

**Environmental Review for Activity/Project that is Categorically  
Excluded Subject to Section 58.5  
Pursuant to 24 CFR 58.35(a)**

**Project Information**

**Project Name:** Estacionamiento y áreas circundantes de la plaza del mercado PR-CRP-001001

**Responsible Entity:** Puerto Rico Department of Housing (PRDOH)

**Grant Recipient** (if different than Responsible Entity): Municipality of Utuado

**State/Local Identifier:** Puerto Rico / Utuado

**Preparer:** Angel García, P.E. – AG Environmental

**Certifying Officer Name and Title:**

Pedro de León Rodríguez - Permits and Environmental Compliance Specialist

**Consultant** (if applicable): Angel García, P.E. / Sr Environmental Engineer at AG Environmental

**Direct Comments to:** PRDOH at [environmentcdbg@vivienda.pr.gov](mailto:environmentcdbg@vivienda.pr.gov)

**Project Location:** 3 C. Dr. Cuarto, Utuado, Puerto Rico 00641 (18.266209, -66.697940) (See Appendix B, Figure 00).

**Cadaster number:** 188-049-037-10

**Description of the Proposed Project** [24 CFR 50.12 & 58.32; 40 CFR 1508.25]: This proposal aims to rehabilitate and improve the existing conditions of the surrounding areas of the Market Square. The new design

proposed parking spaces (36 to 45 parking spaces) including two electric/hybrid charging spaces as well as accessible parking (ADA compliant). The project will also have green areas, new lighting, street furniture, solar-powered workstation-type tables with ports to recharge cell phones and connect laptops, game tables domino and chess, with umbrellas to create shade, architectural walls, with retractable roofs to separate the passive area of the Market Square and area for two food trucks. The new design will incorporate ADA compliance sidewalks and new solar light poles.

In the front part of the Plaza del Mercado, some benches will be added, as well as trash cans and improving the front planters

Proposed design main items are listed below:

1. Two (2) designated areas for Food Trucks, that will be leased to independent merchants in compliance with the provisions of article 2,031 of the Municipal Code.
2. Game area with two (2) domino and two (2) chess concrete game tables, protected with cantilever-style umbrellas for better player enjoyment.
3. Two (2) charging stations for electric or hybrid vehicles.
4. Four (4) workstations, solar tables, to recharge cell phones, tablets and laptops.
5. Wi-Fi access
6. Green areas
7. Solar primary lighting
8. Secondary lighting (Bollards LED lighting)
9. Architectural walls as per designed layout to separate the passive area from the service area of the Market Square. These walls will feature retractable ceilings, art, and lighting.
10. Construction of Sidewalks in accordance with the ADA, for the entire parking area.
11. Designated parking area for bicycles.
12. Installation of urban furniture, such as benches, shelves or "rack" for bicycles and trash cans around the Market Square.

**Actions:**

- Equipment
  - Rechargeable solar workstation tables
  - Solar poles for primary lighting
  - Secondary lighting (Bollards LED lighting)
  - Lightweight retractable roofs

- Green areas (trees, landscaping)
- Precast urban furniture
- Charging stations for electric or hybrid cars.
- Bike rack
- Rehabilitation / Renovation / Repair / Improvement
  - Existing parking lots
  - ADA compliant sidewalks
  - Planting of trees, that will require selective excavation and preparation of soil for planting. This work is not expected to exceed 36" depth and 60" x 36", per tree.
- Carpentry / Electricity / Plumbing
  - Provide underground cables to supply power to energize secondary lighting (Bollards LED lighting).
  - Provide underground cables to energize hybrid parking lots.
  - Provide underground independent electrical provision for food trucks.
  - Provide underground independent drinking water supply for food trucks.

Selective excavations required for the installation of systems as stated above will be required and is expected to be around 12" to 18" in depth, not to exceed 24".

- Demolition
  - All Sidewalks will be demolished to prepare and construct new wider sidewalks as per design. It is expected to demolish up to current soil level, fill and compact as required and build the new sidewalk on the same footprint.
  - Scarify existing asphalt. It is expected to remove around 4" of material up to existing soil level.
  - Removal of existing light poles, including bases and conduits.

Selective excavations required for the installation of systems as stated above will be required and is expected to be around 12" to 18" in depth, not to exceed 24".

- Construction
  - Construction of sidewalks
  - Construction of green area with trees and grass

- Construction of four architectural walls, three (3) 10'tall with a retractable lightweight ceiling, and one (1) of 5'height. The construction of these walls will require excavation for the footings. It is expected that this excavation will not exceed 36" in depth.

**Funding Information**

Grant Number	HUD Program	Funding Amount
B-17-DM-72-0001 B-18-DP-72-0001 B-19-DP-78-0002 B-18-DE-72-0001	CDBG-DR	11,938,162,230

**Estimated Total HUD Funded Amount: \$1,270,787.00**

**Estimated Total Project Cost (HUD and non-HUD funds) [24 CFR 58.32(d)]: \$1,270,787.00**

**Compliance with 24 CFR 50.4, 58.5, and 58.6 Laws and Authorities**

Record below the compliance or conformance determinations for each statute, executive order, or regulation. Provide credible, traceable, and supportive source documentation for each authority. Where applicable, complete the necessary reviews or consultations and obtain or note applicable permits of approvals. Clearly note citations, dates/names/titles of contacts, and page references. Attach additional documentation as appropriate.

Compliance Factors: Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6	Are formal compliance steps or mitigation required?	Compliance Determinations
<b>STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 50.4 and 58.6</b>		
<b>Airport Hazards</b>  24 CFR Part 51 Subpart D	Yes    No <input type="checkbox"/> <input checked="" type="checkbox"/>	The closest civilian airport to the Project site is the Mercedita International Airport (PSE), located in Ponce, approximately 19.5 miles southeast of the project site. The closest military airport to the Project site is the Coast Guard Air Station at Borinquen Airport (BQN), located in Aguadilla, approximately 32.3 miles northwest of the project site. The project is not located within 15,000 feet of a military airport, or 2,500 feet of a civilian airport. The Project is in compliance with Airport Hazard requirements. See worksheet in Appendix A and Figure 1 in Appendix B.
<b>Coastal Barrier Resources</b>	Yes    No <input type="checkbox"/> <input checked="" type="checkbox"/>	According to the Coastal Barrier Resources System Mapper, the closest CBRS Unit is PR- 58P: Bahia de

<p>Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 [16 USC 3501]</p>		<p>Tallaboa, located approximately 19.1 miles south of the Project. The Project is in compliance with Coastal Barrier Resources requirements.</p> <p>The Project is in compliance with Coastal Barrier Resources requirements. Refer to worksheet in Appendix A and Figure 2 in Appendix B.</p>
<p><b>Flood Insurance</b></p> <p>Flood Disaster Protection Act of 1973 and National Flood Insurance Reform Act of 1994 [42 USC 4001-4128 and 42 USC 5154a]</p>	<p>Yes    No</p> <p><input type="checkbox"/>    <input checked="" type="checkbox"/></p>	<p>Per Floodplain Insurance Map 72000C0615H, effective date April 19, 2005, most of the north portion of the project is located within a Special Flood Hazard Area, or within the 1% annual chance of flood hazard zone. The middle southern section of this linear project is located within Zone X, or the 0.2% annual chance of flood hazard zone. The southern portion of the project area is located outside the flood zone. The community of the Municipality of Utuado participates in the National Flood Insurance Program.</p> <p>The Project is in compliance with Flood Insurance requirements. Flood insurance is not required for this project because there are no structures on site that could be insured against flood damage.</p> <p>Refer to worksheet in Appendix A and Figure 3 in Appendix B.</p>
<p><b>STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 50.4 &amp; 58.5</b></p>		
<p><b>Clean Air</b></p> <p>Clean Air Act, as amended, particularly section 176(c) &amp; (d); 40 CFR Parts 6, 51, 93</p>	<p>Yes    No</p> <p><input type="checkbox"/>    <input checked="" type="checkbox"/></p>	<p>The Project scope does not include new construction or conversion of land use facilitating the development of public, commercial, or industrial facilities, or development of five or more dwelling units. Additionally, the project site is not located in a county or air quality management district that is in attainment status or non-attainment status for any criteria pollutants. The Municipality of Utuado is not listed in the EPA Green Book “Puerto Rico Nonattainment/Maintenance Status for Each County by Year for all Criteria Pollutants”</p> <p>The Project is in compliance with Clean Air requirements.</p> <p>Refer to worksheet in Appendix A and the table for Puerto Rico Nonattainment/Maintenance Status for Each County by Year for All Criteria Pollutants   Green Book   US EPA after worksheet.</p>
<p><b>Coastal Zone Management</b></p>	<p>Yes    No</p>	<p>The proposed action is in the Municipality of Utuado at approximately 13 miles (68,000 ft) from the vulnerable</p>

Coastal Zone Management Act, sections 307(c) & (d)	<input type="checkbox"/> <input checked="" type="checkbox"/>	coastal zone. The Project follows Coastal Zone Management requirements. Refer to worksheet in Appendix A and figure 4 in Appendix B.
<b>Contamination and Toxic Substances</b>  24 CFR Part 50.3(i) & 58.5(i)(2)	Yes    No <input checked="" type="checkbox"/> <input type="checkbox"/>	<p>A search of the NEPAAssist database identified regulated sites within a half-mile radius of the project site. The project site was not listed in NEPAAssist database, however, an analysis of these facilities using EPA ECHO reports revealed that two RCRA and three CAA sites were identified within 05 mile of the project site. The nearest regulated site, "Papelera Puertorriqueña INC," is located approximately 1,000 feet away and poses no increased risk to the project. None of the sites within 0.5 mile of the project site have had violations in the last three years. Based on site status, these facilities would not generate toxic, hazardous, or radioactive substances that could affect the health and safety of project occupants or conflict with the intended use of the project site.</p> <p>A site inspection was made on April 20, 2023. The environmental site inspection identified no recognized environmental conditions (RECs) on the property, and the historical use review did not indicate any past activities that could have resulted in contamination.</p> <p>Lead-based paint was identified during the inspection on October 23, 2023. Even if not currently hazardous, lead-based paint requires mitigation planning because renovation or demolition activities could disturb the paint and create lead dust hazards. A lead-certified professional should be consulted to assess the extent of lead-based paint and develop a mitigation plan (refer to Appendix C for related reports). The general contractor will implement an approved lead-based paint mitigation plan during construction.</p> <p>Additionally, an asbestos inspection was conducted at the project site on October 23, 2023. No suspected asbestos-containing materials (ACM) were identified, and no samples were taken.</p> <p>Refer to worksheet in Appendix A and supporting documentation in Appendix C.</p>
<b>Endangered Species</b>	Yes    No <input type="checkbox"/> <input checked="" type="checkbox"/>	Per the Official Species List from the U.S. Fish and Wildlife Service (USFWS) Information for Planning and Consultation (IPaC) website the Puerto Rican Boa can

<p>Endangered Species Act of 1973, particularly section 7; 50 CFR Part 402</p>		<p>be found, additionally, the Puerto Rican parrot and Puerto Rican Broad – Winged Hawk (all three classified as endangered species) could be present at Project Site but there are no critical habitats at this location. The nearest critical habitat is at more than 11,700 ft from project site (see appendix D).</p> <p>A site-specific review of endangered species was conducted in accordance with the Fish and Wildlife Act (47 Stat. 401, as amended: 16 U.S.C. 661 et seq.). The review on April 4, 2024, concluded that the project would have No Effect on the Puerto Rican boa and the Puerto Rican broad-winged hawk. In its response on April 8, 2024, the USFWS concurred the No Effect determination for these two species but indicated that the endangered Puerto Rican parrot is not covered by this conclusion. USFWS stated that the Puerto Rican parrot should be considered as part of the endangered species review.</p> <p>A Self-Certification process was undertaken and signed on April 23, 2024, which indicates that the project is in compliance with Criteria 2 and 8 of the USFWS, Caribbean Ecological Services Field Office Blanket Clearance Letter, in compliance with Endangered Species Act of 1973, as amended, and the Fish and Wildlife Coordination Act for federally funded projects. The Service determined that projects in compliance with at least one of the 11 listed criteria are not likely to adversely affect federally listed species (see Appendix D).</p> <p>The proposed project will have No Effect on listed species or habitats. Based on the nature of the project, scope of work, information available, and a careful analysis of the Project Site, and IPaC species list, it was determined that there would be No Effect for any of the listed species.</p> <p>If a Puerto Rican boa, Puerto Rican parrot, or Puerto Rican broad – winged hawk is encountered, work will cease until it moves off the site, or failing that, the Puerto Rico Department of Natural and Environmental Resources (PRDNER) Rangers will be notified for safe capture and relocation of the animal, in accordance with the guidelines in the USFWS Puerto Rican boa Conservation Measures</p>
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<p><b>Explosive and Flammable Hazards</b></p> <p>24 CFR Part 51 Subpart C</p>	<p>Yes    No</p> <p><input type="checkbox"/>   <input checked="" type="checkbox"/></p>	<p>The proposed project does not include a hazardous facility that mainly stores, handles, or processes flammable or combustible chemicals such as bulk fuel storage facilities. Planned activities in the project area do not include installation of storage tanks. The project would not introduce new residents and would not involve an increase in employees or clients. Examination of aerial views and street views show no above ground storage tanks within a one-mile radius of the project site. The Project is in compliance with Explosive and Flammable Hazards requirements.</p> <p>Refer to worksheet in Appendix A and Figure 5 in Appendix B.</p>
<p><b>Farmlands Protection</b></p> <p>Farmland Protection Policy Act of 1981, particularly sections 1504(b) and 1541; 7 CFR Part 658</p>	<p>Yes    No</p> <p><input type="checkbox"/>   <input checked="" type="checkbox"/></p>	<p>Project does not include any activities, including new construction, acquisition of undeveloped land or conversion, which could convert agricultural land to a non- agricultural use. Additionally, per the classification of soil, the project site is classified as Urban soil, which can be observed in topographic maps (developed area).</p> <p>The Project is in compliance with Farmland Protection requirements.</p> <p>See worksheet in Appendix A and supporting documentation in appendix F.</p>
<p><b>Floodplain Management</b></p> <p>Executive Order 11988, particularly section 2(a); 24 CFR Part 55</p>	<p>Yes    No</p> <p><input checked="" type="checkbox"/>   <input type="checkbox"/></p>	<p>According to the PR Planning Board Advisory Base Flood Elevation map effective from April 13, 2018, the project is located within a 100 – year floodplain. The 8 – step process is aplicable and the early public notice was published on newspaper "El Vocero" dated October 26, 2023, the fifteen days period for comments were allowed and no comment was received. A final public notice was published on "Primera Hora" Newspaper on January 09, 2024, the seven days for period were allowed and no comments were made. The project site is located in the 100-year floodplain AE per Floodplain Insurance Map 72000C0615H, effective date</p>

		<p>April 19, 2005 and flood hazard zone A per the Advisory Base Flood Elevation Map.</p> <p>An 8-Step evaluation was conducted for the project, and it was determined that the project will have no impacts on the floodplain due to the proposed improvements, as it will not expand the existing footprint. The 8-Step evaluation also concluded that there is no practicable alternative to locating the project outside the flood zone. This conclusion is based on: 1) the need to revitalize the parking and surrounding areas of the square plaza due to the aftermath of hurricanes; 2) the community's need for open recreational spaces for all ages; and 3) the necessity of ADA-compliant parking. Please refer to Appendix G for further details.</p> <p>Mitigation measures will be taken to minimize adverse impacts during construction and to restore and preserve natural and beneficial values. Best management practices are being employed during the design phase and will be implemented during the construction to appropriately minimize and remove debris from the floodplain area. The project would be implemented within the existing footprint of the property would not involve an increase in impervious surfaces. With these mitigations there will be no impact to the floodplain by incorporating mostly green open spaces. It will not have a significant impact on the actual runoff water behavior during weather events. The proposed use is in harmony with the surrounding developed area.</p> <p>The Project is in compliance with Floodplain Management requirements.</p> <p>Refer to worksheet in Appendix A, Figure 6 in Appendix B and supporting documentation in appendix G.</p>
<p><b>Historic Preservation</b></p> <p>National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800</p>	<p>Yes    No</p> <p><input checked="" type="checkbox"/>    <input type="checkbox"/></p>	<p>The first submission of the Effect Determination Form for SHPO was on October 20, 2022, the submission requested SHPO (State Historic Preservation Officer) concurrence that the project would have no adverse effects on historic resources. On February 26, 2024, the SHPO issued a written communication concurring with a determination of no adverse effect within the project's area of potential effects. If the agency discovers other historic properties at any point during</p>

		project implementation, the agency will notify SHPO immediately. The Project adheres to Historic Preservation requirements. Please refer to the worksheet in Appendix A and the full EDF 106 package in Appendix E.
<b>Noise Abatement and Control</b>  Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B	Yes    No <input type="checkbox"/> <input checked="" type="checkbox"/>	The project involves rehabilitation of existing nonresidential buildings for non-residential use. An evaluation of noise abatement and control is not required. The Project is in compliance with Noise Abatement and Control requirements.  Refer to worksheet in Appendix A
<b>Sole Source Aquifers</b>  Safe Drinking Water Act of 1974, as amended, particularly section 1424(e); 40 CFR Part 149	Yes    No <input type="checkbox"/> <input checked="" type="checkbox"/>	There are no EPA sole source aquifers in Puerto Rico. The nearest sole aquifer is at approximately 998 miles (5,272,694.70 ft). Furthermore, the project consists of activities that are unlikely to have an adverse impact on groundwater resources. The project is in compliance with Sole Source Aquifer requirements.  Refer to worksheet in Appendix A and Figure 7 in Appendix B.
<b>Wetlands Protection</b>  Executive Order 11990, particularly sections 2 and 5	Yes    No <input type="checkbox"/> <input checked="" type="checkbox"/>	A review of the National Wetlands Inventory (NWI) mapping indicates that there are no wetlands on the project site or adjacent to it. Based on this information, the project appears to be in compliance with Wetlands Protection requirements.  The nearest wetland is at 165 ft approximately from project site. A CES plan will be implemented for the sedimentation and erosion control per local agencies requirements.  Refer to worksheet in Appendix A and Figure 8 in Appendix B.
<b>Wild and Scenic Rivers</b>  Wild and Scenic Rivers Act of 1968, particularly section 7(b) and (c)	Yes    No <input type="checkbox"/> <input checked="" type="checkbox"/>	Puerto Rico has only three Wild and Scenic Rivers, located on the east side of Puerto Rico. The proposed action is in the municipality of Utuado at approximately 59 miles(311,520 ft) west from said rivers. There would be no impact to Wild and Scenic Rivers.  Therefore, the Project is in compliance with Wild and Scenic Rivers requirements.  Refer to worksheet in Appendix A and Figure 9 in Appendix B.
<b>ENVIRONMENTAL JUSTICE</b>		

<p><b>Environmental Justice</b></p> <p>Executive Order 12898</p>	<p>Yes    No</p> <p><input type="checkbox"/>    <input checked="" type="checkbox"/></p>	<p>No adverse environmental impacts were identified in any other compliance review portion of this project that may disproportionately be high for low-income and/or minority communities.</p> <p>Therefore, the Project is in compliance with Environmental Justice requirements.</p> <p>Refer to worksheet in Appendix A.</p>
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**Field Inspection** (Date and completed by):

Field inspection took place on April 20, 2023, by AG Environmental PSC personnel.

See site photos attached at the end of the ERR.

**Summary of Findings and Conclusions:**

The project is expected to have no significant adverse effects on the natural or human environment. Additionally, it is anticipated to bring overall beneficial social and economic impacts to the Municipality of Utuado by improving public spaces, creating more opportunities for economic development, enhancing the resilience of existing public buildings, and increasing citizen safety. Although the project is located in a 100-year floodplain and will temporarily disturb this area, the floodplain will return to its existing conditions after construction. The State Historic Preservation Office (SHPO) has concluded that a finding of no adverse effect is appropriate with regard to historic properties, architectural resources, archaeological resources, and other cultural resources. The project cannot be exempted based on the finding of no adverse effect, as opposed to a finding of no historic properties affected.

**Mitigation Measures and Conditions [40 CFR 1505.2(c)]**

Summarize below all mitigation measures adopted by the Responsible Entity to reduce, avoid, or eliminate adverse environmental impacts and to avoid non-compliance or non-conformance with the above-listed authorities and factors. These measures/conditions must be incorporated into project contracts, development agreements, and other relevant documents. The staff responsible for implementing and monitoring mitigation measures should be clearly identified in the mitigation plan.

Law, Authority, or Factor	Mitigation Measure
Contamination and Toxic Substances	Removal of lead base paint following governing local agencies guidelines, regulations and methodology will take place by general contractor prior to any construction.
Historic Preservation	The agency determined no adverse effect, however If the agency discovers other historic properties at any point during project implementation, the agency will notify SHPO immediately.

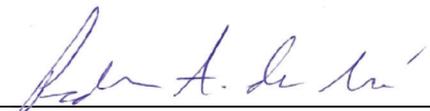
Floodplain management	All local agencies' regulations will be followed in the implementation of the project. Construction impacts to the floodplain will be minimized through best management practices, which would include sedimentation and erosion control measures and appropriate management of construction debris.

**Determination:**

- This categorically excluded activity/project converts to Exempt, per 58.34(a)(12) because there are no circumstances which require compliance with any of the federal laws and authorities cited at §58.5. **Funds may be committed and drawn down after certification of this part** for this (now) EXEMPT project; OR
- This categorically excluded activity/project cannot convert to Exempt because there are circumstances which require compliance with one or more federal laws and authorities cited at §58.5. Complete consultation/mitigation protocol requirements, **publish NOI/RROF and obtain “Authority to Use Grant Funds”** (HUD 7015.16) per Section 58.70 and 58.71 before committing or drawing down any funds; OR
- This project is now subject to a full Environmental Assessment according to Part 58 Subpart E due to extraordinary circumstances (Section 58.35(c)).

Preparer Signature:  \_\_\_\_\_ Date: August 13, 2024

Name/Title/Organization: José De La Rosa Reyes

Certifying Officer Signature:  \_\_\_\_\_ Date: 8/20/2024

Name/Title: Pedro A. de León Rodríguez, MSEM/Permits and Environmental Compliance Specialist

This original, signed document and related supporting material must be retained on file by the Responsible Entity in an Environmental Review Record (ERR) for the activity/project (ref: 24 CFR Part 58.38) and in accordance with recordkeeping requirements for the HUD program(s).



**Appendix A**  
**Worksheets**



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT  
WASHINGTON, DC 20410-1000

## Airport Hazards (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/airport-hazards>

**1. To ensure compatible land use development, you must determine your site's proximity to civil and military airports. Is your project within 15,000 feet of a military airport or 2,500 feet of a civilian airport?**

No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide a map showing that the site is not within the applicable distances to a military or civilian airport.*

Yes → *Continue to Question 2.*

**2. Is your project located within a Runway Potential Zone/Clear Zone (RPZ/CZ) or Accident Potential Zone (APZ)?**

Yes, project is in an APZ → *Continue to Question 3.*

Yes, project is an RPZ/CZ → *Project cannot proceed at this location.*

No, project is not within an APZ or RPZ/CZ

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Continue to the Worksheet Summary below. Provide a map showing that the site is not within either zone.*

**3. Is the project in conformance with DOD guidelines for APZ?**

Yes, project is consistent with DOD guidelines without further action.

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide any documentation supporting this determination.*

No, the project cannot be brought into conformance with DOD guidelines and has not been approved. → *Project cannot proceed at this location.*

**If mitigation measures have been or will be taken, explain in detail the proposed measures that must be implemented to mitigate for the impact or effect, including the timeline for implementation.**

Click here to enter text.

→ *Work with the RE/HUD to develop mitigation measures. Continue to the Worksheet Summary below. Provide any documentation supporting this determination.*

**Worksheet Summary**

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

**Include all documentation supporting your findings in your submission to HUD.**

The closest civilian airport to the Project site is the Mercedita International Airport (PSE), located in Ponce, approximately 19.5 miles southeast of the project site. The closest military airport to the Project site is the Coast Guard Air Station at Borinquen Airport (BQN), located in Aguadilla, approximately 32.3 miles northwest of the project site. The project is not located within 15,000 feet of a military airport, or 2,500 feet of a civilian airport. The Project is in compliance with Airport Hazard requirements. See Figure 1 in Appendix B.



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT  
WASHINGTON, DC 20410-1000

## Coastal Barrier Resources (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/coastal-barrier-resources>

Projects located in the following states must complete this form.

Alabama	Georgia	Massachusetts	New Jersey	Puerto Rico	Virgin Islands
Connecticut	Louisiana	Michigan	New York	Rhode Island	Virginia
Delaware	Maine	Minnesota	North Carolina	South Carolina	Wisconsin
Florida	Maryland	Mississippi	Ohio	Texas	

### 1. Is the project located in a CBRS Unit?

No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide a map showing that the site is not within a CBRS Unit.*

Yes → *Continue to 2.*

Federal assistance for most activities may not be used at this location. You must either choose an alternate site or cancel the project. In very rare cases, federal monies can be spent within CBRS units for certain exempted activities (e.g., a nature trail), after consultation with the Fish and Wildlife Service (FWS) (see [16 USC 3505](#) for exceptions to limitations on expenditures).

### 2. Indicate your recommended course of action for the RE/HUD

- Consultation with the FWS
- Cancel the project

### Worksheet Summary

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

**Include all documentation supporting your findings in your submission to HUD.**

According to the Coastal Barrier Resources System Mapper, the closest CBRS Unit is PR- 58P: Bahia de Tallaboa, located approximately 19.1 miles south of the Project. The Project is in compliance with Coastal Barrier Resources requirements.

The Project is in compliance with Coastal Barrier Resources requirements. Refer to Figure 2 in Appendix B.



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT  
WASHINGTON, DC 20410-1000

## Flood Insurance (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/flood-insurance>

**1. Does this project involve mortgage insurance, refinance, acquisition, repairs, rehabilitation, or construction of a structure, mobile home, or insurable personal property?**

No. This project does not require flood insurance or is excepted from flood insurance.

→ Continue to the Worksheet Summary.

Yes → Continue to Question 2.

**2. Provide a FEMA/FIRM map showing the site.**

The Federal Emergency Management Agency (FEMA) designates floodplains. The [FEMA Map Service Center](#) provides this information in the form of FEMA Flood Insurance Rate Maps (FIRMs).

**Is the structure, part of the structure, or insurable property located in a FEMA-designated Special Flood Hazard Area?**

No → Continue to the Worksheet Summary.

Yes → Continue to Question 3.

**3. Is the community participating in the National Flood Insurance Program or has less than one year passed since FEMA notification of Special Flood Hazards?**

Yes, the community is participating in the National Flood Insurance Program.

Flood insurance is required. Provide a copy of the flood insurance policy declaration or a paid receipt for the current annual flood insurance premium and a copy of the application for flood insurance.

→ Continue to the Worksheet Summary.

Yes, less than one year has passed since FEMA notification of Special Flood Hazards.

If less than one year has passed since notification of Special Flood Hazards, no flood insurance is required.

→ Continue to the Worksheet Summary.

No. The community is not participating, or its participation has been suspended.

Federal assistance may not be used at this location. Cancel the project at this location.

### **Worksheet Summary**

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

**Include all documentation supporting your findings in your submission to HUD.**

Per Floodplain Insurance Map 72000C0615H, effective date April 19, 2005, most of the north portion of the project is located within a Special Flood Hazard Area, or within the 1% annual chance of flood hazard zone. The middle southern section of this linear project is located within Zone X, or the 0.2% annual chance of flood hazard zone. The southern portion of the project area is located outside the flood zone.

The community of the Municipality of Utuado participates in the National Flood Insurance Program.

The Project is in compliance with Flood Insurance requirements. Flood insurance is not required for this project because there are no structures on site that could be insured against flood damage.

Refer to Figure 3 in Appendix B.



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**Air Quality (CEST and EA) – PARTNER**

<https://www.hudexchange.info/environmental-review/air-quality>

1. Does your project include new construction or conversion of land use facilitating the development of public, commercial, or industrial facilities OR five or more dwelling units?

Yes → Continue to Question 2.

No → If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Provide any documents used to make your determination.

2. Is your project's air quality management district or county in non-attainment or maintenance status for any criteria pollutants?

Follow the link below to determine compliance status of project county or air quality management district:

<http://www.epa.gov/oaqps001/greenbk/>

No, project's county or air quality management district is in attainment status for all criteria pollutants

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide any documents used to make your determination.

Yes, project's management district or county is in non-attainment or maintenance status for one or more criteria pollutants. → Continue to Question 3.

3. Determine the estimated emissions levels of your project for each of those criteria pollutants that are in non-attainment or maintenance status on your project area. Will your project exceed any of the *de minimis* or *threshold* emissions levels of non-attainment and maintenance level pollutants or exceed the screening levels established by the state or air quality management district?

No, the project will not exceed *de minimis* or threshold emissions levels or screening levels

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Explain how you determined that the project would not exceed *de minimis* or *threshold* emissions.

Yes, the project exceeds *de minimis* emissions levels or screening levels.

→ Continue to Question 4. Explain how you determined that the project would not exceed de minimis or threshold emissions in the Worksheet Summary.

- 4. For the project to be brought into compliance with this section, all adverse impacts must be mitigated. Explain in detail the exact measures that must be implemented to mitigate for the impact or effect, including the timeline for implementation.**

[Click here to enter text.](#)

### **Worksheet Summary**

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

**Include all documentation supporting your findings in your submission to HUD.**

The Project scope does not include new construction or conversion of land use facilitating the development of public, commercial, or industrial facilities, or development of five or more dwelling units. Additionally, the project site is not located in a county or air quality management district that is in attainment status or non-attainment status for any criteria pollutants. The Municipality of Utuado is not listed in the EPA Green Book "Puerto Rico Nonattainment/Maintenance Status for Each County by Year for all Criteria Pollutants"

The Project is in compliance with Clean Air requirements.

Refer to the table for Puerto Rico Nonattainment/Maintenance Status for Each County by Year for All Criteria Pollutants | Green Book | US EPA after worksheet in appendix A.





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## Coastal Zone Management Act (CEST and EA) – PARTNER

<https://www.onecpd.info/environmental-review/coastal-zone-management>

Projects located in the following states must complete this form.

Alabama	Florida	Louisiana	Mississippi	Ohio	Texas
Alaska	Georgia	Maine	New Hampshire	Oregon	Virgin Islands
American Samoa	Guam	Maryland	New Jersey	Pennsylvania	Virginia
California	Hawaii	Massachusetts	New York	Puerto Rico	Washington
Connecticut	Illinois	Michigan	North Carolina	Rhode Island	Wisconsin
Delaware	Indiana	Minnesota	Northern Mariana Islands	South Carolina	

**1. Is the project located in, or does it affect, a Coastal Zone as defined in your state Coastal Management Plan?**

Yes → Continue to Question 2.

No → If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide a map showing that the site is not within a Coastal Zone.

**2. Does this project include activities that are subject to state review?**

Yes → Continue to Question 3.

No → If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide documentation used to make your determination.

**3. Has this project been determined to be consistent with the State Coastal Management Program?**

Yes, with mitigation. → The RE/HUD must work with the State Coastal Management Program to develop mitigation measures to mitigate the impact or effect of the project.

Yes, without mitigation. → If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide documentation used to make your determination.

No → Project cannot proceed at this location.

### **Worksheet Summary**

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates

- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

**Include all documentation supporting your findings in your submission to HUD.**

The proposed action is in the Municipality of Utuado at approximately 13 miles (68,000 ft) from the vulnerable coastal zone. The Project follows Coastal Zone Management requirements. Refer to figure 4 in Appendix B.



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## Contamination and Toxic Substances (Multifamily and Non-Residential Properties) – PARTNER

<https://www.hudexchange.info/programs/environmental-review/site-contamination>

**1. How was site contamination evaluated? <sup>1</sup> Select all that apply.**

- ASTM Phase I ESA
- ASTM Phase II ESA
- Remediation or clean-up plan
- ASTM Vapor Encroachment Screening
- None of the above

→ Provide documentation and reports and include an explanation of how site contamination was evaluated in the Worksheet Summary.

Continue to Question 2.

**2. Were any on-site or nearby toxic, hazardous, or radioactive substances found that could affect the health and safety of project occupants or conflict with the intended use of the property? (Were any recognized environmental conditions or RECs identified in a Phase I ESA and confirmed in a Phase II ESA?)**

- No → Explain below.

According to the NEPAAssist database, there are regulated sites within a 0.5 - mile radius from the project site. However, an analysis of these instances shows that all of these sites are in compliance with the applicable regulations.

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.

- Yes → Describe the findings, including any recognized environmental conditions (RECs), in Worksheet Summary below. Continue to Question 3.

**3. Can adverse environmental impacts be mitigated?**

- Adverse environmental impacts cannot feasibly be mitigated → HUD assistance may not be used for the project at this site. Project cannot proceed at this location.

- Yes, adverse environmental impacts can be eliminated through mitigation.

---

<sup>1</sup> HUD regulations at 24 CFR § 58.5(i)(2)(ii) require that the environmental review for multifamily housing with five or more dwelling units or non-residential property include the evaluation of previous uses of the site or other evidence of contamination on or near the site. For acquisition and new construction of multifamily and nonresidential properties HUD strongly advises the review include an ASTM Phase I Environmental Site Assessment (ESA) to meet real estate transaction standards of due diligence and to help ensure compliance with HUD's toxic policy at 24 CFR §58.5(i) and 24 CFR §50.3(i). Also note that some HUD programs require an ASTM Phase I ESA.

→ Provide all mitigation requirements<sup>2</sup> and documents. Continue to Question 4.

**4. Describe how compliance was achieved. Include any of the following that apply: State Voluntary Clean-up Program, a No Further Action letter, use of engineering controls<sup>3</sup>, or use of institutional controls<sup>4</sup>.**

[Click here to enter text.](#)

**If a remediation plan or clean-up program was necessary, which standard does it follow?**

- Complete removal
- Risk-based corrective action (RBCA)

→ Continue to the Worksheet Summary.

### **Worksheet Summary**

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

### **Include all documentation supporting your findings in your submission to HUD.**

A search of the NEPAassist database identified regulated sites within a half-mile radius of the project site. The project site was not listed in NEPAassist database, however, an analysis of these facilities using EPA ECHO reports revealed that two RCRA and three CAA two RCRA and three CAA sites were identified within 0.5 mile of the project site. The nearest regulated site, "Papelera Puertorriqueña INC," is located approximately 1,000 feet away and poses no increased risk to the project. None of the sites within 0.5 mile of the project site have had violations in the last three years. Based on site status, these facilities would not generate toxic, hazardous, or radioactive substances that could affect the health and safety of project occupants or conflict with the intended use of the project site.

A site inspection was made on April 20, 2023. The environmental site inspection identified no recognized environmental conditions (RECs) on the property, and the historical use review did not indicate any past activities that could have resulted in contamination.

---

<sup>2</sup> Mitigation requirements include all clean-up actions required by applicable federal, state, tribal, or local law. Additionally, provide, as applicable, the long-term operations and maintenance plan, Remedial Action Work Plan, and other equivalent documents.

<sup>3</sup> Engineering controls are any physical mechanism used to contain or stabilize contamination or ensure the effectiveness of a remedial action. Engineering controls may include, without limitation, caps, covers, dikes, trenches, leachate collection systems, signs, fences, physical access controls, ground water monitoring systems and ground water containment systems including, without limitation, slurry walls and ground water pumping systems.

<sup>4</sup> Institutional controls are mechanisms used to limit human activities at or near a contaminated site, or to ensure the effectiveness of the remedial action over time, when contaminants remain at a site at levels above the applicable remediation standard which would allow for unrestricted use of the property. Institutional controls may include structure, land, and natural resource use restrictions, well restriction areas, classification exception areas, deed notices, and declarations of environmental restrictions.

Lead-based paint was identified during the inspection on October 23, 2023. Even if not currently hazardous, lead-based paint requires mitigation planning because renovation or demolition activities could disturb the paint and create lead dust hazards. A lead-certified professional should be consulted to assess the extent of lead-based paint and develop a mitigation plan (refer to Appendix C for related reports). The general contractor will implement an approved lead-based paint mitigation plan during construction.

Additionally, an asbestos inspection was conducted at the project site on October 23, 2023. No suspected asbestos-containing materials (ACM) were identified, and no samples were taken.

Refer to supporting documentation in Appendix C. .



## Endangered Species Act (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/endangered-species>

### 1. Does the project involve any activities that have the potential to affect species or habitats?

No, the project will have No Effect due to the nature of the activities involved in the project.

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide any documents used to make your determination.*

No, the project will have No Effect based on a letter of understanding, memorandum of agreement, programmatic agreement, or checklist provided by local HUD office.

**Explain your determination:**

[Click here to enter text.](#)

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide any documents used to make your determination.*

Yes, the activities involved in the project have the potential to affect species and/or habitats. →  
*Continue to Question 2.*

### 2. Are federally listed species or designated critical habitats present in the action area?

Obtain a list of protected species from the Services. This information is available on the [FWS Website](#).

No, the project will have No Effect due to the absence of federally listed species and designated critical habitat.

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide any documents used to make your determination. Documentation may include letters from the Services, species lists from the Services' websites, surveys or other documents and analysis showing that there are no species in the action area.*

Yes, there are federally listed species or designated critical habitats present in the action area. →  
*Continue to Question 3.*

### 3. Recommend one of the following effects that the project will have on federally listed species or designated critical habitat:

No Effect: Based on the specifics of both the project and any federally listed species in the action area, you have determined that the project will have absolutely no effect on listed species or critical habitat.

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide any documents used to make your determination. Documentation should include a species list and explanation of your conclusion, and may require maps, photographs, and surveys as appropriate.*

**May Affect, Not Likely to Adversely Affect:** Any effects that the project may have on federally listed species or critical habitats would be beneficial, discountable, or insignificant.

→ Partner entities should not contact the Services directly. *If the RE/HUD agrees with this recommendation, they will have to complete Informal Consultation. Provide the RE/HUD with a biological evaluation or equivalent document. They may request additional information, including surveys and professional analysis, to complete their consultation.*

**Likely to Adversely Affect:** The project may have negative effects on one or more listed species or critical habitat.

→ Partner entities should not contact the Services directly. *If the RE/HUD agrees with this recommendation, they will have to complete Formal Consultation. Provide the RE/HUD with a biological evaluation or equivalent document. They may request additional information, including surveys and professional analysis, to complete their consultation.*

### **Worksheet Summary**

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

### **Include all documentation supporting your findings in your submission to HUD.**

Per the Official Species List from the U.S. Fish and Wildlife Service (USFWS) Information for Planning and Consultation (IPaC) website the Puerto Rican Boa can be found, additionally, the Puerto Rican parrot and Puerto Rican Broad – Winged Hawk (all three classified as endangered species) could be present at Project Site but there are no critical habitats at this location. The nearest critical habitat is at more than 11,700 ft from project site (see appendix D).

A site-specific review of endangered species was conducted in accordance with the Fish and Wildlife Act (47 Stat. 401, as amended: 16 U.S.C. 661 et seq.). The review on April 4, 2024, concluded that the project would have No Effect on the Puerto Rican boa and the Puerto Rican broad-winged hawk. In its response on April 8, 2024, the USFWS concurred the No Effect determination for these two species but indicated that the endangered Puerto Rican parrot is not covered by this conclusion. USFWS stated that the Puerto Rican parrot should be considered as part of the endangered species review.

A Self-Certification process was undertaken and signed on April 23, 2024, which indicates that the project is in compliance with Criteria 2 and 8 of the USFWS, Caribbean Ecological Services Field Office Blanket Clearance Letter, in compliance with Endangered Species Act of 1973, as amended, and the Fish

and Wildlife Coordination Act for federally funded projects. The Service determined that projects in compliance with at least one of the 11 listed criteria are not likely to adversely affect federally listed species (see Appendix D).

The proposed project will have No Effect on listed species or habitats. Based on the nature of the project, scope of work, information available, and a careful analysis of the Project Site, and IPaC species list, it was determined that there would be No Effect for any of the listed species.

If a Puerto Rican boa, Puerto Rican parrot, or Puerto Rican broad – winged hawk is encountered, work will cease until it moves off the site, or failing that, the Puerto Rico Department of Natural and Environmental Resources (PRDNER) Rangers will be notified for safe capture and relocation of the animal, in accordance with the guidelines in the USFWS Puerto Rican boa Conservation Measures (<https://ipac.ecosphere.fws.gov/guideline/design/population/156/office/41430.pdf>).

With these mitigations the Project is in compliance with Endangered Species requirements.

Refer to worksheet in Appendix A, IPaC report and supporting information in Appendix D.



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**Explosive and Flammable Hazards (CEST and EA) – PARTNER**

<https://www.hudexchange.info/environmental-review/explosive-and-flammable-facilities>

**1. Does the proposed HUD-assisted project include a hazardous facility (a facility that mainly stores, handles or processes flammable or combustible chemicals such as bulk fuel storage facilities and refineries)?**

No

→ Continue to Question 2.

Yes

**Explain:**

[Click here to enter text.](#)

→ Continue to Question 5.

**2. Does this project include any of the following activities: development, construction, rehabilitation that will increase residential densities, or conversion?**

No → If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.

Yes → Continue to Question 3.

**3. Within 1 mile of the project site, are there any current *or planned* stationary aboveground storage containers:**

- Of more than 100-gallon capacity, containing common liquid industrial fuels OR
- Of any capacity, containing hazardous liquids or gases that are not common liquid industrial fuels?

No → If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide all documents used to make your determination.

Yes → Continue to Question 4.

**4. Is the Separation Distance from the project acceptable based on standards in the Regulation?**

Please visit HUD's website for information on calculating Acceptable Separation Distance.

Yes

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.

Provide map(s) showing the location of the project site relative to any tanks and your separation distance calculations. If the map identifies more than one tank, please identify the tank you have chosen as the "assessed tank."

No

→ Continue to Question 6.

*Provide map(s) showing the location of the project site relative to any tanks and your separation distance calculations. If the map identifies more than one tank, please identify the tank you have chosen as the “assessed tank.”*

**5. Is the hazardous facility located at an acceptable separation distance from residences and any other facility or area where people may congregate or be present?**

Please visit HUD’s website for information on calculating Acceptable Separation Distance.

Yes

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.*

*Provide map(s) showing the location of the project site relative to residences and any other facility or area where people congregate or are present and your separation distance calculations.*

No

→ Continue to Question 6.

*Provide map(s) showing the location of the project site relative to residences and any other facility or area where people congregate or are present and your separation distance calculations.*

**6. For the project to be brought into compliance with this section, all adverse impacts must be mitigated. Explain in detail the exact measures that must be implemented to make the Separation Distance acceptable, including the timeline for implementation. If negative effects cannot be mitigated, cancel the project at this location.**

Note that only licensed professional engineers should design and implement blast barriers. If a barrier will be used or the project will be modified to compensate for an unacceptable separation distance, provide approval from a licensed professional engineer.

[Click here to enter text.](#)

**Worksheet Summary**

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

**Include all documentation supporting your findings in your submission to HUD.**

The proposed project does not include a hazardous facility that mainly stores, handles, or processes flammable or combustible chemicals such as bulk fuel storage facilities. Planned activities in the project area do not include installation of storage tanks. The project would not introduce new residents and would not involve an increase in employees or clients. Examination of aerial views and street views show no above ground storage tanks within a one-mile radius of the project site. The Project is in compliance with Explosive and Flammable Hazards requirements.

Refer to worksheet in Appendix A and Figure 5 in Appendix B.



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## Farmlands Protection (CEST and EA) - PARTNER

<https://www.hudexchange.info/environmental-review/farmlands-protection>

**1. Does your project include any activities, including new construction, acquisition of undeveloped land or conversion, that could convert agricultural land to a non-agricultural use?**

Yes → *Continue to Question 2.*

No

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.*

**2. Does “important farmland,” including prime farmland, unique farmland, or farmland of statewide or local importance regulated under the Farmland Protection Policy Act, occur on the project site?**

You may use the links below to determine important farmland occurs on the project site:

- Utilize USDA Natural Resources Conservation Service’s (NRCS) Web Soil Survey <http://websoilsurvey.nrcs.usda.gov/app/HomePage.htm>
- Check with your city or county’s planning department and ask them to document if the project is on land regulated by the FPPA (zoning important farmland as non-agricultural does not exempt it from FPPA requirements)
- Contact NRCS at the local USDA service center <http://offices.sc.egov.usda.gov/locator/app?agency=nrcs> or your NRCS state soil scientist [http://soils.usda.gov/contact/state\\_offices/](http://soils.usda.gov/contact/state_offices/) for assistance

No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide any documents used to make your determination.*

Yes → *Continue to Question 3.*

**3. Consider alternatives to completing the project on important farmland and means of avoiding impacts to important farmland.**

- Complete form [AD-1006, “Farmland Conversion Impact Rating”](#) and contact the state soil scientist before sending it to the local NRCS District Conservationist.
- Work with NRCS to minimize the impact of the project on the protected farmland. When you have finished with your analysis, return a copy of form AD-1006 to the USDA-NRCS State Soil Scientist or his/her designee informing them of your determination.

**Work with the RE/HUD to determine how the project will proceed. Document the conclusion:**

Project will proceed with mitigation.

**Explain in detail the proposed measures that must be implemented to mitigate for the impact or effect, including the timeline for implementation.**

Click here to enter text.

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide form AD-1006 and all other documents used to make your determination.

Project will proceed without mitigation.

**Explain why mitigation will not be made here:**

[Click here to enter text.](#)

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide form AD-1006 and all other documents used to make your determination.

### **Worksheet Summary**

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

**Include all documentation supporting your findings in your submission to HUD.**

Project does not include any activities, including new construction, acquisition of undeveloped land or conversion, which could convert agricultural land to a non- agricultural use. Additionally, per the classification of soil, the project site is classified as Urban soil, which can be observed in topographic maps (developed area).

The Project is in compliance with Farmland Protection requirements.

See supporting documentation in appendix F.



## Floodplain Management (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/floodplain-management>

1. Does [24 CFR 55.12\(c\)](#) exempt this project from compliance with HUD’s floodplain management regulations in Part 55?

Yes

Provide the applicable citation at [24 CFR 55.12\(c\)](#) here. If project is exempt under [55.12\(c\)\(6\)](#) or [\(8\)](#), provide supporting documentation.

[Click here to enter text.](#)

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Continue to the Worksheet Summary.

No → Continue to Question 2.

2. Provide a FEMA/FIRM map showing the site.

The Federal Emergency Management Agency (FEMA) designates floodplains. The [FEMA Map Service Center](#) provides this information in the form of FEMA Flood Insurance Rate Maps (FIRMs).

Does your project occur in a floodplain?

No → Continue to the Worksheet Summary below.

Yes

Select the applicable floodplain using the FEMA map or the best available information:

Floodway → Continue to Question 3, Floodways

Coastal High Hazard Area (V Zone) → Continue to Question 4, Coastal High Hazard Areas

500-year floodplain (B Zone or shaded X Zone) → Continue to Question 5, 500-year Floodplains

100-year floodplain (A Zone) → The 8-Step Process is required. Continue to Question 6, 8-Step Process

3. **Floodways**

Is this a functionally dependent use?

Yes

[The 8-Step Process is required.](#) Work with HUD or the RE to assist with the 8-Step Process.

→ Continue to Worksheet Summary.

- No → *Federal assistance may not be used at this location unless an exception in 55.12(c) applies. You must either choose an alternate site or cancel the project.*

**4. Coastal High Hazard Area**

**Is this a critical action such as a hospital, nursing home, fire station, or police station?**

- Yes → *Critical actions are prohibited in coastal high hazard areas unless an exception in 55.12(c) applies. You must either choose an alternate site or cancel the project.*

- No

**Does this action include new construction that is not a functionally dependent use, existing construction (including improvements), or reconstruction following destruction caused by a disaster?**

- Yes, there is new construction of something that is not a functionally dependent use. New construction must be designed to FEMA standards for V Zones at 44 CFR 60.3(e) (24 CFR 55.1(c)(3)(i)).

→ *Continue to Question 6, 8-Step Process*

- No, this action concerns only existing construction.

Existing construction must have met FEMA elevation and construction standards for a coastal high hazard area or other standards applicable at the time of construction.

→ *Continue to Question 6, 8-Step Process*

**5. 500-year Floodplain**

**Is this a critical action?**

- No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Continue to the Worksheet Summary below.*

- Yes → *Continue to Question 6, 8-Step Process*

**6. 8-Step Process.**

**Is this 8-Step Process required? Select one of the following options:**

- 8-Step Process applies.

This project will require mitigation and may require elevating structure or structures. See the link to the HUD Exchange above for information on HUD's elevation requirements.

→ *Work with the RE/HUD to assist with the 8-Step Process. Continue to Worksheet Summary.*

- 5-Step Process is applicable per 55.12(a)(1-3).

**Provide the applicable citation at 24 CFR 55.12(a) here.**

[Click here to enter text.](#)

→ *Work with the RE/HUD to assist with the 5-Step Process. Continue to Worksheet Summary.*

- 8-Step Process is inapplicable per 55.12(b)(1-4).

**Provide the applicable citation at 24 CFR 55.12(b) here.**

[Click here to enter text.](#)

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.*

### **Worksheet Summary**

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

**Include all documentation supporting your findings in your submission to HUD.**

According to the PR Planning Board Advisory Base Flood Elevation map effective from April 13, 2018, the project is located within a 100 – year floodplain. The 8 – step process is applicable and the early public notice was published on newspaper "El Vocero" dated October 26, 2023, the fifteen days period for comments were allowed and no comment was received. A final public notice was published on "Primera Hora" Newspaper on January 09, 2024, the seven days for period were allowed and no comments were made. The project site is located in the 100-year floodplain AE per Floodplain Insurance Map 72000C0615H, effective date April 19, 2005 and flood hazard zone A per the Advisory Base Flood Elevation Map.

An 8-Step evaluation was conducted for the project, and it was determined that the project will have no impacts on the floodplain due to the proposed improvements, as it will not expand the existing footprint. The 8-Step evaluation also concluded that there is no practicable alternative to locating the project outside the flood zone. This conclusion is based on 1) the need to revitalize the parking and surrounding areas of the square plaza due to the aftermath of hurricanes; 2) the community's need for open recreational spaces for all ages; and 3) the necessity of ADA-compliant parking. Please refer to Appendix G for further details.

Mitigation measures will be taken to minimize adverse impacts during construction and to restore and preserve natural and beneficial values. Best management practices are being employed during the design phase and will be implemented during the construction to appropriately minimize and remove debris from the floodplain area. The project would be implemented within the existing footprint of the property would not involve an increase in impervious surfaces. With these mitigations there will be no impact to the floodplain by incorporating mostly green open spaces. It will not have a significant impact on the actual runoff water behavior during weather events. The proposed use is in harmony with the surrounding developed area.

The Project follows Floodplain Management requirements.

Refer to Figure 6 in Appendix B and supporting documentation in appendix G.



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## Historic Preservation (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/historic-preservation>

### Threshold

#### Is Section 106 review required for your project?

- No, because a Programmatic Agreement states that all activities included in this project are exempt. (See the [PA Database](#) to find applicable PAs.)

**Either provide the PA itself or a link to it here. Mark the applicable exemptions or include the text here:**

[Click here to enter text.](#)

→ *Continue to the Worksheet Summary.*

- No, because the project consists solely of activities included in a No Potential to Cause Effects memo or other determination [36 CFR 800.3(a)(1)].

**Either provide the memo itself or a link to it here. Explain and justify the other determination here:**

[Click here to enter text.](#)

→ *Continue to the Worksheet Summary.*

- Yes, because the project includes activities with potential to cause effects (direct or indirect). → *Continue to Step 1.*

#### **The Section 106 Process**

After determining the need to do a Section 106 review, HUD or the RE will initiate consultation with regulatory and other interested parties, identify and evaluate historic properties, assess effects of the project on properties listed on or eligible for the National Register of Historic Places, and resolve any adverse effects through project design modifications or mitigation.

Step 1: Initiate consultation

Step 2: Identify and evaluate historic properties

Step 3: Assess effects of the project on historic properties

Step 4: Resolve any adverse effects

Only RE or HUD staff may initiate the Section 106 consultation process. Partner entities may gather information, including from SHPO records, identify and evaluate historic properties, and make initial assessments of effects of the project on properties listed in or eligible for the National Register of Historic Place. Partners should then provide their RE or HUD with all of their analysis and documentation so that they may initiate consultation.

#### Step 1 - Initiate Consultation

The following parties are entitled to participate in Section 106 reviews: Advisory Council on Historic Preservation; State Historic Preservation Officers (SHPOs); federally recognized Indian tribes/Tribal

Historic Preservation Officers (THPOs); Native Hawaiian Organizations (NHOs); local governments; and project grantees. The general public and individuals and organizations with a demonstrated interest in a project may participate as consulting parties at the discretion of the RE or HUD official. Participation varies with the nature and scope of a project. Refer to HUD’s website for guidance on consultation, including the required timeframes for response. Consultation should begin early to enable full consideration of preservation options.

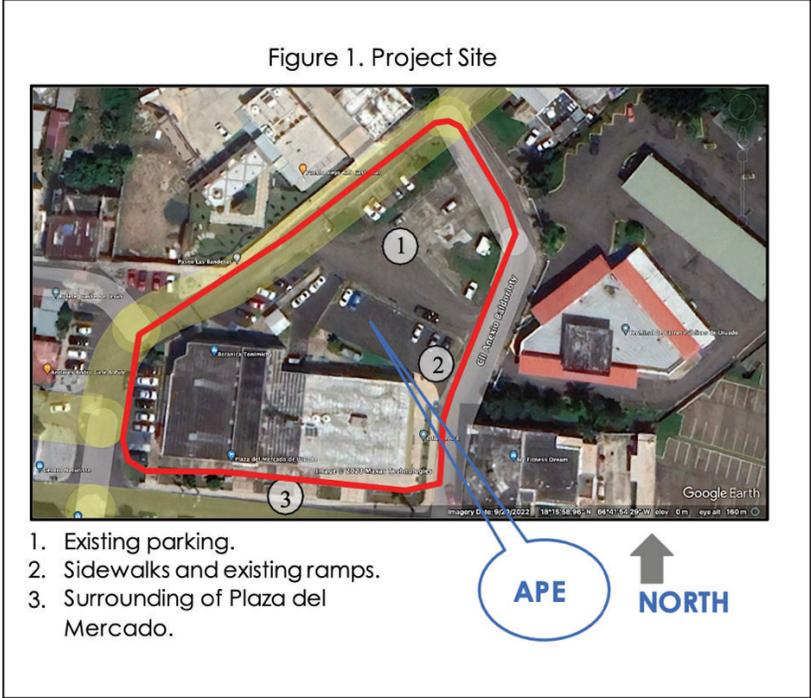
Use the [When To Consult With Tribes checklist](#) within [Notice CPD-12-006: Process for Tribal Consultation](#) to determine if the RE or HUD should invite tribes to consult on a particular project. Use the [Tribal Directory Assessment Tool \(TDAT\)](#) to identify tribes that may have an interest in the area where the project is located. Note that only HUD or the RE may initiate consultation with Tribes. Partner entities may prepare a draft letter for the RE or HUD to use to initiate consultation with tribes, but may not send the letter themselves.

**List all organizations and individuals that you believe may have an interest in the project here:**  
State Historic Preservation Office

→ Continue to Step 2.

**Step 2 - Identify and Evaluate Historic Properties**

**Provide a preliminary definition of the Area of Potential Effect (APE), either by entering the address(es) or providing a map depicting the APE. Attach an additional page if necessary.**



Gather information about known historic properties in the APE. Historic buildings, districts and archeological sites may have been identified in local, state, and national surveys and registers, local historic districts, municipal plans, town and county histories, and local history websites. If not already listed on the National Register of Historic Places, identified properties are then evaluated to see if they are eligible for

the National Register. Refer to HUD's website for guidance on identifying and evaluating historic properties.

**In the space below, list historic properties identified and evaluated in the APE.**

Every historic property that may be affected by the project should be listed. For each historic property or district, include the National Register status, whether the SHPO has concurred with the finding, and whether information on the site is sensitive. Attach an additional page if necessary.

They are part of the Effect determination form attached in appendix E.

*Provide the documentation (survey forms, Register nominations, concurrence(s) and/or objection(s), notes, and photos) that justify your National Register Status determination.*

**Was a survey of historic buildings and/or archeological sites done as part of the project?**

If the APE contains previously unsurveyed buildings or structures over 50 years old, or there is a likely presence of previously unsurveyed archeological sites, a survey may be necessary. For Archeological surveys, refer to HP Fact Sheet #6, [Guidance on Archeological Investigations in HUD Projects](#).

Yes → Provide survey(s) and report(s) and continue to Step 3.

Additional notes:

[Click here to enter text.](#)

No → Continue to Step 3.

**Step 3 - Assess Effects of the Project on Historic Properties**

Only properties that are listed on or eligible for the National Register of Historic Places receive further consideration under Section 106. Assess the effect(s) of the project by applying the Criteria of Adverse Effect. ([36 CFR 800.5](#)) Consider direct and indirect effects as applicable as per HUD guidance.

**Choose one of the findings below to recommend to the RE or HUD.**

Please note: this is a recommendation only. It is **not** the official finding, which will be made by the RE or HUD, but only your suggestion as a Partner entity.

No Historic Properties Affected

**Document reason for finding:**

No historic properties present.

Historic properties present, but project will have no effect upon them.

No Adverse Effect

**Document reason for finding and provide any comments below.**

Comments may include recommendations for mitigation, monitoring, a plan for unanticipated discoveries, etc.

[Click here to enter text.](#)

Adverse Effect

**Document reason for finding:**

Copy and paste applicable Criteria into text box with summary and justification.

Criteria of Adverse Effect: [36 CFR 800.5](#)

Click here to enter text.

**Provide any comments below:**

Comments may include recommendations for avoidance, minimization, and/or mitigation. The first submission of the Effect Determination Form for SHPO was on October 20, 2022, the submission requested SHPO (State Historic Preservation Officer) concurrence that the project would have no adverse effects on historic resources. On February 26, 2024, the SHPO issued a written communication concurring with a determination of no adverse effect within the project's area of potential effects. If the agency discovers other historic properties at any point during project implementation, the agency will notify SHPO immediately. The Project adheres to Historic Preservation requirements. Please refer to the full Effect Determination Form package in Appendix E.

*Remember to provide all documentation that justifies your National Register Status determination and recommendations along with this worksheet.*



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT  
WASHINGTON, DC 20410-1000

## Noise (CEST Level Reviews) – PARTNER

<https://www.hudexchange.info/programs/environmental-review/noise-abatement-and-control>

### 1. What activities does your project involve? Check all that apply:

- New construction for residential use

NOTE: HUD assistance to new construction projects is generally prohibited if they are located in an Unacceptable zone, and HUD discourages assistance for new construction projects in Normally Unacceptable zones. See 24 CFR 51.101(a)(3) for further details.  
→ Continue to Question 4.

- Rehabilitation of an existing residential property

NOTE: For modernization projects in all noise zones, HUD encourages mitigation to reduce levels to acceptable compliance standards. See 24 CFR 51 Subpart B for further details.  
→ Continue to Question 2.

- None of the above

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.

### 2. Do you have standardized noise attenuation measures that apply to all modernization and/or minor rehabilitation projects, such as the use of double glazed windows or extra insulation?

- Yes

Indicate the type of measures that will apply (check all that apply):

- Improved building envelope components (better windows and doors, strengthened sheathing, insulation, sealed gaps, etc.)  
 Redesigned building envelope (more durable or substantial materials, increased air gap, resilient channels, staggered wall studs, etc.)  
 Other (explain below)

[Click here to enter text.](#)

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below and provide any documentation.

- No

→ Continue to Question 3.

### 3. Complete the Preliminary Screening to identify potential noise generators in the vicinity (1000' from a major road, 3000' from a railroad, or 15 miles from an airport).

Describe findings of the Preliminary Screening:

[Click here to enter text.](#)

→ Continue to Question 6.

**4. Complete the Preliminary Screening to identify potential noise generators in the vicinity (1000' from a major road, 3000' from a railroad, or 15 miles from an airport).**

**Indicate the findings of the Preliminary Screening below:**

There are no noise generators found within the threshold distances above.

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide a map showing the location of the project relative to any noise generators.

Noise generators were found within the threshold distances.

→ Continue to Question 5.

**5. Complete the Noise Assessment Guidelines to quantify the noise exposure. Indicate the findings of the Noise Assessment below:**

Acceptable: (65 decibels or less; the ceiling may be shifted to 70 decibels in circumstances described in §24 CFR 51.105(a))

**Indicate noise level here:** [Click here to enter text.](#)

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide noise analysis, including noise level and data used to complete the analysis.

Normally Unacceptable: (Above 65 decibels but not exceeding 75 decibels; the floor may be shifted to 70 decibels in circumstances described in 24 CFR 51.105(a))

**Indicate noise level here:** [Click here to enter text.](#)

**Is the project in a largely undeveloped area<sup>1</sup>?**

No → **The project requires completion of an Environmental Assessment (EA) pursuant to 51.104(b)(1)(i).**

Yes → **The project requires completion of an Environmental Impact Statement (EIS) pursuant to 51.104(b)(1)(i).**

→ Work with the RE/HUD to elevate the level of review. Provide noise analysis, including noise level and data used to complete the analysis.  
Continue to Question 6.

Unacceptable: (Above 75 decibels)

**Indicate noise level here:** [Click here to enter text.](#)

**The project requires completion of an Environmental Impact Statement (EIS) pursuant to 51.104(b)(1)(i). Work with HUD or the RE to either complete an EIS or obtain a waiver signed by the appropriate authority.**

→ Continue to Question 6.

---

<sup>1</sup> A largely undeveloped area means the area within 2 miles of the project site is less than 50 percent developed with urban uses and does not have water and sewer capacity to serve the project.

**6. HUD strongly encourages mitigation be used to eliminate adverse noise impacts. Work with the RE/HUD on the development of the mitigation measures that must be implemented to mitigate for the impact or effect, including the timeline for implementation.**

- Mitigation as follows will be implemented:

Click here to enter text.

→ *Provide drawings, specifications, and other materials as needed to describe the project's noise mitigation measures.*

*Continue to the Worksheet Summary.*

- No mitigation is necessary.

**Explain why mitigation will not be made here:**

Click here to enter text.

→ *Continue to the Worksheet Summary.*

**Worksheet Summary**

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

**Include all documentation supporting your findings in your submission to HUD.**

The project involves rehabilitation of existing nonresidential buildings for non- residential use. An evaluation of noise abatement and control is not required. The Project is in compliance with Noise Abatement and Control requirements.



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT  
WASHINGTON, DC 20410-1000

## Sole Source Aquifers (CEST and EA) - PARTNER

<https://www.hudexchange.info/environmental-review/sole-source-aquifers>

### 1. Is the project located on a sole source aquifer (SSA)<sup>1</sup>?

No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide documentation used to make your determination, such as a map of your project or jurisdiction in relation to the nearest SSA.*

Yes → *Continue to Question 2.*

### 2. Does the project consist solely of acquisition, leasing, or rehabilitation of an existing building(s)?

Yes → *The review is in compliance with this section. Continue to the Worksheet Summary below.*

No → *Continue to Question 3.*

### 3. Does your region have a memorandum of understanding (MOU) or other working agreement with EPA for HUD projects impacting a sole source aquifer?

Contact your Field or Regional Environmental Officer or visit the HUD webpage at the link above to determine if an MOU or agreement exists in your area.

Yes → *Continue to Question 4.*

No → *Continue to Question 5.*

### 4. Does your MOU or working agreement exclude your project from further review?

Yes → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide documentation used to make your determination and document where your project fits within the MOU or agreement.*

No → *Continue to Question 5.*

### 5. Will the proposed project contaminate the aquifer and create a significant hazard to public health?

Consult with your Regional EPA Office. Your consultation request should include detailed information about your proposed project and its relationship to the aquifer and associated streamflow source area. EPA will also want to know about water, storm water and waste water at the proposed project. Follow your MOU or working agreement or contact your Regional EPA office for specific information you may need to provide. EPA may request additional information if impacts to the aquifer are questionable after this information is submitted for review.

---

<sup>1</sup> A sole source aquifer is defined as an aquifer that supplies at least 50 percent of the drinking water consumed in the area overlying the aquifer. This includes streamflow source areas, which are upstream areas of losing streams that flow into the recharge area.

No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide your correspondence with the EPA and all documents used to make your determination.*

Yes → *The RE/HUD will work with EPA to develop mitigation measures. If mitigation measures are approved, attach correspondence with EPA and include the mitigation measures in your environmental review documents and project contracts. If EPA determines that the project continues to pose a significant risk to the aquifer, federal financial assistance must be denied. Continue to Question 6.*

### **Worksheet Summary**

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

**Include all documentation supporting your findings in your submission to HUD.**

There are no EPA sole source aquifers in Puerto Rico. The nearest sole aquifer is at approximately 998 miles (5,272,694.70 ft). Furthermore, the project consists of activities that are unlikely to have an adverse impact on groundwater resources. The project is in compliance with Sole Source Aquifer requirements.

Refer to Figure 7 in Appendix B.



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT  
WASHINGTON, DC 20410-1000

## Wetlands (CEST and EA) – Partner

<https://www.hudexchange.info/environmental-review/wetlands-protection>

**1. Does this project involve new construction as defined in Executive Order 11990, expansion of a building's footprint, or ground disturbance?**

The term "new construction" includes draining, dredging, channelizing, filling, diking, impounding, and related activities and construction of any any structures or facilities.

