



**U.S. Department of Housing and Urban
Development**

451 Seventh Street, SW
Washington, DC 20410
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Environmental Review for Activity/Project that is Categorically Excluded Subject to Section 58.5 Pursuant to 24 CFR 58.35(a)

Project Information

Project Name: Conversión de la Avenida del Valle a una Calle Completa (PR-CPR-001026)

Responsible Entity: Puerto Rico Department of Housing (PRDOH)

Grant Recipient : Municipality of Toa Baja

State/Local Identifier: Puerto Rico / Municipality of Toa Baja

Preparer: Maria Rossi, Architect, Principal at Rossi Lugo Architecture

Certifying Officer Name and Title:

Aldo A. Rivera Vázquez - Director, Permits and Environmental Compliance Division
Angel G. López Guzmán - Deputy Director, Permits and Environmental Compliance Division
Maria T. Torres-Bregón - Permits and Environmental Compliance Manager
Sally Z. Acevedo-Cosme - Permits and Environmental Compliance Specialist
Limary Vélez Marrero - Permits and Environmental Compliance Specialist
Ivelisse Lorenzo Torres - Permits and Environmental Compliance Specialist
Mónica Machuca Rios - Permits and Environmental Compliance Specialist
Janette I. Cambrelen - Permits and Environmental Compliance Specialist
Santa Ramírez Lebrón - Permits and Environmental Compliance Specialist
Abdul Feliciano Plaza - Permits and Environmental Compliance Specialist
Pedro A. De León Rodríguez - Permits and Environmental Compliance Specialist
Javier Mercado Barrera - Permits and Environmental Compliance Specialist
Priscilla Toro Rivera - Permits and Environmental Compliance Specialist

Consultant (if applicable): Not applicable

Direct Comments to: Puerto Rico Department of Housing at
environmentcdbg@vivienda.pr.gov

Project Location: The project is located in Toa Baja, Puerto Rico on Del Valle Avenue from 18.452758, -66.185152 to 18.456523, -66.182118.

Description of the Proposed Project [24 CFR 50.12 & 58.32; 40 CFR 1508.25]:

The proposed project Conversion of Del Valle Avenue into a complete street, include the reconstruction of the existing avenue, reducing the four (4) lane avenue which acts as a two-lane street with parking along both curbsides, to a two (2) lane street with a new bicycle lane and intermediate island, parallel parking on the commercial side of the street, curb extensions, streetscape, and landscape treatment. reconstruction of the 3-meter-wide sidewalks with trees and street furniture, new solar lighting system. Safety measures will include crossing flat tables and accessible pedestrian signals, turning radius reduction at the intersection with PR-165 to reduce motor vehicle speed at the Del Valle Ave. The design’s objectives for this conversion is to provide a safe and agreeable street for pedestrians, cyclists, and motorists, promoting the use of the street as an active urban connector between the commercial Boulevard street on the south and the natural amenities of the northern coast.



Figure 01: PR-CRP-001026 Project Area

Erosion Control

During the demolition and construction process, erosion and sedimentation control measures will be implemented to avoid the sediments discharge into the road surface and storm sewer system during rainfall events. The storm sewer structures (inlets, gutters, etc.) within the project area will be protected with hay bales or sediment sods. Material storage areas will be protected with a silt fence to prevent sediments from discharging into the street or storm sewer structures. All sediment control devices shall be inspected, replaced, or install additional measures, when necessary, after any rainfall event, including installation of hay bales (or silt socks) on drainage structures, installation of silt fence around the project limit, and implementation of a washout entrance for trucks to avoid sediments migration into the streets.

Exclusion to Demolition Works

The demolition works will exclude the removal of the existing perimeter walls of all the properties along Del Valle Avenue on both sides of the Avenue. The exclusion of the demolishment of the perimeter walls will benefit the integrity of the property and conserve all paved beyond the property limits. The attached documents provide a site plan drawing of existing conditions and proposed Construction Work documents.

- (1) The reconstruction of the existing Del Valle Avenue, reducing the four (4) lane avenue which acts as a two-lane street with parallel parking along both curb sides, to a two (2) lane complete street: The avenue measures 525 meters (1,777 ft.) long by 14.61 meters (48 ft.) wide for an area of 7,670 SM (82,562 SF) of asphalted vehicular surface. The existing asphalt pavement will be removed (approximately 4" deep) and replace by a new asphalted area of approximately 1,600SM (17,200 SF) for the remaining of the vehicular surface, a garden inlet with an area of 962 SM (10,353 SF) and a 2-way asphalted bicycle lane with an area of 11,443.75 SM (5,300 SF). The existing asphalt surface along this area will be removed (approximately 4" deep) and no further excavation is required.
- (2) A 2.75 meter (9 feet) wide, 2-way bicycle lane is proposed along the western sidewalk, from Boulevard Avenue southern intersection to the northern PR-165 state road (length of 525 M (1,700 feet)). The bicycle lane will be at sidewalk level. The existing asphalt along this area will be removed (approximately 4" deep) and no further excavation is required.
- (3) An intermediate island is proposed between the bicycle lane and the vehicular lanes. It is a green area of 1,962 SM (0.353 SF) for new planting and trees. The existing asphalt along this area will be removed (approximately 4" deep) and no further excavation is required.
- (4) Parallel parking (24 spaces) on the commercial side of the street is placed along the commercial side of the asphalted street.
- (5) Curb extensions: Curbs along the eastern sidewalk 525 m (1,722 ft.) long will be removed (approximately 6" deep) and replaced. The removal and replacement considered a 12" deep excavation with no impact to earth's crust.
- (6) Streetscape and landscape treatment amounts to an area of 12,725 square feet of grass and planting area and 141 trees. The existing asphalt area will be removed (approximately 4" deep) and replace with topsoil for new planting. Trees will require an excavation of approximately 30 inches deep.

- (7) The reconstruction of the 3-meter-wide sidewalks on both sides of the avenue considers the removal of the 4" existing concrete sidewalks and its replacement with new concrete sidewalks of the same dimensions and as the existing one. The typical detail for sidewalk section is 4 inches for the concrete slab and 4 inches for gravel (where applies).
- (8) Street furniture includes 18 pre-cast concrete benches, 48 pre-cast concrete bollards, 23 pre-cast concrete trash receptacles, 53 pre-cast concrete bicycle racks, 70 pedestrian solar posts (14 feet high) and 16 vehicular solar posts (26 feet high). Except for the solar posts, none of the urban furniture installation requires excavation and will not impact the terrain (Figures 2-4)
- (9) Improvements to existing storm sewer system will include the reduction of paved surface by eliminating two lanes, reducing the width of the two remaining lanes, providing landscape treatment along the sidewalks, a new green inlet and re-leveling of the street new pavement and the replacement. Existing grates and frames for inlets will remain. If needed, the resetting of top of manholes or other utility structure to match the existing surface level will be provided.
- (10) Installation of new solar luminaires along Del Valle Avenue. New poles with lighting arms and lamps will be installed along the avenue inlet and sidewalks. The solar posts installation will require punctual excavations for the post's base supports: There are 70 pedestrian posts 15 feet high which require three (3) feet deep excavation for the base and 16 vehicle lamps 25 feet high which require five (5) feet deep excavation for the base.

A Maintenance of traffic plan and temporary control devices will be implemented to control the vehicular traffic and provide a safe route to pedestrians during the construction works. The attached documents provide a detailed summary of the APE current condition and a site plan drawing of existing conditions and proposed reconstructions. will be reconstructed using CRP guidelines. The maintenance of the traffic plan will be prepared in compliance with the PRHTA and FHWA standards and regulations.



Figure 03: Detail of Street Furniture Partial Plan – ROSSILUGO ARCHITECTURE

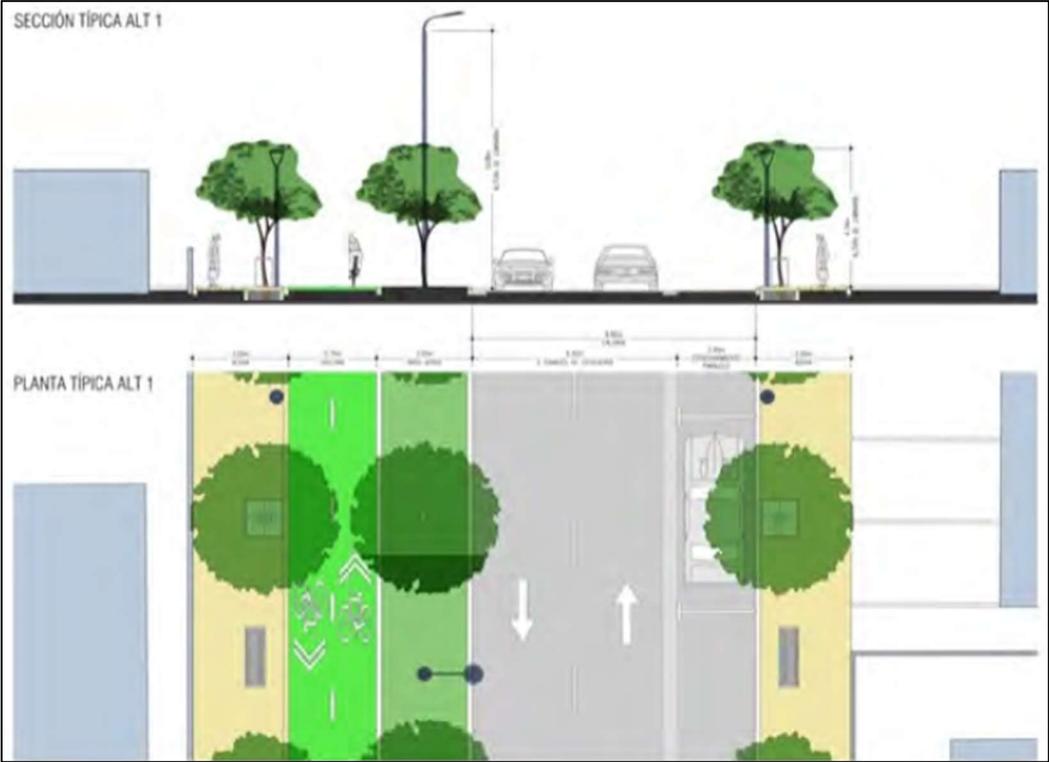


Figure 04: Detail of Street Section with Lamp Posts – ROSSILUGO ARCHITECTURE

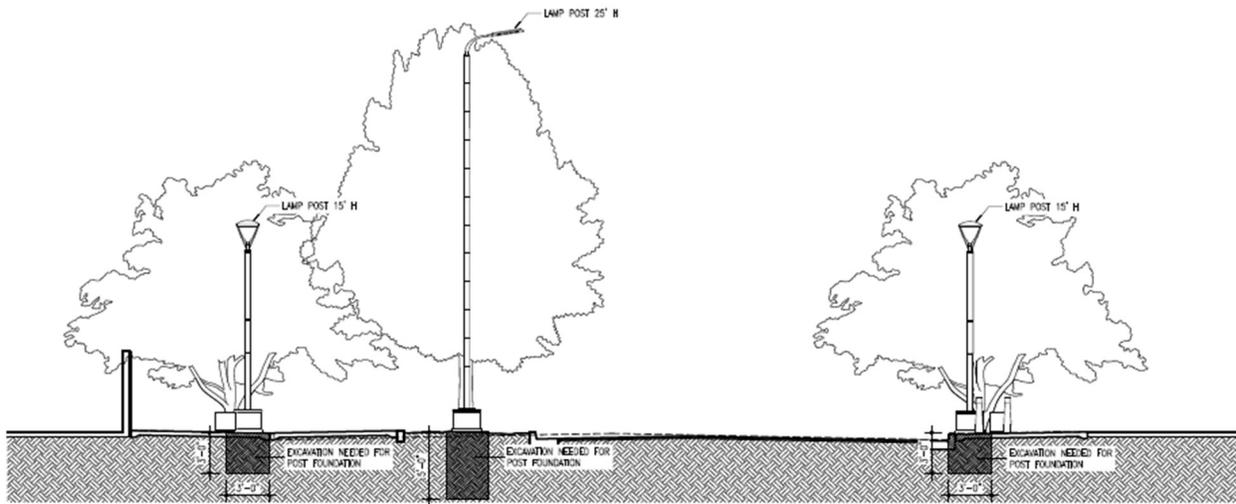


Figure 05: Detail of Lamp Posts impact on soil– ROSSILUGO

Funding Information

| Grant Number | HUD Program | Funding Amount |
|---|--|-----------------------|
| B-17-DM-72-0001; B-18-DP-72-0001; B-19-DP-78-0002; B-18-DE-72-0001 | Community Development Block Grant – Disaster Recovery (CDBG-DR) | \$11,938,162,230 |

Estimated Total HUD Funded Amount: \$3,364,981.00

Estimated Total Project Cost (HUD and non-HUD funds) [24 CFR 58.32(d)]: \$3,364,981.00

Compliance with 24 CFR 50.4, 58.5, and 58.6 Laws and Authorities

Record below the compliance or conformance determinations for each statute, executive order, or regulation. Provide credible, traceable, and supportive source documentation for each authority. Where applicable, complete the necessary reviews or consultations and obtain or note applicable permits of approvals. Clearly note citations, dates/names/titles of contacts, and page references. Attach additional documentation as appropriate.

| Compliance Factors: Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6 | Are formal compliance steps or mitigation required? | Compliance determinations |
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| STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 50.4 & 58.6 | | |
| Airport Hazards 24 CFR Part 51 Subpart D | Yes No <input type="checkbox"/> <input checked="" type="checkbox"/> | The nearest civilian airport, Fernando Luis Ribas Dominicci (SIG), is approximately 5.30 mi (27,984 ft) away and the nearest military airport, Luis Muñoz Marín (SJU), is approximately 11.32 mi (59,769.6 ft) away from the proposed project. The project location is not within 15,000 feet of military airport or 2,500 feet of a civilian airport and outside of an Accident Potential Zone (APZ) or Runway Protection Zone/Clear Zone (RPZ/CZ), thus the proposed action is in compliance with Airport Hazards requirements. Refer to: Attachment 1: Airport Map |
| Coastal Barrier Resources Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 [16 USC 3501] | Yes No <input type="checkbox"/> <input checked="" type="checkbox"/> | The closest resource unit is the PR-86P unit located 0.37 miles northeast of the project site. The proposed project is not located within a Coastal Barrier Resources Unit. Therefore, this project has no potential to impact a CBRS Unit and is in compliance with the Coastal Barrier Resources Act. Refer to: Attachment 2: CBRA Zone Map |
| Flood Insurance Flood Disaster Protection Act of 1973 and National Flood Insurance Reform Act of 1994 | Yes No <input type="checkbox"/> <input checked="" type="checkbox"/> | The proposed action is located in the 100-year and 500-year floodplains. The southern end part of the avenue (approximately 65%) of the proposed project is located within Zone AE (special flood hazard areas subject |

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| <p>[42 USC 4001-4128 and 42 USC 5154a]</p> | | <p>to inundation by the 1% annual chance flood, with base flood elevations determined), also known as the 100-year floodplain. The northern end of the avenue (approximately 35%) is located in Shaded Zone X (areas of 0.2% annual chance flood areas), also known as the 500-year floodplain. These are indicated on Flood Insurance Rate Map (FIRM) Panel no. 72000C0335J, with revision dated of November 18, 2009.</p> <p>However, because the project will take place on a state road that does not require flood insurance. Moreover, the adjacent structures are not anticipated to be adversely affected by the project's implementation, as the stormwater management infrastructure in the area will remain unchanged.</p> <p>Refer to:</p> <p>Attachment 3: FIRM Map</p> |
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STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 50.4 & 58.5

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| <p>Clean Air</p> <p>Clean Air Act, as amended, particularly section 176(c) & (d); 40 CFR Parts 6, 51, 93</p> | <p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p> | <p>According to the U.S. Environmental Protection Agency's (USEPA) Online Green Book, the Municipality of Toa Baja is within a Sulfur Dioxide (SO₂) Nonattainment zone. Emissions associated with the proposed project are estimated to be well within the guidelines in the Puerto Rico Non-Attainment State Implementation Plan for SO₂ National Ambient Air Quality Standard, and the project requires no individual NESHAP permit or notification.</p> <p>Typically, construction activities such as cleaning, grubbing, earth movement and the demolition of road structures produce particulates and conditions in which soil could be exposed to wind erosion and airborne particulates. During construction the proposed action could generate emissions (particulate material, hydrocarbons, nitrogen oxide, sulfur dioxide, among others) in addition to those produced during the operation of the existing roads of</p> |
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| | | <p>the area. For the most part those emissions would be produced by the operation of the heavy equipment and machinery used during the construction process.</p> <p>Potential air quality impacts are primarily short-term construction related. This temporary effect is not significant and would not have an adverse impact on the residential, institutional, and commercial properties located near the project area. During operations, vehicle emissions may be reduced due to the reduction of vehicle lanes and replacement with bicycle lanes, tree rows, and wider sidewalks, thus promoting less use of vehicles.</p> <p>The proposed project is not expected to have an adverse impact on the air quality and is not expected to result in any violations to the State Improvement Plan SO2 levels. The project will have no impact on air quality and is in compliance with the Clean Air Act.</p> <p>Refer to:</p> <p>Attachment 4.1: Clean Air Non-Attainment Map</p> <p>Attachment 4.2: EPA Green Book</p> <p>4.3: Puerto Rico Non-Attainment State Implementation Plan SO2</p> |
| <p>Coastal Zone Management</p> <p>Coastal Zone Management Act, sections 307(c) & (d)</p> | <p>Yes No</p> <p><input checked="" type="checkbox"/> <input type="checkbox"/></p> | <p>The project is located within the Coastal Zone. The Puerto Rico Planning Board (PRPB) in its meeting of July 24, 2024 emitted a General Federal Consistency Certification with the PRCZMP under resolution JP-2024004 for projects to be financed with Federal funds under the CBDG-DR and CDBG-MIT programs. Section D of this resolution establishes that Federal assistance awarded under CDBG-DR and CDBG-MIT programs for infrastructure projects (sidewalks, roads, highways, service lines, public squares) are consistent with the PRCZMP with the condition that the applicant fulfills certain requirements ninety (90) days before the construction phase of the project. The</p> |

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| | | <p>requests from PRPB were received on November 13, 2024 under CZ-2025-1112-213. The project will be in compliance upon delivery of the requested documents, which will be provided to the agency upon receipt.</p> <p>Refer to:</p> <p>Attachment 5.1: Coastal Zone Map</p> <p>Attachment 5.2: PRPB’s letter related to Federal Consistency Certification with the PRCZMP</p> |
| <p>Contamination and Toxic Substances</p> <p>24 CFR Part 50.3(i) & 58.5(i)(2)</p> | <p>Yes No</p> <p><input checked="" type="checkbox"/> <input type="checkbox"/></p> | <p>There are six EPA facilities located within the 3,000 ft buffer zone of the proposed project, some of which are co-located. Five of these facilities are hazardous waste sites, and one is an air emissions source. Additionally, there is one identified underground storage tank (UST) within 3,000 ft of the project, associated with a Shell station. None of these facilities have an identified compliance violation, and none are within or directly adjacent to the project area. The facilities will not be impacted, nor will the project development and intended use be impacted as a result of these facilities, as there will be no ground disturbance outside of existing roadways. The project does not propose development, construction, or rehabilitation that will increase residential densities. Thus, no further analysis is required.</p> <p>In July 2023, Zimmetry Environmental Management Corp. conducted both an asbestos inspection and a lead-based paint (LBP) inspection for the project. The asbestos inspection determined that no asbestos-containing materials (ACMs) were present at the site, and a formal certification of negative ACM presence was completed in accordance with the requirements of the Puerto Rico Environmental Quality Board to ensure regulatory compliance prior to demolition. The LBP inspection, conducted using an XRF (X-ray fluorescence) analyzer in accordance with HUD guidelines, found</p> |

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| | | <p>no detectable lead-based paint, confirming that the site is free of LBP hazards.</p> <p>While no LBP or ACM components were detected, surfaces containing lower lead levels could produce lead dust if disturbed. Any suspected LBP will need to be properly handled and disposed of at a verified disposal facility. Mitigation measures, including controlled removal and proper disposal, are required to prevent lead dust hazards during the project.</p> <p>According to HUD’s Notice: CPD-23-103 Departmental Policy for Addressing Radon in the Environmental Review Process, a contamination analysis must address radon in structures that are occupied or are intended to be occupied at least four (4) hours a day. Radon testing for the project has been deemed infeasible and impracticable due to several factors. No scientific or state-generated radon data for Puerto Rico exists for the past decade, and the most recent radon report, from 1995, is outdated. National resources such as the CDC's radon maps exclude Puerto Rico, and there are only two licensed radon professionals on the island, making testing highly time-consuming and costly. DIY radon kits are unreliable, not readily available, and logistically impractical. Local authorities lack specialized radon monitoring equipment, trained staff, and certified laboratories for testing. Additionally, the project site’s historical vacancy reduces the likelihood of radon accumulation. As confirmed by local and federal agencies, these limitations make radon testing unfeasible, and no further evaluation is required for the environmental review.</p> <p>The site visits and photos conducted by Zimmetry Environmental Management Corp. and Fernando Lugo (10/18/2024), Tamara Gonzáles Vega (03/18/2024), and</p> |
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| | | <p>Adalberto Mauras (03/18/2024) (Attachments 11, 16, and 17) revealed no environmental concerns in the project area or its immediately adjacent sites. Historically, Del Valle Ave has been a long-established roadway with no indication of prior structures or environmental issues that could impact the current project. The assessments show no environmental concerns related to past land use. Therefore, there are no contaminations or substances in or near the site that may affect health, safety of the occupants or conflict with the intended use of the site. The project is in compliance with 24 CFR Part 50.3(i) & 58.5(i)(2).</p> <p>Refer to: Attachment 6.1: Contamination Map and Table Attachment 6.2: EPA Facility Reports Attachment 6.3: UST Map and Table Attachment 16: ACM Negative Certification Attachment Attachment 17: LBP Report</p> |
| <p>Endangered Species</p> <p>Endangered Species Act of 1973, particularly section 7; 50 CFR Part 402</p> | <p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p> | <p>According to the US Fish and Wildlife Service’s (USFWS) Information for Planning and Consulting (IPaC) tool, there may be federally listed species nearby or within the proposed project site:</p> <ul style="list-style-type: none"> • West Indian Manatee (<i>Trichechus manatus</i>) • Puerto Rican Boa (<i>Chulabothrus Inornatus</i>) <p>The nearest critical habitat is for the West Indian Manatee, 0.08 miles northeast of the project. No adverse impacts are anticipated since the proposed project’s activities will be performed in the right of way and within a previously developed area. No activities will be performed adjacent to or in waterways where the manatee may be found.</p> <p>Because the project consists of street resurfacing and construction of sidewalks along existing roads, the project is in compliance with the Blanket Clearance</p> |

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| | | <p>Letter for the Endangered Species act of 1973, as amended, and the Fish and Wildlife Coordination Act. A Self-Certification for the project was signed by PRDOH on June 28, 2024, and submitted to the USFWS. The USFWS agreed with this determination per signature issued on July 11, 2024 to certify that the project is in compliance and is not likely to adversely affect federally-listed species.</p> <p>If a Puerto Rican Boa is found in the project action site, work shall cease until the Boa moves off on its own. If the Boa does not move off, the CM shall contact the Puerto Rico Department of Natural and Environmental Resources and ask for them to relocate the Boa.</p> <p>Refer to: Attachment 7.1: USFWS Package Attachment 7.2: IPaC Attachment 7.3: Critical Habitat Map</p> |
| <p>Explosive and Flammable Hazards</p> <p>24 CFR Part 51 Subpart C</p> | <p>Yes No <input type="checkbox"/> <input checked="" type="checkbox"/></p> | <p>The project does not involve the development, construction, or rehabilitation that will increase residential density or conversion. Examination of aerial views and site visits show no above ground storage tanks within the acceptable separation distance that would not be blocked by intervening public infrastructure.</p> <p>Thus, the project is in compliance with explosive and flammable hazard requirements. It is important to note that the project would involve temporary tasks during construction that possibly require the use of a power generator, heavy machinery, and diesel tanks. During construction the project shall meet requirements for fuel management and spill containment. The project is in compliance with Explosive and Flammable Hazards.</p> |
| <p>Farmlands Protection</p> <p>Farmland Protection Policy Act of 1981, particularly sections</p> | <p>Yes No <input type="checkbox"/> <input checked="" type="checkbox"/></p> | <p>According to data from the PRPB, the proposed project is located within an area that is considered “not prime farmland” and in land use designated as “Roads”. The project area is already developed, consisting</p> |

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| <p>1504(b) and 1541; 7 CFR Part 658</p> | | <p>of existing roads, and is situated within an urban area. Therefore, there will be no impacts on prime farmlands, as the proposed project will remain within the existing footprint. Since the area is already being used as a roadway and not as farmland, no impacts will occur.</p> <p>The project does not involve any activities that could convert farmland to non-farmland use, such as new construction outside of the ROW, acquisition of undeveloped land, or land conversion. Thus, the proposed project complies with the Farmland Protection Policy Act.</p> <p>Refer to:</p> <p>Attachment 8: Farmland Classification Map</p> <p>Attachment 15: PUT Map</p> |
| <p>Floodplain Management</p> <p>Executive Order 11988, particularly section 2(a); 24 CFR Part 55</p> | <p>Yes No</p> <p><input checked="" type="checkbox"/> <input type="checkbox"/></p> | <p>PRDOH will use the best available information, including the Flood Insurance Rate Map (FIRM), Preliminary Flood Insurance Rate Map (PFIRM), or Advisory Base Flood Elevation (ABFE) maps, whichever is most protective, to identify the floodplain. The horizontal extent of the floodplain includes the 100-year floodplain (1% annual chance) and 500-year floodplain (0.2 percent-annual chance) based on FEMA maps.</p> <p>For the proposed project’s location, there are FIRM and ABFE maps, no PFIRMS have been generated. As previously addressed, the FIRM map places the proposed project’s area partly in the 100-year and 500-year floodplains: the southern end part of the avenue (approximately 65% of the proposed project) is located within Zone AE (special flood hazard areas subject to inundation by the 1% annual chance flood, with base flood elevations determined) while the northern end of the avenue (approximately 35% of the project area) is located in area of 0.2% annual chance flood areas, also known as the 500-year floodplain.</p> |

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| | | <p>On the ABFE map, the entire project site is located within Zone A (100-yr floodplain), 1% Annual Chance Flood area. Thus, the ABFE map results in the most restrictive area. Therefore, the decision-making process (8-step) was performed for the project.</p> <p>The 8-Step process was conducted to analyze alternatives, including relocating the project outside the floodplain and taking no action. Relocating the project was deemed impractical because 63% of Toa Baja is within flood zones, making relocation ineffective in achieving the municipality's goals of revitalization and increased resilience. Similarly, the no-action alternative was impractical as it would fail to improve the roadway's infrastructure, thus not contributing to a safer and more efficient community. This site does not displace residents and also meets the community's needs of better roads, sidewalks, bicycle lanes and green areas. The project proposed will not cause damage to the floodplain or its natural functions, on the contrary, there will be less area to be repaved and more permeable surfaces with the additional green landscape. The project area currently does not serve any natural or beneficial functions apart from erosion control, since the area has mostly impermeable surfaces. Also, the design seeks to maximize water percolation by establishing permeable surfaces and enhancing existing vegetation with new landscaping.</p> <p>The Step 2 Public Notice – Early Notice and Public Review of a Proposed Activity in the 100-Year Floodplain was published on March 18, 2024, and the Step 7 Public Notice – Final Notice and Public Explanation of a Proposed Activity in a 100-Year Floodplain was published on May 1, 2024. No comments were received on either publication.</p> <p>The project does not increase population density or pose additional risks to human</p> |
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| | | <p>life. The project will not modify the current floodplain or the base flood elevation, and it will not alter the area’s hydraulic characteristics because it will occupy the current streets footprint. Therefore, while the relocation and no-action alternatives are impracticable, the proposed project supports the municipality’s efforts to create a more resilient and safer community without negatively impacting the floodplain's management.</p> <p>The project complies with the floodplain management regulation.</p> <p>Attachment 9: 8-Step Package Attachment 10: ABFE Map</p> |
| <p>Historic Preservation</p> <p>National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800</p> | <p>Yes No <input type="checkbox"/> <input checked="" type="checkbox"/></p> | <p>Consultation with the Puerto Rico State Historic Preservation Office (SHPO) was initiated on March 10, 2025 to present the proposed activities. Via letter dated April 4, 2025, SHPO concurred with the determination of “no historic properties affected within the project’s area of potential effects.” Therefore, the proposed action is in compliance with Section 106 of the NHPA. This project complies with National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800.</p> <p>Refer to: Attachment 11: Section 106 Package</p> |
| <p>Noise Abatement and Control</p> <p>Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B</p> | <p>Yes No <input type="checkbox"/> <input checked="" type="checkbox"/></p> | <p>The proposed actions are not expected to result in a permanent increase in the noise level of the area. During construction, temporary increases in noise levels may occur due to the use of heavy machinery. However, these noise levels are not anticipated to be excessive or significantly disturb the surrounding environment. Nearby residential neighborhoods will not be affected in the long-term, because traffic density and other noise contributors are not expected to increase. Given that the project is a reconstruction of an existing road, no noise assessment is required for this project</p> |

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| | | and the project is in compliance with the Noise Control Act. |
| <p>Sole Source Aquifers</p> <p>Safe Drinking Water Act of 1974, as amended, particularly section 1424(e); 40 CFR Part 149</p> | <p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p> | <p>There are no EPA sole source aquifers in Puerto Rico. The closest sole source aquifer is 1,027 miles (5,422,560 feet) to the northwest of the project site, in the state of Florida. Furthermore, the project consists of activities that are unlikely to have an adverse impact on groundwater resources. The project is in compliance with Sole Source Aquifer requirements.</p> <p>Refer to:</p> <p>Attachment 12: Sole Source Aquifers Map</p> |
| <p>Wetlands Protection</p> <p>Executive Order 11990, particularly sections 2 and 5</p> | <p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p> | <p>The project activities will not take place within any mapped wetlands. The closest wetland is 249 feet northeast of the project area. Project activities will be taking place within the previously developed ROW, and the proposed actions are not expected to have any adverse impacts on nearby wetlands. This project complies with Executive Order 11990.</p> <p>Refer to:</p> <p>Attachment 3.2: 8-Step Package Attachment 13: Wetlands Map</p> |
| <p>Wild and Scenic Rivers</p> <p>Wild and Scenic Rivers Act of 1968, particularly section 7(b) and (c)</p> | <p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p> | <p>The project is not located within or near any designated Wild and Scenic Rivers in Puerto Rico. Notably, Puerto Rico has only three designated Wild and Scenic Rivers—Río de la Mina, Río Icacos, and Río Mameyes—situated 27.1 miles southeast of the project site. While Puerto Rico has approximately 5,385 miles of rivers, only 8.9 miles are classified as wild and scenic, representing less than 0.2% of the island's river miles. Consequently, this project will not impact any designated Wild and Scenic Rivers and is in compliance with the Wild and Scenic Rivers Act.</p> <p>Refer to:</p> <p>Attachment 14 - Wild & Scenic Rivers Map</p> |

Field Inspection (Date and completed by): Fernando Lugo (10/18/2024), Tamara Gonzáles Vega (03/18/2024), and Adalberto Mauras (03/18/2024)

The project area is located within a heavily modified urban corridor developed in the 1960s as part of the Levittown housing project. Photos taken during the inspection show views facing northeast toward the intersection with PR-165 and southwest toward Boulevard Levittown (see site photos below). Existing conditions along Del Valle Avenue include a four-lane asphalt roadway currently functioning as a two-lane street with informal parking along curbsides. Sidewalks are often obstructed by parked vehicles, and pedestrian infrastructure is in poor condition. The area is highly urbanized, with mixed-use structures lining both sides of the avenue, including residential, commercial, and hospitality properties. The field review noted that although the area is not pristine, it plays a significant role in the context of Levittown’s urban history.

Site Photos:



View facing Northeast – toward the intersection with Av. El Caño, PR 165



View facing Southwest – toward the intersection with Blvd. Levittown



Northern intersection

Southern intersection

Summary of Findings and Conclusions:

The proposed project has been evaluated in accordance with applicable federal environmental regulations, including 24 CFR 50.4, 58.5, and 58.6. The project aims to revitalize existing infrastructure to enhance pedestrian, cyclist, and vehicular safety while promoting sustainability, accessibility, and urban connectivity. It includes roadway reconstruction, bicycle lanes, expanded sidewalks, and installation of solar lighting and street furniture. Demolition and construction activities will remain within the existing right-of-way and minimize ground disturbance.

The assessment found no adverse effects on floodplains, wetlands, historic resources, endangered species, or air and water quality. No lead-based paint or asbestos-containing materials were identified, and mitigation measures are in place for potential lead dust exposure during construction. The project does not impact farmland, sole source aquifers, coastal barriers, or Wild and Scenic Rivers and complies with coastal zone management, floodplain management, and all other applicable federal statutes. Consultation with SHPO confirmed no adverse effect to historic resources, and a floodplain 8-Step Analysis has been completed.

The proposed improvements are consistent with HUD-funded Community Development Block Grant Disaster Recovery (CDBG-DR) program goals. Based on the analysis, the project complies with all relevant environmental laws and regulations and is not anticipated to cause significant adverse environmental impacts.

Mitigation Measures and Conditions [40 CFR 1505.2(c)]

Summarize below all mitigation measures adopted by the Responsible Entity to reduce, avoid, or eliminate adverse environmental impacts and to avoid non-compliance or non-conformance with the above-listed authorities and factors. These measures/conditions must be incorporated into project contracts, development agreements, and other relevant documents. The staff responsible for implementing and monitoring mitigation measures should be clearly identified in the mitigation plan.

| Law, Authority, or Factor | Mitigation Measure |
|------------------------------------|---|
| Coastal Zone Management Act | To achieve compliance with the Puerto Rico Coastal Zone Management Program, the RE must provide compliance information requested by the PR Planning Board 90 Days BEFORE construction begins. Please refer to Attachment 5.2 for details. |
| Contamination and Toxic Substances | While no LBP or ACMs were detected, any suspected LBP encountered during the project must be handled using controlled removal methods and disposed of at a certified facility. Proper containment, disposal procedures, and the use of personal protective equipment (PPE) are required to ensure compliance with OSHA and EPA regulations and to minimize the risk of lead dust hazards (Attachments 16 and 17). |
| Endangered Species | If a Puerto Rican Boa is found in the project action site, work shall cease until the Boa moves off on its own. If the Boa does not move off, the CM shall contact the Puerto Rico Department of Natural and Environmental Resources and ask for them to relocate the Boa. |
| Floodplain Management | The 8-step decision-making process was completed to comply with HUD floodplain requirements. Mitigation measures, such as tree replanting, if applicable, and erosion and sedimentation control measures to prevent adverse effects from the project in the receiving waters, will be implemented during the project construction. |

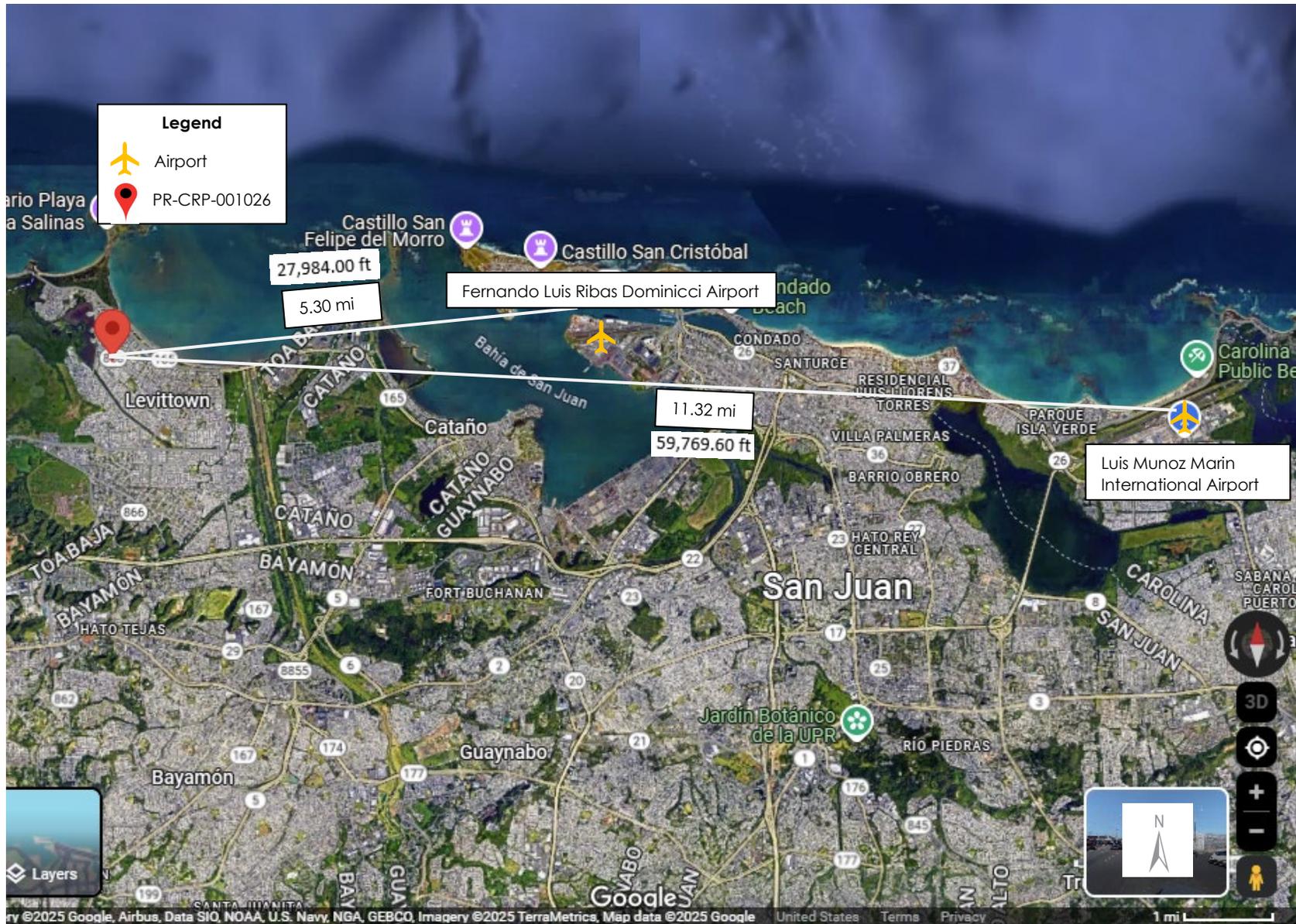
List of attachments

| | |
|-----|--|
| 1 | Airport Map |
| 2 | Coastal Barrier Zone Map |
| 3 | FIRM Map |
| 4.1 | Clean Air Non-Attainment Map |
| 4.2 | PR EPA Green Book |
| 4.3 | Puerto Rico Non-Attainment State Implementation Plan SO2 |
| 5.1 | Coastal Zone Map |
| 5.2 | PRPB Consultation |
| 6.1 | Contamination Map and Table |
| 6.2 | EPA Facility Reports |
| 6.3 | UST Map and Table |
| 7.1 | USFWS Package |
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| 7.3 | Critical Habitat Map |
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| 15 | PUT Map |
| 16 | ACM – Report and Negative Certification |
| 17 | LBP Report and Mitigation Process |
| 18 | Project Plans |

Attachment 1. Airport Hazards Map

PR-CRP-001026 – Conversion of Del Valle Avenue into a Complete Street

Coord: 18.452758, -66.185152 to 18.456523, -66.182118
Address: Del Valle Avenue, Levittown, Barrio Sabana Seca, Toa Baja, PR

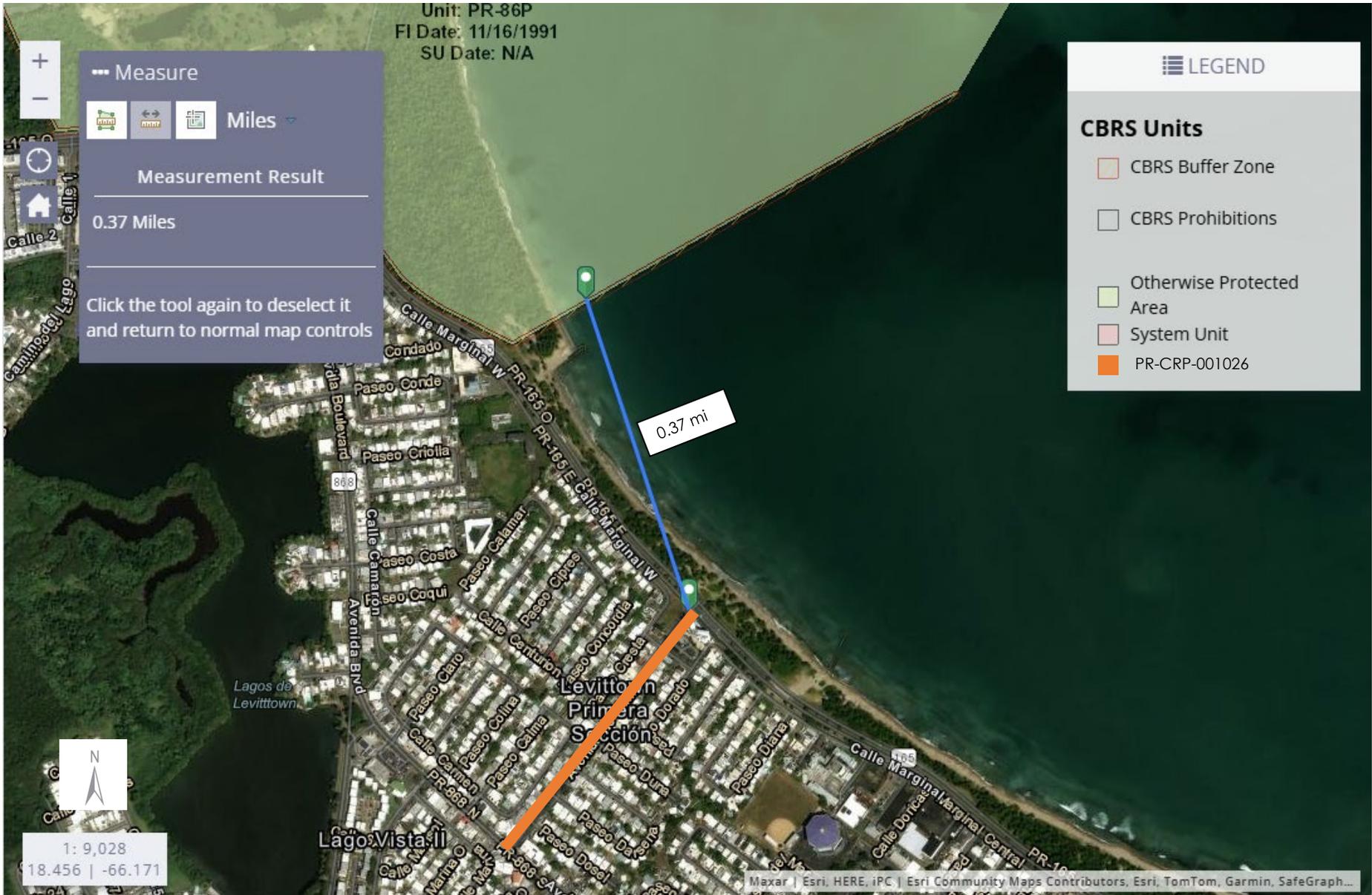


Source: Google Earth (Spatial Reference: WGS84) at URL <https://earth.google.com/>

Attachment 2. Coastal Barrier Resources Map

PR-CRP-001026 – Conversion of Del Valle Avenue into a Complete Street

Coord: 18.452758, -66.185152 to 18.456523, -66.182118
Address: Del Valle Avenue, Levittown, Barrio Sabana Seca, Toa Baja, PR



Source: U.S. Fish and Wildlife (USFWS) Coastal Barrier Resources System Mapper (Spatial Reference: WGS84) at URL <https://fwsprimary.wim.usgs.gov/CBRSMapper-v2/>

Attachment 3. Flood Insurance Map

PR-CRP-001026 – Conversion of Del Valle Avenue into a Complete Street

Coord: 18.452758, -66.185152 to 18.456523, -66.182118
 Address: Del Valle Avenue, Levittown, Barrio Sabana Seca, Toa Baja, PR

NOTES TO USERS

This map is for use in administering the National Flood Insurance Program. It does not necessarily identify all areas subject to flooding, particularly from local drainage sources of small size. The community map repository should be consulted for possible updated or additional flood hazard information.

To obtain more detailed information in areas where **Base Flood Elevations (BFEs)** and/or **floodways** have been determined, users are encouraged to consult the **Flood Profiles and Floodway Data and/or Summary of Stillwater Elevations** tables contained within the **Flood Insurance Study (FIS)** report that accompanies this FIRM. Users should be aware that BFEs shown on the FIRM represent rounded whole-foot elevations converted to tenth-meter elevations. These BFEs are intended for flood insurance rating purposes only and should not be used as the sole source of flood elevation information. Accordingly, flood elevation data presented in the FIS report should be utilized in conjunction with the FIRM for purposes of construction and/or floodplain management.

Coastal Base Flood Elevations shown on this map apply only landward of 0.0m Mean Sea Level (MSL). Users of this FIRM should be aware that coastal flood elevations are also provided in the **Summary of Stillwater Elevations** tables in the Flood Insurance Study report for this jurisdiction. Elevations shown in the Summary of Stillwater Elevations tables should be used for construction and/or floodplain management purposes when they are higher than the elevations shown on this FIRM.

Boundaries of the **floodways** were computed at cross sections and interpolated between cross sections. The floodways were based on hydraulic considerations with regard to requirements of the National Flood Insurance Program. Floodway widths and other pertinent floodway data are provided in the Flood Insurance Study report for this jurisdiction.

Certain areas not in Special Flood Hazard Areas may be protected by **flood control structures**. Refer to Section 2.4 "Flood Protection Measures" of the Flood Insurance Study report for information on flood control structures for this jurisdiction.

The projection used in the preparation of this map was Universal Transverse Mercator (UTM) zone 18. The horizontal datum was NAD 83. CRS80 spheroid. Differences in datum, spheroid, projection or UTM zones used in the production of FIRMs for adjacent jurisdictions may result in slight positional differences in map features across jurisdiction boundaries. These differences do not affect the accuracy of this FIRM.

Flood elevations on this map are referenced to the Mean Sea Level. These flood elevations must be compared to structure and ground elevations referenced to the same vertical datum. For information regarding vertical datum, visit the National Geodetic Survey website at <http://www.ngs.noaa.gov> or contact the National Geodetic Survey at the following address:

NGS Information Services
 NOAA, NNGS12
 National Geodetic Survey
 SSMC-3, #9202
 1315 East-West Highway
 Silver Spring, Maryland 20910-3282
 (301) 713-3242

To obtain current elevation, description, and/or location information for **bench marks** shown on this map, please contact the Information Services Branch of the National Geodetic Survey at (301) 713-3242, or visit its website at <http://www.ngs.noaa.gov>.

Base map information shown on this FIRM was derived from multiple sources. Digital orthophotography was mosaicked from imagery acquired by the U.S. Army Corps of Engineers, St. Louis District on one meter ground resolution flown on September 28, 2004, and imagery acquired by the Federal Emergency Management Agency at a scale of 1:1,200, flown in November 2003, February/March 2005, and January 2006.

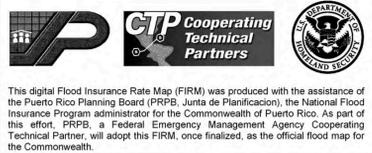
This map reflects more detailed and up-to-date **stream channel and shoreline configurations** than those shown on the previous FIRM for this jurisdiction. The floodplains and floodways that were transferred from the previous FIRM may have been adjusted to conform to these new stream channel and shoreline configurations. As a result, the Flood Profiles and Floodway Data tables in the Flood Insurance Study Report (which contains authoritative hydraulic data) may reflect stream channel distances that differ from what is shown on this map.

Corporate limits shown on this map are based on the best data available at the time of publication. Because changes due to annexations or de-annexations may have occurred after this map was published, map users should contact appropriate community officials to verify current corporate limit locations.

Please refer to the separately printed **Map Index** for an overview map of the county showing the layout of map panels; community map repository addresses; and a Listing of Communities table containing National Flood Insurance Program dates for each community as well as a listing of the panels on which each community is located.

Contact the **FEMA Map Service Center** at 1-800-358-9616 for information on available products associated with this FIRM. Available products may include previously issued Letters of Map Change, a Flood Insurance Study report, and/or digital versions of this map. The FEMA Map Service Center may also be reached by Fax at 1-800-358-9620 and its website at <http://www.msc.fema.gov>.

If you have **questions about this map** or questions concerning the National Flood Insurance Program in general, please call 1-877-FEMA-MAP (1-877-336-2627) or visit the FEMA website at <http://www.fema.gov>.



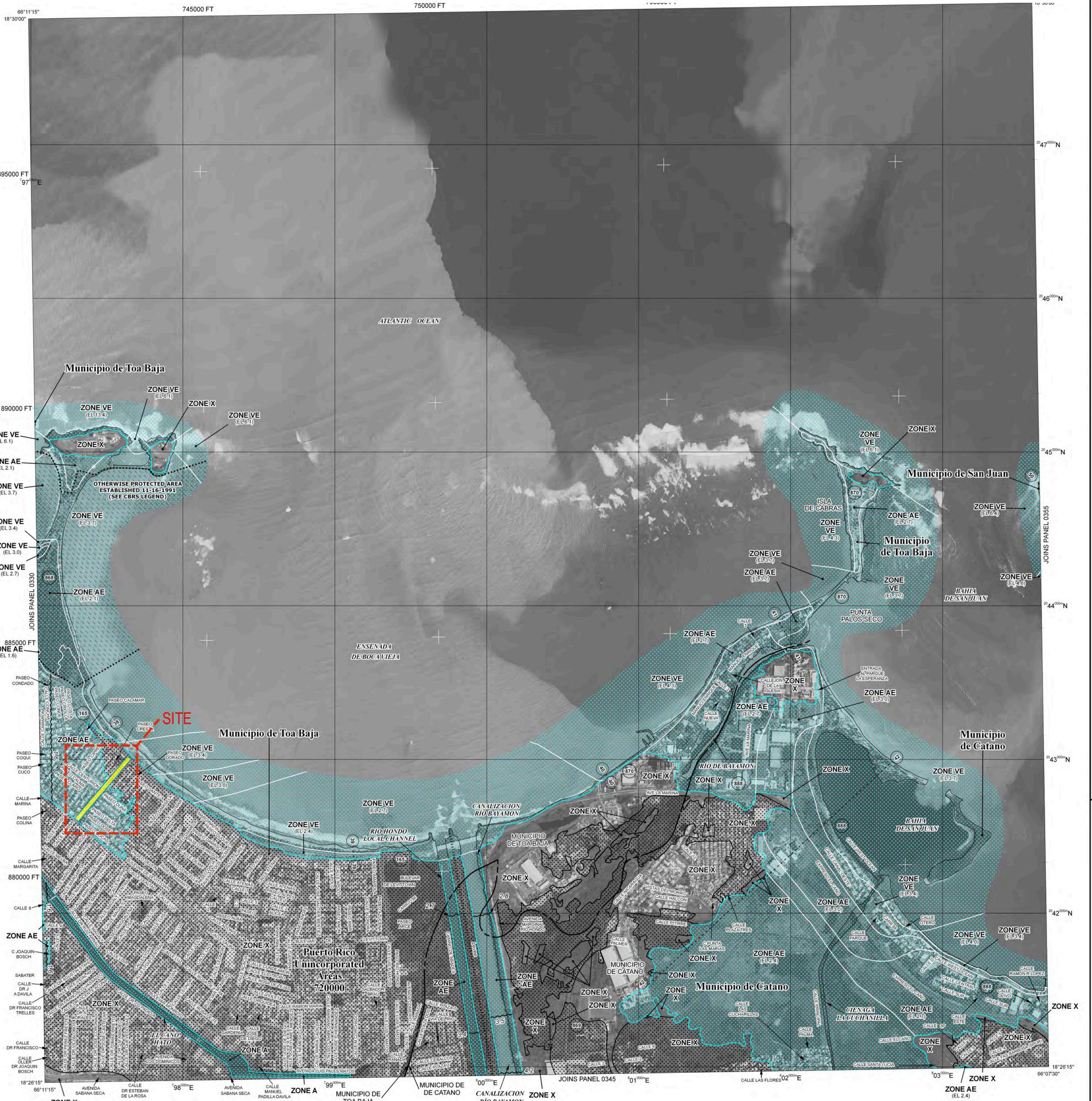
COASTAL BARRIER RESOURCES SYSTEM (CBRS) LEGEND

11-16-1990 CBRS Area
 FLOOD INSURANCE NOT AVAILABLE FOR STRUCTURES NEWLY BUILT OR SUBSTANTIALLY IMPROVED ON OR AFTER NOVEMBER 16, 1990, IN DESIGNATED CBRS AREAS.

11-16-1991 Otherwise Protected Area (OPA)
 FLOOD INSURANCE NOT AVAILABLE FOR STRUCTURES NEWLY BUILT OR SUBSTANTIALLY IMPROVED ON OR AFTER NOVEMBER 16, 1991, IN DESIGNATED OPAs WITHIN THE CBRS.

Boundaries of the John H. Chafee Coastal Barrier Resources System (CBRS) shown on this FIRM were transferred from the official CBRS source maps for this area and are depicted on this FIRM for informational purposes only. The official CBRS maps are enacted by Congress via the Coastal Barrier Resources Act, as amended, and maintained by the U.S. Fish and Wildlife Service (FWS). The official CBRS maps used to determine whether or not an area is located within the CBRS, or for any questions regarding the CBRS, please contact the FWS field office for this area at (787) 851-7297.

Source: FEMA FIRMette
 (Spatial Reference: NAVD88),
 accessed at URL <https://msc.fema.gov/portal/search>



LEGEND

SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD

The 1% annual flood (100-year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AE, AH, AO, AR, A99, V, and VE. The Base Flood Elevation is the water-surface elevation of the 1% annual chance flood.

ZONE A No Base Flood Elevations determined.
ZONE AE Base Flood Elevations determined.
ZONE AH Flood depths of 0.3 to 0.9 meter (usually areas of ponding); Base Flood Elevations determined.
ZONE AO Flood depths of 0.3 to 0.9 meter (usually sheet flow on sloping terrain); average depths determined. For areas of alluvial fan flooding, velocities also determined.
ZONE AR Special Flood Hazard Area formerly protected from the 1% annual chance flood by a flood control system that was subsequently decertified. Zone AR indicates that the former flood control system is being restored to provide protection from the 1% annual chance or greater flood.
ZONE A99 Area to be protected from 1% annual chance flood by a Federal flood protection system under construction; no Base Flood Elevations determined.
ZONE V Coastal flood zone with velocity hazard (wave action); no Base Flood Elevations determined.
ZONE VE Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.

FLOODWAY AREAS IN ZONE AE

The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights.

OTHER FLOOD AREAS

ZONE X Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 0.3 meter or with drainage areas less than 2.5 square kilometers; and areas protected by levees from 1% annual chance flood.

OTHER AREAS

ZONE D Areas determined to be outside the 0.2% annual chance floodplain.
ZONE U Areas in which flood hazards are undetermined, but possible.

COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS

OTHERWISE PROTECTED AREAS (OPAs)

CBRS areas and OPAs are normally located within or adjacent to Special Flood Hazard Areas.

1% annual chance floodplain boundary
 0.2% annual chance floodplain boundary
 Floodway boundary
 Zone D boundary
 Zone U boundary
 CBRS and OPA boundary
 Boundary dividing Special Flood Hazard Area Zones and boundary dividing Special Flood Hazard Areas of different Base Flood Elevations, flood depths or flood velocities.
 Base Flood Elevation line and value, elevation in meters*
 (EL 987)
 Base Flood Elevation value where uniform within zone; elevation in meters*
 * Referenced to the Mean Sea Level

Cross section line
 Transect line
 Geographic coordinates referenced to the North American Datum of 1983 (NAD 83), Western Hemisphere
 100-meter Universal Transverse Mercator grid values, zone 18
 5000-foot grid ticks: Puerto Rico Virgin Islands State Plane coordinate system (FPSZONE S200), Lambert Conformal Conic projection
 Bench mark (see explanation in Notes to Users section of this FIRM panel)
 DX5510 x
 M1.5 River Mile

MAP REPOSITORY
 Refer to listing of Map Repositories on Map Index

EFFECTIVE DATE OF COMMONWEALTH OF PUERTO RICO AND MUNICIPALITIES FLOOD INSURANCE RATE MAP
 April 19, 2006

EFFECTIVE DATE(S) OF REVISION(S) TO THIS PANEL
 November 18, 2009 – to change Base Flood Elevations and to change Special Flood Hazard Areas.

PR-CRP-001026

MAP SCALE
 1:10,000

0 250 0 500 1,000 1,500 2,000 2,500 3,000 3,500
 Kilometers
 0 0.25 0 0.5
 Feet
 0 0.125 0 0.25
 Miles

NATIONAL FLOOD INSURANCE PROGRAM

PANEL 0335J

FIRM

FLOOD INSURANCE RATE MAP
 COMMONWEALTH OF PUERTO RICO AND MUNICIPALITIES

PANEL 335 OF 2160
 (SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:
 COMMUNITY: PUERTO RICO NUMBER: 720000 PANEL: 0335 SUFFIX: J

NOTE -
 THIS MAP INCLUDES BOUNDARIES OF THE COASTAL BARRIER RESOURCES SYSTEM ESTABLISHED UNDER THE COASTAL BARRIER RESOURCES ACT OF 1982 AND/OR SUBSEQUENT AMENDING LEGISLATION.
 Notice to User: The Map Number shown below should be used when placing orders. The Community Number shown above should be used on insurance applications for the subject community.

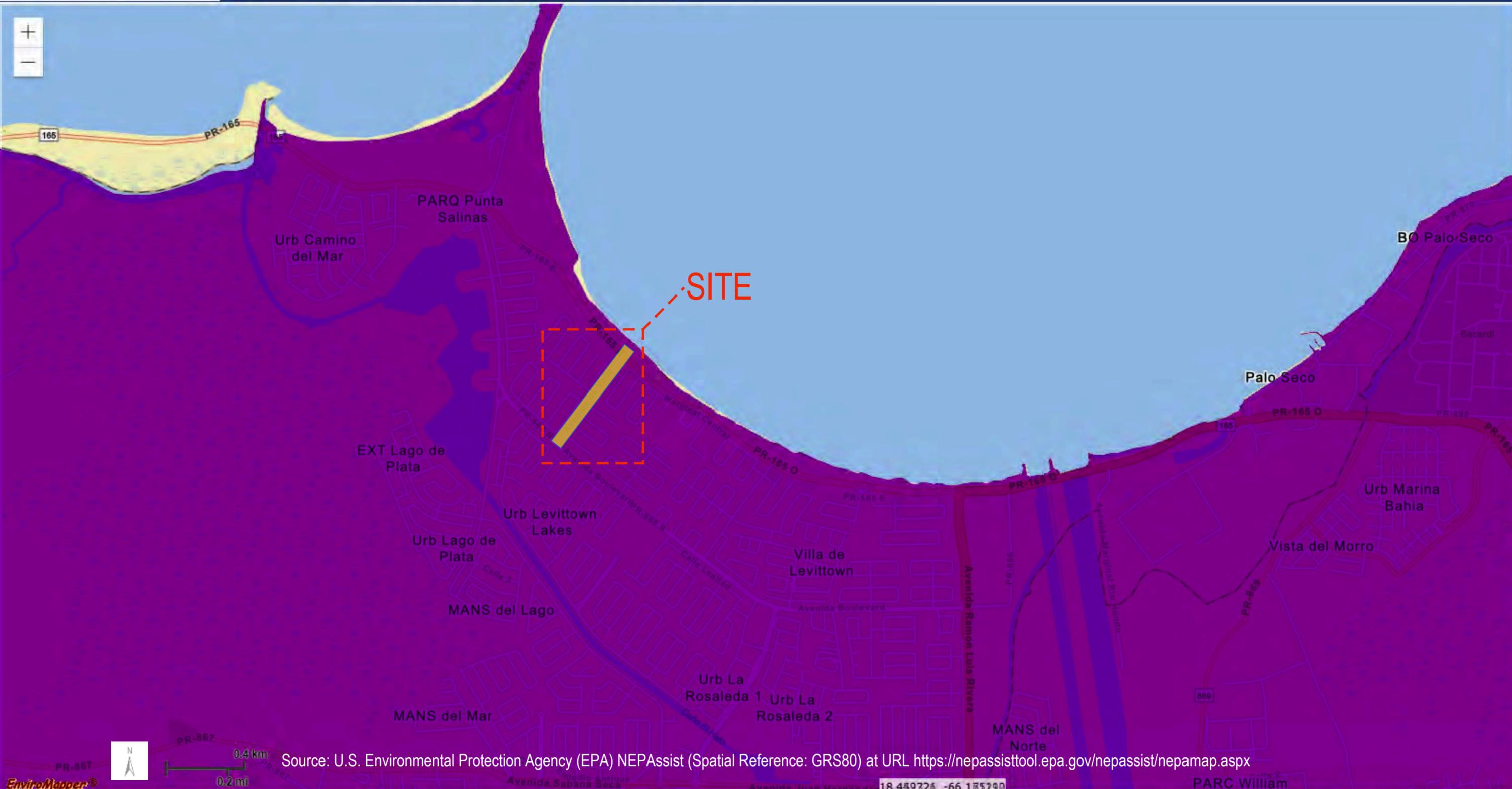
MAP NUMBER
 72000C0335J

MAP REVISED
 NOVEMBER 18, 2009

Federal Emergency Management Agency

Buscar dirección o lugar

Basemap Imagery Draw Erase Save Session Tools More Data



Select Map Contents

- [-] EPA Facilities
- [-] Water Monitoring Stations
- [-] Boundaries
- [-] Non-attainment Areas
 - Ozone 8-hr (1997 standard)
 - Ozone 8-hr (2008 standard)
 - Ozone 8-hr (2015 Standard)
 - Lead (2008 standard)
 - Nonattainment
 - Maintenance
 - SO2 1-hr (2010 standard)
 - Nonattainment
 - Maintenance
 - PM2.5 24hr (2006 standard)
 - PM2.5 Annual (1997 standard)
 - PM2.5 Annual (2012 standard)
 - PM10 (1987 standard)
 - Nonattainment
 - Maintenance
 - CO (1971 Standard)
 - Ozone 1-hr (1979 standard-revoked)
 - NO2 (1971 Standard)
- [-] EJScreen Indexes (2021)
- [-] Water
- [-] Transportation
- [-] Places
- [-] Critical Habitat
- [-] NWI Wetlands
- [-] FEMA Flood
- [-] Land Cover

PR-CRP-001026



Source: U.S. Environmental Protection Agency (EPA) NEPAssist (Spatial Reference: GRS80) at URL <https://nepassisttool.epa.gov/nepassist/nepamap.aspx>

4.2 U.S. Environmental Protection Agency – Green Book data

Source: https://www3.epa.gov/airquality/greenbook/anayo_pr.html

3/17/25, 12:30 PM

Puerto Rico Nonattainment/Maintenance Status for Each County by Year for All Criteria Pollutants | Green Book | US EPA



You are here: EPA Home > Green Book > >National Area and County-Level Multi-Pollutant Information >Puerto Rico Nonattainment/Maintenance Status for Each County by Year for All Criteria Pollutants

Puerto Rico Nonattainment/Maintenance Status for Each County by Year for All Criteria Pollutants

Data is current as of February 28, 2025

Listed by County, NAAQS, Area. The 8-hour Ozone (1997) standard was revoked on April 6, 2015 and the 1-hour Ozone (1979) standard was revoked on June 15, 2005.

* The 1997 Primary Annual PM-2.5 NAAQS (level of 15 µg/m³) is revoked in attainment and maintenance areas for that NAAQS. For additional information see the PM-2.5 NAAQS SIP Requirements Final Rule, effective October 24, 2016. (81 FR 58009)

Change the State:

Important Notes

[Download National Dataset: dbf](#) | [xls](#) | [Data dictionary \(PDF\)](#)

| County | NAAQS | Area Name | Nonattainment in Year | Redesignation to Maintenance | Classification | Whole or/Part County | Population (2010) | State/County FIPS Codes |
|--------------------|-----------------------|----------------------|--------------------------------------|------------------------------|----------------|----------------------|-------------------|-------------------------|
| PUERTO RICO | | | | | | | | |
| Arecibo Municipio | Lead (2008) | Arecibo, PR | 111213141516171819202122232425 | // | | Part | 32,185 | 72/013 |
| Bayamon Municipio | Sulfur Dioxide (2010) | San Juan, PR | 1819202122232425 | // | | Part | 22,921 | 72/021 |
| Catano Municipio | Sulfur Dioxide (2010) | San Juan, PR | 1819202122232425 | // | | Whole | 28,140 | 72/033 |
| Guaynabo Municipio | PM-10 (1987) | Mun. of Guaynabo, PR | 929394959697989900010203040506070809 | 02/11/2010 | Moderate | Part | 90,470 | 72/061 |
| Guaynabo Municipio | Sulfur Dioxide (2010) | San Juan, PR | 1819202122232425 | // | | Part | 23,802 | 72/061 |
| Salinas Municipio | Sulfur Dioxide (2010) | Guayama-Salinas, PR | 1819202122232425 | // | | Part | 23,401 | 72/123 |
| San Juan Municipio | Sulfur Dioxide (2010) | San Juan, PR | 1819202122232425 | // | | Part | 147,963 | 72/127 |
| Toa Baja Municipio | Sulfur Dioxide (2010) | San Juan, PR | 1819202122232425 | // | | Part | 52,441 | 72/137 |

Important Notes

Discover.

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2025-02-28



GOVERNMENT OF PUERTO RICO
DEPARTMENT OF NATURAL AND ENVIRONMENTAL RESOURCES

Puerto Rico Non-Attainment State Implementation Plan
Sulfur Dioxide (SO₂) National Ambient Air Quality Standard

Prepared by: Department of Natural and Environmental Resources
Air Quality Area

Objective: To bring into compliance with the 2010 1-Hour Sulfur Dioxide (SO₂) primary NAAQS the designated SO₂ non-attainment areas in Puerto Rico

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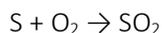
Acronyms

| | |
|---------------------|---|
| AQCRs: | Air Quality Control Regions |
| AQS: | Air Quality System |
| CAA: | Clean Air Act |
| DNER: | Department of Natural and Environmental Resources' |
| EPA: | Environmental Protection Agency |
| FIP: | Federal Implementation Plan |
| FR: | Federal Register |
| IRP: | Integrated Resource Plan |
| NAAQS: | National Ambient Air Quality Standards |
| NAA-SIP: | Non-Attainment Area-State Implementation Plan |
| NANSR: | Non-Attainment New Source Review |
| ppb: | parts per billion |
| PRDNER: | Puerto Rico Department of Natural and Environmental Resources |
| PREB | Puerto Rico Energy Board |
| PREPA: | Puerto Rico Electric Power Authority |
| PREPPA: | Puerto Rico Environmental Public Policy Act |
| PREQB: | Puerto Rico Environmental Quality Board |
| PTE: | Potential to Emit |
| RCAP: | Regulation for the Control of Atmospheric Pollution |
| SIP: | State Implementation Plan |
| SO ₂ : | Sulfur Dioxide |
| SO _x | other Sulfur Dioxide |
| tpy: | tons per year |
| ULSD: | Ultra Low Sulfur Diesel |
| ug/m ³ : | micrograms per cubic meter |
| USEPA: | Unites States Environmental Protection Agency |

1.0 Overview

1.1 INTRODUCTION

Sulfur dioxide (SO₂) is a colorless, reactive air pollutant with a strong odor. The effects of this gas can be a threat to human health, animal health, and plant life. Short-term exposures to SO₂ can harm the human respiratory system and make breathing more difficult. Clinical Studies had demonstrated that people with asthma, particularly children, are more sensitive to the SO₂. The sulfur containing compounds in the material is oxidized in the presence of oxygen to form sulfur dioxide via the following chemical reaction:



High concentrations of SO₂ in the air generally lead to the formation of other sulfur oxides (SO_x) which can react with other compounds in the atmosphere to form small particles, increasing particulate matter concentration and ambient pollution. SO_x can also react with water to form acids.

The general population may be exposed to sulfur dioxide mainly by breathing air that contains it. In addition, one may also be exposed to sulfur dioxide by skin contact with it. Some health effects associated with exposure to SO₂ emissions are: (1) difficult breathing, (2) changes in ability to breathe, and (3) burning nose and throat (ATSDR, 1998). Sulfur dioxide irritates the skin and mucous membranes of the eyes, nose, throat, and lungs. High concentrations of SO₂ can cause inflammation and irritation of the respiratory system, especially during heavy physical activity. The resulting symptoms associated with SO₂ exposure can include: (1) pain when taking a deep breath, (2) coughing, (3) throat irritation, and (4) breathing difficulties. High concentrations of SO₂ can affect lung function, worsen asthma attacks, and worsen existing heart disease in sensitive groups. The gases containing SO₂ can also react with other chemicals in the air and change to a small particle that can get into the lungs and cause similar health effects (NPS, 2018).

Sulfur dioxide (SO₂) is one of six "criteria" pollutants scientists have identified as being particularly harmful to human health and the environment. For this reason, the Clean Air Act (CAA) requires the United States Environmental Protection Agency (USEPA or EPA) to set primary air quality standards at a level judged to be requisite to protect the public health with an adequate margin of safety. The CAA also required EPA to establish secondary standards to protect public welfare from any known or anticipated effects associated with the pollutant in the ambient air, including effects on crops, vegetation, wildlife, buildings and national monuments, and visibility. Sulfur dioxide is primarily derived from fossil fuel combustion at power plants and other industrial facilities. Other sources of SO₂ include industrial processes like extracting metal from ore and the burning of high sulfur fuels by locomotives, large ships, and non-road equipment.

1.2 NATIONAL AMBIENT AIR QUALITY STANDARDS (NAAQS)

On June 22, 2010 (75 FR 35520) the Environmental Protection Agency strengthened the primary National Ambient Air Quality Standard (NAAQS) for sulfur dioxide (SO₂). Specifically, EPA replaced the annual and 24-hour primary standards with a new 1-hour SO₂ standard set at 75 parts per billion (ppb) or 196 ug/m³ as determined in accordance with Appendix T of Title 40 of Code of Federal Regulations (40 CFR), part 50. EPA significantly strengthened the primary standard based on health studies showing that people with asthma experience negative respiratory effects following very short exposure to SO₂ while breathing at elevated rates.

On August 21, 2015, the EPA issued the Data Requirements Rule for the 2010 1-Hour SO₂ Primary NAAQS (80 FR 51052). Under this rule, each air regulatory agency was required to submit a list to the EPA by January 15, 2016, that identified all sources within its jurisdiction that have SO₂ emissions that exceeded the 2,000 tons per year (tpy) annual threshold. The rule requires air quality characterization of the area associated with each listed source and provides two options to undertake this characterization: (1) the use of monitoring or (2) modeling the impacted Air Basin using approved EPA dispersion models.

On December 21, 2015, the Department of Natural and Environmental Resources (DNER), submitted to the EPA the list of sources with SO₂ emissions above the 2,000 ton per year statutory threshold. Table # 1 below presents the sources included in the notification provided by the DNER, as well as their SO₂ emissions, as reported.

Table # 1: Source with emission on or above 2,000 ton per year of SO₂. As reported to EPA on December 21, 2015.

| Source | Municipality | SO ₂ Emission Rate (ton/year) | |
|--|--------------|--|----------|
| | | Allowable | Actual |
| PREPA Aguirre Power Plant | Salinas | 30,038.09 | 9,264.11 |
| PREPA South Coast Steam Power Plant ¹ | Guayanilla | 11,505.53 | 8,336.43 |
| PREPA San Juan Power Plant | San Juan | 7,787.05 | 4,903.39 |
| PREPA Palo Seco Power Plant | Toa Baja | 17,344.16 | 3,125.37 |

The EPA explained in the Data Requirements Rule (80 FR 51057) that the current ambient SO₂ monitoring network, overall, is not appropriately positioned / located, or of adequate size, for purposes of demonstrating compliance with the new standard, to characterize and measure the ambient air quality around many of the Island of Puerto Rico larger emitting SO₂ sources in operation today. The EPA stated that, because ambient SO₂ concentrations are not the result of complex chemical reactions (unlike ozone or PM_{2.5}), they can be modeled accurately using well understood air quality modeling tools, especially in areas where one or only a few sources exist. Air quality modeling and ambient monitoring are appropriate tools for characterizing ambient air quality for purposes of informing future decisions to implement the SO₂

¹ While PREPA South Coast was identified in Table 1 as a source with equal or greater than 2,000 tons per year of SO₂, the modeling analysis determined this source did not contribute to nonattainment, resulting in the area near and surrounding PREPA South Coast to be designated attainment.

NAAQS. Therefore, both options are available to the state to characterize the areas geared to demonstrate compliance with the new SO₂ 1-hour NAAQS promulgated.

If the air monitoring option was selected, the EPA required that the monitors being used to satisfy this rulemaking must be operational by January 1, 2017. It recognizes that the logistical and financial burdens of installing an ambient air monitoring station can vary in difficulty and the resources required. The EPA believes that any further delay in air quality characterization around sources identified as a result of this rulemaking will delay implementation of the standard and public health protection in areas where there may be a violation of the standard. The DNER made several attempts to relocate the SO₂ air monitoring network, but lack of infrastructure or adequate site characteristics limited the capability of the agency to relocate the existing monitors and its stations. In order to comply with regulatory requirements, on June 20, 2016, DNER notified EPA that the modeling option was going to be used to characterize peak 1-hour SO₂ concentrations. The document also enclosed the Dispersion Modeling Protocol required under 40 CFR 51.1203(d).

In March of 2017, the DNER submitted to EPA a 1-hour SO₂ modeling assessment and boundary recommendations for the designation of Puerto Rico area. DNER provided updated modeling between October and November 2017, in response to EPA comments on the March 2017 submission, which allowed EPA to finalize the SO₂ designation for Puerto Rico.

1.3 GEOGRAPHICAL DESCRIPTION

On January 9, 2018, EPA notified in the Federal Register (83 FR 1098) the designation of two (2) areas, comprised of several wards in different municipalities of Puerto Rico, as non-attainment for the new SO₂ NAAQS. This designation was based on EPA mathematical dispersion modeling, as provided by the regulation. According to the dispersion model’s results, the Puerto Rico Electric Power Authority (PREPA) Plants located in the designated non-attainment areas were the only contributors of the NAAQS exceedances.

DNER’s modeling assessment indicates the main SO₂ emitters in the non-attainment areas are: PREPA San Juan Power Plant and PREPA Palo Seco Power Plant in the San Juan Metro Area, and PREPA Aguirre Power Plant in Guayama-Salinas Area. Table # 2 presents the designated non-attainment areas for sulfur dioxide as defined in the Federal Register. Note that the areas are defined by municipalities and wards.

Table #2: Designated *non-attainment areas* as defined in the Federal Register

| San Juan Metro Area | Guayama - Salinas Area |
|--|---|
| <ul style="list-style-type: none"> • Cataño Municipality (All) • Toa Baja Municipality (Partial) <ul style="list-style-type: none"> ○ Palo Seco Ward ○ Sabana Seca Ward • San Juan Municipality (Partial) • Guaynabo Municipality (Partial) • Bayamón Municipality (Partial) | <ul style="list-style-type: none"> • Salinas Municipality (Partial) <ul style="list-style-type: none"> ○ Aguirre Ward ○ Lapa Ward |

Technology. As stated in Section 191(a) of the CAA the state should submit an NAA-SIP with a demonstration to reach attainment within 5 years of the designation.

3.0 EMISSIONS INVENTORY

Emissions inventory and source emission rate data serve as the foundation for modeling and other required analyses. Sulfur dioxide emissions come from anthropogenic sources such as fossil fuel combustion and biogenic sources such as volcanic activity. Anthropogenic emissions of SO₂ in Puerto Rico are mainly due to combustion of fossil fuels by external combustion boilers (~90 %), internal combustion engines (~1.6%) and transportation-related sources (~8.4%) based on 2014 EPA National Emission Inventory (USEPA, 2014), shown in Figure #3.

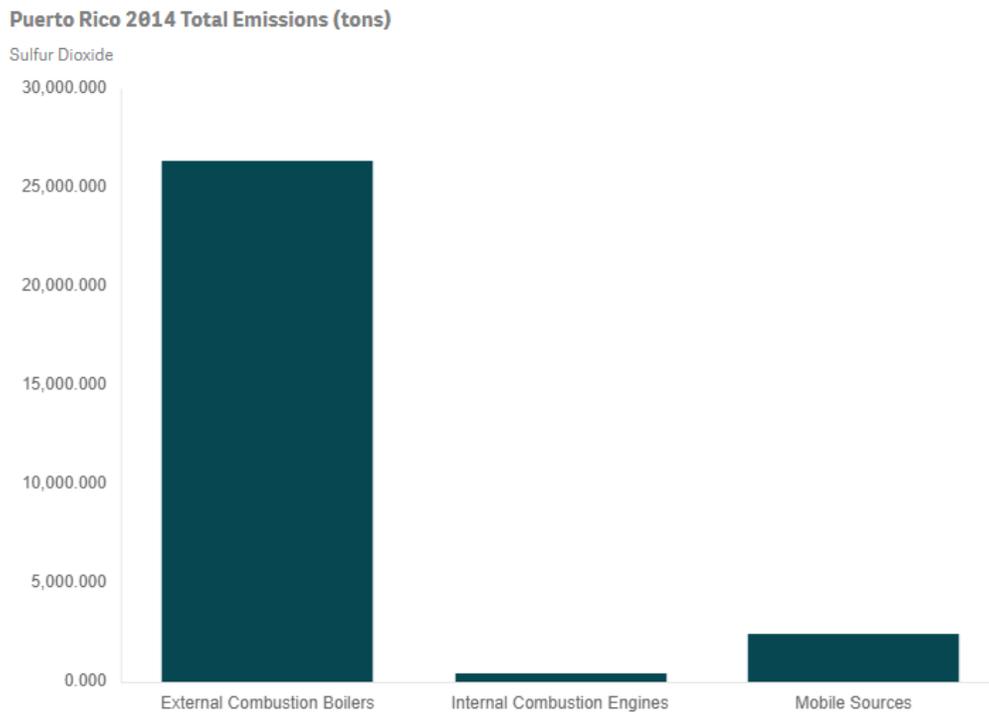


Figure #3: NEI 2014 SO₂ Emission based on process

The 2014 National Emission Inventory for SO₂ Non Attainment Areas for San Juan Area and Guayama-Salinas Area are shown as follows:

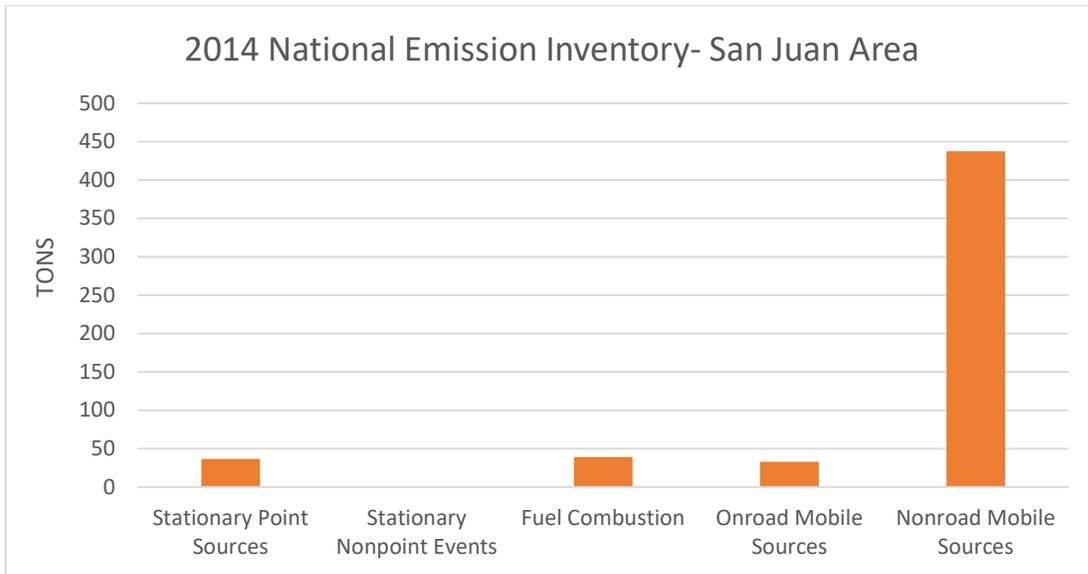


Figure #4: SO₂ Non Attainment Areas- San Juan

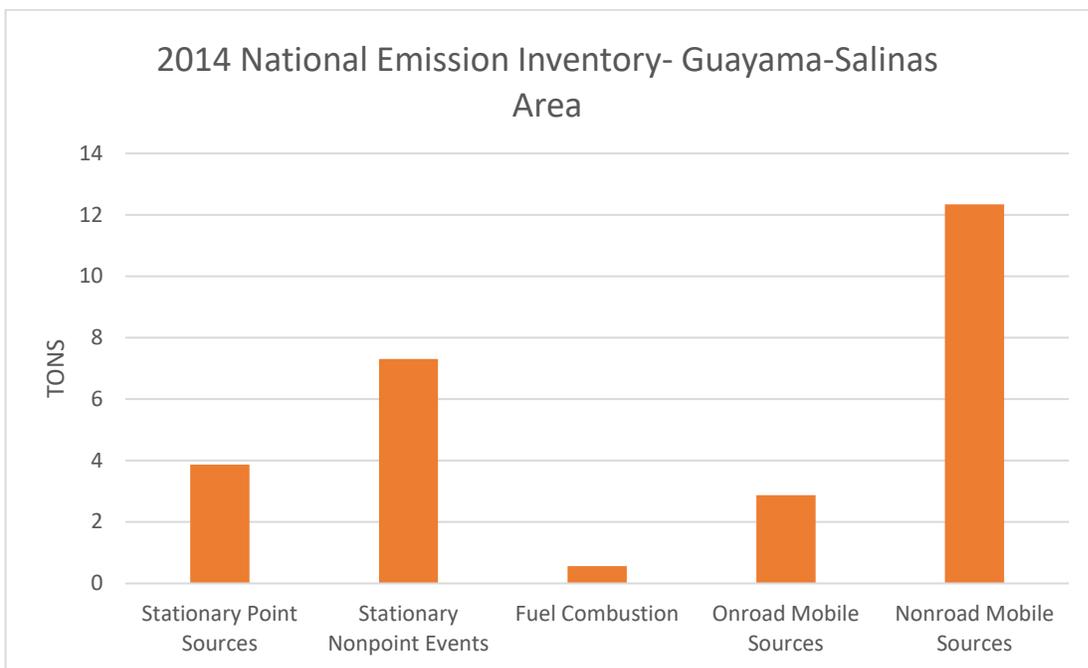


Figure #5: SO₂ Non Attainment Areas-Guayama

As required under Section 172(c)(3) of the CAA, the air regulatory agency should develop a comprehensive, accurate and current inventory of actual emission from all relevant sources of SO₂. Inventory should be consistent with data requirements codified in 40 CFR, part 51, Subpart A.

DNER prepared the projected emission inventory 2019-2030, for the 1- hour SO₂ non-attainment SIP, in the areas of San Juan Metro and Guayama-Salinas. The principal SO₂ emitters in each area are: PREPA San Juan and Palo Seco in San Juan, and PREPA Aguirre, in Guayama-Salinas. All of them are comprised primarily of external combustion boilers, combined cycle and internal combustion generation units.

The projected emission inventory includes five years of SO₂ allowable emissions, from 2019-2023. This inventory shows the required reductions in SO₂ potential emissions, that PREPA facilities should reach, to comply with the 1-hour SO₂ NAAQS. To satisfy the projected emission inventory requirement, the DNER prepared a document titled: *Puerto Rico 1-Hour SO₂ Non-Attainment Area State Implementation Plan: 2019-2023 Projected Emission Inventory*.

4.0 ATTAINMENT DEMONSTRATION

The two (2) nonattainment areas in Puerto Rico for the 1-hour SO₂ NAAQS are San Juan Metro and Guayama-Salinas. The San Juan Metro nonattainment area, includes the following municipalities and wards; within Cataño, (Palmas and Barrio Pueblo Wards), in Toa Baja (Palo Seco and Sabana Seca Wards), within Guaynabo (Pueblo Viejo Ward), in Bayamón (Juan Sánchez Ward) and in San Juan (San Juan Antiguo, Santurce, Hato Rey Norte and Gobernador Piñero Wards). The rest of the wards in each municipality were classified as attainment/unclassified.

The largest SO₂ sources in San Juan Metro area are, PREPA San Juan in San Juan municipality and PREPA Palo Seco in Toa Baja. Both sites are located within urban areas. In Guayama -Salinas area, the major SO₂ emissions comes from PREPA Aguirre, and this facility is located in Salinas municipality. The Guayama-Salinas area is classified as rural. See modeling protocol for additional information of the area characterization.

The other SO₂ sources in San Juan Metro area are: Bacardi, Edelcar and other minor sources, and Applied Energy System (AES) and other minor sources in Guayama-Salinas area. Previously modeling analysis showed that the SO₂ emissions contributions for these industries were insignificant. However, these minor sources emissions contributions will be addressed with the 1- hour SO₂ background concentration.

The attainment demonstration will be conducted by emission projections and dispersion modeling analysis. In addition to dispersion modeling, ambient air monitoring in the designated nonattainment areas will be used to measure current air quality and to compare the results of the SO₂ ground level concentration values predicted through the dispersion modeling analysis. This NAA-SIP developed by the DNER was prepared to establish the Government of Puerto Rico's strategy to reach compliance of the 2010 Sulfur Dioxide (SO₂) primary NAAQS.

In particular, the NAA-SIP that has been developed will use the modeling tools available through the EPA-approved modeling program and will be complemented with a new ambient monitoring network geared to compare actual ground-level concentrations of SO₂ within the two (2) designated Non-Attainment Areas. The locations where these new monitoring stations will be located (Six (6) units per Non-Attainment Area) are to be the same as the points of high SO₂ concentration calculated through the modeling exercise. DNER's goal is to compare the Model concentration predictions with the data secured from these new monitoring stations. All data to be secured will be fully validated through the EPA's Quality Assurance / Quality Control guidelines implemented at the DNER.

Modeling Methodology

The dispersion model used for the analysis is the AERMOD modeling system. This model is the USEPA recommendation in the Guideline on Air Quality Models² (GAQM), for the modeling of the 1-hour SO₂ NAAQS. The AERMOD model version used by PRDNER, is the latest available or the 21112. The AERMOD default modeling options are used in the analysis.

PRDNER attainment modeling scenario in each nonattainment area is based on the potential emissions or PTE rate, the PREPA new operating scenario using natural gas, and the proposed emission unit retirements, through the integration of renewable projects to the power grid. The modeling scenarios have the Natural Gas PTE certified emissions, that PREPA provided PRDNER. PREPA calculated the new emission rates for Natural Gas in all the emission units that will stay operating in their facilities. See modeling protocol for SO₂ emissions data.

The model for San Juan area, includes in the same modeling run, the allowable emissions of PREPA San Juan and PREPA Palo Seco, due to the proximity of each plant. The model for Guayama-Salinas area, only considers the allowable emissions for PREPA Aguirre. The contribution to the 1- hour SO₂ emissions from nearby sources in both nonattainment areas, is represented by the 1- hour SO₂ background concentration.

The AERMOD parameters used in the analysis were the default options, including building downwash for all PREPA plants. The emission units stack parameters data including the updated coordinates, was submitted and revised by PREPA. PREPA submitted PRDNER the height, width and length of the buildings in each facility, along with maps identifying the structures. PREPA also submitted the BPIP Prime output model data to be used in the 1- hour SO₂ attainment model in San Juan and Guayama-Salinas areas. PRDNER used this BPIP data for PREPA San Juan, Palo Seco and Aguirre.

PRDNER use a coarse and refined receptor grid for the modeling analysis. An additional receptor grid was used to determine fence line concentrations. The coarse grid is used to determine the maximum 1-hour SO₂ concentrations and the extension of the area of significant impact, or the area where the model predicts violations of the 1-hour SO₂ NAAQS. The refined grid is denser and covers the area where the previous model predicts the 1-hour SO₂ maximum concentration. See modeling protocol for additional information about the receptor grids.

The onsite meteorological data for the 1-hour SO₂ SIP model, was provided by PREPA and reprocessed by PRDNER. PREPA submitted PRDNER, meteorological data from PREPA San Juan, PREPA Palo Seco and PREPA Aguirre stations. The data from PREPA San Juan is from 2013 and in the case of PREPA Aguirre, the data is from years 2014-2016.

The SO₂ background concentration is a Tier 1 approach or based on a monitored design value. The design value is from the SO₂ monitor at Guayama, AQS-72-057-009. The concentration is 47 ug/m³ or 18 ppb, and this value will be added to the AERMOD model result, or the highest four highest (H4H).

Model Results

The model results for the LNG scenario demonstrate attainment with the 1- hour SO₂ NAAQS in both nonattainment areas. According to the model results the H4H concentration was below the NAAQS. The Table 1 shows the model results in each nonattainment areas.

²40CFR Part 51. Guideline on Air Quality Models. Environmental Protection Agency. January 2017.

Table1: 1-Hour Modeling Results for the SO₂ SIP

| Facility | X (m) | Y (m) | H4H (µg/m ³) | Background (µg/m ³) | Design Concentration (µg/m ³) | NAAQS SO ₂ (µg/m ³) |
|--------------------------|--------|---------|--------------------------|---------------------------------|---|--|
| PREPA San Juan | 805500 | 2038922 | 11.97 | 47 | 58.97 | 196 |
| PREPA Palo Seco | 800950 | 2043422 | 13.44 | 47 | 60.44 | 196 |
| PREPA San Juan/Palo Seco | 800950 | 2043422 | 13.45 | 47 | 60.45 | 196 |
| PREPA Aguirre | 791000 | 1998000 | 21.77 | 47 | 68.77 | 196 |

The H4H in San Juan Metro area was 60.45 µg/m³ and was registered to the northwest of PREPA Palo Seco. PREPA Palo Seco had the major contribution to this concentration. Refer to Figure 1. The Palo Seco boilers were the emission units with more contribution to the H4H design concentration.

In the Guayama-Salinas area the H4H was 68.77 µg/m³ and was registered north of PREPA Aguirre. Refer to Figure 2. The major contribution to this concentration was from the boilers and the combined cycles HRSG.

Figure 1: San Juan Metro Area LNG Modeling Results

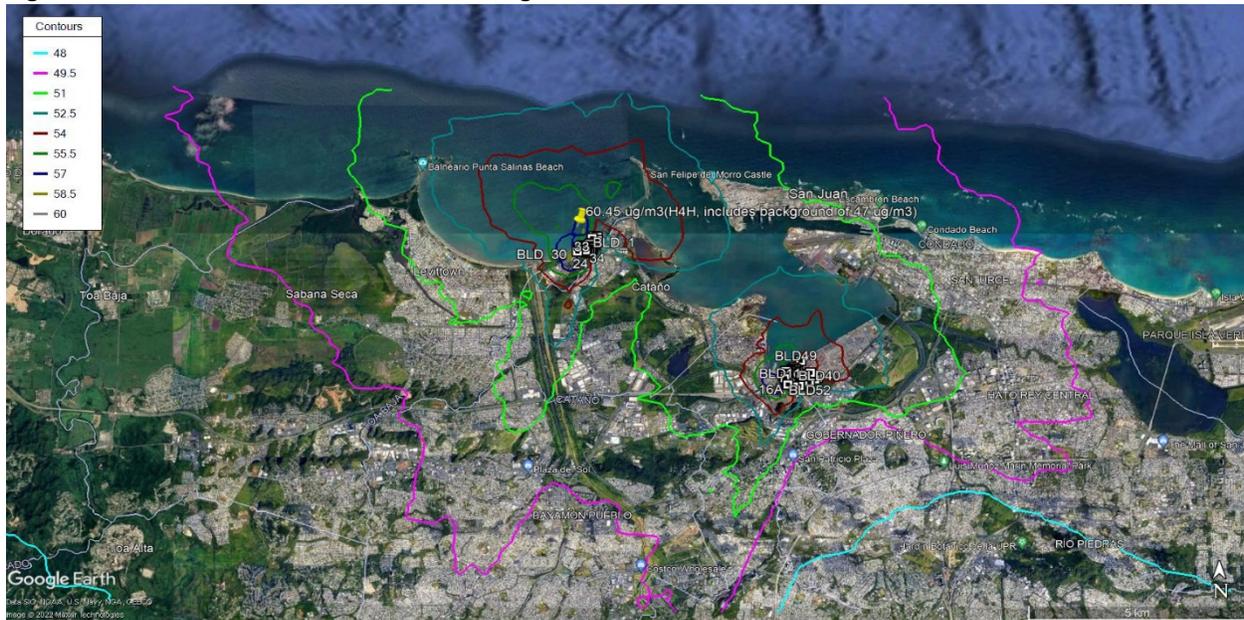


Figure 6: San Juan Metro Area LNG Modeling Results

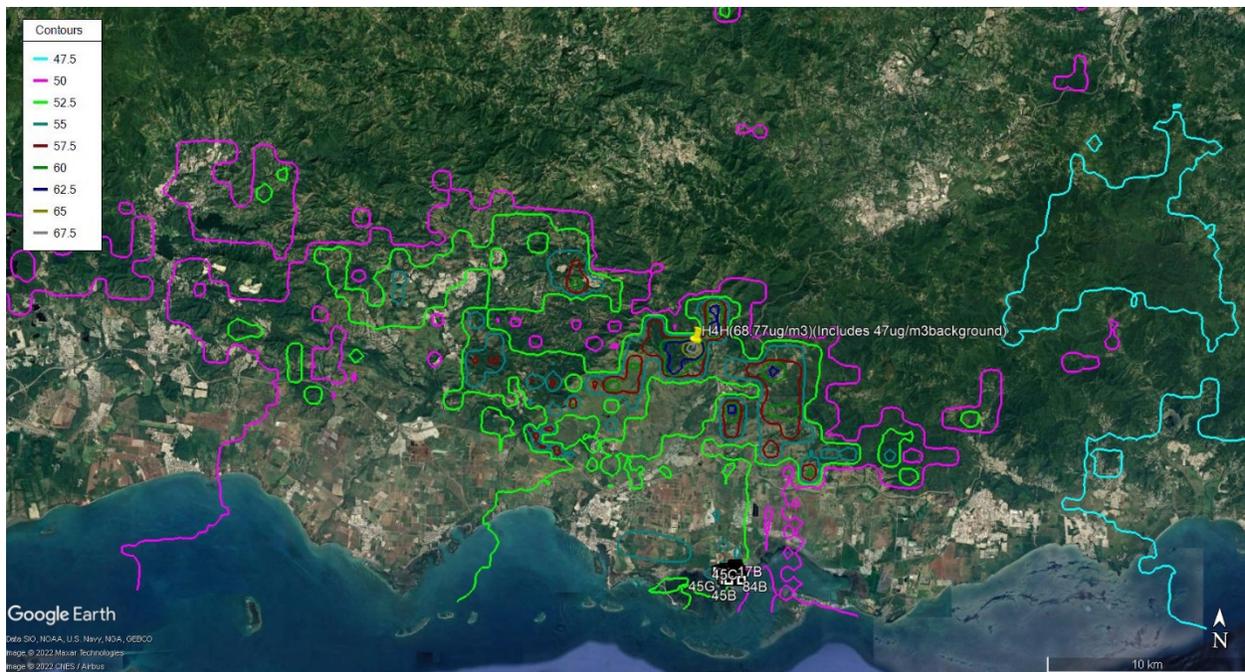


Figure 7: Guayama-Salinas Area LNG Modeling Results

5.0. NON-ATTAINMENT NEW SOURCE REVIEW 172 (c)(5)

Permits for new and modified major stationary sources.

The location or construction of any new major stationary source, or major modification, or significant source shall obtain a location approval from the DNER, prior to its construction in accordance with Rule 201 of Regulation for the Control of Atmospheric Pollution (RCAP). The DNER shall notify the public of the location approval application. An application for location approval shall include information about alternative sites, proposed facility size, production, processes, and environmental control techniques that demonstrate that the benefits of the proposed source significantly outweigh the environmental and social costs imposed as a result of its location, construction, or modification.

The requirements for location approval are included in Rule 201. Rule 201 requires that emission sources to be located within a designated non-attainment area will be regulated and limited by means of the replacement of existing fuels with new renewable energy projects and using natural gas in the Puerto Rico Electric Power Authority (PREPA) generation fleet. For emissions sources located in attainment areas, air pollutants emitted from the new major source, major modification, or significant source must be limited by means of the best available control technology (BACT).

Non Attainments provisions are included in Rule 210 for stationary sources locating in designated clean or unclassifiable areas which would cause or contribute to a violation of a national ambient air quality standard.

The provisions for Non-attainment SO₂ areas for San Juan and Guayama-Salinas are included in Rule 425. This rule contemplates control measures to reach attainment or improve air quality using different alternatives, such as, renewable energy sources, switching fuel to ultra low sulfur diesel and natural gas conversion.

6.0 REASONABLE FURTHER PROGRESS 172 (c)(2) CAA

This NAA-SIP had been developed under the basis of the integration of renewable energy sources, an aggressive fuel-switching program under which the PREPA power generation fleet located within the designated Non-Attainment Areas will be switching diesel fuel to Ultra Low Sulfur Diesel (ULSD) fuel (once all existing inventory of diesel fuel are exhausted) and from Bunker C fuel oil to natural gas, for achieving attainment at the PREPA Palo Seco, San Juan and Aguirre Power Plants.

On August 24, 2020, the Energy Bureau issued the IRP Final Order, with respect to the Integrated Resource Plan (“IRP”) of the PREPA.³ The Approved IRP includes a Modified Preferred Resource Plan (Action Plan) considering specific power generation capacity additions⁴ and retirements.⁵ In the Approved IRP, the Energy Bureau established a schedule for minimum quantities of renewable resources and battery energy storage resources and directed PREPA to submit a renewable resource and battery energy storage procurement plan. The Approved IRP included a program for six (6) tranches of procurement for renewable energy and battery storage resources from third parties,⁶ in support of, among other things, meeting Act 17-2019⁷ targets for renewable energy installations.⁸

The schedule of minimum quantities of renewables and battery storage additions is expected to be as follows:

| Procurement Tranche | RFP Target Release Date | Solar PV or equivalent other energy, MW | 4-hr. Battery Storage equivalent, MW |
|---------------------|-------------------------|---|--------------------------------------|
| 1 | Dec-20 | 1000 | 500 |
| 2 | April 2022 | 500 | 250 |

³ Final Resolution and Order on the Puerto Rico Electric Power Authority’s Integrated Resource Plan, *In re. Review of the Puerto Rico Electric Power Authority Integrated Resource Plan*, Case No. CEPR-AP-2018-0001, August 24, 2020 (“Approved IRP”).

⁴ *Id.*, ¶¶847-867, pp. 263-269.

⁵ *Id.*, ¶¶869-873, pp. 270-271.

⁶ *Id.*, ¶ 860, pp. 266-268.

⁷ Known as *Puerto Rico Energy Public Policy Act* (“Act 17-2019”).

