



**U.S. Department of Housing and Urban  
Development**

451 Seventh Street, SW  
Washington, DC 20410  
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## **Environmental Assessment Determinations and Compliance Findings for HUD-assisted Projects 24 CFR Part 58**

### **Project Information**

**Project Name:** EL NUEVO DESVIO SUR (PR-CRP-00837)

**Responsible Entity:** Puerto Rico Department of Housing

**Grant Recipient** (if different from Responsible Entity): Municipal Government of Aguada

**State/Local Identifier:** Puerto Rico/Aguada

**Preparer:** J Cajigas & Associates, P.S.C.; Eng. Jorge Cajigas

**Certifying Officer Name and Title:** Pedro de León Rodríguez - Permits and Environmental Compliance Specialist.

**Grant Recipient** (if different from Responsible Entity): Municipio de Aguada

**Consultant** (if applicable): J Cajigas & Associates, P.S.C.; Eng. Jorge Cajigas

**Direct Comments to:** Angel López Guzmán at Puerto Rico Department of Housing (environmentcdbg@vivienda.pr.gov)

**Project Location:** Nativo Alers Avenue between Puerto Rico Route (PR) 115 on the west to PR417 on the east in Guayabos and Piedras Blancas Wards, Aguada, Puerto Rico (see Appendix B, Exhibits A and B; design drawings in Appendix A (8-Step Process Exhibits, following Worksheet A10); and photographs in Appendix E and Appendix G)

**Project Coordinates:** Project Begins: 18.377552 N, -67.180452 W

Project Ends: Lat. 18.382739 N, -67.199681 W

### **Description of the Proposed Project** [24 CFR 50.12 & 58.32; 40 CFR 1508.25]:

The Municipality of Aguada proposes the revitalization of the municipal road of the Nuevo Desvío Sur de Aguada also known as Avenida Nativo Alers. This project involves substantial improvements known as “Calle Completa”. The Avenue maintains an average daily traffic of 13,836 vehicles. This road serves as a gateway and by-pass to the town center, connects the urban area, the communities of Reparto Minerva, Alturas de Aguada, sports, cultural, recreational, and commercial facilities, Juana Rosario School, Aguadeño Museum, state government facilities (Court of First Instance), USPS Post Office and serves as access to Pico de Piedra Beach, as well to the PR-115 state road. Being this roadway extremely crowded for its location and access to multiple places in the town of Aguada, it is contemplated the entire revitalization of this access road. Sidewalks will be built along the entire Avenue in compliance with ADA regulations. It will be built curb and gutters, where necessary. About 106 lighting poles will be installed throughout the Avenue to provide greater security to all those who pass through this area. In addition, reforestation will be added along the road. Additionally, the entire road will be asphalted. The project is one of improvements and does not propose new impact in the area. Work shall not exceed the limits of the previously disturbed right of way and should not take place with APE of any historic property listed or eligible for listing in the National Registry.

The Nativo Alers is located at the Southward side of the Aguada’s Traditional Town Urban Center. It runs East to West from Paz Street starting with the War Veterans Soldiers Monument and ends at the intersection of PR Road-115. Basically, its urban development responds of a low-density suburban scale and commercial street. It contains parcels dedicated to important activities such as a community middle school (Prof. Juana Rosario), U.S. postal office, medical offices and areas dedicated to social activities like festival plaza (Carlos Ruiz Plaza), a baseball stadium (Guillermo “Guillito” Hernández) and a children’s’ park (Luz Muñoz Muñiz Park).

The project consists of the reconstruction and remodeling of the street infrastructure, which includes road-asphalt pavement, new sidewalks, vegetative “green” areas, a bicycle lane, pedestrian crossing signage, accessible sidewalk, ramps and the installation of a new street lighting fixtures. It will include the substitution of an existing storm water culvert located at the street intersection of Nativo Alers Avenue with Padre Ledesma Road. Rehabilitation/reconstruction of the sidewalks, the existing box culvert and drainage system will be undertaken to remove architectural barriers to access for disabled Americans to comply for Americans with Disabilities Act (ADA). A new bicycle lane route will be introduced to provide access into an existing waterfront park.

The actions associated with the culverts involve their functionally dependent use. The Luz Muñoz Muñiz Park is a waterfront park, and the access improvements are associated with the park’s functionally dependent use.

### **Statement of Purpose and Need for the Proposal** [40 CFR 1508.9(b)]:

The purpose of this project is to extend the Normal Useful Life (NUL) of the existing Desvío Sur Avenue though its rehabilitation and improved within its right of way. Increases in traffic are not anticipated and no traffic study was conducted, since this is a roadway repair project. This project



would improve traffic flow for the direct benefit of the thousands of daily users travelling to and from adjacent towns. It would resolve safety issues by providing adequate lighting and provide ADA-compliant access. In addition, it would improve aesthetics of the area by adding recreation and open space and recreational access to the existing waterfront park.

**Existing Conditions and Trends [24 CFR 58.40(a)]:**

Currently, the Desvío Sur Avenue is needs of repairs. The road surface is unlevelled at various places. There is a larger number of patches along the traffic road. In several different places, there is a lack of sidewalks, and many sidewalks are deteriorated due to normal wear and tear and exposure to environmental elements. When there is heavy rain, the road is flooded at its intersection with Padre Ledesma Road. Development along the north side of the Desvío Sur Avenue is urban commercial and residential and funnels traffic from PR 115 along the waterfront Bario Pueblo and into the southern barrios of Guayabo, Piedras Blancas, and Mal Paso. Without the project, the road would continue to experience high levels of congestion and deterioration and safety issues due to lack of lighting, flooding, and the deteriorated road.

**Funding Information**

<b>Grant Number</b>	<b>HUD Program</b>	<b>Funding Amount</b>
B-17-DM-72-0001	CDBG-DR	\$11,938,162,230
B-18-DP-72-0001		
B-19-DP-78-0002		
B-18-DE-72-0001		

**Estimated Total HUD Funded Amount:** \$4,604,453.82

**Estimated Total Project Cost (HUD and non-HUD funds) [24 CFR 58.32(d)]:** \$5,686,046.14

## Compliance with 24 CFR 50.4, 58.5, and 58.6 Laws and Authorities

Record below the compliance or conformance determinations for each statute, executive order, or regulation. Provide credible, traceable, and supportive source documentation for each authority. Where applicable, complete the necessary reviews or consultations and obtain or note applicable permits of approvals. Clearly note citations, dates/names/titles of contacts, and page references. Attach additional documentation as appropriate.

<b>Compliance Factors:</b> Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6	Are formal compliance steps or mitigation required?	Compliance determinations
<b>STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 50.4 and 58.6</b>		
<b>Airport Hazards</b>  24 CFR Part 51 Subpart D	Yes    No <input type="checkbox"/> <input checked="" type="checkbox"/>	The Rafael Hernández Marin International Airport, located at 8.03 miles to the north of the Project site, is the nearest civil and military airport. The project is not located at within 15,000 feet of a military airport or 2,500 feet of a civilian airport. The project is in compliance with Airport Hazards requirements. Refer to Worksheet A01 in Appendix A and Exhibit A in Appendix B.
<b>Coastal Barrier Resources</b>  Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 [16 USC 3501]	Yes    No <input type="checkbox"/> <input checked="" type="checkbox"/>	The Project site is not located at in or adjacent to a CBRS Unit. The nearest unit is at 2.12 miles to the northeast. The project is in compliance with the requirements of the Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 [16 USC 3501]. Refer to Worksheet A02 in Appendix A and Exhibit d in Appendix B.
<b>Flood Insurance</b>  Flood Disaster Protection Act of 1973 and National Flood Insurance Reform Act of 1994 [42 USC 4001-4128 and 42 USC 5154a]	Yes    No <input type="checkbox"/> <input checked="" type="checkbox"/>	The majority of the Project site is located in a 100-year floodplain per Floodplain Insurance Maps 72000C140J and 72000C0145, effective date November 18, 2009. A portion of the project site that is within the 100-year floodplain. The culverts are in the floodway.  The project includes roads, curbs, sidewalks, and landscaping but does not involve project mortgage insurance, refinance, acquisition, repairs, rehabilitation, or construction of a structure, mobile home, or insurable personal property. There is no insurable property on this project; therefore, no flood insurance is needed. The project is in compliance with the Flood Disaster Protection Act of 1973 and National Flood Insurance Reform Act of 1994 [42 USC



	4001-4128 and 42 USC 5154a]. Refer to Worksheet A03 in Appendix A and Exhibit E in Appendix B.
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**STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 50.4 & 58.5**

<p><b>Clean Air</b></p> <p>Clean Air Act, as amended, particularly section 176(c) &amp; (d); 40 CFR Parts 6, 51, 93</p>	<p>Yes    No</p> <p><input type="checkbox"/>    <input checked="" type="checkbox"/></p>	<p>The Project site is not located in county or air quality management district in attainment status for all criteria pollutants. This project is in compliance with the Clean Air Act, as amended, particularly section 176(c) &amp; (d); 40 CFR Parts 6, 51, 93. Refer to Worksheet A04 in Appendix A, table attached</p>
<p><b>Coastal Zone Management</b></p> <p>Coastal Zone Management Act, sections 307(c) &amp; (d)</p>	<p>Yes    No</p> <p><input type="checkbox"/>    <input checked="" type="checkbox"/></p>	<p>A minimal section at the west of the Project site is within the Coast Zone. The Project involves rehabilitation of a street that has existed in the same location for more than 50 years.</p> <p>A JP-833 Coastal Consistency Application was submitted to the Puerto Rico Planning Board. On December 13, 2023, correspondence was received from the Acting Director of the Office of Geology and Hydrogeology that states, "The presented project does not require a Federal Consistency Certificate with the Puerto Rico Coastal Management Program. The project will take place out of the coastal zone limits and/or is not expected to affect natural resources, land uses, or water uses in the Puerto Rico coastal zone." Therefore, the project is not subject to state review due to project activities and is in compliance with the Coastal Zone Management Act, sections 307(c) and (d).</p> <p>Refer to Worksheet A05 in Appendix A and Exhibit F in Appendix B.</p>
<p><b>Contamination and Toxic Substances</b></p> <p>24 CFR Part 50.3(i) &amp; 58.5(i)(2)</p>	<p>Yes    No</p> <p><input type="checkbox"/>    <input checked="" type="checkbox"/></p>	<p>A review of U.S. Environmental Protection Agency (EPA) databases, including Resource Conservation and Recovery Act Information, air pollution data, National Pollutant Discharge Elimination System, Toxics Release Inventory, Superfund Enterprise Management System, Brownfields Assessment, Cleanup and Redevelopment Exchange System, and Toxic Substances Control Act was undertaken to determine if any sites of concern were located within an approximate 3,000-foot radius of the project site. A review of EPA's NEPAassist tool showed there a no records of toxic, hazardous, or radioactive substance on Project Site. Five (5)</p>

		<p>Toxic Release Inventory (TRI) and eight (8) RCRA sites were identified within 3,000 feet of the Project site. There are at approximately seven (7) NPDES and two (2) ICIS-AIR listings within 3000 feet of the project site.</p> <p>All the TRI identified were closed for more than 20 years. In addition, 5 out of 8 identified RCRA sites are currently active. These sites do not have any releases reported or any EPA formal or informal action reported for the last five years.</p> <p>Because the proposed project involves the road related activities and would not add sensitive receptors or increase density, the nearby sites of concern are not expected to result in contamination or have adverse impacts. They would not affect the health and safety of the project occupants because there are no occupants resulting from the proposed project.</p> <p>Refer to Worksheet A06 in Appendix A and Exhibit G in Appendix B and Appendix C.</p>
<p><b>Endangered Species</b></p> <p>Endangered Species Act of 1973, particularly section 7; 50 CFR Part 402</p>	<p>Yes    No</p> <p><input type="checkbox"/>    <input checked="" type="checkbox"/></p>	<p>Per the Official Species List from the U.S. Fish and Wildlife Service (USFWS) Information for Planning and Consultation (IPaC) website, the Rican Boa can be found in the area but there are no critical habitats at this location. The project would not affect waterways that could provide habitat to the West Indian Manatee. The Project will have no potential to affect species or habitats due to the nature of the activities involved in the project. Based on the nature of the project, scope of work, information available, and a careful analysis of the Project Site, and IPaC species list, it was determined that there would be No Effect for any of the listed species.</p> <p>The proposed activities are covered by the USFWS Blanket Clearance Letter for Federally sponsored projects, Housing and Urban Development of January 14 of 2013, Items 1 and 7. If a Puerto Rican Boa is encountered, work will cease until it moves off the site or, failing that, the Puerto Rico Department of Natural and Environmental Resources (PRDNER) Rangers will be notified for safe capture and relocation of the animal, in accordance with the USFW Puerto Rican Boa Conservation Measures guidelines and the July 27, 2023 Amended Programmatic Biological Opinion.</p>

		Refer to Worksheet A07 in Appendix A and Exhibit H in Appendix B and Appendix D.
<p><b>Explosive and Flammable Hazards</b></p> <p>24 CFR Part 51 Subpart C</p>	<p>Yes    No</p> <p><input type="checkbox"/>    <input checked="" type="checkbox"/></p>	<p>The proposed Project does not include a hazardous facility that mainly stores, handles, or processes flammable or combustible chemicals such as bulk fuel storage. Planned activities at the project area do not include installation of storage tanks. The project will not introduce new residents, employees or clients during the daytime hours who could be exposed to any explosive or flammable hazards.</p> <p>Examination of the aerial views and street views shows no above ground storage tanks within the acceptable separation distance.</p> <p>Refer to the Worksheet A08 in Appendix A.</p>
<p><b>Farmlands Protection</b></p> <p>Farmland Protection Policy Act of 1981, particularly sections 1504(b) and 1541; 7 CFR Part 658</p>	<p>Yes    No</p> <p><input type="checkbox"/>    <input checked="" type="checkbox"/></p>	<p>The Project is located on farmland of statewide importance and prime farmland if drained. However, the Project does not include any activities, including new construction, acquisition, of undeveloped land or conversion that could convert agricultural land to non-agricultural use and does not involve prime farmland. Refer to Worksheet A09 in Appendix A and Exhibit I in Appendix B.</p>
<p><b>Floodplain Management</b></p> <p>Executive Order 11988, particularly section 2(a); 24 CFR Part 55</p>	<p>Yes    No</p> <p><input checked="" type="checkbox"/>    <input type="checkbox"/></p>	<p>The major area of the Project site locates in a 100-year floodplain per Floodplain Insurance Maps 72000C140J AND 72000C0145, effective date November 18, 2009 and the ABFE map (See Exhibit J in Appendix B)</p> <p>The project involves rehabilitation/reconstruction of the sidewalks to remove architectural barriers (within the floodway), reconstruction of an existing box culvert (functionally dependent) and existing storm water systems, gutters, inlets, piping, vehicular and pedestrian signing and pavement markings, and road re-pavement where necessary in conjunction with the removal of architectural barriers for ADA compliance. A new bicycle lane route is introduced into an existing waterfront park. All items within the floodway comply with 24 CFR Part 55. Although the project will be located in a floodplain/floodway, the project will be adapted to preserve the natural and beneficial values of the floodplain.</p> <p>There will be no changes to the floodplain and stormwater would be allowed to percolate and</p>

		<p>follow the contours of the terrain. In addition, drainage work will be consistent with the need to reduce flood damage and all work will be designed using the best engineering practices to minimize food damage. It will be designed and constructed in such a way to minimize the possible obstruction to the flow of water, offer safety conditions, resist the effects of hydrodynamic and hydrostatic loads of flood waters and comply with any other provision of applicable law or regulation.</p> <p>In accordance with 24 CFR Part 55, an 8-step floodplain analysis identified no practicable alternatives to the proposed project. An early public notice was published in Primera Hora on November 17, 2022. A final public notice was published in Primera Hora on May 5, 2023.</p> <p>Refer to Worksheet A10 in Appendix A and Exhibit J in Appendix B.</p>
<p><b>Historic Preservation</b></p> <p>National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800</p>	<p>Yes    No  <input checked="" type="checkbox"/>    <input type="checkbox"/></p>	<p>Consultation with the SHPO regarding the Department of Housing of Puerto Rico (PRDOH) Program was initiated on October 20, 2022, with a letter indicating that PRDOH contracted Horne Federal LLC to provide environmental registry review services, among others, which will support the objectives of the agenda for both CDBG-DR and CDBG -MIT Programs.</p> <p>Consultation with PRDOH regarding the proposed Project and a determination that no historic properties would be affected was initiated with a letter to that office dated July 3, 2023. On July 13, 2023, SHPO concluded that, although the Antigua Estacion del Tren, a property eligible for listing on the National Register of Historic Places, is located within the project's area of potential effects, implementation of the undertaking will have no adverse effect on this historic property.</p> <p>The Project is in compliance with the National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800.</p> <p>Refer to Worksheet A11 in Appendix A and Appendix E for SHPO determination of no adverse effect.</p>
<p><b>Noise Abatement and Control</b></p>	<p>Yes    No  <input type="checkbox"/>    <input checked="" type="checkbox"/></p>	<p>The proposed action does not include new construction for residential use or rehabilitation of an existing residential property. The are no</p>

<p>Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B</p>		<p>noise generators in the vicinity of the property and the project will not produce an excess amount of noise from the prior conditions. The proposed action is in compliance with the Noise Control Act of 1972 and 24 CFR Part 51 Subpart B. No formal compliance steps or mitigation are required.</p> <p>Refer to Worksheet A12 in Appendix A.</p>
<p><b>Sole Source Aquifers</b></p> <p>Safe Drinking Water Act of 1974, as amended, particularly section 1424(e); 40 CFR Part 149</p>	<p>Yes    No  <input type="checkbox"/>   <input checked="" type="checkbox"/></p>	<p>There are no EPA sole source aquifers in Puerto Rico. Furthermore, the project consists of activities that are unlikely to have an adverse impact on ground water sources. The project complies with Sole Source Aquifer requirements.</p> <p>Refer to Worksheet A13 in Appendix A and Exhibit L in Appendix B.</p>
<p><b>Wetlands Protection</b></p> <p>Executive Order 11990, particularly sections 2 and 5</p>	<p>Yes    No  <input type="checkbox"/>   <input checked="" type="checkbox"/></p>	<p>The National Wetlands Inventory (NWI) mapping shows that fresh water emergent wetlands are located within and adjacent to the Project site. These wetlands were impacted more than fifty (50) years ago, when started the construction of the Desvío Sur Avenue. The Project site consists of the existing road, sidewalks, and right-of-way.</p> <p>According to the field inspection performed by an accredited environmental/forestry professional, there were no identified wetlands within the project area (all project activities are occurring within the previously disturbed right of way).</p> <p>The Project complies with Executive Order 11990, particularly sections 2 and 5.</p> <p>Refer to Worksheet A14 in Appendix A, Exhibit M in Appendix B, and the Flora and Fauna Study in Appendix G.</p>
<p><b>Wild and Scenic Rivers</b></p> <p>Wild and Scenic Rivers Act of 1968, particularly section 7(b) and (c)</p>	<p>Yes    No  <input type="checkbox"/>   <input checked="" type="checkbox"/></p>	<p>Puerto Rico has only three Wild and Scenic Rivers which are located in the east side of the Island, approximately 97 miles to the east of the Project site. The proposed project locates in the west side of Puerto Rico. For this reason, would be not impact to Wild and Scenic Rivers. The Project complies with the Wild and Scenic Rivers Act of 1968, particularly section 7(b) and (c).</p> <p>Refer to Worksheet A15 in Appendix A and Exhibit N in Appendix B.</p>

**ENVIRONMENTAL JUSTICE**

**Environmental Justice**

Executive Order 12898

Yes No

Refer to worksheet Appendix A. No adverse environmental impact was identified in any other compliance review portion of this project that may disproportionately be high for low-income and/or minority communities.



**Environmental Assessment Factors** [24 CFR 58.40; Ref. 40 CFR 1508.8 &1508.27] Recorded below is the qualitative and quantitative significance of the effects of the proposal on the character, features and resources of the project area. Each factor has been evaluated and documented, as appropriate and in proportion to its relevance to the proposed action. Verifiable source documentation has been provided and described in support of each determination, as appropriate. Credible, traceable and supportive source documentation for each authority has been provided. Where applicable, the necessary reviews or consultations have been completed and applicable permits of approvals have been obtained or noted. Citations, dates/names/titles of contacts, and page references are clear. Additional documentation is attached, as appropriate. **All conditions, attenuation or mitigation measures have been clearly identified.**

**Impact Codes:** Use an impact code from the following list to make the determination of impact for each factor.

- (1) Minor beneficial impact
- (2) No impact anticipated
- (3) Minor Adverse Impact - May require mitigation
- (4) Significant or potentially significant impact requiring avoidance or modification which may require an Environmental Impact Statement

Environmental Assessment Factor	Impact Code	Impact Evaluation
<b>LAND DEVELOPMENT</b>		
Conformance with Plans / Compatible Land Use and Zoning / Scale and Urban Design	2	The roads are zoned VIAL (Road Network) and the area bordering the road is zoned SU (Urban Land) except on the western portion which is zoned Agricola Productivo. Most of the properties along the road are commercial or light industrial. Because the Project-related activities would occur within existing road ROWs and would involve activities to improve the existing roadway and right-of-way, no changes in zoning, easements, or land use are anticipated.
Soil Suitability/ Slope/ Erosion/ Drainage/ Storm Water Runoff	1	<p>The proposed improvements would reduce street flooding by replacing the existing storm water culvert at the intersection with Padre Ledesma Road. The addition of vegetated areas would slow runoff flow and improve permeability along the length of the road.</p> <p>Surface runoff and ponding would be controlled during construction with proper site grading and berm construction around exposed areas. A stormwater pollution prevention plan (SWPPP) would be prepared, and its BMPs would be implemented to avoid surface runoff, ponding, and sedimentation of receiving waterways.</p> <p>The soils in the project area are rated as “Limited” to “Very Limited.”</p> <p>A geotechnical study was prepared on May 12, 2023, for the project site to ensure safe foundation fill, drainage, compaction to support the road, culvert, curbs and sidewalks (see Appendix G). The excavation, grading, drainage, compaction, and sealing of utilities recommendations made in this report and standard</p>

		BMPs would be followed to safeguard slope stability and appropriate drainage and storm water runoff.
Hazards and Nuisances including Site Safety and Noise	1	<p>The project site is in an urbanized area. The project would involve demolition, excavation, site clearance and construction. The temporary hazards typically associated with construction activities would be present, temporary site safety issues and noise.</p> <p>The project includes measures to mitigate existing hazards including poor pavement, limited ADA access and poor lighting.</p> <p>Underground natural gas pipelines would be identified and marked. Any excavation near these pipelines would be conducted with appropriate BMPs. Excavation for the project is not expected to disturb these pipelines.</p> <p>The proposed project, once constructed, would not create any additional hazards or nuisances or create any new site safety or noise issues. No generators, propane tanks, USTs, or ASTs would be installed on the site as a result of the project, either temporarily or permanently.</p> <p>During implementation of the project, grading, paving, and revegetation activities may result in temporary elevation of ambient noise levels in immediate areas around active construction areas. Noise impacts would be addressed by conducting these activities in accordance with local noise regulations (e.g., only daytime activities, proper mufflers on heavy equipment) and proper construction equipment maintenance. The surrounding land use (commercial and light industrial does not include sensitive receptors). There would be no long-term change in noise from the facility.</p> <p>Standard BMPs, such as construction fencing, would be applied to protect the public from typical construction hazards. BMPs and signage would warn and protect the public during construction activities.</p>

**SOCIOECONOMIC**

Employment and Income Patterns	2	<p>Temporary employment of workers related to construction activities would result, but no new permanent jobs would be created as a result of this project. These workers are expected to come from the greater region. This project would benefit low- and moderate- income residents near the project site by improving traffic flow for the direct benefit of the thousands of daily users travelling to and from adjacent towns. It would resolve safety issues by providing adequate lighting and provide ADA-compliant access. In addition, it would improve aesthetics of the area by adding recreation and open space and recreational access to the existing waterfront park.</p>
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		The proposed project would not negatively impact employment or income patterns.
Demographic Character Changes, Displacement	2	The proposed project would not result in demographic character changes or displacement. Due to the nature of the project area, no relocations or demolition of residential structures or businesses would occur as part of this project.
Environmental Justice	2	The project would not alter the Environmental Justice composition of the population in the area surrounding the project area. There are currently no residents at the project site, and the project would not increase the population that could be exposed to environmental hazards. No environmental hazards were identified on or surrounding the project site that could disproportionately environmental justice populations. The project would provide an improved, safe roadway to access to the suburban area to the south of Aguada.

Environmental Assessment Factor	Impact Code	Impact Evaluation
<b>COMMUNITY FACILITIES AND SERVICES</b>		
Educational and Cultural Facilities	2	The project would not result in any change to regional or local area educational and cultural facilities or increase demand for them. The project would provide an overall benefit due to improved mobility.
Commercial Facilities	1	Long-term beneficial impacts would result from better access to commercial facilities during storm events. The project would not increase demand for commercial facilities. There is potential for short term impacts associated with access to commercial facilities. Access would be maintained during construction through public notification and the use of signage regarding traffic delays and detours when needed.
Health Care and Social Services	2	Health care and social services facilities would not be impacted by the proposed project. The proposed project would benefit access to health care and social services by the public and emergency vehicle access to the area using the improved road. It would not increase demand for health care and social services facilities.
Solid Waste Disposal / Recycling	2	Removing and replacing existing road pavement, curbs, sidewalks, and culvert would generate solid waste. Project-wide salvaging/recycling of materials would occur as determined feasible with other program requirements. All other materials would be taken to the appropriate landfills. A solid waste management plan would be developed as part of construction permit process and implemented to ensure that all potentially hazardous solid waste is handled properly, and that daily

		capacities of landfills and other solid waste facilities are not exceeded.
Waste Water / Sanitary Sewers	2	While the proposed project would not involve the sanitary sewer system, access (e.g., manholes) would be maintained. There would be no effect on wastewater infrastructure and would not increase demand for service. Facilities for worker (e.g., portable toilets) would be provided and serviced as part of the conditions of the work contracts.
Water Supply	2	The proposed project would not affect water infrastructure and would not increase demand for service. Temporary demand for water for construction and dust suppression would be supplied from existing municipal sources, usually local fire hydrants along access points close to the construction activities.
Public Safety - Police, Fire and Emergency Medical	1	The proposed project would improve access by police, fire, and emergency medical service providers to the area by improving the road. It would not increase demand for service. Traffic may have to be rerouted temporarily during construction. Emergency services would be notified of traffic control changes ahead of time, and access by emergency vehicles always would be allowed within the work zone.
Parks, Open Space and Recreation	1	The proposed project would not adversely affect any existing parks, open space, or recreational activities. It also would not increase use of those existing facilities. The project would provide a new greenway and bicycle path for public use. Most project-related construction would occur within the ROWs of Nativo Alers Avenue in a suburban area, and would not inhibit access to parks, open space, and recreation. It would improve access to such existing parks along Nativo Alers Avenue as Parque Infantil de Aguada Luz M. Muñoz Muñiz, Estadio Guillermo "Guillito" Hernández, and Pista Atlética de Aguada.
Transportation and Accessibility	1	The proposed project would result in minor temporary traffic increases and access issues during construction. A traffic and transportation management plan would be implemented to address those short-term traffic effects and to provide the safest routes during construction. Traffic may be rerouted temporarily, or lane closures may be implemented to direct traffic away from construction activities. Emergency services would be notified of traffic control changes ahead of time, and access by emergency vehicles always would be allowed within the work zone. Long term impacts would be beneficial, as access to the suburban area south of Aguada would be improved.
<b>NATURAL FEATURES</b>		
Unique Natural Features, Water Resources	2	No unique natural features or groundwater resources are present in the project area or would be affected by the proposed project. The nearest surface water resource is Rio Calebra,

		approximately 170 feet south of the project site at its closest point.
Vegetation, Wildlife	1	The proposed project activities would be mostly within the existing ROW, and the area is a previously disturbed road, curbs, gutters, and sidewalks. The project would not significantly impact native vegetation. Additionally, the proposed project would not impact wildlife or wildlife habitat.  The project would increase the amount of vegetation in the project area by planting trees and adding green areas along the roadway.
Other Factors	2	No other factors were identified that would be affected by the proposed project.
<b>CLIMATE AND ENERGY</b>		
Climate Change Impacts	2	Because the project is a rehabilitation of an existing road right-of-way area that is mostly covered with asphalt, curbs, gutters, and sidewalks, there would be no changes to the site configuration or structure that would specifically address the possibility and uncertainty of rising sea levels or the possibility of increases in rainfall intensity.  The major area of the Project site locates in a 100-year floodplain per Floodplain Insurance Maps 72000C140J AND 72000C0145, effective date November 18, 2009. The floodplain area is intersected at three points within the Zone AE floodway: at the first point at 656.68m from the intersection with highway PR-417, the second point at 896. 98m, and the third point at 1,860m. Approximately 1.29 acres are within the Zone AE floodway; 3.73 acres are within the 100-year flood zone AE floodplain; and 0.96 acres are in an area outside the 500-year floodplain in the Zone X, Area of Minimal Flood Hazard. The project design includes additional vegetated areas, which lower the potential for urban heat island effects and stormwater runoff.  The road would be constructed for durability, safety, and longevity, which would assist in achieving climate resilience.
Energy Efficiency	2	The energy use associated with the new lighting would be minimal. Solar luminaires will be implemented. The project would not involve any change in energy demand. Regional energy use would not change.

**Additional Studies Performed:**

- Flora and Fauna Study (Refer to Appendix G)
- Geotechnical Study (Refer to Appendix G)

**Field Inspection** (Date and completed by):

- The field inspection was conducted by Luis M. García Orta, MS, PSF in February 2023, as part of the Flora and Fauna Study in Appendix G.

**List of Sources, Agencies and Persons Consulted** [40 CFR 1508.9(b)]:

- Puerto Rico State Historic Preservation Office
- FAA, National Plan for Integrated Airport Systems:
- [www.faa.gov/airports/planning\\_capacity/npias/reports/NPIAS-Report-2017-2021-Appendix-B-Part6.pdf](http://www.faa.gov/airports/planning_capacity/npias/reports/NPIAS-Report-2017-2021-Appendix-B-Part6.pdf)
- John H. Chafee Coastal Barrier Resources System, Puerto Rico map. [www.fws.gov/CBRA/Maps/Locator/PR.pdf](http://www.fws.gov/CBRA/Maps/Locator/PR.pdf)
- National Wild and Scenic Rivers System: [www.rivers.gov/puerto-rico.php](http://www.rivers.gov/puerto-rico.php)
- Puerto Rico Community Development Block Grant Disaster Recovery Action Plan, July 2018. [www.cdbg-dr.pr.gov/en/action-plan/](http://www.cdbg-dr.pr.gov/en/action-plan/)
- Programmatic Agreement among the Federal Emergency Management Agency, the Puerto Rico State Historic Preservation Office and the Central Office for Recovery, Reconstruction and Resilience – amended to include the Puerto Rico Department of Housing.
- US Environmental Protection Agency, National Ambient Air Quality Standards, Nonattainment Areas for Criteria Pollutants (Green Book): [www3.epa.gov/airquality/greenbook/anayo\\_pr.html](http://www3.epa.gov/airquality/greenbook/anayo_pr.html)
- US EPA, Environmental Topics, Air Topics: [www.epa.gov/environmental-topics/air-topics](http://www.epa.gov/environmental-topics/air-topics)
- US Fish and Wildlife Service, Environmental Conservation Online System: <https://ecos.fws.gov/ecp/report/species-listings-by-state?stateAbbrev=PR&stateName=Puerto%20Rico&statusCategory=Listed>
- Federal Emergency Management Agency, Flood Mapping Service: <https://msc.fema.gov/portal/home> (compilation of numerous maps)
- US Fish and Wildlife Service, National Wetlands Inventory:
- [www.fws.gov/wetlands/data/mapper.html](http://www.fws.gov/wetlands/data/mapper.html) (compilation of numerous maps)
- Puerto Rico Coastal Zone Management Program Plan, September 2009.
- US EPA, Sole Source Aquifers. Esri HERE, Garmin, NOAA, USGS, EPA.
- US Geological Survey, Data Release of May Showing Concentration of Landslides Caused by Hurricane Maria,
- [www.sciencebase.gov/catalog/item/59de6459e4b05fe04ccd39d8](http://www.sciencebase.gov/catalog/item/59de6459e4b05fe04ccd39d8)

**List of Permits Obtained:**

- Local: SRA, SRM, REA, DEA, SRI

There may be subsequent additional approvals or permits from agencies required for the project before the start of construction. For example, permits may be required from PRDNER for any water or other utility connections and the Office of Permit Management (OGPe) is responsible for granting permits, licenses, certifications, consultations, construction approvals, and any other procedure necessary for business development and land use in Puerto Rico.

**Public Outreach** [24 CFR 50.23 & 58.43]:

- In accordance with 24 CFR Part 55, an early public notice of an activity in the floodplain was published on November 17, 2022, and a final public notice was published on May 5, 2023 in Primera Hora newspaper. A combined Notice of Finding of No Significant Impact (FONSI) and Notice of Intent to Request Release of Funds (NOIRROF) will be published in a local newspaper. Copies of that public notice also will be sent to all known interested parties.

**Cumulative Impact Analysis** [24 CFR 58.32]:

- The project area is part of larger, ongoing infrastructure improvements to address unsatisfied needs as a result of Hurricanes Irma and Maria in September 2017; and to carry out strategic and high-impact activities to mitigate disaster risks and reduce future losses. The El Nuevo Desvio Sur project would contribute to these beneficial impacts. Remodeling of the street infrastructure, including asphalt pavement, new sidewalks, vegetative “green” areas, a bicycle lane, pedestrian crossing signage, accessible sidewalk, ramps, the installation of a new street lighting fixtures, and replacement of the culvert at Padre Ledesma Road, is unlikely to result in increased use and would not result in increased potential for development in the immediate area in the long-term. Short-term impacts during construction would be mitigated by through the measures detailed in the table below and would not contribute to construction impacts surrounding the project area. The project will not contribute to adverse cumulative impacts.

**Alternatives** [24 CFR 58.40(e); 40 CFR 1508.9]

- The municipality of Aguada considered several alternative sites and actions believed to satisfy the purpose and need of the project. These included several options for construction along the existing alignment or locating the project partially or entirely outside the existing floodplain. Options examined for the existing alignment included construction in the floodplain, avoiding the floodplain where it intersects the existing alignment, and obtaining a Letter of Map Amendment (LOMA) or Letter of Map Revision (LOMR) for the project. Of these only the option that includes construction in the floodplain was found to be feasible due to:
  - The impracticality of an increase in the finished grade elevation of the avenue;
  - All terrain and land contiguous to the existing right of way of the Nativo Alers Avenue is fully developed, no geometric modifications could be performed in order to avoid the new construction improvements in the actual floodplain;
  - The existing elevation information of the Nativo Alers Avenue indicated that the lowest adjacent grade of the road it is not at or above the BFE, so the site is not eligible;
  - A LOMR-F request was also considered but rejected due to the fact that result in an impractical alternative that would affect the property owners contiguous to the avenue.

- Options examined for locating the project partially or entirely outside the existing floodplain, included locating the project at the south boundary of the existing Nativo Alers Avenue, locating the project at the north boundary of the existing Nativo Alers Avenue, and relocating the street to another location. All these options involved increased environmental and socioeconomic impacts and unacceptable costs.
- As a result, no alternative to the proposed project to provide an adequate improvement to the major arterial by-pass that serves not only the citizens but also the regional/nation visitors would satisfy the purpose and need for the project.

**No Action Alternative [24 CFR 58.40(e)]:**

- No action alternative consideration is unfeasible because does not resolve the current problems of the Desvío Sur Avenue users. Also does not improve the normal useful life (NUL) of the existing infrastructure.

**Summary of Findings and Conclusions:**

The project involves rehabilitation/reconstruction of the Desvío Sur Avenue. The Project is in a 100-year floodplain and will result in a temporary disturbance of the floodplain. After construction the floodplain will return to existing conditions. The culverts are in the floodway. There would be no changes to flood volume or base flood elevation as a result of the project. The infrastructure improvements within the project area will not result in additional flooding risk to other properties in the vicinity. Completion of this environmental review and associated consultation confirms that the proposed project would not have a significant environmental impact and that further assessment is not necessary. HUD funding of the proposed action will not have a significant impact on the quality of the human environment. The Project would extend the normal useful life of the existing Desvío Sur Avenue, by improving traffic flow, safety, and ADA-compliant access by implementing roadway and sidewalk repairs, improving lighting, and reconstructing an existing box culvert and storm water systems to remove architectural barriers to access.



### **Mitigation Measures and Conditions [40 CFR 1505.2(c)]**

Summarize below all mitigation measures adopted by the Responsible Entity to reduce, avoid, or eliminate adverse environmental impacts and to avoid non-compliance or non-conformance with the above-listed authorities and factors. These measures/conditions must be incorporated into project contracts, development agreements, and other relevant documents. The staff responsible for implementing and monitoring mitigation measures should be clearly identified in the mitigation plan.

The environmental review topics addressed in this environmental review include all formal compliance steps with federal agencies and mitigations (listed in table below) needed for compliance with 24 CFR 58.

Any permits or approvals that have been issued during the preparation of this environmental review have been included in the evaluation of impacts and mitigations. Any special permit conditions or requirements associated with these permits are listed in the Mitigation Measures and Conditions table below.

<b>Law, Authority, or Factor</b>	<b>Mitigation Measure</b>
Endangered Species	If a Puerto Rican Boa is encountered, work will cease until it moves off the site or, failing that, the Puerto Rico Department of Natural and Environmental Resources (PRDNER) Rangers will be notified for safe capture and relocation of the animal, in accordance with the USFW Puerto Rican Boa Conservation Measures guidelines and the July 27, 2023, Amended Programmatic Biological Opinion.
Floodplain Management	Drainage work will be consistent with the need to reduce flood damage. All work will be designed using the best engineering practices to minimize food damage and minimize the possible obstruction to the flow of water, offer safety conditions, resist the effects of hydrodynamic and hydrostatic loads of flood waters.
Historic Preservation	SHPO concurred with the finding that implementation of the Project will have no adverse effect on this


	<p>historic property. SHPO will be notified immediately should other historic properties be discovered at any point during project implementation.</p>
<p>Soil Suitability/ Slope/ Erosion/Drainage/ Storm Water Runoff</p>	<p>A stormwater pollution prevention plan (SWPPP) would be prepared, and its BMPs would be implemented to avoid surface runoff, ponding, and sedimentation of receiving waterways.</p>
<p>Soil Suitability/ Slope/ Erosion/Drainage/ Storm Water Runoff</p>	<p>The excavation, grading, drainage, compaction, and sealing of utilities recommendations made in the May 12, 2023, geotechnical report would be followed to safeguard slope stability and appropriate drainage and storm water runoff.</p>
<p>Hazards and Nuisances including Site Safety and Noise</p>	<p>Noise impacts would be addressed by conducting these activities in accordance with local noise regulations and proper construction equipment maintenance.</p>
<p>Hazards and Nuisances including Site Safety and Noise</p>	<p>Standard BMPs, such as construction fencing, would be applied to protect the public from typical construction hazards. BMPs and signage would warn and protect the public during construction activities.</p>
<p>Solid Waste Disposal / Recycling</p>	<p>A solid waste management plan would be developed and implemented to ensure that all potentially hazardous solid waste is handled properly, and that daily capacities of landfills and other solid waste facilities are not exceeded.</p>
<p>Public Safety - Police, Fire and Emergency Medical</p>	<p>Traffic may have to be rerouted temporarily during construction. Emergency services would be notified of traffic control changes ahead of time, and access by emergency vehicles always would be allowed within the work zone</p>

Transportation and Accessibility	A traffic and transportation management plan would be implemented to address those short-term traffic effects and to provide the safest routes during construction.
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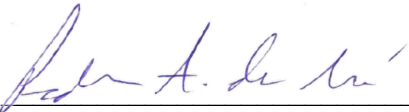
**Determination:**

**Finding of No Significant Impact** [24 CFR 58.40(g)(1); 40 CFR 1508.27]  
 The project will not result in a significant impact on the quality of the human environment.

**Finding of Significant Impact** [24 CFR 58.40(g)(2); 40 CFR 1508.27]  
 The project may significantly affect the quality of the human environment.

Preparer Signature:  Date: February 1, 2024

Name/Title/Organization: Clifford Jarman, Tetra Tech, Senior Environmental Scientist and J. Cajigas & Associates P.S.C. Ingenieros Consultores, P.S.C.

Certifying Officer Signature:  Date: 2/2/2024

Name/Title/Organization: Pedro A. de León Rodríguez, MSEM/Permits and Environmental Compliance Specialist, PRDOH

This original, signed document and related supporting material must be retained on file by the Responsible Entity in an Environmental Review Record (ERR) for the activity/project (ref: 24 CFR Part 58.38) and in accordance with recordkeeping requirements for the HUD program(s).

**Appendix A**  
**WORKSHEETS**

## APPENDIX A – Worksheets

<b>TABLE OF CONTENTS</b>	
<b>A01</b>	Airport Hazards-Partner-Worksheet
<b>A02</b>	Coastal Barrier Resources Act-Partner-Worksheet
<b>A03</b>	Flood Insurance
<b>A04</b>	Air Quality Partner-Worksheet
<b>A05</b>	Coastal Zone Management Act-Partner-Worksheet
<b>A06</b>	Contamination-and-Toxic-Substances-Multifamily-Partner-Worksheet
<b>A07</b>	Endangered-Species-Act-Partner-Worksheet
<b>A08</b>	Explosives and Flammable-Partner-Worksheet
<b>A09</b>	Farmlands-Partner-Worksheet
<b>A10</b>	Floodplain-Management-Partner-Worksheet
<b>A11</b>	Historic-Preservation-Partner-Worksheet
<b>A12</b>	Noise-EA-Partner-Worksheet
<b>A13</b>	Sole-Source-Aquifers-Partner-Worksheet
<b>A14</b>	Wetlands-Partner-Worksheet
<b>A15</b>	Wild-and-Scenic-Rivers-Partner-Worksheet
<b>A16</b>	Environmental-Justice-Partner-Worksheet



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## Airport Hazards (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/airport-hazards>

**1. To ensure compatible land use development, you must determine your site's proximity to civil and military airports. Is your project within 15,000 feet of a military airport or 2,500 feet of a civilian airport?**

No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide a map showing that the site is not within the applicable distances to a military or civilian airport.*

Yes → *Continue to Question 2.*

**2. Is your project located within a Runway Potential Zone/Clear Zone (RPZ/CZ) or Accident Potential Zone (APZ)?**

Yes, project is in an APZ → *Continue to Question 3.*

Yes, project is an RPZ/CZ → *Project cannot proceed at this location.*

No, project is not within an APZ or RPZ/CZ

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Continue to the Worksheet Summary below. Provide a map showing that the site is not within either zone.*

**3. Is the project in conformance with DOD guidelines for APZ?**

Yes, project is consistent with DOD guidelines without further action.

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide any documentation supporting this determination.*

No, the project cannot be brought into conformance with DOD guidelines and has not been approved. → *Project cannot proceed at this location.*

**If mitigation measures have been or will be taken, explain in detail the proposed measures that must be implemented to mitigate for the impact or effect, including the timeline for implementation.**

[Click here to enter text.](#)

→ *Work with the RE/HUD to develop mitigation measures. Continue to the Worksheet Summary below. Provide any documentation supporting this determination.*

**Worksheet Summary**

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

**Include all documentation supporting your findings in your submission to HUD.**

The Rafael Hernández Marín International Airport, located at 8.03 miles to the north of the Project site, is the nearest civil and military airport. The project is not located at within 15,000 feet of a military airport or 2,500 feet of a civil airport. The project is in compliance with Airport Hazards requirements. See Appendix B, Exhibit C.



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## Coastal Barrier Resources (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/coastal-barrier-resources>

Projects located in the following states must complete this form.

Alabama	Georgia	Massachusetts	New Jersey	Puerto Rico	Virgin Islands
Connecticut	Louisiana	Michigan	New York	Rhode Island	Virginia
Delaware	Maine	Minnesota	North Carolina	South Carolina	Wisconsin
Florida	Maryland	Mississippi	Ohio	Texas	

### 1. Is the project located in a CBRS Unit?

No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide a map showing that the site is not within a CBRS Unit.*

Yes → *Continue to 2.*

Federal assistance for most activities may not be used at this location. You must either choose an alternate site or cancel the project. In very rare cases, federal monies can be spent within CBRS units for certain exempted activities (e.g., a nature trail), after consultation with the Fish and Wildlife Service (FWS) (see [16 USC 3505](#) for exceptions to limitations on expenditures).

### 2. Indicate your recommended course of action for the RE/HUD

Consultation with the FWS

Cancel the project

### Worksheet Summary

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

### **Include all documentation supporting your findings in your submission to HUD.**

The Project site is not located at in or adjacent to a CBRS Unit. The nearest unit is at 2.12 miles to the northeast. The project is in compliance with the requirements of the Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 [16 USC 3501]. See Appendix B, Exhibits B and D.





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## Flood Insurance (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/flood-insurance>

**1. Does this project involve mortgage insurance, refinance, acquisition, repairs, rehabilitation, or construction of a structure, mobile home, or insurable personal property?**

No. This project does not require flood insurance or is excepted from flood insurance.

→ Continue to the Worksheet Summary.

Yes → Continue to Question 2.

**2. Provide a FEMA/FIRM map showing the site.**

The Federal Emergency Management Agency (FEMA) designates floodplains. The [FEMA Map Service Center](#) provides this information in the form of FEMA Flood Insurance Rate Maps (FIRMs).

**Is the structure, part of the structure, or insurable property located in a FEMA-designated Special Flood Hazard Area?**

No → Continue to the Worksheet Summary.

Yes → Continue to Question 3.

**3. Is the community participating in the National Flood Insurance Program or has less than one year passed since FEMA notification of Special Flood Hazards?**

Yes, the community is participating in the National Flood Insurance Program.

Flood insurance is required. Provide a copy of the flood insurance policy declaration or a paid receipt for the current annual flood insurance premium and a copy of the application for flood insurance.

→ Continue to the Worksheet Summary.

Yes, less than one year has passed since FEMA notification of Special Flood Hazards.

If less than one year has passed since notification of Special Flood Hazards, no flood insurance is required.

→ Continue to the Worksheet Summary.

No. The community is not participating, or its participation has been suspended.

Federal assistance may not be used at this location. Cancel the project at this location.

### **Worksheet Summary**

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

**Include all documentation supporting your findings in your submission to HUD.**

The majority of the Project site is located in a 100-year floodplain and per outside the 500-year floodplain per Floodplain Insurance Maps 72000C140J and 72000C0145, effective date November 18, 2009. A portion of the project site that is within the 100-year floodplain is also in the floodway. The project includes roads, curbs, sidewalks, and landscaping but does not involve project mortgage insurance, refinance, acquisition, repairs, rehabilitation, or construction of a structure, mobile home, or insurable personal property. The project is in compliance with the Flood Disaster Protection Act of 1973 and National Flood Insurance Reform Act of 1994 [42 USC 4001-4128 and 42 USC 5154a]. See Appendix B, Exhibit E.



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## Air Quality (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/air-quality>

1. Does your project include new construction or conversion of land use facilitating the development of public, commercial, or industrial facilities OR five or more dwelling units?

Yes → Continue to Question 2.

No → If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Provide any documents used to make your determination.

2. Is your project's air quality management district or county in non-attainment or maintenance status for any criteria pollutants?

Follow the link below to determine compliance status of project county or air quality management district:

<http://www.epa.gov/oaqps001/greenbk/>

No, project's county or air quality management district is in attainment status for all criteria pollutants

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide any documents used to make your determination.

Yes, project's management district or county is in non-attainment or maintenance status for one or more criteria pollutants. → Continue to Question 3.

3. Determine the estimated emissions levels of your project for each of those criteria pollutants that are in non-attainment or maintenance status on your project area. Will your project exceed any of the *de minimis* or *threshold* emissions levels of non-attainment and maintenance level pollutants or exceed the screening levels established by the state or air quality management district?

No, the project will not exceed *de minimis* or threshold emissions levels or screening levels

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Explain how you determined that the project would not exceed *de minimis* or threshold emissions.

Yes, the project exceeds *de minimis* emissions levels or screening levels.

→ Continue to Question 4. Explain how you determined that the project would not exceed *de minimis* or threshold emissions in the Worksheet Summary.

- 4. For the project to be brought into compliance with this section, all adverse impacts must be mitigated. Explain in detail the exact measures that must be implemented to mitigate for the impact or effect, including the timeline for implementation.**

[Click here to enter text.](#)

### **Worksheet Summary**

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

### **Include all documentation supporting your findings in your submission to HUD.**

The Project site is not located in county or air quality management district is in attainment status for all criteria pollutants. This project is in compliance with the Clean Air Act, as amended, particularly section 176(c) & (d); 40 CFR Parts 6, 51, 93. See the attached table of all nonattainment/maintenance areas for all NAAQS pollutants for Puerto Rico.



**Green Book** [Contact Us](#)  
 You are here: [Home](#) > [Green Book](#) > [National Air and Coastal Quality Management Information System](#) > [Puerto Rico Nonattainment/Maintenance Status for Each County by Year for All Criteria Pollutants](#)

## Puerto Rico Nonattainment/Maintenance Status for Each County by Year for All Criteria Pollutants

Data is current as of August 31, 2023

Listed by County NAAQS Area The 8-hour Ozone (1997) standard was revoked on April 6, 2015 and the 1-hour Ozone (1979) standard was revoked on June 15, 2005

\* The 1997 Primary Annual PM<sub>2.5</sub> NAAQS level of 15 µg/m<sup>3</sup> is revoked in attainment and maintenance areas for that NAAQS. For additional information see the PM<sub>2.5</sub> NAAQS SIP Requirements Final Rule, effective October 24, 2016 ([81.FR.58009](#))

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County	NAAQS	Area Name	Nonattainment in Year											Redesignation to Maintenance	Classification	Whole or / Part County	Population (2010)	State / County FIPS Codes							
			11	12	13	14	15	16	17	18	19	20	21						22	23					
<b>PUERTO RICO</b>																									
Arecibo Municipio	Lead (2008)	Arecibo, PR															//	Part	32,185	72/013					
Bayamon Municipio	Sulfur Dioxide (2010)	San Juan, PR															//	Part	22,921	72/021					
Carazo Municipio	Sulfur Dioxide (2010)	San Juan, PR															//	Whole	28,140	72/033					
Guaynabo Municipio	PM-10 (1987)	Mun. of Guaynabo, PR	92	93	94	95	96	97	98	99	00	01	02	03	04	05	06	07	08	09	02/11/2010	Moderate	Part	90,470	72/061
Guaynabo Municipio	Sulfur Dioxide (2010)	San Juan, PR															//	Part	23,802	72/061					
Salinas Municipio	Sulfur Dioxide (2010)	Guayama-Salinas, PR															//	Part	23,401	72/123					
San Juan Municipio	Sulfur Dioxide (2010)	San Juan, PR															//	Part	147,963	72/127					
Toa Baja Municipio	Sulfur Dioxide (2010)	San Juan, PR															//	Part	52,441	72/137					

[Brochures/Notes](#)



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## Coastal Zone Management Act (CEST and EA) – PARTNER

<https://www.onecpd.info/environmental-review/coastal-zone-management>

Projects located in the following states must complete this form.

Alabama	Florida	Louisiana	Mississippi	Ohio	Texas
Alaska	Georgia	Maine	New Hampshire	Oregon	Virgin Islands
American Samoa	Guam	Maryland	New Jersey	Pennsylvania	Virginia
California	Hawaii	Massachusetts	New York	Puerto Rico	Washington
Connecticut	Illinois	Michigan	North Carolina	Rhode Island	Wisconsin
Delaware	Indiana	Minnesota	Northern Mariana Islands	South Carolina	

**1. Is the project located in, or does it affect, a Coastal Zone as defined in your state Coastal Management Plan?**

Yes → *Continue to Question 2.*

No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide a map showing that the site is not within a Coastal Zone.*

**2. Does this project include activities that are subject to state review?**

Yes → *Continue to Question 3.*

No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide documentation used to make your determination.*

**3. Has this project been determined to be consistent with the State Coastal Management Program?**

Yes, with mitigation. → *The RE/HUD must work with the State Coastal Management Program to develop mitigation measures to mitigate the impact or effect of the project.*

Yes, without mitigation. → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide documentation used to make your determination.*

No → Project cannot proceed at this location.

### **Worksheet Summary**

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates

- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

**Include all documentation supporting your findings in your submission to HUD.**

A minimal section at the west of the Project site is within the Coast Zone. The Project involves rehabilitation of a street that has existed in the same location for more than 50 years. The Project does not include activities within the Coastal Zone that are subject to state review; therefore, the project is in compliance with the Coastal Zone Management Act, sections 307(c) & (d).

Refer to map in Appendix B, Exhibit F.



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## Contamination and Toxic Substances (Multifamily and Non-Residential Properties) – PARTNER

<https://www.hudexchange.info/programs/environmental-review/site-contamination>

**1. How was site contamination evaluated? <sup>1</sup> Select all that apply.**

- ASTM Phase I ESA
- ASTM Phase II ESA
- Remediation or clean-up plan
- ASTM Vapor Encroachment Screening
- None of the above

→ Provide documentation and reports and include an explanation of how site contamination was evaluated in the Worksheet Summary.  
Continue to Question 2.

**2. Were any on-site or nearby toxic, hazardous, or radioactive substances found that could affect the health and safety of project occupants or conflict with the intended use of the property? (Were any recognized environmental conditions or RECs identified in a Phase I ESA and confirmed in a Phase II ESA?)**

- No → Explain below.

A review of EPA's NEPAAssist tool showed there no records of toxic, hazardous, or radioactive substances on the Project Site.

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.

- Yes → Describe the findings, including any recognized environmental conditions (RECs), in Worksheet Summary below. Continue to Question 3.

**3. Can adverse environmental impacts be mitigated?**

- Adverse environmental impacts cannot feasibly be mitigated → HUD assistance may not be used for the project at this site. Project cannot proceed at this location.
- Yes, adverse environmental impacts can be eliminated through mitigation.

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<sup>1</sup> HUD regulations at 24 CFR § 58.5(i)(2)(ii) require that the environmental review for multifamily housing with five or more dwelling units or non-residential property include the evaluation of previous uses of the site or other evidence of contamination on or near the site. For acquisition and new construction of multifamily and nonresidential properties HUD strongly advises the review include an ASTM Phase I Environmental Site Assessment (ESA) to meet real estate transaction standards of due diligence and to help ensure compliance with HUD's toxic policy at 24 CFR §58.5(i) and 24 CFR §50.3(i). Also note that some HUD programs require an ASTM Phase I ESA.



→ Provide all mitigation requirements<sup>2</sup> and documents. Continue to Question 4.

4. Describe how compliance was achieved. Include any of the following that apply: State Voluntary Clean-up Program, a No Further Action letter, use of engineering controls<sup>3</sup>, or use of institutional controls<sup>4</sup>.

[Click here to enter text.](#)

**If a remediation plan or clean-up program was necessary, which standard does it follow?**

- Complete removal  
 Risk-based corrective action (RBCA)

→ Continue to the Worksheet Summary.

### **Worksheet Summary**

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

### **Include all documentation supporting your findings in your submission to HUD.**

A review of EPA's NEPAassist tool showed there no records of toxic, hazardous, or radioactive substances on the Project Site. Five (5) Toxic Release Inventory (TRI) and eight (8) Resource Conservation and Recovery Act (RCRA) sites were identified within 3,000 feet of the Project site. These sites are:

#### TRI

- Dade Diagnostics
- Fenwal
- Smart Modular Technologies
- Zeltax PRS
- DSC PR

#### RCRA

- Dr. Carlos Gonzolez High School
- PRASA Sewer Plant
- Navy Radio Transmission Station

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<sup>2</sup> Mitigation requirements include all clean-up actions required by applicable federal, state, tribal, or local law. Additionally, provide, as applicable, the long-term operations and maintenance plan, Remedial Action Work Plan, and other equivalent documents.

<sup>3</sup> Engineering controls are any physical mechanism used to contain or stabilize contamination or ensure the effectiveness of a remedial action. Engineering controls may include, without limitation, caps, covers, dikes, trenches, leachate collection systems, signs, fences, physical access controls, ground water monitoring systems and ground water containment systems including, without limitation, slurry walls and ground water pumping systems.

<sup>4</sup> Institutional controls are mechanisms used to limit human activities at or near a contaminated site, or to ensure the effectiveness of the remedial action over time, when contaminants remain at a site at levels above the applicable remediation standard which would allow for unrestricted use of the property. Institutional controls may include structure, land, and natural resource use restrictions, well restriction areas, classification exception areas, deed notices, and declarations of environmental restrictions.

- DSC PR
  - Esso Gas Station
  - Cine Photo
  - Victor Rivera Gas Station.
- 
- No toxic, hazardous, or radioactive substances were identified in the review on or near the project site that could affect the health and safety of project occupants or conflict with the use of project site/property.
  - All the TRI sites identified have been closed for more than 20 years.
  - Five out of 8 identified RCRA sites are currently active. These sites do not have any releases reported or any EPA formal or informal action reported for the last five years.

See Appendix B, Exhibit G and Appendix C for Contamination and Toxics documentation.



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT  
WASHINGTON, DC 20410-1000

## Endangered Species Act (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/endangered-species>

### 1. Does the project involve any activities that have the potential to affect species or habitats?

No, the project will have No Effect due to the nature of the activities involved in the project.

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide any documents used to make your determination.*

No, the project will have No Effect based on a letter of understanding, memorandum of agreement, programmatic agreement, or checklist provided by local HUD office.

#### **Explain your determination:**

The proposed activities are covered by the USFWS Blanket Clearance Letter for Federally sponsored projects, Housing and Urban Development of January 14 of 2013, Items 1 and 7.

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide any documents used to make your determination.*

Yes, the activities involved in the project have the potential to affect species and/or habitats. →  
*Continue to Question 2.*

### 2. Are federally listed species or designated critical habitats present in the action area?

Obtain a list of protected species from the Services. This information is available on the [FWS Website](#).

No, the project will have No Effect due to the absence of federally listed species and designated critical habitat.

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide any documents used to make your determination. Documentation may include letters from the Services, species lists from the Services' websites, surveys or other documents and analysis showing that there are no species in the action area.*

Yes, there are federally listed species or designated critical habitats present in the action area. →  
*Continue to Question 3.*

### 3. Recommend one of the following effects that the project will have on federally listed species or designated critical habitat:

- No Effect: Based on the specifics of both the project and any federally listed species in the action area, you have determined that the project will have absolutely no effect on listed species or critical habitat.
- *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide any documents used to make your determination. Documentation should include a species list and explanation of your conclusion, and may require maps, photographs, and surveys as appropriate.*
- May Affect, Not Likely to Adversely Affect: Any effects that the project may have on federally listed species or critical habitats would be beneficial, discountable, or insignificant.
- Partner entities should not contact the Services directly. *If the RE/HUD agrees with this recommendation, they will have to complete Informal Consultation. Provide the RE/HUD with a biological evaluation or equivalent document. They may request additional information, including surveys and professional analysis, to complete their consultation.*
- Likely to Adversely Affect: The project may have negative effects on one or more listed species or critical habitat.
- Partner entities should not contact the Services directly. *If the RE/HUD agrees with this recommendation, they will have to complete Formal Consultation. Provide the RE/HUD with a biological evaluation or equivalent document. They may request additional information, including surveys and professional analysis, to complete their consultation.*

### **Worksheet Summary**

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

### **Include all documentation supporting your findings in your submission to HUD.**

Per the Official Species List from the U.S. Fish and Wildlife Service (USFWS) Information for Planning and Consultation (IPaC) website, the Rican Boa can be found in the area but there are no critical habitats at this location. The project would not affect waterways that could provide habitat to the West Indian Manatee. Project will have no potential to affect species or habitats due to the nature of the activities involved in the project. Based on the nature of the project, scope of work, information available, and a careful analysis of the Project Site, and IPaC species list, it was determined that there would be No Effect for any of the listed species. The proposed activities are covered by the USFWS Blanket Clearance Letter for Federally sponsored projects, Housing and Urban Development of January 14 of 2013, Items 1 and 7. If a Puerto Rican Boa is encountered, work will cease until it moves off the site or, failing that, the Puerto Rico Department of Natural and Environmental Resources (PRDNER) Rangers will be notified for safe capture and relocation of the animal, in accordance with the USFW Puerto Rican Boa Conservation Measures guidelines and the July 27, 2023 Amended Programmatic Biological Opinion. Refer to Appendix B, Exhibit H, and Appendix D for documentation.



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**Explosive and Flammable Hazards (CEST and EA) – PARTNER**

<https://www.hudexchange.info/environmental-review/explosive-and-flammable-facilities>

- 1. Does the proposed HUD-assisted project include a hazardous facility (a facility that mainly stores, handles or processes flammable or combustible chemicals such as bulk fuel storage facilities and refineries)?**

No

→ Continue to Question 2.

Yes

**Explain:**

Click here to enter text.

→ Continue to Question 5.

- 2. Does this project include any of the following activities: development, construction, rehabilitation that will increase residential densities, or conversion?**

No → If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.

Yes → Continue to Question 3.

- 3. Within 1 mile of the project site, are there any current *or planned* stationary aboveground storage containers:**

- Of more than 100-gallon capacity, containing common liquid industrial fuels OR
- Of any capacity, containing hazardous liquids or gases that are not common liquid industrial fuels?

No → If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide all documents used to make your determination.

Yes → Continue to Question 4.

- 4. Is the Separation Distance from the project acceptable based on standards in the Regulation?**

Please visit HUD's website for information on calculating Acceptable Separation Distance.

Yes

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.

Provide map(s) showing the location of the project site relative to any tanks and your separation distance calculations. If the map identifies more than one tank, please identify the tank you have chosen as the "assessed tank."

No

→ Continue to Question 6.

Provide map(s) showing the location of the project site relative to any tanks and your separation distance calculations. If the map identifies more than one tank, please identify the tank you have chosen as the “assessed tank.”

**5. Is the hazardous facility located at an acceptable separation distance from residences and any other facility or area where people may congregate or be present?**

Please visit HUD’s website for information on calculating Acceptable Separation Distance.

Yes

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.

Provide map(s) showing the location of the project site relative to residences and any other facility or area where people congregate or are present and your separation distance calculations.

No

→ Continue to Question 6.

Provide map(s) showing the location of the project site relative to residences and any other facility or area where people congregate or are present and your separation distance calculations.

**6. For the project to be brought into compliance with this section, all adverse impacts must be mitigated. Explain in detail the exact measures that must be implemented to make the Separation Distance acceptable, including the timeline for implementation. If negative effects cannot be mitigated, cancel the project at this location.**

Note that only licensed professional engineers should design and implement blast barriers. If a barrier will be used or the project will be modified to compensate for an unacceptable separation distance, provide approval from a licensed professional engineer.

[Click here to enter text.](#)

**Worksheet Summary**

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

**Include all documentation supporting your findings in your submission to HUD.**

- While the project will not involve residents, the Project would involve occupancy by users of the streets during daylight hours.
- Using the webpage calculator, generic acceptable separation distances are presented in the Table below.

Aboveground Tank Size	Acceptable Separation Distance	
	Explosive Hazard	Thermal Hazard

(gallons)	{feet}	{feet}
100	106	18
200	142	24
250	156	27
500	208	37
1,000	277	51
2,000	370	70
2,500	406	77
5,000	541	106
10,000	722	146
15,000	855	176
20,000	964	201
25,000	1,058	223
30,000	1,141	243
50,000	1,412	307
100,000	1,884	423
500,000	3,683	890
1,000,000	4,916	1,226

Aerial views and street views were examined for the presence of above ground storage tanks. The vicinity of the project site was assessed for aboveground storage tanks with less than the acceptable separation (ASD) distance associated with their storage capacity. For example, the explosive hazards acceptable separation distance for above ground storage tanks with a capacity between 10,000 and 50,000 gallons is between 722 feet and 1,412 feet. Therefore, the vicinity of the project site was assessed for above ground storage tanks of that size within that distance. Tanks of that size with a distance greater than 1,412 feet would not pose a risk to the project.

The Project is in compliance with explosive and flammable hazards requirements.

Refer to Map in the Appendix B, Exhibit A



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT  
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## Farmlands Protection (CEST and EA) - PARTNER

<https://www.hudexchange.info/environmental-review/farmlands-protection>

**1. Does your project include any activities, including new construction, acquisition of undeveloped land or conversion, that could convert agricultural land to a non-agricultural use?**

Yes → *Continue to Question 2.*

No

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.*

**2. Does “important farmland,” including prime farmland, unique farmland, or farmland of statewide or local importance regulated under the Farmland Protection Policy Act, occur on the project site?**

You may use the links below to determine important farmland occurs on the project site:

- Utilize USDA Natural Resources Conservation Service’s (NRCS) Web Soil Survey <http://websoilsurvey.nrcs.usda.gov/app/HomePage.htm>
- Check with your city or county’s planning department and ask them to document if the project is on land regulated by the FPPA (zoning important farmland as non-agricultural does not exempt it from FPPA requirements)
- Contact NRCS at the local USDA service center <http://offices.sc.egov.usda.gov/locator/app?agency=nrcs> or your NRCS state soil scientist [http://soils.usda.gov/contact/state\\_offices/](http://soils.usda.gov/contact/state_offices/) for assistance

No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide any documents used to make your determination.*

Yes → *Continue to Question 3.*

**3. Consider alternatives to completing the project on important farmland and means of avoiding impacts to important farmland.**

- Complete form [AD-1006, “Farmland Conversion Impact Rating”](#) and contact the state soil scientist before sending it to the local NRCS District Conservationist.
- Work with NRCS to minimize the impact of the project on the protected farmland. When you have finished with your analysis, return a copy of form AD-1006 to the USDA-NRCS State Soil Scientist or his/her designee informing them of your determination.

**Work with the RE/HUD to determine how the project will proceed. Document the conclusion:**

Project will proceed with mitigation.

**Explain in detail the proposed measures that must be implemented to mitigate for the impact or effect, including the timeline for implementation.**

Click here to enter text.



→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide form AD-1006 and all other documents used to make your determination.*

Project will proceed without mitigation.

**Explain why mitigation will not be made here:**

[Click here to enter text.](#)

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide form AD-1006 and all other documents used to make your determination.*

### **Worksheet Summary**

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

### **Include all documentation supporting your findings in your submission to HUD.**

- It is important to point out that during the early 1970s, was started the urban expansion of the Municipality at south of the traditional urban core. By that means, the development of Desvio Sur constitutes a bypass to the principal traffic (Colon and Marina Streets) of the town. As a consequence, along Desvio Sur continue the commercial and institutional development of the town. Currently, the central core of the commercial, institutional ad recreative activities are developed along Desvio Sur.
- Based on the above, the farmland at Desvio Sur (West portion) was developed into a more intensive use. Currently, no farmland is present at Desvio Sur. This means that farmland illustrated at Exhibit I was used for the expansion of the urban growth of the town.

The Project is in compliance with the Farmland Protection Policy Act of 1981, particularly sections 1504(b) and 1541; 7 CFR Part 658.

Refer to map in Appendix B, Exhibit I



## Floodplain Management (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/floodplain-management>

1. Does [24 CFR 55.12\(c\)](#) exempt this project from compliance with HUD’s floodplain management regulations in Part 55?

Yes

**Provide the applicable citation at 24 CFR 55.12(c) here. If project is exempt under 55.12(c)(6) or (8), provide supporting documentation.**

Click here to enter text.

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Continue to the Worksheet Summary.

No → Continue to Question 2.

2. Provide a FEMA/FIRM map showing the site.

The Federal Emergency Management Agency (FEMA) designates floodplains. The [FEMA Map Service Center](#) provides this information in the form of FEMA Flood Insurance Rate Maps (FIRMs).

**Does your project occur in a floodplain?**

No → Continue to the Worksheet Summary below.

Yes

**Select the applicable floodplain using the FEMA map or the best available information:**

Floodway → Continue to Question 3, Floodways

Coastal High Hazard Area (V Zone) → Continue to Question 4, Coastal High Hazard Areas

500-year floodplain (B Zone or shaded X Zone) → Continue to Question 5, 500-year Floodplains

100-year floodplain (A Zone) → The 8-Step Process is required. Continue to Question 6, 8-Step Process

3. **Floodways**

**Is this a functionally dependent use?**

Yes

The 8-Step Process is required. Work with HUD or the RE to assist with the 8-Step Process.

→ Continue to Worksheet Summary.

No → *Federal assistance may not be used at this location unless an exception in 55.12(c) applies. You must either choose an alternate site or cancel the project.*

**4. Coastal High Hazard Area**

**Is this a critical action such as a hospital, nursing home, fire station, or police station?**

Yes → *Critical actions are prohibited in coastal high hazard areas unless an exception in 55.12(c) applies. You must either choose an alternate site or cancel the project.*

No

**Does this action include new construction that is not a functionally dependent use, existing construction (including improvements), or reconstruction following destruction caused by a disaster?**

Yes, there is new construction of something that is not a functionally dependent use. New construction must be designed to FEMA standards for V Zones at 44 CFR 60.3(e) (24 CFR 55.1(c)(3)(i)).  
→ *Continue to Question 6, 8-Step Process*

No, this action concerns only existing construction. Existing construction must have met FEMA elevation and construction standards for a coastal high hazard area or other standards applicable at the time of construction.  
→ *Continue to Question 6, 8-Step Process*

**5. 500-year Floodplain**

**Is this a critical action?**

No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Continue to the Worksheet Summary below.*

Yes → *Continue to Question 6, 8-Step Process*

**6. 8-Step Process.**

**Is this 8-Step Process required? Select one of the following options:**

8-Step Process applies.

This project will require mitigation and may require elevating structure or structures. See the link to the HUD Exchange above for information on HUD's elevation requirements.  
→ *Work with the RE/HUD to assist with the 8-Step Process. Continue to Worksheet Summary.*

5-Step Process is applicable per 55.12(a)(1-4).

**Provide the applicable citation at 24 CFR 55.12(a) here.**

[Click here to enter text.](#)

→ *Work with the RE/HUD to assist with the 5-Step Process. Continue to Worksheet Summary.*

8-Step Process is inapplicable per 55.12(b)(1-5).

**Provide the applicable citation at 24 CFR 55.12(b) here.**

[Click here to enter text.](#)

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.*

**Worksheet Summary**

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

**Include all documentation supporting your findings in your submission to HUD.**

The major area of the Project site locates in a 100-year floodplain and per outside the 500-year floodplain per Floodplain Insurance Maps 72000C140J AND 72000C0145, effective date November 18, 2009. The floodplain area is intersected at three points within the Zone AE floodway: at the first point at 656.68m from the intersection with highway PR-417, the second point at 896.98m, and the third point at 1,860m. Approximately 1.29 acres are within the Zone AE floodway; 3.73 acres are within the 100-year flood zone AE floodplain; and 0.96 acres are in an area outside the 500-year floodplain in the Zone X, Area of Minimal Flood Hazard.

The project involves rehabilitation/reconstruction of the sidewalks and asphalted paved road of Desvío Sur Avenue, within the limits of its right of way. Because this project is improving infrastructure that is already in place, it is considered a functionally dependent use within the floodway under 24 CFR 55.1(c)(1). This project is not considered a critical action under 24 CFR Part 55. In accordance with 24 CFR Part 55, an 8-step floodplain analysis identified no practicable alternatives to the proposed project. An early public notice was published on November 17, 2022. A final public notice was published on May 5, 2023.

The Project is in compliance with floodplain management requirements.

See Attached 8-Step Analysis and Notices. Refer to Maps in Appendix B, Exhibit J.

**U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT:**  
**8-Step Process (Steps 1-6)**

**Project: El Nuevo Desvío Sur (PR-CRP-000837) City Revitalization Program**

**Step 1: *Determine whether the action is located in a 100-year floodplain (or a 500-year floodplain for critical actions)***

Since this action consists in the improvements of an existing urban avenue, it is important to mention that the alignment of the existing avenue lies within various flood zones designations. However, the east portion of the project from the point of beginning, which consist of approximately 415 meters from a total project length of 2,500 meters, is located out of the 100-year and 500-year floodplains; as well as out of wetlands areas (*refer to exhibit no.1*).

Unlike the above, the remaining portions of the existing road alignment, namely the central and west portions until the point of ends, are located in the 100-year flood plain and floodway. The majority of the central and west portions of the existing road alignment are located within the AE Zone (area of special flood hazard with water surface elevations determined). Nevertheless, the sections at the central and west portions were the existing avenue crosses the existing water streams are located within de AE Zone Floodway (area of special flood hazard with water surface elevations determined that must be kept out of encroachments). The extension of the avenue alignment flood zone designations is identified in the Flood Insurance Rate Map (FIRM) Panel 72000C0140J and 72000C0145J, revised November 18, 2009. The FIRM is attached to this document as **exhibit no. 1**.

According to the original maps of the Fish and Wildlife Service National Wetlands Inventory (NWI) some portions of the project alignments were identified to be located within wetlands areas. However, according to the forestry professional who conducted the site visit, the project is not within/adjacent to wetlands and will not interfere or directly impact the emergent freshwater areas, leaving its natural characteristics intact. The representatives of the planning office for the municipality of Aguada have stated that this avenue was built during the mid-70's with all the applicable permits from state and federal agencies, including all environmental permits for the filling activities. The original wetlands maps from the Fish and Wildlife Service National Wetlands Inventory (NWI) are attached to this document for reference as **exhibit no. 2**.

The proposed project consists of improvements to the existing avenue within the right of way limit. No acquisition of private properties is proposed. The project will mainly consist of the reconstruction of concrete curbs and sidewalks, existing asphalt cold-milling and placements of new asphalt layer, avenue lighting and planting areas improvements, new pavement markings, as well as minor geometrical and hydraulics improvements at specific areas (*refer to exhibit no. 3* for project preliminary plans). Construction elements that occur within the floodway will be limited to items that meet HUD floodway exceptions or are allowable actions. Flood way construction elements will be either be functionally dependent (bridges or waterfront park elements), involve stormwater flow/drainage improvements including reconstruction of a new box culvert (functionally dependent floodway function), and will exclusively include sidewalk/curb rehabilitation work with the primary intent of removing architectural barrier that restrict the mobility and/or accessibility to elderly and persons with disabilities. Any additional work within the floodway (such as the addition of sidewalk luminaires or street paving) will be with the intention of removing architectural barriers or will be deemed necessary/ancillary to that action and comply with 24 CFR Part 55. As informed by the municipality of Aguada and HUD representatives, due to the varying design elements, this project as a whole does not meet any of the exceptions at the 24 CFR 55.12 and therefore requires an 8-step analysis of the direct and indirect impacts associated with the construction improvements. However, no new occupancy or modification of the floodplain and wetland areas will take place since this project consists of an existing avenue that is actually in fully operation and that constitute the actual commercial urban expansion of the municipality of Aguada. The proposed improvements will provide longer useful life of the

existing avenue so that it can be continued to be used by citizens of Aguada and their visitors. Therefore, this analysis will consider impacts to the floodway along with concerns for loss of life and property; if applicable.

**Step 2: *Notify the public for early review of the proposal and involve the affected and interested public in the decision-making process.***

A public notice describing the project was published in the Primera Hora newspaper on November 17, 2022, a Puerto Rico national paper. The ad targeted national, regional, and local residents, including those in the floodplain. The notice was also sent to interested Federal, State, and local agencies. A list of specific agencies and a copy of the published notification is kept in the project's environmental review record and attached to this document as **exhibit no. 4**. A copy was also posted on the municipality of Aguada bulletin board at the reception office.

The required 15 calendar days were allowed for public comment. As required by regulation, the notice also included the name, proposed location and description of the activity, total number of floodplain acres involved, and the responsible entity contact for information (Mrs. Sally Z. Acevedo Cosme, Permit and Environmental Compliance Manager) as well as a website and the location and hours of the office at which a full description of the proposed action can be viewed.

As informed by the Puerto Rico Department of Housing no comments were received regarding the proposed project.

**Step 3: *Identify and evaluate practicable alternatives.***

The Municipality of Aguada project site selection criteria are:

- (a) The proposed project lies within an existing avenue right of way that actually serves and will benefit the commercial and service community circumscribed by banks, supermarkets, US Postal Office, Restaurants, Gas Stations, Public Schools, Public Plaza and Parks; among a variety of commercial, institutional and public activities.
- (b) The existing avenue to be improved consists of the main road that covers the existing municipality urban expansion and will continue to serve the local citizens of the municipality and also regional/nation visitors.
- (c) The project must be within city limits in order for federal funds proceeds to be used by the Municipality of Aguada.

- (d) The socioeconomic impact of the project for the existing commercial activities will provide pursuit of new opportunities that can bring new services offers for citizens of Aguada as well as income to the treasury of the municipality finances.
- (e) This project will provide a scenic element of landscape character to beautify the urban area of the municipality of Aguada.

Municipality of Aguada considered several alternative sites and actions believed to satisfy these requirements:

#### **A. Locate the Project Within the Floodplain**

##### **1. Locate the project or improvements in the existing Nativo Alers Avenue**

The existing Nativo Alers Avenue was originally constructed to attend the urban expansion of the municipality of Aguada (**refer to preliminary plans**). Originally the main purpose was to provide an alternative route in order to decrease the heavy local and regional traffic across the Aguada main town. However, during the past 35 years the Nativo Alers Avenue has become an important instrument for the urban expansion of the municipality. At the moment the existing avenue serves as the main local road that attends most of the commercial and services activities that take place at the municipality. Since most of the terrains contiguous to the PR-2 constitutes agricultural and heavy steep slopes lands, the Nativo Alers Avenue has become the main arterial road that shelters all the commercial, institutional, recreational and services activities for the Aguada municipality.

Some improvements to the existing storm sewer system would be performed in order to mitigate the existing flood conditions. In addition, the project will be performed to avoid any impacts to the current flood level within the area. Permeable surfaces will be added as necessary, and flood water will be allowed to flow uninhibited and percolate to the ground. The use of concrete that is permeable for the management of runoff water and other green techniques that serve as a transition with the floodway is proposed. It is important to mention that the floodplain that characterized the area that lies within the project constitutes an existing condition. By that means, all the proposed improvements would only benefit the existing floodplain condition without generating any affectation over it. The proposed improvement does not generate any affectations or displacements to the existing commercial, institutional and services community that actually lies within the project area. Due to the finish floor elevations of the existing structures that are located contiguous to the Nativo Alers Avenue, it is impractical an increase in the finish grade elevation of the avenue. No endangerment of human life as well as local and federal investment would take place as part of the proposed improvements.

It is important to the mention that the proposed improvements in the existing right of way would provide a direct benefit to the Aguada citizens that serves from the commercial, institutional, and service community that takes place within the existing avenue and also to the regional/nation visitors that use it as an alternate by-pass from Aguada traditional town. Even more, from an environmental perspective, no wetlands nor endangered species would be affected with the proposed improvements to the existing avenue.

##### **2. Modify the project as an Alternative for Avoiding New Construction Improvements in Floodplain**

Due to the fact that all terrains and lands contiguous to the existing right of way of the Nativo Alers Avenue are fully developed in both North and South boundaries, no geometrical modifications could be performed in order to avoid the new construction improvements in the

actual floodplain. Even more, an increase in the finish grade elevation of the existing avenue results in an impractical action due to the finish floor elevations of the existing structures that are located contiguous to the Nativo Alers Avenue.

3. Obtain a Letter of Map Amendment (LOMA) or Letter of Map Revision (LOMR)

The Aguada municipality also considered applying for a LOMA but the existing elevation information of the Nativo Alers Avenue indicated that the lowest adjacent grade of the road it is not at or above the BFE, so the site is not eligible.

A LOMR-F request was also considered but rejected due to the fact that result in an impractical alternative that would affect the property owners contiguous to the avenue.

**B. Locate the Project Partially or Outside of the Existing Floodplain**

1. Locate the project at the South boundary of the existing Nativo Alers Avenue

The Aguada municipality had considered an alternative site at the South of the existing Nativo Alers Avenue (**exhibit no. 5**). This new alternative avenue has no name at the time of this technical report. This existing avenue has several limitations in comparison to the Nativo Alers which are listed below, namely:

- The avenue lies within a more restrictive floodplain condition.
- The avenue is mostly contiguous to wetlands along its alignment.
- No cost/benefit to the Aguada citizens would result from this action.
- There is no possibility of geometrical prolongation for the existing avenue in order to cover the same area that lies within the Nativo Alers Avenue.

2. Locate the project at the North boundary of the existing Nativo Alers Avenue

The Aguada municipality had considered an alternative site at the North of the existing Nativo Alers Avenue (**exhibit no. 6**). This new alternative has several limitations in comparison to the Nativo Alers which are listed below, namely:

- The proposed route alternative would not generate a direct benefit to the commercial, institutional, recreational and services activities that lies within the urban expansion area of the Aguada municipality.
- The proposed road alignment would generate lands acquisitions actions that are not covered within the project funds scope of work.
- This action could generate opposition from nearest communities that could be affected by this action.
- This alternative would generate an adverse impact over virgin lands flora and fauna, especially to the proximity of a Pterocarpus local forest.

3. Other sites considered not meeting the initial site selection conditions

Due to the existing geographical condition of the municipality of Aguada as well as the previous land development that circumscribe the main urban area delimitation, no other sites were available to accommodate an alternative that provide the same or better cost/benefit as related to the Nativo Alers Avenue.



### **C. No Action or Alternative Actions that Serve the Same Purpose**

A no action alternative was considered and rejected because of the necessity of the municipality of Aguada to provide an adequate improvement to the major arterial bypass that serves not only the citizens but also the regional/nation visitors. The positive impact of the project for the commercial, institutional, recreational, services and also the touristic activities would provide the continuation of an actual condition that had distinguished the urban development of the municipality. There are no negative aspects related to the proposed project that could take place during construction, neither from a socioeconomic or environmental perspective.

#### **Step 4: *Identify Potential Direct and Indirect Impacts of Associated with Floodplain Development.***

Since the Nativo Alers Avenue consist of an existing road in which the proposed improvements do not include the increase of the existing finish grade levels, no floodplain development would take place and even less no impacts neither direct or indirect could be generated to the floodplain.

However, due to the proposed improvements to the existing storm sewer system along the Nativo Alers Avenue, the actual floodplain and its respective Base Flood Elevations shall be minimized. No structures or improvements will be located in the floodway as part of the proposed project. No wetland impacts will take place with these improvements.

The highest priority of this review is to prevent the loss of life. No loss of life could be generated as part of the proposed actions. On the contrary, the proposed works would not only generate a positive impact to the actual floodplain in benefit of the people's life, but also would help to protect the financial investment of the contiguous business that actually serves the community.

The Puerto Rico Planning Board (PRPB) Regulation 13, Section 7.00 (Zone A), shall permit the location of new structures, substantial improvements, and other developments in this area when the provisions of this Section are met.

Also, the project can comply with the following's provisions:

- Drainage work will be consistent with the need to reduce flood damage and all works will be designed using the best engineering practices to minimize food damage.
- It will be designed and constructed in such a way that they cause the least possible obstruction to the flow of water, offer safety conditions, resist the effects of hydrodynamic and hydrostatic loads of flood waters and comply with any other provision of applicable law or regulation.

Puerto Rico is a member of the National Flood Insurance Program and structures located in the flood zone must comply with the local flood ordinance. By that means, all projects located in the floodplain shall maintain flood insurance for the life of the property. Even more, the municipality of Aguada in collaboration with the Puerto Rico Department of Environmental and Natural Resources has implemented an aggressive water body clearing in order to mitigate the floodplain development.

Also, by disallowing impervious surfaces in and around the floodplain due to extensive evaluations from the planning office of the Aguada municipality for new development petitions, minimal effects on water resources could take place. Aguada municipality has consulted Hydrologists and engineers in order to establish local environmental public policy that guarantees that natural flood and erosion control, water quality, and groundwater recharge are preserved.

The Puerto Rico Department of Environmental and Natural Resources has determined that the proposed improvements will have no quantifiable impact on plant and animal life. Only native plants are to be used in the

floodplain as part of the landscaping plan.

Societal resources were also considered during the design process. The designs are meant to complement the natural features of the area and to offer an aesthetically pleasing landscape. The proposed improvements will not have an effect on agricultural lands. The site will also maintain an open space for recreational opportunities as a pedestrian/bike path will be built next to the public recreational facilities (**exhibit no. 7**). The Aguada municipality will also allow the site to be accessible for archaeological, historic, environmental, biological, and other scientific studies should an individual or an organization express interest.

**Step 5: *Where practicable, design or modify the proposed action to minimize the potential adverse impacts to lives, property, and natural values within the floodplain and to restore, and preserve the values of the floodplain.***

- (a) Preserving Lives: Even though the floodplain situation is a normal condition for the Aguada citizens and its visitors for almost the last 35 years, in order to preserve lives, local law enforcement and the emergency broadcast system will continue to be implemented as an early warning system when flooding conditions arise. In addition to the warning system, law enforcement has an emergency evacuation and relocation plan. New flood markers will be implemented at specific designated areas with identification marks of past and estimated flooding levels. All citizens will also be briefed on the location of the flood hazard area and evacuation plans upon placement.
- (b) Preserving Property: Due to the characteristics of the project and the requirement to be exposed and handle climate events, there is no need to obtain insurance for the elements of the project. Resiliency will be built into the project elements so that they can withstand weather events.
- (c) Preserving Natural Values and Minimizing Impacts: The site design chosen as an alternative at Step 3 reduced floodplain impacts and prevented fully new construction from occurring in the floodplain. Even though the Natio Aler Avenue consists of an existing road, the impacts to the floodplain will also be limited due to construction occurring within the previously developed site and also due to the improvements to the existing storm sewer system along the avenue. In addition, the prohibition of new proposed impervious surfaces in and directly around the floodplain, would provide no further impacts or development to the actual floodplain. All actions within the floodway will be functionally dependent, remove architectural barriers, or overall preserve the values and function of the floodway. Also, the implementation of an aggressive water body clearing in collaboration with the Puerto Rico Department of Environmental and Natural Resources will mitigate the floodplain development. The Puerto Rico Department of Environmental and Natural Resources will also advise Aguada municipality on preservation of flora (plants) and fauna (animals). Conservation easement agreements through the United States Department of Agriculture's Natural Resource Conservation Service will also be entered for nearby wetlands owned by the municipality. These actions will serve to both restore habitat off and on site while also preserving non-impacted areas to minimize effects.

**Step 6: *Reevaluate the Alternatives.***

The abovementioned alternatives shall be strictly evaluated taking into consideration the environmental aspects of the improvements as well as the cost – benefit ratio of the project in general. Since the geography of the municipality of Aguada lies within the island main west rivers hydrographic basins and also conformed geological formations mostly composed of agricultural lands, the majority of the lands that conforms the actual urban expansion are located within flood zone. By that means, all the proposed improvements that take place within the existing urban expansion area of the Aguada municipality would always lie within the flood area.

The project involves rehabilitation/reconstruction of the sidewalks in order to remove architectural barriers (within the floodway), reconstruction of an existing box culvert (functionally dependent) and existing storm water systems, gutters, inlets, piping, vehicular and pedestrian signing and pavement markings, and road repavement where necessary in conjunction with the removal of architectural barrier for ADA compliance (if being

performed within the floodway). There will also be the construction of a bicycle lane route introduced into an existing waterfront park (functionally dependent). The 3 sites (within the project area) that cross the floodway will conform to the aforementioned exemptions and functionally dependent uses. All items within the floodway comply with 24 CFR Part 55 and although the project will be located in a floodplain/floodway, the project will be adapted to preserve the effects on floodplain values. There will be no impact to the floodplain and stormwaters will be allowed to percolate and follow the contours of the terrain; in addition, drainage work will be consistent with the need to reduce flood damage and all works will be designed using the best engineering practices to minimize food damage. It will be designed and constructed in such a way that they cause the least possible obstruction to the flow of water, offer safety conditions, resist the effects of hydrodynamic and hydrostatic loads of flood waters and comply with any other provision of applicable law or regulation. Due to the environmental aspects, financial costs, and other concerns, as well as the requirement that the project be constructed within city limits due to program funds requirements, the improvements to the existing Nativo Alers Avenue results in the only alternative that satisfies these needs and concerns without affecting human life and also the existing commercial, institutional, recreational and services activities.

The no action alternative is also impracticable because it will not satisfy the need to provide an avenue with the ideal operational conditions.

***Step 7: Determination of No Practicable Alternative***

***Step 8: Implement the Proposed Action***





# public notice

## Notice for Early Public Review of a Proposal to Support Activity in the 100-Year Floodplain

To: All Interested Parties, Groups & Individuals

This is to give notice that Puerto Rico Department of Housing (PRDOH) has determined that the following proposed action under the PRDOH Community Development Block Grant – Disaster Recovery (CDBG-DR) City Revitalization Program, Grant number B-18-DP-72-0001 is located in the 100-year floodplain, and PRDOH will be identifying and evaluating practicable alternatives to locating the action in the floodplain and the potential impacts on the floodplain from the proposed action, as required by Executive Order 11988, in accordance with HUD regulations at 24 CFR 55.20 Subpart C Procedures for Making Determinations on Floodplain Management and Protection of Wetlands. The PRDOH has prioritized that its allocation of the CDBG-DR funds (\$5,283,153.02) will be directed to project PR-CRP-000837 El Nuevo Desvío Sur. The proposed project is within a Municipio with structures damaged by Hurricanes Irma and María. The proposed project locates on the municipal road of the Nuevo Desvío Sur de Aguada also known as Avenida Nativo Alers, from coordinates 18.377552 N, -67.180452 W to 18.382739 N, -67.199681 W with dimensions of 5.98 acres. The proposed activity locates in diverse flood zone types, being 1.29 acres within a floodway area, Zone AE, 3.73 acres within a floodplain area, Zone AE, and 0.96 acres within an area outside the 500-year floodplain, Zone X. The floodplain area is intersected at three points by Zone AE floodway from a channel, being the first point at 656.68 m from the intersection with state highway # 417, the second point at 896.98 m and the third point 1,860 m. The areas where the project crosses floodways are considered a functionally dependent use. Project area is shown in Flood Insurance Rate Map (FIRM) 0145 and 0140 J suffix of 2,160 no. 72,000, revised November 18, 2009, as indicated on the Flood Map Service Center page in <https://msc.fema.gov/portal/home>.

The project consists of revitalization activities of the municipal road of the New South Detour of Aguada. This project involves substantial improvements known as "Calle Completa". The Avenida highway maintains an average daily traffic of 13,836 vehicles. It is considered functional use and the evacuation route in emergencies. Mitigation of the bridge located at latitude 18.377423 N, longitude -67.188619 W is proposed. In the area, there is a channel that collects runoff water from the Padre Pablo Gutiérrez corridor and from the eastern part of the South Detour. These runoffs continue through a channel of land around which there are residential and commercial structures. They continue along the canal and discharge into the Culebra River until they flow into the Pico de Piedra. The proposed solution will be to implement measures to improve the ability to collect runoff water through the recommendations of professionals and implement safety measures between the road and the hydraulic structure. In addition, electricity, drinking and sanitary water infrastructure will be taken into account.

This road serves as a gateway to the urban area. It connects the urban area with the communities of Reparto Minerva, Alluras de Aguada, and sports, cultural, recreational, and commercial areas such as the Juana Rosario School, the Aguadeño Museum, state government campuses (Court of First Instance) and the USPS post office. It also serves as access to Pico de Piedra beach and state highway PR-115. Being this road extremely crowded due to its location and access to multiple places in the town of Aguada, the total revitalization of this access road is contemplated. Sidewalks will be constructed along the entire length of the Avenue in accordance with ADA standards. Ditches will be constructed as necessary. Approximately 106 lighting poles will be installed along the Avenue to provide greater security to all those who transit through that area. In addition, reforestation will be added along the road and the entire road will be asphalted. There will not be new construction on previously undisturbed areas addressed by this notice.