No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.*

Yes → *Continue to Question 2.*

**2. Will the new construction or other ground disturbance impact a wetland as defined in E.O. 11990?**

No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide a map or any other relevant documentation to explain your determination.*

Yes → *Work with HUD or the RE to assist with the 8-Step Process.* *Continue to Question 3.*

**3. Does Section 55.12 state that the 8-Step Process is not required?**

No, the 8-Step Process applies.

This project will require mitigation and may require elevating structure or structures. See the link to the HUD Exchange above for information on HUD's elevation requirements.

→ *Work with the RE/HUD to assist with the 8-Step Process. Continue to Worksheet Summary.*

5-Step Process is applicable per 55.12(a).

**Provide the applicable citation at 24 CFR 55.12(a) here.**

Click here to enter text.

→ *Work with the RE/HUD to assist with the 5-Step Process. This project may require mitigation or alternations. Continue to Worksheet Summary.*

8-Step Process is inapplicable per 55.12(b).

**Provide the applicable citation at 24 CFR 55.12(b) here.**

Click here to enter text.

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to Worksheet Summary.*

8-Step Process is inapplicable per 55.12(c).

**Provide the applicable citation at 24 CFR 55.12(c) here.**

Click here to enter text.

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to Worksheet Summary.

### **Worksheet Summary**

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

### **Include all documentation supporting your findings in your submission to HUD.**

A review of the National Wetlands Inventory (NWI) mapping indicates that there are no wetlands on the project site or adjacent to it. Based on this information, the project appears to be in compliance with Wetlands Protection requirements.

The nearest wetland is at 165 ft approximately from project site. A CES plan will be implemented for the sedimentation and erosion control per local agencies requirements.

Refer Figure 8 in Appendix B.



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT  
WASHINGTON, DC 20410-1000

## Wild and Scenic Rivers (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/wild-and-scenic-rivers>

### 1. Is your project within proximity of a Wild and Scenic River, Study River, or Nationwide Rivers Inventory River?

No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Provide documentation used to make your determination.*

Yes → *Continue to Question 2.*

### 2. Could the project do *any* of the following?

- Have a direct and adverse effect within Wild and Scenic River Boundaries,
- Invade the area or unreasonably diminish the river outside Wild and Scenic River Boundaries, or
- Have an adverse effect on the natural, cultural, and/or recreational values of a NRI segment.

Consult with the appropriate federal/state/local/tribal Managing Agency(s), pursuant to Section 7 of the Act, to determine if the proposed project may have an adverse effect on a Wild & Scenic River or a Study River and, if so, to determine the appropriate avoidance or mitigation measures.

#### Select one:

The Managing Agency has concurred that the proposed project will not alter, directly, or indirectly, any of the characteristics that qualifies or potentially qualifies the river for inclusion in the NWSRS.

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Provide documentation of the consultation (including the Managing Agency's concurrence) and any other documentation used to make your determination.*

The Managing Agency was consulted and the proposed project may alter, directly, or indirectly, any of the characteristics that qualifies or potentially qualifies the river for inclusion in the NWSRS.

→ *The RE/HUD must work with the Managing Agency to identify mitigation measures to mitigate the impact or effect of the project on the river.*

### Worksheet Summary

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

**Include all documentation supporting your findings in your submission to HUD.**

Puerto Rico has only three Wild and Scenic Rivers, located on the east side of Puerto Rico. The proposed action is in the municipality of Utuado at approximately 59 miles(311,520 ft) west from said rivers. There would be no impact to Wild and Scenic Rivers.

Therefore, the Project is in compliance with Wild and Scenic Rivers requirements.

Refer to Figure 9 in Appendix B.



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT  
WASHINGTON, DC 20410-1000

## Environmental Justice (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/environmental-justice>

**HUD strongly encourages starting the Environmental Justice analysis only after all other laws and authorities, including Environmental Assessment factors if necessary, have been completed.**

**1. Were any adverse environmental impacts identified in any other compliance review portion of this project's total environmental review?**

Yes → Continue to Question 2.

No → If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.

**2. Were these adverse environmental impacts disproportionately high for low-income and/or minority communities?**

Yes

**Explain:**

Click here to enter text.

→ The RE/HUD must work with the affected low-income or minority community to decide what mitigation actions, if any, will be taken. Provide any supporting documentation.

No

**Explain:**

Click here to enter text.

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.

### Worksheet Summary

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

**Include all documentation supporting your findings in your submission to HUD.**

No adverse environmental impacts were identified in any other compliance review portion of this project that may disproportionately be high for low-income and/or minority communities.

Therefore, the Project is in compliance with Environmental Justice requirements.

## **Appendix B**

### **Maps**



**Figure 00: Project Site**

Project Name: Improvements to Plaza del Mercado and Surrounding Areas, Municipality of Utuado (PR-CRP-001001).

Location: Lat: 18.266209, Long: -66.697940

Source: Google Earth®

Website: [hUps://earth.google.com/web/](https://earth.google.com/web/)

Author: AG Environmental PSC



**Figure 1: Airport Hazards**

Project Name: Improvements to Plaza del Mercado and Surrounding Areas, Municipality of Utuado (PR-CRP-001001).

Location: Lat: 18.266209, Long: -66.697940

Source: Google Earth®

Website: <https://earth.google.com/web/>

Author: AG Environmental PSC



**U.S. Fish and Wildlife Service**  
**Coastal Barrier Resources System**

Plaza del Mercado Utuado



June 22, 2023

**CBRS Units**

- Otherwise Protected Area
- System Unit

This map is for general reference only. The Coastal Barrier Resources System (CBRS) boundaries depicted on this map are representations of the controlling CBRS boundaries, which are shown on the official maps, accessible at <https://www.fws.gov/library/collections/official-coastal-barrier-resources-system-maps>. All CBRS related data should be used in accordance with the layer metadata found on the CBRS Mapper website.

The CBRS Buffer Zone represents the area immediately adjacent to the CBRS boundary where users are advised to contact the Service for an official determination (<https://www.fws.gov/service/coastal-barrier-resources-system-property-documentation>) as to whether the property or project site is located "in" or "out" of the CBRS.

CBRS Units normally extend seaward out to the 20- or 30-foot bathymetric contour (depending on the location of the unit). The true seaward  
This page was produced by the CBRS Mapper

**Figure 2: Coastal Barrier Resources**

Project Name: improvements to Plaza del Mercado and Surrounding Areas, Municipality of Utuado (PR-CRP-001001).

Location: Lat: 18.266209, Long: -66.697940

Source: USFWS Coastal Barrier Resources System Mapper

Website: <https://fwsprimary.wim.usgs.gov/CBRSMapper-v2/>

Author: AG Environmental PSC

# National Flood Hazard Layer FIRMette



66°42'11"W 18°16'15"N



0 250 500 1,000 1,500 2,000 Feet 1:6,000  
 Basemap Imagery Source: USGS National Map 2023

## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes, Zone X
		Area with Flood Risk due to Levee Zone D

OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
		Area of Undetermined Flood Hazard Zone D

GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall

OTHER FEATURES		Cross Sections with 1% Annual Chance
		Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
OTHER FEATURES		Profile Baseline
		Hydrographic Feature

MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 4/8/2024 at 5:12 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

### Figure 3: Flood Insurance Rate Map

Project Name: Improvements to Plaza del Mercado and Surrounding Areas, Municipality of Utuado (PR-CRP-001001).

Location: Lat: 18.266209, Long: -66.697940

Source: FEMA Flood Map Service Center

Website: [hUps://msc.fema.gov/portal/home](https://msc.fema.gov/portal/home)

Author: AG Environmental PSC

## Puerto Rico Coastal Vulnerability Viewer

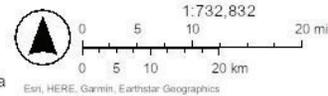


6/22/2023

World Boundaries and Places  
Coastal Zone Land Boundary  
World Imagery

Low Resolution 15m Imagery  
High Resolution 60cm Imagery  
High Resolution 30cm Imagery

Citations  
150m Resolution Metadata



### Figure 4: Coastal ZONE

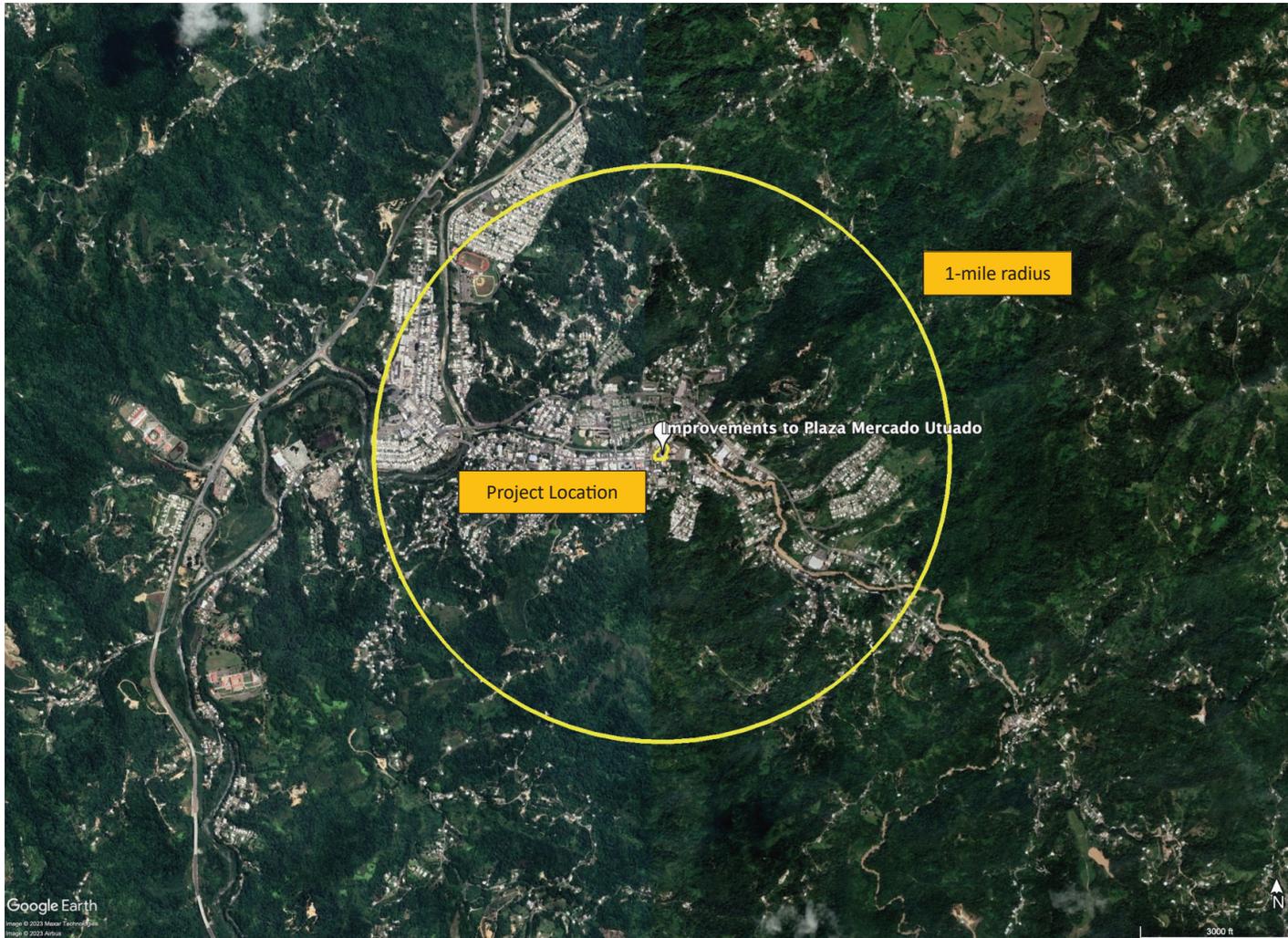
Project Name: Improvements to Plaza del Mercado and Surrounding Areas, Municipality of Utuado (PR-CRP-001001).

Location: Lat: 18.266209, Long: -66.697940

Source: Puerto Rico Coastal Vulnerability Viewer

Website: <https://www.arcgis.com/apps/mapviewer/index.html?webmap=1d0eff6661f340dcabb0e9928d01ec57>

Author: AG Environmental PSC



**Figure 5: Explosive and Flammable Hazards**

Project Name: Improvements to Plaza del Mercado and Surrounding Areas, Municipality of Utuado (PR-CRP-001001).

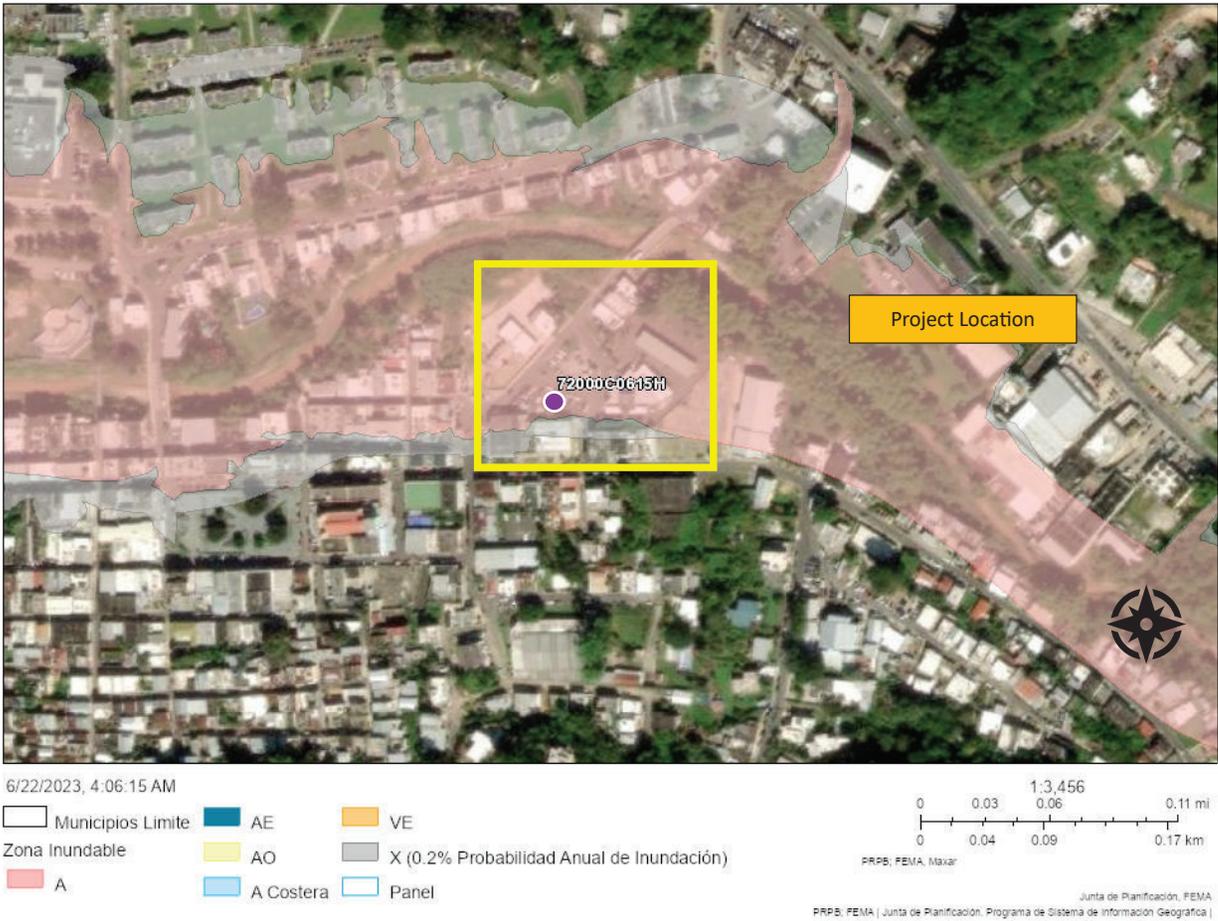
Location: Lat: 18.266209, Long: -66.697940

Source: Google Earth®

Website: <https://earth.google.com/web/>

Author: AG Environmental PSC

Mapa Niveles de Inundación Base Recomendados



**Figure 06: Floodplain Management**

Project Name: Improvements to Plaza del Mercado and Surrounding Areas, Municipality of Utuado (PR-CRP-001001).

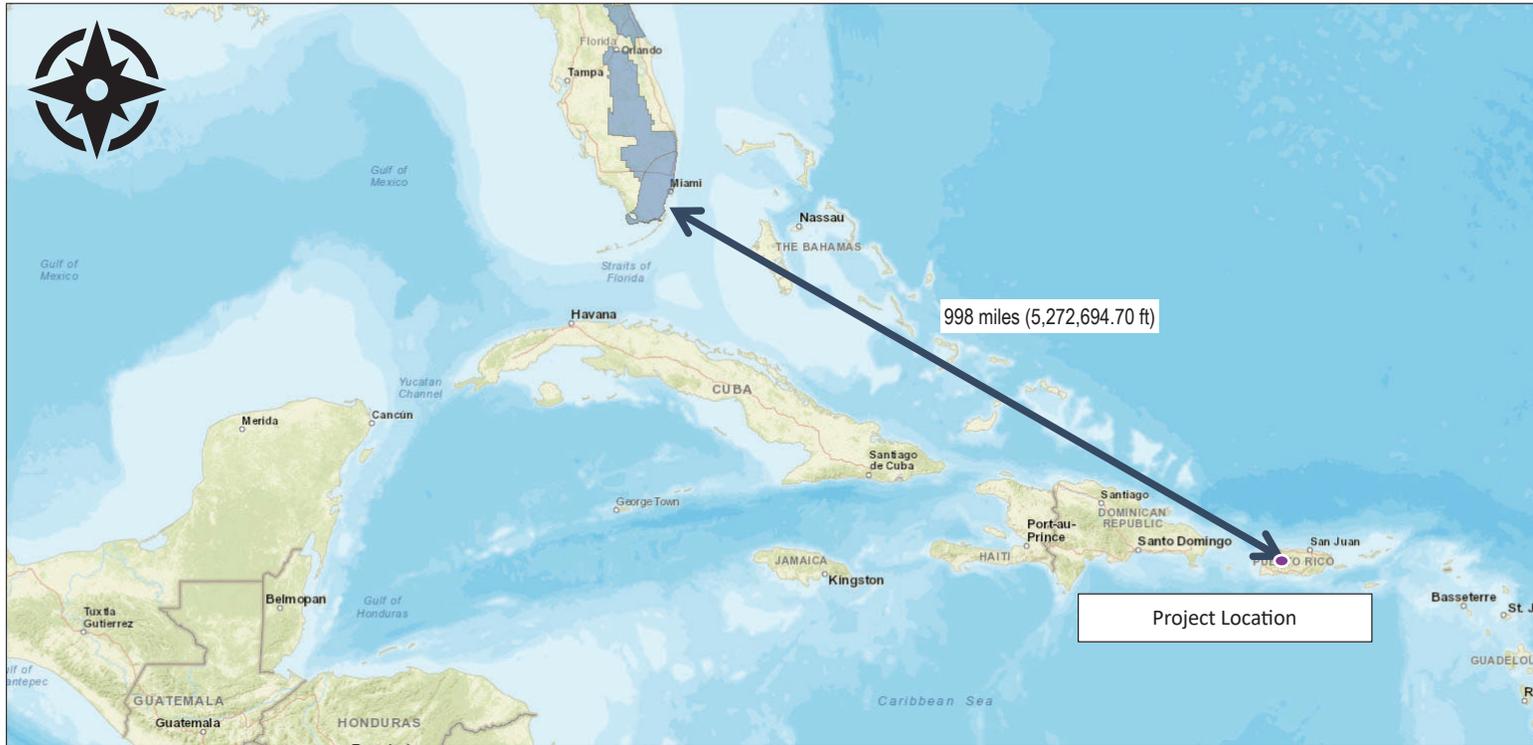
Location: Lat: 18.266209, Long: -66.697940

Source: Mapa Niveles de Inundación Base Recomendados por: Junta de Planificación

Website: <https://sige.pr.gov/portal/apps/webappviewer/index.html?id=53ed4b9fa37840a88bb44d2a911512fc>

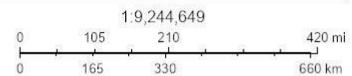
Author: AG Environmental PSC

# ArcGIS Web AppBuilder



4/3/2023, 10:23:49 AM

Sole\_Source\_Aquifers



Esri, HERE, Garmin, NGA, USGS

U.S. Environmental Protection Agency

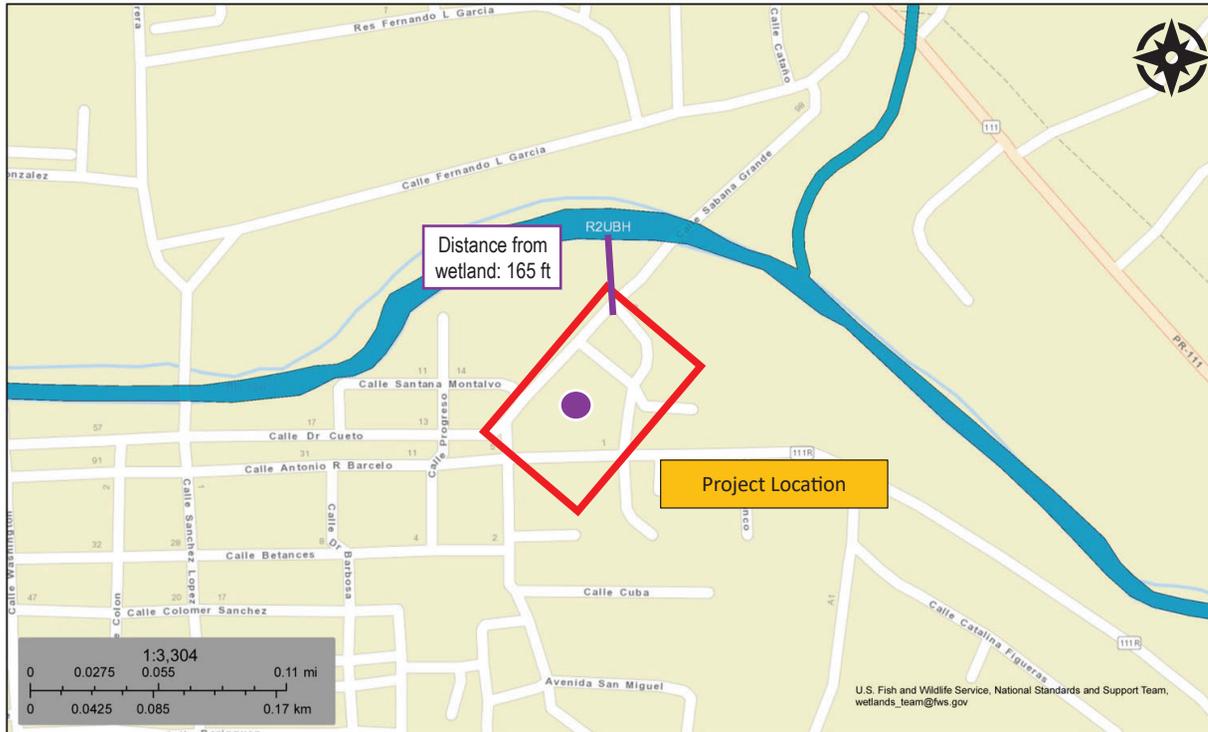
## Figure 07: Sole Source Aquifers

Project Name: Improvements to Plaza del Mercado and Surrounding Areas, Municipality of Utuado (PR-CRP-001001).

Location: Lat: 18.266209, Long: -66.697940

Website: <https://www.epa.gov/dwssa/map-sole-source-aquifer-locations>

Author: AG Environmental PSC



June 22, 2023

**Wetlands\_Alaska**

- |   |                                |   |                                   |   |          |
|---|--------------------------------|---|-----------------------------------|---|----------|
|  | Estuarine and Marine Deepwater |  | Freshwater Emergent Wetland       |  | Lake     |
|  | Estuarine and Marine Wetland   |  | Freshwater Forested/Shrub Wetland |  | Other    |
|   |                                |  | Freshwater Pond                   |  | Riverine |

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

National Wetlands Inventory (NWI)  
This page was produced by the NWI mapper

**Map B08: Wetlands**

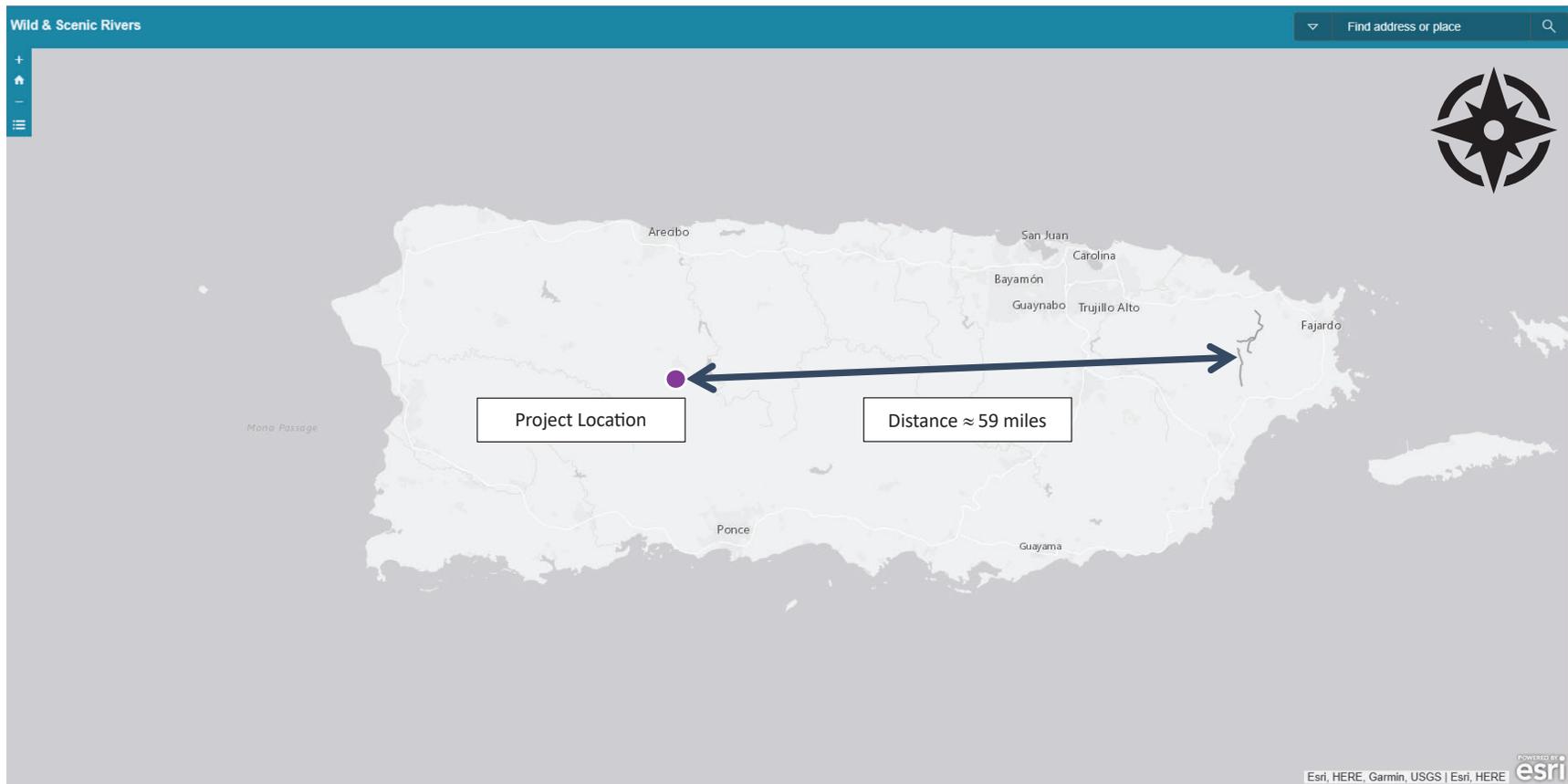
Project Name: Improvements to Plaza del Mercado and Surrounding Areas, Municipality of Utuado (PR-CRP-001001).

Location: Lat: 18.266209, Long: -66.697940

Source: USFWS National Wetlands Inventory – Wetlands Mapper

Website: <https://www.fws.gov/program/national-wetlands-inventory/wetlands-mapper>

Author: AG Environmental PSC



**Figure 09: Wild and Scenic Rivers**

Project Name: Improvements to Plaza del Mercado and Surrounding Areas, Municipality of Utuado (PR-CRP-001001).

Location: Lat: 18.266209, Long: -66.697940

Source: US National Park Service - Interactive Map of NPS Wild and Scenic Rivers

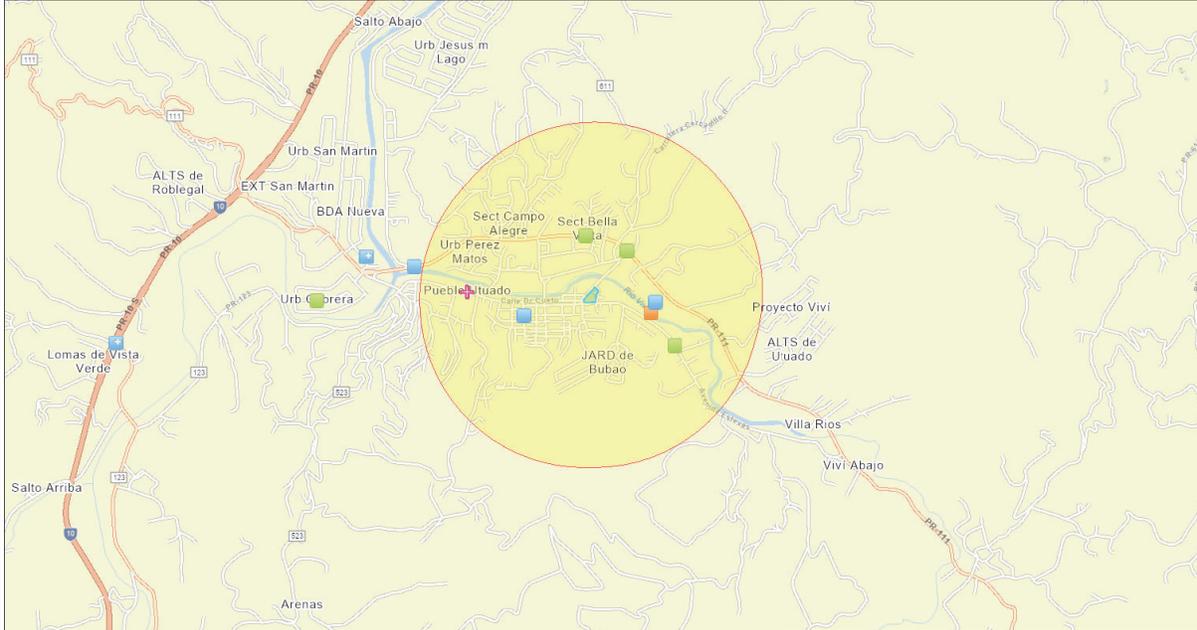
Website: <https://nps.maps.arcgis.com/apps/View/index.html?appid=ff42a57d0aae43c49a88daee0e353142>

Author: AG Environmental PSC

**Appendix C**  
**Contamination and Toxics**

# NEPAssist Report

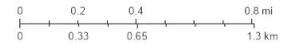
## Plaza del Mercado Utuado



June 21, 2023

- + Water Dischargers (NPDES)
- + Water Dischargers (NPDES)
- + Superfund (NPL)
- + Hazardous Waste (RCRA/Info)
- + Project Buffer
- + Plaza del Mercado Utuado
- + Search Result (point)

1:17,557



Esri, Community Maps, Contributors, Esri, HERE, Garmin, Foursquare, GeoGraph, GeoTechnologies, Inc, METI/NA-S, USGS, NPS, US Census Bureau

Input Coordinates: 18.266494,-66.697848,18.266274,-66.697666,18.266087,-66.697801,18.265725,-66.697833,18.265718,-66.698433,18.265867,-66.698447,18.266494,-66.697848	
Project Area	0.00 sq mi
Within 3000 feet of an Ozone 8-hr (1997 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of an Ozone 8-hr (2008 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a Lead (2008 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a SO2 1-hr (2010 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a PM2.5 24hr (2006 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a PM2.5 Annual (1997 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a PM2.5 Annual (2012 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a PM10 (1987 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a Federal Land?	no
Within 3000 feet of an impaired stream?	no
Within 3000 feet of an impaired waterbody?	yes
Within 3000 feet of a waterbody?	yes
Within 3000 feet of a stream?	yes
Within 3000 feet of an NWI wetland?	Available Online
Within 3000 feet of a Brownfields site?	no
Within 3000 feet of a Superfund site?	yes
Within 3000 feet of a Toxic Release Inventory (TRI) site?	no
Within 3000 feet of a water discharger (NPDES)?	yes
Within 3000 feet of a hazardous waste (RCRA) facility?	yes

Within 3000 feet of an air emission facility?	no
Within 3000 feet of a school?	no
Within 3000 feet of an airport?	no
Within 3000 feet of a hospital?	no
Within 3000 feet of a designated sole source aquifer?	no
Within 3000 feet of a historic property on the National Register of Historic Places?	yes
Within 3000 feet of a Toxic Substances Control Act (TSCA) site?	no
Within 3000 feet of a Land Cession Boundary?	no
Within 3000 feet of a tribal area (lower 48 states)?	no
Within 3000 feet of the service area of a mitigation or conservation bank?	no
Within 3000 feet of the service area of an In-Lieu-Fee Program?	no
Within 3000 feet of a Public Property Boundary of the Formerly Used Defense Sites?	no
Within 3000 feet of a Munitions Response Site?	no
Within 3000 feet of an Essential Fish Habitat (EFH)?	no
Within 3000 feet of a Habitat Area of Particular Concern (HAPC)?	no
Within 3000 feet of an EFH Area Protected from Fishing (EFHA)?	yes
Within 3000 feet of a Bureau of Land Management Area of Critical Environmental Concern?	no
Within 3000 feet of an ESA-designated Critical Habitat Area per U.S. Fish & Wildlife Service?	no
Within 3000 feet of an ESA-designated Critical Habitat river, stream or water feature per U.S. Fish & Wildlife Service?	no

Created on: 6/21/2023 9:56:16 PM



# Detailed Facility Report

## Facility Summary

**EMPRESAS RIOS**

**FERNANDEZ LUIS RIVA AVE, UTUADO, PR 00641**

**FRS (Facility Registry Service) ID:** 110012220195

**EPA Region:** 02

**Latitude:** 18.269073

**Longitude:** -66.698344

**Locational Data Source:** RCRAINFO

**Industries:** --

**Indian Country:** N

## Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
<b>Compliance Status</b>	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

## Regulatory Information

**Clean Air Act (CAA):** No Information

**Clean Water Act (CWA):** No Information

**Resource Conservation and Recovery Act (RCRA):** Active Other, (PRR000014506)

**Safe Drinking Water Act (SDWA):** No Information

## Other Regulatory Reports

**Air Emissions Inventory (EIS):** No Information

**Greenhouse Gas Emissions (eGGRT):** No Information

**Toxic Releases (TRI):** No Information

**Compliance and Emissions Data Reporting Interface (CEDRI):** No Information

Go To Enforcement/Compliance Details

Known Data Problems <<https://epa.gov/resources/echo-data/known-data-problems>>

## Facility/System Characteristics

### Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110012220195					N	18.269073	-66.698344
RCRAInfo	RCRA	PRR000014506	Other	Active (H)			N	18.269073	-66.698344

### Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110012220195	EMPRESAS RIOS	FERNANDEZ LUIS RIVA AVE, UTUADO, PR 00641	Utuaado Municipio
RCRAInfo	RCRA	PRR000014506	EMPRESAS RIOS	FERNANDEZ LUIS RIVA AVE, UTUADO, PR 00641	Utuaado Municipio

### Facility SIC (Standard Industrial Classification) Codes

### Facility NAICS (North American Industry Classification System) Codes

No data records returned

No data records returned

System	Identifier	SIC Code	SIC Description
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System	Identifier	NAICS Code	NAICS Description
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### Facility Tribe Information

No data records returned

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
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## Enforcement and Compliance

### Compliance Monitoring History Last 5 Years

No data records returned

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
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Entries in italics are not included in ECHO's Compliance Monitoring Activity counts because they are not compliance monitoring strategy <https://www.epa.gov/compliance/compliance-monitoring-programs> activities or because they are not counted as inspections within EPA's Annual Results <https://www.epa.gov/enforcement/enforcement-data-and-results>.

### Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
RCRA	PRR000014506	No	02/17/2024	0	02/16/2024

### Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: PRR000014506)		04/01-06/30/21	07/01-09/30/21	10/01-12/31/21	01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-12/31/23	01/01-03/31/24
	Facility-Level Status	No Violation Identified											
	Violation												
	Agency												

### Informal Enforcement Actions Last 5 Years

No data records returned

Statute	System	Source ID	Type of Action	Lead Agency	Date
---------	--------	-----------	----------------	-------------	------

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

### Formal Enforcement Actions Last 5 Years

No data records returned

Statute	System	Law/Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/ Filed Date	Settlements/ Actions	Settlement/ Action Date	Federal Penalty Assessed	State/ Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
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## Environmental Conditions

### Watersheds

No data records returned

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
--	---	---	---------------------------------	--------------------------------------	--	---

## Assessed Waters From Latest State Submission (ATTAINS)

No data records returned

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
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## Air Quality Nonattainment Areas

No data records returned

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
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## Pollutants

### Toxics Release Inventory History of Reported Chemicals Released or Transferred in Pounds per Year at Site

No data records returned

TRI Facility ID	Year	Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Disposal to Land	Total On-Site Releases	Total Off-Site Transfers
-----------------	------	---------------	--------------------------	--	------------------------	------------------	------------------------	--------------------------

### Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

No data records returned

Chemical Name
---------------

## Community

### Environmental Justice

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the EJScreen home page.

#### EJScreen Indexes Shown

Compare to

US  State

Index Type

Environmental Justice  Supplemental

#### Related Reports

EJScreen Community Report

Download Data

Facility 1-mile Radius  Facility Census Block Group

Census Block Group ID: 721419570001	US (Percentile)	
Supplemental Indexes	Facility Census Block Group	1-mile Max
<b>Count of Indexes At or Above 80th Percentile</b>	<b>4</b>	<b>7</b>
Particulate Matter 2.5	0	--
Ozone	0	--
Diesel Particulate Matter	0	--
Air Toxics Cancer Risk	36	40
Air Toxics Respiratory Hazard Index	91	97
Toxic Releases to Air	69	95
Traffic Proximity	67	99
Lead Paint	88	99
Risk Management Plan (RMP) Facility Proximity	54	71
Hazardous Waste Proximity	72	81
Superfund Proximity	99	99
Underground Storage Tanks (UST)	0	99
Wastewater Discharge	97	99



## Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2017 - 2021 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <<https://epa.gov/help/reports/dfr-data-dictionary#demographic>>.

General Statistics (U.S. Census)	
Total Persons	9,091
Population Density	2,921/sq.mi.
Housing Units in Area	4,081

General Statistics (ACS (American Community Survey))	
Total Persons	6,891
Percent People of Color	100%
Households in Area	2,532
Households on Public Assistance	454
Persons With Low Income	5,727
Percent With Low Income	83%

Geography	
Radius of Selected Area	1 mi.
Center Latitude	18.269073
Center Longitude	-66.698344
Land Area	99%
Water Area	1%

Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	1,316 (52.02%)
\$15,000 - \$25,000	514 (20.32%)
\$25,000 - \$50,000	396 (15.65%)
\$50,000 - \$75,000	192 (7.59%)
Greater than \$75,000	112 (4.43%)

Age Breakdown (U.S. Census) - Persons (%)	
Children 5 years and younger	501 (6%)
Minors 17 years and younger	2,226 (24%)
Adults 18 years and older	6,865 (76%)
Seniors 65 years and older	1,504 (17%)

Race Breakdown (U.S. Census) - Persons (%)	
White	8,448 (93%)
African-American	249 (3%)
Hispanic-Origin	9,050 (100%)
Asian/Pacific Islander	18 (0%)
American Indian	11 (0%)
Other/Multiracial	366 (4%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	799 (15.84%)
9th through 12th Grade	323 (6.4%)
High School Diploma	1,437 (28.49%)
Some College/2-year	859 (17.03%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	1,025 (20.33%)





# Detailed Facility Report

## Facility Summary

**GABRIEL LAUNDROMAT & DRYCLEANER**

**AREA COMERCIAL URB. CABRERA, UTUADO, PR 00641**

**FRS (Facility Registry Service) ID:** 110007175653

**EPA Region:** 02

**Latitude:** 18.268513

**Longitude:** -66.703614

**Locational Data Source:** Zip Code Centroid

**Industries:** Personal and Laundry Services

**Indian Country:** N

## Enforcement and Compliance Summary

Statute	CAA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
<b>Compliance Status</b>	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

## Regulatory Information

**Clean Air Act (CAA):** Operating Minor (PR0000007214100001)

**Clean Water Act (CWA):** No Information

**Resource Conservation and Recovery Act (RCRA):** No Information

**Safe Drinking Water Act (SDWA):** No Information

Go To Enforcement/Compliance Details

Known Data Problems <<https://epa.gov/resources/echo-data/known-data-problems>>

## Other Regulatory Reports

**Air Emissions Inventory (EIS):** No Information

**Greenhouse Gas Emissions (eGGRT):** No Information

**Toxic Releases (TRI):** No Information

**Compliance and Emissions Data Reporting Interface (CEDRI):** No Information

## Facility/System Characteristics

### Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110007175653					N		
ICIS-Air	CAA	PR0000007214100001	Minor Emissions	Operating	CAAMACT, CAASIP		N		

## Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
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FRS		110007175653	GABRIEL LAUNDROMAT & DRYCLEANER	AREA COMERCIAL URB. CABRERA, UTUADO, PR 00641	Utua
ICIS-Air	CAA	PR0000007214100001	GABRIEL LAUNDROMAT & DRYCLEANER	AREA COMERCIAL URB. CABRERA, UTUADO, PR 00641	Utua

### Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
ICIS-Air	PR0000007214100001	7216	Drycleaning Plants, Except Rug

### Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
ICIS-Air	PR0000007214100001	812320	Drycleaning and Laundry Services (except Coin-Operated)

### Facility Tribe Information

No data records returned

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
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## Enforcement and Compliance

### Compliance Monitoring History Last 5 Years

No data records returned

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
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Entries in italics are not included in ECHO's Compliance Monitoring Activity counts because they are not compliance monitoring strategy <https://www.epa.gov/compliance/compliance-monitoring-programs> activities or because they are not counted as inspections within EPA's Annual Results <https://www.epa.gov/enforcement/enforcement-data-and-results>.

### Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
CAA	PR0000007214100001	No	02/17/2024	0	02/16/2024

### Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
CAA (Source ID: PR0000007214100001)		04/01-06/30/21	07/01-09/30/21	10/01-12/31/21	01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-12/31/23	01/01-03/31/24
	Facility-Level Status	No Violation Identified											
	HPV History												
	Violation Type	Agency	Programs	Pollutants									

### Informal Enforcement Actions Last 5 Years

No data records returned

Statute	System	Source ID	Type of Action	Lead Agency	Date
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Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

### Formal Enforcement Actions Last 5 Years

No data records returned

Statute	System	Law/Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/ Filed Date	Settlements/ Actions	Settlement/ Action Date	Federal Penalty Assessed	State/ Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
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## Environmental Conditions

### Watersheds

No data records returned

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
--	---	---	---------------------------------	--------------------------------------	--	---

### Assessed Waters From Latest State Submission (ATTAINS)

No data records returned

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
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## Air Quality Nonattainment Areas

No data records returned

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
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## Pollutants

### Toxics Release Inventory History of Reported Chemicals Released or Transferred in Pounds per Year at Site

No data records returned

TRI Facility ID	Year	Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Disposal to Land	Total On-Site Releases	Total Off-Site Transfers
-----------------	------	---------------	--------------------------	--	------------------------	------------------	------------------------	--------------------------

### Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

No data records returned

Chemical Name
---------------

## Community

### Environmental Justice

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the EJScreen home page.

**No valid spatial coordinate is available for this facility.**

### Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2017 - 2021 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <<https://epa.gov/help/reports/dfr-data-dictionary#demographic>>.

**No demographic profile information available for this facility.**



# Detailed Facility Report

## Facility Summary

MUNICIPALITY OF UTUADO

DR. BETANCES STREET, UTUADO, PR 00641

FRS (Facility Registry Service) ID: 110057198447

EPA Region: 02

Latitude: 18.26507

Longitude: -66.7016

Locational Data Source: FRS

Industries: --

Indian Country: N

## Enforcement and Compliance Summary

Statute	CWA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	04/28/2015
<b>Compliance Status</b>	<b>No Violation Identified</b>
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

## Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): Non-Major, Permit Expired (PRR040073)

Resource Conservation and Recovery Act (RCRA): No Information

Safe Drinking Water Act (SDWA): No Information

Go To Enforcement/Compliance Details

Known Data Problems <<https://epa.gov/resources/echo-data/known-data-problems>>

## Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting Interface (CEDRI): No Information

## Facility/System Characteristics

### Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110057198447					N	18.26507	-66.7016
ICIS-NPDES	CWA	PRR040073	Non-Major: General Permit Covered Facility	Expired	Urban Stormwater (Small MS4)	06/30/2021	N	18.26507	-66.7016

## Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County

FRS		110057198447	MUNICIPALITY OF UTUADO	DR. BETANCES STREET, UTUADO, PR 00641	
ICIS-NPDES	CWA	PRR040073	MUNICIPALITY OF UTUADO	DR. BETANCES STREET, UTUADO, PR 00641	Utuaod Municipio

### Facility SIC (Standard Industrial Classification) Codes

No data records returned

System	Identifier	SIC Code	SIC Description
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### Facility NAICS (North American Industry Classification System) Codes

No data records returned

System	Identifier	NAICS Code	NAICS Description
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### Facility Industrial Effluent Guidelines

No data records returned

Identifier	Effluent Guideline (40 CFR Part)	Effluent Guideline Description
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### Facility Tribe Information

No data records returned

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
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## Enforcement and Compliance

### Compliance Monitoring History

Last 5 Years

No data records returned

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
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Entries in italics are not included in ECHO's Compliance Monitoring Activity counts because they are not compliance monitoring strategy <https://www.epa.gov/compliance/compliance-monitoring-programs> activities or because they are not counted as inspections within EPA's Annual Results <https://www.epa.gov/enforcement/enforcement-data-and-results>.

### Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
CWA	PRR040073	No	09/30/2023	0	02/16/2024

### Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12	QTR 13+
CWA (Source ID: PRR040073)		10/01-12/31/20	01/01-03/31/21	04/01-06/30/21	07/01-09/30/21	10/01-12/31/21	01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-02/16/24
	Facility-Level Status	No Violation Identified	Undetermined											
	Quarterly Noncompliance Report History													

### Informal Enforcement Actions

Last 5 Years

No data records returned

Statute	System	Source ID	Type of Action	Lead Agency	Date
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Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

### Formal Enforcement Actions

Last 5 Years

No data records returned

Statute	System	Law/Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/ Filed Date	Settlements/ Actions	Settlement/ Action Date	Federal Penalty Assessed	State/ Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
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## Environmental Conditions

### Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
210100020407	Rio Vivi	--	No	No	--	No

### Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
PR	2020	PRNR7A2	RIO GRANDE DE ARECIBO	Impaired - 303(d) Listed - With Restoration Plan	METALS (OTHER THAN MERCURY)   NUTRIENTS   PATHOGENS   PESTICIDES   TEMPERATURE   TURBIDITY	Not Supporting	Not Supporting	--	Not Supporting	--

## Air Quality Nonattainment Areas

No data records returned

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
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## Pollutants

### Toxics Release Inventory History of Reported Chemicals Released or Transferred in Pounds per Year at Site

No data records returned

TRI Facility ID	Year	Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Disposal to Land	Total On-Site Releases	Total Off-Site Transfers
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### Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

No data records returned

Chemical Name

### CWA (Clean Water Act) Discharge Monitoring Report (DMR) Pollutant Loadings DMR and TRI Multi-Year Loading Report

No data records returned

NPDES ID

Description

## Community

### Environmental Justice

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the EJScreen home page.

#### EJScreen Indexes Shown

#### Related Reports

Compare to

US  State

Index Type

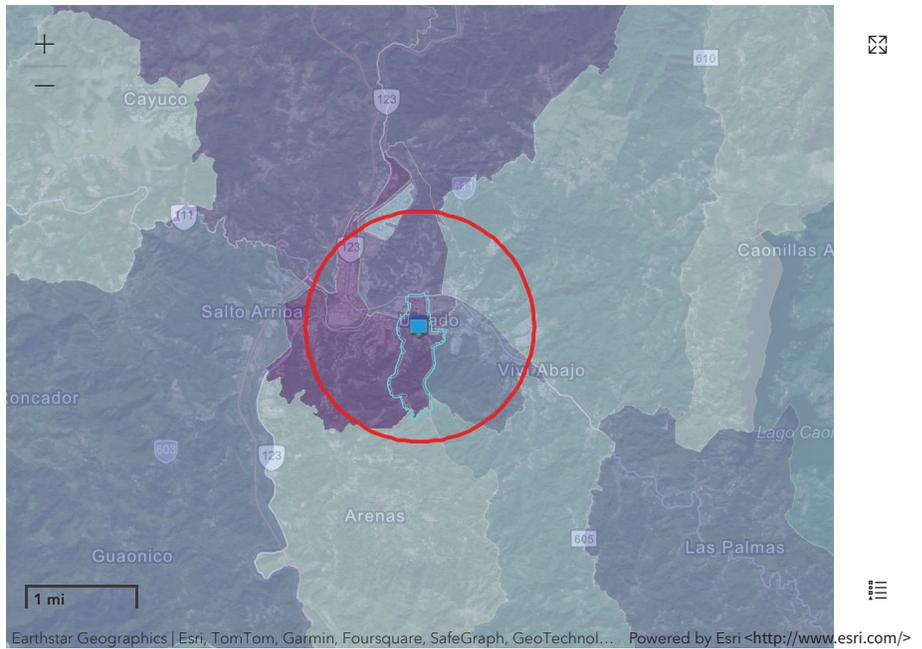
Environmental Justice  Supplemental

EJScreen Community Report

Download Data

Facility 1-mile Radius  Facility Census Block Group

Census Block Group ID: 721419575003	US (Percentile)	
Supplemental Indexes	Facility Census Block Group	1-mile Max
<b>Count of Indexes At or Above 80th Percentile</b>	<b>7</b>	<b>7</b>
Particulate Matter 2.5	0	--
Ozone	0	--
Diesel Particulate Matter	0	--
Air Toxics Cancer Risk	38	40
Air Toxics Respiratory Hazard Index	94	97
Toxic Releases to Air	84	95
Traffic Proximity	96	99
Lead Paint	98	99
Risk Management Plan (RMP) Facility Proximity	54	71
Hazardous Waste Proximity	72	81
Superfund Proximity	99	99
Underground Storage Tanks (UST)	99	99
Wastewater Discharge	99	99



## Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2017 - 2021 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <<https://epa.gov/help/reports/dfr-data-dictionary#demographic>>.

General Statistics (U.S. Census)	
Total Persons	8,564
Population Density	2,758/sq.mi.
Housing Units in Area	3,927

General Statistics (ACS (American Community Survey))	
Total Persons	6,511
Percent People of Color	100%
Households in Area	2,486
Households on Public Assistance	467
Persons With Low Income	5,511
Percent With Low Income	85%

Geography	
Radius of Selected Area	1 mi.
Center Latitude	18.26507
Center Longitude	-66.7016
Land Area	99%
Water Area	1%

Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	1,419 (57.1%)
\$15,000 - \$25,000	479 (19.28%)
\$25,000 - \$50,000	338 (13.6%)
\$50,000 - \$75,000	150 (6.04%)
Greater than \$75,000	99 (3.98%)

Age Breakdown (U.S. Census) - Persons (%)	
Children 5 years and younger	464 (5%)
Minors 17 years and younger	2,082 (24%)
Adults 18 years and older	6,482 (76%)
Seniors 65 years and older	1,478 (17%)

Race Breakdown (U.S. Census) - Persons (%)	
White	7,962 (93%)
African-American	223 (3%)
Hispanic-Origin	8,522 (100%)
Asian/Pacific Islander	19 (0%)
American Indian	11 (0%)
Other/Multiracial	349 (4%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	832 (12.72%)
9th through 12th Grade	309 (6.41%)
High School Diploma	1,437 (29.83%)
Some College/2-year	851 (17.67%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	899 (18.66%)



# Detailed Facility Report

## Facility Summary

**PAPELERA PUERTORRIQUENA, INC.**

**55 RIBAS DOMMINICCI AVE, UTUADO, PR 00641**

**FRS (Facility Registry Service) ID:** 110067019684

**EPA Region:** 02

**Latitude:** 18.265742

**Longitude:** -66.694665

**Locational Data Source:** NPDES

**Industries:** --

**Indian Country:** N

## Enforcement and Compliance Summary

Statute	CWA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
<b>Compliance Status</b>	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

## Regulatory Information

**Clean Air Act (CAA):** No Information

**Clean Water Act (CWA):** Non-Major, Permit Effective (PRR053215)

**Resource Conservation and Recovery Act (RCRA):** No Information

**Safe Drinking Water Act (SDWA):** No Information

Go To Enforcement/Compliance Details

Known Data Problems <<https://epa.gov/resources/echo-data/known-data-problems>>

## Other Regulatory Reports

**Air Emissions Inventory (EIS):** No Information

**Greenhouse Gas Emissions (eGGRT):** No Information

**Toxic Releases (TRI):** No Information

**Compliance and Emissions Data Reporting Interface (CEDRI):** No Information

## Facility/System Characteristics

### Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110067019684					N	18.265742	-66.694665
ICIS-NPDES	CWA	PRR053215	Non-Major: General Permit Covered Facility	Effective	Industrial Stormwater	02/28/2026	N	18.265742	-66.694665

## Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County

FRS	110067019684	PAPELERA PUERTORRIQUENA, INC.	55 RIBAS DOMMINICCI AVE, UTUADO, PR 00641
ICIS-NPDES	CWA	PRR053215	PAPELERA PUERTORRIQUENA, INC. 55 RIBAS DOMMINICCI AVE, UTUADO, PR 00641 Utuado Municipio

### Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
ICIS-NPDES	PRR053215	2674	Bags: Uncoated Paper & Multiwall

### Facility NAICS (North American Industry Classification System) Codes

No data records returned

System	Identifier	NAICS Code	NAICS Description
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### Facility Industrial Effluent Guidelines

No data records returned

Identifier	Effluent Guideline (40 CFR Part)	Effluent Guideline Description
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### Facility Tribe Information

No data records returned

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
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## Enforcement and Compliance

### Compliance Monitoring History Last 5 Years

No data records returned

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
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Entries in italics are not included in ECHO's Compliance Monitoring Activity counts because they are not compliance monitoring strategy <https://www.epa.gov/compliance/compliance-monitoring-programs> activities or because they are not counted as inspections within EPA's Annual Results <https://www.epa.gov/enforcement/enforcement-data-and-results>.

### Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
CWA	PRR053215	No	09/30/2023	0	02/16/2024

### Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12	QTR 13+
CWA (Source ID: PRR053215)		10/01-12/31/20	01/01-03/31/21	04/01-06/30/21	07/01-09/30/21	10/01-12/31/21	01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-02/16/24
	Facility-Level Status	No Violation Identified	Undetermined											
	Quarterly Noncompliance Report History													

### Informal Enforcement Actions Last 5 Years

No data records returned

Statute	System	Source ID	Type of Action	Lead Agency	Date
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Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

### Formal Enforcement Actions Last 5 Years

No data records returned

Statute	System	Law/Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/ Filed Date	Settlements/ Actions	Settlement/ Action Date	Federal Penalty Assessed	State/ Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
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## Environmental Conditions

### Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-Listed Aquatic Species?
210100020407	Rio Vivi	VIVÍ RIVER	No	No	Chromium, hexavalent (as Cr)   Copper, total (as Cu)   Enterococci   Pesticides, general   Phosphorus, total (as P)   Solids, total suspended   Temperature, water deg. centigrade   Turbidity	No

### Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
			RIO GRANDE DE	Impaired - 303(d) Listed - With	METALS (OTHER THAN MERCURY)   NUTRIENTS   PATHOGENS   PESTICIDES		Not		Not	

PR	2020	PRNR7A2	ARECIBO	Restoration Plan	TEMPERATURE   TURBIDITY	Not Supporting	Supporting	--	Supporting	--
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## Air Quality Nonattainment Areas

No data records returned

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
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## Pollutants

### Toxics Release Inventory History of Reported Chemicals Released or Transferred in Pounds per Year at Site

No data records returned

TRI Facility ID	Year	Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Disposal to Land	Total On-Site Releases	Total Off-Site Transfers
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### Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

No data records returned

Chemical Name

### CWA (Clean Water Act) Discharge Monitoring Report (DMR) Pollutant Loadings DMR and TRI Multi-Year Loading Report

No data records returned

NPDES ID	Description
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## Community

### Environmental Justice

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the EJScreen home page.

#### EJScreen Indexes Shown

Compare to

US  State

Index Type

Environmental Justice  Supplemental

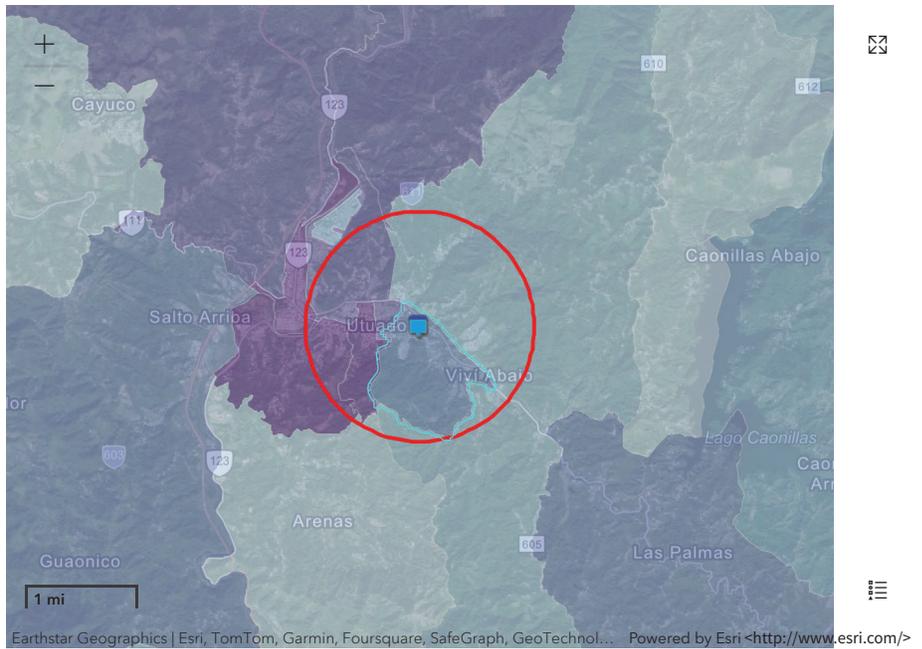
#### Related Reports

EJScreen Community Report

Download Data

Facility 1-mile Radius  Facility Census Block Group

Census Block Group ID: 721419575001	US (Percentile)	
Supplemental Indexes	Facility Census Block Group	1-mile Max
<b>Count of Indexes At or Above 80th Percentile</b>	<b>5</b>	<b>7</b>
Particulate Matter 2.5	0	--
Ozone	0	--
Diesel Particulate Matter	0	--
Air Toxics Cancer Risk	36	40
Air Toxics Respiratory Hazard Index	92	97
Toxic Releases to Air	79	95
Traffic Proximity	90	99
Lead Paint	97	99
Risk Management Plan (RMP) Facility Proximity	49	71
Hazardous Waste Proximity	71	81
Superfund Proximity	99	99
Underground Storage Tanks (UST)	0	99
Wastewater Discharge	98	99



## Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2017 - 2021 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <<https://epa.gov/help/reports/dfr-data-dictionary#demographic>>.

General Statistics (U.S. Census)	
Total Persons	6,753
Population Density	2,134/sq.mi.
Housing Units in Area	3,138

General Statistics (ACS (American Community Survey))	
Total Persons	4,747
Percent People of Color	100%
Households in Area	1,803
Households on Public Assistance	384
Persons With Low Income	3,986
Percent With Low Income	84%

Geography	
Radius of Selected Area	1 mi.
Center Latitude	18.265742
Center Longitude	-66.694665
Land Area	99%
Water Area	1%

Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	1,048 (58.16%)
\$15,000 - \$25,000	355 (19.7%)
\$25,000 - \$50,000	226 (12.54%)
\$50,000 - \$75,000	93 (5.16%)
Greater than \$75,000	80 (4.44%)

Age Breakdown (U.S. Census) - Persons (%)	
Children 5 years and younger	404 (6%)
Minors 17 years and younger	1,749 (26%)
Adults 18 years and older	5,004 (74%)
Seniors 65 years and older	1,099 (16%)

Race Breakdown (U.S. Census) - Persons (%)	
White	6,298 (93%)
African-American	180 (3%)
Hispanic-Origin	6,721 (100%)
Asian/Pacific Islander	15 (0%)
American Indian	8 (0%)
Other/Multiracial	252 (4%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	597 (16.81%)
9th through 12th Grade	231 (6.5%)
High School Diploma	1,174 (33.05%)
Some College/2-year	589 (16.58%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	649 (18.27%)



# Detailed Facility Report

## Facility Summary

**UNIVERSIDAD DE PUERTO RICO**

**HOSPITAL AVE, UTUADO, PR 00761**

**FRS (Facility Registry Service) ID:** 110007807445

**EPA Region:** 02

**Latitude:** 18.269555

**Longitude:** -66.70521

**Locational Data Source:** Place Name Centroid

**Industries:** --

**Indian Country:** N

## Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	05/28/1999
<b>Compliance Status</b>	<b>No Violation Identified</b>
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

## Regulatory Information

**Clean Air Act (CAA):** No Information

**Clean Water Act (CWA):** No Information

**Resource Conservation and Recovery Act (RCRA):** Active VSQG, (PRD091144535)

**Safe Drinking Water Act (SDWA):** No Information

## Other Regulatory Reports

**Air Emissions Inventory (EIS):** No Information

**Greenhouse Gas Emissions (eGGRT):** No Information

**Toxic Releases (TRI):** No Information

**Compliance and Emissions Data Reporting Interface (CEDRI):** No Information

Go To Enforcement/Compliance Details

Known Data Problems <<https://epa.gov/resources/echo-data/known-data-problems>>

## Facility/System Characteristics

### Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110007807445					N		
RCRAInfo	RCRA	PRD091144535	VSQG	Active (H)			N		

### Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110007807445	UNIVERSIDAD DE PUERTO RICO	HOSPITAL AVE, UTUADO, PR 00761	Utuaado Municipio
RCRAInfo	RCRA	PRD091144535	UNIVERSIDAD DE PUERTO RICO	HOSPITAL AVE, UTUADO, PR 00761	Utuaado Municipio

### Facility SIC (Standard Industrial Classification) Codes

### Facility NAICS (North American Industry Classification System) Codes

No data records returned

No data records returned

System	Identifier	SIC Code	SIC Description	System	Identifier	NAICS Code	NAICS Description
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### Facility Tribe Information

No data records returned

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
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## Enforcement and Compliance

### Compliance Monitoring History Last 5 Years

No data records returned

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
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Entries in italics are not included in ECHO's Compliance Monitoring Activity counts because they are not compliance monitoring strategy <https://www.epa.gov/compliance/compliance-monitoring-programs> activities or because they are not counted as inspections within EPA's Annual Results <https://www.epa.gov/enforcement/enforcement-data-and-results>.

### Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
RCRA	PRD091144535	No	02/17/2024	0	02/16/2024

### Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: PRD091144535)		04/01-06/30/21	07/01-09/30/21	10/01-12/31/21	01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-12/31/23	01/01-03/31/24
	Facility-Level Status	No Violation Identified											
	Violation												
	Agency												

### Informal Enforcement Actions Last 5 Years

No data records returned

Statute	System	Source ID	Type of Action	Lead Agency	Date
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Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

### Formal Enforcement Actions Last 5 Years

No data records returned

Statute	System	Law/Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/ Filed Date	Settlements/ Actions	Settlement/ Action Date	Federal Penalty Assessed	State/ Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
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## Environmental Conditions

### Watersheds

No data records returned

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
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## Assessed Waters From Latest State Submission (ATTAINS)

No data records returned

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
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## Air Quality Nonattainment Areas

No data records returned

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
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## Pollutants

### Toxics Release Inventory History of Reported Chemicals Released or Transferred in Pounds per Year at Site

No data records returned

TRI Facility ID	Year	Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Disposal to Land	Total On-Site Releases	Total Off-Site Transfers
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### Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

No data records returned

Chemical Name
---------------

## e-Manifest Hazardous Waste History (Public)

### Hazardous Waste Shipped in Kilograms by Year (Through 11/18/2023)

Source ID	Waste Description	2021	2022	2023	2024
PRD091144535	Hazardous Waste	47	38	9	--
PRD091144535	Acute Hazardous Waste	0	0	0	--
PRD091144535	Pharmaceutical Hazardous Waste	0	0	0	--

Pharmaceutical Hazardous Waste is excluded from the Hazardous and Acute Hazardous Waste quantities shown above because Pharmaceutical Waste is managed under 40 CFR part 266 subpart P <<https://www.epa.gov/hwgenerators/final-rule-management-standards-hazardous-waste-pharmaceuticals-and-amendment-p075>>.

## Community

### Environmental Justice

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the EJScreen home page.

**No valid spatial coordinate is available for this facility.**

### Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2017 - 2021 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <<https://epa.gov/help/reports/dfr-data-dictionary#demographic>>.

