



**U.S. Department of Housing and Urban Development**

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Washington, DC 20410  
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## **Environmental Review for Activity/Project that is Categorically Excluded Subject to Section 58.5**

**Pursuant to 24 CFR 58.35(a)**

### **Project Information**

**Project Name:** PR-CRP-000807: Mejoras a la Plaza Pública de Vieques & PR-CRP-001111: Centro Agrícola de Transformación Social y Comunitario

**Responsible Entity:** Puerto Rico Department of Housing (PRDOH)

**Grant Recipient** (if different than Responsible Entity): Municipio de Vieques

**State/Local Identifier:** Puerto Rico/ Municipality of Vieques

**Preparer:** Angel Garcia PE, Sr. Environmental Engineer at AG Environmental PSC

#### **Certifying Officer Name and Title:**

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**Consultant** (if applicable): AG Environmental PSC

**Direct Comments to:** Puerto Rico Department of Housing, [environmentcdbg@vivienda.pr.gov](mailto:environmentcdbg@vivienda.pr.gov)

#### **Project Location:**

PR-CRP-000807 - Vieques Public Plaza

Address: #29 Víctor Duteil St., Isabel Segunda, Vieques

Cadastral Number: 457-042-019-01

Coordinates: 18.149310, -65.441310

PR-CRP-001111 - Vieques Public School

Address: Víctor Duteil St., Isabel Segunda, Vieques

Cadastral Number: 457-052-020-04

Coordinates: 18.14894, -65.44153

**Description of the Proposed Project** [24 CFR 50.12 & 58.32; 40 CFR 1508.25]:

Vieques is an island-municipality located approximately 42,240 feet (8 miles) east of the main island of Puerto Rico. The Municipality of Vieques is seeking Community Development Block Grant Disaster Recovery funds financed by the federal Department of Housing and Urban Development due to damage received by the 2017 Hurricanes Irma and Maria. The Puerto Rico Department of Housing (PRDOH) has established an Agreement between PRDOH and the Municipality of Vieques for the City Revitalization Program (CRP) as part of the Community Development Block Grant for Disaster Recovery (CDBG-DR) Program. Under this agreement, the Municipality of Vieques proposes the rehabilitation and renovation of two areas within the Traditional Urban Center, PR-CRP-000807 Mejoras a la Plaza Publica de Vieques (henceforth Vieques Public Plaza) and PR-CRP-00111 Centro Agrícola de Transformación Social y Comunitario (henceforth Vieques Public School).

The Vieques Public Plaza project is 0.6772 acres located in the north of the island within surrounding streets, Carlos Lebrum to the north- west, P, Benitez Guzman to the East, Victor Duteill to the west and Antonio Mellado (PR-200) to the south. The Vieques Public School is in Victor Duteill Street, to the south of the Vieques Public Plaza, in a lot of 0.2991 acres. Limits with mentioned street to the north, and Muñoz Rivera Street in the south, to the west with a Methodist Church building, and to the east with three lots of the Augusto Delerme succession. **Figures 1 and 2 in Appendix A** contain the location of both lots and **Appendix C** contains site photos of both lots.

***Project PR-CRP-001111, Centro Agrícola de Transformación Social y Comunitario***

The Jose Gautier Benitez School, also known as the Vieques Public School, was designed by renowned architect Antonin Nechodoma, and built by Frank B. Hatch in 1907. While the original building was designed to serve as a public school, the building has become a space for local community organizations; to provide essential resources, services, and programs to the community. Nevertheless, the historic property was severely affected by the winds and rain from Hurricanes Irma and María, causing damage to both the exterior and interior of the structure including gates, windows, doors, paint, skylights, and roof. In response to these challenges, the proposed revitalization project seeks to adapt the existing structure and exterior areas into a more resilient community-oriented facility. The vision is to repurpose the building into a Market Square for Social and Community Transformation. This will be achieved through the integration of an agricultural market and coffee bar to foster and support small business farmers, enable access to fresh and local food, and support the cultural and family events that are celebrated in the adjacent public square, in a secure and resilient site.

The proposed intervention will follow the Secretary of Interior's Standards for Rehabilitation and seeks to recover the building's character defining features. Therefore, on the building exterior, areas with spalled concrete will be repaired, and cracked or missing cornices moldings, and windowsills will be restored. The exterior walls will be altered only to recover original vent openings at the base of the building, which have been covered over time and contribute to the historic character of the structure.

Current non-original metal jalousie windows will be replaced, and the original openings of the windows will be recovered. New metal windows and wood doors will be incorporated. The design seeks to be compatible with the historical character of the building emulating the appearance and patterns of the original windows and doors identified through historic photographs and other documentation, as no original drawings have been found to date. The installed skylight louvers structure above the interior courtyard (not original to the building nor a character defining feature) will be replaced to integrate a new low glazing and frame system. The supporting concrete curb on which it sits will be raised to improve impermeability and accommodate new roof insulation and membrane system on the surrounding roof to meet ADA requirements, two different ramps will be required to provide an accessible entrance to the building. On the Muñoz Rivera Street approach, the existing non-compliant ADA ramp will be demolished.

