



**U.S. Department of Housing and Urban Development**

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## **Environmental Assessment Determinations and Compliance Findings for HUD-assisted Projects 24 CFR Part 58**

### **Project Information**

**Project Name:** PR-SIH-00011B, Hogar Ruth.

**Responsible Entity:** Department of Housing – Puerto Rico P.O. Box 21365 San Juan PR, 00928

**Grant Recipient** (if different than Responsible Entity):

**State/Local Identifier:** Vega Alta, Puerto Rico

**Preparer:** Yazmín M. Acevedo Ortiz

**Certifying Officer Name and Title:**

**Consultant** (if applicable): Behar Ybarra & Associates LLC

**Direct Comments to:** Puerto Rico Department of Housing ([environmentcdbg@vivienda.pr.gov](mailto:environmentcdbg@vivienda.pr.gov))

**Project Location:**

**Project Coordinates:**

**Cadaster Number:**

**Description of the Proposed Project** [24 CFR 50.12 & 58.32; 40 CFR 1508.25]:

The Hogar Ruth is a community organization dedicated to promoting human rights and offering safe and supportive spaces for coexistence that save the lives of women, girls and boys. It emerged as a community initiative to address the need for shelter services for protection, guidance, and support services for survivors of domestic violence in Puerto Rico. Founded in 1984, Hogar Ruth currently has specialized and interdisciplinary programs that serve survivors of domestic violence, stalking, sexual abuse, and dating violence. It is an independent, non-governmental, non-profit organization. The Hogar Ruth plans to expand its facilities with an increase in residential density of 50 % in order to serve more people. The proposed Project includes

the construction of four concrete and CMU structures units for people with disabilities in the southwest side of the existing facilities. Each unit has a dimension of 13' 1 ½" x 15'. Two new bathrooms (5' x 15') in compliance with the American with Disabilities Act (ADA) will be constructed for the four proposed units. The proposed bedroom area footprint including the four units and the two bathrooms has a total area of 1,484.85 square feet. In addition, the Project proposes the extension of the existing cafeteria building to provide access (Lobby Area) to the bedroom area. This extension includes the partial demolition of two existing walls (approx. 12' 4" and 12' 6" long). The proposed expansion is 221.36 square feet. The Project also includes improvements to the existing kitchen by an extension of 169.36 square feet to the southeast side of the structure. The kitchen expansion includes the partial demolition of one existing wall (approx. 10' long). The proposed Project includes improvements to existing ramps and access. The foundation for the construction of the residential area will have a maximum depth of approximately 2.29 meters and that of the kitchen will be approximately 1.67 meters. Refer to Appendix 3: Plans.

**Statement of Purpose and Need for the Proposal** [40 CFR 1508.9(b)]:

Hogar Ruth seeks to improve the living conditions of people who are experiencing situations of domestic violence. Hogar Ruth has opted to participate in the Social Interest Housing (SIH) Program from the Community Development Block Grant for Disaster Recovery (CDBG-DR) through a Subrecipient Agreement (SRA) executed with the Puerto Rico Department of Housing (PRDOH). The SIH Program creates housing for highly vulnerable populations such as, but not limited to: homeless, senior citizens, domestic violence victims, persons with intellectual disability, persons with developmental and/or physical disability, persons living with HIV/AIDS, individuals recovering from addiction and individuals with other functional or access needs. The Program goal is to address the unmet need by creating high-quality, modern, resilient housing solutions for these vulnerable populations. By providing these housing solutions, they address the unmet need, improving the long-term sustainability and security of citizens.

Hogar Ruth, is a temporary housing and support services project for victims of domestic violence. Located in the Municipality of Vega Alta, the existing facility is a safe and confidential living space for women alone or with their sons and daughters. Provides personal items, food, health services, educational services for minors, psychological intervention, legal guidance, accompaniment to judicial processes and coordination of services. According to the statistics of the Government of Puerto Rico for the year 2022 there were 7,146 cases of domestic violence reported, of which 5,971 (83%) were against women. The purpose of the project is to increase housing capacity by 50 percent, including facilities in order to provide a greater space to meet the demand for safe housing for victims. To achieve this goal, the construction of 4 additional rooms and the expansion of the kitchen, among other construction related activities is required.



**Existing Conditions and Trends [24 CFR 58.40(a)]:**

The project will be developed on a flat 0.88-acre site located in the urban area of Vega Alta. It is bordered to the northwest and east by residences, to the north by a public street, and to the west and south by vacant lots. The existing vegetation consists of grass and some trees located mostly on the south and west borders.

The site where the project will be developed has an administration building, residential building, cafeteria, library, children's play area, ramps, sidewalks, warehouse and parking lot. These facilities adjacent to the main building were built according to aerial photos between 2000 and 2006 and serve an existing population of female victims of domestic violence.

The Hogar in conjunction with PREPA/LUMA power authority is currently completing the installation of a 300 KVA substation to provide improvements to the existing electrical infrastructure and electrical distribution to existing systems. These works are being funded by the COVID 19 Emergency Solutions Grant Program with a project cost of \$443,588.00.

**Funding Information**

<b>Grant Number</b>	<b>HUD Program</b>	<b>Funding Amount</b>
B-18-DP-72-0001	Community Planning and	\$1,507,179,000
B-17-DP-72-0001	Development (CPD) /	\$8,220,783,000
B-19-DP-78-0002	Community Development	\$277,853,230
B-18-DE-72-0001	Block Grant - Disaster Recovery (CDBG-DR)	\$1,932,347,000

<b>Grant Number</b>	<b>Grant Program</b>	<b>Funding Amount</b>
E-20-DW720001	COVID 19 Emergency Solutions Grant Program	\$443,588.00

**Estimated Total HUD Funded Amount:** \$950,000.00

**Estimated Total Project Cost (HUD and non-HUD funds) [24 CFR 58.32(d)]:** \$950,000.00.

## **Compliance with 24 CFR 50.4, 58.5, and 58.6 Laws and Authorities**

Record below the compliance or conformance determinations for each statute, executive order, or regulation. Provide credible, traceable, and supportive source documentation for each authority. Where applicable, complete the necessary reviews or consultations and obtain or note applicable permits of approvals. Clearly note citations, dates/names/titles of contacts, and page references. Attach additional documentation as appropriate.

<b>Compliance Factors:</b> Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6	Are formal compliance steps or mitigation required?	Compliance determinations
<b>STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 50.4 and 58.6</b>		
<b>Airport Hazards</b>  24 CFR Part 51 Subpart D	Yes    No <input type="checkbox"/> <input checked="" type="checkbox"/>	The proposed project is not located within 2,500 ft. of a civilian runway or 15,000 feet of a military airport. The nearest civilian airport RPZ/CZ is approximately 76,039 feet (Fernando Luis Ribas Dominicci) and 108,091 feet from the Luis Muñoz Marín Military Airport. The project is in compliance with Airport Hazards requirements. Refer to See Figure 2.
<b>Coastal Barrier Resources</b>  Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 [16 USC 3501]	Yes    No <input type="checkbox"/> <input checked="" type="checkbox"/>	This project is not located in a CBRS Unit. The project is located 31,365 feet southwest of the nearest Coastal Barrier Resource System, PR-84. Therefore, this project has no potential to impact a CBRS Unit and is in compliance with the Coastal Barrier Resources Act. Refer to attached CBRS Map, Figure 3.
<b>Flood Insurance</b>  Flood Disaster Protection Act of 1973 and National Flood Insurance Reform Act of 1994 [42 USC 4001-4128 and 42 USC 5154a]	Yes    No <input type="checkbox"/> <input checked="" type="checkbox"/>	The project is not located in the 100-year floodplain. The project is located in a Zone X, Panel 72000C0315J, 11/18/2009. The project does not require flood insurance or is excepted from flood insurance. Refer to attached Flood Map, Figure 4.
<b>STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 50.4 &amp; 58.5</b>		
<b>Clean Air</b>	Yes    No	The project consists in the construction of four concrete and CMU structures units for

<p>Clean Air Act, as amended, particularly section 176(c) &amp; (d); 40 CFR Parts 6, 51, 93</p>	<p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>people with disabilities in the southwest side of the existing facilities including two new bathrooms in compliance with the American with Disabilities Act (ADA). In addition, the Project proposes the extension of the existing cafeteria building to provide access (Lobby Area) to the bedroom area and improvements to the existing kitchen by an extension of 169.36 square feet to the southeast side of the structure. Improvements to existing ramps and access will also be carried out as part of the project.</p> <p>The construction and operation of this project will not have an impact and complies with the Clean Air Act without further evaluation. The project is not located in a nonattainment municipality of Puerto Rico (Arecibo, Bayamón, Cataño, Guaynabo, Salinas, San Juan, Toa Baja).</p> <p>Refer to attached published list of Puerto Rico Nonattainment/Maintenance Status for each country by year for all criteria pollutants included in Appendix 6.</p> <p><a href="https://www3.epa.gov/airquality/greenbook/anayo_p r.html">https://www3.epa.gov/airquality/greenbook/anayo_p r.html</a></p>
<p><b>Coastal Zone Management</b></p> <p>Coastal Zone Management Act, sections 307(c) &amp; (d)</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The project is located 26,852 feet from the nearest Coastal Zone Management area and does not affect a Coastal Zone as defined in the state Coastal Management Plan. The project is in compliance with the Coastal Zone Management Act. Refer to the attached CZMA map, Figure 5.</p>
<p><b>Contamination and Toxic Substances</b></p> <p>24 CFR Part 50.3(i) &amp; 58.5(i)(2)</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The project site was evaluated for potential contamination by conducting a field inspection on January 26, 2023 to identify any onsite hazards including, but not limiting to, soil staining, above ground storage tanks, signs of underground storage tanks, odors, hazardous debris, etc. The site inspection did not identify any onsite hazards.</p> <p>In addition, a desktop review of EPA databases, NEPAassist, and other sources was conducted to determine if the project site</p>

		<p>was located near dump sites, junk yards, landfills, hazardous waste sites, or industrial sites, including USEPA National Priorities List Sites (Superfund sites), CERCLA or state-equivalent sites, RCRA Corrective Action sites with release(s) or suspected release(s) requiring clean-up action and/or further investigation. The desktop review did not find any of the above-listed toxic, hazardous or radioactive substances in the project site or within a 500 foot radius of the project. The sites located within a 3,000 feet radius are included in Attachment 7.</p> <p>The nearest recorded hazardous waste facility is located 1,100 feet northeast of the project site. Due to distance, the recorded hazardous materials site would not conflict with the intended use of the property.</p> <p>The existing structure was tested for Asbestos and Lead based paint (LBP). The findings revealed No Presence of Asbestos Containing Material (ACM). The Asbestos Non-Presence Certification was obtained on November 18, 2022. Based on the results of the survey, averages of 20 tests were evaluated using an XRF analyzer at all identified surfaces on the interior and exterior of the subject structure with LBP identified above regulatory level of 1.0 mg/cm<sup>2</sup> at selective areas. LBB was identified in the kitchen ceramic located at the first floor and a quantity of 240 square feet.</p> <p>See Figure 6: Toxic. See Appendix 4 – Asbestos Containing Material and Lead Survey .</p> <p>Prior to work commence, the Grant Recipient must conduct the appropriate mitigation, work and obtain a certification that the above-mentioned building is free of material containing lead. Therefore, conditioned to the information above, according with the information provided by the Grant Recipient, this topic is in compliance with HUD regulations.</p>
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<p><b>Endangered Species</b></p> <p>Endangered Species Act of 1973, particularly section 7; 50 CFR Part 402</p>	<p>Yes    No</p> <p><input type="checkbox"/>    <input checked="" type="checkbox"/></p>	<p>This project and the proposed activity have no effect on the listed species due to the nature of the sector, which is urban and the distance to the closest habitat is 30,264 feet.</p> <p>If a Puerto Rican Boa is found in the project activity site, work shall cease until the Boa moves off on its own. If the Boa does not move off, the CM shall contact the PR Department of Natural and Environmental Resources and ask for them to relocate the Boa. As established by the USFWS Puerto Rican Boa Conservation Measures guideline. <a href="https://ipac.ecosphere.fws.gov/guideline/design/population/156/office/41430.pdf">https://ipac.ecosphere.fws.gov/guideline/design/population/156/office/41430.pdf</a></p> <p>This project is in compliance with the Endangered Species Act. See attached Endangered Species map, Figure 7.</p>
<p><b>Explosive and Flammable Hazards</b></p> <p>24 CFR Part 51 Subpart C</p>	<p>Yes    No</p> <p><input type="checkbox"/>    <input checked="" type="checkbox"/></p>	<p>The following Gas stations are located less than a mile away from the project site:</p> <p>La Esperanza SS (Texaco #326) CARR 2 KM 28.8, Vega Alta – Inactive LUST – 0.3 miles (1,584 feet)</p> <p>Toral SS (Esso Standard Oil Company) CARR 2 KM 29.1, Vega Alta – Active LUST – 0.31 miles (1,637 feet)</p> <p>TEXACO SS #259 CARR 2 KM 29.4, Vega Alta – Active LUST – 0.37 miles (1,954 feet)</p> <p>GEL, CARR 694 INTCARR 2, Vega Alta – UST – 0.45 miles (2,376 feet)</p> <p>GEL SS CARR 2 KM 28.3 BO ESPINOSA, Vega Alta – UST – 0.47 miles (2,482 feet)</p> <p>Golden Hills Gas Station CARR 2 KM 27.7 BO ESPINOSA, Dorado – Inactive LUST – 0.64 miles (3,379 feet)</p> <p>Shufat SS CARR 2 KM 27.2 BO ESPINOSA, Dorado – UST – 0.95 miles (5,016 feet)</p>

		<p>None of the locations are close to the project site nor will they be affected by the proposed works.</p> <p>Currently, there is an empty and not connected diesel storage tank (500 gal) placed on the parcel's patio. The tank was placed in the yard while the Hogar performed some work in the power substation area, which is not part of this project and is being funded by COVID 19 Emergency Solutions Grant Program. The tank will be relocated to its previous location after the completion of the works that is expected to be by the second week of October.</p> <p>There are no Explosive and Flammable Hazards within 1 mile of distance from the project with Aboveground Storage Tanks (AST). Therefore, it is in compliance with HUD Explosive and Flammable Hazards regulations. Refer to Figure 14: Explosive and Flammable Hazards Map.</p>
<b>Farmlands Protection</b>  Farmland Protection Policy Act of 1981, particularly sections 1504(b) and 1541; 7 CFR Part 658	Yes    No <input type="checkbox"/> <input checked="" type="checkbox"/>	This project does not include any activities that could potentially convert agricultural land to non-agricultural use. The project is located in an area designated as Prime Farmland. The project is in compliance with the Farmland Protection Policy Act. Refer to the attached Farmlands map, Figure 8.
<b>Floodplain Management</b>  Executive Order 11988, particularly section 2(a); 24 CFR Part 55	Yes    No <input type="checkbox"/> <input checked="" type="checkbox"/>	The project is not located in the 100-year floodplain or 500-year floodplain for critical actions. The project is located in a Zone X, Panel 72000C0315J, 11/18/2009 (Figure 4). The site is not located in a Preliminary Firm or an Advisory Base Flood Elevation special flood hazard area. The project is in compliance with Executive Order 11988. See attached Flood Map (Figure 9).
<b>Historic Preservation</b>  National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800	Yes    No <input type="checkbox"/> <input checked="" type="checkbox"/>	The site was visited on January 26 2023, by SOI-qualified staff. Documentation with photographs and maps was subsequently submitted to SHPO (attached Appendix 1). In a response from PR SHPO dated April 26, 2023, SHPO concurred with a finding of <b>No</b>

		<p><b>Historic Properties Affected</b> within the project's Area of Potential Effects (see attached Appendix 4). There are no archaeological sites and/or NRHP listed/eligible historic properties within a quarter-mile radius of the property. The closest archaeological site of the PR-SIH-00011B project is the site known as La Pared (VA0100014) located 0.36 miles southwest.</p> <p>The property is not considered historic or contributing to an historic district (See attached Historic map, Figure 10). Therefore, this activity is in compliance.</p>
<p><b>Noise Abatement and Control</b></p> <p>Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B</p>	<p>Yes    No</p> <p><input type="checkbox"/>    <input checked="" type="checkbox"/></p>	<p>According to the Noise (EA level reviews), the potential noise generators:</p> <p>a. Up to 1000' from a major road – in this case 1,400 feet, Road No. PR-2.</p> <p>b. Up to 3000' from a railroad – in this case 51,600 feet, Tren Urbano.</p> <p>c. Up to 15 miles from an airport – in this case 19.7 miles, Luis Munoz Marin International Airport.</p> <p>By distance, the project is in compliance without further evaluation. Refer to Figure 15: Noise Abatement and Control.</p>
<p><b>Sole Source Aquifers</b></p> <p>Safe Drinking Water Act of 1974, as amended, particularly section 1424(e); 40 CFR Part 149</p>	<p>Yes    No</p> <p><input type="checkbox"/>    <input checked="" type="checkbox"/></p>	<p>There are no EPA sole source aquifers in proximity to the proposed project. The project is in compliance with this citation without further evaluation.</p>
<p><b>Wetlands Protection</b></p> <p>Executive Order 11990, particularly sections 2 and 5</p>	<p>Yes    No</p> <p><input type="checkbox"/>    <input checked="" type="checkbox"/></p>	<p>There are no wetlands within or in the vicinity of the project area. The project is in compliance with Executive Order 11990. The closest wetlands is located at a distance of 1230 feet. See the attached Wetlands map, Figure 11.</p>
<p><b>Wild and Scenic Rivers</b></p> <p>Wild and Scenic Rivers Act of 1968, particularly section 7(b) and (c)</p>	<p>Yes    No</p> <p><input type="checkbox"/>    <input checked="" type="checkbox"/></p>	<p>The proposed project does not have the potential to impact a Wild and Scenic River. This project is not within proximity of a NWSRS river. The project is located</p>

		185,725 feet from the nearest Wild and Scenic River. The project is in compliance with the Wild and Scenic Rivers Act. See Map, Figure 12).
<b>ENVIRONMENTAL JUSTICE</b>		
<b>Environmental Justice</b>  Executive Order 12898	Yes    No <input type="checkbox"/> <input checked="" type="checkbox"/>	Based on the scope of work for this project and the services provided by the Applicant, there will be a positive impact on sensitive populations. The intent of the project is to provide safe and affordable housing for precisely sensitive and disadvantaged populations of the island. There were no findings in this review that would indicate an adverse impact on sensitive populations. The project will not have environmental impacts identified in the compliance review.

**Environmental Assessment Factors** [24 CFR 58.40; Ref. 40 CFR 1508.8 & 1508.27] Recorded below is the qualitative and quantitative significance of the effects of the proposal on the character, features and resources of the project area. Each factor has been evaluated and documented, as appropriate and in proportion to its relevance to the proposed action. Verifiable source documentation has been provided and described in support of each determination, as appropriate. Credible, traceable and supportive source documentation for each authority has been provided. Where applicable, the necessary reviews or consultations have been completed and applicable permits of approvals have been obtained or noted. Citations, dates/names/titles of contacts, and page references are clear. Additional documentation is attached, as appropriate. **All conditions, attenuation or mitigation measures have been clearly identified.**

**Impact Codes:** Use an impact code from the following list to make the determination of impact for each factor.

- (1) Minor beneficial impact
- (2) No impact anticipated
- (3) Minor Adverse Impact – May require mitigation
- (4) Significant or potentially significant impact requiring avoidance or modification which may require an Environmental Impact Statement



Environmental Assessment Factor	Impact Code	Impact Evaluation
<b>LAND DEVELOPMENT</b>		
Conformance with Plans / Compatible Land Use and Zoning / Scale and Urban Design	1	The proposed action is to develop Social Interest Housing and social services which is compatible with existing land use. The project site already houses a home for women victim of domestic violence. The parcel in which the structure stands is classified as R-I (Intermediate Residential). The proposed project is in harmony with the area zoning/scale and urban design.
Soil Suitability/ Slope/ Erosion/ Drainage/ Storm Water Runoff	2	The soil is stable with no slopes, erosion and with proper drainage and storm water runoff systems. Site is located on urban flat lands with no probability of landslide. Refer to Landslide Susceptibility Map, Figure 13.
Hazards and Nuisances including Site Safety and Noise	2	There are no specific environmental hazards that have been identified for this site. The site is not in a high Noise Level area, nor will the project generate any additional noise. The project is located in a low population density area.
Energy Consumption	2	The proposed project required energy will be supply from an a PREPA/LUMA connection in the property. The installation of a 300 KVA substation is currently being completed to provide improvements to the existing electrical infrastructure and electrical distribution to existing systems. These works are being funded by the <i>COVID 19 Emergency Solutions Grant Program</i> . Therefore, the project should not trigger any significant changes to the current energy infrastructure.

Environmental Assessment Factor	Impact Code	Impact Evaluation
<b>SOCIOECONOMIC</b>		
Employment and Income Patterns	2	The project will result in short-term benefit to employment when contractors are hired for the construction of the rooms and kitchen expansion. After construction, there may be a net positive benefit for the entity, receiving this funding social interest development purposes, which will aid in the continued operations of the intended use of the facility which benefit the people of Puerto Rico. The project is not anticipated to have a significant impact on Employment and Income Patterns; however, the project may help increase employment opportunities and income patterns.

Demographic Character Changes, Displacement	2	The proposed project will not alter the demographic or character of the surrounding community. Project activities will not result in any direct or indirect displacement of individuals or families.
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Environmental Assessment Factor	Impact Code	Impact Evaluation
<b>COMMUNITY FACILITIES AND SERVICES</b>		
Educational and Cultural Facilities	2	The proposed project will have no impact on educational or cultural facilities.
Commercial Facilities	2	The proposed project will not affect commercial facilities. The project location provides adequate access to retail services such as grocery stores, drug stores, banks, etc.
Health Care and Social Services	1	Emergency and non-emergency health care services are located within a reasonable proximity to the proposed site. The proposed project will also provide social services to the residents.
Solid Waste Disposal / Recycling	2	The Project may cause an increase in short-term generation of solid waste during construction. All construction debris will be disposed of at the proper facilities for the debris type (i.e. construction waste). The proposed project already has the required Solid Waste Disposal / Recycling infrastructure needed for its development.
Waste Water / Sanitary Sewers	2	The proposed project already has the required Wastewater / Sanitary Sewers infrastructure needed for its development provided by the Puerto Rico Aqueduct and Sewer Authority.
Water Supply	2	There are no sole source aquifers in Puerto Rico; therefore, the Project will not impact protected groundwater or aquifer storage/recharge. The proposed project already has the required Water Supply infrastructure needed for its development provided by the Puerto Rico Aqueduct and Sewer Authority.
Public Safety - Police, Fire and Emergency Medical	2	The proposed project activities will occur on private land and will not affect public safety concerns such as police, fire and emergency medical services.
Parks, Open Space and Recreation	2	The proposed project activities will occur on private land and will not result in any changes to access or use of parks, open space, and recreation areas.
Transportation and Accessibility	2	The project will occur on private land and have no relation to transportation services. The impact on transportation is considered minimal due to the fact that this area is an urban area that was previously populated and therefore road infrastructure was already in place considering the

		accessibility to the area. The proposed project activities will not result in any changes in transportation and accessibility.
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Environmental Assessment Factor	Impact Code	Impact Evaluation
<b>NATURAL FEATURES</b>		
Unique Natural Features, Water Resources	2	The proposed project does not adversely impact a unique natural feature on or near the site. There is no unique natural feature on or near the site. The proposed project will not use ground water for its water supply and will be connected to the existing water services provided by the Puerto Rico Aqueduct and Sewer Authority.
Vegetation, Wildlife	2	The proposed project will occur in land previously used for a building structure and will continue in that capacity. There is no vegetation nor wildlife in the project area. The proposed project is located in an urban area.
Climate change	2	Based upon the project scope, the project will not contribute to climate change and will provide a minor net benefit by allowing for shelter services for protection, guidance, and support services for survivors of domestic violence in Puerto Rico.

**Additional Studies Performed:**

1. Geotechnical Study performed by Environmental Partners LLC, November 2022
2. Asbestos & Lead Survey performed by Environmental Partners LLC, December 2022

**Field Inspection** (Date and completed by):

Date	Comments
1/26/2023	Site Visit by Eng. Yazmin Acevedo and Biologist Dannaly Cruz
1/26/2023	Site Visit by Archeologist Jaqueline Lopez

**List of Sources, Agencies and Persons Consulted** [40 CFR 1508.9(b)]:

FAA, National Plan for Integrated Airport Systems:  
[www.faa.gov/airports/planning\\_capacity/npias/reports/NPIAS-Report-2017-2021-Appendix-B-Part6.pdf](http://www.faa.gov/airports/planning_capacity/npias/reports/NPIAS-Report-2017-2021-Appendix-B-Part6.pdf)  
 John H. Chafee Coastal Barrier Resources System, Puerto Rico map.  
[www.fws.gov/CBRA/Maps/Locator/PR.pdf](http://www.fws.gov/CBRA/Maps/Locator/PR.pdf)  
 National Park Service, National Registry of Natural Landmarks.  
[www.nature.nps.gov/nnl/docs/NNLRegistry.pdf](http://www.nature.nps.gov/nnl/docs/NNLRegistry.pdf)

US Fish and Wildlife Service, Wild and Scenic Rivers – correspondence to Agency on October 16, 2018  
National Wild and Scenic Rivers System: [www.rivers.gov/puerto-rico.php](http://www.rivers.gov/puerto-rico.php)  
Puerto Rico Community Development Block Grant Disaster Recovery Action Plan, July 2018. [www.cdbg-dr.pr.gov/en/action-plan/](http://www.cdbg-dr.pr.gov/en/action-plan/)  
Programmatic Agreement among the Federal Emergency Management Agency, the Puerto Rico State Historic Preservation Office and the Central Office for Recovery, Reconstruction and Resilience – amended to include the Puerto Rico Department of Housing. (Appendix F)  
Sierra Research for Office of Mobile Sources. US Environmental Protection Agency. Report No. SR93-03-02, Evaluation of Methodologies to Estimate Nonroad Mobile Source Usage, March 19, 1993:  
<http://nepis.epa.gov/Exe/ZyPURL.cgi?Dockey=9100UR51.txt>  
US Environmental Protection Agency, National Ambient Air Quality Standards, Nonattainment Areas for Criteria Pollutants (Green Book):  
[www3.epa.gov/airquality/greenbook/anayo\\_pr.html](http://www3.epa.gov/airquality/greenbook/anayo_pr.html)  
US EPA, Environmental Topics, Air Topics: [www.epa.gov/environmental-topics/air-topics](http://www.epa.gov/environmental-topics/air-topics)  
US Fish and Wildlife Service, Environmental Conservation Online System:  
<https://ecos.fws.gov/ecp0/reports/species-listed-by-state-report?state=PR&status=listed>  
Federal Emergency Management Agency, Flood Mapping Service:  
<https://msc.fema.gov/portal/home> (compilation of numerous maps)  
US Fish and Wildlife Service, National Wetlands Inventory:  
[www.fws.gov/wetlands/data/mapper.html](http://www.fws.gov/wetlands/data/mapper.html) (compilation of numerous maps)  
Puerto Rico Coastal Zone Management Program Plan, September 2009.  
Puerto Rico Planning Board, Communication regarding Coastal Zone Management,  
US EPA, Sole Source Aquifers. Esri HERE, Garmin, NOAA, USGS, EPA.  
US Fish and Wildlife Service, Caribbean Ecological Services Field Office.

**List of Permits Obtained:** None required.

**Public Outreach** [24 CFR 50.23 & 58.43]: This project includes a FONSI/NOI-RROF in compliance with NEPA regulations for HUD.

**Cumulative Impact Analysis [24 CFR 58.32]:** In accordance with 24 CFR 58.32, there are no cumulative impacts associated with the new construction and expansion of the existing building.

**Alternatives** [24 CFR 58.40(e); 40 CFR 1508.9]

Another location would not be efficient since the intention is to use the existing facilities such as administration, laundry, beauty, library, cafeteria and play area to serve the new participants and their families.

According to the statistics of the Government of Puerto Rico for the year 2022 there were 7,146 cases of domestic violence reported, of which 5,971 (83%) were against women. Building fewer units would mean a reduction in the number of women who could help through their domestic violence women's outreach program.

**No Action Alternative [24 CFR 58.40(e)]:**

Under the no-action alternative, HUD will not provide grant funding for permanent work including the construction of additional living space for women victims of domestic violence, their daughters and sons, in complete confidentiality in Puerto Rico. Due to budgetary constraints within Puerto Rico, HUD anticipates that much of the public facility work may go unfunded or deferred indefinitely. Deferred or unfunded affordable housing projects will likely impact the efficiency and resiliency of Puerto Rico's communities and municipalities which will impact Puerto Rican residents. This project is extremely important for this population since there is a great need for social housing and services. If the project does not proceed, this population will be neglected, and they will not receive the help they need to get out of the cycle of violence in which they find themselves.

**Summary of Findings and Conclusions:** The proposed activity has been found to not have any adverse effects on the environmental nor is there the requirement for further consultation with any agency. There are no environmental review topics addressed that result in the need for formal compliance steps or the requirement for mitigation.

**Mitigation Measures and Conditions [40 CFR 1505.2(c)]**

Summarize below all mitigation measures adopted by the Responsible Entity to reduce, avoid, or eliminate adverse environmental impacts and to avoid non-compliance or non-conformance with the above-listed authorities and factors. These measures/conditions must be incorporated into project contracts, development agreements, and other relevant documents. The staff responsible for implementing and monitoring mitigation measures should be clearly identified in the mitigation plan.

Law, Authority, or Factor	Mitigation Measure
Contamination and Toxic Substances 24 CFR Part 50.3(i) & 58.5(i)(2)	The Asbestos and Lead Based Paint Testing performed reported the presence of lead in the kitchen area which will be expanded. Prior to work commence, the Grant Recipient must conduct the appropriate mitigation, work and obtain a certification that the above-mentioned building is free of material containing lead.

**Determination:**

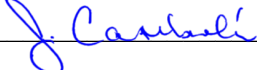
☐ This project converts to EXEMPT, per § 58.34(a) (12), because it does not require any mitigation for compliance with any listed statutes or authority, nor requires any formal permit or license. Funds may be draw down for this now EXEMPT project.

☒ **Finding of No Significant Impact** [24 CFR 58.40(g)(1); 40 CFR 1508.27]  
The project will not result in a significant impact on the quality of the human environment.

☐ **Finding of Significant Impact** [24 CFR 58.40(g)(2); 40 CFR 1508.27]  
The project may significantly affect the quality of the human environment.

Preparer Signature:  Date: September 14, 2023

Name/Title/Organization: Yazmín Acevedo / Behar Ybarra & Associates LLC

Certifying Officer Signature:  Date: October 2, 2023

Name/Title: Janette I. Cambrelén, Permit and Environmental Compliance Specialist

This original, signed document and related supporting material must be retained on file by the Responsible Entity in an Environmental Review Record (ERR) for the activity/project (ref: 24 CFR Part 58.38) and in accordance with recordkeeping requirements for the HUD program(s).

## **Environmental Assessment**

### **Determination and Compliance Findings for HUD-assisted Projects 24 CFR Part 58**

## **Appendix 1: Figures**




# Location: Aerial Map

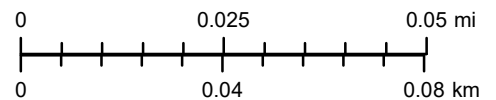
Puerto Rico Department of Housing - SIH

Hogar Ruth para Mujeres Maltratadas, Inc.  
Bo. Espinosa Calle 15 Solar A  
Vega Alta, PR 00692  
Catastro: 058-090-064-58-001  
Lat: 18.409845, Lon: -66.312998



## Legend

-  PR-SIH-00011B
-  PR-SIH-00011B Parcel
-  CRIM Parcels



Service Layer Credits: Sources: Esri, HERE, DeLorme, USGS, Intermap, increment P Corp., NRCAN, Esri Japan, METI, Esri China (Hong Kong), Esri (Thailand), MapmyIndia, © OpenStreetMap contributors, and the GIS User Community  
Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community and Google Earth

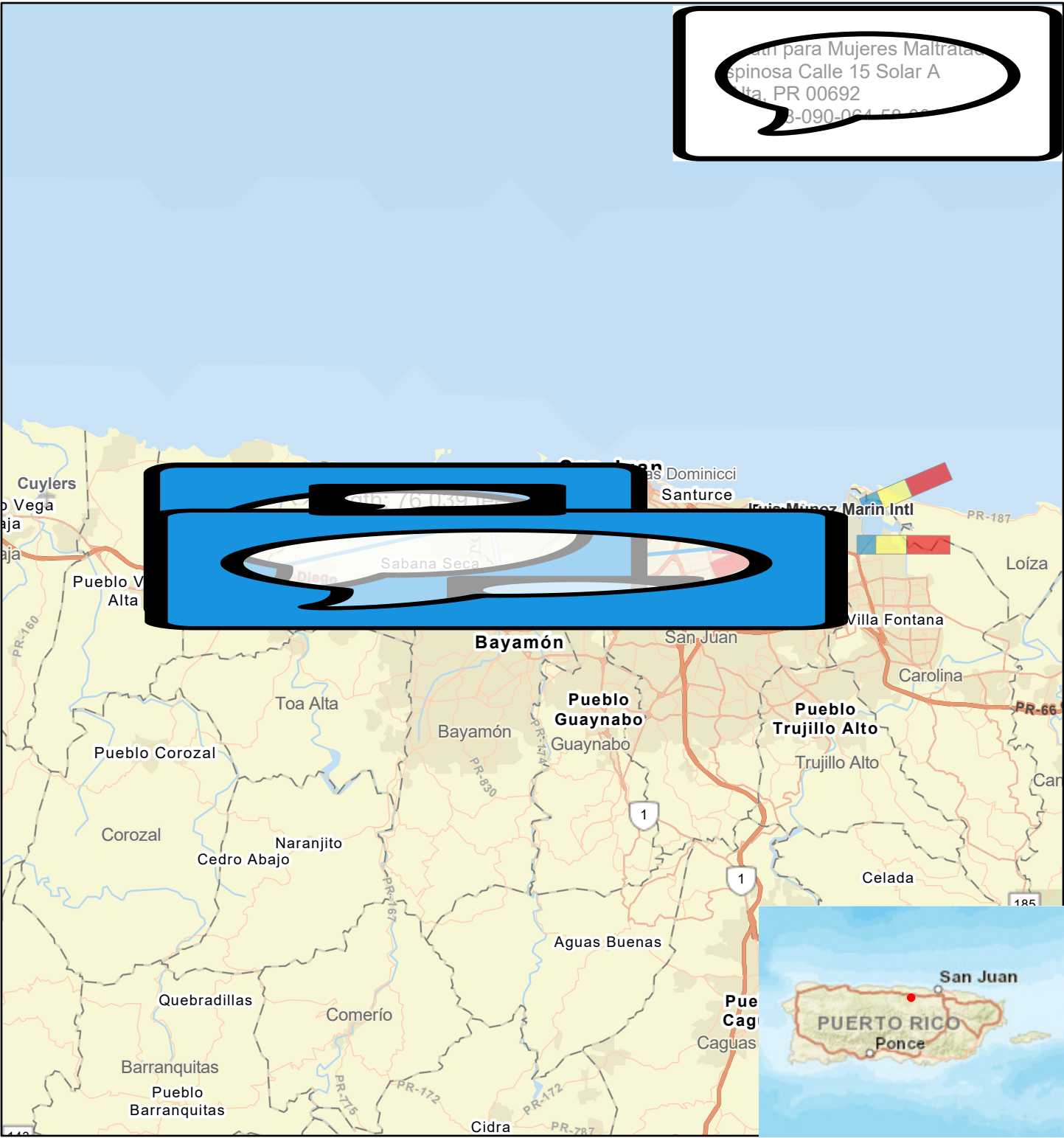


## Source

Centro de Recaudación de Ingresos Municipales (CRIM)  
<https://catastro.crimpr.net/cdprpc/>



Centro para Mujeres Maltratadas  
Esquina Calle 15 Solar A  
San Juan, PR 00692  
Tel: 783-090-0641 Fax: 783-090-0642



4/24/2023, 3:56:37 PM

Accident Potential Zone



Clear Zone



APZ 1



APZ 2



USA Airports - 1,000,000 or more



USA Airports - Less than 100,000

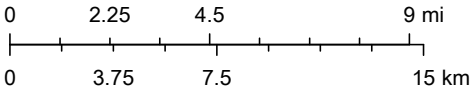


USA Airports - Unknown (Airport)



PR-SIH-00011B

1:288,895

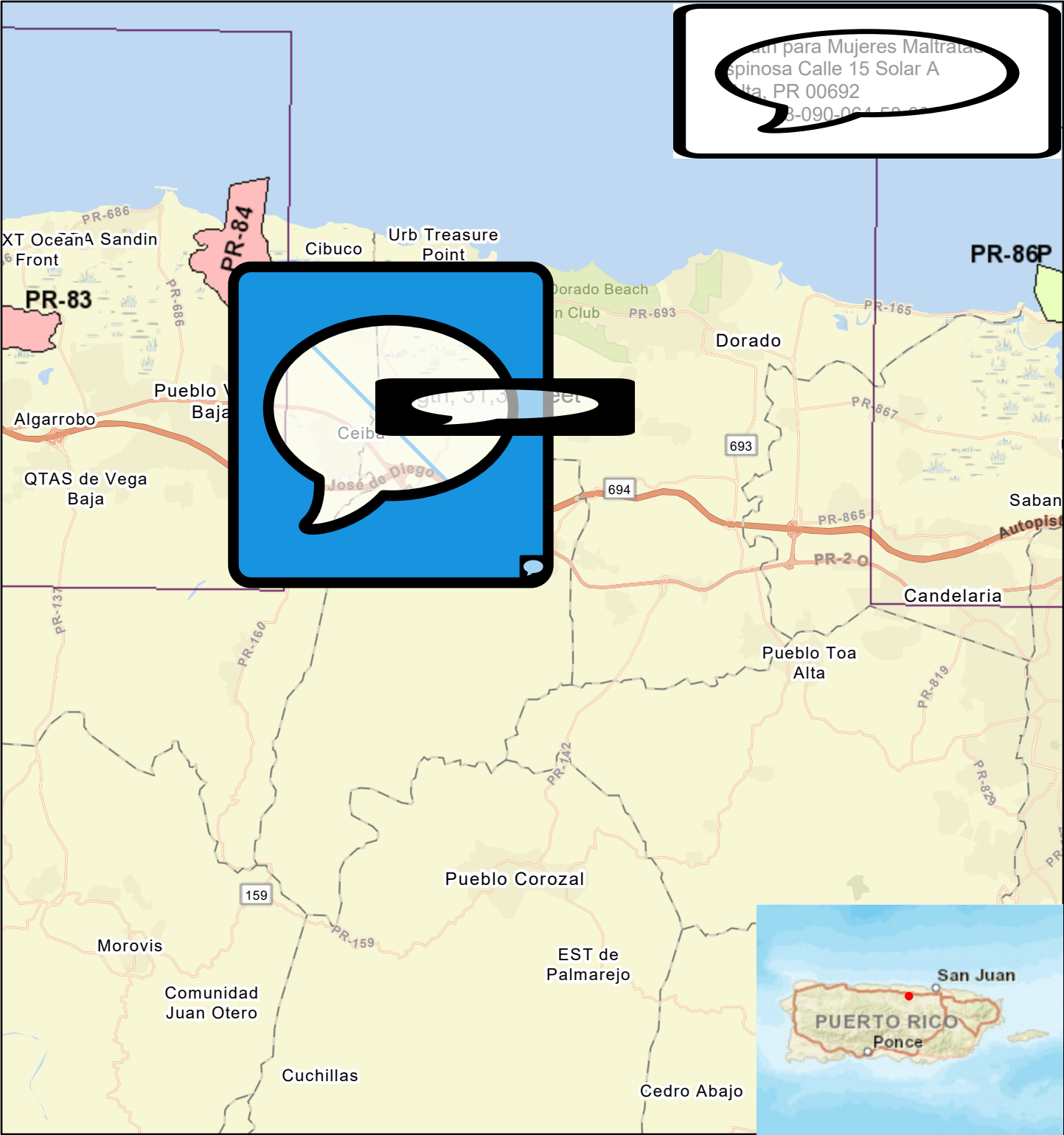


Protection Zones  
around Military Airports

Federal Aviation Administration (FAA)  
faa.gov



Plan para Mujeres Maltratadas  
Espinosa Calle 15 Solar A  
Candelaria, PR 00692  
Tel: 783-090-0645



4/24/2023, 4:03:20 PM

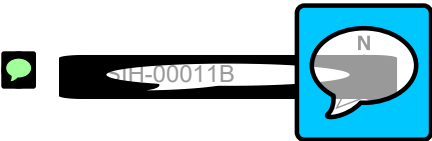
□ CBRS Map Panels

CBRS Units

□ Otherwise Protected Area

□ System Unit

□ CBRS Prohibitions



U.S. Fish and Wildlife Service (FWS):  
[www.fws.gov/programs/conservation](https://www.fws.gov/programs/conservation)

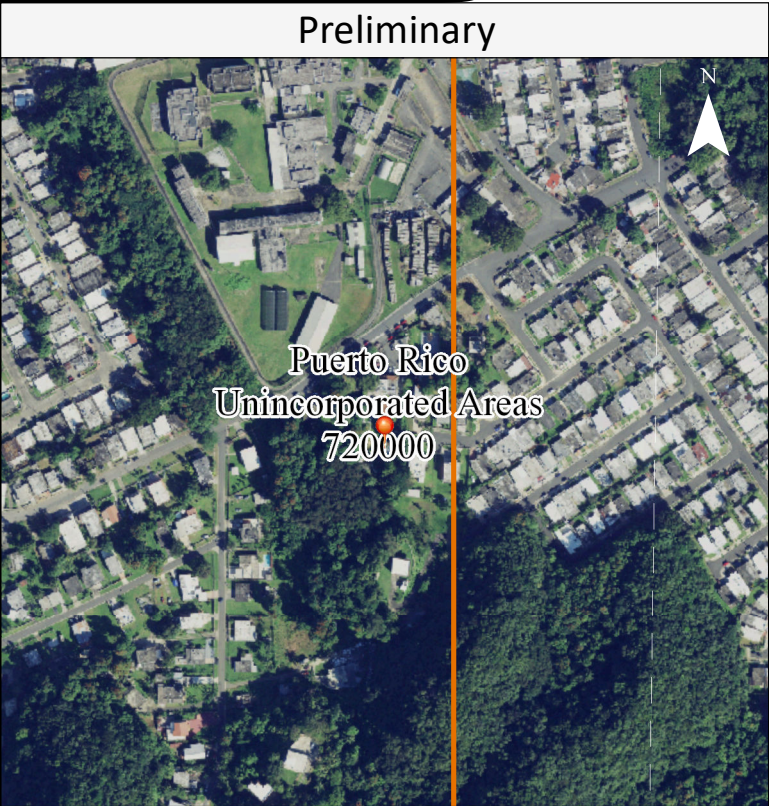


# Comparison of Flood Hazard

Effective & Preliminary Flood Hazards



Effective	
POI Longitude/Latitude	-66.313, 18.4098
Effective FIRM Panel	72000C0315J
Effective Date	11/18/2009
Flood Zone	X
Static BFE*	Not Available
Flood Depth	Not Available
Vertical Datum	Not Available



Preliminary	
POI Longitude/Latitude	-66.313, 18.4098
Preliminary FIRM Panel	72000C0315J
Preliminary Issue Date	11/16/2018
Flood Zone	Not Available
Estimated Static BFE*	Not Available
Estimated Flood Depth	Not Available
Vertical Datum	Not Available

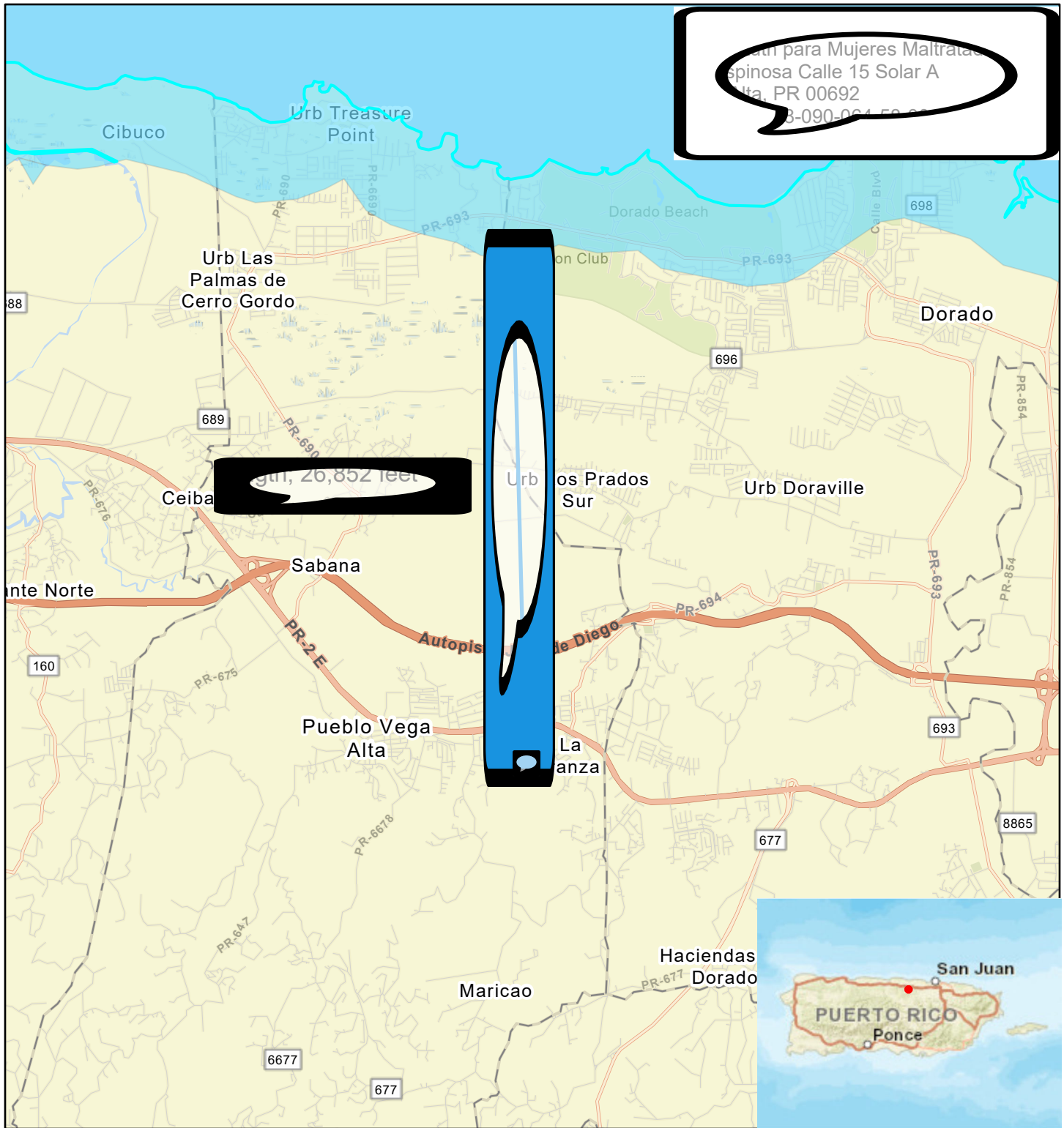
\* A **Base Flood Elevation** is the expected elevation of flood water during the 1% annual chance storm event. Structures below the estimated water surface elevation may experience flooding during a base flood event.