**No demographic profile information available for this facility.**



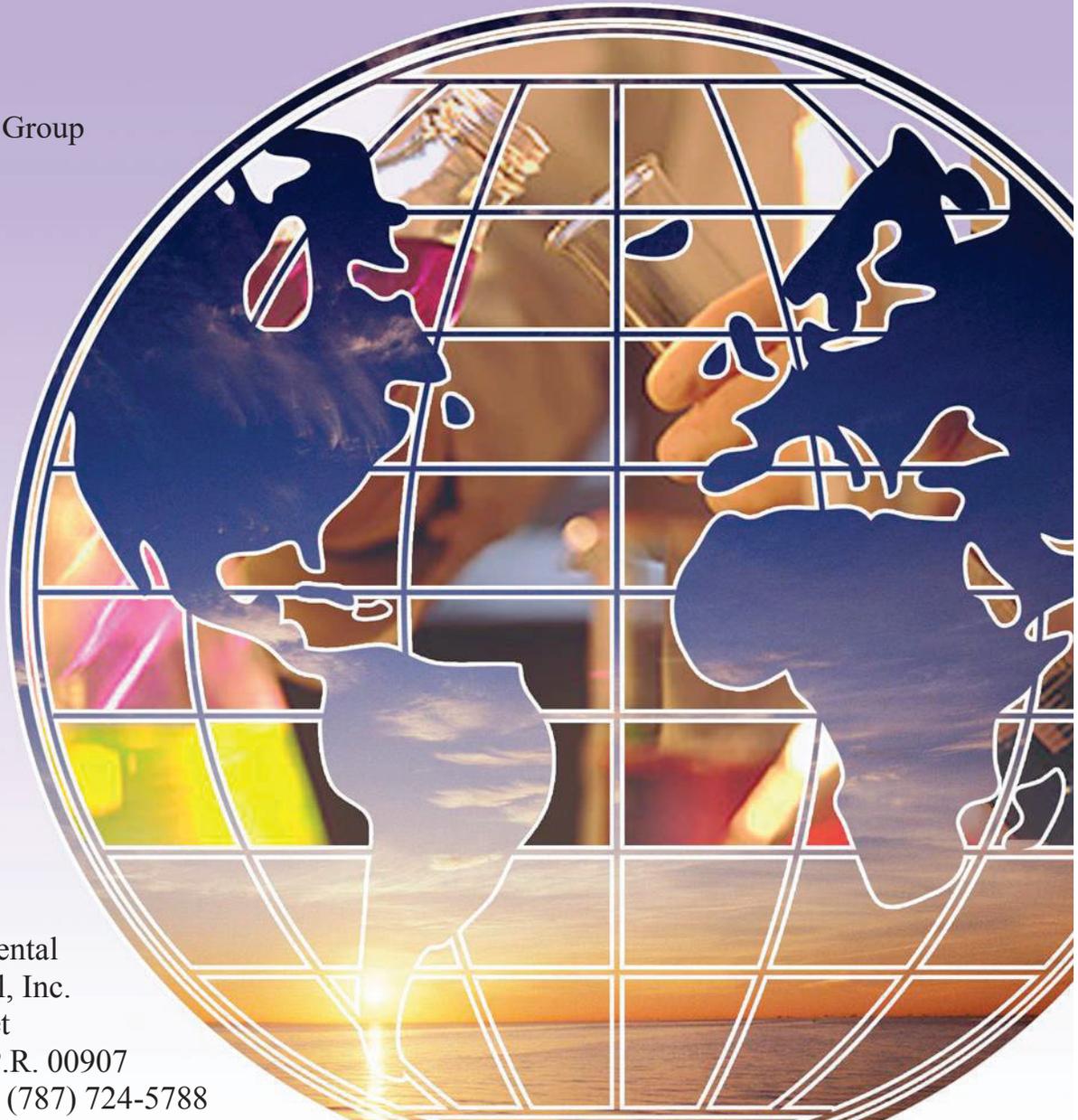
**ENVIRONMENTAL SURVEY  
FOR  
LEAD BASED PAINT (LBP) COMPONENTS  
AND  
ASBESTOS CONTAINING MATERIALS (ACM)  
FOR  
PLAZA DEL MERCADO DE UTUADO (PR-CRP-001001)  
UTUADO, PUERTO RICO**

Prepared For:  
Applied Engineering Group

October 2023

Prepared By:

Analytical Environmental  
Services International, Inc.  
611 Monserrate Street  
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(787) 722-0220 / Fax (787) 724-5788





# LEAD



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## I. SUMMARY

Analytical Environmental Services International, Inc. (AES International) was contracted to perform an LBP survey for the open Plaza del Mercado de Utuado (PR-CRP-001001), 3 Street Dr Cueto, Utuado, Puerto Rico, 00641.

The LBP inspection was conducted on 10/22/2023 by Elme Rivera, a DRNA certified LBP risk assessor.

The following components were found to be painted with LBP:

**Parking**

North	Curb	Concrete	Yellow	}	600 sq.ft* (all curbs included)
	Curb	Concrete	Yellow		
	Curb	Concrete	Yellow		
	Light Post	Wood	Lt. Green		18 sq.ft
	Light Post	Concrete	Lt. Green		18 sq.ft
	Light Post	Metal	Lt. Green		
East	Curb	Concrete	Yellow		*
	Curb	Concrete	Yellow		*
	Floor Lines	Asphalt	Yellow		220 ln.ft
South	Curb	Concrete	Yellow		*
	Front of Bldg. (Wall A)				
	Breaker Panel Base	Concrete	Cream		8 sq.ft
	Right Side of Bldg.				
	Curb	Concrete	Yellow		46 sq.ft

If demolition, or renovation activities, are conducted in the nearest future it is required to remove all LBP materials to be demolished.

## **1.0 INTRODUCTION**

Analytical Environmental Services International, Inc. (AES International) was contracted to perform an LBP survey for the open Plaza del Mercado de Utuado (PR-CRP-001001), 3 Street Dr Cueto, Utuado, Puerto Rico, 00641.

The LBP inspection was conducted on 10/22/23 by Elme Rivera, a DRNA/EPA certified lead risk assessor. The credentials of AESI are attached in Appendix I. The survey, performed with an XRF instrument manufactured by Heuresis, Model Pb200i, was conducted using HUD protocol of 1997, revised in 2012.

## **2.0 TESTING PROCEDURES**

The testing was performed with an XRF instrument manufactured by Heuresis, Model Pb200i (see PCS in Appendix II). The selected mode allows reference to the abatement level set at 1.0 mg/cm<sup>2</sup>. The results are reported at 95% confidence levels.

## **3.0 LEAD BASED PAINT TESTING METHODOLOGY**

The hazard level of lead in paint has been determined by the department of Housing & Urban development as 1.0 mg/cm<sup>2</sup>, as measured by XRF, or AAS (Atomic Absorption Spectroscopy), or 0.5% by weight (or 5000 ppm) as measured by AAS, or Inductive Coupled Plasma (ICP). The same level was adopted by EPA regulations published in 1992, under Title X.

The only lead-based paint testing protocol officially available at this time was published by HUD initially in 1990, revised in 1991 and finalized in 1995 (see above HUD reference). A revised chapter 7 was published in 1997. In accordance with the new protocol, almost all surfaces present in the units have to be tested. The above guidelines were used to perform lead-based-paint testing for this project.

The main steps involved in a single-family inspection are:

1. Perform inventory of all testing combinations
2. Select painted area to be tested
3. Perform XRF testing (including calibration checks)
4. Collect and analyze paint chip samples, for inconclusive results.
5. Classify XRF and paint chips results
6. Review and evaluate the data
7. Report on findings

AES International personnel classify each XRF lead reading as positive, negative, or inconclusive. This classification is based on manufacturer XRF performance characteristic sheet (PCS), for each substrate. Samples and/or additional readings are taken from inconclusive areas. Calibration verification of the instrument was performed prior to beginning of daily task, when the instrument was turned on, and at the end of the day. The verification was conducted on a

NIST standard of 1.0 mg/cm<sup>2</sup>. Acceptance criteria used was +/-0.3 mg/cm<sup>2</sup>. The data for calibration verification is attached in Appendix III.

At the completion of the testing, ten (10) surfaces were retested to assess precision of the testing. Statistical calculations performed on test-retest results suggest that the results are within the tolerance limits and therefore acceptable.

## **4.0 RESULTS**

### **4.1 Results of XRF inspection**

The results of the tested components are shown in Appendix III. One hundred and three (103) XRF readings were taken. LBP components were detected and presented herein.

## **5.0 CONCLUSIONS**

A LBP survey for Plaza del Mercado de Utuado (PR-CRP-001001), 3 Street Dr Cueto, Utuado, Puerto Rico, was conducted. LBP findings are presented herein.

Some painted surfaces may contain levels of lead below 1.0 mg/cm<sup>2</sup>, which could create lead dust, or lead contaminated soil hazards if the paint is turned into dust by abrasion, scraping, or sanding.

This report shall be kept by the owner and all future owners for the life of the buildings. A copy of the relevant report shall be given to each tenant, buyer, or lessor, to comply with federal requirements for disclosure under the lead disclosure rule of 1996 (see also section 1018 of Title X). The LBP survey relates to surfaces accessible and not covered by rigid barriers. Should any hidden painted surfaces or components be present, they must be assumed as LBP.



---

Elme Rivera, DRNA Lead Risk Assessor  
Lic#: LBPR-21223-234

**Table 1. Summary of LBP Positive Components at Plaza de Mercado de Utuado (PR-CRP-001001), Utuado, Puerto Rico.**

<b>Structure</b>	<b>Room</b>	<b>Components</b>	<b>Substrate</b>	<b>Color</b>	<b>Quantity</b>	
<b><u>Parking</u></b>						
	North	Curb	Concrete	Yellow	} 600 sq.ft* (*All Curbs Included)	
		Curb	Concrete	Yellow		
		Curb	Concrete	Yellow		
		Light Post	Wood	Lt. Green		18 sq.ft
		Light Post	Concrete	Lt. Green		18 sq.ft
		Light Post	Metal	Lt. Green		
	East	Curb	Concrete	Yellow	*	
		Curb	Concrete	Yellow	*	
		Floor Lines	Asphalt	Yellow	220 ln.ft	
	South	Curb	Concrete	Yellow	*	
	Front of Bldg. (Wall A)	Breaker Panel Base	Concrete	Cream	8 sq.ft	
	Right Side of Bldg.	Curb	Concrete	Yellow	46 sq.ft	

# Appendix I





**AIHA Laboratory Accreditation Programs, LLC**  
*acknowledges that*  
**Analytical Environmental Services International, Inc.**  
**611 Monserrate St. Suite 2 Santurce, PR 00907**  
**Laboratory ID: LAP-102702**

along with all premises from which key activities are performed, as listed above, has fulfilled the requirements of the AIHA Laboratory Accreditation Programs (AIHA LAP), LLC accreditation to the ISO/IEC 17025:2017 international standard, General Requirements for the Competence of Testing and Calibration Laboratories in the following:

**LABORATORY ACCREDITATION PROGRAMS**

- |                                     |                                   |                                      |
|-------------------------------------|-----------------------------------|--------------------------------------|
| <input checked="" type="checkbox"/> | <b>INDUSTRIAL HYGIENE</b>         | Accreditation Expires: July 01, 2025 |
| <input checked="" type="checkbox"/> | <b>ENVIRONMENTAL LEAD</b>         | Accreditation Expires: July 01, 2025 |
| <input type="checkbox"/>            | <b>ENVIRONMENTAL MICROBIOLOGY</b> | Accreditation Expires:               |
| <input type="checkbox"/>            | <b>FOOD</b>                       | Accreditation Expires:               |
| <input type="checkbox"/>            | <b>UNIQUE SCOPES</b>              | Accreditation Expires:               |
| <input type="checkbox"/>            | <b>BERYLLIUM FIELD/MOBILE</b>     | Accreditation Expires:               |

Specific Field(s) of Testing (FoT)/Method(s) within each Accreditation Program for which the above named laboratory maintains accreditation is outlined on the attached Scope of Accreditation. Continued accreditation is contingent upon successful on-going compliance with ISO/IEC 17025:2017 and AIHA LAP, LLC requirements. This certificate is not valid without the attached Scope of Accreditation. Please review the AIHA LAP, LLC website ([www.aihaaccreditedlabs.org](http://www.aihaaccreditedlabs.org)) for the most current Scope.

*Cheryl O. Morton*

Cheryl O Morton  
 Managing Director, AIHA Laboratory Accreditation Programs, LLC

# United States Environmental Protection Agency

This is to certify that

AES International, Inc.  
has fulfilled the requirements of the Toxic Substances Control Act (TSCA) Section 402, and has received certification to conduct lead-based paint renovation, repair, and painting activities pursuant to 40 CFR Part 745.89

In the Jurisdiction of:

All EPA Administered States, Tribes, and Territories



NAT-87801-3  
Certification #  
September 04, 2020  
Issued On

This certification is valid from the date of issuance and expires  
November 15, 2025

Michelle Price, Chief

Lead, Heavy Metals, and Inorganics Branch



**GOBIERNO DE PUERTO RICO**

Departamento de Recursos Naturales y Ambientales

Este certificado es otorgado a:

**Analytical Environmental Services International (AESI)**

Por haber cumplido con los requisitos establecidos en el Capítulo VI, Regla 127 del Reglamento para el Manejo Adecuado de Actividades de Pintura con Base de Plomo. Se le otorga esta certificación como **Firma** para llevar a cabo actividades relacionadas a Mitigación de Pintura con base de plomo en la jurisdicción de Puerto Rico.

Número de Certificado

**LBPF-07323-012**

Fecha de emisión: Abril 6, 2023

Fecha de Expiración: Abril 5, 2024



José Roque Juliá  
Jefe  
División Desperdicios Tóxicos

## DRNA Lead Risk Assessor Credentials





# Appendix II



## Performance Characteristic Sheet

**EFFECTIVE DATE:** December 1, 2015

**MANUFACTURER AND MODEL:**

Make: *Heuresis*  
Models: *Model Pb200i*  
Source: *<sup>57</sup>Co, 5 mCi (nominal – new source)*

### FIELD OPERATION GUIDANCE

**OPERATING PARAMETERS:**

Action Level mode

**XRF CALIBRATION CHECK LIMITS:**

0.8 to 1.2 mg/cm <sup>2</sup> (inclusive)
---

**SUBSTRATE CORRECTION:**

Not applicable

**INCONCLUSIVE RANGE OR THRESHOLD:**

<b>ACTION LEVEL MODE READING DESCRIPTION</b>	<b>SUBSTRATE</b>	<b>THRESHOLD (mg/cm<sup>2</sup>)</b>
Results not corrected for substrate bias on any substrate	Brick	1.0
	Concrete	1.0
	Drywall	1.0
	Metal	1.0
	Plaster	1.0
	Wood	1.0

## BACKGROUND INFORMATION

### EVALUATION DATA SOURCE AND DATE:

This sheet is supplemental information to be used in conjunction with Chapter 7 of the HUD *Guidelines for the Evaluation and Control of Lead-Based Paint Hazards in Housing* ("HUD Guidelines"). Performance parameters shown on this sheet are calculated using test results on building components in the HUD archive. Testing was conducted on 146 test samples in November 2015, with two separate instruments running software version 2.1-2 in Action Level test mode. The actual source strength of each instrument on the day of testing was approximately 2.0 mCi; source ages were approximately one year.

### OPERATING PARAMETERS

Performance parameters shown in this sheet are applicable only when properly operating the instrument using the manufacturer's instructions and procedures described in Chapter 7 of the HUD Guidelines.

### XRF CALIBRATION CHECK:

The calibration of the XRF instrument should be checked using the paint film nearest 1.0 mg/cm<sup>2</sup> in the NIST Standard Reference Material (SRM) used (e.g., for NIST SRM 2579, use the 1.02 mg/cm<sup>2</sup> film).

If the average (rounded to 1 decimal place) of three readings is outside the acceptable calibration check range, follow the manufacturer's instructions to bring the instrument into control before XRF testing proceeds.

### SUBSTRATE CORRECTION VALUE COMPUTATION:

Chapter 7 of the HUD Guidelines provides guidance on correcting XRF results for substrate bias. Supplemental guidance for using the paint film nearest 1.0 mg/cm<sup>2</sup> for substrate correction is provided:

XRF results are corrected for substrate bias by subtracting from each XRF result a correction value determined separately in each house for single-family housing or in each development for multifamily housing, for each substrate. The correction value is an average of XRF readings taken over the NIST SRM paint film nearest to 1.0 mg/cm<sup>2</sup> at test locations that have been scraped bare of their paint covering. Compute the correction values as follows:

Using the same XRF instrument, take three readings on a bare substrate area covered with the NIST SRM paint film nearest 1 mg/cm<sup>2</sup>. Repeat this procedure by taking three more readings on a second bare substrate area of the same substrate covered with the NIST SRM.

Compute the correction value for each substrate type where XRF readings indicate substrate correction is needed by computing the average of all six readings as shown below.

For each substrate type (the 1.02 mg/cm<sup>2</sup> NIST SRM is shown in this example; use the actual lead loading of the NIST SRM used for substrate correction):

$$\text{Correction value} = (1\text{st} + 2\text{nd} + 3\text{rd} + 4\text{th} + 5\text{th} + 6\text{th Reading})/6 - 1.02 \text{ mg/cm}^2$$

Repeat this procedure for each substrate requiring substrate correction in the house or housing development.

### EVALUATING THE QUALITY OF XRF TESTING:

Randomly select ten testing combinations for retesting from each house or from two randomly selected units in multifamily housing.

Conduct XRF re-testing at the ten testing combinations selected for retesting.

Determine if the XRF testing in the units or house passed or failed the test by applying the steps below.

Compute the Retest Tolerance Limit by the following steps:

Determine XRF results for the original and retest XRF readings. Do not correct the original or retest results for substrate bias. In single-family and multi-family housing, a result is defined as a single reading. Therefore, there will be ten original and ten retest XRF results for each house or for the two selected units.

Calculate the average of the original XRF result and the retest XRF result for each testing combination.

Square the average for each testing combination.

Add the ten squared averages together. Call this quantity C.

Multiply the number C by 0.0072. Call this quantity D.

Add the number 0.032 to D. Call this quantity E.

Take the square root of E. Call this quantity F.

Multiply F by 1.645. The result is the Retest Tolerance Limit.

Compute the average of all ten original XRF readings.

Compute the average of all ten re-test XRF readings.

Find the absolute difference of the two averages.

If the difference is less than the Retest Tolerance Limit, the inspection has passed the retest. If the difference of the overall averages equals or exceeds the Retest Tolerance Limit, this procedure should be repeated with ten new testing combinations. If the difference of the overall averages is equal to or greater than the Retest Tolerance Limit a second time, then the inspection should be considered deficient.

Use of this procedure is estimated to produce a spurious result approximately 1% of the time. That is, results of this procedure will call for further examination when no examination is warranted in approximately 1 out of 100 dwelling units tested.

**TESTING TIMES:**

In the Action Level paint test mode, the instrument takes the longest time to complete readings close to the Federal standard of 1.0 mg/cm<sup>2</sup>. The table below shows the mean and standard deviation of actual reading times by reading level for paint samples during the November 2015 archive testing. The tested instruments reported readings to one decimal place. No significant differences in reading times by substrate were observed. These times apply only to instruments with the same source strength as those tested (2.0 mCi). Instruments with stronger sources will have shorter reading times and those with weaker sources, longer reading times, than those in the table.

<b>Mean and Standard Deviation of Reading Times in Action Level Mode by Reading Level</b>		
<b>Reading (mg/cm<sup>2</sup>)</b>	<b>Mean Reading Time (seconds)</b>	<b>Standard Deviation (seconds)</b>
< 0.7	3.48	0.47
0.7	7.29	1.92
0.8	13.95	1.78
0.9 – 1.2	15.25	0.66
1.3 – 1.4	6.08	2.50
≥ 1.5	3.32	0.05

**CLASSIFICATION OF RESULTS:**

XRF results are classified as **positive** if they are **greater than or equal** to the stated threshold for the instrument (1.0 mg/cm<sup>2</sup>), and *negative* if they are *less than* the threshold.

**DOCUMENTATION:**

A report titled *Methodology for XRF Performance Characteristic Sheets* (EPA 747-R-95-008) provides an explanation of the statistical methodology used to construct the data in the sheets, and provides empirical results from using the recommended inconclusive ranges or thresholds for specific XRF instruments. The report may be downloaded at <http://www2.epa.gov/lead/methodology-xrf-performance-characteristic-sheets-epa-747-r-95-008-september-1997>.

This XRF Performance Characteristic Sheet (PCS) was developed by QuanTech, Inc., under a contract with the XRF manufacturer.

# Appendix III



ANALYTICAL ENVIRONMENTAL SERVICES INTERNATIONAL, INC.  
611 Monserrate Street, 2nd. Floor, Santurce, P. R. 00907

**LEAD BASED PAINT TESTING DATA SHEET**

**Client Name:** Applied Engineering Group  
**Project Name:** LBP Survey for Parking Plaza del Mercado de Utuado (PR-CRP-001001)  
**Address:** Utuado, Puerto Rico

Date: 10/23/23  
Inspector: Elme Rivera  
XRF Serial No.: 2222

Reading #	Structure	Room	Substrate	Color	Component & Location	XRF Reading (mg/cm <sup>2</sup> )	Laboratory Result (% or mg/cm <sup>2</sup> )
1					Calibration	1.0	
2					Calibration	1.0	
3					Calibration	1.0	
4	Parking (1)	North	Concrete	Yellow	Curb	<b>1.2</b>	
5	Parking (1)	North	Concrete	Yellow	Curb	<b>1.1</b>	
6	Parking (1)	North	Concrete	Yellow	Floor Line	0.1	
7	Parking (1)	North	Concrete	Yellow	Curb	<b>2.3</b>	
8	Parking (1)	North	Concrete	Yellow	Floor Line	0.1	
9	Parking (1)	North	Ceramic	Lt. Green	Floor Tile	0.1	
10	Parking (1)	North	Ceramic	Lt. Green	Small Baseboard	0.2	
11	Parking (1)	North	Ceramic	Lt. Green	Floor Tile	0.1	
12	Parking (1)	North	Wood	Lt. Green	Light Post	0.1	
13	Parking (1)	North	Wood	Lt. Green	Light Post	<b>4.2</b>	
14	Parking (1)	North	Concrete	Lt. Green	Light Post	<b>2.8</b>	
15	Parking (1)	North	Metal	Lt. Green	Light Post	<b>1.9</b>	

Approved By: **Ady Padan Ph.D.**

Date: **10/23/2023**

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Date: 10/23/23  
Inspector: Elme Rivera  
XRF Serial No.: 2222

Reading #	Structure	Room	Substrate	Color	Component & Location	XRF Reading (mg/cm <sup>2</sup> )	Laboratory Result (% or mg/cm <sup>2</sup> )
16	Parking (1)	East	Concrete	Yellow	Curb	1.4	
17	Parking (1)	East	Asphalt	Yellow	Floor Line	1.7	
18	Parking (1)	East	Concrete	Yellow	Curb	1.5	
19	Parking (1)	East	Concrete	Yellow	Wheel Stop	0.1	
20	Parking (1)	East	Asphalt	Yellow	Floor Line	0.7	
21	Parking (1)	East	Concrete	Pink	Light Post Base	0.1	
22	Parking (1)	East	Metal	Gray	Light Post	0.2	
23	Parking (1)	South	Concrete	Yellow	Curb	0.1	
24	Parking (1)	South	Concrete	Yellow	Curb	0.2	
25	Parking (1)	South	Metal	Yellow	Bollards (4)	0.3	
26	Parking (1)	South	Concrete	Pink	Transformer Base	0.1	
27	Parking (1)	South	Concrete	Yellow	Curb	1.3	
28	Parking (1)	South, Center	Concrete	Pink	Light Post Base	0.1	
29	Parking (1)	South, Center	Metal	Gray	Light Post	0.2	
30	Parking (1)	West	Concrete	Yellow	Curb	0.1	

Approved By: **Ady Padan Ph.D.**

Date: **10/23/2023**

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**Address:** Utuado, Puerto Rico

Date: 10/23/23  
Inspector: Elme Rivera  
XRF Serial No.: 2222

Reading #	Structure	Room	Substrate	Color	Component & Location	XRF Reading (mg/cm <sup>2</sup> )	Laboratory Result (% or mg/cm <sup>2</sup> )
31	Parking (1)	West	Concrete	Yellow	Curb	0.2	
32	Parking (1)	West	Concrete	Pink	Light Post Base	0.1	
33	Parking (1)	West	Metal	Gray	Light Post	0.1	
34	Parking (1)	West	Concrete	Yellow	Curb	0.3	
35	Parking (1)	West	Concrete	Yellow	Wheel Stop	0.1	
36	Parking (1)	West	Concrete	Yellow	Wheel Stop	0.2	
37	Parking (1)	West	Concrete	Yellow	Wheel Stop	0.1	
38	Parking (1)	West	Asphalt	Yellow	Floor Line	0.1	
39	Parking (1)	West	Asphalt	Yellow	Floor Line	0.1	
40	Parking (1)	West	Asphalt	Yellow	Floor Line	0.2	
41	Parking (1)	West	Concrete	Yellow	Curb Next to Stairs	0.1	
42	Parking (1)	West	Concrete	Blue	Handicap Ramp	0.1	
43	Parking (1)	West	Concrete	Yellow	Handicap Ramp	0.2	
44	Parking (1)	West	Concrete	Yellow	Light Post Base	0.1	
45	Parking (1)	West	Concrete	Yellow	Light Post Base	0.1	

Approved By: **Ady Padan Ph.D.**

Date: **10/23/2023**

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XRF Serial No.: 2222

Reading #	Structure	Room	Substrate	Color	Component & Location	XRF Reading (mg/cm <sup>2</sup> )	Laboratory Result (% or mg/cm <sup>2</sup> )
46	Parking (1)	West	Metal	Cream	Light Post	0.1	
47	Parking (1)	West	Metal	Yellow	Water Hydrant	0.1	
48	Parking (1)	West	Concrete	Green	Light Base	0.2	
49	Parking (1)	West	Wood	Yellow	Light Post	0.1	
50	Parking (1)	Wall A - Front of Building	Metal	Yellow	Bollard	0.2	
51	Parking (1)	Wall A - Front of Building	Concrete	Cream	Breaker Panel Base	<b>1.5</b>	
52	Parking (1)	Wall A - Front of Building	Metal	Cream	Breaker Box	0.2	
53	Parking (1)	Wall A - Front of Building	Concrete	Yellow	Curb - Left	0.1	
54	Parking (1)	Wall A - Front of Building	Concrete	Yellow	Wheel Stop - Left	0.2	
55	Parking (1)	Wall A - Front of Building	Concrete	Yellow	Wheel Stop - Right	0.1	
56	Parking (1)	Wall A - Front of Building	Concrete	Yellow	Curb - Right	0.2	
57	Sidewalk (2)	Wall C - Back of Building	Concrete	Yellow	Curb	0.1	
58	Sidewalk (2)	Wall C - Back of Building	Concrete	Blue	Curb	0.2	
59	Sidewalk (2)	Wall C - Back of Building	Concrete	Brown	Handicap Ramp	0.1	
60	Sidewalk (2)	Wall C - Back of Building	Concrete	Lt. Blue	Fence Wall Base	0.1	

Approved By: **Ady Padan Ph.D.**

Date: **10/23/2023**

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Date: 10/23/23  
Inspector: Elme Rivera  
XRF Serial No.: 2222

Reading #	Structure	Room	Substrate	Color	Component & Location	XRF Reading (mg/cm <sup>2</sup> )	Laboratory Result (% or mg/cm <sup>2</sup> )
61	Sidewalk (2)	Wall C - Back of Building	Concrete	Lt. Blue	Fence Column	0.2	
62	Sidewalk (2)	Wall C - Back of Building	Concrete	Lt. Blue	Fence Column Tile	0.1	
63	Sidewalk (2)	Wall C - Back of Building	Metal	Lt. Blue	Fence Handrail	0.1	
64	Sidewalk (2)	Wall C - Back of Building	Concrete	Yellow	Curb	0.1	
65	Sidewalk (2)	Wall C - Back of Building	Concrete	Lt. Blue	Fence Column	0.1	
66	Sidewalk (2)	Wall C - Back of Building	Metal	Lt. Blue	Handrail	0.2	
67	Sidewalk (2)	Wall C - Back of Building	Ceramic	Blue	Fence Column Tile	0.1	
68	Side of Plaza (3)	Right Side of Building	Concrete	Yellow	Curb	<b>3.3</b>	
69	Side of Plaza (3)	Right Side of Building	Wood	Pink	Light Post	0.1	
70	Side of Plaza (3)	Right Side of Building	Wood	Pink	Light Post	0.1	
71	Side of Plaza (3)	Right Side of Building	Concrete	Lt. Blue	Column	0.2	
72	Side of Plaza (3)	Right Side of Building	Ceramic	Blue	Column Tile	0.1	
73	Side of Plaza (3)	Right Side of Building	Metal	Lt. Blue	Handrail	0.2	
74	Side of Plaza (3)	Stairs 1	Concrete	Lt. Blue	Side Wall B	0.1	
75	Side of Plaza (3)	Stairs 1	Concrete	Lt. Blue	Side Wall D	0.2	

Approved By: **Ady Padan Ph.D.**

Date: **10/23/2023**

ANALYTICAL ENVIRONMENTAL SERVICES INTERNATIONAL, INC.  
611 Monserrate Street, 2nd. Floor, Santurce, P. R. 00907

**LEAD BASED PAINT TESTING DATA SHEET**

**Client Name:** Applied Engineering Group  
**Project Name:** LBP Survey for Parking Plaza del Mercado de Utuado (PR-CRP-001001)  
**Address:** Utuado, Puerto Rico

Date: 10/23/23  
Inspector: Elme Rivera  
XRF Serial No.: 2222

Reading #	Structure	Room	Substrate	Color	Component & Location	XRF Reading (mg/cm <sup>2</sup> )	Laboratory Result (% or mg/cm <sup>2</sup> )
76	Side of Plaza (3)	Stairs 1	Metal	Lt. Blue	Handrail	0.3	
77	Side of Plaza (3)	Stairs 1	Concrete	Cream	Riser	0.1	
78	Side of Plaza (3)	Stairs 1	Concrete	Lt. Blue	Column	0.2	
79	Side of Plaza (3)	Stairs 1	Concrete	Blue	Column Tile	0.1	
80	Side of Plaza (3)	Stairs 2	Concrete	Lt. Blue	Side Wall B	0.1	
81	Side of Plaza (3)	Stairs 2	Concrete	Lt. Blue	Side Wall D	0.1	
82	Side of Plaza (3)	Stairs 2	Metal	Lt. Blue	Handrail	0.2	
83	Side of Plaza (3)	Stairs 2	Concrete	Cream	Riser	0.1	
84	Side of Plaza (3)	Stairs 2	Concrete	Lt. Blue	Column	0.2	
85	Side of Plaza (3)	Stairs 2	Ceramic	Blue	Tile on Column	0.1	
86	Side of Plaza (3)	Stairs 2	Concrete	Lt. Blue	Side Wall Between Stairs 1 and 2	0.2	
87	Side of Plaza (3)	Stairs 2	Concrete	Gray	Side Wall Between Stairs 2 and 3	0.1	
88	Side of Plaza (3)	Stairs 3	Concrete	Blue	Column	0.2	
89	Side of Plaza (3)	Stairs 3	Ceramic	Gray	Tile on Column	0.1	
90	Side of Plaza (3)	Stairs 3	Concrete	Gray	Side Wall B	0.2	

Approved By: **Ady Padan Ph.D.**

Date: **10/23/2023**

ANALYTICAL ENVIRONMENTAL SERVICES INTERNATIONAL, INC.  
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**Address:** Utuado, Puerto Rico

Date: 10/23/23  
Inspector: Elme Rivera  
XRF Serial No.: 2222

Reading #	Structure	Room	Substrate	Color	Component & Location	XRF Reading (mg/cm <sup>2</sup> )	Laboratory Result (% or mg/cm <sup>2</sup> )
91	Side of Plaza (3)	Stairs 3	Concrete	Cream	Side Wall D	0.1	
92	Side of Plaza (3)	Stairs 3	Concrete	Gray	Riser	0.2	
93	Side of Plaza (3)	Stairs 3	Concrete	Gray	Storage Wall B	0.1	
94	Side of Plaza (3)	Stairs 3	Concrete	Gray	Storage Wall C	0.2	
95	Side of Plaza (3)	Stairs 3	Concrete	Gray	Storage Wall D	0.1	
96	Side of Plaza (3)	Stairs 3	Concrete	Gray	Railing	0.1	
97	Side of Plaza (3)	Stairs 4	Concrete	Gray	Side Wall B	0.1	
98	Side of Plaza (3)	Stairs 4	Concrete	Gray	Side Wall D	0.2	
99	Side of Plaza (3)	Stairs 4	Concrete	Cream	Riser	0.1	
100	Side of Plaza (3)	Stairs 4	Concrete	Gray	Column	0.2	
101	Side of Plaza (3)	Stairs 4	Ceramic	Blue	Tile of Column	0.1	
102	Side of Plaza (3)	Stairs 4	Concrete	Gray	Floor Patch	0.1	
103	Side of Plaza (3)	Parking Side	Concrete	Blue	Curb	0.1	
104	Side of Plaza (3)	Parking Side	Concrete	Blue	Wheel Stop	0.2	
105	Side of Plaza (3)	Side of Plaza	Wood	Pink	Light Post	0.1	

Approved By: **Ady Padan Ph.D.**

Date: **10/23/2023**

ANALYTICAL ENVIRONMENTAL SERVICES INTERNATIONAL, INC.  
611 Monserrate Street, 2nd. Floor, Santurce, P. R. 00907

**LEAD BASED PAINT TESTING DATA SHEET**

**Client Name:** Applied Engineering Group  
**Project Name:** LBP Survey for Parking Plaza del Mercado de Utuado (PR-CRP-001001)  
**Address:** Utuado, Puerto Rico

Date: 10/23/23  
Inspector: Elme Rivera  
XRF Serial No.: 2222

Reading #	Structure	Room	Substrate	Color	Component & Location	XRF Reading (mg/cm <sup>2</sup> )	Laboratory Result (% or mg/cm <sup>2</sup> )
106	Side of Plaza (3)	Side of Plaza	Wood	Pink	Light Post	0.1	
107					Calibration	1.0	
108					Calibration	1.0	
109					Calibration	1.0	
110	<b>RE-TESTING</b>						
111	Side of Plaza (3)	Stairs 4	Concrete	Gray	Side Wall B	0.1	
112	Side of Plaza (3)	Stairs 4	Concrete	Gray	Side Wall D	0.2	
113	Side of Plaza (3)	Stairs 4	Concrete	Cream	Riser	0.1	
114	Side of Plaza (3)	Stairs 4	Concrete	Gray	Column	0.1	
115	Side of Plaza (3)	Stairs 4	Ceramic	Blue	Tile of Column	0.2	
116	Side of Plaza (3)	Stairs 4	Concrete	Gray	Floor Patch	0.1	
117	Side of Plaza (3)	Parking Side	Concrete	Blue	Curb	0.2	
118	Side of Plaza (3)	Parking Side	Concrete	Blue	Wheel Stop	0.1	
119	Side of Plaza (3)	Side of Plaza	Wood	Pink	Light Post	0.2	
120	Side of Plaza (3)	Side of Plaza	Wood	Pink	Light Post	0.1	

Approved By: **Ady Padan Ph.D.**

Date: **10/23/2023**

ANALYTICAL ENVIRONMENTAL SERVICES INTERNATIONAL, INC.  
611 Monserrate Street, 2nd. Floor, Santurce, P. R. 00907

**LEAD BASED PAINT TESTING DATA SHEET**

**Client Name:** Applied Engineering Group  
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**Address:** Utuado, Puerto Rico

Date: 10/23/23  
Inspector: Elme Rivera  
XRF Serial No.: 2222

Reading #	Structure	Room	Substrate	Color	Component & Location	XRF Reading (mg/cm <sup>2</sup> )	Laboratory Result (% or mg/cm <sup>2</sup> )
121					Calibration	1.0	
122					Calibration	1.0	
123					Calibration	1.0	

Approved By: **Ady Padan Ph.D.**

Date: **10/23/2023**



# Appendix IV



Project Location: Plaza del Mercado de Utuado, 3 Street Dr Cueto, Utuado, Puerto Rico, 00641.



## Selective Photos



**Typical Concrete Yellow Curbs  
Painted with LBP  
Parking (North, East and South  
Plaza del Mercado de Utuado**



## Selective Photos



**Lt. Green Wood / Concrete / Metal  
Light Post  
Painted with LBP  
North Parking  
Plaza del Mercado de Utuado**



**Yellow Asphlt Floor Lines  
Painted with LBP  
East Parking  
Plaza del Mercado de Utuado**

## Selective Photos



**Yellow Concrete Breaker Panel Base  
Painted with LBP  
Front of Building  
Plaza del Mercado de Utuado**



# Appendix V







# ASBESTOS



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### **2.0 GENERAL BACKGROUND**

### **3.0 PROJECT IDENTIFICATION/DESCRIPTION**

### **4.0 METHODS OF BUILDING INSPECTIONS**

### **5.0 SAMPLING METHODS**

### **6.0 INSPECTION RESULTS AND CONCLUSIONS**

### **7.0 CONCLUSIONS**

APPENDIX I - AESI Certifications and Accreditations

APPENDIX II - Hazard Assessment

## I. SUMMARY

A survey for Asbestos Containing Materials (ACM) was conducted by Analytical Environmental Services International (AES International), Inc. for the open Plaza del Mercado de Utuado (PR-CRP-001001), 3 Street Dr Cueto, Utuado, Puerto Rico, 00641.

The inspection was conducted on 10/23/23 by Elme Rivera, a DRNA/AHERA certified asbestos inspector.

No suspected materials were observed during the inspection and accordingly samples were not collected.

## 1.0 INTRODUCTION

A survey for Asbestos Containing Materials (ACM) was conducted by Analytical Environmental Services International, Inc. (AES International) for the open Plaza del Mercado de Utuado (PR-CRP-001001), 3 Street Dr. Cueto, Utuado, Puerto Rico, 00641. The survey was conducted on 10/23/23 by Elme Rivera, a DRNA/AHERA certified asbestos building inspector (see Appendix I for credentials).

The inspection was performed based on AHERA protocol, according to the following scenario:

- The structure was divided in functional spaces
- Visual inspection was performed.

Suspected materials were not observed during visual inspection.

## 2.0 GENERAL BACKGROUND

Asbestos was used in the construction industry from 1900 to 1989. It is still being used today in various products. The health effects of asbestos have been studied since the 1930's. More health studies have been conducted in asbestos than any other natural substance. The mere presence of asbestos containing materials does not necessarily constitute a health hazard. However, when these materials become disturbed from building renovation, maintenance, or other everyday activities that allow fibers to be released into the environment, a potential hazard does exist.

The relationship between exposure level and health risk is very complex. Although this relationship is not completely understood, asbestos exposure has been associated with various types of lung diseases including a debilitating lung disease called ASBESTOSIS; a rare cancer of chest called MESOTHELIOMA; and cancers of the esophagus, stomach, colon and other organs. Asbestosis is not fatal; it is, however, incurable. One who has it cannot breathe easily, and physical activity becomes limited. MESOTHELIOMA is 100% fatal, as there is no cure. These diseases can be directly linked to asbestos because of the mineral particles that can be found in the lining of the lungs and stomach, since the body cannot absorb these minerals. Tests have determined that asbestos can cause cancer, but scientists disagree on the number of asbestos fibers that must be inhaled to cause cancer. The nose filters out all visible particles. Therefore, only the microscopic fibers are the ones who cause the problems.

Studies indicate different health effects resulting from exposure to chrysotile asbestos versus exposure to the amphibole form of asbestos. The latter, which include tremolite, amosite, actinolite, anthophyllite and crocidolite have more significant health impact than chrysotile. Some scientists cite studies concluding that is the size of the fibers deposited

in the lungs that result in cancer. Long, thin fibers, greater than 8 microns in length and less than 0.25 microns in diameter show the highest potential of cancer development.

## **2.1 National Emission Standards for Hazardous Air Pollutants (NESHAP)**

The EPA's rules concerning the application, removal, and disposal of ACM, as well as manufacturing, spraying and fabricating of ACM were issued under the asbestos NESHAP regulation (U.S. EPA National Emission Standards for Hazardous Air Pollutants, 40 CFR 61 Subpart M, October 30, 1987). The asbestos NESHAP regulation governs asbestos demolition and renovation projects in all facilities. The NESHAP rule usually requires owners or operators to have all friable ACM removed before the building is demolished and may require its removal before renovation. If friable ACM shall be disturbed, the NESHAP rule may require appropriate work practices, or procedures for emission control. The rule states that any ACM, which may become friable, poses a potential hazard that should be addressed. A revised NESHAP ruling was released on November 20, 1990, effective February 20, 1991, which includes as the responsibility of the owner, or operator, to "prior to the commencement of the demolition or renovation, thoroughly inspect the affected facility or part of the facility where demolition or renovation operation will occur for the presence of asbestos, including Category I and Category II non-friable ACM." (40 CFR, Part 61, National Emission Standards for hazardous Air Pollutants, Asbestos NESHAP Revision, Final Rule, November 20, 1990).

## **3.0 PROJECT IDENTIFICATION/DESCRIPTION**

The study was conducted for an open area identified as Plaza del Mercado de Utuado (PR-CRP-001001), 3 Street Dr. Cueto, Utuado, Puerto Rico, 00641.

## **4.0 METHODS OF BUILDING INSPECTION**

Each sample, if collected, should have been classified according to the condition of Asbestos Containing Materials (ACM) in that location and the potential for material disturbance. All the area was visually inspected.

## **5.0 SAMPLING METHODS**

Samples were not collected, as no suspected ACM were observed during the visual inspection.

## **6.0 INSPECTION RESULTS**

Suspected materials were not observed during visual inspection.

## 7.0 CONCLUSIONS

A survey for ACM was conducted at Plaza del Mercado de Utuado (PR-CRP-001001), 3 Street Dr. Cueto, Utuado, Puerto Rico, 00641. Materials surveyed were described above. No suspected ACM were observed. The ACM survey results do not include materials which are non-accessible, non-visible and may be present behind/inside the walls or hidden inside the structures. These materials must be assessed at the time of modernization.



---

Elme Rivera, DRNA Asbestos Inspector  
Lic#: ASB-1122-0471-SI



## CERTIFICACION DE NO PRESENCIA DE ASBESTO EN ESTRUCTURAS A DEMOLERSE

(Deberá completarse en letra de molde o impresa)

PGC- \_\_\_\_\_  
PARA USO OFICIAL

Yo, Elme Rivera, mayor de edad, Casado, y vecino de Vega Baja  
(Nombre) (Estado Civil) (Municipio)

Dirección Postal Vega Baja Lakes Calle 11 L31 Vega Baja 00693  
(Pueblo) (Zip Code)

Teléfonos: Residencial ( 939 ) 969 - 1311 Oficina ( 787 ) 722 - 0220 Ext. \_\_\_\_\_  
Fax ( 787 ) 724 - 5788

### Certifico que:

1. La estructura localizada en Open Plaza del Mercado de Utuado (PR-CRP-001001),  
3 Street Dr Cueto, Utuado, Puerto Rico, 00641., la cual será objeto de una  
demolición se encuentra libre de asbesto.
2. La información antes indicada es cierta y correcta.
3. Afirmo y reconozco las consecuencias de incluir y someter información falsa en este documento.
4. Para que así conste, firmo la presente certificación en San Juan de Puerto Rico,  
(Municipio)  
hoy día 24 de octubre de 2023

**\* Esta certificación es exclusivamente para las áreas muestreadas.**

  
Firma y Sello del Profesional o  
Firma del Inspector de Asbesto registrado por la JCA (Original)

**Nota: Ingenieros o Arquitectos deberán someter evidencia de que se encuentra al día en el pago de sus cuotas de  
colegiación e Inspectores de Asbesto deberán someter evidencia de la tarjeta de registro provista por la JCA.**



# Appendix I



**SCOPE OF ACCREDITATION TO ISO/IEC 17025:2017**

**AES International**

611 Monserrate

Santurce, PR 00907

Mr. Ady Padan

Phone: 787-722-0220 Fax: 787-724-5788

Email: yotal@bellsouth.net

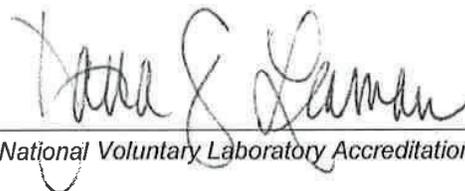
<http://www.aesipr.org>

**ASBESTOS FIBER ANALYSIS**

**NVLAP LAB CODE 200051-0**

**Bulk Asbestos Analysis**

<u>Code</u>	<u>Description</u>
18/A01	EPA -- 40 CFR Appendix E to Subpart E of Part 763, Interim Method of the Determination of Asbestos in Bulk Insulation Samples
18/A03	EPA 600/R-93/116: Method for the Determination of Asbestos in Bulk Building Materials



For the National Voluntary Laboratory Accreditation Program

United States Department of Commerce  
National Institute of Standards and Technology



---

## Certificate of Accreditation to ISO/IEC 17025:2017

---

NVLAP LAB CODE: 200051-0

**AES International**  
Santurce, PR

*is accredited by the National Voluntary Laboratory Accreditation Program for specific services,  
listed on the Scope of Accreditation, for:*

**Asbestos Fiber Analysis**

*This laboratory is accredited in accordance with the recognized International Standard ISO/IEC 17025:2017.  
This accreditation demonstrates technical competence for a defined scope and the operation of a laboratory quality  
management system (refer to joint ISO-ILAC-IAF Communiqué dated January 2009).*

---

2023-01-01 through 2023-12-31

*Effective Dates*



---

*Dana S. Laman*  
For the National Voluntary Laboratory Accreditation Program

# DRNA Asbestos Inspector Credentials

	<p>TARJETA DE REGISTRO PARA LA REMOCION DE ASBESTO</p>
<p><b>ASB-1122-0471-SI</b></p>	<p>Esta tarjeta autoriza a:</p>
<p>Número de Registro</p>	<p><b><i>Elme Rivera Pérez</i></b></p>
<p><b>7-nov-2023</b></p>	<p><b>Inspector</b></p>
<p>Fecha de vencimiento</p>	<p>A trabajar en la remoción de asbesto en Puerto Rico. Esta persona <b>NO</b> es un empleado del DRNA.</p>
	<p></p>
	<p>Firma Autorizada - Departamento Recursos Naturales y Ambientales</p>





# Appendix II



**ASBESTOS SAMPLE INSPECTION FORM FOR PHYSICAL & HAZARD ASSESSMENT**

Client Name Applied Engineering Group  
 Project Name: Plaza del Mercado de Utuado (PR-CRP-001001), Utuado, Puerto Rico  
 Inspection Date: 10/23/23

Road : Plaza del Mercado de Utuado  
 Page: 1 of 1

Homogeneous Material Description		Material Category	Asbestos Content	Friability	Location of Materials	Asbestos Contents	Total Square Feet of ACM	AHERA Assessment Category (1-7,X, None)	Hazard Ranking (1-7)
I.D. Number	Material Description								
	<i>No Suspect ACM</i>								

Inspected by: Elme Rivera

Date: 10/23/23

Friability: F = friable, NF = nonfriable, X = not applicable (material is non-ACBM)

AHERA Assessment Category: 1 = Damaged or significantly damaged friable surfacing ACBM; 2 = Damaged friable surfacing ACBM; 3 = Significantly damaged friable surfacing ACBM; 4 = Damaged or significantly damaged friable miscellaneous ACBM; 5 = ACBM with potential for damage; 6 = ACBM with potential for significant damage; 7 = Any remaining friable ACBM or friable suspected ACBM; X = Not applicable (material is non-ACBM or non-friable surfacing or miscellaneous materials); None = No assessment category provided in original inspection.

Hazard Ranking Category: 1 = Significantly damaged; 2 = Damaged and potential of significant damage; 3 = Damaged and potential for damage; 4 = Damaged; 5 = Potential for significant damage; 6 = Potential for damage; 7 = All remaining ACBM

\* - Unless Specified, the Asbestos Type is Chrysotile; ND - None Detected

**Appendix D**  
**Endangered Species**



## United States Department of the Interior



FISH AND WILDLIFE SERVICE  
Caribbean Ecological Services Field Office  
Post Office Box 491  
Boqueron, PR 00622-0491  
Phone: (939) 320-3135 Fax: (787) 851-7440  
Email Address: [CARIBBEAN\\_ES@FWS.GOV](mailto:CARIBBEAN_ES@FWS.GOV)

In Reply Refer To:

04/08/2024 16:05:50 UTC

Project Code: 2024-0073924

Project Name: Improvements to Plaza del Mercado and Surrounding Areas

Subject: List of threatened and endangered species that may occur in your proposed project location or may be affected by your proposed project

To Whom It May Concern:

**\*THE FOLLOWING SPECIES LIST IS NOT A SECTION 7 CONSULTATION. PLEASE CONTACT OUR OFFICE TO COMPLETE THE CONSULTATION PROCESS\***

The purpose of the Endangered Species Act (Act) is to provide a means whereby threatened, and endangered species and the ecosystems upon which they depend may be conserved. Under sections 7(a)(1) and 7(a)(2) of the Act and its implementing regulations (50 CFR 402 et seq.), Federal agencies are required to utilize their authorities to carry out programs for the conservation of threatened and endangered species and to determine whether projects may affect those species and/or their designated critical habitat.

Federal agencies are required to "request of the Secretary of Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action". The enclosed species list provides information to assist with the U.S. Fish and Wildlife Service (Service) consultation process under section 7 of the Act. However, **the enclosed species list does not complete the required consultation process.** The species list identifies threatened, endangered, proposed and candidate species, as well as proposed and designated critical habitats, that may occur within the boundary of your proposed project and/or may be affected by your proposed project. A discussion between the Federal agency and the Service should include what types of listed species may occur in the proposed action area and what effect the proposed action may have on those species. This process initiates informal consultation.

Once a species list is obtained for the proposed project, an effect determination for endangered and threatened species should be made. The applicant could make an effect determination by using available keys on IPaC for specific species. For species with no determination keys, the applicant should request concurrence from the Service by sending a project package

to [caribbean\\_es@fws.gov](mailto:caribbean_es@fws.gov). To obtain guidance for completing this process and the minimum requirements for project packages, please visit:

<https://www.fws.gov/sites/default/files/documents/consultation-under-section-7-of-the-endangered-species-act-with-the-caribbean-ecological%20Services-field-office-template-letter.pdf>

When a federal agency, after discussions with the Service, determines that the proposed action is not likely to adversely affect any listed species, or adversely modify any designated critical habitat, and the Service concurs, the informal consultation is complete, and the proposed project moves ahead. If the proposed action is suspected to affect a listed species or modify designated critical habitat, the Federal agency may then prepare a Biological Assessment (B.A.) to assist in its determination of the project's effects on species and their habitat. However, a B.A. is required for construction projects (or other undertakings having similar physical impacts) that are major Federal actions significantly affecting the quality of the human environment as defined in the National Environmental Policy Act (42 U.S.C. 4332(2) (c)). For projects other than major construction activities, the Service suggests that a biological evaluation similar to a B.A. where the agency provides the Service with an evaluation on the likely effects of the action to determine whether the project may affect listed or proposed species and/or designated or proposed critical habitat. Recommended contents of a B.A. are described at 50 CFR 402.12.

If a federal agency determines, based on its B.A. or biological evaluation, that listed species and/or designated critical habitat may be affected by the proposed project, the agency is required to further consult with the Service pursuant to 50 CFR 402. In addition, the Service recommends that candidate species, proposed species, and proposed critical habitat be addressed within the consultation process. More information on the regulations and procedures for section 7 consultation, including the role of permit or license applicants, can be found in the "Endangered Species Consultation Handbook" at:

<https://www.fws.gov/sites/default/files/documents/endangered-species-consultation-handbook.pdf>

New information based on updated surveys, changes in the abundance and distribution of species, changed habitat conditions, or other factors could change this list. Please feel free to contact us if you need more current information or assistance regarding the potential impacts to federally proposed, listed, and candidate species.

This list is provided pursuant to Section 7 of the Endangered Species Act and fulfills the requirement for Federal agencies to "request of the Secretary of the Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action". Please use this list to determine whether your project requires consultation and to make your effects determination. For more guidance, use the Guideline for Consultation under Section 7 of the Endangered Species Act with the Caribbean Ecological Services Field Office by clicking [here](#).

This species list is provided by:

Caribbean Ecological Services Field Office

[caribbean\\_es@fws.gov](mailto:caribbean_es@fws.gov)

Post Office Box 491

Boqueron, PR 00622-0491

(786) 244-0081

Attachment(s):

- Official Species List
- USFWS National Wildlife Refuges and Fish Hatcheries
- Bald & Golden Eagles
- Migratory Birds
- Wetlands

## OFFICIAL SPECIES LIST

This list is provided pursuant to Section 7 of the Endangered Species Act, and fulfills the requirement for Federal agencies to "request of the Secretary of the Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action".

This species list is provided by:

**Caribbean Ecological Services Field Office**

Post Office Box 491

Boqueron, PR 00622-0491

(939) 320-3135

## PROJECT SUMMARY

Project Code: 2024-0073924

Project Name: Improvements to Plaza del Mercado and Surrounding Areas

Project Type: Recreation Operations

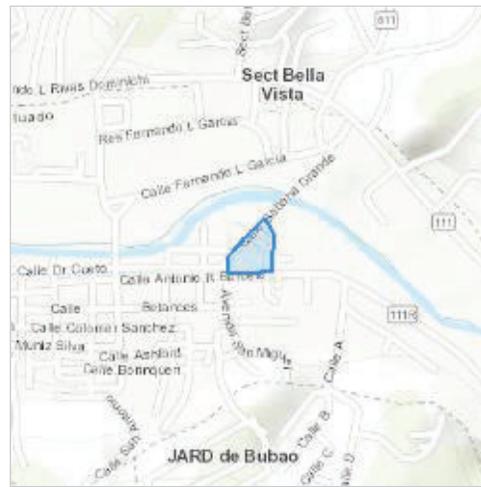
Project Description: This proposal aims to rehabilitate and improve the existing conditions of the surrounding areas of the Market Square. The new design proposed parking spaces (36 to 45 parking spaces) including two electric/hybrid charging spaces as well as accessible parking (ADA compliant). The project will also have green areas, new lighting, street furniture, solar-powered workstation-type tables with ports to recharge cell phones and connect laptops, game tables domino and chess, with umbrellas to create shade, architectural walls, with retractable roofs to separate the passive area of the Market Square and area for two food trucks. The new design will incorporate ADA compliance sidewalks and new solar light poles. In the front part of the Plaza del Mercado, some benches will be added, as well as trash cans and improving the front planters

Proposed design main items are listed below:

1. Two (2) designated areas for Food Trucks, that will be leased to independent merchants in compliance with the provisions of article 2,031 of the Municipal Code.
2. Game area with two (2) domino and two (2) chess concrete game tables, protected with cantilever-style umbrellas for better player enjoyment.
3. Two (2) charging stations for electric or hybrid vehicles.
4. Four (4) workstations, solar tables, to recharge cell phones, tablets and laptops.
5. Wi-Fi access
6. Green areas
7. Solar primary lighting
8. Secondary lighting (Bollards LED lighting)
9. Architectural walls as per designed layout to separate the passive area from the service area of the Market Square. These walls will feature retractable ceilings, art, and lighting.
10. Construction of Sidewalks in accordance with the ADA, for the entire parking area.
11. Designated parking area for bicycles.
12. Installation of urban furniture, such as benches, shelves or "rack" for bicycles and trash cans around the Market Square.

Project Location:

The approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/@18.266170350000003,-66.69798456994847,14z>



Counties: Utuado County, Puerto Rico

## ENDANGERED SPECIES ACT SPECIES

There is a total of 3 threatened, endangered, or candidate species on this species list.

Species on this list should be considered in an effects analysis for your project and could include species that exist in another geographic area. For example, certain fish may appear on the species list because a project could affect downstream species.

IPaC does not display listed species or critical habitats under the sole jurisdiction of NOAA Fisheries<sup>1</sup>, as USFWS does not have the authority to speak on behalf of NOAA and the Department of Commerce.

See the "Critical habitats" section below for those critical habitats that lie wholly or partially within your project area under this office's jurisdiction. Please contact the designated FWS office if you have questions.

- 
1. [NOAA Fisheries](#), also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

**BIRDS**

NAME	STATUS
Puerto Rican Broad-winged Hawk <i>Buteo platypterus brunnescens</i> No critical habitat has been designated for this species. Species profile: <a href="https://ecos.fws.gov/ecp/species/5512">https://ecos.fws.gov/ecp/species/5512</a>	Endangered
Puerto Rican Parrot <i>Amazona vittata</i> No critical habitat has been designated for this species. Species profile: <a href="https://ecos.fws.gov/ecp/species/3067">https://ecos.fws.gov/ecp/species/3067</a>	Endangered

**REPTILES**

NAME	STATUS
Puerto Rican Boa <i>Chilabothrus inornatus</i> No critical habitat has been designated for this species. Species profile: <a href="https://ecos.fws.gov/ecp/species/6628">https://ecos.fws.gov/ecp/species/6628</a> General project design guidelines: <a href="https://ipac.ecosphere.fws.gov/project/WKW6DRQDQNCMHDR32H3V4IKOWI/documents/generated/7159.pdf">https://ipac.ecosphere.fws.gov/project/WKW6DRQDQNCMHDR32H3V4IKOWI/documents/generated/7159.pdf</a>	Endangered

**CRITICAL HABITATS**

THERE ARE NO CRITICAL HABITATS WITHIN YOUR PROJECT AREA UNDER THIS OFFICE'S JURISDICTION.

YOU ARE STILL REQUIRED TO DETERMINE IF YOUR PROJECT(S) MAY HAVE EFFECTS ON ALL ABOVE LISTED SPECIES.

**USFWS NATIONAL WILDLIFE REFUGE LANDS AND FISH HATCHERIES**

Any activity proposed on lands managed by the [National Wildlife Refuge](#) system must undergo a 'Compatibility Determination' conducted by the Refuge. Please contact the individual Refuges to discuss any questions or concerns.

THERE ARE NO REFUGE LANDS OR FISH HATCHERIES WITHIN YOUR PROJECT AREA.

**BALD & GOLDEN EAGLES**

Bald and golden eagles are protected under the Bald and Golden Eagle Protection Act<sup>1</sup> and the Migratory Bird Treaty Act<sup>2</sup>.

Any person or organization who plans or conducts activities that may result in impacts to bald or golden eagles, or their habitats<sup>3</sup>, should follow appropriate regulations and consider implementing appropriate conservation measures, as described in the links below. Specifically, please review the ["Supplemental Information on Migratory Birds and Eagles"](#).

- 
1. The [Bald and Golden Eagle Protection Act](#) of 1940.
  2. The [Migratory Birds Treaty Act](#) of 1918.
  3. 50 C.F.R. Sec. 10.12 and 16 U.S.C. Sec. 668(a)

THERE ARE NO BALD AND GOLDEN EAGLES WITHIN THE VICINITY OF YOUR PROJECT AREA.

## MIGRATORY BIRDS

Certain birds are protected under the Migratory Bird Treaty Act<sup>1</sup> and the Bald and Golden Eagle Protection Act<sup>2</sup>.

Any person or organization who plans or conducts activities that may result in impacts to migratory birds, eagles, and their habitats<sup>3</sup> should follow appropriate regulations and consider implementing appropriate conservation measures, as described in the links below. Specifically, please review the "[Supplemental Information on Migratory Birds and Eagles](#)".

- 
1. The [Migratory Birds Treaty Act](#) of 1918.
  2. The [Bald and Golden Eagle Protection Act](#) of 1940.
  3. 50 C.F.R. Sec. 10.12 and 16 U.S.C. Sec. 668(a)

THERE ARE NO FWS MIGRATORY BIRDS OF CONCERN WITHIN THE VICINITY OF YOUR PROJECT AREA.

## WETLANDS

Impacts to [NWI wetlands](#) and other aquatic habitats may be subject to regulation under Section 404 of the Clean Water Act, or other State/Federal statutes.

For more information please contact the Regulatory Program of the local [U.S. Army Corps of Engineers District](#).

Please note that the NWI data being shown may be out of date. We are currently working to update our NWI data set. We recommend you verify these results with a site visit to determine the actual extent of wetlands on site.

THERE ARE NO WETLANDS WITHIN YOUR PROJECT AREA.

## **IPAC USER CONTACT INFORMATION**

Agency: Municipio of Utuado  
Name: Jose De La Rosa  
Address: Calle 10 Ave Montecarlo #866  
City: San Juan  
State: PR  
Zip: 00924  
Email: jose.delarosa@aegroup-pr.com  
Phone: 7876159371

## **LEAD AGENCY CONTACT INFORMATION**

Lead Agency: Department of Housing and Urban Development



## United States Department of the Interior



FISH AND WILDLIFE SERVICE  
Caribbean Ecological Services Field Office  
Post Office Box 491  
Boqueron, PR 00622-0491  
Phone: (939) 320-3135 Fax: (787) 851-7440  
Email Address: [CARIBBEAN\\_ES@FWS.GOV](mailto:CARIBBEAN_ES@FWS.GOV)

In Reply Refer To:

04/08/2024 16:06:24 UTC

Project code: 2024-0073924

Project Name: Improvements to Plaza del Mercado and Surrounding Areas

Subject: Consistency letter for the project named 'Improvements to Plaza del Mercado and Surrounding Areas' for specified threatened and endangered species, that may occur in your proposed project location, pursuant to the IPaC determination key titled Caribbean Determination Key (DKey).

Dear Applicant:

Thank you for using the assisted evaluation keys in IPaC. This letter is provided pursuant to the Service's authority under the Endangered Species Act of 1973, as amended (ESA) (87 Stat. 884; 16 U.S.C. 1531et seq.). On April 08, 2024, Jose De La Rosa used the Caribbean DKey; dated April 03, 2024, in the U.S. Fish and Wildlife Service's online [IPaC application](#) to evaluate potential impacts to federally listed species, from a project named 'Improvements to Plaza del Mercado and Surrounding Areas'. The project is located in Utuado County, Puerto Rico (shown below).

The approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/@18.266170350000003,-66.69798456994847,14z>



The following description was provided for the project 'Improvements to Plaza del Mercado and Surrounding Areas':

This proposal aims to rehabilitate and improve the existing conditions of the surrounding areas of the Market Square. The new design proposed parking spaces (36 to 45 parking spaces) including two electric/hybrid charging spaces as well as accessible parking (ADA compliant). The project will also have green areas, new lighting, street furniture, solar-powered workstation-type tables with ports to recharge cell phones and connect laptops, game tables domino and chess, with umbrellas to create shade, architectural walls, with retractable roofs to separate the passive area of the Market Square and area for two food trucks. The new design will incorporate ADA compliance sidewalks and new solar light poles. In the front part of the Plaza del Mercado, some benches will be added, as well as trash cans and improving the front planters

Proposed design main items are listed below:

1. Two (2) designated areas for Food Trucks, that will be leased to independent merchants in compliance with the provisions of article 2,031 of the Municipal Code.
2. Game area with two (2) domino and two (2) chess concrete game tables, protected with cantilever-style umbrellas for better player enjoyment.
3. Two (2) charging stations for electric or hybrid vehicles.
4. Four (4) workstations, solar tables, to recharge cell phones, tablets and laptops.
5. Wi-Fi access
6. Green areas
7. Solar primary lighting
8. Secondary lighting (Bollards LED lighting)
9. Architectural walls as per designed layout to separate the passive area from the service area of the Market Square. These walls will feature retractable ceilings, art, and lighting.
10. Construction of Sidewalks in accordance with the ADA, for the entire parking area.
11. Designated parking area for bicycles.
12. Installation of urban furniture, such as benches, shelves or "rack" for bicycles and trash cans around the Market Square.

Based on your answers and the assistance of the Service’s Caribbean DKey, you determined the proposed Action will have “No Effect” on the following species:

<b>Species</b>	<b>Listing Status</b>	<b>Determination</b>
Puerto Rican Boa ( <i>Chilabothrus inornatus</i> )	Endangered	No effect
Puerto Rican Broad-winged Hawk ( <i>Buteo platypterus brunnescens</i> )	Endangered	No effect

Thank you for informing the Service of your “No Effect” determination(s) for this project. No further consultation/coordination for this project is required for these species. However, be aware that reinitiation of consultation may be necessary if later modifications are made to the project so

that it no longer meets the criteria or outcome described above, or if new information reveals effects of the action that could affect listed species or critical habitat in a manner or to an extent not previously considered, or if a new species is listed.

This letter serves as documentation of your consideration of the federally listed species as required under section 7 of the ESA. However, effects to the other federally listed species or critical habitat as listed below from the “IPaC print-out for the project” (see below) should be considered as part of your ESA review for the project.

The Service will notify you within 30 calendar days if we determine that this proposed Action does not meet the criteria for a “No Effect” (NE) determination for Federally listed species in the Caribbean. If we do not notify you within that timeframe, you may proceed with the Action under the terms of the NE concurrence provided here. This verification period allows the Caribbean Ecological Services Field Office to apply local knowledge to evaluate the Action, as we may identify a small subset of actions having unanticipated impacts. In such instances, the Caribbean Ecological Services Field Office may request additional information to verify the effects determination reached through the DKey.