⁸ Approved IRP, p. 266.

| Procurement Tranche | RFP Target Release Date | Solar PV or equivalent other energy, MW | 4-hr. Battery Storage equivalent, MW |
|---------------------|-------------------------|---|--------------------------------------|
| 3-4 | September 2022 | 1000 | 500 |
| 5 | March 2023 | 500 | 125 |
| 6 | September 2023 | 750 | 125 |

As part of the SIP, DNER proposes an Interim Plan, to strengthen the existing SIP to improve air quality. The Interim Plan proposes fuel switching from diesel to ultra-low sulfur diesel ("ULSD") in certain units, starting in 2022, once existing inventory of diesel fuel is exhausted., as described below:

Interim Plan (Fuel Switching)

| PREPA Facility | Generation Unit | Fuel Switching Date |
|----------------|--------------------------|--|
| Palo Seco | Power Block 1-1, 1-2 | Upon exhaustion of existing diesel inventory |
| Palo Seco | Power Block 2-1 | Upon exhaustion of existing diesel inventory |
| Palo Seco | Power Block 2-2 | Upon exhaustion of existing diesel inventory |
| Palo Seco | Power Block 3-1 | Upon exhaustion of existing diesel inventory |
| Palo Seco | Power Block 3-2 | Upon exhaustion of existing diesel inventory |
| Palo Seco | FT8 Mobile Pack 1 | Upon exhaustion of existing diesel inventory |
| Palo Seco | FT8 Mobile Pack 2 | Upon exhaustion of existing diesel inventory |
| Palo Seco | FT8 Mobile Pack 3 | Upon exhaustion of existing diesel inventory |
| San Juan | HRSG 5&6 | Upon exhaustion of existing diesel inventory |
| Aguirre | Gas Turbine CC1-1HRSG | Upon exhaustion of existing diesel inventory |
| Aguirre | Gas Turbine CC1-2HRSG | Upon exhaustion of existing diesel inventory |
| Aguirre | Gas Turbine CC1-3HRSG | Upon exhaustion of existing diesel inventory |
| Aguirre | Gas Turbine CC1-4HRSG | Upon exhaustion of existing diesel inventory |
| Aguirre | Gas Turbine CC2-1HRSG | Upon exhaustion of existing diesel inventory |
| Aguirre | Gas Turbine CC2-2HRSG | Upon exhaustion of existing diesel inventory |
| Aguirre | Gas Turbine CC2-3HRSG | Upon exhaustion of existing diesel inventory |
| Aguirre | Gas Turbine CC2-4HRSG | Upon exhaustion of existing diesel inventory |
| Aguirre | Gas Turbine AGGT2-1, 2-2 | Upon exhaustion of existing diesel inventory |

Also, the Interim Plan considers the retirement of certain units as described below:

Interim Plan (Retirements)

| PREPA Facility | Generation Unit | Unit Retirement Date |
|----------------|-----------------|----------------------|
| Palo Seco | Boiler 2 | June 2023 |
| Palo Seco | Power Block 2-2 | June 2023 |
| Palo Seco | Power Block 3-2 | June 2023 |

This is contingent to renewable the effective integration of new renewable energy projects forecasted by the Energy Bureau. This action is required to maintain the power grid stability for Puerto Rico and in compliance with the best management practices.

The DNER proposes a Final Plan to attain compliance with the SO₂ NAAQS. The Final Plan consists of the conversion of several units to be able to use natural gas as the primary fuel, as described below:

Final Plan (Gas Conversions)

| PREPA Facility | Generation Unit | Conversion Date |
|-----------------------|--------------------------|------------------------|
| Palo Seco | Boiler 1 | July 1, 2030 |
| Palo Seco | Boiler 3 | July 1, 2029 |
| Palo Seco | Boiler 4 | July 1, 2028 |
| Palo Seco | Power Block 1-1, 1-2 | To be determined |
| Palo Seco | Power Block 2-1 | To be determined |
| Palo Seco | Power Block 2-2 | To be determined |
| Palo Seco | Power Block 3-1 | To be determined |
| Palo Seco | Power Block 3-2 | To be determined |
| Palo Seco | FT8 Mobile Pack 1 | To be determined |
| Palo Seco | FT8 Mobile Pack 2 | To be determined |
| Palo Seco | FT8 Mobile Pack 3 | To be determined |
| San Juan | HRSB 5&6 | July 1, 2022 |
| San Juan | Boiler 7 | January 31, 2024 |
| San Juan | Boiler 8 | January 31, 2026 |
| San Juan | Boiler 9 | January 31, 2028 |
| San Juan | Boiler 10 | January 31, 2030 |
| Aguirre | AG1 | July 1, 2028 |
| Aguirre | AG2 | July 1, 2030 |
| Aguirre | Gas Turbine CC1-1HRSB | To be determined |
| Aguirre | Gas Turbine CC1-2HRSB | To be determined |
| Aguirre | Gas Turbine CC1-3HRSB | To be determined |
| Aguirre | Gas Turbine CC1-4HRSB | To be determined |
| Aguirre | Gas Turbine CC2-1HRSB | To be determined |
| Aguirre | Gas Turbine CC2-2HRSB | To be determined |
| Aguirre | Gas Turbine CC2-3HRSB | To be determined |
| Aguirre | Gas Turbine CC2-4HRSB | To be determined |
| Aguirre | Gas Turbine AGGT2-1, 2-2 | To be determined |

If required to meet its generation power commitments, PREPA would request a waiver to utilize an alternate fuel whenever there is a natural disaster or emergency or other extraordinary event under which the natural gas primary fuel is not available for an extended period. This will be done through the request of an Emergency Waiver before the DNER.

- a. The emergency waiver must be approved by PRDNER and EPA. PRDNER will submit the waiver request to USEPA OECA. The waiver must provide (1) evidence and justification for the emergency, (2) how long the waiver is needed, (3) projection for when the natural gas supply will be restored, (4) interim measures to reduce excess emissions. If EPA determines the waiver request is warranted, EPA will approve the temporary emergency waiver. If EPA

does not approve the waiver, EPA and PRDNER may use their discretion to determine noncompliance and/or issue a finding of failure to implement the SIP.

7.0 REASONABLY AVAILABLE CONTROL MEASURE/ REASONABLY AVAILABLE CONTROL TECHNOLOGY 172 (c) (1) and (6) measures to be reasonably available and contribute to attainment as expeditiously as practicable

Enforceable emission limitations and control measures

The DNER RCAP has rules to implement and enforce the NAAQS and other air quality standards. These rules include formal systematic procedures for construction and operation permits that will meet the federal requirements. As part of this SIP, the RCAP will be amended to include more specific rules (Rule 210 and 425) for non-attainment areas.

- (1) If attainment of SO₂ air quality standards in the Non-Attainment Areas are not achieved, DNER will undertake aggressive follow-up for compliance and enforcement at any source within the boundaries of San Juan Metro and Guayama-Salinas Non-Attainment Areas. This includes expedited procedures for establishing enforceable consent agreements pending the adoption of revised SIPs. Any source that is found in violation of any compliance plan approved by the Board or any requirement within such plan will be subject to sanctions specified in Rule 115.
- (2) In the event adoption of any additional control measures is necessary, it will be subject to DNER's administrative and legal process.
- (3) If a new measure/control is already promulgated and scheduled to be implemented at the federal or state level, and that measure/control is determined to be sufficient to address a violation of the SO₂ NAAQS, additional local measures may be unnecessary. Furthermore, DNER will submit to EPA an analysis to demonstrate the proposed measures are adequate to bring the area to attainment.
- (4) The DNER may require any owner or operator responsible for any source of sulfur dioxide emissions which may be contributing to air pollution to install, operate, and maintain monitoring devices; to maintain records; and file periodic reports.
 - a. Within three (3) months of the receipt of any order under Rule 425 of the RCAP, or within another time period that such order may specify, the owner or operator shall submit a plan to the DNER. Such plan shall include an air quality and meteorological measurement network consistent with the objective of obtaining an accurate assessment of the sulfur dioxide air quality and meteorology within the zone impacted by sulfur dioxide emissions from the source. The plan shall follow criteria guidelines furnished by the DNER for number of instruments; site location; monitoring methods; equipment performance specifications; equipment operation and maintenance; analytical and data reduction quality assurance; and data reporting. The DNER may issue additional orders to require that a previously submitted plan be clarified, updated, corrected, supplemented, or otherwise amended.

8.0 CONTINGENCY MEASURE

Identify sources of violation of the SO₂ NAAQS: DNER may declare an air pollution alert, warning or emergency, and will determine that such condition requires immediate action for the protection of the health of human beings. The DNER will order persons causing or contributing to the atmospheric pollution to reduce their emissions to eliminate such condition, or to immediately discontinue the emission of pollutants. In addition, the DNER also maintains air quality information in a form readily available to the public on the DNER Website (www.drna.pr.gov).

Compliance and enforcement: Article 9(a)(7) of Puerto Rico Environmental Public Policy Act (PREPPA) 416 of September 22, 2004, provides the Secretary of the DNER the authority to order persons causing or contributing to a condition which harms the environment and natural resources, or which poses an imminent danger for the public health and safety, to immediately diminish or discontinue their actions. Also, Article 9(a)(8) of PREPPA provides the authority to issue orders to do or forbear or to cease and desist so as to take the preventive or control measures that, in its judgment, are necessary to achieve the purposes of this Act and the regulations promulgated thereunder.

Upon notification by DNER that a nearby air monitor for the area has registered four validated ambient SO₂ concentrations in excess of the standard, or that a monitored SO₂ violation based on the design value occurred during calendar years 2022 and beyond, PREPA will, without any further action by DNER or EPA, undertake a full system audit of all emissions units subject to control under this plan. PREPA will submit a written system audit report to DNER within 30 days of the notification. The system audit report must detail the operating parameters of all emissions units for four 10-day periods up to and including the date upon which the reference monitor registered each exceedance, together with recommended provisional SO₂ emission control strategies for each affected unit and evidence that these control strategies have been deployed, as appropriate. Upon receipt of the system audit report, DNER will immediately begin a 30-day evaluation period to diagnose the cause of the monitored exceedance. This evaluation will be followed by a 30-day consultation period with PREPA to develop and implement operational changes necessary to prevent future monitored violations of the standard. These changes may include fuel switching to reduce or eliminate the use of sulfur containing fuels, physical or operational reduction of production capacity, or other changes as appropriate. If any new emission limits are necessary, they would be submitted to EPA as a SIP revision.

Establishment of a New Attainment Ambient Monitoring Networks (NAAMN): The 2010 SO₂ NAAQS attainment strategy in this SIP considers the development of a NAAMN in the Guayama-Salinas and the San Juan Metro non-attainment areas. The data gathered from the existing monitoring network allows the DNER to propose the development of a NAAMN to be installed at the designated non-attainment areas in Puerto Rico, geared to compare NAAQS compliance. It is recommended to install twelve (12) monitoring stations under the NAAMN, placing six (6) in each of the two non-attainment areas. The analysis developed to select the monitoring station locations will be based upon the areas predicted to have the maximum concentrations, predicted through the use of EPA-approved AERMOD⁹ Modeling Program. This is directed

⁹ AERMOD is a “steady-state plume model that incorporates air dispersion based on planetary boundary layer turbulence structure and scaling concepts, including treatment of both surface and elevated sources, and both simple and complex terrain.” [Air Quality Dispersion Modeling - Preferred and Recommended Models | US EPA](#)

to address EPA's concerns, as well as to fully validate the Government of Puerto Rico's compliance with the Clean Air Act NAAQS requirements.

9.0 CONCLUSION

On January 9, 2018, the EPA's decision to designate areas of Puerto Rico as non-attainment areas for the 2010 SO₂ NAAQS was published in the Federal Register (83 FR. 1098). The non-attainment designations that took effect on April 9, 2018, correspond to the Air Quality Control Regions (AQCRs) covering: 1. Areas within the Municipalities of San Juan, Guaynabo, Toa Baja, and Bayamón, together with the entire Cataño Municipality on the north of the main island (San Juan Metro Area); 2. Sectors of the Guayama and Salinas Municipalities on the south of the main island. For areas designated as nonattainment, states must develop a State Implementation Plan that meets the requirements of Section 172(c) Clean Air Act (CAA). Paragraphs 172(c) and 172(a)(2) establish the requirements for the implementation of reasonably available control measures to achieve compliance as soon as practicable but no later than five years after the nonattainment designation. In response to the promulgation of the 2010 1-Hour SO₂ Primary National Ambient Air Quality Standard, this SIP is submitted, according to the requirements established in Sections 172(b) and (c) of the (CAA). With this plan, the DNER will meet all requirements to demonstrate attainment with the 2010 1-hour SO₂ NAAQS ambient air monitoring in the designated non-attainment San Juan Metro and Guayama-Salinas areas. This plan demonstrates that the implementation of the control measures at existing sources limit SO₂ emissions below the 2010 NAAQS for sulfur dioxide.

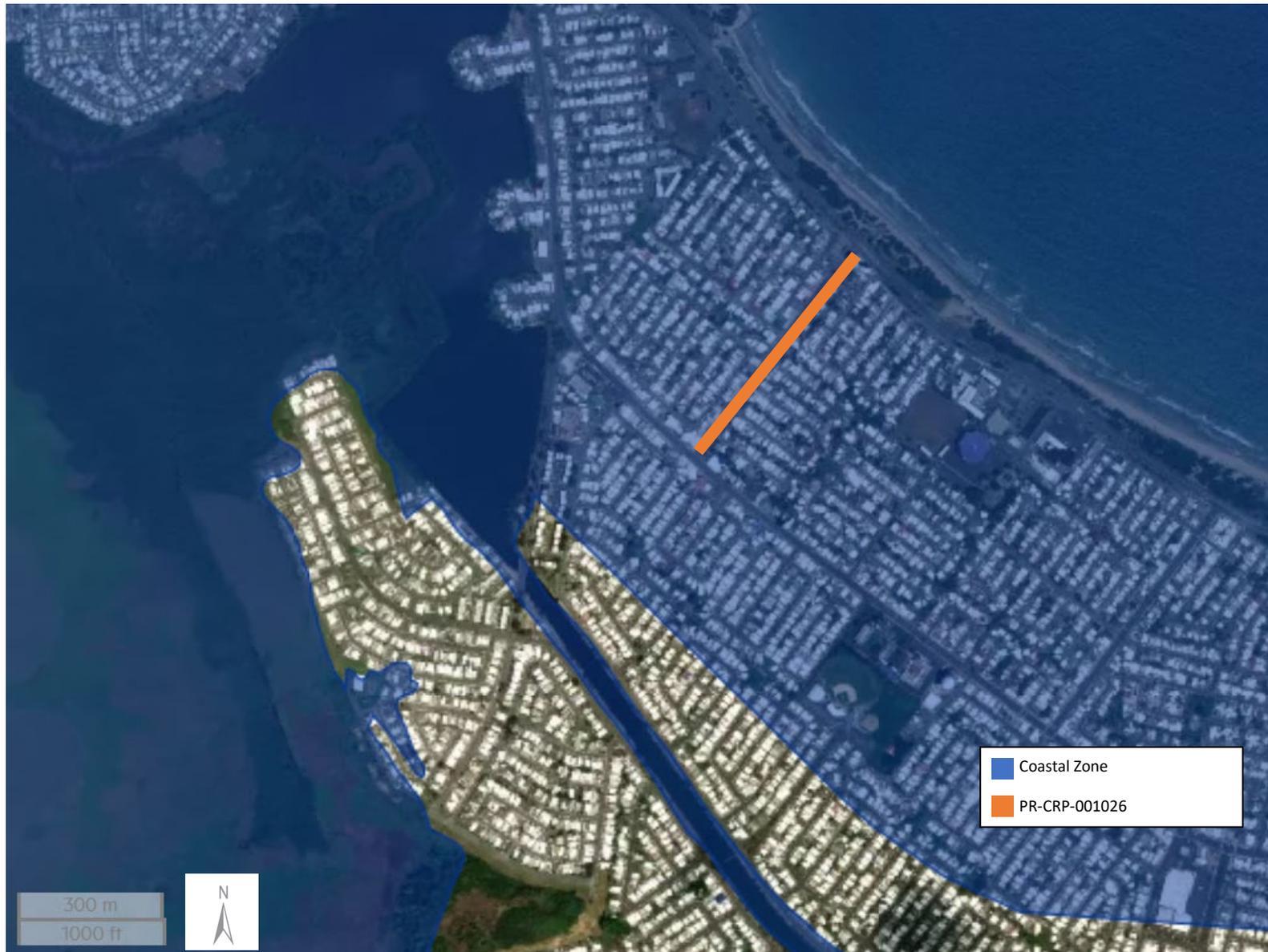
10.0 APPENDIX

- A. Puerto Rico 1-Hour So₂ Nonattainment Area State Implementation Plan-Modeling Protocol (Draft Final)
- B. Puerto Rico 1-Hour So₂ Nonattainment Area State Implementation Plan-2019-2023 Projected Emission Inventory (Draft)

Attachment 5.1. Coastal Zone Boundary Map

PR-CRP-001026 – Conversion of Del Valle Avenue into a Complete Street

Coord: 18.452758, -66.185152 to 18.456523, -66.182118
Address: Del Valle Avenue, Levittown, Barrio Sabana Seca, Toa Baja, PR



Source: US National Oceanic and Atmospheric Administration (NOAA), US Coastal Zone Management Act boundary (Spatial Reference: WGS84) at URL <https://koordinates.com/layer/20522-us-coastal-zone-management-act-boundary/>

Attachment 5.2



GOBIERNO DE PUERTO RICO PUERTO RICO PLANNING BOARD

November 13, 2024

Angel López Guzmán

Director
Permits and Environmental Compliance Director
Disaster Recovery Office
PR Department of Housing
PO Box 21365
San Juan, PR 00928-1365

Federal Consistency Certification with the Puerto Rico Coastal Zone Management Program (PRCZMP)

CZ-2025-1112-213

PR-CRP-001026

Federal Assistance with CDBG funds from the City Revitalization (CRP) Program

**Conversion of Del Valle Avenue into an expressway
Levittown, Toa Baja**

Dear Mr. López:

The Puerto Rico Planning Board in its meeting of July 24, 2024 emitted a General Federal Consistency Certification with the PRCZMP under resolution JP-2024-004 for projects to be financed with Federal funds under the CDBG-DR and CDBG-MIT programs. The section D of this resolution establishes that Federal assistance awarded under CDBG-DR and CDBG-MIT programs for infrastructure projects (sidewalks, roads, highways, service lines, public squares) are consistent with the PRCZMP with the condition that the applicant fulfills the following requirements ninety (90) days before the construction phase of the project:



1. Evidence compliance with the PR Environmental Policy Law (Law number 416 of September 22, 2004) by providing copy of the Environmental Compliance Determination emitted by the PR Permit Management Office (OGPe).
2. Evidence compliance with the Special Flood Hazard Zone Regulations (Planning Regulation Number 13) when it is required depending on the nature and location of the project.
3. In the case of projects that are located within Historic Zones, the project must have the endorsement of the Puerto Rican Culture Institute.

These documents must be submitted to the Office of Geology and Hydrogeology Office of the Puerto Rico Planning Board as soon as possible referring to the Federal Consistency review application number.

Considering this, the project at reference is consistent with the PRCZMP with the condition that the applicant complies with the above-mentioned requirements as established in Resolution JP-2024-004.

If you have any question or need assistance, do not hesitate to contact Rose A. Ortiz at (787) 723-6200 ext. 16012 or by e-mail ortiz_r@jp.pr.gov.

Cordially,



Luis E. Lamboy Torres
Director
Office of Geology and Hydrogeology

RAO

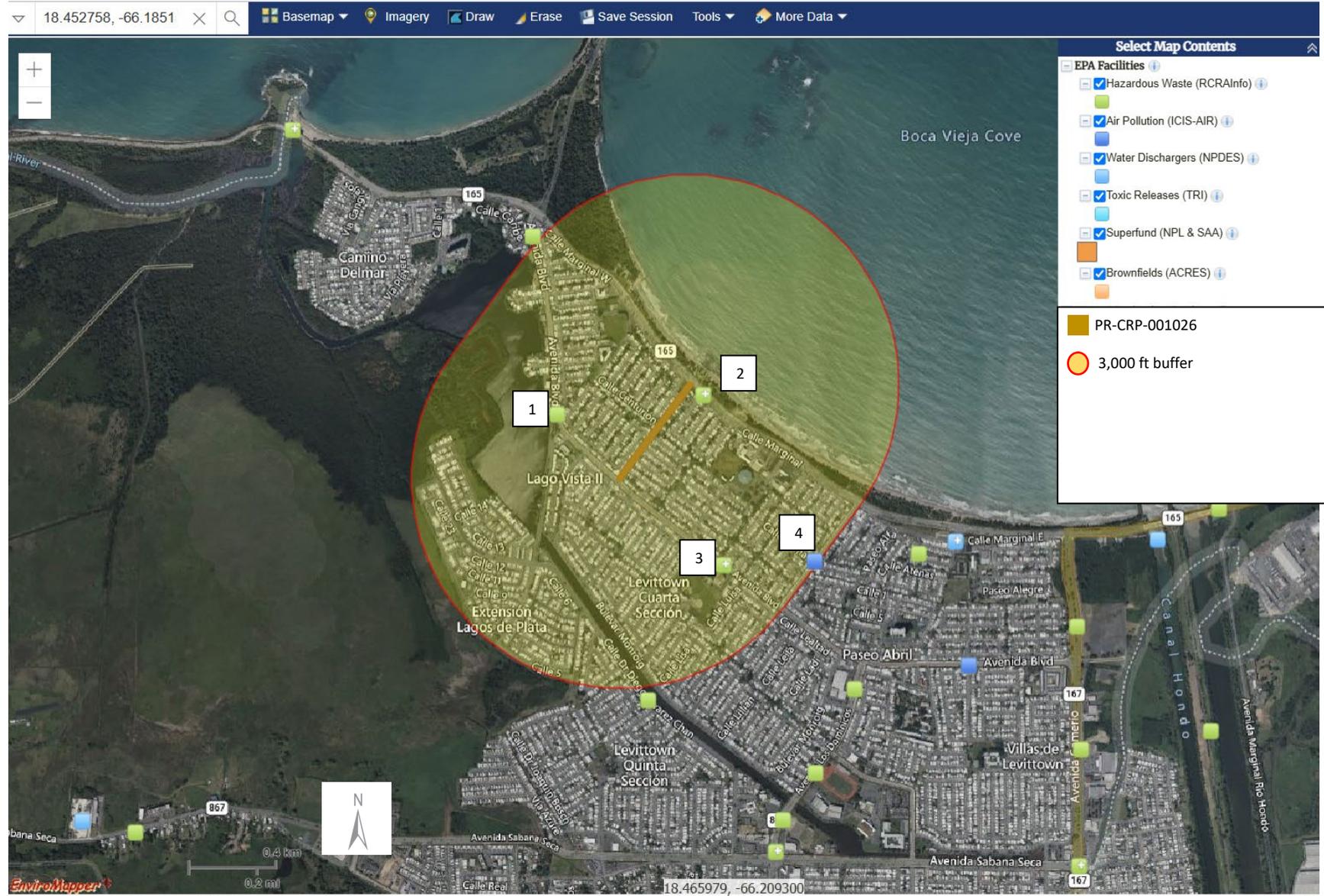
Attachment 6.1. Contamination and Toxic Substances Map

PR-CRP-001026 – Conversion of Del Valle Avenue into a Complete Street

Coord: 18.452758, -66.185152 to 18.456523, -66.182118
Address: Del Valle Avenue, Levittown, Barrio Sabana Seca, Toa Baja, PR



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Source: EPA NEPAassist (Spatial Reference: GRS80), accessed at URL <https://nepassisttool.epa.gov/nepassist/nepamap.aspx>

Prepared by ICF

Contamination and Toxic Substances Table

PR-CRP-001026

| ID | EPA Facility | Distance from Project Site | Direction from Project Site | Description |
|-----------|----------------------------|-----------------------------------|------------------------------------|---|
| 1 | Hazardous Waste (RCRAInfo) | 0.24 mi | West | PRASA - LEVITTOWN WASTEWATER PUMP STA Handler ID: PRR000017848 3223 BOULEVARD AVE TOA BAJA, PR 00951 County Name: TOA BAJA Latitude: 18.45535 Longitude: -66.187755 Hazardous Waste Generator: Very Small Quantity Generator Owner Name: PUERTO RICO AQUEDUCT & SEWER AUTHORITY |
| 2a | Hazardous Waste (RCRAInfo) | 0.04 mi | East | C M C TRANSPORT Handler ID: PRD987366077 PASEO DORADO 1681 TOA BAJA, PR 00949-3922 County Name: TOA BAJA Latitude: 18.45598 Longitude: -66.18177 Hazardous Waste Generator: Owner Name: CESAR MARRERO |
| 2b | Hazardous Waste (RCRAInfo) | 0.04 mi | East | PR ELEC POWER AUTH - ENG & CONSTR SHOP Handler ID: PRO007003031 STATE RD 165, KM 130 TOA BAJA, PR 00949 County Name: TOA BAJA Latitude: 18.456135 Longitude: -66.181601 Hazardous Waste Generator: Owner Name: |
| 3a | Hazardous Waste (RCRAInfo) | 0.37 mi | East | ANY PARTS CORP Handler ID: PRR000020149 2723 BOULEVARD AVE – LEVITTOWN TOA BAJA, PR 00949 County Name: TOA BAJA Latitude: 18.449376 Longitude: -66.180746 Hazardous Waste Generator: Very Small Quantity Generator Owner Name: ROLANDO ROMAN |
| 3b | Hazardous Waste (RCRAInfo) | 0.37 mi | East | BOULEVARD TRUCKING INC Handler ID: PRD980526974 2685 BLVD AVE LEVITTOWN, PR 00949 County Name: TOA BAJA Latitude: 18.449376 Longitude: -66.180746 Hazardous Waste Generator: |

| | | | | |
|---|-----------------------------|------|-----------------------|--|
| | | | Owner Name: OWNERNAME | |
| 4 | Air Pollution (ICIS-AIR) | 0.57 | East | CENTROPIEZAS AUTO PARTS & MACHINE SHOP FRS ID: 110001661256 1017 AVENIDA DOS PALMAS, TOA BAJA, PR 00949 Latitude: 18.44951 Longitude: -66.17691 Clean Air Act (CAA) Operating Minor No Violation Identified |



Detailed Facility Report

Facility Summary

PRASA - LEVITTOWN WASTEWATER PUMP STA

3223 BOULEVARD AVE, TOA BAJA, PR 00949

FRS (Facility Registry Service) ID: 110022530750

EPA Region: 02

Latitude: 18.45535

Longitude: -66.187755

Locational Data Source: FRS

Industries: Utilities

Indian Country: N

Enforcement and Compliance Summary

| Statute | RCRA |
|---|-------------------------|
| Compliance Monitoring Activities (5 years) | -- |
| Date of Last Compliance Monitoring Activity | -- |
| Compliance Status | No Violation Identified |
| Qtrs in Noncompliance (of 12) | 0 |
| Qtrs with Significant Violation | 0 |
| Informal Enforcement Actions (5 years) | -- |
| Formal Enforcement Actions (5 years) | -- |
| Penalties from Formal Enforcement Actions (5 years) | -- |
| EPA Cases (5 years) | -- |
| Penalties from EPA Cases (5 years) | -- |

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Active VSQG, (PRR000017848)

Safe Drinking Water Act (SDWA): No Information

Go To Enforcement/Compliance Details

Known Data Problems <<https://epa.gov/resources/echo-data/known-data-problems>>

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Facility/System Characteristics

Facility/System Characteristics

| System | Statute | Identifier | Universe | Status | Areas | Permit Expiration Date | Indian Country | Latitude | Longitude |
|--------|---------|--------------|----------|--------|-------|------------------------|----------------|----------|------------|
| FRS | | 110022530750 | | | | | N | 18.45535 | -66.187755 |

| System | Statute | Identifier | Universe | Status | Areas | Permit Expiration Date | Indian Country | Latitude | Longitude |
|----------|---------|--------------|----------|------------|-------|------------------------|----------------|-----------|------------|
| RCRAInfo | RCRA | PRR000017848 | VSQG | Active (H) | | | N | 18.463383 | -66.188741 |

Facility Address

| System | Statute | Identifier | Facility Name | Facility Address | Facility County |
|----------|---------|--------------|---------------------------------------|--|--------------------|
| FRS | | 110022530750 | PRASA - LEVITTOWN WASTEWATER PUMP STA | 3223 BOULEVARD AVE, TOA BAJA, PR 00949 | Toa Baja Municipio |
| RCRAInfo | RCRA | PRR000017848 | PRASA - LEVITTOWN WASTEWATER PUMP STA | 3223 BOULEVARD AVE, TOA BAJA, PR 00951 | Toa Baja Municipio |

Facility SIC (Standard Industrial Classification) Codes

| System | Identifier | SIC Code | SIC Description |
|--------|------------|----------|-----------------|
|--------|------------|----------|-----------------|

No data records returned

Facility NAICS (North American Industry Classification System) Codes

| System | Identifier | NAICS Code | NAICS Description |
|----------|--------------|------------|-----------------------------|
| RCRAInfo | PRR000017848 | 22132 | Sewage Treatment Facilities |

Facility Tribe Information

| Reservation Name | Tribe Name | EPA Tribal ID | Distance to Tribe (miles) |
|------------------|------------|---------------|---------------------------|
|------------------|------------|---------------|---------------------------|

No data records returned

Enforcement and Compliance

Compliance Monitoring History Last 5 Years

| Statute | Source ID | System | Activity Type | Compliance Monitoring Type | Lead Agency | Date | Finding (if applicable) |
|---------|-----------|--------|---------------|----------------------------|-------------|------|-------------------------|
|---------|-----------|--------|---------------|----------------------------|-------------|------|-------------------------|

No data records returned

Entries in italics are not included in ECHO's Compliance Monitoring Activity counts because they are not compliance monitoring strategy <<https://www.epa.gov/compliance/compliance-monitoring-programs>> activities or because they are not counted as inspections within EPA's Annual Results <<https://www.epa.gov/enforcement/enforcement-data-and-results>>.

Compliance Summary Data

| Statute | Source ID | Current SNC (Significant Noncompliance)/HPV (High Priority Violation) | Current As Of | Qtrs with NC (Noncompliance) (of 12) | Data Last Refreshed |
|---------|--------------|---|---------------|--------------------------------------|---------------------|
| RCRA | PRR000017848 | No | 03/22/2025 | 0 | 03/21/2025 |

Three-Year Compliance History by Quarter

| Statute | Program/Pollutant/Violation Type | QTR 1 | QTR 2 | QTR 3 | QTR 4 | QTR 5 | QTR 6 | QTR 7 | QTR 8 | QTR 9 | QTR 10 | QTR 11 | QTR 12+ |
|--------------------------------|----------------------------------|-------------------------|-------------------------|-------------------------|-------------------------|-------------------------|-------------------------|-------------------------|-------------------------|-------------------------|-------------------------|-------------------------|-------------------------|
| RCRA (Source ID: PRR000017848) | | 04/01-06/30/22 | 07/01-09/30/22 | 10/01-12/31/22 | 01/01-03/31/23 | 04/01-06/30/23 | 07/01-09/30/23 | 10/01-12/31/23 | 01/01-03/31/24 | 04/01-06/30/24 | 07/01-09/30/24 | 10/01-12/31/24 | 01/01-03/31/25 |
| | Facility-Level Status | No Violation Identified |
| | Violation | Agency | | | | | | | | | | | |

Informal Enforcement Actions

| Statute | System | Source ID | Type of Action | Lead Agency | Date |
|---------|--------|-----------|----------------|-------------|------|
|---------|--------|-----------|----------------|-------------|------|

No data records returned

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

Formal Enforcement Actions

| Statute | System | Law/Section | Source ID | Type of Action | Case No. | Lead Agency | Case Name | Issued/ Filed Date | Settlements/ Actions | Settlement/ Action Date | Federal Penalty Assessed | State/ Local Penalty Assessed | Penalty Amount Collected | SEP Value | Comp Action Cost |
|---------|--------|-------------|-----------|----------------|----------|-------------|-----------|--------------------|----------------------|-------------------------|--------------------------|-------------------------------|--------------------------|-----------|------------------|
|---------|--------|-------------|-----------|----------------|----------|-------------|-----------|--------------------|----------------------|-------------------------|--------------------------|-------------------------------|--------------------------|-----------|------------------|

No data records returned

Environmental Conditions

Watersheds

| 12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database)) | WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database)) | State Water Body Name (ICIS (Integrated Compliance Information System)) | Beach Closures Within Last Year | Beach Closures Within Last Two Years | Pollutants Potentially Related to Impairment | Watershed with ESA (Endangered Species Act)-listed Aquatic Species? |
|--|---|---|---------------------------------|--------------------------------------|--|---|
|--|---|---|---------------------------------|--------------------------------------|--|---|

No data records returned

Assessed Waters From Latest State Submission (ATTAINS)

| State | Report Cycle | Assessment Unit ID | Assessment Unit Name | Water Condition | Cause Groups Impaired | Drinking Water Use | Ecological Use | Fish Consumption Use | Recreation Use | Other Use |
|-------|--------------|--------------------|----------------------|-----------------|-----------------------|--------------------|----------------|----------------------|----------------|-----------|
|-------|--------------|--------------------|----------------------|-----------------|-----------------------|--------------------|----------------|----------------------|----------------|-----------|

No data records returned

Air Quality Nonattainment Areas

| Pollutant | Within Nonattainment Status Area? | Nonattainment Status Applicable Standard(s) | Within Maintenance Status Area? | Maintenance Status Applicable Standard(s) |
|-----------|-----------------------------------|---|---------------------------------|---|
| Ozone | No | -- | No | -- |
| Lead | No | -- | No | -- |

| Pollutant | Within Nonattainment Status Area? | Nonattainment Status Applicable Standard(s) | Within Maintenance Status Area? | Maintenance Status Applicable Standard(s) |
|--------------------|-----------------------------------|---|---------------------------------|---|
| Particulate Matter | No | -- | No | -- |
| Carbon Monoxide | No | -- | No | -- |
| Sulfur Dioxide | Yes | Sulfur Dioxide (2010) | No | -- |

Pollutants

Toxics Release Inventory History of Reported Chemicals Released or Transferred in Pounds per Year at Site

| TRI Facility ID | Year | Air Emissions | Surface Water Discharges | Off-Site Transfers to POTWs (Publicly Owned Treatment Works) | Underground Injections | Disposal to Land | Total On-Site Releases | Total Off-Site Transfers |
|-----------------|------|---------------|--------------------------|--|------------------------|------------------|------------------------|--------------------------|
|-----------------|------|---------------|--------------------------|--|------------------------|------------------|------------------------|--------------------------|

No data records returned

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

| Chemical Name |
|---------------|
|---------------|

No data records returned

Community

Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2022 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. Census boundaries and demographic data for U.S. Territories are based on the "2020 Island Areas Demographic Profiles" from the U.S. Census Bureau. EPA's spatial processing methodology considers the overlap between the selected radii and ACS census block groups in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <<https://epa.gov/help/reports/dfr-data-dictionary#demographic>>.

| General Statistics (ACS (American Community Survey)) | |
|--|--------------|
| Total Persons | 13,827 |
| Population Density | 6,286/sq.mi. |
| Housing Units in Area | 6,495 |
| Percent People of Color | 99% |
| Households in Area | 5,341 |
| Households on Public Assistance | 74 |
| Persons With Low Income | 7,433 |

| Age Breakdown (ACS (American Community Survey)) - Persons (%) | |
|---|--------------|
| Children 5 years and younger | 505 (4%) |
| Minors 17 years and younger | 2,320 (17%) |
| Adults 18 years and older | 11,507 (83%) |
| Seniors 65 years and older | 2,712 (20%) |

| Race Breakdown (ACS (American Community Survey)) - Persons (%) | |
|--|-------------|
| White | 5,975 (43%) |

| General Statistics (ACS (American Community Survey)) | |
|---|---------------|
| Percent With Low Income | 54% |
| Geography | |
| Radius of Selected Area | 1 mi. |
| Center Latitude | 18.45535 |
| Center Longitude | -66.187755 |
| Total Area | 3.121 sq.mi. |
| Land Area | 70% |
| Water Area | 30% |
| Income Breakdown (ACS (American Community Survey)) - Households (%) | |
| Less than \$15,000 | 933 (17.47%) |
| \$15,000 - \$25,000 | 825 (15.45%) |
| \$25,000 - \$50,000 | 1,645 (30.8%) |
| \$50,000 - \$75,000 | 966 (18.09%) |
| Greater than \$75,000 | 972 (18.2%) |

| Race Breakdown (ACS (American Community Survey)) - Persons (%) | |
|--|----------------|
| African-American | 894 (6%) |
| Hispanic-Origin | 13,653 (99%) |
| Asian | 0 (0%) |
| Hawaiian/Pacific Islander | 0 (0%) |
| American Indian | 176 (1%) |
| Other/Multiracial | 3,836 (28%) |
| Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%) | |
| Less than 9th Grade | 538 (5.37%) |
| 9th through 12th Grade | 330 (3.3%) |
| High School Diploma | 2,416 (24.13%) |
| Some College/2-year | 1,703 (17.01%) |
| B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More | 3,540 (35.36%) |

Facility 1



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Facility Information

PRASA - LEVITTOWN WASTEWATER PUMP STA

Handler ID: PRR000017848

3223 BOULEVARD AVE

TOA BAJA, PR 00951

County Name: TOA BAJA

Latitude: 18.45535

Longitude: -66.187755

Hazardous Waste Generator: Very Small

Quantity Generator

Owner Name: PUERTO RICO AQUEDUCT &

SEWER AUTHORITY

BIENNIAL REPORT SUMMARY

No Biennial Report data is available for the facility listed above.

LIST OF FACILITY CONTACTS



| NAME | STREET | CITY | STATE | ZIP CODE | PH |
|----------------------|-------------|----------|-------|------------|------------|
| PRISCILA M GARCIA | PO BOX 7066 | SAN JUAN | PR | 00916-7066 | 787 x23 |

HANDLER / FACILITY CLASSIFICATION

Unspecified Universe for the facility listed above.

No Handler information is available for the facility listed above.

LIST OF PROCESS UNIT INFORMATION FOR GROUP

<https://epa.gov/envirofacts/metadata/table/rcra/rcr_pm_unit>

No Process Information is available for the facility listed above.

LIST OF NAICS CODES AND DESCRIPTIONS

| NAICS CODE | NAICS DESCRIPTION |
|------------|-----------------------------|
| 22132 | SEWAGE TREATMENT FACILITIES |

LIST OF WASTE CODES AND DESCRIPTIONS

No Waste Codes are available for the facility listed above.

Contact Us <<https://www.epa.gov/enviro/forms/contact-us-about-envirofacts>> to ask a question, provide feedback, or report a problem.

Last updated on March 6, 2025

Facility 2a



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Facility Information

| |
|---|
| <p>C M C TRANSPORT Handler ID: PRD987366077 PASEO DORADO 1681 TOA BAJA, PR 00949-3922 County Name: TOA BAJA Latitude: 18.45598 Longitude: -66.18177 Hazardous Waste Generator: Owner Name: CESAR MARRERO</p> |
|---|

BIENNIAL REPORT SUMMARY

No Biennial Report data is available for the facility listed above.

LIST OF FACILITY CONTACTS

| NAME | STREET | CITY | STATE | ZIP CODE | PH |
|------|---------------------------|----------|-------|----------|----|
| | PO BOX 50888/LEVITTOWN | TOA BAJA | PR | 00950 | |

| NAME | STREET | CITY | STATE | ZIP CODE | PH |
|------|--------|------|-------|----------|----|
|------|--------|------|-------|----------|----|

HANDLER / FACILITY CLASSIFICATION

Unspecified Universe for the facility listed above.

| HANDLER TYPE |
|-------------------|
| Not in a universe |

LIST OF PROCESS UNIT INFORMATION FOR GROUP

<https://epa.gov/envirofacts/metadata/table/rcra/rcr_pm_unit>

No Process Information is available for the facility listed above.

LIST OF NAICS CODES AND DESCRIPTIONS

No NAICS Codes are available for the facility listed above.

LIST OF WASTE CODES AND DESCRIPTIONS

No Waste Codes are available for the facility listed above.

Contact Us <<https://www.epa.gov/enviro/forms/contact-us-about-envirofacts>> to ask a question, provide feedback, or report a problem.

Last updated on March 6, 2025

Facility 2b



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Facility Information

PR ELEC POWER AUTH - ENG & CONSTR SHOP

Handler ID: PRO007003031

STATE RD 165, KM 130

TOA BAJA, PR 00949

County Name: TOA BAJA

Latitude: 18.456135

Longitude: -66.181601

Hazardous Waste Generator:

Owner Name:

BIENNIAL REPORT SUMMARY

No Biennial Report data is available for the facility listed above.

LIST OF FACILITY CONTACTS

| NAME | STREET | CITY | STATE | ZIP CODE | PH |
|---------------|---------------|----------|-------|----------|-----|
| JAVIER APONTE | PO BOX 364267 | SAN JUAN | PR | 00949 | 787 |

HANDLER / FACILITY CLASSIFICATION

Unspecified Universe for the facility listed above.

| HANDLER TYPE |
|-------------------|
| Not in a universe |

LIST OF PROCESS UNIT INFORMATION FOR GROUP

<https://epa.gov/envirofacts/metadata/table/rcra/rcr_pm_unit>

No Process Information is available for the facility listed above.

LIST OF NAICS CODES AND DESCRIPTIONS

| NAICS CODE | NAICS DESCRIPTION |
|------------|---------------------------|
| 22111 | ELECTRIC POWER GENERATION |

LIST OF WASTE CODES AND DESCRIPTIONS

No Waste Codes are available for the facility listed above.

Contact Us <<https://www.epa.gov/enviro/forms/contact-us-about-envirofacts>> to ask a question, provide feedback, or report a problem.

Last updated on March 6, 2025

Facility 3a



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Facility Information

ANY PARTS CORP
Handler ID: PRR000020149
2723 BOULEVARD AVE - LEVITTOWN
TOA BAJA, PR 00949
County Name: TOA BAJA
Latitude: 18.449376
Longitude: -66.180746
Hazardous Waste Generator: Very Small
Quantity Generator
Owner Name: ROLANDO ROMAN

BIENNIAL REPORT SUMMARY

No Biennial Report data is available for the facility listed above.

LIST OF FACILITY CONTACTS



| NAME | STREET | CITY | STATE | ZIP CODE | PH |
|----------------|-----------------|----------|-------|----------|-----|
| JUAN BOSCHETTI | BOULEVARD AVE - | TOA BAJA | PR | 00949 | 787 |

HANDLER / FACILITY CLASSIFICATION

Unspecified Universe for the facility listed above.

LIST OF PROCESS UNIT INFORMATION FOR GROUP

<https://epa.gov/envirofacts/metadata/table/rcra/rcr_pm_unit>

No Process Information is available for the facility listed above.

LIST OF NAICS CODES AND DESCRIPTIONS

| NAICS CODE | NAICS DESCRIPTION |
|------------|---------------------------|
| 811111 | GENERAL AUTOMOTIVE REPAIR |

LIST OF WASTE CODES AND DESCRIPTIONS

No Waste Codes are available for the facility listed above.

Contact Us <<https://www.epa.gov/enviro/forms/contact-us-about-envirofacts>> to ask a question, provide feedback, or report a problem.

Last updated on March 6, 2025

Facility 3b



[EPA Home <https://www.epa.gov/>](https://www.epa.gov/) / [Envirofacts <https://epa.gov/>](https://epa.gov/) / [RCRAInfo <https://epa.gov/envirofacts/rcrainfo/>](https://epa.gov/envirofacts/rcrainfo/)

RCRAInfo Facility

[Home <https://epa.gov/>](https://epa.gov/) | [Multisystem Search <https://epa.gov/envirofacts/multisystem/search>](https://epa.gov/envirofacts/multisystem/search) | [Topic Searches <https://www.epa.gov/enviro/topic-searches>](https://www.epa.gov/enviro/topic-searches) | [System Data Searches <https://www.epa.gov/enviro/system-data-searches>](https://www.epa.gov/enviro/system-data-searches) | [About the Data <https://www.epa.gov/enviro/about-data>](https://www.epa.gov/enviro/about-data) | [Data Downloads <https://www.epa.gov/enviro/data-downloads>](https://www.epa.gov/enviro/data-downloads) | [Widgets <https://www.epa.gov/enviro/widgets>](https://www.epa.gov/enviro/widgets) | [Services <https://www.epa.gov/enviro/web-services>](https://www.epa.gov/enviro/web-services) | [Mobile <https://www.epa.gov/enviro/uv-index-mobile-app>](https://www.epa.gov/enviro/uv-index-mobile-app) | [Other Datasets <https://www.epa.gov/enviro/other-datasets>](https://www.epa.gov/enviro/other-datasets)

Facility Information

BOULEVARD TRUCKING INC
Handler ID: PRD980526974
2685 BLVD AVE
LEVITTOWN, PR 00949
County Name: TOA BAJA
Latitude: 18.449376
Longitude: -66.180746
Hazardous Waste Generator:
Owner Name: OWNERNAME

BIENNIAL REPORT SUMMARY

No Biennial Report data is available for the facility listed above.

LIST OF FACILITY CONTACTS



| NAME | STREET | CITY | STATE | ZIP CODE | PH |
|-------------------|---------------------------------|-----------|-------|----------|-----|
| JOSE FERNANDEZ | PO BOX 50156 - 2685 BLVD AVE | LEVITTOWN | PR | 00949 | 787 |

HANDLER / FACILITY CLASSIFICATION

Unspecified Universe for the facility listed above.

| HANDLER TYPE |
|-------------------|
| Not in a universe |

LIST OF PROCESS UNIT INFORMATION FOR GROUP

<https://epa.gov/envirofacts/metadata/table/rcra/rcr_pm_unit>

No Process Information is available for the facility listed above.

LIST OF NAICS CODES AND DESCRIPTIONS

No NAICS Codes are available for the facility listed above.

LIST OF WASTE CODES AND DESCRIPTIONS

No Waste Codes are available for the facility listed above.

Contact Us <<https://www.epa.gov/enviro/forms/contact-us-about-envirofacts>> to ask a question, provide feedback, or report a problem.

Last updated on March 6, 2025

Facility 4



Detailed Facility Report

Facility Summary

CENTROPIEZAS AUTO PARTS & MACHINE SHOP

1017 AVENIDA DOS PALMAS, TOA BAJA, PR 00949

FRS (Facility Registry Service) ID: 110001661256

EPA Region: 02

Latitude: 18.44951

Longitude: -66.17691

Locational Data Source: FRS

Industries: --

Indian Country: N

Enforcement and Compliance Summary

| Statute | CAA |
|---|-------------------------|
| Compliance Monitoring Activities (5 years) | -- |
| Date of Last Compliance Monitoring Activity | -- |
| Compliance Status | No Violation Identified |
| Qtrs in Noncompliance (of 12) | 0 |
| Qtrs with Significant Violation | 0 |
| Informal Enforcement Actions (5 years) | -- |
| Formal Enforcement Actions (5 years) | -- |
| Penalties from Formal Enforcement Actions (5 years) | -- |
| EPA Cases (5 years) | -- |
| Penalties from EPA Cases (5 years) | -- |

Regulatory Information

Clean Air Act (CAA): Operating Minor (PR0000007213700070)

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): No Information

Safe Drinking Water Act (SDWA): No Information

Go To Enforcement/Compliance Details

Known Data Problems <<https://epa.gov/resources/echo-data/known-data-problems>>

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Facility/System Characteristics

Facility/System Characteristics

| System | Statute | Identifier | Universe | Status | Areas | Permit Expiration Date | Indian Country | Latitude | Longitude |
|----------|---------|--------------------|-----------------|-----------|--------|------------------------|----------------|----------|-----------|
| FRS | | 110001661256 | | | | | N | 18.44951 | -66.17691 |
| ICIS-Air | CAA | PR0000007213700070 | Minor Emissions | Operating | CAACFC | | N | 18.44951 | -66.17691 |

Facility Address

| System | Statute | Identifier | Facility Name | Facility Address | Facility County |
|----------|---------|--------------------|--|---|--------------------|
| FRS | | 110001661256 | CENTROPIEZAS AUTO PARTS & MACHINE SHOP | 1017 AVENIDA DOS PALMAS, TOA BAJA, PR 00949 | Toa Baja Municipio |
| ICIS-Air | CAA | PR0000007213700070 | CENTROPIEZAS AUTO PARTS & MACHINE SHOP | 1017 DOS PALMAS AVE, TOA BAJA, PR 00949 | Toa Baja Municipio |

Facility SIC (Standard Industrial Classification) Codes

| System | Identifier | SIC Code | SIC Description |
|----------|--------------------|----------|--------------------------------------|
| ICIS-Air | PR0000007213700070 | 5013 | Motor Vehicle Supplies And New Parts |

Facility NAICS (North American Industry Classification System) Codes

| System | Identifier | NAICS Code | NAICS Description |
|----------|--------------------|------------|-------------------|
| ICIS-Air | PR0000007213700070 | 999999 | |

Facility Tribe Information

| Reservation Name | Tribe Name | EPA Tribal ID | Distance to Tribe (miles) |
|------------------|------------|---------------|---------------------------|
|------------------|------------|---------------|---------------------------|

No data records returned

Enforcement and Compliance

Compliance Monitoring History Last 5 Years

| Statute | Source ID | System | Activity Type | Compliance Monitoring Type | Lead Agency | Date | Finding (if applicable) |
|---------|-----------|--------|---------------|----------------------------|-------------|------|-------------------------|
|---------|-----------|--------|---------------|----------------------------|-------------|------|-------------------------|

No data records returned

Entries in italics are not included in ECHO's Compliance Monitoring Activity counts because they are not compliance monitoring strategy <<https://www.epa.gov/compliance/compliance-monitoring-programs>> activities or because they are not counted as inspections within EPA's Annual Results <<https://www.epa.gov/enforcement/enforcement-data-and-results>>.

Compliance Summary Data

| Statute | Source ID | Current SNC (Significant Noncompliance)/HPV (High Priority Violation) | Current As Of | Qtrs with NC (Noncompliance) (of 12) | Data Last Refreshed |
|---------|--------------------|---|---------------|--------------------------------------|---------------------|
| CAA | PR0000007213700070 | No | 03/22/2025 | 0 | 03/21/2025 |

Three-Year Compliance History by Quarter

| Statute | Program/Pollutant/Violation Type | QTR 1 | QTR 2 | QTR 3 | QTR 4 | QTR 5 | QTR 6 | QTR 7 | QTR 8 | QTR 9 | QTR 10 | QTR 11 | QTR 12+ |
|---------|----------------------------------|-------------------------|-------------------------|-------------------------|-------------------------|-------------------------|-------------------------|-------------------------|-------------------------|-------------------------|-------------------------|-------------------------|-------------------------|
| CAA | (Source ID: PR0000007213700070) | 04/01-06/30/22 | 07/01-09/30/22 | 10/01-12/31/22 | 01/01-03/31/23 | 04/01-06/30/23 | 07/01-09/30/23 | 10/01-12/31/23 | 01/01-03/31/24 | 04/01-06/30/24 | 07/01-09/30/24 | 10/01-12/31/24 | 01/01-03/31/25 |
| | Facility-Level Status | No Violation Identified |
| | HPV History | | | | | | | | | | | | |

| Statute | Program/Pollutant/Violation Type | | | | QTR 1 | QTR 2 | QTR 3 | QTR 4 | QTR 5 | QTR 6 | QTR 7 | QTR 8 | QTR 9 | QTR 10 | QTR 11 | QTR 12+ |
|---------|----------------------------------|--------|----------|------------|-------|-------|-------|-------|-------|-------|-------|-------|-------|--------|--------|---------|
| | Violation Type | Agency | Programs | Pollutants | | | | | | | | | | | | |

Informal Enforcement Actions

| Statute | System | Source ID | Type of Action | Lead Agency | Date |
|---------|--------|-----------|----------------|-------------|------|
|---------|--------|-----------|----------------|-------------|------|

No data records returned

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

Formal Enforcement Actions

| Statute | System | Law/Section | Source ID | Type of Action | Case No. | Lead Agency | Case Name | Issued/ Filed Date | Settlements/ Actions | Settlement/ Action Date | Federal Penalty Assessed | State/ Local Penalty Assessed | Penalty Amount Collected | SEP Value | Comp Action Cost |
|---------|--------|-------------|-----------|----------------|----------|-------------|-----------|--------------------|----------------------|-------------------------|--------------------------|-------------------------------|--------------------------|-----------|------------------|
|---------|--------|-------------|-----------|----------------|----------|-------------|-----------|--------------------|----------------------|-------------------------|--------------------------|-------------------------------|--------------------------|-----------|------------------|

No data records returned

Environmental Conditions

Watersheds

| 12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database)) | WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database)) | State Water Body Name (ICIS (Integrated Compliance Information System)) | Beach Closures Within Last Year | Beach Closures Within Last Two Years | Pollutants Potentially Related to Impairment | Watershed with ESA (Endangered Species Act)-listed Aquatic Species? |
|--|---|---|---------------------------------|--------------------------------------|--|---|
|--|---|---|---------------------------------|--------------------------------------|--|---|

No data records returned

Assessed Waters From Latest State Submission (ATTAINS)

| State | Report Cycle | Assessment Unit ID | Assessment Unit Name | Water Condition | Cause Groups Impaired | Drinking Water Use | Ecological Use | Fish Consumption Use | Recreation Use | Other Use |
|-------|--------------|--------------------|----------------------|-----------------|-----------------------|--------------------|----------------|----------------------|----------------|-----------|
|-------|--------------|--------------------|----------------------|-----------------|-----------------------|--------------------|----------------|----------------------|----------------|-----------|

No data records returned

Air Quality Nonattainment Areas

| Pollutant | Within Nonattainment Status Area? | Nonattainment Status Applicable Standard(s) | Within Maintenance Status Area? | Maintenance Status Applicable Standard(s) |
|--------------------|-----------------------------------|---|---------------------------------|---|
| Ozone | No | -- | No | -- |
| Lead | No | -- | No | -- |
| Particulate Matter | No | -- | No | -- |
| Carbon Monoxide | No | -- | No | -- |
| Sulfur Dioxide | Yes | Sulfur Dioxide (2010) | No | -- |

Pollutants

Toxics Release Inventory History of Reported Chemicals Released or Transferred in Pounds per Year at Site

| TRI Facility ID | Year | Air Emissions | Surface Water Discharges | Off-Site Transfers to POTWs (Publicly Owned Treatment Works) | Underground Injections | Disposal to Land | Total On-Site Releases | Total Off-Site Transfers |
|-----------------|------|---------------|--------------------------|--|------------------------|------------------|------------------------|--------------------------|
|-----------------|------|---------------|--------------------------|--|------------------------|------------------|------------------------|--------------------------|

No data records returned

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

| Chemical Name |
|---------------|
|---------------|

No data records returned

Community

Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2022 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. Census boundaries and demographic data for U.S. Territories are based on the "2020 Island Areas Demographic Profiles" from the U.S. Census Bureau. EPA's spatial processing methodology considers the overlap between the selected radii and ACS census block groups in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <<https://epa.gov/help/reports/dfr-data-dictionary#demographic>>.

| General Statistics (ACS (American Community Survey)) | |
|--|--------------|
| Total Persons | 19,715 |
| Population Density | 9,613/sq.mi. |
| Housing Units in Area | 9,542 |
| Percent People of Color | 99% |
| Households in Area | 7,681 |
| Households on Public Assistance | 114 |
| Persons With Low Income | 10,815 |
| Percent With Low Income | 56% |

| Geography | |
|-------------------------|--------------|
| Radius of Selected Area | 1 mi. |
| Center Latitude | 18.44951 |
| Center Longitude | -66.17691 |
| Total Area | 3.121 sq.mi. |
| Land Area | 66% |
| Water Area | 34% |

| Age Breakdown (ACS (American Community Survey)) - Persons (%) | |
|---|--------------|
| Children 5 years and younger | 592 (3%) |
| Minors 17 years and younger | 3,079 (16%) |
| Adults 18 years and older | 16,636 (84%) |
| Seniors 65 years and older | 4,732 (24%) |

| Race Breakdown (ACS (American Community Survey)) - Persons (%) | |
|--|--------------|
| White | 8,553 (43%) |
| African-American | 1,424 (7%) |
| Hispanic-Origin | 19,437 (99%) |
| Asian | 2 (0%) |
| Hawaiian/Pacific Islander | 0 (0%) |
| American Indian | 175 (1%) |
| Other/Multiracial | 5,769 (29%) |

| Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%) | |
|--|-------------|
| Less than 9th Grade | 965 (6.58%) |

| Income Breakdown (ACS (American Community Survey)) - Households (%) | |
|---|----------------|
| Less than \$15,000 | 1,454 (18.93%) |
| \$15,000 - \$25,000 | 1,213 (15.79%) |
| \$25,000 - \$50,000 | 2,474 (32.21%) |
| \$50,000 - \$75,000 | 1,367 (17.8%) |
| Greater than \$75,000 | 1,172 (15.26%) |

| Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%) | |
|--|----------------|
| 9th through 12th Grade | 547 (3.73%) |
| High School Diploma | 3,699 (25.21%) |
| Some College/2-year | 2,676 (18.24%) |
| B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More | 4,704 (32.06%) |

Facility 4



[EPA Home <https://www.epa.gov/>](https://www.epa.gov/) / [Envirofacts <https://epa.gov/>](https://epa.gov/) / [ICIS-AIR <https://epa.gov/envirofacts/icis-air>](https://epa.gov/envirofacts/icis-air)

ICIS-Air Detailed Plant View

[Home <https://epa.gov/>](https://epa.gov/) | [Multisystem Search <https://epa.gov/envirofacts/multisystem/search>](https://epa.gov/envirofacts/multisystem/search) | [Topic Searches <https://www.epa.gov/enviro/topic-searches>](https://www.epa.gov/enviro/topic-searches) | [System Data Searches <https://www.epa.gov/enviro/system-data-searches>](https://www.epa.gov/enviro/system-data-searches) | [About the Data <https://www.epa.gov/enviro/about-data>](https://www.epa.gov/enviro/about-data) | [Data Downloads <https://www.epa.gov/enviro/data-downloads>](https://www.epa.gov/enviro/data-downloads) | [Widgets <https://www.epa.gov/enviro/widgets>](https://www.epa.gov/enviro/widgets) | [Services <https://www.epa.gov/enviro/web-services>](https://www.epa.gov/enviro/web-services) | [Mobile <https://www.epa.gov/enviro/uv-index-mobile-app>](https://www.epa.gov/enviro/uv-index-mobile-app) | [Other Datasets <https://www.epa.gov/enviro/other-datasets>](https://www.epa.gov/enviro/other-datasets)

Plant Information

| | |
|--|--|
| CENTROPIEZAS AUTO PARTS & MACHINE SHOP 1017 DOS PALMAS AVE TOA BAJA, PR 00949 | |
|--|--|

| | | | |
|---------------------------------|--------------------|--|--------------------------|
| Operating Status | OPR | Operating Status Desc. | Operating |
| Facility ID | PR0000007213700070 | State Registration Number | |
| Facility Type Code | POF | Facility Type Desc. | Privately Owned Facility |
| Government Facility Code | | Government Facility Description | |

NAICS Information

| NAICS Code | NAICS Description |
|------------|-------------------|
| 999999 | AFS Migration |

SIC Information

| SIC Code | SIC Description |
|----------|--------------------------------------|
| 5013 | Motor Vehicle Supplies And New Parts |

Air Program Information



| Program Code | Program Description | Operating Status | Subpart Code | Subpart Description |
|--------------|--------------------------------|------------------|--------------|---------------------|
| CAACFC | Stratospheric Ozone Protection | Operating | | |



Air Pollutant Information

| Pollutant Code | Pollutant Description | Chemical Abstract Service (CAS) Number | SRS ID | AIR Pollutant Class Code |
|----------------|---------------------------|--|--------|--------------------------|
| 300000240 | CFC (CHLOROFLUOROCARBONS) | 75718 | 761411 | MIN |



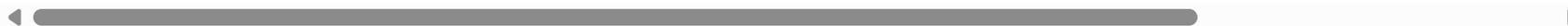
Air Compliance Monitoring Information

| State/EPA Flag | Activity Type | Activity Type Description | Compliance Monitor Type | Compliance Monitor Type Description | E |
|----------------|---------------|---------------------------|-------------------------|-------------------------------------|----|
| E | INS | Inspection/Evaluation | PCE | PCE On-Site | 1: |



Formal Enforcement Information

| State/EPA Flag | Activity Type | Activity Type Description | Enforcement Identifier | Enforcement Type Code | Total Asse |
|----------------|---------------|---------------------------|------------------------|-----------------------|------------|
| E | AFR | Administrative - Formal | 02-1994-A049 | 113D1 | 2000 |
| E | AFR | Administrative - Formal | 02-1993-A055 | 113A | |



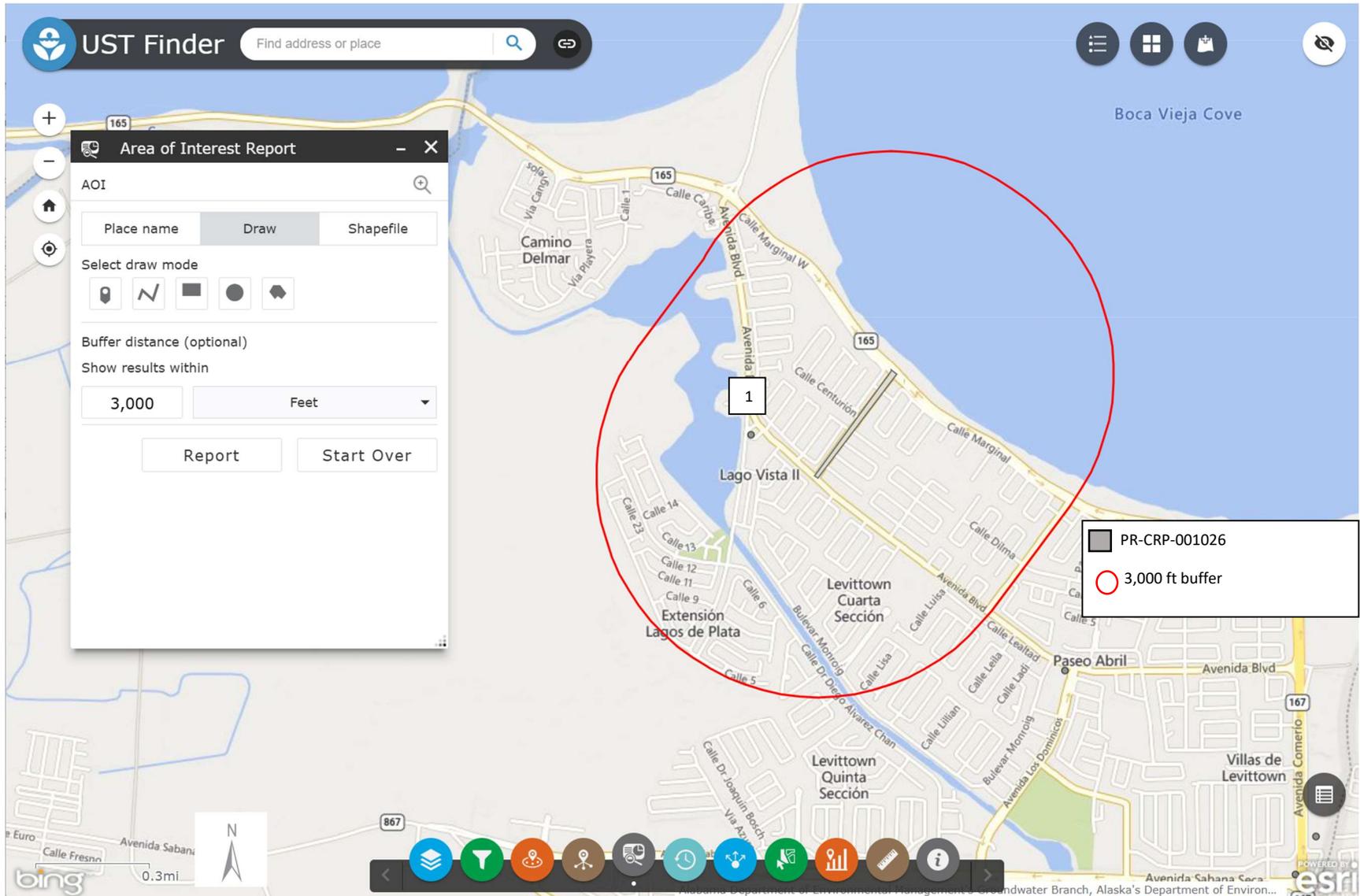
Contact Us <<https://www.epa.gov/enviro/forms/contact-us-about-envirofacts>> to ask a question, provide feedback, or report a problem.

Last updated on March 6, 2025

Attachment 6.3. USTs Map

PR-CRP-001026 – Conversion of Del Valle Avenue into a Complete Street

Coord: 18.452758, -66.185152 to 18.456523, -66.182118
Address: Del Valle Avenue, Levittown, Barrio Sabana Seca, Toa Baja, PR



Source: EPA NEPAassist (Spatial Reference: GRS80), accessed at URL <https://nepassisttool.epa.gov/nepassist/nepamap.aspx>

USTs Table

PR-CRP-001026

| ID | Facility | Distance from Project Site | Direction from Project Site | Description |
|-----------|---|-----------------------------------|------------------------------------|---|
| 1 | SHELL #003247 (Facility ID: PR_22593- 26874) | 0.19 mi | West | Address AVE BOULEVARD CENTRO COMERCIAL LAGO VISTA City TOA BAJA State Puerto Rico Latitude 18.4543 Longitude -66.1878 |



Transmittal Letter

June 28, 2024

Caribbean Ecological Services Field Office
U.S. Fish and Wildlife Service
P.O. Box 491
Boquerón, Puerto Rico 00622
Email: caribbean@es@fws.gov



Based on the information provided, we determined the project proposed qualifies for the blanket clearance letter. Nevertheless, if the project is modified this office should be contacted concerning the need for the initiation of consultation under section 7 of Endangered Species Act of 1973.

Reviewer DAMARIS ROMAN RUIZ Digitally signed by DAMARIS ROMAN RUIZ
Date: 2024.07.11 10:59:02 -04'00'

SILMARIE PADRON Digitally signed by SILMARIE PADRON
Date: 2024.07.11 12:36:07 -04'00'
Acting Caribbean ES Field Supervisor

**RE: USFWS Endangered Species Act Certifications
CRP Program – June 2024**

We are submitting the following Self-Certifications for projects under the CDBG-DR City Revitalization Program. Attached are included the Self-Certifications that certify that the projects are in compliance and are not likely to adversely affect federally-listed species.

The following table includes the projects that are in compliance with the Blanket Clearance Letter for the Endangered Species act of 1973, as amended, and the Fish and Wildlife Coordination Act.

| Project Number | Project Name |
|----------------|---|
| PR-CRP-000048 | Nuevo Estacionamiento Público en la Calle Libertad |
| PR-CRP-000053 | Sidewalk Revitalization Jayuya Urban Center |
| PR-CRP-000209 | Iniciativa para la Rehabilitación de Integral de la Comunidad Especial "El Cerro" |
| PR-CRP-000342 | Alumbrado y Reconstrucción de Aceras Ave. Emérito Estrada Rivera |
| PR-CRP-000446 | Rehabilitación Plaza de Recreo Cristobal Colón |
| PR-CRP-000655 | Plaza Urbanización Roosevelt |
| PR-CRP-000775 | Revitalization of Architecture and Historical Facades in the Urban Center |
| PR-CRP-000988 | Construcción de Ampliación de Estacionamiento Público |
| PR-CRP-001026 | Conversion Of Del Valle Avenue into a Complete Street |
| PR-CRP-001192 | Public Facilities Plaza Rafael Hernández Marín Río Piedras |

For more information, please contact the Permits and Environmental Compliance Division at environmentcdbg@vivienda.pr.gov or at (787)274.2527 ext. 4320.

Sincerely,

Permits and Environmental Compliance Division
Office of Disaster Recovery



Self-Certification

<http://www.fws.gov/caribbean/ES/Index.html>

Endangered Species Act Certification

The U.S. Fish and Wildlife Service, Caribbean Ecological Services Field Office developed a Blanket Clearance Letter in compliance with Endangered Species Act of 1973, as amended, and the Fish and Wildlife Coordination Act for federally funded projects.

The Service determined that projects in compliance with the following criteria are not likely to adversely affect federally-listed species.

Puerto Rico Department of Housing (PRDOH) certifies that the following project, **Conversion Of Del Valle Avenue into a Complete Street (PR-CPR-001026)**, consisting of the reconstruction of Del Valle Avenue converting it into 2- way complete street with bicycle lane, parallel parking, streetscape, sidewalk surface renovation including flat tables for safe pedestrian crossing, street furniture, and solar lamps, located at Del Valle Avenue Levittown, Sabana Seca Ward, Toa Baja, Puerto Rico (18.454686°,-66.183617°), complies with:

| Check | Project Criteria |
|-------------------------------------|--|
| <input checked="" type="checkbox"/> | 1. Street resurfacing. |
| <input checked="" type="checkbox"/> | 2. Construction of gutters and sidewalks along existing roads. |
| <input type="checkbox"/> | 3. Reconstruction or emergency repairs of existing buildings, facilities and homes. |
| <input type="checkbox"/> | 4. Rehabilitation of existing occupied single-family homes, and buildings; provided that equipment storage or staging areas are not located on vacant property harboring a wetland and/or forested vegetation and that the lighting associated to the new facilities is not visible directly or indirectly from a beach. |
| <input type="checkbox"/> | 5. Demolition of dilapidated single-family homes or buildings; provided that the demolition debris is disposed in certified receiving facilities; equipment storage or staging areas are not located on vacant property harboring a wetland and/or forested vegetation. |

| | |
|--------------------------|---|
| <input type="checkbox"/> | 6. Rebuilding of demolished single-family homes or buildings, provided that the new construction is within the existing footprint of the previous structure and/or within pre-existing grassed or paved areas, and that the lighting associated to the new facilities are not visible directly or indirectly from a beach. |
| <input type="checkbox"/> | 7. Activities within existing Right of Ways (ROWs) of roads, bridges and highways, when limited to actions that do not involve cutting native vegetation or mayor earth moving; and are not located within, or adjacent to, drainages, wetlands, or aquatic systems. These activities include the installation of potable water and sanitary pipelines. |
| <input type="checkbox"/> | 8. Improvements to existing recreational facilities, including the installation of roofs to existing basketball courts, provided that the lighting associated to the facilities are not visible directly or indirectly from the beach. |
| <input type="checkbox"/> | 9. Construction of electric underground systems in existing towns and communities, provided that the property is not a wetland area and the lighting associated to the facilities are not visible directly or indirectly from the beach. |
| <input type="checkbox"/> | 10. Construction of facilities on vacant properties covered with grasses in urban areas, provided that the lighting associated to the facilities are not visible directly or indirectly from the beach. |
| <input type="checkbox"/> | 11. Construction of houses, buildings or acquiring lands in urban areas covered by grass for relocation of low-income families and/or facilities that have been affected by weather conditions. |



Ángel G. López-Guzmán
Deputy Director

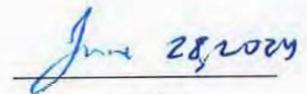
Permits and Environmental Compliance Division

Office of Disaster Recovery

Address: P.O. Box 21365 San Juan, PR 00928

Telephone and Ext: 787-274-2527 ext. 4320

Email: environmentcdbq@vivienda.pr.gov



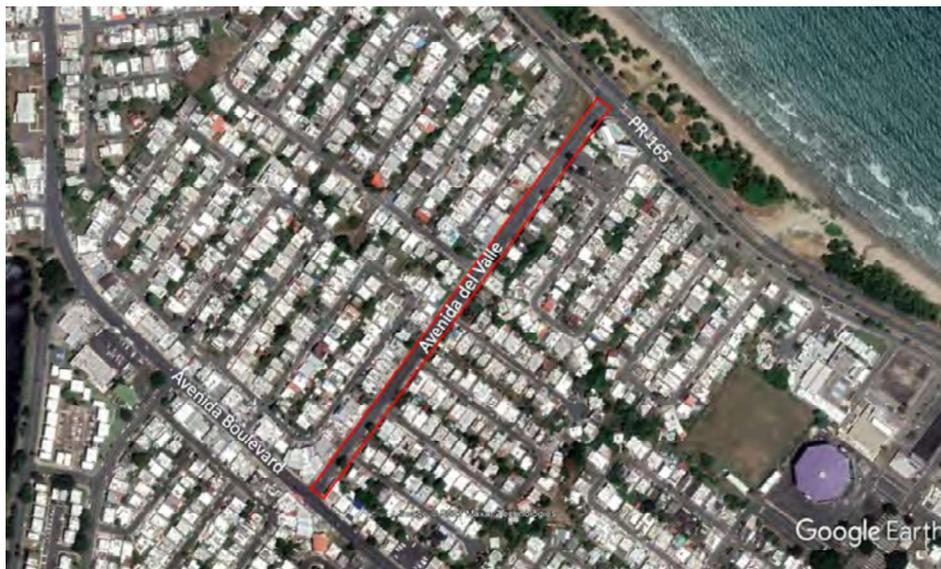
Date

PROJECT DESCRIPTION

The applicant is seeking Community Development Block Grant disaster recovery funds financed by the Federal Department of Housing and Urban Development due to damage received by the 2017 Hurricanes Irma and Maria. The Puerto Rico Department of Housing (PRDOH) has established an Agreement between PRDOH and the Municipality of Toa Baja (the "Subrecipient") for the City Revitalization Program ("Program") as part of the Community Development Block Grant for Disaster Recovery (CDBG-DR) Program [Procurement Process No. 11, AF 2022-2023].

Del Valle Avenue is a Municipal four (4) lane road that runs from state road PR-165, to the North, to Boulevard Avenue, to the South. It has an approximate length of 525 meters and a width of 20.60 meters including the sidewalks. The structures on both sides of the Avenue are of mixed-use: primarily residential, but with several commercial uses including The Comfort Inn and Suites Hotel, both located at the intersection with road PR-165.

The Project NAD coordinates at each end of the Avenue are: X: 226,536.330 / Y: 268,996.145 to the North, and X: 226,219.067 / Y: 268,570.559 to the South.



This area of Toa Baja named Levittown, was a residential suburban housing built in the 1960s, developed by Levitt Sons. As is natural, the idea of segregating land use and building residences away from the mix used cities has not only not worked but slowly an unplanned commercial use creeps in. Del Valle Ave. is an example of new nonresidential activities. The design intent is to harmonize this improvised mix use with a healthy urban space where the pedestrian, cycling and vehicular traffic together with parking and vegetation co-exist in a positive, secure, and proactive way.

Complete Streets approaches vary based on community context. They may address a wide range of elements, such as sidewalks, bicycle lanes, crossing opportunities, median islands, accessible pedestrian signals, curb extensions, modified vehicle travel lanes, streetscape, and landscape treatments. Complete Streets reduce motor vehicle-related crashes and pedestrian risk, as well as bicyclist risk when well-designed bicycle-specific infrastructure. They promote walking and bicycling by providing safer places to achieve physical activity.

CALLE COMPLETA - AVENIDA DEL VALLE - SABANA SECA - TOA BAJA
FOTOGRAFÍAS



Vista hacia el Noreste - hacia la Intersección Av. El Caño, PR 165



Vista hacia el Suroeste - hacia la intersección con el Blvd. Levittown



Intersección Noreste



Intersección Suroeste



The Conversion of Del Valle Avenue into a Complete Street will include the reconstruction of the existing avenue, reducing the four (4) lane avenue to a two (2) lane street with a new bicycle lane and intermedian island, parallel parking on the commercial side of the street, curb extensions, streetscape and landscape treatment, reconstruction of the 3-meter-wide sidewalks with trees and street furniture, new solar lighting system. Safety measures will include crossing flat tables and accessible pedestrian signals, turning radius reduction at the intersection with PR-165 to reduce motor vehicle speed at the Del Valle Ave.

The design objectives for this conversion is to provide a safe and agreeable street for pedestrians, cyclists and motorists, promoting the use of the street as an active urban connector between the commercial Boulevard street on the south and the natural amenities of the northern coast.

This project complies with the directives of the **CDBG-DR** – Community Development Block Grant for Disaster Recovery Program and the U.S. Housing and Urban Development (HUD) City Revitalization Program. Safety measures will be included for pedestrians and cyclists, in compliance with FHWA and PRHTA standards and regulations.

Demolition Works

The demolition works will include partial removal of the existing asphalt along del Valle Avenue with milling machines to remove the top layer before new asphalt layer is laid. The sidewalks on both sides of the avenue will be removed with a sledgehammer until the concrete pad cracks and crumbles, with the concrete pad loose it will be removed with digging buckets mini excavators, no further excavation is needed. The project will maintain the same geometry of the sidewalks and will include the required handicap ramps, flat tables and pedestrian crossings to comply with ADA regulations, FHWA and PRHTA guides and standards. The staging area for this works will be along the Del Valle Avenue which is wide enough to make partial staging areas without affecting the traffic.

For the Del Valle Avenue roadway, 2" to 4" (maximum) cold milling of bituminous asphalt poured pavement will be performed to adjust to the new design for the reduced roadway, new bicycle lane and green inlet considering new levelling of the street surface for storm water run-off. The works will consider not excavating any segment of the road, considering that the asphalt section (subbase and base course) is in good conditions.

To provide a safety zone for pedestrians and cyclists and reduce the speed on the road, two elevated pedestrian crossings will be proposed. This crossing consists of the construction of a concrete bump with a level segment to allow pedestrians to cross from one side of the road to the other at the same level as the sidewalks. The construction of his section will be over the existing grade and may require an excavation of approximated 0.30m (12in) for its construction. Precautions during construction and excavation works. New 25 feet high solar luminaire posts will be install along the new green inlet and 15 ft. high posts for the sidewalks.

Staging Area and Erosion Control

The staging area for the construction equipment and materials will be located within the Del Valle Avenue. The four (4) lane avenue will be reduced to a two-lane street and temporary staging will be coordinated along the avenue at different construction stages. During the demolition and construction process, erosion and sedimentation control measures will be implemented to avoid the sediments discharge into the road surface and storm sewer system during rainfall events. The storm sewer structures (inlets, gutters, etc.) within the project area will be protected with hay bales or sediment sods. Material storage areas will be protected with a silt fence to avoid sediments from discharging into the street or storm sewer structures. All sediment control devices shall be inspected, replaced, or install additional measures, when necessary, after any rainfall event, including installation of hay bales (or silt socks) on drainage structures, installation of silt fence around the project limit, and implementation of a washout entrance for trucks to avoid sediments migration into the streets. Staging and storage areas for construction materials will be protected with silt fence.

Exclusion to Demolition Works

The demolition works will exclude the removal of the existing perimeter walls of all of the properties along Del Valle Avenue on both sides of the Avenue. The exclusion of the demolishment of the perimeter walls will benefit the integrity of the property and conserve all paved beyond the property limits.

Construction Works

The project proposes the following improvements:

- (1) The reconstruction of the existing Del Valle Avenue, reducing the four (4) lane avenue to a two (2) lane street: The avenue measures 525 meters (1,77 ft.) long by 14.61 meters (48 ft.) wide for an area of 7,670 SM (82,562 SF) of asphalted vehicular surface. Half of the existing asphalt pavement along the western side of the street will remain, no excavation on this side of the avenue is proposed. The eastern side of the asphalt surface (3,835 SM / 41,281 SF) will be removed (approximately 4" deep) and replace by a new asphalted area of approximately 819 SM / 8,815 SF for the remaining of the vehicular surface, a green inlet with an area of 962 SM / 10,353 SF and a 2-way concrete bicycle lane with an area of 11,443.75 SM / 5,300 SF for. The existing asphalt surface along this area will be removed (approximately 4" deep) and no further excavation is required. No further excavation is required.
- (2) A 2.75 meter (9 feet) wide, 2-way bicycle lane is proposed along the western sidewalk, from Boulevard Avenue southern intersection to the northern PR-165 state road (length of 525 M / 1,700 feet). The bicycle lane will be at sidewalk level. The existing asphalt along this area will be removed (approximately 4" deep) and no further excavation is required.
- (3) An intermedian island is proposed between the bicycle lane and the vehicular lanes. It is a green area of 1962 SM / 0,353 sq. ft. for new planting and trees. The existing asphalt along this area will be removed (approximately 4" deep) and no further excavation is required.
- (4) Parallel parking (37 spaces) on the commercial side of the street is placed along the existing side of the asphalted street that will not be removed. There is no street removal on this side of the street.
- (5) Curb extensions: Curbs along the eastern sidewalk (525 m / 1,722 FT long will be removed (approximately 6" deep) and replaced. The removal and replacement considers a 12" deep excavation with no impact to earth's crust.
- (6) Streetscape and landscape treatment amounts to an area of 12,725 square feet of grass and planting area and 141 trees. The existing asphalt area will be removed (approximately 4" deep) and replaced with top soil for new planting. Trees will require an excavation of approximately 30 inches deep.
- (7) The reconstruction of the 3-meter-wide sidewalks on both side of the avenue considers the removal of the 4" existing concrete sidewalks and its replacement with new concrete sidewalks of the same dimensions and as the existing one. The typical detail for sidewalk section is 4 inches for the concrete slab and 4 inches for gravel (where applies).
- (8) Street furniture include 18 pre-cast concrete benches, 48 pre-cast concrete bollards, 23 pre-cast concrete trash receptacles, 53 pre-cast concrete bicycle racks, 70 pedestrian solar posts (14feet high) and 16 vehicular

solar posts (26 feet high). None of the urban furniture installation requires excavation and will not impact the earth's crust. Refer to ATTACHED drawings, photos of street furniture and renderings.

- (9) Improvements to existing storm sewer system will include, the reduction of paved surface by: eliminating two lanes, reducing the width of the two remaining lanes, providing landscape treatment along the sidewalks, a new green inlet and re-leveling of the street new pavement and the replacement. Existing grates and frames for inlets will remain. If needed, the resetting of top of manholes or other utility structure to match the existing surface level will be provided.
- (10) Installation of new solar luminaires along Del Valle Avenue. New 25 feet tall solar luminaire posts will be install along the new green inlet and 15 ft. tall posts for the sidewalks. The solar posts installation will requiere punctual excavations for the the posts base supports, three (3) feet deep (1 M) for the pedestrian posts and five (5) feet deep (1.5 M) for the vehicular posts.. A Maintenance of traffic plan and temporary control devices will be implemented to control the vehicular traffic and provide a safe route to pedestrians during the construction works. The maintenance of the traffic plan will be prepared in compliance with the PRHTA and FHWA standards and regulations. Refer to ATTACHED drawings, photos of street furniture and renderings.

San Pedro Swamp Critical Habitat Map

PR-CRP-001026

Address: Avenida Del Valle, Levittown, Barrio Sabana Seca, Toa Baja , PR

Coordinates: 18.454686° , -66.183617°

Project Location



-  San pedro swamp.shp
-  El mameyal cwa.shp
-  Municips.shp

PR-CRP-001026 Wetland Map

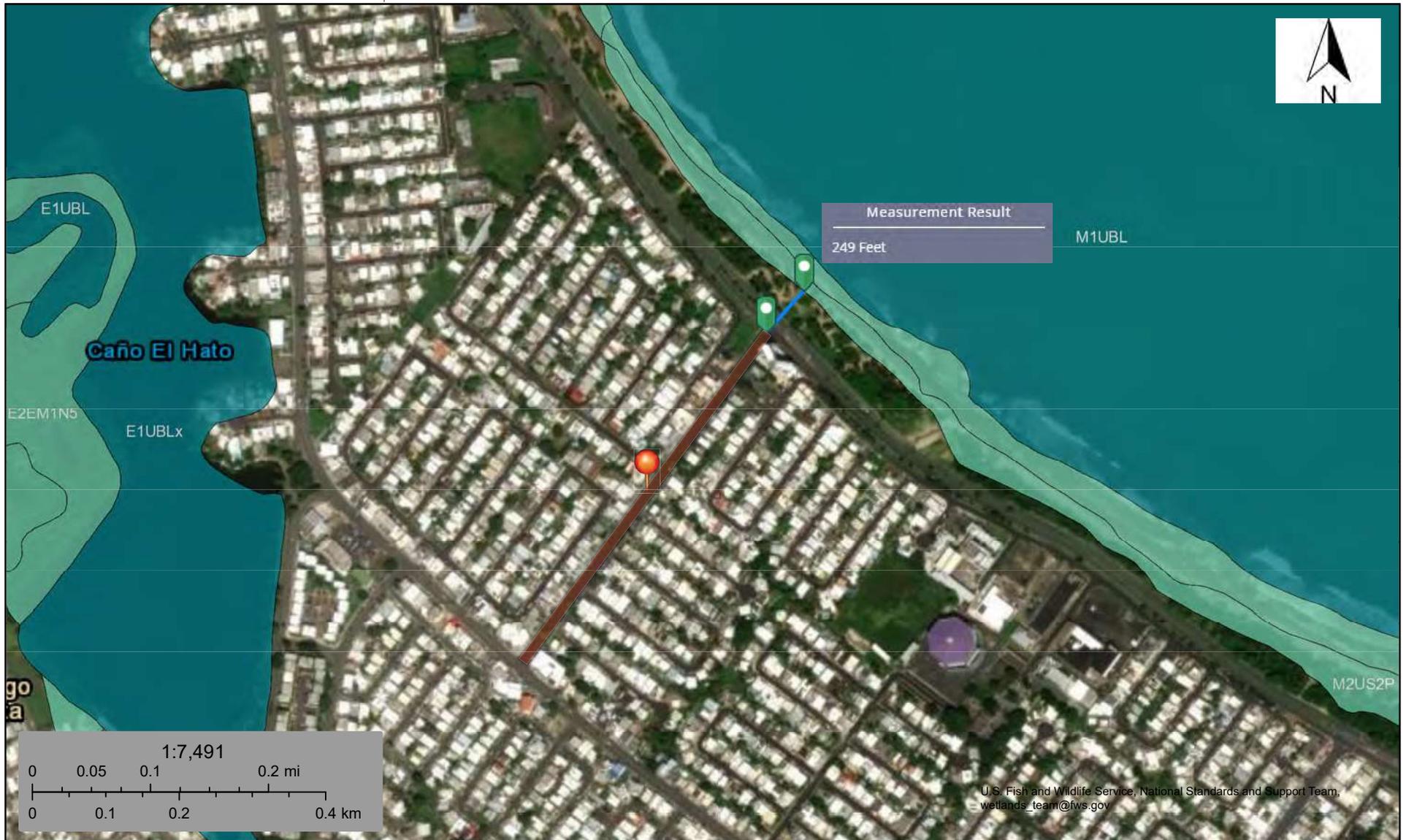
Address: Avenida Del Valle, Levittown, Barrio Sabana Seca, Toa Baja, PR

Coordinates: 18.454686°,-66.183617°



U.S. Fish and Wildlife Service

National Wetlands Inventory



U.S. Fish and Wildlife Service, National Standards and Support Team,
wetlands_team@fws.gov

June 25, 2024

Wetlands

- | | | |
|--------------------------------|-----------------------------------|----------|
| Estuarine and Marine Deepwater | Freshwater Emergent Wetland | Lake |
| Estuarine and Marine Wetland | Freshwater Forested/Shrub Wetland | Riverine |
| | Freshwater Pond | Other |

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

Attachment 7.2

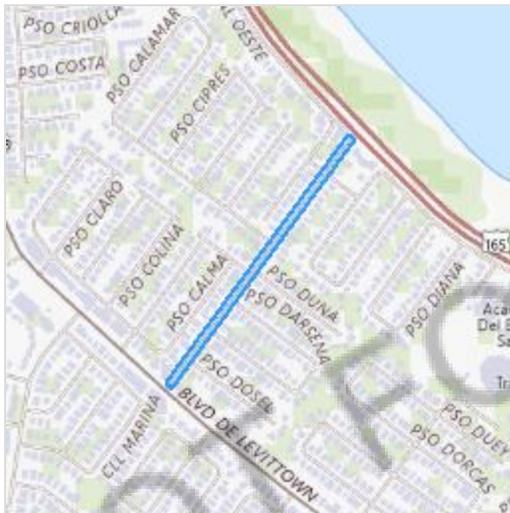
IPaC resource list

This report is an automatically generated list of species and other resources such as critical habitat (collectively referred to as *trust resources*) under the U.S. Fish and Wildlife Service's (USFWS) jurisdiction that are known or expected to be on or near the project area referenced below. The list may also include trust resources that occur outside of the project area, but that could potentially be directly or indirectly affected by activities in the project area. However, determining the likelihood and extent of effects a project may have on trust resources typically requires gathering additional site-specific (e.g., vegetation/species surveys) and project-specific (e.g., magnitude and timing of proposed activities) information.

Below is a summary of the project information you provided and contact information for the USFWS office(s) with jurisdiction in the defined project area. Please read the introduction to each section that follows (Endangered Species, Migratory Birds, USFWS Facilities, and NWI Wetlands) for additional information applicable to the trust resources addressed in that section.

Location

Toa Baja County, Puerto Rico



Local office

Caribbean Ecological Services Field Office

☎ (939) 320-3135

📠 (787) 851-7440

✉ CARIBBEAN_ES@FWS.GOV

MAILING ADDRESS

Post Office Box 491

Boqueron, PR 00622-0491

PHYSICAL ADDRESS

Office Park I

State Road #2 Km 156.5, Suite 303}

Mayaguez, PR 00680

NOT FOR CONSULTATION

Endangered species

This resource list is for informational purposes only and does not constitute an analysis of project level impacts.

The primary information used to generate this list is the known or expected range of each species. Additional areas of influence (AOI) for species are also considered. An AOI includes areas outside of the species range if the species could be indirectly affected by activities in that area (e.g., placing a dam upstream of a fish population even if that fish does not occur at the dam site, may indirectly impact the species by reducing or eliminating water flow downstream). Because species can move, and site conditions can change, the species on this list are not guaranteed to be found on or near the project area. To fully determine any potential effects to species, additional site-specific and project-specific information is often required.

Section 7 of the Endangered Species Act **requires** Federal agencies to "request of the Secretary information whether any species which is listed or proposed to be listed may be present in the area of such proposed action" for any project that is conducted, permitted, funded, or licensed by any Federal agency. A letter from the local office and a species list which fulfills this requirement can **only** be obtained by requesting an official species list from either the Regulatory Review section in IPaC (see directions below) or from the local field office directly.

For project evaluations that require USFWS concurrence/review, please return to the IPaC website and request an official species list by doing the following:

1. Draw the project location and click CONTINUE.
2. Click DEFINE PROJECT.
3. Log in (if directed to do so).
4. Provide a name and description for your project.
5. Click REQUEST SPECIES LIST.

Listed species¹ and their critical habitats are managed by the [Ecological Services Program](#) of the U.S. Fish and Wildlife Service (USFWS) and the fisheries division of the National Oceanic and Atmospheric Administration (NOAA Fisheries²).

Species and critical habitats under the sole responsibility of NOAA Fisheries are **not** shown on this list. Please contact [NOAA Fisheries](#) for [species under their jurisdiction](#).

1. Species listed under the [Endangered Species Act](#) are threatened or endangered; IPaC also shows species that are candidates, or proposed, for listing. See the [listing status page](#) for more information. IPaC only shows species that are regulated by USFWS (see FAQ).
2. [NOAA Fisheries](#), also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

The following species are potentially affected by activities in this location:

Mammals

| NAME | STATUS |
|---|------------------------------------|
| West Indian Manatee <i>Trichechus manatus</i> Wherever found There is final critical habitat for this species. Your location does not overlap the critical habitat. https://ecos.fws.gov/ecp/species/4469 | Threatened Marine mammal |

Reptiles

| NAME | STATUS |
|--|------------|
| Puerto Rican Boa <i>Chilabothrus inornatus</i> Wherever found No critical habitat has been designated for this species. https://ecos.fws.gov/ecp/species/6628 | Endangered |

Critical habitats

Potential effects to critical habitat(s) in this location must be analyzed along with the endangered species themselves.

There are no critical habitats at this location.

You are still required to determine if your project(s) may have effects on all above listed species.

Bald & Golden Eagles

Bald and Golden Eagles are protected under the Bald and Golden Eagle Protection Act ² and the Migratory Bird Treaty Act (MBTA) ¹. Any person or organization who plans or conducts activities that may result in impacts to Bald or Golden Eagles, or their nests, should follow appropriate regulations and implement required avoidance and minimization measures, as described in the various links on this page.

The [data](#) in this location indicates that no eagles have been observed in this area. This does not mean eagles are not present in your project area, especially if the area is difficult to survey. Please review the 'Steps to Take When No Results Are Returned' section of the [Supplemental Information on Migratory Birds and Eagles document](#) to determine if your project is in a poorly surveyed area. If it is, you may need to rely on other resources to determine if eagles may be present (e.g. your local FWS field office, state surveys, your own surveys).

Additional information can be found using the following links:

- Eagle Management <https://www.fws.gov/program/eagle-management>
- Measures for avoiding and minimizing impacts to birds <https://www.fws.gov/library/collections/avoiding-and-minimizing-incident-take-migratory-birds>
- Nationwide avoidance and minimization measures for birds <https://www.fws.gov/sites/default/files/documents/nationwide-standard-conservation-measures.pdf>
- Supplemental Information for Migratory Birds and Eagles in IPaC <https://www.fws.gov/media/supplemental-information-migratory-birds-and-bald-and-golden-eagles-may-occur-project-action>

Bald & Golden Eagles FAQs

What does IPaC use to generate the potential presence of bald and golden eagles in my specified location?

The potential for eagle presence is derived from data provided by the [Avian Knowledge Network \(AKN\)](#). The AKN data is based on a growing collection of [survey, banding, and citizen science datasets](#) and is queried and filtered to return a list of those birds reported as occurring in the 10km grid cell(s) which your project intersects, and that have been identified as warranting special attention because they are an eagle ([Bald and Golden Eagle Protection Act](#) requirements may apply).

Proper interpretation and use of your eagle report

On the graphs provided, please look carefully at the survey effort (indicated by the black vertical line) and for the existence of the "no data" indicator (a red horizontal line). A high survey effort is the key component. If the survey effort is high, then the probability of presence score can be viewed as more dependable. In contrast, a low survey effort line or no data line (red horizontal) means a lack of data and, therefore, a lack of certainty about presence of the species. This list is not perfect; it is simply a starting point for identifying what birds have the potential to be in your project area, when they might be there, and if they might be breeding (which means nests might be present). The list and associated information help you know what to look for to confirm presence and helps guide you in knowing when to implement avoidance and minimization measures to eliminate or reduce potential impacts from your project activities or get the appropriate permits should presence be confirmed.

How do I know if eagles are breeding, wintering, or migrating in my area?

To see what part of a particular bird's range your project area falls within (i.e. breeding, wintering, migrating, or resident), you may query your location using the [RAIL Tool](#) and view the range maps provided for birds in your area at the bottom of the profiles provided for each bird in your results. If an eagle on your IPaC migratory bird species list has a breeding season associated with it (indicated by yellow vertical bars on the phenology graph in your "IPaC PROBABILITY OF PRESENCE SUMMARY" at the top of your results list), there may be nests present at some point within the timeframe specified. If "Breeds elsewhere" is indicated, then the bird likely does not breed in your project area.

Interpreting the Probability of Presence Graphs

Each green bar represents the bird's relative probability of presence in the 10km grid cell(s) your project overlaps during a particular week of the year. A taller bar indicates a higher probability of species presence. The survey effort can be used to establish a level of confidence in the presence score.

How is the probability of presence score calculated? The calculation is done in three steps:

The probability of presence for each week is calculated as the number of survey events in the week where the species was detected divided by the total number of survey events for that week. For example, if in week 12 there were 20 survey events and the Spotted Towhee was found in 5 of them, the probability of presence of the Spotted Towhee in week 12 is 0.25.

To properly present the pattern of presence across the year, the relative probability of presence is calculated. This is the probability of presence divided by the maximum probability of presence across all weeks. For example, imagine the probability of presence in week 20 for the Spotted Towhee is 0.05, and that the probability of presence at week 12 (0.25) is the maximum of any week of the year. The relative probability of presence on week 12 is $0.25/0.25 = 1$; at week 20 it is $0.05/0.25 = 0.2$.

The relative probability of presence calculated in the previous step undergoes a statistical conversion so that all possible values fall between 0 and 10, inclusive. This is the probability of presence score.

Breeding Season ()

Yellow bars denote a very liberal estimate of the time-frame inside which the bird breeds across its entire range. If there are no yellow bars shown for a bird, it does not breed in your project area.

Survey Effort ()

Vertical black lines superimposed on probability of presence bars indicate the number of surveys performed for that species in the 10km grid cell(s) your project area overlaps.

No Data ()

A week is marked as having no data if there were no survey events for that week.

Survey Timeframe

Surveys from only the last 10 years are used in order to ensure delivery of currently relevant information. The exception to this is areas off the Atlantic coast, where bird returns are based on all years of available data, since data in these areas is currently much more sparse.

Migratory birds

The Migratory Bird Treaty Act (MBTA) ¹ prohibits the take (including killing, capturing, selling, trading, and transport) of protected migratory bird species without prior [authorization](#) by the Department of Interior U.S. Fish and Wildlife Service (FWS). The incidental take of migratory birds is the injury or death of birds that results from, but is not the purpose, of an activity. The FWS interprets the MBTA to prohibit incidental take.

1. The [Migratory Birds Treaty Act](#) of 1918.
2. The [Bald and Golden Eagle Protection Act](#) of 1940.

Additional information can be found using the following links:

- Eagle Management <https://www.fws.gov/program/eagle-management>
- Measures for avoiding and minimizing impacts to birds <https://www.fws.gov/library/collections/avoiding-and-minimizing-incidental-take-migratory-birds>
- Nationwide avoidance and minimization measures for birds
- Supplemental Information for Migratory Birds and Eagles in IPaC <https://www.fws.gov/media/supplemental-information-migratory-birds-and-bald-and-golden-eagles-may-occur-project-action>

The [data](#) in this location indicates that no migratory birds of concern have been observed in this area. This does not mean [birds of concern](#) are not present in your project area, especially if the area is difficult to survey. Please review the 'Steps to Take When No Results Are Returned' section of the [Supplemental Information on Migratory Birds and Eagles document](#) to determine if your project is in a poorly surveyed area. If it is, you may need to rely on other resources to determine what migratory birds of concern may be present (e.g. your local FWS field office, state surveys, your own surveys).

Migratory Bird FAQs

Tell me more about avoidance and minimization measures I can implement to avoid or minimize impacts to migratory birds.

[Nationwide Avoidance & Minimization Measures for Birds](#) describes measures that can help avoid and minimize impacts to all birds at any location year-round. When birds may be breeding in the area, identifying the locations of any active nests and avoiding their destruction is one of the most effective ways to minimize impacts. To see when birds are most likely to occur and breed in your project area, view the Probability of Presence Summary. [Additional measures](#) or [permits](#) may be advisable depending on the type of activity you are conducting and the type of infrastructure or bird species present on your project site.

What does IPaC use to generate the list of migratory birds that potentially occur in my specified location?

The Migratory Bird Resource List is comprised of [Birds of Conservation Concern \(BCC\)](#) and other species that may warrant special attention in your project location, such as those listed under the Endangered Species Act or the [Bald and Golden Eagle Protection Act](#) and those species marked as "Vulnerable". See the FAQ "What are the levels of concern for migratory birds?" for more information on the levels of concern covered in the IPaC migratory bird species list.

The migratory bird list generated for your project is derived from data provided by the [Avian Knowledge Network \(AKN\)](#). The AKN data is based on a growing collection of [survey, banding, and citizen science datasets](#) and is queried and filtered to return a list of those birds reported as occurring in the 10km grid cell(s) with which your project intersects. These species have been identified as warranting special attention because they are BCC species in that area, an eagle ([Bald and Golden Eagle Protection Act](#) requirements may apply), or a species that has a particular vulnerability to offshore activities or development.

Again, the Migratory Bird Resource list includes only a subset of birds that may occur in your project area. It is not representative of all birds that may occur in your project area. To get a list of all birds potentially present in your project area, and to verify survey effort when no results present, please visit the [Rapid Avian Information Locator \(RAIL\) Tool](#).

Why are subspecies showing up on my list?

Subspecies profiles are included on the list of species present in your project area because observations in the AKN for **the species** are being detected. If the species are present, that means that the subspecies may also be present. If a subspecies shows up on your list, you may need to rely on other resources to determine if that subspecies may be present (e.g. your local FWS field office, state surveys, your own surveys).

What does IPaC use to generate the probability of presence graphs for the migratory birds potentially occurring in my specified location?

The probability of presence graphs associated with your migratory bird list are based on data provided by the [Avian Knowledge Network \(AKN\)](#). This data is derived from a growing collection of [survey, banding, and citizen science datasets](#).

Probability of presence data is continuously being updated as new and better information becomes available. To learn more about how the probability of presence graphs are produced and how to interpret them, go to the Probability of Presence Summary and then click on the "Tell me about these graphs" link.

How do I know if a bird is breeding, wintering, or migrating in my area?

To see what part of a particular bird's range your project area falls within (i.e. breeding, wintering, migrating, or resident), you may query your location using the [RAIL Tool](#) and view the range maps provided for birds in your area at the bottom of the profiles provided for each bird in your results. If a bird on your IPaC migratory bird species list has a breeding season associated with it (indicated by yellow vertical bars on the phenology graph in your "IPaC PROBABILITY OF PRESENCE SUMMARY" at the top of your results list), there may be nests present at some point within the timeframe specified. If "Breeds elsewhere" is indicated, then the bird likely does not breed in your project area.

What are the levels of concern for migratory birds?

