

**Environmental Review for Activity/Project that is Categorically
Excluded Subject to Section 58.5
Pursuant to 24 CFR 58.35(a)**

Project Information

Project Name: Area Recreativa Parquecito del Lago de Levittown (PR-CRP-001002)

Responsible Entity: Puerto Rico Department of Housing (PRDOH)

Grant Recipient (if different than Responsible Entity): Municipality of Toa Baja

State/Local Identifier: Puerto Rico / Toa Baja

Preparer: Angel Garcia PE, Sr. Environmental Engineer

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Consultant (if applicable): AG Environmental PSC

Direct Comments to: Puerto Rico Department of Housing at environmentcdbg@vivienda.pr.gov

Project Location:

Address: Boulevard de Levittown y el lago de Levittown. Lagos de Levittown, Levittown
Boulevard, Sabana Seca, Toa Baja, 00949
Project site coordinates: Lat: 18.461184, Lon: -66.188740
Cadastral: 038-020-214-23-000 and 038-020-214-24-000

Description of the Proposed Project [24 CFR 50.12 & 58.32; 40 CFR 1508.25]

As part of its recovery efforts following hurricanes Irma and María, the Municipality of Toa Baja is redesigning Levittown Lake Park to enhance recreational opportunities and provide a community gathering space. The Levittown Lake Park Recreational Area project (PR-CRP-001002) will reconstruct the existing park along Levittown Lake, an artificial stormwater drainage lake built in 1963 for the Levittown Development in Toa Baja, Puerto Rico.

Site Overview

The park occupies 6,046.89 square meters on the northeastern corner of Levittown Lake, along Levittown Boulevard (PR-868), about 170 meters south of PR-165 (Figure 1). The flat site ranges in elevation from 2.82 meters above sea level to sea level and consists of open soil, grass, a few trees, remnants of old structures, and an aging gazebo.

Park Enhancements

The redevelopment aims to improve environmental conditions along the lake while providing new recreational facilities (Figure 2). Key improvements include:

- Water Sports Area – Renovation of the concrete platform with a new lower deck for launching kayaks and non-motorized watercraft. The area will include ramps, stairs, a gazebo, and landscaping.
- New Gazebo – Replacement of the deteriorated concrete gazebo with a lightweight steel structure featuring a pergola, seating, and landscaping.
- New Access & Parking – A new entry from PR-868 and a 14-space permeable pavement parking lot, including one accessible space.
- Outdoor Exercise Area – A dedicated space with exercise equipment and play-friendly paving.
- Big Tree Contemplation Area – A deck overlooking the lake, built around a large Ficus tree, supported by upland columns.
- Playground – A new play area with cushioned surfacing and modern equipment.
- Historical Train Engine Plaza – An open plaza showcasing a historical train engine tied to Puerto Rico's sugar industry and Levittown's history.
- Central Lawn – A versatile open space for various community activities.
- Pedestrian Paths – A network of paths with varied finishes (concrete, pavers, gravel), plus benches, solar lighting, and waste receptacles.
- Planting & Shoreline Restoration – New trees, shrubs, and aquatic plants to enhance ecological function and prevent erosion.
- Retaining Walls and Stairs – New retaining walls and stairways to improve accessibility and stabilize terrain, including 175 linear feet of walls at 48" depth and 8" width, and 24 linear feet at 60" depth and 8" width.



Figure 1. Project Location Area

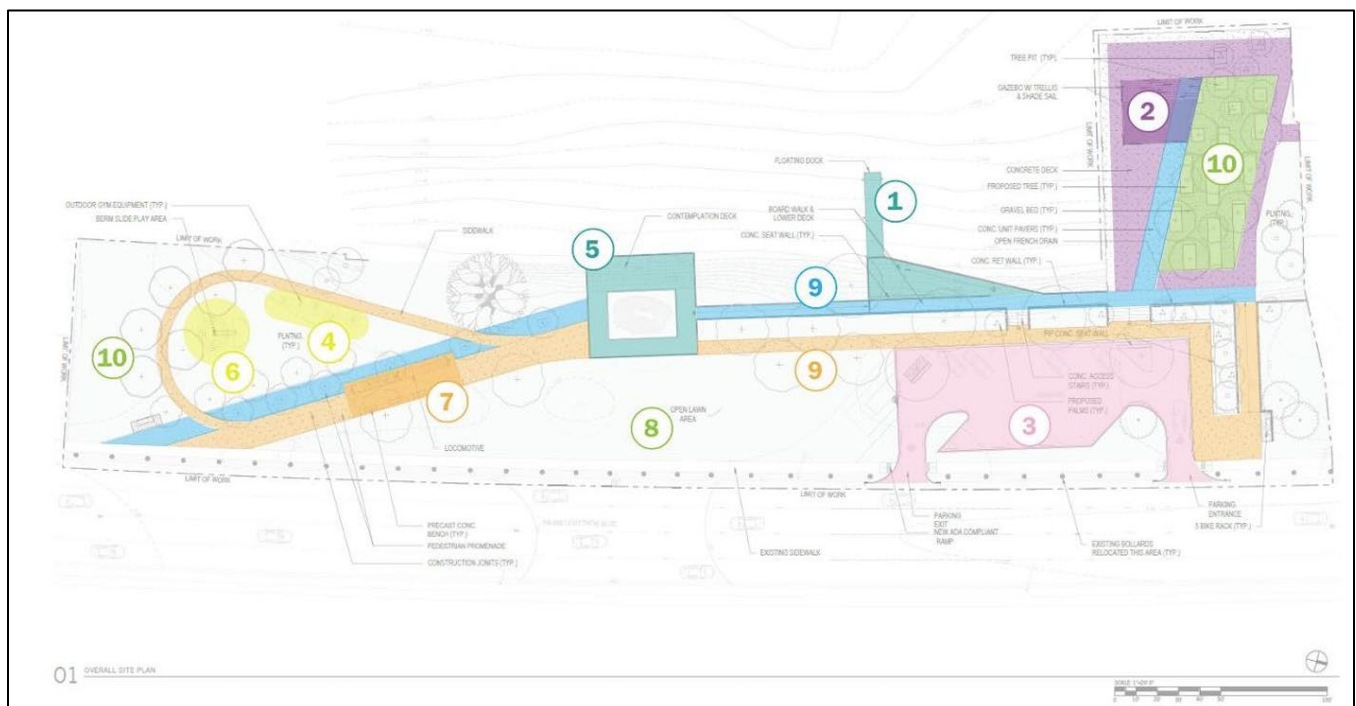


Figure 2. General Site Plan

Demolition and Construction

Before demolition begins, a site assessment will be conducted to evaluate conditions and identify potential hazards. A demolition plan will outline areas to be removed, safety measures, and waste disposal strategies. The demolition phase will remove 480 cubic meters of existing structures, including four concrete slabs and a gazebo, with ground disturbance depths ranging from 6 to 36 inches. Sidewalks and bollards will be preserved (Table 1).

To prevent sediment runoff into the lake, roads, and storm drains during construction, the following measures will be implemented:

- Hay bales or silt socks on drainage structures
- Silt fences around the project perimeter
- Truck washout entrance to prevent sediment migration into streets

Construction equipment and materials will be staged within the project footprint and secured with silt fencing. A traffic management plan will ensure safe vehicle and pedestrian access during construction. Construction will generate about 3 cubic yards of solid waste per day, which is less than half the capacity of one standard dump truck. Once completed, solid waste from park operations will be minimal and handled by the Municipality of Toa Baja.

Table 1. Demolition with Potential Ground Disturbing Activities

SLAB OR STRUCTURE	DEMOLITION VOLUME (cubic meters)	POTENTIAL GROUND DISTURBING ACTIVITIES (depth in inches)
Concrete Slab #1	86	36"
Concrete Slab #2	174	24"
Concrete Slab #3	57	24"
Gazebo	15	10"
Concrete Slab #4	148	6"
TOTAL DEMO VOLUME	480	

New construction activities will primarily occur within the park's existing footprint, with most work being superficial (3 feet or less in depth). New construction would occur on a total of 31,402 square feet between 0 – 60" in depth. The shoreline stabilization will involve minimal disturbance to 200 linear feet of the lake bank, using geotechnical fabrics, soil, and vegetation rather than gabions or rock fill. See Table 1 for the proposed construction elements and their respective square footage and ground disturbance depth.

New construction areas are summarized in Table 2. Refer to Attachment 6 for additional details and renderings of project elements, including project design plans.

Table 2. Project Elements with Potential Ground Disturbing Activities

PROJECT ELEMENT	NEW CONSTRUCTION (square feet)	POTENTIAL GROUND DISTURBING ACTIVITIES (depth in inches)
Embankment Slide Area	263	6"
Outdoor Gym Area	343	6"
Linear Paver Promenade North	1,536	8"
Linear Paver Promenade South	1,719	8"
Concrete Walkways North	3,222	4"
Concrete Walkways South	3,856	4"
Deck Total	3,629	N/A
Contemplation Deck Beams	112	36"
Contemplation Deck Footings 34 footings	136	12"
Lake-Access Deck Footings 20 posts	45	24"
Permeable Parking	6,157	10"
New Concrete Slab	5,381	6"
Gravel Garden Area	3,240	4"
Retaining Walls + Stairs	1,763	175 linear feet at 48" depth 8" width 24 linear feet at 60" depth 8" width

The project will not require connections to public water, wastewater, electricity, or communications infrastructure. As a local park, no bathrooms or potable water services are planned. Solar-powered lighting will be used, and the only infrastructure improvement will be stormwater management through rain gardens and porous pavement to mitigate runoff impact. Although new elements are being introduced, the area has been used as a park for over ten years and has been heavily disturbed by existing elements. The redevelopment will enhance environmental sustainability while improving accessibility and recreational opportunities for the community.

Funding Information

Grant Number	HUD Program	Funding Amount
B-17-DM-72-0001; B-18-DP-72-0001; B-19-DP-78-0002; B-18-DE-72-0001	Community Development Block Grant – Disaster Recovery (CDBG-DR)	\$11,938,162,230

Estimated Total HUD Funded Amount: \$2,853,486.14

Estimated Total Project Cost (HUD and non-HUD funds) [24 CFR 58.32(d)]: \$2,853,486.14

Compliance with 24 CFR 50.4, 58.5, and 58.6 Laws and Authorities

Record below the compliance or conformance determinations for each statute, executive order, or regulation. Provide credible, traceable, and supportive source documentation for each authority. Where applicable, complete the necessary reviews or consultations and obtain or note applicable permits of approvals. Clearly note citations, dates/names/titles of contacts, and page references. Attach additional documentation as appropriate.

Compliance Factors: Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6	Are formal compliance steps or mitigation required?	Compliance determinations
STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 50.4 & 58.6		
Airport Hazards 24 CFR Part 51 Subpart D	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	<p>A review using the Google Maps® software shows the closest civilian airport to the Project site is the Fernando Luis Ribas Dominicci (SIG) Airport, approximately 21,135 feet (5.52 miles) east of the project site. The closest military airport to the project site is the Luis Munoz Marin International (SJU) Airport, approximately 68,608 feet (13 miles) east of the project site.</p> <p>The project is not located within 15,000 feet of a military airport, or 2,500 feet of a civilian airport. Therefore, the proposed project is not in an Accident Potential Zone (APZ) or a Runway Protection Zone/Clear Zone (RPZ/CZ). As such, the project complies with Airport Hazards requirements, 24 CFR Part 51 Subpart D and no formal compliance steps or mitigation are required. See Attachment 1, Figure 1.</p>
Coastal Barrier Resources Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 [16 USC 3501]	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	<p>The Project site is not located in, or adjacent to, a CBRS Unit. The nearest unit is CBRS Unit PR-86P located approximately 0.11 miles (580.8 feet) to the northeast of the project site.</p> <p>No CBRA zones will be affected by the proposed project, thus the proposed project complies with the Coastal Barrier Resources Act. No formal compliance steps or mitigation are required. Refer to Attachment 1, Figure 2.</p>
Flood Insurance Flood Disaster Protection Act of 1973 and National Flood Insurance Reform Act of 1994 [42 USC 4001-4128 and 42 USC 5154a]	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	<p>The entire site is in an AE flood zone, per Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) panel 72000C0330J (11/18/2009), with a base flood elevation of 2.1 meters. However, since the proposed project is an</p>

		open-air-recreational area, and there are no structures intended for permanent human occupation, flood insurance is not required. No formal compliance steps or mitigation are required, and the project complies with Flood Insurance regulations. Refer Attachment 1, Figure 3.
STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 50.4 & 58.5		
Clean Air Clean Air Act, as amended, particularly section 176(c) & (d); 40 CFR Parts 6, 51, 93	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	<p>According to the EPA List of Current Nonattainment Counties for all Criteria Pollutants published on December 31, 2024, Toa Baja is in a National Attaining Air Quality Standards (NAAQS) nonattainment area for Sulfur Dioxide (SO₂) (2010). The municipality is in attainment for all other pollutants.</p> <p>Emissions associated with the proposed project are estimated to be well below the threshold when compared to the federal General Conformity Rule de minimis thresholds. Typically, construction activities such as cleaning, grubbing, earth movement and the demolition of structures produce particulates and conditions in which soil could be exposed to wind erosion and airborne particulates. During construction the proposed action could generate emissions (particulate material, hydrocarbons, nitrogen oxide, sulfur dioxide, among others) in addition to those produced during the operation of the existing roads of the area. For the most part those emissions would be produced by the operation of the heavy equipment and machinery used during the construction process. There are no associated air emissions to the use of the site after construction is completed.</p> <p>Potential air quality impacts are primarily short-term construction related. Implementation construction related air pollution controls (fugitive dust control and heavy equipment emissions controls) would reduce potential impacts. This temporary effect is not significant and would not have an adverse impact on the residential, institutional, and commercial properties located near the project area.</p> <p>Due to the scope of the project, no additional emission sources that can affect the non-attainment parameters will be installed that would</p>

		create operational emissions. Therefore, the Project follows Clean Air requirements. The proposed action complies with the Clean Air Act and 40 CFR Parts 6, 51 and 93. See the attainment area in Attachment 1, Figure 4 and Supporting Documentation.
Coastal Zone Management Coastal Zone Management Act, sections 307(c) & (d)	Yes No <input checked="" type="checkbox"/> <input type="checkbox"/>	<p>The Project site is located within the Puerto Rico Coastal Zone delineation. Federal Consistency Certification with the Puerto Rico Coastal Zone Management Program (PRCZMP) was requested from the Puerto Rico Planning Board (PRPB). The PRPB issued a letter dated February 3, 2025, with subject <i>“Federal Consistency Certification with the Puerto Rico Coastal Zone Management Program (PRCZMP), CZ-2025-1122-014, Federal Assistance with CDBG funds from the City Revitalization Program, PR-CRP-001002, Revitalization of Lago Levitown Recreative Park Toa Baja, Puerto Rico.”</i> This letter outlines specific conditions required for federal consistency certification under the PRCZMP. These conditions are:</p> <ol style="list-style-type: none"> 1. Evidence compliance with the PR Environmental Policy Law (Law number 416 of September 22, 2004) by providing copy of the Environmental Compliance Determination emitted by the PR Permit Management Office (OGPe). 2. Evidence compliance with the Special Flood Hazard Zone Regulations (Planning Regulation Number 13) when it is required depending on the nature and location of the project. 3. In the case of projects that are located within Historic Zones designated by the PR Planning Board, the project must have the endorsement of the Puerto Rican Culture Institute. 4. The proposed repairs in the Water Sports Area involve impacts on US Waters. This component of the project requires a permit from the US Army Corps of Engineers and its corresponding Federal Consistency Certification. The consultant, Angel Garcia, submitted a Joint Permit Application to obtain the USACE Permit for this project. The PR Planning Board assigned the number CZ-2024-0409-143 for the Federal

		<p>Consistency review of this federal permit application. Copy of the USACE authorization and its corresponding Federal Consistency Certificate must be submitted.</p> <p>The agency allowed 120 days from the receipt of the letter to provide the information. Thus, the project is in compliance with the Coastal Zone Management, pending submittal of the information described which will be included as a compliance measure. Refer to supporting documents in Attachment 2.</p>
<p>Contamination and Toxic Substances</p> <p>24 CFR Part 50.3(i) & 58.5(i)(2)</p>	<p>Yes No</p> <p><input checked="" type="checkbox"/> <input type="checkbox"/></p>	<p>According to the NEPAAssist database, there are four EPA Facility sites within a 3000-ft radius from the project site. All of these sites are hazardous waste generators with no known violations at least 0.2 miles from the project site. None of these sites would affect the project's development or intended use of the site. Information contained in the RCRA Facility Reports and ECHO Reports, where available, for these sites has been included in Attachment 3.</p> <p>An environmental walkthrough took place in August 2023 by Angel García, PE, from AG Environmental PSC. The walkthrough did not result in environmental concerns, and there were no visible signs of hazards or contamination. No Underground Storage Tanks (UST) are documented at the site or nearby areas. See the "Field Inspection" section for additional details on page 17 and photos in Attachment 4, Appendix A.</p> <p>Given that the structures on site were primarily developed in the 1960s, there is a possibility of Lead-based paint (LBP) and Asbestos Containing Materials (ACM). LBP and ACM studies have not been performed for the project. These will be performed by the construction contractor prior to commencement of construction activities. Should abatement be required, the process will be performed and documented following all the regulatory requirements. The documentation will be part of the ERR.</p> <p>Lastly, since the project does not involve buildings with enclosed areas, it is exempted from having to consider radon in the contamination analysis (refer to Notice CPD-23-103 issued January 11, 2024).</p>

		As described, the project complies with Contamination and Toxic Substances requirements. Refer to the EPA Facilities Map in Attachment 1, Figure 5 and the supporting documentation in Attachment 3.
Endangered Species Endangered Species Act of 1973, particularly section 7; 50 CFR Part 402	Yes No <input checked="" type="checkbox"/> <input type="checkbox"/>	<p>A memorandum was addressed to the US Fish and Wildlife Service (USFWS) with the following determinations for the project: a No Effect (NE) on the West Indian manatee and the roseate tern, and a not likely to adversely affect (NLAA) for the Puerto Rican boa. The USFWS issued a response with signature dated 1/10/2025 and indicated:</p> <p><i>Because the PRDOH made a NE determination, the PRDOH is not required to conduct formal or informal section 7 consultation with the Service, and the Service is not required to concur with PRDOH's NE determination.</i></p> <p><i>As for the Puerto Rican boa, since this species might be found in diverse habitats, PRDOH has determined that the proposed project may affect, but is not likely to adversely affect (NLAA) this species. Conservation measures developed by the Service will be implemented in case an encounter with this species occur.</i></p> <p><i>We have reviewed the information provided in your letter and our files and concur with your determination that the proposed project may affect, but is not likely to adversely affect the Puerto Rican boa with the implementation of the conservation measures.</i></p> <p><i>In view of this, we believe that requirements of section 7 of the Endangered Species Act (Act) have been satisfied. However, obligations under section 7 of the Act must be reconsidered if: (1) new information reveals impacts of this identified action that may affect listed species or critical habitat in a manner that was not previously considered; (2) this action is subsequently modified in a manner not previously considered in this assessment; or, (3) a new species is listed, or critical habitat determined that may be affected by the identified action.</i></p> <p>Thus, if a Puerto Rican Boa is found in the project action site, work shall cease until the Boa moves off on its own. If the Boa does not move off, the CM shall contact the Puerto Rico Department of</p>

		<p>Natural and Environmental Resources and ask for them to relocate the Boa. There are no critical habitats within the project area. The project will have no potential to affect species or habitats due to the nature of the activities involved in the project.</p> <p>Compliance with Endangered Species Act is conditioned to the implementation of USFWS' Conservation measures.</p> <p>Refer to Attachment 4 for the supporting documents.</p>
<p>Explosive and Flammable Hazards</p> <p>24 CFR Part 51 Subpart C</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The proposed project does not include a facility that mainly stores, handles, or processes flammable or combustible chemicals such as bulk fuel storage facilities. Planned activities in the project area do not include installation of storage tanks. The project would not introduce new residents and would not involve an increase in employees or clients. As such, it does not pose a risk of injury in the event of a fire or an explosion to nearby residences or other areas where people may congregate or be present.</p> <p>Examination of aerial views and street views show no above ground storage tanks within the acceptable separation distance.</p> <p>Therefore, the proposed action is in compliance with 24 CFR Part 51 Subpart C. No formal compliance steps or mitigation are required.</p>
<p>Farmlands Protection</p> <p>Farmland Protection Policy Act of 1981, particularly sections 1504(b) and 1541; 7 CFR Part 658</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>According with Farmland Classification- San Juan Area, Puerto Rico, Natural Resources Conservation Service, Web Survey, National Cooperative Soil Survey Map, in the area of the project does not contain any farmland. The proposed project is in a developed area previously disturbed due to the recreational facilities. None of the lands located within the project limits are currently used as farmlands. The project does not include any activities, including new construction, acquisition of undeveloped land or conversion, which could convert agricultural land to a non-agricultural use.</p> <p>The project is in compliance with the Farmland Protection Policy Act. Refer to Attachment 1, Figure 6.</p>

<p>Floodplain Management</p> <p>Executive Order 11988, particularly section 2(a); 24 CFR Part 55</p>	<p>Yes No</p> <p><input checked="" type="checkbox"/> <input type="checkbox"/></p>	<p>PRDOH will apply the 0.2-Percent- Annual-Chance Flood Approach (0.2 PFA) to identify the FFRMS floodplain, and the best available information including the Flood Insurance Rate Map (FIRM), Preliminary Flood Insurance Rate Map (PFIRM), or Advisory Base Flood Elevation (ABFE) maps, whichever is most protective. The horizontal extent of the FFRMS floodplain includes the 100-year floodplain (1% annual chance) and 500-year floodplain (0.2 percent-annual chance) based on FEMA maps. PFIRM maps are not available for this region of PR, so ABFE and FIRM maps were used. Both ABFE Zone A and FIRM Zone AE pertain to the 1% annual chance flood risk, commonly known as the 100-year floodplain. Based on the 0.2 PFA approach, the project area is within the FFRMS.</p> <p>Although the proposed project occurs within the floodplain, it complies with 24 CFR Part 55 as it is functionally dependent due to it being an open-air, lakefront park. The proposed activity will not increase the base flood elevation in the floodway because no structures will be added to the floodplain areas. The proposed action will not present an increased risk to human life and property. Due to the scope of the project and the proposed works no impact on the existing flood levels is expected.</p> <p>The 8-Step Process was performed and completed for the project on June 26, 2024. The Early Notice (Step 2) was published on January 25, 2024 and the Final Notice (Step 7) was published on June 18, 2024. No comments were received.</p> <p>Mitigation measures have been incorporated in all phases of the project. Sediment runoff will be controlled with hay bales or silt socks on drainage structures, silt fences around the site, and a truck washout entrance to prevent street migration. During the design phase, mitigation activities considered limiting the creation of impermeable surfaces, incorporating the reuse of existing facilities, constructing new green infrastructure in the site, and maximizing water percolation areas by establishing permeable surfaces and enhancing natural features with new plantings. Mitigation activities will be implemented during the construction phase with controls that limit erosion</p>
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		<p>and sedimentation to surrounding waters. Mitigation measures will include the use of geomembranes for support and planting the bank with native aquatic species. This work will improve the current eroded condition of the bank. These will not be necessary during operation because all areas will be stabilized. No other mitigation activities were deemed necessary because the area will be used as an open park which will not restrict flood water movement.</p> <p>The project is in compliance with floodplain management regulations. Refer to Attachment 1, Figures 3 and 7 for flood maps and Attachment 5 for the 8-Step Process.</p>
<p>Historic Preservation</p> <p>National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>Project activities include demolition of structures and ground disturbance. The proposed project will be built within areas previously impacted or disturbed and will not have direct or undirects impacts since the construction focuses on Levittown Lake Park footprint. Section 106 consultation was performed and submitted to the State Historic Preservation Officer (SHPO) on April 30, 2024. SHPO issued their concurrence with a determination of “no adverse effect” on historic properties, as per communication dated January 30, 2025. No further mitigation activities are required. Thus, the project is in compliance with the National Historic Preservation Act. Refer to Attachment 6 for the SHPO Package.</p>
<p>Noise Abatement and Control</p> <p>Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The project involves rehabilitation of existing nonresidential buildings for non-residential use. An evaluation of noise abatement and control is not required. The Project is in compliance with Noise Abatement and Control requirements. Also, the project does not involve a research demonstration project that may result in new construction or reconstruction, new roadways, or any immediate disaster assistance provisions or appropriations, or assistance to restore facilities to conditions prior to the disaster. The project will not involve occupation of the areas that may be affected by noise, nor is it developing a noise sensitive use. Finally, the site is not within 1,000 feet of a major highway, within 3,000 feet from a railroad, or 15 miles from an airport.</p>

		<p>The project area located close to residential developments; however, the project will be developed within the existing footprint of the park. No increase in vehicular transit is expected. A temporary and intermittent noise impact may be caused by the construction activities, but the activities will be limited to a daytime schedule to minimize this effect on nearby residential areas. The project is focused on enhancing recreational infrastructure and does not include the development of residential or sensitive facilities such as schools or hospitals. The project is therefore in compliance with the Noise Control Act of 1972 and 24 CFR Part 51 Subpart B.</p>
<p>Sole Source Aquifers</p> <p>Safe Drinking Water Act of 1974, as amended, particularly section 1424(e); 40 CFR Part 149</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>There are no EPA sole source aquifers in Puerto Rico. The closest sole source aquifer is in Florida, 1,027 miles to the west of the project. Furthermore, the project consists of activities that are unlikely to have an adverse impact on groundwater resources. The project is in compliance with Safe Drinking Water Act of 1974 and 40 CFR Part Page 21 of 46 149. requirements. Refer Attachment 1, Figure 8.</p>
<p>Wetlands Protection</p> <p>Executive Order 11990, particularly sections 2 and 5</p>	<p>Yes No</p> <p><input checked="" type="checkbox"/> <input type="checkbox"/></p>	<p>According to the USFWS National Wetland Inventory (NWI) map, a Estuarine and Marine Deepwater habitat (Levittown Lake) is located adjacent to the project area. The project will be developed adjacent to wetland area but not within it, aside from the redevelopment of dock areas overwater which are previously disturbed areas. No significant impact on USACE jurisdictional areas including wetlands will be affected by the proposed project. A permit application has been submitted to USACE and any mitigation measures required by the agency will be implemented during the construction process. The project aims to improve the current eroded condition of the wetland by stabilizing the bank of the lake shore with a combination of geotechnical fabrics, soil, and natural vegetation. Locating the project outside of the wetland would fail to prevent further erosion of the lake shore.</p> <p>Additionally, measures will be taken during construction to prevent any potential incidental impacts, ensuring the protection of adjacent wetlands and minimizing any indirect</p>

		<p>environmental effects. Best management practices during the construction period will aim at controlling erosion and sedimentation into the creek. The project area will be stabilized to prevent impacts on the riverine wetlands during the operation.</p> <p>An 8-Step Process was performed and completed for wetlands on June 26, 2024. The Early Notice (Step 2) was published on January 25, 2024 and the Final Notice (Step 7) was published on June 18, 2024. No comments were received.</p> <p>Therefore, the project is in compliance with Wetlands Protection requirements. Refer to Attachment 1, Figure 9 and Attachment 5 for the 8-Step Process.</p>
<p>Wild and Scenic Rivers</p> <p>Wild and Scenic Rivers Act of 1968, particularly section 7(b) and (c)</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>Puerto Rico has only three Wild and Scenic Rivers, located in east Puerto Rico. The proposed Project is located on the north coast of Puerto Rico, approximately 30 miles northwest of said rivers. No Wild and Scenic River is located within one mile from the project area. The proposed action is therefore not in proximity to a wild, scenic, or recreational river and is in compliance with the Wild and Scenic Rivers Act of 1968. No formal compliance or mitigation steps are required. Refer to Figure 10 in Attachment 1.</p>
ENVIRONMENTAL JUSTICE		
<p>Environmental Justice</p> <p>Executive Order 12898</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>On January 21, 2025, President Donald Trump issued the Executive Order 14173 titled "Ending Illegal Discrimination and Restoring Merit-Based Opportunity", which revoked Executive Order 12898 and eliminated federal mandates requiring agencies to assess environmental justice impacts. Consequently, there is no longer a federal requirement to address environmental justice concerns in the environmental compliance review process.</p>

Field Inspection (Date and completed by): An environmental walkthrough took place on August 2023 by Angel García, PE, from AG Environmental PSC. The Levittown Lake Park site is located on the northeastern corner of Levittown Lake, along Levittown Boulevard (PR-868) in Toa Baja, Puerto Rico. The site spans 6,046.89 square meters and features a flat terrain with elevations ranging from sea level to 2.82 meters above sea level. The area consists primarily of bare soil, grass, and scattered trees, with remnants of previous structures, including concrete slabs and a deteriorating gazebo. A 36m x 27m

concrete platform extends into the lake, providing water access. The existing sidewalks and bollards remain intact, while the shoreline shows erosion concerns that require stabilization. The site lacks modern infrastructure connections, such as potable water, wastewater services, or electrical hookups. Site photos are included in Attachment 4, Appendix A.

Summary of Findings and Conclusions:

The proposed Levittown Lake Park project has been reviewed for compliance with statutes, executive orders, and regulations listed in 24 CFR §58.5 and §58.6, with no significant compliance issues identified. The site is not within hazardous airport zones, Coastal Barrier Resource System (CBRS) units, or areas requiring flood insurance. While the project is located in a nonattainment area for sulfur dioxide (SO₂), construction emissions are expected to remain below regulatory thresholds, and appropriate dust and emissions controls will be implemented. Compliance with Coastal Zone Management requirements has been met under PRPB Resolution JP-2024-004, and no contamination or toxic substance risks were identified during the environmental walkthrough. Endangered species considerations have been addressed with USFWS concurrence on a No Effect Determination, and floodplain management requirements are met due to the project's functionally dependent use. Additionally, noise, wetlands, and water quality impacts have been evaluated, with no adverse effects anticipated. LBP and ACM testing will be conducted before construction, with any required abatement performed in accordance with regulations. Overall, the project complies with all applicable federal and environmental regulations, with mitigation measures in place where necessary to ensure environmental protection and public safety.

The project will not result in significant impacts on the natural or human environment. The project is anticipated to provide overall beneficial social and economic effects to the Municipality of Toa Baja by addressing the recreational needs of the populations and providing new opportunities for economic development because of increased tourism activity in the disadvantaged communities where the project is taking place.

Mitigation Measures and Conditions [40 CFR 1505.2(c)]

Summarize below all mitigation measures adopted by the Responsible Entity to reduce, avoid, or eliminate adverse environmental impacts and to avoid non-compliance or non-conformance with the above-listed authorities and factors. These measures/conditions must be incorporated into project contracts, development agreements, and other relevant documents. The staff responsible for implementing and monitoring mitigation measures should be clearly identified in the mitigation plan.

Law, Authority, or Factor	Mitigation Measure
Clean Air	During construction, the contractor will implement controls for fugitive dust and heavy equipment emissions controls.
Coastal Zone Management	The project is contingent on submittal of the following information to the PR Planning Board: <ol style="list-style-type: none"> 1. Evidence compliance with the PR Environmental Policy Law (Law number 416 of September 22, 2004) by providing copy of the Environmental Compliance Determination emitted by the PR Permit Management Office (OGPe).

	<ol style="list-style-type: none"> 2. Evidence compliance with the Special Flood Hazard Zone Regulations (Planning Regulation Number 13) when it is required depending on the nature and location of the project. 3. In the case of projects that are located within Historic Zones designated by the PR Planning Board, the project must have the endorsement of the Puerto Rican Culture Institute. <p>The proposed repairs in the Water Sports Area involve impacts on US Waters. This component of the project requires a permit from the US Army Corps of Engineers and its corresponding Federal Consistency Certification. The consultant, Angel Garcia, submitted a Joint Permit Application to obtain the USACE Permit for this project. The PR Planning Board assigned the number CZ-2024-0409-143 for the Federal Consistency review of this federal permit application. Copy of the USACE authorization and its corresponding Federal Consistency Certificate must be submitted.</p>
Contamination and Toxic Substances	LBP and ACM testing will be conducted before construction, with any required abatement performed in accordance with regulations.
Endangered Species Act	Per USFWS letter, Conservation measures developed by the Service will be implemented for the Puerto Rican boa.
Floodplain Management	Sediment runoff will be controlled with hay bales or silt socks on drainage structures, silt fences around the site, and a truck washout entrance to prevent street migration.
Noise Abatement and Control	Construction activities will be limited to a daytime schedule.
Wetlands Protection	The bank of the lake shore will be stabilized with a combination of geotechnical fabrics, soil, and natural vegetation. Project is contingent on conditions that may be imposed by USACE upon permit issuance. Any required mitigation measures contained within the USACE permit will be implemented.

Determination:

- ☐ This categorically excluded activity/project converts to Exempt, per 58.34(a)(12) because there are no circumstances which require compliance with any of the federal laws and authorities cited at §58.5. **Funds may be committed and drawn down after certification of this part** for this (now) EXEMPT project, OR
- ☒ This categorically excluded activity/project cannot convert to Exempt because there are circumstances which require compliance with one or more federal laws and authorities cited at §58.5. Complete consultation/mitigation protocol requirements, **publish NOI/RROF and obtain "Authority to Use Grant Funds"** (HUD 7015.16) per Section 58.70 and 58.71 before committing or drawing down any funds, OR
- ☐ This project is now subject to a full Environmental Assessment according to Part 58 Subpart E due to extraordinary circumstances (Section 58.35(c)).



Reason: I am the author
of this document

Location: San Juan, PR

Date: 3/14/25

16:46:01 -04'00'

Preparer Signature: _____

Date: 3/14/25

Name/Title/Organization: Angel Garcia PE / Principal / AG Environmental PSC

Certifying Officer Signature: _____

Date: March 26, 2025

Name/Title: Sally Z. Acevedo Cosme- Permits and Environmental Compliance Specialist

This original, signed document and related supporting material must be retained on file by the Responsible Entity in an Environmental Review Record (ERR) for the activity/project (ref: 24 CFR Part 58.38) and in accordance with recordkeeping requirements for the HUD program(s).

List of Attachments

1	Maps and Figures
2	Coastal Zone Management Supporting Documents
3	Contamination & Toxic Substances Supporting Documents
4	Endangered Species Supporting Documents + Site Photos
5	8-Step Process
6	SHPO Documentation and Site Plans

ATTACHMENT 1

Maps and Figures

Fig. 01 - Airport Hazards Map

PR-CRP-001002 – Levittown Lake Park Recreational Area

Coord: Lat: 18.461184, Lon: -66.188740

Address: Boulevard de Levittown y el lago de Levittown. Lagos de Levittown, Levittown
Boulevard, Sabana Seca, Toa Baja, 00949



Source: Google Earth (Spatial Reference: WGS84) at URL <https://earth.google.com/>

Title : Fig. 02-Coastal Barriers : Levittown Park Renovation Coord:
Lat: 18.461184, **Lon:** -66.188740
Address: Boulevard de Levittown y el lago de Levittown. Lagos de Levittown, Levittown
Boulevard, Sabana Seca, Toa Baja, 00949
PR-CRP-001002





U.S. Fish and Wildlife Service
Coastal Barrier Resources System

Levittown Park - Coastal Barriers



April 24, 2024

 CBRS Buffer Zone  PR-CRP-001002

CBRS Units
 Otherwise Protected Area
 System Unit

This map is for general reference only. The Coastal Barrier Resources System (CBRS) boundaries depicted on this map are representations of the controlling CBRS boundaries, which are shown on the official maps, accessible at <https://www.fws.gov/library/collections/official-coastal-barrier-resources-system-maps>. All CBRS related data should be used in accordance with the layer metadata found on the CBRS Mapper website.

The CBRS Buffer Zone represents the area immediately adjacent to the CBRS boundary where users are advised to contact the Service for an official determination (<https://www.fws.gov/service/coastal-barrier-resources-system-property-documentation>) as to whether the property or project site is located "in" or "out" of the CBRS.

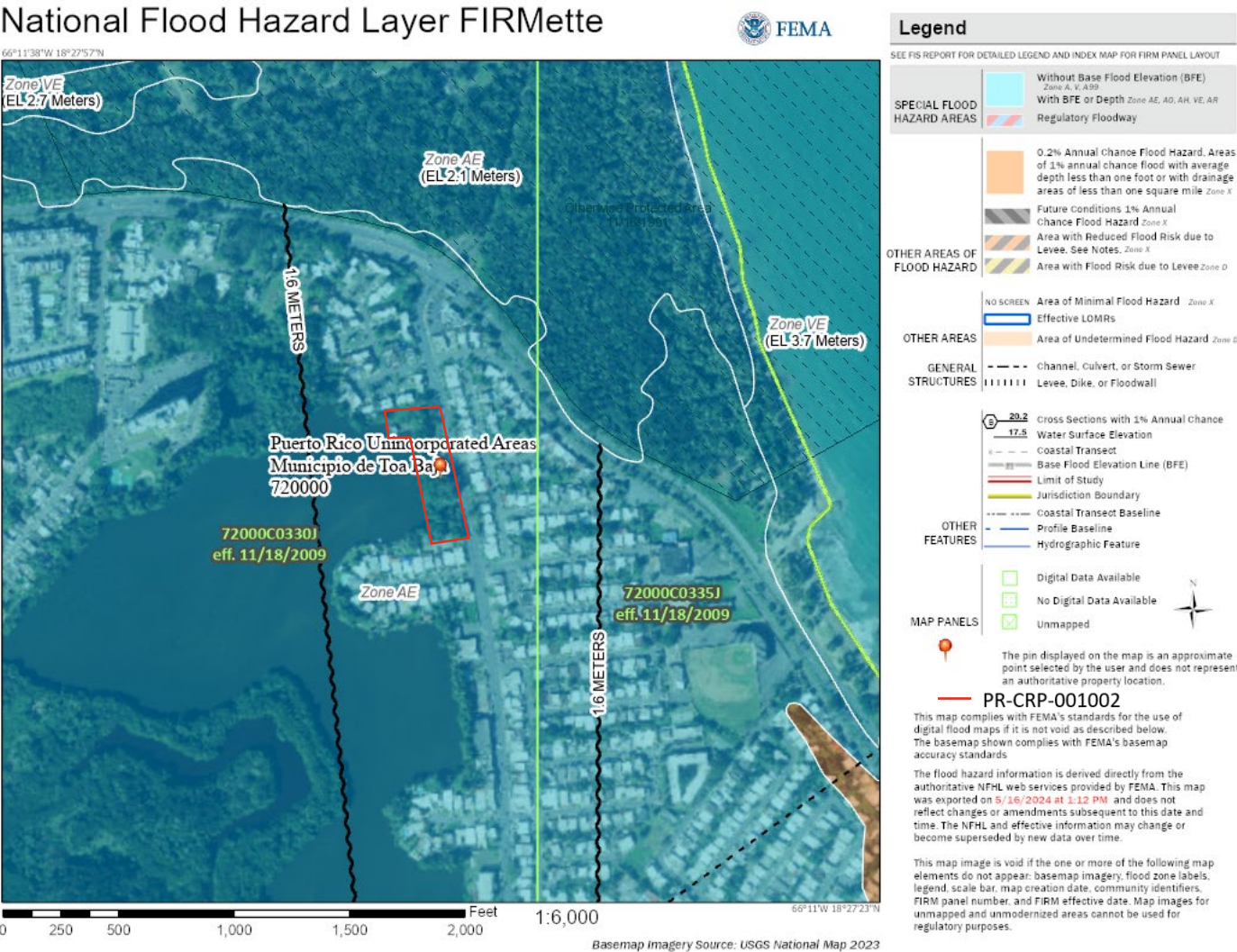
CBRS Units normally extend seaward out to the 20- or 30-foot bathymetric contour (depending on the location of the unit). The true seaward
This page was produced by the CBRS Mapper

Spatial Reference: NAD 83

Sources: <https://fwsprimary.wim.usgs.gov/CBRSMapper-v2/>



Title: : Fig 03 Flood Insurance - : Levittown Park Renovation,
Coord: Lat: 18.461184, Lon: -66.188740
Address: Boulevard de Levittown y el lago de Levittown. Lagos de Levittown, Levittown
Boulevard, Sabana Seca, Toa Baja, 00949
PR-CRP-001002



Spatial Reference: NAD 83

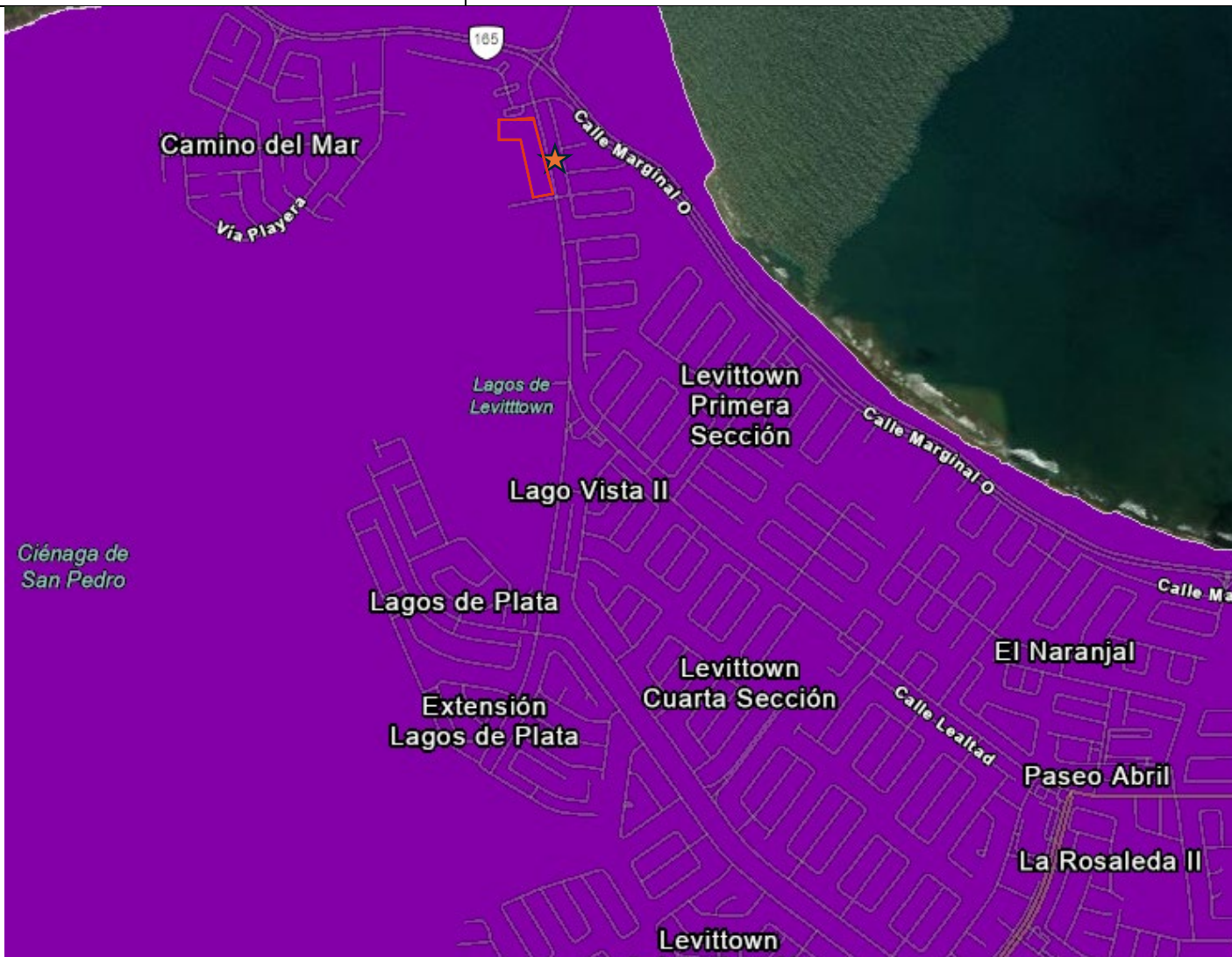
Sources: <https://msc.fema.gov/portal/home>



Title: Fig. 04- Clean Air Information - : Levittown Park Renovation
Coord: Lat: 18.461184, Lon: -66.188740
Address: Boulevard de Levittown y el lago de Levittown. Lagos de Levittown, Levittown Boulevard, Sabana Seca, Toa Baja, 00949



PR-CRP-001002



Legend:

SO₂ Non- Attainments Zone



PR-CRP-001002



Spatial Reference: NAD 83

Sources: <https://www.epa.gov/green-book>





You are here: EPA Home > Green Book > >National Area and County-Level Multi-Pollutant Information >Puerto Rico Nonattainment/Maintenance Status for Each County by Year for All Criteria Pollutants

Puerto Rico Nonattainment/Maintenance Status for Each County by Year for All Criteria Pollutants

Data is current as of December 31, 2024

Listed by County, NAAQS, Area. The 8-hour Ozone (1997) standard was revoked on April 6, 2015 and the 1-hour Ozone (1979) standard was revoked on June 15, 2005.

* The 1997 Primary Annual PM-2.5 NAAQS (level of 15 µg/m³) is revoked in attainment and maintenance areas for that NAAQS. For additional information see the PM-2.5 NAAQS SIP Requirements Final Rule, effective October 24, 2016. (81 FR 58009)

Change the State:

PUERTO RICO

Important Notes

Download National Dataset: dbf | xls | Data dictionary (PDF)

County	NAAQS	Area Name	Nonattainment in Year	Redesignation to Maintenance	Classification	Whole or/Part County	Population (2010)	State/County FIPS Codes
PUERTO RICO								
Arecibo Municipio	Lead (2008)	Arecibo, PR	1112131415161718192021222324	//		Part	32,185	72/013
Bayamon Municipio	Sulfur Dioxide (2010)	San Juan, PR	18192021222324	//		Part	22,921	72/021
Catano Municipio	Sulfur Dioxide (2010)	San Juan, PR	18192021222324	//		Whole	28,140	72/033
Guaynabo Municipio	PM-10 (1987)	Mun. of Guaynabo, PR	929394959697989900010203040506070809	02/11/2010	Moderate	Part	90,470	72/061
Guaynabo Municipio	Sulfur Dioxide (2010)	San Juan, PR	18192021222324	//		Part	23,802	72/061
Salinas Municipio	Sulfur Dioxide (2010)	Guayama-Salinas, PR	18192021222324	//		Part	23,401	72/123
San Juan Municipio	Sulfur Dioxide (2010)	San Juan, PR	18192021222324	//		Part	147,963	72/127
Toa Baja Municipio	Sulfur Dioxide (2010)	San Juan, PR	18192021222324	//		Part	52,441	72/137

Important Notes

Discover.

Connect.

Ask.

Fig 05. Contamination and Toxic Substances Map

PR-CRP-001002 – Levittown Lake Park Recreational Area

Coord: Lat: 18.461184, Lon: -66.188740

Address: Boulevard de Levittown y el lago de Levittown. Lagos de Levittown, Levittown

Boulevard, Sabana Seca, Toa Baja, 00949



Source: EPA NEPAassist (Spatial Reference: GRS80), accessed Jan 21, 2025 at URL <https://nepassisttool.epa.gov/nepassist/nepamap.aspx>

Contamination and Toxic Substances Table

PR-CRP-001002

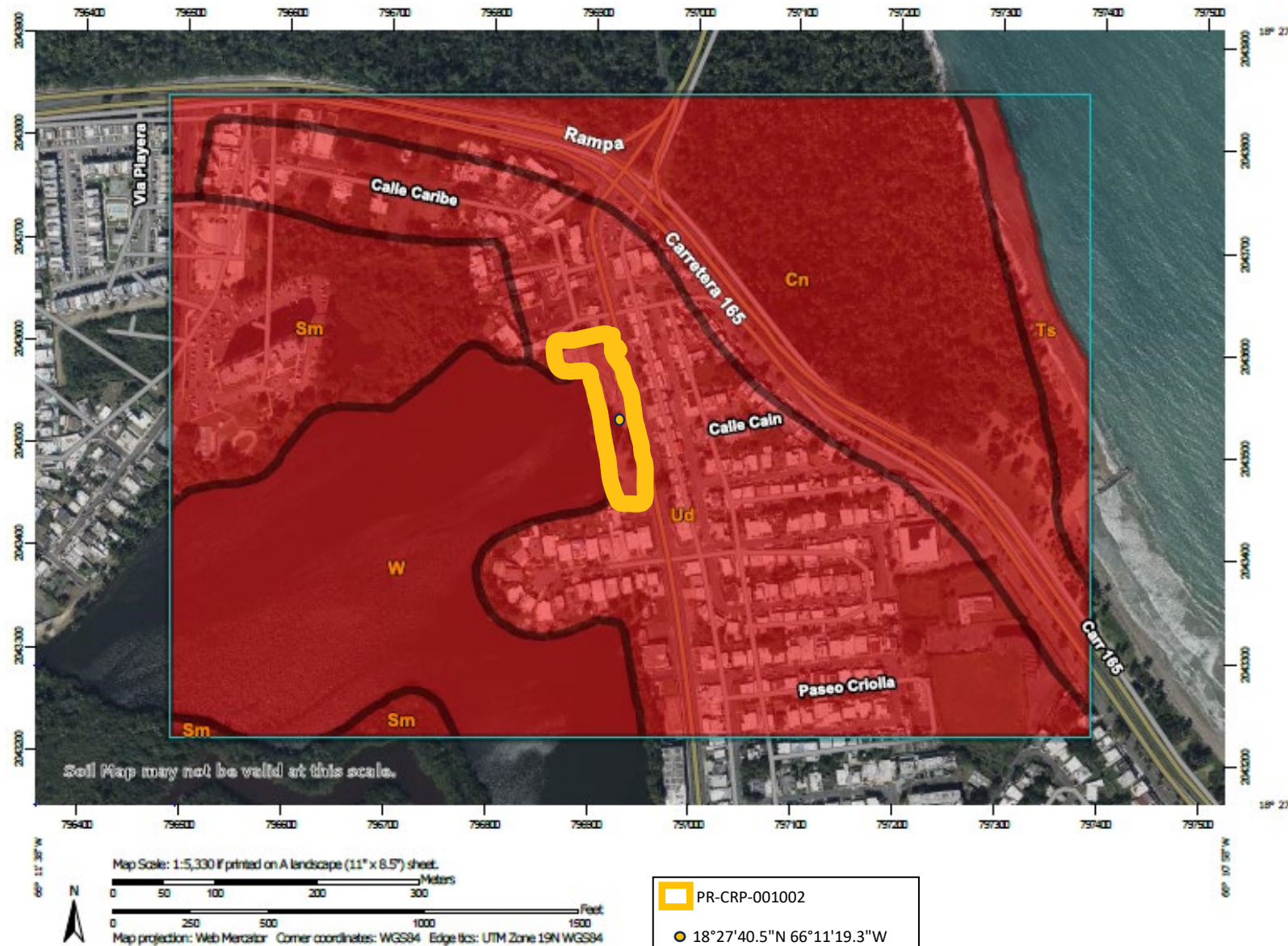
<i>ID</i>	<i>EPA Facility</i>	<i>Distance from Project Site</i>	<i>Direction from Project Site</i>	<i>Description</i>
1	Hazardous Waste (RCRAInfo)	0.2 mi	North	H POWER INC - LUMI LAMPS Handler ID: PRN008027385 Hazardous Waste Generator: Very Small Quantity Generator
2	Hazardous Waste (RCRAInfo)	0.36 mi	South	PRASA - LEVITTOWN WASTEWATER PUMP STA Handler ID: PRR000017848 Hazardous Waste Generator: Very Small Quantity Generator
3a	Hazardous Waste (RCRAInfo)	0.55 mi	Southeast	C M C TRANSPORT Handler ID: PRD987366077 Hazardous Waste Generator
3b	Hazardous Waste (RCRAInfo)	0.55 mi	Southeast	PR ELEC POWER AUTH - ENG & CONSTR SHOP Handler ID: PRO007003031 Hazardous Waste Generator

Fig. 06 Farmland Classification Map

PR-CRP-001002 – Levittown Lake Park Recreational Area

Coord: Lat: 18.461184, Lon: -66.188740

Address: Boulevard de Levittown y el lago de Levittown. Lagos de Levittown, Levittown Boulevard, Sabana Seca, Toa Baja, 00949



USDA
Natural Resources
Conservation Service


Web Soil Survey
National Cooperative Soil Survey

1/31/2025
Page 1 of 5

Source: U.S. Department of Agriculture (USDA) Web Soil Survey (Spatial Reference: WGS84), URL <https://websoilsurvey.nrcs.usda.gov/>









MAP LEGEND








Area of Interest (AOI)






 Area of Interest (AOI)








Soils



Soil Rating Polygons

-  Not prime farmland
-  All areas are prime farmland
-  Prime farmland if drained
-  Prime farmland if protected from flooding or not frequently flooded during the growing season
-  Prime farmland if irrigated
-  Prime farmland if drained and either protected from flooding or not frequently flooded during the growing season
-  Prime farmland if irrigated and drained
-  Prime farmland if irrigated and either protected from flooding or not frequently flooded during the growing season









-  Prime farmland if subsoiled, completely removing the root inhibiting soil layer
-  Prime farmland if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60
-  Prime farmland if irrigated and reclaimed of excess salts and sodium
-  Farmland of statewide importance
-  Farmland of statewide importance, if drained
-  Farmland of statewide importance, if protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if irrigated

-  Farmland of statewide importance, if drained and either protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if irrigated and drained
-  Farmland of statewide importance, if irrigated and either protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if subsoiled, completely removing the root inhibiting soil layer
-  Farmland of statewide importance, if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60

-  Farmland of statewide importance, if irrigated and reclaimed of excess salts and sodium
-  Farmland of statewide importance, if drained or either protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if warm enough, and either drained or either protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if warm enough
-  Farmland of statewide importance, if thawed
-  Farmland of local importance
-  Farmland of local importance, if irrigated

-  Farmland of unique importance
-  Not rated or not available

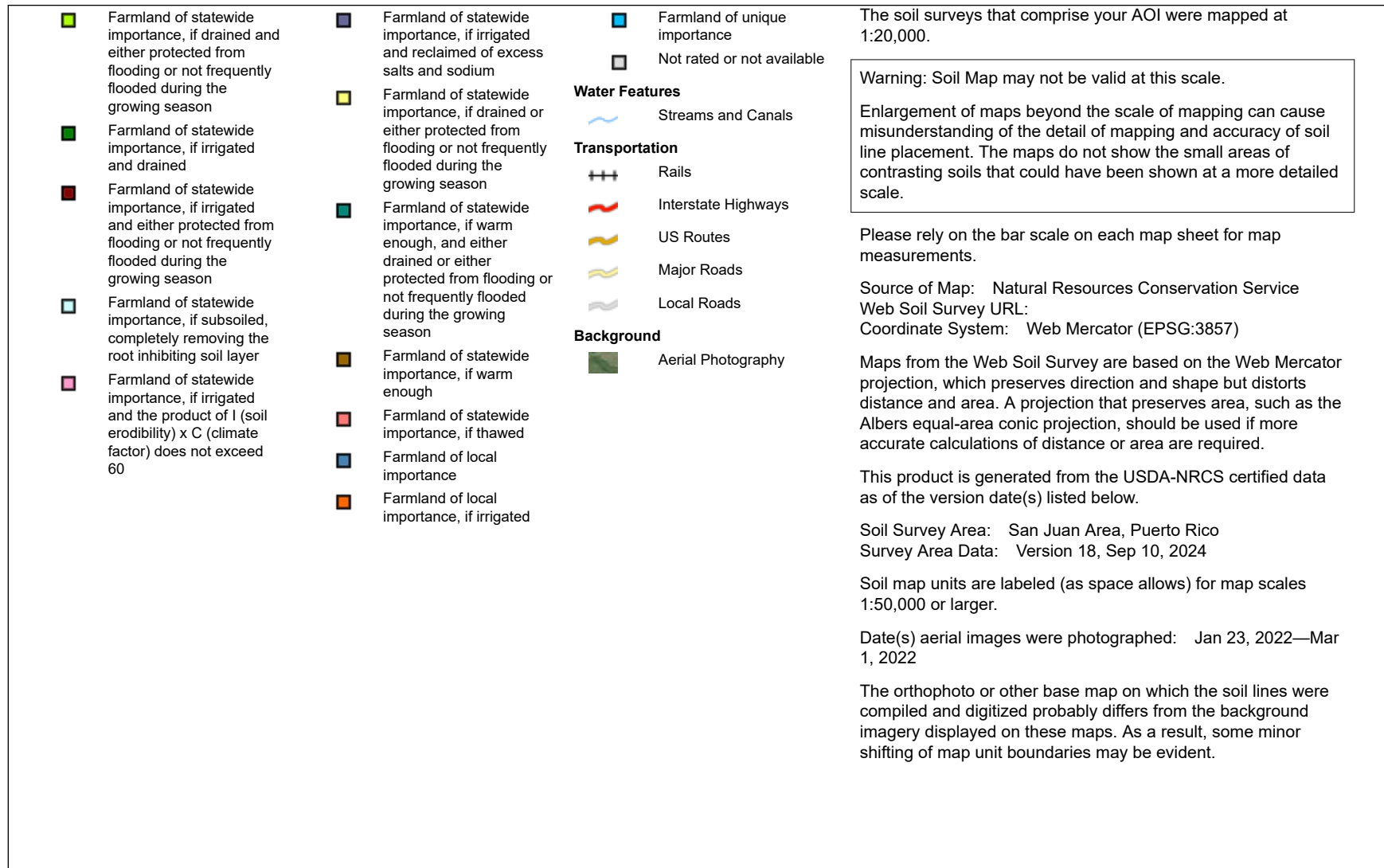
Soil Rating Lines

-  Not prime farmland
-  All areas are prime farmland
-  Prime farmland if drained
-  Prime farmland if protected from flooding or not frequently flooded during the growing season
-  Prime farmland if irrigated
-  Prime farmland if drained and either protected from flooding or not frequently flooded during the growing season
-  Prime farmland if irrigated and drained
-  Prime farmland if irrigated and either protected from flooding or not frequently flooded during the growing season

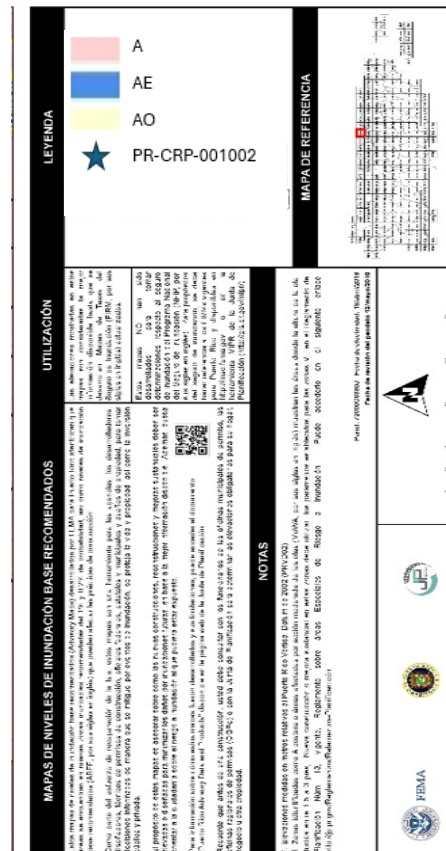
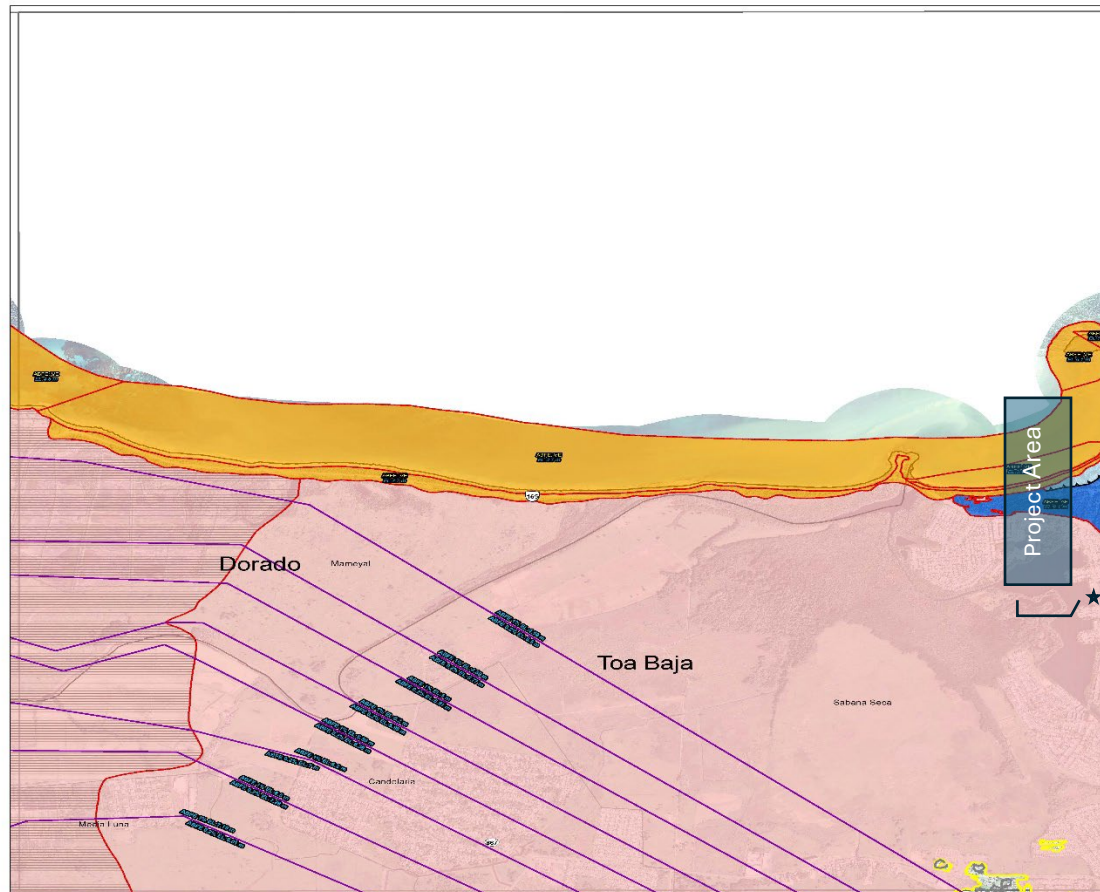
Farmland Classification—San Juan Area, Puerto Rico

	Prime farmland if subsoiled, completely removing the root inhibiting soil layer		Farmland of statewide importance, if drained and either protected from flooding or not frequently flooded during the growing season		Farmland of statewide importance, if irrigated and reclaimed of excess salts and sodium		Farmland of unique importance		Prime farmland if subsoiled, completely removing the root inhibiting soil layer
	Prime farmland if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60		Farmland of statewide importance, if irrigated and drained		Farmland of statewide importance, if drained or either protected from flooding or not frequently flooded during the growing season	Soil Rating Points			Prime farmland if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60
	Prime farmland if irrigated and reclaimed of excess salts and sodium		Farmland of statewide importance, if irrigated and either protected from flooding or not frequently flooded during the growing season		Farmland of statewide importance, if warm enough, and either drained or either protected from flooding or not frequently flooded during the growing season		Not prime farmland		Prime farmland if irrigated and reclaimed of excess salts and sodium
	Farmland of statewide importance		Farmland of statewide importance, if subsoiled, completely removing the root inhibiting soil layer		Farmland of statewide importance, if thawed		Prime farmland if protected from flooding or not frequently flooded during the growing season		Farmland of statewide importance
	Farmland of statewide importance, if drained		Farmland of statewide importance, if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60		Farmland of local importance		Prime farmland if irrigated		Farmland of statewide importance, if drained
	Farmland of statewide importance, if protected from flooding or not frequently flooded during the growing season				Farmland of local importance, if irrigated		Prime farmland if drained and either protected from flooding or not frequently flooded during the growing season		Farmland of statewide importance, if protected from flooding or not frequently flooded during the growing season
	Farmland of statewide importance, if irrigated						Prime farmland if drained and either protected from flooding or not frequently flooded during the growing season		Farmland of statewide importance, if irrigated

Farmland Classification—San Juan Area, Puerto Rico



PR-CRP-001002



Sources: <https://sige.pr.gov/portal/apps/webappviewer>



Title: Figure 08 – Sole Source Aquifer- : Levittown Park Renovation
Coord: Lat: 18.461184, Lon: -66.188740
Address: Boulevard de Levittown y el lago de Levittown. Lagos de Levittown, Levittown
Boulevard, Sabana Seca, Toa Baja, 00949
PR-CRP-001002



Legend:



● PR-CRP-001002

Spatial Reference: NAD 83

Sources : <https://epa.maps.arcgis.com/apps/webappviewer/>



Title : FIGURE 09 – Wetland Protection-Levittown Park Renovation
Coord: Lat: 18.461184, Lon: -66.188740
Address: Boulevard de Levittown y el lago de Levittown. Lagos de Levittown, Levittown
Boulevard, Sabana Seca, Toa Baja, 00949
PR-CRP-001002



Levittown Park



May 1, 2024

Wetlands

- | | | |
|--------------------------------|-----------------------------------|----------|
| Estuarine and Marine Deepwater | Freshwater Emergent Wetland | Lake |
| Estuarine and Marine Wetland | Freshwater Forested/Shrub Wetland | Other |
| | Freshwater Pond | Riverine |

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

National Wetlands Inventory (NWI)
This page was produced by the NWI mapper

PR-CRP-001002

Spatial Reference: NAD 83

Sources: <https://www.fws.gov/program/national-wetlands-inventory>



Title: : Figure 10-Scenic Rivers - : Levittown Park Renovation

Coord: Lat: 18.461184, Lon: -66.188740

Address: Boulevard de Levittown y el lago de Levittown. Lagos de Levittown, Levittown

Boulevard, Sabana Seca, Toa Baja, 00949

PR-CRP-001002



PR-CRP-001002

Wild and scenic rivers

Spatial Reference: NAD 83

Sources: Google Earth ® 2024 - <https://earth.google.com/>



ATTACHMENT 2

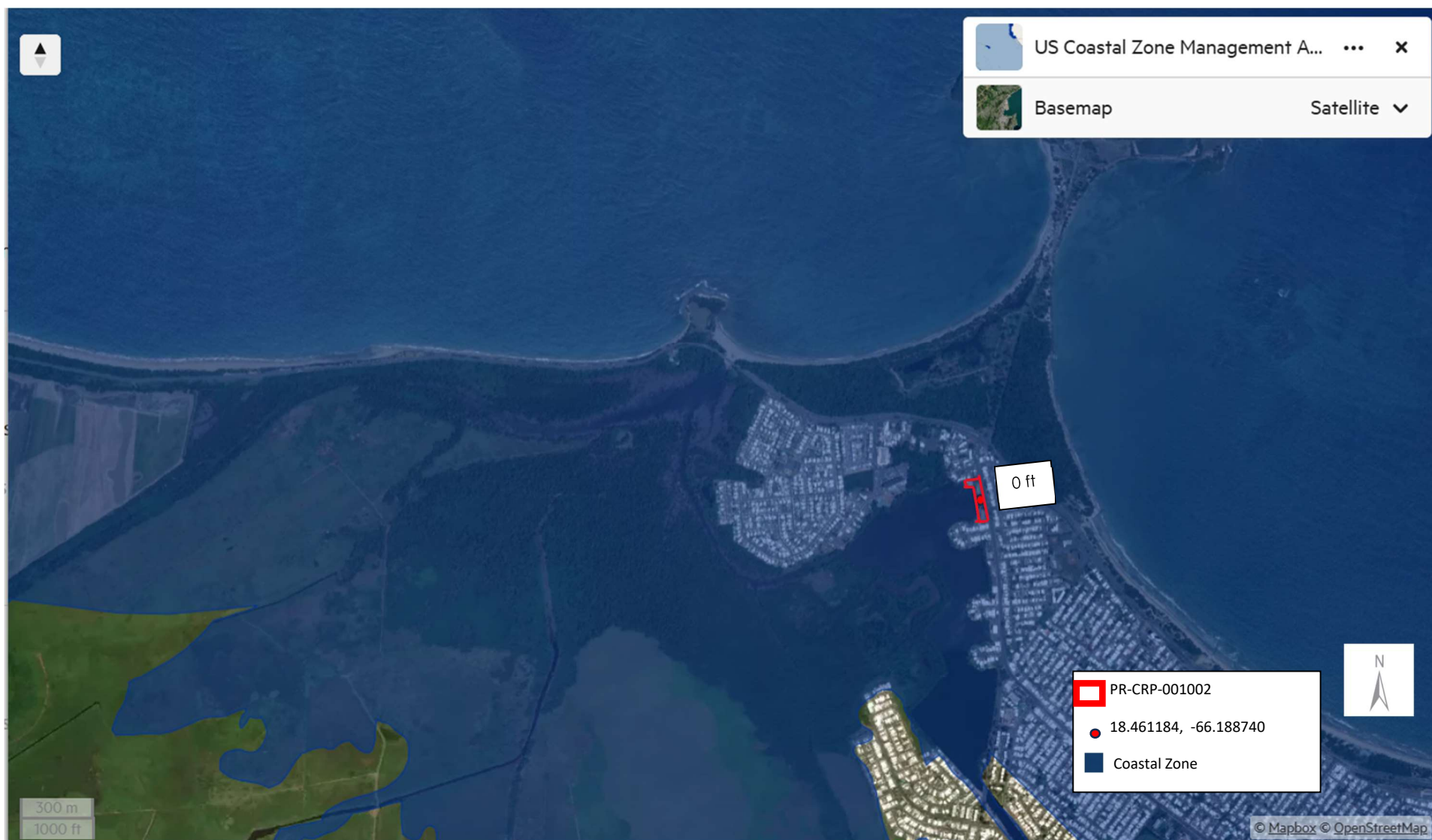
Coastal Zone Management Supporting Documents

Coastal Zone Boundary Map

PR-CRP-001002 – Levittown Lake Park Recreational Area

Coord: Lat: 18.461184, Lon: -66.188740

Address: Boulevard de Levittown y el lago de Levittown. Lagos de Levittown, Levittown Boulevard, Sabana Seca, Toa Baja, 00949



Source: US National Oceanic and Atmospheric Administration (NOAA), US Coastal Zone Management Act boundary (Spatial Reference: WGS84) at URL <https://koordinates.com/layer/20522-us-coastal-zone-management-act-boundary/>



GOBIERNO DE PUERTO RICO

PUERTO RICO PLANNING BOARD

February 3, 2025

Angel López Guzmán

Director
Permits and Environmental Compliance Division
Disaster Recovery Office
PR Department of Housing
PO Box 21365
San Juan, PR 00928-1365

Federal Consistency Certification with the Puerto Rico Coastal Zone Management Program (PRCZMP)

CZ-2025-1122-014

Federal Assistance with CDBG funds from the City Revitalization Program

PR-CRP-001002

**Revitalization of Lago Levitown Recreative Park
Toa Baja, Puerto Rico**

Dear Mr. López

We have been evaluating the application at reference. The Puerto Rico Planning emitted a General Federal Consistency Certification with the PRCZMP under resolution JP-2024-004, as amended on November 20, 2024, for projects to be financed with Federal funds under the CBDG-DR and CBDG-MIT programs. Section D of this resolution establishes that federal assistance awarded under the CBDG-DR and CBDG-MIT programs for infrastructure projects are consistent with the PRCZMP with the condition that the applicant fulfils the following requirements before the construction phase of the project:



1. Evidence compliance with the PR Environmental Policy Law (Law number 416 of September 22, 2004) by providing copy of the Environmental Compliance Determination emitted by the PR Permit Management Office (OGPe).
2. Evidence compliance with the Special Flood Hazard Zone Regulations (Planning Regulation Number 13) when it is required depending on the nature and location of the project.
3. In the case of projects that are located within Historic Zones designated by the PR Planning Board, the project must have the endorsement of the Puerto Rican Culture Institute.
4. The proposed repairs in the Water Sports Area involve impacts on US Waters. This component of the project requires a permit from the US Army Corps of Engineers and its corresponding Federal Consistency Certification. The consultant, Angel Garcia, submitted a Joint Permit Application to obtain the USACE Permit for this project. The PR Planning Board assigned the number CZ-2024-0409-143 for the Federal Consistency review of this federal permit application. Copy of the USACE authorization and its corresponding Federal Consistency Certificate must be submitted.