There are three primary purposes for this notice. First, people who may be affected by activities in floodplains and those who have an interest in the protection of the natural environment should be given an opportunity to express their concerns and provide information about these areas. Commenters are encouraged to offer alternative sites outside of the floodplains, alternative methods to serve the same project purpose, and methods to minimize and mitigate impacts. Second, an adequate public notice program can be an important public educational tool. The dissemination of information and request for public comment about floodplains can facilitate and enhance Federal efforts to reduce the risks and impacts associated with the occupancy and modification of these special areas. Third, as a matter of fairness, when the Federal government determines it will participate in actions taking place in floodplains, it must inform those who may be put at greater or continued risk.

Written comments must be received by PRDOH at the following address on or before **December 2, 2022 (a minimum 15 calendar day comment period will begin the day after the publication and end on the 16th day after the publication)**: Puerto Rico Department of Housing CDBG-DR Program, Juan C. Cordero Building, 606 Avenida Barbosa, Río Piedras, PR 00918-8461, Attention: Sally Z. Acevedo-Casme, Permit and Environmental Compliance Manager and phone number 787-274-2527 x 6654. A full description of the project may also be reviewed from 8:30 am to 4:00 pm at Puerto Rico Department of Housing, 606 Avenida Barbosa, Edificio Juan C. Cordero Dávila, Río Piedras, PR 00918 and [CDBG@vivienda.pr.gov](mailto:CDBG@vivienda.pr.gov). Comments may also be submitted via email at [Sacevedo@vivienda.pr.gov](mailto:Sacevedo@vivienda.pr.gov).

Date: November 17, 2022



DEPARTMENT OF HOUSING



Junta de Gobierno  
Universidad de Puerto Rico

## AVISO SOBRE PROPUESTA APROBACIÓN DE REGLAMENTOS

De conformidad con la § 2.1 de la Ley de Procedimiento Administrativo Uniforme, Ley Núm. 38-2017, según enmendada y el Art. 3 de la Ley de la Universidad de Puerto Rico, Ley Núm. 1 de 20 de enero de 1966, según enmendada, la Junta de Gobierno de la Universidad de Puerto Rico notifica que se propone aprobar:

- (1) *el Procedimiento para el Movimiento de Docentes Intra e Inter Unidades en la Universidad de Puerto Rico*, con el propósito de formalizar y establecer el procedimiento para la acción de personal que requiera reubicar personal docente como parte de la consolidación o eliminación de programas académicos; establecer criterios a tomar en consideración para llevar a cabo ese movimiento de personal docente; y elaborar y establecer un Registro del Personal Docente, entre otros asuntos.
- (2) *la Política Institucional para la Autorización de Ausencias Prolongadas Aplicables a los Estudiantes de la Universidad de Puerto Rico*, con el propósito de permitir que los estudiantes puedan separarse temporalmente de sus estudios en ciertas circunstancias para atender situaciones de salud personales o de su núcleo familiar, en caso de una emergencia nacional, u otras situaciones extraordinarias, entre otros.

Copia de los propuestos reglamentos estarán disponibles para revisión en el Internet, en la siguiente dirección: [www.juntagobierno.upr.edu](http://www.juntagobierno.upr.edu) donde, además, se encuentra el texto de este Aviso. También estarán disponibles para revisión por cita previa en la oficina de la Junta de Gobierno, ubicada en el Primer Piso del Edificio de la Administración Central de la UPR, Jardín Botánico Sur, 1187 Calle Flamboyán, Río Piedras, Puerto Rico. Dicha cita previa deberá ser solicitada por correo electrónico en la siguiente dirección: [ju\\_email@upr.edu](mailto:ju_email@upr.edu).

Durante un periodo de treinta (30) días calendario a partir de la publicación de este Aviso, las personas interesadas en someter comentarios o presentar una solicitud de vista oral sobre las acciones propuestas, deberán hacerlo por escrito, en cualquiera de las siguientes formas: (a) enviando un correo electrónico a [comentario.RG@upr.edu](mailto:comentario.RG@upr.edu); (b) enviando su escrito por correo postal al Apartado 23326, San Juan, PR 00931-3326; o (c) presentando su escrito personalmente en la oficina de la Junta de Gobierno, en la dirección física antes indicada de 8:00 a.m. a 4:30 p.m. de lunes a viernes. Toda solicitud de vista oral deberá incluir los fundamentos específicos que, a juicio del solicitante, hacen necesaria la concesión de la misma.

En San Juan, Puerto Rico, hoy 17 de noviembre de 2022.

Edwin F. Pagán Meléndez  
Secretario Ejecutivo Interino

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# aviso público

## Aviso Final y Explicación Pública de una Actividad Propuesta en una Llanura Aluvial de 100 años

**El Nuevo Desvío Sur  
PR-CRP-000837**

Para: Todas las partes interesadas, grupos e individuos

Este aviso notifica que el Departamento de la Vivienda de Puerto Rico (Vivienda) completó una evaluación según establece la Orden Ejecutiva 11988, de acuerdo con los reglamentos de HUD en 24 CFR 55.20 Subparte C - Procedimientos para hacer determinaciones sobre el manejo del valle inundable y la protección de humedales. La actividad está subvencionada con fondos del Programa de Revitalización de la Ciudad (CRP, por sus siglas en inglés), Subvención en Bloque para el Desarrollo Comunitario - Recuperación de Desastres (DBG-DR), número de subvención B-17-DM-72-0001 y B-18-DR-72-0001. El proyecto propuesto, **PR-CRP-000837**, está localizado en la vía municipal Avenida Nativio Aleres, Aguada, PR 00602; coordenadas 18.377552, -67.180452 hasta 18.382739, -67.199681 con cabida de 5.98 acres.

El proyecto consiste en actividades de revitalización de la vía municipal del Nuevo Desvío Sur de Aguada. La carretera mantiene un tráfico promedio diario de 13,836 vehículos. Es considerada de uso funcional y la ruta de desalojo en emergencias. Se propone la mitigación del puente que ubica en la coordenada 18.377423 N, -67.188619 W. En esa área existe un canal que recoge las aguas de escorrentía desde el corredor Padre Pablo Gutiérrez y de la parte del este del Desvío Sur. Estas escorrentías continúan por un canal de tierra en cuyo alrededor existen estructuras residenciales y comerciales. Las mismas continúan por el canal y descargan en el Río Culebra hasta desembocar en la Playa Pico de Piedra. El área inundable en llanta de 100 años se cruza en tres puntos por la zona de inundación AE cauce mayor debido a un canal, siendo el primer punto a 656.68 m de la intersección con la carretera estatal # 417, el segundo punto a 896.98 m y el tercer punto a 1,860 m. La actividad propuesta se ubica en diversas zonas de inundación, 1.29 acres en una zona de inundación AE, 3.73 acres dentro de una zona de inundación AE de 100 años, y 0.96 acres en un área fuera de la zona inundable X de 500 años. Estas áreas se consideran un uso funcionalmente dependiente. El área del proyecto se encuentra en el Flood Insurance Rate Map (FIRM) 72000C1045 y 72000C1040 sufixo J, revisados el 18 de noviembre de 2009, según indicado en la página del Centro de Servicios de Mapas de Inundaciones en <https://msc.fema.gov/portal/home>.

Vivienda ha considerado las siguientes alternativas y medidas de mitigación para minimizar los impactos adversos y restaurar y preservar los valores naturales y beneficiosos: (a) Ubicar el proyecto dentro de la Zona Inundable, (b) Ubicar el proyecto parcialmente o fuera de la Zona Inundable existente, (c) Ninguna Acción o Acciones Alternativas que sirvan para el mismo propósito. Dado a que la Avenida Nativio Aleres consiste en un camino existente en el que las mejoras propuestas no incluyen el aumento de los niveles de terminación existentes, no se producirá un desmoronamiento en la Zona Inundable y tampoco se generaran impactos directos o indirectos a la Zona Inundable. Sin embargo, debido a las mejoras propuestas al sistema de alcantarillado pluvial existente a lo largo de la Avenida Nativio Aleres, la Zona Inundable real y sus respectivas Elevaciones Base de Inundación se minimizarán. No se ubicarán estructuras ni mejoras en el cauce de inundación como parte del proyecto propuesto. No se producirán impactos en los humedales con estas mejoras. Además, la zona del proyecto ya está muy desarrollada, y la aplicación de la alternativa preferida (opción a) no fomentaría nuevos desarrollos dentro de la llanura aluvial o los humedales de la zona del proyecto propuesta. La máxima prioridad de esta revisión es prevenir la pérdida de vidas. No se podría generar pérdida de vidas como parte de las acciones propuestas. Por el contrario, las obras propuestas no solo generarían un impacto positivo a la actual planicie de inundación en beneficio de la vida de las personas, sino que también ayudarían a proteger la inversión financiera de los negocios contiguos que realmente sirven a la comunidad. Para preservar vidas, la policía local y el sistema de transmisión de emergencia continuarán implementando un sistema de alerta temprana cuando surjan condiciones de inundación. Además del sistema de alerta, las fuerzas del orden tienen un plan de evacuación y reubicación de emergencia. Se implementarán nuevos marcadores de inundación en áreas designadas específicas con marcas de identificación de niveles de inundación pasados y estimados. Todos los ciudadanos también serán informados sobre la ubicación del área de riesgo de inundación y los planes de evacuación al momento de la ubicación. Para preservar la propiedad, también se adquirirá y mantendrá un seguro contra inundaciones para mitigar posibles daños por inundaciones.

Esta actividad no tendrá un impacto significativo en el medio ambiente por las siguientes razones: el diseño del sitio elegido como alternativa reduce los impactos en la Zona Inundable y evita que se produzca una construcción completamente nueva en la Zona Inundable. Aunque la Avenida Nativio Aleres consiste en una carretera existente, los impactos en la Zona Inundable también serán limitados debido a que la construcción se lleva a cabo dentro del sitio previamente desarrollado y también, debido a las mejoras al sistema de alcantarillado pluvial existente a lo largo de la avenida. Además, la prohibición de nuevas superficies impermeables propuestas en y directamente alrededor de la Zona Inundable no generará más impactos o desarrollo en la Zona Inundable real. Además, la implementación de una agresiva limpieza de cuerpos de agua en colaboración con el Departamento Recursos Naturales y Ambientales de Puerto Rico mitigará el desarrollo de la Zona Inundable. El Departamento Recursos Naturales y Ambientales de Puerto Rico también asesorará al municipio de Aguada en la preservación de la flora (plantas) y la fauna (animales). Estas acciones servirán tanto para restaurar el hábitat fuera como dentro del sitio y al mismo tiempo preservar las áreas no afectadas para minimizar los efectos.

Vivienda reevaluó las alternativas para construir en la llanura aluvial y que no cuenta con alternativas prácticas. La documentación ambiental que evidencia el cumplimiento de los pasos 3 a 6 de la Orden Ejecutiva 11988, está disponible para inspección, revisión y reproducción de parte del público, de ser solicitado, en el horario y lugar indicado en el último párrafo sobre recibo de comentarios de este aviso.

Este aviso tiene tres propósitos principales. En primer lugar, las personas que pueden verse afectadas por actividades en las llanuras aluviales y aquellos que tengan interés en la protección del ambiente natural deben recibir la oportunidad de expresar sus inquietudes y proveer información sobre estas áreas. Segundo, un programa adecuado de avisos públicos puede ser una importante herramienta de educación pública. La divulgación de información y solicitud de comentarios sobre las llanuras aluviales puede facilitar y mejorar los esfuerzos federales para reducir los riesgos e impactos asociados con la ocupación y alteración de estas áreas especiales. Tercero, como materia de justicia, cuando el gobierno federal determine participar en acciones ubicadas en las llanuras aluviales, debe informarse a quienes puedan ser expuestos a un riesgo mayor o similar al presente.

Vivienda considerará todos los comentarios recibidos en o antes del 12 de mayo de 2023 [un periodo mínimo de comentarios de 7 días comenzará el día siguiente de la publicación y terminará en el 8vo día después de la publicación]. Pueden enviar los comentarios de forma impresa a la siguiente dirección: Departamento de la Vivienda de Puerto Rico, Edificio Juan C. Cordero, 606 Avenida Barbosa, Río Piedras, PR 00918-8461, Atención: Pedro De León-Rodríguez, Especialista en Permisos y Cumplimiento Ambiental. Una descripción completa del proyecto está disponible al público para revisión de 8:30 am a 4:00 pm en el Departamento de la Vivienda de Puerto Rico, Edificio Juan C. Cordero, 606 Avenida Barbosa, Río Piedras, PR 00918. El número para obtener información es (787) 274-2527 ext. 6654. Como alternativa, también pueden enviar los comentarios a Vivienda por medio electrónico a [environment@vivienda.pr.gov](mailto:environment@vivienda.pr.gov).

Fecha: 5 de mayo de 2023

DEPARTAMENTO DE LA  
**VIVIENDA**



# public notice

## Final Notice and Public Explanation of a Proposed Activity In the 100-Year Floodplain

**El Nuevo Desvío Sur  
PR-CRP-000837**

To: All Interested Parties, Groups & Individuals

This is to give notice that the Puerto Rico Department of Housing (PRDOH) has conducted an evaluation as required by the Executive Order 11988, in accordance with HUD regulations at 24 CFR 55.20 Subpart C - Procedures for Making Determinations on Floodplain Management and Wetlands Protection. The activity is funded under the PRDOH Community Development Block Grant - Disaster Recovery (DBG-DR) City Revitalization Program, Grant number B-17-DM-72-0001 & B-18-DR-72-0001. The proposed project, **PR-CRP-000837**, is located on the municipal road Nativio Aleres Avenue, Aguada, PR 00602; coordinates 18.377552, -67.180452 to 18.382739, -67.199681 with dimensions of 5.98 acres. The project consists in revitalization activities of the municipal road of the New South Detour of Aguada. The Avenida highway maintains an average daily traffic of 13,836 vehicles. It is considered functional use and the evacuation route in emergencies. Mitigation of the bridge is located coordinates 18.377423 N, -67.188619 W is proposed. In the area, there is a channel that collects runoff water from the Padre Pablo Gutiérrez corridor and from the eastern part of the South Detour. These runoffs continue through a channel of land around which there are residential and commercial structures. They continue along the canal and discharge into the Culebra River until they flow into the beach Pico de Piedra. The floodplain area is intersected at three points by Zone AE floodway from a channel, being the first point at 656.68 m from the intersection with state highway PR-417, the second point at 896.98 m and the third point 1,860 m. The proposed activity is situated in diverse flood zone types, 1.29 acres are located within the floodplain zone AE, 3.73 acres within a 100-year floodplain zone AE, and 0.96 acres within an area outside the 500-year floodplain zone X. These areas are considered a functionally dependent use. The floodplains in the project area can be found in the Flood Insurance Rate Map (FIRM) 72000C1045 & 72000C1040 suffix J, revised on November 18, 2009, as indicated on the Flood Map Service Center page in <https://msc.fema.gov/portal/home>.

The PRDOH has considered the following alternatives and mitigation measures to be taken to minimize adverse impacts and to restore and preserve natural and beneficial values: (a) Locate the Project Within the floodplain, (b) Locate the Project Partially or Outside of the Existing Floodplain, (c) No Action or Alternative Actions that Serve the Same Purpose. Since the Nativio Aleres Avenue consists of an existing road in which the proposed improvements do not include the increase of the existing finish grade levels, no floodplain development would take place and even less, no impacts neither direct nor indirect, could be generated to the floodplain. However, due to the proposed improvements to the existing storm sewer system along the Nativio Aleres Avenue, the actual floodplain and its respective Base Flood Elevations shall be minimized. No structures or improvements will be in the floodway as part of the proposed project. No wetland impacts will take place with these improvements. Furthermore, the project area is already highly developed, and the implementation of the preferred alternative (Option a) would not encourage new development within the floodplain or wetlands in the proposed project area. No loss of life could be generated as part of the proposed actions. On the contrary, the proposed works would not only generate a positive impact to the actual floodplain in benefit of the people's life, but also would help to protect the financial investment of the contiguous business that serves the community. In order to preserve lives, local law enforcement and the emergency broadcast system will continue to be implemented as an early warning system when flooding conditions arise. In addition to the warning system, law enforcement has an emergency evacuation and relocation plan. New flood markers will be implemented at specific designated areas with identification marks of past and estimated flooding levels. All citizens will also be briefed on the location of the flood hazard area and evacuation plans upon placement. In order to preserve property, flood insurance will also be acquired and maintained in order to mitigate possible flood damage.

This activity will have no significant impact on the environment for the following reasons: the site design chosen as an alternative reduced floodplain impacts and prevented new construction from occurring in the floodplain. Even though the Nativio Aleres Avenue consists of an existing road, the impacts to the floodplain will also be limited due to construction occurring within the previously developed site and due to the improvements to the existing storm sewer system along the avenue. In addition, the prohibition of new proposed impervious surfaces in and directly around the floodplain, would provide no further impacts or development to the actual floodplain. Also, the implementation of an aggressive water bodies clearing in collaboration with the Puerto Rico Department of Environmental and Natural Resources will mitigate the floodplain development. The Puerto Rico Department of Environmental and Natural Resources will also advise Aguada municipality on preservation of flora (plants) and fauna (animals). These actions will serve to both restore habitat off and on site while also preserving non-impacted areas to minimize effects.

The PRDOH has reevaluated the alternatives to building in the floodplain and has determined that it has no practicable alternative. Environmental files that document compliance with steps 3 through 6 of 24 CFR 55.20 are available for public inspection, review and copying upon request at the times and location delineated in the last paragraph of this notice for receipt of comments.

There are three primary purposes for this notice. First, people who may be affected by activities in floodplains and those who have an interest in the protection of the natural environment should be given an opportunity to express their concerns and provide information about these areas. Second, an adequate public notice program can be an important public education tool. The dissemination of information and request for public comment about floodplains can facilitate and enhance Federal efforts to reduce the risks and impacts associated with the occupancy and modification of these special areas. Third, as a matter of fairness, when the Federal government determines it will participate in actions taking place in floodplains, it must inform those who may be put at greater or continued risk.

PRDOH will consider all comments received on or before May 12, 2023 [a minimum 7 calendar day comment period will begin the day after the publication and end on the 8th day after the publication]. Written comments can be sent to the following address: Puerto Rico Department of Housing, 606 Barbosa Avenue, Juan C. Cordero Building, Río Piedras, PR 00918-8461, Attention: Janette Cambrelén, Permits and Environmental Compliance Specialist. A complete description of the project is available to the public for review from 8:30 am to 4:00 pm at the Puerto Rico Department of Housing, 606 Barbosa Avenue, Juan C. Cordero Building, Río Piedras, PR 00918. The number to get information is (787) 274-2527 ext. 6654. In the alternative, comments may also be sent to PRDOH by email at [environment@vivienda.pr.gov](mailto:environment@vivienda.pr.gov).

Date: May 5, 2023

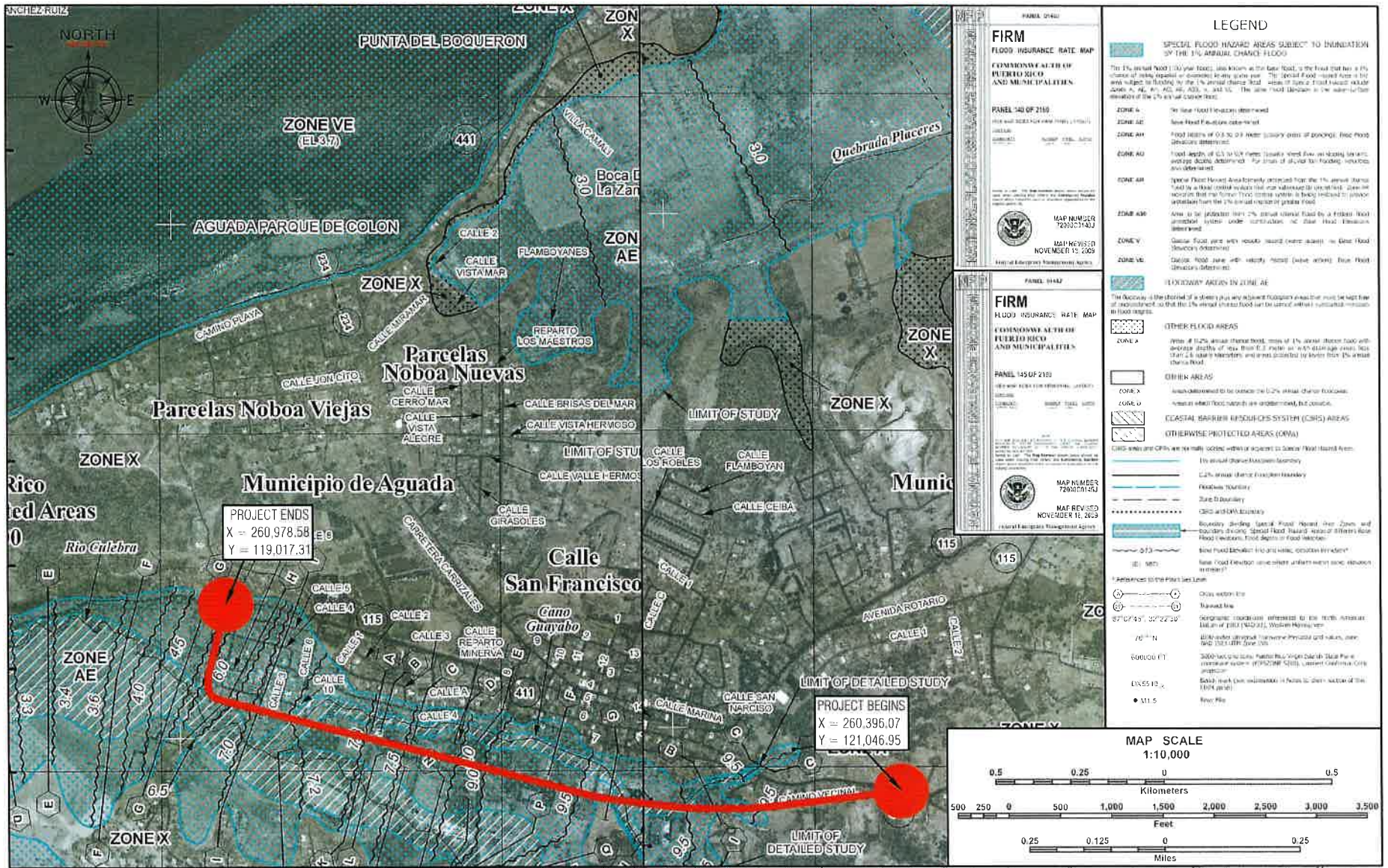
DEPARTMENT OF  
**HOUSING**





**8-STEP PROCESS**

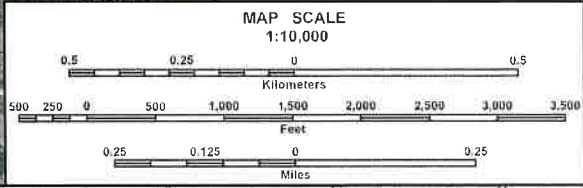
**EXHIBITS**



**FIRM**  
**FLOOD INSURANCE RATE MAP**  
 COMMONWEALTH OF PUERTO RICO AND MUNICIPALITIES  
 PANEL 140 OF 2160  
 (SEE MAP FOR FIRM PANEL LOCATION)  
 MAP NUMBER 72030231403  
 MAP REVISED NOVEMBER 12, 2005  
 Federal Emergency Management Agency

**FIRM**  
**FLOOD INSURANCE RATE MAP**  
 COMMONWEALTH OF PUERTO RICO AND MUNICIPALITIES  
 PANEL 145 OF 2160  
 (SEE MAP FOR FIRM PANEL LOCATION)  
 MAP NUMBER 72030201150  
 MAP REVISED NOVEMBER 16, 2005  
 Federal Emergency Management Agency

LEGEND	
	<b>SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD</b> The 1% annual flood (100 year flood) also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zone VE, Zone AE, Zone X, and Zone A. The same flood likelihood is the indicator for the severity of the 1% annual chance flood.
	<b>ZONE VE</b> Very High Flood Hazard Area
	<b>ZONE AE</b> High Flood Hazard Area
	<b>ZONE AH</b> Flood Hazard of 0.5 to 0.9 Feet (Average) Area of Special Flood Hazard
	<b>ZONE AO</b> Flood depths of 0.5 to 0.9 Feet (Average) Area of Special Flood Hazard
	<b>ZONE AX</b> Special Flood Hazard Area (Average) Area of Special Flood Hazard
	<b>ZONE A100</b> Area to be protected from 1% annual chance flood by a Federal flood protection system under construction, not final flood protection
	<b>ZONE X</b> General Flood Hazard Area (Average) Area of Special Flood Hazard
	<b>ZONE VE</b> Coastal Flood Hazard Area (Average) Area of Special Flood Hazard
	<b>EXCESSIVE AREAS IN ZONE AE</b> The boundary of the shaded area is subject to flood hazard areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without inundation in flood stages.
	<b>OTHER FLOOD AREAS</b> Zone X Zone AE Zone A Zone AO Zone AH
	<b>COASTAL BARRIER RESIDUALS SYSTEM (CBRS) AREAS</b>
	<b>OTHERWISE PROTECTED AREAS (OPAs)</b> CBRS areas and OPAs are typically located within or adjacent to Special Flood Hazard Areas.
	1% annual chance flood boundary
	0.2% annual chance flood boundary
	Political boundary
	Zone boundary
	CBRS boundary
	Boundary between Special Flood Hazard Area Zones and boundaries between Special Flood Hazard Areas within Special Flood Hazard Areas. Flood depths or flood velocities.
	Base Flood Elevation (BFE) data, contour intervals
	Base Flood Elevation (BFE) data, contour intervals
	Reference to the Flood Data Line
	Other water line
	Man-made line
	Geographic coordinates referenced to the North American Datum of 1983 (NAD 83), Universal Metric system
	Utility lines (power, telephone, physical and virtual, cable, fiber optic, etc.)
	3000-foot wide buffer around the Special Flood Hazard Area boundary (SFA) boundary (SFA) boundary
	Scale 1:10,000 (horizontal) and 1:10,000 (vertical)
	North Arrow



DESIGN FIRM:  
**J.O. CAJIGAS & ASSOCIATES P.S.C.**  
 ARCHITECTS, ENGINEERS & LAND SURVEYORS  
 PO BOX # 1028  
 AGUADA, PUERTO RICO  
 PHONE: 787-868-5908 FAX: 787-868-5908  
 e-mail address: jocaengineers@gmail.com

PROJECT NAME:  
**EL NUEVO DESVIO SUR**  
 PROJECT ID: PR-CPR-000837  
 NATIVO ALERS AVENUE (DESVIO SUR) GUAYABO  
 AND PIEDRAS BLANCAS WARD  
 MUNICIPALITY OF AGUADA, PUERTO RICO

SHEET NAME:  
**FLOOD ZONE MAP**  
 SOURCE: FEMA  
<https://msc.fema.gov/portal/home>

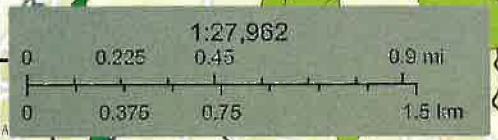
EXHIBIT:  
**E**





PROJECT ENDS  
 X = 260,978.58  
 Y = 119,017.31

PROJECT BEGINS  
 X = 260,396.07  
 Y = 121,046.95



- Wetlands**
- ESTUARINE AND MARINE DEEPWATER
  - FRESHWATER FORESTED/SHRUB WETLAND
  - FRESHWATER EMERGENT WETLAND
  - FRESHWATER POND
  - ESTUARINE AND MARINE WETLAND
  - LAKE
  - OTHER
  - RIVERINE
  - PROJECT SITE

DESIGN FIRM: **J.O. CAJIGAS & ASSOCIATES P.S.C.**  
 ARCHITECTS, ENGINEERS & LAND SURVEYORS  
 PO BOX# 1028  
 AGUADA, PUERTO RICO  
 PHONE: 787-868-5908 FAX: 787-868-5908  
 e-mail address: jocaengineers@gmail.com

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 NATIVO ALERS AVENUE (DESVIO SUR) GUAYABO  
 AND PIEDRAS BLANCAS WARD  
 MUNICIPALITY OF AGUADA, PUERTO RICO

SHEET NAME: **WETLANDS MAP**  
 SOURCE US FISH & WILD LIFE SERVICE  
<https://fwsprimary.wim.usgs.gov/wetlands/apps/wetlands-mapper/>

EXHIBIT: **M**





# PROPOSED PRELIMINARY PLANS

## PROJECT NATIVO ALERS AVENUE (DESVIO SUR)

LOCATED BETWEEN GUAYABOS AND PIEDRAS BLANCAS WARDS. NATIVO ALERS AVENUE (DESVIO SUR), MUNICIPALITY OF AGUADA, PUERTO RICO

PREPARED FOR:

**HON. CHRISTIAN E. CORTES FELICIANO, MAYOR**  
MUNICIPALITY OF AGUADA, PUERTO RICO

SUBMITTED BY:

**J. CAJIGAS & ASSOCIATES P.S.C.**

ENGINEERS, ARCHITECTS, SURVEYORS,  
PLANNERS & REAL ESTATE APPRAISERS  
AGUADA, PUERTO RICO



INGENIERO CERTIFICADO EN PUERTO RICO  
PROYECTO DE INGENIERIA CIVIL Y URBANISMO

ING. JORGE L. CAJIGAS FERRERES, P.E. PE 101

ING. JORGE L. CAJIGAS FERRERES, P.E. PE 101

### DRAWINGS INDEX

SHEET NO.	DESCRIPTION	DWG. ID
1	TITLE SHEET, DRAWINGS INDEX & LOCATION MAP	G-1
2	MASTER KEY PLAN	G-2
3	PROPOSED PRELIMINARY PLAN (MATCHLINE 1)	G-3
4	PROPOSED PRELIMINARY PLAN (MATCHLINE 1 -MATCHLINE 2)	G-4
5	PROPOSED PRELIMINARY PLAN (MATCHLINE 2 -MATCHLINE 3)	G-5
6	PROPOSED PRELIMINARY PLAN (MATCHLINE 3 -MATCHLINE 4)	G-6
7	PROPOSED PRELIMINARY PLAN (MATCHLINE 4 -MATCHLINE 5)	G-7
8	PROPOSED PRELIMINARY PLAN (MATCHLINE 5 -MATCHLINE 6)	G-8
9	PROPOSED PRELIMINARY PLAN (MATCHLINE 6 -MATCHLINE 7)	G-9
10	PROPOSED PRELIMINARY PLAN (MATCHLINE 7 -MATCHLINE 8)	G-10
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12	PROPOSED PRELIMINARY PLAN (MATCHLINE 9 -MATCHLINE 10)	G-12
13	PROPOSED PRELIMINARY PLAN (MATCHLINE 10 -MATCHLINE 11)	G-13
14	PROPOSED PRELIMINARY PLAN (MATCHLINE 11 -MATCHLINE 12)	G-14
15	PROPOSED PRELIMINARY PLAN (MATCHLINE 12)	G-15



**AERIAL MAP**  
NOT TO SCALE



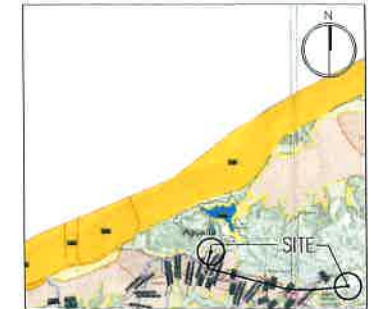
**AERIAL PHOTO**



**TOPOGRAPHIC MAP** SCALE: 1:800  
COORDINATES: PROJECT BEGINS X:121,071.15 Y:  
260,403.48 PROJECT ENDS X: 119,014.27 Y: 260,999.56



**ZONING MAP** SCALE: 1:800  
Sheet No. 001 Effective: AGO. 31, 2011



**FLOOD MAP** SCALE: 1:2,000  
Map No: 72000C0140J, 72000C0145J  
Effective: APRIL. 13, 2018 ZONE: X, AE, AE(FW)

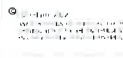


**PROJECT SITE**  
AGUADA



MUNICIPALITY OF AGUADA

PRELIMINARY PLANS  
PROJECT NATIVO ALERS AVENUE (DESVIO SUR)  
MUNICIPALITY OF AGUADA, PUERTO RICO



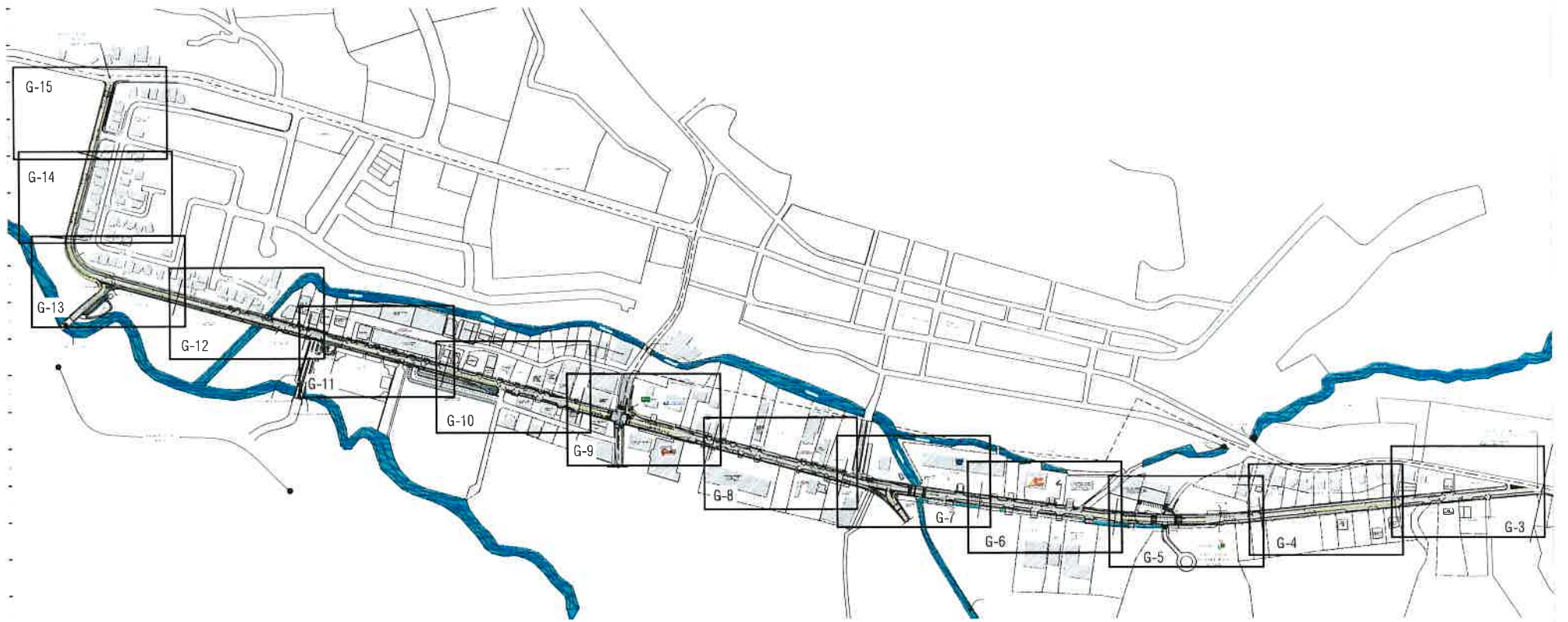
J.O. CAJIGAS & ASSOCIATES P.S.C.

TITLE SHEET - (DESVIO SUR) NATIVO ALERS AVENUE  
LOCATED BETWEEN GUAYABO AND  
PIEDRAS BLANCAS WARDS, AGUADA, PUERTO RICO

G-1

1

15



MASTER KEY PLAN

1



MUNICIPALITY OF AGUADA  
 P.O. BOX 1000, AGUADA, P.R. 00901  
 TEL: (787) 833-1111

PRELIMINARY PLANS  
 PROJECT: FIDELITY JACQUES WALKER BRIDGE  
 1/16/2014

PROJECT: FIDELITY JACQUES WALKER BRIDGE  
 1/16/2014



J.O. CAJIGAS & ASSOCIATES P.S.C.  
 ARCHITECTS, ENGINEERS AND LANDSCAPE ARCHITECTS  
 1000 N. W. 10th St., Suite 200, Ft. Lauderdale, FL 33304  
 TEL: (954) 561-1111

MASTER KEY PLAN

G-2

2  
15





PR-417 (WEST)

PROJECT BEGINS  
(X = 121071.15, Y = 260403.49)

JOEL BODY EXPRESS

SOLDIER MONUMENT

FANTASY  
PEDICURE SPA

VACANT

ANTENNA

IBIZA  
RESTAURANT

COMMERCIAL BUILDING  
• CRUCES RACING MOTORCYCLE  
• VISTA AZUL GUEST HOUSE

LEGEND:

- EXISTING ELECTRICAL POLE
- - - SCHEMATIC BOUNDARY LINE
- - - MATCH LINE
- - - CENTER LINE
- - - PROJECT LIMIT
- PROPOSED GREEN AREA
- PROPOSED SIDE WALK
- PROPOSED ROADWAY
- PROPOSED BICYCLE LANE
- PROPOSED STAMPED CONCRETE SURFACE FINISH
- PROPOSED TREE
- PROPOSED LIGHTING POLE
- ▶ TRANSIT DIRECTION ARROW
- ▨ CROSSING PAVEMENT
- ♿ ACCESSIBLE RAMP-SIDEWALK

PROPOSED PRELIMINARY PLAN MATCHLINE 1

1



MUNICIPALITY OF AGUADA  
C.A. 12-091

PRELIMINARY PLANS  
PROYECTO PARA REDESARROLLAR EL SECTOR DEL SECTOR

© 2018 J.O. CAJIGAS & ASSOCIATES P.S.C.  
DISEÑADO POR: J.O. CAJIGAS  
DISEÑADO POR: J.O. CAJIGAS

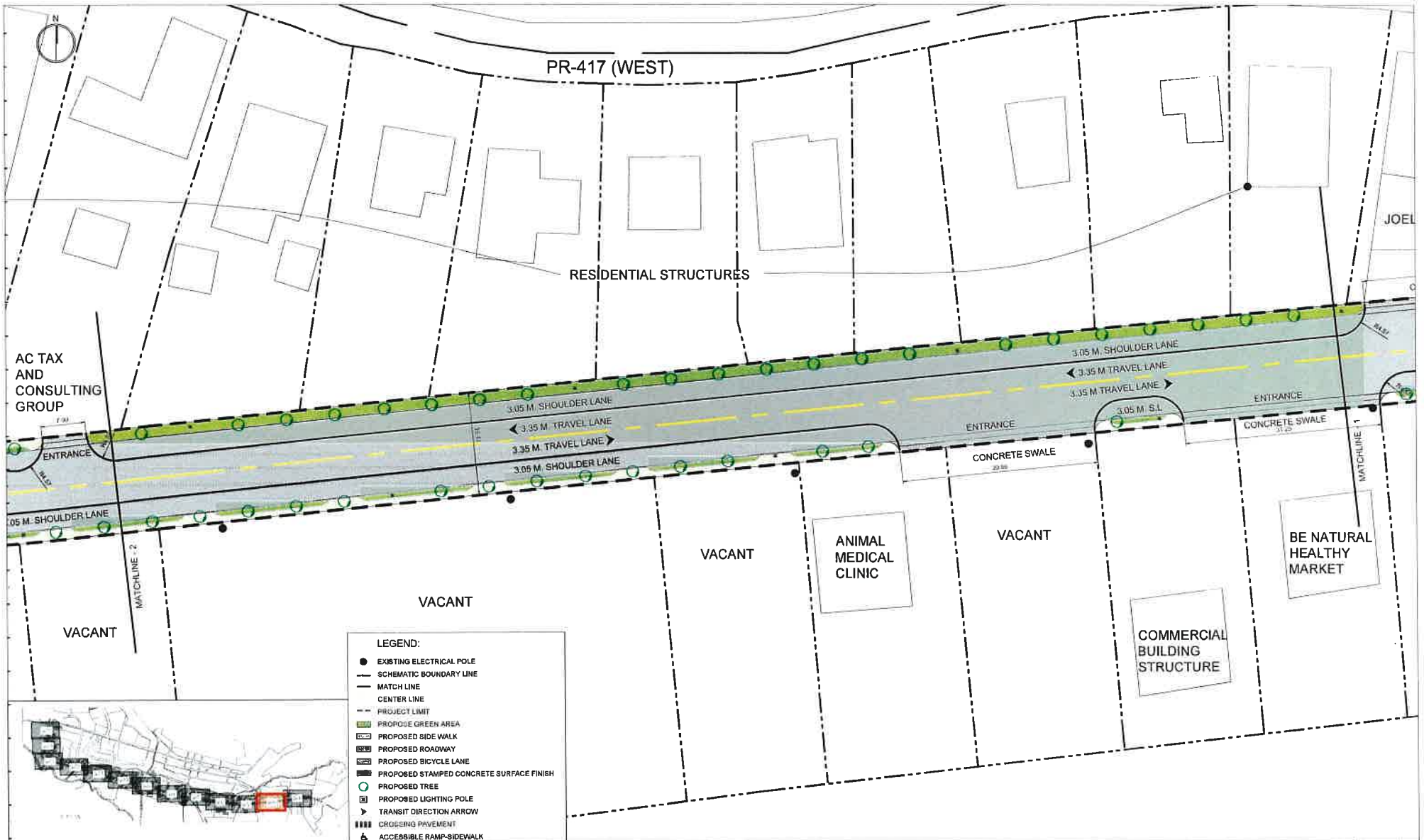


J.O. CAJIGAS & ASSOCIATES P.S.C.  
ARCHITECTS, ENGINEERS AND LAND SURVEYORS

PROPOSED PRELIMINARY PLAN MATCHLINE 1

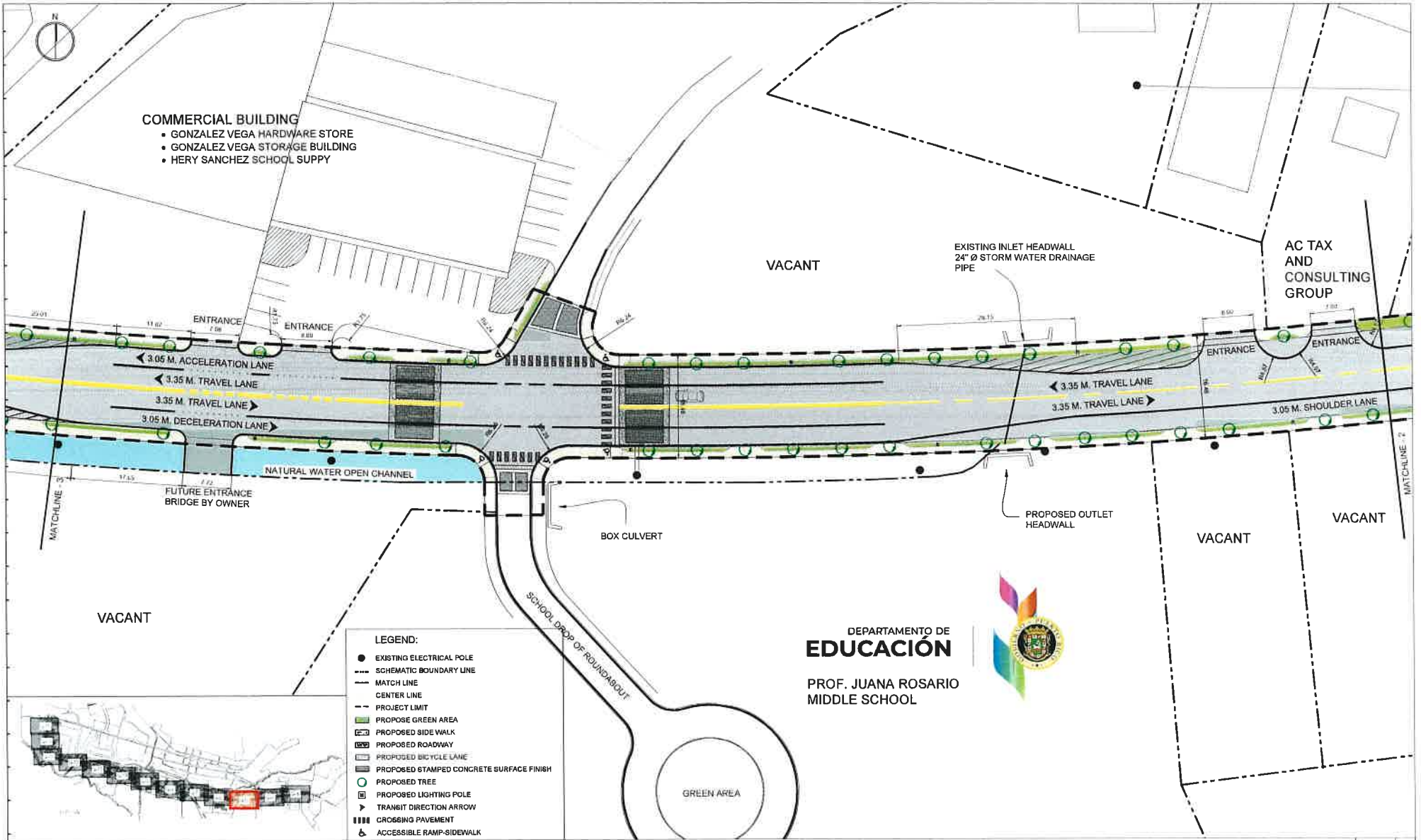
G-3

15



- LEGEND:**
- EXISTING ELECTRICAL POLE
  - - - SCHEMATIC BOUNDARY LINE
  - - - MATCH LINE
  - - - CENTER LINE
  - - - PROJECT LIMIT
  - PROPOSED GREEN AREA
  - ▨ PROPOSED SIDE WALK
  - ▩ PROPOSED ROADWAY
  - ▧ PROPOSED BICYCLE LANE
  - ▨ PROPOSED STAMPED CONCRETE SURFACE FINISH
  - PROPOSED TREE
  - PROPOSED LIGHTING POLE
  - ▶ TRANSIT DIRECTION ARROW
  - ▨ CROSSING PAVEMENT
  - ♿ ACCESSIBLE RAMP-SIDEWALK

PROPOSED PRELIMINARY PLAN MATCHLINE 1 -MATCHLINE 2



PROPOSED PRELIMINARY PLAN MATCHLINE 2 -MATCHLINE 3





VACANT

PLAZA COPPELIA

OFFICE BUILDING

COMMERCIAL BUILDING  
 • SAN ANTONIO DRUG STORE  
 • MX BOUTIQUE & MORE  
 • DROP COIN LAUNDROMAT  
 • PHYSIATRIST  
 • FIVE STAR FRAPPE

COMMERCIAL BUILDING  
 • LA AGUADEÑA HARDWARE STORE  
 • ONCE 11 RESTAURANT

- LEGEND:**
- EXISTING ELECTRICAL POLE
  - - - SCHEMATIC BOUNDARY LINE
  - - - MATCH LINE
  - - - CENTER LINE
  - - - PROJECT LIMIT
  - ▭ PROPOSED GREEN AREA
  - ▭ PROPOSED SIDE WALK
  - ▭ PROPOSED ROADWAY
  - ▭ PROPOSED BICYCLE LANE
  - ▭ PROPOSED STAMPED CONCRETE SURFACE FINISH
  - PROPOSED TREE
  - PROPOSED LIGHTING POLE
  - ▶ TRANSIT DIRECTION ARROW
  - ▨ CROSSING PAVEMENT
  - ♿ ACCESSIBLE RAMP/SIDEWALK

PROPOSED PRELIMINARY PLAN MATCHLINE 3 -MATCHLINE 4



MUNICIPALITY OF AGÜADA

PRELIMINARY PLANS  
 PROJECT IN THE ALBUQUERQUE (DETAILED SURVEY)  
 VUELO 15-12-2014-4



J.O. CAJIGAS & ASSOCIATES P.S.C.  
 ARCHITECTS ENGINEERS INTERIORS CONTRACTORS

PROPOSED PRELIMINARY PLAN  
 MATCHLINE 3 -MATCHLINE 4

G-6

15



LUCKY BLACK

MANUEL GONZALEZ RUIZ STREET EXTENSION

DAVIES BBQ AND RESTAURANT

SAN JOSE MARSH

NATURAL WATER CHANNEL



COMMERCIAL BUILDING AGUADA TOWN CENTER

- TACO MAKER
- GRANDS STORE
- DOMINOS
- MAGIC CELLULAR
- SUBWAY

EXISTING ENTRANCE TO BE CLOSED

COMMERCIAL BUILDING

VACANT

CHILLI'S FRIED CHICKEN

LA PARADITA GOURMET



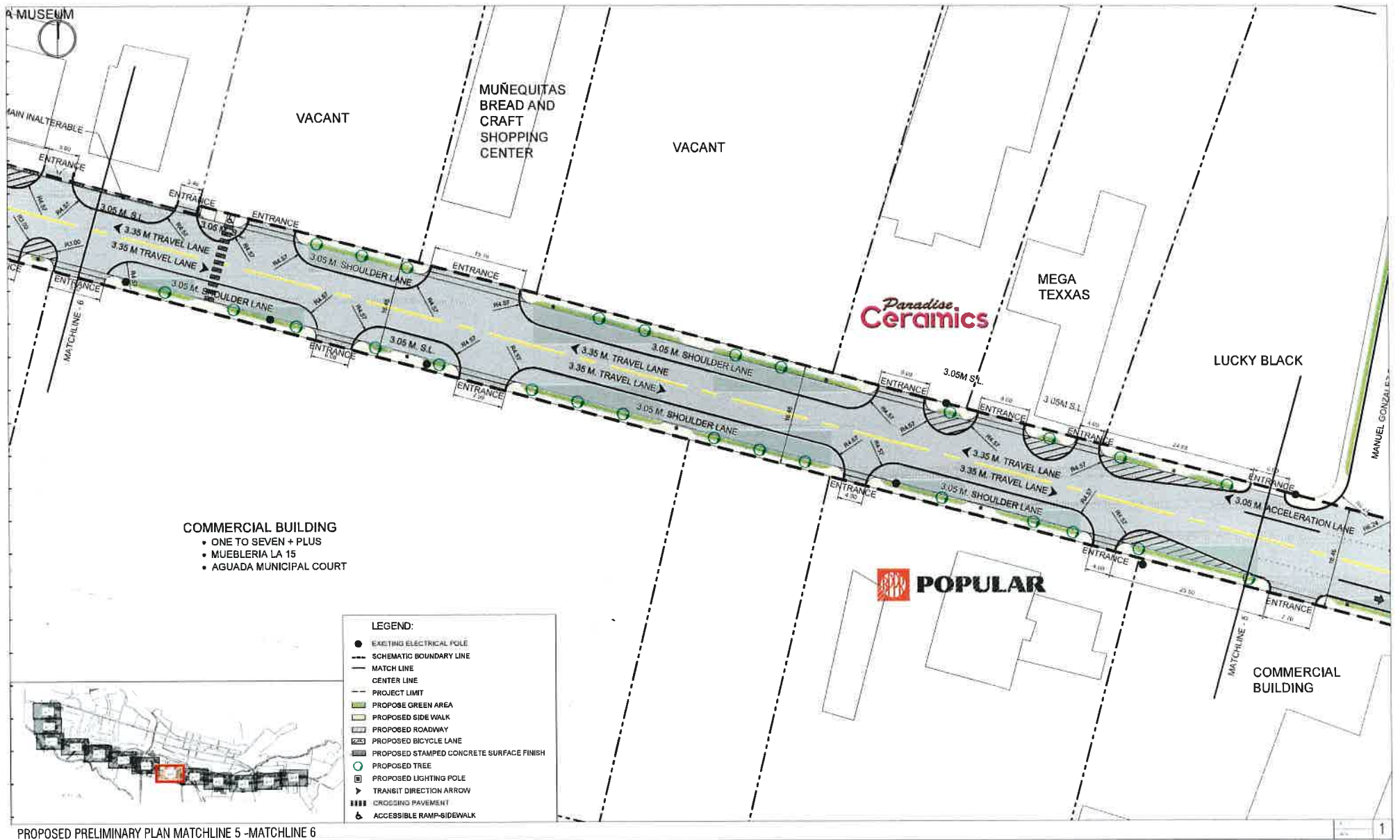
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  - - - MATCH LINE
  - - - CENTER LINE
  - - - PROJECT LIMIT
  - ▭ PROPOSED GREEN AREA
  - ▭ PROPOSED SIDE WALK
  - ▭ PROPOSED ROADWAY
  - ▭ PROPOSED BICYCLE LANE
  - ▭ PROPOSED STAMPED CONCRETE SURFACE FINISH
  - PROPOSED TREE
  - PROPOSED LIGHTING POLE
  - ▶ TRANSIT DIRECTION ARROW
  - ▨ CROSSING PAVEMENT
  - ♿ ACCESSIBLE RAMP-SIDEWALK

PROPOSED PRELIMINARY PLAN MATCHLINE 4 - MATCHLINE 5

VF

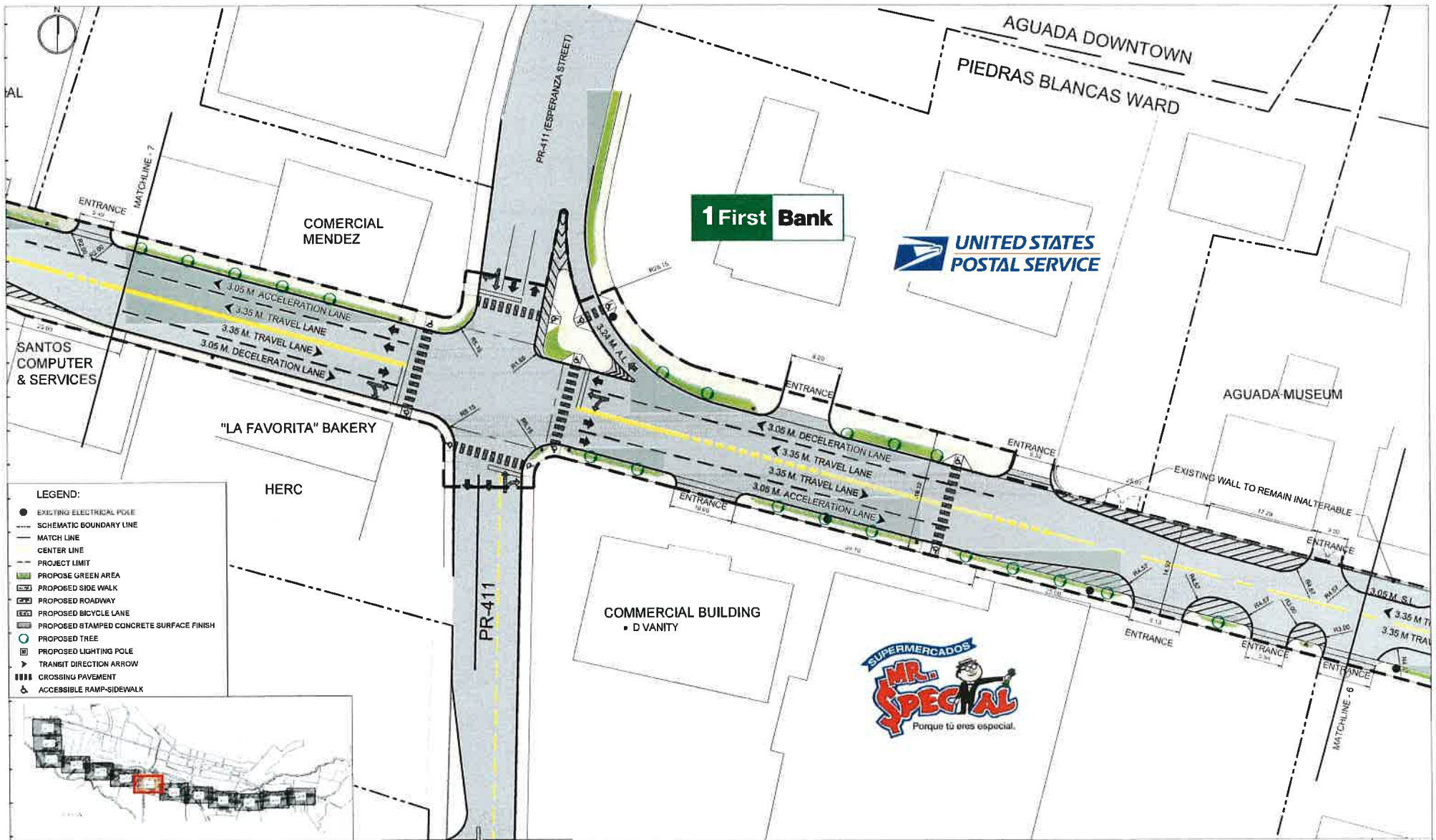
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PROPOSED PRELIMINARY PLAN MATCHLINE 5 - MATCHLINE 6

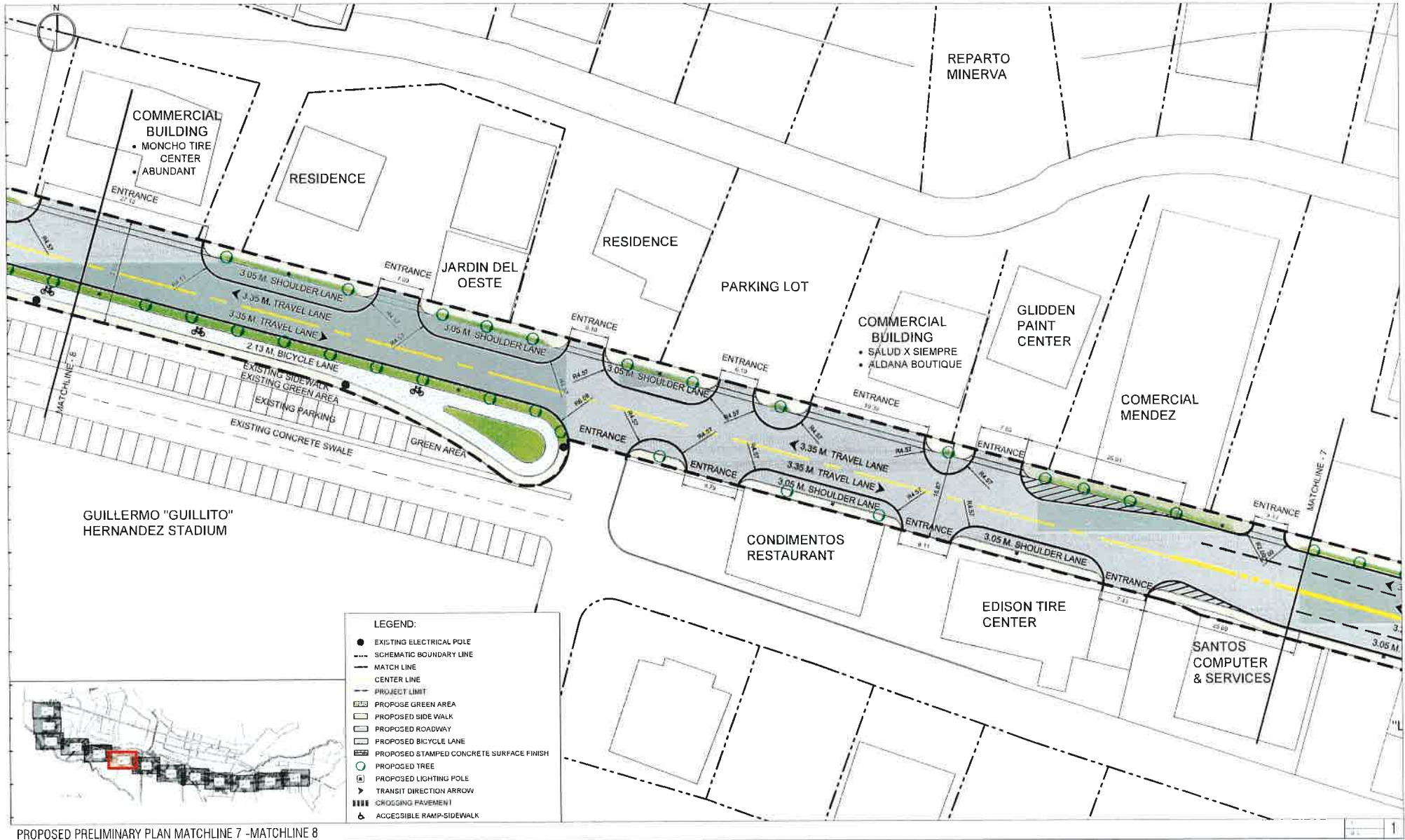




- LEGEND:**
- EXISTING ELECTRICAL POLE
  - SCHEMATIC BOUNDARY LINE
  - - - MATCH LINE
  - CENTER LINE
  - - - PROJECT LIMIT
  - PROPOSE GREEN AREA
  - ▨ PROPOSED SIDE WALK
  - ▨ PROPOSED ROADWAY
  - ▨ PROPOSED BICYCLE LANE
  - ▨ PROPOSED STAMPED CONCRETE SURFACE FINISH
  - PROPOSED TREE
  - PROPOSED LIGHTING POLE
  - ▶ TRANSIT DIRECTION ARROW
  - ▨ CROSSING PAVEMENT
  - ♿ ACCESSIBLE RAMP-SIDEWALK



PROPOSED PRELIMINARY PLAN MATCHLINE 6 -MATCHLINE 7



PROPOSED PRELIMINARY PLAN MATCHLINE 7 - MATCHLINE 8



MUNICIPALITY OF AGUADA

PRELIMINARY PLANS  
 PROJECT NO. 1010-2019-0001  
 10/10/2019



J.O. CAJIGAS & ASSOCIATES P.S.C.

PROPOSED PRELIMINARY PLAN  
 MATCHLINE 7 - MATCHLINE 8





PROPOSED PRELIMINARY PLAN MATCHLINE 8 - MATCHLINE 9



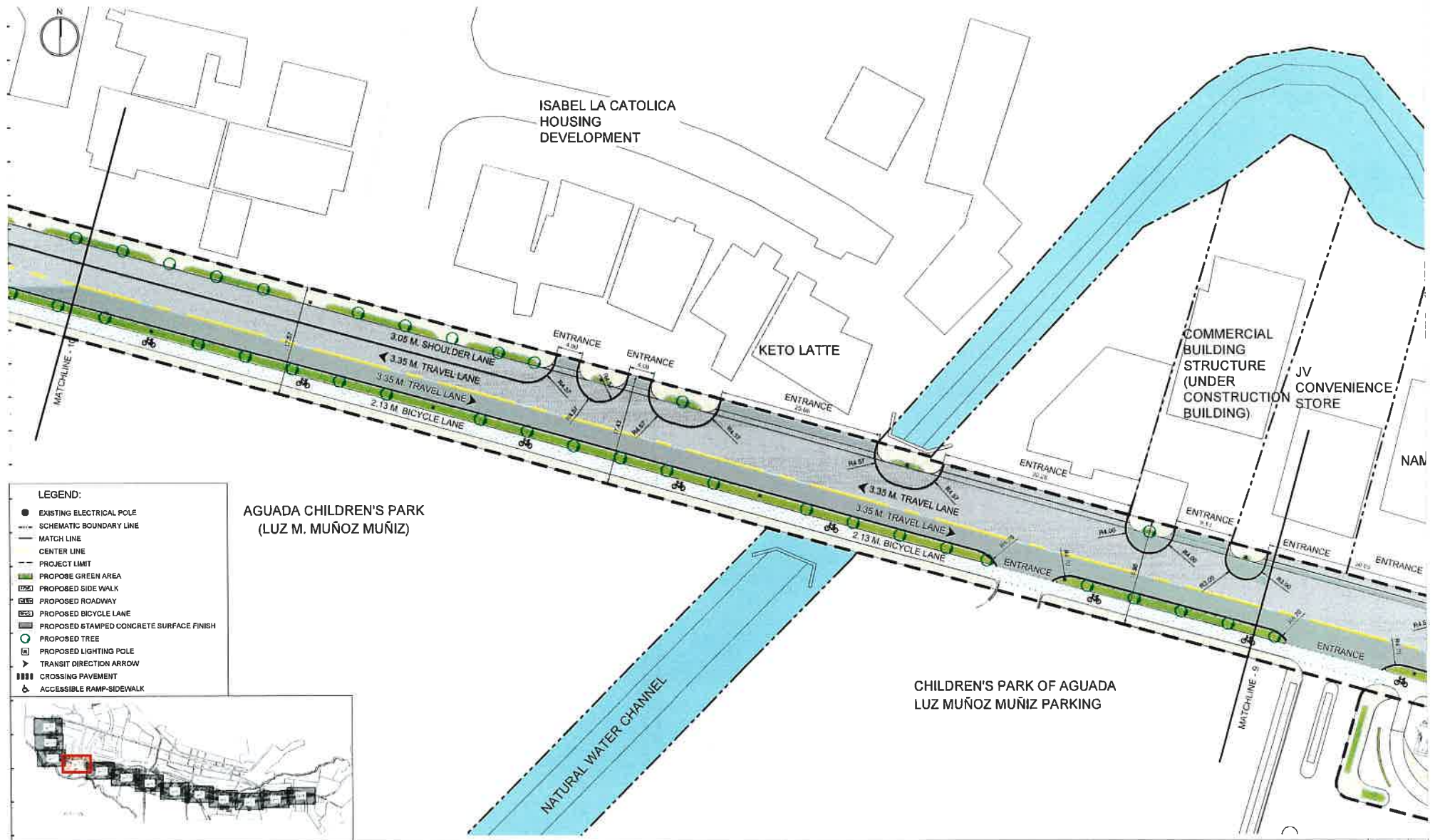
MUNICIPALITY OF AGUADA

PRELIMINARY PLANS  
 PROJECT: CENTRO ALBA, RENTA DE BICICLETAS  
 CLIENT: MUNICIPIO DE AGUADA



J.O. CAJIGAS & ASSOCIATES P.S.C.

PROPOSED PRELIMINARY PLAN  
 MATCHLINE 8 - MATCHLINE 9



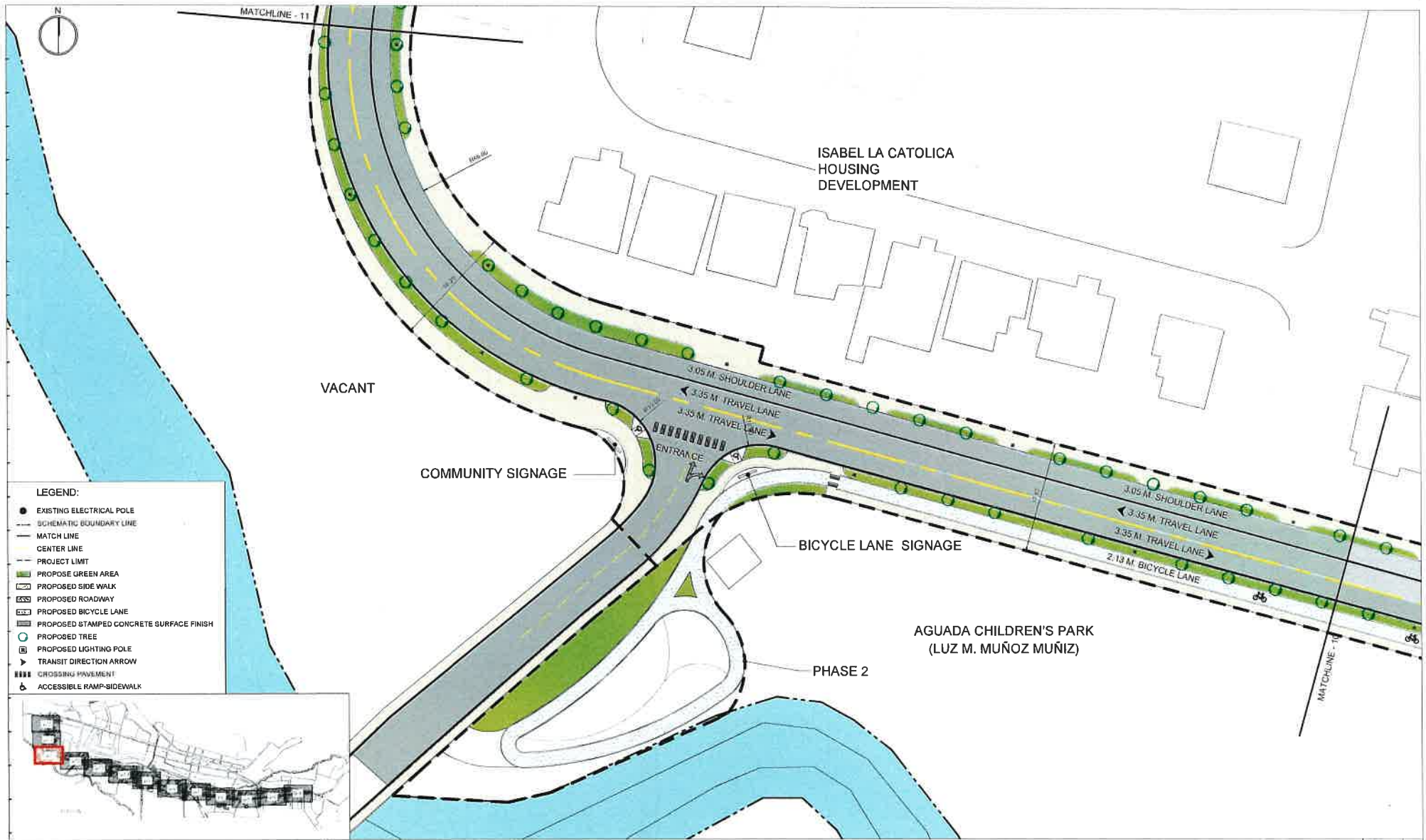
- LEGEND:**
- EXISTING ELECTRICAL POLE
  - - - SCHEMATIC BOUNDARY LINE
  - - - MATCH LINE
  - - - CENTER LINE
  - - - PROJECT LIMIT
  - PROPOSE GREEN AREA
  - ▨ PROPOSED SIDE WALK
  - ▨ PROPOSED ROADWAY
  - ▨ PROPOSED BICYCLE LANE
  - ▨ PROPOSED STAMPED CONCRETE SURFACE FINISH
  - PROPOSED TREE
  - PROPOSED LIGHTING POLE
  - ▶ TRANSIT DIRECTION ARROW
  - ▨ CROSSING PAVEMENT
  - ♿ ACCESSIBLE RAMP-SIDEWALK

AGUADA CHILDREN'S PARK  
(LUZ M. MUÑOZ MUÑIZ)



PROPOSED PRELIMINARY PLAN MATCHLINE 9 - MATCHLINE 10





PROPOSED PRELIMINARY PLAN MATCHLINE 10 -MATCHLINE 11



MUNICIPALITY OF AGUADA  
 MUNICIPIO DE AGUADA

PRELIMINARY PLANS  
 PROJECT NAMED ALBERCA AVENIDA (DES/NO SUR)  
 111-118-119-120-121-122-123-124-125-126-127-128-129-130-131-132-133-134-135-136-137-138-139-140-141-142-143-144-145-146-147-148-149-150-151-152-153-154-155-156-157-158-159-160-161-162-163-164-165-166-167-168-169-170-171-172-173-174-175-176-177-178-179-180-181-182-183-184-185-186-187-188-189-190-191-192-193-194-195-196-197-198-199-200-201-202-203-204-205-206-207-208-209-210-211-212-213-214-215-216-217-218-219-220-221-222-223-224-225-226-227-228-229-230-231-232-233-234-235-236-237-238-239-240-241-242-243-244-245-246-247-248-249-250-251-252-253-254-255-256-257-258-259-260-261-262-263-264-265-266-267-268-269-270-271-272-273-274-275-276-277-278-279-280-281-282-283-284-285-286-287-288-289-290-291-292-293-294-295-296-297-298-299-300-301-302-303-304-305-306-307-308-309-310-311-312-313-314-315-316-317-318-319-320-321-322-323-324-325-326-327-328-329-330-331-332-333-334-335-336-337-338-339-340-341-342-343-344-345-346-347-348-349-350-351-352-353-354-355-356-357-358-359-360-361-362-363-364-365-366-367-368-369-370-371-372-373-374-375-376-377-378-379-380-381-382-383-384-385-386-387-388-389-390-391-392-393-394-395-396-397-398-399-400-401-402-403-404-405-406-407-408-409-410-411-412-413-414-415-416-417-418-419-420-421-422-423-424-425-426-427-428-429-430-431-432-433-434-435-436-437-438-439-440-441-442-443-444-445-446-447-448-449-450-451-452-453-454-455-456-457-458-459-460-461-462-463-464-465-466-467-468-469-470-471-472-473-474-475-476-477-478-479-480-481-482-483-484-485-486-487-488-489-490-491-492-493-494-495-496-497-498-499-500-501-502-503-504-505-506-507-508-509-510-511-512-513-514-515-516-517-518-519-520-521-522-523-524-525-526-527-528-529-530-531-532-533-534-535-536-537-538-539-540-541-542-543-544-545-546-547-548-549-550-551-552-553-554-555-556-557-558-559-560-561-562-563-564-565-566-567-568-569-570-571-572-573-574-575-576-577-578-579-580-581-582-583-584-585-586-587-588-589-590-591-592-593-594-595-596-597-598-599-600-601-602-603-604-605-606-607-608-609-610-611-612-613-614-615-616-617-618-619-620-621-622-623-624-625-626-627-628-629-630-631-632-633-634-635-636-637-638-639-640-641-642-643-644-645-646-647-648-649-650-651-652-653-654-655-656-657-658-659-660-661-662-663-664-665-666-667-668-669-670-671-672-673-674-675-676-677-678-679-680-681-682-683-684-685-686-687-688-689-690-691-692-693-694-695-696-697-698-699-700-701-702-703-704-705-706-707-708-709-710-711-712-713-714-715-716-717-718-719-720-721-722-723-724-725-726-727-728-729-730-731-732-733-734-735-736-737-738-739-740-741-742-743-744-745-746-747-748-749-750-751-752-753-754-755-756-757-758-759-760-761-762-763-764-765-766-767-768-769-770-771-772-773-774-775-776-777-778-779-780-781-782-783-784-785-786-787-788-789-790-791-792-793-794-795-796-797-798-799-800-801-802-803-804-805-806-807-808-809-810-811-812-813-814-815-816-817-818-819-820-821-822-823-824-825-826-827-828-829-830-831-832-833-834-835-836-837-838-839-840-841-842-843-844-845-846-847-848-849-850-851-852-853-854-855-856-857-858-859-860-861-862-863-864-865-866-867-868-869-870-871-872-873-874-875-876-877-878-879-880-881-882-883-884-885-886-887-888-889-890-891-892-893-894-895-896-897-898-899-900-901-902-903-904-905-906-907-908-909-910-911-912-913-914-915-916-917-918-919-920-921-922-923-924-925-926-927-928-929-930-931-932-933-934-935-936-937-938-939-940-941-942-943-944-945-946-947-948-949-950-951-952-953-954-955-956-957-958-959-960-961-962-963-964-965-966-967-968-969-970-971-972-973-974-975-976-977-978-979-980-981-982-983-984-985-986-987-988-989-990-991-992-993-994-995-996-997-998-999-1000



J.O. CAJIGAS & ASSOCIATES P.S.C.  
 ARCHITECTS, ENGINEERS AND LAND SURVEYORS

PROPOSED PRELIMINARY PLAN  
 MATCHLINE 10 -MATCHLINE 11



VACANT

ISABEL LA CATOLICA HOUSING DEVELOPMENT

- LEGEND:**
- EXISTING ELECTRICAL POLE
  - SCHEMATIC BOUNDARY LINE
  - - - MATCH LINE
  - CENTER LINE
  - - - PROJECT LIMIT
  - PROPOSE GREEN AREA
  - PROPOSED SIDE WALK
  - ▨ PROPOSED ROADWAY
  - ▩ PROPOSED BICYCLE LANE
  - ▧ PROPOSED STAMPED CONCRETE SURFACE FINISH
  - PROPOSED TREE
  - PROPOSED LIGHTING POLE
  - ▶ TRANSIT DIRECTION ARROW
  - ▨▨▨ CROSSING PAVEMENT
  - ♿ ACCESSIBLE RAMP-SIDEWALK



PROPOSED PRELIMINARY PLAN MATCHLINE 11 -MATCHLINE 12

1



MUNICIPALITY OF AGUADA

PRELIMINARY PLANS  
PROJECT MATRO ALBERG AVENUE (DES/RO CUR)



J.O. CAJIGAS & ASSOCIATES P.S.C.

PROPOSED PRELIMINARY PLAN  
MATCHLINE 11 -MATCHLINE 12



TO AGUADA COAST/ TO RINCON

TO AGUADA DOWNTOWN

PROJECT ENDS  
(X = 119014.27, Y = 260999.56)

VACANT

ISABEL LA CATOLICA  
HOUSING  
DEVELOPMENT

MATCHLINE - 12

- LEGEND:**
- EXISTING ELECTRICAL POLE
  - - - SCHEMATIC BOUNDARY LINE
  - - - MATCH LINE
  - - - CENTER LINE
  - - - PROJECT LIMIT
  - ▨ PROPOSE GREEN AREA
  - ▨ PROPOSED SIDE WALK
  - ▨ PROPOSED ROADWAY
  - ▨ PROPOSED BICYCLE LANE
  - ▨ PROPOSED STAMPED CONCRETE SURFACE FINISH
  - PROPOSED TREE
  - ⊠ PROPOSED LIGHTING POLE
  - ▶ TRANSIT DIRECTION ARROW
  - ▨ CROSSING PAVEMENT
  - ♿ ACCESSIBLE RAMP-SIDEWALK



PROPOSED PRELIMINARY PLAN MATCHLINE 12

1



MUNICIPALITY OF AGUADA

PRELIMINARY PLANS  
PROJECT MAIN DRAWING: ANTIQUE (DESIGN SURVEY)  
DATE: 11/14/2014

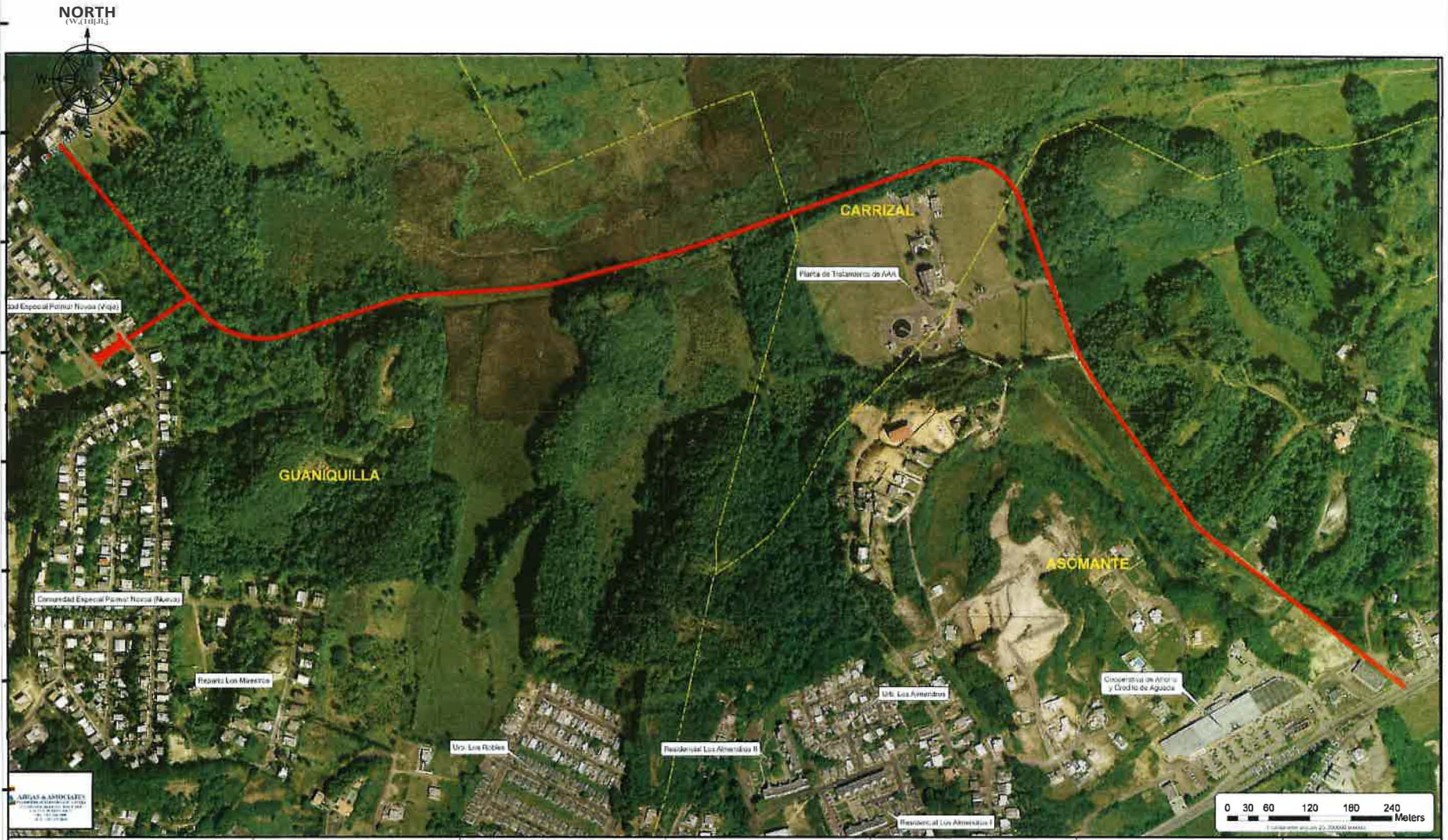


J.O. CAJIGAS & ASSOCIATES P.S.C.  
ARCHITECTS, ENGINEERS AND LAND SURVEYORS

PROPOSED PRELIMINARY PLAN  
MATCHLINE 12

G-15 15  
15





DESIGN FIRM:



J. O. CAJIGAS & ASSOCIATES P.S.C.  
 ARCHITECTS, ENGINEERS & LAND SURVEYORS  
 PO BOX# 1028  
 AGUADA, PUERTO RICO  
 PHONE: 787-868-5908 FAX: 787-868-5908  
 e-mail address: jocaengineers@gmail.com

PROJECT NAME:

**EL NUEVO DESVIO SUR**

PROYECTO ID. PR-CPR-000837  
 NATIVO ALERS AVENUE (DESVIO SUR) GUAYABO  
 AND PIEDRAS BLANCAS WARD  
 MUNICIPALITY OF AGUADA, PUERTO RICO

SHEET NAME:

**ALTERNATIVE NORTH  
 BOUNDARY SITE**

SOURCE: ARCGIS  
[https://www.arcgis.com/apps/  
 mapviewer/index.html](https://www.arcgis.com/apps/mapviewer/index.html)

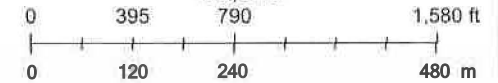
EXHIBIT:

**5**





1:9,028



DESIGN FIRM:



J.O. CAJIGAS & ASSOCIATES P.S.C.  
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**EL NUEVO DESVIO SUR**

PROJECT ID. PR-CPR-000837  
 NATIVO ALERS AVENUE (DESVIO SUR) GUAYABO  
 AND PIEDRAS BLANCAS WARD  
 MUNICIPALITY OF AGUADA, PUERTO RICO

SHEET NAME:

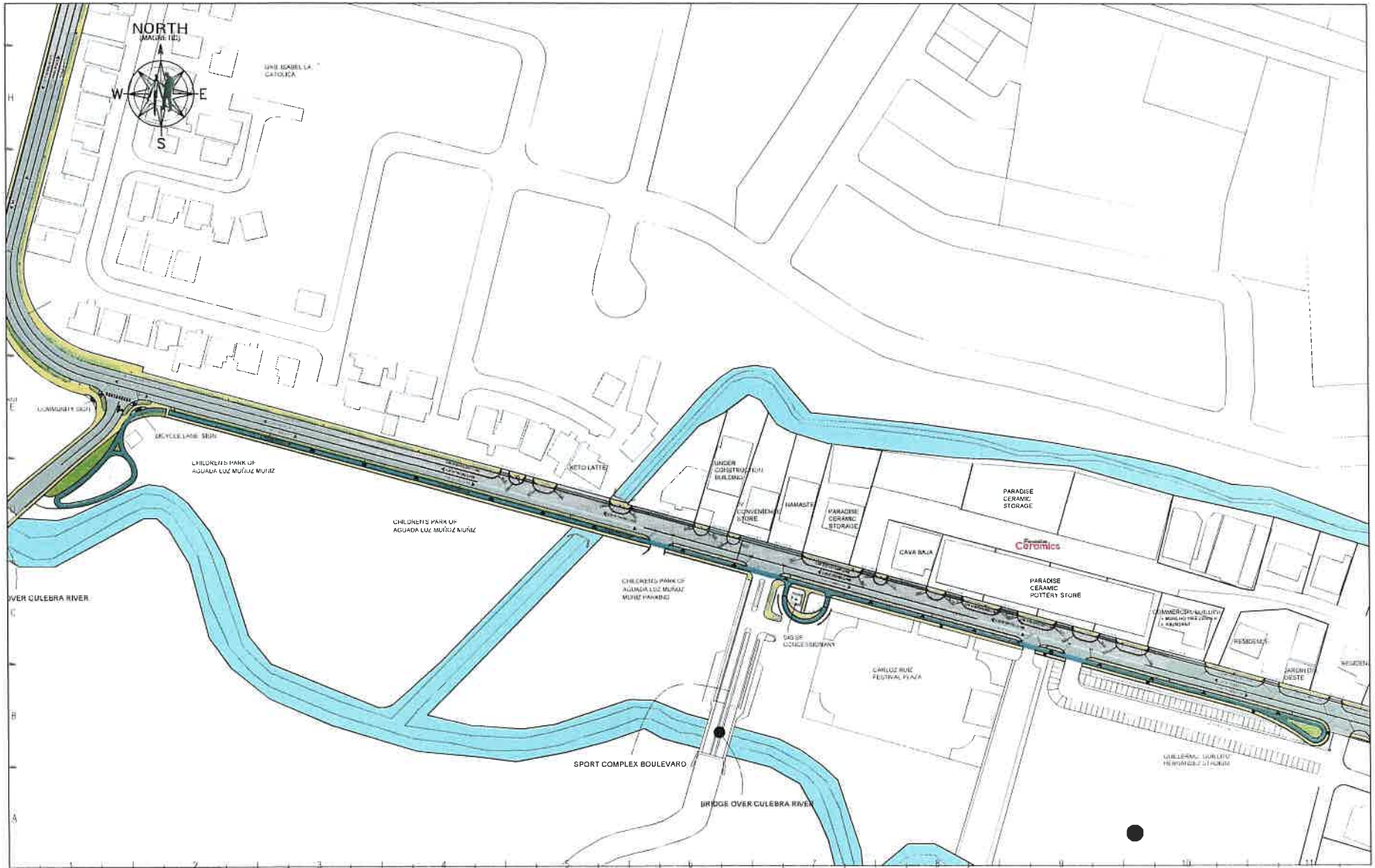
**ALTERNATIVE SOUTH  
 BOUNDARY SITE**

SOURCE: ARCGIS  
<https://www.arcgis.com/apps/mapviewer/index.html>

EXHIBIT:

**6**





DESIGN FIRM:



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PROJECT NAME:

**EL NUEVO DESVIO SUR**  
 NATIVO ALERS AVENUE (DESVIO SUR) GUAYABO  
 AND PIEDRAS BLANCAS WARD  
 MUNICIPALITY OF AGUADA, PUERTO RICO

SHEET NAME:

**NEW PEDESTRIAN/BIKE PATH**

SCALE: 1:2500

EXHIBIT:

**7**



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT  
WASHINGTON, DC 20410-1000

## Historic Preservation (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/historic-preservation>

### Threshold

#### Is Section 106 review required for your project?

- No, because a Programmatic Agreement states that all activities included in this project are exempt. (See the [PA Database](#) to find applicable PAs.)

**Either provide the PA itself or a link to it here. Mark the applicable exemptions or include the text here:**

[Click here to enter text.](#)

→ *Continue to the Worksheet Summary.*

- No, because the project consists solely of activities included in a No Potential to Cause Effects memo or other determination [36 CFR 800.3(a)(1)].

**Either provide the memo itself or a link to it here. Explain and justify the other determination here:**

[Click here to enter text.](#)

→ *Continue to the Worksheet Summary.*

- Yes, because the project includes activities with potential to cause effects (direct or indirect). → *Continue to Step 1.*

#### **The Section 106 Process**

After determining the need to do a Section 106 review, HUD or the RE will initiate consultation with regulatory and other interested parties, identify and evaluate historic properties, assess effects of the project on properties listed on or eligible for the National Register of Historic Places, and resolve any adverse effects through project design modifications or mitigation.

Step 1: Initiate consultation

Step 2: Identify and evaluate historic properties

Step 3: Assess effects of the project on historic properties

Step 4: Resolve any adverse effects

**Only RE or HUD staff may initiate the Section 106 consultation process. Partner entities may gather information, including from SHPO records, identify and evaluate historic properties, and make initial assessments of effects of the project on properties listed in or eligible for the National Register of Historic Place. Partners should then provide their RE or HUD with all of their analysis and documentation so that they may initiate consultation.**

#### Step 1 - Initiate Consultation

The following parties are entitled to participate in Section 106 reviews: Advisory Council on Historic Preservation; State Historic Preservation Officers (SHPOs); federally recognized Indian tribes/Tribal

Historic Preservation Officers (THPOs); Native Hawaiian Organizations (NHOs); local governments; and project grantees. The general public and individuals and organizations with a demonstrated interest in a project may participate as consulting parties at the discretion of the RE or HUD official. Participation varies with the nature and scope of a project. Refer to HUD's website for guidance on consultation, including the required timeframes for response. Consultation should begin early to enable full consideration of preservation options.

Use the [When To Consult With Tribes checklist](#) within [Notice CPD-12-006: Process for Tribal Consultation](#) to determine if the RE or HUD should invite tribes to consult on a particular project. Use the [Tribal Directory Assessment Tool \(TDAT\)](#) to identify tribes that may have an interest in the area where the project is located. Note that only HUD or the RE may initiate consultation with Tribes. Partner entities may prepare a draft letter for the RE or HUD to use to initiate consultation with tribes, but may not send the letter themselves.

**List all organizations and individuals that you believe may have an interest in the project here:**

Puerto Rico State Historic Preservation Officer

→ *Continue to Step 2.*

## **Step 2 - Identify and Evaluate Historic Properties**

**Provide a preliminary definition of the Area of Potential Effect (APE), either by entering the address(es) or providing a map depicting the APE.** Attach an additional page if necessary.

Based on this definition and the nature and scope of the Undertaking, the Program has determined that the direct APE for this project is 1.43 Kms. (1,438.07 Mts.) and the visual APE is the viewshed of the proposed project. Based on this definition and the nature and scope of the Undertaking, the Program has determined that the direct APE for this project is 6.85 Acres, and the visual APE is the urban blocks located immediately to the north and south of the Nativo Alers Avenue. See Appendix E for maps and documentation.

Gather information about known historic properties in the APE. Historic buildings, districts and archeological sites may have been identified in local, state, and national surveys and registers, local historic districts, municipal plans, town and county histories, and local history websites. If not already listed on the National Register of Historic Places, identified properties are then evaluated to see if they are eligible for the National Register. Refer to HUD's website for guidance on identifying and evaluating historic properties.

**In the space below, list historic properties identified and evaluated in the APE.**

Every historic property that may be affected by the project should be listed. For each historic property or district, include the National Register status, whether the SHPO has concurred with the finding, and whether information on the site is sensitive. Attach an additional page if necessary.

See Appendix E for the analysis of the historic properties potentially affected, along with all correspondence with the State Historic Preservation Officer (SHPO).

Consultation with the SHPO regarding the Department of Housing of Puerto Rico (PRDOH) Program was initiated on October 20, 2022, with a letter indicating that PRDOH contracted Horne Federal LLC to provide environmental registry review services, among others, that will support the objectives of the agenda for both CDBG-DR and CDBG -MIT Programs. Consultation with PRDOH regarding the proposed Project and a determination that no historic properties would be affected was initiated with a letter to that office dated July 3, 2023. On July 13, 2020, SHPO concluded that, although the Antigua Estacion del Tren, a property eligible for listing on the National Register of Historic Places, is located within the project's area of potential effects, implementation of the undertaking will have no adverse effect on this historic property.