Migratory birds delivered through IPaC fall into the following distinct categories of concern:

1. "BCC Rangewide" birds are [Birds of Conservation Concern](#) (BCC) that are of concern throughout their range anywhere within the USA (including Hawaii, the Pacific Islands, Puerto Rico, and the Virgin Islands);
2. "BCC - BCR" birds are BCCs that are of concern only in particular Bird Conservation Regions (BCRs) in the continental USA; and
3. "Non-BCC - Vulnerable" birds are not BCC species in your project area, but appear on your list either because of the [Bald and Golden Eagle Protection Act](#) requirements (for eagles) or (for non-eagles) potential susceptibilities in offshore areas from certain types of development or activities (e.g. offshore energy development or longline fishing).

Although it is important to avoid and minimize impacts to all birds, efforts should be made, in particular, to avoid and minimize impacts to the birds on this list, especially BCC species. For more information on avoidance and minimization measures you can implement to help avoid and minimize migratory bird impacts, please see the FAQ "Tell me more about avoidance and minimization measures I can implement to avoid or minimize impacts to migratory birds".

Details about birds that are potentially affected by offshore projects

For additional details about the relative occurrence and abundance of both individual bird species and groups of bird species within your project area off the Atlantic Coast, please visit the [Northeast Ocean Data Portal](#). The Portal also offers data and information about other taxa besides birds that may be helpful to you in your project review. Alternately, you may download the bird model results files underlying the portal maps through the [NOAA NCCOS Integrative Statistical Modeling and Predictive Mapping of Marine Bird Distributions and Abundance on the Atlantic Outer Continental Shelf](#) project webpage.

Proper interpretation and use of your migratory bird report

The migratory bird list generated is not a list of all birds in your project area, only a subset of birds of priority concern. To learn more about how your list is generated and see options for identifying what other birds may be in your project area, please see the FAQ "What does IPaC use to generate the migratory birds potentially occurring in my specified location". Please be aware this report provides the "probability of presence" of birds within the 10 km grid cell(s) that overlap your project; not your exact project footprint. On the graphs provided, please look carefully at the survey effort (indicated by the black vertical line) and for the existence of the "no data" indicator (a red horizontal line). A high survey effort is the key component. If the survey effort is high, then the probability of presence score can be viewed as more dependable. In contrast, a low survey effort bar or no data bar means a lack of data and, therefore, a lack of certainty about presence of the species. This list does not represent all birds present in your project area. It is simply a starting point for identifying what birds of concern have the potential to be in your project area, when they might be there, and if they might be breeding (which means nests might be present). The list and associated information help you know what to look for to confirm presence and helps guide implementation of avoidance and minimization measures to eliminate or reduce potential impacts from your project activities, should presence be confirmed. To learn more about avoidance and minimization measures, visit the FAQ "Tell me about avoidance and minimization measures I can implement to avoid or minimize impacts to migratory birds".

Interpreting the Probability of Presence Graphs

Each green bar represents the bird's relative probability of presence in the 10km grid cell(s) your project overlaps during a particular week of the year. A taller bar indicates a higher probability of species presence. The survey effort can be used to establish a level of confidence in the presence score.

How is the probability of presence score calculated? The calculation is done in three steps:

The probability of presence for each week is calculated as the number of survey events in the week where the species was detected divided by the total number of survey events for that week. For example, if in week 12 there were 20 survey events and the Spotted Towhee was found in 5 of them, the probability of presence of the Spotted Towhee in week 12 is 0.25.

To properly present the pattern of presence across the year, the relative probability of presence is calculated. This is the probability of presence divided by the maximum probability of presence across all weeks. For example, imagine the probability of presence in week 20 for the Spotted Towhee is 0.05, and that the probability of presence at week 12 (0.25) is the maximum of any week of the year. The relative probability of presence on week 12 is $0.25/0.25 = 1$; at week 20 it is $0.05/0.25 = 0.2$.

The relative probability of presence calculated in the previous step undergoes a statistical conversion so that all possible values fall between 0 and 10, inclusive. This is the probability of presence score.

Breeding Season ()

Yellow bars denote a very liberal estimate of the time-frame inside which the bird breeds across its entire range. If there are no yellow bars shown for a bird, it does not breed in your project area.

Survey Effort ()

Vertical black lines superimposed on probability of presence bars indicate the number of surveys performed for that species in the 10km grid cell(s) your project area overlaps.

No Data ()

A week is marked as having no data if there were no survey events for that week.

Survey Timeframe

Surveys from only the last 10 years are used in order to ensure delivery of currently relevant information. The exception to this is areas off the Atlantic coast, where bird returns are based on all years of available data, since data in these areas is currently much more sparse.

Marine mammals

Marine mammals are protected under the [Marine Mammal Protection Act](#). Some are also protected under the Endangered Species Act¹ and the Convention on International Trade in Endangered Species of Wild Fauna and Flora².

The responsibilities for the protection, conservation, and management of marine mammals are shared by the U.S. Fish and Wildlife Service [responsible for otters, walruses, polar bears, manatees, and dugongs] and NOAA Fisheries³ [responsible for seals, sea lions, whales, dolphins, and porpoises]. Marine mammals under the responsibility of NOAA Fisheries are **not** shown on this list; for additional information on those species please visit the [Marine Mammals](#) page of the NOAA Fisheries website.

The Marine Mammal Protection Act prohibits the take of marine mammals and further coordination may be necessary for project evaluation. Please contact the U.S. Fish and Wildlife Service Field Office shown.

1. The [Endangered Species Act](#) (ESA) of 1973.
2. The [Convention on International Trade in Endangered Species of Wild Fauna and Flora](#) (CITES) is a treaty to ensure that international trade in plants and animals does not threaten their survival in the wild.
3. [NOAA Fisheries](#), also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

The following marine mammals under the responsibility of the U.S. Fish and Wildlife Service are potentially affected by activities in this location:

NAME

West Indian Manatee *Trichechus manatus*

<https://ecos.fws.gov/ecp/species/4469>

Facilities

National Wildlife Refuge lands

Any activity proposed on lands managed by the [National Wildlife Refuge](#) system must undergo a 'Compatibility Determination' conducted by the Refuge. Please contact the individual Refuges to discuss any questions or concerns.

There are no refuge lands at this location.

Fish hatcheries

There are no fish hatcheries at this location.

Wetlands in the National Wetlands Inventory (NWI)

Impacts to [NWI wetlands](#) and other aquatic habitats may be subject to regulation under Section 404 of the Clean Water Act, or other State/Federal statutes.

For more information please contact the Regulatory Program of the local [U.S. Army Corps of Engineers District](#).

This location did not intersect any wetlands mapped by NWI.

NOTE: This initial screening does **not** replace an on-site delineation to determine whether wetlands occur. Additional information on the NWI data is provided below.

Data limitations

The Service's objective of mapping wetlands and deepwater habitats is to produce reconnaissance level information on the location, type and size of these resources. The maps are prepared from the analysis of high altitude imagery. Wetlands are identified based on vegetation, visible hydrology and geography. A margin of error is inherent in the use of imagery; thus, detailed on-the-ground inspection of any particular site may result in revision of the wetland boundaries or classification established through image analysis.

The accuracy of image interpretation depends on the quality of the imagery, the experience of the image analysts, the amount and quality of the collateral data and the amount of ground truth verification work conducted. Metadata should be consulted to determine the date of the source imagery used and any mapping problems.

Wetlands or other mapped features may have changed since the date of the imagery or field work. There may be occasional differences in polygon boundaries or classifications between the information depicted on the map and the actual conditions on site.

Data exclusions

Certain wetland habitats are excluded from the National mapping program because of the limitations of aerial imagery as the primary data source used to detect wetlands. These habitats include seagrasses or submerged aquatic vegetation that are found in the intertidal and subtidal zones of estuaries and nearshore coastal waters. Some deepwater reef communities (coral or tubercid worm reefs) have also been excluded from the inventory. These habitats, because of their depth, go undetected by aerial imagery.

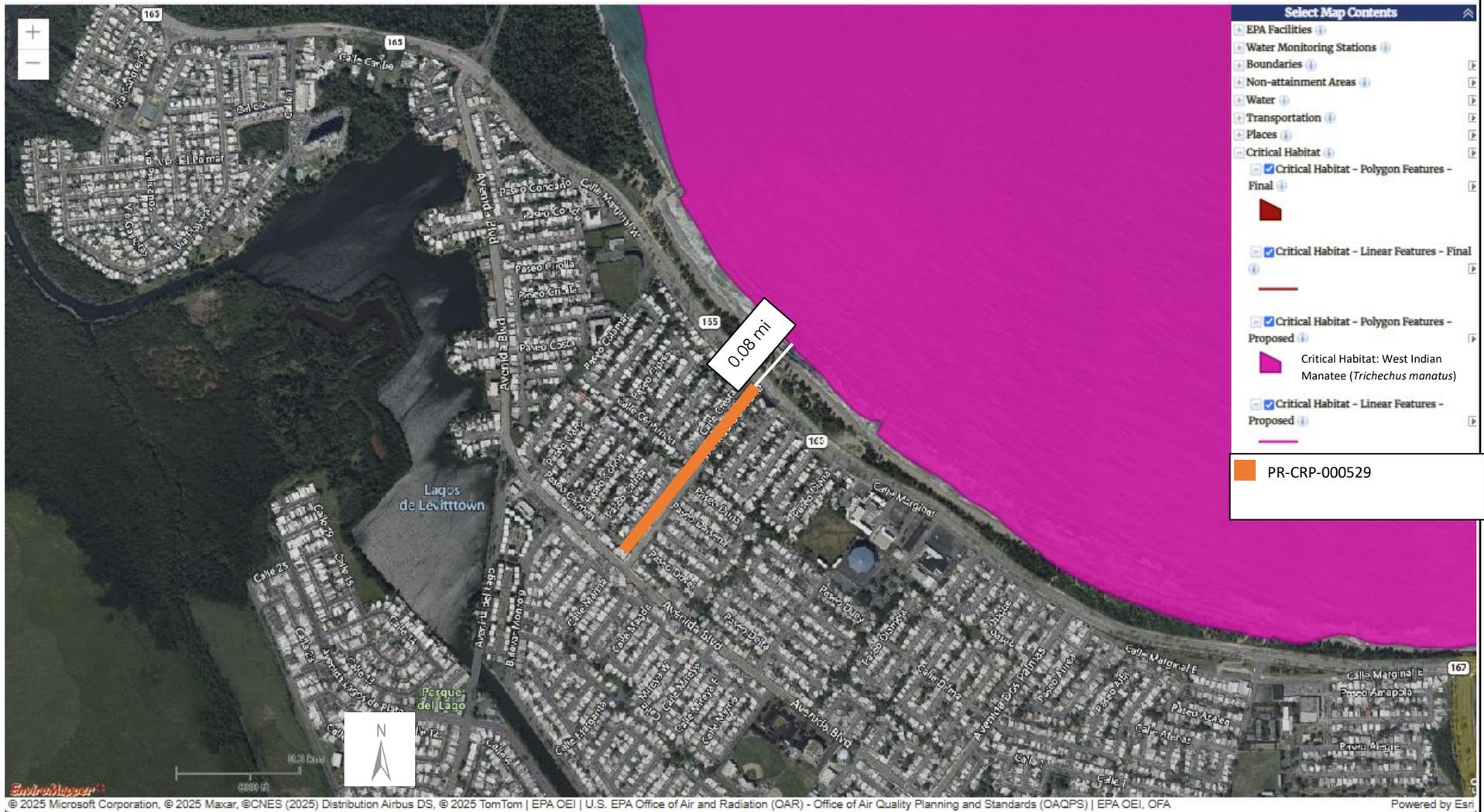
Data precautions

Federal, state, and local regulatory agencies with jurisdiction over wetlands may define and describe wetlands in a different manner than that used in this inventory. There is no attempt, in either the design or products of this inventory, to define the limits of proprietary jurisdiction of any Federal, state, or local government or to establish the geographical scope of the regulatory programs of government agencies. Persons intending to engage in activities involving modifications within or adjacent to wetland areas should seek the advice of appropriate Federal, state, or local agencies concerning specified agency regulatory programs and proprietary jurisdictions that may affect such activities.

Attachment 7.3. Critical Habitat Map

PR-CRP-001026 – Conversion of Del Valle Avenue into a Complete Street

Coord: 18.452758, -66.185152 to 18.456523, -66.182118
Address: Del Valle Avenue, Levittown, Barrio Sabana Seca, Toa Baja, PR



Source: EPA NEPAassist (Spatial Reference: GRS80), accessed at URL <https://nepassisttool.epa.gov/nepassist/nepamap.aspx>

Attachment 8. Farmlands Map

PR-CRP-001026 – Conversion of Del Valle Avenue into a Complete Street

Coord: 18.452758, -66.185152 to 18.456523, -66.182118
Address: Del Valle Avenue, Levittown, Barrio Sabana Seca, Toa Baja, PR



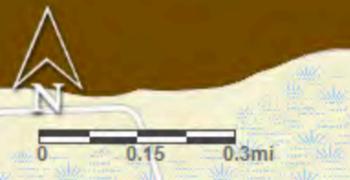
Salvar Cortina Remove

Agrícola

- Empresas Pecuarias .
- Canal de Riego .
- Reservas Agrícolas .
- Fincas Familiares ATPR .
- Propiedades ATPR .
- Estación Experimental .
- Censo Agrícola 2002 .
- Suelo Capacidad Agrícola .
- Tierras Agrícola de Primera .
- All areas are prime farmland
- Farmland of statewide importance
- Prime farmland if drained
- Prime farmland if irrigated
- Prime farmland if irrigated and reclaimed of excess salts and sodium
- Plantaciones de Café .
- Activas y Abandonadas

Información incorporada

PR-CRP-001026



Attachment 9

U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT:

8-STEP PROCESS

| | |
|--|---|
| Project number: | PR-CRP-001026 |
| Project name: | Conversión de la Avenida del Valle a una Calle Completa |
| Municipality: | Toa Baja |
| Date: | July 23, 2024 |
| <i>Decision-making process for E.O. 11988 as per 24 CFR §55.20</i> | |

Project Description:

The proposed project is located along Del Valle Avenue (from 18.456515°, -66.182151°; to 18.452712°, -66.185171°) within the Levittown Urbanization in the Sabana Seca Ward of the municipality of Toa Alta.

The proposed project (Conversión de la Avenida del Valle a una Calle Completa) will include the conversion of the existing four (4) lane road to a two (2) lane complete street that will include: a new bicycle lane and median island, parallel parking, streetscape and landscape treatment, the conversion of the 3-meter-wide sidewalks to include trees and street furniture, and a new solar lighting system. Safety measures will include crossing flat tables and accessible pedestrian signals and turning radius reduction at the intersection with PR-165 to reduce motor vehicle speed at the Del Valle Ave. Complete Streets reduce motor vehicle-related crashes and pedestrian risk, as well as bicyclist risk when well-designed bicycle-specific infrastructure is incorporated into the design. They promote walking and bicycling by providing safer conditions for cyclists and pedestrians to travel, encouraging physical activity. The design objective for this conversion is to provide a safe and agreeable street for pedestrians, cyclists and motorists, promoting the safe use of the street as an active urban connector between the commercial Boulevard street on the south and the natural amenities of the northern coast.

A Maintenance of Traffic Plan (MOT) will be implemented, and temporary control devices will be used to control vehicular traffic and provide a safe route to pedestrians during the construction phase of the project. The MOT will be prepared in compliance with the PRHTA and FHWA standards and regulations.

Erosion and sedimentation control measures will be developed specifically for the site. This may include silt fences, dust control, soil stabilization, sediment traps, stormwater inlet protection, and stabilized construction entrance. The erosion and sedimentation control measures will be implemented during the demolition and construction process to prevent sediment discharges to the storm sewer system.

The activities will occur within the existing footprint of the avenue. The objective for this conversion is to provide a safe and walkable street for the citizens and residents of the area. The project area does not serve any natural or beneficial functions with the exception of erosion control, since the area has mostly impermeable surfaces. The activity will add

recreational value to the zone by the improvement of pedestrian areas and the new bicycle lanes. This project does not involve construction of housing, and will not increase population density in the floodplain. All reconstruction and improvement of the avenue are located between two residential blocks. The entire project footprint measures approximately 2.8 acres.

Step 1: Determine whether the action is located in a 100-year floodplain (or a 500-year floodplain for critical actions) or wetland.

Part of the proposed action is located in a 100-year floodplain. The southern end part of the avenue (approximately 65%) of the proposed project is located within Zone AE (area of special flood hazard with water surface elevations determined) and the northern end of the avenue (approximately 35%) is located in Zone X (area determined to be outside the 500-year flood and protected by levee from 100-year flood), as indicated on Flood Insurance Rate Map (FIRM) Panel no. 72000C0335J, effective 18 November 2009 (see Figure 1). However, under the Advisory Base Flood Elevation (ABFE) map, the entire project site is located within Zone A which has a 1% Annual Chance Flood (ABFE map available from <https://gis-r2-fema.hub.arcgis.com/pages/puertorico>, se Figure 2).

This project does not meet any of the exceptions at 24 CFR 55.12, and therefore requires an 8-step analysis of the direct and indirect impacts associated with the construction and modification of the floodplain to comply with the EO 11988.

Since the activities will occur in developed areas, there will be no impact to wetlands. Additionally, the nearest wetland is approximately 249 feet away from the project site (see Figure 3).

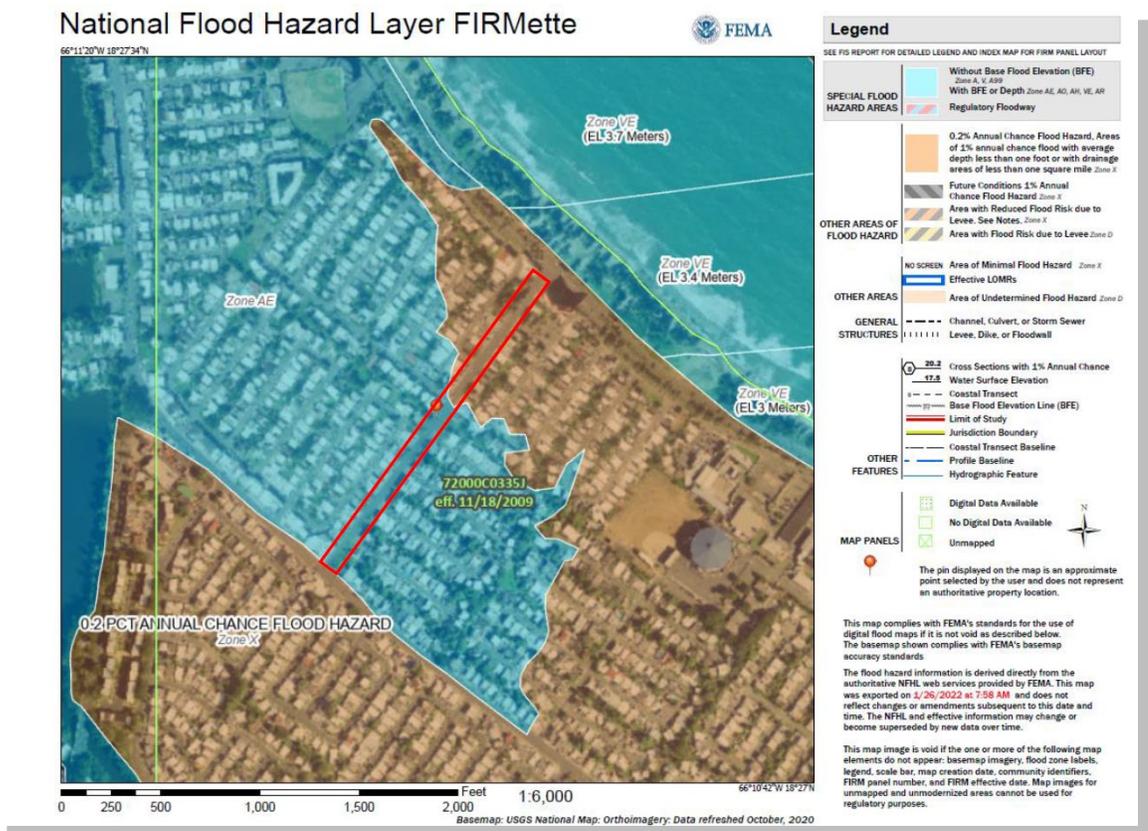


Figure 1 - FIRM

PR-CRP-001026 Toa Baja ABFE

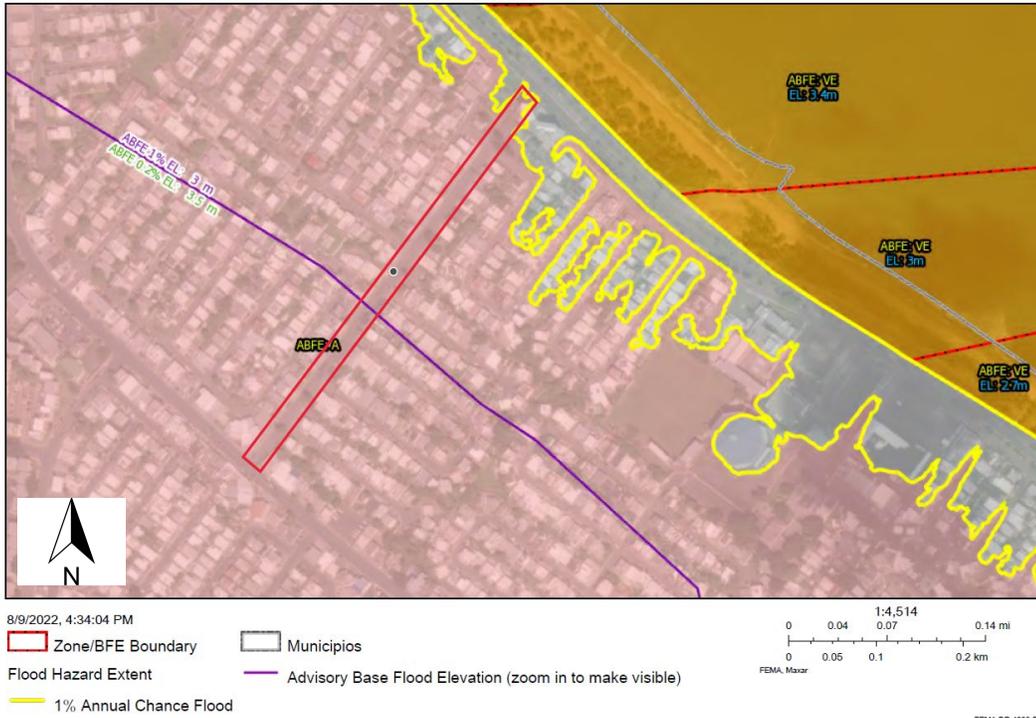


Figure 2 – ABFE

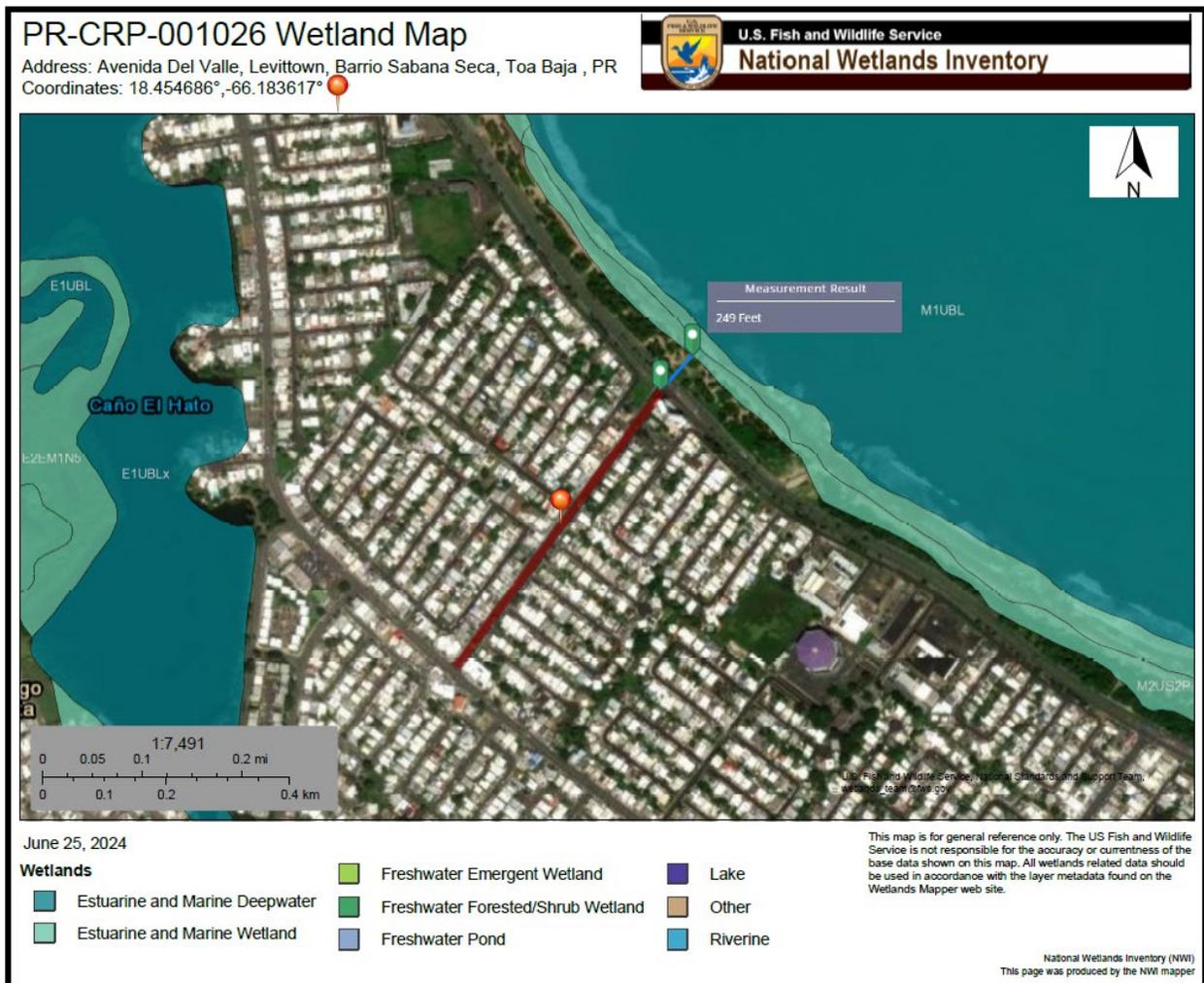


Figure 3 – Wetland map

Step 2: Notify the public for early review of the proposal and involve the affected and interested public in the decision-making process.

A public notice was published in the Primera Hora newspaper on March 18, 2024. This newspaper has circulation throughout the entire island of Puerto Rico. The ad was directed at interested agencies, groups and individuals and was published in Spanish and English. The notice also included the name, proposed location, a brief description of the activity, and the responsible entity’s contact information, which in this instance in Puerto Rico Department of Housing. The notice also included the location at which a full description of the proposed action could be viewed. A copy of the published notification is attached to this document (see Attachment 1).

The required 15 calendar days were allowed for public comment, thus the comment period ended on April 2, 2024. An additional day was reserved to allow comments to come through in the event they were sent via regular mail. At the end of the waiting period, no comments were received (see information included in Attachment 1).

Step 3: Identify and evaluate practicable alternatives.

PRDOH evaluated important criteria for the development of this project:

- (a) The project cannot cause current residents to become displaced.
- (b) The project must be within the avenue limits.
- (c) The project must comply with complete street objectives as was described in the project's Request For Proposal (RFP);
- (d) The project must allow access to all properties with existing access.
- (e) Must be in a centralized area of the municipality (this is part of the requirements for the City Revitalization Program as per <https://cdbg-dr.pr.gov/en/city-revitalization/>)
- (f) Must be accessible to low- and moderate-income (LMI) residents.

In the evaluation of alternatives, the following were considered:

A. Locations outside and not affecting the 100-yr floodplain

Locating outside the floodplain will imply that the proposed project area, which is currently in use by local for recreation purposes, will not be upgraded and provided with safety features that are needed, including lighting and adequate walkway/cycling space. Also, locating outside the floodplain may imply limited access to LMI citizens that live in the neighborhoods near the project location.

B. Locate the project within the floodplain

The site is already located within the floodplain, as are many of the northern areas of the Toa Baja municipality. This site is convenient for the Levittown Community and is seen as an attractive asset for the residents as well as the visitors. There are also commercial, health services, tourist activity and recreational areas within walking distance of the proposed project site.

C. No Action or Alternative Actions that Serve the Same Purpose

A no action alternative was considered and rejected because the municipality wanted to provide a purposeful use and enhance the area for the enjoyment and safety of its citizens. Also, this project adequately meets the City Revitalization Program's goals, which include revitalizing exiting urban areas.

This site does not displace residents and also meets the community's needs of better roads, sidewalks, bicycle lanes and green areas. The project proposed will not cause damage to the floodplain or its natural functions, on the contrary, there is less area to be repaved and more permeable surfaces with the additional green landscape. The project area does not serve any natural or beneficial functions apart from erosion control, since the area has mostly impermeable surfaces. The activity will add recreational value to the area by the improvement of pedestrian areas and the creation of new bicycle lanes.

There were no more possible alternatives for this project, Del Valle Avenue presents the most practical avenue to convert into a complete street considering its location, minimum impact on adjacent property, and natural mix of commercial activity, health services, residential area, and recreational activities occurring along the avenue.

Step 4: *Identify Potential Direct and Indirect Impacts of Associated with Floodplain Development.*

Locating the project at Del Valle Avenue will have minimum impacts to the floodplain because overall, there will not be significant changes in the geometry or existing elevations of the street. The design will also minimize potential damage to adjacent properties due to flooding. The area has experienced some flooding in the past but never above the proposed elevation. The improvements will be located within the existing avenue limits in the floodplain. Wetland impacts will also be avoided with this option since no wetlands have been identified within the project's footprint. The nearest wetland is located approximately 249 feet from the project site.

The highest priority of this review is to prevent the loss of life. The project does not propose new housing and therefore will not increase residential density. This project will not increase the amount of time it would take to safely evacuate people from the area. The avenue conversion to a complete street allows for pedestrians as well as vehicles to transit in a safe manner. Therefore, in the event of a flood, there will be no potential threat to life as a result of the proposed actions.

In addition to concerns for life and property, PRDOH considered the natural and beneficial values of the floodplain. The natural resources of the floodplain include water, biological, and societal resources.

Impact to water resources will be minimal as all areas will be provided with elements that allow percolation and limit erosion. Landscaping practices will be implemented using, whenever possible, native vegetation that is resilient to climate events. The design of the individual actions has been managed so that natural flood and erosion control, water quality, and groundwater recharge are maintained. Thus, the proposed action will have minimal effects on water resources.

Based on the evaluation of US Fish and Wildlife Service data, it has been determined that the conversion of the avenue will have no quantifiable impact on plant and animal life. Only native plants are to be used in the floodplain and on the site.

Societal resources were also considered during the design process. The designs are meant to complement the natural features of the area and to offer a safe and aesthetically pleasing urban landscape. The site will not have an effect on agricultural lands and efforts have been made to preserve existing trees on the site. The site will also add a bicycle lane for recreational opportunities.

The project will benefit the local economy by making the area more attractive and safer for pedestrians and cyclists, who may be more likely to patronize the businesses in the area. It

will also stimulate the local economy by providing a safe and accessible connection between the commercial Boulevard Street on the south and the natural amenities of the northern coast. Finally, the project will also provide a more organized traffic flow and parking areas that will also benefit accessibility to businesses in the area.

All the activities will be developed within the public right-of-way and no acquisition or property leases will be required. Therefore, there will be no additional cost due to land acquisition or land ownership concerns.

Step 5: *Where practicable, design or modify the proposed action to minimize the potential adverse impacts to lives, property, and natural values within the floodplain and to restore, and preserve the values of the floodplain.*

- (a) **Preserving Lives:** As stated previously, the proposed action will not increase the population density in the area. Thus, in the event of a flood, there is minimal threat to life. In order to preserve lives, local law enforcement and the emergency broadcast system will implement an early warning system should flooding conditions arise. In addition to the warning system, law enforcement has an emergency evacuation and relocation plan. The project also intends to reduce motor vehicle-related crashes and pedestrian risk, as well as bicyclist risk with well-designed bicycle-specific infrastructure. To provide a safety zone for pedestrians and cyclists and reduce the speed on the road, elevated pedestrian crossings will be proposed. These crossings will consist of the construction of a concrete bump with a level segment to allow pedestrians to cross from one side of the road to the other at the same level as the sidewalks.
- (b) **Preserving Property:** Due to the characteristics of the project and the requirement to be exposed to and handle climate events, there is no need to floodproof, elevate or obtain insurance for the elements of the project. Resiliency will be built into the project elements so that they can withstand weather events. Structures adjacent to the project are not expected to experience adverse effects due to the realization of the project, since the stormwater management infrastructure in the area will remain unchanged, except for the adjustments to fit the new geometry.
- (c) **Preserving Natural Values and Minimizing Impacts:** The site design chosen as an alternative at Step 3 reduced floodplain impacts and prevents new construction from occurring in the floodplain. By converting the avenue into a complete street, adding greener surface with provisions for draining, and using pervious surfaces throughout the site, the construction will have minimal effects on water resources. Impacts to the floodplain will also be limited due to construction occurring within the previously developed site and erosion control measures will be implemented during construction activities. In addition to minimizing impervious surfaces in the floodplain, the floodplain was preserved through the same elevation and positioning of the street. Green inlet will be introduced using native vegetation. These actions will serve to both restore habitat on site while also preserving non-impacted areas to minimize effects.
- (d) **Restore and Preserve the values of the floodplain:** While the proposed action will not restore floodplain values, the design intends to preserve floodplain values. This will

be in part achieved via renovation and utilization of existing facilities, which will limit the need to create impermeable surfaces. The design does not include new structures that may limit floodwater movement. Also, the design seeks to maximize water percolation by establishing permeable surfaces and enhancing existing vegetation with new landscaping. The area's topography patterns will remain the same.

Step 6: *Reevaluate the Alternatives.*

There were no practicable alternatives for this project. Del Valle Avenue presents the most practical avenue to convert into a complete street considering its location, minimum impact on adjacent property, natural mix of commercial activity, health services, residential area and recreational activities occurring along the avenue.

Although the project is in a floodplain, the project will be adapted to preserve floodplain values such as floodwater conveyance, groundwater recharge, erosion control, and habitat for flora and fauna. The project's scope avoids impact to riverine or wetland areas. The alternative will also maintain current stormwater conveyance via existing contours and provide percolation. Additionally, the action does not present an increased risk to human life because it does not involve an increase in population density such as that of a housing project.

As such, the proposed project is not expected to aggravate the current hazards to other floodplains or disrupt floodplain values. Mitigation measures, such as tree replanting, if applicable, and erosion and sedimentation control measures to prevent adverse effects from the project in the receiving waters, will be implemented during the project construction.

A no action alternative was rejected because it will not improve citizens livelihood by providing areas of recreation and leisure that are safe and accessible.

Step 7: *Determination of No Practicable Alternative*

It is PRDOH's determination that there is no practicable alternative for a complete street in another location. This is due to: 1) the need to provide a safe street in an already proliferating multiuse avenue within the Levittown Community; 2) the bond requirements to construct within city limits; 3) the desire to not displace residents; 4) the need to construct an economically feasible project; 5) the site's access to public transportation and schools; and 6) the ability to mitigate and minimize impacts on human health, public property, and floodplain values.

A final notice was published and posted in *Primera Hora*, consistent with the prior notice on May 1, 2024. The notice explains the reasons why the modified project must be located in the floodplain and describes all mitigation measures at Step 5 taken to minimize adverse impacts and preserve natural and beneficial floodplain values. The notice is attached to this document. No concerns were expressed by the public concerning this notice. (see Attachment 2).

Step 8: *Implement the Proposed Action*

The city will ensure that this plan, as modified and described above, is executed and necessary language will be included in all agreements with participating parties. The city will also take an active role in monitoring the construction process to ensure no unnecessary impacts occur nor unnecessary risks are taken.

Attachment 1 – Step 2 Publication documents

avisos y subastas



GOBIERNO DE PUERTO RICO
DEPARTAMENTO DE ESTADO

AVISO DE REGLAMENTOS

Número 9538 - REGLA NUM. 107 DEL REGLAMENTO DEL CÓDIGO DE SEGUROS DE PUERTO RICO. "NORMAS PARA EL FINANCIAMIENTO RESERVA DE LAS PÓLIZAS DE VIDA A TERMING Y DE VIDA UNIVERSAL". Radicado el 4 de marzo de 2024, por la Oficina de del Comisionado de Seguros de Puerto Rico. Para establecer las normas que regirán los acuerdos de financiamiento de las reservas de las pólizas de seguro de vida que contienen primas brutas o beneficios no nivelados garantizados ("guaranteed nonlevel gross premiums guaranteed nonlevel benefits"); y pólizas de seguros de vida universal con garantías secundarias ("secondary guarantees"); y para asegurar que, con respecto a cada acuerdo de financiamiento, los aseguradores cedentes tengan reservados o estén reservados a su nombre, los fondos de la "Garantía Primaria" y "Otras Garantías" necesarias. Mediante esta Regla se asegura que los activos que respaldan las reservas estén en la forma y cantidad requeridas. Esta regulación compone uno de varios requisitos regulatorios que un asegurador debe cumplir para utilizar una transacción de reaseguro cautivo para abordar los requisitos de reservas excesivos percibidos. La fecha de vigencia es 3 de abril de 2024.

Número 9539 - REGLAMENTO SOBRE LA DISTRIBUCIÓN, PARTICIPACIÓN Y USO DEL FONDO DE TRANSPORTACIÓN Y OTROS MECANISMOS DE MOVILIZACIÓN DE ELECTORES. Radicado el 6 de marzo de 2024, por la Oficina del Contralor Electoral. Esta radicación se hace en cumplimiento con el Artículo 3.003A (dd) de la Ley Orgánica de la Oficina del Contralor Electoral, Ley 222-2011, según enmendada (en adelante "Ley 222"), que requiere la presentación de los reglamentos de aplicación general en el Departamento de Estado para su publicidad. Dicho Artículo, además expresamente exige a la Oficina del Contralor Electoral de la aplicación de la Ley de Procedimiento Administrativo Uniforme. 1 Los requisitos dispuestos en el Reglamento Núm. 5281, según enmendado, conocido como "Reglamento para la Radicación y Publicación en el Departamento de Estado, de acuerdo con la Ley de Procedimiento Administrativo Uniforme del Estado Libre Asociado de Puerto Rico"; no le son de aplicación a las radificaciones de reglamentos que realiza la Oficina del Contralor Electoral en virtud de la disposición legal expresa incluida en la Ley 222, Artículo 3.003(A) y 12.004. La fecha de vigencia es 5 de abril de 2024.

NÚMERO 9540 - Reglamento de procedimientos adjudicativos y multas de la Oficina del Procurador de las Personas de Edad Avanzada. Radicado el 11 de marzo de 2024, por la Oficina del Procurador de las Personas de Edad Avanzada del Estado Libre Asociado de Puerto Rico. La reglamentación regirá los procedimientos adjudicativos, la imposición de multas y sanciones administrativas, acciones correctivas y cualquier otro remedio disponible en ley bajo la jurisdicción de la OPPEA, y se promulga con el propósito de establecer los parámetros procesales para imponer y cobrar multas, y adjudicar controversias en el Foro Adjudicativo de OPPEA. El reglamento propuesto deroga los reglamentos: Núm. 8976 de 19 de julio de 2017, Reglamento de Procedimientos Adjudicativos; Núm. 8975 de 19 de julio de 2017, Regulations for Awarding Proceedings; Núm. 8978 de 19 de julio de 2017 - Reglamento para la Imposición de Multas y Sanciones, y Núm. 8977 de 19 de julio de 2017 - Regulations for the imposition of fines and sanctions from the office of the ombudsman for edery people. La vigencia es 10 de abril de 2024

"Autorizado por la Oficina del Contralor Electoral
OCE-SA-2023-00475"

Aprobado por:

Omar J. Marrero Díaz
Secretario de Estado

aviso público

**Aviso Preliminar y Revisión Pública de una Actividad
Propuesta en un valle inundable de 100 años**

Conversion of Del Valle Avenue into a Complete Street
PR-CRP-001026

Para: Todas las partes interesadas, grupos e individuos

Este aviso notifica que el Departamento de la Vivienda de Puerto Rico (Vivienda, en adelante) ha determinado que la siguiente acción propuesta bajo el Programa de Revitalización de la Ciudad, Subvención en Bloque para el Desarrollo Comunitario - Recuperación ante Desastres (CDBG-DR), número de subvención B-17-DM-72-0001 y B-18-DP-72-0001 y B-19-DP-78-0002, se encuentra en un valle inundable de 100 años. Vivienda estará evaluando e identificando alternativas prácticas para realizar la acción propuesta y el impacto potencial en el valle inundable debido a la acción propuesta, según establecido por la Orden Ejecutiva 11988, de acuerdo con las regulaciones de HUD en 24 CFR 55.20 Subparte C - Procedimientos para tomar determinaciones sobre el manejo de llanuras aluviales y la protección de humedales. El proyecto propuesto, **PR-CRP-001026**, está localizado en la avenida Del Valle, barrio Sabana Seca, Levittown, Toa Baja, PR 00949; coordenadas desde 18.456515, -66.182151 hasta 18.452712, -66.185171. El proyecto consiste en la conversión de la avenida Del Valle el cual contempla organizar la vía para establecer dos (2) carriles vehiculares, un carril exclusivo para ciclistas, estacionamiento paralelo, aceras anchas y elevadas con rampas de acceso, árboles y mobiliario urbano, iluminación con energía solar, y señalización. Las actividades se mantienen dentro de la superficie existente de la avenida. El objetivo de esta conversión es proporcionar una calle segura y transitable para los ciudadanos y residentes de la zona. La actividad añadirá valores recreativos a la zona mediante la mejora de áreas peatonales y los nuevos carriles para bicicletas. La actividad propuesta tiene una huella total de 2.8 acres (11,331.20 metros cuadrados) y está situada en un valle inundable de 100 años, zona de inundación A. El área del proyecto se encuentra en el mapa de niveles de inundación base (ABFE, por sus siglas en inglés), como se indica en el Nivel de Inundación Base Recomendado de FEMA Puerto Rico en Puerto Rico Advisory Base Flood Elevations (ABFE's) | FEMA Region II Hub (arcgis.com).

Este aviso tiene tres propósitos principales. En primer lugar, las personas que puedan verse afectadas por las actividades en el valle inundable y aquellos que tengan interés en la protección del ambiente natural deben tener la oportunidad de expresar sus inquietudes y proveer información sobre estas áreas. Se exhorta a la comunidad a ofrecer ubicaciones alternas fuera del valle inundable, métodos alternos para cumplir el mismo propósito del proyecto y métodos para minimizar y mitigar los impactos. Segundo, un programa adecuado de avisos públicos puede ser una herramienta importante para la educación pública. La divulgación de información sobre los valles inundables puede facilitar y mejorar los esfuerzos federales por reducir los riesgos e impactos asociados con la ocupación y alteración de estas zonas especiales. Tercero, como materia de justicia, cuando el gobierno federal determine participar en acciones ubicadas en el valle inundable, debe informárselo a quienes puedan ser expuestos a un riesgo mayor o similar al presente.

Vivienda considerará todos los comentarios recibidos en o antes de 2 de abril de 2024. Pueden enviar los comentarios de forma impresa a la siguiente dirección: Departamento de la Vivienda de Puerto Rico, edificio Juan C. Cordero Dávila, 606 avenida Barbosa, Río Piedras, PR 00918-8461, Atención: Santa D. Ramírez-Lebrón, Especialista en Permisos y Cumplimiento Ambiental. Una descripción completa del proyecto está disponible al público para revisión de 8:30 a.m. a 4:00 p.m. en el Departamento de la Vivienda de Puerto Rico, edificio Juan C. Cordero Dávila, 606 avenida Barbosa, Río Piedras, PR 00918. El número para obtener información es (787)274-2527 ext. 4320. Como alternativa, también pueden enviar los comentarios a Vivienda por medio electrónico a environmentcdbg@vivienda.pr.gov.

Fecha: 18 de marzo de 2024

Lcdo. William O. Rodríguez Rodríguez
Secretario del Departamento de la Vivienda

Autorizado por la Oficina del Contralor
Electoral OCE-SA-2023-00076

public notice

**Early Notice and Public Review of a Proposed
Activity in a 100-Year Floodplain**

Conversion of Del Valle Avenue into a Complete Street
PR-CRP-001026

To: All Interested Parties, Groups & Individuals

This is to give notice that the Puerto Rico Department of Housing (PRDOH) has determined that the following proposed action under the City Revitalization Program, Community Development Block Grant - Disaster Recovery (CDBG-DR), Grant number B-17-DM-72-0001, B-18-DP-72-0001 and B-19-DP-78-0002, is located in a 100-year floodplain. PRDOH will be identifying and evaluating practicable alternatives to locating the action in the floodplain and the potential impacts on the floodplain from the proposed action, as required by Executive Order 11988, in accordance with HUD regulations at 24 CFR 55.20 Subpart C - Procedures for Making Determinations on Floodplain Management and Protection of Wetlands. The proposed project, **PR-CRP-001026**, is located at Del Valle Avenue, Sabana Seca Ward, Levittown, Toa Baja, PR 00949; coordinates from 18.456515, -66.182151 to 18.452712, -66.185171. The project consists in the conversion of Del Valle Avenue which contemplates road organization to establish two (2) vehicular lanes, an exclusive lane for cyclists, parallel parking, wide and elevated sidewalks with access ramps, trees and urban furniture, solar-powered lighting, and signage. The activities will occur within the existing surface of the avenue. The objective for this conversion is to provide a safe and walkable street for the citizens and residents of the area. The activity will add recreational value to the zone by the improvement of pedestrian areas and the new bicycle lanes. The proposed activity will have a total footprint of 2.8 acres (11,331.20 square meters), which is situated in a 100-year floodplain, zone A. The floodplain in the project area can be found at the Advisory Base Flood Elevation Map (ABFE), as indicated on the FEMA Advisory Base Flood Elevation for Puerto Rico at Puerto Rico Advisory Base Flood Elevations (ABFE's) | FEMA Region II Hub (arcgis.com).

There are three primary purposes for this notice. First, people who may be affected by activities in the floodplain and those who have an interest in the protection of the natural environment should be given an opportunity to express their concerns and provide information about these areas. Commenters are encouraged to offer alternative sites outside of the floodplain, alternative methods to serve the same project purpose, and methods to minimize and mitigate impacts. Second, an adequate public notice program can be an important public educational tool. The dissemination of information and request for public comment about the floodplains can facilitate and enhance Federal efforts to reduce the risks and impacts associated with the occupancy and modification of these special areas. Third, as a matter of fairness, when the Federal government determines it will participate in actions taking place in the floodplain, it must inform those who may be put at greater or continued risk.

PRDOH will consider all comments received on or before April 2, 2024. Written comments can be sent to the following address: Puerto Rico Department of Housing, 606 Barbosa Avenue, Juan C. Cordero Dávila Building, Río Piedras, PR 00918-8461, Attention: Santa D. Ramírez-Lebrón, Permits and Environmental Compliance Specialist. A complete description of the project is available to the public for review from 8:30 am to 4:00 pm at the Puerto Rico Department of Housing, 606 Barbosa Avenue, Juan C. Cordero Dávila Building, Río Piedras, PR 00918. The number to get information is (787)274-2527 ext. 4320. In the alternative, comments may also be sent to PRDOH by email at environmentcdbg@vivienda.pr.gov.

Date: March 18, 2024

William O. Rodríguez Rodríguez, Esq.
Secretary of the Department of Housing

Autorizado by the Office of the Electoral
Comptroller OCE-SA-2023-00076

Andrea Curbelo-Marty

From: environmentcdbg <environmentcdbg@vivienda.pr.gov>
Sent: Monday, March 18, 2024 3:45 PM
To: Jose.A.CedenoMaldonado@hud.gov; Mahon, Donna M; Caribbean_es@fws.gov; Tawes, Robert; Rodriguez.elias@epa.gov; Guerrero.carmen@epa.gov; PublicMail.CESAJ-CC@usace.army.mil; Rich.Okulski@noaa.gov; Noah.Silverman@noaa.gov; nmfs.ser.esa.consultations@noaa.gov; FEMA-R4EHP@fema.dhs.gov; carubio@prshpo.pr.gov; comunicaciones@ddec.pr.gov; secretario@ddec.pr.gov; jannira.colon@ddec.pr.gov; Rivera_r1@jp.pr.gov; comentarios@jp.pr.gov; pmzc@drna.pr.gov; eortega@drna.pr.gov; ayudaciudadano@drna.pr.gov; anais.rodriguez@drna.pr.gov
Subject: Public Notice – Early Notice and Public Review of a Proposed Activity in a 100-Year Floodplain_PRDOH Case PR-CRP-001026
Attachments: Early Notice_Primer Hora_PR-CRP-001026.pdf

Concerned agencies,

Enclosed please find a **Public Notice – Early Notice and Public Review of a Proposed Activity in a 100-Year Floodplain** the Puerto Rico Department of Housing (as the Responsible Entity) published as part of HUD's requirements for the release of CDBG-DR funds to undertake the project Conversion of Del Valle Avenue into a Complete Street (PR-CRP-001026). The Early Notice was published in the *Primera Hora* newspaper of Puerto Rico on March 18, 2024.

Respectfully,

Permits and Environmental Compliance Division

Disaster Recovery Office

environmentcdbg@vivienda.pr.gov | 787.274.2527

Visit us: recuperacion.pr.gov

Contact us: infocdbg@vivienda.pr.gov

DEPARTAMENTO DE LA
VIVIENDA



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Validation Letter

April 4, 2024

To whom it may concern,

This letter is to validate that no comments were received in the Permits and Environmental Compliance Division e-mail: environmentcdbg@vivienda.pr.gov, for the project **Conversion of Del Valle Avenue into a Complete Street (PR-CRP-001026)**, as part of the CDBG-DR City Revitalization Program. The Early Notice and Public Review of a Proposed Activity in a 100-Year Floodplain was published in the *Primera Hora* newspaper of Puerto Rico on March 18, 2024, with a comment period that concluded on April 2, 2024.

Cordially,

Permits and Environmental Compliance Division
Disaster Recovery Office
environmentcdbg@vivienda.pr.gov | 787.274.2527 ext. 4320

Andrea Curbelo-Marty

From: Kenneth M. Garcia-De Leon
Sent: Thursday, April 4, 2024 9:33 AM
To: environmentcdbg
Subject: RE: Comentarios - Aviso Preliminar PR-CRP-001026

Saludos:

Por correo postal no llegaron comentarios para mencionado proyecto.

Atentamente,

Kenneth M. García De León

Especialista en Control de Documentos / Operaciones

Oficina Recuperación de Desastres

kgarcia@vivienda.pr.gov | 787.274.2527 Ext. 4013

Visítanos: recuperacion.pr.gov

Contactanos: infocdbg@vivienda.pr.gov

DEPARTAMENTO DE LA
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From: environmentcdbg <environmentcdbg@vivienda.pr.gov>
Sent: Thursday, April 4, 2024 8:59 AM
To: Kenneth M. Garcia-De Leon <kgarcia@vivienda.pr.gov>
Subject: Comentarios - Aviso Preliminar PR-CRP-001026

Saludos Kenneth,

Con respecto a la publicación del Aviso Preliminar y Revisión Pública de una Actividad Propuesta en un valle inundable de 100 años (Paso 2) para el proyecto **Conversion of Del Valle Avenue into a Complete Street (PR-CRP-001026)**, ¿habrá llegado algún comentario a través del correo postal? De ser así, por favor nos lo hace llegar.

Cordialmente,

Permits and Environmental Compliance Division

Disaster Recovery Office

environmentcdbg@vivienda.pr.gov | 787.274.2527

Visit us: recuperacion.pr.gov

Contact us: infocdbg@vivienda.pr.gov

DEPARTAMENTO DE LA
VIVIENDA

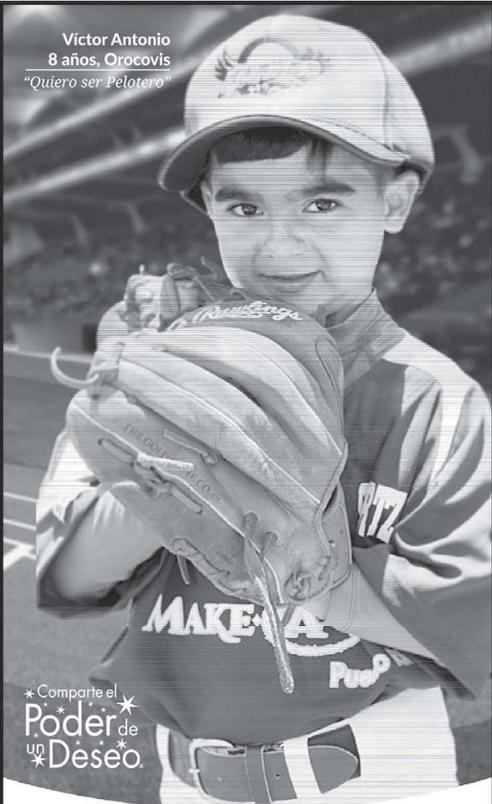


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Attachment 2 – Step 7 Publication documents

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fdelgado@pr.wish.org

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aviso público

Aviso Final y Explicación Pública de una Actividad Propuesta en un valle inundable de 100 años

Conversión de la Avenida del Valle a una Calle Completa
PR-CPR-001026

Para: Todas las partes interesadas, grupos e individuos

Este aviso notifica que el Departamento de la Vivienda de Puerto Rico (Vivienda, en adelante) completó una evaluación según establece la Orden Ejecutiva 11988, de acuerdo con los reglamentos de HUD en 24 CFR 55.20 Subparte C - Procedimientos para hacer determinaciones sobre el manejo del valle inundable y la protección de humedales. La actividad está subvencionada con fondos del Programa de Revitalización de la Ciudad, Subvención en Bloque para el Desarrollo Comunitario - Recuperación ante Desastres (CDBG-DR), número de subvención B-17-DM-72-0001, B-18-DP-72-0001 y B-19-DP-78-0002. El proyecto propuesto, **PR-CRP-001026**, está localizado en la avenida del Valle, barrio Sabana Seca, Levittown, Toa Baja, PR 00949; coordenadas desde 18.456515, -66.182151 hasta 18.452712, -66.185171. El proyecto consiste en la conversión de la avenida del Valle, el cual contempla organizar la vía para establecer dos (2) carriles vehiculares, un carril exclusivo para ciclistas, estacionamiento paralelo, aceras anchas y aceras elevadas con rampas de acceso, árboles y mobiliario urbano, iluminación con energía solar, y señalización. Los trabajos se mantienen dentro de la superficie existente de la avenida. El objetivo de esta conversión es proporcionar una calle segura y transitable para los ciudadanos y residentes de la zona. La actividad añadirá valores recreativos a la zona mediante la mejora de las áreas peatonales y los nuevos carriles para bicicletas. La actividad propuesta tendrá una huella total de 2.8 acres (11,331.20 metros cuadrados), que están situados en un valle inundable de 100 años, zona de inundación A. El área del proyecto se encuentra en el mapa de niveles de inundación base (ABFE, por sus siglas en inglés), como se indica en el Nivel de Inundación Base Recomendado de FEMA para Puerto Rico en Puerto Rico Advisory Base Flood Elevations (ABFE's) | FEMA Region II Hub [argcis.com]. El área que se encuentra en el valle inundable ha sido previamente desarrollada y está ocupada por la calle que impactará el proyecto y las estructuras existentes.

Vivienda ha considerado las siguientes alternativas y medidas de mitigación para minimizar los impactos adversos y restaurar y preservar los valores naturales y beneficiosos: (1) ubicar el proyecto dentro del valle inundable, (2) ubicar el proyecto fuera del valle inundable, y (3) no tomar ninguna acción. Las alternativas 2 y 3 no son factibles ya que el proyecto es necesario para proporcionar una intersección más segura y eficiente. La alternativa 1 se considera una opción viable ya que proporciona una calle segura y agradable para peatones, ciclistas y automovilistas, promoviendo el uso seguro de la calle como conector urbano activo entre la avenida comercial Boulevard en el sur y las amenidades naturales de la costa norte. Además de las preocupaciones por la vida y la propiedad, se consideraron los valores naturales y beneficiosos de los valles inundables.

Vivienda reevaluó las alternativas para construir en el valle inundable y determinó que no cuenta con alternativas prácticas. La documentación ambiental que evidencia el cumplimiento de los pasos 3 a 6 de la Orden Ejecutiva 11988, está disponible para inspección, revisión y reproducción de parte del público, de ser solicitado, en el horario y lugar indicado en el último párrafo sobre recibo de comentarios de este aviso.

Este aviso tiene tres propósitos principales. Primero, las personas que pueden verse afectadas por actividades en el valle inundable y aquellos que tengan interés en la protección del ambiente natural deben recibir la oportunidad de expresar sus inquietudes y proveer información sobre estas áreas. Segundo, un programa adecuado de avisos públicos puede ser una importante herramienta de educación pública. La divulgación de información y solicitud de comentarios sobre el valle inundable puede facilitar y mejorar los esfuerzos federales para reducir los riesgos e impactos asociados con la ocupación y alteración de estas áreas especiales. Tercero, como materia de justicia, cuando el gobierno federal determine participar en acciones ubicadas en el valle inundable, debe informárselo a quienes puedan ser expuestos a un riesgo mayor o similar al presente.

Vivienda considerará todos los comentarios recibidos en o antes del 8 de mayo de 2024. Pueden enviar los comentarios de forma impresa a la siguiente dirección: Departamento de la Vivienda de Puerto Rico, edificio Juan C. Cordero Dávila, 606 avenida Barbosa, Río Piedras, PR 00918-8461, Atención: Santa D. Ramírez-Lebrón, Especialista en Permisos y Cumplimiento Ambiental. Una descripción completa del proyecto está disponible al público para revisión de 8:30 a.m. a 4:00 p.m. en el Departamento de la Vivienda de Puerto Rico, edificio Juan C. Cordero Dávila, 606 avenida Barbosa, Río Piedras, PR 00918. El número para obtener información es (787)274-2527 ext. 4320. Como alternativa, también pueden enviar los comentarios a Vivienda por medio electrónico a environmentcdbg@vivienda.pr.gov.

Fecha: 1 de mayo de 2024

Lcdo. William O. Rodríguez Rodríguez
Secretario del Departamento de la Vivienda

Autorizado por la Oficina del Contralor
Electoral OCE-SA-2023-00076

public notice

Final Notice and Public Explanation of a Proposed Activity in a 100-Year Floodplain

Conversión de la Avenida del Valle a una Calle Completa
PR-CPR-001026

To: All Interested Parties, Groups & Individuals

This is to give notice that the Puerto Rico Department of Housing (PRDOH) has conducted an evaluation as required by the Executive Order 11988, in accordance with HUD regulations at 24 CFR 55.20 Subpart C - Procedures for Making Determinations on Floodplain Management and Wetlands Protection. The activity is funded under the City Revitalization Program, Community Development Block Grant - Disaster Recovery (CDBG-DR), Grant number B-17-DM-72-0001, B-18-DP-72-0001 and B-19-DP-78-0002. The proposed project, **PR-CRP-001026**, is located at del Valle Avenue, Sabana Seca Ward, Levittown, Toa Baja, PR 00949; coordinates from 18.456515, -66.182151 to 18.452712, -66.185171. The project consists in the conversion of del Valle Avenue, which contemplates road organization to establish two (2) vehicular lanes, an exclusive lane for cyclists, parallel parking, wide sidewalks and elevated sidewalks with access ramps, trees and urban furniture, solar-powered lighting, and signage. The activities will occur within the existing surface of the avenue. The objective for this conversion is to provide a safe and walkable street for the citizens and residents of the area. The activity will add recreational value to the zone by the improvement of pedestrian areas and the new bicycle lanes. The proposed activity will have a total footprint of 2.8 acres (11,331.20 square meters), which are situated in a 100-year floodplain, flood zone A. The floodplain in the project area can be found at the Advisory Base Flood Elevation Map (ABFE), as indicated on the FEMA Advisory Base Flood Elevation for Puerto Rico at Puerto Rico Advisory Base Flood Elevations (ABFE's) | FEMA Region II Hub [argcis.com]. The area that lies in the floodplain has been previously developed, and it's occupied by the street the project will impact, and existing structures.

PRDOH has considered the following alternatives and mitigation measures to be taken to minimize adverse impacts and to restore and preserve natural and beneficial values: (1) locate the project within the floodplain, (2) locate the project outside of the floodplain, and (3) take no action. Alternatives 2 and 3 are not feasible as the project is necessary to provide a safer and more efficient intersection. Alternative 1 is considered a viable option since it provides a safe and agreeable street for pedestrians, cyclists and motorists, promoting the safe use of the street as an active urban connector between the commercial Boulevard Avenue on the south and the natural amenities of the northern coast. In addition to concerns for life and property, the natural and beneficial values of the floodplains were considered.

PRDOH has reevaluated the alternatives to building in the floodplain and has determined that it has no practicable alternative. Environmental files that document compliance with steps 3 through 6 of 24 Executive Order 11988 are available for public inspection, review and copying upon request at the times and location delineated in the last paragraph of this notice for receipt of comments.

There are three primary purposes for this notice. First, people who may be affected by activities in the floodplain and those who have an interest in the protection of the natural environment should be given an opportunity to express their concerns and provide information about these areas. Second, an adequate public notice program can be an important public education tool. The dissemination of information and request for public comment about the floodplain can facilitate and enhance Federal efforts to reduce the risks and impacts associated with the occupancy and modification of these special areas. Third, as a matter of fairness, when the Federal government determines it will participate in actions taking place in the floodplain, it must inform those who may be put at greater or continued risk.

PRDOH will consider all comments received on or before May 8, 2024. Written comments can be sent to the following address: Puerto Rico Department of Housing, 606 Barbosa Avenue, Juan C. Cordero Dávila Building, Río Piedras, PR 00918-8461, Attention: Santa D. Ramírez-Lebrón, Permits and Environmental Compliance Specialist. A complete description of the project is available to the public for review from 8:30 am to 4:00 pm at the Puerto Rico Department of Housing, 606 Barbosa Avenue, Juan C. Cordero Dávila Building, Río Piedras, PR 00918. The number to get information is (787)274-2527 ext. 4320. In the alternative, comments may also be sent to PRDOH by email at environmentcdbg@vivienda.pr.gov.

Date: May 1, 2024

William O. Rodríguez Rodríguez, Esq.
Secretary of the Department of Housing

Authorized by the Office of the Electoral
Comptroller OCE-SA-2023-00076

Andrea Curbelo-Marty

From: environmentcdbg <environmentcdbg@vivienda.pr.gov>
Sent: Wednesday, May 1, 2024 11:23 AM
To: Jose.A.CedenoMaldonado@hud.gov; Mahon, Donna M; Caribbean_es@fws.gov; Tawes, Robert; Rodriguez.elias@epa.gov; Guerrero.carmen@epa.gov; PublicMail.CESAJ-CC@usace.army.mil; Rich.Okulski@noaa.gov; Noah.Silverman@noaa.gov; nmfs.ser.esa.consultations@noaa.gov; FEMA-R4EHP@fema.dhs.gov; carubio@prshpo.pr.gov; comunicaciones@ddec.pr.gov; secretario@ddec.pr.gov; jannira.colon@ddec.pr.gov; Rivera_r1@jp.pr.gov; comentarios@jp.pr.gov; pmzc@drna.pr.gov; eortega@drna.pr.gov; ayudaciudadano@drna.pr.gov; anais.rodriguez@drna.pr.gov
Subject: Public Notice – Final Notice and Public Explanation of a Proposed Activity in a 100-Year Floodplain_PRDOH Case PR-CRP-001026
Attachments: Final Notice_Primer Hora_PR-CRP-001026.pdf

Concerned agencies,

Enclosed please find a **Public Notice – Final Notice and Public Explanation of a Proposed Activity in a 100-Year Floodplain** the Puerto Rico Department of Housing (as the Responsible Entity) published as part of HUD's requirements for the release of CDBG-DR funds to undertake the project *Conversión de la Avenida del Valle a una Calle Completa* (PR-CRP-001026). The Final Notice was published in the *Primera Hora* newspaper of Puerto Rico on May 1, 2024.

Respectfully,

Permits and Environmental Compliance Division

Disaster Recovery Office

environmentcdbg@vivienda.pr.gov | 787.274.2527

Visit us: recuperacion.pr.gov

Contact us: infocdbg@vivienda.pr.gov

DEPARTAMENTO DE LA
VIVIENDA



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Validation Letter

May 9, 2024

To whom it may concern,

This letter is to validate that no comments were received in the Permits and Environmental Compliance Division e-mail: environmentcdbg@vivienda.pr.gov, for the project **Conversión de la Avenida del Valle a una Calle Completa (PR-CRP-001026)**, as part of the CDBG-DR City Revitalization Program. The Final Notice and Public Explanation of a Proposed Activity in a 100-Year Floodplain was published in the *Primera Hora* newspaper of Puerto Rico on May 1, 2024, with a comment period that concluded on May 8, 2024.

Cordially,

Permits and Environmental Compliance Division
Disaster Recovery Office
environmentcdbg@vivienda.pr.gov | 787.274.2527 ext. 4320

Andrea Curbelo-Marty

From: Kenneth M. Garcia-De Leon
Sent: Thursday, May 9, 2024 3:15 PM
To: environmentcdbg
Subject: RE: Comentarios - Aviso Final PR-CRP-001026

Saludos:

Por correo postal no llegaron comentarios para mencionado proyecto.

Cordialmente,

Kenneth M. García De León

Especialista en Control de Documentos / Operaciones

Oficina Recuperación de Desastres

kgarcia@vivienda.pr.gov | 787.274.2527 Ext. 4013

Visítanos: recuperacion.pr.gov

Contactanos: infocdbg@vivienda.pr.gov

DEPARTAMENTO DE LA
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From: environmentcdbg <environmentcdbg@vivienda.pr.gov>
Sent: Thursday, May 9, 2024 2:13 PM
To: Kenneth M. Garcia-De Leon <kgarcia@vivienda.pr.gov>
Subject: Comentarios - Aviso Final PR-CRP-001026

Saludos Kenneth,

Con respecto a la publicación del Aviso Final y Explicación Pública de una Actividad Propuesta en un valle inundable de 100 años (Paso 7) para el proyecto **Conversión de la Avenida del Valle a una Calle Completa (PR-CRP-001026)** ¿habrá llegado algún comentario a través del correo postal? De ser así, por favor nos lo hace llegar.

Cordialmente,

Permits and Environmental Compliance Division

Disaster Recovery Office

environmentcdbg@vivienda.pr.gov | 787.274.2527

Visit us: recuperacion.pr.gov

Contact us: infocdbg@vivienda.pr.gov

DEPARTAMENTO DE LA
VIVIENDA



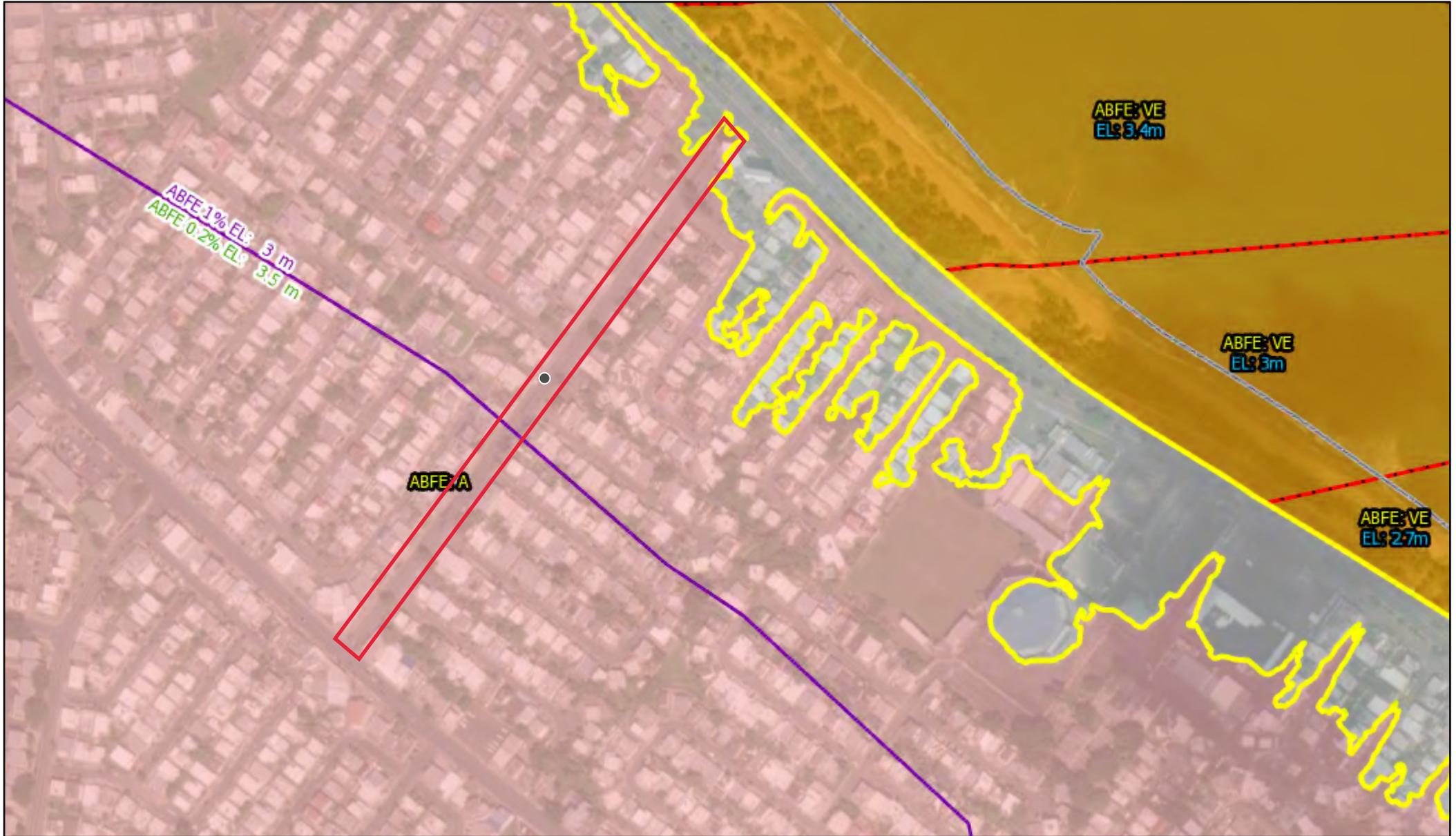
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Attachment 10. ABFE Map

PR-CRP-001026 – Conversion of Del Valle Avenue into a Complete Street

Coord: 18.452758, -66.185152 to 18.456523, -66.182118
Address: Del Valle Avenue, Levittown, Barrio Sabana Seca, Toa Baja, PR



8/9/2022, 4:34:04 PM

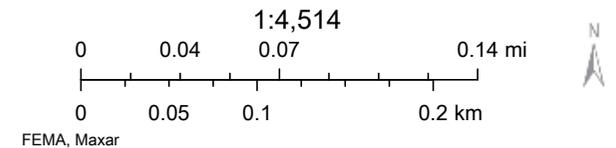
 PR-CRP-001026
Flood Hazard Extent

 Municipios

 Advisory Base Flood Elevation (zoom in to make visible)

 1% Annual Chance Flood

Source: FEMA (Spatial Reference: WGS84), accessed at URL
<https://gis-r2-fema.hub.arcgis.com/apps/31dfa15671944086b54b55bfc03344d7/about>





OFICINA ESTATAL DE

CONSERVACIÓN HISTÓRICA

GOBIERNO DE PUERTO RICO

Executive Director | Carlos A. Rubio Cancela | carubio@prshpo.pr.gov

Friday, April 4, 2025

Lauren B Poche

269 Avenida Ponce de León, San Juan, PR, 00917

SHPO-CF-03-10-25-01 PR-CRP-001026 (Toa Baja) - Conversión de la Avenida del Valle a una Calle

Dear Ms. Poche,

Our Office has received and reviewed the information submitted for the above referenced project in accordance with 54 USC 306108 (commonly known as Section 106 of the National Historic Preservation Act, as amended) and 36 CFR Part 800: Protection of Historic Properties from the Advisory Council on Historic Preservation.

Our records support your finding of no historic properties affected within the project's area of potential effects.

Please note that should the Agency discover other historic properties at any point during project implementation, you should notify the SHPO immediately. If you have any questions concerning our comments, do not hesitate to contact our Office.

Sincerely,

Carlos A. Rubio Cancela

State Historic Preservation Officer
CARC/GMO/MDC





GOVERNMENT OF PUERTO RICO
DEPARTMENT OF HOUSING

April 30, 2024

Arch. Carlos A. Rubio Cancela

Executive Director

Puerto Rico State Historic Preservation Office

Cuartel de Ballajá, Third Floor

San Juan, Puerto Rico 00901

Re: Authorization to Submit Documents for Consultation

Dear Arch. Rubio Cancela,

The U.S. Department of Housing (HUD) approved the allocations of Community Development Block Grant (CDBG-DR) funds on February 9, 2018. It also approved the allocation of Community Development Block Grant Mitigation (CDBG-MIT) funds on January 27, 2020. The purpose of these allocations is to address unsatisfied needs as a result of Hurricanes Irma and Maria in September 2017; and to carry out strategic and high-impact activities to mitigate disaster risks and reduce future losses.

To comply with the environmental requirements established by HUD, the Department of Housing of Puerto Rico (PRDOH) contracted Horne Federal LLC to provide environmental review services, among others, that will support the objectives of the agenda for both CDBG-DR and CDBG -MIT Programs.

To expedite the processes, Horne Federal LLC, is authorized to submit to the State Historic Preservation Officer, documentation of projects related to both the CDBG-DR and CDBG-MIT on behalf of PRDOH.

Cordially,

Aldo A. Rivera Vázquez, PE

Director

Division of Environmental Permitting and Compliance

Office of Disaster Recovery

March 10, 2025

Carlos A. Rubio Cancela
State Historic Preservation Officer
Puerto Rico State Historic Preservation Office
Cuartel de Ballajá (Tercer Piso)
San Juan, PR 00902-3935

Puerto Rico Disaster Recovery, CDBG-DR City Revitalization (City-Rev) Program
Section 106 NHPA Effect Determination Submittal for PR-CRP-001026, Conversión de la Avenida del Valle a una Calle Completa, Toa Baja, Puerto Rico – *No Historic Properties Affected*

Dear Architect Rubio Cancela,

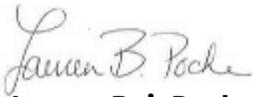
On February 9, 2018, an allocation of Community Development Block Grant - Disaster Recovery (CDBG-DR) funds was approved by the United States Department of Housing and Urban Development (HUD) under the Federal Register Volume 83, No. 28, 83 FR 5844, to assist the Commonwealth of Puerto Rico in meeting unmet needs in the wake of Hurricanes Irma and Maria. On August 14, 2018, an additional \$8.22 billion recovery allocation was allocated to Puerto Rico under the Federal Register Volume 83, No. 157, 83 FR 40314. With these funding allocations, the Puerto Rico Department of Housing (PRDOH) aims to lead a comprehensive and transparent recovery for the benefit of Puerto Rico residents. To faithfully comply with HUD's environmental requirements, PRDOH contracted Horne Federal, LLC (HORNE) to provide environmental records review services that will support their objectives for the CDBG-DR funds.

On behalf of PRDOH, HORNE is submitting documentation for the proposed Conversión de la Avenida del Valle a una Calle Completa project. The Municipality of Toa Baja proposes the conversion of Del Valle Avenue into a complete street, including the reconstruction of the existing avenue, reducing

the four (4) lane avenue which acts as a two-lane street with parking along both curbsides, to a two (2) lane street with a new bicycle lane and intermediate island, parallel parking on the commercial side of the street, curb extensions, streetscape, and landscape treatment, reconstruction of the 3-meter-wide sidewalks with trees, street furniture, and new solar lighting system. Safety measures will include crossing flat tables and accessible pedestrian signals, turning radius reduction at the intersection with PR- 165 to reduce motor vehicle speed at Del Valle Ave. The full scope of the project is described in the submitted documentation, which includes mapping, photographs, and the 60% design development plans.

Based on the documentation provided, the Program requests a concurrence with a determination that **no historic properties affected** is appropriate for this undertaking. If you have any questions or concerns, please contact me by email at lauren.poche@horne.com or phone at 225-405-7676.

Kindest regards,



Lauren Bair Poche. M.A.

Architectural Historian, EHP Senior Manager

LBP/KPS

Attachments

PR-CRP-001026

**Conversión de la Avenida del Valle a una
Calle Completa Project**

Toa Baja, Puerto Rico

Section 106 Effect Determination Form

| | |
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| PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination |  |
| Subrecipient: Municipality of Toa Baja | |
| Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET | |
| Project Number: PR-CRP-001026 | |

| | |
|--|------------------------------------|
| Project Location: Del Valle Avenue, Levittown, Barrio Sabana Seca, Toa Baja, PR | |
| Project Coordinates: Beginning of APE 18.45275884536524, -66.18515281251055/ End of the APE18.456523, -66.182118, | |
| TPID (Número de Catastro): 000-000-000-00-000 ¹ | |
| Type of Undertaking: | |
| <input checked="" type="checkbox"/> X Substantial Repair <input type="checkbox"/> New Construction | |
| Construction Date (AH est.): c. 1963 | Property Size (acres): 2.54 |

| |
|--|
| SOI-Qualified Architect/Architectural Historian: Fernando Lugo |
| Date Reviewed: 10/18/2024, Updated 10/22/2024, Updated 03/04/2025 |
| SOI-Qualified Archaeologist: Tamara Gonzáles Vega y Adalberto Maura |
| Date Reviewed: 03/18/2024, Updated 03/04/2025 |

In compliance with Section 106 of the National Historic Preservation Act (NHPA), the Program is responsible for identifying historic properties listed in the NRHP and any properties not listed that would be considered eligible for listing that are located within the geographic area of potential effects (APE) of the proposed project and assessing the potential effects of its undertakings on these historic properties. It has been determined by the SOI-qualified professionals that the project undertaking does not conform to Stipulation II.A (Project Review – Programmatic Allowances) of the Section 106 Programmatic Agreement (PA) among FEMA, SHPO and COR3, as amended (May 3, 2023).

Project Description (Undertaking)

The Municipality of Toa Baja in its recovery efforts after the impact of hurricanes Irma and María is seeking Community Development Block Grant disaster recovery funds financed by the Federal Department of Housing and Urban Development. The proposed project Conversion of Del Valle Avenue into a complete street, include the reconstruction of the existing avenue, reducing the four (4) lane avenue which acts as a two-lane street with parking along both curbsides, to a two (2) lane street with a new bicycle lane and intermediate island, parallel parking on the commercial side of the street, curb extensions, streetscape, and landscape treatment, reconstruction of the 3-meter-wide sidewalks with trees, street furniture, and new solar lighting system. Safety measures will include crossing flat tables and accessible pedestrian signals, turning radius reduction at the intersection with PR-

¹ Roads in Puerto Rico are not assigned a cadaster number. In the cases of construction projects, the Oficina de Gerencia de Permisos (OGPe) accepts this number for public state and municipality roads.

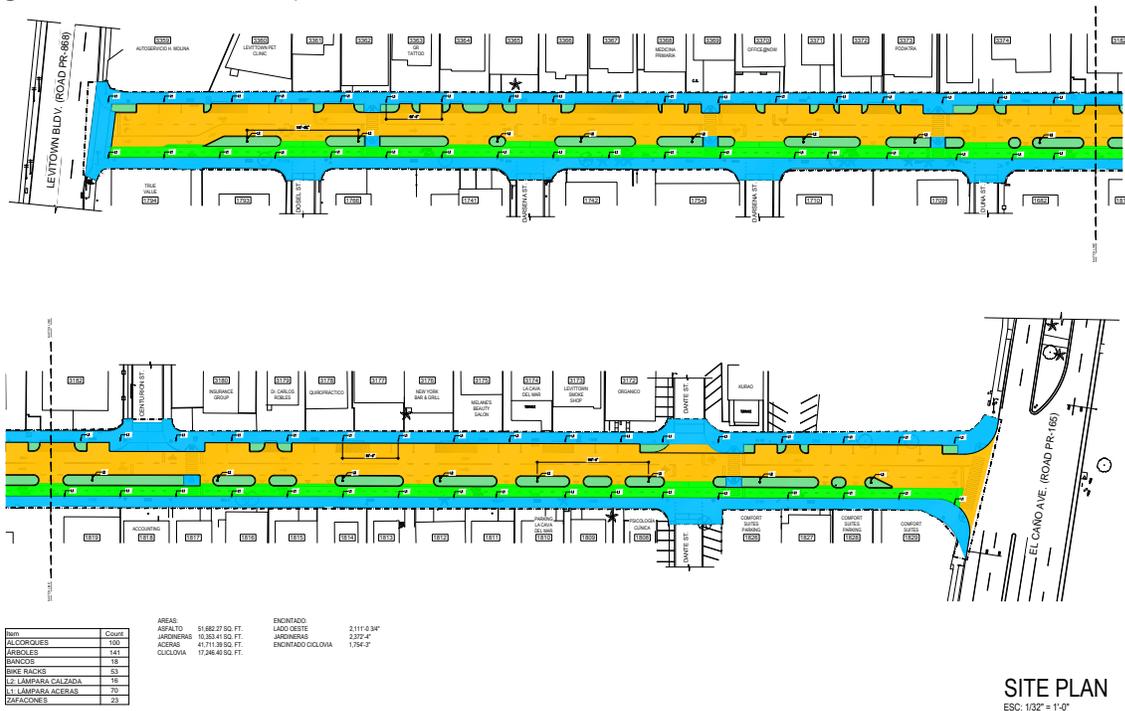
Subrecipient: Municipality of Toa Baja

Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET

Project Number: PR-CRP-001026

165 to reduce motor vehicle speed at the Del Valle Ave. The design objectives for this conversion is to provide a safe and agreeable street for pedestrians, cyclists, and motorists, promoting the use of the street as an active urban connector between the commercial Boulevard street on the south and the natural amenities of the northern coast.

Figure 01: Site Plan Proposal – ROSSILUGO ARCHITECTURE



Demolition Works

The demolition works will include partial removal of the existing asphalt along del Valle Avenue with milling machines to remove the top layer before a new asphalt layer is laid. The sidewalks on both sides of the avenue will be removed with a sledgehammer until the concrete pad cracks and crumbles. With the concrete pad loose, it will be removed with digging buckets mini excavators, no further excavation is needed. The project will maintain the same geometry of the sidewalks and will include the required handicap ramps, flat tables, and pedestrian crossings to comply with ADA regulations, FHWA and PRHTA guides and standards. The staging area for this works will be along the Del Valle Avenue which is wide enough to make partial staging areas without affecting the traffic.

For the Del Valle Avenue roadway, 2" to 4" (maximum) cold milling of bituminous asphalt

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| PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination |  |
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| Project Number: PR-CRP-001026 | |

poured pavement will be performed to adjust to the new design for the reduced roadway, new bicycle lane and green inlet considering new levelling of the street surface for storm water run-off. The works will consider not excavating any segment of the road, considering that the asphalt section (subbase and base course) is in good conditions.

To provide a safety zone for pedestrians and cyclists and reduce the speed on the road, two elevated pedestrian crossings will be proposed. This crossing consists of the construction of a concrete bump with a level segment (speed table) to allow pedestrians to cross from one side of the road to the other at the same level as the sidewalks. The construction of his section will be over the existing grade and may require an excavation of approximated 0.30m (12in) for its construction. Precautions during construction and excavation works. New 25 feet high solar luminaire posts will be installed along the new green inlet and 15 ft. high posts for the sidewalks.

Staging Area and Erosion Control

The staging area for the construction equipment and materials can be located within Del Valle Avenue. The four (4) lane avenue will be reduced to a two-lane street and temporary staging will be coordinated along the avenue at different construction stages. During the demolition and construction process, erosion and sedimentation control measures will be implemented to avoid the sediments discharge into the road surface and storm sewer system during rainfall events. The storm sewer structures (inlets, gutters, etc.) within the project area will be protected with hay bales or sediment sods. Material storage areas will be protected with a silt fence to avoid sediments from discharging into the street or storm sewer structures. All sediment control devices shall be inspected, replaced, or install additional measures, when necessary, after any rainfall event, including installation of hay bales (or silt socks) on drainage structures, installation of silt fence around the project limit, and implementation of a washout entrance for trucks to avoid sediments migration into the streets. Staging and storage areas for construction materials will be protected with silt fence.

Exclusion to Demolition Works

The demolition works will exclude the removal of the existing perimeter walls of all the properties along Del Valle Avenue on both sides of the Avenue. The exclusion of the demolishment of the perimeter walls will benefit the integrity of the property and conserve all paved beyond the property limits. The attached documents provide a site plan drawing of

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| PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination |  |
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| Project Number: PR-CRP-001026 | |

existing conditions and proposed Construction Work documents.

The project proposes the following improvements:

(1) The reconstruction of the existing Del Valle Avenue, reducing the four (4) lane avenue which acts as a two-lane street with parallel parking along both curb sides, to a two (2) lane complete street: The avenue measures 525 meters (1,77 ft.) long by 14.61 meters (48 ft.) wide for an area of 7,670 SM (82,562 SF) of asphalted vehicular surface. The existing asphalt pavement will be removed (approximately 4" deep) and replaced by a new asphalted area of approximately 1,600SM / 17,200 SF for the remaining of the vehicular surface, a garden inlet with an area of 962 SM / 10,353 SF and a 2-way asphalted bicycle lane with an area of 11,443.75 SM / 5,300 SF for. The existing asphalt surface along this area will be removed (approximately 4" deep) and no further excavation is required.

(2) A 2.75 meter (9 feet) wide, 2-way bicycle lane is proposed along the western sidewalk, from Boulevard Avenue southern intersection to the northern PR-165 state road (length of 525 M / 1,700 feet). The bicycle lane will be at sidewalk level. The existing asphalt along this area will be removed (approximately 4" deep) and no further excavation is required.

(3) An intermediate island is proposed between the bicycle lane and the vehicular lanes. It is a green area of 1962 SM / 0,353 sq. ft. for new planting and trees. The existing asphalt along this area will be removed (approximately 4" deep) and no further excavation is required.

(4) 24 Parallel parking spaces are proposed on the commercial side of the street and 19 parallel spaces are interwoven on the green island side for a total of 43 parallel parking spaces.

(5) Curb extensions: Curbs along the eastern sidewalk (525 m / 1,722 FT long) will be removed (approximately 6" deep) and replaced. The removal and replacement considered a 12" deep excavation with no impact to earth's crust.

(6) Streetscape and landscape treatment amounts to a surface area of 12,725 square feet of grass and planting area and 141 trees. The existing asphalt area will be removed (approximately 4" deep) and replaced with topsoil for new planting. Trees will require an excavation of approximately 30 inches deep.

(7) The reconstruction of the 3-meter-wide sidewalks on both sides of the avenue considers the removal of the 4" existing concrete sidewalks and its replacement with new concrete

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| Project Number: PR-CRP-001026 | |

sidewalks of the same dimensions and as the existing one. The typical detail for sidewalk section is 4 inches for the concrete slab and 4 inches for gravel (where applies).

(8) Street furniture includes 18 pre-cast concrete benches, 48 pre-cast concrete bollards, 23 pre-cast concrete trash receptacles, 53 pre-cast concrete bicycle racks, 70 pedestrian solar posts (14 feet high) and 16 vehicular solar posts (26 feet high). Except for the solar posts, none of the urban furniture installation requires excavation. (Figure 02)

(9) Improvements to existing storm sewer system will include the reduction of paved surface by eliminating two lanes, reducing the width of the two remaining lanes, providing landscape treatment along the sidewalks, a new green inlet and re-leveling of the street new pavement and the replacement. Existing grates and frames for inlets will remain. If needed, the resetting of top of manholes or other utility structure to match the existing surface level will be provided.

Figure 02: Detail of Street Furniture Partial Plan – ROSSILUGO ARCHITECTURE

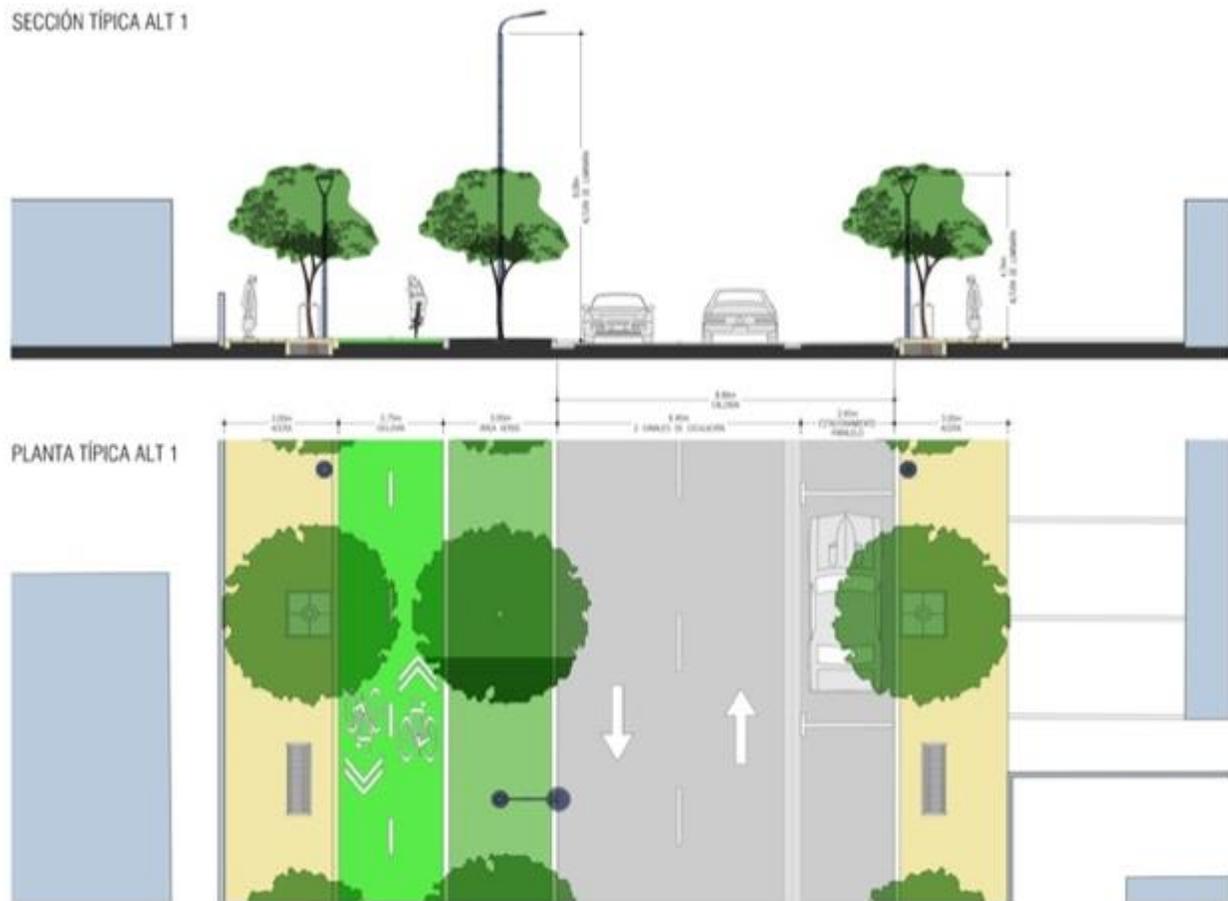


(10) Installation of new solar luminaires along Del Valle Avenue. New poles with lighting arms

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| <p>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination</p> |  |
| <p>Subrecipient: Municipality of Toa Baja</p> | |
| <p>Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET</p> | |
| <p>Project Number: PR-CRP-001026</p> | |

and lamps will be installed along the avenue inlet and sidewalks. The solar posts installation will require punctual excavations for the post's base supports: There are 70 pedestrian posts 15 feet high which require three (3) feet deep excavation for the base and 16 vehicle lamps 25 feet high which require five (5) feet deep excavation for the base.

Figure 03: Detail of Street Section with Lamp Posts – ROSSILUGO ARCHITECTURE

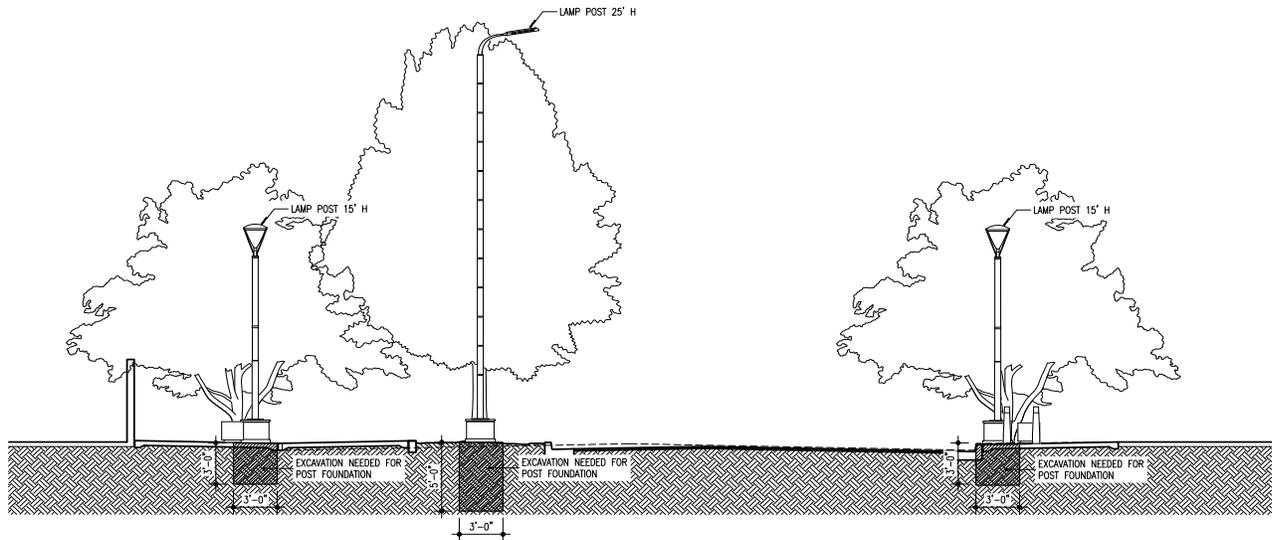


Subrecipient: Municipality of Toa Baja

Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET

Project Number: PR-CRP-001026

Figure 04: Detail of Lamp Posts impact on soil- ROSSILUGO ARCHITECTURE



A Maintenance of traffic plan and temporary control devices will be implemented to control the vehicular traffic and provide a safe route to pedestrians during the construction works. The attached documents provide a detailed summary of the APE current condition and a site plan drawing of existing conditions and proposed reconstructions. will be reconstructed using CRP guidelines. The maintenance of the traffic plan will be prepared in compliance with the PRHTA and FHWA standards and regulations.

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| Project Number: PR-CRP-001026 | |

Areas of Potential Effects

As defined in 36 CFR §800.16(d), the area of potential effects (APE) is the geographic area or areas within which an undertaking may directly or indirectly cause changes in the character or use of historic properties if any such properties exist. Based on this definition, and the nature and scope of the undertaking, the Program has determined that the direct Area of Potential Effects (APE) for this project covers a 2.54-acre footprint along Del Valle Avenue. The area extends from the intersection of Del Valle Avenue with PR-868, located at coordinates 18.45275884536524, -66.18515281251055, to the intersection with PR-165, at coordinates 18.456523, -66.182118. Del Valle Avenue is a municipal four-lane road running from state road PR-165 to the north, down to Boulevard Avenue to the south. It has an approximate length of 525 meters and a width of 20.60 meters, including sidewalks. The buildings along both sides of the avenue are of mixed-use, primarily residential, with several commercial establishments, including The Comfort Inn and Suites Hotel at the intersection with PR-165. Potential ground-disturbing activities for the project are expected to range from 2 inches to 5 feet in depth.

The extensive Levittown housing development has significantly impacted and transformed the APE area, as well as much of the surrounding region, from the 1960s to the present. Consequently, the proposed project will take place in an area that has already been physically altered and modified in terms of land use. Levittown, a neighborhood in Toa Baja, was originally developed in the 1960s by Levitt & Sons as a suburban residential community. This development followed the U.S. suburban model of the time, which emphasized segregating land uses and building residential areas away from mixed-use cities. Since then, some residences along the main avenues have gradually adapted to mixed-use purposes. Unplanned commercial development has slowly encroached along Del Valle Avenue, transforming it into a corridor of nonresidential activity. What was once a wide avenue branching into residential streets on both sides now directly accommodates various unplanned commercial uses. This shift has negatively affected the sidewalks, which are frequently interrupted by vehicle access to unplanned parking areas encroaching onto pedestrian pathways.

The proposed project's viewshed aims to harmonize the unplanned, mixed-use development by creating a vibrant urban streetscape where pedestrians, cyclists, vehicles, parking, and greenery coexist in a positive, safe, and proactive environment. The character of the avenue has dramatically shifted to a commercial focus, often disregarding pedestrian needs. This project seeks to reconcile the visual appeal and architectural style of the 1960s with the current mixed-use development.

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| Project Number: PR-CRP-001026 | |

Mid-20th century city planning promoted the segregation of land uses and the development of residential suburbs. The idea of separating residential areas from mixed-use city environments has proven ineffective, as unplanned commercial uses have gradually emerged to meet community needs otherwise unmet in a suburban setting. Del Valle Avenue exemplifies this trend, with nonresidential activities emerging organically over time.

Sixty years after the first section was developed, the APE has undergone numerous modernization efforts, often without considering the historical context of its development. As a result, none of the houses in the area qualify as historically significant individual units (refer to page 54: Properties within the indirect/viewshed APE). Over the years, Del Valle Avenue has seen extensive infrastructure changes, including the installation of sewer lines, storm drainage systems, telecommunications trenches, repaving, and electrical work, significantly altering the original layout. Therefore, the potential for direct impacts on historical resources is minimal due to these extensive modifications.

However, there will be an indirect area of potential effects concerning the visual and experiential qualities of the public space, specifically along Del Valle Avenue. Currently, the avenue is a car-oriented, asphalt-dominated road with poor and unsafe pedestrian conditions, including sidewalks frequently obstructed by vehicles. The project aims to transform it into a "complete street" with abundant trees, secured sidewalks, and dedicated bicycle lanes. This redesign seeks to evoke the original spirit of Levittown by making it an example of contemporary planning in Puerto Rico, demonstrating how the first Puerto Rican suburb can be revitalized into a healthy, multi-use, multimodal, and secure living environment.

The viewshed and indirect effects will preserve the historical urban layout while visually enhancing it and protecting it from further decline. A comparison of aerial views from the first sector's development to the current state of Del Mar Street reveals significant deterioration in both the physical structures and the quality of public space throughout Levittown (see figures 05 and 06).

Subrecipient: Municipality of Toa Baja

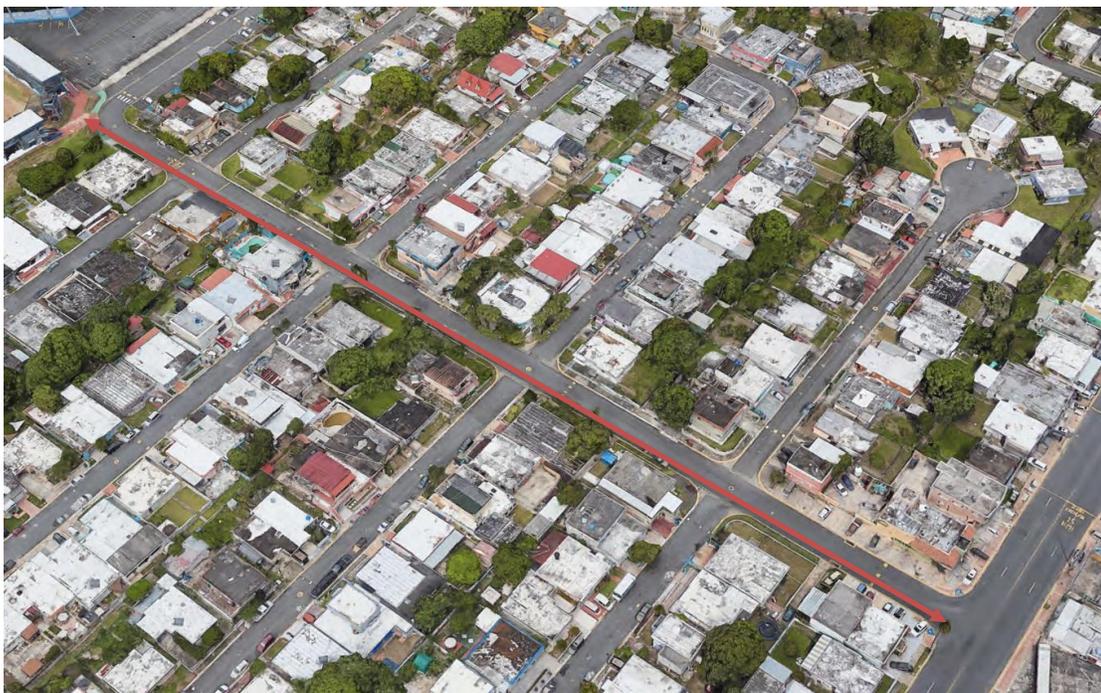
Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET

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North

Figure 05: Levittown Section 1, Del Mar Street intersecting Levittown Boulevard



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North

Figure 06: Present day Del Mar Street

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Location and History

Levittown is divided into eight distinct sections, known as “secciones,” with the eighth section later renamed Urb. Fronteras, and is interspersed with numerous sub-divisions or “urbanizaciones.” The community spans across the municipalities of Toa Baja, Cataño, and Bayamón. Its iconic light blue water tower, which originally served as a crucial reservoir for potable water, has been repurposed into a public library, symbolizing both utility and cultural heritage.