Hazard Level	Flood Hazard Zone
High Flood Hazard	<b>AE, A, AH, AO, VE and V Zones.</b> Properties in these flood zones have a 1% chance of flooding each year. This represents a 26% chance of flooding over the life of a 30-year mortgage.
Moderate Flood Hazard	<b>Shaded Zone X.</b> Properties in the moderate flood risk areas also have a chance of flooding from storm events that have a less than 1% chance of occurring each year. Moderate flood risk indicates an area that may be provided flood risk reduction due to a flood control system or an area that is prone to flooding during a 0.2% annual chance storm event. These areas may have been indicated as areas of shallow flooding by your community.  <b>Unshaded Zone X.</b> Properties on higher ground and away from local flooding sources have a reduced flood risk when compared to the Moderate and High Flood Risk categories. Structures in these areas may be affected by larger storm events, in excess of the 0.2% annual chance storm event.
Low Flood Hazard	<b>Insurance Note:</b> High Risk Areas are called 'Special Flood Hazard Areas' and flood insurance is mandatory for federally backed mortgage holders. Properties in Moderate and Low Flood Risk areas may purchase flood insurance at a lower-cost rate, known as Preferred Risk Policies. See your local insurance agent or visit <a href="https://www.fema.gov/national-flood-insurance-program">https://www.fema.gov/national-flood-insurance-program</a> for more information.

**Disclaimer:** This report is for informational purposes only and is not authorized for official use. The positional accuracy may be compromised in some areas. Please contact your local floodplain administrator for more information or go to [msc.fema.gov](https://msc.fema.gov) to view an official copy of the Flood Insurance Rate Maps.

Service Layer Credits: USGS, USDA

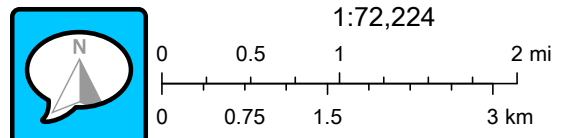
4/24/2023 4:09:43 PM



4/24/2023, 4:09:44 PM

Coastal Zone Management

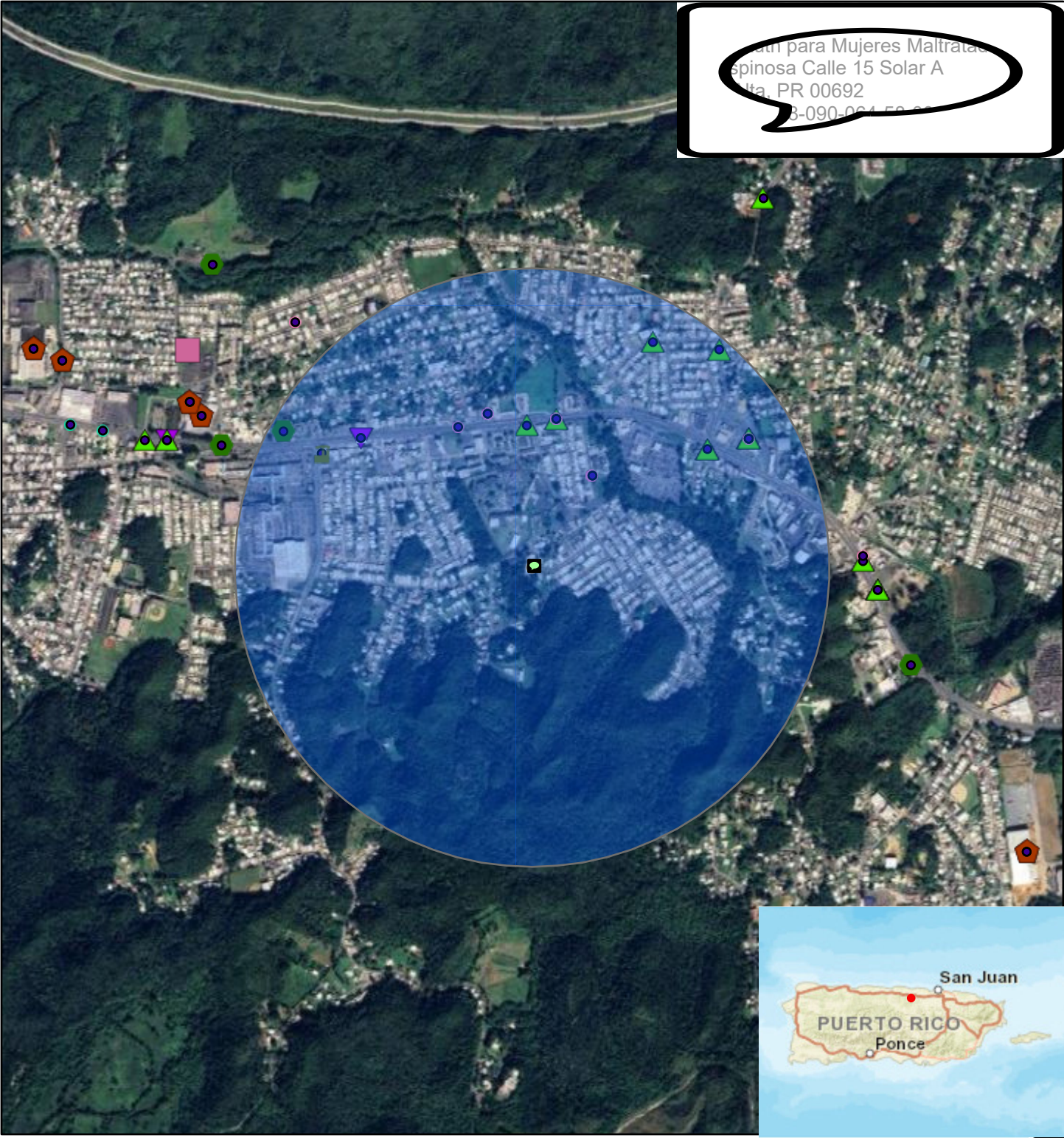
PR-SIH-00011B



... and Wildlife Service (FWS):  
... gov/program/coastal...

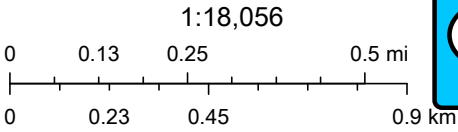


San para Mujeres Maltratadas  
Espinosa Calle 15 Solar A  
P.R. 00692  
8-090-004-50-00



4/24/2023, 4:18:43 PM

- |  |  |             |  |               |
|--|--|-------------|--|---------------|
|  |  | ICIS        |  | RCRA ACTIVE   |
|  |  | NCDB        |  | RCRA INACTIVE |
|  |  | NPDES       |  | RCRA LQG      |
|  |  | NPDES MAJOR |  | SEMS          |
|  |  | RCRA        |  | TRI           |
|  |  |             |  |               |



Environmental Protection Agency (EPA)  
Registry Service (FRS)

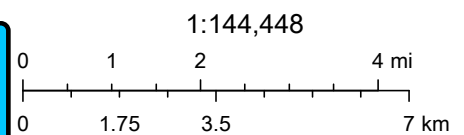
Plan para Mujeres Maltratadas  
Espinoza Calle 15 Solar A  
P.R. 00692  
3-090-064-58-88



4/24/2023, 4:27:13 PM

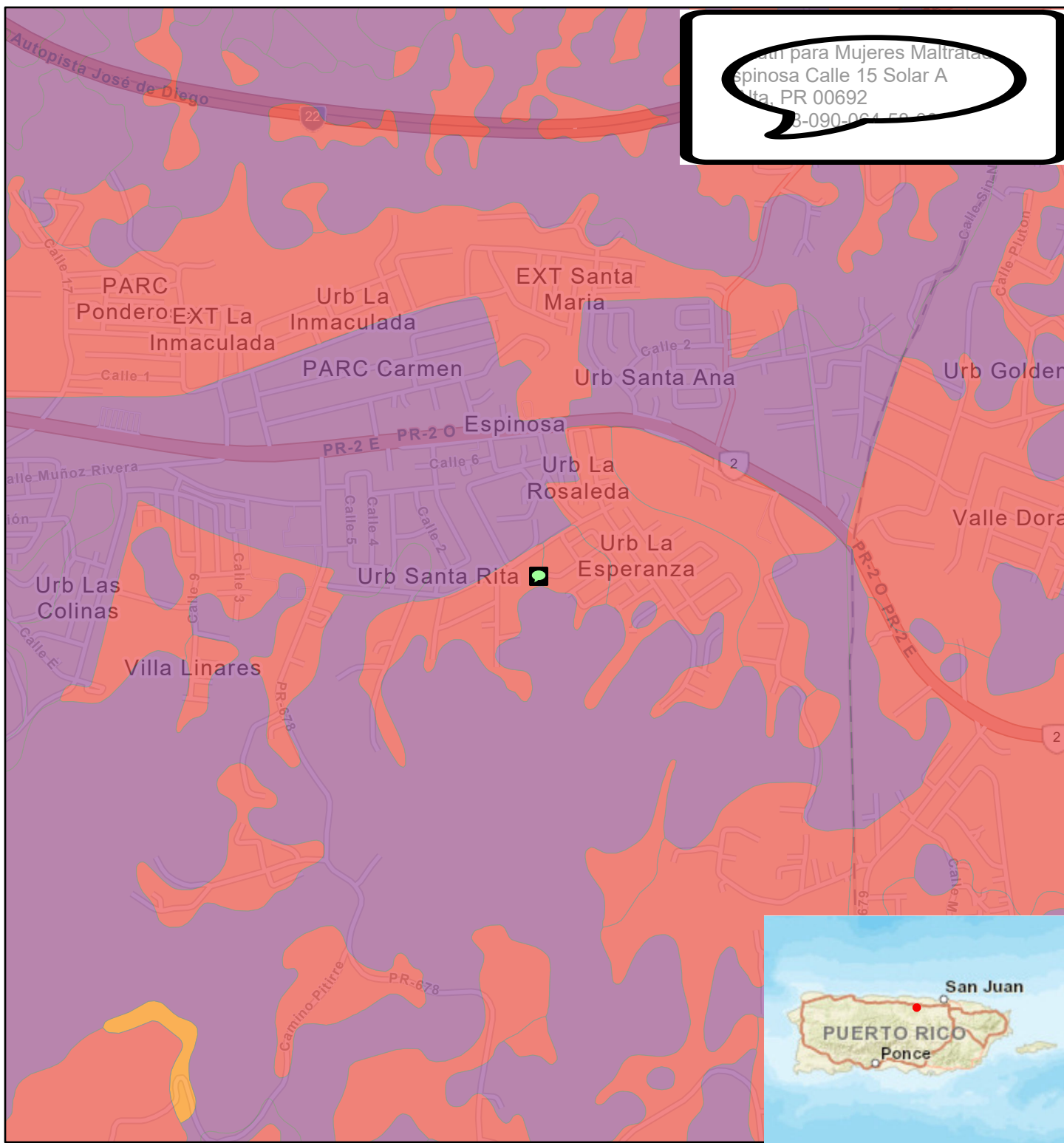
Critical Habitat for Threatened & Endangered Species

Final



National Oceanic and Atmospheric Administration  
Conservation and Restoration





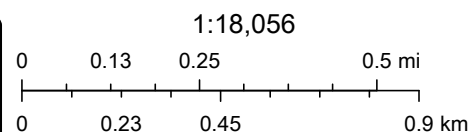
San para Mujeres Maltratadas  
Espinosa Calle 15 Solar A  
Calle 15, PR 00692  
Tel: 783-090-0645



4/24/2023, 4:32:52 PM

### Farmland Protection

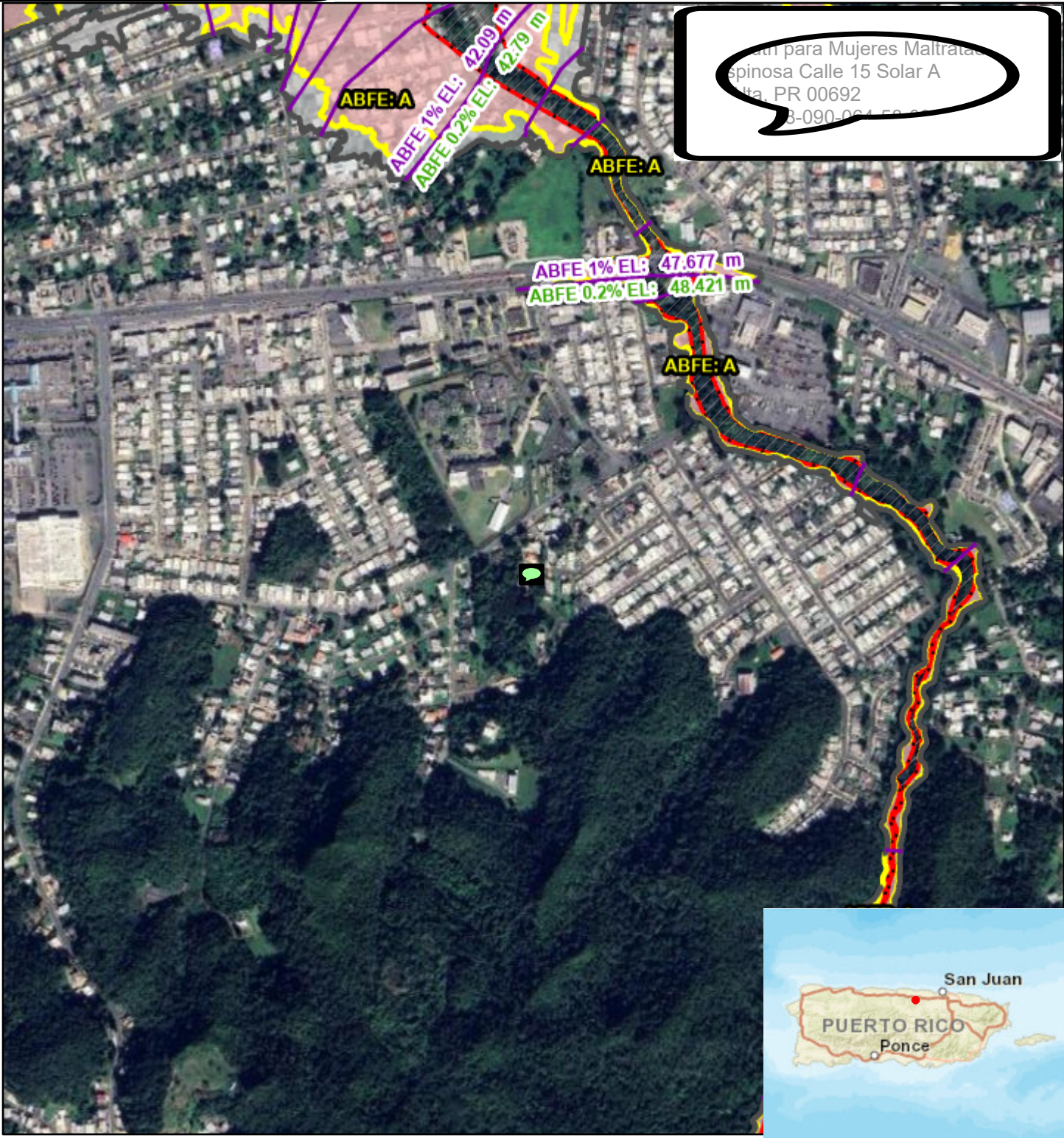
- All areas are prime farmland
- Not prime farmland
- Prime farmland if drained
- PR-SIH-00011B



Resources Conservation Service (NRCS)  
Survey Geographic Database (gSSURGO)  
Data provided by



Centro para Mujeres Maltratadas  
Espinosa Calle 15 Solar A  
P.R. 00692  
(787) 309-0641

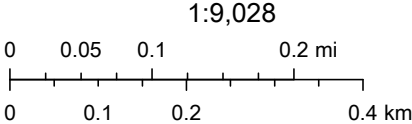


4/24/2023, 4:37:45 PM

Flood Hazard Zone

- A
- X 0.2% Annual Chance Flood
- A-Floodway
- Zone/BFE Boundary
- Flood Hazard Extent
- 1% Annual Chance Flood

PR-SIH-00011B



1:9,028

Emergency Management Agency (FEMA)  
National Flood Hazard Layer  
www.flood.gov



# PR-SIH-00011B Historic Preservation

San para Mujeres Maltratadas  
Espinosa Calle 15 Solar A  
P.R. 00692  
8-090-064-58-88



4/24/2023, 4:41:27 PM

Cultural\_Resources - Archeological Resources

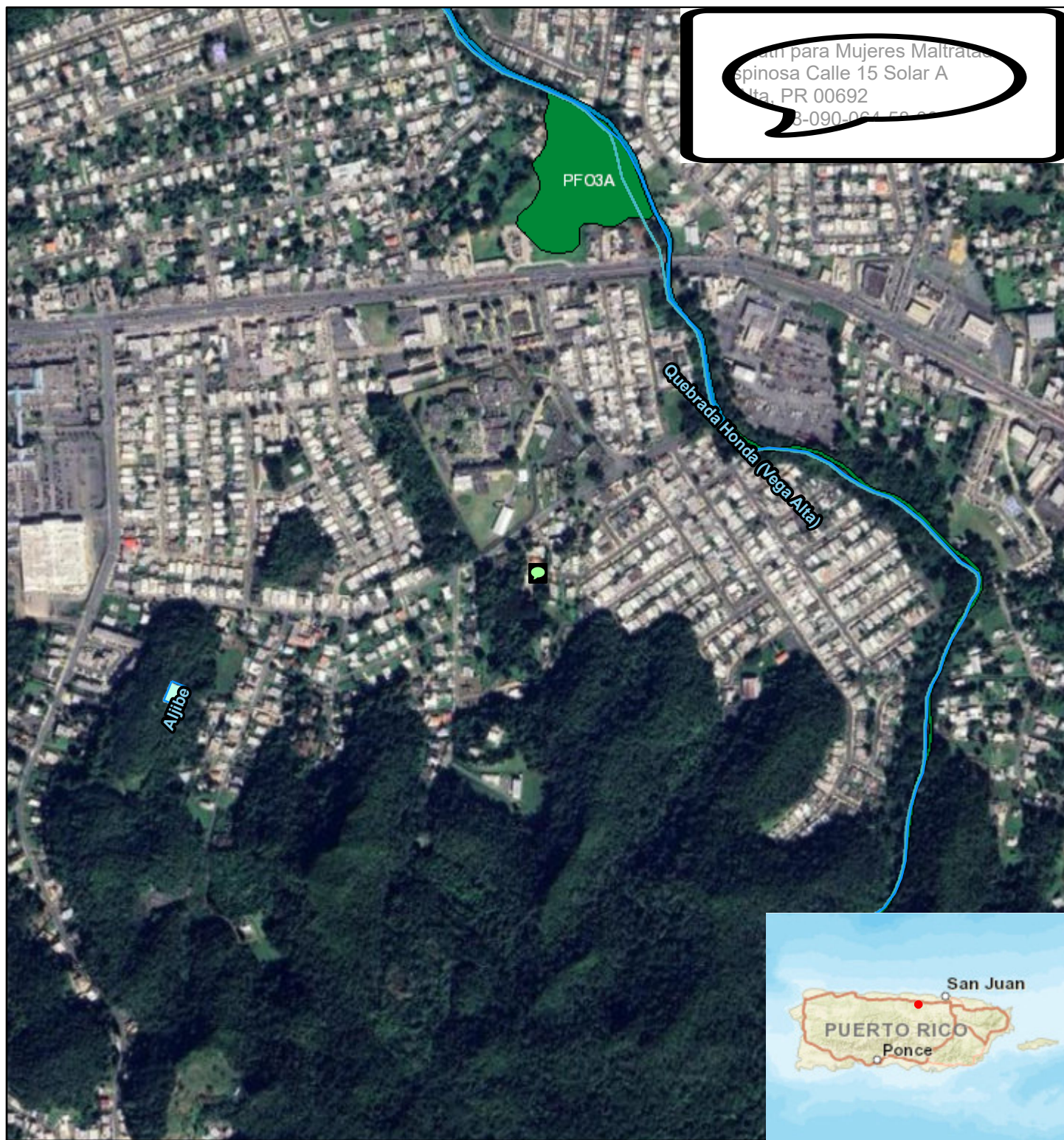
PR-SIH-00011B



1:9,028  
0 0.05 0.1 0.2 mi  
0 0.1 0.2 0.4 km

National Park Service (NPS) - National Register of Historic Places  
<https://www.nps.gov/subjects/nationalregister/index.htm>  
Information Office (NPS)

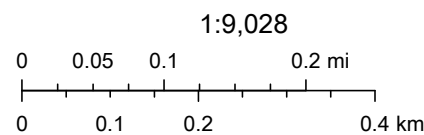




San para Mujeres Maltratadas  
Espinosa Calle 15 Solar A  
Ponce, PR 00692  
8-090-064-58-88

4/24/2023, 4:46:17 PM

- |                                      |                          |            |
|--------------------------------------|--------------------------|------------|
| — Hidrografia - Oficina Plan de Agua | Swamp Marsh              | SIH-00011B |
| Waterbody - Large Scale              | Area - Large Scale       |            |
| Estuary                              | Area of Complex Channels |            |
| Ice Mass                             | Area to be Submerged     |            |
| Lake Pond                            | Bay/Inlet                |            |
| Playa                                | Bridge                   |            |
| Reservoir                            | Canal/Ditch              |            |



Fish and Wildlife Service (FWS):  
Wetlands Inventory  
www.fws.gov/wetlands

PR-SIH-00011B Wild and Scenic River

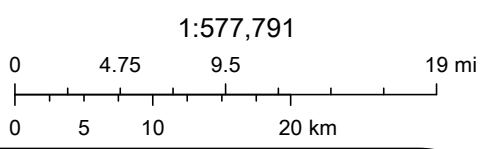
San para Mujeres Maltratadas  
Espinosa Calle 15 Solar A  
Alto, PR 00692  
8-090-064-58-88



4/24/2023, 4:50:52 PM

National Wild and Scenic River Line

SIH-00011B



Fish and Wildlife Service (FWS)  
National Wild and Scenic Rivers System  
Rivers and



Centro para Mujeres Maltratadas  
Espinosa Calle 15 Solar A  
Ponce, PR 00692  
787-090-0641

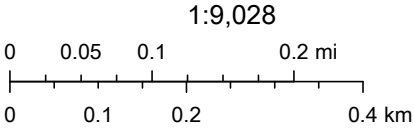


4/24/2023, 4:57:39 PM

Landslide Susceptibility

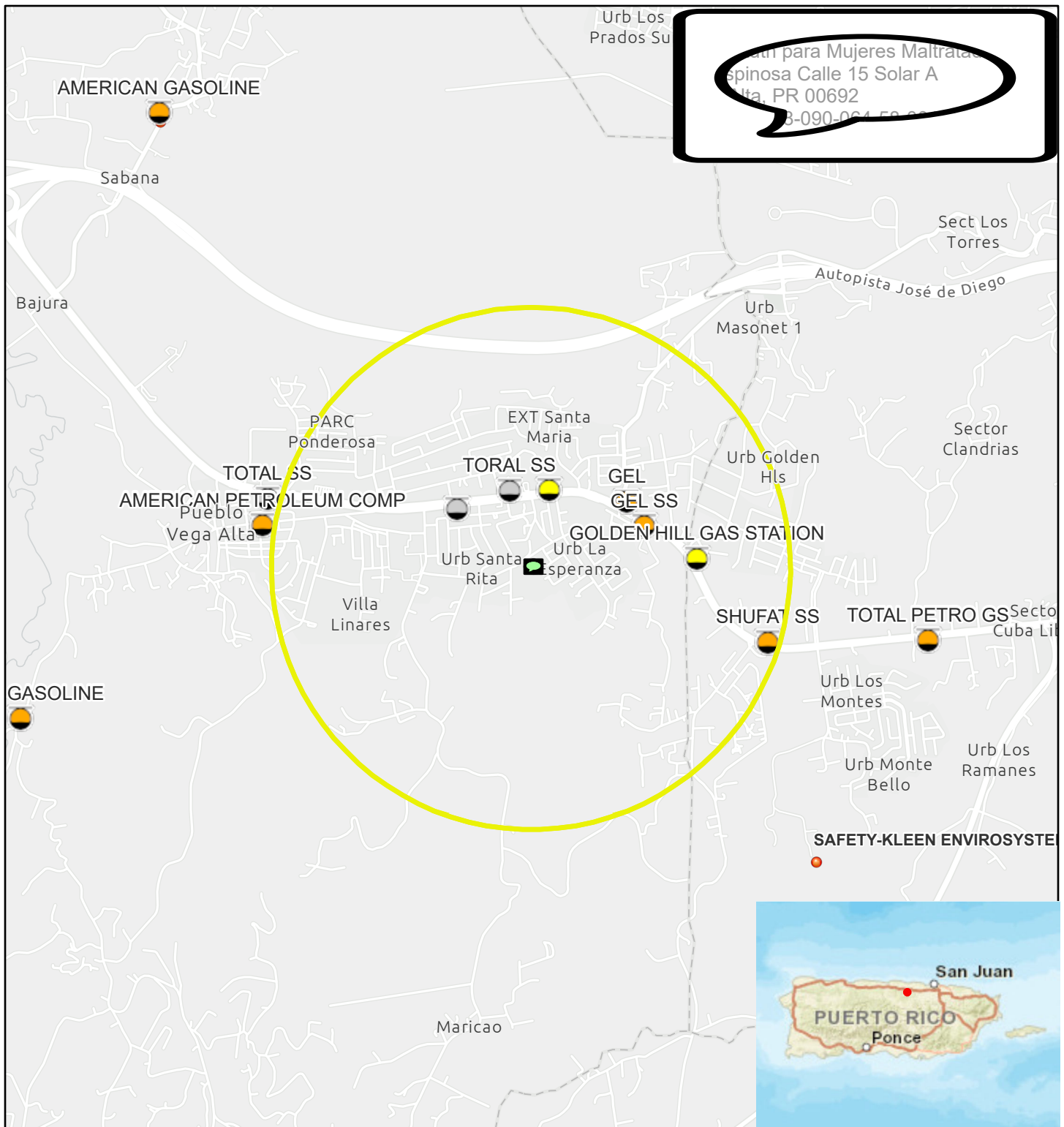
- Low
- Moderate
- High
- Very High
- Extremely High

Legend Item: Green circle icon



Emergency Basemap service.

Centro para Mujeres Maltratadas  
Spinosa Calle 15 Solar A  
Caguas, PR 00692  
787-090-0645 ext. 22



 1mile Buffer

 PR-SIH-00011B

1:36,112



### Aboveground Storage Tanks (AST)

BYA

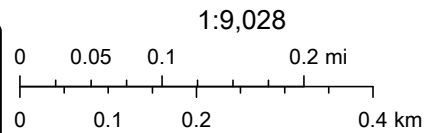
# Noise Abatement and Control



5/11/2023, 3:54:56 PM

PR-SIH-00011B

Major Road



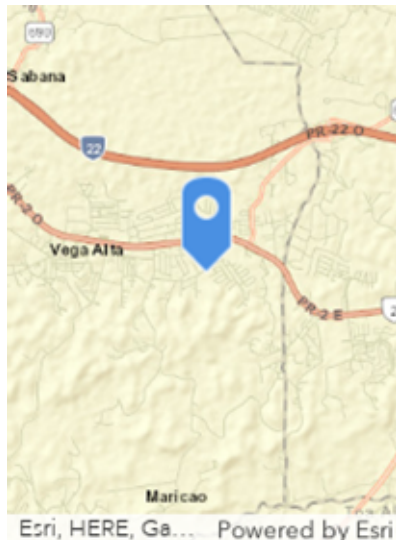
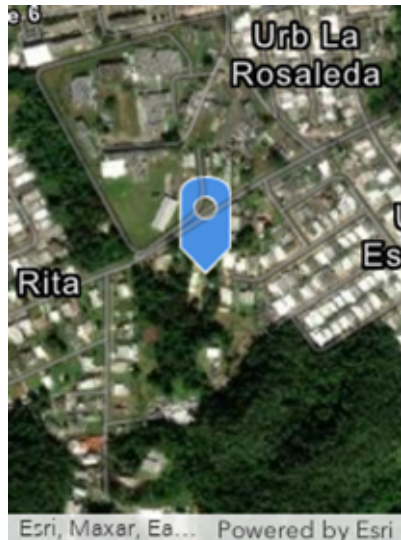
Esri Community Maps Contributors, Esri, HERE, Garmin, Foursquare, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, NPS, US Census Bureau

## **Environmental Assessment**

### **Determination and Compliance Findings for HUD-assisted Projects 24 CFR Part 58**

## **Appendix 2: Field Observation Report**

### APPLICANT/LOCATION INFORMATION

Applicant ID:	SIH-00011B		
Applicant Name:	Hogar Ruth		
Parcel ID:	058-090-064-58		
Latitude:	18.409845		
Longitude:	-66.312998		
Street Address:	Barrio Espinosa Calle 15 Solar A		
Municipio:	Vega Alta		
Zip Code:	00692		
Site Inspector:	Dannaly Cruz		
Date of Visit:	November 17, 2022		
Time of Visit:	22:02		
Building Type:	N/A		

### FIELD OBSERVATIONS

Question	Answer	Notes
A. Is the structure in use?	Yes	Structure is in use
B. Is the structure a greenhouse?	No	
C. Is Electricity connected? (Utilities or Well)	Yes	Electricity is connected
D. Is water connected? (Utilities or Well)	Yes	Water is connected
1. Are there signs of poor housekeeping on site? (mounds of rubble, garbage, storm debris, solid waste, petroleum products, paint, pesticides, cleaning fluids, vehicle batteries, abandoned vehicles, pits, pools, ponds of hazardous substances, etc.)	No	
2. Are there any 55-gallon drums visible on site? If yes, are they leaking?	No	
3. Are there any (or signs of any) underground storage tanks on the property?	No	
4. Are there signs of AST on the parcel or adjacent parcel? If yes, list approximate size and contents, if known.	Yes	Water cistern/ Gasoline Tank
5. Is there any stained soil or pavement on the parcel?	No	
6. Is a water drainage system in use?	Yes	Structure is connected to public sewage
7. Is a warehouse in use for storage of Fertilizer or Pesticides?	No	
8. Are there any groundwater monitoring wells on the site or adjacent parcel?	No	
9. Is there evidence of a faulty septic system?	No	
10. Is there distressed vegetation on the parcel?	No	
11. Is there any visible indication of mold?	No	
12. Is there any visible evidence of asbestos, chipping, and flaking or peeling paint, or hazardous materials present in or on the structure?	No	
13. Are any additional site hazards observed?	No	
14. Is there any permanent standing water, such as a pond or stream, located on the site (do not include ponding from recent rain / weather events)?	No	
15. Does the subject property have water frontage?	No	
16. Is there any indication of the presence of wetlands?	No	
17. Are there any obvious signs of animals or birds nesting on or near the site?	No	
18. Is the applicant aware of any significant historical event or persons associated with the structure, or of it being located in a historic district/ area?	No	
19. Is a historic marker present?	No	



Architectural Details 1

Photo Direction:

Photo Description: Entrance



Architectural Details 2

Photo Direction:

Photo Description: Front and left side of dining room. New units will be constructed in front of dining room





Architectural Details 3

Photo Direction:

Photo Description: Septic Tank



Architectural Details 4

Photo Direction:

Photo Description: 2 cisterns for potable water use



Architectural Details 5

Photo Direction:

Photo Description: Left side of dining room.



Architectural Details 6

Photo Direction:

Photo Description: Right side of dining room





Architectural Details 7

Photo Direction:

Photo Description: : Recreation area and septic tank



Architectural Details 8

Photo Direction:

Photo Description: Area where the new units will be



Architectural Details 9

Photo Direction:

Photo Description: Current living apt,  
and beauty salon



Architectural Details 10

Photo Direction:

Photo Description: Generator





### Architectural Details 11

Photo Direction:

Photo Description: Front of dining room where units will be constructed



### Architectural Details 12

Photo Direction:

Photo Description: Library





Architectural Details 13

Photo Direction:

Photo Description: Existing Diesel tank not in use and not connected.



Architectural Details 14

Photo Direction:

Photo Description: Overview





Architectural Details 15

Photo Direction:

Photo Description: Handicap Ramp



Architectural Details 16

Photo Direction:

Photo Description: Perimeter Wall





Architectural Details 17

Photo Direction:

Photo Description: Perimeter Wall



Architectural Details 18

Photo Direction:

Photo Description: Water Drain



Architectural Details 19

Photo Direction:

Photo Description: Kitchen



Architectural Details 20

Photo Direction:

Photo Description: Kitchen extension  
up to slope





Architectural Details 21

Photo Direction:

Photo Description: Cistern



Architectural Details 22

Photo Direction:

Photo Description: Kitchen wall to be demolished for expansion



Architectural Details 23

Photo Direction:

Photo Description: Kitchen wall to be demolished for expansion



Architectural Details 24

Photo Direction:

Photo Description: Location overview



Architectural Details 25

Photo Direction:

Photo Description: Dining room  
overview



Architectural Details 26

Photo Direction:

Photo Description:

## **Environmental Assessment**

### **Determination and Compliance Findings for HUD-assisted Projects 24 CFR Part 58**

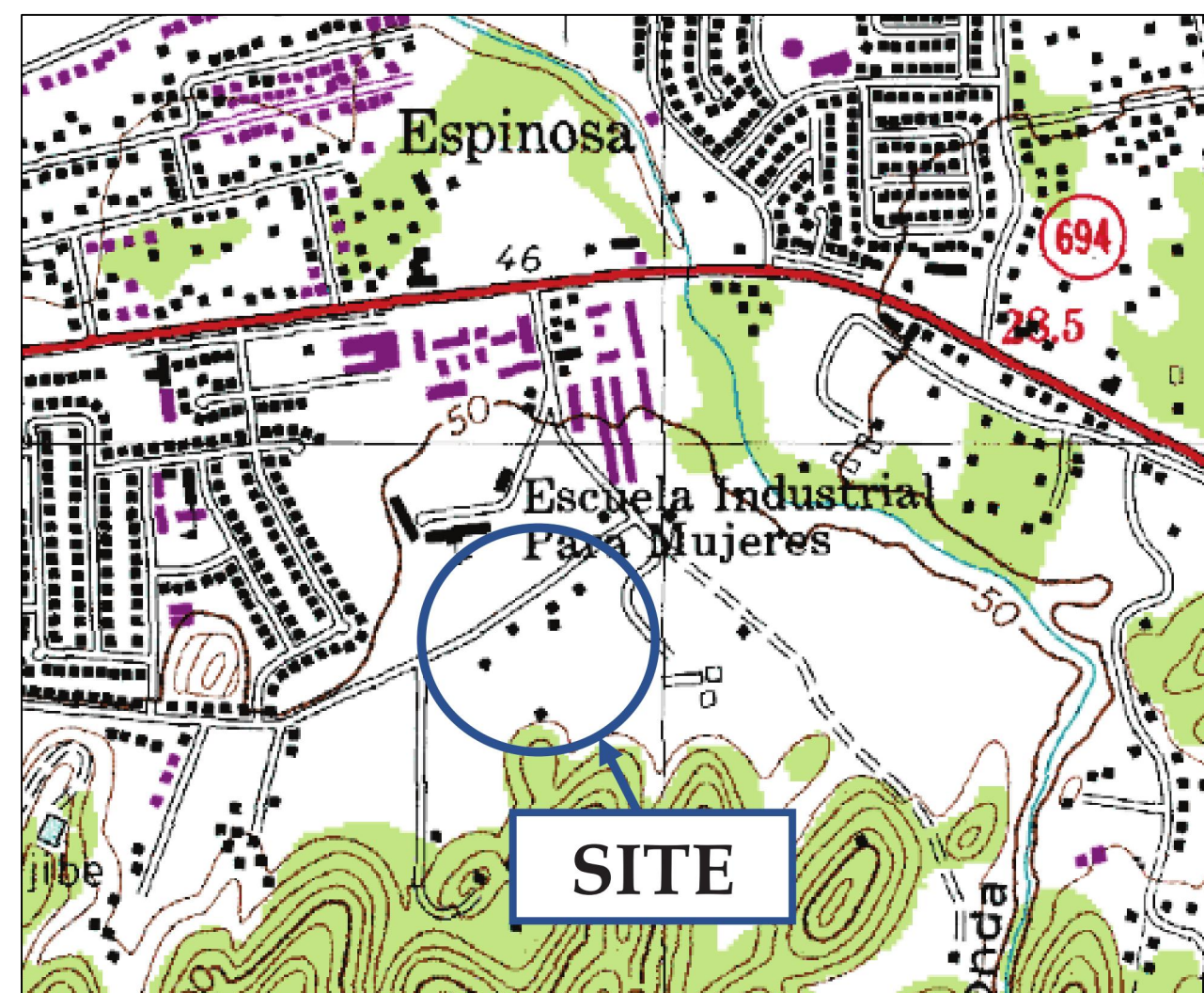
## **Appendix 3: 60% Plans**



# IMPROVEMENTS TO THE HOGAR RUTH PARA MUJERES MALTRATADAS, INC.

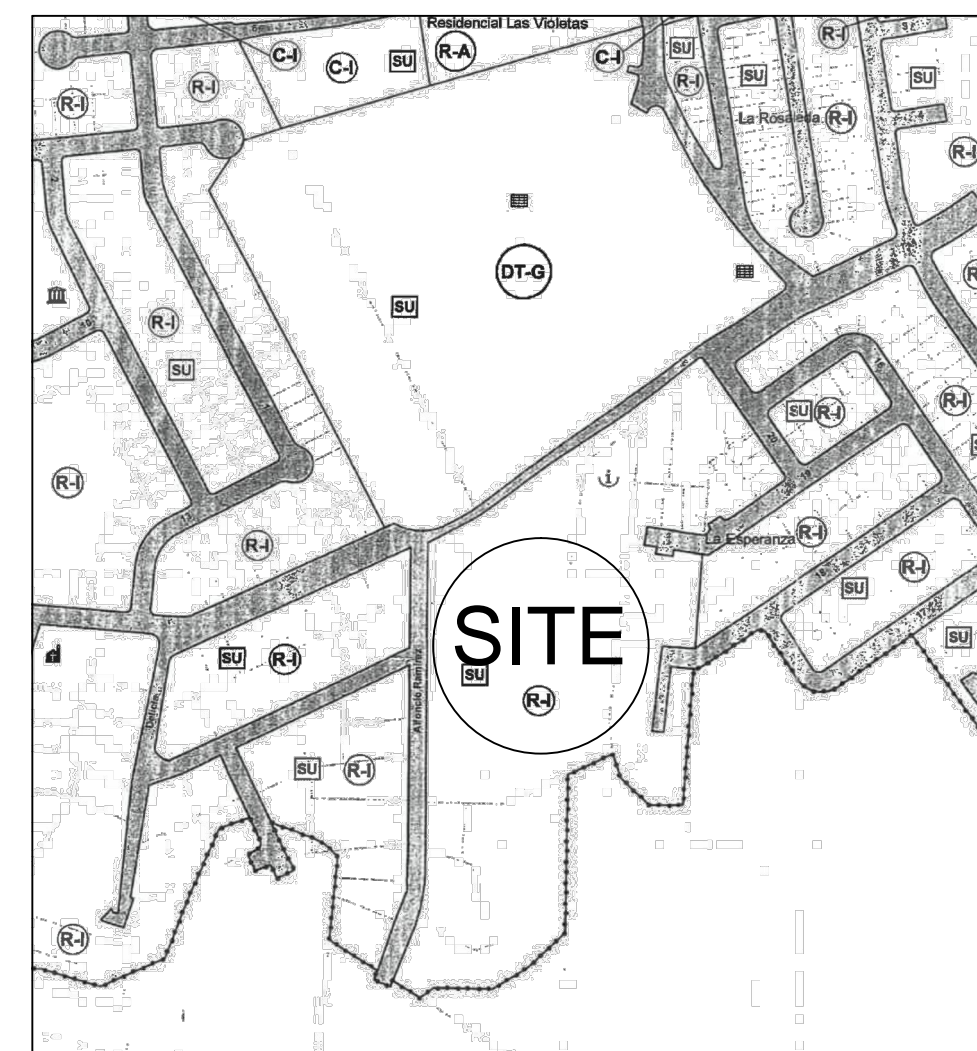
CALLE 15, SOLAR A, URB. SANTA RITA, BO. ESPINOSA, VEGA BAJA, P.R.

DIRECTORA EJECUTIVA: LISDEL FLORES BARGER



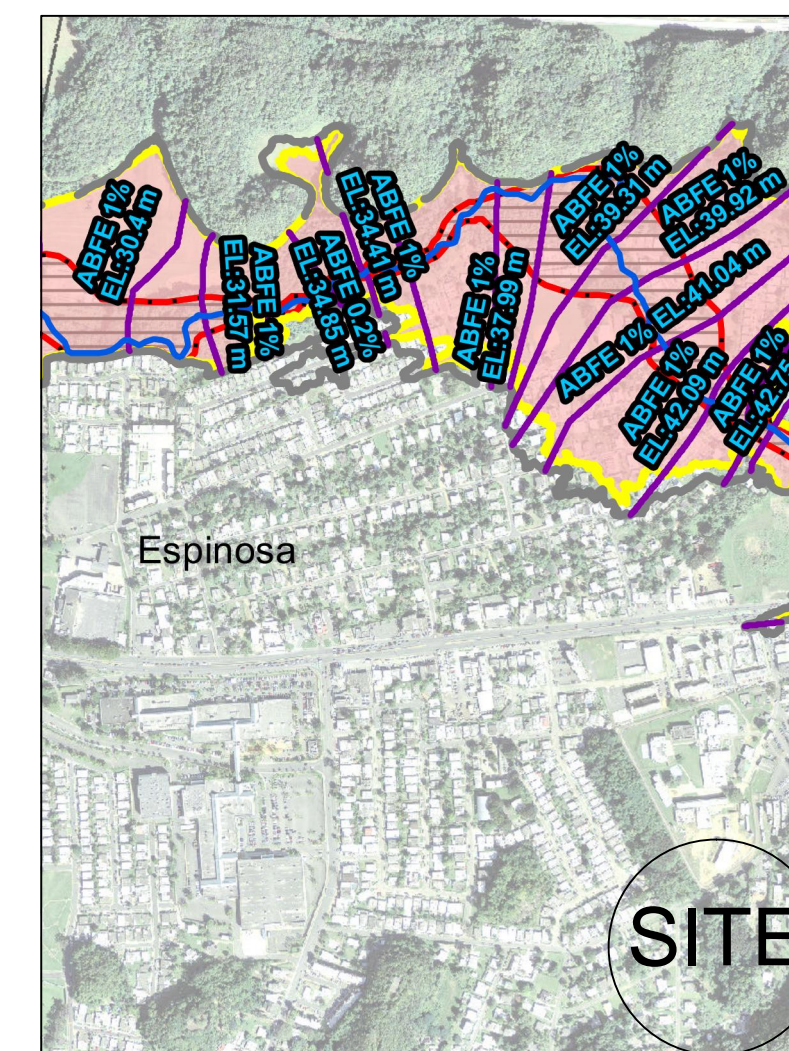
LOCATION

X=212715.2161; Y=263836.5569



ZONING MAP

PROPERTY NUMBER: 058-090-064-8



FEMA MAP

FECHA EFECTIVIDAD: 13 ABRIL 2018



AERIAL PHOTO

## DRAWINGS:

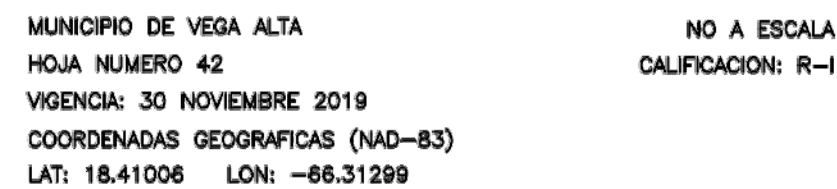
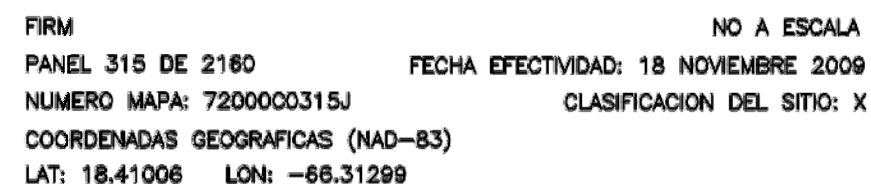
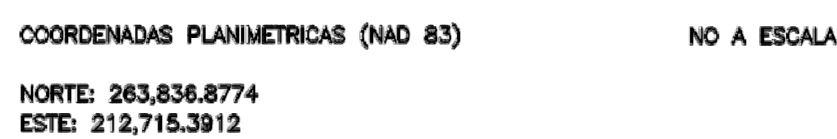
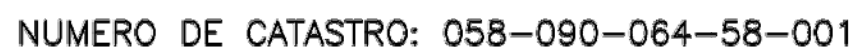
- T-1.0 - TITLE SHEET
- SI-1.0 - SURVEY AND TOPOGRAPHIC
- SI-2.0 - SITE OF PROPOSED WORKS
- SI-2.1 - SITE BLOW UP - PROPOSED WORKS AND EXTERIOR UTILITIES
- A-1.0 - NOTES AND SYMBOLS
- A-2.0 - PARTIAL AS-BUILT
- A-2.1 - AS-BUILT EXISTING KITCHEN LAY-OUT AND UTILITIES
- A-3.0 - DEMOLITION PLAN
- A-4.0 - PROPOSED IMPROVEMENTS FLOOR PLAN
- A-4.1 - KITCHEN IMPROVEMENTS FLOOR PLAN
- A-5.0 - ROOF PLAN AND DETAILS
- A-6.0 - FINISHES
- A-7.0 - ELEVATIONS
- A-8.0 - SECTIONS
- S-1.0 - FOOTINGS AND EXCAVATION
- S-2.0 - STRUCTURAL FLOOR AND WALLS SECTIONS
- S-3.0 - STRUCTURAL WALLS
- S-4.0 - STRUCTURAL ROOF, WALLS AND SECTIONS
- S-5.0 - NOTES AND DETAILS
- P-1.0 - WATER AND SANITARY DISTRIBUTION PLAN AND NOTES
- P-1.1 - DORMITORIES AND KITCHEN ISOMETRIC
- E-1.0 - ELECTRICAL DISTRIBUTION PLAN AND NOTES



## ENVIRONMENTAL PARTNERS, LLC


P. O. Box 194102, San Juan, P.R. 00919 - 4102 PH: 787-810-2280





AREA = 994,3247 m<sup>2</sup> = 0,2530 cda.

1. AREAS EN METROS CUADRADOS. DISTANCIAS EN METROS.







P.O. Box 194102  
San Juan, P.R. 00919-4102

CONSULTANT:

CONSULTANT:

SEAL:

[illegible]

OWNER: HOGAR RUTH PARA MUJERES MALTRATADAS, INC.  
DIRECTORA: LISDEL FLORES BARGER

PROJECT NAME AND ADDRESS:

EXTENSION AND IMPROVEMENTS  
TO THE HOGAR RUTH PARA  
MUJERES MALTRATADAS

CALLE 15, SOLAR A, URB. SANTA RITA  
BO. ESPINOSA, VEGA BAJA, P.R.