Therefore, the proposed **Federal Assistance** for the project at reference is consistent with the PRCZMP on condition that the above required documents are submitted to the PRPB within 120 days from receipt of this letter.

If you have any question or need assistance, do not hesitate to contact Rose A. Ortiz at (787) 723-6200 ext. 16012 or by e-mail ortiz_r@jp.pr.gov.

Cordially,



Luis E. Lamboy Torres
Director
Office of Geology and Hydrogeology

Attachment

RAO

ATTACHMENT 3

Contamination & Toxic Substances Supporting Documents



[EPA Home <https://www.epa.gov/>](https://www.epa.gov/) / [Envirofacts <https://epa.gov/>](https://epa.gov/) / [RCRAInfo <https://epa.gov/envirofacts/rcrainfo>](https://epa.gov/envirofacts/rcrainfo)

RCRAInfo Facility

[Home <https://epa.gov/>](https://epa.gov/) | [Multisystem Search <https://epa.gov/envirofacts/multisystem/search>](https://epa.gov/envirofacts/multisystem/search) | [Topic Searches <https://www.epa.gov/enviro/topic-searches>](https://www.epa.gov/enviro/topic-searches) | [System Data Searches <https://www.epa.gov/enviro/system-data-searches>](https://www.epa.gov/enviro/system-data-searches) | [About the Data <https://www.epa.gov/enviro/about-data>](https://www.epa.gov/enviro/about-data) | [Data Downloads <https://www.epa.gov/enviro/data-downloads>](https://www.epa.gov/enviro/data-downloads) | [Widgets <https://www.epa.gov/enviro/widgets>](https://www.epa.gov/enviro/widgets) | [Services <https://www.epa.gov/enviro/web-services>](https://www.epa.gov/enviro/web-services) | [Mobile <https://www.epa.gov/enviro/uv-index-mobile-app>](https://www.epa.gov/enviro/uv-index-mobile-app) | [Other Datasets <https://www.epa.gov/enviro/other-datasets>](https://www.epa.gov/enviro/other-datasets)

Facility Information

H POWER INC - LUMI LAMPS
Handler ID: PRN008027385
3650 CALLE MARGINAL OESTE
TOA BAJA, PR 00949
County Name: TOA BAJA
Latitude: 18.46245
Longitude: -66.18876
Hazardous Waste Generator: Very Small
Quantity Generator
Owner Name:

BIENNIAL REPORT SUMMARY

No Biennial Report data is available for the facility listed above.

LIST OF FACILITY CONTACTS

NAME	STREET	CITY	STATE	ZIP CODE	PH
HECTOR RIVERA	CALLE MARGINAL	TOA BAJA	PR	00949	787

HANDLER / FACILITY CLASSIFICATION

Unspecified Universe for the facility listed above.

LIST OF PROCESS UNIT INFORMATION FOR GROUP

<https://epa.gov/envirofacts/metadata/table/rcra/rcr_pm_unit>

No Process Information is available for the facility listed above.

LIST OF NAICS CODES AND DESCRIPTIONS

No NAICS Codes are available for the facility listed above.

LIST OF WASTE CODES AND DESCRIPTIONS

No Waste Codes are available for the facility listed above.

Contact Us <<https://www.epa.gov/enviro/forms/contact-us-about-envirofacts>> to ask a question, provide feedback, or report a problem.



Detailed Facility Report

Facility Summary

H POWER INC - LUMI LAMPS

3650 CALLE MARGINAL OESTE, TOA BAJA, PR 00949

FRS (Facility Registry Service) ID: 110063077281

EPA Region: 02

Latitude: 18.46245

Longitude: -66.18876

Locational Data Source: FRS

Industries: --

Indian Country: N

Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	11/24/2014
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Active VSQG, (PRN008027385)

Safe Drinking Water Act (SDWA): No Information

Go To Enforcement/Compliance Details

Known Data Problems <<https://epa.gov/resources/echo-data/known-data-problems>>

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Facility/System Characteristics

Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110063077281					N	18.46245	-66.18876

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
RCRAInfo	RCRA	PRN008027385	VSQG	Active (H)			N	18.460201	-66.185225

Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110063077281	H POWER INC - LUMI LAMPS	3650 CALLE MARGINAL OESTE, TOA BAJA, PR 00949	Toa Baja Municipio
RCRAInfo	RCRA	PRN008027385	H POWER INC - LUMI LAMPS	3650 CALLE MARGINAL OESTE, TOA BAJA, PR 00949	Toa Baja Municipio

Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
--------	------------	----------	-----------------

No data records returned

Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
--------	------------	------------	-------------------

No data records returned

Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
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No data records returned

Enforcement and Compliance

Compliance Monitoring History

Last 5 Years

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
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No data records returned

Entries in italics are not included in ECHO's Compliance Monitoring Activity counts because they are not compliance monitoring strategy <<https://www.epa.gov/compliance/compliance-monitoring-programs>> activities or because they are not counted as inspections within EPA's Annual Results <<https://www.epa.gov/enforcement/enforcement-data-and-results>>.

Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
RCRA	PRN008027385	No	02/22/2025	0	02/21/2025

Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type		QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
	RCRA (Source ID: PRN008027385)		04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-12/31/23	01/01-03/31/24	04/01-06/30/24	07/01-09/30/24	10/01-12/31/24	01/01-03/31/25
	Facility-Level Status		No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified
	Violation	Agency												

Informal Enforcement Actions

Last 5 Years

Statute	System	Source ID	Type of Action	Lead Agency	Date
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No data records returned

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

Formal Enforcement Actions

Last 5 Years

Statute	System	Law/ Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/ Filed Date	Settlements/ Actions	Settlement/ Action Date	Federal Penalty Assessed	State/ Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
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No data records returned

Environmental Conditions

Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
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No data records returned

Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
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No data records returned

Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
Ozone	No	--	No	--
Lead	No	--	No	--

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
Particulate Matter	No	--	No	--
Carbon Monoxide	No	--	No	--
Sulfur Dioxide	Yes	Sulfur Dioxide (2010)	No	--

Pollutants

Toxics Release Inventory History of Reported Chemicals Released or Transferred in Pounds per Year at Site

TRI Facility ID	Year	Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Disposal to Land	Total On-Site Releases	Total Off-Site Transfers
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No data records returned

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name

No data records returned

Community

Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2022 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. Census boundaries and demographic data for U.S. Territories are based on the "2020 Island Areas Demographic Profiles" from the U.S. Census Bureau. EPA's spatial processing methodology considers the overlap between the selected radii and ACS census block groups in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <<https://epa.gov/help/reports/dfr-data-dictionary#demographic>>.

General Statistics (ACS (American Community Survey))		Age Breakdown (ACS (American Community Survey)) - Persons (%)	
Total Persons	6,709	Children 5 years and younger	311 (5%)
Population Density	4,052/sq.mi.	Minors 17 years and younger	1,205 (18%)
Housing Units in Area	3,471	Adults 18 years and older	5,504 (82%)
Percent People of Color	99%	Seniors 65 years and older	1,196 (18%)
Households in Area	2,732	Race Breakdown (ACS (American Community Survey)) - Persons (%)	
Households on Public Assistance	52	White	2,763 (41%)
Persons With Low Income	3,479		

General Statistics (ACS (American Community Survey))	
Percent With Low Income	52%
Geography	
Radius of Selected Area	1 mi.
Center Latitude	18.46245
Center Longitude	-66.18876
Total Area	3.121 sq.mi.
Land Area	53%
Water Area	47%
Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	438 (16.03%)
\$15,000 - \$25,000	413 (15.12%)
\$25,000 - \$50,000	903 (33.05%)
\$50,000 - \$75,000	477 (17.46%)
Greater than \$75,000	501 (18.34%)

Race Breakdown (ACS (American Community Survey)) - Persons (%)	
African-American	402 (6%)
Hispanic-Origin	6,616 (99%)
Asian	0 (0%)
Hawaiian/Pacific Islander	0 (0%)
American Indian	35 (1%)
Other/Multiracial	1,841 (27%)
Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	173 (3.57%)
9th through 12th Grade	150 (3.09%)
High School Diploma	1,116 (23.02%)
Some College/2-year	655 (13.51%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	2,034 (41.96%)



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Facility Information

PRASA - LEVITTOWN WASTEWATER PUMP STA

Handler ID: PRR000017848

3223 BOULEVARD AVE

TOA BAJA, PR 00951

County Name: TOA BAJA

Latitude: 18.45535

Longitude: -66.187755

Hazardous Waste Generator: Very Small

Quantity Generator

**Owner Name: PUERTO RICO AQUEDUCT &
SEWER AUTHORITY**

BIENNIAL REPORT SUMMARY

No Biennial Report data is available for the facility listed above.

LIST OF FACILITY CONTACTS

NAME	STREET	CITY	STATE	ZIP CODE	PH
PRISCILA M GARCIA	PO BOX 7066	SAN JUAN	PR	00916-7066	787 x23

HANDLER / FACILITY CLASSIFICATION

Unspecified Universe for the facility listed above.

No Handler information is available for the facility listed above.

LIST OF PROCESS UNIT INFORMATION FOR GROUP

<https://epa.gov/envirofacts/metadata/table/rcra/rcr_pm_unit>

No Process Information is available for the facility listed above.

LIST OF NAICS CODES AND DESCRIPTIONS

No NAICS Codes are available for the facility listed above.

LIST OF WASTE CODES AND DESCRIPTIONS

No Waste Codes are available for the facility listed above.

Contact Us <<https://www.epa.gov/enviro/forms/contact-us-about-envirofacts>> to ask a question, provide feedback, or report a problem.



Detailed Facility Report

Facility Summary

PRASA - LEVITTOWN WASTEWATER PUMP STA

3223 BOULEVARD AVE, TOA BAJA, PR 00949

FRS (Facility Registry Service) ID: 110022530750

EPA Region: 02

Latitude: 18.45535

Longitude: -66.187755

Locational Data Source: FRS

Industries: Utilities

Indian Country: N

Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

Regulatory Information

- Clean Air Act (CAA): No Information
- Clean Water Act (CWA): No Information
- Resource Conservation and Recovery Act (RCRA): Active VSQG, (PRR000017848)
- Safe Drinking Water Act (SDWA): No Information

Go To Enforcement/Compliance Details

Known Data Problems <<https://epa.gov/resources/echo-data/known-data-problems>>

Other Regulatory Reports

- Air Emissions Inventory (EIS): No Information
- Greenhouse Gas Emissions (eGGRT): No Information
- Toxic Releases (TRI): No Information
- Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Facility/System Characteristics

Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110022530750					N	18.45535	-66.187755

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
RCRAInfo	RCRA	PRR000017848	VSQG	Active (H)			N	18.463383	-66.188741

Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110022530750	PRASA - LEVITTOWN WASTEWATER PUMP STA	3223 BOULEVARD AVE, TOA BAJA, PR 00949	Toa Baja Municipio
RCRAInfo	RCRA	PRR000017848	PRASA - LEVITTOWN WASTEWATER PUMP STA	3223 BOULEVARD AVE, TOA BAJA, PR 00951	Toa Baja Municipio

Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
No data records returned			

Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
RCRAInfo	PRR000017848	22132	Sewage Treatment Facilities

Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
No data records returned			

Enforcement and Compliance

Compliance Monitoring History

Last 5 Years

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
No data records returned							

Entries in italics are not included in ECHO's Compliance Monitoring Activity counts because they are not compliance monitoring strategy <<https://www.epa.gov/compliance/compliance-monitoring-programs>> activities or because they are not counted as inspections within EPA's Annual Results <<https://www.epa.gov/enforcement/enforcement-data-and-results>>.

Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
RCRA	PRR000017848	No	02/22/2025	0	02/21/2025

Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type		QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
	RCRA (Source ID: PRR000017848)		04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-12/31/23	01/01-03/31/24	04/01-06/30/24	07/01-09/30/24	10/01-12/31/24	01/01-03/31/25
	Facility-Level Status		No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified
	Violation	Agency												

Informal Enforcement Actions

Last 5 Years

Statute	System	Source ID	Type of Action	Lead Agency	Date
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No data records returned

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

Formal Enforcement Actions

Last 5 Years

Statute	System	Law/ Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/ Filed Date	Settlements/ Actions	Settlement/ Action Date	Federal Penalty Assessed	State/ Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
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No data records returned

Environmental Conditions

Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
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No data records returned

Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
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No data records returned

Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
Ozone	No	--	No	--
Lead	No	--	No	--

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
Particulate Matter	No	--	No	--
Carbon Monoxide	No	--	No	--
Sulfur Dioxide	Yes	Sulfur Dioxide (2010)	No	--

Pollutants

Toxics Release Inventory History of Reported Chemicals Released or Transferred in Pounds per Year at Site

TRI Facility ID	Year	Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Disposal to Land	Total On-Site Releases	Total Off-Site Transfers
-----------------	------	---------------	--------------------------	--	------------------------	------------------	------------------------	--------------------------

No data records returned

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name

No data records returned

Community

Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2022 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. Census boundaries and demographic data for U.S. Territories are based on the "2020 Island Areas Demographic Profiles" from the U.S. Census Bureau. EPA's spatial processing methodology considers the overlap between the selected radii and ACS census block groups in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <<https://epa.gov/help/reports/dfr-data-dictionary#demographic>>.

General Statistics (ACS (American Community Survey))		Age Breakdown (ACS (American Community Survey)) - Persons (%)	
Total Persons	13,827	Children 5 years and younger	505 (4%)
Population Density	6,286/sq.mi.	Minors 17 years and younger	2,320 (17%)
Housing Units in Area	6,495	Adults 18 years and older	11,507 (83%)
Percent People of Color	99%	Seniors 65 years and older	2,712 (20%)
Households in Area	5,341	Race Breakdown (ACS (American Community Survey)) - Persons (%)	
Households on Public Assistance	74	White	5,975 (43%)
Persons With Low Income	7,433		

General Statistics (ACS (American Community Survey))	
Percent With Low Income	54%
Geography	
Radius of Selected Area	1 mi.
Center Latitude	18.45535
Center Longitude	-66.187755
Total Area	3.121 sq.mi.
Land Area	70%
Water Area	30%
Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	933 (17.47%)
\$15,000 - \$25,000	825 (15.45%)
\$25,000 - \$50,000	1,645 (30.8%)
\$50,000 - \$75,000	966 (18.09%)
Greater than \$75,000	972 (18.2%)

Race Breakdown (ACS (American Community Survey)) - Persons (%)	
African-American	894 (6%)
Hispanic-Origin	13,653 (99%)
Asian	0 (0%)
Hawaiian/Pacific Islander	0 (0%)
American Indian	176 (1%)
Other/Multiracial	3,836 (28%)
Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	538 (5.37%)
9th through 12th Grade	330 (3.3%)
High School Diploma	2,416 (24.13%)
Some College/2-year	1,703 (17.01%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	3,540 (35.36%)



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Facility Information

C M C TRANSPORT
Handler ID: PRD987366077
PASEO DORADO 1681
TOA BAJA, PR 00949-3922
County Name: TOA BAJA
Latitude: 18.45598
Longitude: -66.18177
Hazardous Waste Generator:
Owner Name: CESAR MARRERO

BIENNIAL REPORT SUMMARY

No Biennial Report data is available for the facility listed above.

LIST OF FACILITY CONTACTS

NAME	STREET	CITY	STATE	ZIP CODE	PH
	PO BOX 50888/LEVITTOWN	TOA BAJA	PR	00950	

NAME	STREET	CITY	STATE	ZIP CODE	PH

HANDLER / FACILITY CLASSIFICATION

Unspecified Universe for the facility listed above.

HANDLER TYPE
Not in a universe

LIST OF PROCESS UNIT INFORMATION FOR GROUP

<https://epa.gov/envirofacts/metadata/table/rcra/rcr_pm_unit>

No Process Information is available for the facility listed above.

LIST OF NAICS CODES AND DESCRIPTIONS

No NAICS Codes are available for the facility listed above.

LIST OF WASTE CODES AND DESCRIPTIONS

No Waste Codes are available for the facility listed above.



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Facility Information

PR ELEC POWER AUTH - ENG & CONSTR SHOP

Handler ID: PRO007003031

STATE RD 165, KM 130

TOA BAJA, PR 00949

County Name: TOA BAJA

Latitude: 18.456135

Longitude: -66.181601

Hazardous Waste Generator:

Owner Name:

BIENNIAL REPORT SUMMARY

No Biennial Report data is available for the facility listed above.

LIST OF FACILITY CONTACTS

NAME	STREET	CITY	STATE	ZIP CODE	PH
JAVIER APONTE	PO BOX 364267	SAN JUAN	PR	00949	787

HANDLER / FACILITY CLASSIFICATION

Unspecified Universe for the facility listed above.

HANDLER TYPE
Not in a universe

LIST OF PROCESS UNIT INFORMATION FOR GROUP

<https://epa.gov/envirofacts/metadata/table/rcra/rcr_pm_unit>

No Process Information is available for the facility listed above.

LIST OF NAICS CODES AND DESCRIPTIONS

No NAICS Codes are available for the facility listed above.

LIST OF WASTE CODES AND DESCRIPTIONS

No Waste Codes are available for the facility listed above.

Contact Us <<https://www.epa.gov/enviro/forms/contact-us-about-envirofacts>> to ask a question, provide feedback, or report a problem.

ATTACHMENT 4

Endangered Species Supporting Documents



United States Department of the Interior

FISH AND WILDLIFE SERVICE
Caribbean Ecological Services Field Office
Bayamón | Mayagüez | Maricao | Río Grande | St Croix
P.O. Box 491
Boquerón, Puerto Rico 00622



In Reply Refer to:
FWS/R4/CESFO/72137-Gen

Submitted Via Electronic Mail: jcperez@vivienda.pr.gov

Juan Carlos Pérez-Bofill, PE, MEng.
Director – Disaster Recovery CDBG-DR Program
Puerto Rico Department of Housing
P.O. Box 21365
San Juan, P.R 00928-1365

Re: PR-CRP-001002 Levittown Lake Park
Recreational Area, Toa Baja, Puerto Rico

Dear Mr. Pérez-Bofill

Thank you for your letter dated October 15, 2024, requesting informal consultation on the above referenced project. As per your request, our comments are provided under the Endangered Species Act (Act) (87 Stat. 884, as amended; 16 United States Code 1531 et seq.), and the Fish and Wildlife Coordination Act (48 Stat. 401, as amended; 16 U.S.C. 661 et seq.).

The Puerto Rico Department of Housing (PRDOH) proposes the re-design and reconstruction of an existing recreational area (6,046.89 square meters) on the shores of Levittown Lakes, an artificial body of water constructed as the main stormwater drainage system for the Levittown development. The park is located on State Road PR-868, Levittown Boulevard northwest, Levittown, Barrio Sabana Seca (18°27'40.3"N 66°11'19.0"W) in the municipality of Toa Baja, Puerto Rico. The proposed scope of work (SOW) consist of the following:

- **Water Sports Area (WSA)** – Remodel of the concrete structure that gives direct access to the water and the creation of a lower deck (intended to allow the launching of kayaks and other non-motorized watercraft). The WSA will include planters, ramps, stairs, a new gazebo, and new finishes. New stairs and ramps will connect this area with the rest of the park.
- **Gazebo** –Replacement of the existing concrete gazebo with a new gazebo (steel structure) next to the WSA.
- **New Access and Parking Lot** – A new access from road PR-868 and a new parking area will be constructed. The parking area will be constructed with permeable pavement and

provide 14 parking spaces, one of them for handicapped persons. The parking area and other areas within the park will include rain gardens and other green infrastructure elements to handle stormwater.

- **Outdoor Exercise Area** – An outdoor gym area, with outdoor exercise equipment, will be created along the lake. This area will have special paving intended for outdoor play and exercise activities.
- **Big Tree Contemplation Area** – A contemplation area around the existing large Ficus tree will be created with a new deck overlooking the lake. The deck will cantilever towards the water but will be supported by deck columns driven into the upland portion of the lake shore. The contemplation area will include benches and other public space furnishings.
- **Playground** – A new playground will be built in the southern portion of the park.
- **Historical Train Engine Plaza** – A small plaza (with benches and other public space furnishings) will be created at the southern end of the park to display a historical train engine associated with Toa Baja's sugar industry of the 19th century.
- **Central Lawn** – A central lawn area for multiple uses will be created near the center of the park.
- **Pedestrian Paths** – The park will include a new hardscape and pedestrian paths. Pedestrian paths will include various finishes, like concrete, pavers, and gravel. The park will also include benches, trash receptacles, and solar light poles, in addition to the outdoor exercise and playground equipment mentioned above.
- **Planting** – The park will include new plantings throughout, including trees, palms, shrubs, and ground covers. The shoreline will be regraded in some areas to prevent or correct erosion and appropriate aquatic plants added to improve the ecological function of the lake shore. The planting will include:
 - Planting native wetland species like reeds, yellow maraca, water arrow, jicotea grass, and pompano to stabilize the lake bank and provide a habitat for wildlife, especially waterfowl.
 - Preserving large non-native trees in the park, such as a rubber tree, two Australian pines, and several almond trees.
 - Planting new palms and native trees, including hat palms, malaguetas, uvillas, San José broom, black broom, and native oaks.
 - Planting native shrubs like icaco and guava to complement the park's landscape.

According to PRDOH, most of the construction required for the Levittown Lake Park project will be superficial (3 feet or less in depth) on the fill originally deposited to build Levittown or over existing structures. All the construction activity will be done within the existing footprint of the park, including the construction staging area. However, about 200 lineal feet of shoreline will be minimally disturbed to stabilize the bank of the lake and prevent further erosion. Stabilization will be done with the following:

- A combination of geotechnical fabrics, soil, and natural vegetation.
- No gabions or rock fill will be used for the stabilization, although a few boulders will be placed near the shore as part of the landscape design concept.

During the demolition and construction process, erosion and sedimentation control measures will be implemented to avoid the sediments to discharge into the lake, road surface and storm sewer system during rainfall events. The mitigation measures includes the following:

- Installation of hay bales (or silt socks) on drainage structures.
- Installation of silt fence around the project limit.
- Implementation of a washout entrance for trucks to avoid sediments migration into the streets.
- During the construction works a maintenance of traffic plan and temporary control devices will be implemented to control the vehicular traffic and provide a safe route to pedestrians.

Using the U.S. Fish and Wildlife Service's (Service) Information for Planning and Consultation (IPaC) system, PRDOH has determined that the proposed project lies within the range of the Puerto Rican Boa (*Chilabothrus inornatus*), roseate tern (*Sterna dougallii dougallii*) and West Indian manatee (*Trichechus manatus*).

PRDOH used the Caribbean Determination Key (DKey) in the IPaC application to evaluate the potential impacts of the proposed project on federally listed species (Project code: 2024-0085108). Based on the answers provided, a consistency letter was obtained for the Puerto Rican boa, which determined that the proposed actions for this project will have no effect (NE) on this species.

Since the majority of the project will be conducted within the existing footprint and based on the flora and fauna study conducted on August 2023, the PRDOH has determined that the proposed project actions will have no effect on the West Indian manatee and the roseate tern. The Service acknowledges receipt of PRDOH's NE determination for these plant species. Currently, we do not have information to refute that determination. Because the PRDOH made a NE determination, the PRDOH is not required to conduct formal or informal section 7 consultation with the Service, and the Service is not required to concur with PRDOH's NE determination.

As for the Puerto Rican boa, since this species might be found in diverse habitats, PRDOH has determined that the proposed project may affect, but is not likely to adversely affect (NLAA) this species. Conservation measures developed by the Service will be implemented in case an encounter with this species occur.


We have reviewed the information provided in your letter and our files, and concur with your determination that the proposed project may affect, but is not likely to adversely affect the Puerto Rican boa with the implementation of the conservation measures.

In view of this, we believe that requirements of section 7 of the Endangered Species Act (Act) have been satisfied. However, obligations under section 7 of the Act must be reconsidered if: (1) new information reveals impacts of this identified action that may affect listed species or critical habitat in a manner that was not previously considered; (2) this action is subsequently modified in a manner not previously considered in this assessment; or, (3) a new species is listed, or critical habitat determined that may be affected by the identified action.

Thank you for the opportunity to comment on this project. If you have any questions or require additional information, please contact us via email at caribbean_es@fws.gov or by phone at (786) 244-0081.

Sincerely,

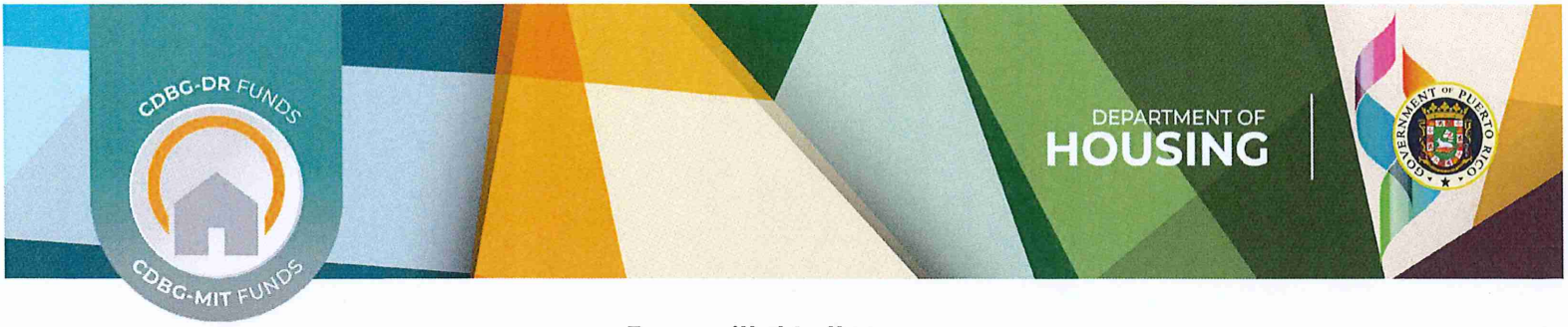
LOURDES
MENA

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MENA
Date: 2025.01.10 15:20:05 -04'00'

Lourdes Mena
Field Supervisor

drr

cc:
DNER
HUD
COE



Transmittal Letter

October 15, 2024

Lourdes Mena
Field Supervisor
Caribbean Ecological Services Field Office
U.S. Fish and Wildlife Service
Office Park I, Suite 303
State Road #2 Km 156.5
Mayagüez, Puerto Rico 00680
Email: Caribbean_es@fws.gov; Lourdes_Mena@fws.gov

**RE: Puerto Rico Department of Housing / CRP Program PR-CRP-001002
Levittown Boulevard Northwest, Levittown, Sabana Seca Ward, Toa Baja, PR
USFWS Consultation Letter**

Dear Mrs. Mena,

We are submitting a consult for the project **Levittown Lake Park Recreational Area (PR-CRP-001002)** under the City Revitalization Program, for your respective evaluation. Attached is included the documentation used to reach the determination for the Federally Listed Threatened and Endangered Species Evaluation of the proposed project which involves the re-design and reconstruction of an existing recreational area.

We look forward for your determination in order to step forward our environmental review process.

For more information, please contact the Permits and Environmental Compliance Division at environmentcdbg@vivienda.pr.gov or at (787)274.2527 ext. 4320.

Sincerely,

Juan Carlos Pérez-Bofill, PE, MEng.
Director for Disaster Recovery, CDBG-DR/MIT Program

CDBG-DR FUNDS

October 3, 2024

Lourdes Mena
Field Supervisor
Caribbean Ecological Services Field Office
U.S. Fish and Wildlife Service
Office Park I, Suite 303
State Road #2 Km 156.5
Mayagüez, Puerto Rico 00680
email: Lourdes_Mena@fws.gov

RE: NLAA - NE Determination for PR-CRP-001002

Applicant ID: PR-CRP-001002 - Levittown Lake Park Recreational Area
Street Address: Levittown Boulevard Northwest, Levittown, Sabana Seca
Municipality: Toa Baja, Puerto Rico

EXECUTIVE SUMMARY

Section 7 of the Endangered Species Act (ESA) mandates that federal agencies ensure the actions that they authorize, fund, or conduct shall not jeopardize the continued existence of federally listed plants and animals or result in the adverse modification or destruction of designated critical habitat. Where their actions may affect resources protected by the ESA, agencies must consult with the Fish and Wildlife Service and/or the National Marine Fisheries Service ("FWS" and "NMFS" or "the Services").

This memo serves to document that the proposed project, PR-CRP-001002, located at Levittown Boulevard northwest, Levittown, Barrio Sabana Seca of the Municipality of Toa Baja, Puerto Rico (Parcel ID# 038-020-214-23-000 and 038-020-214-24-000) was reviewed in accordance with Section 7 of the Endangered Species Act of 1973 (16 USC 1536) as well as the Fish and Wildlife Coordination Act (47 Stat. 401, as amended; 16 U.S.C. 661 *et seq.*) by a qualified Biologist, resulting in a 'No Effect' and NLAA determination.

The goal of the City Revitalization Program is to help shape and implement the future vision of communities that were affected by Hurricanes Irma and María and will support the municipal governments and other eligible organizations to undertake a variety of recovery activities aimed at reinvigorating downtown areas, urban centers, and key community corridors.

PROJECT DESCRIPTION

The Levittown Lake Park Recreational Area project (CDBG-DR CRP-001002) entails the re-design and reconstruction of an existing recreational area on the shores of Levittown Lakes, an artificial body of water constructed as the main stormwater drainage system for the Levittown Development, in Toa Baja, Puerto Rico. The owner and operator of the recreational area is the Autonomous Municipality of Toa Baja. The Park is located at Levittown Boulevard northwest, Barrio Sabana Seca of the Municipality of Toa Baja, Puerto Rico. (See **Figure 3** in **Appendix A**)

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The proposed redesign of Levittown Lake Park is intended to address the community's needs for recreational spaces that put people in contact with nature and that help them maintain an active lifestyle (see **Figure 4** in **Appendix A** and attached project plans in **Appendix B**). The park will be redesigned to be a universally accessible facility.

The main program elements of the park are as follows:

1. **Water Sports Area** – Remodel of the concrete structure that gives direct access to the water and the creation of a lower deck. The lower deck is intended to allow the launching of kayaks and other non-motorized watercraft. The Water Sports Area (WSA), as well as all areas of the park, will be universally accessible. The WSA will include planters, ramps, stairs, a new gazebo, and new finishes. New stairs and ramps will connect this area with the rest of the park.
2. **Gazebo** – A new gazebo will replace the existing concrete gazebo, which is a safety hazard due to significant and irreversible corrosion of the rebar inside its columns. The new gazebo will be a steel structure next to the Water Sports Area. The existing gazebo to be demolished is from the 1960s.
3. **New Access and Parking Lot** – A new access from road PR-868 and a new parking area will be constructed. The parking area will be constructed with permeable pavement and provide 14 parking spaces, one of them for handicapped persons. The parking area and other areas within the park will include rain gardens and other green infrastructure elements to handle stormwater.
4. **Outdoor Exercise Area** – An outdoor gym area, with outdoor exercise equipment, will be created along the lake. This area will have special paving intended for outdoor play and exercise activities.
5. **Big Tree Contemplation Area** – A contemplation area around the existing large Ficus tree will be created with a new deck overlooking the lake. The deck will cantilever towards the water but will be supported by deck columns driven into the upland portion of the lake shore. The contemplation area will include benches and other public space furnishings.
6. **Playground** – A new playground will be built in the southern portion of the park. A concrete pad with special cushion-like topping will support playground equipment for children.
7. **Historical Train Engine Plaza** – A small plaza will be created at the southern end of the park to display a historical train engine associated with Toa Baja's sugar industry of the 19th century. The plaza will include benches and other public space furnishings.
8. **Central Lawn** – A central lawn area for multiple uses will be created near the center of the park.
9. **Pedestrian Paths** – The park will include a new hardscape and pedestrian paths. Pedestrian paths will include various finishes, like concrete, pavers, and gravel. The park will also include benches, trash receptacles, and solar light poles, in addition to the outdoor exercise and playground equipment mentioned above.
10. **Planting** – The park will include new plantings throughout, including trees, palms, shrubs, and ground covers. The shoreline will be regraded in some areas to prevent or correct erosion and appropriate aquatic plants added to improve the ecological function of the lake shore.

Construction Works

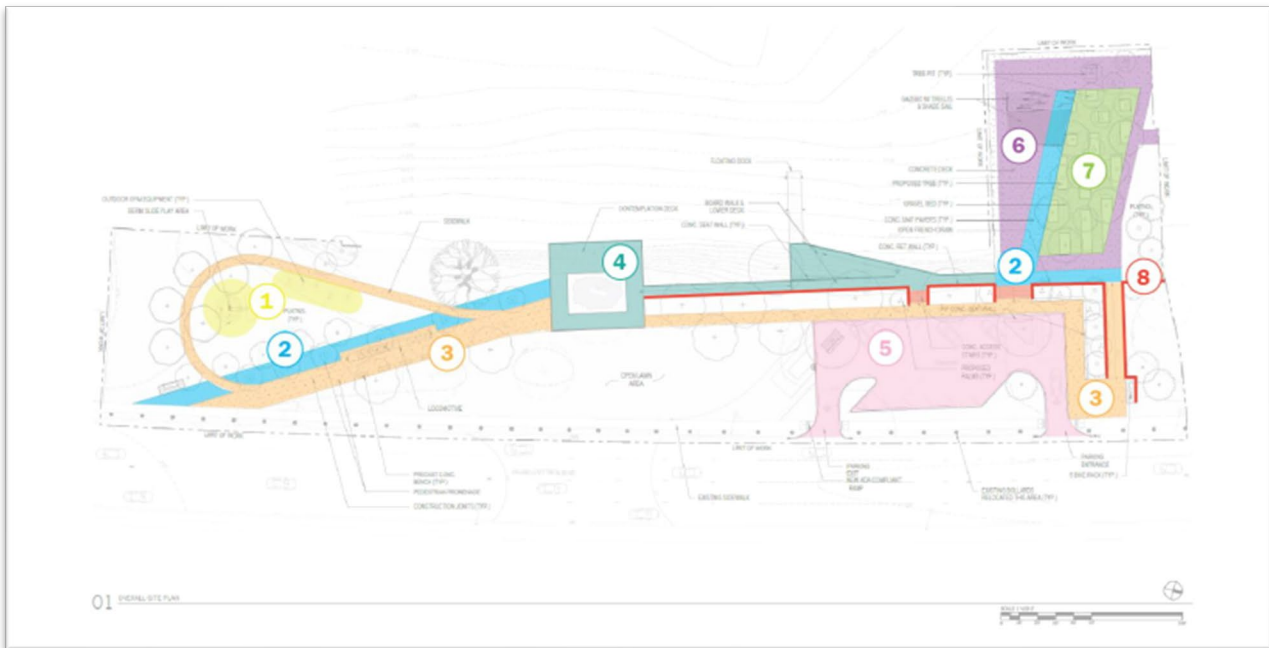
Most of the construction required for the Levittown Lake Park project will be superficial (3 feet or less in depth) on the fill originally deposited to build Levittown or over existing structures, aside from the retaining walls. All the construction activity will be done within the existing footprint of the park, including the construction staging area.

About 200 lineal feet of shoreline will be minimally disturbed to stabilize the bank of the lake and prevent further erosion. Stabilization will be done with a combination of geotechnical fabrics, soil, and natural vegetation. No gabions or rock fill will be used for the stabilization, although a few boulders will be placed near the shore as part of the landscape design concept. New construction areas are summarized in the following table (Refer to Table 1 and Figure 13):

Table 1: Project elements with Potential ground disturbing activities.

FIGURE #	PROJECT ELEMENT	NEW CONSTRUCTION (square feet)	POTENTIAL GROUND DISTURBING ACTIVITIES (depth in inches)
01	Embankment Slide Area	263	6"
01	Outdoor Gym Area	343	6"
02	Linear Paver Promenade North	1,536	8"
02	Linear Paver Promenade South	1,719	8"
03	Concrete Walkways North	3,222	4"
03	Concrete Walkways South	3,856	4"
04	Deck Total	3,629	N/A
04	Contemplation Deck Beams	112	36"
04	Contemplation Deck Footings 34 footings	136	12"
04	Lake-Access Deck Footings 20 posts	45	24"
05	Permeable Parking	6,157	10"
06	New Concrete Slab	5,381	6"
07	Gravel Garden Area	3,240	4"
08	Retaining Walls + Stairs	1,763	175 linear feet at 48" depth 8" width 24 linear feet at 60" depth 8" width

Figure 1: Location of Project elements with potential ground disturbing activities.



Demolition Works & Ground Disturbance Activities

Before any demolition work begins, a thorough site assessment is conducted to evaluate the existing conditions and identify potential hazards. A demolition plan is developed, outlining areas to be demolished, safety measures, and waste disposal strategies. Demolition of current structures on site will consist of removing the existing gazebo and concrete slabs within the project area (Figure 2), the existing sidewalks and bollards will be maintained as part of the project. (Refer to Table 2 and Figure 2)

During the demolition and construction process, erosion and sedimentation control measures will be implemented to avoid the sediments to discharge into the lake, road surface and storm sewer system during rainfall events, including installation of hay bales (or silt socks) on drainage structures, installation of silt fence around the project limit, and implementation of a washout entrance for trucks to avoid sediments migration into the streets. The staging area for the construction equipment and materials will be located within the APE. Staging and storage areas for construction materials will be protected with silt fence. A Maintenance of traffic plan and temporary control devices will be implemented to control the vehicular traffic and provide a safe route to pedestrians during the construction works.

Construction is expected to generate 3 cubic yards of solid waste per day, on average. Solid waste generation during operation will be minimal and directly handled by the Municipality of Toa Baja

Figure 2: Existing concrete slabs and gazebo

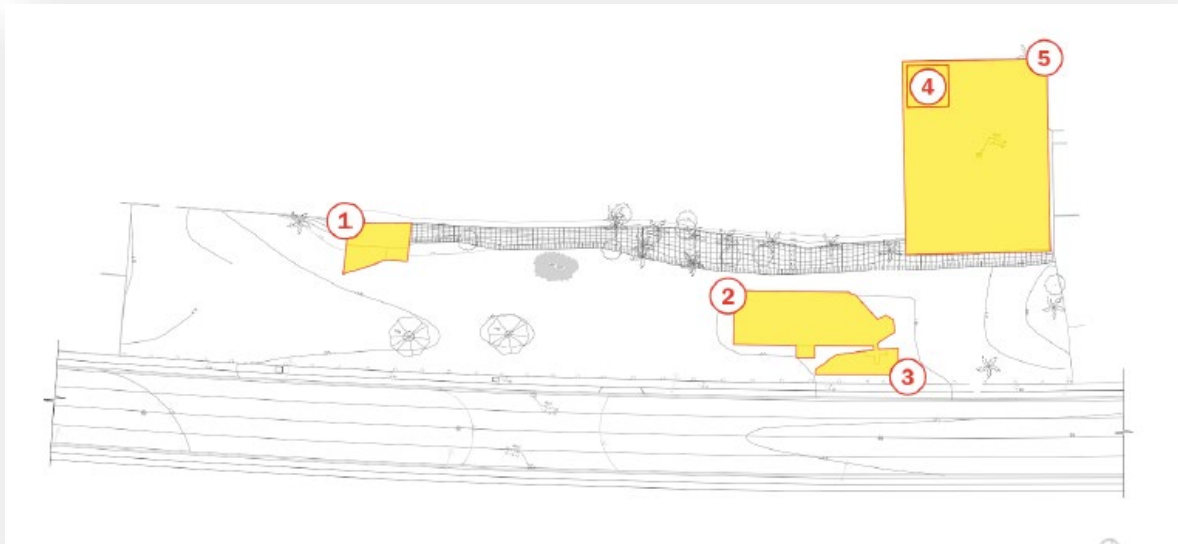


Table 2: Demolition with Potential ground disturbing activities

FIGURE #	SLAB OR STRUCTURE	DEMOLITION VOLUME (cubic meters)	POTENTIAL GROUND DISTURBING ACTIVITIES (depth in inches)
01	Concrete Slab #1	86	36"
02	Concrete Slab #2	174	24"
03	Concrete Slab #3	57	24"
04	Gazebo	15	10"
05	Concrete Slab #4	148	6"
	TOTAL DEMO VOLUME	480	

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Figure 3: Demolition of Abandoned Concrete Slabs and Gazebo (4) with potential ground disturbing



activities.

Infrastructure

The project will not use public infrastructure (water, wastewater treatment, electricity, communications). Since is a local park, not a regional one, no bathrooms will be provided, and potable water or sanitary connection services are not contemplated for this project. Also, no electricity connection will be needed since the lighting poles that are going to be used will be electrified by solar power. The only infrastructure the project will improve is the effect of the rainwater in the site and surrounding areas. The project will manage site rainwater by using rain gardens and porous pavement to mitigate the impact on the existing public infrastructure.

Tree Removal, Preservation and Reforestation Works

The project's goal is to enhance Levittown Lake Park by using planting and urban afforestation strategies. The main objectives are to create a landscape that connects people with the typical environment of the northern plain of Puerto Rico and to improve the ecological functions of the shore of the artificial estuarine lagoon. The strategies include:

- Planting native wetland species like reeds, yellow maraca, water arrow, jicotea grass, and pompano to stabilize the lake bank and provide a habitat for wildlife, especially waterfowl.

- Preserving large non-native trees in the park, such as a rubber tree, two Australian pines, and several almond trees.
- Planting new palms and native trees, including hat palms, malaguetas, uvillas, San José broom, black broom, and native oaks.
- Planting native shrubs like icaco and guava to complement the park's landscape.

As part of the construction and planting strategies, a plant inventory was conducted, identifying 24 individuals of trees and palms. To enhance the habitat of the area and allow for the project's development, it will be necessary to remove 5 trees and 6 small palms. To compensate for this, 40 new specimens of trees and palms will be planted as part of the new landscape. **Appendix C** contains a copy of the Tree Inventory Plan indicating which plants will be preserved and the ones to be removed.

Although the primary function of the urban space is recreation, the selected planting and urban afforestation strategies are intended to create a habitat for wildlife and establish an ecotone between the heavily developed environment and the significantly naturalized artificial origin of the park.

EXISTING CONDITIONS:

The park site occupies 6,046.89 square meters (1.49 acres) on the northeastern corner of Levittown Lake, along Levittown Boulevard (road PR-868), 170 meters south of its intersection with road PR-165. Its center coordinates are: 18.46100 N, 66.18855 W (State Plane X: 225850, Y: 269500). The land is registered under two cadastral numbers: 038-020-214-23-000 and 038-020-214-24-000. The owner is the Autonomous Municipality of Toa Baja. The site is zoned DT-G ("*Dotacional General*"), or General Public Use".

The site is flat with elevations ranging from 2.82 m above sea level to sea level. The park has a main area approximately 178 meters by 30 meters, and a 36 m by 27 m concrete platform extending from it into the water. Most of the park is currently covered by bare soil and grasses, a few concrete slabs from previous structures, and a few trees. There is a concrete gazebo on the concrete platform (see the attached survey plan). The entire site is in an AE flood zone, as per FEMA FIRM panel 72000C0330J (A flood zone in the FEMA Advisory Maps), with a base flood elevation of 2.1 meters. (See Figure 3 in Attachment A).

The site has been used as a passive park for more than 10 years. Therefore, the proposed project will not result in a change in the use, size, or capacity of the property. Levittown Lake, even though an artificial body of water, is considered estuarine "interior waters," where the tides are sensible but with a reduced oscillation (less than 1 foot). Therefore, they are "waters of the United States", and its shores are part of the Puerto Rico maritime-terrestrial zone. A comprehensive hydrological and water quality study of Levittown Lake was done by the US Geological Survey (USGS Scientific Investigations Report 2022-5096). The report shows that recurrent anoxic conditions affect these waters, the result of the engineering design of the lake, with a high mean-depth to surface area ratio.

Official Species List

List obtained from the Information for Planning and Consultation (IPaC) system (**Appendix E**) and USFWS Critical Habitat data (**Appendix D**), the proposed project lies within the range of the following federally listed species and critical habitats:

Species	Status
West Indian Manatee - <i>Trichechus manatus</i>	Threatened
Roseate Tern - <i>Sterna dougallii dougallii</i>	Threatened
Puerto Rican Boa - <i>Chilabothrus inornatus</i>	Endangered
Critical Habitat	
None	

EFFECT DETERMINATION:

Based on a review of site photos and other information gathered during a site visit during August 2023, none of the species listed above were observed in the vicinity of the proposed project activities and no critical habitat was identified within the proposed project area. Having carefully analyzed the project site and the information available, including the IPaC species list and available key(s), critical habitat data, nature of the project, previous site disturbance, and scope of project activities, the following effect determinations have been made:

Species	Effect Determination	Conservation Measures to be Implemented (if needed)
West Indian Manatee - <i>Trichechus manatus</i>	No Effect	None required
Roseate Tern - <i>Sterna dougallii dougallii</i>	No Effect	None required
Puerto Rican Boa - <i>Chilabothrus inornatus</i>	May affect, not likely to adversely affect	Conservation Measures will be implemented

SPECIES ANALYSIS:

Puerto Rican Boa (*Chilabothrus inornatus*)

Considered to be a habitat generalist, the Puerto Rican Boa tolerates a wide variety of terrestrial and arboreal habitats, including rocky areas, haystack hill, trees and branches, rotting stumps, caves, plantations, various types of forested areas such as karst and mangrove forests, forested urban and rural areas, and along streams and road edges. The IPaC Determination Key (Dkey) for the Puerto Rican Boa, dated 05/02/2024, was used to evaluate the potential impacts to federally listed species from this project. Based on the Dkey responses, it was determined that the proposed project will have 'No Effect' on the Puerto Rican Boa (Appendix E). But since the Puerto Rican Boa may be found in diverse habitats, a NLAA determination may be more adequate in this case.

During the development of the project, conservation measures as established in the documents published by the USFWS (**Appendix E**), will in place. Should a Puerto Rican Boa be found in the project activity site, work will cease until the Boa moves off on its own. If the Boa does not move off, the Construction Manager will contact the Puerto Rico Department of Natural and Environmental Resources and ask for them to relocate the Boa.

Roseate Tern - *Sterna dougallii dougallii*

The National NMFS ESA Critical Habitat Mapper and the Flora and Fauna Study conducted at the project site (refer to Appendix D) confirm that no individuals or habitat for the Roseate Tern were identified. The Recovery Plan for the Caribbean Roseate Tern (*Sterna dougallii dougallii*), published in 1993 by the USFWS, indicates that these birds breed primarily on small offshore islands, marine

rocks, cays, and islets in the Caribbean. It is worth noting that the proposed project's location is not considered a critical habitat, according to the USFWS Official List (refer to Appendix C). Additionally, the Flora and Fauna observations indicate that the area does not have the characteristics necessary for breeding nests.

According to the NOAA ESI, the proposed project site does not present any critical species, species threatened with extinction, or endangered species (refer to Attachment C). There is no IPAc Determination Key for the Roseate Tern. Based on the information obtained from the Critical Habitat Mapper and the Flora & Fauna Studies, we can confidently conclude that the proposed project will have 'No Effect' on this species.

West Indian Manatee - *Trichechus manatus*

Based on the National NMFS ESA Critical Habitat Mapper and the Flora and Fauna Study conducted at the proposed project site (which can be found in Appendix C), it was determined that neither the West Indian Manatee species nor any other critical species were present in the area. Additionally, the NOAA ES Map for the project site does not indicate the presence of any threatened or endangered species (as seen in Attachment D). It is worth noting that the location of the park is not connected to the sea or areas where manatees are typically found. Although there is no IPAc Determination Key for the West Indian Manatee, the information gathered from the Critical Habitat Mapper, and the Flora & Fauna Studies suggests that the proposed project will have no negative impact on this species.

Milagros Jorge

Senior Biologist

08/30/20224

Date

Appendix A

Figures and Site Photos

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(787) 729-3333

Figures

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San Juan PR 00907
(787) 729-3333

Figure 1. USGS Topographic Map - Levittown Lake Park Recreational Area (PR-CRP-001002)

Address: Levittown Boulevard Northwest, Barrio Sabana Seca, Municipality of Toa Baja

Coordinates: 18.46100 N, -66.18855 W (WGS 1984)



Source: USGS (2013) (<https://ngmdb.usgs.gov/topoview/viewer/#4/40.01/-100.06>)

Author: AG Environmental PSC

Scale: 1:18,056

Spatial Reference: North American Datum 1983 (NAD 83)

Figure 2. Aerial Photo - Levittown Lake Park Recreational Area (PR-CRP-001002)

Address: Levittown Boulevard Northwest, Barrio Sabana Seca, Municipality of Toa Baja

Coordinates: 18.46100 N, -66.18855 W (WGS 1984)



Source: Source: Google Earth (<https://earth.google.com/web/>)

Author: AG Environmental PSC

Scale: 1:5,000

Spatial Reference: North American Datum 1983 (NAD 83)

Figure 3. Advisory Base Flood Elevation Map - Levittown Park Recreational Area (PR-CRP-001002)

Address: Levittown Boulevard Northwest, Barrio Sabana Seca, Municipality of Toa Baja
Coordinates: 18.46100 N, -66.18855 W (WGS 1984)

Mapa Niveles de Inundación Base Recomendados



6/18/2024, 11:43:08 AM

Municipios Limite Panel AO
Linea de Costa Zona Inundable A Costera
Cuerpos de Agua A VE
AE



1:4,514
0 0.04 0.07 0.14 mi
0 0.05 0.1 0.2 km
PRPB, FEMA, Maxar

Junta de Planificación, FEMA
Maxar | PRPB, FEMA | Junta de Planificación, Programa de Sistema de Información Geográfica |

Source: Source: Source: FEMA/PR Planning Board
(<https://maps.jp.pr.gov/index.php/461-2/>) Author: AG Environmental PSC

Scale 1: 4,514
Spatial Reference: North American Datum 1983 (NAD 83)

August 2023 Field Inspection

Site Photos

800 Avenida Fernández Juncos Ste 3
San Juan PR 00907
(787) 729-3333













































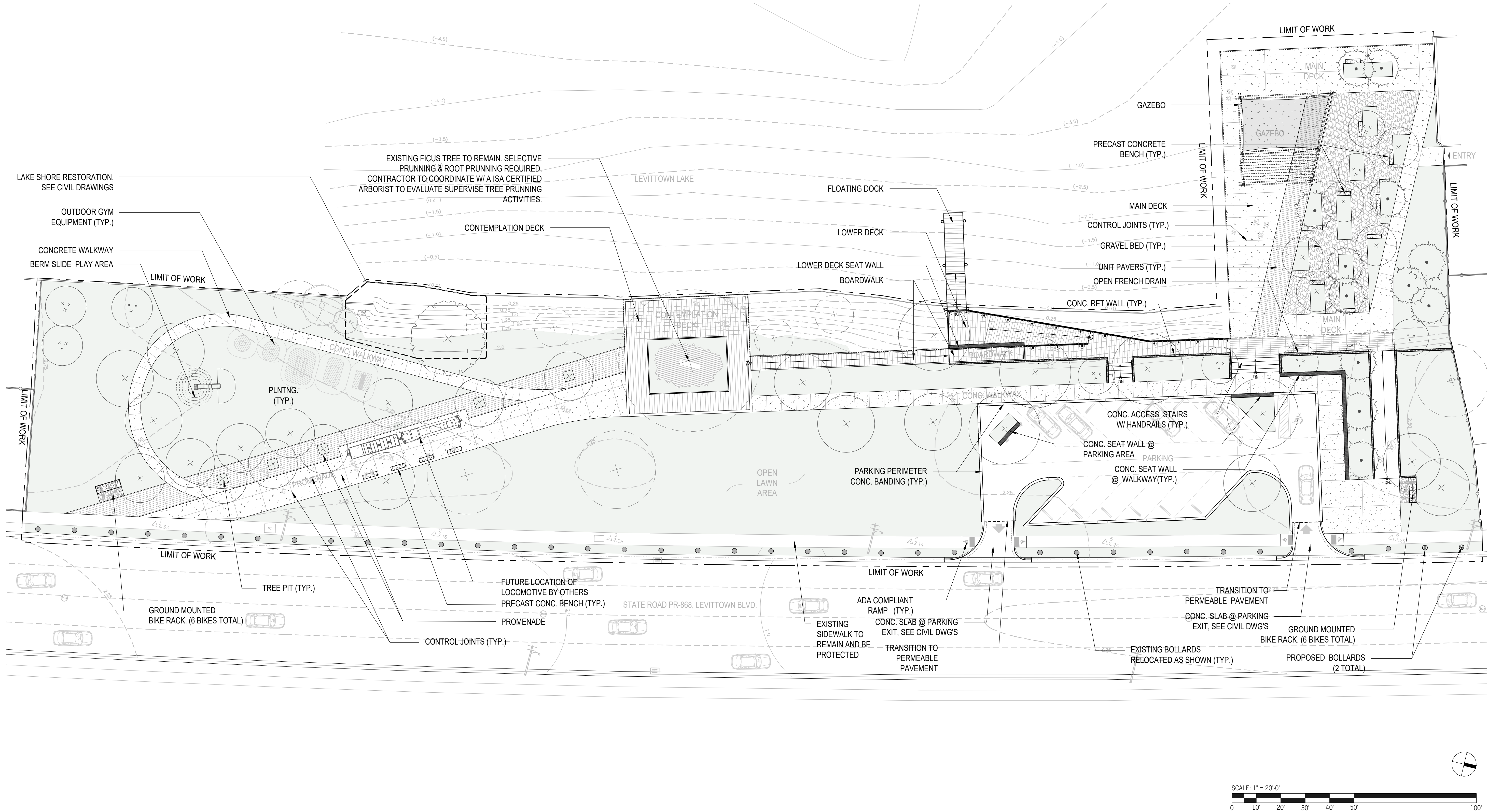


Appendix B

Site Plan

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Z:\PROJECTS\2319 - LEVITTOWN LAKE PARK, TOA BAJA, S.O.S-CONTRACT\DOCS\00-SHEETS\2319_90_00_L-002_OVERALL SITE PLAN.DWG



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ISSUE RECORD	DESCRIPTION
08.08.2023	ISSUED 30% SD'S
11.30.2023	ISSUED 60% DD'S
04.04.2024	ISSUED 90% CD'S
08.02.2024	ISSUED 100% CD'S

REV	DATE	DESCRIPTION
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YO, JONATHAN J. MARVEL FULLER, NÚMERO DE LICENCIA 21738, CERTIFICO QUE SOY EL PROFESIONAL QUE CONFECCIONO, DISEÑO Y/O PREPARO ESTOS PLANOS Y LAS ESPECIFICACIONES COMPLEMENTARIAS. TAMBIÉN, CERTIFICO QUE ENTENDO QUE DICHS PLANOS Y ESPECIFICACIONES CUMPLEN CON LAS DISPOSICIONES APLICABLES DEL REGLAMENTO CONJUNTO Y LAS DISPOSICIONES VIGENTES DE LAS AGENCIAS, JUNTAS REGLAMENTADORAS O CORPORACIONES PÚBLICAS CON JURISDICCIÓN, CERTIFICADO, ADEMÁS, QUE EN LA PREPARACIÓN DE ESTOS PLANOS Y ESPECIFICACIONES SE HA CUMPLIDO CABALMENTE CON LO DISPUESTO EN LA LEY N.º 14 DE 1 DE ENERO DE 2004, SEGÚN ENMIENDAS, CONOCIDA COMO LA "LEY PARA LA INVERSIÓN POR LA INDUSTRIA PUERTORRIQUEÑA", Y CON LA LEY N.º 16 DE 1 DE JULIO DE 1976, SEGÚN ENMIENDAS, RECONOCIDO QUE CUALQUIER DECLARACIÓN FALSA O FALSIFICACIÓN DE LOS HECHOS QUE SE HAYA PRODUCIDO POR DESCUIDO O POR NEGLIGENCIA YA SEA POR MÍ, MIS AGENTES O EMPLEADOS, O POR OTRAS PERSONAS CON MI CONDOMINIO, ME HACEN RESPONSABLE DE CUALQUIER ACCIÓN JUDICIAL Y DISCIPLINARIA POR LA DOPE.

MA # 2319
PARQUE DEL LAGO
DE LEVITTOWN
PR-CRP-001002

TOA BAJA, PUERTO RICO

OVERALL SITE PLAN

SCALE:

DRAWING #:
L-002 of

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6/26/2023 12:34 PM

Appendix C

Tree Inventory Plan

800 Avenida Fernández Juncos Ste 3
San Juan PR 00907
(787) 729-3333

Appendix D
Flora & Fauna Study

800 Avenida Fernández Juncos Ste 3
San Juan PR 00907
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ESTUDIO DESCRIPTIVO DE FLORA Y FAUNA



MEJORAS AL ÁREA RECREATIVA DEL PARQUE DEL LAGO DE LEVITTOWN BARRIO SABANA SECA, TOA BAJA

Preparado para:
MUNICIPIO DE TOA BAJA

Preparado por:



Environmental Studies,
Permitting and Consulting

SEPTIEMBRE 2023

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Resumen Ejecutivo

El Municipio de Toa Baja, en sus esfuerzos de recuperación después del impacto de los huracanes Irma y María, propone una serie de mejoras a las facilidades recreativas de su municipio. El Proyecto consiste en mejoras al Área Recreativa del Parque del Lago de Levittown, el cual se encuentra localizado en la Carretera Estatal PR-868, conocida como Avenida Boulevard Levittown, Barrio Sabana Seca del Municipio de Toa Baja (ver **Apéndice A, Figuras 1 y 2**).

Este documento constituye el Estudio Descriptivo de Flora y Fauna en el área de estudio. El propósito de este estudio es:

- Evaluar y describir la flora y fauna general del lugar propuesto,
- Describir las asociaciones ecológicas existentes, y
- Determinar la presencia de elementos o especies críticas, amenazadas o en peligro de extinción.

El área de estudio está cubierta en su mayoría por especies herbáceas. Las especies de flora más abundantes son la pata de gallina (*Eleusine indica*), hierba de Bermuda (*Cynodon dactylon*), el moriviví (*Mimosa pudica*), don Diego (*Portulaca pilosa*), pancha (*Tridax procumbens*) y la zoisia (*Zoysia matrella*). El total de especies de plantas fue de 60, divididas en 22 familias. No se encontró ninguna especie de flora designada como elemento crítico, amenazada o en peligro de extinción.

Por otro lado, las especies de fauna dominantes son la paloma casera (*Columba livia*) y el gorrión inglés (*Passer domesticus*). El total de especies de animales fue de 24, divididas en 21 familias. Se observaron dos especies designadas como elementos críticos por el Departamento de Recursos Naturales y Ambientales (DRNA) en el área de estudio. Estas son el juey común (*Cardisoma guanhumí*) y la jicotea (*Trachemys stejnegeri stejnegeri*). No se observó ninguna especie de fauna designada como amenazada o en peligro de extinción.

Introducción

El Municipio de Toa Baja, en sus esfuerzos de recuperación después del impacto de los huracanes Irma y María, propone una serie de mejoras a las facilidades recreativas de su municipio. El Proyecto consiste en mejoras al Área Recreativa del Parque del Lago de Levittown, el cual se encuentra localizado en la Carretera Estatal PR-868, conocida como Avenida Boulevard Levittown, Barrio Sabana Seca del Municipio de Toa Baja (ver **Apéndice A, Figuras 1 y 2**).

El proyecto del Área Recreativa del Parque del Lago Levittown (CDBG-DR CRP-001002) consiste en el rediseño y reconstrucción de un área recreativa existente a orillas de los lagos Levittown; un cuerpo de agua artificial construido como parte del sistema de drenaje de aguas pluviales para el Desarrollo Levittown, en Toa Baja, Puerto Rico. El propietario y operador del área recreativa es el Municipio Autónomo de Toa Baja.

El parque ocupa un área aproximada de 6,046.89 metros cuadrados (1.5 cuerdas) y ubica en la esquina noreste del Lago Levittown, a lo largo de la Avenida Boulevard Levittown. (Carretera PR-868), 170 metros al sur de su intersección con la carretera PR-165.

Este documento constituye el Estudio Descriptivo de Flora y Fauna en el área de estudio. El propósito de este estudio es:

- Evaluar y describir la flora y fauna general del lugar propuesto,
- Describir las asociaciones ecológicas existentes, y
- Determinar la presencia de elementos o especies críticas, amenazadas o en peligro de extinción.

Este Estudio de Flora y Fauna se llevó a cabo de acuerdo a los procedimientos recomendados por el Departamento de Recursos Naturales y Ambientales (DRNA) y por el Servicio de Pesca y Vida Silvestre de los Estados Unidos (USFWS, por sus siglas en

inglés), utilizando métodos de muestreo ajustados a las características y condiciones del área de estudio.

Este documento contiene las siguientes secciones:

- Descripción del área de Estudio,
- Metodología del Estudio,
- Resultados y Discusión,
- Conclusiones y Recomendaciones, y
- Apéndices

El trabajo de campo realizado para obtener los datos para este Estudio Descriptivo de Flora y Fauna se llevó a cabo durante el mes de agosto del 2023.

Descripción del Área de Estudio

El lugar en donde se propone el Proyecto ubica en el Barrio Sabana Seca del Municipio de Toa Baja (**Apéndice A, Figuras 1 a 4**). El mismo colinda al Norte con residencias; al Este con la Avenida Boulevard Levittown. (Carretera PR-868); al Sur con residencias y al Oeste con los lagos de Levittown.

La zona de vida en la que se encuentra el Proyecto propuesto se conoce como Bosque Húmedo Subtropical (Ewel y Whitmore, 1973). La zona de vida del bosque húmedo subtropical es la más extensa de todas las zonas existentes en Puerto Rico. El Bosque húmedo subtropical cubre aproximadamente 5,500 Km² o un 58% del total del área de la Isla. En esta zona de vida la precipitación promedio anual es de 1,100mm a 2,200mm y una temperatura promedio de 18 a 24°C.

La mayoría del Bosque Húmedo subtropical ha sido deforestado en un momento u otro. Esto se debe a que las condiciones climáticas que lo definen son buenas condiciones para una gran cantidad de cosechas. Con la excepción de los suelos derivados de serpentina o piedra caliza, gran parte del terreno en esta zona de vida se mantiene en algún tipo de uso deforestado. Las áreas que han mantenido la vegetación representativa de la zona son caracterizadas por árboles de hasta 20 metros de altura, con coronas redondeadas, como por ejemplo el árbol de Mangó (*Mangifera indica*). Muchos de las especies leñosas son deciduas durante la temporada seca y las epífitas son comunes, y a veces cubren completamente los troncos y las ramas.

Climatología

De acuerdo al “Monthly Station Normals of Temperature, Precipitation, and Heating and Cooling Degree Days, 1991 - 2020”, preparado por la Administración Oceánica y Atmosférica Nacional (NOAA, por sus siglas en inglés), la precipitación promedio anual en la región es aproximadamente 59.87 pulgadas (1,520.69 mm). La temperatura mínima promedio anual es de 75.1 °F (23.94 °C). La temperatura máxima promedio anual es de 86.7 °F (30.39 °C). La temperatura promedio anual es de 80.9 °F (27.17 °C).

Hidrografía

El rasgo hidrográfico más cercano son los lagos de Levittown, los cuales se encuentran adyacentes al lado Oeste del Proyecto. La **Figura 4** muestra la hidrografía del área de estudio.

Topografía

La **Figura 1 (Apéndice A)** muestra la localización del Proyecto sobre el Cuadrángulo Topográfico de Bayamón, preparados por el Servicio Geológico de los Estados Unidos. De esta figura se puede observar que el área del Proyecto ubica alrededor de los 2.0 metros sobre el nivel promedio del mar (AMSL, por sus siglas en inglés). Según un estudio topográfico reciente preparado para el Proyecto, las elevaciones topográficas fluctúan entre 0.0 y 3.0 metros AMSL.

Descripción y Clasificación de Suelos

De acuerdo al Catastro de Suelos del Área de San Juan, del Servicio de Conservación de Suelos (Boccheciamp, 1978), los suelos del área de estudio se componen de Terreno urbano - complejo Durados (Ud). La **Figura 5** muestra el mapa de suelos del área de estudio.

El suelo Terreno urbano - complejo Durados (Ud) se encuentra en terrazas. Su drenaje es excesivo y la permeabilidad es alta. Su capacidad de agua disponible es baja.

Metodología del Estudio

A continuación se describe la metodología y procedimientos utilizados.

Visita de Reconocimiento

El área del Proyecto se visitó preliminarmente para realizar un reconocimiento general sobre la ubicación, área que ocupa y límites del Proyecto; características y otros rasgos naturales. Esta visita fue muy importante para el diseño del plan de trabajo de campo.

Consulta de los Mapas de Índice de Sensitividad Ambiental (ESI, por sus siglas en inglés) de la Administración Oceánica y Atmosférica Nacional (NOAA, por sus siglas en inglés)

El ESI es un estudio realizado por la NOAA en colaboración con otras organizaciones y agencias, entre las cuales están el Servicio de Pesca y Vida Silvestre de los Estados Unidos (USFWS, por sus siglas en inglés) y el DRNA. Este estudio muestra los records de observaciones de especies críticas, amenazadas o en peligro de extinción alrededor de toda la costa y en las cuencas de los ríos y quebradas principales de Puerto Rico.

Información para la Planificación y Consulta (IPaC, por sus siglas en inglés) del USFWS

El IPaC es una fuente de información sobre especies listadas a nivel federal, especies migratorias, refugios de vida silvestre, humedales, etc.

Trabajo de Campo

El trabajo de campo para este estudio se llevó a cabo en el mes de agosto del 2023. Se recorrió el área del Proyecto y se documentaron las especies de acuerdo al área en donde se observaron.

Análisis de Datos

La identificación de las especies se realizó en el campo, salvo en aquellos casos en que éstas no pudieran ser identificadas al momento. En estos casos, estas especies fueron

identificadas utilizando especímenes colectados en el campo o con la ayuda de la documentación fotográfica realizada. En cuanto a las especies de flora que fueron colectadas para su identificación, las mismas fueron llevadas al Herbario de la Universidad de Puerto Rico, Recinto de Río Piedras para su identificación. Las referencias para la identificación de las especies se encuentran en la sección de **Referencias** de este documento.

Resultados y Discusión

El área de estudio se encuentra completamente impactada por usos antropogénicos. El área es frecuentemente visitada y utilizada como estacionamiento durante tales visitas.

El área de estudio está cubierta en su mayoría por especies herbáceas. Las especies de flora más abundantes son la pata de gallina (*Eleusine indica*), hierba de Bermuda (*Cynodon dactylon*), el moriviví (*Mimosa pudica*), don Diego (*Portulaca pilosa*), pancha (*Tridax procumbens*) y la zoisia (*Zoysia matrella*).

Las familias más representadas son la Poaceae (16 especies) y la Cyperaceae (5 especies). El 50% de las especies observadas son nativas. La frecuencia por estrato es: herbáceas 72%, árboles 20%, arbustos 5% y bejucos 3%. El total de especies de plantas fue de 60, divididas en 22 familias. No se encontró ninguna especie de flora designada como elemento crítico, amenazada o en peligro de extinción.

Por otro lado, las especies de fauna dominantes son la paloma casera (*Columba livia*) y el gorrión inglés (*Passer domesticus*). El total de especies de animales fue de 24, divididas en 21 familias. Se escuchó al coquí churí (*Eleutherodactylus antillensis*), el cual es una especie endémica para Puerto Rico.

Dos especies de fauna designadas como elementos críticos por el DRNA fueron observadas en el área de estudio. Estas son el juey común (*Cardisoma gunahumi*) y la jicotea (*Trachemys stejnegeri stejnegeri*).

Durante el trabajo de campo se observaron algunas cavidades en donde habita el juey común. El DRNA ha designado el juey común como elemento crítico debido a la destrucción de su hábitat y la sobrepesca. Su categoría como elemento crítico es de Menor Riesgo (LR), dependiente de su conservación (dc). Una especie bajo la categoría LR significa que no satisfizo las categorías de Peligro Crítico, En Peligro, o Vulnerable y no es Deficiencia de Datos. El juey común habita manglares, pastizales y bosques

costeros en agujeros que alcancen el nivel freático (máximo de unos 8 pies de profundidad).

En cuanto a la jicotea, el DRNA designó a esta especie como elemento crítico basándose en el potencial de hibridización que tiene la misma con la especie introducida *Chrysemys scripta elegans*. Su categoría como elemento crítico es de Deficiencia de Datos (DD). La categoría DD se asigna a una especie cuando la información es inadecuada para hacer una evaluación, directa o indirecta, de riesgo de extinción sobre la base de la distribución y/o condición de la población. La jicotea habita en charcas, ríos, embalses y canales de agua dulce. No se encontró ninguna especie de fauna designada como amenazada o en peligro de extinción.

El **Apéndice B** incluye el listado de flora y fauna observada en el área de estudio.

Según el ESI de la NOAA, el predio del Proyecto no presenta ninguna especie crítica, amenazada o en peligro de extinción. Las **Figuras 7 y 8 (Apéndice A)** muestran el ESI.

Para el área de estudio, el IPaC del USFWS, incluye a la boa de Puerto Rico (*Chilabothrus inornatus*, especie en peligro de extinción) y al manatí antillano (*Trichechus manatus*, especie en peligro de extinción), como especies que pueden encontrarse en dicha área (ver **Apéndice C**).

Como mencionado arriba, el predio del Proyecto está completamente desarrollado y dominado por especies herbáceas, lo cual no representa el hábitat de la boa de Puerto Rico. En cuanto al manatí, esta especie es de hábitos acuáticos y el Proyecto no contempla trabajos fuera de la huella existente. Estas especies no fueron observadas durante el trabajo de campo.

Asociaciones Ecológicas y Biodiversidad

El predio del Proyecto está totalmente desarrollado. Según Helmer et al., la cobertura del terreno es urbano y estéril. La **Figura 9 (Apéndice A)** muestra la cobertura del terreno,

según Helmer et al. De acuerdo a esta misma fuente de información, el uso del terreno del área de estudio es como Urbano de Alta Densidad (Uh). La **Figura 10 (Apéndice A)** muestra el uso del terreno según esta fuente de información.

De acuerdo al “National Land Cover Database, land cover - Puerto Rico” el área del Proyecto está desarrollado a mediana intensidad y desarrollada con espacios abiertos. El **Apéndice D** muestra el “National Land Cover Database, land cover - Puerto Rico” para el predio del Proyecto.

El **Apéndice E** incluye documentación fotográfica del área de estudio.

Conclusiones

El área de estudio está completamente impactada por los usos antropogénicos que se llevan a cabo en ella, por lo que hay una baja diversidad de especies y no existen asociaciones ecológicas.

Las especies de flora encontradas en este estudio son frecuentes y representan especies comunes en el tipo de ambiente en donde ubica el área de estudio.

En cuanto a la fauna, también son especies comunes en lugares con condiciones similares, incluyendo al juey común y a la jicotea, ambas especies designadas como elemento crítico por el DRNA.

Según el IPaC, la boa de Puerto Rico y el manatí antillano pudieran ser observadas en el área del Proyecto. Sin embargo, estas especies no fueron detectadas durante el trabajo de campo.

Según visto, las especies encontradas en este estudio representan especies comunes y el Proyecto no debe tener impactos sobre especies amenazadas o en peligro de extinción, ni en hábitat crítico de ninguna especie, según propuesto.