The Project is in compliance with the National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800.

*Provide the documentation (survey forms, Register nominations, concurrence(s) and/or objection(s), notes, and photos) that justify your National Register Status determination.*

**Was a survey of historic buildings and/or archeological sites done as part of the project?**

If the APE contains previously unsurveyed buildings or structures over 50 years old, or there is a likely presence of previously unsurveyed archeological sites, a survey may be necessary. For Archeological surveys, refer to HP Fact Sheet #6, [Guidance on Archeological Investigations in HUD Projects](#).

Yes → *Provide survey(s) and report(s) and continue to Step 3.*

Additional notes:

[Click here to enter text.](#)

No → *Continue to Step 3.*

**Step 3 - Assess Effects of the Project on Historic Properties**

Only properties that are listed on or eligible for the National Register of Historic Places receive further consideration under Section 106. Assess the effect(s) of the project by applying the Criteria of Adverse Effect. ([36 CFR 800.5](#)) Consider direct and indirect effects as applicable as per HUD guidance.

**Choose one of the findings below to recommend to the RE or HUD.**

**Please note: this is a recommendation only. It is **not** the official finding, which will be made by the RE or HUD, but only your suggestion as a Partner entity.**

No Historic Properties Affected

**Document reason for finding:**

No historic properties present.

Historic properties present, but project will have no effect upon them.

No Adverse Effect

**Document reason for finding and provide any comments below.**

Comments may include recommendations for mitigation, monitoring, a plan for unanticipated discoveries, etc.

[Click here to enter text.](#)

Adverse Effect

**Document reason for finding:**

Copy and paste applicable Criteria into text box with summary and justification.

Criteria of Adverse Effect: [36 CFR 800.5](#)]

[Click here to enter text.](#)

**Provide any comments below:**

Comments may include recommendations for avoidance, minimization, and/or mitigation.

[Click here to enter text.](#)

*Remember to provide all documentation that justifies your National Register Status determination and recommendations along with this worksheet.*



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT  
WASHINGTON, DC 20410-1000

## Noise (EA Level Reviews) – PARTNER

<https://www.hudexchange.info/programs/environmental-review/noise-abatement-and-control>

### 1. What activities does your project involve? Check all that apply:

- New construction for residential use

NOTE: HUD assistance to new construction projects is generally prohibited if they are located in an Unacceptable zone, and HUD discourages assistance for new construction projects in Normally Unacceptable zones. See 24 CFR 51.101(a)(3) for further details.

→ Continue to Question 2.

- Rehabilitation of an existing residential property

NOTE: For major or substantial rehabilitation in Normally Unacceptable zones, HUD encourages mitigation to reduce levels to acceptable compliance standards. For major rehabilitation in Unacceptable zones, HUD strongly encourages mitigation to reduce levels to acceptable compliance standards. See 24 CFR 51 Subpart B for further details.

→ Continue to Question 2.

- None of the above

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.

### 2. Complete the Preliminary Screening to identify potential noise generators in the vicinity (1000' from a major road, 3000' from a railroad, or 15 miles from an airport).

Indicate the findings of the Preliminary Screening below:

- There are no noise generators found within the threshold distances above.

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide a map showing the location of the project relative to any noise generators.

- Noise generators were found within the threshold distances.

→ Continue to Question 3.

### 3. Complete the Noise Assessment Guidelines to quantify the noise exposure. Indicate the findings of the Noise Assessment below:

- Acceptable (65 decibels or less; the ceiling may be shifted to 70 decibels in circumstances described in §24 CFR 51.105(a))

**Indicate noise level here:** [Click here to enter text.](#)

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide noise analysis, including noise level and data used to complete the analysis.

Normally Unacceptable: (Above 65 decibels but not exceeding 75 decibels; the floor may be shifted to 70 decibels in circumstances described in 24 CFR 51.105(a))

**Indicate noise level here:** [Click here to enter text.](#)

If project is rehabilitation:

→ Continue to Question 4. Provide noise analysis, including noise level and data used to complete the analysis.

If project is new construction:

**Is the project in a largely undeveloped area<sup>1</sup>?**

No

Yes → **The project requires completion of an Environmental Impact Statement (EIS) pursuant to 51.104(b)(1)(i).**

→ Continue to Question 4. Provide noise analysis, including noise level and data used to complete the analysis.

Unacceptable: (Above 75 decibels)

**Indicate noise level here:** [Click here to enter text.](#)

If project is rehabilitation:

HUD strongly encourages conversion of noise-exposed sites to land uses compatible with high noise levels. Consider converting this property to a non-residential use compatible with high noise levels.

→ Continue to Question 4. Provide noise analysis, including noise level and data used to complete the analysis, and any other relevant information.

If project is new construction:

**The project requires completion of an Environmental Impact Statement (EIS) pursuant to 51.104(b)(1)(i). Work with HUD or the RE to either complete an EIS or obtain a waiver signed by the appropriate authority.**

→ Continue to Question 4.

**4. HUD strongly encourages mitigation be used to eliminate adverse noise impacts. Work with the RE/HUD on the development of the mitigation measures that must be implemented to mitigate for the impact or effect, including the timeline for implementation.**

Mitigation as follows will be implemented:

[Click here to enter text.](#)

→ Provide drawings, specifications, and other materials as needed to describe the project's noise mitigation measures.

Continue to the Worksheet Summary.

No mitigation is necessary.

---

<sup>1</sup> A largely undeveloped area means the area within 2 miles of the project site is less than 50 percent developed with urban uses and does not have water and sewer capacity to serve the project.



**Explain why mitigation will not be made here:**

Click here to enter text.

→ *Continue to the Worksheet Summary.*

**Worksheet Summary**

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

**Include all documentation supporting your findings in your submission to HUD.**

- The project consists of the rehabilitation of an existing avenue. By that means, no residential activity will be involve as part of this project.

The project complies with the Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B.



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT  
WASHINGTON, DC 20410-1000

## Sole Source Aquifers (CEST and EA) - PARTNER

<https://www.hudexchange.info/environmental-review/sole-source-aquifers>

### 1. Is the project located on a sole source aquifer (SSA)<sup>1</sup>?

No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide documentation used to make your determination, such as a map of your project or jurisdiction in relation to the nearest SSA.*

Yes → *Continue to Question 2.*

### 2. Does the project consist solely of acquisition, leasing, or rehabilitation of an existing building(s)?

Yes → *The review is in compliance with this section. Continue to the Worksheet Summary below.*

No → *Continue to Question 3.*

### 3. Does your region have a memorandum of understanding (MOU) or other working agreement with EPA for HUD projects impacting a sole source aquifer?

Contact your Field or Regional Environmental Officer or visit the HUD webpage at the link above to determine if an MOU or agreement exists in your area.

Yes → *Continue to Question 4.*

No → *Continue to Question 5.*

### 4. Does your MOU or working agreement exclude your project from further review?

Yes → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide documentation used to make your determination and document where your project fits within the MOU or agreement.*

No → *Continue to Question 5.*

### 5. Will the proposed project contaminate the aquifer and create a significant hazard to public health?

Consult with your Regional EPA Office. Your consultation request should include detailed information about your proposed project and its relationship to the aquifer and associated streamflow source area. EPA will also want to know about water, storm water and waste water at the proposed project. Follow your MOU or working agreement or contact your Regional EPA office for specific information you may need to provide. EPA may request additional information if impacts to the aquifer are questionable after this information is submitted for review.

---

<sup>1</sup> A sole source aquifer is defined as an aquifer that supplies at least 50 percent of the drinking water consumed in the area overlying the aquifer. This includes streamflow source areas, which are upstream areas of losing streams that flow into the recharge area.

- No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide your correspondence with the EPA and all documents used to make your determination.*
- Yes → *The RE/HUD will work with EPA to develop mitigation measures. If mitigation measures are approved, attach correspondence with EPA and include the mitigation measures in your environmental review documents and project contracts. If EPA determines that the project continues to pose a significant risk to the aquifer, federal financial assistance must be denied. Continue to Question 6.*

### **Worksheet Summary**

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

PR-CRP-

### **Include all documentation supporting your findings in your submission to HUD.**

There are no EPA Sole Source Aquifers in Puerto Rico. Furthermore, the project consists of activities that are unlikely to have an adverse impact of ground water resources. The project is in compliance with Sole Source Aquifers requirements.

Refer to Appendix B, Exhibit L.



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT  
WASHINGTON, DC 20410-1000

## Wetlands (CEST and EA) – Partner

<https://www.hudexchange.info/environmental-review/wetlands-protection>

**1. Does this project involve new construction as defined in Executive Order 11990, expansion of a building's footprint, or ground disturbance?**

The term "new construction" includes draining, dredging, channelizing, filling, diking, impounding, and related activities and construction of any any structures or facilities.

No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.*

Yes → *Continue to Question 2.*

**2. Will the new construction or other ground disturbance impact a wetland as defined in E.O. 11990?**

No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide a map or any other relevant documentation to explain your determination.*

Yes → *Work with HUD or the RE to assist with the 8-Step Process.* *Continue to Question 3.*

**3. Does Section 55.12 state that the 8-Step Process is not required?**

No, the 8-Step Process applies.

This project will require mitigation and may require elevating structure or structures. See the link to the HUD Exchange above for information on HUD's elevation requirements.

→ *Work with the RE/HUD to assist with the 8-Step Process. Continue to Worksheet Summary.*

5-Step Process is applicable per 55.12(a).

**Provide the applicable citation at 24 CFR 55.12(a) here.**

[Click here to enter text.](#)

→ *Work with the RE/HUD to assist with the 5-Step Process. This project may require mitigation or alternations. Continue to Worksheet Summary.*

8-Step Process is inapplicable per 55.12(b).

**Provide the applicable citation at 24 CFR 55.12(b) here.**

[Click here to enter text.](#)

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to Worksheet Summary.*

8-Step Process is inapplicable per 55.12(c).

**Provide the applicable citation at 24 CFR 55.12(c) here.**

Click here to enter text.

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to Worksheet Summary.*

### **Worksheet Summary**

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

### **Include all documentation supporting your findings in your submission to HUD.**

U.S. Fish and Wildlife Service National Wetlands Inventory (NWI) mapping shows Freshwater Emergent Wetlands with the Project site. However, these wetlands were impacted by the growth of the urban area of the town, including the road and roadway right-of-way. Currently, no wetland is within the Project site, because they were already impacted by the development of the Desvio Sur Avenue. The Project complies with Executive Order 11990, particularly sections 2 and 5. Refer to map in the Appendix B at Exhibit M.



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT  
WASHINGTON, DC 20410-1000

## Wild and Scenic Rivers (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/wild-and-scenic-rivers>

### 1. Is your project within proximity of a Wild and Scenic River, Study River, or Nationwide Rivers Inventory River?

No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Provide documentation used to make your determination.*

Yes → *Continue to Question 2.*

### 2. Could the project do *any* of the following?

- Have a direct and adverse effect within Wild and Scenic River Boundaries,
- Invade the area or unreasonably diminish the river outside Wild and Scenic River Boundaries, or
- Have an adverse effect on the natural, cultural, and/or recreational values of a NRI segment.

Consult with the appropriate federal/state/local/tribal Managing Agency(s), pursuant to Section 7 of the Act, to determine if the proposed project may have an adverse effect on a Wild & Scenic River or a Study River and, if so, to determine the appropriate avoidance or mitigation measures.

#### Select one:

The Managing Agency has concurred that the proposed project will not alter, directly, or indirectly, any of the characteristics that qualifies or potentially qualifies the river for inclusion in the NWSRS.

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Provide documentation of the consultation (including the Managing Agency's concurrence) and any other documentation used to make your determination.*

The Managing Agency was consulted and the proposed project may alter, directly, or indirectly, any of the characteristics that qualifies or potentially qualifies the river for inclusion in the NWSRS.

→ *The RE/HUD must work with the Managing Agency to identify mitigation measures to mitigate the impact or effect of the project on the river.*

### **Worksheet Summary**

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

**Include all documentation supporting your findings in your submission to HUD.**

- Puerto Rico has only two wild and scenic rivers, which are located approximately 97 miles to the East of the Project site.
- For this reason, there would be no impact of the project with respect to the wild and scenic river.

The Project complies with the Wild and Scenic Rivers Act of 1968, particularly section 7(b) and (c).

See Appendix B, Exhibit N.





U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT  
WASHINGTON, DC 20410-1000

## Environmental Justice (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/environmental-justice>

**HUD strongly encourages starting the Environmental Justice analysis only after all other laws and authorities, including Environmental Assessment factors if necessary, have been completed.**

**1. Were any adverse environmental impacts identified in any other compliance review portion of this project's total environmental review?**

Yes → *Continue to Question 2.*

No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.*

**2. Were these adverse environmental impacts disproportionately high for low-income and/or minority communities?**

Yes

**Explain:**

Click here to enter text.

→ *The RE/HUD must work with the affected low-income or minority community to decide what mitigation actions, if any, will be taken. Provide any supporting documentation.*

No

**Explain:**

Click here to enter text.

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.*

### **Worksheet Summary**

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

**Include all documentation supporting your findings in your submission to HUD.**

No adverse environmental impact were identified in any other compliance review portion of this project's total environmental review. The Project is in compliance with Executive Order 12898.

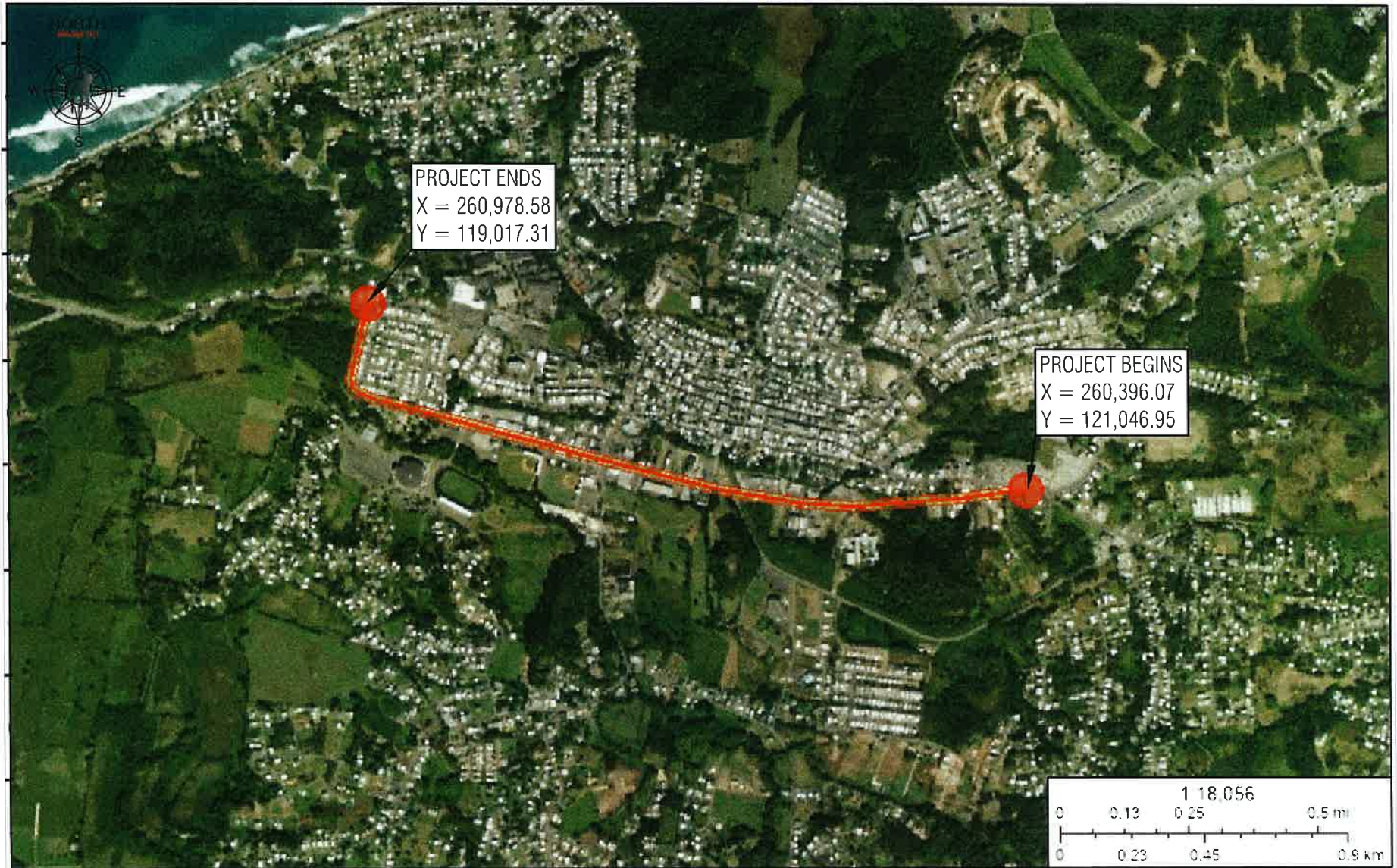
**Appendix B**

**EXHIBITS**

## APPENDIX B – EXHIBITS

TABLE OF CONTENTS	
<b>A</b>	AERIAL
<b>B</b>	TOPOGRAPHIC MAP
<b>C</b>	AIRPORT HAZARDS
<b>D</b>	COASTAL BARRIER RESOURCE SYSTEM
<b>E</b>	FLOOD ZONE MAP
<b>F</b>	COASTAL ZONE MAP
<b>G</b>	CONTAMINATION AND TOXIC SUBSTANCES MAP
<b>H</b>	CRITICAL HABITAT MAP
<b>I</b>	FARMLANDS PROTECTION
<b>J</b>	FLOOD PLAIN MANAGEMENT
<b>K</b>	HISTORIC PROTECTION PLAN
<b>L</b>	SOLE SOURCE AQUIFERS MAP
<b>M</b>	WETLANDS MAP
<b>N</b>	WILD AND SCENIC RIVERS MAP

Project Start: 18.377552, -67.180452  
Project End: 18.382739, -67.199681



DESIGN FIRM:



**J.O. CAJIGAS & ASSOCIATES P.S.C.**

ARCHITECTS, ENGINEERS & LAND SURVEYORS  
PO BOX # 1028

AGUADA, PUERTO RICO  
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PROJECT NAME:

**EL NUEVO DESVIO SUR**

PROJECT ID: PR-CPR-000837  
NATIVO ALERS AVENUE (DESVIO SUR) GUAYABO  
AND PIEDRAS BLANCAS WARD  
MUNICIPALITY OF AGUADA, PUERTO RICO

SHEET NAME:

**AERIAL MAP**

SOURCE: EPA & NEPA FRS INTEREST

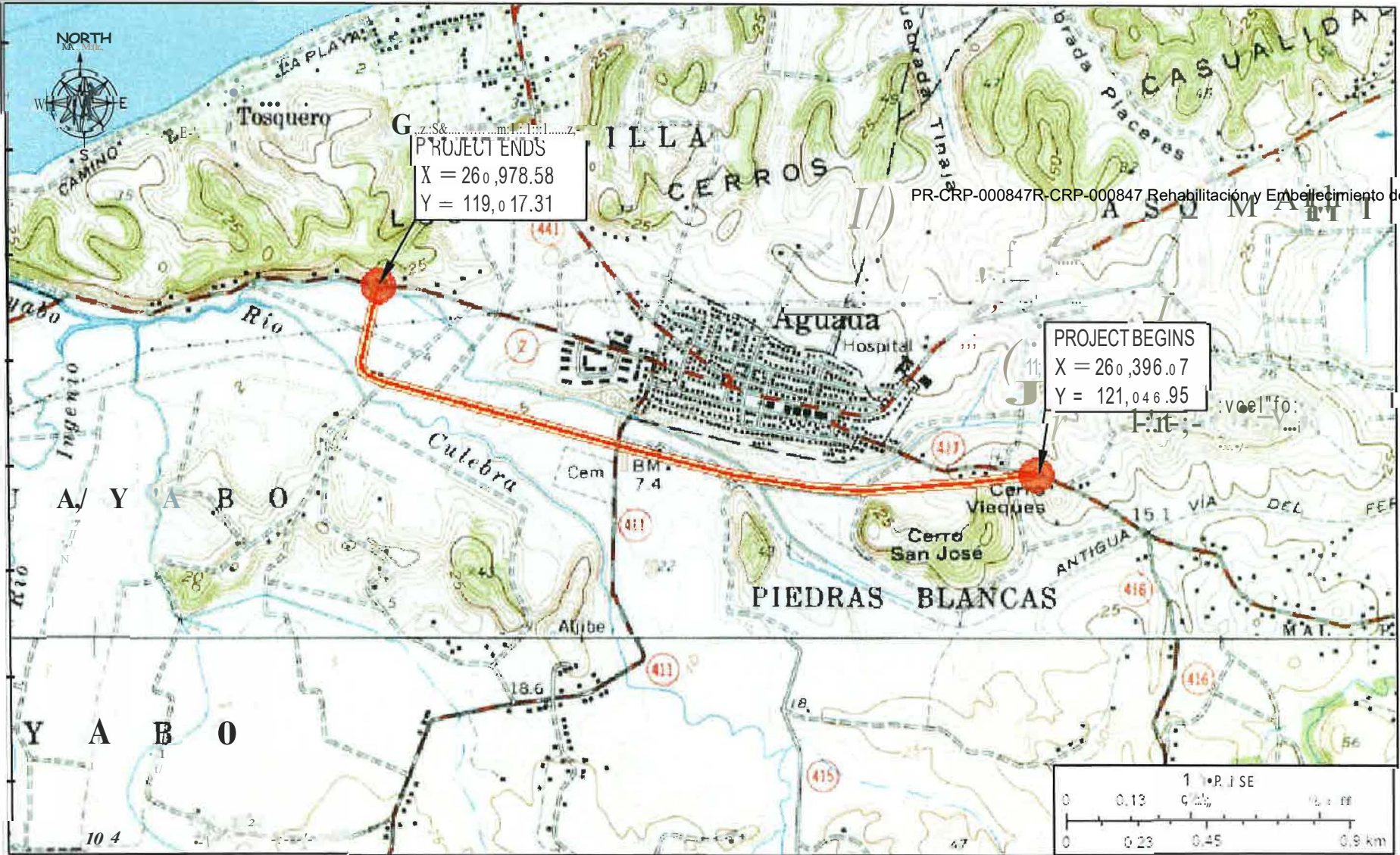
<https://www.arcgis.com/apps/mapviewer/index.html>

EXHIBIT:

**A**



Project Start: 18.377552, -67.180452  
Project End: 18.382739, -67.199681



PROJECT ENDS  
X = 260,978.58  
Y = 119,017.31

PROJECT BEGINS  
X = 260,396.07  
Y = 121,046.95

PR-CRP-000847R-CRP-000847 Rehabilitación y Embellecimiento del Poblado Boquero

DESIGN FIRM



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PROJECT NAME

EL NUEVO DESVIO SUR

PROJECT ID. PR-CPR-000837  
NATIVO ALERS AVENUE (DESVIO SUR) GUAYABO  
AND PIEDRAS BLANCAS WARD  
MUNICIPALITY OF AGUADA, PUERTO RICO

SHEET NAME

TOPOGRAPHIC MAP

PROJECT BEGINS (X 260,396.07, Y = 121,046.95)  
PROJECT ENDS (X 260,978.58, Y = 119,017.31)  
SOURCE EPA & NEPA FRS INTEREST  
<https://apps.nationalmap.gov/viewer/>

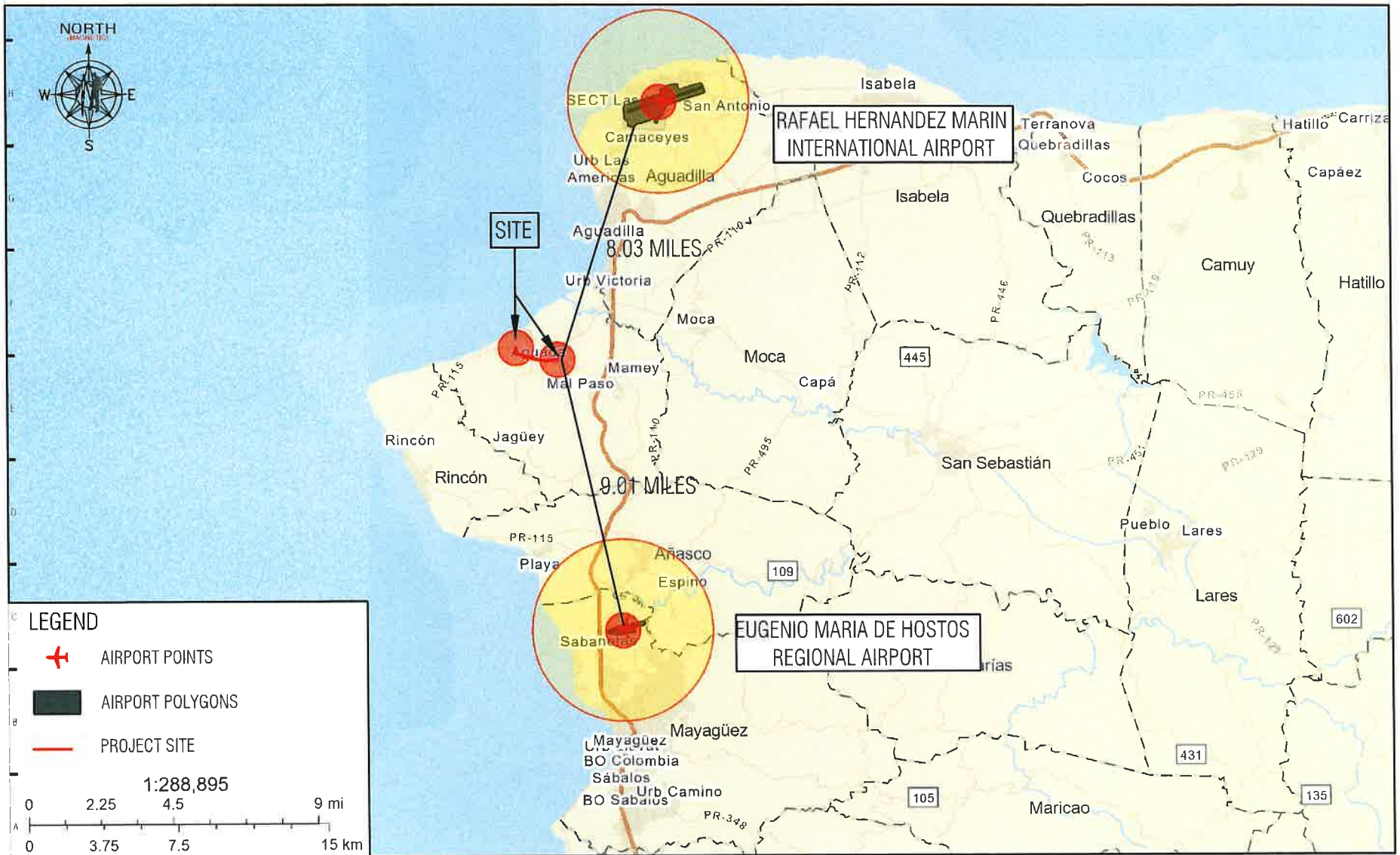
EXHIBIT

B



Project Start: 18.377552, -67.180452

Project End: 18.382739, -67.199681



DESIGN FIRM:



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PROJECT NAME:

**EL NUEVO DESVIO SUR**

PROJECT ID. PR-CPR-000837  
NATIVO ALERS AVENUE (DESVIO SUR) GUAYABO  
AND PIEDRAS BLANCAS WARD  
MUNICIPALITY OF AGUADA, PUERTO RICO

SHEET NAME:

**AIRPORT HAZARDS**

SOURCE: EPA & NEPA FRS INTEREST

(<https://catastro.crimpr.net/cdprpc/>),  
Federal Aviation Administration (FAA)  
National Transportation Atlas 2022  
([https://services2.arcgis.com/FiaPA4ga0iQKduv3/arcgis/rest/services/ntad\\_airports\\_v1/FeatureServer](https://services2.arcgis.com/FiaPA4ga0iQKduv3/arcgis/rest/services/ntad_airports_v1/FeatureServer))

EXHIBIT:

**C**



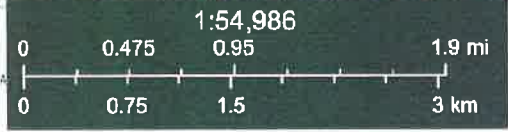
**U.S. Fish and Wildlife Service**  
**Coastal Barrier Resources System**

PR-CPR-000837



PROJECT ENDS  
 X = 260,978.58  
 Y = 119,017.31

PROJECT BEGINS  
 X = 260,396.07  
 Y = 121,046.95



**LEGEND**

- CBR BUFFER ZONE
- SYSTEM UNIT
- OTHERWISE PROTECTED AREA
- PROJECT SITE

DESIGN FIRM: **J.O. CAJIGAS & ASSOCIATES P.S.C.**  
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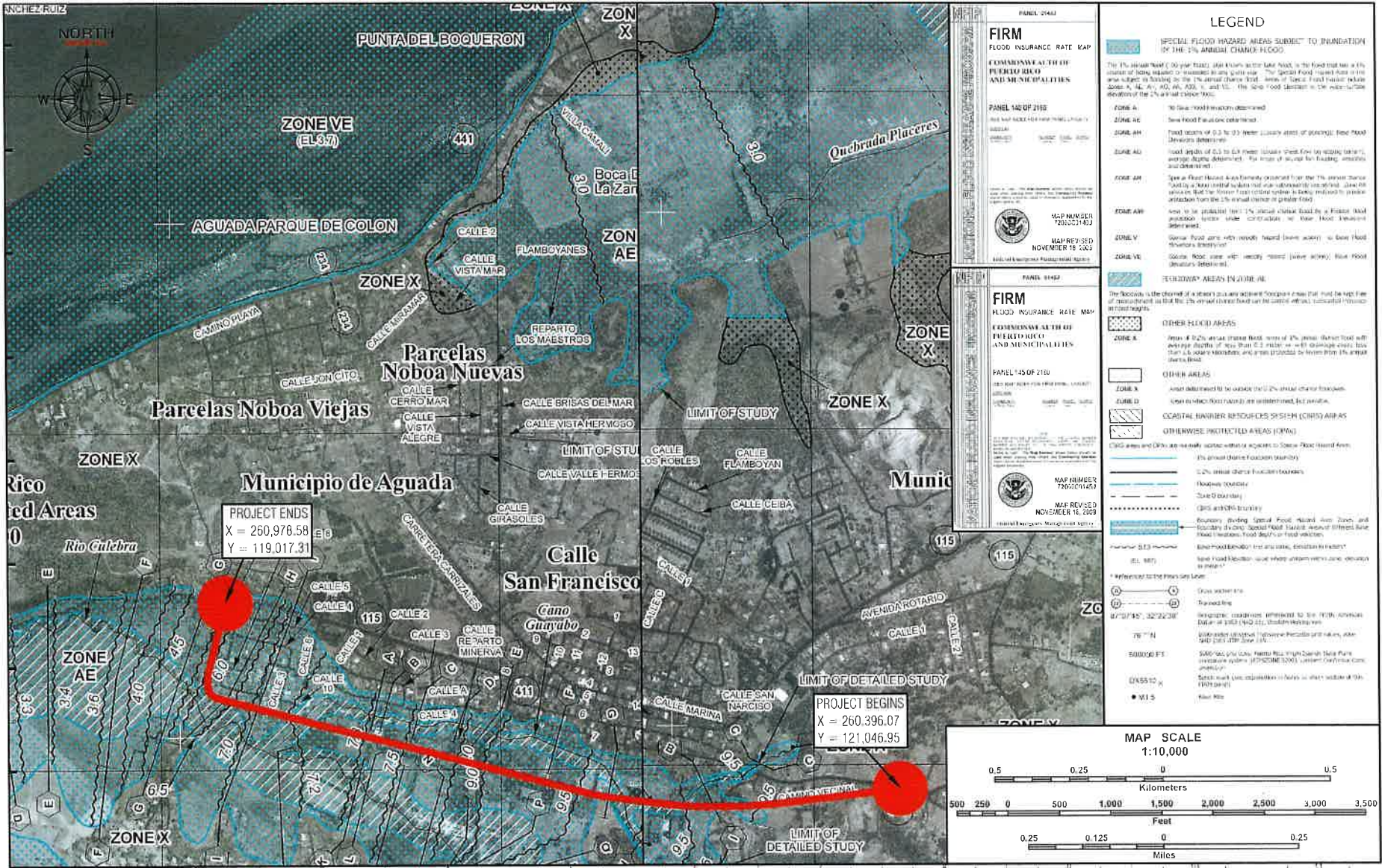
PROJECT NAME: **EL NUEVO DESVIO SUR**  
 PROJECT ID: PR-CPR-000837  
 NATIVO ALERS AVENUE (DESVIO SUR) GUAYABO  
 AND PIEDRAS BLANCAS WARD  
 MUNICIPALITY OF AGUADA, PUERTO RICO

SHEET NAME:  
**COASTAL BARRIER RESOURCE SYSTEM**  
 THIS PAGE WAS PRODUCED BY THE CBRS MAPPER  
<https://fwsprimary.wim.usgs.gov/CBRSMapper-v2/>

EXHIBIT:  
**D**



Project Start: 18.377552, -67.180425  
 Project End: 18.382739, -67.199681



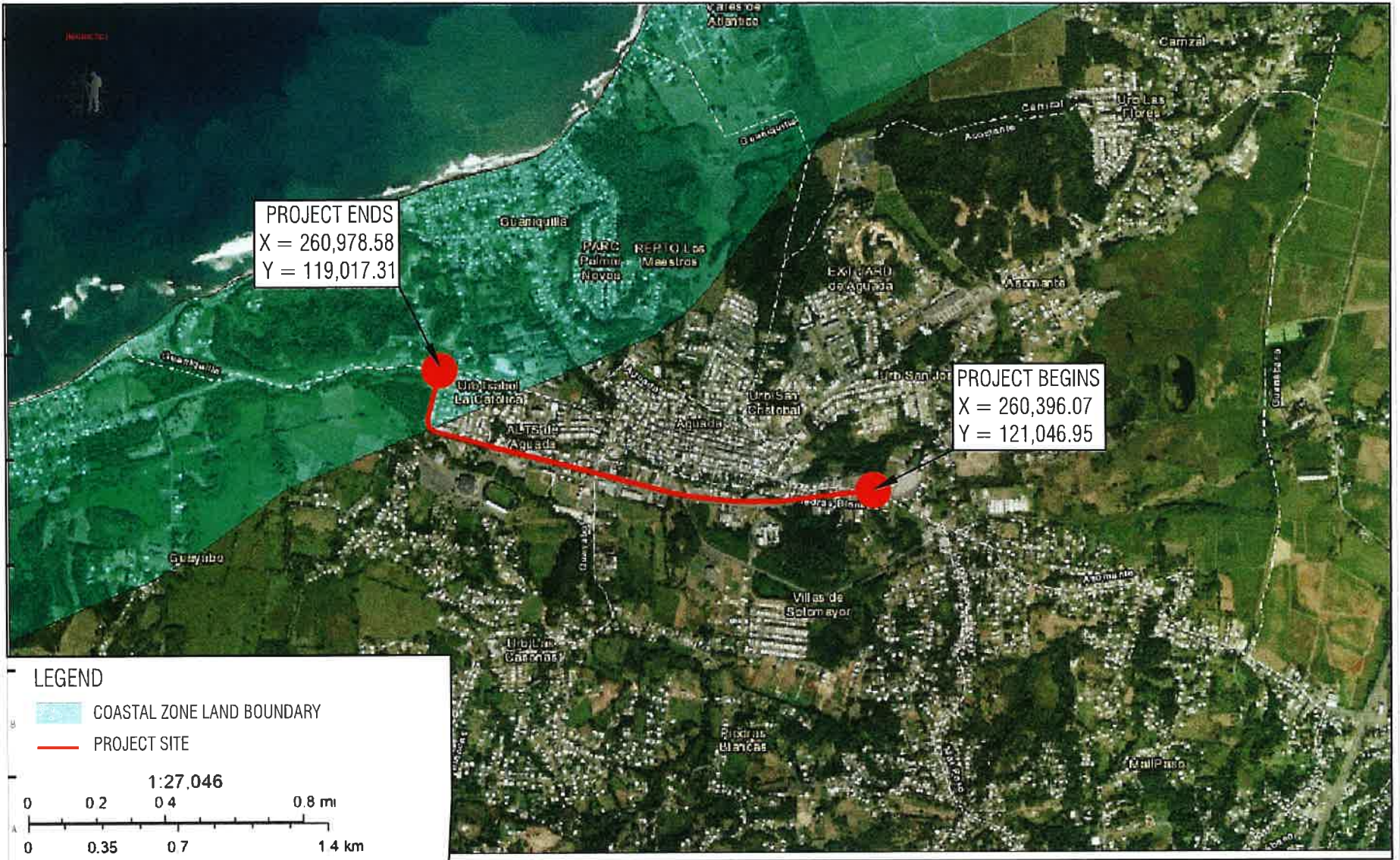
DESIGN FIRM:  
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PROJECT NAME:  
**EL NUEVO DESVIO SUR**  
 PROJECT ID: PR-CPR-000837  
 NATIVO ALERS AVENUE (DESVIO SUR) GUAYABO  
 AND PIEDRAS BLANCAS WARD  
 MUNICIPALITY OF AGUADA, PUERTO RICO

SHEET NAME:  
**FLOOD ZONE MAP**  
 SOURCE: FEMA  
<https://msc.fema.gov.portal/home>

EXHIBIT:  
**E**





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**EL NUEVO DESVIO SUR**  
 PROJECT ID: PR-CPR-000837  
 NATIVO ALERS AVENUE (DESVIO SUR) GUAYABO  
 AND PIEDRAS BLANCAS WARD  
 MUNICIPALITY OF AGUADA, PUERTO RICO

SHEET NAME:

**COASTAL ZONE MANAGEMENT**  
 SOURCE: ARCGIS

<https://www.arcgis.com/apps/mapviewer/index.html>

EXHIBIT:

**F**





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PROJECT NAME:

**EL NUEVO DESVIO SUR**

PROJECT ID: PR-CPR-000837  
 NATIVO ALERS AVENUE (DESVIO SUR) GUAYABO  
 AND PIEDRAS BLANCAS WARD  
 MUNICIPALITY OF AGUADA, PUERTO RICO

SHEET NAME:

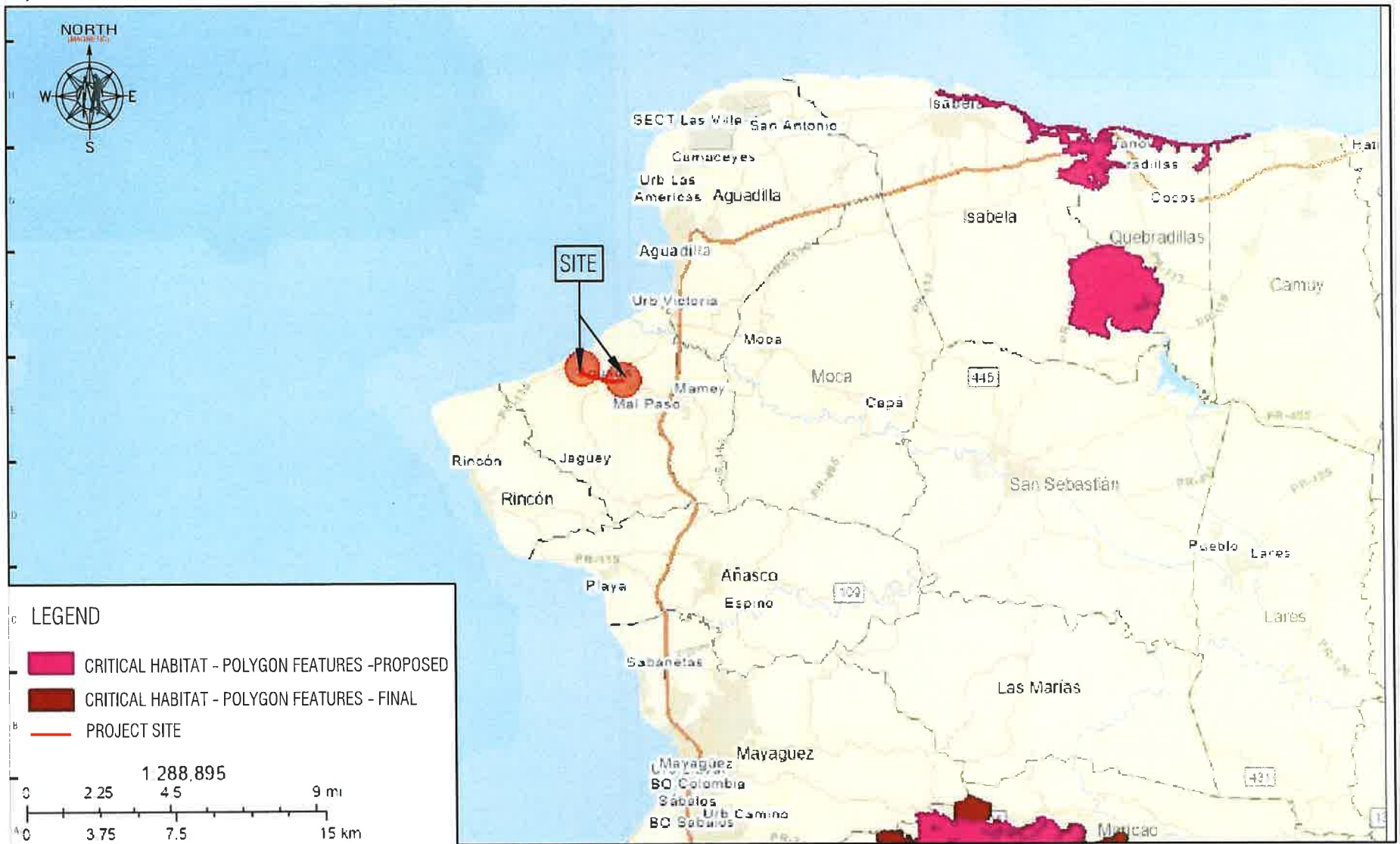
**CONTAMINATION AND TOXIC  
 SUBSTANCES MAP**

SOURCE: EPA & NEPA FRIS INTEREST

<https://nepassistool.epa.gov/nepassist/nepamap.aspx>

EXHIBIT:

**G**



**LEGEND**

- CRITICAL HABITAT - POLYGON FEATURES - PROPOSED
- CRITICAL HABITAT - POLYGON FEATURES - FINAL
- PROJECT SITE

1 288,895

0 2.25 4.5 9 mi

0 3.75 7.5 15 km

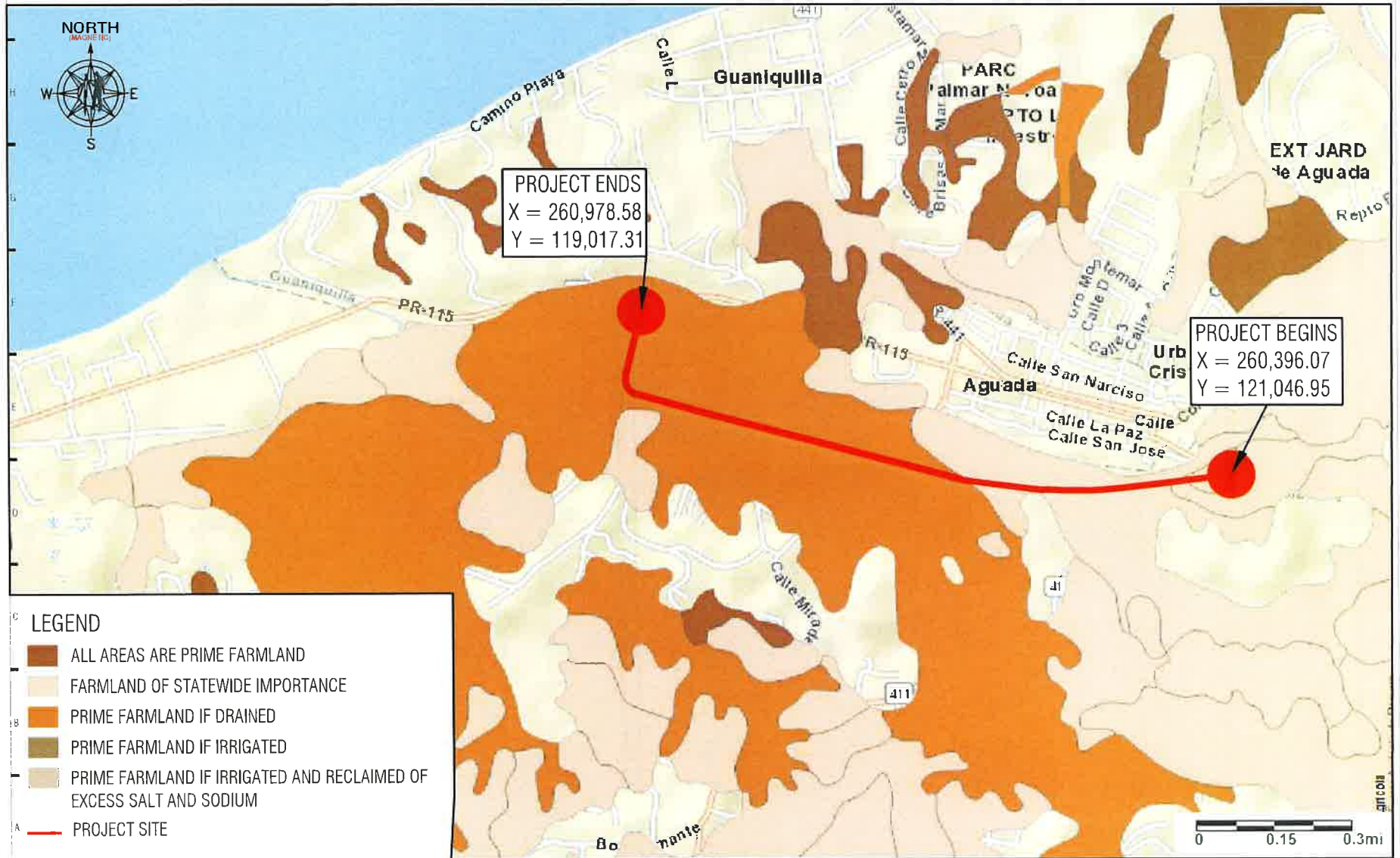
DESIGN FIRM: **J.O. CAJIGAS & ASSOCIATES P.S.C.**  
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 e-mail address: jocaengineers@gmail.com

PROJECT NAME: **EL NUEVO DESVIO SUR**  
 PROJECT ID: PR-CPR-000837  
 NATIVO ALERS AVENUE (DESVIO SUR) GUAYABO  
 AND PIEDRAS BLANCAS WARD  
 MUNICIPALITY OF AGUADA, PUERTO RICO

SHEET NAME: **CRITICAL HABITAT MAP**  
 SOURCE: EPA & NEPA FRIS INTEREST

EXHIBIT: **H**





**LEGEND**

- ALL AREAS ARE PRIME FARMLAND
- FARMLAND OF STATEWIDE IMPORTANCE
- PRIME FARMLAND IF DRAINED
- PRIME FARMLAND IF IRRIGATED
- PRIME FARMLAND IF IRRIGATED AND RECLAIMED OF EXCESS SALT AND SODIUM
- PROJECT SITE

DESIGN FIRM: **J.O. CAJIGAS & ASSOCIATES P.S.C.**  
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PROJECT NAME: **EL NUEVO DESVIO SUR**  
 PROJECT ID: PR-CPR-000837  
 NATIVO ALERS AVENUE (DESVIO SUR) GUAYABO  
 AND PIEDRAS BLANCAS WARD  
 MUNICIPALITY OF AGUADA, PUERTO RICO

SHEET NAME: **FARMLANDS PROTECTION**  
 SOURCE: JUNTA PLANIFICACION DE PUERTO RICO  
<https://weboilsurvey.sc.egov.usda.gov>

EXHIBIT: **1**

# Exhibit J - ABFE Map

ArcGIS My Map

Open in Map Viewer Modify Map Sign In

Details Basemap

Print Measure Avenida Nativo Alers, Guayabo, Aguada, 00602, PRI

**Legend**

**PuertoRico\_ABFE\_1PCT**  
Advisory Base Flood Elevation (zoom in to make visible)

**Flood Hazard Area** (zoom in to make visible)

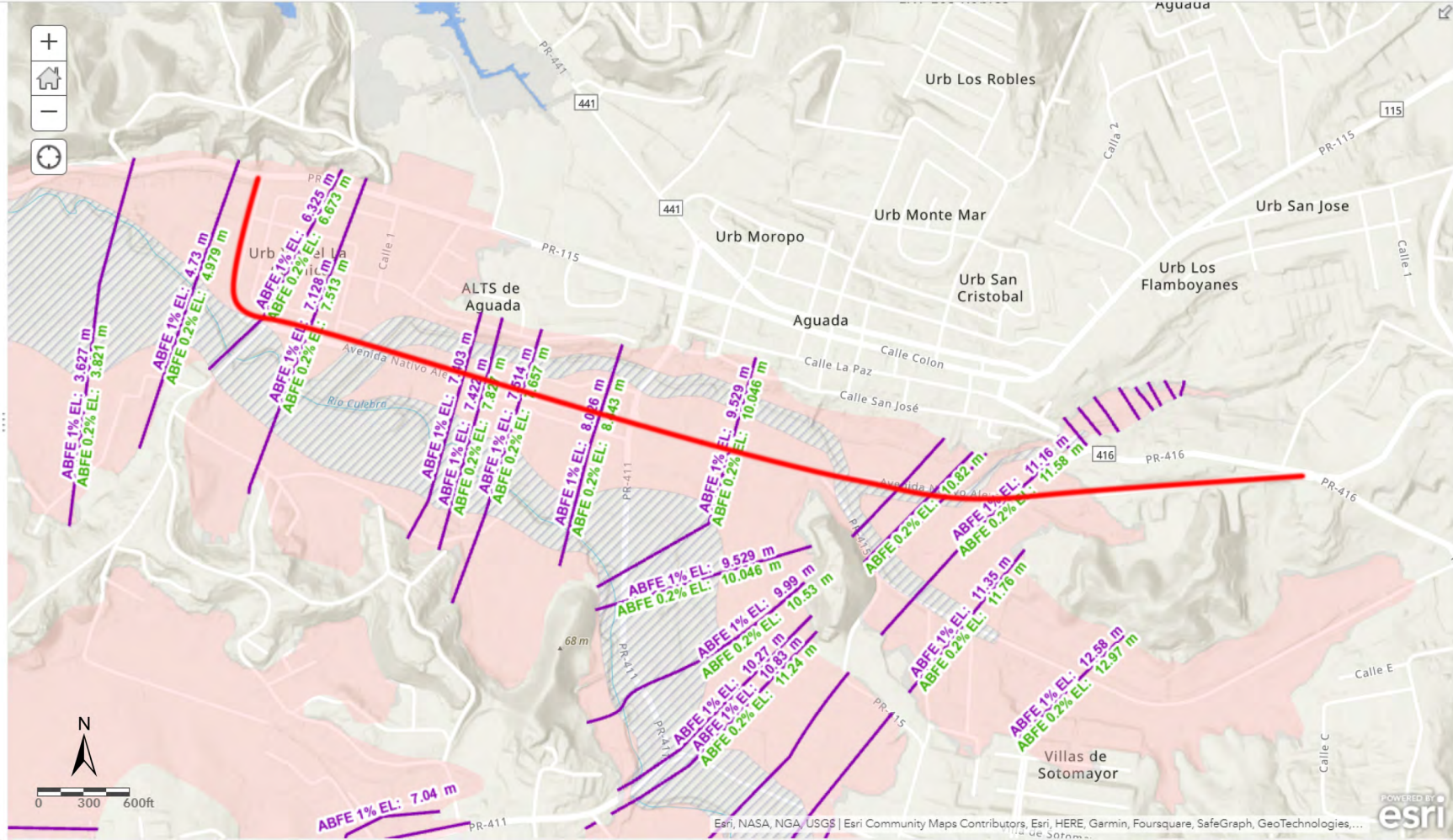
**Floodway**

**Flood Hazard Zone**

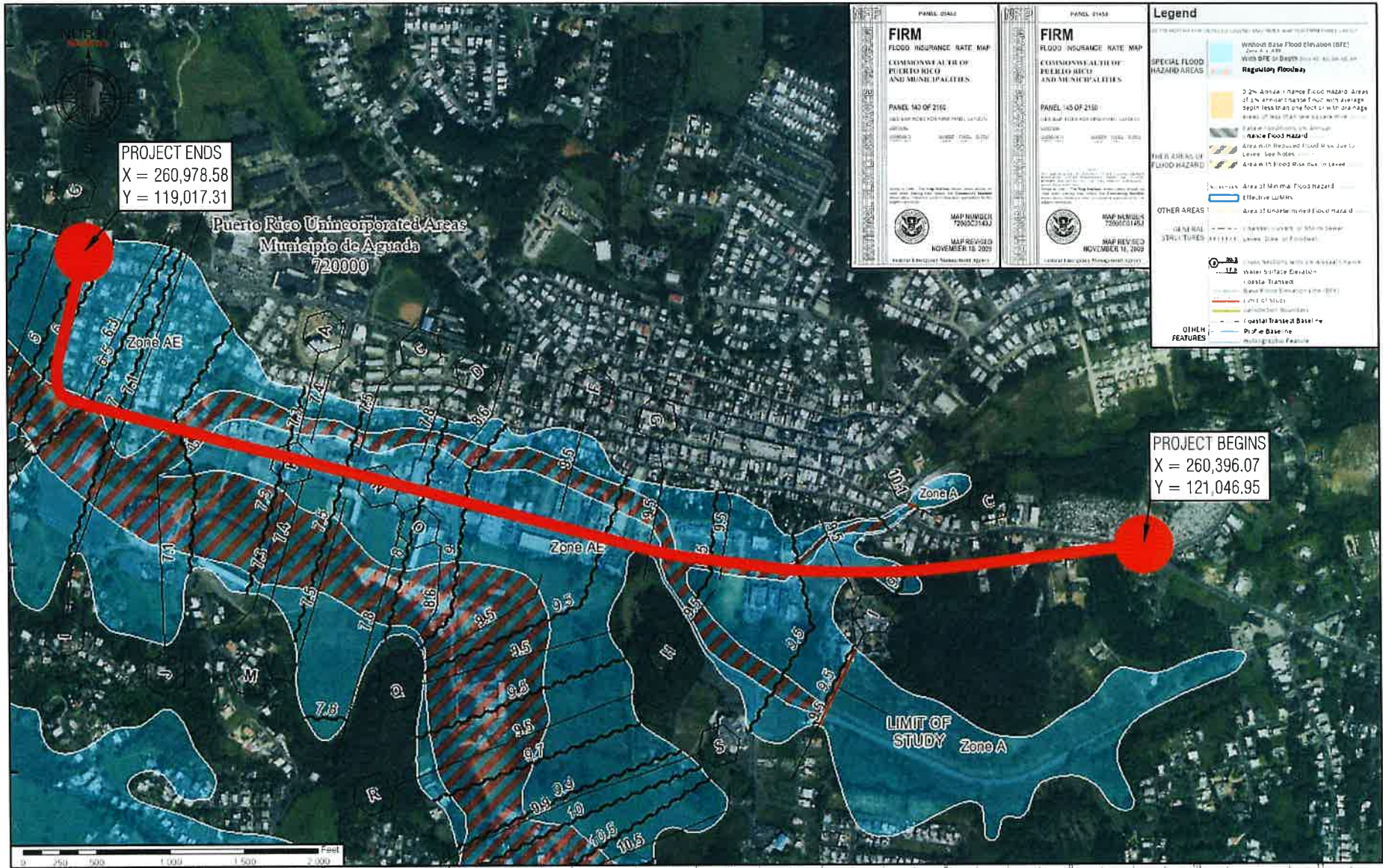
- A
- AO
- AE
- Coastal A Zone
- VE
- X 0.2%
- Annual Chance Flood
- A-Floodway
- AE-Floodway
- Coastal A Zone and Floodway

**Project Site**

Trust Center Legal Contact Esri Report Abuse







DESIGN FIRM:



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PROJECT NAME:

**EL NUEVO DESVIO SUR**

PROJECT ID. PR-CPR-000837  
NATIVO ALERS AVENUE (DESVIO SUR) GUAYABO  
AND PIEDRAS BLANCAS WARD  
MUNICIPALITY OF AGUADA, PUERTO RICO

SHEET NAME:

**FLOOD PLAIN MANAGEMENT**

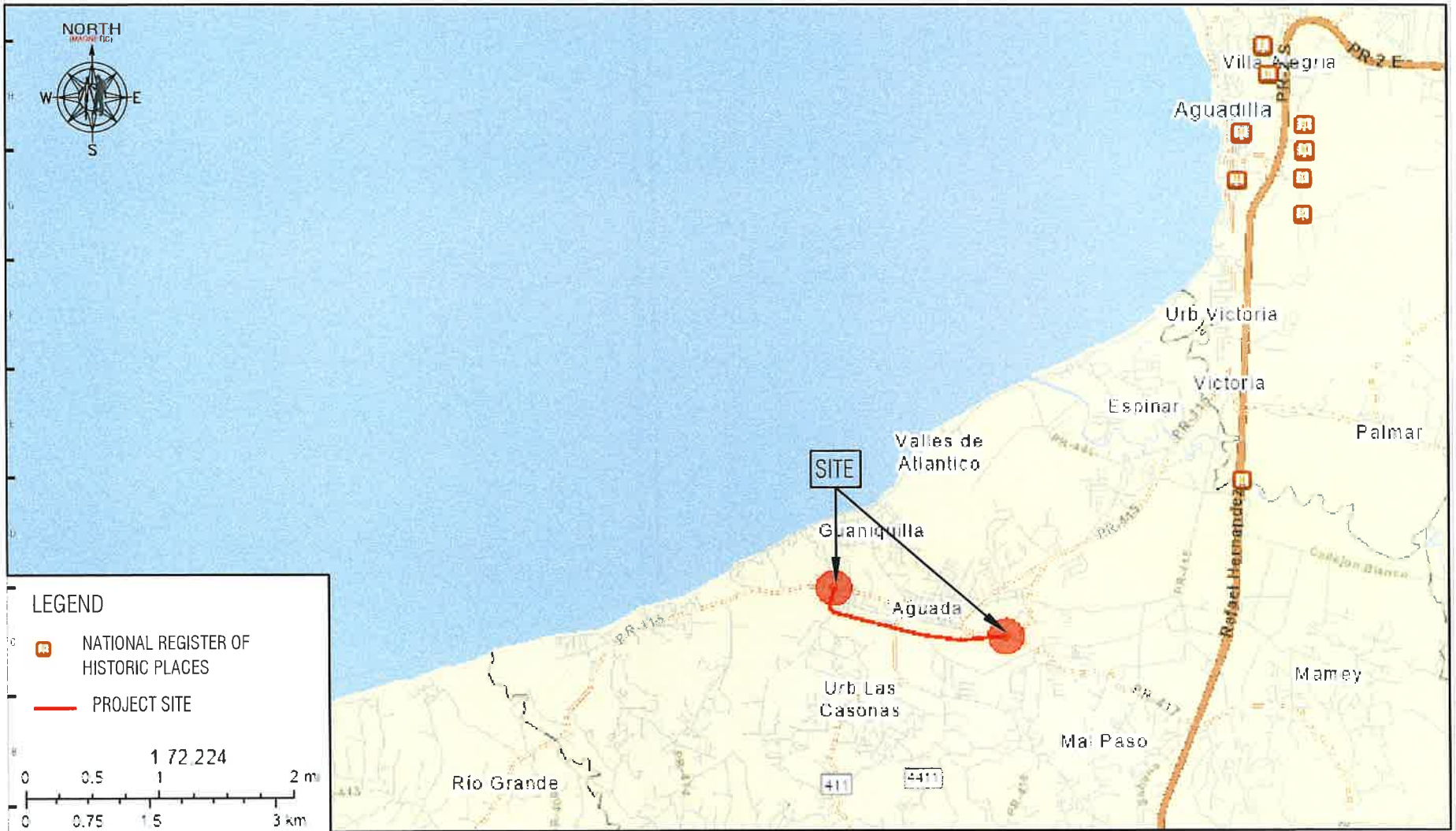
SOURCE: FEMA

EXHIBIT:

**J**



Project Start: 18.377552, -67.180452  
 Project End: 18.382739, -67.199681



DESIGN FIRM:



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PROJECT NAME:

**EL NUEVO DESVIO SUR**

PROJECT ID: PR-CPR-000837  
 NATIVO ALERS AVENUE (DESVIO SUR) GUAYABO  
 AND PIEDRAS BLANCAS WARD  
 MUNICIPALITY OF AGUADA, PUERTO RICO

SHEET NAME:

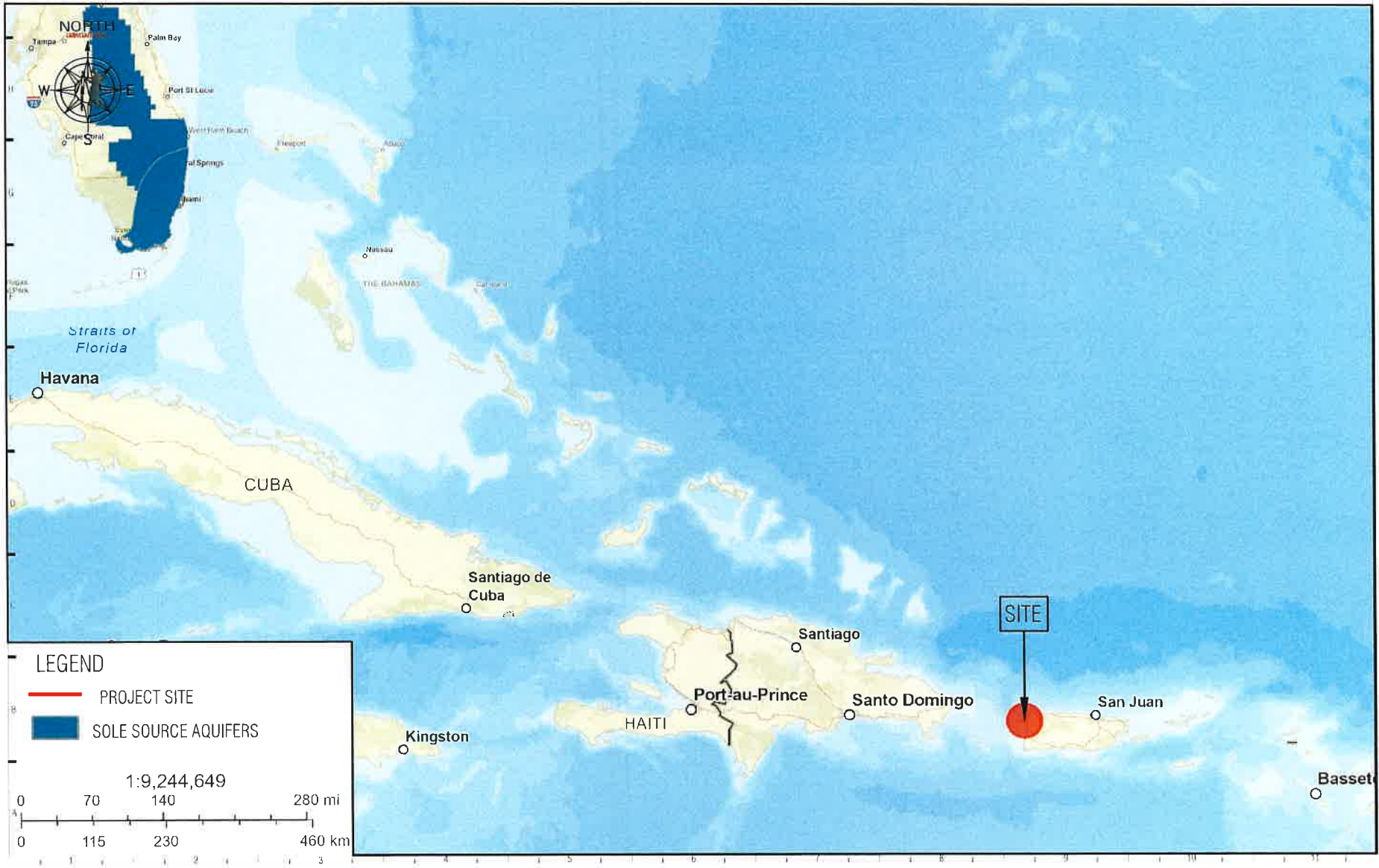
**HISTORIC PROTECTION PLAN**

SOURCE: EPA & NEPA FRS INTEREST

<https://www.arcgis.com/apps/mapviewer/index.html>

EXHIBIT:

**K**



DESIGN FIRM:



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PROJECT NAME:

**EL NUEVO DESVIO SUR**  
 PROJECT ID: PR-CPR-000837  
 NATIVO ALERS AVENUE (DESVIO SUR) GUAYABO  
 AND PIEDRAS BLANCAS WARD  
 MUNICIPALITY OF AGUADA, PUERTO RICO

SHEET NAME:

**SOLE SOURCE AQUIFERS MAP**  
 SOURCE: EPA & NEPA FRIS INTEREST

EXHIBIT:

L





Wetlands					
	ESTUARINE AND MARINE DEEPWATER		FRESHWATER EMERGENT WETLAND		LAKE
	ESTUARINE AND MARINE WETLAND		FRESHWATER FORESTED/SHRUB WETLAND		OTHER
	PROJECT SITE		FRESHWATER POND		RIVERINE

DESIGN FIRM:



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PROJECT NAME:

**EL NUEVO DESVIO SUR**

PROJECT ID. PR-CPR-000837  
 NATIVO ALERS AVENUE (DESVIO SUR) GUAYABO  
 AND PIEDRAS BLANCAS WARD  
 MUNICIPALITY OF AGUADA, PUERTO RICO

SHEET NAME:

**WETLANDS MAP**  
 SOURCE: US FISH & WILD LIFE SERVICE

EXHIBIT:

**M**



DESIGN FIRM:



**J.O. CAJIGAS & ASSOCIATES P.S.C.**

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PROJECT NAME:

**EL NUEVO DESVIO SUR**

PROJECT ID. PR-CPR-000837  
 NATIVO ALERS AVENUE (DESVIO SUR) GUAYABO  
 AND PIEDRAS BLANCAS WARD  
 MUNICIPALITY OF AGUADA, PUERTO RICO

SHEET NAME:

**WILD AND SCENIC RIVERS MAP**

SOURCE: EPA & NEPA FRS INTEREST

EXHIBIT:

N

**Appendix C**  
**Contamination and Toxics**



# Detailed Facility Report



## Detailed Facility Report

### Facility Summary

DEPT OF ED - DR CARLOS GONZALEZ

CARR 441 KM 0.9 BO GUANIQUILLA, AGUADA, PR 00602

FRS (Facility Registry Service) ID: 110004888293

EPA Region: 02

Latitude: 18.401224

Longitude: -67.176055

Locational Data Source: RCRAINFO

Industries: --

Indian Country: N

## Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
<b>Compliance Status</b>	<b>No Violation Identified</b>
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

## Regulatory Information

Clean Air Act (CAA): No Information  
 Clean Water Act (CWA): No Information  
 Resource Conservation and Recovery Act (RCRA): Inactive Other, (PR0000622860)  
 Safe Drinking Water Act (SDWA): No Information

[Go To Enforcement/Compliance Details](#)  
[Known Data Problems](#)

## Other Regulatory Reports

Air Emissions Inventory (EIS): No Information  
 Greenhouse Gas Emissions (eGGRT): No Information  
 Toxic Releases (TRI): No Information  
 Compliance and Emissions Data Reporting Interface (CEDRI): No Information

## Facility/System Characteristics

### Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		<a href="#">110004888293</a>					N	18.401224	-67.176055
RCRAInfo	RCRA	PR0000622860	Other	Inactive ( )			N	18.401224	-67.176055

## Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		<a href="#">110004888293</a>	DEPT OF ED - DR CARLOS GONZALEZ	CARR 441 KM 0.9 BO GUANIQUILLA, AGUADA, PR 00602	Aguada Municipio
RCRAInfo	RCRA	PR0000622860	DEPT OF ED - DR CARLOS GONZALEZ	CARR 441 KM 0.9 BO GUANIQUILLA, AGUADA, PR 00602	Aguada Municipio

### Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
--------	------------	----------	-----------------

No data records returned

### Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
--------	------------	------------	-------------------

No data records returned

### Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
------------------	------------	---------------	---------------------------

No data records returned

## Enforcement and Compliance

Compliance Monitoring History Last 5 Years ▾

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
---------	-----------	--------	---------------	----------------------------	-------------	------	-------------------------

No data records returned

*Entries in italics are not counted as EPA official inspections.*

### Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
RCRA	PR0000622860	No	09/02/2023	0	09/01/2023

### Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA	(Source ID: PR0000622860)	10/01-12/31/20	01/01-03/31/21	04/01-06/30/21	07/01-09/30/21	10/01-12/31/21	01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23
	Facility-Level Status	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified
	Violation Agency												

Informal Enforcement Actions Last 5 Years ▾

Statute	System	Source ID	Type of Action	Lead Agency	Date
---------	--------	-----------	----------------	-------------	------

No data records returned

*Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.*

PR-CRP-0000847 Rehabilitation

**Formal Enforcement Actions** Last 5 Years ▾

Statute	System	Law/Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/Filed Date	Settlements/Actions	Settlement/Action Date	Federal Penalty Assessed	State/Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
---------	--------	-------------	-----------	----------------	----------	-------------	-----------	-------------------	---------------------	------------------------	--------------------------	------------------------------	--------------------------	-----------	------------------

No data records returned

## Environmental Conditions

### Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
--	---	---	---------------------------------	--------------------------------------	--	---

No data records returned

### Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
-------	--------------	--------------------	----------------------	-----------------	-----------------------	--------------------	----------------	----------------------	----------------	-----------

No data records returned

### Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
-----------	-----------------------------------	---	---------------------------------	---

No data records returned

## Pollutants

### Toxics Release Inventory History of Reported Chemicals Released in Pounds per Year at Site

TRI Facility ID	Year	Total Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Releases to Land	Total On-Site Releases	Total Off-Site Transfers
-----------------	------	---------------------	--------------------------	--	------------------------	------------------	------------------------	--------------------------

No data records returned

### Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name
---------------

No data records returned

[DMR and TRI Multi-Year Loading Report](#)

### CWA (Clean Water Act) Discharge Monitoring Report (DMR) Pollutant Loadings

No data records returned

## Community



## Environmental Justice

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the [EJScreen home page](#).

### EJScreen Indexes Shown

Compare to  US  State

Index Type  Environmental Justice  Supplemental

### Related Reports

[EJScreen Community Report](#)

### Download Data

Census Block Group ID: 720034302001	US (Percentile)	
Supplemental Indexes	Facility Census Block Group	1-mile Max
Count of Indexes At or Above 80th Percentile	4	7
Particulate Matter 2.5	0	--
Ozone	0	--
Diesel Particulate Matter	8	9
Air Toxics Cancer Risk	34	35
Air Toxics Respiratory Hazard Index	33	36
Toxic Releases to Air	99	99
Traffic Proximity	59	93
Lead Paint	0	87
Risk Management Plan (RMP) Facility Proximity	99	99
Hazardous Waste Proximity	55	66
Superfund Proximity	79	83
Underground Storage Tanks (UST)	90	98
Wastewater Discharge	99	99

Facility 1-mile Radius  Facility Census Block Group



### Demographic Profile of Surrounding Area (1 mile)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2017 - 2021 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the [DFR Data Dictionary](#).

#### General Statistics (U.S. Census)

Total Persons	3,027
Population Density	1,409/sq.mi.
Housing Units in Area	1,427

#### General Statistics (ACS (American Community Survey))

Total Persons	3,156
Percent People of Color	95%
Households in Area	1,056
Households on Public Assistance	67
Persons With Low Income	2,281
Percent With Low Income	72%

#### Geography

Radius of Selected Area	1 mi.
Center Latitude	18.401224
Center Longitude	-67.176055
Land Area	69%
Water Area	31%

#### Income Breakdown (ACS (American Community Survey)) - Households (%)

Less than \$15,000	420 (39.77%)
\$15,000 - \$25,000	228 (21.59%)
\$25,000 - \$50,000	238 (22.54%)
\$50,000 - \$75,000	112 (10.61%)
Greater than \$75,000	58 (5.49%)

#### Age Breakdown (U.S. Census) - Persons (%)

Children 5 years and younger	151 (5%)
Minors 17 years and younger	679 (22%)
Adults 18 years and older	2,348 (78%)
Seniors 65 years and older	423 (14%)

#### Race Breakdown (U.S. Census) - Persons (%)

White	2,362 (78%)
African-American	339 (11%)
Hispanic-Origin	2,990 (99%)
Asian/Pacific Islander	3 (0%)
American Indian	15 (1%)
Other/Multiracial	308 (10%)

#### Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)

Less than 9th Grade	309 (12.17%)
9th through 12th Grade	283 (11.15%)
High School Diploma	791 (31.17%)
Some College/2-year	221 (8.71%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	569 (22.42%)

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# TRI Facility Report

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## TRI Facility Report: SMART MODULAR TECHNOLOGIES OF PUERTO RICO (00602SMRTMRD115)

### Facility Information

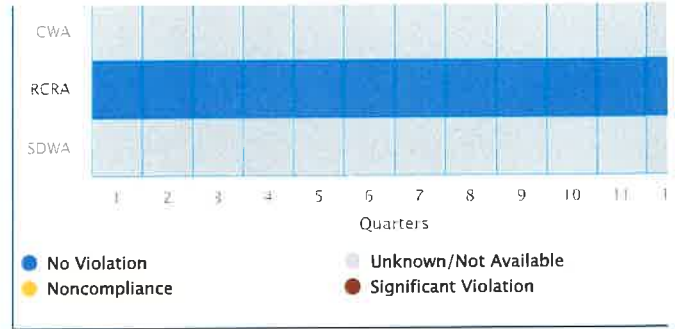
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Go to ECHO for More Enforcement and Compliance Data

PR-CRP-R-CRP-000847 Rehabi

### Timestamp

Query was executed on SEP-3-2023



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Last updated on August 23, 2023



## Detailed Facility Report



### Detailed Facility Report

#### Facility Summary

PRASA AGUADILLA REGIONAL WWTP

ROAD PR 115 KM 25, AGUADA, PR 00602

**FRS (Facility Registry Service) ID:** 110010636776

**EPA Region:** 02

**Latitude:** 18.391659

**Longitude:** -67.181193

**Locational Data Source:** FRS

**Industries:** Utilities

**Indian Country:** N

## Enforcement and Compliance Summary

Statute	CAA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
Compliance Status	--
Qtrs in Noncompliance (of 12)	--
Qtrs with Significant Violation	--
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--
Statute	CWA
Compliance Monitoring Activities (5 years)	4
Date of Last Compliance Monitoring Activity	08/29/2022
Compliance Status	Violation Identified
Qtrs in Noncompliance (of 12)	7
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--



Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
<b>Compliance Status</b>	<b>No Violation Identified</b>
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

### Regulatory Information

Clean Air Act (CAA): No Information  
 Clean Water Act (CWA): Major, Permit Admin Continued (PR0023736), Minor, Permit Effective (PRR053061)  
 Resource Conservation and Recovery Act (RCRA): Active VSQG, (PRR000002758)  
 Safe Drinking Water Act (SDWA): No Information

### Other Regulatory Reports

Air Emissions Inventory (EIS): No Information  
 Greenhouse Gas Emissions (eGGRT): No Information  
 Toxic Releases (TRI): No Information  
 Compliance and Emissions Data Reporting Interface (CEDRI): No Information

[Go To Enforcement/Compliance Details](#)  
[Known Data Problems](#)

## Facility/System Characteristics

### Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Area	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		<a href="#">110010636776</a>					N	18.391659	-67.181193
ICIS		43954					N	18.388835	-67.178792
ICIS		2659064					N	18.388829	-67.168881
ICIS		2444562					N	18.388835	-67.178792
ICIS		43959					N	18.388835	-67.178792
RMP	CAA	100000121469		ACTIVE			N	18.391667	-67.181389
ICIS-NPDES	CWA	PR0023736	Major: NPDES Individual Permit	Admin Continued	POTW, Pretreatment	11/30/2020	N	18.390833	-67.179167
ICIS-NPDES	CWA	PRR053061	Minor: General Permit Covered Facility	Effective	Industrial Stormwater	02/28/2026	N	18.3916	-67.1813
RCRAInfo	RCRA	PRR000002758	VSQG	Active (H)			N	18.387714	-67.171495

## Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		<u>110010636776</u>	PRASA AGUADILLA REGIONAL WWTP	ROAD PR 115 KM 25, AGUADA, PR 00602	Aguadilla Municipio
ICIS		43954	PRASA AQUADILLA	SR 115 KM 25, AGUADILLA, PR 00603	Aguadilla Municipio
ICIS		2659064	PRASA AGUADILLA REGIONAL WWTP	ROAD 115 KM 2.5, AGUADA, PR 00602	Aguada Municipio
ICIS		2444562	PRASA AGUADILLA	STATE ROAD 115 KM 25, AGUADILLA, PR 00603	Aguadilla Municipio
ICIS		43959	PRASA AQUADILLA	SR 115 KM 25, SANTURCE, PR 00603	Aguadilla Municipio
RMP	CAA	100000121469	AGUADA WASTEWATER TREATMENT PLANT	CARR, 115, KM 25.0, INT., AGUADA, PR 00602	Aguada Municipio
ICIS-NPDES	CWA	PR0023736	PRASA AGUADILLA WWTP	STATE ROAD 115, KM 25, AGUADILLA, PR 00603	Aguadilla Municipio
ICIS-NPDES	CWA	PRR053061	AGUADILLA WWTP	ROAD #115, KM. 25.0, ASOMANTE WARD, AGUADA, PR 00602	Aguadilla Municipio
RCRAInfo	RCRA	PRR000002758	PR AQUEDUCT SEWER AUTHORITY	PR 115 KM 25.0 INT, AGUADA, PR 00602	Aguada Municipio

## Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
ICIS-NPDES	PR0023736	4952	Sewerage Systems

## Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
RMP	100000121469	22132	Sewage Treatment Facilities

## Facility Industrial Effluent Guidelines

Identifier	Effluent Guideline (40 CFR Part)	Effluent Guideline Description
No data records returned		

## Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
No data records returned			

## Enforcement and Compliance

### Compliance Monitoring History Last 5 Years

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
CAA	100000121469	ICIS	Inspection/Evaluation	PCE Off-Site	EPA	06/10/2021	
CAA	100000121469	ICIS	Inspection/Evaluation	PCE Off-Site	EPA	09/25/2020	
CWA	PR0023736	ICIS-NPDES	Inspection/Evaluation	Base Program - Evaluation	EPA	08/29/2022	
CWA	<i>PR0023736</i>	ICIS-NPDES	<i>Offsite Record Review</i>	<i>Base Program - Desk Audit</i>	EPA	05/27/2021	
CWA	PR0023736	ICIS-NPDES	Inspection/Evaluation	Base Program - Evaluation	EPA	10/03/2019	
CWA	PR0023736	ICIS-NPDES	Inspection/Evaluation	Base Program - Evaluation	EPA	03/21/2019	
CWA	PR0023736	ICIS-NPDES	Inspection/Evaluation	Base Program - Evaluation	EPA	09/18/2018	

Entries in italics are not counted as EPA official inspections.

## Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
CWA	PR0023736	No	03/31/2023	7	09/01/2023
CWA	PRR053061	No	03/31/2023	0	09/01/2023
RCRA	PRR000002758	No	09/02/2023	0	09/01/2023

### Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12	QTR 13+	
	<b>CWA (Source ID: PR0023736)</b>	04/01-06/30/20	07/01-09/30/20	10/01-12/31/20	01/01-03/31/21	04/01-06/30/21	07/01-09/30/21	10/01-12/31/21	01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-09/01/23	
	<b>Facility-Level Status</b>	Violation Identified	Violation Identified	Violation Identified	Violation Identified	Violation Identified	Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	Violation Identified	
	<b>Quarterly Noncompliance Report History</b>	Reportable Noncompliance	Reportable Noncompliance	Reportable Noncompliance	Reportable Noncompliance	Reportable Noncompliance	Reportable Noncompliance	Resolved - Pending	Resolved - Pending	Resolved - Pending	Resolved - Pending	Resolved - Pending	Resolved - Pending	Resolved - Pending	
	<b>Pollutant</b>	Disch Point	Mon Loc	Freq											
▶ CWA	<u>Chlorine, total residual</u>	001 - A	Effluent Gross	NMth									7173%	1355%	
▶ CWA	<u>Coliform, fecal - % samples exceeding limit</u>	001 - A	Effluent Gross	NMth	250%	400%	200%	400%	300%	150%		300%	400%	400%	200%
▶ CWA	<u>Coliform fecal general</u>	001 - A	Effluent Gross	Mthly	159%	700%	1%	LIMIT VIOLATION	186%		106%	LIMIT VIOLATION	LIMIT VIOLATION	207%	
▶ CWA	<u>Cyanide, free available</u>	001 - A	Effluent Gross	NMth									158%		
▶ CWA	<u>Enterococci</u>	001 - A	Effluent Gross	NMth	146%	46%		846%	17%	LIMIT VIOLATION	509%	1249%	180%	LIMIT VIOLATION	
▶ CWA	<u>Enterococci - % of upper confidence limit</u>	001 - A	Effluent Gross	NMth			7%		33%		7%		33%		
▶ CWA	<u>Nickel, total (as Ni)</u>	001 - A	Effluent Gross	NMth					48%	10%	303%	267%			

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12	QTR 13+
▶ CWA	<u>Solids total suspended</u> 001 - Effluent Gross Mthly A			6%			40%					13%		
▶ CWA	<u>lim total (as Zn)</u> 001 - Effluent Gross NMth A			5%								24%	4%	

Late or Missing Discharge Monitoring Report (DMR) Measurements

Counts of Missing DMR Measurements

3

CWA (Source ID: PRR053061)	04/01-06/30/20	07/01-09/30/20	10/01-12/31/20	01/01-03/31/21	04/01-06/30/21	07/01-09/30/21	10/01-12/31/21	01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-09/01/23
Facility-Level Status	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	Undetermined

Quarterly Noncompliance Report History

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: PRR000002758)		10/01-12/31/20	01/01-03/31/21	04/01-06/30/21	07/01-09/30/21	10/01-12/31/21	01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23
Facility-Level Status		No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified
Violation	Agency												

Informal Enforcement Actions

Statute	System	Source ID	Type of Action	Lead Agency	Date
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No data records returned

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

Formal Enforcement Actions

Statute	System	Law/Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/Filed Date	Settlements/Actions	Settlement/Action Date	Federal Penalty Assessed	State/Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
---------	--------	-------------	-----------	----------------	----------	-------------	-----------	-------------------	---------------------	------------------------	--------------------------	------------------------------	--------------------------	-----------	------------------

No data records returned

Environmental Conditions



## Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
210100030111	Rio Culebrinas at mouth	PLACERES CREEK	No	No	--	Yes

## Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
PR	2020	<a href="#">PRWC52</a>	Punta del Boquerón to Punta Borinquen	Impaired - 303(d) Listed	METALS (OTHER THAN MERCURY)   TURBIDITY	--	Not Supporting	--	Fully Supporting	--
PR	2020	<a href="#">PRWE95A</a>	RIO CULEBRINAS ESTUARY	Impaired - With Restoration Plan	PATHOGENS	--	Insufficient Information	--	Not Supporting	--

## Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
No data records returned				

## Pollutants

### Toxics Release Inventory History of Reported Chemicals Released in Pounds per Year at Site

TRI Facility ID	Year	Total Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Releases to Land	Total On-Site Releases	Total Off-Site Transfers
No data records returned								

### Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name
No data records returned

[DMR and TRI Multi-Year Loading Report](#)

## CWA (Clean Water Act) Discharge Monitoring Report (DMR) Pollutant Loadings

NPDES ID	Description	2019	2020	2021	2022	2023
PR0023736	DMR Pollutant Loadings (lb/year)	<u>2,453,714</u>	<u>1,985,177</u>	<u>2,035,207</u>	<u>2,033,730</u>	<u>1,119,824</u>
PR0023736	DMR Pollutant Loadings - Load Over Limit (lb/year)	100,580	11.53	15,229	98.24	1,463
PR0023736	DMR Conventional Loadings (lb/year)	--	--	--	1,011,652	--
PR0023736	DMR Conventional Loadings - Load Over Limit (lb/year)	--	--	--	0	--
PR0023736	DMR Toxic-Weighted Loadings (lb-eq/year)	529	457	187	329	1,017
PR0023736	DMR Toxic-Weighted Loadings - Load Over Limit (lb-eq/year)	74.39	0.4612	0.7329	26.76	710

## Community

## Environmental Justice

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the [EJScreen home page](#).

### EJScreen Indexes Shown

Compare to  US  State

Index Type  Environmental Justice  Supplemental

### Related Reports

[EJScreen Community Report](#)

### Download Data

Supplemental Indexes	US (Percentile)	
	Facility Census Block Group	1-mile Max
Count of Indexes At or Above 80th Percentile	4	7
Particulate Matter 2.5	0	--
Ozone	0	--
Diesel Particulate Matter	8	12
Air Toxics Cancer Risk	34	38
Air Toxics Respiratory Hazard Index	33	40
Toxic Releases to Air	99	99
Traffic Proximity	59	99
Lead Paint	0	99
Risk Management Plan (RMP) Facility Proximity	99	99
Hazardous Waste Proximity	55	74
Superfund Proximity	79	91
Underground Storage Tanks (UST)	90	99
Wastewater Discharge	99	99

Facility 1-mile Radius  Facility Census Block Group



## Demographic Profile of Surrounding Area (1 mile)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2017 - 2021 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the [DPR Data Dictionary](#).

### General Statistics (U.S. Census)

Total Persons	6,035
Population Density	2,155/sq.mi.
Housing Units in Area	2,857

### General Statistics (ACS (American Community Survey))

Total Persons	4,568
Percent People of Color	95%
Households in Area	1,688
Households on Public Assistance	161
Persons With Low Income	3,113
Percent With Low Income	68%

### Geography

Radius of Selected Area	1 mi.
Center Latitude	18.391659
Center Longitude	-67.181193
Land Area	89%
Water Area	11%

### Income Breakdown (ACS (American Community Survey)) - Households (%)

Less than \$15,000	740 (43.76%)
\$15,000 - \$25,000	242 (14.31%)
\$25,000 - \$50,000	424 (25.07%)
\$50,000 - \$75,000	198 (11.71%)
Greater than \$75,000	87 (5.14%)

### Age Breakdown (U.S. Census) - Persons (%)

Children 5 years and younger	315 (5%)
Minors 17 years and younger	1,450 (24%)
Adults 18 years and older	4,584 (76%)
Seniors 65 years and older	999 (17%)

### Race Breakdown (U.S. Census) - Persons (%)

White	5,012 (83%)
African-American	472 (8%)
Hispanic-Origin	5,983 (99%)
Asian/Pacific Islander	7 (0%)
American Indian	32 (1%)
Other/Multiracial	511 (8%)

### Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)

Less than 9th Grade	433 (11.97%)
9th through 12th Grade	393 (10.87%)
High School Diploma	1,006 (27.82%)
Some College/2-year	306 (8.46%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	885 (24.47%)

LAST UPDATED ON SEPTEMBER 21, 2022

[DATA REFRESH INFORMATION](#)

## Detailed Facility Report



### Detailed Facility Report

#### Facility Summary

NAVAL RADIO TRANSMITTER FACILITY AGUADA

1710 TABLONAL HWY 441 KM 116, AGUADA, PR 00602

FRS (Facility Registry Service) ID: 110006119020

EPA Region: 02

Latitude: 18.383513

Longitude: -67.185074

Locational Data Source: FRS

Industries: National Security and International Affairs

Indian Country: N



## Enforcement and Compliance Summary

Statute	CAA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
<b>Compliance Status</b>	<b>No Violation Identified</b>
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--
Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
<b>Compliance Status</b>	<b>No Violation Identified</b>
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

### Regulatory Information

Clean Air Act (CAA): Operating Minor (PR0000007212300017)

### Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Clean Water Act (CWA): No Information  
 Resource Conservation and Recovery Act (RCRA): Inactive Other, (PR0170086532)  
 Safe Drinking Water Act (SDWA): No Information  
 Greenhouse Gas Emissions (eGGR): No Information  
 Toxic Releases (TRI): No Information  
 Compliance and Emissions Data Reporting Interface (CEDRI): No Information

[Go To Enforcement/Compliance Details](#)  
[Known Data Problems](#)

## Facility/System Characteristics

### Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		<a href="#">110006119020</a>					N	18.383513	-67.185074
ICIS-Air	CAA	PR0000007212300017	Minor Emissions	Operating	CAASIP		N	18.383513	-67.185074
RCRAInfo	RCRA	PR0170086532	Other	Inactive ( )			N		

### Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		<a href="#">110006119020</a>	NAVAL RADIO TRANSMITTER FACILITY AGUADA	1710 TABLONAL HWY 441 KM 116, AGUADA, PR 00602	Aguada Municipio
ICIS-Air	CAA	PR0000007212300017	US NAVAL COMM STA	FORT ALLEN, SALINAS, PR 00751	Salinas Municipio
RCRAInfo	RCRA	PR0170086532	US NAVAL COMPUTER & TELECOMMUNICATION	1710 TABLONAL HWY 441 KM 116, AGUADA, PR 00602	Aguada Municipio

### Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
ICIS-Air	PR0000007212300017	9711	National Security

### Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
ICIS-Air	PR0000007212300017	928110	National Security

### Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
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No data records returned

## Enforcement and Compliance

### Compliance Monitoring History Last 5 Years

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
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No data records returned

*Entries in italics are not counted as EPA official inspections.*

### Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
CAA	PR000007212300017	No	09/02/2023	0	09/01/2023
RCRA	PR0170086532	No	09/02/2023	0	09/01/2023

### Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
CAA (Source ID: PR000007212300017)		10/01-12/31/20	01/01-03/31/21	04/01-06/30/21	07/01-09/30/21	10/01-12/31/21	01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23
	Facility-Level Status	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified

HPV History

Violation Type Agency Programs Pollutants

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: PR0170086532)		10/01-12/31/20	01/01-03/31/21	04/01-06/30/21	07/01-09/30/21	10/01-12/31/21	01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23
	Facility-Level Status	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified

Violation Agency

### Informal Enforcement Actions

Last 5 Years

Statute	System	Source ID	Type of Action	Lead Agency	Date
---------	--------	-----------	----------------	-------------	------

No data records returned

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

### Formal Enforcement Actions

Last 5 Years

Statute	System	Law/Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/Filed Date	Settlements/Actions	Settlement/Action Date	Federal Penalty Assessed	State/Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
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No data records returned

### Environmental Conditions

#### Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
--	---	---	---------------------------------	--------------------------------------	--	---

No data records returned

### Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
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No data records returned

### Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
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No data records returned

## Pollutants

### Toxics Release Inventory History of Reported Chemicals Released in Pounds per Year at Site

TRI Facility ID	Year	Total Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Releases to Land	Total On-Site Releases	Total Off-Site Transfers
-----------------	------	---------------------	--------------------------	--	------------------------	------------------	------------------------	--------------------------

No data records returned

### Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name
---------------

No data records returned

[DMR and TRI Multi-Year Loading Report](#)

### CWA (Clean Water Act) Discharge Monitoring Report (DMR) Pollutant Loadings

No data records returned

## Community

### Environmental Justice

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the [EJScreen home page](#).