**Note:** Projects located within the range of the Puerto Rican boa or the Virgin Islands tree boa might encounter these species during project activities. **This letter does not provide take to handle or move these species.** If relocation of the species is needed, please contact either the Puerto Rico Department of Natural Resources (DNER) at 787-724-5700, 787-230-5550, or 787-771-1124 for projects in Puerto Rico, or the Virgin Islands Department of Planning and Natural Resources, Division of Fish and Wildlife (DFW) at 340-775-6762 for projects in the Virgin Islands. Otherwise, contact the Caribbean Ecological Services Field Office ([caribbean\\_es@fws.gov](mailto:caribbean_es@fws.gov)) to determine whether the consultation needs to be reinitiated.

In addition to the species listed above, the following species and/or critical habitats may also occur in your project area and **are not** covered by this conclusion. Effects to the other federally listed species or critical habitat as listed below should be considered as part of your ESA review for the project.

- Puerto Rican Parrot *Amazona vittata* Endangered

If the proposed project is located within species range where a DKey has not been developed for those species, please follow the established guidance for initiating section 7 consultation Caribbean Ecological Services Field Office.

We appreciate your interest in protecting endangered species and their habitats. It is the Service’s mission to work with others to conserve, protect, and enhance fish, wildlife, and plants and their habitats for the continuing benefit of our people. If you have any questions or require additional information, please contact our office at [Caribbean\\_es@fws.gov](mailto:Caribbean_es@fws.gov).

## Action Description

You provided to IPaC the following name and description for the subject Action.

### 1. Name

Improvements to Plaza del Mercado and Surrounding Areas

### 2. Description

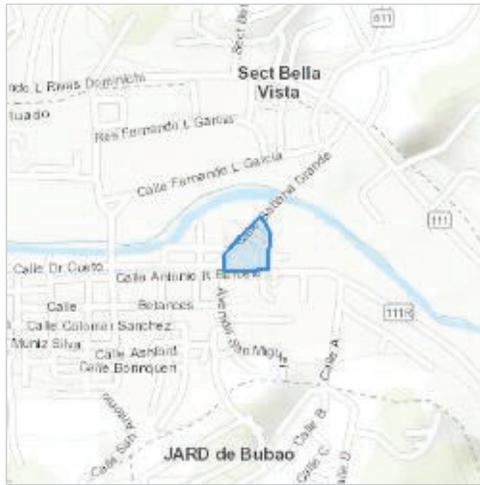
The following description was provided for the project 'Improvements to Plaza del Mercado and Surrounding Areas':

This proposal aims to rehabilitate and improve the existing conditions of the surrounding areas of the Market Square. The new design proposed parking spaces (36 to 45 parking spaces) including two electric/hybrid charging spaces as well as accessible parking (ADA compliant). The project will also have green areas, new lighting, street furniture, solar-powered workstation-type tables with ports to recharge cell phones and connect laptops, game tables domino and chess, with umbrellas to create shade, architectural walls, with retractable roofs to separate the passive area of the Market Square and area for two food trucks. The new design will incorporate ADA compliance sidewalks and new solar light poles. In the front part of the Plaza del Mercado, some benches will be added, as well as trash cans and improving the front planters

Proposed design main items are listed below:

1. Two (2) designated areas for Food Trucks, that will be leased to independent merchants in compliance with the provisions of article 2,031 of the Municipal Code.
2. Game area with two (2) domino and two (2) chess concrete game tables, protected with cantilever-style umbrellas for better player enjoyment.
3. Two (2) charging stations for electric or hybrid vehicles.
4. Four (4) workstations, solar tables, to recharge cell phones, tablets and laptops.
5. Wi-Fi access
6. Green areas
7. Solar primary lighting
8. Secondary lighting (Bollards LED lighting)
9. Architectural walls as per designed layout to separate the passive area from the service area of the Market Square. These walls will feature retractable ceilings, art, and lighting.
10. Construction of Sidewalks in accordance with the ADA, for the entire parking area.
11. Designated parking area for bicycles.
12. Installation of urban furniture, such as benches, shelves or "rack" for bicycles and trash cans around the Market Square.

The approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/@18.266170350000003,-66.69798456994847,14z>



## QUALIFICATION INTERVIEW

1. Is the proposed project an EPA Multi-Sector General Permit (MSGP) renewal for an existing project? ([MSGP Fact Sheet](#))

*No*

2. Is the proposed project within an urban developed area? (i.e., cities, downtowns, shopping malls etc.)

**Note:** Urban and developed areas has one or more of the following characteristics: Presence of existing buildings, residential areas, and commercial establishments. Well-established infrastructure including roads, utilities, and urban facilities. High population density. Established neighborhoods and urban amenities ("urbanizaciones"). Developed landscape with paved surfaces, parking lots, and industrial areas. Signs of human activity and urbanization, such as shopping centers and recreational facilities. Location within the boundaries of a city or town ("casco urbano"). High concentration of built-up structures and limited open spaces. Aerial imagery might be requested to the applicant. .

*Yes*

3. [Hidden Semantic] Does the proposed project intersect the Puerto Rican boa area of influence?

**Automatically answered**

*Yes*

4. Does the proposed project intersect the Puerto Rican Broad-winged hawk area of influence?

**Automatically answered**

*Yes*

## **IPAC USER CONTACT INFORMATION**

Agency: Municipio of Utuado

Name: Jose De La Rosa

Address: Calle 10 Ave Montecarlo #866

City: San Juan

State: PR

Zip: 00924

Email: jose.delarosa@aegroup-pr.com

Phone: 7876159371

## **LEAD AGENCY CONTACT INFORMATION**

Lead Agency: Department of Housing and Urban Development

# IMPROVEMENTS TO PLAZA DEL MERCADO AND SURROUNDING AREAS

## BIOLOGICAL ANALYSIS

Prepared using IPaC

Generated by Jose De La Rosa (jose.delarosa@aegroup-pr.com)

April 8, 2024

The purpose of this document is to assess the effects of the proposed project and determine whether the project may affect any federally threatened, endangered, proposed, or candidate species. If appropriate for the project, this document may be used as a biological assessment (BA), as it is prepared in accordance with legal requirements set forth under [Section 7 of the Endangered Species Act \(16 U.S.C. 1536 \(c\)\)](#).

In this document, any data provided by U.S. Fish and Wildlife Service is based on data as of April 8, 2024.

Prepared using IPaC version 6.107.0-rc5

# IMPROVEMENTS TO PLAZA DEL MERCADO AND SURROUNDING AREAS BIOLOGICAL ASSESSMENT

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# 1 DESCRIPTION OF THE ACTION

## 1.1 PROJECT NAME

Improvements to Plaza del Mercado and Surrounding Areas

## 1.2 EXECUTIVE SUMMARY

Per all parts of this consultation, the projects consists of improvements to an existing parking lot and surrounding areas of the market place of the municipality of Utuado. The improvements consists mostly of replacement of old material with more resilient materials, complying with ADA regulations, and adding electric vehicle chargers.

## 1.3 EFFECT DETERMINATION SUMMARY

SPECIES (COMMON NAME)	SCIENTIFIC NAME	LISTING STATUS	PRESENT IN ACTION AREA	EFFECT DETERMINATION
Puerto Rican Boa†. This species or critical habitat is covered by a DKey.	Chilabothrus inornatus	Endangered		NE
Puerto Rican Broad-winged Hawk†. This species or critical habitat is covered by a DKey.	Buteo platypterus brunnescens	Endangered		NE
<a href="#">Puerto Rican Parrot</a>	Amazona vittata	Endangered	No	NE

† This species or critical habitat has been analyzed through a Determination Key.

## 1.4 PROJECT DESCRIPTION

### 1.4.1 LOCATION



#### LOCATION

Utuado County, Puerto Rico

### 1.4.2 DESCRIPTION OF PROJECT HABITAT

Urban Area, parking lot surrounding Market Place.

### **1.4.3 PROJECT PROPONENT INFORMATION**

*Provide information regarding who is proposing to conduct the project, and their contact information. Please provide details on whether there is a Federal nexus.*

#### **REQUESTING AGENCY**

**FULL NAME**

Jose De La Rosa

**STREET ADDRESS**

Calle 10 Ave Montecarlo #866

**CITY**

San Juan

**STATE**

PR

**ZIP**

00924

**PHONE NUMBER**

7876159371

**E-MAIL ADDRESS**

jose.delarosa@aegroup-pr.com

#### **LEAD AGENCY**

Department of Housing and Urban Development

### **1.4.4 PROJECT PURPOSE**

The project purpose is to make improvements to the surroundings of the market place at the Municipality of Utuado, due to damages that recent hurricanes made to the areas. The Municipality of Utuado, proposes to improve and create a refurbished space at the surrounding areas of the market place.

### **1.4.5 PROJECT TYPE AND DECONSTRUCTION**

This project is a improvements of existing parking and surrounding areas project.



#### **1.4.5.2 IMPROVEMENTS TO AN EXISTING PARKING LOT**

**ACTIVITY START DATE**

August 01, 2024

**ACTIVITY END DATE**

August 01, 2025

**STRESSORS**

This activity is not expected to have any impact on the environment.

**DESCRIPTION**

It is only improvements of an existing parking lot and surrounding areas of market place in the urban center of the municipality of Utuado.

#### **1.4.6 ANTICIPATED ENVIRONMENTAL STRESSORS**

*Describe the anticipated effects of your proposed project on the aspects of the land, air and water that will occur due to the activities above. These should be based on the activity deconstructions done in the previous section and will be used to inform the action area.*



## **1.6 CONSERVATION MEASURES**

*Describe any proposed measures being implemented as part of the project that are designed to reduce the impacts to the environment and their resulting effects to listed species. To avoid extra verbiage, don't list measures that have no relevance to the species being analyzed.*

***No conservation measures have been selected for this project.***

## **1.7 PRIOR CONSULTATION HISTORY**

None

## **1.8 OTHER AGENCY PARTNERS AND INTERESTED PARTIES**

The agencies are, Department of Housing and Urban Development (federal agency for funding), The Municipality of Utuado (owner), Applied Engineering Group (proponent/designer).

## **1.9 OTHER REPORTS AND HELPFUL INFORMATION**

N/A

## **2 SPECIES EFFECTS ANALYSIS**

*This section describes, species by species, the effects of the proposed action on listed, proposed, and candidate species, and the habitat on which they depend. In this document, effects are broken down as direct interactions (something happening directly to the species) or indirect interactions (something happening to the environment on which a species depends that could then result in effects to the species).*

*These interactions encompass effects that occur both during project construction and those which could be ongoing after the project is finished. All effects, however, should be considered, including effects from direct and indirect interactions and cumulative effects.*

### **2.1 PUERTO RICAN PARROT**

***This species has been excluded from analysis in this environmental review document.***

#### **JUSTIFICATION FOR EXCLUSION**

There was not present any species during visits. Developed area.

### **3 CRITICAL HABITAT EFFECTS ANALYSIS**

*No critical habitats intersect with the project action area.*

## **4 SUMMARY DISCUSSION AND CONCLUSION**

### **4.1 SUMMARY DISCUSSION**

It won't have any adverse effects per the location is inside the developed area of the municipality of Utuado.

### **4.2 CONCLUSION**

After evaluation, the project will not cause any adverse effects due to the typology of the project (only consists of improvements on an existing parking lot).



## Self-Certification

<http://www.fws.gov/caribbean/ES/Index.html>

### Endangered Species Act Certification

The U.S. Fish and Wildlife Service, Caribbean Ecological Services Field Office developed a Blanket Clearance Letter in compliance with Endangered Species Act of 1973, as amended, and the Fish and Wildlife Coordination Act for federally funded projects.

The Service determined that projects in compliance with the following criteria are not likely to adversely affect federally listed species.

The Puerto Rico Department of Housing (PRDOH) certifies that the following project **Estacionamiento y áreas circundantes a la Plaza del Mercado (PR-CRP-001001)**, consisting of rehabilitation and improvements to the existing conditions of the surrounding areas of the Market Square including parking spaces (36 to 45 parking spaces), two electric/hybrid charging spaces, accessible parking (ADA compliant, green areas, new lighting, street furniture, solar-powered workstation-type tables with ports to recharge cell phones, and connect laptops, game tables domino and chess, with umbrellas to create shade, architectural walls, with retractable roofs to separate the passive area of the Market Square and area for two food trucks, ADA compliance sidewalks and new solar light poles; located at 3 Dr. Cuerto Street, Utuado, PR 00641; coordinates 18.266209, -66.697940, complies with:

Check	Project Criteria
<input type="checkbox"/>	1. Street resurfacing.
<input checked="" type="checkbox"/>	2. Construction of gutters and sidewalks along existing roads.
<input type="checkbox"/>	3. Reconstruction or emergency repairs of existing buildings, facilities, and homes.

<input type="checkbox"/>	4. Rehabilitation of existing occupied single-family homes, and buildings; provided that equipment storage or staging areas are not located on vacant property harboring a wetland and/or forested vegetation and that the lighting associated to the new facilities is not visible directly or indirectly from a beach.
<input type="checkbox"/>	5. Demolition of dilapidated single-family homes or buildings; provided that the demolition debris is disposed in certified receiving facilities; equipment storage or staging areas are not located on vacant property harboring a wetland and/or forested vegetation.
<input type="checkbox"/>	6. Rebuilding of demolished single-family homes or buildings, provided that the new construction is within the existing footprint of the previous structure and/or within pre-existing grassed or paved areas, and that the lighting associated to the new facilities are not visible directly or indirectly from a beach.
<input type="checkbox"/>	7. Activities within existing Right of Ways (ROWs) of roads, bridges, and highways, when limited to actions that do not involve cutting native vegetation or mayor earth moving; and are not located within, or adjacent to, drainages, wetlands, or aquatic systems. These activities include the installation of potable water and sanitary pipelines.
<input checked="" type="checkbox"/>	8. Improvements to existing recreational facilities, including the installation of roofs to existing basketball courts, provided that the lighting associated to the facilities are not visible directly or indirectly from the beach.
<input type="checkbox"/>	9. Construction of electric underground systems in existing towns and communities, provided that the property is not a wetland area and the lighting associated to the facilities are not visible directly or indirectly from the beach.
<input type="checkbox"/>	10. Construction of facilities on vacant properties covered with grasses in urban areas, provided that the lighting associated to the facilities are not visible directly or indirectly from the beach.
<input type="checkbox"/>	11. Construction of houses, buildings or acquiring lands in urban areas covered by grass for relocation of low-income families and/or facilities that have been affected by weather conditions.

USFWS Self-Certification  
PR-CRP-001001



---

Ángel G. López-Guzmán  
Deputy Director  
Permits and Environmental Compliance Division

Office of Disaster Recovery  
**Address:** P.O. Box 21365 San Juan, PR 00928  
**Telephone and Ext:** 787-274-2527 ext. 4320  
**Email:** [environmentcdbg@vivienda.pr.gov](mailto:environmentcdbg@vivienda.pr.gov)

April 23, 2024

---

Date

## **Attachment 1**

Location Map

Critical Habitat Map

Wetlands Map

Photos



### Map 1: Project Site

Project Name: Estacionamiento y áreas circundantes a la Plaza del Mercado, Municipality of Utuado, (PR-CRP-001001)

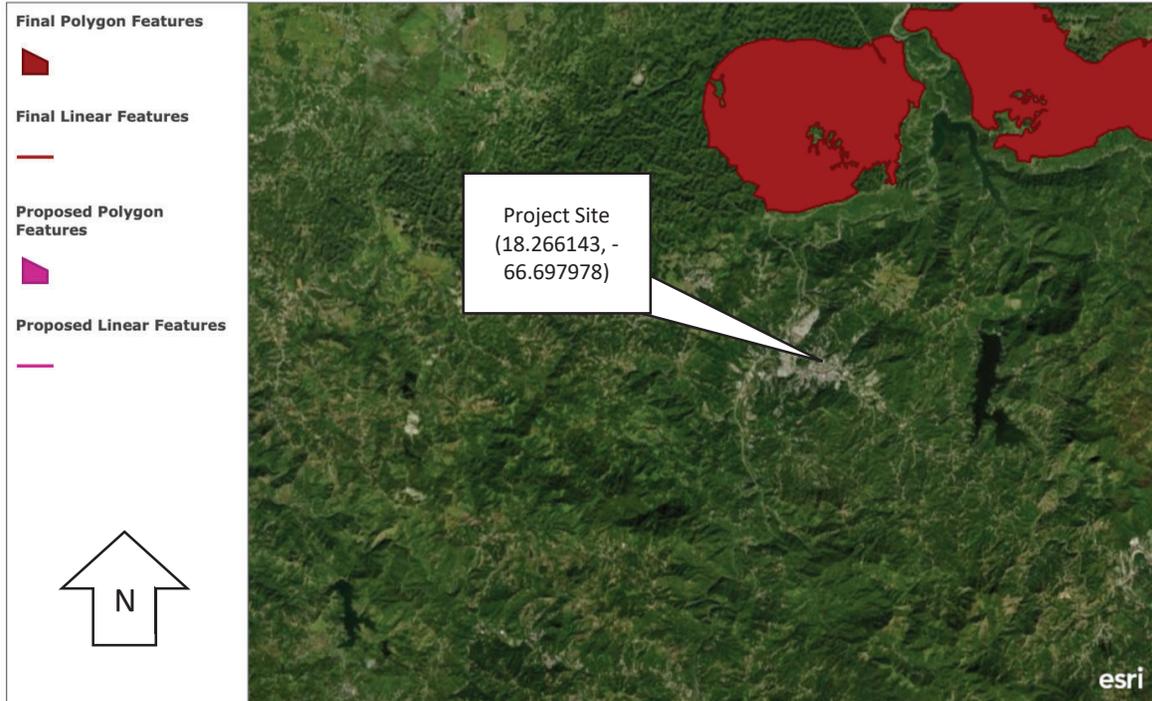
Location: Utuado, PR 00641 ([18.266143](#), [-66.697978](#))

Source: Google Earth

Website: <https://earth.google.com/web/>

Author: Applied Engineering Group

## Critical Habitat for Threatened & Endangered Species [USFWS]



A specific geographic area(s) that contains features essential for the conservation of a threatened or endangered species and that may require special management and protection.

Earthstar Geographics

### Map 2: Critical Habitats

Project Name: Estacionamiento y áreas circundantes a la Plaza del Mercado, Municipality of Utuado, (PR-CRP-001001)

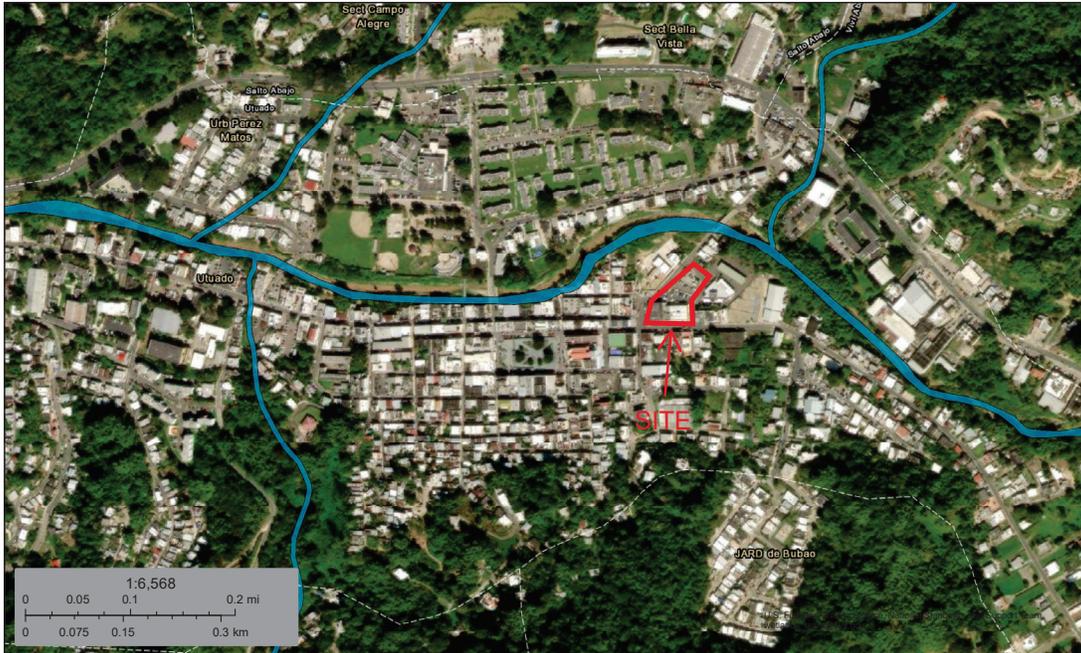
Location: Utuado, PR 00641 ([18.266143, -66.697978](#))

Source: US National Park Service - Interactive Map of NPS Wild and Scenic Rivers.

Website:

<https://nps.maps.arcgis.com/apps/View/index.html?appid=ff42a57d0aae43c49a88daee0e353142>

Author: Applied Engineering Group



January 31, 2024

Wetlands	
	Freshwater Emergent Wetland
	Estuarine and Marine Deepwater
	Estuarine and Marine Wetland
	Freshwater Forested/Shrub Wetland
	Freshwater Pond
	Lake
	Other
	Riverine

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

National Wetlands Inventory (NWI)  
This page was produced by the NWI mapper

### Map 3: Wetlands

Project Name: Estacionamiento y áreas circundantes a la Plaza del Mercado, Municipality of Utuado, (PR-CRP-001001)

Location: Utuado, PR 00641 ([18.266143](#), [-66.697978](#))

Source: USFWS National Wetlands Inventory – Wetlands Mapper

Website: <https://www.fws.gov/program/national-wetlands-inventory/wetlands-mapper>

Author: Applied Engineering Group

PR-CRP-001001







## **Attachment 2**

IPaC Report

# IPaC resource list

This report is an automatically generated list of species and other resources such as critical habitat (collectively referred to as *trust resources*) under the U.S. Fish and Wildlife Service's (USFWS) jurisdiction that are known or expected to be on or near the project area referenced below. The list may also include trust resources that occur outside of the project area, but that could potentially be directly or indirectly affected by activities in the project area. However, determining the likelihood and extent of effects a project may have on trust resources typically requires gathering additional site-specific (e.g., vegetation/species surveys) and project-specific (e.g., magnitude and timing of proposed activities) information.

Below is a summary of the project information you provided and contact information for the USFWS office(s) with jurisdiction in the defined project area. Please read the introduction to each section that follows (Endangered Species, Migratory Birds, USFWS Facilities, and NWI Wetlands) for additional information applicable to the trust resources addressed in that section.

## Location

Utuado County, Puerto Rico



## Local office

Caribbean Ecological Services Field Office

☎ (939) 320-3135

📠 (787) 851-7440

✉ [CARIBBEAN\\_ES@FWS.GOV](mailto:CARIBBEAN_ES@FWS.GOV)

MAILING ADDRESS

Post Office Box 491

Boqueron, PR 00622-0491

PHYSICAL ADDRESS

Office Park I

State Road #2 Km 156.5, Suite 303}

Mayaguez, PR 00680

NOT FOR CONSULTATION

# Endangered species

**This resource list is for informational purposes only and does not constitute an analysis of project level impacts.**

The primary information used to generate this list is the known or expected range of each species. Additional areas of influence (AOI) for species are also considered. An AOI includes areas outside of the species range if the species could be indirectly affected by activities in that area (e.g., placing a dam upstream of a fish population even if that fish does not occur at the dam site, may indirectly impact the species by reducing or eliminating water flow downstream). Because species can move, and site conditions can change, the species on this list are not guaranteed to be found on or near the project area. To fully determine any potential effects to species, additional site-specific and project-specific information is often required.

Section 7 of the Endangered Species Act **requires** Federal agencies to "request of the Secretary information whether any species which is listed or proposed to be listed may be present in the area of such proposed action" for any project that is conducted, permitted, funded, or licensed by any Federal agency. A letter from the local office and a species list which fulfills this requirement can **only** be obtained by requesting an official species list from either the Regulatory Review section in IPaC (see directions below) or from the local field office directly.

For project evaluations that require USFWS concurrence/review, please return to the IPaC website and request an official species list by doing the following:

1. Draw the project location and click CONTINUE.
2. Click DEFINE PROJECT.
3. Log in (if directed to do so).
4. Provide a name and description for your project.
5. Click REQUEST SPECIES LIST.

Listed species<sup>1</sup> and their critical habitats are managed by the [Ecological Services Program](#) of the U.S. Fish and Wildlife Service (USFWS) and the fisheries division of the National Oceanic and Atmospheric Administration (NOAA Fisheries<sup>2</sup>).

Species and critical habitats under the sole responsibility of NOAA Fisheries are **not** shown on this list. Please contact [NOAA Fisheries](#) for [species under their jurisdiction](#).

- 
1. Species listed under the [Endangered Species Act](#) are threatened or endangered; IPaC also shows species that are candidates, or proposed, for listing. See the [listing status page](#) for more information. IPaC only shows species that are regulated by USFWS (see FAQ).

2. [NOAA Fisheries](#), also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

The following species are potentially affected by activities in this location:

## Birds

NAME	STATUS
Puerto Rican Broad-winged Hawk <i>Buteo platypterus</i> <i>brunnescens</i> Wherever found No critical habitat has been designated for this species. <a href="https://ecos.fws.gov/ecp/species/5512">https://ecos.fws.gov/ecp/species/5512</a>	Endangered
Puerto Rican Parrot <i>Amazona vittata</i> Wherever found No critical habitat has been designated for this species. <a href="https://ecos.fws.gov/ecp/species/3067">https://ecos.fws.gov/ecp/species/3067</a>	Endangered

## Reptiles

NAME	STATUS
Puerto Rican Boa <i>Chilabothrus inornatus</i> Wherever found No critical habitat has been designated for this species. <a href="https://ecos.fws.gov/ecp/species/6628">https://ecos.fws.gov/ecp/species/6628</a>	Endangered

## Critical habitats

Potential effects to critical habitat(s) in this location must be analyzed along with the endangered species themselves.

There are no critical habitats at this location.

You are still required to determine if your project(s) may have effects on all above listed species.

## Bald & Golden Eagles

There are no documented cases of eagles being present at this location. However, if you believe eagles may be using your site, please reach out to the local Fish and Wildlife Service office.

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Additional information can be found using the following links:

- Eagle Management <https://www.fws.gov/program/eagle-management>
- Measures for avoiding and minimizing impacts to birds  
<https://www.fws.gov/library/collections/avoiding-and-minimizing-incident-take-migratory-birds>
- Nationwide conservation measures for birds  
<https://www.fws.gov/sites/default/files/documents/nationwide-standard-conservation-measures.pdf>
- Supplemental Information for Migratory Birds and Eagles in IPaC  
<https://www.fws.gov/media/supplemental-information-migratory-birds-and-bald-and-golden-eagles-may-occur-project-action>

#### **What does IPaC use to generate the potential presence of bald and golden eagles in my specified location?**

The potential for eagle presence is derived from data provided by the [Avian Knowledge Network \(AKN\)](#). The AKN data is based on a growing collection of [survey, banding, and citizen science datasets](#) and is queried and filtered to return a list of those birds reported as occurring in the 10km grid cell(s) which your project intersects, and that have been identified as warranting special attention because they are a BCC species in that area, an eagle ([Eagle Act](#) requirements may apply). To see a list of all birds potentially present in your project area, please visit the [Rapid Avian Information Locator \(RAIL\) Tool](#).

#### **What does IPaC use to generate the probability of presence graphs of bald and golden eagles in my specified location?**

The Migratory Bird Resource List is comprised of USFWS [Birds of Conservation Concern \(BCC\)](#) and other species that may warrant special attention in your project location.

The migratory bird list generated for your project is derived from data provided by the [Avian Knowledge Network \(AKN\)](#). The AKN data is based on a growing collection of [survey, banding, and citizen science datasets](#) and is queried and filtered to return a list of those birds reported as occurring in the 10km grid cell(s) which your project intersects, and that have been identified as warranting special attention because they are a BCC species in that area, an eagle ([Eagle Act](#) requirements may apply), or a species that has a particular vulnerability to offshore activities or development.

Again, the Migratory Bird Resource list includes only a subset of birds that may occur in your project area. It is not representative of all birds that may occur in your project area. To get a list of all birds potentially present in your project area, please visit the [Rapid Avian Information Locator \(RAIL\) Tool](#).

#### **What if I have eagles on my list?**

If your project has the potential to disturb or kill eagles, you may need to obtain a permit to avoid violating the [Eagle Act](#) should such impacts occur. Please contact your local Fish and Wildlife Service Field Office if you have questions.

## Migratory birds

Certain birds are protected under the Migratory Bird Treaty Act<sup>1</sup> and the Bald and Golden Eagle Protection Act<sup>2</sup>.

Any person or organization who plans or conducts activities that may result in impacts to migratory birds, eagles, and their habitats should follow appropriate regulations and consider implementing appropriate conservation measures, as described below.

1. The [Migratory Birds Treaty Act](#) of 1918.
2. The [Bald and Golden Eagle Protection Act](#) of 1940.

Additional information can be found using the following links:

- Eagle Management <https://www.fws.gov/program/eagle-management>
- Measures for avoiding and minimizing impacts to birds <https://www.fws.gov/library/collections/avoiding-and-minimizing-incident-take-migratory-birds>
- Nationwide conservation measures for birds <https://www.fws.gov/sites/default/files/documents/nationwide-standard-conservation-measures.pdf>
- Supplemental Information for Migratory Birds and Eagles in IPaC <https://www.fws.gov/media/supplemental-information-migratory-birds-and-bald-and-golden-eagles-may-occur-project-action>

The [data](#) in this location indicates there are no migratory [birds of conservation concern](#) expected to occur in this area.

There may be migratory birds in your project area, but we don't have any survey data available to provide further direction. For additional information, please refer to the links above for recommendations to minimize impacts to migratory birds or contact your local FWS office.

**Tell me more about conservation measures I can implement to avoid or minimize impacts to migratory birds.**

[Nationwide Conservation Measures](#) describes measures that can help avoid and minimize impacts to all birds at any location year round. Implementation of these measures is particularly important when birds are most likely to occur in the project area. When birds may be breeding in the area, identifying the

locations of any active nests and avoiding their destruction is a very helpful impact minimization measure. To see when birds are most likely to occur and be breeding in your project area, view the Probability of Presence Summary. [Additional measures](#) or [permits](#) may be advisable depending on the type of activity you are conducting and the type of infrastructure or bird species present on your project site.

### **What does IPaC use to generate the list of migratory birds that potentially occur in my specified location?**

The Migratory Bird Resource List is comprised of USFWS [Birds of Conservation Concern \(BCC\)](#) and other species that may warrant special attention in your project location.

The migratory bird list generated for your project is derived from data provided by the [Avian Knowledge Network \(AKN\)](#). The AKN data is based on a growing collection of [survey, banding, and citizen science datasets](#) and is queried and filtered to return a list of those birds reported as occurring in the 10km grid cell(s) which your project intersects, and that have been identified as warranting special attention because they are a BCC species in that area, an eagle ([Eagle Act](#) requirements may apply), or a species that has a particular vulnerability to offshore activities or development.

Again, the Migratory Bird Resource list includes only a subset of birds that may occur in your project area. It is not representative of all birds that may occur in your project area. To get a list of all birds potentially present in your project area, please visit the [Rapid Avian Information Locator \(RAIL\) Tool](#).

### **What does IPaC use to generate the probability of presence graphs for the migratory birds potentially occurring in my specified location?**

The probability of presence graphs associated with your migratory bird list are based on data provided by the [Avian Knowledge Network \(AKN\)](#). This data is derived from a growing collection of [survey, banding, and citizen science datasets](#).

Probability of presence data is continuously being updated as new and better information becomes available. To learn more about how the probability of presence graphs are produced and how to interpret them, go to the Probability of Presence Summary and then click on the "Tell me about these graphs" link.

### **How do I know if a bird is breeding, wintering or migrating in my area?**

To see what part of a particular bird's range your project area falls within (i.e. breeding, wintering, migrating or year-round), you may query your location using the [RAIL Tool](#) and look at the range maps provided for birds in your area at the bottom of the profiles provided for each bird in your results. If a bird on your migratory bird species list has a breeding season associated with it, if that bird does occur in your project area, there may be nests present at some point within the timeframe specified. If "Breeds elsewhere" is indicated, then the bird likely does not breed in your project area.

### **What are the levels of concern for migratory birds?**

Migratory birds delivered through IPaC fall into the following distinct categories of concern:

1. "BCC Rangewide" birds are [Birds of Conservation Concern \(BCC\)](#) that are of concern throughout their range anywhere within the USA (including Hawaii, the Pacific Islands, Puerto Rico, and the Virgin Islands);
2. "BCC - BCR" birds are BCCs that are of concern only in particular Bird Conservation Regions (BCRs) in the continental USA; and

3. "Non-BCC - Vulnerable" birds are not BCC species in your project area, but appear on your list either because of the [Eagle Act](#) requirements (for eagles) or (for non-eagles) potential susceptibilities in offshore areas from certain types of development or activities (e.g. offshore energy development or longline fishing).

Although it is important to try to avoid and minimize impacts to all birds, efforts should be made, in particular, to avoid and minimize impacts to the birds on this list, especially eagles and BCC species of rangewide concern. For more information on conservation measures you can implement to help avoid and minimize migratory bird impacts and requirements for eagles, please see the FAQs for these topics.

### Details about birds that are potentially affected by offshore projects

For additional details about the relative occurrence and abundance of both individual bird species and groups of bird species within your project area off the Atlantic Coast, please visit the [Northeast Ocean Data Portal](#). The Portal also offers data and information about other taxa besides birds that may be helpful to you in your project review. Alternately, you may download the bird model results files underlying the portal maps through the [NOAA NCCOS Integrative Statistical Modeling and Predictive Mapping of Marine Bird Distributions and Abundance on the Atlantic Outer Continental Shelf](#) project webpage.

Bird tracking data can also provide additional details about occurrence and habitat use throughout the year, including migration. Models relying on survey data may not include this information. For additional information on marine bird tracking data, see the [Diving Bird Study](#) and the [nanotag studies](#) or contact [Caleb Spiegel](#) or [Pam Loring](#).

### What if I have eagles on my list?

If your project has the potential to disturb or kill eagles, you may need to [obtain a permit](#) to avoid violating the Eagle Act should such impacts occur.

### Proper Interpretation and Use of Your Migratory Bird Report

The migratory bird list generated is not a list of all birds in your project area, only a subset of birds of priority concern. To learn more about how your list is generated, and see options for identifying what other birds may be in your project area, please see the FAQ "What does IPaC use to generate the migratory birds potentially occurring in my specified location". Please be aware this report provides the "probability of presence" of birds within the 10 km grid cell(s) that overlap your project; not your exact project footprint. On the graphs provided, please also look carefully at the survey effort (indicated by the black vertical bar) and for the existence of the "no data" indicator (a red horizontal bar). A high survey effort is the key component. If the survey effort is high, then the probability of presence score can be viewed as more dependable. In contrast, a low survey effort bar or no data bar means a lack of data and, therefore, a lack of certainty about presence of the species. This list is not perfect; it is simply a starting point for identifying what birds of concern have the potential to be in your project area, when they might be there, and if they might be breeding (which means nests might be present). The list helps you know what to look for to confirm presence, and helps guide you in knowing when to implement conservation measures to avoid or minimize potential impacts from your project activities, should presence be confirmed. To learn more about conservation measures, visit the FAQ "Tell me about conservation measures I can implement to avoid or minimize impacts to migratory birds" at the bottom of your migratory bird trust resources page.

# Facilities

## National Wildlife Refuge lands

Any activity proposed on lands managed by the [National Wildlife Refuge](#) system must undergo a 'Compatibility Determination' conducted by the Refuge. Please contact the individual Refuges to discuss any questions or concerns.

There are no refuge lands at this location.

## Fish hatcheries

There are no fish hatcheries at this location.

## Wetlands in the National Wetlands Inventory (NWI)

Impacts to [NWI wetlands](#) and other aquatic habitats may be subject to regulation under Section 404 of the Clean Water Act, or other State/Federal statutes.

For more information please contact the Regulatory Program of the local [U.S. Army Corps of Engineers District](#).

### Wetland information is not available at this time

This can happen when the National Wetlands Inventory (NWI) map service is unavailable, or for very large projects that intersect many wetland areas. Try again, or visit the [NWI map](#) to view wetlands at this location.

### Data limitations

The Service's objective of mapping wetlands and deepwater habitats is to produce reconnaissance level information on the location, type and size of these resources. The maps are prepared from the analysis of high altitude imagery. Wetlands are identified based on vegetation, visible hydrology and geography. A margin of error is inherent in the use of imagery; thus, detailed on-the-ground inspection of any particular site may result in revision of the wetland boundaries or classification established through image analysis.

The accuracy of image interpretation depends on the quality of the imagery, the experience of the image analysts, the amount and quality of the collateral data and the amount of ground truth verification work conducted. Metadata should be consulted to determine the date of the source imagery used and any mapping problems.

Wetlands or other mapped features may have changed since the date of the imagery or field work. There may be occasional differences in polygon boundaries or classifications between the information depicted on the map and the actual conditions on site.

### **Data exclusions**

Certain wetland habitats are excluded from the National mapping program because of the limitations of aerial imagery as the primary data source used to detect wetlands. These habitats include seagrasses or submerged aquatic vegetation that are found in the intertidal and subtidal zones of estuaries and nearshore coastal waters. Some deepwater reef communities (coral or tubercid worm reefs) have also been excluded from the inventory. These habitats, because of their depth, go undetected by aerial imagery.

### **Data precautions**

Federal, state, and local regulatory agencies with jurisdiction over wetlands may define and describe wetlands in a different manner than that used in this inventory. There is no attempt, in either the design or products of this inventory, to define the limits of proprietary jurisdiction of any Federal, state, or local government or to establish the geographical scope of the regulatory programs of government agencies. Persons intending to engage in activities involving modifications within or adjacent to wetland areas should seek the advice of appropriate Federal, state, or local agencies concerning specified agency regulatory programs and proprietary jurisdictions that may affect such activities.

**Appendix E**  
**Historic Preservation**



**GOVERNMENT OF PUERTO RICO**  
STATE HISTORIC PRESERVATION OFFICE

Executive Director | Carlos A. Rubio-Cancela | [carubio@prshpo.pr.gov](mailto:carubio@prshpo.pr.gov)

February 26, 2024

**Lauren Bair Poche**

HORNE - Architectural Historian Manager  
10000 Perkins Rowe, Suite 610 Bldg G  
Baton Rouge, LA 70810

SHPO: CF-02-07-24-03 PUERTO RICO DISASTER RECOVERY, CDBG-DR CITY REVITALIZATION PROGRAM (CRP), PR-CRP-001001, PLAZA DEL MERCADO PROJECT, 3 CALLE DR. CUERTO, UTUADO, PUERTO RICO

Dear Ms. Poche,

Our Office has received and reviewed the above referenced project in accordance with 54 USC 306108 (commonly known as Section 106 of the *National Historic Preservation Act, as amended*) and 36 CFR Part 800: *Protection of Historic Properties* from the Advisory Council on Historic Preservation. The State Historic Preservation Officer (SHPO) is to advise and assist federal agencies and other responsible entities when identifying historic properties, assessing effects upon them, and considering alternatives to avoid or reduce the project's effects.

We concur with your finding that the proposed project will have no adverse effect upon historic properties.

Please note that should the Agency discover other historic properties at any point during project implementation, you should notify the SHPO immediately. If you have any questions concerning our comments, do not hesitate to contact our Office.

Sincerely,

Carlos A. Rubio-Cancela  
State Historic Preservation Officer  
CARC/GMO/LGC/EVR





October 20, 2022

**Arch. Carlos A. Rubio Cancela**

Executive Director  
State Historic Preservation Officer  
Cuartel de Ballajá Bldg.  
San Juan, Puerto Rico

**Re: Authorization to Submit Documents**

Dear Arch. Rubio Cancela:

The U.S. Department of Housing (HUD) approved the allocations of Community Development Block Grant (CDBG-DR) funds on February 9, 2018. It also approved the allocation of Community Development Block Grant Mitigation (CDBG-MIT) funds on January 27, 2020. The purpose of these allocations is to address unsatisfied needs as a result of Hurricanes Irma and Maria in September 2017; and to carry out strategic and high-impact activities to mitigate disaster risks and reduce future losses.

To comply with the environmental requirements established by HUD, the Department of Housing of Puerto Rico (PRDOH) contracted Home Federal LLC to provide environmental registry review services, among others, that will support the objectives of the agenda for both CDBG-DR and CDBG -MIT Programs.

In line to expedite the processes, Home Federal LLC, is authorized to submit to the State Historic Preservation Officer, documentation of projects related to both the CDBG-DR and CDBG-MIT on behalf of PRDOH.

Cordially,

Juan C. Pérez Bofill, P.E. M.Eng  
Director of Disaster Recovery  
CDBG DR-MIT

February 7, 2024

Carlos A. Rubio Cancela  
State Historic Preservation Officer  
Puerto Rico State Historic Preservation Office  
Cuartel de Ballajá (Tercer Piso)  
San Juan, PR 00902-3935

### **Puerto Rico Disaster Recovery, CDBG-DR City Revitalization Program (CRP)**

#### **Section 106 NHPA Effect Determination Submittal for PR-CRP-000858, Estacionamiento y Áreas Circundantes a la Plaza del Mercado Project, Utuado, Puerto Rico – *No Adverse Effect***

Dear Architect Rubio Cancela,

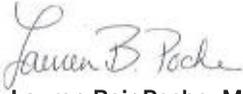
On February 9, 2018, an allocation of Community Development Block Grant - Disaster Recovery (CDBG-DR) funds was approved by the United States Department of Housing and Urban Development (HUD) under the Federal Register Volume 83, No. 28, 83 FR 5844, to assist the Commonwealth of Puerto Rico in meeting unmet needs in the wake of Hurricanes Irma and Maria. On August 14, 2018, an additional \$8.22 billion recovery allocation was allocated to Puerto Rico under the Federal Register Volume 83, No. 157, 83 FR 40314. With these funding allocations, the Puerto Rico Department of Housing (PRDOH) aims to lead a comprehensive and transparent recovery for the benefit of Puerto Rico residents. To faithfully comply with HUD's environmental requirements, the Puerto Rico Department of Housing contracted Horne Federal, LLC (HORNE) to provide environmental records review services that will support the Department's objectives Puerto Rico Housing (PRDOH) for CDBG-DR.

On behalf of PRDOH and the subrecipient, the Municipality of Utuado, we are submitting documentation for the proposed Estacionamiento y Áreas Circundantes a la Plaza del Mercado Project which is adjacent to the Utuado Traditional Urban Center, which is eligible for listing in the National Register of Historic Places. The project consists of the rehabilitation of the parking area for the Utuado Plaza del Mercado to serve as a passive recreation area. The new design proposes 36 to 45 parking spaces including two electric/hybrid charging spaces as well as accessible parking (ADA compliant). The project will also have green areas, new lighting, street furniture, solar-powered workstation-type tables with ports to recharge cell phones and connect laptops, game tables domino and chess, with umbrellas to create shade, architectural walls, with retractable roofs to separate the passive area of the Market Square and area for two food trucks. The new design will incorporate ADA compliance sidewalks and new solar light poles. The full scope of the project is described in the submitted documentation, which includes mapping, photographs, and the 90% drawings for the proposed project.

Based on the provided documentation, the Program requests concurrence with its determination that a finding of no adverse effect to historic properties affected is appropriate for this undertaking.

Please contact me with any questions or concerns by email at [lauren.poche@horne.com](mailto:lauren.poche@horne.com) or phone at 225-405-7676.

Kindest regards,



**Lauren Bair Poche. M.A.**

Architectural Historian, EHP Senior Manager

Attachments

<b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b> <b>CITY REVITALIZATION PROGRAM (CRP)</b> <b>Section 106 NHPA Effect Determination</b>	
<b>Subrecipient:</b> Municipality of Utuado	
<b>Program ID Number:</b> PR-CRP-001001	
<b>Project Name:</b> Estacionamiento y áreas circundantes a la Plaza del Mercado	

<b>Project Location:</b> 3 C. Dr. Cuerto, Utuado, Puerto Rico 00641	
<b>Project Coordinates:</b> 18.266209, -66.697940	
<b>TPID (Cadaster Number):</b> 188-049-037-10	
<b>Type of Undertaking:</b> <input checked="" type="checkbox"/> Substantial Repair/Improvements <input type="checkbox"/> New Construction	
<b>Construction Date (AH est.):</b> ©1959	<b>Property Size (acres):</b> 1.0728 Acres

<b>SOI-Qualified Architect/Architectural Historian:</b> Carlos Ferrán-Martínez, Preservationist Architect
<b>Date Reviewed:</b> December, 2023
<b>SOI-Qualified Archaeologist:</b> Norma Medina-Carrillo, PhD, Archeologist
<b>Date Reviewed:</b> December, 2023

In compliance with Section 106 of the National Historic Preservation Act (NHPA), the Program is responsible for identifying historic properties listed in the NRHP and any properties not listed that would be considered eligible for listing that are located within the geographic area of potential effects (APE) of the proposed project and assessing the potential effects of its undertakings on these historic properties.

**Project Description (Undertaking)- As established and written by Proponent.**

The Municipality of Utuado in its recovery efforts after the impact of hurricanes Irma and María is seeking to provide the community with open spaces for recreation and mental distraction within urban areas. Since the hurricanes damaged the parking lot near the Plaza del Mercado, the Municipality of Utuado seeks to rehabilitate the parking area and, at the same time, provide the community with an open space for passive recreation. In addition, in case of emergency, these car parks can serve as a meeting point. By 1984, the most recent extension and improvement to the marketplace was completed. (Figure 1).

<b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b> <b>CITY REVITALIZATION PROGRAM (CRP)</b> <b>SECTION 106 NHPA EFFECT DETERMINATION</b>	
<b>Subrecipient:</b> Municipality of Utuado, Puerto Rico	
<b>Program ID Number:</b> PR-CRP-001001	
<b>Project Name:</b> Estacionamiento y áreas circundantes a la Plaza del Mercado	

Figure 1. Project Site



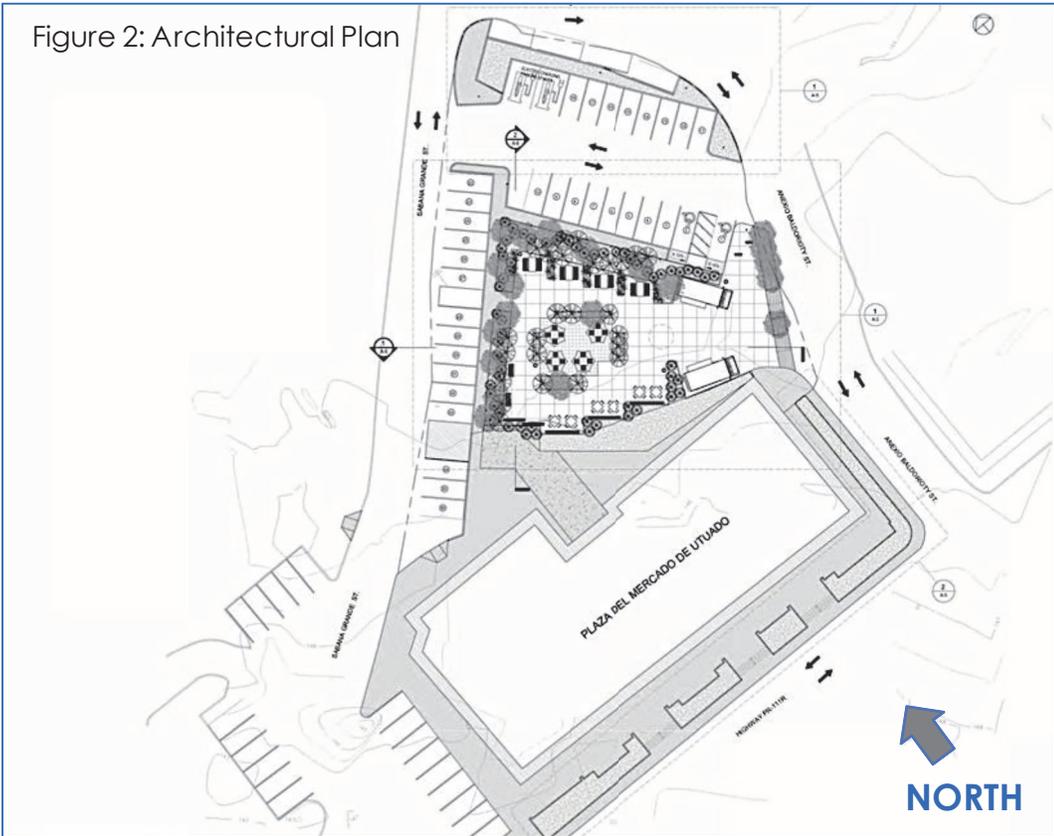
1. Existing parking.
2. Sidewalks and existing ramps.
3. Surrounding of Plaza del Mercado.



<b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b> <b>CITY REVITALIZATION PROGRAM (CRP)</b> <b>Section 106 NHPA Effect Determination</b>	 GOVERNMENT OF PUERTO RICO DEPARTMENT OF HOUSING
<b>Subrecipient:</b> Municipality of Utuado, Puerto Rico	
<b>Program ID Number:</b> PR-CRP-001001	
<b>Project Name:</b> Estacionamiento y áreas circundantes a la Plaza del Mercado	

**Description of works**

This proposal aims to rehabilitate and improve the existing conditions of the surrounding areas of the Market Square, (Figure 1). The new design proposed parking spaces (36 to 45 parking spaces) including two electric/hybrid charging spaces as well as accessible parking (ADA compliant). The project will also have green areas, new lighting, street furniture, solar-powered workstation-type tables with ports to recharge cell phones and connect laptops, game tables domino and chess, with umbrellas to create shade, architectural walls, with retractable roofs to separate the passive area of the Market Square and area for two food trucks. The new design will incorporate ADA compliance sidewalks and new solar light poles, (Figure 2).



<b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b> <b>CITY REVITALIZATION PROGRAM (CRP)</b> <b>Section 106 NHPA Effect Determination</b>	
<b>Subrecipient:</b> Municipality of Utuado, Puerto Rico	
<b>Program ID Number:</b> PR-CRP-001001	
<b>Project Name:</b> Estacionamiento y áreas circundantes a la Plaza del Mercado	

In the front part of the Plaza del Mercado, two benches will be added, as well as refuse containers and improving the front planters.

Proposed design main items are listed below:

1. Two (2) designated areas for Food Trucks, that will be leased to independent merchants in compliance with the provisions of article 2,031 of the Municipal Code.
2. Game area with two (2) domino and two (2) chess concrete game tables, protected with cantilever-style umbrellas for better player enjoyment.
3. Two (2) charging stations for electric or hybrid vehicles.
4. Four (4) workstations, solar tables, to recharge cell phones, tablets and laptops.
5. Wi-Fi access.
6. Green areas.
7. Solar primary lighting.
8. Secondary lighting (Bollards LED lighting).
9. Architectural walls as per designed layout to separate the passive area from the service area of the Market Square. These walls will feature retractable ceilings, art, and lighting.
10. Construction of Sidewalks in accordance with the ADA, for the entire parking area.
11. Designated parking area for bicycles.
12. Installation of urban furniture, such as benches, shelves or "rack" for bicycles and trash cans around the Market Square.

**Actions:**

- Equipment
  - Rechargeable solar workstation tables.
  - Solar poles for primary lighting.
  - Secondary lighting (Bollards with LED lighting).
  - Lightweight retractable roofs.
  - Green areas (trees, landscaping).

<b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b> <b>CITY REVITALIZATION PROGRAM (CRP)</b> <b>Section 106 NHPA Effect Determination</b>	 GOVERNMENT OF PUERTO RICO DEPARTMENT OF HOUSING
<b>Subrecipient:</b> Municipality of Utuado, Puerto Rico	
<b>Program ID Number:</b> PR-CRP-001001	
<b>Project Name:</b> Estacionamiento y áreas circundantes a la Plaza del Mercado	

- Precast urban furniture.
- Charging stations for electric or hybrid cars.
- Bike rack.

**Rehabilitation / Renovation / Repair / Improvement**

- Existing to the parking lot. Scarify existing asphalt. It is expected to remove around 4" of material up to existing soil level.
- ADA compliant sidewalks.
- Planting of tress, that will require selective excavation and preparation of soil for planting. This work is not expected to exceed 36" depth and 60" x 36", per tree.

**Carpentry / Electricity / Plumbing**

- Provide underground cables to supply power to energize secondary lighting (Bollards LED lighting).
- Provide underground cables to energize hybrid parking lots.
- Provide underground independent electrical provision for food trucks.
- Provide underground independent drinking water supply for food trucks.

Selective excavations required for the installation of systems as stated above will be required and are expected to be around 12"to 18" in depth, not to exceed 24".

**Demolition**

- All Sidewalks will be demolished to prepare and construct new four feet wide sidewalks, as per design. It is expected to demolish up to current soil level, fill and compact as required and build the new sidewalk on the same footprint.
- Removal of existing light poles, including bases and conduits.

Selective excavations required for the installation of systems as stated above will be required and are expected to be around 12"to 18" in depth, not to exceed 24".

<b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b> <b>CITY REVITALIZATION PROGRAM (CRP)</b> <b>Section 106 NHPA Effect Determination</b>	
<b>Subrecipient:</b> Municipality of Utuado, Puerto Rico	
<b>Program ID Number:</b> PR-CRP-001001	
<b>Project Name:</b> Estacionamiento y áreas circundantes a la Plaza del Mercado	

This project is located at the coordinates (18.266209, - 66.697940) is subscribed to the market square in the municipality of Utuado, under the cadaster number 188-049-037-10. Located in a flood prone area according to the FEMA/PR recommended base flood level map, cataloged as flood prone zone A.

From an environmental perspective, the proposed project does not promote a negative impact since it is only about rehabilitating the parking area of the market square and its surroundings. Improvements that do not significantly alter the behavior of the area. We understand that the impact is not significant, it is not affected by flows and ecologically sensitive areas with respect to existing commercial use. A minor intervention is proposed that includes the adaptation of the land to the proposed levels with filling, preparation of sidewalks and curbs. Making a use like the existing one, which does not entail major movements or changes to the environment. This project:

- Is not in an area susceptible to landslides or tidal waves, but in a flood area. According to Regulation number 13 of Zones Susceptible to Floods, the property subject to consultation is not altering the existing levels with those proposed designed.
- It is not located in areas where the Junta de Calidad Ambiental, (JCA) has determined that there is a degree of contamination that exceeds the allowed by current regulations.
- It is not located in an area where there are infrastructure problems or deficiencies in the drinking water supply service systems, sanitary water disposal, electric power supply or road capacity for adequate handling of motor vehicle traffic.
- Pollutants will not be discharged into bodies of water; nor will hazardous wastes or air emissions be generated that exceed two (2) tons per year of criteria air pollutants, or five (5) tons of any combination of criteria pollutants; nor emit hazardous or toxic pollutants or objectionable odors into the air.

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**Area of Potential Effects**

The APE is an area located to the North- East side of the town that is considered part of the Traditional Urban Center grid in which several remarkable residential properties occupied the perimeter of these blocks. Some of these properties in the visual APE are potentially eligible. As defined in 36 CFR §800.16(d), the area of potential effects (APE) is the geographic area or areas within which an undertaking may directly or indirectly cause changes in the character or use of historic properties if any such properties exist. Based on this definition and the nature and scope of the Undertaking, the Program has determined that the direct APE for this project is 1.0728 Acres, and the visual APE is the viewshed of the proposed project.

The direct and indirect visual APE Length (North to South axis) is: 344.88 linear feet (0.065318 Miles) and Width (East to West axis): 336.48 linear feet (0.063727 Miles). The streets boundaries of the direct and indirect visual APE are North: Sabana Grande Street, South: Antonio R. Barceló Street, East: Anexio Baldorioty Street and West: San Miguel Street.

**Identification of Historic Properties – Archeology**

Utuado is considered the indigenous spiritual center of Borikén thanks to the presence of the ceremonial center of Mother Earth in the Caguana neighborhood. This is the largest ceremonial center in the Antillean Caribbean region. The ceremonial site is dedicated to Mother-Earth Atabey and was built around the year 1,000 of this ERA.<sup>1</sup> In 1739, seven hundred years later, the town of Utuado was founded, by Don Sebastián de Morfi. The land of the Hato de Utuado, a property that Don Manuel Natal sold to the settlers, was used for municipal works. The name “Utuado” comes from the indigenous word OTOAO which means "land between mountains".<sup>2</sup>

“The first attempt to find a settlement in the territory of Otoao occurred during the first decades of the European conquest. Several plantations had been established in the region, including those of Antonio Cedeño and Blas de Villasante, who were interested in founding a village on their haciendas. The governor decided the settlement should be established between Caparra and San Germán.

<sup>1</sup> García Goyco, Osvaldo, Archeoastronomy Studies of the Ceremonial Center of Caguana, Utuado, PR. (Personal communication).

<sup>2</sup> [http://www.salonhogar.com/est\\_soc/pr/pueblos/utuado/](http://www.salonhogar.com/est_soc/pr/pueblos/utuado/)

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The efforts of the two Spanish landowners were unsuccessful because both had serious problems with justice. Cedeño was imprisoned and Villasante fled to Spain.<sup>3</sup>

After the first failed attempt to find a town in this region, on December 19, 1553, Asencio de Villanueva requested permission to find Villa Nueva del Otoao. He received authorization, but on the condition that he bring fifty laborers and their families from Spain to settle in the area **since the region was populated only by indigenous Taínos**. Villanueva accepted the conditions imposed but did not comply with the requirement. In 1733, Sebastián de Morfi, representing a group of Arecibeños, asked the governor of the island, Matías de Abadía, for authorization to find a town in the so-called hacienda of Utuado, which at that time belonged to Manuel Natal and his wife, Felipa Román. The following year, the neighbors acquired land from the hacienda of Utuao for 569 pesos and 5 reales. At that time, Utuado had 239 inhabitants.<sup>4</sup> After the arrival of sixty families from Arecibo, Second Lieutenant Miguel de Quiñones, commander of the area, issued a document on October 12, 1739, in which he reported that he had organized the neighbors in the planting of their lands, the construction of houses and the collaboration in the construction of a church. On that date, the town of San Miguel de Utuao was officially founded. On July 15, 1743, the construction of the church was completed, which was dedicated to St. Michael the Archangel. In March 1744 the first priest of the church, Nicolás Quiñones, was installed. On November 26, 1746, the church became an independent parish of Arecibo due to the difficulty of transportation between the two towns. The name Utuado was first used in a baptism on February 27, 1745. The population of Utuado experienced rapid growth. In the census of 1765, a population of 608 inhabitants was reported.<sup>5</sup>

By 1769, when Utuado was assigned to the judicial district of Arecibo, the population had grown to 1,174. In 1831, Utuado consisted of the sectors of Pueblo, Caguana, Don Alonso, Güaónico, Roncador, Arenas, Jayuya, Río Abajo, Salto Arriba and Salto Abajo, Sabana Grande, Viví and Caonillas. In 1853, the number of sectors

<sup>3</sup> Plan de Ordenación Territorial Municipio Utuado, 2022

[https://jp.pr.gov/wp-content/uploads/2023/01/POT\\_Utuado-Fase-2-01.11.2023.pdf](https://jp.pr.gov/wp-content/uploads/2023/01/POT_Utuado-Fase-2-01.11.2023.pdf)

<sup>4</sup> Ibid.

<sup>5</sup> Plan de Ordenación Territorial Municipio Utuado, 2022

[https://jp.pr.gov/wp-content/uploads/2023/01/POT\\_Utuado-Fase-2-01.11.2023.pdf](https://jp.pr.gov/wp-content/uploads/2023/01/POT_Utuado-Fase-2-01.11.2023.pdf)

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increased. The sectors added were Caniáco, Santa Isabel, Paso de Palma, Mameyes, Limón, and Ángeles. In the mid-nineteenth century, the economy of Utuado was centered on coffee."<sup>6</sup>

In the year 1853, Pablo de Rivera y García made the following description of the town of Utuado as an official report intended to compose the Geographical, Statistical, and Historical Dictionary of the Island of Puerto Rico. Among the most outstanding aspects of the town of Utuado are the following (Figure 4).

- The length of the population from East to West is six and a half cuerdas, and from North to South three and a half “cuerdas”.
- There are in the village five public buildings that are: a King's house built of wood and covered with clay tile of the country that serves as a jail and Municipal Office.
- A masonry church in a state of repair.
- A wooden house roofed with mud serves as the current church.
- The wooden butcher shop is covered with clay tile.
- A masonry cemetery.
- There are no stone houses and eighty-one wooden houses, and one hundred and thirty-eight bohios in the village.
- There are four streets from North to South, whose names are: Nueva, Cruz, Sol, and de la Carnicería, and four more from East to West called: Real de Comercio, de la Plaza, and del Cementerio.
- There is only one square under the name of Plaza Real; having a length of 130 “varas” with 76 lengths that are framed with 9,880 “varas” of surface.
- The population of this party including the village is 2,112 souls.<sup>7</sup>

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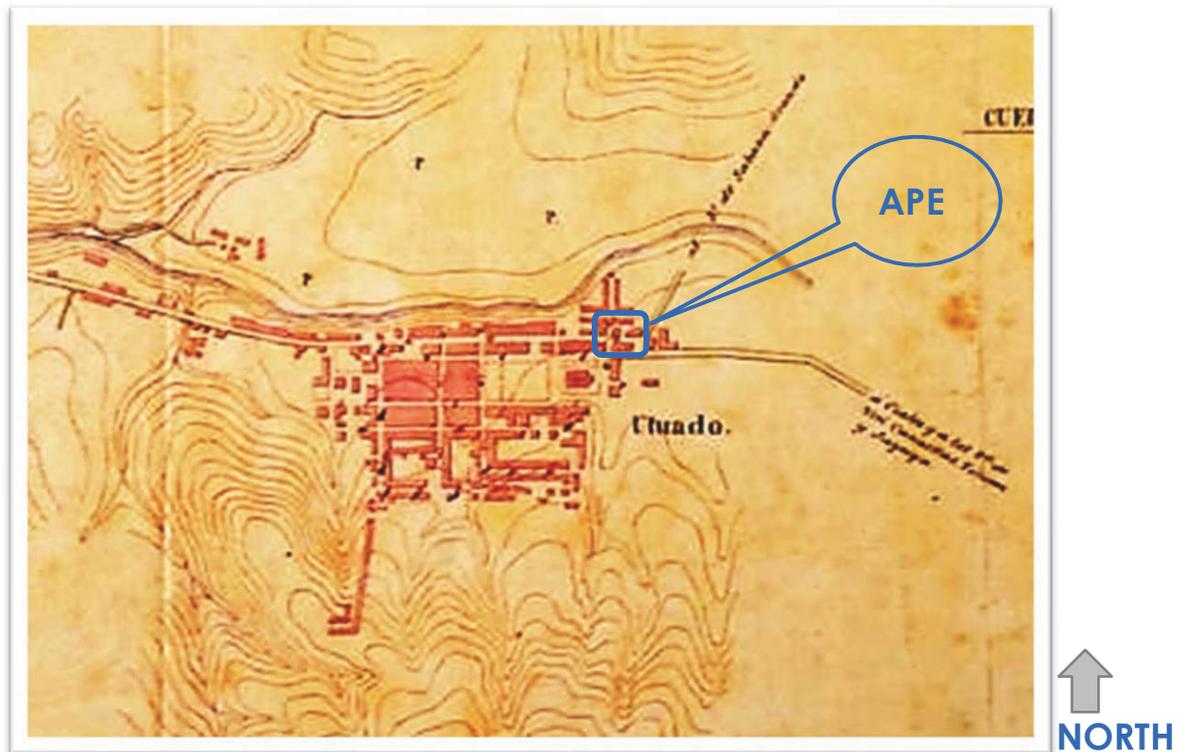
<sup>6</sup> Ibid.

<sup>6</sup> Sepúlveda Rivera, Aníbal, Puerto Rico Urbano, CARIMAR, Vol. 3, Page 431.

<sup>7</sup> Sepúlveda Rivera, Aníbal, Puerto Rico Urbano, CARIMAR, Vol. 2, Page 176.

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Figure 4: Section of the Croquis de Utuado. Cuerpo de Ingenieros Militares, 1887. Francisco Larrea y Liso.<sup>1</sup>



Between 1864 and 1885, 68 coffee farms were established. Corn, rice, cotton, tobacco, and bananas were also grown. From its forests wood was extracted for dyes and resins for export products. The economic growth experienced in Utuado improved social life in the municipality, a casino and a theater were founded in the village. In 1874 more new sectors were incorporated: Tetuán, Alfonso XII, and Norzagaray, which was subdivided into the sectors of Caonillas and Mameyes. In 1896, thanks to Mayor Francisco Pujols, Utuado became the second city in Puerto Rico with an electricity-generating plant. Three years later, three other sectors were created: the Council, Las Palmas, and Santa Rosa. By 1896, Utuado ranked first among the towns of Puerto Rico in the amount of cultivated area, with 8,897 hectares, followed by Ponce, with 6,483. It also led the towns in the amount of land dedicated to coffee cultivation, with 5,925 hectares, followed by Las Marías, with 4,311 Hectares.<sup>8</sup>

<sup>8</sup> Ibid.