**DRAWING NAME:**

# SITE OF PROPOSED WORKS

PROJECT NO.:

DATE: FEBRUARY 20, 2023

SCALE: 1:250

# SI-2.0



SCALE: 1:250





ENVIRONMENTAL  
PARTNERS, LLC

P. O. Box 194102  
San Juan, P.R. 00919-4102

CONSULTANT:

CONSULTANT:

SEAL:

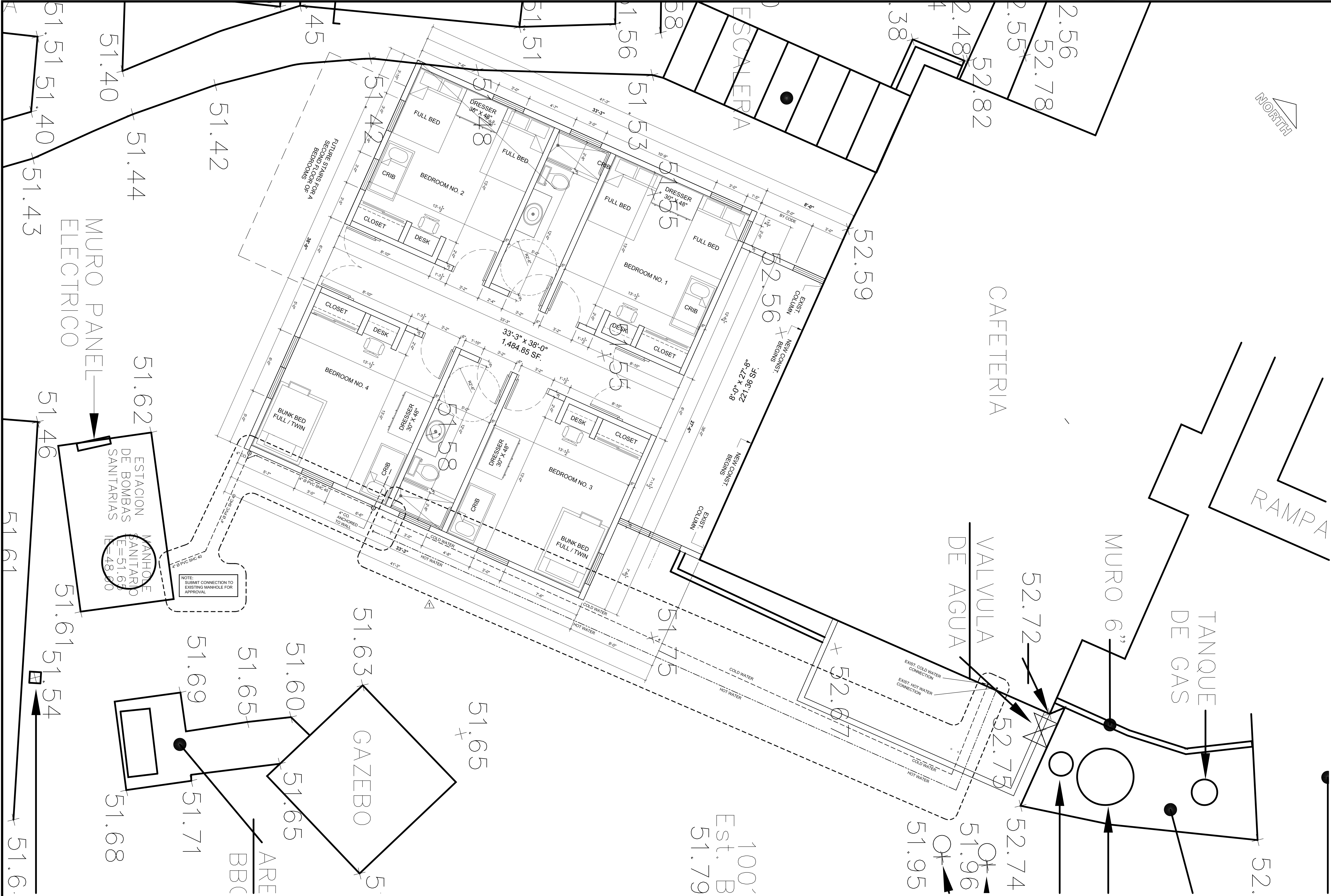
NO.	REVISION / ISSUE	DATE
1	PROPOSED CONNECTION	02/2023

OWNER:  
  
HOGAR RUTH PARA  
MUJERES MALTRATADAS, INC.  
DIRECTORA: LISDEL FLORES BARGER

PROJECT NAME AND ADDRESS:  
  
EXTENSION AND IMPROVEMENTS  
TO THE HOGAR RUTH PARA  
MUJERES MALTRATADAS  
CALLE 15, SOLAR A, URB. SANTA RITA  
BO. ESPINOSA, VEGA BAJA, P.R.

DRAWING NAME:  
  
SITE BLOW-UP  
PROPOSED WORKS  
AND EXTERIOR  
UTILITIES

PROJECT NO.:	SHEET
DATE: FEBRUARY 20, 2023	SI-2.1
SCALE: 1/4" = 1'-0"	



SITE BLOW-UP - PROPOSED WORKS AND EXTERIOR UTILITIES

SCALE: 1/4" = 1'-0"



GENERAL NOTES:

1. THE CONTRACTOR AGREES THAT HE, HIS MANAGEMENT TEAM (ESTIMATOR, PROJECT MANAGER, PROJECT ENGINEERS, SUPERINTENDENTS, AND SUBCONTRACTORS AND PRINCIPAL SUPERVISORY PERSONNEL) HAS VISITED THE SITE, EXAMINED THE SITE AND THE LOCATION OF THE PROPOSED WORK, AND EXISTING IMPROVEMENTS, AND CONDITIONS AND PHYSICAL CHARACTERISTICS OF THE JOB. THE CONTRACTOR(S) SHALL INCLUDE IN HIS BUDGET ALL COSTS ASSOCIATED WITH, AND PERTAINING TO, THE SATISFACTORY COMPLETION OF THE PROJECT AND THE COMPLETE INSTALLATION OF ALL ASSOCIATED SYSTEMS, INCLUDING THE REMOVAL AND RELOCATION OF ANY AND ALL OBJECTS OR OBSTRUCTIONS THAT MAY BE ENCOUNTERED IN THE COMPLETION OF THE WORK THAT MAY NOT HAVE BEEN PREVIOUSLY DOCUMENTED IN THE CONSTRUCTION DOCUMENTS.

2. THE WORK DESCRIBED HERE INVOLVES THE CONSTRUCTION OF FOUR BEDROOMS AND THE EXTENSION OF THE EXISTING KITCHEN AS DOCUMENTED IN THESE DRAWINGS. THE CONTRACTOR SHALL COLLABORATE ALL THE WORK DESCRIBED ON THE DRAWING WITH THE ACTUAL CONDITIONS IN THE FIELD. CONTRACTORS SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY SITUATION WHICH DANGERED THE INTEGRITY OF THE BUILDING OR PREVENTS THE ARCHITECT FROM SUCCESSFULLY ACHIEVING THE DESIGN INTENT

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ASCERTAINING THE REQUIREMENTS OF AND ADHERING TO ALL NOISE ORDINANCES OR OTHER ORDINANCES THAT MAY RESTRICT THE ACTIVITIES OF THE WORK ON THIS JOB.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS PRIOR TO THE COMMENCEMENT OF WORK AND FOR THE REQUESTING AND COORDINATION OF ALL INSPECTIONS AND APPROVAL OF ALL ASPECTS OF HIS WORK, AND OBTAINING ALL TEMPORARY AND FINAL CERTIFICATES OF OCCUPANCY.

5. THE CONTRACTOR SHALL MAINTAIN A COPY OF ALL APPLICABLE CODES AND STANDARDS RELEVANT TO THIS PROJECT ON SITE AT ALL TIMES, AND SHALL COMPLY WITH ALL REQUIREMENTS OF THE CURRENT UNIFORM BUILDING CODE, AND ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES, STANDARDS, REGULATIONS, AND LAWS.

6. THE CONTRACTOR SHALL MAINTAIN A COMPLETE AND CURRENT SET OF PERMIT DRAWINGS ON-SITE AT ALL TIMES ALONG WITH ALL REVISIONS TO THE PERMIT, INCLUDING PERMITTED SHOP DRAWINGS AND CALCULATIONS. SAID DRAWINGS ALONG WITH ALL INSPECTION LOGS, AND PERMITS SHOULD BE MAINTAINED IN AN EASILY ACCESSIBLE SPACE FOR THE OWNER, ARCHITECT, ENGINEERS, AND BUILDING OFFICIALS TO REVIEW.

7. THE CONTRACTOR SHALL REVIEW ALL CONTRACT DOCUMENTS, PERMIT DOCUMENTS, DIMENSIONS, JOB-SITE CONDITIONS, AND COORDINATE WITH FIELD DIMENSIONS, AND PROJECT SHOP DRAWINGS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL MAKE NOTE OF ANY AND ALL DISCREPANCIES THAT PREVENT THE INSTALLATION OF ANY ASPECT OF THE CONSTRUCTION TO ACHIEVE THE CHARACTER AND APPEARANCE DEFINED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL REPORT ANY AND ALL DISCREPANCIES REGARDLESS OF THEIR NATURE TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK, ALLOWING SUFFICIENT TIME FOR THE ARCHITECT AND ENGINEERS TO REASONABLY ASSESS THE CONDITION AND DETERMINE AN APPROPRIATE SOLUTION.

8. ITEMS AFFECTING ALL TRADES ARE PLACED THROUGHOUT THE DRAWINGS. NO "CHARGE ORDERS" FOR MISSED ITEMS IN OTHER SECTIONS OF THE WORK WILL BE PERMITTED. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF AMBIGUITY, INCONSISTENCY OR ERROR WHICH THEY DISCOVER UPON EXAMINATION OF THE CONTRACT DOCUMENTS, THE SITE, OR LOCAL CONDITIONS.

9. THE CONTRACTOR SHALL PERFORM ALL WORK IN A FIRST CLASS WORKMANSHIP LIKE MANNER.

10. THE ARCHITECT AND OR ENGINEERS(S) SHALL NOT BE RESPONSIBLE FOR, NOR HAVE CONTROL OR CHARGE OVER THE CONSTRUCTION MEANS, METHODS, SEQUENCES, OR PROCEDURES OR FOR THE SAFETY PRECAUTION PROGRAMS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DAMAGES OR INJURIES DUE TO HIS ACT OR NEGLIGENCE.

11. THE CONTRACTOR SHALL REMOVE FROM THE SITE AND LEGALLY DISCARD IN A TIMELY MANNER ALL CONSTRUCTION DEBRIS THAT WILL NOT BE REUSED OR RELOCATED ELSEWHERE IN THE PROJECT.

12. THE CONTRACTOR IS RESPONSIBLE FOR ALL MATERIALS, EQUIPMENT, AND APPLIANCES THAT ARE TO BE USED. THE CONTRACTOR SHALL PROVIDE PROTECTION FROM VANDALISM, THEFT, WEATHER, DUST, NOISE, AND ANY OTHER SOURCE OF DAMAGE OR LOSS.

13. THE CONTRACTOR SHALL PREPARE AND MAINTAIN A HURRICANE/WINDSTORM PREPAREDNESS PLAN. THE CONTRACTOR SHALL MAINTAIN SAID PLAN IN A LOCATION THAT IS READILY ACCESSIBLE FOR REVIEW BY THE OWNER AND OR ARCHITECT.

A. THE HURRICANE PLAN SHALL INCLUDE A LIST OF CONTACTS IN THE EVENT THAT A HURRICANE WATCH IS POSTED AND WILL ALSO ADDRESS WHAT MEASURES ARE TO BE TAKEN TO SECURE THE CONSTRUCTION SITE IN THE EVENT OF NOTIFICATION BY THE NATIONAL WEATHER SERVICE OF AN IMPENDING HURRICANE OR WINDSTORM THAT MAY THREATEN THE JOB.

B. THE HURRICANE PLAN SHALL ADDRESS HOW THE CONTRACTOR WILL MOBILIZE THE PROJECT FOLLOWING A WIND OR HURRICANE EVENT AND DOCUMENTATION OF DAMAGES AND HOW REPAIRS WILL BE HANDLED IN THE EVENT OF A LOSS.

14. IN THE EVENT OF DAMAGES TO THE BUILDING WHICH REQUIRE ASSESSMENT FOR AN INSURANCE CLAIM, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE OWNER OF THE CIRCUMSTANCES SURROUNDING THE LOSS, DOCUMENT DAMAGES, DETERMINE AND PRICE REPAIRS, DETERMINE IMPACT TO THE PROJECT SCHEDULE, SUBMIT ALL INFORMATION TO THE OWNER WITHIN 72 HOURS OF A LOSS.

15. CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AT THE TIME THE WORK IS PERFORMED. NO ADDITIONAL PAYMENTS SHALL BE MADE FOR THE CONTRACTOR'S FAILURE TO CORRECT CONFLICTING FIELD CONDITIONS AFTER THE WORK HAS BEEN COMPLETED.

16. THE CONTRACTOR SHALL WORK AND RETAIN COOPERATION WITH THE OWNER AND TENANTS IN SCHEDULING THEIR WORK IN ORDER TO CAUSE THE LEAST INCONVENIENCE TO PERSONNEL AND PROPERTY.

17. THE CONTRACTOR SHALL COORDINATE ALL REQUIRED TESTS. PAYMENT OF ALL TEST SHALL BE AS INDICATED IN THE AGREEMENT BETWEEN THE OWNER/CONTRACTOR OR GENERAL CONDITIONS. IF NOT SPECIFICALLY DEFINED, THESE COSTS SHALL BE BORNE BY THE CONTRACTOR.

18. THE ARCHITECT AND ENGINEERS WILL NOT PROVIDE TO THE CONTRACTOR OR HIS SUBCONTRACTORS ANY DISKS OR ELECTRONIC MEDIA PREVIOUSLY/CURRENTLY USED IN THE PREPARATION OF THE CONSTRUCTION DRAWINGS. DO NOT REPRODUCE THE DRAWINGS FOR USE AS SHOP DRAWINGS.

19. DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE.

20. CONTRACTOR SHALL RESOLVE QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS WITH THE ARCHITECT/ENGINEER. DETAILS LABELED AS "TYPICAL DETAILS, OR (TYP.) ON THE DRAWINGS APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY DETAILED OR EXISTING AT THE SITE. SUCH DETAILS APPLY WHETHER OR NOT THEY ARE KEYED IN AT EACH LOCATION.
21. IF A THRESHOLD ENGINEER IS PRESENT ON SITE AND NOT THE ENGINEER OF RECORD, ALL QUESTIONS AND DIRECTIVE MUST BE ADDRESSED WITH THE ENGINEER OF RECORD.

22. DO NOT CUT OR DRILL ANY STRUCTURAL MEMBER OTHER THAN DESCRIBED ON THE STRUCTURAL DRAWINGS WITHOUT PRIOR WRITTEN APPROVAL FROM THE STRUCTURAL ENGINEER.

23. CUT APPROVED NECESSARY OPENINGS FOR REQUIRED PURPOSE AND REPAIR WHERE NECESSARY. AFTER CUTTING, INsofar AS POSSIBLE, ALL PROTRUSIONS, MARKS, CRACKS OR OTHER EVIDENCE OF A DEFICIENT OR DAMAGED CONDITION SHALL BE ELIMINATED UNLESS SPECIFICALLY NOTED OTHERWISE. ANY PARTS WHICH ARE SPLIT, CRACKED, CHIPPED, SPALLED, BROKEN, MISSING OR OUT OF LINE OR ADJUSTMENT. MECHANICALLY OR STRUCTURALLY UNSAFE OR UNSOUND, BENT, TORN, OR OTHERWISE DEFICIENT OR INJURED IN ANY MANNER, SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER AND REMOVED, REPLACED, RESTORED, OR SATISFACTORILY REPAIRED AS DIRECTED BY THE ARCHITECT/ENGINEER.

24. CLEANING :

PROVIDE CLEANING AS INDICATED IN THE CONTRACT FOR CONSTRUCTION BETWEEN THE OWNER/CONTRACTOR. THOROUGHLY CLEAN THE PREMISES TO MAKE READY FOR OPENING. CLEAN ALL SURFACES INTERIOR AND EXTERIOR, FREE OF ALL DIRT AND REFUSE CAUSED BY DEBRIS FROM ALL INSTALLATION TECHNIQUES OF THE TRADES INCLUDING:

A) POLISHING ALL HARDWARE

B) THOROUGHLY CLEANING ALL CABINETS INSIDE AND OUT

C) CLEANING SHELVES INSIDE AND OUT

D) ALL MIRRORS, GLASS STOREFRONTS, AND TERRACES, WINDOWS AND, METAL FRAMING TO BE CLEANED INSIDE AND OUT, WHERE POSSIBLE

E) REMOVE ANY SPOTS FROM AND CLEAN ALL CARPETING

F) CLEAN STORE FINISHES AND FLOORING THOROUGHLY INCLUDING BASES

G) CLEAN OR TOUCHUP ALL PAINTED SURFACES WHICH ARE SOLED.

IN GENERAL, CONTRACTOR IS TO DELIVER TO THE OWNER A CLEAN BUILDING PRIOR TO OPENING TO THE PUBLIC.

25. USE OF DRAWINGS :

THESE DRAWINGS ARE BEING PREPARED FOR THE PURPOSE OF CONSTRUCTION OF THE "HOGAR RUTH PARA MUJERES MALTRATADAS", PROJECT ONLY. THESE DRAWINGS ARE NOT TO BE USED FOR MAINTENANCE PURPOSES AS ACTUAL CONDITIONS MAY VARY FROM THOSE SHOWN ON THESE DRAWINGS DUE TO CHANGE ORDERS, ALTERATIONS BY OTHERS, FIELD CONDITIONS, ETC.

THESE DRAWINGS AND RELATED DOCUMENTS DETAIL WORK FOR THIS SPECIFIC PROJECT INDICATED BY NUMBER AND LOCATION. THESE DOCUMENTS SHALL REMAIN THE PROPERTY OF ENVIRONMENTAL PARTNERS, LLC AND MAY NOT BE USED FOR ANY OTHER PROJECT OR PURPOSE WITHOUT WRITTEN PERMISSION OF ENVIRONMENTAL PARTNERS, LLC.

26. WALL DIMENSIONS :

AT INTERIOR WALL DIMENSIONS ARE FACE OF STUD TO FACE OF STUD.

ALL EXTERIOR WALL DIMENSIONS ARE TO FACES OF BLOCK WALLS.

27. ALL STUDS ARE TO EXTEND TO THE UNDERSIDE OF STRUCTURE ABOVE UNLESS OTHERWISE NOTED. PLEASE REFER TO WALL SECTIONS AND WALL TYPES FOR DETAILED WALL CONSTRUCTION INFORMATION.

28. OWNER FURNISHED MATERIALS

A. FOR ANY MATERIAL FURNISHED BY THE OWNER WHICH ARE TO BE INSTALLED BY THE CONTRACTOR (F.O.I.C.) ITEMS: UNPACK AND VERIFY THE QUANTITY AND CONDITION. NOTIFY THE OWNER OF ANY DISCREPANCIES IN QUANTITY AND DAMAGES WITHIN TWELVE (12) HOURS OF RECEIVING SHIPMENT. FAILURE TO DO SO PLACES RESPONSIBILITY ON THE CONTRACTOR.

B. ALL OWNER-FURNISHED MATERIAL, IF ANY, ARE TO BE FURNISHED TAILGATE DELIVERY ONLY. THE CONTRACTOR IS RESPONSIBLE FOR THE UNLOADING, EXAMINATION AND TRANSPORTATION OF OWNER FURNISHED MATERIALS FROM THE POINT OF OFF-LOADING TO THE JOB-SITE OR STORAGE AREA AS APPLICABLE. MATERIALS WILL BE DELIVERED TO THE CLOSEST AVAILABLE TRUCK DOCK OR ALTERNATE LOCATION AS DIRECTED BY THE OWNER.

29. SUBSTITUTIONS :

A. SUBSTITUTION OF MATERIALS OR EQUIPMENT OTHER THAN SPECIFIED SHALL BE PERMITTED UPON WRITTEN AUTHORIZATION FROM THE ARCHITECT AND OWNER

B. THE CONTRACTOR SHALL BEAR THE BURDEN OF PROOF THAT SUCH SUBSTITUTION IS EQUAL TO SPECIFIED ITEM AND CAN BE OBTAINED IN A TIMELY MANNER.

C. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL SUBSTITUTE ITEMS WITH ALL ASSOCIATED/IMPACTED TRADES.

D. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DESIGN COSTS ASSOCIATED WITH A SUBSTITUTION.

30. ALL CONCRETE / CMU WALLS AND CEILINGS TO BE STONE RUBBED IN ORDER TO ACHIEVE A SMOOTH EVEN SURFACE.

31. ALL MATERIAL USED IN THE INTERIOR OF THE PROJECT MUST MEET THE FLAME SPREAD RATINGS PER THE GOVERNMENT CODE. PROOF OF THESE FLAME SPREAD RATINGS MUST BE INCLUDED AS A PART OF A FINAL INSPECTION PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

32. FRAMING :

ALL WOOD IN CONTACT WITH CONCRETE, MASONRY, OR STUCCO SHALL BE PRESSURE-TREATED MATERIAL OR ISOLATED FROM CONTACT.

ALL FRAMING LUMBER AND WOOD BLOCKING SHALL BE FIRE RETARDANT TREATED (F.R.T.) LUMBER. NO F.R.T. MATERIAL MAY BE USED IN THE CEILINGS PLENUM OR ABOVE SPRINKLER COVERAGE, OR AS REQUIRED/RETRICTED BY LOCAL GOVERNING CODES.

33. COMPLETENESS OF WORK :

ANY MATERIAL OR LABOR, NEITHER SHOWN ON THE DRAWINGS, NOR SPECIFIED, BUT WHICH IS OBVIOUSLY NECESSARY TO COMPLETE THE WORK OF A SIMILAR NATURE OR TO COMPLY WITH ALL CODES SHALL BE FURNISHED WITHOUT ADDITIONAL COST.

ALL WORK STARTED BY THE CONTRACTOR SHALL BE COMPLETED IN ITS ENTIRETY TO ITS FINAL COMPLETED STATE WHETHER COMPLETELY DEFINED IN THE DRAWINGS OR NOT.

34. DOCUMENTATION :

THE GENERAL CONTRACTOR SHALL CREATE AN ONGOING RECORD SET OF DRAWINGS OF ALL DEVIATIONS FROM THE CONTRACT DOCUMENTS. HE SHALL NEATLY AND CORRECTLY ENTER IN COLORED PENCIL, ANY DEVIATIONS ON THE DRAWINGS AFFECTED AND SHALL KEEP THE DRAWINGS AVAILABLE FOR INSPECTION. AN EXTRA SET OF DRAWINGS WILL BE FURNISHED FOR THIS PURPOSE UPON COMPLETION OF THE JOB, AND BEFORE FINAL APPROVAL. THE GENERAL CONTRACTOR WILL MAKE ANY FINAL CORRECTIONS TO DRAWINGS AND SHALL CERTIFY TO THE ACCURACY OF EACH PRINT THAT THE WORK IS COMPLETED ACCORDING TO THE DRAWINGS BY SIGNATURE THEREON AND DELIVER SAME TO THE ARCHITECT.

35. FINISHED FLOORING :

GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR PROTECTING FINISHED FLOORING SURFACES FROM DAMAGE BY SUB-CONTRACTORS.

THE CONTRACTOR SHALL EXAMINE THE FLOOR SLAB CONDITION TO DETERMINE TO WHAT EXTENT FLOOR PREPARATION, LEVELING, CHIP HAMMERING, ETC. WILL BE NECESSARY TO FURNISH A SMOOTH, LEVEL SUBSTRATE FOR THE PROPER INSTALLATION OF ALL FLOORING MATERIALS. THE COST OF SUCH WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. UNEVEN SUBSTRATE WILL NOT BE ACCEPTED AS AN EXCUSE FOR POORLY INSTALLED FLOORING MATERIALS.

36. SHOP DRAWINGS :

THE CONTRACTOR SHALL SUBMIT AS MANY SETS AS REQUIRED BY G.C, PLUS ONE SET EACH FOR ARCHITECT, ENGINEER AND OWNER OF STAMPED AND APPROVED SHOP DRAWINGS CALLED FOR ON THE CONTRACT DOCUMENTS AND/OR REQUIRED BY OWNER AND/OR BUILDING OFFICIALS TO THE ARCHITECT IN SUFFICIENT TIME TO BE REVIEWED AND PROCESSED SO AS TO CAUSE NO DELAY. DRAWINGS WILL NOT BE REVIEWED UNLESS APPROVED AND STAMPED BY SUBCONTRACTOR.

THE FOLLOWING IS A PARTIAL LIST OF SUBMITTALS REQUIRED:

- METAL FABRICATIONS

- WALL & ROOF INSULATION

- VARNISH, SEALERS AND COATINGS

- SEALANTS

- PLUMBING FIXTURES AND DRAINS

- LIGHTING FIXTURES

- ELECTRICAL SWITCHES AND OUTLETS

- HARDWARE AND DOORS

- TILES, PAVERS AND GROUT

- PAINT

- SIGNAGE

- ELECTRICAL PANELS

LEGEND OF SYMBOLS:

3

→

DOOR IDENTIFICATION

A

→

WINDOWS IDENTIFICATION

1

→

FINISHES IDENTIFICATION

1

→

FIXTURES IDENTIFICATION

N.I.C.

→

NOT IN CONTRACT

▲

A-2

→

SECTION IDENTIFICATION

→

SHEET WHERE SECTION IS DRAWN

▲

A-1

→

ELEV. IDENTIFICATION

→

ELEVATION

→

SHEET WHERE ELEVATION IS DRAWN

▲

A-1

→

WALL ELEV. IDENTIFICATION

→

WALL ELEVATION

→

SHEET WHERE WALL ELEVATION IS DRAWN

1

A-1

→

DETAIL IDENTIFICATION

→

DETAIL

→

SHEET WHERE DETAIL DRAWN

◊

→

ELEV. IDENTIFICATION

→

BATHROOMS OR KITCHEN ELEV.

DIM.

→

→

DIMENSION LINE

A

→

→

WALL AXIS IDENTIFICATION

---

→

→

OVERHANG LINE OR STRUCTURE ABOVE

---

→

→

PROPERTY LIMIT

---

→

→

HIDDEN LINE

→

→

CONCRETE WALL

→

→

CONC. BLOCK WALL

R.L.

→

→

RAIN LEADER

R.D.

→

→

ROOF DRAIN

F.D.

→

→

FLOOR DRAIN

W.H.

→

→

WATER HEATER

NIC.

→

→

NOT IN CONTRACT

~

→

→

SLOPE

ENVIRONMENTAL PARTNERS, LLC

P. O. Box 194102  
San Juan, P.R. 00919-4102

CONSULTANT:

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NO.	REVISION / ISSUE	DATE

OWNER:

HOGAR RUTH PARA MUJERES MALTRATADAS, INC.  
DIRECTORA: LISDEL FLORES BARGER

PROJECT NAME AND ADDRESS:

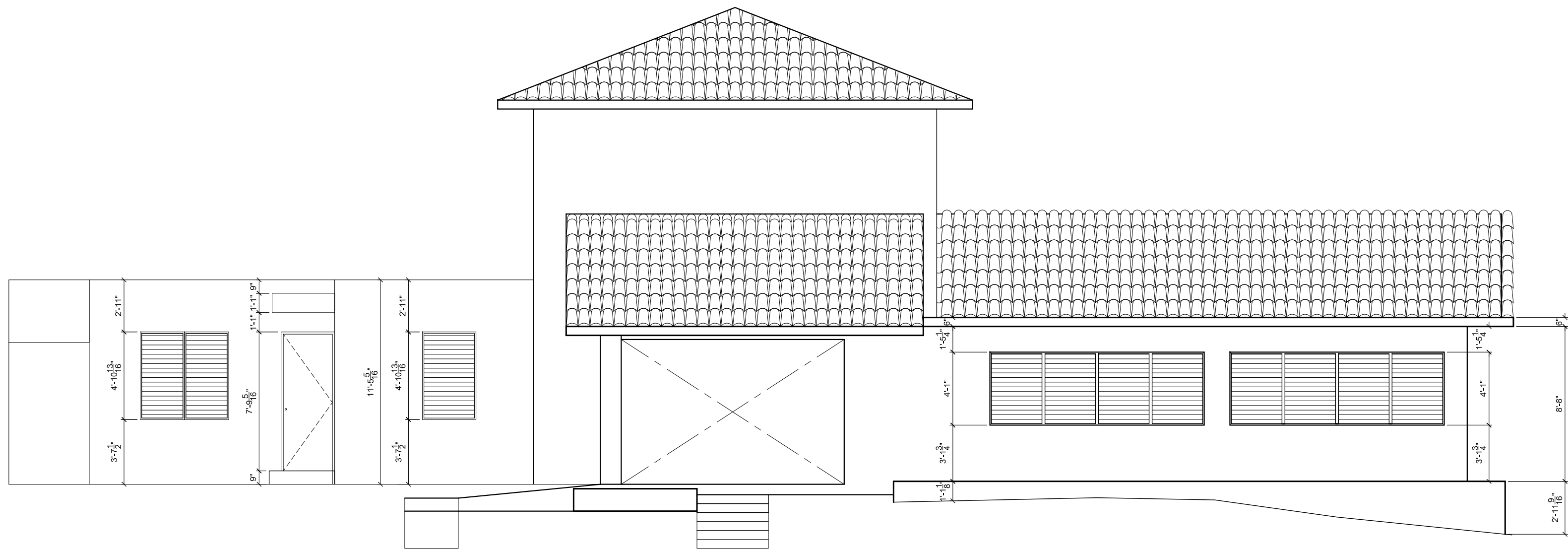
EXTENSION AND IMPROVEMENTS TO THE HOGAR RUTH PARA MUJERES MALTRATADAS  
CALLE 15, SOLAR A, URB. SANTA RITA BO. ESPINOSA, VEGA BAJA, P.R.

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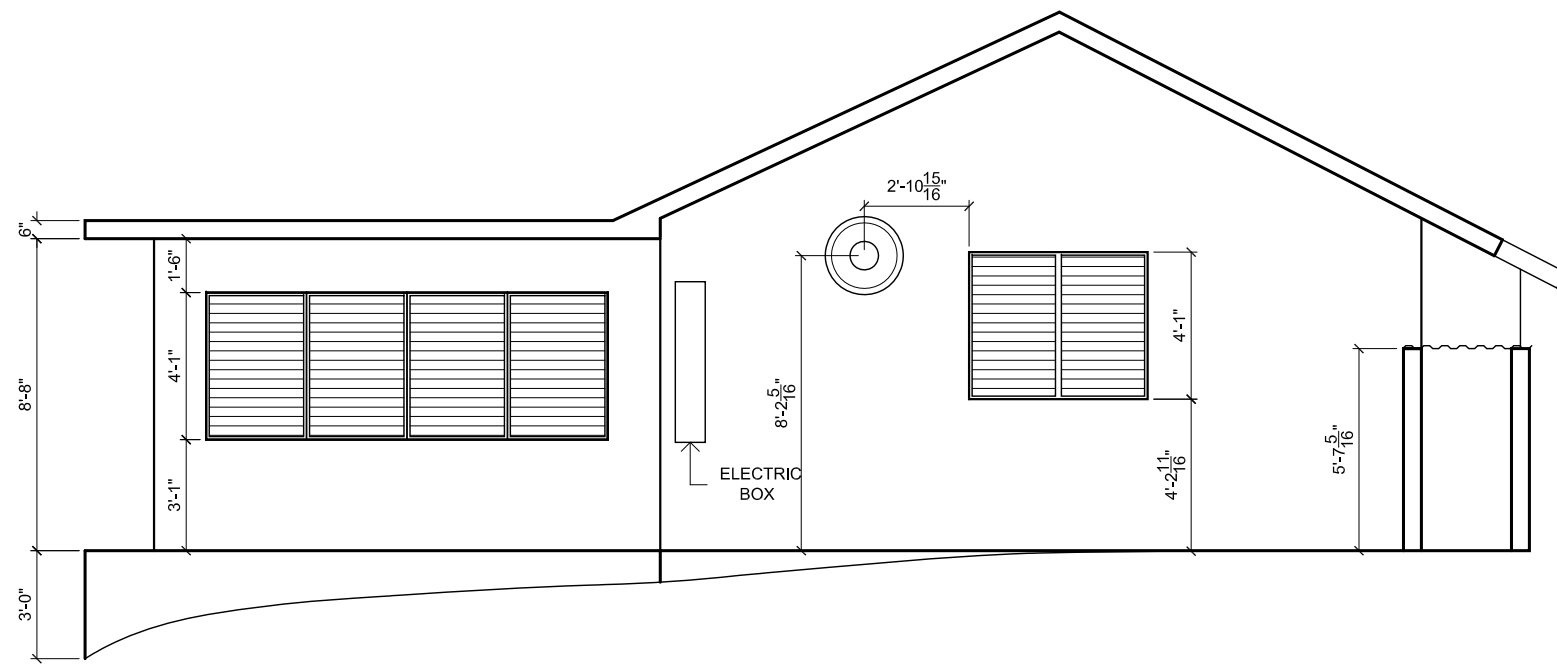
NOTES AND SYMBOLS

PROJECT NO.:	SHEET
DATE: FEBRUARY 20, 2023	A-1.0
SCALE: 1/4" = 1'-0"	

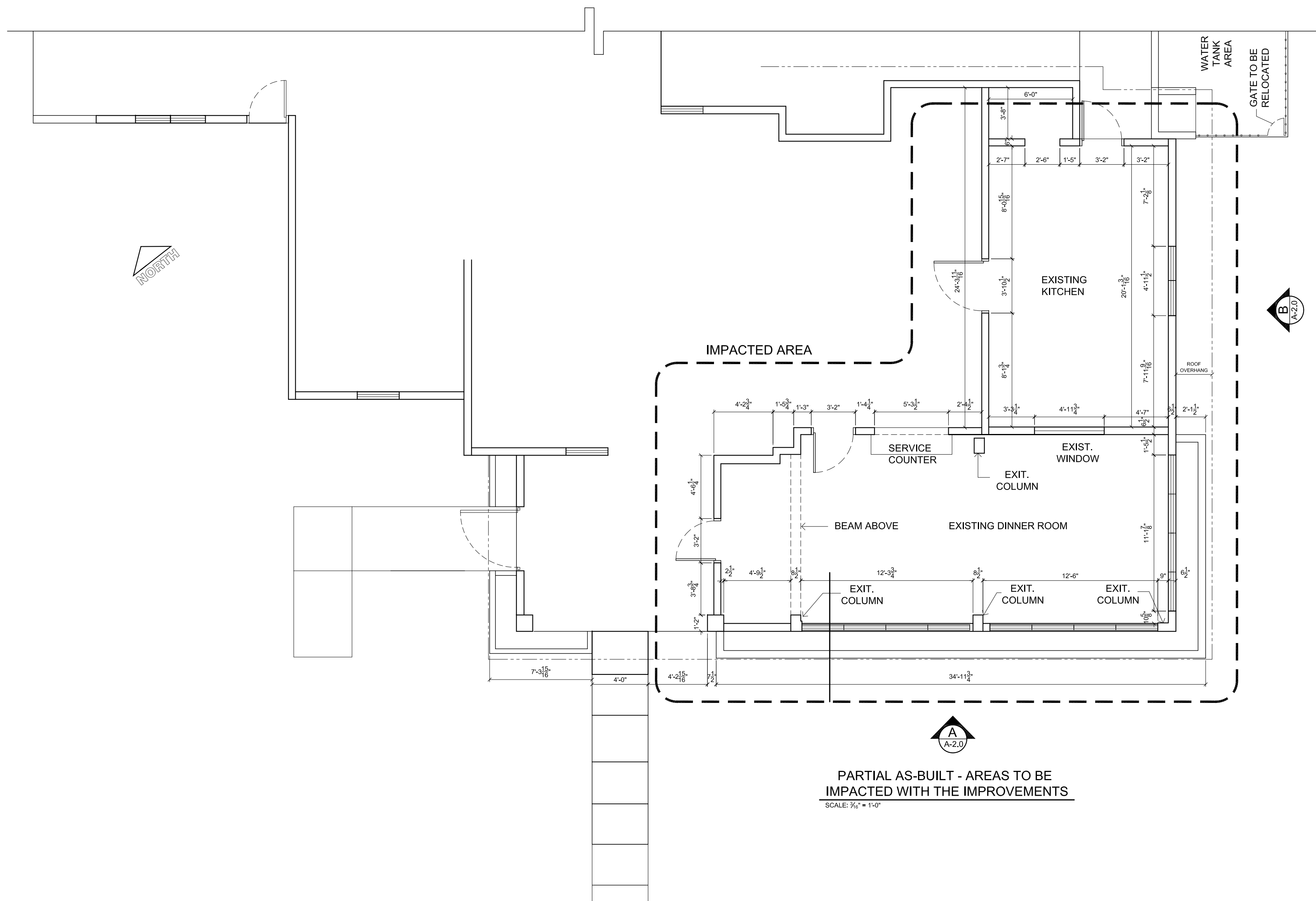




**A**  
A-2.0 ELEVATION OF THE AREA  
OF THE FUTURE BEDROOMS  
SCALE: 3/16" = 1'-0"



**B**  
A-2.0 ELEVATION OF THE SECTOR FOR  
THE EXTENSION OF THE KITCHEN  
SCALE: 3/16" = 1'-0"



**A**  
A-2.0 PARTIAL AS-BUILT - AREAS TO BE  
IMPACTED WITH THE IMPROVEMENTS  
SCALE: 3/16" = 1'-0"

#### GENERAL REQUIREMENTS

1. SEE ADDITIONAL GENERAL NOTES ON CIVIL, STRUCTURAL, ARCHITECTURAL CONCRETE, PLUMBING, MECHANICAL, ELECTRICAL, AND TELECOM DRAWINGS.
2. DO NOT SCALE DRAWINGS. WHERE DIMENSIONS CANNOT BE DETERMINED FROM THE PLANS, DETAILS, AND SPECIFICATIONS, REQUEST CLARIFICATION FROM THE ARCHITECT.
3. IF DISCREPANCIES EXIST ON THE DRAWINGS, IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO SUBMIT A RFI FOR CLARIFICATION FROM THE OWNER REPRESENTATIVE.
4. DIMENSIONS SHOWN ON THE FLOOR PLANS, PLANS, SECTIONS, AND DETAILS ARE TO FACE OF FINISH, TO COLUMN GRIDLINES, OR O FACE OF CONCRETE OR MASONRY UNLESS OTHERWISE NOTED OR SHOWN.
5. FOR ALL FLOOR ELEVATIONS REFER TO TOP OF CONCRETE, EXCEPT WHERE FLOOR FINISH IS STONE OR WOOD, REFER TO A FINISHED FLOOR ELEVATION. THIS SHALL BE TOP OF CONCRETE, STONE OR WOOD FLOOR.
6. DETAILS ARE INTENDED TO SHOW DESIGN INTENT FOR ACCOMPLISHING WORK. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB CONDITIONS AND SHALL BE INCLUDED AS PART OF THE WORK.
7. COORDINATE THE INSTALLATION OF THE VARIOUS TRADE ITEMS WITHIN THE SPACE ABOVE CEILINGS (STRUCTURAL MEMBERS, FIREPROOFING, CONDUITS, MECHANICAL DUCTS, INSULATION, SPRINKLER LINES AND DROPS, RECESSED LIGHT FIXTURES AND CEILING CONSTRUCTION THICKNESS, ETC.) TO MAINTAIN THE FINISH CEILING HEIGHT ABOVE THE FLOOR AS INDICATED IN THESE DRAWINGS FOR THE VARIOUS ROOMS AND AREAS.
8. SEPARATE APPROVALS FOR PERMITS FROM GOVERNING AGENCIES SHALL BE REQUIRED CERTAIN BUILDING SYSTEMS, INCLUDING BUT NOT LIMITED TO CURTAIN WALL SYSTEMS, MECHANICALLY FASTENED STONE VENEER AND STUD SUPPORT, FIRE PROTECTION SYSTEMS, CERTAIN LIGHT-GUAGE AND COLD ROLLED METAL FRAMING SYSTEMS, MISCELLANEOUS METALS, ORNAMENTAL RAILINGS, FIRE ALARM SYSTEMS, FIRE PUMP SYSTEMS, UNDERGROUND TANKS, FUEL OIL SYSTEMS, AND SYSTEMS WHICH REQUIRE THE SUBMISSION OF ADDITIONAL ENGINEERING CALCULATIONS OR DETAIL DRAWINGS FOR AGENCY APPROVAL. THE PREPARATION OF SUCH DOCUMENTS AND OBTAINING THE AUTHORIZATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
9. OBTAIN ALL NECESSARY PERMITS FOR WORK, INCLUDING, BUT NOT LIMITED TO, PEDESTRIAN PROTECTION, TRAFFIC CONTROL MITIGATION, TEMPORARY STREET CLOSURE, AND OFFSITE IMPROVEMENTS. PERMITS SHALL BE OBTAINED PRIOR TO STARTING THE WORK.
10. ALL DISTANCES, DATA AND EXISTING STRUCTURES AND UTILITIES ABOVE OR BELOW THE GROUND, WITHIN THE LIMITS OF THIS PROJECTS SHALL BE CHECKED BY THE CONTRACTOR. IN CASES OF CONFLICT, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IN ORDER TO A CLARIFICATION MAY BE MADE.
11. PATCH AND REPAIR ALL EXISTING MATERIALS OR EQUIPMENT DAMAGED OR EXPOSED BY REMOVAL WORK OR BY ANY OTHER CONSTRUCTION WORK. MATCH ADJACENT SIMILAR MATERIAL IN TEXTURE AND COLOR UNLESS NOTED OTHERWISE.



**ENVIRONMENTAL  
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TO THE HOGAR RUTH PARA  
MUJERES MALTRATADAS**  
CALLE 15, SOLAR A, URB. SANTA RITA  
BO. ESPINOSA, VEGA BAJA, P.R.

DRAWING NAME:

**PARTIAL  
AS-BUILT**

PROJECT NO.:

DATE:  
FEBRUARY 20, 2023

SCALE:  
1/4" = 1'-0"

SHEET

**A-2.0**





CONSULTANT

CONSULTANT

### REAL:

[illegible]

OWNER:

PROJECT NAME AND ADDRESS:

DRAWING NAME:

## AS-BUILT EXISTING KITCHEN LAY-OUT AND UTILITIES

PROJECT NO.:	SHEET  <b>A-2.1</b>
DATE: FEBRUARY 20, 2023	
SCALE: 1/4" = 1'-0"	



- 1 - GAS STOVE TO BE RELOCATED
- 2 - EXTRACTION HOOD TO BE RELOCATED
- 3 - GAS FRYER TO BE RELOCATED
- 4 - METAL SHELF TO BE RELOCATED
- 5 - FIRE SPRINKLER HEAD
- 6 - R-12 WET CHEMICAL FIRE SUPPRESSION SYSTEM TO BE RELOCATED
- 7 - THREE COMPARTMENT SINK TO BE RELOCATED
- 8 - WASHBASIN TO BE RELOCATED AND CHANGED
- 9 - EXTRACTION FAN TO BE RELOCATED
- 10 - SURVEILLANCE CAMERA TO REMAIN
- 11 - EMERGENCY LIGHTS TO REMAIN
- 12 - FIRE ALARM TO REMAIN
- 13 - FIRE EXTINGUISHER
- 14 - REFRIGERATOR TO BE RELOCATED
- 15 - COMMERCIAL REFRIGERATOR
- 16 - COMMERCIAL REFRIGERATOR
- 17 - STAINLESS STEEL TABLE
- 18 - STAINLESS STEEL TABLE
- 19 - STAINLESS STEEL TABLE
- 20 - STAINLESS STEEL TABLE
- 21 - STAINLESS STEEL BACK SPLASH
- 22 - ELECTRIC SWITCH TO BE RELOCATED
- 23 - FIRE SUPPRESSION LINES TO BE RELOCATED
- 24 - ELECTRIC LINE
- 25 - AIR CONDITIONING
- 26 - GAS TANK TO REMAIN
- 27 - GAS LINE (EXPOSED AND UNDERGROUND) TO BE PARTIALLY RELOCATED
- 28 - HOOD EXTRACTOR ELECTRIC LINE TO BE RELOCATED
- 29 - ELECTRIC BOX
- 30 - ELECTRIC LINE TO REMAIN
- 31 - SPRINKLER LINE TO REMAIN
- 32 - ELECTRIC LINE TO BE RELOCATED
- 33 - WATER LINE IN USE TO BE RELOCATED

## EXISTING KITCHEN LAYOUT

SCALE:  $\frac{3}{16}" = 1'-0"$



SCALE: 3/8" = 1'-0"



SCALE: 3/8" = 1'-0"



SCALE: 3/8" = 1'-0"



SCALE: 3/8" = 1'-0"

## EXISTING KITCHEN ELEVATION - EQUIPMENT AND UTILITIES

SCALE: 3/8" = 1'-0"



SCALE: 3/8" = 1'-0"



CONSULTANT:

CONSULTANT:

SEAL:

[illegible]

OWNER:

PROJECT NAME AND ADDRESS:

DRAWING NAME:

PROJECT NO.:

DATE: FEBRUARY 20, 2023

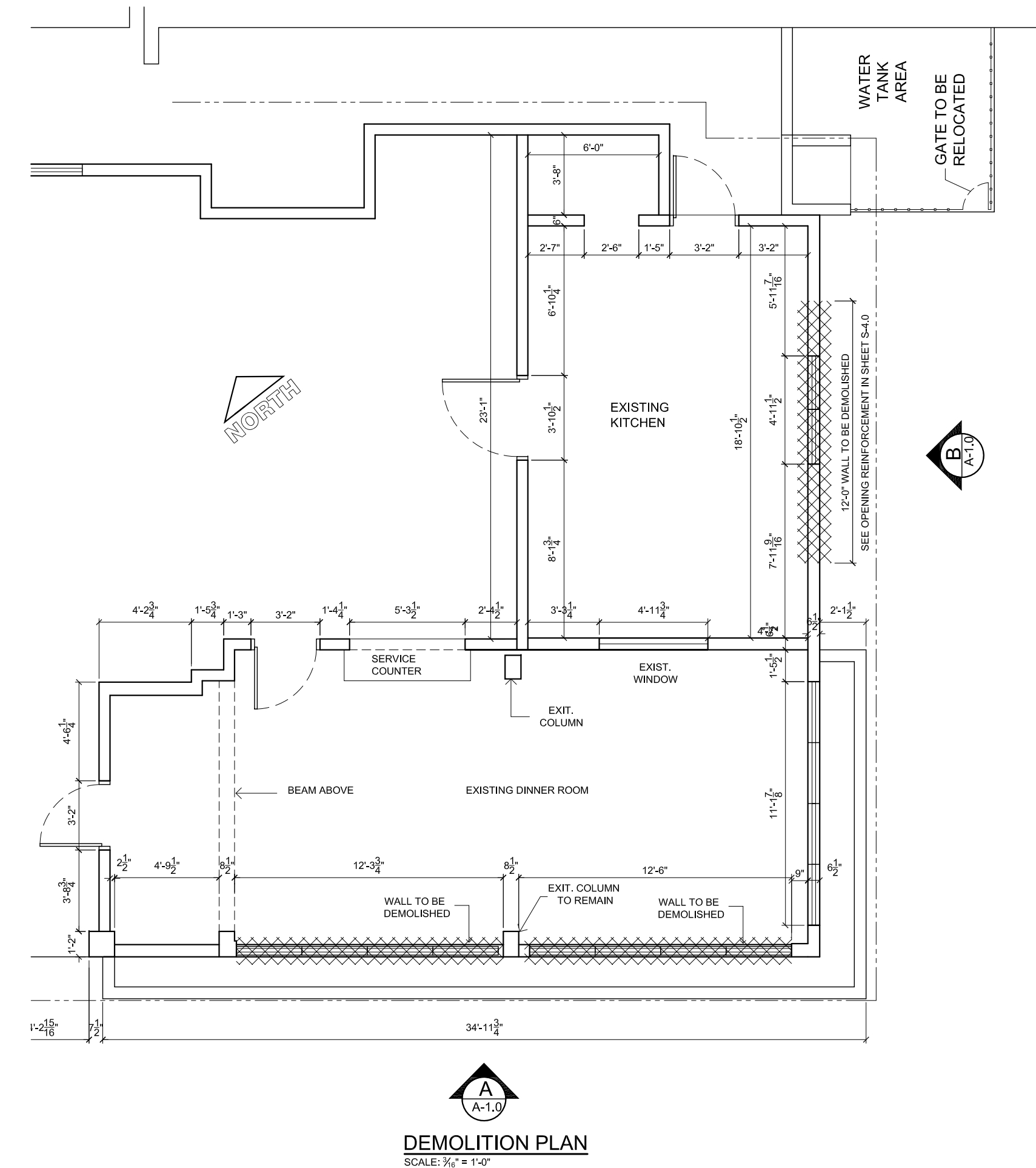
SCALE:  
1/4" = 1'-0"

MEET

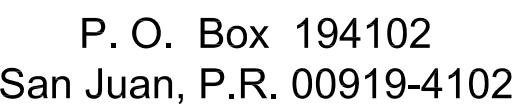
A-3.0



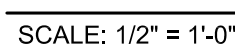
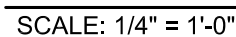
- 1.0 THE CONTRACTOR WILL EVALUATE THE DEMOLITION PROCESS DURING THE BIDDING PROCESS. THE CONTRACTOR MUST COORDINATE THE PROPOSED DESIGN WITH THE DEMOLITION.
- 2.0 THE DEMOLITION PRODUCT SHOULD BE REMOVED FROM THE PROJECT FACILITIES DURING THE CONSTRUCTION PROCESS. THE STORAGE OF DEMOLISHED MATERIAL IS NOT ALLOWED IN THE FACILITIES.
- 3.0 AT THE CLOSE OF EACH WORK WEEK, THE CONTRACTOR MUST CLEAN ITS WORK AREA TO GUARANTEE THE SAFETY OF USERS.
- 3.0 IT IS NOT ALLOWED TO USE THE PROJECT AREA TO STORE MATERIALS OR EQUIPMENT FOR OTHER PROJECTS.