#### EJScreen Indexes Shown

Compare to  US  State

Index Type  Environmental Justice  Supplemental

#### Related Reports

[EJScreen Community Report](#)

Download Data

Facility 1-mile Radius  Facility Census Block Group

Census Block Group ID: 720034302003	US (Percentile)	
Supplemental Indexes	Facility Census Block Group	1-mile Max
Count of Indexes At or Above 80th Percentile	5	7
Particulate Matter 2.5	0	--
Ozone	0	--
Diesel Particulate Matter	7	12
Air Toxics Cancer Risk	34	38
Air Toxics Respiratory Hazard Index	33	40
Toxic Releases to Air	99	99
Traffic Proximity	92	99
Lead Paint	75	99
Risk Management Plan (RMP) Facility Proximity	99	99
Hazardous Waste Proximity	56	74
Superfund Proximity	78	91
Underground Storage Tanks (UST)	92	99
Wastewater Discharge	99	99



### Demographic Profile of Surrounding Area (1 mile)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2017 - 2021 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the [DFR Data Dictionary](#).

#### General Statistics (U.S. Census)

Total Persons	8,030
Population Density	2,602/sq mi.
Housing Units in Area	3,731

#### General Statistics (ACS (American Community Survey))

Total Persons	6,296
Percent People of Color	94%
Households in Area	2,352

#### Age Breakdown (U.S. Census) - Persons (%)

Children 5 years and younger	410 (5%)
Minors 17 years and younger	1,923 (24%)
Adults 18 years and older	6,107 (76%)
Seniors 65 years and older	1,300 (16%)

#### Race Breakdown (U.S. Census) - Persons (%)

White	6,688 (83%)
African-American	629 (8%)



**General Statistics (ACS (American Community Survey))**

Households on Public Assistance	189
Persons With Low Income	4,445
Percent With Low Income	71%

**Geography**

Radius of Selected Area	1 mi.
Center Latitude	18.383513
Center Longitude	-67.185074
Land Area	98%
Water Area	2%

**Income Breakdown (ACS (American Community Survey)) - Households (%)**

Less than \$15,000	1,013 (43.07%)
\$15,000 - \$25,000	303 (12.88%)
\$25,000 - \$50,000	651 (27.68%)
\$50,000 - \$75,000	261 (11.1%)
Greater than \$75,000	124 (5.27%)

**Race Breakdown (U.S. Census) - Persons (%)**

Hispanic-Origin	7,981 (99%)
Asian/Pacific Islander	4 (0%)
American Indian	38 (0%)
Other/Multiracial	670 (8%)

**Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)**

Less than 9th Grade	801 (17.16%)
9th through 12th Grade	444 (9.51%)
High School Diploma	1,066 (22.84%)
Some College/2-year	495 (10.61%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	1,175 (25.18%)

LAST UPDATED ON SEPTEMBER 21, 2022

[DATA REFRESH INFORMATION](#)

## Detailed Facility Report



### Detailed Facility Report

#### Facility Summary

FENWAL INTERNATIONAL

111 CALLE COLON, AGUADA, PR 00602

FRS (Facility Registry Service) ID: 110002085207

EPA Region: 02

Latitude: 18.37983

Longitude: -67.18453

Locational Data Source: TRIS

Industries: Chemical Manufacturing

Indian Country: N

#### Enforcement and Compliance Summary

No data records returned

#### Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): No Information

Safe Drinking Water Act (SDWA): No Information

[Go To Enforcement/Compliance Details](#)

[Known Data Problems](#)

#### Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): 00602BXTRF111CO

Compliance and Emissions Data Reporting Interface (CEDRI): No Information

### Facility/System Characteristics

#### Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		<a href="#">110002085207</a>					N	18.37983	-67.18453

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
TRI	EP313	00602BXTRF111CO	Toxics Release Inventory	Last Reported for 1989			N	18.37983	-67.18453

### Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		<u>110002085207</u>	FENWAL INTERNATIONAL	111 CALLE COLON, AGUADA, PR 00602	Aguada Municipio
TRI	EP313	00602BXTRF111CO	BAXTER HEALTHCARE CORP, FENWAL DIV	111 COLON ST, AGUADA, PR 00602	Aguada Municipio

### Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
No data records returned			

### Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
TRI	00602BXTRF111CO	325412	Pharmaceutical Preparation Manufacturing

### Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
No data records returned			

## Enforcement and Compliance

### Compliance Monitoring History Last 5 Years

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
No data records returned							

Entries in italics are not counted as EPA official inspections.

### Compliance Summary Data

Statute	Source ID	Current <u>SNC</u> (Significant Noncompliance)/ <u>HPV</u> (High Priority Violation)	Current As Of	Qtrs with <u>NC</u> (Noncompliance) (of 12)	Data Last Refreshed
No data records returned					

### Three-Year Compliance History by Quarter

### Informal Enforcement Actions Last 5 Years

Statute	System	Source ID	Type of Action	Lead Agency	Date
No data records returned					

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

**Formal Enforcement Actions** Last 5 Years ▾

Statute	System	Law/Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/Filed Date	Settlements/Actions	Settlement/Action Date	Federal Penalty Assessed	State/Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
---------	--------	-------------	-----------	----------------	----------	-------------	-----------	-------------------	---------------------	------------------------	--------------------------	------------------------------	--------------------------	-----------	------------------

No data records returned

**Environmental Conditions**

**Watersheds**

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
--	---	---	---------------------------------	--------------------------------------	--	---

No data records returned

**Assessed Waters From Latest State Submission (ATTAINS)**

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
-------	--------------	--------------------	----------------------	-----------------	-----------------------	--------------------	----------------	----------------------	----------------	-----------

No data records returned

**Air Quality Nonattainment Areas**

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
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No data records returned

**Pollutants**

**Toxics Release Inventory History of Reported Chemicals Released in Pounds per Year at Site**

TRI Facility ID	Year	Total Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Releases to Land	Total On-Site Releases	Total Off-Site Transfers
-----------------	------	---------------------	--------------------------	--	------------------------	------------------	------------------------	--------------------------

No data records returned

**Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year**

Chemical Name
---------------

No data records returned

[DMR and TRI Multi-Year Loading Report](#)

**CWA (Clean Water Act) Discharge Monitoring Report (DMR) Pollutant Loadings**

No data records returned

**Community**

## Environmental Justice

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the [EJScreen home page](#).

### EJScreen Indexes Shown

- Compare to  US  State
- Index Type  Environmental Justice  Supplemental

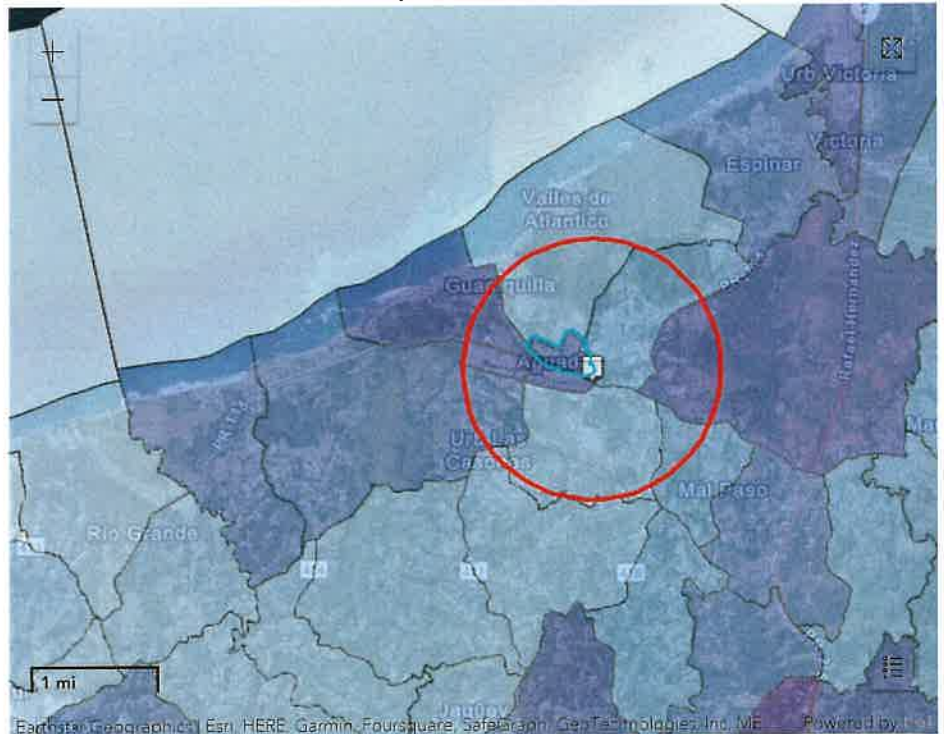
### Related Reports

[EJScreen Community Report](#)

Download Data

Census Block Group ID: 720034302002	US (Percentile)	
	Facility Census Block Group	1-mile Max
<b>Supplemental Indexes</b>		
Count of Indexes At or Above 80th Percentile	7	7
Particulate Matter 2.5	0	--
Ozone	0	--
Diesel Particulate Matter	10	12
Air Toxics Cancer Risk	36	38
Air Toxics Respiratory Hazard Index	37	40
Toxic Releases to Air	99	99
Traffic Proximity	98	99
Lead Paint	98	99
Risk Management Plan (RMP) Facility Proximity	99	99
Hazardous Waste Proximity	66	74
Superfund Proximity	87	91
Underground Storage Tanks (UST)	99	99
Wastewater Discharge	99	99

Facility 1-mile Radius  Facility Census Block Group





## Demographic Profile of Surrounding Area (1 mile)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2017 - 2021 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the [DFR Data Dictionary](#).

### General Statistics (U.S. Census)

Total Persons	8,440
Population Density	2,741/sq mi
Housing Units in Area	3,818

### General Statistics (ACS (American Community Survey))

Total Persons	6,487
Percent People of Color	94%
Households in Area	2,412
Households on Public Assistance	181
Persons With Low Income	4,496
Percent With Low Income	69%

### Geography

Radius of Selected Area	1 mi.
Center Latitude	18 37983
Center Longitude	-67 18453
Land Area	100%
Water Area	0%

### Income Breakdown (ACS (American Community Survey)) - Households (%)

Less than \$15,000	1,020 (42.32%)
\$15,000 - \$25,000	303 (12.57%)
\$25,000 - \$50,000	672 (27.88%)
\$50,000 - \$75,000	277 (11.49%)
Greater than \$75,000	138 (5.73%)

### Age Breakdown (U.S. Census) - Persons (%)

Children 5 years and younger	428 (5%)
Minors 17 years and younger	2,018 (24%)
Adults 18 years and older	6,422 (76%)
Seniors 65 years and older	1,327 (16%)

### Race Breakdown (U.S. Census) - Persons (%)

White	7,036 (83%)
African-American	663 (8%)
Hispanic-Origin	8,394 (99%)
Asian/Pacific Islander	5 (0%)
American Indian	41 (0%)
Other/Multiracial	695 (8%)

### Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)

Less than 9th Grade	820 (17.28%)
9th through 12th Grade	461 (9.71%)
High School Diploma	1,036 (21.83%)
Some College/2-year	518 (10.91%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	1,221 (25.73%)

LAST UPDATED ON SEPTEMBER 21, 2022

[DATA REFRESH INFORMATION](#)

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# TRI Facility Report

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## TRI Facility Report: DSC OF PUERTO RICO INC BLDG 1 (00602DSCFPPPOBOX)

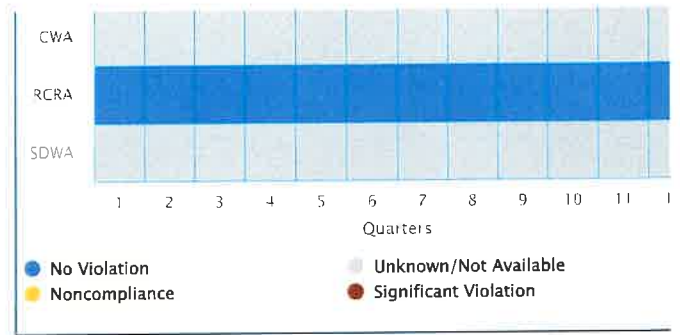
### Facility Information

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# TRI Facility Report

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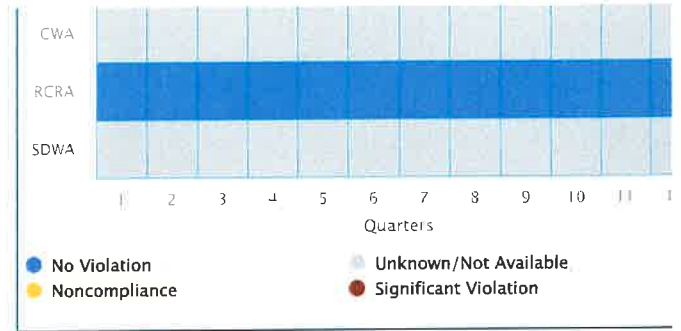
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## Detailed Facility Report



### Detailed Facility Report

#### Facility Summary

ZELTEX PUERTO RICO INCORPORATED

AGUADA IND PARK, AGUADA, PR 00602

FRS (Facility Registry Service) ID: 110002085216

EPA Region: 02

Latitude: 18.380173

Longitude: -67.195083

Locational Data Source: TRIS

Industries: Computer and Electronic Product Manufacturing

Indian Country: N



## Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	08/12/1997
<b>Compliance Status:</b>	<b>No Violations Identified</b>
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

## Regulatory Information

Clean Air Act (CAA): No Information  
 Clean Water Act (CWA): No Information  
 Resource Conservation and Recovery Act (RCRA): Inactive Other,  
 (PRD980526735), Inactive Other, (PRD987372661)  
 Safe Drinking Water Act (SDWA): No Information

[Go To Enforcement/Compliance Details](#)  
[Known Data Problems](#)

## Other Regulatory Reports

Air Emissions Inventory (EIS): No Information  
 Greenhouse Gas Emissions (eGGRT): No Information  
 Toxic Releases (TRI): 00602ZLTXDURBIN  
 Compliance and Emissions Data Reporting Interface (CEDRI): No Information

## Facility/System Characteristics

### Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110002085216					N	18.380173	-67.195083
TRI	EP313	00602ZLTXDURBIN	Toxics Release Inventory	Last Reported for 1990			N	18.380173	-67.195083
RCRAInfo	RCRA	PRD980526735	Other	Inactive ( )			N		
RCRAInfo	RCRA	PRD987372661	Other	Inactive ( )			N		



Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: PRD987372661)		10/01-12/31/20	01/01-03/31/21	04/01-06/30/21	07/01-09/30/21	10/01-12/31/21	01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23
Facility-Level Status		No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified
Violation	Agency												

Informal Enforcement Actions  ▼

Statute	System	Source ID	Type of Action	Lead Agency	Date
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No data records returned

*Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.*

Formal Enforcement Actions  ▼

Statute	System	Law/Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/Filed Date	Settlements/Actions	Settlement/Action Date	Federal Penalty Assessed	State/Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
---------	--------	-------------	-----------	----------------	----------	-------------	-----------	-------------------	---------------------	------------------------	--------------------------	------------------------------	--------------------------	-----------	------------------

No data records returned

## Environmental Conditions

### Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
--	---	---	---------------------------------	--------------------------------------	--	---

No data records returned

### Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
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No data records returned

### Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
-----------	-----------------------------------	---	---------------------------------	---

No data records returned

## Pollutants

### Toxics Release Inventory History of Reported Chemicals Released in Pounds per Year at Site

TRI Facility ID	Year	Total Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Releases to Land	Total On-Site Releases	Total Off-Site Transfers
-----------------	------	---------------------	--------------------------	--	------------------------	------------------	------------------------	--------------------------

No data records returned

### Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name

No data records returned

[DMR and TRI Multi-Year Loading Report](#)

### CWA (Clean Water Act) Discharge Monitoring Report (DMR) Pollutant Loadings

No data records returned

## Community

### Environmental Justice

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the [EJScreen home page](#).

#### EJScreen Indexes Shown

Compare to  US  State

Index Type  Environmental Justice  Supplemental

#### Related Reports

[EJScreen Community Report](#)

Facility 1-mile Radius  Facility Census Block Group

#### Download Data

Census Block Group ID: 720034303003	US (Percentile)	
Supplemental Indexes	Facility Census Block Group	1-mile Max
Count of Indexes At or Above 80th Percentile	7	7
Particulate Matter 2.5	0	**
Ozone	0	**
Diesel Particulate Matter	8	12
Air Toxics Cancer Risk	35	38
Air Toxics Respiratory Hazard Index	34	40
Toxic Releases to Air	99	99
Traffic Proximity	95	99
Lead Paint	94	99
Risk Management Plan (RMP) Facility Proximity	99	99
Hazardous Waste Proximity	61	74
Superfund Proximity	83	91
Underground Storage Tanks (UST)	99	99
Wastewater Discharge	99	99





### Demographic Profile of Surrounding Area (1 mile)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2017 - 2021 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the [DFR Data Dictionary](#).

#### General Statistics (U.S. Census)

Total Persons	8,091
Population Density	2,740/sq.mi.
Housing Units in Area	3,789

#### General Statistics (ACS (American Community Survey))

Total Persons	5,650
Percent People of Color	95%
Households in Area	2,173
Households on Public Assistance	153
Persons With Low Income	4,204
Percent With Low Income	74%

#### Geography

Radius of Selected Area	1 mi.
Center Latitude	18.380173
Center Longitude	-67.195083
Land Area	94%
Water Area	6%

#### Income Breakdown (ACS (American Community Survey)) - Households (%)

Less than \$15,000	915 (42.13%)
\$15,000 - \$25,000	278 (12.8%)
\$25,000 - \$50,000	658 (30.29%)
\$50,000 - \$75,000	187 (8.61%)
Greater than \$75,000	134 (6.17%)

#### Age Breakdown (U.S. Census) - Persons (%)

Children 5 years and younger	370 (5%)
Minors 17 years and younger	1,948 (24%)
Adults 18 years and older	6,143 (76%)
Seniors 65 years and older	1,304 (16%)

#### Race Breakdown (U.S. Census) - Persons (%)

White	6,837 (85%)
African-American	578 (7%)
Hispanic-Origin	8,045 (99%)
Asian/Pacific Islander	5 (0%)
American Indian	37 (0%)
Other/Multiracial	635 (8%)

#### Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)

Less than 9th Grade	809 (19.8%)
9th through 12th Grade	387 (9.47%)
High School Diploma	866 (21.2%)
Some College/2-year	463 (11.33%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	1,000 (24.48%)





# Detailed Facility Report



# Detailed Facility Report

## Facility Summary

CINE FOTO - AGUADA

267 CALLE COLON, AGUADA, PR 00602

FRS (Facility Registry Service) ID: 110004894874

EPA Region: 02

Latitude: 18.38037

Longitude: -67.18999

Locational Data Source: FRS

Industries: --

Indian Country: N

## Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

## Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Inactive Other, (PRR000010892)

Safe Drinking Water Act (SDWA): No Information

Go To Enforcement/Compliance Details

Known Data Problems <https://epa.gov/resources/echo-data/known-data-problems>

## Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting Interface (CEDRI): No Information

## Facility/System Characteristics

### Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS	RCRA	110004894874		Inactive ( )			N	18.38037	-67.18999
RCRAInfo	RCRA	PRR000010892	Other				N	18.380436	-67.190412

## Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS	RCRA	110004894874	CINE FOTO - AGUADA	267 CALLE COLON, AGUADA, PR 00602	Aguada Municipio
RCRAInfo	RCRA	PRR000010892	CINE FOTO - AGUADA	267 CALLE COLON, AGUADA, PR 00602	Aguada Municipio

## Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
		No data records returned	

## Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
		No data records returned	

## Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
			No data records returned

## Enforcement and Compliance

### Compliance Monitoring History

Last 5 Years

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
				No data records returned			

Entries in Italics are not counted as EPA official inspections.

### Compliance Summary Data

State RCRA	Source ID PRR000010892	Current SNC (Significant Noncompliance)/HPV (High Priority Violation) No	Current As Of 10/07/2023	Qtrs with NC (Noncompliance) (of 12) 0	Data Last Refreshed 10/06/2023
---------------	---------------------------	---	-----------------------------	---	-----------------------------------

### Three-Year Compliance History by Quarter

State	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: PRR000010892)	Facility-Level Status	10/01-12/31/20 No Violation Identified	01/01-03/31/21 No Violation Identified	04/01-06/30/21 No Violation Identified	07/01-09/30/21 No Violation Identified	10/01-12/31/21 No Violation Identified	01/01-03/31/22 No Violation Identified	04/01-06/30/22 No Violation Identified	07/01-09/30/22 No Violation Identified	10/01-12/31/22 No Violation Identified	01/01-03/31/23 No Violation Identified	04/01-06/30/23 No Violation Identified	07/01-09/30/23 No Violation Identified
	Violation												
	Agency												

### Informal Enforcement Actions

Last 5 Years

State	System	Source ID	Type of Action	Lead Agency	Date
			No data records returned		

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

### Formal Enforcement Actions

Last 5 Years

State	System	Law/Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/Filed Date	Settlements/Actions	Settlement/Action Date	Federal Penalty Assessed	State/Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost

### Environmental Conditions

#### Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
		No data records returned				

#### Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
					No data records returned					

#### Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
		No data records returned		

### Pollutants

#### Toxics Release Inventory History of Reported Chemicals Released in Pounds per Year at Site

TRI Facility ID	Year	Total Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Releases to Land	Total On-Site Releases	Total Off-Site Transfers
				No data records returned				

#### Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name	DMR and TRI Multi-Year Loading Report
No data records returned	

#### CWA (Clean Water Act) Discharge Monitoring Report (DMR) Pollutant Loadings

NPDES ID	Description
	No data records returned

### Community

#### Environmental Justice

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the EJScreen home page.

#### EJScreen Indexes Shown

Compare to  US  State

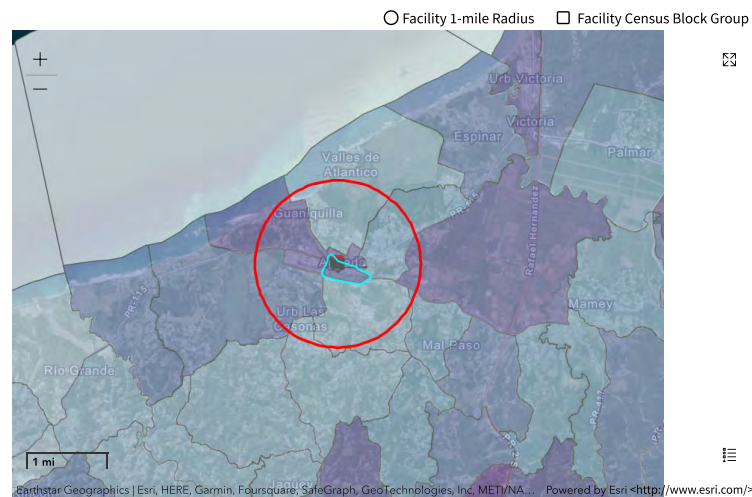
Index Type  Environmental Justice  Supplemental

#### Related Reports

EJScreen Community Report

Download Data

Census Block Group ID: 720034303002	US (Percentile)	Facility Census Block Group	1-mile Max
Count of Indexes At or Above Both Percentile	7		7
Particulate Matter 2.5	--		--
Ozone	--		--
Diesel Particulate Matter	11		11
Air Toxics Cancer Risk	55		55
Air Toxics Respiratory Hazard Index	40		40
Toxic Releases to Air	99		99
Traffic Proximity	99		99
Lead Paint	99		99
Risk Management Plan (RMP) Facility Proximity	99		99
Hazardous Waste Proximity	74		74
Superfund Proximity	91		91
Underground Storage Tanks (UST)	99		99
Wastewater Discharge	99		99



### Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2017 - 2021 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <<https://epa.gov/help/reports/dfr-data-dictionary#demographic>>.

General Statistics (U.S. Census)	
Total Persons	8,652
Population Density	2,797/sq.mil.
Housing Units in Area	4,015

General Statistics (ACS (American Community Survey))	
Total Persons	6,147
Percent People of Color	94%
Households in Area	2,323
Households on Public Assistance	175
Persons With Low Income	4,351
Percent With Low Income	71%

Geography	
Radius of Selected Area	1 mi.
Center Latitude	18.38037
Center Longitude	-87.18999
Land Area	99%
Water Area	1%

Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	977 (42.08%)
\$15,000 - \$25,000	289 (12.45%)
\$25,000 - \$50,000	673 (28.98%)
\$50,000 - \$75,000	240 (10.34%)
Greater than \$75,000	143 (6.16%)

Age Breakdown (U.S. Census) - Persons (%)	
Children 5 years and younger	417 (5%)
Minors 17 years and younger	2,100 (24%)
Adults 18 years and older	6,553 (76%)
Seniors 65 years and older	1,375 (16%)

Race Breakdown (U.S. Census) - Persons (%)	
White	7,312 (85%)
African-American	624 (7%)
Hispanic-Origin	8,603 (99%)
Asian/Pacific Islander	5 (0%)
American Indian	38 (0%)
Other/Multiracial	673 (8%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	832 (18.58%)
9th through 12th Grade	410 (9.16%)
High School Diploma	953 (21.29%)
Some College/2-year	502 (11.21%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	1,149 (25.66%)

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# RCRAInfo Facility

## Facility Information

**ESSO STANDARD OIL CO - PR I-305**  
**Handler ID: PRR000000570**  
**CALLE COLON 316**  
**AGUADA, PR 00602-2802**  
**County Name: AGUADA**  
**Latitude: 18.380948**  
**Latitude: -67.191303**  
**Hazardous Waste Generator:**  
**Owner Name: MIGUEL SANCHEZ**

**No Biennial Report data is available for the facility listed above.**

### LIST OF FACILITY CONTACTS

NAME	STREET	CITY	STATE	ZIP CODE	PHONE	TYPE OF CONTACT
	CALLE COLON 316	AGUADA	PR	00602		Public
	CALLE COLON 316	AGUADA	PR	00602		Permit

### HANDLER / FACILITY CLASSIFICATION

**Unspecified Universe for the facility listed above.**

#### HANDLER TYPE

Not in a universe

**NO PROCESS INFORMATION IS AVAILABLE FOR THE FACILITY LISTED ABOVE.**

**No NAICS Codes are available for the facility listed above.**

**No Waste Codes are available for the facility listed above.**



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Last updated on October 5, 2023







# Detailed Facility Report



# Detailed Facility Report

**Facility Summary**  
**VICTOR RIVERA SERVICE STATION 662**  
**PR-115 KM 26.6 BO ASOMANTE, AGUADA, PR 00602**

**FRS (Facility Registry Service) ID:** 110044992130  
**EPA Region:** 02  
**Latitude:** 18.379391  
**Longitude:** -67.188236  
**Locational Data Source:** ICIS  
**Industries:** Gasoline Stations  
**Indian Country:** N

## Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

## Regulatory Information

**Clean Air Act (CAA):** No Information  
**Clean Water Act (CWA):** No Information  
**Resource Conservation and Recovery Act (RCRA):** Inactive Other, (PRR00023564)  
**Safe Drinking Water Act (SDWA):** No Information

Go To Enforcement/Compliance Details  
 Known Data Problems <https://epa.gov/resources/echo-data/known-data-problems>

## Other Regulatory Reports

**Air Emissions Inventory (EIS):** No Information  
**Greenhouse Gas Emissions (eGGRT):** No Information  
**Toxic Releases (TRI):** No Information  
**Compliance and Emissions Data Reporting Interface (CEDRI):** No Information

## Facility/System Characteristics

### Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110044992130					N	18.379391	-67.188236
ICIS		600035879					N	18.379391	-67.188236
RCRAInfo	RCRA	PRR00023564	Other	Inactive ( )			N		

## Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110044992130	VICTOR RIVERA SERVICE STATION 662	PR-115 KM 26.6 BO ASOMANTE, AGUADA, PR 00602	Aguada Municipio
ICIS		600035879	#662 - VICTOR RIVERA	CARR 115 KM 26.6 BO. ASOMANTE, AGUADA, PR 00602	Aguada Municipio
RCRAInfo	RCRA	PRR00023564	VICTOR RIVERA SERVICE STATION #662	CARR #115 KM 26.6 BO ASOMANTE, AGUADA, PR 00602	Aguada Municipio

## Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
			No data records returned

## Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
RCRAInfo	PRR00023564	44719	Other Gasoline Stations

## Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
No data records returned			

## Enforcement and Compliance

### Compliance Monitoring History

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
---------	-----------	--------	---------------	----------------------------	-------------	------	-------------------------

No data records returned

Entries in italics are not counted as EPA official inspections.

### Compliance Summary Data

State RCRA	Source ID PRR00023564	Current SNC (Significant Noncompliance)/HPV (High Priority Violation) No	Current As Of 10/07/2023	Qtrs with NC (Noncompliance) [of 12] 0	Data Last Refreshed 10/06/2023
---------------	--------------------------	---	-----------------------------	---	-----------------------------------

### Three-Year Compliance History by Quarter

State	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: PRR00023564)	Facility-Level Status	10/01-12/31/20 No Violation Identified	01/01-03/31/21 No Violation Identified	04/01-06/30/21 No Violation Identified	07/01-09/30/21 No Violation Identified	10/01-12/31/21 No Violation Identified	01/01-03/31/22 No Violation Identified	04/01-06/30/22 No Violation Identified	07/01-09/30/22 No Violation Identified	10/01-12/31/22 No Violation Identified	01/01-03/31/23 No Violation Identified	04/01-06/30/23 No Violation Identified	07/01-09/30/23 No Violation Identified

### Informal Enforcement Actions

Last 5 Years

State	System	Source ID	Type of Action	Lead Agency	Date
No data records returned					

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

### Formal Enforcement Actions

Last 5 Years

State	System	Law/Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/Filed Date	Settlements/Actions	Settlement/Action Date	Federal Penalty Assessed	State/Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
No data records returned															

### Environmental Conditions

#### Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
No data records returned						

### Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
No data records returned										

### Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
No data records returned				

### Pollutants

#### Toxics Release Inventory History of Reported Chemicals Released in Pounds per Year at Site

TRI Facility ID	Year	Total Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Releases to Land	Total On-Site Releases	Total Off-Site Transfers
No data records returned								

#### Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name	DMR and TRI Multi-Year Loading Report
No data records returned	

### CWA (Clean Water Act) Discharge Monitoring Report (DMR) Pollutant Loadings

NPDES ID	Description
No data records returned	

### Community

#### Environmental Justice

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the EJScreen home page.

#### EJScreen Indexes Shown

Compare to  US  State

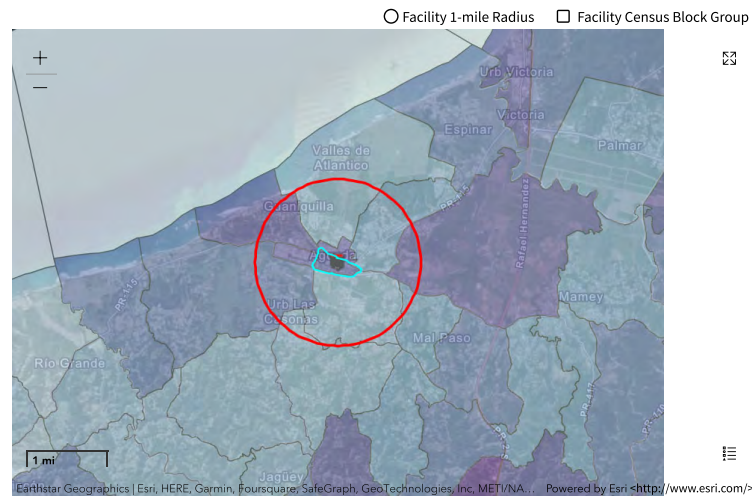
Index Type  Environmental Justice  Supplemental

#### Related Reports

EJScreen Community Report

Download Data

Census Block Group ID: 720034303002	Facility Census Block Group	1-mile Max
Supplemental Indexes		
Count of Indexes At or Above 80th Percentile	7	7
Particulate Matter 2.5	--	--
Ozone	--	--
Diesel Particulate Matter	11	11
Air Toxics Cancer Risk	55	55
Air Toxics Respiratory Hazard Index	40	40
Toxic Releases to Air	99	99
Traffic Proximity	99	99
Lead Paint	99	99
Risk Management Plan (RMP) Facility Proximity	99	99
Hazardous Waste Proximity	74	74
Superfund Proximity	91	91
Underground Storage Tanks (UST)	99	99
Wastewater Discharge	99	99



### Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2017 - 2021 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <<https://epa.gov/help/reports/dfr-data-dictionary#demographic>>.

General Statistics (U.S. Census)	
Total Persons	8,991
Population Density	2,840/sq.mil.
Housing Units in Area	4,111

General Statistics (ACS (American Community Survey))	
Total Persons	6,294
Percent People of Color	94%
Households in Area	2,371
Households on Public Assistance	176
Persons With Low Income	4,391
Percent With Low Income	70%

Geography	
Radius of Selected Area	1 mi.
Center Latitude	18.379391
Center Longitude	-67.186236
Land Area	100%
Water Area	0%

Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	992 (41.86%)
\$15,000 - \$25,000	292 (12.32%)
\$25,000 - \$50,000	680 (28.69%)
\$50,000 - \$75,000	258 (10.89%)
Greater than \$75,000	148 (6.24%)

Age Breakdown (U.S. Census) - Persons (%)	
Children 5 years and younger	443 (5%)
Minors 17 years and younger	2,176 (24%)
Adults 18 years and older	6,814 (76%)
Seniors 65 years and older	1,409 (16%)

Race Breakdown (U.S. Census) - Persons (%)	
White	7,558 (84%)
African-American	678 (8%)
Hispanic-Origin	8,941 (99%)
Asian/Pacific Islander	5 (0%)
American Indian	39 (0%)
Other/Multiracial	711 (8%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	836 (18.27%)
9th through 12th Grade	423 (9.24%)
High School Diploma	966 (21.11%)
Some College/2-year	515 (11.25%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	1,191 (26.02%)

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# Detailed Facility Report



# Detailed Facility Report

## Facility Summary

DSC OF PUERTO RICO INC BLDG 1

WEST INDUSTRIAL SITE BLDG 1, AGUADA, PR 00602

FRS (Facility Registry Service) ID: 110007807711

EPA Region: 02

Latitude: 18.371006

Longitude: -67.207584

Locational Data Source: TRIS

Industries: Computer and Electronic Product Manufacturing

Indian Country: N

## Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	05/26/1995
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

## Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Inactive Other, (PRD105745160)

Safe Drinking Water Act (SDWA): No Information

Go To Enforcement/Compliance Details

Known Data Problems <https://epa.gov/resources/echo-data/known-data-problems>

## Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): 00602DSCFPPPOBOX

Compliance and Emissions Data Reporting Interface (CEDRI): No Information

## Facility/System Characteristics

### Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110007807711					N	18.371006	-67.207584
TRI	EP313	00602DSCFPPPOBOX	Toxics Release Inventory	Last Reported for 1990			N	18.371006	-67.207584
RCRAInfo	RCRA	PRD105745160	Other	Inactive ( )			N		

## Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110007807711	DSC OF PUERTO RICO INC BLDG 1	WEST INDUSTRIAL SITE BLDG 1, AGUADA, PR 00602	Aguada Municipio
TRI	EP313	00602DSCFPPPOBOX	DSC OF PUERTO RICO INC BLDG 1	AGUADA WEST INDUSTRIAL SITE, AGUADA, PR 006020580	Aguada Municipio
RCRAInfo	RCRA	PRD105745160	DSC OF PUERTO RICO INC	WEST INDUSTRIAL SITE BLDG 1, AGUADA, PR 00602	Aguada Municipio

## Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
		No data records returned	

## Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
TRI	00602DSCFPPPOBOX	334290	Other Communications Equipment Manufacturing
TRI	00602DSCFPPPOBOX	334412	Bare Printed Circuit Board Manufacturing

## Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
No data records returned			

## Enforcement and Compliance

### Compliance Monitoring History

Last 5 Years

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
				No data records returned			

Entries in italics are not counted as EPA official inspections.

### Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
RCRA	PRD105745160	No	10/07/2023	0	10/06/2023

### Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: PRD105745160)		10/01-12/31/20	01/01-03/31/21	04/01-06/30/21	07/01-09/30/21	10/01-12/31/21	01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23
	Facility-Level Status	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified
	Agency												

### Informal Enforcement Actions

Last 5 Years

Statute	System	Source ID	Type of Action	Lead Agency	Date

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

### Formal Enforcement Actions

Last 5 Years

Statute	System	Law/Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/Filed Date	Settlements/Actions	Settlement/Action Date	Federal Penalty Assessed	State/Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost

### Environmental Conditions

#### Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (Reach Address Database)	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?

### Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use

### Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)

### Pollutants

#### Toxics Release Inventory History of Reported Chemicals Released in Pounds per Year at Site

TRI Facility ID	Year	Total Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Releases to Land	Total On-Site Releases	Total Off-Site Transfers

#### Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name	DMR and TRI Multi-Year Loading Report

#### CWA (Clean Water Act) Discharge Monitoring Report (DMR) Pollutant Loadings

NPDES ID	Description

### Community

#### Environmental Justice

This section shows indexes from EJSscreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJSscreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the EJSscreen home page.

##### EJSscreen Indexes Shown

##### Related Reports

Compare to  US  State

Index Type  Environmental Justice  Supplemental

EJSscreen Community Report

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Facility 1-mile Radius  Facility Census Block Group

Supplemental Indexes	Facility Census Block Group	1-mile Max
Count of Indexes At or Above 80th Percentile	6	7
Particulate Matter 2.5	--	--
Ozone	--	--
Diesel Particulate Matter	7	11
Air Toxics Cancer Risk	52	55
Air Toxics Respiratory Hazard Index	33	40
Toxic Releases to Air	99	99
Traffic Proximity	67	95
Lead Paint	80	96
Risk Management Plan (RMP) Facility Proximity	97	99
Hazardous Waste Proximity	58	72
Superfund Proximity	81	90
Underground Storage Tanks (UST)	89	99
Wastewater Discharge	99	99





### Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2017 - 2021 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <a href='\"/>

General Statistics (U.S. Census)	
Total Persons	4,204
Population Density	1,338/sq. mi.
Housing Units in Area	1,819

General Statistics (ACS (American Community Survey))	
Total Persons	3,783
Percent People of Color	95%
Households in Area	1,317
Households on Public Assistance	28
Persons With Low Income	2,839
Percent With Low Income	75%

Geography	
Radius of Selected Area	1 mi.
Center Latitude	18.371006
Center Longitude	-67.207584
Land Area	100%
Water Area	0%

Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	394 (29.92%)
\$15,000 - \$25,000	212 (16.1%)
\$25,000 - \$50,000	446 (33.86%)
\$50,000 - \$75,000	134 (10.17%)
Greater than \$75,000	131 (9.95%)

Age Breakdown (U.S. Census) - Persons (%)	
Children 5 years and younger	204 (5%)
Minors 17 years and younger	1,028 (24%)
Adults 18 years and older	3,176 (76%)
Seniors 65 years and older	534 (13%)

Race Breakdown (U.S. Census) - Persons (%)	
White	3,572 (85%)
African-American	229 (5%)
Hispanic-Origin	4,181 (99%)
Asian/Pacific Islander	3 (0%)
American Indian	11 (0%)
Other/Multiracial	389 (9%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	495 (13.5%)
9th through 12th Grade	165 (6.5%)
High School Diploma	505 (13.9%)
Some College/2-year	264 (10.4%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	710 (27.97%)

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# Detailed Facility Report



# Detailed Facility Report

**Facility Summary**  
DSC OF PUERTO RICO INC BLDG 8  
WEST INDUSTRIAL SITE BLDG 8, AGUADA, PR 00602

FRS (Facility Registry Service) ID: 110012794431  
EPA Region: 02  
Latitude: 18.371006  
Longitude: -67.207584  
Locational Data Source: TRIS  
Industries: Computer and Electronic Product Manufacturing  
Indian Country: N

## Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

## Regulatory Information

Clean Air Act (CAA): No Information  
Clean Water Act (CWA): No Information  
Resource Conservation and Recovery Act (RCRA): Inactive Other, (PRD982537458)  
Safe Drinking Water Act (SDWA): No Information

Go To Enforcement/Compliance Details  
Known Data Problems [<https://epa.gov/resources/echo-data/known-data-problems>](#)

## Other Regulatory Reports

Air Emissions Inventory (EIS): No Information  
Greenhouse Gas Emissions (eGGRT): No Information  
Toxic Releases (TRI): 00602GRNGRAGUAD  
Compliance and Emissions Data Reporting Interface (CEDRI): No Information

## Facility/System Characteristics

### Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Area	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110012794431					N	18.371006	-67.207584
TRI	EP313	00602GRNGRAGUAD	Toxics Release Inventory	Last Reported for 1991			N	18.371006	-67.207584
RCRAInfo	RCRA	PRD982537458	Other	Inactive ( )			N		

## Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110012794431	DSC OF PUERTO RICO INC BLDG 8	WEST INDUSTRIAL SITE BLDG 8, AGUADA, PR 00602	Aguada Municipio
TRI	EP313	00602GRNGRAGUAD	DSC OF PUERTO RICO INC BLDG 8	W INDUSTRIAL SITE, AGUADA, PR 006020580	Aguada Municipio
RCRAInfo	RCRA	PRD982537458	DSC OF PUERTO RICO INC	WEST INDUSTRIAL SITE BLDG 8, AGUADA, PR 00602	Aguada Municipio

## Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
		No data records returned	

## Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
TRI	00602GRNGRAGUAD	334412	Bare Printed Circuit Board Manufacturing
TRI	00602GRNGRAGUAD	493190	Other Warehousing and Storage

## Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
No data records returned			

## Enforcement and Compliance

### Compliance Monitoring History

Last 5 Years

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
				No data records returned			

Entries in italics are not counted as EPA official inspections.

### Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) of 12	Data Last Refreshed
RCRA	PRD982537458	No	10/07/2023	0	10/06/2023

### Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: PRD982537458)	Facility-Level Status	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified
	Agency												

### Informal Enforcement Actions

Last 5 Years

Statute	System	Source ID	Type of Action	Lead Agency	Date

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

### Formal Enforcement Actions

Last 5 Years

Statute	System	Law/Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/Filed Date	Settlements/Actions	Settlement/Action Date	Federal Penalty Assessed	State/Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost

### Environmental Conditions

#### Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?

#### Assessed Waters From Latest State Submission (ATTAAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use

#### Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)

### Pollutants

#### Toxics Release Inventory History of Reported Chemicals Released in Pounds per Year at Site

TRI Facility ID	Year	Total Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Releases to Land	Total On-Site Releases	Total Off-Site Transfers

#### Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name	DMR and TRI Multi-Year Loading Report

#### CWA (Clean Water Act) Discharge Monitoring Report (DMR) Pollutant Loadings

NPDES ID	Description

### Community

#### Environmental Justice

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the EJScreen home page.

##### EJScreen Indexes Shown

Compare to  US  State

Index Type  Environmental Justice  Supplemental

##### Related Reports

EJScreen Community Report

Download Data

Facility 1-mile Radius  Facility Census Block Group

Supplemental Indexes	Facility Census Block Group	1-mile Max
Count of Indexes At or Above 80th Percentile	6	7
Particulate Matter 2.5	--	--
Ozone	--	--
Diesel Particulate Matter	7	11
Air Toxics Cancer Risk	52	55
Air Toxics Respiratory Hazard Index	33	40
Toxic Releases to Air	99	99
Traffic Proximity	67	95
Lead Paint	80	96
Risk Management Plan (RMP) Facility Proximity	97	99
Hazardous Waste Proximity	58	72
Superfund Proximity	81	90
Underground Storage Tanks (UST)	89	99
Wastewater Discharge	99	99



### Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2017 - 2021 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <a href='\"/>

General Statistics (U.S. Census)	
Total Persons	4,204
Population Density	1,338/sq. mi.
Housing Units in Area	1,819

General Statistics (ACS (American Community Survey))	
Total Persons	3,783
Percent People of Color	95%
Households in Area	1,317
Households on Public Assistance	28
Persons With Low Income	2,839
Percent With Low Income	75%

Geography	
Radius of Selected Area	1 mi.
Center Latitude	18.371006
Center Longitude	-67.207584
Land Area	100%
Water Area	0%

Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	394 (29.92%)
\$15,000 - \$25,000	212 (16.1%)
\$25,000 - \$50,000	446 (33.86%)
\$50,000 - \$75,000	134 (10.17%)
Greater than \$75,000	131 (9.95%)

Age Breakdown (U.S. Census) - Persons (%)	
Children 5 years and younger	204 (5%)
Minors 17 years and younger	1,028 (24%)
Adults 18 years and older	3,176 (76%)
Seniors 65 years and older	534 (13%)

Race Breakdown (U.S. Census) - Persons (%)	
White	3,572 (85%)
African-American	229 (5%)
Hispanic-Origin	4,181 (99%)
Asian/Pacific Islander	3 (0%)
American Indian	11 (0%)
Other/Multiracial	389 (9%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	495 (13.5%)
9th through 12th Grade	165 (6.5%)
High School Diploma	505 (13.9%)
Some College/2-year	264 (10.4%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	710 (27.97%)

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# Detailed Facility Report



# Detailed Facility Report

**Facility Summary**  
**DSC OF PUERTO RICO INC BLDG 9**  
**WEST INDUSTRIAL SITE BLDG 9, AGUADA, PR 00602**

**FRS (Facility Registry Service) ID:** 110007809737  
**EPA Region:** 02  
**Latitude:** 18.371006  
**Longitude:** -67.207584  
**Locational Data Source:** TRIS  
**Industries:** Computer and Electronic Product Manufacturing  
**Indian Country:** N

## Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
<b>Compliance Status</b>	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

## Regulatory Information

**Clean Air Act (CAA):** No Information  
**Clean Water Act (CWA):** No Information  
**Resource Conservation and Recovery Act (RCRA):** Inactive Other, (PRD982533937)  
**Safe Drinking Water Act (SDWA):** No Information

Go To Enforcement/Compliance Details  
 Known Data Problems [<https://epa.gov/resources/echo-data/known-data-problems>](#)

## Other Regulatory Reports

**Air Emissions Inventory (EIS):** No Information  
**Greenhouse Gas Emissions (eGGRT):** No Information  
**Toxic Releases (TRI):** 00602DSCFPP0BOA  
**Compliance and Emissions Data Reporting Interface (CEDRI):** No Information

## Facility/System Characteristics

### Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110007809737					N	18.371006	-67.207584
TRI	EP313	00602DSCFPP0BOA	Toxics Release Inventory	Last Reported for 1990			N	18.371006	-67.207584
RCRAInfo	RCRA	PRD982533937	Other	Inactive ( )			N		

## Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110007809737	DSC OF PUERTO RICO INC BLDG 9	WEST INDUSTRIAL SITE BLDG 9, AGUADA, PR 00602	Aguada Municipio
TRI	EP313	00602DSCFPP0BOA	DSC OF PUERTO RICO INC BLDG 9	W INDUSTRIAL SITE, AGUADA, PR 006020580	Aguada Municipio
RCRAInfo	RCRA	PRD982533937	DSC OF PUERTO RICO INC	WEST INDUSTRIAL SITE BLDG 9, AGUADA, PR 00602	Aguada Municipio

## Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
		No data records returned	

## Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
TRI	00602DSCFPP0BOA	334412	Bare Printed Circuit Board Manufacturing

## Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
No data records returned			

## Enforcement and Compliance

### Compliance Monitoring History

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
---------	-----------	--------	---------------	----------------------------	-------------	------	-------------------------



No data records returned

Entries in italics are not counted as EPA official inspections.

### Compliance Summary Data

State RCRA	Source ID PR0982533937	Current SNC (Significant Noncompliance)/HPV (High Priority Violation) No	Current As Of 10/07/2023	Qtrs with NC (Noncompliance) (of 12) 0	Data Last Refreshed 10/06/2023
---------------	---------------------------	---	-----------------------------	---	-----------------------------------

### Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: PR0982533937)	Facility-Level Status	10/01-12/31/20 No Violation Identified	01/01-03/31/21 No Violation Identified	04/01-06/30/21 No Violation Identified	07/01-09/30/21 No Violation Identified	10/01-12/31/21 No Violation Identified	01/01-03/31/22 No Violation Identified	04/01-06/30/22 No Violation Identified	07/01-09/30/22 No Violation Identified	10/01-12/31/22 No Violation Identified	01/01-03/31/23 No Violation Identified	04/01-06/30/23 No Violation Identified	07/01-09/30/23 No Violation Identified

### Informal Enforcement Actions

Last 5 Years

Statute	System	Source ID	Type of Action	Lead Agency	Date
No data records returned					

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

### Formal Enforcement Actions

Last 5 Years

Statute	System	Law/Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/Filed Date	Settlements/Actions	Settlement/Action Date	Federal Penalty Assessed	State/Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
No data records returned															

### Environmental Conditions

#### Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
No data records returned						

### Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
No data records returned										

### Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
No data records returned				

### Pollutants

#### Toxics Release Inventory History of Reported Chemicals Released in Pounds per Year at Site

TRI Facility ID	Year	Total Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Releases to Land	Total On-Site Releases	Total Off-Site Transfers
No data records returned								

#### Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name	DMR and TRI Multi-Year Loading Report
No data records returned	

### CWA (Clean Water Act) Discharge Monitoring Report (DMR) Pollutant Loadings

NPDES ID	Description
No data records returned	

### Community

#### Environmental Justice

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the EJScreen home page.

#### EJScreen Indexes Shown

Compare to  US  State

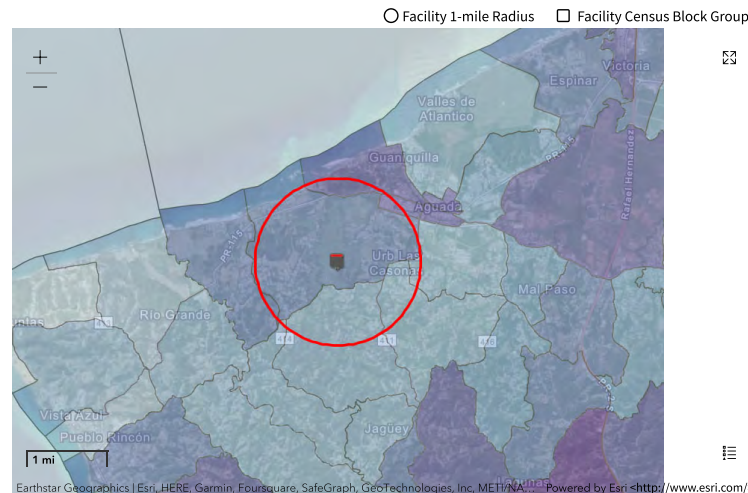
Index Type  Environmental Justice  Supplemental

#### Related Reports

EJScreen Community Report

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Census Block Group ID: 720034306022	US (Percentile)	Facility Census Block Group	1-mile Max
Supplemental Indexes			
Count of Indexes At or Above 80th Percentile	6		7
Particulate Matter 2.5	--		--
Ozone	--		--
Diesel Particulate Matter	7		11
Air Toxics Cancer Risk	52		55
Air Toxics Respiratory Hazard Index	33		40
Toxic Releases to Air	99		99
Traffic Proximity	67		95
Lead Paint	80		96
Risk Management Plan (RMP) Facility Proximity	97		99
Hazardous Waste Proximity	58		72
Superfund Proximity	81		90
Underground Storage Tanks (UST)	89		99
Wastewater Discharge	99		99



### Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2017 - 2021 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <<https://epa.gov/help/reports/dfr-data-dictionary#demographic>>.

General Statistics (U.S. Census)	
Total Persons	4,204
Population Density	1,338/sq.mi.
Housing Units in Area	1,819

General Statistics (ACS (American Community Survey))	
Total Persons	3,783
Percent People of Color	95%
Households in Area	1,317
Households on Public Assistance	28
Persons With Low Income	2,839
Percent With Low Income	75%

Geography	
Radius of Selected Area	1 mi.
Center Latitude	18.371006
Center Longitude	-67.207584
Land Area	100%
Water Area	0%

Income Breakdown (ACS (American Community Survey)) - Households (%)	
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Greater than \$75,000	131 (9.95%)

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<<https://epa.gov/resources/echo-data/about-the-data#sources>>

**Appendix D**  
**Endangered Species**



### Self-Certification

<http://www.fws.gov/caribbean/ES/Index.html>

#### Endangered Species Act Certification

The U.S. Fish and Wildlife Service, Caribbean Ecological Services Field Office developed a Blanket Clearance Letter in compliance with Endangered Species Act of 1973, as amended, and the Fish and Wildlife Coordination Act for federally funded projects.

The Service determined that projects in compliance with the following criteria are not likely to adversely affect federally listed species.

Puerto Rico Department of Housing (PRDOH) certifies that the following project **El Nuevo Desvío Sur, PR-CRP-000837**; consisting of the complete revitalization of the municipal road known as Avenida Natio Alers, reconstruction and remodeling of the street infrastructure, which includes road-asphalt pavement, new sidewalks, vegetative “green” areas, a bicycle lane, pedestrian crossing signage, accessible sidewalk, ramps and the installation of a new street lighting, and the substitution of an existing storm water culvert located at the street intersection with Padre Ledesma Road; located at the municipal road Natio Alers Avenue, Aguada, PR 00602; from coordinates 18.377552, -67.180452 to 18.382739, -67.199681, complies with:

Check	Project Criteria
<input checked="" type="checkbox"/>	1. Street resurfacing.
<input checked="" type="checkbox"/>	2. Construction of gutters and sidewalks along existing roads.
<input type="checkbox"/>	3. Reconstruction or emergency repairs of existing buildings, facilities, and homes.
<input type="checkbox"/>	4. Rehabilitation of existing occupied single-family homes, and buildings; provided that equipment storage or staging areas are not located on vacant property harboring a wetland and/or forested vegetation and that the lighting associated to the new facilities is not visible directly or indirectly from a beach.

<input type="checkbox"/>	5. Demolition of dilapidated single-family homes or buildings; provided that the demolition debris is disposed in certified receiving facilities; equipment storage or staging areas are not located on vacant property harboring a wetland and/or forested vegetation.
<input type="checkbox"/>	6. Rebuilding of demolished single-family homes or buildings, provided that the new construction is within the existing footprint of the previous structure and/or within pre-existing grassed or paved areas, and that the lighting associated to the new facilities are not visible directly or indirectly from a beach.
<input checked="" type="checkbox"/>	7. Activities within existing Right of Ways (ROWs) of roads, bridges, and highways, when limited to actions that do not involve cutting native vegetation or mayor earth moving; and are not located within, or adjacent to, drainages, wetlands, or aquatic systems. These activities include the installation of potable water and sanitary pipelines.
<input type="checkbox"/>	8. Improvements to existing recreational facilities, including the installation of roofs to existing basketball courts, provided that the lighting associated to the facilities are not visible directly or indirectly from the beach.
<input type="checkbox"/>	9. Construction of electric underground systems in existing towns and communities, provided that the property is not a wetland area and the lighting associated to the facilities are not visible directly or indirectly from the beach.
<input type="checkbox"/>	10. Construction of facilities on vacant properties covered with grasses in urban areas, provided that the lighting associated to the facilities are not visible directly or indirectly from the beach.
<input type="checkbox"/>	11. Construction of houses, buildings or acquiring lands in urban areas covered by grass for relocation of low-income families and/or facilities that have been affected by weather conditions.

---

Ángel G. López-Guzmán  
Deputy Director

---

Date



USFWS Self-Certification  
PR-CRP-000837

Permits and Environmental Compliance Division

Office of Disaster Recovery

**Address:** P.O. Box 21365 San Juan, PR 00928

**Telephone and Ext:** 787-274-2527 ext. 4320

**Email:** [environmentcdbg@vivienda.pr.gov](mailto:environmentcdbg@vivienda.pr.gov)

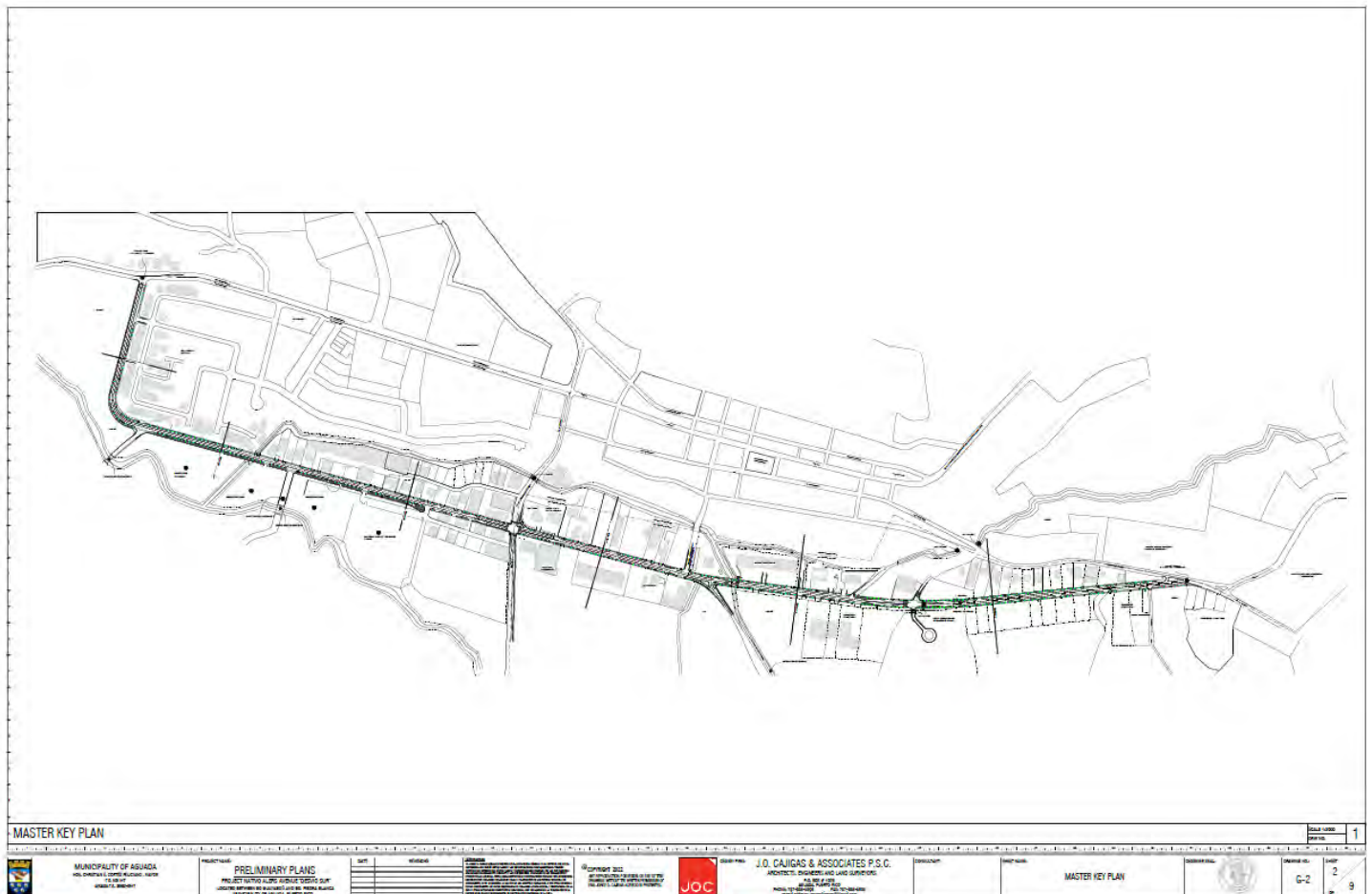
Gobierno de Puerto Rico  
Departamento de Recursos Naturales y Ambientales  
P.O. Box 366147  
San Juan, PR 00936

**Proyecto:** Rehabilitación de la Avenida Nativo Alers  
**Dirección:** Avenida Nativo Alers localizada en el Barrio Guayabo y Piedras Blancas del término Municipal de Aguada

## ASUNTO: OBSERVACIONES SOBRE LA POSIBLE PRESENCIA DE HUMEDALES

En febrero de 2023 se procedió a realizar un inventario de flora y fauna la Avenida Nativo Alers localizada en el Barrio Guayabo y Piedras Blancas del término Municipal de Aguada, Puerto Rico. se propone la revitalización de dicha vía municipal.

Este proyecto implica mejoras sustanciales conocidas como "Calle Completa". La carretera Avenida Nativo Alers mantiene un tráfico promedio diario de 13,836 vehículos. Esta vía sirve de puerta de entrada al casco urbano, conecta el casco urbano con las comunidades de Reparto Minerva, Alturas de Aguada, áreas deportivas, culturales, recreativas y comerciales como al Escuela Juana Rosario, El Museo Aguadeño, recintos del gobierno estatal (Tribunal de Primera Instancia) y la oficina de postal de USPS, sirve además como acceso a la playa Pico de Piedra y la carretera estatal PR-115.



A lo largo de la avenida donde se propone la acción, se observaron especies de flora y fauna comunes de zona urbanas. Se inventariaron 34 especies de flora, las cuales se distribuyen entre nativas (12) y naturalizadas (22). También se registraron 6 especies de aves, 7 especies de reptiles y 7 especies de invertebrados. Dentro del predio objeto de este estudio **No se observaron especies en Peligro de extinción, vulnerables o en estado crítico**. Además de las visitas al campo, se consultaron bases de datos de la diferentes agencia estatales y federales con el propósito de verificar la información



encontrada y la observación directa de la flora y la fauna en el área de estudio, así como los datos obtenidos de la evaluación del predio.

El Inventario Nacional de Humedales del Servicio de Pesca y Vida Silvestre de los Estados Unidos identifica varios sistemas de humedal a lo largo del proyecto objeto de esta consulta. Estos sistemas están identificados como (PEM1A) (PEM1C).

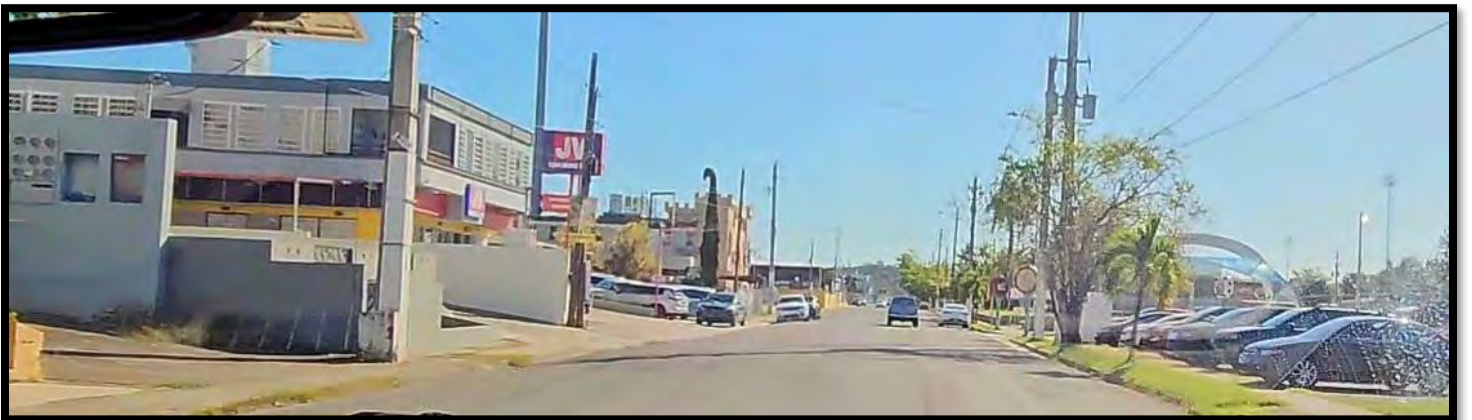


Según el Servicio de Pesca y Vida Silvestre este tipo de humedal es uno persistente emergente palustrino, estacionalmente inundado. Este tipo de humedal se caracteriza por ser un Pantano de agua dulce con vegetación persistente, topográficamente bajo.

**Durante la visita el sitio en febrero 2023 NO SE OBSERVARON pantanos dentro de la huella correspondiente al proyecto.** Los humedales están fuera de la huella de la vía de rodaje existente y las aguas drenan a través de los canales que discurren bajo dicha vía. Las siguientes fotos muestra un recorrido a través de toda la Avenida Alers. En dichas fotos se puede observar la ausencia de áreas de humedal dentro de la huella del proyecto propuesto.















La Avenida Alers fue construida hace mas 35 años y en su momento se canalizaron y manejan los humedales existentes bajo la reglamentación vigente durante su construcción. Actualmente el proyecto, tal y como se propone, no contempla alterar o impactar los humedales aledaños a esta vía de rodaje.

De tener alguna duda al respecto, favor de comunicarse con el que suscribe al teléfono (787) 460-7821.

Atentamente,

**Luis M. García Orta, MS, PSF**  
Profesional de Siembra y Forestación  
PSF- 183





GOBIERNO DE PUERTO RICO  
DEPARTAMENTO DE RECURSOS NATURALES Y AMBIENTALES

MAY 08 2023

LUIS M GARCIA ORTA  
P O BOX 8284  
PONCE, PR 00732  
[lmgorta@gmail.com](mailto:lmgorta@gmail.com)

Estimado señor García Orta:

**Certificación para Categorización de  
Hábitats Naturales para la Vida Silvestre  
Rehabilitación de Ave. Nativo Alers (Nuevo Desvío Sur)  
Ave. Nativo Alers desde Intersección con Carr. PR-115 hasta Intersección con Carr. PR-417  
Bos. Guayabo & Piedras Blancas, Aguada  
O-SE-CCH01-PO-00057-24022023**

El Departamento de Recursos Naturales y Ambientales (DRNA) evaluó una Solicitud de Certificación para Categorización de Hábitats Naturales para la Vida Silvestre para el proyecto de epígrafe. La misma fue evaluada de acuerdo con las disposiciones aplicables relacionadas con la fauna, la flora y sus hábitats de la Ley 416 del 2004, según enmendada (*Ley Sobre Política Pública Ambiental*), su Reglamento 7591 de 2010 (*Reglamento Conjunto para la Evaluación y Expedición de Permisos Relacionados al Desarrollo, Uso de Terrenos y Operación de Negocios*), la Ley 23 del 1972, según enmendada (*Ley Orgánica del Departamento de Recursos Naturales y Ambientales de Puerto Rico*), la Ley 150 de 1988, según enmendada (*Ley del Programa de Patrimonio Natural de Puerto Rico*), la Ley 314 de 1998 (*Ley para Declarar la Política Pública sobre Humedales y Designación de Caño Tiburones como Reserva Natural*), la Ley 292 del 1999 (*Ley para la Protección de la Fisiografía Cársica de Puerto Rico*) y su Reglamento 8486 de 2014 (*Plan y Reglamento del Área de Planificación Especial del Carso*) y la Ley 241 del 1999, según enmendada (*Nueva Ley de vida silvestre de Puerto Rico*) y sus Reglamentos 6765 de 2004 (*Reglamento para regir la conservación y el manejo de la vida silvestre, las especies exóticas y la caza en el Estado Libre Asociado de Puerto Rico*) y 6766 del 2004 (*Reglamento para regir las especies vulnerables y en peligro de extinción en el Estado Libre Asociado de Puerto Rico*), así como de la Orden Administrativa del DRNA 2010-09 y el *Puerto Rico State Wildlife Action Plan* del DRNA, adoptado en Septiembre, 2015. En cuanto al Inventario de flora y fauna incluido en la solicitud, encontramos que cumplió satisfactoriamente con las disposiciones aplicables de la Ley 416 del 2004, *supra*, y su Reglamento 7591, *supra*, documentando de forma representativa la flora y la fauna del lugar.

El predio del proyecto ocupa unos 2,400 metros lineales. Es un predio ocupado por una carretera de cuatro carriles y su servidumbre de paso, que bordea un área urbana. Se proponen mejoras a la carretera tales como asfaltado, reconstrucción de cunetas y encintados, instalación de 106 postes de alumbrado, así como



la reforestación paisajista de las orillas. No hay reportes de especies de flora o fauna Vulnerables o En Peligro de Extinción.

Como resultado de dicha evaluación, hemos categorizado el predio como **Hábitat Natural con Bajo Potencial de Convertirse en Hábitat Esencial, Hábitat de Alto Valor Ecológico o Hábitat de Valor Ecológico (Categoría 6)**. El Artículo 2.03 del Reglamento 6765, supra, establece lo siguiente para esta categoría:

"La meta de la mitigación es minimizar el impacto al hábitat. El Departamento deberá actuar para alcanzar las metas de la mitigación de hábitat recomendando o exigiendo acciones que minimicen la pérdida directa de hábitat y que evite impacto a otro hábitat fuera del área a impactarse."

Este documento es una calificación de los hábitats naturales sitios en el predio de epígrafe, requerida por los estatutos legales vigentes. **No constituye un permiso para la construcción u operación del proyecto propuesto.**

Esta certificación es solamente aplicable a la situación de hechos según presentados y evaluados en el caso y la Secretaria se reserva el derecho de evaluar, variar o modificar el mismo en cualquier momento anterior a la emisión del permiso o la acción administrativa correspondiente por parte de la agencia solicitante o proponente, de surgir nueva información oficial específica estableciendo que el derecho aplicable o las condiciones ambientales en el predio han cambiado sustancialmente o cuando la certificación original se emitió bajo premisas falsas o fraudulentas.

Si tiene alguna pregunta o necesita orientación sobre este asunto, puede escribirnos a la dirección indicada o comunicarse al teléfono 787-999-2200 extensión 2846.

Cordialmente,



Mercemar Rodríguez Santiago

Secretaria Auxiliar

Secretaría Auxiliar de Permisos, Endosos y Servicios Especializados

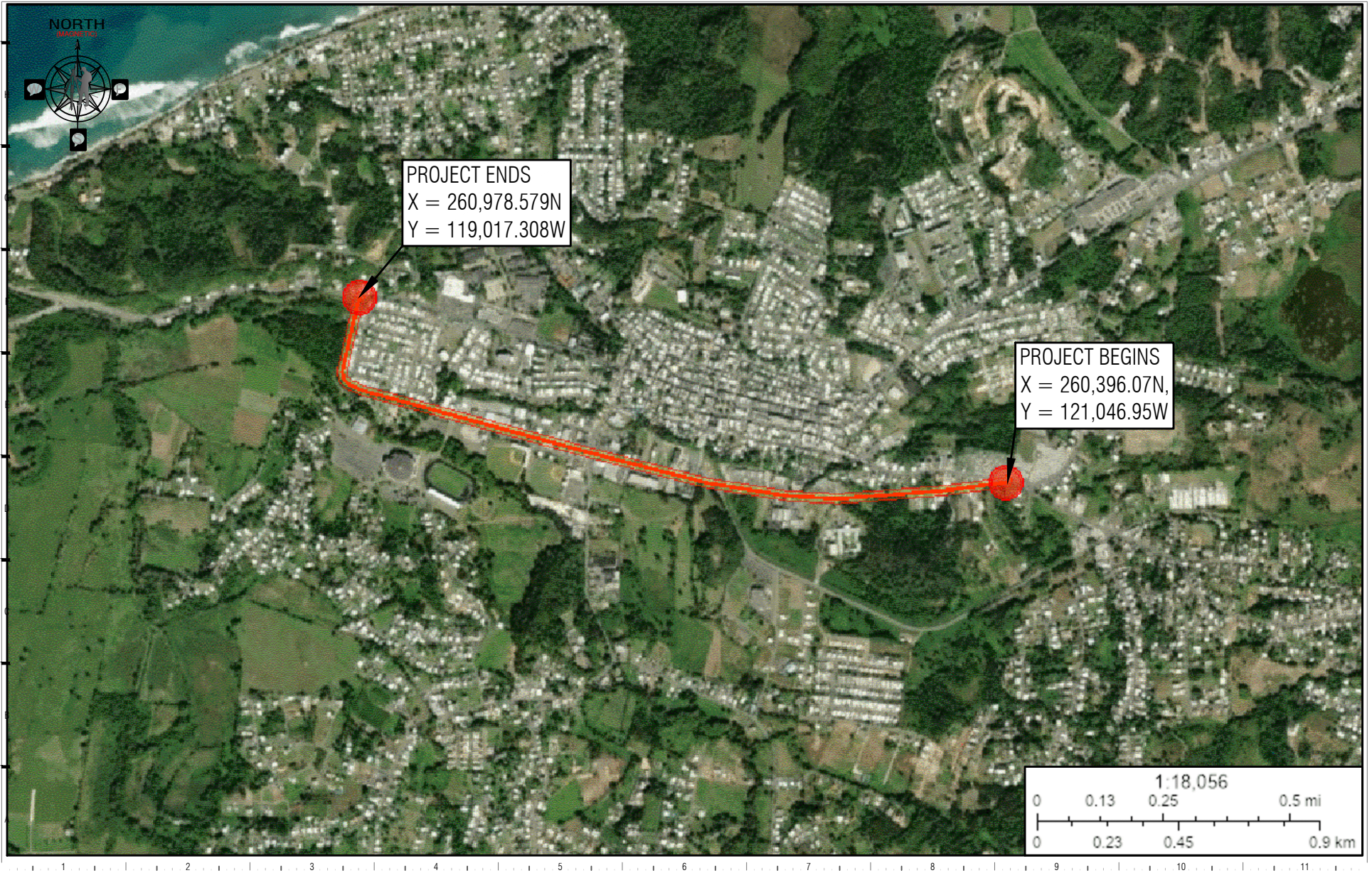
## **Attachment 1**

Location Map

Critical Habitat Map

Wetlands Map





DESIGN FIRM:



**J.O. CAJIGAS & ASSOCIATES P.S.C.**

ARCHITECTS, ENGINEERS & LAND SURVEYORS

PO BOX # 1028

AGUADA, PUERTO RICO

PHONE: 787-868-5908

FAX: 787-868-5908

e-mail address: jocaengineers@gmail.com

PROJECT NAME:

**EL NUEVO DESVIO SUR**

PROJECT ID. PR-CPR-000837

NATIVO ALERS AVENUE (DESVIO SUR) GUAYABO

AND PIEDRAS BLANCAS WARD

MUNICIPALITY OF AGUADA, PUERTO RICO

SHEET NAME:

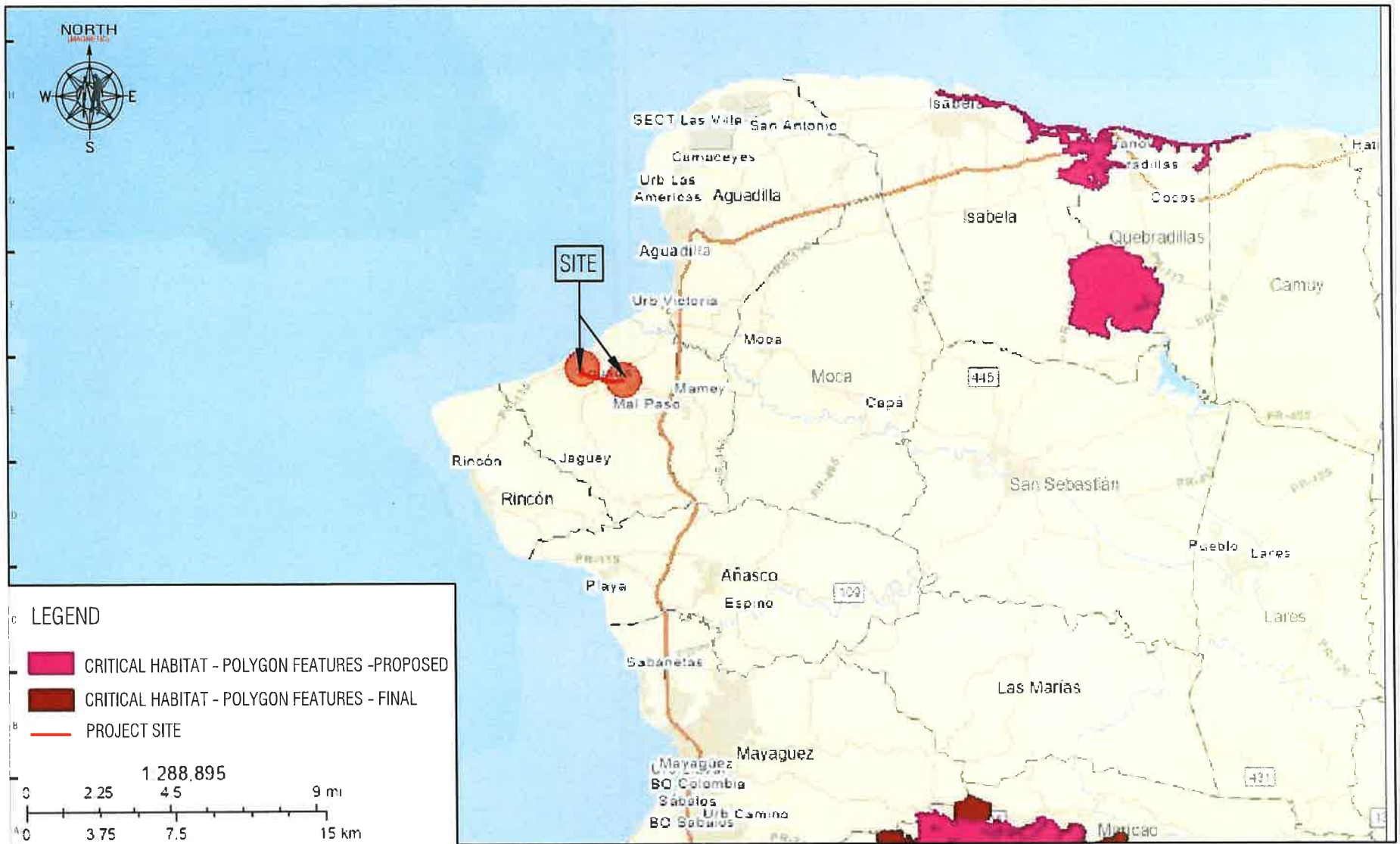
**AERIAL MAP**

SOURCE: EPA & NEPA FRS INTEREST

EXHIBIT:

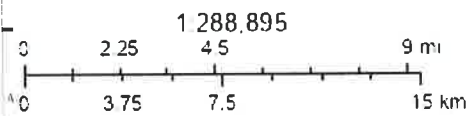
**A**





**LEGEND**

- CRITICAL HABITAT - POLYGON FEATURES - PROPOSED
- CRITICAL HABITAT - POLYGON FEATURES - FINAL
- PROJECT SITE



DESIGN FIRM: **J.O. CAJIGAS & ASSOCIATES P.S.C.**  
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 e-mail address: jocaengineers@gmail.com

PROJECT NAME: **EL NUEVO DESVIO SUR**  
 PROJECT ID: PR-CPR-000837  
 NATIVO ALERS AVENUE (DESVIO SUR) GUAYABO  
 AND PIEDRAS BLANCAS WARD  
 MUNICIPALITY OF AGUADA, PUERTO RICO

SHEET NAME: **CRITICAL HABITAT MAP**  
 SOURCE: EPA & NEPA FRS INTEREST

EXHIBIT: **H**



DESIGN FIRM:



**J.O. CAJIGAS & ASSOCIATES P.S.C.**

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 e-mail address: jocaengineers@gmail.com

PROJECT NAME:

**EL NUEVO DESVIO SUR**

PROJECT ID. PR-CPR-000837  
 NATIVO ALERS AVENUE (DESVIO SUR) GUAYABO  
 AND PIEDRAS BLANCAS WARD  
 MUNICIPALITY OF AGUADA, PUERTO RICO

SHEET NAME:

**WETLANDS MAP**  
 SOURCE: US FISH & WILD LIFE SERVICE

EXHIBIT:

**M**

## **Attachment 2**

IPaC Report

# IPaC resource list

This report is an automatically generated list of species and other resources such as critical habitat (collectively referred to as *trust resources*) under the U.S. Fish and Wildlife Service's (USFWS) jurisdiction that are known or expected to be on or near the project area referenced below. The list may also include trust resources that occur outside of the project area, but that could potentially be directly or indirectly affected by activities in the project area. However, determining the likelihood and extent of effects a project may have on trust resources typically requires gathering additional site-specific (e.g., vegetation/species surveys) and project-specific (e.g., magnitude and timing of proposed activities) information.

Below is a summary of the project information you provided and contact information for the USFWS office(s) with jurisdiction in the defined project area. Please read the introduction to each section that follows (Endangered Species, Migratory Birds, USFWS Facilities, and NWI Wetlands) for additional information applicable to the trust resources addressed in that section.

## Location

Aguada County, Puerto Rico



## Local office

Caribbean Ecological Services Field Office

☎ (787) 834-1600

📠 (787) 851-7440

✉ [CARIBBEAN\\_ES@FWS.GOV](mailto:CARIBBEAN_ES@FWS.GOV)

### MAILING ADDRESS

Post Office Box 491  
Boqueron, PR 00622-0491

### PHYSICAL ADDRESS

Office Park I  
State Road #2 Km 156.5, Suite 303  
Mayaguez, PR 00680



# Endangered species

**This resource list is for informational purposes only and does not constitute an analysis of project level impacts.**

The primary information used to generate this list is the known or expected range of each species. Additional areas of influence (AOI) for species are also considered. An AOI includes areas outside of the species range if the species could be indirectly affected by activities in that area (e.g., placing a dam upstream of a fish population even if that fish does not occur at the dam site, may indirectly impact the species by reducing or eliminating water flow downstream). Because species can move, and site conditions can change, the species on this list are not guaranteed to be found on or near the project area. To fully determine any potential effects to species, additional site-specific and project-specific information is often required.

Section 7 of the Endangered Species Act **requires** Federal agencies to "request of the Secretary information whether any species which is listed or proposed to be listed may be present in the area of such proposed action" for any project that is conducted, permitted, funded, or licensed by any Federal agency. A letter from the local office and a species list which fulfills this requirement can **only** be obtained by requesting an official species list from either the Regulatory Review section in IPaC (see directions below) or from the local field office directly.

For project evaluations that require USFWS concurrence/review, please return to the IPaC website and request an official species list by doing the following:

1. Draw the project location and click CONTINUE.
2. Click DEFINE PROJECT.
3. Log in (if directed to do so).
4. Provide a name and description for your project.
5. Click REQUEST SPECIES LIST.

Listed species<sup>1</sup> and their critical habitats are managed by the [Ecological Services Program](#) of the U.S. Fish and Wildlife Service (USFWS) and the fisheries division of the National Oceanic and Atmospheric Administration (NOAA Fisheries<sup>2</sup>).

Species and critical habitats under the sole responsibility of NOAA Fisheries are **not** shown on this list. Please contact [NOAA Fisheries](#) for [species under their jurisdiction](#).

1. Species listed under the [Endangered Species Act](#) are threatened or endangered; IPaC also shows species that are candidates, or proposed, for listing. See the [listing status page](#) for more information. IPaC only shows species that are regulated by USFWS (see FAQ).
2. [NOAA Fisheries](#), also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

The following species are potentially affected by activities in this location:

## Mammals

NAME	STATUS
West Indian Manatee <i>Trichechus manatus</i> Wherever found There is <b>final</b> critical habitat for this species. Your location does not overlap the critical habitat. <a href="https://ecos.fws.gov/ecp/species/4469">https://ecos.fws.gov/ecp/species/4469</a>	Threatened Marine mammal

## Reptiles

NAME	STATUS
Puerto Rican Boa <i>Chilabothrus inornatus</i> Wherever found No critical habitat has been designated for this species. <a href="https://ecos.fws.gov/ecp/species/6628">https://ecos.fws.gov/ecp/species/6628</a>	Endangered

## Critical habitats

Potential effects to critical habitat(s) in this location must be analyzed along with the endangered species themselves.

There are no critical habitats at this location.

You are still required to determine if your project(s) may have effects on all above listed species.

## Bald & Golden Eagles

There are no documented cases of eagles being present at this location. However, if you believe eagles may be using your site, please reach out to the local Fish and Wildlife Service office.



Additional information can be found using the following links:

- Eagle Management <https://www.fws.gov/program/eagle-management>
- Measures for avoiding and minimizing impacts to birds <https://www.fws.gov/library/collections/avoiding-and-minimizing-incident-take-migratory-birds>
- Nationwide conservation measures for birds <https://www.fws.gov/sites/default/files/documents/nationwide-standard-conservation-measures.pdf>
- Supplemental Information for Migratory Birds and Eagles in IPaC <https://www.fws.gov/media/supplemental-information-migratory-birds-and-bald-and-golden-eagles-may-occur-project-action>

**What does IPaC use to generate the potential presence of bald and golden eagles in my specified location?**

The potential for eagle presence is derived from data provided by the [Avian Knowledge Network \(AKN\)](#). The AKN data is based on a growing collection of [survey, banding, and citizen science datasets](#) and is queried and filtered to return a list of those birds reported as occurring in the 10km grid cell(s) which your project intersects, and that have been identified as warranting special attention because they are a BCC species in that area, an eagle ([Eagle Act](#) requirements may apply). To see a list of all birds potentially present in your project area, please visit the [Rapid Avian Information Locator \(RAIL\) Tool](#).

**What does IPaC use to generate the probability of presence graphs of bald and golden eagles in my specified location?**

The Migratory Bird Resource List is comprised of USFWS [Birds of Conservation Concern \(BCC\)](#) and other species that may warrant special attention in your project location.

The migratory bird list generated for your project is derived from data provided by the [Avian Knowledge Network \(AKN\)](#). The AKN data is based on a growing collection of [survey, banding, and citizen science datasets](#) and is queried and filtered to return a list of those birds reported as occurring in the 10km grid cell(s) which your project intersects, and that have been identified as warranting special attention because they are a BCC species in that area, an eagle ([Eagle Act](#) requirements may apply), or a species that has a particular vulnerability to offshore activities or development.

Again, the Migratory Bird Resource list includes only a subset of birds that may occur in your project area. It is not representative of all birds that may occur in your project area. To get a list of all birds potentially present in your project area, please visit the [Rapid Avian Information Locator \(RAIL\) Tool](#).

**What if I have eagles on my list?**

If your project has the potential to disturb or kill eagles, you may need to obtain a permit to avoid violating the [Eagle Act](#) should such impacts occur. Please contact your local Fish and Wildlife Service Field Office if you have questions.

## Migratory birds

Certain birds are protected under the Migratory Bird Treaty Act<sup>1</sup> and the Bald and Golden Eagle Protection Act<sup>2</sup>.

Any person or organization who plans or conducts activities that may result in impacts to migratory birds, eagles, and their habitats should follow appropriate regulations and consider implementing appropriate conservation measures, as described below.

1. The [Migratory Birds Treaty Act](#) of 1918.
2. The [Bald and Golden Eagle Protection Act](#) of 1940.

Additional information can be found using the following links:

- Eagle Management <https://www.fws.gov/program/eagle-management>
- Measures for avoiding and minimizing impacts to birds <https://www.fws.gov/library/collections/avoiding-and-minimizing-incident-take-migratory-birds>
- Nationwide conservation measures for birds <https://www.fws.gov/sites/default/files/documents/nationwide-standard-conservation-measures.pdf>
- Supplemental Information for Migratory Birds and Eagles in IPaC <https://www.fws.gov/media/supplemental-information-migratory-birds-and-bald-and-golden-eagles-may-occur-project-action>

The [data](#) in this location indicates there are no migratory [birds of conservation concern](#) expected to occur in this area.

There may be migratory birds in your project area, but we don't have any survey data available to provide further direction. For additional information, please refer to the links above for recommendations to minimize impacts to migratory birds or contact your local FWS office.

**Tell me more about conservation measures I can implement to avoid or minimize impacts to migratory birds.**

[Nationwide Conservation Measures](#) describes measures that can help avoid and minimize impacts to all birds at any location year round. Implementation of these measures is particularly important when birds are most likely to occur in the project area. When birds may be breeding in the area, identifying the locations of any active nests and avoiding their destruction is a very helpful impact minimization measure. To see when birds are most likely to occur and be breeding in your project area, view the Probability of Presence Summary. [Additional measures](#) or [permits](#) may be advisable depending on the type of activity you are conducting and the type of infrastructure or bird species present on your project site.

**What does IPaC use to generate the list of migratory birds that potentially occur in my specified location?**

The Migratory Bird Resource List is comprised of USFWS [Birds of Conservation Concern \(BCC\)](#) and other species that may warrant special attention in your project location.

The migratory bird list generated for your project is derived from data provided by the [Avian Knowledge Network \(AKN\)](#). The AKN data is based on a growing collection of [survey, banding, and citizen science datasets](#) and is queried and filtered to return a list of those birds reported as occurring in the 10km grid cell(s) which your project intersects, and that have been identified as warranting special attention because they are a BCC species in that area, an eagle ([Eagle Act](#) requirements may apply), or a species that has a particular

vulnerability to offshore activities or development.

Again, the Migratory Bird Resource list includes only a subset of birds that may occur in your project area. It is not representative of all birds that may occur in your project area. To get a list of all birds potentially present in your project area, please visit the [Rapid Avian Information Locator \(RAIL\) Tool](#).

#### What does IPaC use to generate the probability of presence graphs for the migratory birds potentially occurring in my specified location?

The probability of presence graphs associated with your migratory bird list are based on data provided by the [Avian Knowledge Network \(AKN\)](#). This data is derived from a growing collection of [survey, banding, and citizen science datasets](#).

Probability of presence data is continuously being updated as new and better information becomes available. To learn more about how the probability of presence graphs are produced and how to interpret them, go the Probability of Presence Summary and then click on the "Tell me about these graphs" link.

#### How do I know if a bird is breeding, wintering or migrating in my area?

To see what part of a particular bird's range your project area falls within (i.e. breeding, wintering, migrating or year-round), you may query your location using the [RAIL Tool](#) and look at the range maps provided for birds in your area at the bottom of the profiles provided for each bird in your results. If a bird on your migratory bird species list has a breeding season associated with it, if that bird does occur in your project area, there may be nests present at some point within the timeframe specified. If "Breeds elsewhere" is indicated, then the bird likely does not breed in your project area.

#### What are the levels of concern for migratory birds?

Migratory birds delivered through IPaC fall into the following distinct categories of concern:

1. "BCC Rangewide" birds are [Birds of Conservation Concern](#) (BCC) that are of concern throughout their range anywhere within the USA (including Hawaii, the Pacific Islands, Puerto Rico, and the Virgin Islands);
2. "BCC - BCR" birds are BCCs that are of concern only in particular Bird Conservation Regions (BCRs) in the continental USA; and
3. "Non-BCC - Vulnerable" birds are not BCC species in your project area, but appear on your list either because of the [Eagle Act](#) requirements (for eagles) or (for non-eagles) potential susceptibilities in offshore areas from certain types of development or activities (e.g. offshore energy development or longline fishing).

Although it is important to try to avoid and minimize impacts to all birds, efforts should be made, in particular, to avoid and minimize impacts to the birds on this list, especially eagles and BCC species of rangewide concern. For more information on conservation measures you can implement to help avoid and minimize migratory bird impacts and requirements for eagles, please see the FAQs for these topics.

#### Details about birds that are potentially affected by offshore projects

For additional details about the relative occurrence and abundance of both individual bird species and groups of bird species within your project area off the Atlantic Coast, please visit the [Northeast Ocean Data Portal](#). The Portal also offers data and information about other taxa besides birds that may be helpful to you in your project review. Alternately, you may download the bird model results files underlying the portal maps through the [NOAA NCCOS Integrative Statistical Modeling and Predictive Mapping of Marine Bird Distributions and Abundance on the Atlantic Outer Continental Shelf](#) project webpage.

Bird tracking data can also provide additional details about occurrence and habitat use throughout the year, including migration. Models relying on survey data may not include this information. For additional information on marine bird tracking data, see the [Diving Bird Study](#) and the [nanotag studies](#) or contact [Caleb Spiegel](#) or [Pam Loring](#).

#### What if I have eagles on my list?

If your project has the potential to disturb or kill eagles, you may need to [obtain a permit](#) to avoid violating the Eagle Act should such impacts occur.

#### Proper Interpretation and Use of Your Migratory Bird Report

The migratory bird list generated is not a list of all birds in your project area, only a subset of birds of priority concern. To learn more about how your list is generated, and see options for identifying what other birds may be in your project area, please see the FAQ "What does IPaC use to generate the migratory birds potentially occurring in my specified location". Please be aware this report provides the "probability of presence" of birds within the 10 km grid cell(s) that overlap your project; not your exact project footprint. On the graphs provided, please also look carefully at the survey effort (indicated by the black vertical bar) and for the existence of the "no data" indicator (a red horizontal bar). A high survey effort is the key component. If the survey effort is high, then the probability of presence score can be viewed as more dependable. In contrast, a low survey effort bar or no data bar means a lack of data and, therefore, a lack of certainty about presence of the species. This list is not perfect; it is simply a starting point for identifying what birds of concern have the potential to be in your project area, when they might be there, and if they might be breeding (which means nests might be present). The list helps you know what to look for to confirm presence, and helps guide you in knowing when to implement conservation measures to avoid or minimize potential impacts from your project activities, should presence be confirmed. To learn more about conservation measures, visit the FAQ "Tell me about conservation measures I can implement to avoid or minimize impacts to migratory birds" at the bottom of your migratory bird trust resources page.

