

**Environmental Assessment
Determinations and Compliance Findings for HUD-assisted Projects
24 CFR Part 58**

Project Information

Project Name: Multifunctional Recreative Park (PR-CRP-000646)

Responsible Entity: Puerto Rico Department of Housing (PRDOH)

Grant Recipient (if different than Responsible Entity): Municipality of Vega Alta

State/Local Identifier: Puerto Rico

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1.0 PROJECT DESCRIPTION

1.1 Project Location

The proposed project is in the vicinity of the urban center of the municipality of Vega Alta, Puerto Rico. Coordinates for the project site are 18.414689°, -66.332031° (lat.,long.).



Figure 1 - General Project Location (Municipalities map, US Census Bureau 2000)



Figure 2 - General Project Location

PROPOSED SITE PLAN

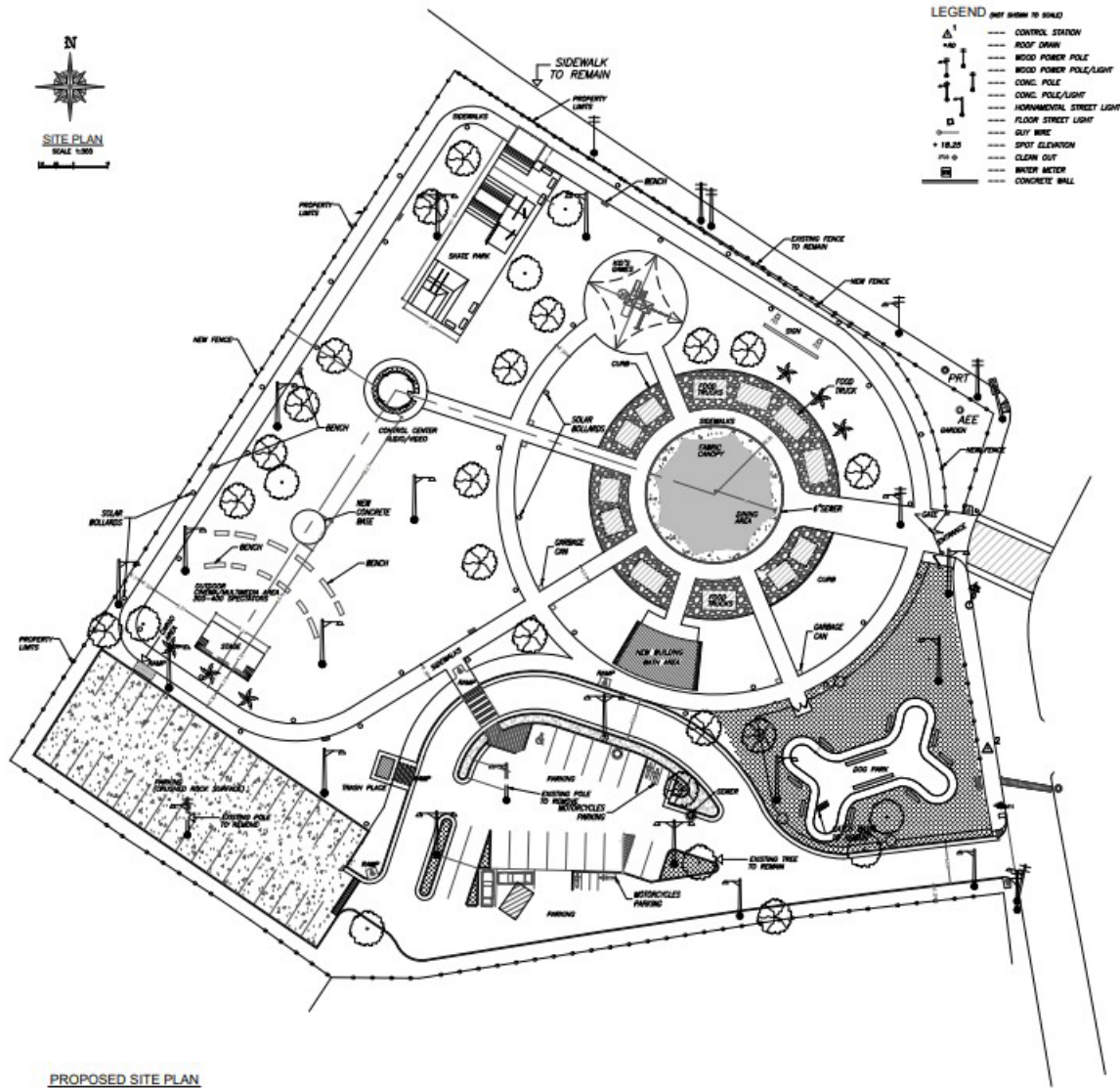


Figure 3 - Proposed Site Plan

1.2 Description of the Proposed Project [24 CFR 50.12 & 58.32; 40 CFR 1508.25]:

The **Multifunctional Recreative Park** (henceforth, the Park) project will be located in a vacant lot located on Calle Gabriel Hernández street and the corner with highway PR-2 Km. 31.4 in the Municipality of Vega Alta. The site was the location of a Center for Diagnostic and Treatment (CDT) until 2014. It comprises a plot area of 12,058.19 square meters owned by the Municipality under the cadastre number 058-067-057-16. It is in zone X according to the FEMA Flood Maps sheet # 72000C0315J with effect from Nov 18, 2009.

As part of the efforts to revitalize and activate the environment of the urban center, the municipality of Vega Alta proposes a recreational space free of charge to integrate the adjacent community which is made up of the following: Arena Sector, La Ponderosa Community, Baruja and Carmelita Sector and in addition to anyone who wants to visit the new facility.

This project will indirectly provide an increase in the economic activity of the urban area to the extent that the population increase that will be using the park has pedestrian accessibility to the adjacent shops and facilities. The Park development occupies a strategic location that connects from the South at the pedestrian level with the Héctor Flores Passive Park, which leads to the José D. Rosado Linear Walk and ends at the Plaza Publica Gilberto Concepción de Gracia (see Figure 4 below). This will provide a safe and enjoyable leisure space for those who visit and for the residents in the surrounding areas.



Figure 4 -Pedestrian Connection with other existing areas in the Urban Area

The Park area is visually accessible from both road PR-2, km. 31.4 and from Gabriel Hernández street, which is a main entrance to the urban area. The Park has a surrounding population which is identified within the profile of low or moderate income. According to studies in the area, 81% of LMI is present.

The Park will consist of an open space whose property limits will be demarcated with a concrete and steel fence at mid-height. The project has easy pedestrian access from Calle Gabriel Hernández. It also has vehicular access from road PR-2 through Gabriel Hernández Street and from the interior of the urban area through Gabriel Hernández street. The Park will have a series of paths that will allow the visitor to walk freely to the different fixed activities that are included within it. Likewise, the use of vegetation will help create an area of pleasant temperature and cool area for walking or performing other activities.

1- "Skate Park" recreational area:

The "Skate Park" will be built with reinforced concrete and galvanized steel, it will have an approximate surface area of 250.89 square meters, configuring a ramp system type u, half u, regular ramps, railings and benches in order to satisfy the skater's needs. This activity conforms to the extent that it is usual within the space of the Linear Park and the Passive Park to be appropriate for the enjoyment of skaters in the area.

2- Canines Park:

Understanding the current need for the appropriation of the animal's space by its owners and given their need to obtain a space that can meet the needs of their pets, particularly with dogs, it is of the utmost importance to provide a place where the community can include the animal in an open way, through the implementation of a dog park. It integrates bathing stations, exercise, pet benches and facilities for canines.

3- Children playground:

It is of the utmost importance for the municipality of Vega Alta to provide families in the urban area with the opportunity to provide a safe space for their children and feel that they are an integral part of the town of Vega Alta through the implementation of a children's park. In the same way it is important to be able to provide a space where children can perform physical activity, through outdoor play. Being able to provide a park that meets the needs of adjacent families without the need for them to opt for places outside the urban area for healthy enjoyment is of the utmost importance for the Municipality to the extent that safe areas are created and sponsors the people's interest in staying within the urban area.

4- Outdoor Cinema with capacity for 250 persons:

According to the events related to the Covid-19 pandemic, one of the problems society faced on a global scale was the restriction of activities in closed spaces. Thus, the transformations of activities needed to modify the social space and provide certain limitations to those which were in closed indoor spaces such as the cinema. Therefore, there is a need to be able to offer alternatives in an open-air setting to enjoy activities which were once confined to a closed space. Among the activities contemplated to be carried out in this space is the transmission of films, small-scale concerts, conferences and similar activities. At the moment it is not contemplated to charge our visitors a fee. Once the work is finished and being certain of the maintenance and administration expenses, the possibility of including a small fee to cover the expenses or only a part of them will be evaluated. Our intention with the project is that it be of family enjoyment with easy access to all people, in particular to families with low or moderate income.

5- Administrative offices:

The Park has been configured and designed to serve a high number of visitors daily. For this reason, the initiative to build an office space to deal with the administrative matters of the Park was included. This will allow to have representation of the Municipality on site in the event of any situation arising during daily operation. The use also intends to assign this space as a point of assistance to our residents in cases of national emergency due to atmospheric phenomena. The park will be enabled with an electricity generation system, drinking water storage and internet to provide a space where residents can obtain utility and communication services.

6- Area for the operation of "Food Trucks" or food concessionaires:

The food truck area is a focal point. It is expected that the Park will receive a high number of visits daily. For the project to be a complete one, it must meet the minimum needs of visitors. That is, to offer a space for hydration and food supply, bringing visitors for longer periods of time, contrary to what it would be these amenities were not offered. As a second approach, and no less important, since the Park intends to be used as the meeting point, attention and assistance for resident in the face of the possible impact of atmospheric phenomena. It is for this reason that it was decided to create a mobile food space where 50% of the "Food Trucks" can meet food needs and the other 50% can reach strategic points of the town where they serve sectors that for some reason they couldn't get to the Park.

7- Parking areas:

The Park will have a capacity of fifty-four (54) parking spaces for vehicles and seven (7) parking spaces for motorcycles. The development includes two parking areas: an asphalt area and another with a crushed stone surface.

8- Green initiatives:

The development of the Park includes green initiatives such as:

- a. Photovoltaic renewable energy: Generation, Production and Storage System with Battery Bank of a minimum of 48 KWh.
- b. Use of eco-friendly and recycled materials, among others

1.3 Statement of Purpose and Need for the Proposal [40 CFR 1508.9(b)]:

The Administration of the Municipality of Vega Alta will use the vacant lot to develop a park that integrates multiple activities in one place. As part of an economic development plan and with the use of investment from the federal government, a project has been developed that integrates multiple uses jointly developing a unique concept in class in the region north of the island and throughout Puerto Rico. This park is built near the municipality's urban center and allows a unique integration in its class which includes many amenities. It will also serve as meeting point and resource distribution facility after an emergency situation. To this end, the park can serve a meal and supply distribution center for area residents.

1.4 Existing Conditions and Trends [24 CFR 58.40(a)]:

The proposed project is in the urban area of the municipality of Vega Alta. The proposed lot is vacant but with some infrastructure that served in the past for Center of Diagnostic and Treatment (CDT) of municipality of Vega Alta. In this area there are shops, schools, public square, restaurants, cafes, etc. in a state of economic recession due to deterioration caused by atmospheric phenomena. The development of the project will promote tourism and boost the local economy. A revitalization to promote development in different economic and social aspects.

1.4.1 Project Location



Figure 5 - View from Gabriel Hernandez Street

Area for the operation of "Food Trucks" or food concessionaires, Pet Park, Parking for about 50 vehicles, Walking circuit.

1.4.2 Project Location



Figure 6 – Areas for outdoor cinema, Skateboard track, Platform for Outdoor Activities

1.4.3 Project Location



Figure 7 - Park for Children under 10 years, Restroom area, mechanical rooms, and administrative Office.

1.4.4 Project Location



Figure 8 - Open area enabled for itinerant activities

Funding Information

Grant Number	HUD Program	Funding Amount
B-17-DM-72-0001	Community Development Block Grant –	\$1,298,000,000.00
B-18-DP-72-0001	City Revitalization Program (CDBG-CRP)	

Estimated Total HUD Funded Amount: \$ 519,164.00

Estimated Total Project Cost (HUD and non-HUD funds) [24 CFR 58.32(d)]: \$ 519,164.00

Compliance with 24 CFR 58.5, and 58.6 Laws and Authorities

Record below the compliance or conformance determinations for each statute, executive order, or regulation. Provide credible, traceable, and supportive source documentation for each authority. Where applicable, complete the necessary reviews or consultations and obtain or note applicable permits of approvals. Clearly note citations, dates/names/titles of contacts, and page references. Attach additional documentation as appropriate.

Compliance Factors: Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6	Are formal compliance steps or mitigation required?	Compliance determinations
STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR and 58.6		
Airport Hazards 24 CFR Part 51 Subpart D	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	The project site is not within 15,000 feet of a military airport or 2,500 feet of a civilian airport. The project is in compliance with Airport Hazards requirements. See Exhibit 1.
Coastal Barrier Resources [Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990, 16 USC 3501]	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	The project site is not located on a designated unit of the Coastal Barrier Resource System. See Exhibit 2.
Flood Insurance Flood Disaster Protection Act of 1973 and National Flood Insurance Reform Act of 1994 [42 USC 4001-4128 and 42 USC 5154a]	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	The project location is within Zone X - Moderate or Minimal Flood Risk Area in FEMA Panel 72000C0315J dated 11/18/2009. Due to its zone designation, there is no need to obtain flood insurance for the site. See Exhibit 3.
STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 58.5		
Clean Air [Clean Air Act, as amended, particularly section 176(c) & (d); 40 CFR Parts 6, 51, 93]	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	The project site is in the Barrio Pueblo of the Municipality of Vega Alta. It is not currently listed as an area of non-compliance. EPA NEPA Assist or another official regulatory webpage. https://www.epa.gov/nepa/nepassist EPA's Green Book was also reviewed to identify nonattainment areas, Vega Alta is not listed. The data reviewed in this source was updated as of May 31, 2022. https://www3.epa.gov/airquality/greenbook/ancl.html#PR During construction, the contractor will implement controls for fugitive dust. See Exhibit 4.
Coastal Zone Management [Coastal Zone Management Act, sections 307(c) & (d)]	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	The project is not located at the limit of the Coastal Zone Management Law, therefore, the construction activities to be carried out in accordance with the Puerto Rico CZMP.

		See Exhibit 5.
<p>Contamination, and Toxic Substances</p> <p>[24 CFR 50.3 (i) and 58.5(i)(2)]</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The site where the proposed project will be developed is currently free of any structures. There are remnants of some concrete slab from the structures and activities that occupied the site in the past. These remnants are deprived of paint or any characteristic that will require intervention other than its removal.</p> <p>NEPA assist website was used to identify known contaminated landfills or other sites, properties, or emission sources within a one-mile radius. According to the information, within this radius there is a Superfund site, a wastewater treatment plant, hazardous waste handlers, and emission discharges to the air. The sites that are closest to the proposed project are over 1,000 feet from the site, as detailed in the information included in Exhibit 6. Thus, there will be no exposure to contaminated or toxic materials from surrounding sites.</p> <p>See Exhibit 6.</p>
<p>Endangered Species</p> <p>Endangered Species Act of 1973, particularly section 7; 50 CFR Part 402</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>As per Blanket Clearance Letter dated January 14, 2013, the development of the project will implement management practices to avoid impacts due to erosion and sedimentation. The letter was used to establish the project criteria under self-certification. Communication was established with the USFWS and it was determined that the project "will likely not adversely affect federally listed species".</p> <p>See information Exhibit 7.</p>
<p>Explosive and Flammable Hazards</p> <p>24 CFR Part 51 Subpart C</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The project does not include development, construction, rehabilitation that will increase residential densities, or conversion. Also, the project does not involve the development of a flammable or combustible chemical facility. The project is in compliance with explosive and flammable hazard requirements.</p> <p>See information Exhibit 8.</p>
<p>Farmlands Protection</p> <p>Farmland Protection Policy Act of 1981, particularly sections 1504(b) and 1541; 7 CFR Part 658</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The project is outside agricultural reserves, experiment stations, soils classified as agricultural capacity or classified as prime agricultural land. This project does not include any activities that could potentially convert agricultural land to non-agricultural use. The project complies with the Agricultural Land Protection Policy Law.</p> <p>See information Exhibit 9.</p>
<p>Floodplain Management</p> <p>Executive Order 11988, particularly section 2(a); 24 CFR Part 55</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The project location is within Zone X – Moderate or Minimal Flood Risk Area in FEMA Panel 72000C0315J dated 11/18/2009 and ABFE map. See maps included in Exhibit 3.</p>

<p>Historic Preservation National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800</p>	<p>Yes No <input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>Several activities required for the development of the project do not comply the allowances under the FEMA-PR SHPO Programmatic Agreement for Section 106, dated Nov 13, 2019 and adopted by the Puerto Rico Department of Housing. Therefore Section 106 consultation process was initiated with Puerto Rico State Historic Preservation Office (SHPO). The agency issued a concurrence of the finding of "no historic properties affected" on letter dated June 24, 2022. No further actions are required under NHPA unless the scope of the work changes. See information Exhibit 10.</p>
<p>Noise Abatement and Control [Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B]</p>	<p>Yes No <input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>Noise assessment is required only if the project is for new construction or rehabilitation for residential use. Thus, no noise assessment is required for this project and the project is compliant with this act.</p>
<p>Sole Source Aquifers [Safe Drinking Water Act of 1974, as amended, particularly section 1424©; 40 CFR Part 149]</p>	<p>Yes No <input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>According to information published by the US Environmental Protection Agency (USEPA) in the Interactive map of Sole Source Aquifers (SSA), there are no Sole Source Aquifers in Puerto Rico. Therefore, the project will have no impact over any SSA. See information in Exhibit 11.</p>
<p>Wetlands Protection Executive Order 11990, particularly sections 2 and 5</p>	<p>Yes No <input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>Project activities that involve the repair or reconstruction of infrastructure in the previously developed area will likely not result in direct or indirect permanent impacts to wetlands. See information in Exhibit 12.</p>
<p>Wild and Scenic Rivers Wild and Scenic Rivers Act of 1968, particularly section 7(b) and (c)</p>	<p>Yes No <input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>There are no designated wild and scenic rivers in the project area. The project is in compliance with the Wild and Scenic Rivers Act. See information in Exhibit 13.</p>
<p>Environmental Justice Executive Order 12898</p>	<p>Yes No <input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The project will benefit low- and moderate-income communities. Thus, there will be no disproportionate impact on these communities. No adverse environmental impacts were identified in the project's total environmental review. The project is in compliance with Executive Order 12898.</p>

3.0 Environmental Assessment Factors [24 CFR 58.40; Ref. 40 CFR 1508.8 & 1508.27]

Recorded below is the qualitative and quantitative significance of the effects of the proposal on the character, features, and resources of the project area. Each factor has been evaluated and documented, as appropriate and in proportion to its relevance to the proposed action. Verifiable source documentation has been provided and described in support of each determination, as appropriate. Credible, traceable, and supportive source documentation for each authority has been provided. Where applicable, the necessary reviews or consultations have been completed and applicable permits of approvals have been obtained or noted. Citations, dates/names/titles of contacts, and page references are clear. Additional documentation is

attached, as appropriate. **All conditions, attenuation or mitigation measures have been clearly identified.**

Impact Codes: Use an impact code from the following list to make the determination of impact for each factor.

- (1) Minor beneficial impact
- (2) No impact anticipated
- (3) Minor Adverse Impact – May require mitigation
- (4) Significant or potentially significant impact requiring avoidance or modification which may require an Environmental Impact Statement

Environmental Assessment Factor	Impact Code	Impact Evaluation
LAND DEVELOPMENT		
Conformance with Plans / Compatible Land Use and Zoning / Scale and Urban Design	2	<p>According to the current qualification map, the plot of land is in DT-G (General Endowment) They are public or private land with endowment, institutional, recreational, civic, educational, philanthropic, cultural, scientific, educational, religious, or similar uses. The proposed action would be to build a recreational park with an area for food trucks and build the necessary infrastructure for better security and integration of citizens in the urban area. The contractor will obtain permits, recommendations and/or regulatory endorsements from the appropriate state and federal agencies prior to construction activities.</p> <p>The proposed action site would maintain the current land use as it was impacted by similar use in the past, thus being compatible with existing and surrounding land uses. Many of the proposed actions will consist of the rehabilitation or reconstruction of the infrastructure for the construction of the Park.</p> <p>See Exhibit 14.</p>
Soil Suitability/ Slope/ Erosion/ Drainage/ Storm Water Runoff	2	<p>The proposed action is the revitalization and reconstruction of the Park in the urban area. Inadequate soils are not expected to affect the proposed project. Any soil issues that may have posed previously disturbed issues should have been addressed during the initial construction activities.</p> <p>The proposed project consists of approximately 3.14 acres of which the surface will be impacted as follows: 60% grass, 10% artificial grass, 10% crushed stone, 10% concrete, and 10% asphalt. In addition, the contractor will be required to comply with the SWPPP permit for commercial projects less than 5 acres.</p> <p>Surface water caused by a rain event will be pre-directed to storm wells located at low points with prevailing 1% slopes and discharged into the existing storm sewer system that runs through the proposed project itself.</p> <p>The contractor must comply with the CES plan (Sediment and Erosion Control Plan) during construction and after use, all surfaces must be covered with grass, concrete, asphalt or crushed rock.</p> <p>See information Annex 15.</p>

Hazards and Nuisances including Site Safety and Noise	3	<p>Require contractors to provide health and safety plans and monitoring during construction.</p> <p>The project is well located, and the design should comply with all applicable regulations to reduce natural and man-made risks to people or property damage to both the public and users of the project.</p> <p>They can be included as integral components of the proposed project design by the designer (seismic resistance, engineering designs, fire protection and/or elevation or flood protection) and can be implemented with the proposed project.</p>
Energy Consumption	3	<p>During construction, most of the consumption is by internal combustion engines, it will not impact the power grid. According to the evaluation of electricity consumption at the time of its operation, it will be 46 Kilowatts per Hour.</p> <p>See Exhibit 16.</p>

Environmental Assessment Factor	Impact Code	Impact Evaluation
SOCIOECONOMIC		
Employment and Income Patterns	1	<p>The project will generate temporary work for the construction period. Additionally, additional permanent staff will be added to provide maintenance services for the infrastructure to be revitalized. The project will have an audio and video control center for the open-air cinema, administrative offices for the maintenance and operation of the recreational area, which will serve as a public orientation center for the area's facilities. All these areas represent the opportunity to create employment. The proposed project will assist in employment and income patterns; therefore, it leads to favorable developments for commercial, industrial, and institutional operations in the project area with better accessibility to the urban area. In addition, the project promotes coordination with community resources and organizations that provide job training and promote job development or job placement for unemployment.</p> <p>Provide specialized job training for the types of jobs created by the project to support the job placement of workers from local communities.</p>
Demographic Character Changes, Displacement	2	<p>The proposed project will not significantly alter the demographic characteristics of the communities involved. Most of the proposed activities will promote the local economy and generate new job opportunities and new business opportunities by having accesses that integrate the community to the urban area. The number of shares would not significantly alter the demographics of the communities and would allow for a better quality of life for families in the area. The proposed project will help reduce racial, ethnic, or income segregation in the area. The proposed project will not create physical barriers or access difficulties that isolate a particular neighborhood or population group, nor will it hinder access to local services, facilities and institutions or other parts of the city.</p> <p>The tourist, historical, commercial, or residential uses will not be altered by the project since the proposed activities serve as an ancillary use of the commercial behavior of the area.</p>

Environmental Assessment Factor	Impact Code	Impact Evaluation
COMMUNITY FACILITIES AND SERVICES		
Educational and Cultural Facilities	2	The proposed action will not affect educational facilities.
Commercial Facilities	1	The proposed action will generate new business opportunities and commercial facilities in its surroundings. The proposed project would in turn increase the demand for local business services. Near the proposed project there are restaurants, gas station, supermarket, passive park, rides, post office, among others, which will have a positive impact with the proposed project since they provide essential and necessary services to the community in general.
Health Care and Social Services	2	The proposed project would have little effect on regional health facilities. Movement of pedestrians into the area will not affect that trend and therefore will not create the need for additional health care facilities. The project would not cause an increase in the demand for social services at the city or Island level.
Solid Waste Disposal / Recycling	2	The proposed action would result in the generation of substantial amounts of construction debris. These activities can lead to increases in the short-term generation of municipal solid waste. Once it is in use, the generation of garbage would be domestic and would be included in the municipal garbage collection route that will be carried out by a private recycling company that provides service to the Municipality of Vega Alta. See information Exhibit 17.
Wastewater / Sanitary Sewers	3	The activities of the users of the Park will generate and will produce an increase or increases in the generation of wastewater due to the nature of its use. The wastewater will be piped to a sealed underground tank which will dispose of the wastewater to the nearest well through pressure lines. According to the Design Standards of the Aqueduct and Sewer Authority, the flow of wastewater for public works is 350 gallons per day for sanitary services and 200 gallons per day per Food Truck in the production of wastewater. Food Trucks will use a grease trap as provided by regulation. The connection to the system will be in accordance with the requirements requested in the communication of the Aqueduct and Sewerage Authority / Infrastructure / North Public and Private Projects See information Exhibit 18.
Water Supply	2	During construction, most of the consumption is supplied by non-potable water trucks and will not cause increases in water demand in the area. Already in its operation of the project this service will be connected to the service of the Aqueduct and Sewer Authority for its operation. According to the Design Standards, the consumption of potable water will be 400 gallons per day for the restrooms and 200 gallons per day for the Food Truck. The connection to the system will be in accordance with the requirements requested in the communication of the Aqueduct and Sewerage Authority / Infrastructure / North Public and Private Projects See information Annex 18.

Public Safety - Police, Fire and Emergency Medical	2	The new project and the commercial activities it promotes are not expected to strain the effectiveness of these local services. The proposed actions will increase the tourism in the area, this will cause some increases in the population eligible to receive medical services in the area, this impact is not anticipated to overload the current emergency medical services available.
Parks, Open Space and Recreation	1	The activities of the proposed project are carried out in the center of the city. The tourism and commercial activities that you promote must have a positive impact on the surrounding open spaces or recreational facilities. The proposed project involves the development of a community service for open spaces and recreation directly impacting the Francisco Vega Sanchez development adjacent to the proposed project. See information Exhibit 19.
Transportation and Accessibility	3	The proposed project would increase tourism in the area, therefore causing a slight increase in traffic levels and demand for public transportation services relative to current conditions. This service will be provided by the municipal collective transport which the project and the most distant neighborhoods are located on the service route. See information Exhibit 20.

Environmental Assessment Factor	Impact Code	Impact Evaluation
NATURAL FEATURES		
Unique Natural Features, Water Resources	2	The proposed project is not expected to cause any water quality problems at or around the construction site. Construction activities must implement the best management practices and will not imply discharges or sewage effluents to surface water bodies. During the operation, the best engineering practices will be used to preserve its current condition, using a retention pond and/or storage tank with spillways as necessary. Reconstruction activities will occur in an urbanized area of the municipality. The site currently consists of regrown grass with no particular natural features. Since the site was formerly developed, it has been deprived of its state original. Therefore, unique, and natural features are not anticipated to be impacted or cause impacts to the proposed project.
Vegetation, Wildlife	2	Construction activities will take place at the downtown recreation park, and trees, vegetation, or native plant community habitats are not anticipated to be adversely affected. The contractor will comply with the Planting and Reforestation Plan of Regulation #25.
Other Factors	N/A	N/A

Additional Studies Performed: NONE

Field Inspection (date and completed by): 11/23/2021

Ramón G. Luna Miranda
Environmental Specialist
ROV Engineering, PSC

Eng. Omar Alvarado,
Senior Project Manager
ROV Engineering, PSC

List of Sources, Agencies and Persons Consulted [40 CFR 1508.9(b)]:

1. EnviroSite Corporation
2. MIPR - Planning Board
3. DRNA - Department of Natural and Environmental Resources
4. JCA - Environmental Quality Board
5. NEPAAssist - National Environmental Policy Act

List of Permits or Recommendations Obtained:

LUMA: 22-5-0036 OGPE: 2022-419515-SRI-054659	Exhibit 16
AAA-RN-22-73-0005 9 EQUIVALENT UNITS OGPE: 2022-419515-SRI-054661 (RECOMMENDATIONS)	Exhibit 17
ACT INFRASTRUCTURE RECOMMENDATION CASE NO.: 2022-419515-SRI-054670 REFERENCE CASE: 5005-22-178	Exhibit 18
Certification of Environmental Compliance by Categorical Exclusion 2022-419515-DEC-104084	Exhibit 19

Public Outreach [24 CFR 50.23 & 58.43]:

NONE

Cumulative Impact Analysis [24 CFR 58.32]:

NONE

Alternatives [24 CFR 58.40(e); 40 CFR 1508.9]

The municipality considered developing an alternate project for the site. It consisted on the establishment of a fast food restaurant. However, it was decided not to pursue this development and instead be able to provide a recreational and leisure space for residents and visitor. This development will also help to embellish and enhance the areas near the urban center of the municipality.

No Action Alternative [24 CFR 58.40(e)]:

Currently the municipality, as owner of the property, provides maintenance for the site without obtaining any benefits for its residents. The site serves as one of the main entrances to the traditional urban center and it currently reflects an abandoned site. This reflects poorly on the municipality's intent to provide quality conditions and services to its residents. Thus, a no action alternative is not in the municipality's interest.

Summary of Findings and Conclusions:

This project will allow citizens, including those with low to moderate income, to have open air recreational and leisure space. It will also help to attract visitors from other areas which will likely increase economic activities at the municipality. Because the site was previously impacted, there will be no significant environmental impact as a result of this action. Furthermore, the site will retain certain pervious surfaces and enhanced landscaping features that it lacks today which can positively impact ecological diversity. Therefore, this project will have social, economic and environmental benefits.

Mitigation Measures and Conditions [40 CFR 1505.2(c)]


Summarize below all mitigation measures adopted by the Responsible Entity to reduce, avoid, or eliminate adverse environmental impacts and to avoid non-compliance or non-conformance with the above-listed authorities and factors. These measures/conditions must be incorporated into project contracts, development agreements, and other relevant documents. The staff responsible for implementing and monitoring mitigation measures should be clearly identified in the mitigation plan.

Law, Authority, or Factor	Mitigation Measure
Erosion	Plan for Erosion and Sedimentation Control
Vegetation	Planting and Reforestation Plan of Regulation #25.

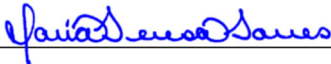
Determination:

Finding of No Significant Impact [24 CFR 58.40(g)(1); 40 CFR 1508.27]
The project will not result in a significant impact on the quality of the human environment.

Finding of Significant Impact [24 CFR 58.40(g)(2); 40 CFR 1508.27]
The project may significantly affect the quality of the human environment.

Preparer Signature:  Date: June 29, 2022

Name/Title/Organization: Ramón Luna /Environmental Specialties/ROV Engineering, PSC

Certifying Officer Signature:  Date: July 7, 2022

Name/Title: María T. Torres Bregón, Permits and Environmental Compliance Specialist

This original, signed document and related supporting material must be retained on file by the Responsible Entity in an Environmental Review Record (ERR) for the activity/project (ref: 24 CFR Part 58.38) and in accordance with recordkeeping requirements for the HUD program(s).

APPENDIX A

Figures, Agency Consultations and Correspondence

[40 CFR 1508.9(b)] (List and attach all evidence of inquiries and responses received at all stages of consultation and analysis.)

- Exhibit 1.** Airport Hazards
- Exhibit 2.** Coastal Barrier Resources Act
- Exhibit 3.** Flood Insurance and Floodplain Management
- Exhibit 4.** Air Quality
- Exhibit 5.** Coastal Zone Management (MAP)
- Exhibit 6.** Toxic and Contamination Substances
- Exhibit 7.** Endangered Species and Ecology
- Exhibit 8.** Explosive and Flammable Hazards
- Exhibit 9.** Farmland Protection
- Exhibit 10.** Historic Preservation
- Exhibit 11.** Sole Source Aquifers
- Exhibit 12.** Wetland Protection (MAP)
- Exhibit 13.** Wild and Scenic Rivers
- Exhibit 14.** Calification Map
- Exhibit 15.** Soil Report
- Exhibit 16.** Electric Charge
- Exhibit 17.** Solid Waste Disposal / Recycling
- Exhibit 18.** Aqueduct and Sewer Authority / Infrastructure / North Public and Private Projects
- Exhibit 19.** Endorsement from the Municipality
- Exhibit 20.** Highway and Transportation Authority
- Exhibit 21.** Certification of Environmental Compliance by Categorical Exclusion

Exhibit 1. Airport Hazards



Generated by ROV

Exhibit 2. Coastal Barrier Resources Act

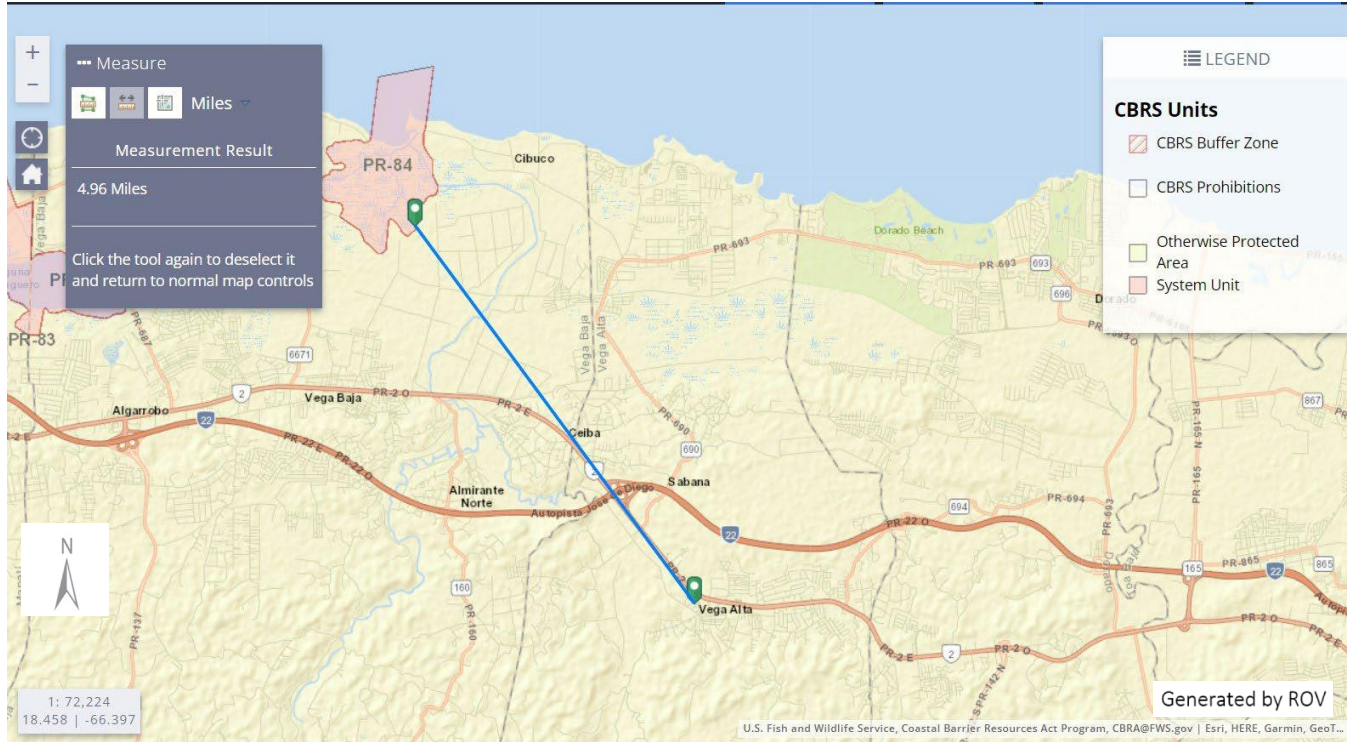
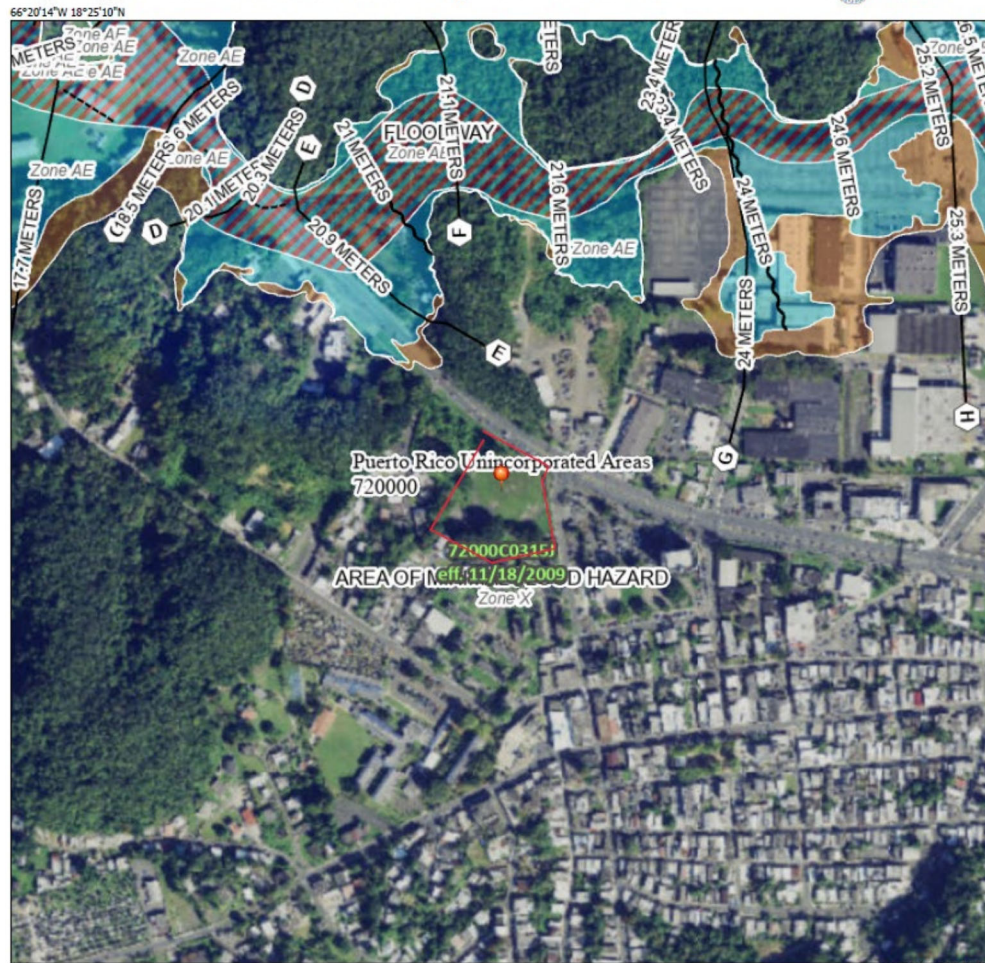


Exhibit 3. Flood Insurance and Floodplain Management

National Flood Hazard Layer FIRMette



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS	Without Base Flood Elevation (BFE) Zone A, V, A99
	With BFE or Depth Zone AE, AO, AH, VE, AR
	Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD	0.2% Annual Chance Flood Hazard. Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
	Future Conditions 1% Annual Chance Flood Hazard Zone X
	Area with Reduced Flood Risk due to Levee. See Notes. Zone X
	Area with Flood Risk due to Levee Zone D
OTHER AREAS	NO SCREEN Area of Minimal Flood Hazard Zone X
	Effective LOMRs
	Area of Undetermined Flood Hazard Zone D
GENERAL STRUCTURES	Channel, Culvert, or Storm Sewer
	Levee, Dike, or Floodwall
CROSS SECTIONS	20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
	17.6 Water Surface Elevation
	Coastal Transect
	Base Flood Elevation Line (BFE)
	Limit of Study
	Jurisdiction Boundary
OTHER FEATURES	Coastal Transect Baseline
	Profile Baseline
	Hydrographic Feature
MAP PANELS	Digital Data Available
	No Digital Data Available
	Unmapped

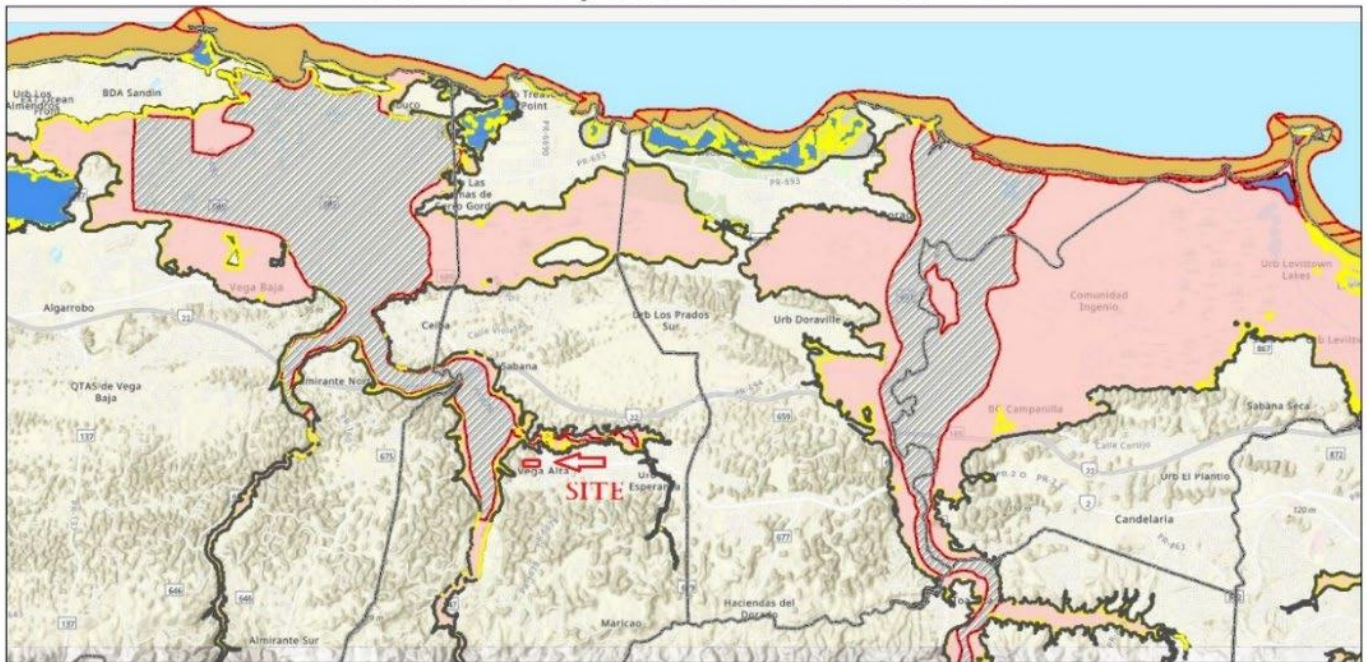
The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.