To the west lies Levittown Lakes, locally known as “Los Lagos de Levittown,” a man-made lake created from drained marshlands. It is fed by the winding Caño El Hato, adding a serene touch to the landscape. To the east, the Bayamón River serves as a natural boundary, separating Levittown from the nearby fishing village of Palo Seco in the Cataño municipality.

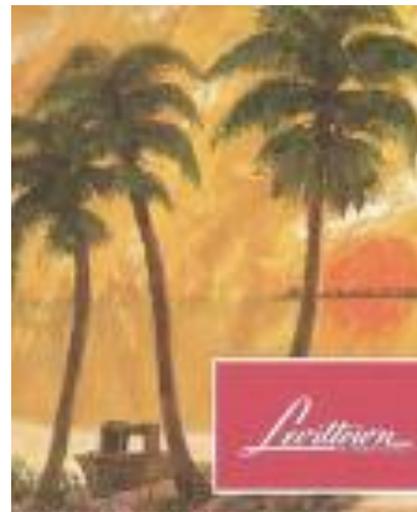
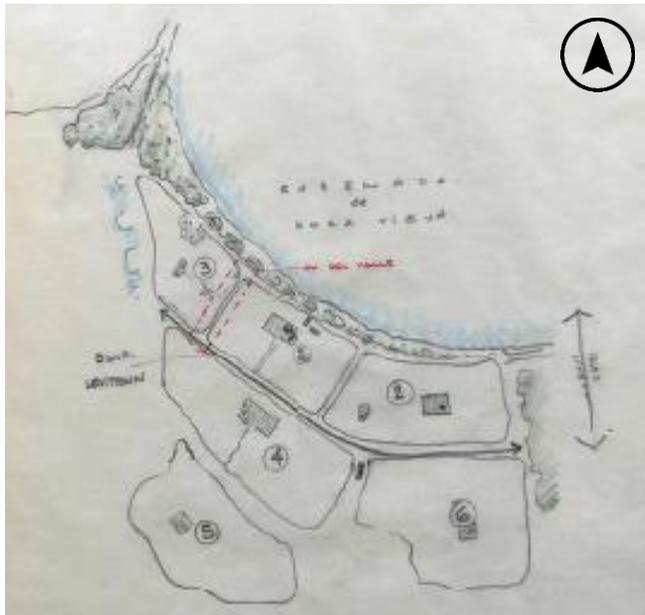


Figure 07: Sketch showing Levittown “Secciones” and Section 1 Promo

Levittown, P.R., consists of seven sections (see Figure 07), with the first, known as Section One, developed in 1963 and originally marketed as Levittown. Del Valle Avenue is situated between the First and Third Sections, serving as a connector between Levittown Boulevard and PR-165. In the First Section, all street names begin with the letter “D,” while in the Third Section, they all start with the letter “C.”

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Identification of Historic Properties - Archaeology

Existing information on previously identified historic properties has been reviewed to determine if any such properties are located within the APE of this undertaking. The review of this existing information, by a Program contracted Historic Preservation Specialist meeting the Secretary of the Interior's Professional Qualification Standards (36 CFR Part 61), shows that the project area lays within the boundaries of the potentially eligible National Register of Historic Places (NRHP) Levittown housing development.

Pre-Hispanic Period

The Toa Baja region is an area of great sensitivity to both historic and prehistoric resources, because it is located on a floodplain close to the seashore nurtured by large rivers. There are many archaeological sites within the territorial boundaries of this municipality. Most of them are in urban and coastal areas. Historic Chronicles indicate that chief Aramaná ruled the region prior to Spanish colonization. However, no archaeological sites related to the pre-Hispanic era were identified in the .25-mile radius surroundings the APE.

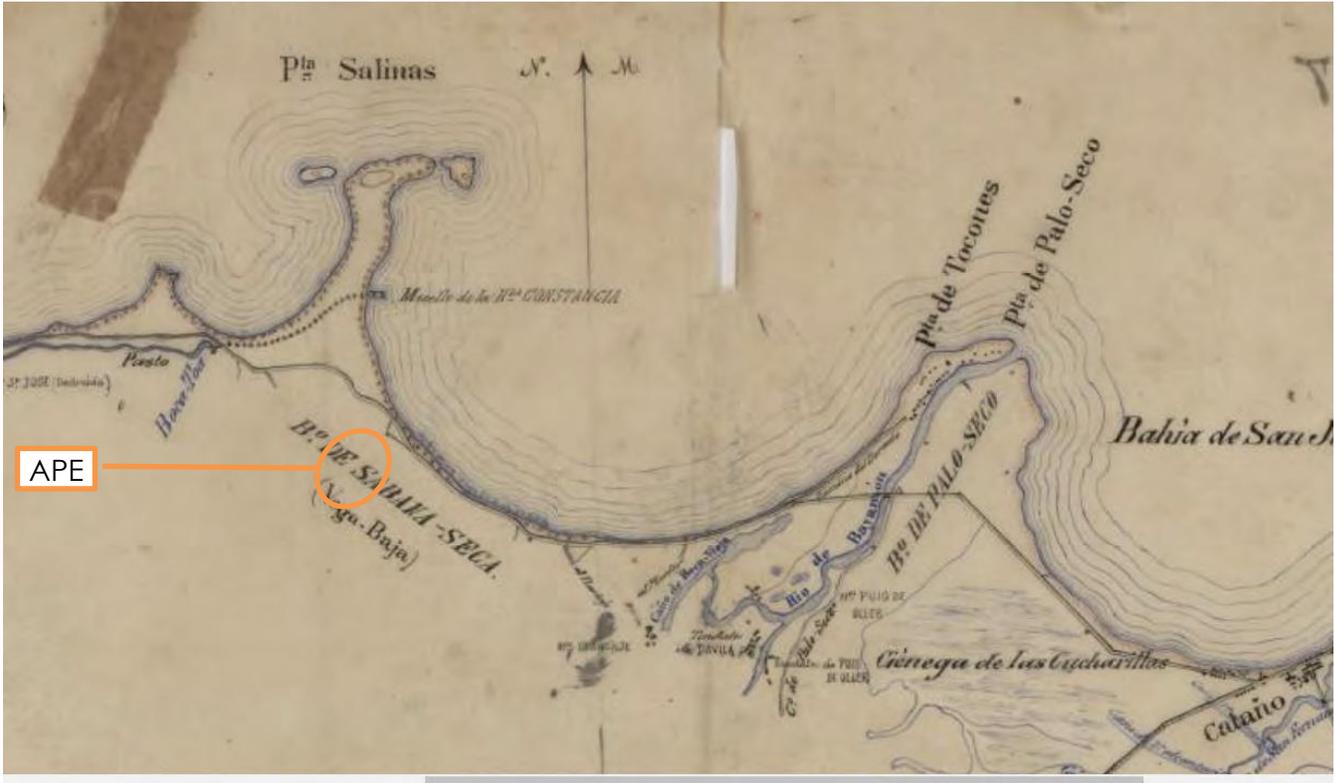
The APE and most of the radius area was impacted by Levittown housing development in the 1960s, impacts continue to the present. As such, the extensive housing development greatly modified the area. If pre-Hispanic sites existed, they were impacted by the required construction processes, cutting, filing, and leveling the landscape, of the project.

Spanish Colonial Period

On the banks of the Toa, the areas main tributary today's Río de La Plata, before the Taíno rebellion of 1511, Juan Ponce de León established the King's Farm, in a place referred to as Santa Elena. It was here that chief Aramaná's yucayeque (territory) was located, and whose people were enslaved as labor. This was the first agricultural experimental station on the island, where foodstuff brought from Europe was first introduced. In these early years of the colonization the first church was established and sanctified under the name Real Ribera del Toa. The villa was founded in 1747, though some historians place it shortly after, with the following outlying neighborhoods: Bucarabón, Candelaria, Dorado, Thorny, Maguayo, Birds, Lajas River, Tamarindo. In colonial times the APE lay within Hacienda El Plantaje whose fertile leveled terrain was covered by coastal forests and farmland. There was a carriage path mostly that ran along the coast from Dorado to Cataño. The closest historic structures to the APE are the Spanish fort at Punta Salinas, "Fuerte de Castro/ Fortín Mascaró" (2 km east from the APE) established in 1797 and the shooting range "Campo de Tiro" established in 1897-1898.

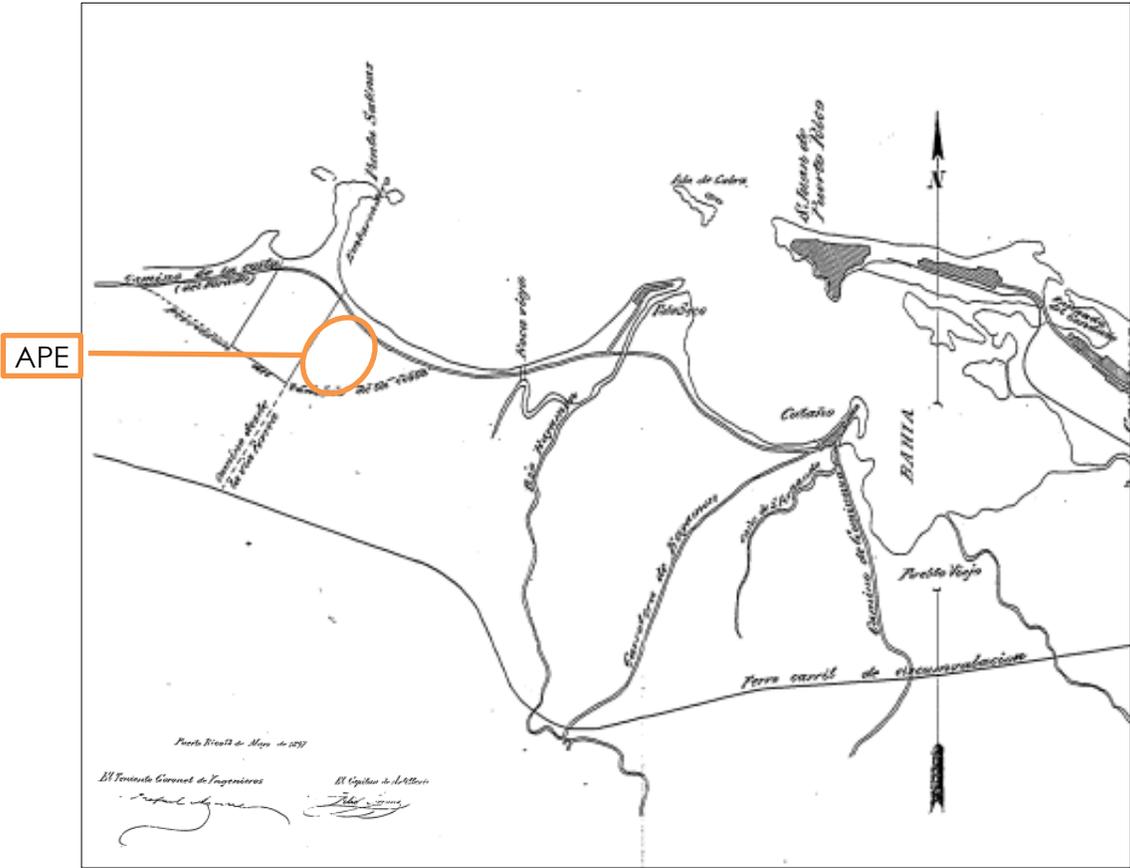
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Figure 08: Detail of 1886 Map - Itinerary of San Juan, Puerto Rico, from Cataño to Palo Seco, to Dorado, 1886 Topographic Commission, with longitude of 13 km.; Includes: a colored manuscript map, scale 1:50000. Backdrop of the Military Map of the Island of Puerto Rico, ADNPR



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Figure 09: Detail of 1898 Map - Construction of a shooting range in Punta Salinas, Puerto Rico, Corps of Engineer of Puerto Rico. Construction file of a shooting range for the infantry and artillery in Punta Salinas (Puerto Rico). Attached documentation: 1 plan (ver sig. SH. PRI-54/10). Notes R.A.M. 3^a 3^a. Engineers. Construction Projects. Madrid General Military Archive. ADNPR



The area of interest is described as an immense plain, with little agricultural value. The only way to reach the area was using the "Camino de La Costa", a costal carriage path from Dorado to Cataño in very poor condition and impassable when it rained.

Post 1898

During the 20th century the area of interest remained depopulated. Aerial photos from 1936

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and 1950 reveal parceled crop fields coverage throughout.

Figure 10: Aerial Photo 1936, Scale; ACT Photogrammetry office 1:18,000,



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Figure 11: Aerial Photo 1950 Scale; ACT Photogrammetry office 1:15,000,



For the decade of the 50s, the aerial photo shows a possibly residential construction north of the APE

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Levittown Development

The housing project began in 1962 when almost 440 acres of flat swamps and sections that belonged to the Hacienda del Plantaje were acquired in Toa Baja. Then Governor Luis Muñoz Marín embraced Levittown and attended the ribbon cutting ceremony in September 1963, which received extensive coverage in U.S. newspapers. The first thing Levitt built were drainage canals to empty the swamp water into an artificial lake. Like its predecessors, the fourth and final section of Levittown was planned as a multi-neighborhood community. In all there are seven sections in Levittown, P.R. However, commencing with the Third Section, the development was renamed Levittown Lakes. The addition of "Lagos" to the development's name emphasized the recreational nature of the area, and the slogan "Where the Good Life Begins" was the slogan adopted as part of the development's marketing strategy.

Levittown, P.R. is Levitt's first venture outside the Continental United States, and the last anywhere to be marketed under the brand name "Levittown". Officially named "Levittown de Puerto Rico," it was also the first project of the newly formed Levitt and Sons subsidiary, Levitt and Sons of Puerto Rico, Inc. The subsidiary would eventually become Levitt Homes Corp. after divestiture of Levitt and Sons by ITT and ownership by Starrett Homes Corp. (as Levitt Homes, Inc.). The firm was founded in 1929 by a Long Island real estate attorney, Abraham Levitt, when a client Levitt was representing defaulted on a development under construction. Levitt was left with 40 unfinished houses as payment for services. During World War II, after building several higher-end subdivisions with custom homes in such Long Island locations as Roslyn, Rockville Centre, Westbury, and Manhasset, the firm won a government contract to build military housing in Norfolk, Virginia. Here, the idea of mass-produced housing was conceived. During the later war years, on the advice of Bill Levitt, Levitt and Sons bought a considerable amount of land occupied by potato farms in the Island Trees section of Long Island around the towns of Hempstead and Hicksville. It was here in 1946 that the Levitt's would employ and perfect their "reverse assembly-line" method of constructing affordable homes, in which specialized crews would move from one house to the next performing only specific jobs.

The company operates as an independent corporation today and still builds planned communities in Puerto Rico. The site is part of the Levittown Development, which took place in the 1960s and 1970s. Historical aerial photographs from 1930 and 1950 show that the site was extensively used as agricultural land, with orchards of fruit trees (perhaps citrus trees). At that time, the extant wetlands and local drainages were at a significant distance south and west of the site (Figure 10 & 11).

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The current alignment of road PR-165 can be detected in the 1930 aerial photograph as a country road. The purpose of the housing development was to bring back those who once left and longed for their land. Urbanization is a multi-family housing complex that is characterized by having a regular plot developed en masse. Levittown Lakes was a very significant development for the Sabana Seca neighborhood, since during the second half of the 20th century it amassed 26,252 individuals, 27.9% of the municipality's population.

The APE is in the first section of Levittown c. 1963. Del Valle Ave. is the western boundary of this section. Four sample homes were developed in this area.

Figure 12 Master Plan of Levittown, October, 14 1963. Oficina de Planificación Municipio de Bayamón

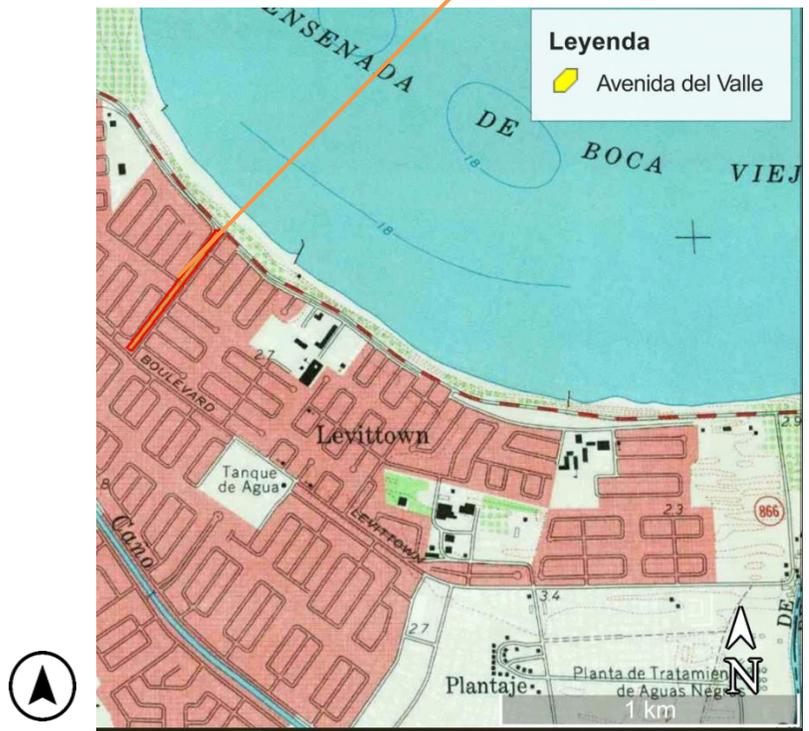


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Figure 13: USGS 1963



Figure 14: USGS 1971

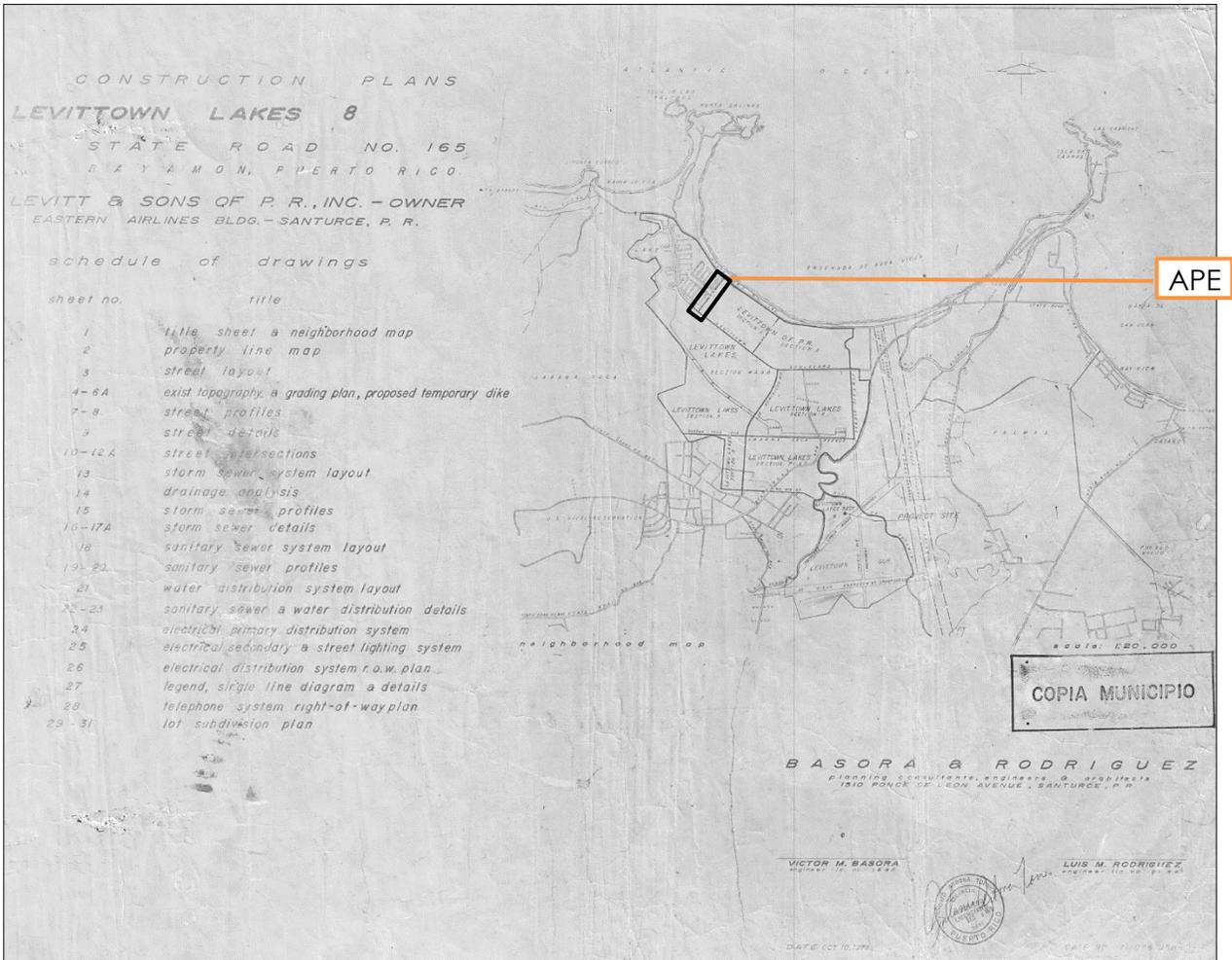


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Figure 15: LEVITOWN LAKES 8 - Construction Plan, Original scale 1:20,000 Oficina de Planificación Municipio de Bayamón



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Figure 16: LEVITOWN LAKES 8 - Construction Plan, Georeferenced Google Earth photo area 2023



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Figure 17: Aerial photos from 1994 to 2023



Cartographic and aerial photographic analysis reveal that the APE has undergone numerous changes. The first occupations in the area occurred at the end of the 19th century, at which time it was a sparsely populated, cultivated area surrounded by coastal forests. Figure 07 shows a possibly residential construction north of the APE. The area did not change much until the 1960s as Figure 9 reveals the eastern half of the APE already constructed by 1963. In aerial photos and USGS maps from 1930, 1950, reveals the APE continues to be a sparsely populated densely cultivated area and PR-165 is seen as a country road. Finally, in the USGS map from 1963 it can be observed Del Valle Avenue current dimensions. (Figures 13) The dimensions and characteristics of the APE has not undergone significant changes during the second half of the 20th century to the present.

There are two cultural resources, each 45 years or older, that are eligible for listing on the National Register of Historic Places (NRHP): TB0200018, located 198 meters to the east, and TB0100071, located 209 meters to the east (see Table 1). There have been no archaeological studies conducted within a 0.25-mile radius of the project area. For this reason, a figure depicting the surveys is not included.

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CULTURAL RESOURCES
Table 1

| Name | SHPO id # | IPRC id # | Distance/Direction | Description | NRHP (listed, eligible, non-eligible, no data) |
|-----------|------------------|-----------|--------------------|--|--|
| TB0200018 | TTB-H68, Area HA | No data | 198 meters East | Historic Possible pier, possibly from the 1940s. T-shaped concrete and metal structure. | No data |
| TB0100071 | TTB-H69, Area HB | No data | 209 meters east | Old surface located in a profile just south of TTB-H59. This is a 12cm thick blue-gray gravel tamp located 1m below the present surface, over a 10cm layer of white limestone. | pending |

Figure 18: Cultural resources within a 0.25-mile radius of the project area Aerial Map.



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Figure 19: Cultural resources within a 0.25-mile radius of the project area USGS.



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Archaeological Potential

The Toa Baja region holds significant historical and prehistorical importance due to its location on a floodplain near the coastline, nourished by large rivers. Numerous archaeological sites are found within the municipal boundaries, primarily concentrated in urban and coastal zones. However, no pre-Hispanic archaeological sites were discovered within the 0.25-mile radius surrounding the Area of Potential Effect (APE). The two archaeological sites located within the .25-mile radius are of a historical nature. Site TB0100071 (TTB-H69, Area HB) located 209 meters east of the APE, consists of an ancient surface located on a profile just south of TTB-H59. It consists of a 12cm thick blue-gray gravel tamp located 1m below the current surface, overlying a 10cm layer of white limestone. The other deposit TB0200018 (198 meters East) is a possible pier, possibly from the 1940s a T-shaped concrete and metal structure. No further information is known about these two archaeological sites.

The potential ground disturbing activities would be from 2 inches to 5 feet. (5.48 cm to 1.52 meters). The APE and much of the surrounding area have been impacted by the development of Levittown housing since the 1960s, with ongoing development to the present day. This extensive housing development has substantially altered the landscape through construction processes involving cutting, filling, and leveling. If pre-Hispanic or historic sites did exist, they would likely have been affected by these construction activities associated with the project. Furthermore, the Project lays in a sector of land with low archaeological sensitivity as evidenced by archival evidence. The construction processes of cutting, filling, and leveling the landscape to create the lake and the housing project of Levittown dramatically impacted the soil stratigraphy making it highly unlikely to find stratigraphically intact archaeological resources. Thus, the proposed construction will not affect any identified archeological resources.

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Identification of Historic Properties – Architecture

Existing information on previously identified potential historic properties has been reviewed to determine if any such properties are located within the APE of this undertaking. The review of this existing information, by a Program contracted Historic Preservation Specialist meeting the Secretary of the Interior's Professional Qualification Standards (36 CFR Part 61), shows that the project area is not within the boundaries of the National Register of Historic Places (NRHP)-eligible Toa Baja Traditional Urban Center (TUC) / Historic District under Criteria A and C. The Toa Baja TUC is more than five miles away from Del Valle Avenue. There are no listed NRHP properties within the APE or the quarter mile radius.

In Puerto Rico, the Popular Democratic Party, led by Luis Muñoz Marín, was founded in 1938 with a platform opposing the sugar industry's dominance. In 1940, the party achieved a sweeping victory in the elections for the local legislature and municipal offices. During World War II, a federal program focused on road construction to connect various military bases spurred the development of local cement plants and other factories producing goods for the local market.

After the war, the state-led push for industrialization shifted to a system of incentives and tax breaks aimed at attracting private U.S. investment to the island. The Industrial Incentives Act of 1947 formally launched what became known as Operation Bootstrap (see Figure 20). This industrialization initiative was accompanied by a program of agrarian reform targeting the sugar industry. The Real Estate section of *The New York Times* linked the development of Levittown in Puerto Rico with the goals of Operation Bootstrap, highlighting the connection between the housing project and the broader economic strategy.

Despite the historical significance noted, most buildings along Del Valle Avenue have undergone significant transformations over the years. As a result, Del Valle Avenue itself is not eligible for inclusion in the National Register of Historic Places (NRHP). However, when considered in the context of the broader Levittown development, particularly Section I, the collection of buildings along Del Valle Avenue may hold some significance, though they would likely be classified as non-contributing elements.

Del Valle Avenue principally serves the Levittown community. While not mentioned in any of the Puerto Rican agencies' inventories, the Program believes Levittown Section 1 is a significant urban and architectural development and therefore a historic residential district eligible for inclusion in the NRHP. Del Valle Avenue borders Section 1 along the west. It is, therefore, part of the proposed historic district.

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Considering the context of the broader Levittown development, particularly Section I, the collection of buildings along the East side of Del Valle Avenue may hold significance. We quote herewith a document prepared by Historical Compliance Consultants for ICF, dated November 2024.²

“PRSHPO AND IPRC ARCHITECTURAL SURVEYS

To interpret the architectural properties eligible for inclusion in the NRHP, archival research activities were undertaken at both the Puerto Rico State Historic Preservation Office (PRSHPO) and the Institute of Puerto Rican Culture (IPRC). The following two architectural windshield surveys were analyzed as part of the interpretative activities:

1. *Institute of Puerto Rican Culture, San Juan, Puerto Rico, “Inventario Arquitectónico y Fotográfico Perímetro Principal y Secundario de la Plaza de Recreo de Toa Baja,” 2011. This list includes five (5) properties surrounding the town plaza that “tienen valor arquitectónico.” In the transmittal letter prepared by Mr Elliott Cruz, the Toa Baja core is described as one that “carece de riqueza arquitectónica.”³ (See Table 2.)*

TABLE 2
 TOA BAJA URBAN PROPERTIES THAT “POSSESS ARCHITECTURAL SIGNIFICANCE”
 (AS PER THE IPRC, 2011)

| NAME | DATE | CATEGORY | ELGIBILITY STATUS |
|--|--|-----------------|-------------------|
| <i>Iglesia San Pedro y San Matías Apóstoles</i> | <i>18th century</i> | <i>Building</i> | <i>Listed</i> |
| <i>Casa Alcaldía</i> | <i>19th century?</i> | <i>Building</i> | <i>Eligible</i> |
| <i>Art Deco Theater</i> | <i>1st half 20th century</i> | <i>Building</i> | <i>Eligible</i> |
| <i>Casa de los Colonos</i> | <i>1st half 20th century</i> | <i>Building</i> | <i>Eligible</i> |
| <i>Wood and Zinc House (No address provided)</i> | <i>1st half 20th century</i> | <i>Building</i> | <i>Eligible</i> |

The IPRC’s windshield survey lists ten (10) other historic properties sited within the urban core of Toa Baja. At one point, there is mention that some of these are aligned along PR#854. No specific addresses nor names of the buildings, however, are provided, making it virtually impossible to refer to the information in the survey. No properties listed by this inventory are within the APE or quarter mile areas of the Project.

² The present quote on this Section was prepared by Historical Compliance Consultants for ICF. It is dated November 2024.

³ The Program interprets the IPRC’s determination of “architectural significance” (in Spanish, *valor arquitectónico*) as equivalent to eligibility for inclusion in the NRHP. Institute of Puerto Rican Culture, San Juan, Puerto Rico, “Inventario Arquitectónico y Fotográfico Perímetro Principal y Secundario de la Plaza de Recreo de Toa Baja” (MS: San Juan, Puerto Rico, 2011).

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2. Puerto Rico State Historic Preservation Office, San Juan, Puerto Rico, "Proyecto de reconocimiento de inventario de centros urbanos de los 78 municipios de Puerto Rico," 2020-In Progress. Below are the Toa Baja architectural properties the PRSHPO inventory considers eligible for inclusion in the NRHP. (See Table 3.)

TABLE 3
 TOA BAJA NRHP ELIGIBLE PROPERTIES
 (AS PER PRSHPO INVENTORY 2020-IN PROGRESS)

| NAME | APPROXIMATE DATE | CLASSIFICATION |
|----------------------------|--------------------------------------|------------------------------------|
| Cementerio Municipal | Second half 19 th century | Site (cemetery) |
| Escuela Luis M. Santiago | c. 1928 | Building (school) |
| Central Constancia | c. 1867 | Historic District (sugar hacienda) |
| Town Plaza Virgilio Dávila | 19 th century | Site (plaza) |
| Residencial El Toa | 1954 | Historic District (public housing) |

No properties listed by this inventory are within the APE or the quarter mile areas of the projects.

DETERMINATION OF ELIGIBILITY TO THE NRHP OF THE
 LEVITTOWN DISCONTIGUOUS HISTORIC DISTRICT

Del Valle Avenue principally serves the Levittown community. While not mentioned in any of the Puerto Rican agencies' inventories, the Program believes Levittown Section 1 is a significant urban and architectural development and therefore a historic residential district eligible for inclusion in the NRHP. Del Valle Avenue borders Section 1 along the west. It is, therefore, part of the proposed historic district.

Levittown Section 1 is a residential district. The NRHP describes a historic residential district in the following fashion.

[A] historic residential suburb is classified as a historic district and is defined as: A geographic area, usually located outside the central city, that was historically connected to the city by one or more modes of transportation; subdivided and developed primarily for residential use according to a plan; and possessing a significant concentration, linkage, and continuity of dwellings on small parcels of land, roads and streets, utilities, and community facilities.⁴

⁴ National Park Service, Department of the Interior, "National Register Bulletin, Historic Residential Suburbs Guidelines for Evaluation and Documentation for the National Register of Historic Places," Access: https://www.nps.gov/subjects/nationalregister/upload/NRB46_Suburbs_part1_508.pdf.

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Levittown Section 1 is a unique example of the urban and architectural experimentation that took place in the Island during the 1960s, albeit including imported concepts from the USA. The eligible quadrangle is bounded by the following streets: El Caño Avenue (PR#165) to the north, Las Palmas Avenue to the east, Levittown Boulevard (PR#868) to the south, and the Del Valle Avenue to the west.

Levittown Section 1, the earliest section to be built during the late 1960s, can be considered part of a discontinuous historic district. Among several reasons for its premier significance, this is the section where some of the most creative experimentations regarding subdivision morphology took place. Therefore, the Program recommends this first section of the eight (8)⁵ that comprise Levittown be considered eligible for inclusion in the NRHP, as part of a discontinuous historic district. The Program proposes it be eligible under Criterion A and C since the sector marks a watershed moment in urban organization of the Toa Baja, as well as the Island. The proposed discontinuous historic district's components are listed in Table 4.

TABLE 4
 PROPOSED LEVITTOWN SECTION 1 DISCONTIGUOUS HISTORIC DISTRICT, TOA BAJA, PUERTO RICO

| NAME | APPROXIMATE DATE | CATEGORY |
|---|------------------------------|-----------|
| Levittown Section 1 Residential Quadrangle (This includes El Caño Avenue (PR#165), Las Palmas Avenue, Levittown Boulevard (PR#868), and the Del Valle Avenue.) | 1963-1965 | District |
| Levittown Tanque de Agua (Levitt Water Tank) | constructed by 1967 | Structure |
| Levittown Lake Recreational Area | 1969-1971 | Site |
| Levittown Canal | sections constructed by 1967 | Structure |

The properties in Table 4 are related to the Levittown Section 1 Residential Quadrangle. The so-called Levitt Water Tank (also known as the Blue Tank), the first one to be constructed on the Island and to this day an aviation landmark, should be considered a contributing component of the discontinuous historic district. Additionally, the Levittown Lake Recreational area, a man-made body of water, the Levittown Canal, and a man-made smaller pond part of the Canal, should be considered contributing components of this historic district. The lake anchors a recreational area (site) that merited newspapers articles when inaugurated and was considered one of the selling points of the Levittown development. The Canal (structure) and the Lake recreational area (site) made possible the development of the sector that until then was characterized by swamps due to its proximity to the sea. Part of the Canal work included the dredging of the Caño El Hato.

⁵ Some sources claim there are seven (7) and up to nine (9) Levittown sections. It is known, parts of Levittown are within the Bayamón Municipality.

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Further analysis beyond this EDF's scope of work is needed to further interpret the Levittown Section 1 Discontiguous Historic District."

DETERMINATION OF ELIGIBILITY TO THE NRHP OF THE DEL VALLE AVENUE

According to the National Park Service (NPS), eligibility for historic designation is determined by multiple factors. Foremost, a property must retain historic integrity, assessed through seven key attributes: location, design, setting, materials, workmanship, feeling, and association. As defined by the NPS, historic integrity reflects "the quality of significance in American history, architecture, archaeology, engineering, and culture, as manifested in districts, sites, buildings, structures, and objects that embody these characteristics."

In addition to maintaining historic integrity, a property must be associated with a significant historical context, meeting at least one of the following four criteria:

- Criterion A: Association with events that have made a significant contribution to broad patterns of history;
- Criterion B: Association with the lives of individuals significant in the past;
- Criterion C: Embodiment of distinctive characteristics of a type, period, or method of construction; representation of the work of a master; possession of high artistic value; or constituting a significant and distinguishable entity whose individual components may lack distinction;
- Criterion D: The potential to yield information important to prehistory or history.

Furthermore, while exceptions exist, a property must generally be at least fifty (50) years old to be considered eligible.

Within the context of the proposed historic district, Del Valle Avenue is recognized as a contributing structure to the Levittown Section 1 Discontiguous Historic District. However, the Program has determined that it does not meet the criteria for individual designation. It is not directly associated with a historically significant event (Criterion A) or person (Criterion B). Additionally, it lacks distinctive architectural, engineering, or urban design features (Criterion C) and does not possess the potential to yield significant historical or prehistoric information (Criterion D). The significance of Del Valle Avenue and certain associated structures emerges primarily in the collective context of the Levittown Section 1 Discontiguous Historic District, rather than as individually distinguished elements.

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CONTRIBUTING AND NONCONTRIBUTING PROPERTIES
LEVITTOWN SECTION 1 DISCONTIGUOUS HISTORIC DISTRICT

A total of fifty-four (54) lots have been identified along Del Valle Avenue, with twenty-five (25) lots situated on its eastern side and twenty-nine (29) lots on its western side. The properties located on the east side of Del Valle Avenue form part of the Levittown Section 1 Discontiguous Historic District.

The twenty-five (25) properties on the east side can be categorized as follows:

- One (1) vacant lot
- One (1) hotel, located at the intersection of Del Valle Avenue and PR-165, spanning two (2) lots
- Twenty-two (22) residential properties

Of these twenty-two (22) houses, only one (1) has been determined to be individually eligible for inclusion in the National Register of Historic Places (NRHP). (see figure 33-11)

Research indicates that the twenty-two (22) buildings within the study area represent four (4) distinct Levittown model home types: La Camafeo, La Diadema, and La Broche de Oro, originally designed as single-story residences, and La Esmeralda, which featured two stories. Table 5, prepared by the same team of Historical Compliance Consultants for ICF, as previously cited in this document, categorizes these properties by model type and specifies the number of contributing and non-contributing structures within the Levittown Section 1 Discontiguous Historic District. Further details on each property, including contributing status and architectural model, can be found on pages 54 to 78 of this Environmental Documentation Form (EDF).

TABLE 5
CONTRIBUTING AND NONCONTRIBUTING PROPERTIES
PROPOSED LEVITTOWN SECTION 1 DISCONTIGUOUS HISTORIC DISTRICT,
EAST SIDE OF DEL VALLE AVENUE

| MODEL HOME | CONTRIBUTING | NON-CONTRIBUTING |
|-------------------------|---------------------|-------------------------|
| <i>La Camafeo</i> | 1 | 1 |
| <i>La Esmeralda</i> | 10 | 1 |
| <i>La Broche de Oro</i> | 4 | 0 |
| <i>La Diadema</i> | 1 | 1 |
| <i>Untraceable</i> | 0 | 3 |
| Total | 16 | 6 |

One (1) NRHP-eligible property is an example of the La Esmeralda model.

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The twenty-nine (29) parcels comprising the western side of Del Valle Avenue form part of Levittown Section 3, also known as Levittown Lakes. Of these, twenty-eight (28) contain residential structures representing five distinct model home typologies, while one (1) remains an undeveloped lot. Within Section 3, the predominant model homes include the Cordova, Zaragoza, Valladolid, and Bilbao designs.

Table 6, presented below and prepared by the same team of Historical Compliance Consultants for ICF, categorizes the properties according to model type and confirms that all are classified as non-contributing to the proposed National Register of Historic Places (NRHP)-eligible Levittown Section 1 Discontiguous Historic District. Detailed descriptions of each property and its associated model type are provided in pages 79 to 107 of this Environmental Documentation Form (EDF).

The architectural typologies in Section 3 differ from those found in Section 1 (east side) due to the distinct phases in which each section was developed. Additionally, several buildings within Section 3 no longer correspond to a specific model home prototype, as their original residential function has been altered through commercial adaptation.

TABLE 6
 CONTRIBUTING AND NONCONTRIBUTING PROPERTIES
 PROPOSED LEVITTOWN SECTION 1 DISCONTIGUOUS HISTORIC DISTRICT,
 WEST SIDE OF DEL VALLE AVENUE

| <i>MODEL HOME</i> | <i>CONTRIBUTING</i> | <i>NON-CONTRIBUTING</i> |
|---------------------|---------------------|-------------------------|
| <i>Córdoba</i> | 0 | 6 |
| <i>Zaragoza</i> | 0 | 3 |
| <i>Alcalá</i> | 0 | 4 |
| <i>Valladolid</i> | 0 | 4 |
| <i>Bilbao</i> | 0 | 1 |
| <i>Untraceable</i> | 0 | 10 |
| <i>Total</i> | 0 | 28 |

A total of fifty (50) buildings, situated across fifty-four (54) parcels, have been identified along Del Valle Avenue. Of these originally residential structures, nineteen (19) have undergone conversion into commercial establishments, a transformation that has irreversibly compromised their character-defining elements, as recognized by the National Register of Historic Places (NRHP), as well as their overall architectural integrity. Notably, fourteen (14) of these altered structures are located on the western side of Del Valle Avenue.

The remaining thirty-one (31) residences have likewise been subject to significant modifications, resulting in the loss of most of their defining architectural features. Although the built fabric along Del Valle Avenue has been extensively altered over time—along with its interaction with the urban space due to the construction of walls along property lines and the

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expropriation of the original interior pedestrian walkways—sixteen (16) properties retain sufficient integrity to be considered contributing to the historical significance of Levittown Section I. While the collection of buildings along Del Valle Avenue is non-contributing to the proposed historic district, it nonetheless forms an integral part of the area's broader architectural and historical narrative.

The consideration of the Del Valle Avenue as part of a Levittown Section 1 Discontiguous Historic District would need further in-depth research and analysis outside the scope of this project.

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⁶ Including sources consulted by quoted document prepared by Historical Compliance Consultants for ICF.

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Determination

No archaeological properties have been identified within the APE. Based on the results of our historic property identification efforts, the Program has determined that project actions will not affect any historic properties within the Area of Potential Effect.

The proposed Del Valle Avenue project actions will be limited to activities above ground level. Previously, earth movement occurred when the existing roads and sidewalks were constructed during the 1960s. Therefore, the intended construction will occur on terrain that has already been impacted.

The following historic properties have been identified within the APE:

- Direct Effect: Del Valle Avenue construction footprint (1963). The road occupies 1,096.72 square meters. / 11,805 square feet.

Within the project area, the possibility of finding archaeological sites with stratigraphic integrity is very low. The Program has determined that project actions will not affect archaeological resources. The proposed project will be built within areas previously impacted or disturbed and will not have direct or indirect effects on archaeological resources since the construction focuses on Del Valle Avenue footprint.

The project is located within the Levittown Section 1 Discontiguous Historic District, a residential quadrangle deemed eligible for inclusion in the National Register of Historic Places (NRHP) under Criteria A and C for its significance in community planning and urbanism. As one of Puerto Rico's earliest experimental suburban developments, Levittown holds considerable historical and cultural importance within the island's broader urbanization narrative. While Del Valle Avenue is identified as a contributing structure to the Levittown Section 1 Discontiguous Historic District, it does not meet the criteria for individual NRHP eligibility. The proposed project will not adversely impact the NRHP-eligible Levittown Section 1 Discontiguous Historic District or Section 3, ensuring the preservation of the district's historical integrity.

- Indirect Effect: Del Valle East and West properties, 12,250 square meters/ 131,857.90 square feet.

Although the visual Area of Potential Effects (APE) encompasses fifty (50) buildings across fifty-four (54) parcels—including a hotel spanning two (2) lots, and two (2) vacant lots—many have undergone varying degrees of alteration. However, sixteen (16) properties continue to reflect the original urban design in terms of volume, scale, and massing. The proposed project will have no adverse effect on the proposed NRHP eligible Levittown Section 1 Discontiguous Historic District, ensuring the preservation of its historic character.

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Recommendation

The Puerto Rico Department of Housing requests that the Puerto Rico SHPO concur that the following determination is appropriate for the undertaking (Choose One):

No Historic Properties Affected

No Adverse Effect

Condition (if applicable):

Adverse Effect

Proposed Resolution (if applicable)

This Section is to be Completed by SHPO Staff Only

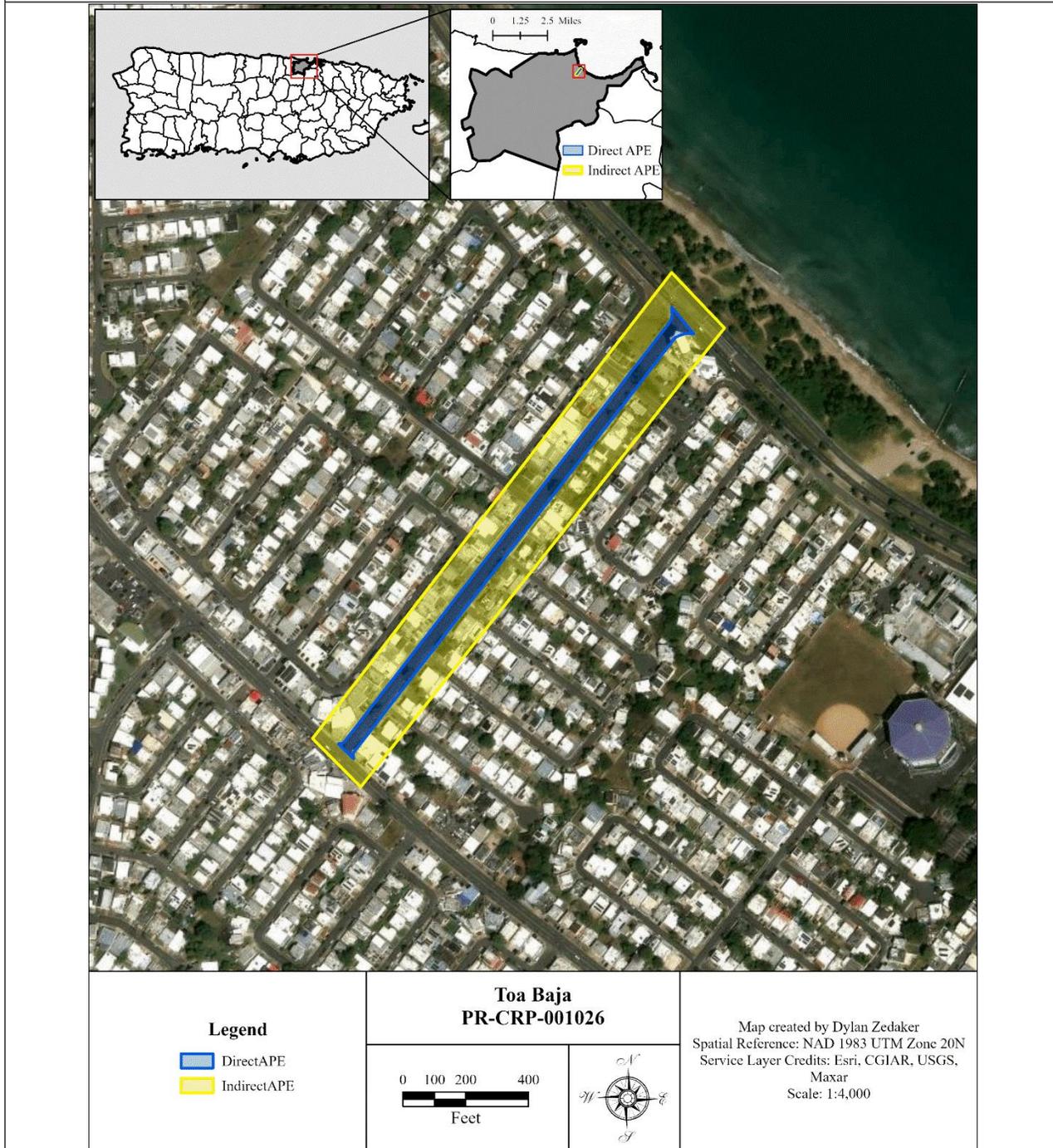
| | |
|--|-------|
| The Puerto Rico State Historic Preservation Office has reviewed the above information and: <input type="checkbox"/> Concurs with the information provided. <input type="checkbox"/> Does not concur with the information provided. | |
| Comments: | |
| Carlos Rubio-Cancela State Historic Preservation Officer | Date: |

Subrecipient: Municipality of Toa Baja

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Project (Parcel) Location – Area of Potential Effect Map (Aerial)



**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM
CITY REVITALIZATION PROGRAM (CRP)
Section 106 NHPA Effect Determination**

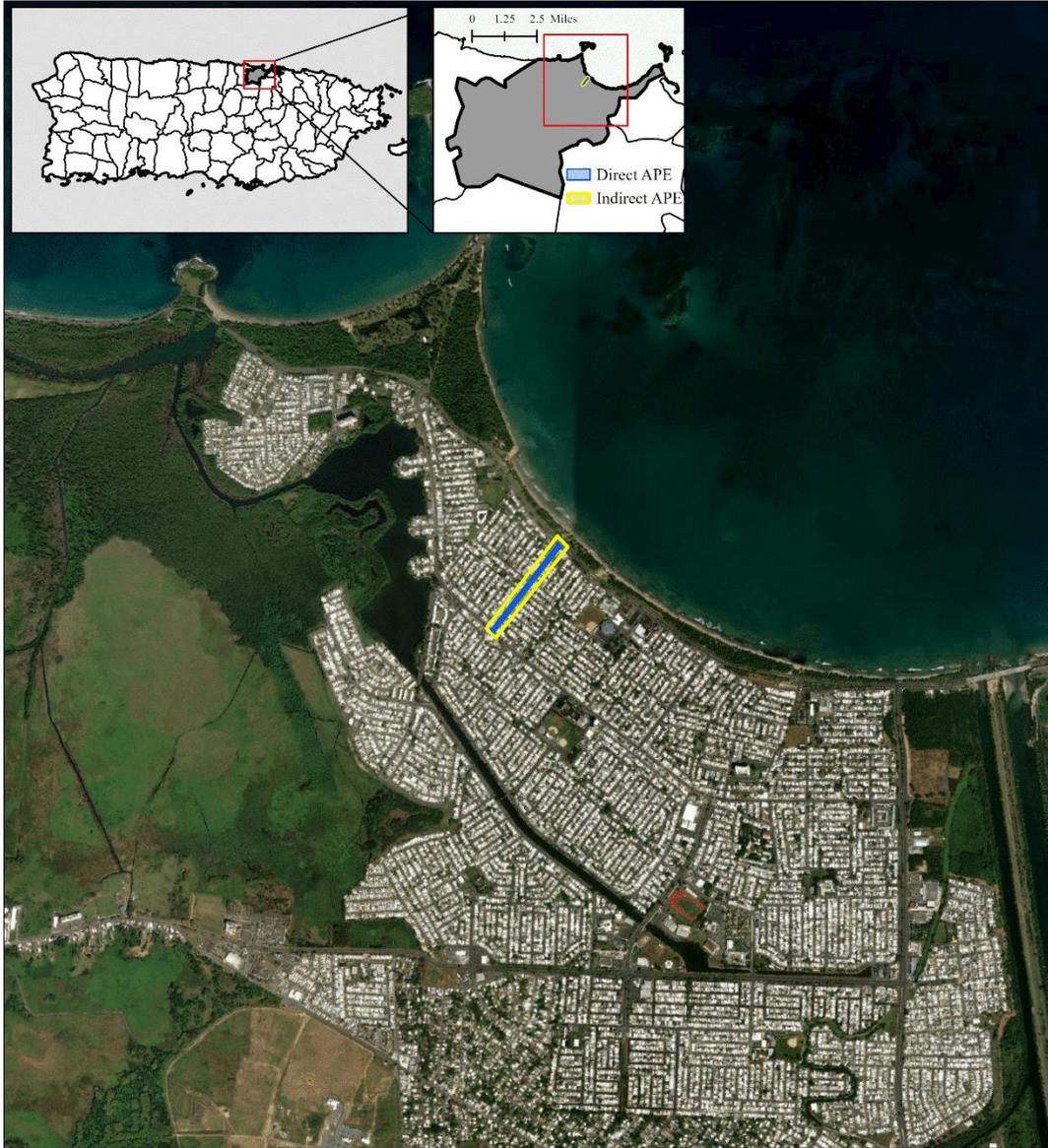


Subrecipient: Municipality of Toa Baja

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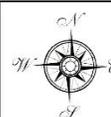
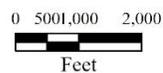
Project (Parcel) Location – Aerial Map



Legend

- Direct APE
- Indirect APE

**Toa Baja
PR-CRP-001026**



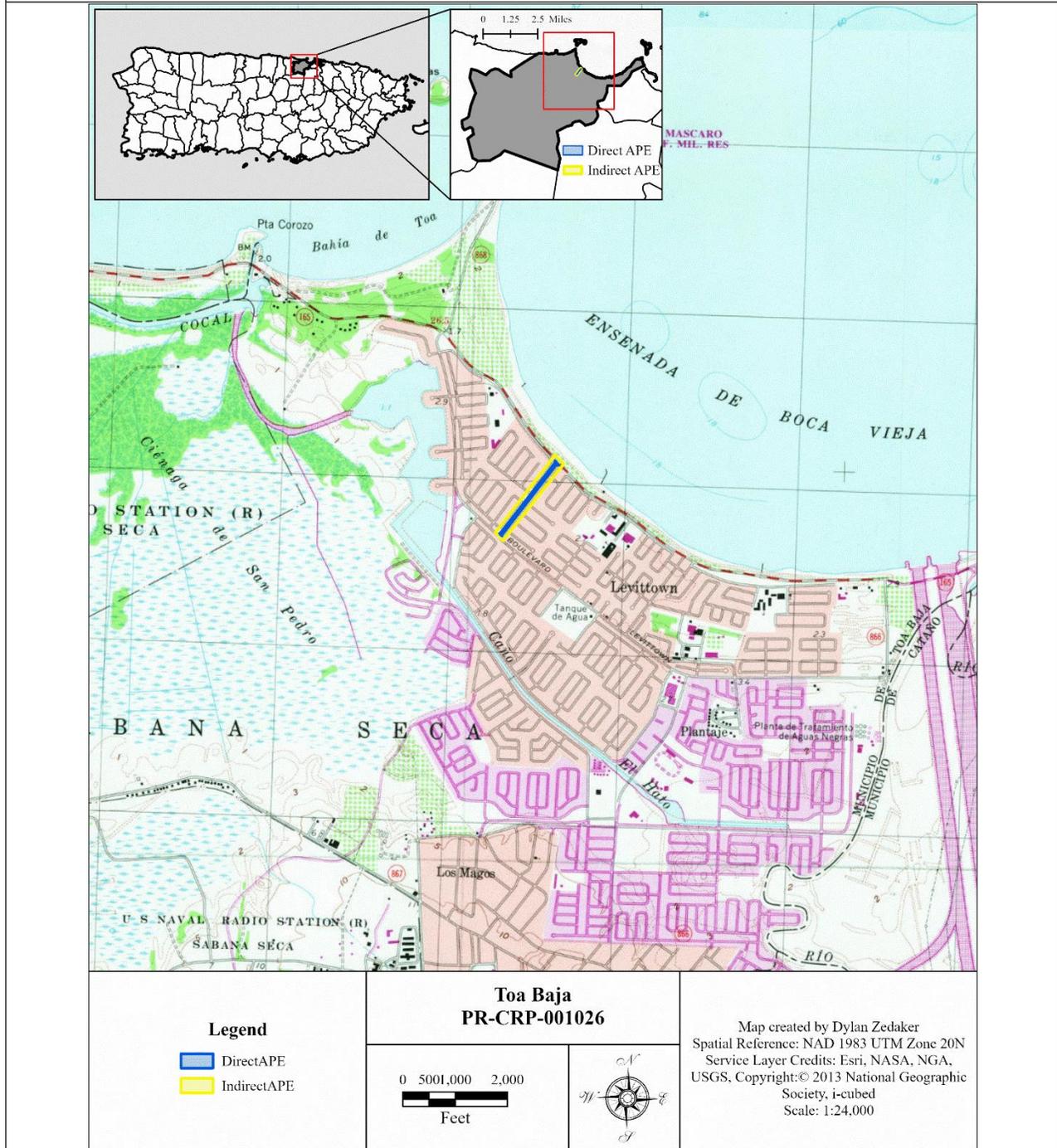
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Project (Parcel) Location – USGS Topographic Map



Subrecipient: Municipality of Toa Baja

Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET

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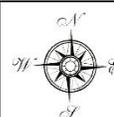
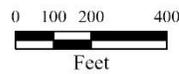
Project (Parcel) Location – Soils Map



Legend

-  DirectAPE
-  IndirectAPE
-  Soils

**Toa Baja
PR-CRP-001026**



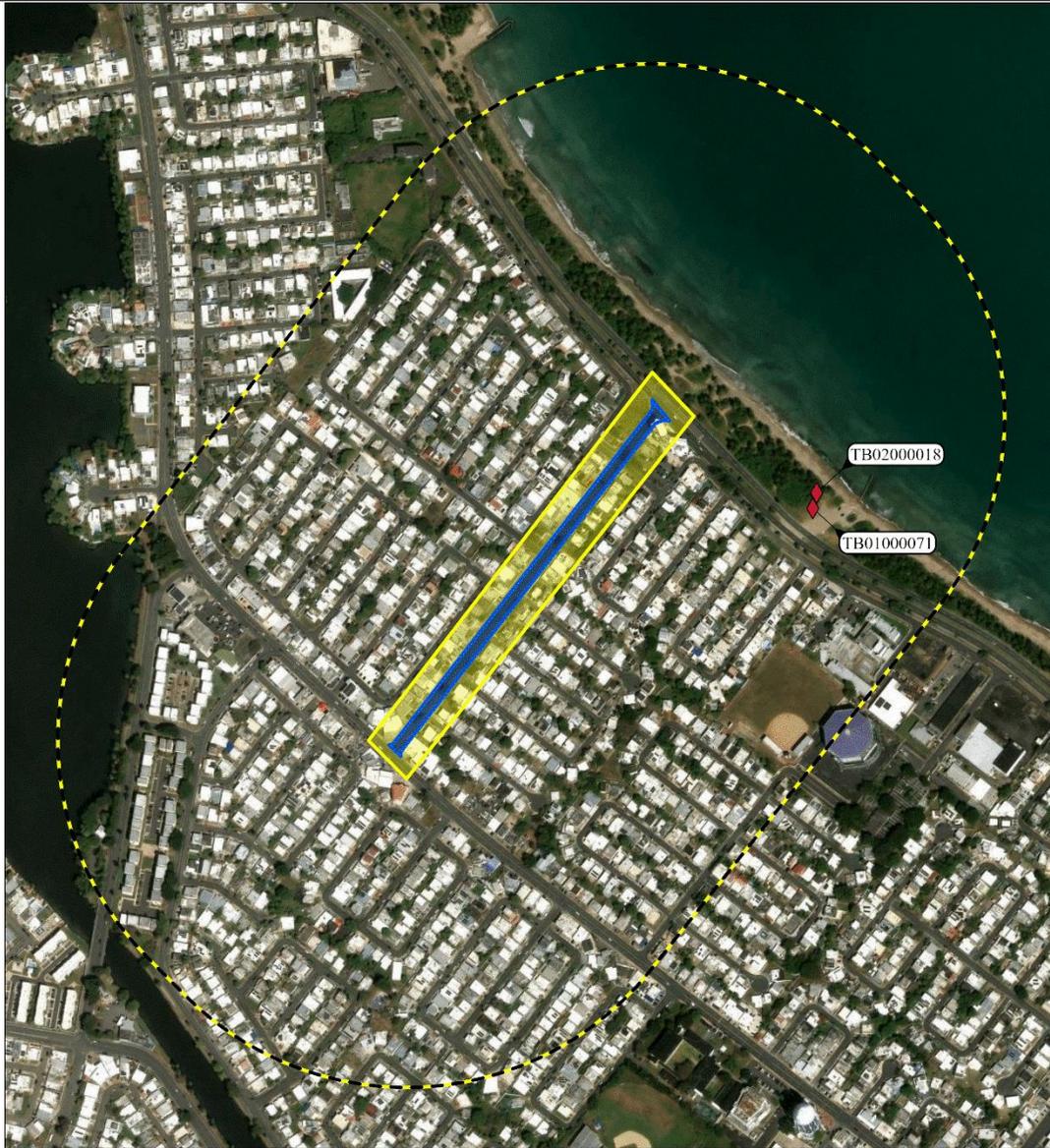
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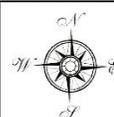
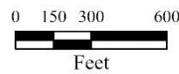
Project (Parcel) Location with Identified Historic Resources – Aerial Map



Legend

-  Cultural Resources
-  1/4 Mile Buffer
-  DirectAPE
-  IndirectAPE

Toa Baja
PR-CRP-001026



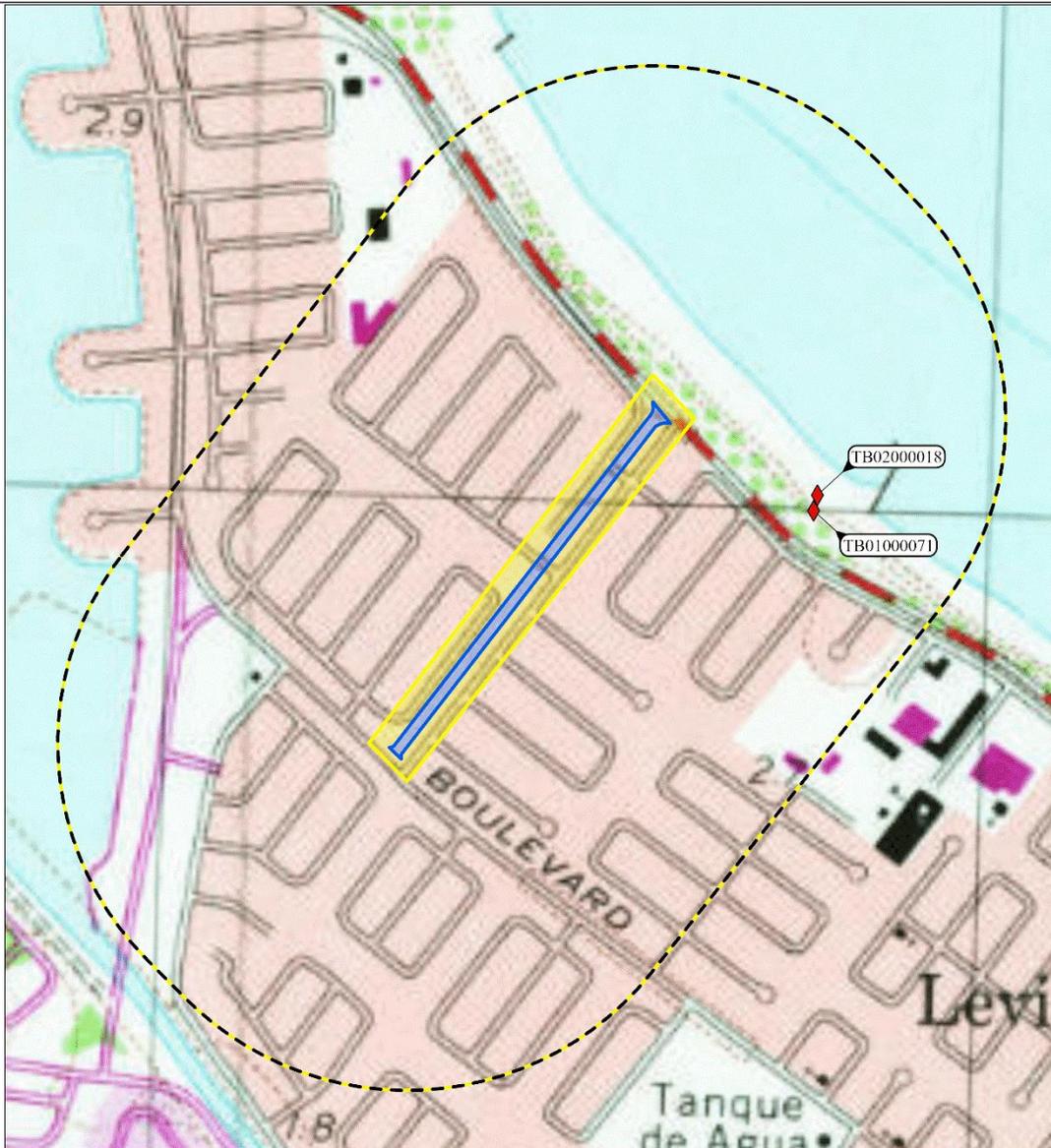
Map created by Dylan Zedaker
 Spatial Reference: NAD 1983 UTM Zone 20N
 Service Layer Credits: Maxar
 Cultural Resource Data from PRSHPO
 Scale: 1:6,000

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Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET

Project Number: PR-CRP-001026

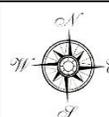
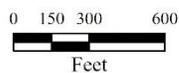
Project (Parcel) Location with Identified Historic Resources – USGS Topographic Map



Legend

-  Cultura Resources
-  1/4 Mile Buffer
-  DirectAPE
-  IndirectAPE

**Toa Baja
 PR-CRP-001026**



Map created by Dylan Zedaker
 Spatial Reference: NAD 1983 UTM Zone 20N
 Service Layer Credits: Copyright: © 2013
 National Geographic Society, i-cubed
 Cultural Resource Data from PRSHIPO
 Scale: 1:6,000

Subrecipient: Municipality of Toa Baja

Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET

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Figure 23: Location of photographs direct APE- Del Valle Ave.



DUNA ST.

DARSENA ST.

DARSENA ST.

DOSEL ST.

LEVITTOWN BOULVERD



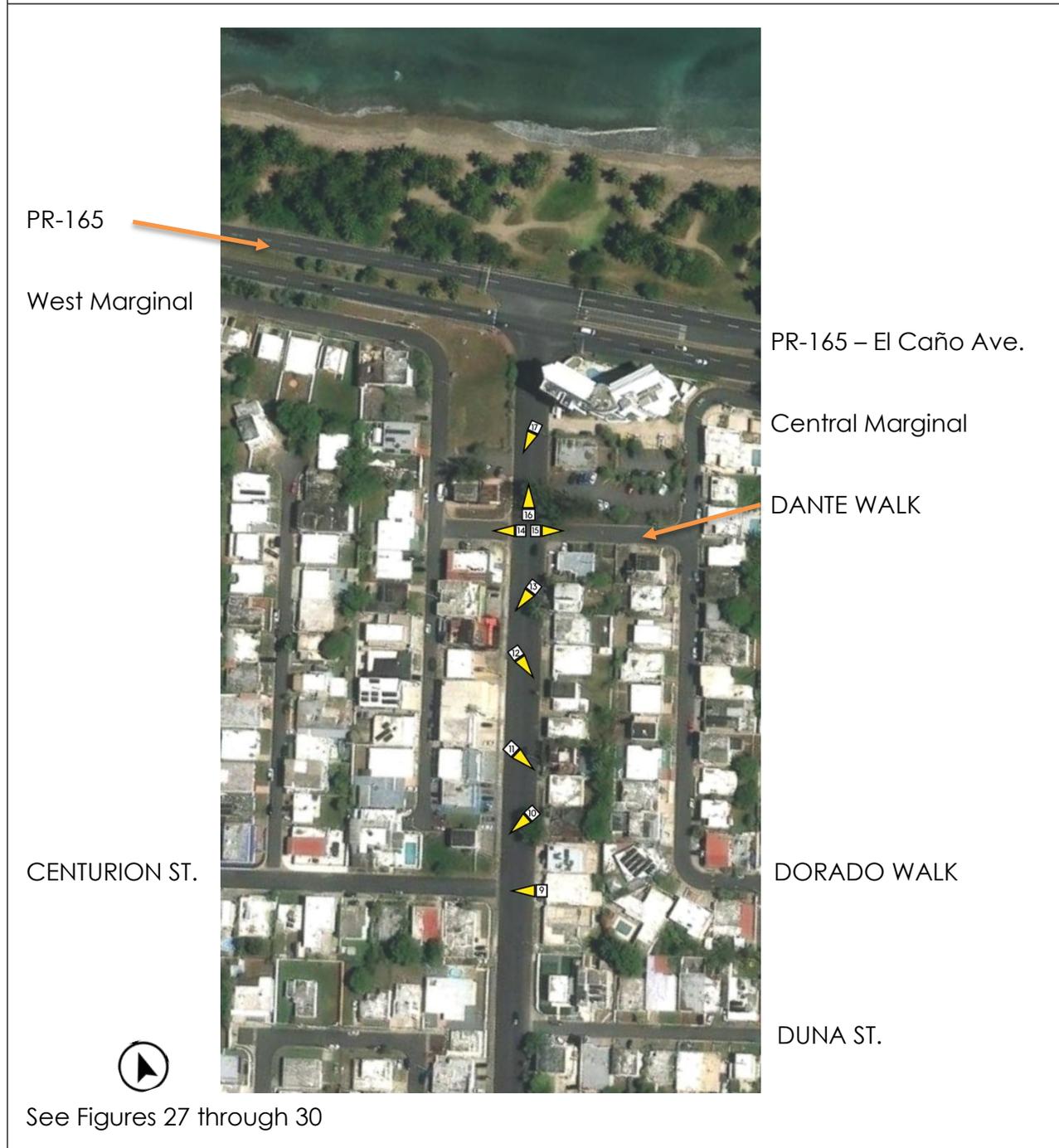
See Figures 24 through 27

Subrecipient: Municipality of Toa Baja

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Figure 24: Location of photographs direct APE- Del Valle Ave.



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Figure 25: Location of photographs direct APE- Del Valle Ave # 1, #2 and #3.

#1



#2



#3



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Figure 26: Location of photographs direct APE- Del Valle Ave # 4, #5 and #6

#4



#5



#6



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Figure 27: Location of photographs direct APE- Del Valle Ave # 7, #8 and #9

#7



#8



#9



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Figure 28: Location of photographs direct APE- Del Valle Ave # 10, #11 and #12



#10



#11



#12

Subrecipient: Municipality of Toa Baja

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Figure 29: Location of photographs direct APE- Del Valle Ave # 13, #14 and #15

#13



#14



#15



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Figure 30: Location of photographs direct APE- Del Valle Ave. #16 and #17

#16



#17



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Figure 31 Photograph Key North-West Sidewalk



Not to scale -see Figures 34-1 through 34-30



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Figure 32 Photograph Key South-East Sidewalk



Not to scale – see figures 33-1 through 33-25



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| PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination |  |
| Subrecipient: Municipality of Toa Baja | |
| Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET | |
| Project Number: PR-CRP-001026 | |

Figure 33-1

| | |
|---|---|
| Image NO. 1 East Side Walk | Date photo taken: October 2023 |
|  | |
| Parcel/Lot #: Cadastral Number | #1829 / 039-031-050-04 |
| Address: | 1829 Del Valle Avenue, Sabana Seca, Toa Baja, Puerto Rico |
| Name / Historic name: | COMFORT INN / Section 1 – Untraceable |
| Approx. Constr. Date/Style: | 1980/ 1980 contemporary concrete building |
| NRHP Status or Eligibility/Other: | Non-contributing/Not eligible |
| Description A new six-story concrete structure for a Hotel. Their original model homes were demolished. | |
| Historic Image & Description An aerial photograph from 1977, depicts houses where the Hotel stands today. | |

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| PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination |  |
| Subrecipient: Municipality of Toa Baja | |
| Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET | |
| Project Number: PR-CRP-001026 | |

Figure 33-2

| | |
|--|---|
| Image No. 2 East Side Walk | Date photo taken: October 2023 |
|  | |
| Parcel/Lot #: Cadastral Number | #1828 / 039-031-050-03 |
| Address: | 1829 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | COMFORT INN / Section 1- Untraceable |
| Approx. Constr. Date/Style: | 1980 / 1980 contemporary concrete building |
| NRHP Status or Eligibility/Other: | Non-contributing/ Not eligible |
| Description | |
| A new six-story concrete structure for a Hotel. There is no traceable original model home. | |
| Historic Image & Description | |
| An aerial photograph from 1977, depicts houses where the Hotel stands today. | |

Subrecipient: Municipality of Toa Baja

Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET

Project Number: PR-CRP-001026

Figure 33-3

| | |
|--|--|
| Image No. 3 East Side Walk | Date photo taken: October 2023 |
|  | |
| Parcel/Lot #: Cadaster Number | # 1827 / 039-031-050-02-001 |
| Address: | 1827 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | RESIDENCE / Section 1-La Camafeo |
| Approx. Constr. Date/Style: | 1963 / Model Home: La Camafeo |
| NRHP Status or Eligibility/Other: | Contributing / Not eligible |
| <p>Description</p> <p>A remodeled one-story concrete home with an added front portico with arches, drastically changing the original model home appearance.</p> | |
| <p>Historic Image & Description</p> <p>Model Home: La Camafeo: One- story concrete house with three bedrooms, two full bathrooms, living room, dining room, fully equipped kitchen and a covered driveway. The outdoor façade is mostly smooth plaster finish combined with some ornamental blocks, aluminum jalousie windows and wood entrance door.</p> | |
|  <p>LA CAMAFEO <small>2 dormitorios, 2 baños, un garaje</small></p> |  <p>PLANTA</p> |

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| PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination |  |
| Subrecipient: Municipality of Toa Baja | |
| Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET | |
| Project Number: PR-CRP-001026 | |

Figure 33-4

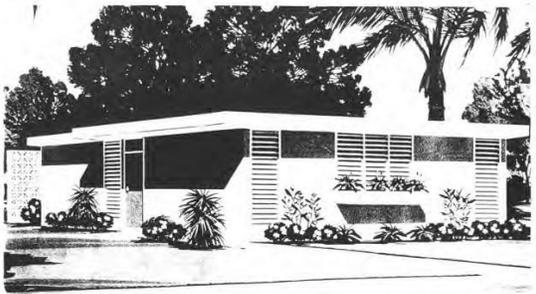
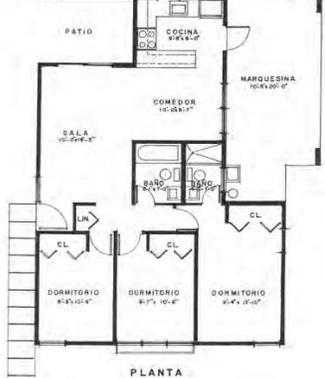
| | |
|--|---|
| Image No. 4 East Side Walk | Date photo taken: October 2023 |
|  | |
| Parcel/Lot #: Cadaster Number | #1826 / 039-031-050-01 |
| Address: | 1826 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | Parking Lot / Vacant |
| Approx. Constr. Date/Style: | N/A Vacant Lot |
| NRHP Status or Eligibility/Other: | Non-contributing/Not eligible |
| Description Empty lot | |
| Historic Image & Description N/A Vacant Lot | |

Subrecipient: Municipality of Toa Baja

Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET

Project Number: PR-CRP-001026

Figure 33-5

| | |
|--|--|
| Image No.5 East Side Walk | Date photo taken: October 2023 |
|  | |
| Parcel/Lot #: Cadaster Number | # 1808 / 039-031-049-12 |
| Address: | 1808 ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | PSICOLOGIA CLINICA / Section 1-La Camafeo |
| Approx. Constr. Date/Style: | 1963/ Modleo Home: La Camafeo |
| NRHP Status or Eligibility/Other: | Non-contributing / Not eligible |
| <p>Description A remodeled one-story concrete home turned into a commercial structure, drastically changing the original model home appearance.</p> | |
| <p>Historic Image & Description Model Home: La Camafeo: One- story concrete house with three bedrooms, two full bathrooms, living room, dining room, fully equipped kitchen and a covered driveway. The outdoor façade is mostly smooth plaster finish combined with some ornamental blocks, aluminum jalousie windows and wood entrance door.</p> | |
|  <p>LA CAMAFEO 8 dormitorios, 2 baños, terraza</p> |  <p>PLANTA</p> |

Subrecipient: Municipality of Toa Baja

Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET

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Figure 33-6

| Image No.6 East Side Walk | Date photo taken: October 2023 |
|--|--|
|  | |
| Parcel/Lot #: Cadastral Number | #1809 / 039-031-049-11 |
| Address: | 1809 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | RESIDENCE / Section 1 – La Esmeralda |
| Approx. Constr. Date/Style: | 1963 / Model Home: La Esmeralda |
| NRHP Status or Eligibility/Other: | Contributing / Not eligible |
| Description A remodeled two-story concrete home with a first-floor extension into the original front portico, drastically changing the original model home appearance. | |
| Historic Image & Description | |
| Model Home: La Esmeralda: Two-story concrete house with four bedrooms, two full bathrooms and a terrace on the second level, living room, dining room, fully equipped kitchen and a covered driveway on the first level. The outdoor façade is mostly smooth plaster finish combined with some ornamental blocks and roof ceramic tiles, aluminum jalousie windows and wood entrance door. | |
|  <p style="text-align: center;">La "ESMERALDA" <small>4 dormitorios, 2 1/2 baños, 2 balcones, terraza, carrocería</small></p> | <p style="text-align: center;">LA ESMERALDA</p>  <p style="text-align: center;">PLANTA BAJA PLANTA ALTA</p> |

Subrecipient: Municipality of Toa Baja

Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET

Project Number: PR-CRP-001026

Figure 33-7

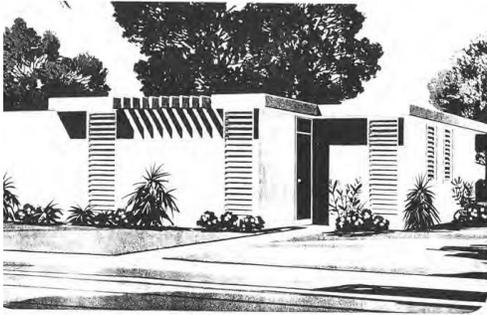
| | |
|--|---|
| Image No.7 East Side Walk | Date photo taken: October 2023 |
|  | |
| Parcel/Lot #: Cadafter Number | #1810 / 039-031-049-10 |
| Address: | 1810 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | LA CAVA DEL MAR / Section 1 |
| Approx. Constr. Date/Style: | 1963 / Original structure is untraceable |
| NRHP Status or Eligibility/Other: | Non-contributing/ Not eligible |
| <p>Description</p> <p>This property has been significantly altered and it's original building is untraceable.</p> | |
| <p>Historic Image & Description</p> <p>Untraceable</p> | |

Subrecipient: Municipality of Toa Baja

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Figure 33-8

| | |
|---|---|
| Image No.8 East Side Walk | Date photo taken: October 2023 |
|  | |
| Parcel/Lot #: Cadaster Number | #1811 / 039-031-049-09 |
| Address: | 1811 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | RESIDENCE / Section 1 – La Broche De Oro |
| Approx. Constr. Date/Style: | 1963 / Model Home: La Broche De Oro |
| NRHP Status or Eligibility/Other: | Contributing / Not eligible |
| <p>Description A remodeled one-story concrete home with an extended front wall, drastically changing the original model home appearance.</p> | |
| <p>Historic Image & Description Model Home: La Broche De Oro: One– story concrete house with three bedrooms, one full bathroom, living/ dining room, fully equipped kitchen and a covered driveway. The outdoor façade is mostly smooth plaster finish combined with some ornamental wood beams , aluminum jalousie windows and wood entrance door.</p> <div style="display: flex; justify-content: space-around;"> <div data-bbox="350 1455 837 1797">  <p style="text-align: center; font-size: small;">LA BROCHE DE ORO 8 dormitorios, 1 baño, marquesinas</p> </div> <div data-bbox="854 1419 1255 1860">  <p style="text-align: center;">PLANTA</p> </div> </div> | |

Subrecipient: Municipality of Toa Baja

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Figure 33-9

| | |
|---|---|
| Image No.9 East Side Walk | Date photo taken: October 2023 |
|  | |
| Parcel/Lot #: Cadaster Number | #1812 / 039-031-049-08 |
| Address: | 1812 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | RESIDENCE / Section 1 – La Esmeralda |
| Approx. Constr. Date/Style: | 1963 / Model Home: La Esmeralda |
| NRHP Status or Eligibility/Other: | Contributing / Not eligible |
| <p>Description</p> <p>A remodeled two-story concrete home with a first-floor extension into the original front portico, drastically changing the original model home appearance.</p> | |
| <p>Historic Image & Description</p> <p>Model Home: La Esmeralda: Two– story concrete house with four bedrooms, two full bathrooms and a terrace on the second level, living room, dining room, fully equipped kitchen and a covered driveway on the first level. The outdoor façade is mostly smooth plaster finish combined with some ornamental blocks and roof ceramic tiles, aluminum jalousie windows and wood entrance door.</p> <div style="display: flex; justify-content: space-around;"> <div data-bbox="235 1501 836 1854">  <p style="text-align: center; font-size: small;">La "ESMERALDA" a Gerardo Torres, 216 Sabana, 2 habitaciones, 2 baños, aire acondicionado</p> </div> <div data-bbox="836 1501 1365 1854"> <p style="text-align: center; font-size: x-small;">LA ESMERALDA</p>  <p style="text-align: center; font-size: x-small;">PLANTA BAJA PLANTA ALTA</p> </div> </div> | |

Subrecipient: Municipality of Toa Baja

Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET

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Figure 33-10

| | |
|--|---|
| Image No.10 East Side Walk | Date photo taken: October 2023 |
|  | |
| Parcel/Lot #: Cadaster Number | #1813 / 039-031-049-07 |
| Address: | 1813 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | RESIDENCE/ Section 1 – La Esmeralda |
| Approx. Constr. Date/Style: | 1963 / Model Home: La Esmeralda |
| NRHP Status or Eligibility/Other: | Contributing / Not eligible |
| <p>Description</p> <p>A remodeled two-story concrete home with a first-floor extension into the original front portico, drastically changing the original model home appearance.</p> | |
| <p>Historic Image & Description</p> <p>Model Home: La Esmeralda: Two– story concrete house with four bedrooms, two full bathrooms and a terrace on the second level, living room, dining room, fully equipped kitchen and a covered driveway on the first level. The outdoor façade is mostly smooth plaster finish combined with some ornamental blocks and roof ceramic tiles, aluminum jalousie windows and wood entrance door.</p> <div style="display: flex; justify-content: space-around;"> <div data-bbox="235 1501 836 1816">  <p style="text-align: center;">La "ESMERALDA" <small>a 4 dormitorios, 2 1/2 baños, 2 balcones, terraza, carportada</small></p> </div> <div data-bbox="844 1501 1367 1816"> <p style="text-align: center;">LA ESMERALDA</p>  <p style="text-align: center;">PLANTA BAJA PLANTA ALTA</p> </div> </div> | |

Subrecipient: Municipality of Toa Baja

Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET

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Figure 33-11

| Image No.11 East Side Walk | Date photo taken: October 2023 |
|--|---|
|  | |
| Parcel/Lot #: Cadastral Number | #1814 / 039-031-049-06 |
| Address: | 1814 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | RESIDENCE / Section 1 – La Esmeralda |
| Approx. Constr. Date/Style: | 1963 / Model Home: La Esmeralda |
| NRHP Status or Eligibility/Other: | Contributing / Individually eligible |
| Description A remodeled two-story concrete home with a first-floor extension into the original front portico, an added front wall, drastically changing the original model home appearance. | |
| Historic Image & Description Model Home: La Esmeralda: Two– story concrete house with four bedrooms, two full bathrooms and a terrace on the second level, living room, dining room, fully equipped kitchen and a covered driveway on the first level. The outdoor façade is mostly smooth plaster finish combined with some ornamental blocks and roof ceramic tiles, aluminum jalousie windows and wood entrance door. | |
| <div style="display: flex; align-items: center;">  <div style="margin-left: 20px;"> <p style="text-align: center;">LA ESMERALDA</p>  </div> </div> | |

Subrecipient: Municipality of Toa Baja

Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET

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Figure 33-12

| Image No.12 East Side Walk | Date photo taken: October 2023 |
|---|--|
|  | |
| Parcel/Lot #: Cadastral Number | #1815 / 039-031-049-05 |
| Address: | 1815 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | RESIDENCE / Section 1 – La Broche de Oro |
| Approx. Constr. Date/Style: | 1963 / Model Home-La Broche de Oro |
| NRHP Status or Eligibility/Other: | Contributing / Not eligible |
| <p>Description</p> <p>A remodeled one-story concrete home with an added front wall, drastically changing the original model home appearance</p> | |
| <p>Historic Image & Description</p> <p>Model Home: La Broche De Oro: One– story concrete house with three bedrooms, one full bathroom, living/ dining room, fully equipped kitchen and a covered driveway. The outdoor façade is mostly smooth plaster finish combined with some ornamental wood beams , aluminum jalousie windows and wood entrance door.</p> | |
|  <p>LA BROCHE DE ORO 3 dormitorios, 1 baño, marquesina</p> |  <p>PLANTA</p> |

Subrecipient: Municipality of Toa Baja

Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET

Project Number: PR-CRP-001026

Figure 33-13

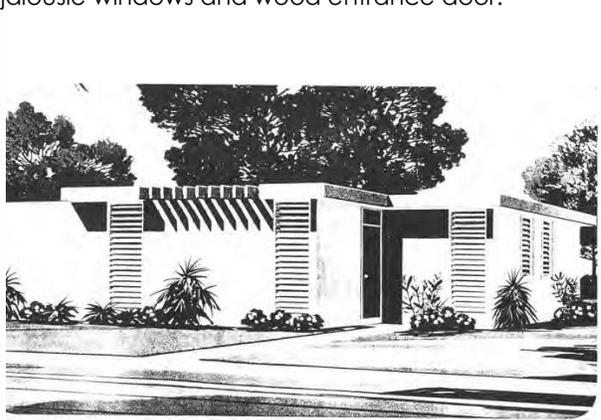
| | |
|--|--|
| Image No.13 East Side Walk | Date photo taken: October 2023 |
|  | |
| Parcel/Lot #: Cadastral Number | #1816 / 039-031-049-04 |
| Address: | 1816 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | RESIDENCE / Section 1 – La Broche de oro |
| Approx. Constr. Date/Style: | 1963 / Model Home: La Broche de Oro |
| NRHP Status or Eligibility/Other: | Contributing / Not eligible |
| <p>Description A remodeled one-story concrete home with an added front wall, drastically changing the original model home appearance</p> | |
| <p>Historic Image & Description Model Home: La Broche De Oro: One– story concrete house with three bedrooms, one full bathroom, living/ dining room, fully equipped kitchen and a covered driveway. The outdoor façade is mostly smooth plaster finish combined with some ornamental wood beams, aluminum jalousie windows and wood entrance door.</p> | |
|  <p>LA BROCHE DE ORO # 1816-031-049-04</p> |  <p>PLANTA</p> |

Subrecipient: Municipality of Toa Baja

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Figure 33-14

| | |
|---|---|
| Image No.14 East Side Walk | Date photo taken: October 2023 |
|  | |
| Parcel/Lot #: Cadaster Number | #1817 / 039-031-049-03 |
| Address: | 1817 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | RESIDENCE / Section 1 – La Broche de Oro |
| Approx. Constr. Date/Style: | 1963 / Model Home: La Broche de Oro |
| NRHP Status or Eligibility/Other: | Contributing / Not eligible |
| <p>Description A remodeled one-story concrete home with an extension into the original front porch, drastically changing the original model home appearance</p> | |
| <p>Historic Image & Description Model Home: La Broche De Oro: One– story concrete house with three bedrooms, one full bathroom, living/ dining room, fully equipped kitchen and a covered driveway. The outdoor façade is mostly smooth plaster finish combined with some ornamental wood beams, aluminum jalousie windows and wood entrance door.</p> <div style="display: flex; justify-content: space-between;"> <div data-bbox="235 1438 836 1879">  <p style="text-align: center;">LA BROCHE DE ORO <small>3 dormitorios y baño independiente</small></p> </div> <div data-bbox="852 1438 1364 1879">  <p style="text-align: center;">PLANTA</p> </div> </div> | |

Subrecipient: Municipality of Toa Baja

Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET

Project Number: PR-CRP-001026

Figure 33-15

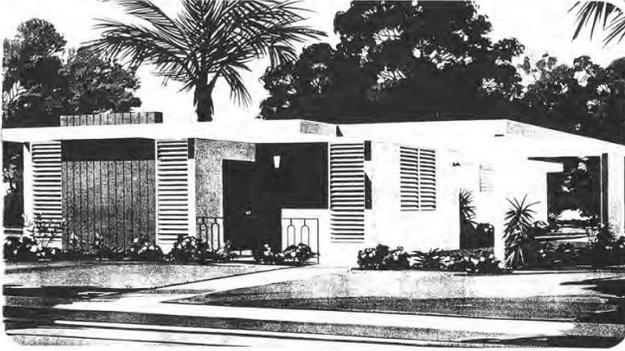
| | |
|---|---|
| Image No.15 East Side Walk | Date photo taken: October 2023 |
|  | |
| Parcel/Lot #: Cadaster Number | #1818 / 039-031-049-02 |
| Address: | 1818 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | ACCOUNTING AND ADVISORY CENTER / Section 1 – La Diadema |
| Approx. Constr. Date/Style: | 1963 / Model Home: La Diadema |
| NRHP Status or Eligibility/Other: | Contributing / Not eligible |
| <p>Description A remodeled one-story concrete commercial structure, drastically changing the original model home appearance</p> | |
| <p>Historic Image & Description Model Home: La Diadema: One– story concrete house with four bedrooms, two full bathroom, living/ dining room, fully equipped kitchen and a covered driveway. The outdoor façade is mostly smooth plaster finish combined with some ornamental wood siding, aluminum jalousie windows and wood entrance door.</p> <div style="display: flex; justify-content: space-around;"> <div data-bbox="259 1444 889 1806">  <p style="text-align: center;">LA DIADEMA 4 dormitorios, 2 baños, bñch, marquetina</p> </div> <div data-bbox="909 1333 1299 1837">  <p style="text-align: center;">PLANTA</p> </div> </div> | |

Subrecipient: Municipality of Toa Baja

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Figure 33-16

| | |
|--|---|
| Image NO.16 East Side Walk | Date photo taken: October 2023 |
|  | |
| Parcel/Lot #: Cadaster Number | # 1819 / 039-031-049-01 |
| Address: | 1819 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | RESIDENCE / Section 1 – La Diadema |
| Approx. Constr. Date/Style: | 1963 / Model Home: La Diadema |
| NRHP Status or Eligibility/Other: | Non-contributing / Not eligible |
| <p>Description A remodeled one-story concrete home with a new facade, drastically changing the original model home appearance.</p> | |
| <p>Historic Image & Description Model Home: La Diadema: One– story concrete house with four bedrooms, two full bathroom, living/ dining room, fully equipped kitchen and a covered driveway. The outdoor façade is mostly smooth plaster finish combined with some ornamental wood siding, aluminum jalousie windows and wood entrance door.</p> <div style="display: flex; justify-content: space-around;"> <div data-bbox="251 1465 876 1816">  <p style="text-align: center;">LA DIADEMA 4 dormitorios, 2 baños, balcón, marquesina</p> </div> <div data-bbox="901 1354 1291 1837">  <p style="text-align: center;">PLANTA</p> </div> </div> | |

Subrecipient: Municipality of Toa Baja

Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET

Project Number: PR-CRP-001026

Figure 33-17

| | |
|--|---|
| Image No.17 East Side Walk | Date photo taken: October 2023 |
|  | |
| Parcel/Lot #: Cadastral Number | #1682 / 039-031-075-01 |
| Address: | 1682 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | RESIDENCE / Section 1 – La Esmeralda |
| Approx. Constr. Date/Style: | 1963 / Model Home La Esmeralda |
| NRHP Status or Eligibility/Other: | Contributing / Not eligible |
| <p>Description A remodeled two-story concrete home with an added front wall, drastically changing the original model home appearance.</p> | |
| <p>Historic Image & Description Model Home: La Esmeralda: Two– story concrete house with four bedrooms, two full bathrooms and a terrace on the second level, living room, dining room, fully equipped kitchen and a covered driveway on the first level. The outdoor façade is mostly smooth plaster finish combined with some ornamental blocks and roof ceramic tiles, aluminum jalousie windows and wood entrance door.</p>  | |

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| PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination |  |
| Subrecipient: Municipality of Toa Baja | |
| Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET | |
| Project Number: PR-CRP-001026 | |

Figure 33-18

| | |
|--|---|
| Image No.18 East Side Walk | Date photo taken: October 2023 |
|  | |
| Parcel/Lot #: Cadaster Number | # 1709 / 039-031-075-28 |
| Address: | 1709 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | RESIDENCE / Section 1 – La Esmeralda |
| Approx. Constr. Date/Style: | 1963 / Model Home: La Esmeralda |
| NRHP Status or Eligibility/Other: | Contributing / Not eligible |
| Description A remodeled two-story concrete home with an added structure over second floor terrace, covered garage and perimeter wall. This model home faces Duna Street, the side facade facing Del Valle Ave has been altered with new windows and doors. The most characteristic architectural details, the roof tiles, are missing. | |

Subrecipient: Municipality of Toa Baja

Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET

Project Number: PR-CRP-001026

Historic Image & Description

Model Home: La Esmeralda: Two-story concrete house with four bedrooms, two full bathrooms and a terrace on the second level, living room, dining room, fully equipped kitchen and a covered driveway on the first level. The outdoor façade is mostly smooth plaster finish combined with some ornamental blocks and roof ceramic tiles, aluminum jalousie windows and wood entrance door.

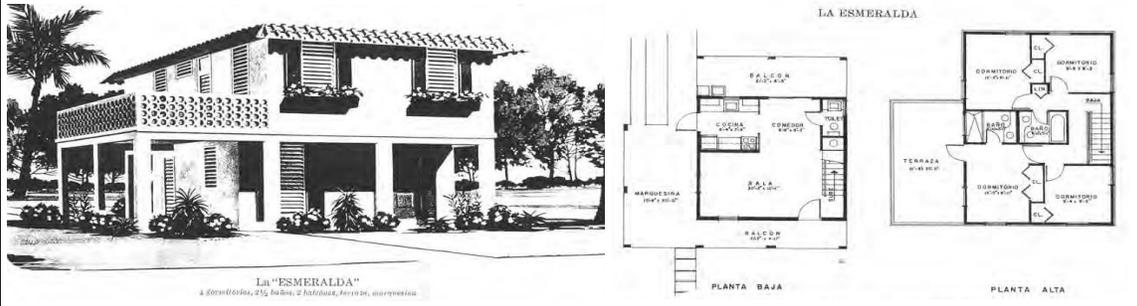


Figure 33-19

| | |
|---|---|
| Image No.19 East Side Walk | Date photo taken: October 2023 |
|  | |
| Parcel/Lot #: Cadaster Number | #1710 / 039-041-073-01 |
| Address: | 1710 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | RESIDENCE / Section 1-La Esmeralda |
| Approx. Constr. Date/Style: | 1963 / Model Home: La Esmeralda |
| NRHP Status or Eligibility/Other: | Contributing / Not eligible |
| Description | |
| A remodeled two-story concrete home with the original portico and garage covered, second floor terrace built over and an added perimeter wall. This model home faces Darsena Street, the side façade facing Del Valle Ave. has been altered with the changes mentioned. | |

Subrecipient: Municipality of Toa Baja

Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET

Project Number: PR-CRP-001026

Historic Image & Description

Model Home: La Esmeralda: Two-story concrete house with four bedrooms, two full bathrooms and a terrace on the second level, living room, dining room, fully equipped kitchen and a covered driveway on the first level. The outdoor façade is mostly smooth plaster finish combined with some ornamental blocks and roof ceramic tiles, aluminum jalousie windows and wood entrance door.



Figure 33-20

| | |
|--|--|
| Image NO.20 East Side Walk | Date photo taken: October 2023 |
|  | |
| Parcel/Lot #: Cadaster Number | #1754 / 039-041-074-01 |
| Address: | 1754 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | RESIDENCE / Section 1 – La Esmeralda |
| Approx. Constr. Date/Style: | 1963 / Model Home-La Esmeralda |
| NRHP Status or Eligibility/Other: | Non-contributing / Not eligible |
| Description | A remodeled two-story concrete home turned into a commercial structure, drastically changing the original model home appearance. |

Subrecipient: Municipality of Toa Baja

Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET

Project Number: PR-CRP-001026

Historic Image & Description

Model Home: La Esmeralda: Two-story concrete house with four bedrooms, two full bathrooms and a terrace on the second level, living room, dining room, fully equipped kitchen and a covered driveway on the first level. The outdoor façade is mostly smooth plaster finish combined with some ornamental blocks and roof ceramic tiles, aluminum jalousie windows and wood entrance door.



Figure 33-21

| | |
|--|---|
| Image No.21 East Side Walk | Date photo taken: October 2023 |
|  | |
| Parcel/Lot #: Cadaster Number | #1742 / 039-041-074-24 |
| Address: | 1742 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | RESIDENCE / Section 1 – La Esmeralda |
| Approx. Constr. Date/Style: | 1963 / Model Home : La Esmeralda |
| NRHP Status or Eligibility/Other: | Contributing / Not eligible |

Subrecipient: Municipality of Toa Baja

Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET

Project Number: PR-CRP-001026

Description

A remodeled two-story concrete home with an added front wall, drastically changing the original model home appearance.

Historic Image & Description

Model Home: La Esmeralda: Two-story concrete house with four bedrooms, two full bathrooms and a terrace on the second level, living room, dining room, fully equipped kitchen and a covered driveway on the first level. The outdoor façade is mostly smooth plaster finish combined with some ornamental blocks and roof ceramic tiles, aluminum jalousie windows and wood entrance door.