# Marine mammals

Marine mammals are protected under the [Marine Mammal Protection Act](#). Some are also protected under the Endangered Species Act<sup>1</sup> and the Convention on International Trade in Endangered Species of Wild Fauna and Flora<sup>2</sup>.

The responsibilities for the protection, conservation, and management of marine mammals are shared by the U.S. Fish and Wildlife Service [responsible for otters, walrus, polar bears, manatees, and dugongs] and NOAA Fisheries<sup>3</sup> [responsible for seals, sea lions, whales, dolphins, and porpoises]. Marine mammals under the responsibility of NOAA Fisheries are **not** shown on this list; for additional information on those species please visit the [Marine Mammals](#) page of the NOAA Fisheries website.

The Marine Mammal Protection Act prohibits the take (to harass, hunt, capture, kill, or attempt to harass, hunt, capture or kill) of marine mammals and further coordination may be necessary for project evaluation. Please contact the U.S. Fish and Wildlife Service Field Office shown.

1. The [Endangered Species Act](#) (ESA) of 1973.
2. The [Convention on International Trade in Endangered Species of Wild Fauna and Flora](#) (CITES) is a treaty to ensure that international trade in plants and animals does not threaten their survival in the wild.
3. [NOAA Fisheries](#), also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

The following marine mammals under the responsibility of the U.S. Fish and Wildlife Service are potentially affected by activities in this location:

NAME

West Indian Manatee *Trichechus manatus*  
<https://ecos.fws.gov/ecp/species/4469>

## Facilities

### National Wildlife Refuge lands

Any activity proposed on lands managed by the [National Wildlife Refuge](#) system must undergo a 'Compatibility Determination' conducted by the Refuge. Please contact the individual Refuges to discuss any questions or concerns.

There are no refuge lands at this location.

### Fish hatcheries

There are no fish hatcheries at this location.

### Wetlands in the National Wetlands Inventory (NWI)

Impacts to [NWI wetlands](#) and other aquatic habitats may be subject to regulation under Section 404 of the Clean Water Act, or other State/Federal statutes.

For more information please contact the Regulatory Program of the local [U.S. Army Corps of Engineers District](#).

Wetland information is not available at this time

This can happen when the National Wetlands Inventory (NWI) map service is unavailable, or for very large projects that intersect many wetland areas. Try again, or visit the [NWI map](#) to view wetlands at this location.

#### Data limitations

The Service's objective of mapping wetlands and deepwater habitats is to produce reconnaissance level information on the location, type and size of these resources. The maps are prepared from the analysis of high altitude imagery. Wetlands are identified based on vegetation, visible hydrology and geography. A margin of error is inherent in the use of imagery; thus, detailed on-the-ground inspection of any particular site may result in revision of the wetland boundaries or classification established through image analysis.

The accuracy of image interpretation depends on the quality of the imagery, the experience of the image analysts, the amount and quality of the collateral data and the amount of ground truth verification work conducted. Metadata should be consulted to determine the date of the source imagery used and any mapping problems.

Wetlands or other mapped features may have changed since the date of the imagery or field work. There may be occasional differences in polygon boundaries or classifications between the information depicted on the map and the actual conditions on site.

#### **Data exclusions**

Certain wetland habitats are excluded from the National mapping program because of the limitations of aerial imagery as the primary data source used to detect wetlands. These habitats include seagrasses or submerged aquatic vegetation that are found in the intertidal and subtidal zones of estuaries and nearshore coastal waters. Some deepwater reef communities (coral or tubercid worm reefs) have also been excluded from the inventory. These habitats, because of their depth, go undetected by aerial imagery.

#### **Data precautions**

Federal, state, and local regulatory agencies with jurisdiction over wetlands may define and describe wetlands in a different manner than that used in this inventory. There is no attempt, in either the design or products of this inventory, to define the limits of proprietary jurisdiction of any Federal, state, or local government or to establish the geographical scope of the regulatory programs of government agencies. Persons intending to engage in activities involving modifications within or adjacent to wetland areas should seek the advice of appropriate Federal, state, or local agencies concerning specified agency regulatory programs and proprietary jurisdictions that may affect such activities.

NOT FOR CONSULTATION

## **Attachment 3**

### Conservation Measures





## U.S. FISH AND WILDLIFE SERVICE CARIBBEAN ECOLOGICAL SERVICES FIELD OFFICE

### Conservation Measures for the Puerto Rican boa (*Chilabothrus inornatus*)

Section 7 (a)(1) of the Endangered Species Act (ESA) charges Federal agencies to aid in the conservation of listed species, and section 7 (a)(2) requires the agencies, through consultation with the U.S. Fish and Wildlife Service (Service), to ensure their activities are not likely to jeopardize the continued existence of listed species or adversely modify designated critical habitats. Section 7 applies to the management of Federal lands as well as Federal actions that may affect listed species, such as Federal approval of private activities through the issuance of Federal funding, permits, licenses, or other actions. Any person that injures, captures, or kills a Puerto Rico boa is subject to penalties under the ESA. If Federal funds or permits are needed, the funding or permitting agency should initiate Section 7 consultation with the Service. To initiate a consultation under the Section 7 of the ESA, you must submit a project package with the established minimum requirements. These conservation measures should be incorporated into the project plans to minimize possible impacts to the species.

The endangered Puerto Rican (PR) boa (*Chilabothrus inornatus*, formerly *Epicrates inornatus*) is the largest endemic snake species that inhabits Puerto Rico. The PR boa is non-venomous and does not pose any life threatening danger to humans, but some individuals may try to bite if disturbed or during capture or handling. Its body color ranges from tan to dark brown with irregular diffuse marking on the dorsum, but some individuals lack marking and are uniformly dark. Juveniles may have a reddish color with more pronounced markings. In general, as they mature, their body color tends to darken.



The Puerto Rican boa was federally listed in 1970. Currently, the species has an island-wide distribution and occurs in a wide variety of habitat types ranging from wet montane to subtropical dry forest and can be found from mature forest to areas with different degrees of human disturbance like roadsides or houses, especially if near their habitat in rural areas. This boa is considered mostly nocturnal, remaining less active, concealed or basking under the sun during the day.

The Service has developed the following conservation measures with the purpose of assisting others to avoid or minimize adverse effects to the PR boa and its habitat. These recommendations may be incorporated into new project plans and under certain circumstances into existing projects. Depending on the project, additional conservation measures can be implemented besides the ones presented in this document.

#### Conservation Measures:

1. Inform all project personnel about the potential presence of the PR boa in areas where the proposed work will be conducted. A pre-construction meeting should be conducted to inform all project personnel about the need to avoid harming the species as well as penalties for harassing or harming PR boas. An educational poster or sign with photo or illustration of the species should be displayed at the project site.
2. Prior to any construction activity, including removal of vegetation and earth movements, the boundaries of the project and areas to be excluded and protected should be clearly marked in the project plan and in the field in order to avoid further habitat degradation into forested and conservation areas.
3. Once areas are clearly marked, and prior to the use of heavy machinery and any construction activity (including removal of vegetation and earth movement), a biologist or personnel with experience on this species should survey the areas to be cleared to verify the presence of any PR boa within the work area.
4. The PR boa is considered more active at night. Thus, in order to maximize its detection, the species should be searched at nights prior to habitat disturbance.
5. Once the area has been searched for PR boas, vegetation should first be cleared by hand to the maximum extent possible. Vegetation should be cut about one meter above ground prior to the use of heavy machinery for land clearing. Cutting vegetation by hand will allow boas present on site to move away on their own to adjacent available habitat. Any stone walls or naturally occurring rock piles must be carefully dismantled by hand as these are refuges for the snake. This will allow any boas present to vacate the site without injury.
6. For all boa sightings (dead or alive), record the time and date of the sighting and the specific location where it was found. PR boa data should also include a photo of the animal (dead or alive), site GPS coordinates, the time and date, and comments on how the animal was detected and its behavior.

7. If a PR boa is found within any of the working or construction areas, activities should stop at that area and information recorded (see #6). **Do not capture the boa.** If boas need to be moved out of harm's way, designated personnel shall immediately contact the Puerto Rico Department of Natural and Environmental Resources (PRDNER) Rangers for safe capture and relocation of the animal (PRDNER phone #: (787) 724-5700, (787) 230-5550, (787) 771-1124). If immediate relocation is not an option, project-related activities at this area must stop until the boa moves out of harm's way on its own. Activities at other work sites, where no boas have been found after surveying the area, may continue.
8. If a PR boa is captured by the PRDNER, record the name of the PRDNER staff and information on where the PR boa will be taken. This information should be reported to the Service.
9. Measures should be taken to avoid and minimize PR boa casualties by heavy machinery or motor vehicles being used on site. Any heavy machinery left on site (staging) or near potential PR boa habitat (within 50 meters of potential boa habitat), needs to be thoroughly inspected each morning before work starts to ensure that no boas have sheltered within engine compartments or other areas of the equipment. If PR boas are found within vehicles or equipment, do not capture the animal and let it move on its own or call PRDNER Rangers for safe capture and relocation of the animal (see #7). If not possible, the animal should be left alone until it leaves the vehicle on its own.
10. PR boas may seek shelter in debris piles. Measures should be taken to avoid and minimize boa casualties associated with sheltering in debris piles as a result of project activities. Debris piles should be placed far away from forested areas. Prior to moving, disposing or shredding, debris piles should be carefully inspected for the presence of boas. If debris piles will be left on site, we recommend they be placed in areas that will not be disturbed in the future.
11. If a dead PR boa is found, immediately cease all work in that area and record the information accordingly (see #6). If the PR boa was accidentally? killed as part of the project actions, please include information on what conservation measures had been implemented and what actions that will be taken to avoid further killings. A dead boa report should be sent by email (see contacts below) to the Service within 48 hours of the event.
12. Projects must comply with all state laws and regulations. Please contact the PRDNER for further guidance.

If you have any questions regarding the above conservation measures, please contact the Service:

- José Cruz-Burgos, Endangered Species Coordinator
  - Email: [jose\\_cruz-burgos@fws.gov](mailto:jose_cruz-burgos@fws.gov)
  - Office phone (305) 304-1386
- Jan Zegarra, Fish and Wildlife Biologist
  - Email: [jan\\_zegarra@fws.gov](mailto:jan_zegarra@fws.gov)
  - Office phone (786) 933-1451



U.S. FISH & WILDLIFE SERVICE  
CARIBBEAN ECOLOGICAL SERVICES FIELD OFFICE  
JANUARY 2012

## **TECHNICAL ASSISTANCE TO EVALUATE EFFECTS ON ANTILLEAN MANATEES**

The Service considers shallow coastal areas, bays, estuaries, river mouths and mangrove lagoon ecosystems as important for the conservation of the Antillean manatee because these areas contain all the natural elements preferred by manatees: abundant sea grass relatively calm waters, sheltered spots, and freshwater sources, as well as a relatively low number of boats within the bay. Actions proposed for these areas should be carefully examined, to ensure that elements required by this species are not compromised.

To evaluate the potential effect of proposed action on manatees, we need the applicants to address the following issues:

1. Type and amount of watercraft associated to the project
2. Amount of boat facilities (e.g. ramps, piers, dry-stacks, buoys, among others)
3. Amount of habitat to be affected (e.g. acres of sea grasses and/or mangroves)
4. Provisions / restrictions to be taken to prevent collisions with manatees (e.g. delineation of an entrance channel, marking buoys, navigation aids, among others).
5. Outreach efforts to be implemented concerning boat operation. One of the main components of a successful operation of facilities that implement mechanisms to safeguard threatened and endangered species is a comprehensive outreach program that clearly indicates to the public 1) the actions that the facility is undertaking to protect such species (including assurances on the implementation of protection measures), and 2) the activities that the public should take to minimize or prevent impacts to sensitive species and their habitats. Guidelines for safe operation of watercrafts should be included as part of the outreach/education component of the proposed project (example attached below).
6. Any other site-specific conservation measure applicable for the project.

## **EXAMPLE OF CONSERVATION MEASURES FOR IN-WATER PROJECTS (INCLUDING DREDGING ACTIVITIES)**

The following manatee conservation measures are recommended:

1. The contractor instructs all personnel associated with construction of the facility of the presence of manatees and the need to avoid collisions with manatees.
2. All construction personnel will be advised that there are civil and criminal penalties for harming, harassing, or killing manatees, which are protected under the Endangered Species Act of 1973 and the Marine Mammal Protection Act of 1972. The permit holder and/or contractor will be held responsible for any manatee harmed, harassed, or killed as a result of construction of the project.

3. The project work area shall be surveyed for the presence of manatees at least one hour before any dredging starts and prior to the installation of the silt fence. If manatees are found before any in-water project activity starts, the contractor shall wait for the manatee to leave the area by itself and be at least 100 feet from the project in-water area. Manatees must not be herded or harassed into leaving the area.
4. Siltation barriers will be made of material in which manatee cannot become entangled, are properly secured, and are regularly monitored to avoid manatee entrapment. Barriers must not block manatee entry to or exit from essential habitat.
5. All vessels associated with the project construction will operate at “no-wake/idle” speed at all times while in water within manatee areas and vessels will follow routes of deep water whenever possible.
6. If manatees are seen within 100 yards (300 feet) of the in-water work area, all appropriate precautions shall be implemented to ensure protection of the manatees. These precautions shall include operating all equipment in such a manner that moving equipment does not come any closer than 50 to 100 feet of any manatee. If a manatee is within 50 feet of in-water work, all in-water activities must shut down, until manatee moves on its own at least 100 feet away from the in-water work area. Manatees must not be herded or harassed into leaving the area.
7. Any collision with and/or injury to a manatee shall be reported immediately to the Department of Natural and Environmental Resources Law Enforcement (787-724-5700) and the USFWS Caribbean Ecological Services Field Office (787-851-7297).
8. The contractor shall keep a log detailing sightings, collisions, or injury to manatees, which have occurred during the contract period. Following project completion, a report summarizing the above incidents and sightings will be submitted to the U.S. Fish and Wildlife Service, Caribbean Ecological Services Field Office, P.O. Box 491, Boquerón, Puerto Rico 00622.
9. The permit holder and/or contractor shall install and maintain temporary and permanent manatee signs as recommended by the following guidelines:
  - a. Signs must be placed in a prominent location for maximum visibility. Areas that are recommended include: dock walkways, dock master offices, near restrooms or other high patron foot traffic areas.
  - b. Signs must be replaced when faded, damaged or outdated.
  - c. If the facility is large or has multiple docks with separate walkways that are a considerable distance apart, multiple signs should be installed.
  - d. These signs must not face the water, must never be attached to pilings or navigational markers in the water. Some exceptions to signs facing the water exist for temporary signs during in-water work.
  - e. For durability, all signs should be fiberglass, PVC or metal with rounded corners (hand-sanded to remove all sharp edges and burrs), constructed of 0.08 Gauge 5052-H38 Aluminum with an Alodine 1200 conversion coating and Engineer Grade Type I reflective sheeting. Signs constructed to other specifications may not provide durability acceptable to the consumer.
  - f. Signs other than depicted may be considered, but should be approved by USFWS.



**PRECAUCIÓN: HÁBITAT DE MANATÍ**  
**CAUTION: MANATEE HABITAT**

**Toda embarcación**  
**VELOCIDAD MÁXIMA 5MPH**  
All project vessels **IDLE SPEED/NO WAKE**

Si observa un manatí a 50 pies o menos del área de trabajo,  
toda actividad en el agua debe

**DETENERSE**

When a manatee is within 50 feet of work all in-water activities must **SHUT DOWN**

Informe cualquier accidente con un manatí.  
Report any collision with or injury to a manatee.

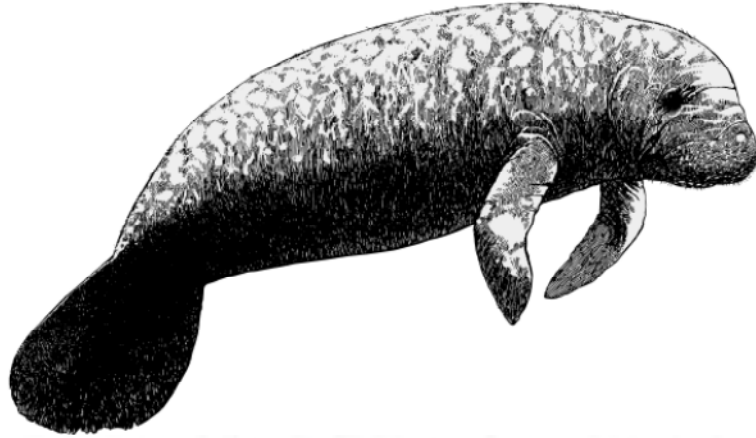


**Vigilantes DRNA**  
**(787)724-5700**

This **temporary** bilingual sign is required as part of the standard manatee construction conditions and is intended to be placed near dredge, tugboat and work boat operators. Minimum size should be at least 8½" inches tall by 11" inches wide, and besides the above recommendation, the sign may be in laminated paper. This sign shall be installed or distributed prior to the initiation of construction. Temporary signs will be removed by the permit holder upon completion of construction.

To obtain a ready to print copy of this sign, please contact the USFWS Caribbean Ecological Services Field Office at (786) 244-0081 or by email at [jan\\_zegarra@fws.gov](mailto:jan_zegarra@fws.gov)

**PRECAUCIÓN**  
**Manatíes en el Área**  
Caution: Watch for Manatees



**VELOCIDAD MÁXIMA 5MPH**  
IDLE SPEED/NO WAKE

Informe cualquier accidente con un manatí.

**Vigilantes DRNA**  
**(787) 724-5700**

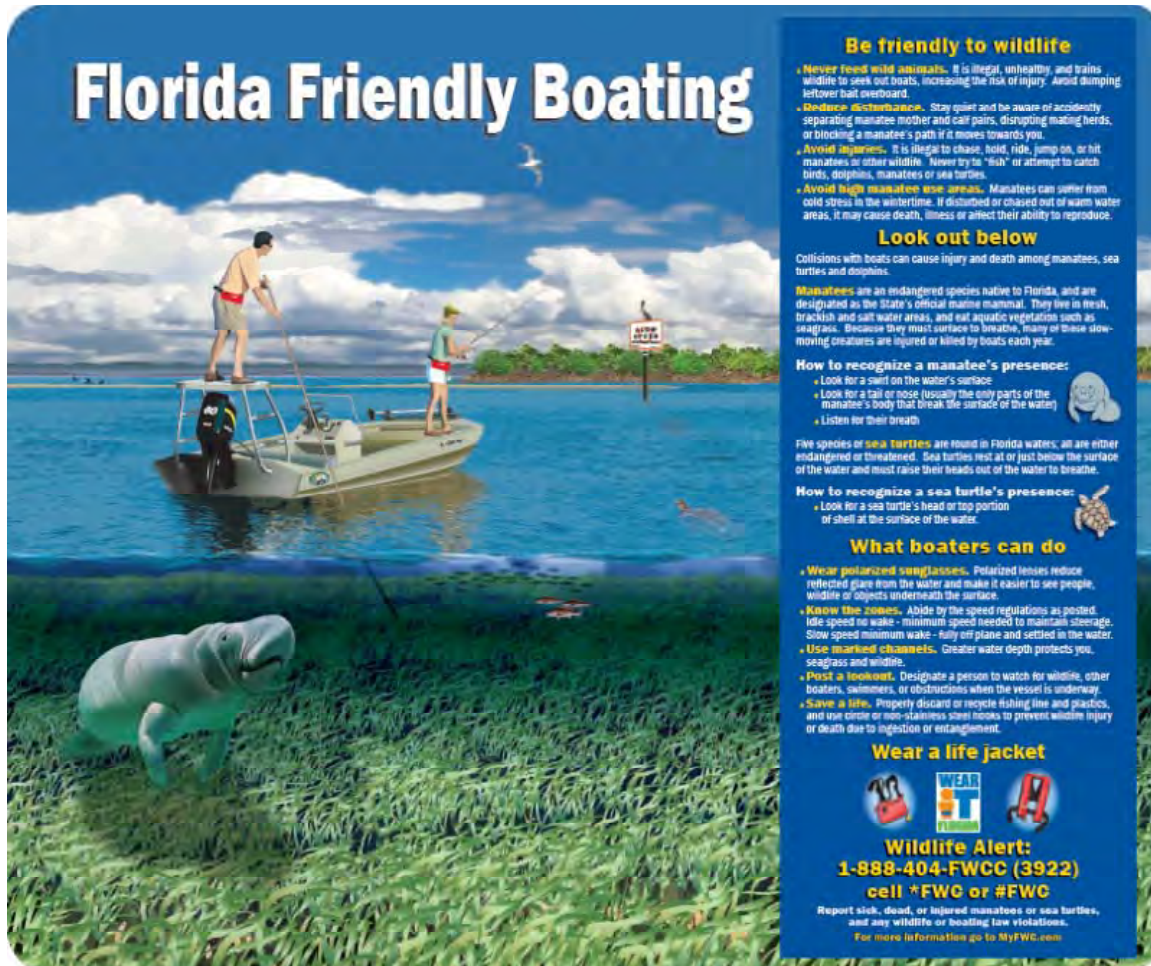
Report collisions, sick, dead or injured manatees.

This **permanent** bilingual sign is required as part of the standard manatee construction conditions and is intended to be placed within docking and launching facilities. Minimum size should be at least 30" inches tall by 24" inches wide with rounded corners. This sign shall be installed prior, during or after project construction. This permanent sign may not be required for coastal projects that **do not** have docking and/or launching facilities.

To obtain a ready to print copy of this sign, please contact the USFWS Caribbean Ecological Services Field Office at 787-851-7297 ext. 220 or by email at [jan\\_zegarra@fws.gov](mailto:jan_zegarra@fws.gov)

10. A permanent bilingual manatee educational sign should be installed and maintained prior to mooring occupancy at a prominent location to increase the awareness of boaters using the facility of boats to these animals. The numbers of educational signs that may be installed will depend on the docking facility design. One manatee educational sign is recommended at each boat ramp or travel lift (if applicable). Manatee educational signs remain the responsibility of the owner(s) and the Service recommends the signs be maintained for the life of the docking facility in a manner acceptable to the Corps of Engineers.

### EXAMPLE MANATEE EDUCATIONAL SIGN



This **permanent** educational sign should have a minimum size of at least 30" inches tall by 36" inches wide with rounded corners.

11. A notarized verification letter stating that permanent signs have been installed at designated locations shall be forwarded to the Corps of Engineers, Antilles Regulatory Section, as soon as they are installed. Signs and pilings remain the responsibility of the owner(s) and are to be maintained for the life of the docking and launching facility in a manner acceptable to the Corps of Engineers.
12. Signs other than depicted above may be considered, but should be approved by USFWS. Signs shall have at least the following minimal recommend information:
  - a. Temporary bilingual signs:

**PRECAUCIÓN**  
**MANATÍES EN EL ÁREA**  
Mantenga velocidad de 5 mph dentro del área de construcción  
Informe cualquier incidente con un manatí  
Vigilantes DRNA 787-724-5700

**CAUTION**  
**MANATEES IN THE AREA**  
Maintain idle speed/no wake (5 mph) within construction site  
Report any collisions with or injury to a manatee

- b. Permanent bilingual signs:

**PRECAUCIÓN**  
**MANATÍES EN EL ÁREA**  
Velocidad máxima 5 mph  
Informe cualquier incidente con un manatí  
Vigilantes DRNA 787-724-5700

**CAUTION**  
**MANATEES IN THE AREA**  
Idle speed/No wake (5 mph) zone  
Report collisions, sick, dead or injured manatees

- c. Permanent bilingual educational sign and some of the of the recommended information it should include:

**GUÍA PARA LA PROTECCIÓN Y CONSERVACIÓN DEL MANATÍ**  
**(MANATEE PROTECTION AND CONSERVATION GUIDELINES)**

1. Utilice gafas polarizadas mientras navega. Éstas ayudan a detectar mejor al manatí, las áreas llanas y cualquier obstáculo en el mar. (*Use polarized sunglasses while navigating. These help to detect any manatee, shallow waters and any other obstacle in the wáter.*)
2. Si usted ve un manatí en la trayectoria de su embarcación, reduzca la velocidad a 5 mph y conduzca la embarcación fuera del paso del manatí o espere a que el manatí salga del área poniendo su embarcación en neutro. (*If you see a manatee within the*



*path of your vessel, reduce the velocity to 5 mph and turn your vessel away from the manatee's path or wait until the manatee has moved from the area by putting your vessel in neutral.)*

3. Luego de asegurarse de que el manatí esté fuera de la trayectoria de su embarcación, continúe navegando despacio (no más de 5 mph) hasta que su embarcación se encuentre a no menos de 50 pies (15 metros) del manatí. *(After you are certain that the manatee is well outside of the path of your vessel, resume navigation slowly (not more than 5 mph) until your vessel is not less than 50 feet (15 meters) away from the manatee.)*
4. Obedezca las zonas con límites de velocidad y reduzca la velocidad en aguas llanas menores a 10 pies de profundidad en particular cerca de la costa, en las desembocaduras de ríos, en praderas de hierbas marinas y manglares. *(Obey regulatory speed zones and reduce velocity in shallow waters less than 10 feet, particularly close to the coast, in river mouths, in sea grass beds and mangroves.)*
5. Si observa un manatí mientras usted está en el agua, obsérvelo pasivamente, no lo persiga, acose o lo toque. *(If you observe a manatee while in the water, passively observe it, do not follow it, nor harass or touch.)*
6. No tire basura al agua. El manatí puede ingerirla o enredarse en ella, lo cual podría causarle heridas o la muerte. *(Do not throw trash in the water. Manatees may ingest or entangle on trash, which may injure or kill it.)*
7. Nunca alimente o le ofrezca agua a un manatí. Es ilegal y los malacostumbra a acercarse a lugares donde pueden ser lastimados. *(Never feed or give water to a manatee. It is illegal and will wrongly habituate them to approach areas where they can be injured.)*

Informe accidentes con un manatí inmediatamente. Si encuentra un bebé manatí solo, en peligro, herido o muerto, llame al Cuerpo de Vigilantes del Departamento de Recursos Naturales y Ambientales al 787-724-5700 o al Programa de Rescate de Mamíferos Marinos al 787-833-2025, 787-538-4684 ó 787-645-5593. *(Inform any accident with a manatee immediately. If you find a baby manatee alone, in danger, injured or dead, call the Department of Natural and Environmental Resources Law Enforcement of at 787-724-5700 or the Marine Mammal Rescue Program at 787-833-2025, 787-538-4684 or 787-645-5593.)*

Herir o matar un manatí puede conllevar multas de más de \$50,000 y/o no menos de dos años de cárcel. ¡EVÍTESE ESE RIESGO!  
*(Harming or killing a manatee could carry fines of more than \$50,000 and/or not less than two years in prison. AVOID THIS RISK!)*

**GRACIAS POR AYUDAR A SALVAR LOS MANATÍES**  
**THANKS FOR HELPING SAVE THE MANATEES**

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**Appendix E**  
**HISTORIC PRESERVATION**



**GOVERNMENT OF PUERTO RICO**  
STATE HISTORIC PRESERVATION OFFICE

Executive Director | Carlos A. Rubio-Cancela | carubio@prshpo.pr.gov

July 13, 2023

**Lauren Bair Poche**

HORNE  
10000 Perkins Rowe, Suite 610, Bldg G  
Baton Rouge, LA 70810

SHPO 07-03-23-03 SECTION 106 NHPA EFFECT DETERMINATION SUBMITTAL:  
PR-CRP-000837- EL NUEVO DESVÍO SUR PROJECT, AGUADA, PUERTO RICO

Dear Ms. Bair,

Our Office has received and reviewed the above referenced project in accordance with 54 U.S.C. 306108 (commonly known as Section 106 of the *National Historic Preservation Act*) and 36 CFR Part 800: *Protection of Historic Properties*.

The *Antigua Estación del Tren*, a property eligible for listing on the National Register of Historic Places, is located within the project's area of potential effects. Nevertheless, we agree with your finding that implementation of the undertaking will have **no adverse effect** on this historic property.

Please note that should you discover other historic properties at any point during project implementation, you should notify the SHPO immediately. If you have any questions regarding our comments, please do not hesitate to contact our Office.

Sincerely,

Carlos A. Rubio-Cancela  
State Historic Preservation Officer

CARC/GMO/MB



July 3, 2023

Carlos A. Rubio Cancela  
State Historic Preservation Officer  
Puerto Rico State Historic Preservation Office  
Cuartel de Ballajá (Tercer Piso)  
San Juan, PR 00902-3935

Puerto Rico Disaster Recovery, CDBG-DR City Revitalization (City-Rev) Program

**Section 106 NHPA Effect Determination Submittal for PR-CRP-000837: El Nuevo Desvío Sur Project, Aguada, Puerto Rico – No Adverse Effect**

Dear Architect Rubio Cancela,

On February 9, 2018, an allocation of Community Development Block Grant - Disaster Recovery (CDBG-DR) funds was approved by the United States Department of Housing and Urban Development (HUD) under the Federal Register Volume 83, No. 28, 83 FR 5844, to assist the Commonwealth of Puerto Rico in meeting unmet needs in the wake of Hurricanes Irma and Maria. On August 14, 2018, an additional \$8.22 billion recovery allocation was allocated to Puerto Rico under the Federal Register Volume 83, No. 157, 83 FR 40314. With these funding allocations, the Puerto Rico Department of Housing (PRDOH) aims to lead a comprehensive and transparent recovery for the benefit of Puerto Rico residents. To faithfully comply with HUD's environmental requirements, the Puerto Rico Department of Housing contracted Horne Federal, LLC (HORNE) to provide environmental records review services that will support the Department's objectives Puerto Rico Housing (PRDOH) for CDBG-DR.

On behalf of PRDOH and the subrecipient, the Municipality of Aguada, we are submitting documentation for the proposed El Nuevo Desvío Sur Project. The project is south of the National Register of Historic Places eligible Aguada Traditional Urban Center, it is not within nor adjacent to it; however, the Antigua Estación del Tren, (Museo de la Historia Agrícola de Aguada de Puerto Rico), is adjacent to the project area.

Activities for the project include substantial improvements to the Nuevo Desvío Sur of Aguada, also known as Avenida Nativo Alers. These will consist of the construction of sidewalks as there currently are none that will meet ADA regulations, new curbs and gutters, the installation of 106 lighting poles, reforestation along the roadway, and the resurfacing of the entire road. The full scope of the project is described in detail within the submitted documentation, which includes mapping, photographs, 60% design plans, and the survey and topography plans (as-builts).

Based on the provided documentation, the Program requests a concurrence with a determination that no adverse effect upon historic properties is appropriate for this undertaking.

Please contact me with any questions or concerns by email at [lauren.poche@horne.com](mailto:lauren.poche@horne.com) or phone at 225-405-7676.

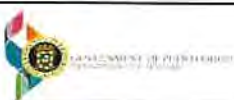
Kindest regards,



**Lauren Bair Poche. M.A.**

Architectural Historian, Historic Preservation Senior Manager

Attachments

<b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b>		
<b>CITY REVITALIZATION PROGRAM (CITY-REV)</b>		
<b>Section 106 NHPA Effect Determination</b>		
<b>Subrecipient: Municipio de Aguada</b>		
<b>Case ID: PR-CRP-000837</b>	<b>City: Aguada</b>	

<b>Project Location:</b> Municipal Road Nuevo Desvío Sur de Aguada known as Avenida Nativo Alers, Guayabo and Piedras Blancas Wards	
<b>Project Coordinates:</b> Project Begins: Lat: 12,1071.15, Long: 260,403.49/ Project Ends: Lat: 119,014.27, Long: 260,999.56/ Lambert Coordinates: X: 260,403.49/ Y: 260,403.49. Centroid coordinates Lat; 18-22-42 N Long; 67-11-33 W, Centroid Lambert Coordinates 119774.124mE, 260487.783mN	
<b>TPID (Número de Catastro):</b> N/A	
<b>Type of Undertaking:</b>	
<input checked="" type="checkbox"/> Substantial Repair	
<input type="checkbox"/> New Construction	
<b>Construction Date (AH est.):</b> 1970's	<b>Property Size (acres):</b> 6.85 ACRES


<b>SOI-Qualified Architect/Architectural Historian:</b> Carlos Ferran
<b>Date Reviewed:</b> June 2023
<b>SOI-Qualified Archaeologist:</b> N. Medina-Carrillo, PhD.
<b>Date Reviewed:</b> February 2023

In compliance with Section 106 of the National Historic Preservation Act (NHPA), the Program is responsible for identifying historic properties listed in the NRHP and any properties not listed that would be considered eligible for listing that are located within the geographic area of potential effects (APE) of the proposed project and assessing the potential effects of its undertakings on these historic properties.

### **Project Description (Undertaking)**

The Municipality of Aguada proposes the revitalization of the Municipal Road of the Nuevo Desvío Sur de Aguada also known as Avenida Nativo Alers. This project involves substantial improvements known as "Calle Completa". The Avenue Highway maintains an average daily traffic of 13,836 vehicles. This road serves as a gateway to the town center, connects the urban area, the communities of Reparto Minerva, Alturas de Aguada, sports, cultural, recreational, and commercial facilities, Juana Rosario school, Aguadeño Museum, state government facilities (Court of First Instance) and USPS Post Office and serves as access to Pico de Piedra beach and the PR-115 state road. Being this roadway extremely crowded for its location and access to multiple places in the town of Aguada, it is contemplated the entire revitalization of this access road. Sidewalks do not exist therefore new sidewalks will be built along the entire Avenue in compliance with ADA regulations. Curb and gutters will be built along the entire Avenue and where necessary. Approximately 106 lighting poles will be installed throughout the Avenue to provide greater security to all visitors of the area. In addition, reforestation will be added along the road. Additionally, the entire road will be asphalted. The project is one of improvements and does not propose new significant impact in the area. The construction of new sidewalks, planting of new trees and luminary poles installation will be improvements that will impact positively this disregarding the minimum impact that will cause small excavations for electrical lines and poles that will be replaced and/or restored to existing conditions. Work shall not exceed the limits of the previously disturbed rights-of way and shall not take place within the APE of any historic property listed or eligible for listing in the National Register.



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Nativo Alers Avenue is located at the Southward side of Aguada’s Traditional Town Urban Center. It runs East to West starting at the War Veterans Soldiers Monument and state road 417 and continuous westbound ending at the intersection with Puerto Rico Road #115. Basically, its urban development responds to a low-density suburban scale and commercial street. It contains parcels dedicated to important activities such as a community middle school (Prof. Juana Rosario), postal, medical offices and areas dedicated to social activities like festival plaza (Carlos Ruiz Plaza), a baseball stadium (Guillermo “Guillito” Hernandez) and a children’s park (Luz Muñoz Muñiz Park). As shown in the proposal plans, the projects consist of the reconstruction and remodeling of the street infrastructure, that includes road asphalt pavement, new sidewalks, vegetative “green” areas, a bicycle lane, pedestrian crossing signage, accessible sidewalks ramps and the installation of new street lighting fixtures. It will include improvements to an existing storm water culvert located at the street intersection of Nativo Alers Avenue with Padre Lesma Road. (See Segment C, in the photographic section).

This storm water culvert needs to be improved and/or substituted. It consists of a 48 inches circular concrete tube built at the time of the original construction in 1979. It has been affected by the sedimentation created upstream by storm water and heavy rains which directly increased the ground elevation causing the flood water level to be higher. This also creates an accumulative effect by an overflow of water over the Nativo Alers Ave. Nativo Alers Avenue is an old road repaired and improved many times since its opening in 1970 decade. Our office performed the inspection and supervision of its construction from construction commencement, so we can state as a fact that originally an excavation of approximately 5 feet was excavated along road to remove and replace soft soil and substitute with A-2-4 landfill soil. Therefore, the area was then highly impacted. All adjacent structures were built and impacted in a similar way.

Nativo Alers Ave is an old road repaired and improved many times since its construction in 1970 decade. Our office is familiar with this road since we performed the inspection and supervision of the original construction of the same. From our experience acknowledge of the construction of this road we must highlight that originally a six feet excavation was executed alone the total length of this road to provide the space for a A-2-4 selected landfill that was placed and compacted all along the road. This landfill provided the sound foundation necessary for heavy equipment passing through this road preventing this type of vehicle from entering downtown the city of Aguada. The width of this landfill went beyond the running lane to include approximately 3 meters of shoulder for emergency situations. We shall highlight also that the geotechnical soil study prepared by RG Geotechnical Soil Study Engineering, shows clearly this landfill and it's the best evidence that up to six feet deep shall be considered as impacted zone by previous and original construction of this road; therefore we can conclude that the place where the sidewalks, curb and gutters, electric lines, poles installation and green areas will not by any means create any negative environmental impact to APE.

**Area of Potential Effects**

As defined in 36 CFR §800.16(d), the area of potential effects (APE) is the geographic area or areas within which an undertaking may directly or indirectly cause changes in the character or use of historic properties if any such properties exist. Based on this definition and the nature and scope of the Undertaking, the Program has determined that the direct APE for this project is 1.43 Kms. (1,438.07 Mts.) and the visual APE is the viewshed of the proposed project. Based on this definition and the nature and scope of the Undertaking, the Program has determined that the direct APE for this project is 6.85 Acres, and the visual APE is the urban blocks located immediately to the north and south of the Nativo Alers Avenue. Note that previous APE acres was mistyped on previous version, however the correct APE acre is 6.85 acres.

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### Identification of Historic Properties - History

Aguada is one of the oldest Spanish settlements on the island of Puerto Rico. The first settlement was founded by Don Cristóbal de Sotomayor in 1510 and is called Villa de Sotomayor. By the beginning of the ninth century, the main economic activity of the Villa de La Aguada was concentrated in the cultivation and production of minor fruits, rice, corn, “plátanos” and coffee. The cultivation of sugar cane was still in its infancy. It is from 1813 when the cultivation of sugar cane begins increasing in the region. With only 120 “cuerdas” planted with sugar cane in 1813, already in 1823, 3 "caballerías" and 179 cuerdas sown with sugar cane are reported.<sup>1</sup> The main agricultural products of Aguada in 1826 were sugar, rice, and coffee. Sugar was the agricultural product that give the greatest profits, surpassing rice, and coffee.<sup>2</sup>

According to the statistics raised by Pedro Tomás de Córdoba in 1828, the town of Aguada had 25 houses and 28 bohios, while in the fields there were 104 houses and 643 bohios.<sup>3</sup> In the Guayabo and Pueblo neighborhoods where the proposed project is located, by 1845 there were two important sugar “Haciendas”.<sup>4</sup> In the records examined both haciendas are registered only by neighborhood, the exact location of the haciendas is unknown.

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<sup>1</sup> 1" caballería " is equivalent to 200 "cuerdas".

<sup>2</sup> Medina Carrillo, Norma, "El Proceso Esclavista y los Hacendados del Azúcar en la Villa de la Aguada, 1800-1873, Tesis de Maestría, CEAPRC, 1988. Page 20.

<sup>3</sup> Ibid. Page 22.


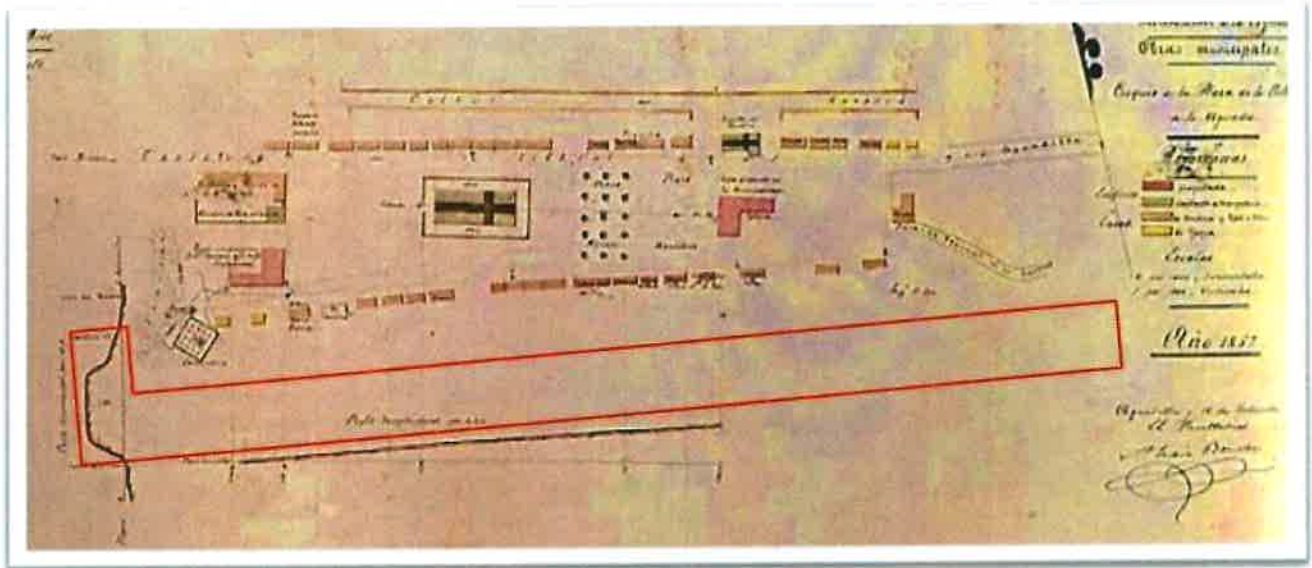
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Figure 1: Sketch of Plaza de la Villa de la Aguada, 1867. AGPR, OOPP, Legajo 2, Expediente 11, Caja 196.<sup>6</sup>



<sup>4</sup> Ibid. Pages 24, 28.

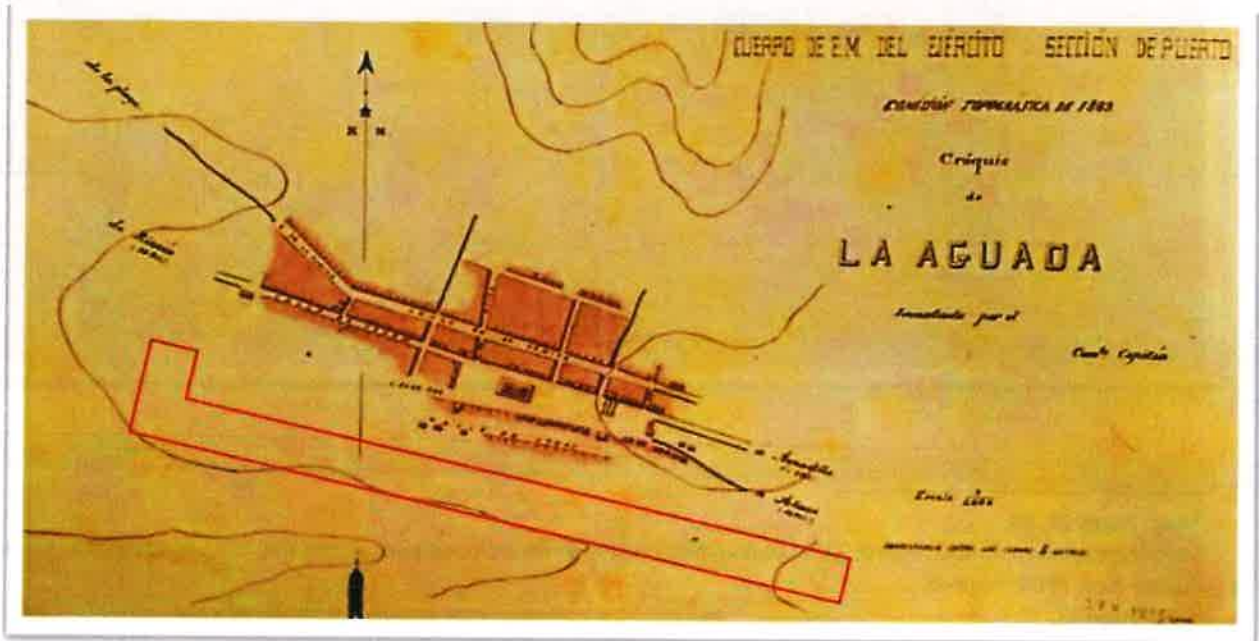
<sup>5</sup> Sepúlveda Rivera, Aníbal, Puerto Rico Urbano, Atlas Histórico de la ciudad puertorriqueña, VOL. II., CARIMAR, San Juan Puerto Rico, 2004. Page 48.

<sup>6</sup> Ibid. Page 48.

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In the early 19th century, Aguada was the most populous party in the northwestern area of Puerto Rico. The agricultural industry was concentrated on the cultivation and production of minor fruits: rice, corn, bananas, and coffee. The sugar industry would experience great advances, estimating the number of ropes for its cultivation at about 120. Already by the year of 1826 it was reported that there were in the territory of Aguada three “caballerias”, and 179 “cuerdas” planted with sugar cane.

Figure 2: Figure 2: Sketch of La Aguada, 1899, Félix Ardanaz y Crespo. Corps of Spanish Military Engineers, SGE.<sup>7</sup>



<sup>7</sup> Sepúlveda Rivera, Anibal, Puerto Rico Urbano, Atlas Histórico de la ciudad puertorriqueña, VOL. III., CARIMAR, San Juan Puerto Rico, 2004. Page 62.



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During the decade from 1820 to 1830, the northwest region of Puerto Rico suffered the effects of three hurricanes that caused considerable losses in agriculture. These events produced the ruin of numerous landowners, mainly in the town of Aguada, the largest sugar producer of the time. During the second half of the 19th century, the parties of the northwestern region began to undergo significant changes in the development of the coffee, sugar, tobacco, and food industries in the town of Aguada several industries dedicated to sugar cane were developed. This "Haciendas" were: Casualidad, Caño de las Nazas, Placeres, Concepción, Pajonal, Concordia, Mamey and Pámpanos. In 1845, 86 "cuerdas" of sugar cane and 80 "cuerdas" of grass and minor fruits were reported in the Guayabo neighborhood. At that time, the two "Haciendas" nearby the project under evaluation were the following:

In 1874, the total population of Aguada reached 8,830 inhabitants. The town had a main square, the "Plazuela de la Ermita" and five streets. The village consisted of 49 houses and 122 "bohios." Between 1908 and 1912, the U.S. Army commission Lieutenant Amstrong to collect cartographic information of the Island. The following description made by Lieutenant Amstrong, is important to understand the configuration of the town of Aguada in the beginning of the twentieth century (Figure 3). Amstrong's description of the town of Aguada,

"Aguada is said to be the oldest town on the Island. Situated about one mile from the seacoast and about four miles from Aguadilla. It is of no importance today either politically or commercially and of no military value. Town built along two parallel streets with the church and plaza between them. .... The village overlooks a cane valley in the South and Southwest. The population is said to be 1,135, but the town appears to have about 800 people in it. The chief manufactures are few cheap grade cigars. The principal occupation of the people is working in sugar cane."<sup>8</sup>

In Armstrong's plan there are two parallel streets located south of the main square and the American RR train track located south of town.

"The town is about 150 feet above sea level. Almost all are old wooden buildings. On the square there is a single-story masonry building. There are 8 general stores selling liquor, cigars, and supplies. There are two small pharmacies. There are no factories or schools with their own buildings...The population is said to be 1,135, but the village has about 800 people... The sugar cane field is the main source of employment for the population. The two main streets are east of the square, they are good and wide, but as they head west, on the other side of town they become narrow. The main streets are about 25 feet wide. The side streets are narrow and muddy."<sup>9</sup>

<sup>8</sup> Amstrong, William H. The Cartographic Journey of Lieutenant William H. Amstrong, Vol 1. 284.

<sup>9</sup> Ibid.




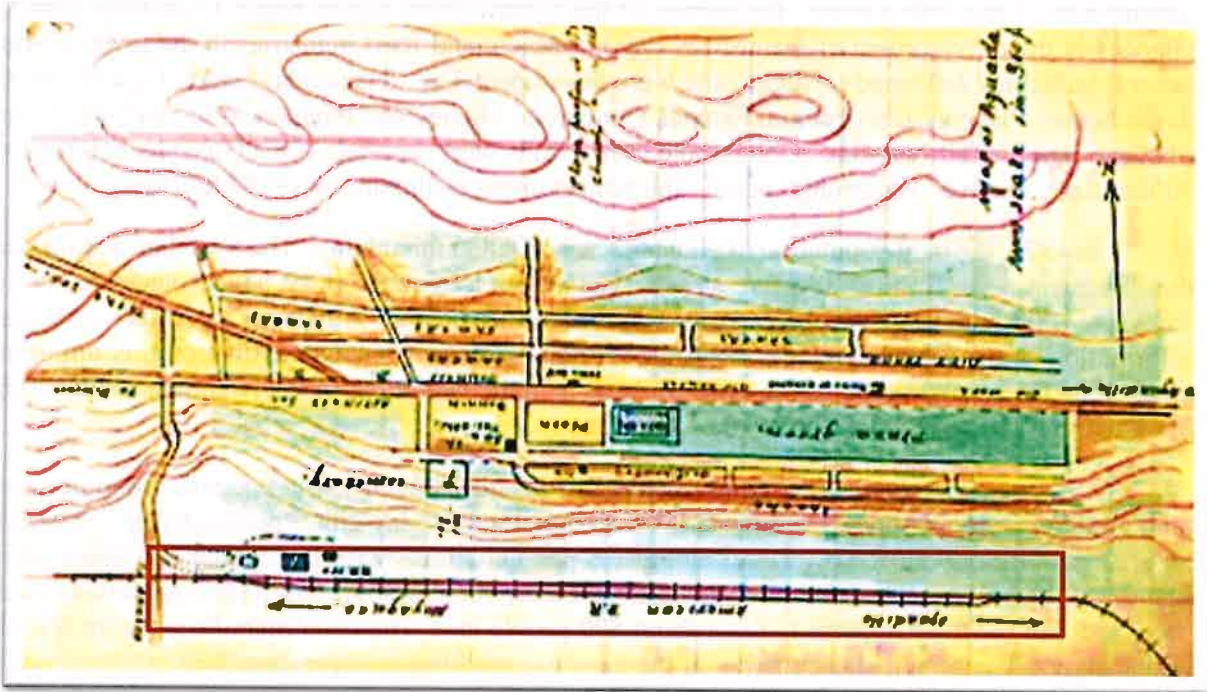

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Figure 3: William H. Amstrong 1909 Aguada Plan. Progressive Military Map of Puerto Rico, RBM.<sup>10</sup> Shown in red color the area where the old tracks of the cane train coincide with the current Alers Avenue.



Until a few decades ago, the economy of the municipality of Aguada was based mainly on the cultivation and processing of sugar cane. In addition to farms, there were other economic activities in the place such as livestock and timber production. The Colossus plant operated as a sugar factory from 1830 to 2002. 11 “Central Coloso” produced 6,000 tons of sugar per day, was the last sugar factory to close operations on the Island. Currently, the Aguada economy is based on the development of small businesses and a small number of factories of foreign capital. The land where Alers Avenue is located was owned by the Bianchi Agricultural Community owners of the Central Coloso. These lands were “cañaverales” of the Central Coloso. In 1970, in agreement with the municipal government of Aguada they ceded the land to the Municipality for the construction of Alers Avenue. Two railway track systems were in this Aguada sector. A section of the train tracks systems coincides with a section of the Ave. Alers passing in front of the Old Train Station. In this section there were two parallel train tracks. The closest tracks to the station were for the passenger train and the south tracks system were for the cargo train.

<sup>10</sup> Sepúlveda Rivera, Aníbal, Puerto Rico Urbano, Atlas Histórico de la ciudad puertorriqueña, VOL. III., CARIMAR, San Juan Puerto Rico, 2004. Page 63.

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**Identification of Historic Properties – Archaeology**

In 1979, archaeologist Juan González Colón made an inventory of archaeological sites under the auspices of the Institute of Puerto Rican Culture. In the inventory presented, he informs of two (2) archeological sites present in the municipality of Aguada. These archaeological sites were named AA1 – Jagüey and AA2 – Carrizales. The AA1 archaeological site is in the Jagüey neighborhood on the PR – 441 State Road, km. 3.7. A thin lithic ring was recovered at the site. The AA2 archaeological site is in the Carrizales neighborhood, state highway PR-441, km. 2. The site consists of ceramics fragments and marine food remains. In the archives of the Council for the Protection of Terrestrial Archaeology there are sixty-two (62) archeological studies for Aguada. Of this total, only twelve (12) reflect positive results to historical and prehistoric elements.

The closest identify archaeological resource near to the project area is a historical resource from the Spanish colonial period of Aguada. In PR-SHPO this resource is identified with the code AG0100008, “Hacienda Casualidad” and lies approximately 1 kilometer from project centroid. This archaeological colonial site consists of the ruins of the old “Hacienda Casualidad”, located in the Guayabo neighborhood of the municipality of Aguada. These remains were found in 1985. The ruins consist of structural remnants and fragments of wall or footing made of brick and stone and are located below and on the southeast side of Carlos Cardona Matías house and the northeast courtyard of the neighboring house belonging to Josefa Cardona Molyneux.<sup>11</sup> These ruins are located to the southwest of the project area about 0.57319 miles (922.46 meters) of distance (Figure 4).<sup>12</sup>

<sup>11</sup> State Historic Conservation Office, Digital Archives, 2022.  
<https://oech.pr.gov/ProgramaConservacionHistorica/Educacion/Municipios/Informaci%C3%B3n%20Arqueol%C3%B3gica%20del%20Municipio%20de%20Aguada.pdf>

<sup>12</sup> State Historic Conservation Office, Digital Archives, 2022.  
<https://oech.pr.gov/ProgramaConservacionHistorica/Educacion/Municipios/Informaci%C3%B3n%20Arqueol%C3%B3gica%20del%20Municipio%20de%20Aguada.pdf>


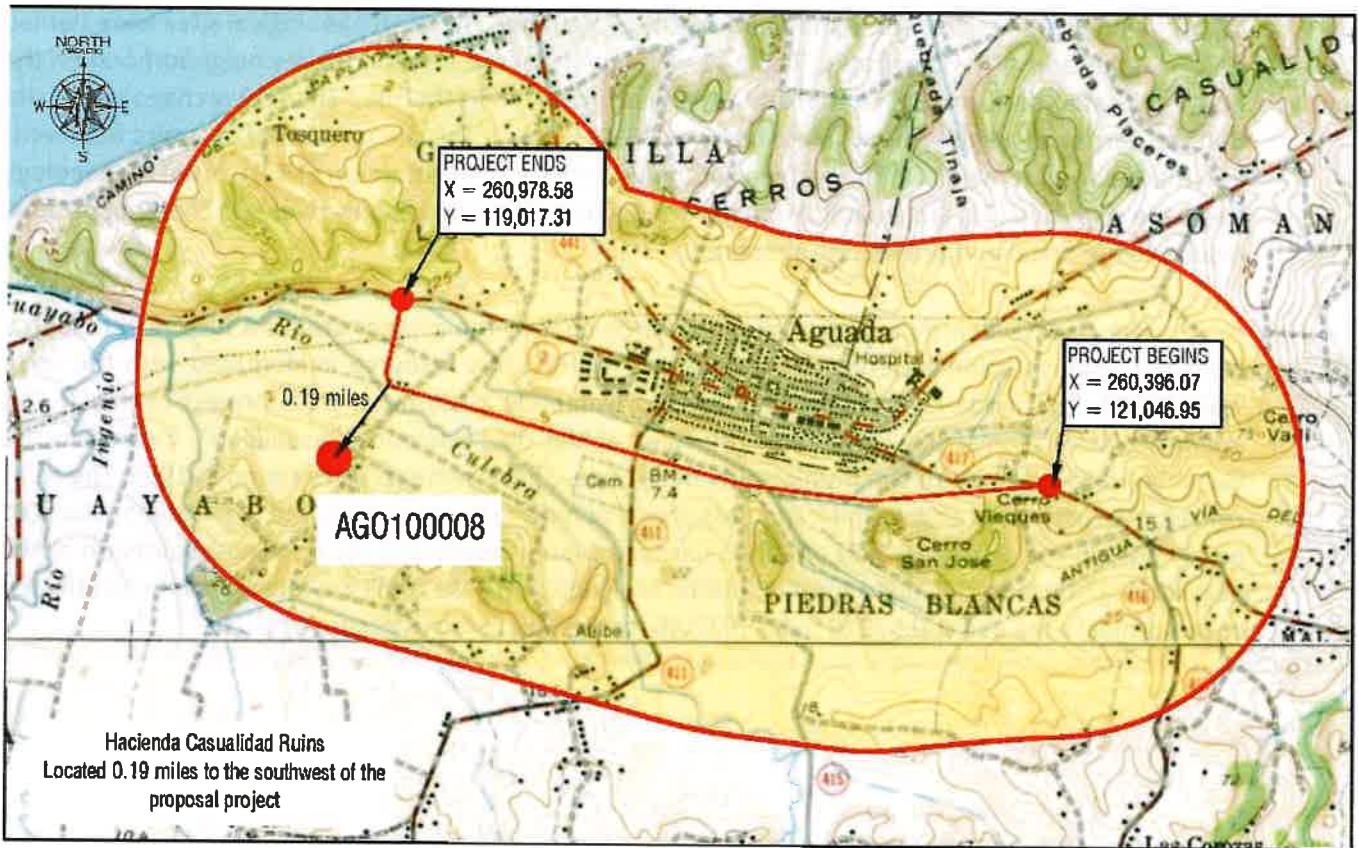

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Figure 4: Topographic Map USGS with the archaeological Sites near the project. A half mile radio is shown in red. Nearest archeological identified Site is AG0100008 "Hacienda Casualidad". Located 0.19 miles to the southwest of the proposed project.



A half mile radio shown in red. nearest archeological identified site is AGO100008 "Hacienda Casualidad". Located 0.19 miles to the southwest of the proposed project



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**Hacienda Casualidad: AG0100008** <sup>13</sup>

"Located to the west of the town of Aguada, 1 km. from the same and very close also to the railway station that crosses near the establishments. It consists of three buildings: the first entering from the right, is a beautiful house of masonry and wood, two floors, destined the high to housing of the employees and the ground floor to deposit: the second to the left; It also consists of two floors, all of masonry, destined the upper floor to the bedroom of laborers, and the low to sugar deposit; the other towards the front, it is the machinery building, is all masonry facing the NW., and annexed to it by "saliente", has installed in a masonry department, the Egroot system still, and "baticiones" thereof. The capacity is 335 cuerdas of which are cultivated of cane in small and large culture around 50, without which they have some "medianeros". It produces about 200 bocoyes of "moscovado". The Hacienda employs about 60 workers and pays wages of 25 to 40 cents per day. It is governed by a first field steward, a guardian for surveillance, who is seconded by a butler and, a person in charge of the "alambique".<sup>14</sup>

"This property, after being an oxen mill in the year 1865, its owner Don Carlos Alers imported the appliances of which consists of the machinery of his house from the house Mirrlees and Tait of Glasgow which make up; 1 boiler that develops a force of 18 horses, one mill, 3 evaporators "fondos" and "Batería". At that time, it produced 1,000 bocoyes of sugar with much more land extension. I then went to the property of Don Nicolas Daubón, then to that of Don Merciadier Borrás; in 1892 Mr. Schanabel et al. In 1894 to that of Mr. Martínez y González who owned it until 1900 in which its current owner took over.

The sweetness of the canes fluctuates between 8 and 11 degrees. Abundant waters of the Culebrinas River that crosses it from North to South and with irrigation of this. Its machinery is fed with the waters of the same irrigation, and the establishments are 50 meters from the river. Has anexes to the "bagacera, panadería y tonelería".<sup>15</sup>

<sup>13</sup> Ferreras Pagán, J., *Biografías de las Riquezas de Puerto Rico*, Tomo I, 1902, Pág. 83.

<sup>14</sup> *Ibid.* Page 83.

<sup>15</sup> *Ibid.* Page 83.

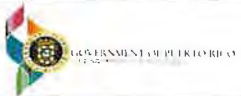
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Table 1: Archaeological Reports in Guayabo and Piedras Blancas neighborhoods.<sup>16</sup>

Project name	Ward	Phase/ Code	Arqueólogo	Results	Distance to the project APE
1. Paseo de Rosales	Guayabo	Phase IA-IB / AA-97-02-08	Juan González Colón	<b>Negative</b>	0.0 miles to the project APE
2. Aguada Shopping Center	Guayabo	Phase IA	Juan González Colón	<b>Negative</b>	0.0 miles to the project APE
3. Arsenio Martinez Middle School	Guayabo	Phase IA-IB	Virginia Rivera Calderón	<b>Negative</b>	0.0 miles to the Project APE
4. Subdivision of 38 residential plots	Guayabo	Phase IA-IB	Juan González Colón	<b>Negative</b>	0.310 miles to the Project APE


Twenty archaeological studies were evaluated covering the neighborhoods of Guayabo and Piedras Blancas, where the project under evaluation, Nativo Alers Avenue, is located. Of these 20 archaeological studies, 15 correspond to the Guayabo neighborhood and three to the Piedras Blancas neighborhood. Nineteen of the twenty archaeological evaluations have negative results, only one evaluation for the “Diseño y Construcción del Nuevo Centro de Gobierno de Aguada” recommends archaeological monitoring, because the area was covered with asphalt and could not be evaluated during the Field Tour of the Phase IA. Table 1 shows the results of the archaeological studies closest to the APE of the project under evaluation. All with negative results.

It shall be established that only sidewalks, new planting trees, lighting poles and green areas constitute the only overground disturbing construction. The other important construction activity is the improvement of the bridge culvert crossing the avenue. Since this activity lies on an existing water creek it shall be out of any consideration of potential Archeological effects.

Concerning the sidewalks, lightning poles, new trees, and green passive areas it could be examined from constructions plans that no disturbances will be noted below 3 feet level in the worst case. As stated, before and confirmed by soil study, the original construction of Nativo Alers Avenue requested the removal and substitution of 6’-0” of soft soil by A-2-4 landfill; therefore, the impacted area is substantially above the disturbances created by this project.

<sup>16</sup> Council for the Protection of Terrestrial Archaeology in Puerto Rico, 2022.



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It shall be established that only sidewalks, new planting trees, lighting poles and green areas constitute the only overgrown disturbing construction. Another important construction activity is the improvement of a bridge Culvert crossing the Ave. The improvement of the bridge covered crossing the Ave. Lies on an existing water small dry Creek it's impact to the APE shall be out of any consideration to the potential archaeological effect area.

Concerning the sidewalks, lighting poles, new planting trees and green passive areas it could be examined from construction plans that no disturbances will be active below 3 feet level in the worst case. As stated, before and easily confirmed specifically on page 5 of soil report study prepared by RGS GEOTECHNICAL ENGINEERS, the soil removed during original construction of Nativo alers Ave. to be replaced by selected landfill at a depth of six feet created an incidental impact to any potential archaeological area since the beginning back before, to more than 50 years that will preclude the new construction of this project with any additional impact to any potential archaeological area.


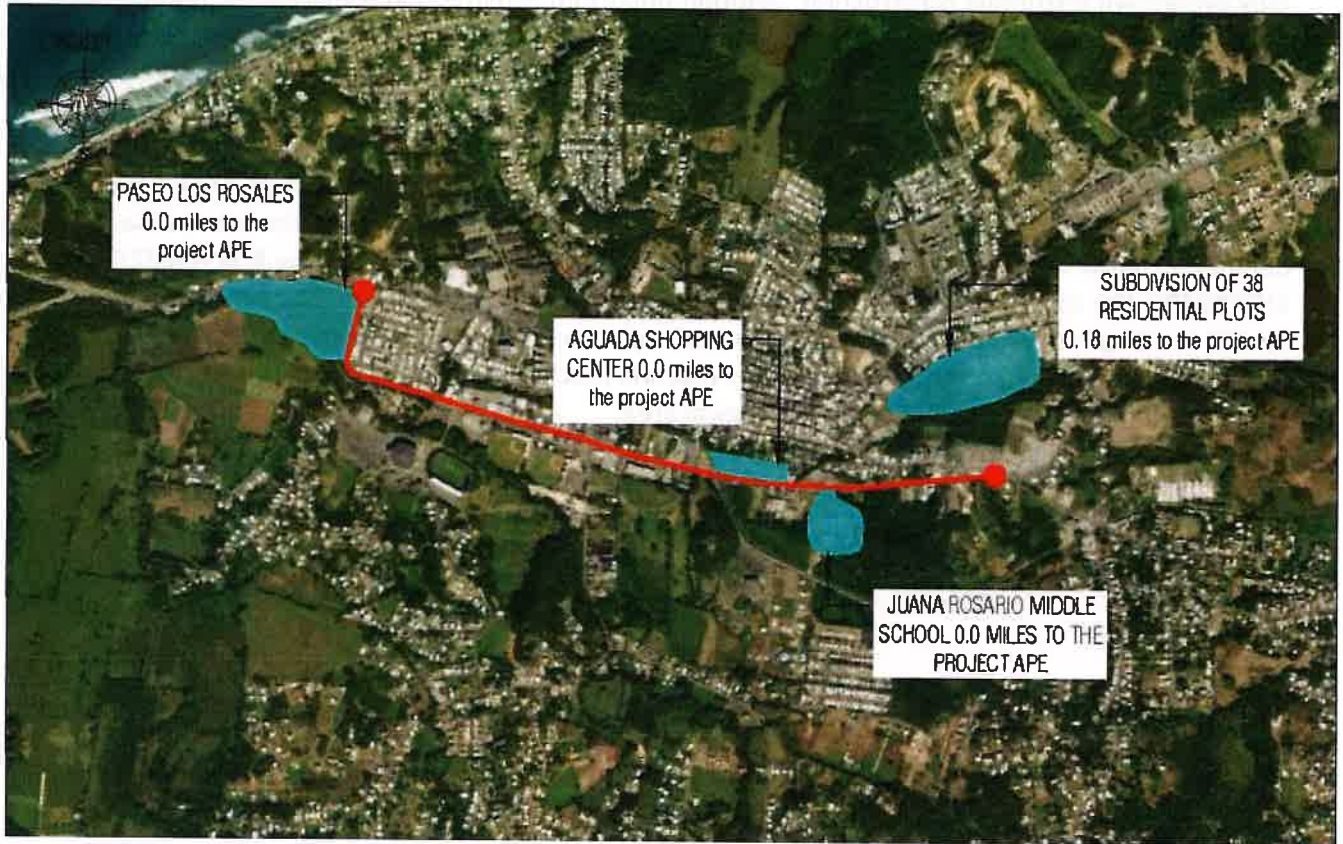

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Figure 5: Location of the archaeological studies conducted near the APE of the project (PAE/ICP).<sup>17</sup>



<sup>17</sup> Screenshot photo from the CAT/PAE data base.

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**Analysis of Aerial Photographs and Historic Topographic Map**

Figure 6: Aerial Photograph of 1937.

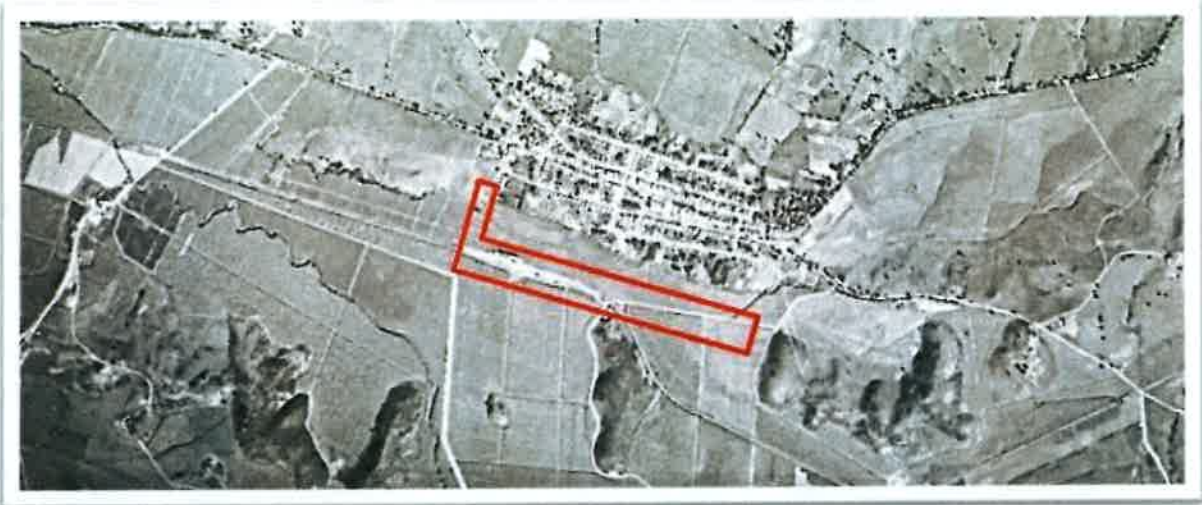


Figure 7: Aerial Photograph of 1950.






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Figure 8: Aerial Photograph of 1963.



Figure 9: Aerial Photograph of 1971.




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Figure 10: Aerial Photograph of 1980.



Figure 11: Aerial Photograph of 1990.






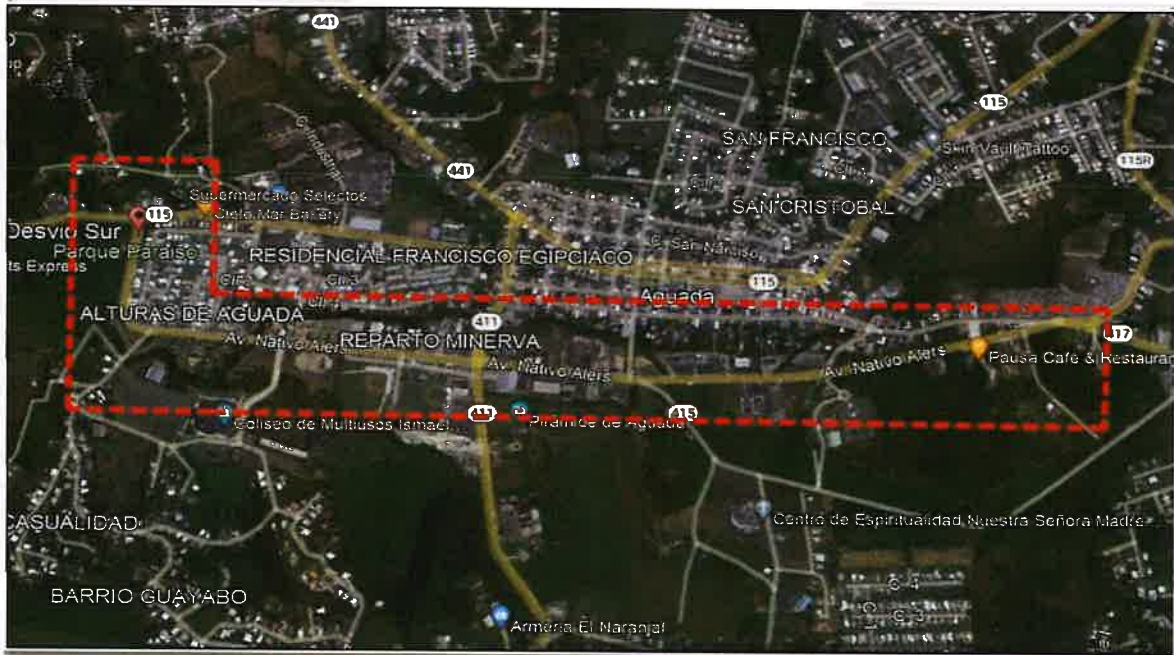
<b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b> <b>CITY REVITALIZATION PROGRAM (CITY-REV)</b> <b>Section 106 NHPA Effect Determination</b>	 GOVERNMENT OF PUERTO RICO GOBIERNO DE PUERTO RICO
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Figure 12: Aerial Photograph of 2000.



Figure 13: Aerial Photograph of 2018.






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Figure 14: Aguada 1937, Topographic Historic Quadrangle.<sup>18</sup>

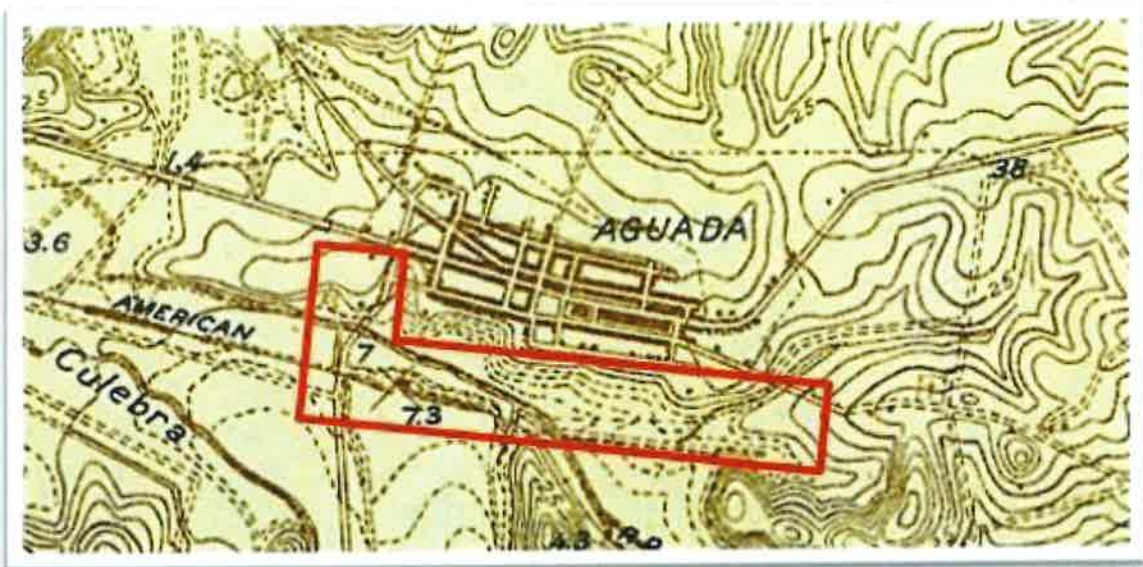
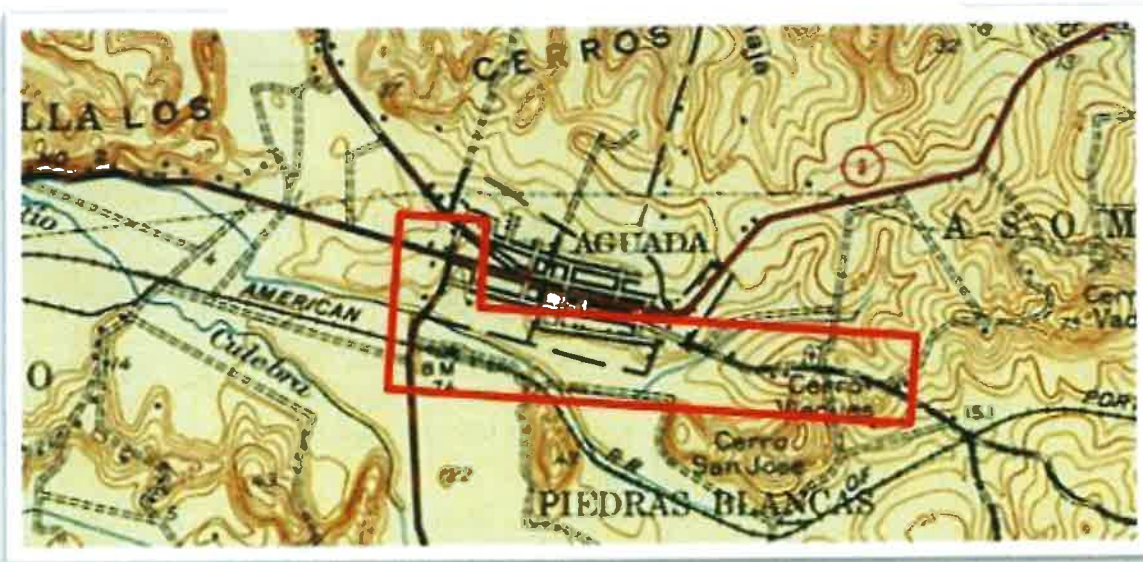


Figure 15: Aguada 1942, Topographic Historic Quadrangle



<sup>18</sup> <https://livingatlas.arcgis.com/topoexplorer/index.html>




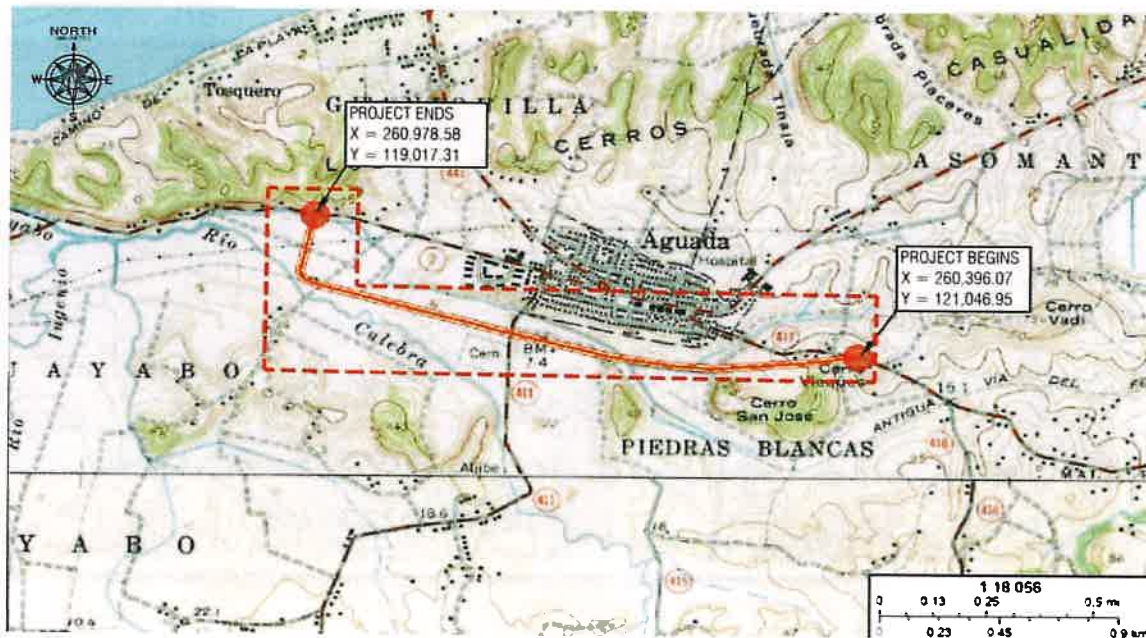
<b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b> <b>CITY REVITALIZATION PROGRAM (CITY-REV)</b> <b>Section 106 NHPA Effect Determination</b>	 GOVERNMENT OF PUERTO RICO <small>GOBIERNO DE PUERTO RICO</small>
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Figure 16: Aguada 1960, Topographic Historic Quadrangle.<sup>19</sup>



Figure 17: Aguada 1983, Topographic Quadrangle.



<sup>19</sup> <https://livingatlas.arcgis.com/topoexplorer/index.html>

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### Analysis of Historical Photographs and Quadrangles

The analysis of historical aerial photographs from 1937, 1950, 1963 and 1971 the railroad tracks and the Railroad Station of Aguada is clearly seen. By 1971 the Alers Avenue had not yet been built, but In the Aerial Photograph of 1980, Alers Avenue is clearly seen for the first time. It was in the period between 1971 and 1980 that this Avenue was built. From the analysis of the topographic quadrangles is observed that in the quadrangles of 1937, 1942 and 1960 the Alers Avenue is still not built. The topographic quadrangle of 1983 does not show Alers Avenue even though it was already built. The quadrangles of 1937, 1942 and 1960 show the track system of the railroad. From the analysis of the aerial photograph and the historical topographic quadrangles it can be established that Alers Avenue is, at least, 45 years old.

### Identification of Historic Properties - Architecture

Historical Cultural Resources below are the National Register Historic Places at **Aguada, Puerto Rico** as recognized by the State Historic Preservation Office, (OECH-Puerto Rico), the Puerto Rico National Register of Historic Sites and Places and pending or potentially eligible qualified for registration. Those identified as the **red color** are the resources close to the project:

1. **Antigua Estación del Tren, (Museo de la Historia Agrícola de Aguada de Puerto Rico), JP/ICP- 07 de agosto del 2008.**
2. Parroquia San Francisco de Asís, **JP/ICP- 07 de agosto del 2008**
3. Casa Alcaldía, **JP/ICP- 07 de agosto del 2008.**
4. Casa Sucesión Mendoza- Patiño, **JP/ICP- 15 de febrero del 2006**
5. Central Coloso, **JP/ICP- 18 de agosto dl 1999.**
6. Puente de Coloso, Barrio Guanábano Road #418, Km. 0.5, **NRHP (Obra de Ingeniería y Transportación), JP/ICP.**
7. Traditional Town Center: Cristobal Colón Main Square.
8. **Aguada Train Station and tracks**

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**Antigua Estación del Tren, (Museo de la Historia Agrícola de Aguada de Puerto Rico)**

Antigua estación del Tren, actually Museo de la Historia Agrícola de Aguada de Puerto Rico, is a Historic property, as designated by Plans Board of Puerto Rico and Instituto de Cultura de Puerto Rico on August 7,2008. It consists of a 1 story building with approximate dimensions of 14.39 W x 17.33 L. It shows minor improvements but still the same original structure. However, no tracks of train passage exist due to unknown events. Therefore, no train tracks exist, the main train station structure is built in concrete walls with metal roof on wood purlins.

**Aguada Train Station and tracks**

The old Train Station of Aguada was North of the current Alers Avenue. The Station was accessed down “Calle Estación”, today, Avenida Nativo Alers. It was a wood and corrugated zinc building (figure 5). William H. Armstrong, in 1909 Aguada Plan Military Map of Puerto Rico, identifies the area where the train tracks were located. The construction of the train track system dates to the 1900’s. The passenger train was dismantled in 1954 throughout Puerto Rico. Is located close to 5 meters from APE. However, train tracks do not exist, unknown reasons.




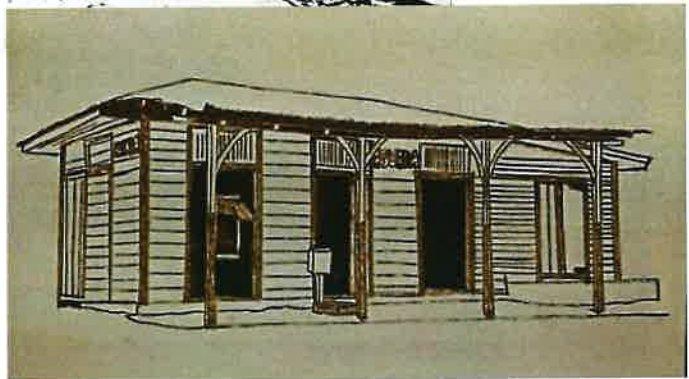
<b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b> <b>CITY REVITALIZATION PROGRAM (CITY-REV)</b> <b>Section 106 NHPA Effect Determination</b>	 <small>GOVERNMENT OF PUERTO RICO</small> <small>GOBIERNO DE PUERTO RICO</small>
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Figure 18: Old Aguada Train Station.<sup>20</sup>



Figure 19: Old Pyrography of the Aguada Train Station, Puerto Rico.<sup>21</sup>



<sup>20</sup> Foto: [Casa Museo de Aguada.](https://www.facebook.com/CasaMuseoAguada/)

<https://www.facebook.com/AguadaTieneDeTo/photos/a.840506996325442/1091122337930572/?type=3&theater>

<sup>21</sup> <https://www.pinterest.com/pin/422986589999131956/>


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Figure 20: Aguada, first RR Station, looking toward Coloso, 1910, West-to East direction.<sup>22</sup>



<sup>22</sup> Photo Humberto Costa Collection.


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Figure 21: House- Museum of Aguada<sup>23</sup>



The Aguada Train Station in masonry was built between 1915 and 1919. Today is reused as a small Agricultural Museum. Is located on Nativo Alers Avenue, adjacent to the project. The Avenida Nativo Alers was built in the 1970s, in the area where the railroad tracks and the Aguada Railway Station used to be. The 1919 station has still been preserved and rehabilitated into a local Museum (Figures,6, 7 and 8). The old Aguada train station has historical value, is associated with the history of the public transportation system of the first half of the twentieth century in PR, which qualifies the Aguada Train Station for nomination to the NRHP under CRITERION A.

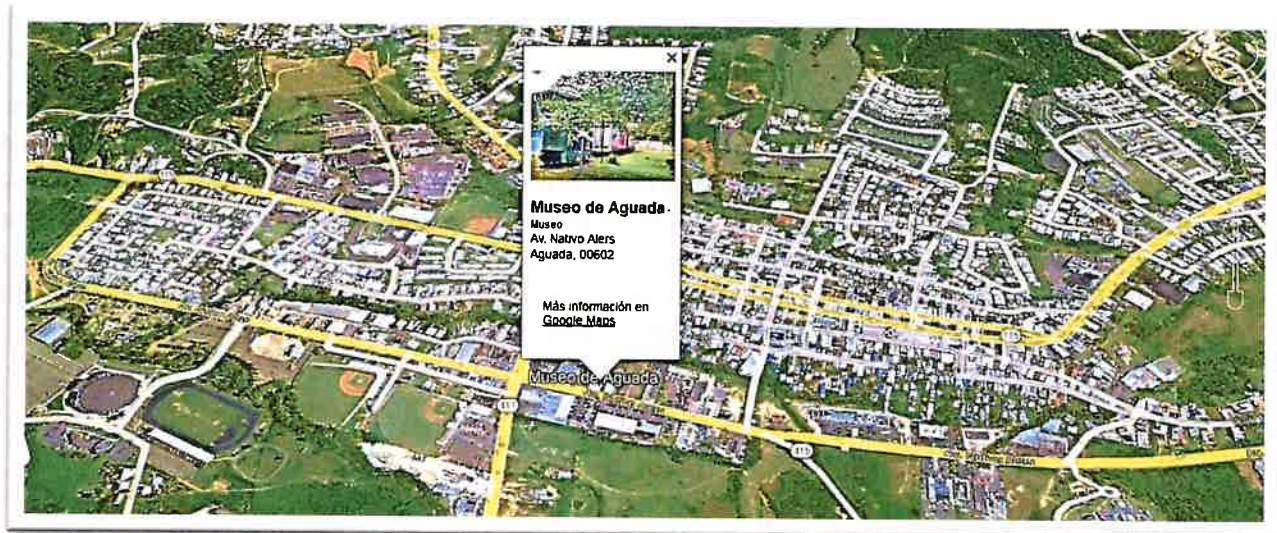
<sup>23</sup> <https://www.facebook.com/groups/238365356302187/posts/1633996290072413/>




Figure 22: House- Museum of Aguada



Figure 23: Location of the House- Museum of Aguada in Nativo Alers Ave.



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## Determination

The following historic properties have been identified within the APE:

- **Direct Effect:** The proposed project will not have direct effects on historic properties or archaeological resources within the APE of the project. The Old Aguada Railroad Station located in the visual APE, will not be part of the proposed project area of direct effect. The proposed project is limited to revitalization of the existing facilities. The proposed project does not contemplate new impacts.
  - o No Historic Properties will have a Direct Effect. Train Tracks do not exist for unknown reason. If they once existed, somehow were removed. No information is available as to who and when intervened in the removal. Beyond the train station the only existing historical property and boundary outside of the project impacting area, we can say that no historic property will suffer direct effect with the construction of this project. Being the train station the only existing historical property and bonding outside of the project construction limits we can say that no historic property will have direct effect with the construction of this project.

- **Indirect Effect:**
  - o The Alers Avenue was constructed in the 1970 decade. In its western section, this avenue was established over the same area where the American RR train Station of Aguada and the Railway track system and the Train existed.


- o The Old Train Station of Aguada is a well-recognized historical resource. The building of the old train station of Aguada qualifies to be nominated to the NRHP under Criterion A “That are associated with events that have made a significant contribution to the broad patterns of our history”.

- o The Old Train Station of Aguada is in the Visual APE of the Project, North of project APE. Based on the results of our historic property identification efforts; the Program has determined that the project actions will not affect the historic properties that are in the Area of Potential Effect (APE).

- o Indirect Effect on the visual APE on the Historic Properties: Old Train Station of Aguada, Puerto Rico • Based on the results of our historic property identification efforts, the Program has determined that project actions will not affect the Historic Properties and the Old Train Station.

Based on the results of our historic property identification efforts, the Program has determined that project actions **will not affect** the Old Train Station. Based on the results of our historic property identification efforts, the Program has determined that project actions **will not affect** the Historic Properties that compose the **Area of Visual Potential Effect**.