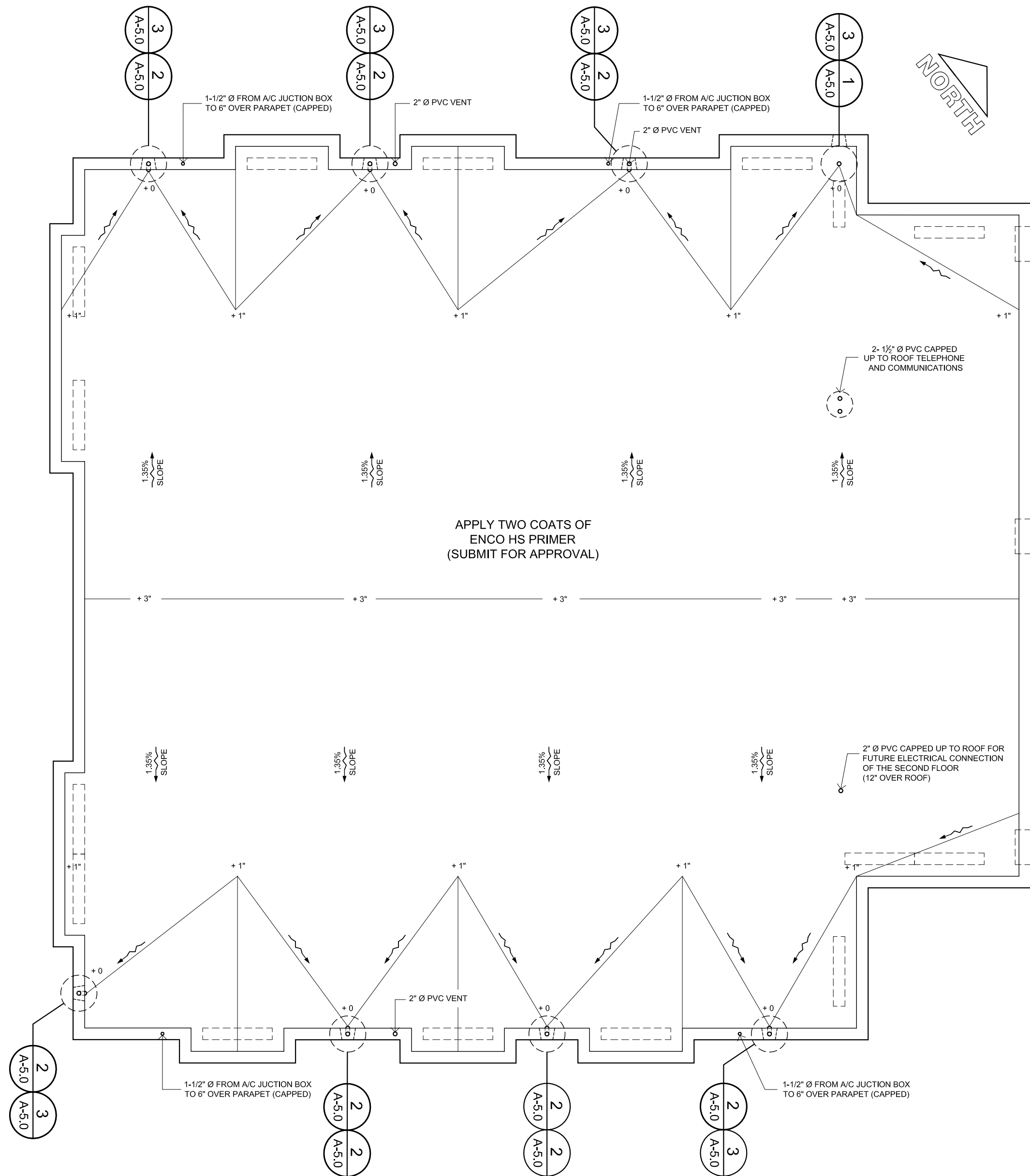
SCALE:  
1/4" = 1'-0"



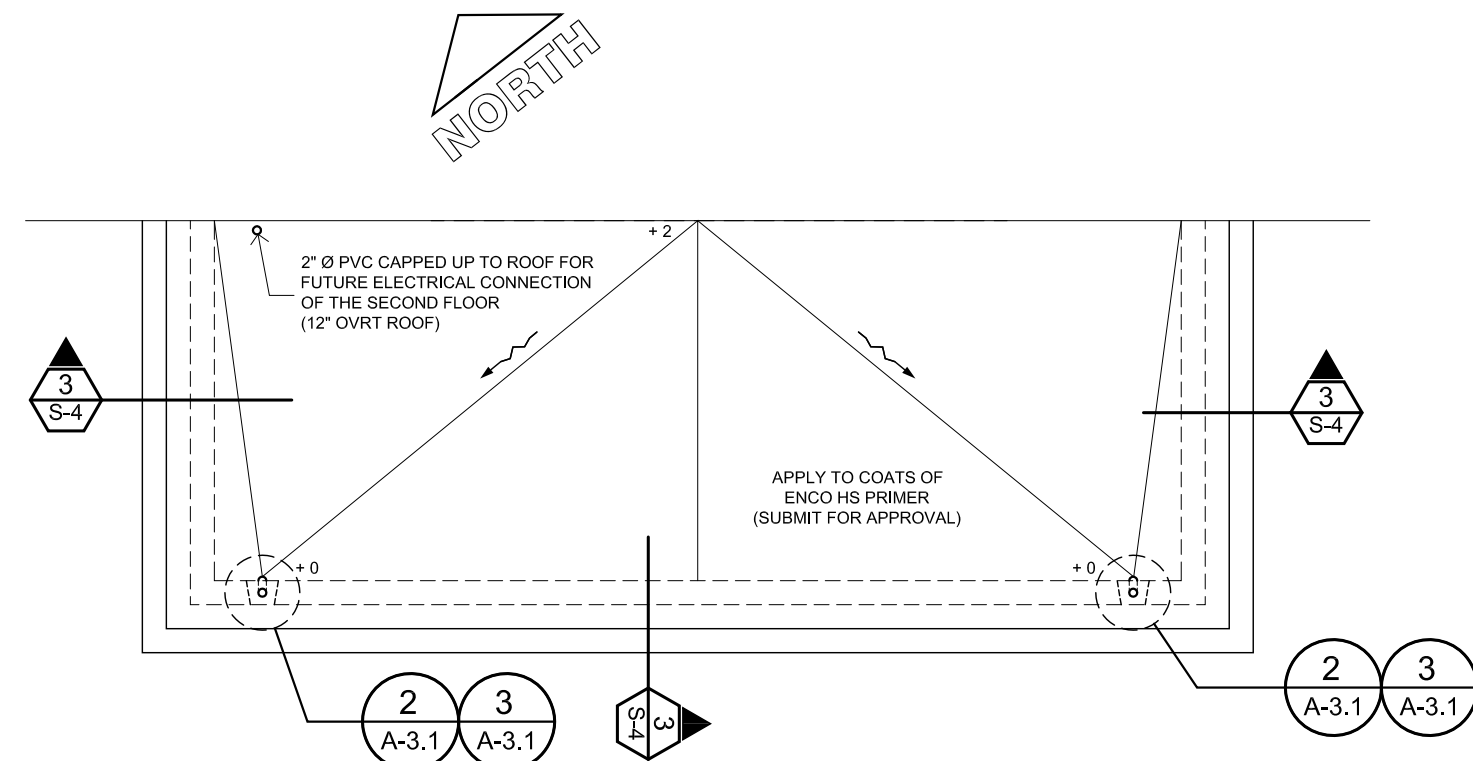
- 1.0 THE PURPOSE OF THIS SHEET IS TO SHOW THE LOCATION OF THE PROPOSED WORKS ON THE EXISTING.
- 2.0 THE CONTRACTOR MUST MARK THE GEOMETRIES OF THE PROPOSED CONSTRUCTION AND THE ELEVATIONS BEFORE STARTING WORK. THE CONTRACTOR MUST USE AS A REFERENCE THE MEASUREMENT AND TOPOGRAPHY PLAN PREPARED BY SURVEYOR PABLO CARDONA.
- 3.0 ANY DOUBT ABOUT THESE NOTES SHOULD BE CLARIFIED IN THE BIDDING PROCESS.



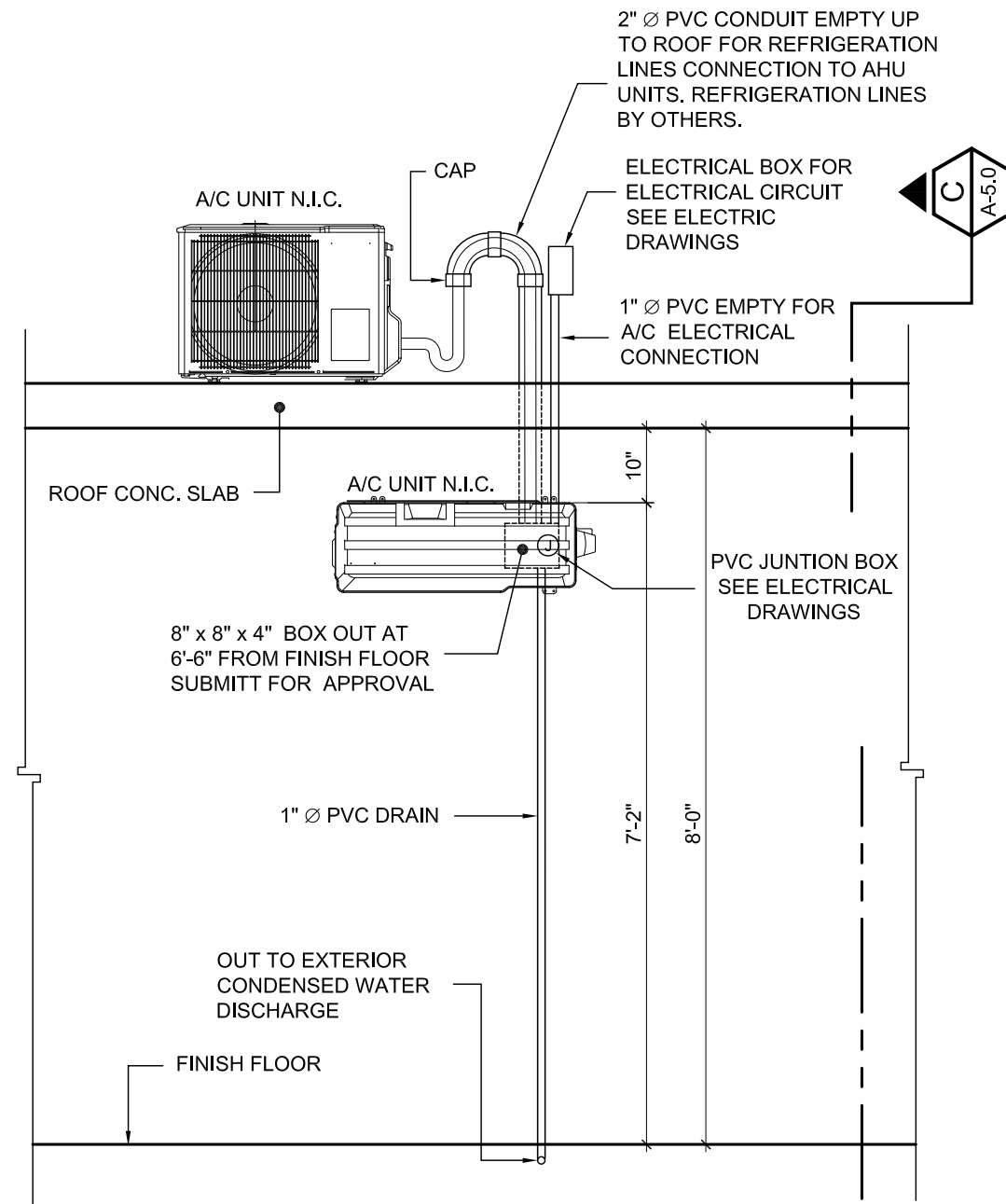




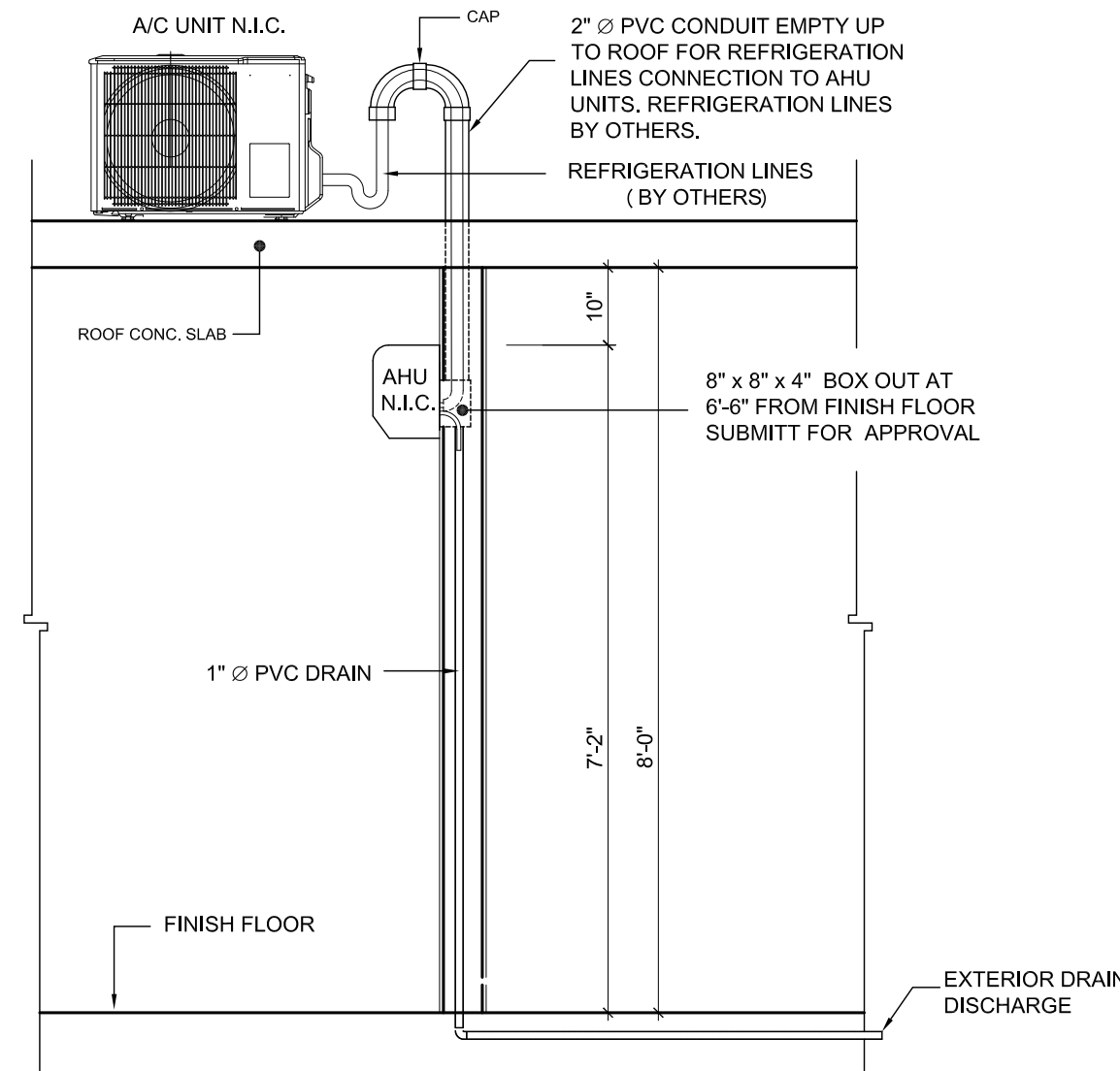
**PROPOSED ROOF PLAN**  
SCALE: 1/4" = 1'-0"



**PROPOSED ROOF PLAN**  
SCALE: 1/4" = 1'-0"



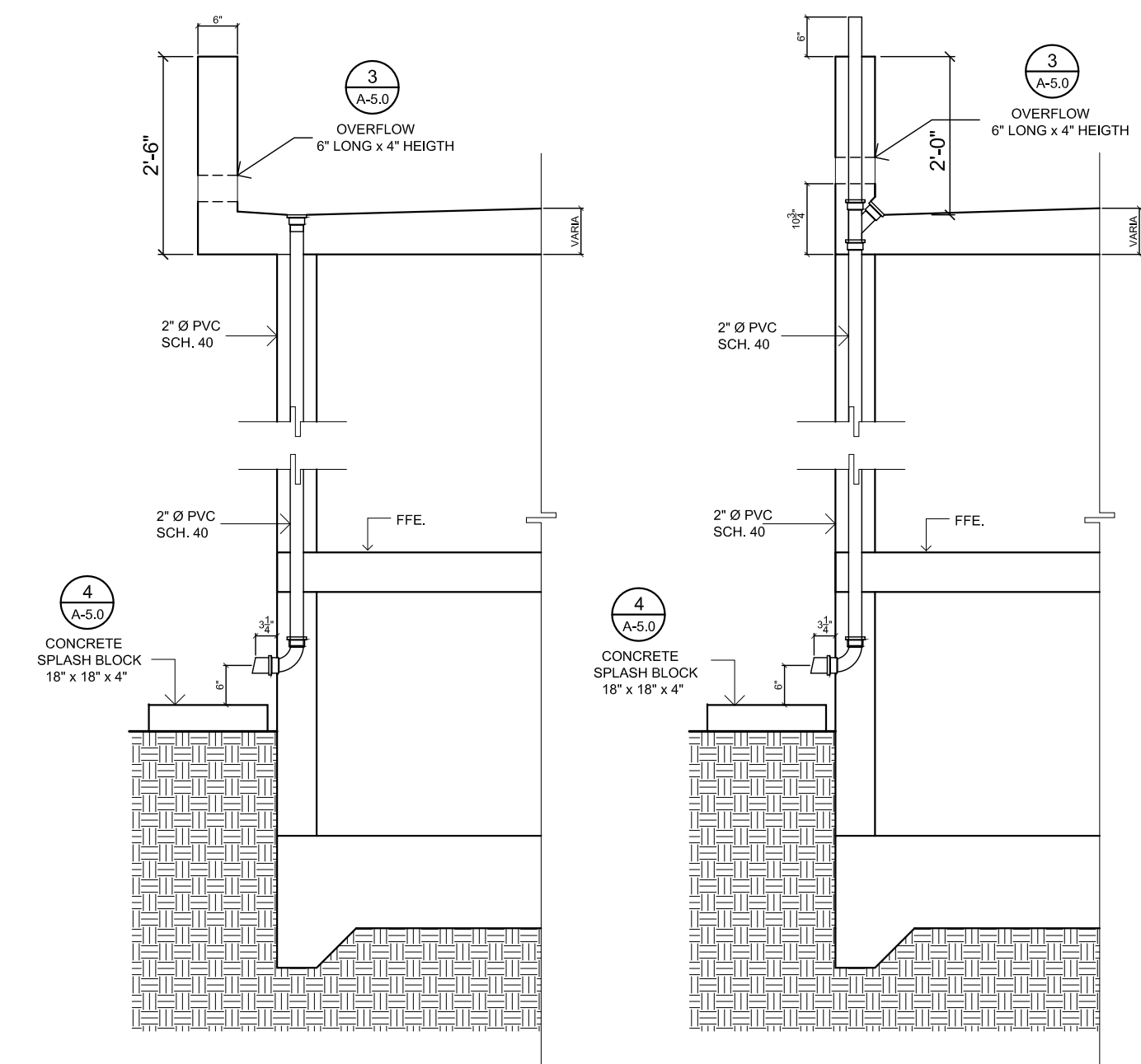
**AC TYPICAL INSTALLATION DIAGRAM ELEVATION**  
NOT TO SCALE



**C SECTION**

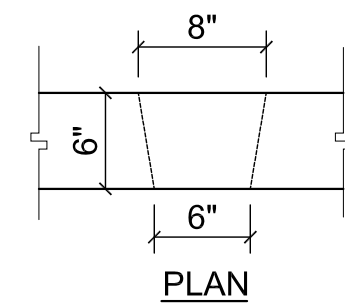
**NOTE:**

1. COORDINATE FINAL LOCATION AND DETAILS WITH OWNER.
2. A/C UNITS INSTALLATION ARE NOT INCLUDED BY CONTRACTOR .
3. SEE ELECTRICAL DRAWINGS FOR A/C FACILITIES FOR FUTURE INSTALLATION.
4. ELECTRICAL EMPTY PIPES FROM BREAKERS PANEL THROUGH THE ROOF SLAB TO JUNCTION BOX.
5. CONTRACTOR SHALL PROVIDE ONLY 8" x 8" BOX, DRAIN AND PVC PIPE TO ROOF AND CIRCUIT PANEL FOR FUTURE A/C INSTALLATION.

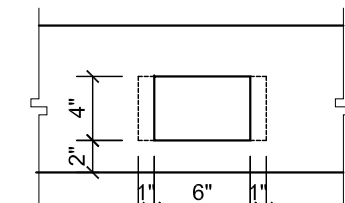


**1 DETAIL**

**2 DETAIL**

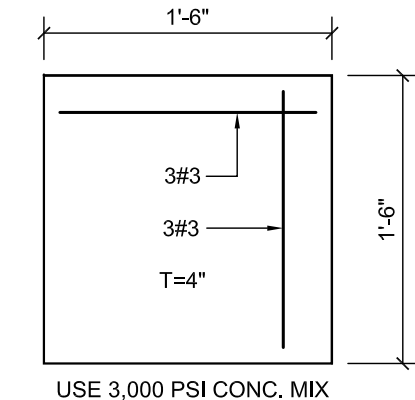


**PLAN**



**FRONT VIEW**

**3 OVER FLOW DETAIL**



**4 OVER FLOW DETAIL**



**ENVIRONMENTAL PARTNERS, LLC**

P. O. Box 194102  
San Juan, P.R. 00919-4102

CONSULTANT:

CONSULTANT:

SEAL:

NO.	REVISION / ISSUE	DATE

OWNER:

**HOGAR RUTH PARA MUJERES MALTRATADAS, INC.**  
DIRECTORA: LISDEL FLORES BARGER

PROJECT NAME AND ADDRESS:

**EXTENSION AND IMPROVEMENTS TO THE HOGAR RUTH PARA MUJERES MALTRATADAS**  
CALLE 15, SOLAR A, URB. SANTA RITA  
BO. ESPINOSA, VEGA BAJA, P.R.

DRAWING NAME:

**ROOF PLAN AND DETAILS**

PROJECT NO.:

DATE:  
FEBRUARY 20, 2023

SCALE:  
1/4" = 1'-0"

SHEET

**A-5.0**







**ENVIRONMENTAL  
PARTNERS, LLC**

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CALLE 15, SOLAR A, URB. SANTA RITA  
BO. ESPINOSA, VEGA BAJA, P.R.

DRAWING NAME:

**ELEVATIONS**

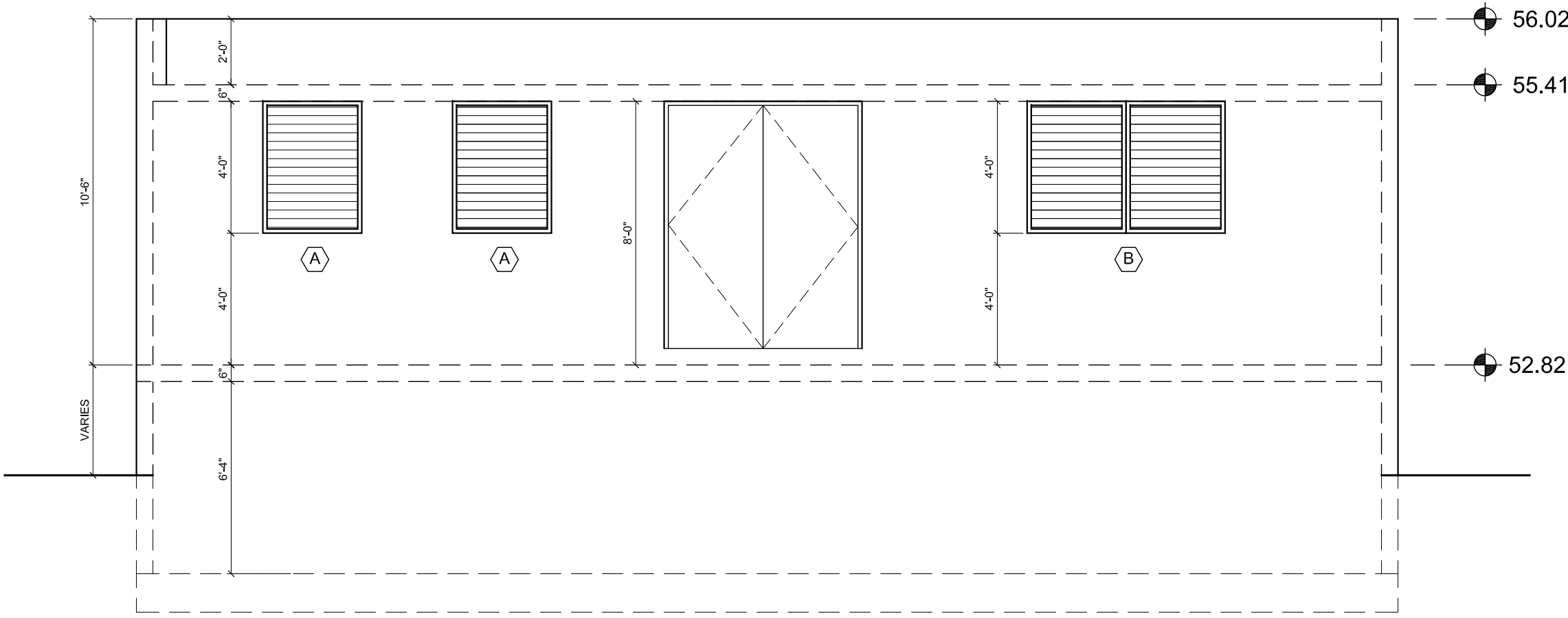
PROJECT NO.:

DATE:  
FEBRUARY 20, 2023

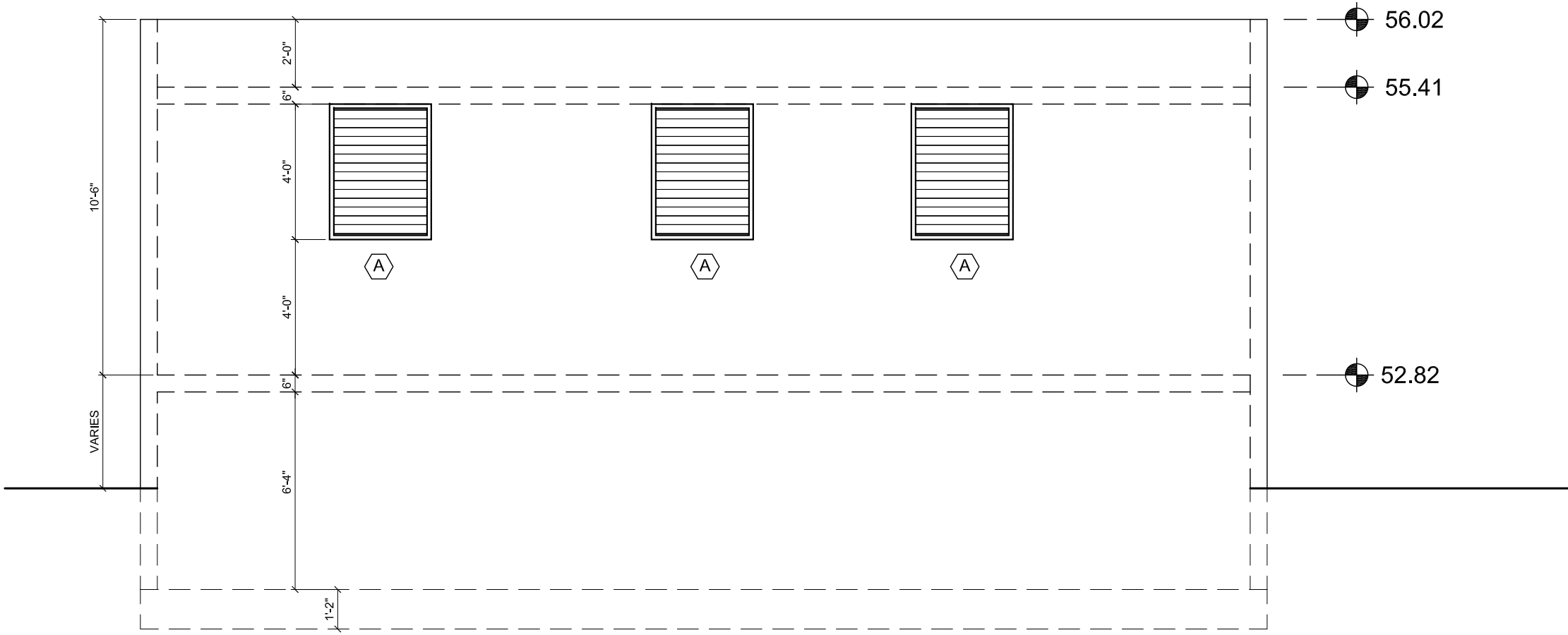
SCALE:  
1/4" = 1'-0"

SHEET

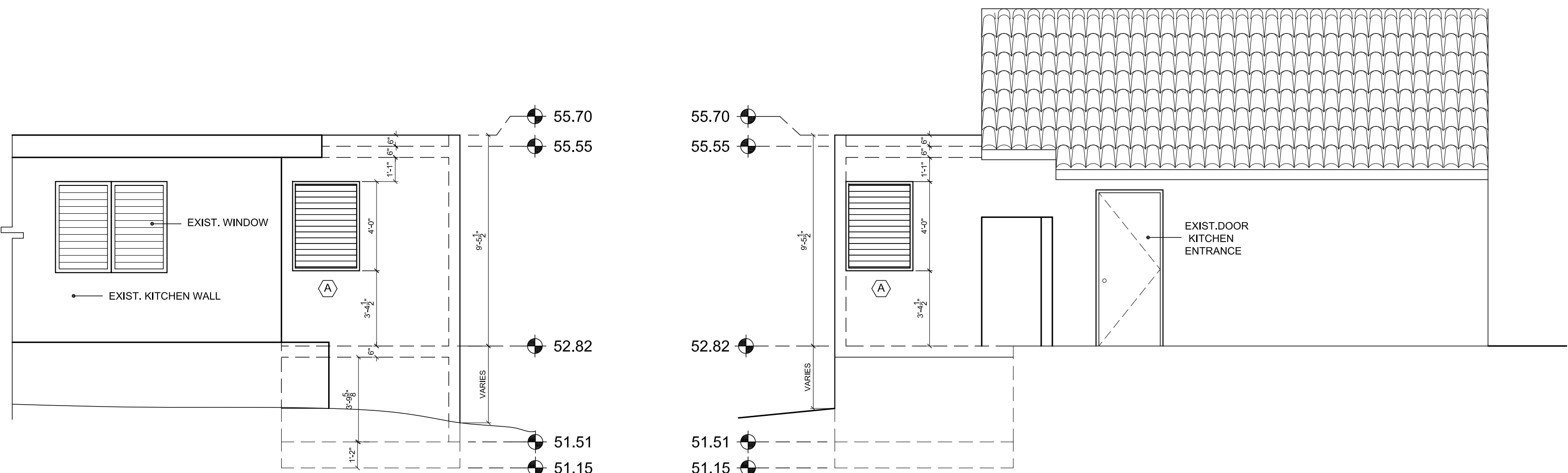
**A-7.0**



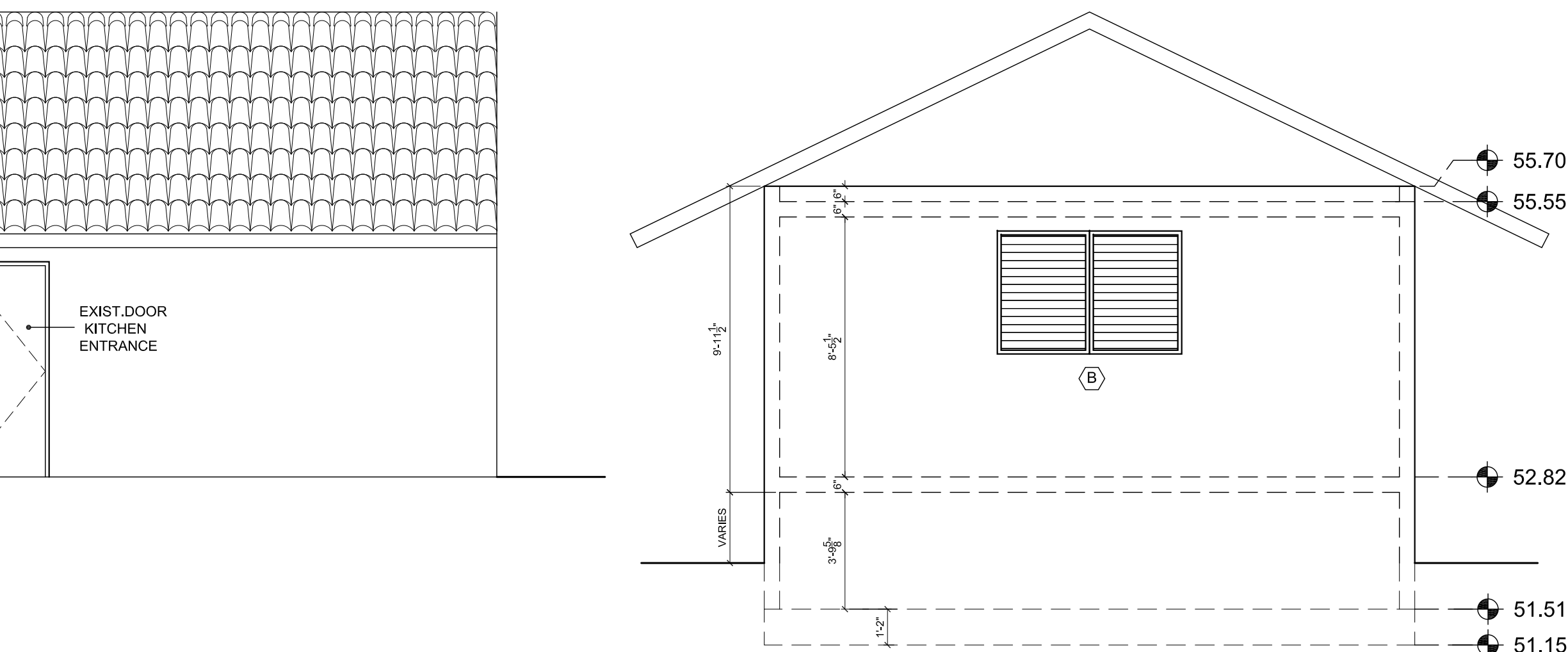
**C ELEVATION**  
A-7.0 SCALE: 1/4" = 1'-0"



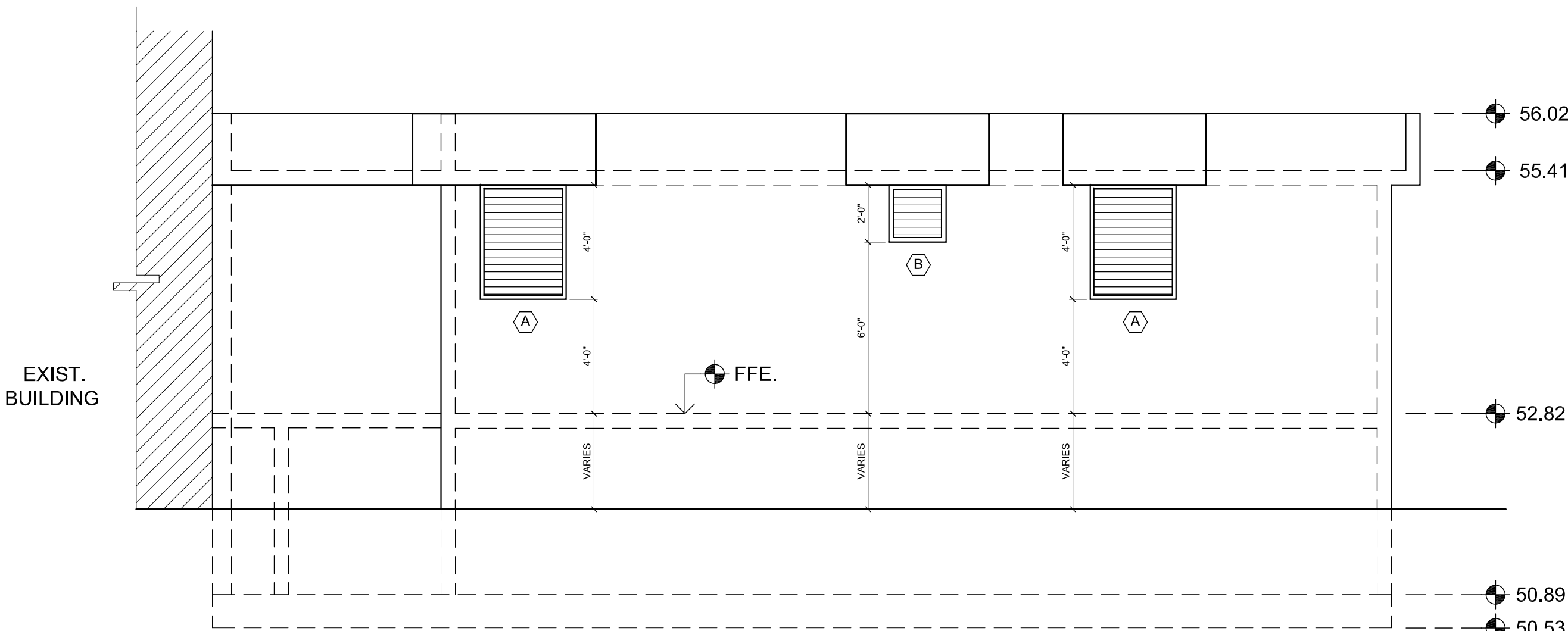
**D ELEVATION**  
A-7.0 SCALE: 1/4" = 1'-0"



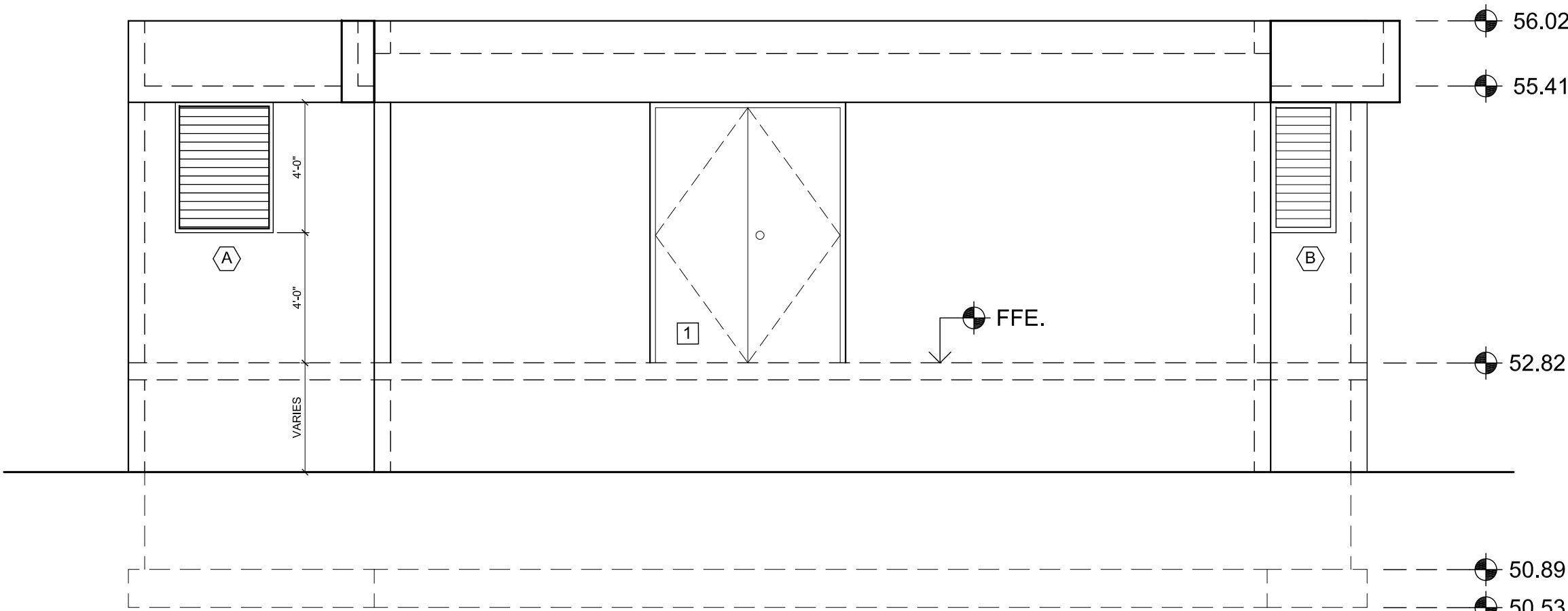
**E ELEVATION**  
A-7.0 SCALE: 1/4" = 1'-0"



**F ELEVATION**  
A-7.0 SCALE: 1/4" = 1'-0"



**I ELEVATION**  
A-7.0 SCALE: 1/4" = 1'-0"



**H ELEVATION**  
A-7.0 SCALE: 1/4" = 1'-0"

**ELEVATIONS**  
SCALE: 1/4" = 1'-0"





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San Juan, P.R. 00919-4102

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MUJERES MALTRATADAS  
CALLE 15, SOLAR A, URB. SANTA RITA  
BO. ESPINOSA, VEGA BAJA, P.R.