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APÉNDICES

APÉNDICE A: FIGURAS

Figura 1: Mapa de Localización (1:20,000)

FIGURA 1: MAPA DE LOCALIZACION (1:20,000)

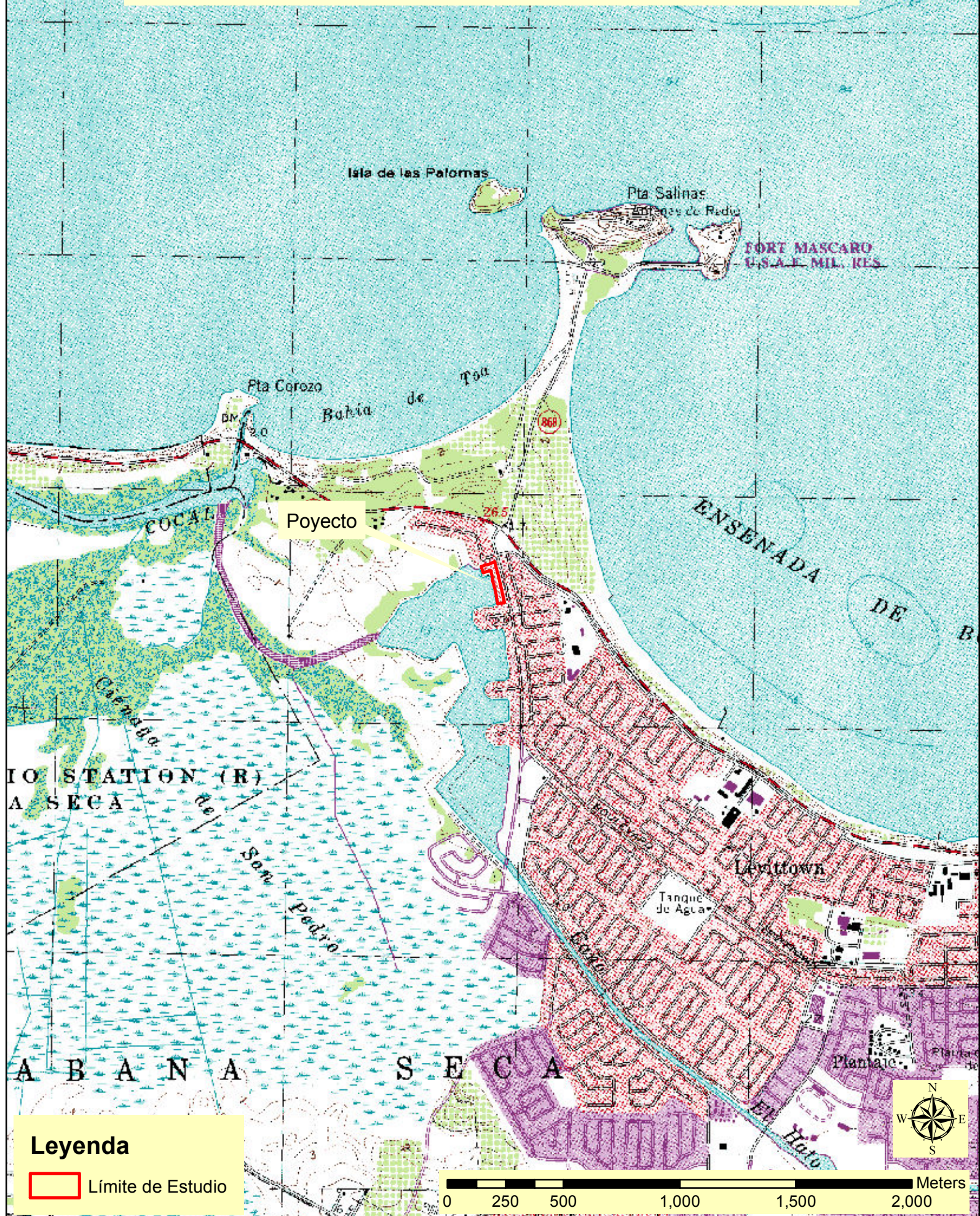


Figura 2: Foto Aérea (1:20,000)

FIGURA 2: FOTO AEREA 2010 (1:20,000)




Figura 3: Foto Aérea 2010 (1:800)

FIGURA 3: FOTO AEREA 2010 (1:800)



Leyenda

 Límite de Estudio

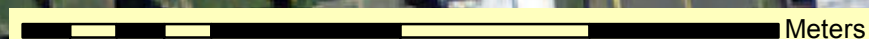
 Meters
0 10 20 40 60 80



Figura 4: Foto Aérea 2023

FIGURA 4: FOTO AEREA 2023



Google Earth
Cortesía de Google Earth 2023

Leyenda




 Límite de Estudio

Figura 5: Mapa Hidrográfico

FIGURA 5: MAPA HIDROGRAFICO

Leyenda

-  Hidrografía
-  Límite de Estudio



0 15 30 60 90 120 Meters



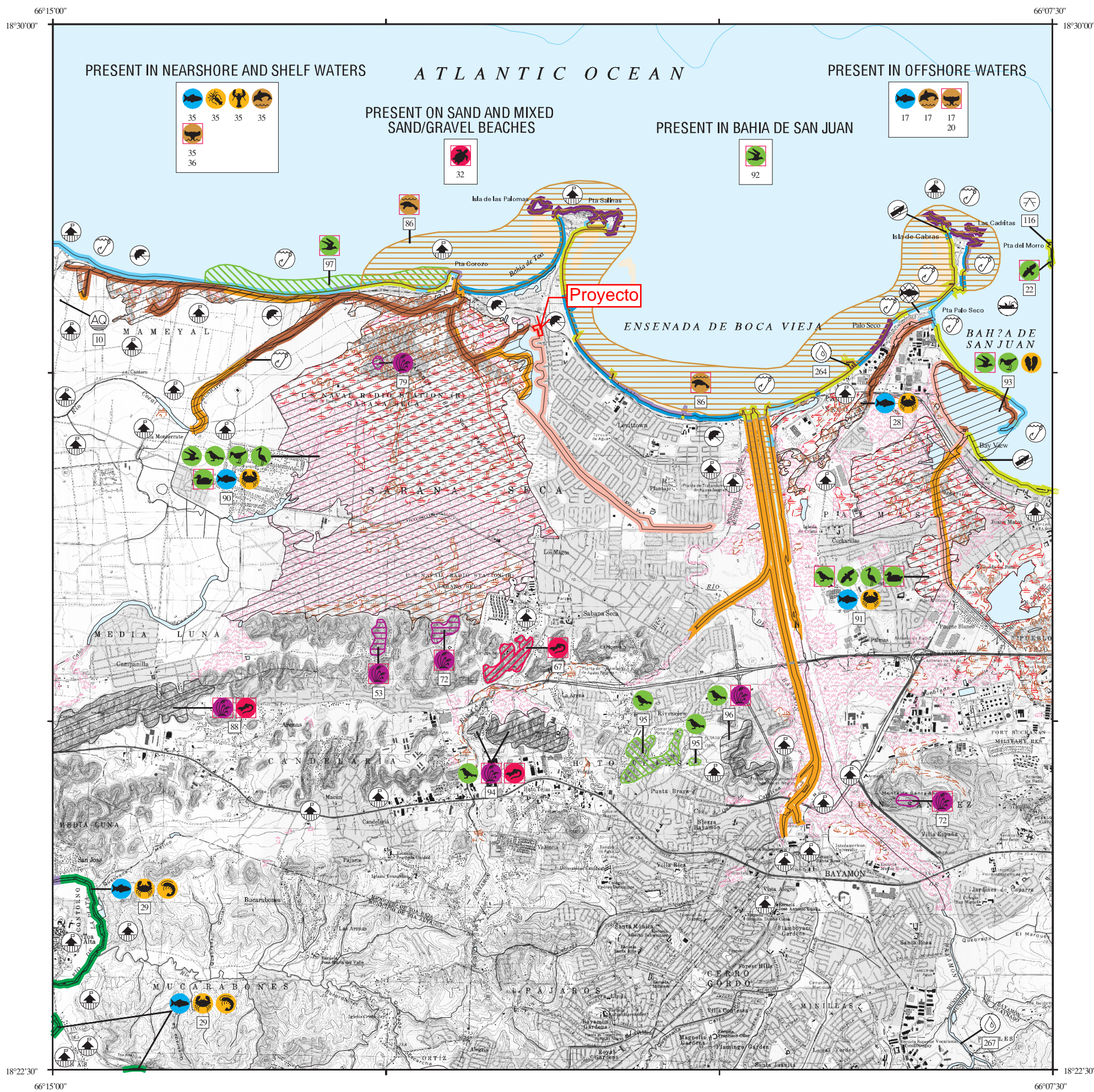
Figura 6: Mapa de Suelos

FIGURA 6: MAPA DE SUELOS



Figura 7: Mapa del Índice de Sensitividad Ambiental

ENVIRONMENTAL SENSITIVITY INDEX MAP



SHORELINE HABITATS (ESI)

- 1A EXPOSED ROCKY CLIFFS
- 1B EXPOSED, SOLID MAN-MADE STRUCTURES
- 2A EXPOSED WAVE-CUT PLATFORMS IN BEDROCK
- 2B SCARPS AND STEEP SLOPES IN MUDDY SEDIMENTS
- 3A FINE-TO MEDIUM-GRAINED SAND BEACHES
- 4 COARSE-GRAINED SAND BEACHES
- 5 MIXED SAND AND GRAVEL BEACHES
- 6A GRAVEL BEACHES
- 6B RIPRAP
- 7 EXPOSED TIDAL FLATS
- 8A SHELTERED ROCKY SHORES
- 8B SHELTERED, SOLID MAN-MADE STRUCTURES
- 9A SHELTERED TIDAL FLATS
- 9B SHELTERED VEGETATED LOW BANKS
- 10D MANGROVES
- SALT- AND BRACKISH-WATER MARSHES
- FRESHWATER MARSHES
- FRESHWATER SWAMPS
- FRESHWATER SCRUB/SHRUB

STREAM REACHES (RSI)

- 1 QUIET POOL; LOW-SENSITIVE BANKS
- 2 STRAIGHT CHANNEL WITH CURRENTS; LOW-SENSITIVE BANKS (MUD DOMINANT)
- 3 MEANDERING CHANNEL; SAND POINT BARS
- 4 MEANDERING CHANNEL; VEGETATED POINT BARS
- 5 RAPIDS OVER BEDROCK
- 6 MEANDERING CHANNEL; SAND AND GRAVEL POINT BARS
- 7 SPLIT CHANNEL WITH COARSE GRAVEL; SOME RAPIDS
- 8 SMALL FALLS; BOULDERS IN CHANNEL
- 9 LARGE FALLS; BOULDERS IN CHANNEL
- 10 CHANNELS WITH ASSOCIATED VULNERABLE WETLANDS
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PUERTO RICO - ESIMAP 11

BIOLOGICAL RESOURCES:

BIRD:

RAR#	Species	S/F	T/E	Conc.	J	F	M	A	M	J	J	A	S	O	N	D	Nesting

22	Peregrine falcon	S	E		X	X	X	X						X	X	X	-
90	Blue-winged teal			LOW	X	X	X	X						X	X	X	-
	Common moorhen			MEDIUM	X	X	X	X	X	X	X	X	X	X	X	X	-
	Common snipe			HIGH	X	X	X	X						X	X	X	-
	Magnificent frigatebird				X	X	X	X	X	X	X	X	X	X	X	X	-
	Pied-billed grebe			MEDIUM	X	X	X	X	X	X	X	X	X	X	X	X	-
	Shorebirds			MEDIUM	X	X	X	X	X		X	X	X	X	X	X	-
	Wading birds			MEDIUM	X	X	X	X	X	X	X	X	X	X	X	X	-
	West Indian whistling-duck	S	T	MEDIUM	X	X	X	X	X	X	X	X	X	X	X	X	-
	White-cheeked pintail			LOW	X	X	X	X	X	X	X	X	X	X	X	X	-
	White-crowned pigeon				X	X	X	X	X	X	X	X	X	X	X	X	-
91	American coot			HIGH	X	X	X	X	X	X	X	X	X	X	X	X	-
	Blue-winged teal			MEDIUM	X	X	X	X						X	X	X	-
	Caribbean coot	S	T	HIGH	X	X	X	X	X	X	X	X	X	X	X	X	-
	Common moorhen			HIGH	X	X	X	X	X	X	X	X	X	X	X	X	-
	Osprey			LOW	X	X	X	X						X	X	X	-
	Pied-billed grebe			HIGH	X	X	X	X	X	X	X	X	X	X	X	X	-
	Ruddy duck	S	T	HIGH	X	X	X	X	X	X	X	X	X	X	X	X	-
	Wading birds			MEDIUM	X	X	X	X	X	X	X	X	X	X	X	X	-
	West Indian whistling-duck	S	T	HIGH	X	X	X	X	X	X	X	X	X	X	X	X	-
	White-cheeked pintail			LOW	X	X	X	X	X	X	X	X	X	X	X	X	-
	Yellow-shouldered blackbird	S/F	E/E		X	X	X	X	X	X	X	X	X	X	X	X	MAR-SEP
92	Brown pelican	S/F	E/E		X	X	X	X	X	X	X	X	X	X	X	X	-
	Gulls				X	X	X	X	X	X	X	X	X	X	X	X	-
	Terns					X	X	X	X	X	X	X					-
93	Brown pelican	S/F	E/E	HIGH	X	X	X	X	X	X	X	X	X	X	X	X	-
	Royal tern			HIGH	X	X	X	X	X	X	X	X	X	X	X	X	-
	Sandwich tern			HIGH	X	X	X	X	X	X	X	X	X	X	X	X	-
	Shorebirds			MEDIUM	X	X	X	X	X		X	X	X	X			-
94	White-crowned pigeon			MEDIUM	X	X	X	X	X	X	X	X	X	X	X	X	MAR-SEP
95	White-crowned pigeon			MEDIUM	X	X	X	X	X	X	X	X	X	X	X	X	MAR-SEP
96	White-crowned pigeon			MEDIUM	X	X	X	X	X	X	X	X	X	X	X	X	MAR-SEP
97	Brown pelican	S/F	E/E		X	X	X	X	X	X	X	X	X	X	X	X	-

FISH:

RAR#	Species	S/F	T/E	Conc.	J	F	M	A	M	J	J	A	S	O	N	D	Spawning	Eggs	Larvae	Juveniles	Adults

17	Pelagic fish				X	X	X	X	X	X	X	X	X	X	X	X	JAN-DEC	JAN-DEC	JAN-DEC	JAN-DEC	JAN-DEC
28	Nursery fish				X	X	X	X	X	X	X	X	X	X	X	X	-	-	-	JAN-DEC	-
	Snook				X	X	X	X	X	X	X	X	X	X	X	X	APR-FEB	APR-FEB	JAN-DEC	JAN-DEC	JAN-DEC
	Tarpon				X	X	X	X	X	X	X	X	X	X	X	X	-	-	MAY-DEC	JAN-DEC	JAN-DEC
29	Native stream fish				X	X	X	X	X	X	X	X	X	X	X	X	APR-MAY	APR-MAY	APR-MAY	JAN-DEC	JAN-DEC
																	AUG-NOV	AUG-NOV	AUG-NOV		
35	Pelagic fish				X	X	X	X	X	X	X	X	X	X	X	X	JAN-DEC	JAN-DEC	JAN-DEC	JAN-DEC	JAN-DEC
	Reef fish				X	X	X	X	X	X	X	X	X	X	X	X	JAN-DEC	JAN-DEC	JAN-DEC	JAN-DEC	JAN-DEC
90	Nursery fish				X	X	X	X	X	X	X	X	X	X	X	X	-	-	-	JAN-DEC	-
	Snook				X	X	X	X	X	X	X	X	X	X	X	X	APR-FEB	APR-FEB	JAN-DEC	JAN-DEC	JAN-DEC
	Tarpon				X	X	X	X	X	X	X	X	X	X	X	X	-	-	MAY-DEC	JAN-DEC	JAN-DEC
91	Nursery fish				X	X	X	X	X	X	X	X	X	X	X	X	-	-	-	JAN-DEC	-
	Snook				X	X	X	X	X	X	X	X	X	X	X	X	APR-FEB	APR-FEB	JAN-DEC	JAN-DEC	JAN-DEC
	Tarpon				X	X	X	X	X	X	X	X	X	X	X	X	-	-	MAY-DEC	JAN-DEC	JAN-DEC

PLANT:

RAR#	Species	S/F	T/E	Conc.	J	F	M	A	M	J	J	A	S	O	N	D

53	Daphnopsis hellerana	S/F	E/E		X	X	X	X	X	X	X	X	X	X	X	X
72	Ottoschulzia rhodoxylon	S/F	E/E		X	X	X	X	X	X	X	X	X	X	X	X
79	Pterocarpus swamp				X	X	X	X	X	X	X	X	X	X	X	X
88	Daphnopsis hellerana	S/F	E/E		X	X	X	X	X	X	X	X	X	X	X	X
	Ottoschulzia rhodoxylon	S/F	E/E		X	X	X	X	X	X	X	X	X	X	X	X
94	Buxus vahlii	S/F	E/E		X	X	X	X	X	X	X	X	X	X	X	X
96	Buxus vahlii	S/F	E/E		X	X	X	X	X	X	X	X	X	X	X	X

INVERTEBRATE:

RAR#	Species	S/F	T/E	Conc.	J	F	M	A	M	J	J	A	S	O	N	D	Spawning	Eggs	Larvae	Juveniles	Adults

28	Blue land crab				X	X	X	X	X	X	X	X	X	X	X	X	JUL-AUG	JUL-AUG	JUL-SEP	JAN-DEC	JAN-DEC
29	Freshwater crab				X	X	X	X	X	X	X	X	X	X	X	X	APR-MAY	APR-MAY	-	JAN-DEC	JAN-DEC
																	AUG-NOV	AUG-NOV			
	Native stream shrimp				X	X	X	X	X	X	X	X	X	X	X	X	APR-MAY	APR-MAY	APR-MAY	JAN-DEC	JAN-DEC
																	AUG-NOV	AUG-NOV	AUG-NOV		
35	Caribbean spiny lobster				X	X	X	X	X	X	X	X	X	X	X	X	JAN-DEC	JAN-DEC	JAN-DEC	JAN-DEC	JAN-DEC
	Octopus				X	X	X	X	X	X	X	X	X	X	X	X	DEC-MAR	DEC-APR	-	JAN-DEC	JAN-DEC
90	Blue land crab				X	X	X	X	X	X	X	X	X	X	X	X	JUL-AUG	JUL-AUG	JUL-SEP	JAN-DEC	JAN-DEC
91	Blue land crab				X	X	X	X	X	X	X	X	X	X	X	X	JUL-AUG	JUL-AUG	JUL-SEP	JAN-DEC	JAN-DEC
93	Quahog (hard clam)				X	X	X	X	X	X	X	X	X	X	X	X	-	-	-	-	JAN-DEC

MARINE MAMMAL:

RAR#	Species	S/F	T/E	Conc.	J	F	M	A	M	J	J	A	S	O	N	D	Mating	Calving

17	Dolphins				X	X	X	X	X	X	X	X	X	X	X	X	-	-
	Whales				X	X	X	X	X	X	X	X	X	X	X	X	-	-
20	Sperm whale	S/F	E/E	HIGH	X	X	X	X	X	X		X	X	X	X	X	-	-
35	Dolphins				X	X	X	X	X	X	X	X	X	X	X	X	-	-
	Whales				X	X	X	X	X	X	X	X	X	X	X	X	-	-
36	Humpback whale	S/F	E/E	VERY HIGH	X	X	X	X						X	X		-	-
86	West Indian manatee	S/F	E/E		X	X	X	X	X	X	X	X	X	X	X	X	JAN-DEC	JAN-DEC

REPTILE:

RAR#	Species	S/F	T/E	Conc.	J	F	M	A	M	J	J	A	S	O	N	D	Nesting	Hatching	Interesting	Juveniles	Adults

32	Green sea turtle	S/F	E/T		X	X	X	X	X	X	X	X	X	X	X	X	JAN-DEC	JAN-DEC	-	JAN-DEC	JAN-DEC
	Hawksbill sea turtle	S/F	E/E		X	X	X	X	X	X	X	X	X	X	X	X	JAN-DEC	JAN-DEC	-	JAN-DEC	JAN-DEC
	Leatherback sea turtle	S/F	E/E		X	X	X	X	X	X	X	X					FEB-JUN	APR-SEP	-	APR-SEP	FEB-JUN
67	Puerto Rican boa	S/F	E/E		X	X	X	X	X	X	X	X	X	X	X	X	-	-	-	JAN-DEC	JAN-DEC
88	Puerto Rican boa	S/F	E/E		X	X	X	X	X	X	X	X	X	X	X	X	-	-	-	JAN-DEC	JAN-DEC
94	Puerto Rican boa	S/F	E/E		X	X	X	X	X	X	X	X	X	X	X	X	-	-	-	JAN-DEC	JAN-DEC

HUMAN USE RESOURCES:

HUN#	Name	Owner/Manager	Contact	Phone

AQUACULTURE:

10	EUREKA MARINE SHRIMP FARM	EUREKA MARINE PRODUCTS	A. GONZALEZ	
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NATIONAL PARK:

116	SAN JUAN NATIONAL HISTORIC SITE	NPS	PARK MANAGER	787/729-6777
-----	---------------------------------	-----	--------------	--------------

WATER INTAKE:

HUN#	Name	Owner/Manager	Location	Phone

264	POWER PLANT	PREPA		
267	GUAYNABO FILTER PLANT, BOMBA SANTA ROSA	PRASA	PR 833, KM 12.0	787/720-2211

Biological information shown on the maps represents known concentration areas or occurrences, but does not necessarily represent the full distribution or range of each species. This is particularly important to recognize when considering potential impacts to protected species.

Figura 8: Ampliación del Mapa del Índice de Sensitividad Ambiental

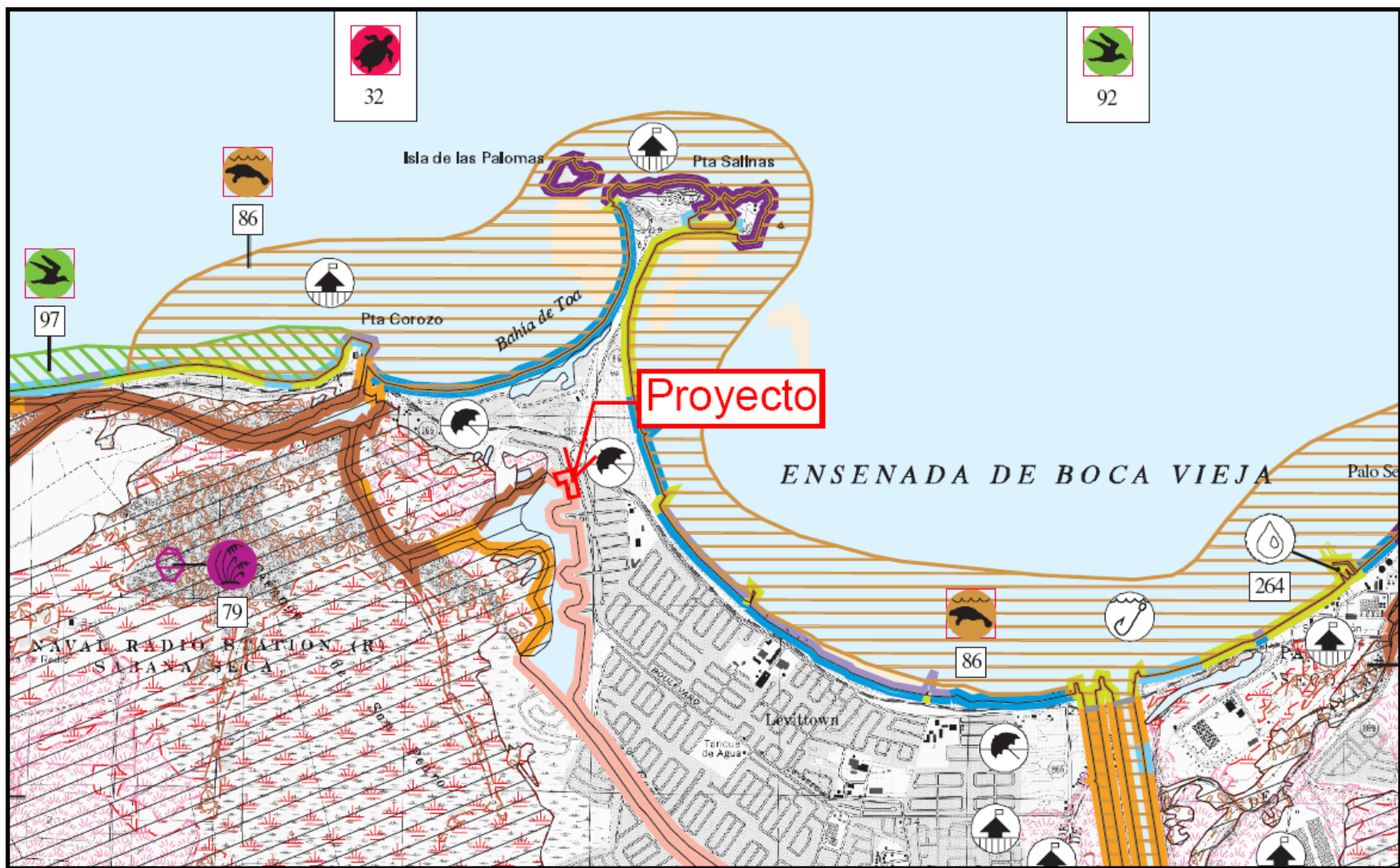


FIGURA 8
AMPLIACIÓN DEL ÍNDICE DE SENSITIVIDAD
AMBIENTAL

Mejoras al Parque de Levittown
TOA BAJA

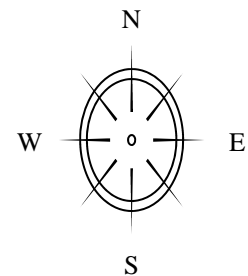


Figura 9: Cobertura del Terreno según Helmer et al.

FIGURA 9: COBERTURA DEL TERRENO SEGUN HELMER ET AL

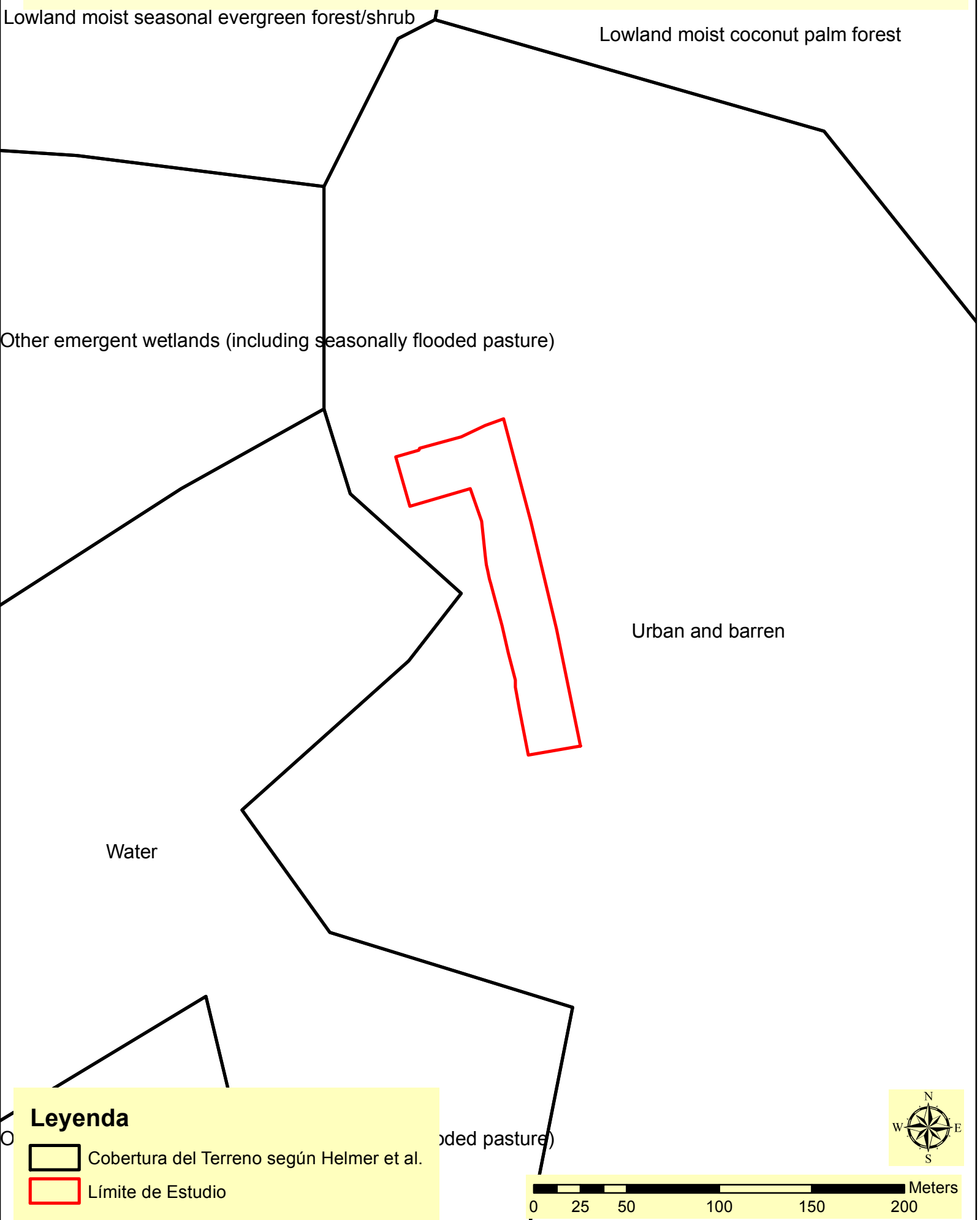


Figura 10: Uso del Terreno según Helmer et al.

FIGURA 10: USO DEL TERRENO SEGUN HELMER ET AL.

Arbustos y Maleza

Area Recreacional: Todos los Tipos

Pantano con Maleza



Carretera Primera Categoría (3 + Carriles)

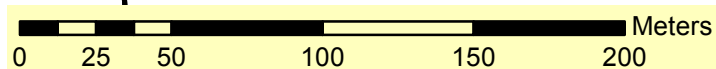
Cienaga Agua Dulce

Urbano Alta Densidad

Cuerpo Artificial de Agua (+ - 1 Acre)

Leyenda

-  Uso del Terreno, según Helmer et al.
-  Límite de Estudio



APÉNDICE B: INVENTARIO DE FLORA Y FAUNA

Flora Parque del Lago Levittown			
Familia	Nombre Científico	Nombre Común	Status
Fabaceae-Faboidae	<i>Alysicarpus vaginalis</i> (L.) DC.	Yerba de contrabando	I
Asteraceae	<i>Bidens pilosa</i> L.	Margarita	I
Nyctaginaceae	<i>Boerhavia coccinea</i> Mill.	Mata pavo	N
Poaceae	<i>Bothriochloa pertusa</i>	Yerba huracán	I
Calophyllaceae	<i>Calophyllum antillanum</i> Britton in Britton & Wilson	María	N
Arecaceae	<i>Caryota urens</i> L.	Palma cola de pescado	I
Casuarinaceae	<i>Casuarina equisetifolia</i> L.	Pino Australiano	I
Poaceae	<i>Cenchrus echinatus</i> L.	Abrojo	N
Poaceae	<i>Chloris barbata</i> Sw.	Horquetilla morada	N
Polygonaceae	<i>Coccoloba uvifera</i> (L.) L.	Uva de playa	N
Palmae	<i>Cocos nucifera</i> L.	Palma de coco	I
Commelinaceae	<i>Commelina diffusa</i> Burm. F.	Cohítre	N
Commelinaceae	<i>Commelina erecta</i> L.	Cohitre azul	N
Fabaceae-Faboidae	<i>Crotalaria retusa</i> L.	Cascabelillo	I
Asteraceae	<i>Cyanthillium cinereum</i> (L.) H. Rob.	Rabo de buey	I
Poaceae	<i>Cynodon dactylon</i> (L.) Pers.	Yerba de Bermuda	I
Cyperaceae	<i>Cyperus involucratus</i> Rottb.	Paraguaita	I
Cyperaceae	<i>Cyperus iria</i> L.	D	I
Cyperaceae	<i>Cyperus ligularis</i> L.	Junco de agua	N
Cyperaceae	<i>Cyperus rotundus</i> L.	Coquí	N
Poaceae	<i>Dactyloctenium aegyptium</i> (L.) Willd.	Yerba egipcia	I
Fabaceae-Faboidae	<i>Dalbergia ecastaphyllum</i> (L.) Taub. in Engler & Prantl	Maraimaray	N
Facaceae-Caesalpinioidea	<i>Delonix regia</i> (Bojer) Raf.	Flamboyán	I
Poaceae	<i>Eleusine Indica</i> (L.) Gaernt.	Pata de gallina	I
Poaceae	<i>Eragrostis ciliaris</i> (L.) R. Br. var. <i>laxa</i>	D	I
Euphorbiaceae	<i>Euphorbia heterophylla</i> L.	Leche vana	N
Euphorbiaceae	<i>Euphorbia hirta</i> L.	Lechecillo	N
Euphorbiaceae	<i>Euphorbia hyssopifolia</i> L.	Lechera	N
Moraceae	<i>Ficus elastica</i> Roxb. Ex Hornem	Palo de goma	I
Cyperaceae	<i>Kyllinga pumila</i> Michx.	D	N
Combretaceae	<i>Laguncularia racemosa</i> (L.) C.F. Gaernt	Mangle blanco	N
Poaceae	<i>Megathyrsus maximus</i> (Jacq.) R. D. Webster	Yerba de Guinea	I
Poaceae	<i>Melinis repens</i> (Willd.) Zizka	Yerba rosada	I
Convolvulaceae	<i>Merremia quinquefolia</i> (L.) Hallier f.	Batatilla blanca	I

Fabaceae-Mimosidae	<i>Mimosa pellita</i> HBK	D	N
Fabaceae-Mimosidae	<i>Mimosa pudica</i> L.	Moriviví	N
Fabaceae-Mimosidae	<i>Neptunia plena</i> (L.) Benth	Desmanto amarillo	I
Asteraceae	<i>Parthenium hysterophorus</i> L.	Ajenjo cimarrón	I
Poaceae	<i>Paspalum distichum</i> L.	Saladillo	I
Poaceae	<i>Paspalum notatum</i> Flugge	Bahía	I
Passifloraceae	<i>Passiflora suberosa</i> L.	Parcha yedra	N
Euphorbiaceae	<i>Phyllanthus niruri</i> L.	Quinino del pobre	N
Fabaceae-Mimosidae	<i>Pithecellobium dulce</i> (Roxb.) Benth.	Guamá americano	I
Portulacaceae	<i>Portulaca oleracea</i> L.	Verdolaga	I
Portulacaceae	<i>Portulaca pilosa</i> L.	Don Diego	N
Verbenaceae	<i>Priva lappulacea</i> (L.) Pers.	Pegapega	N
Asteraceae	<i>Pseudoelephantopus spicatus</i> (B. Juss. ex Aubl) C.F. Baker	Yerba de burro	N
Palmae	<i>Roystonea borinquena</i> O.F. Cook	Palma real	N
Poaceae	<i>Setaria parviflora</i> (Poir.) Kerguélen	Deshollinador	N
Anacardiaceae	<i>Schinus terebenthifolia</i> Raddi	Pimienta de Brazil	I
Malvaceae	<i>Sida acuta</i> Burm. f.	Escoba blanca	N
Malvaceae	<i>Sida rhombifolia</i> L.	Escoba colorada	N
Poaceae	<i>Sorghum halepense</i> (L.) Pers	Yerba Johnson	I
Poaceae	<i>Sporobolus indicus</i> (L.) R. Br.	Cerrillo	N
Poaceae	<i>Sporobolus virginicus</i> (L.) Kunth	Matojo de playa	N
Fabaceae-Faboideae	<i>Stylosanthes hamata</i> (L.) Taub.	Zarabacoa enana	N
Combretaceae	<i>Terminalia catappa</i> L.	Almendro	I
Malvaceae	<i>Thespesia populnea</i> (L.) Sol. ex Corrêa	Emajagüilla	N
Asteraceae	<i>Tridax procumbens</i> L.	Pancha	I
Poaceae	<i>Zoysia matrella</i> (L.) Merr. var. <i>pacifica</i> Goudswaard	Zoisia	I
Leyenda:			
I: Introducido			
N: Nativo			

Fauna Parque del Lago Levittown		
Nombre Científico	Nombre Común	Status
VERTEBRADOS		
<u>Aves</u>		
Ardeidae		
<i>Butorides virescens</i>	Martinete	R
Columbidae		
<i>Columba livia</i>	Paloma casera	R
<i>Streptopelia roseogrisea</i>	Paloma collarina	IE
<i>Zenaida asiatica</i>	Tórtola aliblanca	R
<i>Zenaida aurita</i>	Tórtola cardosantera	R
Icteridae		
<i>Quiscalus niger</i>	Chango	R
Passeridae		
<i>Passer domesticus</i>	Gorrión inglés	IE
Pelecanidae		
<i>Pelecanus occidentalis</i>	Pelícano pardo	R
Rallidae		
<i>Gallinula chloropus</i>	Gallareta común	R
Thraupidae		
<i>Tiaris bicolor</i>	Chamorro negro	R
Tyrannidae		
<i>Tyrannus dominicensis</i>	Pitirre	R
<u>Reptiles</u>		
Emydidae		
<i>Trachemys stejnegeri</i>	Jicotea	N, EC
Iguanidae		
<i>Iguana iguana</i>	Iguana	I
Dactyloidae		
<i>Anolis cristatellus</i>	Lagartijo común	R
Teiidae		
<i>Ameiva exsul</i>	Siguana	R

<u>Anfibios</u>		
Elentherodactylidae		
<i>Eleutherodactylus antillensis</i>	Coquí churí	E
INVERTEBRADOS		
<u>Crustáceos</u>		
Grapsoidea		
Gegarcinidae		
<i>Cardisoma guanhumi</i>	Juey común	EC
Ocypodidae		
<i>Uca sp.</i>	Cangrejo violinista	N
<u>Insectos</u>		
Apoidea		
Apidae		
<i>Apis mellifera</i>	Abeja	N/A
<i>Xylocopa mordax</i>	Cigarrón	N/A
Blattoidea		
Termitidae		
<i>Nasutitermes costalis</i>	Comején	N/A
Erebidae		
<i>Utetheisa pulchella</i>	Mariposa	
Gryllidoidea		
Gryllidae		
<i>Gryllus assimilis</i>	Grillo	N/A
Pieridae		
<i>Aphrissa statira cubana</i>	Mariposa migratoria	N
Odonata		
Anisoptera		
Libellulidae		
<i>Brachymesia furcata</i>	Libélula de cola roja	N/A
Leyenda:		
E: Endémica para Puerto Rico		
EC: Elemento Crítico (DRNA)		

I: Introducida		
IE: Introducida establecida		
N: Nativa		
R: Residente		

APÉNDICE C: INFORMACIÓN PARA LA PLANIFICACIÓN Y CONSULTA DEL US FISH AND WILDLIFE SERVICE

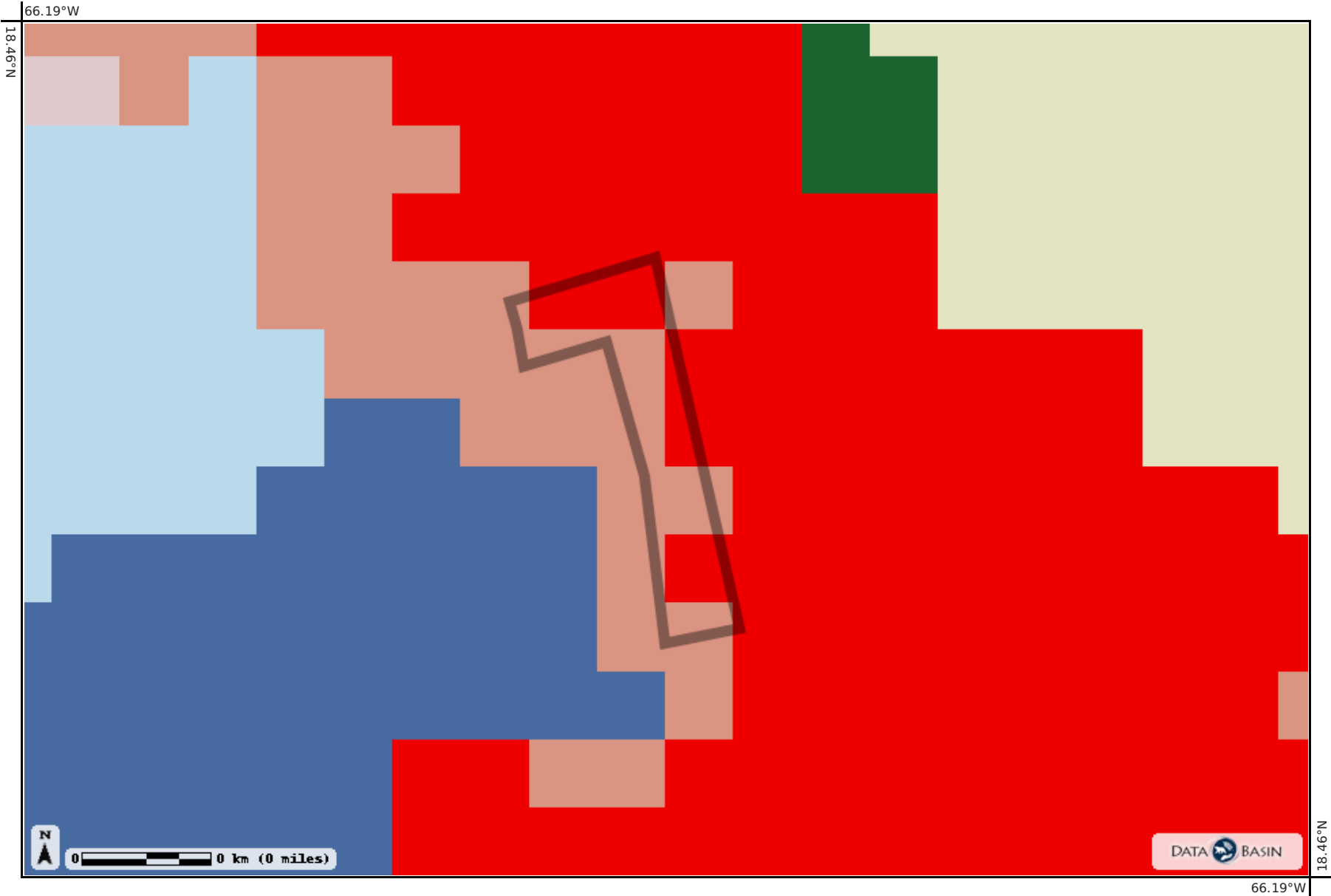
APÉNDICE D: NATIONAL LAND COVER DATABASE, land cover - PUERTO RICO

Legend

National Land Cover Database, land cover - Puerto Rico

- Barren Land
- Cultivated Crops
- Developed, High Intensity
- Developed, Low Intensity
- Developed, Medium Intensity
- Developed, Open Space
- Emergent Herbaceous Wetlands
- Evergreen Forest
- Hay/Pasture
- Herbaceous
- Open Water
- Shrub/Scrub
- Woody Wetlands

Límite de Estudio



Map Details

Datasets



National Land Cover Database, land cover - Puerto Rico
<https://databasin.org/datasets/e95aa06e05624f3087559eca884db034/>

Credits: USGS National Land Cover Database 2001
Layers:

- layer1

APÉNDICE E: DOCUMENTACIÓN FOTOGRÁFICA







Appendix D

NOAA ES Map

800 Avenida Fernández Juncos Ste 3
San Juan PR 00907
(787) 729-3333

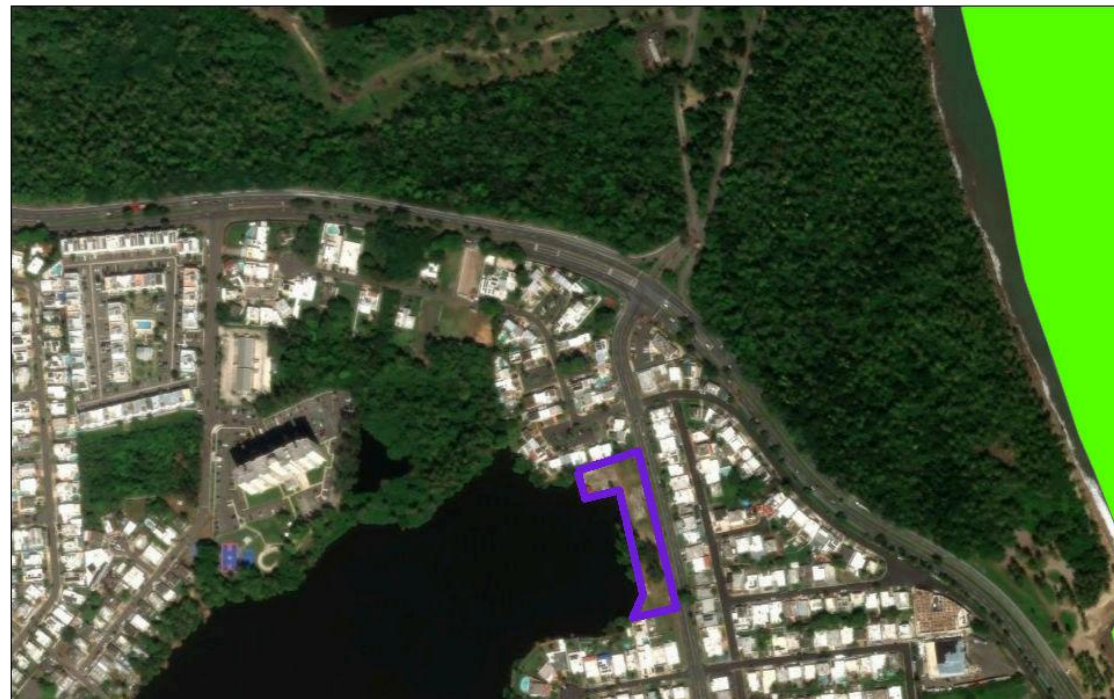


Critical Habitat Map-PR-CRP-001002 - Levittown Lake Park

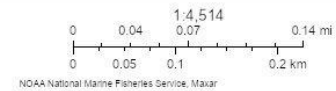
Area of Interest (AOI) Information

Length : 0.45 km

May 2 2024 14:38:47 Bolivia Time



All_critical_habitat_poly_20230502



Summary

Name	Count	Area(km²)	Length(m)
All Critical Habitat Polyline	0	N/A	N/A
All Critical Habitat Polygon	0	N/A	N/A

Appendix E

IPaC Information

800 Avenida Fernández Juncos Ste 3
San Juan PR 00907
(787) 729-3333



United States Department of the Interior



FISH AND WILDLIFE SERVICE
Caribbean Ecological Services Field Office
Post Office Box 491
Boqueron, PR 00622-0491
Phone: (939) 320-3135 Fax: (787) 851-7440
Email Address: CARIBBEAN_ES@FWS.GOV

In Reply Refer To:

06/18/2024 17:32:26 UTC

Project Code: 2024-0105641

Project Name: Levittown Lake Park Recreational Area

Subject: List of threatened and endangered species that may occur in your proposed project location or may be affected by your proposed project

To Whom It May Concern:

THE FOLLOWING SPECIES LIST IS NOT A SECTION 7 CONSULTATION. PLEASE CONTACT OUR OFFICE TO COMPLETE THE CONSULTATION PROCESS

The purpose of the Endangered Species Act (Act) is to provide a means whereby threatened, and endangered species and the ecosystems upon which they depend may be conserved. Under sections 7(a)(1) and 7(a)(2) of the Act and its implementing regulations (50 CFR 402 et seq.), Federal agencies are required to utilize their authorities to carry out programs for the conservation of threatened and endangered species and to determine whether projects may affect those species and/or their designated critical habitat.

Federal agencies are required to "request of the Secretary of Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action". The enclosed species list provides information to assist with the U.S. Fish and Wildlife Service (Service) consultation process under section 7 of the Act. However, **the enclosed species list does not complete the required consultation process**. The species list identifies threatened, endangered, proposed and candidate species, as well as proposed and designated critical habitats, that may occur within the boundary of your proposed project and/or may be affected by your proposed project. A discussion between the Federal agency and the Service should include what types of listed species may occur in the proposed action area and what effect the proposed action may have on those species. This process initiates informal consultation.

Once a species list is obtained for the proposed project, an effect determination for endangered and threatened species should be made. The applicant could make an effect determination by using available keys on IPaC for specific species. For species with no determination keys, the applicant should request concurrence from the Service by sending a project package

to caribbean_es@fws.gov. To obtain guidance for completing this process and the minimum requirements for project packages, please visit:

<https://www.fws.gov/sites/default/files/documents/consultation-under-section-7-of-the-endangered-species-act-with-the-caribbean-ecological%20Services-field-office-template-letter.pdf>

When a federal agency, after discussions with the Service, determines that the proposed action is not likely to adversely affect any listed species, or adversely modify any designated critical habitat, and the Service concurs, the informal consultation is complete, and the proposed project moves ahead. If the proposed action is suspected to affect a listed species or modify designated critical habitat, the Federal agency may then prepare a Biological Assessment (B.A.) to assist in its determination of the project's effects on species and their habitat. However, a B.A. is required for construction projects (or other undertakings having similar physical impacts) that are major Federal actions significantly affecting the quality of the human environment as defined in the National Environmental Policy Act (42 U.S.C. 4332(2) (c)). For projects other than major construction activities, the Service suggests that a biological evaluation similar to a B.A. where the agency provides the Service with an evaluation on the likely effects of the action to determine whether the project may affect listed or proposed species and/or designated or proposed critical habitat. Recommended contents of a B.A. are described at 50 CFR 402.12.

If a federal agency determines, based on its B.A. or biological evaluation, that listed species and/or designated critical habitat may be affected by the proposed project, the agency is required to further consult with the Service pursuant to 50 CFR 402. In addition, the Service recommends that candidate species, proposed species, and proposed critical habitat be addressed within the consultation process. More information on the regulations and procedures for section 7 consultation, including the role of permit or license applicants, can be found in the "Endangered Species Consultation Handbook" at:

<https://www.fws.gov/sites/default/files/documents/endangered-species-consultation-handbook.pdf>

New information based on updated surveys, changes in the abundance and distribution of species, changed habitat conditions, or other factors could change this list. Please feel free to contact us if you need more current information or assistance regarding the potential impacts to federally proposed, listed, and candidate species.

This list is provided pursuant to Section 7 of the Endangered Species Act and fulfills the requirement for Federal agencies to "request of the Secretary of the Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action". Please use this list to determine whether your project requires consultation and to make your effects determination. For more guidance, use the Guideline for Consultation under Section 7 of the Endangered Species Act with the Caribbean Ecological Services Field Office by clicking [here](#).

This species list is provided by:

Caribbean Ecological Services Field Office

caribbean_es@fws.gov

Post Office Box 491

Boqueron, PR 00622-0491

(786) 244-0081

Attachment(s):

- Official Species List
- USFWS National Wildlife Refuges and Fish Hatcheries
- Bald & Golden Eagles
- Migratory Birds
- Marine Mammals
- Wetlands

OFFICIAL SPECIES LIST

This list is provided pursuant to Section 7 of the Endangered Species Act, and fulfills the requirement for Federal agencies to "request of the Secretary of the Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action".

This species list is provided by:

Caribbean Ecological Services Field Office

Post Office Box 491

Boqueron, PR 00622-0491

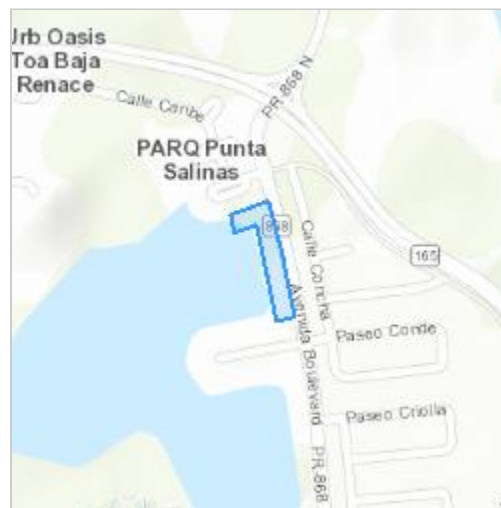
(939) 320-3135

PROJECT SUMMARY

Project Code: 2024-0105641
Project Name: Levittown Lake Park Recreational Area
Project Type: Recreation - Maintenance / Modification
Project Description: The Levittown Lake Park Recreational Area project (CDBG-DR CRP-001002) entails the re-design and reconstruction of an existing recreational area on the shores of Levittown Lakes, an artificial body of water constructed as the main stormwater drainage system for the Levittown Development, in Toa Baja, Puerto Rico. The owner and operator of the recreational area is the Autonomous Municipality of Toa Baja. The Park is located at Levittown Boulevard northwest, Barrio Sabana Seca of the Municipality of Toa Baja, Puerto Rico.

Project Location:

The approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/@18.4608716,-66.18860145986275,14z>



Counties: Toa Baja County, Puerto Rico

ENDANGERED SPECIES ACT SPECIES

There is a total of 3 threatened, endangered, or candidate species on this species list.

Species on this list should be considered in an effects analysis for your project and could include species that exist in another geographic area. For example, certain fish may appear on the species list because a project could affect downstream species.

IPaC does not display listed species or critical habitats under the sole jurisdiction of NOAA Fisheries¹, as USFWS does not have the authority to speak on behalf of NOAA and the Department of Commerce.

See the "Critical habitats" section below for those critical habitats that lie wholly or partially within your project area under this office's jurisdiction. Please contact the designated FWS office if you have questions.

-
1. [NOAA Fisheries](#), also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

MAMMALS

NAME	STATUS
West Indian Manatee <i>Trichechus manatus</i> There is final critical habitat for this species. Your location does not overlap the critical habitat. <i>This species is also protected by the Marine Mammal Protection Act, and may have additional consultation requirements.</i> Species profile: https://ecos.fws.gov/ecp/species/4469 General project design guidelines: https://ipac.ecosphere.fws.gov/project/VM4KMFBYKNBUBL2E7JY6CPAWEI/documents/generated/7138.pdf	Threatened

BIRDS

NAME	STATUS
Roseate Tern <i>Sterna dougallii dougallii</i> Population: Western Hemisphere except NE U.S. No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/2083	Threatened

REPTILES

NAME	STATUS
Puerto Rican Boa <i>Chilabothrus inornatus</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/6628 General project design guidelines: https://ipac.ecosphere.fws.gov/project/VM4KMFBYKNBUBL2E7JY6CPAWEI/documents/generated/7159.pdf	Endangered

CRITICAL HABITATS

THERE ARE NO CRITICAL HABITATS WITHIN YOUR PROJECT AREA UNDER THIS OFFICE'S JURISDICTION.

YOU ARE STILL REQUIRED TO DETERMINE IF YOUR PROJECT(S) MAY HAVE EFFECTS ON ALL ABOVE LISTED SPECIES.

USFWS NATIONAL WILDLIFE REFUGE LANDS AND FISH HATCHERIES

Any activity proposed on lands managed by the [National Wildlife Refuge](#) system must undergo a 'Compatibility Determination' conducted by the Refuge. Please contact the individual Refuges to discuss any questions or concerns.

THERE ARE NO REFUGE LANDS OR FISH HATCHERIES WITHIN YOUR PROJECT AREA.

BALD & GOLDEN EAGLES

Bald and golden eagles are protected under the Bald and Golden Eagle Protection Act¹ and the Migratory Bird Treaty Act².

Any person or organization who plans or conducts activities that may result in impacts to bald or golden eagles, or their habitats³, should follow appropriate regulations and consider implementing appropriate conservation measures, as described in the links below. Specifically, please review the ["Supplemental Information on Migratory Birds and Eagles"](#).

1. The [Bald and Golden Eagle Protection Act](#) of 1940.
2. The [Migratory Birds Treaty Act](#) of 1918.
3. 50 C.F.R. Sec. 10.12 and 16 U.S.C. Sec. 668(a)

THERE ARE NO BALD AND GOLDEN EAGLES WITHIN THE VICINITY OF YOUR PROJECT AREA.

MIGRATORY BIRDS

Certain birds are protected under the Migratory Bird Treaty Act¹ and the Bald and Golden Eagle Protection Act².

Any person or organization who plans or conducts activities that may result in impacts to migratory birds, eagles, and their habitats³ should follow appropriate regulations and consider implementing appropriate conservation measures, as described in the links below. Specifically, please review the ["Supplemental Information on Migratory Birds and Eagles"](#).

1. The [Migratory Birds Treaty Act](#) of 1918.
2. The [Bald and Golden Eagle Protection Act](#) of 1940.
3. 50 C.F.R. Sec. 10.12 and 16 U.S.C. Sec. 668(a)

THERE ARE NO FWS MIGRATORY BIRDS OF CONCERN WITHIN THE VICINITY OF YOUR PROJECT AREA.

MARINE MAMMALS

Marine mammals are protected under the [Marine Mammal Protection Act](#). Some are also protected under the Endangered Species Act¹ and the Convention on International Trade in Endangered Species of Wild Fauna and Flora².

The responsibilities for the protection, conservation, and management of marine mammals are shared by the U.S. Fish and Wildlife Service [responsible for otters, walruses, polar bears, manatees, and dugongs] and NOAA Fisheries³ [responsible for seals, sea lions, whales, dolphins, and porpoises]. Marine mammals under the responsibility of NOAA Fisheries are **not** shown on

this list; for additional information on those species please visit the [Marine Mammals](#) page of the NOAA Fisheries website.

The Marine Mammal Protection Act prohibits the take of marine mammals and further coordination may be necessary for project evaluation. Please contact the U.S. Fish and Wildlife Service Field Office shown.

-
1. The [Endangered Species Act](#) (ESA) of 1973.
 2. The [Convention on International Trade in Endangered Species of Wild Fauna and Flora](#) (CITES) is a treaty to ensure that international trade in plants and animals does not threaten their survival in the wild.
 3. [NOAA Fisheries](#), also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

NAME

West Indian Manatee *Trichechus manatus*

Species profile: <https://ecos.fws.gov/ecp/species/4469>

WETLANDS

Impacts to [NWI wetlands](#) and other aquatic habitats may be subject to regulation under Section 404 of the Clean Water Act, or other State/Federal statutes.

For more information please contact the Regulatory Program of the local [U.S. Army Corps of Engineers District](#).

Please note that the NWI data being shown may be out of date. We are currently working to update our NWI data set. We recommend you verify these results with a site visit to determine the actual extent of wetlands on site.

THERE ARE NO WETLANDS WITHIN YOUR PROJECT AREA.

IPAC USER CONTACT INFORMATION

Agency: Private Entity
Name: Milagros Jorge Morales
Address: PO Box 13753
City: San Juan
State: PR
Zip: 00908
Email: jorgem@agepr.com
Phone: 7877293333



United States Department of the Interior



FISH AND WILDLIFE SERVICE
Caribbean Ecological Services Field Office
Post Office Box 491
Boqueron, PR 00622-0491
Phone: (939) 320-3135 Fax: (787) 851-7440
Email Address: CARIBBEAN_ES@FWS.GOV

In Reply Refer To:

05/02/2024 17:40:52 UTC

Project code: 2024-0085108

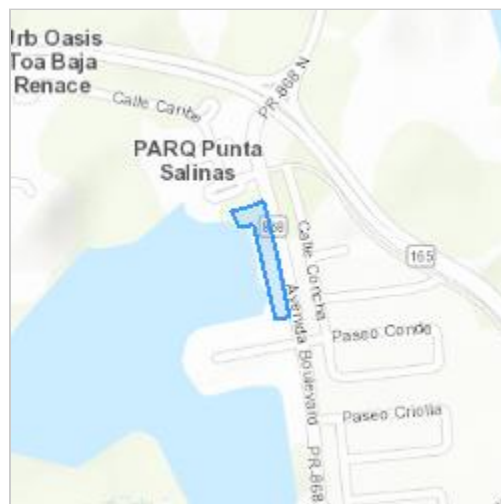
Project Name: PR-CRP-001002 Levittown Lake Park Recreational Area

Subject: Consistency letter for the project named 'PR-CRP-001002 Levittown Lake Park Recreational Area' for specified threatened and endangered species, that may occur in your proposed project location, pursuant to the IPaC determination key titled Caribbean Determination Key (DKey).

Dear Applicant:

Thank you for using the assisted evaluation keys in IPaC. This letter is provided pursuant to the Service's authority under the Endangered Species Act of 1973, as amended (ESA) (87 Stat. 884; 16 U.S.C. 1531et seq.). On May 02, 2024, Milagros Jorge Morales used the Caribbean DKey; dated April 03, 2024, in the U.S. Fish and Wildlife Service's online [IPaC application](#) to evaluate potential impacts to federally listed species, from a project named 'PR-CRP-001002 Levittown Lake Park Recreational Area'. The project is located in Toa Baja County, Puerto Rico (shown below).

The approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/@18.46123125,-66.18866938366862,14z>



The following description was provided for the project 'PR-CRP-001002 Levittown Lake Park Recreational Area':

The Levittown Lake Park Recreational Area project (CDBG-DR CRP-001002) entails the re-design and reconstruction of an existing recreational area on the shores of Levittown Lakes, an artificial body of water constructed as the main stormwater drainage system for the Levittown Development, in Toa Baja, Puerto Rico. The owner and operator of the recreational area is the Autonomous Municipality of Toa Baja. The park site occupies 6,046.89 square meters on the northeastern corner of Levittown Lake, along Levittown Boulevard (road PR-868), 170 meters south of its intersection with road PR-165. Its center coordinates are: 18.46100 N, 66.18855 W (State Plane X: 225850, Y: 269500). The land is registered under two cadastral numbers: 038-020-214-23-000 and 038-020-214-24-000.

The proposed redesign of Levittown Lake Park is intended to address the community's needs for recreational spaces that put people in contact with nature and that helps them maintain an active lifestyle (see Figure 03 and attached project plans). The main program elements of the park are as follows:

1. Water Sports Area – Remodel of the concrete structure that gives direct access to the water and the creation of a lower deck within the existing footprint of the structure. The lower deck is intended to allow the launching of kayaks and other non-motorized watercraft. The Water Sports Area (WSA), as well as all areas of the park, will be universally accessible. The WSA will include planters, ramps, stairs, a new gazebo, and new finishes. New stairs and ramps will connect this area with the rest of the park.
2. Gazebo – A new gazebo will replace the existing concrete gazebo, which is a safety hazard due to significant and irreversible corrosion of the rebar inside its columns. The new gazebo will be a steel structure next to the Water Sports Area. The existing gazebo to be demolished is from the 1960s.
3. New Access and Parking Lot – A new access from road PR-868 and a new parking area will be constructed. The parking area will be constructed with permeable pavement and provide 14 parking spaces, one of them for handicapped persons. The parking area and other areas within the park will include rain gardens and other green infrastructure elements to handle stormwater.
4. Outdoor Exercise Area – An outdoor gym area, with outdoor exercise equipment, will be created along the lake. This area will have special paving intended for outdoor play and exercise activities.
5. Big Tree Contemplation Area – A contemplation area around the existing large Ficus tree will be created with a new deck overlooking the lake. The deck will cantilever towards the water but will be supported by deck columns driven into the upland portion of the lake shore. The contemplation area will include benches and other public space furnishings.
6. Playground – A new playground will be built in the southern portion of the

park. A concrete pad with special cushion-like toping will support playground equipment for children.

7. Historical Train Engine Plaza – A small plaza will be created at the southern end of the park to display a historical train engine associated with Toa Baja’s sugar industry of the 19th century. The plaza will include benches and other public space furnishings.

8. Central Lawn – A central lawn area for multiple uses will be created near the center of the park.

9. Pedestrian Paths – The park will include new hardscape and pedestrian paths. Pedestrian paths will include various finishes, like concrete, pavers, and gravel. The park will also include benches, trash receptacles, and solar light poles, in addition to the outdoor exercise and playground equipment mentioned above.

10. Planting – The park will include new plantings throughout, including trees, palms, shrubs, and ground covers. The shoreline will be regraded in some areas to prevent or correct erosion and appropriate aquatic plants added to improve the ecological function of the lake shore.

Based on your answers and the assistance of the Service’s Caribbean DKey, you determined the proposed Action will have “No Effect” on the following species:

Species	Listing Status	Determination
Puerto Rican Boa (<i>Chilabothrus inornatus</i>)	Endangered	No effect

Thank you for informing the Service of your “No Effect” determination(s) for this project. No further consultation/coordination for this project is required for these species. However, be aware that reinitiation of consultation may be necessary if later modifications are made to the project so that it no longer meets the criteria or outcome described above, or if new information reveals effects of the action that could affect listed species or critical habitat in a manner or to an extent not previously considered, or if a new species is listed.

This letter serves as documentation of your consideration of the federally listed species as required under section 7 of the ESA. However, effects to the other federally listed species or critical habitat as listed below from the “IPaC print-out for the project” (see below) should be considered as part of your ESA review for the project.

The Service will notify you within 30 calendar days if we determine that this proposed Action does not meet the criteria for a “No Effect” (NE) determination for Federally listed species in the Caribbean. If we do not notify you within that timeframe, you may proceed with the Action under the terms of the NE concurrence provided here. This verification period allows the Caribbean Ecological Services Field Office to apply local knowledge to evaluate the Action, as we may identify a small subset of actions having unanticipated impacts. In such instances, the Caribbean Ecological Services Field Office may request additional information to verify the effects determination reached through the DKey.

Note: Projects located within the range of the Puerto Rican boa or the Virgin Islands tree boa might encounter these species during project activities. **This letter does not provide take to handle or move these species.** If relocation of the species is needed, please contact either the

Puerto Rico Department of Natural Resources (DNER) at 787-724-5700, 787-230-5550, or 787-771-1124 for projects in Puerto Rico, or the Virgin Islands Department of Planning and Natural Resources, Division of Fish and Wildlife (DFW) at 340-775-6762 for projects in the Virgin Islands. Otherwise, contact the Caribbean Ecological Services Field Office (caribbean_es@fws.gov) to determine whether the consultation needs to be reinitiated.

In addition to the species listed above, the following species and/or critical habitats may also occur in your project area and **are not** covered by this conclusion. Effects to the other federally listed species or critical habitat as listed below should be considered as part of your ESA review for the project.

- Roseate Tern *Sterna dougallii dougallii* Threatened
- West Indian Manatee *Trichechus manatus* Threatened

If the proposed project is located within species range where a DKey has not been developed for those species, please follow the established guidance for initiating section 7 consultation Caribbean Ecological Services Field Office.

We appreciate your interest in protecting endangered species and their habitats. It is the Service's mission to work with others to conserve, protect, and enhance fish, wildlife, and plants and their habitats for the continuing benefit of our people. If you have any questions or require additional information, please contact our office at Caribbean_es@fws.gov.

Action Description

You provided to IPaC the following name and description for the subject Action.

1. Name

PR-CRP-001002 Levittown Lake Park Recreational Area

2. Description

The following description was provided for the project 'PR-CRP-001002 Levittown Lake Park Recreational Area':

The Levittown Lake Park Recreational Area project (CDBG-DR CRP-001002) entails the re-design and reconstruction of an existing recreational area on the shores of Levittown Lakes, an artificial body of water constructed as the main stormwater drainage system for the Levittown Development, in Toa Baja, Puerto Rico. The owner and operator of the recreational area is the Autonomous Municipality of Toa Baja. The park site occupies 6,046.89 square meters on the northeastern corner of Levittown Lake, along Levittown Boulevard (road PR-868), 170 meters south of its intersection with road PR-165. Its center coordinates are: 18.46100 N, 66.18855 W (State Plane X: 225850, Y: 269500). The land is registered under two cadastral numbers: 038-020-214-23-000 and 038-020-214-24-000.

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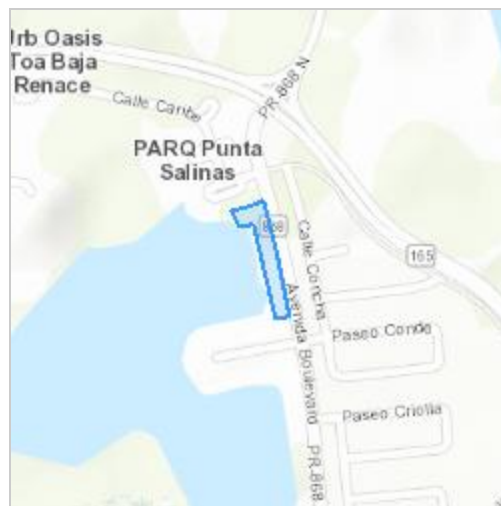
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The approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/@18.46123125,-66.18866938366862,14z>



QUALIFICATION INTERVIEW

1. Is the proposed project an EPA Multi-Sector General Permit (MSGP) renewal for an existing project? ([MSGP Fact Sheet](#))

No

2. Is the proposed project within an urban developed area? (i.e., cities, downtowns, shopping malls etc.)

Note: Urban and developed areas has one or more of the following characteristics: Presence of existing buildings, residential areas, and commercial establishments. Well-established infrastructure including roads, utilities, and urban facilities. High population density. Established neighborhoods and urban amenities ("urbanizaciones"). Developed landscape with paved surfaces, parking lots, and industrial areas. Signs of human activity and urbanization, such as shopping centers and recreational facilities. Location within the boundaries of a city or town ("casco urbano"). High concentration of built-up structures and limited open spaces. Aerial imagery might be requested to the applicant. .

Yes

3. [Hidden Semantic] Does the proposed project intersect the Puerto Rican boa area of influence?