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Utuado was occupied on August 3, 1898, by troops commanded by Generals Roy Stone and Guy V. Henry of the United States Army. With the change of colonial government and the passage of Hurricane San Ciriaco (1899), coffee cultivation deteriorated significantly. In 1906, President Theodore Roosevelt visited the municipality and recommended the construction of the Playita bridge. In 1910 the Utuado Sugar Company was founded. This company only lasted ten years, as it could not compete economically with the huge central mills of the coast (Figure 5). The economy of Utuado progressed with the arrival of industrialization, which was of great importance for the agricultural sector, especially the tobacco sector, of which Utuado had already been a producing region since the 19th century.<sup>9</sup>

In the description made by Lieutenant William H. Armstrong, who visited and mapped the town of Utuado in 1908, we find the following outstanding aspects:

- At one point it was one of the most prosperous towns on the island, and the first to have electric light. In Spanish times it was the coffee town of PR.
- The hills surrounding the valley are very high and full of coffee forests.
- The buildings of Utuado resemble those of Arecibo, in that they are constructed in part or completely of bricks.
- These are mainly located around the square.
- In the streets farthest from the square, the houses are made of wood, while on the outskirts of the village, they are poorer and flammable in nature.
- There are no schools in regulated buildings.
- The jail is just an old wooden building about 50 feet wide by 30 feet long, on one-story.
- There are no hospitals in regulated buildings.
- They have a decent brick Catholic church, quite large, and a modest concrete Protestant church.
- City Hall, near the church, is a decent two-story brick building.
- There are no factories or workshops in regulated buildings.
- The telegraph and mail are in old, rented buildings on the square.

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<sup>9</sup> Armstrong, William H. "El Viaje Cartográfico del teniente William H. Armstrong, Puerto Rico, 1908-1912. Volumen I, Editores Lanny Thompson y María Dolores Luque, Fundación Puertorriqueña de las Humanidades, San Juan, Puerto Rico, 2020. Pages. 122-128.

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- The inhabitants, mostly indigenous, probably 1/3 are Spanish, 6 or 7 American, and 7 German.
- The population is about 3,500 inhabitants.
- Today there are few wealthy people, except for the merchants located around the square.
- The poorest and the blacks live on the southern slope of the town their condition is that of the pigs that run loose in their huts.
- Utuado is the most anti-American sector of Puerto Rico, which is because it has lost the coffee market, since the change of government, and coffee is its main source of income, equivalent to what sugar is for those who grow cane.
- The factories are mainly cigars and coffee.
- The trade focuses on coffee and tobacco, in exchange for food and hardware equipment.
- The streets are narrow and in poor condition. The square is concrete and very beautiful. There are no trees.
- Illuminated by electric light. Water is transported from the river Viví. A new system is going to be constructed in place next year, 1909.<sup>10</sup>

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<sup>10</sup> Ibid.

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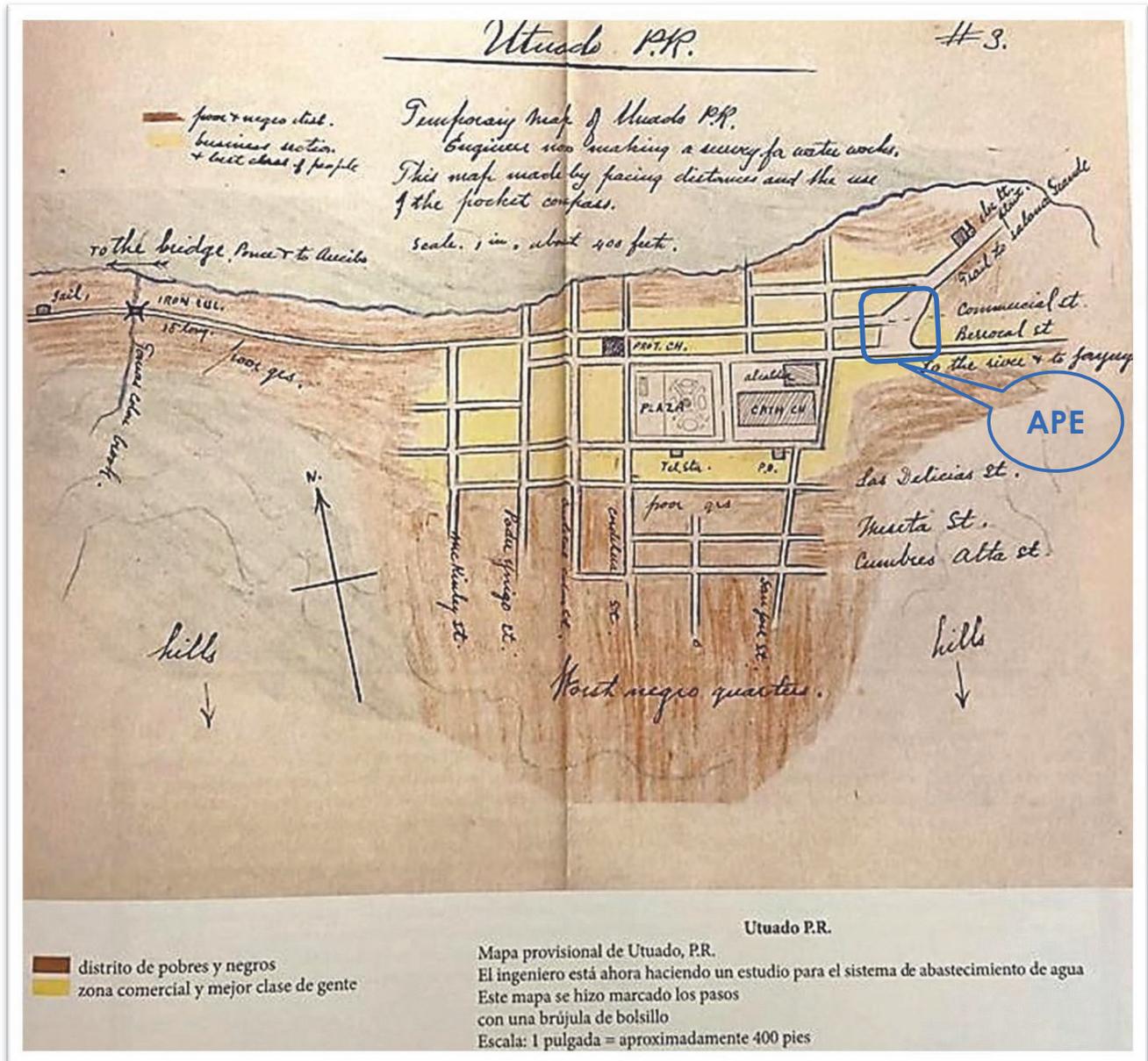


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Figure 5: Mapa provisional de Utuado Puerto Rico, teniente William H. Armstrong, 1908-1912.<sup>1</sup>



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The Municipality of Utuado has been positioned as one of the largest producers of tobacco thanks to the arrival of the General Cigar Company in 1960 which would generate more than 600 direct jobs. In 1974, there were 197 tobacco growers who were assigned a quota of 7,015 quintals. The industry went into decline and General Cigar was the last to cease operations in 1979.<sup>11</sup> During the 1990s, the coffee industry experienced a new resurgence and Utuado became Puerto Rico's second-largest coffee producer, with 32,000 quintals produced on 1,143 coffee farms. Currently, Utuado continues as one of the leading municipalities in the coffee industry, although with smaller margins due to the national crisis that Puerto Rico suffers due to the lack of labor in the rural area of the Island.<sup>12</sup>

The urban sector where the project is located has been developed from the late nineteenth century and during the first half of the twentieth century. In the area, commercial warehouse buildings were built along Berrocal Street and the street that is now called Barceló. This sector was the exit of the town towards Jayuya. In addition to commercial warehouses, houses and small shops were built. An old hardware store from the Spanish period was affected by Hurricane Maria and recently an urban project called Pueblo Viejo was developed. The project preserves elements of walls of the old hardware store.

The urban area of Utuado has a great historical heritage value. Abundant samples of structures and public spaces of historical-architectural value are preserved in this area. The greatest value of the urban area of Utuado is its historical and architectural value. The urban development of Utuado occurred at the same time as the development of the coffee economy of the municipality.

The proposed project is located within the historic area of the town of Utuado, surrounded by old commercial warehouse buildings and Creole-style houses of architectural-historical value. The market square was erected in this area in 1959. This modern building was in an urban area already identified since the nineteenth century as **Plazuela Baldorioty**. This Plazuela was the traditional open market space for goods and agricultural products since the nineteenth century. Based on the above we understand that the space of the Plazuela Baldorioty has historical value.

<sup>11</sup> Plan de Ordenamiento Territorial, Municipio de Utuado. Origen y Fundación, Págs. 23-25.  
[https://jp.pr.gov/wp-content/uploads/2023/01/POT\\_Utuado-Fase-2-01.11.2023.pdf](https://jp.pr.gov/wp-content/uploads/2023/01/POT_Utuado-Fase-2-01.11.2023.pdf)

<sup>12</sup> Ibid.

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### Historical Quadrangles and Aerial Photographs

Figure 6: USGS Historical Topographic Quadrangle, 1946. The southern sector of the APE is observed with houses built and the northern sector is dedicated to crops. 1:30000.



Source: USGS Topographical Maps



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Figure 7: USGS Historical Topographic Quadrangle, 1952. Only the houses in the southern sector of the plot are observed. 1:30000.

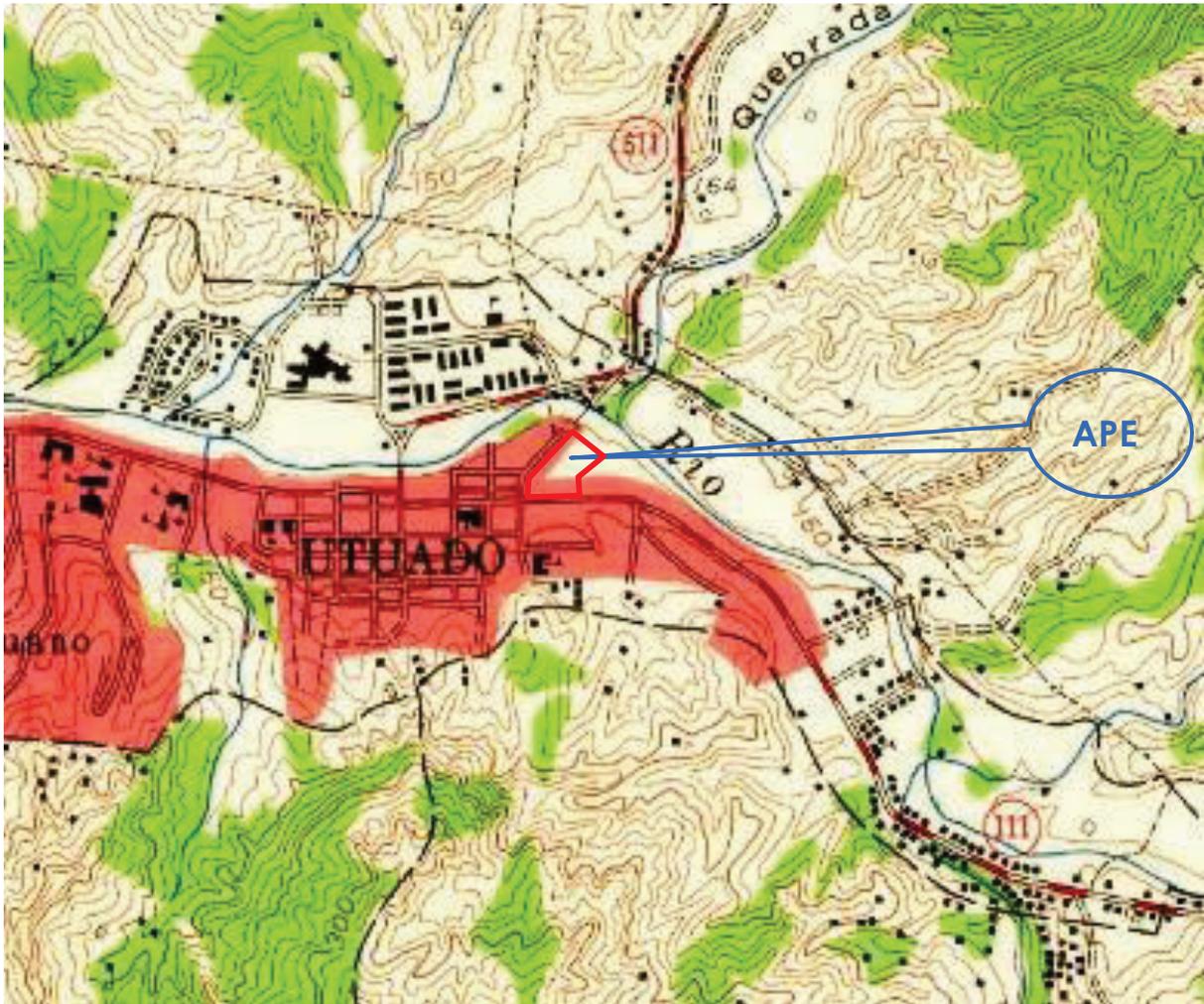


Source: USGS Topographical Maps



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Figure 8: USGS Historical Topographic Quadrangle, 1957.  
 No details of the APE area are observed. 1:30000.

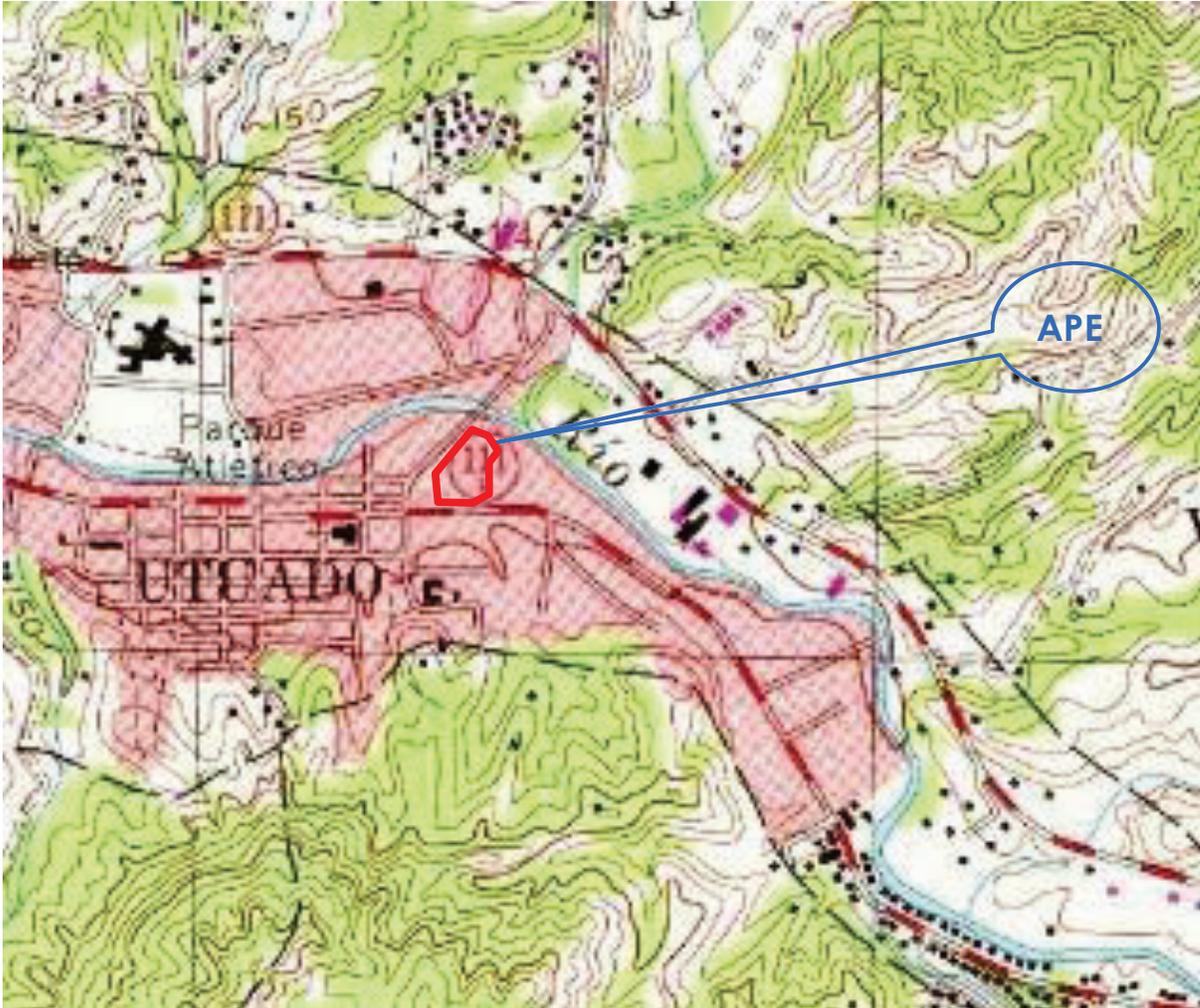


Source: USGS Topographical Maps



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Figure 9: USGS Topographic Quadrangle, 1972. No details of the APE area are observed. 1:20000.



Source: USGS Topographical Maps



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Figure 10. USGS Topographic Quadrangle, 2013. No details of the APE area are observed. 1:20000.

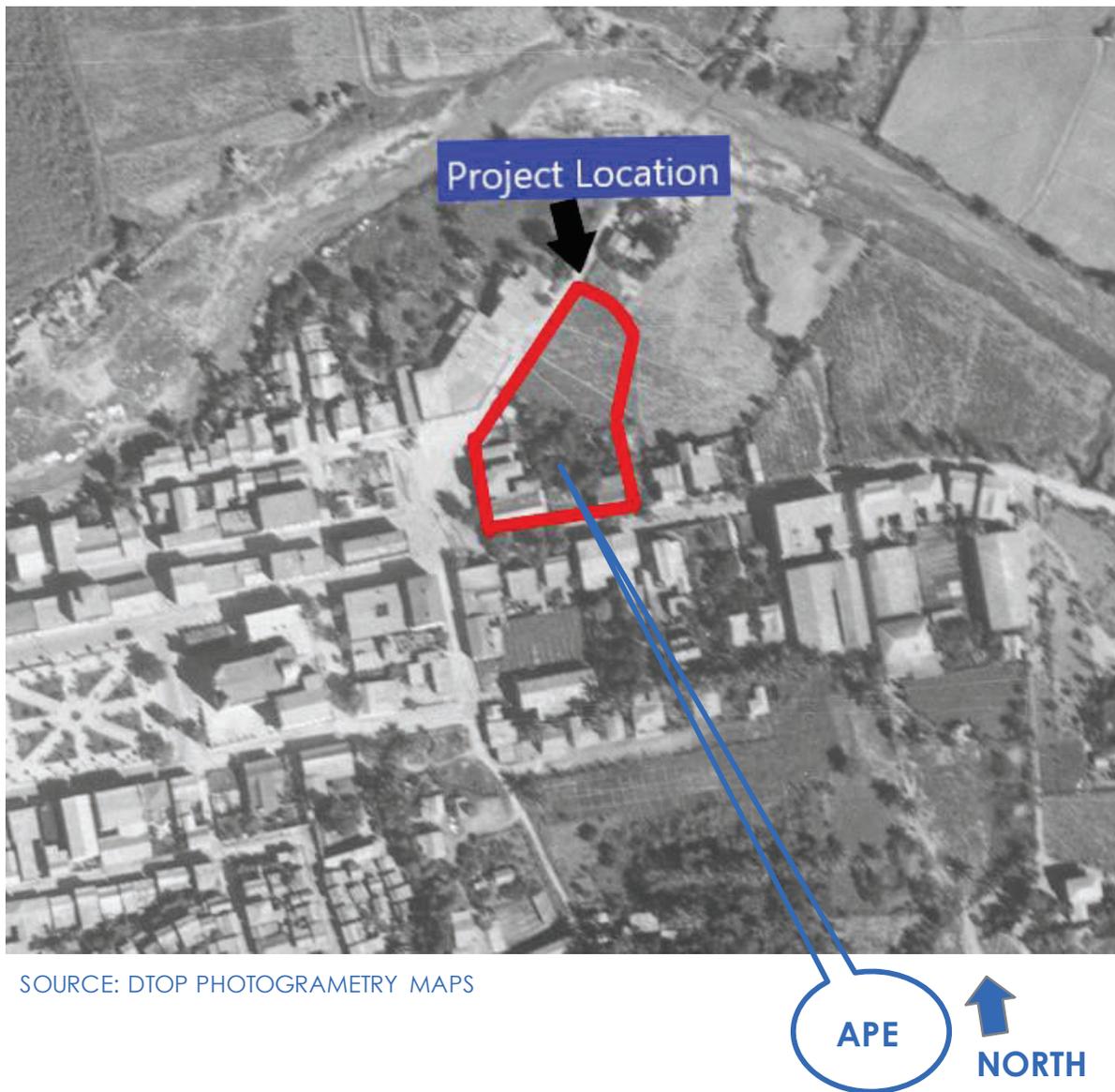


Source: USGS Topographical Maps



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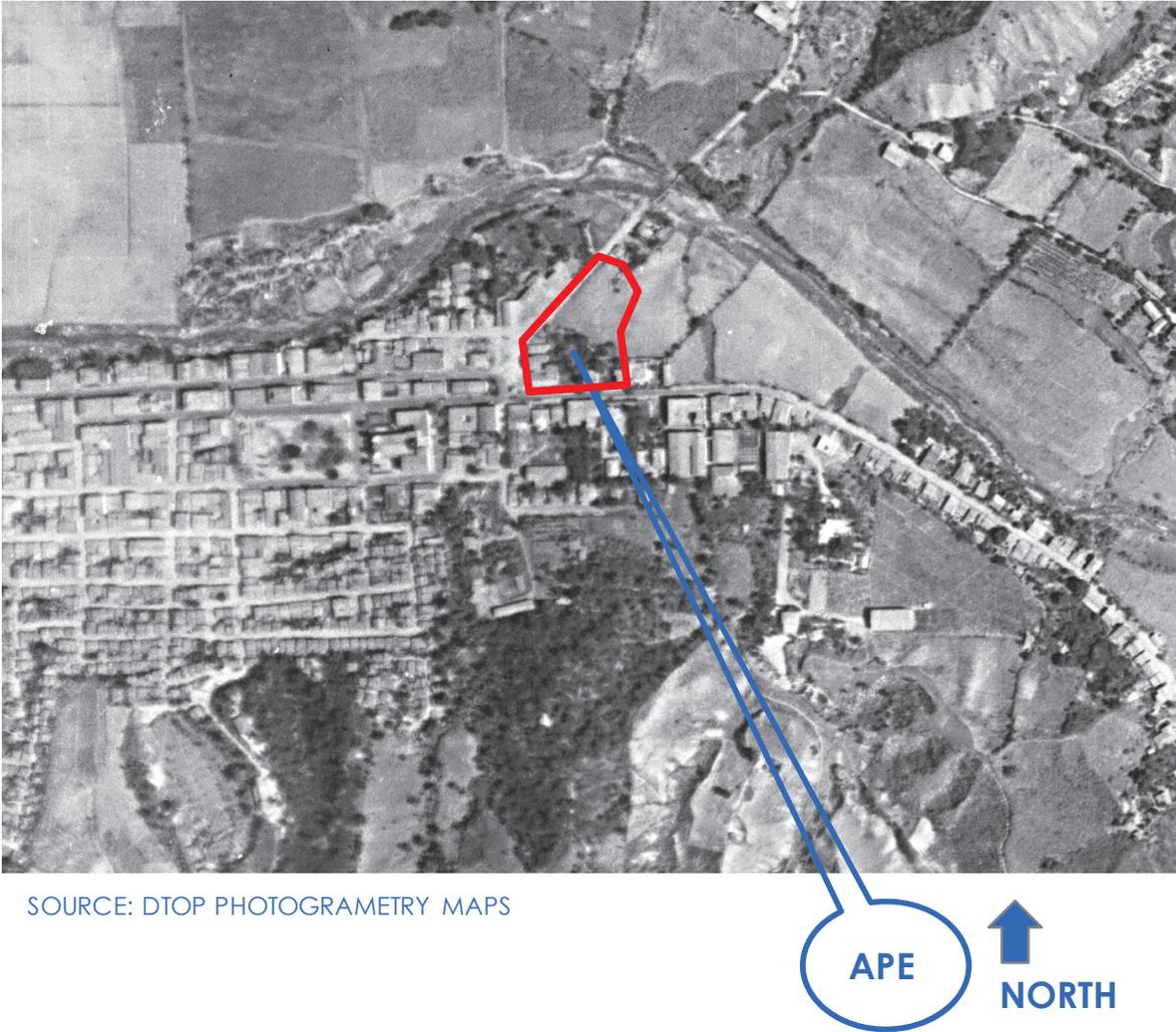
Figure 11: Aerial Photography, Utuado, Puerto Rico, 1931 showing APE. Houses can be seen in the southern section and sugarcane fields in the northern section of the APE.



SOURCE: DTOP PHOTOGRAMETRY MAPS

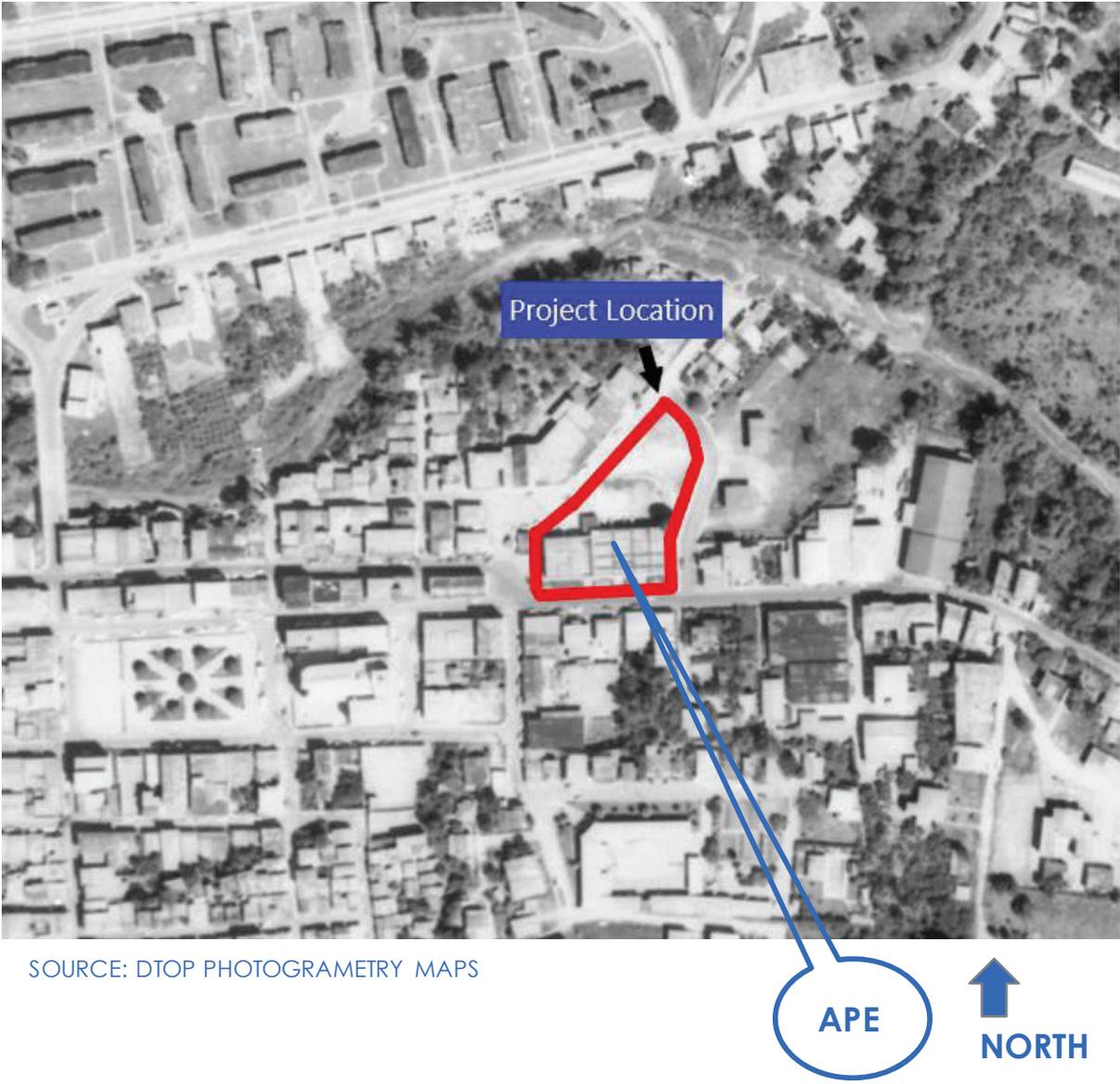
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Figure 12: Aerial Photography, Utuado, Puerto Rico, 1936 showing APE. Houses can be seen in the southern section and sugarcane fields in the northern section of the APE.



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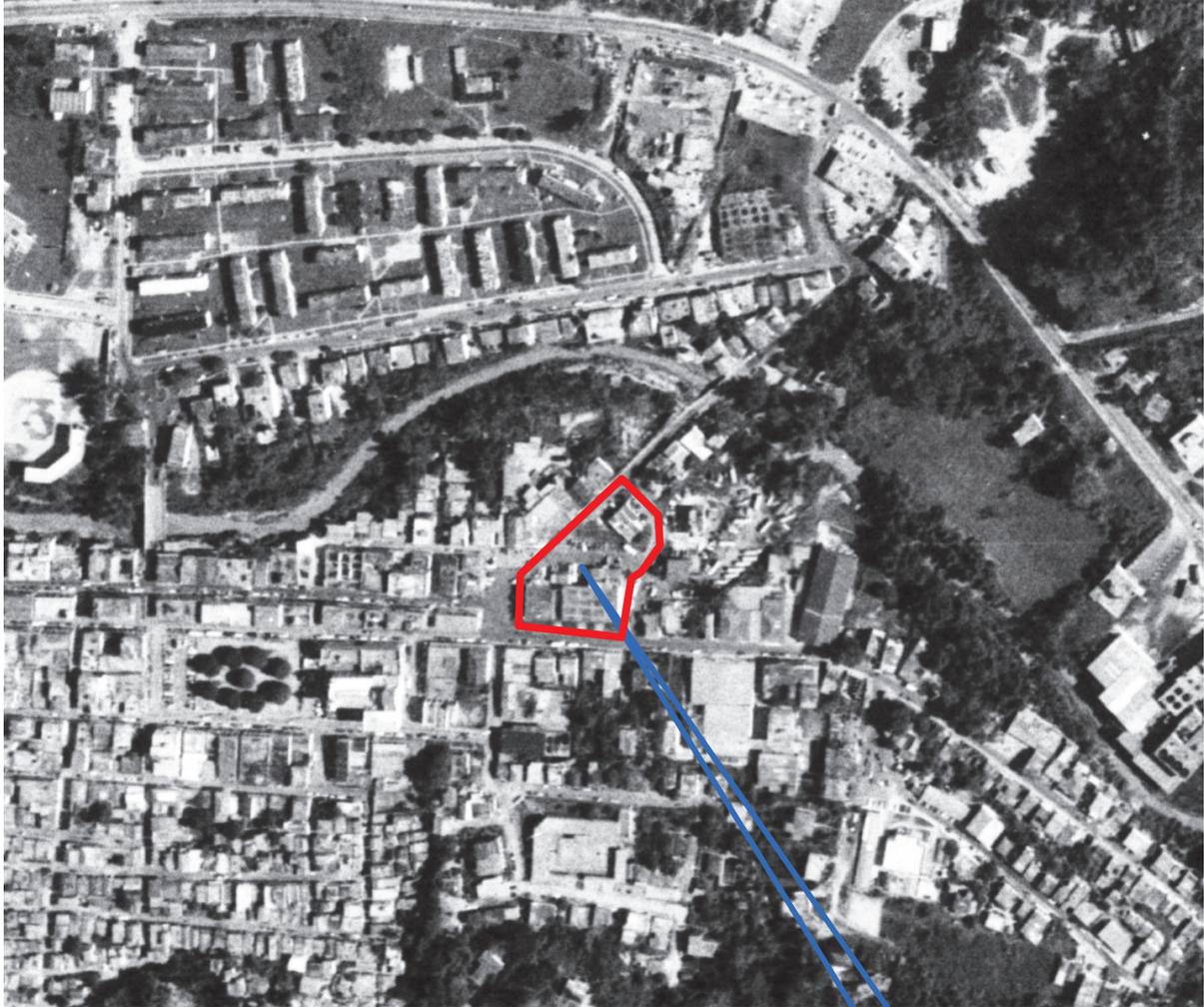
Figure 13: Aerial Photography, Utuado, Puerto Rico, 1963 showing APE. The building of the New Market Square (1959) can be seen. Residences and sugarcane fields were demolished.



SOURCE: DTOP PHOTOGRAMETRY MAPS

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Figure 14: Aerial Photography, Utuado, Puerto Rico, 1980 showing APE. The building of the New Market Square is in the southern sector, and the building of the new Fire Station is already built in the northern sector of the APE plot.

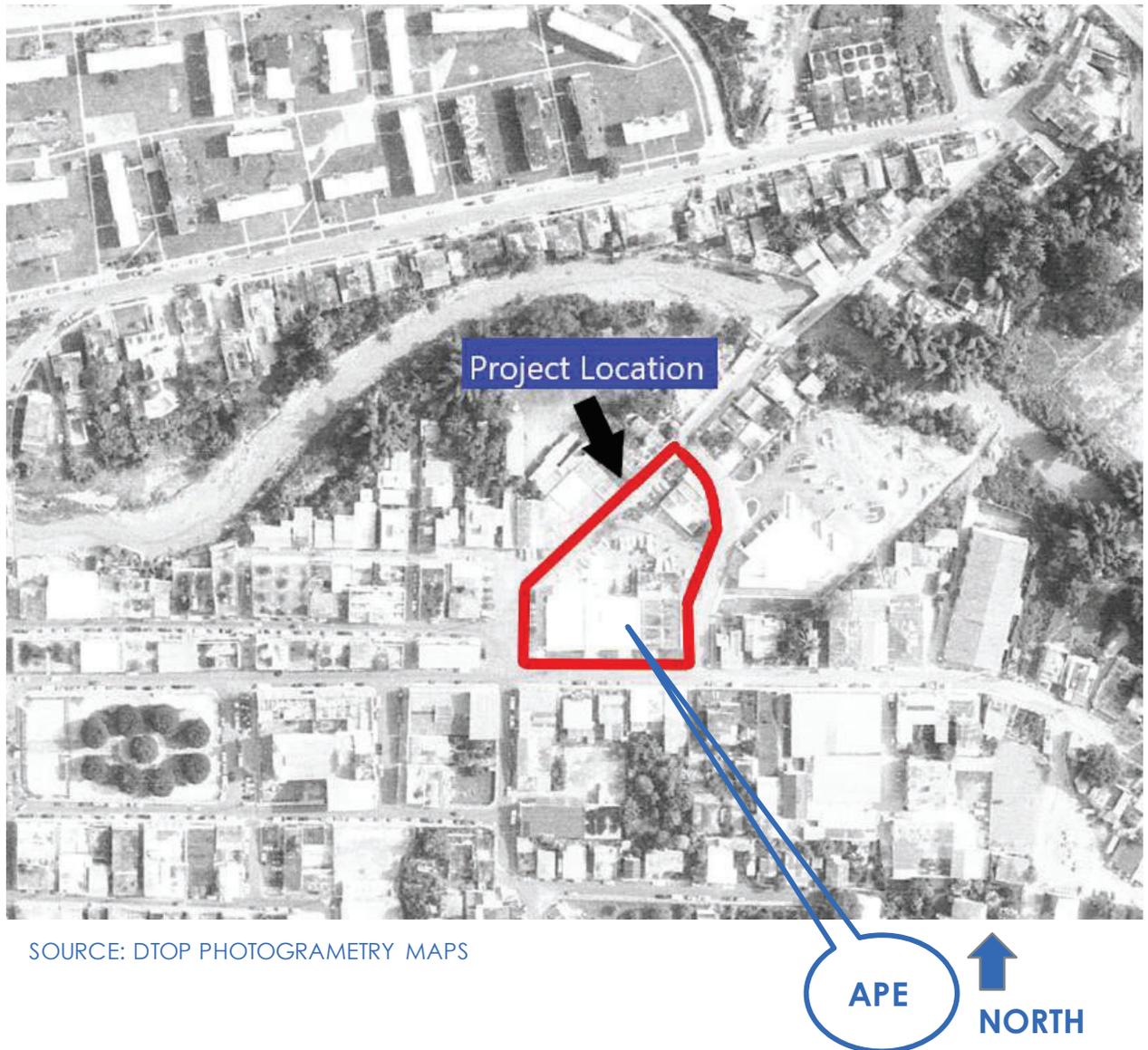


SOURCE: DTOP PHOTOGRAMETRY MAPS



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Figure 15: Aerial Photography, Utuado, Puerto Rico, 1985 showing APE. The building of the Market Square is in the southern sector, and the building of the new Fire Station is already built in the northern sector of the APE plot.



SOURCE: DTOP PHOTOGRAMETRY MAPS

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Figure 16: Aerial Photography, Utuado, Puerto Rico, 2003 showing APE. The building of the Market Square is in the southern sector, and the building of the new Fire Station is already built in the northern sector of the APE plot.



SOURCE: DTOP PHOTOGRAMETRY MAPS

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### Topographic Quadrangles and Aerial Photographs Analysis

Based on the evidence provided by the historic topographic quadrangles and aerial photographs, we can establish the following historical data of the sector where the APE of the project under consideration is located:

1. In terms of its archaeological value, it can be established that the APE area of the project is of low archaeological sensitivity. The two prehistoric archaeological sites of the town of Utuado are located near the Abacoa River. These sites are: UA0100082 (Set of petroglyphs in the Abacoa River) located 1.02260 miles to the Northwest of Project APE, and UA0100009 Salto Arriba (Indian Village with two ceremonial plazas, cultivation terraces, and geoglyphs.) located 1.68950 miles to the Southwest of Project APE. This indigenous settlement was inhabited from Period II (Cedrosan Saladoid) at the beginning of the Christian Era until the 19th century. The archaeological importance of the Salto Arriba site is that it was inhabited by the indigenous people of Borikén from prehistoric times until the end of the eighteenth century.<sup>13</sup> Salto Arriba, without a doubt, is the most important indigenous settlement closer to the general area where the APE of the project under evaluation is located. This archaeological site qualifies for the National Register of Historic Places in Washington, D.C. (NRHP) in Washington under Criteria: A. Associated with important events that define patterns or trends in our history and Criteria D. Reveal or have the potential to expose important information of history or prehistory<sup>14</sup>.
  
2. After the foundation of the town of Utuado in the Eighteenth Century the town began its urban expansion. During the late nineteenth century, the urban development of the town of Utuado reached the general area where the APE of the project under evaluation is located.
  
3. A residential and commercial sector was developed in the sector of the project APE at the beginning of the Twentieth Century.

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<sup>13</sup> Medina Carrillo, Norma, Final Report, Archaeological Evaluation Phase II, Salto Arriba, Replacement of Bridge 505, Utuado, PR. 2002. Pages.152-162.

<sup>14</sup> Ibid. Pages.152-162.

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4. The occupation of the residential sector on the edge of the APE, facing the now Esteves Avenue and Morell Street until 1959 when the current Market Square was built. The parking lot was constructed as part of the Market Square project in 1959. Electricity and water infrastructure, new roads, and sidewalks were established as part of the Market Square project.
5. This residential sector was eliminated to give space for the Market Square project.
6. The topographic quadrangles of 1946 and 1952 demonstrate the residential sector located at the APE parcel. The quadrangles of 1957, 1972, and 2013, do not show the parcel area in ample detail.
7. The aerial photographs from 1931 and 1936 show a residential zone located at the APE parcel.
8. The aerial photograph from 1963 shows the new construction of the Plaza de Mercado (Market) and the rest of the parcel is empty of any construction. (Figure 17 and Figure 18).
9. The aerial photo of 1980 shows the Plaza de Mercado and the Fire station buildings, already constructed.
10. On the other hand, in the area where the current parking project APE is proposed, no structures are observed in the aerial Photos of 1931, 1936, and 1963.
11. Between 1985 and 1992 a Fire Station building was constructed in the APE parcel.
12. The Fire Station building was removed between 2009 and 2012, to make space for more parking areas.

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13. In the 1980's a concrete structure was built to hold the facilities of the Utuado Fire Station. The structure was constructed entirely of concrete, including roof and floor slabs. The building was divided into two sections, the parking for a single fire truck, and an office area. The remnants of concrete floor slab are even now observed in the APE area.<sup>15</sup>
14. Based on all the previous analyses the APE parcel was used for the construction of the Fire Station building, (demolished after 2009), the APE parcel is in a previously impacted land.

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<sup>15</sup> Maldonado Maetre, Elvin, Subdirector of Public Works Utuado, Puerto Rico. Personal Communication, October 2023.

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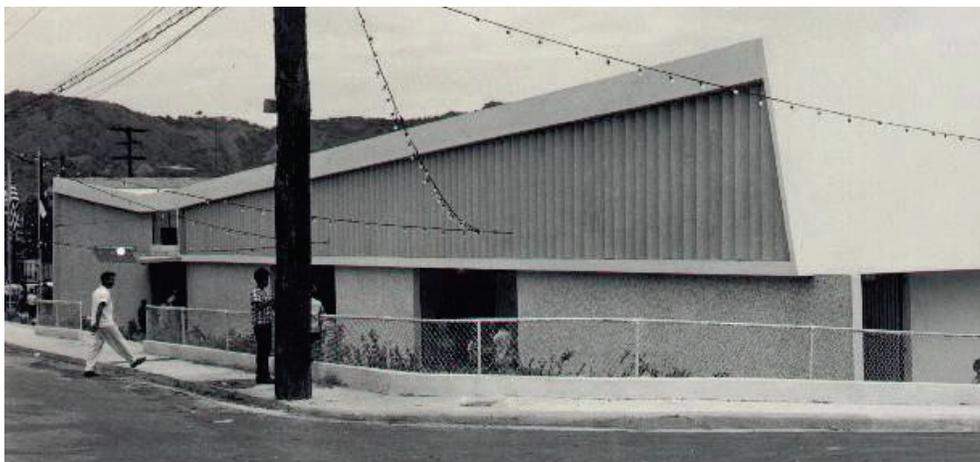
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Plaza del Mercado, 1959.

Figure #17. (APE) North-East view of original Plaza del Mercado building. The façade oriented towards Antonio R. Barceló Street.<sup>16</sup>



Figure #18. (APE) North-West view of the original Plaza del Mercado building, oriented towards Antonio R. Barceló corner of Anexio Baldorioty Streets.<sup>17</sup>



<sup>16</sup> <https://www.beto.net/utupaco613.JPG>

<sup>17</sup> Ibid.

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The indigenous Otao region was occupied in the pre-Columbian past by the Saladoid between 300-700 AD, the Ostionoid between 800-1,000 AD, and Taino cultures from the year 1,000 AD. No evidence has been found so far of archaic occupations (4,000 BC-300 AD) in this central mountain range area. The most important archaeological site in the Antilles is in the Municipality of Utuado. The Caguana Ceremonial Complex is the most representative example of prehistoric engineering in the Caribbean area. The ceremonial site was built by the Tainos around the year 1,000 AD in honor of mother-earth Atabey.

PR-SHPO has registered some 62 pre-Columbian archaeological sites in the municipality of Utuado. Among these sites are remains of villages with various cultivation terraces, ceremonial plazas or bateyes, and geoglyphs (Salto Arriba), caves with artifacts for ceremonial uses, rock shelters with petroglyphs, caves with burials, sacred landscapes, and sets of petroglyphs in the rocks on the rivers of the region.<sup>18</sup> The two pre-Columbian sites closest to the project's APE are; UA0100082, a set of petroglyphs in the bed of the Abacoa River (Grande de Arecibo), located 1.02260 miles Northwest of Project APE, and, UA0100009/ Salto Arriba, located 1.68950 miles Southwest of Project APE.

In the urban center of Utuado, the Catholic Church has been recognized as a patrimonial value. The San Miguel Arcángel Church (UA0200002) is the only cultural site in the urban Utuado area included in the National Register of Historic Places since 1984.

The San Miguel Arcángel Church in Utuado (UA-101, UA0200002) began its construction in 1872 and ended in 1878. The structure is neoclassical in style. It is raised above the level of the square, which allows you a beautiful view of the village and the mountains that surround it. Wide and impressive stairs lead from street level to the atrium. The original plan, in rectangular shape, consisted of three naves separated by masonry arcades. These were removed in 1965 and replaced by a metal structure with a concrete roof covering a single space. The façade integrates two Greek-inspired towers. The towers on the façade are known as westward (monumental entrance on the western façade with towers, vestibule, and chapel towards where, by tradition, the facades looked). The tower on the left has a clock and the tower on the right has four arches. Both towers end with a dome with an octagonal lantern. The portico, of Tuscan order, includes elements

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<sup>18</sup> PR-SHPO Digital Files, consulted in 2023.

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such as metopes, triglyphs, drops, denticles, and a pediment. Masonry was used to define the corners of the towers and facades and to modulate their composition.

A cornice with denticles surrounds the structure and gives unity to the facades. The structure maintains the original exterior walls and the apse with its brick dome. The exterior has not undergone major changes and Archangel St. Michael Church was listed on the National Register of Historic Places on December 10, 1984.<sup>19</sup> (Figure 19 and Figure 20).

Figure 19: The San Miguel Church and the Utuado Main Square in 1910.<sup>20</sup>



<sup>19</sup> Ibid.  
<sup>20</sup> Beto.Net <https://www.beto.net/archivo201.htm>

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Figure 20: Plaza and Church San Miguel Arcángel of Utuado, © 1900.<sup>21</sup>



Left what was the El Encanto Store of Hiram Davis, behind the San Miguel Arcángel Church, on the Right the building that was B & B. and later La Favorita Furniture Store.<sup>22</sup> The proposed project is in the same area where during the 19<sup>th</sup>- Century of the Spanish Colonial period the local open market of Utuado was established. This area was called Plazuela Baldorioty. Every Saturday, farmers and peasants from nearby neighborhoods came to sell and exchange their products and buy necessities. The merchants of the village also came to buy fresh products to resell in their shops. The space was preserved for that use until 1962-1963 when the new Market Square was built.<sup>23</sup> (Figure 21).

<sup>21</sup> [https://www.facebook.com/krystalos/posts/3631472280267080/?locale=ro\\_RO](https://www.facebook.com/krystalos/posts/3631472280267080/?locale=ro_RO)

<sup>22</sup> Beto. Net <https://www.beto.net/archivo201.htm>

<sup>23</sup> Interview with the Utuadeño Historian, Mr. Iván Collazo, September 2023.

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Figure 21: Utuado in 1899, from the entrance of the road to Jayuya.



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The beginning of the road to Jayuya is known as the Bubao Sector. The Bubao sector belongs to the Viví Abajo neighborhood of Utuado, however, it begins in the adjoining urban area of the town. The Bubao sector begins as a neighborhood located South-Southwest of the town. (Figure 22). The word Bubao is an Indian word, meaning freshwater shrimp.

Figure 22: View of the road to Jayuya in the Viví Abajo Ward, at the western edge of the town, ©1900.<sup>24</sup>



<sup>24</sup> Beto.Net <https://www.beto.net/archivo201.htm>

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### Historic Ruins of the Old Casellas Ice Plant

Don Juan Casellas was Mayor of Utuado. He was a visionary mayor (1893-1894, 1895 and 1897). During his tenure he installed, under the direction of engineer Francisco Pujols, the first hydroelectric power plant and the first public lighting in 1896. He founded the commercial house Casellas & Cia., which became the strongest trade in Utuado, and installed a wood sawmill and an ice plant.<sup>25</sup> (Figures 23-25).

The historic ruins of the Casellas Ice plant are located 0.04 Miles to the North-northwest of Project APE. In 1999 a Phase IB study was conducted on the parcel where the Historic Ruins were located with negative results. After Hurricane Maria in September 2017, the historic ruins of the Casellas Ice Plant suffered considerable damage. Several walls collapsed and the historic ruins were reduced to some remnants of walls. Recently a project called Pueblo Viejo was built on the site.

Figure 23. Exterior Façade of the Casellas' Building, 1999.<sup>26</sup>



<sup>25</sup> Sarita Santiago Afanador FACEBOOK, January 28, 2021.  
<https://www.facebook.com/groups/1108931999509596/posts/1155628798173249/>

<sup>26</sup> Medina Carrillo, Norma, Proyecto Casa Casella, Phase I-B, 1999.

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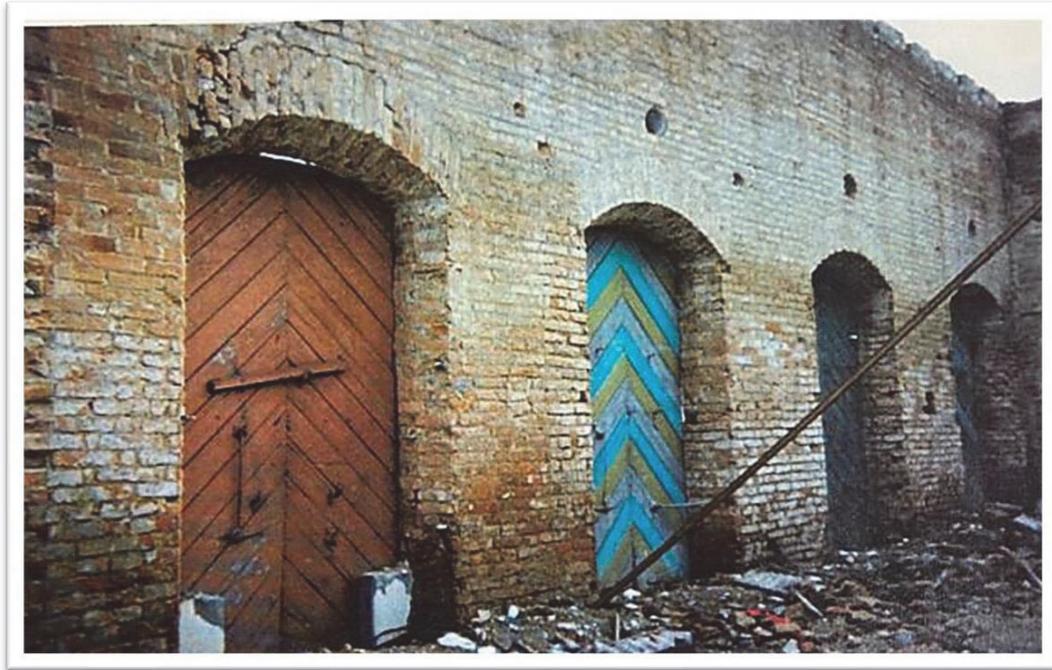


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Figure 24. Interior Façade of the Casellas' Building, 1999.<sup>27</sup>



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<sup>27</sup> Medina Carrillo, Norma, Proyecto Casa Casella, Phase I-B, 1999.

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Figure 25: Ruins remnants from the Casella's Ice Plant located at the Plazuela of Utuado, Puerto Rico. July 26th. 2021.<sup>28</sup>



Four archaeological sites near the project's APE have been identified by PR-SHPO and the Institute of Puerto Rican Culture, Program of Archaeology and Ethnohistory. Those closest to the project correspond to two historical sites: San Miguel Arcángel Catholic Church, 1872- 1878 (0.13 miles to the Southwest of Project APE), and the Historic Ruins of the Old Casellas Ice Plant, 1896 (0.04 miles to the North-northwest of Project APE). Both Resources are located within a 1/4-mile radius of the APE. (Table 1).

<sup>28</sup> [https://www.facebook.com/asiestaotoao/posts/1668135716672690/?locale=es\\_LA](https://www.facebook.com/asiestaotoao/posts/1668135716672690/?locale=es_LA)

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The closest archaeological resource to the project APE is the Historic Ruins of the Old Casellas Ice Plant. These ruins were greatly affected by Hurricane Maria in 2017. The remnants of the historic walls have been integrated into the Pueblo Viejo design. This urban project was built in 2020. The project integrated the remnants of the historic walls that were still standing into the project design. The historic site is located across Sabana Grande Street northwest of the APE. The project under evaluation will not affect this historic resource in any way.

It should be mentioned that a good part of the traditional urban center of Utuado is located precisely within a 1/4-mile radius away from the APE. The project APE is located within *the traditional urban center of Utuado*. The traditional (historic) urban center of Utuado qualifies for the category of Traditional Historic Center. (Figure 29).

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Table 1: Archaeological resources near Project APE.

Name	Ward	Type of resource	Date	Description	Distance to APE
<b>San Miguel Arcangel Church</b>	Pueblo	Neoclassical in style	1872-1878	Archangel St. Michael Church was listed on the National Register of Historic Places on December 10, 1984	0.13 miles to the Southwest of Project APE
<b>UA0100082</b>	Salto Abajo	Prehistoric Site	800-1,500 AD	Set of petroglyphs in the Abacoa River	1.02 miles to the Northwest of Project APE
<b>UA0100009 Salto Arriba</b>	Arenas CORMO UPR	Indian Village Site Native Prehistoric and Native Historic	600-1800 AD	Indian Village with ceremonial plazas, cultivation terraces, and geoglyphs.	1.68 miles to the Southwest of Project APE.
<b>Historic Ruins of the Old Casellas Ice Plant</b>	Pueblo/ Sabana Grande Street	Ruins of an Industrial structure of brick and mortar.	1896	Old Utuado Ice Plant. Founded by Don Juan Casellas a prosperous merchant and Mayor of Utuado in 1893-1897.	0.04 Miles to the North-northwest of Project APE

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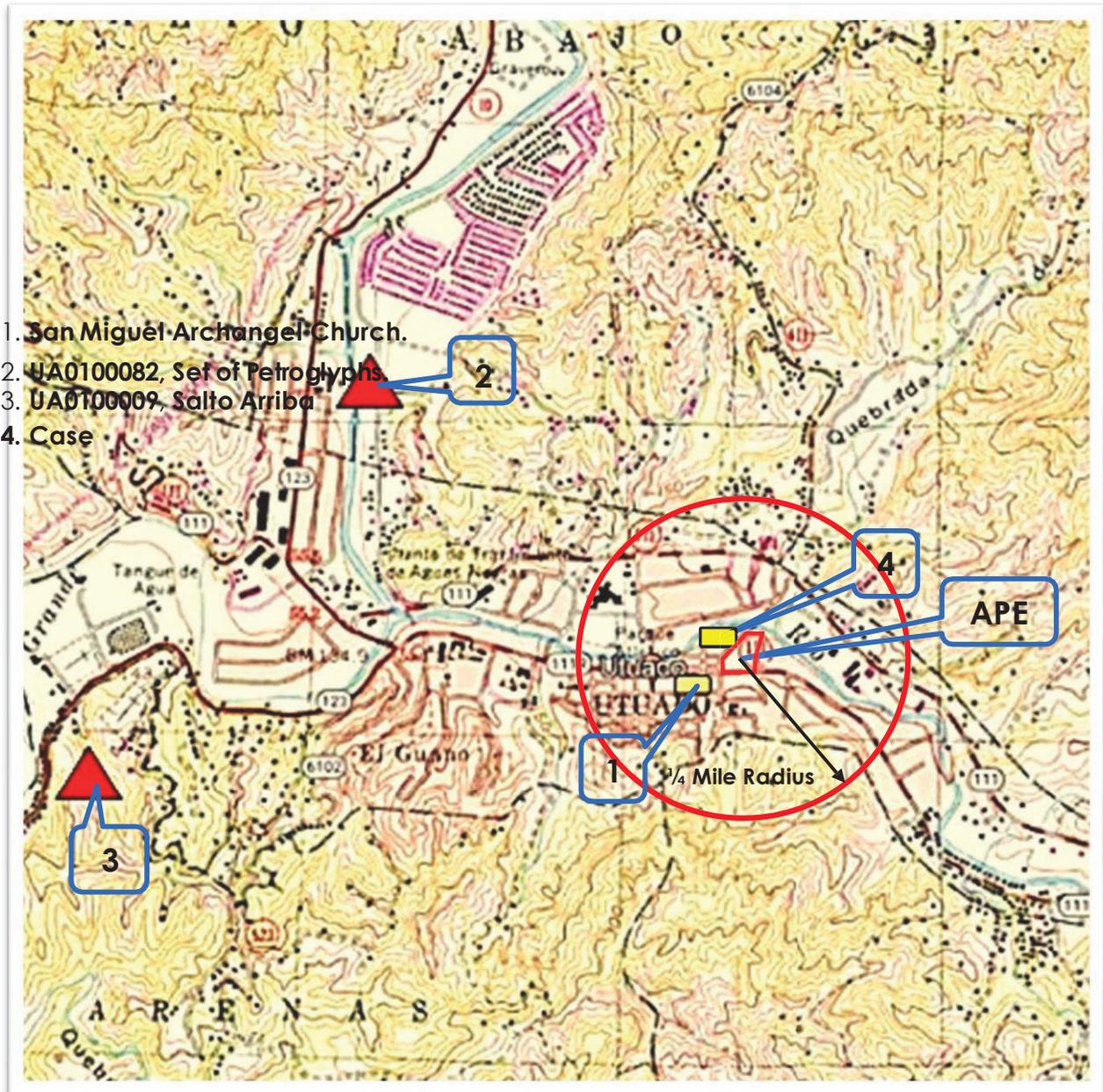


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Figure 29: Archaeological sites closest to Project APE. With ¼ mile radio.  
Topographic Quadrangle USGS, Utuado, 1972. Scale: 1:20,000



1. San Miguel Archangel Church.
2. UA0100082, Set of Petroglyphs
3. UA0100009, Salto Arriba
4. Case

1. San Miguel Archangel Church.
2. UA0100082, Set of Petroglyphs in the Abacoa river.
3. UA0100009, Salto Arriba Indian Village with ceremonial plazas
4. Casellas Ice Plant Remnants.



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Five archaeological studies conducted on the periphery of the APE were documented during the research in the archives of regulatory agencies. The farthest study from the APE was conducted in the community of El Guano de Utuado, about 0.33 miles away from the APE Project. The archaeologist Paola Schiappacasse conducted a Phase IA in 2004 with a field inspection that yielded negative results to the presence of cultural resources of archaeological value.

A second Phase IA/IB archaeological study was conducted in the Prosecutor's Office of Utuado at 0.14 Miles of Project APE in 1999 by archaeologist Virginia Rivera. This study also includes the field inspection and the excavation of underground tests in the field. The study obtained negative results to the presence of cultural resources of archaeological value in this area.

A third Phase IA/IB archaeological study was conducted in the Puente Archilla located 0.08 Miles from Project APE in 1999 by archaeologist Norma Medina-Carrillo. This study included field inspection and the excavation of six test borings. The study obtained negative results to the presence of cultural resources of archaeological value in this area. The Archilla Bridge has collapsed several times during past hurricane events and has also been rebuilt several times, so it was determined that the current structure is not historic.

A fourth Archaeological study Phase IA was conducted in 2015 by archaeologist Carlos Ayes, in the Antigua "Cooperativa de Tabacaleros de Utuado" for the project "Egida Jardín Dorado". This project is located 0.05 Miles from Project APE. This study included field inspection. The study obtained negative results to the presence of cultural resources of archaeological value in this area. Ayes determined that the buildings are not historic but recommended an Archaeological Inspection after the demolition of existing structures.

Of the five archeological studies done in the APE boundaries, only one evidences positive results on the existing building ruins. This study (Plaza Casellas) by archaeologist Norma Medina-Carrillo in 1999, is the most relevant because it is located on the opposite side of the street and is within the visual project APE. These historic ruins were already integrated into the Pueblo Viejo Project as part of a restaurant and an interior courtyard. (Table 2 and Figure 30).

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Table 2: Archaeological reports close to the APE of the Project.

<b>Project Name</b>	<b>Phase/Year</b>	<b>Archaeologist</b>	<b>Results</b>	<b>Comments</b>	<b>Distance to APE</b>
1. Rehabilitation Stairs Ensanche El Guano Community ICP/CAT-UT-04-05-05	Phase IA, 2004	Paola Schiappacasse Rubio	Negative	Recommended Project Endorsement	0.33 Miles (523.98 meters)
2. Fiscalía de Utuado ICP/CAT-UT-99-04-03	Phase IA- IB, 1999	Virginia Calderón	Negative	Recommended Project Endorsement	0.14 Miles (9219.51 meters)
3. Egida Jardín Dorado Pueblo Ward ICP/CAT-UT-15-07-04	Phase IA, 2015	Carlos M. Ayes Suarez	Positive	Archaeological Inspection is recommended after the demolition of existing structures.	0.05 Miles (78.66 meters)
4. Plaza Casellas	Phase IB, 1999	Norma. Medina-Carrillo	Negative Historic Ruins Conservation	Recommended Project Endorsement	0.04 (60 meters)
5. Puente Archilla	Phase IA-IB, 2001	Norma Medina-Carrillo	Negative	Recommended Project Endorsement	0.08 Miles, (133 meters)

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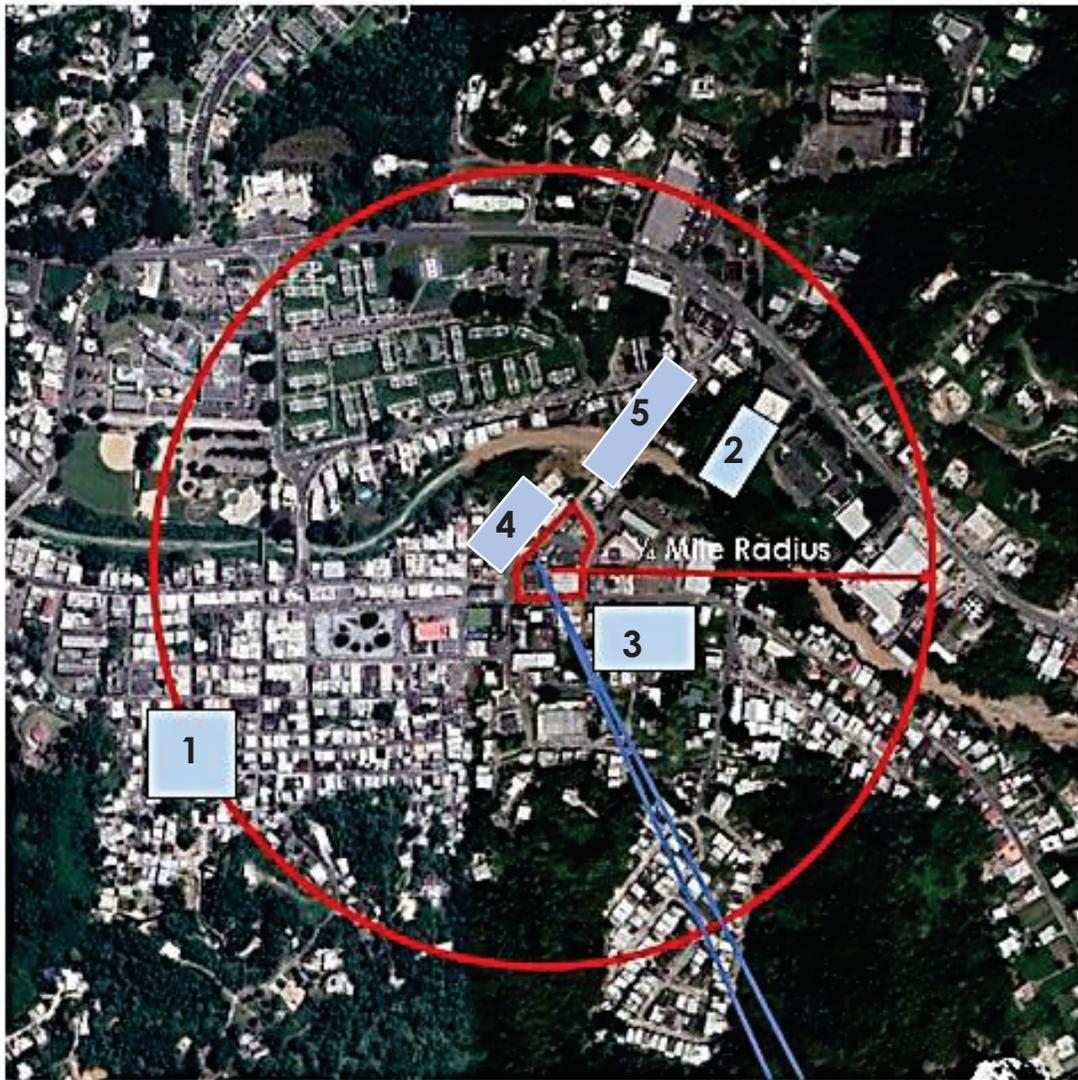


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Figure 30: Archeological Studies closest to project APE.  
Aerial Photography, Utuado, Puerto Rico, with ¼ Mile Radius  
from APF.



SOURCE: GOOGLE EARTH MAPS

1. Rehabilitation Stairs Ensanche El Guano Community/  
**Negative.**
2. Fiscalia de Utuado/**Negative**
3. Egida Jardín Dorado/ **Archaeological  
Inspección was recomendado**
4. Plaza Casellas/ **Negative**
5. Puente Archilla/ **Negative**

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## Conclusion

Based on the historical review and archival information we can establish that the APE area of the project was part of the suburban sector of the town of Utuado until the end of the 19<sup>th</sup> Century. At the end of the 19<sup>th</sup> Century, this sector was integrated into the urban fabric of the town through the construction of residences. At the beginning of the 20<sup>th</sup> century, the northern half of the APE was occupied by sugarcane plantations, and the southern and western half of the APE was occupied by residences. This situation continued until the early 1960s, when, because of the construction of the new Utuado Market Square, the residential area was eliminated from the plot. The aerial photograph from 1963 shows the APE area impacted by the new Market Square project. At the beginning of the 1980s, the Fire Station in the APE, was built to the North of the parcel in Utuado. The plot is distributed with the Market Square to the South, the Market Square parking lot in the center and east of the plot, and the Fire Station and its parking lot on the North side of the APE under evaluation.

We understand that based on several processes of impact on the land of the plot because of the construction of the Market Square, the Fire Station, and the installation of infrastructure such as water and sanitary pipes, electricity, and the construction of sidewalks, the lands that conform the APE of the project is already impacted. The project APE has very little possibility of storing elements of archaeological significance. We do not recommend that additional archaeological studies be conducted on this plot, and we understand that the proposed project will not cause damage to resources or cultural elements of archaeological value.