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**Recommendation (Please keep on same page as SHPO Staff Section)**

The Puerto Rico Department of Housing requests that the Puerto Rico SHPO concur that the following determination is appropriate for the undertaking (Choose One):

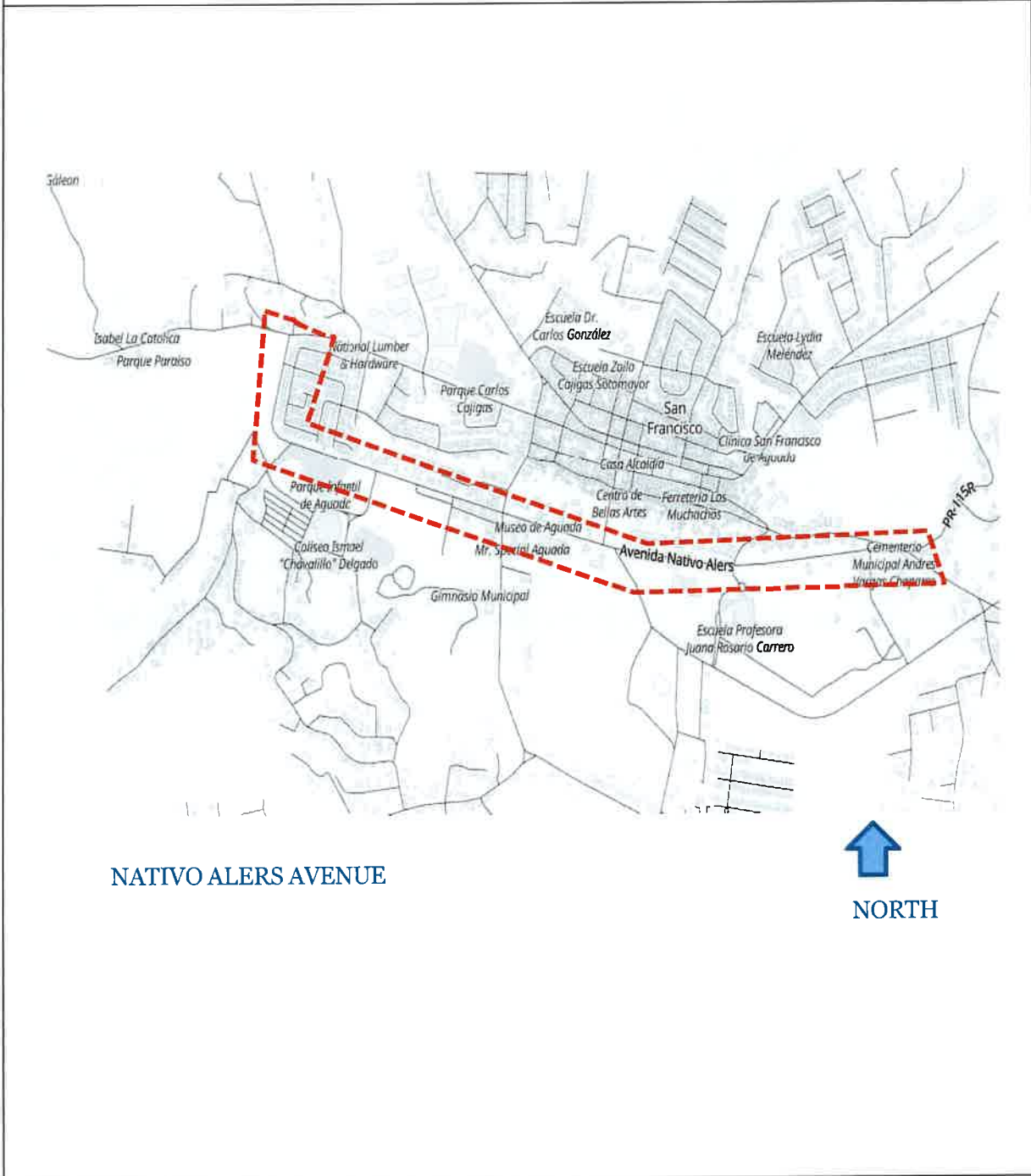
- No Historic Properties Affected
- No Adverse Effect
  - Condition (if applicable):
- Adverse Effect
  - Proposed Resolution (if applicable)

**This Section is to be Completed by SHPO Staff Only**

The Puerto Rico State Historic Preservation Office has reviewed the above information and:	
<input type="checkbox"/> <b>Concurs</b> with the information provided. <input type="checkbox"/> <b>Does not concur</b> with the information provided.	
<b>Comments:</b>  	
Carlos Rubio-Cancela State Historic Preservation Officer	Date:

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**Project (Parcel) Location Map-Area of Potential Effect Map**



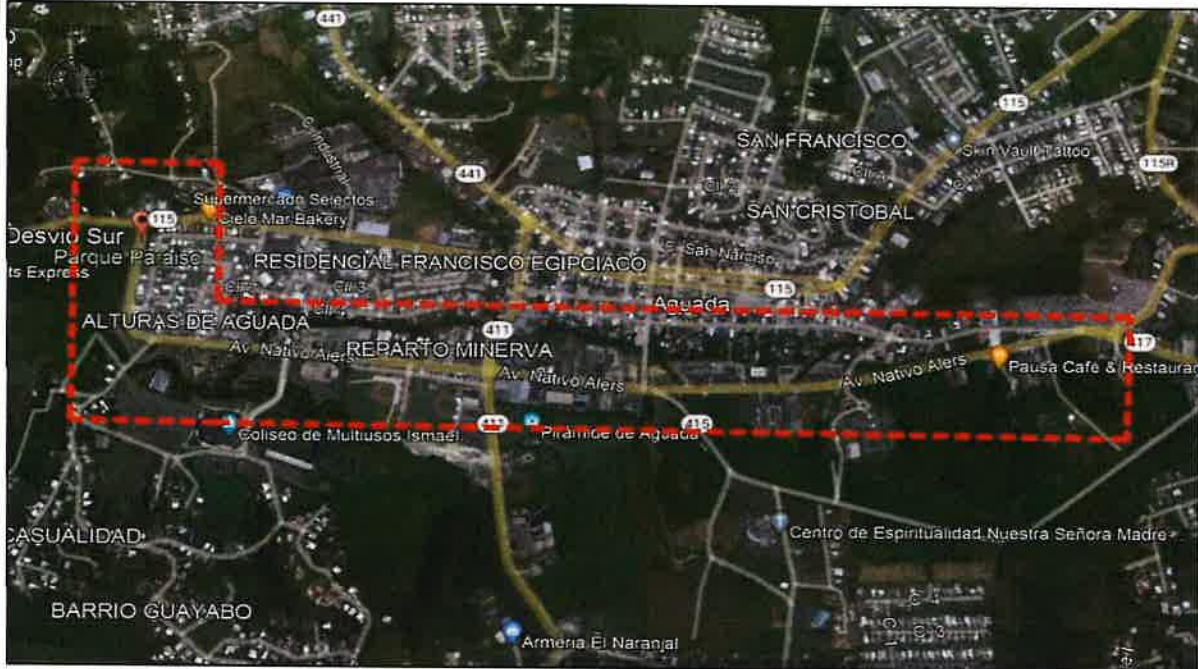


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### Project (Parcel) Location - Aerial Map

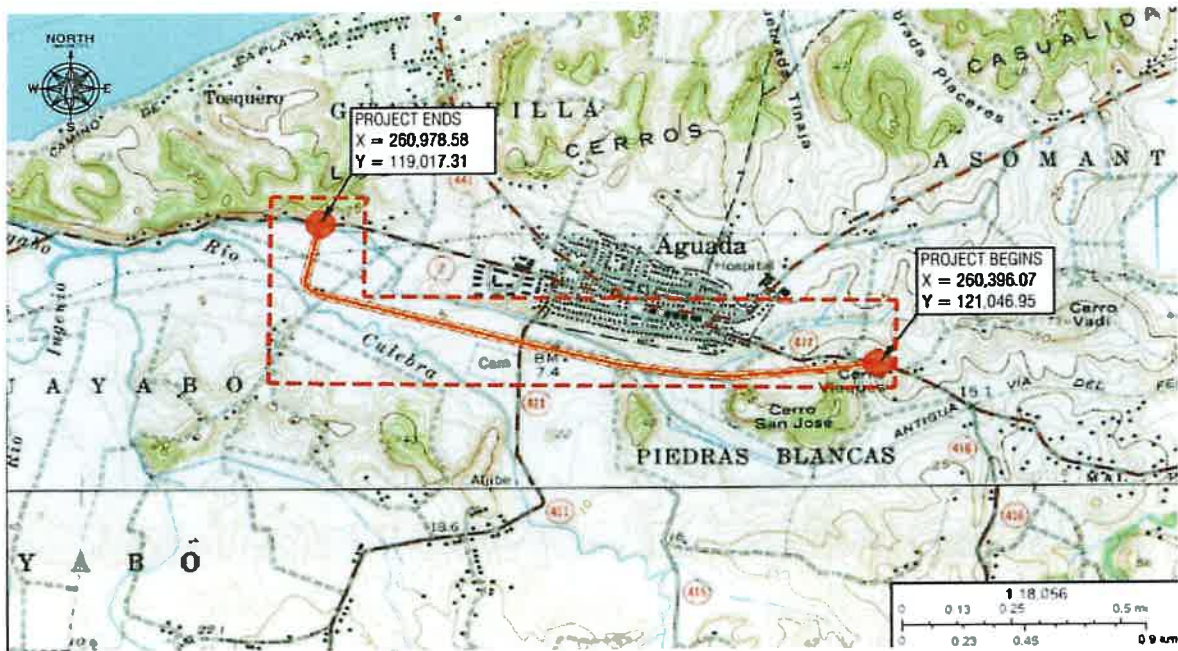


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### Project (Parcel) Location - USGS Topographic Map







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### Project Location with Recorded Historic Properties



PROJECT AREA: NATIVO ALERS AVENUE

HISTORIC PROPERTIES

01- HISTORIC OF TRAIN STATION. (AGAUADA MUSEUM)

02- TRADITIONAL TOWN MAIN SQUARE

03- SAN FRANCISCO DE ASIS, CHURCH

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### Project (Parcel) Location with Previous Investigations - Aerial Map



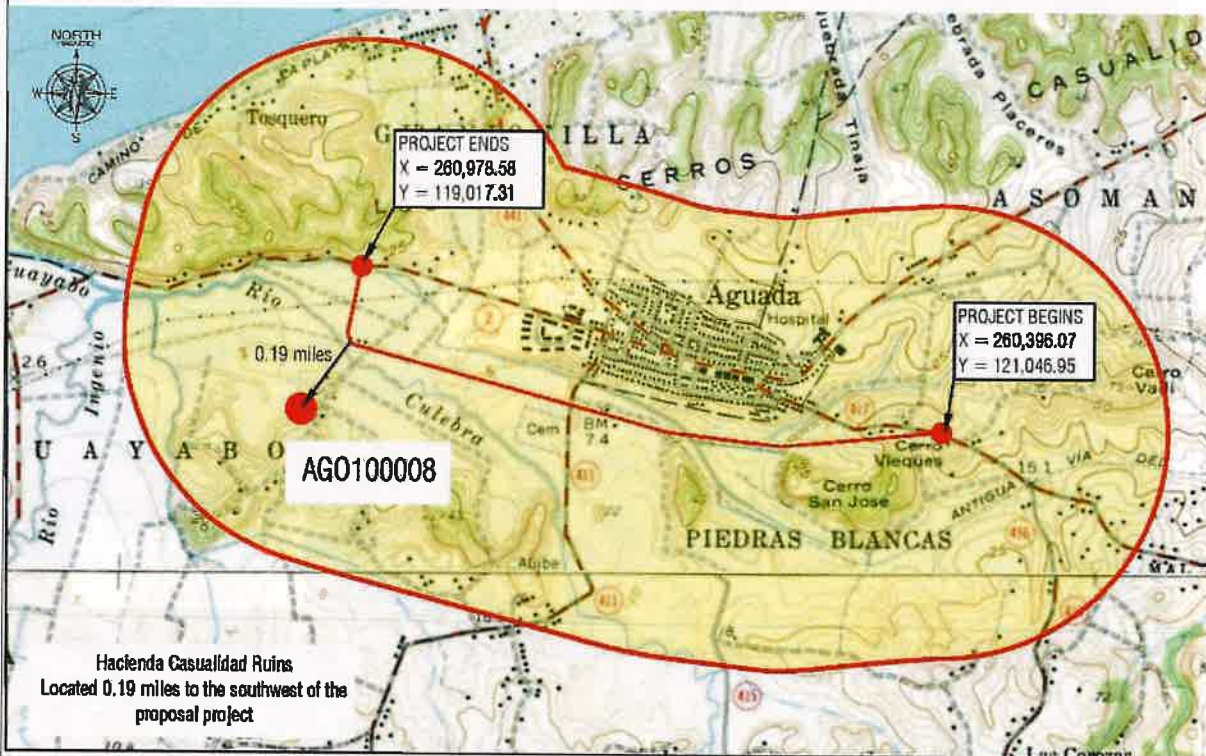


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**Project (Parcel) Location with Previously Recorded Cultural Resources  
USGS Topographic Map**



Hacienda Casualidad Ruins  
Located 0.19 miles to the southwest of the  
proposal project

A half mile radio shown in red. nearest archeological identified site is AGO100008 "Hacienda Casualidad".  
Located 0.19 miles to the southwest of the proposed project

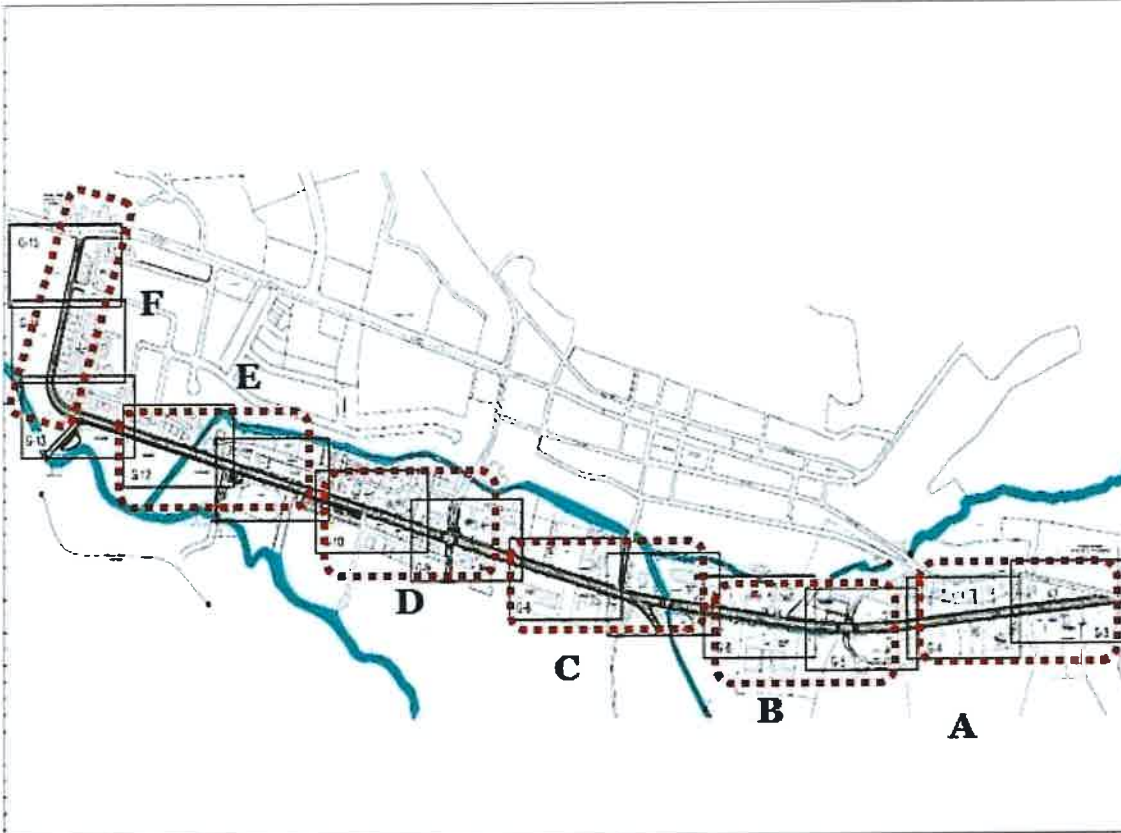
A half mile radio shown in red. Nearest archaeological identified Site is AGO100008 "Hacienda  
Casualidad". Located 0.807 miles to the southwest of the proposed project

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### Photograph Key



**PROJECT STREETS SEGMENTS A TO F,  
(EAST TO WEST), PHOTOGRAPHED**



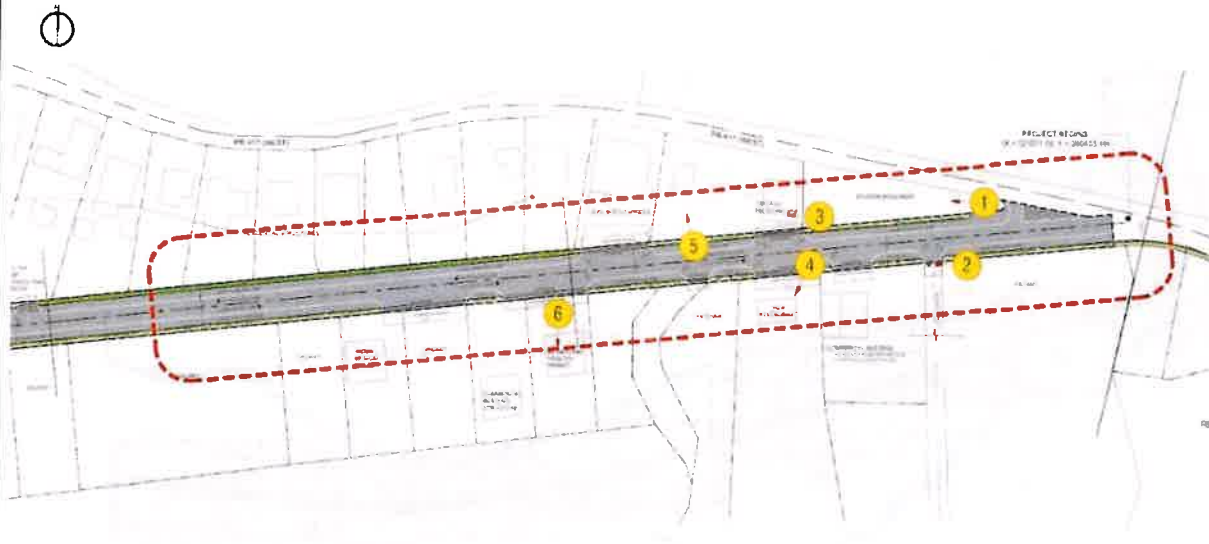




### Photograph Key

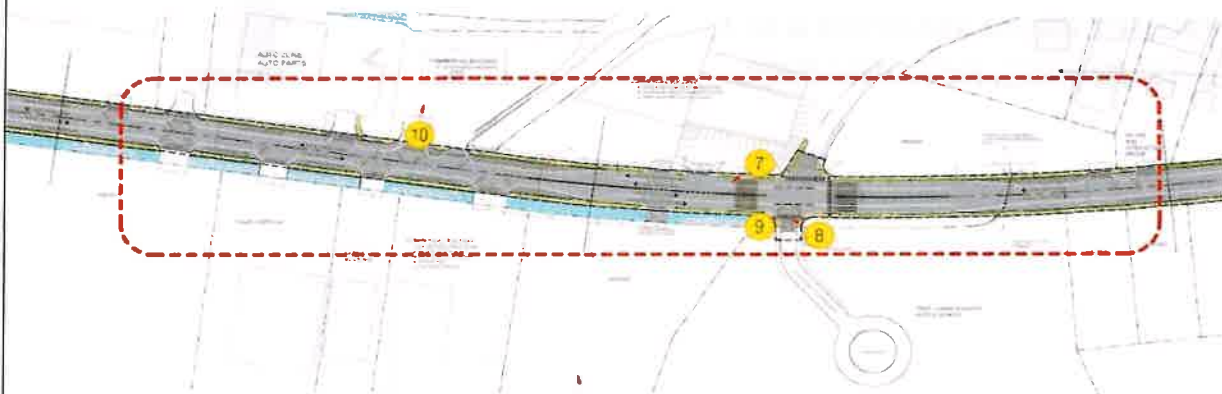
#### SEGMENT A, PROJECT STARTS

#### PICTURES 01 TO 6, EAST TO WEST



#### SEGMENT B

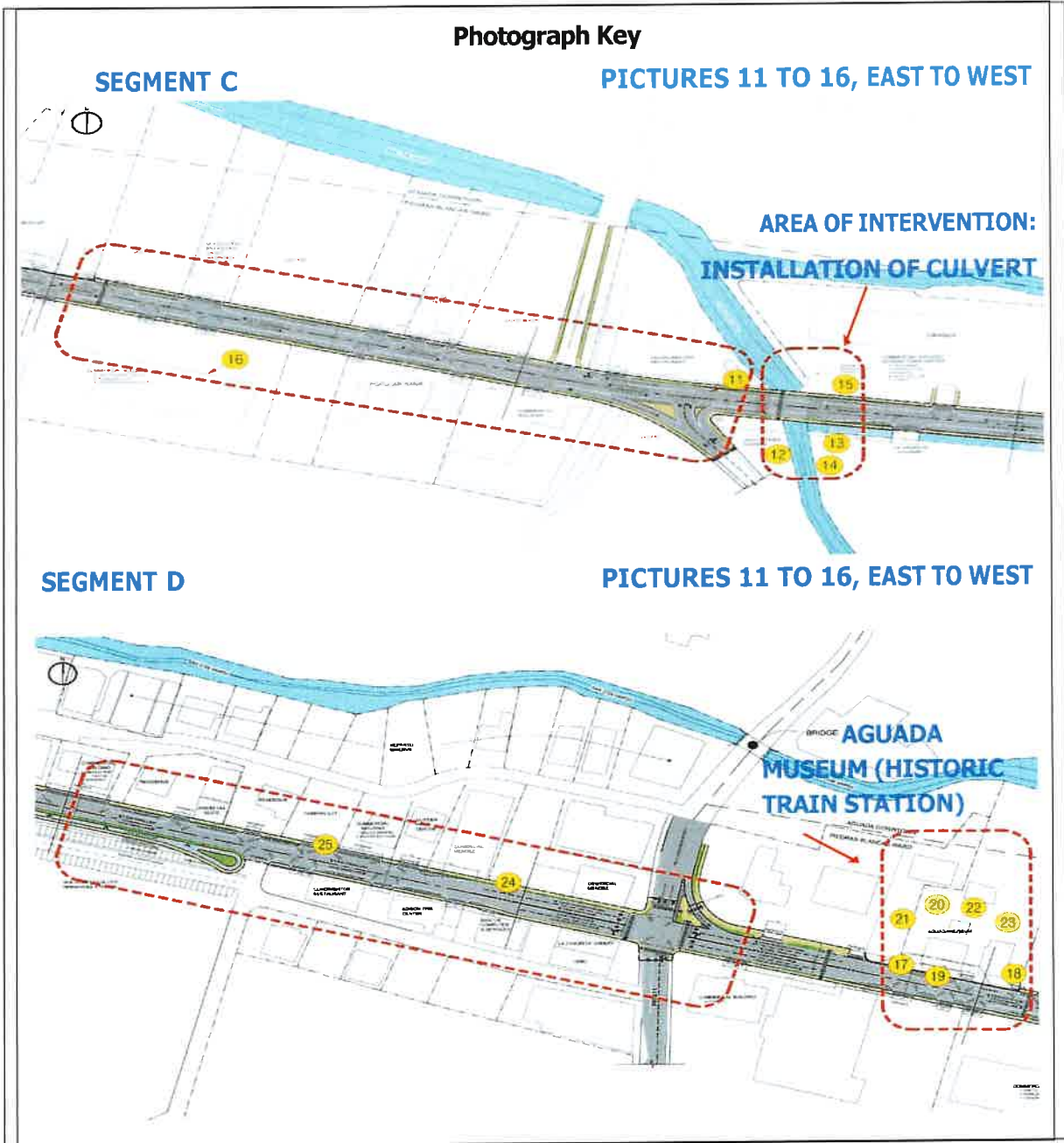
#### PICTURES 7 TO 10, EAST TO WEST



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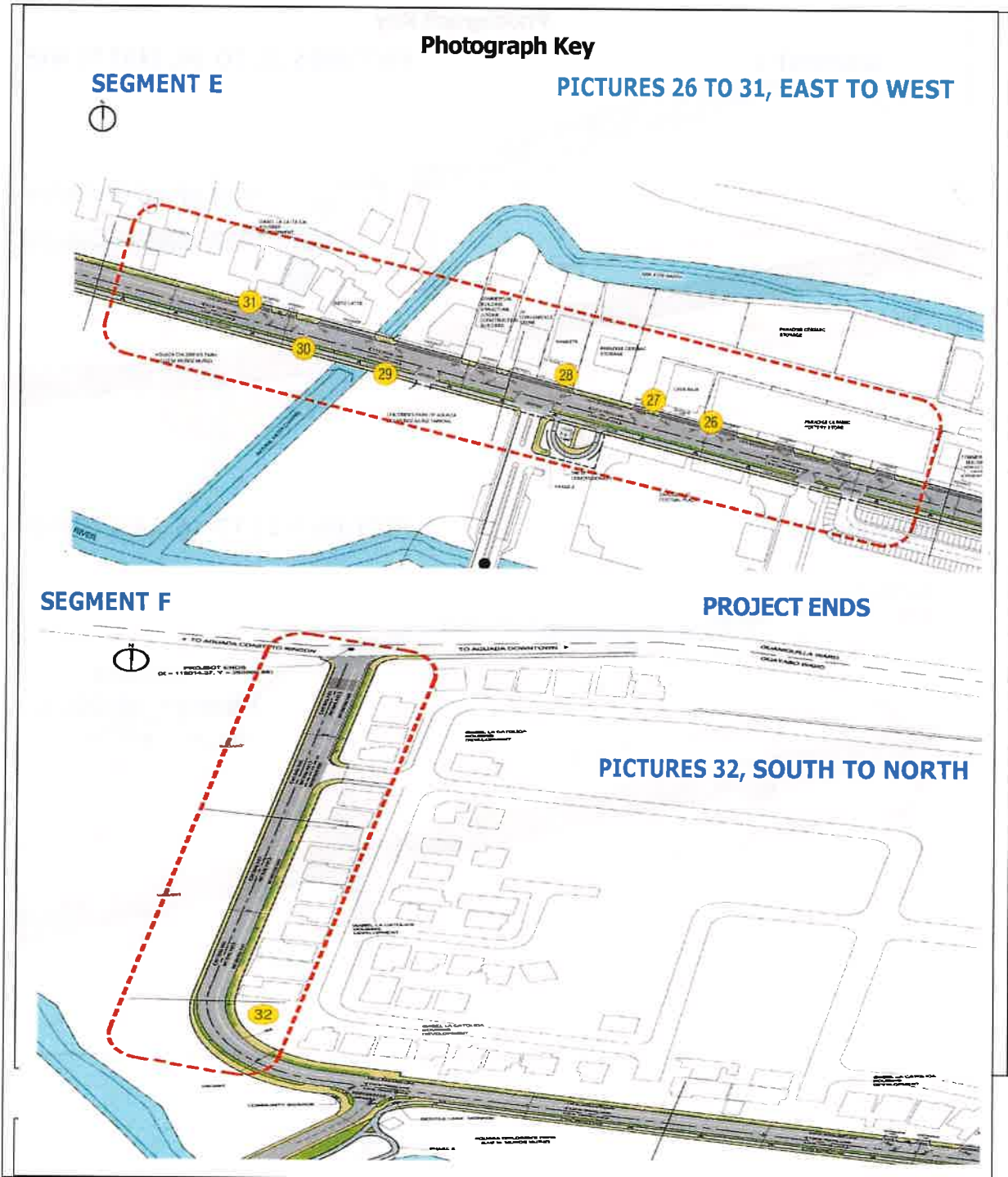
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Section 106 NHPA Effect Determination**



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**Photo #:01**

**Description (include direction): East to West view. Natio Alers Avenue. War Veteran Monument (Project Starts)**

**Date: Feb/14/23**



**Photo #: 02**

**Description (include direction): East to West view. Natio Alers Avenue**

**Date: Feb/14/23**



**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  
CITY REVITALIZATION PROGRAM (CITY-REV)  
Section 106 NHPA Effect Determination**



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**City: Aguada**



**Photo #: 03**

**Description (include direction): East to West view. Nativo Alers Avenue**


**Date: Feb/14/23**



**Photo #: 04**

**Description (include direction): East to West view. Nativo Alers Avenue**

**Date: Feb/14/23**

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<b>Case ID: PR-CRP-000837</b>	<b>City: Aguada</b>



<b>Photo #: 05</b>	<b>Description (include direction): East to West view. Natio Alers Avenue</b>
<b>Date: Feb/14/23</b>	



<b>Photo #: 06</b>	<b>Description (include direction): ): East to West view. Natio Alers Avenue</b>
<b>Date: Feb/14/23</b>	

**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  
 CITY REVITALIZATION PROGRAM (CITY-REV)  
 Section 106 NHPA Effect Determination**



**Subrecipient: Municipio de Aguada**

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**City: Aguada**



**Photo #: 07**

**Description (include direction): East to West view. Nativo Alers Avenue**

**Date: Feb/14/23**



**Photo #: 08**

**Description (include direction): East to West view. Nativo Alers Avenue. Community School Profesora Juana Rosario Carrero**

**Date: Feb/14/23**



**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM**  
**CITY REVITALIZATION PROGRAM (CITY-REV)**  
**Section 106 NHPA Effect Determination**



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**Photo #: 09**

**Description (include direction): East to West view. Natio Alers Avenue**

**Date: Feb/14/23**



**Photo #: 10**

**Description (include direction): East to West view. Natio Alers Avenue**

**Date: Feb/14/23**



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**Photo #: 11**

**Description (include direction): East to West view. Nativo Alers Avenue. Intersection with XXX Street**


**Date: Feb/14/23**



**Photo #: 12**

**Description (include direction): East to West view. Nativo Alers Avenue. Area of Intervention: proposed new Culvert.**

**Date: Feb/14/23**

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**Photo #: 13**  
**Date: Feb/14/23**

**Description (include direction): East to West view. Nativo Alers Avenue. Area of Intervention: proposed new Culvert.**



**Photo #: 14**  
**Date: Feb/14/23**

**Description (include direction): East to West view. Nativo Alers Avenue. Area of Intervention: proposed new Culvert.**



**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM**

**CITY REVITALIZATION PROGRAM (CITY-REV)**

**Section 106 NHPA Effect Determination**



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**Photo #: 15**

**Description (include direction): East to West view. Nativo Alers Avenue. Area of Intervention: proposed new Culvert.**

**Date: Feb/14/23**



**Photo #: 16**

**Description (include direction): East to West view. Nativo Alers Avenue**

**Date: Feb/14/23**

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**Section 106 NHPA Effect Determination**



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**City: Aguada**



**Photo #: 17**

**Description (include direction): East to West view. Nativo Alers Avenue. (Historic Train Station Museum)**

**Date: Feb/14/23**



**Photo #: 18**

**Description (include direction): East to West view. Nativo Alers Avenue. (Historic Train Station Museum)**

**Date: Feb/14/23**



**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  
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**Photo #: 19**

**Description (include direction): East to West view. Nativo Alers Avenue. (Historic Train Station Museum)**

**Date: Feb/14/23**



**Photo #: 20**

**Description (include direction): East to West view. Nativo Alers Avenue. (Historic Train Station Museum)**

**Date: Feb/14/23**

**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM**  
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**Photo #: 21**

**Description (include direction): East to West view. Natio Aler Avenue. (Historic Train Station Museum)**

**Date: Feb/14/23**



**Photo #: 22**

**Description (include direction): East to West view. Natio Aler Avenue. (Historic Train Station Museum)**

**Date: Feb/14/23**

**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  
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**Photo #: 23**

**Description (include direction): East to West view. Nativo Alers Avenue. (Historic Train Station Museum. Floor Finished Detail- Criolla Style Tile)**

**Date: Feb/14/23**



**Photo #: 24**

**Description (include direction): East to West view. Nativo Alers Avenue**

**Date: Feb/14/23**



**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM**  
**CITY REVITALIZATION PROGRAM (CITY-REV)**  
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**Photo #: 25**

**Description (include direction): East to West view. Nativos Aleros Avenue.**

**Date: Feb/14/23**



**Photo #: 26**

**Description (include direction): East to West view. Nativos Aleros Avenue**

**Date: Feb/14/23**



**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM**

**CITY REVITALIZATION PROGRAM (CITY-REV)**

**Section 106 NHPA Effect Determination**



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**Photo #: 27**

**Description (include direction): East to West view. Nativo Alers Avenue. Carlos Ruíz Festival Plaza.**

**Date: Feb/14/23**



**Photo #: 28**

**Description (include direction): East to West view. Nativo Alers Avenue**

**Date: Feb/14/23**

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  
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City: Aguada



Photo #: 29

Description (include direction): East to West view. Nativo Alers Avenue. Water Channel.

Date: Feb/14/23



Photo #: 30

Description (include direction): East to West view. Nativo Alers Avenue. Towards residential area.

Date: Feb/14/23



**Subrecipient: Municipio de Aguada**

**Case ID: PR-CRP-000837**

**City: Aguada**



**Photo #: 31**

**Description (include direction): East to West view. Nativo Alers Avenue. Aguada's Children Park- Luz M. Muñoz Muñiz**

**Date: Feb/14/23**



**Photo #: 32**

**Description (include direction): South to North view. Nativo Alers Avenue. Residential Area. (Project Ends).**

**Date: Feb/14/23**



# SURVEYING & TOPOGRAPHY PLAN (AS - BUILT)

PROJECT NATIVO ALERS AVENUE "DESVIO SUR"  
LOCATED BETWEEN BO. GUAYABOS AND BO. "PIEDRAS BLANCAS" NATIVO  
ALERS AVENUE "DESVIO SUR", MUNICIPALITY OF AGUADA, PUERTO RICO

PREPARED FOR:

HON. CHRISTIAN E. CORTEZ FELICIANO, MAYOR  
MUNICIPALITY OF AGUADA, PUERTO RICO

SUBMITTED BY:



J. CAJIGAS & ASSOCIATES P.S.C.  
ENGINEERS, ARCHITECTS, SURVEYORS,  
PLANNERS & REAL ESTATE APPRAISERS  
AGUADA, PUERTO RICO

REGISTERED PROFESSIONAL ENGINEER  
REGISTERED PROFESSIONAL ARCHITECT  
REGISTERED PROFESSIONAL SURVEYOR



REGISTERED PROFESSIONAL SURVEYOR



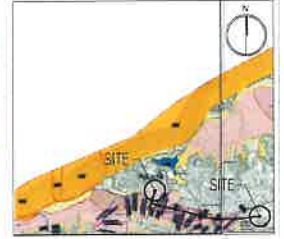
AERIAL PHOTO



TOPOGRAPHIC MAP  
COORDINATES X: 18,87759 Y: -57,18327 TO X: 18,39295  
Y: -57,18972  
SCALE: 1:800



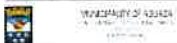
ZONING MAP  
Sheet No. 001  
SCALE: 1:800  
Effective: AGO 31, 2011



FLOOD MAP  
Map No. 72003C0140J 72003C0145J  
Effective: APRIL 13, 2016  
SCALE: 1:2,000  
ZONE: A

## DRAWINGS INDEX

SHEET NO.	DESCRIPTION	DWG. ID
1	TITLE SHEET, DRAWINGS INDEX & LOCATION MAP	S-1
2	NATIVO ALERS AVENUE - (DESVIO SUR) FROM STA. 0+00 (START) TO STA. 3+08	S-2
3	NATIVO ALERS AVENUE - (DESVIO SUR) FROM STA. 3+08 TO STA. 7+03	S-3
4	NATIVO ALERS AVENUE - (DESVIO SUR) FROM STA. 7+03 TO STA. 10+08	S-4
5	NATIVO ALERS AVENUE - (DESVIO SUR) FROM STA. 10+08 TO STA. 13+08	S-5
6	NATIVO ALERS AVENUE - (DESVIO SUR) FROM STA. 13+08 TO STA. 16+30	S-6
7	NATIVO ALERS AVENUE - (DESVIO SUR) FROM STA. 16+30 TO STA. 19+72	S-7
8	NATIVO ALERS AVENUE - (DESVIO SUR) FROM STA. 19+72 TO STA. 22+48	S-8
9	NATIVO ALERS AVENUE - (DESVIO SUR) FROM STA. 22+48 TO STA. 24+44 (END)	S-9



SURVEYING & TOPOGRAPHY PLAN

NO.	REVISION	DATE



J.C. CAJIGAS & ASSOCIATES P.S.C.



TITLE SHEET, MAPS & INDEX



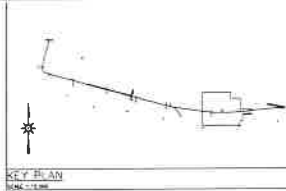
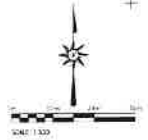




### LEGEND

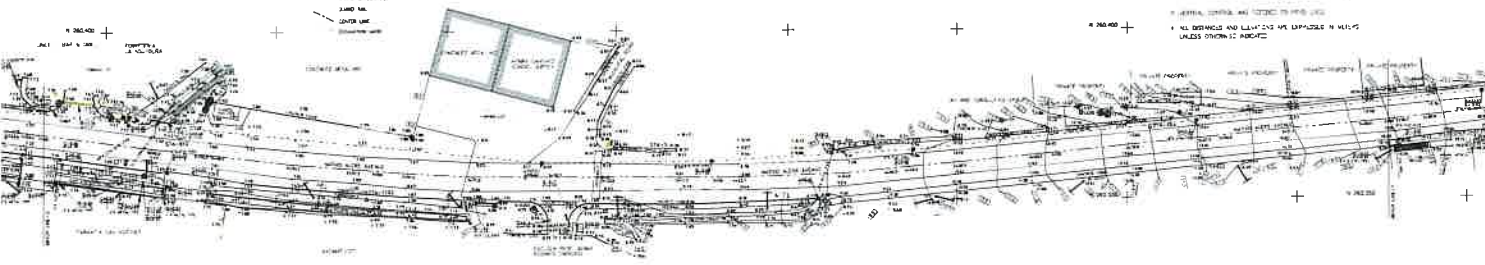
FOR PROPERTY LINES  
OR IN THE SITUATION  
C.S. CHORDS & RADICAL STRINGS  
C.S. CURVES

- PILING
- PIPE
- SIGN
- SINK
- SINKY HOLE
- SINKY HOLE WITH BRICKS
- HOLE
- TRENCH
- ELECTRIC POSTS
- MOUNTAIN
- ELECTRIC WIRE
- TELEPHONE WIRE
- TELEPHONE POLE
- TELEPHONE CROSS
- TELEPHONE WIRE
- TELEPHONE POLE
- TELEPHONE CROSS
- TELEPHONE WIRE
- TELEPHONE POLE
- TELEPHONE CROSS
- TELEPHONE WIRE
- TELEPHONE POLE
- TELEPHONE CROSS



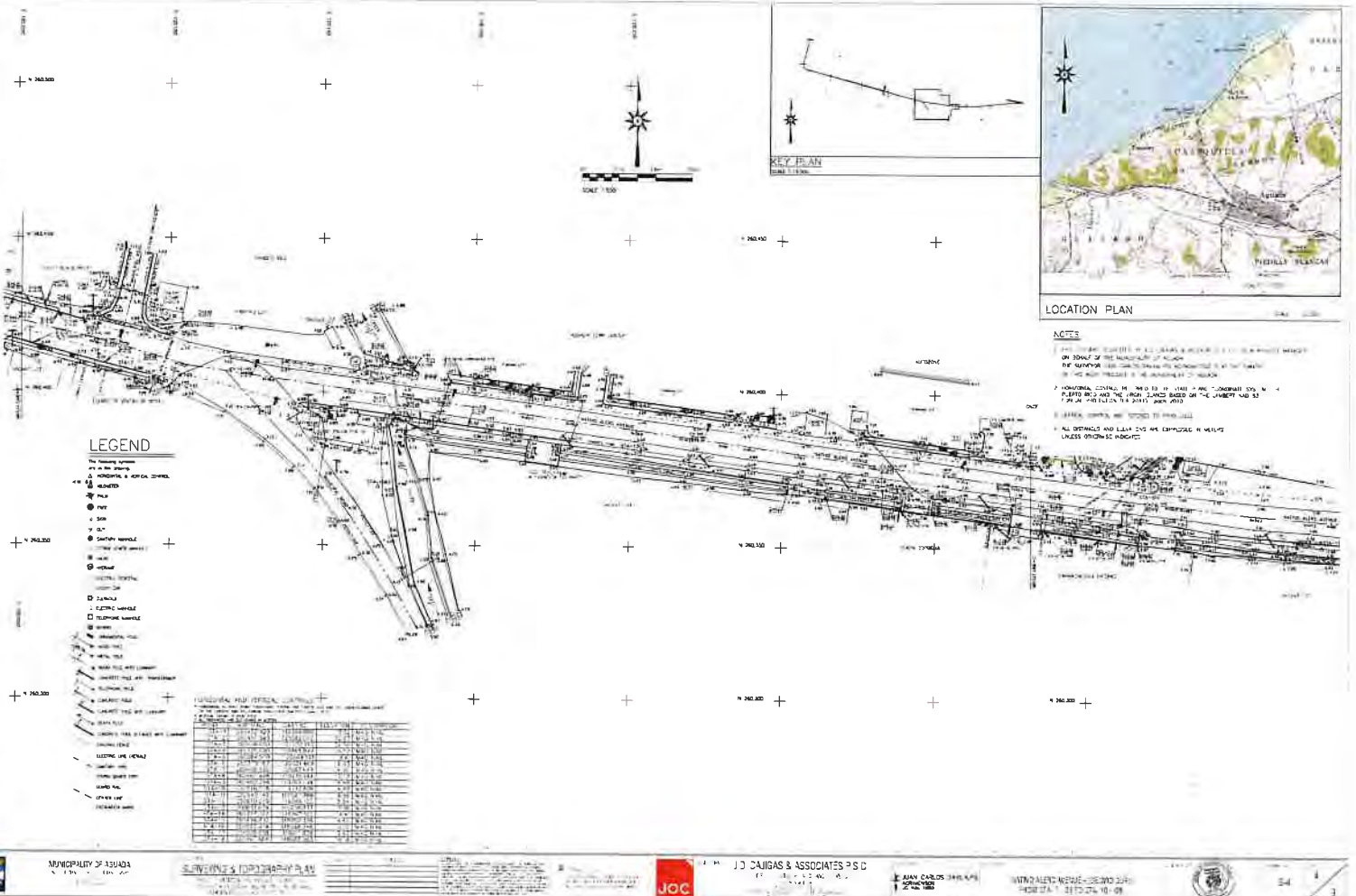
**NOTES**

1. THIS PLAN WAS PREPARED BY J.D. CAMBAS & ASSOCIATES P.S.C. FOR THE PROJECT...
2. THE INFORMATION CONTAINED HEREIN IS BASED ON THE DATA SUPPLIED BY THE CLIENT...
3. THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS OF THE SITE...
4. THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS OF THE SITE...
5. THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS OF THE SITE...



PROPOSED AND EXISTING CONDITIONS

STATION	DATE	BY	CHKD	REV	DESCRIPTION
0+00	01/15/05	JDC	JKS	1	INITIAL
0+10	01/15/05	JDC	JKS	1	INITIAL
0+20	01/15/05	JDC	JKS	1	INITIAL
0+30	01/15/05	JDC	JKS	1	INITIAL
0+40	01/15/05	JDC	JKS	1	INITIAL
0+50	01/15/05	JDC	JKS	1	INITIAL
0+60	01/15/05	JDC	JKS	1	INITIAL
0+70	01/15/05	JDC	JKS	1	INITIAL
0+80	01/15/05	JDC	JKS	1	INITIAL
0+90	01/15/05	JDC	JKS	1	INITIAL
1+00	01/15/05	JDC	JKS	1	INITIAL



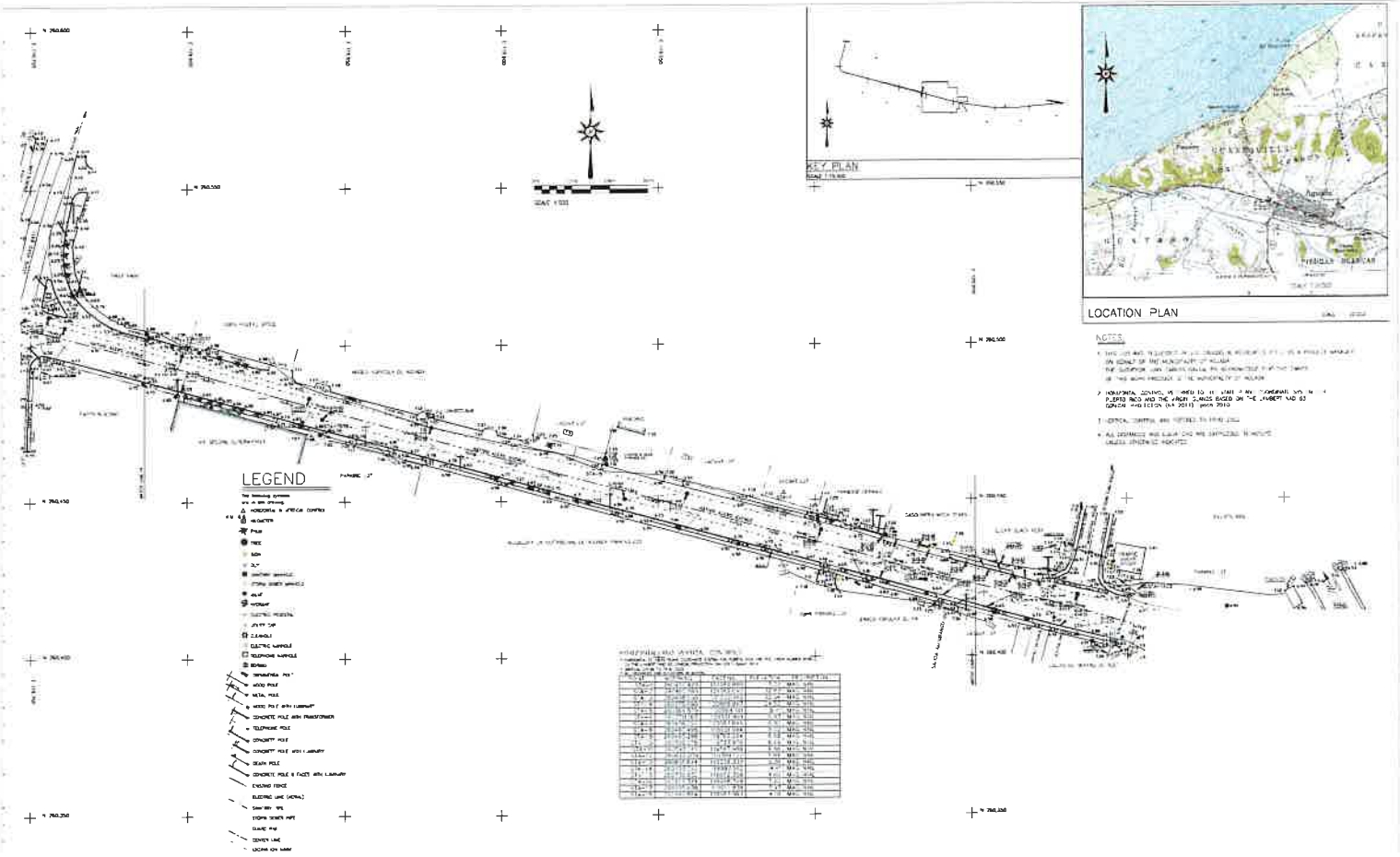
**NOTES**

- 1. ALL DISTANCES AND LEVELS ARE EMPHASIS IN METERS UNLESS OTHERWISE INDICATED.
- 2. DIMENSIONS AND LEVELS ARE EMPHASIS IN METERS UNLESS OTHERWISE INDICATED.
- 3. ALL DISTANCES AND LEVELS ARE EMPHASIS IN METERS UNLESS OTHERWISE INDICATED.

**LEGEND**

- WASTEWATER TREATMENT TANKS
- ELECTRIC CONDUITS
- SEWER MAINS
- SAND TRAP
- ...

NO.	DESCRIPTION	DATE
1	...	...
2	...	...
3	...	...



LOCATION PLAN

**NOTES**

1. THIS PLAN AND FIGURES ARE TO BE USED AS A GUIDE ONLY AND NOT A SUBSTITUTE FOR THE SERVICES OF THE MUNICIPALITY OF MALAGA.
2. THE SURVEYING DATA SHOWN ON THIS PLAN IS THE PROPERTY OF MALAGA.
3. THE MUNICIPALITY OF MALAGA IS NOT RESPONSIBLE FOR THE ACCURACY OF THE DATA SHOWN ON THIS PLAN.
4. ALL DIMENSIONS ARE GIVEN IN METERS UNLESS OTHERWISE SPECIFIED.
5. ALL DIMENSIONS ARE GIVEN ON THE ORIGINAL DRAWING UNLESS OTHERWISE SPECIFIED.

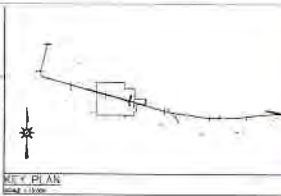
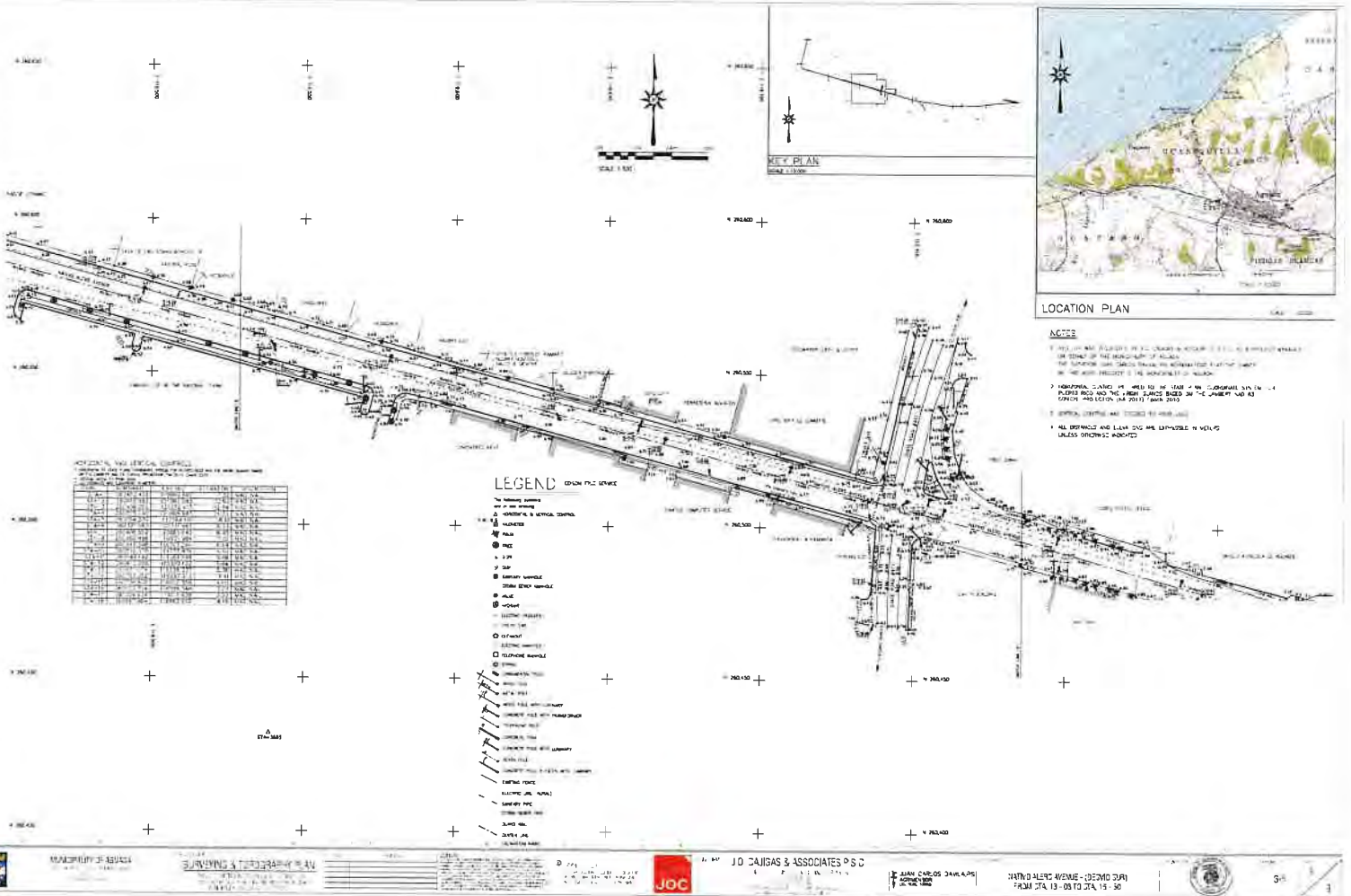
**LEGEND**

- BOUNDARY LINE
- PROPERTY LINE
- FENCE
- TREE
- WOOD
- WATER
- SEWER
- GAS
- ELECTRIC
- TELEPHONE
- CABLE
- ROAD
- DRIVEWAY
- DRIVEWAY WITH LANDSCAPE
- DRIVEWAY WITH LANDSCAPE AND FENCE
- DRIVEWAY WITH LANDSCAPE AND FENCE WITH LANDSCAPE
- DRIVEWAY WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE
- DRIVEWAY WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE
- DRIVEWAY WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE
- DRIVEWAY WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE
- DRIVEWAY WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE
- DRIVEWAY WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE
- DRIVEWAY WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE

**PROPOSED AND EXISTING UTILITIES**

UTILITY TYPE	LOCATION	STATUS
WATER	...	EXISTING
SEWER	...	EXISTING
GAS	...	EXISTING
ELECTRIC	...	EXISTING
TELEPHONE	...	EXISTING
CABLE	...	EXISTING
ROAD	...	EXISTING
DRIVEWAY	...	EXISTING
DRIVEWAY WITH LANDSCAPE	...	EXISTING
DRIVEWAY WITH LANDSCAPE AND FENCE	...	EXISTING
DRIVEWAY WITH LANDSCAPE AND FENCE WITH LANDSCAPE	...	EXISTING
DRIVEWAY WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE	...	EXISTING
DRIVEWAY WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE	...	EXISTING
DRIVEWAY WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE	...	EXISTING
DRIVEWAY WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE AND FENCE WITH LANDSCAPE	...	EXISTING





LOCATION PLAN

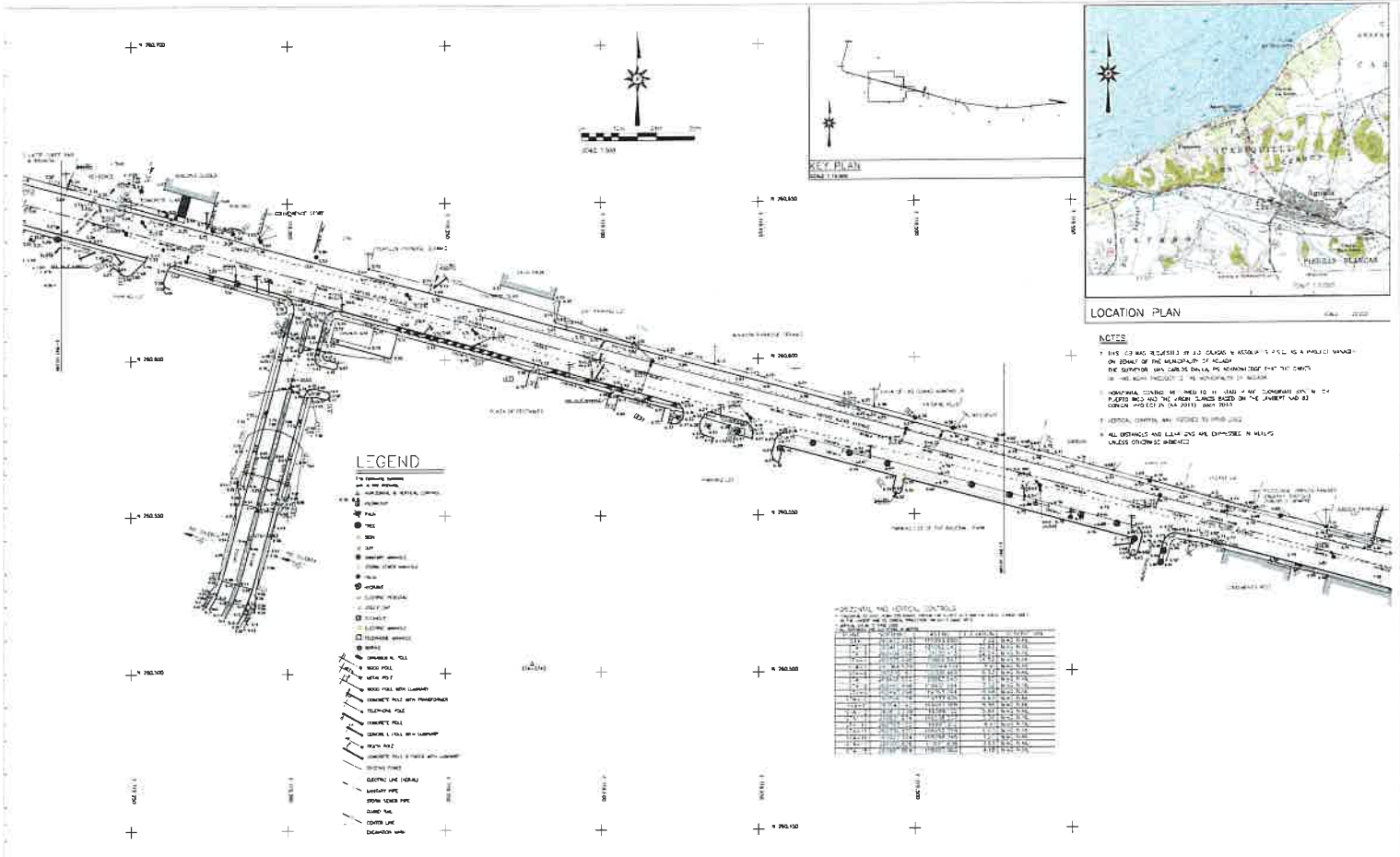
- NOTES**
1. THIS DRAWING IS A PART OF THE PROJECT DOCUMENTS AND SHALL BE KEPT IN THE OFFICE OF THE ENGINEER IN CHARGE OF THE PROJECT FOR THE TERM OF THE PROJECT. THE DRAWING SHALL REMAIN THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER.
  2. DIMENSIONS, UNLESS OTHERWISE SPECIFIED, SHALL BE IN METERS.
  3. ALL DIMENSIONS AND ELEVATIONS SHALL BE IN METERS UNLESS OTHERWISE SPECIFIED.

**VERTICAL ALIGNMENT DATA**

STATION	ELEVATION (M)	VERTICAL CURVE DATA
1+00	150.00	150.00
1+100	151.00	151.00
1+200	152.00	152.00
1+300	153.00	153.00
1+400	154.00	154.00
1+500	155.00	155.00
1+600	156.00	156.00
1+700	157.00	157.00
1+800	158.00	158.00
1+900	159.00	159.00
2+000	160.00	160.00

**LEGEND**

- 1. CENTERLINE
- 2. RIGHT-OF-WAY BOUNDARY
- 3. GRADE
- 4. CUT
- 5. FILL
- 6. BRIDGE
- 7. TUNNEL
- 8. POWERLINE
- 9. TELEPHONE LINE
- 10. RAILROAD TRACK
- 11. ROAD
- 12. CANAL
- 13. STREAM
- 14. FENCE
- 15. POLE
- 16. SIGN
- 17. TREE
- 18. BUSH
- 19. BUILDING
- 20. WALL
- 21. DITCH
- 22. GULLY
- 23. DRAINAGE CANAL
- 24. ELEVATION
- 25. SPOT ELEVATION
- 26. BENCH MARK
- 27. CONTROL POINT
- 28. TRANSIT STATION
- 29. PLUMB LINE
- 30. LEVELING ROD
- 31. THEODOLITE
- 32. TRIANGULATION STATION
- 33. PHOTO POINT
- 34. WINDY POINT
- 35. WATER POINT
- 36. TOWER POINT
- 37. LIGHT POINT
- 38. SOUND POINT
- 39. MAGNETIC POINT
- 40. GRAVITY POINT
- 41. DISTANCE POINT
- 42. BEARING POINT
- 43. ANGLE POINT
- 44. PLANE POINT
- 45. CURVE POINT
- 46. SIGHT POINT
- 47. REFERENCE POINT
- 48. CHECK POINT
- 49. ADJUSTED POINT
- 50. UNADJUSTED POINT



LOCATION PLAN

**NOTES**

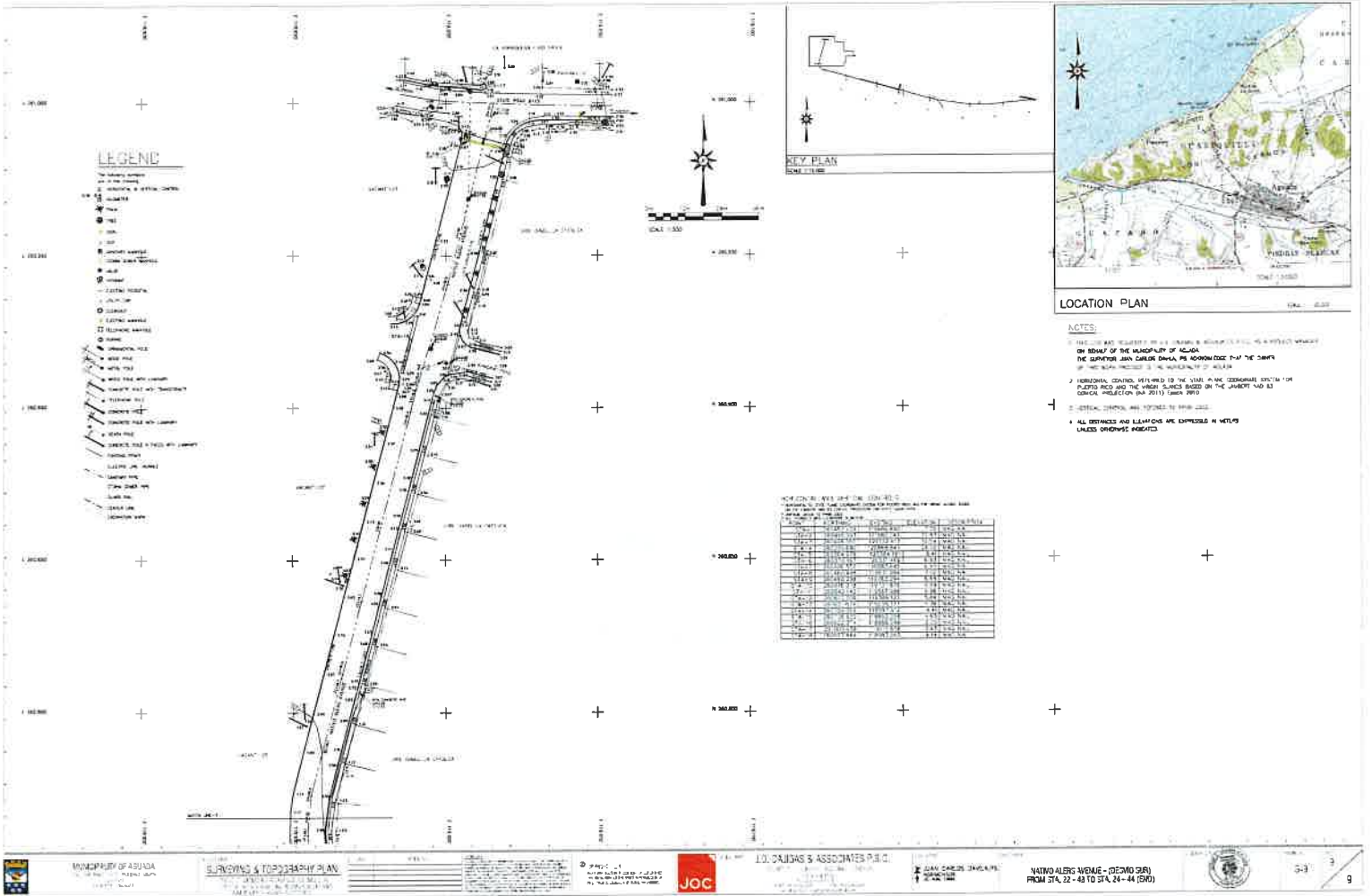
- THIS CD WAS PREPARED BY JO CALVO & ASSOCIATES P.S.C. AS A PROFESSIONAL SERVICE FOR THE MUNICIPALITY OF ASUAGA. THE MUNICIPALITY OF ASUAGA IS NOT RESPONSIBLE FOR THE CONTENTS OF THIS CD.
- HORIZONTAL CONTROL POINTS TO BE USED IN THE DESIGN OF THE PROJECT SHALL BE THE POINTS SHOWN ON THE CD. POINTS NOT SHOWN ON THE CD SHALL BE USED AT THE RISK OF THE USER.
- ALL DIMENSIONS AND LEVELS ARE IN METERS UNLESS OTHERWISE SPECIFIED.

**LEGEND**

- 1.00 CONCRETE
- 2.00 CONCRETE WITH REINFORCEMENT
- 3.00 CONCRETE WITH REINFORCEMENT AND CURB
- 4.00 CONCRETE WITH REINFORCEMENT AND CURB AND SIDEWALK
- 5.00 CONCRETE WITH REINFORCEMENT AND CURB AND SIDEWALK AND DRIVEWAY
- 6.00 CONCRETE WITH REINFORCEMENT AND CURB AND SIDEWALK AND DRIVEWAY AND LANDSCAPE
- 7.00 CONCRETE WITH REINFORCEMENT AND CURB AND SIDEWALK AND DRIVEWAY AND LANDSCAPE AND LIGHTING
- 8.00 CONCRETE WITH REINFORCEMENT AND CURB AND SIDEWALK AND DRIVEWAY AND LANDSCAPE AND LIGHTING AND FENCE
- 9.00 CONCRETE WITH REINFORCEMENT AND CURB AND SIDEWALK AND DRIVEWAY AND LANDSCAPE AND LIGHTING AND FENCE AND SIGNAGE
- 10.00 CONCRETE WITH REINFORCEMENT AND CURB AND SIDEWALK AND DRIVEWAY AND LANDSCAPE AND LIGHTING AND FENCE AND SIGNAGE AND PAINT
- 11.00 CONCRETE WITH REINFORCEMENT AND CURB AND SIDEWALK AND DRIVEWAY AND LANDSCAPE AND LIGHTING AND FENCE AND SIGNAGE AND PAINT AND LANDSCAPE
- 12.00 CONCRETE WITH REINFORCEMENT AND CURB AND SIDEWALK AND DRIVEWAY AND LANDSCAPE AND LIGHTING AND FENCE AND SIGNAGE AND PAINT AND LANDSCAPE AND TREES
- 13.00 CONCRETE WITH REINFORCEMENT AND CURB AND SIDEWALK AND DRIVEWAY AND LANDSCAPE AND LIGHTING AND FENCE AND SIGNAGE AND PAINT AND LANDSCAPE AND TREES AND LIGHTING
- 14.00 CONCRETE WITH REINFORCEMENT AND CURB AND SIDEWALK AND DRIVEWAY AND LANDSCAPE AND LIGHTING AND FENCE AND SIGNAGE AND PAINT AND LANDSCAPE AND TREES AND LIGHTING AND FENCE
- 15.00 CONCRETE WITH REINFORCEMENT AND CURB AND SIDEWALK AND DRIVEWAY AND LANDSCAPE AND LIGHTING AND FENCE AND SIGNAGE AND PAINT AND LANDSCAPE AND TREES AND LIGHTING AND FENCE AND SIGNAGE
- 16.00 CONCRETE WITH REINFORCEMENT AND CURB AND SIDEWALK AND DRIVEWAY AND LANDSCAPE AND LIGHTING AND FENCE AND SIGNAGE AND PAINT AND LANDSCAPE AND TREES AND LIGHTING AND FENCE AND SIGNAGE AND LANDSCAPE
- 17.00 CONCRETE WITH REINFORCEMENT AND CURB AND SIDEWALK AND DRIVEWAY AND LANDSCAPE AND LIGHTING AND FENCE AND SIGNAGE AND PAINT AND LANDSCAPE AND TREES AND LIGHTING AND FENCE AND SIGNAGE AND LANDSCAPE AND TREES
- 18.00 CONCRETE WITH REINFORCEMENT AND CURB AND SIDEWALK AND DRIVEWAY AND LANDSCAPE AND LIGHTING AND FENCE AND SIGNAGE AND PAINT AND LANDSCAPE AND TREES AND LIGHTING AND FENCE AND SIGNAGE AND LANDSCAPE AND TREES AND LIGHTING
- 19.00 CONCRETE WITH REINFORCEMENT AND CURB AND SIDEWALK AND DRIVEWAY AND LANDSCAPE AND LIGHTING AND FENCE AND SIGNAGE AND PAINT AND LANDSCAPE AND TREES AND LIGHTING AND FENCE AND SIGNAGE AND LANDSCAPE AND TREES AND LIGHTING AND FENCE AND SIGNAGE AND LANDSCAPE
- 20.00 CONCRETE WITH REINFORCEMENT AND CURB AND SIDEWALK AND DRIVEWAY AND LANDSCAPE AND LIGHTING AND FENCE AND SIGNAGE AND PAINT AND LANDSCAPE AND TREES AND LIGHTING AND FENCE AND SIGNAGE AND LANDSCAPE AND TREES AND LIGHTING AND FENCE AND SIGNAGE AND LANDSCAPE AND TREES

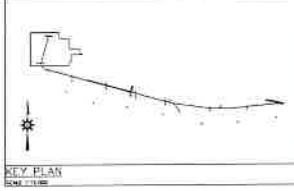
POINT NO.	Easting	Northing	Height	Notes
1	1000.00	780.00	100.00	Control Point
2	1005.00	785.00	105.00	Control Point
3	1010.00	790.00	110.00	Control Point
4	1000.00	795.00	115.00	Control Point
5	1005.00	800.00	120.00	Control Point
6	1010.00	805.00	125.00	Control Point
7	1000.00	810.00	130.00	Control Point
8	1005.00	815.00	135.00	Control Point
9	1010.00	820.00	140.00	Control Point
10	1000.00	825.00	145.00	Control Point
11	1005.00	830.00	150.00	Control Point
12	1010.00	835.00	155.00	Control Point
13	1000.00	840.00	160.00	Control Point
14	1005.00	845.00	165.00	Control Point
15	1010.00	850.00	170.00	Control Point
16	1000.00	855.00	175.00	Control Point
17	1005.00	860.00	180.00	Control Point
18	1010.00	865.00	185.00	Control Point
19	1000.00	870.00	190.00	Control Point
20	1005.00	875.00	195.00	Control Point





**LEGEND**

- PROPOSED ROADS
- EXISTING ROADS
- PROPOSED SIDEWALKS
- EXISTING SIDEWALKS
- PROPOSED DRAINAGE
- EXISTING DRAINAGE
- PROPOSED UTILITY LINES
- EXISTING UTILITY LINES
- PROPOSED FENCE
- EXISTING FENCE
- PROPOSED CURB
- EXISTING CURB
- PROPOSED MANHOLE
- EXISTING MANHOLE
- PROPOSED LIGHT POLE
- EXISTING LIGHT POLE
- PROPOSED SIGN
- EXISTING SIGN
- PROPOSED TREE
- EXISTING TREE
- PROPOSED LANDSCAPE
- EXISTING LANDSCAPE
- PROPOSED FURNITURE
- EXISTING FURNITURE
- PROPOSED PARKING
- EXISTING PARKING
- PROPOSED BIKEWAY
- EXISTING BIKEWAY
- PROPOSED TRAIL
- EXISTING TRAIL
- PROPOSED BOARDWALK
- EXISTING BOARDWALK
- PROPOSED PLAYGROUND
- EXISTING PLAYGROUND
- PROPOSED SPORTS FIELD
- EXISTING SPORTS FIELD
- PROPOSED TENNIS COURT
- EXISTING TENNIS COURT
- PROPOSED GOLF COURSE
- EXISTING GOLF COURSE
- PROPOSED RAMP
- EXISTING RAMP
- PROPOSED BRIDGE
- EXISTING BRIDGE
- PROPOSED TUNNEL
- EXISTING TUNNEL
- PROPOSED VIADUCT
- EXISTING VIADUCT
- PROPOSED UNDERPASS
- EXISTING UNDERPASS
- PROPOSED OVERPASS
- EXISTING OVERPASS
- PROPOSED ELEVATION
- EXISTING ELEVATION
- PROPOSED ELEVATION POINT
- EXISTING ELEVATION POINT
- PROPOSED ELEVATION MARK
- EXISTING ELEVATION MARK
- PROPOSED ELEVATION SYMBOL
- EXISTING ELEVATION SYMBOL
- PROPOSED ELEVATION LINE
- EXISTING ELEVATION LINE
- PROPOSED ELEVATION CURVE
- EXISTING ELEVATION CURVE
- PROPOSED ELEVATION SLOPE
- EXISTING ELEVATION SLOPE
- PROPOSED ELEVATION GRADE
- EXISTING ELEVATION GRADE
- PROPOSED ELEVATION PROFILE
- EXISTING ELEVATION PROFILE
- PROPOSED ELEVATION CROSS SECTION
- EXISTING ELEVATION CROSS SECTION
- PROPOSED ELEVATION PLAN
- EXISTING ELEVATION PLAN
- PROPOSED ELEVATION VIEW
- EXISTING ELEVATION VIEW
- PROPOSED ELEVATION SECTION
- EXISTING ELEVATION SECTION
- PROPOSED ELEVATION DETAIL
- EXISTING ELEVATION DETAIL
- PROPOSED ELEVATION ASSEMBLY
- EXISTING ELEVATION ASSEMBLY
- PROPOSED ELEVATION PART
- EXISTING ELEVATION PART
- PROPOSED ELEVATION SUB
- EXISTING ELEVATION SUB
- PROPOSED ELEVATION SUPER
- EXISTING ELEVATION SUPER
- PROPOSED ELEVATION SHEET
- EXISTING ELEVATION SHEET



**NOTES:**

1. THIS PLAN WAS PREPARED BY THE CONSULTING ENGINEER FOR THE PROJECT UNDER THE SUPERVISION OF THE MUNICIPALITY OF KUALA LUMPUR.
2. HORIZONTAL CONTROL, REFERRED TO THE STATE IN THE COORDINATE SYSTEM FOR MALAYSIA AND THE VERTICAL CONTROL BASED ON THE DATUM 1985 IS USED.
3. ALL DIMENSIONS AND ELEVATIONS ARE EXPRESSED IN METERS UNLESS OTHERWISE SPECIFIED.

TABLE 1: DATA FOR THE PROJECT

STATION	DATE	TIME	TEMPERATURE	WIND DIRECTION	WIND SPEED	RELATIVE HUMIDITY	BAROMETER	REFRACTIVE INDEX	COEFFICIENT OF REFRACTION
100+00	2010	10:00	28.0	SE	15	85	1013.2	1.76	0.000143
100+10	2010	10:05	28.0	SE	15	85	1013.2	1.76	0.000143
100+20	2010	10:10	28.0	SE	15	85	1013.2	1.76	0.000143
100+30	2010	10:15	28.0	SE	15	85	1013.2	1.76	0.000143
100+40	2010	10:20	28.0	SE	15	85	1013.2	1.76	0.000143
100+50	2010	10:25	28.0	SE	15	85	1013.2	1.76	0.000143
100+60	2010	10:30	28.0	SE	15	85	1013.2	1.76	0.000143
100+70	2010	10:35	28.0	SE	15	85	1013.2	1.76	0.000143
100+80	2010	10:40	28.0	SE	15	85	1013.2	1.76	0.000143
100+90	2010	10:45	28.0	SE	15	85	1013.2	1.76	0.000143
100+100	2010	10:50	28.0	SE	15	85	1013.2	1.76	0.000143
100+110	2010	10:55	28.0	SE	15	85	1013.2	1.76	0.000143
100+120	2010	11:00	28.0	SE	15	85	1013.2	1.76	0.000143
100+130	2010	11:05	28.0	SE	15	85	1013.2	1.76	0.000143
100+140	2010	11:10	28.0	SE	15	85	1013.2	1.76	0.000143
100+150	2010	11:15	28.0	SE	15	85	1013.2	1.76	0.000143
100+160	2010	11:20	28.0	SE	15	85	1013.2	1.76	0.000143
100+170	2010	11:25	28.0	SE	15	85	1013.2	1.76	0.000143
100+180	2010	11:30	28.0	SE	15	85	1013.2	1.76	0.000143
100+190	2010	11:35	28.0	SE	15	85	1013.2	1.76	0.000143
100+200	2010	11:40	28.0	SE	15	85	1013.2	1.76	0.000143
100+210	2010	11:45	28.0	SE	15	85	1013.2	1.76	0.000143
100+220	2010	11:50	28.0	SE	15	85	1013.2	1.76	0.000143
100+230	2010	11:55	28.0	SE	15	85	1013.2	1.76	0.000143
100+240	2010	12:00	28.0	SE	15	85	1013.2	1.76	0.000143
100+250	2010	12:05	28.0	SE	15	85	1013.2	1.76	0.000143
100+260	2010	12:10	28.0	SE	15	85	1013.2	1.76	0.000143
100+270	2010	12:15	28.0	SE	15	85	1013.2	1.76	0.000143
100+280	2010	12:20	28.0	SE	15	85	1013.2	1.76	0.000143
100+290	2010	12:25	28.0	SE	15	85	1013.2	1.76	0.000143
100+300	2010	12:30	28.0	SE	15	85	1013.2	1.76	0.000143





# PROPOSED PRELIMINARY PLANS

## PROJECT NATIVO ALERS AVENUE (DESVIO SUR)

LOCATED BETWEEN GUAYABOS AND PIEDRAS BLANCAS WARDS. NATIVO ALERS AVENUE (DESVIO SUR), MUNICIPALITY OF AGUADA, PUERTO RICO

PREPARED FOR:

HON. CHRISTIAN E. CORTES FELICIANO, MAYOR  
MUNICIPALITY OF AGUADA, PUERTO RICO

SUBMITTED BY:

J. CAJIGAS & ASSOCIATES P.S.C.

ENGINEERS, ARCHITECTS, SURVEYORS,  
PLANNERS & REAL ESTATE APPRAISERS

AGUADA, PUERTO RICO



PROYECTO NATIVO ALERS AVENUE (DESVIO SUR)  
MUNICIPALIDAD DE AGUADA, PUERTO RICO  
Escala: 1:500

PROYECTO NATIVO ALERS AVENUE (DESVIO SUR)  
MUNICIPALIDAD DE AGUADA, PUERTO RICO  
Escala: 1:500

### DRAWINGS INDEX

SHEET NO.	DESCRIPTION	DWG. ID
1	TITLE SHEET - DRAWINGS INDEX & LOCATION MAP	S-1
2	MASTER KEY PLAN	S-2
3	PROPOSED PRELIMINARY PLAN (MATCHLINE 1)	S-3
4	PROPOSED PRELIMINARY PLAN (MATCHLINE 1 - MATCHLINE 2)	S-4
5	PROPOSED PRELIMINARY PLAN (MATCHLINE 2 - MATCHLINE 3)	S-5
6	PROPOSED PRELIMINARY PLAN (MATCHLINE 3 - MATCHLINE 4)	S-6
7	PROPOSED PRELIMINARY PLAN (MATCHLINE 4 - MATCHLINE 5)	S-7
8	PROPOSED PRELIMINARY PLAN (MATCHLINE 5 - MATCHLINE 6)	S-8
9	PROPOSED PRELIMINARY PLAN (MATCHLINE 6 - MATCHLINE 7)	S-9
10	PROPOSED PRELIMINARY PLAN (MATCHLINE 7 - MATCHLINE 8)	S-10
11	PROPOSED PRELIMINARY PLAN (MATCHLINE 8 - MATCHLINE 9)	S-11
12	PROPOSED PRELIMINARY PLAN (MATCHLINE 9 - MATCHLINE 10)	S-12
13	PROPOSED PRELIMINARY PLAN (MATCHLINE 10 - MATCHLINE 11)	S-13
14	PROPOSED PRELIMINARY PLAN (MATCHLINE 11 - MATCHLINE 12)	S-14
15	PROPOSED PRELIMINARY PLAN (MATCHLINE 12)	S-15



AERIAL MAP



AERIAL PHOTO



TOPOGRAPHIC MAP SCALE: 1:500  
COORDINATES: PROJECT BEGIN: X:121,071.15 Y: 260,403.49 PROJECT END: X:119,314.27 Y: 263,999.55



ZONING MAP SCALE: 1:500  
Sheet No. 001 Effective: AGO. 31, 2011



FLOOD MAP SCALE: 1:2,000  
Map No. 72000C0140J, 72000C0145J  
Effective: APRIL 13, 2015 ZONE: X, AE (FW)



PROJECT SITE



MUNICIPALITY OF AGUADA  
AGUADA, PUERTO RICO

PROPOSED PRELIMINARY PLANS  
PROJECT NATIVO ALERS AVENUE (DESVIO SUR)  
MUNICIPALIDAD DE AGUADA, PUERTO RICO

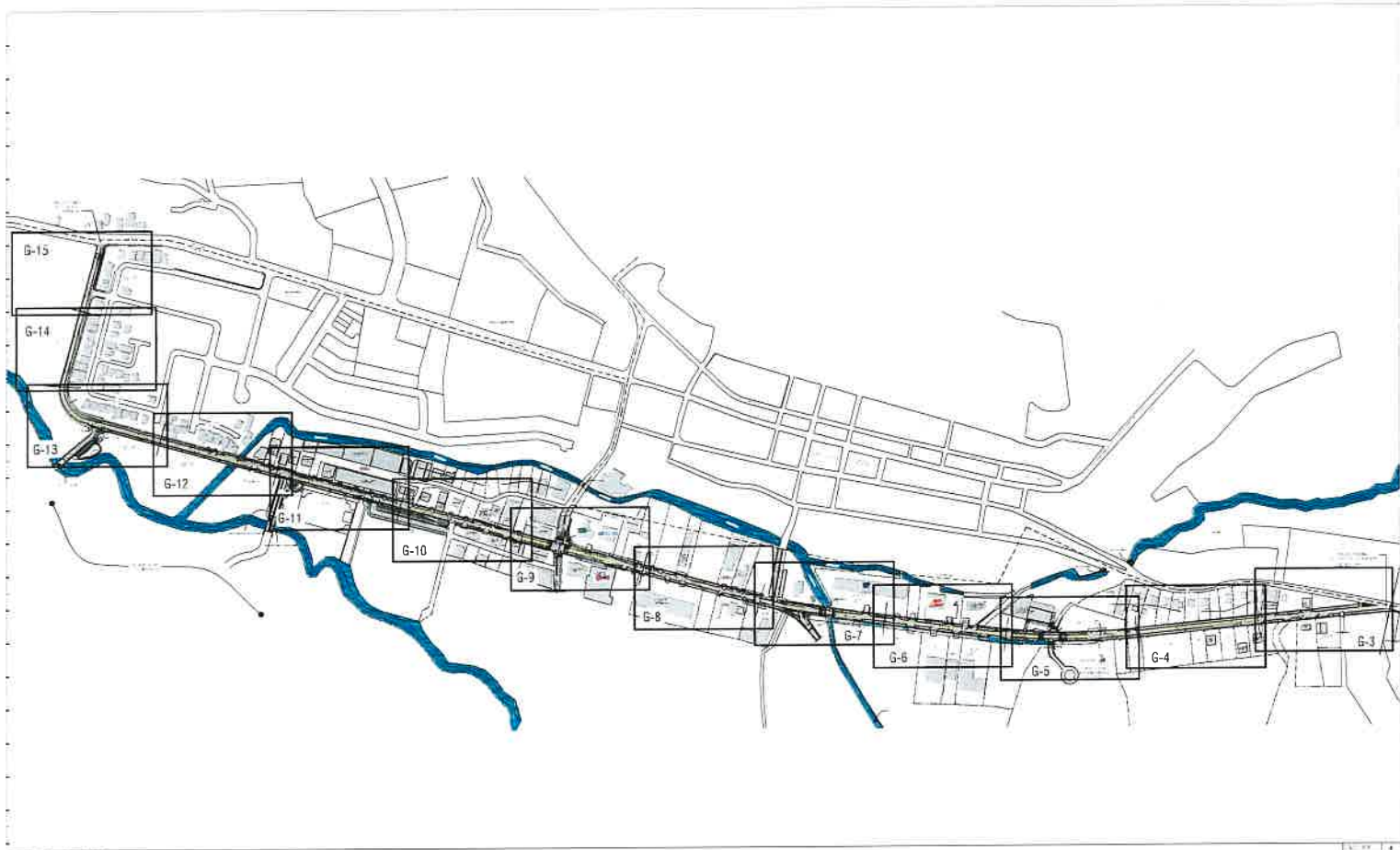
NO.	DESCRIPTION	DATE	BY	CHECKED



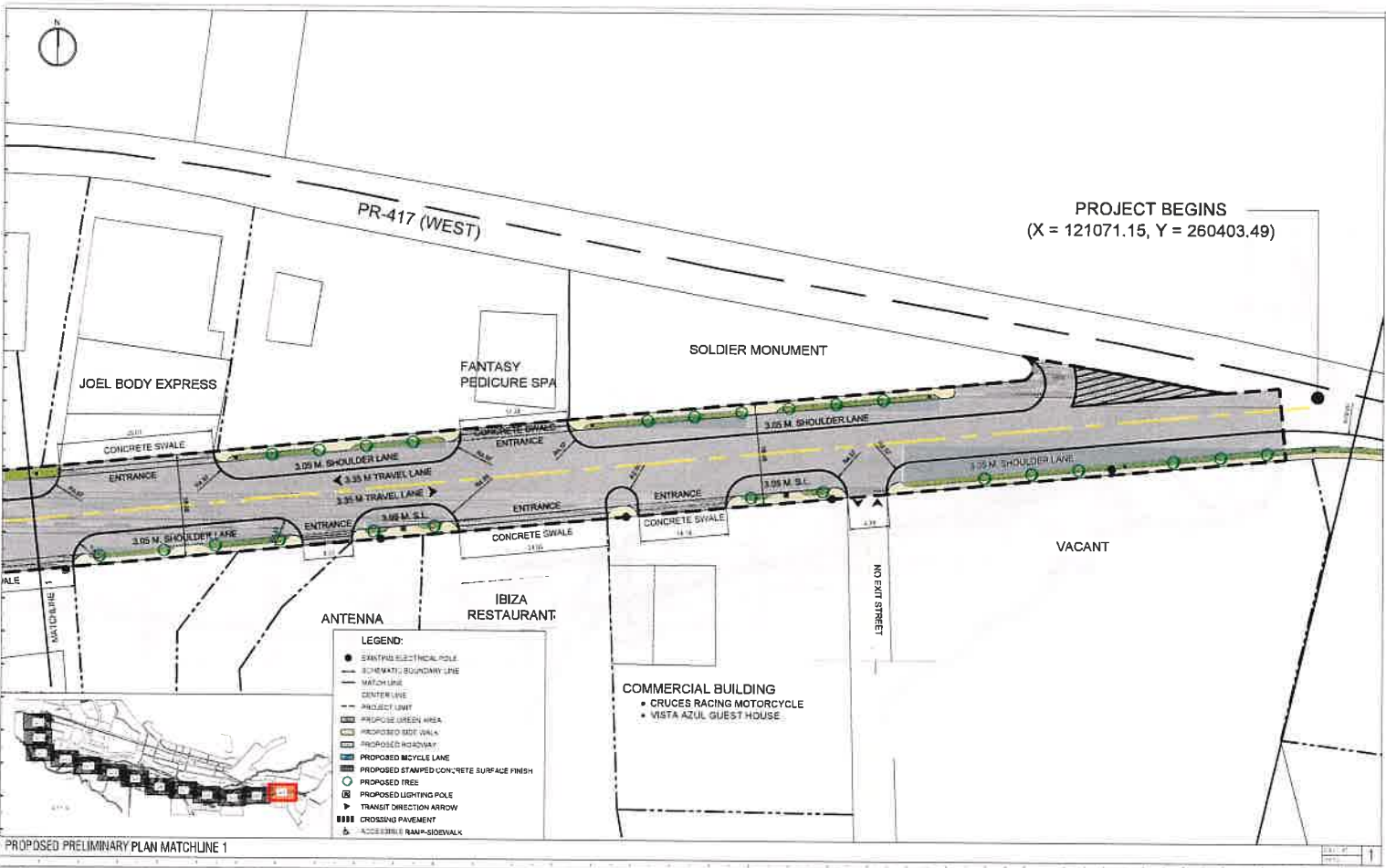
J. CAJIGAS & ASSOCIATES P.S.C.  
AGUADA, PUERTO RICO