DRAWING NAME:

SECTIONS

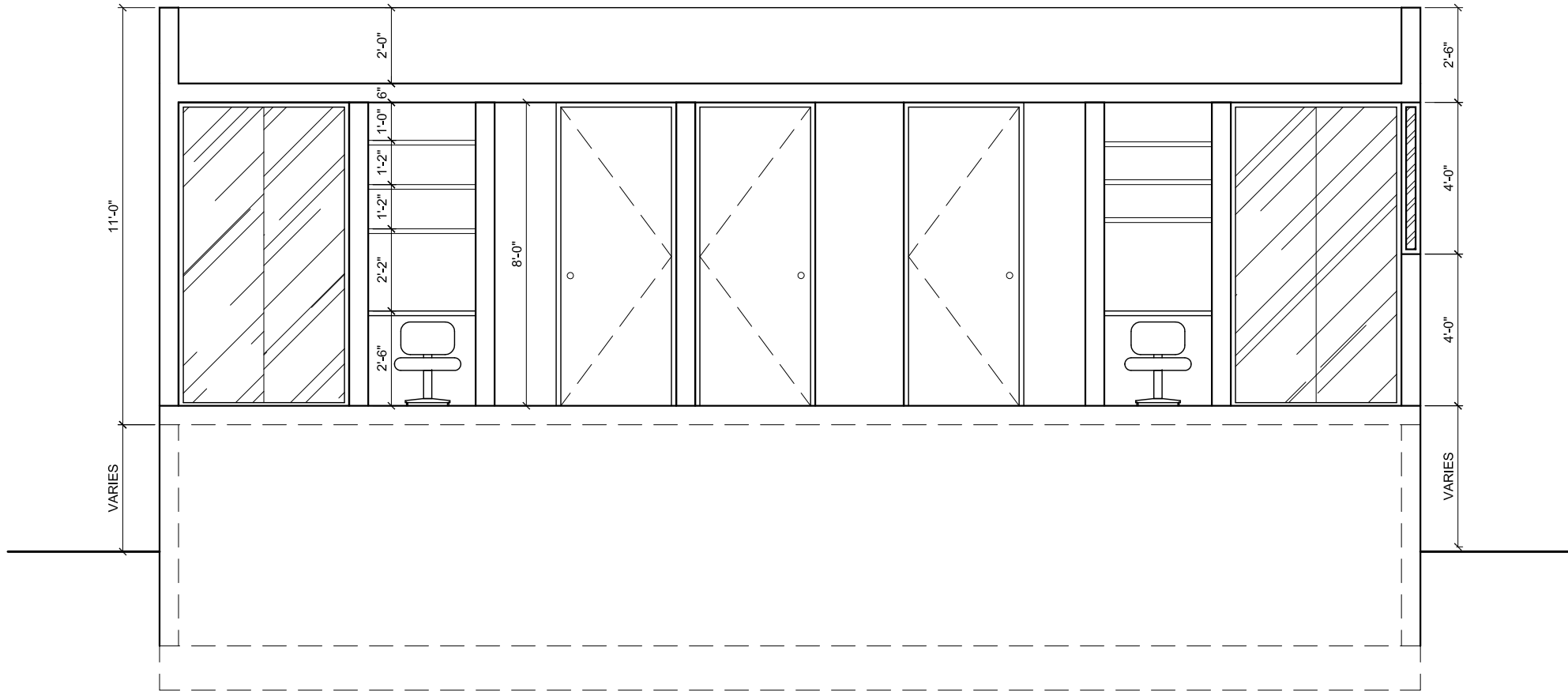
PROJECT NO.:

DATE:  
FEBRUARY 20, 2023

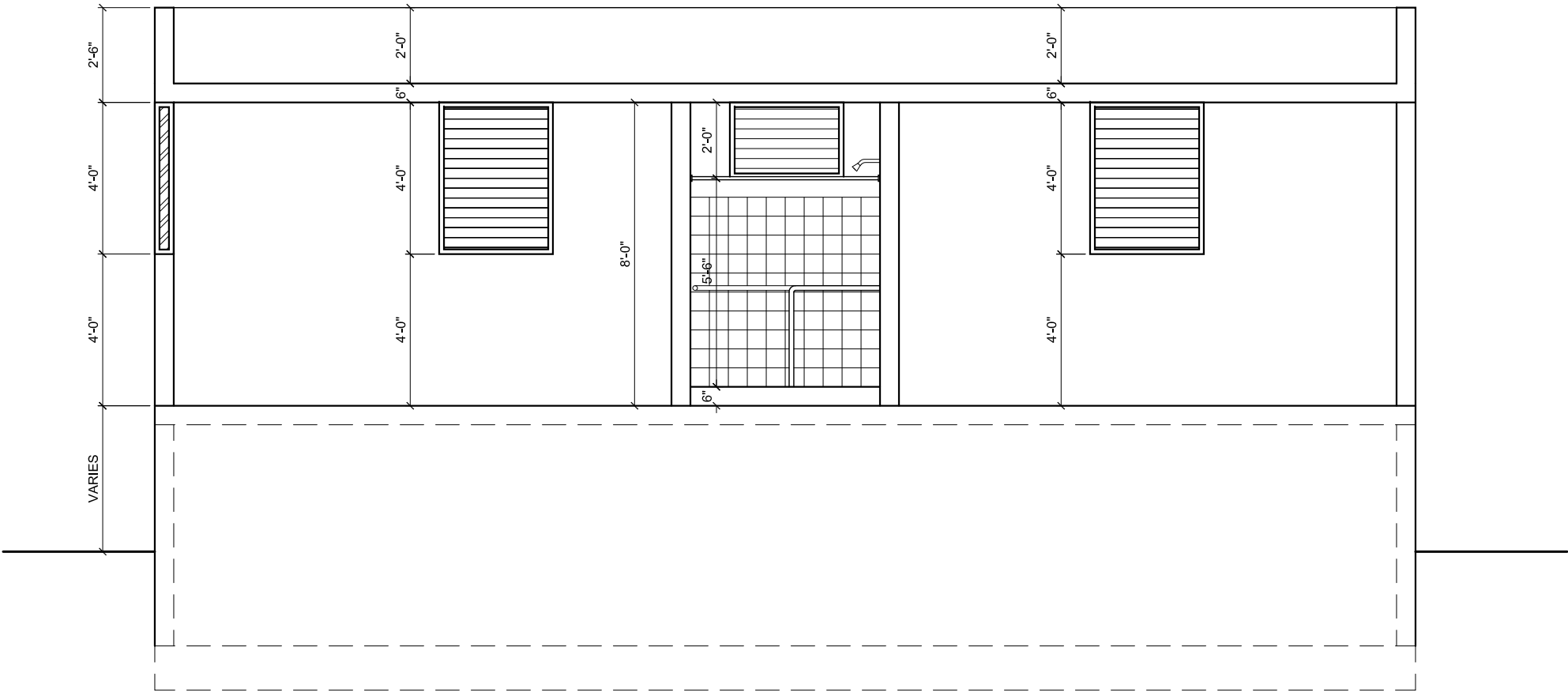
SCALE:  
1/4" = 1'-0"

SHEET

A-8.0



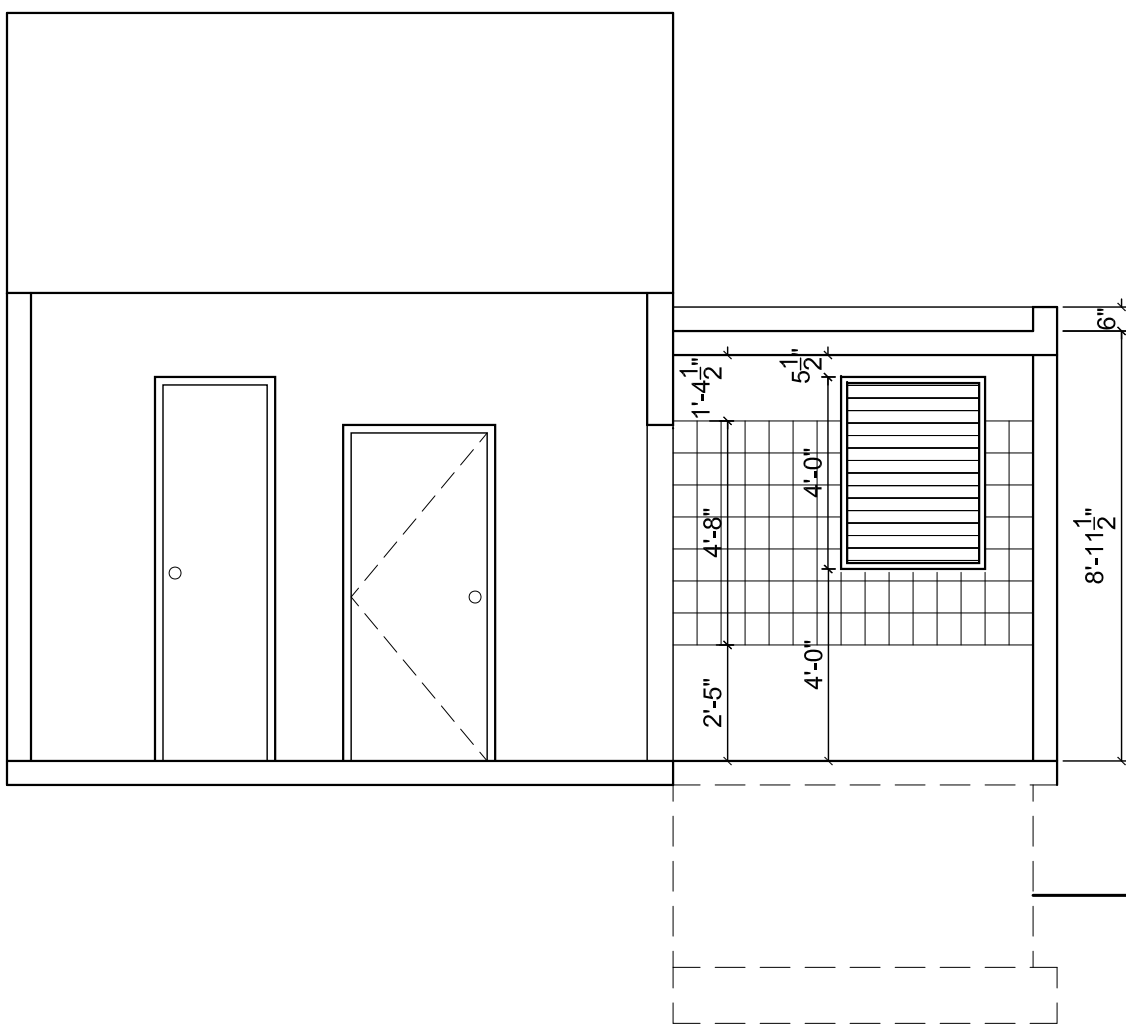
1 SECTION  
A-8.0 SCALE: 1/4" = 1'-0"



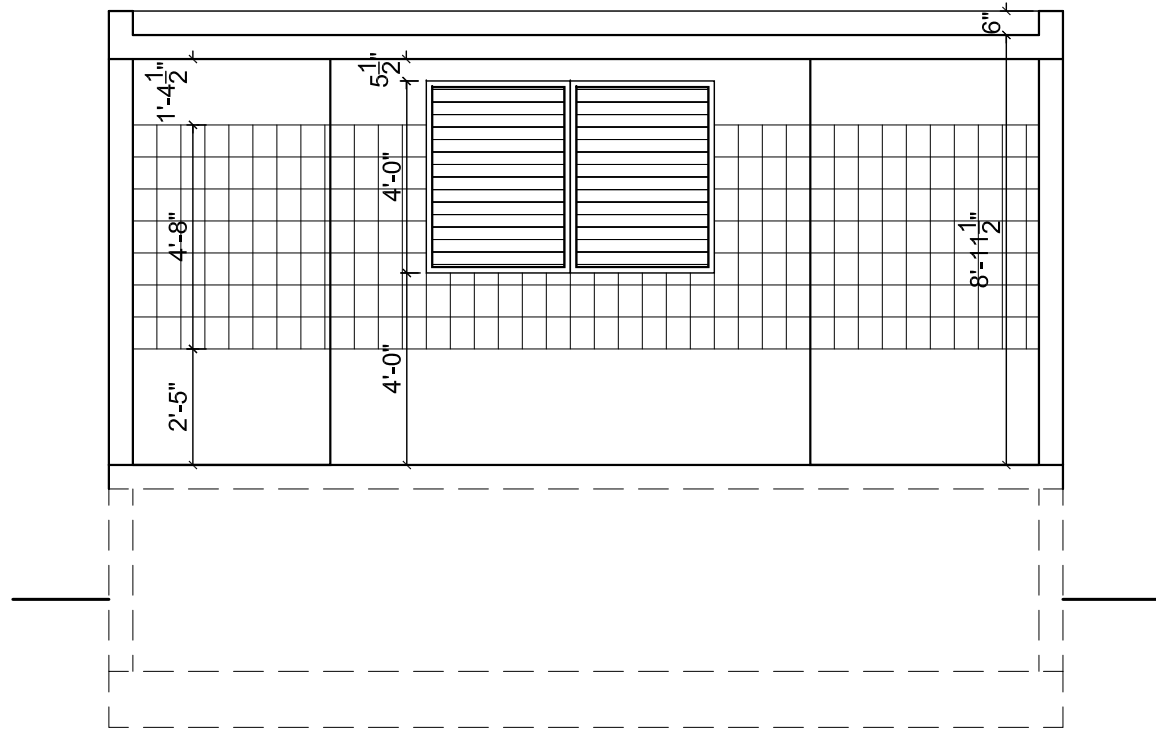
2 SECTION  
A-8.0 SCALE: 1/4" = 1'-0"

DORMITORIES SECTIONS

SCALE: 3/8" = 1'-0"



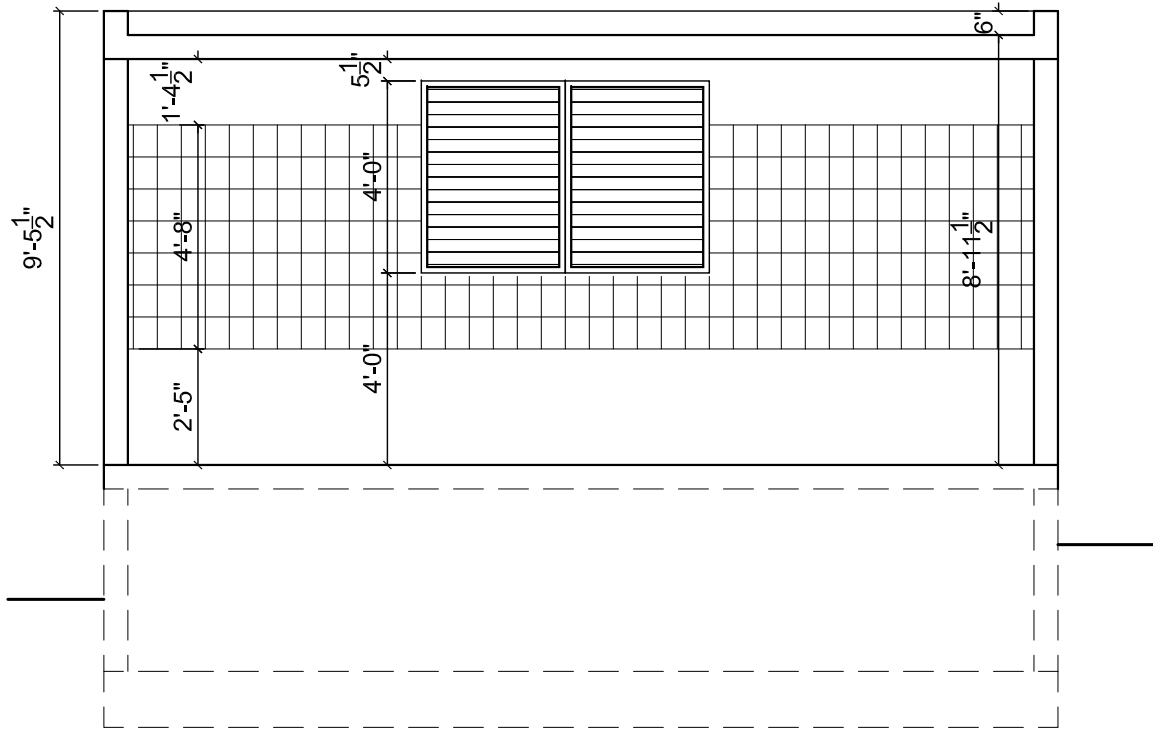
3 SECTION  
A-8.0 SCALE: 1/4" = 1'-0"



5 SECTION  
A-8.0 SCALE: 1/4" = 1'-0"

KITCHEN SECTIONS

SCALE: 3/8" = 1'-0"



4 SECTION  
A-8.0 SCALE: 1/4" = 1'-0"



**ENVIRONMENTAL  
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TO THE HOGAR RUTH PARA  
MUJERES MALTRATADAS**  
CALLE 15, SOLAR A, URB. SANTA RITA  
BO. ESPINOSA, VEGA BAJA, P.R.

DRAWING NAME:

**FOOTINGS AND  
EXCAVATION**

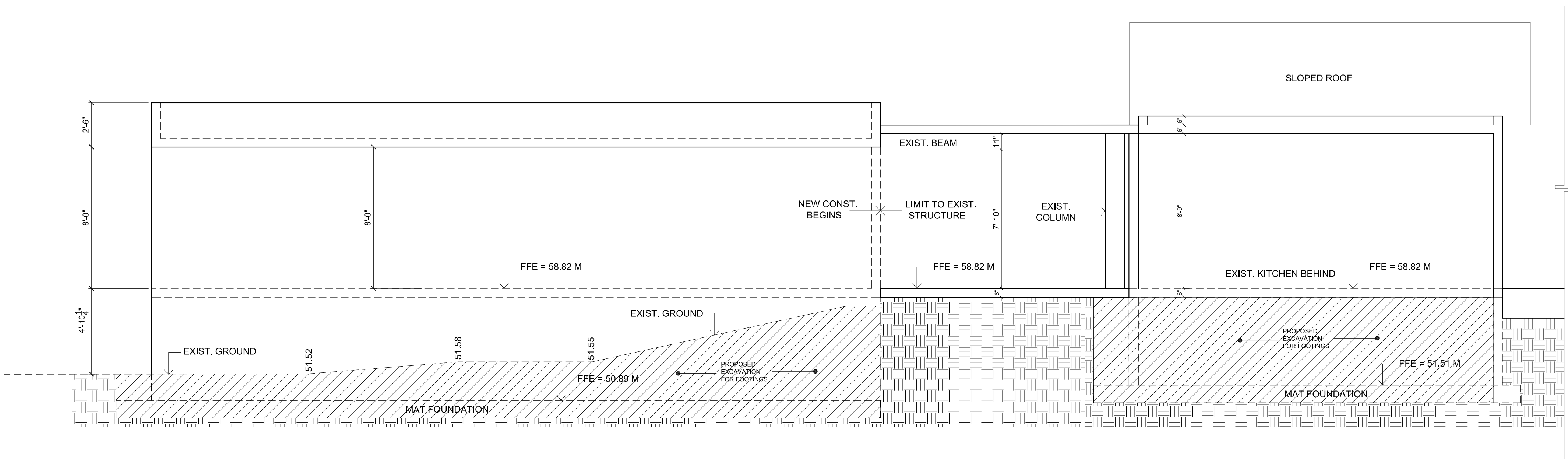
PROJECT NO.:

DATE:  
FEBRUARY 20, 2023

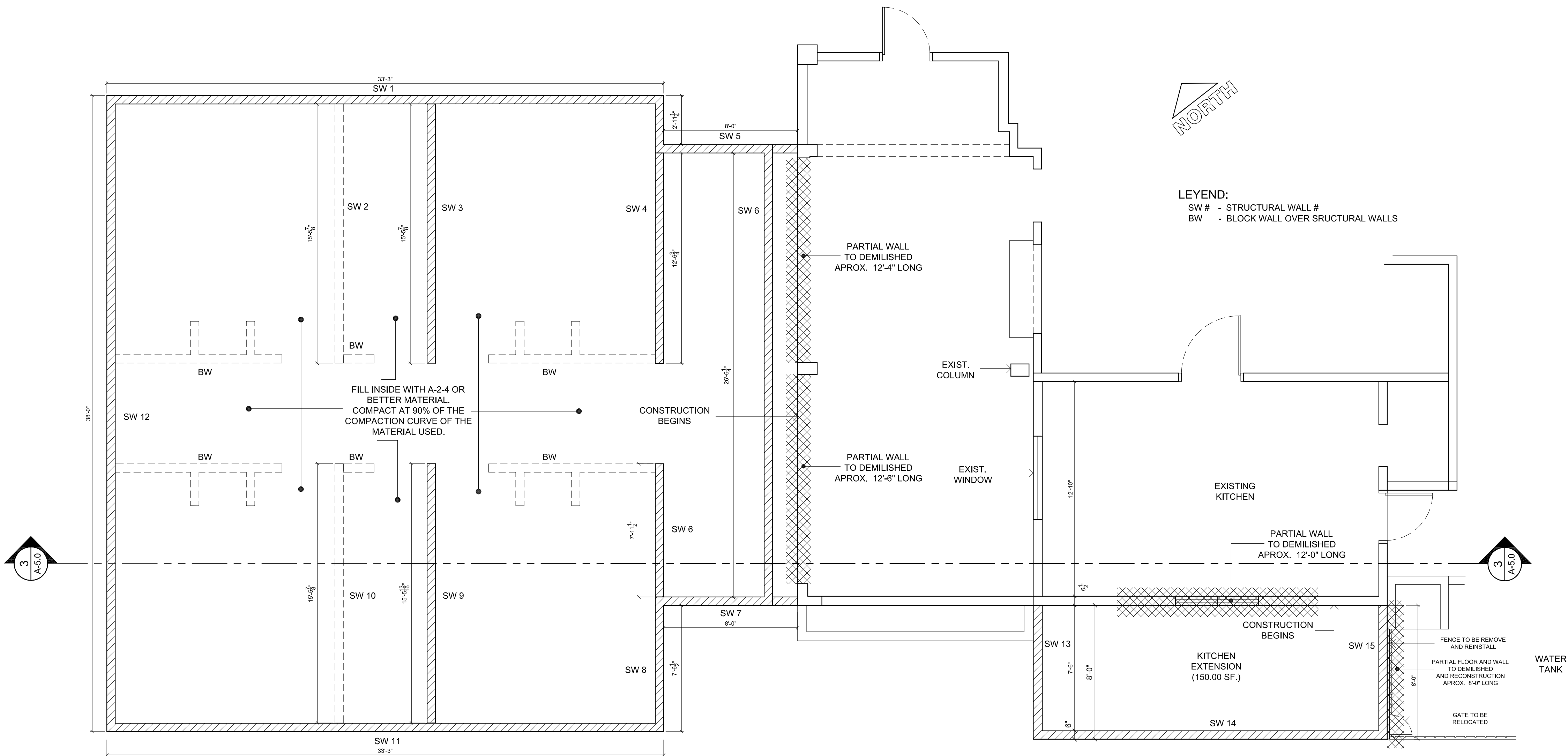
SCALE:  
1/4" = 1'-0"

SHEET

**S-1.0**



**E ELEVATION**  
A-1.0 SCALA: 1/4" = 1'-0"



**PROPOSED FLOOR PLAN**

SCALA: 1/4" = 1'-0"



ENVIRONMENTAL  
PARTNERS, LLC

P. O. Box 194102  
San Juan, P.R. 00919-4102

CONSULTANT:

CONSULTANT:

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OWNER:

HOGAR RUTH PARA  
MUJERES MALTRATADAS, INC.  
DIRECTORA: LISDEL FLORES BARGER

PROJECT NAME AND ADDRESS:

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TO THE HOGAR RUTH PARA  
MUJERES MALTRATADAS  
CALLE 15, SOLAR A, URB. SANTA RITA  
BO. ESPINOSA, VEGA BAJA, P.R.

DRAWING NAME:

STRUCTURAL FLOOR  
AND WALLS SECTIONS

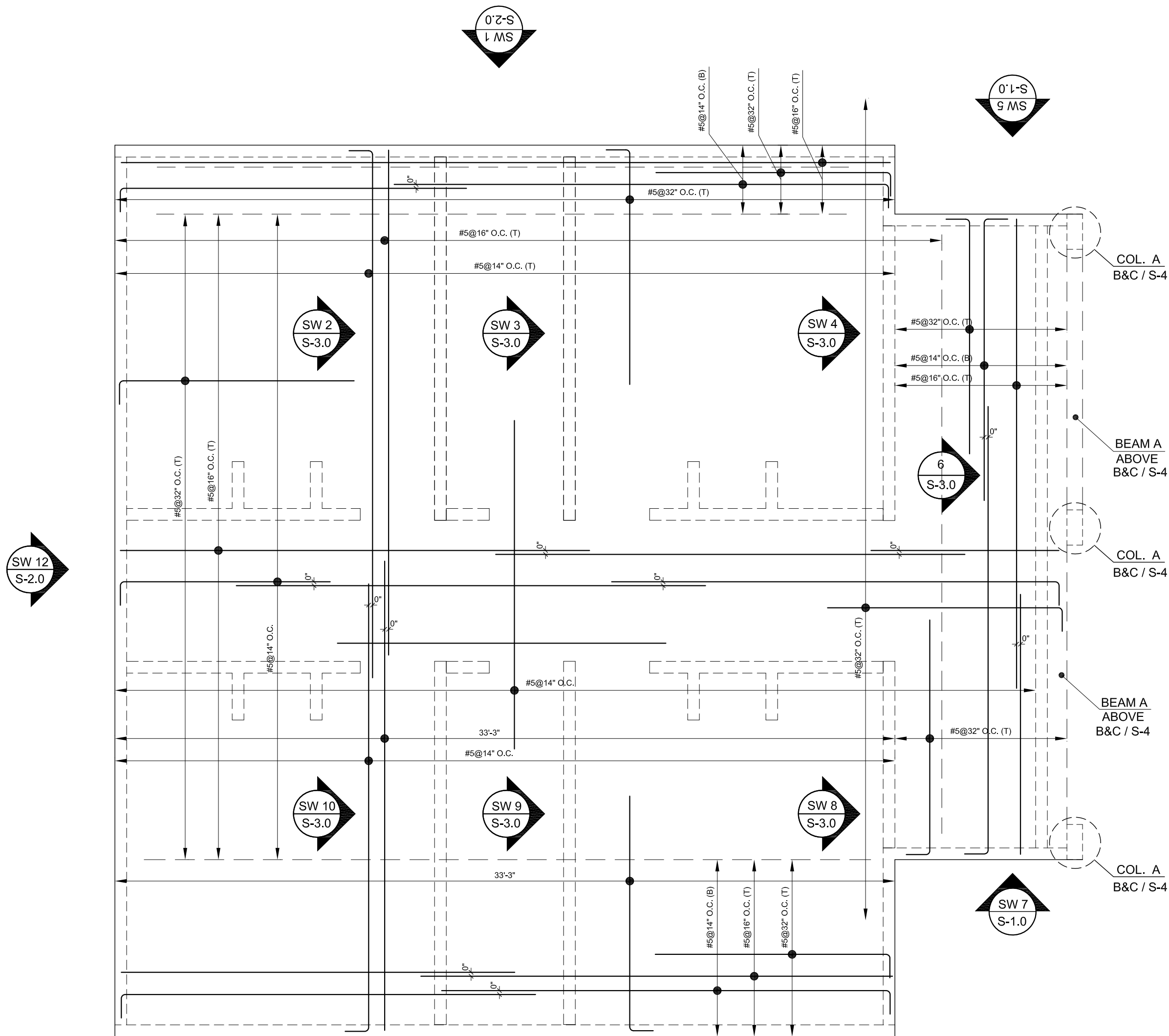
PROJECT NO.:

DATE:  
FEBRUARY 20, 2023

SCALE:  
1/4" = 1'-0"

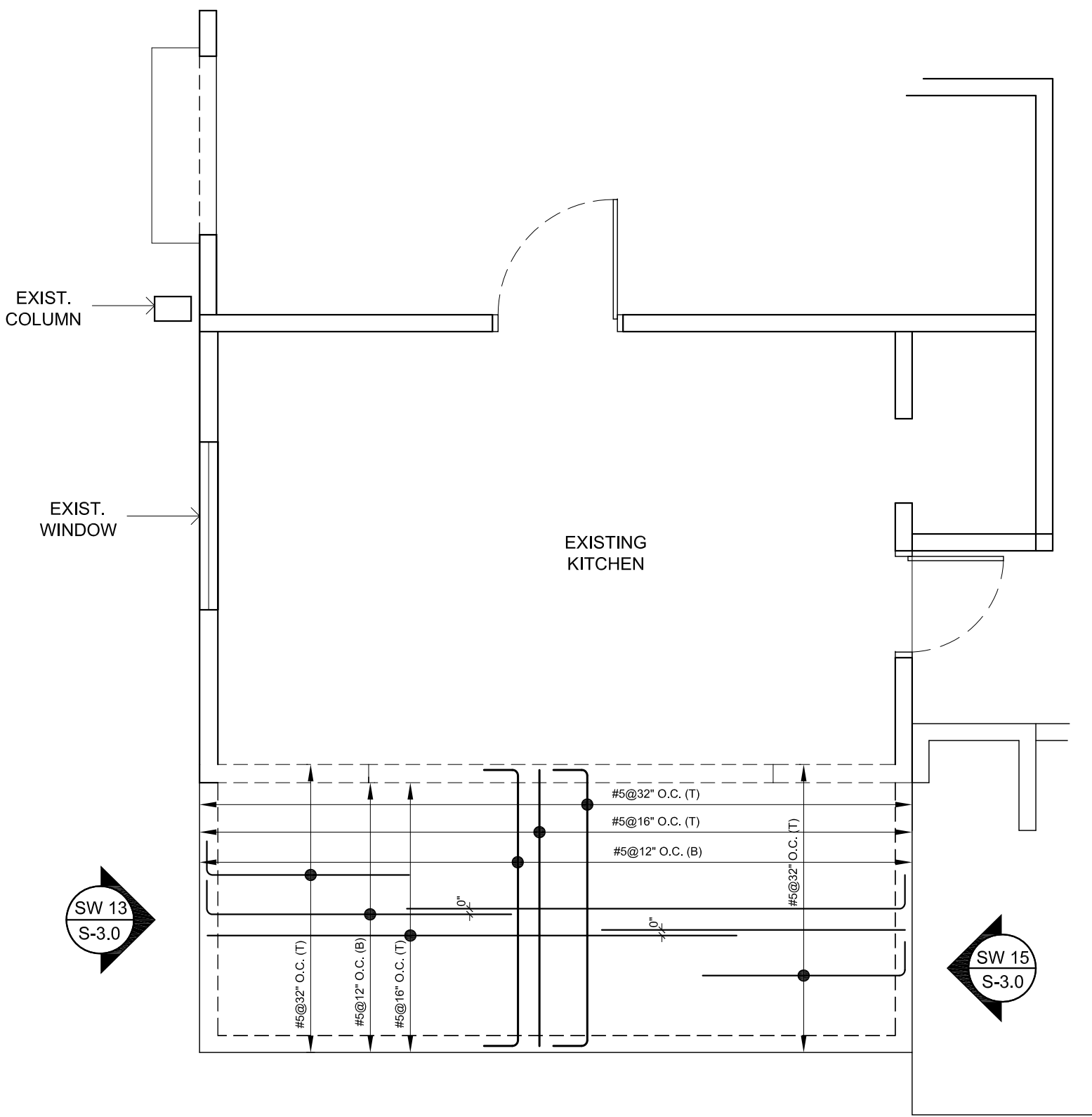
SHEET

S-2.0



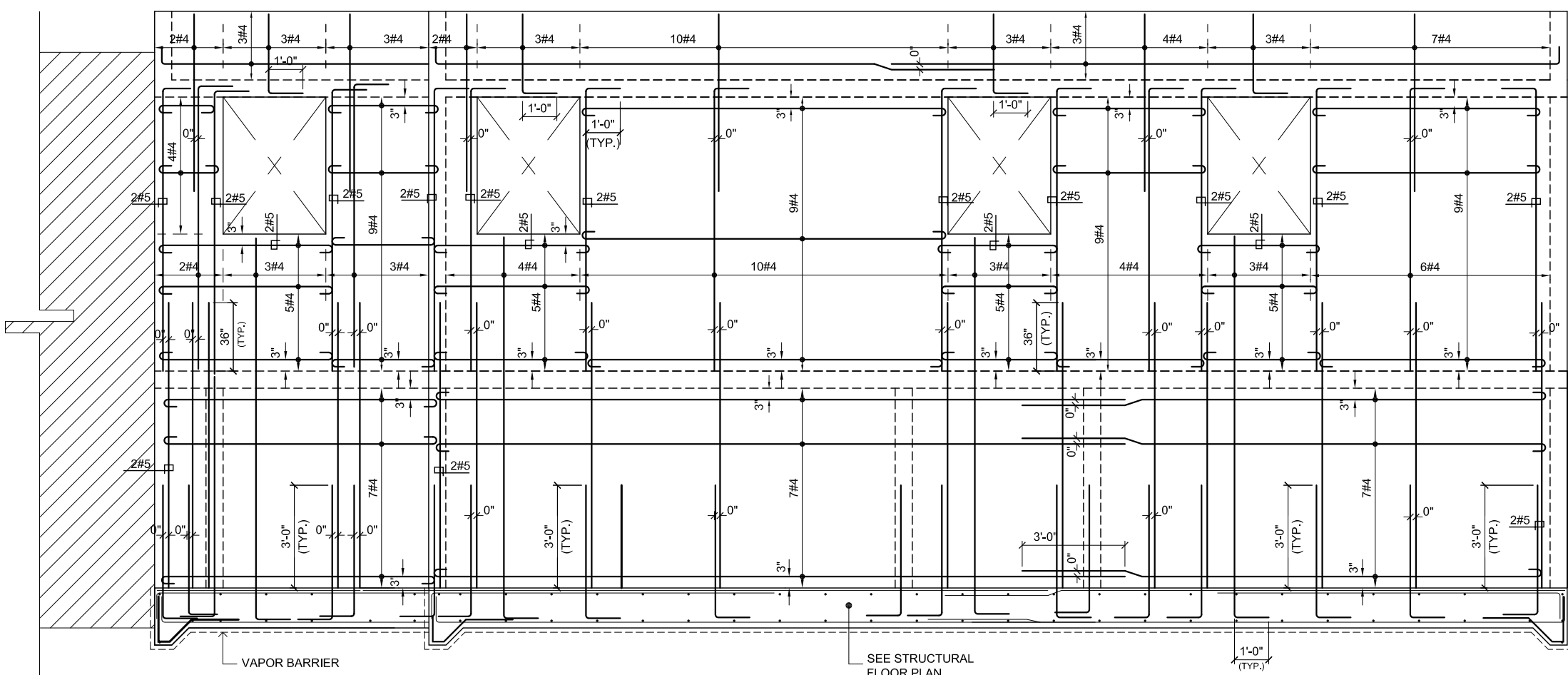
DORMITORIES FOOTING PLAN

SCALE: 1/4" = 1'-0"



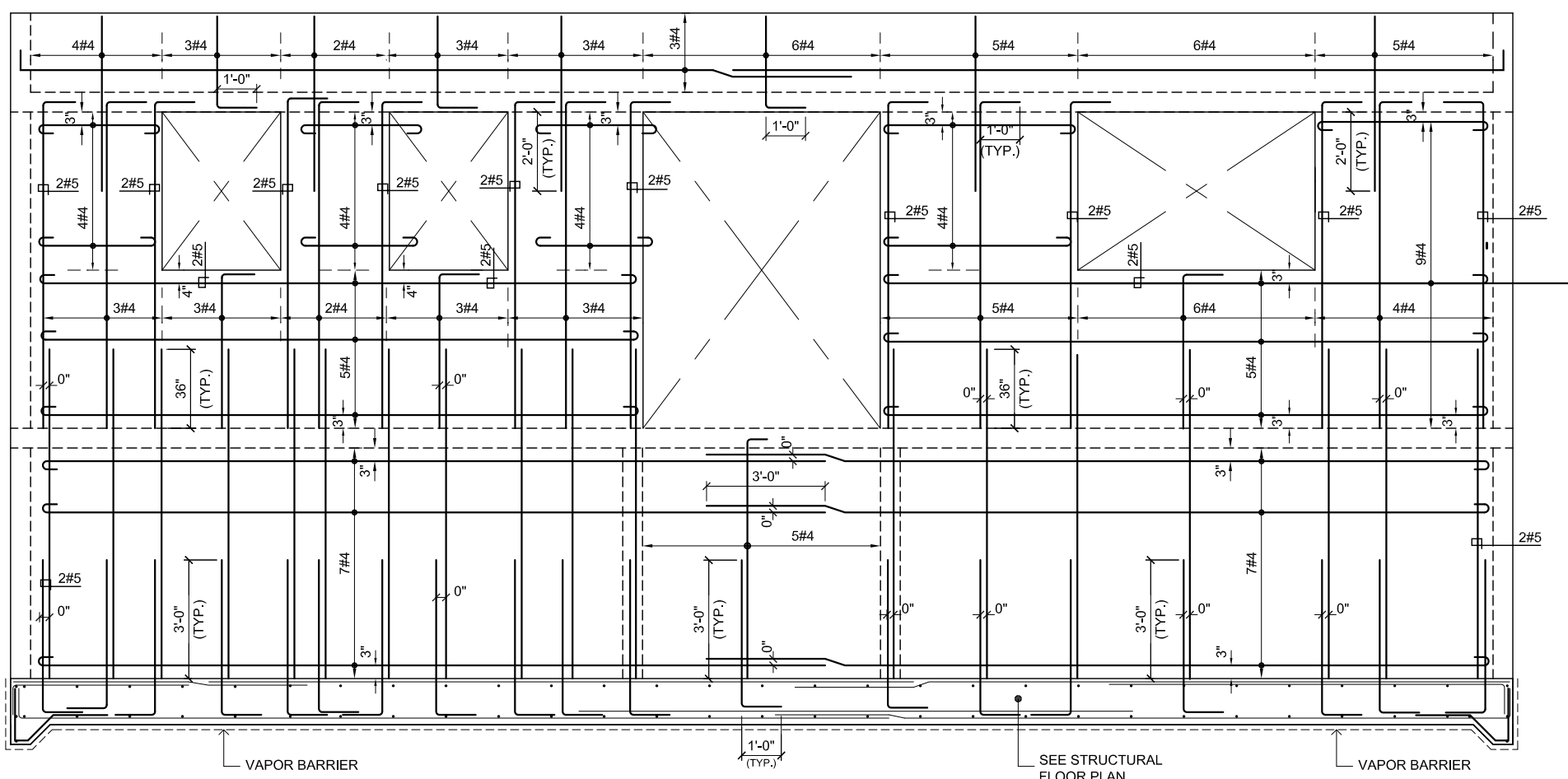
KITCHEN FOOTING PLAN

SCALE: 1/4" = 1'-0"



SW-5

SW-1



SW-12





ENVIRONMENTAL  
PARTNERS, LLC

P. O. Box 194102  
San Juan, P.R. 00919-4102

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CONSULTANT:

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DIRECTORA: LISDEL FLORES BARGER

PROJECT NAME AND ADDRESS:

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MUJERES MALTRATADAS  
CALLE 15, SOLAR A, URB. SANTA RITA  
BO. ESPINOSA, VEGA BAJA, P.R.

DRAWING NAME:

STRUCTURAL WALLS

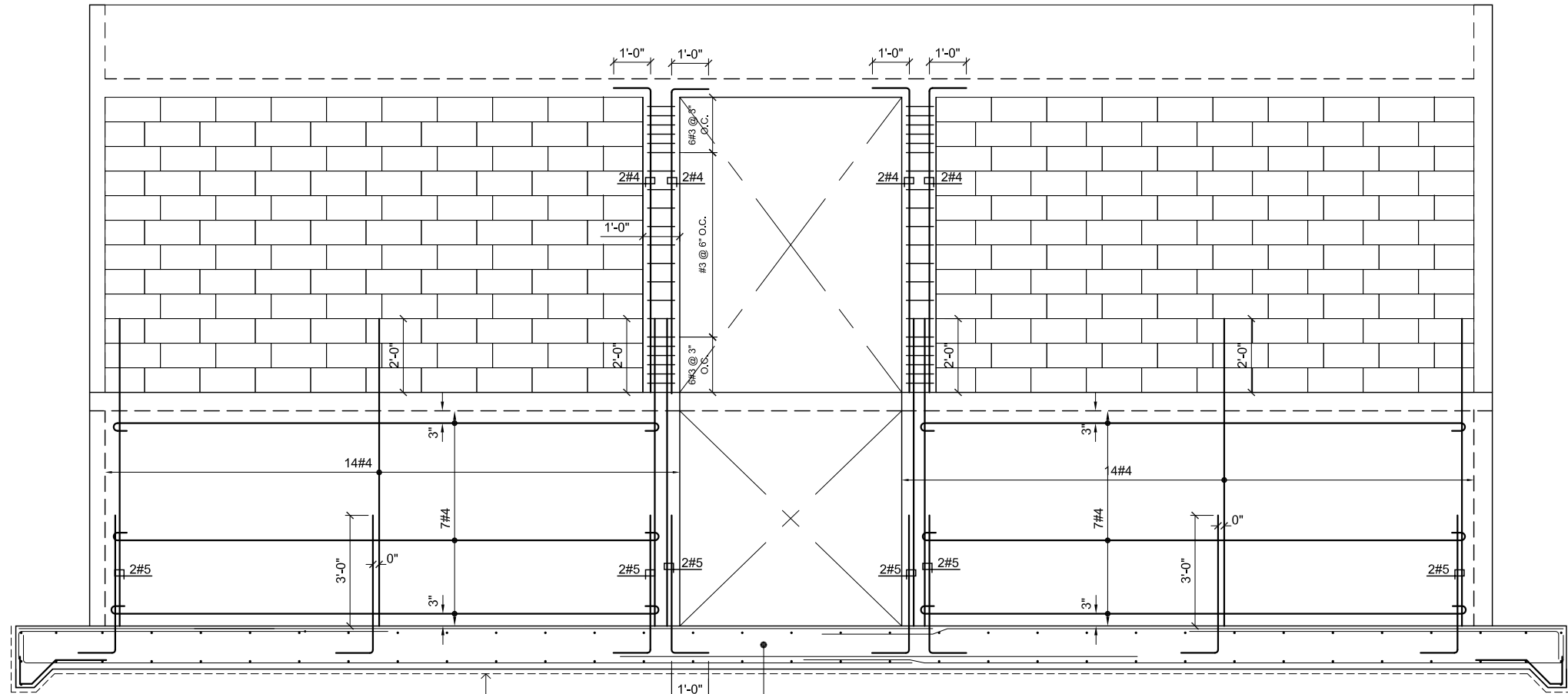
PROJECT NO.:

DATE:  
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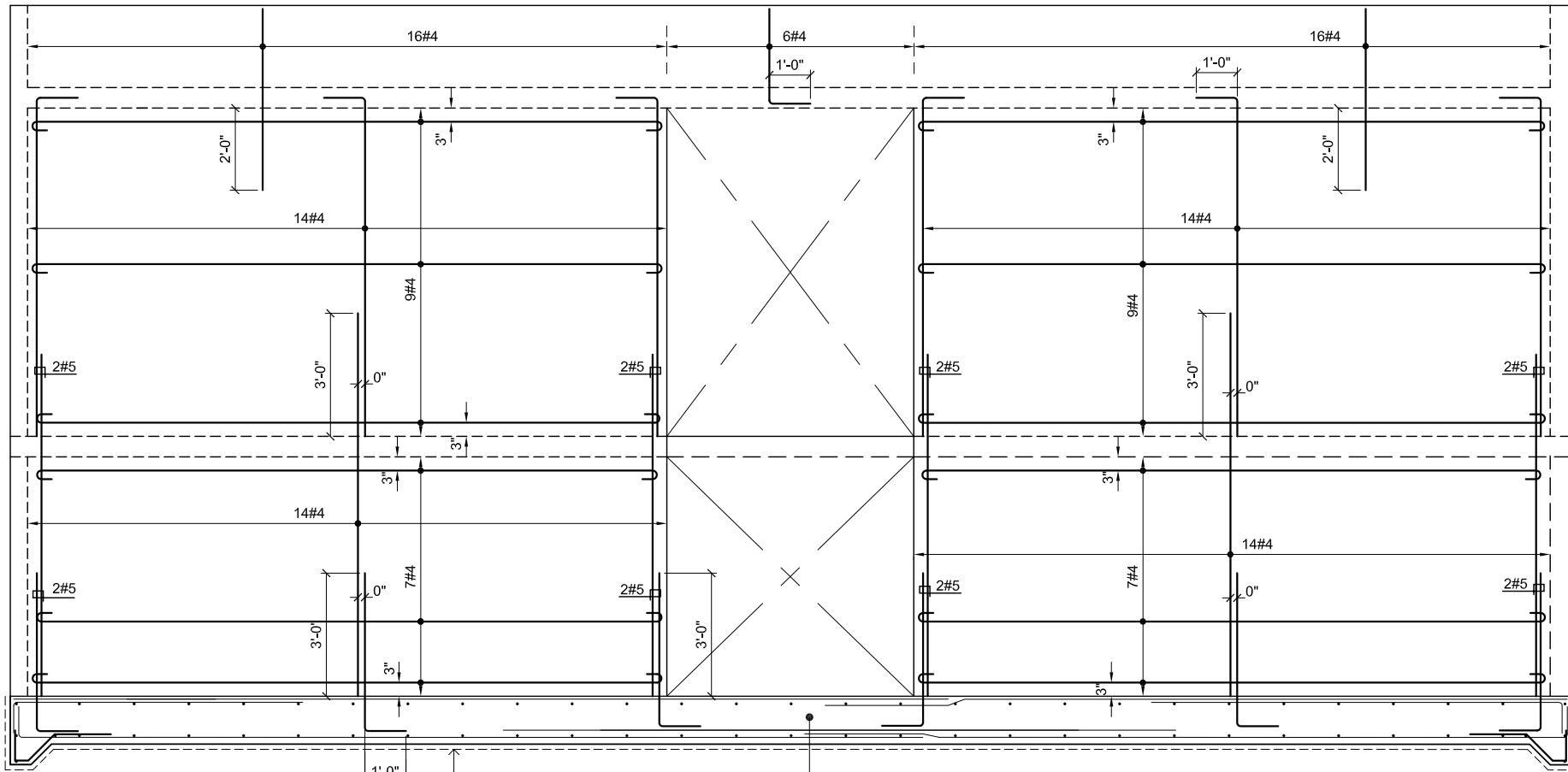
SCALE:  
1/4" = 1'-0"