Figure 33-22

| | |
|--|---|
| Image No.22 East Side Walk | Date photo taken: October 2023 |
|  | |
| Parcel/Lot #: Cadaster Number | #1741 / 039-041-073-32 |
| Address: | 1741 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | RESIDENCE / Section 1 |
| Approx. Constr. Date/Style: | 1963 / Original Structure is Untraceable |
| NRHP Status or Eligibility/Other: | Non-contributing / Not eligible |

| | |
|--|---|
| PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination |  |
| Subrecipient: Municipality of Toa Baja | |
| Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET | |
| Project Number: PR-CRP-001026 | |

| |
|---|
| <p>Description A remodeled two-story concrete home facing Darsena St. with an added front wall facing Del Valle Ave. The front and side facade does not resemble any of the original model homes.</p> |
| <p>Historic Image & Description There is no direct clear resemblance to any of the original model homes. The aerial photo from 1977, figure 20, shows that the original footprint is behind the newer added structure towards Del Valle Ave. Untraceable.</p> |

Figure 33-23

| | |
|--|---|
| Image No.23 East Side Walk | Date photo taken: October 2023 |
|  | |
| Parcel/Lot #: Cadaster Number | #1766 / 039-041-072-01 |
| Address: | 1766 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | RESIDENCE / Section 1 – La Esmeralda |
| Approx. Constr. Date/Style: | 1963 / Model Home: La Esmeralda |

Subrecipient: Municipality of Toa Baja

Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET

Project Number: PR-CRP-001026

| | |
|---|-----------------------------|
| NRHP Status or Eligibility/Other: | Contributing / Not eligible |
| Description A remodeled two-story concrete home with an added front driveway, drastically changing the original model home appearance. | |
| Historic Image & Description Model Home: La Esmeralda: Two-story concrete house with four bedrooms, two full bathrooms and a terrace on the second level, living room, dining room, fully equipped kitchen and a covered driveway on the first level. The outdoor façade is mostly smooth plaster finish combined with some ornamental blocks and roof ceramic tiles, aluminum jalousie windows and wood entrance door. | |
|  <p style="text-align: center;">La "ESMERALDA" <small>4 dormitorios, 2 1/2 baños, 2 jacuzzis, terraza, marquesina</small></p> | |

Figure 33-24

| | |
|--|---|
| Image No.24 East Side Walk | Date photo taken: October 2023 |
|  | |
| Parcel/Lot #: Cadaster Number | #1793 / 039-041-072-28 |
| Address: | 1793 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | RESIDENCE / Section 1 – La Esmeralda |

Subrecipient: Municipality of Toa Baja

Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET

Project Number: PR-CRP-001026

| | |
|--|---------------------------------|
| Approx. Constr. Date/Style: | 1963 / Model Home: La Esmeralda |
| NRHP Status or Eligibility/Other: | Contributing / Not eligible |
| Description A remodeled two-story concrete home facing Dosel St. with an enclosed portico, added front wall facing Del Valle Ave. an extension at the back of the house and the missing roof tiles changes the appearance of original model home. | |
| Historic Image & Description Model Home: La Esmeralda: Two-story concrete house with four bedrooms, two full bathrooms and a terrace on the second level, living room, dining room, fully equipped kitchen and a covered driveway on the first level. The outdoor façade is mostly smooth plaster finish combined with some ornamental blocks and roof ceramic tiles, aluminum jalousie windows and wood | |
|  <p>The figure includes a perspective drawing of the 'La Esmeralda' house, a two-story concrete structure with a tiled roof and a covered porch. Below the drawing is the caption: 'La "ESMERALDA" 4 dormitorios, 2 1/2 baños, 2 balcones, terraza, mamparas'. To the right are two floor plans: 'PLANTA BAJA' (ground floor) and 'PLANTA ALTA' (second floor). The ground floor plan shows a living room, dining room, kitchen, and a covered driveway. The second floor plan shows four bedrooms, two bathrooms, and a terrace.</p> | |

Figure 33-25

| | |
|---|---|
| Image No.25 East Side Walk | Date photo taken: October 2023 |
|  <p>The photograph shows a modern, two-story concrete building with a flat roof and large windows. In front of the building, there are stacks of construction materials, including bags of cement and boxes of 'MAPEI' and 'weco' products. A red banner with the text 'Reserva True Value' is visible. The building is situated on a street with a clear sky and some trees in the background.</p> | |
| Parcel/Lot #: Cadaster Number | #1794 / 039-041-071-14 |
| Address: | 1794 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | TRUE VALUE / Section 1 |

| | |
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| PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination |  |
| Subrecipient: Municipality of Toa Baja | |
| Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET | |
| Project Number: PR-CRP-001026 | |

| | |
|--|----------------------------------|
| Approx. Constr. Date/Style: | 1963 / Untraceable original home |
| NRHP Status or Eligibility/Other: | Non-contributing / Not eligible |
| Description A significantly remodeled two-story commercial structure that does not resemble any of the original home model. | |
| Historic Image & Description The structure as is does not resemble any of the original model homes. An aerial photograph shows the original structure surrounded by additional structures. | |

Figure 34-1

| | |
|--|--|
| Image No. 1 West Side Walk | Date photo taken: October 2023 |
|  | |
| Parcel/Lot #: Cadaster Number | #3359 / 039-041-156-64 |
| Address: | #3359 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | AUTO SERVICIO H. MOLINA / Levittown Lake |

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|--|---|
| PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination |  |
| Subrecipient: Municipality of Toa Baja | |
| Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET | |
| Project Number: PR-CRP-001026 | |

| | |
|--|--|
| Approx. Constr. Date/Style: | 1967 - 1990 / continuous transformations |
| NRHP Status or Eligibility/Other: | Non-contributing / Not eligible |
| Description A new one-story metal pre-engineer commercial structure built on the lot of the original model home. | |
| Historic Image & Description | |

Figure 34-2

| | |
|--|--|
| Image No. 2 West Side Walk | Date photo taken: October 2023 |
|  | |
| Parcel/Lot #: Cadafter Number | #3360 / 039-041-156-63 |
| Address: | #3360 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | LEVITTOWN PET CLINIC / Lettown Lakes – Cordoba |

Subrecipient: Municipality of Toa Baja

Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET

Project Number: PR-CRP-001026

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|---|---------------------------------|
| Approx. Constr. Date/Style: | 1967 / Model Home: Cordoba |
| NRHP Status or Eligibility/Other: | Non-contributing / Not eligible |
| Description A remodeled one-story concrete commercial structure, drastically changing the original model home appearance. | |
| Historic Image & Description Model Home: Cordoba: One-story concrete house with three bedrooms, two full bathrooms, living room, dining room, fully equipped kitchen and a covered driveway. The outdoor façade is mostly smooth plaster finish combined with aluminum jalousie windows and wood entrance door. | |
|   | |

Figure 34-3

| | |
|--|---------------------------------------|
| Image No. 3 West Side Walk | Date photo taken: October 2023 |
|  | |

Subrecipient: Municipality of Toa Baja

Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET

Project Number: PR-CRP-001026

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|--|--|
| Parcel/Lot #: Cadaster Number | #3361 / 039-041-156-62 |
| Address: | #3361 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | RESIDENCE / Levittown Lakes : Zaragoza |
| Approx. Constr. Date/Style: | 1967 / Model home: Zaragoza |
| NRHP Status or Eligibility/Other: | Non-contributing / Not eligible |
| Description A remodeled one-story concrete home with an added front wall, drastically changing the original model home appearance. | |
| Historic Image & Description Model Home: Zaragoza: One-story concrete house with three bedrooms, two full bathrooms, living room, dining room, fully equipped kitchen and a covered driveway. The outdoor façade is mostly smooth plaster finish combined with, aluminum jalousie windows and wood entrance door | |
|   | |

Figure 34-4

| | |
|--|---------------------------------------|
| Image No. 4 West Side Walk | Date photo taken: October 2023 |
|  | |
| Parcel/Lot #: Cadaster Number | #3362 / 039-041-156-61 |

Subrecipient: Municipality of Toa Baja

Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET

Project Number: PR-CRP-001026

| | |
|---|--|
| Address: | #3362 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | RESIDENCE / Lavittown Lakes: Cordoba |
| Approx. Constr. Date/Style: | 1967 / Model Home: Cordoba |
| NRHP Status or Eligibility/Other: | Non-contributing / Not eligible |
| <p>Description A remodeled one-story concrete home with an added front portico with arches, drastically changing the original model home appearance.</p> | |
| <p>Historic Image & Description Model Home: Cordoba: One- story concrete house with three bedrooms, two full bathrooms, living room, dining room, fully equipped kitchen and a covered driveway. The outdoor façade is mostly smooth plaster finish combined with aluminum jalousie windows and wood entrance door.</p> | |
| <div style="display: flex; justify-content: space-around;">   </div> | |

Figure 34-5

| | |
|--|---------------------------------------|
| Image No. 5 West Side Walk | Date photo taken: October 2023 |
|  | |

Subrecipient: Municipality of Toa Baja

Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET

Project Number: PR-CRP-001026

| | |
|--|--|
| Parcel/Lot #: Cadaster Number | #3363 / 039-041-156-60 |
| Address: | #3363 AveDel Valle,Sabana Seca, Toa Baja, PR |
| Name / Historic name: | GR TATTOO / Levittown Lakes – Alcalá |
| Approx. Constr. Date/Style: | 1967 / Model Home: Alcalá |
| NRHP Status or Eligibility/Other: | Non-contributing / Not eligible |

Description

A remodeled two-story concrete home turned into a commercial use, with a first-floor extension into the original front portico, drastically changing the original model home appearance.

Historic Image & Description

Model Home: Alcalá: Two– story concrete house with four bedrooms, two full bathrooms and a terrace on the second level, living room, dining room, fully equipped kitchen, half bathroom, porche and a covered driveway on the first level. The outdoor façade is mostly smooth plaster finish, aluminum jalousie windows and wood entrance door.



Figure 34-6



Subrecipient: Municipality of Toa Baja

Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET

Project Number: PR-CRP-001026

| | |
|---|--|
| Parcel/Lot #: Cadastral Number | #3364 / 039-041-156-59 |
| Address: | #3364 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | RESIDENCE / |
| Approx. Constr. Date/Style: | 1967 / Model Home: Valladolid |
| NRHP Status or Eligibility/Other: | Non-contributing/Not eligible |

Description

A remodeled one-story concrete home with an added parking space and new entrances facing the Avenue, drastically changing the original model home appearance.

Historic Image & Description

Model Home: Valladolid: One-story concrete house with three bedrooms, two full bathrooms, living room, dining room, fully equipped kitchen and a covered driveway. The outdoor façade is mostly smooth plaster finish combined with aluminum jalousie windows and wood entrance door.

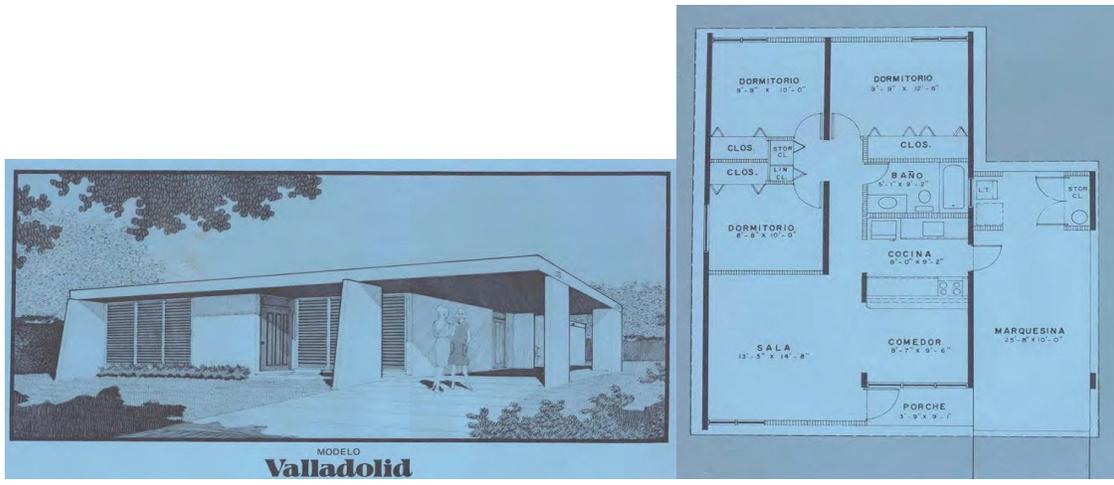


Figure 34-7

| | |
|--|---|
| PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination |  |
| Subrecipient: Municipality of Toa Baja | |
| Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET | |
| Project Number: PR-CRP-001026 | |

| | |
|--|--|
| Image No. 7 West Side Walk | Date photo taken: October 2023 |
|  | |
| Parcel/Lot #: Cadastral Number | #3365 / 039-041-156-58 |
| Address: | #3365 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | RESIDENCE / Levittown Lakes: Alcalá |
| Approx. Constr. Date/Style: | 1967 / Model Home: Alcalá |
| NRHP Status or Eligibility/Other: | Non-contributing/Not eligible |
| Description | |
| A remodeled two-story house with no resemblance to the original model home. | |
| Historic Image & Description | |
| <p>Model Home: Alcalá: Two-story concrete house with four bedrooms, two full bathrooms and a terrace on the second level, living room, dining room, fully equipped kitchen, half bathroom, porche and a covered driveway on the first level. The outdoor façade is mostly smooth plaster finish, aluminum jalousie windows and wood entrance door.</p> | |

Figure 34-8

Subrecipient: Municipality of Toa Baja

Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET

Project Number: PR-CRP-001026



| | |
|---|--|
| Parcel/Lot #: Cadastral Number | #3366 / 039-041-156-57 |
| Address: | #3366 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | RESIDENCE / Levittown Lakes: Valladolid |
| Approx. Constr. Date/Style: | 1967 / Model Home: Valladolid |
| NRHP Status or Eligibility/Other: | Non-contributing / Not eligible |

Description

A completely remodeled one story house with no resemblance to the original model home.

Historic Image & Description

Model Home: Valladolid: One-story concrete house with three bedrooms, two full bathrooms, living room, dining room, fully equipped kitchen and a covered driveway. The outdoor façade is mostly smooth plater finish combined with aluminum jalousie windows and wood entrance door.

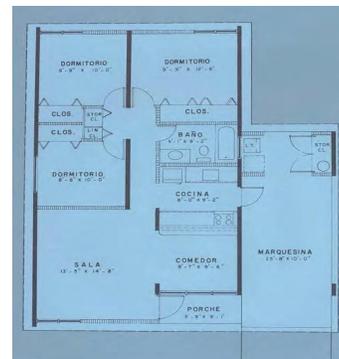
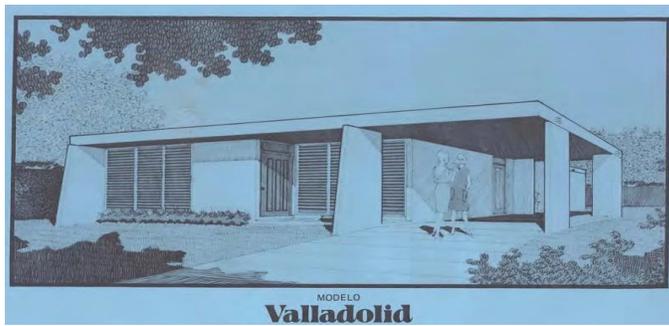


Figure 34-9

| | |
|-----------------------------------|---------------------------------------|
| Image No. 9 West Side Walk | Date photo taken: October 2023 |
|-----------------------------------|---------------------------------------|

Subrecipient: Municipality of Toa Baja

Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET

Project Number: PR-CRP-001026



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|---|--|
| Parcel/Lot #: Cadastral Number | #3367 / 039-041-156-56 |
| Address: | #3367 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | RESIDENCE / Levittown Lakes: Valladolid |
| Approx. Constr. Date/Style: | 1967 / Model Home: Valladolid |
| NRHP Status or Eligibility/Other: | Non-contributing / Not eligible |

Description

A new two-story modern concrete house with no resemblance to the original model home.

Historic Image & Description

Model Home: Alcalá: Two-story concrete house with four bedrooms, two full bathrooms and a terrace on the second level, living room, dining room, fully equipped kitchen, half bathroom, porche and a covered driveway on the first level. The outdoor façade is mostly smooth plaster finish, aluminum jalousie windows and wood entrance door.

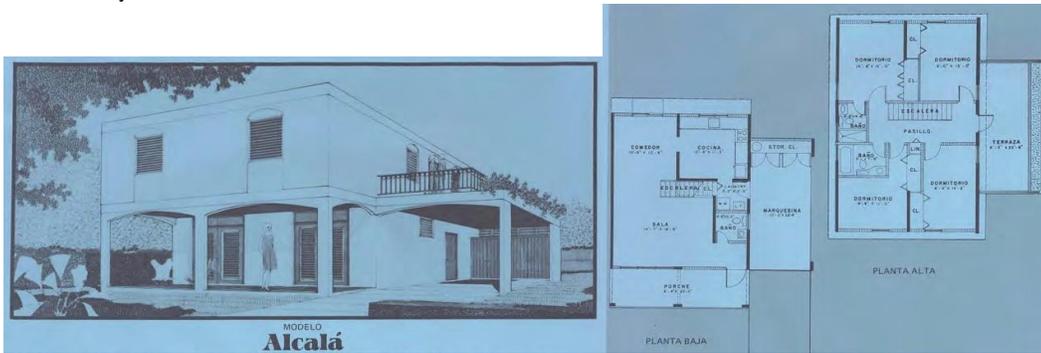


Figure 34-10

| | |
|------------------------------------|---------------------------------------|
| Image No. 10 West Side Walk | Date photo taken: October 2023 |
|------------------------------------|---------------------------------------|

Subrecipient: Municipality of Toa Baja

Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET

Project Number: PR-CRP-001026



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|---|--|
| Parcel/Lot #: Cadastral Number | #3368 |
| Address: | #3368 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | E.MEDICINA PRIMARIA / Levittown Lakes: Bilbao |
| Approx. Constr. Date/Style: | 1967 / Model Home – Bilbao |
| NRHP Status or Eligibility/Other: | Non-contributing / Not eligible |

Description

A one-story remodeled home turned into a commercial use, with no resemblance to the original model home.

Historic Image & Description

Model Home: Bilbao: One– story concrete house with three bedrooms, two full bathrooms, living room, dining room, fully equipped kitchen and a covered driveway. The outdoor façade is mostly smooth plaster finish with pitched roof, aluminum jalousie windows and wood entrance door

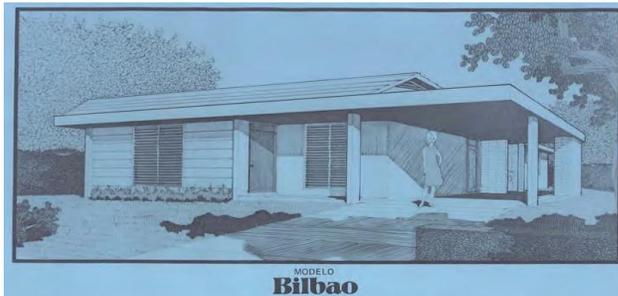


Figure 34-11

Subrecipient: Municipality of Toa Baja

Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET

Project Number: PR-CRP-001026

Image No. 11 West Side Walk

Date photo taken: October 2023



Parcel/Lot #:
 Cadaster Number

#3369 / 039-041-156-54

Address:

#3369 Ave Del Valle, Sabana Seca, Toa Baja, PR

Name /
 Historic name:

RESIDENCE / Levittown Lakes: Cordoba

Approx. Constr. Date/Style:

1967 / Model Home Cordoba

NRHP Status or Eligibility/Other:

Non-contributing / Not eligible

Description

A remodeled one-story house with an added front wall with no resemblance to the original home.

Historic Image & Description

Model Home: Cordoba: One-story concrete house with three bedrooms, two full bathrooms, living room, dining room, fully equipped kitchen and a covered driveway. The outdoor façade is mostly smooth plaster finish combined with aluminum jalousie windows and wood entrance door.



Figure 34-12

Subrecipient: Municipality of Toa Baja

Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET

Project Number: PR-CRP-001026

Image No. 12 West Side Walk

Date photo taken: October 2023



**Parcel/Lot #:
 Cadaster Number**

#3370 / 039-031-156-53

Address:

#3370 Ave Del Valle, Sabana Seca, Toa Baja, PR

**Name /
 Historic name:**

OFFICE@ NOW / Levittown Lakes: Zaragoza

Approx. Constr. Date/Style:

1967 / Model Home: Zaragoza

NRHP Status or Eligibility/Other:

Non-contributing / Not eligible

Description

A one-story remodeled house turned into a commercial use, with no resemblance to the original home.

Historic Image & Description

Model Home: Zaragoza: One- story concrete house with three bedrooms, two full bathrooms, living room, dining room, fully equipped kitchen and a covered driveway. The outdoor façade is mostly smooth plaster finish combined with, aluminum jalousie windows and wood entrance door



Figure 34-13

Subrecipient: Municipality of Toa Baja

Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET

Project Number: PR-CRP-001026

| | |
|--|---|
| Image No. 13 West Side Walk | Date photo taken: October 2023 |
|  | |
| Parcel/Lot #: Cadaster Number | #3371 / 039-031-156-52 |
| Address: | #3371 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | RESIDENCE / Levittown Lakes: Cordoba |
| Approx. Constr. Date/Style: | 1967 / Model Home: Cordoba |
| NRHP Status or Eligibility/Other: | Non-contributing / Not eligible |
| <p>Description A remodeled one-story concrete home with an added front portico with arches and front wall drastically changing the original model home appearance.</p> | |
| <p>Historic Image & Description Model Home: Cordoba: One-story concrete house with three bedrooms, two full bathrooms, living room, dining room, fully equipped kitchen and a covered driveway. The outdoor façade is mostly smooth plaster finish combined with aluminum jalousie windows and wood entrance door.</p> | |
|  <p>MODELO Córdoba</p> |  |

Figure 34-14

Subrecipient: Municipality of Toa Baja

Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET

Project Number: PR-CRP-001026

| | |
|---|--|
| Image No. 14 West Side Walk | Date photo taken: October 2023 |
|  | |
| Parcel/Lot #: Cadastral Number | #3372 / 039-031-156-51 |
| Address: | #3372 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | RESIDENCE / Levittown Lakes: Zaragoza |
| Approx. Constr. Date/Style: | 1967 / Model Hom: Zaragoza |
| NRHP Status or Eligibility/Other: | Non-contributing / Not eligible |
| <p>Description A remodeled one-story house, with no resemblance to the original model home.</p> | |
| <p>Historic Image & Description Model Home: Zaragoza: One-story concrete house with three bedrooms, two full bathrooms, living room, dining room, fully equipped kitchen and a covered driveway. The outdoor façade is mostly smooth plaster finish combined with, aluminum jalousie windows and wood entrance door</p> | |
|  <p>MODELO Zaragoza</p> |  |

Subrecipient: Municipality of Toa Baja

Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET

Project Number: PR-CRP-001026

Figure 34-15

| | |
|--|--|
| Image No. 15 West Side Walk | Date photo taken: October 2023 |
|  | |
| Parcel/Lot #: Cadaster Number | #3373 |
| Address: | #3373 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | PODIATRA / Levittown Lakes: Cordoba |
| Approx. Constr. Date/Style: | 1967 / Model Home: Cordoba |
| NRHP Status or Eligibility/Other: | Non-contributing / Not eligible |
| <p>Description</p> <p>A remodeled one-story house turned into a commercial use, with no resemblance to the original model home.</p> | |
| <p>Historic Image & Description</p> <p>Model Home: Cordoba: One-story concrete house with three bedrooms, two full bathrooms, living room, dining room, fully equipped kitchen and a covered driveway. The outdoor façade is mostly smooth plaster finish combined with aluminum jalousie windows and wood entrance door.</p> <div style="display: flex; justify-content: space-around;">   </div> | |

| | |
|--|---|
| PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination |  |
| Subrecipient: Municipality of Toa Baja | |
| Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET | |
| Project Number: PR-CRP-001026 | |

Figure 34-16

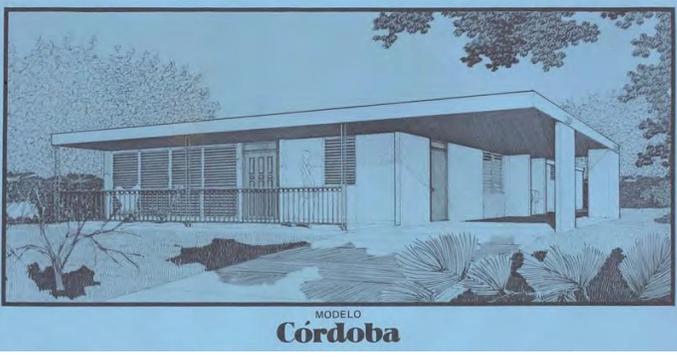
| | |
|---|--|
| Image No. 16 West Side Walk | |
|  | |
| Parcel/Lot #: Cadaster Number | # NO LOT NUMBER / 039-031-156-49 |
| Address: | Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | RESIDENCE / Levittown Lakes: |
| Approx. Constr. Date/Style: | unknown / untraceable |
| NRHP Status or Eligibility/Other: | Non-contributing / Not eligible |
| Description A one-story structure that does not resembles any of the original home models | |
| Historic Image & Description | |

Subrecipient: Municipality of Toa Baja

Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET

Project Number: PR-CRP-001026

Figure 34-17

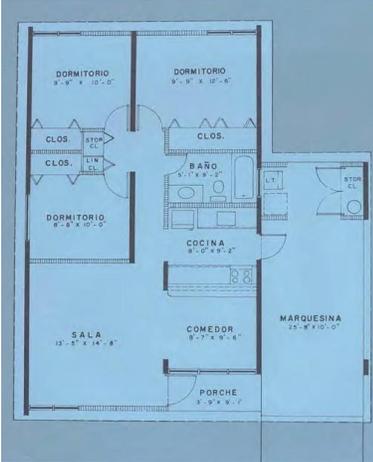
| | |
|--|--|
| Image No. 17 West Side Walk | Date photo taken: October 2023 |
|  | |
| Parcel/Lot #: Cadaster Number | #3374 / 039-031-156-50 |
| Address: | #3374 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | RESIDENCE / Levittown Lakes: Cordoba |
| Approx. Constr. Date/Style: | 1967 / Model Home: Cordoba |
| NRHP Status or Eligibility/Other: | Non-contributing / Not eligible |
| <p>Description</p> <p>A remodeled single-story house with an added front wall with no resemblance to the original home.</p> | |
| <p>Historic Image & Description</p> <p>Model Home: Cordoba: One-story concrete house with three bedrooms, two full bathrooms, living room, dining room, fully equipped kitchen and a covered driveway. The outdoor façade is mostly smooth plaster finish combined with aluminum jalousie windows and wood entrance door.</p> | |
|  <p>MODELO Córdoba</p> |  |

Subrecipient: Municipality of Toa Baja

Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET

Project Number: PR-CRP-001026

Figure 34-18

| | |
|--|--|
| Image No. 18 West Side Walk | Date photo taken: October 2023 |
|  | |
| Parcel/Lot #: Cadaster Number | #3182 / 039-031-155-22 |
| Address: | #3182 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | RESIDENCE / Levittown Lake: Valladolid |
| Approx. Constr. Date/Style: | 1967 / Model Home: Valladolid |
| NRHP Status or Eligibility/Other: | Non-contributing / Not eligible |
| <p>Description A remodeled single-story house with no resemblance to the original home.</p> | |
| <p>Historic Image & Description Model Home: Valladolid: One- story concrete house with three bedrooms, two full bathrooms, living room, dining room, fully equipped kitchen and a covered driveway. The outdoor façade is mostly smooth plaster finish combined with aluminum jalousie windows and wood entrance door.</p> | |
|  <p style="text-align: center;">MODELO Valladolid</p> |  |

Subrecipient: Municipality of Toa Baja

Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET

Project Number: PR-CRP-001026

Figure 34-19

| | |
|---|---|
| Image No. 19 West Side Walk | Date photo taken: October 2023 |
|  | |
| Parcel/Lot #: Cadafter Number | #3180 / 039-031-154-09 |
| Address: | #3180 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | RESIDENCE / Levittoen Lakes: Alcalá |
| Approx. Constr. Date/Style: | 1967 / Model Home: Alcalá |
| NRHP Status or Eligibility/Other: | Non-contributing / Not eligible |
| <p>Description A remodeled two-story house with added parking space, with no resemblance to the original model home.</p> | |
| <p>Historic Image & Description Model Home: Alcalá: Two-story concrete house with four bedrooms, two full bathrooms and a terrace on the second level, living room, dining room, fully equipped kitchen, half bathroom, porche and a covered driveway on the first level. The outdoor façade is mostly smooth plaster finish, aluminum jalousie windows and wood entrance door.</p> | |
|  <p style="text-align: center;">MODELO Alcalá</p> |  <p style="text-align: center;">PLANTA ALTA PLANTA BAJA</p> |

| | |
|--|---|
| PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination |  |
| Subrecipient: Municipality of Toa Baja | |
| Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET | |
| Project Number: PR-CRP-001026 | |

Figure 34-20

| | |
|--|--|
| Image No. 20 West Side Walk | Date photo taken: October 2023 |
|  | |
| Parcel/Lot #: Cadastral Number | #3179 / 039-031-154-08 |
| Address: | #3179 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | DR. CARLOS RUIZ/ Levittown Lake |
| Approx. Constr. Date/Style: | 1967-present / Model Home: untraceable |
| NRHP Status or Eligibility/Other: | Non-contributing / Not eligible |
| Description A single-story commercial structure, with no resemblance to any original model home. | |
| Historic Image & Description | |

| | |
|--|---|
| PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination |  |
| Subrecipient: Municipality of Toa Baja | |
| Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET | |
| Project Number: PR-CRP-001026 | |

Figure 34-21

| | |
|--|---|
| Image No. 21 West Side Walk | Date photo taken: October 2023 |
|  | |
| Parcel/Lot #: Cadaster Number | #3178 / 039-031-154-07 |
| Address: | #3178 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | OPTIMUM PERFORMANCE CHIROPRACTIC/ Levittown Lakes - |
| Approx. Constr. Date/Style: | 1967 / Model home: untraceable |
| NRHP Status or Eligibility/Other: | Non-contributing / Not eligible |
| Description A two-story concrete commercial building with no resemblance to any original model home. | |
| Historic Image & Description | |

| | |
|--|---|
| PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination |  |
| Subrecipient: Municipality of Toa Baja | |
| Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET | |
| Project Number: PR-CRP-001026 | |

Figure 34-22

| | |
|--|--|
| Image No. 22 West Side Walk | Date photo taken: October 2023 |
|  | |
| Parcel/Lot #: Cadastral Number | #3177 / 039-031-154-06 |
| Address: | #3177 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | RESIDENCE / Levittown Lakes - |
| Approx. Constr. Date/Style: | 1967 / Model Home: untraceable |
| NRHP Status or Eligibility/Other: | Non-contributing / Not eligible |
| Description A two-story concrete commercial building with no resemblance to any original model home. | |
| Historic Image & Description | |

| | |
|--|---|
| PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination |  |
| Subrecipient: Municipality of Toa Baja | |
| Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET | |
| Project Number: PR-CRP-001026 | |

Figure 34-23

| | |
|--|--|
| Image No. 23 West Side Walk | Date photo taken: October 2023 |
|  | |
| Parcel/Lot #: Cadaster Number | #3176 / 039-031-154-05 |
| Address: | #3176 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | NEW YORK BAR & GRILL. / Levittown Lakes - |
| Approx. Constr. Date/Style: | 1967 / Model Home: Untraceable |
| NRHP Status or Eligibility/Other: | Non-contributing / Not eligible |
| Description A two-story concrete commercial building with no resemblance to any original model home. | |
| Historic Image & Description | |

| | |
|--|---|
| PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination |  |
| Subrecipient: Municipality of Toa Baja | |
| Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET | |
| Project Number: PR-CRP-001026 | |

Figure 34-24

| | |
|--|--|
| Image No. 24 West Side Walk | Date photo taken: October 2023 |
|  | |
| Parcel/Lot #: Cadaster Number | #3175 / 039-031-154-04 |
| Address: | #3175 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | CENTRO MEDICO FAMILIAR / Levittown Lakes: |
| Approx. Constr. Date/Style: | 1967 / Model Home: untraceable |
| NRHP Status or Eligibility/Other: | Non-contributing / Not eligible |
| Description A single -story concrete commercial building with no resemblance to any original model home. | |
| Historic Image & Description | |

| | |
|--|---|
| PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination |  |
| Subrecipient: Municipality of Toa Baja | |
| Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET | |
| Project Number: PR-CRP-001026 | |

Figure 34-25

| | |
|---|--|
| Image No. 25 West Side Walk | Date photo taken: October 2023 |
|  | |
| Parcel/Lot #: Cadastral Number | #3174 / 039-031-154-03 |
| Address: | #3174 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | LA CAVA DEL MAR / Levittown Lakes- |
| Approx. Constr. Date/Style: | 1967 / Model home: Untraceable |
| NRHP Status or Eligibility/Other: | Non-contributing / Not eligible |
| Description A two-story concrete commercial building with no resemblance to any of the original model home. | |
| Historic Image & Description | |

| | |
|--|---|
| PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination |  |
| Subrecipient: Municipality of Toa Baja | |
| Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET | |
| Project Number: PR-CRP-001026 | |

Figure 34-26

| | |
|---|--|
| Image No. 26 West Side Walk | Date photo taken: October 2023 |
|  | |
| Parcel/Lot #: Cadaster Number | #3173 / 039-031-154-02 |
| Address: | #3173 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | LEVITTOWN SMOKE SHOP / Levittown Lakes: |
| Approx. Constr. Date/Style: | 1967 / Model Home: Untraceable |
| NRHP Status or Eligibility/Other: | Non-contributing / Not eligible |
| Description A two-story concrete commercial building with no resemblance to any of the original model home. | |
| Historic Image & Description | |

| | |
|--|---|
| PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination |  |
| Subrecipient: Municipality of Toa Baja | |
| Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET | |
| Project Number: PR-CRP-001026 | |

Figure 34-27

| | |
|---|---|
| Image No. 27 West Side Walk | Date photo taken: October 2023 |
|  | |
| Parcel/Lot #: Cadaster Number | #3172 / 039-031-154-01 |
| Address: | #3172 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | ORGANI CO-CANNABIS MEDICINNAL YES I CANN / Levittown Lakes – |
| Approx. Constr. Date/Style: | 1967 / Model Home: Untraceable |
| NRHP Status or Eligibility/Other: | Non-contributing / Not eligible |
| Description A two-story concrete commercial building with no resemblance to any of the original model home. | |
| Historic Image & Description | |

Subrecipient: Municipality of Toa Baja

Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET

Project Number: PR-CRP-001026

Figure 34-28

| | |
|--|--|
| Image No. 28 West Side Walk | Date photo taken: October 2023 |
|  | |
| Parcel/Lot #: Cadafter Number | #3171 / 039-031-153-06 |
| Address: | #3171 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | KURAO / Levittown Lakes: Alcalá |
| Approx. Constr. Date/Style: | 1967/ Model Home; Alcalá |
| NRHP Status or Eligibility/Other: | Non-contributing / Not eligible |
| <p>Description A two-story concrete commercial building with no resemblance to the original model home.</p> | |
| <p>Historic Image & Description Model Home: Alcalá: Two– story concrete house with four bedrooms, two full bathrooms and a terrace on the second level, living room, dining room, fully equipped kitchen, half bathroom, porche and a covered driveway on the first level. The outdoor façade is mostly smooth plaster finish, aluminum jalousie windows and wood entrance door.</p> | |
|  <p>MODELO Alcalá</p> |  <p>PLANTA BAJA</p> <p>PLANTA ALTA</p> |

Subrecipient: Municipality of Toa Baja

Project Name: CONVERSION OF DEL VALLE AVENUE INTO A COMPLETE STREET

Project Number: PR-CRP-001026

Figure 34-29

| | |
|--|--|
| Image No. 29-30 West Side Walk | Date photo taken: October 2023 |
|  | |
| Parcel/Lot #: Cadaster Number | #3171 / 039-031-153-06 |
| Address: | #3171 Ave Del Valle, Sabana Seca, Toa Baja, PR |
| Name / Historic name: | Empty Lot / Levittown Lakes |
| Approx. Constr. Date/Style: | Empty Lot |
| NRHP Status or Eligibility/Other: | Not applicable |
| Description Empty Lot. | |
| Historic Image & Description This was part of Section 3 - Levittown Lakes development. No model home reference could be found. | |

PR-CRP-001026

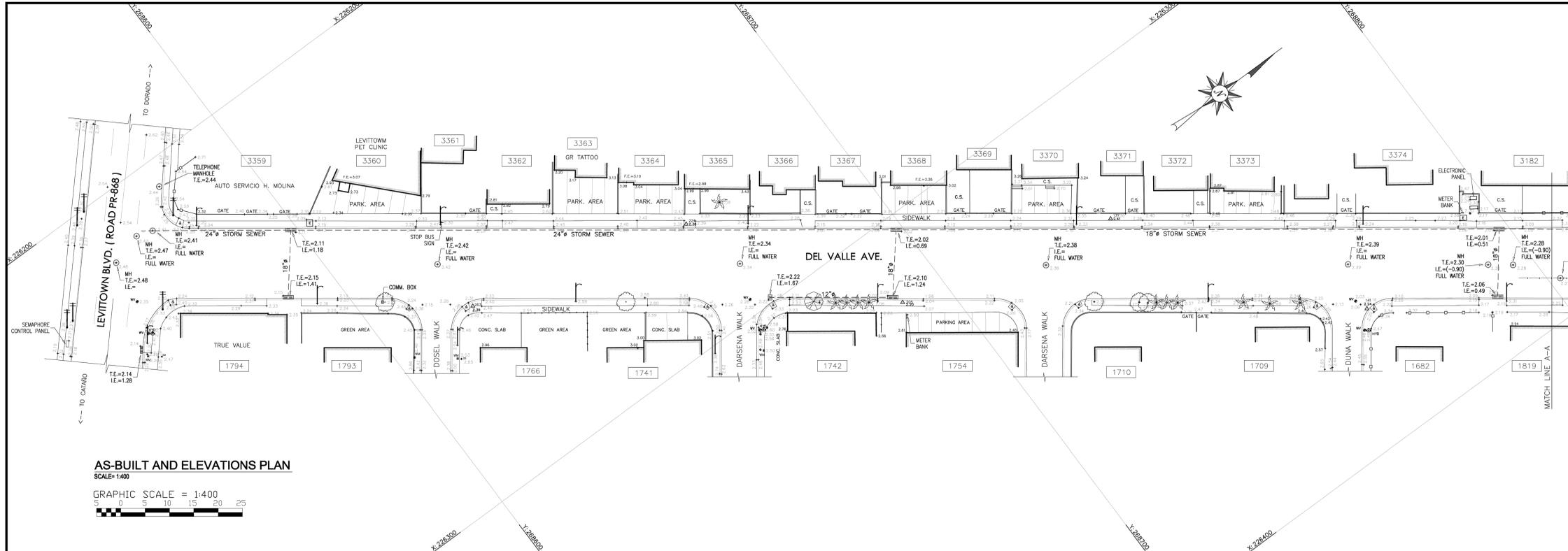
**Conversión de la Avenida del Valle a una
Calle Completa Project**

Toa Baja, Puerto Rico

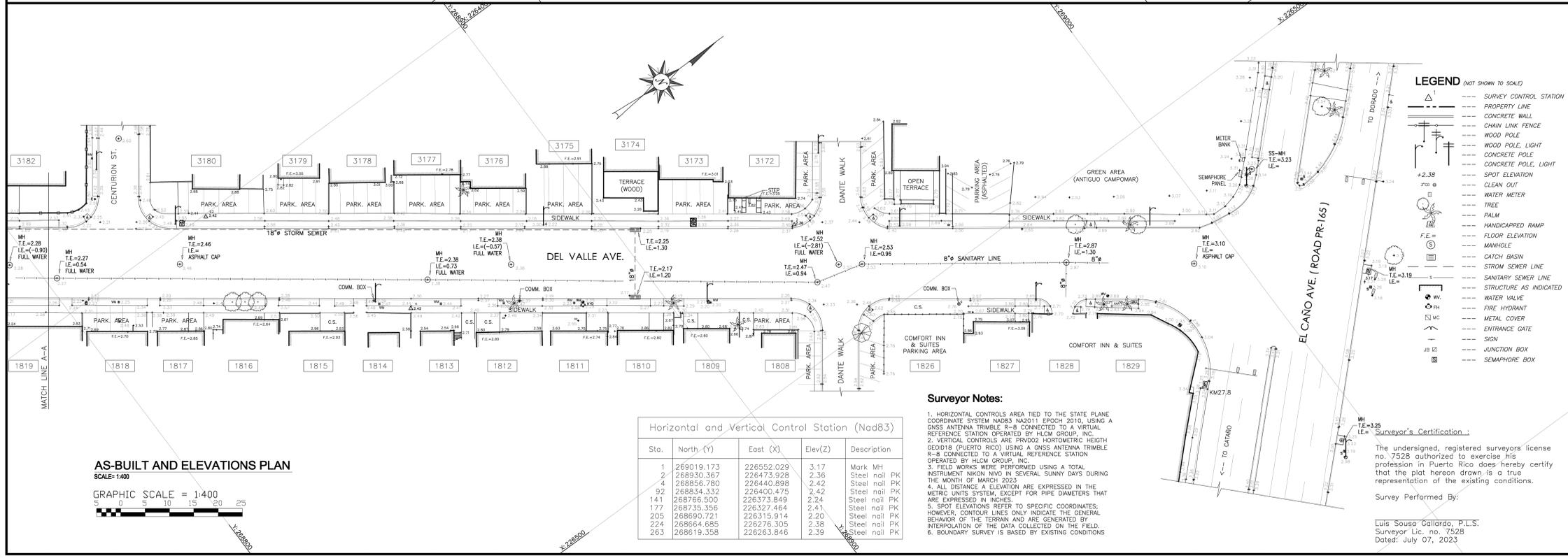
60% Design Drawings

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AS-BUILT AND ELEVATIONS PLAN
SCALE=1:400
GRAPHIC SCALE = 1:400
0 5 10 15 20 25



AS-BUILT AND ELEVATIONS PLAN
SCALE=1:400
GRAPHIC SCALE = 1:400
0 5 10 15 20 25

Horizontal and Vertical Control Station (Nad83)

| Sta. | North (Y) | East (X) | Elev(Z) | Description |
|------|------------|------------|---------|---------------|
| 1 | 269019.173 | 226552.029 | 3.17 | Mark MH |
| 2 | 268930.367 | 226473.928 | 2.36 | Steel nail PK |
| 4 | 268856.780 | 226440.898 | 2.42 | Steel nail PK |
| 92 | 268834.332 | 226400.475 | 2.42 | Steel nail PK |
| 141 | 268766.500 | 226373.849 | 2.24 | Steel nail PK |
| 177 | 268735.356 | 226327.464 | 2.41 | Steel nail PK |
| 205 | 268690.721 | 226315.914 | 2.20 | Steel nail PK |
| 224 | 268664.685 | 226276.305 | 2.38 | Steel nail PK |
| 263 | 268619.358 | 226263.846 | 2.39 | Steel nail PK |

Surveyor Notes:

1. HORIZONTAL CONTROLS AREA TIED TO THE STATE PLANE COORDINATE SYSTEM NAD83 EPOCH 2011, USING A GNSS ANTENNA TRIMBLE R-8 CONNECTED TO A VIRTUAL REFERENCE STATION OPERATED BY HLCM GROUP, INC.
2. VERTICAL CONTROLS ARE PROVIDED HORTOMETRIC HEIGHT GGD018 (PUERTO RICO) USING A GNSS ANTENNA TRIMBLE R-8 CONNECTED TO A VIRTUAL REFERENCE STATION OPERATED BY HLCM GROUP, INC.
3. FIELD WORKS WERE PERFORMED USING A TOTAL INSTRUMENT NIKON NIVO IN SEVERAL SUNNY DAYS DURING THE MONTH OF MARCH 2023.
4. ALL DISTANCE & ELEVATION ARE EXPRESSED IN THE METRIC UNITS SYSTEM, EXCEPT FOR PIPE DIAMETERS THAT ARE EXPRESSED IN INCHES.
5. SPOT ELEVATIONS REFER TO SPECIFIC COORDINATES; HOWEVER, CONTOUR LINES ONLY INDICATE THE GENERAL BEHAVIOR OF THE TERRAIN AND ARE GENERATED BY INTERPOLATION OF THE DATA COLLECTED ON THE FIELD.
6. BOUNDARY SURVEY IS BASED BY EXISTING CONDITIONS.

- LEGEND (NOT SHOWN TO SCALE)**
- SURVEY CONTROL STATION
 - PROPERTY LINE
 - CONCRETE WALL
 - CHAIN LINK FENCE
 - WOOD POLE
 - WOOD POLE, LIGHT
 - CONCRETE POLE
 - CONCRETE POLE, LIGHT
 - SPOT ELEVATION
 - CLEAN OUT
 - WATER METER
 - TREE
 - PALM
 - HANDICAPPED RAMP
 - FLOOR ELEVATION
 - MANHOLE
 - CATCH BASIN
 - STORM SEWER LINE
 - SANITARY SEWER LINE
 - STRUCTURE AS INDICATED
 - WATER VALVE
 - FIRE HYDRANT
 - METAL COVER
 - ENTRANCE GATE
 - SIGN
 - JUNCTION BOX
 - SEMAPHORE BOX

Surveyor's Certification:

The undersigned, registered surveyors license no. 7528 authorized to exercise his profession in Puerto Rico does hereby certify that the plot hereon drawn is a true representation of the existing conditions.

Survey Performed By:
Luis Sousa Gallardo, P.L.S.
Surveyor Lic. no. 7528
Dated: July 07, 2023

1864, SUITE no. 2
PRINCE DE LEON AVENUE
SAN JUAN, PUERTO RICO
P.O. BOX 190766, SAN JUAN
PUERTO RICO 00919-0766
office (787) 786-3000
cell (939) 640-3000
s3ousasurveying@gmail.com

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| NUM. | DATE | DESCRIPTION |
|------|------|-------------|
| 5 | | |
| 4 | | |
| 3 | | |
| 2 | | |
| 1 | | |

SURVEY PLAN AND ELEVATIONS PLAN

DEL VALLE AVENUE

DEL VALLE AVE. LEVITTOWN DEV., MUNICIPALITY OF TOA BAJA, PUERTO RICO

DRAWING TITLE: SURVEY PLAN

WORK ORDER NUMBER: 23-13

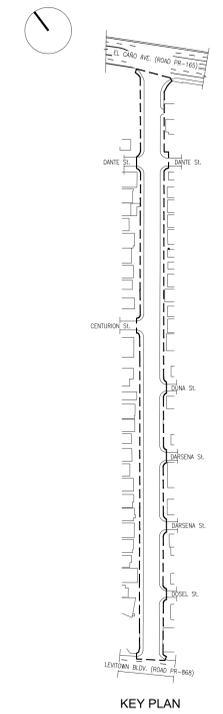
DATE STARTED: Jun. 23, 2023 | UPDATE: Jul. 07, 2023

CADD FILE NAME: 23-13 | SHEET NO. P.A.C.: 1-1

SCALE: SHL 24x36 | SHL 11x17 | 1:400m

SHEET NUMBER: 1 | 1

DRAWING NUMBER: **SRV-1**



NOTA IMPORTANTE:

Yo, FERNANDO LUGO, ARQUITECTO, LICENCIA 8495, certifico que soy el profesional que diseñó la arquitectura, en esta etapa y las especificaciones complementarias, técnicas, constructivas y de detalle general y especificaciones cumplen con las disposiciones aplicables del Reglamento Constructor y las disposiciones aplicables de los reglamentos y Código de Construcción Vigentes de las Agencias, Junta Reglamentadora y Corporaciones Públicas con jurisdicción. Certifico, además, que en la preparación de estos planos y especificaciones se ha cumplido cabalmente con lo dispuesto en la Ley 14-2004, según enmendada, conocida como la Ley que la Invertebra, según enmendada, y con la Ley Núm. 319 de 15 de mayo de 1938, según enmendada, Ley Núm. 96 de 6 de Julio de 1978, según enmendada, según aplica. Reconozco que cualquier declaración falsa o falsificación de los hechos que se haya prestado por desconocimiento o por negligencia, ya sea por mí, mis agentes o empleados, o por otras personas con mi consentimiento, me hacen responsable de cualquier acción judicial y disciplinaria por la Corte.

CONSTRUCTION DOCUMENTS

Jan 2024

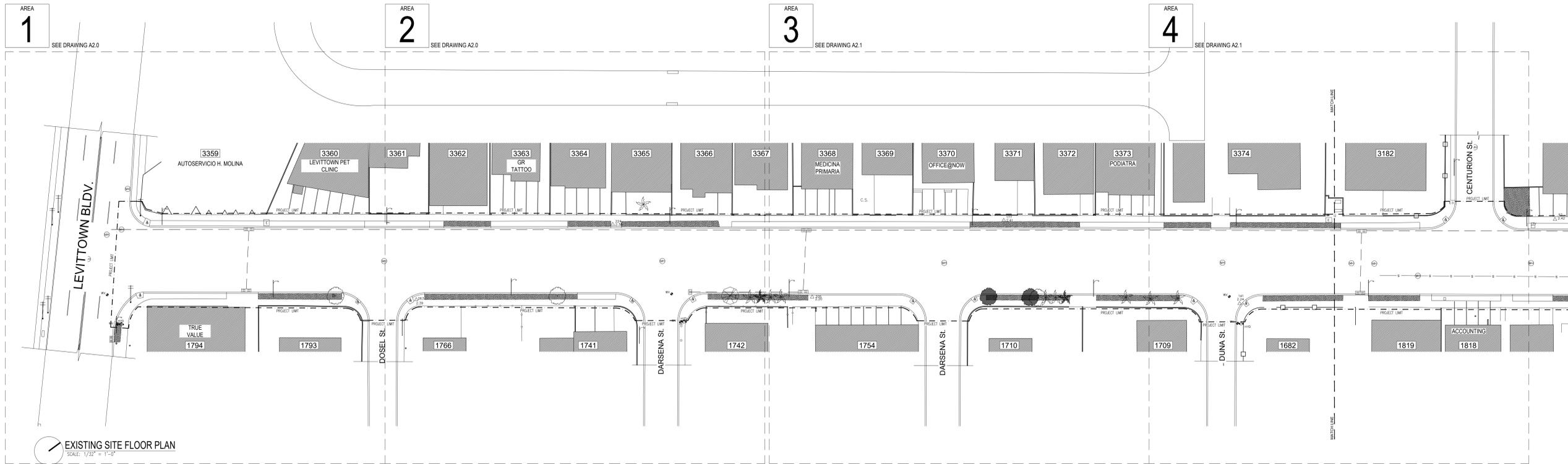
| REVISIONS | DESCRIPTION | DATE |
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CALLE COMPLETA AVENIDA DEL VALLE
TOA BAJA, PUERTO RICO
CDBG - DR - CRP 01026

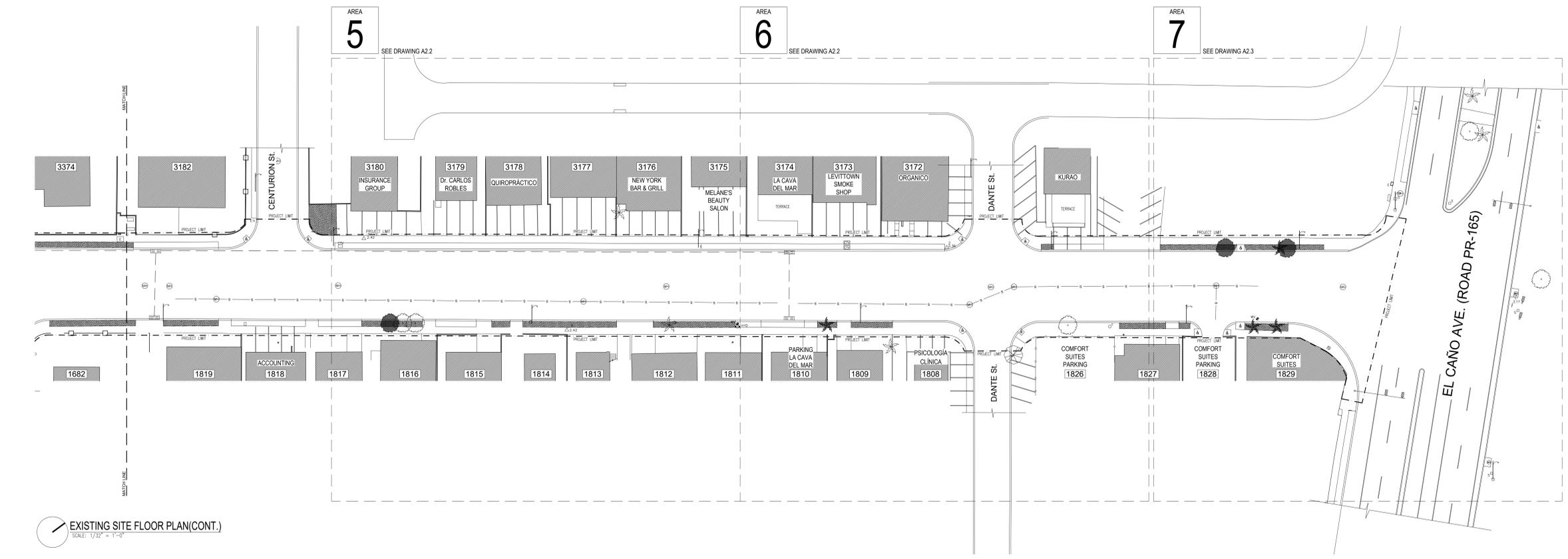
THIS IS AN AS-BUILT PLAN

DRAWN BY: SCALE: 23 | 03 | A0.0

CHECKED BY: DATE: DATE: DATE: DATE:



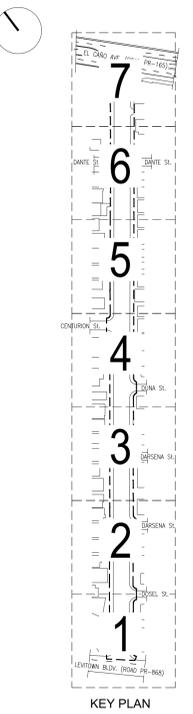
EXISTING SITE FLOOR PLAN
SCALE: 1/32" = 1'-0"



EXISTING SITE FLOOR PLAN (CONT.)
SCALE: 1/32" = 1'-0"

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KEY PLAN

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CONSTRUCTION DOCUMENTS

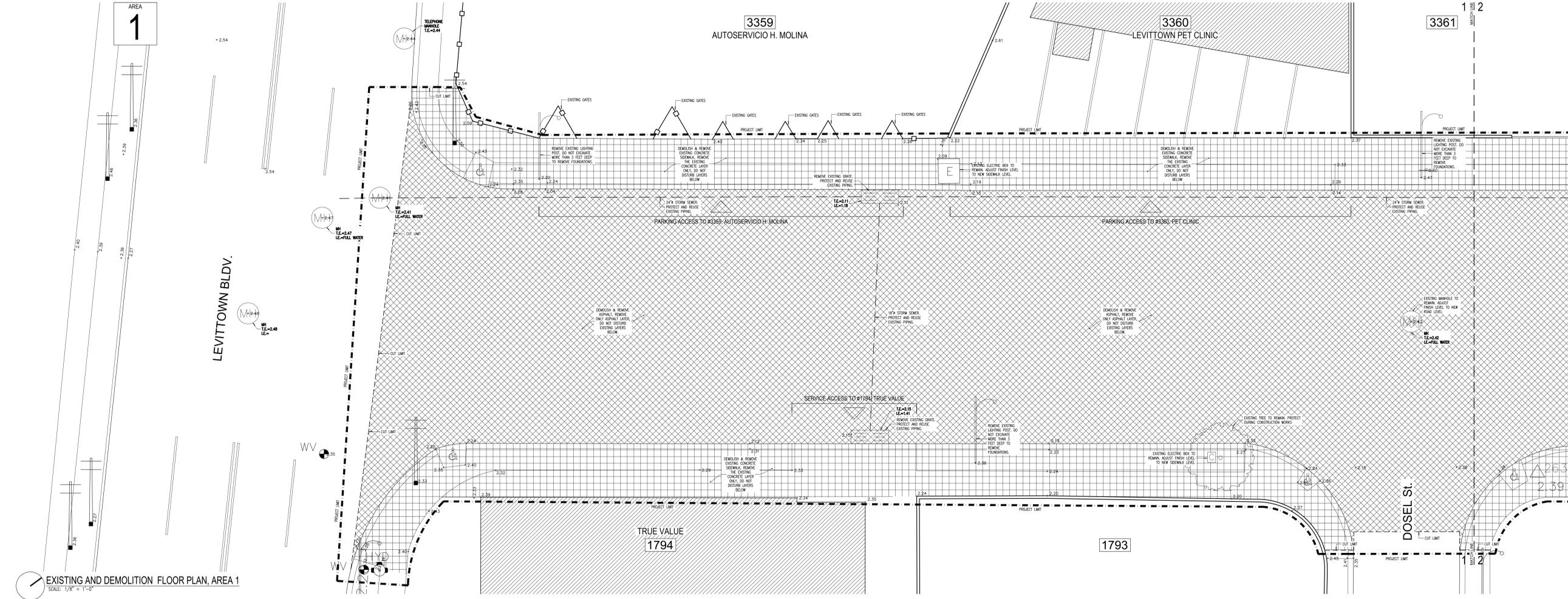
Jan 2024

| REVISIONS | DATE |
|-----------|------|
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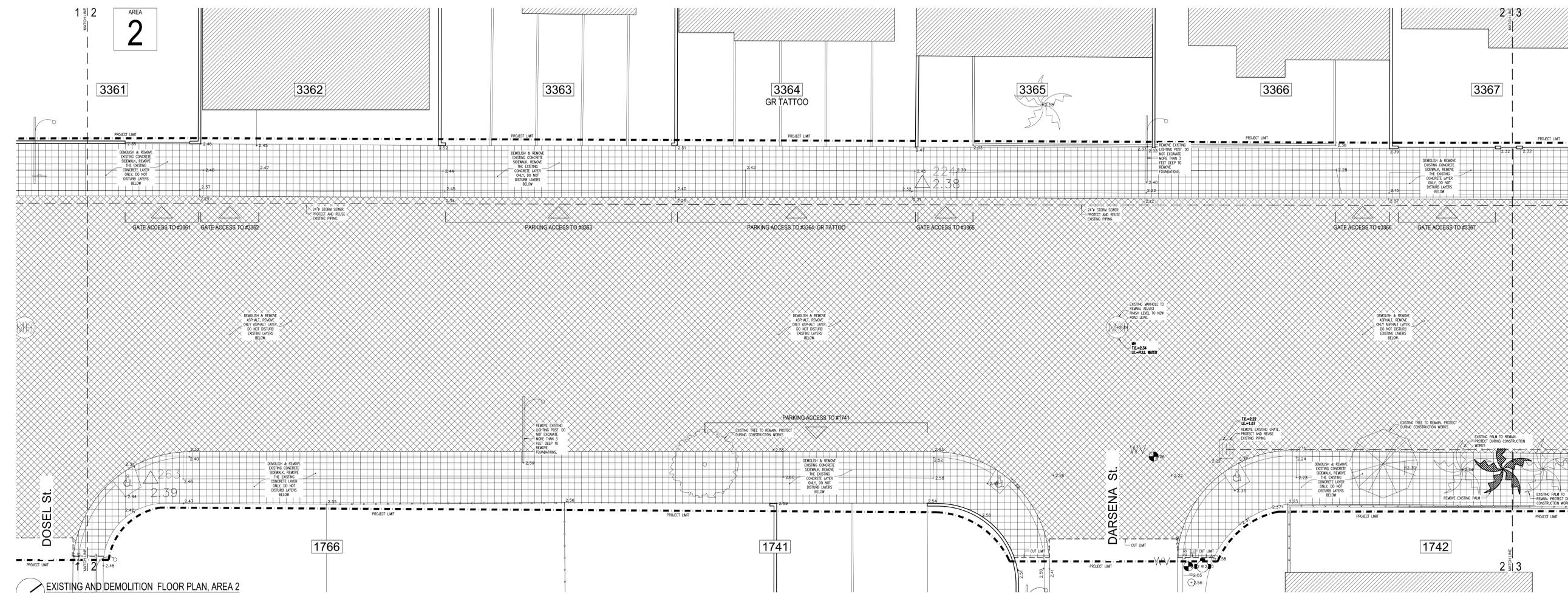
CALLE COMPLETA AVENIDA DEL VALLE
TOA BAJA, PUERTO RICO
CDBG - DR - CRP 01026

| DATE | PROJECT | SHEET |
|--------------------------------------|---------|-------|
| DRAWN BY: DANIEL MANCENO DE TOA BAJA | 23 | A1.0 |
| CHECKED BY: FERNANDO LUGO | 03 | |

ROSSILUGO
ARCHITECTURE



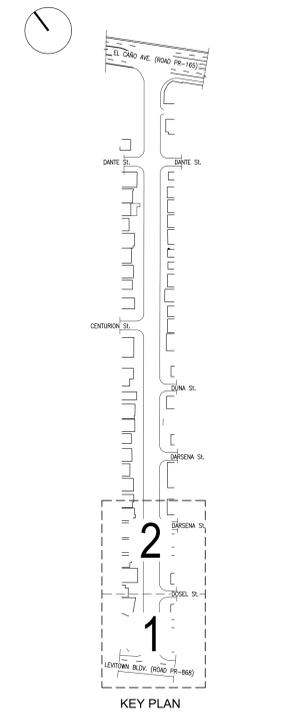
EXISTING AND DEMOLITION FLOOR PLAN, AREA 1
SCALE: 1/8" = 1'-0"



EXISTING AND DEMOLITION FLOOR PLAN, AREA 2
SCALE: 1/8" = 1'-0"

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NOTA IMPORTANTE:
Yo, ANIBAL ANGLADE LUGO, TITULO TECNICO LICENCIADO, habiendo verificado personalmente el contenido de este proyecto de planos, me comprometo a que las especificaciones contenidas en los mismos, así como los detalles que forman parte de las especificaciones cumplen con las disposiciones aplicables del Reglamento General de las disposiciones técnicas de los Reglamentos y Códigos de Construcción Vigentes de las Agencias, Junta Reglamentadora o Corporaciones Públicas con jurisdicción competente, que en la preparación de estos planos y especificaciones se ha cumplido cabalmente con lo dispuesto en la Ley 14-2004, según enmendada, conocida como la Ley que la Inversión en la Industria Puertorriqueña y con la Ley Núm. 319 de 15 de mayo de 1938, según enmendada; Ley Núm. 66 de 6 de julio de 1970, según enmendada, según aplicable. Reconozco que cualquier declaración falsa o falsificación de los hechos que se haya prestado por el profesional o por cualquier otro agente o empleado, o por otros personas con mi consentimiento, me hacen responsable de cualquier acción judicial o disciplinaria por la CDRP.

CONSTRUCTION DOCUMENTS

FERNANDO LUGO ACIDO
ARQUITECTO LICENCIADO
LUGO
LIC. 18495
EXP. 21/11/2023
PUERTO RICO

Jan 2024

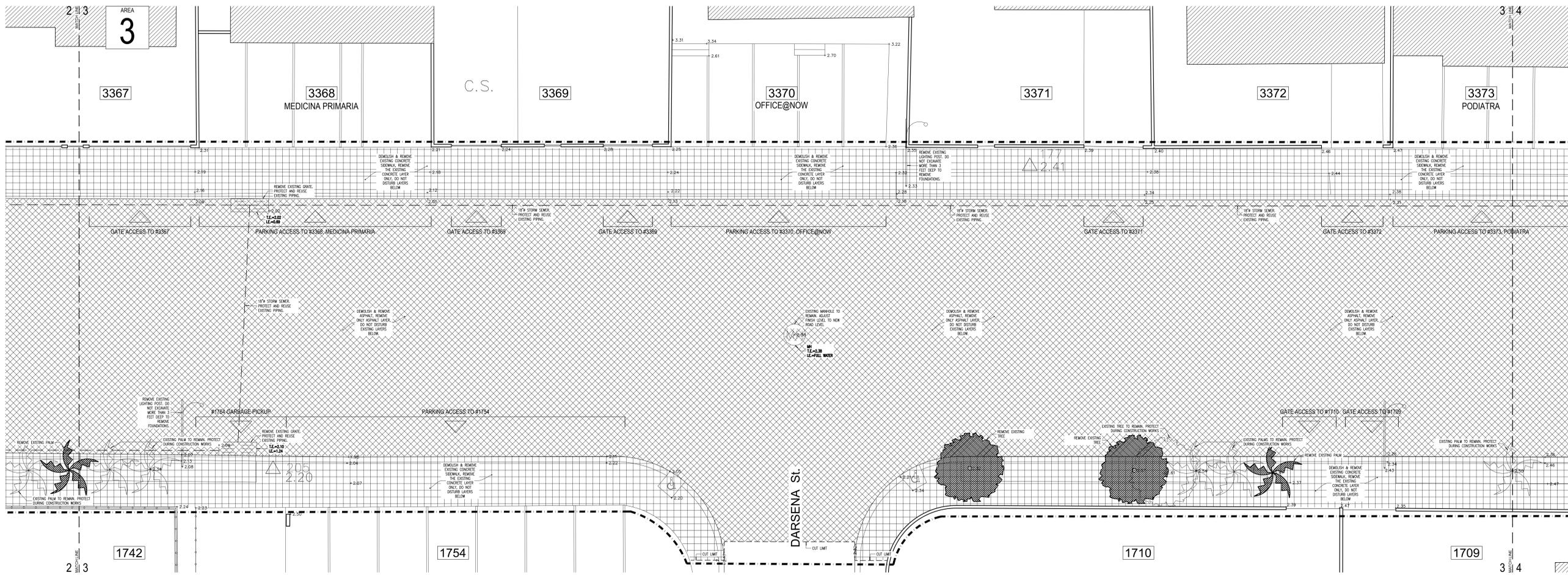
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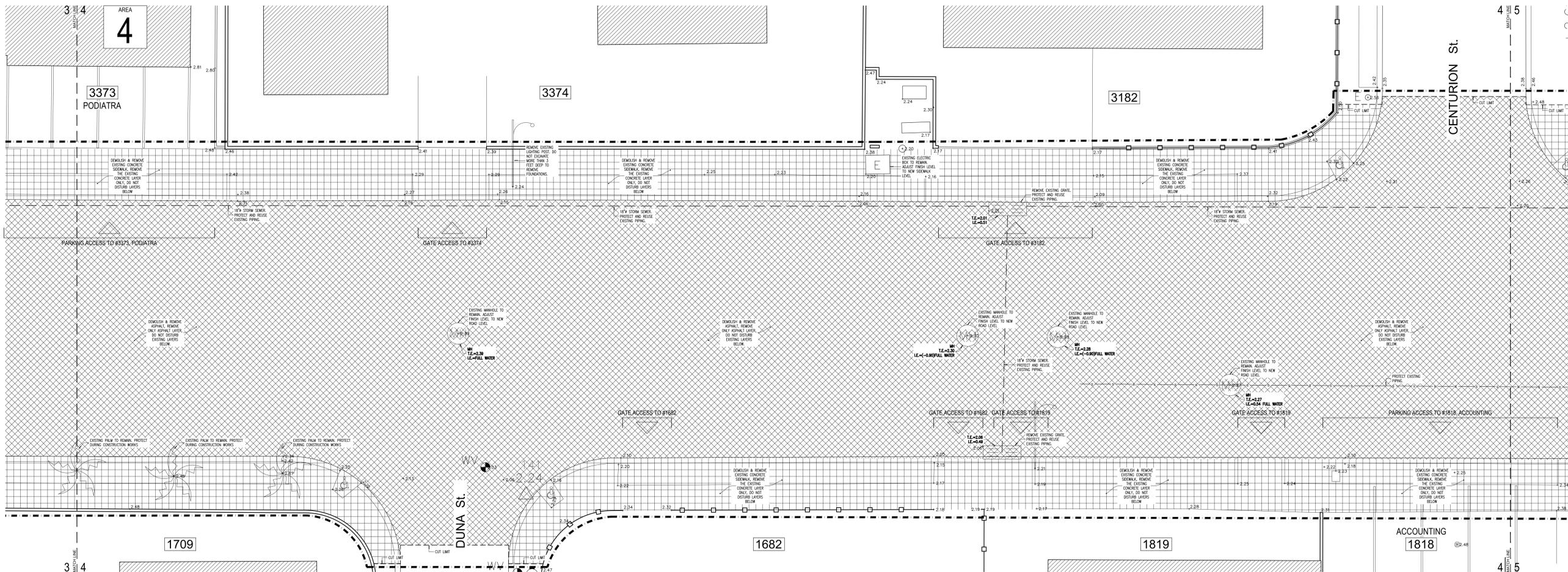
CALLE COMPLETA AVENIDA DEL VALLE TOA BAJA, PUERTO RICO
CDBG - DR - CRP 01026

EXISTING AND DEMOLITION FLOOR PLAN, AREAS 1 & 2

| OWNER | PROJECT | SHEET |
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| MUNICIPIO DE TOA BAJA | 23 | A2.0 |
| DRAWN BY: | SCALE: | DATE: |
| CHECKED BY: FERNANDO LUGO | 03 | |

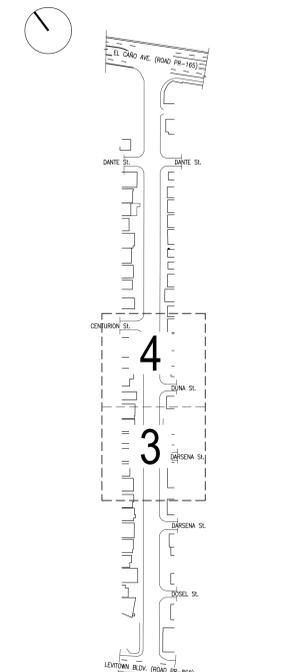


EXISTING AND DEMOLITION FLOOR PLAN, AREA 3
SCALE: 1/8" = 1'-0"



EXISTING AND DEMOLITION FLOOR PLAN, AREA 4
SCALE: 1/8" = 1'-0"

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KEY PLAN

NOTA IMPORTANTE:
Yo, FERNANDO LUGO ACIDO, LICENCIADO EN ARQUITECTURA, certifico que he revisado y aprobado los planos de construcción y especificaciones que se detallan en el presente documento, los cuales cumplen con las disposiciones aplicables del Reglamento General de las disposiciones de los Reglamentos y Códigos de Construcción Vigentes de las Agencias, Junta Reglamentadora o Corporaciones Públicas con jurisdicción. Certifico además que en la preparación de estos planos y especificaciones se ha cumplido cabalmente con lo dispuesto en la Ley 14-2004, según enmendada, conocida como la Ley que le otorga a la industria Puertorriqueña y con la Ley Núm. 319 de 15 de mayo de 1938, según enmendada; Ley Núm. 46 de 4 de julio de 1970, según enmendada, según aplica. Reconozco que cualquier declaración falsa o falsificación de los hechos que se haya prestado por engaño o fraude o por negligencia, ya sea por mí, mis agentes o empleados, o por otras personas con mi consentimiento, me hacen responsable de cualquier acción judicial o disciplinaria por la CDEE.

CONSTRUCTION DOCUMENTS

FERNANDO LUGO ACIDO
ARQUITECTO LICENCIADO
LUGO
LIC. 18495
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PUERTO RICO

Jan 2024

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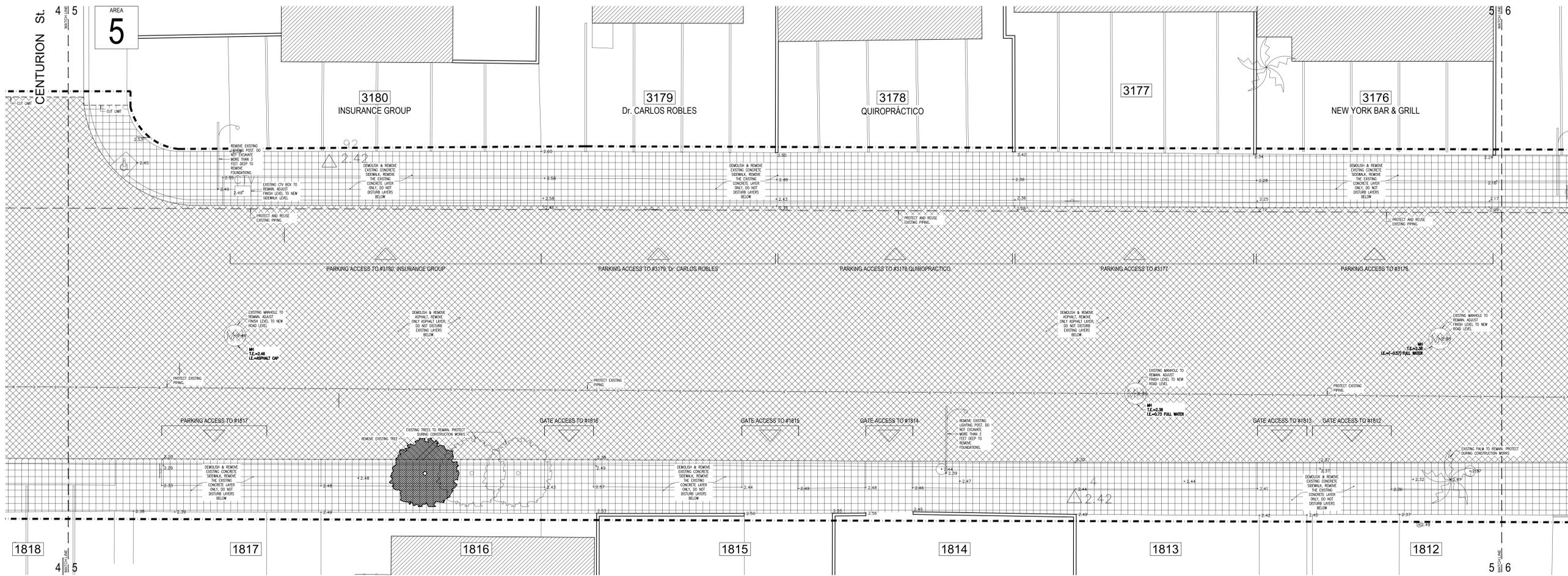
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CALLE COMPLETA AVENIDA DEL VALLE
T.O.B. BAJA, PUERTO RICO
C.D.B.G. - D.R. - C.R.P. 01026

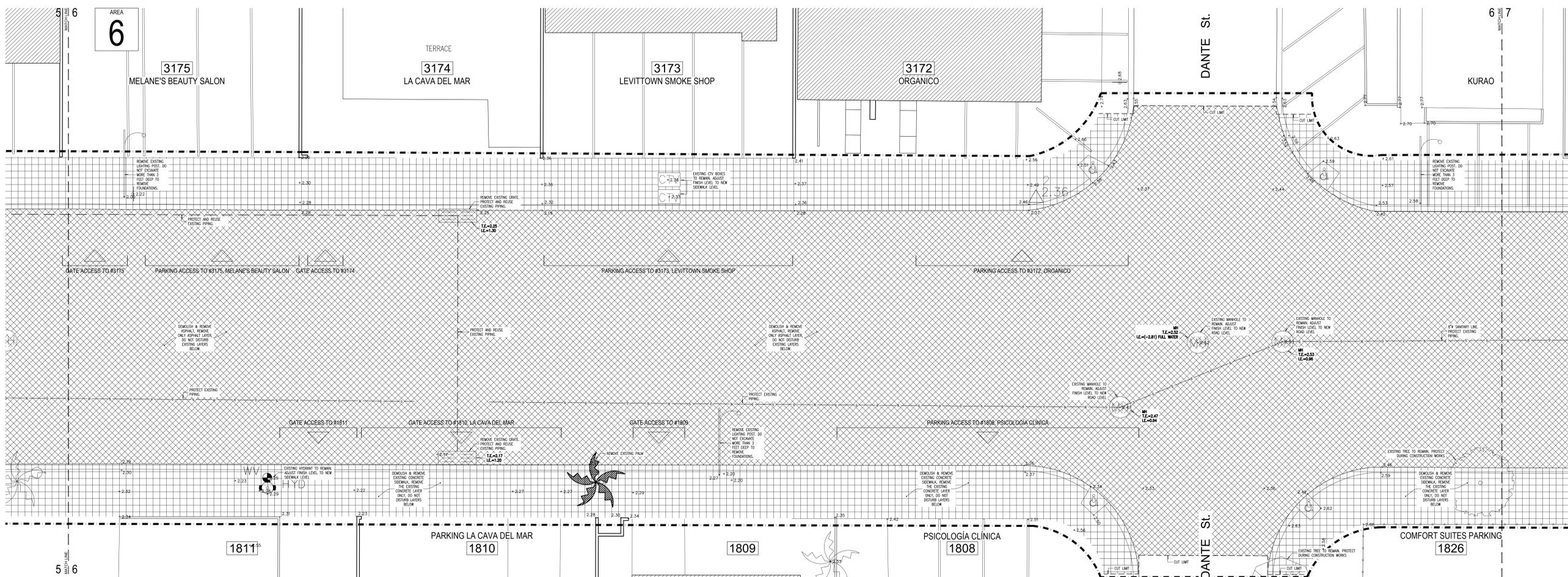
EXISTING AND DEMOLITION FLOOR PLAN, AREAS 3 & 4

| OWNER | PROJECT | SHEET |
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| MUNICIPIO DE TOA BAJA | 23 | A2.1 |
| DRAWN BY: | SCALE | DATE |
| CHECKED BY: FERNANDO LUGO | DATE | 03 |

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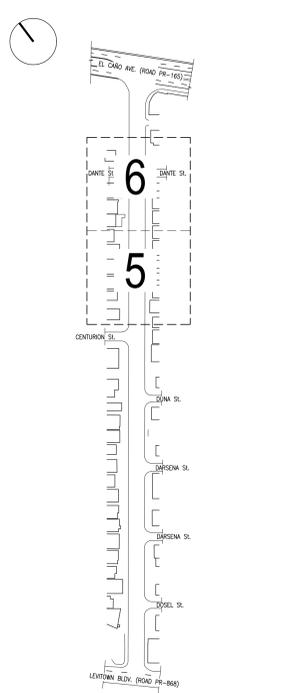


EXISTING AND DEMOLITION FLOOR PLAN, AREA 5
SCALE: 1/8" = 1'-0"



EXISTING AND DEMOLITION FLOOR PLAN, AREA 6
SCALE: 1/8" = 1'-0"

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KEY PLAN

NOTA IMPORTANTE:
 Yo, FERNANDO LUGO ACIDO, LICENCIADO EN INGENIERIA CIVIL, certifico que este plano de arquitectura cumple con las disposiciones aplicables del Reglamento de Construcción de las Agencias, Junta Reglamentadora y Corporaciones Privadas con jurisdicción. Certifico, además, que en la preparación de estos planos y especificaciones se ha cumplido cabalmente con lo dispuesto en la Ley 14-2004, según enmendada, conocida como la Ley que la Investida por la Industria Puertorriqueña y con la Ley Núm. 319 de 15 de mayo de 1938, según enmendada; Ley Núm. 66 de 6 de julio de 1970, según enmendada, según aplicable. Reconozco que cualquier declaración falsa o falsificación de los hechos que se haya prestado por desconocimiento o por negligencia, ya sea por mí, mis agentes o empleados, o por otras personas con mi consentimiento, me hacen responsable de cualquier acción judicial y disciplinaria por lo CDRP.

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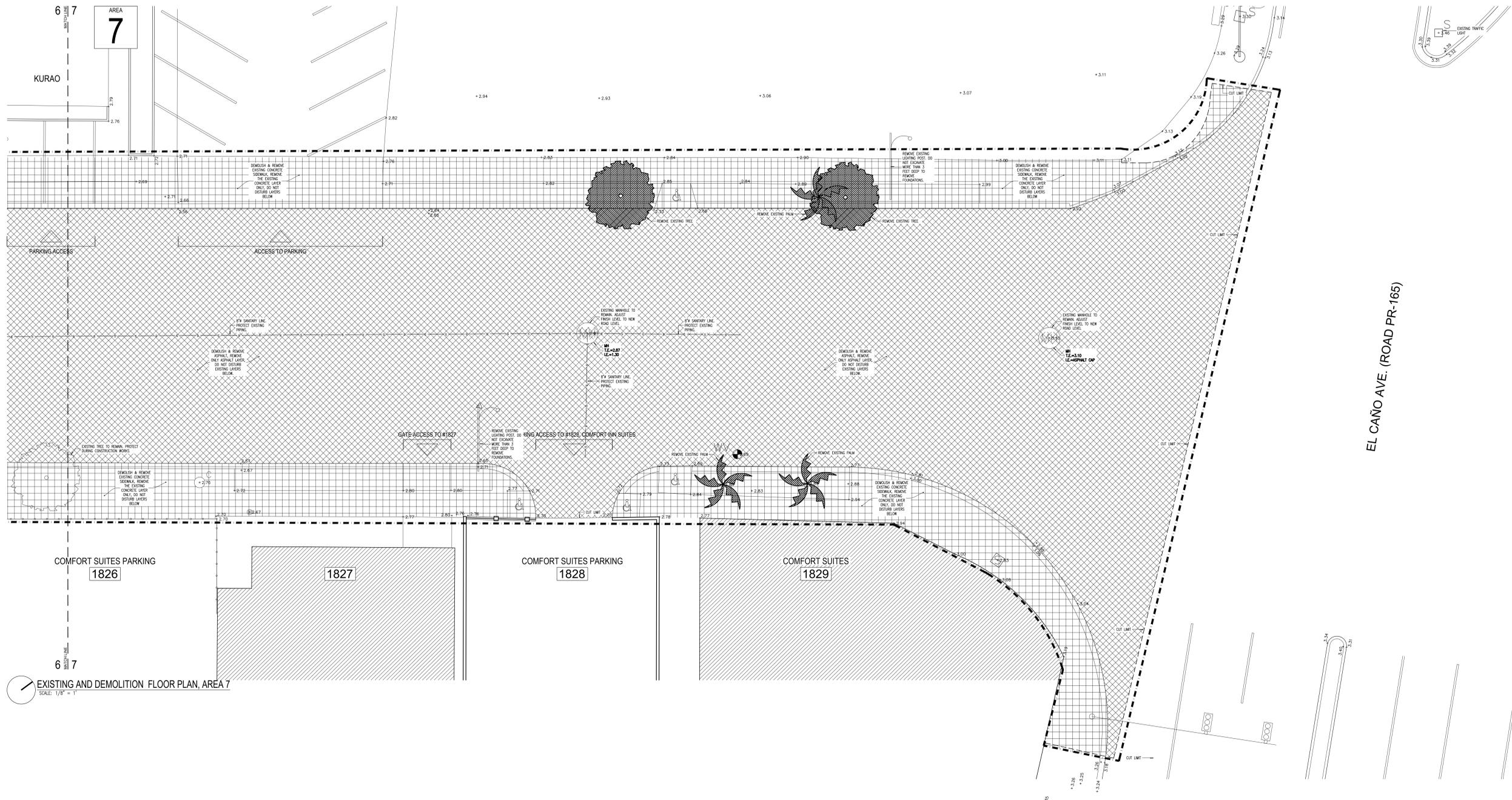
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CALLE COMPLETA AVENIDA DEL VALLE
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EXISTING AND DEMOLITION FLOOR PLAN, AREAS 5 & 6

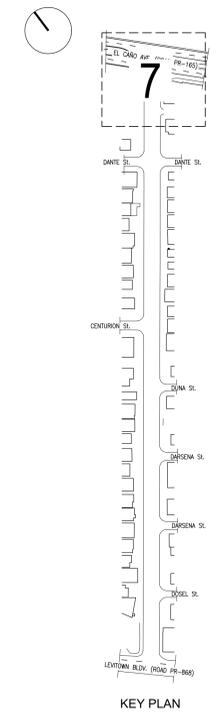
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| CHECKED BY: FERNANDO LUGO | DATE: | |

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EXISTING AND DEMOLITION FLOOR PLAN, AREA 7
SCALE: 1/8" = 1'

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EL CAÑO AVE. (ROAD PR-165)

NOTA IMPORTANTE:
Yo, FERNANDO LUGO AGUIAR, INGENIERO ARQUITECTO, certifico que este plano y especificaciones cumplen con las disposiciones aplicables del Reglamento Constructor y las disposiciones aplicables de los reglamentos y Códigos de Construcción Vigentes de las Agencias, Juntas Reglamentadoras o Corporaciones Públicas con jurisdicción. Certifico, además, que en la preparación de estos planos y especificaciones se ha cumplido cabalmente con lo dispuesto en la Ley 14-2004, según enmendada, conocida como la Ley para la Inversión en la Industria Puertorriqueña y con la Ley Núm. 319 de 15 de mayo de 1938, según enmendada, Ley Núm. 96 de 6 de julio de 1970, según enmendada, según aplica. Reconozco que cualquier declaración falsa o falsificación de los hechos que se haya prestado por desconocimiento o por negligencia, ya sea por mí, mis agentes o empleados, o por otras personas con mi consentimiento, me hacen responsable de cualquier acción judicial y disciplinaria por la CDBE.

CONSTRUCTION DOCUMENTS

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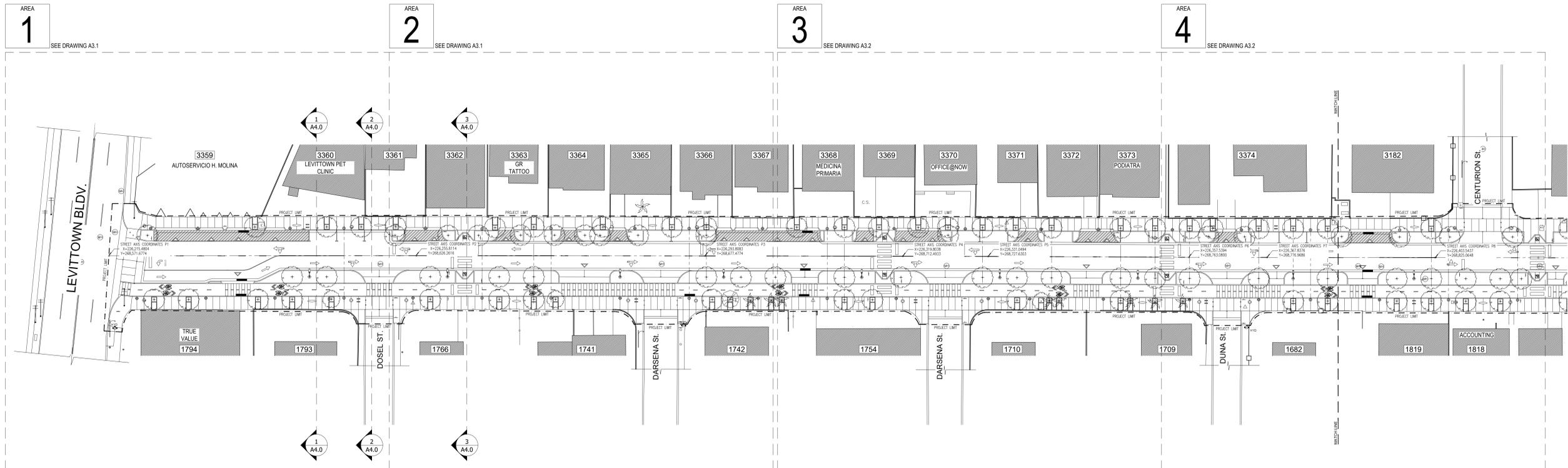
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CALLE COMPLETA AVENIDA DEL VALLE
TOA BAJA, PUERTO RICO
CDBG - DR - CRP 01026

TITLE: EXISTING AND DEMOLITION FLOOR PLAN, AREA 7

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ARCHITECTURE

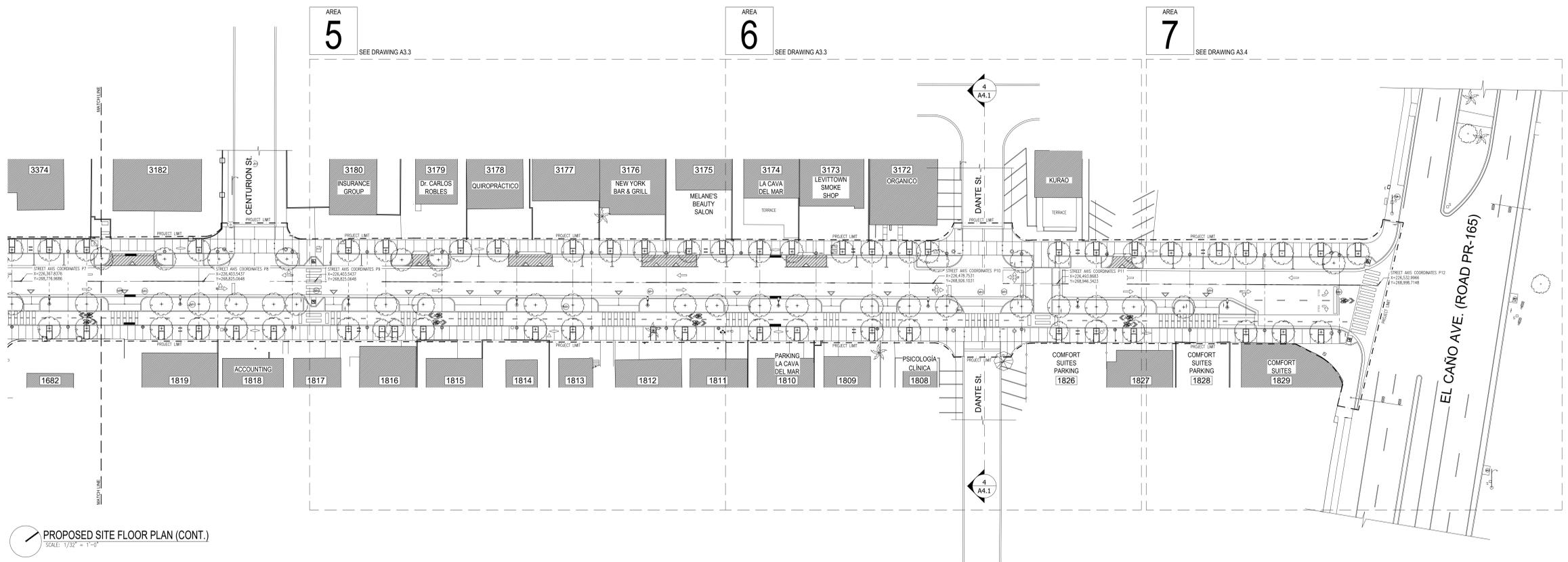


PROPOSED SITE FLOOR PLAN
SCALE: 1/32" = 1'-0"

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KEY PLAN



PROPOSED SITE FLOOR PLAN (CONT.)
SCALE: 1/32" = 1'-0"

NOTA IMPORTANTE:
Yo, FERNANDO LUGO, ARQUITECTO, LICENCIA 8495, certifico que soy el profesional que diseñó la ARQUITECTURA, en estos planos y las especificaciones complementarias. Firmado, certificado, autenticado, que dichos planos y especificaciones cumplen con las disposiciones aplicables del Reglamento Conjunto de las disposiciones operativas de los Reglamentos y Código de Construcción Vigentes de las Agencias, Junta Reglamentadora y Corporaciones Públicas con jurisdicción. Certifico además que en la preparación de estos planos y especificaciones se ha cumplido cabalmente con lo dispuesto en la Ley 14-2004, según enmendada, conocida como la Ley que la Invertebra por la Industria Puertorriqueña y con la Ley Núm. 319 de 15 de mayo de 1938, según enmendada; Ley Núm. 95 de 6 de julio de 1975, según enmendada, según aplica. Reconozco que cualquier declaración falsa o falsificación de los hechos que se haya prestado por desconocimiento o por negligencia, ya sea por mí, mis agentes o empleados, a gar otros personas con mi consentimiento, me hacen responsable de cualquier acción judicial y disciplinaria por lo COPE.

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LUGO
LIC. 8495
EXP 21/14/01/2023
PUERTO RICO

Jan 2024

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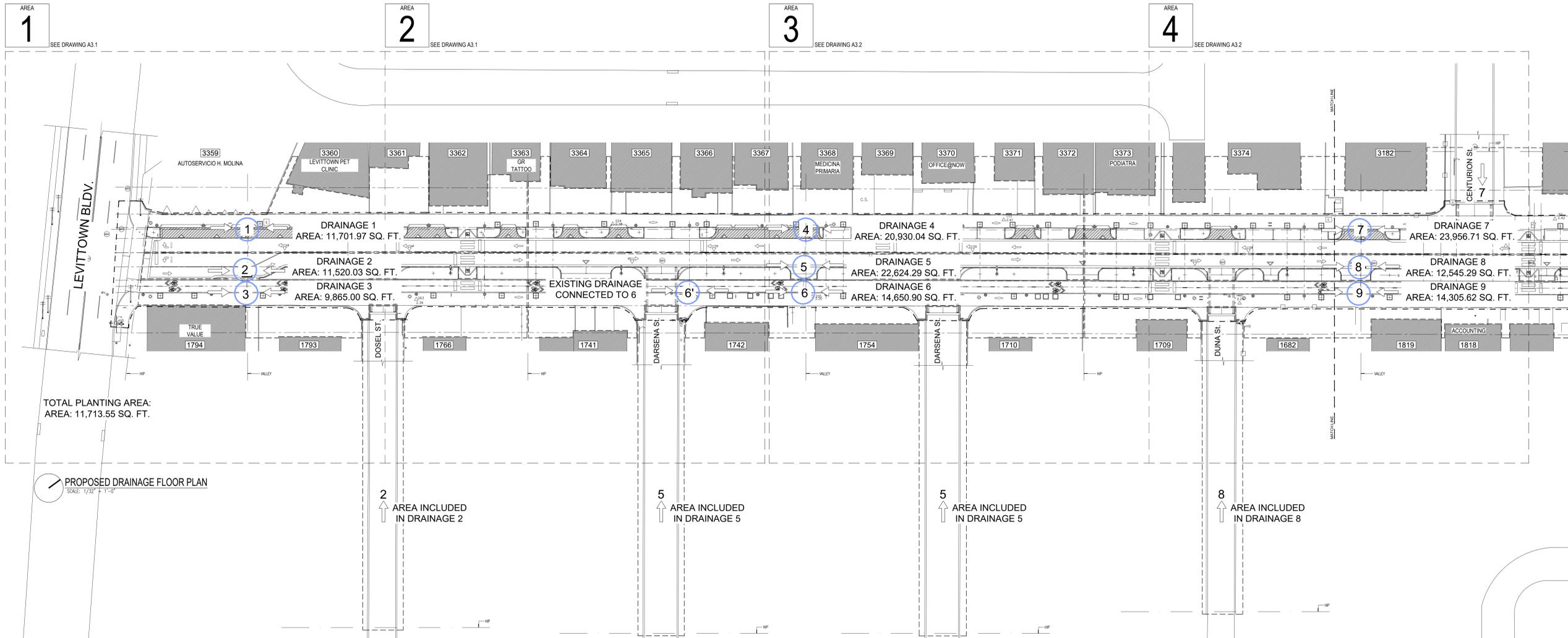
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TOA BAJA, PUERTO RICO
CDBG - DR - CRP 01026

PROPOSED SITE FLOOR PLAN

| OWNER | PROJECT | SHEET |
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| MUNICIPIO DE TOA BAJA | | |
| DRAWN BY: FERNANDO LUGO | SCALE: 23 03 | A3.0 |
| CHECKED BY: FERNANDO LUGO | DATE: | |

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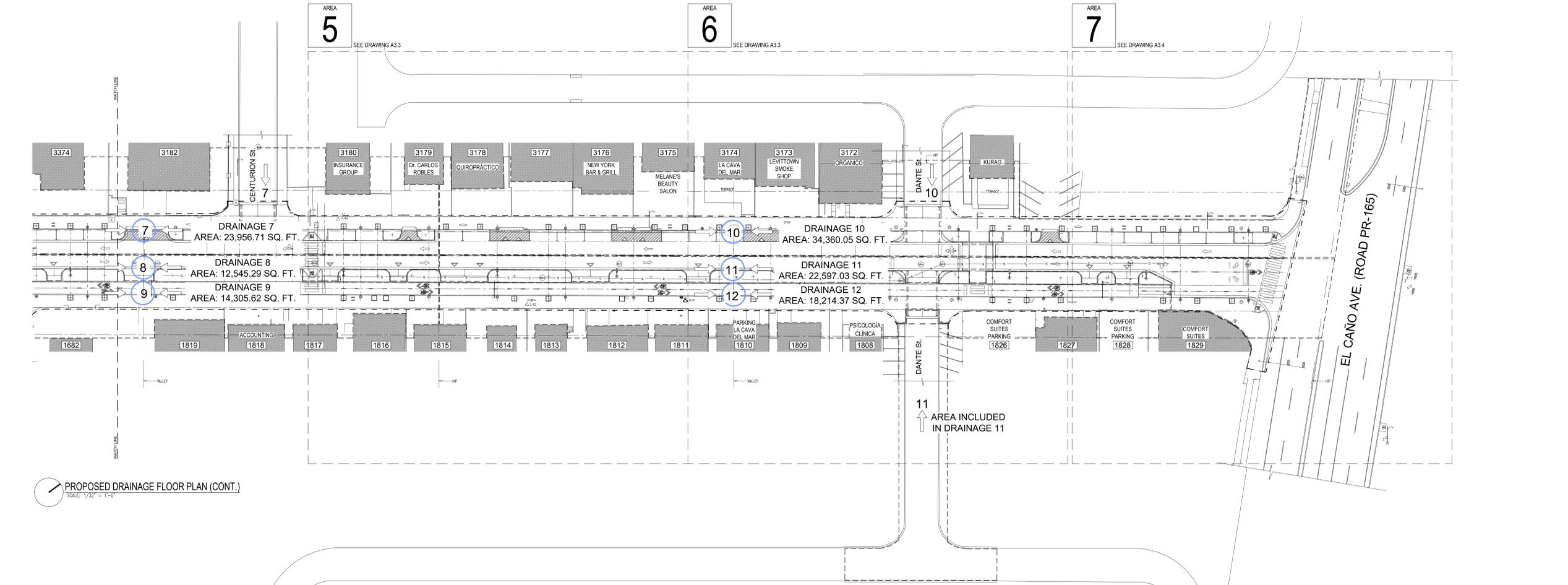
PROPOSED DRAINAGE FLOOR PLAN
SCALE: 1/32" = 1'-0"

↑ AREA INCLUDED IN DRAINAGE 2

↑ AREA INCLUDED IN DRAINAGE 5

↑ AREA INCLUDED IN DRAINAGE 5

↑ AREA INCLUDED IN DRAINAGE 8



PROPOSED DRAINAGE FLOOR PLAN (CONT.)
SCALE: 1/32" = 1'-0"

↑ AREA INCLUDED IN DRAINAGE 11

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Yo, FERNANDO LUGO, ARQUITECTO, LICENCIADO 8495, certifico que soy el profesional que diseñó la ARQUITECTURA en estos planos y las especificaciones complementarias. También certifico que estos planos y especificaciones cumplen con las disposiciones aplicables del Reglamento Comunitario y las disposiciones operativas de los reglamentos y Código de Construcción Vigentes de las Agencias, Juntas Reglamentadoras y Corporaciones Públicas con jurisdicción. Certifico además que en la preparación de estos planos y especificaciones se ha cumplido cabalmente con lo dispuesto en la Ley 14-2004, según enmendada, conocida como la Ley que la Invertebra por la Industria Puertorriqueña y con la Ley Núm. 319 de mayo de 1938, según enmendada; Ley Núm. 96 de 6 de julio de 1976, según enmendada, según aplica. Reconozco que cualquier declaración falsa o falsificación de los hechos que se haya prestado por desconocimiento o por negligencia en una per me, mis agentes o empleados, a gar otros personas con mi consentimiento, me hacen responsable de cualquier acción judicial y disciplinaria por la CDB.