The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 3/21/2022 at 10:55 AM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

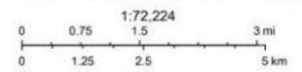
This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

Puerto Rico Advisory Base Flood Elevation Data Review



3/9/2022, 2:47:34 PM

-  Floodway
-  Zone/BFE Boundary
-  Flood Hazard Extent
-  0.2% Annual Chance Flood
-  Limit of Moderate Wave Action (LIMWA)
-  1% Annual Chance Flood
-  Municipios




FEMA, Esri, NASA, NGA, USGS

Generated by ROV

FEMA, NASA, NGA, USGS | FEMA | Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc., METYNASA, USGS, NPS, US Census Bureau |

Exhibit 4. Air Quality

<https://www3.epa.gov/airquality/greenbook/ancl.html#PR>


United States Environmental Protection Agency

Green Book

- 8-Hour Ozone (2015)
- 8-Hour Ozone (2008)
- 8-Hour Ozone (1997)
- 1-Hour Ozone (1979)
- PM-2.5 (2012)
- PM-2.5 (2006)
- PM-2.5 (1997)
- PM-10 (1987)
- Sulfur Dioxide (2010)
- Sulfur Dioxide (1971)
- Lead (2008)
- Lead (1978)
- Carbon Monoxide (1971)
- Nitrogen Dioxide (1971)
- Multi-Pollutant
- Downloads
- FAQ
- Related Links
- Recent Updates

[Contact Us](#)

You are here: [EPA Home](#) > [Green Book](#) > Current Nonattainment Counties for All Criteria Pollutants

Current Nonattainment Counties for All Criteria Pollutants

Data is current as of May 31, 2022.

The 8-hour Ozone (1997) standard was revoked on April 6, 2015 and the 1-hour Ozone (1979) standard was revoked on June 15, 2005.
The asterisk (*) indicates only a portion of the county is included in the designated nonattainment area (NA).

Download National Dataset of all designated areas (currently nonattainment, maintenance, revoked):
[dbf](#) | [xls](#) | [Data dictionary \(PDE\)](#)

Listed by State, County, NAAQS * Part County NA NA Area Name (Classification, if applicable)

ALASKA

Fairbanks North Star Borough

PM-2.5 (2006) * Fairbanks, AK - (Serious)

ARIZONA

Cochise County

PM-10 (1987) * Paul Spur/Douglas (Cochise County), AZ - (Moderate)

Gila County

Lead (2008) * Hayden, AZ

PM-10 (1987) * Hayden, AZ - (Moderate)

PM-10 (1987) * Miami, AZ - (Moderate)

Sulfur Dioxide (2010) * Hayden, AZ

PUERTO RICO

Arecibo Municipio

Lead (2008) * Arecibo, PR

Bayamon Municipio

Sulfur Dioxide (2010) * San Juan, PR

Catano Municipio

Sulfur Dioxide (2010) San Juan, PR

Guaynabo Municipio

Sulfur Dioxide (2010) * San Juan, PR

Salinas Municipio

Sulfur Dioxide (2010) * Guayama-Salinas, PR

San Juan Municipio

Sulfur Dioxide (2010) * San Juan, PR

Toa Baja Municipio

Sulfur Dioxide (2010) * San Juan, PR

Map with non-attainment areas (none found in the area of the proposed project)
<https://www.epa.gov/nepa/nepassist>

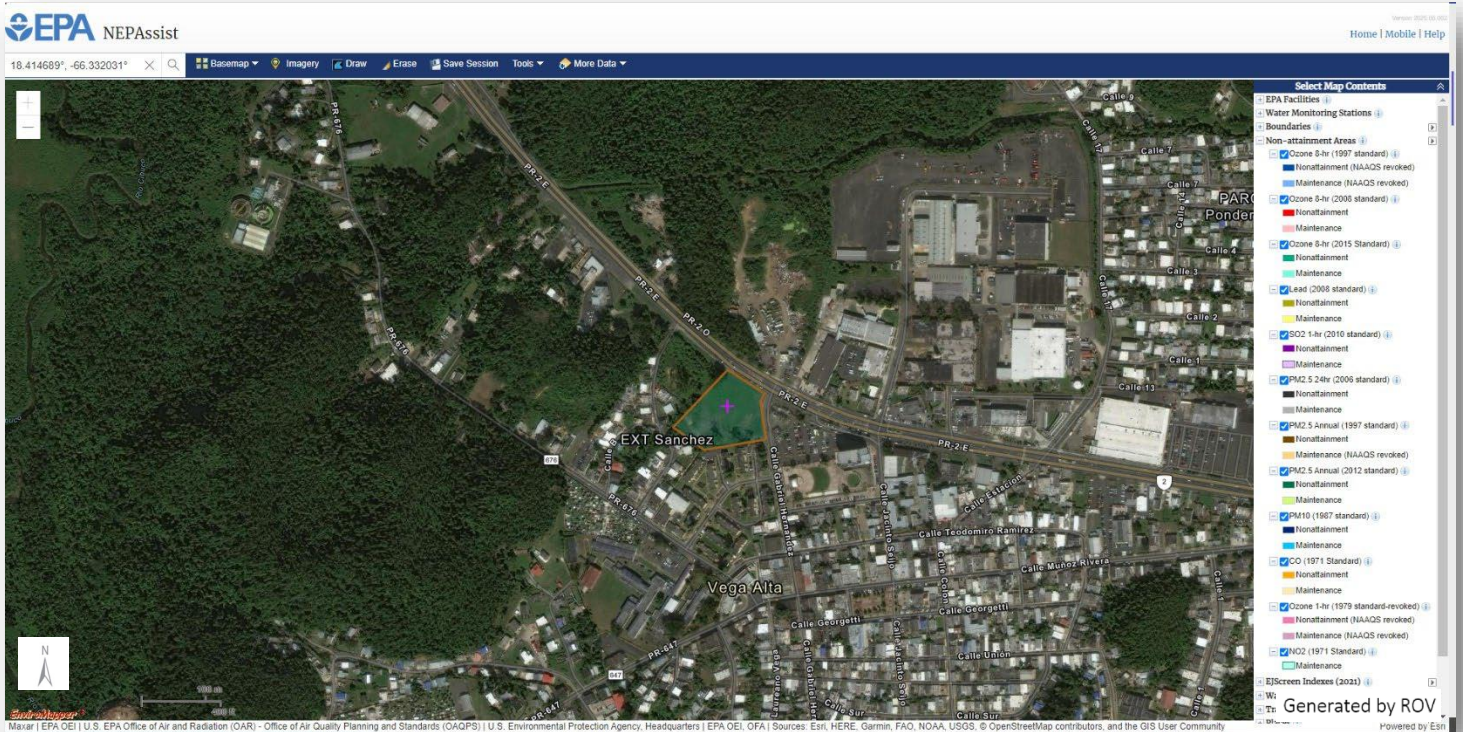


Exhibit 5. Coastal Zone Management

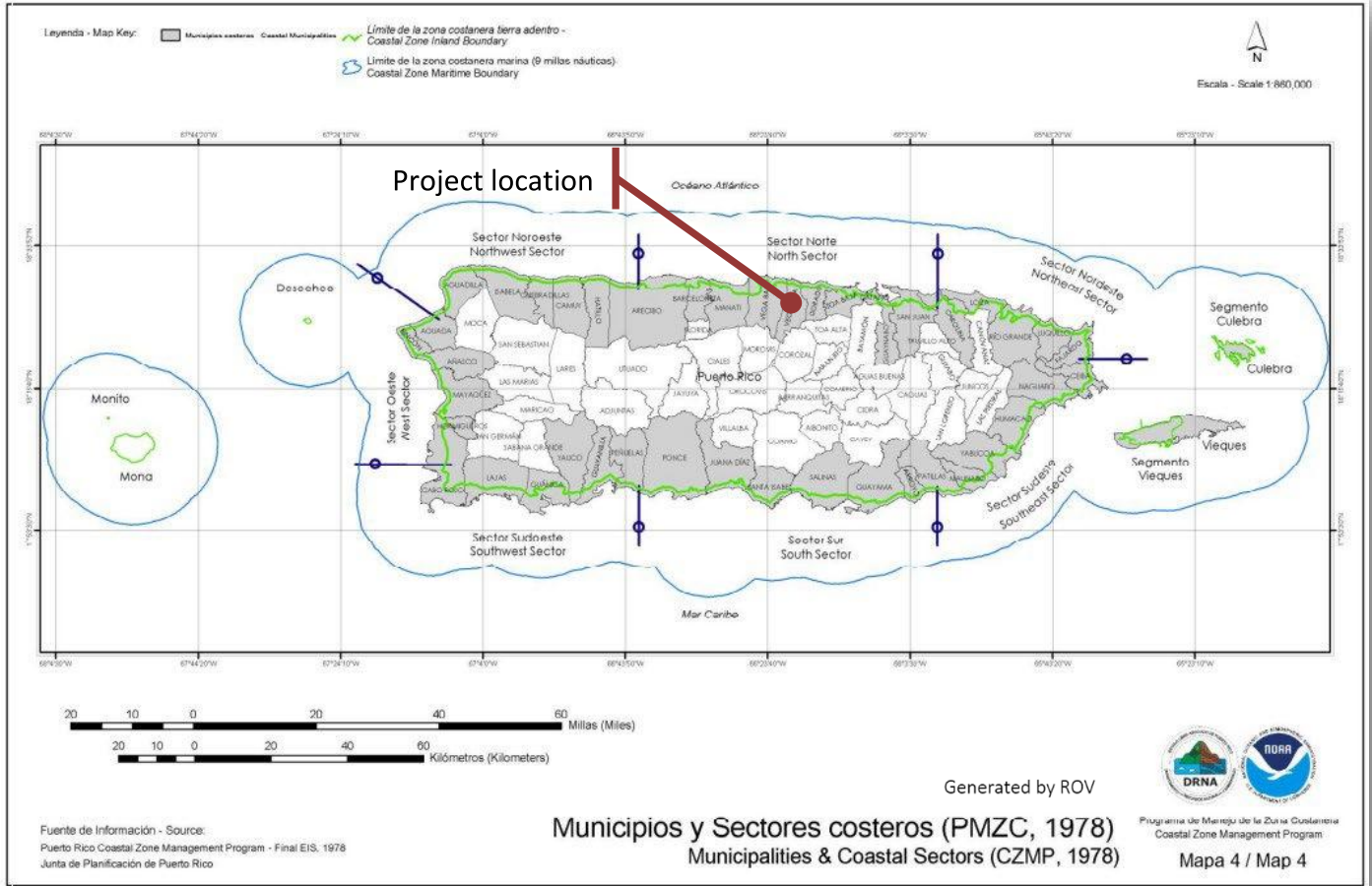


Exhibit 6. Toxic and Contamination Substances

PR-CRP-000646 EPA database for Contaminates/Toxic substances Sites

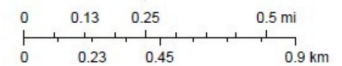


May 24, 2022

- Toxic Substances Control Act (TSCA)
- Water Dischargers (NPDES)
- Project Buffer
- + Toxic Releases (TRI)
- + Air Pollution (ICIS-AIR)
- Superfund (NPL)
- + Hazardous Waste (RCRAInfo)
- PR-CRP-000646
- + Water Dischargers (NPDES)
- + Hazardous Waste (RCRAInfo)



1:18,056



<https://nepisisttool.epa.gov/nepisist/nepamap.aspx?wherestr=Vega+Alta%2C+PR>
Map Generated by ICF

Sites identified in the map for EPA Database for Contaminants/Toxic substances

ID	EPA facility	Distance from site (ft)	Direction from site	Description
1	Water Dischargers (NPDES) – Stormwater	2,372	North West	Vega Alta WWTP Road 676, Km. 2.0, Bajura Ward Vega Alta, PR 00692
2	Water Dischargers (NPDES) – Stormwater	2,097	South West	Universal Manufacturing Corp. PO BOX 11999 San Juan, PR 00922
3	Superfund (NPL)	1,288	North	Vega Alta Public Supply Wells Highway 2 Vega Alta, PR 00692

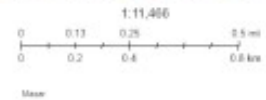
4	Hazardous Waste (RCRAInfo)	1,100	South East	Texaco PR Inc - Alberto Fuertes Svc Sta Munoz Rivera Corner Colon Vega Alta, PR 00692
5	Water Dischargers (NPDES) – Stormwater	1,793	North East	Pan american Properties Corp. State Road 2, KM. 30.1, Ponderosa Sector

**NEPAssist Report
PR-CRP-000646**



May 24, 2022

Project Buffer
PR-CRP-000646



Project Location	18.414687, -66.331982
Within 1 mile of an Ozone 8-hr (1997 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of an Ozone 8-hr (2008 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of a Lead (2008 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of a SO2 1-hr (2010 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of a PM2.5 24hr (2006 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of a PM2.5 Annual (1997 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of a PM2.5 Annual (2012 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of a PM10 (1987 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of a Federal Land?	no
Within 1 mile of an impaired stream?	no
Within 1 mile of an impaired waterbody?	yes
Within 1 mile of a waterbody?	yes
Within 1 mile of a stream?	yes
Within 1 mile of an NWI wetland?	Available Online
Within 1 mile of a Brownfields site?	no
Within 1 mile of a Superfund site?	yes
Within 1 mile of a Toxic Release Inventory (TRI) site?	yes
Within 1 mile of a water discharger (NPDES)?	yes
Within 1 mile of a hazardous waste (RCRA) facility?	yes
Within 1 mile of an air emission facility?	yes

Within 1 mile of a school?	yes
Within 1 mile of an airport?	no
Within 1 mile of a hospital?	no
Within 1 mile of a designated sole source aquifer?	no
Within 1 mile of a historic property on the National Register of Historic Places?	yes
Within 1 mile of a Toxic Substances Control Act (TSCA) site?	yes
Within 1 mile of a Land Cession Boundary?	no
Within 1 mile of a tribal area (lower 48 states)?	no
Within 1 mile of the service area of a mitigation or conservation bank?	no
Within 1 mile of the service area of an In-Lieu-Fee Program?	no

Created on: 5/24/2022 9:38:50 PM

Exhibit 7. Endangered Species



GOBIERNO DE PUERTO RICO
MUNICIPIO AUTÓNOMO DE VEGA ALTA
PLANIFICACIÓN, DESARROLLO ECONÓMICO Y ORDENAMIENTO TERRITORIAL
PLAN. PABLO COLLAZO CORTÉS • DIRECTOR



April 20, 2022

Mr. Edwin Muñiz
Field Supervisor
U.S. Fish & Wildlife Service
Boquerón Field Office
P.O. Box 491
Boquerón, PR 00622



Based on the information provided, we determined the project proposed qualifies for the blanket clearance letter. Nevertheless, if the project is modified this office should be contacted concerning the need for the initiation of consultation under section 7 of Endangered Species Act of 1973.

Digitally signed by MARELISA RIVERA
MARELISA RIVERA
Date: 2022.04.20 14:12:08 -0400

Reviewer
EDWIN MUNIZ
Digitally signed by EDWIN MUNIZ
Date: 2022.04.20 14:22:41 -0400
Caribbean IS Field Supervisor

SELF-CERTIFICATION UNDER BLANKET CLEARANCE LETTER FOR FEDERALLY SPONSORED PROJECTS, HOUSING AND URBAN DEVELOPMENT, FOR PR-CRP-000646: PARQUE RECREATIVO MULTIFUNCIONAL, VEGA ALTA, PR

Dear Mr. Muñiz,

We submit for your review the enclosed Self-Certification to fulfill requirements related with the Blanket Clearance Letter dated January 14, 2013. This information is submitted to comply with Section 7 of the Endangered Species Act (ESA). The project is a CDBG-DR funded project; allocated by HUD to PRDOH as the grantee of the funds and the municipality of Vega Alta as the subrecipient of the funds.

The project activity is limited to a previously developed urban property and thus the proposed action has no effect on any natural habitats or federally protected species. Please refer to enclosed maps and project description for details.

Should you require any additional information, please contact me at pablocollazo@vegaalta.pr.gov or at the following phone number (787) 883-5900, Ext. 1239.

Cordially,



Pablo Collazo Cortés, LPP
Planning and Development Director
Autonomous Municipality of Vega Alta



GOBIERNO DE PUERTO RICO
MUNICIPIO AUTÓNOMO DE VEGA ALTA
PLANIFICACIÓN, DESARROLLO ECONÓMICO Y ORDENAMIENTO TERRITORIAL
PLAN. PABLO COLLAZO CORTÉS • DIRECTOR



EXHIBIT A

PR-CRP-000646: PARQUE RECREATIVO MULTIFUNCIONAL

Description:

The Recreational Park Development project is in a vacant lot on Calle Gabriel Hernández, esq. highway PR-2 Km. 31.4 of the Municipality of Vega Alta, PR. where before it went to the old Vega Alta CDT. It comprises a plot area of 12,058.19 square meters owned by the Municipality under the cadastre number 058-067-057-16. It is in zone X according to the FEMA Flood Maps sheet # 72000C0315J with effect from Nov 18, 2009.

As part of the efforts to revitalize and activate the environment of the urban center, we propose a recreational space free of charge to integrate mainly the adjacent community which is made up of the following: Arena Sector, La Ponderosa Community, Baruja and Carmelita Sector and in addition to anyone who wants to enjoy the new facility.

This project will indirectly provide an increase in the economic activity of the urban case to the extent that the population increase that will be appropriating the park has pedestrian accessibility to the adjacent shops and facilities.

Top view:





GOBIERNO DE PUERTO RICO
MUNICIPIO AUTÓNOMO DE VEGA ALTA
PLANIFICACIÓN, DESARROLLO ECONÓMICO Y ORDENAMIENTO TERRITORIAL
PLAN. PABLO COLLAZO CORTÉS • DIRECTOR




Self-Certification
Endangered Species Act Certification

The U.S. Fish and Wildlife Service, Caribbean Ecological Services Field Office developed a Blanket Clearance Letter in compliance with Endangered Species Act of 1973, as amended, and the Fish and Wildlife Coordination Act for federally funded projects.

The Service determined that projects in compliance with the following criteria are not likely to adversely affect federally listed species.

The Municipality of Vega Alta, Puerto Rico, certifies that the following project PR-CRP-000646: Parque Recreativo Multifuncional, Vega Alta, PR funded by Puerto Rico Department of Housing (PRDOH) and located at Municipality of Vega Alta, Puerto Rico complies with:

Check	Project Criteria
	1. Street resurfacing.
	2. Construction of gutters and sidewalks along exiting roads.
	3. Reconstruction or emergency repairs of existing buildings, facilities and homes
	4. Rehabilitation of existing occupied single-family homes, and buildings; provided that equipment storage or staging areas are not located on vacant property harboring a wetland and/or forested vegetation and that the lighting associated to the new facilities is not visible directly or indirectly from a beach.
	5. Demolition of dilapidated single-family homes or buildings; provided that the demolition debris is disposed in certified receiving facilities; equipment storage or staging areas are not located on vacant property harboring a wetland and/or forested vegetation
	6. Rebuilding of demolished single-family homes or buildings, provided that the new construction is within the existing footprint of the previous structure and/or within pre-existing grassed or paved areas, and that the lighting associated to the new facilities are not visible directly or indirectly from a beach
	7. Activities within existing Right of Ways (ROWs) of roads, bridges and highways when limited to actions that do not involve cutting native vegetation or mayor earth moving; and are not located within, or adjacent to, drainages, wetlands, or aquatic systems. These activities include the installation of potable water and sanitary pipelines.
	8. Improvements to existing recreational facilities, including the installation of roofs to existing basketball courts, provided that the lighting associated to the facilities are not visible directly or indirectly from the beach.
	9. Construction of electric underground systems in existing towns and communities, provided that the property is not a wetland area and the lighting associated to the facilities are not visible directly or indirectly from the beach.
X	10. Construction of facilities on vacant properties covered with grasses in urban areas, provided that the lighting associated to the facilities are not visible directly or indirectly from the beach.
	11. Construction of houses, buildings or acquiring lands in urban areas covered by grass for relocation of low-income families and/or facilities that have been affected by weather conditions.


Pablo Collazo Cortés, MArch, LPP
Planning and Development Director
Autonomous Municipality of Vega Alta

April 20, 2022

PR-CRP-000646: PARQUE RECREATIVO MULTIFUNCIONAL

The Recreational Park Development is visually perceived from the carr. #2, km. 31.4, and Calle Gabriel Hernández-entrance to the urban area. Said Park has a surrounding population which is identified within the profile of low or moderate income. According to studies in the area, 81% of LMI is present.

The Recreational Park Development is made up of an open space park where the property line will be demarcated by means of a concrete and steel fence at mid-height. The project has easy pedestrian access from Calle Gabriel Hernández. In the same way, it has vehicular access from Carr. #2 through Gabriel Hernández Street and from the interior of the urban area through Gabriel Hernández Street. The Recreational Park will provide a series of paths inside that allow you to walk freely to the different fixed activities that are made up of it. Likewise, the use of vegetation through trees and green spaces is included to help create an area of pleasant temperature and cool area for walking.

1- Area for the operation of "Food Trucks" or food concessionaires:

12 spaces are dedicated in this phase specifically providing connection electricity, water distribution and collection of gray water for the irrigation of the green areas. A dedicated eating area is also included duly roofed with a stretched sail. Includes dining area about 2,825SF of integrated space including ventilation, tables and chairs, area for recharging electronic equipment, as well as connection to Internet to all those present.

2- Pet Park:

Dedicated area to share with animals domestic. This area integrates multiple recreational activities for pets, bathing stations, exercise stations, benches alluding to pets and facilities in general dedicated exclusively to lovers of the pets.

3- Outdoor Cinema:

Integrating the latest technological advances, an Outdoor cinema area with an area for about 250 spectators that includes a projection screen of a minimum of 26ft diagonal installed in a Stainless steel "Truss" arrangement on the platform. From a room central control, a state-of-the-art "Dolby Atmos" & "DTS Ultra HD" sound system is installed for the cinema that includes a sound system outdoor-resistant speaker enclosure located in the lighting and underground "High-End" speakers for the reproduction of the low frequency sounds. A compatible "Laser" ("Large-Venue") projector with a 4K HDMI signal capable of reproducing at least 8K Ansi Lumens of illumination and contrast 1:1,000,000 will take care of projecting movies, transmit "Streaming" events, and integrate multiple applications in line to allow a capacity to receive and transmit via the internet, events, and activities of general interest to the community.

4- "Skateboard" track:

The park includes a track for "Skateboard" of at least 2,800SF of space for skateboarders to enjoy and the extreme sports.

5- Platform for Outdoor Activities:

A concrete platform of about 450SF of outdoor space properly enabled with a system electric to integrate sound and lighting as needed.

6- Open area enabled for itinerant activities:

An open area is provided with sidewalk access to be used for non-permanent activities such as exhibitions, crafts and/or demonstrations of any kind. With an Approximate capacity of 2000 SF of space, activities are integrated supplementary activities that complement the existing permanent activities in the park.

PR-CRP-000646: PARQUE RECREATIVO MULTIFUNCIONAL

Existing Conditions:

The proposed project is in the urban area of the municipality of Vega Alta. The proposed lot is vacant but with some infrastructure that served in the past for Center of Diagnostic and Treatment (CDT) of municipality of Vega Alta. In this area there are shops, schools, public square, restaurants, cafes, etc. in a state of economic recession due to deterioration caused by atmospheric phenomena. The development of the project will promote tourism and boost the local economy. A revitalization to promote development in different economic and social aspects.

1.1 Project Location



Area for the operation of "Food Trucks" or food concessionaires, Pet Park, Parking for about 50 vehicles, Walking circuit:

1.2 Project Location



Outdoor cinema, Skateboard track, Platform for Outdoor Activities

PR-CRP-000646: PARQUE RECREATIVO MULTIFUNCIONAL

1.3 Project Location



Park for Children under 10 years, Restroom area, mechanical rooms, and administrative Office:

1.4 Project Location



Open area enabled for itinerant activities

PR-CRP-000646: PARQUE RECREATIVO MULTIFUNCIONAL

Existing Conditions:

The proposed project is in the urban area of the municipality of Vega Alta. The proposed lot is vacant but with some infrastructure that served in the past for Center of Diagnostic and Treatment (CDT) of municipality of Vega Alta. In this area there are shops, schools, public square, restaurants, cafes, etc. in a state of economic recession due to deterioration caused by atmospheric phenomena. The development of the project will promote tourism and boost the local economy. A revitalization to promote development in different economic and social aspects.

1.1 Project Location



Area for the operation of "Food Trucks" or food concessionaires, Pet Park, Parking for about 50 vehicles, Walking circuit:

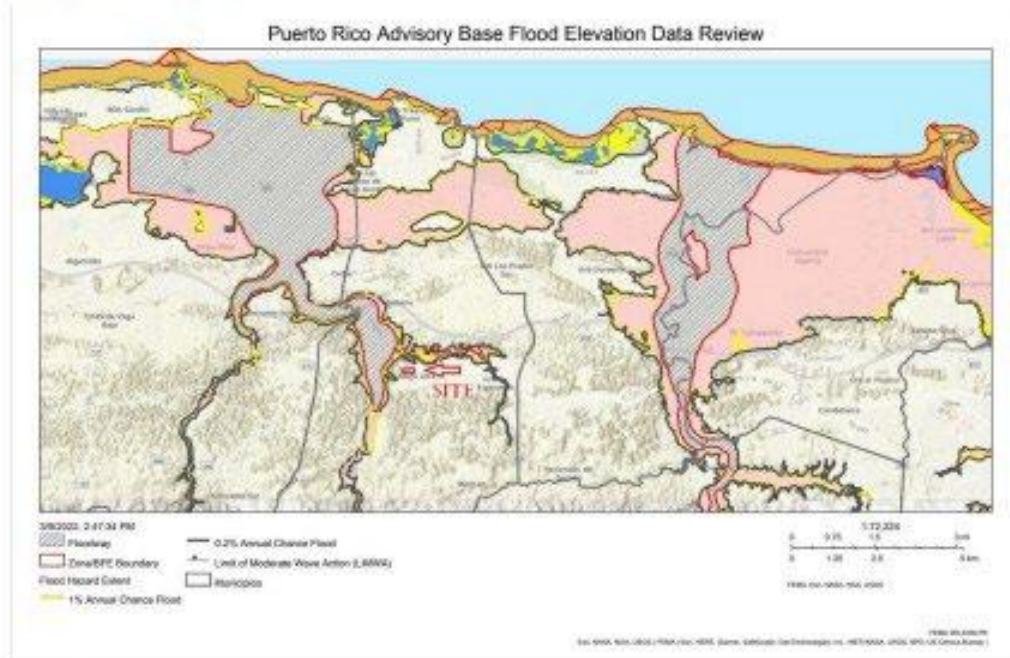
1.2 Project Location



Outdoor cinema, Skateboard track, Platform for Outdoor Activities

PR-CRP-000646: PARQUE RECREATIVO MULTIFUNCIONAL

Coastal Zone Management



Coastal Barrier Resources Act





United States Department of the Interior

FISH AND WILDLIFE SERVICE

Caribbean Ecological Services
Field Office
P.O. Box 491
Boqueron, PR 00622



In Reply Refer To:
FWS/R4/CESFO/BKT/HUD

JAN 14 2013

Mr. Efrain Maldonado
Field Office Director
U.S. Department of Housing and Urban Development
235 Federico Costa Street, Suite 200
San Juan, Puerto Rico 00918

Re: Blanket Clearance Letter for Federally
sponsored projects, Housing and Urban
Development

Dear Mr. Maldonado:

The U.S. Fish and Wildlife Service (USFWS) is one of two lead Federal Agencies responsible for the protection and conservation of Federal Trust Resources, including threatened or endangered species listed under the Endangered Species Act of 1973 (16 U.S.C. 1531 et seq.) (ESA). In the U.S. Caribbean, the USFWS has jurisdiction over terrestrial plants and animals, the Antillean manatee and sea turtles when nesting. The National Marine Fisheries Service has jurisdiction over marine species, except for the manatee. The ESA directs all Federal agencies to participate in conserving these species. Specially, section 7 of the ESA requires Federal agencies to consult with the USFWS to ensure that actions they fund authorize, permit, or otherwise carry out will not jeopardize the continued existence of any listed species or adversely modify designated critical habitat. The USFWS issued regulations in 1986 detailing the consultation process. As part of this consultation process, the USFWS review development projects to assist Federal agencies on the compliance of the ESA.

The U.S. Department of Housing and Urban Development (HUD) typically allocate grant funds for rural and urban development projects. Obligations under the ESA, as well as the National Environmental Policy Act (NEPA), require HUD to perform consultation and an environmental impact review prior to the project's authorization. Primarily, these projects involve repair or reconstruction of existing facilities associated with developed land.

In order to expedite the consultation process, the Caribbean Ecological Services Field Office has developed this Blanket Clearance Letter (BCL) to cover for activities and projects that typically result in no adverse effects to federally-listed species under our jurisdiction. If projects comply with the project criteria discussed below, no further consultation with the USFWS is needed.

Mr. Maldonado

2

Project Criteria

1. Street resurfacing.
2. Construction of gutters and sidewalks along existing roads.
3. Reconstruction or emergency repairs of existing buildings, facilities and homes.
4. Rehabilitation of existing occupied single family homes, and buildings; provided that equipment storage or staging areas are not located on vacant property harboring a wetland and/or forested vegetation and that the lighting associated to the new facilities is not visible directly or indirectly from a beach.
5. Demolition of dilapidated single family homes or buildings; provided that the demolition debris is disposed in certified receiving facilities; equipment storage or staging areas are not located on vacant property harboring a wetland and/or forested vegetation.
6. Rebuilding of demolished single family homes or buildings, provided that the new construction is within the existing footprint of the previous structure and/or within pre-existing grassed or paved areas, and that the lighting associated to the new facilities are not visible directly or indirectly from a beach.
7. Activities within existing Right of Ways (ROWs) of roads, bridges and highways, when limited to actions that do not involve cutting native vegetation or mayor earth moving; and are not located within, or adjacent to, drainages, wetlands, or aquatic systems. These activities include the installation of potable water and sanitary pipelines.
8. Improvements to existing recreational facilities, including the installation of roofs to existing basketball courts, provided that the lighting associated to the facilities are not visible directly or indirectly from the beach.
9. Construction of electric underground systems in existing towns and communities, provided that the property is not a wetland area and the lighting associated to the facilities are not visible directly or indirectly from the beach.
10. Construction of facilities on vacant properties covered with grasses in urban areas, provided that the lighting associated to the facilities are not visible directly or indirectly from the beach.
11. Construction of houses, buildings or acquiring lands in urban areas covered by grass for relocation of low income families and/or facilities that have been affected by weather conditions.

Determination:

Based on the nature of the projects described above and habitat characteristics described on project criteria, we have determined that the actions and type of projects described above may be conducted within this BCL without adversely affecting federally-listed

Mr. Maldonado

3

species under our jurisdiction. Thus, consultation under Section 7 of the Endangered Species Act is not required.

In all situations, HUD, and the municipalities are expected to implement Best Management Practices, where applicable, to ensure that impacts from erosion and stream sedimentation are appropriately minimized.

The Service encourages your agency to enhance the conservation of our trust resources (i.e.; listed species, wetlands, aquatic habitats, migratory birds and marine mammals). We therefore, provide the following recommendations that have proven to help in this way.

Water Crossing Structures:

1. Use of bottomless culverts or single span bridges instead of traditional box or RCP culverts or any other water crossing structure that impacts the stream bottom, particularly in streams which support native fish. The use of bottomless culverts or a short span bridge would provide a more stable crossing and would not alter the stream habitat. However, if bottomless structures or bridges are not feasible due to cost or engineering constraints, we recommend the following criteria be used to maintain good habitat in the streams:
 - a. The stream should not be widened to fit the bridge since this can lead to sedimentation during low flows and possible bank erosion during high flows. Rather, the bridge should be designed to fit the stream channel at the point of crossing. Culverts should be sized to carry natural bank full flow. Additional flow can be capture by culverts placed at a higher elevation so as not to impact bank full flows.
 - b. Bridge abutments, wing walls or any other structures should not intrude into the active stream channel.
 - c. All culvert footings must be countersunk into the stream channel at both the invert and outlet ends at a minimum of 10% of the culvert height. This will align the water crossing structure with the slope of the stream.
 - d. Waterways must not be blocked as to impede the free movement of water and fish. Materials moved during construction, such as grubbing, earth fills, and earth cut materials must not be piled where they can fall back into the stream and block the drainage courses.
 - e. Appropriate erosion and/or sedimentation controls measures are to be undertaken to protect water quality until riverbanks are re-vegetated. It has been our experience that appropriate erosion and/or sedimentation control measures are not implemented properly by project contractors. In order to function properly, silt fences need to be buried 6" (proper depth is marked by a line on the silt fence) and supported at regular intervals by wood stakes. For that reason we are recommending that

Mr. Maldonado

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the enclosed drawing of proper silt fence installation is included in all final project construction plans.

- f. Upon completion of a water crossing construction, any temporary fill, must be removed from the construction area and disposed in a landfill.

Limitations:

Actions that do not meet the above project criteria, such as actions requiring placement of fill, disturbance, or modification to land outside of an existing access road or ROW; actions that occur on vacant property harboring a wetland and/or forest vegetation; actions requiring excavation, clearing of native vegetation, or alteration of storm water drainage patterns; or actions that require lighting which can be directly or indirectly seen from a beach, must be individually coordinated through the Caribbean Ecological Services Field Office and will be evaluated on a case by case basis.