SHEET

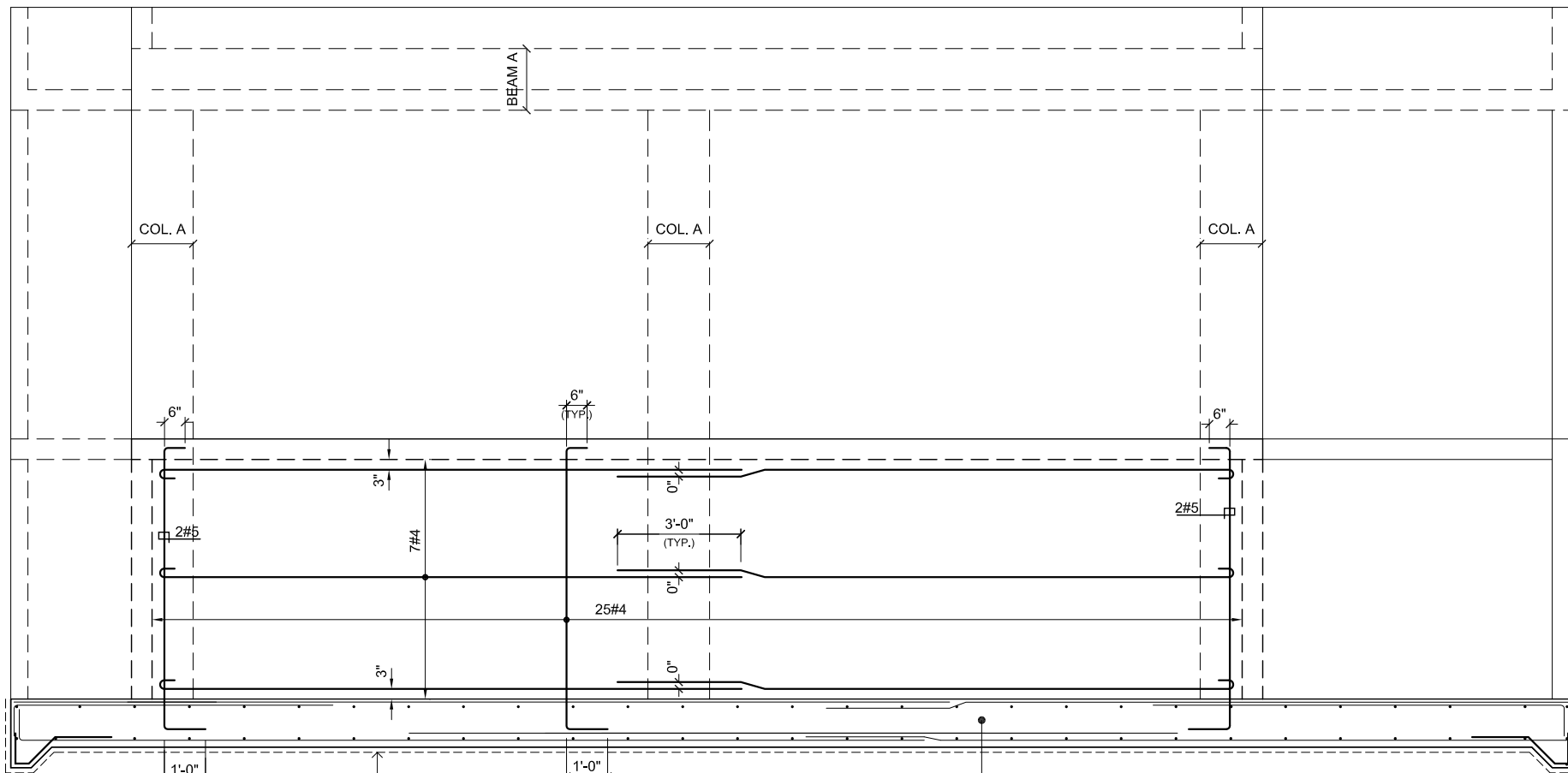
S-3.0



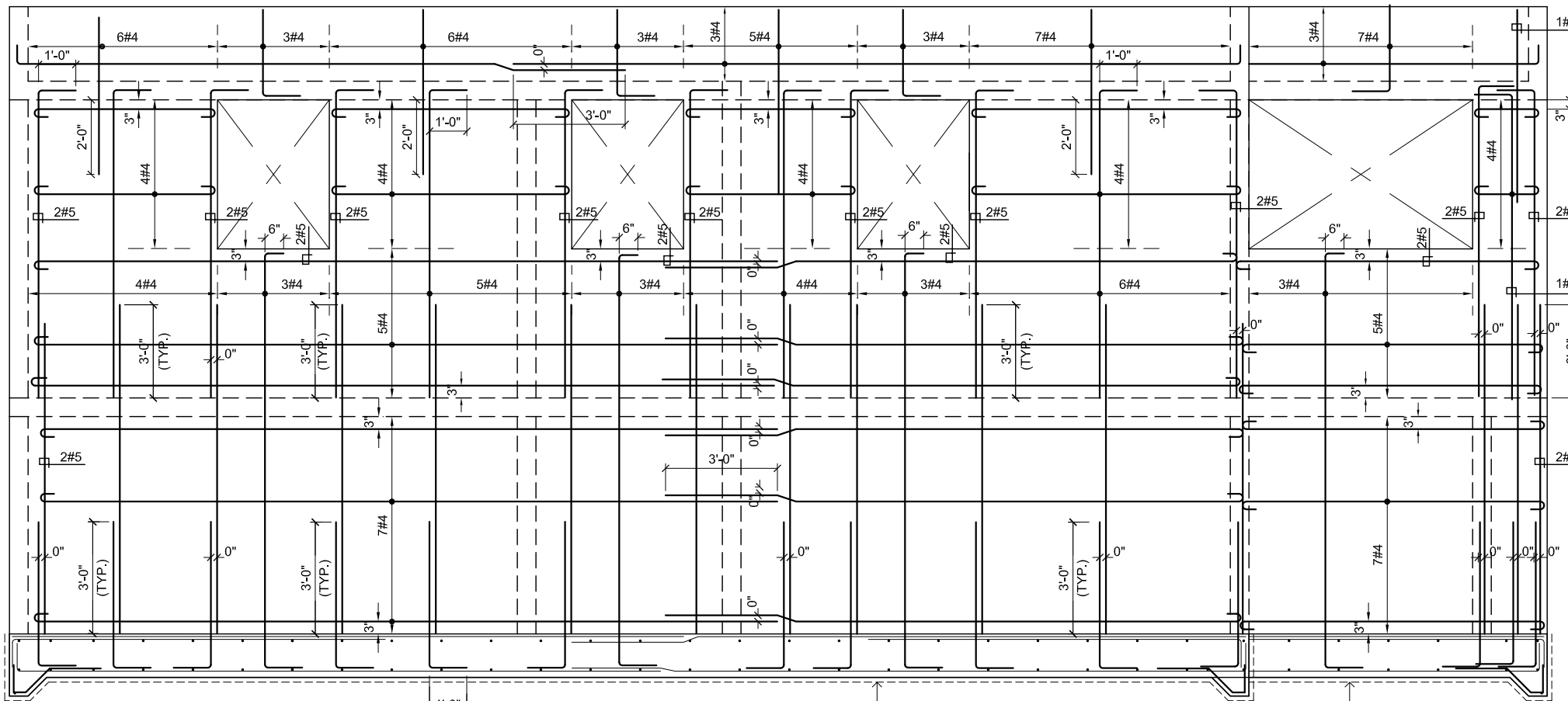
SW-2



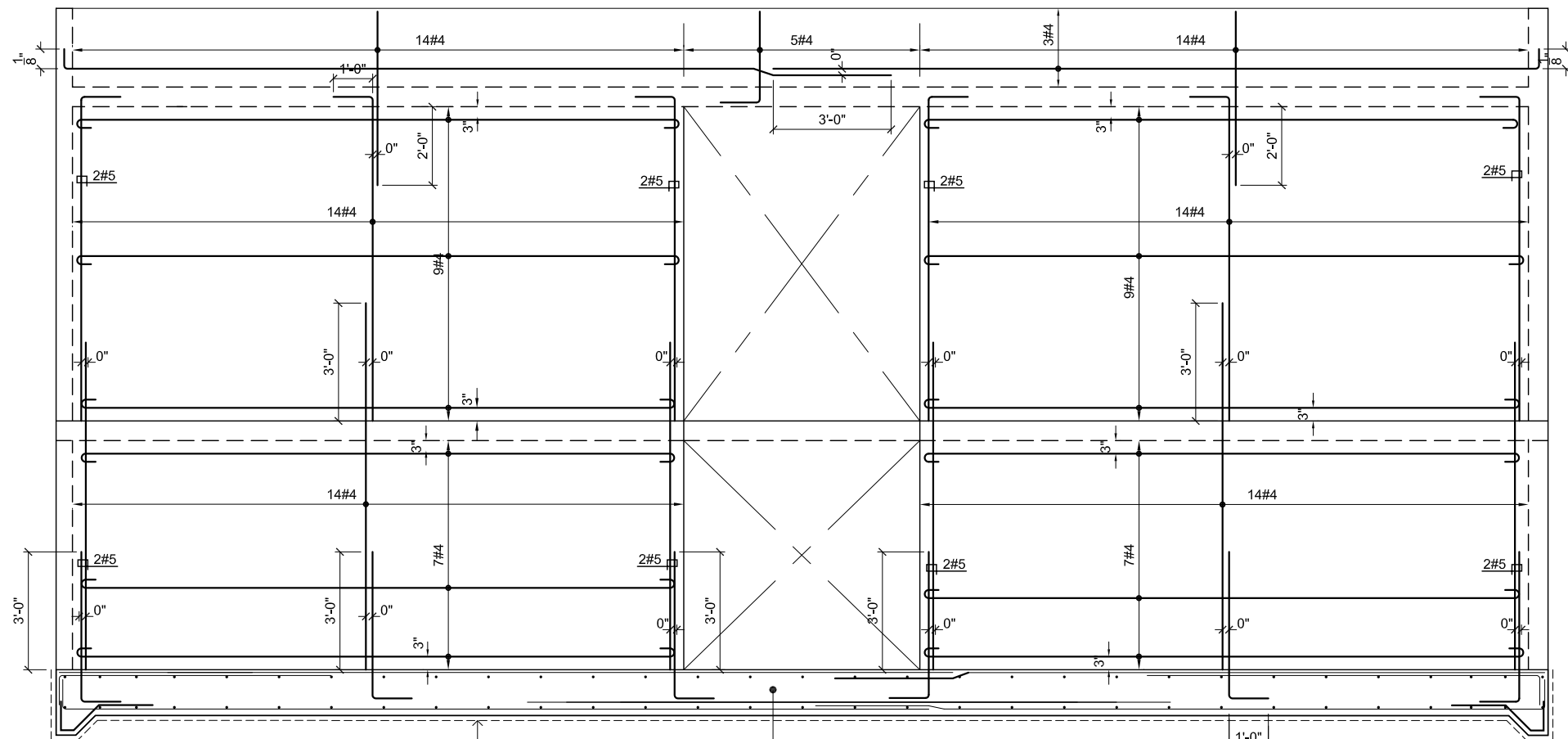
SW-4



SW-6

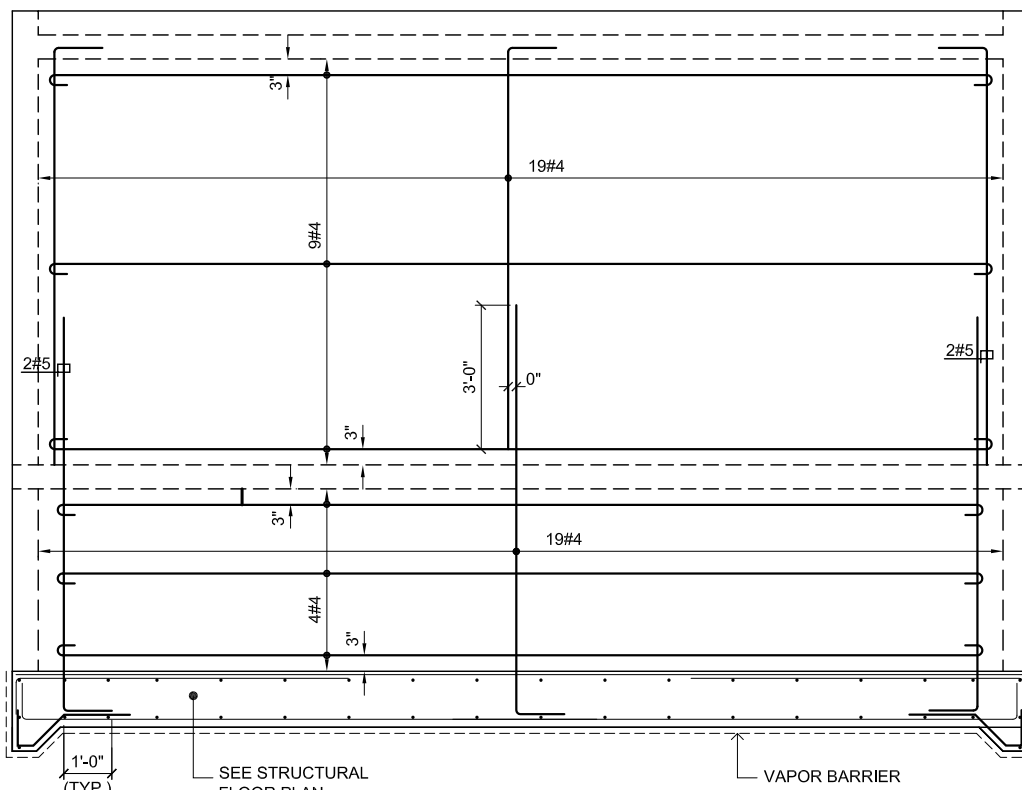


SW-11

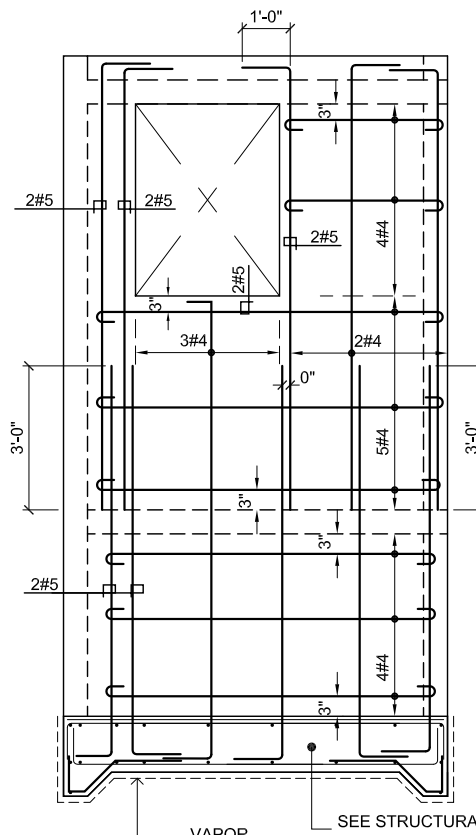


SW-3

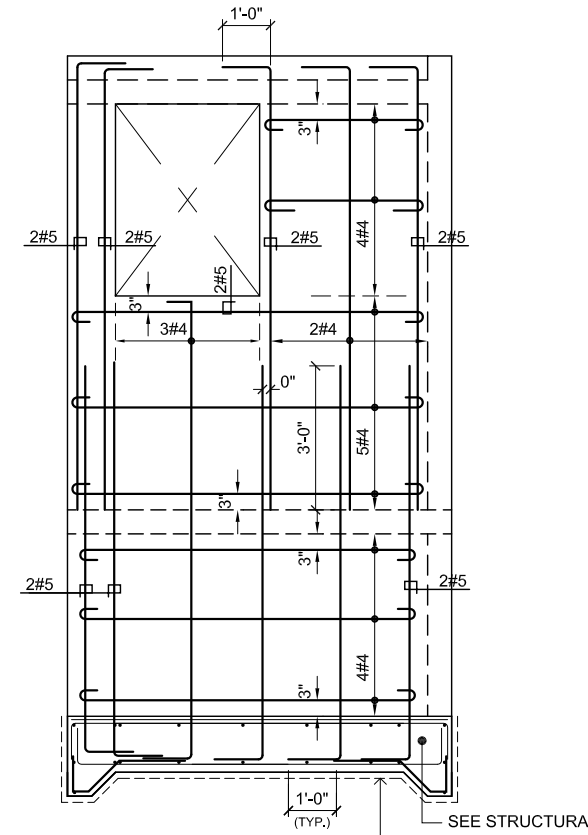
SW-9



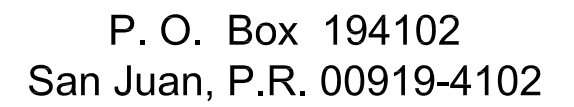
SW-14



SW-15



SW-13



EAL:

DRAWING NAME:

STRUCTURAL  
ROOF, WALLS  
AND SECTIONS

PROJECT NO.:	SHEET  <b>S-4.0</b>
DATE: FEBRUARY 20, 2023	
SCALE: 1/4" = 1'-0"	





ADL	Additional Dead Load	LAM	Laminated
AB	Anchor Bolt	LBS	Pounds
A/C	Air Conditioner	LEV	Level
ADD'L	Additional	LLV	Long Leg Vertical
ABF	Abacus Finish Floor	LH	Long Leg Horizontal
AL	Aluminum	LOCT	Location
ALT	Alternate	LWT	Lightweight
APP	Approximate	LL	Live Load
ARCH	Architect, Architectural	MAX	Maximum
BCK	Bottom Chord Extension	MECH	Mechanical
BF	Both Faces	MEZZ	Mezzanine
BLDG	Building	MFG	Manufacturer
BLKG	Blockage	MID	Middle
BM (s)	Beams (s)	MIN	Minimum
BO	By Others, Blockout, Bottom of opening	MISC	Miscellaneous
B	Bottom	MK	Mark
BP	Base Plate	MTL	Material, Metal
BRDG	Bridging	N	North
BRG	Bearing	NIC	Not in Contract
BOM	Bottom of Beam	NF	Near Face
CANT	Can't	NO or #	Number
CG	Center of Gravity	NOM	Nominal
OP	Cast-in-Place Concrete	NTS	Not to Scale
CGS	Center of Gravity of Strands (steel)	NS	Near Side
CJ	Control or Construction Joint	OC	On Center
CL	Centerline	OD	Outside Diameter
CLC	Ceiling	OPNG	Opening
CAUG	Caulking	OPP	Opposite
CLR	Clear, Clearance	OPP HAND	Opposite Hand
CMU	Concrete Masonry Unit	O.O.	Out to Out
COL	Column	PL	Plate
CONC	Concrete	P/C	Pre-Cast
CONC	Construction	POT	Pounds per Cubic Foot
CONST	Construction	Perim	Perimeter
CONT	Continuous	PERP	Perpendicular
CORR	Corrugated	PLF	Pounds per Linear Foot
CTR	CTR	PROJ	Projection
C.C.	Center to Center	PSF	Pounds per Square Foot
DIA	Deflected Bar Anchor	PSI	Pounds per Square Inch
DBL	Double	PT	Post-Tensioned
DEG	Degrees	QTY	Quantity
DIA	Diameter	R	Radius, Riser (Stairs)
DIM	Diagonal	RECT	Rectangular
DNG	Dimension	RE	Reter (ence)
DKG	Decking	REIN	Reinforcement/ Reinforce
DN	Down	REV	Revision
DO	Ditto	REQ'D	Required
DTL	Detail	S	South
DWG	Drawing	SCHD	Schedule
DWL	Dowel	SECT	Section
DL	Dead Load	SHT	Sheet
E	East	SIM	Similar
EA	Each	SLV	Sleeve
EMB	Embedment	SPCS	Spaces
EF	Each Face	SPCG	Spacing
EJ	Expansion Joint	SPREC	Specification
EL	Elevation	SD	Square
ELEV	Elevation, Elevator	SIO	Standard
ENGR	Structural Engineer of Record	STFF	Stiffener
EQ	Equal	SOG	Slab on Grape
EXIST	Existing	STIRR	Strut
EXP BOLT	Expansion Bolt	STL	Steel
EW	Exterior	STR	Structure
EW	Each Way	SYM	Symmetrical
ETC	Etcetera	THK	Thickness
FF	Far Face, Finished Floor	THRD	Threaded
FIN	Finish	TOGP	Topping
FLG	Flange	TYP	Typical
FND	Foundation	T.O.B.	Top of Beam
FRMG	Framing	T.O.C.	Top of Concrete
FT	Foot, Feet	T.O.COL	Top of Column
FT	Footing	T.O.F.	Top of Footing
FS	Far Side	T.O.J.	Top of Joint
GA	Gage or Gauge	T.O.OP.	Top of Opening
GALV	Galvanized	T.O.P.	Top of Parapet
GC	General Contractor	T.O.S.	Top of Slab or Steel
GR	Grade	T & B	Top of Wall and Bottom
HSB	Horizontal Both Faces	U	Unit
HORIZ	Horizontal	UNO	Unless Noted Otherwise
HSB	Headed Anchor Stud	VERT	Vertical
HT	Height	W	West, Wire Size Designation
ID	Inside Diameter	WD	Wood
INT	Information	WP	Work Point
INT	Interior	WT	Weight
JST	Joist	WWF	Welded Wire Fabric
JT	Joint	W/	With
K	Kips	W/O	Without
KLF	Kips per linear foot	W/S	Waterstop
KSF	Kips per square foot	WM	Welded Wire Mesh
KSI	Kips per square inch	&	And
L	Left, Length		

**A. Special Notes**

1. Contractor to coordinate all dimensions and details with architectural and mechanical drawings. All conflicts or discrepancies shall be called to the attention of the Architect and/or Structural Engineer in timely manner so that they can be resolved prior to construction.
2. Shop drawings shall not be reproductions, in whole or in part, of drawings prepared by RMA, but shall be prepared entirely by manufacturer, fabricator or installer based upon information within these drawings.

1. All concrete shall develop a 28-day compressive strength of 3,000 psi
2. Maximum water/cementitious materials ratio (w/cm) shall not exceed 0.55.
3. Nominal maximum size of coarse aggregate shall not exceed:
  - a) 1/5 the narrowest dimension between sides of forms nor,
  - b) 1/3 the minimum clear spacing between individual reinforcing bars or wires, bundles of bars, or prestressing tendons or ducts.
4. All reinforcing steel bars shall be new billet deformed high strength grade steel conforming to ASTM A-615 latest edition (Fy=60,000 psi) .
5. All reinforcing welded wire fabric shall have a minimum yield strength of 50,000 psi.
6. Steel protection shall be as follows:

- |    |  |   |
|----|--|---|
| a) | Walls  | 1½"                                     |
| b) | Slabs and joists   | ¾" (including monolithic drainage fill) |
| d) | Beams  | 1½"                                     |
| e) | Structural Slabs on grade or Mat Foundation with vapor barrier | 1" (bottom)<br>¾" (top)                 |
7. Dowels shall be same size and number as wall vertical reinforcement embedded into footing and extending above it the required development length ( UON ).
8. Reinforce concrete walls with #3@9" vertically and #3@9" horizontally.
9. Provide 145 vertical reinforcement at each wall end. ( UON ) .
10. All openings in concrete walls and slabs shall be reinforced with 1#5 bar placed 2" from the face and extending 2'-0" beyond corners ( UON ) .
11. All openings larger than 12" square not shown on structural drawings are to be called to the attention of the structural engineer.
12. All slabs on grade not specially detailed otherwise are to be 4" thick reinforced with #3@14" each way placed at 1" from the top surface UON
13. All one-way slabs shall have temp reinforcement equal to 0.18% of sectional concrete area ( including monolithic drainage fill placed perpendicular to main reinforcement.
14. All anchors specified on drawings require special inspection. If special inspection is not provided, Structural Engineer shall be notified, and the detail shall be modified.
15. See important notes for anchored details.
16. Temperature reinforce must be positioned at top of the slab thickness as monolithic drainage requirements.

1. Concrete masonry units shall be Type N-1 with compressive strength of 1,350 psi and shall meet the requirements of ASTM C140-75.
2. Mortar shall be Type M and shall meet the requirements of ASTM C270-87a.
3. Grout shall meet the requirements of ASTM C476-83 with a slump of 9" with a compressive strength of 2,000 psi.
4. All cells with vertical reinforcement shall be filled with grout.
5. Horizontal reinforcement shall be truss type as manufactured by Dur-O-wal.
6. Unless otherwise noted reinforce masonry walls as follows:

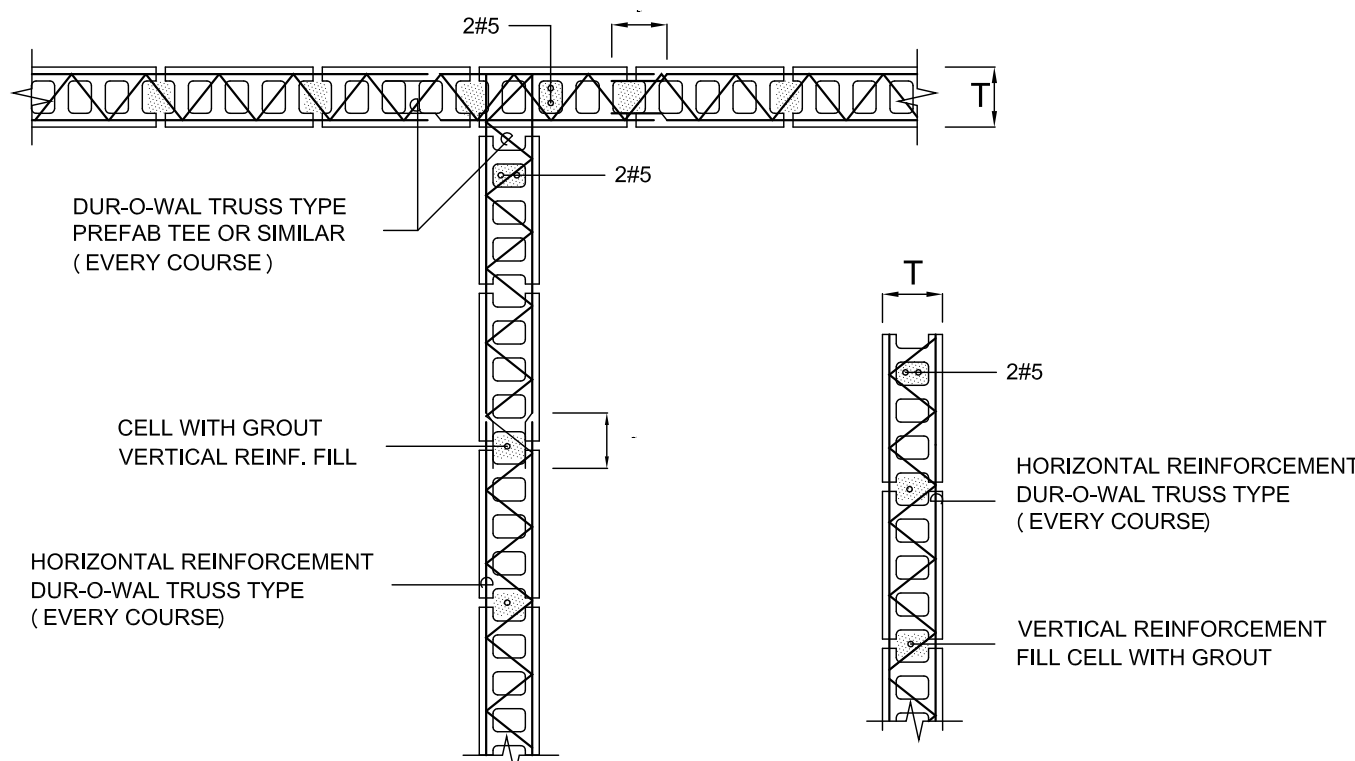
CMU Thick	Vertical Reinf.	Horizontal Reinf.
4"	#3@16" or #4@32"	Dur-O-Wal Std. E.O. Course
6"	#3@16" or #4@32"	Dur-O-Wal Std. Ea. Course
8"	#5@32"	Dur-O-Wal E.H. Ea. Course

7. All wall corners shall be masonry bonded
8. Contractor shall submit Shop Drawings of all masonry showing vertical and horizontal reinforcement, including details of all anchorage to walls and slabs.

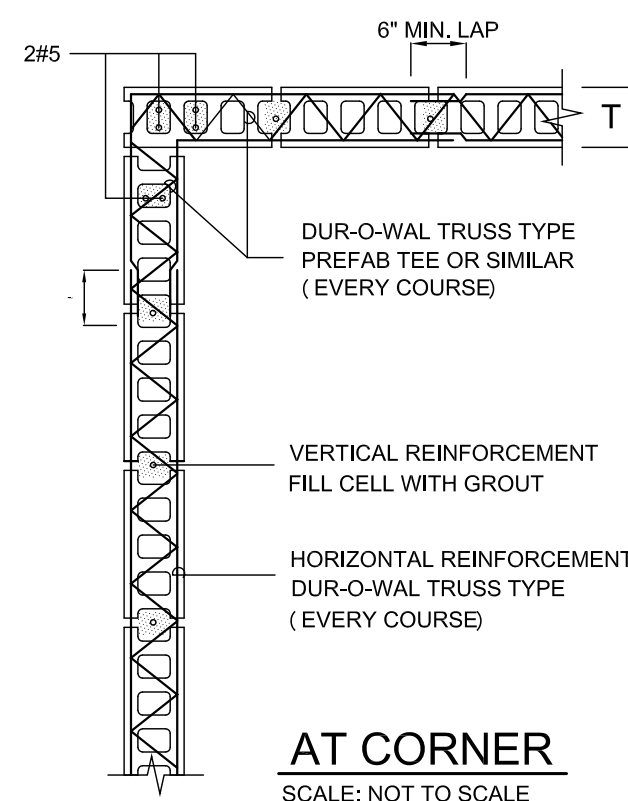
1. Foundations for this project have been designed based upon a maximum soil contact pressure of 2,000 psf. Design has used coefficients of subgrade reaction of 75 pci and 150 pci.

1. Applicable Codes
  - a) ACI 318-14
  - b) 2018 Puerto Rico Building Code
  - c) ANSI/ASCE 7-16

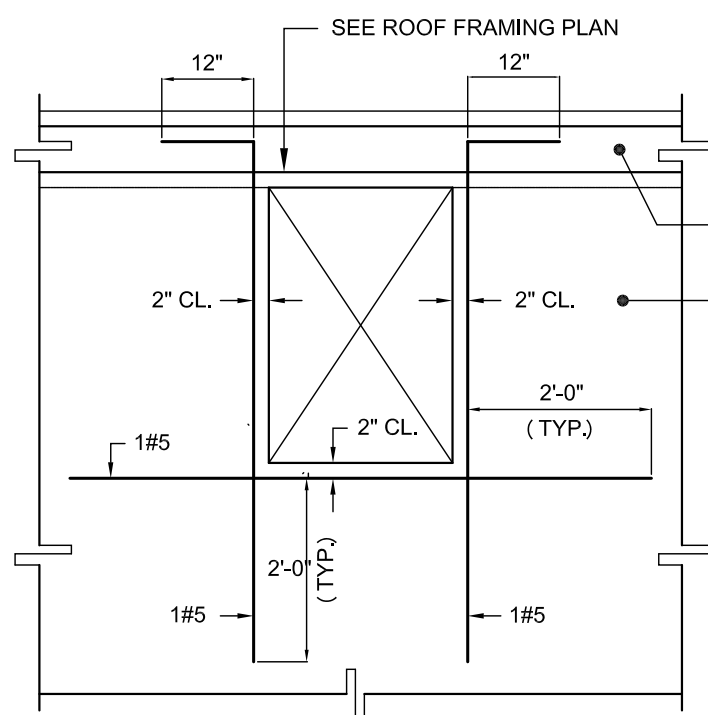
- 2. Seismic Loads
  - a) As per 2018 Puerto Rico Building Code
  - b)  $S_s = 0.97$ ,  $S_1 = 0.37$
- 3. Wind Loads
  - a) As per 2018 Puerto Rico Building Code
  - b) Risk Category II
    - i. Basic Wind speed of 180 mph,  $V_{asd} = 139$  mph
    - ii. Exposure C
    - iii. Importance factor of 1.0
    - iv. Internal Pressure Coefficient = 0.8
- 4. Design Live Loads
  - a) Flat roof 30 psf



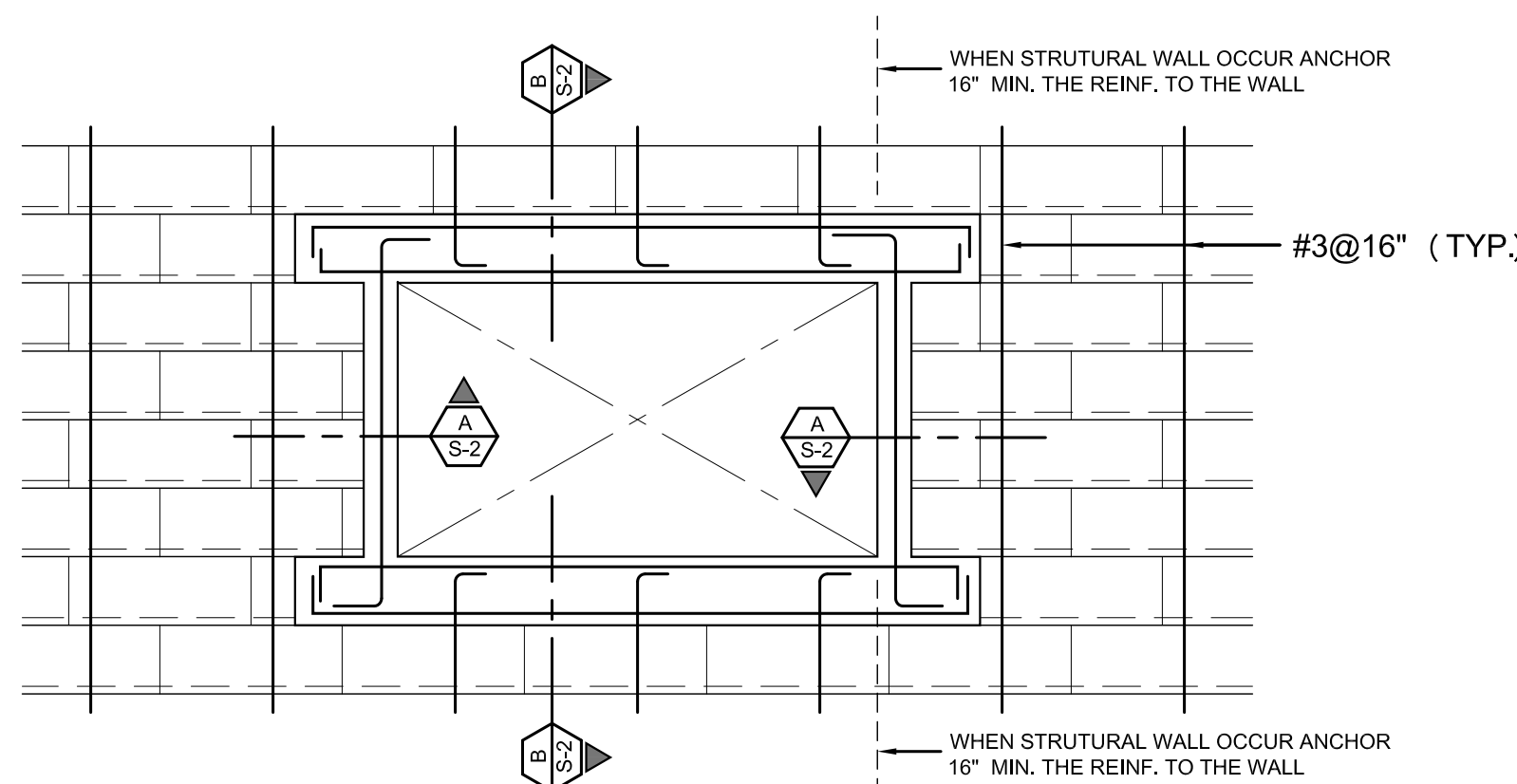
**TYPICAL CONC. BLOCK WALL REINFORCEMENT DETAILS**  
SCALE: NOT TO SCALE



AT CORNER  
SCALE: NOT TO SCALE



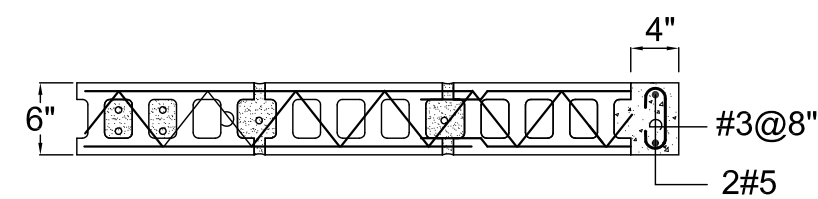
## REINFORCEMENT AROUND STRUCTURAL WALL OPENING FOR WINDOWS



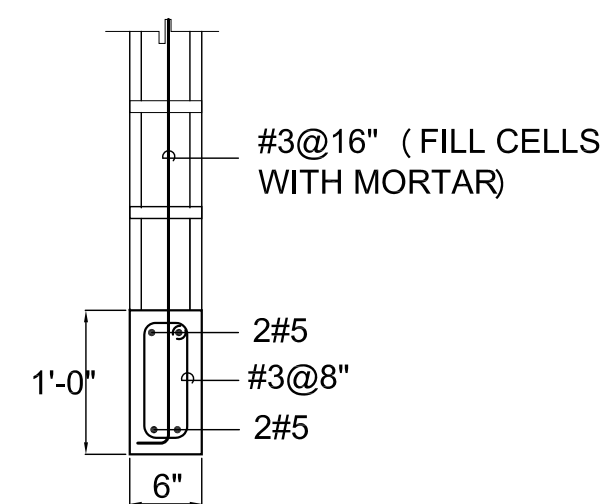
# BLOCK WALL OPENING FOR WINDOWS

### REQUIRED LENGTH DEVELOPMENT FOR ELEMENTS AT WALL BORDERS

F'c	SIZE		
	#3	#4	#5
3,000 psi	1'-7"	2'-0"	2'-7"



SECTION A  
SCALE: NOT TO SCALE  
S-2



**SECTION**  
SCALE: NOT TO SCALE

**ENVIRONMENTAL  
PARTNERS, LLC**

P. O. Box 194102  
San Juan, P.R. 00919-4102

CONSULTANT

CONSULTANT

SEAL:

[illegible]

OWNER:

HOGAR RUTH PARA  
MUJERES MALTRATADAS, INC.  
DIRECTORA: LISDEL FLORES BARGER

PROJECT NAME AND ADDRESS:

**EXTENSION AND IMPROVEMENTS  
TO THE HOGAR RUTH PARA  
MUJERES MALTRATADAS**

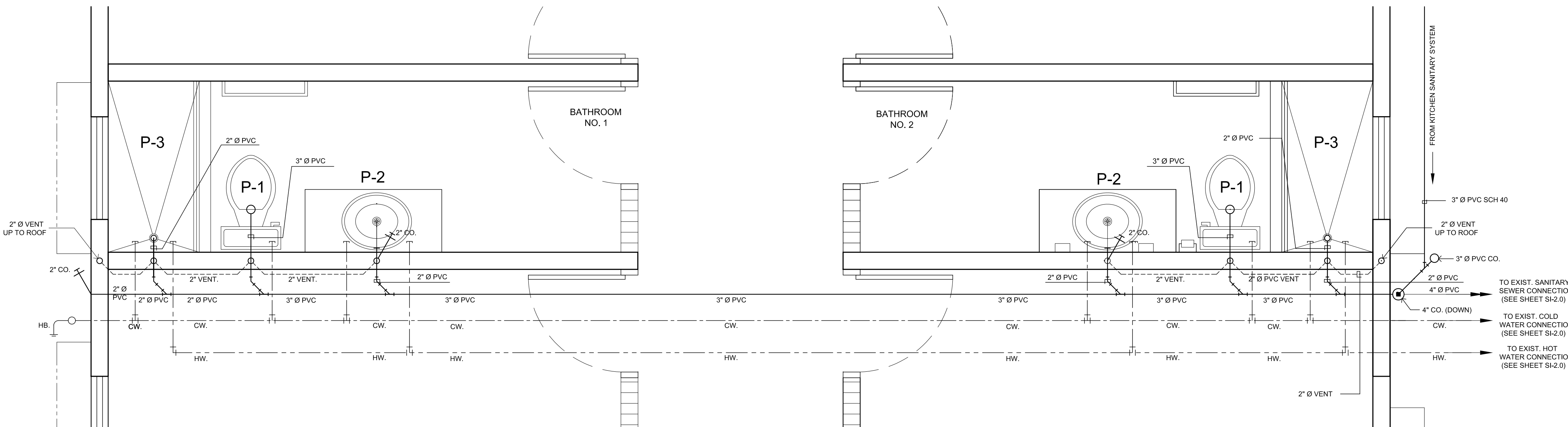
CALLE 15, SOLAR A, URB. SANTA RITA  
BO. ESPINOSA, VEGA BAJA, P.R.

DRAWING NAME:

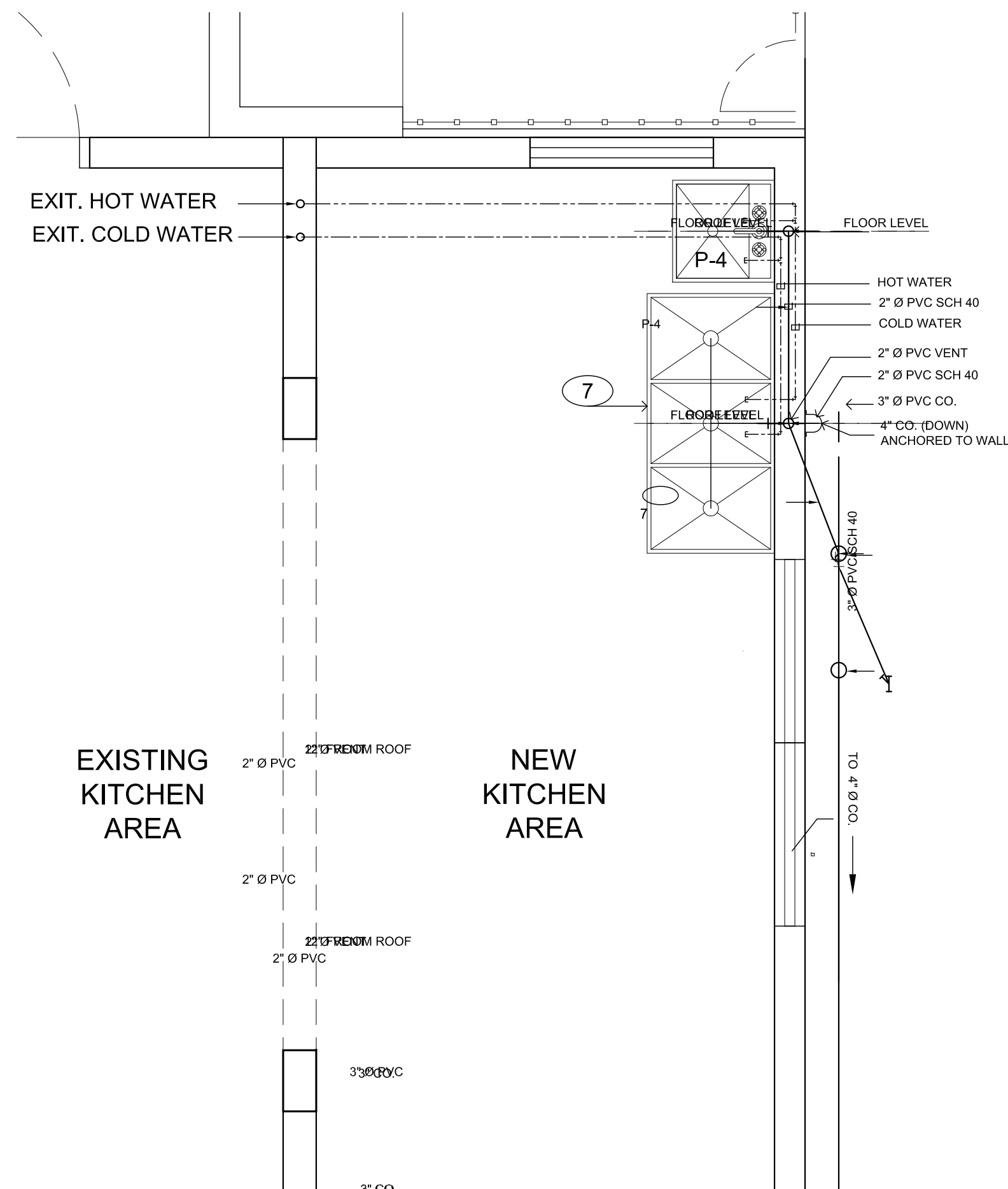
## NOTES AND DETAILS

PROJECT NO.:	SHEET  <b>S-5.0</b>
DATE: FEBRUARY 20, 2023	
SCALE: 1/4" = 1'-0"	





DORMITORIES WATER AND SANITARY DISTRIBUTION PLAN  
SCALE: 1/2" = 1'-0"



KITCHEN WATER AND SANITARY DISTRIBUTION PLAN  
SCALE: 1/2" = 1'-0"

PLUMBING FIXTURE SHEDULE

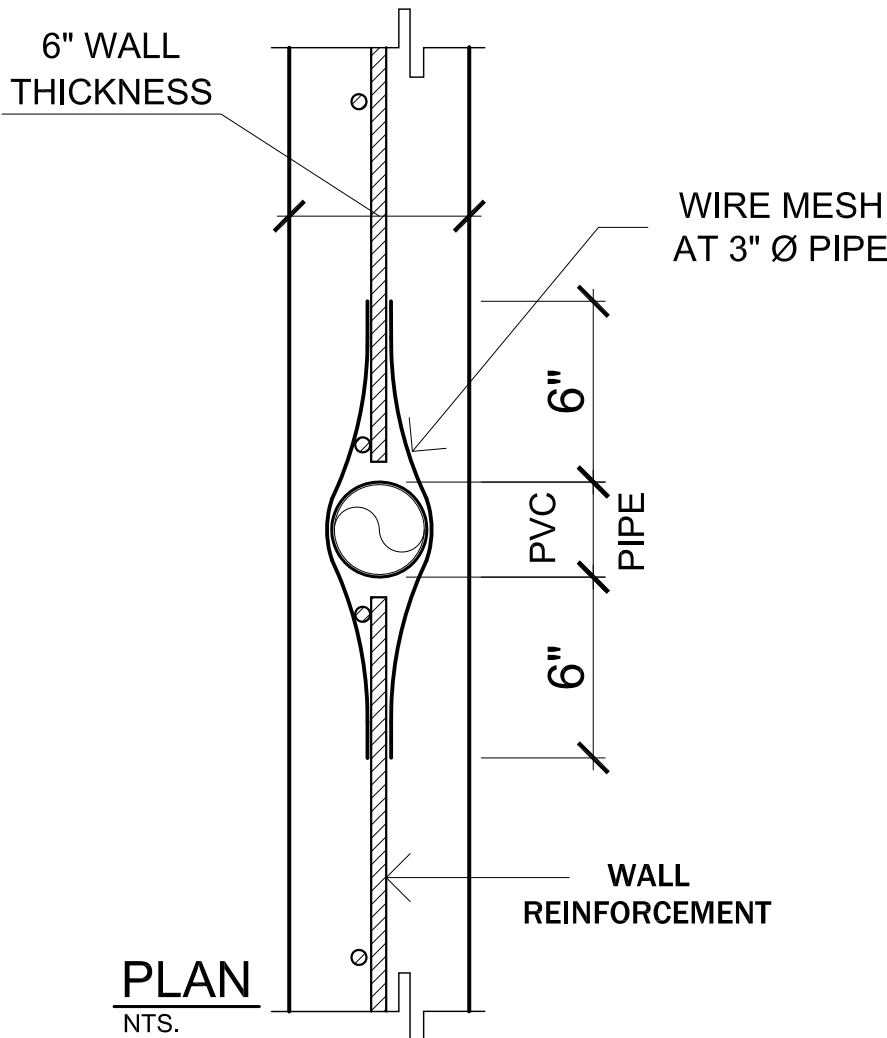
ITEM	DESCRIPTION	WATER SUPPLY		DRAIN	MINIMUM SLOPE	VENT	REMARKS
		COLD	HOT				
P-1	WATER CLOSET	1/2"	—	3"	1/8" / 1'-0"	2"	WATER CLOSET TANK CAPACITY 1.28 GALS.
P-2	LAVATORY	1/2"	1/2"	2"		2"	
P-3	SHOWER	1/2"	1/2"	2"		2"	ALL EQUIPMENT SHALL COMPLY WITH A.A.A. REQUIREMENTS FOR WATER CONSUMING STANDARDS.
P-4	NEW STAINLESS STEEL LAVATORY	1/2"	1/2"	2"		2"	

GENERAL NOTES:

- ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE LOCAL BUILDING CODE, THE NATIONAL PLUMBING CODE, (A.S.A. A40.8-1955 AND THE SPECIFICATIONS ISSUED FOR THIS PROJECT)
- ALL PLUMBING MATERIAL SHALL BE AS INDICATED IN THE SPECIFICATIONS ISSUED FOR THIS PROJECT, EXCEPT AS OTHERWISE NOTED OR CALLED FOR ON THE DRAWINGS.
- ALL VALVES SHALL BE PROVIDED WITH ACCESS IN THE WALL ON FLOOR FOR OPERATION AND MAINTENANCE ACCESS DOORS SHALL BE AS SPECIFIED OR REQUIRED BY THE ARCHITECT. LONG SWEEP BENDS OR LONG SWEEP FITTINGS SHALL BE PROVIDED AT THE BASE OF ALL STACKS.
- ALL HORIZONTAL PORTIONS OF SOIL & WASTE STACKS & BRANCHES, SHALL SLOPE 1/4" PER FT., EXCEPT AS OTHERWISE SHOWN.
- ALL PIPES SHALL BE ADEQUATELY SUPPORTED ON HANGERS OR CARRIERS AS REQUIRED.
- THE SIZES GIVEN IN FIXTURE SCHEDULE ARE MINIMUM AND SHALL BE USED EXCEPT THAT IN SOME CASES THEY SHALL BE INCREASED AS SHOWN ON ISOMETRICS OR AS REQUIRED BY THE PLUMBING CODE.
- THE PLUMBING CONTRACTOR SHALL PROVIDE ALL ROUGHING-IN AND INSTALL ALL PLUMBING FIXTURES AND / OR EQUIPMENT WHICH ARE SUPPLIED BY OTHERS.
- CLEANOUTS SHALL BE NOT MORE THAN 50 FEET APART IN HORIZONTAL DRAINAGE LINES OF 4 - INCH NOMINAL DIAMETER OR LESS AND NOT MORE THAN 100 FEET APART FOR LARGER PIPES
- ALL SANITARY, WASTE AND RAIN LEADERS UNDERGROUND OR IN SLAB BELOW BUILDINGS SHALL BE PVC SDR - 40.
- ALL FITTINGS FOR SANITARY, WASTE, STORM AND DRAIN LINES SHALL BE SPIGOT END.
- THE PLUMBING CONTRACTOR SHALL SECURE APPROVAL AND ADVICE FROM THE ARCHITECT AND STRUCTURAL ENGINEER FOR THE LOCATION OF PIPES INSIDE WALLS OR SLABS.
- PLUMBING CONTRACTOR MUST COORDINATE WITH FIXTURE SUPPLIER FOR EXACT LOCATION OF ROUGHING-IN.
- FOR EXACT LOCATION OF PLUMBING FIXTURE COORDINATE WITH ARCHITECTURAL DRAWINGS.
- CONTRACTOR SHALL INSTALL A COMPLETE PLUMBING SYSTEM AS SHOWN IN DRAWING AND CALLED FOR IN THE SPECIFICATIONS.
- SUBMIT FOR ENGINEER'S APPROVAL, LITERATURE OF PIPES MATERIAL, VALVES, FLOOR DRAINS, FIXTURES, ETC BEFORE ORDERING.
- THE CONTRACTOR SHALL PROVIDE PROTECTION FOR THE SURFACES OF ALL PLUMBING FIXTURES FROM DAMAGE BEFORE, DURING AND AFTER THEIR INSTALLATION AND UNTIL WORK IS COMPLETED AND ACCEPTED, CONTRACTOR AND SUBCONTRACTOR SHALL NOT USE PLUMBING FIXTURES FOR THE STORAGE OF TOOLS OR MATERIALS, NOR AS SUPPORTS OR PLATFORM, EVERY PRECAUTION SHALL BE TAKEN DURING THE PERIOD OF CONSTRUCTION TO AVOID DAMAGE TO FIXTURES AND FITTINGS.
- THE LOCATION OF ALL ITEMS SHOWN ON THE DRAWINGS ARE NOT DEFINITELY FIXED BY DIMENSIONS ARE APPROXIMATE ONLY. THE EXACT LOCATIONS NECESSARY TO SECURE THE BEST CONDITIONS AND RESULTS MUST BE DETERMINED BY THE CONTRACTOR AT THE PROJECT AND SHALL BE ILLUSTRATED IN THE REQUIRED SHOP DRAWINGS FOR THE ARCHITECT'S APPROVAL BEFORE ACTUAL INSTALLATION.
- COLD AND HOT WATER MATERIALS SHALL USE VIAGA SYSTEM OR COPPER TYPE "K" AS SELECTED BY THE DEVELOPER SELECTION AND THE APPROVE OF AAA.
- ALL SANITARY SEWER AND VENTILATION SHALL BE SCHEDULE 40.