CONSTRUCTION DOCUMENTS



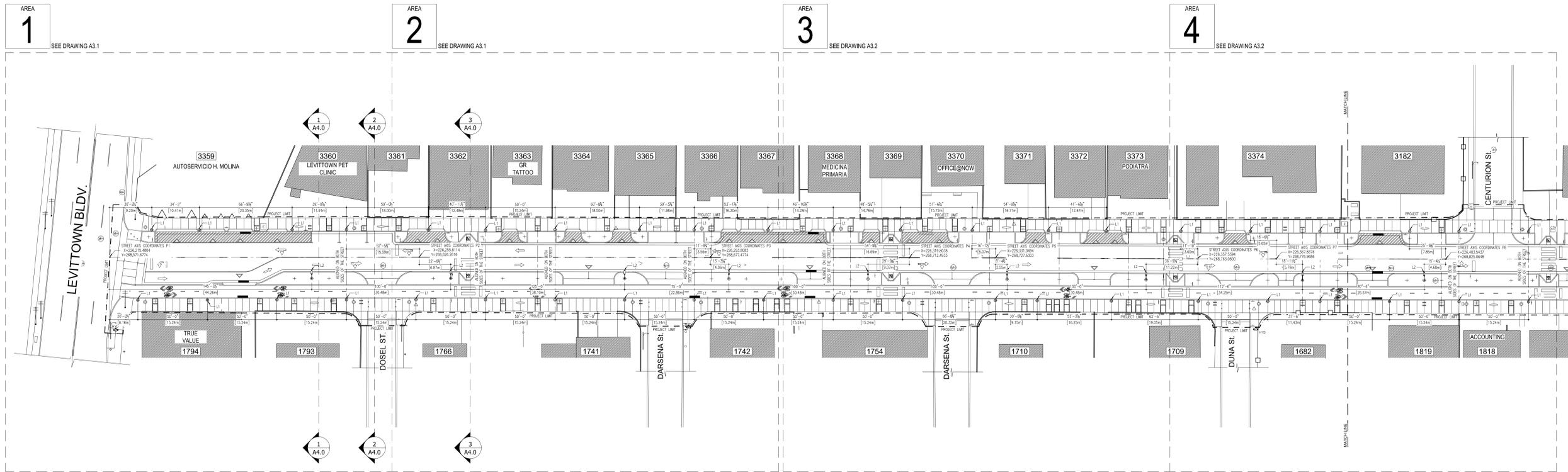
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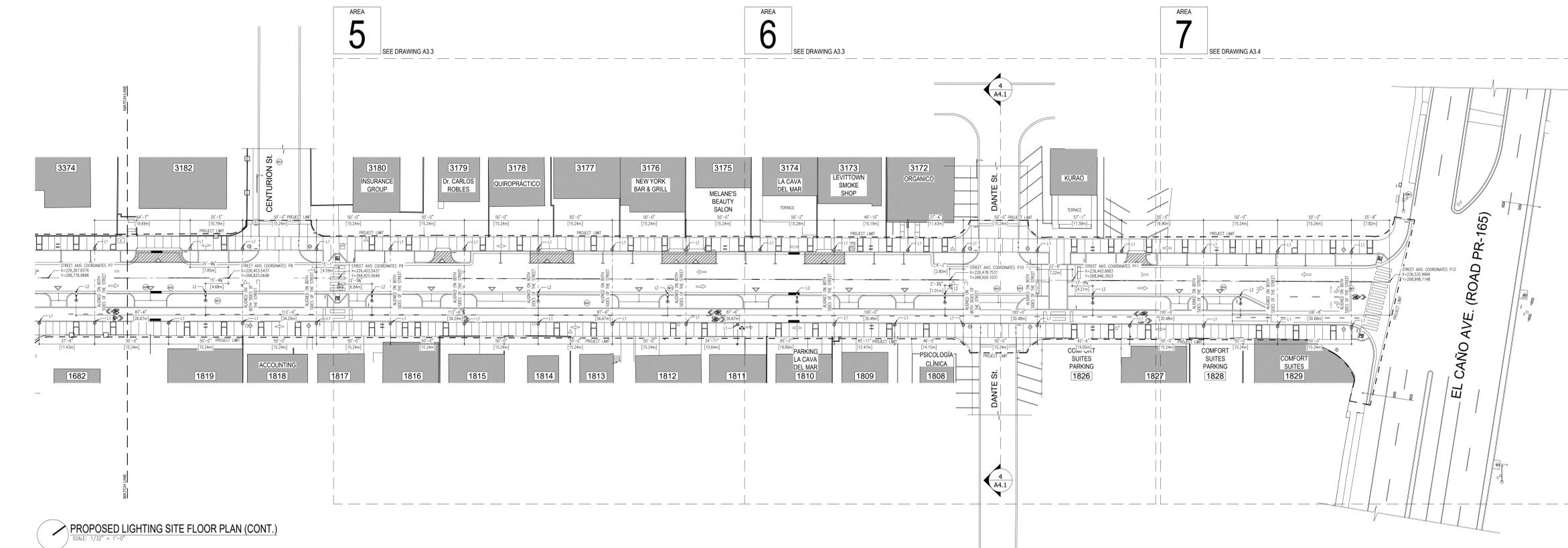
CALLE COMPLETA AVENIDA DEL VALLE
TOA BAJA, PUERTO RICO
CDBG - DR - CRP 01026

PROPOSED DRAINAGE SYSTEM SITE FLOOR PLAN

| OWNER | PROJECT | SHEET |
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| MUNICIPIO DE TOA BAJA | | |
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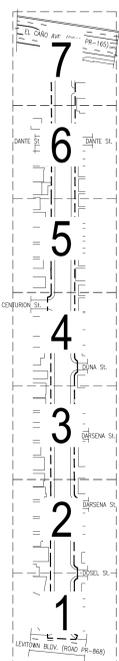
PROPOSED LIGHTING SITE FLOOR PLAN
SCALE: 1/32" = 1'-0"



PROPOSED LIGHTING SITE FLOOR PLAN (CONT.)
SCALE: 1/32" = 1'-0"

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LIC. 8495
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Jan 2024

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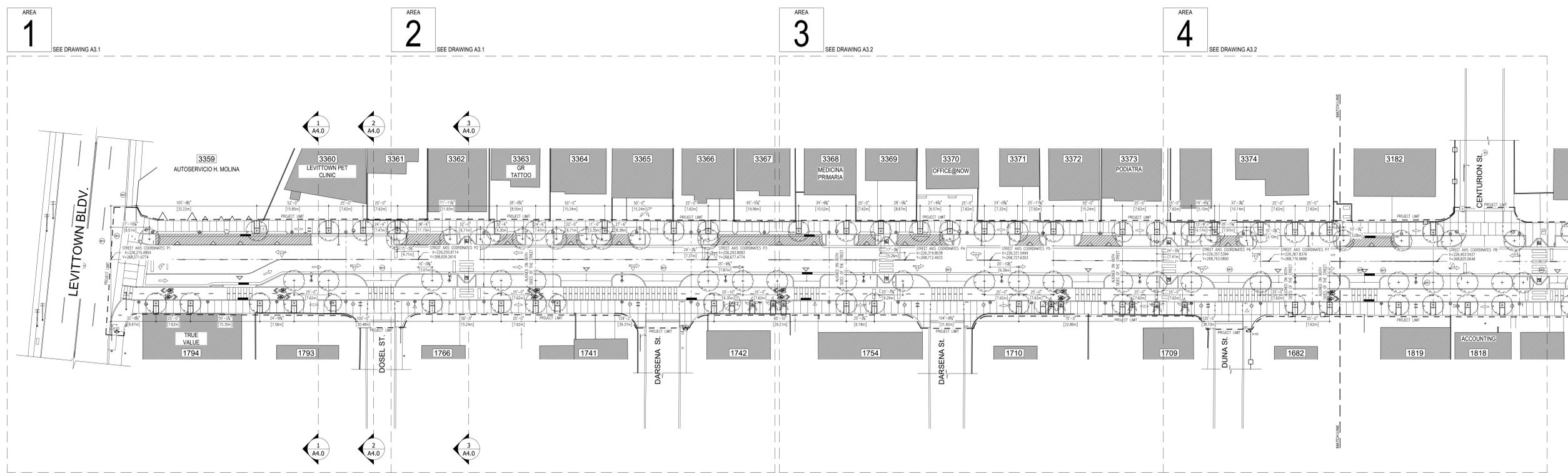
THIS PROPOSED LIGHTING SITE FLOOR PLAN

| DRAWN BY | SCALE | PROJECT | SHEET |
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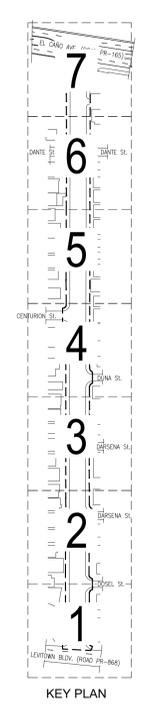
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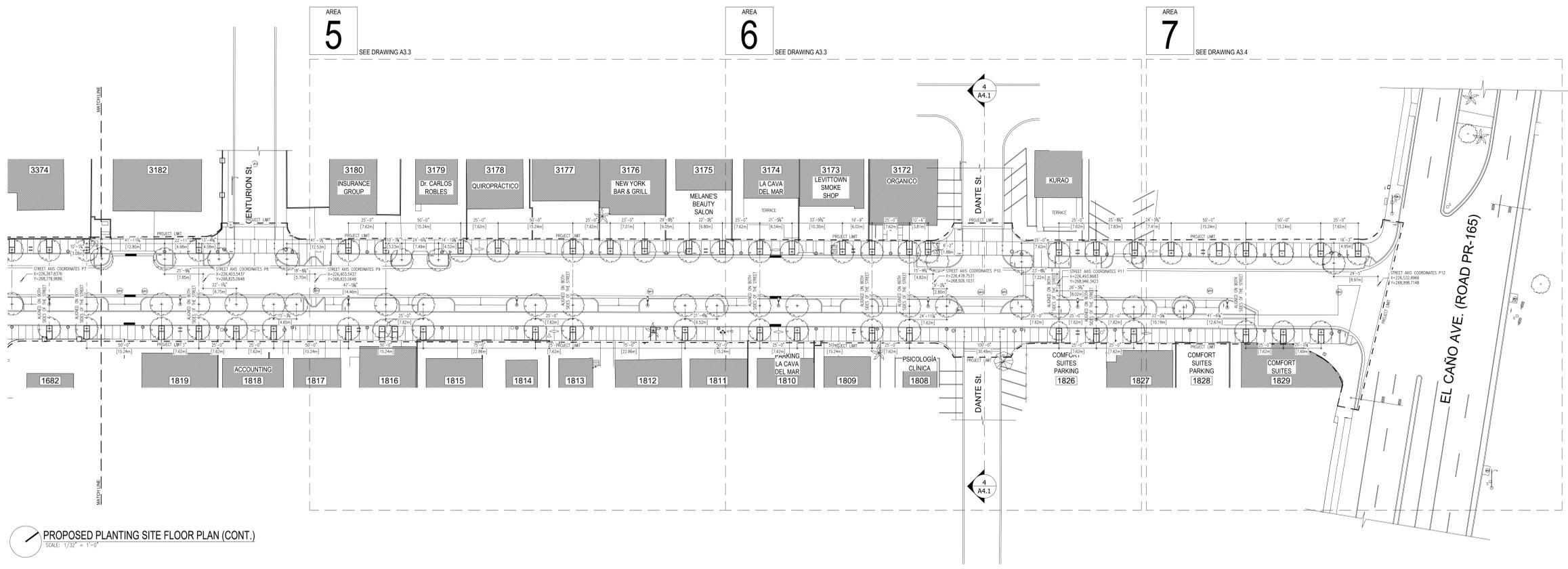
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PROPOSED PLANTING SITE FLOOR PLAN
SCALE: 1/32" = 1'-0"



KEY PLAN



PROPOSED PLANTING SITE FLOOR PLAN (CONT.)
SCALE: 1/32" = 1'-0"

NOTA IMPORTANTE:
Yo, FERNANDO LUGO, ARQUITECTO, LICENCIA 8495, certifico que soy el profesional que diseñó la ARQUITECTURA, en estos planos y las especificaciones complementarias, firmados, certificados, autorizados, que cumplen con las disposiciones aplicables del Reglamento Común de las Disposiciones Operativas del Reglamento de Construcción Vigentes de las Agencias, Junta Reglamentadora y Corporaciones Públicas con jurisdicción. Certifico además que en la preparación de estos planos y especificaciones se ha cumplido cabalmente con lo dispuesto en la Ley 14-2004, según enmendada, conocida como la Ley que la Inversión por la Industria Puertorriqueña y con la Ley Núm. 319 de 15 de mayo de 1938, según enmendada, Ley Núm. 96 de 6 de julio de 1976, según enmendada, según aplica. Reconozco que cualquier declaración falsa o falsificación de los hechos que se haya prestado por desconocimiento o por negligencia, ya sea por mí, mis agentes o empleados, o por otros personas con mi conocimiento, me hacen responsable de cualquier acción judicial y disciplinaria por lo COPE.

CONSTRUCTION DOCUMENTS

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EXP. 21/11/2023
PUERTO RICO

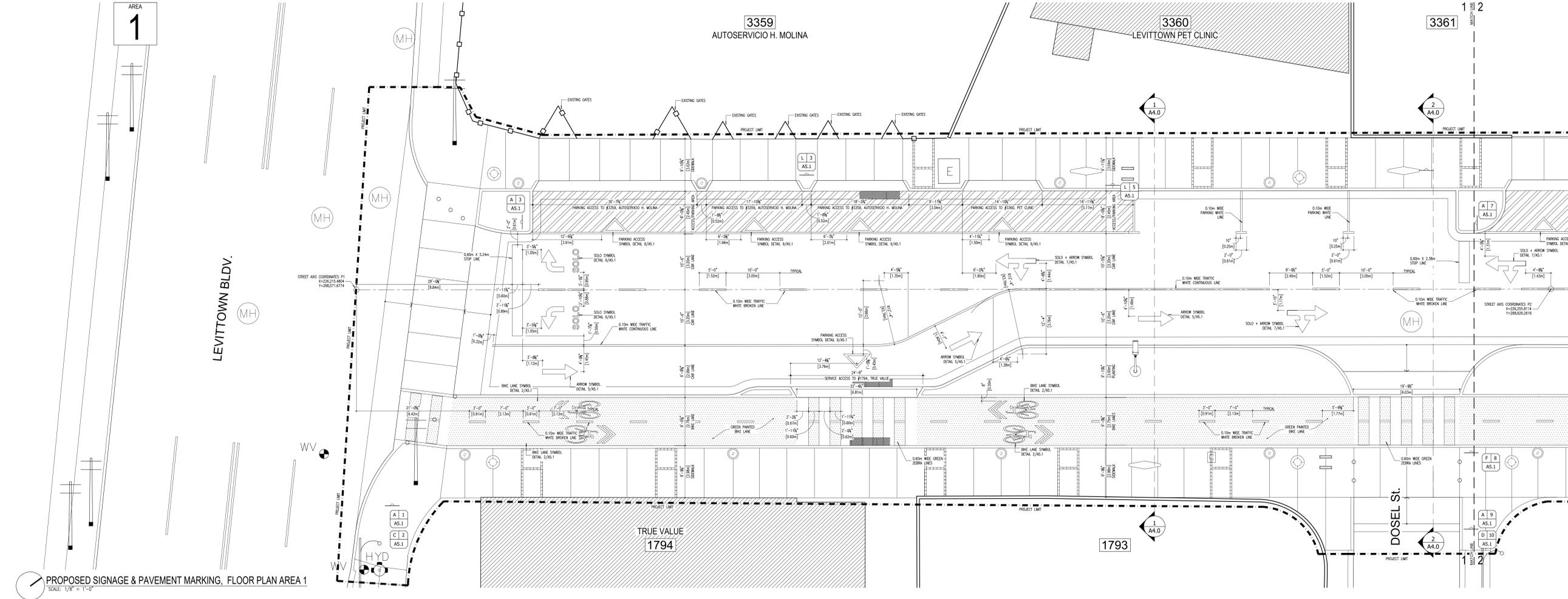
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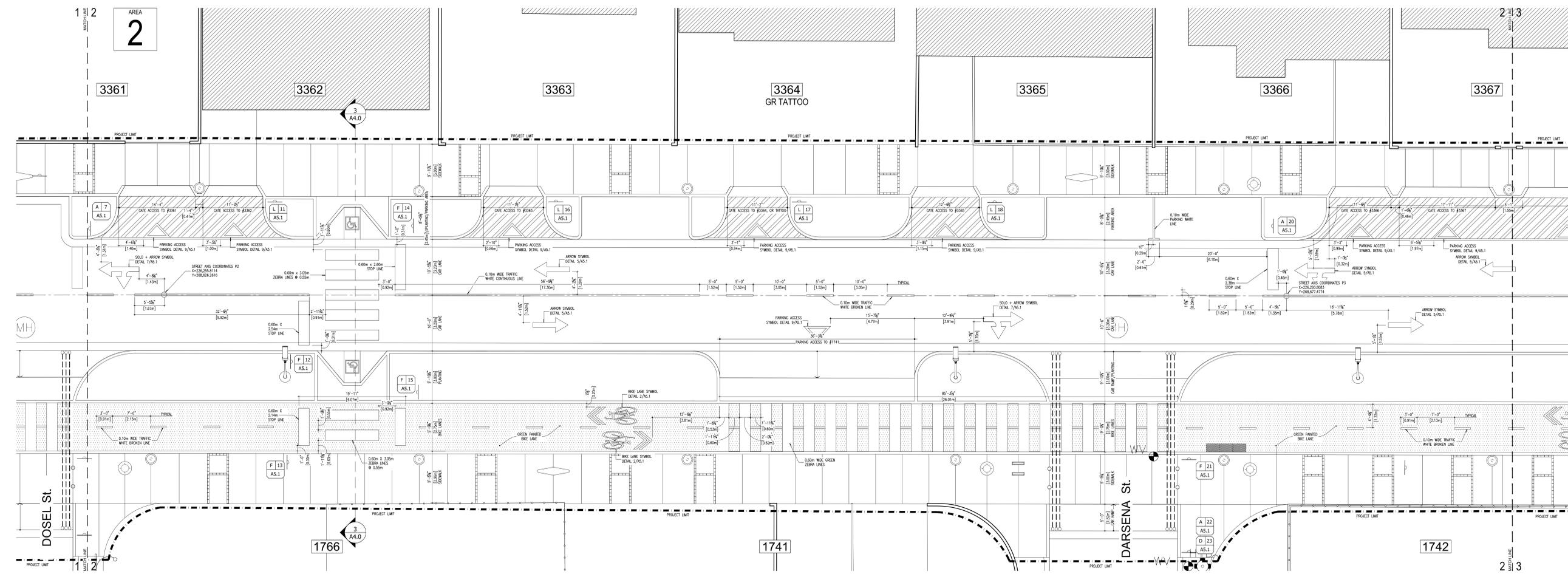
CALLE COMPLETA AVENIDA DEL VALLE
TOA BAJA, PUERTO RICO
CDBG - DR - CRP 01026

| OWNER | PROJECT | SHEET |
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| MUNICIPIO DE TOA BAJA | 23 | A3.0.3 |
| DRAWN BY: FERNANDO LUGO | SCALE: 1/32" = 1'-0" | DATE: 03 |

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ARCHITECTURE

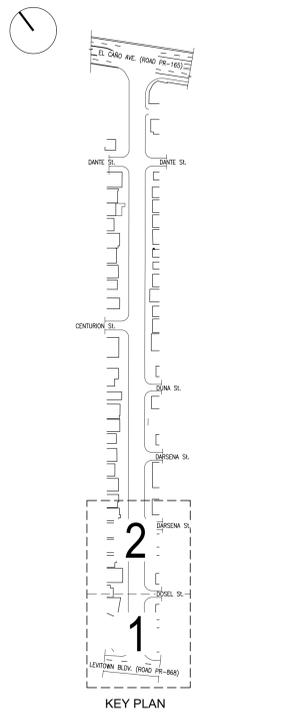


PROPOSED SIGNAGE & PAVEMENT MARKING, FLOOR PLAN AREA 1
SCALE: 1/8" = 1'-0"



PROPOSED SIGNAGE & PAVEMENT MARKING, FLOOR PLAN AREA 2
SCALE: 1/8" = 1'-0"

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Yo, FERNANDO LUGO, ARQUITECTO, LICENCIA 8495, certifico que soy el profesional que diseñó la ARQUITECTURA, en estos planos y las especificaciones complementarias. Firmado, certificado en el momento que dichos planos y especificaciones cumplen con las disposiciones aplicables del Reglamento Conjunto de disposiciones aprobadas por los reglamentos y Código de Construcción Vigentes de las Agencias, Junta Reglamentadora y Corporaciones Públicas con jurisdicción. Certifico además que en la preparación de estos planos y especificaciones se ha cumplido cabalmente con lo dispuesto en la Ley 14-2004, según enmendada, conocida como la Ley que la invierte para la industria Puertorriqueña y con la Ley Núm. 319 de mayo de 1938, según enmendada; Ley Núm. 66 de 6 de Julio de 1970, según enmendada, según aplica. Reconozco que cualquier declaración falsa o falsificación de los hechos que se haya producido por desconocimiento o por negligencia en una por mí, mis agentes o empleados, a gozar otros personas con mi consentimiento, me hacen responsable de cualquier acción judicial y disciplinaria por la Corte.

CONSTRUCTION DOCUMENTS

FERNANDO LUGO
ARQUITECTO LICENCIADO
LUGO
LIC. 8495
EXP 21/NOV/2023
PUERTO RICO

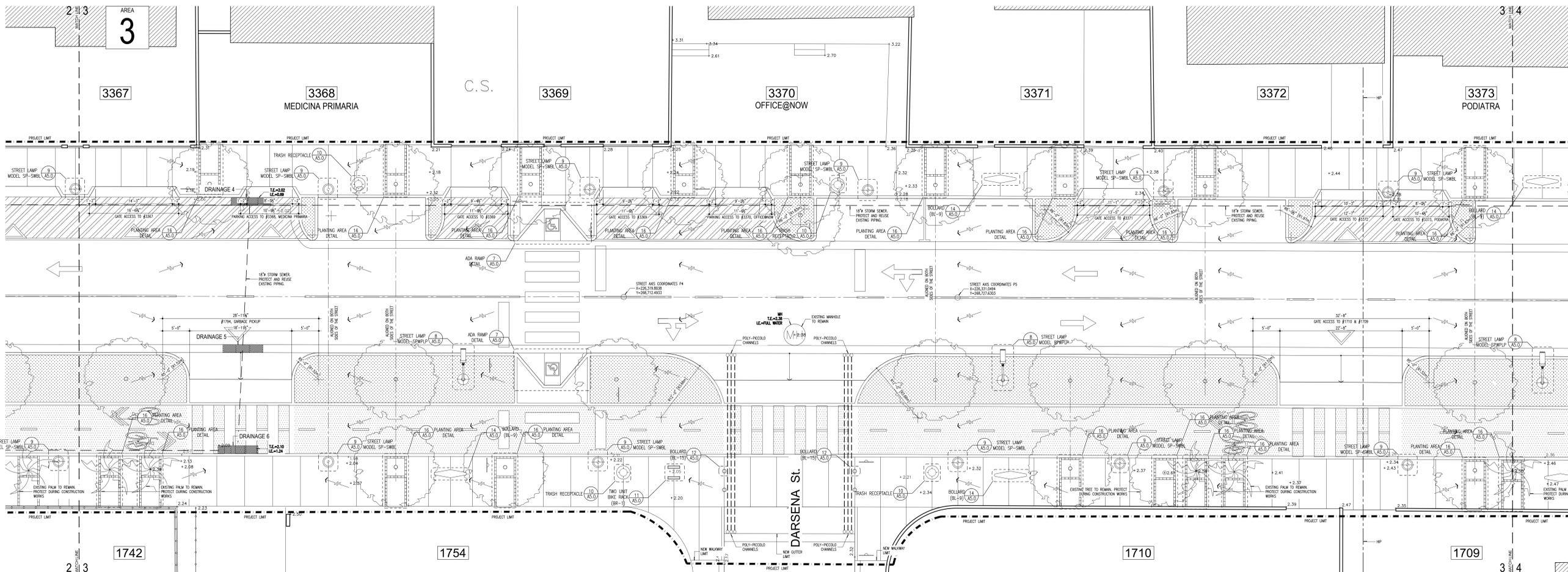
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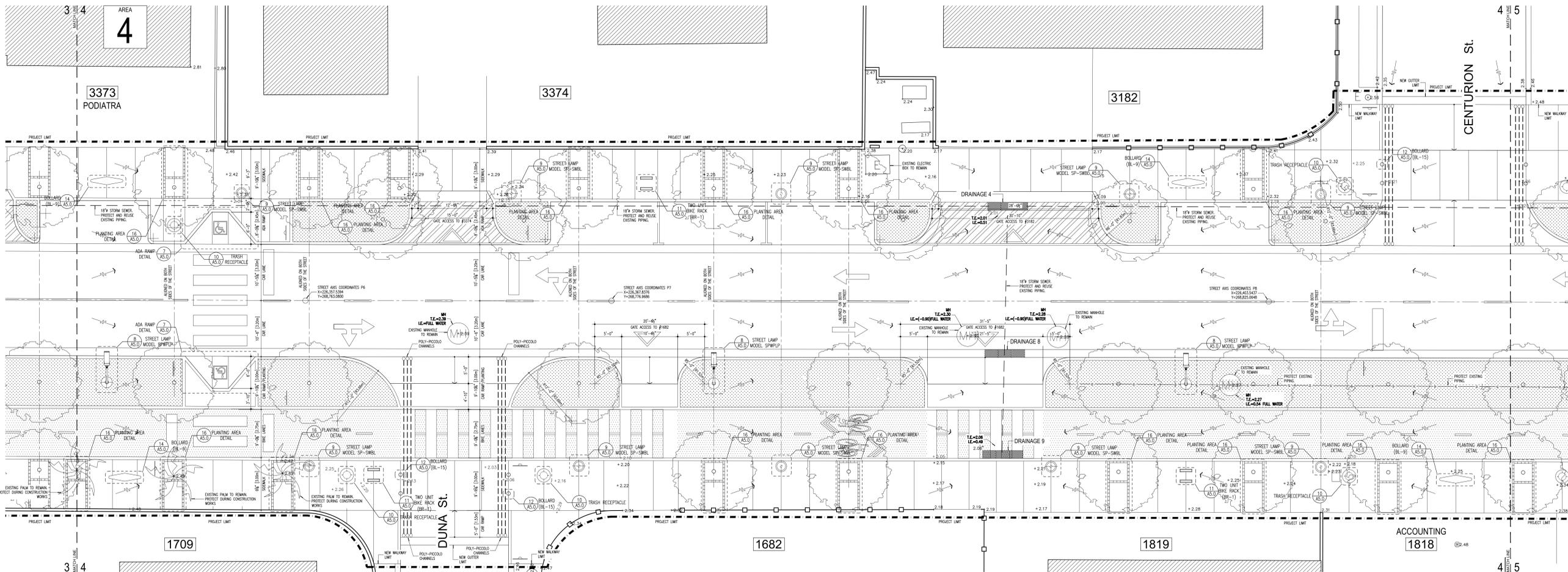
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DRAWN BY: SCALE: 23
CHECKED BY: FERNANDO LUGO DATE: 03

PROJECT: A3.1.1
SHEET: 23



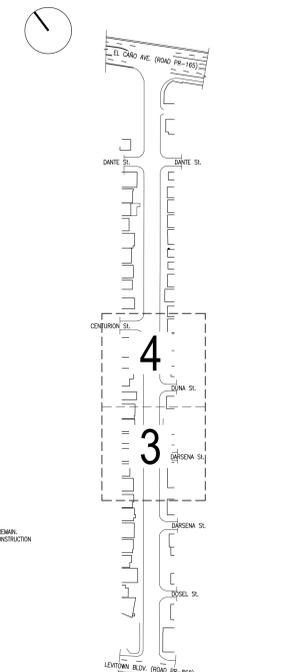
PROPOSED FLOOR PLAN, AREA 3
SCALE: 1/8" = 1'-0"



PROPOSED FLOOR PLAN, AREA 4
SCALE: 1/8" = 1'-0"

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KEY PLAN

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LIC. 8495
EXP. 21/11/2023
PUERTO RICO

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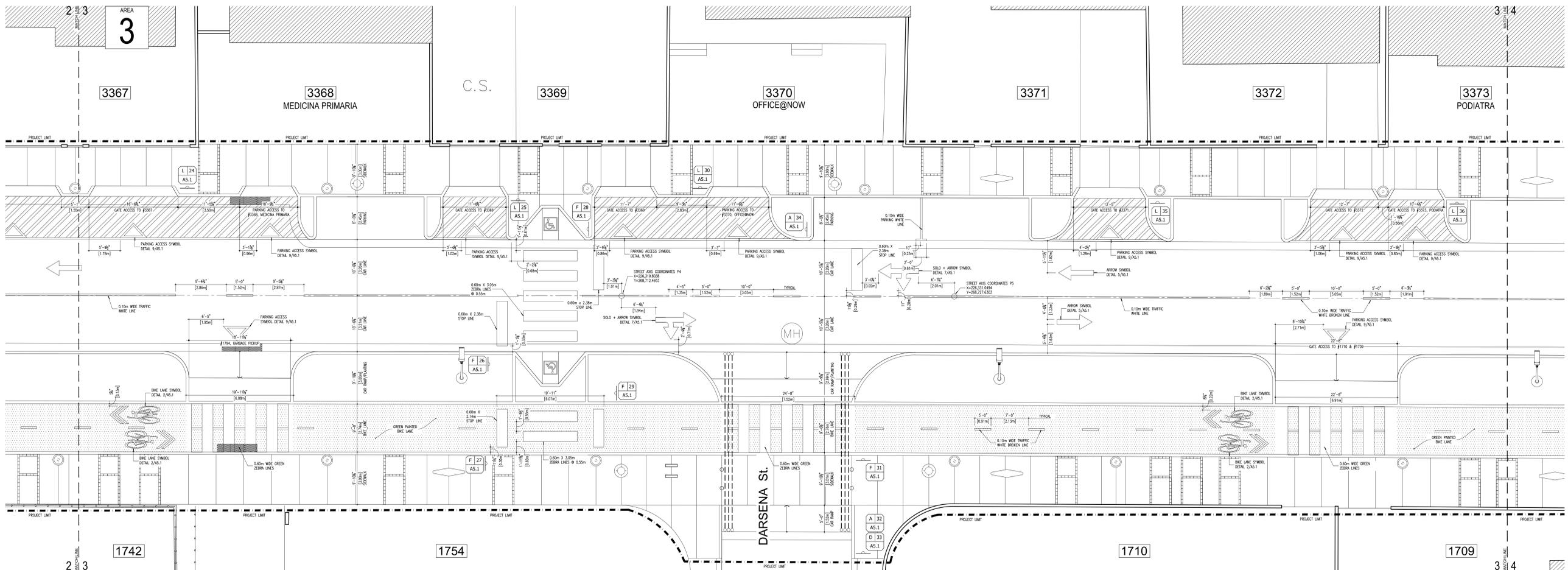
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CALLE COMPLETA AVENIDA DEL VALLE
TOA BAJA, PUERTO RICO
CDBG - DR - CRP 01026

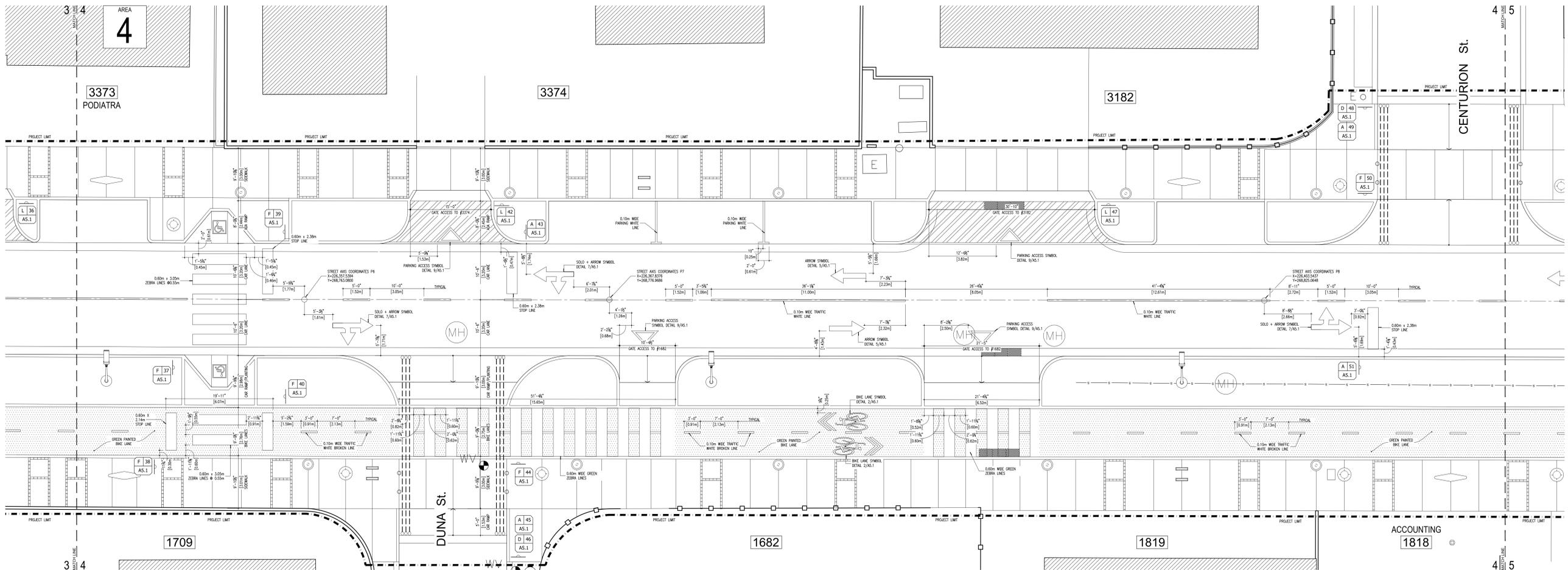
PROPOSED FLOOR PLAN, AREAS 3 & 4

| OWNER | PROJECT | SHEET |
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PROPOSED SIGNAGE & PAVEMENT MARKING, FLOOR PLAN AREA 3
SCALE: 1/8" = 1'-0"



PROPOSED SIGNAGE & PAVEMENT MARKING, FLOOR PLAN AREA 4
SCALE: 1/8" = 1'-0"

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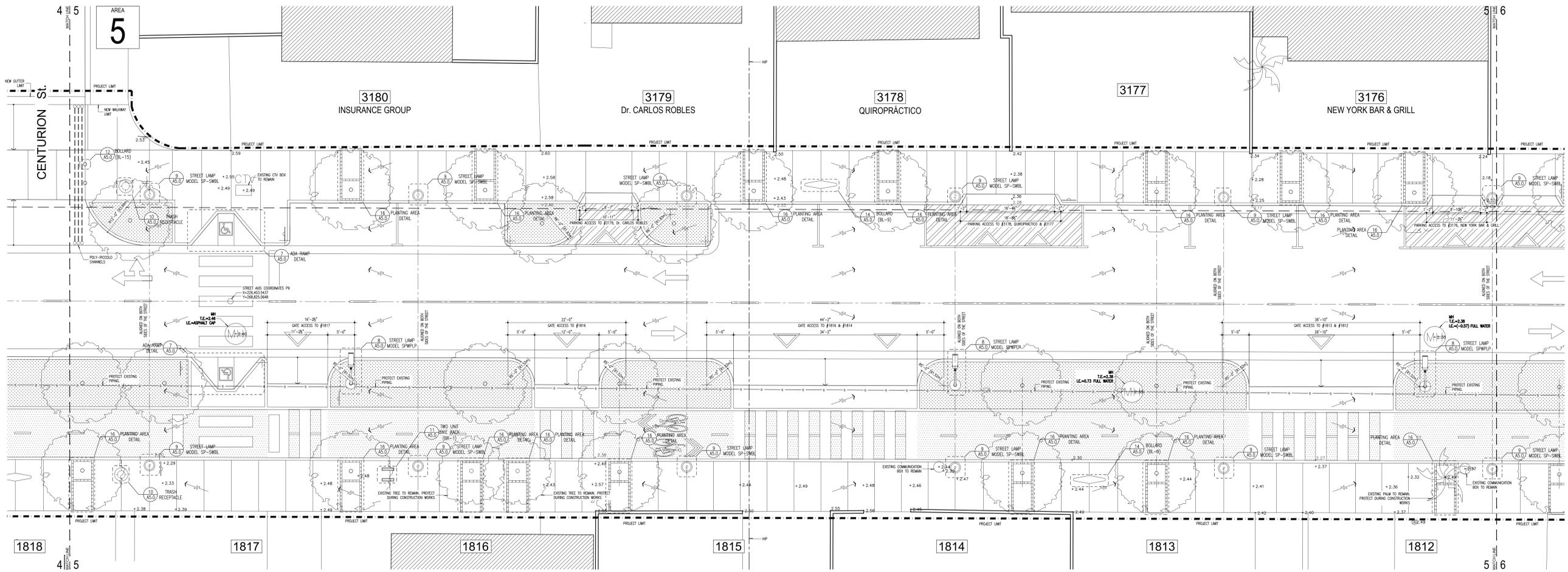
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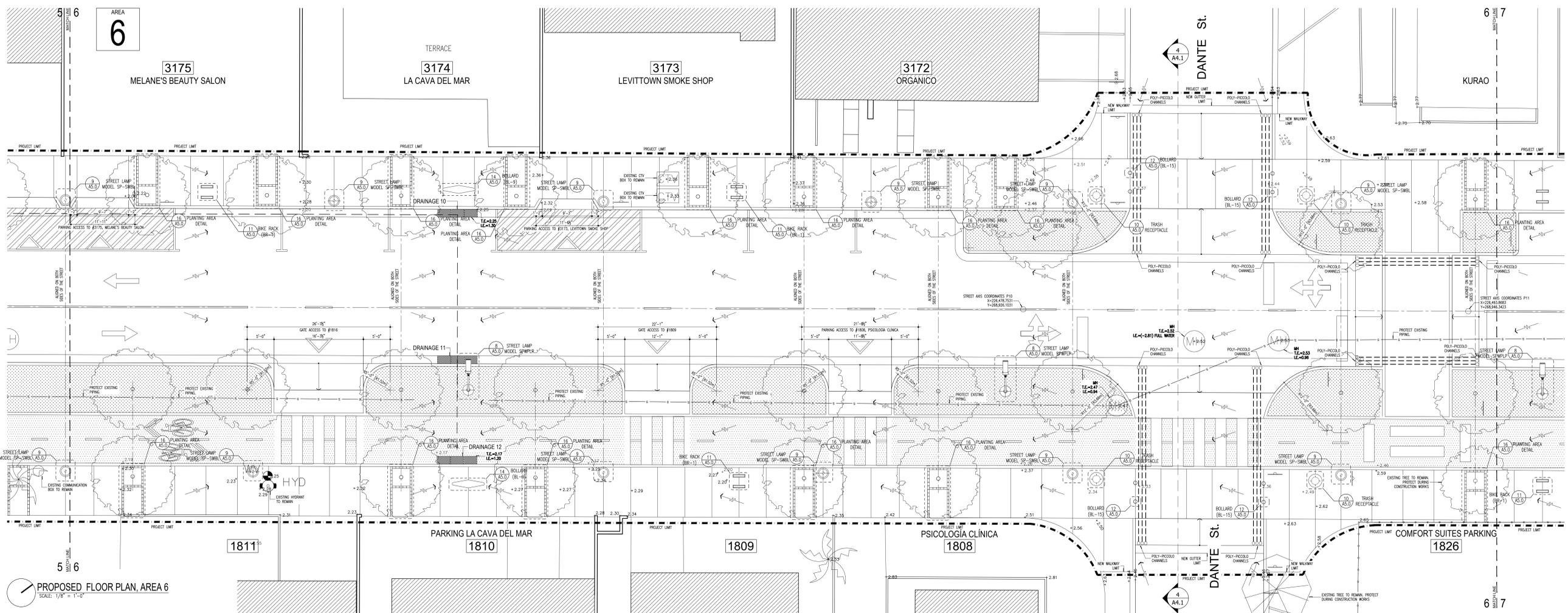
PROPOSED SIGNAGE & PAVEMENT MARKING, AREAS 3 & 4

| OWNER | PROJECT | SHEET |
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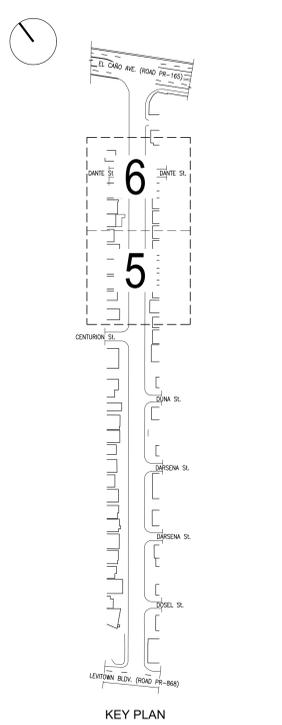


PROPOSED FLOOR PLAN, AREA 5
SCALE: 1/8" = 1'-0"



PROPOSED FLOOR PLAN, AREA 6
SCALE: 1/8" = 1'-0"

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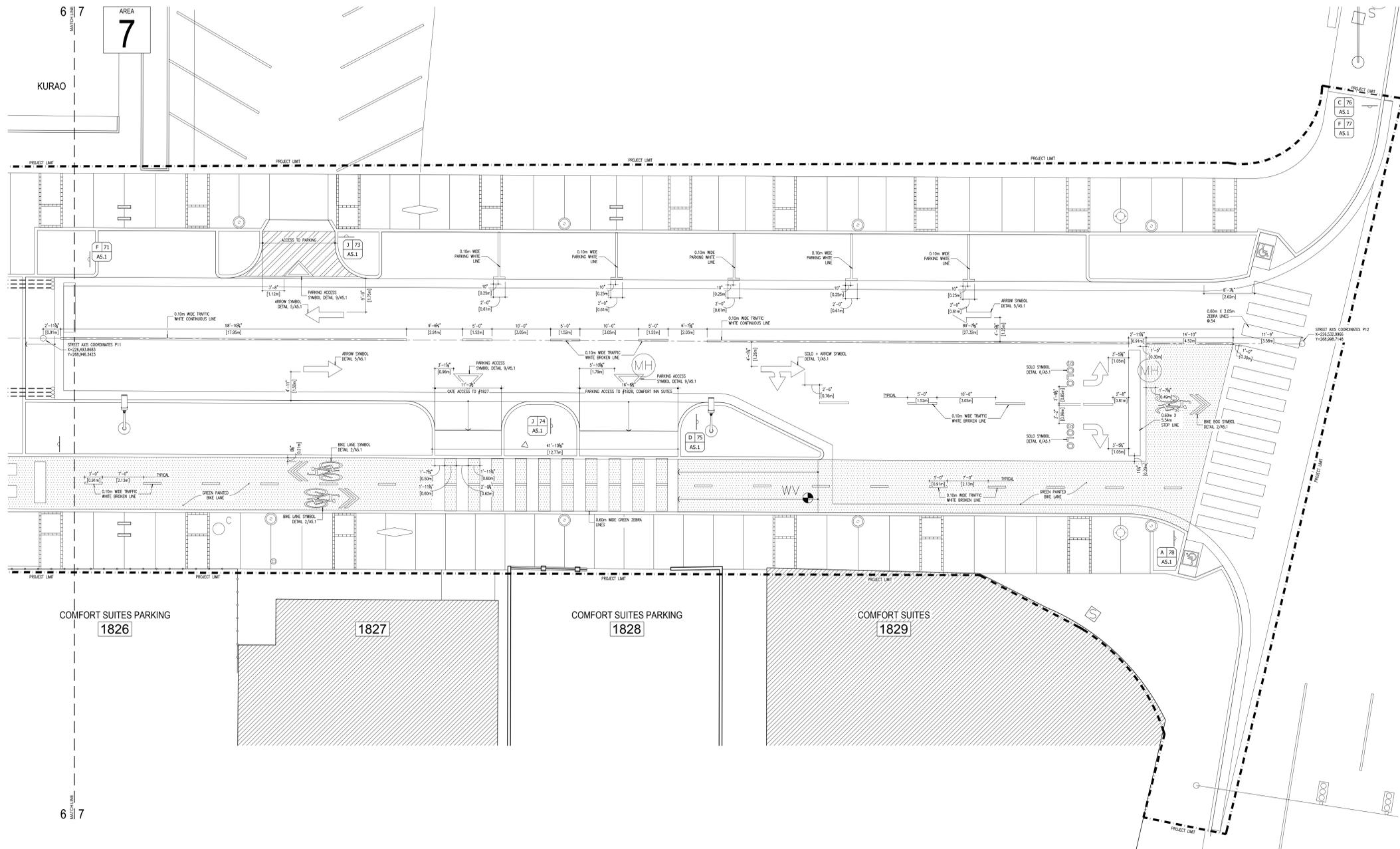
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TOA BAJA, PUERTO RICO
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PROPOSED FLOOR PLAN, AREAS 5 & 6

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CHECKED BY: FERNANDO LUGO DATE: 03
SHEET: A3.3

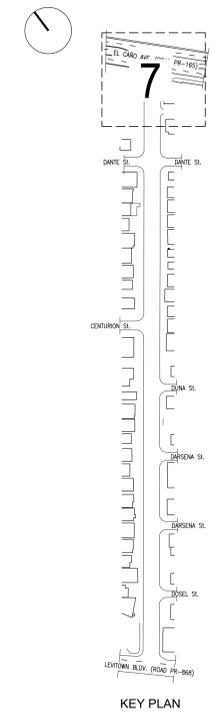
ROSSILUGO ARCHITECTURE



EL CAÑO AVE. (ROAD PR-165)

PROPOSED SIGNAGE & PAVEMENT MARKING, FLOOR PLAN AREA 7
SCALE: 1/8" = 1'

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CALLE COMPLETA AVENIDA DEL VALLE
TOA BAJA, PUERTO RICO
CDBG - DR - CRP 01026

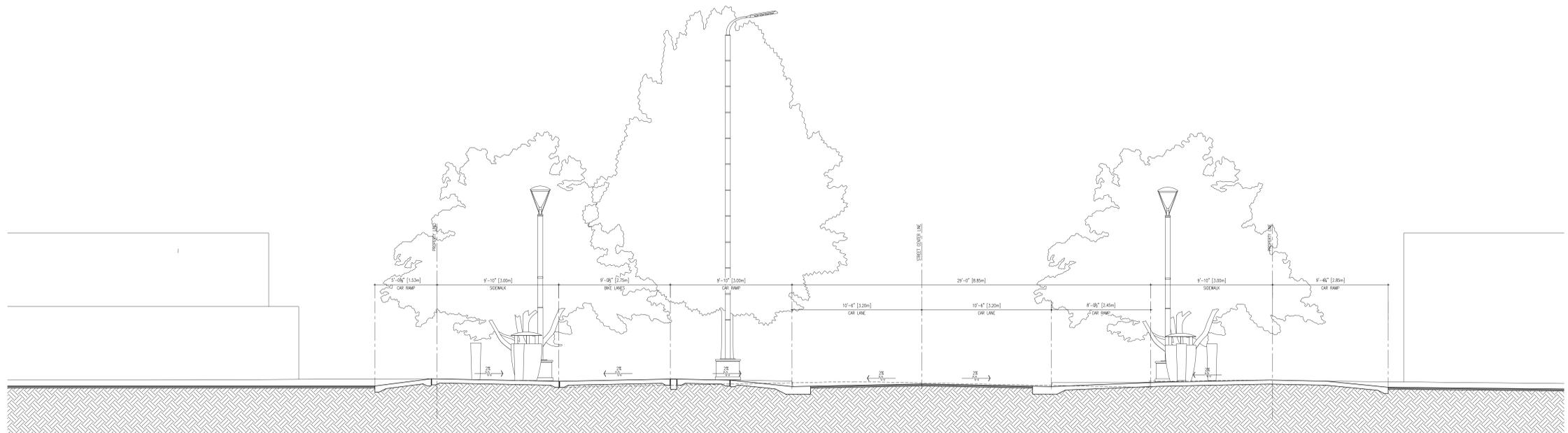
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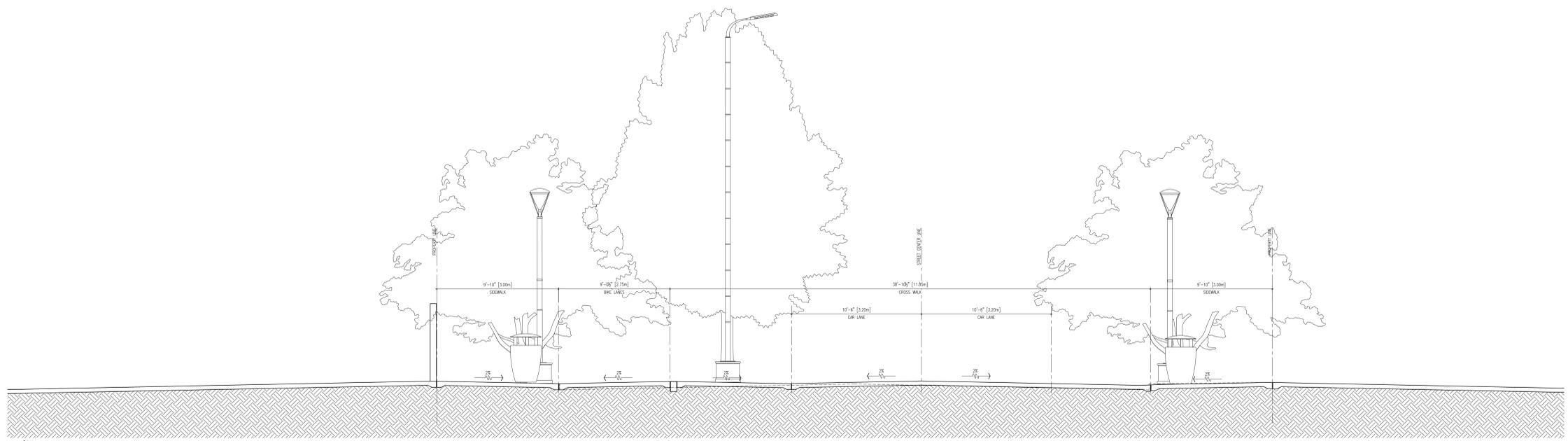
ROSSILUGO
ARCHITECTURE

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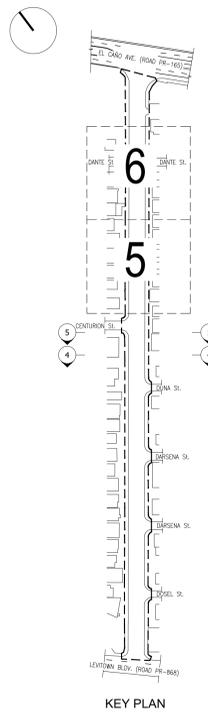
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A4.1
STREET CROSS SECTION
SCALE: 1/4" = 1'-0"



5
A4.1
STREET CROSS SECTION
SCALE: 1/4" = 1'-0"



KEY PLAN

NOTA IMPORTANTE:
Yo, FERNANDO LUGO, ARQUITECTO, LICENCIA 8495, certifico que soy el profesional que diseñó la ARQUITECTURA en estos planos y las especificaciones contempladas. También certifico que entiendo que dichos planos y especificaciones cumplen con las disposiciones aplicables del Reglamento Comunitario y las disposiciones aprobadas de los reglamentos y Códigos de Construcción Vigentes de las Agencias, Junta Reglamentadora y Corporaciones Públicas con jurisdicción. Certifico además que en la preparación de estos planos y especificaciones se ha cumplido cabalmente con lo dispuesto en la Ley 14-2004, según enmendada, conocida como la Ley que la Inversión por la Industria Puertorriqueña y con la Ley Núm. 319 de 15 de mayo de 1938, según enmendada; Ley Núm. 86 de 6 de julio de 1976, según enmendada, según aplica. Reconozco que cualquier declaración falsa o falsificación de los hechos que se haya prestado por desconocimiento o por negligencia en una per se, mis agentes o empleados, a gar otros personas con mi conocimiento, me hacen responsable de cualquier acción judicial y disciplinaria por la DCB.

CONSTRUCTION DOCUMENTS

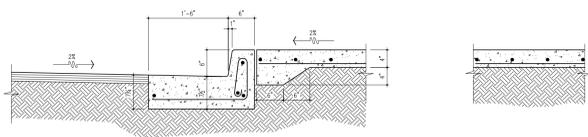
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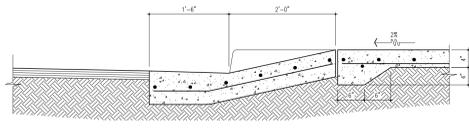
CALLE COMPLETA AVENIDA DEL VALLE
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CDBG - DR - CRP 01026

| TITLE | PROJECT | SHEET |
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| CHECKED BY: FERNANDO LUGO | DATE: 03 | |

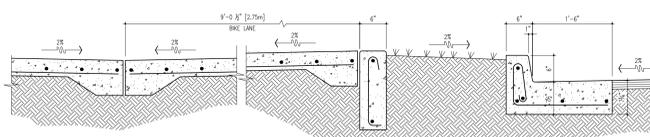
ROSSILUGO
ARCHITECTURE



1 CURB & GUTTER DETAIL
SCALE: 3/4" = 1'



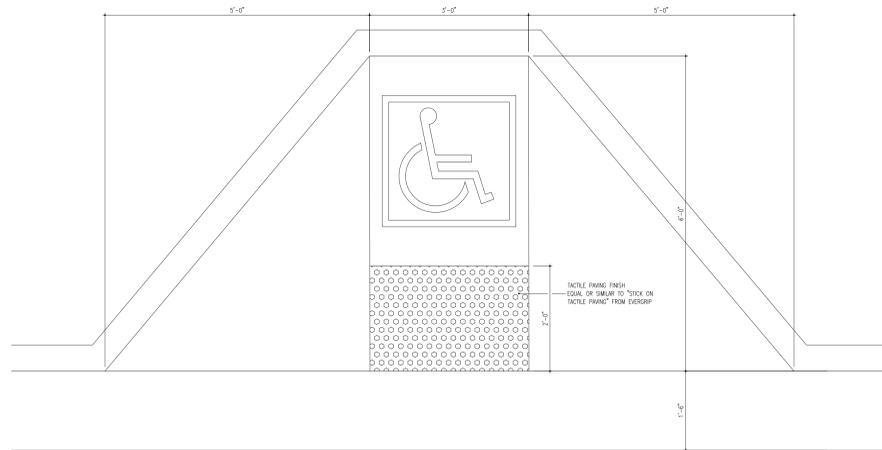
2 SIDEWALK DETAIL
SCALE: 3/4" = 1'



4 SIDEWALK-BIKE LANE
SCALE: 3/4" = 1'

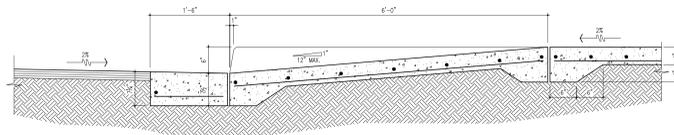
5 BIKE LANE-PLANTING
SCALE: 3/4" = 1'

6 PLANTING-CURB
SCALE: 3/4" = 1'

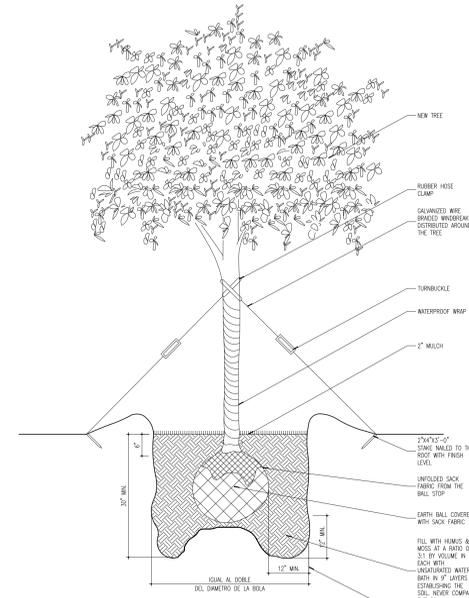


FLOOR PLAN

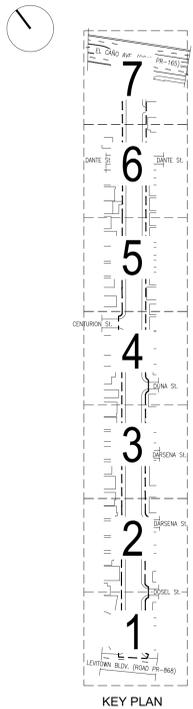
7 ADA RAMP DETAIL
SCALE: 3/4" = 1'



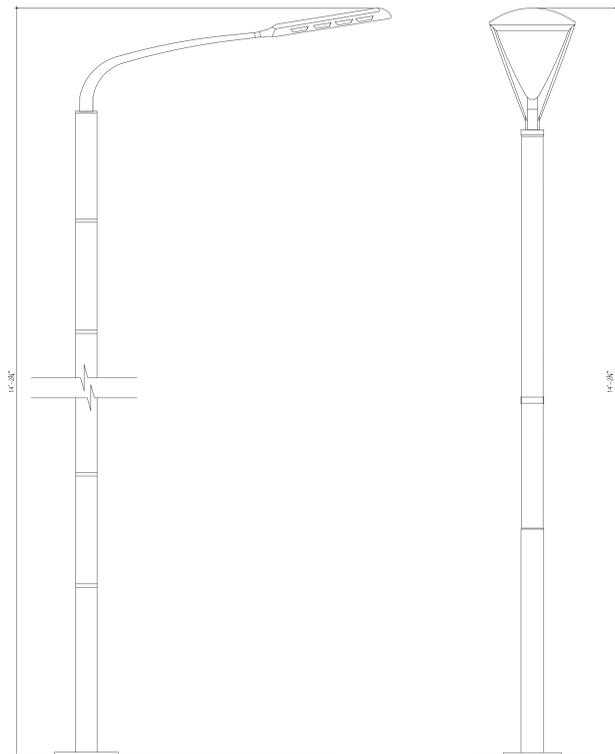
CROSS SECTION



15 PLANTING DETAIL
SCALE: NOT TO SCALE

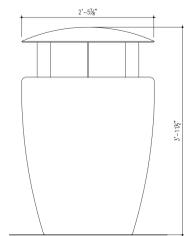


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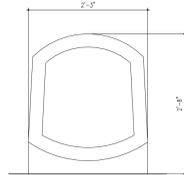


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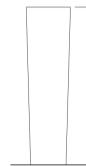
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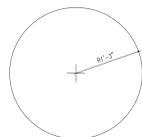
ELEVATION



ELEVATION



ELEVATION



FLOOR PLAN



FLOOR PLAN



FLOOR PLAN

10 TRASH RECEPTACLE (TR-9)
SCALE: 3/4" = 1'

11 BIKE RACK (BR-1)
SCALE: 3/4" = 1'

12 BOLLARD (BL-15)
SCALE: 3/4" = 1'



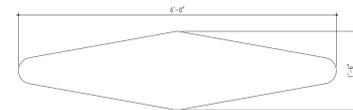
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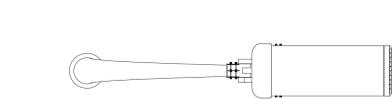
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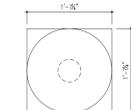
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13 BENCH (BE-12)
SCALE: 3/4" = 1'

14 BENCH (BL-9)
SCALE: 3/4" = 1'



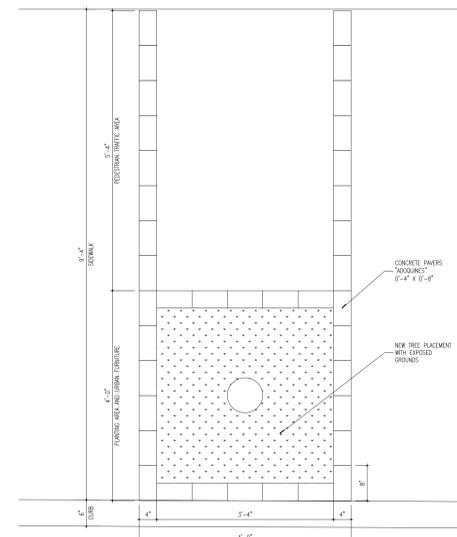
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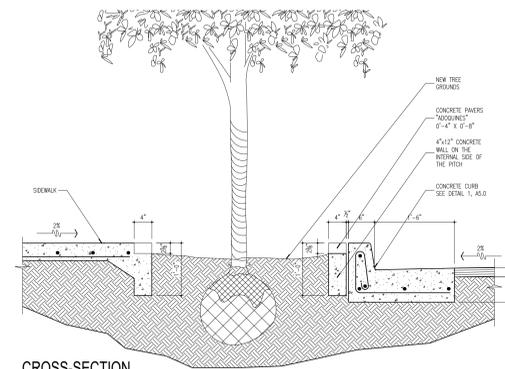
FLOOR PLAN

8 STREET LAMP (HIGHLIGHT SP/WPLP)
SCALE: 3/4" = 1'

9 STREET LAMP (HIGHLIGHT SP-SWBL)
SCALE: 3/4" = 1'



FLOOR PLAN



CROSS-SECTION

16 PLANTING AREA DETAIL
SCALE: 3/4" = 1'

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LIC. 88495
EXP 21/11/NOV/2023
PUERTO RICO

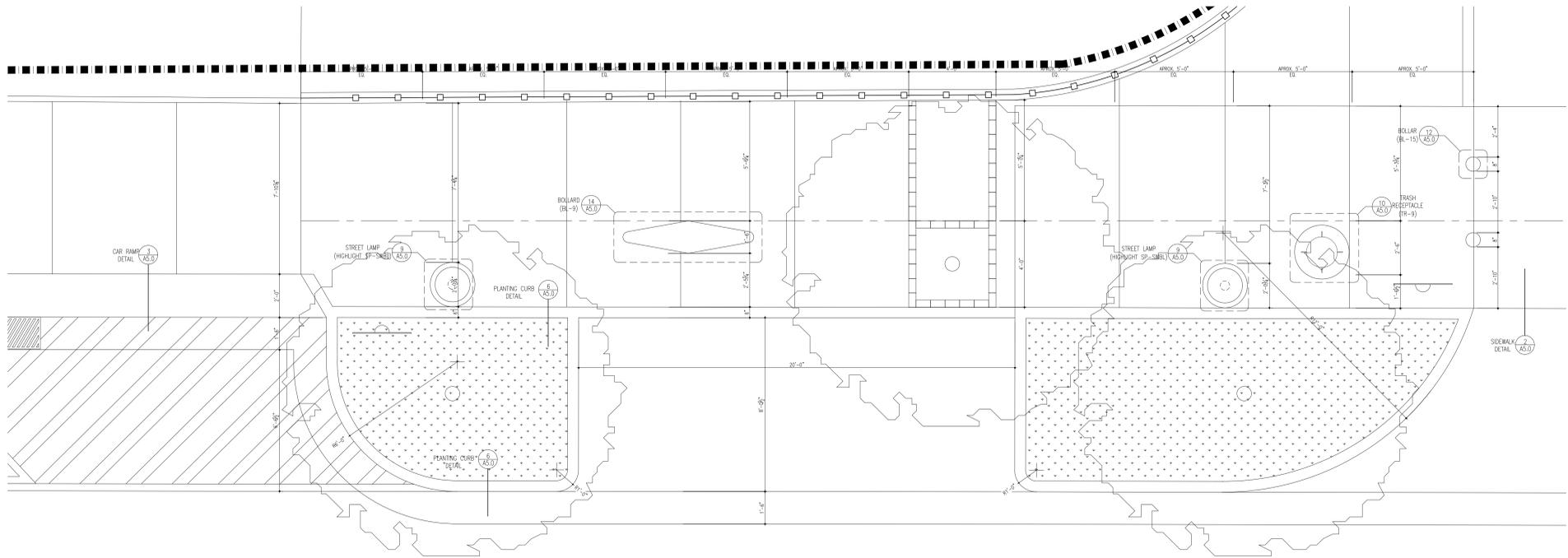
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CALLE COMPLETA AVENIDA DEL VALLE
TOA BAJA, PUERTO RICO
CDBG - DR - CRP 01026

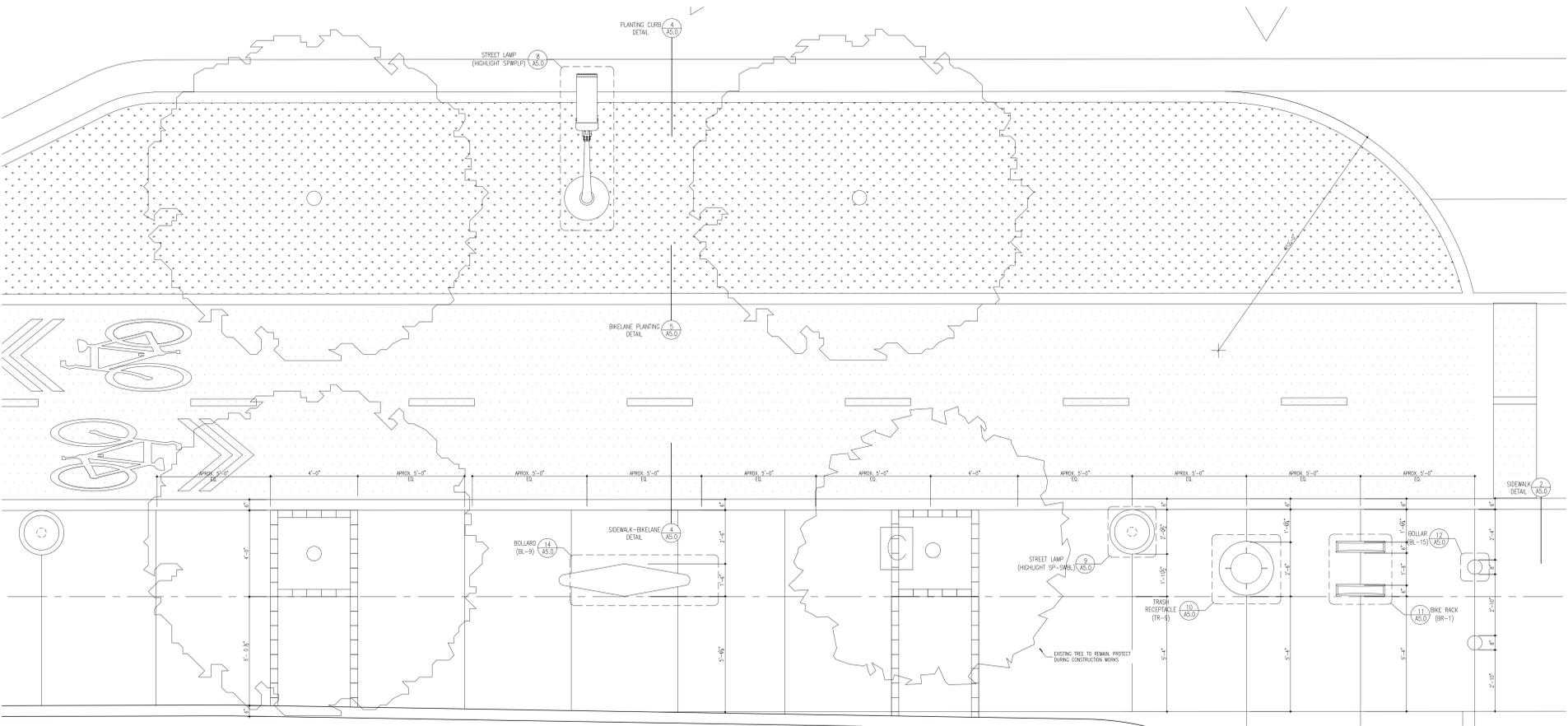
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| DRAWN BY: FERNANDO LUGO | SCALE: 03 |
| CHECKED BY: FERNANDO LUGO | DATE: 03 |
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ROSSILUGO ARCHITECTURE



FLOOR PLAN

15 TYPICAL SIDEWALK DETAILS
SCALE: 3/8" = 1'

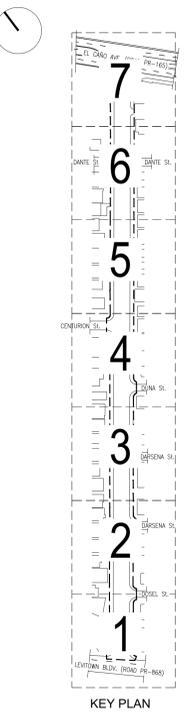


FLOOR PLAN

16 TYPICAL SIDEWALK DETAILS
SCALE: #####

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LIC. 8495
EXP 21/11/2023
PUERTO RICO

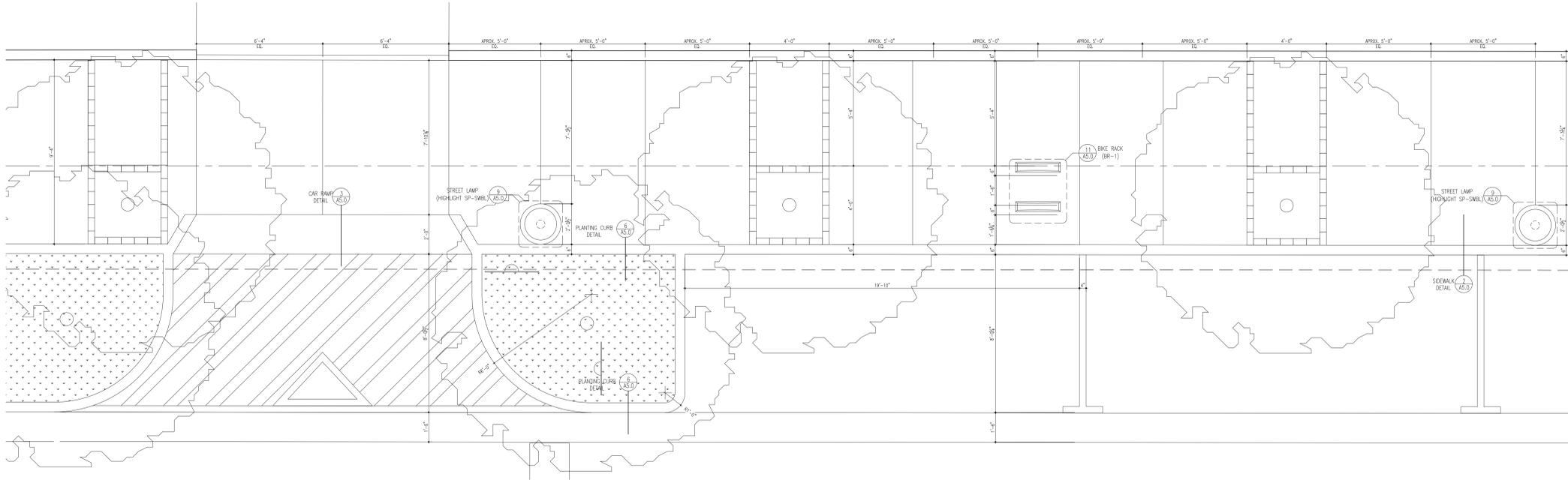
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CDBG-DR-CRP 01026

| TYPICAL SIDEWALK DETAILS | | SHEET |
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ROSSILUGO
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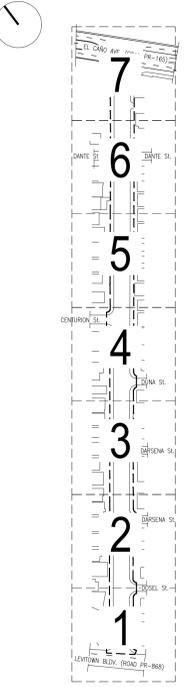


FLOOR PLAN

17 TYPICAL SIDEWALK DETAILS
A5.3 SCALE: #####

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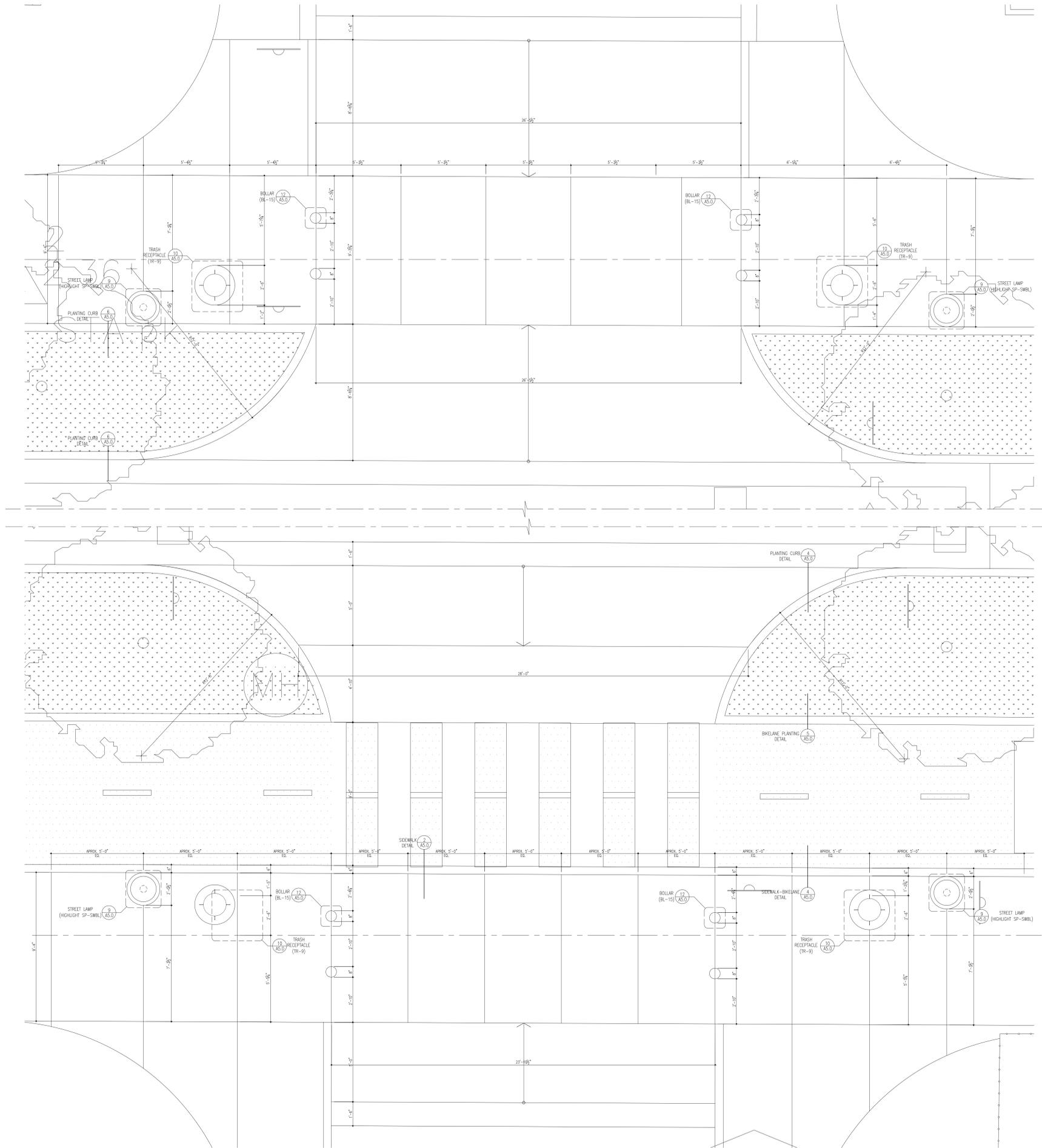
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CALLE COMPLETA AVENIDA DEL VALLE
TOA BAJA, PUERTO RICO
CDBG - DR - CRP 01026

TITLE: TYPICAL SIDEWALK DETAILS

| DRAWN BY | SCALE | PROJECT | SHEET |
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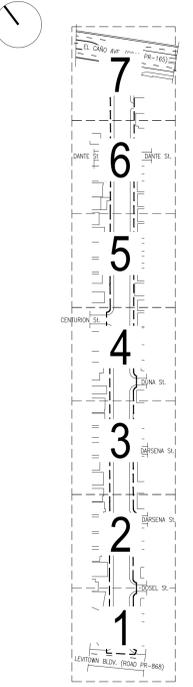


FLOOR PLAN

18 TYPICAL SIDEWALK DETAILS
SCALE: 1/8" = 1'-0"

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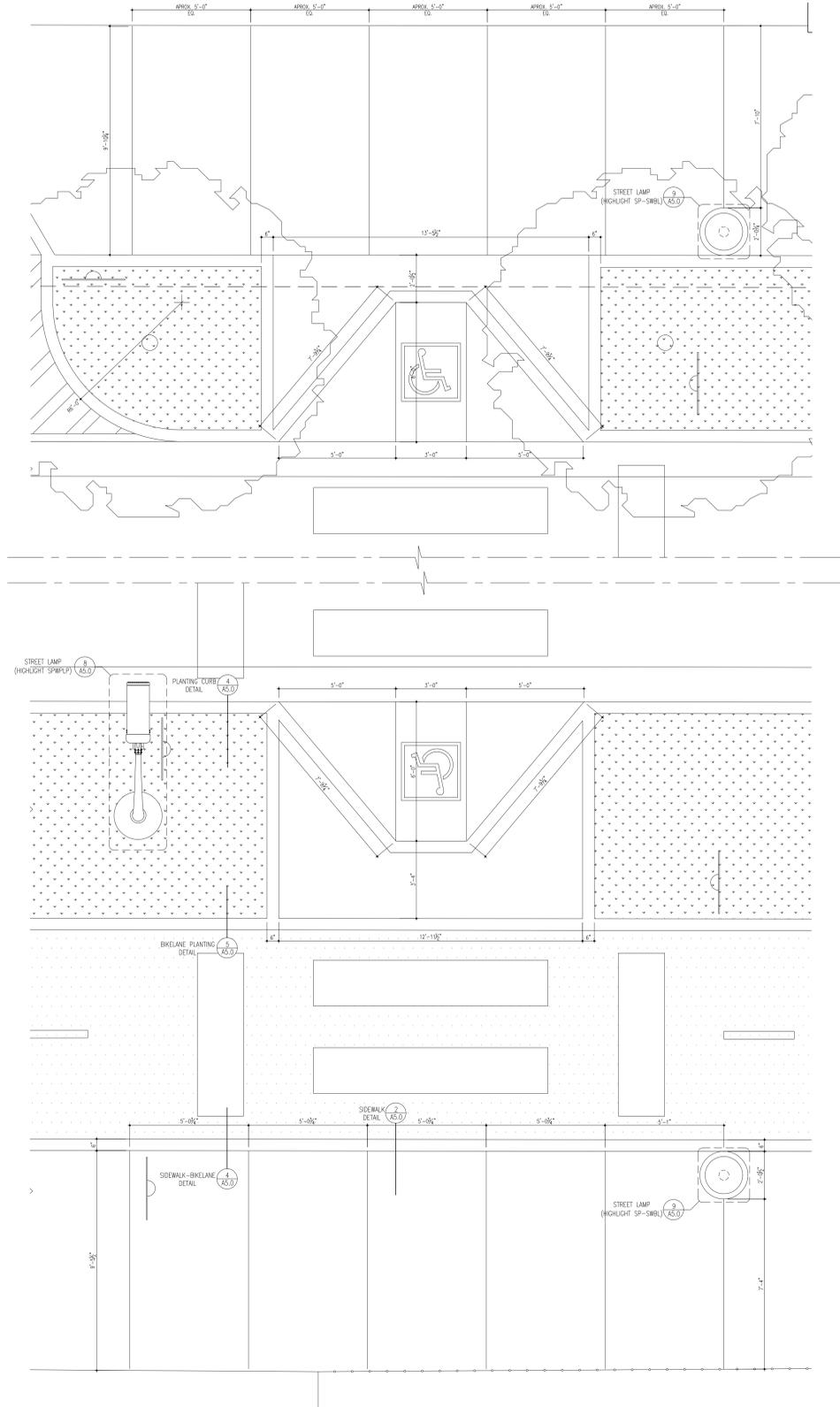
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CALLE COMPLETA AVENIDA DEL VALLE
TOA BAJA, PUERTO RICO
CDBG-DR-CRP 01026

TYPICAL SIDEWALK DETAILS

| OWNER | PROJECT | SHEET |
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| MUNICIPIO DE TOA BAJA | | |
| DRAWN BY: FERNANDO LUGO | SCALE: 1/8" = 1'-0" | 23 A5.4 |
| CHECKED BY: FERNANDO LUGO | DATE: 03 | |

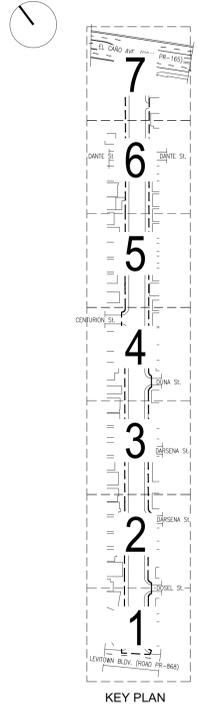
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FLOOR PLAN
 21 TYPICAL SIDEWALK DETAILS
 A5.6 SCALE: 1/8"=1'-0"

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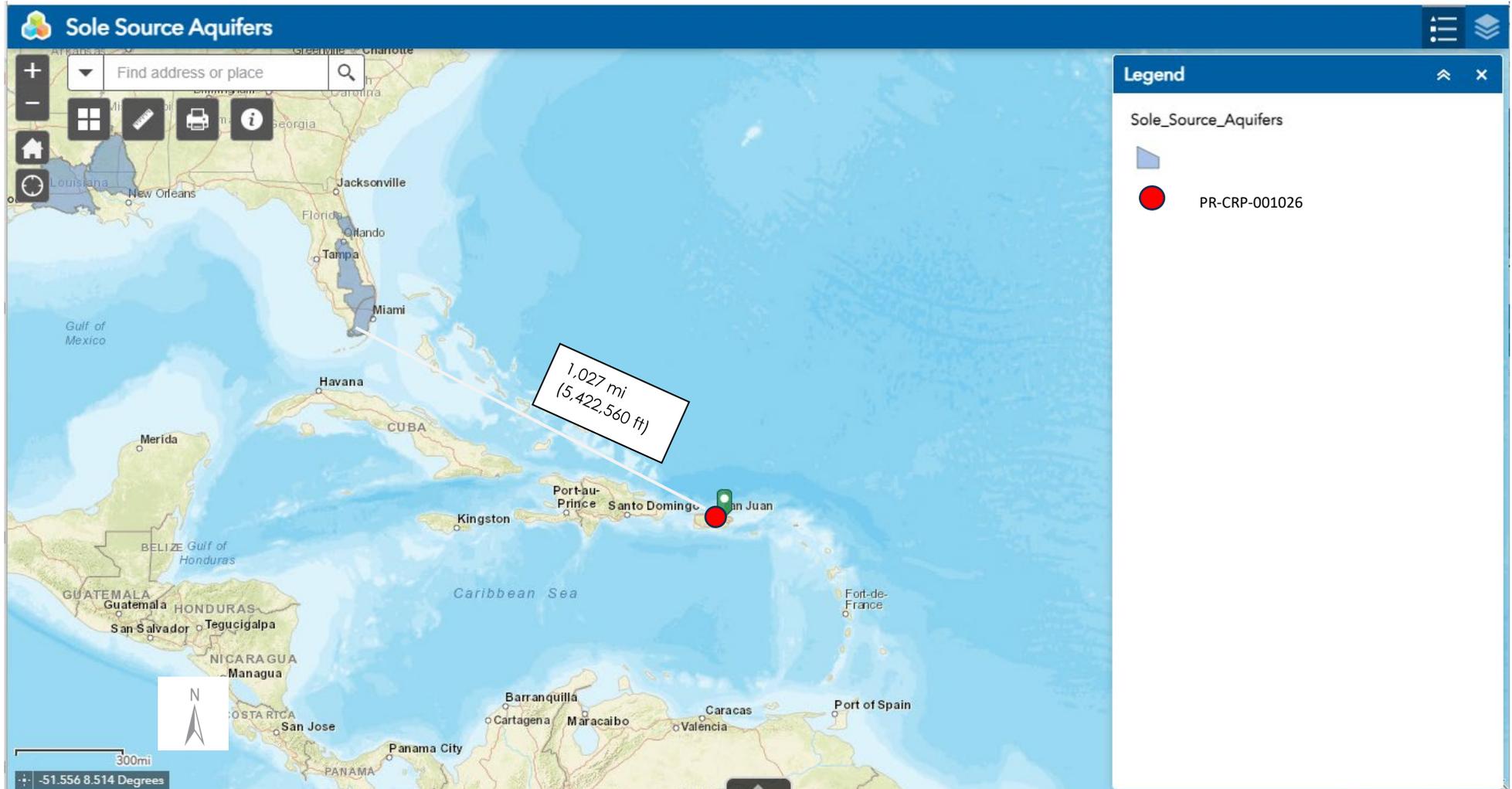
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| TOA BAJA, PUERTO RICO | | 23 | |
| CDBG - DR - CRP 01026 | | 03 | |
| TYPICAL SIDEWALK DETAILS | | A5.6 | |
| DRAWN BY: | DATE: | CHECKED BY: | DATE: |
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Attachment 12. Sole Source Aquifers Map

PR-CRP-001026 – Conversion of Del Valle Avenue into a Complete Street

Coord: 18.452758, -66.185152 to 18.456523, -66.182118

Address: Del Valle Avenue, Levittown, Barrio Sabana Seca, Toa Baja, PR



Source: U.S. EPA Map of Sole Source Aquifer Locations (Spatial Reference: WGS84), accessed at URL <https://www.epa.gov/dwssa/map-sole-source-aquifer-locations>

Attachment 13. Wetlands Map

PR-CRP-001026 – Conversion of Del Valle Avenue into a Complete Street

Coord: 18.452758, -66.185152 to 18.456523, -66.182118
 Address: Del Valle Avenue, Levittown, Barrio Sabana Seca, Toa Baja, PR



Wetlands

- Estuarine and Marine Deepwater
- Estuarine and Marine Wetland

- Freshwater Emergent Wetland
- Freshwater Forested/Shrub Wetland
- Freshwater Pond

- Lake
- Other
- Riverine

PR-CRP-001026

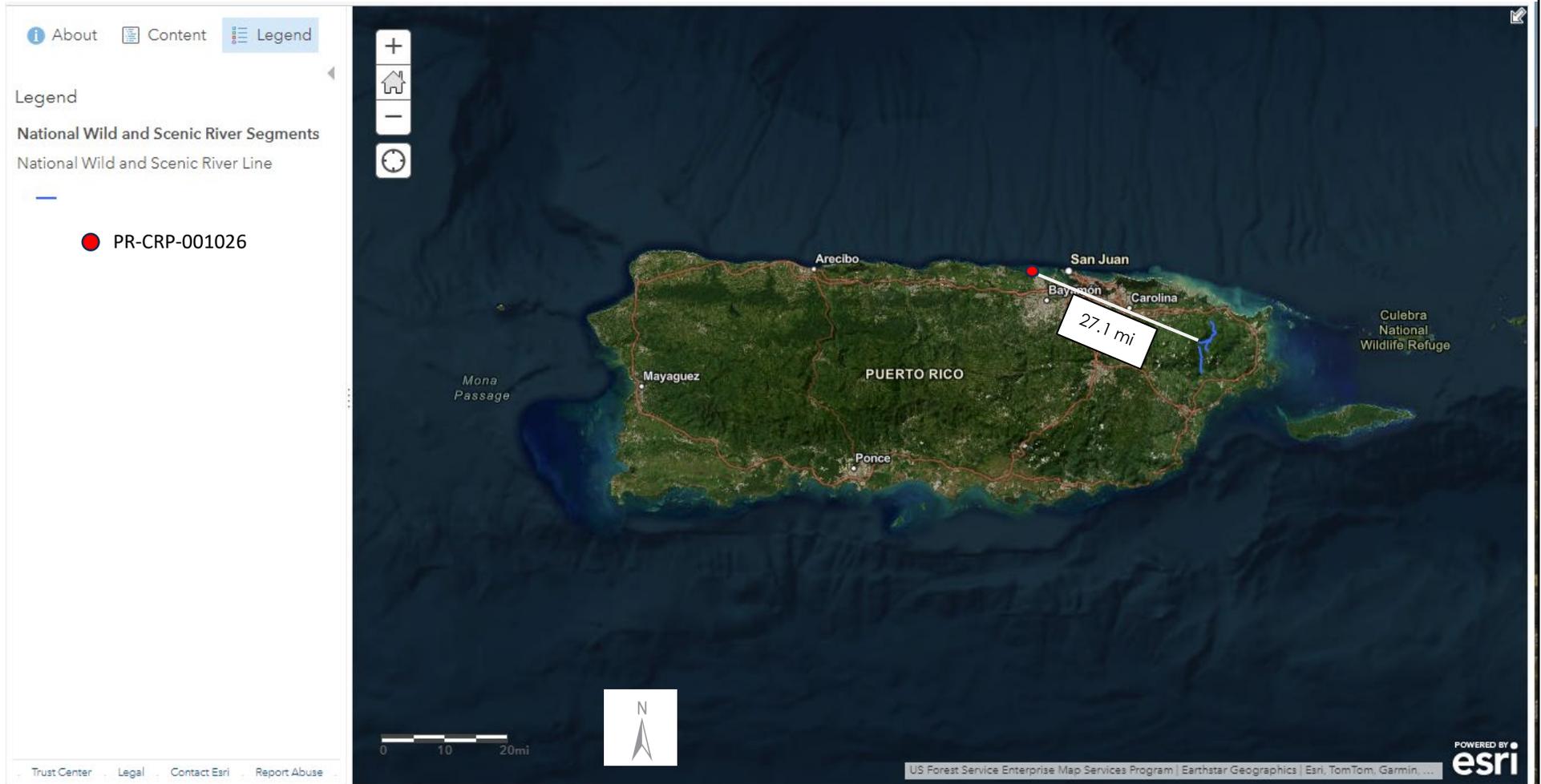
U.S. Fish and Wildlife Service, National Standards and Support Team,
 wetlands_team@fws.gov

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

Attachment 14. Wild and Scenic Rivers Map

PR-CRP-001026 – Conversion of Del Valle Avenue into a Complete Street

Coord: 18.452758, -66.185152 to 18.456523, -66.182118
Address: Del Valle Avenue, Levittown, Barrio Sabana Seca, Toa Baja, PR



Source: US Forest Service (USFS) (Spatial Reference: WGS84), accessed at URL <https://www.arcgis.com/home/webmap/viewer.html?panel=gallery&layers=a37eb56966cc4b11b69909e288414e53>

Attachment 15. Land Use Plan (PUT) Map

PR-CRP-001026 – Conversion of Del Valle Avenue into a Complete Street

Coord: 18.452758, -66.185152 to 18.456523, -66.182118
Address: Del Valle Avenue, Levittown, Barrio Sabana Seca, Toa Baja, PR



Source: Puerto Rico Planning Board (Spatial Reference: NAD 83) URL <https://gis.ip.pr.gov/mipr/>

Prepared by 



Asbestos Containing Building Materials Inspection Report

Project:

Road Ditches at Del Valle Avenue,
Levittown, Toa Baja, Puerto Rico

Client:

Rossi Lugo Architecture

ZEM-23196

July 2023

Prepared By:

Zimmetry Environmental Management, Corp.

www.zimmetry.com

info@zimmetry.com

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SECTION 1: EXECUTIVE SUMMARY

1.1 INTRODUCTION

An Asbestos Containing Building Materials (ACBM) inspection was conducted on June 26, 2023 at Road Ditches at Del Valle Avenue in Levittown, Toa Baja, Puerto Rico. The asbestos containing building materials sampling was performed to identify material that contains asbestos fibers above allowable levels and to assist with the compliance of local, state and federal regulations.

1.2 SUMMARY OF PROPERTY EVALUATION

The project consisted in the evaluation of the areas of the aforementioned project. The evaluation found that **no** asbestos containing materials were identified during the inspection of the areas.

SECTION 2: ASBESTOS CONTAINING MATERIALS SURVEY REPORT

2.1 OVERVIEW OF THE EVALUATION

This asbestos containing materials (ACM) survey is an inspection to identify the location of any ACM that exist within. Throughout the inspection no asbestos containing materials were identified at the assessed areas.

The inspection was conducted by the Department of Natural and Environmental Resources (DRNA) of Puerto Rico and United States Environmental Protection Agency (USEPA) accredited Inspectors qualified by experience, education and training in the recognition of potential ACM and approved bulk sampling techniques. Some areas may not have been directly accessible due to the physical hazards encountered within. In these areas, assumptions based on findings in other areas were made whenever possible. These assumptions are duly noted as such in this report.

The inspection was performed in accordance with Environmental Protection Agency recommended procedures found in EPA-450/2-78-014 (Parts I and II), EPA 560/5-85-024, and 40 CFR 763. These procedures call for the visual inspection of the building for suspect friable material and collection and analysis of representative samples of suspect material.

2.2 CONDITIONS AND LIMITATIONS—DISCLAIMER

Zimmetry Environmental Management Corp. has performed this asbestos containing building materials inspection in a thorough and professional manner consistent with commonly accepted industry standards. The Preparer cannot guarantee and does not warrant that this evaluation has identified all adverse environmental factors and/or conditions affecting this project on the date of the evaluation.

The results reported and conclusions reached by the Preparer are solely for the benefit of the Owner and occupants. The results and opinions in this report, based solely on the conditions found at the project on the date of the evaluation, are valid only on that date. The Preparer assumes no obligation to advise the client of any changes in any real or potential asbestos hazards at this structure beyond the date of the project evaluation.

The Asbestos Containing Building Materials inspection was performed to ready accessible components and surfaces. If suspected components that could contain asbestos are encountered, they shall be managed as containing asbestos until the appropriate laboratory analysis is performed.

2.3 ENVIRONMENTAL ASSESSMENT REPORT CERTIFICATION

Zimmetry Environmental Management Corp. has performed this asbestos containing building materials inspection in a thorough and professional manner consistent with commonly accepted industry standards. The inspection was conducted on June 26, 2023 by Milagros Caraballo, state-certified inspector ASB-0822-0286-SI, qualified by experience, education and training in the recognition of asbestos containing materials and approved sampling techniques.



Milagros Caraballo, MSEM
Environmental Asbestos Inspector

SECTION 3: APPENDICES

Appendix A: Certifications, Licenses, and Accreditations

Appendix B: Certification of No Presence of Asbestos (Form PGC-009)

APPENDIX A: CERTIFICATIONS, LICENSES, AND ACCREDITATIONS

| | |
|---|--|
|  | TARJETA DE REGISTRO PARA LA REMOCION DE ASBESTO |
| | Esta tarjeta autoriza a: |
| | <i>Milagros Caraballo Vargas</i> |
| | Inspector |
| | A trabajar en la remoción de asbesto en P.R. Esta persona NO es un empleado del DRNA. |
| |  |
| | Firma Autorizada - Departamento Recursos Naturales y Ambientales |
| ASB-0822-0286-SI | |
| Número de Registro | |
| 31-jul-2023 | |
| Fecha de vencimiento | |

APPENDIX B: CERTIFICATION OF NO PRESENCE OF ASBESTOS
(FORM PGC-009)



Lead Based Paint Inspection Report

Project:

Road Ditches at Del Valle Avenue,
Levittown, Toa Baja, Puerto Rico

Client:

Rossi Lugo Architecture

ZEM-23196

July 2023

Prepared By:

Zimmetry Environmental Management, Corp.
www.zimmetry.com
info@zimmetry.com

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SECTION 1: EXECUTIVE SUMMARY

1.1 INTRODUCTION

A Lead-Based Paint inspection was conducted on June 26, 2023 at Road Ditches at Del Valle Avenue in Levittown, Toa Baja, Puerto Rico. The lead-based paint inspection was performed to identify paint that contains lead above allowable levels and to assist with the compliance of local, state and federal regulations.

1.2 SUMMARY OF PROPERTY EVALUATION

The project consisted of the evaluation of the areas of the aforementioned project. The evaluation found that lead based paint was present in selective components and surfaces through the project on the date of the inspection. Table 1-1 identifies the components positive for lead. Table 2-1 identifies lead-based paint as defined by the U.S. Environmental Protection Agency (EPA) and the Department of Natural and Environmental Resources (DRNA) of Puerto Rico. For specific locations and additional detail on the location of lead-reference Sections 2 and 3.

1.3 PROPERTY LOCATIONS OF BUILDING COMPONENTS WITH LEAD-BASED PAINT

Table 1-1 summarizes the site components and surfaces coated with lead-based paint. Details that identify positive lead-based paint findings within specific areas and on surfaces were provided in the lead-based paint inspection report. The “substrate” is the building component material directly beneath the painted surface. Photographic documentation is for reference purposes and doesn't necessarily include all the surfaces with lead-based paint and/or components containing lead. The quantification of positives materials presented in this table is only an estimate. If an abatement of the materials will be conducted, the Contractors shall estimate the amount of materials to be abated.

If homogeneous materials that were not accounted for are identified in areas that are not describe in this report or inaccessible areas described in Section 2.3.3, they shall be managed as containing lead. If suspected components that could contain lead are encountered underneath current installed tiles or other construction material, they shall be managed as containing lead until the appropriate test is performed. Refer to Appendix E: Location of Positive Materials for specific location.

| Table 1-1: Summary of Components Containing Lead | | | | |
|---|------------------|--------------|------------------|---------------------------|
| Area | Component | Color | Substrate | Approximate Amount |
| North to South | Curb | Yellow | Concrete | 15 Ln Ft |
| South to North | Curb | Yellow | Concrete | 34 Ln Ft |
| | Curb | Yellow | Concrete | 19 Ln Ft |

Note:

1. The quantification of positives materials presented in this table is only an estimate. If an abatement of the materials will be conducted, the Contractors shall estimate the amount of materials to be abated.

SECTION 2: LEAD-BASED PAINT INSPECTION REPORT

2.1 OVERVIEW OF THE EVALUATION

This lead-based paint inspection is an investigation to identify all lead-based paint on a surface-by-surface basis. A lead-based paint inspection conforming to HUD guidelines was performed at the aforementioned project.

Averages of 51 samples were taken at identified surfaces of the evaluated areas using X-ray fluorescence (XRF) analyzer. The evaluation found that lead-based paint was present in selective components and surfaces through the project on the date of the assessment (See Table 1-1).

Some of the remaining XRF test locations exhibited lead-in-paint levels below the level that EPA identifies as lead-based paint, namely 1.0 mg/cm². Such surfaces could create dust-lead or soil-lead hazards if the paint is turned into dust by abrasion, scraping, or sanding. Should these or any lead containing components or surfaces be disturbed in any manner that generates dust, care should be taken to limit its spread.

Testing was performed by Melanie Bermúdez, state-certified lead inspector LBPI-19422-170, using the Niton XLP-300A XRF, SN-101222. The credentials are provided in Section 3, Appendix A: Certifications, Licenses, and Accreditations. The XRF analyzer is designed to measure the lead content of surface coatings on a variety of building surfaces, substrates, and components. The measurement is rapid and nondestructive and, according to the manufacturer, is capable of detecting lead concentrations that occur within numerous layers of various surface coatings.

Please refer to the XRF Testing Results Section 3, Appendix B: XRF Sampling Data for the detailed analytical testing results for each distinct area inspected. The reports provide a complete testing data.

2.2 SAMPLING PROCEDURE

The Lead Based Paint Sampling Procedure was design to evaluate and document all the data obtained form the inspection in a sequential method that provided confidence at the moment of the results presentation.

The survey was performed following the methodology established in the HUD Guidelines for the Evaluation and Control of Lead Based Paint in Housing (2012 revision) and the Department of Natural and Environmental Resources (DRNA) of Puerto Rico Regulation 9098: Regulation for Proper Management of Lead-Based Paint Activities. The surfaces evaluation was performed as follows:

- If the lead concentration measured by the XRF Spectrum Analyzer is less than 1.0 mg/cm² it is considered negative.

- If the lead concentration measured by the XRF Spectrum Analyzer is equal or greater than 1.0 mg/cm² it is considered positive.

To each functional space of the project a name was assigned according to the use of that space. If no name could be assigned then a code letter or number was assigned.

Each wall surface was named with letters beginning with wall A the wall facing the main entrance direction. The wall at your left will be wall B, the wall at front wall C and the wall at you right will be wall D.

2.3 RESULTS PRESENTATION

This section describes the project components and surfaces coated with lead-based paint (LBP), which were observed in the inspection. Please note that the recommendations given are always the minimum action, which in our professional judgment should be taken.

According to the DRNA lead regulations, prior to the demolishing of a structure containing lead-based paint, the contaminated surfaces or substrates must be abated or removed. The firm providing the abatement services must be certified as an abatement firm by the DRNA.

2.3.1 SPECIFIC FINDINGS

The following LBP were found to contain more than 1.0 mg/cm² for what Department of Natural and Environmental Resources (DRNA) of Puerto Rico identifies as lead-based paint or materials containing lead:

- Curbs

2.3.2 HOMOGENEOUS AREAS WITH SPECIAL CONSIDERATIONS

NONE

2.3.3 INACCESSIBLE AREAS PRESUMED TO BE LEAD-BASED PAINTED

NONE

2.4 LEAD REGULATORY LEVELS

The lead regulatory levels provided below are those used when preparing this lead-based paint evaluation or when evaluating data collected. The EPA regulatory levels are the same as the state regulatory levels provided in the following table.

| TABLE 2-1: LEAD REGULATORY LEVELS | |
|--|---|
| | EPA/DRNA Levels |
| Lead-Based Paint | 1.0 mg/cm² or 0.5% by weight (or 5,000 ppm) |

2.5 CONDITIONS AND LIMITATIONS—DISCLAIMER

Zimmetry Environmental Management Corp. has performed this lead-based paint inspection in a thorough and professional manner consistent with commonly accepted industry standards. The Preparer cannot guarantee and does not warrant that this evaluation has identified all adverse environmental factors and/or conditions affecting this project on the date of the evaluation.

The results reported and conclusions reached by the Preparer are solely for the benefit of the Owner. The results and opinions in this report, based solely on the conditions found at the project on the date of the evaluation, are valid only on that date. The Preparer assumes no obligation to advise the client of any changes in any real or potential lead-based paint hazards at this project beyond the date of the evaluation.

The lead inspection was performed to ready accessible components and surfaces. If suspected components that could contain lead are encountered underneath current installed tiles or other construction material, they shall be managed as containing lead until the appropriate test is performed. According to the DRNA on the “Regulation for the Proper Management of Lead-Based Paint Activities” Rule 139 (Section E, Part 17) all lead-based paint reports have a validity period of five (5) years.

2.6 ABATEMENT CONDITIONS

Abatement, as defined by HUD and the Department of Natural and Environmental Resources (DRNA) of Puerto Rico, means any set of measures designed to eliminate lead-based paint and/or lead-based paint hazards permanently. The people providing these services must be trained in accordance with the DRNA licensing/certification requirements. The product manufacturer and/or contractor must warrant abatement methods to last a minimum of 20 years, or these methods must have a design life of at least 20 years.

- onsite or offsite removal of lead-based paint from substrates and components
- replacement of components or fixtures painted with lead-based paint
- permanent enclosure of lead-based paint with construction materials mechanically-fastened to the substrate
- encapsulation of lead-based paint with specially designed encapsulant products
- removal or permanent covering (concrete or asphalt) of soil-lead-based paint hazards

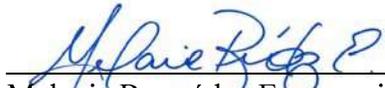
If enclosure or encapsulation is conducted as an abatement method, the lead-based paint remains on the property, so ongoing lead-based paint maintenance is required.

2.7 RECOMMENDATIONS

According to the DRNA lead regulations, prior to the demolishing of a structure containing lead-based paint, the contaminated surfaces or substrates must be abated or removed. The waste generated has to be characterized to determine if the waste generated is hazardous or non-hazardous waste. The firm providing the abatement services must be certified as an abatement firm by the DRNA. Workers conducting abatement must be trained and certified as abatement workers by a training provider accredited by the DRNA.