The Service reserves the right to revoke or modify this BCL if:

1. New information reveals that the categories of work covered in this BCL may affect listed or designated critical habitat in a manner, or to an extent, not previously considered.
2. The categories of work included in this BCL are subsequently modified to include activities not considered in this review.
3. New species are listed or critical habitat designated that may be affected.

It is our mission to work with others, to conserve, protect and enhance fish wildlife and plants and their habitats for the continuing benefit of our people.

To obtain additional information on threatened and endangered species, you may visit our website <http://www.fws.gov/caribbean/ES> where you will also find the Map of the Species by Municipality and the Map of Critical Habitat. The USFWS has also developed a web based tool called IPac. Please visit <http://www.ecos.fws.gov/ipac> and familiarize yourself with the features we offer. We encourage you to begin your project planning process by requesting an **Official Species List** for your individual project that will include all species that may occur in the vicinity of the action area and includes a map of the action area. The site will also identify designated critical habitat, or other natural resources of concern that may be affected by your proposed project. At this time, best management practices or conservation measures are not available at the site but we expect the site to continue growing in its offering.

These maps provide information on the species/habitat relations within a municipality and could provide the applicants an insight if the proposed action is covered under this BCL or may affect a species, thus requiring individual review.

Mr. Maldonado

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If you have any additional question regarding this BCL, please do not hesitate to contact Marelisa Rivera, Deputy Field Supervisor, at 787-851-7297 extension 206.

Sincerely yours,


Edwin E. Muñiz
Field Supervisor

Enclosures (Fact Sheets)

cc: OCAM, San Juan
Office of Federal Funds, 78 Municipalities of Puerto Rico
AAA
PRFAA
DNER



US Fish and Wildlife Service

Ecological Services in the Caribbean

Caribbean Field Office

Project evaluation



Our mission is to conserve, protect and enhance fish and wildlife and their habitats through consultation, cooperation and communication for the continuing benefit of the American people.

Legal authorities:

- Endangered Species Act (ESA)
- Fish and Wildlife Coordination Act
- Migratory Bird Treaty Act
- Coastal Barriers Act

Roles and Responsibilities:

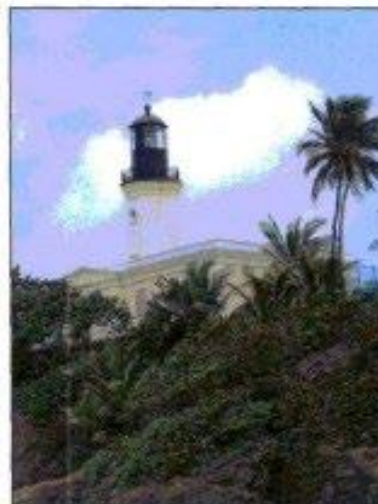
- Provide technical assistance to Federal and Commonwealth agencies to minimize possible impacts of land and water projects to our trust resources
 - *Wetlands and other aquatic habitats
 - *Endangered Species and their habitats
 - *Migratory Birds
 - *Critical Wildlife Areas
 - *Coastal Barriers
- Assist with ESA Section 7 compliance through informal and formal consultation processes

How do we assist others?

- Determine presence / absence of wetland resources, threatened and endangered species habitat, coastal barriers, important wildlife areas within the action area
- Evaluate possible direct, indirect and cumulative impacts
- Provide conservation recommendations to avoid, minimize and/or mitigate impacts
- General recommendations for habitat enhancement

Minimum requirements for the evaluation of projects:

- An 8.5 by 11 inch copy of the specific site location on a USGS topographic map (1:20,000) marked with an arrow (➡)
- Project description
- Aerial photo of the project site
- Latitude and Longitude (degrees, minutes and seconds or decimal degrees)
- Environmental Documents (EA and EIS)
- Specific studies (by qualified personnel)



For more information:

US Fish and Wildlife Service
Caribbean Field Office
Raod 301, Km. 5.1
Bo. Corozo

Boquerón, PR 00622

<http://www.fws.gov>

<http://www.fws.gov/caribbean/es>



US Fish and Wildlife Service

Caribbean Ecological Services Field Office

Endangered Species Lists Using Web-based Tools

The U.S. Fish and Wildlife Service's Caribbean Ecological Services Field Office (CESFO) provides technical assistance to private individuals and organizations, as well as Federal, state, and local agencies pursuant to the Endangered Species Act of 1973 (ESA) (87 Stat. 884, as amended; 16 U.S.C. 1531 et seq.). To assist project sponsors or applicants with the process of determining whether a Federally-listed species and/or "critical habitat" may occur within their proposed project area, we have developed Web-based tools. These tools were developed primarily to assist Federal agencies that are consulting with us under Section 7(a)(2) of the Endangered Species Act (ESA) (87 Stat. 884, as amended; 16 U.S.C. 1531 et seq.).

IPaC. The US Fish & Wildlife Service (USFWS) has a tool named IPaC. IPaC stands for Information, Planning, and Conservation. This system is designed for easy, public access to the natural resources information for which the USFWS has trust or regulatory responsibility. Examples include Threatened and Endangered species, migratory birds, National Refuge lands, Coastal Barrier Resource Units, and the management of invasive species. One of the primary goals of the IPaC system is to provide information in a manner that assists individuals in planning their activities within the context of natural resource conservation. The IPaC system also assists people through the various regulatory consultation, permitting and approval processes administered by the USFWS, helping achieve more effective and efficient results for both the project proponents and natural resources. Through IPaC, you can get a preliminary USFWS species list in addition to links to species life history information, the USFWS Migratory Bird program, and more. You can access IPaC at: <http://ecos.fws.gov/ipac>

CESFO List of Threatened & Endangered Species and Critical Habitat Designations. CESFO has developed another tool (Species Map) that can be used as a quick reference to find out where the Federally-listed species



are known to occur, as well as those likely to occur, in any given municipality in Puerto Rico and island in the

U.S. Virgin islands. It identifies general areas where the species may be located. However, it does not represent the absolute distribution of the species and does not constitute a recommendation or comment issued by our agency in reference to a proposed project. This list represents the best available information regarding known or likely occurrences of Federally-listed species and is subject to change as new information becomes available. You can access this database at <http://www.fws.gov/caribbean/es/PDF/Map.pdf>



Be aware that Section 9 of the ESA prohibits unauthorized taking of listed species and applies to Federal and non-Federal activities. Under the Act, it is illegal for any person subject to the jurisdiction of the United States to take (includes harass, harm, pursue, hunt, shoot, wound, kill, trap, capture, or collect; or to attempt any of these), import or export, ship in interstate or foreign commerce in the course of commercial activity, or sell or offer for sale in interstate or foreign commerce any endangered fish or wildlife species and most threatened fish and wildlife species. It is also illegal to possess, sell, deliver, carry, transport, or ship any such wildlife that has been taken illegally. "Harm" includes any act which actually kills or injures fish or wildlife, and case law has clarified that such acts may include significant habitat modification or degradation that significantly impairs

essential behavioral patterns of fish or wildlife. For projects not authorized, funded, or carried out by a Federal agency, consultation with the Service pursuant to Section 7(a)(2) of the ESA is not required. However, no person is authorized to "take" any listed species without appropriate authorizations from the Service. Therefore, we provide technical assistance to individuals and agencies to assist with project planning to avoid the potential for "take," or when appropriate, to provide assistance with their application for an incidental take permit pursuant to Section 10(a)(1)(B) of the ESA.

If the project is within the distribution of the species, additional information may be needed to determine the presence of habitat. In some cases, specialized surveys may be needed to determine the presence or absence of the species in a particular area.

For additional information on fish and wildlife resources or State-listed species, we suggest contacting the Puerto Rico Department of Natural and Environmental Resources and the U.S. Virgin Islands Department of Planning and Natural Resources.

For further assistance, please feel free to contact us at (787) 851-7297 or visit our Web page at www.fws.gov/caribbean/es if you need further assistance.

For further information visit our national websites at:

<http://www.fws.gov>

<http://ecos.fws.gov>



U.S. Fish & Wildlife Service

Consultations with Federal Agencies

Section 7 of the Endangered Species Act

The purposes of the Endangered Species Act are to provide a means for conserving the ecosystems upon which endangered and threatened species depend and a program for the conservation of such species. The ESA directs all Federal agencies to participate in conserving these species. Specifically, section 7 (a)(1) of the ESA charges Federal agencies to aid in the conservation of listed species, and section 7 (a)(2) requires the agencies to ensure that their activities are not likely to jeopardize the continued existence of listed species or adversely modify designated critical habitats.

How does the consultation process support the recovery of species and their ecosystems?

The Endangered Species Program of the U.S. Fish and Wildlife Service uses section 7 tools in partnership with other Service programs and other Federal agencies to collaboratively solve conservation challenges, as well as create opportunities, using section 7 consultations, to recover the ecosystems of listed species. Consultations also provide ways to implement recovery tasks by addressing threats to listed species that may result from Federal agency programs and activities.

What is the consultation process that occurs under section 7(a)(2)?

The provision under section 7 that is most often associated with the Service and other Federal agencies is section 7(a)(2). It requires Federal agencies to consult with the Service to ensure that actions they fund, authorize, permit, or otherwise carry out will not jeopardize the continued existence of any listed species or adversely modify designated critical habitats. The



In response to requests for consultations from the U. S. Coast Guard with regard to manatees and sea turtles, the South Florida Office of the U. S. Fish and Wildlife Service has provided guidance about events such as fireworks displays, regattas, boat parades and races, and fishing tournaments.

Service issued regulations in 1986 detailing the consultation process, and we have since completed a handbook describing the process in detail. The handbook is available on our web site at http://www.fws.gov/endangered/esa-library/pdf/esa_section7_handbook.pdf.

What is the Service doing to facilitate the consultation process?

Designing projects in ways that are compatible with the conservation needs of listed species and their ecosystems is among the most effective methods of ensuring a more rapid and efficient section 7 consultation process, as well as species' recovery. The Information, Planning, and Conservation System is an emerging tool for action agencies, their applicants, and other project proponents to use

during the initial phases of project development and assessment. The system will allow for more effective integration of listed resource conservation needs and the eventual streamlining of section 7(a)(2) consultation.

How does a consultation get started?

Early coordination is one of the most effective methods of (1) streamlining section 7 consultation, (2) reducing the need to make project modifications during the consultation process, and (3) improving the ability of section 7 to fulfill its role as a recovery tool. Federal agencies, applicants, and the Service engage in early coordination to develop methods of integrating proposed activities with the conservation needs of listed resources before the proposed actions are fully designed.

Before initiating an action, the Federal agency or its non-Federal permit applicant should coordinate with the Service as to the species that may be within their action area. If a listed species is present, the Federal agency must determine whether the project may affect it. If so, consultation may be required. If the action agency determines (and the Service agrees) that the project is not likely to adversely affect a listed species or designated critical habitat, and the Service concurs in writing, then the consultation (informal to this point) is concluded.

What happens if a Federal project may adversely affect a listed species?

If the Federal agency determines that a project is likely to adversely affect a listed species or designated critical habitat, the agency initiates formal consultation by providing information with regard to the nature of the anticipated effects. The ESA requires that consultation be completed within 90 days, and the regulations allow an additional 45 days for the Service to prepare a biological opinion. The analysis of whether or not the proposed action is likely to jeopardize the continued existence of the species or adversely modify designated critical habitat is contained in a biological opinion. If a jeopardy or adverse modification determination is made, the biological opinion must identify any reasonable and prudent alternatives that could allow the project to move forward.

The Service must anticipate any incidental take that may result from the proposed project and, provided that such take will not jeopardize the continued existence of the listed species, authorize that take in an incidental take statement. The latter contains clear terms and conditions designed to reduce the impact of the anticipated take to the species involved. The authorization of incidental take is contingent upon the Federal agency carrying out the terms and conditions. If the Service issues either a non-jeopardy opinion or a jeopardy opinion that contains reasonable and prudent alternatives, it may include an incidental take statement.



This Louisiana black bear was one of the largest ever captured on Texas River National Wildlife Refuge, weighing in at over 400 pounds. The bear was trapped using a leg-hold cable snare that does not injure the animal. The biological information obtained, including weight, sex, a tooth for aging, and other measurements, is part of the Service's ongoing research efforts to aid in the recovery of this threatened subspecies. Afterwards, the bear was released on site.

What is the consultation workload?

In Fiscal Year 2010, the Service assisted Federal agencies in carrying out their responsibilities under section 7 on more than 30,000 occasions. The vast majority of the workload was technical assistance to Federal agencies and informal consultations on actions that were not likely to adversely affect listed species or their designated critical habitat. A large percentage of projects, as initially planned, would have had adverse impacts to listed species, but were dealt with through informal consultation. In these situations, the Federal agency made changes to the project design so that adverse impacts to listed species were avoided.

What type of guidance is available for other Federal agencies?

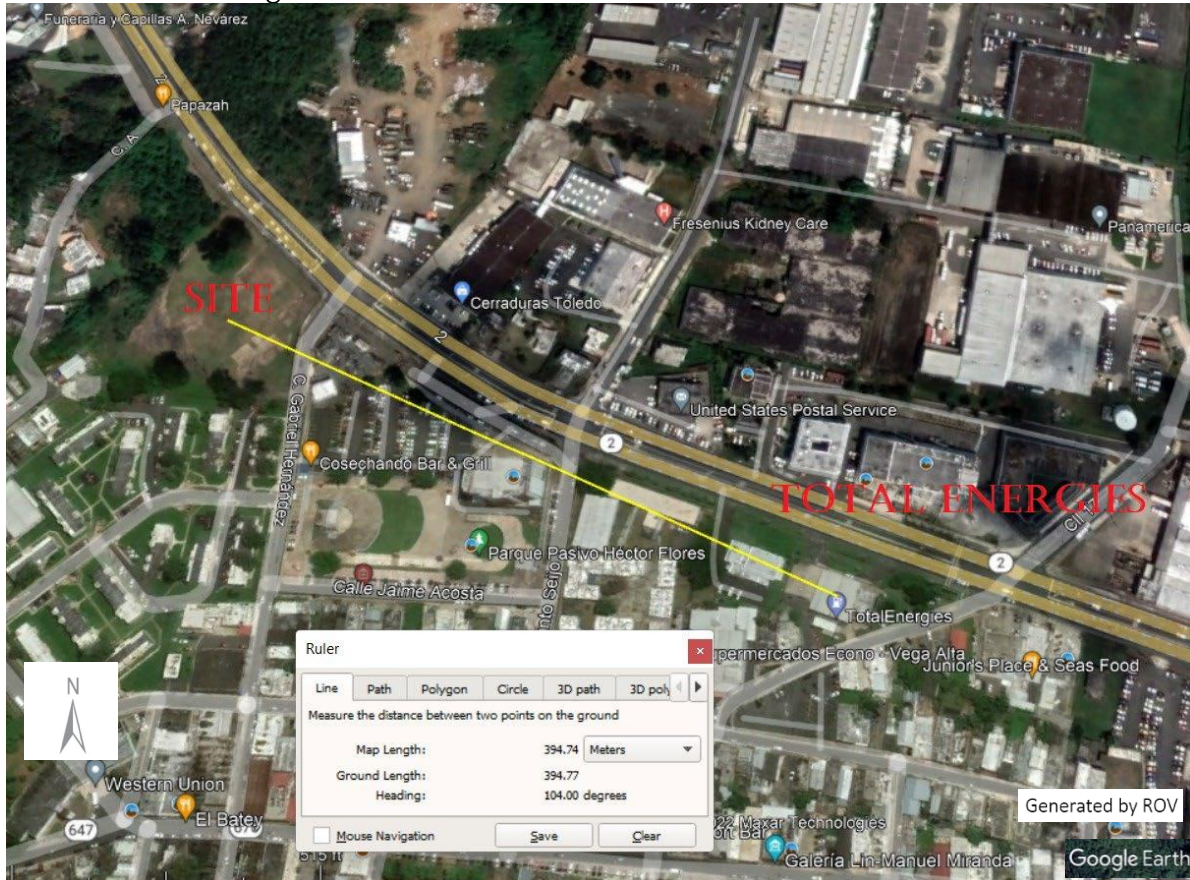
Guidance is available on our section 7 web site at <http://www.fws.gov/endangered/what-we-do/consultations-overview.html>. Please call us at 703-358-2171 if you have any questions, or see our Endangered Species Program Contacts at <http://www.fws.gov/endangered/regions/index.html> to locate a Service office in your area.

**U. S. Fish and Wildlife Service
Endangered Species Program
4401 N. Fairfax Drive, Room 420
Arlington, VA 22203
703-358-2171
<http://www.fws.gov/endangered/>**

April 2011

Exhibit 8. Explosive and Flammable Hazards

Distance to nearest gas station



Executive Summary by Distance

2022

MAP ID	SITE NAME	ADDRESS	DATABASE(S)	RELATIVE ELEVATION	DIRECTION / DISTANCE
A1	1era Bicletada Familiar Cristiana 3...	Plaza De Recreo, , , Ba...	PERMITS - PR		SP
A2	Ferretería Vega Alta Inc.	Ave. Muñoz Rivera, 71, Pu...	PERMITS - PR		SP
A3	FACILIDADES DE ESTACIONAMIENTOS...	Calle Geogetti, # 61, Pue...	PERMITS - PR		SP
A4	CLUB NUEVA IMAGEN	Calle Luis Muñoz Rivera, ...	PERMITS - PR		SP
B5	CONSULTORIO MEDICO (OFICINA MEDICA)	Calle Geogetti, Esquina ...	PERMITS - PR		SP
A6	CENTRO MULTIDISCIPLINARIO DEL CARIBE	Calle Muñoz Rivera , # 58...	PERMITS - PR		SP
B7	Marta Floral Art's	Calle Jacinto Seijo # 56,...	PERMITS - PR		SP
A8	EL PASEO RESTAURANT	Calle Munoz Rivera , Num....	PERMITS - PR		SP
C9	CAFETIN CON VENTA DE BEBIDAS AL...	Calle Luis Muñoz Rivera, ...	PERMITS - PR		SP
B10	SPEED & POWER II	Calle Union, Num. 72, Pue...	PERMITS - PR		SP
C11	Pebbles Nails	Calle Teodomiro Ramirez #4...	PERMITS - PR		SP
C12	TEXACO PR INC - ALBERTO FUERTES ...	MUNOZ RIVERA CORNER COLON	ECHO, FRs, RCRA_NONGEN		SP
C13	D'College ,Corp.	Calle Coln, #24, Pueblo, ...	PERMITS - PR		SP
A14	TROFEOS SOL Y MAR	Calle Teodomiro Ramirez, #...	PERMITS - PR		SP
15	PR PUBLIC HOUSING - FRANCISCO V ...	CARR 647 KM 30.9 CARR 6...	ECHO, FRs, FTTS INSP, RCRA_VSQG	Lower	W / 0.094 mi., 497 ft.
D16	VEGA ALTA PUBLIC SUPPLY WELLS	HIGHWAY 2 HIGHWAY 2 HIG...	CERCLIS-HIST, CONSENT (DECREES), DOCKET,...	N/R	N / 0.112 mi., 593 ft.
D17	VEGA ALTA PUBLIC SUPPLY WELLS	18.416545, -66.330505	CDC HAZDAT	N/R	N / 0.112 mi., 593 ft.
18	LUISE	ROAD #2 KM 25.4	CERCLIS NFRAP, SEMS_8R_ARCHIVED SITES	Higher	ENE / 0.444 mi., 2346 ft.
19	GE INDUSTRIAL OF PR LLC CARIBE G...	18 #800 LA PONDEROSA PR...	AFS, BRS, CORRACTS, ECHO, FRs, HIST AFS 2,...	Higher	E / 0.766 mi., 4046 ft.

Property Proximity Map

2022

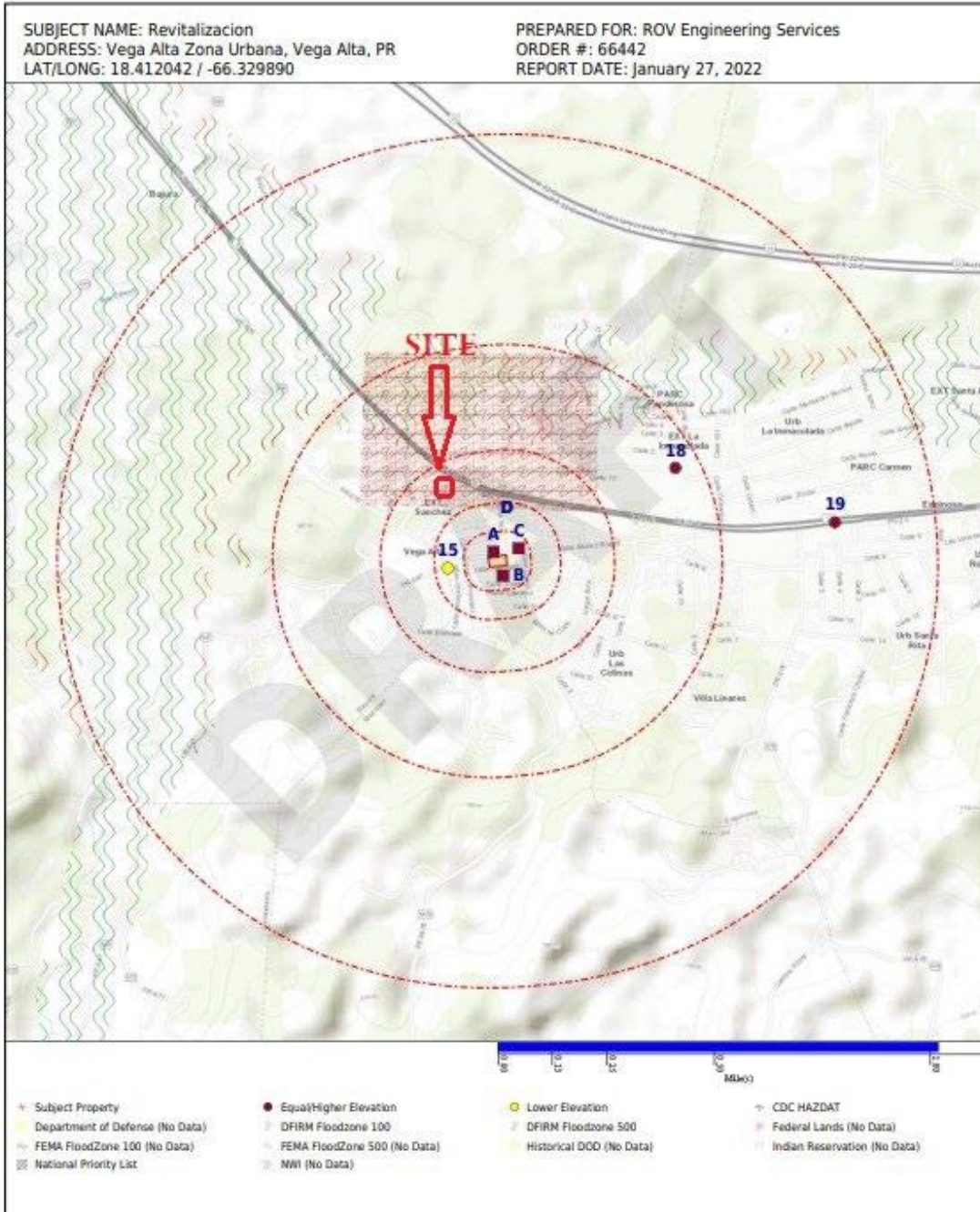


Exhibit 9. Farmland Protection

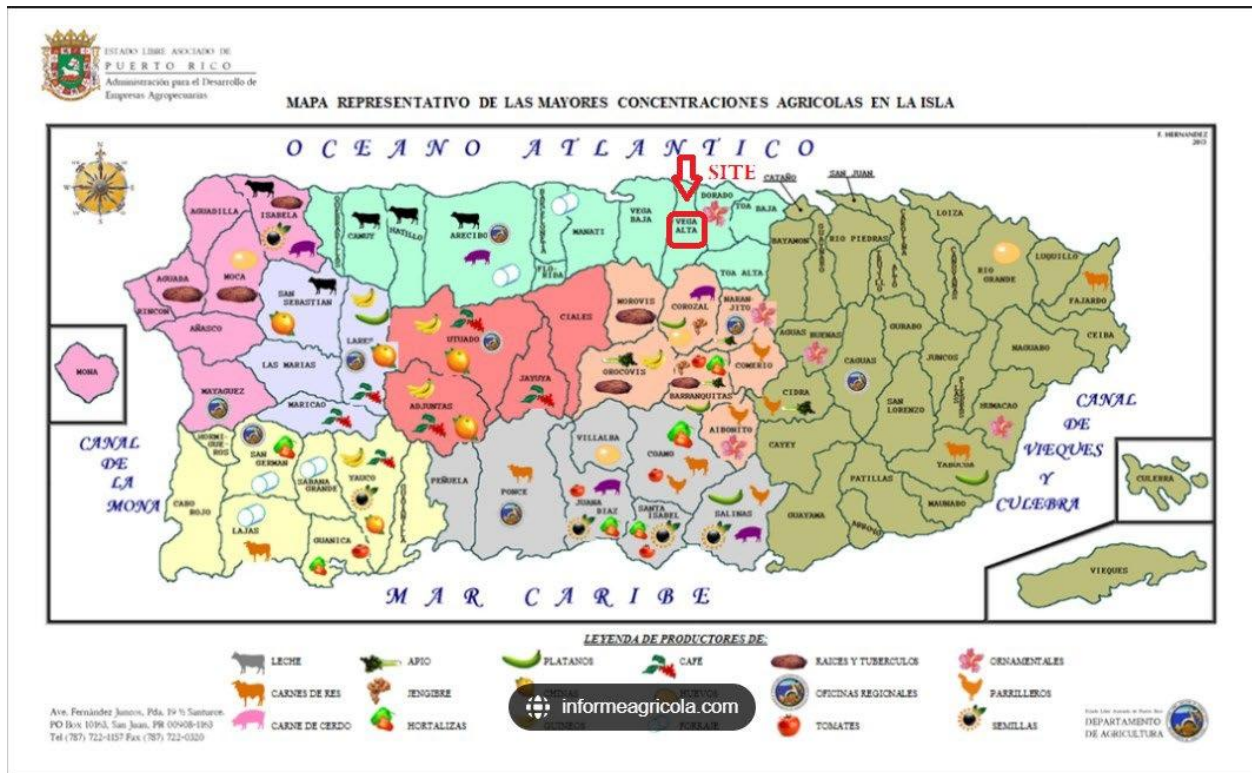
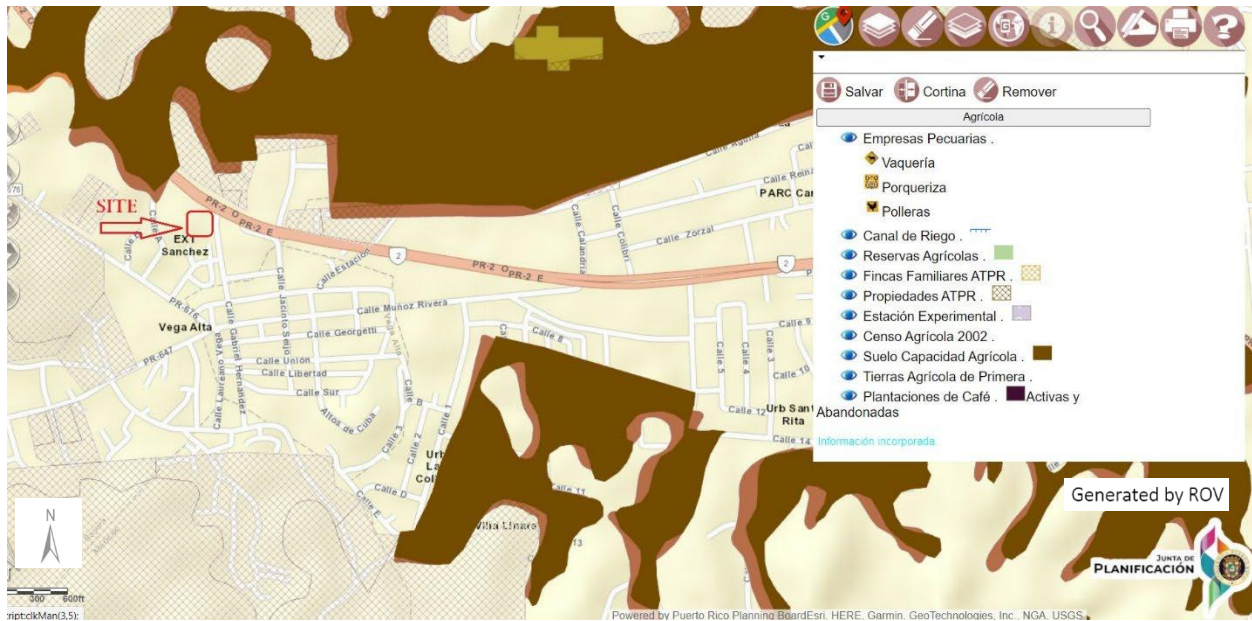


Exhibit 10. Historic Preservation

See documentation in the following pages.



GOVERNMENT OF PUERTO RICO
STATE HISTORIC PRESERVATION OFFICE

Executive Director | Carlos A. Rubio-Cancela | carubio@prshpo.pr.gov

Friday, June 24, 2022

Lauren Bair Poche

Historic Preservation Manager
HORNE Puerto Rico
10000 Perkins Rowe, Suite 610 Bldg G
Baton Rouge, LA 70810

SHPO: 05-20-22-02 PR-CRP-000646 / DESARROLLO DE PARQUE RECREATIVO
CON ESPACIOS PARA FOOD TRUCKS, VEGA ALTA, PUERTO RICO

Dear Ms. Poche,

The SHPO has received and reviewed the above referenced project in accordance with 54 USC 306108 (commonly known as Section 106 of the National Historic Preservation Act, as amended) and 36 CFR Part 800: *Protection of Historic Properties*. The State Historic Preservation Officer (SHPO) is to advise and assist federal agencies and other responsible entities when identifying historic properties, assessing effects upon them, and considering alternatives to avoid or reduce the project's effects.

Our records support your finding of **no historic properties affected** within the project's area of potential effects.

If you have any questions or comments regarding this matter or require our further assistance, do not hesitate to contact our Office.

Sincerely,

Carlos A. Rubio-Cancela
State Historic Preservation Officer

CARC/GMO/LGC/SG



May 20, 2022

Carlos A. Rubio Cancela
Director Ejecutivo
Oficina Estatal de Conservación Histórica
Cuartel de Ballajá (Tercer Piso)

Puerto Rico Disaster Recovery, CDBG-DR City Revitalization Program (CRP)

Section 106 NHPA Effect Determination Submittal for PR-CRP-000657, Desarrollo de Parque Recreativo con Espacios para Food Trucks Project, Vega Alta, Puerto Rico

Dear Architect Rubio Cancela,

On February 9, 2018, an allocation of Community Development Block Grant - Disaster Recovery (CDBG-DR) funds was approved by the United States Department of Housing and Urban Development (HUD) under the Federal Register Volume 83, No. 28, 83 FR 5844, to assist the Commonwealth of Puerto Rico in meeting unmet needs in the wake of Hurricanes Irma and Maria. On August 14, 2018, an additional \$8.22 billion recovery allocation was allocated to Puerto Rico under the Federal Register Volume 83, No. 157, 83 FR 40314. With these funding allocations, the Puerto Rico Department of Housing (PRDOH) aims to lead a comprehensive and transparent recovery for the benefit of Puerto Rico residents. To faithfully comply with HUD's environmental requirements, the Puerto Rico Department of Housing contracted Horne Federal, LLC (HORNE) to provide environmental records review services that will support the Department's objectives Puerto Rico Housing (PRDOH) for CDBG-DR.

On behalf of PRDOH and the subrecipient, the Municipality of Vega Alta, we are submitting documentation for the proposed Desarrollo de Parque Recreativo Con Espacios Para Food Trucks project. The full scope is described in the submitted documentation, which includes mapping, photographs, and the design drawings for the proposed construction. Based on the provided documentation, the Program requests a concurrence with a determination that "No Historic Properties Affected" is appropriate for this undertaking.

Please contact me by email at lauren.poche@horne.com or phone at 225-405-7676, or Ms. Sharon Meléndez Ortiz at sharon.melendez@hornepr.com.

Kindest regards,



Lauren Bair Poche

Architectural Historian, Historic Preservation Manager

Enclosures

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Vega Alta	
Project Name: Desarrollo de Parque Recreativo Con Espacios Para Food Trucks	
Project Number: PR-CRP-00646	

Project Location: Lot is located between #2 street and Gabriel Hernandez Street, Bo. Bajura	
Project Coordinates: 18.41461096 -66.33208863	
TPID (Número de Catastro): 058-067-057-16	
Type of Undertaking: <input type="checkbox"/> Substantial Repair <input checked="" type="checkbox"/> New Construction	
Construction Date (AH est.): N/A	Property Size (acres): 2.9796


SOI-Qualified Architect/Architectural Historian: Javish Muñiz Reyes
Date Reviewed: April 4, 2022
SOI-Qualified Archaeologist: Archaeo. Fernando Alvarado Muñoz 
Date Reviewed: May 13, 2022

In compliance with Section 106 of the National Historic Preservation Act (NHPA), the Program is responsible for identifying historic properties listed in the NRHP and any properties not listed that would be considered eligible for listing that are located within the geographic area of potential effects (APE) of the proposed project and assessing the potential effects of its undertakings on these historic properties.

Project Description (Undertaking)

As part of the City Revitalization program under CDBG-DR funds, the Municipality of Vega Alta has the necessity of revitalize the economy of the urban center and their communities. Creating spaces that promote the development of their communities in their economic and social revitalization, will help the Municipality to overcome the effects caused by hurricanes Irma and María. To help achieve these objectives, it has been considered the creation of a Recreational Park on the lot that is currently vacant and was once the land of the old Vega Alta Diagnostic and Treatment Center (CDT) until 2014. This lot is located on Gabriel Hernández Street, corner of highway PR-2 KM 31.4. It comprises a plot area of 12,058.19 square meters owned by the Municipality under the cadaster number 058-067-057-16. It is located in zone X according to the FEMA Flood Maps sheet #72000c0315J effective as of November 18, 2009. The Recreational Park Development has strategic connection points that provide a sequence at the urban level on the appropriation of space to the extent that it connects to the south at the pedestrian level with the Héctor Flores Passive Park, which leads to the José D. Rosado Linear Walk, ending with Gilberto Concepción de Gracia Public Square, configuring a safe and pleasant section for those who take ownership of the place and for the enjoyment of surrounding residents.


The lot is visually perceived from the #2 Street, km. 314 and Gabriel Hernández Street entrance to the urban area.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	 GOVERNMENT OF PUERTO RICO DEPARTMENT OF HOUSING
Subrecipient: Autonomous Municipality of Vega Alta	
Project Name: Desarrollo de Parque Recreativo Con Espacios Para Food Trucks	
Project Number: PR-CRP-00646	

The location of the park has a surrounding population which is identified within the profile of low or moderate income. According to studies in the area, 81% of LMI is present. The project has easy pedestrian access from Gabriel Hernández Street. In the same way it has vehicular access from the #2 street through Gabriel Hernández Street and from the urban area through the same street. The design of the park provides a series of entrances inside that will allow users to move different activities. The integration of vegetation within the recreational space is taken into account to create a balance in temperatures and keep the area cool. The park will be one of open space but the area will be delimited with a concrete and steel fence at half height (Figure #1 – Page #11.)

The proposed recreational Park comprises an area of 12,058.19 meters and will consists of the following improvements;

1. **Skating Area:** The facility will be located in the north area of the park and will be consists of ramps and railings for skating of different styles and sizes with the purpose of making it diverse for skaters. It will be surrounded by vegetation and lights as accessories to make it more enjoyable for visitors. In addition, it will have concrete benches for resting.
2. **Children's Play Area:** This facility is located in the east side of the skating area and will be composed of slides and swings. To minimize accidents in the facility, an impact absorption mat will be installed. In addition, to repelling the sun, the area will be covered by canopy style roof.
3. **Area For Canines:** This facility will be located in the southeast area of the park and includes recreation stations, a playground, exercise area, benches and different facilities for pets. In this area the vegetation will be integrated and it will have lighting.
4. **Cinema Area:** This facility is located in the southwestern area of the park and includes concrete platforms and benches with electrical installation and lighting. The facility is designed to be outdoors and will have a seating capacity of 250 viewers. For this activity, a video and sound control area is designated, which will be made of concrete and will be located in the area behind the benches. Both facilities will be surrounded by vegetation.
5. **Food Trucks Area:** This facility is located in the central east area of the park and will consist of a space enabled to park between 7 to 14 food trucks for the consumption and enjoyment of all visitors. This area will have infrastructure for electrical outlets and will have a grease trap system for the elimination and disposal of grease from the kitchen.


PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Vega Alta	
Project Name: Desarrollo de Parque Recreativo Con Espacios Para Food Trucks	
Project Number: PR-CRP-00646	

6. Food Area: This facility is located in the central east area and will serve as a dining room. It will be roofed with a canopy and will have electrical infrastructure. The ground will be gravel and the area will be surrounded by Food Trucks.
7. Office and Restroom Area: This facility is located in the center of the park and will be built in concrete. It will be built for the use of administrative activities and will have men's and women's bathrooms for the use of all visitors.
8. Parking Area- This facility will be made up of two sections. The first section is located in the southern area of the park and will have facilities to park 15 cars in addition to motorcycles and bicycles. It will be built with an asphalt finish and will have light poles. The second section is located in the southwest area and will have parking for approximately 34 cars. It will be built with gravel finish and will have lighting poles.

The Recreational Park will be built with facilities for drinking water and electricity using elements for energy savings. According to design, the deepest that the electrical pipe will be installed is 60 inches. For potable and sanitary water pipes, the maximum depth of pipe installation according to design will be 48 inches. Access to the different areas of the park will be through the construction of concrete sidewalks and will have ramps and access for people with disabilities following the ADA Law and all current regulations.

Taking advantage of its excellent location, it is intended that this Recreational Park be a strategic point in times of emergency where people's basic needs can be met, such as medical and psychological assistant, food supply, drinking water, electricity service, internet services and open spaces to shelter a large number of people.