LEGEND OF SYMBOLS:

- PVC SCH. 40 SANITARY LINE
- C.O. F.W.F. = CLEAN OUT FLUSH WITH FLOOR OR GRADE
- C.O. F.W.W. = CLEAN OUT FLUSH WITH WALL
- PVC SCH. 40 VENT LINE
- C.W. = COLD WATER (1/2" VIAGA PIPE SYSTEM)
- H.W. = HOT WATER (1/2" VIAGA PIPE SYSTEM)
- H.B. = HOSE BIBB (TYPE SELECTED BY DEVELOPER)
- SANITARY SLOPE
- P-1 = WATER CLOSET
- P-2 = LAVATORY
- P-3 = SHOWER



TYPICAL CONTROL CRACK DETAIL  
SCALE: NTS.



ENVIRONMENTAL  
PARTNERS, LLC

P. O. Box 194102  
San Juan, P.R. 00919-4102

CONSULTANT:

CONSULTANT:

SEAL:

NO.	REVISION / ISSUE	DATE

OWNER:

HOGAR RUTH PARA  
MUJERES MALTRATADAS, INC.  
DIRECTORA: LISDEL FLORES BARGER

PROJECT NAME AND ADDRESS:

EXTENSION AND IMPROVEMENTS  
TO THE HOGAR RUTH PARA  
MUJERES MALTRATADAS  
CALLE 15, SOLAR A, URB. SANTA RITA  
BO. ESPINOSA, VEGA BAJA, P.R.

DRAWING NAME:

WATER AND SANITARY  
DISTRIBUTION PLAN  
AND NOTES

PROJECT NO.:

DATE:  
FEBRUARY 20, 2023

SCALE:  
1/4" = 1'-0"

SHEET

P-1.0





ENVIRONMENTAL  
PARTNERS, LLC

P. O. Box 194102  
San Juan, P.R. 00919-4102

CONSULTANT:

CONSULTANT:

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EXTENSION AND IMPROVEMENTS  
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MUJERES MALTRATADAS  
CALLE 15, SOLAR A, URB. SANTA RITA  
BO. ESPINOSA, VEGA BAJA, P.R.

DRAWING NAME:

DORMITORIES AND  
KITCHEN ISOMETRIC

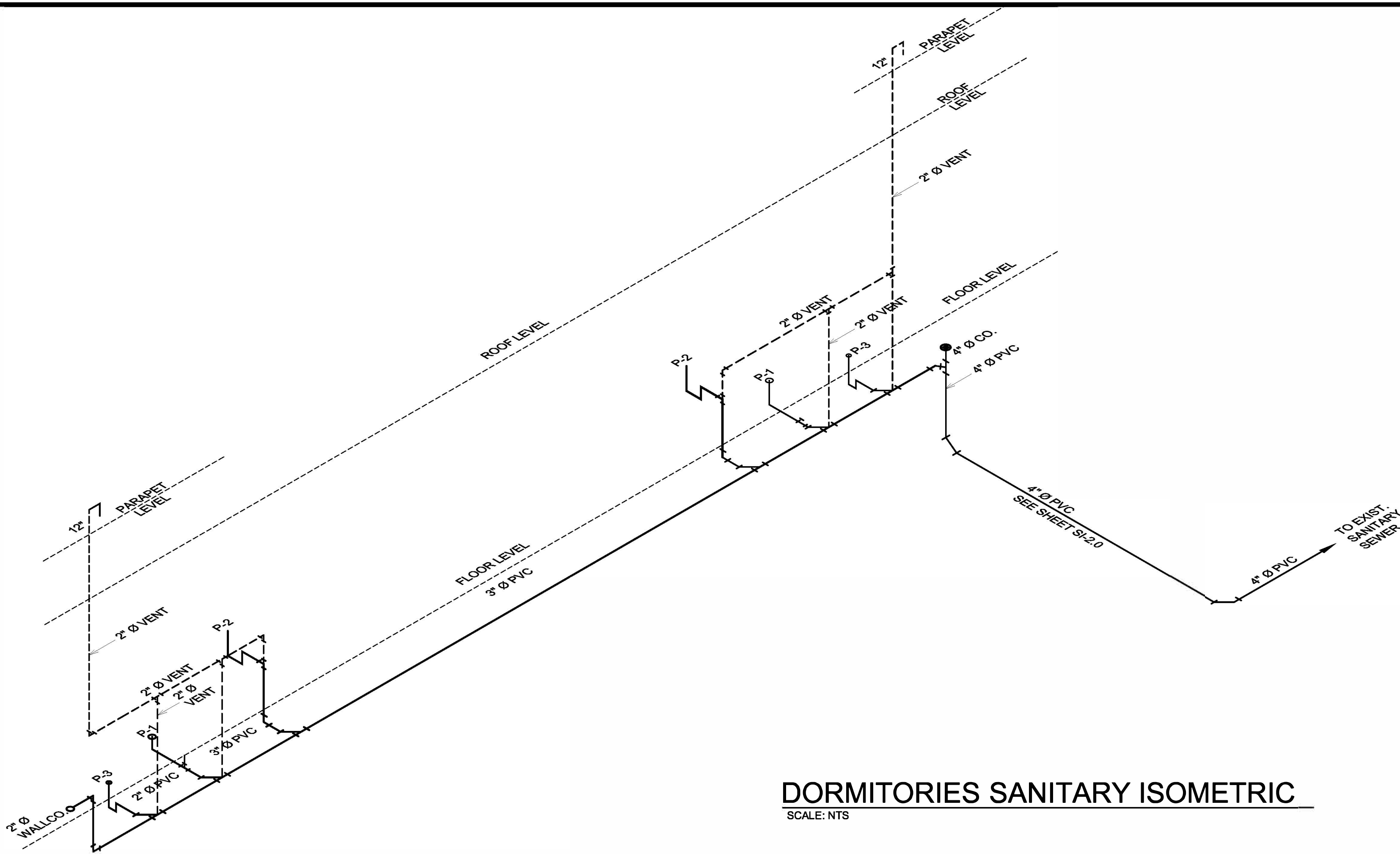
PROJECT NO.:

DATE:  
FEBRUARY 20, 2023

SCALE:  
1/4" = 1'-0"

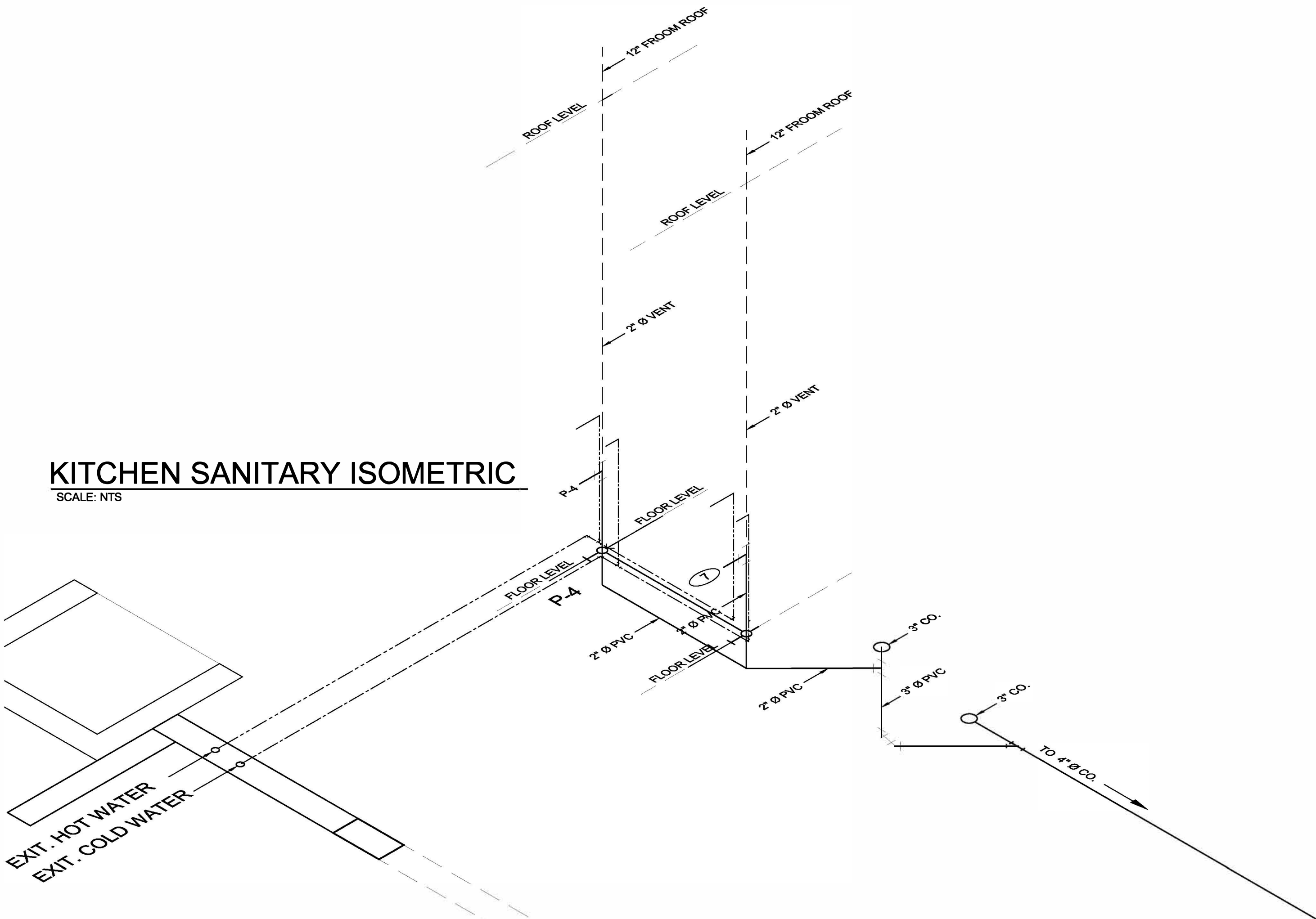
SHEET

P-1.1



DORMITORIES SANITARY ISOMETRIC

SCALE: NTS



KITCHEN SANITARY ISOMETRIC

SCALE: NTS







## **Environmental Assessment**

### **Determination and Compliance Findings for HUD-assisted Projects 24 CFR Part 58**

#### **Appendix 4: Asbestos Containing Material and Lead Based Paint Survey**



Environmental Partners Llc

***ASBESTOS-CONTAINING MATERIALS AND  
LEAD-BASED PAINT SURVEY***

Hogar Ruth  
Calle 15 Bloque 3, Urb Santa Rita,  
Bo. Espinosa, Vega Alta, PR

Inspection Date: November 17 &  
December 7, 2022



Engineering Solution Firm, Corp. under the direction of ENVIRONMENTAL PARTNERS, LLC has performed this asbestos containing building materials and lead based paint survey in a thorough and professional manner consistent with commonly accepted industry standards.



---

Edwin A. Ayala, PE  
ACM Inspector ASB-1221-0633-SI,  
LBP Inspector LBPI-29821-345

## **ASBESTOS- CONTAINING MATERIALS (ACM) AND LEAD BASED PAINT (LBP) SURVEYS**

Hogar Ruth  
Calle 15 Bloque 3, Urb Santa Rita,  
Vega Alta, PR, 00692

Prepared for:

Hogar Ruth, Inc.

Prepared by:

Environmental Partners, LLC  
and Engineering Solution Firm,  
Corp.

Inspection Dates:

November 17, 2022  
and December 7, 2022

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11	Additional Survey Limitations .....	5

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A	Limitations and Service Constraints
B	Inspector Credentials
C	Certification Of Non-Presence ACM
D	Structure Photograph Log
E	XRF Performace Characteris Sheet
F	LBP Photograph Log
G	TABLE 1 – XRF DATA



# 1 INTRODUCTION

The objective of this survey/study was to ascertain the general presence, quantity, and location of suspected asbestos-containing materials (SACMs) and Lead Based Paint (LBP) components at Hogar Ruth, located at Calle 15 Bloque 3, Urb. La Esperanza, Vega Alta, PR. This report will be used as a planning tool for all demolition and/or renovation activities scheduled at the owner's property.

ESFPR' survey and report are subject to the Limitations and Service Constraints provided in **Appendix A**. These surveys were conducted by Edwin A. Ayala on *November 17, 2022* (Kitchen area) and December 7, 2022 (Dining area). He is an Environmental Quality Board Asbestos Containing Materials (ACM) and Lead Based Paint (LBP) Certified Inspector, copies of his credentials are included in **Appendix B**.

## 2 STRUCTURE DESCRIPTION

The facility was built approximately around 2000 and presently is occupied. The survey included kitchen and dining areas only.

## 3 ACM SURVEY METHODOLOGY

### 3.1 ACM General Survey Approach

ESFPR conducted the survey in accordance with current applicable regulations and requirements for the time and location of the survey. ESFPR conducted the survey in general accordance with the requirements described in US Environmental Protection Agency (EPA) National Emission Standards of Hazardous Air Pollutants, 40 CFR 61 Subpart M (NESHAP). The asbestos NESHAP regulations require that a facility be inspected for the presence of ACM prior demolition or renovation which may disturb asbestos. The Puerto Rico Environmental Quality Board (PREQB) requires inspecting the presence of ACM prior to buildings demolition.

The survey was accomplished by initially conducting a visual inspection of the interior and exterior of the structure and collecting samples of suspect ACM based upon these observations.

Unless otherwise noted, confirmed asbestos-containing material or ACM is a material with greater than one percent (>1%) asbestos by Polarized Light Microscopy (PLM). Materials with detectable but less than one percent (<1%) are considered "trace ACM". Assumed ACM are those materials that are suspected to contain asbestos, but have not been sampled to verify, and are therefore assumed to contain asbestos unless testing proves otherwise.

Materials containing asbestos are evaluated on their inherent ability to easily release asbestos fibers, which is called “friability”. A material that is considered friable is a material that, when dry, can be crumbled, pulverized, or otherwise reduced to powder by hand pressure after an inspector has collected a bulk sample of the material and holds it in the palm of their hand. A material that is non-friable is a material, again when dry, cannot be crumbled, pulverized, or reduced to powder by hand pressure.

### **3.2 ACM Survey Areas – Extent of Survey Coverage**

The survey included a detailed structure inspection providing a general sense of the overall location, type, quantity, and condition of potential ACMs present. The survey was thorough in that interior accessible functional spaces were inspected, and bulk samples taken of suspect materials observed. The presence of asbestos in suspect materials was assumed or presumed in some cases without bulk samples being collected or analyzed (when applicable). This was necessary for locations where materials were inaccessible or areas that were unsafe to access (e.g., elevated heights, energized equipment, confined spaces, etc.). For those areas that were not safely accessible, suspect materials observed or presumed to be present were documented and assumed as ACMs.

The survey was unobtrusive in that samples were not taken where doing so would have resulted in objectionable damage to surfaces. Therefore, the survey did not include destructive, intrusive and/or exploratory testing. ESFPR endeavored to observe normally inaccessible areas such wall cavities, under primary flooring surfaces, etc. for suspect ACMs.

### **3.3 ACM Sampling Methodology**

The asbestos survey included a visual and physical assessment of each accessible space to locate suspect ACMs. Suspect materials were divided into "Homogeneous Areas" ([HAs]; i.e., building materials which were determined by the inspector to be homogeneous based on their color, texture, and assumed date of installation). The number of minimum samples collected relates according to the type of material, as follows:

- Surfacing Material
  - 0-1,000 sq ft of total HA quantity = ≥ 3 samples
  - 1,000-5,000 sq ft of total HA quantity = ≥ 5 samples
  - >5,000 sq ft of total HA quantity = ≥ 7 samples
- Thermal Insulation = ≥ 3 samples
- Miscellaneous Material = ≥ 2 samples

Deviations from the sampling frequencies may have been required at certain circumstances due to structure -specific conditions.

As accessible materials were identified, bulk samples were obtained with the aid of a coring device, cutter, or appropriate hand tool and placed into individual sealable, air-tight containers. All suspected



ACMs sample containers were labelled clearly and concisely using indelible, waterproof markings clearly indicating the unique sample designation and recorded on a field log sheet as well as chain-of-custody forms.

## 4 ACM ANALYTICAL METHODS

Samples were placed in air-tight, sealed containers for transport to a laboratory with the appropriate accreditations, certifications, and/or training and experience, as applicable and required for the Site's location and regulatory requirements for asbestos bulk sample analysis. Each sample collected was assigned its own unique coded number. All samples collected by ESFPR were sent to the laboratory under a chain-of-custody protocol.

Bulk samples were analyzed for asbestos content (reported in percent of type of asbestos) using Polarized Light Microscopy with Dispersion Staining (PLM/DS) in accordance with U.S. EPA Method 600/R-93/116, or equivalent if a country or local regulation stipulates otherwise. Using the U.S. EPA PLM method, a percentage estimate of each material's composition is based on the analyst's best visual judgment and examination with a stereoscope.

## 5 ACM FINDINGS

ESFPR did not identified suspect materials at the reference structure, hence no bulk samples were collected and/or sent to the laboratory for analysis. In addition, no suspect material was observed during the visual assessment that needed to be assumed as ACM. Certification (OGPe Form PGC-009) for non-presence of asbestos is provided in **Appendix C**. Representative photographs of the structure are provided in **Appendix D**.

## 6 LBP SURVEY APPROACH AND METHODOLOGY

ESFPR conducted the survey in accordance with current applicable regulations and requirements for the time and location of the survey. The LBP survey is an interior and exterior investigation to identify all LBP on a surface-by-surface basis. The survey and testing procedures were designed to evaluate and document all the data obtained from the inspection in a sequential method.

The survey was performed following the methodology established within the Housing Urban Development (HUD) Guidelines for the Evaluation and Control of Lead Based Paint in Housing (2012) revision and the Puerto Rico Environmental Quality Board (PREQB) Lead Based Paint Abatement Control Regulation.

To each functional space of the structure a name was assigned according to the use of that space. If no name could be assigned, then a code letter or number was assigned. The room numbers were assigned clockwise as you enter the structure and go towards the left always. Each wall surface was named with letters beginning with A, with the wall facing the main street as wall A. The wall at your left being wall B, the wall at front wall C and the wall at your right, wall D. Floor was named as lower position.

Deviations from the sampling frequencies may have been required at certain circumstances due to structure -specific conditions.

The survey was unobtrusive in that surfaces were not damaged by the testing. Therefore, the survey did not include destructive, intrusive and/or exploratory testing.

## 7 LBP REGULATORY LEVEL

Hazard of lead in paint has been defined by HUD as any paint, varnish, shellac, or other coating that contains lead equal to or greater than 1.0 mg/cm<sup>2</sup> as measured by XRF or laboratory analysis, or 0.5 percent by weight (5000 mg/g, 5000 ppm, or 5000 mg/kg) as measured by laboratory analysis [Atomic Absorption Spectroscopy (AAS) or Inductive Coupled Plasma (ICP)]. Interpretation of the definition is as follows:

- If the lead concentration measured by the XRF Spectrum Analyzer is less than 1.0 mg/cm<sup>2</sup> it is considered negative.
- If the lead concentration measured by the XRF Spectrum Analyzer is equal or greater than 1.0 mg/cm<sup>2</sup> it is considered positive.

## 8 LBP ANALYTICAL METHODS

The survey was accomplished by initially conducting a visual inspection of the interior and exterior of the structure and testing all painted/coated surfaces with an X-Ray Fluorescence (XRF) analyzer. The XRF analyzer is designed to measure the lead content of surface coating on a variety of building surfaces, substrates, and components. The testing is rapid and nondestructive and according to the manufacturer, can detect lead concentrations that occur within numerous layers of various surface coatings. In addition, the survey included a visual and physical assessment of each painted/coated surface. **Appendix E** includes the XRF Performance Characteristic Sheet (PCS) of the analyzer. The XRF analyzer was calibrated according to the manufacturer recommendations using the NIST Lead Paint Standard Surface Lead Calibration Sheet.

## 9 LBP FINDINGS

Based on the results of the survey, averages of 20 tests were evaluated using an XRF analyzer at all identified surfaces on the interior and exterior of the subject structure with LBP identified above the regulatory level of 1.0 mg/cm<sup>2</sup> at selective areas. Appendix F includes photograph of all identified LBP at the subject structure. Data from XRF analyzer tests results is included in Table 1 (Appendix G) with positive results written in red or bold letter.



Photographs of identified LBP surfaces and/or ceramic components within the structure are provided in Appendix E. Summary of components identified with LBP are described in the following table.

ID	RESULTS	COMPONENT	SUBSTRATE	SIDE	CONDITION	COLOR	SITE	FLOOR	ROOM	(QUANTITY(FT2))
118	POSITIVE	WALL	CERAMIC	ABCD	FAIR	WHITE	HOGAR RUTH	FIRST	KITCHEN	240

LBP quantity must be verified by the contractors or owner.

## 10 RECOMMENDATIONS

Notwithstanding, Lead exposure is regulated by both the HUD and OSHA. However, HUD regulations are specifically for occupied residential structures or federally funded projects whereas OSHA regulates worker exposures to lead during construction activities such as demolition and renovation. The OSHA Lead in Construction Standard (29 CFR 1926.62) does not currently define a specific concentration of lead that must be present within paint for it to be considered "lead-containing." Therefore, painted and glazed surfaces that contain detectable concentrations of lead must be handled in accordance with the OSHA Lead in Construction Standard. Persons performing work that could impact paint films or glazing that have detectable concentrations of lead should be informed of the testing results and take appropriate actions to comply with the OSHA Lead in Construction Standard. This would include air monitoring to reduce and maintain employee exposure to lead to or below the OSHA Permissible Exposure Limit (PEL) of 50 micrograms per cubic meter ( $\mu\text{g}/\text{m}^3$ ) as calculated over an 8-hour time weighted average (TWA).

ESFPR recommends that if any paint-covered surfaces are disturbed, air monitoring should be performed to comply with OSHA requirements.

## 11 ADDITIONAL SURVEY LIMITATIONS

ESFPR' ACM survey is subject to the following limitations in addition to those presented in **Appendix A**:

- Any energized utilities/services, including electric, water and heat were assumed to be active. Materials associated with these items were determined to not be safely accessible and were not sampled. Suspect ACMs associated with these items should be assumed ACM or LBP until the systems can be de-energized and safely sampled.
- The investigation did not include access or inspection of confined spaces or subsurface/underground areas including piping, conduits, building footings and soils (surficial or otherwise).
- The LBP survey was performed to ready accessible components and surfaces. If any suspect coated surface or ceramic components that could contain lead are encountered underneath current installed tiles or other construction material during demolition and/or renovation activities which differ from materials tested during the LBP survey, these should be assumed to be Lead containing until analysis results confirmed otherwise.

# **APPENDIX A**

## **Limitations and Service Constraints**

## LIMITATIONS AND SERVICE CONSTRAINTS

### Asbestos Containing Materials and Lead Based Paint Related Services

All professional opinions presented in this report are based on information made available to us either by review of data provided by others or data gathered by ESFPR personnel.

ESFPR affirms that data gathered and presented by ESFPR in this report was collected in an appropriate manner in accordance with generally accepted methods and practices. ESFPR cannot be responsible for decisions made by our client solely on the basis of economic factors.

Conditions described in this report are as found at the time of investigation, unless otherwise stated.

ESFPR analyzed only the substances, conditions and locations described in the report at the time indicated. No inferences regarding other substances, conditions, location or time can be made unless specifically stated in this report.

This report is intended for the use listed in the introduction of this report. The use of this report in any manner other than that listed in the introduction requires the written consent of ESFPR. This report must be presented in its entirety.



# **APPENDIX B**

## **Inspector Credential**



ASB-1221-0633-SI

Número de Registro

17-Nov-2022

Fecha de vencimiento

TARJETA DE REGISTRO  
LA REMOCION PARA DE ASBESTO

Esta tarjeta autoriza a:

**Edwin A. Ayala Ramírez**

**Inspector**

A trabajar en la remoción de asbesto en  
Puerto Rico. Esta persona **NO** es un  
empleado del DRNA.

Firma Autorizada - Departamento  
Recursos Naturales y Ambientales

## CERTIFICACIÓN PLOMO PUERTO RICO



Esta tarjeta autoriza a:

**Edwin Ayala Ramírez**

Para realizar actividades relacionadas a  
Mitigación de Pintura con Base de Plomo

Disciplina: **Inspector**

Fecha de Expiración: Noviembre 19, 2022

Certificación #:  
**LBPI-29821-345**



Firma Autorizada  
Departamento de Recursos Naturales y  
Ambientales





GOBIERNO DE PUERTO RICO  
Departamento de Recursos Naturales y Ambientales

Este certificado es otorgado a:

**Engineering Solution Firm, Corp.**

Por haber cumplido con los requisitos establecidos en el Capítulo VI, Regla 127 del Reglamento para el Manejo Adecuado de Actividades de Pintura con Base de Plomo. Se le otorga esta certificación como **Firma** para llevar a cabo actividades relacionadas a Mitigación de Pintura con base de plomo en la jurisdicción de Puerto Rico.


Número de Certificado

**LBPf-23622-034**

Fecha de emisión: Agosto 16, 2022

Fecha de Expiración: Agosto 15, 2023



  
José Roque Juliá  
Jefe  
División Desperdicios Tóxicos

# **APPENDIX C**

## **Certification of Non- Presence ACM**



**CERTIFICACION DE NO PRESENCIA DE ASBESTO  
EN ESTRUCTURAS A DEMOLERSE**  
(Deberá completarse en letra de molde o impresa)

NUM. PERMISO: \_\_\_\_\_

Yo, Edwin A. Ayala, mayor de edad, casado, y vecino de Caguas  
(Nombre) (Estado Civil) (Municipio)

Dirección Postal PMB 332 PO Box 4960, Caguas, PR 00726  
(Pueblo) (Zip Code)

Teléfonos: Residencial (787) 691 - 4440 Oficina (\_\_\_\_) \_\_\_\_ - \_\_\_\_ Ext. \_\_\_\_  
Fax (787) 903 - 5128

**Certifico que:** Kitchen - Hogar Ruth

1. La estructura localizada en Calle 15 Bloque 3, Urb Santa Rita, Vega Alta, PR, 00692, la cual será objeto de una demolición se encuentra libre de asbesto.
2. La información antes indicada es cierta y correcta.
3. Afirmo y reconozco las consecuencias de incluir y someter información falsa en este documento.
4. Para que así conste, firmo la presente certificación en San Juan de Puerto Rico,  
hoy día 17 de noviembre de 2022 (Municipio)

\_\_\_\_\_  
Firma y Sello del Profesional o  
Firma del Inspector de Asbesto registrado por la JCA (Original)

**Nota: Ingenieros o Arquitectos deberán someter evidencia de que se encuentra al día en el pago de sus cuotas de colegiación e Inspectores de Asbesto deberán someter evidencia de la tarjeta de registro provista por la JCA.**



# **APPENDIX D**

## **Photograph Log**



## **HOGAR RUTH ACM AND LBP INSPECTION**

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November 17, 2022 and December 7, 2022

Prepared For Hogar Ruth

Calle 15 Bloque 3, Urb Santa Rita, Vega Alta, PR, 00692

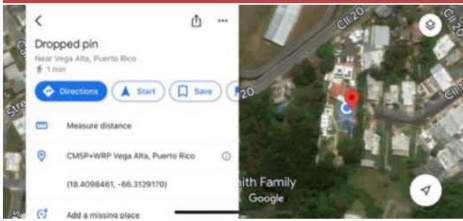
4 Issues Identified

4 Issues Incomplete





FRONT VIEW



LOCATION

LBP MATERIALS WERE FOUND AT SITE (INTACT CONDITION). SACM WAS NOT IDENTIFIED.

# **APPENDIX E**

## **XRF PCS**

## Performance Characteristic Sheet

EFFECTIVE DATE: September 24, 2004

EDITION NO.: 1

### MANUFACTURER AND MODEL:

Make: Niton LLC

Tested Model: XLp 300

Source:  $^{109}\text{Cd}$ 

Note: This PCS is also applicable to the equivalent model variations indicated below, for the Lead-in-Paint K+L variable reading time mode, in the XLi and XLp series:

XLi 300A, XLi 301A, XLi 302A and XLi 303A.

XLp 300A, XLp 301A, XLp 302A and XLp 303A.

XLi 700A, XLi 701A, XLi 702A and XLi 703A.

XLp 700A, XLp 701A, XLp 702A, and XLp 703A.

Note: The XLi and XLp versions refer to the shape of the handle part of the instrument. The differences in the model numbers reflect other modes available, in addition to Lead-in-Paint modes. The manufacturer states that specifications for these instruments are identical for the source, detector, and detector electronics relative to the Lead-in-Paint mode.

## FIELD OPERATION GUIDANCE

### OPERATING PARAMETERS:

Lead-in-Paint K+L variable reading time mode.

### XRF CALIBRATION CHECK LIMITS:

0.8 to 1.2 mg/cm<sup>2</sup> (inclusive)

The calibration of the XRF instrument should be checked using the paint film nearest 1.0 mg/cm<sup>2</sup> in the NIST Standard Reference Material (SRM) used (e.g., for NIST SRM 2579, use the 1.02 mg/cm<sup>2</sup> film).

If readings are outside the acceptable calibration check range, follow the manufacturer's instructions to bring the instruments into control before XRF testing proceeds.

### SUBSTRATE CORRECTION:

For XRF results using Lead-in-Paint K+L variable reading time mode, substrate correction is not needed for:

Brick, Concrete, Drywall, Metal, Plaster, and Wood

### INCONCLUSIVE RANGE OR THRESHOLD:

K+L MODE READING DESCRIPTION	SUBSTRATE	THRESHOLD (mg/cm <sup>2</sup> )
Results not corrected for substrate bias on any substrate	Brick	1.0
	Concrete	1.0
	Drywall	1.0
	Metal	1.0
	Plaster	1.0
	Wood	1.0



## BACKGROUND INFORMATION

### EVALUATION DATA SOURCE AND DATE:

This sheet is supplemental information to be used in conjunction with Chapter 7 of the HUD *Guidelines for the Evaluation and Control of Lead-Based Paint Hazards in Housing* ("HUD Guidelines"). Performance parameters shown on this sheet are calculated from the EPA/HUD evaluation using archived building components. Testing was conducted in August 2004 on 133 testing combinations. The instruments that were used to perform the testing had new sources; one instrument's was installed in November 2003 with 40 mCi initial strength, and the other's was installed June 2004 with 40 mCi initial strength.

### OPERATING PARAMETERS:

Performance parameters shown in this sheet are applicable only when properly operating the instrument using the manufacturer's instructions and procedures described in Chapter 7 of the HUD Guidelines.

### SUBSTRATE CORRECTION VALUE COMPUTATION:

Substrate correction is not needed for brick, concrete, drywall, metal, plaster or wood when using Lead-in-Paint K+L variable reading time mode, the normal operating mode for these instruments. If substrate correction is desired, refer to Chapter 7 of the HUD Guidelines for guidance on correcting XRF results for substrate bias.

### EVALUATING THE QUALITY OF XRF TESTING:

Randomly select ten testing combinations for retesting from each house or from two randomly selected units in multifamily housing. Use the K+L variable time mode readings.

Conduct XRF retesting at the ten testing combinations selected for retesting.

Determine if the XRF testing in the units or house passed or failed the test by applying the steps below.

Compute the Retest Tolerance Limit by the following steps:

Determine XRF results for the original and retest XRF readings. Do not correct the original or retest results for substrate bias. In single-family housing a result is defined as the average of three readings. In multifamily housing, a result is a single reading. Therefore, there will be ten original and ten retest XRF results for each house or for the two selected units.

Calculate the average of the original XRF result and retest XRF result for each testing combination.

Square the average for each testing combination.

Add the ten squared averages together. Call this quantity C.

Multiply the number C by 0.0072. Call this quantity D.

Add the number 0.032 to D. Call this quantity E.

Take the square root of E. Call this quantity F.

Multiply F by 1.645. The result is the Retest Tolerance Limit.

Compute the average of all ten original XRF results.

Compute the average of all ten re-test XRF results.

Find the absolute difference of the two averages.

If the difference is less than the Retest Tolerance Limit, the inspection has passed the retest. If the difference of the overall averages equals or exceeds the Retest Tolerance Limit, this procedure should be repeated with ten new testing combinations. If the difference of the overall averages is equal to or greater than the Retest Tolerance Limit a second time, then the inspection should be considered deficient.

Use of this procedure is estimated to produce a spurious result approximately 1% of the time. That is, results of this procedure will call for further examination when no examination is warranted in approximately 1 out of 100 dwelling units tested.

#### TESTING TIMES:

For the Lead-in-Paint K+L variable reading time mode, the instrument continues to read until it is moved away from the testing surface, terminated by the user, or the instrument software indicates the reading is complete. The following table provides testing time information for this testing mode. The times have been adjusted for source decay, normalized to the initial source strengths as noted above. Source strength and type of substrate will affect actual testing times. At the time of testing, the instruments had source strengths of 26.6 and 36.6 mCi.

Testing Times Using K+L Reading Mode (Seconds)						
	All Data			Median for laboratory-measured lead levels (mg/cm <sup>2</sup> )		
Substrate	25 <sup>th</sup> Percentile	Median	75 <sup>th</sup> Percentile	Pb < 0.25	0.25 ≤ Pb < 1.0	1.0 ≤ Pb
Wood Drywall	4	11	19	11	15	11
Metal	4	12	18	9	12	14
Brick Concrete Plaster	8	16	22	15	18	16

#### CLASSIFICATION RESULTS:

XRF results are classified as positive if they are greater than or equal to the threshold, and negative if they are less than the threshold.

#### DOCUMENTATION:

A document titled *Methodology for XRF Performance Characteristic Sheets* provides an explanation of the statistical methodology used to construct the data in the sheets, and provides empirical results from using the recommended inconclusive ranges or thresholds for specific XRF instruments. For a copy of this document call the National Lead Information Center Clearinghouse at 1-800-424-LEAD.

This XRF Performance Characteristic Sheet was developed by the Midwest Research Institute (MRI) and QuanTech, Inc., under a contract between MRI and the XRF manufacturer. HUD has determined that the information provided here is acceptable when used as guidance in conjunction with Chapter 7, Lead-Based Paint Inspection, of HUD's *Guidelines for the Evaluation and Control of Lead-Based Paint Hazards in Housing*.

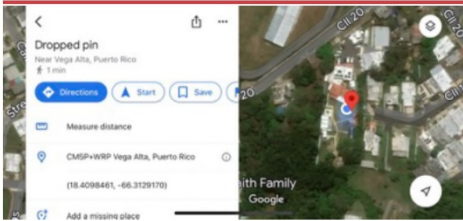
# **APPENDIX F**

## **LBP Photograph**





**FRONT VIEW**



**LOCATION**

**LBP MATERIALS WERE FOUND AT SITE (INTACT CONDITION). SACM WAS NOT IDENTIFIED.**



**118**

First floor, kitchen, beige wall ceramic,  
ABCD, 240 ft<sup>2</sup>, 2.0 mg/cm<sup>2</sup>

**APPENDIX G - TABLE 1**



NITON Corporation  
XRF Serial 08988  
900 Middlesex Turnpike, Billerica, MA 01821

Index	Reading No	Time	Results	Component	Substrate	Side	Condition	Color	Site	Floor	Room	PbC	PbL	PbK
1	105	2022-11-16 09:55	Positive			CALIBRATE						1.10 ± 0.10	1.10 ± 0.10	< LOD : 0.82
2	106	2022-11-16 09:55	Positive			CALIBRATE						1.10 ± 0.10	1.10 ± 0.10	< LOD : 1.05
3	107	2022-11-16 09:56	Positive			CALIBRATE						1.00 ± 0.10	1.00 ± 0.10	< LOD : 0.60
4	108	2022-11-16 09:58	Negative	WALL	CONCRETE	B	FAIR	WHITE	HOGAR RUTH	FIRST	EXTERIOR	< LOD : 0.03	< LOD : 0.03	< LOD : 1.91
5	109	2022-11-16 09:59	Negative	WINDOW	CONCRETE	B	FAIR	BEIGE	HOGAR RUTH	FIRST	KITCHEN	< LOD : 0.03	< LOD : 0.03	< LOD : 2.28
6	110	2022-11-16 09:59	Negative	WINDOW	CONCRETE	B	FAIR	BEIGE	HOGAR RUTH	FIRST	KITCHEN	< LOD : 0.03	< LOD : 0.03	< LOD : 2.56
7	111	2022-11-16 10:04	Negative	WALL	CONCRETE	ABCD	FAIR	GRAY	HOGAR RUTH	FIRST	KITCHEN	< LOD : 0.03	< LOD : 0.03	< LOD : 1.82
8	112	2022-11-16 10:04	Null	WALL	CONCRETE	ABCD	FAIR	GRAY	HOGAR RUTH	FIRST	KITCHEN	< LOD : 0.03	< LOD : 0.03	< LOD : 3.90
9	113	2022-11-16 10:05	Negative	WALL	CONCRETE	ABCD	FAIR	GRAY	HOGAR RUTH	FIRST	KITCHEN	< LOD : 0.03	< LOD : 0.03	< LOD : 1.87
10	114	2022-11-16 10:05	Negative	WALL	CONCRETE	ABCD	FAIR	GRAY	HOGAR RUTH	FIRST	KITCHEN	< LOD : 0.03	< LOD : 0.03	< LOD : 1.65
11	115	2022-11-16 10:05	Null	WALL	CONCRETE	ABCD	FAIR	GRAY	HOGAR RUTH	FIRST	KITCHEN	< LOD : 0.03	< LOD : 0.03	< LOD : 0.90
12	116	2022-11-16 10:06	Negative	WALL	CONCRETE	ABCD	FAIR	GRAY	HOGAR RUTH	FIRST	KITCHEN	< LOD : 0.03	< LOD : 0.03	< LOD : 1.80
13	117	2022-11-16 10:06	Negative	FLOOR	CERAMIC	LOWER	FAIR	BEIGE	HOGAR RUTH	FIRST	KITCHEN	< LOD : 0.60	< LOD : 0.60	< LOD : 5.55
14	118	2022-11-16 10:07	Positive	WALL	CERAMIC	ABCD	FAIR	WHITE	HOGAR RUTH	FIRST	KITCHEN	2.00 ± 1.00	1.10 ± 0.20	2.00 ± 1.00
15	119	2022-11-16 10:09	Negative	SINK	CERAMIC	B	FAIR	WHITE	HOGAR RUTH	FIRST	KITCHEN	< LOD : 0.23	< LOD : 0.23	< LOD : 5.02
16	120	2022-11-16 10:09	Negative	DOOR	METAL	A	FAIR	WHITE	HOGAR RUTH	FIRST	KITCHEN	< LOD : 0.03	< LOD : 0.03	< LOD : 2.39
17	121	2022-11-16 10:11	Negative	CEILING	CONCRETE	UPPER	FAIR	WHITE	HOGAR RUTH	FIRST	KITCHEN	< LOD : 0.03	< LOD : 0.03	< LOD : 1.88
18	122	2022-11-16 10:13	Negative			CALIBRATE						0.90 ± 0.10	0.90 ± 0.10	< LOD : 1.20
19	123	2022-11-16 10:14	Positive			CALIBRATE						1.00 ± 0.10	1.00 ± 0.10	< LOD : 0.60
20	124	2022-11-16 10:15	Negative			CALIBRATE						0.90 ± 0.10	0.90 ± 0.10	< LOD : 1.20





NITON Corporation  
XRF Serial 08988  
900 Middlesex Turnpike, Billerica, MA 01821

Index	Reading No	Time	Component	Substrate	Side	Condition	Color	Site	Floor	Room	Results	PbC	PbL	PbK
1	779	2022-12-07 14:31			CALIBRATE						Positive	1.10 ± 0.10	1.10 ± 0.10	< LOD : 1.03
2	780	2022-12-07 14:31			CALIBRATE						Positive	1.20 ± 0.10	1.20 ± 0.10	< LOD : 1.35
3	781	2022-12-07 14:31			CALIBRATE						Positive	1.10 ± 0.10	1.10 ± 0.10	< LOD : 1.04
4	782	2022-12-07 14:33	WALL	CONCRETE	C	FAIR	BROWN	HOGAR RUTH	FIRST	OUTSIDE COMEDOR	Negative	< LOD : 0.03	< LOD : 0.03	< LOD : 1.46
5	783	2022-12-07 14:33	WALL	CONCRETE	C	FAIR	BROWN	HOGAR RUTH	FIRST	OUTSIDE COMEDOR	Negative	< LOD : 0.03	< LOD : 0.03	< LOD : 1.66
6	784	2022-12-07 14:34	WINDOW	METAL	C	FAIR	BEIGE	HOGAR RUTH	FIRST	OUTSIDE COMEDOR	Negative	< LOD : 0.03	< LOD : 0.03	< LOD : 2.10
7	785	2022-12-07 14:34	WINDOW	METAL	C	FAIR	BEIGE	HOGAR RUTH	FIRST	OUTSIDE COMEDOR	Negative	< LOD : 0.03	< LOD : 0.03	< LOD : 2.30
8	786	2022-12-07 14:36	WALL	CONCRETE	ABCD	FAIR	GRAY	HOGAR RUTH	FIRST	COMEDOR	Negative	< LOD : 0.03	< LOD : 0.03	< LOD : 1.88
9	787	2022-12-07 14:36	WALL	CONCRETE	ABCD	FAIR	GRAY	HOGAR RUTH	FIRST	COMEDOR	Negative	< LOD : 0.03	< LOD : 0.03	< LOD : 1.27
10	788	2022-12-07 14:37	WALL	CONCRETE	ABCD	FAIR	GRAY	HOGAR RUTH	FIRST	COMEDOR	Negative	< LOD : 0.03	< LOD : 0.03	< LOD : 1.05
11	789	2022-12-07 14:37	WALL	CONCRETE	ABCD	FAIR	GRAY	HOGAR RUTH	FIRST	COMEDOR	Negative	< LOD : 0.03	< LOD : 0.03	< LOD : 1.28
12	790	2022-12-07 14:38	FLOOR	CERAMIC	LOWER	FAIR	BEIGE	HOGAR RUTH	FIRST	COMEDOR	Negative	< LOD : 0.03	< LOD : 0.03	< LOD : 1.65
13	791	2022-12-07 14:38	CEILING	CONCRETE	UPPER	FAIR	WHITE	HOGAR RUTH	FIRST	COMEDOR	Negative	< LOD : 0.03	< LOD : 0.03	< LOD : 1.86
14	792	2022-12-07 14:40			CALIBRATE						Positive	1.10 ± 0.10	1.10 ± 0.10	< LOD : 0.75
15	793	2022-12-07 14:40			CALIBRATE						Negative	0.90 ± 0.10	0.90 ± 0.10	< LOD : 1.35
16	794	2022-12-07 14:41			CALIBRATE						Positive	1.20 ± 0.10	1.20 ± 0.10	< LOD : 1.42

## **Environmental Assessment**

### **Determination and Compliance Findings for HUD-assisted Projects 24 CFR Part 58**

## **Appendix 5: SHPO Consultation Package**



## GOVERNMENT OF PUERTO RICO

### STATE HISTORIC PRESERVATION OFFICE

Executive Director | Carlos A. Rubio-Cancela | [carubio@prshpo.pr.gov](mailto:carubio@prshpo.pr.gov)

Wednesday, April 26, 2023

#### Lauren Bair Poche

HORNE- Architectural Historian Manager  
10000 Perkins Rowe, Suite 610 Bldg. G  
Baton Rouge, LA 70810

SHPO: 03-27-23-01 HOGAR RUTH PARA MUJERES MALTRATADAS INC.  
LOCALIZADO EN EL BO. ESPINOSA CALLE 15 SOLAR A, VEGA ALTA,  
PUERTO RICO/ PR-SIH-00011B

Dear Ms. Poche,

Our Office has received and reviewed the information submitted for the above referenced project in accordance with 54 USC 306108 (commonly known as Section 106 of the *National Historic Preservation Act, as amended*) and 36 CFR Part 800: *Protection of Historic Properties* from the Advisory Council on Historic Preservation.

Our records support your finding of **no historic properties affected** within the project's area of potential effects.

Please note that should the Agency discover other historic properties at any point during project implementation, you should notify the SHPO immediately. If you have any questions concerning our comments, do not hesitate to contact our Office.

Sincerely,

Carlos A. Rubio-Cancela  
State Historic Preservation Officer

CARC/GMO/MB/MDT





March 27, 2023

Carlos A. Rubio Cancela  
Director Ejecutivo  
Oficina Estatal de Conservación Histórica  
Cuartel de Ballajá (Tercer Piso)  
San Juan, PR 00902-3935

## **Puerto Rico Disaster Recovery, CDBG-DR Social Interest Housing (SIH) Program**

### **Section 106 NHPA Effect Determination Submittal: Hogar Ruth para Mujeres Maltratadas Inc., Bo. Espinoza Calle 5 Solar A, Vega Alta, Puerto Rico - *No Historic Properties Affected***

Dear Architect Rubio Cancela,

On February 9, 2018, an allocation of Community Development Block Grant - Disaster Recovery (CDBG-DR) funds was approved by the United States Department of Housing and Urban Development (HUD) under the Federal Register Volume 83, No. 28, 83 FR 5844, to assist the Commonwealth of Puerto Rico in meeting unmet needs in the wake of Hurricanes Irma and Maria. On August 14, 2018, an additional \$8.22 billion recovery allocation was allocated to Puerto Rico under the Federal Register Volume 83, No. 157, 83 FR 40314. With these funding allocations, the Puerto Rico Department of Housing (PRDOH) aims to lead a comprehensive and transparent recovery for the benefit of Puerto Rico residents. To faithfully comply with HUD's environmental requirements, the Puerto Rico Department of Housing contracted Horne Federal, LLC (HORNE) to provide environmental records review services that will support the Department's objectives for Puerto Rico Housing (PRDOH) regarding CDBG-DR.

On behalf of PRDOH, and the subrecipient for this project, Hogar Ruth para Mujeres Maltratadas Inc. we are submitting documentation for the proposed expansion of their facilities which includes new construction and improvements to existing facility buildings located at Bo. Espinosa, Calle 15 Solar A in the municipality of Vega Alta. The project area is not in or adjacent to a National Register of Historic Places listed or eligible district, and the buildings are less than 45 years in age. The full scope of work is described in the submitted documentation, which includes mapping, photographs, and the proposed improvement floor plans for the project. Based on the provided documentation, the Program requests a concurrence that a determination of *No Historic Properties Affected* is appropriate for this undertaking.