TITLE SHEET - DESVIO SUR NATIVO ALERS AVENUE  
LOCATED BETWEEN GUAYABOS AND  
PIEDRAS BLANCAS WARDS AGUADA, PUERTO RICO

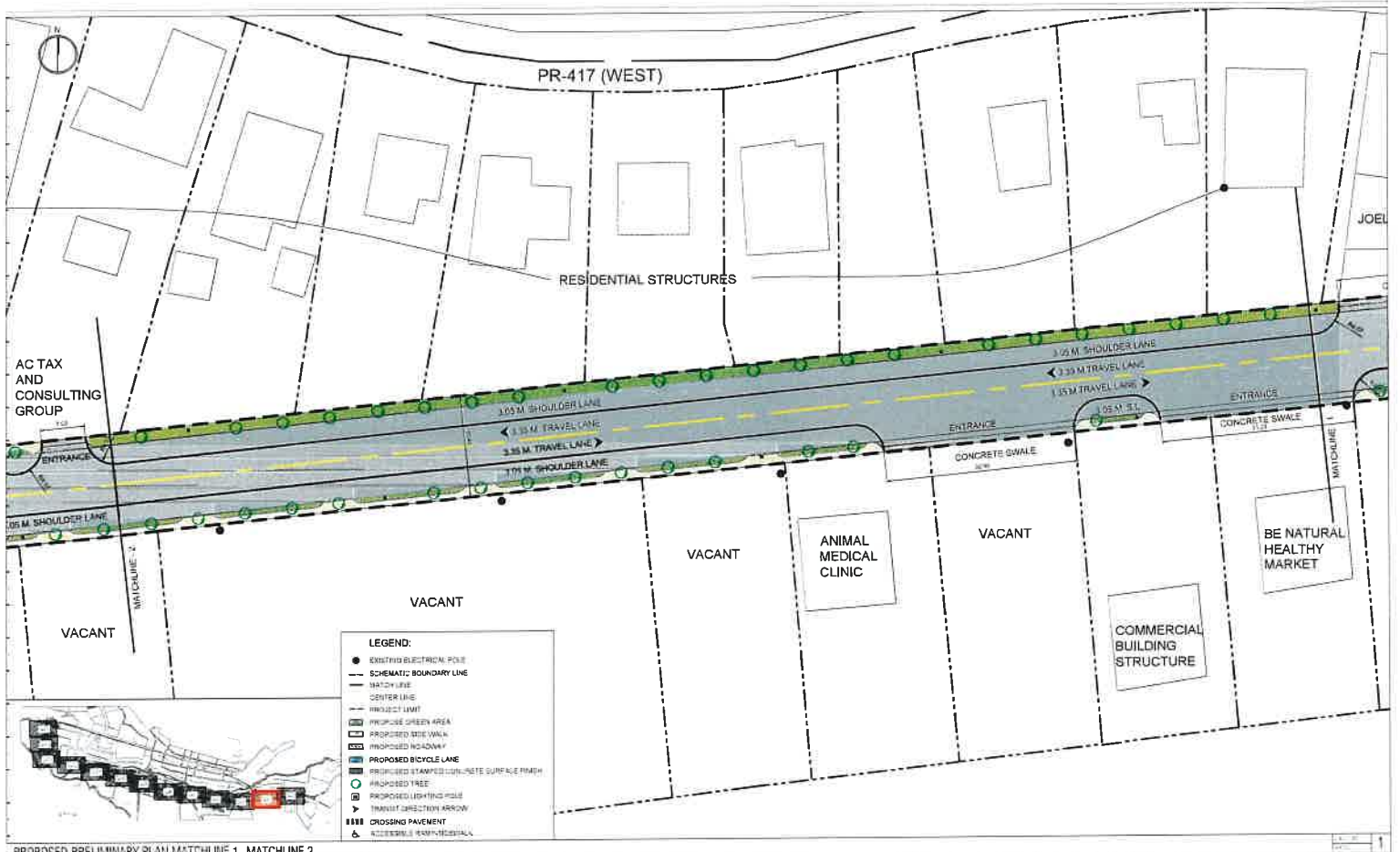




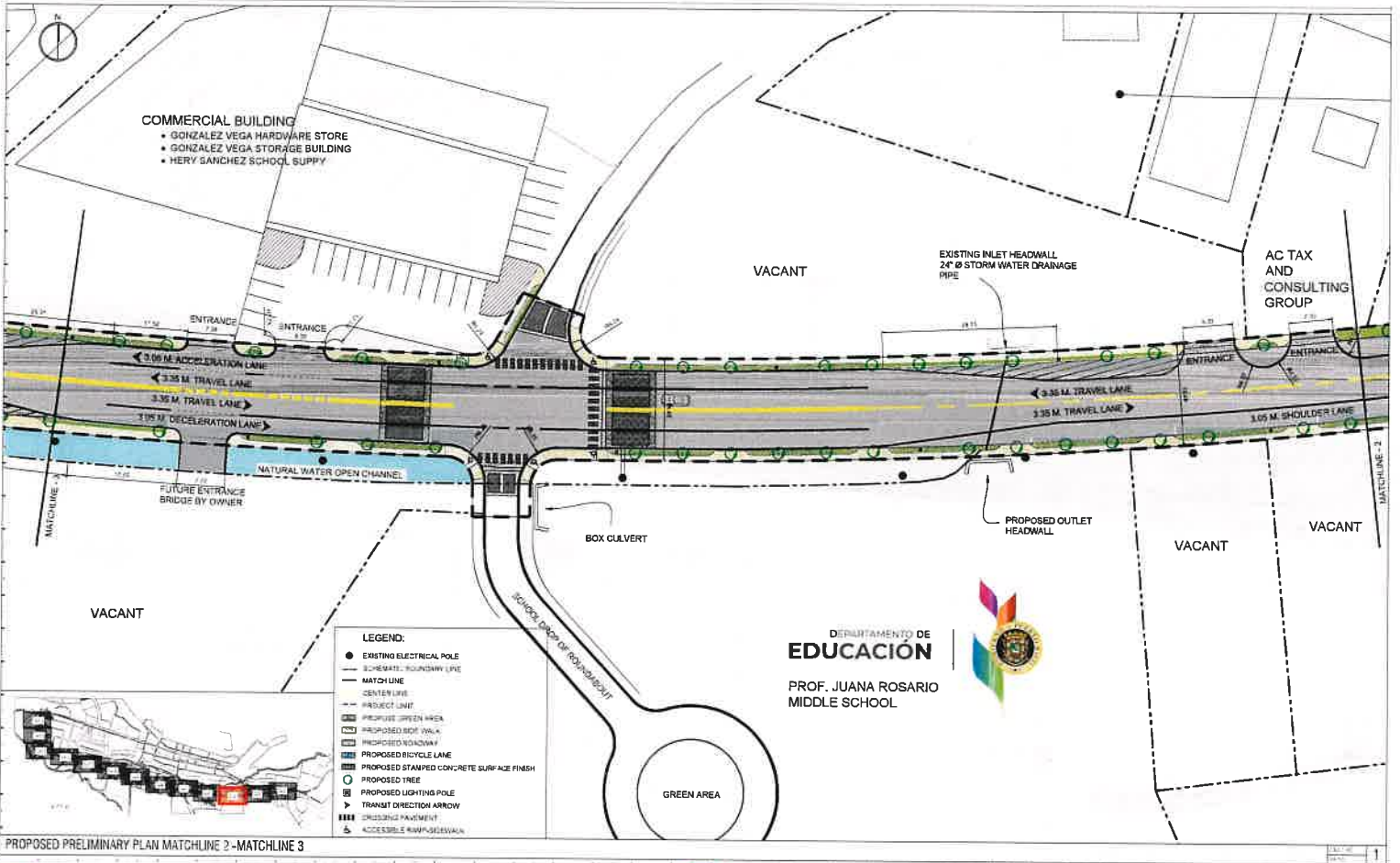
MASTER KEY PLAN



PROPOSED PRELIMINARY PLAN MATCHLINE 1

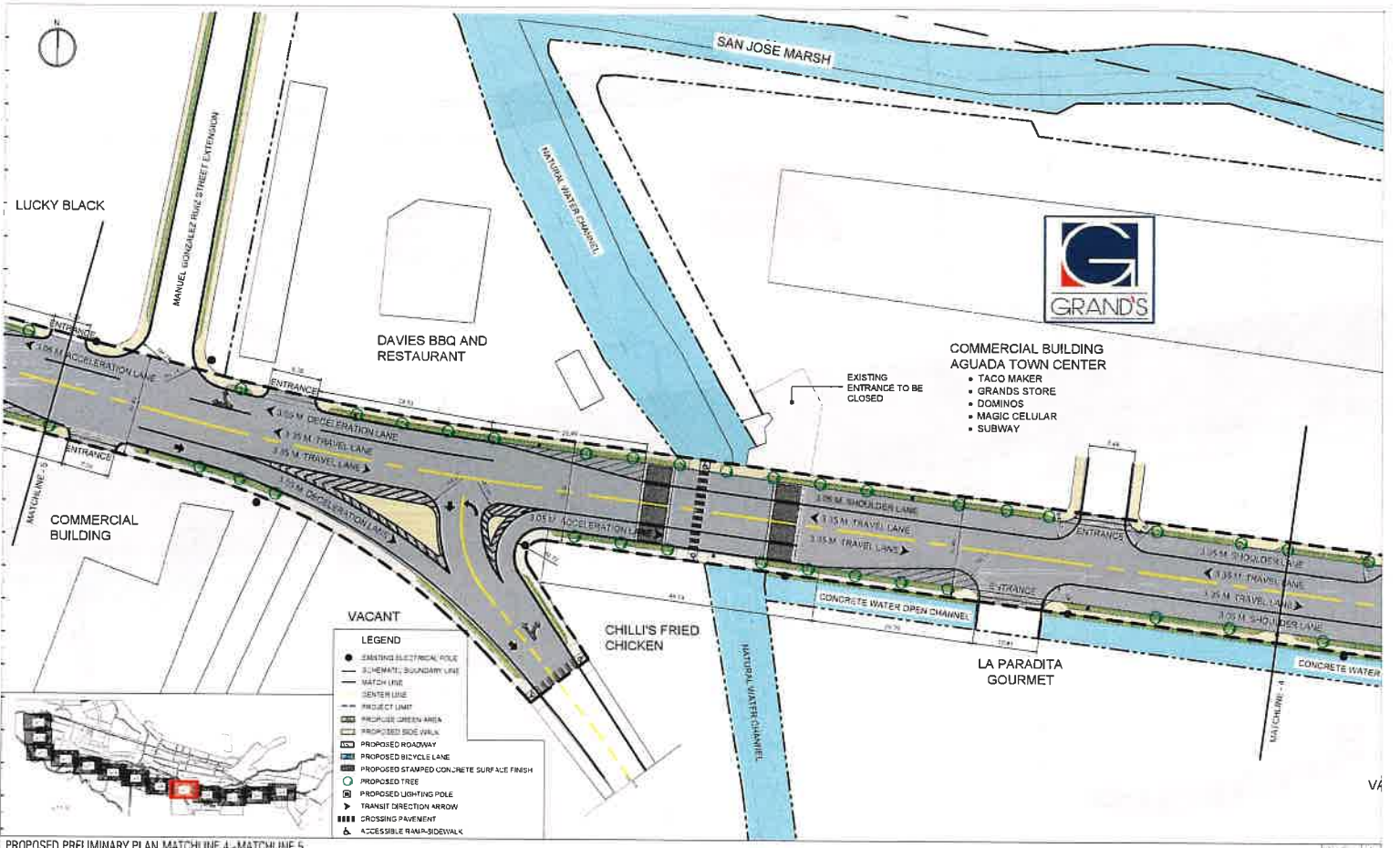








PROPOSED PRELIMINARY PLAN MATCHLINE 3 -MATCHLINE 4



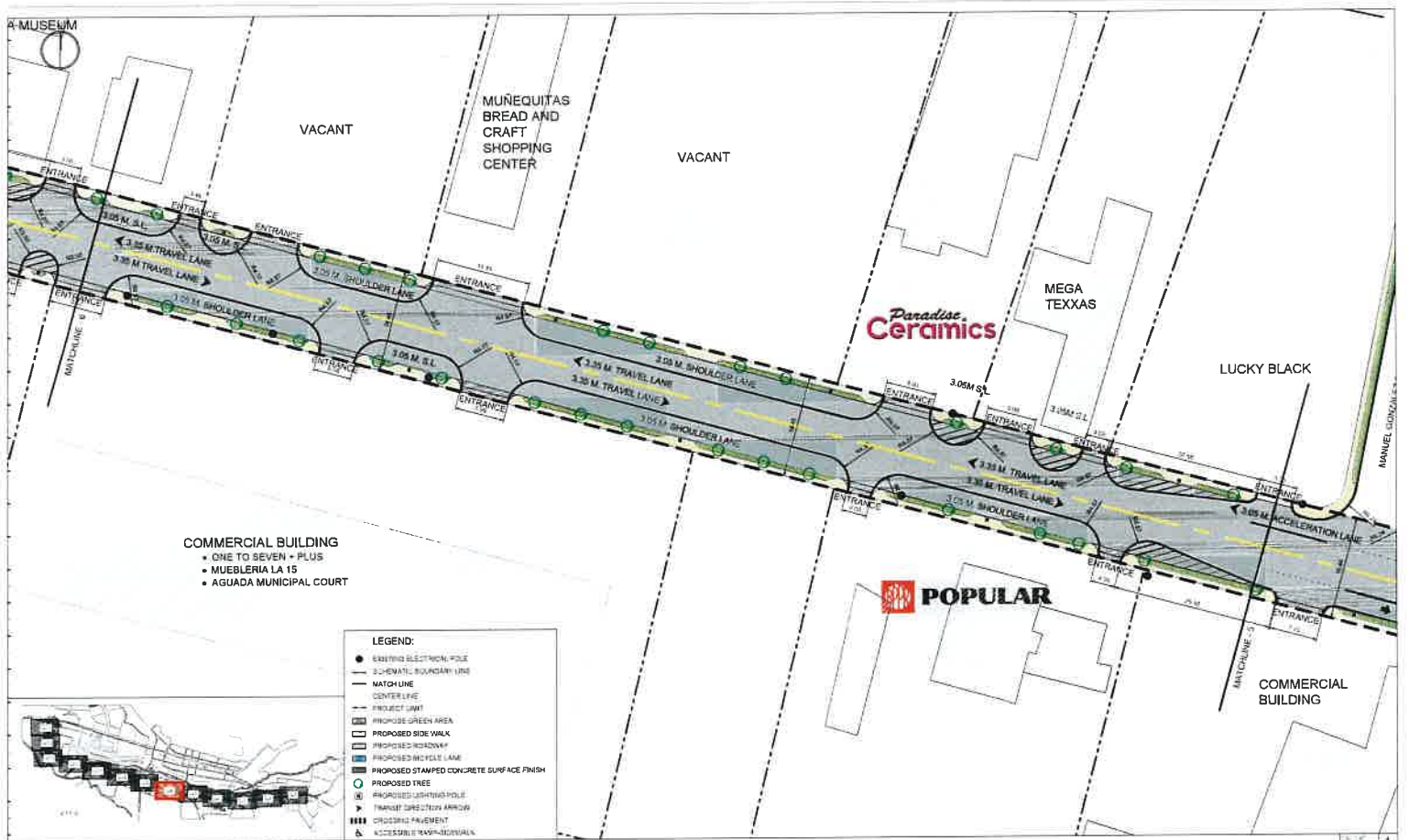
**VACANT**

**LEGEND**

- EXISTING ELECTRICAL POLE
- SCHEMATIC BOUNDARY LINE
- - - MATCH LINE
- CENTER LINE
- - - PROJECT CURB
- ▨ PROPOSED GREEN AREA
- ▨ PROPOSED SIDE WALK
- ▨ PROPOSED ROADWAY
- ▨ PROPOSED BICYCLE LANE
- ▨ PROPOSED STAMPED CONCRETE SURFACE FINISH
- PROPOSED TREE
- PROPOSED LIGHTING POLE
- ➔ TRANSIT DIRECTION ARROW
- ▨ CROSSING PAVEMENT
- ▲ ACCESSIBLE RAMP-SIDEWALK

PROPOSED PRELIMINARY PLAN MATCHLINE 4-MATCHLINE 5





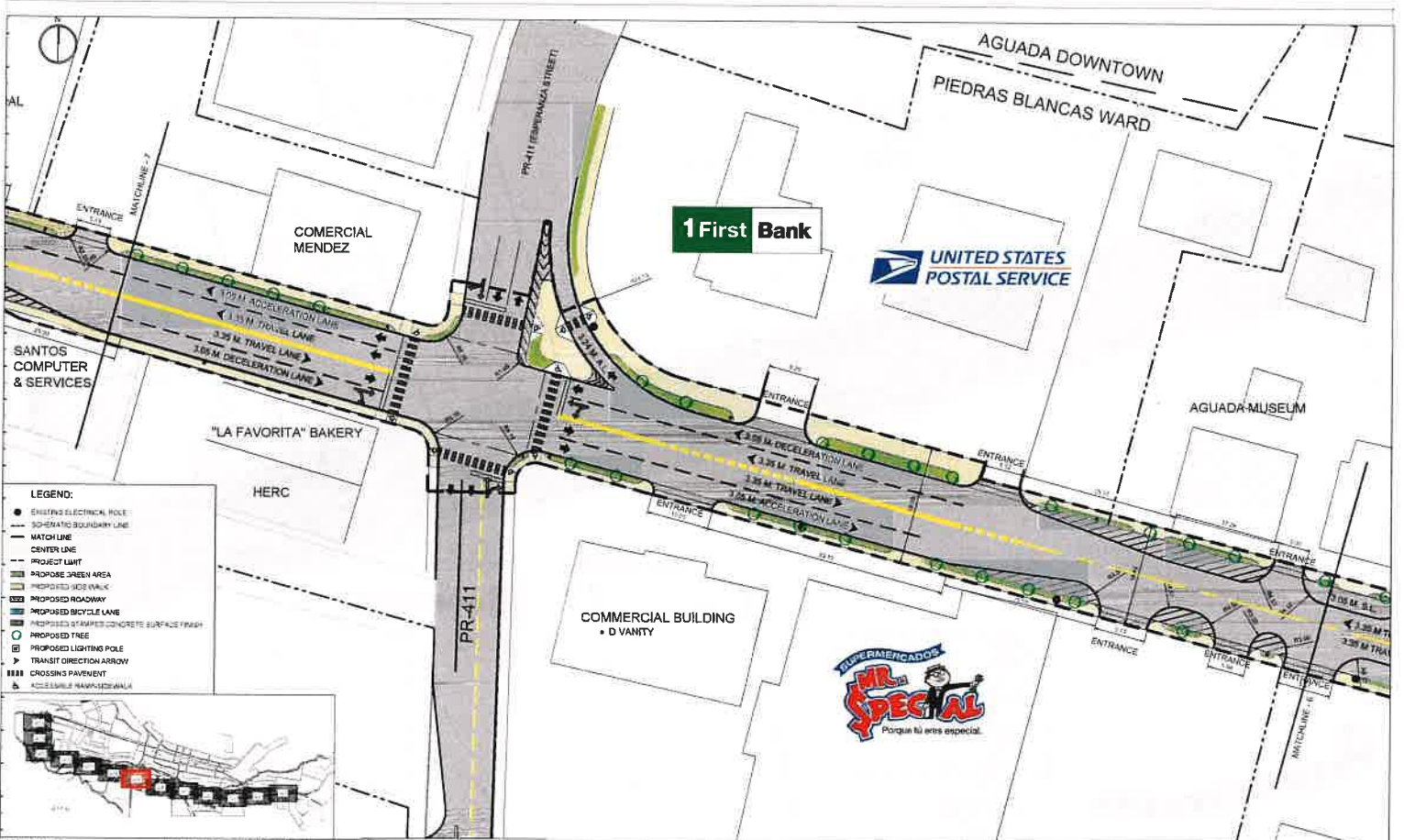
COMMERCIAL BUILDING  
 • ONE TO SEVEN + PLUS  
 • MUEBLERIA LA 15  
 • AGUADA MUNICIPAL COURT

**LEGEND:**

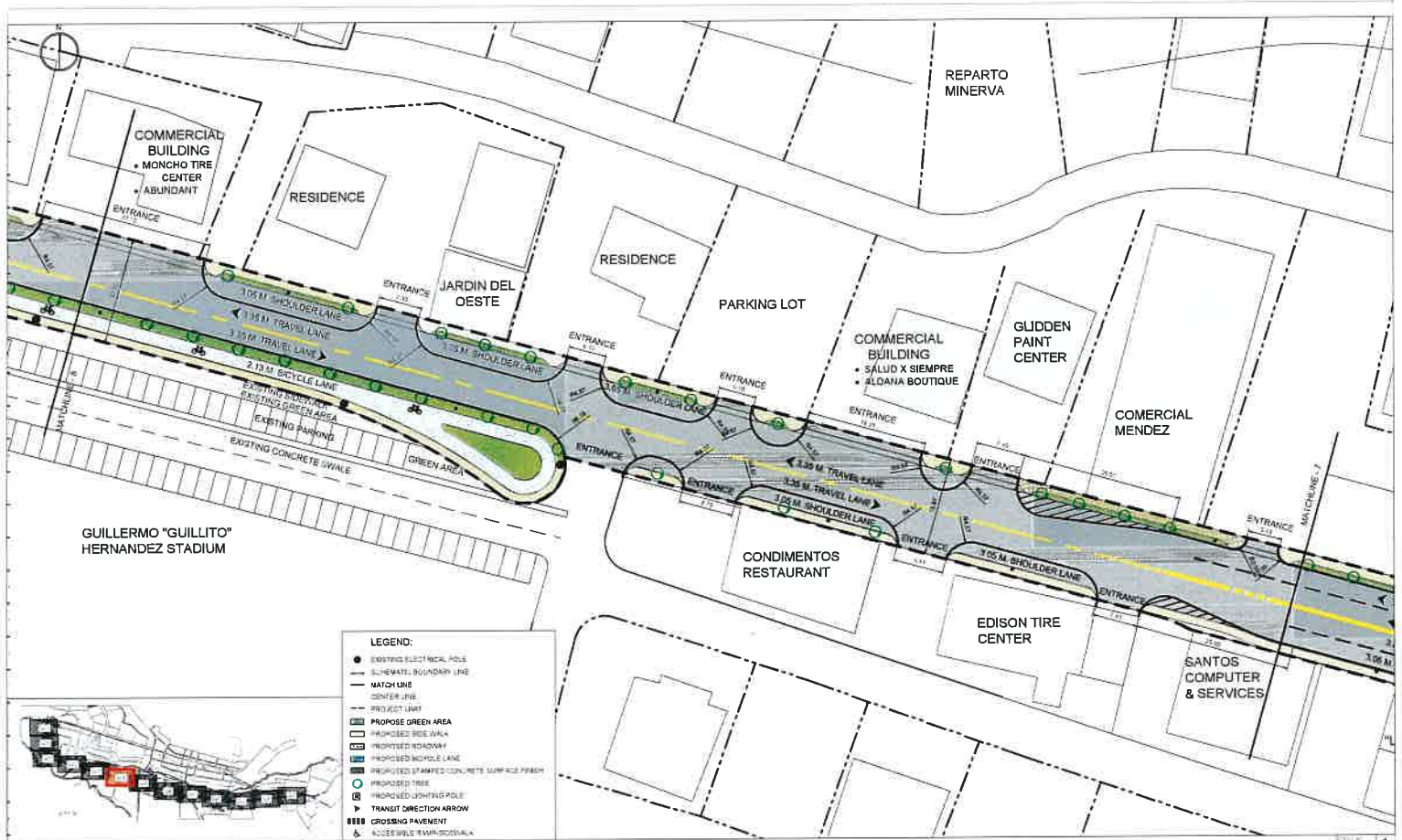
- EXISTING ELECTRICAL POLE
- SCHEMATIC BOUNDARY LINE
- MATCH LINE
- CENTER LINE
- PROJECT LIMIT
- PROPOSED GREEN AREA
- PROPOSED SIDEWALK
- PROPOSED BIKEWAY
- PROPOSED STAMPED CONCRETE SURFACE FINISH
- PROPOSED TREE
- PROPOSED LIGHTING POLE
- TRANSIT STOPPED AREA
- CROSSING PAVEMENT
- △ ACCESSIBLE TRAMP-BODYWALK

PROPOSED PRELIMINARY PLAN MATCHLINE 5 -MATCHLINE 6





PROPOSED PRELIMINARY PLAN MATCHLINE 5 - MATCHLINE 7

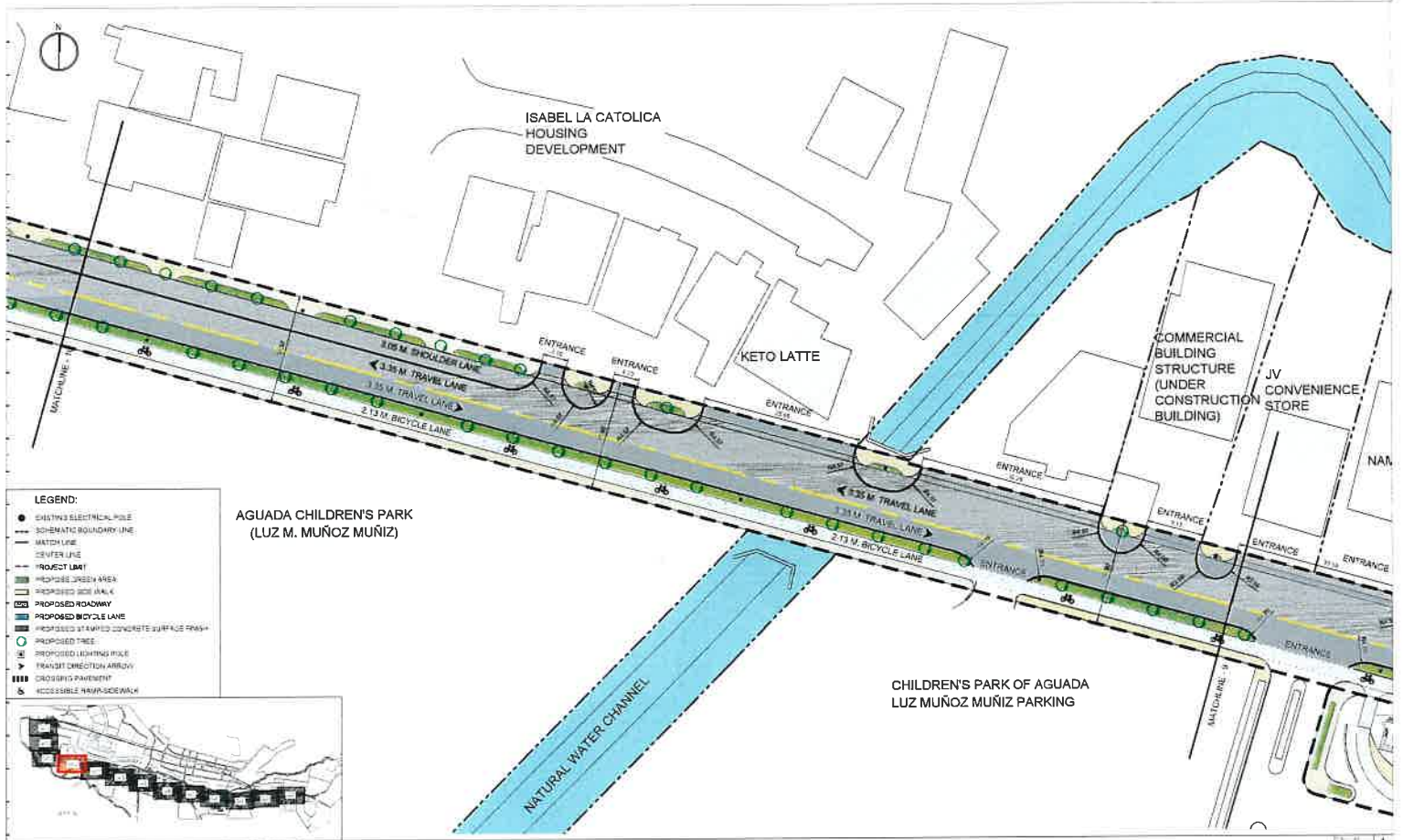


PROPOSED PRELIMINARY PLAN MATCHLINE 7 -MATCHLINE 8



PROPOSED PRELIMINARY PLAN MATCHLINE B - MATCHLINE 9





- LEGEND:**
- SPLITTING ELECTRICAL POLE
  - SCHEMATIC BOUNDARY LINE
  - - - MATCH LINE
  - - - CENTER LINE
  - - - PROJECT LIMIT
  - ▨ PROPOSED GREEN AREA
  - ▨ PROPOSED JOSS (JAL)
  - ▨ PROPOSED ROADWAY
  - ▨ PROPOSED BICYCLE LANE
  - ▨ PROPOSED ASPHALT CONCRETE SURFACE FINISH
  - PROPOSED TREE
  - ▨ PROPOSED LIGHTING POLE
  - ▨ TRAVEL DIRECTION ARROW
  - ▨ CROSSWALK PAVEMENT
  - ▨ ACCESSIBLE PAVEMENT



PROPOSED PRELIMINARY PLAN MATCHLINE 9 -MATCHLINE 10





- LEGEND**
- EXISTING ELECTRICAL POLE
  - SCHEMATIC BOUNDARY LINE
  - - - MATCHLINE
  - - - CENTER LINE
  - - - PROJECT LIMIT
  - ▨ PROPOSED GREEN AREA
  - ▨ PROPOSED SIDE WALK
  - ▨ PROPOSED ROADWAY
  - ▨ PROPOSED BICYCLE LANE
  - ▨ PROPOSED 4' AMPHO CONCRETE SURFACE TRUNK
  - PROPOSED TREE
  - PROPOSED 10'-TRUNK POLE
  - ▶ TRANSIT OBSTRUCTION MARKER
  - ▨ CROSSWALK
  - ♿ ACCESSIBLE RAMP/SIDEWALK



PROPOSED PRELIMINARY PLAN MATCHLINE 10 -MATCHLINE 11



- LEGEND:**
- EXISTING ELECTRICAL POLE
  - - - SCHEMATIC BOUNDARY LINE
  - - - WATCH LINE
  - - - CENTER LINE
  - - - PROJECT LIMIT
  - ▨ PROPOSED GREEN AREA
  - ▨ PROPOSED BIKEWAY
  - ▨ PROPOSED BICYCLE LANE
  - ▨ PROPOSED STAMPED CONCRETE SURFACE FINISH
  - PROPOSED TREE
  - PROPOSED LIGHTING POLE
  - ▤ TRAFFIC DIRECTION ARROWS
  - ▨ UNDESIGNED PAVEMENT
  - ▨ ACCESSIBLE RAMPSIDEWALK



PROPOSED PRELIMINARY PLAN MATCHLINE 11 -MATCHLINE 12



MUNICIPALITY OF ASUAJA

PRELIMINARY PLAN



J.O. CALIGAS & ASSOCIATES P.S.C.

PROPOSED PRELIMINARY PLAN MATCHLINE 11 -MATCHLINE 12



14 15



TO AGUADA COAST/ TO RINCON

TO AGUADA DOWNTOWN

PROJECT ENDS  
(X = 119014.27, Y = 260999.56)

VACANT

ISABEL LA CATOLICA  
HOUSING  
DEVELOPMENT

- LEGEND**
- TRIPPING ELECTRICAL POLE
  - SCHEMATIC BOUNDARY LINE
  - - - MATCH LINE
  - CENTER LINE
  - - - PROJECT LIMIT
  - ▨ PROPOSED GREEN AREA
  - ▤ PROPOSED SIDE WALK
  - ▥ PROPOSED ROADWAY
  - ▧ PROPOSED BIKEWAY
  - ▩ PROPOSED STAMPED CONCRETE SURFACE FINISH
  - PROPOSED TREE
  - PROPOSED LIGHTING POLE
  - ▶ TRAVEL DIRECTION ARROW
  - ▨ CROSSING PAVEMENT
  - ♿ ACCESSIBLE RAMP/SIDEWALK



PROPOSED PRELIMINARY PLAN MATCHLINE 12



October 20, 2022

**Arch. Carlos A. Rubio Cancela**

Executive Director  
State Historic Preservation Officer  
Cuartel de Ballajá Bldg.  
San Juan, Puerto Rico

**Re: Authorization to Submit Documents**

Dear Arch. Rubio Cancela:

The U.S. Department of Housing (HUD) approved the allocations of Community Development Block Grant (CDBG-DR) funds on February 9, 2018. It also approved the allocation of Community Development Block Grant Mitigation (CDBG-MIT) funds on January 27, 2020. The purpose of these allocations is to address unsatisfied needs as a result of Hurricanes Irma and Maria in September 2017; and to carry out strategic and high-impact activities to mitigate disaster risks and reduce future losses.

To comply with the environmental requirements established by HUD, the Department of Housing of Puerto Rico (PRDOH) contracted Horne Federal LLC to provide environmental registry review services, among others, that will support the objectives of the agenda for both CDBG-DR and CDBG -MIT Programs.

In line to expedite the processes, Horne Federal LLC, is authorized to submit to the State Historic Preservation Officer, documentation of projects related to both the CDBG-DR and CDBG-MIT on behalf of PRDOH.

Cordially,

Juan C. Pérez Bofill, P.E. M.Eng  
Director of Disaster Recovery  
CDBG DR-MIT





**Appendix F**  
**PERMITS AND APPROVALS FOR THE PROJECT**



## **PERMISOS RADICADOS Y EXPEDIDOS**

<b>ID</b>	<b>Permiso</b>	<b>Numero de Caso</b>
1	División de Evaluación de Cumplimiento de Ambiental (DECA) <ul style="list-style-type: none"> <li>• Recomendación Ambiental (REA):</li> <li>• Categorización de Habitat</li> <li>• Determinación de Evaluación Ambiental (DEA):</li> </ul>	<ul style="list-style-type: none"> <li>• 2022-459200-REA-010802</li> <li>• O-SE-CC501-PO-00057-24022023</li> <li>• 2022-459200-DEA-011458</li> </ul>
2	<ul style="list-style-type: none"> <li>• Recomendaciones de Autoridad de Acueductos y Alcantarillados (SRI - Preliminar)</li> </ul>	<ul style="list-style-type: none"> <li>• 2022-459200-SRI-060427</li> <li>• AAA-RO-22-02-0018</li> </ul>
3	<ul style="list-style-type: none"> <li>• Recomendaciones de Autoridad de Energía Eléctrica (SRI -Preliminar)</li> </ul>	<ul style="list-style-type: none"> <li>• 2022-459200-SRI-060428</li> <li>• 22-4-0521</li> </ul>
4	<ul style="list-style-type: none"> <li>• Recomendaciones de Junta Reglamentadora de Telecomunicaciones (SRI -Preliminar)</li> </ul>	<ul style="list-style-type: none"> <li>• 2022-459200-SRI-060624</li> <li>• 222-RI-0378</li> </ul>
5	<ul style="list-style-type: none"> <li>• Instituto de Cultura Puertorriqueña (SRA - Preliminar)</li> </ul>	<ul style="list-style-type: none"> <li>• 2022-459200-SRA-060625</li> </ul>
6.	<ul style="list-style-type: none"> <li>• Departamento de Recursos Naturales y Ambientales (SRM - DRNA)</li> </ul>	<ul style="list-style-type: none"> <li>• 2022-459200-SRM-062292</li> </ul>



## Recomendaciones

El Nuevo Desvio Sur

### Datos de Localización

De acuerdo a la información suministrada se propone una actividad: Público con Contratación Privada en:

#### Dirección Física

AVENIDA NATIVO ALERS (DESVIO SUR)  
BO. GUAYABO Y PIEDRAS BLANCAS  
Aguada Puerto Rico, 00602

#### Número(s) de Catastro

720-003-001-15

#### Calificación

Distrito(s) de Calificación: VIAL (94%), C-I (2%), R-G

Distrito en el Mapa de Inundabilidad: X (46.5%), AE (33.3%), A (17.3%), 0.2 PCT (2.5%), AO (0.4%)

Tipo de Suelo: SNS (14.5%), PeD2 (14.0%), SdF2

#### Dueño

MUNICIPIO DE AGUADA

#### Certificado por

Ingeniero : Jorge Cajigas Acevedo, Lic. No. 21253

#### Cabida

Cabida según escritura: 40590 metros cuadrados

### Arqueología y Conservación Histórica

COMENTARIO DACH-ICP A CASO NUM: 2022-459200-SRA-060625 PROYECTO: El Nuevo Desvio Sur BASE LEGAL: Se emite el siguiente comentario en base a la Ley 374 del 14 de marzo de 1949, según enmendada, Ley de Zonas Antiguas o Históricas y Zonas de Interés Turístico, Ley 3 del 2 de marzo de 1951, Ley de Edificios y otras Estructuras Históricas y la Ley 89 del 21 de junio de 1955, según enmendada, conocida como Ley Orgánica del Instituto de Cultura Puertorriqueña y la Ley 161 del 1 de diciembre de 2009, conocida como Ley para la Reforma del Proceso de Permisos de Puerto Rico. Estas leyes le confieren jurisdicción sobre los siguientes asuntos: 1. Edificios, lugares y zonas incluidas en el Registro de Sitios y Zonas Históricas de Puerto Rico de la Junta de Planificación (REGLAMENTO CONJUNTO PARA LA EVALUACIÓN Y EXPEDICIÓN DE PERMISOS RELACIONADOS AL DESARROLLO, USO DE TERRENOS Y OPERACIÓN DE NEGOCIOS); 2. Edificios, lugares y zonas declaradas históricas a través de legislación (o de resolución de la JUNTA DE DIRECTORES DEL ICP); 3. Plazas de recreo y edificios circundantes (REGLAMENTO CONJUNTO PARA LA EVALUACIÓN Y EXPEDICIÓN DE PERMISOS RELACIONADOS AL DESARROLLO, USO DE TERRENOS Y OPERACIÓN DE NEGOCIOS); 4. Propiedades zonificadas "P" construidas previo a 1960 (RESOLUCIÓN JPE-25 Y RESOLUCIÓN JPE-047); 5. Propiedades zonificadas "CRH", "SH" o "R-ZH"- Según REGLAMENTO CONJUNTO PARA LA EVALUACIÓN Y EXPEDICIÓN DE PERMISOS RELACIONADOS AL DESARROLLO, USO DE TERRENOS Y OPERACIÓN DE NEGOCIOS; 6. Propiedades elegibles a sitios históricos; propiedades de valor histórico que satisfacen los criterios de elegibilidad como sitios históricos para ser designada como tal individualmente (LEY NÚM. 89 DE 1955; REGLAMENTO CONJUNTO PARA LA EVALUACIÓN Y EXPEDICIÓN DE PERMISOS RELACIONADOS AL DESARROLLO, USO DE TERRENOS Y OPERACIÓN DE NEGOCIOS); I. PROGRAMA DE PATRIMONIO HISTORICO EDIFICADO (PPHE): ICP-PPHE: RECOMENDACION FAVORABLE. De acuerdo a nuestros expedientes y la información provista: 1. El proyecto presenta los planos preliminares de construcción en donde se ilustran todos los elementos de rehabilitación que se detallan en el memorial explicativo general; tales como: escarificación y repavimentación de asfalto, reconstrucción de encintados y aceras, mejoras al área de siembra y plan de reforestación, mejoras al sistema de iluminación, marcado de pavimentación y señalización (rotulación) permanente; entre otras accesorias o de carácter menor en la Avenida Nativo Alers.







## Recomendaciones

### El Nuevo Desvio Sur

2. El proyecto es subvencionado con fondos federales del programa de Revitalización Urbana del Departamento de la Vivienda. El presupuesto del proyecto se limita a las actividades de mejoras de rehabilitación de carácter no invasivo antes indicadas y las cuales se circunscriben al derecho de vía existente. No se proponen obras u actividades de construcción sobre terrenos de propiedades privadas o públicas fuera del derecho de vía existente de la actual Nativo Alers. 3. Que NO se propone afectación directa o indirecta sobre ninguna estructura privada o pública en área de los terrenos donde ubica antigua estación del tren. El programa de diseño contempla un plan de marcado y señalización permanente que evite el uso de los carriles o paseos de emergencia contiguos a los terrenos de la antigua estación del tren para otros fines; tales como zona de carga y descarga según ocurre al presente. Incluso, se implementará por parte de la policía municipal y estatal un agresivo plan de seguridad vial para garantizar el cumplimiento de las señalizaciones propuestas. Todo lo anterior propone garantizar la protección de la arquitectura visual de la antigua estación del tren en completa armonía con el tráfico natural de la Avenida Nativo Alers en conjunto con la actividad de usos que allí existe. En este marco de referencia y conforme a los documentos sometidos, se emite una Recomendación Favorable al proyecto. Esta recomendación no incluye los elementos a evaluarse conforme a la Ley 112-1988, Ley de Patrimonio Arqueológico Terrestre, lo cual de llevar a cabo obras que impacten la corteza terrestre, debe hacerse mediante solicitud separada al Programa de Arqueología y Etnohistoria del ICP. Las evaluaciones ambos programas son necesarias para concluir el proceso con esta agencia. Este documento tiene vigencia de un año a partir de su expedición. II. PROGRAMA DE ARQUEOLOGIA Y ETNOHISTORIA (PAE). Base Legal: La Ley 161-2009, según enmendada, Artículo 19.6, enmienda las Secciones 2 y 3 de la Ley Núm. 112 de 20 de julio de 1988, según enmendada, conocida como "Ley de Protección del Patrimonio Arqueológico Terrestre de Puerto Rico", a los fines de transferir al Instituto de Cultura Puertorriqueña toda facultad, deber u obligación referente a la evaluación para la otorgación o denegación de determinaciones finales o permisos, esto en coordinación con la Oficina de Gerencia de Permisos. El Reglamento Conjunto para la Evaluación y Expedición de Permisos Relacionados al Desarrollo, Uso de Terrenos y Operaciones de Negocios (RC-2020); registrado en el Departamento de Estado de Puerto Rico bajo el Número 9233 con vigencia de 2 de enero de 2021, establece, entre otros, lo siguiente: a. Regla 2.1.8, Sección 2.1.8.7, Inciso "b": Todo proyecto público o privado que conlleve movimiento de terreno, excavación, extracción de corteza terrestre o construcción, reconstrucciones o canalizaciones deberá solicitar a la División o Unidad de Evaluación Ambiental (DECA) la recomendación del ICP sobre Arqueología y Conservación Histórica, ya sea a través de la OGP, los Municipios Autónomos con Jerarquía 1 a la III o el Profesional Autorizado. b. CAPÍTULO 10.2, Sección 10.2.1.2 se requerirá la recomendación del ICP en todos los Permisos relacionados con construcción, reconstrucción, trabajos de excavación, extracción o movimiento de tierras en lugar alguno del que haya documentación previa o indicios fidedignos de presencia de material arqueológico. Incluye los centros fundacionales de los municipios, entiéndase, plaza de recreo y bloques circundantes, conforme a la Ley 89-1955, supra, Sección 4. —Propósitos, Funciones y Poderes del Instituto. (18 L.P.R.A. sec. 1198) y la Ley Número 112 del 20 de julio de 1988, conocida como la "Ley de Protección del Patrimonio Arqueológico Terrestre", según enmendada. IV. EVALUACIÓN PROGRAMA DE ARQUEOLOGIA Y ETNOHISTORIA ICP-PAE--- AUTORIZACION--- El Programa de Arqueología y Etnohistoria (PAE) del Instituto de Cultura Puertorriqueña evaluó los documentos relacionados al proyecto en referencia, recibidos a través de la División de Arqueología y Conservación Histórica de la





## Recomendaciones

El Nuevo Desvío Sur

Oficina de Gerencia de Permisos (OGPe). La evaluación realizada sugiere que, basado en los datos existentes al presente, las probabilidades de impactar un recurso arqueológico, según definido por la Ley 112 del 20 de julio de 1988, según enmendada, son mínimas. Por lo tanto, en lo concerniente a recursos culturales de naturaleza arqueológica, no tenemos objeción al proyecto según fue radicado y evaluado. Le notificamos que el proponente queda sujeto a las responsabilidades y obligaciones que impone la Ley 112 del 20 de julio de 1988, según enmendada. Esta establece que, se deberá paralizar todo tipo de actividad de excavación, movimiento y remoción de corteza terrestre, y notificar en un plazo de veinticuatro (24) horas al PAE en caso de que, durante el desarrollo del proyecto, se descubra o impacte algún depósito, elemento, estructura o vestigio de naturaleza arqueológica. V. RECOMENDACIÓN: La División de Arqueología y Conservación Histórica de la OGPe emite una Autorización Parcial para el proyecto propuesto según establecido y bajo las condiciones emitidas por el Programa de Patrimonio Histórico Edificado y el Programa de Arqueología y Etnohistoria del ICP. Se le aperece que el incumplimiento de estos requerimientos será objeto de sanciones administrativas, según lo establecido en las citadas leyes.

## Condiciones Especiales

NINGUNA

## Condiciones Generales

Esta recomendación es solamente aplicable a la situación de hechos y los datos según presentados y evaluados en el caso. La OGPe se reserva el derecho de reevaluar, variar o modificar el mismo en cualquier momento anterior a la emisión del permiso o la acción administrativa correspondiente por parte de la agencia solicitante o proponente cuando surja nueva información oficial específica estableciendo que el derecho aplicable o las condiciones ambientales en el predio han cambiado sustancialmente, o cuando la recomendación original se emitió bajo premisas falsas o fraudulentas.

Las vigencias de las diferentes agencias del proceso de recomendación serán las establecidas en los comunicados que estas emiten conforme a sus reglamentos.

## Firma / Sellos

### Fecha de Expedición:

13/MAR/2023



Arq. María R. Cintrón Flores  
Secretaria Auxiliar  
Departamento de Desarrollo Económico y Comercio de Puerto Rico  
Oficina de Gerencia de Permisos  
**Arq. María R. Cintrón Flores**  
**Secretaria Auxiliar**





## Recomendaciones

El Nuevo Desvío Sur

### Datos de Localización

De acuerdo a la información suministrada se propone una actividad: Público con Contratación Privada en:

#### Dirección Física

AVENIDA NATIVO ALERS (DESVIO SUR)  
BO. GUAYABO Y PIEDRAS BLANCAS  
Aguada Puerto Rico, 00602

#### Número(s) de Catastro

720-003-001-15

#### Calificación

Distrito(s) de Calificación: VIAL (94%), C-I (2%), R-G

Distrito en el Mapa de Inundabilidad: X (46.5%), AE (33.3%), A  
(17.3%), 0.2 PCT (2.5%), AO (0.4%)

Tipo de Suelo: SNS (14.5%), PeD2 (14.0%), SdF2

#### Dueño

MUNICIPIO DE AGUADA

#### Certificado por

Ingeniero : Jorge Cajigas Acevedo, Lic. No. 21253

#### Cabida

Cabida según escritura: 40590 metros cuadrados

### Medioambiente

El Departamento de Recursos Naturales y Ambientales (DRNA) través de su Oficial de Permiso asignado a la OGPe evaluó la solicitud de recomendación donde se propone la revitalización de la vía municipal del Nuevo Desvío Sur de Aguada también conocida como Avenida Nativo Alers. Este proyecto implica mejoras sustanciales conocidas como "Calle Completa". La carretera Avenida Nativo Alers mantiene un tráfico promedio diario de 13,836 vehículos. Esta vía sirve de puerta de entrada al casco urbano, conecta el casco urbano con las comunidades de Reparto Minerva, Alturas de Aguada, áreas deportivas, culturales, recreativas y comerciales como al Escuela Juana Rosario, El Museo Aguadeño, recintos del gobierno estatal (Tribunal de Primera Instancia) y la oficina de postal de USPS, sirve además como acceso a la playa Pico de Piedra y la carretera estatal PR-115. Siendo esta vía sumamente concurrida por su ubicación y acceso a múltiples lugares del pueblo de Aguada, se contempla la revitalización total de esta vía de acceso. Se construirán aceras a lo largo de toda la Avenida de conformidad con las normas de la ADA. Se construirán encintados y cunetas de ser necesario. Se instalarán aproximadamente 106 postes de alumbrado a lo largo de la Avenida para brindar mayor seguridad a todos aquellos que transiten por esa zona. Además, se agregará reforestación a lo largo del camino y se asfaltará toda la vía. Sobre este particular, el DRNA emite los siguientes comentarios:

1. El predio propuesto para desarrollo ha sido identificado como Zona A de acuerdo con la hoja C0140J de los Mapas de Niveles de Inundación Base Recomendados preparados por la Agencia Federal para el Manejo de Emergencias y adoptados por la Junta de Planificación según la Resolución Núm. ABFE-02 del 11 de julio de 2018. A estos efectos, se deberá cumplir con las disposiciones del Reglamento de Planificación Núm. 13 (Reglamento sobre Áreas Especiales de Peligro a Inundación).
2. Las obras propuestas podrían requerir un permiso del Cuerpo de Ingenieros bajo la Sección 404 de la Ley de Agua Limpia, ya que puede haber una descarga de material en terrenos jurisdiccionales. También podría requerir un permiso de dicha entidad federal bajo la Sección 10 de la Ley de Ríos y Puertos ya que las estructuras propuestas podrían afectar o estar en aguas jurisdiccionales.





## Recomendaciones

### El Nuevo Desvío Sur

4. De haber un impacto a la Quebrada con relación a la construcción del puente, previo a la otorgación de un permiso deberá radicar una Recomendación de la División de Medioambiente para que la misma sea referida para el Departamento de Recursos Naturales y Ambientales (DRNA), agencia con jurisdicción sobre los cuerpos de agua. Además, deberá radicar una solicitud de Estudio Hidrológico-Hidráulico (H-H) ante el DRNA.

Además, se le apercibe que:

- Previo a cualquier extracción de la corteza terrestre deberá cumplir con la Regla 3.4.1 y Sección 3.4.1.3 – (Permiso Único Incidental Operacional - Permiso de Actividad Incidental a una obra autorizada) del Reglamento Conjunto para la evaluación y expedición de permisos relacionados al desarrollo, uso de terrenos y operación de negocios. Se le apercibe que la Ley Núm. 132 de 25 de junio de 1968, según enmendada y su Reglamento, prohíben la extracción, excavación, remoción y dragado de material de la corteza terrestre sin el permiso correspondiente.
- De ser necesario el corte de árboles, deberá cumplir con la Regla 3.4.1 y 3.4.2 – (Permiso Único Incidental Operacional - Autorización de Corte, Poda, Trasplante y Siembra de Árboles) del Reglamento Conjunto para la evaluación y expedición de permisos relacionados al desarrollo, uso de terrenos y operación de negocios. Se le apercibe que la Ley Núm. 133 de 1 de julio de 1975, según enmendada prohíbe el corte y poda de árboles sin el permiso correspondiente.
- Para la fase de Permiso de Urbanización o de Construcción será responsabilidad del Peticionario previo las labores de remoción de extracción de los materiales de la corteza terrestre el obtener y mantener en vigor el Permiso General Consolidado por la Oficina de Gerencias de Permisos (OGPe) para el área de operaciones objeto del permiso” a través de la Regla 3.4.1 - Permiso Único Incidental Operacional del Reglamento Conjunto para la Evaluación y Expedición de Permisos Relacionados al Desarrollo, Uso de Terrenos y Operación de Negocios del 2 de enero de 2021.
- Deberá establecer un programa de reforestación utilizando especies nativas que además de ayudar a minimizar la erosión beneficien la vida silvestre. Esta medida es cónsona con la Ley para Fomentar la Siembra de Árboles Cuyas Frutas y/o Semillas Provean Alimento a Especies de Aves Silvestres de Puerto Rico (Ley Núm. 97 de 24 de junio de 1998), la cual establece lo siguiente: “En todo proyecto de reforestación en que se utilicen fondos públicos o privados, o en una combinación de estos, un 15% en las áreas rurales y un 10% en las áreas urbanas del total de árboles a ser sembrados, serán de especies cuyas frutas y/o semillas sirvan de alimento a las aves silvestres que residan temporal o permanentemente en ésta”.
- De tener alguna descarga de escorrentía a cualquier cuerpo de agua durante la operación, deberá consultar a la Agencia Federal de Protección Ambiental para determinar si dichas descargas requieren un permiso “NPDES” de acuerdo al Código Federal de Reglamentación Número 40, Sección 122.26 (b) (14) (x).
- De descubrirse en el predio objeto de desarrollo algún cuerpo de agua superficial o subterráneo, sea perenne o intermitente, deberá informarlo inmediatamente al DRNA y demás agencias concernidas. No informar hallazgos de este tipo, así como las medidas de mitigación que se implantarán para proteger estos recursos naturales conllevará una revocación automática de la presente comunicación de no objeción y podrá ser base para acciones legales por parte de la Junta de Planificación (JP) en los foros correspondientes.
- Deberá cumplir con las disposiciones de la Sección 5.1.9.4 (Manejo de Aguas Pluviales) del Reglamento Conjunto para la evaluación y expedición de permisos relacionados al desarrollo, uso de







## Recomendaciones

El Nuevo Desvio Sur

terrenos y operación de negocios.

Esta recomendación es solamente aplicable a la situación de hechos y los datos según presentados y evaluados en el caso y el Secretario Auxiliar se reserva el derecho de reevaluar, variar o modificar el mismo en cualquier momento anterior a la emisión del permiso o la acción administrativa correspondiente por parte de la agencia solicitante o proponente cuando surja nueva información oficial específica estableciendo que el derecho aplicable o las condiciones ambientales en el predio han cambiado sustancialmente, o cuando el endoso original se emitió bajo premisas falsas o fraudulentas.

## Condiciones Especiales

NINGUNA

## Condiciones Generales

Esta recomendación es solamente aplicable a la situación de hechos y los datos según presentados y evaluados en el caso. La OGP se reserva el derecho de reevaluar, variar o modificar el mismo en cualquier momento anterior a la emisión del permiso o la acción administrativa correspondiente por parte de la agencia solicitante o proponente cuando surja nueva información oficial específica estableciendo que el derecho aplicable o las condiciones ambientales en el predio han cambiado sustancialmente, o cuando la recomendación original se emitió bajo premisas falsas o fraudulentas.

Las vigencias de las diferentes agencias del proceso de recomendación serán las establecidas en los comunicados que estas emiten conforme a sus reglamentos.

## Firma / Sellos

### Fecha de Expedición:

21/NOV/2022



**Arq. María R. Cintrón Flores**

**Secretaria Auxiliar**





1 de febrero de 2023

Arq. María R. Cintrón Flores  
Secretaria Auxiliar  
Oficina de Gerencia de Permisos (OGPe)  
PO BOX 41179  
San Juan, Puerto Rico 00940-1179

Estimada Arq. María R. Cintrón:

**AAA-RO-22-02-0018 – AGUADA – REHABILITACION AVENIDA NATIVO ALERS PROPIEDAD DE MUNICIPIO DE AGUADA**  
**AVENIDA NATIVO ALERS**  
**OGPE: 2022-459200-SRI-060427**  
**(RECOMENDACIONES)**

Nos referimos al proyecto de epígrafe, sometido ante nuestra consideración para que se informe en cuanto a las facilidades de agua y alcantarillado sanitario existentes, que puedan servir al mismo. De acuerdo con el memorial explicativo el proyecto consiste en asfaltar toda la Avenida Nativo Alers, construcción de aceras, encintados, aceras y cunetas. Además incluye la instalación de 106 postes de alumbrado y reforestación a lo largo de la Avenida.

No se vislumbra el impacto de la infraestructura de acueductos y sanitaria. Antes de comenzar los trabajos de construcción e instalación de postes, debe radicar un permiso de excavación para que la Autoridad de Acueductos y Alcantarillado pueda marcar las tuberías existentes para así evitar roturas.

Si al asfaltar el nivel del "finish grade" original de la Avenida Nativo Alers se ve afectado las tapas de los "Manholes" deberán ser rectificadas y/o levantadas.

Antes de iniciar el proceso de construcción, deberán someter según aplique, para aprobación de esta Autoridad, los planos de las obras de acueducto y/o alcantarillado para los que se solicita permiso, los cuales deberán estar sellados y firmados por el profesional responsable de los mismos. Estos incluyen, según aplique al caso, planos que contemplen:

- Sistemas de distribución de agua y de alcantarillado sanitario y su conexión a los sistemas de la AAA.
- Relocalización o extensión de obras de acueducto y/o alcantarillado.
- Obras Extramuros e Instalaciones para ser transferidas a la AAA para su operación.

Deberá cumplir con los requisitos establecidos en el Reglamento Conjunto de Permisos para Obras de Construcción y Usos de Terrenos.

Los planos deberán ser sometidos, evaluados y aprobados por esta Autoridad, de acuerdo al Reglamento para la Certificación de Planos de Construcción, antes de proceder con la construcción de las obras. Todas las instalaciones que vayan a ser transferidas a la AAA deben ser construidas en espacio público, de manera que se eviten las servidumbres de paso de instalaciones de servicio de agua o alcantarillado.

El desarrollador someterá los planos del proyecto a escala, orientado al norte y en formato DWG o DXF y en PDF. Éste tiene que incluir un polígono (área) de la extensión territorial del proyecto georeferenciado al sistema de coordenadas North American Datum del 1983 (NAD 83). Además, tiene que indicar si la unidad de medida utilizada es en pies o metros y la revisión del NAD 83 que utilizó.

Al someter el plano final para aprobación, se deberá cumplir también con los siguientes requisitos:

1. Someter los documentos de certificación del ingeniero o arquitecto debidamente cumplimentados: a. AAA-972 (Solicitud de Aprobación de Planos de Construcción) b. AAA-1294 (Certificación de Ingeniero o Arquitecto)
2. Someter un estimado desglosado y por partida de las obras de acueducto a instalarse en el proyecto.

Estas recomendaciones estarán vigentes por el término de dos (2) años, a partir de la fecha de esta comunicación, al cabo del cual, de no haberse sometido planos de construcción de las obras de acueducto y alcantarillado sanitario, el proyecto deberá someterse nuevamente ante la consideración de esta Autoridad.

Cordialmente,



Ing. Iris Jusino Nazario, PE  
Gerente Técnico - Región Oeste  
Proyectos Públicos y Privados

c: Gerente Técnico PPP, Expediente, Archivo de Lectura



martes, 1 de noviembre de 2022

Sr. Pedro Ramos Vélez  
Gerente División Infraestructura  
PO Box 41118  
Santurce, PR 00940

Estimado señor Ramos:

OGPe: 2022-459200-SRI-060428  
LUMA: 22-4-0521  
Carga: 150 KVA  
Proyecto: EL NUEVO DESVIO SUR  
Dirección: AVE. NATIVO ALERS (DESVIO SUR)  
Municipio: AGUADA

**LUMA** cómo agente operador del Sistema de Transmisión y Distribución eléctrica de la Autoridad de Energía Eléctrica (AEE) le presenta sus comentarios con relación al proyecto de referencia para Mejoras Geométricas.

El diseñador deberá leer y entender este informe; de haber dudas relacionadas al mismo, debe aclararlas con el Ingeniero Supervisor de la Región de Mayaguez antes de radicar el plano para endoso. En adición, debe analizar y estudiar este informe e incluir y conformar parte del plano las notas pertinentes que se especifican como "Incluir nota al efecto en los planos de diseño".

Incluimos nuestra evaluación del Proyecto y representación gráfica con información sobre facilidades eléctricas relacionadas al mismo:

1. El Proyecto está localizado en:  
Número de Catastro: 720-003-001-15  
Centroide del proyecto:  
Coordenadas proyección en metros +Este +Norte (121081.06, 260404.23 hasta 119013.03, 260999.31).  
Coordenadas Geográficas Latitud y Longitud (18.377634, -67.180133 hasta: 18.382929, -67.199726)
2. Los Dos (2) Puntos Conexión están localizados en:  
Coordenadas proyección en metros (+Este, + Norte) **Punto #1:** (121081.49, 260395.07)  
Coordenadas Geográficas Latitud y Longitud **Punto #1:** (18.377544, -67.180126)  
LUMA/PREPA **Punto #1** Pole FID 17502988  
Coordenadas proyección en metros (+Este, + Norte) **Punto #2:** (119029.97, 260692.91)  
Coordenadas Geográficas Latitud y Longitud **Punto #2:** (18.380157, -67.199550)  
LUMA/PREPA **Punto #2** Transmission Tower FID 11647047



3. El Punto de Conexión indicado en el croquis se denomina como "Punto de Entrega". No se transferirá a LUMA la infraestructura eléctrica desde ese punto. El servicio que se deriva del mismo es considerado como exclusivo y privado, por lo que el mantenimiento, reparación y reemplazo del sistema es responsabilidad del Dueño.
4. Deberá presentar plano de diseño para endoso y la Certificación de Planos de Construcción Eléctrica para la distribución eléctrica correspondiente, acompañados por la Estampilla Digital Especial, y firmados digitalmente. Estos deberán ser radicados mediante el Portal Único de Negocios (SBP por sus siglas en inglés) de la Oficina de Gerencia de Permisos (OGPe). (Ver Comunicado Técnico 18-01 y 17-01); y deberán cumplir con los siguientes reglamentos, directrices, comunicados e información técnica específica que se presenta a continuación:
  - a. Asegurarse que el diseño propuesto cumpla con el "Reglamento conjunto para la evaluación y expedición de permisos relacionados al desarrollo, uso de terrenos y operación de negocios" del 7 de junio de 2019, los NUEVOS patrones de Construcción de LUMA y los siguientes Comunicados Técnicos AEE:
    - i. 07-02 "Pruebas a cables soterrados nuevos y sus accesorios en proyectos privados" del 29 de junio de 2007.
    - ii. 12-01: Política Pública para la Construcción de Sistemas Eléctricos.
    - iii. Los Criterios de Diseño para Sistemas Eléctricos Aéreos de Transmisión y Distribución deben ser tomando en consideración una velocidad probable de viento de 160 mph.
    - iv. 13-03: Bases de Hormigón para Postes de Líneas Eléctricas.
    - v. 14-03: Equipos con Aislación en Goma de Silicón.
    - vi. 15-02: Postes para Sistemas de Distribución Eléctrica Primaria.
    - vii. 15-03: Revisión de Parámetros para Transformadores según Reglamentación del Departamento de Energía Federal (DOE).
  - b. Los sistemas de alumbrado a construirse deberán cumplir con los siguientes Comunicados de la AEE:
    - i. 07-01: Sistemas de Alumbrado.
    - ii. 16-03: Proyectos de Construcción con Sistemas de Alumbrado Público; esta consulta la podrá realizar a través del correo electrónico: [energia@ddec.pr.gov](mailto:energia@ddec.pr.gov)
    - iii. 16-04: Instalación de Luminarias Tipo Diodo Emisor de Luz (LED).
  - c. En el sector existen líneas eléctricas aéreas monofásica con 3 conductores calibre número TRIAC 3 – 1/0 ACSR a un voltaje de 120/240 V, líneas eléctricas aéreas trifásicas con 4 conductores calibre número 556 SPACER a un voltaje de 2.4 / 4.16 KV, líneas eléctricas aéreas trifásicas con 4 conductores calibre número 556 SPACER a un voltaje de 7.62 / 13.2 KV y líneas eléctricas de transmisión aéreas trifásicas con 4 conductores calibre número 556 SPACER y 3 conductores calibre número 3/0 ACSR a un voltaje de 38 KV.
  - d. El voltaje de alimentación para dicho Proyecto será de 7.6 /13.2 kV. Se servirá del alimentador 7008-05.
  - e. El diseño deberá ser un sistema soterrado.

- f. Será responsabilidad del diseñador del Proyecto indicar la localización exacta de este, ilustrar las líneas eléctricas existentes y de ser necesario, coordinar la reubicación de líneas eléctricas.
  - g. Deberá incluir en los planos de diseño las coordenadas Lambert correspondientes a la ubicación del Proyecto, en versión del North American Datum (NAD 83) y la unidad de medidas en metros [Refiérase al inciso 1 de este informe]; estas coordenadas deberán aparecer impresas en el plano de localización a ser radicado para revisión y eventual endoso, en una escala de 1:10,000 o 1:20,000. Incluir planos en formato .DWG o .DXF, **el mismo deberá estar georreferenciado**.
  - h. Serán requisitos en conjunto con la radicación de los planos la carta explicativa del Proyecto, cálculos de carga, tensión y flecha para los sistemas aéreos, y cálculos de caída de voltaje para diseños de sistema soterrados.
  - i. Se requiere incluir como parte del diseño la instalación de disyuntores con protección de fusibles a la entrada del proyecto en el Punto de Conexión. Incluir el detalle y nota al efecto en los planos de diseño.
  - j. A menos de una milla de distancia de la costa tanto los equipos como los materiales deberán ser en acero inoxidable, y el conductor a utilizar será ACAR (Aluminum Conductor Alloy Reinforced), AAAC (All Aluminum Alloy Conductor) o su equivalente en cobre. Incluir nota al efecto en los planos de diseño.
  - k. Esta evaluación del Punto de Conexión no constituye una revisión del plano de diseño. El diseñador es responsable de cumplir con los códigos, reglamentos, manuales, estándares y normas aplicables vigentes para los sistemas eléctricos en Puerto Rico. Además, deberá cumplir con los reglamentos de ordenación de la infraestructura en el espacio público (Reglamento de Planificación Número 22), según exige la Oficina de Gerencia de Permisos (OGPe). Los sistemas de distribución y transmisión a desarrollarse en estas zonas deberán seguir las guías establecidas por este reglamento. Incluir nota al efecto en los planos de diseño.
  - l. El dueño del proyecto o su representante deberá notificarle a la Oficina de Ingeniería de Distribución de la Región correspondiente el comienzo de la obra posterior al endoso de los planos y previo al inicio de los trabajos eléctricos del proyecto para la requerida inspección, aprobación y coordinación necesaria. Incluir nota al efecto en los planos de diseño.
5. Para servir el Proyecto, el proponente será responsable de lo siguiente. Incluir notas al efecto en los planos de diseño:
- a. Aportará la cantidad de \$1,650.00, para realizar mejoras al sistema eléctrico. Dicha Aportación está basada en los 150 kVA de transformación que serán añadidos al sistema. **El pago será mediante efectivo, tarjeta de crédito, cheque certificado o giro en cualquier Oficina de Experiencia al Cliente de LUMA. La Oficina de Experiencia al Cliente acreditará el pago a la cuenta de Ayuda a la Construcción CIG – 419.06. Deberá enviar a la Oficina de Ingeniería de Distribución correspondiente, al correo electrónico [ingenieria.distribucionMayaguez@lumapr.com](mailto:ingenieria.distribucionMayaguez@lumapr.com) la evidencia de pago.**

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- b. El Dueño del Proyecto deberá confirmar con el Gerente de Distrito Técnico correspondiente el voltaje primario a ser utilizado, previo a la compra de los transformadores.**
- c. Obtener y gestionar todos los endosos de las agencias reguladoras pertinentes tales como:
- i. Departamento de Recursos Naturales y Ambientales (DRNA) - Declaración de Impacto Ambiental (DIA),
  - ii. Instituto de Cultura Puertorriqueña - División de Permisos Arqueológicos,
  - iii. Cuerpo de Ingenieros de Estados Unidos,
  - iv. Departamento de Transportación y Obras Públicas Estatal o Municipal,
  - v. Junta de Planificación,
  - vi. Oficina de Gerencia y Permisos (OGPe),
  - vii. Otras agencias gubernamentales, federales y privadas requeridos para el desarrollo del proyecto.
6. Para servir el Proyecto, LUMA realizará los siguientes trabajos con cargos al dueño. Incluir notas al efecto en los planos de diseño:
- a. Conectará el proyecto en los puntos de conexión indicados en esta evaluación.
  - b. Una vez endosado el plano de diseño, para conocer el costo por concepto de los trabajos a ser realizados por LUMA especificados en este informe, LUMA (Departamento de Ingeniería de Distribución) le estará emitiendo al proponente un estimado preliminar para propósito informativo; **este no será para propósito de pago**. En su momento, en la reunión de pre-construcción deberá formalizar la solicitud del estimado oficial. Una vez recibido el estimado oficial podrá realizar el pago de la cotización y notificar a este Departamento de Ingeniería de Distribución con tres meses de anticipación de los trabajos estimados para el proyecto y dentro de la vigencia de la cotización (90 días).
7. Este Proyecto está afectado por líneas eléctricas, por tanto:
- a. El dueño del proyecto es responsable de cumplir con los requisitos establecidos en el Reglamento de Servidumbres para la Autoridad de Energía Eléctrica. Toda nueva servidumbre para constituirse para líneas y equipos eléctricos debe cumplir con los requisitos establecidos en el Apéndice B del Reglamento. De igual forma, con los requisitos relacionados a las servidumbres asociadas a instalaciones eléctricas existentes en el área del proyecto.
  - b. El proyecto está afectado por líneas de distribución primarias y/o secundarias, y tensores. Estas ocupan una franja de servidumbre de 10 pies de ancho a lo largo de las líneas en el caso de líneas aéreas y 5 pies de ancho en caso de líneas soterradas.
  - c. Cualquier trabajo necesario de reubicación de líneas eléctricas energizadas, será realizado por LUMA con cargos al Dueño y deberá coordinarse con el Gerente de Distrito correspondiente. Además, se prohíbe la realización de cualquier tipo de trabajo en las franjas de servidumbre de paso eléctricas sin la autorización escrita de LUMA. LUMA no aprobará la conexión de Proyectos con condiciones de invasión de servidumbres o que no cumplan con los despejos de seguridad requeridos.

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- d. Dentro de los límites de este proyecto discurre la línea eléctrica de subtransmisión de 38 KV, Número 5600. Por tanto, el dueño del proyecto será responsable de solicitar certificación al área al Departamento de Terrenos de LUMA quien administra el catastro de la Autoridad. Deberá completar todo el proceso de certificación y endoso de los planos conforme exige el Reglamento 7282. El endoso que emite la oficina de terrenos no es un endoso para uso de la servidumbre sino solamente certifica los derechos reales a favor de la Autoridad en el lugar. Deberá ilustrar en los planos de diseño las líneas de transmisión con su correspondiente servidumbre certificada y entregar dicha certificación con los planos para el endoso. Incluir nota al efecto en los planos de diseño. En adición, deberá cumplir con lo siguiente:
- i. No se permite ninguna construcción, movimiento de tierra, rodaje ni ninguna actividad incompatible con el derecho de servidumbre establecido en el terreno. Se refiere al desarrollador al Reglamento 7282 de 25 de enero de 2007 Para Servidumbres Para La Autoridad de Energía Eléctrica (Reglamento 7282) y la Ley 143 de 1979 (Ley 143), según enmendada. Cualquier asunto relacionado a las servidumbres se regirá por el Reglamento y ley antes citada.
  - ii. El uso del área de las servidumbres de paso de líneas de transmisión y subtransmisión no está permitido. LUMA permite el uso de la servidumbre de paso, vía excepción, para algunos usos específicos. Cualquier excepción en el uso del área de servidumbre deberá ser solicitado al Departamento de Terrenos de LUMA quien hará la evaluación correspondiente conforme al Reglamento. No se hará ninguna obra en área de servidumbre sin el consentimiento escrito según requerido en el Reglamento y comunicados técnicos correspondientes. De realizarse alguna obra o actividad incompatible con el derecho de servidumbre el proponente, su contratista o desarrollador será responsable de cualquier daño causado a propiedad, persona o ambiente.
  - iii. El proponente será responsable de completar los procesos de constitución de servidumbre para su proyecto y cumplir con todo lo requerido por el Reglamento 7282 y otros Reglamentos que LUMA administra.
  - iv. Los sellos, endosos o cartas de evaluación en los planos eléctricos o propuestos en ninguna manera significan endosos al uso del área de servidumbre ni sustituyen el proceso establecido en el Reglamento 7282 y la Ley 143.
- e. Para Constituir la Servidumbre de Paso de las líneas existentes dentro de los límites del proyecto, deberá someter plano certificado por un agrimensor o ingeniero licenciado autorizado a ejercer la profesión de la agrimensura en Puerto Rico (RPA), ilustrando las mismas en su ubicación exacta para endoso (cuatro copias en papel y una digital en formato .PDF). Incluir leyenda describiendo la servidumbre y la tabla de mensura de la servidumbre.
8. Incluimos como parte de esta evaluación, un croquis con información gráfica sobre facilidades eléctricas.
9. Cualquier duda sobre esta evaluación y su contenido, puede comunicarse a nuestra oficina al correo electrónico [ingeniería.distribucionMayaguez@lumapr.com](mailto:ingeniería.distribucionMayaguez@lumapr.com).



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10. Esta evaluación caduca al año de la fecha de emisión y cancela y sustituye cualquier otra realizada previamente.

Cordialmente,



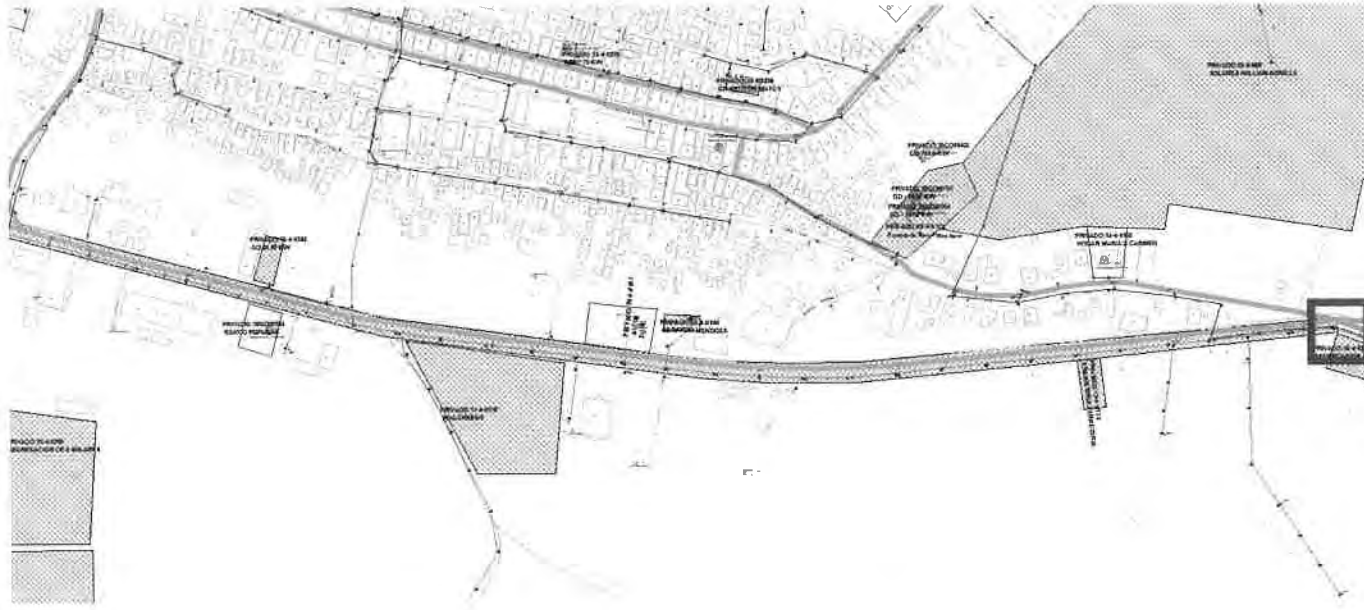
Digitally signed by Eric A. Carlo Hidalgo  
DN: cn=Eric A. Carlo Hidalgo, o=Luma,  
ou=Supervisor Ingeniería,  
email=eric.carlo@lumapr.com, c=US  
Date: 2022.11.01 08:41:03 -04'00'

Ing. Eric A. Carlo Hidalgo,  
Supervisor Ingeniería  
Ingeniería de Distribución  
Región Mayagüez

Evaluado por: Ing. Edwin E. China



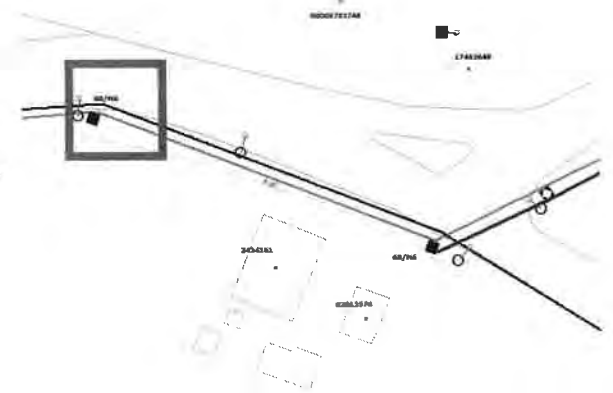
# DESIGN AREA PARTE #1 Y PUNTO CONEXION #1



Coordenadas proyección en metros (desde 121081.06, 260404.23 hasta 119013.03, 260999.31).



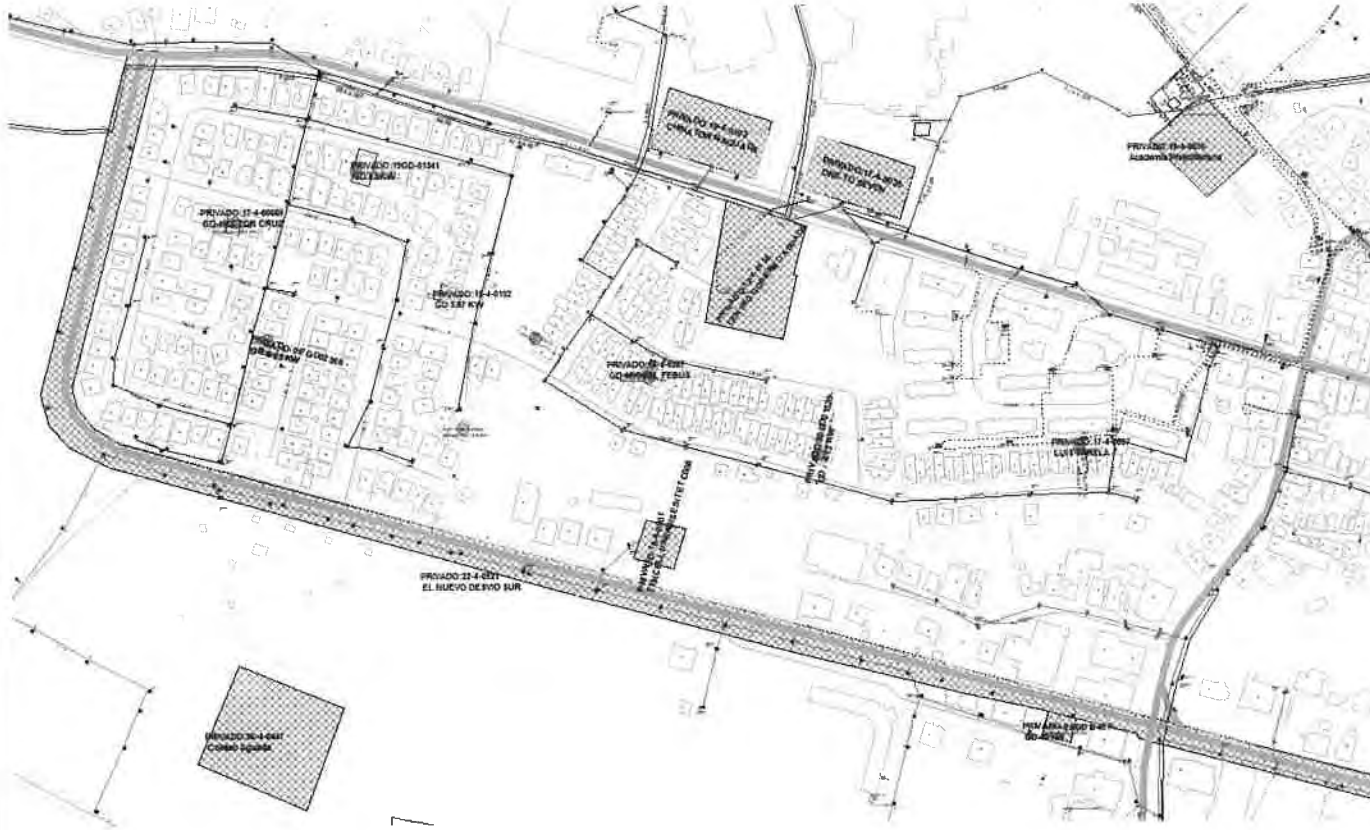
Punto Conexion #1:  
(121081.49, 260395.07)



Proyecto: EL NUEVO DESVIO SUR  
Localización: AVE. NATIVO ALERS (DESVIO SUR), AGUADA  
AEE Número: 22-4-0521 Carga: 150 KVA  
Caso: OGPe: 2022-459200-SRI-060428



## DESIGN AREA PARTE #2 Y PUNTO CONEXION #2



Coordenadas proyección en metros (desde 121081.06, 260404.23 hasta 119013.03, 260999.31).

**Proyecto:** EL NUEVO DESVIO SUR  
**Localización:** AVE. NATIVO ALERS (DESVIO SUR), AGUADA  
**AEE Número:** 22-4-0521 **Carga:** 150 KVA  
**Caso:** OGPc: 2022-459200-SRI-060428



## Recomendaciones

El Nuevo Desvío Sur

### Datos de Localización

De acuerdo a la información suministrada se propone una actividad: Público con Contratación Privada en:

#### Dirección Física

AVENIDA NATIVO ALERS (DESVIO SUR)  
BO. GUAYABO Y PIEDRAS BLANCAS  
Aguada Puerto Rico, 00602

#### Número(s) de Catastro

720-003-001-15

#### Calificación

Distrito(s) de Calificación: VIAL (94%), C-I (2%), R-G

Distrito en el Mapa de Inundabilidad: X (46.5%), AE (33.3%), A  
(17.3%), 0.2 PCT (2.5%), AO (0.4%)

Tipo de Suelo: SNS (14.5%), PeD2 (14.0%), SdF2

#### Dueño

MUNICIPIO DE AGUADA

#### Certificado por

Ingeniero : Jorge Cajigas Acevedo, Lic. No. 21253

#### Cabida

Cabida según escritura: 40590 metros cuadrados

### Infraestructura

Relocalización de Telecomunicaciones: NETPR-2022-RI-0378 OGPE 2022-459200-SRI-060624 El Nuevo Desvío Sur AGUADA El Negociado de Telecomunicaciones (NET), tiene los siguientes comentarios: En cuanto al impacto del proyecto, cualquier remoción, modificación y relocalización de las instalaciones de telecomunicaciones existentes, deberá ser coordinada con los proveedores de estos servicios. Con la urgencia que amerite, el proponente se comunicará con los siguientes proveedores, según corresponda, para, de esta manera, obtener cualquier información necesaria: Ing. Frank Cruz, Gerente Ingeniería, Claro, f.cruz@claropr.com, 787-782-8282, PO Box 360998, San Juan, P.R. 00936-0998; Sr. Juan E. Orellana, B2B & Upgrade Construction Mgr, Liberty PR, juan.orellana@libertypr.com, (787) 657-3050, ext. 3707, P O Box 192296, San Juan, P.R. 00919; Ing. Jose Luis Torres, Technical Mgr. Metro & Island, Prepanet; jl-torres@prepanetworks.net, 787-944-3246; 48 City View, St. PR-165, Suite 308, Guaynabo, P.R. 00968; Ing. Agustin Garcia Guadalupe, Mgr. OSP PIng & Design ATT, ag765z@att.com, 787-600-0682, P O Box 71514, San Juan, P.R. 00936-8614; Ing. Arnaldo Acosta, Project Coordinator Metro & Island World Net, aacosta@worldnetpr.com, 787-705-7014, Centro Internacional de Mercadeo, 90 Carr. Est. 165, Suite 201, Guaynabo, P.R. 00968; Sr. Omar Tirado Tirado, Gerente Metro & Island Caribe Net, cmarazzi@caribe.net, 787-728-9000, 728-9777, 1214 Ave. Ponce de Leon, Suite 400, San Juan, P.R. 00907. Una vez incorpore los comentarios de los proveedores a los planos, la Parte Proponente preparará un plano final con la infraestructura de telecomunicaciones. En el ejercicio del poder de fiscalización, el NET recibirá el plano final de infraestructura de telecomunicaciones y los documentos complementarios, y se reservará el derecho de una revisión futura. El NET no tiene objeción al desarrollo solicitado, mientras el Proponente certifique que cumple con todos los reglamentos, códigos y leyes aplicables en las servidumbres de las Agencias impactadas. El Proponente deberá someter una copia del plano final en el expediente digital de la OGPE. El trámite vinculado al Negociado es de estricto cumplimiento y constituye un requisito mandatorio, para que la Parte Proponente pueda continuar con los trámites posteriores. En el descargue de los deberes delegados, el NET pasará juicio en torno a la veracidad de los hechos que surjan del expediente administrativo. Se notificarán las acciones administrativas que correspondan, de acuerdo con la etapa del proyecto en







## Recomendaciones

El Nuevo Desvio Sur

referencia:

## Condiciones Especiales

NINGUNA

## Condiciones Generales

Esta recomendación es solamente aplicable a la situación de hechos y los datos según presentados y evaluados en el caso. La OGPe se reserva el derecho de reevaluar, variar o modificar el mismo en cualquier momento anterior a la emisión del permiso o la acción administrativa correspondiente por parte de la agencia solicitante o proponente cuando surja nueva información oficial específica estableciendo que el derecho aplicable o las condiciones ambientales en el predio han cambiado sustancialmente, o cuando la recomendación original se emitió bajo premisas falsas o fraudulentas.

Las vigencias de las diferentes agencias del proceso de recomendación serán las establecidas en los comunicados que estas emiten conforme a sus reglamentos.

## Firma / Sellos

### Fecha de Expedición:

17/OCT/2022



**Arq. María R. Cintrón Flores**  
**Secretaria Auxiliar**





## Recomendación Ambiental

El Nuevo Desvío Sur

### Fecha de Expedición:

13/MAR/2023

### Datos de localización

De acuerdo a la información suministrada se propone una actividad Público con Contratación Privada en el Distrito de Clasificación identificado a continuación:

#### Dirección Física

AVENIDA NATIVO ALERS (DESVIO SUR)  
BO. GUAYABO Y PIEDRAS BLANCAS  
Aguada, Puerto Rico, 00602

#### Número(s) de Catastro

720-003-001-15

### Calificación

Distrito(s) de Calificación:

VIAL (94%), C-I (2%), R-G (1%), R-I (1%), A-G (1%)

Distrito en el Mapa de Inundabilidad:

X (46.5%), AE (33.3%), A (17.3%), 0.2 PCT (2.5%), AO (0.4%)

Tipo de Suelo:

SNS (14.5%), PeD2 (14.0%), SdF2 (8.4%), Cn (7.6%), Es (6.6%), Cd (6.6%), CIE (6.6%), CcB (4.9%), C1E (4.4%), Cn (3.7%), Cn (3.5%), Es (3.1%), Td (2.7%), An (2.3%), MuC2 (1.9%), MaB (1.9%), Cn (1.8%), ToA (1.8%), Es (1.6%), MvC (1.2%), TcE2 (0.5%), CuC2 (0.3%), ToA (0.3%), Cn (0.0%)

### Datos de permiso

#### Dueño

MUNICIPIO DE AGUADA

#### Certificado por

Proyectista Jorge Cajigas Acevedo Lic. No. 21253

#### Cabida (Área Total Según Escritura)

40590 MC

#### Servidumbres Existentes

NINGUNA

### Comentarios de las Divisiones al Permiso

#### Infraestructura

La Autoridad de Acueductos y Alcantarillados (AAA) evaluó el documento sometido en cumplimiento de su deber como agencia evaluadora, específicamente los aspectos ambientales exclusivos a nuestra jurisdicción y peritaje.

Según los documentos radicados electrónicamente, la acción propuesta consiste en la revitalización de la vía municipal del Nuevo Desvío Sur de Aguada también conocida como Avenida Nativo Alers. Este proyecto implica mejoras sustanciales conocidas como "Calle Completa". La carretera Avenida Nativo Alers. Esta vía sirve de puerta de entrada al casco urbano, conecta el casco urbano con las comunidades de Reparto Minerva, Alturas de Aguada, áreas deportivas, culturales, recreativas y comerciales como la Escuela Juana Rosario, El Museo Aguadeño, recintos del gobierno estatal (Tribunal de Primera Instancia) y la oficina de postal de USPS, sirve además como acceso a la playa Pico de Piedra y la





## Recomendación Ambiental

carretera estatal

PR-115. Se construirán aceras a lo largo de toda la Avenida de conformidad con las normas de la ADA. Se construirán encintados y cunetas de ser necesario. Se instalarán aproximadamente 106 postes de alumbrado a lo largo de la Avenida. Además, se agregará reforestación a lo largo del camino y se asfaltará toda la vía.

No se identifica que dicha propuesta según descrita en documentos presente un impacto en términos ambientales para la Autoridad de Acueductos y Alcantarillados. Destacamos del proyecto requerir servicio de agua potable y/o alcantarillado sanitario, o identificación de utilidades; el Proponente deberá someter una Solicitud de Recomendación de infraestructura (SRI) ante la Oficina de Gerencia de Permisos (OGPe). En la evaluación se determinará la disponibilidad de los servicios de

agua y alcantarillado sanitario que puedan servir al mismo, requisitos y/o condiciones de endoso para conectar el proyecto. Dichas condiciones pueden incluir, pero no se limitan a:

- Obras de Aumento de capacidad en el sistema potable como de alcantarillado sanitario.
- Relocalización de utilidades de la AAA e identificación de servidumbres

Esta comunicación no implica una autorización para que se conecten los servicios de agua y alcantarillado. El proponente será responsable de identificar y de reparar a su costo cualquier daño que pueda causar a las utilidades existentes de la Autoridad.

ACT contesta REA - El Programa de Construcción y Mejoras Permanentes vigente de esta Autoridad no incluye proyectos programados que pudieran verse afectados por la acción propuesta. En cuanto al aspecto ambiental no tenemos comentarios.

LUMA Servco LLC (LUMA), como operadora y representante de la Autoridad de Energía Eléctrica (AEE) contesta la REA - Desde el punto de vista ambiental LUMA no tiene comentarios al proyecto propuesto. No obstante, el proyecto según presentado requiere de una evaluación eléctrica para determinar los impactos que puede representar el mismo a la infraestructura de la AEE operada por LUMA. De acuerdo con Reglamento para el Proceso de Evaluación Ambiental, Reglamento Núm. 8858 de 23 de noviembre de 2016 vigente, la parte proponente deberá discutir el impacto ambiental de cada actividad propuesta que afecte nuestra infraestructura y determinar la disponibilidad de esta antes de la presentación de un documento ambiental. A esos efectos, deberá incorporar en el Documento Ambiental correspondiente las recomendaciones de la evaluación eléctrica realizada por la LUMA, que se obtenga mediante la Solicitud de





## Recomendación Ambiental

Recomendación de Infraestructura (SRI) de la Oficina de Gerencia de Permisos. Le recordamos que la evaluación eléctrica caduca al año de realizada. De no comenzar los trabajos en ese período, se deberá solicitar una nueva evaluación eléctrica. Este comunicado no constituirá un endoso a la referida acción. Una vez cumplan con las condiciones que se establezcan en la correspondiente evaluación eléctrica, la acción propuesta se considerará endosada.

NETPR 2022-459200-REA-010802 - Requisitos de Estricto Cumplimiento. – El Negociado de Telecomunicaciones (NET) tiene los siguientes comentarios: El proyecto propuesto únicamente consiste en mejoras de revitalización de una vía existente. Respecto a las recomendaciones para la infraestructura de telecomunicaciones, la Parte Proponente continuara el trámite a través de la Oficina de Gerencias de Permisos (OGPe). De ser necesaria una Relocalización de Planta, se exige el estricto cumplimiento con la sección 3.09 del descrito Reglamento 7393, revisado". La descrita sección describe los "Requerimientos para Proyectos de Relocalización de Planta". Este documento no constituye un endoso a la referida acción, ni representa un relevo de cumplimiento respecto a todos los reglamentos aplicables. El NET ejercerá la autoridad delegada, evaluará cada fase inconclusa del proceso de permisos y cuando sea necesario solicitará información adicional. Este negociado auditara el cumplimiento de todo requisito aplicable a la otorgación de autorizaciones con la facultad disponible para notificar procedimientos administrativos.

### Medioambiente

#### DRNA

El Departamento de Recursos Naturales y Ambientales (DRNA) través de su Oficial de Permiso asignado a la OGPe evaluó la recomendación de evaluación ambiental para un proyecto. La revitalización de la vía municipal del Nuevo Desvío Sur de Aguada también conocida como Avenida Nativo Alers. Este proyecto implica mejoras sustanciales conocidas como "Calle Completa". La carretera Avenida Nativo Alers mantiene un tráfico promedio diario de 13,836 vehículos. Esta vía sirve de puerta de entrada al casco urbano, conecta el casco urbano con las comunidades de Reparto Minerva, Alturas de Aguada, áreas deportivas, culturales, recreativas y comerciales como al Escuela Juana Rosario, El Museo Aguadeño, recintos del gobierno estatal (Tribunal de Primera Instancia) y la oficina de postal de USPS, sirve además como acceso a la playa Pico de Piedra y la carretera estatal PR-115. Siendo esta vía sumamente concurrida por su ubicación y acceso a múltiples lugares del pueblo de Aguada, se contempla la revitalización total de esta vía de acceso. Se construirán aceras a lo largo de toda la Avenida de conformidad con las normas de la ADA. Se construirán encintados y cunetas de ser necesario. Se instalarán aproximadamente 106 postes de alumbrado a lo largo de la Avenida para brindar mayor seguridad a todos aquellos que transiten por esa zona. Además, se agregará reforestación a lo largo del camino y se asfaltará toda la vía. Sobre este particular, el DRNA emite los siguientes comentarios:

1. El predio propuesto para desarrollo ha sido identificado como Zona A de acuerdo con la hoja C0140J de los Mapas de Niveles de Inundación Base Recomendados preparados por la Agencia Federal para el Manejo de Emergencias y adoptados por la Junta de Planificación según la Resolución Núm. ABFE-02 del 11 de julio de 2018. A estos efectos, se deberá cumplir con las disposiciones del Reglamento de Planificación Núm. 13







## Recomendación Ambiental

(Reglamento sobre Áreas Especiales de Peligro a Inundación).

2 . Las obras propuestas podrían requerir un permiso del Cuerpo de Ingenieros bajo la Sección 404 de la Ley de Agua Limpia, ya que puede haber una descarga de material en terrenos jurisdiccionales. También podría requerir un permiso de dicha entidad federal bajo la Sección 10 de la Ley de Ríos y Puertos ya que las estructuras propuestas podrían afectar o estar en aguas jurisdiccionales.

4 . De haber un impacto a la Quebrada con relación a la construcción del puente, previo a la otorgación de un permiso deberá radicar una Recomendación de la División de Medioambiente para que la misma sea referida para el Departamento de Recursos Naturales y Ambientales (DRNA), agencia con jurisdicción sobre los cuerpos de agua. Además, deberá radicar una solicitud de Estudio Hidrológico-Hidráulico (H-H) ante el DRNA.

Además, se le apercibe que:

- Previo a cualquier extracción de la corteza terrestre deberá cumplir con la Regla 3.4.1 y Sección 3.4.1.3 – (Permiso Único Incidental Operacional - Permiso de Actividad Incidental a una obra autorizada) del Reglamento Conjunto para la evaluación y expedición de permisos relacionados al desarrollo, uso de terrenos y operación de negocios. Se le apercibe que la Ley Núm. 132 de 25 de junio de 1968, según enmendada y su Reglamento, prohíben la extracción, excavación, remoción y dragado de material de la corteza terrestre sin el permiso correspondiente.
- De ser necesario el corte de árboles, deberá cumplir con la Regla 3.4.1 y 3.4.2 – (Permiso Único Incidental Operacional - Autorización de Corte, Poda, Trasplante y Siembra de Árboles) del Reglamento Conjunto para la evaluación y expedición de permisos relacionados al desarrollo, uso de terrenos y operación de negocios. Se le apercibe que la Ley Núm. 133 de 1 de julio de 1975, según enmendada prohíbe el corte y poda de árboles sin el permiso correspondiente.
- Deberá establecer un programa de reforestación utilizando especies nativas que además de ayudar a minimizar la erosión beneficien la vida silvestre. Esta medida es cónsona con la Ley para Fomentar la Siembra de Árboles Cuyas Frutas y/o Semillas Provean Alimento a Especies de Aves Silvestres de Puerto Rico (Ley Núm. 97 de 24 de junio de 1998), la cual establece lo siguiente: "En todo proyecto de reforestación en que se utilicen fondos públicos o privados, o en una combinación de estos, un 15% en las áreas rurales y un 10% en las áreas urbanas del total de árboles a ser sembrados, serán de especies cuyas frutas y/o semillas sirvan de alimento a las aves silvestres que residan temporal o permanentemente en ésta".
- Deberá Presentar Certificación de Hábitat, según el Capítulo 9.13 del Reglamento Conjunto para la evaluación y expedición de permisos relacionados al desarrollo, uso de terrenos y operación de negocios. Dicha Certificación deberá ser tramitada en el DRNA, en conformidad con la Ley Núm. 241 de 15 de agosto de 1999, La Nueva Ley de Vida Silvestre de Puerto Rico, el Reglamento 6765 Reglamento para Regir La Conservación y el Manejo de La Vida Silvestre, Las Especies Exóticas y la Caza en el Estado Libre Asociado de Puerto Rico y la Orden Administrativa Núm. 2010-09, Para Establecer los Procedimientos y Requisitos Para La Evaluación, Categorización y Mitigación de Hábitats.
- Deberá cumplir con las disposiciones del Reglamento Conjunto para la evaluación y expedición de permisos relacionados al desarrollo Sección 5.1.2.2 Análisis de riesgos a deslizamientos y otras condiciones del subsuelo, que indica: para todo proyecto de urbanización, incluyendo urbanizaciones vía excepción, se tomará en consideración el riesgo a deslizamientos y otras condiciones del subsuelo mediante la presentación de un estudio geotécnico certificado por un ingeniero licenciado que evalúe la geología e hidrología del terreno, presencia de fallas geológicas, historial de deslizamientos en la





## Recomendación Ambiental

zona, susceptibilidad del terreno a los mismos, topografía, presencia del materiales de depósitos de deslizamientos (QI) según descritos en los cuadrángulos geológicos de Puerto Rico por el USGS y las propiedades ingenieriles del subsuelo, entre otros. • De tener alguna descarga de escorrentía a cualquier cuerpo de agua durante la operación, deberá consultar a la Agencia Federal de Protección Ambiental para determinar si dichas descargas requieren un permiso "NPDES" de acuerdo al Código Federal de Reglamentación Número 40, Sección 122.26 (b) (14) (x). • Para la fase de Permiso de Urbanización o de Construcción será responsabilidad del Peticionario previo las labores de remoción de extracción de los materiales de la corteza terrestre el obtener y mantener en vigor el Permiso General Consolidado por la Oficina de Gerencias de Permisos (OGPe) para el área de operaciones objeto del permiso" a través de la Regla 3.4.1 - Permiso Único Incidental Operacional del Reglamento Conjunto para la Evaluación y Expedición de Permisos Relacionados al Desarrollo, Uso de Terrenos y Operación de Negocios del 2 de enero de 2021. • De descubrirse en el predio objeto de desarrollo algún cuerpo de agua superficial o subterráneo, sea perenne o intermitente, deberá informarlo inmediatamente al DRNA y demás agencias concernidas. No informar hallazgos de este tipo, así como las medidas de mitigación que se implantarán para proteger estos recursos naturales conllevará una revocación automática de la presente comunicación de no objeción y podrá ser base para acciones legales por parte de la Junta de Planificación (JP) en los foros correspondientes. • Deberá cumplir con las disposiciones de la Sección 5.1.9.4 (Manejo de Aguas Pluviales) del Reglamento Conjunto para la evaluación y expedición de permisos relacionados al desarrollo, uso de terrenos y operación de negocios. Esta recomendación es solamente aplicable a la situación de hechos y los datos según presentados y evaluados en el caso y el Secretario Auxiliar se reserva el derecho de reevaluar, variar o modificar el mismo en cualquier momento anterior a la emisión del permiso o la acción administrativa correspondiente por parte de la agencia solicitante o proponente cuando surja nueva información oficial específica estableciendo que el derecho aplicable o las condiciones ambientales en el predio han cambiado sustancialmente, o cuando el endoso original se emitió bajo premisas falsas o fraudulentas.