See attached plans for details.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Vega Alta	
Project Name: Desarrollo de Parque Recreativo Con Espacios Para Food Trucks	
Project Number: PR-CRP-00646	

Area of Potential Effects


As defined in 36 CFR §800.16(d), the area of potential effects (APE) is the geographic area or areas within which an undertaking may directly or indirectly cause changes in the character or use of historic properties if any such properties exist. Based on this definition and the nature and scope of the Undertaking, the Program has determined that the direct APE for this project is the 058-067-057-16 Lot and the Gabriel Hernandez Street and A Street. The visual APE is the viewshed of the proposed project. As expected and due to the area having enough space inside, all equipment or material will be stored within the project footprint. No other property or structure will be appropriated or used for purposes of the creation and development of the project (Figure #1 – Page #11.)

Identification of Historic Properties - Archaeology

Existing information on previously identified historic properties has been reviewed to determine if any such properties are located within the APE of this undertaking. The review of this existing information, by a contracted Historic Preservation Specialist meeting the Secretary of the Interior’s Professional Qualification Standards (36 CFR Part 61), shows that the project area does not address archeological resources and potential for intact deposits.

Based on the research and data obtained from the Institute of Puerto Rican Culture and the State Historic Preservation Office and following the quarter mile project extension, the Previous Investigation demonstrated (Figure #4 on Page #14);


Study Identification	Type	Author	Results & Recommendations	Distance from the Project
ICP/CAT-VA-03-09-04 (Line Replacement in 2003)	1A Phase	Andres Principe	Negative-Proceed with Phase 1B Study	.12 Miles
ICP/CAT-VA-03-09-04 (Industrial Corp. New Facilities in 2004)	1A Phase	José A. Rivera Melendez	Negative-Project was endorsed in January 28, 2004	.15 Miles

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Study Identification	Type	Author	Results & Recommendations	Distance from the Project
DD0050 (Replacement of 38 KV Line Dorado-Vega Alta Num 00074 in 20040)	1B Phase	Arql. Andres Principe	Negative	.6 Miles approx.
DD0029 (Dorado Regional Facilities Wastewater Master Plan A Alternative, Treatment Plant Moserrate Sector, BO. Sabana Seca, Toa Alta & Land Outfall, BO Mameyal Dorado in 1988)	IA-IB Phase	Arql. Miguel Rodríguez	Positive-Phase 1B Study was recommended because apparently lines pass through train tracks.	.16 Miles approx.

Other researches and data obtained from the State Historic Preservation and following the quarter mile project extension, the Previous Investigation demonstrated;

Study Identification	Type	Author	Results & Recommendations	Distance from the Project
10-03-96-03 (Addendum-Sanitary System in Maricao Community in March 1999)	1B Phase	Virgina Rivera	Negative	.12 Miles approx..
10-05-99-03 (Sewer Sanitary System in Ponderosa & Espinosa Community in November 1987)	1A-1B Phase	Jesus Vega	Negative	.3 Miles approx.
02-02-95-02 (Pluvial System Improvements in Luis Muñoz Rivera Street in October 30 1995)	1A Phase	Marisol Rodríguez	Negative	.15 Miles approx..

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
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Preliminary Results:

Base on the investigations and resources found, to date no archeological resource is identified or evidenced within or near where the proposed project will be located. It has been investigated and it has been known that this land was previously used as an agricultural area. It was not until 1967 that a medical structure was identified on the land where the project is going to be built and we understand that its foundations must remain underground. As a result of this and knowing that this area was previously intervened, we understand that the potential of there being any deposit of pre-Columbian or Historic archeological interest are minimal (Figure #10 & #11 on Page #20 & #21).

Identification of Historic Properties – Architecture

Existing information on previously identified historic properties has been reviewed to determine if any such properties are located within the APE of this undertaking. The review of this existing information, by a Program contracted Historic Preservation Specialist meeting the Secretary of the Interior’s Professional Qualification Standards (36 CFR Part 61), shows that the project area is not within the boundaries of any of the National Register of Historic Places properties (NRHP) listed.

According to the information obtained from the design carried out by the firm EHA Engineering, PSC, the project only impacts the footprint of the aforementioned site. Being a project where only lands exist, there is no historical or non-historical structure to consider. The structure that was previously inside the lot was a Center of Diagnostic Treatment in the Town of Vega Alta, which was demolish in 2014.

Based on the research and data obtained from the Institute of Puerto Rican Culture and the State Office of Historic Preservation and following the quarter mile project extension, the Previous Recorded Cultural Resources are the following;

Iglesia de la Inmaculada Concepción – According to researchers by E. Cardina, and M. Gómez, reviewed by Larissa Garcia Cabrera in 2016 and according to the official number VA-16 of the State Office of Historic Preservation and the official number VA-7 in the Institute of Puerto Rican Culture with reports of A. Daubón in 1993 and J. López in 2005, the church located between Luis Muñoz Rivera Street, Colón Street And Georgetti Street, it is a previous cultural resource in the town of Vega Alta. The church was built in 1831 and represents great historical and cultural value and is a great example of urban planning, characteristic of the Spanish Colonial period. The church composed of masonry has had few interventions in the XIX Century. The church was registered on September 18, 1984 in the National Register of Historic Places.

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José de Diego Grated School- According to researchers by Rafael Pumarada, reviewed by Larissa García Cabrera in 2016 and according to the official number VA-17 of the State Office of Historic Preservation, the school located between Teodomiro Ramírez Street and Jacinto Seijo, it is a previous cultural resource in the town of Vega Alta, The school was built in 1923 and represents great historical and cultural value and is a great example of urban development of the period. The school was originally composed of concrete in the floor, windows wood, and steel roof decking and contains six classrooms.

For the terms of reference, so far, the only structure listed on The National Register of Historic Places is The Church of the Immaculate Conception on September 19, 1984. The church is located on Avenida Muñoz Rivera about .19 miles from the closet point of the proposed project. However, there are few structures with historical value within a quarter mile radius of the project that should be noted.

Building	Direction	Cultural Context	Condition
058-078-022-02 (House)	Union Street, Vega Alta	XIX-XX	Deteriorating condition
058-078-006-22 (Building)	Muñoz Rivera Street, Vega Alta	XIX-XX	Abandone
058-078-013-04 (House)	Muñoz Rivera Street, Vega Alta	XIX-XX	Ruins
058-078-012-02 (Church)	Muñoz Rivera Street, Vega Alta	XIX	Good
058-078-012-01 (Square)	Muñoz Rivera Street, Vega Alta	XIII-XIX	Good
058-078-006-17 (House)	Muñoz Rivera Street, Vega Alta	XIX-XX Former Mayor's House	Regular
058-078-006-18 (House)	Muñoz Rivera Street, Vega Alta	XIX-XX	Regular
058-067-001-01 (Residencial Francisco Vega Sanchez)	Calle Gabriel Hernández, Vega Alta	XX	Good
058-077-035-02 (Cementerio Nuestra Señora del Carmen)	PR-676	XIX-XX	Good

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	 GOVERNMENT OF PUERTO RICO DEPARTMENT OF HOUSING
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Project Number: PR-CRP-00646	

A Brief Summary of the Area to be Impacted

The plot of land located in the Barrio Pueblo in Vega Alta, with a surface of 12,065 square meters was sold for \$24,549.00 dollars by the Urban Renewal and Housing Corporation of Puerto Rico, represented by Mr. José R. Vélez Torres, in favor of the Commonwealth of Puerto Rico, represented by the Secretary of Public Works, Mr. Francisco Lizardi on March 15, 1966.

According to the history of the town of Vega Alta for the XIX century and according to the topographic maps of 1886 and the municipality sketch of the municipality made by the corps of military engineers, the urban area of the municipality was in early development with access to the town through the PR-2 highway to the east towards Bayamon, Toa Alta and Toa Baja (Figure #7 on Page #17).

To the west with access through the PR-676 highway towards Vega Baja. For this period, the area designated for the construction of the recreational park was not delimited or occupied in any way (Refer to the figures #6 & #7 on pages #16 & #17). Later according to the development of the municipality for the XX century, we can see the boundaries of the wards, municipal boundary, the development of more roads and the urban area, specifically in the 1955 map of the Planning Board Office of Puerto Rico (Refer to the figure #8 on page #18). For that period, the area designated for the project was not yet occupied.

In the year 1967, according to the satellite maps of Puerto Rico, a structure is observed on the land where the project is intended to be developed (Figure #10 on Page #20). This described in the deed of acquisition and transfer and constitution of usufruct in favor of the Vega Alta Municipality and the Administration of the Addiction Mental Health Administration dated August 14 2008. The document shows that in 1966 this structure was used as a Diagnostic and Treatment Center (CDT) of the Municipality of Vega Alta, owned by the Commonwealth of Puerto Rico.

The CDT was located within the plot of land located in the Pueblo ward of the Municipality of Vega Alta Puerto Rico, with a surface area of twelve thousand sixty square meters and seventy six hundredths of a square meters; equivalent to three "cuerdas" with six hundred eighty-six eight thousandths of passage of state highway PR 2, to the south by vacant lot of the Corporation and the Urban Renewal and Housing of Puerto Rico where the Francisco Vega Sánchez Public development is located; to the east with the right of way of Gabriel Hernández street and to the west, with property of the Municipality of Vega Alta. It is register on page one hundred and forty-three of Vega Alta, Farm number one thousand five hundred and sixty-nine Property Registry of Bayamon.

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The Center of Diagnostic Treatment was acquired by the Municipality of Vega Alta in August 14, 2008, by representation of the Municipality Mayor, Hon. Isabelino Molina Hernández, and by that date the rights of use were transferred to the Administration of Addiction Mental Health (AMSCA), by representation of Dr. José Luis Galarza Arbona. According to the satellite maps for the date of December 2014, the CDT no longer existed (Refer to the figure #12 on page #22). The structure was last seen on the proposed project site in August 2014 (Refer to the figure #11 on page #21). Since the lot is vacant. Is not until this time that the municipality wants to reuse this land to develop it.

Conclusion;

Based on the documents researched this area was used for agricultural purposes until the CDT buildings were built in the late 1960's. The buildings were demolished circa 2014. As a result of the analysis, we can conclude there's no known cultural resources within the APE that can be directly affected. We can expect that during the earth movement remains of the foundation of the CDT will be found. This remains are not identified as a historic resource.

The conclusion is that NO undisturbed cultural remains are expected to be impacted or adversely affect during construction. Because is a previously disturbed area the possibilities for containing unknown cultural resources is low.

So is our recommendation that no additional studies should be required for this project,

Determination

The following historic properties have been identified within the APE:

- Direct Effect: Based on the results of the historic property identification efforts, the program has determined that the project actions will not affect historic properties within the APE. The project only impacts the footprint of the lot (cadaster number 058-067-057-16).
- Indirect Effect: No Indirect Effect was identified. No additional study is recommended.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	 <small>GOVERNMENT OF PUERTO RICO DEPARTMENT OF HOUSING</small>
Subrecipient: Autonomous Municipality of Vega Alta	
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Project Number: PR-CRP-00646	

Recommendation (Please keep on same page as SHPO Staff Section)

The Puerto Rico Department of Housing requests that the Puerto Rico SHPO concur that the following determination is appropriate for the undertaking (Choose One):

- No Historic Properties Affected
- No Adverse Effect
 - Condition (if applicable):
- Adverse Effect

This Section is to be Completed by SHPO Staff Only

The Puerto Rico State Historic Preservation Office has reviewed the above information and: <input type="checkbox"/> Concurs with the information provided. <input type="checkbox"/> Does not concur with the information provided.	
Comments: 	
Carlos Rubio-Cancela State Historic Preservation Officer	Date:

Subrecipient: Autonomous Municipality of Vega Alta

Project Name: Desarrollo de Parque Recreativo Con Espacios Para Food Trucks

Project Number: PR-CRP-00646

Project (Parcel) Location – Area of Potential Effect Map (Aerial)



Figure #1

Subrecipient: Autonomous Municipality of Vega Alta

Project Name: Desarrollo de Parque Recreativo Con Espacios Para Food Trucks

Project Number: PR-CRP-00646

Territorial Map – Vega Alta

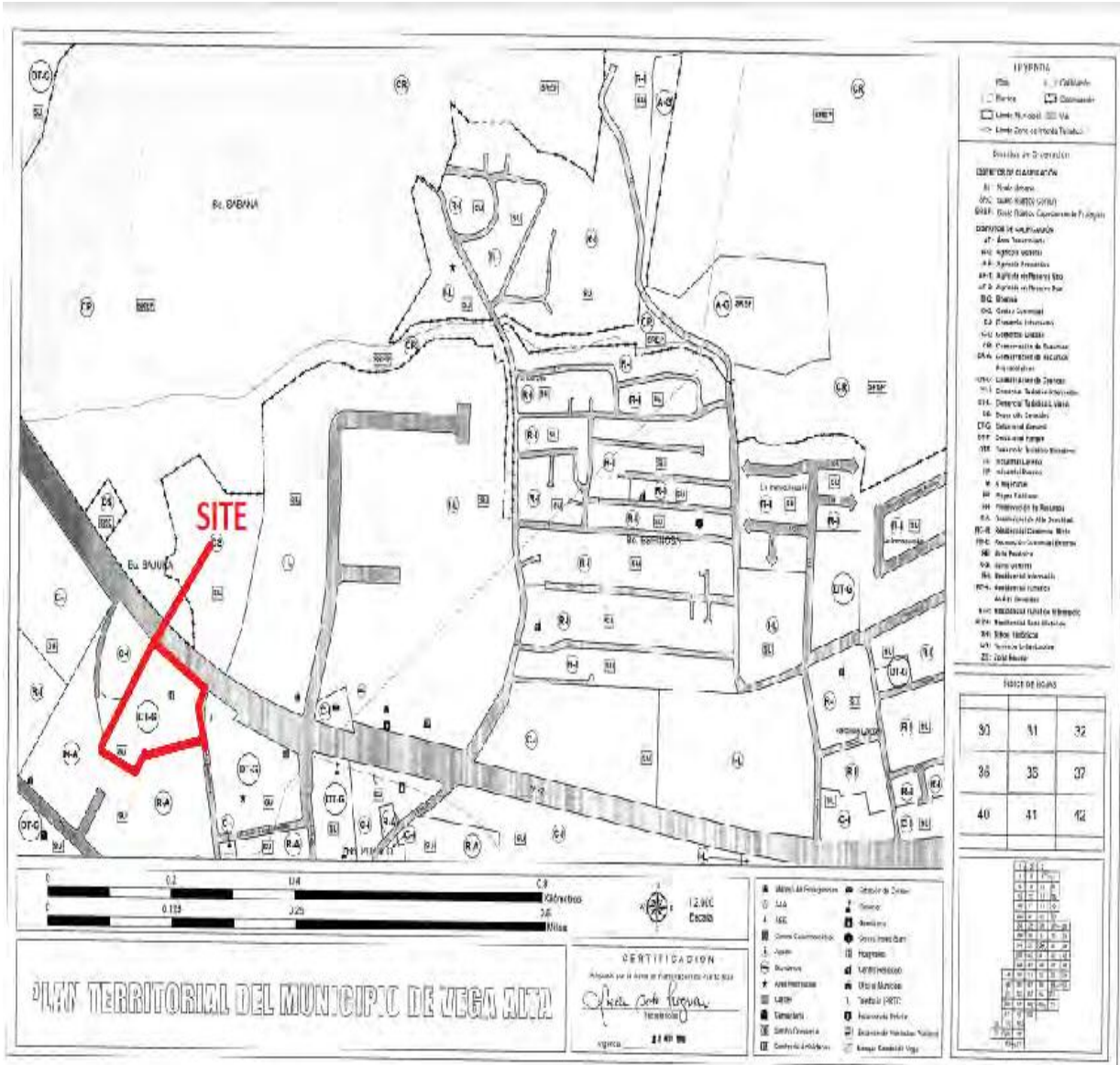


Figure #2

Subrecipient: Autonomous Municipality of Vega Alta

Project Name: Desarrollo de Parque Recreativo Con Espacios Para Food Trucks

Project Number: PR-CRP-00646

Project (Parcel) Location – Soils Map

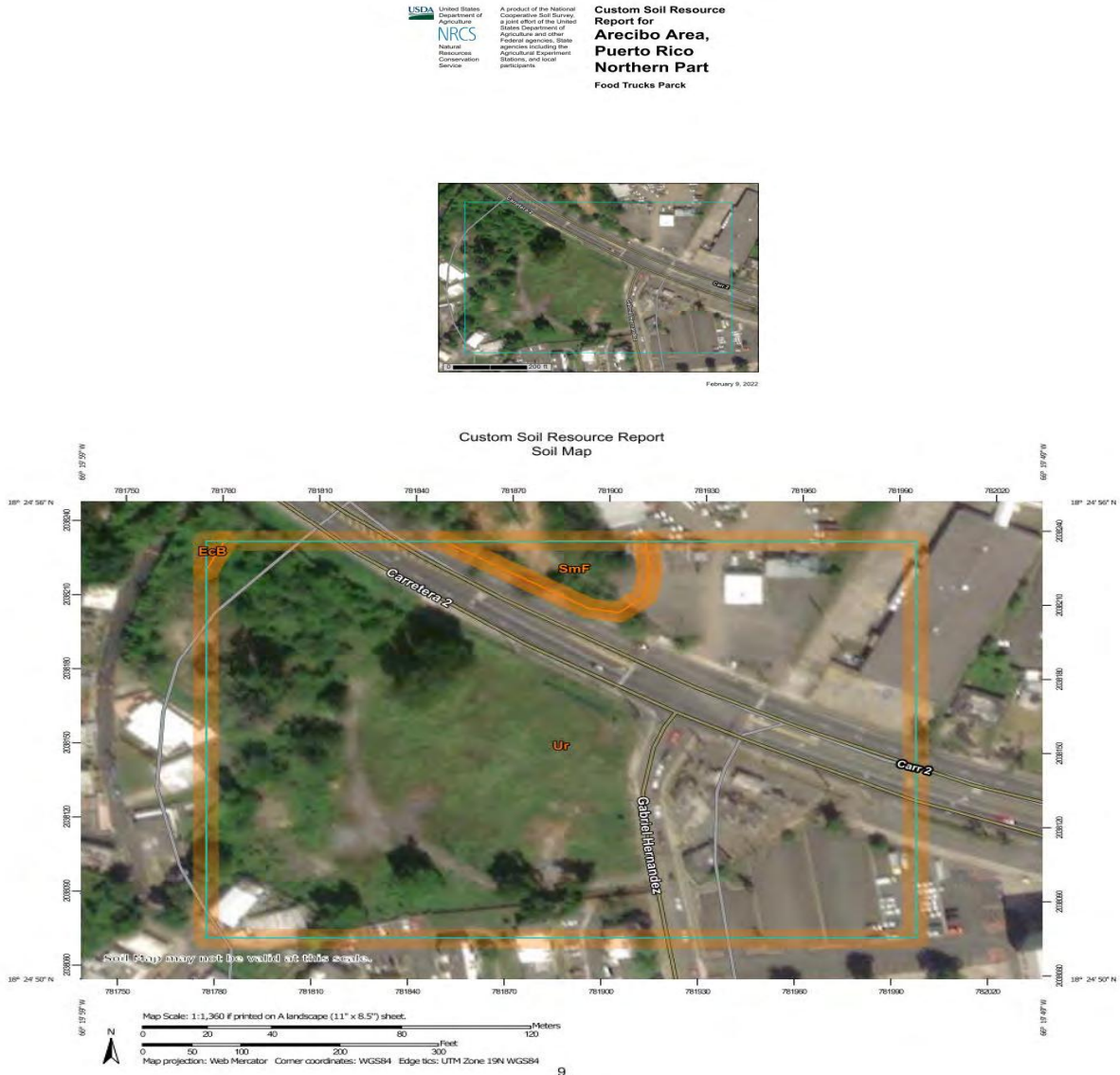


Figure #3

Subrecipient: Autonomous Municipality of Vega Alta

Project Name: Desarrollo de Parque Recreativo Con Espacios Para Food Trucks

Project Number: PR-CRP-00646

Project (Parcel) Location with Previous Investigations -Institute of Puerto Rican Culture
& State Historic Preservation Office Aerial Map



Figure #4

Subrecipient: Autonomous Municipality of Vega Alta

Project Name: Desarrollo de Parque Recreativo Con Espacios Para Food Trucks

Project Number: PR-CRP-00646

Project (Parcel) Location with Previous Recorded Cultural Resources–1969 USGS Topographic Aerial Map

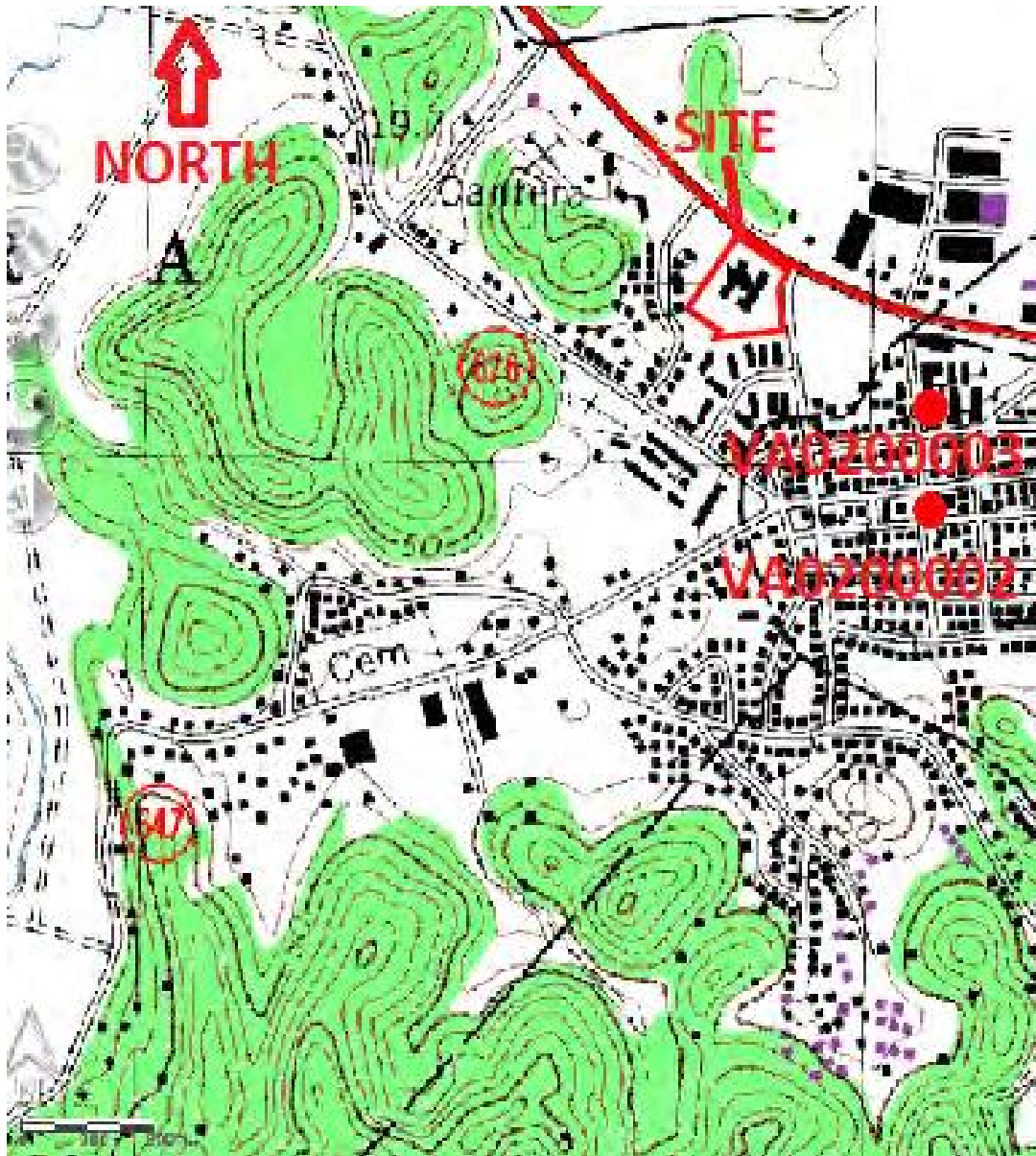


Figure #5

Subrecipient: Autonomous Municipality of Vega Alta

Project Name: Desarrollo de Parque Recreativo Con Espacios Para Food Trucks

Project Number: PR-CRP-00646

1866 Vega Alta Historic Map (Source: National Archive of Puerto Rico)

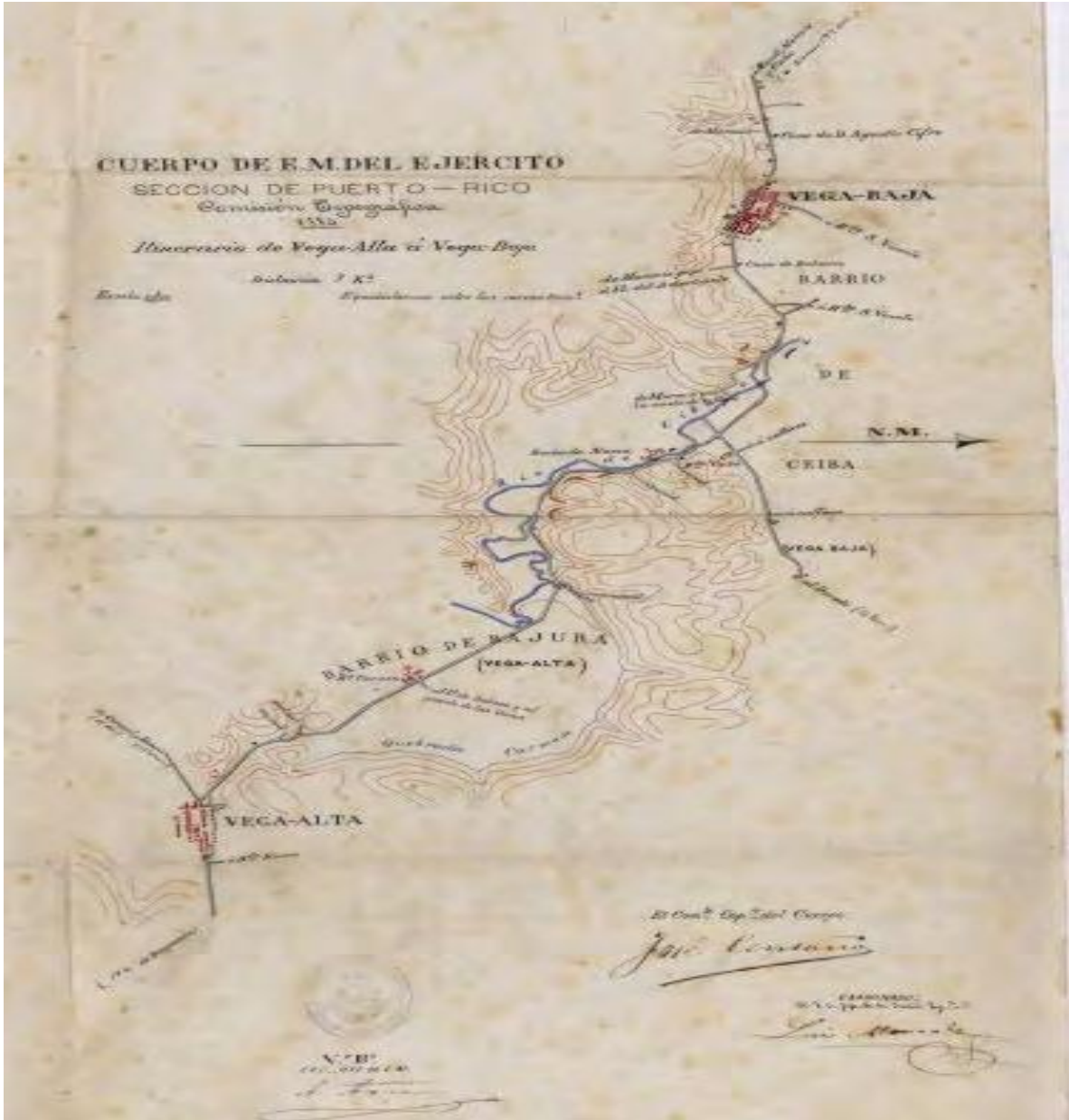


Figure #6

Subrecipient: Autonomous Municipality of Vega Alta

Project Name: Desarrollo de Parque Recreativo Con Espacios Para Food Trucks

Project Number: PR-CRP-00646

1886 Vega Alta Historic Map (Source: Institute of Puerto Rican Culture)



Figure #7

Subrecipient: Autonomous Municipality of Vega Alta

Project Name: Desarrollo de Parque Recreativo Con Espacios Para Food Trucks

Project Number: PR-CRP-00646

**1955 Planning Board Office Vega Alta Historic Map
(Source: Architecture and Construction Archive of the University of Puerto Rico)**



Figure #8

Subrecipient: Autonomous Municipality of Vega Alta

Project Name: Desarrollo de Parque Recreativo Con Espacios Para Food Trucks and Development

Project Number: PR-CRP-00646

1969 USGS Topographic Map - Vega Alta Map

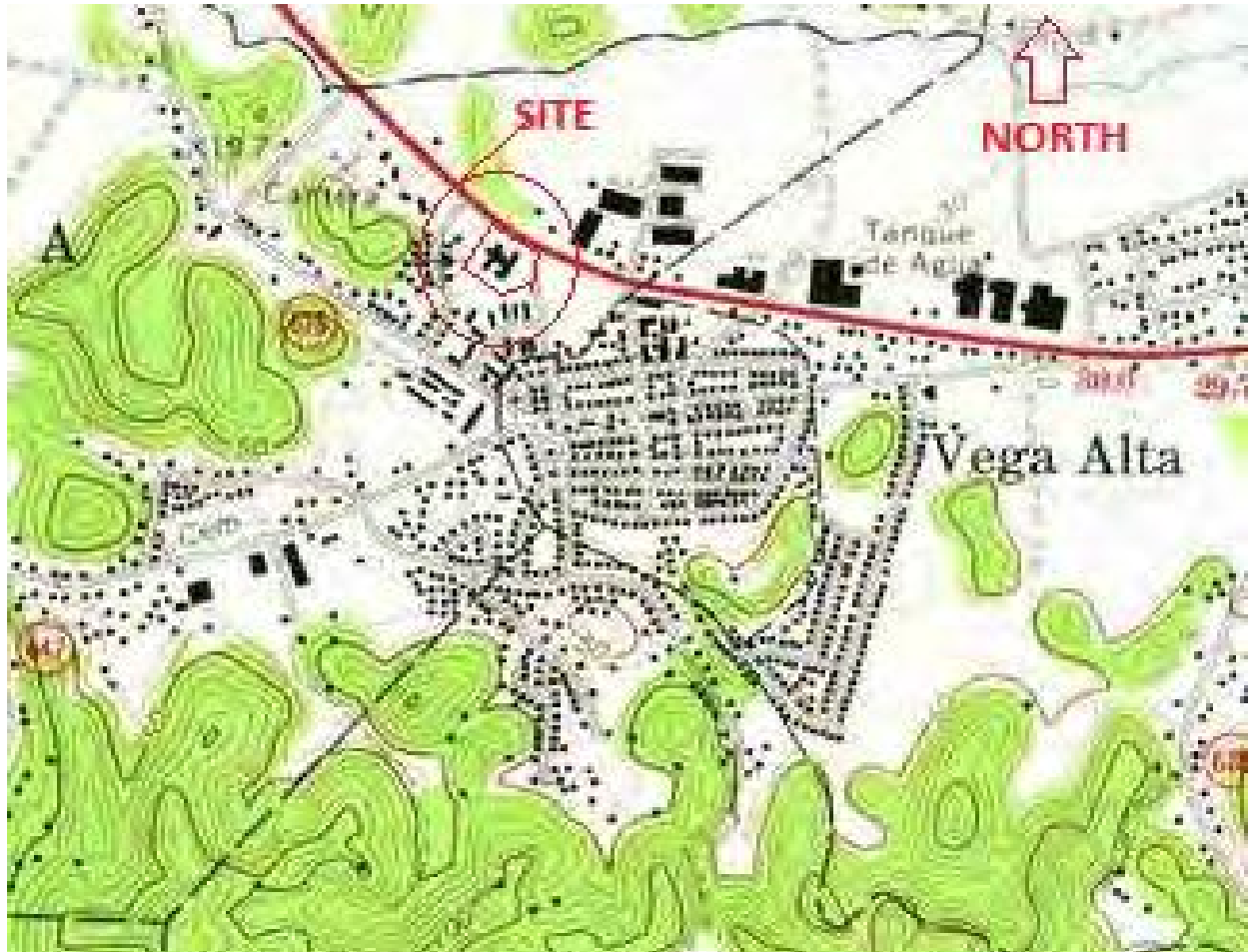


Figure #9

Subrecipient: Autonomous Municipality of Vega Alta

Project Name: Desarrollo de Parque Recreativo Con Espacios Para Food Trucks

Project Number: PR-CRP-00646

1967 Satellite Map with The Former CDT - Vega Alta PR (Source: Envirosite Cooperation Aerial Photos)

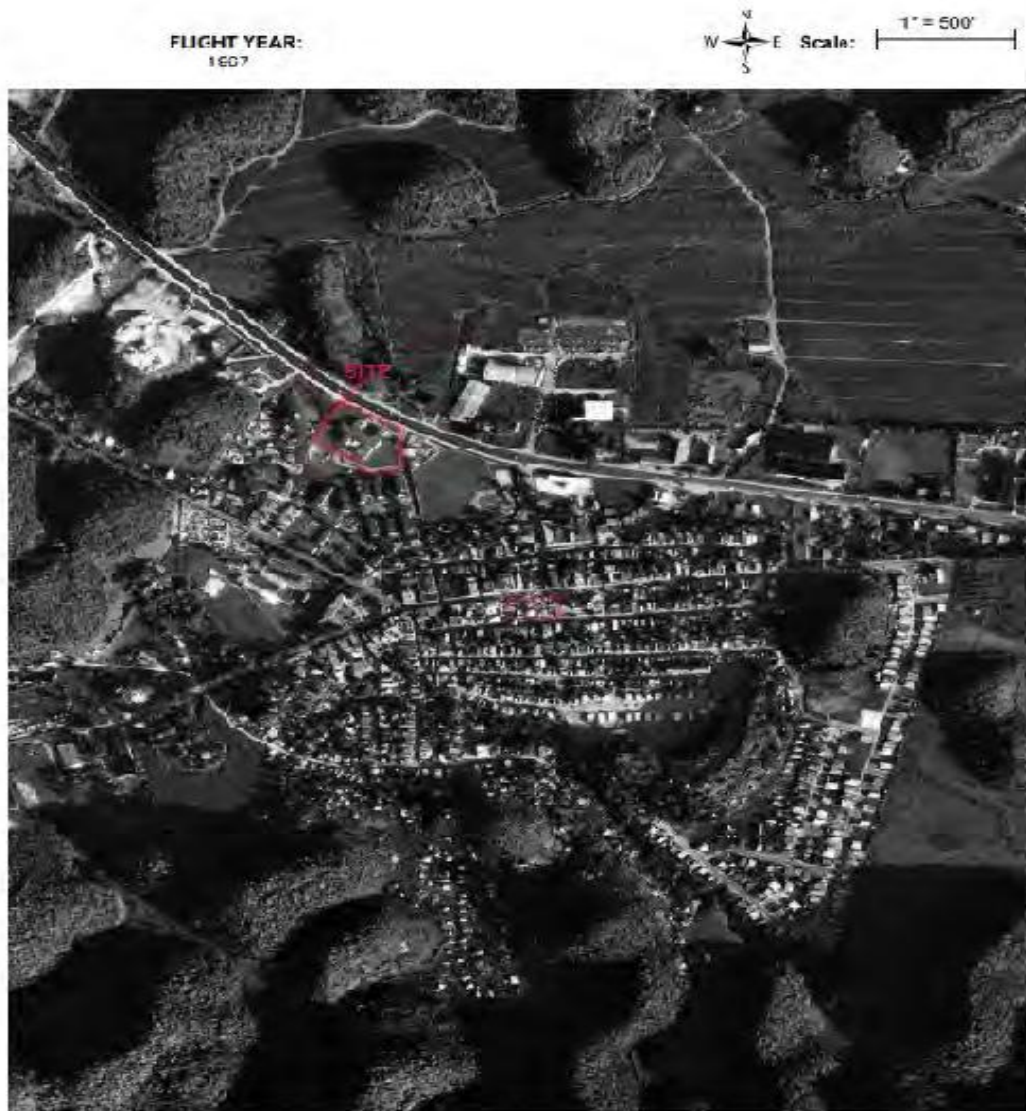


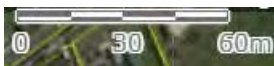
Figure #10

Subrecipient: Autonomous Municipality of Vega Alta

Project Name: Desarrollo de Parque Recreativo Con Espacios Para Food Trucks

Project Number: PR-CRP-00646

August 2014 Satellite Map with The Former CDT - Vega Alta PR (Source: Google Earth accessed April , 2022)



Scale

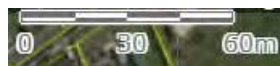
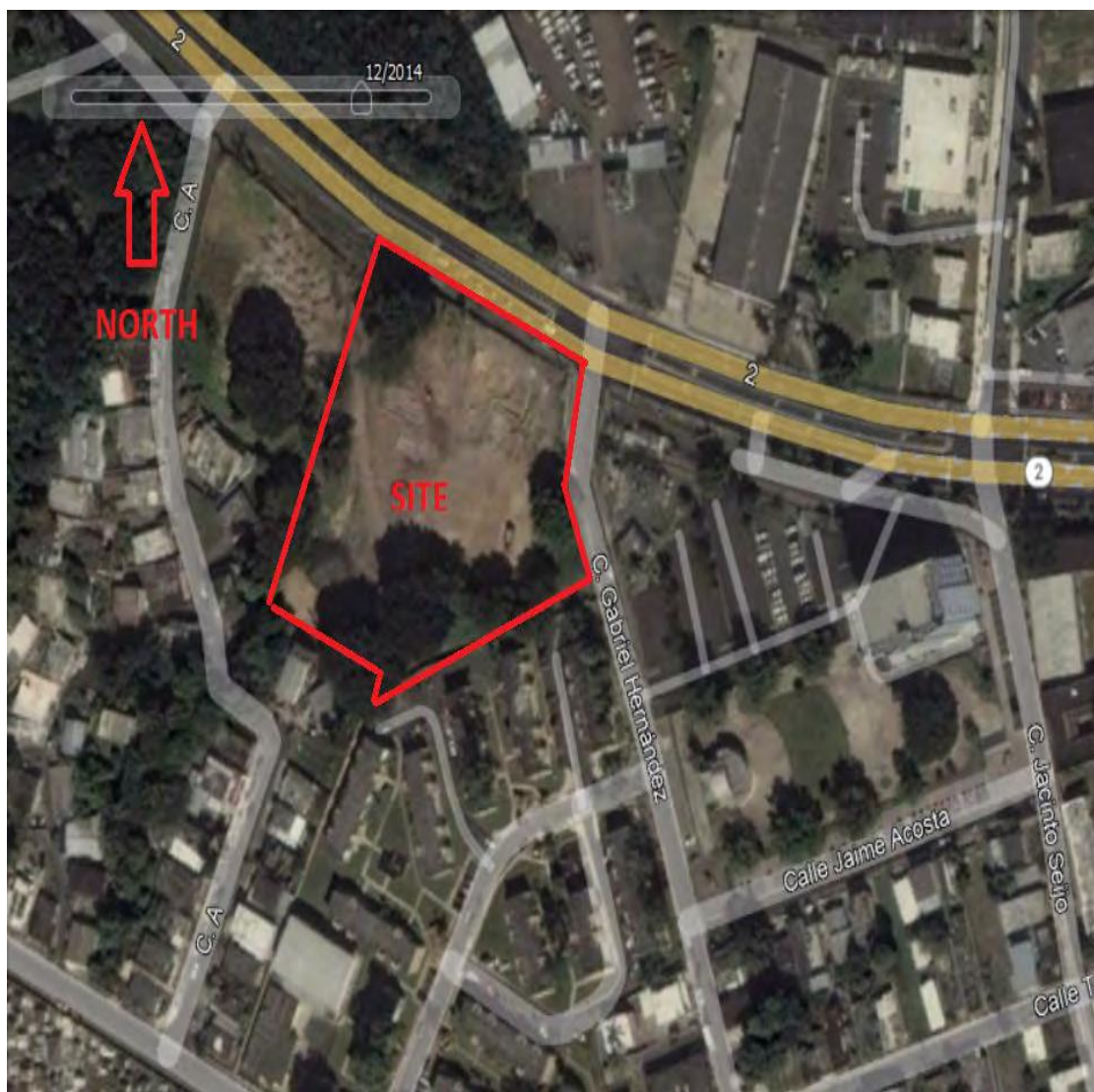
Figure #11

Subrecipient: Autonomous Municipality of Vega Alta

Project Name: Desarrollo de Parque Recreativo Con Espacios Para Food Trucks

Project Number: PR-CRP-00646

December 2014 Satellite Map Without the CDT - Vega Alta Map (Source: Google Earth accessed April 1, 2022)



Scale

Figure #12

Subrecipient: Autonomous Municipality of Vega Alta

Project Name: Desarrollo de Parque Recreativo Con Espacios Para Food Trucks

Project Number: PR-CRP-00646

Photograph Key



P – 1 = Photos

Subrecipient: Municipio Autónomo de Vega Alta

Project Name: Desarrollo de Parque Recreativo Con Espacios Para Food Trucks

Project Number: PR-CRP-00646



Photo #1:

Description : Photo of the Project Lot and the Gabriel Hernandez Street. Photo taken from the Gabriel Hernandez Street toward lot entrance.