Of the five archeological studies done in the APE boundaries, only one evidences positive results on the existing building ruins. This #4 study (Plaza Casellas) is the most relevant because it is located on the opposite side of the street and is within the visual project APE. These historic ruins were integrated into the Pueblo Viejo Project as part of a restaurant and an interior courtyard.

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### Identification of Historic Properties – Architecture

Existing information on previously identified historic properties has been reviewed to determine if any such properties are located within the APE of this undertaking. The review of this existing information, by a Program contracted Historic Preservation Specialist meeting the Secretary of the Interior’s Professional Qualification Standards (36 CFR Part 61), shows that the project area is adjacent to the boundaries that define the Utuado Traditional Urban Center, which is eligible for listing in the National Register of Historic Places.

The Area of Potential Effect (APE) is in a parcel of land that measures 1.0728 Acres in size, defined in its boundaries by the Sabana Grande Street at the North, Antonio R. Barceló Street at the South, Anexio Baldorioty Street at the East, and San Miguel Street at the West. It is basically a flat terrain parcel and adjacent to the Utuado Traditional Urban Center.

The incorporation of this parcel of land to the town’s streets grid dates from before 1887, as the expansion from the Traditional Urban Center (TUC) was taking place. It can be considered that this segment of land was not fully developed, even though its proximity to the urban center. It is evident in the observation of the Map by Lieutenant William H. Armstrong, from 1908- 1912. (Figure 5). Also, this can be observed in the Topographic Maps dating from 1946 to 1957. (Figures 6-16).

During the final decade of the 1950’s, it was decided by the municipal administration to erect the Plaza de Mercado building on the South side of the parcel, oriented toward Antonio R. Barceló Street. The building brought a new vocabulary of different architecture expressions and distanced itself from the traditional styles that were predominant in the town’s urban center. It was a practical Functionalist Modern Style, that was part of the trend motivated by the Puerto Rico central government administration, which also can be observed in some others institutional building, especially in public schools developed during that period. (Figure 31).

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It can also be observed that before 1980, the entire parcel of land was divided into two blocks, in which an extension of the Santana Montalvo Street runs through connecting with the Anexo Baldorioty Street. (Figure 32). It eventually was turned into the Plaza de Mercado car parking lot.

Figure 31: Plaza del Mercado, Utuado, Puerto Rico, 1959. (Lat: 18.265884, Lon: -66.698127). APE.



A metal roof structure can be observed in the North-East block of the APE, but it does not longer exist. It is the building in which the Fire Station was located. Based on the information brought forward in an interview by Mr. Elvin Maldonado Maestre, which is the Subdirector of Utuado Public Works Division, the 20<sup>th</sup> of October 2023, and the review of the aerial's photographs, the building did not appear in the 1963 aerial photograph.

The Fire Station building is shown in the 1980 and 1985 aerial photographs, but not in the 2003 aerial photograph by which it can be concluded that its demolition took place between 1985 to 2003 to provide more parking spaces for the Plaza de Mercado building.

It can be considered that the APE parcel is still underdeveloped with most of its surface dedicated to parking, nevertheless its closeness to the Traditional Urban Center. The APE is an area located to the North- East side of the town that was considered part of the Traditional Urban Center grid in which several remarkable residential properties occupied the perimeter of these blocks. They defined a smaller urban open square named "Plazuela Baldorioty". It was an open space dedicated to a farm market, later called the Plaza de Mercado. This practical use was predominant in Plazuela, until 1959 when the municipality decided to develop a new building which was erected and occupied most of the South side of the site.

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Figure 32: 1980, Utuado, Puerto Rico, Aerial photograph, Showing APE with Plaza del Mercado building. Source: DTOP, Photogrammetry



Some of the remnant space at the West, is where the intersection of San Miguel Street with the Antonio R. Barceló and Sabana Grande Streets meet by which a particular widening of the road occurs on this corner. Furthermore, the classification of the area changed from residential to one highly commercial, as a direct result of the new building construction.

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The Plaza de Mercado building is an example which represents a modern solution of commercial buildings that tried to provide a practical commercial space where the farm industry could bring their fresh produce to the consumers in an organized and more sanitary way. This trend was promoted by the central and municipal administrations of Puerto Rico to impose new regulations for food produce management. (Figure 33).

Figure 33: Plaza del Mercado, Utuado, Puerto Rico, Existing Conditions, 2023. APE.



The impact of this type of building is well known in the history of urban development throughout all Puerto Rico. Many of these buildings were located near the center of commercial activities and specially their closeness to the Traditional Urban Center where they contributed significantly to the development and progress of the towns.

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With the advent of the suburban commercial centers, supermarkets, the availability of cars and newly built roads on the outskirts of the traditional urban centers, these buildings slowly and partially lost their commercial endeavors. These Plaza del Mercado buildings remain of an interesting and progressive epoch which is slowly gaining back its importance and contribution to the traditional urban center surroundings.

The Plazuela was the traditional open market space for goods and agricultural products since the nineteenth century. Based on our analysis, we understand that the space of the Plazuela Baldorioty has historical value, and it can be considered that the APE area should be integrated to the existing recognized Historic District boundaries that defines the Utuado Traditional Urban Center.

The project proposal will have a positive impact on the area where it is planned. It will organize several activities in an underused main urban space parcel related to the existing Plaza de Mercado, but specially a very close relation with the Traditional Urban Center. The project is especially important for the improvements considered to be implemented in the parking area, infrastructure, urban mobiliary and ADA compliance, especially for mobility of impaired persons.

Based on the results of our historic property identification efforts, the project actions will not affect any historic property that compose the Area of Potential Effect. The proposed project contemplates ground disturbances that will not be more 6" for the surface finishes materials removal and not more than 2 feet deep for the electrical infrastructure trench excavations, including for the new streetlights fixtures footings, and not more than 3 feet deep excavations and soil preparation for planting of trees.

The APE area itself does have an existing Plaza de Mercado property which dates its construction to 1959-60, it has been subject to several improvements throughout the years and can be considered a practical and utilitarian building that expresses in its facades a basic Modern Functionalist Style.

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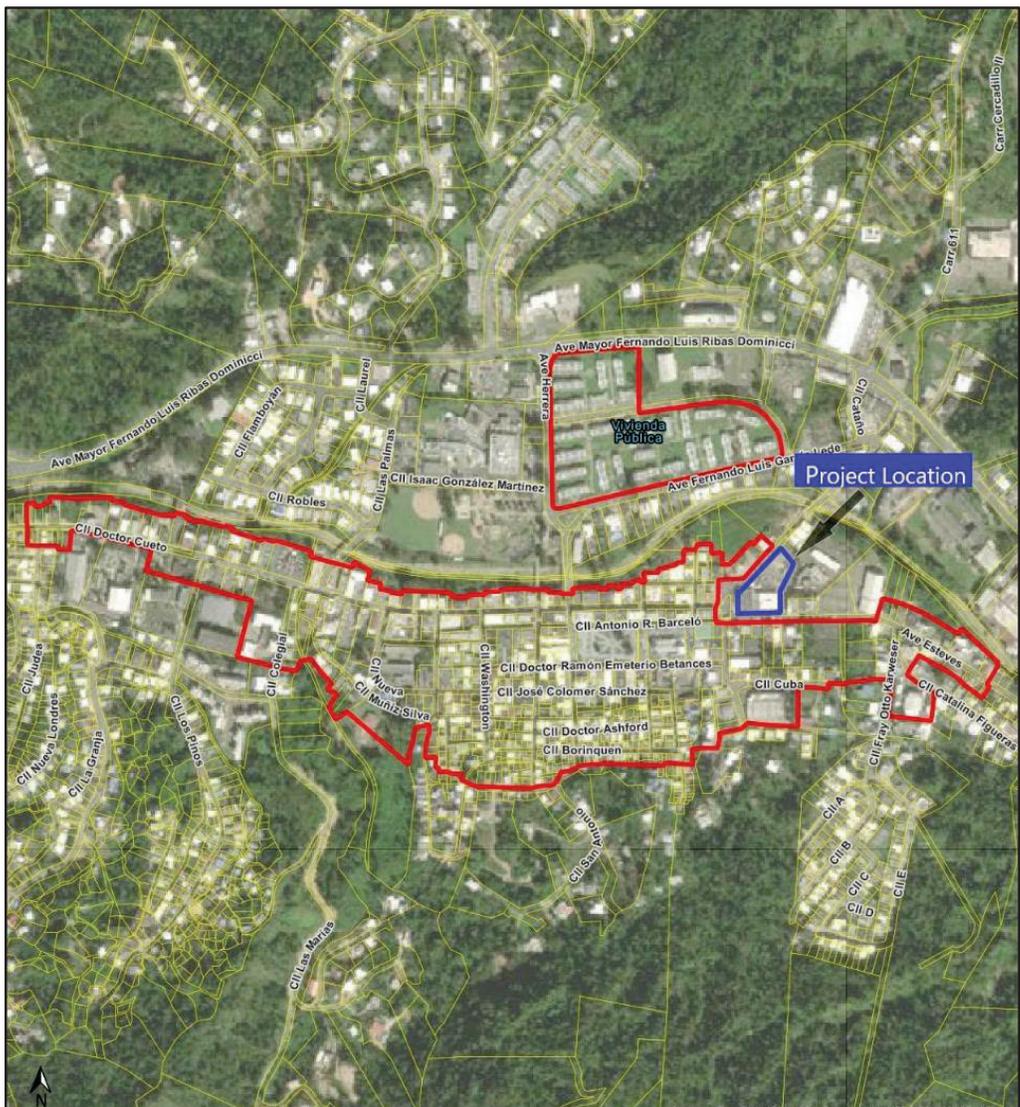
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The Plaza del Mercado can also be a positive contribution, that is not a rival or conflicting building with the existing surrounding area, maintaining a low-profile urban scale to the direct APE aspects and it can be an eligible property, by the fact that is more than 45 years of construction and under the Criteria C. Not only can be defined by the fact that embodies the distinctive characteristics of a type, period, or method of construction but it also can be considered an addition within actual boundaries of the Utuado Historical Urban Area Delimitation Map. (Figure 34).

Figure 34. Utuado, PR. Historical Urban Areas Delimitation Map (Source: <https://oech.pr.gov/>)



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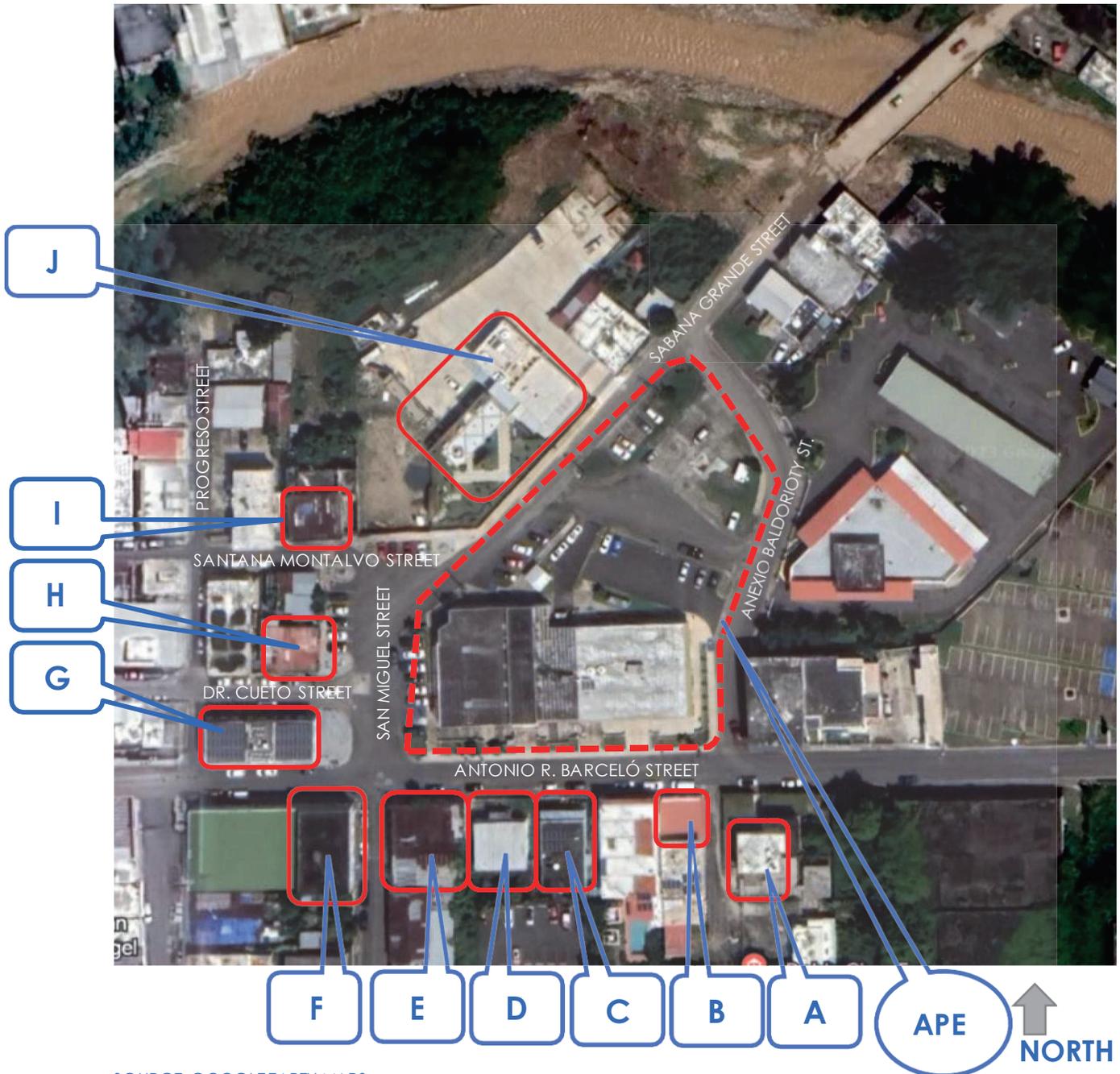
The aspects of integrity can also be considered with this modern building, which is the ability of a property to convey its significance, grounded in an understanding of a property's physical features and how they relate to its significance. As a matter of fact, the National Register criteria recognize seven aspects or qualities, and define integrity. These seven aspects include location, setting, design, materials, workmanship, feeling, and association. To retain historic integrity a property will always possess most of these aspects:

- Location is the place where the historic property was constructed, close to the Traditional Urban Center.
- Design in the combination of elements that create the form, plan, space, structure, its contemporary and unique style of the property at the period of construction, ©1959.
- Materials (mostly reinforced concrete) which are the physical elements that were combined or deposited during a particular period and in a particular pattern or configuration to form a historic property.
- Feeling which is a property's international style architectural expression of the aesthetic or historic sense of a particular period.
- The setting is the physical environment (The Utuado Traditional Urban Center) of a property and its surrounding recognized potential eligible properties and historic district.
- Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory, as it was considered The Plaza de Mercado's an important space and building related to the economic development of the Traditional Urban Centers of Puerto Rico.
- Association is the direct link between an important historic event or person and historic property. By its location, the Plaza del Mercado building is very close to the Traditional Urban Town Center Square.

The project will also affect the area where several buildings can be considered eligible candidates in the Visual /Indirect APE, as they have been identified in the eligible and non-eligible, contributing properties. (Figures 35-40).

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Figure 35: Aerial Photography, Utuado, Puerto Rico, Showing APE (Antonio R. Barceló and San Miguel Streets) and visual APE properties.



SOURCE: GOOGLEEARTH MAPS.  
2023

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Figure 36. Properties on Antonio R. Barceló Street



A. Contributing Visual/Indirect APE. Eligible property #01, Antonio R. Barceló Street, South view. Puerto Rico International Modern Style with North American Suburban Influences. ©1960. Materials: Reinforced Concrete. 232.86 Linear feet to APE (0.04 Miles) distance. Photo #13, (Lat:18.265503, Lon: -66.697675).



B. Contributing Visual/Indirect APE. Eligible property #02, Antonio R. Barceló Street, South-East view. Puerto Rico Vernacular Creole Style ©1900. Materials: masonry with concrete selective interventions and finishes. Building footprint with façade plane parallel with sidewalk. 175.29 Linear feet to APE (0.03 Miles) distance. Photo #15, (Lat: 18.265567, Lon: -66.697860).



C. Contributing Visual/Indirect APE. Eligible property #03, Antonio R. Barceló Street, South view. Puerto Rico Vernacular Creole Style ©1900. Materials: Masonry with concrete selective interventions and finishes. Setback building footprint with forged steel handrail in front balcony. 186.16 Linear feet to APE (0.03 Miles) distance. Photo #18, (Lat: 18.265563, Lon: -66.698122).

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Figure 37. Properties on Antonio R. Barceló Street



D. Contributing Visual/Indirect APE. Eligible property #04, Antonio R. Barceló Street, South view. Puerto Rico Vernacular Creole Style ©1900. Materials: Molded concrete stone facing masonry construction. Setback building footprint with front balcony. 198.22 Linear feet to APE (0.04 Miles) distance. Photo #19, (Lat: 18.265545, Lon: -66.698252).



E. Contributing Visual/Indirect APE. Eligible property #05, Antonio R. Barceló Street, South-East view. Puerto Rico Storage Type Vernacular Creole Style ©1900. Materials: Masonry-rubblework construction. Building footprint with façade plane parallel with sidewalk. 216.86 Linear feet to APE (0.04 Miles) distance. Photo #20, (Lat: 18.265577, Lon: -66.698420).

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Figure 38. Properties on Antonio R. Barceló and San Miguel Street



F. Non-eligible, contributing Visual/Indirect APE property, Antonio R. Barceló and corner of San Miguel Streets, South view. Puerto Rico Storage Type Creole Style. Materials: Reinforced concrete and masonry-rubblework construction. Building's footprints the entire corner with façade plane parallel with sidewalk. 300 Linear feet to APE (0.06 Miles) distance. Photo #29, (Lat: 18.265524, Lon: -66.698640).



G. Contributing Visual/Indirect APE. Eligible property #06, Antonio R. Barceló and corner of San Miguel Streets, North-West view, South and East Facades. Puerto Rico Storage Type Creole Style with Neoclassical Influences, © 1900. Materials: Concrete and masonry-rubblework construction. Building's footprints the entire block with façade plane parallel with sidewalk, except on the East facade. 274.6 Linear feet to APE (0.05 Miles) distance. Photos #25-27, (Lat: 18.265763, Lon: -66.698757).



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Figure 39. Property on San Miguel Street



H. Contributing Visual/Indirect APE. Eligible property #07, San Miguel and corner of Dr. Cueto Street, West view, Vernacular Creole Style with Eastern North American Bungalow Influences, © 1900, Wood and metal roof construction, with corner balcony and property's footprint setbacks. 234.22 Linear feet to APE (0.04 Miles) distance. Photo #30, (Lat: 18.265942, Lon: -66.698691).

Figure 46. Property on Santana Montalvo Street



I. Contributing Visual/Indirect APE. Eligible property #08, Santana Montalvo Street, North view. Puerto Rico Vernacular Creole Style ©1900. Materials: Masonry-rubblework construction. Building footprint with façade plane parallel with sidewalk. 222.78 Linear feet to APE (0.04 Miles) distance. Photos #31-32, (Lat: 18.266222, Lon: -66.698648).



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Figure 40. Property on Sabana Grande Street



J. Contributing Visual/Indirect APE. Eligible property (Only the ruins remnants). Sabana Grande Street, North-West view. New construction with historic ruins remnants, integrated into the new building. Reinforced concrete construction. 150 Linear feet to APE (0.03 Miles) distance. Photos #37-39, (Lat: 18.266385, Lon: -66.698318).



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**Determination**

The following historic properties have been identified within the APE:

- Direct Effect:
  - The proposed project:
    - Will have a direct effect on the improvement of the parking area, sidewalks, infrastructure, and urban landscape within the APE.
    - The Plaza de Mercado building is within the APE boundaries and considered to be an eligible historic building for the NHPR listing, it is not included in the proposed project.
    - The analysis shows that the area of the APE is very low in Archeological sensitivity.
  
- Indirect Effect:
  - The proposed project will have an indirect effect within an historic area of architectural value that can be included in the existing recognized Historic District.
  - The proposed project has a visual/ indirect effect that improves the area quality of the existing urban scene, including streets, sidewalks, utilities, safety, and landscaping.
  - The project has a direct effect upon visual/indirect APE.

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**Recommendation (Please keep on same page as SHPO Staff Section)**

The Puerto Rico Department of Housing requests that the Puerto Rico SHPO concur that the following determination is appropriate for the undertaking (Choose One):

- No Historic Properties Affected
- No Adverse Effect
  - Condition (if applicable):
- Adverse Effect
  - Proposed Resolution (if applicable)

**This Section is to be Completed by SHPO Staff Only**

The Puerto Rico State Historic Preservation Office has reviewed the above information and:	
<input type="checkbox"/> <b>Concurs</b> with the information provided. <input type="checkbox"/> <b>Does not concur</b> with the information provided.	
<b>Comments:</b>	
Carlos Rubio-Cancela State Historic Preservation Officer	Date:

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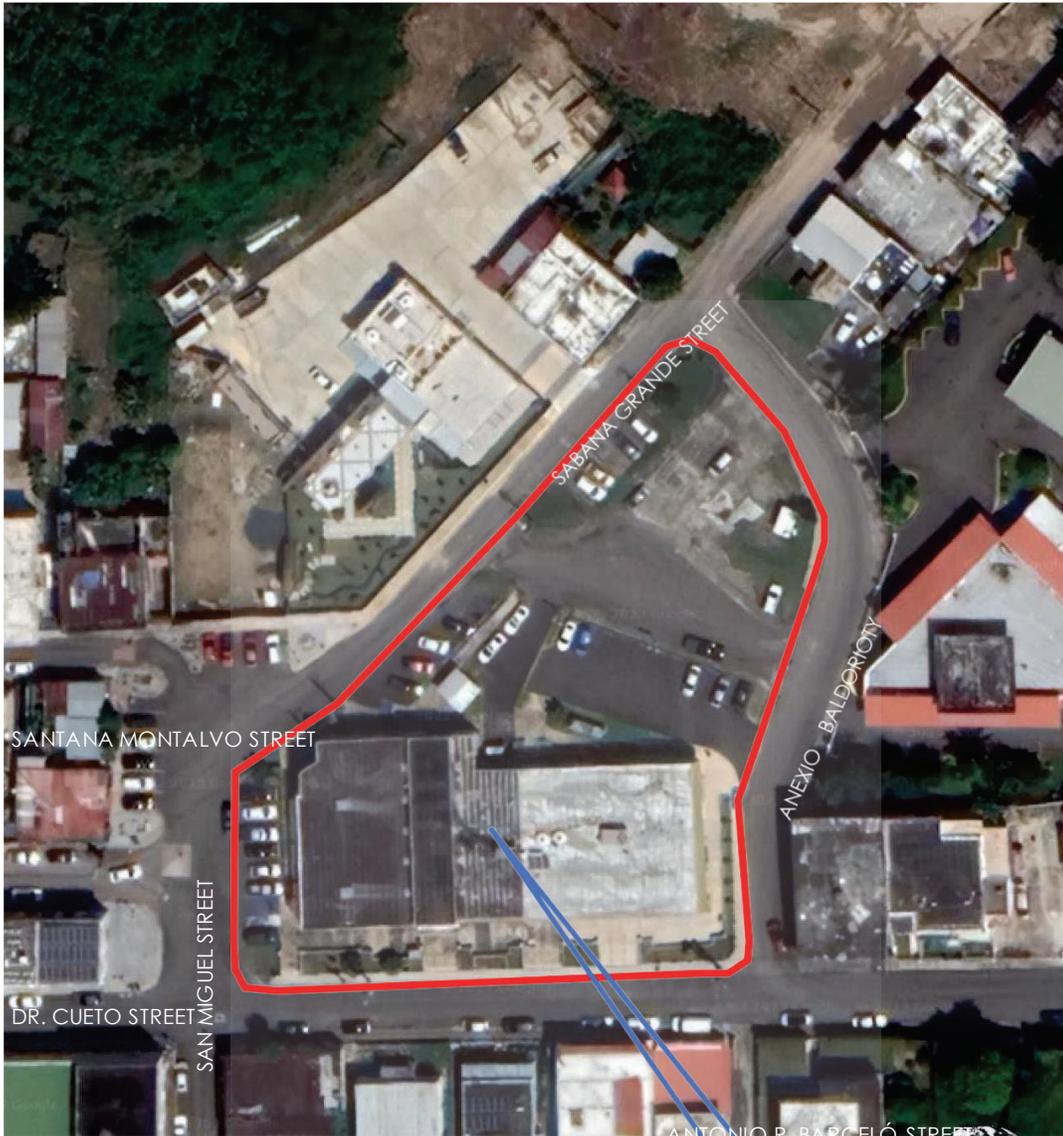


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**Project (Parcel) Location – Area of Potential Effect Map (Aerial)**



- APE Size: 1.0728 Acres
- Longitude (North to South Axis): 344.88 linear feet.
- Width (East to West Axis): 336.48 linear feet.
- Coordinates: Lat: 18.265884, Lon: 66.698127



SOURCE: GOOGLE EARTH MAPS

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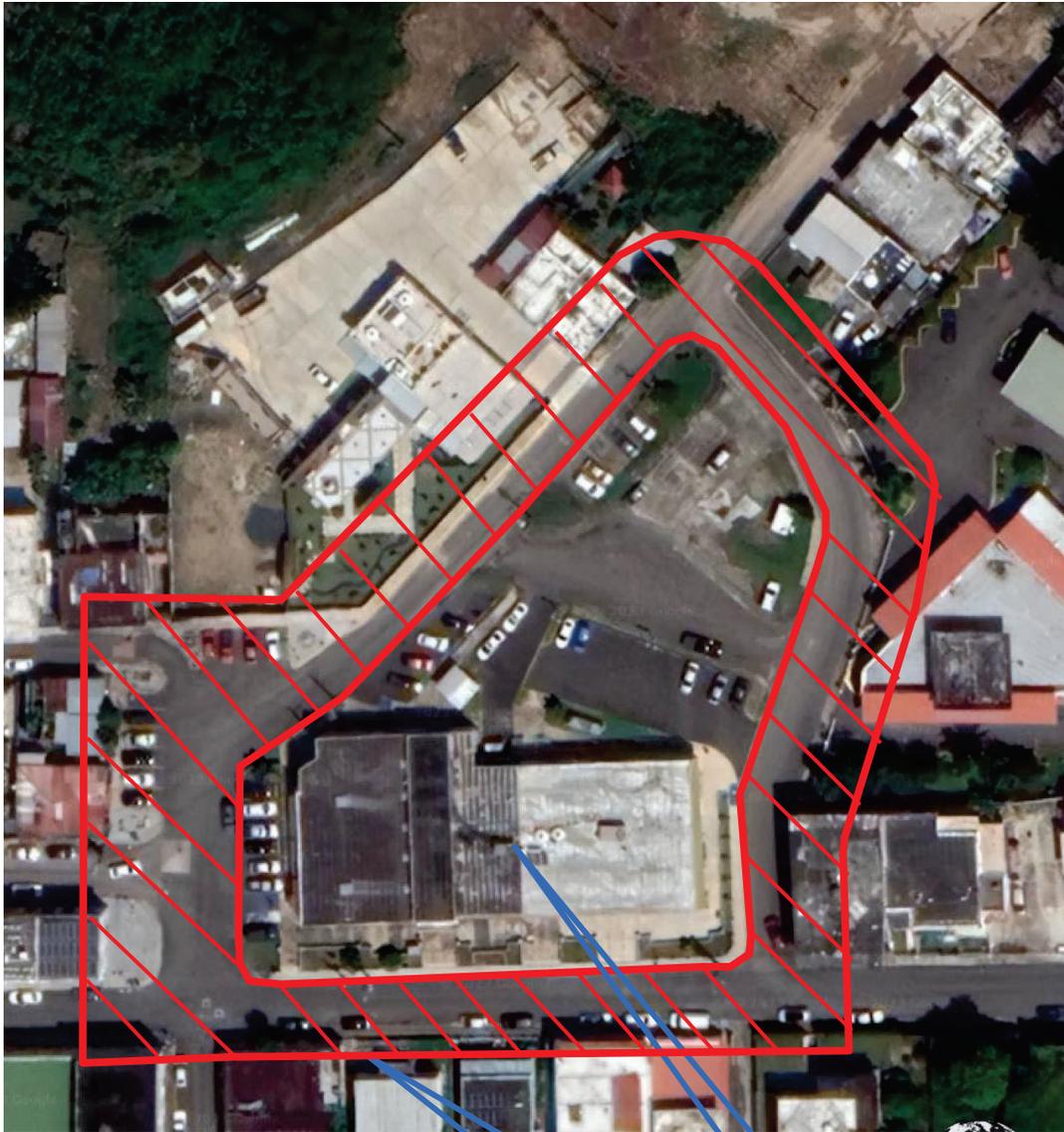


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**Project (Parcel) Location – (Visual Effect Aerial Map)**



SOURCE: GOOGLE EARTH MAPS

**VISUAL  
APE**

**APE**



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**Project (Parcel) Location. Aerial Map**



SOURCE: GOOGLE EARTH MAPS



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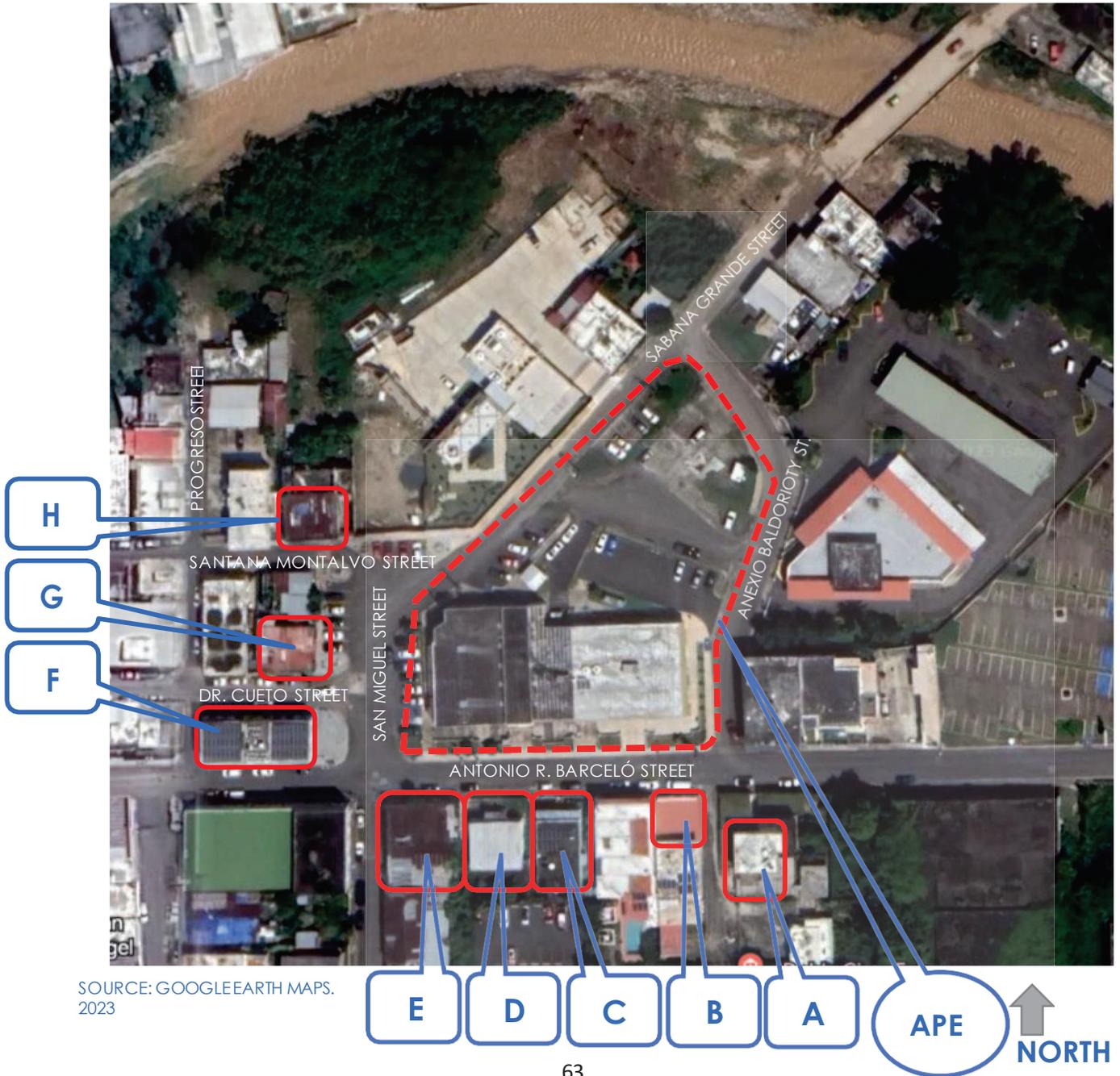
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**Project (Parcel) Location of Historic Properties (Aerial Photo)**

Figure 38: Aerial Photography, Utuado, Puerto Rico, Showing APE (Antonio R. Barceló and San Miguel Streets) showing only eligible historic properties.



SOURCE: GOOGLEEARTH MAPS, 2023

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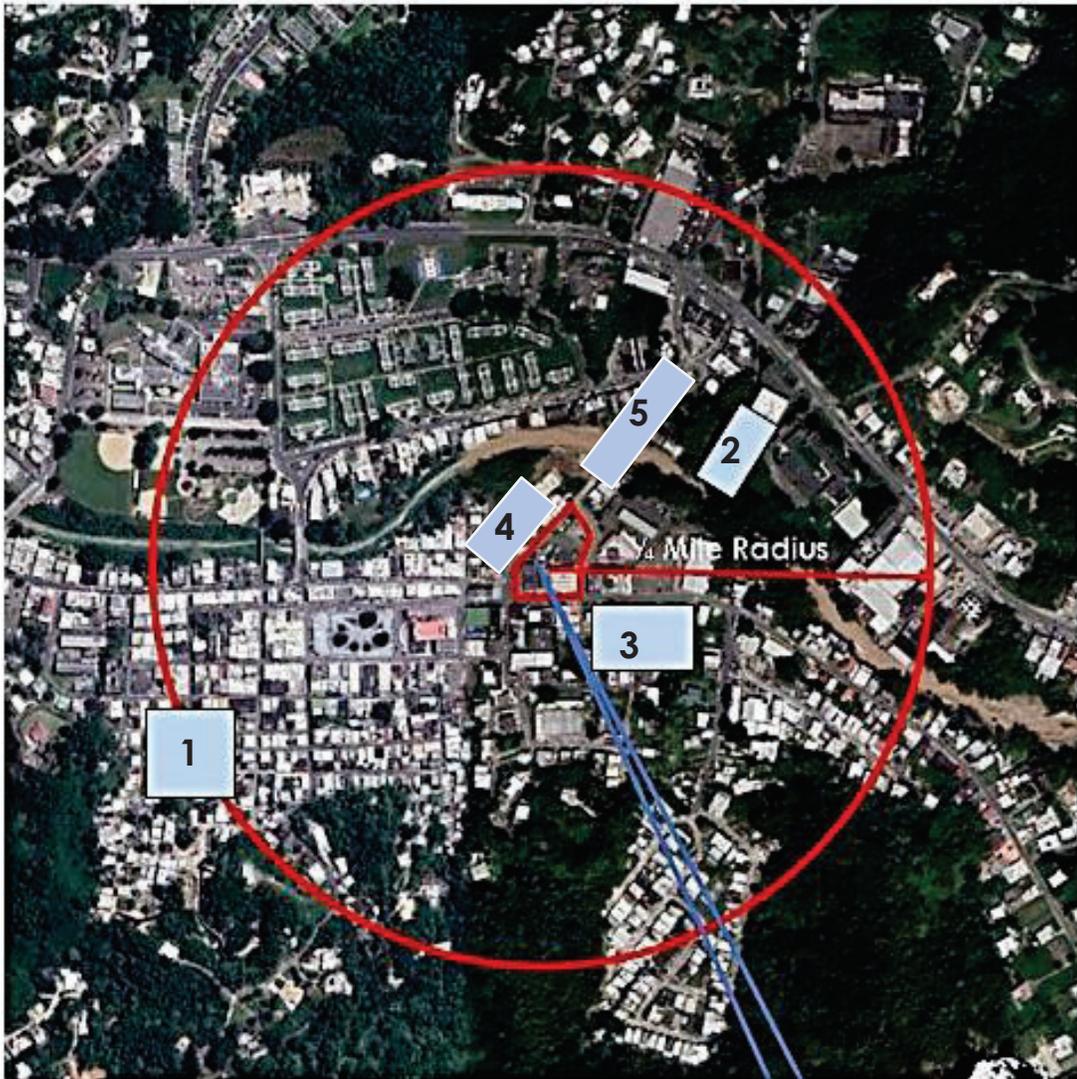


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**Project (Parcel) Location with Previous Investigations (Aerial Photo)**



SOURCE: GOOGLE EARTH MAPS

1. Rehabilitation Stairs Ensanche El Guano Community/ Negative.
2. Fiscalia de Utuado/Negative.

**LEGEND**

4. Plaza Casellas/ Negative.
5. Puente Archilla/ Negative.

aeological. Inspection was



SOURCE: GOOGLE MAPS

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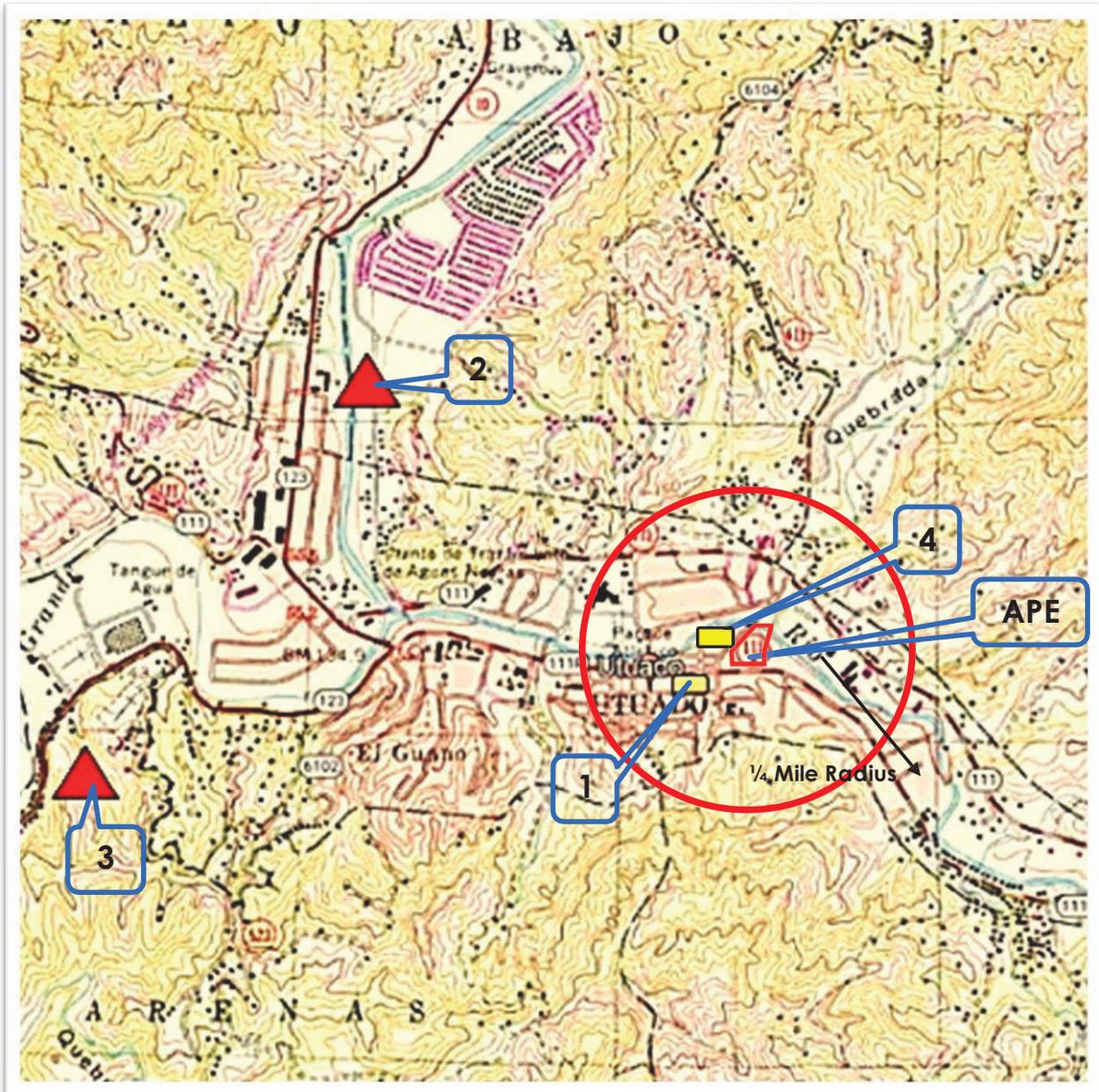
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**Project (Parcel) Location with Archeological Sites near the APE- USGS Topographic Map**

**1/4 Miles Radius**



1. San Miguel Archangel Church.
2. UA0100082, Set of Petroglyphs in the Abacoa river.
3. UA0100009, Salto Arriba Indian Village with ceremonial plazas
4. Casellas Ice Plant Remnants.



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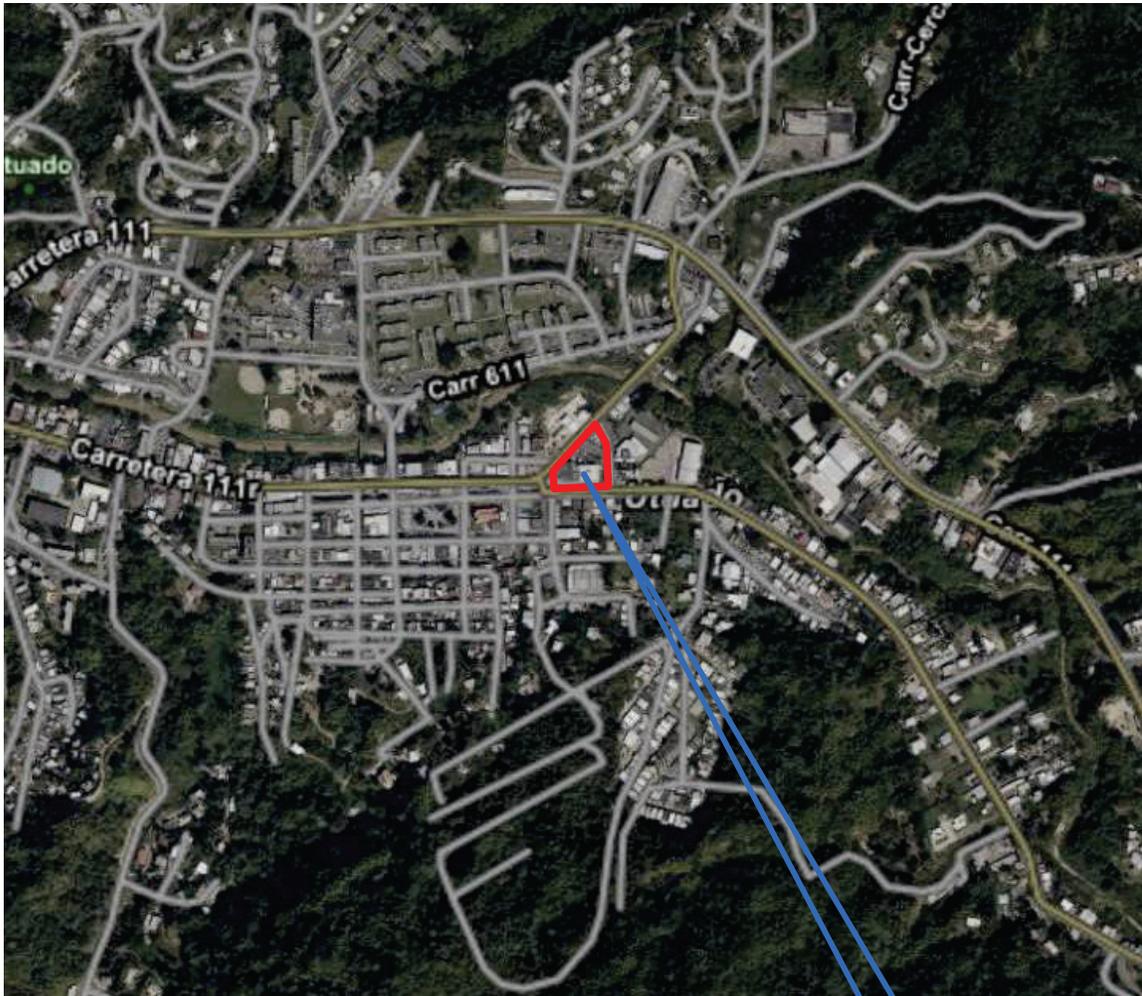


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**Project (Parcel) Location. Soils Map**



**Arecibo Area, Puerto Rico Northern Part (PR682)**

Arecibo Area, Puerto Rico Northern Part (PR682)

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
UI	Urban land	1.7	100.0%
<b>Totals for Area of Interest</b>		<b>1.7</b>	<b>100.0%</b>



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**Photograph Key- Anexo Baldorioty and Antonio R. Barceló Streets**



SOURCE: GOOGLE EARTH MAPS, 2023

APE

NORTH

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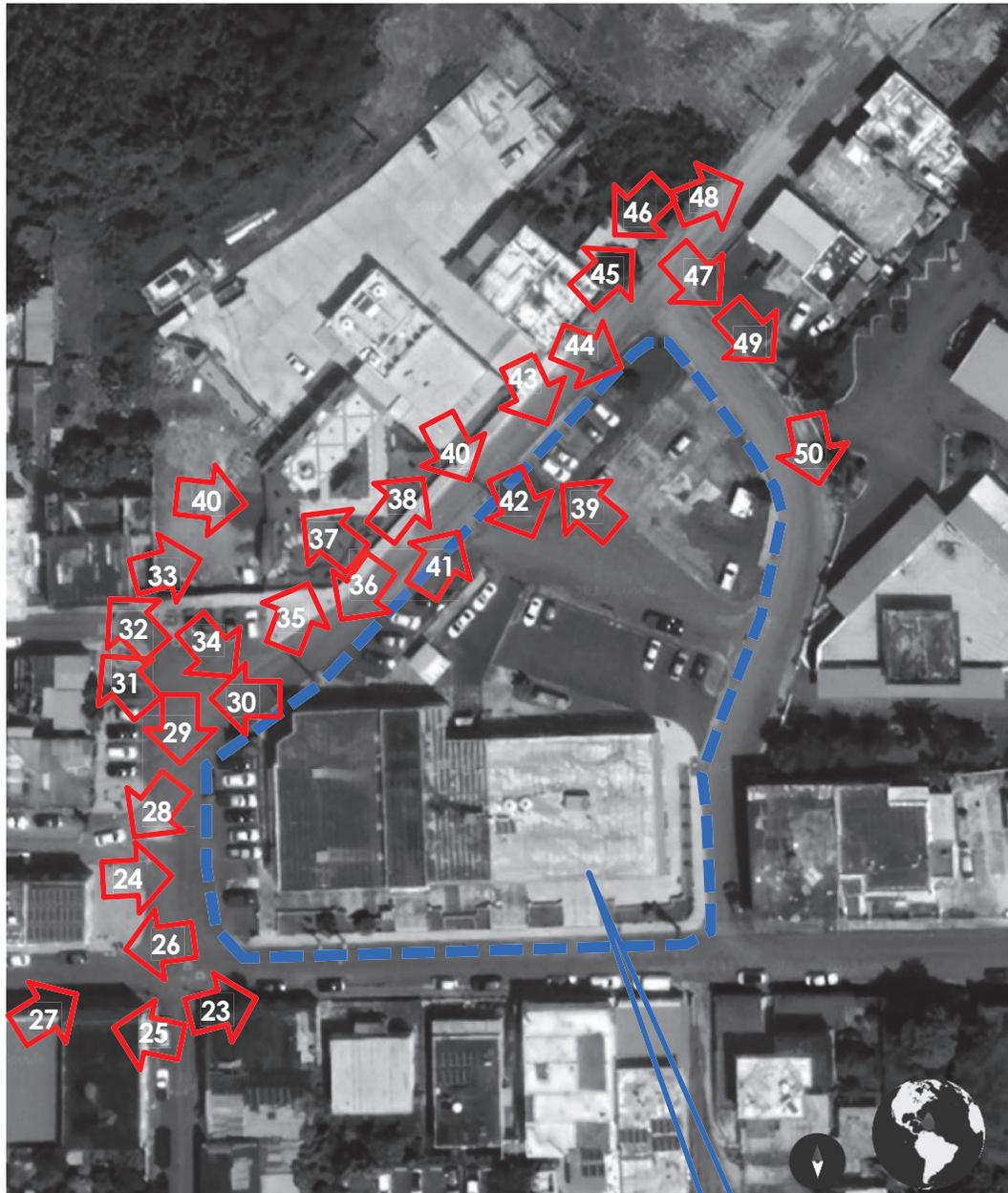


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**Photograph Key- San Miguel, Santana Montalvo, and Sabana Grande Streets**



SOURCE: GOOGLE EARTH MAPS; 2023



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Photo: #01

Description: Anexio Baldorioty Street, South-East view, public transport parking area, Visual APE.

Date: 09/12/23



Photo: #02

Description: Anexio Baldorioty Street, West view, Plaza del Mercado North Façade, APE area.

Date: 09/12/23

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Photo: #03

Description: Anexio Baldorioty Street, South-West view. Small Bistro commerce, APE area.

Date: 09/12/23



Photo: #04

Description: Anexio Baldorioty Street, West view. Small Bistro commerce and parking area, APE area.

Date: 09/12/23

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Photo: #05

Description: Anexio Baldorioty Street, North view. Public transport parking area entrance, Visual APE.

Date: 09/12/23



Photo: #06

Description: Anexio Baldorioty Street, East view. Public transport parking area entrance, Visual APE.

Date: 09/12/23

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Photo: #07

Description: Anexio Baldorioty Street, South-East view. Public transport parking area building, Visual APE.

Date: 09/12/23



Photo: #08

Description: Anexio Baldorioty Street, East view. Public transport parking area building, main entrance, Visual APE.

Date: 09/12/23

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**Project Name:** Estacionamiento y áreas circundantes a la Plaza del Mercado



Photo: #09

Description: Anexio Baldorioty Street, West- South view, Plaza del Mercado North Façade, APE area.

Date: 09/12/23



Photo: #10

Description: Anexio Baldorioty Street, West view, Plaza del Mercado North Façade, and parking area, APE.

Date: 09/12/23

**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  
CITY REVITALIZATION PROGRAM (CRP)  
Section 106 NHPA Effect Determination**



**Subrecipient:** Municipality of Utuado, Puerto Rico

**Program ID Number:** PR-CRP-001001

**Project Name:** Estacionamiento y áreas circundantes a la Plaza del Mercado



Photo: #11

Description: Anexio Baldorioty Street, West view, and parking, APE area.

Date: 09/12/23



Photo: #12

Description: Antonio R. Barceló Street, South-West view. Eligible Property#01, Puerto Rico International Moderne Style with North American Suburban Influences, Visual APE.

Date: 09/12/23

**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  
CITY REVITALIZATION PROGRAM (CRP)  
Section 106 NHPA Effect Determination**



**Subrecipient:** Municipality of Utuado, Puerto Rico

**Program ID Number:** PR-CRP-001001

**Project Name:** Estacionamiento y áreas circundantes a la Plaza del Mercado



Photo: #13

Description: Antonio R. Barceló Street, South view. Eligible Property#01, Puerto Rico International Moderne Style with North American Suburban Influences, Visual APE.

Date: 09/12/23



Photo: #14

Description: Antonio R. Barceló Street, East view, Visual APE.

Date: 09/12/23

**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  
 CITY REVITALIZATION PROGRAM (CRP)  
 Section 106 NHPA Effect Determination**



**Subrecipient:** Municipality of Utuado, Puerto Rico

**Program ID Number:** PR-CRP-001001

**Project Name:** Estacionamiento y áreas circundantes a la Plaza del Mercado



Photo: #15

Description: Antonio R. Barceló Street, South-East view, Eligible Property #02, Creole Style © 1930, Visual APE.

Date: 09/12/23



Photo: #16

Description: Antonio R. Barceló Street, West view, Visual APE.

Date: 09/12/23

**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  
CITY REVITALIZATION PROGRAM (CRP)  
Section 106 NHPA Effect Determination**



**Subrecipient:** Municipality of Utuado, Puerto Rico

**Program ID Number:** PR-CRP-001001

**Project Name:** Estacionamiento y áreas circundantes a la Plaza del Mercado



Photo: #17

Description: Antonio R. Barceló Street, South-East view, Non-Eligible Creole Style (First Floor) Property, Visual APE.

Date: 09/12/23



Photo: #18

Description: Antonio R. Barceló Street, South view, Eligible Creole Style Property #03, Visual APE.

Date: 09/12/23

**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  
CITY REVITALIZATION PROGRAM (CRP)  
Section 106 NHPA Effect Determination**



**Subrecipient:** Municipality of Utuado, Puerto Rico

**Program ID Number:** PR-CRP-001001

**Project Name:** Estacionamiento y áreas circundantes a la Plaza del Mercado



Photo: #19

Description: Antonio R. Barceló Street, South view, Eligible Creole Style Property #04, © 1930, Molded concrete stone-masonry construction, Visual APE.

Date: 09/12/23



Photo: #20

Description: Antonio R. Barceló Street, South view, Eligible Property #05, Storage Type Creole Style, © 1930, Masonry-rubblework construction, Visual APE.

Date: 09/12/23

**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  
CITY REVITALIZATION PROGRAM (CRP)  
Section 106 NHPA Effect Determination**



**Subrecipient:** Municipality of Utuado, Puerto Rico

**Program ID Number:** PR-CRP-001001

**Project Name:** Estacionamiento y áreas circundantes a la Plaza del Mercado



Photo: #21

Description: Antonio R. Barceló and corner of San Miguel Streets, South-East view, Eligible Property #05, Storage Type Creole Style, © 1930, Masonry-rubblework construction, Visual APE.

Date: 09/12/23



Photo: #22

Description: Antonio R. Barceló Street, North-East view, Plaza del Mercado partial South Façade, APE.

Date: 09/12/23

**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  
CITY REVITALIZATION PROGRAM (CRP)  
Section 106 NHPA Effect Determination**



**Subrecipient:** Municipality of Utuado, Puerto Rico

**Program ID Number:** PR-CRP-001001

**Project Name:** Estacionamiento y áreas circundantes a la Plaza del Mercado



Photo: #23

Description: Antonio R. Barceló and corner of San Miguel Streets, East view, Visual APE.

Date: 09/12/23



Photo: #24

Description: San Miguel Street, East view, Plaza del Mercado West Façade, APE.

Date: 09/12/23

<b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b> <b>CITY REVITALIZATION PROGRAM (CRP)</b> <b>Section 106 NHPA Effect Determination</b>	 GOVERNMENT OF PUERTO RICO DEPARTMENT OF HOUSING
<b>Subrecipient:</b> Municipality of Utuado, Puerto Rico	
<b>Program ID Number:</b> PR-CRP-001001	
<b>Project Name:</b> Estacionamiento y áreas circundantes a la Plaza del Mercado	

		
Photo: #25	Description: Antonio R. Barceló and corner of San Miguel Streets, North-West view, South and East Facades, Eligible Property #06, Storage Type Creole Style with Neoclassical Influences, © 1930, Concrete and Masonry-rubblework construction, Visual APE.	
Date: 09/12/23		
		
Photo: #26	Description: San Miguel Street, West view, East Facade, Eligible Property #06, Storage Type Creole Style with Neoclassical Influences, © 1930, Concrete and Masonry-rubblework construction, Visual APE.	
Date: 09/12/23		

**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  
CITY REVITALIZATION PROGRAM (CRP)  
Section 106 NHPA Effect Determination**



**Subrecipient:** Municipality of Utuado, Puerto Rico

**Program ID Number:** PR-CRP-001001

**Project Name:** Estacionamiento y áreas circundantes a la Plaza del Mercado



Photo: #27

Description: Antonio R. Barceló and corner of Progreso Street, North-East view, South and West Facades, Eligible Property #06, Storage Type Creole Style with Neoclassical Influences, © 1930, Concrete and Masonry-rubblework construction, Visual APE.

Date: 09/12/23



Photo: #28

Description: San Miguel and corner of Dr. Cueto Streets, South-West view, North and East Facades, Eligible Property #06, Storage Type Creole Style with Neoclassical Influences, © 1930, Concrete and Masonry-rubblework construction, Visual APE.

Date: 09/12/23

<b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b> <b>CITY REVITALIZATION PROGRAM (CRP)</b> <b>Section 106 NHPA Effect Determination</b>	 GOVERNMENT OF PUERTO RICO DEPARTMENT OF HOUSING
<b>Subrecipient:</b> Municipality of Utuado, Puerto Rico	
<b>Program ID Number:</b> PR-CRP-001001	
<b>Project Name:</b> Estacionamiento y áreas circundantes a la Plaza del Mercado	



Photo: #29	Description: San Miguel Street, South view, Visual Ape.
Date: 09/12/23	



Photo: #30	Description: San Miguel and corner of Dr. Cueto Street, West view, Eligible Property #07, Vernacular Creole Style with Eastern North
Date: 09/12/23	American Bungalow Influences, © 1930, Wood and metal roof construction.

**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  
 CITY REVITALIZATION PROGRAM (CRP)  
 Section 106 NHPA Effect Determination**



**Subrecipient:** Municipality of Utuado, Puerto Rico

**Program ID Number:** PR-CRP-001001

**Project Name:** Estacionamiento y áreas circundantes a la Plaza del Mercado



Photo: #31

Description: **Eligible property #08**, Santana Montalvo Street, North view. Puerto Rico Vernacular Creole Style ©1920-30. Materials: Masonry-rubblework construction. Building footprints with façade plane parallel with sidewalk. Visual APE.

Date: 09/12/23



Photo: #32

<b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b> <b>CITY REVITALIZATION PROGRAM (CRP)</b> <b>Section 106 NHPA Effect Determination</b>	 GOVERNMENT OF PUERTO RICO DEPARTMENT OF HOUSING
<b>Subrecipient:</b> Municipality of Utuado, Puerto Rico	
<b>Program ID Number:</b> PR-CRP-001001	
<b>Project Name:</b> Estacionamiento y áreas circundantes a la Plaza del Mercado	

Date: 09/12/23	Description <b>Eligible property #08</b> , Santana Montalvo Street, North view. Puerto Rico Vernacular Creole Style ©1920-30. Materials: Masonry-rubblework construction. Building front footprint with façade plane parallel with sidewalk. Visual APE.
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Photo: #33	Description: Sabana Grande Street, North- East view, Visual APE.
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Date: 09/12/23
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Photo: #34
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<b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b> <b>CITY REVITALIZATION PROGRAM (CRP)</b> <b>Section 106 NHPA Effect Determination</b>		
<b>Subrecipient:</b> Municipality of Utuado, Puerto Rico		
<b>Program ID Number:</b> PR-CRP-001001		
<b>Project Name:</b> Estacionamiento y áreas circundantes a la Plaza del Mercado		
<b>Date:</b> 09/12/23	<b>Description:</b> Sabana Grande Street, East view, Plaza del Mercado partial North Façade, APE area.	

	
<b>Photo:</b> #35	<b>Description:</b> Sabana Grande Street, North view, Visual APE.
<b>Date:</b> 09/12/23	

**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  
CITY REVITALIZATION PROGRAM (CRP)  
Section 106 NHPA Effect Determination**



**Subrecipient:** Municipality of Utuado, Puerto Rico

**Program ID Number:** PR-CRP-001001

**Project Name:** Estacionamiento y áreas circundantes a la Plaza del Mercado



Photo: #36

Description: Sabana Grande and corner of San Miguel Streets, West-South view, Visual APE.

Date: 09/12/23



Photo: #37

Description: Historic ruins of the Casella's Ice Plant building. Sabana Grande Street, North-West view, Visual APE.

Date: 09/12/23

<b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b> <b>CITY REVITALIZATION PROGRAM (CRP)</b> <b>Section 106 NHPA Effect Determination</b>	 GOVERNMENT OF PUERTO RICO DEPARTMENT OF HOUSING
<b>Subrecipient:</b> Municipality of Utuado, Puerto Rico	
<b>Program ID Number:</b> PR-CRP-001001	
<b>Project Name:</b> Estacionamiento y áreas circundantes a la Plaza del Mercado	

		
Photo: #38	Description: Sabana Grande Street, North view, Visual APE.	
Date: 09/12/23		

**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  
CITY REVITALIZATION PROGRAM (CRP)  
Section 106 NHPA Effect Determination**



**Subrecipient:** Municipality of Utuado, Puerto Rico

**Program ID Number:** PR-CRP-001001

**Project Name:** Estacionamiento y áreas circundantes a la Plaza del Mercado



Photo: #39

Description: Historic ruins of the Casella's Ice Plant building and modern construction. Sabana Grande Street, West view, Visual APE.

Date: 09/12/23



Photo: #40

Description: Sabana Grande Street, North-East view, Visual APE.

Date: 09/12/23

**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  
CITY REVITALIZATION PROGRAM (CRP)  
Section 106 NHPA Effect Determination**



**Subrecipient:** Municipality of Utuado, Puerto Rico

**Program ID Number:** PR-CRP-001001

**Project Name:** Estacionamiento y áreas circundantes a la Plaza del Mercado



Photo: #41

Description: Sabana Grande Street, North-East view, Visual APE.

Date: 09/12/23



Photo: #42

Description: Sabana Grande Street, South view, Plaza del Mercado partial North-West Façade APE area.

Date: 09/12/23

**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  
CITY REVITALIZATION PROGRAM (CRP)  
Section 106 NHPA Effect Determination**



**Subrecipient:** Municipality of Utuado, Puerto Rico

**Program ID Number:** PR-CRP-001001

**Project Name:** Estacionamiento y áreas circundantes a la Plaza del Mercado



Photo: #43

Description: Sabana Grande Street, East view, Plaza del Mercado partial North Façade, parking, and APE area.

Date: 09/12/23



Photo: #44

Description: Sabana Grande Street, East view, parking, and APE area.

Date: 09/12/23

**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  
CITY REVITALIZATION PROGRAM (CRP)  
Section 106 NHPA Effect Determination**



**Subrecipient:** Municipality of Utuado, Puerto Rico

**Program ID Number:** PR-CRP-001001

**Project Name:** Estacionamiento y áreas circundantes a la Plaza del Mercado



Photo: #45

Description: Sabana Grande Street, North-East view, parking, and Visual APE.

Date: 09/12/23



Photo: #46

Description: Sabana Grande Street, South-West view, and Visual APE.

Date: 09/12/23

**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  
 CITY REVITALIZATION PROGRAM (CRP)  
 Section 106 NHPA Effect Determination**



**Subrecipient:** Municipality of Utuado, Puerto Rico

**Program ID Number:** PR-CRP-001001

**Project Name:** Estacionamiento y áreas circundantes a la Plaza del Mercado



Photo: #47

Description: Sabana Grande Street, East view, parking, and APE area.

Date: 09/12/23



Photo: #48

Description: Sabana Grande Street, North-East view, and Visual APE.

Date: 09/12/23

**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  
CITY REVITALIZATION PROGRAM (CRP)  
Section 106 NHPA Effect Determination**



**Subrecipient:** Municipality of Utuado, Puerto Rico

**Program ID Number:** PR-CRP-001001

**Project Name:** Estacionamiento y áreas circundantes a la Plaza del Mercado



Photo: #49

Description: Anexo Baldorioty Street, South-East view, Visual APE.

Date: 09/12/23



Photo: #50

Description: Anexo Baldorioty Street, South-East view, Visual APE.

Date: 09/12/23

**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  
CITY REVITALIZATION PROGRAM (CRP)  
Section 106 NHPA Effect Determination**



**Subrecipient:** Municipality of Utuado, Puerto Rico

**Program ID Number:** PR-CRP-001001

**Project Name:** Estacionamiento y áreas circundantes a la Plaza del Mercado



Photo: #51

Description: Catholic Church San Miguel Arcangel, South-East view. Registered Property, near but not in Visual APE.

Date: 09/12/23



Photo: #52

Description: Utuado Traditional Main Square, South-West view. Registered Property, near but not in Visual APE.