Please contact me by email at [lauren.poche@horne.com](mailto:lauren.poche@horne.com) or phone at 225-405-7676, or Ms. Sharon Meléndez Ortiz at [sharon.melendez@hornepr.com](mailto:sharon.melendez@hornepr.com) with any questions or concerns.

Kindest regards,



**Lauren Bair Poche, M.A.**

Architectural Historian, Historic Preservation Senior Manager  
Attachments

<b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b> <b>SOCIAL INTEREST HOUSING PROGRAM (SIH)</b> <b>Section 106 NHPA Effect Determination</b>		 GOVERNMENT OF PUERTO RICO DEPARTMENT OF HOUSING
<b>Subrecipient: Hogar Ruth para Mujeres Maltratadas Inc.</b>		
<b>Program ID Number: PR-SIH-00011B</b>		
<b>Project Name: Hogar Ruth para Mujeres Maltratadas Inc.</b>		


<b>Project Location:</b> Bo. Espinosa Calle 15 Solar A, Vega Alta, PR 00692	
<b>Project Coordinates:</b> 18.409845 -66.312998	
<b>TPID (Número de Catastro):</b> 058-090-064-58-001	
<b>Type of Undertaking:</b> <input type="checkbox"/> Substantial Repair/Improvements <input checked="" type="checkbox"/> New Construction	
<b>Construction Date (AH est.):</b> c1983	<b>Property Size (acres):</b> 0.88

<b>SOI-Qualified Architect/Architectural Historian:</b> n/a
<b>Date Reviewed:</b> n/a
<b>SOI-Qualified Archaeologist:</b> Jaqueline López Meléndez
<b>Date Reviewed:</b> January 26, 2023, March 17, 2023-REVISED

In compliance with Section 106 of the National Historic Preservation Act (NHPA), the Program is responsible for identifying historic properties listed in the National Register of Historic Places (NRHP) and any properties not listed that would be considered eligible for listing that are located within the geographic area of potential effects (APE) of the proposed project and assessing the potential effects of its undertakings on these historic properties.

### Project Description (Undertaking)

The Hogar Ruth is a non-profit institution that offers free services to women victims of domestic violence, their daughters and sons, in complete confidentiality. The Hogar Ruth plans to expand its facilities with an increase in residential density of 50 % in order to serve more people. The site where the project will be developed has an administration building, residential building, cafeteria, library, children's play area, ramps, sidewalks, warehouse and parking lot. These facilities adjacent to the main building were built according to aerial photos between 2000 and 2006. The proposed Project includes the construction of four concrete and CMU structures units for people with disabilities in the southwest side of the existing facilities. Each unit has a dimension of 13' 1 1/2" x 15'. Two new bathrooms (5' x 15') in compliance with the American with Disabilities Act (ADA) will be constructed for the four proposed units. The proposed bedroom area footprint including the four units and the two bathrooms has a total area of 1,263.50 square feet. In addition, the Project proposes the extension of the existing cafeteria building to provide access (Lobby Area) to the bedroom area. This extension includes the partial demolition of two existing walls (approx. 12' 4" and 12' 6" long). The proposed expansion is 220 square feet. The Project also includes improvements to the existing kitchen by an extension of 169.36 square feet to the southeast side of the structure. The kitchen expansion includes the partial demolition of one exiting wall

<b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b> <b>SOCIAL INTEREST HOUSING PROGRAM (SIH)</b> <b>Section 106 NHPA Effect Determination</b>	 GOVERNMENT OF PUERTO RICO DEPARTMENT OF HOUSING
<b>Subrecipient: Hogar Ruth para Mujeres Maltratadas Inc.</b>	
<b>Program ID Number: PR-SIH-00011B</b>	
<b>Project Name: Hogar Ruth para Mujeres Maltratadas Inc.</b>	

(approx. 10' long). The proposed Project includes improvements to existing ramps and accesses. The foundation for the construction of the residential area will have a maximum depth of approximately 2.29 meters and that of the kitchen will be approximately 1.67 meters.

### **Area of Potential Effects**

As defined in 36 CFR §800.16(d), the area of potential effects (APE) is the geographic area or areas within which an undertaking may directly or indirectly cause changes in the character or use of historic properties if any such properties exist. Based on this definition and the nature and scope of the Undertaking, we have determined that the APE for this project is the 0.88 acre property where the expansion of the existing facilities will take place.

The project will be developed on a flat 0.88-acre site located in the urban area of Vega Alta. It is bordered to the northwest and east by residences, to the north by a public street, and to the west and south by vacant lots. The existing vegetation consists of grass and some trees located mostly on the south and west borders. The indirect/visual APE is defined as the viewshed of the proposed project.

### **Identification of Historic Properties - Archaeology**

The area that now occupies the municipality of Vega Alta has been populated since before the European colonization. Fourteen (14) pre-Columbian sites have been reported within this municipality.


The town of Vega Alta was officially organized in 1775, in an area located about 1.10 miles northwest of the proposed project area. Historically, this region was dedicated to the cultivation and processing of sugar cane, and cattle. On their lands they cultivated bananas, rice, corn, sweet potatoes, coconuts and coffee.

There are no archaeological sites and/or NRHP listed/eligible historic properties within a quarter-mile radius of the property. The closest archaeological site of the PR-SIH-00011B project is the site known as La Pared (VA0100014) located 0.36 miles southwest.

Three (3) archaeological surveys have been conducted within a 0.25-miles distance from the proposed project area, one with positive results (see Table). Gus Pantel conducted a Phase IA archaeological assessment for the Finca La Esperanza project where he reported a Pre-Columbian site located more than 0.25 miles from the project area.

On November 17, 2022 we visually inspected the project area. The property has good visibility. In addition to the main building in the project area there is a small library to the south of the



<b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b> <b>SOCIAL INTEREST HOUSING PROGRAM (SIH)</b> <b>Section 106 NHPA Effect Determination</b>	 GOVERNMENT OF PUERTO RICO DEPARTMENT OF HOUSING
<b>Subrecipient: Hogar Ruth para Mujeres Maltratadas Inc.</b>	
<b>Program ID Number: PR-SIH-00011B</b>	
<b>Project Name: Hogar Ruth para Mujeres Maltratadas Inc.</b>	

property and a playground among other facilities. Although part of the land has grass, there is a good part of the surface exposed, so we were able to observe it without any problems. During the visual inspection we found no evidence of archaeological cultural resources within the APE. Previous impacts to the parcel during the construction of the administrative buildings, cafeteria, housing, library, parking lot, sidewalks and ramps indicate that the area has low sensitivity to archaeological resources.

### **Determination of Potential Effects**


Based on the results of our historic property identification efforts it has been determined that there are no historic properties within the indirect/visual APE.

Review of existing archaeological background information and the results of the surface walkover to the project area indicate that there are no historic properties or cultural resources within the 0.25-miles radius study area or within the project APE.

Review of existing background information found that the proposed project area is not within the boundaries or visual APE of an eligible / listed National Register of Historic Places (NRHP) nor to a Traditional Urban Center / Historic District. Visual inspection of the APE and its surroundings found no evidence of cultural materials.

Construction impacts the expansion of the cafeteria and residential area will occur in areas previously impacted by the construction of the existing building.

We have concluded that the undertaking will not affect any historic properties and that a determination of No Historic Properties Affected is appropriate for this project.

<b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b> <b>SOCIAL INTEREST HOUSING PROGRAM (SIH)</b> <b>Section 106 NHPA Effect Determination</b>	 GOVERNMENT OF PUERTO RICO DEPARTMENT OF HOUSING
<b>Subrecipient: Hogar Ruth para Mujeres Maltratadas Inc.</b>	
<b>Program ID Number: PR-SIH-00011B</b>	
<b>Project Name: Hogar Ruth para Mujeres Maltratadas Inc.</b>	

### Recommendation

The Puerto Rico Department of Housing requests that the Puerto Rico SHPO concur that the following determination is appropriate for the undertaking (Choose One):

☒ No Historic Properties Affected

☐ No Adverse Effect


Condition (if applicable):

☐ Adverse Effect

Proposed Resolution (if applicable)

### This Section is to be Completed by SHPO Staff Only

The Puerto Rico State Historic Preservation Office has reviewed the above information and:  <input type="checkbox"/> <b>Concurs</b> with the information provided. <input type="checkbox"/> <b>Does not concur</b> with the information provided.	
<b>Comments:</b>          	
Carlos Rubio-Cancela State Historic Preservation Officer	Date:

<b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b> <b>SOCIAL INTEREST HOUSING PROGRAM (SIH)</b> <b>Section 106 NHPA Effect Determination</b>	 GOVERNMENT OF PUERTO RICO DEPARTMENT OF HOUSING
<b>Subrecipient: Hogar Ruth para Mujeres Maltratadas Inc.</b>	
<b>Program ID Number: PR-SIH-00011B</b>	
<b>Project Name: Hogar Ruth para Mujeres Maltratadas Inc.</b>	

**Table of archaeological sites, historic properties, and historic districts located within the project area or 0.25 miles or less**

Name	SHPO id #	IPRC id #	Distance/Direction	Description	NRHP (listed, eligible, non- eligible, no data)
None	-	-	-	-	-

**Table of cultural resources surveys conducted within the project area or 0.25 miles or less**

Author	Phase/Title	Year	SHPO / IPRC code	Results	Distance/ Direction
Agamemnon Gus Pantel	IA/ Finca La Esperanza	1991	ICP/CAT-VA-91-03-03	Positive. Pre-Columbian site located more than 0.25 miles away	0.07 mi SE
Juan González	IA-IB/ Vega Alta Ford	2006	ICP/CAT-VA-06-10-06	Negative	0.25 mi NE
Lydia Ivette Ortiz	IA/ Torre de Cristal Urb. La Esperanza Int. Calle 2 y 3	1996	ICP/CAT-VA-96-04-08	Negative	0.24 mi NE



PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM

SOCIAL INTEREST HOUSING PROGRAM (SIH)

Section 106 NHPA Effect Determination

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Project Name: Hogar Ruth para Mujeres Maltratadas Inc.



GOVERNMENT OF PUERTO RICO  
DEPARTMENT OF HOUSING

Figure 1. Project (Parcel) Location – Area of Potential Effect Map (Aerial)





Figure 2. Project (Parcel) Location - Aerial Map

**BYA** BEHAR-YBARRA & ASSOCIATES LLC  
CONSULTING ENGINEERS, ARCHITECTS AND PLANNERS  
Corporación, 1 Suite 4-5, Calle Ponce 554, Arroyo, San Juan, PR, 00950 Tel: (787) 789-0295

Application ID: PR-SIH-00011B

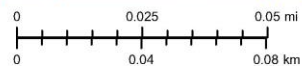
Hogar Ruth para Mujeres Maltratadas, Inc.  
Bo. Espinosa Calle 15 Solar A  
Vega Alta, PR 00692  
Catastro: 058-090-064-58-001  
Lat: 18.409845, Lon: -66.312998

**Location: Aerial Map**  
Puerto Rico Department of Housing - SIH



**Legend**

- PR-SIH-00011B
- PR-SIH-00011B Parcel
- CRIM Parcels



Service Layer Credits: Sources: Esri, HERE, DeLorme, USGS, Intermap, Incorp. P Corp., NRCAN, Esri Japan, METI, Esri China (Hong Kong), Esri (Thailand), MapmyIndia, © OpenStreetMap contributors, and the GIS User Community  
Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community and Google Earth

**Source**

Centro de Recaudación de Ingresos Municipales (CRIM)  
<https://catastro.crimpr.net/cdprpc/>

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM

SOCIAL INTEREST HOUSING PROGRAM (SIH)

Section 106 NHPA Effect Determination

Subrecipient: Hogar Ruth para Mujeres Maltratadas Inc.

Program ID Number: PR-SIH-00011B

Project Name: Hogar Ruth para Mujeres Maltratadas Inc.



GOVERNMENT OF PUERTO RICO  
DEPARTMENT OF HOUSING

Figure 3. Project (Parcel) Location - USGS Topographic Map

**BYA** BEHAR-YBARRA & ASSOCIATES LLC  
CONSULTING ENGINEERS, ARCHITECTS AND PLANNERS  
Corral, Route 1 Suite J-3, Calle Ponce 554, Arroyo, San Juan, PR, 00980 Tel: (787) 763-6292

Appication ID: PR-SIH-00011B

Location: USGS Topographic Map  
Puerto Rico Department of Housing - SIH

Hogar Ruth para Mujeres Maltratadas, Inc.  
Bo. Espinosa Calle 15 Solar A  
Vega Alta, PR 00692  
Catastro: 058-090-064-58-001  
Lat: 18.409845, Lon: -66.312998

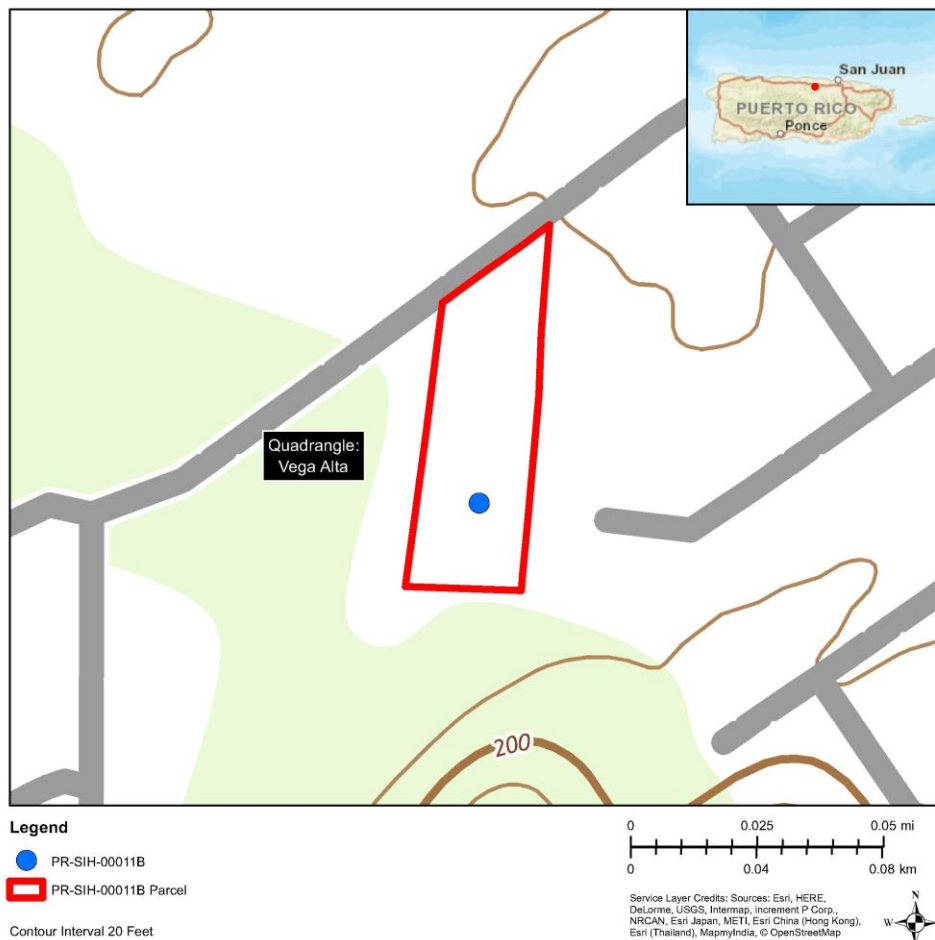
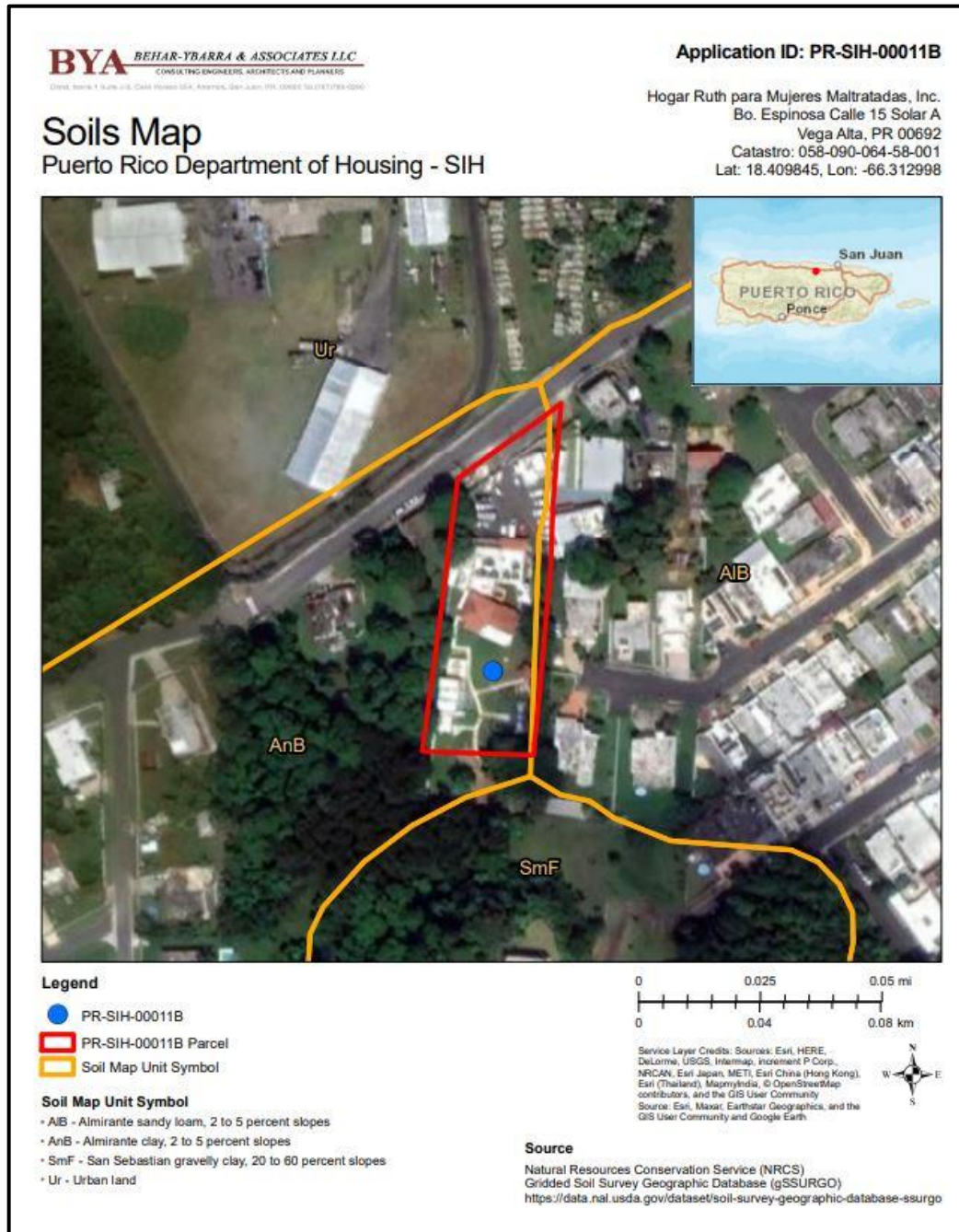







Figure 4. Project (Parcel) Location – Soils Map



<b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b> <b>SOCIAL INTEREST HOUSING PROGRAM (SIH)</b> <b>Section 106 NHPA Effect Determination</b>		 GOVERNMENT OF PUERTO RICO DEPARTMENT OF HOUSING
<b>Subrecipient: Hogar Ruth para Mujeres Maltratadas Inc.</b>		
<b>Program ID Number: PR-SIH-00011B</b>		
<b>Project Name: Hogar Ruth para Mujeres Maltratadas Inc.</b>		

## SOCIAL INTEREST HOUSING PROGRAM (SIH)



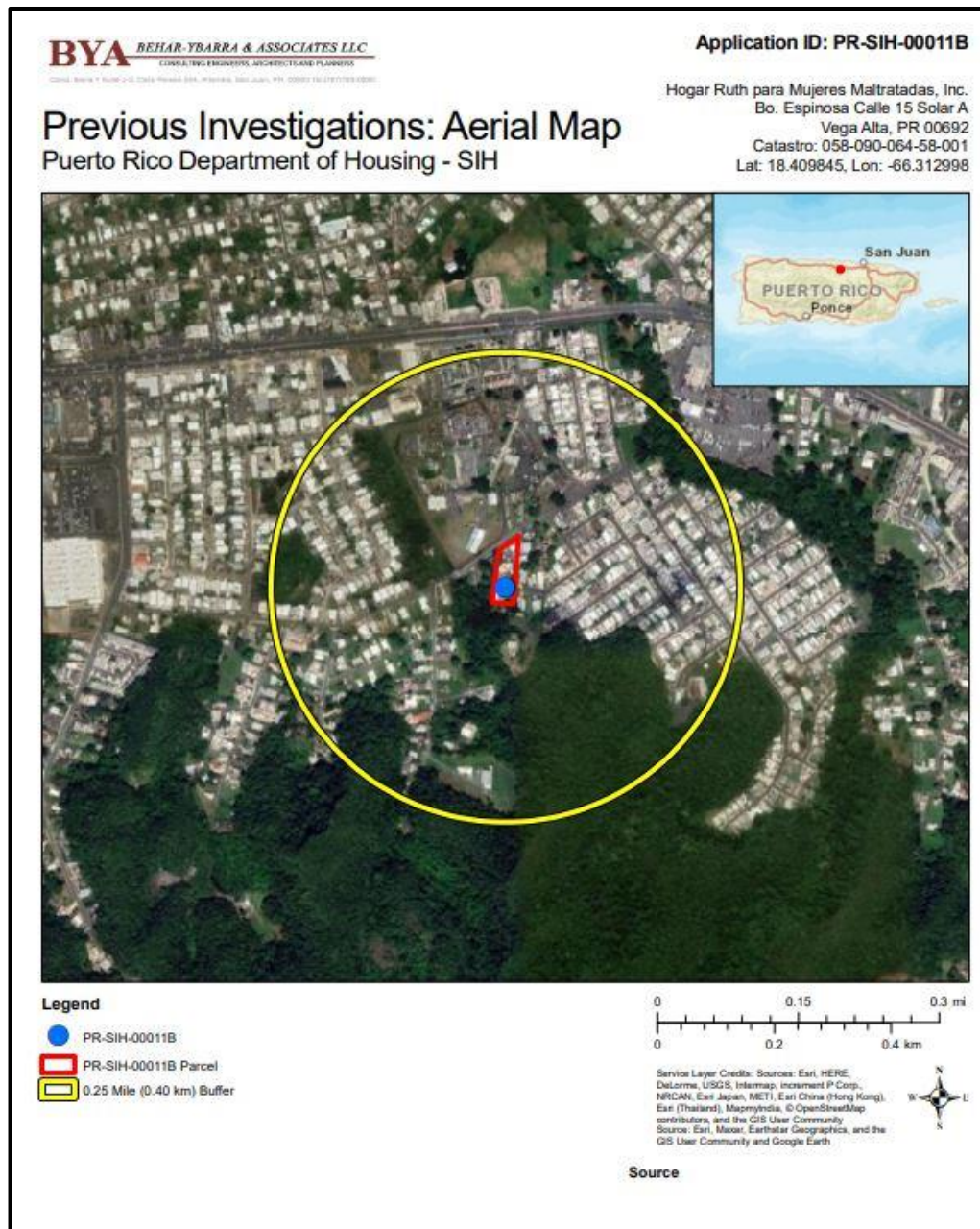
GOVERNMENT OF PUERTO RICO  
DEPARTMENT OF HOUSING

**Subrecipient: Hogar Ruth para Mujeres Maltratadas Inc.**

**Program ID Number: PR-SIH-00011B**

**Project Name: Hogar Ruth para Mujeres Maltratadas Inc.**

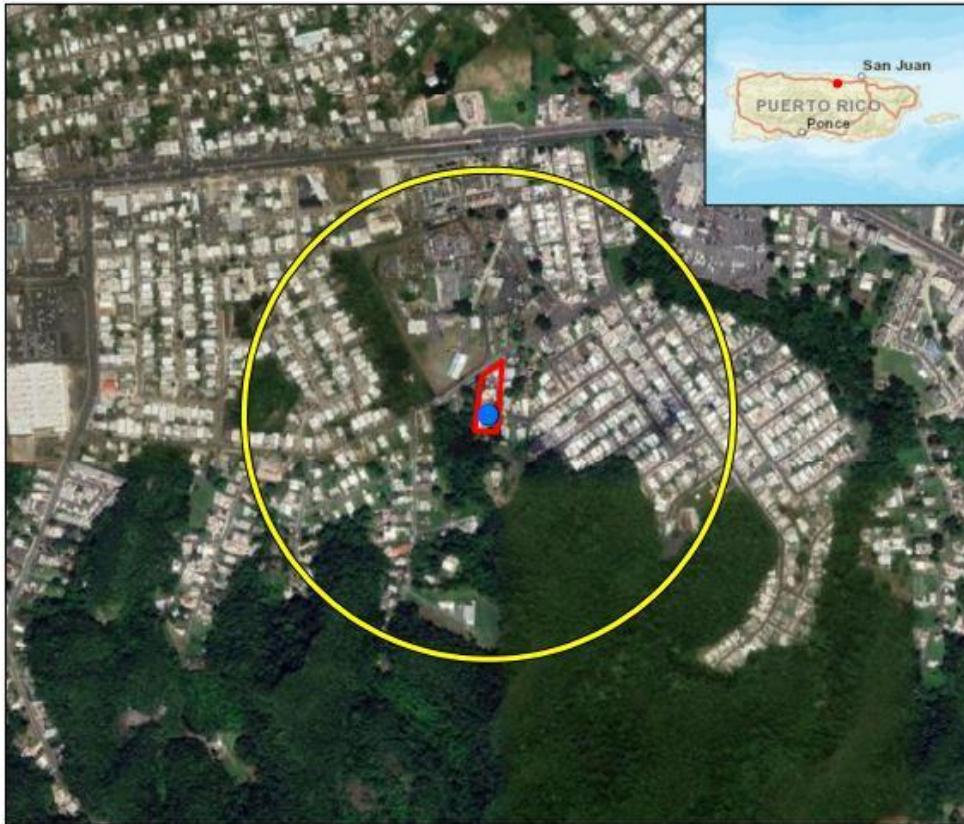
**Figure 5. Project (Parcel) Location with Previous Investigations and Recorded Historic Properties - Aerial Map**





Application ID: PR-SIH-00011B

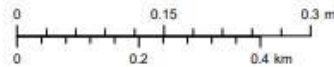
Hogar Ruth para Mujeres Maltratadas, Inc.  
Bo. Espinosa Calle 15 Solar A  
Vega Alta, PR 00692  
Catastro: 058-090-064-58-001  
Lat: 18.409845, Lon: -66.312998

Previous Investigations: Aerial Map  
Puerto Rico Department of Housing - SIH



### Legend

-  PR-SIH-00011B  
 PR-SIH-00011B Parcel  
 0.25 Mile (0.40 km) Buffer



Service Layer Credits: Sources: Esri, HERE, DeLorme, USGS, Intermap, increment P Corp., NRCAN, Esri Japan, METI, Esri China (Hong Kong), Swisstopo, Mapbox India, © OpenStreetMap contributors, and the GIS User Community  
Sources: Esri, Mapbox, Earthstar Geographics, and the GIS User Community and Google Earth



**Source**





**Figure 6. Project (Parcel) Location with Previous Investigations and Recorded Historic Properties -  
USGS Topographic Map**

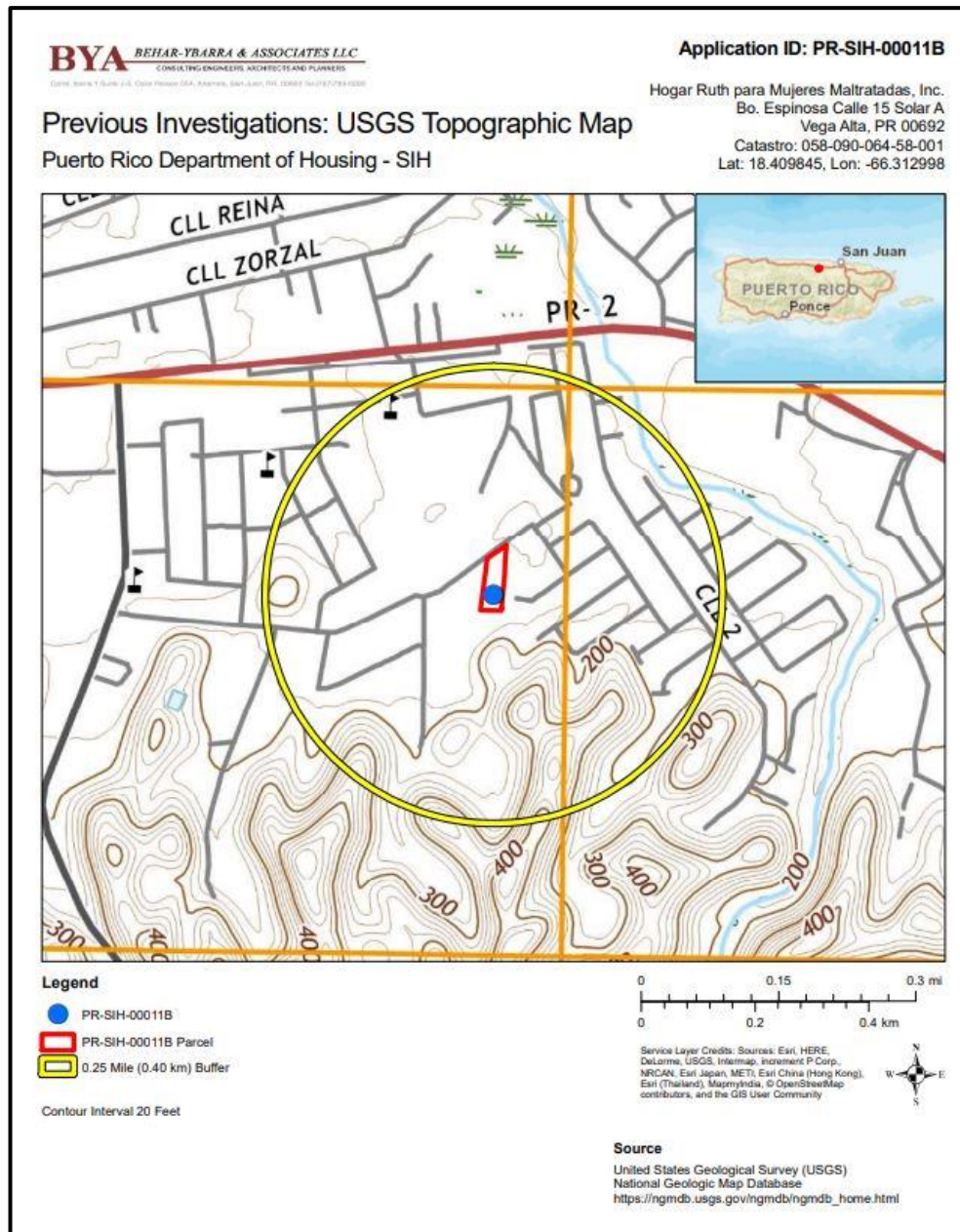
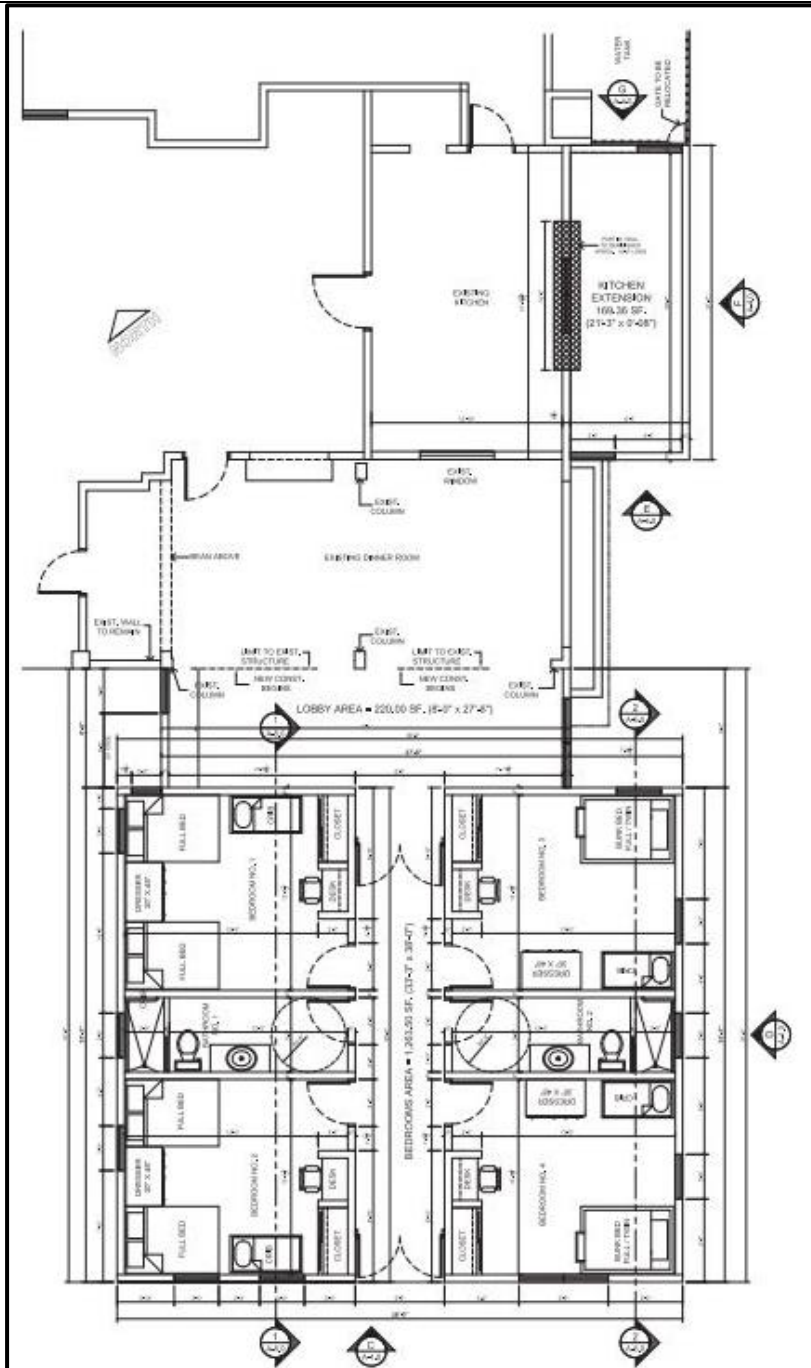






Figure 7. Proposed Improvement floor plan



PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM

SOCIAL INTEREST HOUSING PROGRAM (SIH)

Section 106 NHPA Effect Determination

Subrecipient: Hogar Ruth para Mujeres Maltratadas Inc.

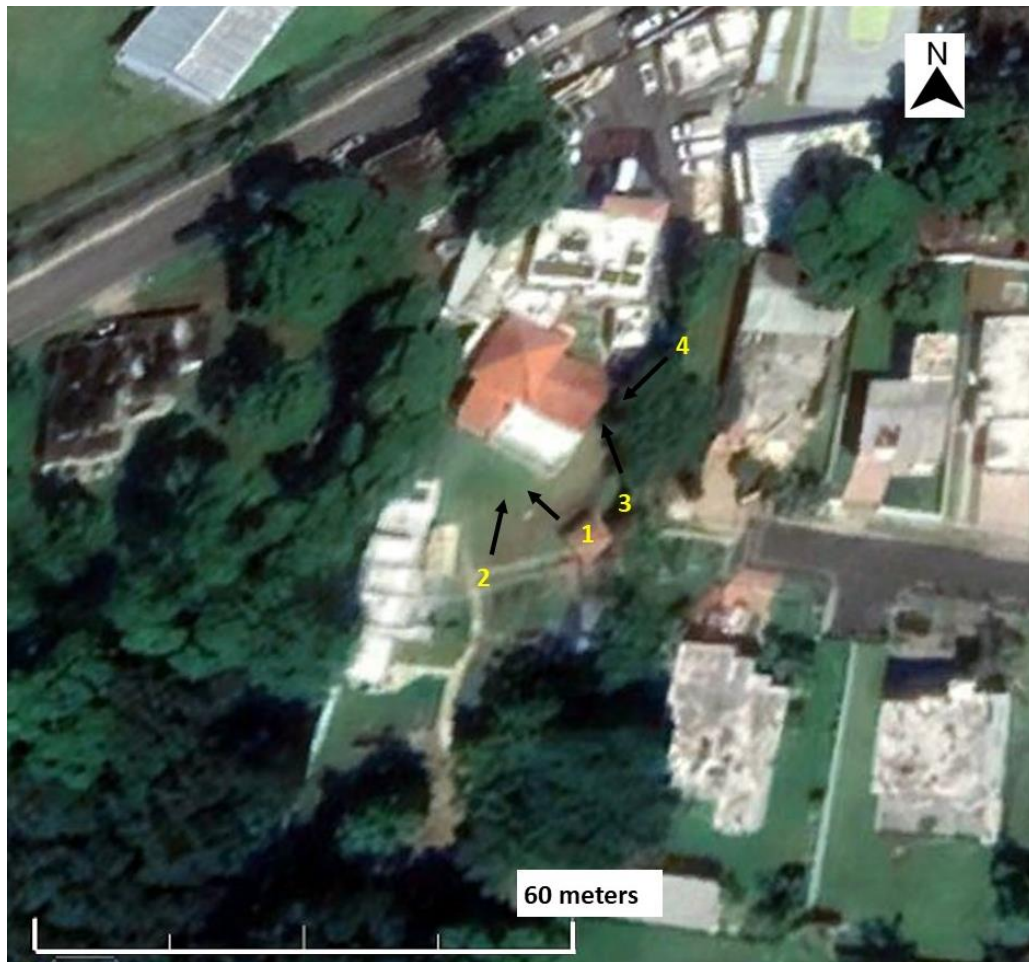


GOVERNMENT OF PUERTO RICO  
DEPARTMENT OF HOUSING

Program ID Number: PR-SIH-00011B

Project Name: Hogar Ruth para Mujeres Maltratadas Inc.

Figure 8. Photograph Key



**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM**

**SOCIAL INTEREST HOUSING PROGRAM (SIH)**

**Section 106 NHPA Effect Determination**



GOVERNMENT OF PUERTO RICO  
DEPARTMENT OF HOUSING

**Subrecipient: Hogar Ruth para Mujeres Maltratadas Inc.**

**Program ID Number: PR-SIH-00011B**

**Project Name: Hogar Ruth para Mujeres Maltratadas Inc.**



**Photo #: 1**

**Description (include direction): General view where the new residential area will be built, looking northwest.**

**Date: November 17, 2022**



**Photo #: 2**

**Description (include direction): General view where the new residential area will be built, looking northeast.**

**Date: November 17, 2022**



**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM**

**SOCIAL INTEREST HOUSING PROGRAM (SIH)**

**Section 106 NHPA Effect Determination**



GOVERNMENT OF PUERTO RICO  
DEPARTMENT OF HOUSING

**Subrecipient: Hogar Ruth para Mujeres Maltratadas Inc.**

**Program ID Number: PR-SIH-00011B**

**Project Name: Hogar Ruth para Mujeres Maltratadas Inc.**



**Photo #: 3**

**Description (include direction): General view of the site where the cafeteria expansion works will take place, looking northwest.**

**Date: November 17, 2022**



**Photo #: 4**

**Description (include direction): General view of the site where the cafeteria expansion works will take place, looking southwest.**

**Date: November 17, 2022**



October 20, 2022

**Arch. Carlos A. Rubio Cancela**

Executive Director

State Historic Preservation Officer

Cuartel de Ballajá Bldg.

San Juan, Puerto Rico

**Re: Authorization to Submit Documents**

Dear Arch. Rubio Cancela:

The U.S. Department of Housing (HUD) approved the allocations of Community Development Block Grant (CDBG-DR) funds on February 9, 2018. It also approved the allocation of Community Development Block Grant Mitigation (CDBG-MIT) funds on January 27, 2020. The purpose of these allocations is to address unsatisfied needs as a result of Hurricanes Irma and Maria in September 2017; and to carry out strategic and high-impact activities to mitigate disaster risks and reduce future losses.

To comply with the environmental requirements established by HUD, the Department of Housing of Puerto Rico (PRDOH) contracted Horne Federal LLC to provide environmental registry review services, among others, that will support the objectives of the agenda for both CDBG-DR and CDBG -MIT Programs.

In line to expedite the processes, Horne Federal LLC, is authorized to submit to the State Historic Preservation Officer, documentation of projects related to both the CDBG-DR and CDBG-MIT on behalf of PRDOH.

Cordially,

  
Juan C. Pérez Bofill, P.E. M.Eng  
Director of Disaster Recovery  
CDBG DR-MIT

**Environmental Assessment**

**Determination and Compliance Findings for HUD-assisted Projects 24 CFR Part 58**

**Appendix 6: Published list of Puerto Rico  
Nonattainment/Maintenance Status for each country by year**





**You are here:** EPA Home > Green Book > >National Area and County-Level Multi-Pollutant Information >Puerto Rico Nonattainment/Maintenance Status for Each County by Year for All Criteria Pollutants

## Puerto Rico Nonattainment/Maintenance Status for Each County by Year for All Criteria Pollutants

Data is current as of March 31, 2023

Listed by County, NAAQS, Area. The 8-hour Ozone (1997) standard was revoked on April 6, 2015 and the 1-hour Ozone (1979) standard was revoked on June 15, 2005.

\* The 1997 Primary Annual PM-2.5 NAAQS (level of 15  $\mu\text{g}/\text{m}^3$ ) is revoked in attainment and maintenance areas for that NAAQS. For additional information see the PM-2.5 NAAQS SIP Requirements Final Rule, effective October 24, 2016. (81 FR 58009)

**Change the State:**

Important Notes

Download National Dataset: [dbf](#) | [xls](#) | [Data dictionary \(PDF\)](#)

County	NAAQS	Area Name	Nonattainment in Year	Redesignation to Maintenance	Classification	Whole or/Part County	Population (2010)	State/County FIPS Codes
<b>PUERTO RICO</b>								
Arecibo Municipio	Lead (2008)	Arecibo, PR	<input type="checkbox"/> 11 <input type="checkbox"/> 12 <input type="checkbox"/> 13 <input type="checkbox"/> 14 <input type="checkbox"/> 15 <input type="checkbox"/> 16 <input type="checkbox"/> 17 <input type="checkbox"/> 18 <input type="checkbox"/> 19 <input type="checkbox"/> 20 <input type="checkbox"/> 21 <input type="checkbox"/> 22 <input type="checkbox"/> 23	//		Part	32,185	72/013
Bayamon Municipio	Sulfur Dioxide (2010)	San Juan, PR	<input type="checkbox"/> 18 <input type="checkbox"/> 19 <input type="checkbox"/> 20 <input type="checkbox"/> 21 <input type="checkbox"/> 22 <input type="checkbox"/> 23	//		Part	22,921	72/021
Catano Municipio	Sulfur Dioxide (2010)	San Juan, PR	<input type="checkbox"/> 18 <input type="checkbox"/> 19 <input type="checkbox"/> 20 <input type="checkbox"/> 21 <input type="checkbox"/> 22 <input type="checkbox"/> 23	//		Whole	28,140	72/033
Guaynabo Municipio	PM-10 (1987)	Mun. of Guaynabo, PR	<input type="checkbox"/> 92 <input type="checkbox"/> 93 <input type="checkbox"/> 94 <input type="checkbox"/> 95 <input type="checkbox"/> 96 <input type="checkbox"/> 97 <input type="checkbox"/> 98 <input type="checkbox"/> 99 <input type="checkbox"/> 00 <input type="checkbox"/> 01 <input type="checkbox"/> 02 <input type="checkbox"/> 03 <input type="checkbox"/> 04 <input type="checkbox"/> 05 <input type="checkbox"/> 06 <input type="checkbox"/> 07 <input type="checkbox"/> 08 <input type="checkbox"/> 09	02/11/2010	Moderate	Part	90,470	72/061
Guaynabo Municipio	Sulfur Dioxide (2010)	San Juan, PR	<input type="checkbox"/> 18 <input type="checkbox"/> 19 <input type="checkbox"/> 20 <input type="checkbox"/> 21 <input type="checkbox"/> 22 <input type="checkbox"/> 23	//		Part	23,802	72/061
Salinas Municipio	Sulfur Dioxide (2010)	Guayama-Salinas, PR	<input type="checkbox"/> 18 <input type="checkbox"/> 19 <input type="checkbox"/> 20 <input type="checkbox"/> 21 <input type="checkbox"/> 22 <input type="checkbox"/> 23	//		Part	23,401	72/123
San Juan Municipio	Sulfur Dioxide (2010)	San Juan, PR	<input type="checkbox"/> 18 <input type="checkbox"/> 19 <input type="checkbox"/> 20 <input type="checkbox"/> 21 <input type="checkbox"/> 22 <input type="checkbox"/> 23	//		Part	147,963	72/127
Toa Baja Municipio	Sulfur Dioxide (2010)	San Juan, PR	<input type="checkbox"/> 18 <input type="checkbox"/> 19 <input type="checkbox"/> 20 <input type="checkbox"/> 21 <input type="checkbox"/> 22 <input type="checkbox"/> 23	//		Part	52,441	72/137

Important Notes

Discover.

Connect.

Ask.

## **Environmental Assessment**

### **Determination and Compliance Findings for HUD-assisted Projects 24 CFR Part 58**

#### **Appendix 7: Toxic Sites within a 3,000 feet radius**

# Environmental Assessment PR-SIH-00011B

## Toxic Sites within a 3,000 feet radius

	PRIMARY_NAME	LOCATION_ADDRESS	COORDINATES	PGM
1	RAMIREZ JUNKER	ROAD #2 KM. 29.8 CARMEN SECTOR COLIBRI 63, VEGA ALTA, PR 00692	18.413603, -66.320227	ICIS/SEMS
2	CVS PHARMACY #4588	6109 CARR 694 , VEGA ALTA, PR 00692	18.413391, -66.306697	ICIS/RCRAINFO
3	ESSO STANDARD OIL SERVICES PR DO-095 - F	PR #2 KM 29.1 BO ESPINOSA, VEGA ALTA, PR 00692	18.413773, -66.313152	RCRAINFO
4	CARIBE GE PILOT	STATE HWY 2 KM 302, VEGA ALTA, PR 00692	18.413415, -66.317971	TRIS
5	CENTRAL FORD	CARR #2 KM 28.5 BO ESPINOSA, VEGA ALTA, PR 00692	18.413112, -66.307909	RCRAINFO
6	LAS ORQUIDEAS	CARR 678 BO. ESPINOSA, VEGA ALTA, PR 00692	18.412996, -66.319111	AIR
7	TO GO VEGA ALTA (FORMER GULF #326)	CARR 2, KM 29.1, BO ESPINOSA, VEGA ALTA, PR 00692	18.414111, -66.314276	ICIS
8	AMIGO SUPERMARKET 3679	PR-2 KM 29.7, VEGA ALTA, PR 00692	18.413945, -66.312291	ICIS/RCRAINFO
9	GARAGE GIL	CARR 2 KM 25 BO ESPINOSA, VEGA ALTA, PR 00692	18.415851, -66.307544	RCRAINFO
10	PRPHA - LAS VIOLETAS PUBLIC RES	STATE RD #2 KM 28.5, VEGA ALTA, PR 00692	18.416054, -66.309499	RCRAINFO