2.8 ENVIRONMENTAL ASSESSMENT REPORT CERTIFICATION

Zimmetry Environmental Management Corp. has performed this lead-based paint inspection in a thorough and professional manner consistent with commonly accepted industry standards. The inspection was conducted on June 26, 2023 by Melanie Bermúdez, state-certified lead inspector LBPI-19422-170, qualified by experience, education and training in the recognition of lead-based paint and approved sampling techniques using the Niton XLP-300A XRF, SN-101222.



Melanie Bermúdez Encarnación, BSc
Environmental Lead Inspector

SECTION 3: APPENDICES

Appendix A: Certifications, Licenses, and Accreditations

Appendix B: XRF Sampling Data

Appendix C: XRF's Performance Characteristics Sheet

Appendix D: Photographic Record

Appendix E: Location of Positive Materials

APPENDIX A: CERTIFICATIONS, LICENSES, AND ACCREDITATIONS



APPENDIX A: CERTIFICATIONS, LICENSES, AND ACCREDITATIONS



APPENDIX B: XRF SAMPLING DATA

APPENDIX C: XRF's PERFORMANCE CHARACTERISTICS SHEET

Performance Characteristic Sheet

EFFECTIVE DATE: September 24, 2004

EDITION NO.: 1

MANUFACTURER AND MODEL:

Make: Niton LLC

Tested Model: XLP 300

Source: ^{109}Cd

Note: This PCS is also applicable to the equivalent model variations indicated below, for the Lead-in-Paint K+L variable reading time mode, in the XLI and XLP series:

XLI 300A, XLI 301A, XLI 302A and XLI 303A.

XLP 300A, XLP 301A, XLP 302A and XLP 303A.

XLI 700A, XLI 701A, XLI 702A and XLI 703A.

XLP 700A, XLP 701A, XLP 702A, and XLP 703A.

Note: The XLI and XLP versions refer to the shape of the handle part of the instrument. The differences in the model numbers reflect other modes available, in addition to Lead-in-Paint modes. The manufacturer states that specifications for these instruments are identical for the source, detector, and detector electronics relative to the Lead-in-Paint mode.

FIELD OPERATION GUIDANCE

OPERATING PARAMETERS:

Lead-in-Paint K+L variable reading time mode.

XRF CALIBRATION CHECK LIMITS:

0.8 to 1.2 mg/cm² (inclusive)

The calibration of the XRF instrument should be checked using the paint film nearest 1.0 mg/cm² in the NIST Standard Reference Material (SRM) used (e.g., for NIST SRM 2579, use the 1.02 mg/cm² film).

If readings are outside the acceptable calibration check range, follow the manufacturer's instructions to bring the instruments into control before XRF testing proceeds.

SUBSTRATE CORRECTION:

For XRF results using Lead-in-Paint K+L variable reading time mode, substrate correction is not needed for:

Brick, Concrete, Drywall, Metal, Plaster, and Wood

INCONCLUSIVE RANGE OR THRESHOLD:

| K+L MODE READING DESCRIPTION | SUBSTRATE | THRESHOLD (mg/cm ²) |
|---|-----------|------------------------------------|
| Results not corrected for substrate bias on any substrate | Brick | 1.0 |
| | Concrete | 1.0 |
| | Drywall | 1.0 |
| | Metal | 1.0 |
| | Plaster | 1.0 |
| | Wood | 1.0 |

BACKGROUND INFORMATION

EVALUATION DATA SOURCE AND DATE:

This sheet is supplemental information to be used in conjunction with Chapter 7 of the HUD *Guidelines for the Evaluation and Control of Lead-Based Paint Hazards in Housing* ("HUD Guidelines"). Performance parameters shown on this sheet are calculated from the EPA/HUD evaluation using archived building components. Testing was conducted in August 2004 on 133 testing combinations. The instruments that were used to perform the testing had new sources; one instrument's was installed in November 2003 with 40 mCi initial strength, and the other's was installed June 2004 with 40 mCi initial strength.

OPERATING PARAMETERS:

Performance parameters shown in this sheet are applicable only when properly operating the instrument using the manufacturer's instructions and procedures described in Chapter 7 of the HUD Guidelines.

SUBSTRATE CORRECTION VALUE COMPUTATION:

Substrate correction is not needed for brick, concrete, drywall, metal, plaster or wood when using Lead-in-Paint K+L variable reading time mode, the normal operating mode for these instruments. If substrate correction is desired, refer to Chapter 7 of the HUD Guidelines for guidance on correcting XRF results for substrate bias.

EVALUATING THE QUALITY OF XRF TESTING:

Randomly select ten testing combinations for retesting from each house or from two randomly selected units in multifamily housing. Use the K+L variable time mode readings.

Conduct XRF retesting at the ten testing combinations selected for retesting.

Determine if the XRF testing in the units or house passed or failed the test by applying the steps below.

Compute the Retest Tolerance Limit by the following steps:

Determine XRF results for the original and retest XRF readings. Do not correct the original or retest results for substrate bias. In single-family housing a result is defined as the average of three readings. In multifamily housing, a result is a single reading. Therefore, there will be ten original and ten retest XRF results for each house or for the two selected units.

Calculate the average of the original XRF result and retest XRF result for each testing combination.

Square the average for each testing combination.

Add the ten squared averages together. Call this quantity C.

Multiply the number C by 0.0072. Call this quantity D.

Add the number 0.032 to D. Call this quantity E.

Take the square root of E. Call this quantity F.

Multiply F by 1.645. The result is the Retest Tolerance Limit.

Compute the average of all ten original XRF results.

Compute the average of all ten re-test XRF results.

Find the absolute difference of the two averages.

If the difference is less than the Retest Tolerance Limit, the inspection has passed the retest. If the difference of the overall averages equals or exceeds the Retest Tolerance Limit, this procedure should be repeated with ten new testing combinations. If the difference of the overall averages is equal to or greater than the Retest Tolerance Limit a second time, then the inspection should be considered deficient.

Use of this procedure is estimated to produce a spurious result approximately 1% of the time. That is, results of this procedure will call for further examination when no examination is warranted in approximately 1 out of 100 dwelling units tested.

TESTING TIMES:

For the Lead-in-Paint K+L variable reading time mode, the instrument continues to read until it is moved away from the testing surface, terminated by the user, or the instrument software indicates the reading is complete. The following table provides testing time information for this testing mode. The times have been adjusted for source decay, normalized to the initial source strengths as noted above. Source strength and type of substrate will affect actual testing times. At the time of testing, the instruments had source strengths of 26.6 and 36.6 mCi.

| Testing Times Using K+L Reading Mode (Seconds) | | | | | | |
|--|-----------------------------|--------|-----------------------------|--|-----------------|----------|
| Substrate | All Data | | | Median for laboratory-measured lead levels (mg/cm ²) | | |
| | 25 th Percentile | Median | 75 th Percentile | Pb < 0.25 | 0.25 ≤ Pb < 1.0 | 1.0 ≤ Pb |
| Wood Drywall | 4 | 11 | 19 | 11 | 15 | 11 |
| Metal | 4 | 12 | 18 | 9 | 12 | 14 |
| Brick Concrete Plaster | 8 | 16 | 22 | 15 | 18 | 16 |

CLASSIFICATION RESULTS:

XRF results are classified as positive if they are greater than or equal to the threshold, and negative if they are less than the threshold.

DOCUMENTATION:

A document titled *Methodology for XRF Performance Characteristic Sheets* provides an explanation of the statistical methodology used to construct the data in the sheets, and provides empirical results from using the recommended inconclusive ranges or thresholds for specific XRF instruments. For a copy of this document call the National Lead Information Center Clearinghouse at 1-800-424-LEAD.

This XRF Performance Characteristic Sheet was developed by the Midwest Research Institute (MRI) and QuanTech, Inc., under a contract between MRI and the XRF manufacturer. HUD has determined that the information provided here is acceptable when used as guidance in conjunction with Chapter 7, Lead-Based Paint Inspection, of HUD's *Guidelines for the Evaluation and Control of Lead-Based Paint Hazards in Housing*.

APPENDIX D: PHOTOGRAPHIC RECORD

| | | |
|---|-----------------------------------|--|
| <p>Photo No. 3922</p> | <p>Date: 6/27/2023</p> | |
| <p>Description:</p> <p>North to South Lead-based painted concrete curb.</p> | |  |
| <p>Photo No. 3923</p> | <p>Date: 6/27/2023</p> | |
| <p>Description:</p> <p>South to North Lead-based painted concrete curb.</p> | |  |

Photographic Documentation is for reference purposes and doesn't necessarily include all the surfaces with lead based paint and/or components containing lead.

APPENDIX D: PHOTOGRAPHIC RECORD

| | | |
|---|--|--|
| Photo No. 3924 | Date: 6/27/2023 | |
| Description: South to North Lead-based painted concrete curb. |  A photograph showing a green utility box on a concrete curb. The curb is painted with lead-based paint. A black car is parked on the street to the right of the curb. The background shows a white wall and a building. | |
| Photo No. 3925 | Date: 6/27/2023 | |
| Description: South to North Lead-based painted concrete curb. |  A photograph showing a black car parked on a street. The car is on the left side of the frame. To the right of the car is a concrete curb. In the background, there is a green utility box, a white wall, and a building. | |

Photographic Documentation is for reference purposes and doesn't necessarily include all the surfaces with lead based paint and/or components containing lead.

APPENDIX D: PHOTOGRAPHIC RECORD

| | | |
|---|--|--|
| Photo No. 3926 | Date: 6/27/2023 | |
| Description: South to North Lead-based painted concrete curb. |  | |
| Photo No. 3927 | Date: 6/27/2023 | |
| Description: South to North Lead-based painted concrete curb. |  | |

Photographic Documentation is for reference purposes and doesn't necessarily include all the surfaces with lead based paint and/or components containing lead.



CERTIFICACION DE NO PRESENCIA DE ASBESTO EN ESTRUCTURAS A DEMOLERSE

(Deberá completarse en letra de molde o impresa)

PGC- _____
PARA USO OFICIAL

Yo, _____, mayor de edad, _____, y vecino de _____
(Nombre) (Estado Civil) (Municipio)

Dirección _____
Postal _____
(Pueblo) (Zip Code)

Teléfonos: Residencial (____) ____ - ____ Oficina (____) ____ - ____ Ext. _____
Fax (____) ____ - ____

Certifico que:

1. La estructura localizada en _____, la cual será objeto de una demolición se encuentra libre de asbesto.
2. La información antes indicada es cierta y correcta.
3. Afirmo y reconozco las consecuencias de incluir y someter información falsa en este documento.
4. Para que así conste, firmo la presente certificación en _____ de Puerto Rico,
(Municipio)
hoy día ____ de _____ de _____

Firma y Sello del Profesional o
Firma del Inspector de Asbesto registrado por la JCA (Original)

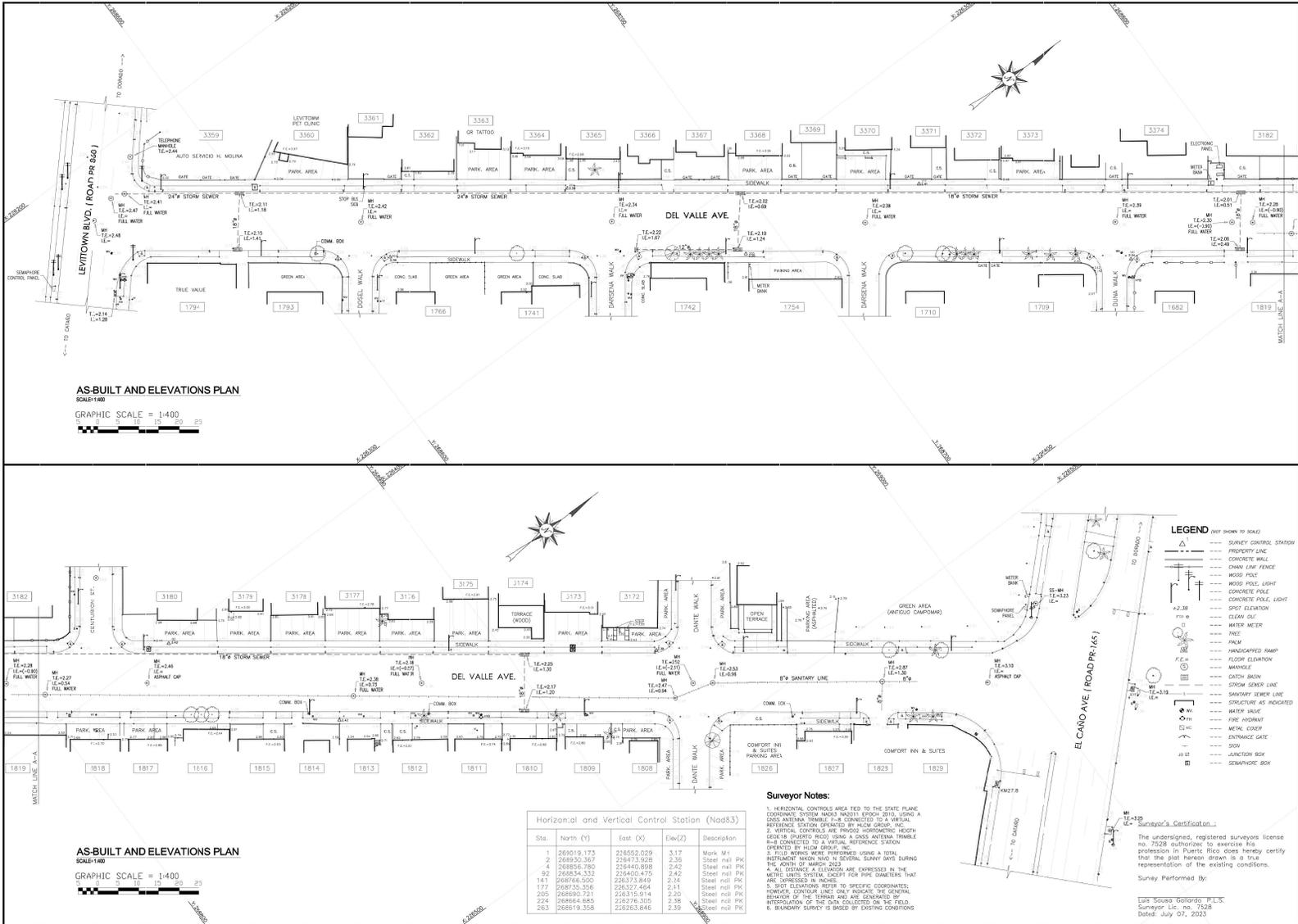
Nota: Ingenieros o Arquitectos deberán someter evidencia de que se encuentra al día en el pago de sus cuotas de colegiación e Inspectores de Asbesto deberán someter evidencia de la tarjeta de registro provista por la JCA.

CERTIFICATION

| | |
|---|---|
|  | <p>TARJETA DE REGISTRO PARA LA REMOCION DE ASBESTO</p> |
| | <p>Esta tarjeta autoriza a:</p> |
| | <p><i>Milagros Caraballo Vargas</i> Inspector</p> |
| | <p>A trabajar en la remoción de asbesto en P.R. Esta persona NO es un empleado del DRNA.</p> |
| <p>ASB-0822-0286-SI</p> |  |
| <p>Número de Registro</p> | <p>Firma Autorizada - Departamento Recursos Naturales y Ambientales</p> |
| <p>31-jul-2023</p> | |
| <p>Fecha de vencimiento</p> | |

NOTES

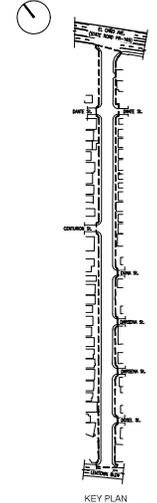
1. THE DRAWINGS AND ALL ITS CONTENTS ARE INTELLECTUAL PROPERTY OF ROSSILUGO ARCHITECTURE. CONSULT OR PRODUCTION CAN BE DONE WITH A WRITTEN CONSENT BY THE ARCHITECT. THIS DOCUMENT WILL BE USED ONLY FOR THE PROJECT INDICATED AND NO OTHERS ARE ALLOWED.
2. THE CONTRACTOR WILL BE RESPONSIBLE FOR FIELD VERIFICATION OF EVERY DIMENSION, LEVEL AND ACTUAL SITE CONDITIONS BEFORE PROCEEDING WITH THE CONSTRUCTION AND DISCREPANCY, ERRORS OR OMISSIONS MUST BE NOTIFIED IMMEDIATELY TO THE ARCHITECT IN ORDER TO MAKE ANY NECESSARY CORRECTIONS BEFORE THE START OF CONSTRUCTION.
3. CONTRACTOR WILL USE ONLY DRAWINGS STAMPED FOR CONTRACTOR AND ISSUED BY ARCHITECT.
4. VALID DIMENSIONS ARE SHOWN WRITTEN ON THE DRAWING. DIRECT MEASUREMENTS ARE NOT ALLOWED.
5. UNLESS OTHERWISE INDICATED, ELEVATIONS ARE SHOWN IN METERS ABOVE SEA LEVEL.
6. ANY CHANGE OR MODIFICATION TO THE DRAWINGS MUST BE AUTHORIZED BY THE PROFESSIONAL IN CHARGE.



1004 SUITE 201 B
SAN JUAN PUERTO RICO
PHONOS 786-3338
FAX 786-3338
OFFICE (787) 726-0000
CELL (787) 448-3900
office@rossilugo.com

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| 1 | | |
| 2 | | |
| 3 | | |
| 4 | | |
| 5 | | |



SURVEY PLAN AND ELEVATIONS PLAN
DEL VALLE AVENUE
DEL VALLE AVE, LEWISTOWN DECV, MUNICIPALITY OF TOA BAJA, PUERTO RICO

CONSTRUCTION DOCUMENTS



Feb 2025

DRIVING TITLE

SURVEY PLAN

WORK ORDER NUMBER: 23-3

DATE DRAFTER: 01-13-2025

DATE PLOT: 01-27-2025

SCALE: 1:400

PROJECT NUMBER: 1

DRIVING NUMBER: SRV-1

CALLE COMPLETA AVENIDA DEL VALLE
TOA BAJA, PUERTO RICO
C.D.B.G.-D.R.-C.R.P. 01026



Surveyor Notes:

1. HORIZONTAL CONTROL AREA TIED TO THE STATE PLANE COORDINATE SYSTEM (NAD83) USING A VIRTUAL REFERENCE STATION OPERATED BY NAD83 CONTROL POINTS (PUERTO RICO) USING A CROSS ANTERNA TRIMBLE SH-8 CONNECTED TO A VIRTUAL REFERENCE STATION OPERATED BY NAD83 CONTROL POINTS (PUERTO RICO) USING A CROSS ANTERNA TRIMBLE SH-8 CONNECTED TO A VIRTUAL REFERENCE STATION OPERATED BY NAD83 CONTROL POINTS (PUERTO RICO).
2. VERTICAL CONTROL AREAS PROVIDED BY NAD83 CONTROL POINTS (PUERTO RICO) USING A CROSS ANTERNA TRIMBLE SH-8 CONNECTED TO A VIRTUAL REFERENCE STATION OPERATED BY NAD83 CONTROL POINTS (PUERTO RICO).
3. ALL DIMENSIONS AND ELEVATIONS ARE EXPRESSED IN METRIC UNITS (METERS), EXCEPT FOR PIPE DIAMETERS THAT ARE EXPRESSED IN INCHES.
4. SPOT ELEVATIONS REFER TO SPECIFIC COORDINATES; HOWEVER, CONTOUR LINES ONLY INDICATE THE GENERAL RELIEF OF THE TERRAIN AND ARE ADJUSTED BY INTERPOLATION OF THE DATA COLLECTED ON THE FIELD.
5. BOUNDARY SURVEY IS BASED ON EXISTING CONDITIONS.

Horizontal and Vertical Control Station (Nad83)

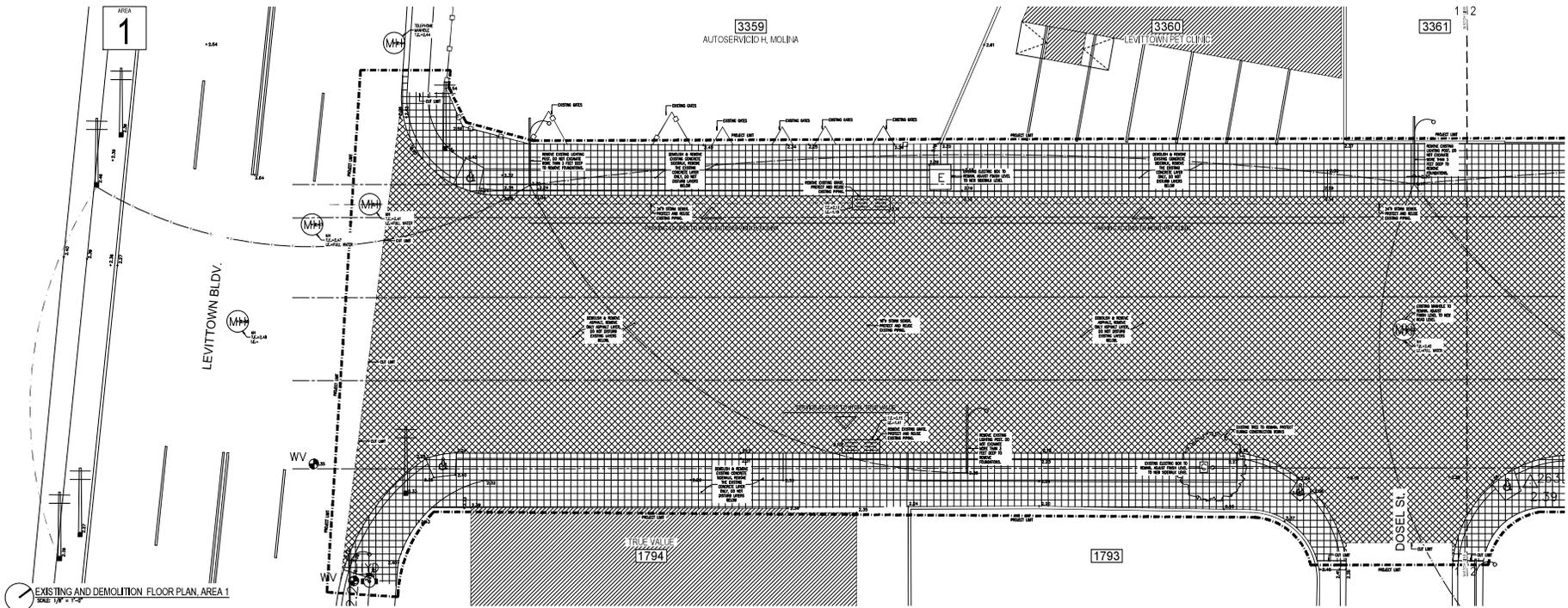
| Sta. | North (Y) | East (X) | Elev(Z) | Description |
|------|------------|------------|---------|---------------|
| 1 | 269019.173 | 218552.029 | 3.17 | Mark M-6 |
| 2 | 268930.367 | 218473.928 | 2.36 | Steel nail PK |
| 4 | 268956.790 | 218440.908 | 2.42 | Steel nail PK |
| 92 | 268834.332 | 218400.475 | 2.42 | Steel nail PK |
| 143 | 268916.500 | 218373.849 | 2.14 | Steel nail PK |
| 177 | 268735.356 | 218327.454 | 2.11 | Steel nail PK |
| 205 | 268690.751 | 218315.974 | 2.30 | Steel nail PK |
| 224 | 268664.685 | 218276.305 | 2.38 | Steel nail PK |
| 263 | 268619.358 | 218233.646 | 2.19 | Steel nail PK |

LEGEND (NOT SHOWN TO SCALE)

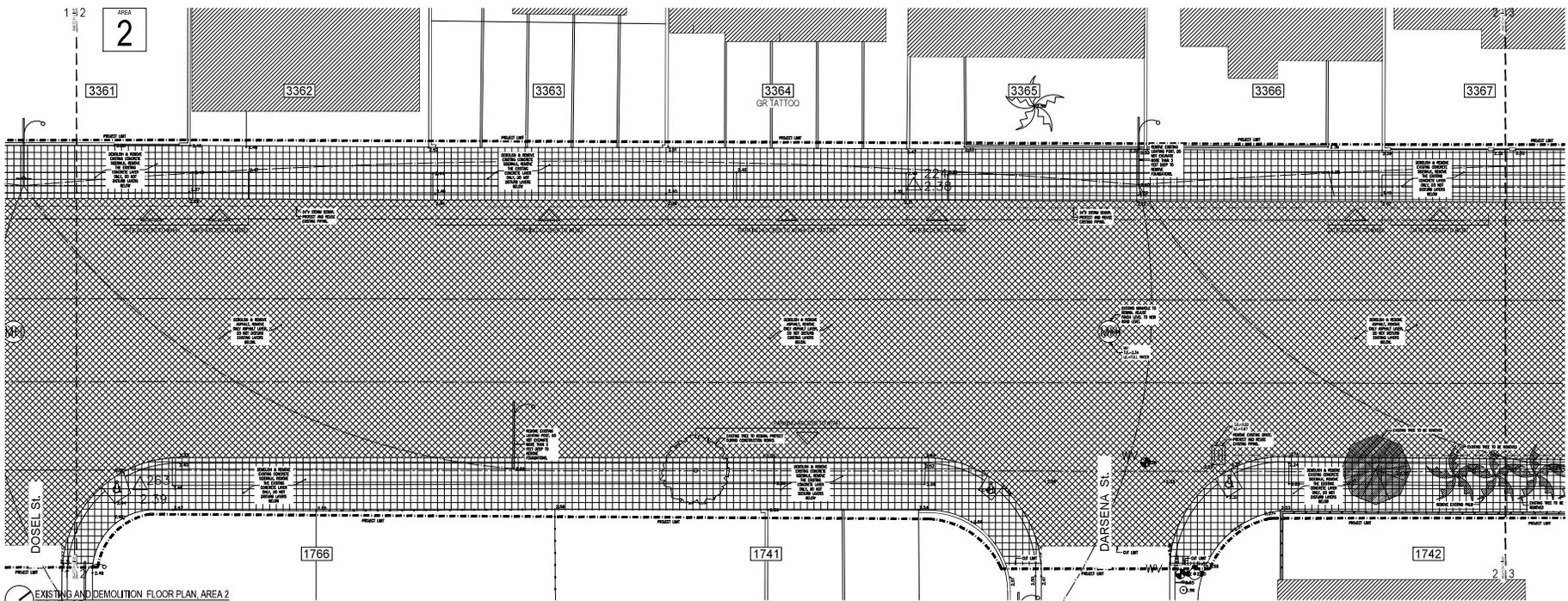
- SURVEY CONTROL STATION
- PROPERTY LINE
- CONCRETE WALL
- CHAIN LINK FENCE
- ROAD POLE
- WOOD POLE, LIGHT
- CONCRETE POLE, LIGHT
- SPOT ELEVATION
- CLEAR CUT
- WATER MEASUR
- TRICE
- PALM
- HANDED/SHYED FARM
- FLOOR ELEVATION
- MANHOLE
- DITCH
- STORM SEWER LINE
- SANITARY SEWER LINE
- STRUCTURE AS INDICATED
- WATER WASTE
- FIRE HYDRANT
- METAL COVER
- ENTRANCE GATE
- SIGN
- JUNCTION BOX
- SEMAPHORE BOX

The undersigned, registered surveyors license no. 7528 authorize to exercise his profession in Puerto Rico, does hereby certify that the plot herein drawn is a true representation of the existing conditions.

Survey Performed by:
Luis Saura Galdames P.L.S.
Surveyor Lic. no. 7528
Dated: July 07, 2023



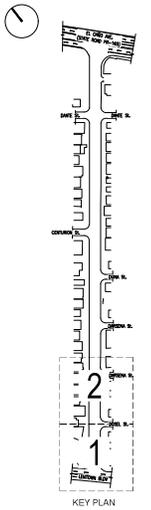
EXISTING AND DEMOLITION FLOOR PLAN, AREA 1
SCALE 1/4" = 1'-0"



EXISTING AND DEMOLITION FLOOR PLAN, AREA 2
SCALE 1/4" = 1'-0"

NOTES

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PROYECTO: CALLE COMPLETA AVENIDA DEL VALLE TOA BAJA, PUERTO RICO
 CLIENTE: C.D.B.C. - D.R. - C.R.P. 81024
 FECHA: FEBRERO 2025

CONSTRUCTION DOCUMENTS

ROSSILUGO ARCHITECTURE
 FERNANDO LUIGO FERRER
 ARCHITECTO
 C.D.B.C. - D.R. - C.R.P. 81024
 PUERTO RICO

Feb 2025

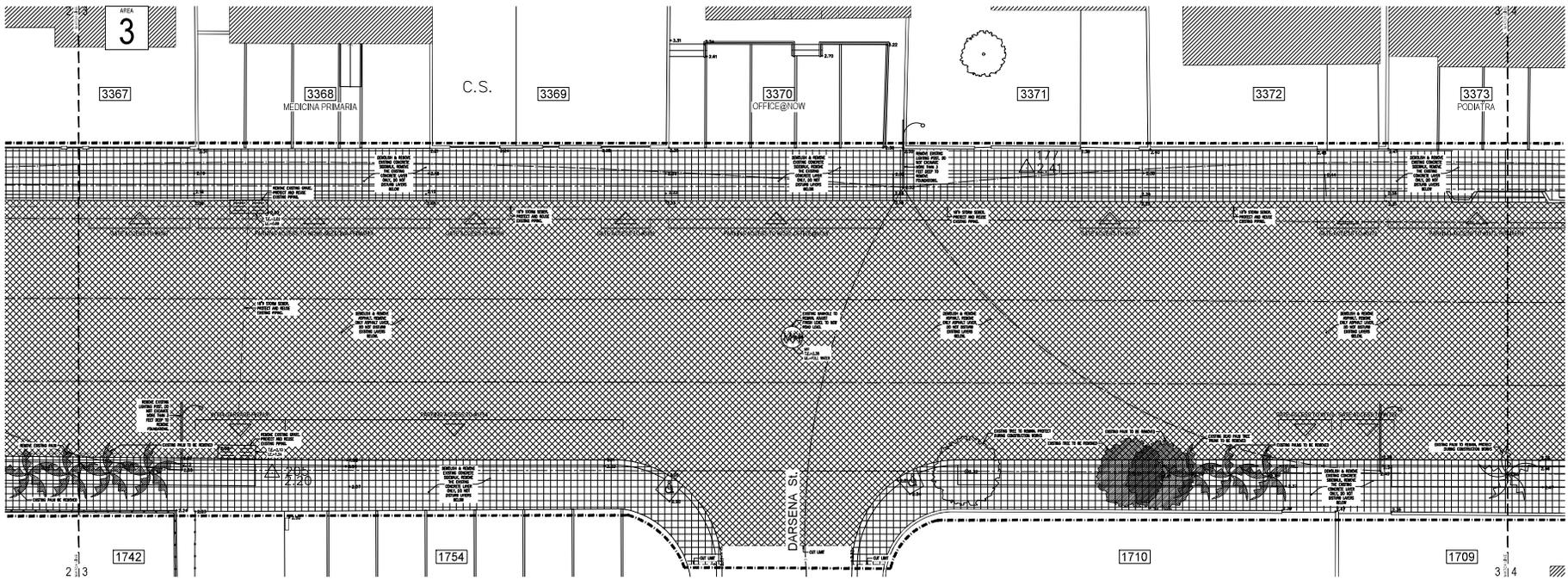
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CALLE COMPLETA AVENIDA DEL VALLE
 TOA BAJA, PUERTO RICO
 C.D.B.C. - D.R. - C.R.P. 81024

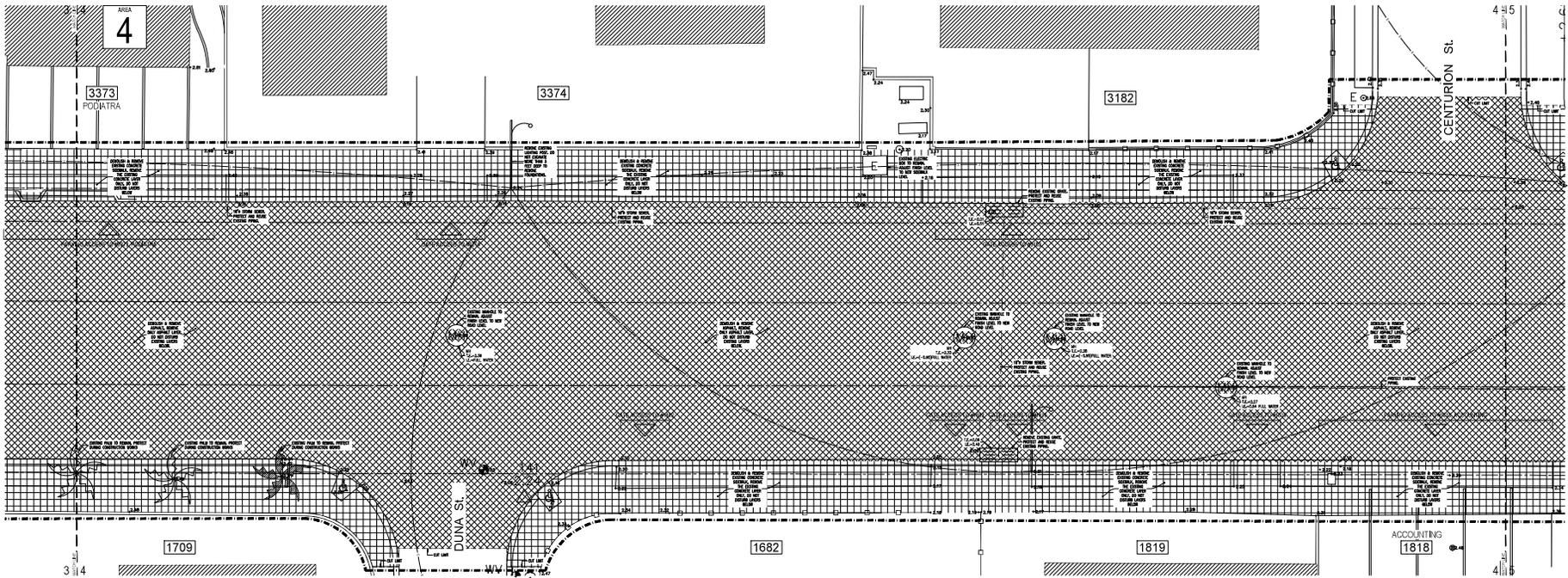
EXISTING AND DEMOLITION FLOOR PLAN, AREAS 1 & 2

ROSSILUGO ARCHITECTURE

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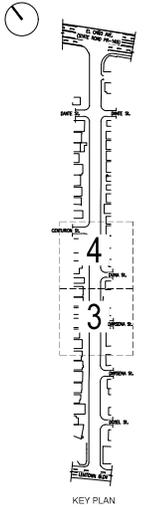
EXISTING AND DEMOLITION FLOOR PLAN, AREA 3
SCALE 1/8" = 1'-0"



EXISTING AND DEMOLITION FLOOR PLAN, AREA 4
SCALE 1/8" = 1'-0"

NOTES

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3. CONTRACTOR WILL USE ONLY DRAWINGS STAMPED FOR CONTRACTOR AND READ BY ARCHITECT.
4. VALID DIMENSIONS ARE SHOWN WRITTEN ON THE DRAWING. CORRECT MEASUREMENTS MUST BE USED.
5. UNLESS OTHERWISE INDICATED, ELEVATIONS ARE SHOWN IN METERS ABOVE MEAN SEA LEVEL.
6. ANY CHANGE OR MODIFICATION TO THE DRAWINGS MUST BE AUTHORIZED BY THE PROFESSIONAL IN CHARGE.



KEY PLAN

CONSTRUCTION DOCUMENTS



Feb 2025

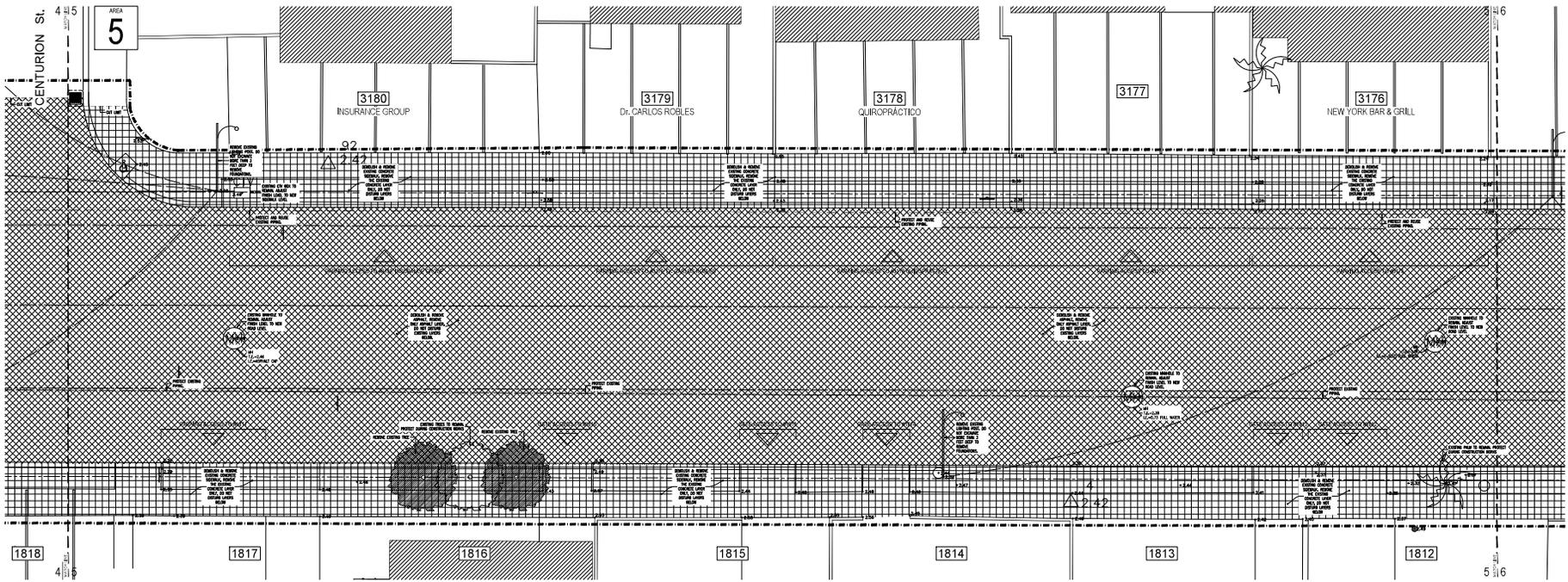
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CALLE COMPLETA AVENIDA DEL VALLE
TOA BAJA, PUERTO RICO
C.D.B.C.-D.R.-C.R.P. 81026

EXISTING AND DEMOLITION FLOOR PLAN, AREAS 3 & 4

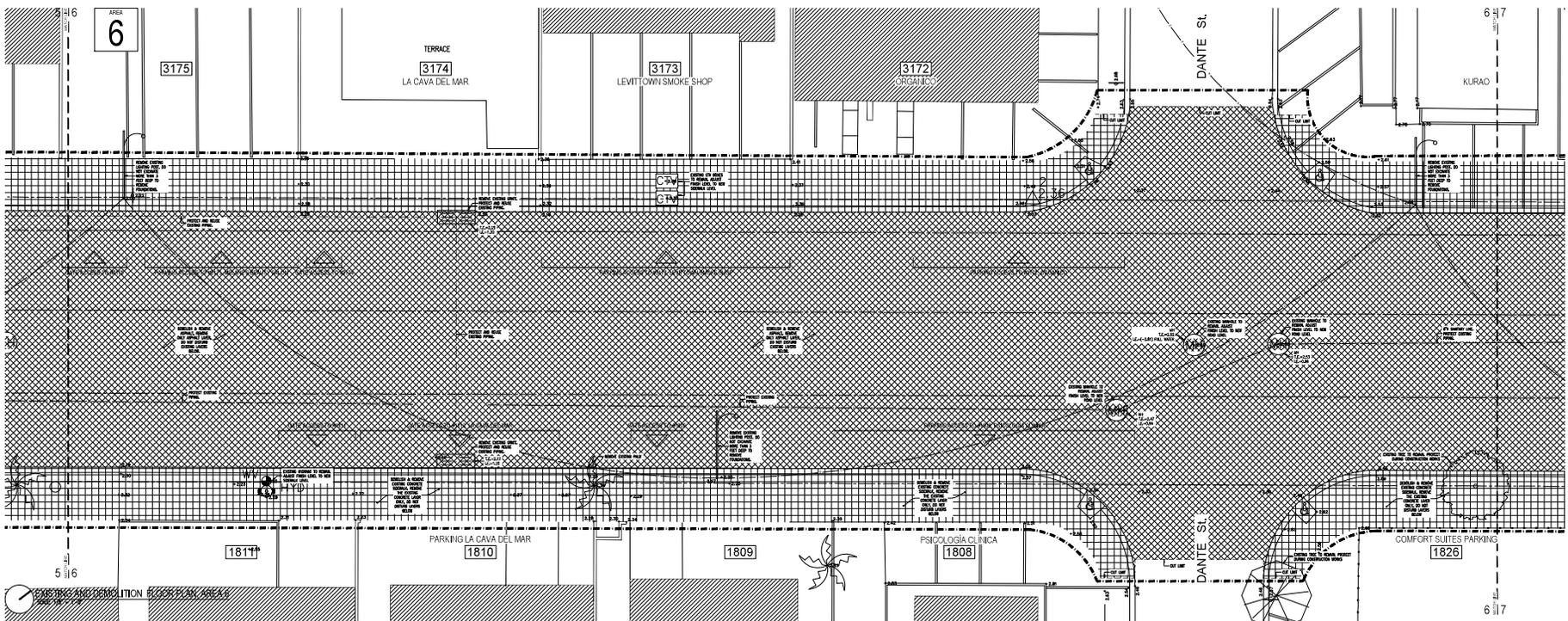
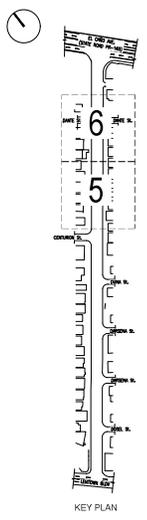
ROSSILUGO ARCHITECTURE

A2.1



EXISTING AND DEMOLITION FLOOR PLAN, AREA 5

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EXISTING AND DEMOLITION FLOOR PLAN, AREA 6

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CONSTRUCTION DOCUMENTS

ROSILUGO ARCHITECTURE

ARCHITECTO INGENIERO

1950

S.C. 1843

PUERTO RICO

Feb 2025

Revisions

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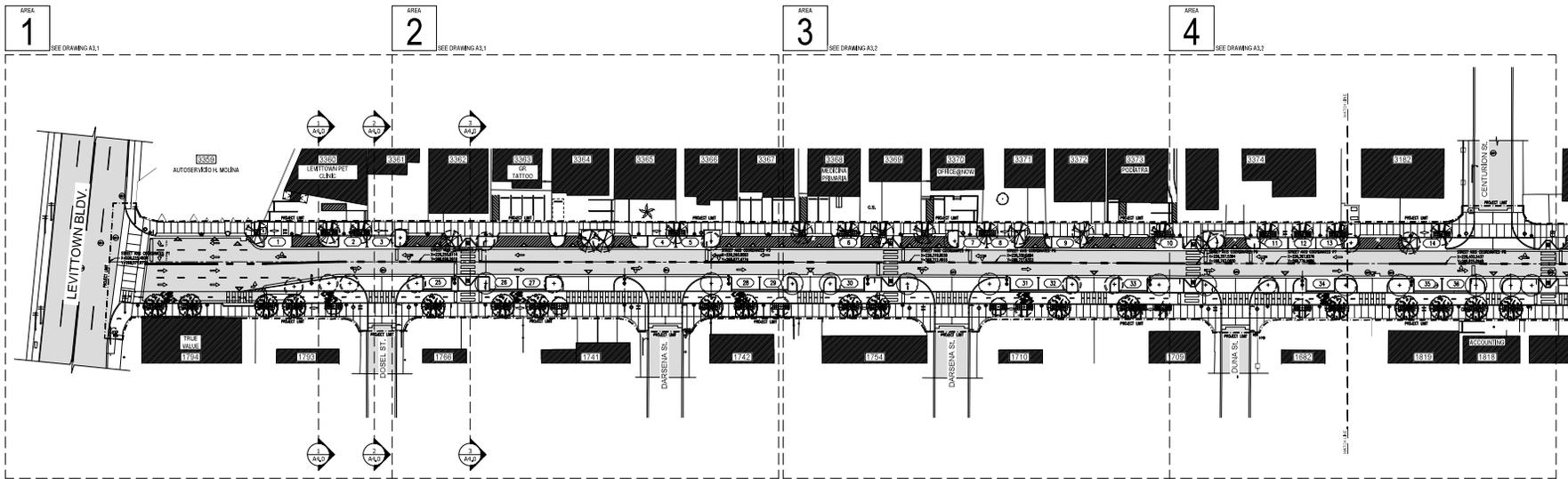
CALLE COMPLETA AVENIDA DEL VALLE
TOA BAJA, PUERTO RICO
C.D.B.C.-D.R.-C.R.P. 31926

EXISTING AND DEMOLITION FLOOR PLAN, AREAS 5 & 6

ROSILUGO ARCHITECTURE

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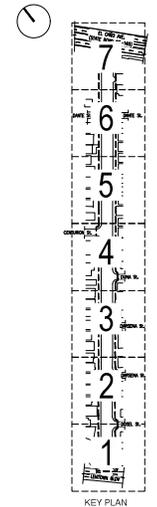
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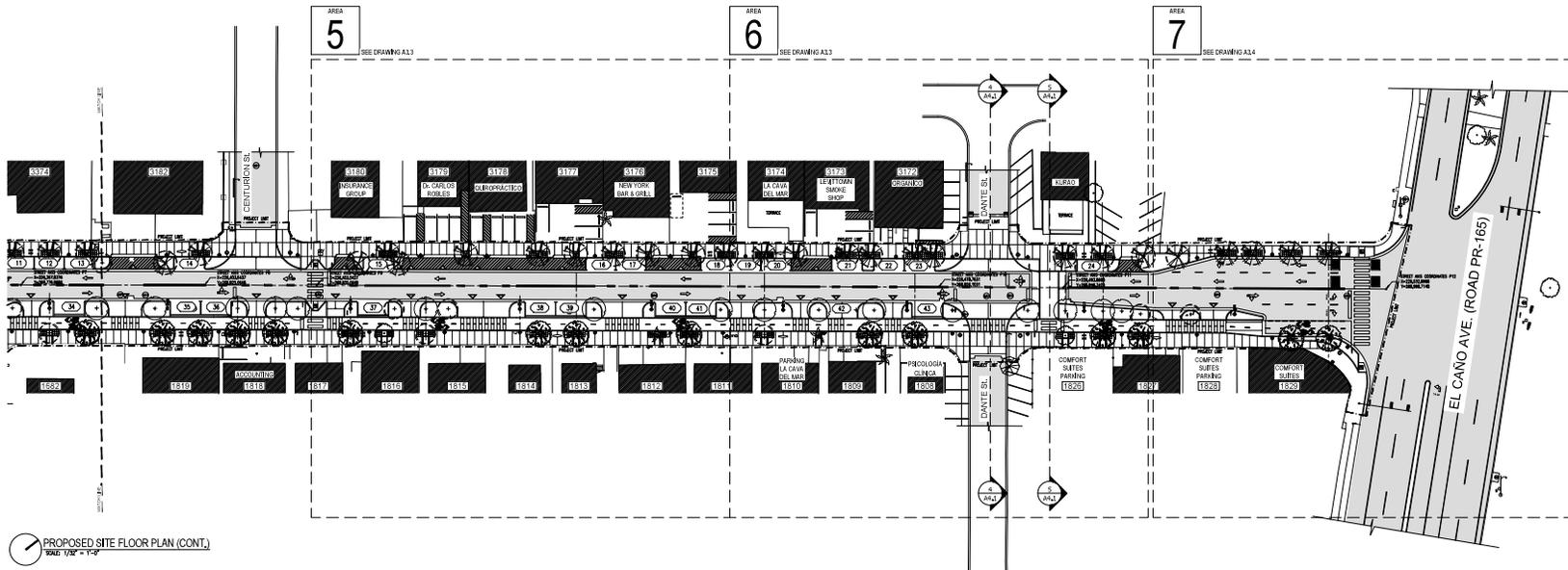
PROPOSED SITE FLOOR PLAN
SCALE: 1/8" = 1'-0"

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KEY PLAN



PROPOSED SITE FLOOR PLAN (CONT.)
SCALE: 1/8" = 1'-0"

NOTES:
El presente plano arquitectónico, elaborado por el arquitecto ROSSILUGO ARCHITECTURE, S.R.L., en su calidad de profesional habilitado en la materia, es el resultado de un estudio de campo y de mediciones realizadas en el terreno, y de los planos de proyecto de obra que se adjuntan a este documento. El presente plano arquitectónico, elaborado por el arquitecto ROSSILUGO ARCHITECTURE, S.R.L., en su calidad de profesional habilitado en la materia, es el resultado de un estudio de campo y de mediciones realizadas en el terreno, y de los planos de proyecto de obra que se adjuntan a este documento. El presente plano arquitectónico, elaborado por el arquitecto ROSSILUGO ARCHITECTURE, S.R.L., en su calidad de profesional habilitado en la materia, es el resultado de un estudio de campo y de mediciones realizadas en el terreno, y de los planos de proyecto de obra que se adjuntan a este documento.

CONSTRUCTION DOCUMENTS

ARCHITECTO
ROSSILUGO ARCHITECTURE
C.O. 18493
P.R. 00986

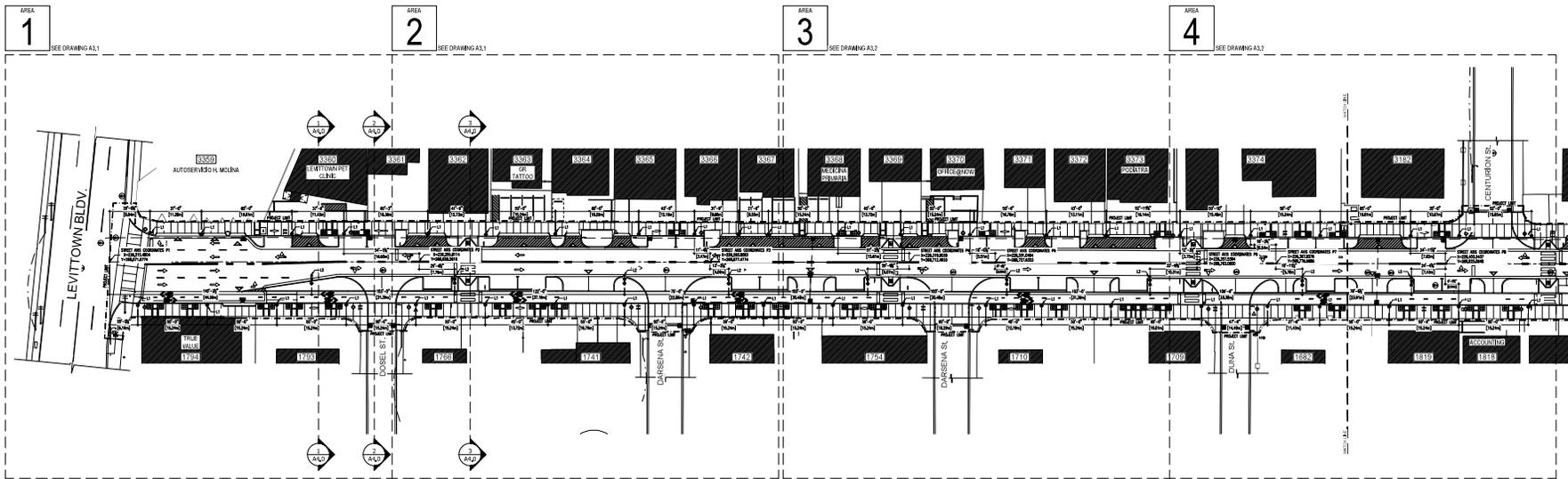
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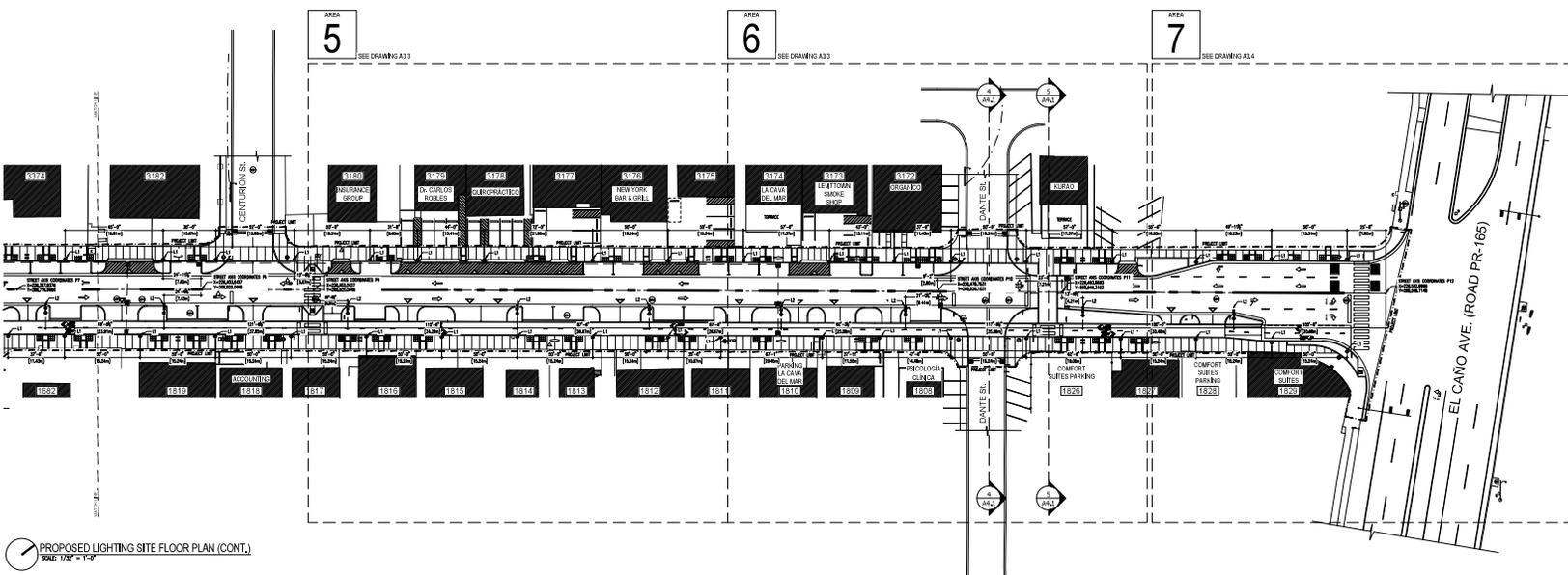
CALLE COMPLETA AVENIDA DEL VALLE
TOA BAJA, PUERTO RICO
C.D.B.G.-D.R.-C.R.P. 811026

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| PROPOSED SITE FLOOR PLAN | DATE | 23 | 2025 |
| SCALE | 1/8" | DATE | 03 |
| PROJECT NO. | A3.0 | | |

ROSSILUGO
ARCHITECTURE



PROPOSED LIGHTING SITE FLOOR PLAN
SCALE: 1/8" = 1'-0"

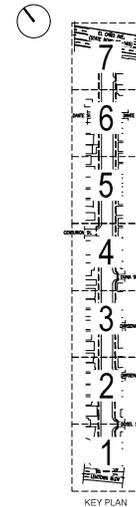


PROPOSED LIGHTING SITE FLOOR PLAN (CONT.)
SCALE: 1/8" = 1'-0"

LIGHTING LEGEND
L1: LAMP MODEL SP-SYMBL BY SOLAR PATH SOLUTIONS
L2: LAMP MODEL SP-WPLP BY SOLAR PATH SOLUTIONS

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KEY PLAN

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ARCHITECTO REGISTRADO
C.O.A. 18493
PUERTO RICO

Feb 2025

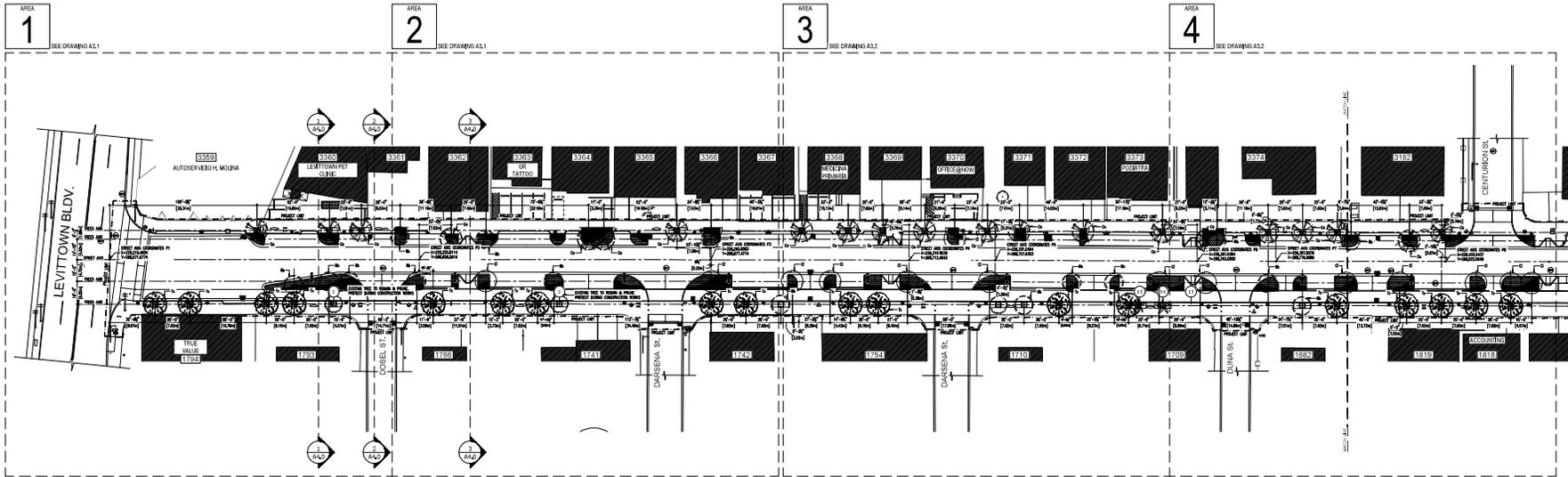
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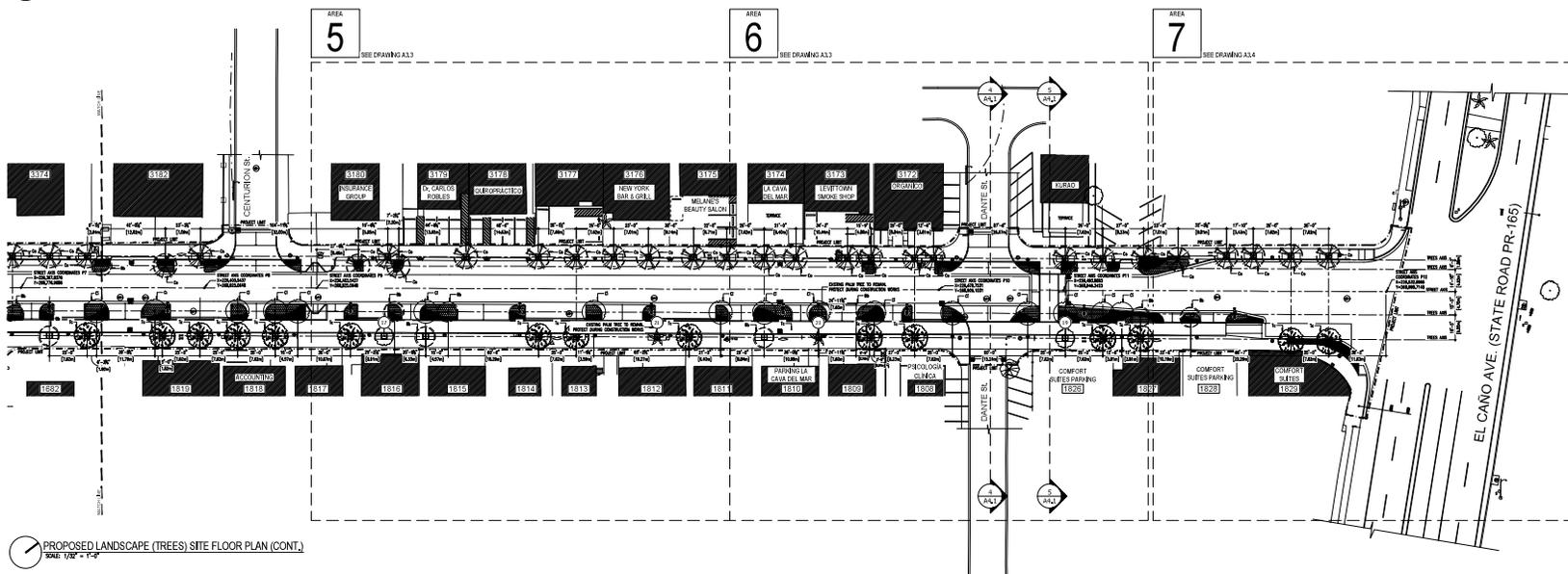
PROPOSED LIGHTING SITE FLOOR PLAN

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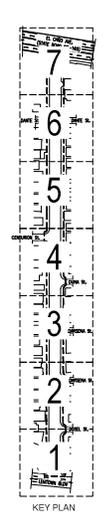


PROPOSED LANDSCAPE (TREES) SITE FLOOR PLAN
SCALE: 1/8" = 1'-0"



PROPOSED LANDSCAPE (TREES) SITE FLOOR PLAN (CONT.)
SCALE: 1/8" = 1'-0"

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NOTES:
 The proposed landscape plan is based on the site conditions and information provided by the client. The contractor is responsible for field verification of all dimensions, levels and actual site conditions before proceeding with the construction. The architect is not responsible for any errors or omissions in the field data provided by the client. The contractor is responsible for any changes or modifications to the drawings. The architect is not responsible for any changes or modifications to the drawings. The contractor is responsible for any changes or modifications to the drawings.

CONSTRUCTION DOCUMENTS

FERNANDO LUJO AROLD
 ARCHITECTO INGENIERO
 C.E. 18493
 P.R. 01026
 PUERTO RICO

Feb 2025

EXISTING TREES TO REMAIN

| ID | COMMON NAME | CONDITION | ACTION |
|----|-----------------|-----------|------------|
| 1 | UCAR | GOOD | PRUNE/TRIM |
| 2 | UCAR | GOOD | PRUNE/TRIM |
| 8 | ROBLE AMERICANO | REGULAR | CONSERVE |
| 13 | PALMA ADONIDEA | GOOD | CONSERVE |
| 14 | PALMA ADONIDEA | GOOD | CONSERVE |
| 15 | PALMA ADONIDEA | GOOD | CONSERVE |
| 17 | MARIA | REGULAR | PRUNE/TRIM |
| 19 | CASUARINA | REGULAR | PRUNE/TRIM |
| 20 | PALMA REAL | GOOD | CONSERVE |
| 21 | PALMA ADONIDEA | GOOD | CONSERVE |

PROPOSED SHRUBS & GROUND COVER

| SYMBOL | ID | BOTANICAL NAME | COMMON NAME | SPACING | SPECIFICATIONS |
|--------|----|-------------------------|-------------------------|--------------|---|
| | Td | TRIPSACUM DACTYLOIDES | DWARF FAKAHATCHEE GRASS | 24'-30' o.c. | 1 GAL. - 12' HEIGHT FULL |
| | Sl | SPHAGNETICOLA TRIBOLATA | WEDELIA | 24'-30' o.c. | 1 GAL. - OVERFLOWING POT / FULL - 8" HEIGHT |

PROPOSED TREES LEGEND

| SYMBOL | ID | BOTANICAL NAME | COMMON NAME | SPACING | SPECIFICATIONS | QUANTITY |
|--------|----|------------------------|--------------------------|-----------------|--|----------|
| | Bb | BUCCIDA BUCERAS | UCAR | SEE PLAN A3.0.4 | 25 GAL., 10' HEIGHT, 3" SPREAD, SINGLE CLEAR TRUNK TO 8' | 23 |
| | Ci | CALOPHYLLUM INOPHYLLUM | MARIA | SEE PLAN A3.0.4 | 25 GAL., 12' HEIGHT, SINGLE CLEAR TRUNK TO 8' | 25 |
| | Tc | TABEBUIA HETEROPHYLLA | ROBLE BLANCO WHITE CEDAR | SEE PLAN A3.0.4 | 15 GAL., 8' HEIGHT | 28 |
| | Cd | COCCOLOBA DIVERSIFOLIA | UVILLA | SEE PLAN A3.0.4 | 25 GAL., 10' HEIGHT, 4" SPREAD, MULTI-TRUNK | 46 |

REVISIONS

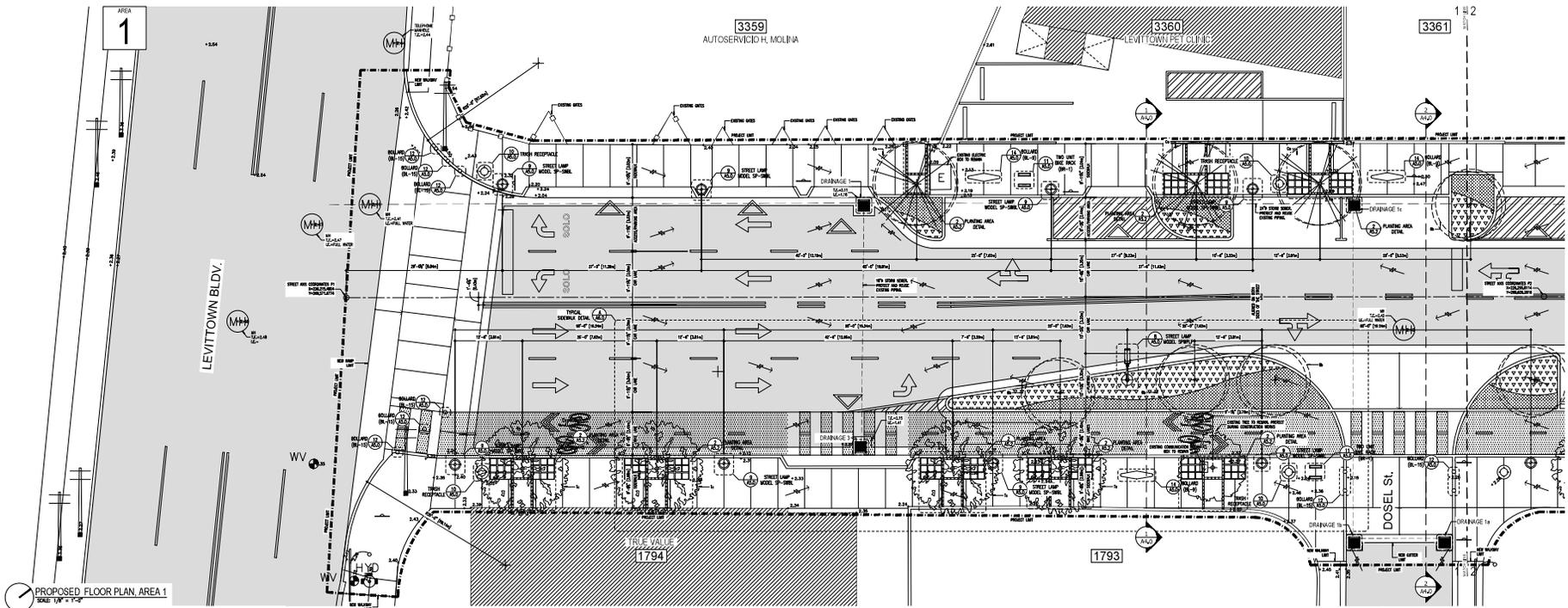
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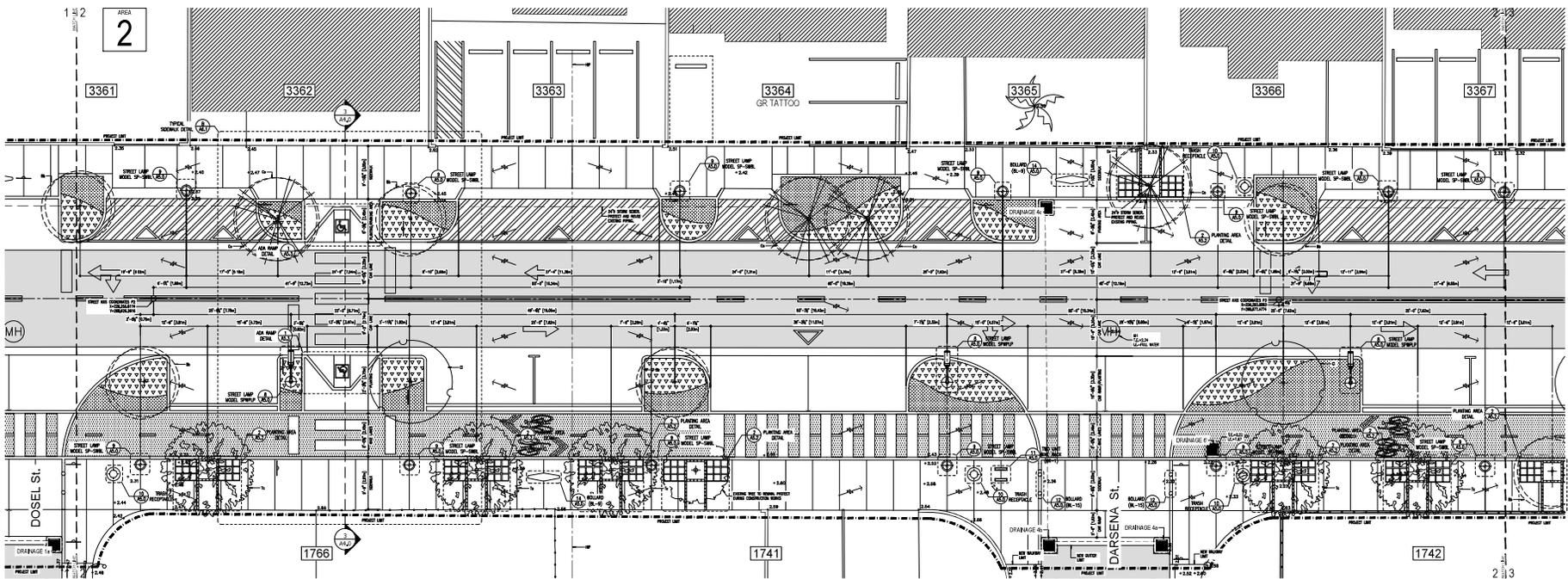
PROPOSED LANDSCAPE (TREES) SITE FLOOR PLAN

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 SCALE: 1/8" = 1'-0"
 SHEET: 23 OF 25
A3.0.4

ROSSILUGO
 ARCHITECTURE



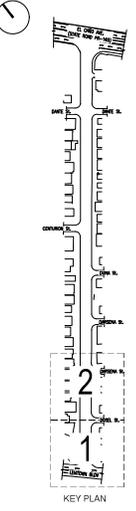
PROPOSED FLOOR PLAN AREA 1
SCALE 1/8" = 1'-0"



PROPOSED FLOOR PLAN AREA 2
SCALE 1/8" = 1'-0"

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5. UNLESS OTHERWISE INDICATED, ELEVATIONS ARE SHOWN IN METERS ABOVE MEAN SEA LEVEL.
6. ANY CHANGE OR MODIFICATION TO THE DRAWINGS MUST BE AUTHORIZED BY THE PROFESSIONAL IN CHARGE.



KEY PLAN

NOTES:
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 2. THE CONTRACTOR WILL BE RESPONSIBLE FOR FIELD VERIFICATION OF EVERY DIMENSION, LEVEL AND ACTUAL SITE CONDITION BEFORE PROCEEDING WITH THE CONSTRUCTION AND CORRECTING ANY DISCREPANCY, ERROR OR OMISSION MUST BE NOTIFIED IMMEDIATELY TO THE ARCHITECT IN ORDER TO MAKE ANY NECESSARY CORRECTIONS. FAILURE TO DO SO WILL BE AT THE CONTRACTOR'S RISK.
 3. CONTRACTOR WILL USE ONLY DRAWINGS STAMPED FOR CONTRACTOR AND BOUND BY ARCHITECT.
 4. VALID AMENDMENTS ARE SHOWN WRITTEN ON THE DRAWING. UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS SHALL BE IN FEET AND INCHES.
 5. UNLESS OTHERWISE INDICATED, ELEVATIONS ARE SHOWN IN METERS ABOVE MEAN SEA LEVEL.
 6. ANY CHANGE OR MODIFICATION TO THE DRAWINGS MUST BE AUTHORIZED BY THE PROFESSIONAL IN CHARGE.

CONSTRUCTION DOCUMENTS



Feb 2025

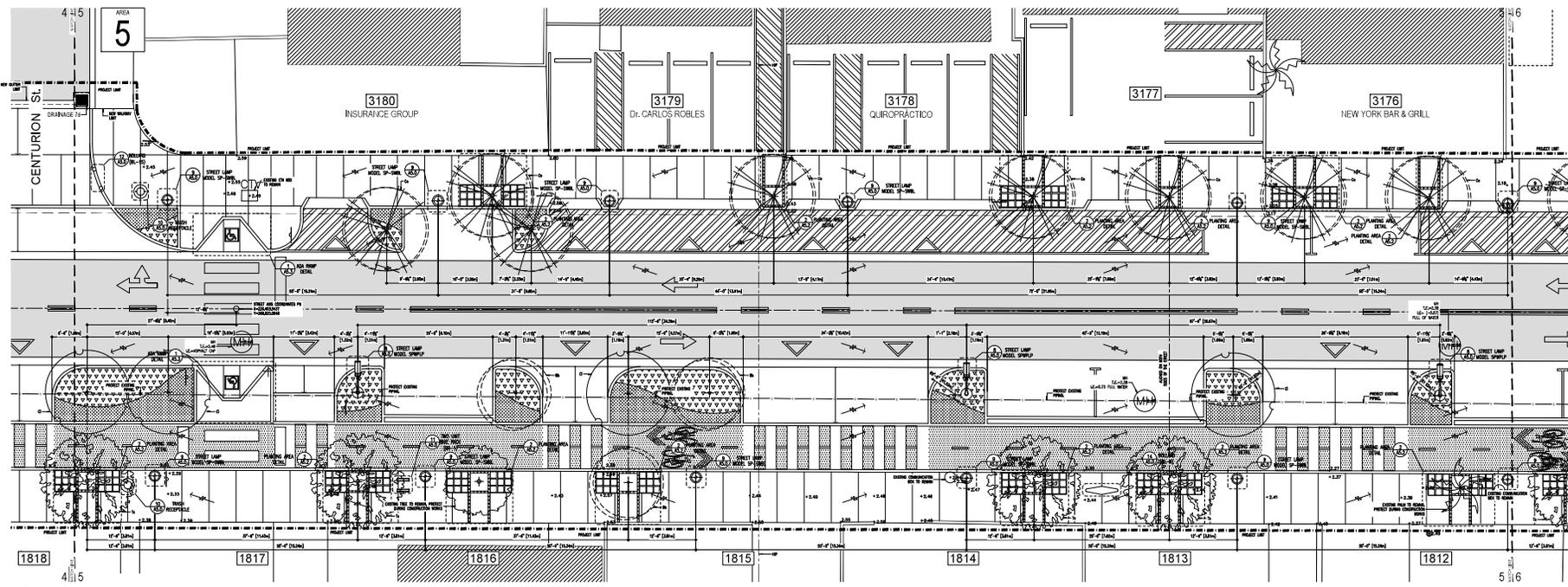
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CALLE COMPLETA AVENIDA DEL VALLE
 TOA BAJA, PUERTO RICO
 C.D.B.G.-D.R.-C.R.F. 81026

ROSSILUGO ARCHITECTURE

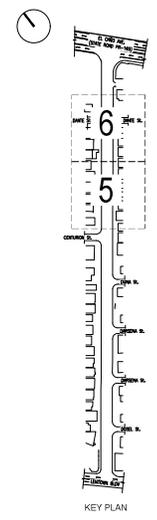
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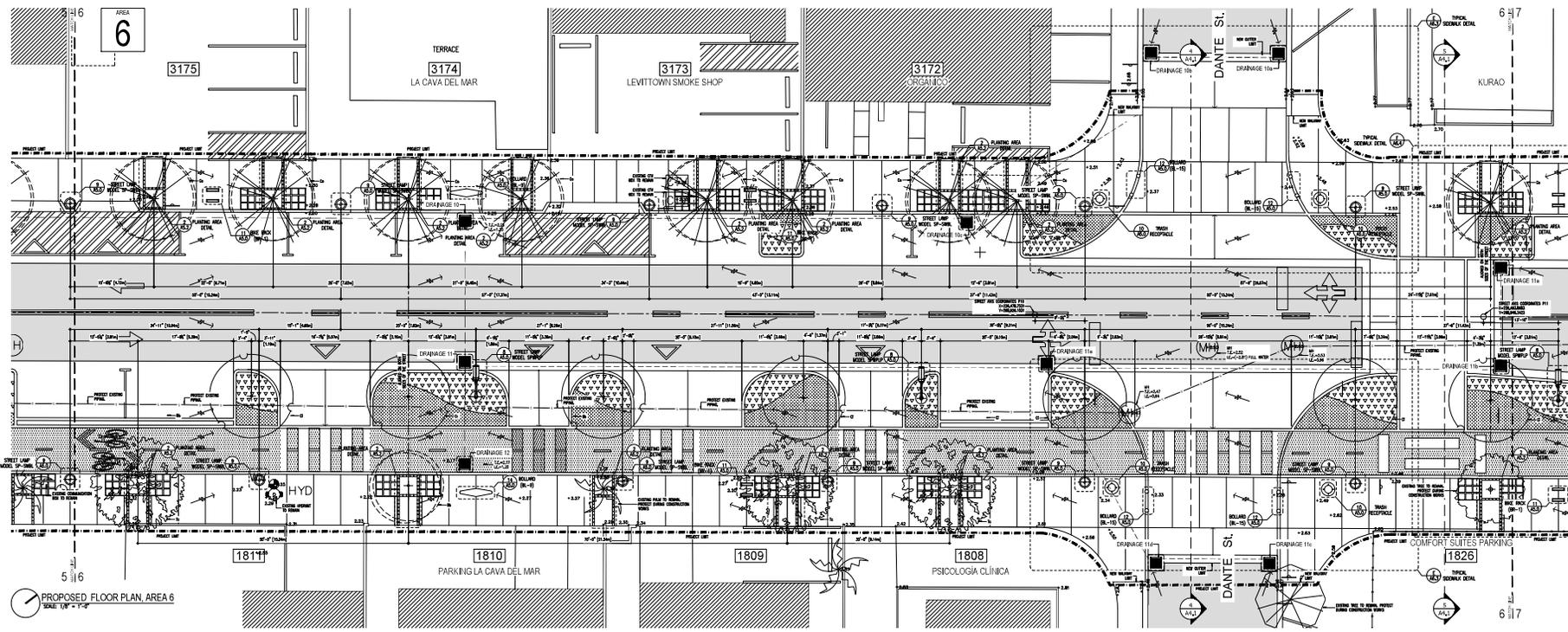


PROPOSED FLOOR PLAN AREA 5

- NOTES**
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 2. THE CONTRACTOR WILL BE RESPONSIBLE FOR FIELD VERIFICATION OF EVERY DIMENSION, LEVEL AND ACTUAL SITE CONDITIONS BEFORE PROCEEDING WITH THE CONSTRUCTION. ANY DISCREPANCY, ERROR OR OMISSION MUST BE NOTIFIED IMMEDIATELY TO THE ARCHITECT IN ORDER TO MAKE ANY NECESSARY CORRECTIONS. FAILURE TO DO SO WILL BE AT THE CONTRACTOR'S RISK.
 3. CONTRACTOR WILL USE ONLY DRAWINGS STAMPED FOR CONSTRUCTION AND REVISIONS BY ARCHITECT.
 4. VALID DIMENSIONS ARE SHOWN WRITTEN ON THE DRAWING. UNLESS OTHERWISE INDICATED, ELEVATIONS ARE SHOWN IN METERS ABOVE SEA LEVEL.
 5. ANY CHANGE OR MODIFICATION TO THIS DRAWING MUST BE AUTHORIZED BY THE PROFESSIONAL IN CHARGE.



KEY PLAN



PROPOSED FLOOR PLAN AREA 6

NOTES

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3. CONTRACTOR WILL USE ONLY DRAWINGS STAMPED FOR CONSTRUCTION AND REVISIONS BY ARCHITECT.

4. VALID DIMENSIONS ARE SHOWN WRITTEN ON THE DRAWING. UNLESS OTHERWISE INDICATED, ELEVATIONS ARE SHOWN IN METERS ABOVE SEA LEVEL.

5. ANY CHANGE OR MODIFICATION TO THIS DRAWING MUST BE AUTHORIZED BY THE PROFESSIONAL IN CHARGE.

CONSTRUCTION DOCUMENTS

ROSSILUGO ARCHITECTURA INC. 1849 ST. ANTONIO, PUERTO RICO

Feb 2025

REVISIONS

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CALLE COMPLETA AVENIDA DEL VALLE
 POA BAJA, PUERTO RICO
 C.D.B.G.-D.R.-C.R.P. 81026

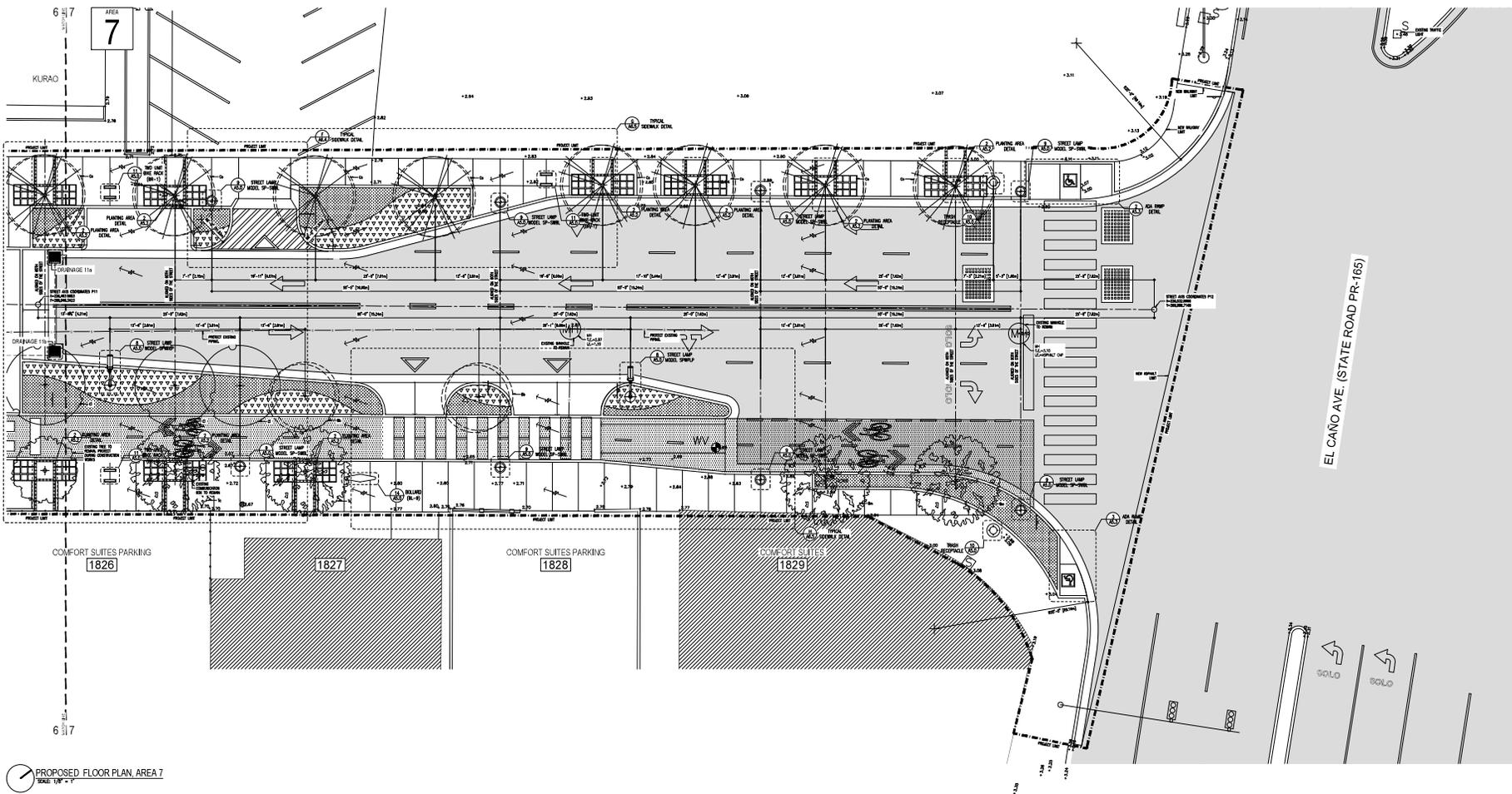
URBAN FURNITURE & LANDSCAPE FLOOR PLAN, AREAS 5 & 6

ROSSILUGO ARCHITECTURE

SCALE: 1/8" = 1'-0"

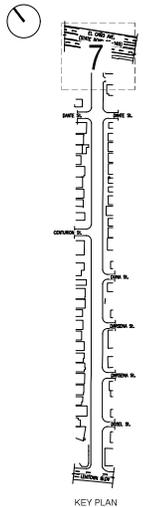
DATE: 02/25/25

PROJECT NO: A3.1.3



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3. CONTRACTOR WILL USE ONLY DRAWINGS STAMPED FOR CONTRACTOR AND BEARING ARCHITECT'S SIGNATURE.
4. UNLESS OTHERWISE SPECIFIED, DIMENSIONS ARE SHOWN IN METERS. UNLESS OTHERWISE SPECIFIED, DIMENSIONS ARE SHOWN IN METERS. UNLESS OTHERWISE SPECIFIED, DIMENSIONS ARE SHOWN IN METERS.
5. ANY CHANGE OR MODIFICATION TO THE DRAWINGS MUST BE AUTHORIZED BY THE PROFESSIONAL IN CHARGE.



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PROPOSED FLOOR PLAN AREA 7
 SCALE 1/8" = 1'-0"

CONSTRUCTION DOCUMENTS

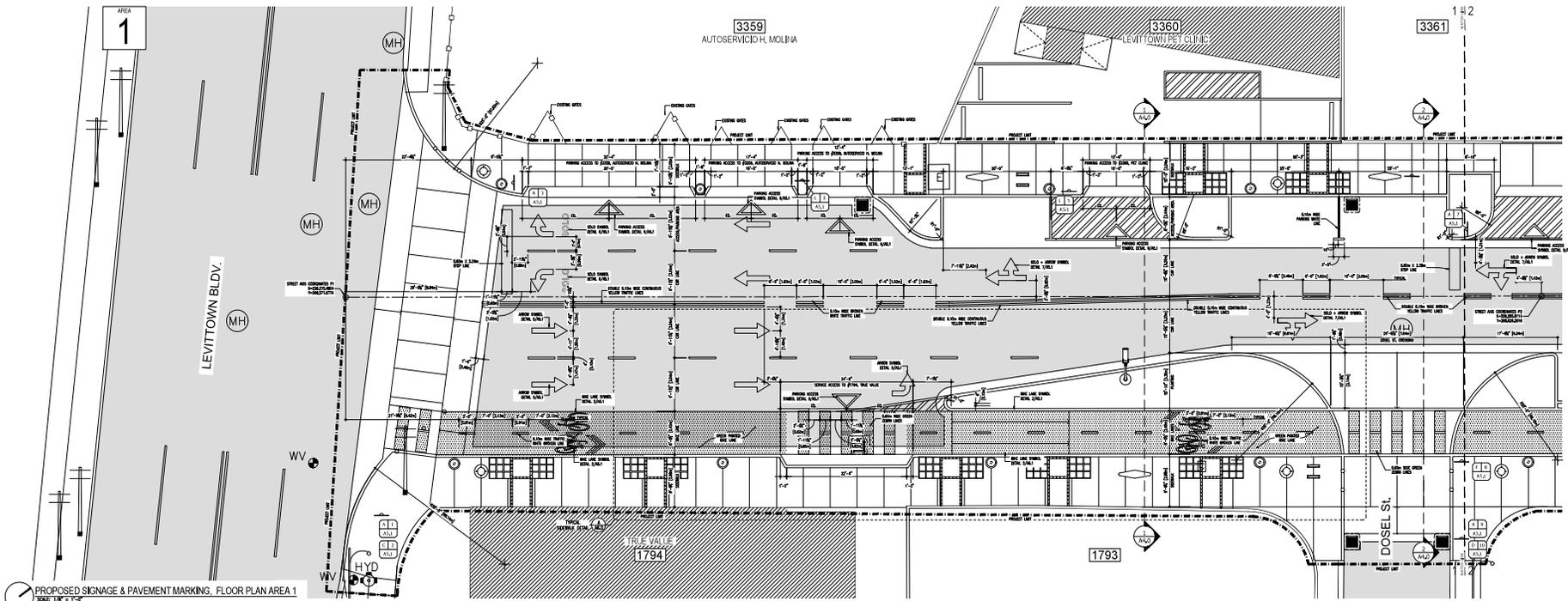
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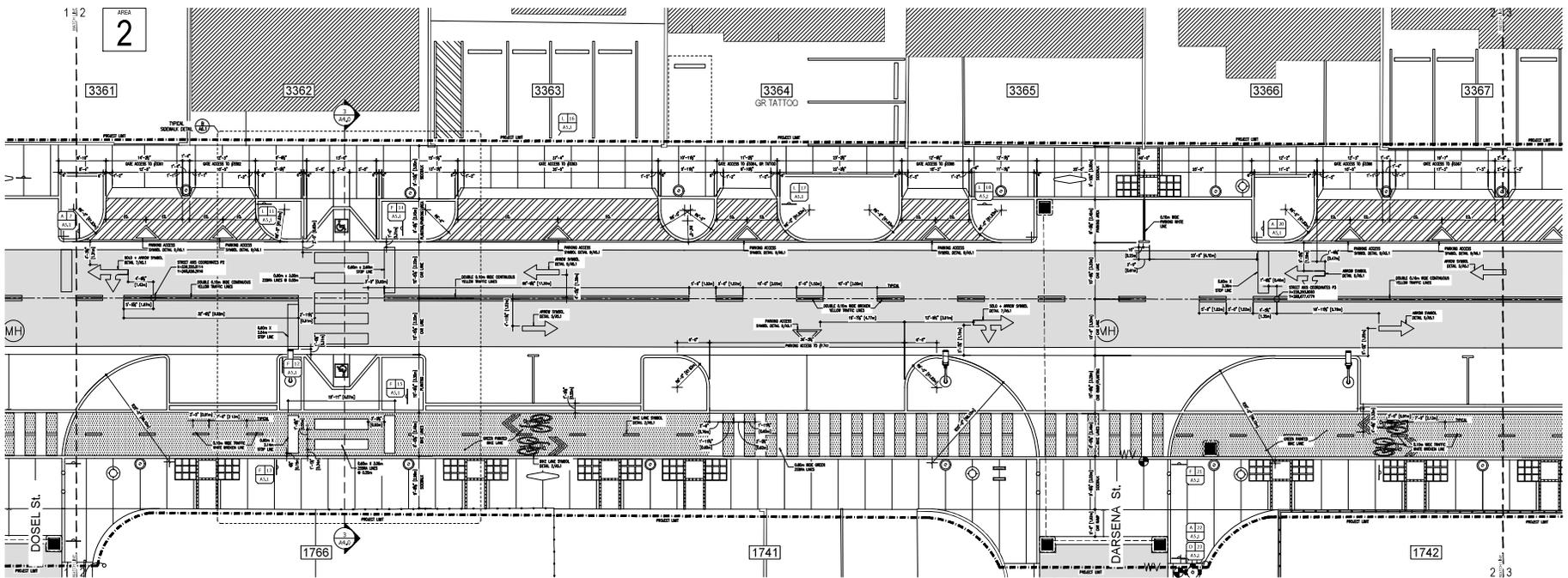
CALLE COMPLETA AVENIDA DEL VALLE
 TOA BAJA, PUERTO RICO
 C.D.B.G.-D.R.-C.R.P. 81026

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ROSSILUGO ARCHITECTURE

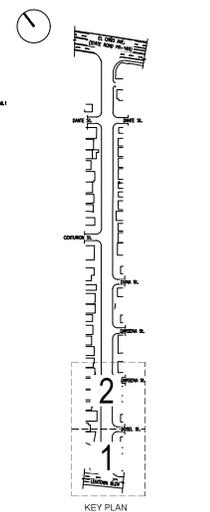


PROPOSED SIGNAGE & PAVEMENT MARKING, FLOOR PLAN AREA 1
SCALE 1/8" = 1'-0"



PROPOSED SIGNAGE & PAVEMENT MARKING, FLOOR PLAN AREA 2
SCALE 1/8" = 1'-0"

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 3. CONTRACTOR WILL USE ONLY DRAWINGS STAMPED FOR CONTRACTOR AND BOUND BY ARCHITECT.
 4. VALID DIMENSIONS ARE SHOWN WRITTEN ON THE DRAWING. UNLESS OTHERWISE SPECIFIED, DIMENSIONS ARE SHOWN IN METERS AND MILLIMETERS.
 5. UNLESS OTHERWISE INDICATED, ELEVATIONS ARE SHOWN IN METERS AND MILLIMETERS.
 6. ANY CHANGE OR MODIFICATION TO THE DRAWINGS MUST BE AUTHORIZED BY THE PROFESSIONAL IN CHARGE.



NOTES:
 The drawings were prepared by the Architect and the Contractor. The Contractor is responsible for the field verification of all dimensions, levels and actual site conditions before proceeding with the construction. Any discrepancy, error or omission must be notified immediately to the Architect in order to make any necessary corrections. Failure to do so will be at the Contractor's risk. The Contractor will use only drawings stamped for Contractor and bound by Architect. Valid dimensions are shown written on the drawing. Unless otherwise specified, dimensions are shown in meters and millimeters. Unless otherwise indicated, elevations are shown in meters and millimeters. Any change or modification to the drawings must be authorized by the professional in charge.

CONSTRUCTION DOCUMENTS

FERNANDO LUJO TORRES
 ARCHITECTO
 C.O.B.A.R. 81926
 PUERTO RICO

Feb 2025

Revisions

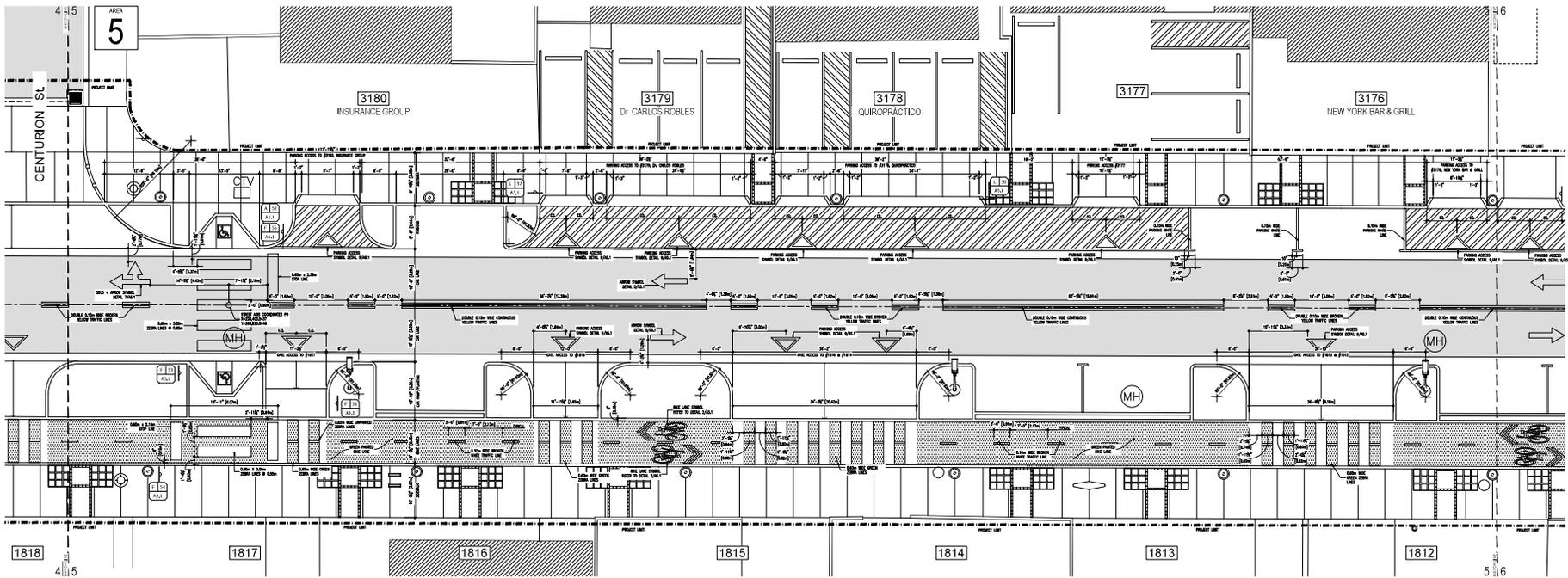
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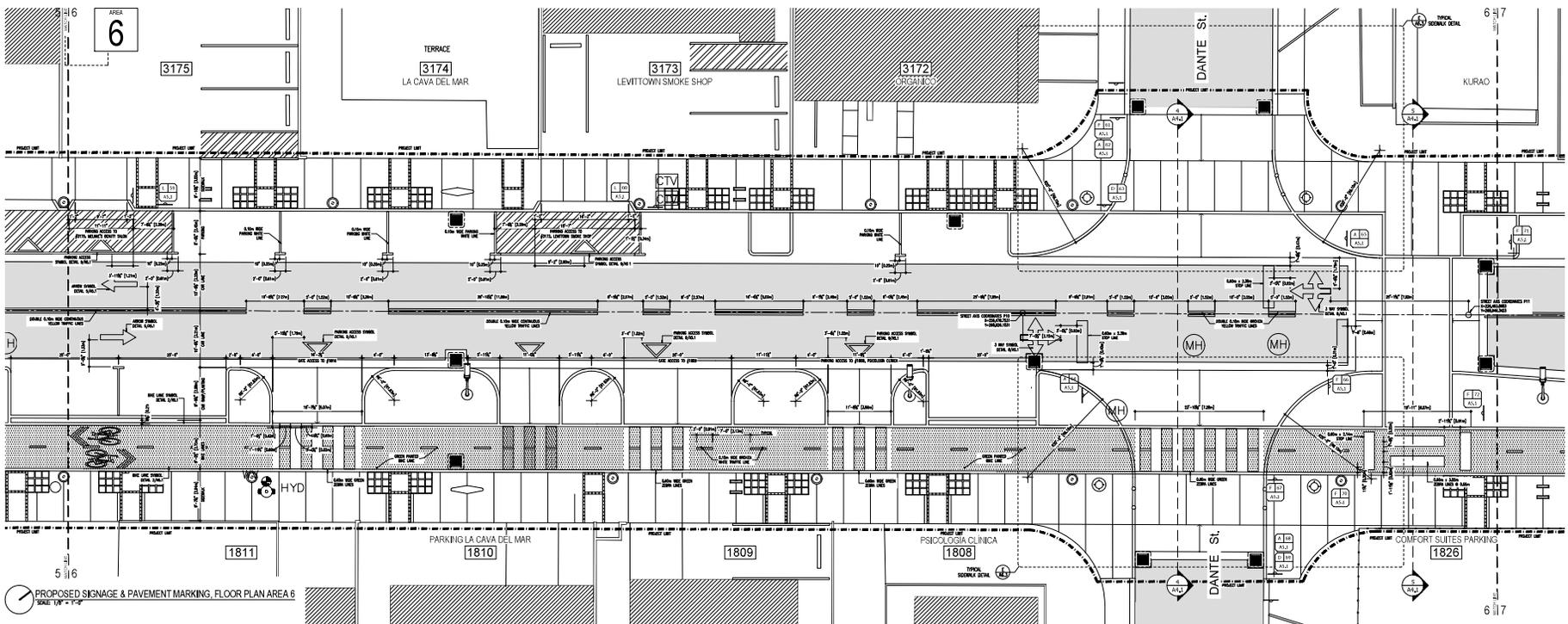
PROPOSED SIGNAGE & PAVEMENT MARKING, AREAS 1 & 2

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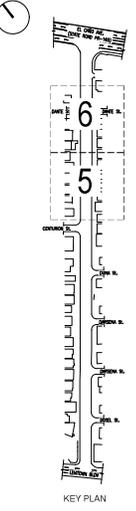
PROPOSED SIGNAGE & PAVEMENT MARKING, FLOOR PLAN AREA 5



PROPOSED SIGNAGE & PAVEMENT MARKING, FLOOR PLAN AREA 6

NOTES

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3. CONTRACTOR WILL USE ONLY DRAWINGS STAMPED FOR CONTRACTOR AND REVISIONS BY ARCHITECT.
4. VALID DIMENSIONS ARE SHOWN WRITTEN ON THE DRAWING. OBJECT DIMENSIONS MUST BE AVOIDED.
5. UNLESS OTHERWISE INDICATED, ELEVATIONS ARE SHOWN IN METERS ABOVE SEA LEVEL.
6. ANY CHANGE OR MODIFICATION TO THE DRAWINGS MUST BE AUTHORIZED BY THE PROFESSIONAL IN CHARGE.