Date: 09/12/23

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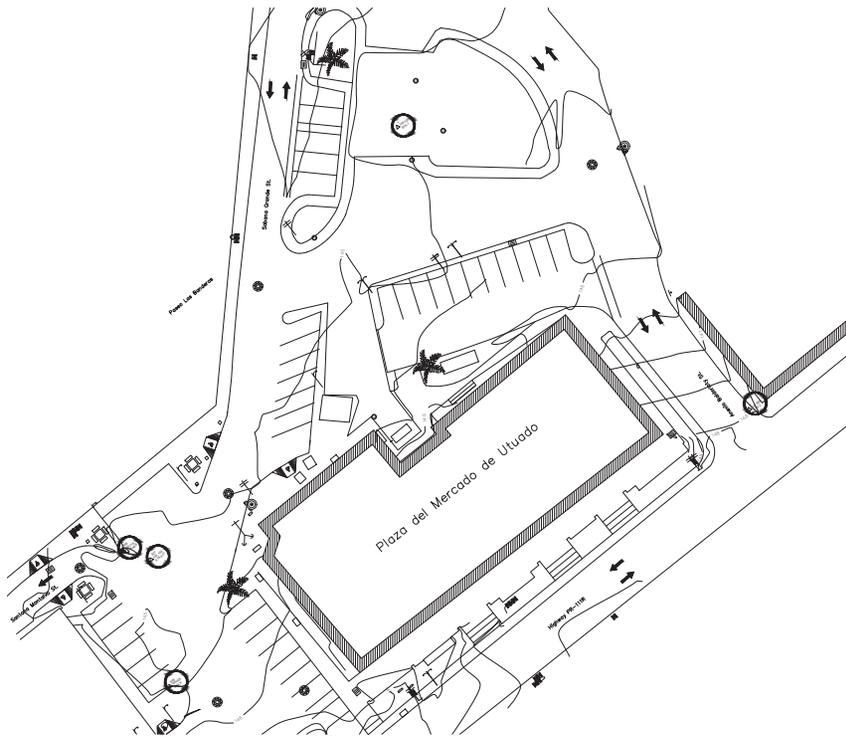
# REVITALIZATION PROJECT - PARKING AND SURROUNDING

## AREAS OF LA PLAZA DEL MERCADO, PR-CRP-001001

3 C. Dr Cueto, Utuado, Puerto Rico, 00641

### Key Plan

NTS



### SHEET

T-1 Title Page

### EXISTING CONDITIONS

ST-1 Survey and Topographical Work  
 EX-1 Project Site Plan View

### DEMOLITION

DP-1 General Notes - Demolition Plan  
 DP-2 Existing Condition- Demolition Site Plan View

### ARCHITECTURAL

A-1 Architectural Site Plan View  
 A-2 Architectural Pavement Plan  
 A-3 Architectural Furnish and Equipment Plan  
 A-4 Architectural Landscape Plan  
 A-5 Architectural Landscape Plan (Front)  
 A-6 Architectural Walls Elevations  
 A-7 Architectural Domino Table Design  
 A-8 Architectural Pavement Plan  
 A-9 Architectural- Electric Charge Detail - Solar Workstation  
 A-10 Architectural-Sculpture Art Detail

### ELECTRICAL

E-1 General Notes and Abbreviations  
 E-2 Electrical Layout Site Plan View  
 E-3 Electrical Details  
 E-4 Panel Schedule  
 E-5 Wireless System

### CIVIL

C-1 CIVIL DETAILS 1 TO 5  
 C-2 CIVIL DETAILS 6 TO 10  
 C-3 CIVIL 11 TO 15



Puerto Rico Map



Zoning Plan: DT-G



Location Plan



Flood Plan



Aerial Map

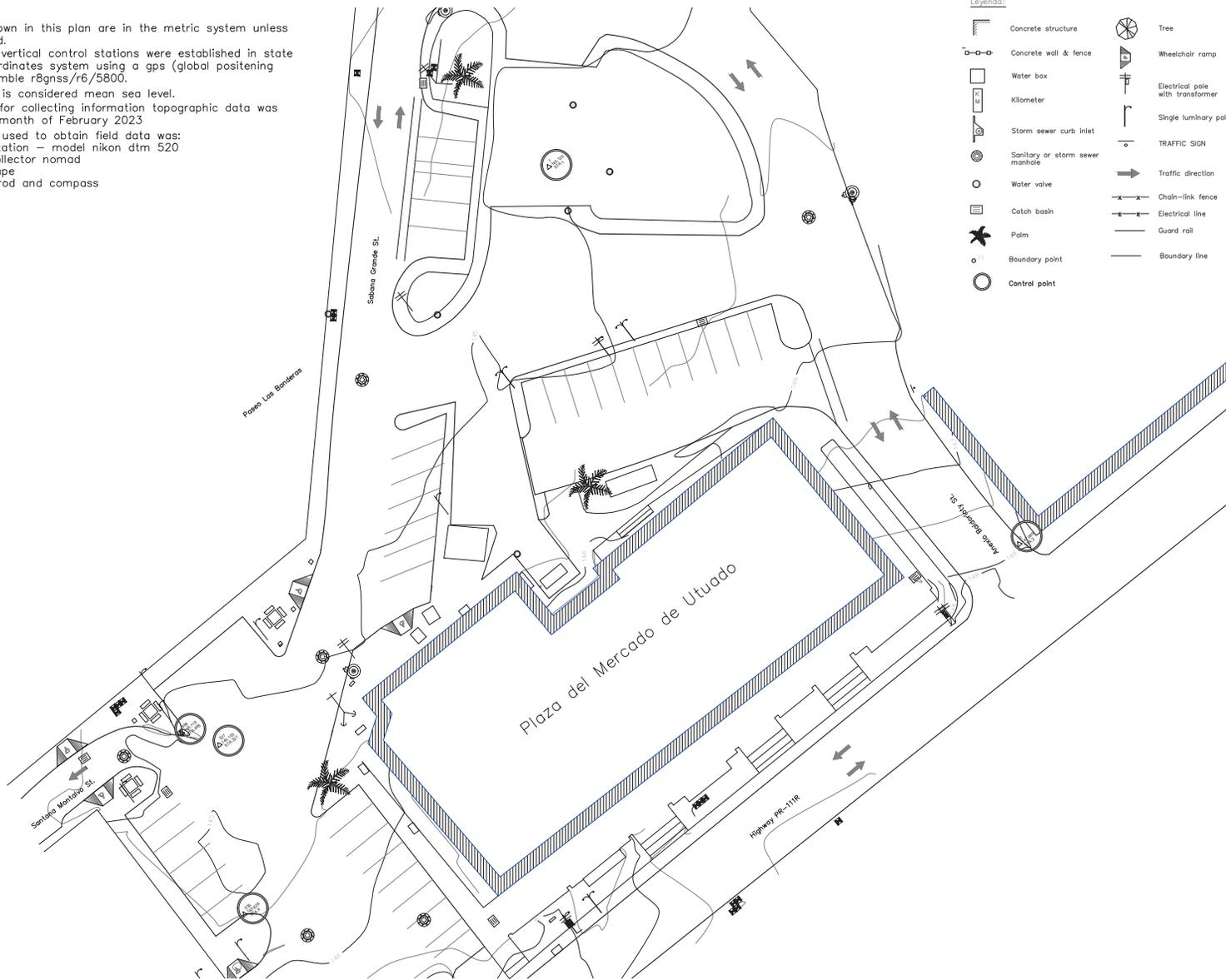
Map: LAT 18.266143, LON -66.6697978

Map PANEL: 72000C0615H

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**Notes:**

1. All distance shown in this plan are in the metric system unless otherwise indicated.
2. Horizontal and vertical control stations were established in state plane nad 83 coordinates system using a gps (global positening system) model trimble r8gnss/r6/5800.
3. Vertical datum is considered mean sea level.
4. The field work for collecting information topographic data was performed in the month of February 2023
5. The equipment used to obtain field data was:
  - A - Total station - model nikon dtm 520
  - B - Data collector nomad
  - C - Steel tape
  - D - Prism, rod and compass



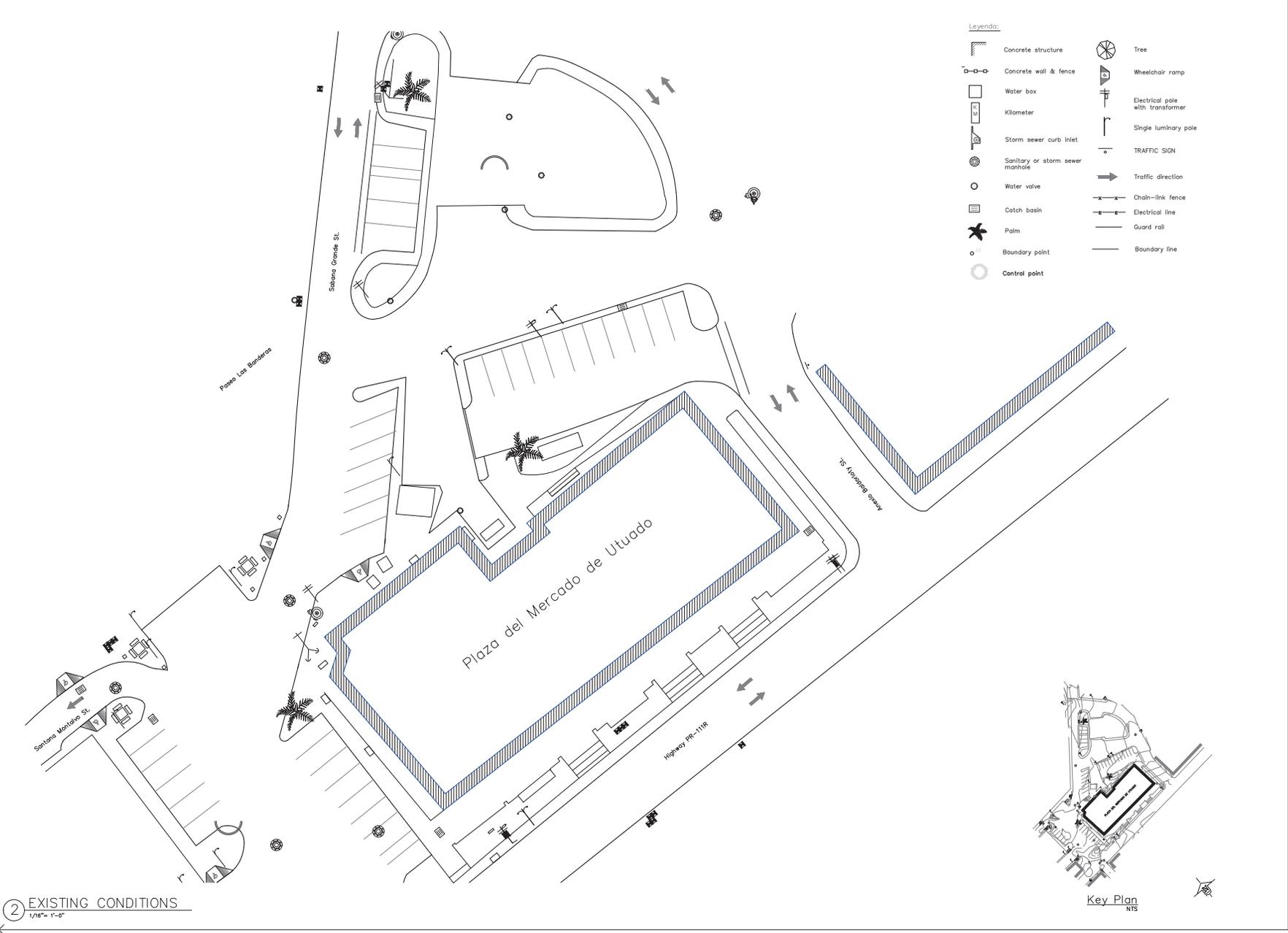
① SURVEY AND TOPOGRAPHICAL WORK  
1/16" = 1'-0"

**Leyenda:**

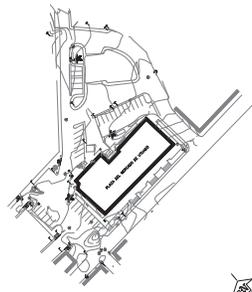
	Concrete structure		Tree
	Concrete wall & fence		Wheelchair ramp
	Water box		Electrical pole with transformer
	Kilometer		Single luminary pole
	Storm sewer curb inlet		TRAFFIC SIGN
	Sanitary or storm sewer manhole		Traffic direction
	Water valve		Chain-link fence
	Catch basin		Electrical line
	Palm		Guard rail
	Boundary point		Boundary line
	Control point		

<b>APPLIED ENGINEERING GROUP</b> MANAGED PROFESSIONAL ENGINEERS AND ARCHITECTS	
1031 AMERICANO AVENUE, SUITE 100, PUNTA RICA, PR 00924 TEL: (787) 833-1234 FAX: (787) 833-1235	
CONSULTANT	
<b>PROJECT NAME</b>	<b>DATE</b>
Revitalization Project - Parking and Surrounding areas of Plaza del Mercado Utuado, PR 00641 PR-CRP-001001	April 2023 May 2023
<b>DESIGNER</b>	<b>DATE</b>
XXXXXXXXXX	April 2023
<b>CHECKED BY</b>	<b>DATE</b>
XXXXXXXXXX	April 2023
<b>APPROVED BY</b>	<b>DATE</b>
XXXXXXXXXX	April 2023
<b>As-Built Plan Exst. Cond.</b>	
Agosto 2023	
St-1	

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② EXISTING CONDITIONS  
1/16" = 1'-0"



Key Plan  
NTS

**APPLIED ENGINEERING GROUP**  
 ENGINEERS, ARCHITECTS, ENGINEERS AND PLANNERS  
 1035 AMERICANO AVENUE, SUITE 400, P.R. 00924  
 TEL: (787) 270-1234 FAX: (787) 270-1235  
 WWW.AEGROUP.COM

PROJECT NAME	DATE
Revitalization Project - Parking and Surrounding areas of Plaza del Mercado Utuado, PR 00641	April 2023
PR-CRP-001001	May 2023
DESIGNER	DATE
REVISION	DATE

Existing Conditions  
 Project Site Plan View  
 Plaza del Mercado

Revitalization Project - Parking and Surrounding areas of Plaza del Mercado Utuado, PR 00641  
 PR-CRP-001001

As-Built Plan  
 Exst. Cond.

DATE	DRWG. SHEET
Agosto 2023	Ex-1

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GENERAL INSTRUCTIONS:

1. This is a partial demolition project on which site elements and utilities will be demolished, removed and recycled after environmentally hazardous materials abatement, if applicable has been completed and certified by concerned authorities. See drawings for utilities to remain.
2. Any concrete that can be recycled shall be recycled to produce an ash minimum classification of a - 2 - sub-base gravel or better.
3. Any asphalt that can be recycled shall be recycled and reuse on site.
4. Contractor shall dispose properly of all non-recyclable materials from demolition work, including site garbage accumulations, in certified landfills according to municipal, state & federal regulations. See and comply with hazardous materials abatement removal & disposal requirements.
5. Contractor shall be responsible for any damage inflicted to the project property or adjacent properties or other project areas to remain during the demolition and construction phases. Damaged items shall be restored to its original condition at contractor's expense and owner's satisfaction at no additional cost to owner.
6. Demolition and removal shall be conducted in a manner that eliminates hazards to persons, the environment and property in the project and the surrounding area. The contractor shall prevent the release of lead containing dust where applicable into the air and soil.
7. For all debris and scrap materials contractor shall dispose of as to maintain the project site & surroundings free of waste materials, according to municipal, state & federal regulations.
8. The contractor shall maintain all streets free of obstructions and clean at all times. where washing with water is required to construct or to prevent health hazards to adjacent residential and commercial areas, contractor shall use water tank trucks at his own cost or request a temporary connection from an available AAA meter, and can not be taken from public fire hydrants or neighbors.
9. The contractor shall submit, procure and obtain all necessary documents and permits from the opge and environmental equality board of Puerto Rico, solid waste authority and epa, in order to proceed with contracted work.
10. Contractor must maintain in full force all existing project permits and / or submit and obtain new the new permits at his own cost.

11. The contractor will notify and obtain permit from the public service commission prior to excavation and demolition work in the project. Permits and approvals concerning project activities must be submitted to the owner and his representative before proceeding with any corresponding work.
12. Prior to proceeding with planting and reforestation work, contractor must follow the requirements of the department of natural resources a permit for cutting, pruning and planting.
13. Utilities and or services (consisting but not limited to water, sewer, electricity, gas, cable tv, data and telephone) can not be suspended, without prior authorization of the project management. If accidentally any service is interrupted due to project activities, contractor will provide immediate repair to owner's satisfaction at no additional cost to owner.
14. The contractor is responsible to take photos of the existing conditions prior to beginning demolition works. This is required for any claim that arises and must be delivered to the resident inspector for his files.
15. The contractor shall be responsible for the installation and disposition of garbage & recycling dumpsters during demolition and construction works.
16. The contractor shall be responsible for the installation of temporary or necessary equipments or utilities for the provision of electricity, potable water and sanitary services for the construction personnel and for the construction inspection team during the demolition and construction period. The contractor shall also provide temporary office trailer for the construction inspection team.

ELECTRICAL WORKS:

1. Contractor shall remove all electrical equipment and materials from areas to be remodeled taking care that circuits that are to be kept energized are coordinated to maintain these services.
2. Existing circuits affected by this remodeling shall be checked so that they are left without shorts and free from any defects.
3. In areas remodeled, contractor shall remove all conduits not embedded in concrete. conduits embedded in concrete that are abandoned shall be left without any conductors.
4. All boxes shall be provided with blank plates.
5. Contractor must verify that panelboards installation complies with nec requirements and that it has all protective covers, doors and breakers spaces covers to avoid any exposure to live parts.

SAFETY AND HEALTH PRECAUTIONS:

1. Contractor shall provide a risk free environment for all employees and their surrounding. he must guarantee the safety and health of all employees, subcontractors and visitors.
2. The contractor shall provide a safety and health plan prior to start any field work.
3. Safety measures and precautions during demolition/construction (all o.s.h.a. and e.p.a. updated compliance is under effect).
4. General work related to the demolition or alteration to the project site must be undertaken in conformity with this safety plan.
5. Safety meetings - the contractor will perform weekly safety tours and meetings with his personnel to train and discuss the best practices and safety measures to be implemented in the project.
6. The contractor will perform continuous job site inspections confirm any potential safety hazards if a potential hazard is suspected or found, the contractor. Will use the appropriate methods, equipment, devices and material to assure a safe workplace, safety tours and to maintain a safe and accident free job.
7. The contractor will provide trained and experienced personnel to assure a job properly done and safe. The contractor shall provide a health & safety coordinator.
8. The contractor will be responsible for fire protection in the work and operational areas.
9. The Plaza del Mercado and its commercial spaces cannot be use for the storage of construction or combustible material.
10. The contractor shall provide fire extinguishers for the entire demolition / construction area.
11. All heavy equipment should have its own fire extinguishers or have one available in a 100 feet radius from it.
12. During demolition / construction period free access to fire hydrants, or to other fire extinguishing equipment, shall be provided and maintained at all times.
13. Contractor employees will be required to dress properly while performing their job. Each worker will use appropriate working safety shoes. Proper respiratory protection will be use whenever required. proper hand protection will be use when required. Proper hearing protection will be used in areas where sounds are higher than 80 dbs.

③ DEMOLITION GENERAL NOTES



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DATE	APRIL 2023	1
ISSUED FOR	REVISED FOR	DATE
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Demolition Plan  
 General Notes  
 Plaza del Mercado

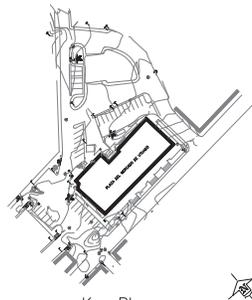
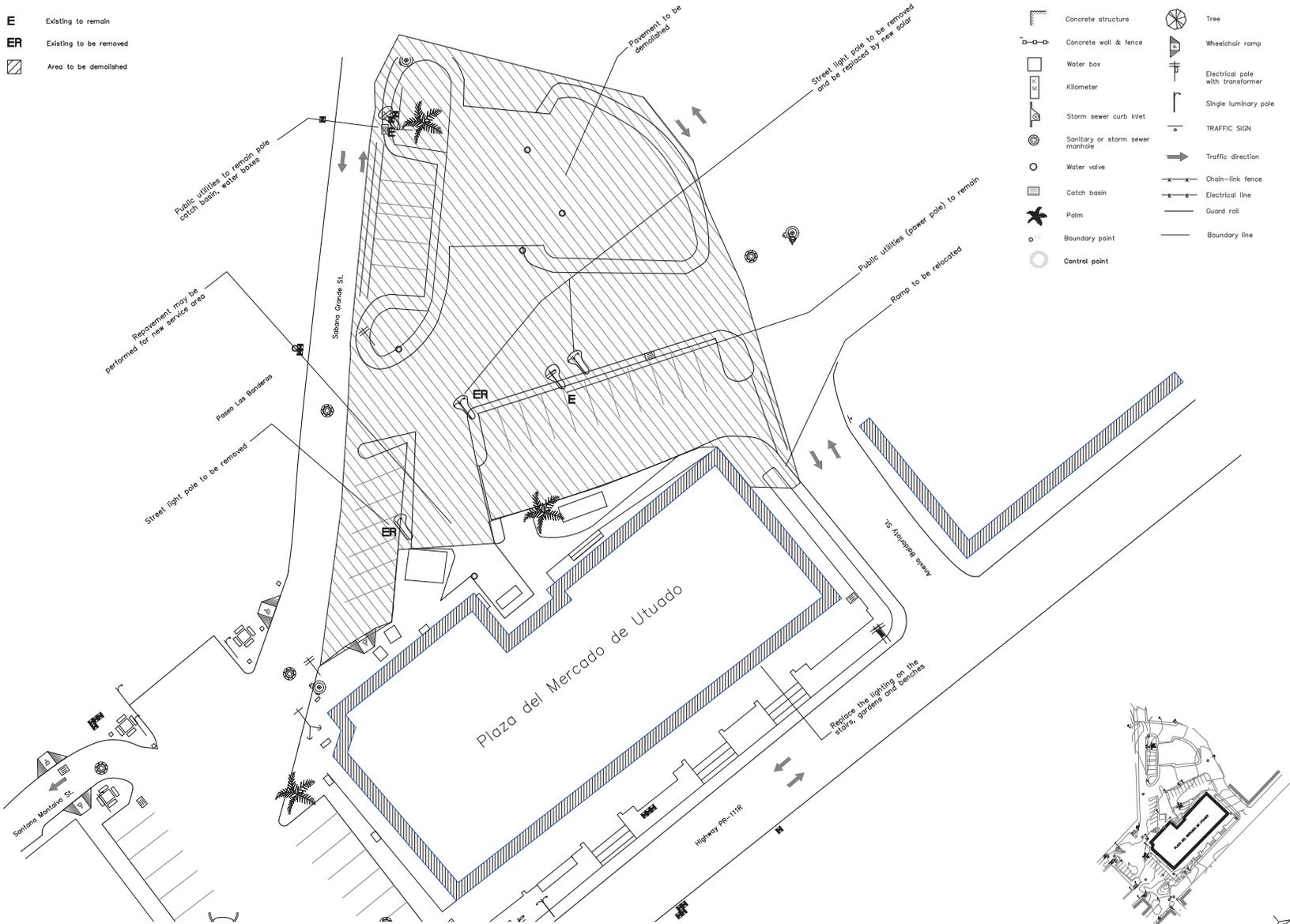
Revitalization Project - Parking and  
 Surrounding areas of Plaza del Mercado  
 Utuado, PR 00641  
 PR-CRP-000001

DATE	AGOSTO 2023
DRAWING NO.	DP-1

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- Demolition Legend:**
- E** Existing to remain
  - ER** Existing to be removed
  -  Area to be demolished

- Leyenda:**
-  Concrete structure
  -  Concrete wall & fence
  -  Water box
  -  Kilometer
  -  Storm sewer curb inlet
  -  Sanitary or storm sewer manhole
  -  Water valve
  -  Catch basin
  -  Palm
  -  Boundary point
  -  Control point
  -  Tree
  -  Wheelchair ramp
  -  Electrical pole with transformer
  -  Single luminary pole
  -  TRAFFIC SIGN
  -  Traffic direction
  -  Chain-link fence
  -  Electrical line
  -  Guard rail
  -  Boundary line



4 Demolition Plan  
1/16" = 1'-0"

Key Plan  
NTS

**APPLIED ENGINEERING GROUP**  
MANAGED PROFESSIONAL ENGINEERS AND ARCHITECTS  
10315 AMERICANO AVENUE #600 RIO RICO, PR 00924  
TEL: (787) 270-1100 FAX: (787) 270-1101  
[www.aegpr.com](http://www.aegpr.com)

**CONSULTANT**

REVISED	DATE	BY	CHKD
Issue for Review - 2023	April 2023	JF	JF
Issue for Review - 2023	May 2023	JF	JF
Issue for Review - 2023	June 2023	JF	JF
ISSUANCE		JF	JF
DESIGNER		JF	JF
CHECKER		JF	JF
DATE PLOTTED			

Existing Conditions  
Demolition Plan View  
Plaza del Mercado

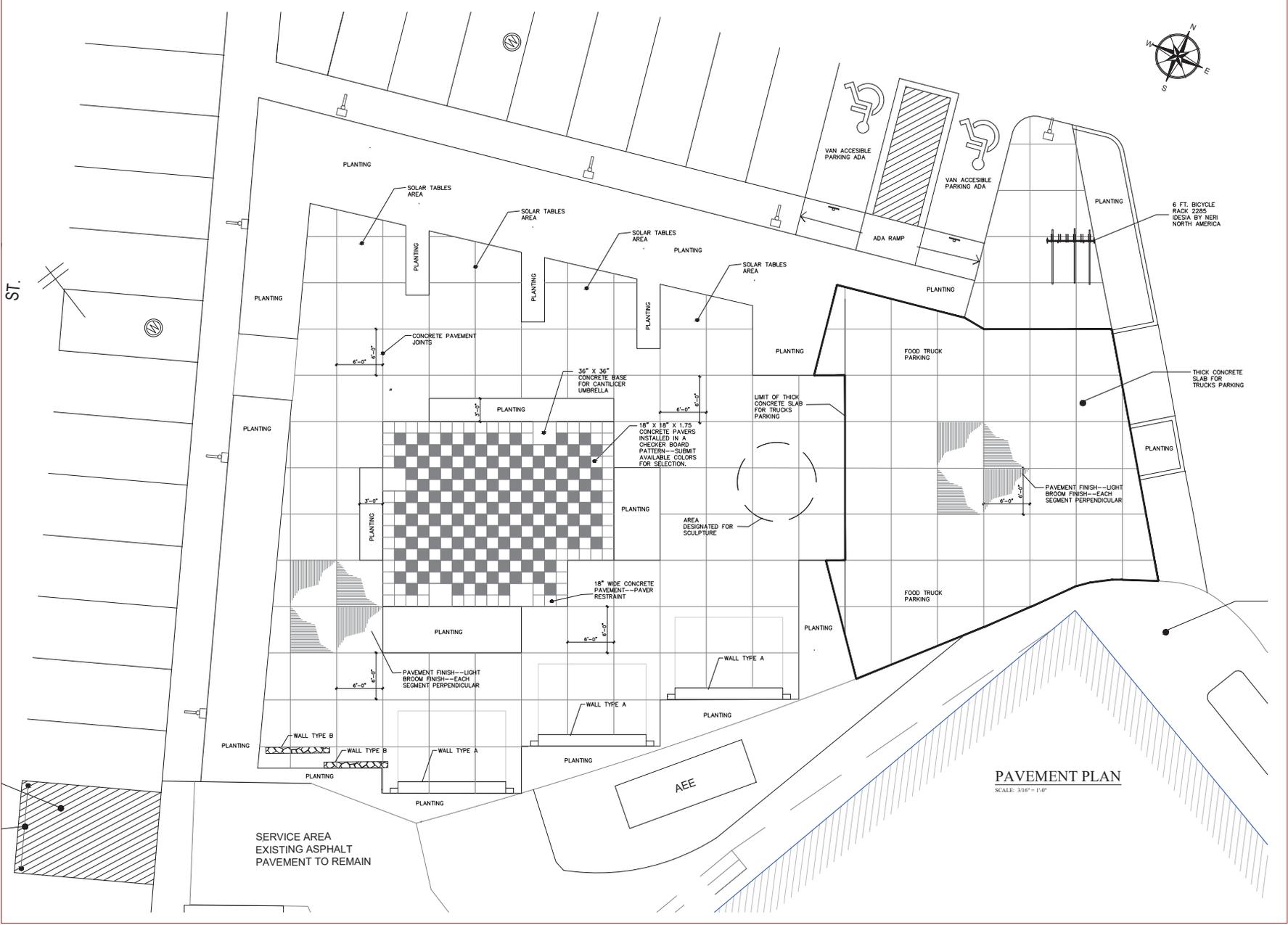
Revitalization Project - Parking and Surrounding areas of Plaza del Mercado Utuado, PR 00641  
PR-CRP-001001

Demolition Plan  
Exst. Cond.

DATE
Agosto 2023
DWG. SHEET
DP-2



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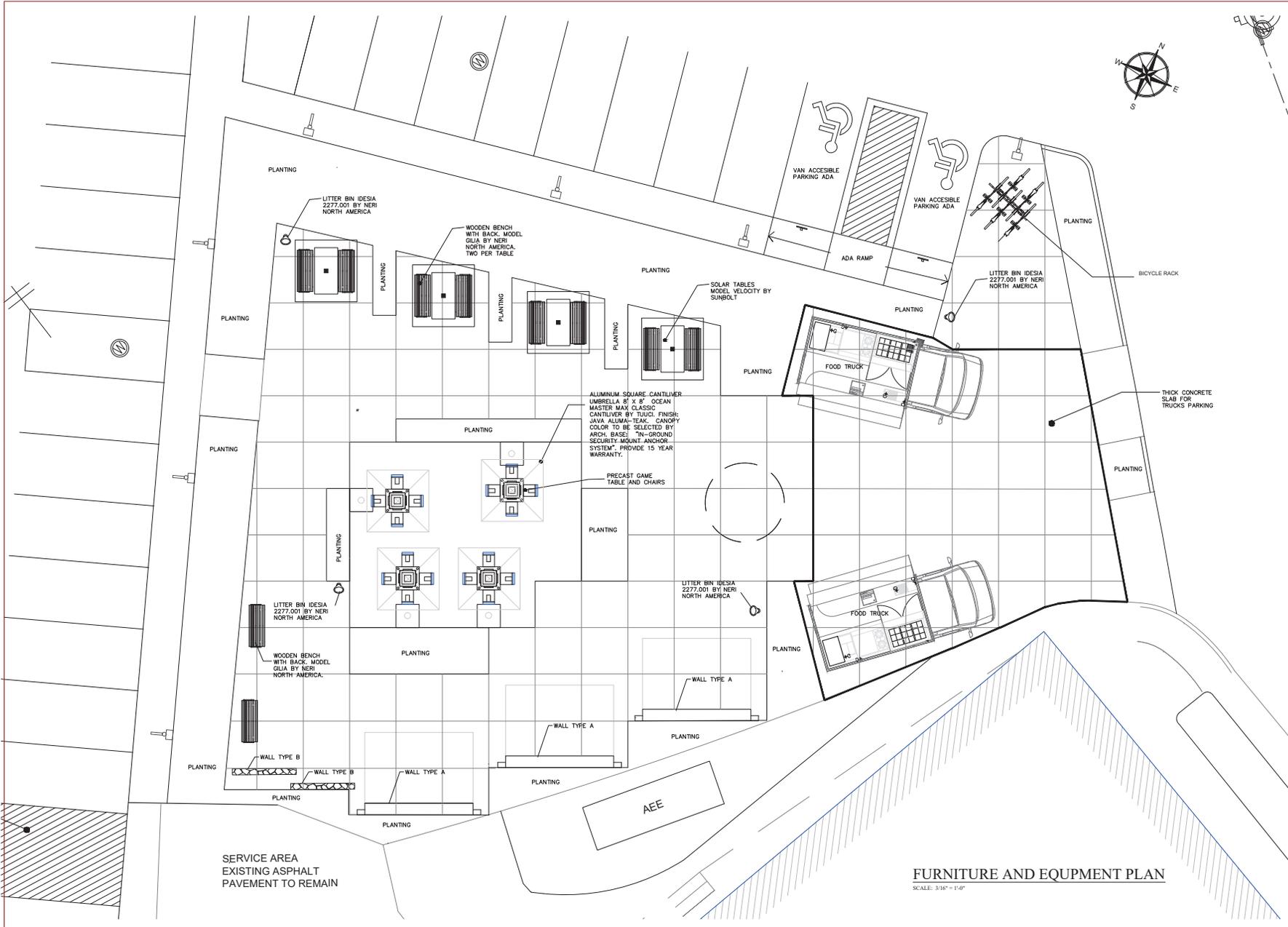
**APPLIED WORK ENGINEERING GROUP**  
 MANAGERS, ARCHITECTS, ENGINEERS AND PLANNERS  
 1115 S. WASHINGTON AVENUE, SUITE 200, PHOENIX, AZ 85004  
 P.O. BOX 612088, SUITE 1000, PHOENIX, AZ 85061-2088  
 PHONE: (602) 998-7777 FAX: (602) 998-7777

DATE	DESCRIPTION
April 2023	Final Design
May 2023	Final Design
June 2023	Final Design
July 2023	Final Design
August 2023	Final Design

**ARCHITECTURAL PLAN**  
**PAVEMENT PLAN**  
**PLAZA DEL MERCADO**

Revitalization Project - Parking and Surrounding areas of Plaza del Mercado  
 Utuado, PR 00641  
 PR-CRP-001001

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SERVICE AREA  
EXISTING ASPHALT  
PAVEMENT TO REMAIN

**FURNITURE AND EQUIPMENT PLAN**  
SCALE: 3/16" = 1'-0"

**APPLIED ENGINEERING GROUP**  
 MANAGERS, ARCHITECTS, ENGINEERS AND PLANNERS  
 1039 Acondor Road, Suite 100, San Juan, Puerto Rico 00904-1298  
 Phone: 787-761-1100 Fax: 787-761-1101 www.aeg.com

REVISIONS	DATE
Issue for Review, 2022	March 2023/1
Issue for Review, 2022	March 2023/2
Issue for Review, 2022	March 2023/3
Issue for Review, 2022	March 2023/4
Issue for Review, 2022	March 2023/5
Issue for Review, 2022	March 2023/6
Issue for Review, 2022	March 2023/7

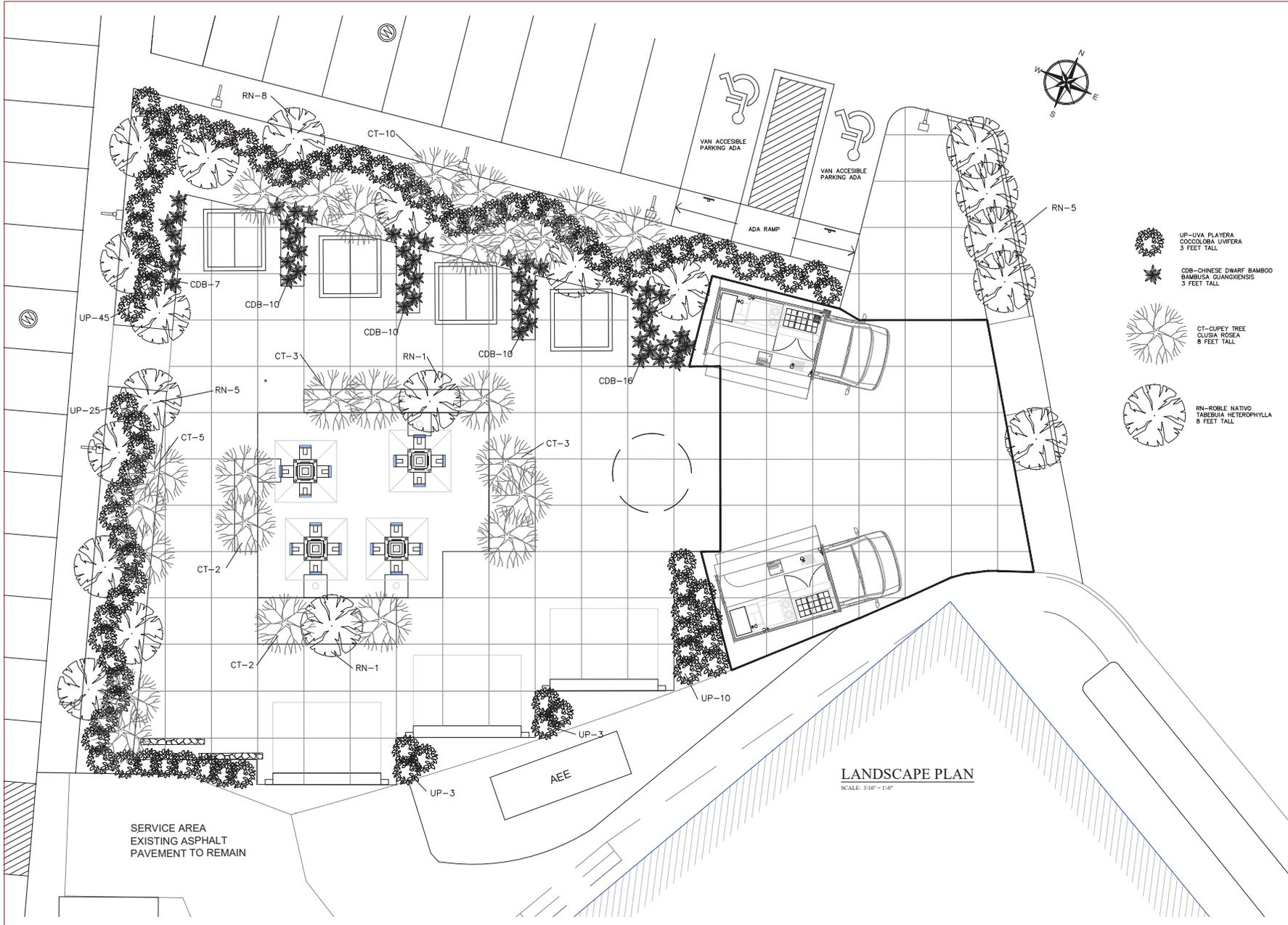
**ARCHITECTURAL PLAN**  
**FURNISH AND EQUIPMENT PLAN**  
**PLAZA DEL MERCADO**

PROJECT NAME  
 Revitalization Project - Parking and  
 Surrounding areas of Plaza del Mercado  
 Utuado, PR 00641  
 PR-CRP-001001

PHASE  
 New Condition  
 Architectural

DATE	Agosto 2023
DWG. SHEET	A-3

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 10 St. Ann's Church Avenue, Suite 400, P.O. Box 100294  
 San Juan, Puerto Rico 00901-0294  
 www.aegroup.com | Phone: (787) 754-1200

DATE	REVISION
April 2023 1	Issue for Approval - 20%
May 2023 2	Issue for Approval - 50%
July 2023 3	Issue for Review - 80%
August 2023 4	Final
September 2023 5	Final
October 2023 6	Final
November 2023 7	Final

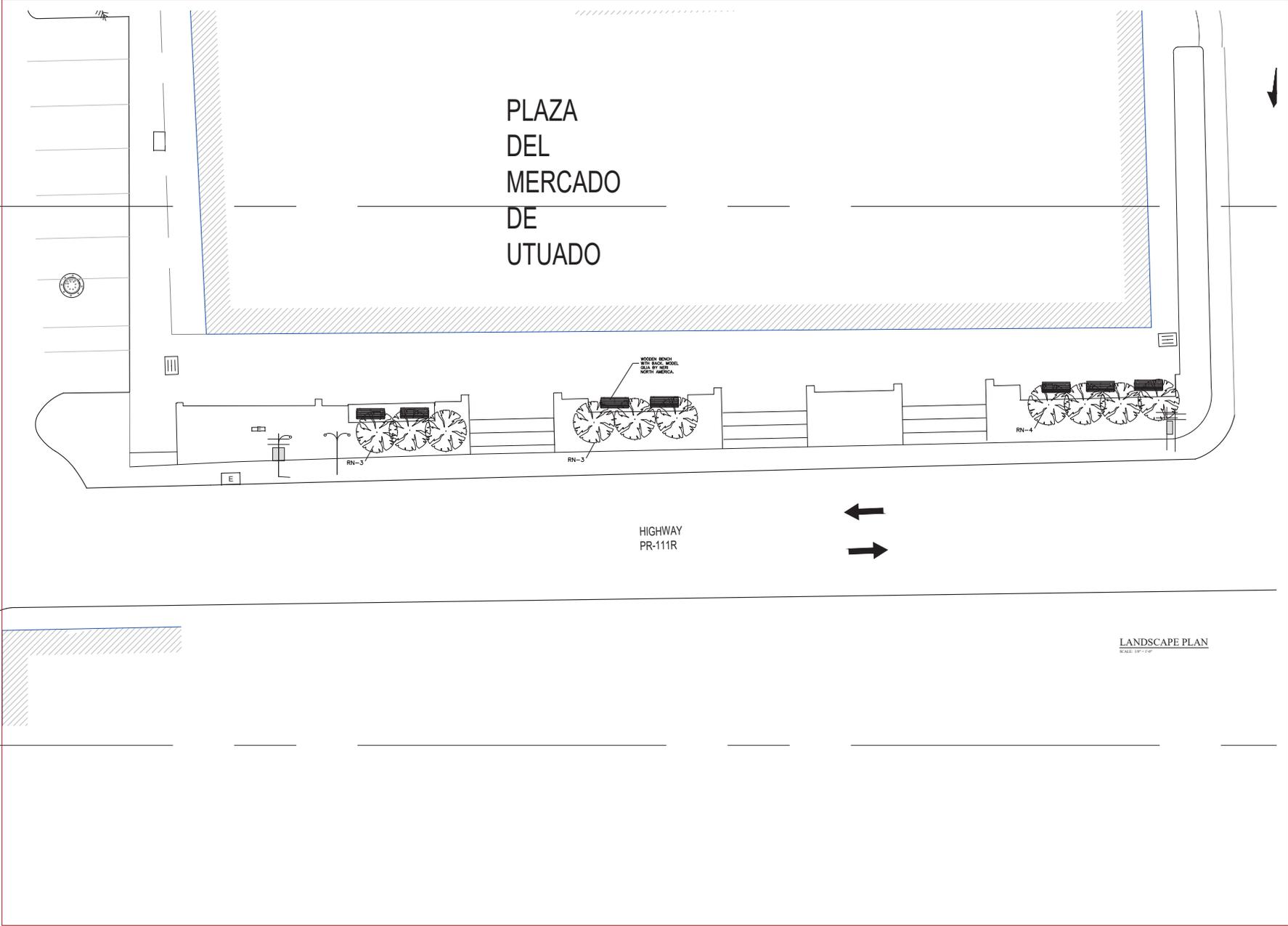
**ARCHITECTURAL PLAN**  
**LANDSCAPE PLAN**  
**PLAZA DEL MERCADO**

Revitalization Project - Parking and Surrounding areas of Plaza del Mercado  
 Utuado, PR 00641  
 PR-CRP-001001

New Condition  
 Architectural

DATE
Agosto 2023
A-4

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LANDSCAPE PLAN  
SCALE: 1/4" = 1'-0"



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1015, APOBachicao Avenue #606, Rio Piedras, PR 00724  
P.O. Box 332025, San Juan, Puerto Rico 00933-1278  
[www.aegroup.com](http://www.aegroup.com)

CONSULTANT

REVISIONS	DATE
Issue for Review, 2023	April 2023 1
Issue for Review, 2023	July 2023 2
Issue for Review, 2023	September 2023 3
ISSUANCE	October 2023 4
REVISION	November 2023 5
REVISION	December 2023 6

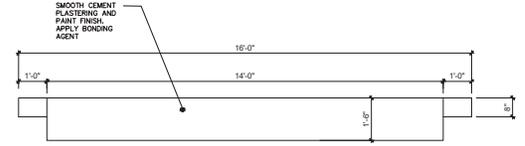
ARCHITECTURAL PLAN  
LANDSCAPE PLAN (FRONT)  
PLAZA DEL MERCADO

PROJECT NAME  
Revitalization Project - Parking and  
Surrounding areas of Plaza del Mercado  
Utuado, PR 00641  
PR-GRP-001001

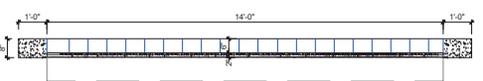
New Condition  
Architectural

DATE
Agosto 2023
DRWG SHEET
A-5

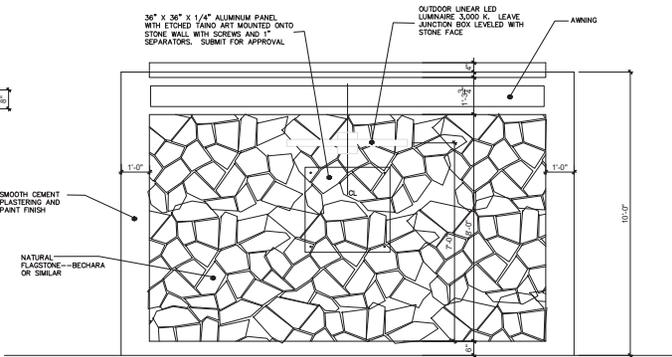
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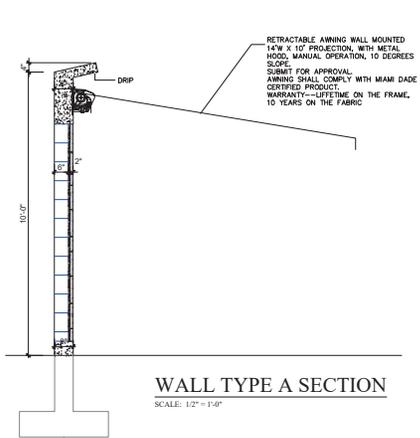
**WALL TYPE A TOP VIEW**  
SCALE: 1/2" = 1'-0"



**WALL TYPE A PLAN VIEW**  
SCALE: 1/2" = 1'-0"



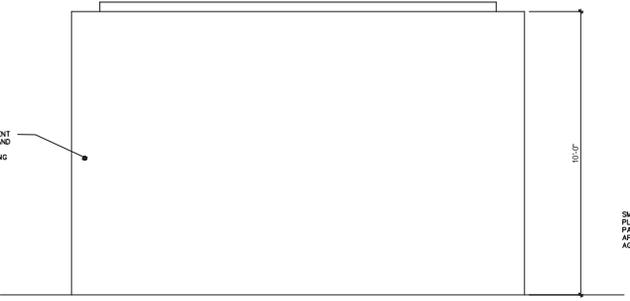
**WALL TYPE A FRONT ELEVATION**  
SCALE: 1/2" = 1'-0"



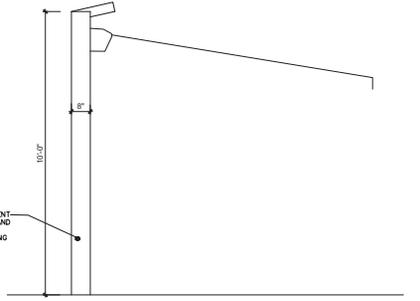
**WALL TYPE A SECTION**  
SCALE: 1/2" = 1'-0"



**TAINO ART**  
SCALE: 1/2" = 1'-0"

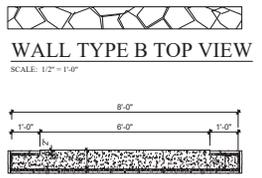


**WALL TYPE A BACK ELEVATION**  
SCALE: 1/2" = 1'-0"

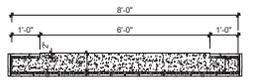


**WALL TYPE A SIDE ELEVATION**  
SCALE: 1/2" = 1'-0"

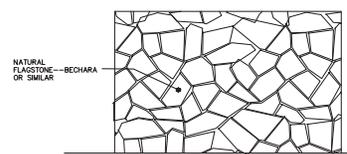
**FLAGSTONE NOTES:**  
USE A POLYMER-MODIFIED ADHERED VENEER MORTAR (COLOR GREY) FOR BONDING THE STONE TO THE WALL. JOINTS BETWEEN THE FLAGSTONE NOT TO EXCEED 1/2". FILL THE JOINTS WITH THE PMMA. APPLY A BONDING AGENT TO THE WALL. PROVIDE A SLOTTED COAT ON THE WALL. BACK BUTTER TOOE THE STONE. SUBMIT PRODUCTS FOR APPROVAL.



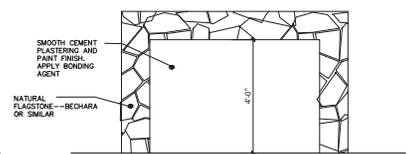
**WALL TYPE B TOP VIEW**  
SCALE: 1/2" = 1'-0"



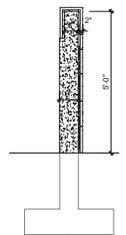
**WALL TYPE B PLAN VIEW**  
SCALE: 1/2" = 1'-0"



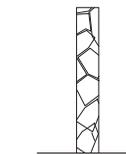
**WALL TYPE B FRONT ELEVATION**  
SCALE: 1/2" = 1'-0"



**WALL TYPE B BACK ELEVATION**  
SCALE: 1/2" = 1'-0"



**WALL TYPE B SECTION**  
SCALE: 1/2" = 1'-0"



**WALL TYPE B SIDE ELEVATION**  
SCALE: 1/2" = 1'-0"



REV	DATE	DESCRIPTION
1	April 2023	Initial Design
2	May 2023	Revised Design
3	June 2023	Final Design
4	July 2023	Construction Documents
5	August 2023	Final Review

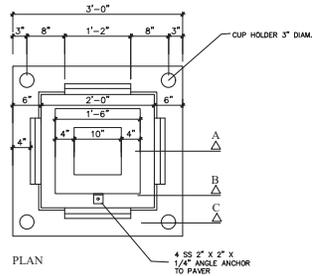
**ARCHITECTURAL PLAN**  
**WALLS ELEVATIONS**  
**PLAZA DEL MERCADO**

Revitalization Project - Parking and Surrounding areas of Plaza del Mercado  
 Utuado, PR 00641  
 PR-CRP-001001

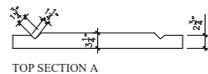
New Condition Architectural

Agosto 2023  
A-6

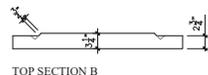
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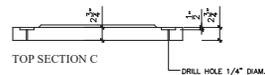
PLAN



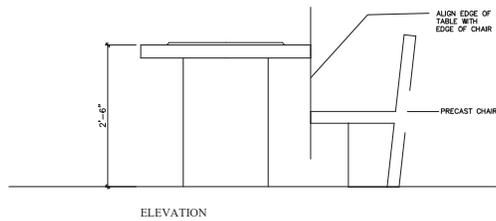
TOP SECTION A



TOP SECTION B



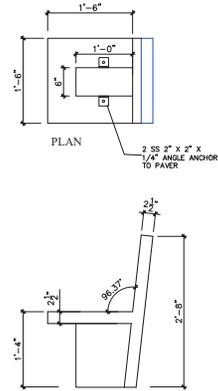
TOP SECTION C



ELEVATION

**DOMINO PRECAST TABLE**

SCALE: 1" = 1'-0"

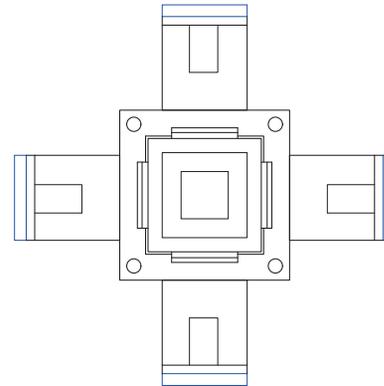


ELEVATION

**PRECAST CHAIR**

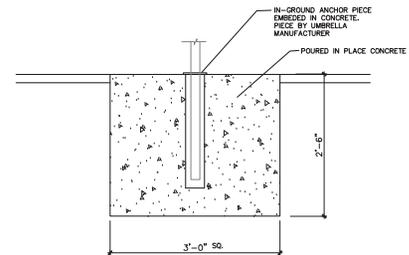
SCALE: 1" = 1'-0"

PRECAST FINISH: LIGHT GREY POLISHED  
SMOOTH FINISH SHOWING AGGREGATES.  
SUBMIT SHOP DRAWINGS AND SAMPLES  
FOR APPROVAL.



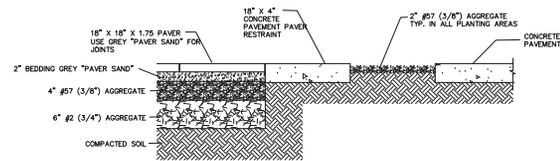
**PRECAST TABLE & CHAIR  
ENSAMBLE** 4 CHAIRS PER TABLE

SCALE: 1" = 1'-0"



**CANTILIVER UMBRELLA IN  
GROUND ANCHOR DETAIL**

SCALE: 1" = 1'-0"



**PAVER DETAIL**

SCALE: 1" = 1'-0"

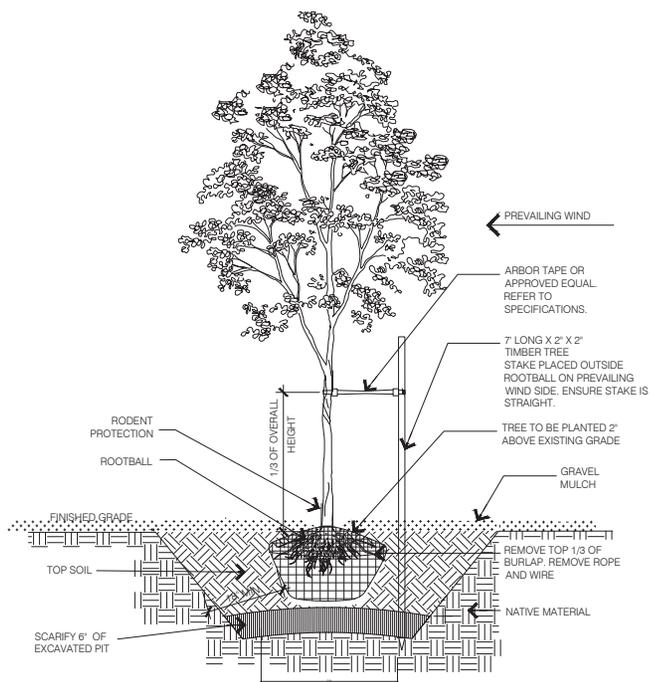
DATE	REVISIONS
11/20/2023	1
11/20/2023	2
11/20/2023	3
11/20/2023	4
11/20/2023	5
11/20/2023	6
11/20/2023	7

**ARCHITECTURAL PLAN  
DOMINO TABLE DESIGN  
PLAZA DEL MERCADO**

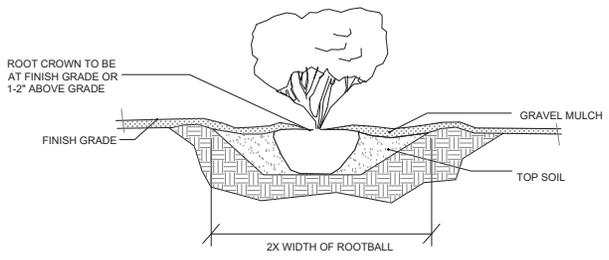
Revitalization Project - Parking and  
Surrounding areas of Plaza del Mercado  
Utuado, PR 00641  
PR-CRP-001001

New Condition  
Architectural

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**TREE PLANTING DETAIL**  
NOT TO SCALE



**SHRUB PLANTING DETAIL**

- NOT TO SCALE  
NOTES: TYPICAL SHRUB PLANTING, INDIVIDUAL PLANTING HOLE
1. DIG PLANTING HOLE AT LEAST 2X THE WIDTH OF THE ROOT BALL OR CONTAINER.
  2. SCARIFY SUBGRADE AND SIDES OF PLANTING HOLE WHEN PLANTING IN CLAY SOIL.
  3. SET THE TOP OF THE ROOT BALL LEVEL WITH THE SOIL SURFACE, OR 1-2" ABOVE IF THE SOIL.
  4. BACK FILL THE PLANTING HOLE WITH TOP SOIL.
  5. PLACE GRAVEL MULCH ON THE SURFACE TO A (SETTLED) DEPTH OF 2 TO 3 INCHES.
  6. THE TOP LAYER OF ALL PLANTING AREAS TO BE FINISHED WITH GRAVEL.

DATE	DESCRIPTION
April 2023	Issue for review
May 2023	Issue for review
June 2023	Issue for review
July 2023	Issue for review
August 2023	Issue for review
September 2023	Issue for review
October 2023	Issue for review
November 2023	Issue for review
December 2023	Issue for review

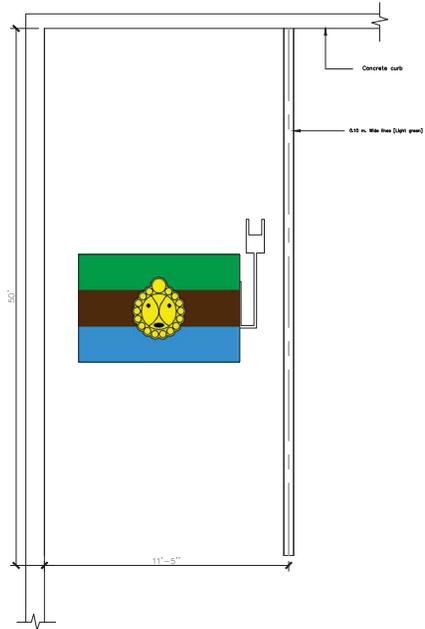
**ARCHITECTURAL PLAN**  
**PAVEMENT PLAN**  
**PLAZA DEL MERCADO**

Revitalization Project - Parking and Surrounding areas of Plaza del Mercado  
Utuaado, PR 00641  
PR-CRP-001001

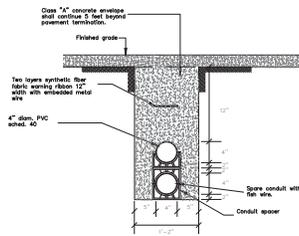
New Condition  
Architctural

DATE	Agosto 2023
DRAWN BY	A-8

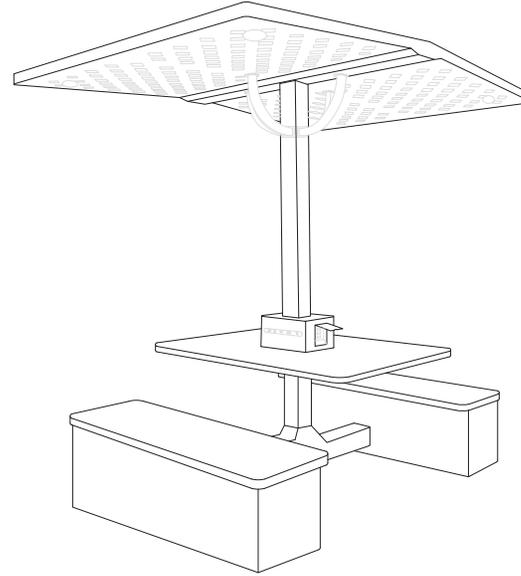
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**(A)** Typical Parking Details  
EV Recharge Station



**(B)** Typical Trench Details  
EV Recharge Station



**Solar Charging System:**

1. Solar array capacity: 1.3kW DC
2. Six 120V traditional electrical receptacles
3. Ten USB charging ports including Fast-Charging USB-C Ports and 2 Qi
4. Wireless Chargers
5. Battery: (2) 100 Ah AGM valve regulated lead acid (VRLA)
6. Fast-Charging USB/USB-C
7. 300W Inverter
8. 40A MPPT Charge Controller
9. Battery replacement cycle: five years/1000 cycles (typical)
10. All electrical and structural steel components bonded to NEC compliant earth grounding electrode (ground rod).

**Dimensions:**

1. Canopy height (high side): 8'31/2"
2. Canopy head clearance height (low side): 6'113/4"
3. Bench seat (1): 4'6" W x 1'21/2" L
4. Bench footprint (1): 4'6" W x 1'0" L
5. Table top: 4'6" W x 3'6" L
6. Table footprint (with benches): 4'6" W x 7'0" L
7. Canopy: 6'7" W x 11'0" L

**Structure:**

1. 100% powder coated structural steel.
  - a. ASTM A-500 Grade B structural steel: vertical tube and solar canopy supporting tube; thickness: 3/16.
2. Architectural cast concrete tabletop & benches.
3. Wind speed rating: 160 mph self-ballasted (no surface attachment required).
4. Durable, industrial strength construction.
5. Stain resistant & easy to clean surfaces.
6. Seats four to eight comfortably with a minimum 24" centerline distance between parallel seats.

**14** ELECTRIC CHARGE DETAIL

SOLAR WORKSTATION

REVISION	DATE	BY	CHKD
1	April 2023	JK	JK
2	May 2023	JK	JK
3	SEP 2023	JK	JK
4		JK	JK
5		JK	JK
6		JK	JK
7		JK	JK

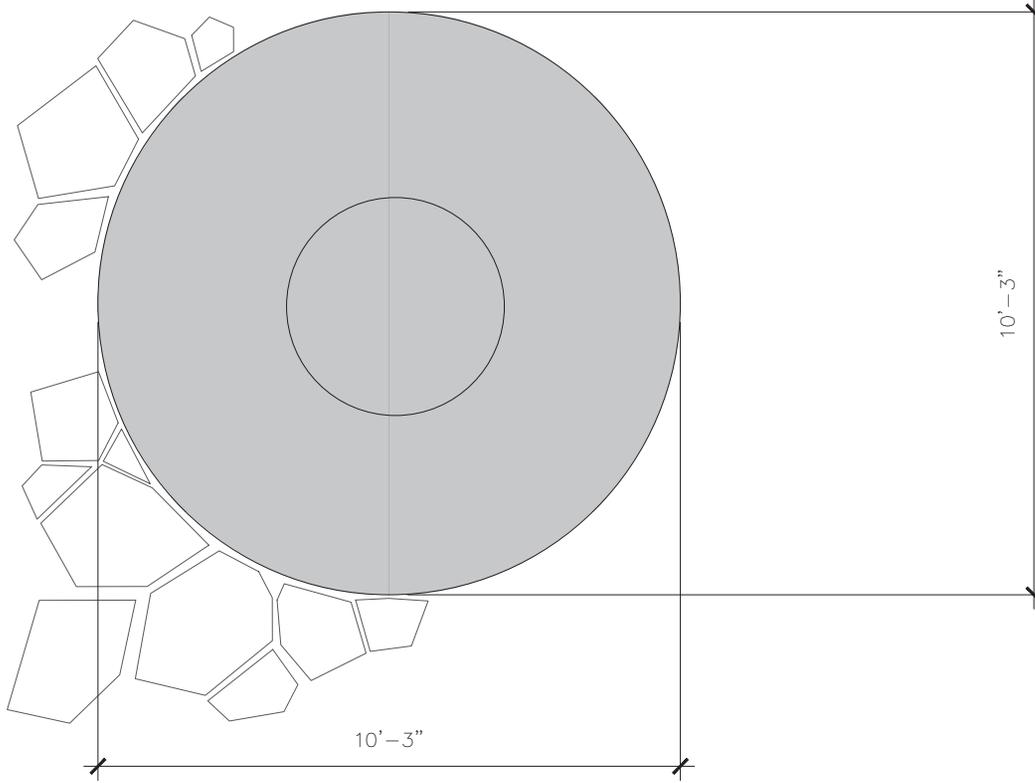
Architectural Plan  
Electric Charge Detail  
Solar Station

Revitalization Project – Parking and  
Surrounding areas of Plaza del Mercado  
Utuaado, PR 00641  
PR-CRP-001001

New Condition  
Architectural

DATE
Agosto 2023
DRAWN BY
A-9

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13 SCULPTURE ART DETAIL  
1'-0" = 1'-0"

General Instructions:

1. The area as shown to be prepared for the installation of an artistic sculpture to be prepared and specified by others.
2. Proposed art shall be no bigger than 10 ft x 10ft and a maximum height of 12 ft.
3. Proposed art shall maintain harmony with the project and its pallet of materials.
4. Selected artist, shall prepare the drawings, specifications and estimate cost for construction, after written approval of art by owner.
5. Sculpture construction shall be metal.
6. Prior to start any construction works of the sculpture, it must be approved by owner.

PROJECT NAME	DATE
Revitalization Project - Parking and Surrounding areas of Plaza del Mercado Utuado, PR 00641 PR-CRP-001001	Agosto 2023
PROJECT NO.	13
DATE	Agosto 2023
DESIGNED BY	AP
CHECKED BY	AP
DATE	Agosto 2023
PROJECT NO.	13

Architectural Plan  
Sculpture Art Details  
Plaza del Mercado

Revitalization Project - Parking and Surrounding areas of Plaza del Mercado Utuado, PR 00641 PR-CRP-001001

New Condition  
Architectural

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**General Notes:**

- Comply with latest national electrical code (nec) and with all local codes and ordinances. In case of conflict between requirements, conform with the most restrictive.
- Obtain all necessary permits and approvals from the authorities.
- Verify all electrical requirements and exact locations of equipment with drawings and specifications. Check and verify all dimensions in field.
- Coordinate the locations of all electrical equipment, light fixtures, raceways, etc., with the other trades, so as to avoid interferences with ductwork, piping, structures, etc.
- Maintain adequate access to all junction, termination and pull boxes. maintain adequate access to all equipment for operations, maintenance and repairs.
- All mounting heights indicated are to centerlines of devices except for light fixtures and as otherwise noted or per specification. Mounting heights for light fixtures are to bottom of units.
- Conduit routings shown are diagrammatic. Follow routings shown wherever practical. Coordinate actual routings with all other trades.
- Support wall mounted electrical equipment (i.e.: panelboards, starters transformers, etc.) by unistrut channels secured to floor and ceiling, unless wall is of masonry type which is of suitable construction to support weight of equipment, or except as otherwise noted or specified.
- Install all conduit above hung ceilings and in walls in finished areas. splice boxes in non-accessible locations are not permitted. In unfinished areas (e.g.: mechanical equipment rooms, etc.) outlet boxes may be surface mounted and conduit runs exposed.
- Provide minimum no.12 awg copper wiring for power and lighting systems, installed in 3/4" conduit minimum, except as otherwise noted or specified.
- Designations adjacent to electrical devices such as lighting fixtures, receptacles, etc., indicate control, panel and/or branch circuit serving that device and are to be used as a guide for proper control, connection of circuits at panels.
- Determine the arrangement and routing of branch circuits in strict accordance with the following:
  - Balance phase loads on panelboard buses as evenly as possible.
  - Run all wiring in conduit as required per drawings, specifications and applicable codes. All conduit to be concealed in finished areas.
  - Provide a separate neutral for all receptacle branch circuits. Treat neutral conductor as a current carrying conductors in accordance with the nec.
  - Combining of 120 volt branch circuits within a single conduit is permitted as follow:
 

Number of current carrying conductors	Minimum Wire size (Max. 20A circuits)	Minimum Permissible Wire size (Max. 20A circuits)
One to six	#12	#10
Seven to nine	#10	#8
- Size homerun branch circuit conductors from panelboard to the first outlet in accordance with the following maximum circuit length limits, using center of load served as the basis for computing circuit lengths:
 

Descriptions:	#12	#10	#8
120 Volt (20 A Circuit)	65 ft	110 ft	165 ft
277 Volt (20 A Circuit)	150 ft	250 ft	380 ft

 Provide minimum No. 12 awg conductors beyond the first outlet.
- Install and wire receptacles and single phase equipment in accordance with the following:
  - General locations in accordance with drawings, with exact location subject to direction of the owner's representative.
  - Ground all receptacles via separate green ground conductor run with power wires and terminating at panelboard ground bus.