Date: 11-23-2021



Photo #2:

Description: Photo of the Project Lot and the Gabriel Hernandez Street in Vega Ata PR. Photo taken from the Gabriel Hernandez Street toward lot entrance.

Date: 2-21-2022

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM
CITY REVITALIZATION PROGRAM (CRP)
Section 106 NHPA Effect Determination



Subrecipient: Municipio Autónomo de Vega Alta

Project Name: Desarrollo de Parque Recreativo Con Espacios Para Food Trucks

Project Number: PR-CRP-00646



Photo #3:

Description : Photo of the Project Lot and the Gabriel Hernandez Street in Vega Ata PR. Photo taken from the Gabriel Hernandez Street toward lot entrance corner.

Date: 11-23-2021



Photo #4:

Description: Photo of the Project Lot and the Gabriel Hernandez Street in Vega Ata PR. Photo taken from the Gabriel Hernandez Street toward lot entrance.

Date: 11-23-2021

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM
CITY REVITALIZATION PROGRAM (CRP)
Section 106 NHPA Effect Determination



Subrecipient: Municipio Autónomo de Vega Alta

Project Name: Desarrollo de Parque Recreativo Con Espacios Para Food Trucks

Project Number: PR-CRP-00646



Photo #5:

Description : Photo inside of the Project Lot. Photo taken from Gabriel Hernandez Street in Vega Alta.

Date: 2-21-2022



Photo #6:

Description: Photo inside of the Project Lot. Photo taken from inside the lot toward the Gabriel Hernandez Street in Vega Alta.

Date: 11-23-2021

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM
CITY REVITALIZATION PROGRAM (CRP)
Section 106 NHPA Effect Determination



Subrecipient: Municipio Autónomo de Vega Alta

Project Name: Desarrollo de Parque Recreativo Con Espacios Para Food Trucks

Project Number: PR-CRP-00646



Photo #7:

Description : Photo inside of the Project Lot. Photo taken from inside the lot toward the Gabriel Hernandez Street in Vega Alta.

Date: 11-23-2021



TEHA
ENGINEERING, PSC

NO.	DESCRIPTION	DATE

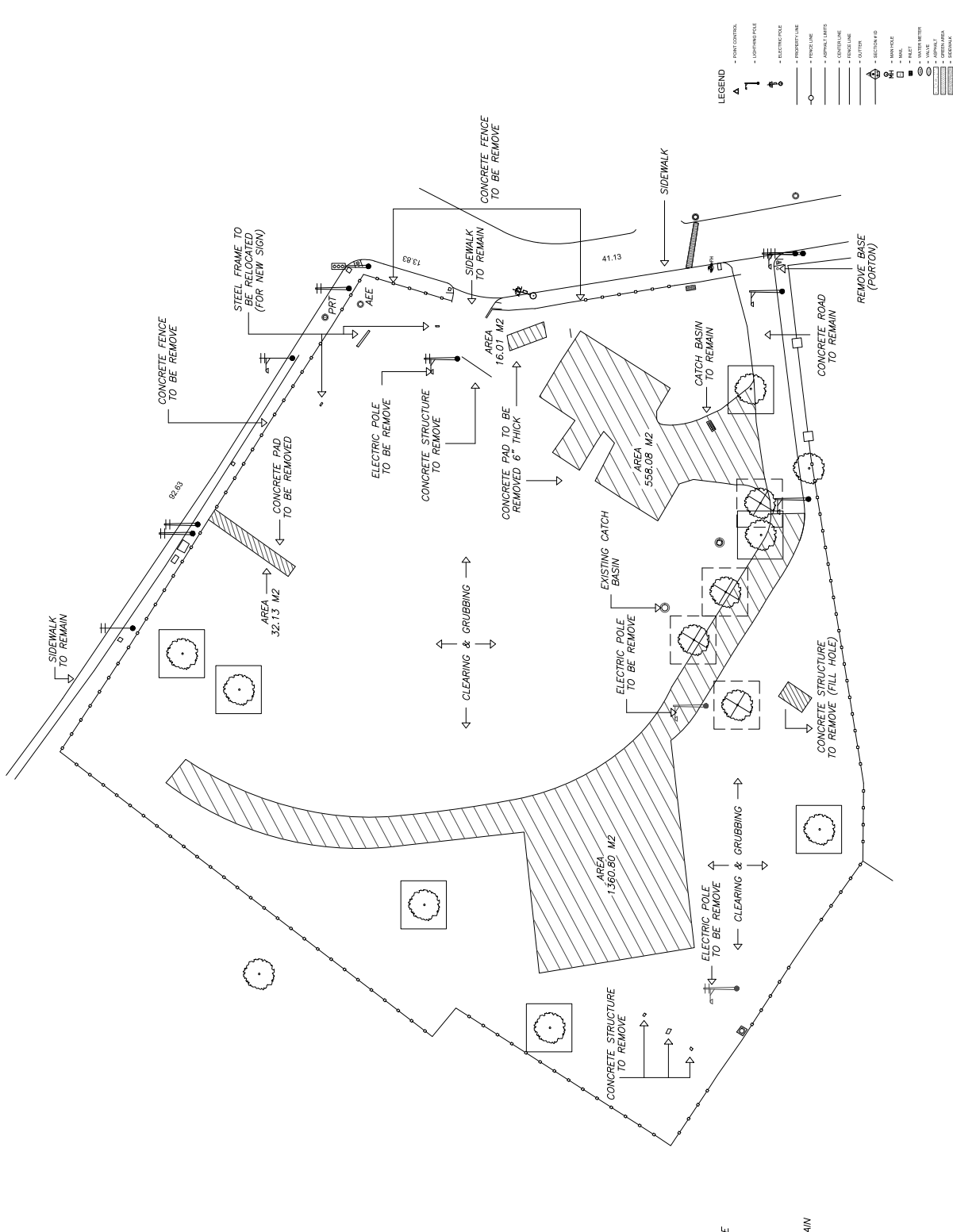
CONSULTANTS	

NOTAS IMPORTANTES:
No. Elijidos: Hernandez, Aranda, Luchini
Elaborado por: Elijidos, Hernandez, Aranda, Luchini
Revisado por: Elijidos, Hernandez, Aranda, Luchini
Aprobado por: Elijidos, Hernandez, Aranda, Luchini
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PROJECT NAME: TRUSSER
MUNICIPIO DE VEGA ALTA
RECREATIONAL AND
GASTRONOMIC PARK
BO. PUEBLO, VEGA ALTA

PROJECT NO.:
TITLE: DEMOLITION PLAN
FILE FILE: MUNICIPIO VEGA ALTA
DRAWN BY: J.E.A.
CHECKED BY: J.E.A.
DATE: 15 DE DICIEMBRE 2021
DRAWING NO.: S1.2

SHEET 03 OF
SIGNAL



- DEAD LOG/TREE TO REMOVE
- TREES TO REMAIN
- REMOVED AREA

LEGEND

- CONTOUR LINE
- LIGHTING POLE
- ELECTRIC POLE
- FENCE LINE
- PROPERTY LINES
- CENTERLINE
- STATION
- MANHOLE
- METER STATION
- STREET LIGHT
- STORMWATER CONDUIT



EHA ENGINEERING, PSC

NO.	DESCRIPTION	DATE

CONSULTANTS

No. E. Edgar Hernandez Alvarez, licenciado en Ingeniería Civil, con especialidad en Ingeniería de Edificación, es el profesional responsable del estudio de este proyecto de obra pública. También se responsabiliza de la elaboración de los planos de ejecución de las obras de construcción de este proyecto de obra pública. EHA Engineering, PSC es la firma profesional responsable de este estudio de ingeniería.

PROYECTO: MUNICIPIO DE VEGA ALTA RECREACIONAL AND GASTRONOMIC PARK BO. PUEBLO, VEGA ALTA

PROYECTO NO.

TÍTULO: PROPOSED SITE PLAN

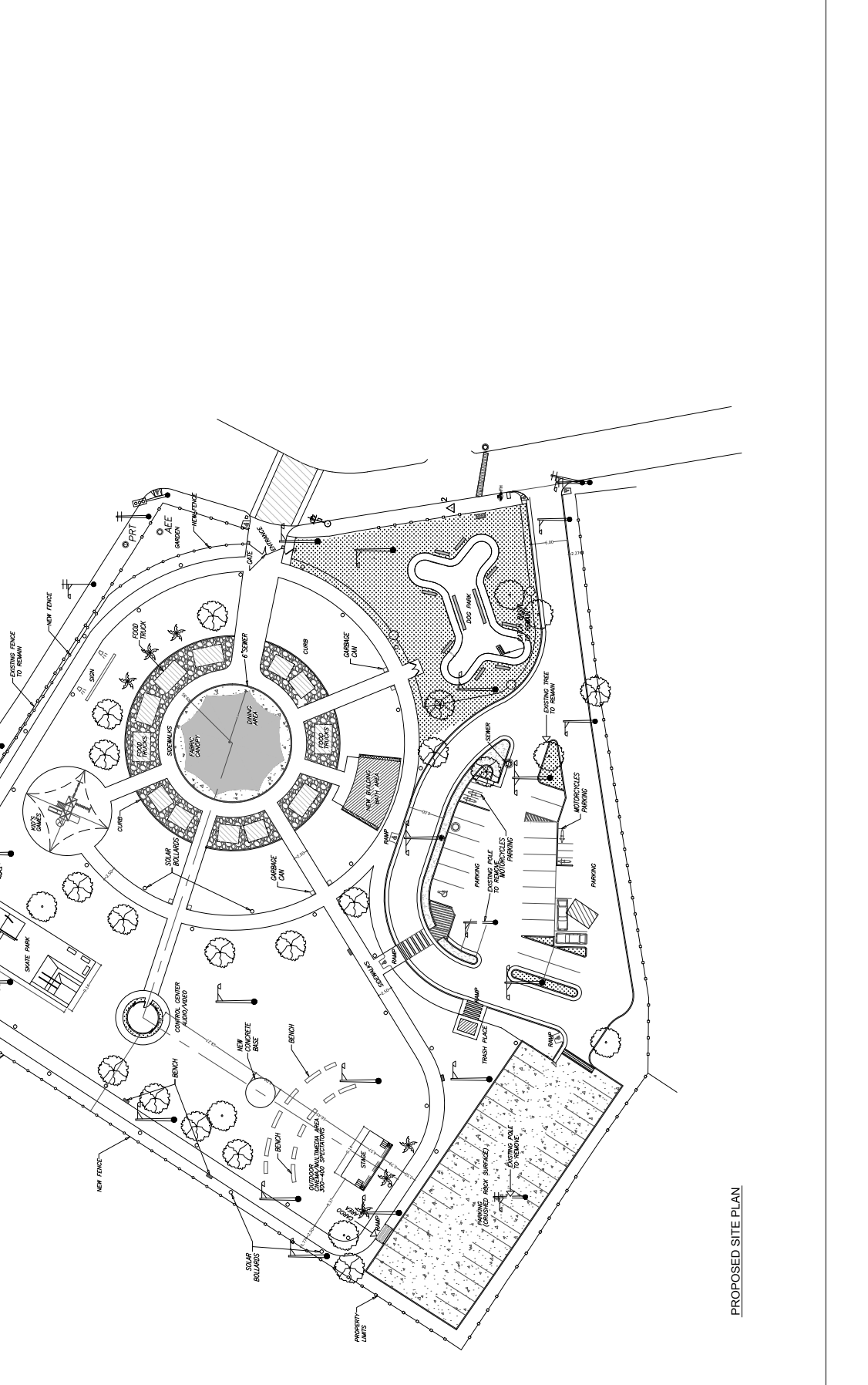
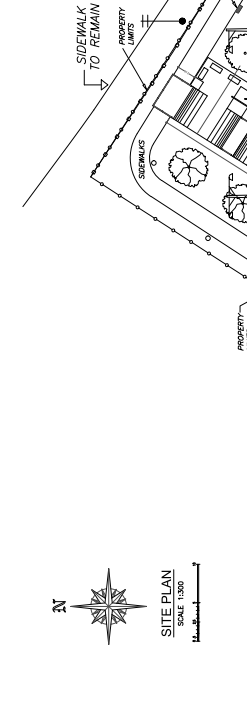
FILE FILE: MUNICIPIO VEGA ALTA
DRAWING NO.: E.A.
SCALE: AS SHOWN
DATE: 23 DE DICIEMBRE 2021
DRAWING NO.: S1.3

SHEET 04 OF

- LEGEND (NOT SHOWN TO SCALE)**
- CONTROL STATION
 - WOOD POWER POLE
 - WOOD POWER POLE/LIGHT
 - CONC. POLE
 - CONC. POLE/LIGHT
 - HORIZONTAL STREET LIGHT
 - FLOOR STREET LIGHT
 - OUT WIRE ELEVATION
 - CLEAN OUT
 - WATER METER
 - CONCRETE WALL
- CONCRETE FENCE
 - BARRED WIRE FENCE
 - IRON FENCE
 - PROPERTY LINE
 - TREE TO REMAIN
 - NEW TREE
 - PALM
 - NEW TREE TO ELIMINATE
 - SEWER
 - SAWITRY LINE (DAM AS INDICATED)
 - STORM SEWER LINE (DAM AS INDICATED)
 - GAS LINE
 - FINISH FLOOR ELEVATION
- TOP OF MANHOLE
 - ELECTRIC UTILITY MANHOLE
 - STORM SEWER MANHOLE
 - SAWITRY MANHOLE
 - STRUCTURE AS INDICATED
 - WATER VALVE
 - FIRE HYDRANT
 - METAL COVER
 - WATER METER
 - SAWITRY
 - STORM SEWER
 - FINISH FLOOR ELEVATION
 - SPOT ELEVATION

- NEW FENCE
- EXISTING FENCE TO REMAIN
- NEW SIDEWALK
- EXISTING SIDEWALK TO REMAIN
- NEW DRIVEWAY
- EXISTING DRIVEWAY TO REMAIN
- NEW GARAGE CAN
- EXISTING GARAGE CAN TO REMAIN
- NEW CONCRETE BASE
- EXISTING CONCRETE BASE TO REMAIN
- NEW BENCH
- EXISTING BENCH TO REMAIN
- NEW SOLAR BOLLARDS
- EXISTING SOLAR BOLLARDS TO REMAIN
- NEW OUTDOOR SEATING SURFACES
- EXISTING OUTDOOR SEATING SURFACES TO REMAIN
- NEW TRASH PLACE
- EXISTING TRASH PLACE TO REMAIN
- NEW PARKING
- EXISTING PARKING TO REMAIN
- NEW SIDEWALK SURFACES
- EXISTING SIDEWALK SURFACES TO REMAIN

- NEW SIDEWALK
- EXISTING SIDEWALK TO REMAIN
- NEW DRIVEWAY
- EXISTING DRIVEWAY TO REMAIN
- NEW GARAGE CAN
- EXISTING GARAGE CAN TO REMAIN
- NEW CONCRETE BASE
- EXISTING CONCRETE BASE TO REMAIN
- NEW BENCH
- EXISTING BENCH TO REMAIN
- NEW SOLAR BOLLARDS
- EXISTING SOLAR BOLLARDS TO REMAIN
- NEW OUTDOOR SEATING SURFACES
- EXISTING OUTDOOR SEATING SURFACES TO REMAIN
- NEW TRASH PLACE
- EXISTING TRASH PLACE TO REMAIN
- NEW PARKING
- EXISTING PARKING TO REMAIN
- NEW SIDEWALK SURFACES
- EXISTING SIDEWALK SURFACES TO REMAIN

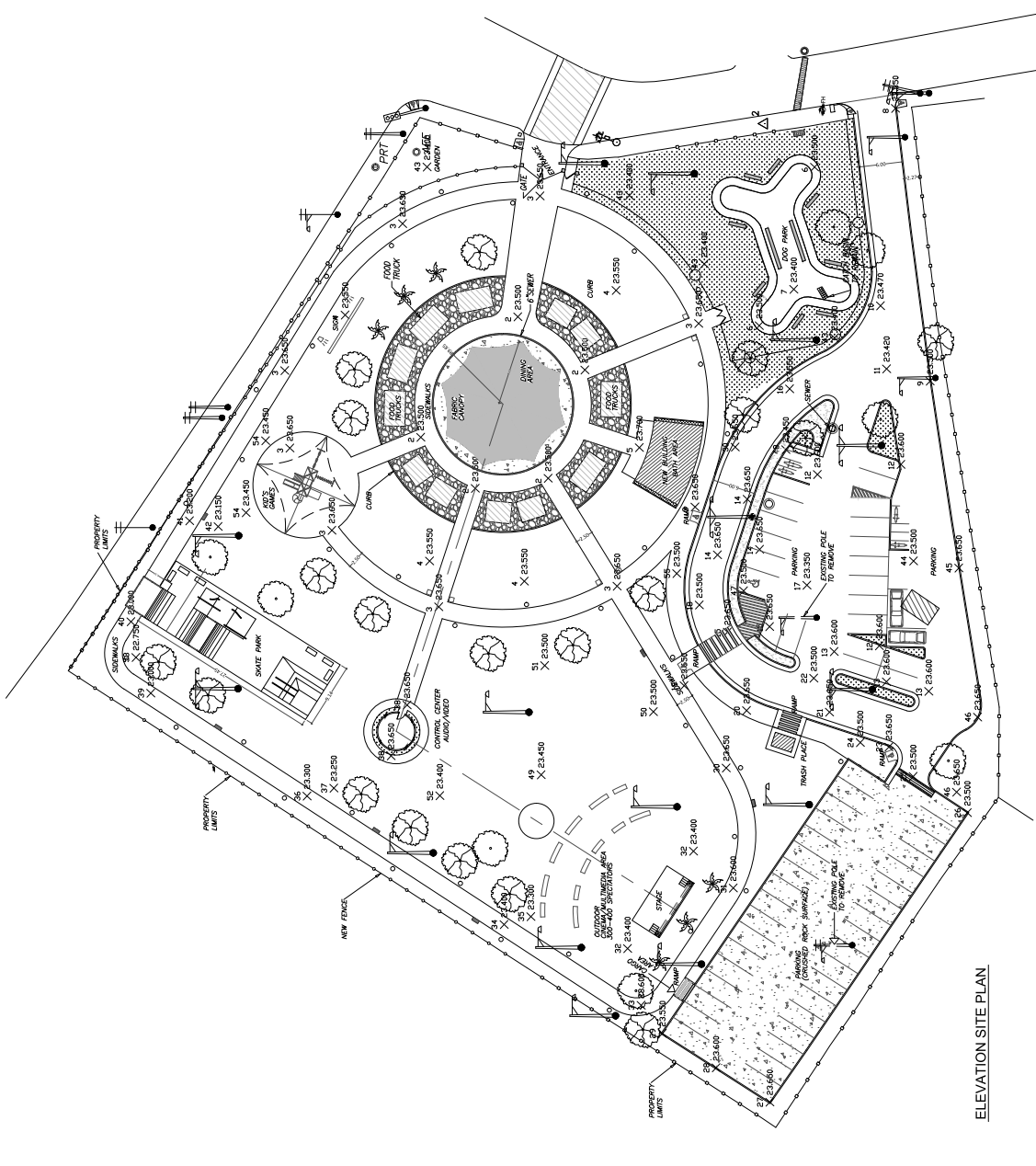



PROPOSED SITE PLAN

ELEVATION PLAN - FOOD TRUCK & RECREATIONAL PARK

POINT #	TOP ELEVATION (M)	SURFACE DESCRIPTION OR TYPE
1	23.660	CRUSHED ROCK
2	23.500	CONCRETE SIDEWALK
3	23.650	CONCRETE SIDEWALK
4	23.550	GRASS
5	23.700	POLISHED CONCRETE
6	23.600	CONCRETE SIDEWALK
7	23.400	ARTIFICIAL GRASS
8	23.350	CONCRETE SIDEWALK
9	23.500	TOP CONCRETE CURB
10	23.470	TOP CONCRETE CURB
11	23.420	RIGID PAVEMENT CONCRETE
12	23.600	TOP CONCRETE CURB
13	23.600	TOP CONCRETE CURB
14	23.650	TOP CONCRETE CURB
15	23.650	TOP CONCRETE CURB
16	23.550	TOP CONCRETE CURB
17	23.350	ASPHALT DRIVEWAY/PARKING
18	23.500	ASPHALT DRIVEWAY/PARKING
19	23.650	CONCRETE SIDEWALK
20	23.650	CONCRETE SIDEWALK
21	23.650	CONCRETE SIDEWALK
22	23.600	ASPHALT DRIVEWAY/PARKING
23	23.650	CONCRETE SIDEWALK
24	23.500	CRUSHED ROCK
25	23.500	CRUSHED ROCK
26	23.500	CRUSHED ROCK
27	23.650	CRUSHED ROCK
28	23.600	CRUSHED ROCK
29	23.550	CRUSHED ROCK
30	23.650	CONCRETE SIDEWALK
31	23.600	CONCRETE SIDEWALK
32	23.400	GRASS
33	23.600	CONCRETE SIDEWALK
34	23.400	CONCRETE SIDEWALK
35	23.300	GRASS
36	23.300	CONCRETE SIDEWALK
37	23.250	GRASS
38	23.650	CONCRETE SIDEWALK
39	23.000	CONCRETE SIDEWALK
40	23.000	CONCRETE SIDEWALK
41	23.200	CONCRETE SIDEWALK
42	23.150	GRASS
43	23.400	GRASS
44	23.500	ASPHALT DRIVEWAY/PARKING
45	23.650	TOP CONCRETE CURB
46	23.650	TOP CONCRETE CURB
47	23.500	ASPHALT DRIVEWAY/PARKING
48	23.450	ASPHALT DRIVEWAY/PARKING
49	23.450	GRASS
50	23.500	POLISHED CONCRETE
51	23.500	GRASS
52	23.400	GRASS
53	22.750	GRASS
54	23.450	GRASS
55	23.500	CONCRETE SIDEWALK

ELEVATION SITE PLAN



	NO. _____ DESCRIPTION _____ DATE _____	CONSULTANTS Sr. Egecio Hernández, Arquitecto, Ingeiero profesional en el ejercicio de su profesión y en el ejercicio de su profesión en el ejercicio de su profesión. También Certificado como arquitecto profesional en el ejercicio de su profesión.	PROJECT NAME: NUMBER MUNICIPIO DE VEGA ALTA RECREACIONAL AND GASTRONOMIC PARK BO. PUEBLO, VEGA ALTA PROJECT NO. _____	TITLE ELEVATION SITE PLAN	FILE TITLE: MUNICIPIO VEGA ALTA DRAWN BY: J.E.A. CHECKED BY: P. J. JANK DATE OF PLOTTING: DECEMBER 2023 DRAWING NO.: SI.4
	SHEET 05 OF _____		SERIAL		



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ENGINEERING, P.S.C.
OWNER / CLIENT

NO.	DESCRIPTION	DATE

CONSULTANTS	
NAME	

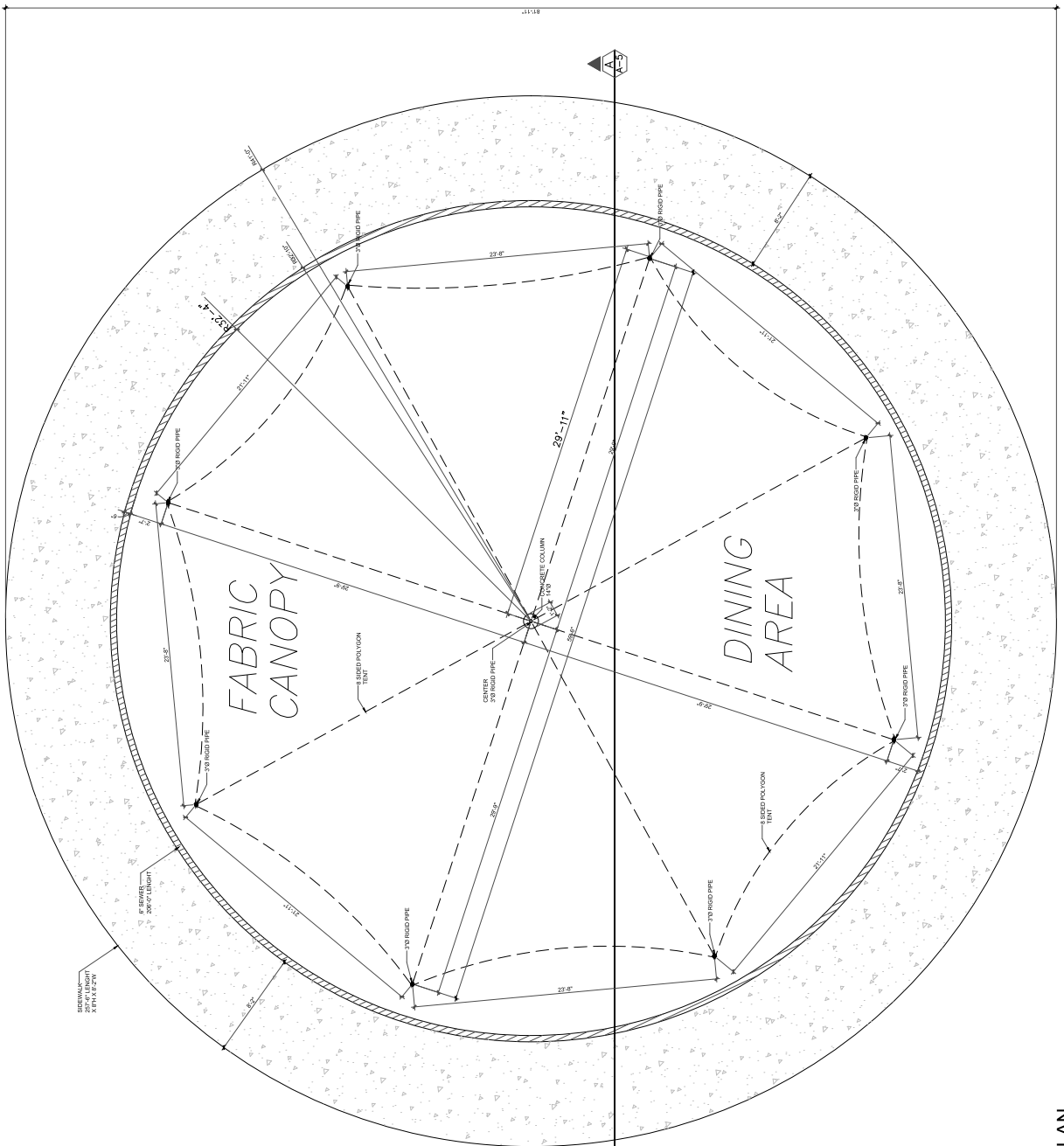
NOTA IMPORTANTE:
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PROJECT NAME NUMBER
**MUNICIPIO DE VEGA ALTA
PARQUE RECREACIONAL
Y GASTRONOMICO
BO. PUEBLO, VEGA ALTA**
PROJECT NO.

TITLE
**CANOPY & DINING
AREA**

FILE TITLE: MUNICIPIO VEGA ALTA
PROJECT NO. 1000
PROJECT NO. 1000
PLOT SCALE AS SHOWN
DRAWING DATE: DECEMBER 2021

DATE: DECEMBER 2021
DRAWING NO. A-4
SHEET 09 OF 09
SCALE



FABRIC CANOPY PLAN
SCALE: 1/4"=1'-0"



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ENGINEERING, P.S.C.

OWNER / USER

NO.	DESCRIPTION	DATE

CONSULTANTS	
NAME	DATE

NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC) AND ALL APPLICABLE LOCAL ORDINANCES.

2. ALL MATERIALS SHALL BE APPROVED BY THE ENGINEER AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC) AND ALL APPLICABLE LOCAL ORDINANCES.

4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC) AND ALL APPLICABLE LOCAL ORDINANCES.

PROJECT NAME NUMBER:

MUNICIPIO DE VEGA ALTA
PARQUE RECREACIONAL
Y GASTRONOMICO
BO. PUEBLO, VEGA ALTA

PROJECT NO.:

TITLE:

CANOPY ELEVATION
& CHILDREN
PLAYGROUND

FILE TITLE: MUNICIPIO VEGA ALTA

PROJECT NO.: BO. PUEBLO, VEGA ALTA

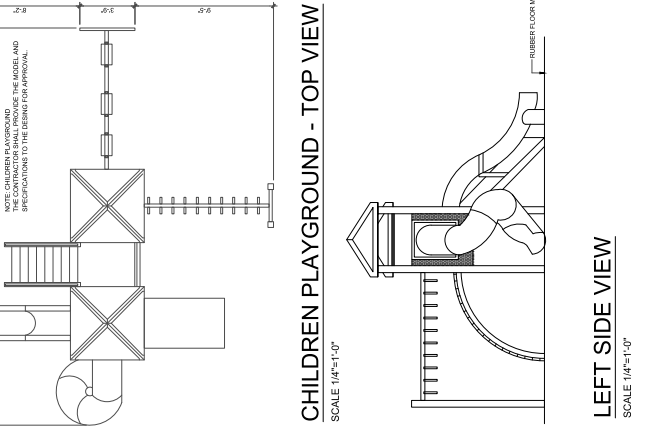
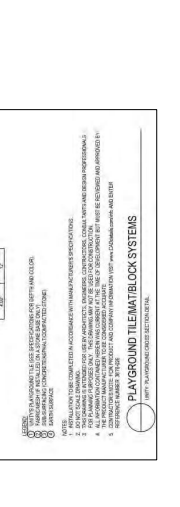
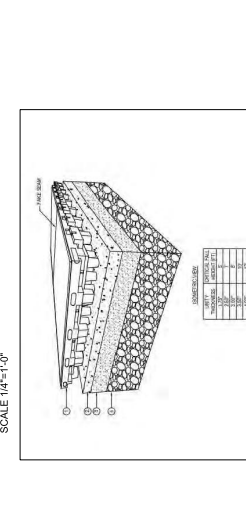
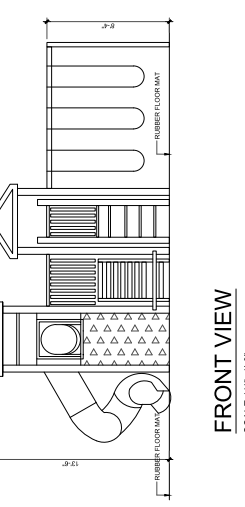
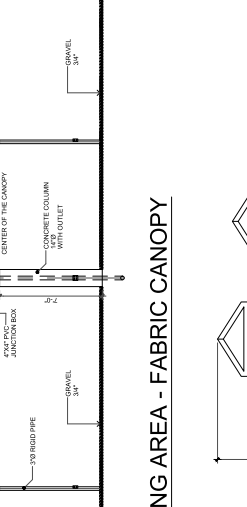
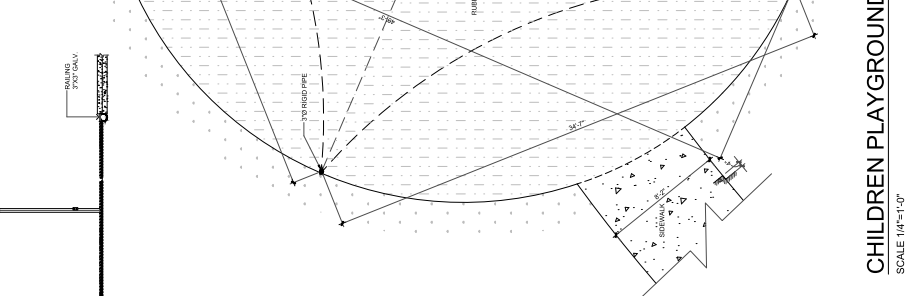
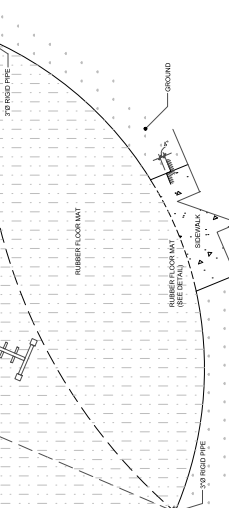
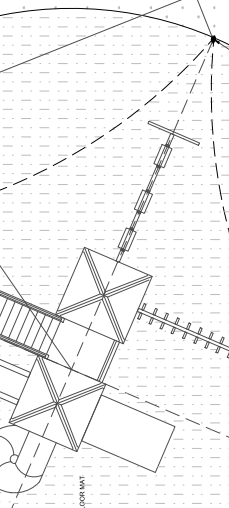
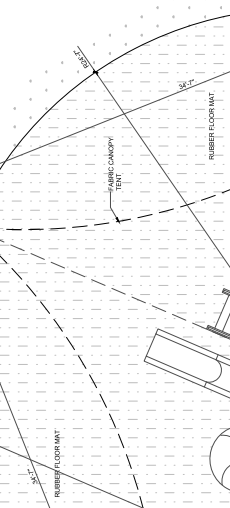
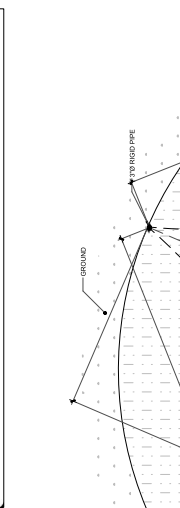
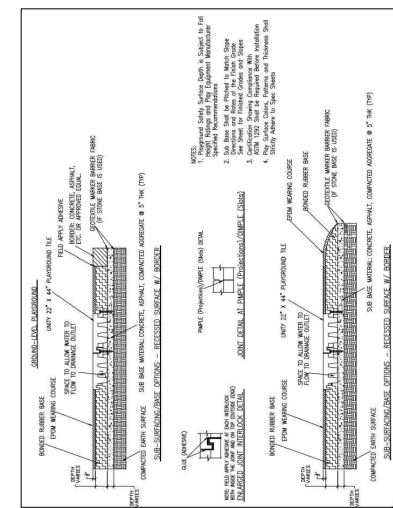
PLAT SCALE AS SHOWN:

DATE: DECEMBER 2021

DESIGNER: A-5

SHEET	10	OF
SCALE		

NOTE: CHILDREN PLAYGROUND AND CANOPY SHALL PROVIDE THE MODEL AND INCLUDING THE RUBBER FLOOR MAT.



NOTE: CHILDREN PLAYGROUND AND CANOPY SHALL PROVIDE THE MODEL AND INCLUDING THE RUBBER FLOOR MAT.



EHA
ENGINEERING, P.S.C.

NO.	DESCRIPTION	DATE

CONSULTANTS

NO. Ejes de Hacia: Avenida, Localidad, Municipio de Vega Alta, Estado Libre Asociado de Puerto Rico, Proyecto de Ingeniería Eléctrica para la instalación de un sistema de distribución de energía eléctrica en el área de recreación y gastronomía del Parque Gastronómico de Vega Alta. El presente documento describe el plan de distribución eléctrica primaria del proyecto, el cual incluye el diseño de la línea secundaria, el pedestal, los cuadros de distribución y los conductores de alimentación. Este plan de distribución eléctrica primaria se basa en los planos arquitectónicos y de ingeniería de otros profesionales que forman parte del equipo de diseño del proyecto. El presente documento es el resultado de un trabajo conjunto y colaborativo entre todos los miembros del equipo de diseño del proyecto. Este documento es el resultado de un trabajo conjunto y colaborativo entre todos los miembros del equipo de diseño del proyecto.