NOTES:
 The proposed signage, pavement marking, and other details shown on this drawing are for informational purposes only. The contractor is responsible for field verification of all dimensions, levels, and actual site conditions before proceeding with construction. Any discrepancy, error, or omission must be notified immediately to the architect in order to make any necessary corrections. Failure to do so will be at the contractor's risk. The contractor will use only drawings stamped for contractor and revisions by architect. Valid dimensions are shown written on the drawing. Object dimensions must be avoided. Unless otherwise indicated, elevations are shown in meters above sea level. Any change or modification to the drawings must be authorized by the professional in charge.

CONSTRUCTION DOCUMENTS

Feb 2025

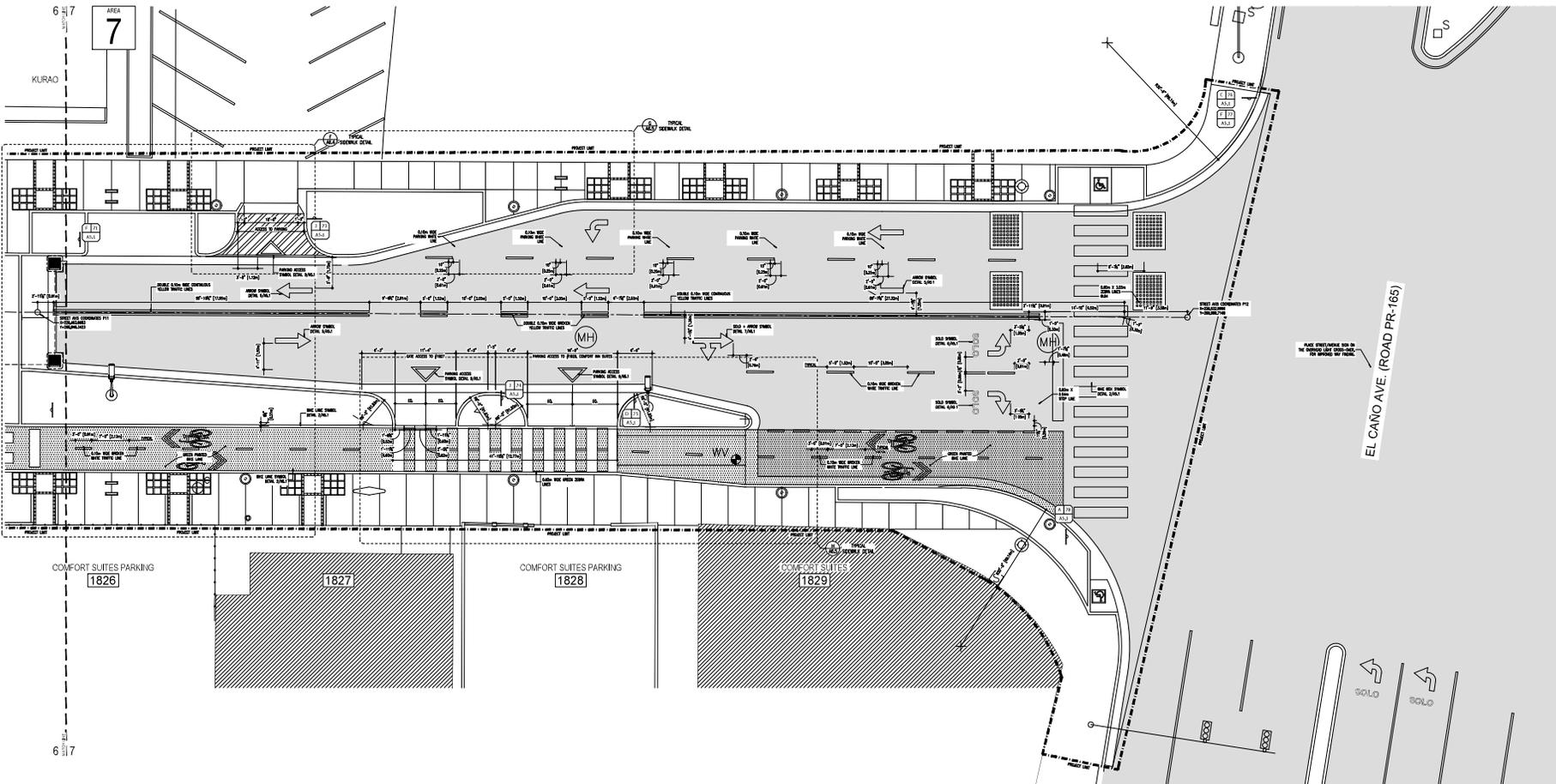
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CALLE COMPLETA AVENIDA DEL VALLE
 TOA BAJA, PUERTO RICO
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PROPOSED SIGNAGE & PAVEMENT MARKING, AREAS 5 & 6

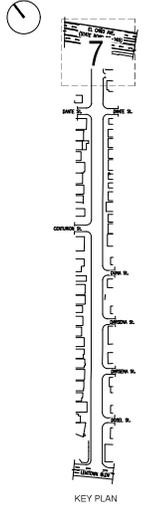
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 ARCHITECTURE



PROPOSED SIGNAGE & PAVEMENT MARKING, FLOOR PLAN AREA 7
 SHEET 18-1

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3. CONTRACTOR WILL USE ONLY DRAWINGS STAMPED FOR CONTRACTOR AND BEARING ARCHITECT'S SIGNATURE.
4. VALID DIMENSIONS ARE SHOWN WRITTEN ON THE DRAWING. CORRECT MEASUREMENTS MUST BE ADOPTED.
5. UNLESS OTHERWISE INDICATED, ELEVATIONS ARE SHOWN IN METERS ABOVE SEA LEVEL.
6. ANY CHANGE OR MODIFICATION TO THE DRAWINGS MUST BE AUTHORIZED BY THE PROFESSIONAL IN CHARGE.



NOTES:
 ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
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CONSTRUCTION DOCUMENTS

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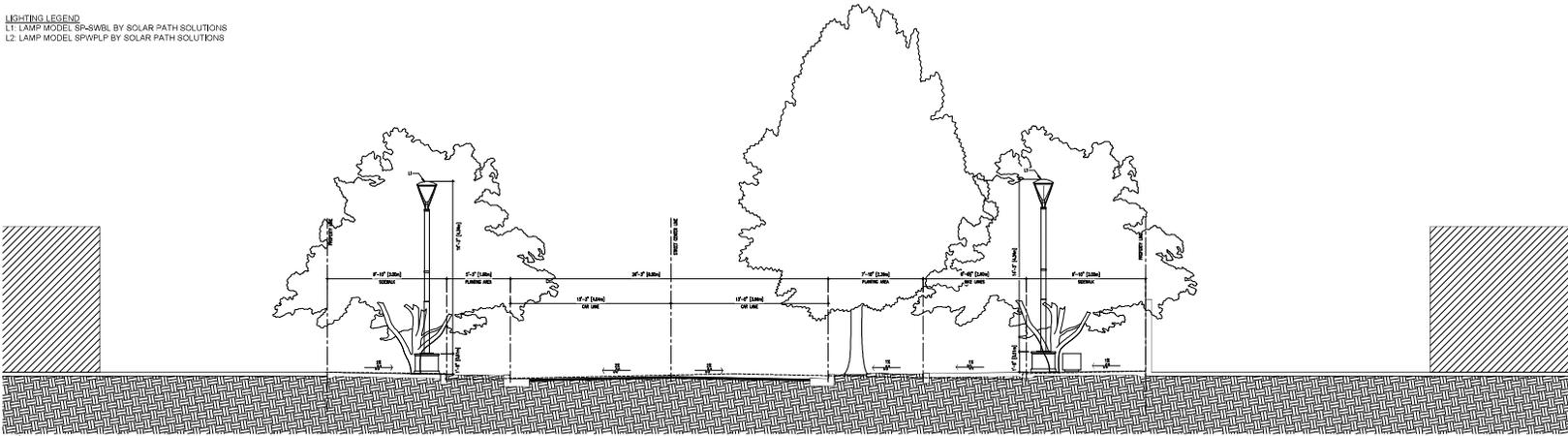
CALLE COMPLETA AVENIDA DEL VALLE
 TOA BAJA, PUERTO RICO
 C.D.B.G.-D.R.-C.R.P. 81026

PROPOSED SIGNAGE & PAVEMENT MARKING, AREA 7

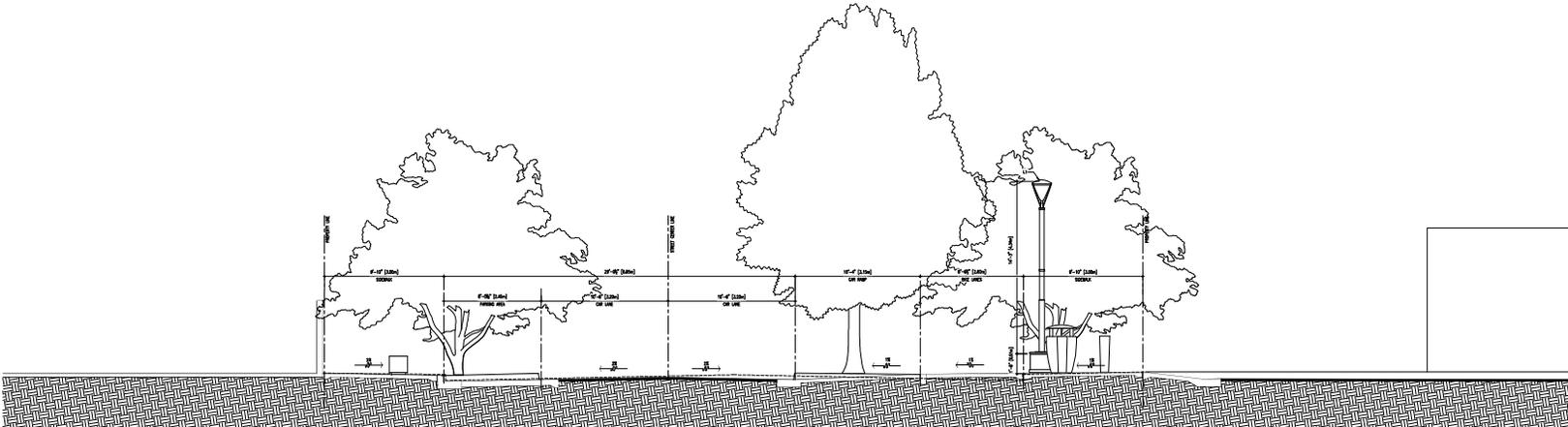
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ROSSILUGO ARCHITECTURE

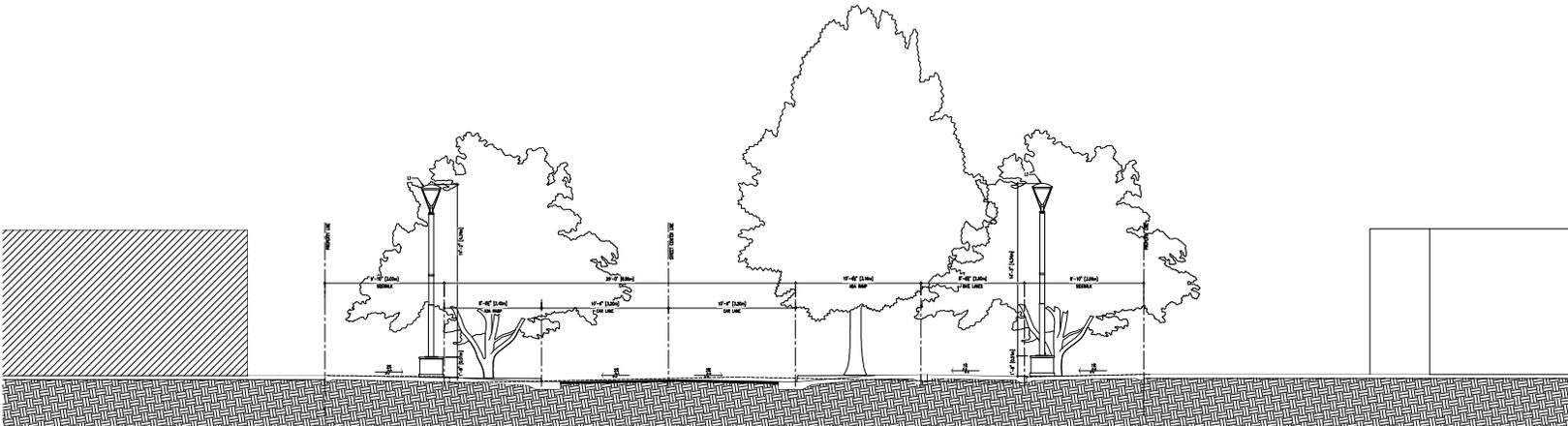
LIGHTING LEGEND
 L1: LAMP MODEL SP-4SWBL BY SOLAR PATH SOLUTIONS
 L2: LAMP MODEL SPWFLP BY SOLAR PATH SOLUTIONS



STREET CROSS SECTION
 SCALE: 1/4" = 1'-0"



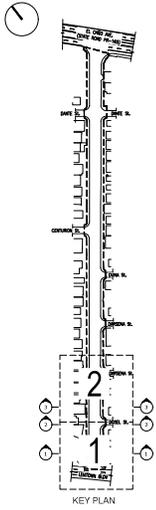
STREET CROSS SECTION
 SCALE: 1/4" = 1'-0"



STREET CROSS SECTION
 SCALE: 1/4" = 1'-0"

NOTES

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5. UNLESS OTHERWISE INDICATED, ELEVATIONS ARE SHOWN IN METERS AND NOT FEET/INCHES.
6. ANY CHANGE OR MODIFICATION TO THE DRAWINGS MUST BE AUTHORIZED BY THE PROFESSIONAL IN CHARGE.



NOTA IMPORTANTE:
 EL PROYECTO LLEVA ADELANTE LOS TRABAJOS DE DISEÑO Y SE DEBE DE TENER EN CUENTA QUE ESTOS SON DISEÑOS PRELIMINARES Y DEBEN SER VERIFICADOS EN EL TERRENO ANTES DE EMPEZAR LA CONSTRUCCIÓN. CUALQUIER DISCREPANCIA, ERROR U OMISSION DEBE SER NOTIFICADO INMEDIATAMENTE AL ARQUITECTO PARA PODER REALIZAR LAS CORRECCIONES NECESARIAS. EL CONSTRUCTOR DEBE VERIFICAR EN EL TERRENO TODAS LAS DIMENSIONES, NIVELES Y CONDICIONES DEL SITIO ANTES DE EMPEZAR LA CONSTRUCCIÓN. CUALQUIER DISCREPANCIA, ERROR U OMISSION DEBE SER NOTIFICADO INMEDIATAMENTE AL ARQUITECTO PARA PODER REALIZAR LAS CORRECCIONES NECESARIAS. EL CONSTRUCTOR DEBE USAR SOLO LOS DISEÑOS QUE ESTÉN SELLADOS Y FIRMADOS POR EL ARQUITECTO. SE DEBE EVITAR EL USO DE MEDIDAS DIRECTAS EN EL TERRENO. A MENOS QUE SE INDIQUE DE LO CONTRARIO, LAS ELEVACIONES SE MUESTRAN EN METROS Y NO EN PIES/INCHAS. CUALQUIER CAMBIO O MODIFICACIÓN A LOS DISEÑOS DEBE SER AUTORIZADO POR EL PROFESIONAL EN CARGO.

CONSTRUCTION DOCUMENTS

ARCHITECTO
 FERNANDO LUGO AGUILO
 LIC. 88493
 P.R. 1990
 PUERTO RICO

Feb 2025

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CALLE COMPLETA AVENIDA DEL VALLE
 TOA BAJA, PUERTO RICO
 C.D.B.G.-D.R.-C.R.P. 81026

STREET SECTIONS 1, 2 & 3

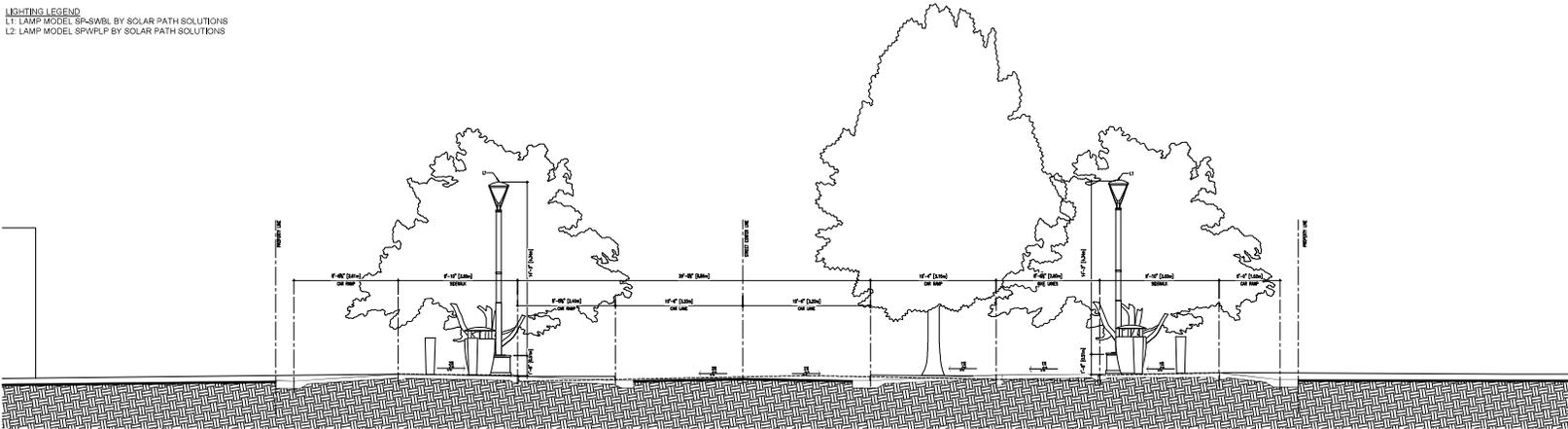
ROSSILUGO ARCHITECTURE

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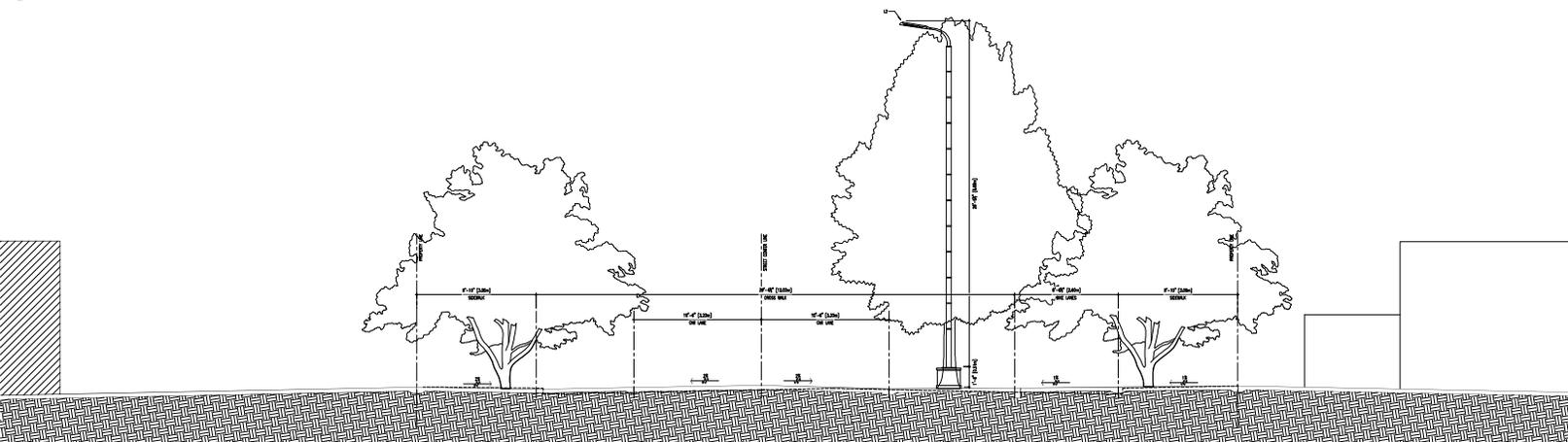
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LIGHTING LEGEND
 L1: LAMP MODEL SP-4SWBL BY SOLAR PATH SOLUTIONS
 L2: LAMP MODEL SPWFLP BY SOLAR PATH SOLUTIONS



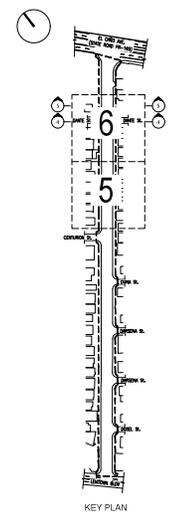
STREET CROSS SECTION
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STREET CROSS SECTION
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NOTES

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KEY PLAN

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CONSTRUCTION DOCUMENTS

ARCHITECTO
FERNANDO LUGO ACOSTA
 LIC. 88493
 P.R.
 PUERTO RICO

Feb 2025

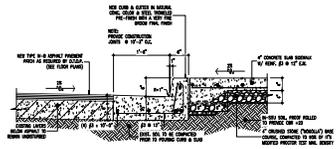
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CALLE COMPLETA AVENIDA DEL VALLE
 TOA BAJA, PUERTO RICO
 C.D.B.G.-D.R.-C.R.P. 81026

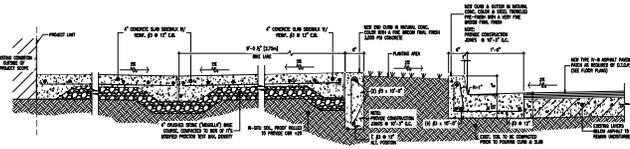
STREET SECTIONS 4 & 5

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ROSSILUGO ARCHITECTURE



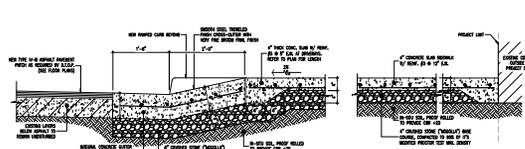
1 CURB & GUTTER DETAIL
SCALE 1/4" = 1"



2 SIDEWALK-BIKE LANE
SCALE 1/4" = 1"

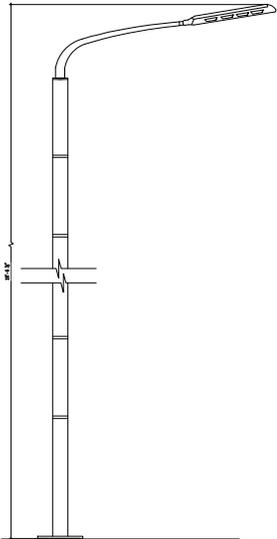
3 BIKE LANE-PLANTING
SCALE 1/4" = 1"

4 PLANTING-CURB
SCALE 1/4" = 1"

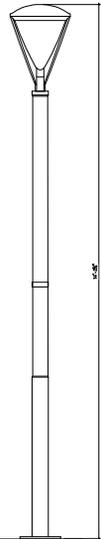


5 CAR RAMP DETAIL
SCALE 1/4" = 1"

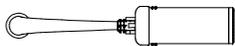
6 SIDEWALK DETAIL
SCALE 1/4" = 1"



ELEVATION



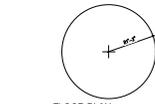
ELEVATION



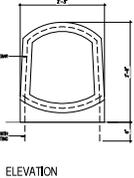
9 L2-STREET LAMP (HIGHLIGHT SPVLP)
SCALE 3/4" = 1"
LAMP SHALL BE 8' IN DIA. PER SOLUTIONS



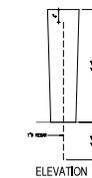
10 L1-STREET LAMP (HIGHLIGHT SP-SWL)
SCALE 3/4" = 1"
LAMP SHALL BE 8' IN DIA. PER SOLUTIONS



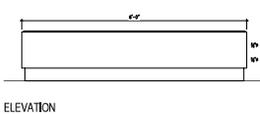
10 TRASH RECEPTACLE (TR-9)
SCALE 3/4" = 1"
RECEPTACLE SHALL BE 8' IN DIA. PER SOLUTIONS. COLOR: LIGHT GRAY. MOUNT: 5 FT.



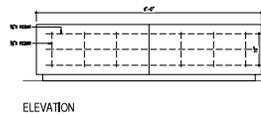
11 BIKE RACK (BR-1)
SCALE 3/4" = 1"
BIKE RACK SHALL BE 8' IN DIA. PER SOLUTIONS. COLOR: LIGHT GRAY. MOUNT: 5 FT.



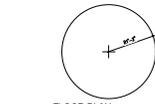
12 BOLLARD (BL-5)
SCALE 3/4" = 1"
BOLLARD SHALL BE 8' IN DIA. PER SOLUTIONS. COLOR: LIGHT GRAY. MOUNT: 5 FT.



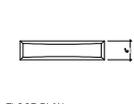
13 BENCH (BE-12)
SCALE 3/4" = 1"
BENCH SHALL BE 8' IN DIA. PER SOLUTIONS. COLOR: LIGHT GRAY. MOUNT: 5 FT.



14 BENCH (BE-9)
SCALE 3/4" = 1"
BENCH SHALL BE 8' IN DIA. PER SOLUTIONS. COLOR: LIGHT GRAY. MOUNT: 5 FT.



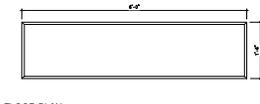
10 TRASH RECEPTACLE (TR-9)
SCALE 3/4" = 1"
RECEPTACLE SHALL BE 8' IN DIA. PER SOLUTIONS. COLOR: LIGHT GRAY. MOUNT: 5 FT.



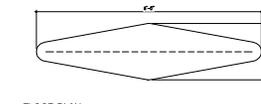
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BIKE RACK SHALL BE 8' IN DIA. PER SOLUTIONS. COLOR: LIGHT GRAY. MOUNT: 5 FT.



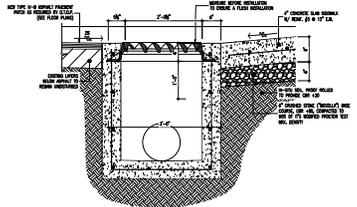
12 BOLLARD (BL-5)
SCALE 3/4" = 1"
BOLLARD SHALL BE 8' IN DIA. PER SOLUTIONS. COLOR: LIGHT GRAY. MOUNT: 5 FT.



13 BENCH (BE-12)
SCALE 3/4" = 1"
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14 BENCH (BE-9)
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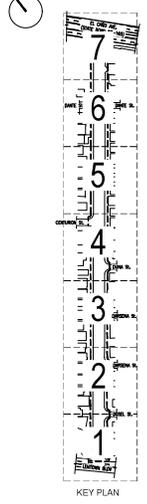
7 STORM SEWER DETAIL
SCALE 1/4" = 1"

NOTES:

1. ALL ELEMENTS MUST HAVE MICROFIBER REINFORCEMENT AND ALL REBARS ON ELEMENTS WITH REBAR MUST HAVE AN ANTICORROSION COATING.
2. SIZE AND LOCATION OF REBARS IS ILLUSTRATIVE. MANUFACTURER IS RESPONSIBLE FOR ALL THE STRUCTURAL REBAR DESIGN IN ORDER TO WARRANTY ITS RESISTANCE AND DURABILITY.

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KEY PLAN

NOTES:
1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.
4. ALL DIMENSIONS ARE TO SURFACE UNLESS OTHERWISE SPECIFIED.
5. ALL DIMENSIONS ARE TO FINISH UNLESS OTHERWISE SPECIFIED.
6. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.
7. ALL DIMENSIONS ARE TO SURFACE UNLESS OTHERWISE SPECIFIED.
8. ALL DIMENSIONS ARE TO FINISH UNLESS OTHERWISE SPECIFIED.

CONSTRUCTION DOCUMENTS

FERNANDO LUGO AGUIRRE
ARCHITECTO LICENCIADO
C.O. 88493
C/ P. RUIZ DE ALARCÓN
PUERTO RICO

Feb 2025

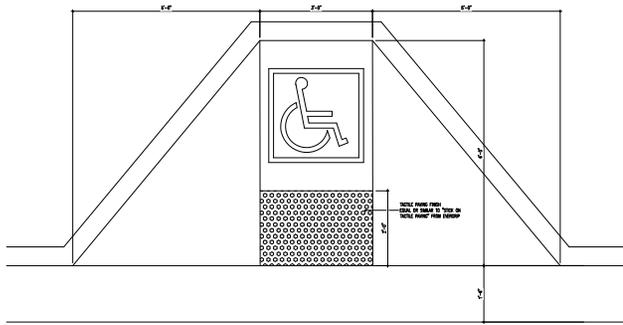
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CALLE COMPLETA AVENIDA DEL VALLE
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TYPICAL DETAILS

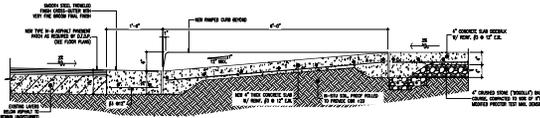
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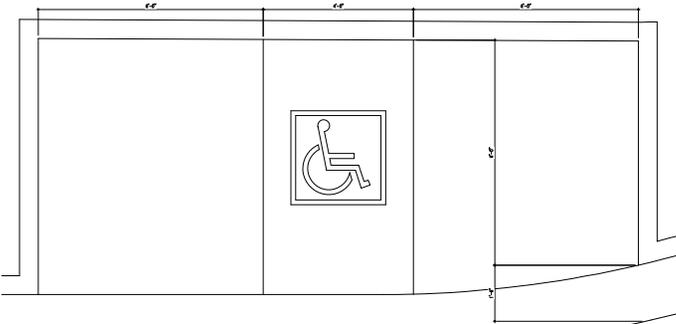


FLOOR PLAN

1 ADA RAMP DETAIL
SCALE 3/4" = 1'-0"

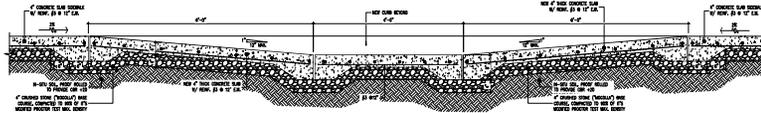


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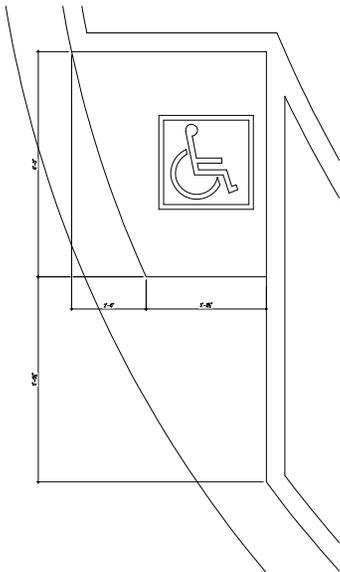


FLOOR PLAN

2 ADA RAMP DETAIL
SCALE 3/4" = 1'-0"

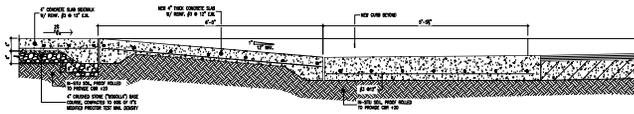


SECTION



FLOOR PLAN

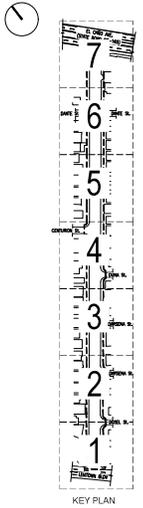
3 ADA RAMP DETAIL
SCALE 3/4" = 1'-0"



CROSS SECTION

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ROSSILUGO ARCHITECTURE
ARCHITECTO INGENIERO
FERNANDO LUGO AGUDO
C.E. 88493
P.R. 00909
PUERTO RICO

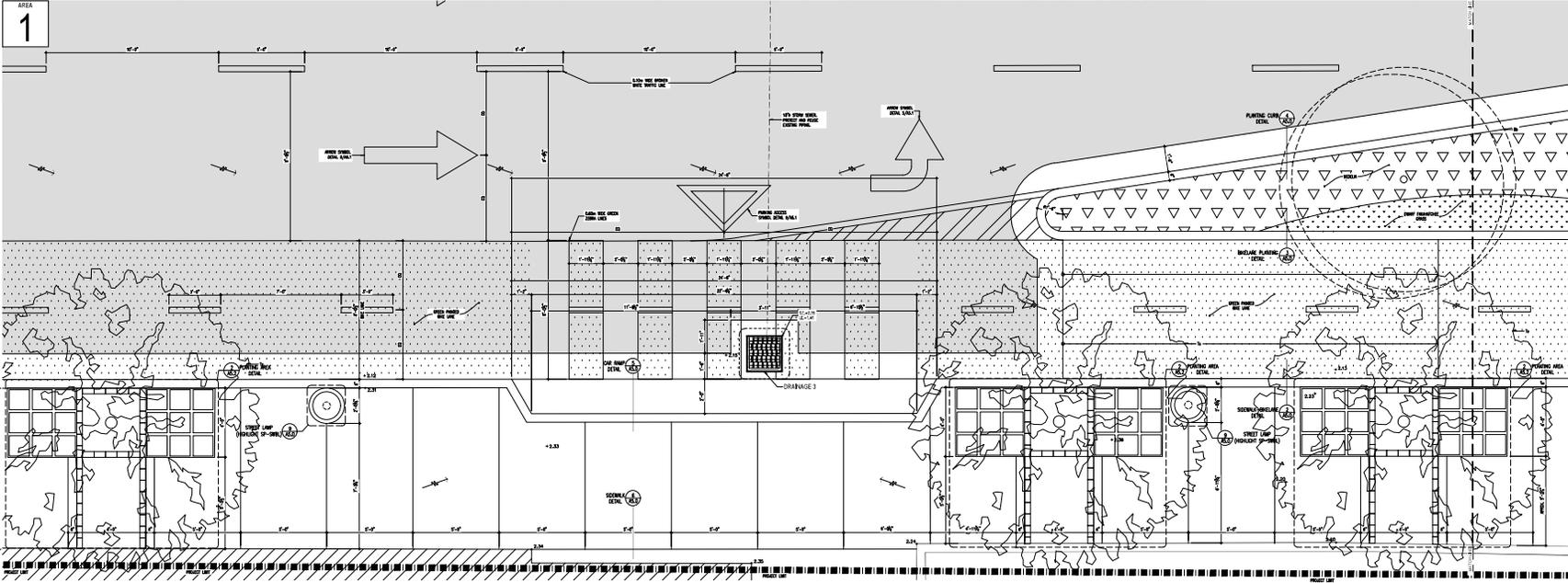
Feb 2025

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| ESCALA: | A5.3 |

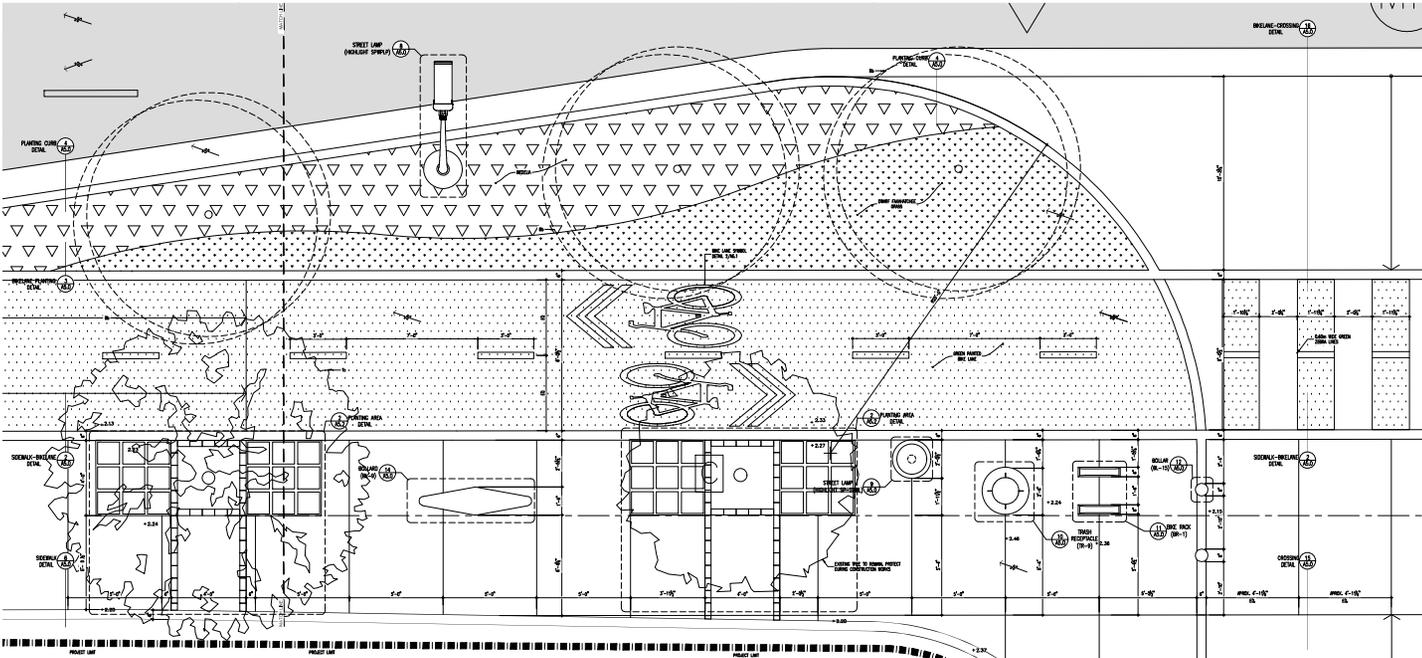
CALLE COMPLETA AVENIDA DEL VALLE
TOA BAJA, PUERTO RICO
C.D.B.G.-D.R.-C.R.F. 81026

ADA RAMP DETAILS

ROSSILUGO ARCHITECTURE



FLOOR PLAN

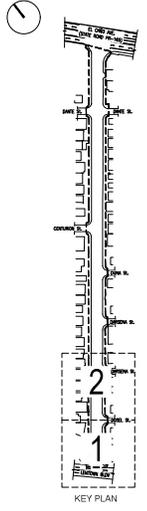


FLOOR PLAN

TYPICAL SIDEWALK DETAILS
SCALE 3/8" = 1'-0"

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KEY PLAN

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FERNANDO LUJO AGUDO
 Lic. 18493
 P.R. 00989
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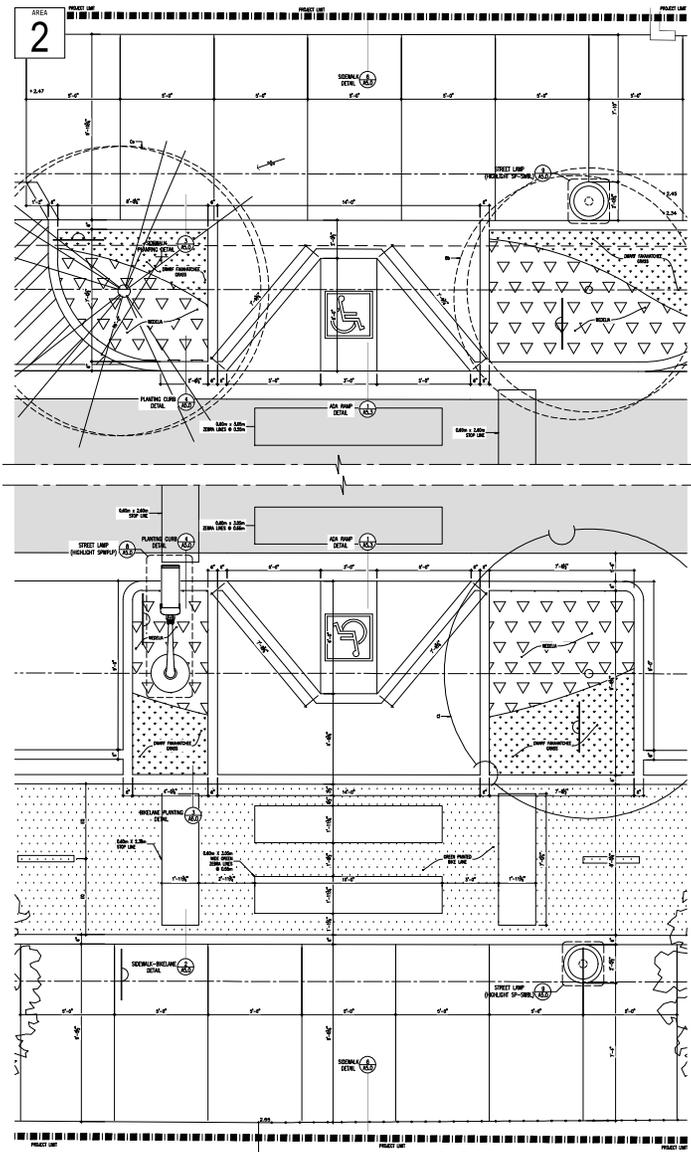
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CALLE COMPLETA AVENIDA DEL VALLE
 TOA BAJA, PUERTO RICO
 C.D.B.G. - D.R. - C.R.P. 81026

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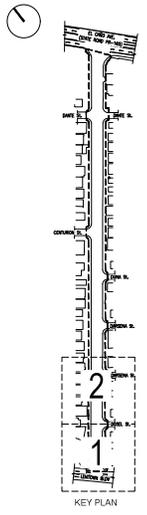


FLOOR PLAN

1 TYPICAL SIDEWALK DETAILS
SCALE 3/8" = 1'-0"

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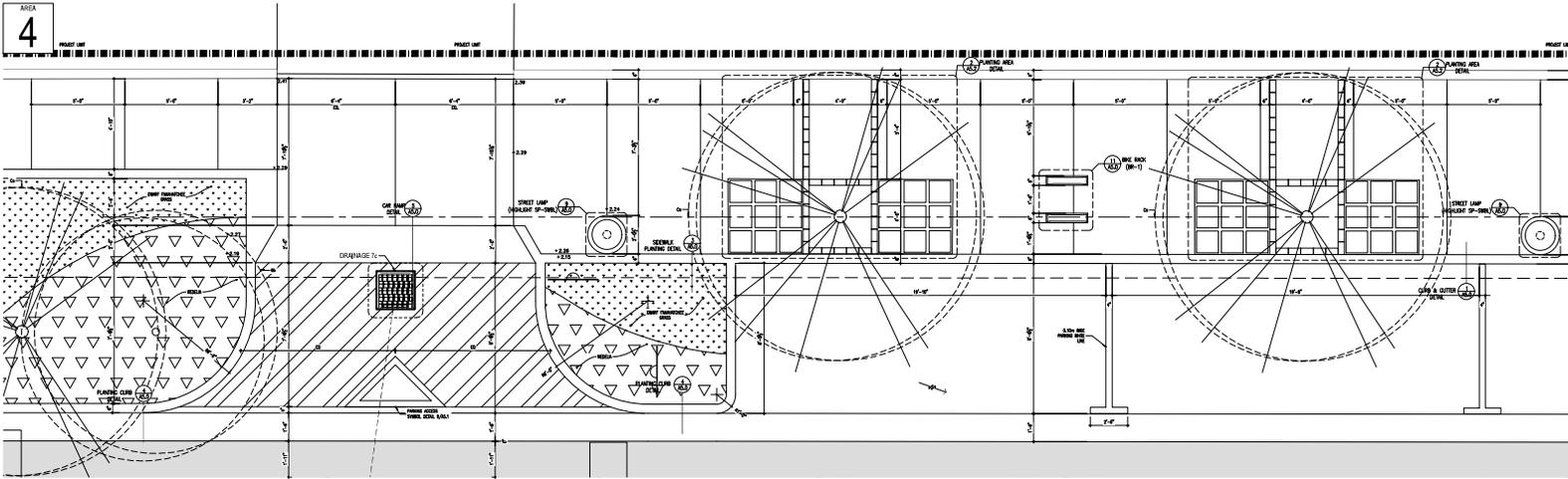
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CALLE COMPLETA AVENIDA DEL VALLE
 TOA BAJA, PUERTO RICO
 C.D.B.G.-D.R.-C.R.P. 01026

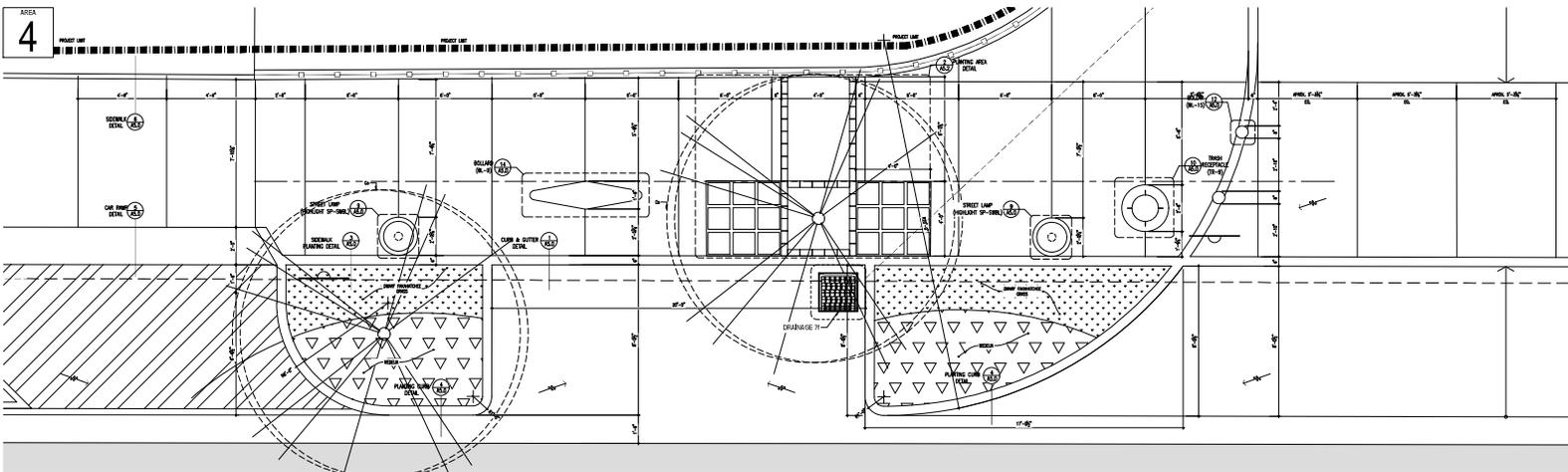
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ROSSILUGO
ARCHITECTURE



FLOOR PLAN

(C) TYPICAL SIDEWALK DETAILS
SCALE 3/8" = 1'-0"

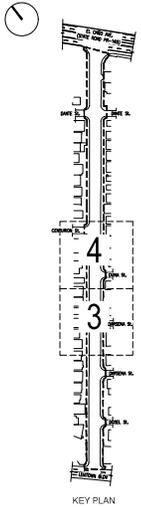


FLOOR PLAN

(D) TYPICAL SIDEWALK DETAILS
SCALE 3/8" = 1'-0"

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KEY PLAN

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Puerto Rico

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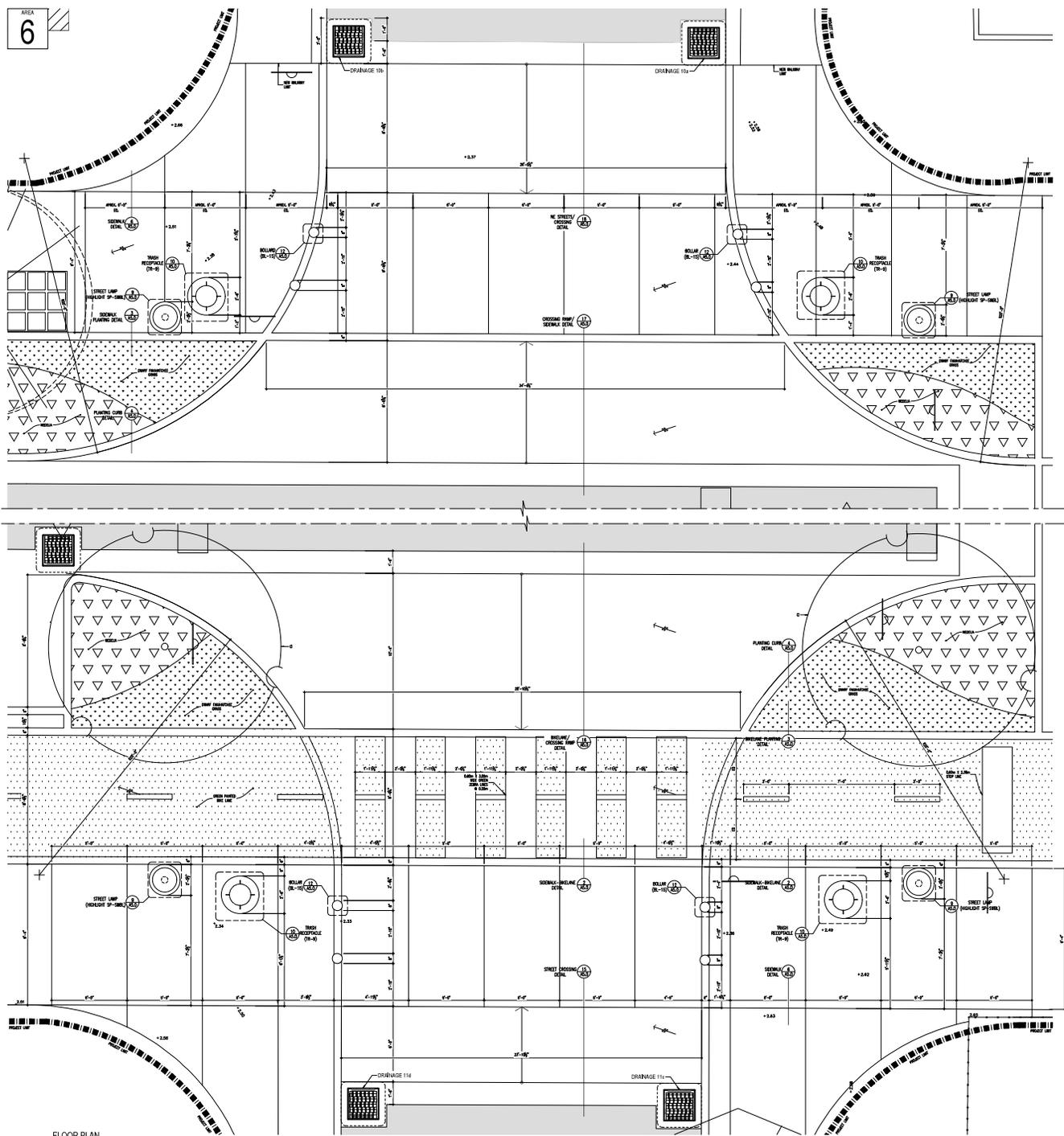
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ROSSILUGO
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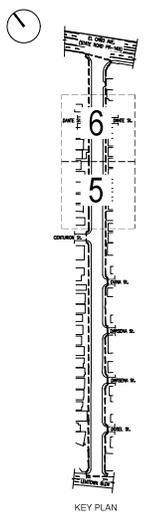
AREA
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FLOOR PLAN
TYPICAL SIDEWALK DETAILS
SCALE 3/8" = 1'-0"

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4. VALID DIMENSIONS ARE SHOWN WRITTEN ON THE DRAWING. DIRECT MEASUREMENTS ARE FORWARDED.
5. UNLESS OTHERWISE INDICATED, ELEVATIONS ARE SHOWN IN METERS AND DECIMALS.
6. ANY CHANGE OR MODIFICATION TO THE DRAWINGS MUST BE AUTHORIZED BY THE PROFESSIONAL IN CHARGE.



KEY PLAN

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 (Señalada en el presente plano con el número de expediente de la obra y con el nombre del autor, el profesional en su calidad de arquitecto en ejercicio.)

CONSTRUCTION DOCUMENTS

FERNANDO LUGO ACIDO
 ARCHITECTO
 INSCRITO
 C.C. 18493
 P.R. 1990

Feb 2025

Revisión

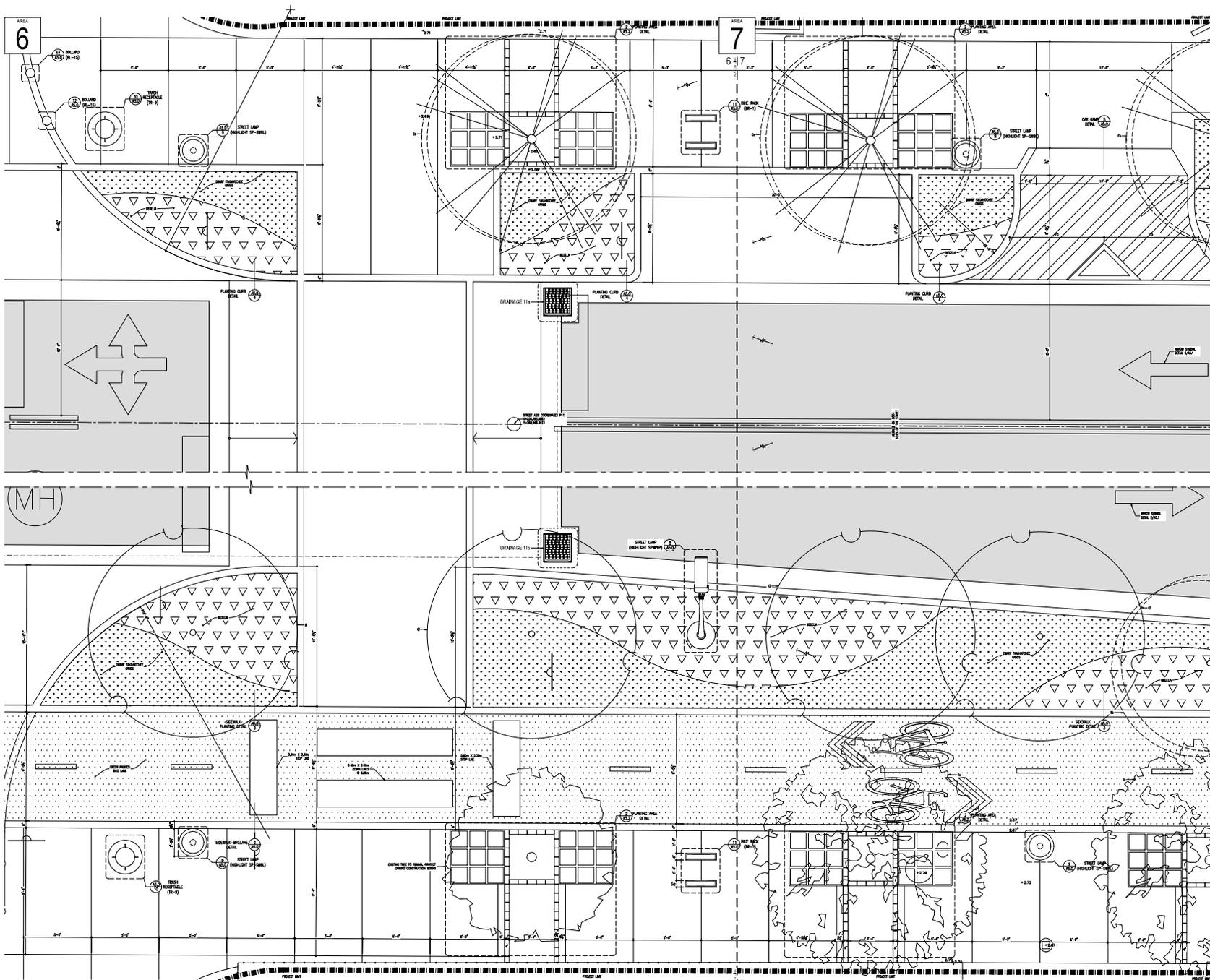
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CALLE COMPLETA AVENIDA DEL VALLE
 TOA BAJA, PUERTO RICO
 C.D.B.G. - D.R. - C.R.P. 01026

TYPICAL SIDEWALK DETAILS, AREA 6

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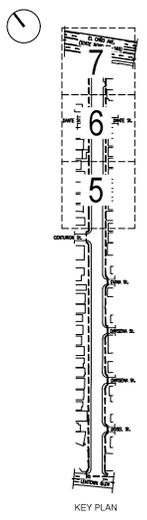
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FLOOR PLAN
 1 TYPICAL SIDEWALK DETAILS
 SCALE 1/8" = 1'-0"

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 ARCHITECTO INGENIERO
 C.E. 18493
 P.R. 00909
 PUERTO RICO

Feb 2025

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CALLE COMPLETA AVENIDA DEL VALLE
 TOA BAJA, PUERTO RICO
 C.D.B.G.-D.R.-C.R.P. 8-1-02-6

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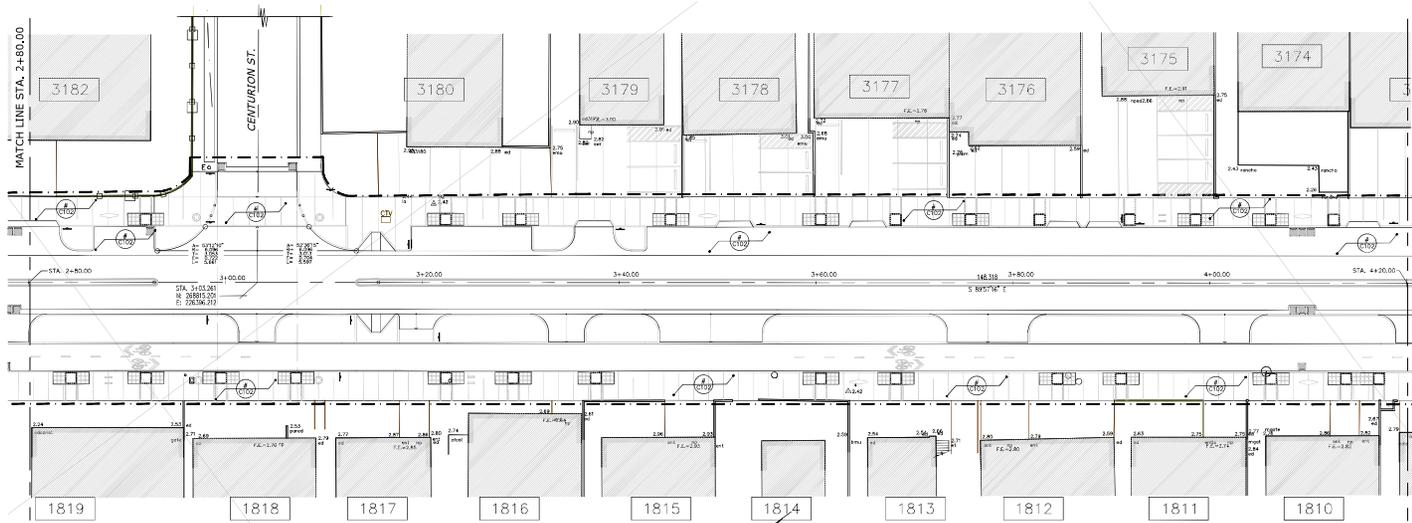
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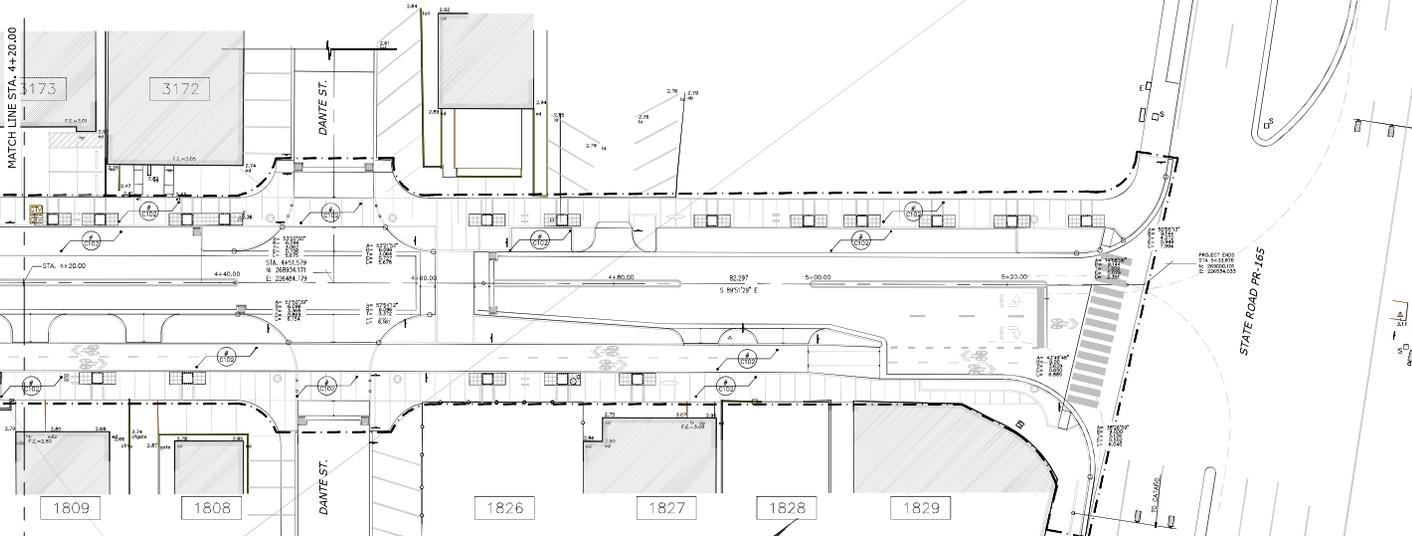
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7. UNLESS OTHERWISE INDICATED IN THE CONSTRUCTION DOCUMENTS, LIGHTING CONTROL DEVICES, A/C THERMOSTATS AND ANY WALL MOUNTED CONTROL DEVICE SHALL BE LOCATED FOLLOWING THE GUIDELINES BELOW:



8. UNLESS OTHERWISE INDICATED IN THE CONSTRUCTION DOCUMENTS, CEILING HANGING INFRASTRUCTURE, SUCH AS: PLUMBING, MECHANICAL, ELECTRICAL, CONDUITS, MECHANICAL, EQUIPMENT AND DUCTS, SHALL BE INSTALLED AS CLOSE TO THE STRUCTURAL SLAB AND BE AS FEASIBLE.
9. UNLESS OTHERWISE INDICATED IN THE CONSTRUCTION DOCUMENTS, EXISTING STRUCTURAL SLAB SHALL NOT BE AFFECTED BY ANY WAY FOR CONCRETE INSTALLATION, WELDING, REPAIRING, PATCHING, DEMOLITION, SLOTTING, ETC. CONTRACTOR SHALL NOTIFY THE ARCHITECT IN THE EVENT AN INTERFERENCE IS REQUIRED.
10. UNLESS OTHERWISE INDICATED IN THE CONSTRUCTION DOCUMENTS, ALL RECEPTACLES COVER SHALL BE WHITE COLOR.



PROPOSED GEOMETRIC PLAN FROM STA. 2+80.00 TO STA. 4+20.00
SCALE 1 : 200



PROPOSED GEOMETRIC PLAN FROM STA. 4+20.00 TO STA. 5+33.88
SCALE 1 : 200



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CONSTRUCTION DOCUMENTS

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AVENIDA DEL VALLE
TOA BAJA, PUERTO RICO

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ISSUED DATE: March 05 2024

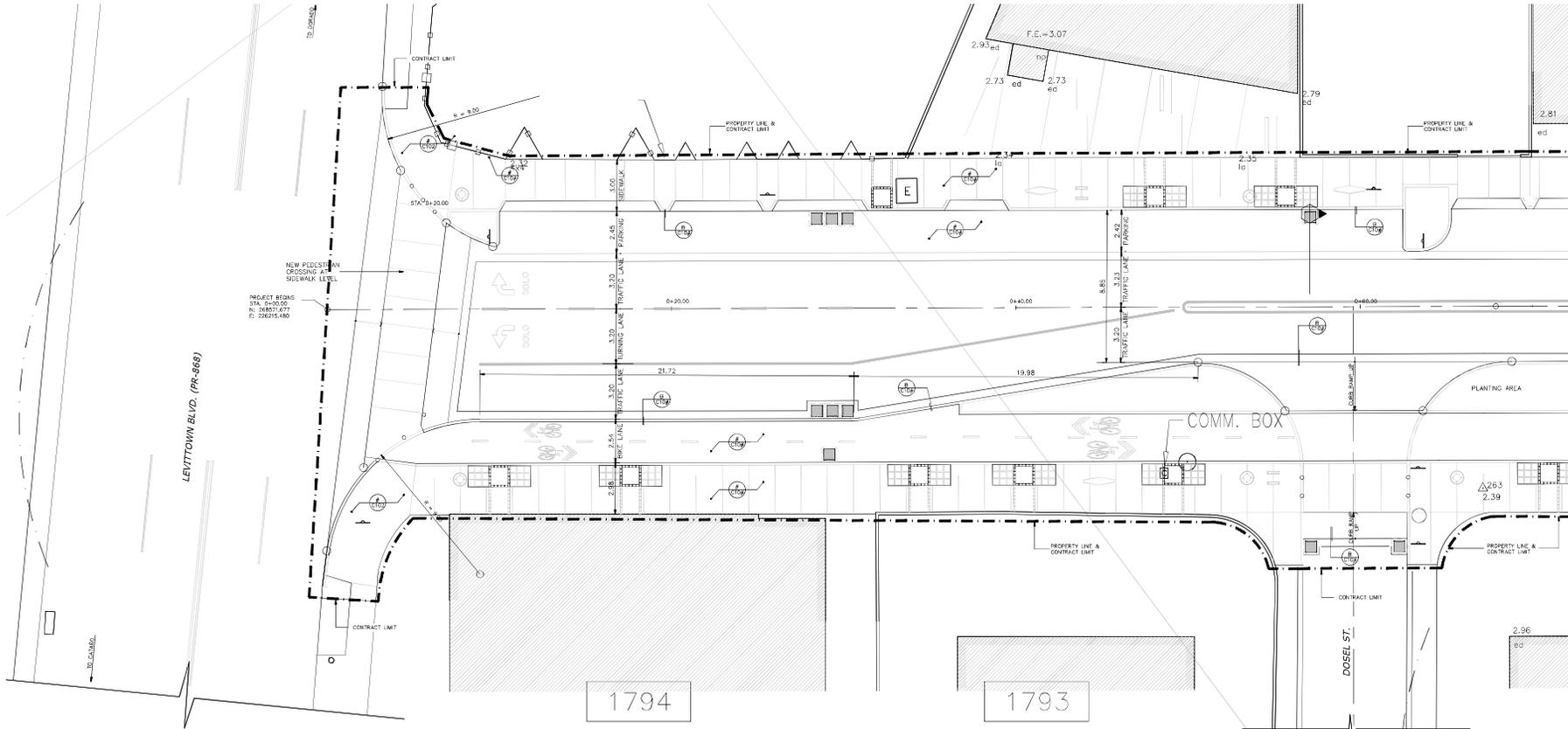
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ARCHITECTURE

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STA. 0+00.00 INTERSECTION BLOW-UP PLAN
SCALE: 1 : 100



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 6. ANY CHANGE OR MODIFICATION TO THE DRAWINGS MUST BE AUTHORIZED BY THE PROFESSIONAL IN CHARGE.
 7. UNLESS OTHERWISE INDICATED IN THE CONSTRUCTION DOCUMENTS, LIGHTING CONTROL DEVICES, A/C THERMOSTATS AND ANY WALL MOUNTED CONTROL DEVICE SHALL BE LOCATED FOLLOWING THE GUIDELINES BELOW:
 - 8. UNLESS OTHERWISE INDICATED IN THE CONSTRUCTION DOCUMENTS, CEILING HANGING INFRASTRUCTURE SUCH AS PLUMBING FITTINGS, ELECTRICAL, COORDINATE, MECHANICAL, EQUIPMENT AND DUCTS, SHALL BE INSTALLED AS CLOSE TO THE STRUCTURAL SLAB AND BE AS LOW AS POSSIBLE.
 - 9. UNLESS OTHERWISE INDICATED IN THE CONSTRUCTION DOCUMENTS, EXISTING STRUCTURAL SLAB SHALL NOT BE AFFECTED BY ANY WAY FOR CONCRETE INSTALLATION, INCLUDING REPAIRS, PATCHES, REINFORCEMENT, SPLITTING, ETC. CONTRACTOR SHALL NOTIFY THE ARCHITECT IN THE EVENT AN INTERVENTION IS REQUIRED.
 - 10. UNLESS OTHERWISE INDICATED IN THE CONSTRUCTION DOCUMENTS, ALL REFINISHED FLOORS SHALL BE WHITE COLOR.

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AVENIDA DEL VALLE
 TOA BAJA, PUERTO RICO

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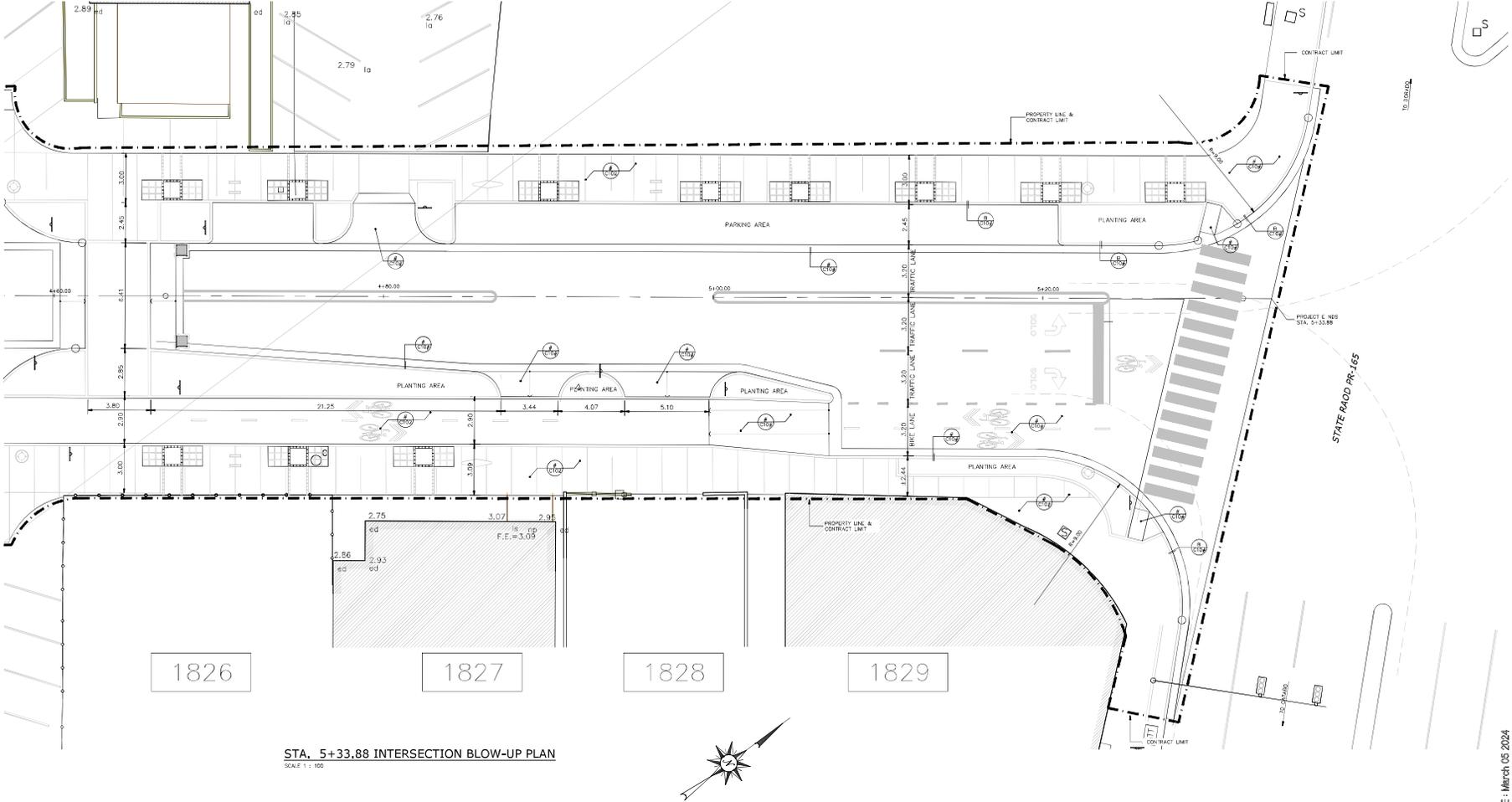
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1794 1793

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SCALE 1:100

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 - SIZE OF PANEL: 150x150
 - HEIGHT: 2000
 - DEPTH: 100
 - INSTALLATION: 100
 8. UNLESS OTHERWISE INDICATED IN THE CONSTRUCTION DOCUMENTS, CEILING HANGING INFRASTRUCTURE SUCH AS PLUMBING FITTINGS, ELECTRICAL CONDUITS, MECHANICAL EQUIPMENT AND DUCTS, SHALL BE INSTALLED AS CLOSE TO THE STRUCTURAL SLAB AND BE AS LOW AS POSSIBLE.
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AVENIDA DEL VALLE
TOA BAJA, PUERTO RICO

INTERSECTION BLOW-UP PLAN
AT STA. 5+33.88

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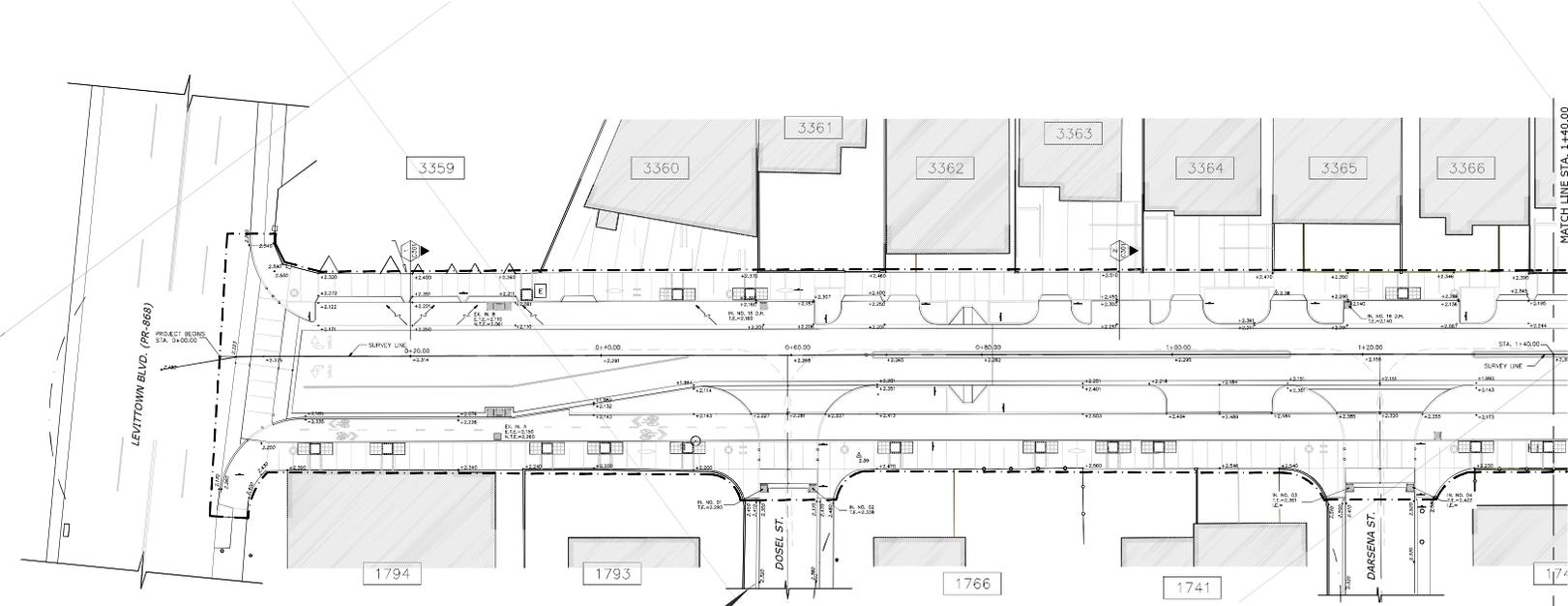
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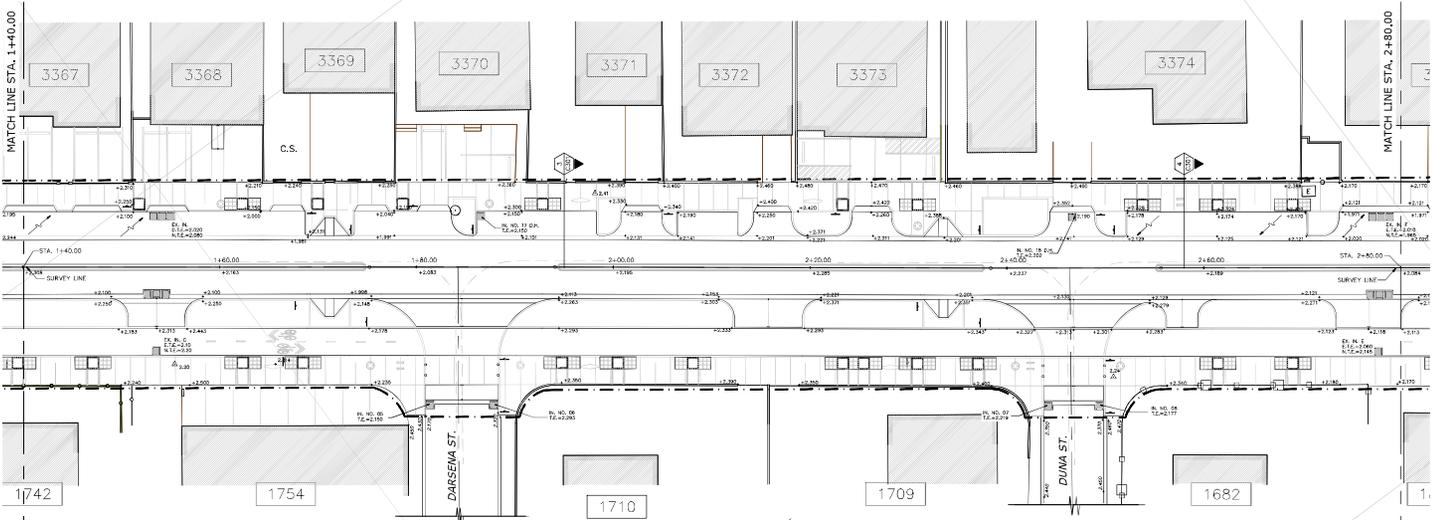
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7. UNLESS OTHERWISE INDICATED IN THE CONSTRUCTION DOCUMENTS, LIGHTING CONTROL DEVICES, A/C THERMOSTATS AND ANY WALL MOUNTED CONTROL DEVICE SHALL BE LOCATED FOLLOWING THE GUIDELINES BELOW:
 - SIDE OF WALL
 - HEIGHT
 - CONTROL DEVICES
8. UNLESS OTHERWISE INDICATED IN THE CONSTRUCTION DOCUMENTS, CEILING HANGING INFRASTRUCTURE SUCH AS PLUMBING, ELECTRICAL, MECHANICAL, EQUIPMENT AND CABLE TO THE STRUCTURAL SLAB AND BE AS LOW AS POSSIBLE.
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10. UNLESS OTHERWISE INDICATED IN THE CONSTRUCTION DOCUMENTS, ALL REFINISHED FLOORS SHALL BE WHITE COLOR.



PROPOSED GRADING PLAN FROM STA. 0+00.00 TO STA. 1+40.00
SCALE: 1 : 200



PROPOSED GRADING PLAN FROM STA. 1+40.00 TO STA. 2+80.00
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ISSUED DATE: March 05 2024

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STRUCTURAL CIVIL ENGINEERS
100 N. 10th St., 10th Floor, Puerto Rico
San Juan, Puerto Rico 00906-3400
Tel: 787-640-4477 / email: francocajia.com

AVENIDA DEL VALLE
TOA BAJA, PUERTO RICO

7th GRADING PLAN FROM STA. 0+00 TO STA. 2+80

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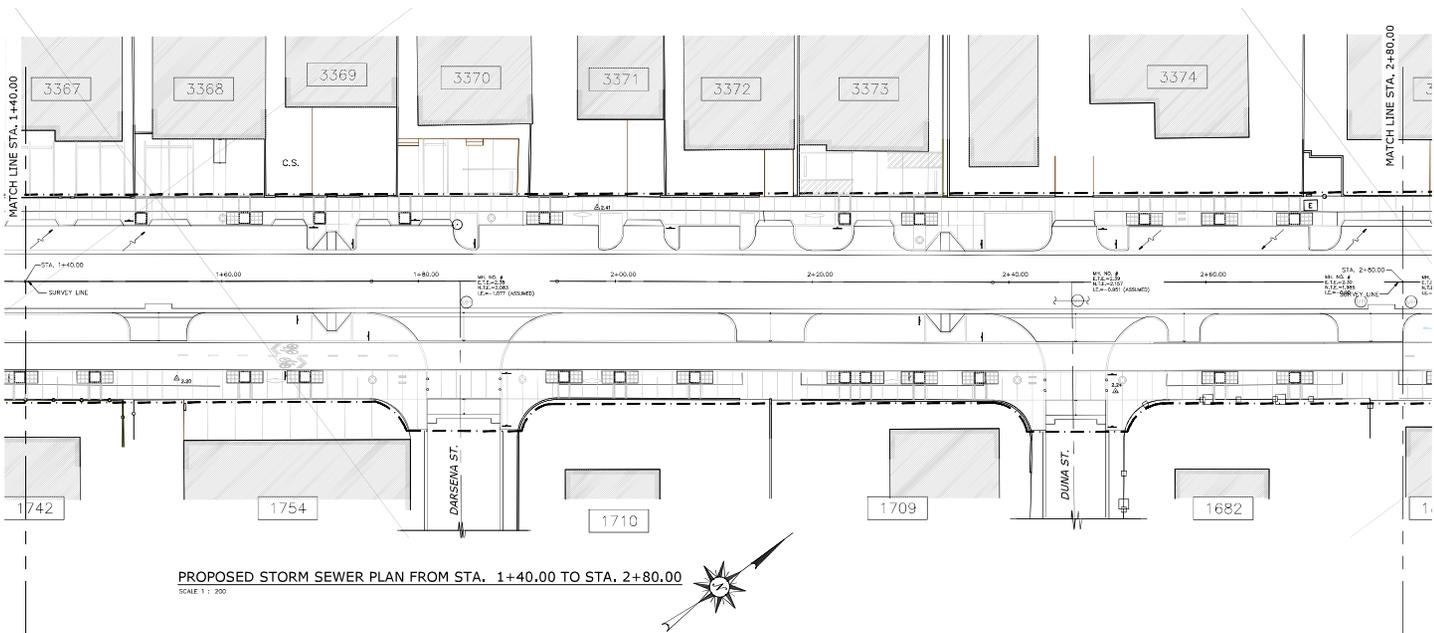
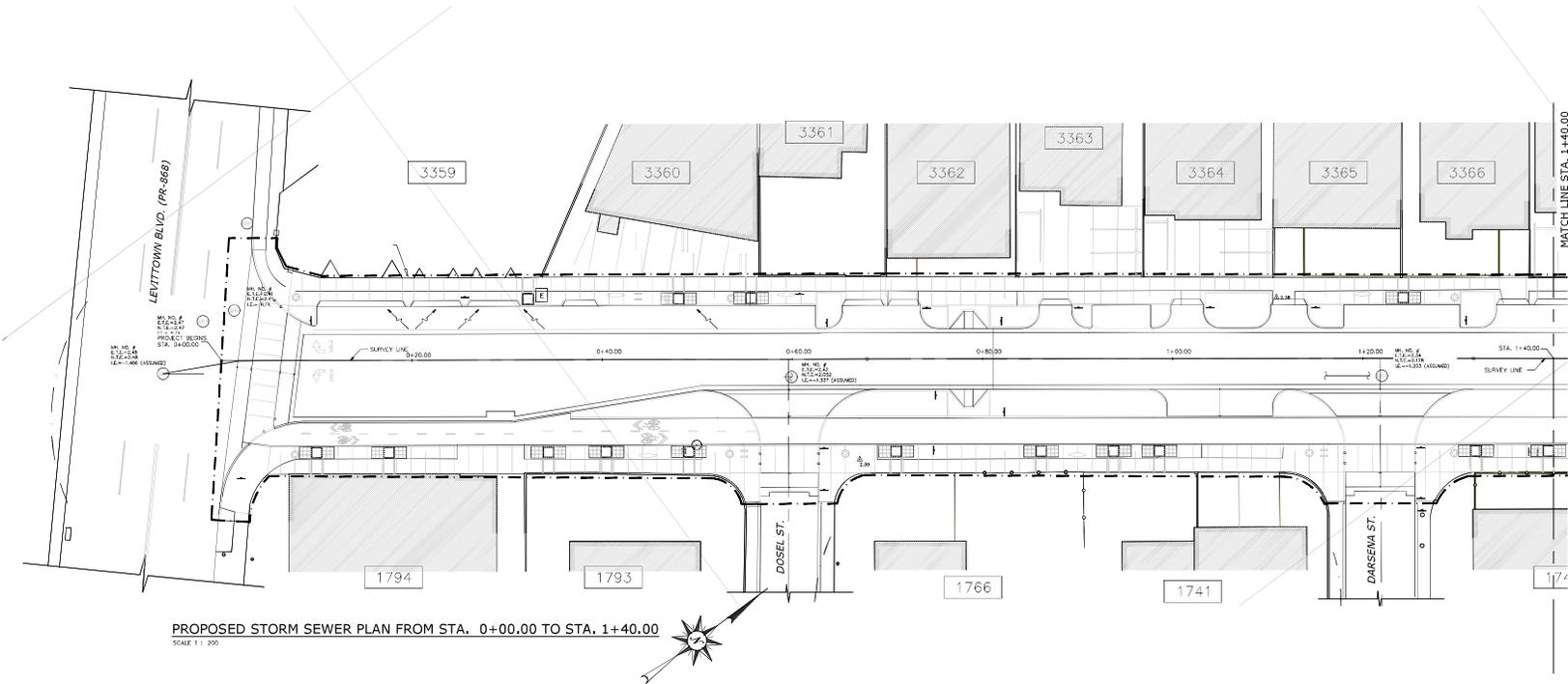
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 - SIDE OF WALL
 - HEIGHT
 - CONTROL DEVICES
 - LEVEL
8. UNLESS OTHERWISE INDICATED IN THE CONSTRUCTION DOCUMENTS, CEILING HANGING INFRASTRUCTURE, SUCH AS: HANGING BEAMS, ELECTRICAL, CONDUITS, MECHANICAL, EQUIPMENT AND DUCTS, SHALL BE INSTALLED AS CLOSE TO THE STRUCTURAL SLAB AND BE AS LOW AS POSSIBLE.
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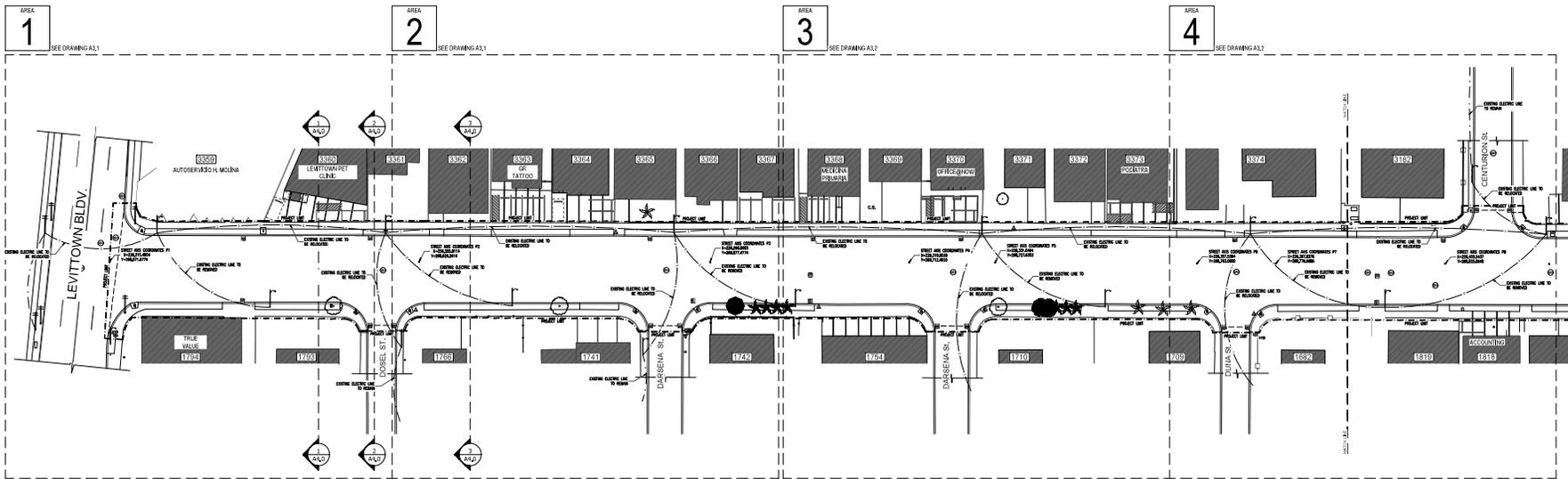
AVENIDA DEL VALLE
 TOA BAJA, PUERTO RICO

**SANITARY SEWER PLAN FROM
 STA. 0+00 TO STA. 2+80**

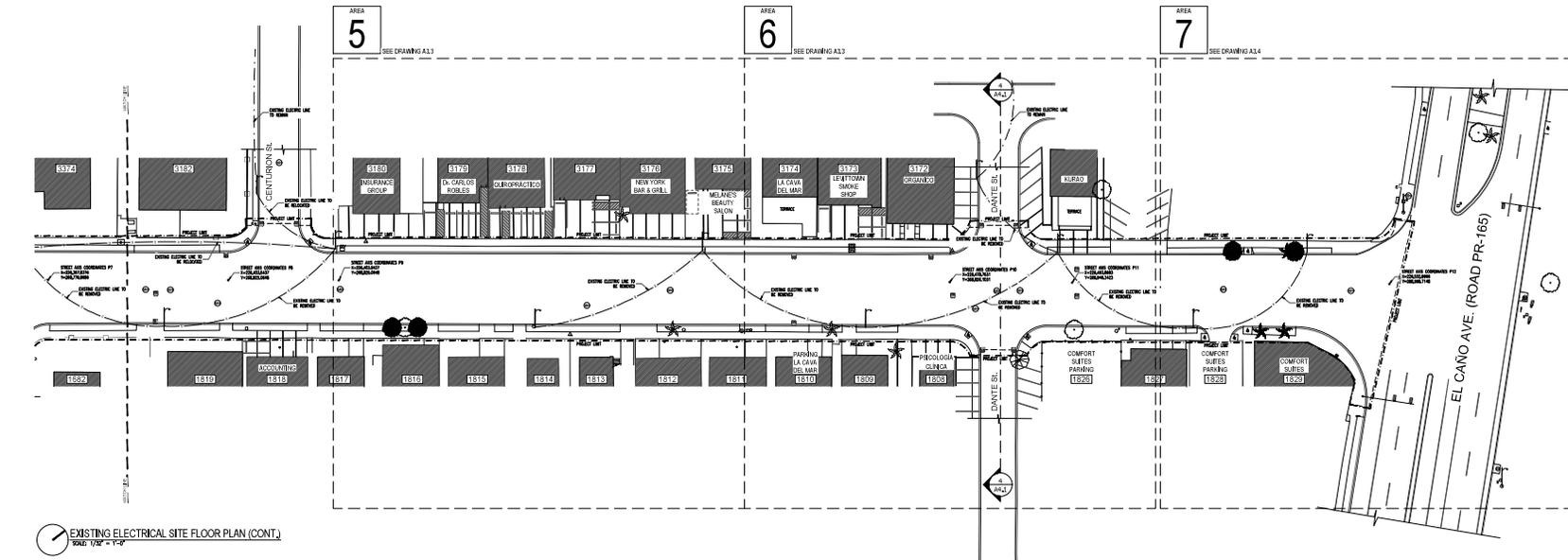
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ROSSILUGO
 ARCHITECTURE

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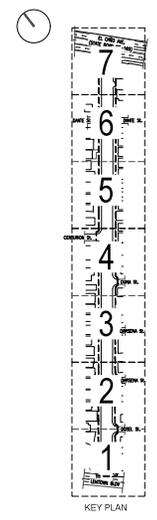
EXISTING ELECTRICAL SITE FLOOR PLAN
SCALE: 1/8" = 1'-0"



EXISTING ELECTRICAL SITE FLOOR PLAN (CONT.)
SCALE: 1/8" = 1'-0"

NOTES

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KEY PLAN

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CONSTRUCTION DOCUMENTS

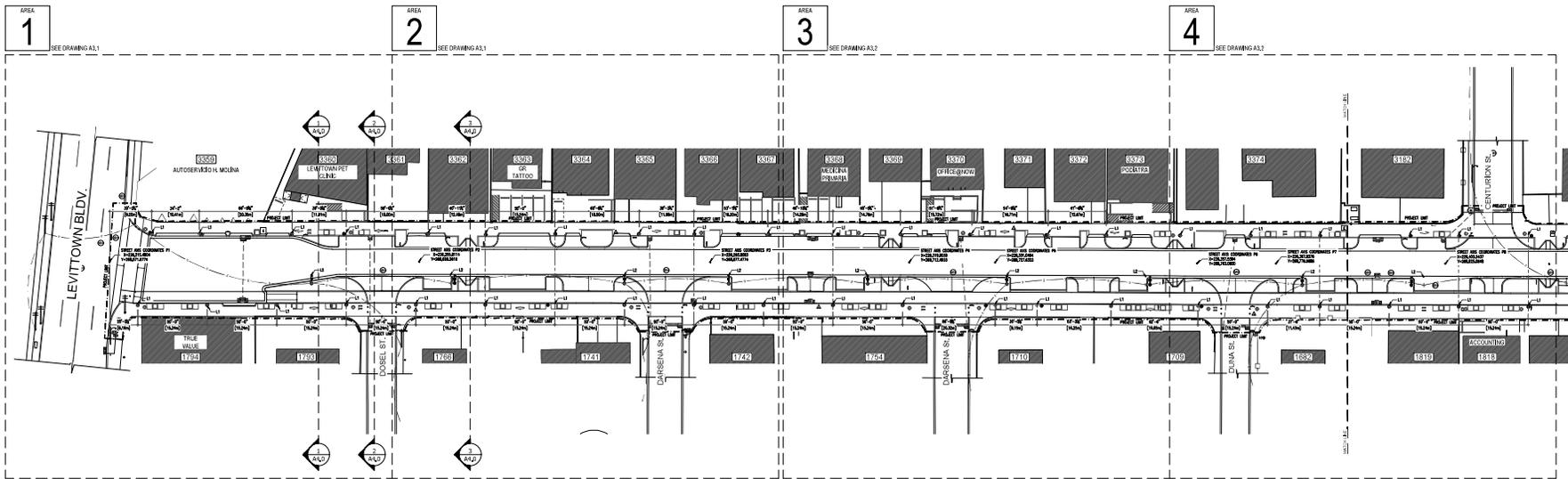
LEWISTOWN LUJO HOTEL
 ARQUITECTO LICENCIADO
 W.L.O.
 MAR 2024

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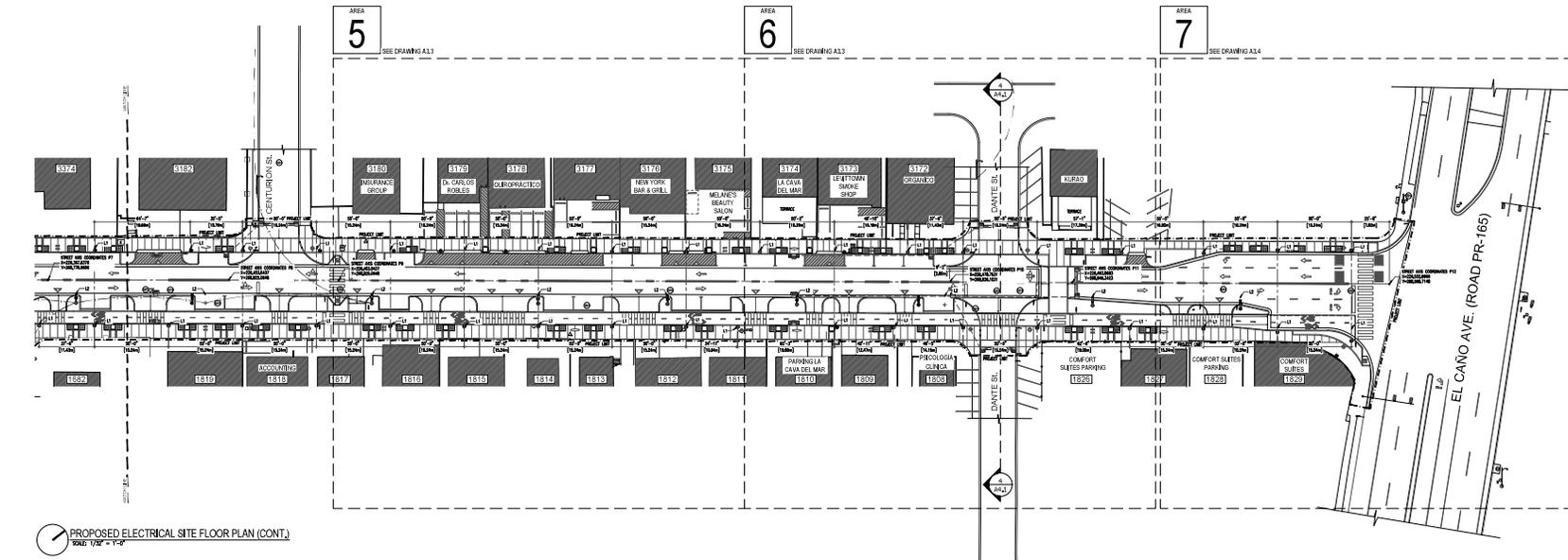
CALLE COMPLETA AVENIDA DEL VALLE
 TOA BAJA - PUERTO RICO
 C.D.B.G.-D.R.-C.R.P. 8-1-0-2-6

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|----------------|----------|-------|-------|--------|------|
| PROYECTO | TOA BAJA | FECHA | 23/03 | ESCALA | E1.0 |
| CLIENTE | W.L.O. | HOJA | 23 | DE | 03 |
| PROYECTADO POR | W.L.O. | FECHA | 03 | | |

ROSSILUGO ARCHITECTURE



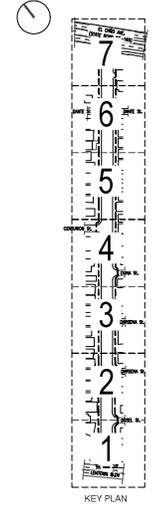
PROPOSED ELECTRICAL SITE FLOOR PLAN
SCALE: 1/8" = 1'-0"



PROPOSED ELECTRICAL SITE FLOOR PLAN (CONT.)
SCALE: 1/8" = 1'-0"

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KEY PLAN

NOTES:
El presente plano arquitectónico, elaborado por el arquitecto LEONARDO LUGO, con el fin de proporcionar información técnica y gráfica para la ejecución de las obras de construcción, se basa en los planos de proyecto y en las condiciones de obra. El arquitecto no se responsabiliza por los errores de interpretación o ejecución de las obras, ni por los daños o perjuicios que se ocasionen durante o después de la construcción. Este documento es propiedad intelectual de ROSSILUGO ARCHITECTURE y no puede ser reproducido ni utilizado para otros fines sin el consentimiento escrito del arquitecto en cargo.

CONSTRUCTION DOCUMENTS

LEONARDO LUGO, D.O.M.
ARQUITECTO LICENCIADO
C.O.B.A. - D.R. - C.R.P. 811926

Mar 2024

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CALLE COMPLETA AVENIDA DEL VALLE
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PROPOSED ELECTRICAL SITE FLOOR PLAN

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| PROYECTO | TOA BAJA | HOJA | 23 | DE | 03 | 2024 |
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