Automatically answered

Yes

IPAC USER CONTACT INFORMATION

Agency: Private Entity
Name: Milagros Jorge Morales
Address: PO Box 13753
City: San Juan
State: PR
Zip: 00908
Email: jorgem@agepr.com
Phone: 7877293333

LEAD AGENCY CONTACT INFORMATION

Lead Agency: Department of Housing and Urban Development

Appendix F
Conservation Measures for the Puerto Rican Boa

800 Avenida Fernández Juncos Ste 3
San Juan PR 00907
(787) 729-3333

General Project Design Guidelines (2 Species)

Generated May 02, 2024 05:24 PM UTC, IPaC v6.108.2-rc1

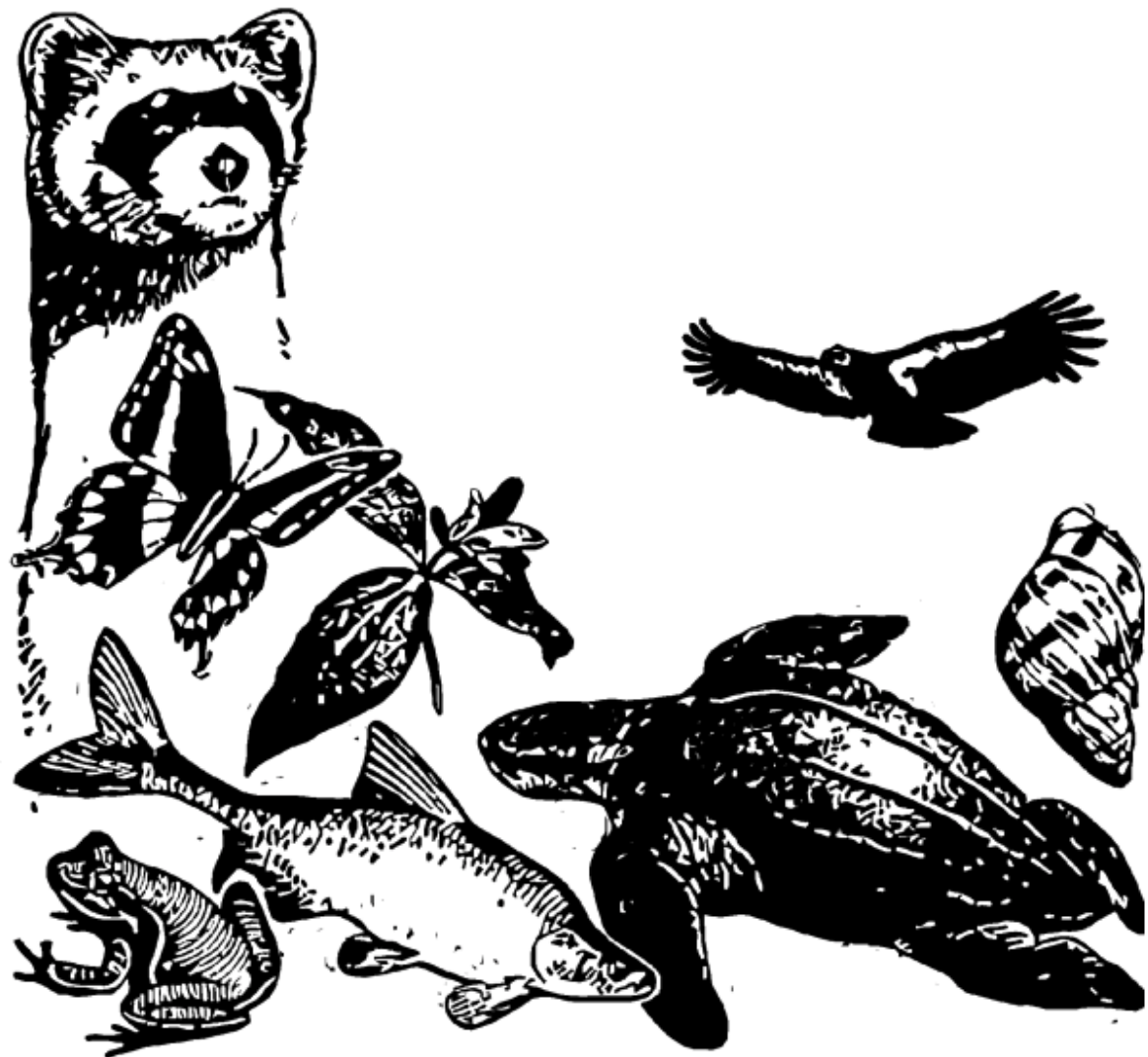


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Species Document Availability

Species with general design guidelines

Puerto Rican Boa *Chilabothrus inornatus*

West Indian Manatee *Trichechus manatus*

Species without general design guidelines available

Roseate Tern *Sterna dougallii dougallii*

General Project Design Guidelines - West Indian Manatee and 2 more species

Published by Caribbean Ecological Services Field Office - Publication Date: October 12, 2023 for the following species included in your project

West Indian Manatee *Trichechus manatus*

Roseate Tern *Sterna dougallii dougallii*

Puerto Rican Boa *Chilabothrus inornatus*



U.S. FISH & WILDLIFE SERVICE
CARIBBEAN ECOLOGICAL SERVICES FIELD OFFICE
JULY 2023

TECHNICAL ASSISTANCE TO EVALUATE EFFECTS ON ANTILLEAN MANATEES

The Service considers shallow coastal areas, bays, estuaries, river mouths and mangrove lagoon ecosystems as important for the conservation of the Antillean manatee because these areas contain all the natural elements preferred by manatees: abundant sea grass relatively calm waters, sheltered spots, and freshwater sources, as well as a relatively low number of boats within the bay. Actions proposed for these areas should be carefully examined, to ensure that elements required by this species are not compromised.

To evaluate the potential effect of proposed action on manatees, we need the applicants to address the following issues:

1. Type and amount of watercraft associated to the project.
2. Amount of boat facilities (e.g. ramps, piers, dry-stacks, buoys, among others).
3. Amount of habitat to be affected (e.g. acres of sea grasses and/or mangroves) and water depths for the entire footprint.
4. Provisions / restrictions to be taken to prevent collisions with manatees (e.g. delineation of an entrance channel, marking buoys, navigation aids, among others).
5. Outreach efforts to be implemented concerning boat operation. One of the main components of a successful operation of facilities that implement mechanisms to safeguard threatened and endangered species is a comprehensive outreach program that clearly indicates to the public 1) the actions that the facility is undertaking to protect such species (including assurances on the implementation of protection measures), and 2) the activities that the public should take to minimize or prevent impacts to sensitive species and their habitats. Guidelines for safe operation of watercrafts should be included as part of the outreach/education component of the proposed project (example attached below).
6. Any other site-specific conservation measure applicable for the project.

EXAMPLE OF CONSERVATION MEASURES FOR IN-WATER PROJECTS (INCLUDING DREDGING ACTIVITIES)

The following manatee conservation measures are recommended:

1. The contractor instructs all personnel associated with construction of the facility of the presence of manatees and the need to avoid collisions with manatees.
2. All construction personnel will be advised that there are civil and criminal penalties for harming, harassing, or killing manatees, which are protected under the Endangered Species Act of 1973 and the Marine Mammal Protection Act of 1972. The permit holder and/or contractor will be held responsible for any manatee harmed, harassed, or killed as a result of construction of the project.

3. The project work area shall be surveyed for the presence of manatees at least one hour before any dredging starts and prior to the installation of the silt fence. If manatees are found before any in-water project activity starts, the contractor shall wait for the manatee to leave the area by itself and be at least 100 feet from the project in-water area. Manatees must not be herded or harassed into leaving the area.
4. Siltation barriers will be made of material in which manatee cannot become entangled, are properly secured, and are regularly monitored to avoid manatee entrapment. Barriers must not block manatee entry to or exit from essential habitat.
5. All vessels associated with the project construction will operate at “no-wake/idle” speed at all times while in water within manatee areas and vessels will follow routes of deep water whenever possible.
6. If manatees are seen within 100 yards (300 feet) of the in-water work area, all appropriate precautions shall be implemented to ensure protection of the manatees. These precautions shall include operating all equipment in such a manner that moving equipment does not come any closer than 50 to 100 feet of any manatee. If a manatee is within 50 feet of in-water work, all in-water activities must shut down, until manatee moves on its own at least 100 feet away from the in-water work area. Manatees must not be herded or harassed into leaving the area.
7. Any collision with and/or injury to a manatee shall be reported immediately to the Department of Natural and Environmental Resources Law Enforcement (787-724-5700 or 787-771-1124), the USFWS Caribbean Ecological Services Field Office (786-244-0081), or the Caribbean Manatee Conservation Center (787-400-2782 [AQUA]).
8. The contractor shall keep a log detailing sightings, collisions, or injury to manatees, which have occurred during the contract period. Following project completion, a report summarizing the above incidents and sightings will be submitted to the U.S. Fish and Wildlife Service, Caribbean Ecological Services Field Office, P.O. Box 491, Boquerón, Puerto Rico 00622.
9. The permit holder and/or contractor shall install and maintain temporary and permanent manatee signs as recommended by the following guidelines:
 - a. Signs must be placed in a prominent location for maximum visibility. Areas that are recommended include: dock walkways, dock master offices, near restrooms or other high patron foot traffic areas.
 - b. Signs must be replaced when faded, damaged or outdated.
 - c. If the facility is large or has multiple docks with separate walkways that are a considerable distance apart, multiple signs should be installed.
 - d. These signs must not face the water, must never be attached to pilings or navigational markers in the water. Some exceptions to signs facing the water exist for temporary signs during in-water work.
 - e. For durability, all signs should be fiberglass, PVC or metal with rounded corners (hand-sanded to remove all sharp edges and burrs), constructed of 0.08 Gauge 5052-H38 Aluminum with an Alodine 1200 conversion coating and Engineer Grade Type I reflective sheeting. Signs constructed to other specifications may not provide durability acceptable to the consumer.
 - f. Signs other than depicted may be considered, but should be approved by USFWS.

PRECAUCIÓN: HÁBITAT DE MANATÍ
CAUTION: MANATEE HABITAT

Toda embarcación
VELOCIDAD MÁXIMA 5MPH
All project vessels IDLE SPEED/NO WAKE

Si observa un manatí a 50 pies o menos del área de trabajo, toda actividad en el agua debe

DETENERSE

When a manatee is within 50 feet of work all in-water activities must **SHUT DOWN**

Informe cualquier accidente con un manatí.
Report any collision with or injury to a manatee.



Vigilantes DRNA
(787) 724-5700

Manatee Conservation Center
(787) 400-AQUA(2782)

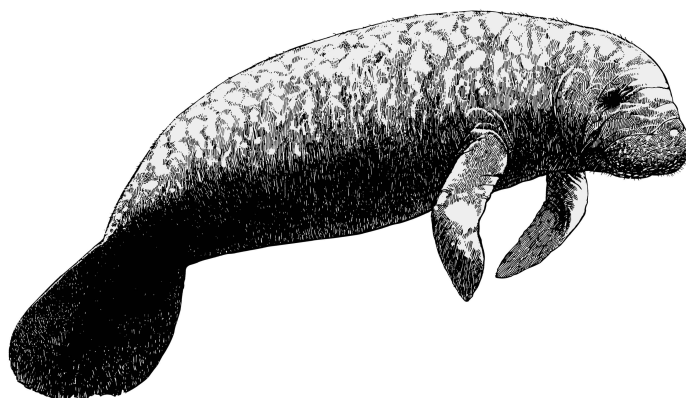
This **temporary** bilingual sign is required as part of the standard manatee construction conditions and is intended to be placed near dredge, tugboat and work boat operators. Minimum size should be at least 8½" inches tall by 11" inches wide, and besides the above recommendation, the sign may be in laminated paper. This sign shall be installed or distributed prior to the initiation of construction. Temporary signs will be removed by the permit holder upon completion of construction.

To obtain a ready to print copy of this sign, please contact Jan P. Zegarra from the USFWS Caribbean Ecological Services Field Office at jan_zegarra@fws.gov.

PRECAUCIÓN

Manatíes en el Área

Caution: Watch for Manatees



VELOCIDAD MÁXIMA 5MPH
IDLE SPEED/NO WAKE

Informe cualquier accidente con un manatí.

Vigilantes DRNA: (787) 724-5700

Manatee Conservation Center: (787) 400-AQUA(2782)

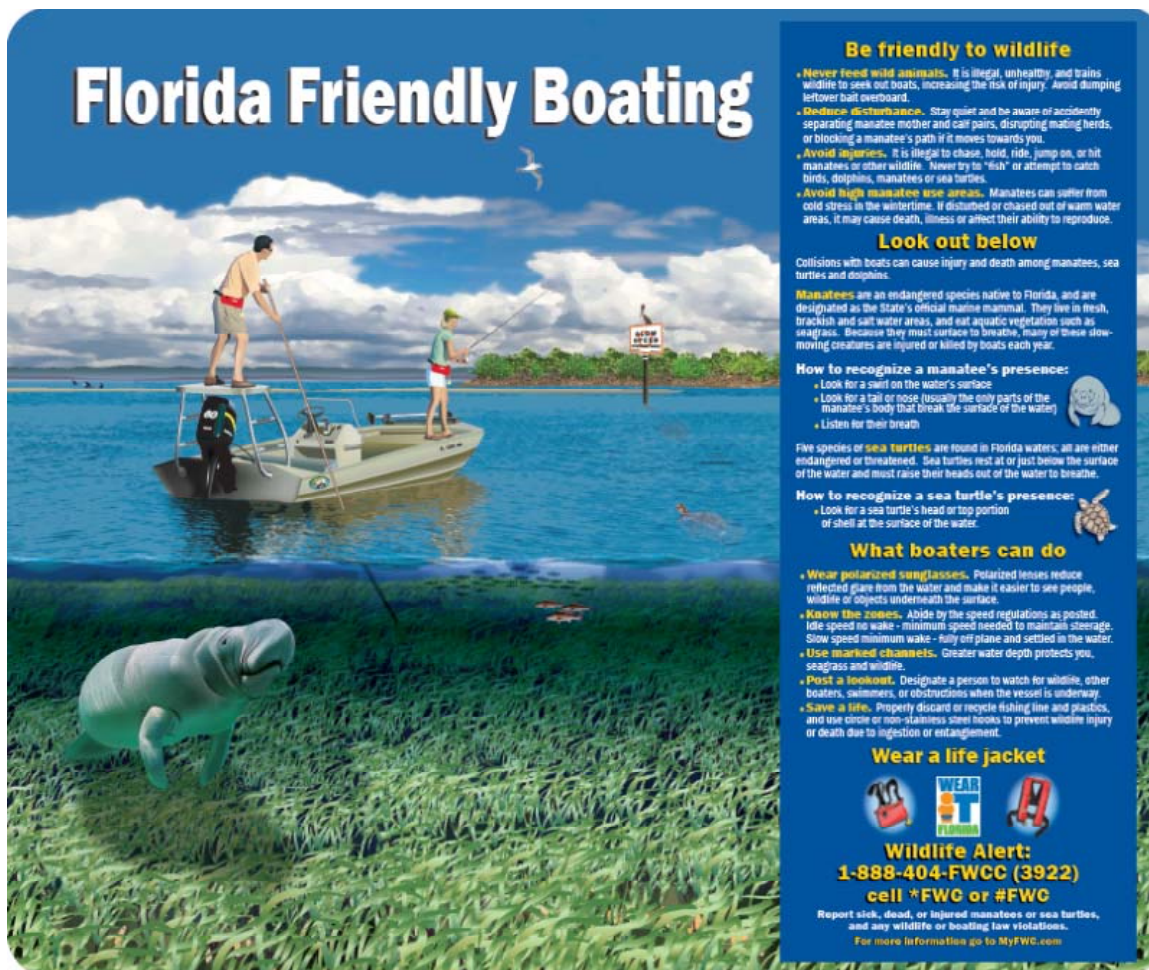
Report collisions, sick, dead or injured manatees.

This **permanent** bilingual sign is required as part of the standard manatee construction conditions and is intended to be placed within docking and launching facilities. Minimum size should be at least 30" inches tall by 24" inches wide with rounded corners. This sign shall be installed prior, during or after project construction. This permanent sign may not be required for coastal projects that **do not** have docking and/or launching facilities.

To obtain a ready to print copy of this sign, please contact Jan P. Zegarra from the USFWS Caribbean Ecological Services Field Office at jan_zegarra@fws.gov.

10. A permanent bilingual manatee educational sign should be installed and maintained prior to mooring occupancy at a prominent location to increase the awareness of boaters using the facility of boats to these animals. The numbers of educational signs that may be installed will depend on the docking facility design. One manatee educational sign is recommended at each boat ramp or travel lift (if applicable). Manatee educational signs remain the responsibility of the owner(s) and the Service recommends the signs be maintained for the life of the docking facility in a manner acceptable to the Corps of Engineers.

EXAMPLE MANATEE EDUCATIONAL SIGN



This **permanent** educational sign should have a minimum size of at least 30" inches tall by 36" inches wide with rounded corners.

11. A notarized verification letter stating that permanent signs have been installed at designated locations shall be forwarded to the Corps of Engineers, Antilles Regulatory Section, as soon as they are installed. Signs and pilings remain the responsibility of the owner(s) and are to be maintained for the life of the docking and launching facility in a manner acceptable to the Corps of Engineers.
12. Signs other than depicted above may be considered, but should be approved by USFWS. Signs shall have at least the following minimal recommend information:

a. Temporary bilingual signs:

PRECAUCIÓN
MANATÍES EN EL ÁREA
Mantenga velocidad de 5 mph dentro del área de construcción
Informe cualquier incidente con un manatí
Vigilantes DRNA 787-724-5700 / 787-771-1124

CAUTION
MANATEES IN THE AREA
Maintain idle speed/no wake (5 mph) within construction site
Report any collisions with or injury to a manatee

b. Permanent bilingual signs:

PRECAUCIÓN
MANATÍES EN EL ÁREA
Velocidad máxima 5 mph
Informe cualquier incidente con un manatí
Vigilantes DRNA 787-724-5700 / 787-771-1124

CAUTION
MANATEES IN THE AREA
Idle speed/No wake (5 mph) zone
Report collisions, sick, dead or injured manatees

- c. Permanent bilingual educational sign and some of the of the recommended information it should include:

GUÍA PARA LA PROTECCIÓN Y CONSERVACIÓN DEL MANATÍ
(MANATEE PROTECTION AND CONSERVATION GUIDELINES)

1. Utilice gafas polarizadas mientras navega. Éstas ayudan a detectar mejor al manatí, las áreas llanas y cualquier obstáculo en el mar. (*Use polarized sunglasses while navigating. These help to detect any manatee, shallow waters and any other obstacle in the wáter.*)
2. Si usted ve un manatí en la trayectoria de su embarcación, reduzca la velocidad a 5 mph y conduzca la embarcación fuera del paso del manatí o espere a que el manatí salga del área poniendo su embarcación en neutro. (*If you see a manatee within the*

path of your vessel, reduce the velocity to 5 mph and turn your vessel away from the manatee's path or wait until the manatee has moved from the area by putting your vessel in neutral.)

3. Luego de asegurarse de que el manatí esté fuera de la trayectoria de su embarcación, continúe navegando despacio (no más de 5 mph) hasta que su embarcación se encuentre a no menos de 50 pies (15 metros) del manatí. *(After you are certain that the manatee is well outside of the path of your vessel, resume navigation slowly (not more than 5 mph) until your vessel is not less than 50 feet (15 meters) away from the manatee.)*
4. Obedezca las zonas con límites de velocidad y reduzca la velocidad en aguas llanas menores a 10 pies de profundidad en particular cerca de la costa, en las desembocaduras de ríos, en praderas de hierbas marinas y manglares. *(Obey regulatory speed zones and reduce velocity in shallow waters less than 10 feet, particularly close to the coast, in river mouths, in sea grass beds and mangroves.)*
5. Si observa un manatí mientras usted está en el agua, obsérvelo pasivamente, no lo persiga, acose o lo toque. *(If you observe a manatee while in the water, passively observe it, do not follow it, nor harass or touch.)*
6. No tire basura al agua. El manatí puede ingerirla o enredarse en ella, lo cual podría causarle heridas o la muerte. *(Do not throw trash in the water. Manatees may ingest or entangle on trash, which may injure or kill it.)*
7. Nunca alimente o le ofrezca agua a un manatí. Es ilegal y los malacostumbra a acercarse a lugares donde pueden ser lastimados. *(Never feed or give water to a manatee. It is illegal and will wrongly habituate them to approach areas where they can be injured.)*

Informe accidentes con un manatí inmediatamente. Si encuentra un bebé manatí solo, en peligro, herido o muerto, llame al Cuerpo de Vigilantes del Departamento de Recursos Naturales y Ambientales al 787-724-5700 o 787-771-1124. *(Inform any accident with a manatee immediately. If you find a baby manatee alone, in danger, injured or dead, call the Department of Natural and Environmental Resources Law Enforcement of at 787-724-5700 or 787-771-1124).*

Herir o matar un manatí puede conllevar multas de más de \$50,000 y/o no menos de dos años de cárcel.
(Harming or killing a manatee could carry fines of more than \$50,000 and/or not less than two years in prison.)

GRACIAS POR AYUDAR A SALVAR LOS MANATÍES
THANKS FOR HELPING SAVE THE MANATEES



**U.S. FISH AND WILDLIFE SERVICE
CARIBBEAN ECOLOGICAL SERVICES FIELD OFFICE**

Conservation Measures for the Antillean manatee (*Trichechus manatus manatus*) for marine events.

Section 7 (a)(1) of the Endangered Species Act (ESA) charges Federal agencies to aid in the conservation of listed species, and section 7 (a)(2) requires the agencies, through consultation with the U.S. Fish and Wildlife Service (Service), to ensure their activities are not likely to jeopardize the continued existence of listed species or adversely modify designated critical habitats. Section 7 applies to the management of Federal lands as well as Federal actions that may affect listed species, such as Federal approval of private activities through the issuance of Federal funding, permits, licenses, or other actions. Any person that injures, captures, or kills a manatee is subject to penalties under Federal law. If federal funds or permits are needed, the funding or permitting agency shall initiate Section 7 consultation with the Service. To initiate a consultation under the Section 7 of the ESA, you must submit a project package with the established minimum requirements. These conservation measures should be incorporated into the project plans to minimize possible impacts to the species. Download the [project evaluations fact sheet](#) to learn more about the requirements or visit our [project evaluations webpage](#).

The U.S. Fish and Wildlife Service (USFWS) considers shallow coastal areas, bays, estuaries, river mouths and mangrove lagoon ecosystems as important for the conservation of the Antillean manatee because these areas contain the three key ecological attributes necessary for species' long-term survival: sea grass, freshwater for drinking, calm and shallow waters. Not all of these resources need to be present in order for manatees to use any particular area. The Antillean manatee in U.S. Caribbean, including Vieques, Culebra, and occasionally the U.S. Virgin Islands, are thought to spend the majority of their time in shallow waters less than 20 feet deep and regularly moving into deeper waters when moving between local sites and resources. Actions proposed for these areas should be carefully evaluated to ensure that manatees and their habitat are not affected, especially by the improper use of watercrafts within manatee habitat.

To evaluate the potential effects of any proposed marine event on manatees and its habitat, the Applicant needs to provide the following information:

- Describe the type and amount of watercraft associated to the marine event.
- Provide a map of the entire marine event course with the water depths in that area.
- Describe all types and amount of in-water markers (e.g., buoys) that will be used for the marine event.

For most high speed and high-risk events, we recommend aerial surveys (i.e., helicopter) to spot manatees in the water and track their movements. However, alternatives to aerial surveys may be considered when the Applicant justifies why they are not using aerial surveys and submit an

Last Revised: July 2023

alternate dedicated manatee observer plan (watch team) designed specifically for each marine event.

The Service has developed the following conservation measures with the purpose of assisting others to avoid or minimize adverse effects to the Antillean manatee and its habitat. These recommendations may be incorporated into new project plans and under certain circumstances into existing projects. Depending on the project, additional recommendations can be provided.

1. Marine events must be coordinated with the U.S. Coast Guard (USCG), the National Oceanic and Atmospheric Administration (NOAA), Puerto Rico Department of Natural and Environmental Resources (PRDNER), and the U.S. Virgin Islands Department of Planning and Natural Resources (VIDPNR), if events are conducted in U.S. Virgin Islands
2. Do not plan marine events in areas shallower than 10 feet.
3. For marine events that take place at night, all watercraft should proceed at a safe speed (5 mph), in order to avoid striking any protected species.
4. All marine event personnel and participants should be informed of the possible presence of manatees in the marine event area, and the need to avoid any collision with them. A manatee awareness meeting should be held before the event. All marine event personnel and participants should be advised that there are civil and criminal penalties established by the Federal government for harming, harassing, or killing a manatee. Be aware, that the permit holder and/or contractor for the event may be held responsible for any manatee harmed, harassed, or killed as a result of the marine event if permit conditions are not followed.
5. The event area must be continuously monitored for manatees before (at least 30 to 60 minutes) and during the event to detect manatees that may approach or enter the event area by qualified manatee observers. The qualified manatee observers (watch team) should be provided with proper communication equipment (e.g., two-way radios) to allow them to stay in close communication with each other as well as with the event officials while conducting monitoring. Manatee observers should also employ the use of flags for warning or stopping an event. If communication is interrupted during an event, the race will stop until communication is restored.
 - **Note:** There is no agency observer or training program. Observers may be considered qualified based on their experience. Permit holder and/or contractor are responsible for keeping track of each observer's qualifications and experience.
6. Manatee observers should be designated exclusively for that purpose and no other. An appropriate amount of manatee observers (watch team) should be designated to cover the entire area of the marine event. The position of each observer within the marine event area or on land must also be recorded. A watch team should include a team coordinator, multiple observers at an elevated position on boats and/or land, and/or an observer in a plane or helicopter. All observers should use polarized sunglasses in order to reduce glare and enhance observations.

7. Manatee observers will be in close communication with race officials in order to stop the event if a manatee is observed within the boundaries of the event or upon the request of any observer. If a manatee is sighted within 500 feet of the perimeter of the event boundaries, the observer will immediately notify the event official to alert them that the event may need to be halted. The event official will notify the participants that extreme caution needs to be taken since there is an animal in the vicinity. The event must be stopped immediately upon request of the manatee observer. The event should not resume until the animal has moved away from the area on its own. Manatees must not be herded or harassed to leave the event area. If the observer loses sight of a manatee observed in or near the event area, the event will not resume for at least 30 minutes following the initial sighting, provided that the manatee is not observed again.
8. All participating vessels will travel to and from the event course under the direct supervision of event officials and at idle speed, or the slowest possible navigable speed, until arriving at the course.
9. All participants and official boats should adhere to speed zones adjacent to the event site.
10. A final manatee observer report should be submitted to the USFWS (refer to contact emails below) within 30 days of the event, including a copy of the final USCG permit. Any manatee injury or deaths should be reported immediately:
 - PRDNER: (787) 724-5700, (787) 230-5550, (787) 771-1124
 - USFWS: (786) 244-0081
 - Puerto Rico Manatee Conservation Center: (787) 400-2782, (787) 279-1912 ext. 2070
11. No marine event watercrafts, including spectators, should anchor on or above seagrass and coral reefs.
12. If any of the above recommendation is not met prior to or during the event, the event should be immediately terminated.
13. All marine events should also avoid potential effects on sea turtle nests or sea turtles in the water. Be aware these recommendations are for manatees only, sea turtles in the water or other marine mammals are under the purview of NOAA, thus consultation with them should be initiated as well.

If you have any questions regarding the above conservation measures, please contact the Service:

- José Cruz-Burgos, Endangered Species Coordinator
 - Email: jose_cruz-burgos@fws.gov
 - Office phone (305) 304-1386
- Jan Zegarra, Fish and Wildlife Biologist
 - Email: jan_zegarra@fws.gov
 - Office phone (786) 933-1451

General Project Design Guidelines - West Indian Manatee and 2 more species

Published by Caribbean Ecological Services Field Office for the following species included in your project

West Indian Manatee *Trichechus manatus*

Roseate Tern *Sterna dougallii dougallii*

Puerto Rican Boa *Chilabothrus inornatus*



U.S. FISH AND WILDLIFE SERVICE CARIBBEAN ECOLOGICAL SERVICES FIELD OFFICE

Conservation Measures for the Puerto Rican boa (*Chilabothrus inornatus*)

Section 7 (a)(1) of the Endangered Species Act (ESA) charges Federal agencies to aid in the conservation of listed species, and section 7 (a)(2) requires the agencies, through consultation with the U.S. Fish and Wildlife Service (Service), to ensure their activities are not likely to jeopardize the continued existence of listed species or adversely modify designated critical habitats. Section 7 applies to the management of Federal lands as well as Federal actions that may affect federally listed species, such as Federal approval of private activities through the issuance of Federal funding, permits, licenses, or other actions. Any person that injures, captures, or kills a Puerto Rico boa is subject to penalties under the ESA. If Federal funds or permits are needed, the funding or permitting agency should initiate Section 7 consultation with the Service. To initiate a consultation under the Section 7 of the ESA, you must submit a project package with the established minimum requirements. These conservation measures should be incorporated into the project plans to minimize possible impacts to the species.

The endangered Puerto Rican (PR) boa (*Chilabothrus inornatus*, formerly *Epicrates inornatus*) is the largest endemic snake species that inhabits Puerto Rico. The PR boa is non-venomous and does not pose any life threatening danger to humans, but some individuals may try to bite if disturbed or during capture or handling. Its body color ranges from tan to dark brown with irregular diffuse marking on the dorsum, but some individuals lack marking and are uniformly dark. Juveniles may have a reddish color with more pronounced markings. In general, as they mature, their body color tends to darken.



The PR boa was federally listed in 1970. Currently, the species has an island-wide distribution and occurs in a wide variety of habitat types, ranging from wet montane to subtropical dry forest and can be found from mature forest to areas with different degrees of human disturbance such as roadsides or houses, especially if near their habitat in rural areas. The PR boa is considered mostly nocturnal, remaining less active, concealed or basking under the sun during the day.

The Service has developed the following conservation measures with the purpose of assisting others to avoid or minimize adverse effects to the PR boa and its habitat. These recommendations may be incorporated into new project plans and under certain circumstances into existing projects. Depending on the project, additional conservation measures can be implemented besides the ones presented in this document.

Conservation Measures:

1. Inform all project personnel about the potential presence of the PR boa in areas where the proposed work will be conducted. A pre-construction meeting should be conducted to inform all project personnel about the need to avoid harming the species as well as penalties for harassing or harming PR boas. An educational poster or sign with photo or illustration of the species should be displayed at the project site.
2. Prior to any construction activity, including removal of vegetation and earth movements, the boundaries of the project and areas to be excluded and protected should be clearly marked in the project plan and in the field in order to avoid further habitat degradation into forested and conservation areas.
3. Once areas are clearly marked, and prior to the use of heavy machinery and any construction activity (including removal of vegetation and earth movement), a biologist or project personnel with experience on this species should survey the areas to be cleared to verify the presence of any PR boa within the work area.
4. If a PR boa is found within any of the working or construction areas, activities should stop at that area and information recorded (see #5). **Do not capture the boa.** If boas need to be moved out of harm's way, designated personnel shall immediately contact the Puerto Rico Department of Natural and Environmental Resources (PRDNER) Rangers for safe capture and relocation of the animal (PRDNER phone #s: (787) 724-5700, (787) 230-5550, (787) 771-1124). **If immediate relocation is not an option, project-related activities at that area must stop until the boa moves out of harm's way on its own.** Activities at other work sites, where no boas have been found after surveying the area, may continue.
5. For all boa sightings (dead or alive), record the time and date of the sighting and the specific location where it was found. PR boa data should also include a photo of the animal (dead or alive), site GPS coordinates, the time and date, and comments on how the animal was detected and its behavior.

6. If a PR boa is captured by PRDNER personnel, record the name of that person and information on where the PR boa will be taken. This information should be reported to the Service.
7. Measures should be taken to avoid and minimize PR boa casualties by heavy machinery or motor vehicles being used on site. Any heavy machinery left on site (staging) or near potential PR boa habitat (within 50 meters of potential boa habitat), needs to be thoroughly inspected each morning before work starts to ensure that no boas have sheltered within engine compartments or other areas of the equipment. If PR boas are found within vehicles or equipment, do not capture the animal, and let it move on its own or call PRDNER Rangers for safe capture and relocation of the animal (see #4). If not possible, the animal should be left alone until it leaves the vehicle on its own.
8. PR boas may seek shelter in debris piles. Measures should be taken to avoid and minimize boa casualties associated with sheltering in debris piles as a result of project activities. Debris piles should be placed far away from forested areas. Prior to moving, disposing or shredding, debris piles should be carefully inspected for the presence of boas. If debris piles will be left on site, we recommend they be placed in areas that will not be disturbed in the future.
9. If a dead PR boa is found, immediately cease all work in that area and record the information accordingly (see #5). If the PR boa was accidentally killed as part of the project actions, please include information on what conservation measures had been implemented and what actions will be taken to avoid further killings. A dead boa report should be sent by email (see contacts below) to the Service within 48 hours of the event.
10. Projects must comply with all state laws and regulations. Please contact the PRDNER for further guidance.

If you have any questions regarding the above conservation measures, please contact the Service:

- José Cruz-Burgos, Endangered Species Program Coordinator
 - Email: jose_cruz-burgos@fws.gov
 - Office phone (305) 304-1386
- Jan Zegarra, Fish and Wildlife Biologist
 - Email: jan_zegarra@fws.gov
 - Office phone (786) 933-1451

ATTACHMENT 5

8 Step Process Documentation

8 STEP PROCESS DOCUMENTATION

CDBG-DR PROGRAM

CITY REVITALIZATION PROGRAM

PR-CRP-001002
Levittown Lake Park Recreational Area

U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT

8-STEP PROCESS DOCUMENTATION

Project number:	PR-CRP-001002
Project name:	Levittown Lake Park Recreational Area
Municipality:	Toa Baja
Date:	March 27, 2024
Decision Process for E.O. 11988/11990 as Provided by 24 CFR §55.20	

Project description

The Municipality of Toa Baja intends to make enhancements to an existing public space to improve conditions for outdoor recreation. Residents of the area, who have mostly low-to-moderate income (LMI), will have free access to the open-air space. The actions also aim at improving the resiliency of public infrastructure, promote pedestrian safety, improve accessibility to disabled persons and enhance open-air spaces for recreation and leisure.

Levittown Lake Park Recreational Area (PR-CRP-001002)

The proposed project is part of the municipal projects included in the CDBG-CRP. The project consists of the Rehabilitation of Levittown Lake Park located along road PR-868 (Levittown Boulevard), 170 meters south of its intersection with road PR-165, in the Sabana Seca Ward, Municipality of Toa Baja. The estimated cost of the project is \$2,800,000.00. The proposed action is a CDBG-CRP funded project; allocated by HUD to PRDOH as the grantee of the funds and the Municipality of Toa Baja as the subrecipient of the funds (Grant Numbers B-17-DM-72-0001, B-18-DP-72-0001 and PR-CRP-001002).

The park site occupies 1.49 acres on the northeastern corner of Levittown Lake, along Levittown Boulevard (road PR-868), 170 meters south of its intersection with road PR-165. Its center coordinates are: 18.46100 N, 66.18855 W (State Plane X: 225850, Y: 269500). The land is registered under two cadastral numbers: 038-020-214-23-000 and 038-020-214-24-000. The owner is the Municipality of Toa Baja. The site is zoned DT-G (*Dotacional General*).

The site is flat with elevations ranging from 2.82 m above sea level to sea level. The park has a main area approximately 178 meters by 30 meters, and a 36 m by 27 m concrete platform extending from it into the water. Most of the park is currently covered by bare soil and grasses, a few concrete slabs from previous structures, and a few trees. There is a concrete gazebo on the concrete platform.

The site is part of the Levittown Development, a phased, large, residential neighborhood built in the 1960s and 1970s. Historical aerial photographs from 1930 and 1950 show that the site was extensively used as agricultural lands, with orchards of fruit trees (perhaps citrus trees). At that time, the extant wetlands and local drainages were at a significant distance south and west of the site. The current alignment of road PR-165 can be detected in the 1930 aerial photograph as a country road. The geological map shows the site to be over a Qb formation (Quaternary beach deposits – sand, up to 5 m in thickness).

Levittown Lake, even though an artificial body of water, is considered to be estuarine “interior waters,” where the tides are sensible but with a greatly reduced oscillation (less than 1 foot). Therefore, they are “waters of the United States” and its shores are part of the Puerto Rico maritime-terrestrial zone. A comprehensive hydrological and water quality study of Levittown Lake was done by the US Geological Survey (USGS Scientific Investigations Report 2022-5096). The report shows that recurrent anoxic conditions affect these waters, perhaps the result of the engineering design of the lake, with a high mean-depth to surface area ratio.

No evidence was found for this site to have any type of historic structure; one of the existing structures is a gazebo in a bad structural condition (Figure 01); the other structure in the project is a concrete slab (formerly a building) without any finishes (Figure 02) and that does not represent any historical value.



Figure 01: Existing Gazebo conditions



Figure 02: Existing concrete slab

The proposed redesign of Levittown Lake Park is intended to address the community's needs for recreational spaces that put people in contact with nature and that help them maintain an active lifestyle (see Figure 03). The main program elements of the park are as follows:

1. Water Sports Area – Creation of a lower deck and a floating dock to allow the launching of kayaks and other non-motorized watercraft. The Water Sports Area (WSA), as well as all areas of the park, will be universally accessible. New stairs and ramps will connect this area with the rest of the park.
2. Gazebo – A new gazebo will replace the existing concrete gazebo, which is a safety hazard due to significant and irreversible corrosion of the rebar inside its columns. The new gazebo will be a steel structure. The existing gazebo to be demolished is from the 1960s.
3. New Access and Parking Lot – A new access from road PR-868 and a new parking area will be constructed. The parking area will be constructed with permeable pavement (Geoweb system with crushed stone) and provide 14 parking spaces, one of them for disabled persons.
4. Outdoor Exercise Area – An outdoor gym area, with outdoor exercise equipment, will be created along the lake. This area will have special paving intended for outdoor play and exercise activities.
5. Big Tree Contemplation Area – A contemplation area around the existing large Ficus tree will be created with a new concrete deck overlooking the lake. The deck will cantilever towards the water but will be supported by deck columns driven into the upland portion of the lake shore. The contemplation area will include benches and other public space furnishings.

-
- 01 OVERALL SITE PLAN
- Annotations include:
- OUTDOOR GYM EQUIPMENT (TYP.)
 - BERM SLIDE PLAY AREA
 - PLANTING (TYP.)
 - LOCOMOTIVE
 - PRECAST CONC. BENCH (TYP.)
 - PEDESTRIAN PROMENADE
 - CONSTRUCTION JOINTS (TYP.)
 - PRINCE LEITCHSON BLVD.
 - EXISTING SIDEWALK
 - CONTEMPLATION DECK
 - BOARD WALK & LOWER DECK
 - CONC. SEAT WALL (TYP.)
 - OPEN LAWN AREA
 - EXISTING BOLLARDS RELOCATED THIS AREA (TYP.)
 - PARKING ENTRANCE
 - 5 BIKE RACK (TYP.)
 - PARKING EXIT
 - NEW ADA COMPLIANT RAMP
 - CONC. RET WALL (TYP.)
 - OPEN FRENCH DRAIN
 - CONC. UNIT PAVERS (TYP.)
 - GRAVEL BED (TYP.)
 - PROPOSED TREE (TYP.)
 - CONCRETE DECK
 - GAZEBO W/ TRELLIS & SHADE SAIL
 - TREE RT. (TYP.)
 - FLOATING DOCK
 - SIDEWALK
 - PIV CONC. SEAT WALL
 - CONC. ACCESS STAIRS (TYP.)
 - PROPOSED PALMS (TYP.)
 - PARKING
- Scale: 1" = 10' 0"
- North Arrow

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See the following attachments:

Attachment 1 – Initial notice publication (Step 2)

Attachment 2 – Final notice publication (Step 7)

Step 1: *Determine whether the action is located in a 100-year floodplain (or a 500-year floodplain for critical actions) or wetland.*

Both the Flood Insurance Rate Map (FIRM) and the Advisory Base Flood Elevations (ABFE) maps were reviewed to assess project location within floodplains.

According to the FIRM map (data obtained from <https://msc.fema.gov/portal/home>), the proposed action is located within the FEMA Special Flood Hazard Areas of panel 72000C0330J (effective 11/18/2009) (see Figure 04). According to the map, the entire site is in Zone AE, with flood elevations of 1.6 meters (m) above sea level. However, the site is not in a floodway zone. According to the topography map prepared by Marvel for the project site, the site elevations range from sea level to approximately 2.82 m above sea level.

In the ABFE map for panel 72000C0330J (data obtained from <https://gis-r2-fema.hub.arcgis.com/pages/puertorico>, effective 12/11/2018) (see Figure 05), all of the project is located within Zone A (the 1% Annual Chance Flood zone), with a flood elevation of 3 m. The flood elevation was obtained from the nearest marked line on the map.

The proposed activities include the stabilization of a small portion of the lake shore (approximately 200 lineal feet or less of the shoreline), which is classified as an estuarine and marine deepwater wetland (E1UBLx), as identified in the US Fish and Wildlife Service's (USFWS) National Wetlands Inventory (NWI) map (data obtained from <https://fwsprimary.wim.usgs.gov/wetlands/apps/wetlands-mapper/>), see Figure 06. This work will impact an estimated 290 square feet (0.007 acres) of wetland. Figure 07 shows details of the wetland areas to be affected by the project from the drawings plans prepared to date by the design firm, Marvel.

National Flood Hazard Layer FIRMMette



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS	<ul style="list-style-type: none"> Without Base Flood Elevation (BFE) Zone A, V, A99 With BFE or Depth Zone AE, AO, AH, VE, AR Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD	<ul style="list-style-type: none"> 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X Future Conditions 1% Annual Chance Flood Hazard Zone X Area with Reduced Flood Risk due to Levee, See Notes, Zone X Area with Flood Risk due to Levee Zone D
OTHER AREAS	<ul style="list-style-type: none"> NO SCREEN Area of Minimal Flood Hazard Zone X Effective LOMRs Area of Undetermined Flood Hazard Zone D
GENERAL STRUCTURES	<ul style="list-style-type: none"> Channel, Culvert, or Storm Sewer Levee, Dike, or Floodwall
OTHER FEATURES	<ul style="list-style-type: none"> Cross Sections with 1% Annual Chance Water Surface Elevation Coastal Transect Base Flood Elevation Line (BFE) Limit of Study Jurisdiction Boundary Coastal Transect Baseline Profile Baseline Hydrographic Feature
MAP PANELS	<ul style="list-style-type: none"> Digital Data Available No Digital Data Available Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 2/23/2022 at 1:25 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

Figure 04. General layout of areas where the project will be located within the National Flood Hazard Area (FIRM Map).

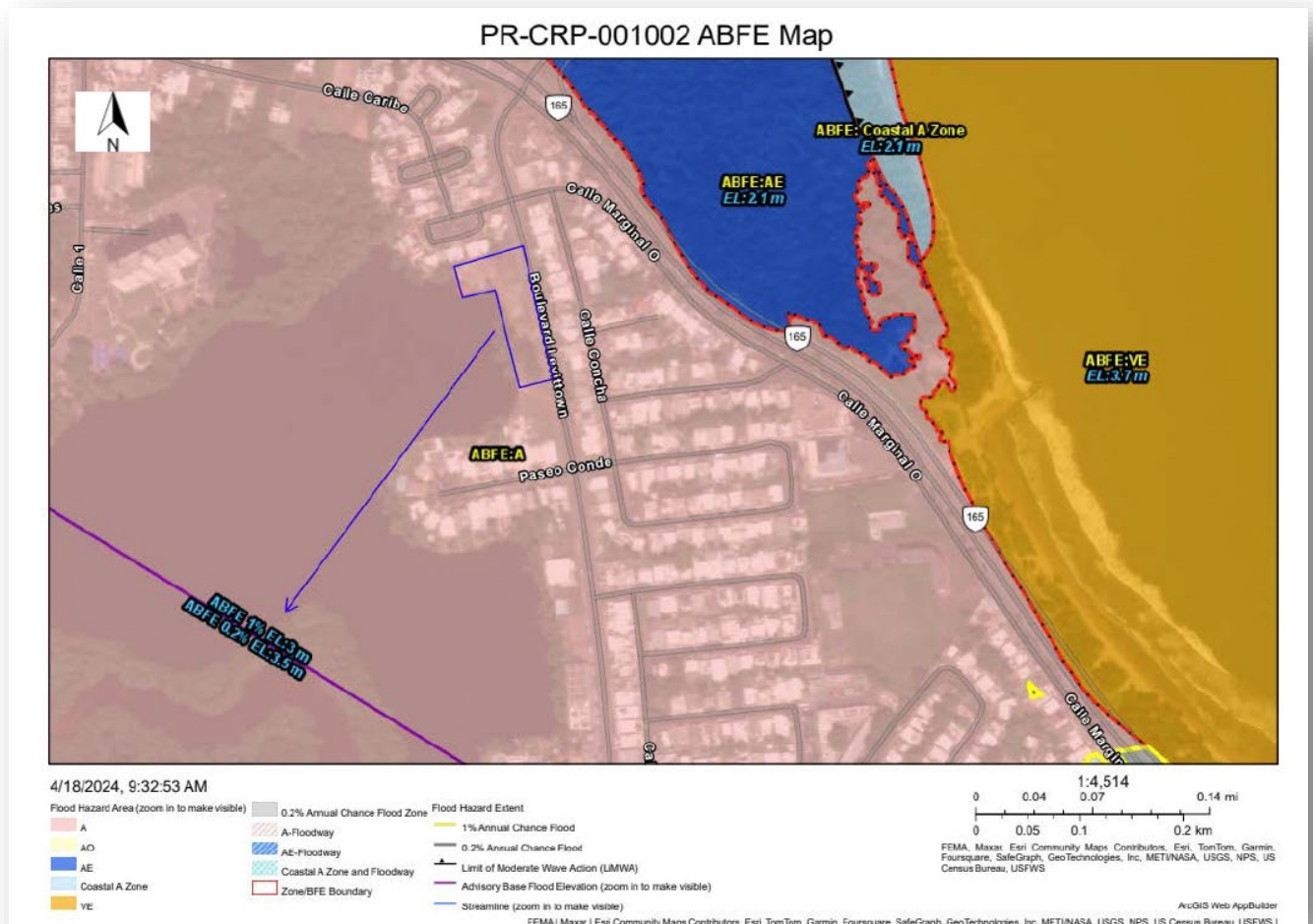


Figure 05. General layout of areas where the project will be located within the ABFE Map. The blue arrow points to the flood elevation line nearest to the project site and within Zone A.



Figure 06. General layout of areas where the project will be located and the wetland areas nearby in blue (USFWS National Wetland Inventory).

Step 2: *Notify the public for early review of the proposal and involve the affected and interested public in the decision-making process.*

A public notice was published in the El Vocero de Puerto Rico newspaper on January 25th, 2024. This newspaper has circulation throughout the entire island of Puerto Rico. The ad was directed at interested agencies, groups and individuals and was published in Spanish and English. The notice also included the name, proposed location, a brief description of the activity, and the responsible entity's contact information, which in this instance is the Puerto Rico Department of Housing. The notice also included the location at which a full description of the proposed action could be viewed. A copy of the published notification is attached to this document (see Attachment 1).

The required 15 calendar days were allowed for public comment, thus the comment period ended on February 9th, 2024. An additional day was reserved to allow comments to come through in the event they were sent via regular mail. At the end of the waiting period, no comments were received.

Step 3: *Identify and evaluate practicable alternatives.*

Important criteria was evaluated for the development of this project. It is located in a centralized area of the municipality (this is part of the requirements for the City Revitalization Program as per <https://cdbg-dr.pr.gov/en/city-revitalization/>) and it is accessible to LMI residents.

In the evaluation of alternatives, the following were considered:

- Locations outside and not affecting the 100-year floodplain (or the 500-year floodplain for a Critical Action) or wetland

Locating outside the floodplain and wetland will imply that the proposed project area, which is currently in use by local residents for recreation purposes, will not be upgraded and provided with safety features that are needed, including lighting and adequate walkway space. Also, locating outside the floodplain may imply limited access to LMI citizens that live in the neighborhoods near the project location. The project aims to improve the current eroded condition of the wetland by stabilizing the bank of the lake shore with a combination of geotechnical fabrics, soil, and natural vegetation. Locating the project outside of the wetland would fail to prevent further erosion of the lake shore.

- Locate the Project within the Floodplain and Wetland

The activities aim to improve existing facilities located within the municipality of Toa Baja. This is an area already in use by citizens seeking the outdoors for leisure, recreation, and exercise. The rehabilitation and upgrade of areas leading to or near the Toa Baja township helps to maintain accessibility to areas of services provided throughout the urban community.

- No Action or Alternative Actions that Serve the Same Purpose

A no action alternative was considered and rejected because the municipality wanted to provide a purposeful use and enhance the area of the existing park for the enjoyment of its citizens.

Practicability of alternative sites:

There is little practicability in selecting an alternate site because the land parcel is within the urban area, which attracts its users. The selected area has adequate natural values for the development of the project, including relatively flat terrain, and limited natural components and natural hazards. The topography of the area will be maintained.

The existing park is one of the very few locations where Toa Baja citizens have safe access to lakes or interior water bodies for aquatic recreation. Alternative sites do not have all of the amenities and natural values this existing site has. In addition, due to the nature of the project, there are no feasible technological alternatives.

Step 4: *Identify Potential Direct and Indirect Impacts Associated with Floodplain/Wetland Development.*

The proposed works will be built within the existing footprint of the park. Existing elevations will be maintained, and only slightly modified to accommodate stairs and ramps needed to provide universal accessibility through the project. These minor elevation changes above the existing natural contours will represent minimal impacts, if any, to the existing flood levels.

A small area of the wetland (estimated at 290 ft², or 0.007 acres) along the lake bank will be improved to manage and prevent erosion. The lake bank will be later planted with native vegetation to improve its ecological function and further prevent erosion.

The proposed project will be an urban park, where any flood waters will be allowed to flow uninterrupted and percolate to the ground in unpaved areas. The proposed project will significantly increase the planted areas and reduce the current imperviousness of the park. Green infrastructure strategies will also be used to manage locally generated storm water.

The natural and beneficial values of the floodplain and wetland were considered. The natural resources of the floodplain and wetland include water, biological, and societal resources. For part of the project, the municipality decided to utilize and improve existing park areas to avoid increasing the impervious surfaces within the floodplain. Where impermeabilization is needed, it has been designed to be kept to a minimum and combined with permeable pavement.

Impact to water resources will be minimal as all areas will be provided with elements that allow percolation and limit erosion. Landscaping practices will be implemented using, whenever possible, native vegetation that is resilient to climate events. The design of the individual actions has been managed so that natural flood and erosion control, water quality, and groundwater recharge are maintained. Thus, the proposed action will have minimal effects on water resources.

The chosen alternative will preserve floodplain and wetland values in that it involves utilization of existing infrastructure in combination with minimization of impermeable areas. The proposed project will be built at the existing ground levels, at or above the flood level. The works will not increase the base flood elevation in the floodway or limit floodwater movement. Also, recreational use is viable, even with the flood hazard condition of the area.

Societal resources were also considered during the design process. The action on this site is meant to enhance the location and offer an aesthetically pleasing experience to the citizens that utilize the areas. This influence will be beneficial to the well-being of the citizens and provide a positive experience for the visitors. The area will maintain a recreational use but this use will be enhanced by the new facilities.

The Hydrologic and Hydraulic Study could also be waived for cases of construction or substantial improvement in a simple case of residential or non-residential use, where the minimum floor elevation could be at three (3) feet, or more, above the highest elevation of

adjacent terrain in the plot or according to the recommendations established in FEMA literature.

The Puerto Rico Planning Board (PRPB) Regulation 13, Section 7.00 (Zone A), allows the location of new structures, substantial improvements, and other developments in this area when the provisions of this Section are met.

Also, the project will comply with the following provisions:

1. Drainage work will be consistent with the need to reduce flood damage and all works will be designed using the best engineering practices to minimize flood damage.
2. Project improvements will be designed and constructed in such a way that they cause the least possible obstruction to the flow of water, offer safe conditions, resist the effects of hydrodynamic and hydrostatic loads of flood waters and comply with any other provision of applicable law or regulation.

The highest priority of this decision-making review is to prevent the loss of life. However, the project does not envision residential facilities or areas to increase the density of population. Thus, in the event of a flood, there will be no threat to life because of this action.

Step 5: *Where practicable, design or modify the proposed action to minimize the potential adverse impacts to lives, property, and natural values within the floodplain and to restore and preserve the values of the floodplain and wetland.*

- (a) **Preserving Lives:** As indicated previously, the proposed action will not increase the population density in the area. Thus, in the event of a flood, there is minimal threat to life.
- (b) **Preserving Property:** The project has been designed to reduce impacts from potential flooding and weather events, and to protect this recreational infrastructure of the Municipality of Toa Baja from climate change. For example, the Contemplation Deck around an existing, majestic Ficus tree was designed as a cantilevered reinforced concrete structure instead of the traditional wooden-deck-over-piles type of structure. The cantilevered deck is well above Mean High Water at the site and will be able to withstand periodic flood events much better than a wooden structure on piles. Also, resiliency will be built into other project elements so that they can withstand weather events. For example, the existing concrete platform on the northern side of the site will be “softened” by replacing concrete slabs with large soil and gravel areas that will infiltrate rainwater and reduce flooding impacts.
- (c) **Preserving Natural Values and Minimizing Impacts:** The project aims to enhance existing facilities and urban areas while also minimizing the effects or impacts to natural, undeveloped areas. This will be done by implementing erosion and sedimentation controls during construction and avoiding exposed soils during the operation phase. Impact to water resources will be minimal as all areas will be provided with elements that allow percolation and limit erosion. For example, the new parking lot is smaller than originally planned and it will be built with permeable pavement, using a Geoweb system and crushed stone. This will encourage infiltration of stormwater and prevent impacts to wetlands and the lake from non-point sources of pollution.

Landscape design practices will be implemented using, whenever possible, native vegetation that is resilient to climate events. Landscaped areas will also limit the erosion of the soil and help stabilize the wetland along the bank of the Levittown Lake.

- (d) **Restore and Preserve the values of the floodplain and wetland:** The proposed project will help to restore and preserve wetland and floodplain values by minimizing impacts to the shore and wetlands; stabilizing the bank by carefully planting the lake shoreline with native, aquatic vegetation; and by increasing the hydrological and ecological functioning of the site with new plantings and permeable pavements.

A Subaquatic Biological Survey performed by *Coll Rivera Environmental* in October 2023, at this lake shore, found the following:

“It was found that [the] lake’s bottom along the shore is composed of concrete debris, decaying wood from tree branches and leaves, palm trees, and black silt sediments. The black sediments suggest an oxygen-deprived environment due to organic material decomposition. The only live aquatic organisms found were the mollusk Nerita fulgurans (Lighting nerite) and an individual of the Callinectes sapidus (Blue crab). Many shells of dead bivalve mollusk Mytilopsis sallei (Caribbean false mussel) and carapaces of dead blue crab were observed. No coral reef habitats, colonized pavements, seagrass, or mangrove forests were documented within the study limit. No Endangered Species Act (ESA) listed or candidate coral species, sea turtles, mammals or federally-managed species were either documented” (Biologist Jorge Coll Rivera, October 2023).

The proposed project will include the lakeshore planting of native aquatics to improve the wetland conditions and ecological functioning, and to stabilize the shore in the medium and long terms. In addition, the upland areas of the park will also be revegetated, reducing erosion, increasing wildlife habitat, and improving thermal and hydrological performance.

The design also intends to preserve floodplain values. This will be in part achieved by the renovation and utilization of existing facilities, which will limit the need to create new impermeable surfaces. The design does not include new structures that may limit floodwater movement. Also, the design seeks to maximize water percolation by substituting impermeable surfaces with permeable ones, for example, by substituting concrete slab with large areas of soil and gravel for planting in the existing concrete platform on the north side of the park and by increasing the coverage of planting areas. The area’s topography will remain essentially the same, as previously discussed. Only minor regrading will be necessary to make the park fully accessible to disabled persons and older adults.

The projected impacts to the lakeshore and wetlands will be very limited. In fact, the water will be touched only at two points: south of the Ficus tree to remove an existing concrete slab on the shore (and subsequent regrading and planting of the shore segment); and north of the Ficus tree to install a floating dock for small recreational watercraft, like kayaks and rowboats. No motorized watercraft will be allowed to access the lake from this park.

The above-mentioned impacts to the shore and wetlands will be much less than 200 lineal feet of shore. The project designer (José Juan Terrasa-Soler, RLA; Marvel) will obtain the required permit from the US Army Corps of Engineers to work within the wetland areas. It is expected that a Nationwide Permit will be sufficient for the work proposed. These permits will be included in the project’s environmental review record. Best management practices will be implemented to minimize impacts to the wetland areas. According to the project designer and environmental specialist (Ángel García, PE; AG Environmental), mitigation measures will include the use of geomembranes for support and planting the bank with native aquatic species. This work will improve the current eroded condition of the bank.

Step 6: *Reevaluate the Alternatives.*

The Levittown Lake Park is an existing park in the Municipality of Toa Baja's urban area, with over forty years of continuous use. Therefore, there are limited alternatives to development or rehabilitation outside of its current location in the floodplain and wetland. Because the actions involve existing facilities located in the urban area, floodplain management is required.

No additional alternatives were considered for this type of action, mainly because there are no additional areas with equivalent recreation potential within or close to the community this park serves. The main purpose of the project is to serve as recreational space and support cultural activities that take place near the project site.

Although the project will be located in a floodplain and wetland, the project will be adapted to preserve the effects on floodplain and wetland values. There will be no significant impact to the artificial Levittown Lake, stormwater will be allowed to percolate and follow the contours of the terrain, and hydrological function will be maintained or enhanced. The banks of the lake within the wetland will be stabilized and planted with native aquatic vegetation. Additionally, the action does not present an increased risk to human life because it does not involve an increase in population density such as that of a housing project.

The alternative of using another location within the floodplain is not feasible given the location of the park and the community that it serves. a no action alternative will not improve the citizens' livelihoods by not providing areas of recreation and leisure that are safe and accessible to all.

Step 7: *Determination of No Practicable Alternative*

It was determined that there is no practicable alternative to locating the project in the flood zone and wetland, where it is currently located. This is due to: 1) the desire to improve citizens' livelihoods by providing adequate and aesthetically pleasing areas for recreation and leisure; 2) the need to make urban areas resilient by managing rainwater; 3) the need to revitalize urban areas; 4) the project's accessibility to LMI citizenship; and 5) the ability to minimize impacts on human health, public property, and floodplain and wetland values.

Alternatives considered included i) the location of the proposed activity outside the floodplain and wetland; and ii) a no action alternative. It was decided that, in order to provide adequate recreational facilities that are free and accessible to low- and middle-income citizens, and to minimize creation of new impermeable surfaces, the activity should be developed at the proposed location.

Mitigation measures have been incorporated in all phases of the project. During the design phase, mitigation activities considered limiting the creation of impermeable surfaces, incorporating the reuse of existing facilities, constructing new green infrastructure in the site, and maximizing water percolation areas by establishing permeable surfaces and enhancing natural features with new plantings. Mitigation activities will be implemented during the construction phase with controls that limit erosion and sedimentation to surrounding waters. Mitigation measures will include the use of geomembranes for support and planting the bank with native aquatic species. This work will improve the current eroded condition of the bank. These will not be necessary during operation because all areas will be stabilized. No other mitigation activities were deemed necessary because the area will be used as an open park which will not restrict flood water movement.

A final notice was published and posted consistent with the prior notice on June 18, 2024. The notice explains the reasons why the modified project must be located in the floodplain, offers a list of alternatives considered in Steps 3 and 6, and describes all mitigation measures taken in Step 5 to minimize adverse impacts and preserve natural and beneficial floodplain values. The notice is attached to this document. No concerns were expressed by the public regarding the final notice.

Step 8: *Implement the Proposed Action*

The Municipality of Toa Baja will ensure that this plan, as modified and described above, is executed, and necessary language will be included in all agreements with participating parties. The city will also take an active role in monitoring the construction process to ensure no unnecessary impacts occur, nor unnecessary risks are taken.

**Attachment 1 – Early Notice Publication (Step 2) and “no comment”
Confirmation Letter**

Andrea Curbelo-Marty

From: environmentcdbg <environmentcdbg@vivienda.pr.gov>
Sent: Thursday, January 25, 2024 3:47 PM
To: Jose.A.CedenoMaldonado@hud.gov; Mahon, Donna M; Caribbean_es@fws.gov; Edwin_muniz@fws.gov; Rodriguez.elias@epa.gov; Guerrero.carmen@epa.gov; PublicMail.CESAJ-CC@usace.army.mil; Rich.Okulski@noaa.gov; Noah.Silverman@noaa.gov; nmfs.ser.esa.consultations@noaa.gov; FEMA-R4EHP@fema.dhs.gov; carubio@prshpo.pr.gov; comunicaciones@ddec.pr.gov; secretario@ddec.pr.gov; jannira.colon@ddec.pr.gov; Rivera_r1@jp.pr.gov; comentarios@jp.pr.gov; pmzc@drna.pr.gov; eortega@drna.pr.gov; ayudaciudadano@drna.pr.gov; anais.rodriguez@drna.pr.gov
Subject: Public Notice – Early Notice and Public Review of a Proposed Activity in the 100-Year Floodplain and Wetland_PRDOH Case PR-CRP-001002
Attachments: Early Notice_El Vocero_PR-CRP-001002.pdf

Concerned agencies,

Enclosed please find a **Public Notice – Early Notice and Public Review of a Proposed Activity in the 100-Year Floodplain and Wetland** the Puerto Rico Department of Housing (as the Responsible Entity) published as part of HUD's requirements for the release of CDBG-DR funds to undertake the project *Área Recreativa Parquecito del Lago de Levittown* (PR-CRP-001002). The Early Notice was published in the *El Vocero* newspaper of Puerto Rico on January 25, 2024.

Respectfully,

Permits and Environmental Compliance Division

Disaster Recovery Office

environmentcdbg@vivienda.pr.gov | 787.274.2527

Visit us: recuperacion.pr.gov

Contact us: infocdbg@vivienda.pr.gov

DEPARTAMENTO DE LA
VIVIENDA



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SS-19164 ESTADO LIBRE ASOCIADO DE PUERTO RICO TRIBUNAL DE PRIMERA INSTANCIA CENTRO JUDICIAL DE TOA ALTA

DAVID GARCIA PICHARDO DORIS GARCIA PICHARDO
Demandante

AWILDA RUIZ MILAN
Demandado

Civil Num.: TB2023CV00401
SALA: 201B Sobre: PARTICIPACIÓN DE BIENES HEREDITARIOS EMPLAZAMIENTO POR EDICTO ESTADOS UNIDOS DE AMERICA, EL PRESIDENTE DE LOS ESTADOS UNIDOS EL ESTADO LIBRE ASOCIADO DE PUERTO RICO SS-AWILDA RUIZ MILAN, POR LA PRESENTE se le emplaza para que presente al tribunal su alegación responsive dentro de los 30 días de haber sido diligenciado este emplazamiento, excluyéndose el día del diligenciamiento. Usted deberá presentar su alegación responsive a través del Sistema Unificado de Manejo y Administración de Casos (SUMAC), al cual puede acceder utilizando la siguiente dirección electrónica: <https://www.poderjudicial.pr/index.php/tribunal-electronico/>, salvo que el caso sea de un expediente físico o que se represente por derecho propio en cuyo caso deberá presentar su alegación responsive en la Secretaría del Tribunal y notificar copia de la misma al (a) abogado(a) de la parte demandante o a ésta, de no tener representación legal. Si usted desea de presentar su alegación responsive dentro del referido término, el tribunal podrá dictar sentencia en rebeldía en su contra y conceder el remedio solicitado en la demanda, o cualquier otro, si el tribunal, en el ejercicio de su sana discreción, lo entiende procedente. Además, se le apercibe que, en los casos al amparo de la Ley Núm. 57-2023, titulada Ley para la Prevención del Maltrato, Preservación de la Unidad Familiar y para la Seguridad, Bienestar y Protección de los Menores, entre los remedios que el Tribunal podrá conceder se incluyen la ubicación permanente de un (una) menor fuera de su hogar, el inicio de procesos para la privación de patria potestad, y cualquier otra medida

ceder utilizando la siguiente dirección electrónica: <https://www.poderjudicial.pr/index.php/tribunal-electronico/>, salvo que el caso sea de un expediente físico o que se represente por derecho propio en cuyo caso deberá presentar su alegación responsive en la Secretaría del Tribunal y notificar copia de la misma al (a) abogado(a) de la parte demandante o a ésta, de no tener representación legal. Si usted desea de presentar su alegación responsive dentro del referido término, el tribunal podrá dictar sentencia en rebeldía en su contra y conceder el remedio solicitado en la demanda, o cualquier otro, si el tribunal, en el ejercicio de su sana discreción, lo entiende procedente. Además, se le apercibe que, en los casos al amparo de la Ley Núm. 57-2023, titulada Ley para la Prevención del Maltrato, Preservación de la Unidad Familiar y para la Seguridad, Bienestar y Protección de los Menores, entre los remedios que el Tribunal podrá conceder se incluyen la ubicación permanente de un (una) menor fuera de su hogar, el inicio de procesos para la privación de patria potestad, y cualquier otra medida

en el mejor interés del (de la) menor. (Artículo 33, incisos b y f de la Ley Núm. 57-2023). Se le advierte de su derecho a comparecer acompañado(a) de un abogado(a) en los casos que proceda. Atención: Lcdo. Jorge L. Arcocho Rivera Número de RUA: 19149 RRB BOX 1995 PMB 115 Bayamon, P.R. 00956-9825 Tel (939) 232-8537 Email: jorge.l.arcocho@gmail.com Expedido bajo mi firma, y sello del Tribunal, hoy 28 de noviembre de 2023. LCDA. LAURA I. SANTA SANCHEZ SECRETARIA REGIONAL Nombre Secretario(a) Firma Secretario(a) Fecha HERNANDEZ Nombre Sub-Secretario(a) Firma Sub-Secretario(a) Fecha

SS-19192 ESTADO LIBRE ASOCIADO DE PUERTO RICO TRIBUNAL DE PRIMERA INSTANCIA SALA SUPERIOR DE UTUADO

MARIBEL RÍOS RÍOS,
ET ALS
Demandantes

JUAN RIVERA VÉLEZ,
ET ALS
Demandados
CIVIL NÚMERO UT2023CV00456 SOBRE: EXPEDIENTE DE DOMINIO CONTRA DICTO R. O. PRESCRIPCIÓN EXTRAORDINARIA EMPLAZAMIENTO POR EDICTO ESTADOS UNIDOS DE AMERICA EL PRESIDENTE DE LOS ESTADOS UNIDOS EL ESTADO LIBRE ASOCIADO DE PUERTO RICO A: JUAN RIVERA VÉLEZ SUCESIÓN DE JUAN RIVERA VÉLEZ COMPUESTA POR SUS HEREDEROS DESCONOCIDOS I, II, III, IV PERSONA CON INTERÉS EN EL INMUEBLE O QUE SU DERECHO PUEDA VERSE AFECTADO DENOMINADA A.B.C.D. DEMANDADOS DESCONOCIDOS X.Y.Z PERSONAS IGNORADAS O DESCONOCIDAS A QUIENES PUEDIERA PERJUDICAR LA INSCRIPCIÓN DEL DOMINIO A FAVOR DE LA PARTE PETICIONARIA EN EL REGISTRO DE LA PROPIEDAD DE LA FINCA QUE MAS ADELANTE SE DESCRIBIRÁ Y A TODA

PERSONA EN GENERAL QUE CON DERECHO PARA ELLO DESEE OPONERSE A ESTE EXPEDIENTE El Tribunal Superior de Puerto Rico, Sala Superior de Utuado, dictó la siguiente providencia: "Visto la Moción Sobre Autorización para Diligenciar Emplazamientos por Edicto al Amparo de la Regla 4.6 de Procedimiento Civil, presentada por la Parte Demandante el 27 de diciembre de 2023, el Tribunal ordena el emplazamiento por edicto de (a) Juan Rivera Vélez, (b) la Sucesión de Juan Rivera Vélez compuesta por herederos desconocidos I, II, III y IV, (c) personas con interés en el inmueble o cuyo derecho puede verse afectado por la solicitud de remedio denominados como A, B, C y D, (d) Demandados desconocidos X, Y y Z y (e) Personas ignoradas o desconocidas a quienes pudiera perjudicar la solicitud de remedio y toda persona en general que con derecho a ello desee oponerse a la solicitud de remedio. El edicto así expedido deberá publicarse una sola vez en un periódico de circulación diaria general en la isla de Puerto Rico. Mediante la presente Orden, se exime al de-

mandante de notificar el emplazamiento por edicto dentro de los 10 días de su publicación a dirección postal o física conocida, toda vez que se desconoce la misma y se le ha demostrado a satisfacción al Tribunal los esfuerzos razonables realizados para conseguir la misma y que los mismos han resultado infructuosos. Se ordena a la Secretaría del Tribunal expedir el emplazamiento por edicto correspondiente. Se le emplaza y se le requiere que presente su alegación responsive a la Demanda presentada dentro de los treinta (30) días siguientes a la publicación de este edicto, que se publicará una (1) vez en un periódico de circulación general del Estado Libre Asociado de Puerto Rico, por Orden del Tribunal Superior de Puerto Rico, notificando copia de la misma al abogado de la Parte Demandante o a ésta, de no tener representación legal. Usted deberá presentar su alegación responsive a través del Sistema Unificado de Administración y Manejo de Casos electrónico (SUMAC), a la cual puede acceder utilizando la siguiente dirección <https://unired.ramajudicial.pr>, salvo que se represente por derecho propio, en cuyo caso deberá presentar su alegación responsive en la Secretaría del Tribunal. Si usted deja de

cial.pr, salvo que se represente por derecho propio, en cuyo caso deberá presentar su alegación responsive en la Secretaría del Tribunal. Si usted deja de presentar su alegación responsive dentro del referido término, el tribunal podrá dictar sentencia en rebeldía en su contra, ello sin más citarle ni oírle. La Parte Demandante está siendo representada por la Lcda. Belmar Vélez Plaza Apartado 1006 Adjuntas, Puerto Rico 00601-1006 Tel/Fax (787) 829-5580 bvelezplaza@gmail.com Expedido bajo mi firma y el sello del Tribunal para su publicación, en Utuado, Puerto Rico, hoy día 16 de enero de 2024. DIANE ALVAREZ VILLANUEVA SECRETARIA REGIONAL FIRMADA SECRETARIA AUXILIAR DEL TRIBUNAL

SS-19206 ESTADO LIBRE ASOCIADO DE PUERTO RICO TRIBUNAL DE PRIMERA INSTANCIA REGION JUDICIAL DE BAYAMON SALA DEL TRIBUNAL SUPERIOR DE BAYAMON
JAVIER TIRADO MANZANO
Parte Demandante

VS.
SUCS. RAUL TIRADO GRACIA ET. ALS.
SOBRE: DIVISION HERENCIA SALA EMPLAZAMIENTO POR EDICTO CIVIL NÚM. BY2023CV05529 ESTADOS UNIDOS DE AMERICA EL PRESIDENTE DE LOS ESTADOS UNIDOS EL ESTADO LIBRE ASOCIADO DE PUERTO RICO A: MARIA DE LOS ANGELES TIRADO MANZANO Calle Méndez Vigo # 316 Dorado, P.R. 00646 POR LA PRESENTE, se le emplaza para que presente al Tribunal su alegación responsive dentro de los 30 días de haber sido diligenciado este emplazamiento, excluyéndose el día del diligenciamiento. Usted deberá presentar su alegación responsive a través del Sistema Unificado de Manejo y Administración de Casos (SUMAC), al cual puede acceder utilizando la siguiente dirección electrónica: <https://unired.ramajudicial.pr>, salvo que se represente por derecho propio, en cuyo caso deberá presentar su alegación responsive en la Secretaría del Tribunal. Si usted deja de



aviso público

Aviso Preliminar y Revisión Pública de una Actividad Propuesta en un valle inundable de 100 años y humedal

Área Recreativa Parquecito del Lago de Levittown
PR-CRP-001002

Para: Todas las partes interesadas, grupos e individuos

Este aviso notifica que el Departamento de la Vivienda de Puerto Rico (Vivienda, en adelante) ha determinado que la siguiente acción propuesta bajo el Programa de Revitalización de la Ciudad, Subvención en Bloque para el Desarrollo Comunitario - Recuperación ante Desastres (CDBG-DR), número de subvención B-17-DM-72-0001 y B-18-DP-72-0001, se encuentra en un valle inundable de 100 años y humedal. Vivienda estará evaluando e identificando alternativas prácticas para realizar la acción propuesta y el impacto potencial en el valle inundable y humedal debido a la acción propuesta, según establecido por la Orden Ejecutiva 11988/11990, de acuerdo con las regulaciones de HUD en 24 CFR 552.0 Subparte C - Procedimientos para tomar determinaciones sobre el manejo de llanuras aluviales y la protección de humedales. El proyecto propuesto, **PR-CRP-001002**, se encuentra dentro de un municipio que sufrió daños debido a los huracanes Irma y María, y está localizado en el boulevard de Levittown, Levittown, barrio Sabana Seca, Toa Baja, PR 00949; coordenadas 18.46100, -66.18855. El objetivo del proyecto es el rediseño y reconstrucción de un área recreativa existente a orillas del Lago de Levittown, un cuerpo de agua artificial construido como el principal sistema de drenaje de aguas pluviales para el desarrollo residencial de Levittown, en Toa Baja, Puerto Rico. La actividad incluye la demolición de una losa de concreto y construcción de nuevas veredas, gimnasio al aire libre, plataforma de madera, estacionamiento de material permeable, mejoras a las aceras, y nuevos jardines. Parte de la actividad consistirá de la estabilización de la costa que delimita el parque con las aguas del lago, la cual es clasificada como humedal (EIUBLX). La actividad tendrá funciones naturales y beneficiosas al valle inundable y humedal, tal como almacenaje y descarga de aguas de escorrentía, control de erosión y hábitat para flora y fauna, y beneficiará los valores recreacionales del área. La actividad propuesta está situada en una zona de inundación A con cabida de 1.49 acres. El valle inundable se puede encontrar en el mapa de niveles de inundación base (ABFE, por sus siglas en inglés), cómo se indica en el Nivel de Inundación Base Recomendado para Puerto Rico de FEMA en Puerto Rico Advisory Base Flood Elevations (ABFE's) | FEMA Region II Hub (arcgis.com). El humedal en el área del proyecto se puede encontrar en el Inventario Nacional de Humedales en <https://fwsprimary.wim.usgs.gov/wetlands/apps/wetlands-mapper/>.