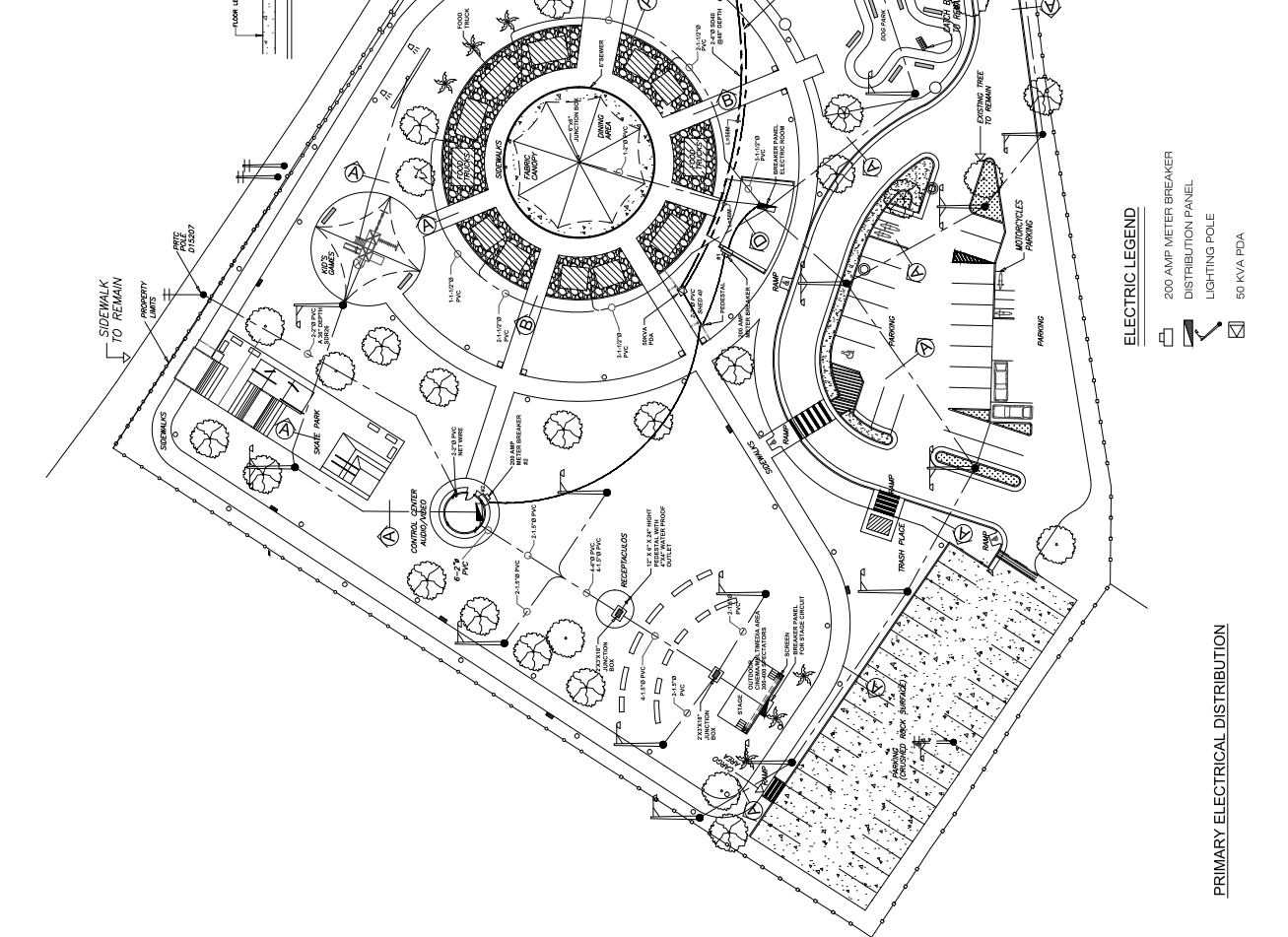
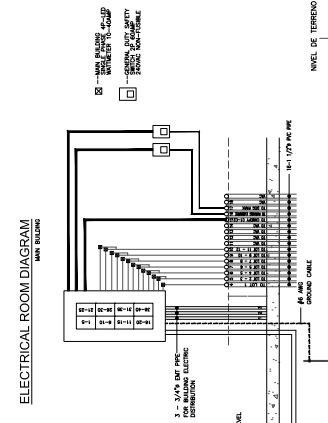
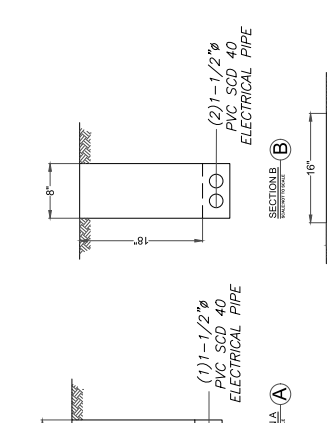
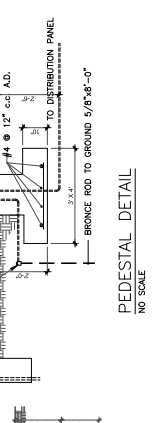
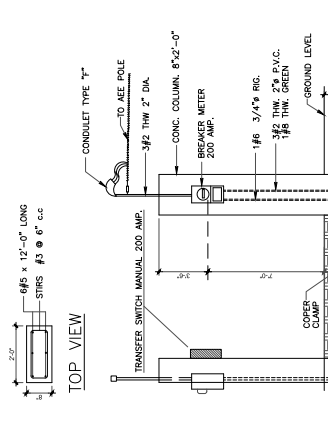
PROJECT NAME / TITULO:
MUNICIPIO DE VEGA ALTA
RECREACIONAL AND
GASTRONOMIC PARK
BO. PUEBLO, VEGA ALTA

PROJECT NO. / TITULO:
PRIMARY ELECTRICAL
DISTRIBUTION PLAN

FILE FILE: MUNICIPIO VEGA ALTA
DRAWING NO. / NO. DE DISEÑO: E-1
DATE / FECHA: DECEMBER 2023
DATE / FECHA: DECEMBER 2023

SHEET / HOJA: 23
OF / DE: 0

SCALE:



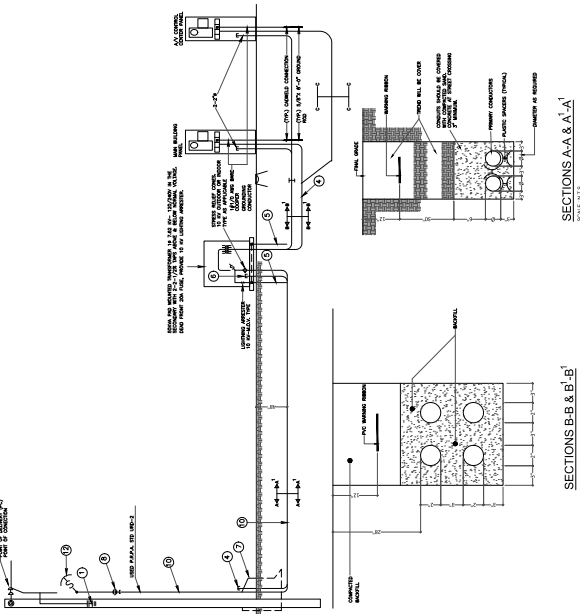
PRIMARY ELECTRICAL DISTRIBUTION

NO.	DESCRIPTION	DATE

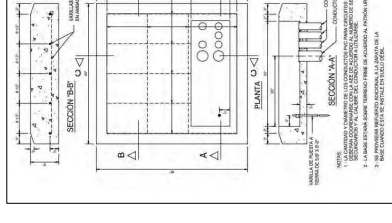
CONSULTANTS	
No. Ejemplo: Hernández Álvarez, Lucinda	
CALLE No. 101, Barrio Sur, P.O. Box 1100, San Juan, P.R.	
TEL: (787) 753-1234	
FAX: (787) 753-5678	
EMAIL: info@eha.com	
WEBSITE: www.eha.com	
PROJECT NO. 2023-001	
DATE: DECEMBER 2023	
DRAWING NO. E-2	
SHEET 24 OF 0	
SCALE	

PROJECT NAME: TRANSFORMER
**MUNICIPIO DE VEGA ALTA
 RECREATIONAL AND
 GASTRONOMIC PARK
 BO PUEBLO, VEGA ALTA**
 PROJECT NO.
 TITLE:
**PRIMARY ELECTRICAL
 NOTES & DETAILS**
 FILE TITLE: MUNICIPIO VEGA ALTA
 DRAWN BY: J.E.N.
 CHECKED BY: J.E.N.
 DATE: DECEMBER 2023
 DRAWING NO.: E-2
 SHEET 24 OF 0
 SCALE

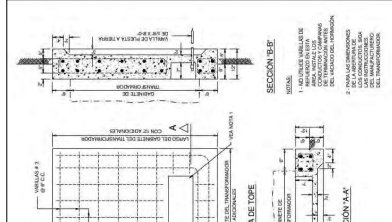
- LEGEND (ONE LINE DIAGRAM)**
- ① LIGHTNING ARRESTER RATING (KV) 15 KV, SEE TECHNICAL COMMUNICATION 15-02 FOR CONNECTION.
 - ② PVC SCH 40 EMPTY CONDUIT CAPPED AT BOTH ENDS (SPARE CONDUIT)
 - ③ METERS (2) 200A, 240V/120V, 1Ø, NEMA 3R, 23 KVAIC, WITH A 200A, 2P, 25KV CIRCUIT BREAKER AND TVOC2
 - ④ 200A TO SERVE TWO(2) BUILDINGS
 - ⑤ 2" X 10" O.D. GROUND ROD WITH # 40 AWG BARE COPPER.
 - ⑥ OUTPUT FEEDERS - 2C #10 RHW-2, 1C #4 GND #2' CONDUIT RIGID CONDUIT ABOVE GROUND FLOOR & PVC CONDUIT BELOW GROUND FLOOR.
 - ⑦ USE STD URD-4
 - ⑧ SEALING BUSHING AND PREFABRICATED STRESS CONE AT BOTH ENDS
 - ⑨ 1" PVC SCH-40 EMPTY CONDUIT CAPPED AT BOTH ENDS
 - ⑩ SINGLE PHASE 2 WIRE, 24 KV UNDERGROUND PRIMARY LINE TO BE INSTALLED, CONSISTING OF #2-2 PVC SCH-40 CONDUIT. SEE PREPA URD-4 & URD-5 FOR RIBS DETAILS.
 - ⑪ 100 AMP BAY-C-NET FUSE WITH 65 A TYPE K ELEMENT 27KV, 125KV-BL.



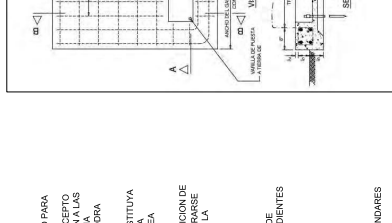
SECTIONS A-A & A'-1
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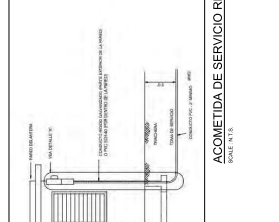
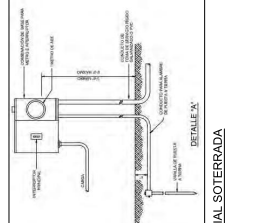
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SECTIONS A-A & A'-1
SCALE: N.T.S.



SECTIONS B-B & B'-1
SCALE: N.T.S.



- NOTAS GENERALES:**
1. ESTOS PLANOS CONSIDERAN CON LOS PLANOS DE INSCRIPCIÓN RADICADOS EN LA OFICINA DE GERENCIA DE PERMISOS (COPE).
 2. EL DUEÑO DEL PROYECTO ES RESPONSABLE DE GESTIIONAR Y OBTENER, ANTES DE LA FECHA DE COMIENZO DE LA OBRA, TODOS LOS ENDOSOS, PERMISOS Y SERVIDUMBRES NECESARIAS PARA EL DESARROLLO DEL TIPO DE PROYECTO PROPUESTO.
 3. EL DUEÑO DE ESTA OBRA TIENE QUE CONTRATAR LOS SERVICIOS DE UN INGENIERO LICENCIADO Y UN INGENIERO EN ELECTRICIDAD PARA LA ELABORACIÓN DE ESTOS PLANOS, DEBERA OBSERVAR LA LEY NÚM. 101 DEL 7 DE JULIO DE 1986, SEGUN EMENDADA, Y CON EL REGLAMENTO DE CERTIFICACIÓN DE PLANOS DE CONSTRUCCIÓN ELECTRICA DE LA AEE VIGENTE. EL DUEÑO TENDRA QUE NOTIFICAR A LA AEE LA DESIGNACION DE ESTE INSPECTOR PRIVADO ANTES DEL COMIENZO DEL PROYECTO.
 4. LA ELECCIÓN DE LAS OBRAS ELECTRICAS, SEGUN DISEÑADAS EN ESTOS PLANOS, DEBERA OBSERVAR LA LEY NÚM. 101 DEL 7 DE JULIO DE 1986, SEGUN EMENDADA, Y CON EL REGLAMENTO DE CERTIFICACIÓN DE PLANOS DE CONSTRUCCIÓN ELECTRICA DE LA AEE VIGENTE. EL DUEÑO TENDRA QUE NOTIFICAR A LA AEE LA DESIGNACION DE ESTE INSPECTOR PRIVADO ANTES DEL COMIENZO DEL PROYECTO.
 5. EL CONTRATISTA NO ESTA AUTORIZADO A HACER VARIACIONES A ESTOS PLANOS, SIN LA APROBACION DEL DISEÑO. EL CONTRATISTA CONSULTAR CON EL DISEÑADOR O INSPECTOR DESIGNADO. PARA ESTA OBRA, CUALQUIER DUDA QUE SURJA DE LA INTERPRETACION DE LOS PLANOS, DE LA ELECCION DE LAS OBRAS Y DE LAS MATERIALES, DEBE SER RESUELTO POR EL DUEÑO. EL DUEÑO DEBE VERIFICAR LAS CONDICIONES EN EL CAMPO Y AQUELLAS UTILIZADAS PARA PROPOSITO DE DISEÑO.
 6. EL DUEÑO O CONTRATISTA ELECTRICISTA NOTIFICAR A LA AEE EL COMIENZO DE LAS OBRAS, ANTES DE LA ENTREGA DEL DOCUMENTO NOTIFICACION DE COMIENZO DE PROYECTO EN EL DEPARTAMENTO DE INGENIERIA DE DISTRIBUCION DE LA REGION CORRESPONDIENTE, CON POR LO MENOS QUINCE DIAS DE ANTECIPACION A LA FECHA PROPUESTA.
 7. EL INSPECTOR PRIVADO Y EL CONTRATISTA ELECTRICO SON RESPONSABLES DE ASISTIR A UNA REUNION DE DISTRIBUCION DE LA REGION CORRESPONDIENTE CON EL DEPARTAMENTO DE INGENIERIA DE DISTRIBUCION DE LA REGION CORRESPONDIENTE.
 8. TODO TRABAJO A REALIZARSE EN LINEAS ENERGIZADAS, INCLUIDO LA CONEXION DE ESTA OBRA, TIENE QUE SER REALIZADA POR LA AEE. EL PROPONENTE TIENE QUE ASUMIR TODOS LOS COSTOS DE EQUIPO, MATERIALES Y LABOR. EL PROPONENTE TIENE QUE SOLICITAR A LA AEE UN ESTIMADO PARA ESTOS TRABAJOS EL CUAL, TENDRA UNA VIGENCIA DE TRES MESES DESDE SU EXPEDICION.
 9. SE PROHIBE LA REALIZACION DE CUALQUIER TIPO DE TRABAJO EN LAS FRANJAS DE SERVIDUMBRE ELECTRICA SIN LA AUTORIZACION POR ESCRITO DE LA AEE.
 10. LA AEE NO APROBARA LA CONEXION DE PROYECTOS CON CONDICIONES DE INVASION DE SERVIDUMBRE O QUE NO CUMPLAN CON LOS REQUISITOS DE SEGURIDAD REQUERIDOS.

- NOTAS ESPECIALES:**
1. EL DUEÑO DEL PROYECTO APORTARA A LA AEE:
 - () LA CANTIDAD DE SERVIDUMBRES PARA MEJORAR EL SISTEMA ELÉCTRICO EXISTENTE.
 - () LA CANTIDAD DE SERVIDUMBRES PARA MEJORAR EL SISTEMA ELÉCTRICO EXISTENTE.
 2. ESTA APORTACION SE REALIZA SEGUN LA CARGA PROPUESTA DE ADECUO CON EL REGLAMENTO PARA DETERMINAR Y COBRAR LAS APORTACIONES DE PERSONAS O INSTITUCIONES EN PROYECTOS DE TRABAJO A REALIZARSE POR LA AEE ESPECIFICADOS EN LA EVALUACION. SE ACREDITARAN A LAS CUENTAS C04-100R Y C05-100R RESPECTIVAMENTE. EL PAGO DEBERA REALIZARSE EN LA OFICINA DE TRABAJO EN EFECTIVO, CERO O CHEQUE CERTIFICADO.
 3. LA AEE NO CONECTARA EL PROYECTO A SU SISTEMA ELÉCTRICO HASTA TANTO EL DUEÑO CONSTITUYA LAS SERVIDUMBRES REQUERIDAS DE ADECUO CON EL REGLAMENTO DE SERVIDUMBRES PARA LA AUTORIDAD DE ENERGIA ELECTRICA. ESTA NOTA APLICHA A TODA SERVIDUMBRE REQUERIDA, YA SEA DENTRO COMO FUERA DE LOS LIMITES DEL PROYECTO.
 4. LA INSTALACION DE SISTEMAS DE MEDICION TIENE QUE COORDINARSE CON LA OPCION DE MEDICION DE CONSUMO HASTA EL PROYECTO Y DE CONSEGUIR LOS PERMISOS Y SERVIDUMBRES CORRESPONDIENTES DE CONSULTAR CON ESTA OFICINA SOBRE LOS EQUIPOS Y MATERIALES A UTILIZARSE ADERMS DE LA UBICACION DEL EQUIPO.
 5. EL DUEÑO SERA RESPONSABLE DE EXTENDER EL ALIMENTADOR REQUERIDO DESDE EL PUNTO DE CONEXION HASTA EL PROYECTO Y DE CONSEGUIR LOS PERMISOS Y SERVIDUMBRES CORRESPONDIENTES DE PARTE DE LOS PROPIETARIOS O AGENCIAS AFECTADAS.
 6. SE INSTALARA CANDAADO AEE CON CANDAADO DEL DUEÑO EN SERIE PARA GARANTIZAR ACCESO PERSONAL AEE DE BANDO DE MEDIDORES.
- MATERIALES**
1. TODOS LOS EQUIPOS A UTILIZARSE EN LA CONSTRUCCION TIENEN QUE CUMPLIR CON LOS ESTANDARES DE ICCB, ANSI, NEMA Y ASTM.
 2. EL CONTRATISTA ES RESPONSABLE DE VERIFICAR CON LA AEE QUE TODO MATERIAL O EQUIPO A ACEPTAR CUALQUIER EQUIPO QUE SE LE HAYA A TRANSFERIR.
 3. TODO EQUIPO Y MATERIAL (INCLUIDOS TRANSFORMADORES Y CABINETES DE DISTRIBUCION) SER INSTALADOS A UNA VILLA CUENOS DE DISTANCIA DE CUERDOS DE AGUA SALUDA TIENE QUE SER CONSTRUIDO EN ACERO INOXIDABLE, CON EXCEPCION DE LAS BASES DE MEDIDORES.
 4. EN LOS SISTEMAS SOTERRADOS, TIENEN QUE UTILIZARSE CABLES PRIMARIOS CON TERMINACIONES DE 15 KV PARA VOLTAJES DE DISTRIBUCION Y DE 46 KV PARA LINEAS DE 38 KV.
 5. EN LOS SISTEMAS AEREOS, TIENEN QUE UTILIZARSE ASLADORES DE POLIMERO DE 15 KV PARA VOLTAJES DE DISTRIBUCION Y DE 46 KV PARA LINEAS DE 38 KV.
 6. EL CONTRATISTA SERA RESPONSABLE DE NOTULAR TODO TRANSFORMADOR A SER TRANSFERIDO POR EL DEPARTAMENTO DE INGENIERIA DE DISTRIBUCION CORRESPONDIENTE.

NO.	DESCRIPTION	DATE

CONSULTANTS

No. 10, Edgemoor, Northridge, Los Angeles, CA 91325
 (818) 708-1100
 www.eha-engineering.com

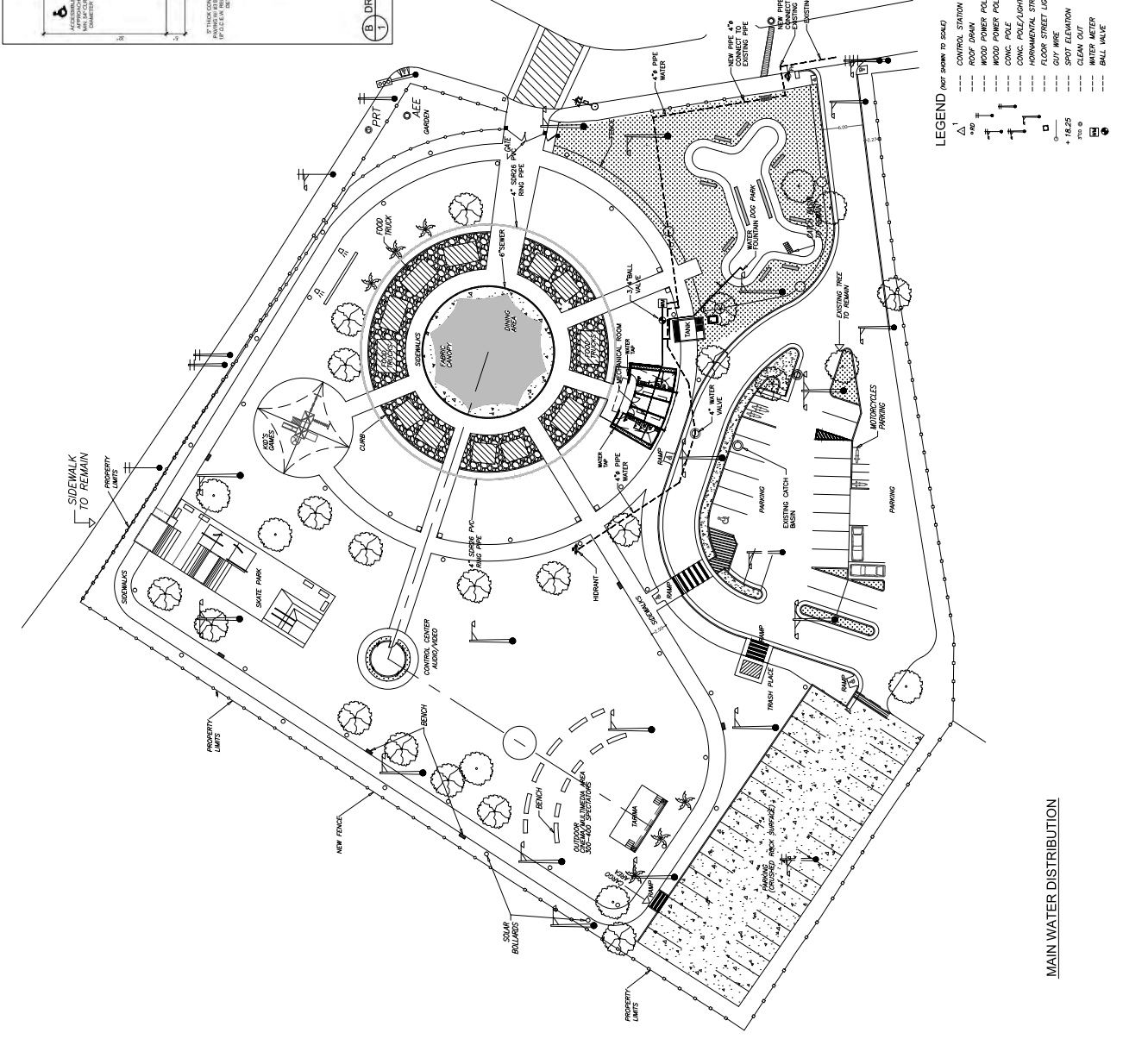
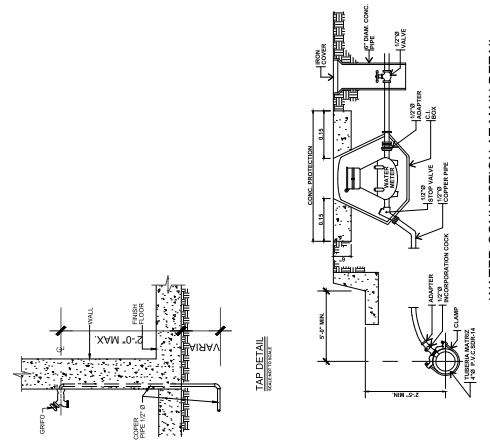
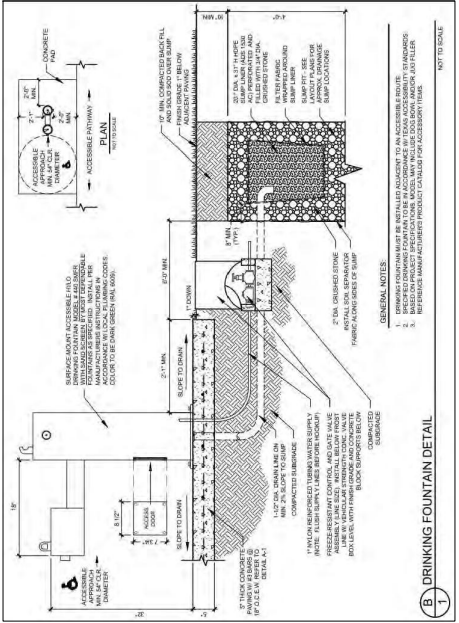
PROJECT NAME: **MUNICIPIO DE VEGA ALTA RECREATIONAL AND GASTRONOMIC PARK, BO. PUEBLO, VEGA ALTA**

TITLE: **MAIN WATER DISTRIBUTION PLAN**

FILE FILE: MUNICIPIO VEGA ALTA
 DRAWN BY: J.E.A.
 CHECKED BY: J.E.A.
 DATE: 15 DECEMBER 2023
 DRAWING NO.: _____

SHEET 19 OF 0

SCALE: _____



MAIN WATER DISTRIBUTION



EHA
ENGINEERING, P.S.C.

NO.	DESCRIPTION	DATE

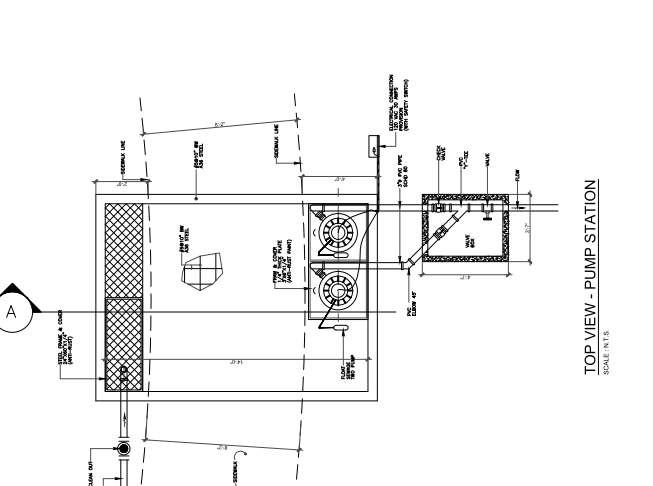
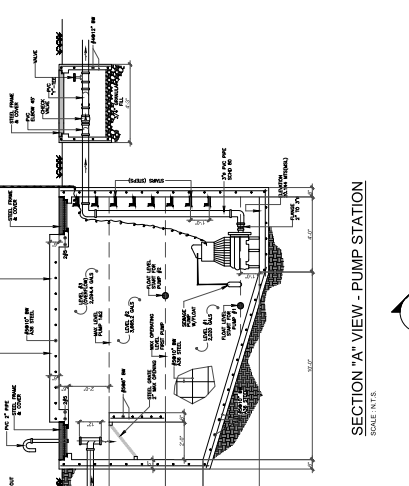
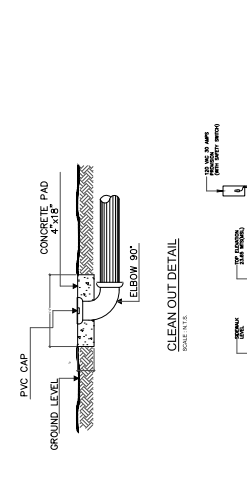
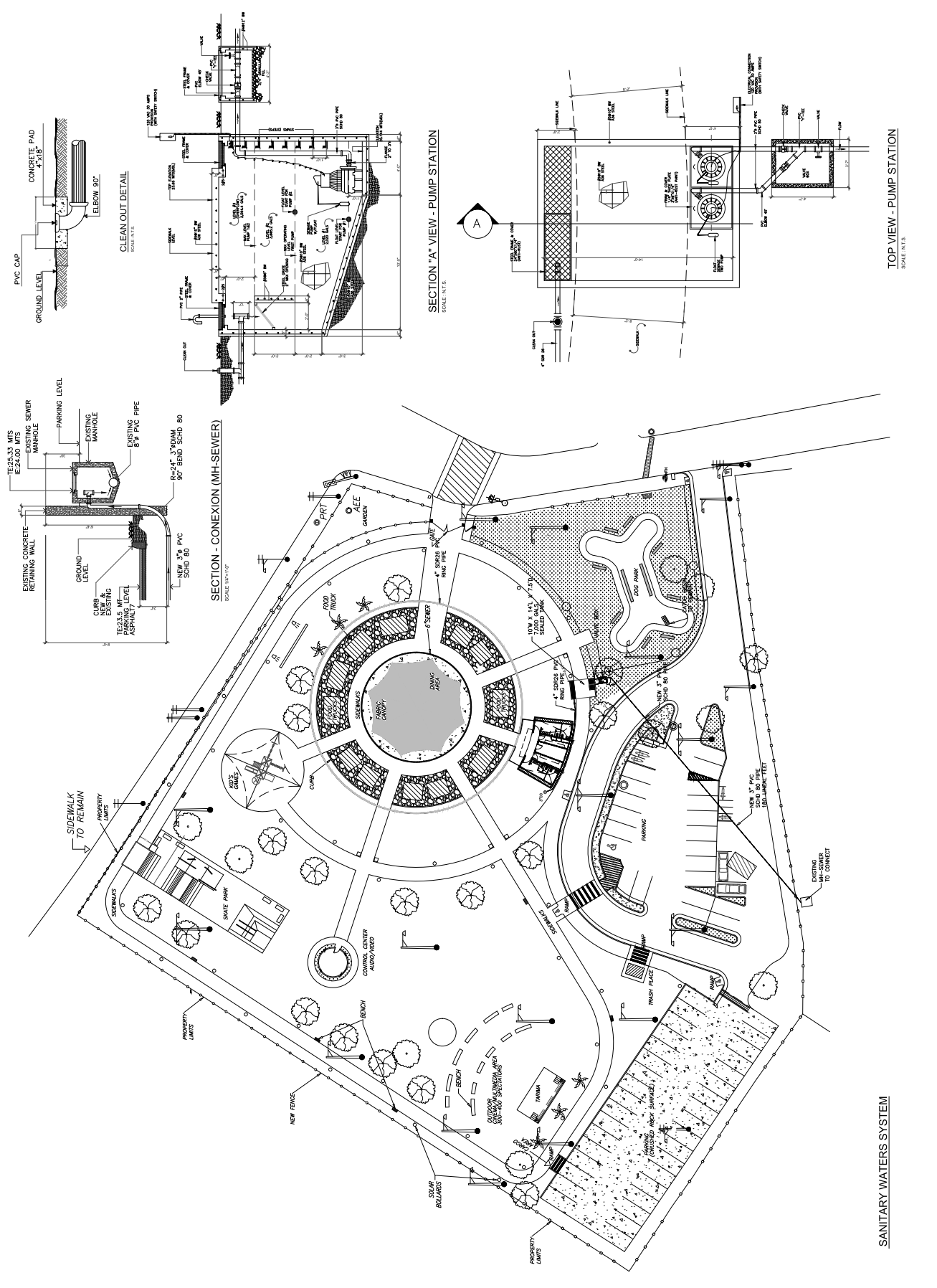
CONSULTANTS

No. Ejemplo: Hernández, Andrés, Insuasti, Tatiana. Este es un ejemplo de la información que debe ser suministrada por el profesional que elabore el proyecto. Se debe suministrar la información requerida para que el profesional que elabore el proyecto pueda cumplir con el objetivo del proyecto. La información que debe ser suministrada por el profesional que elabore el proyecto debe ser clara, concisa y de fácil comprensión para el propietario. La información que debe ser suministrada por el profesional que elabore el proyecto debe ser de fácil acceso y de fácil comprensión para el propietario. La información que debe ser suministrada por el profesional que elabore el proyecto debe ser de fácil acceso y de fácil comprensión para el propietario.

PROJECT NAME: TITULOS
**MUNICIPIO DE VEGA ALTA
 RECREATIONAL AND
 GASTRONOMIC PARK
 BO. PUEBLO, VEGA ALTA**

PROJECT NO.:
 TITLE: **SANITARY WATER
 SYSTEM PLAN**
 FILE FILE: MUNICIPIO VEGA ALTA
 DRAWING NO.: A.E.N.
 REVISIONS: 02, 03, 04, 05, 06, 07, 08, 09, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20
 DATE: 15 DECEMBER 2023
 DRAWING NO.: P.3

SHEET	OF
20	0



TOP VIEW - PUMP STATION
 SCALE: N.T.S.

SANITARY WATERS SYSTEM



EHA
ENGINEERING, P.S.C.

NO.	DESCRIPTION	DATE

OWNER / CLIENT: _____

LOGO

CONSULTANTS

Nada Impreso:
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Proyecto: _____

Fecha: _____

Escala: _____

Autores: _____

Revisores: _____

Proyecto: _____

PROJECT NAME NUMBER

MUNICIPIO DE VEGA ALTA
PARQUE RECREACIONAL
Y GASTRONOMICO
BO. PUEBLO, VEGA ALTA

PROJECT NO.

TITLE

**STRUCTURAL
SIDEWALK AND
DETAILS**

FILE TITLE: MUNICIPIO VEGA ALTA
PROJECT NO. 2021-001
PROJECT SCALE: AS SHOWN
DRAWING NO. 2021-001-001
DATE: DECEMBER, 2021

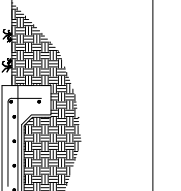
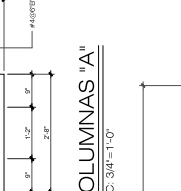
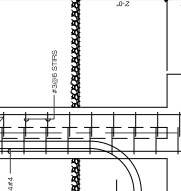
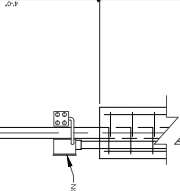
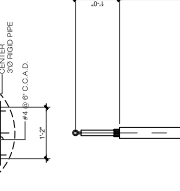
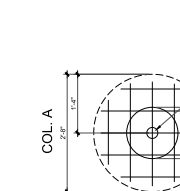
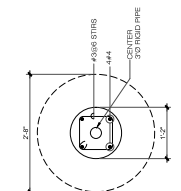
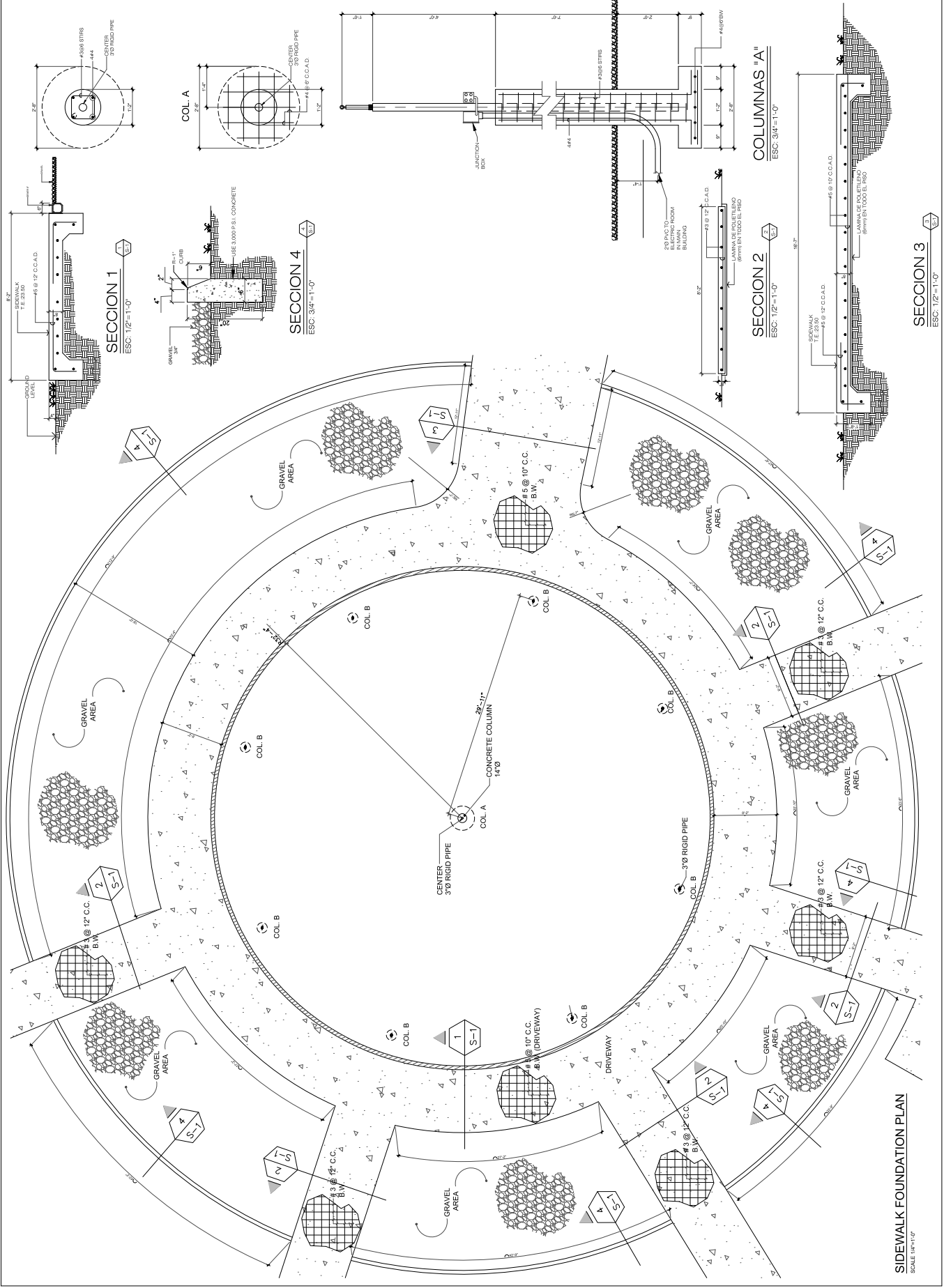
SHEET 12 OF 12

SCALE: _____

DATE: _____

SECTION 3

ESC. 1/2"=1'-0"



SECTION 1
ESC. 1/2"=1'-0"

SECTION 2
ESC. 1/2"=1'-0"

SECTION 3
ESC. 1/2"=1'-0"

SECTION 4
ESC. 1/2"=1'-0"

SECTION 5
ESC. 1/2"=1'-0"

SECTION 6
ESC. 1/2"=1'-0"

SECTION 7
ESC. 1/2"=1'-0"

SECTION 3
ESC. 1/2"=1'-0"

SIDEWALK FOUNDATION PLAN
SCALE: 1/4"=1'-0"



EHA
ENGINEERING, PSC
OWNER / DEVELOPER

NO.	DESCRIPTION	DATE

CONSULTANTS
MANAGER:
No. 1616613
No. 18030
No. 18031
No. 18032
No. 18033
No. 18034
No. 18035
No. 18036
No. 18037
No. 18038
No. 18039
No. 18040
No. 18041
No. 18042
No. 18043
No. 18044
No. 18045
No. 18046
No. 18047
No. 18048
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No. 18051
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No. 18091
No. 18092
No. 18093
No. 18094
No. 18095
No. 18096
No. 18097
No. 18098
No. 18099
No. 18100

PROJECT NAME NUMBER
MUNICIPIO DE VEGA ALTA
PARQUE RECREACIONAL
Y GASTRONOMICO
BO. PUEBLO, VEGA ALTA

PROJECT NO.