### DRNA-ADS

La Autoridad de Desperdicios Sólidos, en adelante ADS o Autoridad\* (ver nota al final del documento), adscrita a la Secretaría Auxiliar de Permisos, Endosos y Servicios Especializados del DRNA ha recibido la solicitud de Recomendación Ambiental (REA) referida electrónicamente por la Oficina de Gerencia de Permisos (OGPe) relacionada con el proyecto de referencia. La acción propuesta consiste en la revitalización de la vía municipal del Nuevo Desvío Sur de Aguada también conocida como Avenida Nativo Alers. Este proyecto implica mejoras sustanciales conocidas como "Calle Completa". La carretera Avenida Nativo Alers mantiene un tráfico promedio diario de 13,836 vehículos. Esta vía sirve de puerta de entrada al casco urbano, conecta el casco urbano con las comunidades de Reparto Minerva, Alturas de Aguada, áreas deportivas, culturales, recreativas y comerciales como la Escuela Juana Rosario, El Museo Aguadeño, recintos del gobierno estatal (Tribunal de Primera Instancia) y la oficina de postal de USPS, sirve además como acceso a la playa Pico de Piedra y la carretera estatal PR-115. Siendo esta vía sumamente concurrida por su ubicación y acceso a múltiples lugares del pueblo de Aguada, se contempla la revitalización total de esta vía de acceso. Se construirán aceras a lo largo de toda la Avenida de conformidad con las normas de la ADA. Se construirán encintados y cunetas de ser necesario. Se instalarán aproximadamente 106 postes de





## Recomendación Ambiental

alumbrado a lo largo de la Avenida para brindar mayor seguridad a todos aquellos que transiten por esa zona. Además, se agregará reforestación a lo largo del camino y se asfaltarán toda la vía. El DRNA emite sus comentarios al proyecto propuesto basados en la aplicación de leyes y reglamentos vigentes promulgados por la extinta ADS\*(ver nota al final del documento) y entre otras regulaciones relacionadas con el manejo y disposición de los desperdicios sólidos y los materiales reciclables para las diferentes fases del proyecto. Las recomendaciones son de aplicabilidad al proyecto propuesto de este obtener la autorización y permisos requeridos para su ubicación, desarrollo, construcción u operación. Tomando en consideración lo antes mencionado se emiten las siguientes recomendaciones: 1. Todo desarrollo propuesto deberá promover la recuperación de materiales reciclables y el manejo y disposición tanto de los reciclables como de los desperdicios sólidos sea el adecuado, según dispuesto bajo Ley Núm. 70 - 1992, Ley para la Reducción y Reciclaje de los Desperdicios Sólidos, según enmendada; Reglamento para la Reducción, Reutilización y Reciclaje de Desperdicios Sólidos (Reglamento Núm. 6825 de 2004), según enmendado Reglamento Núm. 7940 de 2010, conocido como "Enmienda al Reglamento para la Reducción, Reutilización y el Reciclaje de los Desperdicios Sólidos en Puerto Rico. Desarrollar e implantar reglas y requisitos para establecer estrategias que disminuyan el volumen, cantidad y peligrosidad de los residuos sólidos que requerirán disposición final y propiciar su viabilidad económica y ambiental. Indicar la entidad responsable (municipio o compañía privada) del recogido y disposición de los desperdicios sólidos y los materiales reciclables. 2. Cumplir con los requerimientos establecidos bajo el Reglamento Conjunto para la evaluación y expedición de permisos relacionados al desarrollo, uso de terrenos y operación de negocios (Reglamento Conjunto) Todo desarrollo propuesto deberá cumplir con las disposiciones bajo las Secciones 3.2.1.1 y 3.2.1.2, Regla 3.2.1 Permisos de Construcción, Capítulo 3.2 Edificación y Conservación de energía; Capítulo 3.4 Permisos de Medioambiente, Regla 3.4.1 Permiso único incidental operacional, Capítulo 3.6 Permisos generales del Tomo III Permisos para el desarrollo y negocios del Reglamento Conjunto, según aplique. 3. Toda obra o desarrollo propuesto que realice alguna de las disposiciones incluidas en el Capítulo 3.2 Edificación y Conservación de energía Regla 3.2.1 Permisos de construcción Sección 3.2.1.1 Disposiciones generales, deberá radicar en el DRNA el Plan de Reciclaje fase de construcción para su correspondiente evaluación. Este deberá cumplir con lo siguiente (según aplique): a. Para los proyectos en los cuales no se emplee más de 10 personas, el desarrollador, proponente o contratista solicitará una Exención para la radicación del Formulario del Plan de Reciclaje para la fase de construcción. La solicitud para la exención del Plan de Reciclaje puede radicarla a través de la página del DRNA en Formularios en línea. b. Para los proyectos que empleen más de 10 personas deberá radicar el Formulario del Plan de Reciclaje para la fase de Construcción, junto a un Memorial Explicativo. c. En caso de demoliciones, deberán radicar el Formulario del Plan de Reciclaje e indicar la cantidad de escombros de construcción a generarse en el proyecto que incluya alternativas para el manejo (reciclaje, reúso) y disposición. d. Tanto el Formulario del Plan de Reciclaje para la fase de construcción como para el de demolición pueden radicarlo a través de la dirección electrónica [construccion@ads.pr.gov](mailto:construccion@ads.pr.gov) y [construccion@drna.pr.gov](mailto:construccion@drna.pr.gov) 4. Todo proceso de almacenaje, manejo y disposición de los desperdicios sólidos no peligrosos a ser generados durante las diferentes fases del proyecto propuesto, serán realizados en conformidad con lo estipulado bajo el Reglamento para el manejo de desperdicios no peligrosos, Reglamento Núm. 5717-1997. 5. Tomar las medidas necesarias para evitar que residuos de sustancias orgánicas e inorgánicas como aceites, combustibles u otras sustancias químicas,





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puedan ser arrastradas por la escorrentía y ganen acceso a cualquier cuerpo de agua o sistema pluvial del área. 6. De efectuar movimiento de tierra que por su volumen total excedan de 40m<sup>3</sup>, solicitar a través de la Oficina de Gerencia de Permisos (OGPe) el Permiso Único Incidental Operacional, a tenor con la Regla 3.4.1 del Reglamento Conjunto. 7. En relación con el posible uso de equipos que puedan ser fuentes de emisión atmosféricas (generadores de electricidad, bombas, entre otros) deberán obtener del Área de Calidad de Aire del DRNA los permisos correspondientes conforme al Reglamento Número 5300 del 28 de agosto de 1995 conocido como el Reglamento para el Control de la Contaminación Atmosférica. 8. Mantener los camiones de carga que se utilicen para transportar escombros y/o materiales de construcción cubiertos con toldos mientras estén en movimiento, para evitar la generación de polvo fugitivo. Los camiones de acarreo de desperdicios deberán contar con el Permiso para Operar Servicios de Recolección o Transportación de desperdicios Sólidos No- Peligrosos (Permiso DS-1), emitido por el DRNA, para transportarlos hasta una instalación de disposición final o reciclaje. 9. Deberán tomar las medidas necesarias para controlar el área durante la construcción para evitar exponer a los vehículos a recoger lodo, polvo, sustancias pegajosas o material viscoso en las ruedas u otras partes del vehículo, los cuales a su vez puedan ser depositados en las calles u otro sitio público y así mantener las vías públicas y alrededores del proyecto libres de acumulación de desechos de construcción. 10. En lo relacionado al nivel de sonido máximo permitido, cumplir con el Reglamento Número 8019 del 9 de mayo de 2011, conocido como el Reglamento para el Control de la Contaminación por Ruido. 11. El proponente/desarrollador/contratista del proyecto será responsable de cumplimentar las Leyes y Reglamentos antes mencionadas. Cumplirá con los permisos requeridos bajo las leyes y reglamentos vigentes. Además, de la documentación requerida por las agencias concernidas (En particular con los requerimientos y recomendaciones otras Áreas y Divisiones del DRNA). Las recomendaciones emitidas aplican a los hechos presentados y evaluados al momento. El DRNA se reserva el derecho de reevaluar y modificar los mismos en el caso de surgir información oficial que identifique que las condiciones han cambiado, o cuando los comentarios hayan sido emitidos bajo premisas falsas. Además, el DRNA tiene la facultad de solicitar cualquier información adicional que entienda pertinente y que, de conformidad con las leyes y reglamentaciones vigentes, garantice el interés público y la protección del ambiente. \*Nota : "De acuerdo con el Plan de Reorganización del Departamento de Recursos Naturales y Ambientales de 2018, Ley 171 del 2 de agosto de 2018, Sección 92 – Cláusula de sustitución – Cualquier referencia a la Autoridad de Desperdicios Sólidos, contenida en cualquier ley, reglamento o documento oficial del Gobierno de Puerto Rico se entenderá enmendada a los efectos de referirse al Departamento de Recursos Naturales y Ambientales que se entenderá como su sucesor para todos los fines legales correspondientes."

## Arqueología y Conservación Histórica

COMENTARIO DACH-ICP A CASO NUM: 2022-459200-REA-010802 PROYECTO: El Nuevo Desvio Sur BASE LEGAL: Se emite el siguiente comentario en base a la Ley 374 del 14 de marzo de 1949, según enmendada, Ley de Zonas Antiguas o Históricas y Zonas de Interés Turístico, Ley 3 del 2 de marzo de 1951, Ley de Edificios y otras Estructuras Históricas y la Ley 89 del 21 de junio de 1955, según enmendada, conocida como Ley Orgánica del Instituto de Cultura Puertorriqueña y la Ley 161 del 1 de diciembre de 2009, conocida como Ley para la Reforma del Proceso de Permisos de Puerto Rico. Estas leyes le confieren jurisdicción sobre







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los siguientes asuntos: 1. Edificios, lugares y zonas incluidas en el Registro de Sitios y Zonas Históricas de Puerto Rico de la Junta de Planificación (REGLAMENTO CONJUNTO PARA LA EVALUACIÓN Y EXPEDICIÓN DE PERMISOS RELACIONADOS AL DESARROLLO, USO DE TERRENOS Y OPERACIÓN DE NEGOCIOS); 2. Edificios, lugares y zonas declaradas históricas a través de legislación (o de resolución de la JUNTA DE DIRECTORES DEL ICP; 3. Plazas de recreo y edificios circundantes (REGLAMENTO CONJUNTO PARA LA EVALUACIÓN Y EXPEDICIÓN DE PERMISOS RELACIONADOS AL DESARROLLO, USO DE TERRENOS Y OPERACIÓN DE NEGOCIOS); 4. Propiedades zonificadas "P" construidas previo a 1960 (RESOLUCIÓN JPE-25 Y RESOLUCIÓN JPE-047); 5. Propiedades zonificadas "CRH", "SH" o "R-ZH"- Según REGLAMENTO CONJUNTO PARA LA EVALUACIÓN Y EXPEDICIÓN DE PERMISOS RELACIONADOS AL DESARROLLO, USO DE TERRENOS Y OPERACIÓN DE NEGOCIOS; 6. Propiedades elegibles a sitios históricos; propiedades de valor histórico que satisfacen los criterios de elegibilidad como sitios históricos para ser designada como tal individualmente (LEY NÚM. 89 DE 1955; REGLAMENTO CONJUNTO PARA LA EVALUACIÓN Y EXPEDICIÓN DE PERMISOS RELACIONADOS AL DESARROLLO, USO DE TERRENOS Y OPERACIÓN DE NEGOCIOS); I. PROGRAMA DE PATRIMONIO HISTORICO EDIFICADO (PPHE): ICP-PPHE: RECOMENDACION FAVORABLE. De acuerdo a nuestros expedientes y la información provista: 1. El proyecto presenta los planos preliminares de construcción en donde se ilustran todos los elementos de rehabilitación que se detallan en el memorial explicativo general; tales como: escarificación y repavimentación de asfalto, reconstrucción de encintados y aceras, mejoras al área de siembra y plan de reforestación, mejoras al sistema de iluminación, marcado de pavimentación y señalización (rotulación) permanente; entre otras accesorias o de carácter menor en la Avenida Nativo Alers. 2. El proyecto es subvencionado con fondos federales del programa de Revitalización Urbana del Departamento de la Vivienda. El presupuesto del proyecto se limita a las actividades de mejoras de rehabilitación de carácter no invasivo antes indicadas y las cuales se circunscriben al derecho de vía existente. No se proponen obras u actividades de construcción sobre terrenos de propiedades privadas o públicas fuera del derecho de vía existente de la actual Nativo Alers. 3. Que NO se propone afectación directa o indirecta sobre ninguna estructura privada o pública en área de los terrenos donde ubica antigua estación del tren. El programa de diseño contempla un plan de marcado y señalización permanente que evite el uso de los carriles o paseos de emergencia contiguos a los terrenos de la antigua estación del tren para otros fines; tales como zona de carga y descarga según ocurre al presente. Incluso, se implementará por parte de la policía municipal y estatal un agresivo plan de seguridad vial para garantizar el cumplimiento de las señalizaciones propuestas. Todo lo anterior propone garantizar la protección de la arquitectura visual de la antigua estación del tren en completa armonía con el tráfico natural de la Avenida Nativo Alers en conjunto con la actividad de usos que allí existe. En este marco de referencia y conforme a los documentos sometidos, se emite una Recomendación Favorable al proyecto. Esta recomendación no incluye los elementos a evaluarse conforme a la Ley 112-1988, Ley de Patrimonio Arqueológico Terrestre, lo cual de llevar a cabo obras que impacten la corteza terrestre, debe hacerse mediante solicitud separada al Programa de Arqueología y Etnohistoria del ICP. Las evaluaciones ambos programas son necesarias para concluir el proceso con esta agencia. Este documento tiene vigencia de un año a partir de su expedición. II. PROGRAMA DE ARQUEOLOGIA Y ETNOHISTORIA (PAE). Base Legal: La Ley 161-2009, según enmendada, Artículo 19.6, enmienda las Secciones 2 y 3 de la Ley Núm. 112 de 20 de julio de 1988, según enmendada, conocida como "Ley de Protección del Patrimonio Arqueológico Terrestre de Puerto Rico", a los fines de





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transferir al Instituto de Cultura Puertorriqueña toda facultad, deber u obligación referente a la evaluación para la otorgación o denegación de determinaciones finales o permisos, esto en coordinación con la Oficina de Gerencia de Permisos. El Reglamento Conjunto para la Evaluación y Expedición de Permisos Relacionados al Desarrollo, Uso de Terrenos y Operaciones de Negocios (RC-2020); registrado en el Departamento de Estado de Puerto Rico bajo el Número 9233 con vigencia de 2 de enero de 2021, establece, entre otros, lo siguiente: a. Regla 2.1.8, Sección 2.1.8.7, Inciso "b": Todo proyecto público o privado que conlleve movimiento de terreno, excavación, extracción de corteza terrestre o construcción, reconstrucciones o canalizaciones deberá solicitar a la División o Unidad de Evaluación Ambiental (DECA) la recomendación del ICP sobre Arqueología y Conservación Histórica, ya sea a través de la OGPe, los Municipios Autónomos con Jerarquía 1 a la III o el Profesional Autorizado. b. CAPÍTULO 10.2, Sección 10.2.1.2 se requerirá la recomendación del ICP en todos los Permisos relacionados con construcción, reconstrucción, trabajos de excavación, extracción o movimiento de tierras en lugar alguno del que haya documentación previa o indicios fidedignos de presencia de material arqueológico. Incluye los centros fundacionales de los municipios, entiéndase, plaza de recreo y bloques circundantes, conforme a la Ley 89-1955, supra, Sección 4. —Propósitos, Funciones y Poderes del Instituto. (18 L.P.R.A. sec. 1198) y la Ley Número 112 del 20 de julio de 1988, conocida como la "Ley de Protección del Patrimonio Arqueológico Terrestre", según enmendada. IV. EVALUACIÓN PROGRAMA DE ARQUEOLOGIA Y ETNOHISTORIA ICP-PAE---AUTORIZACION--- El Programa de Arqueología y Etnohistoria (PAE) del Instituto de Cultura Puertorriqueña evaluó los documentos relacionados al proyecto en referencia, recibidos a través de la División de Arqueología y Conservación Histórica de la Oficina de Gerencia de Permisos (OGPe). La evaluación realizada sugiere que, basado en los datos existentes al presente, las probabilidades de impactar un recurso arqueológico, según definido por la Ley 112 del 20 de julio de 1988, según enmendada, son mínimas. Por lo tanto, en lo concerniente a recursos culturales de naturaleza arqueológica, no tenemos objeción al proyecto según fue radicado y evaluado. Le notificamos que el proponente queda sujeto a las responsabilidades y obligaciones que impone la Ley 112 del 20 de julio de 1988, según enmendada. Esta establece que, se deberá paralizar todo tipo de actividad de excavación, movimiento y remoción de corteza terrestre, y notificar en un plazo de veinticuatro (24) horas al PAE en caso de que, durante el desarrollo del proyecto, se descubra o impacte algún depósito, elemento, estructura o vestigio de naturaleza arqueológica. V. RECOMENDACIÓN: La División de Arqueología y Conservación Histórica de la OGPe emite una Autorización Parcial para el proyecto propuesto según establecido y bajo las condiciones emitidas por el Programa de Patrimonio Histórico Edificado y el Programa de Arqueología y Etnohistoria del ICP. Se le apercibe que el incumplimiento de estos requerimientos será objeto de sanciones administrativas, según lo establecido en las citadas leyes.

### División de Evaluación de Cumplimiento Ambiental

En el Documento de Evaluación Ambiental (DEA) que se someta se deberá atender los comentarios y requerimientos que hayan emitido las agencias comentadoras. La DEA deberá ser tramitada a través del Single Business Portal (SBP).

Se incluyen los comentarios del Departamento de Recursos Naturales y Ambientales (JCA y ADS) bajo la División de Medioambiente.





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### Condiciones Generales

Esta recomendación es solamente aplicable a la situación de hechos y los datos según presentados y evaluados en el caso. La OGPe se reserva el derecho de reevaluar, variar o modificar el mismo en cualquier momento anterior a la emisión del permiso o requerir la acción administrativa correspondiente por parte de la agencia solicitante o proponente cuando surja nueva información oficial específica estableciendo que el derecho aplicable o las condiciones ambientales en el predio han cambiado sustancialmente, o cuando la recomendación original se emitió bajo premisas falsas o fraudulentas.

Habido recibido los comentarios de las agencias gubernamentales concernidas. Esta información será utilizada para la presentación del Documento Ambiental correspondiente a ser evaluado por la División de Evaluación de Cumplimiento Ambiental.

### Vigencia

Las vigencias de las diferentes agencias del proceso de recomendación serán los establecidos en las comunicaciones que en estas emitan conforme a sus reglamentos. Esta recomendación ambiental tendrá una vigencia de trescientos sesenta y cinco (365) días a partir de su expedición.

### Condiciones Especiales

NINGUNA

### Firma / Sellos

#### Fecha de Expedición:

13/MAR/2023





GOBIERNO DE PUERTO RICO  
DEPARTAMENTO DE RECURSOS NATURALES Y AMBIENTALES

MAY 08 2023

LUIS M GARCIA ORTA  
P O BOX 8284  
PONCE, PR 00732  
[lmgorta@gmail.com](mailto:lmgorta@gmail.com)

Estimado señor García Orta:

**Certificación para Categorización de  
Hábitats Naturales para la Vida Silvestre  
Rehabilitación de Ave. Nativo Alers (Nuevo Desvío Sur)  
Ave. Nativo Alers desde Intersección con Carr. PR-115 hasta Intersección con Carr. PR-417  
Bos. Guayabo & Piedras Blancas, Aguada  
O-SE-CCH01-PO-00057-24022023**

*RM*

El Departamento de Recursos Naturales y Ambientales (DRNA) evaluó una Solicitud de Certificación para Categorización de Hábitats Naturales para la Vida Silvestre para el proyecto de epígrafe. La misma fue evaluada de acuerdo con las disposiciones aplicables relacionadas con la fauna, la flora y sus hábitats de la Ley 416 del 2004, según enmendada (*Ley Sobre Política Pública Ambiental*), su Reglamento 7591 de 2010 (*Reglamento Conjunto para la Evaluación y Expedición de Permisos Relacionados al Desarrollo, Uso de Terrenos y Operación de Negocios*), la Ley 23 del 1972, según enmendada (*Ley Orgánica del Departamento de Recursos Naturales y Ambientales de Puerto Rico*), la Ley 150 de 1988, según enmendada (*Ley del Programa de Patrimonio Natural de Puerto Rico*), la Ley 314 de 1998 (*Ley para Declarar la Política Pública sobre Humedales y Designación de Caño Tiburones como Reserva Natural*), la Ley 292 del 1999 (*Ley para la Protección de la Fisiografía Cársica de Puerto Rico*) y su Reglamento 8486 de 2014 (*Plan y Reglamento del Área de Planificación Especial del Carso*) y la Ley 241 del 1999, según enmendada (*Nueva Ley de vida silvestre de Puerto Rico*) y sus Reglamentos 6765 de 2004 (*Reglamento para regir la conservación y el manejo de la vida silvestre, las especies exóticas y la caza en el Estado Libre Asociado de Puerto Rico*) y 6766 del 2004 (*Reglamento para regir las especies vulnerables y en peligro de extinción en el Estado Libre Asociado de Puerto Rico*), así como de la Orden Administrativa del DRNA 2010-09 y el *Puerto Rico State Wildlife Action Plan* del DRNA, adoptado en Septiembre, 2015. En cuanto al Inventario de flora y fauna incluido en la solicitud, encontramos que cumplió satisfactoriamente con las disposiciones aplicables de la Ley 416 del 2004, *supra*, y su Reglamento 7591, *supra*, documentando de forma representativa la flora y la fauna del lugar.

El predio del proyecto ocupa unos 2,400 metros lineales. Es un predio ocupado por una carretera de cuatro carriles y su servidumbre de paso, que bordea un área urbana. Se proponen mejoras a la carretera tales como asfaltado, reconstrucción de cunetas y encintados, instalación de 106 postes de alumbrado, así como



la reforestación paisajista de las orillas. No hay reportes de especies de flora o fauna Vulnerables o En Peligro de Extinción.

Como resultado de dicha evaluación, hemos categorizado el predio como **Hábitat Natural con Bajo Potencial de Convertirse en Hábitat Esencial, Hábitat de Alto Valor Ecológico o Hábitat de Valor Ecológico (Categoría 6)**. El Artículo 2.03 del Reglamento 6765, supra, establece lo siguiente para esta categoría:

"La meta de la mitigación es minimizar el impacto al hábitat. El Departamento deberá actuar para alcanzar las metas de la mitigación de hábitat recomendando o exigiendo acciones que minimicen la pérdida directa de hábitat y que evite impacto a otro hábitat fuera del área a impactarse."

Este documento es una calificación de los hábitats naturales sitios en el predio de epígrafe, requerida por los estatutos legales vigentes. **No constituye un permiso para la construcción u operación del proyecto propuesto.**

Esta certificación es solamente aplicable a la situación de hechos según presentados y evaluados en el caso y la Secretaria se reserva el derecho de evaluar, variar o modificar el mismo en cualquier momento anterior a la emisión del permiso o la acción administrativa correspondiente por parte de la agencia solicitante o proponente, de surgir nueva información oficial especifica estableciendo que el derecho aplicable o las condiciones ambientales en el predio han cambiado sustancialmente o cuando la certificación original se emitió bajo premisas falsas o fraudulentas.

Si tiene alguna pregunta o necesita orientación sobre este asunto, puede escribirnos a la dirección indicada o comunicarse al teléfono 787-999-2200 extension 2846.

Cordialmente,



Mercemar Rodríguez Santiago

Secretaría Auxiliar

Secretaría Auxiliar de Permisos, Endosos y Servicios Especializados



## Recibo de Pago

PERMISO: 2022-459200-DEA-011458

DESCRIPCIÓN	CANTIDAD	NÚM. RECIBO	FECHA DE ENVÍO
Costo Base del Trámite	\$ 300,00	05232303859V	5/23/2023 1:45:32 PM

Total: \$300,00

## **Appendix G**

### **SOIL STUDY / CERTIFICACION DE HABITAT**

*ON THE GEOTECHNICAL EXPLORATION  
PERFORMED AT THE SITE OF THE PROPOSED  
NATIVO ALERS AVENUE (DESVÍO SUR), GUAYABO AND  
PIEDRAS BLANCAS WARD, AGUADA, PUERTO RICO*

*SUBMITTED TO:*

*J. CAJIGAS & ASSOCIATES, PSC*

*C/O: JORGE L. CAJIGAS MORALES, P.E. – PROJECT DESIGNER*

*PREPARED BY:*

*RAFAEL GONZÁLEZ SOSA, P.E.*

***RGS*** *GEOTECHNICAL ENGINEERS, PSC*

*P.O. BOX 2125  
ISABELA, PR 00662*

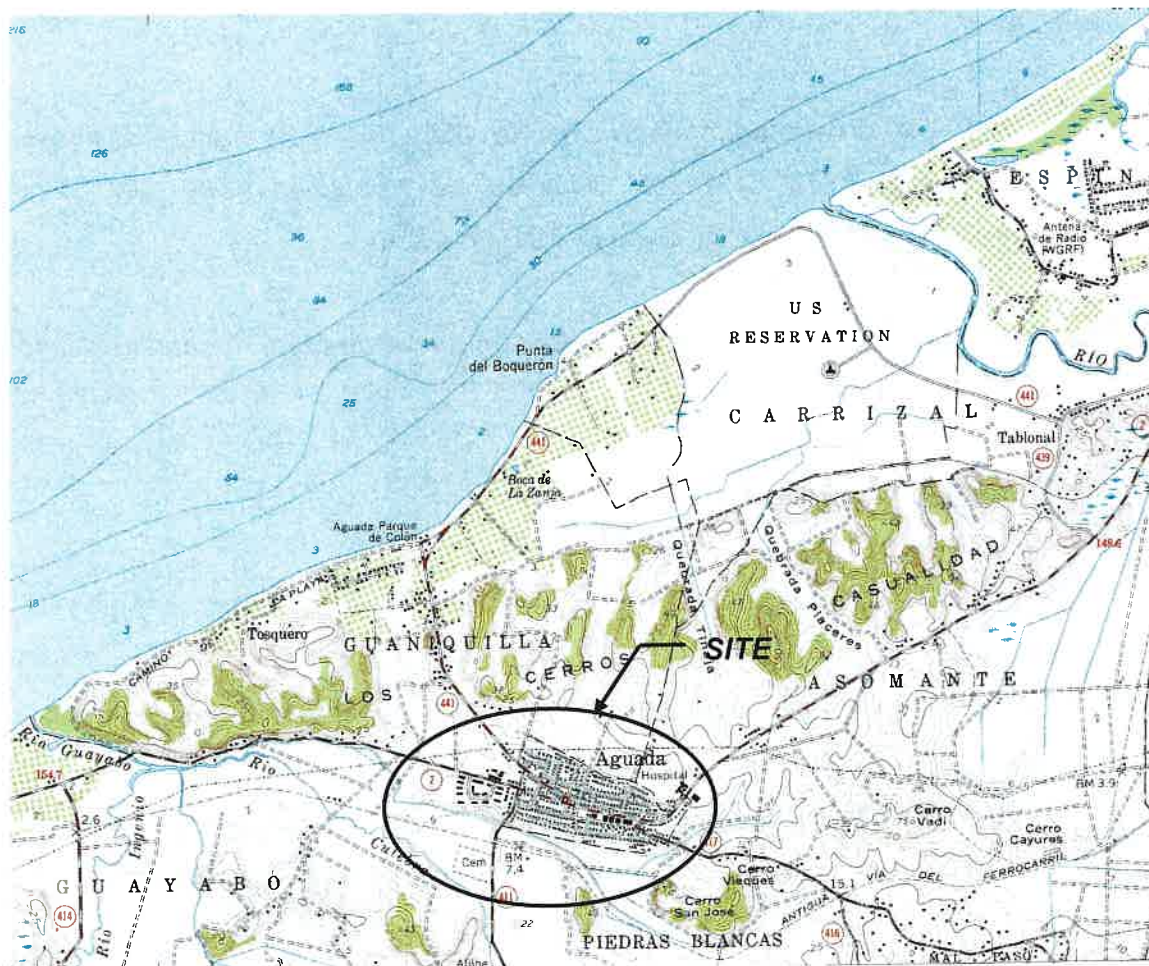
*MAY 12, 2023*

*FILE NO. 153*



## 2.0 SITE LOCATION AND PROJECT DESCRIPTION:

The site of the proposed project is located at Nativo Alers Ave., Guayabo and Piedras Blancas Wards, Aguada, Puerto Rico. According to information provided to this office, the proposed project considers the geometric improvements of the existing avenue. The following **Figure 1** shows portion of US Geological Survey Service Topographic Map of the Aguadilla Quadrangle with the site location enclosed.



**Figure 1: Site Location Map**

*The above described man-made fill layer is resting over various layers of natural alluvial layers varied in composition with respect to location from predominant clay, organic matter, peat and sandy clays, extending to a depth of 58.0 ft.*

*Underlying the aforementioned stratum and extending to the end of the test hole, the exploratory work shows pale brown sandy rock fragments with clay.*

#### **4.2 Boring No.2:**

*The general subsoil conditions as disclosed from the test borings drilled at the subject site consist of a man-made fill deposit composed of brown sandy clay trace to some limestone fragments, extending to a depth of 4.0 ft., below existing ground elevation.*

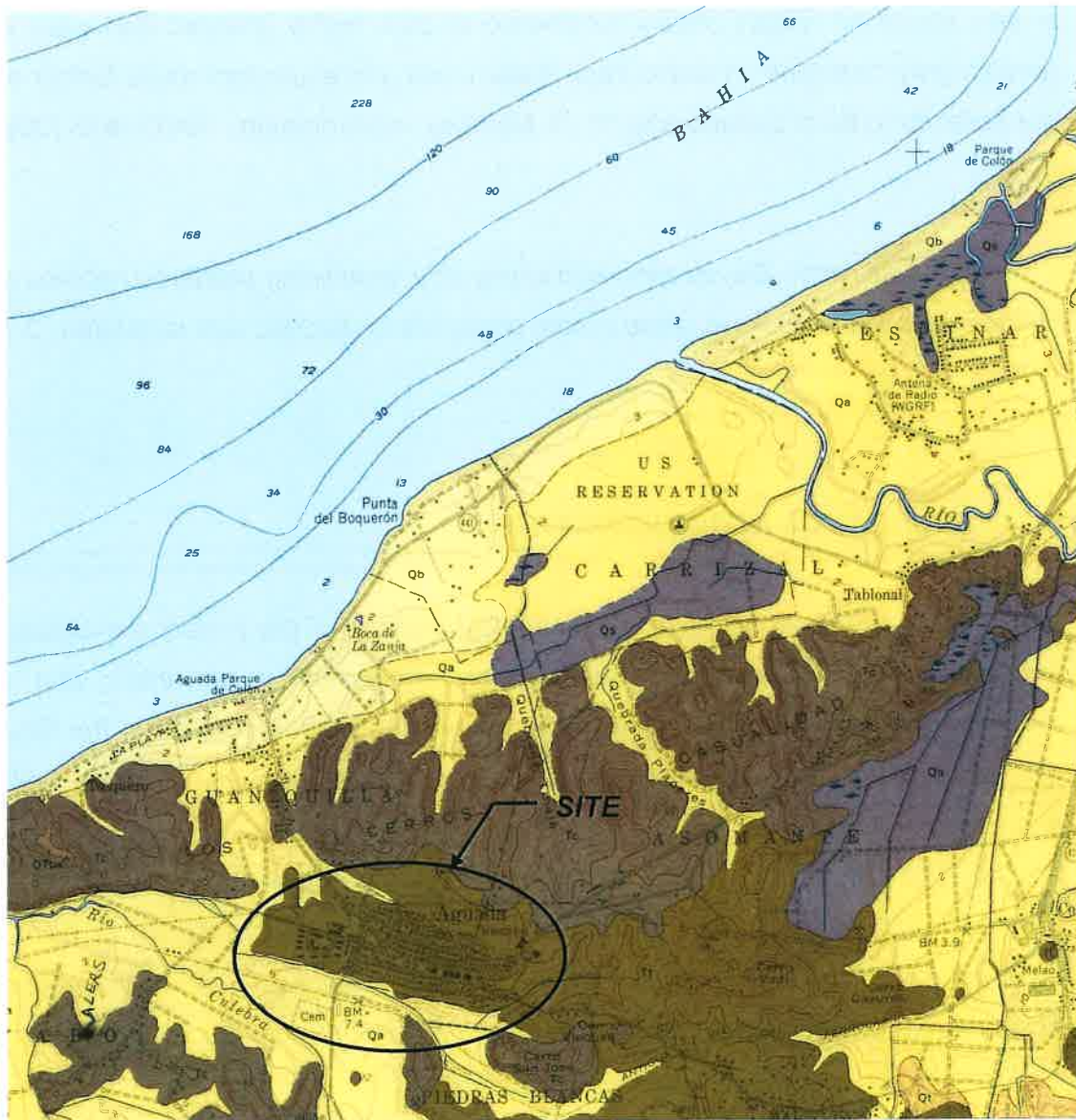
*Underlying the aforementioned stratum and extending to the end of the test hole, the exploratory work shows various layers of natural alluvial layers varied in composition with respect to location from predominant clay, organic matter, and sandy clays – clayey sand with limestone fragments.*

#### **4.3 Boring No.3:**

*The general subsoil conditions as disclosed from the test borings drilled at the subject site consist of a man-made fill deposit composed of brownish gray sandy rock fragments trace to some sand with concrete debris, extending to a depth of 6.0 ft., below existing ground elevation.*

## 5.0 U.S. GEOLOGICAL SURVEY MAPS:

The Department of the Interior through its U.S. Geological Survey offices published a Geologic Map No. I-569 Aguadilla Quadrangle.



**Figure 2: U.S. Geological Survey Map**

*The deposits encountered as disclosed by these test borings, not necessarily represent the most critical conditions of the site, and might vary from one boring to another. These recommendations are based on the subsoil conditions as encountered on the test borings rather than the worst conditions of the site.*

### **6.1 Box Culvert Foundation Recommendations:**

*We understand that the intended project shall require the design and construction of a concrete box culvert structure crossing Nativo Alers Avenue at west of Aguada Town Center. At the time of this report our project general analysis, evaluations and earthwork construction recommendations, have been formulated using preliminary drawings; the existing and final grading plan of the proposed structure was not available.*

*Specific details regarding the structure design loads were not provided at the time of this report was prepared. Based on the above information, and the results of the borings, specific design and construction recommendations for the foundation are provided in the following sections.*

*The results of the exploratory work uncovered a man-made fill deposit composed of various layers of brown sandy clay trace to some limestone fragments, underlain by grayish brown clay trace sand – rock fragments, at the uppermost 6.0 ft., on boring No.2, underlain by native alluvial soil composed of brownish gray, dark gray, greenish gray clay; black organic matter, peat; yellowish brown sandy, clayey limestone fragments, extending to a depth of 33.0 ft.*

*Standard Penetration Tests (SPT) results on fill material varied from 5 bpf to 13 bpf indicating variable strength conditions. Fill material when properly compacted*



To improve the actual creek bottom condition and to provide a safe foundation fill, the existing unstable soil material along the creek has to be partially removed as follows:

1. Over-excavate at least 7.0 ft. below the footing base elevation along the proposed site improvements. The depth of the unstable loose soil material to be removed shall be determined directly on the field during the progress of the excavation under the direct supervision of a geotechnical engineer or his representative. However, for cost estimate purpose the soil removal shall be estimated in the order of 7.0 ft. deep below footing base elevation. The over excavation shall be extended 1.0 meter beyond the periphery of the footings.
2. The exposed subsoil shall be compacted until a firm surface is achieved. Then place the structural biaxial geogrid Tensar BX 6100, then, over the geogrid place a foundation fill material, which shall consist of A-1-a or "mogolla" according to ASTM 3282. The preferred gradation is well-graded crushed aggregate fill with a maximum particle size of 2 ½ inches and less than 5% fines (passing #200 sieve). The geogrid and foundation fill material shall be extended 1.0 meter beyond the periphery of the footings.
3. The foundation fill material shall be placed in layers not exceeding eight (8) inches on a surface free of water and each layer shall be compacted to a minimum of 95.0 percent based on its maximum dry density determined from a Modified Proctor Compaction Test, ASTM D 1557.

Depth of soil removal should average seven (7) feet below footing base elevation (approximately 23.0 ft. depth below existing ground elevation near boring No.2), excepted where any other foreign matter exists that could require deeper

*The controlled fill techniques submitted will results on a foundation fill capable to support a maximum allowable soil bearing pressure of 1,500 pounds per square-foot (psf). The modulus of subgrade reaction, k, to design the mat foundation is 70 kips per cu. ft. Footing base shall be evaluated for scouring by a specialist and be placed below the depth of scouring. The selected material shall be extended 1.0 meter beyond the periphery of the footing.*

*Once the footing excavation was made the contractor shall notify the soils engineer to make a visual inspection of the excavation for further evaluation and to make the pertinent recommendations if deemed necessary. Footing base shall be evaluated for scouring by a specialist and be placed below the depth of scouring.*

*Special care is required to avoid over compaction behind the retaining walls, otherwise, the walls may be displaced or over stressed. This fill, which shall be resembles the characteristics of a selected fill material classified as A-2-4 according to AASHTO Soil Classification System, shall be compacted in layers with a degree of compaction of 90% of the fill material maximum dry density (Modified Proctor). The compaction shall be done by placing thin layers (4 to 5 inches thick) and using small rolling equipment.*

*Prior to concrete placement, the foundation bearing surfaces shall be cleaned and any soil disturbed during the footing excavation operations (or any time after) shall be removed so as to provide and undisturbed bearing surface. The base of the footing excavations should be inspected by a geotechnical inspector to placing concrete to confirm the above design pressure and to ensure there is no loose material present at the footing level. Any loose or disturbed material identified during the inspection will require removal or recompaction to the satisfaction of the geotechnical inspector.*

foundation wall footings.

*The foundation drain system shall be topped with a crushed stone backfill with a grain size of 1/4 to 3/4 in. of at least 1.5 ft. in thickness and 1.0 ft. wide above the wall footings to serve as the vertical drainage media toward the foundation drain. Also place a 1.0 ft. thick of crushed stone between the wall and the backfill material to be placed against the wall. The wall shall be provided with a series of properly designed weep holes to avoid the accumulation of water behind the concrete wall during heavy rainy period.*

*A geotextile liner should be placed between the crushed stoned and the backfill to prevent mixing of the surrounding soil into the gravel. This will keep the porous spaces in the gravel open for the water to flow through.*

*The crushed stone layer shall be continuous since the top of the wall to the foundation wall footing and drained to the sides of the proposed wall by means of a minimum 2.0 in. perforated PVC pipe.*

*An alternative to the standard gravel column used to provide vertical drainage path behind the wall is by substituting the classic column gravel by Geocomposites, such as Terra Drain or equivalent. Due to the high flow transmissibility characteristic found in the Geocomposites, they can be used behind the wall instead of the column of granular material. In addition, we recommend that an appropriate waterproofing sealant, be applied at the interior surface in contact with the Geocomposite to reduce the likelihood of seepage and vapor transmission into the living spaces.*

construction.

*Assuming the groundwater level is below the granular soils at the time of construction, groundwater inflows would be expected to be manageable by pumping from properly filtered sumps.*

*If the creek water level is above the base of the granular soils, it is expected that in addition to an above-ground diversion (coffer dam), an impervious barrier may also need to be constructed through the granular soils and down to the surface of the silty clay in order to reduce groundwater inflow during construction. It is recommended that the successful bidder be required to submit a groundwater control plan.*

#### Temporary Excavations

*Excavations that will be deeper than five feet and will have to be entered by workers should be shored or sloped in accordance with the latest version of the 29 CFR Part 1926, "**Occupational Safety and Health Standards – Excavations; Final Rule,**" published by the U.S. Department of Labor, Occupational Safety and Health Administration. Based on the information obtained from the soil borings drilled at the site, we classify the surficial soils as **Type C** soils. Stockpiles of excavated material should be setback from the edge of the excavation by distance at least equal to the excavation depth.*

*The contractor should be responsible for all temporary slopes and shoring systems and bracing used at the site. Based on the results of our preliminary subsurface investigation, we judge that temporary cuts in native soil less than 20 feet in height inclined no steeper than 1.5:1 (horizontal to vertical) will be stable*



## **6.2 Pavement Design Recommendations:**

*A pavement section is a layered system designed to distribute concentrated traffic loads to the subgrade. Performance of the pavement structure is directly related to the physical properties of the subgrade soils and traffic loadings. Soils are represented for pavement design purposes by means of a soil support value for flexible pavements and a modulus of subgrade reaction for rigid pavements. Both are empirical related to strength. The pavement section thickness design (asphalt and aggregate base) shall be properly calculated by the project designer based on estimated daily traffic volumes.*

### **(Street Area):**

*Prior to placing the pavement section, the entire subgrade area should be sub excavated, moisture conditioned and properly compacted to a depth of at least 2.0 feet below the proposed pavement subbase elevation. Once the over excavation is made recompact the exposed subgrade to detect any surficial weak spots and place at least 2.0 ft. of a fill material classified as A-2-4 or better material properly placed and compacted until final subbase elevation is reached. The exposed grade shall be proof rolled to detect weak spots before any filling is done. Any weak spot encountered during the initial operation shall be excavated and replaced with selected fill, is a matter that has to be dealt with during the progress of the proof rolling operations.*

***A minimum 2.0 ft. thick of selected fill material is necessary at all areas below final subbase elevation. Follow the procedures of 9.0 GENERAL SITE DEVELOPMENT RECOMMENDATIONS and 16.0 FILLING OPERATIONS AND COMPACTION SECTION. In the event that***

*drainage system should be developed to control storm water run-off that may enter from outside or fall within the road courses. Concrete ditches along the roadways may prove to be efficient for collecting storm water run-off that develops on slopes. However, the hydraulic capacity of these will govern their shape and size; therefore, hydrologic and hydraulic analyses shall be performed by the designer before sizing the necessary drainage structures.*

#### **7.0 EARTHQUAKE CONSIDERATIONS:**

*Analysis of the relative density and consistency of the ground based on the SPT N values; it is our opinion that for seismic design this site corresponds to a soil profile type  $S_E$  according to the International Building Code (IBC-2018). Shear wave testing of the soils can be used to provide a more thorough evaluation of the seismic classification of site. A 100-foot deep boring was not required by the structural engineer due to size and height of the proposed structure.*

#### **8.0 GENERAL SITE DEVELOPMENT RECOMMENDATIONS:**

*The site preparation prior to any filling or construction operation is to consist of stripping the topsoil supporting any existing vegetation, shrubs, grasses, and unstable material. The exposed grade resulted concluded when the removal of topsoil layer and unstable material shall be proof rolled to detect soft spots and then be brought to an unyielding surface by compaction. Depth of topsoil and/or soft material removal should average one (1) feet, excepted where any other foreign matter exists that could require deeper removal.*

*The removal of any material shall be performed under the direct supervision of a geotechnical engineer from this office or his representative. The aerial extent and depth of removal shall be established by the soil inspector at the field, and notify the soils engineer to make the pertinent recommendations if deemed necessary.*

*The material obtained from cut section cannot be used as fill for structural areas, except only when laboratory tested site material providing it is found in suitable conditions for said purposes. Other appropriate deposit for this excess soil may be along green areas, and others, determined in coordination and approval of the standing Geotechnical Engineer of the site.*

*The controlled fill construction technique discussed should be followed until final grade elevations are reached and under the direct supervision of a geotechnical laboratory personnel.*

*All relocation of existing underground utilities should be completed before grading begins. The ends of abandoned underground utilities should be permanently sealed to prevent the inadvertent introduction of fluids into the construction area. Any septic tanks and drain fields within proposed construction areas and 20 feet outside the construction limits should be excavated and removed.*

*We recommend any / all utility lines be located outside of planned construction areas, the trenches cleaned of backfill soils, and, after utility emplacement, the trench backfilled with compacted fill. Past experience indicates utility trench backfill is often poorly compacted. Also, cracked or deteriorated pipes can collapse, leak or serve as conduits for subsurface erosion. Any of these conditions can result in excessive settlement of foundations and pavements.*

*shall be continuously executed. If excess wave velocities are recorded, the project geotechnical engineer shall formulate recommendations to mitigate the risk any excess vibration could pose to any surrounding structures.*

#### **10.0 SITE DRAINAGE AND MOISTURE PROTECTION:**

*Adequate site drainage is critical to reduce the potential for differential soil movement, erosion and subsurface seepage. Under no circumstances should water be allowed to pond adjacent to footings. The site should be graded and maintained such that surface drainage is directed away from structures. In additions, surface drainage should be directed away from the top of slopes into swales or other controlled drainage devices. Roof and pavement drainage should be directed into conduits that carry runoff away from the proposed structure.*

*In case of basement walls or building walls retaining landscaping areas, a water proofing system should be used on the wall and joints, and a Miradrain drainage panel (or similar) should be placed over the waterproofing. The project architect or civil engineer should provide detailed specifications on the plans for all waterproofing and drainage.*

*Underground utilities should be leak free. Utility and irrigation lines should be checked periodically for leaks, and detected leaks should be repaired promptly. Detrimental soil movement could occur if water is allowed to infiltrate the soil for prolonged periods of time.*



*deleterious fill, organic matter, or soft spot of soil detected at the bottom of any excavation shall be removed and backfilled as specified in Appendix 3.*

- 4. The project excavations shall proceed in an expedite manner to prevent such disturbance of the foundation soil, and they shall be performed under dry conditions. The contractor shall take the required provisions to prevent the seepage and accumulation of water (runoff or temporary groundwater) into the excavations.*
- 5. This report is submitted for the planning and design of the project and it provides some construction considerations that shall be reviewed by the contractor. However, the contractor shall not use this report as the only information to base his bid for the project. This office shall not be held responsible if the contractor uses this information without limitations. The contractor bidding for this project should conduct a careful review of the geotechnical data and documents given in this report. However, we will not be responsible for his interpretation and conclusions made from these data. The contractor shall visit the project area prior to bidding to become acquainted with the actual conditions of the site.*
- 6. The contractor shall take care to prevent damage onto surrounding structures and utilities due to the construction operations.*
- 7. The contractor will be solely and completely responsible for his construction method, his method of excavation and support system, the working conditions at the job site, and the project safety measures. This requirement applies continuously and it is not limited to normal working hours.*

*submitted.*

*We strongly recommend that the recommendations covered on this soil report be revised after grading, type of structure, loading condition, flexibility and final floor elevations have been established, so that revised final recommendations can be submitted for design and construction.*

*All recommendations herein given are based on the spot checks which constitute the test borings made within the investigated area of the parcel and were considered as representative subsoil conditions which are/or might be present along the project.*

*However, the fact does not exclude the disclosures of a different one that those found, once the construction phase alerts.*

*Any abnormal condition encountered between borings during the over excavation and construction phase, shall be notified to the soils engineer for further evaluation and to make the pertinent recommendations.*

***RGS** should be retained to review the project plans and specifications for conformance with the recommendations provided in our report. We are also available to assist the design team in preparing specifications for geotechnical aspects of the project and performing additional studies if necessary to accommodate possible changes in the proposed construction.*

*We recommend that **RGS** be retained to provide observation services to document that the intent of this report and the requirements of the plans and specifications are being followed during construction, and to identify possible*

conditions may require additional studies, consultation, and possible design revisions.

***This report contains information that may be useful in the preparation of contract specifications. However, the report is not worded in such a manner that we recommend its use as a construction specification document without proper modification. The use of information contained in this report for bidding purposes should be done at the contractor's option and risk.***

*This report was prepared according to the generally accepted geotechnical engineering standards of practice that existed in Puerto Rico at the time the report was prepared. No express or implied warranties are made in connection with our services.*

*This report should be considered invalid for periods after two years from the report date without a review of the validity of the findings and recommendations by our firm, because of potential changes in the Geotechnical Engineering Standards of Practice.*

*These services were performed consistent with our agreement with our client. We are not responsible for the impacts of any changes in environmental standards, practices, or regulations subsequent to performance of our services. The client has responsibility to see that all parties to the project including, designer, contractor, and subcontractor are made aware of this entire report. We do not warrant the accuracy of information supplied by others, or the use of segregated portions of this report. This report is solely for the use of our client unless noted otherwise. Any reliance on this report by a third party is at the party's sole risk. The use of information contained in this report for bidding*

information concerning the scope and cost of these services can be obtained from our office.

The above recommendations are given based on the interpretation of an arbitrary selected, limited number of soil samples rather than on a precise knowledge of actual conditions. Should subsoil between borings vary and different conditions that those described be encountered, the owner or contractor is urged to contact the writer for a field inspection, as the recommendations have to be varied to accommodate undisclosed conditions.

Respectfully submitted,

RGS GEOTECHNICAL ENGINEERS, PSC

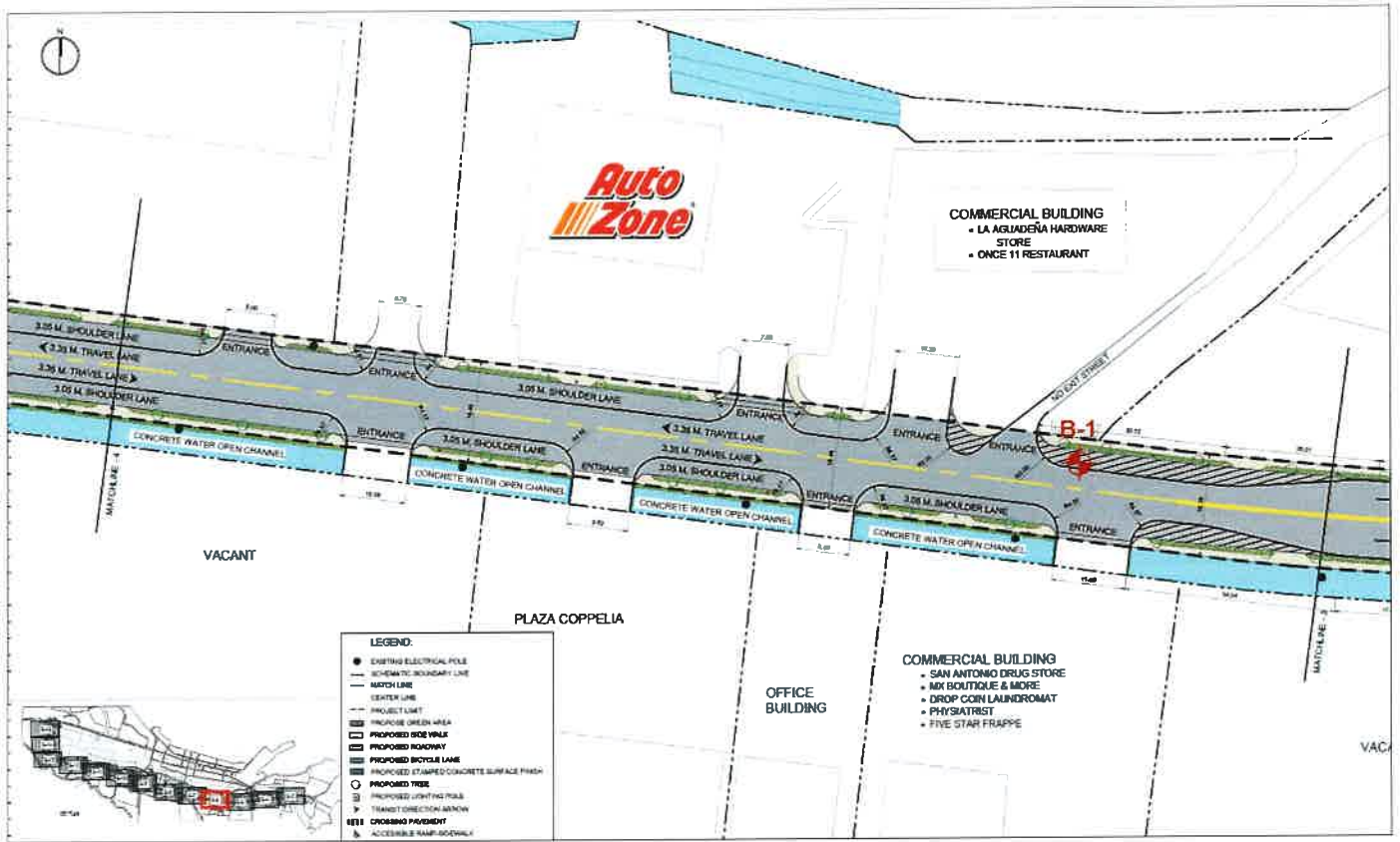
  
RAFAEL GONZÁLEZ, P.E.



**File No. 153**

May 12, 2023

## BORING LOCATION MAP



**LEGEND:**

●	EXISTING ELECTRICAL POLE
---	SCHEMATIC BOUNDARY LINE
---	WIDTH LINE
---	LEADER LINE
---	PROJECT LIMIT
▨	PROPOSED GREEN AREA
▨	PROPOSED SIDE WALK
▨	PROPOSED ROADWAY
▨	PROPOSED BI-CYCLE LANE
▨	PROPOSED STAMPED CONCRETE SURFACE FINISH
○	PROPOSED TREE
○	PROPOSED LIGHTING POLE
➤	TRANSIT DIRECTION ARROW
■	CROSSING PAVEMENT
■	ACCESSIBLE RAMP/SIDEWALK

**NOTES:**

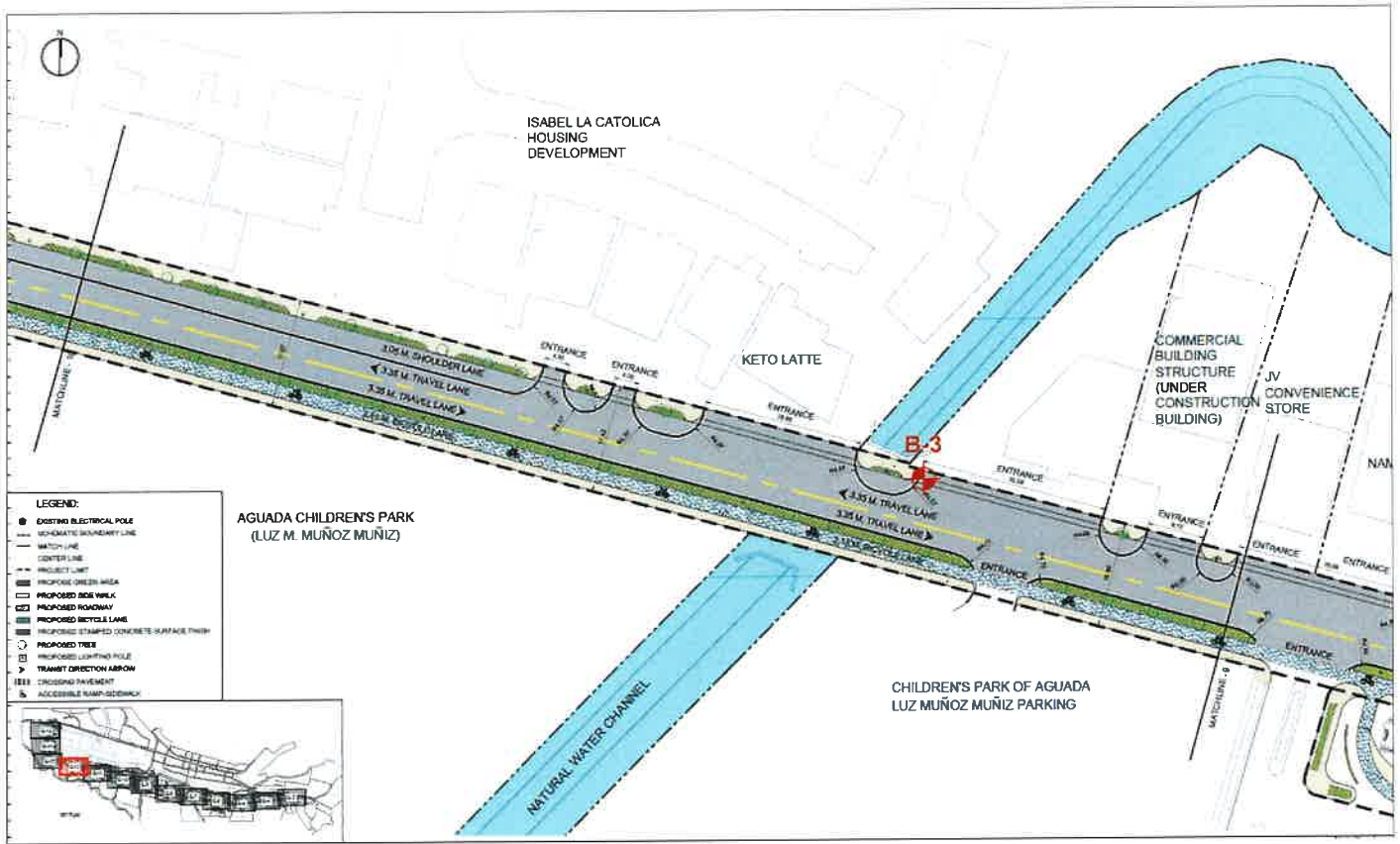
1. Boring locations are approximate.
2. Base drawing provided by Client.
3. Scale: NTS

<b>RGS GEOTECHNICAL ENGINEERS, PSC</b>	
FILE NO. 153	<i>Rafael Sampedro</i>
05/12/23	

**BORING LOCATION**



## BORING LOCATION MAP



**NOTES:**

1. Boring locations are approximate.
2. Base drawing provided by Client.
3. Scale: NTS

**RGS GEOTECHNICAL ENGINEERS, PSC**

FILE NO. 153

05/12/23

*Rafael Sampedro*

**BORING LOCATION**

# SUBSURFACE EXPLORATION LOG

**RGS GEOTECHNICAL ENGINEERS, PSC**

P.O BOX 2125  
ISABELA, P.R. 00662

TEL : (787) 560 - 1510

FILE NO. **153**

BORING NO. **1**

PAGE 1 OF 2

CLIENT: J. CAJIGAS & ASSOCIATES, PSC  
PROJECT: NATIVO ALERS AVENUE (DESVÍO SUR)  
LOCATION: AGUADA, PUERTO RICO  
GROUND ELEVATION:  
DATE STARTED: 11/22/22  
DATE FINISH: 11/22/22  
GROUND WATER DEPTH: 34.0 FEET

DRILLER: A. FERRER  
LAB. TECH: J. GONZÁLEZ  
BORING TYPE: AUGER  
BORING DIAMETER: 4"

DEPTH (FT)	SAMPLER	SAMPLE NO	BLOWS / 6"	SPT N VALUE	SYMBOL	VISUAL - MANUAL DESCRIPTION	USCS CLASS	W (%)	Qu	Qp	γ	φ	LL	PI
		SS-1	45 - 24 - 7	31		Black sandy rock fragments with concrete debris, asphalt		16						
		SS-2	3 - 2 - 1	3		Brownish gray clay trace to some sand - rock fragments		23						
5		SS-3	2 - 2 - 2	4		As above.		19						
		SS-4	2 - 1 - 3	4		(FILL) Brown, gray clay		32	0.5					
10		SS-5	2 - 2 - 2	4		Dark gray, black organic matter, peat with clay		55	0.3	92.5				
		SS-6	1 - 1 - 1	2		As above.		74	0.4	85.6				
15														
		SS-7	WH-1-1	2		Gray clay		49	0.2	105.8				
20														
		SS-8	2 - 1 - 4	5		Dark grayish brown, greenish gray clay trace rock fragments		35						
25														
		SS-9	2 - 2 - 3	5		Light yellowish brown, greenish gray clay		41	0.6					
30														
		SS-10	WH-1-2	3		As above, grayish brown		39						
35														

CONTINUE

N = BLOWS DELIVERED PER FOOT BY A 140 LB. HAMMER FALLING 30 INCHES

W = NATURAL MOISTURE CONTENT - %

Qu = UNCONFINED COMPRESSIVE STRENGTH - T.S.F.

Qp = CALIBRATED PENETROMETER READING - T.S.F.

WH = WEIGHT OF HAMMER

SYMBOL (SEE APPENDIX NO 4 FOR MORE DETAILS)

γ = ESTIMATED UNIT WEIGHT - P.C.F.

φ = ANGLE OF INTERNAL FRICTION - DEGREES

LL = LIQUID LIMIT

PI = PLASTICITY INDEX

(\*) ELEVATIONS TAKEN FROM PLANS PREPARED BY DESIGNER

# SUBSURFACE EXPLORATION LOG

**RGS GEOTECHNICAL ENGINEERS, PSC**

P.O. BOX 2125  
ISABELA, P.R. 00662

TEL : (787) 560 - 1510

FILE NO. **153**  
BORING NO. **2**  
PAGE 1 OF 2

CLIENT: J. CAJIGAS & ASSOCIATES, PSC  
PROJECT: NATIVO ALERS AVENUE (DESVÍO SUR)  
LOCATION: AGUADA, PUERTO RICO

GROUND ELEVATION: DRILLER: A. FERRER  
DATE STARTED: 11/22/22 LAB. TECH: J. GONZÁLEZ  
DATE FINISH: 11/22/22 BORING TYPE: AUGER  
GROUND WATER DEPTH: 30.0 FEET BORING DIAMETER: 4"

DEPTH (FT)	SAMPLER	SAMPLE NO.	BLOWS / 6"	SPT N VALUE	SYMBOL	VISUAL - MANUAL DESCRIPTION	USCS CLASS	W (%)	Qu	Qp	γ	φ	LL	PI
		SS-1	3 - 2 - 3	5		Brown sandy clay trace to some limestone fragments		15						
		SS-2	4 - 8 - 5	13		As above.		19						
5		SS-3	5 - 4 - 5	9		Grayish brown clay trace sand - rock fragments (FILL)		29						
		SS-4	5 - 4 - 3	7		Brownish gray clay		37	0.7	105.2				
		SS-5	1 - 1 - 2	3		As above, dark gray, greenish gray		41	0.4					
10														
		SS-6	2 - 1 - 1	2		As above.		59	0.5					
15														
		SS-7	WH-WH-WH	WH		Black organic matter, peat		81	0.2	85.1				
20														
		SS-8	8 - 6 - 8	14		Yellowish brown sandy, clayey limestone fragments		31						
25														
		SS-9	8 - 6 - 9	15		As above.		39						
30														
		SS-10	1 - 1 - 1	2		Light yellow sand trace clay		24						
35						CONTINUE								

N = BLOWS DELIVERED PER FOOT BY A 140 LB. HAMMER FALLING 30 INCHES

W = NATURAL MOISTURE CONTENT - %

Qu = UNCONFINED COMPRESSIVE STRENGTH - T.S.F.

Qp = CALIBRATED PENETROMETER READING - T.S.F.

WH = WEIGHT OF HAMMER

SYMBOL (SEE APPENDIX NO.4 FOR MORE DETAILS)

γ = ESTIMATED UNIT WEIGHT - P.C.F.

φ = ANGLE OF INTERNAL FRICTION - DEGREES

LL = LIQUID LIMIT

PI = PLASTICITY INDEX

(\* ) ELEVATIONS TAKEN FROM PLANS PREPARED BY DESIGNER

# SUBSURFACE EXPLORATION LOG

**RGS GEOTECHNICAL ENGINEERS, PSC**

P.O. BOX 2125

ISABELA, P.R. 00662

TEL : (787) 560 - 1510

FILE NO. **153**

BORING NO. **3**

PAGE 1 OF 2

CLIENT: J. CAJIGAS & ASSOCIATES, PSC  
 PROJECT: NATIVO ALERS AVENUE (DESVÍO SUR)  
 LOCATION: AGUADA, PUERTO RICO

GROUND ELEVATION:

DRILLER: A. FERRER

DATE STARTED: 11/22/22

LAB. TECH: J. GONZÁLEZ

DATE FINISH: 11/22/22

BORING TYPE: AUGER

GROUND WATER DEPTH: 25.0 FEET

BORING DIAMETER: 4"

DEPTH (FT)	SAMPLER	SAMPLE NO.	BLOWS / 6"	SPT N VALUE	SYMBOL	VISUAL - MANUAL DESCRIPTION	USCS CLASS	W (%)	Qu	Qp	$\gamma$	$\phi$	LL	PI
		SS-1	2 - 3 - 3	6		Brownish gray sandy rock fragments trace to some sand with concrete debris		12						
		SS-2	2 - 2 - 2	4		As above.		11						
5		SS-3	4 - 2 - 3	5		As above.		15						
		SS-4	2 - 3 - 3	6		Brown clay trace sand - rock fragments		21						
		SS-5	4 - 3 - 3	6		Brown clay trace to some sand		39						
10														
		SS-6	3 - 2 - 2	4		Olive brown clay		34	0.5		100.5			
15														
		SS-7	WH-WH-WH	WH		As above, greenish gray		42	0.2					
20														
		SS-8	1 - 1 - 1	2		Gray clay with organic matter		92						
25														
		SS-9	4 - 4 - 6	10		Brown, reddish brown, light greenish gray clay		40	1.1		109.6			
30														
		SS-10	3 - 4 - 5	9		As above.		47						
35														

CONTINUE

N = BLOWS DELIVERED PER FOOT BY A 140 LB. HAMMER FALLING 30 INCHES

W = NATURAL MOISTURE CONTENT - %

Qu = UNCONFINED COMPRESSIVE STRENGTH - T.S.F.

Qp = CALIBRATED PENETROMETER READING - T.S.F.

WH = WEIGHT OF HAMMER

SYMBOL (SEE APPENDIX NO.4 FOR MORE DETAILS)

$\gamma$  = ESTIMATED UNIT WEIGHT - P.C.F.

$\phi$  = ANGLE OF INTERNAL FRICTION - DEGREES

LL = LIQUID LIMIT

PI = PLASTICITY INDEX

(\* ) ELEVATIONS TAKEN FROM PLANS PREPARED BY DESIGNER

**APPENDIX NO. 3**

**FIELD AND LABORATORY TESTING PROCEDURES**



## STANDARD PENETRATION TEST

Standard Penetration Test (SPT) and Split Barrel Sampling (ASTM D 1452). The samples are secured from the bottom of the cleaned hole by a 1.375 inches ID x 24 inches long split spoon samples. With the sampler in, resting on the bottom of the hole, it is driven with the drop of a 140 pounds hammer from a 30 inches height. The number of blows for every 6 inches of sampler penetration is recorded, and the number of blows between 6 and 18 inches of penetration is reported as the N-value. The N-value gives an indication of the consistency of cohesive soils and relative density of granular soils.

Undisturbed Sampling. Undisturbed samples are obtained with thin wall Shelby tube samplers, 3 inches OD by 30 inches long. The sampler is forced into the soil by static force or downward pressure and is pulled out also statically. These samplers are sealed in the field with wax and shipped to the laboratory. Samples are then extruded at the time of testing by pushing in the same direction that the samples penetrated the sampler. Special care is taken in handling these samples to minimize disturbance.

## LABORATORY TESTING

Natural Moisture (Water) Content (ASTM D 2216). The natural moisture (water) content is determined by finding the quantity of water present in the natural condition and expressing it as a percentage of the dry weight of the solid soil particles of the sample. The water present in the sample is determined by subtracting the weight of the wet soil from the weight of the specimen after been oven dried in an oven at 110 °C for a minimum period of 16 hours.

Atterberg Limits (ASTM D 4318). These limits and related indices are commonly used in geotechnical engineering for soil identification and classification purposes. However, these are also empirically correlated to various parameters which are used for preliminary analyses. The procedure used to determine liquid and plastic limits are described in the referenced ASTM Standard.

Unconfined Compression Test (ASTM D 2166). The cohesive soil specimens obtained from split spoon samples can not be considered as undisturbed samples, nevertheless, the approximate unconfined compressive strength can be easily determined. Unconfined compressive strength tests were performed by subjecting suitable soil samples to axial loads until failure. The compressive strength is defined as the ratio of maximum axial load required to failure to the corrected area and is expressed in units of tons per square feet.

***APPENDIX NO. 4***

***GEOLOGIC LEGEND***

Gobierno de Puerto Rico  
Departamento de Recursos Naturales y Ambientales  
P.O. Box 366147  
San Juan, PR 00936

## CERTIFICACIÓN DE HÁBITAT

**Proyecto:** Rehabilitación de la Avenida Nativo Alers  
**Dirección:** Avenida Nativo Alers localizada en el Barrio Guayabo y Piedras Blancas del término Municipal de Aguada

Por este medio certifico que se evaluó la Avenida Nativo Alers localizada en el Barrio Guayabo y Piedras Blancas del término Municipal de Aguada donde se propone la revitalización de dicha vía municipal.

Este proyecto implica mejoras sustanciales conocidas como "Calle Completa". La carretera Avenida Nativo Alers mantiene un tráfico promedio diario de 13,836 vehículos. Esta vía sirve de puerta de entrada al casco urbano, conecta el casco urbano con las comunidades de Reparto Minerva, Alturas de Aguada, áreas deportivas, culturales, recreativas y comerciales como al Escuela Juana Rosario, El Museo Aguadeño, recintos del gobierno estatal (Tribunal de Primera Instancia) y la oficina de postal de USPS, sirve además como acceso a la playa Pico de Piedra y la carretera estatal PR-115. Siendo esta vía sumamente concurrida por su ubicación y acceso a múltiples lugares del pueblo de Aguada, se contempla la revitalización total de esta vía de acceso. Se construirán aceras a lo largo de toda la Avenida de conformidad con las normas de la ADA. Se construirán encintados y cunetas de ser necesario. Se instalarán aproximadamente 106 postes de alumbrado a lo largo de la Avenida para brindar mayor seguridad a todos aquellos que transiten por esa zona. Además, se agregará reforestación a lo largo del camino y se asfaltará toda la vía

Con respecto a la infraestructura disponible, la avenida Nativo Alers cuenta con facilidades de acceso mediante la Carretera PR #115 la cual sirve de vía principal de acceso a la delimitada zona urbana del municipio. Además, conforme a los desarrollos residenciales y comerciales que se han llevado a cabo en el sector, dicho sector se ha dotado de la infraestructura eléctrica, telefónica, agua potable y sanitaria. La presente solicitud consiste en solicitar de la agencias pertinentes la identificación de la infraestructura existente a los fines de que las mismas puedan ser tomadas en consideraciones en el diseño del proyecto.

Dentro del área evaluada, **NO existen hábitats catalogados como esenciales, hábitats para especies en peligro de extinción** según el Departamento de Recursos Naturales y Ambientales de Puerto Rico y el Servicio de Vida Silvestre Federal. No obstante, el área está dentro de la zona costanera del Municipio de Rincón.

Siguiendo el *Procedimiento para evaluar y determinar la categoría de un hábitat natural de acuerdo con la Nueva Ley de Vida Silvestre de Puerto Rico* se concluye que el área propuesta para desarrollo podría clasificarse en la **categoría 6, Hábitat Natural con Bajo Potencial de Convertirse en Hábitat Esencial, de Alto Valor Ecológico o de Valor Ecológico**, la misma incluida bajo La Nueva Ley de Vida Silvestre de P. R., Ley 241 de 15 de agosto de 1999.

**Rehabilitación de la Avenida Nativo Alers  
Avenida Nativo Alers localizada en el Barrio Guayabo y Piedras Blancas  
Municipal de Aguada, P.R.**

**I. DESCRIPCIÓN Y LOCALIZACIÓN DE LA FINCA DEL PROYECTO BAJO EVALUACIÓN**

Por este medio certifico que se evaluó la Avenida Nativo Alers localizada en el Barrio Guayabo y Piedras Blancas del término Municipal de Aguada donde se propone la revitalización de dicha vía municipal.

Este proyecto implica mejoras sustanciales conocidas como "Calle Completa". La carretera Avenida Nativo Alers mantiene un tráfico promedio diario de 13,836 vehículos. Esta vía sirve de puerta de entrada al casco urbano, conecta el casco urbano con las comunidades de Reparto Minerva, Alturas de Aguada, áreas deportivas, culturales, recreativas y comerciales como al Escuela Juana Rosario, El Museo Aguadeño, recintos del gobierno estatal (Tribunal de Primera Instancia) y la oficina de postal de USPS, sirve además como acceso a la playa Pico de Piedra y la carretera estatal PR-115. Siendo esta vía sumamente concurrida por su ubicación y acceso a múltiples lugares del pueblo de Aguada, se contempla la revitalización total de esta vía de acceso. Se construirán aceras a lo largo de toda la Avenida de conformidad con las normas de la ADA. Se construirán encintados y cunetas de ser necesario. Se instalarán aproximadamente 106 postes de alumbrado a lo largo de la Avenida para brindar mayor seguridad a todos aquellos que transiten por esa zona. Además, se agregará reforestación a lo largo del camino y se asfaltará toda la vía

Con respecto a la infraestructura disponible, la avenida Nativo Alers cuenta con facilidades de acceso mediante la Carretera PR #115 la cual sirve de vía principal de acceso a la delimitada zona urbana del municipio. Además, conforme a los desarrollos residenciales y comerciales que se han llevado a cabo en el sector, dicho sector se ha dotado de la infraestructura eléctrica, telefónica, agua potable y sanitaria. La presente solicitud consiste en solicitar de la agencias pertinentes la identificación de la infraestructura existente a los fines de que las mismas puedan ser tomadas en consideraciones en el diseño del proyecto.

**II. DESCRIPCIÓN DE LA METODOLOGÍA UTILIZADA PARA EFECTUAR EL INVENTARIO.**

Para poder tomar los datos de la vegetación y la fauna del lugar propuesto se realizaron varias visitas de campo en febrero de 2023.

Para el monitoreo e identificación de especies se procedió a caminar la vía en su totalidad. Para la realización del inventario florístico se realizó un recorrido en el lugar y se anotaron las especies de plantas observadas. Para las aves y reptiles se utilizó el método de observación directa con el uso de binoculares y por la identificación de la vocalización de las especies. Se identificaron los organismos con las guías y bases de datos correspondientes a esos grupos. Además, se tomó en consideración las características ecológicas que agrupan los distintos tipos de hábitat. Conjuntamente, se utilizó técnicas de percepción remota, sistemas de información geográfica y uso de tecnología de drones entre otros.



27.	Reina de las flores	Lythraceae	<i>Lagerstroemia speciosa</i>	Árbol	Nativo	No listado
28.	Roble Nativo	Bignoniaceae	<i>Tabebuia heterophylla</i>	Árbol	Nativo	No listado
29.	Tulipan Africano	Bignoniaceae	<i>Spathodea campanulata</i>	Árbol	Naturalizado	No listado
30.	Ucar	Combretaceae	<i>Terminalia buceras</i>	Árbol	Nativo	No listado
31.	Variable flatsedge	Cyperaceae	<i>Cyperus difformis</i>	Hierba	Naturalizado	No listado
32.	Vomitel Colorado	Boraginaceae	<i>Cordia sebesrena L.</i>	Árbol	Naturalizado	No listado
33.	Yerba de guinea	Poaceae	<i>Urochloa maxima</i>	Hierba	Naturalizado	No listado
34.	Zarcilla	Fabaceae	<i>Leucaena leucocephala</i>	Árbol	Naturalizado	No listado

**TABLA 2: AVES DENTRO DEL PREDIO**

Núm.	Nombre común	Familia	Nombre científico	Origen	Estatus legal
1.	Garza de Ganado	Ardeidae	<i>Bulbucus ibis ibis L.</i>	Anida	No listado
2.	Golondrina de iglesia	Hirundinidae	<i>Progne dominicensis</i>	Anida	No listado
3.	Gorrión negro	Emberizidae	<i>Tiaris bicolor</i>	Anida	No listado
4.	Mozambique	Icteridae	<i>Quiscalus niger brachypterus</i>	Nativo	No listado
5.	Paloma domestica	Columbidae	<i>Columba livia Gmelin</i>	Introducida	No listado
6.	Pitirre	Tyrannidae	<i>Tyrannus dominicensis</i>	Anida	No listado

**TABLA 3: REPTILES Y ANFIBIOS DENTRO DEL PREDIO**

Núm.	Nombre común	Familia	Nombre científico	Origen	Estatus legal
1.	Lagartijo comun	Polychrotidae	<i>Anolis cristatellus</i>	Endemico	No listado
2.	Largatijo jardinero	Dactyloidae	<i>Anolis pulchellus</i>	Endemico	No listado
3.	Coqui comun*	Eleutherodactylidae	<i>Eleutherodactylus coqui</i>	Endémico	No listado
4.	Gallina de Palo	Iguanidae	<i>Iguana iguana</i>	Introducido	No listado
5.	Ranita Labio Blanco*	Leptodactylidae	<i>Leptodactylus albilabris</i>	Endemico	No listado
6.	Siguana	Teiidae	<i>Pholidoscelis exsul</i>	Endémico	No listado
7.	Jicotea*	Emydidae	<i>Trachemys stejnegeri stejnegeri</i>	Endémico	No listado

\*Se observó en un canal aledano

**TABLA 4: INVERTEBRADOS DENTRO DEL PREDIO**

Núm.	Filo	Clase. Familia	Nombre común	Nombre científico	Estatus legal
1.	Artropoda	Insecta, Libellulae	Libélula	<i>Anax junius</i>	No listado
2.	Artropoda	Insecta, Libellulae	Libelula vede grande, Great pondhawk	<i>Erythemis vesiculosa</i>	No listado
3.	Artropoda	Insecta, Libellulae	Libélula rayas negras	<i>Erythrodiplax umbrata</i>	No listado
4.	Artropoda	Insecta, Muscidae	Mosca común	<i>Musca domestica</i>	No listado
5.	Artropoda	Insecta, Libellulae	Libelula roja, Antillean skimmer	<i>Orthemis macrostigma</i>	No listado
6.	Artropoda	Insecta, Formicidae	Hormiga Loca	<i>Paratrechina longicomis</i>	
7.	Artropoda	Insecta, Formicidae	Hormiga de fuego	<i>Solenopsis sp.</i>	No listado

#### IV. ESPECIES VULNERABLES

En el predio bajo estudio no se observaron especies que estén clasificados como especies críticas, amenazadas, vulnerables o en peligro de extinción. Tampoco el sistema de Información Geográfica de la Junta de Planificación de Puerto Rico muestra áreas que donde se observen especies protegidas.

No obstante, el Sistema IPaC (Information for Planning and Consultation) del Servicio de Pesca y Vida Silvestre de los Estados Unidos identifica que la acción propuesta podría tener un potencial efecto sobre la especie Manatí (*Trichechus manatus*) y la Boa de Puerto Rico (*Chilabothrus inornatus*). Este aspecto será consultado con las agencias pertinentes y se seguirán las recomendaciones

- **Ríos y Quebradas**

El sistema de información Geográfica de la Junta de Planificación de Puerto Rico indica que el Río Culebra pasa a aproximadamente 60 metros en su punto más cercano al área de estudio.

Además, existen varias quebradas sin nombre todas tributarias del Río Culebra. la presencia de una quebrada que pasan a través del predio objeto de este estudio. El proyecto no contempla impacto sobre estos cuerpos de agua. Ver figura 3: Rios y Quebradas cercanas.



**Sumideros**

El sistema de información Geográfica de la Junta de Planificación de Puerto Rico indica que a aproximadamente 350 metros de la parte suroeste de la carretera bajo estudio se encuentran 2 sumideros. El proyecto no contempla ningún impacto a estas formaciones geológicas. Ver figura

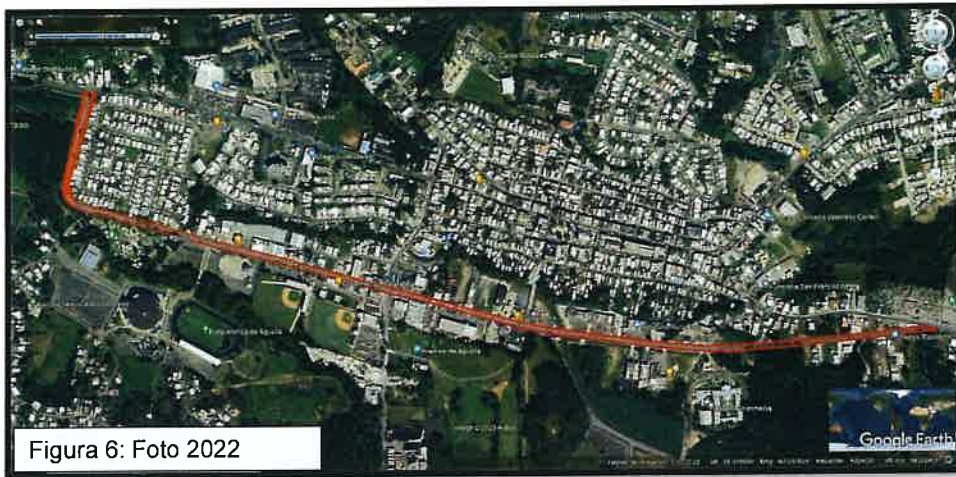


Figura 6: Foto 2022

### VIII. MAPA TOPOGRÁFICO DEL ÁREA DE ESTUDIO

Se observó que la carretera muestra un patrón topográfico mayormente llano. No obstante, en la parte este tiende a tener una pendiente ligera. Las elevaciones van desde aproximada de 4 a 7 metros SNM en la mayoría de la vía a un punto máximo de elevación de aproximadamente 32 metros en la intersección con la Pr-417. Ver la figura 7: Mapa topográfico.

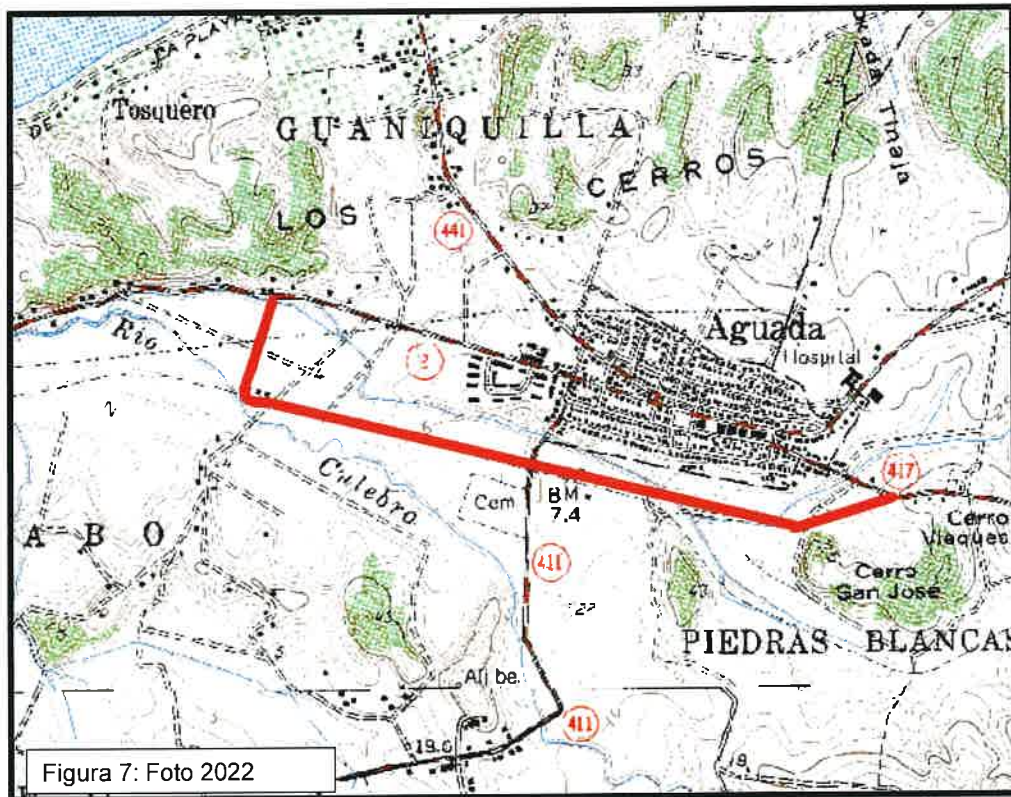


Figura 7: Foto 2022



**XI. DETERMINACIÓN DE LA CATEGORÍA DE HÁBITAT NATURAL QUE SE RECOMIENDA PARA LA FINCA DEL PROYECTO PROPUESTO A TENOR CON LA INFORMACIÓN SOMETIDA Y LAS DISPOSICIONES DE LA LEY 241 Y SUS REGLAMENTOS.**

**a. Análisis de categorización de hábitat.**

Para la determinación categorización de hábitat se utilizó el *Procedimiento para evaluar y determinar la categoría de un hábitat natural de acuerdo con la Nueva Ley de Vida Silvestre de Puerto Rico* provista por el Departamento de Recursos Naturales y Ambientales.

A continuación, presentamos la *Clave para determinar las categorías de hábitat natural (Reglamento núm. 6765) y caracterización biológica (biodiversidad)* y sus contestaciones en letras rojas subrayado.

CLAVE PARA DETERMINAR CATEGORÍA DE HÁBITAT NATURAL				
Pasos	El hábitat que ha de ser impactado	Contestación		Hábitat
Paso 1	<ul style="list-style-type: none"> <li>¿Contiene una composición única de especies?</li> <li>¿Contiene especies de vida silvestre, poblaciones o comunidades de especies de distribución específica y limitada y de baja capacidad de dispersión?</li> <li>¿Contiene comunidades de vida silvestre de una madurez irremplazable?</li> </ul>	Sí, en una de las preguntas	Categoría 1	Irremplazable
		<b>No</b>	<b><u>Saltar al paso 2</u></b>	
Paso 2	<ul style="list-style-type: none"> <li>¿Contiene características necesarias para la supervivencia de especies de vida silvestre, poblaciones o comunidades de especies cuya distribución es específica de ese tipo de hábitat?</li> </ul>	Sí	Categoría 2	Esencial
		<b>No</b>	<b><u>Saltar al paso 3 (utilizar Tabla de Caracterización Biológica)</u></b>	
Paso 3	<ul style="list-style-type: none"> <li>¿Tiene un índice de caracterización biológica igual o mayor de 4 o alguna especie cuya distribución es específica de ese tipo de fisiografía? y/o ¿tiene una alta densidad de individuos de vida silvestre cuya distribución es específica de ese tipo de fisiografía?</li> </ul>	Sí, en una de las preguntas	Categoría 3	De Alto Valor Ecológico
		<b>No</b>	<b><u>Saltar al Paso 4</u></b>	
Paso 4	<ul style="list-style-type: none"> <li>¿Tiene un índice de caracterización biológica igual o mayor de 4 y no tiene especies de vida silvestre cuya distribución es específica de ese tipo de fisiografía?</li> <li>¿Tiene una alta densidad de individuos de vida silvestre cuya distribución no es específica de ese tipo de fisiografía?</li> </ul>	Sí	Categoría 4	De Valor Ecológico
		<b>No</b>	<b><u>Saltar al Paso 5 (utilizar Tabla de Conectividad)</u></b>	
Paso 5	<ul style="list-style-type: none"> <li>¿Tiene una conectividad igual o mayor de 4?</li> </ul>	Sí	Categoría 5	Hábitat con gran potencial de convertirse en una categoría de mayor valor
		<b>No</b>	<b><u>Categoría 6</u></b>	<b><u>Hábitat con bajo potencial de convertirse en una categoría de mayor valor</u></b>

**b. Explicación de la determinación de categoría paso a paso.**

- i. **Paso 1.** La contestación a las tres preguntas es **No**. Ver tablas de flora y fauna. Por ende, se salta al paso 2.

A continuación, las contestaciones en **letras rojas subrayado** de la rúbrica para determinar la Conectividad, recordando que este análisis es específicamente del predio bajo estudio con respecto a una la zona de amortiguamiento de 500 metros alrededor.

<b>Conectividad</b>		
Porcentaje (500m)	<b>0 - 20</b>	<b>1</b>
	> 20 - 40	2
	> 40 - 60	3
	> 60 - 80	4
	> 80 - 100	5
Proximidad (100m)	0	0
	<b>1</b>	<b>1</b>
	2	2
	3	3
	4+	4
Hidrológica	<b>Sí</b>	<b>1</b>
	No	0
<b>Total</b>		<b>3</b>

La conectividad Hidrología está presente a través de una quebrada intermitente que colinda con la propiedad y desemboca en la playa que esta a aproximadamente a 400 metros al oeste del predio. El total de puntos según la rúbrica para conectividad es de 3. Por tal razón y según la rúbrica la Categorización del área es 6: **Hábitat Natural con Bajo Potencial de Convertirse en Hábitat Esencial, de Alto Valor Ecológico o de Valor Ecológico.**

Siguiendo el *Procedimiento para evaluar y determinar la categoría de un hábitat natural de acuerdo con la Nueva Ley de Vida Silvestre de Puerto Rico* se concluye que el área propuesta para desarrollo podría clasificarse en la **categoría 6, Hábitat Natural con Bajo Potencial de Convertirse en Hábitat Esencial, de Alto Valor Ecológico o de Valor Ecológico**, la misma incluida bajo La Nueva Ley de Vida Silvestre de P. R., Ley 241 de 15 de agosto de 1999.

Los impactos acumulativos existentes en la zona debido al desarrollo residencial y turístico tampoco fomentan que **el área se categorice como un hábitat de Alto Valor Ecológico o de Valor Ecológico.**

El área donde se realizarán estas obras es un área impactada durante años, por lo que no se generará ningún impacto significativo dentro del predio más allá de los propios de la construcción.

## **XII. DESCRIPCIÓN DEL ÁREA PROPUESTA PARA LA MITIGACIÓN.**

El impacto sobre la flora y fauna del área será mitigado mediante el plan de siembra que se estará preparando para tales fines. Por esto se concluye que este proyecto no tendrá impactos significativos sobre los elementos de flora y fauna en el área.

Se establecerán estrictos controles de erosión para prevenir cualquier impacto a los cuerpos de agua cercano.

Este proyecto se estará sometiendo a evaluación de las agencias en la Oficina de Gerencia de Permisos según lo estipula el Reglamento Conjunto para la Evaluación y Expedición de Permisos Relacionados al Desarrollo y Uso de Terrenos vigente. Por otro lado, el desarrollador está comprometido a cumplir con todas las observaciones y recomendaciones que le solicitaran las agencias concernidas.