Este aviso tiene tres propósitos principales. En primer lugar, las personas que puedan verse afectadas por las actividades en el valle inundable/humedal y aquellos que tengan interés en la protección del ambiente natural deben tener la oportunidad de expresar sus inquietudes y proveer información sobre estas áreas. Se exhorta a la comunidad a ofrecer ubicaciones alternas fuera del valle inundable/humedal, métodos alternos para cumplir el mismo propósito del proyecto y métodos para minimizar y mitigar los impactos. Segundo, un programa adecuado de avisos públicos puede ser una herramienta importante para la educación pública. La divulgación de información sobre el valle inundable/humedal puede facilitar y mejorar los esfuerzos federales por reducir los riesgos e impactos asociados con la ocupación y alteración de estas zonas especiales. Tercero, como materia de justicia, cuando el gobierno federal determine participar en acciones ubicadas en el valle inundable/humedal, debe informárselo a quienes puedan ser expuestos a un riesgo mayor o similar al presente.

Vivienda considerará todos los comentarios recibidos en o antes de 9 de febrero de 2024. Pueden enviar los comentarios de forma impresa a la siguiente dirección: Departamento de la Vivienda de Puerto Rico, edificio Juan C. Cordero Dávila, 606 avenida Barbosa, Río Piedras, PR 00918-8461, Atención: Sally Z. Acevedo-Cosme, Especialista en Permisos y Cumplimiento Ambiental. Una descripción completa del proyecto está disponible al público para revisión de 8:30 a.m. a 4:00 p.m. en el Departamento de la Vivienda de Puerto Rico, edificio Juan C. Cordero Dávila, 606 avenida Barbosa, Río Piedras, PR 00918. El número para obtener información es (787) 274-2527 ext. 4320. Como alternativa, también pueden enviar los comentarios a Vivienda por medio electrónico a environmentcdbg@vivienda.pr.gov.

Fecha: 25 de enero de 2024


Lcdo. William O. Rodríguez Rodríguez
Secretario del Departamento de la Vivienda

Authorized por la Oficina del Contralor Electoral OCE-SA-2023-00076



public notice

Early Notice and Public Review of a Proposed Activity in the 100-Year Floodplain and Wetland

Levittown Lake Park Recreation Area
PR-CRP-001002

To: All Interested Parties, Groups & Individuals

This is to give notice that the Puerto Rico Department of Housing (PRDOH) has determined that the following proposed action under the Community Development Block Grant - Disaster Recovery (CDBG-DR), City Revitalization Program, Grant number B-17-DM-72-0001 and B-18-DP-72-0001, is located in a 100-year floodplain and wetland. PRDOH will be identifying and evaluating practicable alternatives to locating the action in the floodplain and wetland, and the potential impacts on the floodplain and wetland from the proposed action, as required by Executive Order 11988/11990, in accordance with HUD regulations at 24 CFR 552.0 Subpart C - Procedures for Making Determinations on Floodplain Management and Protection of Wetlands. The proposed project, **PR-CRP-001002**, is within a municipality with structures damaged by Hurricanes Irma and María, and it is located at the Levittown Boulevard, Levittown, Sabana Seca Ward, Toa Baja, PR 00949; coordinates 18.46100, -66.18855. The objective of the project is the redesign and reconstruction of an existing recreational area on the shores of the Levittown Lake, an artificial body of water built as the main stormwater drainage system for the Levittown Residential Development, in Toa Baja, Puerto Rico. The activity includes the demolition of a concrete slab and construction of new sidewalks, an outdoor gym, a wooden platform, a permeable material parking lot, sidewalk improvements, and new gardens. Part of the activity will consist of the stabilization of the coast that delimits the park with the waters of the lake, which is classified as a wetland (EIUBLX). The activity will have natural and beneficial functions to the floodplain and wetland, such as storage and discharge of runoff water, erosion control and habitat for flora and fauna, and will benefit the recreational values of the area. The proposed activity is situated in a flood zone A with dimensions of 1.49 acres. The floodplain in the project area can be found at the Advisory Base Flood Elevation Map (ABFE), as indicated on the FEMA Advisory Base Flood Elevation for Puerto Rico to Puerto Rico Advisory Base Flood Elevations (ABFE's) | FEMA Region II Hub (arcgis.com). The wetland in the project area can be found at National Wetlands Inventory at <https://fwsprimary.wim.usgs.gov/wetlands/apps/wetlands-mapper/>.

There are three primary purposes for this notice. First, people who may be affected by activities in the floodplain/wetland and those who have an interest in the protection of the natural environment should be given an opportunity to express their concerns and provide information about these areas. Commenters are encouraged to offer alternative sites outside of the floodplain/wetland, alternative methods to serve the same project purpose, and methods to minimize and mitigate impacts. Second, an adequate public notice program can be an important public educational tool. The dissemination of information and request for public comment about the floodplain/wetland can facilitate and enhance Federal efforts to reduce the risks and impacts associated with the occupancy and modification of these special areas. Third, as a matter of fairness, when the Federal government determines it will participate in actions taking place in the floodplain/wetland, it must inform those who may be put at greater or continued risk.

PRDOH will consider all comments received on or before February 9, 2024. Written comments can be sent to the following address: Puerto Rico Department of Housing, 606 Barbosa Avenue, Juan C. Cordero Dávila Building, Río Piedras, PR 00918-8461, Attention: Sally Z. Acevedo-Cosme, Permits and Environmental Compliance Specialist. A complete description of the project is available to the public for review from 8:30 am to 4:00 pm at the Puerto Rico Department of Housing, 606 Barbosa Avenue, Juan C. Cordero Dávila Building, Río Piedras, PR 00918. The number to get information is (787) 274-2527 ext. 4320. In the alternative, comments may also be sent to PRDOH by email at environmentcdbg@vivienda.pr.gov.

Date: January 25, 2024


William O. Rodríguez Rodríguez, Esq.
Secretary of the Department of Housing

Authorized by the Office of the Electoral Comptroller OCE-SA-2023-00076

Andrea Curbelo-Marty

From: Kenneth M. Garcia-De Leon
Sent: Monday, February 12, 2024 12:08 PM
To: environmentcdbg
Subject: RE: Comentarios - Aviso Preliminar PR-CRP-001002

Buenos días:

Por correo postal no llegaron comentarios para mencionado proyecto.

Atentamente,

Kenneth M. García De León

Especialista en Control de Documentos / Operaciones

Oficina Recuperación de Desastres

kgarcia@vivienda.pr.gov | 787.274.2527 Ext. 4013

Visítanos: recuperacion.pr.gov

Contactanos: infocdbg@vivienda.pr.gov

DEPARTAMENTO DE LA
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From: environmentcdbg <environmentcdbg@vivienda.pr.gov>
Sent: Monday, February 12, 2024 10:52 AM
To: Kenneth M. Garcia-De Leon <kgarcia@vivienda.pr.gov>
Subject: Comentarios - Aviso Preliminar PR-CRP-001002

Saludos Kenneth,

Con respecto a la publicación del Aviso Preliminar y Revisión Pública de una Actividad Propuesta en un valle inundable de 100 años y humedal (Paso 2) para el proyecto **Área Recreativa Parquecito del Lago de Levittown (PR-CRP-001002)**, ¿habrá llegado algún comentario a través del correo postal? De ser así, por favor nos lo hace llegar.

Cordialmente,

Permits and Environmental Compliance Division

Disaster Recovery Office

environmentcdbg@vivienda.pr.gov | 787.274.2527

Visit us: recuperacion.pr.gov

Contact us: infocdbg@vivienda.pr.gov

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February 12, 2024

To whom it may concern,

This letter is to validate that no comments were received in the Permits and Environmental Compliance Division e-mail: environmentcdbg@vivienda.pr.gov, for the project *Área Recreativa Parquecito del Lago de Levittown* (PR-CRP-001002), as part of the CDBG-DR City Revitalization Program. The Early Notice and Public Review of a Proposed Activity in a 100-Year Floodplain and Wetland was published in the *El Vocero* newspaper of Puerto Rico on January 25, 2024, with a comment period that concluded on February 9, 2024.

Cordially,

Permits and Environmental Compliance Division
Disaster Recovery Office
environmentcdbg@vivienda.pr.gov | 787.274.2527 ext. 4320

**Attachment 2 – Final Notice Publication (Step 7) and “no comment”
Confirmation Letter**

From: environmentcdbg
To: Jose.A.CedenoMaldonado@hud.gov; Mahon.Donna.M; Caribbean_es@fws.gov; Tawes.Robert; Rodriguez.elias@epa.gov; Guerrero.carmen@epa.gov; PublicMail.CESAJ-CC@usace.army.mil; Rich.Okulski@noaa.gov; Noah.Silverman@noaa.gov; nmfs.ser.esa.consultations@noaa.gov; FEMA-R4EHP@fema.dhs.gov; carubio@prshpo.pr.gov; comunicaciones@ddec.pr.gov; secretario@ddec.pr.gov; jannira.colon@ddec.pr.gov; Rivera_r1@jp.pr.gov; comentarios@jp.pr.gov; pmzc@drna.pr.gov; eortega@drna.pr.gov; ayudaciudadano@drna.pr.gov; anais.rodriquez@drna.pr.gov
Subject: Public Notice – Final Notice and Public Explanation of a Proposed Activity in a 100-Year Floodplain and Wetland_PRDOH Case PR-CRP-001002
Date: Tuesday, June 18, 2024 3:52:00 PM
Attachments: [Final Notice Primera Hora PR-CRP-001002.pdf](#)
[image003.png](#)

Concerned agencies,

Enclosed please find a **Public Notice – Final Notice and Public Explanation of a Proposed Activity in a 100-Year Floodplain and Wetland** the Puerto Rico Department of Housing (as the Responsible Entity) published as part of HUD's requirements for the release of CDBG-DR funds to undertake the project *Área Recreativa Parquecito del Lago de Levittown* (PR-CRP-001002). The Final Notice was published in the *Primera Hora* newspaper of Puerto Rico on June 18, 2024.

Respectfully,

Permits and Environmental Compliance Division

Disaster Recovery Office

environmentcdbg@vivienda.pr.gov | 787.274.2527

Visit us: recuperacion.pr.gov


Contact us: infocdbg@vivienda.pr.gov

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GOBIERNO DE PUERTO RICO

Departamento de Recursos Naturales y Ambientales

AVISO PÚBLICO

VISTA PÚBLICA SOBRE INTENCIÓN DE EMITIR CERTIFICADO DE CALIDAD DE AGUA

COE NÚM. SAJ-1988-00613 (SP-CGR)

SOLICITUD DE PERMISO CONJUNTA JPA-1787

El Departamento de Recursos Naturales y Ambientales (DRNA), ha recibido una petición de Certificado de Calidad de Agua (CCA) de *Aerostar Airport Holdings, LLC*, para las descargas de material de relleno, y realizar actividades de dragado en aguas de los Estados Unidos incluyendo humedales asociados a la Laguna La Torrecilla como parte del proyecto *SIU Runway 8-26 Object Free Area Clearing and Airfield Drainage Improvements* en el Aeropuerto Internacional Luis Muñoz Marín (AILMM) en el Municipio de Carolina, conforme a las disposiciones de la Sección 401 de la Ley Federal de Agua Limpia (en adelante *CWA*, por sus siglas en inglés), según enmendada (33 U.S.C. 466 *et seq.*). La antes mencionada ley requiere que antes de que alguna agencia federal, en este caso el Cuerpo de Ingenieros del Ejército de los Estados Unidos, pueda expedir un permiso bajo la Sección 404 del *CWA*, se obtenga un CCA de la agencia estatal que tenga jurisdicción sobre el control de la contaminación de las aguas. En Puerto Rico dicha responsabilidad recae sobre el DRNA como sucesor de la Junta de Calidad Ambiental, luego de promulgado el “Plan de Reorganización del Departamento de Recursos Naturales y Ambientales de 2018”, Ley Núm. 171-2018.

La Sección 401(a)(1) del *CWA* requiere que se provea participación pública sobre las solicitudes de CCA recibidas, por lo que el 19 de abril de 2024, se publicó un aviso en un periódico de amplia circulación en Puerto Rico notificando la intención del DRNA de emitir el CCA solicitado y concediendo un periodo de 30 días para que cualquier parte interesada presentara comentarios por escrito o solicitara una vista pública. Durante dicho periodo de participación pública se solicitó una vista pública. El DRNA ha determinado celebrar la vista pública solicitada en la fecha y hora indicadas abajo en el Salón de Vistas Públicas, Piso 4, Edificio de Agencias Ambientales Cruz A. Matos, Ave. Ponce de León 1375, Urbanización San José Industrial Park, San Juan, Puerto Rico.

FECHA: 19 de julio de 2024

HORA: 9:00 A.M.

La vista pública se extenderá mientras haya deponentes presentes. De no haber deponentes presentes una hora después de comenzada la vista, la misma se declarará desierta y los trabajos serán levantados. Cualquier persona que desee comentar sobre la intención del DRNA de emitir el CCA solicitado, deberá comparecer a la vista pública mediante la solicitud de turno a la Oficina de Jueces Administrativos y Oficiales Examinadores del DRNA o remitir sus comentarios por escrito durante los próximos **(30) treinta días** a partir de la publicación de este aviso a la siguiente dirección electrónica sacosta@drna.pr.gov o por correo a la siguiente dirección:

DEPARTAMENTO DE RECURSOS NATURALES Y AMBIENTALES

SAN JOSÉ INDUSTRIAL PARK

1375 AVE. PONCE DE LEÓN


SAN JUAN, PUERTO RICO 00926

ATENCION: OFICINA DE JUECES ADMINISTRATIVOS Y OFICIALES EXAMINADORES

Los turnos para deponer deberán solicitarse por lo menos con tres (3) días de anticipación a la celebración de la vista pública. Si alguna persona no solicita turno para deponer, podrá deponer después que los deponentes con turno hayan terminado su deposición, de haber tiempo disponible razonable al final de la vista pública. Copia de la solicitud del CCA, borrador del CCA y otros documentos relevantes están disponibles para revisión del público en la Oficina de Jueces Administrativos y Oficiales Examinadores Piso 4, Ala A del Edificio de Agencias Ambientales Cruz A. Matos, ubicado en la dirección antes indicada. Copias de los documentos antes mencionados estarán a la venta de lunes a viernes entre las 8:00 a.m y 4:00 p.m., en la oficina antes mencionada.


En San Juan, Puerto Rico, hoy 12 de junio de 2024.

Autorizado por la Oficina del Contralor Electoral: OCE-SA-2024-09109.



Anaís Rodríguez Vega

Secretaria




Este anuncio se publica conforme a lo requerido por la Ley Núm. 416-2004, según enmendada, conocida como “Ley sobre Política Pública Ambiental”; los reglamentos aprobados a su amparo; y las leyes y reglamentos federales aplicables.

Carr. 8838 Km 6.3 Sector El Cinco, Río Piedras, PR 00926

San José Industrial Park, 1375 Ave Ponce de León, San Juan, PR 00926

787.999.2200 • 787.999.2303 • www.drna.pr.gov



GOBIERNO DE PUERTO RICO

Departamento de Recursos Naturales y Ambientales

aviso público

Aviso Final y Explicación Pública de una Actividad Propuesta en un valle inundable de 100 años y humedal

Área Recreativa Parqucito del Lago de Levittown

PR-CRP-001002

Para: Todas las partes interesadas, grupos e individuos

Este aviso notifica que el Departamento de la Vivienda de Puerto Rico (Vivienda) completó una evaluación según establece la Ordenes Ejecutivas 11988 y 11990, de acuerdo con los reglamentos de HUD en 24 CFR 55.20 Subparte C - Procedimientos para hacer determinaciones sobre el manejo del valle inundable y la protección de humedales. La actividad está subvencionada con fondos del Programa de Revitalización de la Ciudad, Subvención en Bloque para el Desarrollo Comunitario – Recuperación ante Desastres (CDBG-DR), números de subvención B-17-DM-72-0001, B-18-DP-72-0001 y B-19-DP-78-0002. El proyecto propuesto, **PR-CRP-001002**, está localizado en el boulevard de Levittown, Levittown, barrio Sabana Seca, Toa Baja, PR 00949; coordenadas 18.46100, -66.18855. El objetivo del proyecto es el rediseño y reconstrucción de un área recreativa existente a orillas del Lago de Levittown, un cuerpo de agua artificial construido como el principal sistema de drenaje de aguas pluviales para el desarrollo residencial de Levittown, en Toa Baja, Puerto Rico. La actividad incluye la demolición de losas de concreto y construcción de nuevas veredas peatonales, gimnasio al aire libre, plataforma de observación, pequeño muelle para kayaks y embarcaciones no motorizadas, estacionamiento de material permeable, mejoras a las aceras y nuevos jardines. Los trabajos incluyen la estabilización de una pequeña porción de la orilla del lago (aproximadamente 0.007 acres), que está clasificada como humedal estuarino y marino de aguas profundas (EIUBLx). La actividad propuesta ocupará 1.49 acres de un valle inundable de 100 años, zona de inundación A, según en el mapa de niveles de inundación base (ABFE, por sus siglas en inglés), cómo se indica en el Nivel de Inundación Base Recomendado de FEMA para Puerto Rico en Puerto Rico Advisory Base Flood Elevations (ABFE's) | FEMA Region II Hub ([arccgis.com](https://fwsprimary.wim.usgs.gov/wetlands/apps/wetlands-mapper/)). El humedal en el área del proyecto se puede encontrar en el Inventario Nacional de Humedales en <https://fwsprimary.wim.usgs.gov/wetlands/apps/wetlands-mapper/>. La actividad mejorará las funciones naturales y beneficiosas del valle inundable y humedal, tal como el almacenaje y descarga de aguas de escorrentía, control de erosión y nuevo hábitat para flora y fauna, y beneficiará los valores recreativos del área.


Vivienda ha considerado las siguientes alternativas y medidas de mitigación a tomar para minimizar los impactos adversos y restaurar y preservar los valores naturales y beneficiosos: (1) ubicar el proyecto dentro del valle inundable y humedal, (2) ubicar el proyecto fuera del valle inundable y humedal, y (3) no tomar ninguna acción. Las alternativas 2 y 3 no son factibles ya que se determinó que tomar la acción propuesta tendrá los mayores beneficios para los ciudadanos de Toa Baja, y con el fin de proporcionar instalaciones recreativas adecuadas y estéticamente agradables para la recreación y el ocio, la necesidad de hacer que las áreas urbanas sean resilientes mediante la gestión del agua de lluvia, la necesidad de revitalizar las áreas urbanas, la accesibilidad del proyecto a personas de ingresos bajos a moderados (LMI), y la capacidad de minimizar los impactos sobre la salud humana, la propiedad pública y los valores de las llanuras aluviales y los humedales. Las medidas de mitigación del proyecto incluyen la implementación de medidas de control de erosión y sedimentación durante la construcción, la utilización de vegetación paisajística nativa que sea resiliente a los eventos climáticos, la estabilización de las orillas del lago y las superficies del parque, el mantenimiento de superficies permeables y la adición de una superficie permeable (nuevo estacionamiento) que permiten la percolación del agua.

Vivienda reevaluó las alternativas para construir en el valle inundable y humedal y determinó que no cuenta con alternativas prácticas a la acción propuesta. La documentación ambiental que evidencia el cumplimiento de los pasos 3 a 6 de la Orden Ejecutiva 11988 y 11990 está disponible para inspección, revisión y reproducción de parte del público, de ser solicitada, en el horario y lugar indicado en el último párrafo sobre recibo de comentarios de este aviso.

Este aviso tiene tres propósitos principales. Primero, las personas que pueden verse afectadas por actividades en el valle inundable y humedal y aquellos que tengan interés en la protección del ambiente natural deben recibir la oportunidad de expresar sus inquietudes y proveer información sobre estas áreas. Segundo, un programa adecuado de avisos públicos puede ser una importante herramienta de educación pública. La divulgación de información y solicitud de comentarios sobre valle inundables y humedales puede facilitar y mejorar los esfuerzos federales para reducir los riesgos e impactos asociados con la ocupación y alteración de estas áreas especiales. Tercero, como materia de justicia, cuando el gobierno federal determine participar en acciones ubicadas en el valle inundable y humedal, debe informárselo a quienes puedan ser expuestos a un riesgo mayor o similar al presente.

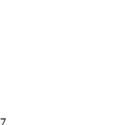
Vivienda considerará todos los comentarios recibidos en o antes del 25 de junio de 2024. Pueden enviar los comentarios de forma impresa a la siguiente dirección: Departamento de la Vivienda de Puerto Rico, edificio Juan C. Cordero Dávila, 606 avenida Barbosa, Río Piedras, PR 00918-8461, Atención: Sally Z. Acevedo-Cosme, Especialista en Permisos y Cumplimiento Ambiental. Una descripción completa del proyecto está disponible al público para revisión de 8:30 a.m. a 4:00 p.m. en el Departamento de la Vivienda de Puerto Rico, edificio Juan C. Cordero Dávila, 606 avenida Barbosa, Río Piedras, PR 00918. El número para obtener información es (787)274-2527 ext. 4320. Como alternativa, también pueden enviar los comentarios a Vivienda por medio electrónico a environmentcdbg@vivienda.pr.gov.

Fecha: 18 de junio de 2024




Lcdo. William O. Rodríguez Rodríguez

Secretario del Departamento de la Vivienda



Autorizado por la Oficina del Contralor Electoral OCE-SA-2023-00076



GOBIERNO DE PUERTO RICO

Departamento de Recursos Naturales y Ambientales

public notice

Final Notice and Public Explanation of a Proposed Activity in a 100-Year Floodplain and Wetland

Área Recreativa Parqucito del Lago de Levittown

PR-CRP-001002

To: All Interested Parties, Groups & Individuals

This is to give notice that the Puerto Rico Department of Housing (PRDOH) has conducted an evaluation as required by the Executive Orders 11988 and 11990, in accordance with HUD regulations at 24 CFR 55.20 Subpart C - Procedures for Making Determinations on Floodplain Management and Wetlands Protection. The activity is funded under the City Revitalization Program, Community Development Block Grant – Disaster Recovery (CDBG-DR), Grant numbers B-17-DM-72-0001, B-18-DP-72-0001 and B-19-DP-78-0002. The proposed project, **PR-CRP-001002**, is located at the Levittown Boulevard, Levittown, Sabana Seca Ward, Toa Baja, PR 00949; coordinates 18.46100, -66.18855. The project's objective is the redesign and reconstruction of the existing recreation area on the shore of Levittown Lake, an artificial body of water built as the main stormwater management facility for the Levittown community, in Toa Baja, Puerto Rico. The proposed activity includes the demolition of existing concrete slabs, construction of new pedestrian paths, outdoor gym, observation platform, small dock for kayaks and non-motorized boats, new permeable-paving parking, improvements to existing sidewalks, and new gardens. The works include the stabilization of a small portion of the lake shore (approximately 0.007 acres), which is classified as an estuarine and marine deepwater wetland (EIUBLx). The proposed activity occupies 1.49 acres of a 100-year floodplain, flood zone A, according to the Advisory Base Flood Elevation Map (ABFE), as indicated on the FEMA Advisory Base Flood Elevation for Puerto Rico at Puerto Rico Advisory Base Flood Elevations (ABFE's) | FEMA Region II Hub ([arccgis.com](https://fwsprimary.wim.usgs.gov/wetlands/apps/wetlands-mapper/)). The wetland in the project area can be found at National Wetlands Inventory at <https://fwsprimary.wim.usgs.gov/wetlands/apps/wetlands-mapper/>. The proposed activity will improve the natural, beneficial functions of the floodplain and wetland, such as stormwater storage and discharge, erosion control, and the creation of new habitat for native flora and fauna; it will also increase the recreational values in the area.


PRDOH has considered the following alternatives and mitigation measures to be taken to minimize adverse impacts, and to restore and preserve natural and beneficial values: (1) locate the project within the floodplain and wetland, (2) locate the project outside of the floodplain and wetland, and (3) take no action. Alternatives 2 and 3 are not feasible as it was determined that taking the proposed action will have the greatest benefits for the citizens of Toa Baja, and in order to provide adequate recreational facilities that are free and accessible to low- and middle-income citizens, and to minimize creation of new impermeable surfaces, the activity should be developed at the proposed location. The project desires to improve citizens' livelihoods by providing adequate and aesthetically pleasing areas for recreation and leisure, the need to make urban areas resilient by managing rainwater, the need to revitalize urban areas, the project's accessibility to low- to moderate-income (LMI), and the ability to minimize impacts on human health, public property, and floodplain and wetland values. The project's mitigation measures include the implementation of erosion and sedimentation control measures during construction, utilization of native landscaping vegetation that is resilient to climate events, stabilization of banks of the lake and park surfaces, maintaining permeable surfaces, and adding a permeable surface (new parking lot) that allow for water percolation.

PRDOH has reevaluated the alternatives to building in the floodplain and wetland and has determined that it has no practicable alternative. Environmental files that document compliance with steps 3 through 6 of Executive Order 11988 and 11990 are available for public inspection, review and copying upon request at the times and location delineated in the last paragraph of this notice for receipt of comments.

There are three primary purposes for this notice. First, people who may be affected by activities in the floodplain and wetland and those who have an interest in the protection of the natural environment should be given an opportunity to express their concerns and provide information about these areas. Second, an adequate public notice program can be an important public education tool. The dissemination of information and request for public comments about floodplains and wetlands can facilitate and enhance Federal efforts to reduce the risks and impacts associated with the occupancy and modification of these special areas. Third, as a matter of fairness, when the Federal government determines it will participate in actions taking place in the floodplain and wetland, it must inform those who may be put at greater or continued risk.

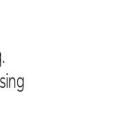
PRDOH will consider all comments received on or before June 25, 2024. Written comments can be sent to the following address: Puerto Rico Department of Housing, 606 Barbosa Avenue, Juan C. Cordero Dávila Building, Río Piedras, PR 00918-8461, Attention: Sally Z. Acevedo-Cosme, Permits and Environmental Compliance Specialist. A complete description of the project is available to the public for review from 8:30 am to 4:00 pm at the Puerto Rico Department of Housing, 606 Barbosa Avenue, Juan C. Cordero Dávila Building, Río Piedras, PR 00918. The number to get information is (787)274-2527 ext. 4320. In the alternative, comments may also be sent to PRDOH by email at environmentcdbg@vivienda.pr.gov.

Date: June 18, 2024




William O. Rodríguez Rodríguez, Esq.

Secretary of the Department of Housing



Authorized by the Office of the Electoral Comptroller OCE-SA-2023-00076

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PRIMERA HORA

Martes, 18 de junio de 2024

9

From: [Kenneth M. Garcia-De Leon](#)
To: [environmentcdbg](#)
Subject: RE: Comentarios - Aviso Final PR-CRP-001002
Date: Wednesday, June 26, 2024 11:40:54 AM
Attachments: [image002.png](#)
[image003.png](#)

Saludos:

Por correo postal no llegaron comentarios para mencionado proyecto.

Cordialmente,

Kenneth M. García De León

Especialista en Control de Documentos / Operaciones

Oficina Recuperación de Desastres

kgarcia@vivienda.pr.gov | 787.274.2527 Ext. 4013

Visítanos: recuperacion.pr.gov

Contactanos: infocdbg@vivienda.pr.gov

DEPARTAMENTO DE LA
VIVIENDA



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From: environmentcdbg <environmentcdbg@vivienda.pr.gov>

Sent: Wednesday, June 26, 2024 11:24 AM

To: Kenneth M. Garcia-De Leon <kgarcia@vivienda.pr.gov>

Subject: Comentarios - Aviso Final PR-CRP-001002

Saludos Kenneth,

Con respecto a la publicación del Aviso Final y Explicación Pública de una Actividad Propuesta en un valle inundable de 100 años y humedal (Paso 7) para el proyecto **Área Recreativa Parquecito del Lago de Levittown (PR-CRP-001002)**, ¿habrá llegado algún comentario a través del correo postal? De ser así, por favor nos lo hace llegar.

Cordialmente,

Permits and Environmental Compliance Division

Disaster Recovery Office

environmentcdbg@vivienda.pr.gov | 787.274.2527

Visit us: recuperacion.pr.gov

Contact us: infocdbg@vivienda.pr.gov

DEPARTAMENTO DE LA
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Validation Letter

June 26, 2024

To whom it may concern,

This letter is to validate that no comments were received in the Permits and Environmental Compliance Division e-mail: environmentcdbg@vivienda.pr.gov, for the project **Área Recreativa Parquecito del Lago de Levittown (PR-CRP-001002)**, as part of the CDBG-DR City Revitalization Program. The Final Notice and Public Explanation of a Proposed Activity in a 100-Year Floodplain and Wetland was published in the *Primera Hora* newspaper of Puerto Rico on June 18, 2024, with a comment period that concluded on June 25, 2024.

Cordially,

Permits and Environmental Compliance Division
Disaster Recovery Office
environmentcdbg@vivienda.pr.gov | 787.274.2527 ext. 4320

ATTACHMENT 6

SHPO Documentation and Site Plans



GOVERNMENT OF PUERTO RICO

STATE HISTORIC PRESERVATION OFFICE

Executive Director | Carlos A. Rubio Cancela | carubio@prshpo.pr.gov

Thursday, January 30, 2025

Lauren B Poche

269 Avenida Ponce de León, San Juan, PR, 00917

SHPO-CF-01-06-25-01 PR-CRP-001002 (Toa Baja) - Área Recreativa Parquecito del Lago de Levittown

Dear Ms. Poche,

Our Office has received and reviewed the above referenced project in accordance with 54 USC 306108 (commonly known as Section 106 of the National Historic Preservation Act, as amended) and 36 CFR Part 800: Protection of Historic Properties from the Advisory Council on Historic Preservation. The State Historic Preservation Officer (SHPO) is to advise and assist federal agencies and other responsible entities when identifying historic properties, assessing effects upon them, and considering alternatives to avoid or reduce the project's effects.

After a review of all the documentation provided, the PRSHPO agrees with your finding that the proposed project will have no adverse effect upon historic properties.

Please note that should the Agency discover any historic properties including archaeological findings at any point during project implementation, you should notify the SHPO immediately. If you have any questions concerning our comments, do not hesitate to contact our Office.

Sincerely,

Carlos A. Rubio Cancela

State Historic Preservation Officer

CARC/GMO/ SG



Cuartel de Ballajá (Tercer Piso), Calle Norzagaray, Esq. Beneficencia, Viejo San Juan, PR 00901 | PO Box 9023935, San Juan, PR 00902-3935



GOVERNMENT OF PUERTO RICO
DEPARTMENT OF HOUSING

April 30, 2024

Arch. Carlos A. Rubio Cancela

Executive Director

Puerto Rico State Historic Preservation Office

Cuartel de Ballajá, Third Floor

San Juan, Puerto Rico 00901

Re: Authorization to Submit Documents for Consultation

Dear Arch. Rubio Cancela,

The U.S. Department of Housing (HUD) approved the allocations of Community Development Block Grant (CDBG-DR) funds on February 9, 2018. It also approved the allocation of Community Development Block Grant Mitigation (CDBG-MIT) funds on January 27, 2020. The purpose of these allocations is to address unsatisfied needs as a result of Hurricanes Irma and Maria in September 2017; and to carry out strategic and high-impact activities to mitigate disaster risks and reduce future losses.

To comply with the environmental requirements established by HUD, the Department of Housing of Puerto Rico (PRDOH) contracted Horne Federal LLC to provide environmental review services, among others, that will support the objectives of the agenda for both CDBG-DR and CDBG -MIT Programs.

To expedite the processes, Horne Federal LLC, is authorized to submit to the State Historic Preservation Officer, documentation of projects related to both the CDBG-DR and CDBG-MIT on behalf of PRDOH.

Cordially,

Aldo A. Rivera Vázquez, PE

Director

Division of Environmental Permitting and Compliance

Office of Disaster Recovery

1/6/2025

Carlos A. Rubio Cancela
State Historic Preservation Officer
Puerto Rico State Historic Preservation Office
Cuartel de Ballajá (Tercer Piso)
San Juan, PR 00902-3935

Puerto Rico Disaster Recovery, CDBG-DR City Revitalization (City-Rev) Program

Section 106 NHPA Effect Determination Submittal for PR-CRP-001002, Área Recreativa Parquecito del Lago de Levittown, Toa Baja, Puerto Rico – No Adverse Effect

Dear Architect Rubio Cancela,

On February 9, 2018, an allocation of Community Development Block Grant - Disaster Recovery (CDBG-DR) funds was approved by the United States Department of Housing and Urban Development (HUD) under the Federal Register Volume 83, No. 28, 83 FR 5844, to assist the Commonwealth of Puerto Rico in meeting unmet needs in the wake of Hurricanes Irma and Maria. On August 14, 2018, an additional \$8.22 billion recovery allocation was allocated to Puerto Rico under the Federal Register Volume 83, No. 157, 83 FR 40314. With these funding allocations, the Puerto Rico Department of Housing (PRDOH) aims to lead a comprehensive and transparent recovery for the benefit of Puerto Rico residents. To faithfully comply with HUD's environmental requirements, PRDOH contracted Horne Federal, LLC (HORNE) to provide environmental records review services that will support their objectives for the CDBG-DR funds.

On behalf of PRDOH, HORNE is submitting documentation for the Área Recreativa Parquecito del Lago de Levittown project. The Municipality of Toa Baja proposes the re-design and reconstruction of an existing recreational area on the shores of Levittown Lakes. The project will include remodeling of a concrete structure and creation of a lower deck for a water sports area; a new gazebo with a pergola will replace the existing concrete gazebo; new access from PR-868 and new parking area; an outdoor exercise area; a contemplation

area around the existing large Ficus tree; a new playground; a small open plaza will be created at the southern end of the park to display a historical train engine; and a central lawn, pedestrian paths planting and lighting. The full scope of the project is described in the submitted documentation, which includes mapping, photographs, and the 60% design development plans.

Based on the provided documentation, the Program requests a concurrence with a determination that **no adverse effect** to historic properties is appropriate for this undertaking.

If you have any questions or concerns, please contact me by email at lauren.poche@horne.com or phone at 225-405-7676.

Kindest regards,



Lauren Bair Poche. M.A.

Architectural Historian, EHP Senior Manager
LBP/KPS


Attachments

PR-CRP-001002

**Área Recreativa Parquecito del Lago de
Levittown Project**

Toa Baja, Puerto Rico

Section 106 Effect Determination Form

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	 GOVERNMENT OF PUERTO RICO DEPARTMENT OF HOUSING
Subrecipient: Autonomous Municipality of Toa Baja	
Project Name: Área Recreativa Parquecito del Lago de Levittown (Levittown Lakes Park Recreational Area)	
Project Number: PR-CRP-001002	

Project Location: Boulevard de Levittown y el lago de Levittown. Lagos de Levittown, Levittown Boulevard, Sabana Seca, Toa Baja, 00949	
Project Coordinates: X: 225850, Y: 269500 (Lat: 18.461184, Lon: -66.188740)	
TPID (Número de Catastro): 038-020-214-23-000 & 038-020-214-24-000	
Type of Undertaking: <input checked="" type="checkbox"/> Substantial Repair <input type="checkbox"/> New Construction	
Construction Date (AH est.): c. 1968	Property Size (acres): 1.49

SOI-Qualified Architect/Architectural Historian: Karen J. Cuadro Esteves, M.Arch, SOI
Date Reviewed: Oct.-Dec. 2023 / Dec 2024
SOI-Qualified Archaeologist: Tamara González Vega, MA, SOI y Adalberto Maurás Casillas, MA, SOI
Date Reviewed: Oct.-Dec. 2023 / Dec 2024

In compliance with Section 106 of the National Historic Preservation Act (NHPA), the Program is responsible for identifying historic properties listed in the NRHP and any properties not listed that would be considered eligible for listing that are located within the geographic area of potential effects (APE) of the proposed project and assessing the potential effects of its undertakings on these historic properties. It has been determined by the SOI-qualified professionals that the project undertaking does not conform to Stipulation II.A (Project Review – Programmatic Allowances) of the Section 106 Programmatic Agreement (PA) among FEMA, SHPO and COR3, as amended (May 3, 2023).

Project Description (Undertaking)

The Municipality of Toa Baja in its recovery efforts after the impact of hurricanes Irma and María proposed the **redesign of Levittown Lake Park intended to address the community's** needs for recreational spaces and help them maintain an active lifestyle while in contact with nature. The Levittown Lake Park Recreational Area project (CDBG-DR CRP-001002) entails the re-design and reconstruction of an existing recreational area on the shores of Levittown Lakes, an artificial body of water constructed in 1963 as the main stormwater drainage system for the Levittown Development, in Toa Baja, Puerto Rico.

Site Characteristics

The park site occupies 6,046.89 square meters on the northeastern corner of Levittown Lake, along Levittown Boulevard (road PR-868), 170 meters south of its intersection with road PR-165. Its center coordinates are: 18.46100 N, 66.18855 W (State Plane X: 225850, Y: 269500). The land is registered under two cadastral numbers: 038-020-214-23-000 and 038-020-214-24-000. The site is essentially flat with elevations ranging from 2.82 m above sea level to sea level. The park has a main area approximately 178 meters by 30 meters, and a 36 m by 27 m concrete platform extending from it into the water. Most of the park is currently covered by bare soil and grasses, a few concrete slabs from previous structures, a few trees, and a concrete gazebo on the concrete platform. The entire site is in an AE flood zone, as per FEMA FIRM panel 72000C0330J (A flood zone in the FEMA Advisory Maps), with a base flood elevation of 2.1 meters. (Figure 01).

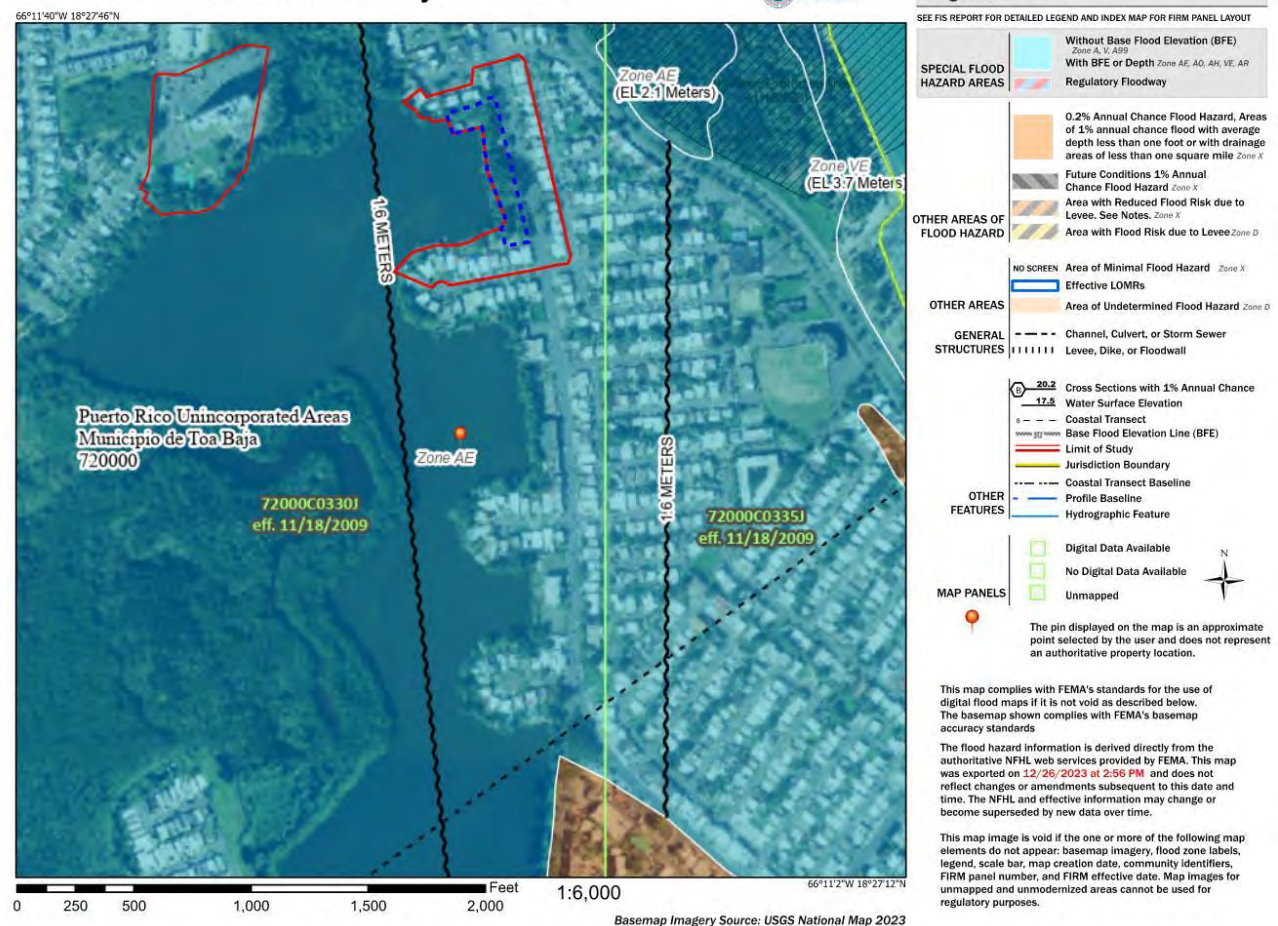
Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Figure 01: FEMA FIRMette¹

National Flood Hazard Layer FIRMette



Levittown Lake, even though is an artificial body of water, is considered to be an estuarine "interior waters," where the tides are sensible but with a reduced oscillation (less than 1 foot). Therefore, they are "waters of the United States", and its shores are part of the Puerto Rico maritime-terrestrial zone. A comprehensive hydrological and water quality study of Levittown Lake was done by the US Geological Survey (USGS Scientific Investigations Report 2022-5096). The report shows that recurrent anoxic conditions affect these waters, perhaps the result of the engineering design of the lake, with a high mean-depth to surface area ratio.

¹ <https://msc.fema.gov/portal/home>



Subrecipient: Autonomous Municipality of Toa Baja

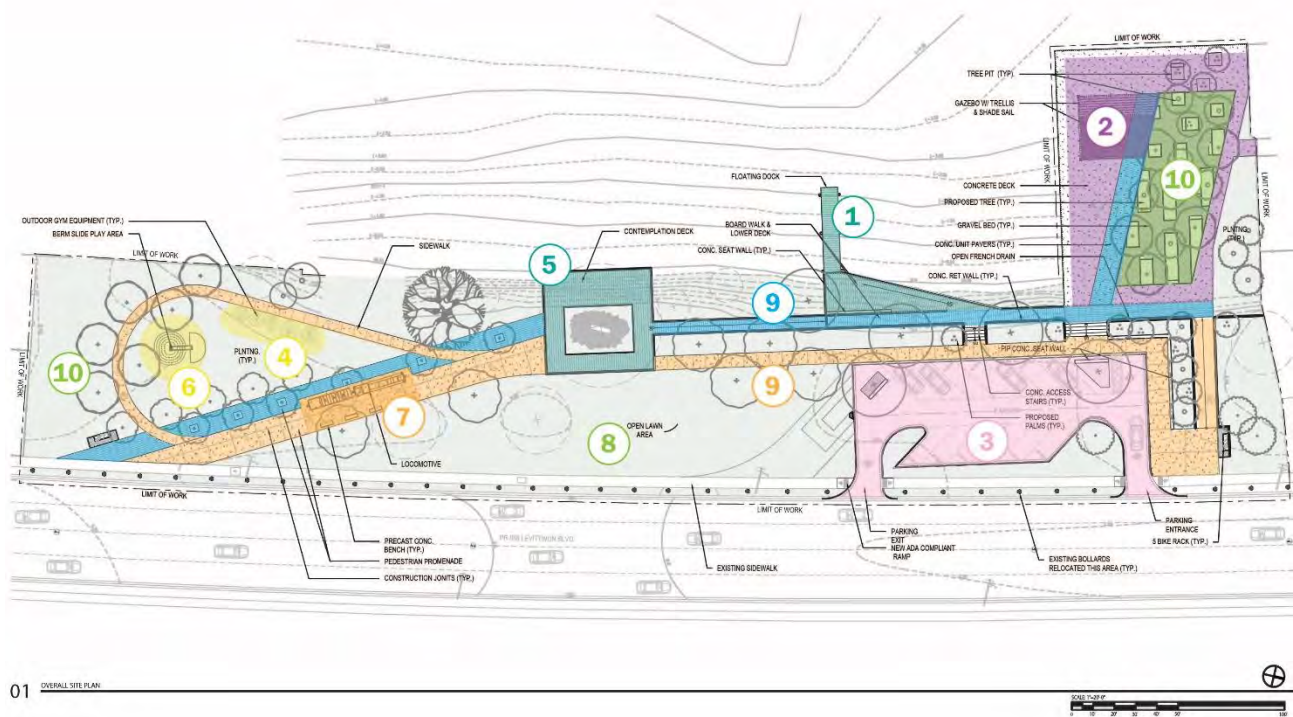
Project Name: Área Recreativa Parquecito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Proposed Project

The program and design elements incorporated in the plans strive to improve environmental conditions at the lake shore, while providing new recreational opportunities for the citizens of Toa Baja and Puerto Rico. The main program elements of the park are as follows (Figure 02) an overview of project scope can be also appreciated in Figure 12:

Figure 02: Levittown Lakes Park programmatic floor plan. (Refer to the next page for a bigger image.)





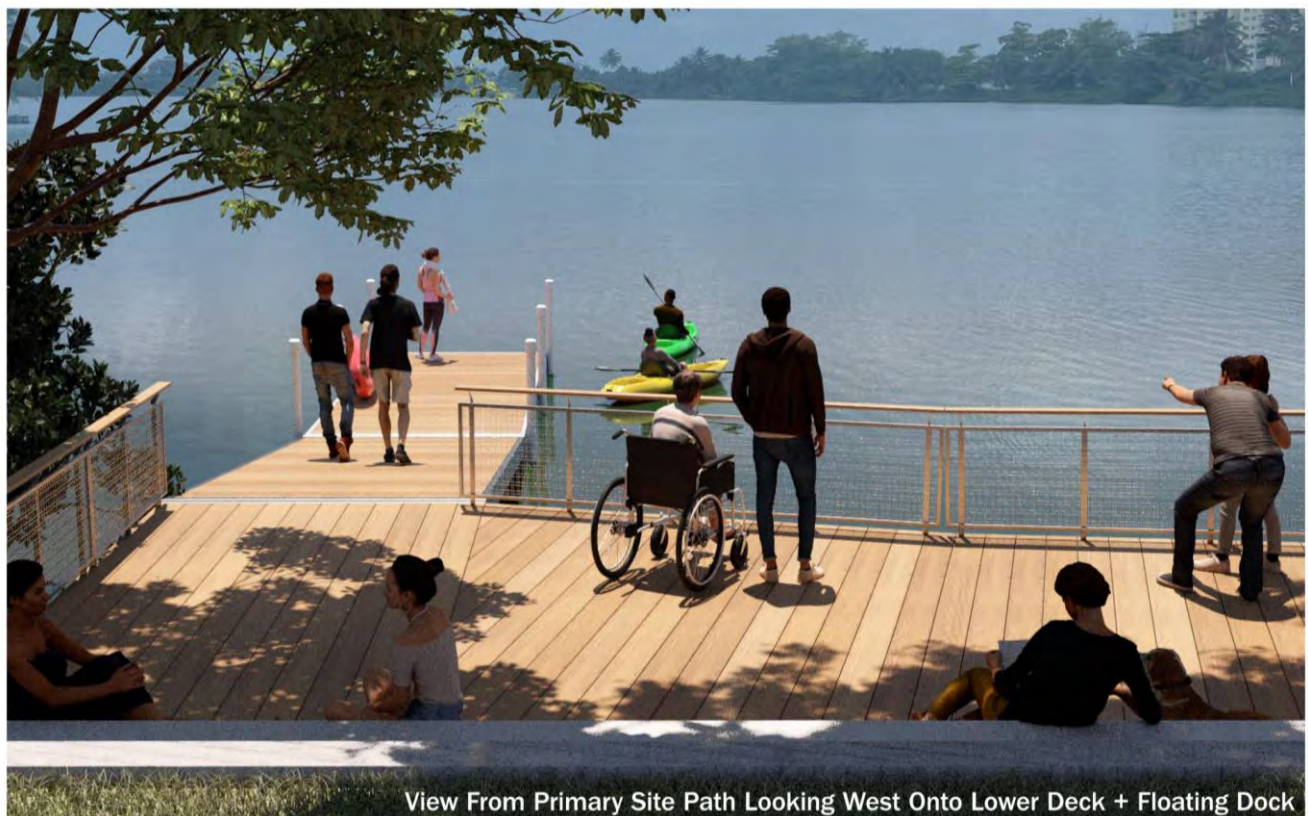
Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquecito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

1. Water Sports Area – Remodel of the concrete structure that gives direct access to the water and the creation of a lower deck within the existing footprint of the structure. The lower deck is intended to allow the launching of kayaks and other non-motorized watercraft. The Water Sports Area (WSA), as well as all areas of the park, will be universally accessible. The WSA will include planters, ramps, stairs, a new gazebo, and new finishes. New stairs and ramps will connect this area with the rest of the park. (Figure 03)

Figure 03: Proposed design 3D view of the Water Sports Area.



Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquecito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

2. Gazebo – A new gazebo with a pergola will replace the existing concrete gazebo, which is a safety hazard due to significant corrosion of the rebar inside its columns and roof slab, and the subsoil conditions that need to be mitigated. The new gazebo will be a lightweight steel structure next to a new planting and bench area. The existing gazebo (Figure 04) from the 1960s is going to be demolished along with the concrete slab. Although original to the construction of the park, the structure is not considered a historic element with architectural or engineering significance. Even though the structure itself is not considered historic, the element of having a gazebo is a character defining feature to the park as an accessory structure and part of its visual identity. It is for this reason that we are proposing a new one that will be code compliant, accessible, and safe. (Figure 05-06)

Figure 04: Existing gazebo, structural damage can be noticed².



² Photo looking south, date: October 12, 2023.

Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquecito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Figure 05: Proposed design 3D top view of the gazebo area.



Figure 06: Proposed design 3D view of the gazebo area.



Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquecito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

3. New Access and Parking Lot – A new access from road PR-868 and a new parking area will be constructed. The parking area will be constructed with permeable pavement and provide 14 parking spaces, one of them for handicapped persons. The parking area and other areas within the park will include rain gardens and other green infrastructure elements to handle stormwater.
4. Outdoor Exercise Area – An outdoor gym area, with outdoor exercise equipment, will be created along the lake. This area will have special paving intended for outdoor play and exercise activities.
5. Big Tree Contemplation Area – A contemplation area around the existing large Ficus tree will be created with a new deck overlooking the lake. The deck will cantilever towards the water but will be supported by deck columns driven into the upland portion of the lake shore. The contemplation area will include benches and other public space furnishings. (Figure 07)

Figure 07: Proposed design 3D view of the Big Tree Contemplation Area.





Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquecito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

6. Playground – A new playground will be built in the southern portion of the park. A concrete pad with special cushion-like topping will support playground equipment for children. (Figure 08)

Figure 08: Proposed design 3D view of the Playground area.



Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquecito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

7. Historical Train Engine Plaza – A small open plaza will be created at the southern end of the park to display a historical train engine associated with Puerto Rico's sugar industry of the 19th and early 20th century and the Levittown development. The plaza will include benches and other public space furnishings. (Figure 09)

Figure 09: Proposed design 3D view of the Historical Train Engine Plaza



8. Central Lawn – A central lawn area for multiple uses will be created near the center of the park.

Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquecito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

9. Pedestrian Paths – The park will include a new hardscape and pedestrian paths. Pedestrian paths will include various finishes, like concrete, pavers, and gravel. The park will also include benches, trash receptacles, and solar light poles, in addition to the outdoor exercise and playground equipment mentioned above. (Figure 10).

Figure 10: Proposed design 3D view of the Pedestrian Paths.



View From Park Entrance Towards Dry Garden

10. Planting – The park will include new plantings throughout, including trees, palms, shrubs, and ground covers. The shoreline will be regraded in some areas to prevent or correct erosion and appropriate aquatic plants added to improve the ecological function of the lake shore. (Figure 11)

Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquecito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Figure 11: Proposed design 3D view of the Planting areas.



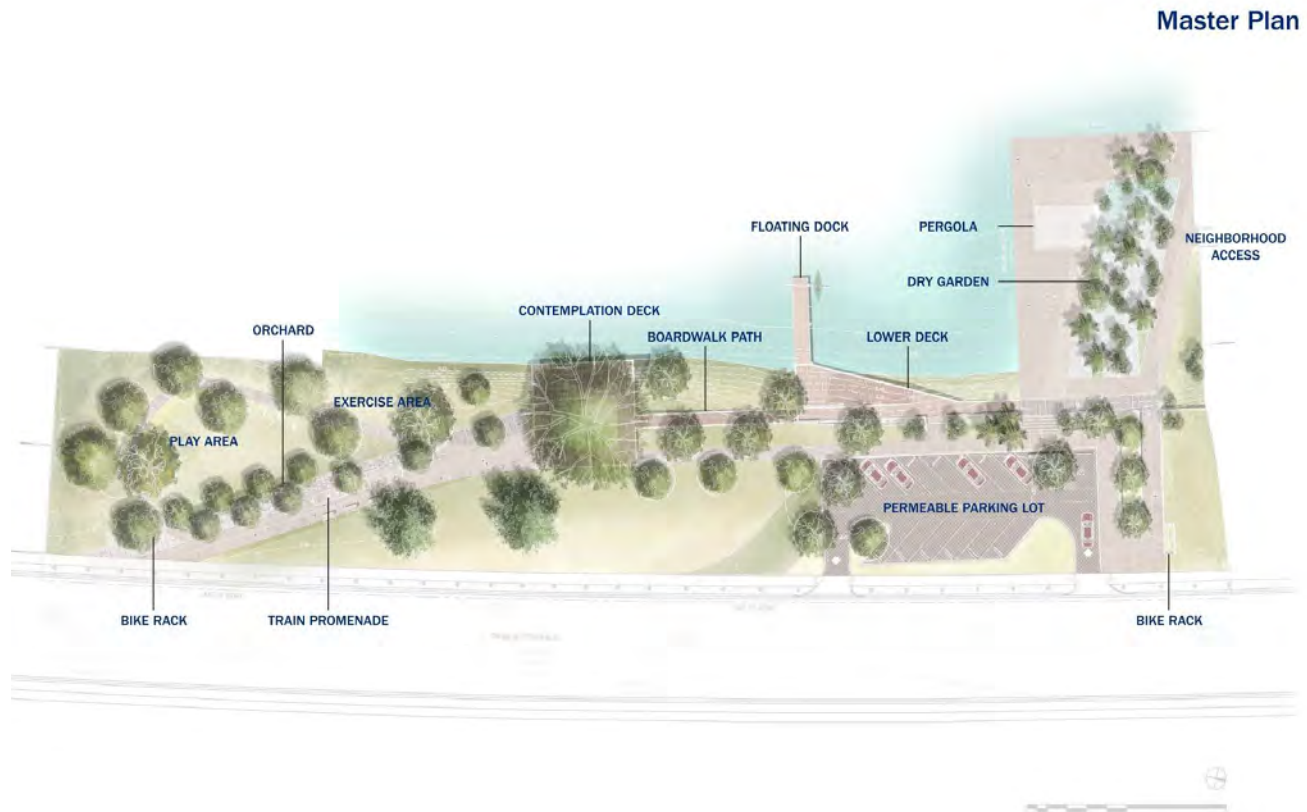
Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquecito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

11. Lighting - The proposed park will be illuminated with self-contained solar light poles that will be located along the walkable areas shown in the Master plan. (Figure 12)

Figure 12: Proposed master plan visualization for the Levittown Lakes Park.



Construction Works

Most of the construction required for the Levittown Lake Park project will be superficial (3 feet or less in depth) on the fill originally deposited to build Levittown or over existing structures. All the construction activity will be done within the existing footprint of the park, including the construction staging area.

About 200 lineal feet of shoreline will be minimally disturbed to stabilize the bank of the lake and prevent further erosion. Stabilization will be done with a combination of geotechnical fabrics, soil, and natural vegetation. No gabions or rock fill will be used for the stabilization, although a few boulders will be placed near the shore as part of the landscape design concept. New construction areas are summarized in the following table (Refer to Table 1 and Figure 13):

Subrecipient: Autonomous Municipality of Toa Baja

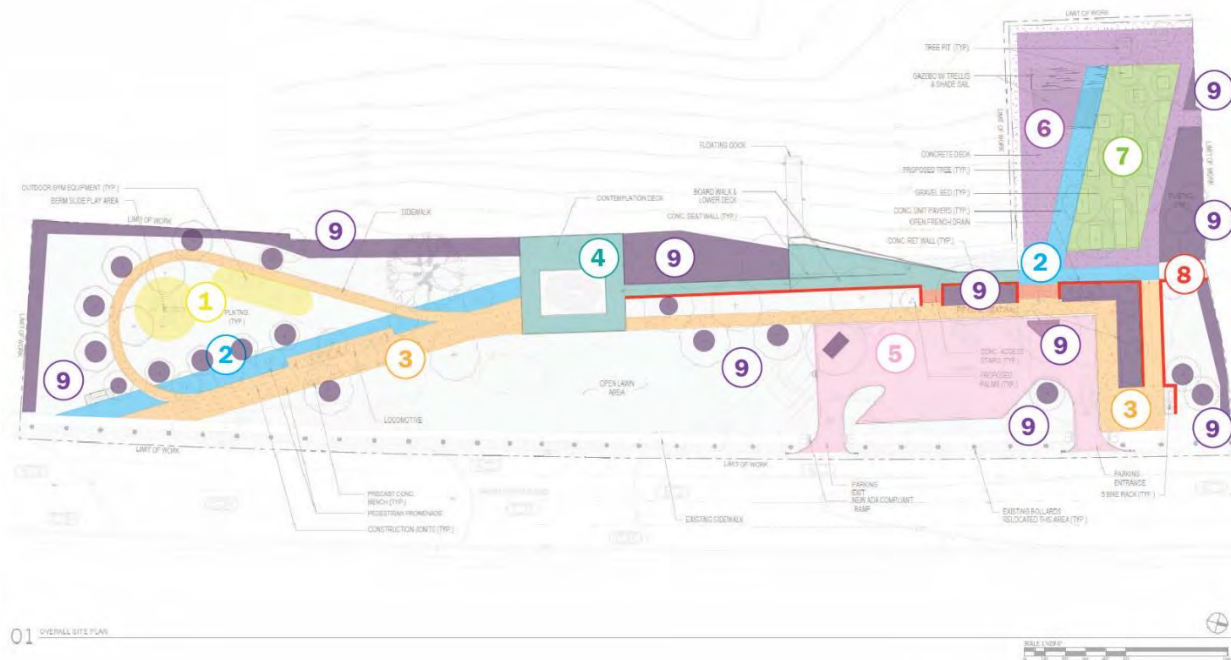
Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)


Project Number: PR-CRP-001002

Table 1: Project elements with Potential ground disturbing activities.

FIGURE #	PROJECT ELEMENT	NEW CONSTRUCTION (square feet)	POTENTIAL GROUND DISTURBING ACTIVITIES (depth in inches)
01	Embankment Slide Area	263	6"
01	Outdoor Gym Area	343	6"
02	Linear Paver Promenade North	1,536	8"
02	Linear Paver Promenade South	1,719	8"
03	Concrete Walkways North	3,222	4"
03	Concrete Walkways South	3,856	4"
04	Deck Total	3,667	N/A
04	Contemplation Deck Beams	112	36"
04	Contemplation Deck Footings 34 footings	136	12"
04	Lake-Access Deck Footings 20 posts	45	24"
05	Permeable Parking	6,157	10"
06	New Concrete Slab	5,381	6"
07	Gravel Garden Area	3,240	4"
08	Retaining Walls + Stairs	1,763	175 linear feet at 48" depth 8" width 24 linear feet at 60" depth 8" width
09	Planting of Palms/Trees/Shrubs	5,335	25"

Figure 13: Location of Project elements with potential ground disturbing activities.



PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	 GOVERNMENT OF PUERTO RICO DEPARTMENT OF HOUSING
Subrecipient: Autonomous Municipality of Toa Baja	
Project Name: Área Recreativa Parquecito del Lago de Levittown (Levittown Lakes Park Recreational Area)	
Project Number: PR-CRP-001002	

Demolition Works & Ground Disturbance Activities

Before any demolition work begins, a thorough site assessment is conducted to evaluate the existing conditions and identify potential hazards. A demolition plan is developed, outlining areas to be demolished, safety measures, and waste disposal strategies. Demolition of current structures on site will consist of removing the existing gazebo and concrete slabs within the project area (Figure 14), the existing sidewalks and bollards will be maintained as part of the project. (Refer to Table 2 and Figure15)

During the demolition and construction process, erosion and sedimentation control measures will be implemented to avoid the sediments to discharge into the lake, road surface and storm sewer system during rainfall events, including installation of hay bales (or silt socks) on drainage structures, installation of silt fence around the project limit, and implementation of a washout entrance for trucks to avoid sediments migration into the streets. The staging area for the construction equipment and materials will be located within the APE. Staging and storage areas for construction materials will be protected with silt fence. A Maintenance of traffic plan and temporary control devices will be implemented to control the vehicular traffic and provide a safe route to pedestrians during the construction works.

Construction is expected to generate 3 cubic yards of solid waste per day, on average. Solid waste generation during operation will be minimal and directly handled by the Municipality of Toa Baja.

Figure 14: Existing concrete slabs and gazebo.



Subrecipient: Autonomous Municipality of Toa Baja

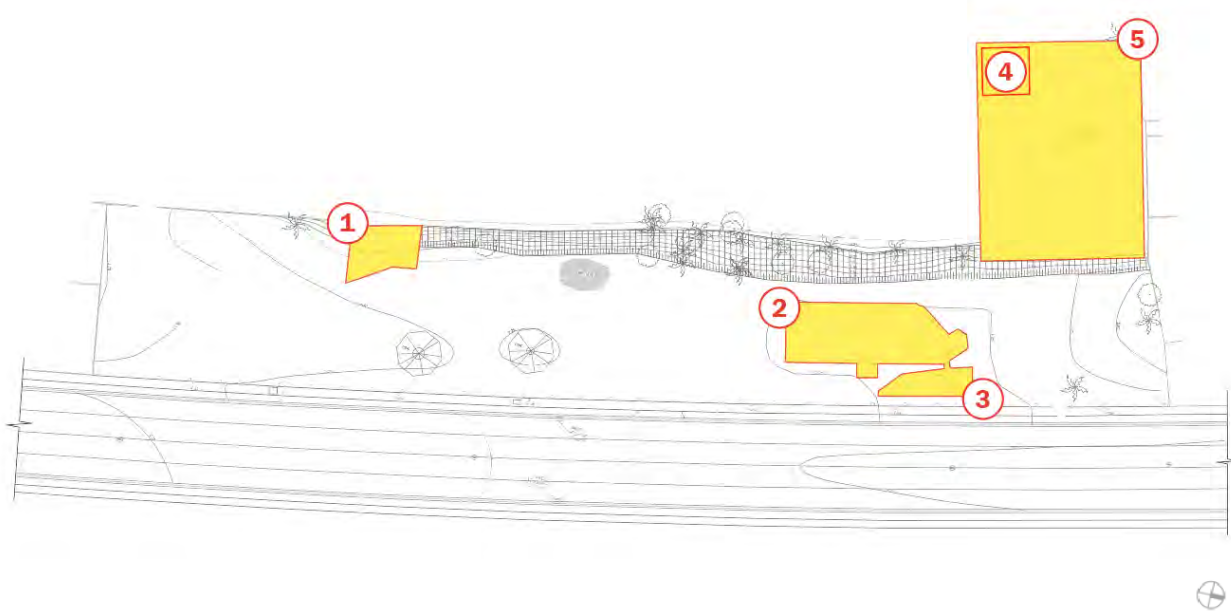
Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Table 2: Demolition with Potential ground disturbing activities

FIGURE #	SLAB OR STRUCTURE	DEMOLITION VOLUME (cubic meters)	POTENTIAL GROUND DISTURBING ACTIVITIES (depth in inches)
01	Concrete Slab #1	86	36"
02	Concrete Slab #2	174	24"
03	Concrete Slab #3	57	24"
04	Gazebo	15	10"
05	Concrete Slab #4	148	6"
	TOTAL DEMO VOLUME	480	

Figure 15: Demolition with potential ground disturbing activities.



Infrastructure

The project will not use public infrastructure (water, wastewater treatment, electricity, communications). Since is a local park, not a regional one, no bathrooms will be provided, and potable water or sanitary connection services are not contemplated for this project. Also, no electricity connection will be needed since the lighting poles that are going to be used will be electrified by solar power. The only infrastructure the project will improve is the effect of the rainwater in the site and surrounding areas. The project will manage site rainwater by using rain gardens and porous pavement to mitigate the impact on the existing public infrastructure.

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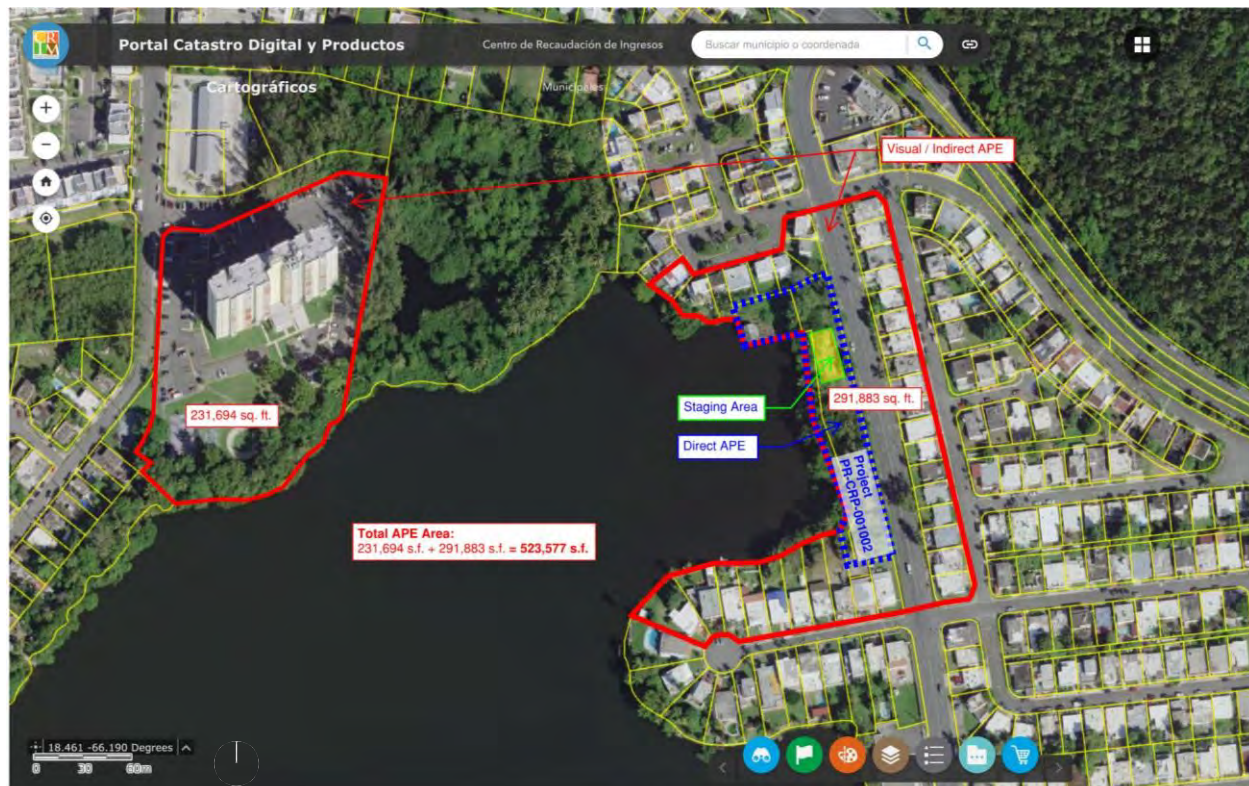
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Area of Potential Effects

As defined in 36 CFR §800.16(d), the area of potential effects (APE) is the geographic area or areas within which an undertaking may directly or indirectly cause changes in the character or use of historic properties if any such properties exist. Based on this definition and the nature and scope of the Undertaking, the Program has determined that the total area of the direct and visual/indirect APE for this project is part of a potentially eligible district due to the significance of the Levittown development in the urban development of Puerto Rico. Levittown Lake Park has significance as a site to the Levittown Lakes and Levittown development as an integral component of the eligible district because since its construction it has maintained its location and landscape use, even though it has been impacted over time. The direct and visual/indirect APE has an area of approximate 523,577 square feet, this considering a condominium property to the other side of the lake in which some residents will have a visual impact from their apartments. Of the 523,577 square feet, only 65,088 square feet pertains to the direct APE. The staging area will be located within the boundaries of the Direct APE. (Figure 16-17)

Figure 16: Levittown Lake Park direct and visual/indirect APE.





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Figure 17: View of a residential condominium from Levittown Lake Park.




Identification of Historic Properties - Archaeology

Existing information on previously identified historic properties has been reviewed to determine if any such properties are located within the APE of this undertaking. The review of this existing information, by a Program contracted Historic Preservation Specialist meeting the Secretary of the Interior's Professional Qualification Standards (36 CFR Part 61), shows that the project area lays within the boundaries of the potentially eligible National Register of Historic Places (NRHP) Levittown housing development.

Possibility of pre-Hispanic archaeological findings

The Toa Baja region is an area of great sensitivity to both historic and prehistoric resources, because it is located on a floodplain close to the seashore nurtured by large rivers. There are many archaeological sites within the territorial boundaries of this municipality. Most of them are in urban and coastal areas. Historic Chronicles indicate that chief Aramaná ruled the region prior to Spanish colonization. However, no archaeological sites related to the pre-Hispanic era were identified in the 0.25-mile radius surroundings the APE. No archeological surveys have been performed in addition to previously recorded sites.

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The APE and most of the radius area was graded by Levittown housing development since the decade of 1960s, to the present. As such, the extensive housing development greatly modified the topography of the area. If pre-Hispanic sites existed, they were impacted by the cutting, filing, and leveling of the landscape, necessary for the construction of Levittown.

Spanish Colonial period

On the banks of the Toa, the areas main tributary today's Río de La Plata, before the Taíno rebellion of 1511, Juan Ponce de León established the King's Farm, in a place referred to as Santa Elena. It was here that **chief Aramaná's** yucayeque (territory) was located, and whose people were enslaved. This was the first agricultural experimental station on the island, where foodstuff brought from Europe were first introduced. In these early years of the colonization the first church was established and sanctified under the name Real Ribera del Toa. The villa was founded in 1747, though some historians place it shortly after, with the following outlying neighborhoods: Bucarabón, Candelaria, Dorado, Thorny, Maguayo, Birds, Lajas River, Tamarindo. This historic center is 7 km SW from the APE.