TITLE
DETAILS OF
SIDEWALK

FILE TITLE MUNICIPIO VEGA ALTA
PROJECT NO. BO. PUEBLO, VEGA ALTA
DATE 10 DE DICIEMBRE 2021
SCALE AS SHOWN
DATE 10 DE DICIEMBRE 2021

SHEET 13
OF

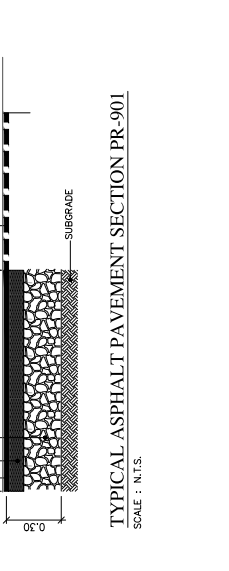
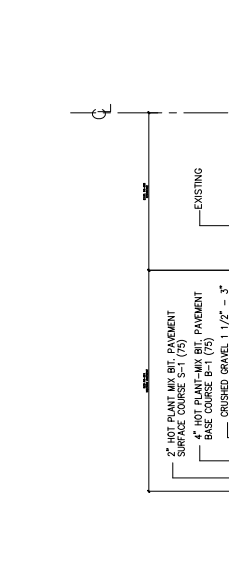
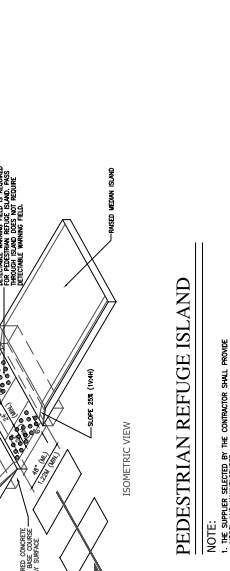
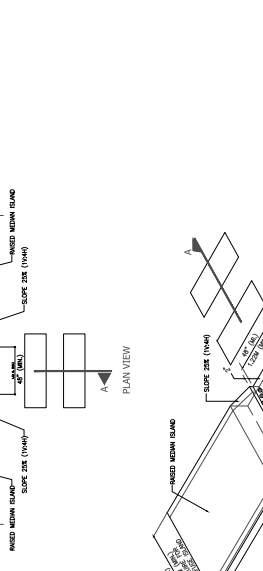
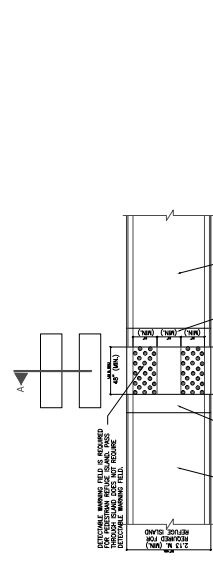
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MUNICIPIO DE VEGA ALTA
PARQUE RECREACIONAL
Y GASTRONOMICO
BO. PUEBLO, VEGA ALTA

PROJECT NO.

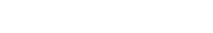
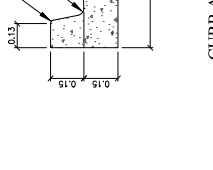
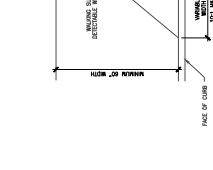
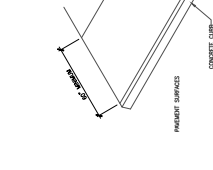
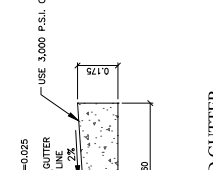
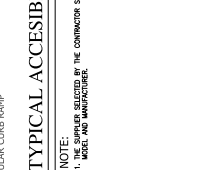
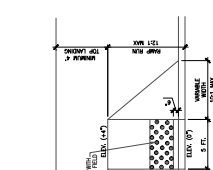
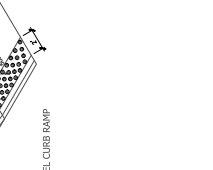
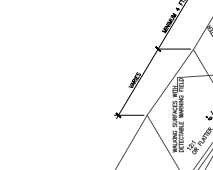
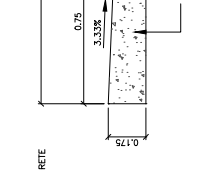
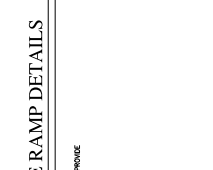
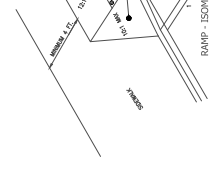
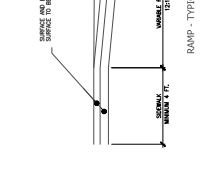
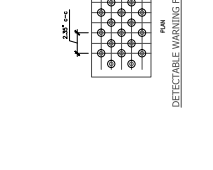
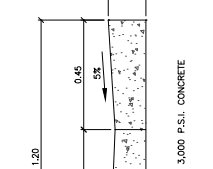
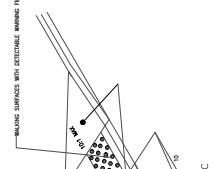
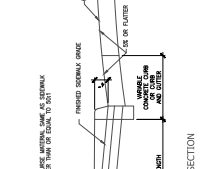
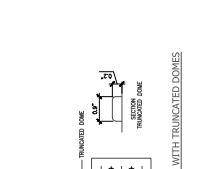
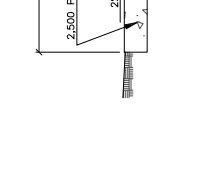
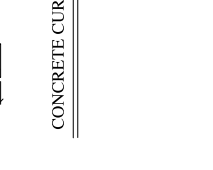
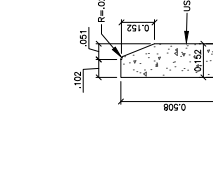
TITLE
DETAILS OF
SIDEWALK

FILE TITLE MUNICIPIO VEGA ALTA
PROJECT NO. BO. PUEBLO, VEGA ALTA
DATE 10 DE DICIEMBRE 2021
SCALE AS SHOWN
DATE 10 DE DICIEMBRE 2021

SHEET 13
OF



NOTES:
1. THE MINIMUM CROSS SLOPE OF RAMP IS NOT TO BE LESS THAN 2%.
2. DETECTABLE WARNING FIELD IS REQUIRED ON ALL RAMP SURFACES. DETECTABLE WARNING FIELD IS REQUIRED ON THE CURB SURFACE OF ALL RAMP ENDS. DETECTABLE WARNING FIELD IS REQUIRED ON THE CURB SURFACE OF ALL RAMP ENDS. DETECTABLE WARNING FIELD IS REQUIRED ON THE CURB SURFACE OF ALL RAMP ENDS.
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4. DETECTABLE WARNING FIELD IS REQUIRED ON THE CURB SURFACE OF ALL RAMP ENDS. DETECTABLE WARNING FIELD IS REQUIRED ON THE CURB SURFACE OF ALL RAMP ENDS.
5. DETECTABLE WARNING FIELD IS REQUIRED ON THE CURB SURFACE OF ALL RAMP ENDS. DETECTABLE WARNING FIELD IS REQUIRED ON THE CURB SURFACE OF ALL RAMP ENDS.
6. DETECTABLE WARNING FIELD IS REQUIRED ON THE CURB SURFACE OF ALL RAMP ENDS. DETECTABLE WARNING FIELD IS REQUIRED ON THE CURB SURFACE OF ALL RAMP ENDS.





13 de enero de 2020

Arq. Carlos A. Rubio Cancela
Director Ejecutivo
Oficina Estatal de Conservación Histórica
Cuartel de Ballajá (Tercer Piso)
Calle Norzagaray, Esquina Beneficiencia
San Juan, Puerto Rico

Re: Autorización para Someter Documentos

Estimado Arq. Rubio Cancela:

El Departamento de Vivienda y Desarrollo Urbano (HUD, por sus siglas en inglés) de los Estados Unidos aprobó una asignación de fondos tipo Subvención en Bloque para el Desarrollo Comunitario (CDBG-DR, por sus siglas en inglés) el 9 de febrero de 2018. El objetivo de esta asignación es atender necesidades insatisfechas a consecuencia del paso de los huracanes Irma y María ocurrido en septiembre de 2017.

Para cumplir con los requisitos ambientales que establece HUD, el Departamento de Vivienda de Puerto Rico contrató a Horne Federal, LLC para proporcionar servicios de revisión de registros ambientales, entre otros, que respaldarán los objetivos de la agencia para el Programa CDBG-DR.

En el ánimo de agilizar los procesos se autoriza a Horne Federal, LLC, a presentar ante la Oficina Estatal de Preservación Histórica, documentación de los casos relacionada al Programa CDBG-DR en representación del Departamento de Vivienda.

Cordialmente,



Dennis G. González Ramos, PE MEM
Subsecretario
Programa CDBG-DR

Exhibit 11. Sole Source Aquifers

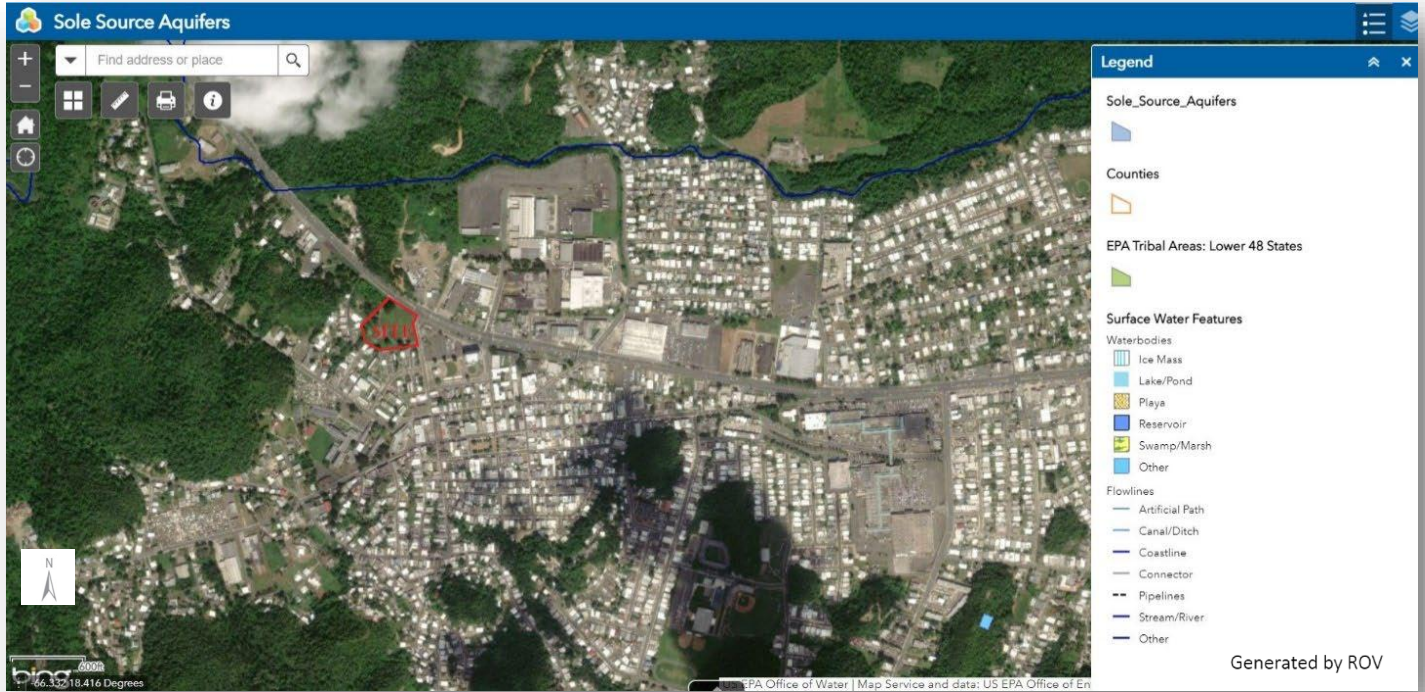


Exhibit 12. Wetland Protection

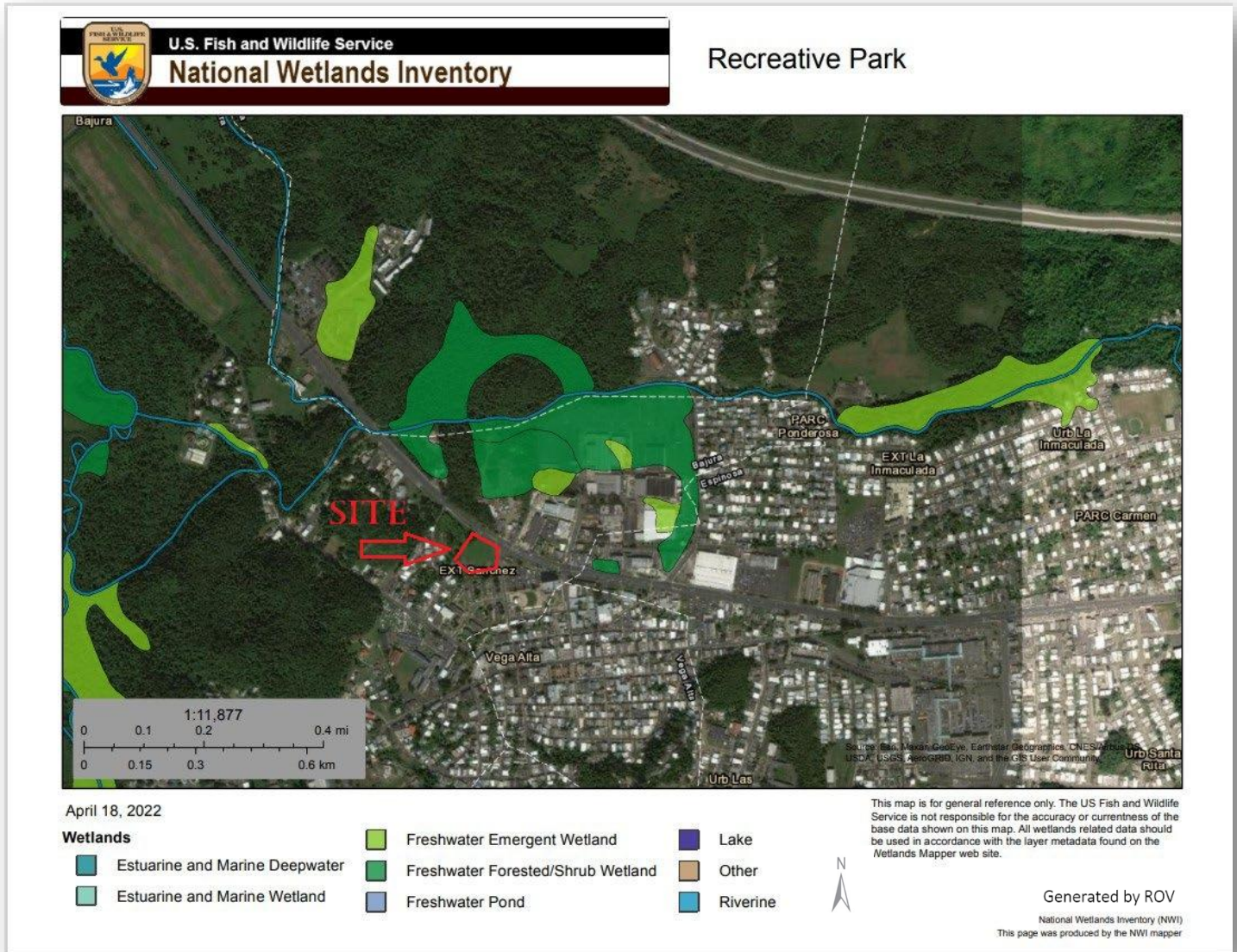



Exhibit 13. Wild and Scenic Rivers

Location and list of Wild and Scenic Rivers in Puerto Rico

From: <https://rivers.gov/puerto-rico.php>

PUERTO RICO

Puerto Rico has approximately 5,385 miles of river, of which 8.9 miles of three rivers are designated as wild & scenic—less than 2/10ths of 1% of the commonwealth's river miles.



Legend

- Rio de la Mina
- Rio Icacos
- Rio Mameyes

Choose A State ▼ Go

Choose A River ▼ Go

+ View larger map

Dark and foreboding one minute, sun-drenched and exploding with color the next, tropical rivers span every mood.

Distance to the W&S Rivers in the El Yunque National Forest



Generated by ROV

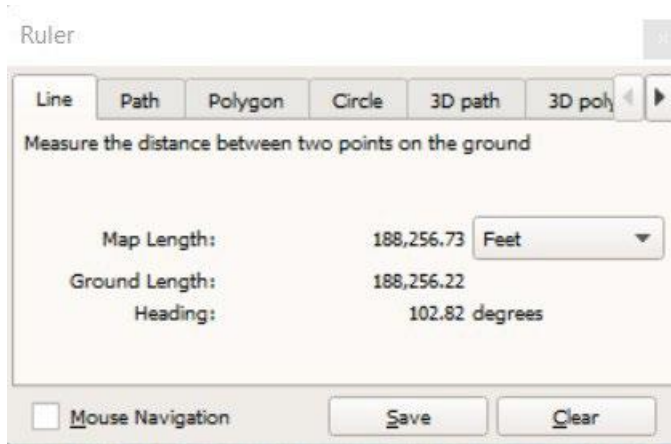
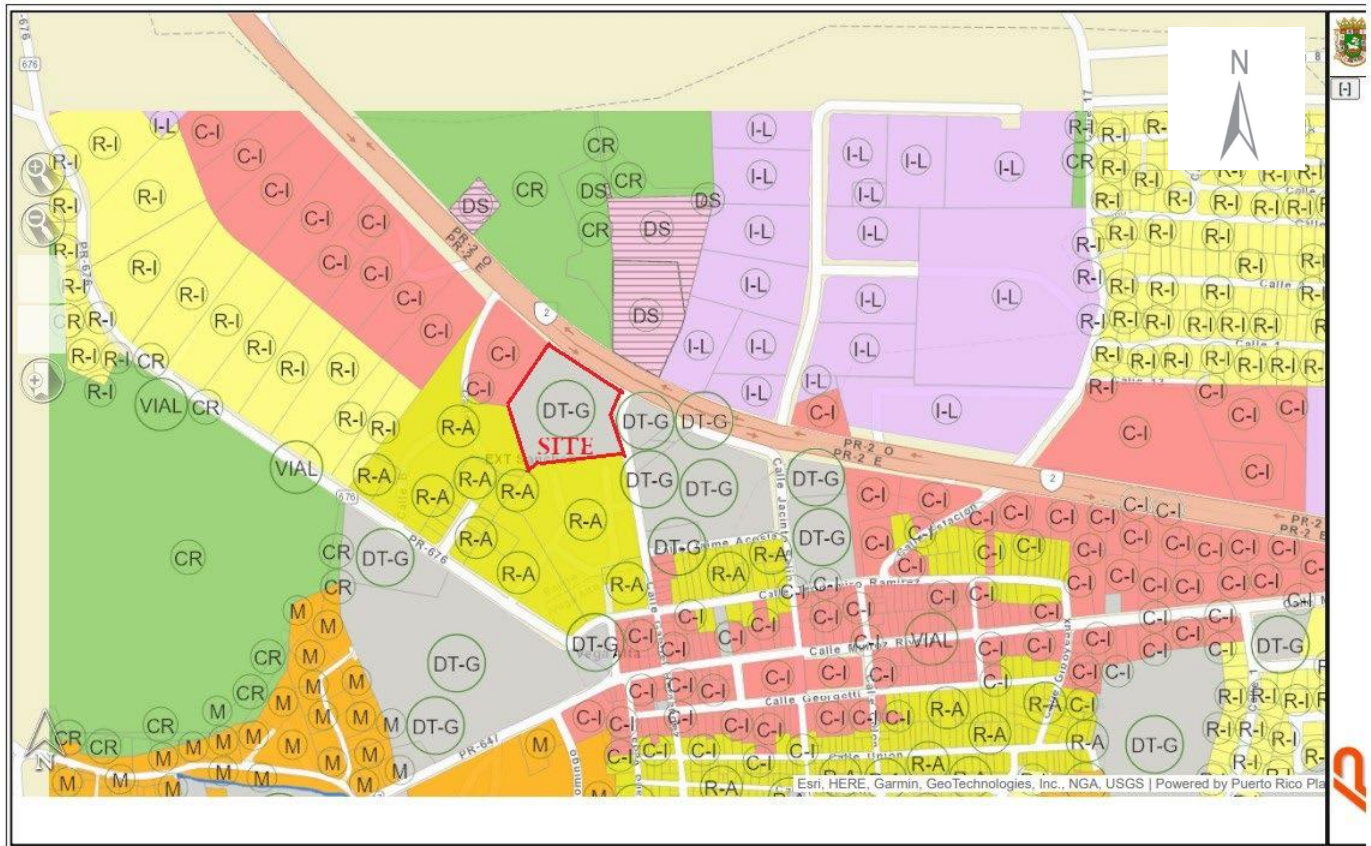


Exhibit 14. Calification Map



Distrito Anterior	DISTRITO	NOMBRE	Usos	Altura (m)	Tamaño Solar (mc)	Densidad Poblacional	Área de Ocupación	Área Bruta de Piso	Patio Delantero	Patio Lateral	Patio Posterior
C-1,C-2, C-3	C-I	Comercial Intermedio (para suplir necesidades de varios vecindarios y áreas comerciales existentes de carácter central)	Usos en C-L, estaciones gasolina, hospederías (con restricciones), oficinas alto volumen, recreación comercial simple, industrias livianas y otros	Hasta 12m pero 3ra planta será residencial, otros	Posterior a Reglamento: >=300mc y ancho>= 12m	1 unid. vivienda básica por cada 100 mc de solar, otros	No excederá 70% del área del solar	No más de 300% del área del solar, otros	en Reglamento, otros	2 con min. de 2m, 1/5 altura del edificio (la mayor), otros	>=3m, 1/5 altura del edificio (la mayor), otros
C-4	C-C	Centro Comercial Extensa (centros de mercado desarrollados)	Usos serán determinados por consulta de ubicación	Hasta 30 m, otros	>=8,000mc	1 unid. vivienda básica por cada 100 mc de solar, otros	Lo requerido en Consulta Ubicación. No mas de 30% del área del solar si no se estableció	Lo requerido en Consulta Ubicación. No mas de 30% del área del solar si no se estableció	>=15m, otros	>=15m, otros	>=15m, otros
C-5	RC-E	Recreación Comercial	Usos autorizados via consulta de ubicación tales como pistas carreras vehiculos de motor, estadios, boleras, cines, estudios cine, hipódromos, parques recreación comercial, piscinas, hotel, casino, otros	Hasta 2 veces el ancho de la via donde da frente, otros	No tiene	No se especifica	No se especifica	No se especifica	No se especifica	No se especifica	No se especifica
I-1, IL-1	I-L	Industrial Liviano (excluyendo el uso residencial e industrias pesadas)	Distribución al por mayor, cremación, estaciones transbordo, industrias farmacéuticas, talleres de reparación, estacionamiento, estación de gasolina, transformar materia prima, otros	Edificios hasta 2 veces el ancho de la via donde da frente, otros	Posterior a Reglamento: área>=800mc y ancho>=20m	No se especifica	No excederá 75% área del solar	No más de 450% del área del solar, otros	No requiere para las primera 3 plantas con excepciones (ver Reg. 4)	2 con min. de 2m, 1/5 altura del edificio (la mayor), otros	>=3m, 1/5 altura del edificio (la mayor), otros
I-2, IL-2	I-P	Industrial Pesado (Proyectos específicos que por su naturaleza e intensidad requieren de una ubicación especial)	Procesos con sustancias químicas, cantera, cremación, recuperación energía; productos de hormigón, asfalto, metales; desmembramiento de vehiculos, vertederos, estación gasolina, estacionamientos, almacenamiento a granel, actividades industriales, otros	Será establecida en consideración de la industria a establecer	Posterior a Reglamento: >=8,000mc y ancho>=40m	No se especifica	No excederá 50% área del solar	No más de 300% del área del solar, otros	>=3m, otros	2 con min. de 5m, otros	>=5 metros, otros
P	DT-G	Dotacional General (Terrenos públicos o privados con usos dotacionales, institucionales, recreativos, cívicos, docentes, filantrópicos, culturales, científicos, educativos, religiosos o similares)									
P	DT-P	Dotacional Parque (Preservar carácter abierto de espacios grandes y poderosos dedicar a	Compatibles con los propósitos, tales como: parques y facilidades recreativas al aire libre y usos accesorios relacionados, ver requisitos.	Hasta 2 plantas o 9m de alto							

Exhibit 15. Soil Report



Ur—Urban land

Map Unit Composition

Urban land: 100 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Urban Land

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 8s

Exhibit 16. Electric Charge

Electric Charge - Multifunctional Recreational Park

	Installation Type	Amount	Load per unit	Full Load	Unit	KW-H
1	Food Trucks Max Capacity	12	1500	18000	watts	18
2	Ornamental Luminaires	20	25	500	watts	0.5
3	Parking Lot Lights	10	75	750	watts	0.75
4	Charge by Bathrooms	2	400	800	watts	0.8
5	Charge by Office	1	1000	1000	watts	1
6	Food Area Luminaire	4	300	1200	watts	1.2
7	Commercial Fans	4	400	1600	watts	1.6
8	Multimedia Control Room	1	2500	2500	watts	2.5
9	Sound Projection Room	1	3000	3000	watts	3
10	Sound Dining Area	1	750	750	watts	0.75
11	Area Dog Park Luminaire	6	60	360	watts	0.36
12	Multimedia Recharge Area	1	450	450	watts	0.45
13	Sanitary Pump Station	2	1725	3450	watts	3.45
14				0	watts	0
15				0	watts	0
16				0	watts	0
			Total Charge	34360	watts	34.36

Power Factor	0.75	Brewery-Food Industry (.75-.80)
Power KV (Design)	45.81333333	KV
Daily Charge	10	HRS-OP

Rev. 06/21



UTILITY TRANSFORMATION - DISTRIBUTION ENGINEERING REPORT

6 de mayo de 2022

Sra. Iliana Garay Oh
Gerente Interina de Edificabilidad
Y Códigos e Infraestructura
PO Box 41118
Santurce, PR 00940

Estimada señora Garay:

Asunto: Parque Recreacional y Gastronómico de Vega Alta
Dueño: Municipio Vega Alta
Pueblo: Vega Alta
OGPe: 2022-419515-SRI-054659
LUMA : 22-5-0036
Carga: 50 KVA

Nos referimos a su solicitud de información, con la cual nos incluía el plano de situación y localización del proyecto de referencia. Para punto de conexión y condiciones para los planos de diseño requeridos, refiérase al croquis y a las notas que se incluyen en este informe:

1. El proyecto consiste en la instalación de una subestación privada tipo PM de 50 KVA monofásicos que le proveerá servicio al nuevo Parque Recreacional y Gastronómico de Vega Alta.
2. Deberá presentar plano de diseño para endoso por certificación y la Certificación de Planos de Construcción Eléctrica para la distribución eléctrica correspondiente firmados digitalmente mediante OGPe. Ver Comunicado Técnico 18-01 de la Autoridad de Energía Eléctrica (AEE) del 29 de junio de 2018 para más detalles al respecto. En adición, los documentos a radicarse deben estar acompañados por la Estampilla Digital Especial según se describe en el Comunicado Técnico 17-01 del 31 de enero de 2017.
3. El diseñador deberá leer y entender este informe; de haber dudas relacionadas al mismo, debe aclararlas con el Ingeniero Supervisor de la Región de Arecibo antes de radicar el plano para endoso. En adición, debe analizar y estudiar este informe e incluir y conformar parte del plano las notas pertinentes que se especifican como "Incluir nota al efecto en los planos de diseño".
4. En el sector existen líneas eléctricas aéreas trifásica a un voltaje de 8.32 KV, 4 conductores calibre número 556 Kcmil.

CASO # 22-5-0036
6 de mayo de 2022
Página 2 de 7

5. El voltaje de alimentación será de 8.32 KV. Alimentador Núm. 9101-04.
6. Esta evaluación cancela y sustituye cualquier anterior.
7. El dueño del proyecto aportará la cantidad de \$ 550.00 el pago será mediante efectivo, cheque certificado o giro en la Oficina Comercial de la LUMA más cercana, para realizar mejoras al sistema eléctrico. Deberá solicitar un referido de pago, y una vez realizado el pago, deberá someter copia de la evidencia del mismo a la Oficina de Ingeniería – Región Arecibo con tres meses de anticipación al comienzo de los trabajos. Incluir nota al efecto en los planos de diseño. Cuenta número CIG 419.06 XXX.
8. El proyecto
 - a. se conectará en punto P-1.

Las Coordenadas NAD 83 (en metros) correspondientes al punto de conexión para el proyecto son: x: 210757.24, y: 264337.60. Coordinar punto exacto con el Gerente de Distrito de Vega Baja, y detalles y costos de conexión con la Oficina de Ingeniería de Arecibo.
9. El punto P-1 (de conexión) indicado en el croquis se denomina *punto de entrega*. No se transferirá a LUMA la infraestructura eléctrica desde ese punto. El servicio que se deriva del mismo es considerado como exclusivo y privado, por lo que mantenimiento, reparación y reemplazo del sistema es responsabilidad del dueño o administrador del proyecto.
10. Para servir el proyecto, el dueño realizará los siguientes trabajos:
 - a. Será responsable de extender la toma monofásica soterrada requerida desde el punto de conexión hasta el proyecto.
 - b. El servicio que se deriva del mismo es considerado como exclusivo y privado, por lo que mantenimiento, reparación y reemplazo del sistema es responsabilidad del dueño o administrador del proyecto. Coordinará con la Oficina de Ingeniería de la Región de Arecibo la instalación de este.

Incluir nota al efecto en los planos de diseño.
11. Se requiere incluir como parte del diseño la instalación de disyuntores con protección de fusibles a la entrada del proyecto en el punto de conexión o en el primer poste del proyecto. Incluir el detalle y nota al respecto en los planos de diseño.

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12. El dueño del proyecto, una vez sea endosado el plano de diseño, solicitará la preparación del estimado de los trabajos descritos en el inciso anterior. Deberá solicitar un referido de pago, para realizar las mejoras. Una vez realizado el pago, deberá someter copia de la evidencia de este a la Oficina Ingeniería de Arecibo, con tres meses de anticipación al comienzo de los trabajos. Incluir nota al efecto en los planos de diseño.
13. A menos de una milla de distancia de la costa tanto los equipos como los materiales deberán ser en acero inoxidable, y el conductor a utilizar será ACAR (Aluminum Conductor Alloy Reinforced), AAAC (All Aluminum Alloy Conductor), ACSR/AW (Aluminum Conductor Steel Reinforced with Alumoweld Core wire) según comunicado técnico 07-04. Incluir nota a tales efectos en los planos de diseño.
14. Todo transformador de distribución a ser conectado al sistema de LUMA deberá ser diseñado y construido con características de pérdidas mejoradas, y los niveles de eficiencia mínimos que establece el Departamento de Energía de Estados Unidos (DOE, por sus siglas en inglés), y descritos en el Comunicado 15-03, "Revisión de parámetros para transformadores según reglamentación del Departamento de Energía Federal (DOE)", del 30 de septiembre de 2015.
15. LUMA seleccionará el tipo de metro contador a ser instalado en este proyecto de acuerdo con el servicio solicitado y a su disponibilidad en los almacenes. El contratista deberá coordinar con el Supervisor de Operaciones "Low Voltage" / Supervisor Ordenes de Servicio de la región de Arecibo, para que se le provean las especificaciones de la base del metro contador antes de iniciar los trabajos de construcción. Incluir nota a tales efectos en los planos de diseño.
16. Todo proyecto que requieran equipo de medición para servicio con tarifa al por mayor deberá cumplir con el Comunicado 13-05 (Equipo de Medición para Servicios con Tarifa al por Mayor). Debe coordinar con la Oficina de Metering Standard & Procedure Utility Transformation - para todo lo relacionado con estos equipos, previo a someter plano para endoso. Tienen que coordinar el tipo de medición, equipos a utilizarse y la ubicación de éstos. Estos detalles deben ser incluidos en el plano a ser sometido para el endoso. Además, tienen que incluir una nota en los planos de diseño que indique lo siguiente:

"Este proyecto requiere contrato de cuentas al por mayor, el cual es requisito que se firme previo a la energización del proyecto. El tipo de medición, los equipos a utilizarse y la ubicación del equipo de medición fue coordinada Metering Standard & Procedure Utility Transformation."

Para la coordinación debe de comunicarse al teléfono: (787) 521-2058 o a través de los correos electrónicos: jesus.lopezarguello@lumapr.com. Debe de someter en esa oficina lo siguiente: carta con nombre del proyecto solicitando

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evaluación estableciendo el proyecto, diagrama o páginas de planos que contienen los detalles de la medición propuesta a evaluar, tipo de medición, la localización propuesta del equipo de medición, voltaje primario y secundario de la subestación, capacidad de la subestación, número de caso AEE y número de caso OGPe.