- Unless otherwise noted, provide branch circuit wiring for 120vac, single phase motors, one half horsepower and less consisting of two no. 12 awg and one no. 12 awg ground in 3/4 inch conduit.
- Where oversized conductors are indicated on the drawings, which cannot be safely terminated due to lug size or wire bending space limitations, provide local junction box with nec complying feeder tap of smaller wire size suitable for proper termination at the device.
- Provide expansion fitting in all electrical raceway runs where they cross building expansion joints, or as needed for straight runs greater than 150'.
- Install all conduits as high as possible. Route and support all conduits to avoid piping, ductwork, equipment, etc. coordinate all conduit routings with all trades.
- Provide continuous wiring for control and instrumentation systems from point of origin to terminals of devices at ends of runs (i.e.: Splices are not permitted).
- Although not shown on the drawing, survey existing electrical devices and raceways, which may interfere with the work, to determine the source of power and the load it serves. Submit this information immediately to the owner's representative for review. Disconnect and either remove completely or relocate and reconnect these materials as directed by the owner's representative.
- Maintain circuit continuity for all existing equipment that is to remain in service.
- Broom clean all work areas upon completion of work each day.
- Electrical drawings are based on preliminary vendor information, the contractor shall be responsible for checking electrical ratings, control wiring, instrument wiring, etc. from certified drawings of equipment and shall make any wiring, instrument wiring, etc. from certified drawings of equipment and shall make any wiring, branch circuit or distribution modifications required without any additional cost to the owner. He shall submit a schedule of such changes for approval by the engineer. All approved changes shall be recorded on "as-built" drawings.
- All equipment shall be wired by the contractor, in accordance with the equipment manufacturers instructions, or specifications.
  - Control stations, disconnect switches, control panels, etc. 4'-6" A.F.F.
- Before installing receptacles verify their locations with the owner's representative.
- Isolate all wiring originating from emergency power source.
- The contractor shall install all recessed boxes for light switches, receptacles, etc. in a level/ plumb orientation.
- The contractor shall submit shop drawings for approval for the following items:
  - All items shown on one-line diagrams.
  - All wire and cable.
- Provide multi-wire branch circuits utilizing common neutrals (except as otherwise noted), for lighting. Circuit numbers adjacent to fixtures, devices and outlets are indicated as a guide for proper connection of multi-wire circuits at panels.
- Safety switch rating, fuse and poles will be indicated as follows:
  - For equipment connected to the motor control centers: on the one line diagram beside the symbol.
  - For equipment connected to panelboards: on the floor plans beside the symbol.
  - Refer to details on dwgs. and to specification sections 16175 & 16170 for nema type enclosure and mounting.
- Provide conduit seal fitting for all conduit entering or leaving classified area.
- Minimum conduit size for data/ communications, access control, camera fire alarm, BMS system shall be 3/4". for conduit material refer to elec. specifications.

**Abbreviations:**

A	Ampers	LGT	Lighting
AC	Alternating current	MAX	Maximum
AFF	Above finished floor	MCB	Main circuit breaker
AFG	Above finished grade	MCC	Motor control center
AIC	Ampers interrupting capacity	MH	Metal halide
ATS	Automatic transfer switch	MIN	Minimum
BKR	Breaker	MLO	Main lugs only
BLDC	Building	MOV	Motorized valve
CU	Copper	MTD	Mounted
DIA	Diameter	NEC	National electrical code
DPTD	Double pole double throw	NEUT	Neutral
ELEC	Electrical	NTS	Not to scale
EP	Explosion proof	P	Number of poles or phases
ES	Emergency proof	PB	Pull box
ESB	Energy saving ballast	PC	Photoelectric control
EXIST	Existing	PLC	Programmable logic controller
FAAP	Fire alarm annunciator panel	PNL	Panel
FACP	Fire alarm control panel	QTY	Quantity
FVNR	Full voltage non reversing	RO	Run-off
FVR	Full voltage reversing	SD	Smoke detector
FWE	Furnished with equipment	SH	Shielded
GFI	Ground fault circuit interrupter	SS	Stainless steel
GND	Ground	SW	Switch
HOA	Hand-off-automatic	SWBD	Switchboard
HOR	Hand-off-remote	SWGR	Switchgear
HP	Horsepower	2S2W	Two speed, two windings
HPF	High power factor	TC	Time clock
HPS	High pressure sodium	TVSS	Transient voltage surge suppressor
JOA	Jog-off-auto	TYP	Typical
IG	Isolated ground	UPS	Uninterruptible power supply
INST	Instrumentation	V	Volt
KVA	Kilovolt-ampers	VFD	Variable frequency drive
KW	Kilowatt	W	Wire, with or watt
LAN	Local area network	WP	Weatherproof

**Legenda:**

- Conduit run to panel arrows indicate number of circuits in conduit. Number of conductors indicated by crossed lines. Where no crossed lines appear use 2# 12 thin conductors. Minimum size of conduit shall be 3/4" rigid galvanized and/or minimum conductor size shall be #12 thin, unless otherwise indicated.
- Exposed conduit run.
- Ceiling mounted junction box, 4"x 4" with appropriate cover.
- Wall mounted junction box, 4"x 4" with appropriate cover. Height as indicated on drawings.
- Conduit turning down.
- Conduit turning on.
- Recessed mounted panelboard-top at 6'-0" AFF. See panelboard schedule.
- Flexible steelite motor connection.
- Single pole mount light fixture and type
- Twist-lock mechanical interlock, switched safety enclosure (nimit), mechanically interlocked, type 4x rated system with shrouded watertight plug with 30 amp, 3 pole, 4 wires, 120/240 volts (14-30), cat. no. hb12710w and mating plug hb2711w.



DATE	DESCRIPTION
April 2023	Issue for bidding
May 2023	Issue for bidding
July 2023	Issue for bidding
Aug 2023	Issue for bidding
Aug 2023	Issue for bidding
Aug 2023	Issue for bidding
Aug 2023	Issue for bidding
Aug 2023	Issue for bidding
Aug 2023	Issue for bidding
Aug 2023	Issue for bidding

**ELECTRICAL PLAN  
GENERAL NOTES  
Plaza del Mercado**

Revitalization Project - Parking and Surrounding areas of Plaza del Mercado Utuado, PR 00641 PR-CRP-001001

New Condition Electrical

DATE	Agosto 2023
REV. DESC.	E-1

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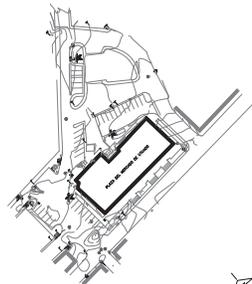


**Notes:**

- Contractor shall provide and install 4 # 2 x HHW and 1 # 6 TW ground cable in 1 1/2" Ø PVC SCH 40 conduit to be connected to new 100 AMP, 3 pole, 250V circuit breaker to be installed at existing distribution panelboard space position. Work to be field verified prior to start work, contractor shall provide all necessary breaker mounting kit for proper installation.
- New receptacle panelboard shall be installed firmly to existing building wall structure. All entry conduit shall be bottom area. All transition between PVC conduit and rigid galvanized conduit shall be protected in concrete envelope.
- New twist-lock mechanical interlock switched safety shall be installed in a 36" height concrete pedestal. Exact location to be coordinated with owner representative prior to start work. New feeder conduit entrance shall be through bottom side area.
- Contractor shall provide and install 4 # 1/0 x HHW and 1 # 6 TW ground cable in 2" Ø PVC SCH 40 conduit to be connected to new meter bank space position.
- Contractor shall provide and install 3 # 8 THW and 1 # 10 TW ground cable in 1" Ø PVC SCH 40 conduit to be connected to new meter bank space position.
- Contractor shall provide and install new electrical vehicle charger, level 2, 9.6KW / 40A, 208V, single phase, with pedestal, universal PHEV and BEV charging, UL Safety certified, NEMA 4 enclosure similar to terra AC Wallbox UL.
- Contractor shall connect new feeders for RP-2 and food truck electrical provision to existing spare meter bank.

**Legenda:**

- Conduit run to panel areas indicate number of circuits in conduit. Number of conductors indicated by crossed lines. Where no crossed lines appear use 2# 12 thin conductors. Minimum size of conduit shall be 2" rigid galvanized or minimum conductor size shall be #12 thin, unless otherwise indicated.
- Conduit run embedded in floor slab or wall.
- x Exposed conduit run.
- ⊙ Ceiling mounted junction box, 4" x 4" with appropriate cover.
- ⊕ Wall mounted junction box, 4" x 4" with appropriate cover. Height as indicated on drawings.
- ↪ Conduit turning down.
- ↻ Conduit turning on.
- Recessed mounted panelboard-top at 6'-0" AFF. See panelboard schedule.
- ~ Flexible steel motor connection.
- Single pole mount light fixture and type
- ⊕ Twist-lock mechanical interlock switched safety enclosure (hblm11), mechanically interlocked, type 4x rated system with shrouded watertight plug with 30 amp, 3 pole, 4 wire, 120/240 volts (14-30), cat. no. hbl2710sw and mating plug hbl2711sw.



Key Plan  
NTS

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DATE	DESCRIPTION
April 2023	1. Initial Design
May 2023	2. Final Design
June 2023	3. Construction
July 2023	4. As-Built
August 2023	5. Final Review

Electrical Plan  
Layout Site View  
Plaza del Mercado

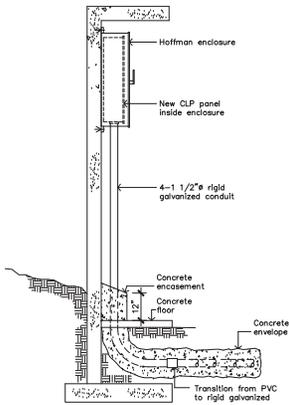
Revitalization Project - Parking and Surrounding areas of Plaza del Mercado  
Utuado, PR 00641  
PR-CRP-001001

New Condition  
Electrical

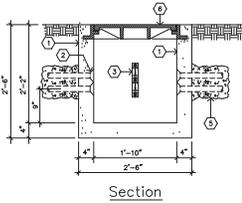
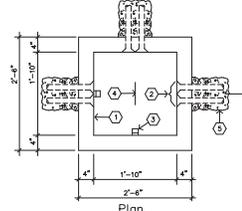
DATE
Agosto 2023
REV. NO.
E-2

17 ELECTRICAL LAYOUT SITE PLAN VIEW  
3/8" = 1'-0"

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1 CLP Panel (CLP-2 & 3) Installation  
Not to scale



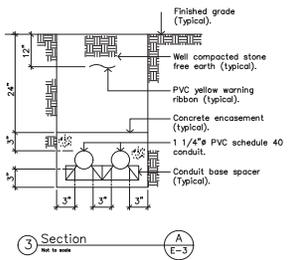
2 Typical Handhole Detail for Parking Lot and Street Lighting (HH-1 to HH-8)

Handhole Items Description:

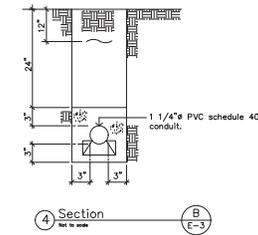
- 1 Pre-fabricated concrete underground handhole for roadway loading as per ornamental poles design, inc.
- 2 Long end bell for PVC Schedule 40 conduit (as per corresponding section). Equal to Vassallo EB Series.
- 3 Polymer cable saddle rack, 2 saddle track-2" opening equal to underground devices, inc. Cat No. 2SR3N.
- 4 Plastic insert for cable hook.
- 5 Concrete envelope as per corresponding section.
- 6 Frame cover and lid, for roadway loading as per ornamental pole, inc.

Legend:

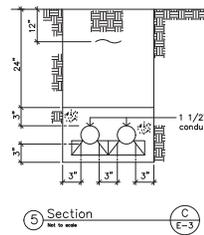
- Conduit run to panel arrows indicate number of circuits in conduit. Number of conductors indicated by crossed lines. Where no crossed lines appear use #12 thin conductors. Minimum size of conduit shall be 2" rigid galvanized and minimum conductor size shall be #12 thin, unless otherwise indicated.
- Conduit run embedded in floor slab or wall.
- x Exposed conduit run.
- ⊙ Ceiling mounted junction box, 4" x 4" with appropriate cover.
- ⊙ Wall mounted junction box, 4" x 4" with appropriate cover. Height as indicated on drawings.
- Conduit turning down.
- Conduit turning up.
- Recessed mounted panel-board-top at 6'-0" AFF. See panelboard schedule.
- Flexible steelite motor connection.
- Single pole mount light fixture and type
- Twist-lock mechanical interlock switched safety enclosure (hbmitl), mechanically interlocked, type 4x rated system with shrouded watertight plug with 30 amp, 3 pole, 4 wires, 120/240 volts (14-30), cat. no. hb2710sw and mating plug hb2711sw.
- ⊙ Ceiling outlet with incandescent or fluorescent lighting fixture type as per lighting fixture schedule, letter denotes type.
- ⊙ Ground fault duplex convenience outlet, 20A, 120V, 2 poles, 3W, specification grade. Grounding type, surface mounted in FS type box, step-up at 6" AFF. Similar to Hubbell Cat. OF 5263 I with weatherproof cover. Exact location to be field coordinated.



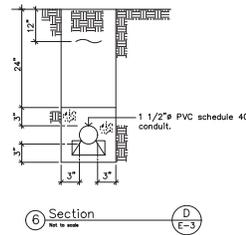
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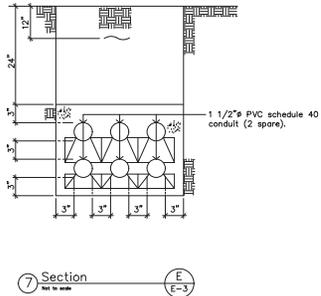
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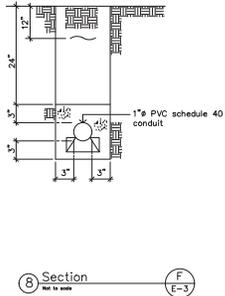
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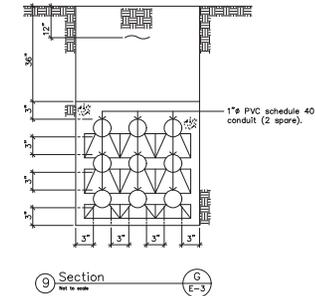
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7 Section E-E-3  
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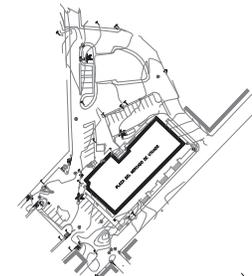


8 Section F-E-3  
Not to scale



9 Section G-E-3  
Not to scale

18 ELECTRICAL LAYOUT DETAILS  
Not to scale



Key Plan  
NTS

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DATE	DESCRIPTION
April 2023, 1	Issue for submittal, 20%
May 2023, 2	Issue for submittal, 50%
SEP. 2023, 3	Issue for submittal, 100%
	REVISION

Electrical Plan  
Electrical Layout Details  
Plaza del Mercado

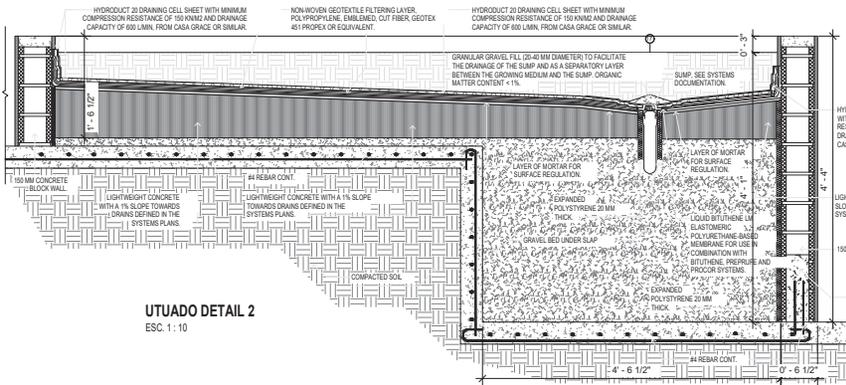
Revitalization Project - Parking and Surrounding areas of Plaza del Mercado  
Utuaodo, PR 00641  
PR-CRP-001001

New Condition  
Electrical

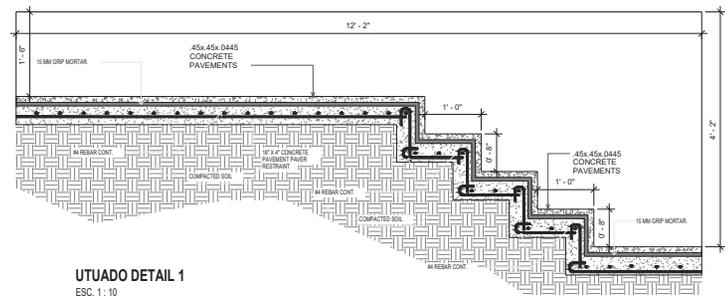
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Agosto 2023	
	E-3



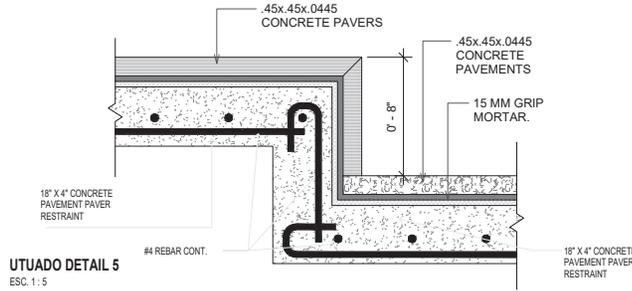
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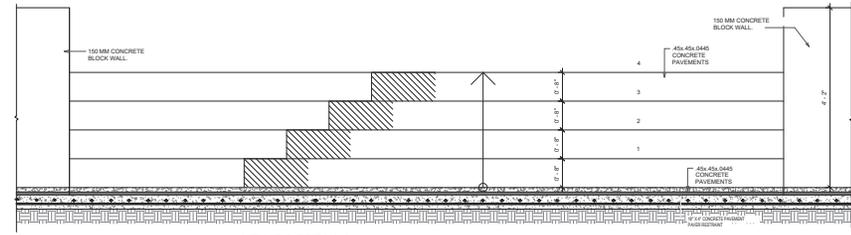
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ESC. 1: 10



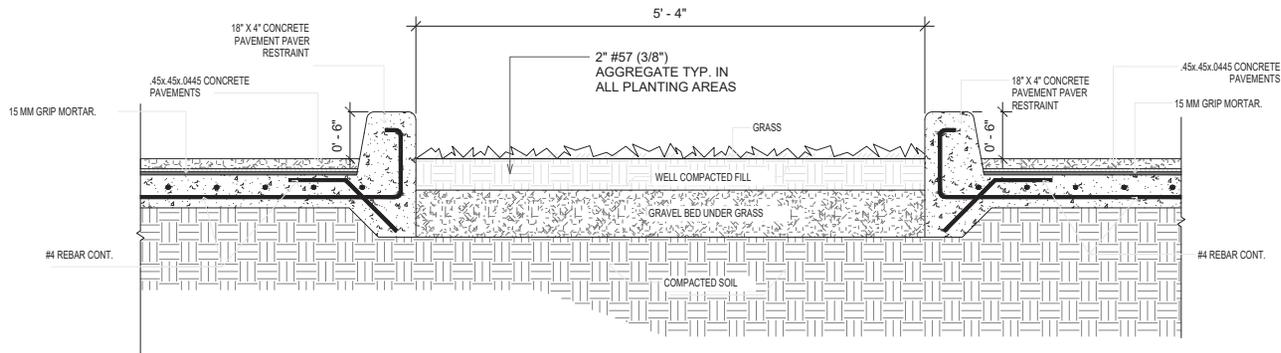
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ESC. 1: 10



**UTUADO DETAIL 5**  
ESC. 1: 5



**UTUADO DETAIL 3**  
ESC. 1: 10



**UTUADO DETAIL 4**  
ESC. 1: 10

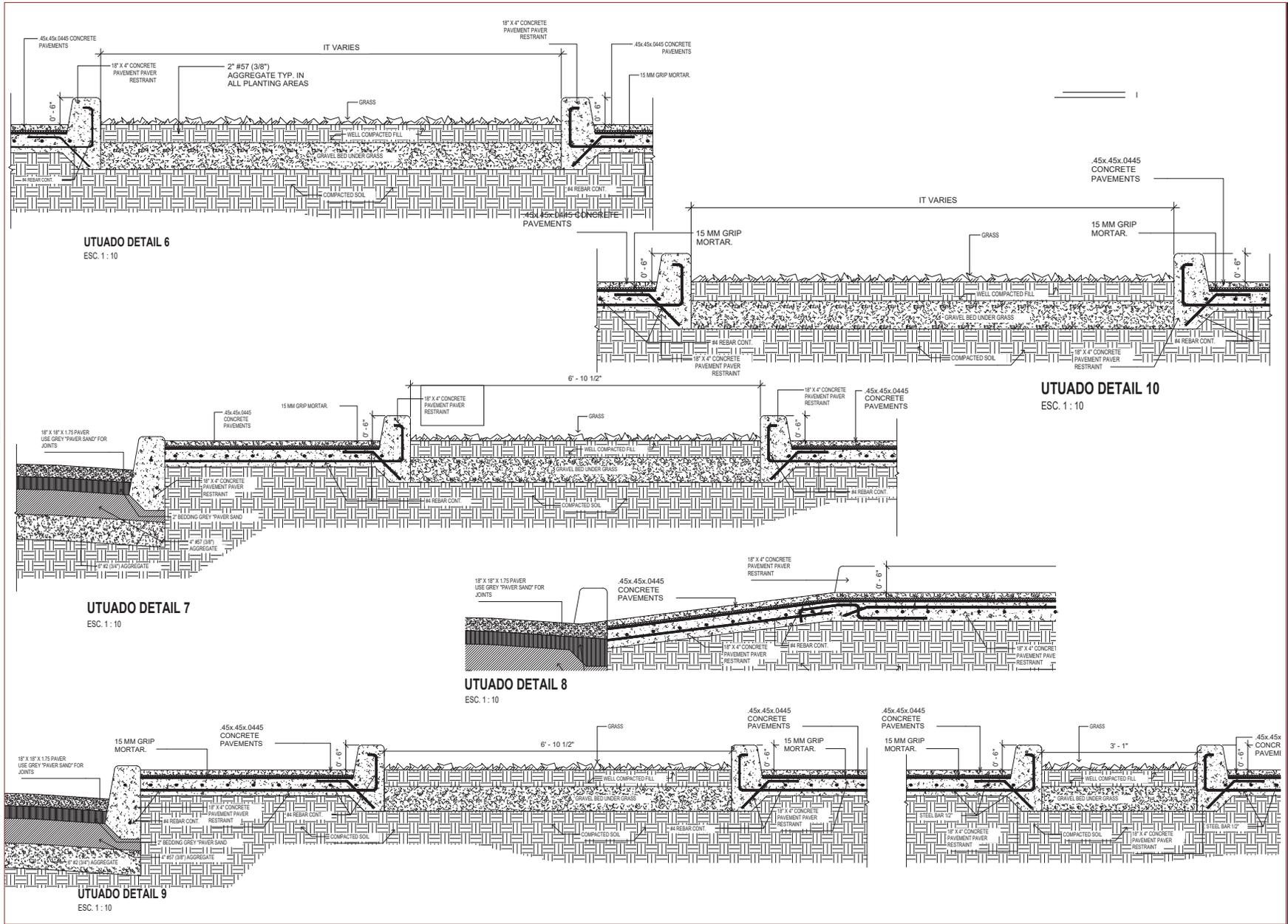
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Jan-2024	JF	JF
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Mar-2024	JF	JF
Apr-2024	JF	JF
May-2024	JF	JF
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Sep-2024	JF	JF
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Nov-2024	JF	JF
Dec-2024	JF	JF

**CIVIL PLAN**  
**DETAILS 1 TO 5**  
**PLAZA DEL MERCADO**

Revitalization Project - Parking and  
Surrounding areas of Plaza del Mercado  
Utuaado, PR 00641  
PR-CRP-001001

New Condition  
CIVIL

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**UTUADO DETAIL 6**  
ESC. 1: 10

**UTUADO DETAIL 10**  
ESC. 1: 10

**UTUADO DETAIL 7**  
ESC. 1: 10

**UTUADO DETAIL 8**  
ESC. 1: 10

**UTUADO DETAIL 9**  
ESC. 1: 10

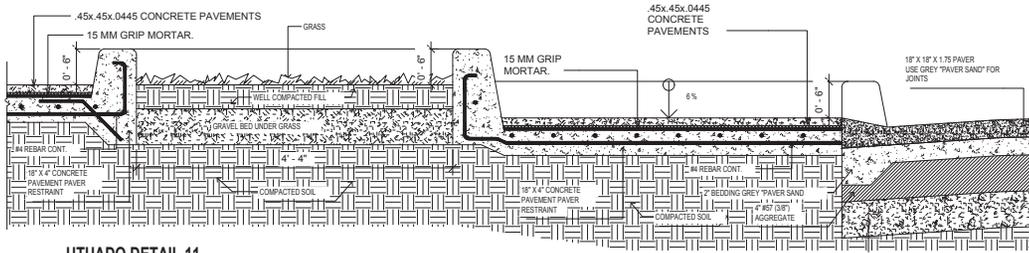


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ENERO 2024	AP	AP
FEBRERO 2024	AP	AP
MARZO 2024	AP	AP
ABRIL 2024	AP	AP
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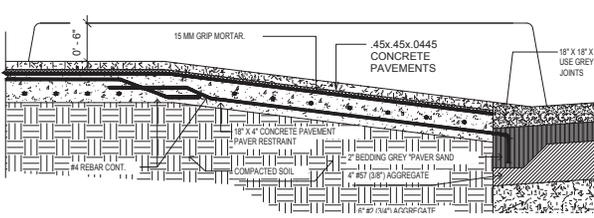
**CIVIL PLAN**  
 Revitalization Project - Parking and  
 Surrounding areas of Plaza del Mercado  
 Utuado, PR 00641  
 PR-CRP-001001

New Condition  
 CIVIL  
 Agosto 2023  
 C-2

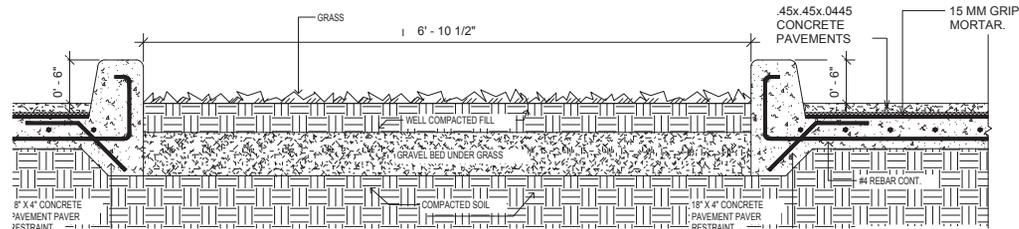
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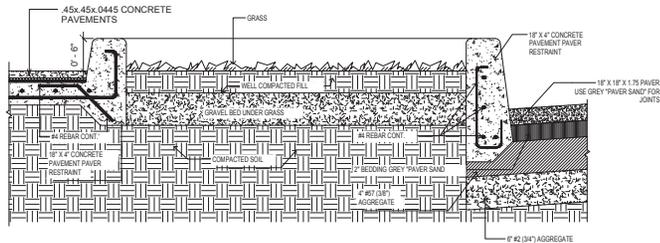
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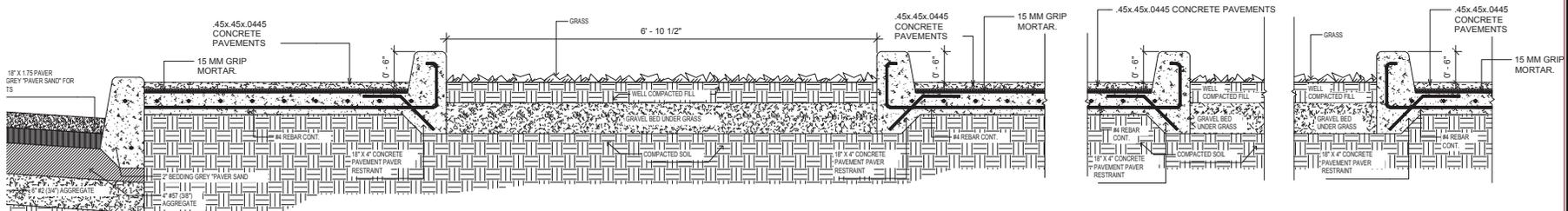
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TUUADO DETAIL 16



TUUADO DETAIL 13



TUUADO DETAIL 14



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June 2023	JMS	ASB
July 2023	JMS	ASB
August 2023	JMS	ASB
September 2023	JMS	ASB
October 2023	JMS	ASB
November 2023	JMS	ASB
December 2023	JMS	ASB

CIVIL PLAN  
 REVITALIZATION PROJECT - PARKING AND  
 SURROUNDING AREAS OF PLAZA DEL MERCADO  
 UTUADO, PR 00641  
 PR-CR-001001

Revitalization Project - Parking and  
 Surrounding areas of Plaza del Mercado  
 Utuado, PR 00641  
 PR-CR-001001

# **Appendix F**

## **Farmlands**

Farmland Classification—Arecibo Area, Puerto Rico Northern Part



Map Scale: 1:652 if printed on A portrait (8.5" x 11") sheet.

0 5 10 20 30 Meters

0 30 60 120 180 Feet

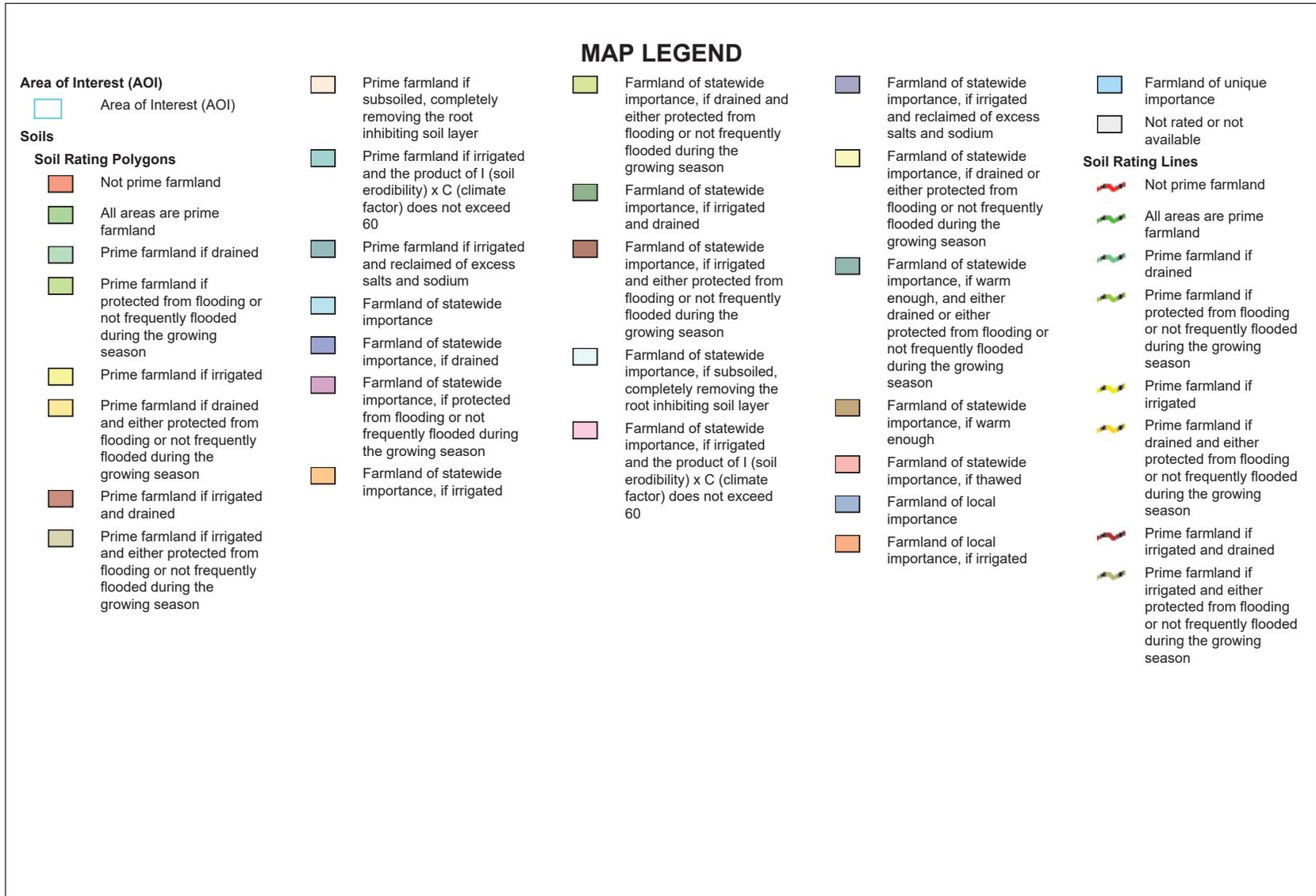
Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 19N WGS84



Natural Resources  
Conservation Service

Web Soil Survey  
National Cooperative Soil Survey

4/8/2024  
Page 1 of 5



Farmland Classification—Arecibo Area, Puerto Rico Northern Part

	Prime farmland if subsoiled, completely removing the root inhibiting soil layer		Farmland of statewide importance, if drained and either protected from flooding or not frequently flooded during the growing season		Farmland of statewide importance, if irrigated and reclaimed of excess salts and sodium		Farmland of unique importance		Prime farmland if subsoiled, completely removing the root inhibiting soil layer
	Prime farmland if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60		Farmland of statewide importance, if irrigated and drained		Farmland of statewide importance, if drained or either protected from flooding or not frequently flooded during the growing season	<b>Soil Rating Points</b>			Prime farmland if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60
	Prime farmland if irrigated and reclaimed of excess salts and sodium		Farmland of statewide importance, if irrigated and either protected from flooding or not frequently flooded during the growing season		Farmland of statewide importance, if warm enough, and either drained or either protected from flooding or not frequently flooded during the growing season		Not prime farmland		Prime farmland if irrigated and reclaimed of excess salts and sodium
	Farmland of statewide importance		Farmland of statewide importance, if protected from flooding or not frequently flooded during the growing season		Farmland of statewide importance, if thawed		All areas are prime farmland		Farmland of statewide importance
	Farmland of statewide importance, if drained		Farmland of statewide importance, if subsoiled, completely removing the root inhibiting soil layer		Farmland of statewide importance, if warm enough		Prime farmland if drained		Farmland of statewide importance, if drained
	Farmland of statewide importance, if protected from flooding or not frequently flooded during the growing season		Farmland of statewide importance, if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60		Farmland of statewide importance, if thawed		Prime farmland if irrigated		Farmland of statewide importance, if protected from flooding or not frequently flooded during the growing season
	Farmland of statewide importance, if irrigated				Farmland of local importance		Prime farmland if drained and either protected from flooding or not frequently flooded during the growing season		Farmland of statewide importance, if irrigated
					Farmland of local importance, if irrigated		Prime farmland if irrigated and drained		
							Prime farmland if irrigated and either protected from flooding or not frequently flooded during the growing season		

Farmland Classification—Arecibo Area, Puerto Rico Northern Part

<ul style="list-style-type: none"> <li> Farmland of statewide importance, if drained and either protected from flooding or not frequently flooded during the growing season</li> <li> Farmland of statewide importance, if irrigated and drained</li> <li> Farmland of statewide importance, if irrigated and either protected from flooding or not frequently flooded during the growing season</li> <li> Farmland of statewide importance, if subsoiled, completely removing the root inhibiting soil layer</li> <li> Farmland of statewide importance, if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60</li> </ul>	<ul style="list-style-type: none"> <li> Farmland of statewide importance, if irrigated and reclaimed of excess salts and sodium</li> <li> Farmland of statewide importance, if drained or either protected from flooding or not frequently flooded during the growing season</li> <li> Farmland of statewide importance, if warm enough, and either drained or either protected from flooding or not frequently flooded during the growing season</li> <li> Farmland of statewide importance, if warm enough</li> <li> Farmland of statewide importance, if thawed</li> <li> Farmland of local importance</li> <li> Farmland of local importance, if irrigated</li> </ul>	<ul style="list-style-type: none"> <li> Farmland of unique importance</li> <li> Not rated or not available</li> </ul> <p><b>Water Features</b></p> <ul style="list-style-type: none"> <li> Streams and Canals</li> </ul> <p><b>Transportation</b></p> <ul style="list-style-type: none"> <li> Rails</li> <li> Interstate Highways</li> <li> US Routes</li> <li> Major Roads</li> <li> Local Roads</li> </ul> <p><b>Background</b></p> <ul style="list-style-type: none"> <li> Aerial Photography</li> </ul>	<p>The soil surveys that comprise your AOI were mapped at 1:20,000.</p> <div style="border: 1px solid black; padding: 5px; margin: 5px 0;"> <p>Warning: Soil Map may not be valid at this scale.</p> <p>Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.</p> </div> <p>Please rely on the bar scale on each map sheet for map measurements.</p> <p>Source of Map: Natural Resources Conservation Service          Web Soil Survey URL:          Coordinate System: Web Mercator (EPSG:3857)</p> <p>Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.</p> <p>This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.</p> <p>Soil Survey Area: Arecibo Area, Puerto Rico Northern Part          Survey Area Data: Version 19, Sep 13, 2023</p> <p>Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.</p> <p>Date(s) aerial images were photographed: Jan 23, 2022—Mar 1, 2022</p> <p>The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.</p>
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## Farmland Classification

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
UI	Urban land	Not prime farmland	1.3	100.0%
<b>Totals for Area of Interest</b>			<b>1.3</b>	<b>100.0%</b>

### Description

Farmland classification identifies map units as prime farmland, farmland of statewide importance, farmland of local importance, or unique farmland. It identifies the location and extent of the soils that are best suited to food, feed, fiber, forage, and oilseed crops. NRCS policy and procedures on prime and unique farmlands are published in the "Federal Register," Vol. 43, No. 21, January 31, 1978.

### Rating Options

*Aggregation Method:* No Aggregation Necessary

*Tie-break Rule:* Lower

**Appendix G**  
**Floodplain Management**

**U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT:**  
**8-STEP PROCESS PR-CRP-0001001- Estacionamiento y áreas**  
**circundantes a la Plaza del Mercado**

**Step 1: *Determine whether the action is located in a 100-year floodplain (or a 500-year floodplain for critical actions) or wetland.***

The proposed action is located in a 100 year floodplain. Per Floodplain Insurance Rate Map 72000C0615H, effective date November 18, 2009, most of the north portion of the project is located within a Special Flood Hazard Area, or within the 1% annual chance of flood hazard zone. The middle southern section of this linear project is located within Zone X, or the 0.2% annual chance of flood hazard zone. The southern portion of the project area is located outside the flood zone. No wetlands present inside the project site. The FIRM and the NWI maps are attached to this document.

The Municipality of Utuado in its recovery efforts after the impact of hurricanes Irma and María is looking to provide the community with open spaces for recreation and mental distraction within the urban areas. Since hurricanes damaged the parking lot near the Plaza del Mercado, the Municipality of Utuado is seeking to rehabilitate the parking area, and at the same time provide the community with an open space for passive recreation. Also, in case of emergency, these parking can serve as a meeting point. This proposal aims to rehabilitate and improve existing conditions of surrounding areas from the Plaza del Mercado. The proposed changes include parking spaces (40 to 45 parking spaces) in addition to green areas, seating areas, solar charge stations, game tables, and contemporary roofs on the sides of the parking lots and the Plaza del Mercado. New design will observe compliance with ADA law.

The project will consist of the following components:

- 1. Two areas for Food Trucks which will be leased to merchants in compliance with the provisions of Article 2.031 of the Municipal Code*
- 2. Domino and chess Game tables*
- 3. Two Charging station for electric vehicles*
- 4. Solar recharge stations for cellphones, tablets and laptops.*
- 5. WIFI access*
- 6. Green areas*
- 7. Solar for Primary lighting*

8. *Secondary lighting (LED Bollards lighting)*
9. *Partial Ceiling of areas*
10. *Sidewalks in accordance with ADA Law*
11. *Designated parking area for bicycles*

The proposed action entails no in-water activities. The proposed project activities would occur within the existing footprint and would not change, but rather improve, the preexisting design, function, and location as the original.

**Step 2: *Notify the public for early review of the proposal and involve the affected and interested public in the decision-making process.***

Citizens were notified about this project and its location through an announcement in the newspaper "El Vocero" dated October 26, 2023 and signed by the secretary of the department of housing. The ad targeted local residents, including those in the floodplain. A copy of the published notification is kept in the project's environmental review record and attached to this document. The required 15 calendar days were allowed for public comment. As required by regulation, the notice also included the name, proposed location and description of the activity, total number of floodplain and wetland acres involved, and the responsible entity contact for information as well as a website and the location and hours of the office at which a full description of the proposed action can be viewed.

At the end of this document, there is a certification letter that no comments were made.

**Step 3: *Identify and evaluate practicable alternatives.***

As per the project scope are improvements to the existing parking and surrounding areas of the Market Square at the Municipality of Utuado, there is only two alternatives:

1. Make improvements within floodplain.
  - a) The project won't cause damage to the floodplain due to the typology of the scope of works.
  - b) It will benefit the community and Municipality needs.
  - c) The proposed actions won't increase the existing footprint.
2. No action.

- a) Not viable due to the necessity of the community and the Municipality of Utuado to improve these facilities.
- b) The proposed project will provide a better design of the existing conditions implementing open spaces for recreational purposes.

**Step 4: *Identify Potential Direct and Indirect Impacts of Associated with Floodplain Development.***

The project will have no impacts to the floodplain because associated to the improvements due to it will not expand the existing footprint. The design contemplates location of existing drainage system so that water can flow correctly. The Municipality of Utuado is a member of the National Flood Insurance Program and structures located in the flood zone must comply with the local flood ordinance.

In addition to concerns for life and property, the city considered the natural and beneficial values of the floodplain. The natural resources of the floodplain include water, biological, and societal resources. As the project scope consist of improvements on an existing parking and the surroundings of the market square of the Municipality of Utuado, there is no additional impact on the natural resources of the area, during construction phase mitigation of debris generated must take place. For the implementation of green areas, native trees will be used, the design will complement the natural features of the area and to offer an aesthetically pleasing structure. The improvements will also maintain an open space for recreational opportunities.

**Step 5: *Where practicable, design or modify the proposed action to minimize the potential adverse impacts to lives, property, and natural values within the floodplain and to restore, and preserve the values of the floodplain.***

- (a) Preserving Lives: Local agencies notifies citizens when the flood levels reach an alarming point. It is an outside public location. Additionally, as it's an existing site, there is an implemented system for flooding.
- (b) Preserving Property: Public Market Plaza and its surrounding areas of market square at the Municipality of Utuado possesses Flood Insurance.
- (c) Preserving Natural Values and Minimizing Impacts: Impacts to the floodplain will also be minimized due to construction occurring within the footprint of the existing structure. The design will implement mitigation for all debris generated during the construction phase.

**Step 6: *Reevaluate the Alternatives.***

As the proposed improvements are for an existing parking and surrounding areas of the market square, the alternative that will benefit the community of the Municipality of Utuado is making the improvements to the existing structure that is in floodplain. The no action alternative is impracticable because it will not satisfy the needs of the Municipality of Utuado and its community.

**Step 7: *Determination of No Practicable Alternative***

It is the Municipality of Utuado determination that there is no practicable alternative locating the project outside the flood zone. This is due to: 1) the needs to revitalize the parking and surroundings areas of the square plaza due to hurricanes aftermaths; 2) the necessity of the community for open recreational spaces for all ages; and 3) the necessity of ADA compliance parking lot.

A final notice was published on January 09, 2024 at a local newspaper “Primera Hora” detailing the reasons why the modified project must be located in the floodplain, a list of alternatives considered, and all mitigation measures taken to minimize adverse impacts and preserve natural and beneficial floodplain values. No concerns were expressed by the public concerning this notice. The alternative 1 (shown in step 3) is considered a viable option, having no impact to the floodplain and wetland areas will take place, since the project consists of an existing facility in a site that is currently in use and constitutes the actual commercial urban area of the municipality of Utuado. Best Management practices are being employed during the design phase and will be implemented during the construction phase.

**Step 8: *Implement the Proposed Action***

The Municipality of Utuado will assure that this plan, as modified and described above, is executed and necessary language will be included in all agreements with participating parties. The Municipality of Utuado and designer will take an active role in monitoring the construction process to ensure no unnecessary impacts occur nor unnecessary risks are taken.



aviso público

Aviso Final y Explicación Pública de una Actividad Propuesta en un Valle Inundable de 100 Años

Estacionamiento y áreas circundantes a la Plaza del Mercado PR-CRP-001001

Para: Todas las partes interesadas, grupos e individuos

Este aviso notifica que el Departamento de la Vivienda de Puerto Rico (Vivienda) completó una evaluación según establece la Orden Ejecutiva 1988, de acuerdo con los reglamentos de HUD en 24 CFR 55.20 Subparte C - Procedimientos para Hacer Determinaciones sobre el Manejo del Valle Inundable y la Protección de Humedales. La actividad está subvencionada con fondos del Programa de Revitalización de la Ciudad, Subvención en Bloque para el Desarrollo Comunitario - Recuperación ante Desastres (CDBG-DR), números de subvención B-77-DM-72-0001 y B-8-DR-72-0001. El proyecto propuesto, PR-CRP-001001, está localizado en la calle Dr. Cueto #3, Utuado, PR 00664, coordenadas 18.265344, -66.697809, con una cabida total de 118 acres. El objetivo del proyecto es proporcionar espacios de estacionamiento (36 a 45 espacios de estacionamiento) que incluyen dos espacios para cargadores eléctricos/híbridos, así como estacionamiento accesible (compatible con ADA, por sus siglas en inglés). El proyecto promoverá un espacio recreativo pasivo con áreas verdes, nueva iluminación, mobiliario urbano, mesas tipo estación de trabajo alimentadas por energía solar con puertos para recargar teléfonos celulares y conectar computadoras portátiles, mesas de juego de dominó y ajedrez con sombrillas para crear sombra, paredes arquitectónicas con techos retráctiles para separar el área pasiva de la Plaza del Mercado y área para dos camiones de comida. El nuevo diseño incorporará áreas que cumplen con la Ley de Estándares de Accesibilidad y Discapacidades y nuevos postes de luz solar. En la parte frontal de la Plaza del Mercado se agregarán algunos bancos, zafcones de basura y mejoras a las arrieras frontales. La actividad propuesta está situada en una zona de inundación A con cabida de 102 acres. El valle inundable se puede encontrar en el mapa de niveles de inundación base (ABFE, por sus siglas en inglés), como se indica en el Nivel de Inundación Base Recomendado para Puerto Rico de FEMA en el Puerto Rico Advisory Base Flood Elevations (ABFEs) | FEMA Region II Hub (argcs.com).

Vivienda ha considerado las siguientes alternativas y medidas de mitigación para minimizar los impactos adversos y restaurar y preservar los valores naturales y beneficios: (1) ubicar el proyecto dentro del valle inundable; (2) ubicar el proyecto fuera del valle inundable y (3) no tomar ninguna acción. Las alternativas 2 y 3 no son factibles, ya que las mejoras necesarias para la revitalización, restauración y construcción del centro urbano son específicas del sitio. La alternativa 1 se considera como una opción viable que no tiene impacto en la llanura de inundación al incorporar principalmente espacios verdes abiertos. No se realizará ninguna nueva ocupación o modificación de la zona del valle inundable, ya que este proyecto consiste en una instalación existente en un sitio que se encuentra actualmente en uso y que constituye la actual zona urbana comercial del municipio de Utuado. El proyecto en el sitio propuesto no tendrá un impacto en el valle inundable y no tendrá un impacto significativo en el comportamiento del agua de escomenta durante eventos climáticos. Se emplearán las mejores prácticas de manejo durante las actividades de diseño y construcción. El uso propuesto está en armonía con el área desarrollada circundante.

Vivienda reevaluó las alternativas para construir en el valle inundable y determinó que no cuenta con alternativas prácticas. La documentación ambiental que evidencia el cumplimiento de los pasos 3 a 6 de la Orden Ejecutiva 1988 está disponible para inspección, revisión y reproducción de parte del público, de ser solicitado, en el horario y lugar indicados en el último párrafo, sobre recibos de comentarios de este aviso.

Este aviso tiene tres propósitos principales. Primero, las personas que pueden verse afectadas por actividades en el valle inundable y aquellos que tengan interés en la protección del ambiente natural deben recibir la oportunidad de expresar sus inquietudes y proveer información sobre estas áreas. Segundo, un programa adecuado de avisos públicos puede ser una importante herramienta de educación pública. La divulgación de información y solicitud de comentarios sobre el valle inundable puede facilitar y mejorar los esfuerzos federales para reducir los riesgos e impactos asociados con la ocupación y alteración de estas áreas especiales. Tercero, como materia de justicia, cuando el gobierno federal determine participar en acciones ubicadas en el valle inundable, debe informarlo a quienes puedan ser expuestos a un riesgo mayor o similar al presente.

Vivienda considerará todos los comentarios recibidos en o antes del 17 de enero de 2024. Pueden enviar los comentarios de forma impresa a la siguiente dirección: Departamento de la Vivienda de Puerto Rico, edificio Juan C. Cordero Davila, 606 avenida Barbosa, Río Piedras, PR 00918-8461, Atención: Pedro de León-Rodríguez, Especialista en Permisos y Cumplimiento Ambiental. Una descripción completa del proyecto está disponible al público para revisión de 8:30 a. m. a 4:00 p. m. en el Departamento de la Vivienda de Puerto Rico, edificio Juan C. Cordero Davila, 606 avenida Barbosa, Río Piedras, PR 00918. El número para obtener información es (787) 274-2527, ext. 4320. Como alternativa, también pueden enviar los comentarios a Vivienda por medio electrónico a [environmentcibg@vivienda.pr.gov](mailto:environmentcibg@vivienda.pr.gov).

Fecha: 9 de enero de 2024

Edo. William O. Rodríguez Rodríguez  
Secretario del Departamento de la Vivienda

Autorizado por la Oficina del Contralor Electoral OCE-SA-2023-00076

public notice

Final Notice and Public Explanation of a Proposed Activity in a 100-Year Floodplain

Parking and surrounding areas of the Market Square PR-CRP-001001

To: All Interested Parties, Groups, and Individuals

This is to give notice that the Puerto Rico Department of Housing (PRDOH) has conducted an evaluation as required by Executive Order 1988, in accordance with HUD regulations set forth in 24 CFR 55.20 Subpart C - Procedures for Making Determinations on Floodplain Management and Wetlands Protection. The activity is funded under the Community Development Block Grant - Disaster Recovery (CDBG-DR), City Revitalization Program, grant numbers B-77-DM-72-0001 and B-8-DR-72-0001. The proposed project, PR-CRP-001001, is located on #3 Dr. Cueto Street, Utuado, PR 00664, coordinates 18.265344, -66.697809, with total dimensions of 118 acres. The objective of the project is to provide parking spaces (36 to 45 parking spaces), including two electric/hybrid charging spaces, as well as accessible parking (ADA-compliant). The project will promote a passive recreational space with green areas, new lighting, street furniture, solar-powered workstation-type tables with ports to recharge cell phones and connect laptops, game tables for domino and chess with umbrellas for shade, architectural walls with retractable roofs to separate the passive area from the Market Square, and an area for two food trucks. The new design will incorporate sidewalks in compliance with the Americans with Disabilities Act and new solar light poles. In the front part of the Market Square, some benches, trash cans, and improvements to the front planters will be added. The proposed activity is located in a flood zone A with dimensions of 102 acres. The floodplain in the project area can be found in the Advisory Base Flood Elevation Map (ABFE), as indicated on the FEMA Advisory Base Flood Elevation for Puerto Rico in Puerto Rico Advisory Base Flood Elevations (ABFEs) | FEMA Region II Hub (argcs.com).

PRDOH has considered the following alternatives and mitigation measures to be taken to minimize adverse impacts and restore and preserve natural and beneficial values: (1) locating the project within the floodplain; (2) locating the project outside of the floodplain; and (3) taking no action. Alternatives 2 and 3 are not feasible, since the needed improvements for revitalization, restoration, and construction of the urban center are site-specific. Alternative 1 is considered a viable option, having no impact to the floodplain, by incorporating mostly green open spaces. No new occupancy or modification of the floodplain and wetland areas will take place, since this project consists of an existing facility in a site that is currently in use and that constitutes the actual commercial urban area of the municipality of Utuado. The project in the proposed site will not impact the floodplain and will not have a significant impact on current runoff water behavior during weather events. Best management practices will be employed during the design and construction activities. The proposed use is in harmony with the surrounding developed area.

PRDOH has reevaluated the alternatives to building in the floodplain and has determined that it has no practicable alternative. Environmental files that document compliance with steps 3 through 6 of Executive Order 1988 are available for public inspection, reviewing, and copying upon request at the times and location stated in the last paragraph of this notice, on receipt of comments.

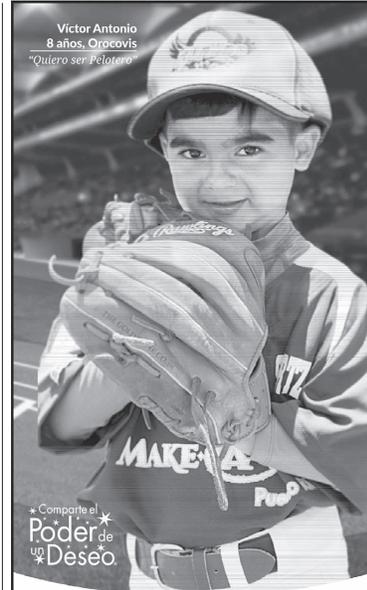
There are three primary purposes for this notice. First, people who may be affected by activities in the floodplain and those who have an interest in the protection of the natural environment should be given an opportunity to express their concerns and provide information about these areas. Second, an adequate public notice program can be an important public education tool. The dissemination of information and request for public comment about the floodplain can facilitate and enhance federal efforts to reduce the risks and impacts associated with the occupancy and modification of these special areas. Third, as a matter of fairness, when the federal government determines it will participate in actions taking place in the floodplain, it must inform those who may be put at greater or continued risk.

PRDOH will consider all comments received on or before January 17, 2024. Written comments may be sent to the following address: Puerto Rico Department of Housing, 606 Barbosa Avenue, Juan C. Cordero Davila Building, Río Piedras, PR 00918-8461, Attention: Pedro de León-Rodríguez, Permits and Environmental Compliance Specialist. A complete description of the project is available to the public for review from 8:30 a. m. to 4:00 p. m. at the Puerto Rico Department of Housing, 606 Barbosa Avenue, Juan C. Cordero Davila Building, Río Piedras, PR 00918. The number to get information is (787) 274-2527, ext. 4320. In the alternative, comments may also be sent to PRDOH by email to [environmentcibg@vivienda.pr.gov](mailto:environmentcibg@vivienda.pr.gov).

Date: January 9, 2024

Edo. William O. Rodríguez Rodríguez, Esq.  
Secretary of the Department of Housing

Autorizado by the Office of the Electoral Comptroller OCE-SA-2023-00076



Victor Antonio  
8 años, Orocovis  
"Quiero ser Pelotero"

Comparte el Poder de un Deseo

Make-A-Wish  
PUERTO RICO

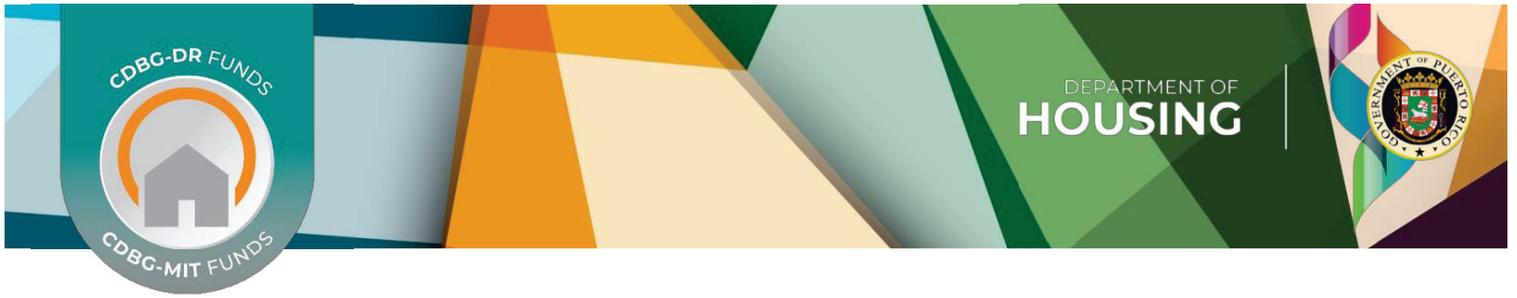
Desde 1990 Make-A-Wish® Puerto Rico realiza el deseo favorito de nuestros niños puertorriqueños, entre las edades de 2 ½ años hasta 17, pacientes de alguna condición de salud que amenaza su vida, con el propósito de llevarles lo que la enfermedad les quita; Esperanza, Fortaleza y Alegría.

Oficina | T: 787-281-9474  
| F: 787-765-1945  
Como referir a un niño(a) | T: 787-281-9474 ext. 223  
| fdelgado@pr.wish.org  
Programa de Voluntarios | T: 787-281-9474 ext. 223  
| fdelgado@pr.wish.org

Para hacer realidad un deseo envía tu donativo a nombre de:

Make-A-Wish Puerto Rico  
PO BOX 193348 • SAN JUAN PR 00919-3348  
[www.puertorico.wish.org](http://www.puertorico.wish.org)

Búscanos Make A Wish Puerto Rico



January 18, 2024

To whom it may concern,

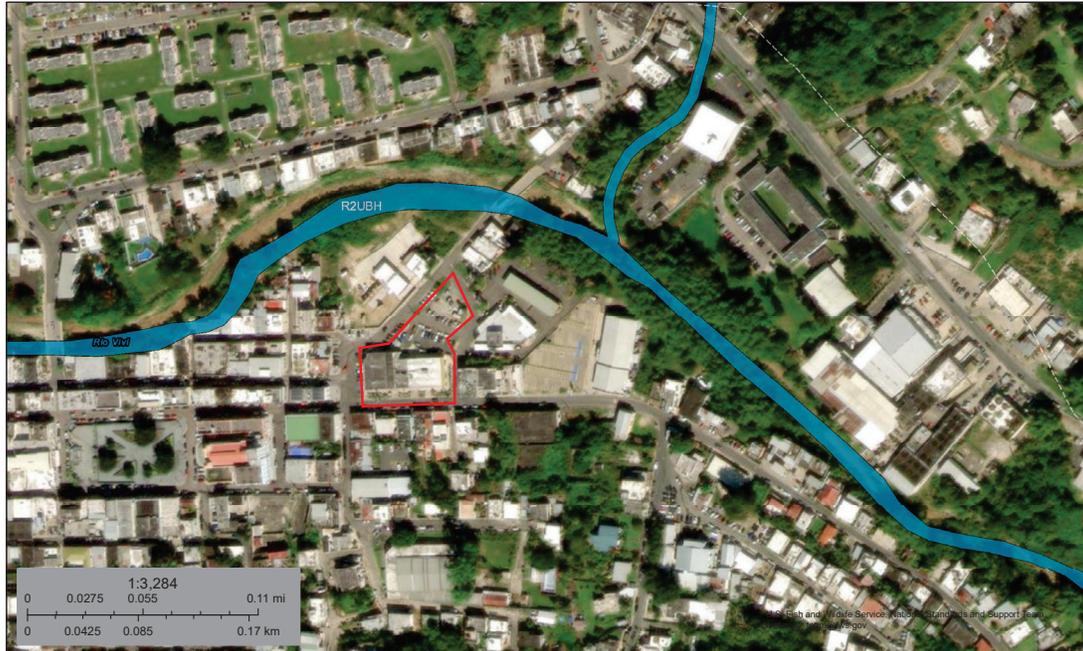
This letter is to validate that no comments were received in the Permits and Environmental Compliance Division e-mail: [environmentcdbg@vivienda.pr.gov](mailto:environmentcdbg@vivienda.pr.gov), for the project *Estacionamiento y áreas circundantes a la Plaza del Mercado* (PR-CRP-001001), as part of the CDBG-DR City Revitalization Program. The Final Notice and Public Explanation of a Proposed Activity in a 100-Year Floodplain was published in the *Primera Hora* newspaper of Puerto Rico on January 9, 2024, with a comment period that concluded on January 17, 2024.

Cordially,

Permits and Environmental Compliance Division  
Disaster Recovery Office  
[environmentcdbg@vivienda.pr.gov](mailto:environmentcdbg@vivienda.pr.gov) | 787.274.2527 ext. 4320

**CDBG-DR FUNDS**





November 14, 2023

**Wetlands**

- |   |                                |   |                                   |   |          |
|---|--------------------------------|---|-----------------------------------|---|----------|
|  | Estuarine and Marine Deepwater |  | Freshwater Emergent Wetland       |  | Lake     |
|  | Estuarine and Marine Wetland   |  | Freshwater Forested/Shrub Wetland |  | Other    |
|   |                                |  | Freshwater Pond                   |  | Riverine |

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

National Wetlands Inventory (NWI)  
This page was produced by the NWI mapper

**Map 2: Wetlands**

Project Name: Improvements to Plaza del Mercado and Surrounding Areas, Municipality of Utuado (PR-CRP-001001).

Location: Lat: 18.266209, Long: -66.697940

Source: USFWS NaHonal Wetlands Inventory – Wetlands Mapper

Website: [hUps://www.fws.gov/program/naHonal-wetlands-inventory/wetlands-mapper](https://www.fws.gov/program/naHonal-wetlands-inventory/wetlands-mapper)

Author: Applied Engineering Group

**Appendix H.**  
**Site Photos**

**Nombre del proyecto:** Revitalización del aparcamiento y alrededores de la Plaza del Mercado

Revitalización del aparcamiento y alrededores de la Plaza del Mercado

**Número del Proyecto:** PR-CRP-001001

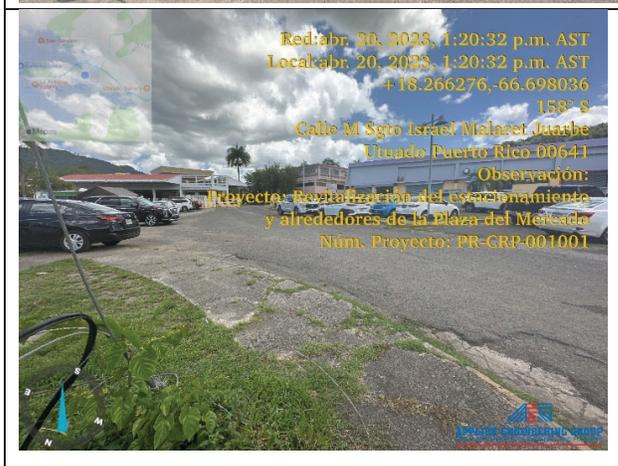
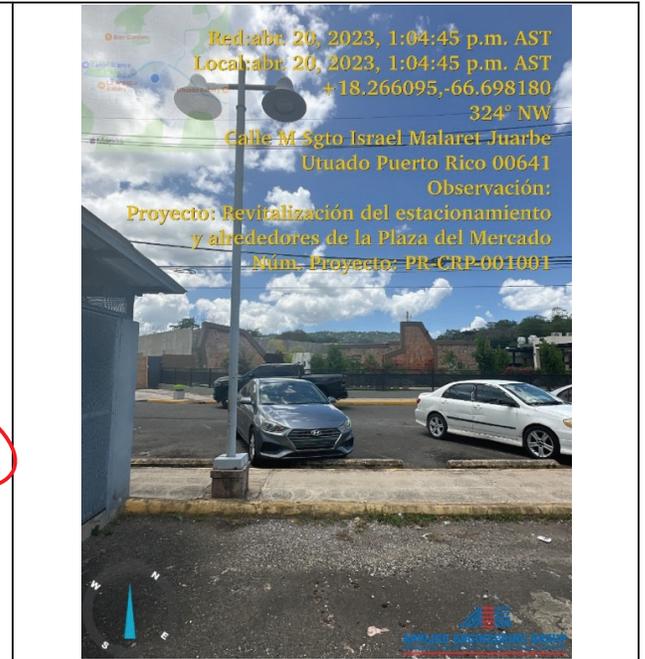
PR-CRP-001001



**Item 1. Estacionamiento existente (predio del proyecto)**



## Item 2. Aceras y Rampas existentes





### Item 3. Entorno de La Plaza del Mercado