In Spanish colonial times the APE was within Hacienda El Plantaje whose fertile leveled terrain was covered by coastal forests and farmland. (Figure 18) There was a carriage path, mostly uninhabited, that ran along the coast from Dorado to Cataño. The closest historic structures to the APE are the Spanish fort at Punta Salinas, **"Fortín Mascaró"** established in 1797 and the shooting range **"Campo de Tiro"** established in 1897-1898. (Figure 19)

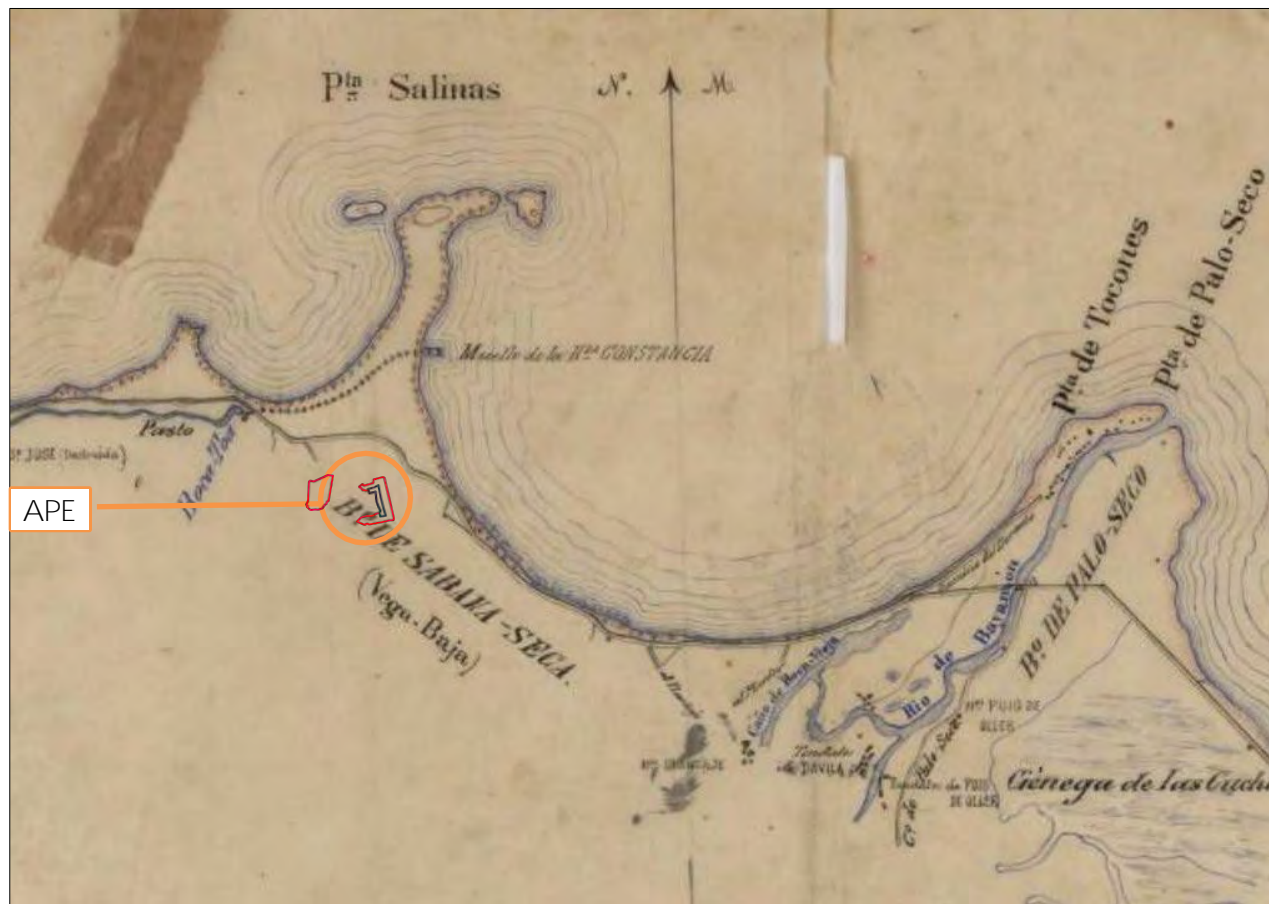


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Figure 18: Detail of 1886 Map - Itinerario de San Juan de Puerto Rico por Cataño o Palo Seco a Dorado Comisión Topográfica de 1886. Original Scale 1:50000. Fondo del Mapa Militar de la Isla de Puerto Rico. <https://archivonacional.com/PL/1/1/1181>



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Post 1898

During the 20th century the APE remained depopulated. Aerial photos from 1936 and 1950 reveal parceled crop fields coverage throughout. (Refer to figures 20 & 21)

Figure 20: Aerial Photo, 1936. Photogrammetry, DTOP. Image showing the approximate location of the undertaking. Original scale 1:18,000.






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Figure 21: Aerial Photo, 1950. Photogrammetry, DTOP. Image showing the approximate location of the undertaking. Original scale 1:18,000.



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Levittown Development

The housing project began in 1962 when almost 440 acres of flat swamps and sections that belonged to the Hacienda del Plantaje were acquired in Toa Baja. Then Governor Luis Muñoz Marín embraced Levittown and attended the ribbon cutting ceremony in September 1963, which received extensive coverage in U.S. newspapers. The first thing Levitt built were drainage canals to empty the swamp water into an artificial lake. Like its predecessors, the fourth and final section of Levittown was planned as a multi-neighborhood community. In all there are seven sections in Levittown, P.R. However, commencing with the Third Section, the development was renamed Levittown Lakes. The addition of "Lagos" to the development's name emphasized the recreational nature of the area, and the slogan "Where the Good Life Begins" was the slogan adopted as part of the development's marketing strategy.

Levittown, P.R. is Levitt's first venture outside the Continental United States, and the last anywhere to be marketed under the brand name "Levittown". Officially named "Levittown de Puerto Rico," it was also the first project of the newly formed Levitt and Sons subsidiary, Levitt and Sons of Puerto Rico, Inc. The subsidiary would eventually become Levitt Homes Corp. after divestiture of Levitt and Sons by ITT and ownership by Starrett Homes Corp. (as Levitt Homes, Inc.). The firm was founded in 1929 by a Long Island real estate attorney, Abraham Levitt, when a client Levitt was representing defaulted on a development under construction. Levitt was left with 40 unfinished houses as payment for services. During World War II, after building several higher-end subdivisions with custom homes in such Long Island locations as Roslyn, Rockville Centre, Westbury, and Manhasset, the firm won a government contract to build military housing in Norfolk, Virginia. Here, the idea of mass-produced housing was conceived. During the later war years, on the advice of Bill Levitt, Levitt & Sons (Figure 22) bought a considerable amount of land occupied by potato farms in the Island Trees section of Long Island around the towns of Hempstead and Hicksville. It was here in 1946 that the Levitt's would employ and perfect their "reverse assembly-line" method of constructing affordable homes, in which specialized crews would move from one house to the next performing only specific jobs.



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Figure 22: From left to right, William Jaird Levitt, Abraham Levitt, and Alfred Stuart Levitt, of Levitt & Sons³.



The company operates as an independent corporation today and still builds planned communities in Puerto Rico. The site is part of the Levittown Development, which took place in the 1960s and 1970s. Historical aerial photographs from 1930 and 1950 show that the site was extensively used as agricultural land, with orchards of fruit trees (perhaps citrus trees). At that time, the extant wetlands and local drainages were at a significant distance south and west of the site (Figure 23 & 24).

³ <https://thehistoryoflevittown.weebly.com/levitt-and-sons.html>

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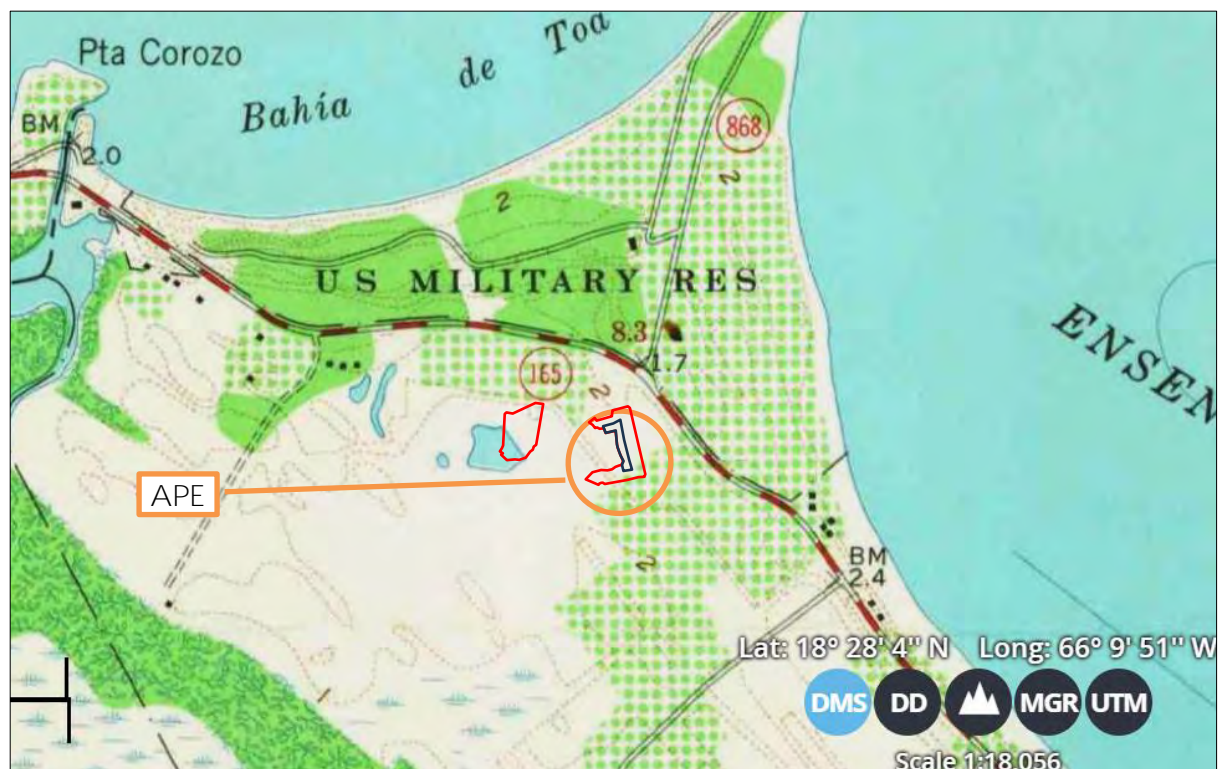
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The current alignment of road PR-165 can be detected in the 1930 aerial photograph as a country road. The purpose of the housing development was to bring back those who once left and longed for their land. The urbanization is a multi-family housing complex that is characterized by having a regular plot developed en masse. Levittown Lakes was a very significant development for the Sabana Seca neighborhood, since during the second half of the 20th century it amassed 26,252 individuals, 27.9% of the municipality's population.

APE is in Levittown Lakes Third Section built c.1968, a continuation of the planned Levittown community. Although the name is distinct, and the models are different, Levittown Lakes was the name given to the Levittown Sections to be developed after the first two sections, Sections 3 through 7. Six sample homes were developed in this area.

Figure 23: USGS, 1963⁴. Image showing the approximate location of the undertaking.



⁴ Source: USGS, topoView.

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Figure 24: USGS, 1971⁵. Image showing the approximate location of the undertaking.



Levittown Lakes

Levittown Lakes or “Los Lagos de Levittown” is a small man-made lake formed by draining the marshland over which Levittown was built. The drainage canal that feeds the lake is called Caño El Hato, which extends into the center of Levittown. To the east, the Bayamon River divides Levittown from the fishing village of Palo Seco, next to the Cataño municipality. To the north, Highway 165 runs along the coastline, but it has not a single official pedestrian crossing for its entire length west of the Rio Hondo, greatly impeding access to the local beaches from the residential areas. Is a 30-hectare, brackish waterbody with an average depth of about 5 meters and a water level at/near mean sea level.

⁵ Source: USGS, topoView.

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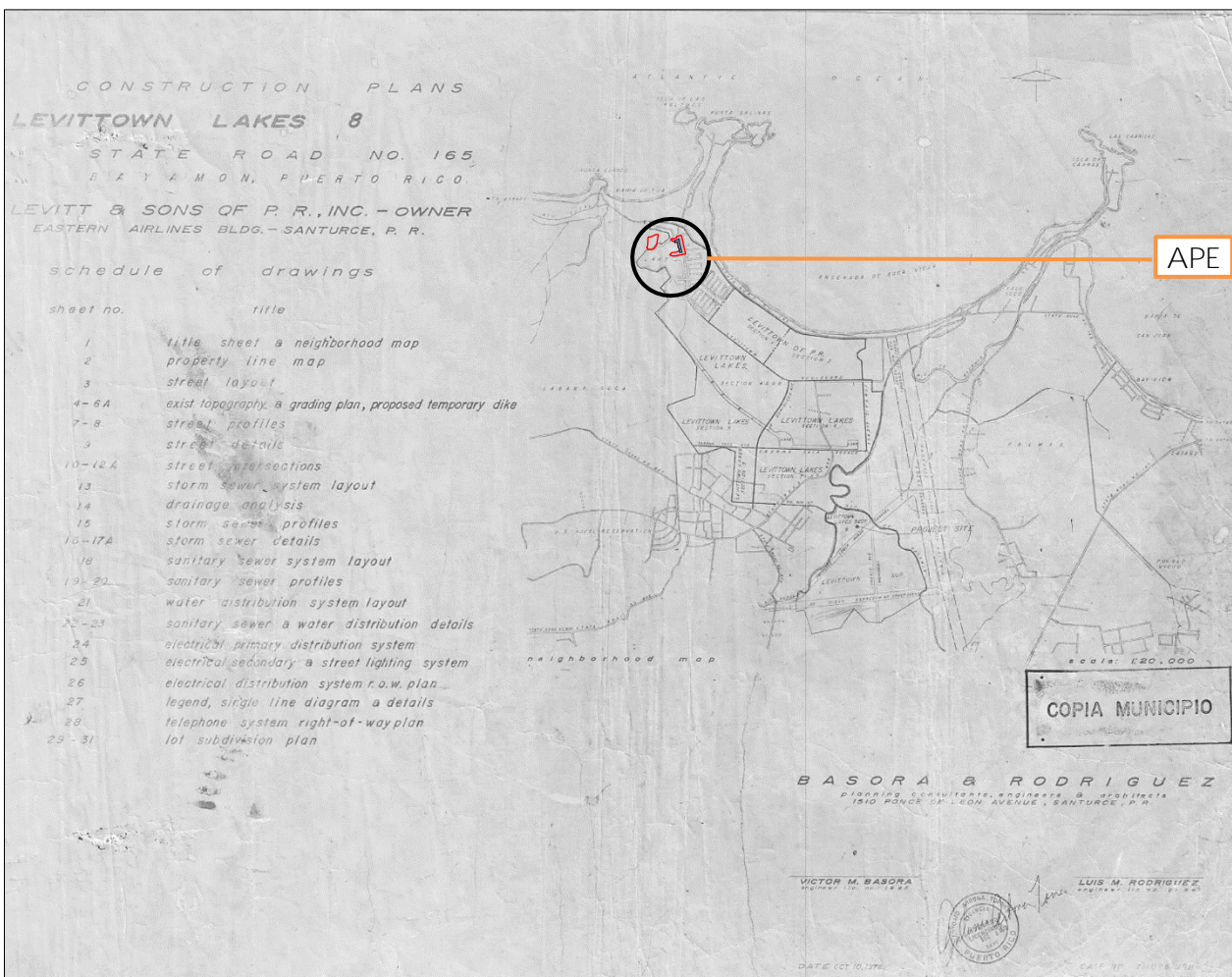
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Boulevard Ave Levittown

This intra-urban road arises from the intense development that the area has experienced in the last 30 years. As has happened with other avenues throughout the Metropolitan Area, at the origin of urban development this was a street with primarily residential uses, as represented in Figure 25.

Figure 25: LEVITTOWN LAKES 8 - Construction Plan (10 October 1978, Engineer Victor M. Basora)




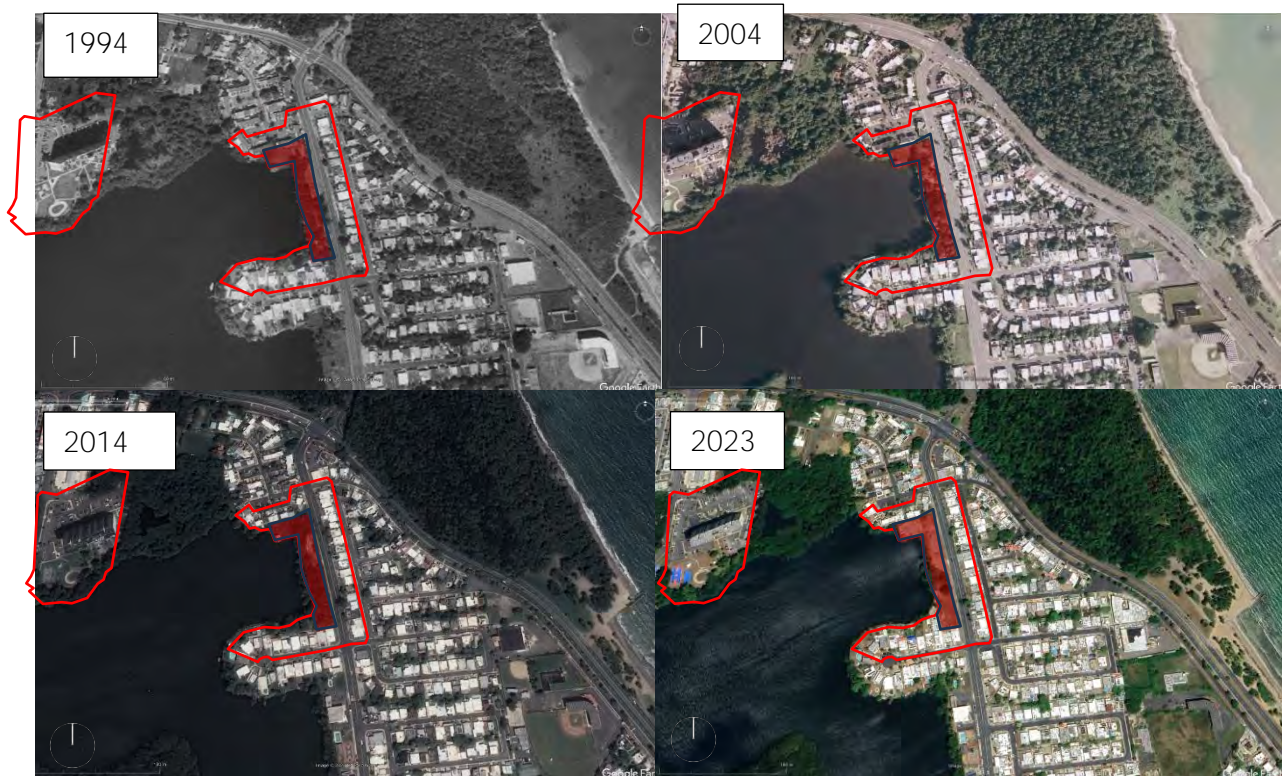

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Figure 26: Aerial photos from 1994 to 2023. Google Earth. Image showing the development of the area of the undertaking". Google Earth. Image showing the approximate locations of the APE.



Cartographic and aerial photographic analysis reveal that the APE has undergone numerous changes. The first occupations in the area occurred at the end of the 19th century, at which time it was a sparsely populated, cultivated area surrounded by coastal forests. The area did not change much until the 1960s when housing developments began to be built. In aerial photos and USGS maps from 1930, 1950, 1963 the APE continues to be a sparsely populated forested area and the PR-165 is seen as a rural road. Finally, in the USGS map from 1971 it can be observed Levittown Lakes and the APE current dimensions. (Figure 26) The dimensions and characteristics of the APE correspond to the Levittown Passive Park which has not undergone significant changes during the second half of the 20th century to the present.

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There is one cultural resource (1) that is 45 years or older Eligible to the NRHP. There are no archaeological studies within a 0.25-mile radius. (Figures 27a and 27b)

Name	SHPO id #	IPRC id #	Distance/Direction	Description	NRHP (listed, eligible, non-eligible, no data)
TB0200019 TTB-	TTB-H70, Area HC	No data	357 m east	Historic Possible pier, possibly from the 1940s. T-shaped concrete and metal structure.	Eligible

Figure 27a: Cultural resources within a 0.25-mile radius of the project area Aerial Map.




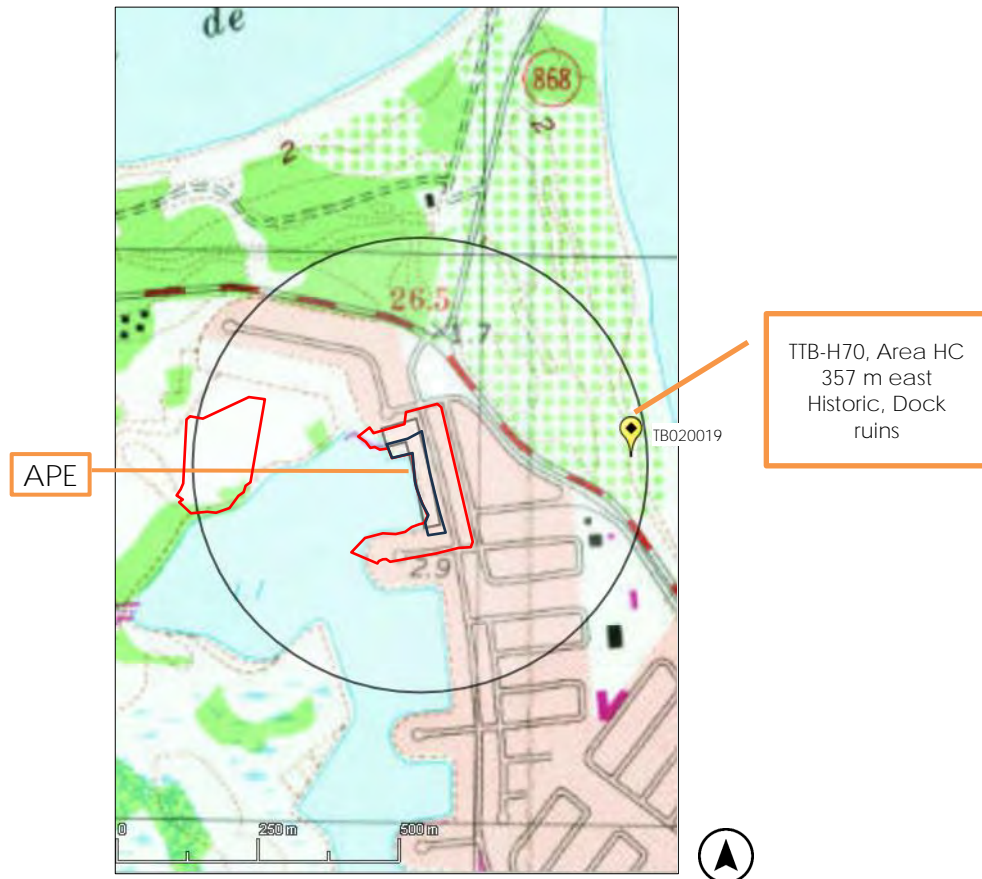
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Figure 27b: Cultural resources within a 0.25-mile radius of the project area, USGS.



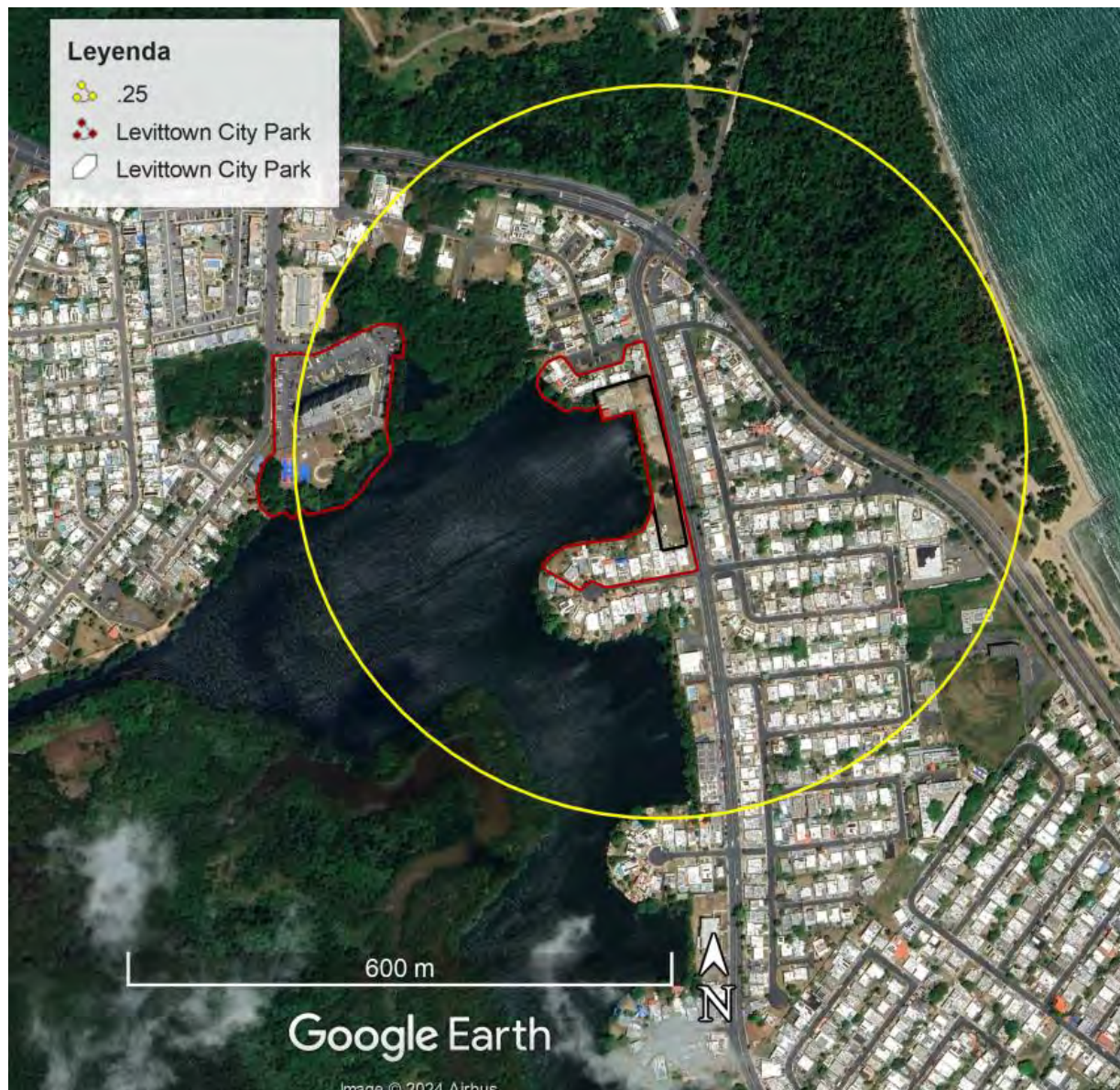
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There are no archaeological studies within a 0.25-mile radius. (Figure 28)

Figure 28: Archaeological Investigations within a 0.25-mile radius of the project area Aerial Map.



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Possibility archaeological findings (Spanish colonial, and 20 century)

The evidence produced to date reveals that the area of interest has been impacted from the 1960s to the present. The extensive and intensive development of Levittown's housing project, within and in the immediate vicinity of the APE greatly modified the terrain, making it unlikely that cultural resources with stratigraphic integrity could be found. This is particularly true of the creation of Levittown Lake. As such, the proposed project will be built within an area previously impacted or disturbed. Furthermore, the Project lays in a sector of land with low archaeological sensitivity as evidenced by archival evidence⁶. The construction processes of cutting, filling, and leveling the landscape to create the lake and the housing project of Levittown dramatically impacted the soil stratigraphy making it highly unlikely to find stratigraphically intact archaeological resources. Thus, the proposed construction will not affect any identified archeological resource.

Identification of Historic Properties - Architecture

Existing data on previously identified historic properties has been reviewed to determine if any such properties are located within the APE of this undertaking. The review of this existing information, by a Program contracted Historic Preservation Specialist meeting the Secretary of the Interior's Professional Qualification Standards (36 CFR Part 61), shows that this project is part of a potentially eligible district under Criterion A due to the significance of the Levittown development in the urban development of Puerto Rico. Levittown Lake Park has significance as a site to the Levittown Lakes and Levittown development as an integral component of the eligible district because since its construction it has maintained its location and landscape use, even though it has been impacted over time.

A total of thirty-seven (37) buildings and sites were identified (Figure 29) as part of the direct and indirect/visual APE; an inventory was done incorporating the information available and **determining buildings'** listing or eligibility to the NRHP, the PR's Register of Historic Sites and Zones at PR's Planning Board, as well the information found in the different archives consulted during the investigation process. (Refer to Appendix A and Figure 59) at the end of this document) As a result of the inventory and investigation no building, site or structure in the indirect/visual APE was identified to be eligible for the NRHP. In some cases, traces of **the houses'** original design can be found in some of them and are established as part of this inventory at Appendix A.

⁶ Refer to Figure 28 and 38.

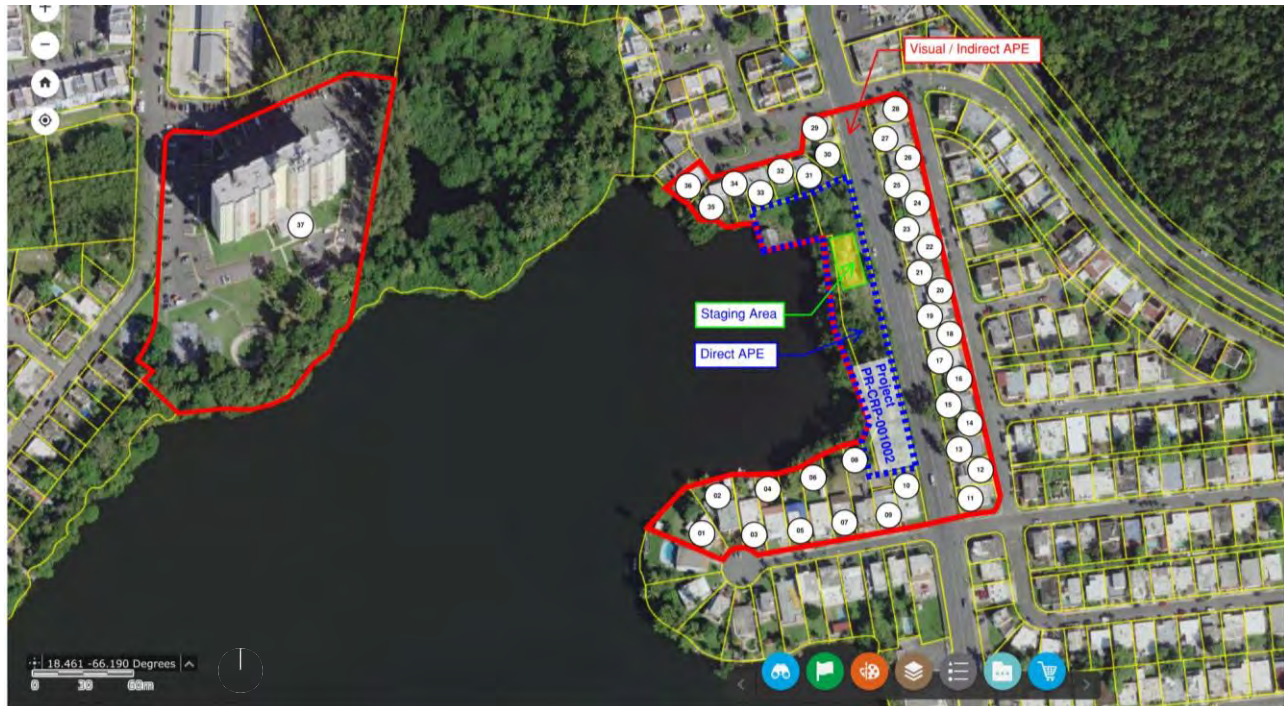


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Figure 29: Levittown Lake Park direct and visual/indirect APE with numbered sites.



The analysis of the ¼ mile took into consideration the properties registered in the NRHP and those listed in the PR Planification Board as determined by the Institute of Puerto Rican Culture (JP-ICP). No property was found in this area (Figure 30 & 31). Refer to Figure 32 for the location of NRHP listed properties in Toa Baja. The distance between the APE and the Ermita de Nuestra Señora de la Candelaria del Plantaje is 1.8 miles, while the distance from the APE to the Traditional Urban Center of Vega Baja is 4.3 miles.

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Figure 30: Key Map for the ¼ mile of the APE with no historic properties.



Figure 31: Key Map for the ¼ mile determination area from the APE.



To determine the ¼ mile range each circle (Dark Red-North; Blue-East; Yellow-West; Green-South) centroid start at APE's farthest boundaries.

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Figure 32: Key Map of Toa Baja's historic properties outside of the ¼ mile of project's APE (red polygon). It includes the location of the Historic District of Toa Baja outlined in green color, other historic buildings and sites are also identified. No historic property is located within the ¼ mile of project's APE.



Architecture – Levittown Lakes Park

The Levittown Development⁷ in Puerto Rico started in the early 1960's in a terrain that was formerly an agricultural land dedicated to grapefruit plantation in the Sabana Seca sector of Toa Baja, P.R. This land was brought from Mario Escudero in May, 1962⁸. The 450 acres of land was designed to have 15,000 people living in this development. On September 5, 1963, Levittown was inaugurated with the construction of the five model houses that will serve as a reference to the future development of the first 3,500 houses for middle class income families. (Figure 33 and 34) The honor guest for the inauguration ceremony was the governor at the time, Luis Muñoz Marín.

⁷ The historic background of Levitt and Sons has been previously discussed in the archeological section named "Levittown Development".

⁸ Ober, Ralph. "Inauguran Hoy Proyecto de 3,500 Casas de Levittown". El Mundo Newspaper. Puerto Rico. September 05, 1963. Page: 15.


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Figure 33: William J. Levitt in the inauguration of the Levittown Development in September, 1963⁹.



From the beginning the main idea was to create a self-sufficient community that will provide adequate amenities such as schools, churches, library, recreational areas, commercial buildings, and the like. (Figure 35) Of the five model houses two houses were adaptations of the Spanish colonial architectural style, while the other three were in a modern style. These designs were made by David Chang, an architect that worked in Puerto Rico from 1956-1968, born in China who studied in Princeton University and became vice president at ITT-Levitt & Sons, Inc. in New York City from 1969-1971. (Appendix B & C)

⁹ El Mundo Newspaper. Puerto Rico. September 05, 1963. Page: 15.

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Figure 34: Left: Constructed model houses. Right: Model of Levittown Development¹⁰.

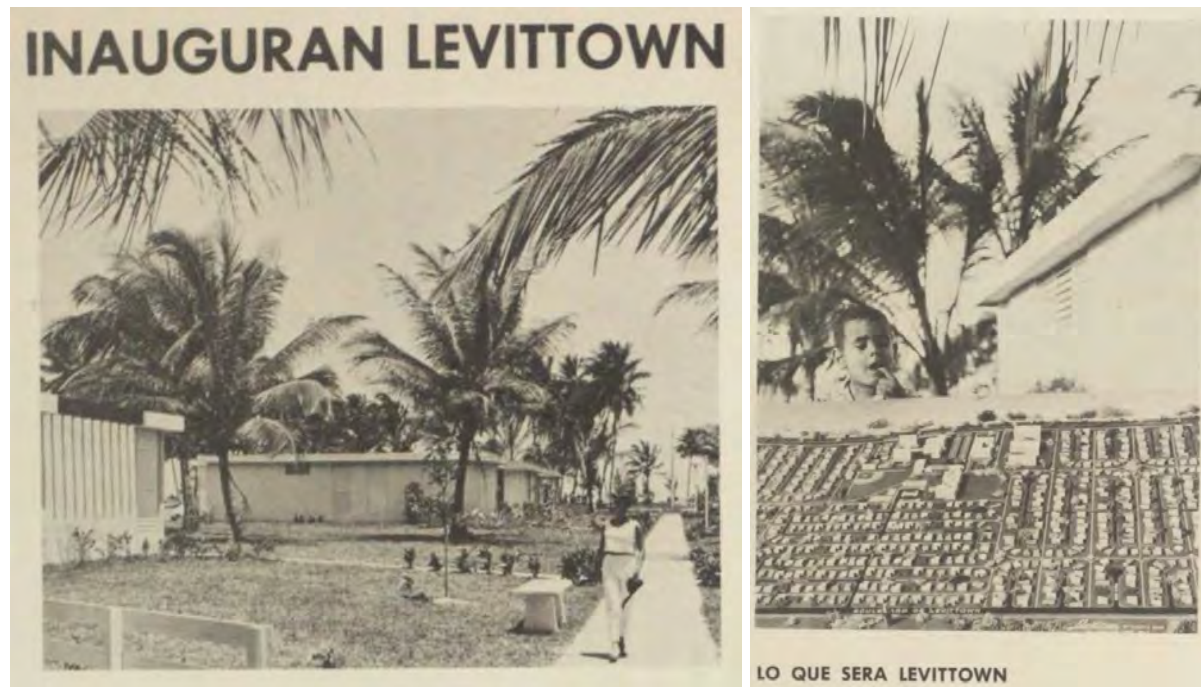



Figure 35: Levittown amenities advertisement.¹¹



¹⁰ URBE Magazine. Puerto Rico. September 01, 1963. Page: 00. Vol.6

¹¹ El Mundo Newspaper. Puerto Rico. October 31, 1964. Page: 3.

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Levittown Lakes was inaugurated as the new extension to Levittown Puerto Rico in July, 1966, after the third section was constructed. Five additional model houses were constructed having a variety of houses for small (two bedrooms, one bathroom) to large families (two stories, four bedrooms and 2 ½ bathrooms)¹². Additional amenities were also to be provided as part of this development extension. (Figure 36-37) Marketed as a development of 6,000 new houses in a 1,000 cuerdas (971.22 acre) of land in Punta Salinas next to Levittown, with an artificial lake to be constructed in 100 cuerdas (97.12 acre) of land – the first to be constructed in P.R. for a housing development project. (Figure 38) The master plan approved by the P.R. Planning Board was design by Basora y Rodriguez, Puerto Rican planners. Part of the main marketing strategy of Levittown Lakes was to live next to a body of water where recreational activities could take place and where the quality of life was going to be increased by it. (Figure 39) Levittown Lakes Park was an integral part of this development, renders of the site are in the first promotions of the development. (Figure 40) Once the park was constructed, images of this park were also used as an important amenity. Activities such as boat races were also very common. (Figure 41)

Figure 36: Levittown Lakes amenities advertisement.¹³

Pero eso no es todo. Están también la comunidad y los bellos alrededores. Los lagos de Levittown Lakes, llenos de peces, de botecitos y de alegría. La fresca brisa del mar que viene de la cercana playa de Punta Salinas. También están Levitt Shopping Plaza, la Escuela Elemental John F. Kennedy y una nueva glorieta junto al lago. Y mire todo lo que está en planes para el futuro: más escuelas elementales y superiores... tiendas de todas clases... centros culturales... iglesias... más facilidades atléticas.

Translation:

"But that is not all. There is also the community and the beautiful surroundings. The lakes of Levittown Lakes, full of fish, little boats and joy. The fresh sea breeze that comes from the nearby Punta Salinas beach. Also, there are Levitt Shopping Plaza, John F. Kennedy Elementary School and a new lakeside gazebo. And look at everything that's planned for the future: more elementary and high schools... stores of all kinds... cultural centers... churches... more athletic facilities".

¹² El Mundo Newspaper. Puerto Rico. July 27, 1966. Page: 13.

¹³ El Mundo Newspaper. Puerto Rico. September 10, 1966. Page: 19.

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Figure 37: Levittown Lake model houses advertisement¹⁴.

Fig. 34 EL MUNDO Sábado, 8 de Octubre, 1966



¡Vida buena y más!

LA KALUAH
2 Plantas, 4 Dormitorios, 2 1/2 baños
\$19,990
Pronto pago: **\$990** Mensualidad: **\$126**

En Levittown Lakes usted obtiene más casa - más pies cuadrados de espacio - más calidad por su dinero

LA FLORENCIA 2 Dormitorios, 1 baño
\$14,990 Pronto pago: **\$440** Mensualidad: **\$97**

LA GENEVE 3 Dormitorios, 1 baño
\$15,990 Pronto pago: **\$590** Mensualidad: **\$102**

LA LUCERNE 3 Dormitorios, 2 baños
\$16,990 Pronto pago: **\$690** Mensualidad: **\$108**

LA JAMAICA 4 Dormitorios, 2 baños
\$17,990 Pronto pago: **\$790** Mensualidad: **\$114**

Los precios incluyen todos los costos - NO hay gastos de cierre - NO hay cargos escondidos

Vivir en Levittown Lakes le parecerá unas continuas vacaciones en una comunidad donde se tienen a la mano todas las conveniencias de la vida moderna. Levittown Lakes ha sido construida por la constructora de hogares más grande del mundo.

Vea las casas modelo de Levittown Lakes.
Abiertas diariamente desde las 9:00 a.m. hasta las 6 p.m.

Financiamiento disponible para los compradores de Levittown Lakes.

Carrtera Caguas-Dorado, Km. 8.3 • Teléfono: 788-1440 • Apartado 126, Caguas, 00802

Levittown LAKES
Una nueva sección de Levittown de Puerto Rico

¹⁴ El Mundo Newspaper. Puerto Rico. October 08, 1966. Page: 34.


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Figure 38: Lake construction news. San Juan Star newspaper.¹⁵

THE SAN JUAN STAR — Saturday, May 7, 1966.

Work Underway On Three Lakes Near Levittown

Work is well under way on the creation of the first of three fresh-water lakes just off the beachfront at Levittown in the Punta Salinas Beach area, according to Richard P. Bernhard, executive vice president, of Levitt & Sons of Puerto Rico, Inc.

"We've got a dredge and scrapers working around the clock on the first of the lakes, in the northwest sector of Levittown," Bernhard said yesterday.

Levittown Lakes, he noted, will cover "a recreational area of some 1,000 acres, with about 100 acres in three lakes and connecting waterways." Maximum depth of the lakes will be over 20 feet.

"We've got about 15 per cent of the lake dredging done already, but it'll take us roughly another two years to finish this part of our community development."

The entire lakes project calls for the removal of some two and a half million cubic yards of earth, with dredging and landscaping costs "over \$2 million."

The Planning Board has given preliminary approval for the lakes project, which will include a regional community "core." Areas may be allocated for a major shopping center, junior and senior high schools, a regional park with complete athletic facilities and a community center complex.

The lakes are spring-fed by fresh water, Bernhard said. "We check the water every week, and it's coming in pure and fresh. As a matter of fact, the Fish and Wildlife Service of the Department of Agriculture stocked the first lake with bass and sunfish from the Maricao fishery this week."

"In about a year, boys in Levittown ought to be able to bring home a string of fish for dinner. The lake also has guppies, tilapia and freshwater shrimp," he said.

Some of the recreational facilities being planned at Levittown in cooperation with Octavio Wys, director of Parks and Recreational include a lake-front marina, an olympic-sized swimming pool, a complete track and field layout, baseball and softball diamonds, and basketball and tennis courts.

Bernhard said five new model homes will be offered for sale "soon" at Levittown. "The models run from a two-bedroom home with one bath, to a four-bedroom, two-and-a-half bath, two-story house."



FIRST OF LEVITTOWN'S THREE FRESH-WATER LAKES TAKES SHAPE
development's beachfront area can be seen in the background

BUSINESS MEMO

Japan's Golden Week Traffic Toll Up

TOKYO (AP)—Traffic deaths for Japan's Golden Week, three national holidays in seven days, totaled 296, an increase of 44 over last year's 251, the National Police Agency reported yesterday. Golden Week includes the emperor's birthday on April 29, Constitutional Day May 3 and Children's Day May 5.

DEMOLITIONS? EXCAVATIONS? EARTH MOVING!

Empresas Catzedillo, Inc.

We work all over the island. Prompt Attention and Economy. Absolute Guarantee. Heavy construction equipment for rent.

Figure 39: Marketing strategy¹⁶

VIVA!

ESTE FIN DE SEMANA PUEDE MARCAR UN CAMBIO EN SU VIDA. VEA "LA FLORENCIA", UNA DE LAS CASAS MAS BELLAS, JUNTO A UN LAGO CRISTALINO.

Translation:
Live!
This weekend can mark a change in your life. See "La Florencia", one of the most beautiful houses, next to a crystalline lake.

¹⁵ San Juan Star – May 7, 1966. (Laguna Levittown, Toa Baja – Facebook Page)

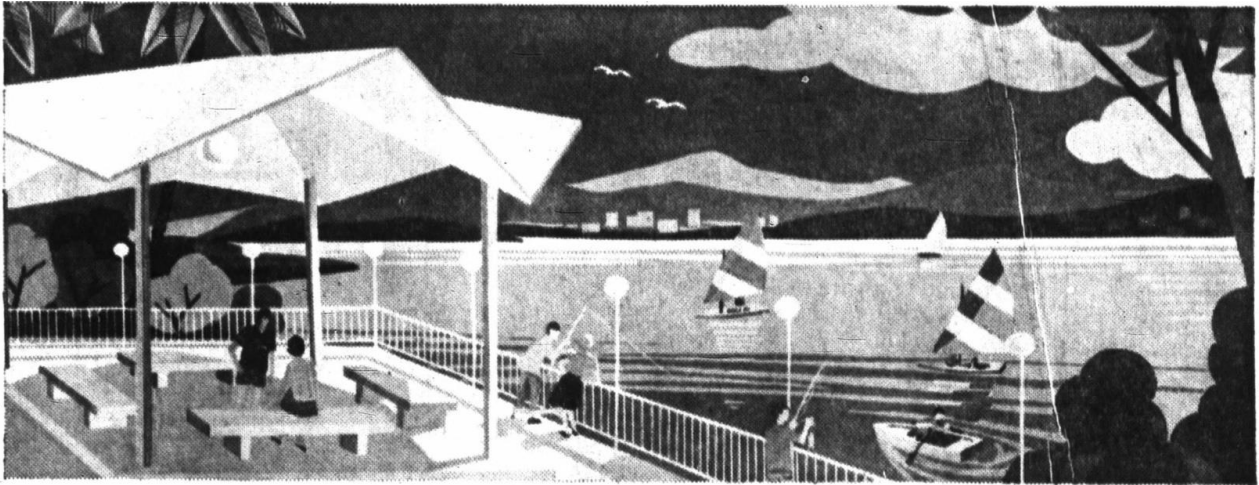
¹⁶ El Mundo Newspaper. Puerto Rico. August 06, 1966. Page: 15.

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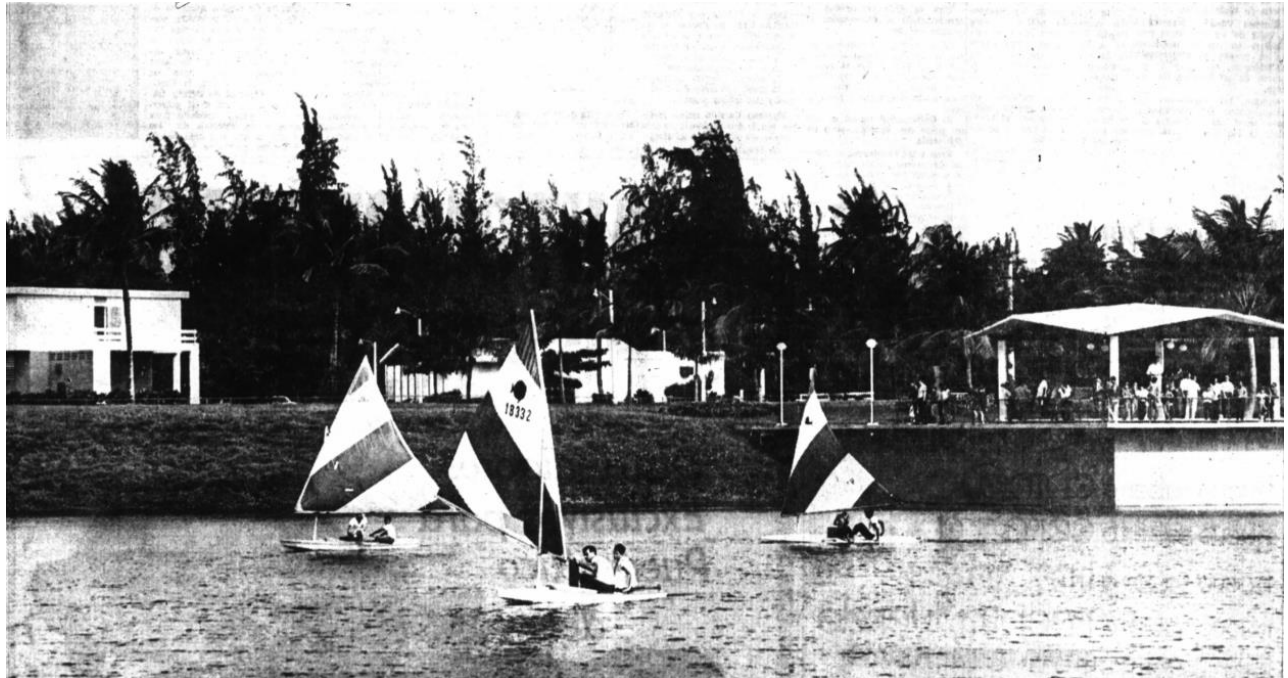
Project Number: PR-CRP-001002

Figure 40: Render of Levittown Lake Park¹⁷ with gazebo “in a place like this...”



en un lugar como éste...

Figure 41: Image of the constructed park¹⁸.



¹⁷ El Mundo Newspaper. Puerto Rico. August 06, 1966. Page: 15.

¹⁸ El Mundo Newspaper. Puerto Rico. March 09, 1968. Page: 11.



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Another amenity to the Levittown Lakes community was “El trencito de Levittown” (Levittown little train) brought by Levitt & Sons in 1968 at a cost of \$1,000 as a donation to the Levittown community. This train was fabricated in c.1927-1929 by Baldwin Locomotive Works in Philadelphia, Pennsylvania. Was originally known as “Locomotive No. 7” and imported to Puerto Rico by the United Sugar Corporation, and later was owned by the Eastern Sugar Association¹⁹. The route that used to travel was from Caguas to Central Santa Juana in Juncos, travelling to Gurabo, Las Piedras, and up to Central Pasto Viejo in Humacao. When donated to Levittown, it was restored and located near Levittown Lakes Park in a site at the corner of Boulevard Ave. and 165 St. near of Punta Salinas, in front of the constructed model houses²⁰. Later, in 1979 the Municipality restored it and named it “Central Constancia” in honor of the local sugar cane company of the town of Toa Baja. Even though this locomotive never worked in Toa Baja it still is an important icon for this municipality, but especially for the Levittown and Levittown Lakes Communities. (Figures 42-44)

Figure 42: Newspaper when the locomotive was donated by Levitt & Sons²¹.



¹⁹ El Mundo Newspaper. Puerto Rico. October 27, 1990. Page: 35.

²⁰ El Mundo Newspaper. Puerto Rico. April 27, 1968. Page: 12.

²¹ El Mundo Newspaper. Puerto Rico. April 27, 1968. Page: 12.



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Figure 43: Image of a Levittown Lakes public advertisement²²

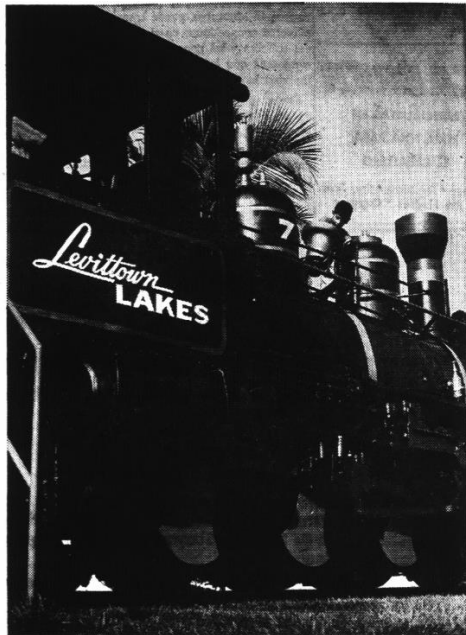


Figure 44: El Mundo newspaper special edition for the 27th anniversary of Levittown.²³

Levittown

La locomotora "Central Constancia"

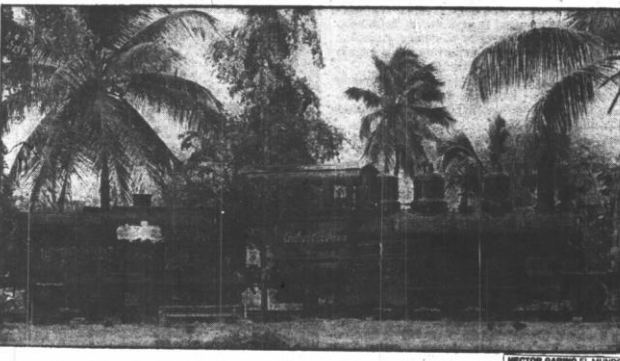
La locomotora "Central Constancia", mejor conocida como "el trencito de Levittown", fue fabricada en el 1927 por la Baldwin Locomotive Works en Philadelphia, Pensilvania.

La locomotora número 7 fue traída a Puerto Rico por la United Sugar Corporation y luego pasó a ser propiedad de la Eastern Sugar Association. Esta locomotora trabajaba la ruta de Caguas a la Central Santa Juana; pasando por los pueblos de Gurabo, Juncos, Las Piedras y llegaba hasta Pesto Viejo en Humacao desde donde remolcaba azúcar a granel.

La "número 7" fue donada a la comunidad de Levittown por sus constructores, Levitt & Son's para el 1968. En un principio, fue localizada en un predio de terreno en la Avenida Boulevard, esquina carretera 165, frente al balneario de Punta Salinas. Por medio de gestiones del Centro Cultural El Cahal de Levittown fue trasladada y reubicada en el lugar que hoy día ocupa, avenida Los Dominicos, esquina avenida Saba Seca, frente al anfiteatro Julita Ross.

Dicha locomotora fue restaurada por la Administración Municipal en el 1979 cuando fue identificada con el nombre de "Central Constancia" en honor a unos de los más grandes y antiguos ingenios azucareros de Toa Baja.

Aunque la locomotora número 7 nunca trabajó en las centrales azucareras de nuestro pueblo, se ha convertido en símbolo y orgullo de una comunidad que atesora sus valores históricos como lo es "el trencito de Levittown".



DIRECTOR GABINO EL MUNDO

La locomotora "Central Constancia" fue restaurada por la Administración Municipal en el 1979 y identificada con este nombre en honor a unos de los más grandes y antiguos ingenios azucareros de Toa Baja.

²² El Mundo Newspaper. Puerto Rico. September 14, 1968. Page: 10.

²³ El Mundo Newspaper. Puerto Rico. October 27, 1990. Page: 35.

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Levittown Lakes grew at a very fast pace and sold up to five sections of residences. They started selling the first section in 1966, prior to finishing the construction of the houses, within the first week 250 contracts were signed²⁴. Announcements for the second section opening started in 1967, the third section²⁵ at the end of 1967 (Figure 45) up to the fifth section in May of 1968.

Figure 45: Levittown Lakes third section opening advertisement.



²⁴ El Mundo Newspaper. Puerto Rico. December 21, 1966. Page: 13.

²⁵ El Mundo Newspaper. Puerto Rico. December 02, 1967. Page: 19.

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Another important aspect of this development was the change on how house acquisitions were made in Puerto Rico by being the first houses to qualify for FHA loan and for being marketed directly to the veteran's community. These aspects made it more attractive for the middle-class families who were eager to provide a secure home for their families.

The first FHA loan was provided to Mr. Pedro Morales and his wife to buy a house in Levittown Lakes with a down payment of \$200 and a 30-year mortgage. The monthly payment for the Morales family was of \$56.88, and with the help of the Housing Department and Urban Development program of a monthly payment of \$67.12, which made a monthly total payment of \$124²⁶.

The veterans were a targeted community for this development, direct publicity was made for them and their families, and they were successful at it. Special offers were made to them in order to make them feasible and accessible. (Figure 46)

Figure 46: Advertisement targeting the veteran population^{27, 28}

VETERANO:

usted puede comprar su casa en Levittown Lakes SIN PRONTO PAGO.

Aún quedan hermosas residencias en Levittown Lakes, la comunidad completa que le ofrece tantas facilidades comunales y recreativas.

ESCOJA UNA DE ESTAS MAGNIFICAS CASAS

Modelo	Descripción	Precio de Contado	Financiamiento*	Mensualidades* (Estimado)
Vallejo	3 dormitorios 1 baño	\$27,500	Sin pronto pago	\$221.00
Córdova	3 dormitorios 2 baños	\$28,750	Sin pronto pago	\$233.00
Bilbao	4 dormitorios 2 baños	\$29,900	Sin pronto pago	\$241.00

*Incluye amortización de principal, intereses y seguro contra terremoto, huracán, fuego y cobertura adicional.
Cálculos basados en hipotecas garantizadas por la Administración de Vivienda a 30 años al 8 1/2 % anual en 360 mensualidades y solares de 353.50 metros cuadrados.
El cliente pagará únicamente la cantidad aproximada de \$300.00 para apertura gastos anticipados que exigirá el acreedor hipotecario.
Tipo de porcentaje anual: .0950

VENGA HOY MISMO A SEPARAR SU CASA.

Levittown LAKES

UNA COMUNIDAD DE LEVITT & SONS DE P. R., INC. TEL. 784-1440

Veterano

usted puede comprar su casa en Levittown Lakes SIN PRONTO PAGO



AUN QUEDAN HERMOSAS RESIDENCIAS EN LEVITTOWN LAKES, LA COMUNIDAD COMPLETA QUE LE OFRECE TANTAS FACILIDADES COMUNALES Y RECREATIVAS.

ESCOJA UNA DE ESTAS MAGNIFICAS CASAS SIN PRONTO PAGO.

MODELO	DESCRIPCION	PRECIO DE CONTADO	MENSUALIDADES* (ESTIMADO)
Vallejo	3 dormitorios 1 baño	\$27,990	\$225.00
Córdova	3 dormitorios 2 baños	\$28,990	\$233.00
Bilbao	4 dormitorios 2 baños	\$29,990	\$241.00

*Incluye amortización de principal, intereses y seguro contra terremoto, huracán, fuego y cobertura adicional.
Cálculos basados en hipotecas garantizadas por la Administración de Vivienda a 30 años al 8 1/2 % anual en 360 mensualidades y solares de 353.50 metros cuadrados.
El cliente pagará únicamente la cantidad aproximada de \$300.00 para apertura gastos anticipados que exigirá el acreedor hipotecario.
Tipo de porcentaje anual: .0950

Venga hoy mismo a separar su casa.

Levittown LAKES

UNA COMUNIDAD DE LEVITT & SONS DE P. R., INC. TEL. 784-1440

²⁶ El Mundo Newspaper. Puerto Rico. February 06, 1969. Page: 03.

²⁷ El Mundo Newspaper. Puerto Rico. September 07, 1973. Page: 18.

²⁸ El Mundo Newspaper. Puerto Rico. January 11, 1974. Page: 02.

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Levitt and Sons continued to develop other communities in Puerto Rico and in 1974 they were already announcing that they were leaving Levittown Lakes and moving to other projects²⁹. (Figure 47)

Figure 47: Leaving Levittown Lakes for other new projects advertisement.



²⁹ El Mundo Newspaper. Puerto Rico. March 01, 1974. Page: 18.



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During the time this development was under construction and growing up a lot has happened, community strikes³⁰ (Figure 48) occur because of construction issues and materials that were not properly installed or damaged, security concerns because of the population growth and lack of surveillance, among others. All these issues Levitt & Sons answered back to the community, some turned into legal situations, others using the publicity³¹ (Figure 49) to fix the image and continue selling houses in the community. After years passed it is noticeable how this kind of development, although innovative at the time and trying to fix the urban sprawl by being a “orderly urban expansion”³² and providing amenities that served the community; at the end, was one of the main contributors to Puerto Rico's urban sprawl (Figure 50) and conditioned today's urban morphology.

Figure 48: Levittown and Levittown Lakes residents on strike.



³⁰ El Mundo Newspaper. Puerto Rico. July 07, 1969. Page: 04.

³¹ El Mundo Newspaper. Puerto Rico. October 17, 1970. Page: 38.

³² URBE Magazine. Puerto Rico. September 01, 1963. Page: 00. Vol.6



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Figure 49: Levittown advertisement about peace and tranquil environment.

**Levittown Lakes
anuncia... paz y tranquilidad**

Y también accesibilidad! Porque ese mundo hermoso de Levittown Lakes, donde los niños se crían contentos, llenos de alegría y de vida se acerca ahora al centro de San Juan. La nueva Avenida El Caño pondrá a Levittown Lakes bien cerca de su trabajo... de la Universidad... de sus familiares y amigos. Y con la nueva Avenida El Caño usted podrá llegar en un momento al ambiente tranquilo de Levittown Lakes. Tendrá más tiempo para estar con la familia y con los hijos. Más tiempo para vivir la buena vida de Levittown Lakes. Esa buena vida... ese mundo apacible de lagos, de playa, con todas sus conveniencias de comunidad total y moderna tan cerca de la ciudad, puede ser suyo. Debe ser suyo! No espere para luego. Resérvelo para usted ahora. ¿Por qué debe comprar ahora? Porque en este momento usted compra a mejor precio. Después los precios ya no serán tan bajos. Con la nueva Avenida El Caño que pone a Levittown Lakes bien cerca de San Juan, serán muchos los que querrán comprar. Las casas valdrán más. Y habrá que pagar más por la buena vida. Venga a ver Levittown Lakes este fin de semana. Verá lo que es vivir con paz y tranquilidad.

Levittown LAKES
"Donde la buena vida comienza"

Precios desde \$12,900 hasta \$23,990 y pronto más bajos para veteranos.

Una Comunidad de Levitt & Sons de P. R., Inc. / P.O. Box 1001 San Juan, Puerto Rico 00918


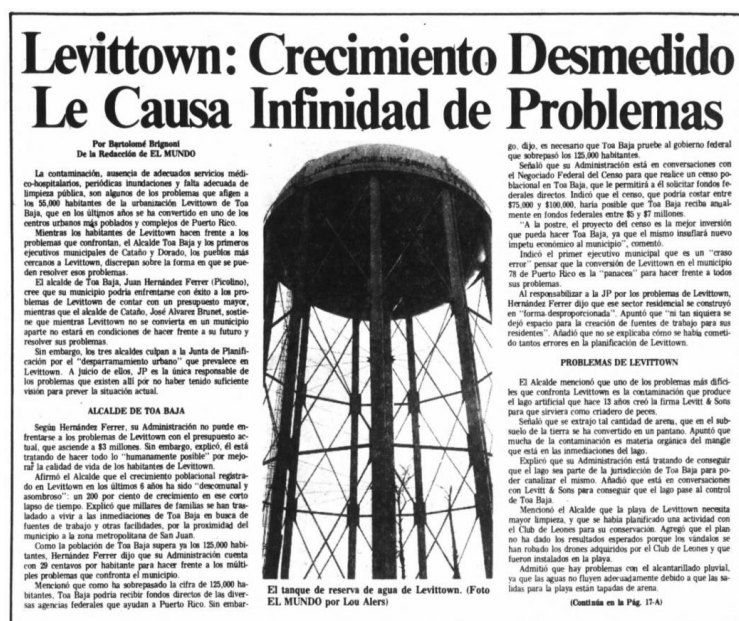
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Figure 50: News about the impact of Levittown in the urban sprawl and environmental concerns.³³



PROBLEMAS DE LEVITTOWN

El Alcalde mencionó que uno de los problemas más difíciles que confronta Levittown es la contaminación que produce el lago artificial que hace 13 años creó la firma Levitt & Sons para que sirviera como criadero de peces.

Señaló que se extrajo tal cantidad de arena, que en el subsuelo de la tierra se ha convertido en un pantano. Apuntó que mucha de la contaminación es materia orgánica del mangle que está en las inmediaciones del lago.

Explicó que su Administración está tratando de conseguir que el lago sea parte de la jurisdicción de Toa Baja para poder canalizar el mismo. Añadió que está en conversaciones con Levitt & Sons para conseguir que el lago pase al control de Toa Baja.

Levittown Lakes Park was an integral part of this development and was always advertised as a place that contributed to a better way of life³⁴. (Figure 51) After years without maintenance, it was converted into a place for plagues, with no or few maritime lives. (Figure 50) Now, with the proposed redevelopment of this park it is intended to provide a place to create community and contribute to Levittown Lakes way of life and at the same time enhance the historic qualities of the place.

The Levittown Lake Park has significance as a site to the Levittown Lakes development because since its construction it has maintained its location (same size), design (as per its landscape use), setting (the view to the lake has not been altered), feeling (as a place to interact with the community) and association, even though it has been impacted over time and materials and workmanship are not applicable. The rehabilitation of this landscape amenity will encourage the community to revitalize their own community and forge new memories as the previous Levittown Lake generations did in the past.

³³ El Mundo Newspaper. Puerto Rico. June 14, 1977. Page: 01.

³⁴ El Mundo Newspaper. Puerto Rico. May 24, 1969. Page: 25.

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Figure 51: Levittown Lakes advertisement with the park in the background.



Levittown Lakes le ofrece... su lago privado.

Levittown Lakes se está convirtiendo en la meta de los que cultivan los deportes acuáticos. Y esto, gracias a sus magníficos lagos. Levittown Lakes se ha dotado de las más modernas y amplias facilidades comunales y recreativas que urbanización alguna pueda tener. Aquí usted no vive una vida aislada dentro de cuatro paredes de hormigón, porque ese no ha sido nuestro propósito.

Aquí usted se contagia con la vida social, cultural, religiosa, cívica y deportiva de sus moradores. Levittown Lakes ofrece juegos para un nuevo modo de vida. Aquí además de poseer una casa bella, cómoda y bien hecha, su familia toda disfruta de una vida alegre y feliz!

Además de la construcción de primera calidad que preside el nombre de Levitt & Sons desarrollando, usted recibe más valor por su dinero con estos extras incluidos:

- Home y estufa empotrados General Electric.
- Nevera General Electric.
- Lavadora General Electric.
- Pisos en bellísimos diseños del nuevo material fabricado por "RUBENOID".
- Gabinetes de Cocina "ORBIT".
- Calentador de agua elemento doble, amplia capacidad.
- Tostador "toast-toast" en el baño.
- Terrazo sembrado con grama, árboles y arbustos.
- Y muchos más detalles de lujo.

PRECIOS DESDE \$10,990 HASTA \$20,990 Y PRONTOS DESDE \$995.
*No se incluyen taxes y seguros.

Levittown LAKES
"Donde la buena vida comienza"
Ruta 188 hacia Dorado Tel. 789-1442

Subrecipient: Autonomous Municipality of Toa Baja

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Determination


As mentioned before, the project is situated within the boundaries of the potentially eligible National Register of Historic Places (NRHP) Levittown housing development. However, in the past, the Area of Potential Effects underwent several modernization efforts that did not consider its historical input on its design and development. The closest archaeological site is TTB-H70, Area HC (Historic, Dock ruins) 357 m east from the APE (Refer to figure 52).

The following historic properties have been identified within the APE:

- Direct Effect - Archeology:
 - Levittown Passive Park construction footprint (c.1966). The park site occupies 6,046.89 square meters on the northeastern corner of Levittown Lake, along Levittown Boulevard (road PR-868), 170 meters south of its intersection with road PR-165.
- Indirect Effect - Archeology:
 - Blvd. Levittown, APE border to the east, 4,709 sq meters
 - Paseo Conde, south boundary 1,680 sq meters
 - Caribe St, northern boundary, 2,182 sq meters

Figure 52: Archeology APE.




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Levittown Lake Park has significance as a site to the Levittown Lakes development because since its construction it has maintained its location, design (as per its landscape use), setting, feeling and association, even though it has been impacted over time. Levittown Lakes development was part of the Levittown development, a potentially eligible district under Criterion A due to the significance and impact in the urban development of Puerto Rico.


The following historic properties have been identified within the APE:

- Direct Effect - Architecture:
 - The direct effects of the project will be at the footprint of the Levittown Lake Park which has been impacted over time and is where the project is located.
 - This site is not a registered property in any federal or state listing and is not considered to be eligible for inclusion in the NRHP but may contribute to the eligibility aspects and possibilities for Levittown development to become a historic district.
 - No adverse effect is foreseen as part of this project.
- Indirect Effect - Architecture:
 - The proposed project will have Indirect Effect on the surrounding Ave. Boulevard, the houses of the project and the condominium that are part of the Visual APE to the Levittown Lake Park project. (Refer to Appendix A) Even though they will be submitted to the visual and audible impacts due to the typical construction works, it will be of temporary nature. Therefore, it has been determined there will be a non-adverse impact on the surroundings.

Within the areas of direct or indirect impact the possibility of finding archaeological sites with stratigraphic integrity is very low. Likewise, Levittown Lake Park is not a registered property in any federal or state listing but may contribute to the eligibility aspects and possibilities for Levittown Development to become a historic district. a potentially eligible district under Criterion A due to the significance and impact in the urban development of Puerto Rico. Based on this, a No Adverse Effect determination is appropriate for this project. Based on the results of our historic property identification efforts, the Program has determined that project actions will

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not affect archaeological and /or standing historic cultural resources. The proposed project will be built within areas previously impacted or disturbed and will not have direct or undirects impacts since the construction focuses on Levittown Lake Park footprint.