17. Este proyecto está afectado por líneas eléctricas. Cualquier trabajo de reubicación de líneas eléctricas energizadas será realizado por LUMA, con cargos al dueño y deberá coordinarse con el Supervisor del Distrito de Vega Baja. Además, se prohíbe la realización de cualquier tipo de trabajo en las franjas de servidumbre de paso eléctricas sin la autorización escrita de LUMA. LUMA no aprobará la conexión de proyectos con condiciones de invasión de servidumbres o que no cumplan con los despejos de seguridad requeridos.
18. El dueño del proyecto deberá coordinar con el Gerente de Distrito de Vega Baja el voltaje primario a ser utilizado, previo a la compra de los transformadores.
19. Será responsabilidad del dueño del proyecto obtener y gestionar todos los endosos de las agencias reguladoras tales como:
 - a. Departamento de Recursos Naturales y Ambientales (DRNA) - Declaración de Impacto Ambiental (DIA),
 - b. Instituto de Cultura Puertorriqueña - División de Permisos Arqueológicos,
 - c. Cuerpo de Ingenieros de Estados Unidos,
 - d. Departamento de Transportación y Obras Públicas Estatal o Municipal,
 - e. Junta de Planificación,
 - f. Oficina de Gerencia y Permisos (OGPe),
 - g. Otras agencias gubernamentales, federales y privadas requeridos para el desarrollo del proyecto.
20. Es responsabilidad del diseñador y el desarrollador cumplir con los siguientes Reglamentos y Comunicados Técnicos de la AEE / LUMA:
 - a. Reglamento conjunto: "Reglamento conjunto para la evaluación y expedición de permisos relacionados al desarrollo y uso de terrenos" del 24 de marzo de 2015.
 - b. 07-02 "Pruebas a cables soterrados nuevos y sus accesorios en proyectos privados" del 29 de junio de 2007
 - c. 08-09 "Documentos requeridos por la AEE para el desarrollo de proyectos de construcción eléctrica" del 8 de diciembre de 2008
 - d. 09-03 "Sello y notas generales para planos a presentarse para endoso de la AEE" del 4 de mayo de 2009

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- e. 12-01 "Política pública para la construcción de sistemas eléctricos" del 8 de junio de 2012
 - f. 13-02 "Criterios de diseño para sistemas eléctricos aéreos de transmisión y distribución" del 22 de agosto de 2013
 - g. 13-03 "Bases de hormigón para postes de líneas eléctricas" del 22 de agosto de 2013
 - h. 15-01 "Documentos requeridos para la evaluación y endoso de proyectos de construcción eléctrica" del 18 de junio de 2015
 - i. 15-02 "Postes para sistemas de distribución eléctrica primaria" del 2 de septiembre de 2015
 - j. 15-04 "Instalaciones bajo líneas de distribución eléctrica" del 13 de octubre de 2015 (Revisado por Comunicado 16-02)
 - k. 18-01 "Revisión del proceso para la evaluación y endoso de proyectos de construcción eléctrica" del 29 de junio de 2018
21. Los sistemas de alumbrado a construirse deberán cumplir con los siguientes Comunicados de la AEE / LUMA:
- a. 07-01, "Sistemas de Alumbrado", del 26 de marzo de 2007.
 - b. 16-03, "Proyectos de Construcción con Sistemas de Alumbrado Público", del 2 de diciembre de 2016.
 - c. 16-04, "Instalación de Luminarias Tipo Diodo Emisor de Luz (Light Emitting Diode – LED)", del 2 de diciembre de 2016.
22. Estampilla Digital Especial (EDE) del CIAPR – Comunicado 17-01: *Estampillas en Documentos Certificados por Ingenieros y Agrimensores presentados ante la Autoridad de Energía Eléctrica*. La cancelación de estampillas no se limita a planos en proyectos de construcción. Aplica además a todo servicio, documentos o certificación de ingeniería o de agrimensura. En el caso de la *Estampilla Digital Especial (EDE)*, todo profesional licenciado del CIAPR deberá cancela la misma para dar validez a los trabajos de ingeniería o de agrimensura. Todo *Servicio* de gerencia de proyectos y gerencia de construcción que conlleven la práctica profesional, superintendencia, asesoría técnica, peritaje, trámites especiales, etc. Toda *Certificación* de instalaciones o inspecciones de maquinarias, sistemas, equipos, distancias, radios, prevención de incendios, salud, etc. Todo *Documento* de evaluaciones ambientales, pruebas de campo y laboratorio, investigaciones, mediciones, estudios técnicos, inspecciones, estudios catastrales, informes periciales, control de calidad, permiso, pre-consulta y consulta ante agencias gubernamentales, etc. Todo *Plano* de mensura, segregación, agrupaciones, colindancias, líneas costeras, zonas de amortiguamiento, nivelación, deslindes, lotificaciones, rectificaciones de cabida, servidumbres de paso, determinación de susceptibilidad a inundaciones, zona marítima terrestre, plot plan, inscripción etc. La Estampilla Digital Especial (EDE) deberán ser

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sometidas para el proceso de endoso de planos, revisiones y para inscripción de servidumbre en el Departamento de Ingeniería de la Región de Arecibo para el proceso correspondiente.

23. Las aportaciones y pagos por concepto de trabajos a realizarse por LUMA, especificados en este informe, deberán realizarse con dos meses de anticipación al comienzo del proyecto.
24. Mostrar las líneas eléctricas de transmisión y distribución a instrumento y respetar las servidumbres de paso de aquellas que pasen por el proyecto. En caso de la construcción de nuevas líneas eléctricas que requieran servidumbre deberá incluir en el plano de diseño la ubicación exacta, su ancho y una leyenda que describa la misma en conjunto con la tabla de mensura certificada por un agrimensor o ingeniero licenciado inscrito en el registro permanente de agrimensura (RPA), autorizado a ejercer la profesión de la agrimensura en Puerto Rico (Secc. IV, Art. C – 1j del Reglamento de Servidumbres). En adición, deberá indicar claramente los límites del proyecto, los colindantes y propietarios afectados.
25. El dueño del proyecto es responsable de cumplir con los requisitos establecidos en el Reglamento de servidumbres para la Autoridad de Energía Eléctrica. Toda nueva servidumbre para constituirse ya sea para líneas y equipos eléctricos debe cumplir con los requisitos establecidos en el Apéndice B del Reglamento. De igual forma, con los requisitos relacionados a las servidumbres asociadas a instalaciones eléctricas existentes en el área del proyecto.
26. Será responsabilidad del diseñador del proyecto indicar la localización exacta del proyecto, ilustrar las líneas eléctricas existentes y coordinar la reubicación de líneas eléctricas.
27. Esta evaluación del punto de conexión no constituye una revisión del plano de diseño. El diseñador es responsable de cumplir con los códigos, reglamentos, manuales, estándares y normas aplicables vigentes para los sistemas eléctricos en Puerto Rico. Además, deberá cumplir con los reglamentos de ordenación de la infraestructura en el espacio público (Reglamento de Planificación Número 22), según exige la Oficina de Gerencia de Permisos (OGPe). Los sistemas de distribución y transmisión a desarrollarse en estas zonas deberán seguir las guías establecidas por este reglamento. Incluir nota al efecto en los planos de diseño.
28. El diseño de este proyecto deberá realizarse en forma Soterrada, según lo dispone el comunicado 12-01 del 8 de junio de 2012.

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6 de mayo de 2022
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29. El dueño del proyecto o su representante deberá notificarle a la Oficina de ingeniería de la Región Arecibo el comienzo de la obra posterior al endoso de los planos y previo a los trabajos eléctricos del proyecto para la requerida inspección, aprobación y coordinación necesaria. Incluir nota al efecto en los planos de diseño.
30. Incluimos como parte de esta evaluación croquis con información gráfica sobre facilidades eléctricas.
31. Los sistemas de alumbrado público a instalar deberán cumplir con el nuevo reglamento de la Oficina Estatal de Política Pública Energética (OEPPE) ahora Programa de Política Pública Energética (PPPE) del Departamento de Desarrollo Económico y Comercio (DDEC) según el comunicado 16-03 y 16-04 del 2 de diciembre de 2016 antes de radicar el plano de diseño para endoso.
32. Esta evaluación caduca a los dos años de su fecha de emisión.

Atentamente,

Jesús M.

Romero Bauzó

Jesús M. Romero Bauzó, PE
Región de Arecibo

Digitally signed by Jesús M.
Romero Bauzó
Date: 2022.05.06 15:11:51
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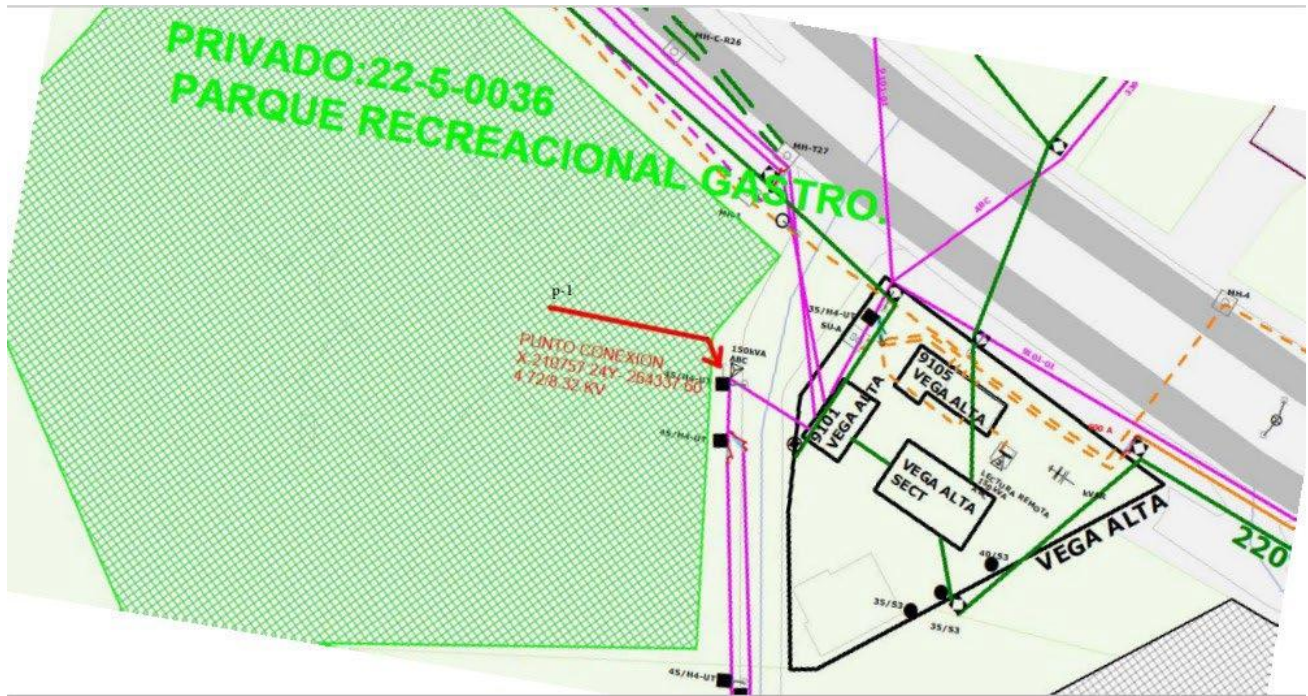


Exhibit 17. Solid Waste Disposal / Recycling



**PUERTO RICO DEPARTMENT OF HOUSING
CDBG-DR PROGRAM
CITY REVITALIZATION PROGRAM**

**PROJECT ENVIRONMENTAL REVIEW DOCUMENTATION PROCESS – CERTIFICATION OF
GARBAGE & RECYCLING DISPOSAL**

TASK 3.2 – Environmental Review

Subrecipient: Municipio de Vega Alta
Project Name: Parque Recreativo Multifuncional
Project ID Number: PR-CRP-000646
Location: 18.414689, -66.332031

CERTIFICACIÓN

Yo, María M. Vega Pagán, Alcaldesa del Municipio Autónomo de Vega Alta certifico que para el proyecto PR-CRP-00646: Parque Recreativo Multifuncional, el Municipio se hará cargo de todo lo relacionado al recogido y disposición de desperdicios sólidos al igual que materiales reciclables provenientes del Parque Recreativo.

Para que así conste y para fines oficiales firmo la presente en Vega Alta, Puerto Rico, hoy 30 de junio de 2022.

María M. Vega Pagán
Mayor
Autonomous Municipality of Vega Alta

6/29/22
Date

Exhibit 18. Aqueduct and Sewer Authority / Infrastructure / North Public and Private Projects



GOBIERNO DE PUERTO RICO

AUTORIDAD DE ACUEDUCTOS Y ALCANTARILLADOS | INFRAESTRUCTURA | PROYECTOS PÚBLICOS Y PRIVADOS NORTE

12 de mayo de 2022

Ing. Gabriel Hernández Rodríguez
Secretario Auxiliar
Oficina de Gerencia de Permisos (OGPe)
PO BOX 41179
San Juan, Puerto Rico 00940-1179

Estimado ingeniero Hernández:

**AAA-RN-22-73-0005 VEGA ALTA-PARQUE RECREATIVO MULTIFUNCIONAL Y FOOD TRUCKS
PR-2, KM. 31.5, BO. BAJURAS
9 UNIDADES EQUIVALENTES
OGPE: 2022-419515-SRI-054661
(RECOMENDACIÓN)**

Nos referimos al proyecto de epígrafe, sometido ante nuestra consideración para que se informe en cuanto a las facilidades de agua existentes y alcantarillado sanitario, que puedan servir al mismo. De acuerdo al memorial explicativo y la información provista, presentada por el Ing. Iván D. Hernández González (Lic.14265), el proyecto propuesto consiste de un parque recreativo multifuncional que se compondrá de Pista de Skate Park, Estructura Principal con baños, Tarima al aire libre, Control Room, área de Food Trucks, área para mascotas u área para actividades al aire libre. El área total de estructuras indica que es 4,191.83 ft², pies cuadrados y el área de "food trucks" de 7,250 ft², pies cuadrados. Además, indica un consumo estimado de agua de 3,000 galones por día.

El cómputo final de las unidades equivalentes estará basado en lo que, al presentar los planos hidráulicos, resulte ser la demanda requerida para el proyecto propuesto. Si las unidades equivalentes, resultan ser diferente a lo contemplado para fines de esta evaluación, esta Autoridad se reserva el derecho de modificar los términos de esta recomendación.

El servicio de agua podrá ser prestado mediante conexión a la línea de agua de 8" de diámetro en la PR-2, frente al proyecto. **La localización exacta de los puntos de conexión y de la infraestructura de agua existente deberán ser verificados y confirmados a través de la oficina o Centro de Excavaciones.**

Será necesario que el desarrollador del proyecto pague a esta Autoridad, la cantidad de quinientos (\$500.00) dólares por cada unidad de vivienda o su equivalente a conectarse, por el derecho a hacer uso del sistema de distribución de agua existente.

Complejo Industrial Víctor Rojas 2 Calle B Bloque 36 | P.O. BOX 475 Arecibo, PR 00612

AAA-RN-22-73-0005 VEGA ALTA-PARQUE RECREATIVO MULTIFUNCIONAL Y FOOD TRUCKS
PR-2, KM. 31.5, BO. BAJURAS
9 UNIDADES EQUIVALENTES
OGPE: 2022-419515-SRI-054661
(RECOMENDACIÓN)
12 DE MAYO DE 2022
Pág. 2 de 3

El servicio de alcantarillado sanitario para este proyecto podrá ser prestado mediante conexión a la tubería sanitaria de 8" de diámetro existente en la calle Gabriel Hernández, en el lado Este del proyecto.

Será necesario que el desarrollador del proyecto pague a esta Autoridad, la cantidad de quinientos (\$500.00) dólares por cada unidad de vivienda o su equivalente a conectarse, por el derecho a hacer uso del sistema de alcantarillado sanitario existente.

Antes de iniciar el proceso de construcción, deberán someter para aprobación de esta Autoridad, los planos de las obras de acueducto y alcantarillado sanitario para los que se solicita permiso, los cuales deberán estar sellados y firmados por el profesional responsable de los mismos. Estos incluyen, según aplique al caso, planos que contemplan:

- Sistemas de distribución de agua y de alcantarillado sanitario y su conexión a los sistemas de la AAA.
- Relocalización o extensión de obras de acueducto y alcantarillado sanitario.
- Obras Extramuros e Instalaciones para ser transferidas a la AAA para su operación.

Deberá cumplirse con los requisitos establecidos en el *Reglamento Conjunto de Permisos para Obras de Construcción y Usos de Terrenos*. Los planos deberán ser sometidos y aprobados por esta Autoridad, de acuerdo con el Reglamento para la Certificación de Planos de Construcción, antes de proceder con la construcción de las obras.

El desarrollador entregará un disco con el archivo digital de los planos del proyecto en escala, orientado al norte y en formato DWG o DXF y en PDF. Éste tiene que incluir un polígono (área) de la extensión territorial del proyecto georreferenciado al sistema de coordenadas North American Datum del 1983 (NAD 83). Además, tiene que indicar si la unidad de medida utilizada es en pies o metros y la revisión del NAD 83 que utilizó. El disco debe identificarse con el número del proyecto, nombre y dirección del mismo.

Al someter el plano final para aprobación, se deberá cumplir también con los siguientes requisitos:

1. Someter los documentos de certificación del ingeniero o arquitecto debidamente cumplimentados.
 - a. AAA-972 (Solicitud de Aprobación de Planos de Construcción)
 - b. AAA-1294 (Certificación de Ingeniero o Arquitecto)

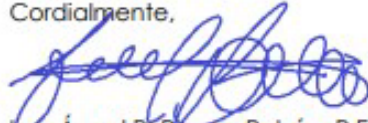
AAA-RN-22-73-0005 VEGA ALTA-PARQUE RECREATIVO MULTIFUNCIONAL Y FOOD TRUCKS
PR-2, KM. 31.5, BO. BAJURAS
9 UNIDADES EQUIVALENTES
OGPE: 2022-419515-SRI-054661
(RECOMENDACIÓN)
12 DE MAYO DE 2022
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2. Someter un estimado desglosado y por partida de las obras de acueducto y alcantarillado sanitario a instalarse en el proyecto.

Con los documentos de la aprobación de planos deberá presentar copia del permiso de construcción; Además luego de aprobados los planos el desarrollador deberá participar de una reunión pre-comienzo, preferiblemente sería remota y posteriormente deberá notificar la fecha del inicio de construcción del proyecto.

Estas recomendaciones estarán vigentes por el término de dos (2) años, a partir de la fecha de esta comunicación, al cabo del cual, de no haberse sometido planos de construcción de las obras de acueducto, y/o alcantarillado sanitario, el proyecto deberá someterse nuevamente ante la consideración de esta Autoridad.

Cordialmente,



Ing. Ángel R. Ramos-Pabón, P.E.
Gerente Técnico Región Norte
Proyectos Públicos y Privados

Exhibit 19. Endorsement from the Municipality



Exhibit 20. Highway and Transportation Authority



Inq. Gabriel Hernández Rodríguez
Secretario Auxiliar
Departamento de Desarrollo Económico y Comercio de PR
Oficina de Gerencia de Permisos
Apartado 41179
San Juan, PR 00940-1179



RECOMENDACIÓN DE INFRAESTRUCTURA
CASO NÚM.: 2022-419515-SRI-054670
CASO DE REFERENCIA: 5005-22-178

VIGENCIA DE 1 AÑO

NOMBRE DE PROYECTO
VEGA ALTA MULTIFUNCTIONAL RECREATIVE PARK

DESCRIPCIÓN Y LOCALIZACIÓN

INTERSTATE NHS OTROS

Dirección Física:
CARRETERA PR-2, KM 31.5
BARRIO BAJURAS, VEGA ALTA

Coordenadas:
Número de Catastro: **058-067-057-16**
Casos de Referencia:

Dueño / Proponente: **MUNICIPIO DE VEGA ALTA**
Proyecto Consiste: **CONSTRUCCION PARQUE RECREATIVO QUE INCLUIRÁ VEREDAS PARA CAMINAR, PISTA DE "SKATE BOARD", PARQUE PARA MASCOTAS, "FOOD TRUCKS" (7,250.00 PIES CUADRADOS) CINE AL AIRE LIBRE CON TARIMA, ÁREA DEDICADA PARA JUEGOS DE NIÑOS, ÁREA DE ESTACIONAMIENTO, EDIFICIO DE BAÑOS, OFICINA DE MANTENIMIENTO, ESTRUCTURA DE CENTRO DE CONTROL AUDIO/VIDEO, ÁREA DE ACTIVIDADES/EXHIBICIONES ITINERANTE EN UN PREDIO DE 2.9796 ACRES**

REQUISITOS Y COMENTARIOS

NO OBJETA
 SE OBJETA
 OTROS

1. Deberá revisar el barrio donde ubicará el proyecto propuesto ya que existen discrepancias entre lo expresado en el memorial explicativo y lo expresado en el plano.
2. Se deberá someter un plano "As - Built", preparado por un agrimensor licenciado colegiado o un ingeniero licenciado colegiado, incluido en el Registro Permanente de Agrimensura (RPA) que incluya, pero sin limitarse a, las servidumbres de paso existentes

Caso Núm.: 2022-419515-SRI-054670
C# 5005-22-178

Página 2

de las carreteras estatales y municipales con sus respectivas dimensiones, las dimensiones de los diferentes elementos de la sección transversal de dichas vías estatales y municipales, el kilómetro exacto de la carretera estatal, las medidas operacionales existentes (rótulos, marcado de pavimento o encintado), materiales y tipo de pavimento existentes, los colindantes con sus respectivos nombres, los accesos existentes en ambos lados de las carreteras estatales y municipales en un radio de 25.00 metros, medidos desde los límites de propiedad del predio de terreno a ser desarrollado, con sus respectivas dimensiones y las distancias de dichos accesos al proyecto propuesto, localización preliminar de tuberías de agua, registros, parrillas y desagües, puntos de elevación identificables existentes o a establecerse por el proyectista, elevaciones de descarga de registros y parrillas, tipos de encintados, badenes y las utilidades existentes en dichas vías estatales y municipales (AEE, AAA, Teléfono, Cable TV, sistemas de semáforos, etc.).

3. La media sección futura de la Carretera PR-2, en este sector será de 27.10 metros, medidos desde el eje central de dicha vía estatal. Se deberá ilustrar en el plano dicha media sección futura, más los taludes que sean necesarios para completar la misma.
4. Se deberá incluir en el plano una sección transversal en donde se ilustre dicha media sección futura y los taludes necesarios para completar la misma, si alguno.
5. Se deberá dedicar a uso público, a favor del Departamento de Transportación y Obras Públicas, la franja de terreno adicional necesaria para completar dicha media sección futura de 27.10 metros de la Carretera PR-2, más los taludes que sean necesarios, mediante la escritura correspondiente. Se deberá ilustrar e identificar en el plano dicha franja de terreno como "Franja De Terreno A Ser Dedicada A Uso Público A Favor Del Departamento De Transportación Y Obras Públicas" e incluir una tabla de estado de área para dicha franja. En donde la servidumbre de paso existente de la carretera sea mayor o igual que la requerida la misma permanecerá inalterada, por lo que se deberá obtener una Certificación de Conformidad de Colindancia de la Oficina de Derecho de Vía del Área de Adquisición de Propiedades de esta Autoridad, para asegurarse que los puntos de colindancia de la propiedad están conformes con la servidumbre de paso existente de dicha vía estatal. El proponente puede comunicarse con dicha oficina al 787-721-8787, extensiones 51239 y 51267 o al siguiente correo electrónico: iayala@dtop.pr.gov. De lo contrario, se deberá presentar el plano del proyecto de carretera de esta Autoridad que ilustre dicha servidumbre de paso existente.
6. Del plano sometido se desprende que el Municipio de Vega Alta, interesa continuar disfrutando de la franja correspondiente a la media sección futura, a dedicarse a uso público, por lo que, se deberá coordinar una reunión con la Oficina de Administración de Propiedades de esta Autoridad para determinar el trámite correspondiente para el alquiler de dicha franja y/o firmar un contrato donde se estipule que cuando esta Autoridad proceda con la construcción del ensanche correspondiente a dicha media sección futura, de la Carretera PR-2, el Municipio de Vega Alta se comprometa a remover a su costo todas las estructuras y demás áreas recreativas propuestas en dicha franja sin costo alguno para esta Autoridad. Puede comunicarse con dicha Oficina al 787-721-8787, extensión 1210. Se deberá incluir un memorial explicativo en donde se indique el día en que se celebró la reunión y los acuerdos a los que se llegaron en dicha reunión.

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7. Se deberá reconstruir la acera de 1.50 metros en el límite de colindancia de la propiedad. Se deberá ilustrar en el plano dicha franja de terreno, acera y encintado, con sus respectivas dimensiones.
8. El Artículo 5, Sección III-B del Reglamento para el Control de Accesos y Obras o Facilidades de Construcción en las Vías Públicas de Puerto Rico, según enmendado, establece que siempre que sea posible desarrollar accesos directos a calles de servicios o superficies de rodajes locales, no se permitirán accesos directos a las vías públicas principales, por lo que el acceso al proyecto propuesto deberá ser a través de la calle existente Gabriel Hernández al este de la propiedad. Se deberá ilustrar en los planos dicha calle existente con sus respectivas dimensiones.
9. Del acceso más hacia el norte por la calle existente (acceso a la rotonda del parque) ser vehicular, el mismo deberá estar retirado de la media sección futura de la Carretera PR-2 a una distancia mínima de 12.20 metros.
10. No se permitirán cortes adicionales en la isleta central de la Carretera PR-2.
11. Se deberán proveer suficientes espacios de estacionamientos dentro del predio del proyecto, de forma tal, que estos no ocurran en los márgenes de la Carretera PR-2.
12. De proponerse áreas de carga y descarga para el proyecto propuesto cercanas a la Carretera PR-2, deberá proveerse el espacio suficiente para que el camión pueda maniobrar internamente en el estacionamiento y no tenga que entrar en retroceso desde la vía pública ni hacia la misma. Se deberá ilustrar e identificar en el plano dicha área y el movimiento de los camiones.
13. De proponerse áreas de depósito de basura cercanas a la Carretera PR-2, las mismas deberán estar localizadas dentro del predio del proyecto, de forma tal que la operación de recogido no afecte el flujo de tránsito en la vía pública ni en la calle de acceso.
14. EL diseño del proyecto propuesto deberá cumplir con los criterios establecidos por el "American With Disabilities Act" (ADA) para la provisión de estacionamientos para personas con impedimentos y para el diseño de aceras y accesos peatonales, los cuales deberán facilitar el acceso y la movilidad de todas las personas, independientemente de su edad, capacidad o habilidad. Las rampas de impedidos deberán diseñarse de acuerdo con los planos modelos de esta Autoridad, deberán estar alineadas entre sí y no podrán estar ubicadas en los radios de curvatura de los accesos. Se deberá hacer referencia a los planos modelos de esta Autoridad, ADA 01 – 08 de junio de 2012
15. Se deberá instalar una verja sobre un muro de hormigón de 8 pulgadas de alto en todo el límite de colindancia de la propiedad con la media sección de la Carretera PR-2. Una vez arrendada dicha franja y/o firmado el contrato antes expuesto podrá instalar dicha verja en el límite de colindancia de la servidumbre de paso existente de la Carretera PR-2. Se deberá ilustrar e identificar en el plano dicha verja sobre el muro e incluir un detalle transversal del mismo.

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16. Se deberá incluir en el plano una Tabla de Uso de Áreas, en donde se incluya el área de construcción en pies cuadrados de cada uno de los usos propuestos.
17. El cargo de exacción por impacto correspondiente a este proyecto será de \$58,000.00, para las mejoras necesarias a la infraestructura vial en el área de influencia del mismo, según establecido en el Reglamento Núm. 11-001, conocido como Normas para la Imposición de la Aportación por Concepto de Exacción por Impacto, el cual faculta a la Autoridad de Carreteras y Transportación a establecer un programa de exacción por impacto. El endoso de esta Autoridad, para obtener el permiso reglamentario, estará condicionado al pago de dicho cargo, mediante cheque certificado a nombre de la Autoridad de Carreteras y Transportación o a la formalización de un Acuerdo de Pago con el Área de Finanzas de esta Autoridad. Puede comunicarse con dicha Área de Finanzas al 787-721-8787, extensión 52715.
18. El Artículo 31 del Reglamento para el Control de Accesos y Obras o Facilidades de Construcción en las Vías Públicas de Puerto Rico, según enmendado, establece que el concesionario vendrá obligado a relocalizar cualquier poste del tendido eléctrico, de teléfono, de alumbrado o de otro tipo o tuberías utilizadas para servicios públicos y cualquier obstáculo que pudiera interferir con las obras o facilidades propuestas para lo cual deberá obtener el permiso de la agencia o compañía correspondiente. Los gastos en que se incurran serán sufragados por dicho concesionario. A su vez, se deberá cumplir con el "Roadside Design Guide", vigente.
19. De requerirse la instalación de infraestructura nueva (tales como: tubería de agua potable, sanitaria, Cable TV, etc.) dentro de la servidumbre de paso existente de la Carretera PR-2, éstas deberán cumplir con la "Política de Acomodo de Utilidades dentro del ROW de Carreteras", de esta Autoridad, con el "Roadside Design Guide", vigente y las normas de seguridad de la "American Association Of State Highway and Transportation Officials" (AASHTO). Se deberá someter el plano para la evaluación correspondiente.
20. Cualquier otro proyecto para desarrollarse en este predio de terreno, deberá ser sometido a la Oficina de Gerencia de Permisos para la evaluación y comentarios que apliquen.
21. Todas las dimensiones y detalles geométricos del diseño de la calle existente deberán ser ilustrados en los planos en escala métrica y se deberá incluir una escala gráfica.

DETERMINACIÓN

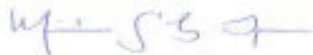
El proponente deberá solicitar una nueva recomendación a la Oficina de Gerencia de Permisos, en donde se deberán someter el plano "AS- Built", los documentos requeridos y los planos corregidos en formato digital protegido (PDF) y en formato DXF georeferenciado con las coordenadas NAD83, de acuerdo con nuestros comentarios y requisitos, y ésta deberá consultar a la Oficina de Control de Accesos de esta Autoridad para la evaluación correspondiente. Los documentos y planos requeridos deberán estar firmados y sellados por un profesional colegiado autorizado y deberán cumplir con los requisitos de presentación de esta Autoridad. Se deberá hacer referencia al número de esta recomendación en la nueva solicitud.

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Para cualquier aclaración o información adicional relacionada con este asunto, puede comunicarse con la Oficina de Control de Accesos de esta Autoridad al 787-721-8787, extensión 52805, haciendo referencia a los números de caso de esta carta.

CERTIFICO: En San Juan, Puerto Rico hoy, 12 de mayo de 2022.



MOISÉS A. SÁNCHEZ LOPERENA
Ayudante Especial
Oficina del Director Ejecutivo

Exhibit 21 Certification of Environmental Compliance by Categorical Exclusion



GOBIERNO DE PUERTO RICO
Departamento de Desarrollo Económico y Comercio
Oficina de Gerencia de Permisos

Número de Caso:
2022-4 19515-DEC-104084

Certificación de Cumplimiento Ambiental por Exclusión Categórica

Parque Recreacional y Gastronómico de Vega Alta

Fecha de Expedición:

25/FEB/2022

Datos de Localización

De conformidad con las disposiciones contenidas en las leyes y los reglamentos vigentes, se expide la presente Certificación de Exclusión Categórica para la acción(es) antes descrita(s):

Dirección Física:

Dirección: CARRETERA PR-2 KM 31.0 ENTRADA
PUEBLO VEGA ALTA
Municipio: Vega Alta
Estado: Puerto Rico
Código Postal: 00692

Dueño:

Municipio Autónomo de Vega Alta

Sometido por:

Edgardo Hernández

Calificación

Distrito(s) de Calificación: DT-G (92%), R-A (7%)
Distrito en el Mapa de Inundabilidad: X
Tipo de Suelo: W

Número(s) de Catastro:

058-067-057-16

Datos de determinación

Exclusión Categórica

Números de exclusión categórica aplicables de acuerdo a la OA-2021-02 del DRNA :
10,11,12,21

Fecha de Expedición:

25/FEB/2022

Condiciones Generales

De acuerdo con la solicitud de esta Determinación, se certificó cumplimiento con los siguientes requisitos, cuyo incumplimiento podrá repercutir en la revocación de esta Determinación:

1. Las actividades de uso o de construcciones livianas de nuevas estructuras no están ubicadas o desarrolladas en:
 - a. Areas especiales de riesgo de inundaciones, derrumbes o marejadas.
 - b. Areas en las que la Junta de Calidad Ambiental (JCA) u otras agencias gubernamentales estatales o federales hayan determinado que existe un grado de contaminación que excede el permitido por los reglamentos vigentes.
 - c. Areas ecológicamente sensitivas o protegidas, según establecido por el Departamento de Recursos Naturales y Ambientales (DRNA), en las que existan especies únicas de fauna o flora o que estén en peligro de extinción o en las que puedan afectarse ecológicamente sistemas naturales o artificiales, ya sea en forma directa o indirecta.
 - d. Areas en las que existan problemas de infraestructura o de deficiencias en los sistemas de servicios de suministro de agua potable, disposición de las aguas sanitarias, suministro de energía eléctrica o capacidad vial para el manejo adecuado del tránsito de vehículos de motor.
 - e. Areas que constituyan yacimientos minerales, conocidos o potenciales.
 - f. Areas en las que existen yacimientos arqueológicos o de valor cultural, según determinado por el Instituto de Cultura Puertorriqueña (ICP).





GOBIERNO DE PUERTO RICO
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Certificación de Cumplimiento Ambiental por Exclusión Categórica

- g. Areas de topografía escarpada, en cuencas hidrográficas donde se puedan afectar fuentes de abasto de agua potable.
- h. Cualquier otra acción que la JCA haya establecido mediante Resolución.
2. No descargarán contaminantes a cuerpos de agua, ni generará desperdicios peligrosos o emisiones al aire que excedan dos (2) toneladas al año de contaminantes de aire criterio, o cinco (5) toneladas de cualquier combinación de contaminantes criterios, ni emitirá al aire contaminantes peligrosos o tóxicos u olores objetables.
3. La disposición o descarga de las aguas usadas se realizará mediante acometidas a un sistema sanitario existente, lo cual requerirá la obtención del endoso de la AAA previo a la solicitud de permisos de construcción.
4. Que existe la infraestructura necesaria (agua potable y alcantarillado sanitario suministrado por la AAA, energía eléctrica, alcantarillado pluvial, vías de acceso) para servir a la operación del proyecto o actividad propuesta, con excepción de los proyectos agrícolas que se ubican por regla general en las áreas rurales, así como las residencias unifamiliares asociadas en las que las instalaciones de esa naturaleza son limitadas.
5. La operación de la actividad no afectará áreas residenciales o zonas de tranquilidad por contaminación sónica según establecido por el Reglamento para el Control de la Contaminación por Ruido.
6. Que el desarrollo de la instalación comercial, industrial, de servicio, institucional y de desarrollo de terrenos para uso turístico y proyectos recreativos no excede de cinco mil (5,000) pies cuadrados de construcción en área total de ocupación y área bruta de piso y que cumple con las condiciones de ubicación y operación establecidas por la OGPe u otra agencia con jurisdicción, según sean aplicables.
7. El uso de edificios o estructuras existentes para facilidades comerciales, almacenes y usos industriales o de servicios no excederán de cien mil (100,000) pies cuadrados en área total de ocupación y área bruta de piso. Dicha operación deberá cumplir con las condiciones de ubicación y operación establecidas por la OGPe u otra agencia con jurisdicción, según sean aplicables, y las establecidas para las exclusiones categóricas en este Reglamento.
8. Para la ejecución o desarrollo de las acciones aprobadas como exclusiones categóricas, se requerirá la obtención de los permisos aplicables de las agencias gubernamentales para las etapas de construcción y operación.
9. La acción no ha sido fragmentada o segmentada para fines de la evaluación y será determinación de la agencia proponente si la misma satisface o no los requisitos para ser considerada y ejecutada bajo una exclusión categórica.
10. Que ha cumplido con el requisito de publicación de un Aviso Público de conformidad con la Regla 122 del Reglamento de Evaluación y Trámite de Documentos Ambientales de la JCA, en el caso que la acción propuesta esté relacionada al uso u otorgamiento de fondos federales que requieran un proceso de evaluación parecido al de NEPA (NEPA-Like Process).
1. Además del cumplimiento con los requisitos establecidos en la Parte III, Inciso A, Sub incisos 1 al 8, sólo se aprobará la acción mediante Exclusión Categórica si la misma cumple con lo siguiente:
1. Las acciones de construcción de nuevas estructuras, además del cumplimiento con los requisitos establecidos en la Parte III, Inciso A, Sub incisos 1 al 8, sólo se aprobará la acción mediante Exclusión Categórica si la misma cumple con lo siguiente:
1. No descargará contaminantes a cuerpos de agua que requieran la aplicación de un nuevo permiso federal de descarga bajo el programa conocido como el National Permit Discharge Elimination System (NPDES), o de una modificación al existente ni generará desperdicios peligrosos. En el caso de los edificios o estructuras existentes que formen parte de un Parque Industrial propiedad de la Compañía de Fomento Industrial, la acción propuesta no estará sujeta a esta restricción. La acción propuesta no generará emisiones de contaminantes al aire que excedan dos (2) toneladas al año de cada contaminante atmosférico criterio o cinco (5) toneladas de cualquier combinación de contaminantes atmosféricos criterios, ni emitirá al aire contaminantes peligrosos o tóxicos u olores objetables. Una vez alcanzados estos límites de emisión





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Departamento de Desarrollo Económico y Comercio
Oficina de Gerencia de Permisos

Número de Caso:
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Certificación de Cumplimiento Ambiental por Exclusión Categórica

mediante una o varias solicitudes presentadas a través de esta Orden Administrativa, en un periodo de cinco (5) años de haberse alcanzado dichos límites no podrá presentarse una nueva solicitud de exclusión categórica para añadir o modificar fuentes adicionales que conlleven aumentar los límites de emisión de una fuente existente. En el caso de los edificios o estructuras existentes que formen parte de un Parque Industrial propiedad de la Compañía de Fomento Industrial, la acción propuesta no generará emisiones de contaminantes al aire que excedan diez (10) toneladas al año de cada contaminante atmosférico criterio o cero punto veinticinco (0.25) toneladas de cualquier contaminante atmosférico peligroso (HAP, por sus siglas en inglés) o una (1) tonelada de cualquier combinación de contaminantes atmosféricos peligrosos. Una vez alcanzados estos límites de emisión mediante una o varias solicitudes presentadas a través de esta Orden Administrativa, en un periodo de cinco (5) años de haberse alcanzado dichos límites no podrá presentarse una nueva solicitud de exclusión categórica para añadir o modificar fuentes adicionales que conlleven aumentar los límites de emisión de una fuente existente.

2. No se fragmentará o segmentará la acción propuesta en diferentes etapas con el fin de evadir los requerimientos de un documento ambiental.
3. En el caso de que la acción propuesta esté afectada por el uso u otorgamiento de fondos federales que requieran un proceso de evaluación parecido al de NEPA (NEPA-Like Process), el proponente deberá asegurarse que ha cumplido con los requisitos del reglamento de documentos ambientales del DRNA.
4. La acción cumple con los niveles de ruido y emisión de luz artificial, según establecido por los respectivos reglamentos promulgados por el DRNA o cualquier legislación aplicable.
5. No se realizará actividad alguna dentro de un cuerpo de agua, a menos que sea una obra de dragado de mantenimiento, mitigación, investigación, medición, monitoreo o remediación ambiental.
6. La acción propuesta ubica en un área donde no existen problemas de infraestructura relacionada con los servicios de energía eléctrica, agua potable, alcantarillado sanitario, alcantarillado pluvial y la capacidad vial para los accesos.
7. La acción propuesta deberá cumplir con cada uno de los requisitos específicos que le son de aplicabilidad.

Aviso

Si luego de haberse aquí dado cumplimiento con el Artículo 4(B) de la Ley Núm. 416 surgieran variaciones sustanciales en la acción propuesta que requieran la evaluación a los impactos ambientales, habrá que presentar el correspondiente documento ambiental, de conformidad con la Ley sobre Política Pública Ambiental.

Condiciones Especiales





GOBIERNO DE PUERTO RICO
Departamento de Desarrollo Económico y Comercio
Oficina de Gerencia de Permisos

Número de Caso:
2022-419515-DEC-104084

Certificación de Cumplimiento Ambiental por Exclusión Categórica

Firma / Sellos

Fecha de Expedición:
25/FEB/2022



Ing. Gabriel Hernández Rodríguez
Secretario Auxiliar