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Recommendation *(Please keep on same page as SHPO Staff Section)*

The Puerto Rico Department of Housing requests that the Puerto Rico SHPO concur that the following determination is appropriate for the undertaking (Choose One):

- ☐ No Historic Properties Affected
☒ No Adverse Effect
 Condition (if applicable): N/A.
☐ Adverse Effect
 Proposed Resolution (if applicable)

This Section is to be Completed by SHPO Staff Only

The Puerto Rico State Historic Preservation Office has reviewed the above information and:	
<input type="checkbox"/> Concurs with the information provided. <input type="checkbox"/> Does not concur with the information provided.	
Comments:	
Carlos Rubio-Cancela State Historic Preservation Officer	Date:

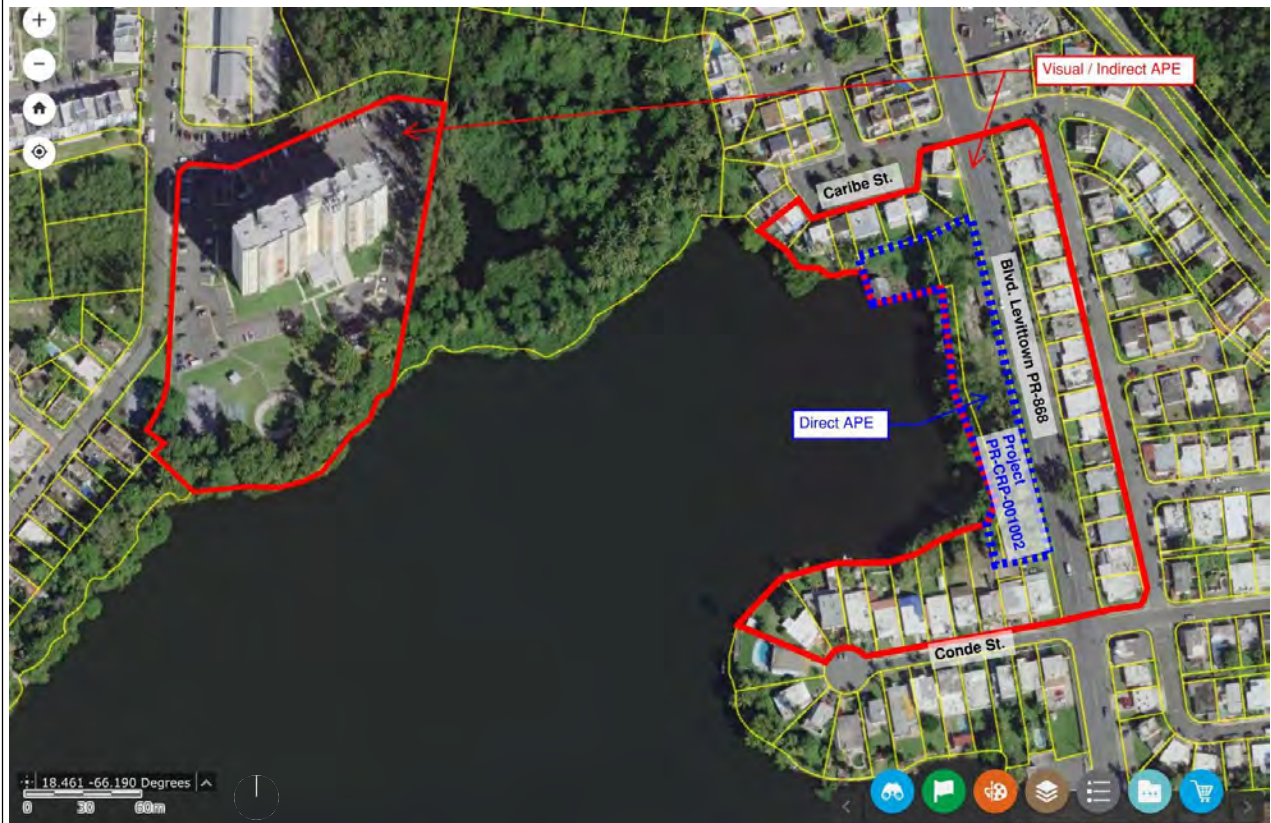
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Figure 53: Project (Parcel) Location – Area of Potential Effect Map (Aerial)

Direct and Indirect Area of Potential Effect in Architecture



Base Map Source: CRIMPR

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Figure 54: Project (Parcel) Location – Area of Potential Effect Map (Aerial)
Direct and Indirect Area of Potential Effect in Archaeology



The following historic properties have been identified within the APE:

- Direct Effect:
 - Levittown Passive Park construction footprint (1963). The park site occupies 6,046.89 square meters on the northeastern corner of Levittown Lake, along Levittown Boulevard (road PR-868), 170 meters south of its intersection with road PR-165.
- Indirect Effect:
 - o Blvd. Levittown, APE border to the east, 4,709 sq meters
 - o Paseo Conde, south boundary 1,680 sq meters
 - o Caribe St, northern boundary, 2,182 sq meters

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Figure 55: Project (Parcel) Location - USGS Topographic Map



Base Map Source: <https://ngmdb.usgs.gov/topoview/viewer/#>



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Figure 56: Project (Parcel) Location – Soils Map



Soil Survey Staff, Natural Resources Conservation Service, United States
Department of Agriculture. Web Soil Survey. Available online at the following
link: <http://websoilsurvey.sc.egov.usda.gov/>.

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Figure 57: Project (Parcel) Location with Previously Recorded Cultural Resources Satellite Image



Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Figure 58: Photograph Key





Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquecito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002



Photo #: 1

Description (include direction):

Date: 9/13/2023

Northern boundary of the property. There is an electric pole, palm tree, cement balls next to the sidewalk and a gazebo. Taken looking West.



Photo #:2

Description (include direction): Panoramic view of the property, taken looking West.

Date: 9/13/2023



Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002



Photo #: 3

Description (include direction):

Sothern boundary the property. There is an entrance to the courtyard of a house, a car chasey and a trailer. Cement balls align the sidewalk. Taken looking West.

Date: 9/13/2023



Photo #:4

Description (include direction): Western boundary of the property evidencing the decline of the topography towards the lake and towards the cement terrace on the lake where the gazebo is located. Taken looking South.

Date: 9/13/2023



Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002



Photo #:5

Description (include direction): Panoramic view of the southern stretch of the property, looking north. Grass, a trailer in the foreground, large trees occupy the background.

Date:

7

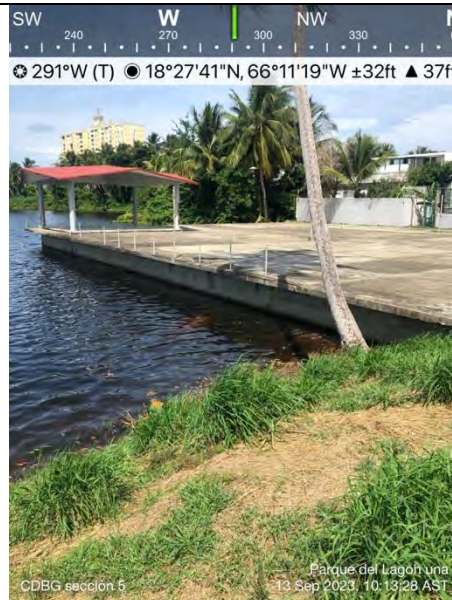


Photo #:6

Description (include direction):): Decline of the topography towards the lake and the cement terrace where the gazebo is located. Taken looking northwest.

Date:

Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquecito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002



Photo #:7

Description (include direction): Lake shore and the cement terrace where the gazebo is located. Taken looking northeast.

Date:



Photo #:8

Description (include direction): Lake and the cement terrace where the gazebo is located. Taken looking south.

Date:

Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parqucito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002



Photo #:9

Description (include direction):): Panoramic view of the northern stretch of the property, looking south. Grass, a large cement floor structure trailer in the foreground, large trees occupy the background.

Date:



Photo #:10

Description (include direction): Decline of the topography towards the lake and rectangular cement structure along the water's edge. Southern boundary at the background. Taken due South.

Date:

Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002



Photo #:11

Description (include direction): rectangular cement structure along the water's edge, decline of the topography towards the lake, large trees in the background and. Taken looking North.

Date:



Photo #:12

Description (include direction): Storm drain, road-side ditch, electrical manhole on the sidewalk, cement balls aligning sidewalk and vehicle traffic can be observed along Blvd. Levittown. Taken looking South.

Date:

Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002



Photo #:13

Description (include direction): Road-side ditch, sidewalk, cement balls aligning sidewalk and vehicle traffic can be observed along Blvd. Levittown. Taken looking North.

Date:



Photo #:14

Description (include direction): Manhole on sidewalk, Road-side ditch, sidewalk, aligning cement balls and electrical pole and vehicle traffic can be observed along Blvd. Levittown. Taken looking North.

Date:

Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquecito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002



Photo #:15

Description (include direction): Panoramic view center stretch of the property, looking southeast. Large trees occupy this section along the lake.

Date:



Photo #:16

Description (include direction): Decline of topography towards the lake, looking south.

Date:



Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquesito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002



Photo #:17

Description (include direction): Cement ramp, steps, and platform along the water's edge central section of the property. Looking north.

Date:

Photo #:

Description (include direction):

Date:

Appendix A

606 Barbosa Avenue, Building Juan C. Cordero Dávila, Río Piedras, PR 00918 | P.O. Box 21365 San Juan, PR 00928-1365

Tel: (787)274-2527 | www.vivienda.pr.gov

Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquecito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Figure 59: Levittown Lakes Park - APE Inventory



Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

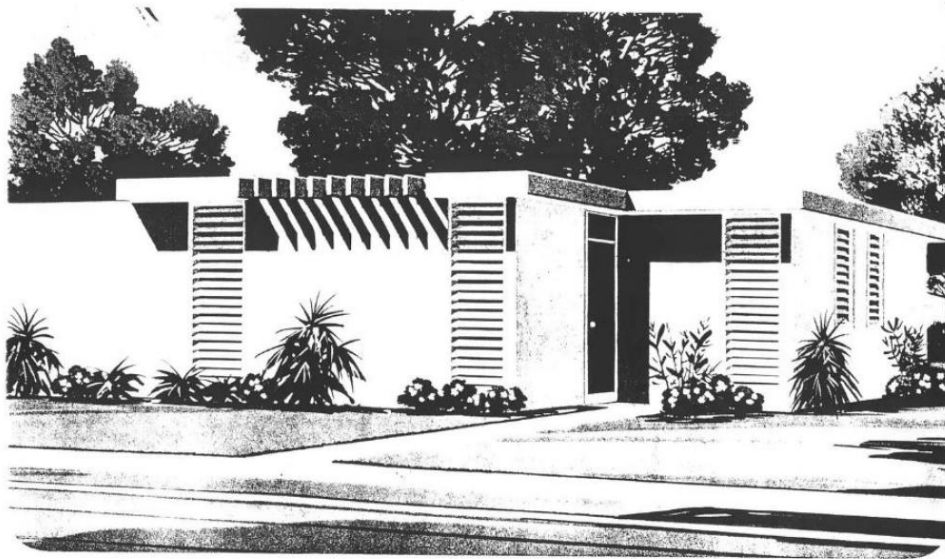
Project Number: PR-CRP-001002

Image No. 001	Date photo taken: 10/12/2023
	
Parcel/Lot #: Cadastral Number	038-030-215-08-001
Address:	Urb. Levittown Lakes, CC51, Paseo Conde. Levittown, Toa Baja, P.R.
Name / Historic name:	N/A
Approx. Constr. Date/Style:	c. 1966
NRHP Status or Eligibility/Other:	Not Eligible.
<p>Description (include direction of image and other important information): House main façade, photo taken looking northwest. It seems that original façade design was altered through time.</p>	
<p>Historic Image This property has shared characteristics to the Levittown "La Broche de Oro" style promoted in a 1964 brochure. The location of the windows and entrance (now closed) are shared qualities in this property. Car porch (now closed) seems to have shift side due to the conditions and location of the site.</p>	

Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquecito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

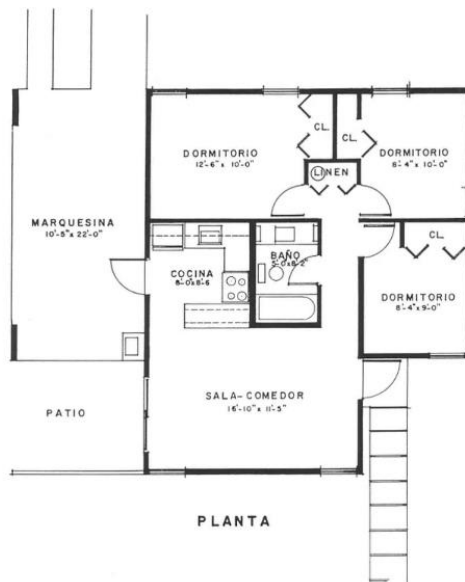


LA BROCHE DE ORO
3 dormitorios, 1 baño, marquesina

Fíjese en la belleza de esta casa y admire las comodidades que le ofrece. Usted creerá que se trata de una costosa residencia, y se asombrará cuando conozca su bajísimo precio. La "BROCHE DE ORO" tiene tres acogedores y amplios dormitorios, cada uno con su "closet" de puerta plegadiza forrada con vinyl. La sala-comedor se comunica con el patio semi-interior mediante puertas corre-

dizas de cristal. La marquesina queda fuera de la vista del que pasa frente a la casa, y se presta para utilizarse de terraza familiar. El baño en azulejos tiene bonito equipo en colores. Estudie el plano con detenimiento y verá cuánto más recibe usted por tan poco costo.

LA BROCHE DE ORO



Otras ventajas sin cargo adicional son construcción de hormigón armado, los pisos de terrazo monolítico, puertas revestidas en caoba, conductos telefónicos, ventanas de aluminio y pormenor de cobre. Grama, árboles, arbustos.

Levittown
DE PUERTO RICO

DE PUERTO RICO, CARRETERA CATAÑO-DORADO KM 5
TEL. 338-2200 Y 338-2100. AMANECIDO CON CANTINERO MARIANO



Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Image No. 002

Date photo taken: 10/12/2023



Parcel/Lot #:

Cadaster Number

038-030-214-09-001

Address:

Urb. Levittown Lakes, CC50, Paseo Conde. Levittown, Toa Baja, P.R.

Name / Historic name:

N/A

Approx. Constr. Date/Style:

c. 1966

NRHP Status or Eligibility/Other:

Not Eligible.

Description (include direction of image and other important information):

House main façade, photo taken looking north. It seems that the original façade design was altered through time, making it difficult to find what the original design might be with the information available.

Historic Image

Various two-story houses were designed as part of the Levittown and Levittown Lakes developments. The alterations made to this house making it difficult to find what the original design might be with the information available.



Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Levittown 1964 brochure:



La "ESMERALDA"

4 dormitorios, 2½ baños, 2 balcones, terraza, marquesina

He aquí lo que parecía increíble hasta que LEVITTOWN lo hizo realidad: una hermosa residencia de los plantas por un precio excepcionalmente bajo. Diseño del mayor gusto y grandes comodidades: cuatro dormitorios, dos balcones, 2½ baños, marquesina y terraza. En la primera planta están la sala, el comedor, la cocina, los balcones, 1½ baño y la marquesina. Todo el espacio que usted necesita para vivir cómodamente y para atender sus visitas.

En la segunda planta, al fresco, están los cuatro dormitorios cada uno con un amplio "closet." Hay además dos baños y un "closet" adicional para la ropa blanca. El dormitorio principal tiene baño privado, y acceso directo a la amplia terraza de 10' 6" x 20', desde donde se disfruta el bello paisaje. El estilo "ESMERALDA" incluye también sin cargo adicional una moderna lavadora automática General Electric.

Levittown Lakes 1966 advertisement:

606 Barbosa Avenue, Building Juan C. Cordero Dávila, Río Piedras, PR 00918 | P.O. Box 21365 San Juan, PR 00928-1365

Tel: (787)274-2527 | www.vivienda.pr.gov



Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Levittown Lakes 1972 brochure:

**MODELO
Alcalá**

Esta lujosa residencia de dos pisos, reúne características interiores y exteriores que son un despliegue de elegancia y comodidad. Su bella fachada, su magnífica terraza de 20 pies en el segundo piso con barandales en hierro ornamental, y su porch frontal a todo lo largo de la fachada principal, acentúan su estilo señorial. En la planta baja, bellísimas losetas de terrazo realzan la elegancia y el lujo de esta cómoda residencia. Una espaciosa sala, abre al exterior a través de dos puertas dobles con celosías de "redwood". Un amplio comedor con puerta corrediza de cristal le conduce al jardín, donde usted disfrutará de la bella naturaleza tropical. También en la planta baja, se halla una amplia cocina debidamente equipada con modernos gabinetes y lo suficientemente espaciosa para habitar un área de comedor adicional. Adyacente a la cocina, un área cubierta para laundry. Y por supuesto, la tradicional y amplia marquesina.

En la planta superior, además de la cómoda y fresca terraza exterior, están los cuatro amplios dormitorios para la familia. Y los dos cuartos de baño, decorados con azulejos y con lavamanos ovalados, empotrados en tocador "marble-ized". Un pasillo central, con barandales en hierro ornamental conecta las habitaciones y los baños. De cualquier ángulo que la mire, La Alcalá es una casa de regia apariencia en... Levittown Lakes.

Levittown
LAKES
"Donde la buena vida comienza"



Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Image No. 003

Date photo taken: 10/12/2023



Parcel/Lot #:

Cadaster Number

038-030-214-08-001

Address:

Urb. Levittown Lakes, CC49, Paseo Conde. Levittown, Toa Baja, P.R.

Name / Historic name:

N/A

Approx. Constr. Date/Style:

c. 1966

NRHP Status or Eligibility/Other:

Not Eligible.

Description (include direction of image and other important information):

House main façade, photo taken looking north. It seems that the original façade design was altered through time, making it difficult to find what the original design might be with the information available.

Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Image No. 004

Date photo taken: 10/12/2023



Parcel/Lot #:

038-030-214-07-001

Cadaster Number

Address:

Urb. Levittown Lakes, CC48, Paseo Conde. Levittown, Toa Baja, P.R.

Name / Historic name:

N/A

Approx. Constr. Date/Style:

c. 1966

NRHP Status or Eligibility/Other:

Not Eligible.

Description (include direction of image and other important information):

House main façade, photo taken looking north. It seems that original façade design was altered through time.

Historic Image

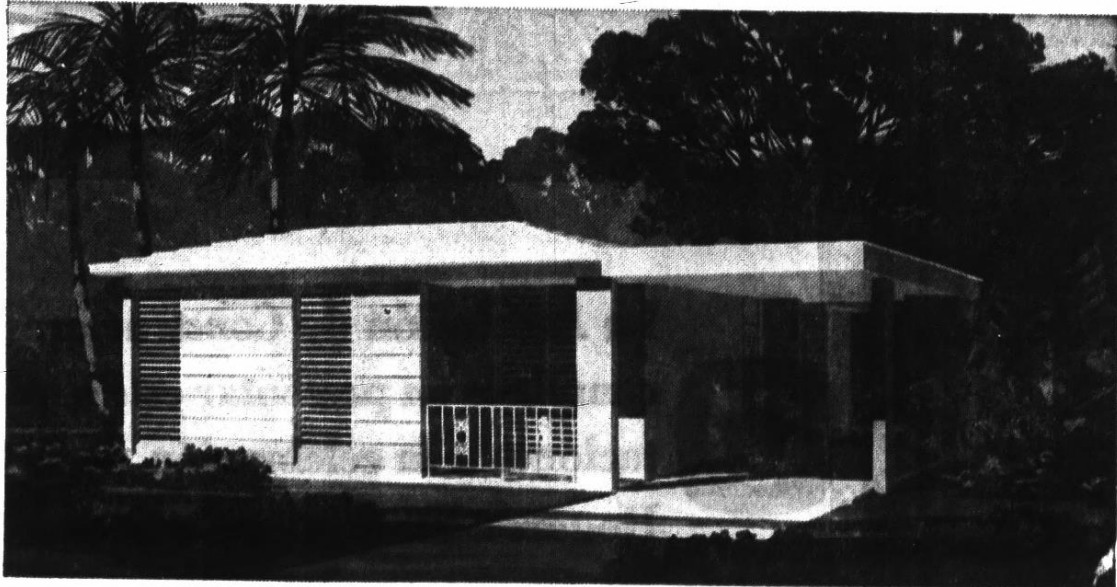
This property has shared characteristics to the Levittown Lakes "La Jamaica" style promoted in El Mundo newspaper on October 8, 1966, page 34. The location of windows, balcony, car porch (now closed) and stepped hip roof are shared qualities in this property.



Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquecito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002



LA JAMAICA
\$17,990

4 Dormitorios, 2 baños

Pronto pago: \$790

Mensualidades: \$114

Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Image No. 005

Date photo taken: 10/12/2023



Parcel/Lot #:

Cadaster Number

038-030-214-06-001

Address:

Urb. Levittown Lakes, CC47, Paseo Conde. Levittown, Toa Baja, P.R.

Name / Historic name:

N/A

Approx. Constr. Date/Style:

c. 1966

NRHP Status or Eligibility/Other:

Not Eligible.

Description (include direction of image and other important information):

House main façade, photo taken looking north. It seems that original façade design was altered through time.

Historic Image

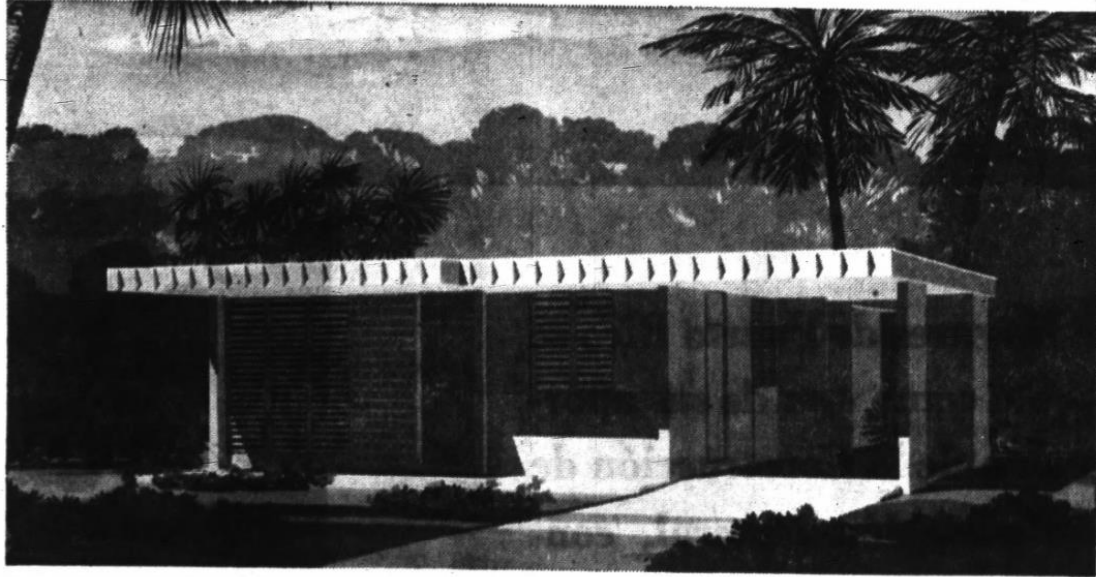
This property has shared characteristics to the Levittown Lakes "La Lucerne" style promoted in El Mundo newspaper on October 8, 1966, page 34. The location of windows, balcony, car porch (now closed) and extended and semi-recessed overhang are shared qualities in this property.



Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquecito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002



LA LUCERNE

\$16,990

3 Dormitorios, 2 baños

**Pronto
pago:**

\$690


Mensualidades:

\$108

Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquecito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Image No. 006	Date photo taken: 10/12/2023
	
Parcel/Lot #: Cadastral Number	038-030-214-05-001
Address:	Urb. Levittown Lakes, CC46, Paseo Conde. Levittown, Toa Baja, P.R.
Name / Historic name:	N/A
Approx. Constr. Date/Style:	c. 1966
NRHP Status or Eligibility/Other:	Not Eligible.
<p>Description (include direction of image and other important information): House main façade, photo taken looking north. It seems that the original façade design was altered through time, making it difficult to find what the original design might be with the information available.</p>	

Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Image No. 007

Date photo taken: 10/12/2023



Parcel/Lot #:

Cadaster Number

038-030-214-04-001

Address:

Urb. Levittown Lakes, CC45, Paseo Conde. Levittown, Toa Baja, P.R.

Name / Historic name:

N/A

Approx. Constr. Date/Style:

c. 1966

NRHP Status or Eligibility/Other:

Not Eligible.

Description (include direction of image and other important information):

House main façade, photo taken looking north. It seems that original façade design was altered through time.

Historic Image

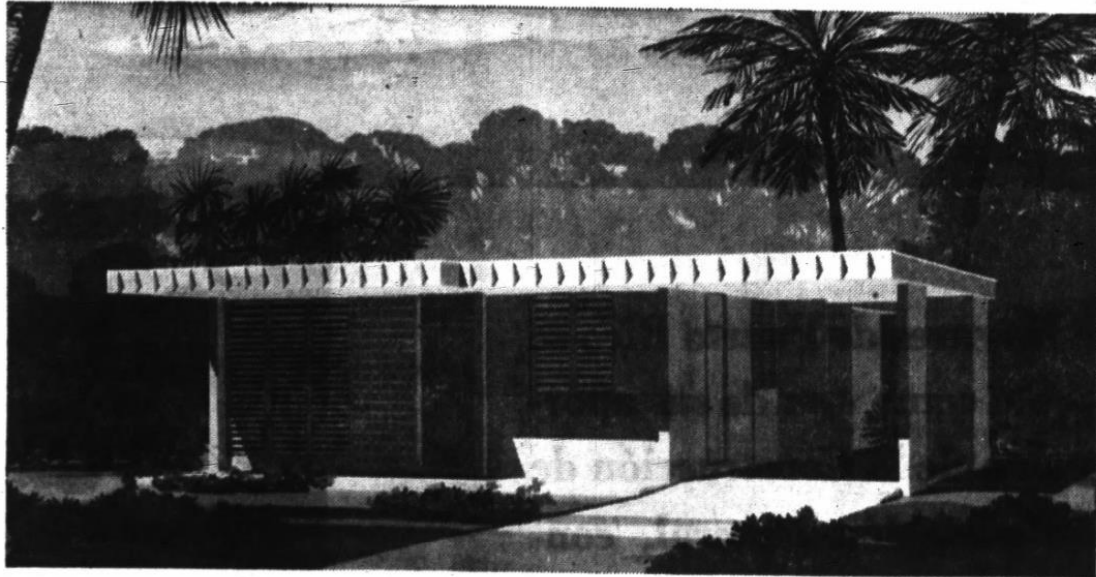
This property has shared characteristics to the Levittown Lakes "La Lucerne" style promoted in El Mundo newspaper on October 8, 1966, page 34. The location of windows (which the one at the left side seems to have closed part of the original balcony), balcony, car porch and extended and semi-recessed overhang, as well as the location of wall between the car porch and the wall with the window are shared qualities in this property.



Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquecito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002



LA LUCERNE

\$16,990

3 Dormitorios, 2 baños

**Pronto
pago:**

\$690

Mensualidades:

\$108

Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Image No. 008

Date photo taken: 10/12/2023



Parcel/Lot #:

038-030-214-03-001

Cadaster Number

Address:

Urb. Levittown Lakes, CC44, Paseo Conde. Levittown, Toa Baja, P.R.

Name / Historic name:

N/A

Approx. Constr. Date/Style:

c. 1966

NRHP Status or Eligibility/Other:

Not Eligible.

Description (include direction of image and other important information):

House main façade, photo taken looking north. It seems that the original façade design was altered through time, making it difficult to find what the original design might be with the information available. The moment this picture was taken the house was under big renovation works.

Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Image No. 009

Date photo taken: 10/12/2023



Parcel/Lot #:

Cadaster Number

038-030-214-02-001

Address:

Urb. Levittown Lakes, CC43, Paseo Conde. Levittown, Toa Baja, P.R.

Name / Historic name:

N/A

Approx. Constr. Date/Style:

c. 1966

NRHP Status or Eligibility/Other:

Not Eligible.

Description (include direction of image and other important information):

House main façade, photo taken looking north. It seems that original façade design was altered through time.

Historic Image

This property has shared characteristics to the Levittown Lakes "Córdoba" style promoted in a 1972 brochure. The location of windows, long balcony, car porch and continuous overhang are shared qualities in this property.



Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002



MODELO **Córdoba**

El modelo Córdoba tiene un hermoso balcón a todo lo largo del frente de la casa, con barandales en hierro ornamental, que hace que su fachada luzca tradicional y elegante. Las áreas de sala y comedor quedan separadas. El comedor ofrece comodidad adicional mediante una barrita con tope de formica, muy útil para tomar el desayuno o servirles la comida a los niños. La puerta de la cocina abre hacia una espaciosa marquesina donde se encuentra el área preparada para laundry y un closet exterior. De diseño funcional y práctico para su mayor comodidad, este modelo tiene un pasillo central, que conecta los tres amplios dormitorios. En este pasillo se encuentran el closet para la ropa de cama, y dos utilísimos closets más. El espacioso baño familiar, decorado con azulejos y con un lavamanos ovalado empotrado en tocador "marble-ized", está localizado en el pasillo

central para fácil acceso y privacidad. Un segundo baño, está localizado en el dormitorio principal. El reluciente piso de losetas de terrazo realza la belleza del modelo Córdoba. Sus celosías de "redwood" en la sala, que llegan hasta el suelo, le dan un toque de elegancia a esta hermosa residencia y la mantienen debidamente ventilada y fresca durante todo el año en... Levittown Lakes.

Levittown
LAKES
"Donde la buena vida comienza"

Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Image No. 010

Date photo taken: 10/12/2023



Parcel/Lot #:

Cadaster Number

038-030-214-01-001

Address:

Urb. Levittown Lakes, CC42, Paseo Conde. Levittown, Toa Baja, P.R.

Name / Historic name:

N/A

Approx. Constr. Date/Style:

c. 1966

NRHP Status or Eligibility/Other:

Not Eligible.

Description (include direction of image and other important information):

House main façade, photo taken looking north. It seems that original façade design was altered through time.

Historic Image

This property has shared characteristics to the Levittown Lakes "Córdoba" style promoted in a 1972 brochure. The location of windows, long balcony, car porch and continuous overhang are shared qualities in this property.



Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002



MODELO **Córdoba**

El modelo Córdoba tiene un hermoso balcón a todo lo largo del frente de la casa, con barandales en hierro ornamental, que hace que su fachada luzca tradicional y elegante. Las áreas de sala y comedor quedan separadas. El comedor ofrece comodidad adicional mediante una barrita con tope de formica, muy útil para tomar el desayuno o servirles la comida a los niños. La puerta de la cocina abre hacia una espaciosa marquesina donde se encuentra el área preparada para laundry y un closet exterior. De diseño funcional y práctico para su mayor comodidad, este modelo tiene un pasillo central, que conecta los tres amplios dormitorios. En este pasillo se encuentran el closet para la ropa de cama, y dos utilísimos closets más. El espacioso baño familiar, decorado con azulejos y con un lavamanos ovalado empotrado en tocador "marble-ized", está localizado en el pasillo

central para fácil acceso y privacidad. Un segundo baño, está localizado en el dormitorio principal. El reluciente piso de losetas de terrazo realza la belleza del modelo Córdoba. Sus celosías de "redwood" en la sala, que llegan hasta el suelo, le dan un toque de elegancia a esta hermosa residencia y la mantienen debidamente ventilada y fresca durante todo el año en... Levittown Lakes.

Levittown
LAKES
"Donde la buena vida comienza"

Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquecito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Image No. 011

Date photo taken: 10/12/2023



Parcel/Lot #:

Cadaster Number

038-020-136-18-001

Address:

Urb. Levittown Lakes, 3649, Blvd. Levittown & Concha St.
Levittown, Toa Baja, P.R.

Name / Historic name:

N/A

Approx. Constr. Date/Style:

c. 1966

NRHP Status or Eligibility/Other:

Not Eligible.

Description (include direction of image and other important information):

House main façade, photo taken looking east. It seems that the original façade design was altered through time, making it difficult to find what the original design might be with the information available.

Historic Image

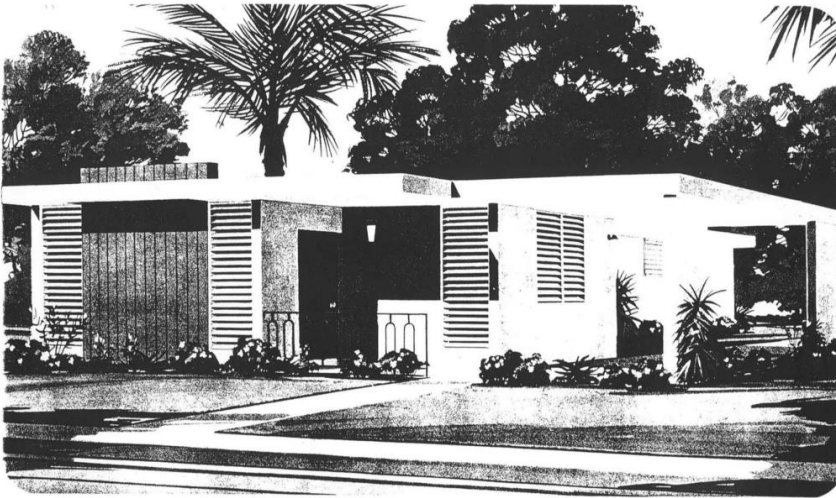
This property has shared characteristics to the Levittown "La Diadema" style promoted in a 1964 brochure. The location of the windows at the right side of the image with the extended wall, over the roof between windows, resembles this design. It can be inferred that the balcony and car porch area was closed and extended to make a bigger house.



Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquecito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002



LA DIADEMA
4 dormitorios, 2 baños, balcón, marquesina

Mire qué belleza. ¿Verdad que invita a entrar? Millares de familias han soñado con esta residencia que ahora LEVITTOWN hace realidad.

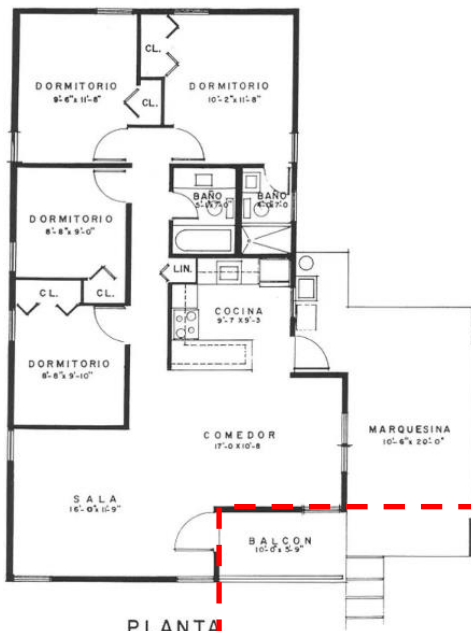
El espacio interior ha sido distribuido de modo que usted lo aproveche todo con verdadera comodidad funcional. Sus bellos interiores se prestan para que usted la decore con gusto.

El estilo "DIADEMA" tiene cuatro cómodos dormitorios cada uno con

amplio "closet" de puertas plegadizas, dos baños, sala, comedor, balcón y marquesina. El dormitorio principal tiene baño privado. A usted le encantará ésta casa.

El estilo "Diadema" incluye también sin cargo adicional una moderna lavadora automática General Electric.

LA DIADEMA



PLANTA

SIN COSTO ADICIONAL: Estufa y horno eléctrico, nevera de 12 pies cúbicos, máquina de lavar automática, todo GENERAL ELECTRIC. También modernos gabinetes de cocina por ORBIT y calentador de 30 gals.
Otras facilidades sin costo adicional son construcción de muros, pisos, techos, ventanas, puertas, paredes, puertas revestidas de caoba, conductos para teléfono, ventanas de aluminio y plomería de cobre. Grama, árboles, arbustos.

Levittown

DE PUERTO RICO - CARRETERA CAYASO DOMINGO #148 B
TEL. (787) 274-2527 FAX (787) 274-2527



Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquecito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Image No. 012

Date photo taken: 10/12/2023



Parcel/Lot #:

Cadaster Number

038-020-136-17-001

Address:

Urb. Levittown Lakes, 3648, Blvd. Levittown & Concha St.
Levittown, Toa Baja, P.R.

Name / Historic name:

N/A

Approx. Constr. Date/Style:

c. 1966

NRHP Status or Eligibility/Other:

Not Eligible.

Description (include direction of image and other important information):

House main façade, photo taken looking east. It seems that the side of the house that faces the project is the rear side of the house. Outside elements impede a clear view to perceive the architectural characteristics of the house.

Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Image No. 013

Date photo taken: 10/12/2023



Parcel/Lot #:

038-020-136-16-001

Cadaster Number

Address:

Urb. Levittown Lakes, 3647, Blvd. Levittown & Concha St.
Levittown, Toa Baja, P.R.

Name / Historic name:

N/A

Approx. Constr. Date/Style:

c. 1966

NRHP Status or Eligibility/Other:

Not Eligible.

Description (include direction of image and other important information):

House rear façade, photo taken looking east. It seems that the side of the house that faces the project is the rear side of the house. Outside elements impede a clear view to perceive the architectural characteristics of the house.



Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Image No. 014

Date photo taken: 10/12/2023



Parcel/Lot #:

Cadaster Number

038-020-136-15-001

Address:

Urb. Levittown Lakes, Y 3646, Blvd. Levittown & Concha St.
Levittown, Toa Baja, P.R.

Name / Historic name:

N/A

Approx. Constr. Date/Style:

c. 1966

NRHP Status or Eligibility/Other:

Not Eligible.

Description (include direction of image and other important information):

House rear façade, photo taken looking east. It seems that the side of the house that faces the project is the rear side of the house. Outside elements impede a clear view to perceive the architectural characteristics of the house.

Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquecito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Image No. 015

Date photo taken: 10/12/2023



Parcel/Lot #:

Cadaster Number

038-020-136-14-001

Address:

Urb. Levittown Lakes, 3645, Blvd. Levittown & Concha St.
Levittown, Toa Baja, P.R.

Name / Historic name:

N/A

Approx. Constr. Date/Style:

c. 1966

NRHP Status or Eligibility/Other:

Not Eligible.

Description (include direction of image and other important information):

House main façade, photo taken looking east. This house seems to have well preserved the characteristics of the original design; the only perceived addition seems to be the metal gates installed for security reasons.

Historic Image

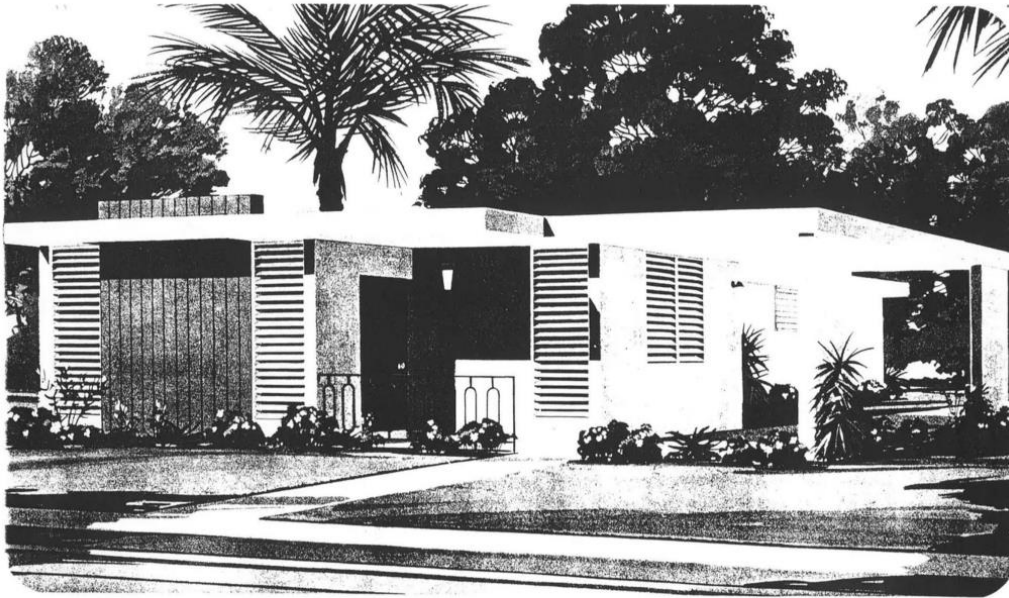
This property has shared characteristics to the Levittown "La Diadema" style promoted in a 1964 brochure. The location of the windows, entrance and car porch are shared qualities in this property.



Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002



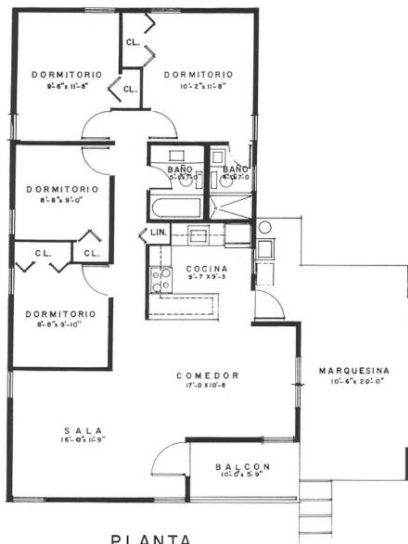
LA DIADEMA

4 dormitorios, 2 baños, balcón, marquesina

Mire qué belleza. ¿Verdad que invita a entrar? Millares de familias han soñado con esta residencia que ahora LEVITTOWN hace realidad. El espacio interior ha sido distribuido de modo que usted lo aprovecha todo con verdadera comodidad funcional. Sus bellos interiores se prestan para que usted la decore con gusto. El estilo "DIADEMA" tiene cuatro cómodos dormitorios cada uno con

amplio "closet" de puertas plegadizas, dos baños, sala, comedor, balcón y marquesina. El dormitorio principal tiene baño privado. A usted le encantará ésta casa. El estilo "Diadema" incluye también sin cargo adicional una moderna lavadora automática General Electric.

LA DIADEMA



PLANTA

SIN COSTO ADICIONAL: Estufa y horno eléctrico, nevera de 12 pies cúbicos, máquina de lavar automática, todo GENERAL ELECTRIC. También: modernos gabinetes de cocina por ORBIT y calentador de 30 gal. Otras facilidades sin costo adicional son construcción de hormigón armado, piso de terrazo monolítico, puertas revestidas de caño, conductos para teléfono, ventanas de aluminio y plomería de cobre. Grama, árboles, arbustos.

Levittown
CORPORACIÓN LEVITTOWN, INC. LEVITTOWN, PENNSYLVANIA, U.S.A.
19002-1000 • TEL: 215-261-1000 • FAX: 215-261-1001 • WWW.LEVITTOWN.COM

Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Image No. 016

Date photo taken: 10/12/2023



Parcel/Lot #:

Cadaster Number

038-020-136-13-001

Address:

Urb. Levittown Lakes, 3644, Blvd. Levittown & Concha St.
Levittown, Toa Baja, P.R.

Name / Historic name:

N/A

Approx. Constr. Date/Style:

c. 1966

NRHP Status or Eligibility/Other:

Not Eligible.

Description (include direction of image and other important information):

House rear façade, photo taken looking east. It seems that the side of the house that faces the project is the rear side of the house. It can be perceived that new windows were installed recently.



Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Image No. 017

Date photo taken: 10/12/2023



Parcel/Lot #:

Cadaster Number

038-020-136-12-001

Address:

Urb. Levittown Lakes, 3643, Blvd. Levittown & Concha St.
Levittown, Toa Baja, P.R.

Name / Historic name:

N/A

Approx. Constr. Date/Style:

c. 1966

NRHP Status or Eligibility/Other:

Not Eligible.

Description (include direction of image and other important information):

House main façade, photo taken looking east. It seems that the original façade design was altered through time, making it difficult to find what the original design might be with the information available.



Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Image No. 018

Date photo taken: 10/12/2023



Parcel/Lot #:

Cadaster Number

038-020-136-11-001

Address:

Urb. Levittown Lakes, Y 3642, Blvd. Levittown & Concha St.
Levittown, Toa Baja, P.R.

Name / Historic name:

N/A

Approx. Constr. Date/Style:

c. 1966

NRHP Status or Eligibility/Other:

Not Eligible.

Description (include direction of image and other important information):

House main façade, photo taken looking east. It seems that the original façade design was altered through time, making it difficult to find what the original design might be with the information available.



Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Image No. 019

Date photo taken: 10/12/2023



Parcel/Lot #:

Cadaster Number

038-020-136-10-001

Address:

Urb. Levittown Lakes, 3641, Blvd. Levittown & Concha St.
Levittown, Toa Baja, P.R.

Name / Historic name:

N/A

Approx. Constr. Date/Style:

c. 1966

NRHP Status or Eligibility/Other:

Not Eligible.

Description (include direction of image and other important information):

House main façade, photo taken looking east.

Historic Image

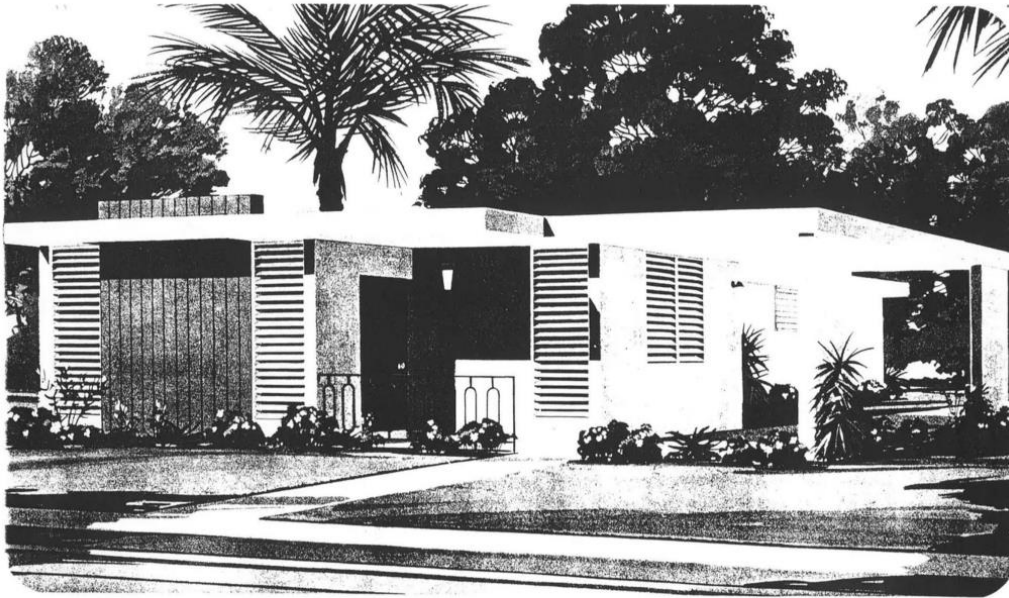
This property has shared characteristics to the Levittown "La Diadema" style promoted in a 1964 brochure. The location of the windows, entrance and car porch (closed for additional space) are shared qualities in this property.



Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002



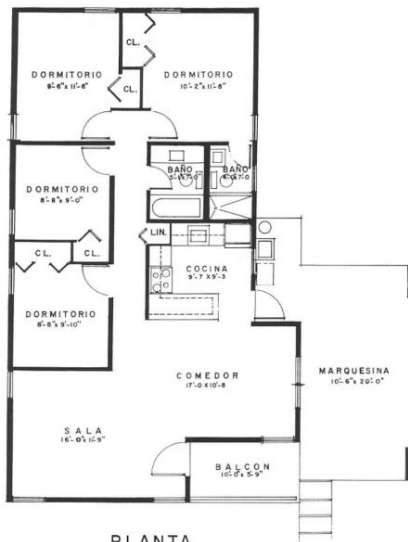
LA DIADEMA

4 dormitorios, 2 baños, balcón, marquesina

Mire qué belleza. ¿Verdad que invita a entrar? Millares de familias han soñado con esta residencia que ahora LEVITTOWN hace realidad. El espacio interior ha sido distribuido de modo que usted lo aprovecha todo con verdadera comodidad funcional. Sus bellos interiores se prestan para que usted la decore con gusto. El estilo "DIADEMA" tiene cuatro cómodos dormitorios cada uno con

amplio "closet" de puertas plegadizas, dos baños, sala, comedor, balcón y marquesina. El dormitorio principal tiene baño privado. A usted le encantará ésta casa. El estilo "Diadema" incluye también sin cargo adicional una moderna lavadora automática General Electric.

LA DIADEMA



PLANTA

SIN COSTO ADICIONAL: Estufa y horno eléctrico, nevera de 12 pies cúbicos, máquina de lavar automática, todo GENERAL ELECTRIC. También: modernos gabinetes de cocina por ORBIT y calentador de 30 gal. Otras facilidades sin costo adicional son construcción de hormigón armado, piso de terrazo monolítico, puertas revestidas de caño, conductos para teléfono, ventanas de aluminio y plomería de cobre. Grama, árboles, arbustos.

Levittown
CORPORACIÓN LEVITTOWN, INC. LEVITTOWN, PENNSYLVANIA, U.S.A.
19001-1000 • TEL: 215-261-1000 • FAX: 215-261-1001 • WWW.LEVITTOWN.COM



Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Image No. 020

Date photo taken: 10/12/2023



Parcel/Lot #:

Cadaster Number

038-020-136-09-001

Address:

Urb. Levittown Lakes, 3640, Blvd. Levittown & Concha St.
Levittown, Toa Baja, P.R.

Name / Historic name:

N/A

Approx. Constr. Date/Style:

c. 1966

NRHP Status or Eligibility/Other:

Not Eligible.

Description (include direction of image and other important information):

Commercial building main façade, photo taken looking east. It seems that the original façade design was altered through time, making it difficult to find what the original design might be with the information available.

Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Image No. 021

Date photo taken: 10/12/2023



Parcel/Lot #:

038-020-136-08-001

Cadaster Number

Address:

Urb. Levittown Lakes, 3639, Blvd. Levittown & Concha St.
Levittown, Toa Baja, P.R.

Name / Historic name:

N/A

Approx. Constr. Date/Style:

c. 1966

NRHP Status or Eligibility/Other:

Not Eligible.

Description (include direction of image and other important information):

House main façade, photo taken looking east. Outside elements impede a clear view to perceive the architectural characteristics of the house.



Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Image No. 022

Date photo taken: 10/12/2023



Parcel/Lot #:

Cadaster Number

038-020-136-07-001

Address:

Urb. Levittown Lakes, 3638, Blvd. Levittown & Concha St.
Levittown, Toa Baja, P.R.

Name / Historic name:

N/A

Approx. Constr. Date/Style:

c. 1966

NRHP Status or Eligibility/Other:

Not Eligible.


Description (include direction of image and other important information):

House rear façade, photo taken looking east. Outside elements impede a clear view to perceive the architectural characteristics of the house.

Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquecito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Image No. 023	Date photo taken: 10/12/2023
	
Parcel/Lot #: Cadaster Number	038-020-136-06-001
Address:	Urb. Levittown Lakes, Y 3637, Blvd. Levittown & Concha St. Levittown, Toa Baja, P.R.
Name / Historic name:	N/A
Approx. Constr. Date/Style:	c. 1966
NRHP Status or Eligibility/Other:	Not Eligible.
<p>Description (include direction of image and other important information): House rear façade, photo taken looking east. Outside elements impede a clear view to perceive the architectural characteristics of the house.</p>	

Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquecito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Image No. 024

Date photo taken: 10/12/2023



Parcel/Lot #:

Cadaster Number

038-020-136-05-001

Address:

Urb. Levittown Lakes, Y 3636, Blvd. Levittown & Concha St.
Levittown, Toa Baja, P.R.

Name / Historic name:

N/A

Approx. Constr. Date/Style:

c. 1966

NRHP Status or Eligibility/Other:

Not Eligible.

Description (include direction of image and other important information):

House rear façade, photo taken looking east. It seems that the side of the house that faces the project is the rear side of the house, and that the original façade design was altered through time, making it difficult to find what the original design might be with the information available.



Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Image No. 025

Date photo taken: 10/12/2023



Parcel/Lot #:

Cadaster Number

038-020-136-04-001

Address:

Urb. Levittown Lakes, Y 3635, Blvd. Levittown & Concha St.
Levittown, Toa Baja, P.R.

Name / Historic name:

N/A

Approx. Constr. Date/Style:

c. 1966

NRHP Status or Eligibility/Other:

Not Eligible.

Description (include direction of image and other important information):

House main façade, photo taken looking east. It seems that the original façade design was altered through time, making it difficult to find what the original design might be with the information available.



Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Image No. 026

Date photo taken: 10/12/2023



Parcel/Lot #:

Cadaster Number

038-020-136-03-001

Address:

Urb. Levittown Lakes, Y 3634, Blvd. Levittown & Concha St.
Levittown, Toa Baja, P.R.

Name / Historic name:

N/A

Approx. Constr. Date/Style:

c. 1966

NRHP Status or Eligibility/Other:

Not Eligible.

Description (include direction of image and other important information):

House main façade, photo taken looking east. It seems that the original façade design was altered through time.

Historic Image

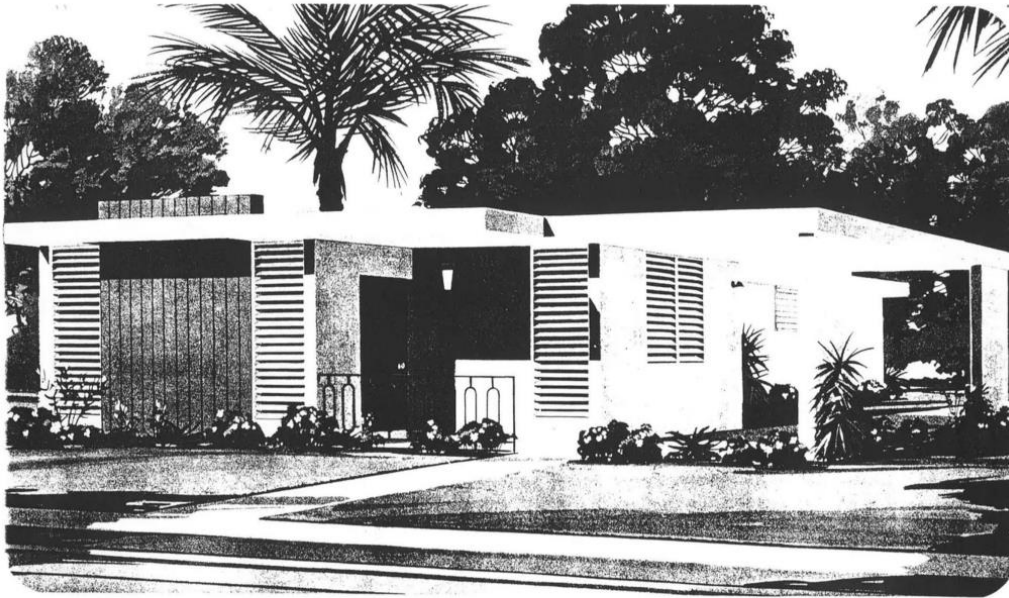
This property has shared characteristics to the Levittown "La Diadema" style promoted in a 1964 brochure. The location of the windows, entrance and car porch are shared qualities in this property.



Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002



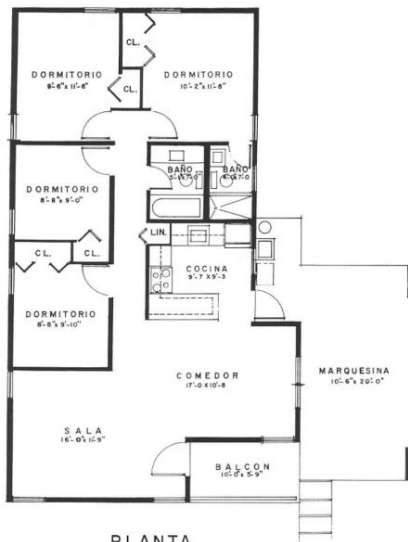
LA DIADEMA

4 dormitorios, 2 baños, balcón, marquesina

Mire qué belleza. ¿Verdad que invita a entrar? Millares de familias han soñado con esta residencia que ahora LEVITTOWN hace realidad. El espacio interior ha sido distribuido de modo que usted lo aprovecha todo con verdadera comodidad funcional. Sus bellos interiores se prestan para que usted la decore con gusto. El estilo "DIADEMA" tiene cuatro cómodos dormitorios cada uno con

amplio "closet" de puertas plegadizas, dos baños, sala, comedor, balcón y marquesina. El dormitorio principal tiene baño privado. A usted le encantará ésta casa. El estilo "Diadema" incluye también sin cargo adicional una moderna lavadora automática General Electric.

LA DIADEMA



PLANTA

SIN COSTO ADICIONAL: Estufa y horno eléctrico, nevera de 12 pies cúbicos, máquina de lavar automática, todo GENERAL ELECTRIC. También modernos gabinetes de cocina por ORBIT y calentador de 30 gal. Otras facilidades sin costo adicional son construcción de hormigón armado, piso de terrazo monolítico, puertas revestidas de caoba, conductos para teléfono, ventanas de aluminio y plomería de cobre. Grama, árboles, arbustos.

Levittown
CORPORACIÓN DE DESARROLLO URBANO
1000 N.W. 10th St. - Suite 200 - Fort Lauderdale, FL 33304

Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquecito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Image No. 027

Date photo taken: 10/12/2023



Parcel/Lot #:

Cadaster Number

038-020-136-02-001

Address:

Urb. Levittown Lakes, Y 3633, Blvd. Levittown & Concha St.
Levittown, Toa Baja, P.R.

Name / Historic name:

N/A

Approx. Constr. Date/Style:

c. 1966

NRHP Status or Eligibility/Other:

Not Eligible.

Description (include direction of image and other important information):

House main façade, photo taken looking east. It seems that the original façade design was altered through time, making it difficult to find what the original design might be with the information available.

Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquecito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Image No. 028

Date photo taken: 10/12/2023



Parcel/Lot #:

Cadaster Number

038-020-136-01-001

Address:

Urb. Levittown Lakes, Y 3632, Blvd. Levittown & Concha St.
Levittown, Toa Baja, P.R.

Name / Historic name:

N/A

Approx. Constr. Date/Style:

c. 1966

NRHP Status or Eligibility/Other:

Not Eligible.

Description (include direction of image and other important information):

House main façade, photo taken looking east. It seems that the original façade design was altered through time, making it difficult to find what the original design might be with the information available.

Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquecito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Image No. 029

Date photo taken: 10/12/2023



Parcel/Lot #:

Cadaster Number

038-020-227-67

Address:

Urb. Parque Punta Salinas, PB1 Caribe St. Levittown, Toa Baja, P.R.

Name / Historic name:

N/A

Approx. Constr. Date/Style:

n/d

NRHP Status or Eligibility/Other:

Not Eligible.

Description (include direction of image and other important information):

House main façade, photo taken looking east. It seems this house was built as part of a later development, where all houses shared the same characteristics.



Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Image No. 030

Date photo taken: 10/12/2023



Parcel/Lot #:

Cadaster Number

038-020-227-68-001

Address:

Urb. Parque Punta Salinas, PB2 Caribe St. Levittown, Toa Baja, P.R.

Name / Historic name:

N/A

Approx. Constr. Date/Style:

n/d

NRHP Status or Eligibility/Other:

Not Eligible.

Description (include direction of image and other important information):

House main façade, photo taken looking east. It seems this house was built as part of a later development, where all houses shared the same characteristics.

Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquecito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Image No. 031	Date photo taken: 10/12/2023
	
Parcel/Lot #: Cadastral Number	038-020-227-69-001
Address:	Urb. Parque Punta Salinas, PB3 Caribe St. Levittown, Toa Baja, P.R.
Name / Historic name:	N/A
Approx. Constr. Date/Style:	n/d
NRHP Status or Eligibility/Other:	Not Eligible.
<p>Description (include direction of image and other important information):</p> <p>House main façade, photo taken looking south. It seems this house was built as part of a later development, where all houses shared the same characteristics.</p>	

Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquecito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Image No. 032

Date photo taken: 10/12/2023



Parcel/Lot #:

Cadaster Number

038-020-227-69-001

Address:

Urb. Parque Punta Salinas, PB4 Caribe St. Levittown, Toa Baja, P.R.

Name / Historic name:

N/A

Approx. Constr. Date/Style:

n/d

NRHP Status or Eligibility/Other:

Not Eligible.

Description (include direction of image and other important information):

House main façade, photo taken looking south. It seems this house was built as part of a later development, where all houses shared the same characteristics.



Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquecito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Image No. 033

Date photo taken: 10/12/2023



Parcel/Lot #:

Cadaster Number

038-020-227-70-001

Address:

Urb. Parque Punta Salinas, PB5 Caribe St. Levittown, Toa Baja, P.R.

Name / Historic name:

N/A

Approx. Constr. Date/Style:

n/d

NRHP Status or Eligibility/Other:

Not Eligible.

Description (include direction of image and other important information):

House main façade, photo taken looking south. It seems this house was built as part of a later development, where all houses shared the same characteristics. Original design has been altered through time.

Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquecito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Image No. 034

Date photo taken: 10/12/2023



Parcel/Lot #:

Cadaster Number

038-020-227-71-001

Address:

Urb. Parque Punta Salinas, PB6 Caribe St. Levittown, Toa Baja, P.R.

Name / Historic name:

N/A

Approx. Constr. Date/Style:

n/d

NRHP Status or Eligibility/Other:

Not Eligible.

Description (include direction of image and other important information):

House main façade, photo taken looking south. It seems this house was built as part of a later development, where all houses shared the same characteristics.



Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Image No. 035

Date photo taken: 10/12/2023



Parcel/Lot #:

038-020-227-72-001

Cadaster Number

Address:

Urb. Parque Punta Salinas, PB7 Caribe St. Levittown, Toa Baja, P.R.

Name / Historic name:

N/A

Approx. Constr. Date/Style:

n/d

NRHP Status or Eligibility/Other:

Not Eligible.

Description (include direction of image and other important information):

House main façade, photo taken looking south. It seems this house was built as part of a later development, where all houses shared the same characteristics.

Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Image No. 036

Date photo taken: 10/12/2023



Parcel/Lot #:

Cadaster Number

038-020-227-73-001

Address:

Urb. Parque Punta Salinas, PB8 Caribe St. Levittown, Toa Baja, P.R.

Name / Historic name:

N/A

Approx. Constr. Date/Style:

n/d

NRHP Status or Eligibility/Other:

Not Eligible.

Description (include direction of image and other important information):

House main façade, photo taken looking south. It seems this house was built as part of a later development, where all houses shared the same characteristics.



Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquecito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Image No. 037

Date photo taken: 10/12/2023



Parcel/Lot #:

Cadaster Number

038-020-227-47-058

Address:

Cond. Lagos del Norte (sabana Seca), Carr 165, K2, H5, PR 00949, Toa Baja, PR.

Name / Historic name:

N/A

Approx. Constr. Date/Style:

n/d

NRHP Status or Eligibility/Other:

Not Eligible.

Description (include direction of image and other important information):

Building view from project site, photo taken looking west.



Subrecipient: Autonomous Municipality of Toa Baja

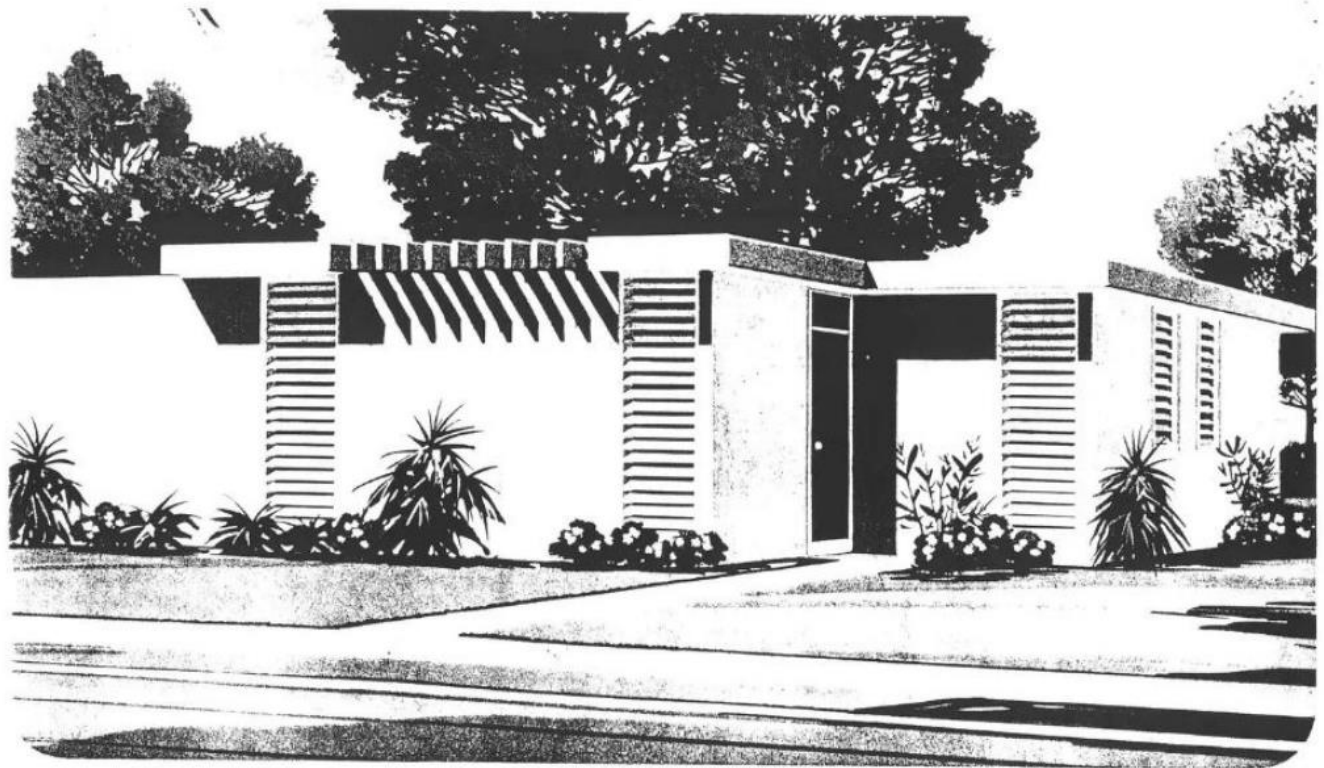
Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Appendix B:

Levittown Brochure Houses Styles³⁵ (Figures 60- 63)

Figure 60:



LA BROCHE DE ORO
3 dormitorios, 1 baño, marquesina

Fijese en la belleza de esta casa y admire las comodidades que le ofrece. Usted creará que se trata de una costosa residencia, y se asombrará cuando conozca su bajísimo precio.

La "BROCHE DE ORO" tiene tres acogedores y amplios dormitorios, cada uno con su "closet" de puerta plegadiza forrada con vinyl. La sala-comedor se comunica con el patio semi-interior mediante puertas corre-

dizas de cristal. La marquesina queda fuera de la vista del que pasa frente a la casa, y se presta para utilizarse de terraza familiar. El baño en azulejos tiene bonito equipo en colores.

Estudie el plano con detenimiento y verá cuánto más recibe usted por tan poco costo.

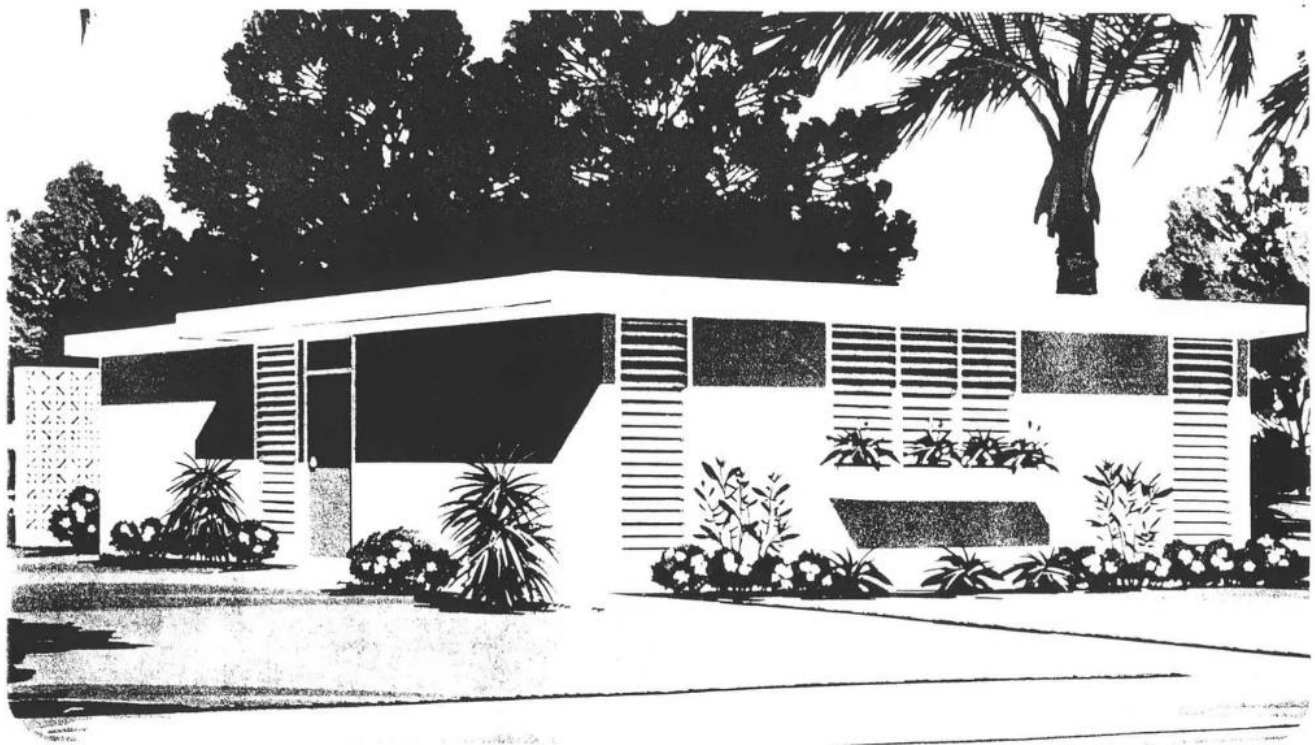
³⁵ Levittown Brochure 1964 – levittownbeyond.com

Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Figure 61:



LA CAMAFEO

3 dormitorios, 2 baños, marquesina

Observe lo atractivo de los bloques ornamentales que resguardan el patio, y las jardineras bajo las ventanas ;como embellecen la fachada de esta magnífica residencia!

En su interior la distribución del espacio facilita el libre movimiento, la ventilación y la iluminación además de contribuir a la belleza del conjunto. La cómoda sala y el espacioso comedor son contiguos y forman un área abierta donde se luce cualquier decoración.

Para mayor confort la "CAMAFEO" tiene dos modernos cuartos de baño en colores de fácil acceso a todos los dormitorios. Hay "closets" con puerta plegadiza revestida con elegante vinyl en cada dormitorio, y un "closet" aparte para la ropa blanca.

La cocina está situada al fondo, casi independiente, y tiene un "counter" para el desayuno que la separa del comedor.

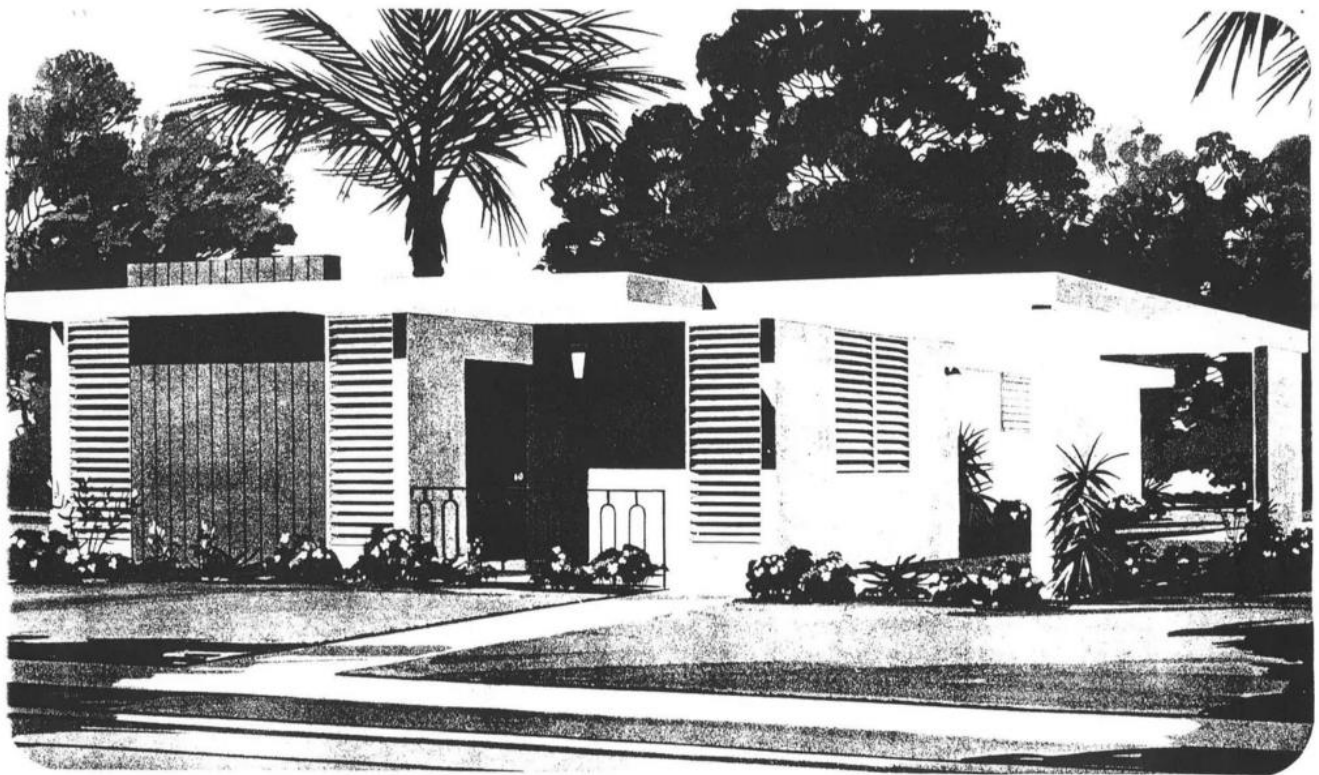


Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Figure 62:



LA DIADEMA

4 dormitorios, 2 baños, balcón, marquesina

Mire qué belleza. ¿Verdad que invita a entrar? Millares de familias han soñado con esta residencia que ahora LEVITTOWN hace realidad.

El espacio interior ha sido distribuido de modo que usted lo aprovecha todo con verdadera comodidad funcional. Sus bellos interiores se prestan para que usted la decore con gusto.

El estilo "DIADEMA" tiene cuatro cómodos dormitorios cada uno con

amplio "closet" de puertas plegadizas, dos baños, sala, comedor, balcón y marquesina. El dormitorio principal tiene baño privado. A usted le encantará ésta casa.

El estilo "Diadema" incluye también sin cargo adicional una moderna lavadora automática General Electric.

Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Figure 63:



La "ESMERALDA"

4 dormitorios, 2½ baños, 2 balcones, terraza, marquesina

He aquí lo que parecía increíble hasta que LEVITTOWN lo hizo realidad: una hermosa residencia de los plantas por un precio excepcionalmente bajo. Diseño del mayor gusto y grandes comodidades: cuatro dormitorios, dos balcones, 2½ baños, marquesina y terraza.

En la primera planta están la sala, el comedor, la cocina, los balcones, ½ baño y la marquesina. Todo el espacio que usted necesita para vivir cómodamente y para atender sus visitas.

En la segunda planta, al fresco, están los cuatro dormitorios cada uno con un amplio "closet." Hay además dos baños y un "closet" adicional para la ropa blanca. El dormitorio principal tiene baño privado, y acceso directo a la amplia terraza de 10' 6" x 20', desde donde se disfruta el bello paisaje.

El estilo "ESMERALDA" incluye también sin cargo adicional una moderna lavadora automática General Electric.

Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquecito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Appendix C

Levittown Lakes Brochure Houses Styles³⁶ (Figures 64-68)

Figure 64:



³⁶ Levittown Lakes Brochure 1972 – levittownbeyond.com



Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Figure 65:





Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Figure 66:





Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Figure 67:



MODELO
Valladolid

¡ Majestuosa! . . . de líneas elegantes, sobrias y modernas. El modelo La Valladolid luce un ventanal en "redwood", desde el techo hasta el piso que mantiene fresca y debidamente ventilada toda la sala y área de comedor. Sus tres dormitorios de gran tamaño con amplios closets cada uno, y su magnífico baño con piso de cerámica y decorado con azulejos, hacen de este modelo una casa espaciosa y realmente. . . preciosa.

Tanto el baño como los dormitorios están conectados entre sí por un pasillo, lo suficientemente amplio como para que la familia lo use con comodidad. El lavamanos ovalado del baño familiar, empotrado en hermoso vanity "marble-ized", armoniza con su gabinete de pared. Una amplia marquesina de 20 pies de fondo,

tiene un laundry y un práctico closet. Todos los closets interiores de la casa tienen puertas plegadizas. La cocina, con sus modernos gabinetes, estufa y horno empotrados, queda separada del área de comedor por una cómoda barrita con tope de Formica. La Valladolid es, sin lugar a dudas, una gran compra en. . . Levittown Lakes.

Levittown
LAKES
"Desde la buena vida comienza"



Subrecipient: Autonomous Municipality of Toa Baja

Project Name: Área Recreativa Parquécito del Lago de Levittown (Levittown Lakes Park Recreational Area)

Project Number: PR-CRP-001002

Figure 68:

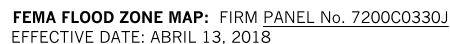


PR-CRP-001002

**Área Recreativa Parquecito del Lago de
Levittown Project**

Toa Baja, Puerto Rico

60% Design Drawings



SHEET
NO. SHEET TITLE

LANDSCAPE

L-000 COVER PAGE, SHEET INDEX & LOCATION MAPS

SRV-1 SURVEY & TOPOGRAPHIC PLAN

L-002 OVERALL SITE PLAN

L-004 TREE MITIGATION & MANAGEMENT PLAN

L-100 HARDSCAPE, NOTES, & ABBREVIATIONS

L-101 HARDSCAPE & CALLOUTS PLAN

L-104 HARDSCAPE DETAILS

L-105 HARDSCAPE DETAILS

L-106 HARDSCAPE DETAILS

L-107 HARDSCAPE SECTIONS

L-108 HARDSCAPE SECTIONS

L-400 LANDSCAPE GENERAL NOTES, LEGENDS & ABBREVIATIONS

L-401 PLANTING PLAN

L-402 LANDSCAPE DETAILS

L-403 SELECTED PLANT MATERIAL IMAGES

CIVIL

C-2 DEMOLITION PLAN

C-3 CES PLAN

C-4 CES PLAN DETAILS

S-1 GENERAL SITE PLAN

S-2 GEOMETRIC SITE PLAN

S-3 GENERAL SITE DETAILS

SI-4 GRADING PLAN

STRUCTURAL

S-1 FOUNDATIONS PLAN

S-1.1 FOUNDATIONS PLAN

S-2 SECTIONS

S-1.1 STRUCTURAL NOTES

S-2 GENERAL DETAILS

ISSUE RECORD	DESCRIPTION
08.08.2023	ISSUED 30% SD'S
11.30.2023	ISSUED 60% DOYS

REV	DATE	DESCRIPTION
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YO, JONATHAN J. MARVEL FULFORD, NUMERO DE LEGIENDA: 2172, QUE SE OTORGO EN LA CIUDAD DE LOS ANGELES, CALIFORNIA, DISEÑO Y PREPARO ESTOS PLANOS Y LAS ESPECIFICACIONES COMPLEMENTARIAS. TAMBIEN, CERTIFICO QUE ENTiendo QUE DICHO PLANO Y ESPECIFICACIONES CUMPLEN CON LAS DISPOSICIONES DE LOS ARTÍCULOS DEL REGLAMENTO DE LA CIUDAD DE LOS ANGELES, APLICABLES DE LOS REGLAMENTOS Y CÓDIGOS DE CONSTRUCCIÓN VIGENTES DE LAS AGENCIAS, AUTOS-REGULATORIAS O CORPORACIONES PÚBLICAS CON JURISDICCION CERTO, ADemás, QUE EN LA PREPARACION DE ESTOS PLANOS Y ESPECIFICACIONES SE HA CUMPLIDO CABALEMENTE CON LO DISPUESTO EN LA LEY NÚMERO 16 DE LA CIUDAD DE LOS ANGELES, CALIFORNIA, QUE SE ADOPTO PARA LA INVERSIÓN POR LA INDUSTRIA PUERTO-RIQUENA. Y QUE EN LA LEY NÚMERO 16 DE 6 DE JULIO DE 1970, SEGUNDA MODIFICACION, RECONOCIDA POR LA LEY NÚMERO 16 DE 19 DE JULIO DE 1970, SEGUNDA MODIFICACION, HECHOS QUE SE HAYA DISPUESTO POR DESCONOCIMIENTO O POR NEGLIGENCIA YA SEA POR MI, MIS AGENTES O EMPLADOS, O POR OTRAS PERSONAS CON MI CONOCIMIENTO, ME HAN SIDO RESPONSABLES DE LA ACTUACION.

MA # 2319
PARQUE DEL LAGO
DE LEVITTOWN
PR-CRP-001002

TOA BAJA, PUERTO RICO

COVER PAGE,
SHEET INDEX &
LOCATION MAPS

SCALE:

DRAWING #:
L-000

PARQUE DEL LAGO DE LEVITOWN

PR-CPR-001002

TOA BAJA, PUERTO RICO

DESIGN DEVELOPMENT 60% , NOVEMBER 30, 2023

FLOOD MAP, FIRM PANEL 7200C0330J
EFFECTIVE DATE ABRIL 13, 2018



SERIAL MAP (NOT TO SCALE)

Horizontal and Vertical Control Station (Nad83)				
Sta.	North (Y)	East (X)	Elev(Z)	Description
1	269441.699	225872.026	2.33	Steel nail PK
2	269475.759	225864.749	2.16	Steel nail PK
4	269533.635	225851.283	2.14	Steel bar
6	269591.7330	225836.304	2.28	Steel nail PK

X:225850

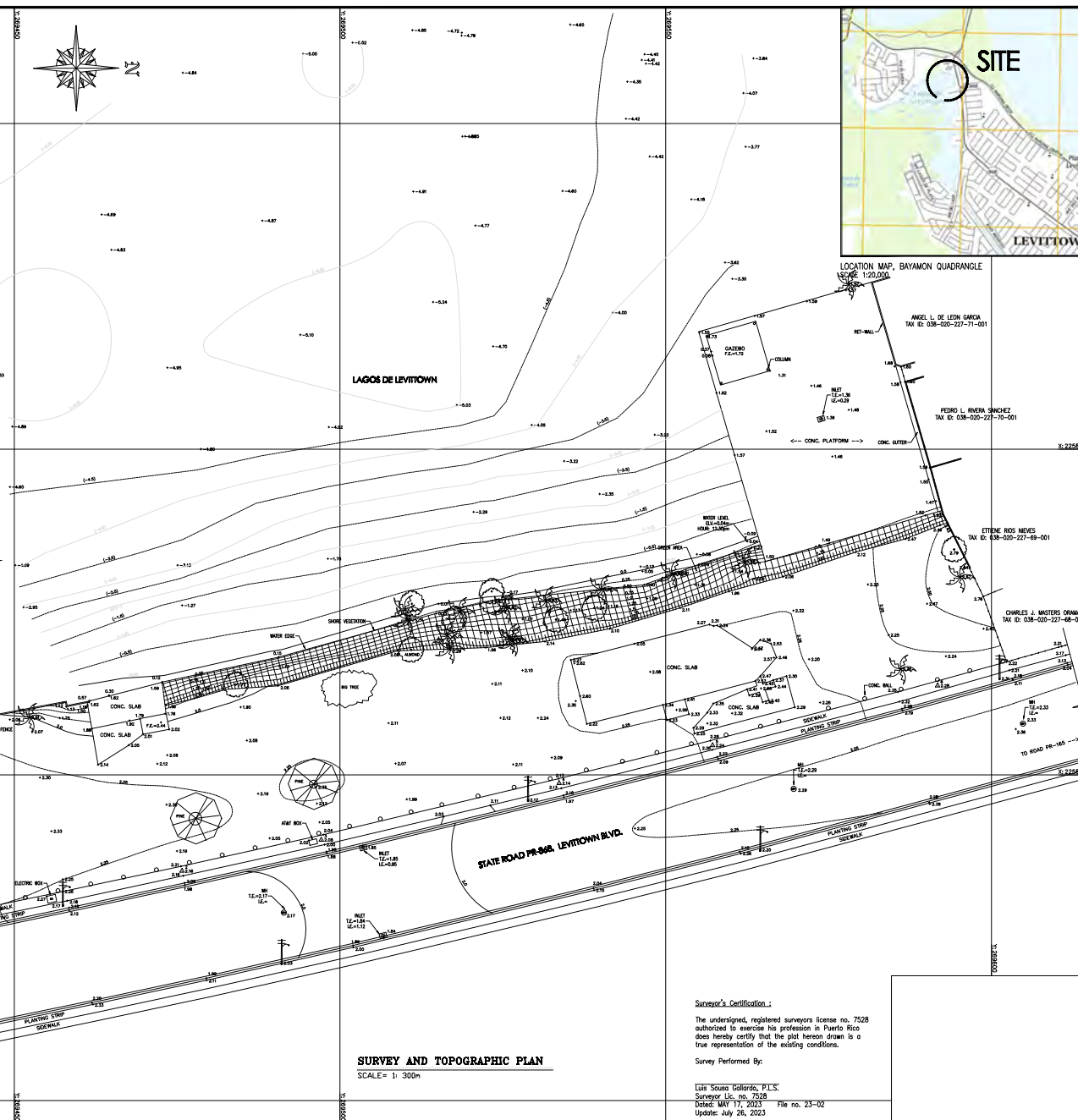
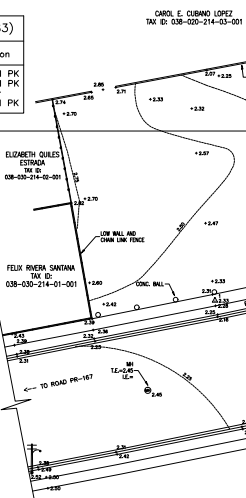
LE

- | | | |
|--|-------------------------------|-------------------|
| | CONTROL STATION | |
| | PROPERTY LINE | |
| | CHAIN LINK FENCE | |
| | IRON FENCE | |
| | CONCRETE WALL | |
| | CONCRETE POLE, LIGHT | |
| | STEEL POLE, LIGHT | |
| | SPOT ELEVATION | |
| | SPOT ELEVATION LAKE BOTTOM | |
| | WATER METER | |
| | LOW WALL AND CHAIN LINK FENCE | |
| | CONCRETE COLLUM | |
| | GROUND SLOPE | |
| | BOX WITH METAL COVER | |
| | INLET OR GRATING | |
| | TREE | |
| | PALM | |
| | INTERVAL CONTOUR EACH | 1.00m (LAND) |
| | INTERVAL CONTOUR EACH | 0.25m |
| | INTERVAL CONTOUR EACH | 1.00m LAKE BOTTOM |
| | INTERVAL CONTOUR EACH | 0.50m LAKE BOTTOM |

X:225900

Surveyor Notes:

1. HORIZONTAL CONTROLS AREA TIED TO THE STATE PLANE COORDINATE SYSTEM NAD83 NA2011 EPOCH 2010, USING A GNSS ANTENNA TRIMBLE R-8 CONNECTED TO A VIRTUAL REFERENCE STATION OPERATED BY HCLM GROUP, INC.
2. VERTICAL CONTROLS ARE PRYDGO HOMOTRIMIC GPS ANTENNAS WITH AN ANTENNA HEIGHT OF 6 METERS. ONE ANTENNA TRIMBLE R-8 IS CONNECTED TO A VIRTUAL REFERENCE STATION OPERATED BY HCLM GROUP, INC. ALL TOTAL STATION SURVEYS AND TOTAL STATION INSTRUMENT NIKON WVO IN SEVERAL SUNNY DAYS DURING MAY 15, 2023
3. DISTANCE MEASUREMENTS ARE EXPRESSED IN THE METRIC UNITS SYSTEM, EXCEPT FOR PIPE DIAMETERS THAT ARE EXPRESSED IN INCHES.
4. SPHERICAL COORDINATES AND SPECIFIC COORDINATES; HOWEVER, CONTOUR LINES ONLY INDICATE THE GENERAL BEHAVIOR OF THE TERRAIN AND ARE GENERATED BY INTERPOLATING DATA COLLECTED AT POINTS.
5. ACCORDING TO FEDERAL LAND MANAGEMENT, LAND FLOOD INSURANCE RATE MAP, PUERTO RICO, MAP NUMBER 7200003300A, EFFECTIVE DATE 2018.
6. PREPARED BY PERSON DESIGNATED AS ADVISOR. FORM AE



SURVEY AND TOPOGRAPHIC PLAN

SCALE= 1: 300m

Surveyor's Certification

The undersigned, registered surveyors license no. 7528 authorized to exercise his profession in Puerto Rico does hereby certify that the plat hereon drawn is a true representation of the existing conditions.

Survey Performed By:

Luis Sousa Gallardo, P.I.S.

Surveyor Lic. no. 7528
Dated: MAY 17, 2023 File no. 23-02
Update: July 26, 2023



1984, SUITE 218, 3
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SAN JUAN, PUERTO RICO
P.O. BOX 190768, SAN JUAN
PUERTO RICO 00919-0768

office (787) 728-3000
cel (939) 640-3000

sgonseasurveying@gmail.com

REVISIONS

DATE	NAME	SCORE
5		
4		
3		
2		
1		

SURVEY AND TOPOGRAPHIC PLAN
LEVITTOWN LAKE PARK
STATE ROAD PR-868, LEVITTOWN BLVD, SABANA SECA WARD, TOA BAYA, PUERTO RICO

SURVEY AND TOPOGRAPHIC PLAN

WORK ORDER NUMBER:
23-02

DATE UPDATED	UPDATED
--------------	---------

May 15, 2023 Jul 28, 2023

CARD FILE NAME	INT. SEC. FILE
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23-02	1=1
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FOIb: b6, b7C
1.3004

Next Number	On
1	1

DO-ITING NUMBER

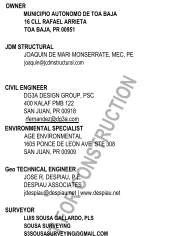
1000

SRV-1

OKV-1

PROJECTS 2319 - LEWISTOWN LAKE PARK TOA BAJA SJ09-CONTRACT DOCS\00-SHEETS\2319 DO-60 1-100 HARDSCAPE NOTES & REPORTING

1. THE SCOPE OF WORK FOR THE HARDCAPE CONSTRUCTION SHALL INCLUDE THE PROVISION OF ALL LABOR, MATERIALS, EQUIPMENT, AND SUPERVISION FOR THE COMPLETE IMPLEMENTATION OF ALL WORK SHOWN IN THESE DRAWINGS, OR NOTED HEREIN, AND THOSE OF THE GENERAL REQUIREMENTS AND CONDITIONS ESTABLISHED BY THE OWNER OR OWNER'S REPRESENTATIVES.
2. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE GENERAL CONTRACTOR AND OTHER CONTRACTORS ON-SITE AS REQUIRED BY THE PROJECT MANAGER (PM). THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE PROTECTION OF THEIR WORK AT ALL TIMES DURING THE CONSTRUCTION PROCESS INCLUDING, BUT NOT LIMITED TO, PROTECTIVE FENCING, BARRICADES, AND ALTERNATE TRAFFIC ROUTING.
3. THE CONTRACTOR FOR THIS PROJECT SHALL DESIGNATE A FULL-TIME PROJECT MANAGER AND FIELD SUPERVISOR TO WORK DIRECTLY WITH THE LANDSCAPE ARCHITECT (LA) AND PM AND SUPERVISE WORK AT ALL TIMES UNTIL FINAL ACCEPTANCE BY THE OWNER OR OWNER'S REPRESENTATIVES.
4. CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL, AND PROPER DISPOSAL, OF ALL DEBRIS AND WASTE FROM THE SITE. THE CONTRACTOR SHALL MAINTAIN THEIR WORK AREA "BROOM CLEAN" AT THE END OF EACH WORKDAY AND ALL TRASH AND CONSTRUCTION DEBRIS SHALL BE REMOVED, AND PROPERLY DISPOSED OF FROM THE SITE AT THE END OF EACH DAY.
5. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING ARCHITECTURE, PAVEMENTS, PARKING AREAS, WALLS, LANDSCAPING, AND OTHER ELEMENTS TO REMAIN IN PLACE DURING THE IMPLEMENTATION OF THEIR WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR OR REPLACE, ANY ELEMENTS DAMAGED DURING THE IMPLEMENTATION OF THEIR WORK AT NO COST TO THE OWNER.
6. THE CONTRACTOR SHALL TAKE ALL NECESSARY EROSION CONTROL MEASURES AS DIRECTED BY LOCAL CODES DURING THE IMPLEMENTATION OF THE PROJECT.
7. A MINIMUM OF THIRTY (30) DAYS PRIOR TO PURCHASE, THE CONTRACTOR SHALL SUBMIT TO LA, AND PM FOR REVIEW AND APPROVAL, THE FOLLOWING:
 - PRODUCT DATA AND SAMPLES OF ALL ATTACHMENT METHODS FOR BENCHES, RAILINGS, COLUMNS, LIGHT FIXTURE, AND OTHER STRUCTURALLY RELATED MATERIALS FOR USE IN THIS PROJECT.
8. PRIOR TO PURCHASING, THE CONTRACTOR SHALL SUBMIT TO LA FOR REVIEW AND APPROVAL, CATALOG CUT SHEETS, PRODUCT DATA, AND SAMPLES OF ALL FINISH MATERIALS, TILES, PAINTS, STAINS, FENCING, AND OTHER FINISHES SPECIFIED IN THESE DRAWINGS.
9. ALL INSTALLATION MATERIALS, METHODS, AND PRACTICES SHALL MEET ALL LOCAL CODE AND PERMITTING REQUIREMENTS.
10. PRIOR TO FORMING AND POURING OF ANY SIDEWALKS, PAVEMENTS OR OTHER HARDCAPE SURFACES CONTRACTOR SHALL NOTIFY LA A MINIMUM OF TWO (2) WEEKS IN ADVANCE (IN WRITING) TO FIELD REVIEW AND APPROVE FINAL LAYOUTS.
11. ALL STRUCTURAL SPECIFICATIONS AND ATTACHMENT METHODS ARE BY OTHERS. THE CONTRACTOR SHALL VERIFY ALL STRUCTURAL AND ATTACHMENT SPECIFICATIONS FOR ITEMS WITHIN THESE DRAWINGS WITH THE PROJECT STRUCTURAL ENGINEER.
12. FOR ALL VERTICAL CONSTRUCTION (I.E. GAZEBO, WALLS, & RETAINING WALLS, ETC.) THE DESIGNATED CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO LA FOR REVIEW AND APPROVAL. APPROVED ENGINEERING DRAWINGS W/ CATALOGUE CUT SHEETS, OF ALL STRUCTURES PROPOSED IN THIS PROJECT.
13. CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL GRADES, ELEVATIONS AND FINISH FLOOR ELEVATIONS PRIOR TO INSTALLATION OF ANY PAVEMENTS, WALLS, OR STAIRS ON SITE. THE CONTRACTOR SHALL VERIFY THAT ALL ELEVATIONS MEET LOCAL CODES, SLOPE CORRECTLY TO DRAINS AND COMPLY WITH THE DESIGN INTENT OF THESE DRAWINGS.
14. ANY DISCREPANCY BETWEEN DRAWINGS, SPECIFICATIONS, AND FIELD CONDITIONS THAT AFFECTS THE FINISH QUALITY, CONSTRUCTION COST OR APPEARANCE OF THE WORK SHALL BE REPORTED, IN WRITING, TO THE LA AND PM IMMEDIATELY WITH A BRIEF SUMMARY OF POTENTIAL COST IMPLICATIONS.
15. CONTRACTOR SHALL CROSS-REFERENCE ALL LANDSCAPE ARCHITECTURAL DRAWINGS W/ CIVIL ENGINEERING DRAWINGS FOR ALL LAYOUT AND HARDCAPE CONSTRUCTION.



REV	DATE	DESCRIPTION
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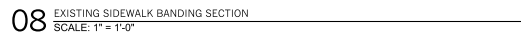
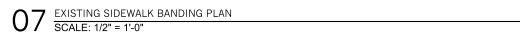
MA # 2319
PARQUE DEL LAGO
DE LEVITTOWN
PR-CRP-001002
TOA BAJA, PUERTO RICO

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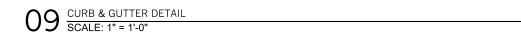
DRAWING #:
L-100 of

© MARVEL ARCHITECTS, LANDSCAPE ARCHITECTS, LLP 2003
5/5/2003 12:34 PM

© MARVEL ARCHITECTS, LANDSCAPE ARCHITECTS, LLP 2003
6/5/2003 12:34 PM

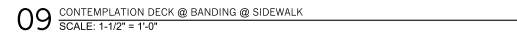


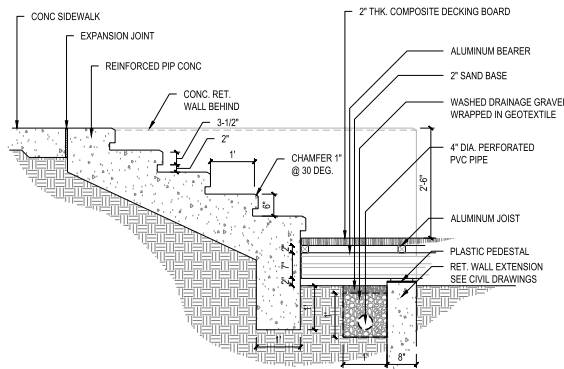
1. WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT AND THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS.
2. INSTALL CURB ON COMPACTED SUB-GRADE.
3. CONCRETE SHALL BE CONSTRUCTED W/ 4,000 P.S.I. CONCRETE.
4. CONSTRUCT DUMMY JOINTS SPACED AT WIDTH AS INDICATED ON DRAWINGS.

[illegible]

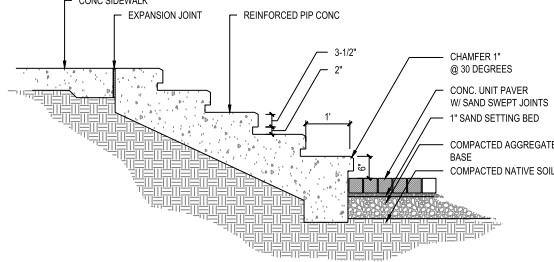
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MARVEL ARCHITECTS, LANDSCAPE ARCHITECTS, LLP 2023
6/2023 12:34 PM

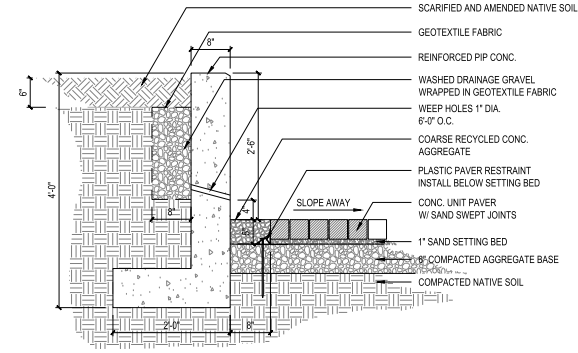




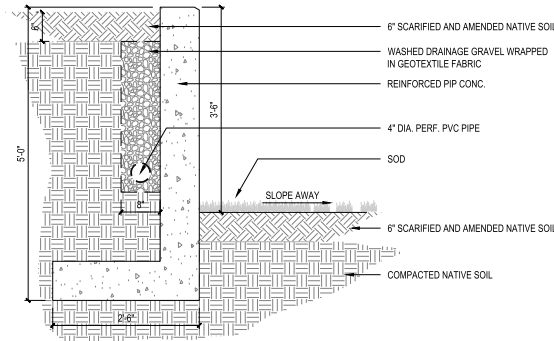
01 STEPS @ LOWER DECK
SCALE: 3/4" = 1'-0"



02 STEPS @ CONC. UNIT PAVERS
SCALE: 3/4" = 1'-0"



03 RETAINING WALL @ CONC. UNIT PAVERS
SCALE: 1" = 1'-0"



04 RETAINING WALL @ LANDSCAPE
SCALE: 1" = 1'-0"

MARVEL
101 SAN JORGE ST., FLR 2 SAN JUAN, PR 00911
T. 787.203.8444 | F. 787.722.4165

OWNER
MINIFRO AUTOMOTIVO DE TSA BAJA
R.C. MARCEL ARRETA
TSA BAJA, PR 00911

JOB STRUCTURAL
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ISSUE RECORD	DESCRIPTION
11 30 2023	ISSUED 60% D07S

REV DATE	DESCRIPTION
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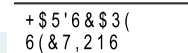
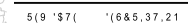
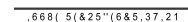
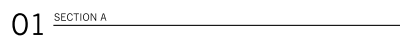
VO. JONATHAN J. MARVEL FULLER, INGENIERO DE LECTURA, 2018
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MA # 2319
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PR-CRP-001002
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HARDSCAPE DETAILS

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DRAWING #
L-106
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of



- CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ALL UNDERGROUND UTILITIES, PIPES, CONDUITS, FOUNDATIONS, AND OTHER INFRASTRUCTURE PRIOR TO ANY EXCAVATION OR CLEARING ACTIVITIES. IF THERE WERE ANY POTENTIAL CONFLICTS WITH UNDERGROUND ELEMENTS, THE LA SHALL BE NOTIFIED IMMEDIATELY AND BEFORE ANY EXCAVATION OR SOIL DISTURBANCE ACTION IS TAKEN BY CONTRACTOR.
16. LANDSCAPE CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANTING DETAILS, GENERAL CONDITIONS OF THE SPECIFICATIONS AND OTHER WRITTEN SPECIFICATIONS FOR FURTHER AND COMPLETE CONSTRUCTION AND LOGISTIC INSTRUCTIONS.
17. LANDSCAPE CONTRACTOR SHALL FIELD-SITE: LOCATE THE LOCATION OF ALL PLANT MATERIAL AND LAYOUT OF GARDEN BED LINES PRIOR TO INSTALLATION FOR THE REVIEW AND APPROVAL OF THE LA OR REPRESENTATIVE.
18. CONTRACTOR SHALL ASSURE DRAINAGE OF ALL PLANTING PITS PRIOR TO INSTALLATION OF PLANT MATERIAL OVER 12" HEIGHT. MINIMUM PERCOLATION RATE IS EIGHT (8) INCHES PER HOUR. CONTRACTOR SHALL FILL REPRESENTATIVE TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE AND PERCOLATION.
19. BIORETENTION SYSTEM SOIL MIX SHALL BE:
- 20% NATIVE SOIL
 - 70% RIVER WASHED SAND
 - 10 % ORGANIC MATTER.
- SUBMIT TECHNICAL DATA AND SAMPLES TO LA FOR REVIEW AND APPROVAL.
20. PLANTING MIX SHALL BE:
- 1:3 NATIVE TOPSOIL
 - 1:3 RIVER WASHED SAND
 - 1:3 COMPOSTED MANURE/VEGETATION.
- SUBMIT TECHNICAL DATA AND SAMPLES TO LA FOR REVIEW AND APPROVAL.
21. COMPOSTED MANURE SHALL BE FREE OF DELETERIOUS MATERIALS HARMFUL TO PLANT GROWTH, OF UNIFORM QUALITY AND HAVE A PH VALUE BETWEEN 5.3 AND 6.5 (AS DETERMINED IN ACCORDANCE WITH ASTM 70). PEAT SHALL BE STERILIZED TO BE MADE FREE OF ALL VIABLE NUT GRASS AND OTHER UNDESIRABLE WEEDS.
22. TOPSOIL SHALL BE NATURAL, FERTILE, AGRICULTURAL SOIL, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. THE PH SHALL BE IN THE RANGE OF 5.5 TO 6.5. IT SHALL BE OF UNIFORM COMPOSITION AND FREE OF STONES, LUMPS, LIVE PLANTS AND THEIR ROOTS, STICKS AND OTHER EXTRANEIOUS MATTER.
23. BEFORE PLACING PLANTING MIX, RAKE SUBSOIL SURFACE CLEAR OF STONES TWO INCHES (2") DIAMETER AND LARGER), DEBRIS AND RUBBISH. SCARIFY SUBSOIL TO A DEPTH OF THREE INCHES AND INCORPORATE SPECIFIED PLANTING MIX INTO NATIVE SOIL.
24. CONTRACTOR SHALL ATTEND WEEKLY COORDINATION MEETINGS, ADHERE TO ALL ACCESS ROUTES AND COORDINATE ALL WORK WITH OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY WORK OF OTHER TRADES CAUSED BY THE IMPLEMENTATION OF THEIR WORK. PROTECT ALL WORK IN PLACE UNTIL FINAL ACCEPTANCE.
25. FOLLOWING PLANTING, CONTRACTOR SHALL MULCH ALL PLANTED GARDENS COMPLETELY TO A THREE-INCH (3") DEPTH WITH CLEAN, WEED-FREE, COMPOSTED WOOD CHIPS. CONTRACTOR SHALL SUBMIT TECHNICAL DATA AND SAMPLES TO LA FOR REVIEW AND APPROVAL.
26. FERTILIZATION: ONE WEEK FOLLOWING INSTALLATION SUBMIT FERTILIZER DATA SHEETS TO LA FOR APPROVAL.
27. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL PLANTING AREAS (INCLUDING WATERING, SPRAYING, WEEDING, MULCHING, MOVING, FERTILIZING) FROM THE TIME OF INSTALLATION UNTIL THE POINT OF FINAL ACCEPTANCE, IN FULL, BY THE OWNER.
28. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOLLOWING DATE OF SUBSTANTIAL COMPLETION OF WORK FOR THE PERIOD OF TIME ESTABLISHED IN THE CONTRACT WITH THE CONTRACTING OFFICER (CO).
29. CONTRACTOR TO REQUEST SUBSTANTIAL COMPLETION INSPECTION, IN WRITING, TO LA AT A MINIMUM OF TEN DAYS IN ADVANCE WITH THEIR LIST OF WORK TO BE COMPLETED. LA SHALL REVIEW THE COMPLETE PUNCH LIST OF DEFICIENT ITEMS AND IF WORK IS SUFFICIENTLY ADVANCED IN ACCORDANCE WITH CONDITIONS OF CONTRACT DOCUMENTS, THEN THE OWNER AND LANDSCAPE ARCHITECT SHALL DECLARE THE PROJECT SUBSTANTIALLY COMPLETE. SUBSTANTIAL COMPLETION CONSTITUTES THE BEGINNING OF THE GUARANTEE PERIOD.

- NOTES:
1. IN THE EVENT OF DISCREPANCIES BETWEEN THE PLANTING SCHEDULE AND THE DRAWINGS THE DRAWINGS SHALL PREVAIL. NOTIFY ANY DISCREPANCIES TO LA IN WRITING.
 2. ZOYSIA SOD TO BE FRESH CUT SOD, INSTALLED NO LONGER THAN 24HRS AFTER CUTTING. ZOYSIA SOD SHALL BE FULL, HEALTHY A MINIMUM OF 98% WEEED FREE.
 3. FOR ZOYSIA LAWN AREAS PERFORM THE FOLLOWING MIN. SITE PREPARATION ITEMS.
 - THIRTY (30) DAYS FOLLOWING INSTALLATION RE-APPLY SAME FERTILIZER AT RATE OF 12/LB NITROGEN/1000 SQ. FT.
 4. CONTRACTOR SHALL SUPPLY REPRESENTATIVE SAMPLES OF ALL PLANT MATERIAL FOR REVIEW AND APPROVAL PRIOR TO PURCHASE.
 5. FOLLOWING APPROVAL OF REPRESENTATIVE SAMPLES, PHOTOS OF APPROVED PLANTS SHALL BE TAKEN AND SUBMITTED TO LA FOR APPROVAL...
 6. CONTRACTOR SHALL SUBMIT SAMPLE LABELS, MSDS SHEETS FOR ALL FERTILIZERS, HERBICIDES OR OTHER CHEMICALS TO BE USED ON SITE.
 7. ALL PLANTS SHALL BE FLORIDA GROWN AND FREE OF INSECT AND DISEASE AND REPRESENTATIVE OF THEIR SPECIES.
 8. ALL BED LINES, TREY PLANTING LOCATIONS AND PLANT MASSES SHALL BE FIELD REVIEWED WITH LA PRIOR TO INSTALLATION. PROVIDE 14 DAYS NOTICE.
 9. FOR ADDITIONAL INFORMATION REFER TO THE PROJECT SPECIFICATIONS & GENERAL PLANTING NOTES THIS PAGE.

C	CONTAINER
CT	CLEAR TRUNK
DBH	DIAMETER AT BREASTHEIGHT
FOW	FACE OF WALL
GAL	GALLON
GC	GENERAL CONTRACTOR
HT	HEIGHT
LA	LANDSCAPE ARCHITECT
LC	LANDSCAPE CONTRACTORS
NIC	NOT IN CONTRACT
MAX	MAXIMUM
MIN	MINIMUM
OA	OVERALL
OC	ON CENTER
SPRD	SPREAD
TRNK	TRUNK
TBD	TO BE DETERMINED

- | | |
|------|--------------------------|
| C | CONTAINER |
| CT | CLEAR TRUNK |
| DBH | DIAMETER AT BREASTHEIGHT |
| FOW | FACE OF WALL |
| GAL | GALLON |
| GC | GENERAL CONTRACTOR |
| HT | HEIGHT |
| LA | LANDSCAPE ARCHITECT |
| LC | LANDSCAPE CONTRACTORS |
| NIC | NOT IN CONTRACT |
| MAX | MAXIMUM |
| MIN | MINIMUM |
| OA | OVERALL |
| OC | ON CENTER |
| SPR | SPREAD |
| TRNK | TRUNK |
| TBD | TO BE DETERMINED |

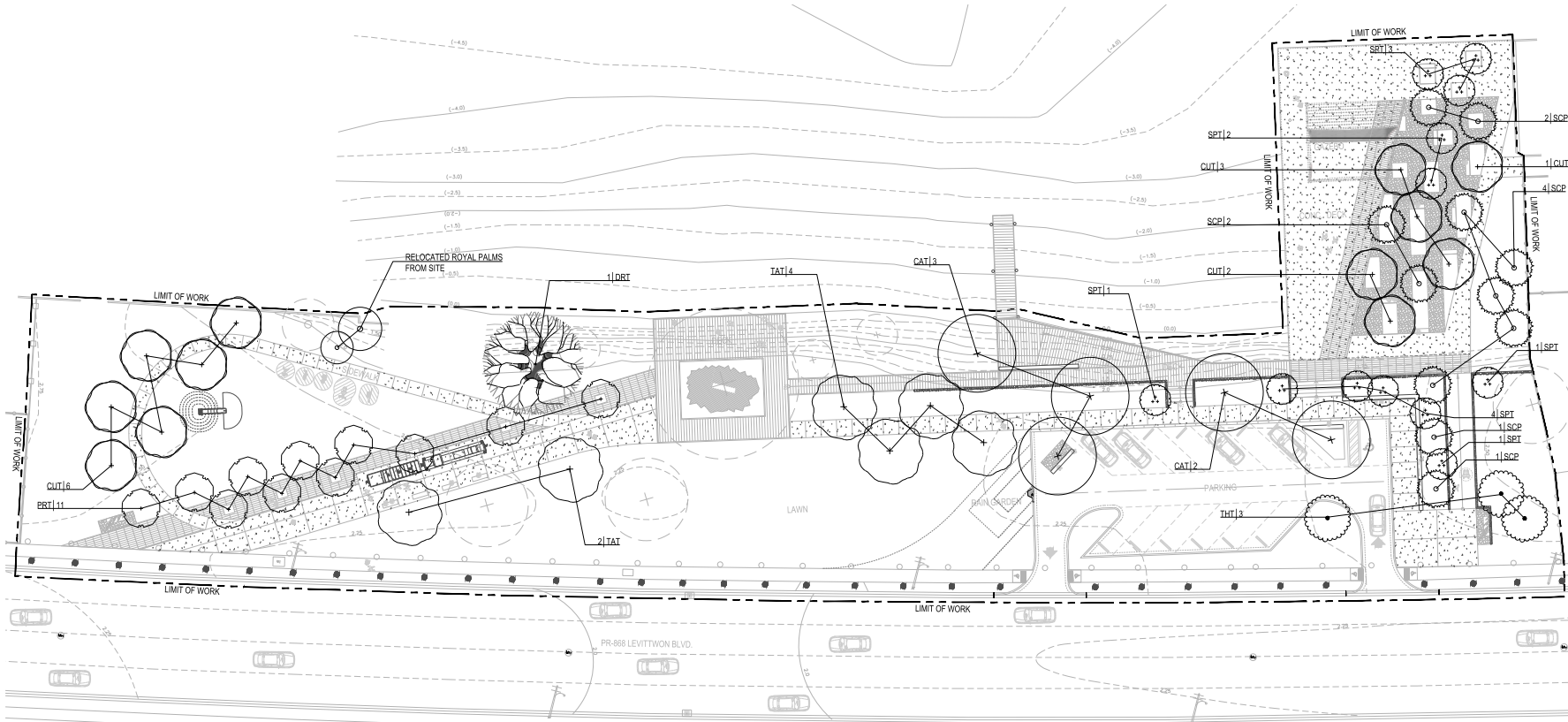


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LANDSCAPE GENERAL NOTES, LEGENDS & ABBREVIATIONS

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01 PLANTING PLAN

LEVITTOWN LAKE PARK PR-CRP-001002			
TREE MITIGATION REQUIREMENTS (PR JOINT REGULATION 2020-SECTION 3.4.2.2)			
TREES TO BE REMOVED (DBH)	AMOUNT TO BE REMOVED	MITIGATION RATIO	TREES TO BE INSTALLED
34"	12	3:1	36
≥24"	0	4:1	0
≥40"	34"	5:1	0
ADDITIONAL PARKING SPACES MITIGATION REQUIREMENTS (PR JOINT REGULATION 2020-SECTION 3.4.2.2)			
ADDITIONAL PARKING SPACES	TREE MITIGATION RATIO	TREES TO BE INSTALLED	
15	4:1	4	
MITIGATION TOTAL:			40
GENERAL TREE MITIGATION DISPOSITIONS (PR JOINT REGULATION 2020-SECTION 3.4.3.1)			
REQUIRED	PROPOSED	QTY.	
MAX. 12% OF PALMS	12%	5	
MIN. 10% FOOD FOR WILD LIFE	100%	40	
MIN. 60% NATIVE OR ENDEMIC	60%	24	
MAX. 27.5% EXOTIC	28%	11	



- LEGEND:
- CAT - BEAUTY LEAF TREE (ARBOL DE MARIA)
 - CUT - PIGEON PLUM (OJIVILLA)
 - CUT - SEA GRAPE (UBA DE PLAYA)
 - DRT - ROYAL POINCIANA (FLAMBOYAN)
 - PRT - BAY RUM TREE (MALAGUETA)
 - TAT - SILVER TRUMPET TREE (ROBLE PLATEADO)
 - THT - PINK TABERUA (ROBLE NATIVO)
 - SPT - DESERT CASIA (RETAMA PRIETA)
 - SCP - PR HAT PALM (PALAMA SABAL)

- LEGEND:
- TREE TO REMAIN
 - PALM TO REMAIN

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ISSUE RECORD	DESCRIPTION
08-08-2023	ISSUED 50% SDTS
11-30-2023	ISSUED 60% DOTS

REV DATE	DESCRIPTION

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DE LEVITTOWN
PR-CRP-001002

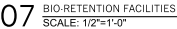
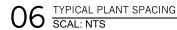
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PLANTING PLAN

SCALE:
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LANDSCAPE DETAILS

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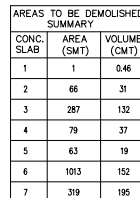
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
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1. ALL EXISTING INLETS AND MANHOLES TO BE ABANDONED WILL BE REMOVED TO A DEPTH OF A 1 FOOT AND FILLED WITH BACKFILL.
2. CONTRACTOR SHALL DEMOLISH, REMOVE AND DISPOSE ALL EXISTING SIDEWALKS, CURBS, WHEELSTOP, CONCRETE SLABS AND PAVEMENTS



AREAS TO BE DEMOLISHED SUMMARY		
CONC. SLAB	AREA (SMT)	VOLUME (CMT)
1	1	0.46
2	66	31
3	287	132
4	79	37
5	63	19
6	1013	152
7	319	195


 --- CONTROL STATION
 --- PROPERTY LINE
 --- CHAIN LINK FENCE
 --- IRON FENCE
 --- CONCRETE WALL
 --- CONCRETE POLE
 --- CONCRETE POLE, LIGHT
 --- STEEL POLE, LIGHT
 --- SPOT ELEVATION
 --- SPOT ELEVATION LAKE BOTTOM
 --- WATER METER
 --- LOW WALL AND CHAIN LINK FENCE
 --- CONCRETE COLUMN
 --- GROUND SLOPE
 --- ROOF WITH METAL COVER
 --- INLET OR GRATING
 --- TREE
 --- PALM
 --- INTERNAL CONTOUR EACH 1.00m (LAND)
 --- INTERNAL CONTOUR EACH 0.25m
 --- INTERNAL CONTOUR EACH 1.00m LAKE BOTTOM
 --- INTERNAL CONTOUR EACH 0.50m LAKE BOTTOM
 --- 1.50
 --- 2.00

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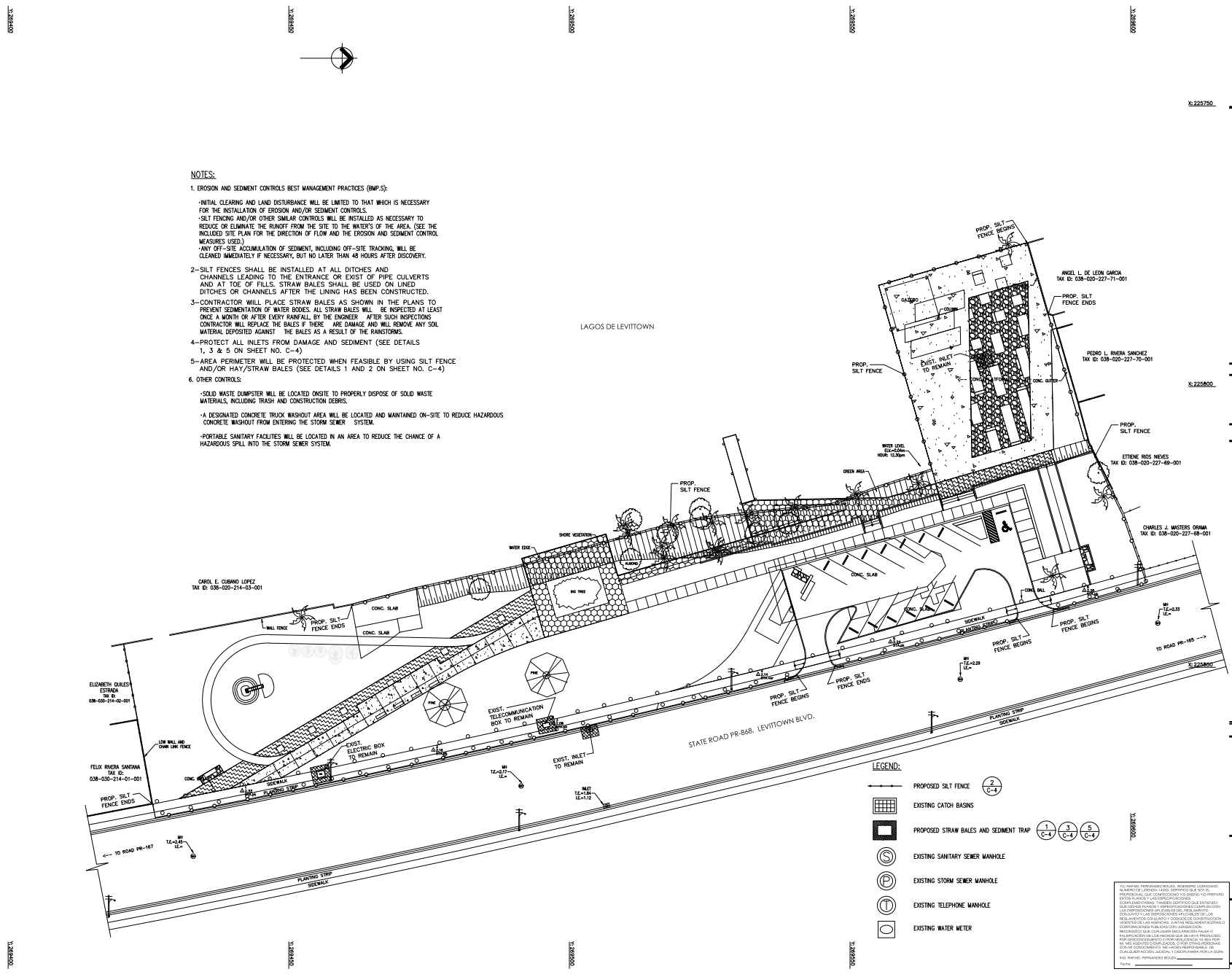
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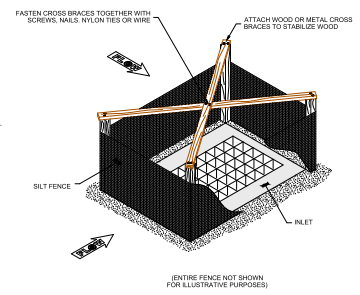
YO, JONATHAN J. MARVEL FULLER, NÚMERO DE LICENCIA: 21736,
CERTIFICO QUE SOY EL PROFESIONAL QUE CONFECCIONO, DISEÑO Y/O

PARQUE DEL LAGO
DE LEVITTOWN

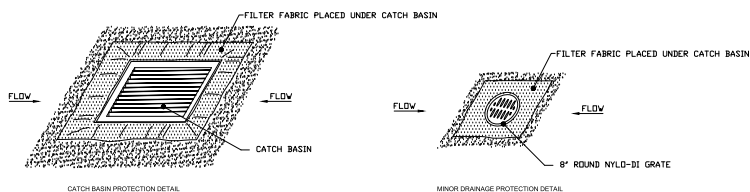
CES PLAN

DRAWING #: C-3





STORM INLET SEDIMENT TRAP (5)
SCALE: NTS (C-4)



- 1) THE CONTRACTOR SHALL PROTECT ALL CATCH BASINS, SWALES AND CHANNELS NEAR THE PROJECT AREA THAT COULD BE POTENTIALLY IMPACTED PRIOR TO THE CONSTRUCTION. PROTECT MEASURES SHALL BE IN PLACE AND THE LOCAL CONSTRUCTION BE COMPLETED. CONTRACTOR SHALL INSPECT THESE AREAS PRIOR TO THE CONSTRUCTION.
- 2) ON EACH MAIN EVENT, REPAIRS SHALL BE DONE AS SOON AS POSSIBLE AFTER THE INCIDENT SHALL BE REMOVED FROM THE BARRIERS WHEN THEY REACH HALF THE HEIGHT OF THE BARRIER. THE CONTRACTOR SHALL STRICTLY FOLLOW THE GUIDELINES STATED IN THE APPROPRIATE SPECIFICATIONS.
- 3) PLAN APPROVED BY THE ENVIRONMENTAL QUALITY BOARD.
- 4) THE CONTRACTOR SHALL DISPOSE ALL WASTE MATERIALS AT AN APPROVED LANDFILL.
- 5) THE CONTRACTOR SHALL RESTORE PAVED AREAS AND RE-SEED GRASS AREAS AS SOON AS POSSIBLE OR AS INSTRUCTED BY THE PROJECT INSPECTOR.
- 6) ANY MODIFICATION PROPOSAL TO THE CES PLAN SHALL BE CONSULTED WITH THE REGIONAL BOARD TO OBTAIN THE APPROVED REVISIONS.
- 7) THE CONTRACTOR SHALL BE RESPONSIBLE OF THE IMPLEMENTATION AND MAINTENANCE OF THE CES PLAN.

YO, RAFAEL FERNÁNDEZ BOLUÑA, INGENIERO LICENCIADO, NÚMERO DE LICENCIA 1289, CERTIFICADO QUE BOYER, PROFESIONAL, QUE LOS DISEÑOS Y/O DISEÑO Y/O PROYECTO, EDITOR PLANOS Y LAS ESPECIFICACIONES COMPLEMENTARIAS, TAMBIÉN CERTIFICADO QUE OTORGÓ QUE LOS DICHOS PLANOS Y/O ESPECIFICACIONES CUENTAN CON LAS CARACTERÍSTICAS Y/O CALIDADES, MATERIALES, CALIDAD Y LAS DISPOSICIONES APLICABLES DE LOS REGLAMENTOS, CÓDIGO Y/O CÓDIGOS DE CONSTRUCCIÓN VIGENTES DE LAS AGENCIAS, JUNTAS, REGLAMENTADORAS O COMISIÓNES PLANAS, DE LA JURISDICCIÓN, QUE SE RECONOCE QUE CUALQUIER DECLARACIÓN FALSA O FALSIFICACIÓN DE LOS HECHOS QUE SE HAYA PRODUCIDO POR DESCONOCIMIENTO O POR NEGLIGENCIA, MALA FE, MALA FÉ, POR AGENTES O POR EMPLEADOS, O POR CUALQUIER PERSONAS QUE CUALQUIER AGENTE, MALA FE, MALA FÉ, POR CUALQUIER ACCIÓN, DILACIÓN, Y DISPOSICIÓN PARA LA CADA



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YO, JONATHAN J. MARVEL FULLER, RUBEN DE LUENCIA, #2736, con el consentimiento de los PROFESORES QUE SUPERVISAN, OTORGÓ ESTE PREPARO ESTOS PLANOS Y LAS ESPECIFICACIONES COMPLEMENTARIAS, TAMBIÉN, CUESTO QUE ENTENDO QUE DICHO DOCUMENTO SE HA ENTREGADO A LOS OFICIALES DE LA OFICINA DE PLANOS DE LA AGENCIA DEL REGLAMENTO CONJUNTO Y LAS DISPOSICIONES APPLICABLES DE LOS REGLAMENTOS Y CÓDIGOS DE CONSTRUCCIÓN PARA EL DISEÑO Y LA CONSTRUCCIÓN DE LOS DISEÑOS Y LAS COMPARACIONES PUBLICAS CON JURISDICCION. CUESTO, ADENMAS, QUE EN LA PREPARACION DE ESTOS PLANOS Y ESPECIFICACIONES SE HA CUMPLIDO CABAMENTE CON LO DISPUESTO EN LA LEY 1430, QUE ESTABLECE LOS REQUISITOS PARA LA OBTENCION DE LA LICENCIA PARA LA INVERSION POR LA INDUSTRIA PUERTORRIENSE, Y CON LA LEY NUM. 86 DE 5 DE JULIO DEL SIGLO SESENTA, RECONOCIDO QUE LOS DISEÑOS Y ESPECIFICACIONES QUE SE PRESENTAN SON LOS HECHOS QUE SE HAYA PRODUCIDO POR DEDICACION O POR NEGLIGENCIA YA SEA POR MI, MIS AGENTES O EMPLEADOS, O POR CUALQUIER PERSONA CON LA QUE PUEDAN HABER SIDO RESPONSABLE DE CUALQUIER ACCION QUE DICTE, DISCIPLINARIA POR LA OQPE.

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PR-CRP-001002

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CES PLAN DETAILS

SCALE: AS-SHOWN

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



























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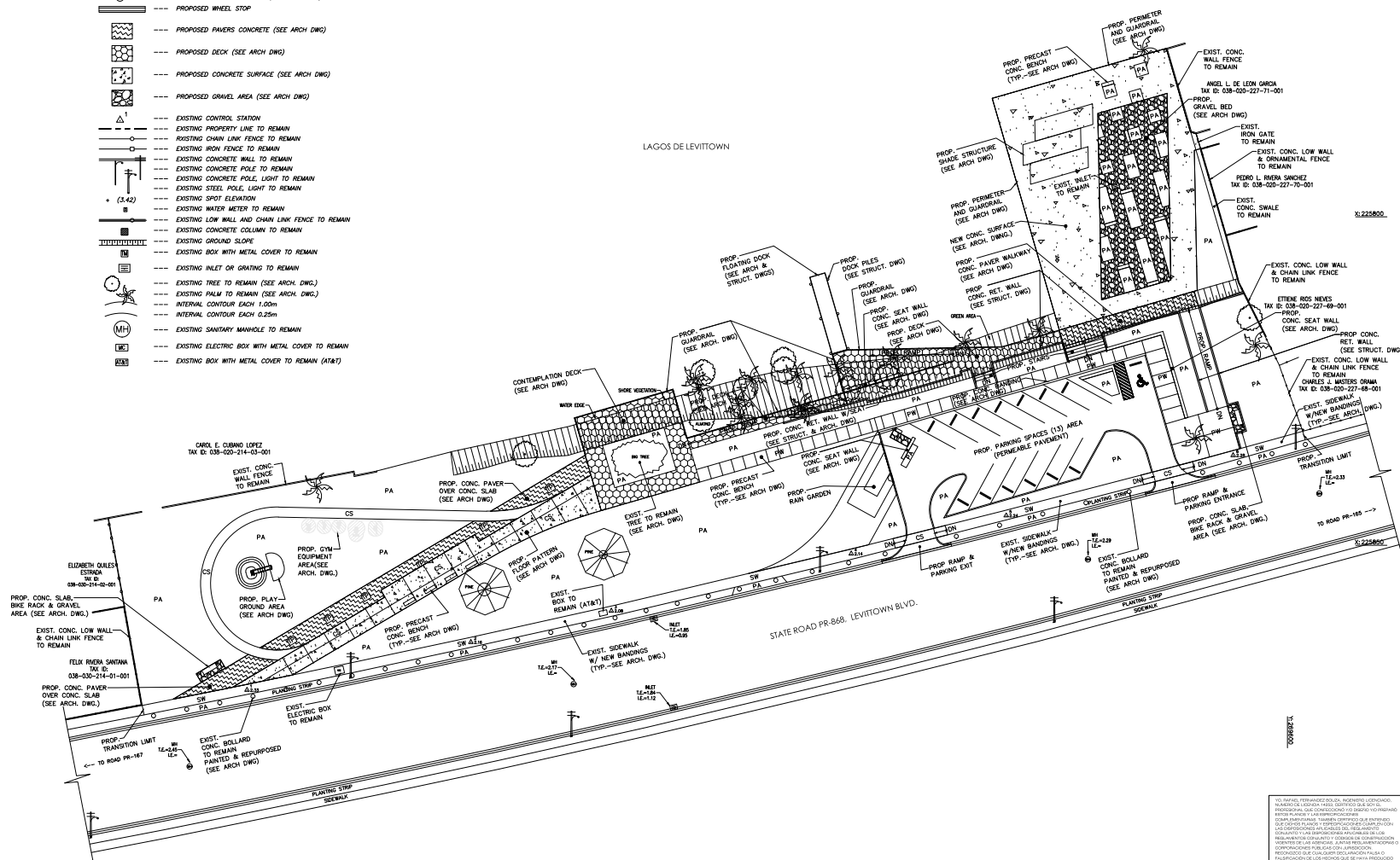
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|---|--|
| CS | --- PROPOSED CONCRETE SIDEWALK |
| PA | --- PROPOSED PLANTING AREA |
| TP | --- PROPOSED TREE PIT (SEE ARCH DWG) |
| PW | --- PROPOSED PAVEMENT WALKWAY (SEE ARCH DWG) |
| ---/--- | PROPOSED CONCRETE CURB |
| SW | --- PROPOSED SIDEWALK TO REMAIN |
|  | PROPOSED CURB RAMP |
|  | EXISTING CONCRETE BOLLARD (SEE ARCH DWG) |
|  | PROPOSED WHEEL STOP |
|  | --- PROPOSED PAVEMENT CONCRETE (SEE ARCH DWG) |
|  | --- PROPOSED DECK (SEE ARCH DWG) |
|  | --- PROPOSED CONCRETE SURFACE (SEE ARCH DWG) |
|  | --- PROPOSED GRAVEL AREA (SEE ARCH DWG) |
|  | EXISTING CONTROL STATION |
| ---/--- | EXISTING PROPERTY LINE TO REMAIN |
|  | EXISTING CHAIN LINK FENCE TO REMAIN |
|  | EXISTING IRON FENCE TO REMAIN |
|  | EXISTING CONCRETE WALL TO REMAIN |
|  | EXISTING CONCRETE POLE TO REMAIN |
|  | EXISTING CONCRETE POLE, LIGHT TO REMAIN |
|  | EXISTING STEEL POLE, LIGHT TO REMAIN |
|  | EXISTING SPOT ELEVATION |
|  | EXISTING WATER METER TO REMAIN |
|  | EXISTING LOW WALL AND CHAIN LINK FENCE TO REMAIN |
|  | EXISTING CONCRETE COLUMN TO REMAIN |
|  | EXISTING GROUND SLOPE |
|  | EXISTING BOX WITH METAL COVER TO REMAIN |
|  | EXISTING INLET OR GRATING TO REMAIN |
|  | EXISTING TREE TO REMAIN (SEE ARCH. DWG.) |
|  | EXISTING PALM TO REMAIN (SEE ARCH. DWG.) |
|  | INTERNAL CUTOFF EACH 1.00m |
|  | INTERNAL CUTOFF EACH 0.25m |
|  | EXISTING SANITARY MANHOLE TO REMAIN |
|  | EXISTING ELECTRIC BOX WITH METAL COVER TO REMAIN |
|  | EXISTING BOX WITH METAL COVER TO REMAIN (AT&T) |

X: 225800

X: 225850

X: 225900

LAGOS DE LEVITTOWN



X:225750

X:225800

X: 225850

APUNTADEOS DE LOS
DIEZ DÍAS DE CONSTRUCCIÓN
DE LA RED DE ALBERGUE



MARVEL
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OWNER
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SOUSA SURVEYING
S3SOUSA@SURVEYING@GMAIL.COM

YO, JONATHAN J. MARVEL FULLER, NUMERO DE LICENCIA: 2173, PLANEO Y ESPECIFICACIONES CUMPLIEN CON LOS DISEÑOS Y PLANOS PREVIOS ESTOS PLANOS Y LAS ESPECIFICACIONES COMPLEMENTARIAS. TAMBIEN CERTIFICO QUE ENTENDI QUE DICHO PLANEO Y ESPECIFICACIONES CUMPLIEN CON LAS OBLIGACIONES ESTABLECIDAS EN LOS REGLAMENTOS Y CODIGOS DE CONSTRUCCION APLICABLES DE LOS REGLAMENTOS Y CODIGOS DE CONSTRUCCION VIGENTES DE LAS AGENCIAS, JUNTAS REGULADORAS O CORPORACIONES PUBLICAS, CON JURISDICCION SOBRE DICHO AGENCIAS, Y QUE EN LA PREPARACION DE ESTOS PLANOS Y ESPECIFICACIONES SE HA CUMPLIDO CABALMENTE CON LO DISPUESTO EN LA LEY N.º 4711, DE 19 DE ABRIL DE 2004, SOBRE LA RESPONSABILIDAD CIVIL DE LOS INGENIEROS POR LA EMISION POR LA INDUSTRIA PUERTORRQUEÑA. Y YO, LYN L. MARVEL, NO DE 6 AÑOS DE EDAD, SEGUN ENMIENDADA, RECONOZCO QUE ESTOS PLANOS Y ESPECIFICACIONES SON VERDADEROS Y CORRECTOS, Y QUE HE SIDO PROCURADO POR DESCONOCIMIENTO O POR NEGLIGENCIA YA SEA POR MI, MIS AGENTES O EMPLEADOS, O POR TERCERAS PERSONAS COMO CONDOMINIO, NO HUBIERON RESPONSABLES EN LA PREPARACION DE ESTOS PLANOS Y ESPECIFICACIONES.

MA # 2319
PARQUE DEL LAGO
DE LEVITTOWN
PR-CRP-001002

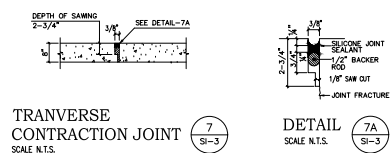
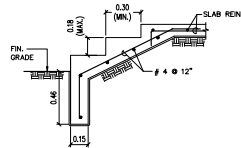
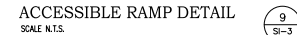
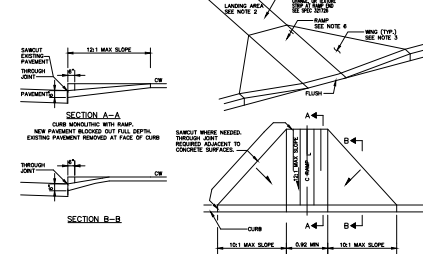
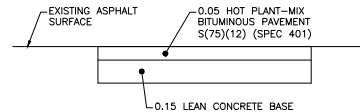
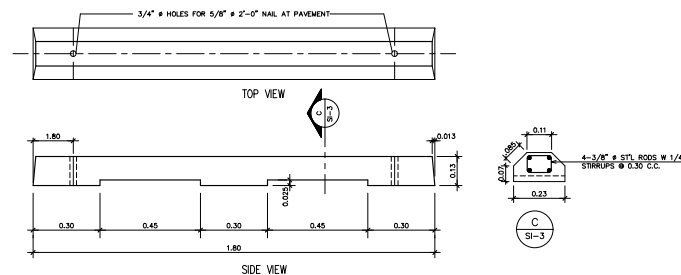
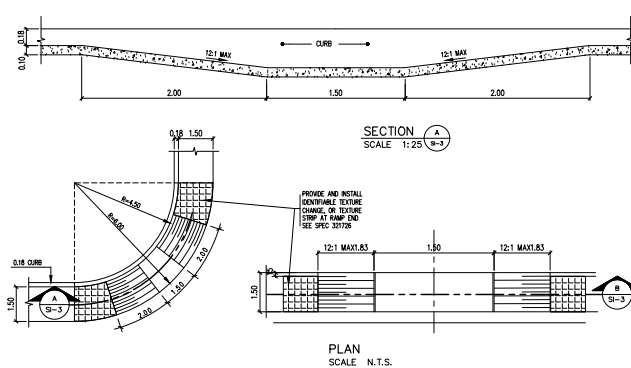
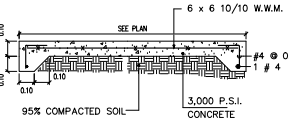
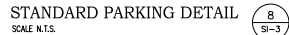
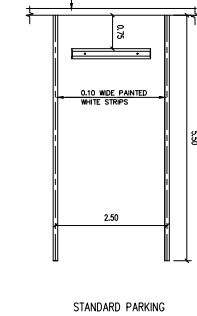
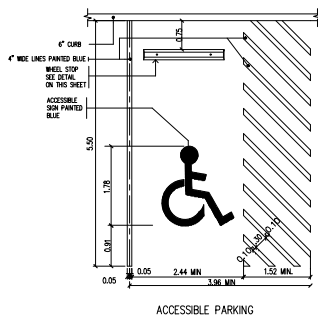
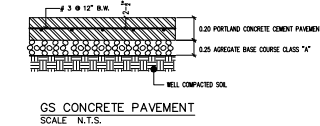
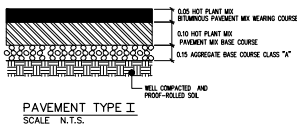
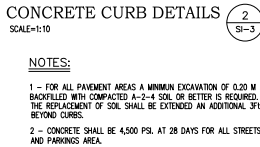
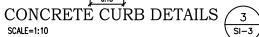
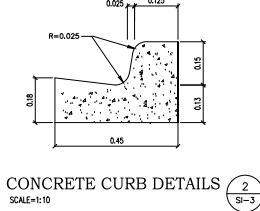
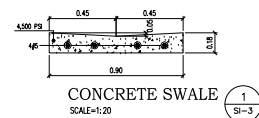
TOA BAJA, PUERTO RICO
GENERAL SITE PLAN

SCALE: 1:300

DRAWING # SI-1

of

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5/5/2023 12:34 PM



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TOA BAJA, PR 00911

MA # 2319
PARQUE DEL LAGO
DE LEVITTOWN
PR-CRP-001002
TOA BAJA, PUERTO RICO
GENERAL SITE DETAILS

SCALE: AS-SHOWN
DRAWING #: SI-3



NOTES:

1. FOR ADDITIONAL DIMENSIONS REFER TO ARCHITECTURAL DRAWINGS.
2. CONSTRUCTION JOINTS & CONTROL JOINTS WILL BE SUBMITTED FOR APPROVAL.



OWNER
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STRUCTURAL ENGINEER

JCDM STRUCTURAL
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10

SURVEYOR 
LUIS SOUSA GALLARDO, PLS.

SOUSA SURVEYING

6160 US460 KVEF No. 00412

ISSUE RECORD	DESCRIPTION
08.08.2023	ISSUED 30% SD'S
11.09.2023	ISSUED 60% DC'S

REV	DATE	DESCRIPTION
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MA # 2319

PARQUE DEL LAGO
DE LEVITTOWN
PR-CRP-001002

TOA BAJA, PUERTO RICO

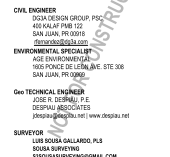
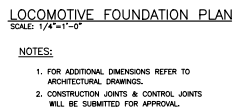
FOUNDATION PLAN

SCALE:

DRAWING #:

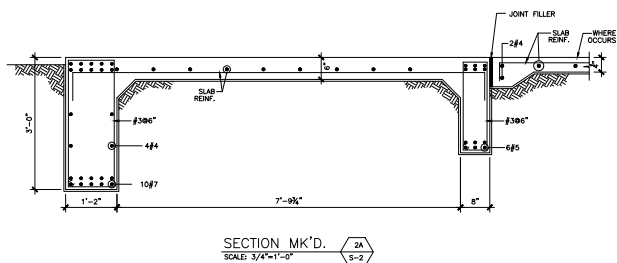
S-1

_____ of _____



REV	DATE	DESCRIPTION
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DRAWING #:
S-1.1



REV	DATE	DESCRIPTION
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MA # 2319
PARQUE DEL LAGO
DE LEVITTOWN
PR-CRP-001002

TOA BAJA, PUERTO RICO

SCALE:

DRAWING #:

S-2 of

1 THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO STARTING CONSTRUCTION.
THE ARCHITECT/ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES OR
INCONSISTENCIES.

2 DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALES SHOWN ON DRAWINGS.

3 NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND
TYPICAL DETAILS.

4 SEE ARCHITECTURAL DRAWINGS FOR THE FOLLOWING:
SIZE AND LOCATION OF ALL DOOR AND WINDOW OPENING, EXCEPT AS NOTED, SIZE
AND LOCATION OF ALL INTERIOR AND EXTERIOR NON-BEARING PARTITIONS, SIZE AND
LOCATION OF ALL CONCRETE CURBS, FLOOR DRAINS, SLOPES, DEPRESSED AREAS,
CHANGES IN LEVEL, CHAMFERS, GROOVES, INSERTS, ETC. SIZE AND LOCATION OF
ALL FLOOR AND ROOF OPENINGS EXCEPT AS SHOWN.
FLOOR AND ROOF FINISHES, STAIR FRAMING AND DETAILS (EXCEPT AS SHOWN),
DIMENSIONS NOT SHOWN ON STRUCTURAL DRAWINGS.

5 SEE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR THE FOLLOWING:
PIPE RUNS, SLEEVE, HANGERS, TRENCHES, WALL AND SLAB OPENINGS, ETC. EXCEPT
AS SHOWN OR NOTED, ELECTRICAL CONDUIT RUNS, BOXES, OUTLETS IN WALLS AND
SLABS, CONCRETE INSETS FOR ELECTRICAL, MECHANICAL OR PLUMBING FIXTURES,
SIZE AND LOCATION OF MACHINE OR EQUIPMENT BASES, ANCHOR BOLTS FOR MOTOR
MOUNTS.

6 THE CONTRACT STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHE

5 PORTLAND CEMENT SHALL CONFORM TO ASTM C-150 WITH W/C RATIO NOT GREATER THAN 0.65

30 PSF
50 PSF
50 PSF
100 PSF
100 PSF
100 PSF
100 PSF
100 PSF
100 PSF (SUPERIMPOSED)
100 PSF

- A. INTERNATIONAL BUILDING CODE (IBC'18)
- B. AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE) STANDARD 7-16
- C. AMERICAN CONCRETE INSTITUTE (ACI)
- D. AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) AND METAL BUILDING
- E. AMERICAN WELDING SOCIETY (AWS)
- F. STEEL DECK INSTITUTE (SDI)
- G. AMERICAN SOCIETY FOR TESTING MATERIALS (ASTM)
- H. AMERICAN IRON AND STEEL INSTITUTE

SUBSOIL EXPLORATION REPORT
DESMAU ASSOCIATES
A. SEPTEMBER 29, 2023
JOB: No.DA/23-4236