The ground elevation will be raised to meet sidewalk grade and a slab on grade ramp will be erected to the west side of the building entrance. A new landing will be provided at finish floor elevation with new stairs on the opposite side of the new ramp. On the Victor Duteil Street approach, the existing historic stairs will be enclosed over a slab on grade ramp and landing structure to preserve the original building elements. New entrance stairs will be constructed to align with the central building axis, forward from their original location at building interior, existing gypsum board walls will be demolished, and new partitions will be installed where required, based on the proposed programming of the spaces. The existing ceramic tiles in the bathrooms will be removed and replaced with new tiles. Electrical, mechanical, and plumbing improvements will be made to the structure and will also follow the recommendations provided at the Secretary of Interior's Standards for Rehabilitation. New ventilation and air conditioning systems will be provided only in the proposed office spaces. The mechanical equipment serving these spaces will be located on the roof of the existing building and will be anchored and concealed behind the existing building parapet. In the spaces occupied by the agricultural market and cafe programs, passive design strategies, such as operable fenestration, augmented by ceiling fans, will be implemented to allow for fresh air cross ventilation.

The plumbing system will be designed to meet the 2018 Puerto Rico Plumbing Code. This includes the provision of three (3) potable water cisterns and pumps to serve the building when service is disrupted. Service will continue to tie into the existing water meter on site. The bathroom fixtures count will be reduced on the existing bathrooms complying with the proposed building use occupancy (Business) as per the 2018 Puerto Rico Building Code. A new service sink will be provided for the proposed cafe as well as service sink for a new janitor room and a water fountain to serve the building users as required by the 2018 Puerto Rico Building Code.

A new solar photovoltaic array is proposed to assure the resiliency and performance of a building that will function as a community center. The photovoltaic modules will be mounted on a raised aluminum framework over the replaced roof membrane. Also, a new 60-kW emergency back-up power diesel generator will be provided to support non-critical loads should primary power be disrupted. Please refer to the **Project Drawings in Appendix B** and **Site Photos in Appendix C**.

**Project PR-CRP-000807, Mejoras a la Plaza Pública de Vieques**

Vieques Public Plaza serves as the main gathering place for the residents and visitors of the island. The square sits at the foundational center of the town of Isabel II and has been the scene for holdings, fairs, markets, patron saint festivities and many other cultural events.

The improvements proposed as part of the City Revitalization Program aim to modernize the plaza to meet contemporary standards for public spaces, addressing infrastructure, vegetation, and urban element damages caused by Hurricanes Irma and María. The project focuses on enhancing spatial and environmental qualities, including improved circulation and accessibility, expanded leisure and shaded areas (through trellis structures and increased vegetation), as well as upgraded stormwater management and supporting infrastructure, such as electrical, plumbing, and wireless connectivity.

At the same time, the design seeks to honor the plaza's historical significance and architectural context. The proposed trellises, circular floor patterns, and seating areas reinterpret the geometry of the historic water cistern that once served as the centerpiece of the plaza. While no longer functional, the cistern remains preserved underground, symbolizing the centrifugal orientation that historically made the plaza a central gathering place for the community. The design further aims to evoke “the void” left by structures that no longer exist but played a role in Isabel Segunda’s urban foundation. By reactivating these historic references, maintaining the vegetated quadrants (formerly planters), and tying in with existing elements such as gazebos, the fountain, and monuments, the project preserves the plaza’s cultural memory. At its center, a commemorative design featuring specialty pavement will emphasize the site’s historical importance.

In order to achieve these goals, improvements include the replacement of all the existing pavement surface to repair areas where the pavement has settled, construction of new stairs extensions along the north, west, and southwest edges of the plaza, construction of new shade structures, repairs and modification to adjacent sidewalks including new ADA compliant access ramps, reconstruction of seat walls and raised planters, the maintenance of the gazebos, and the restoration of the existing water feature. These improvements and repairs are not intended to increase the capacity or size of the plaza or adjacent sidewalks. The intervention will maintain the current programmatic uses of public spaces. Please refer to the **Project Drawings** in **Appendix B** and **Site Photos** in **Appendix C**.

**Soil Disturbance:**

The proposed project will require excavation work associated with several of the proposed components. The scope of the proposed excavation, as well as the alternatives being considered for this development, is described below.

<b>Activity</b>	<b>Volume (m<sup>3</sup>)</b>
Cut	1,500
Filling	200
Surplus	360
To import	550

Surplus material will be reused as much as possible. That which cannot be reused will be deposited in an authorized sanitary landfill. Prior to the start of construction, the applicant will obtain a Formal Permit for the Extraction of Material from the Earth's Crust, along with a Single Incidental Award before the OGPe. These documents will detail the measures to be implemented during construction to preserve the environment from potential negative impacts because of these activities.

As part of the project, approximately 925 cubic yards (yd<sup>3</sup>) of materials will be generated from selective demolition at the project. According to the studies carried out, LBP was only detected in the masonry of the exterior and interior of the school and in the slabs of the bathrooms. No ACM was detected in any of the project areas.

The proposed action entails no in-water activities which will occur within the existing footprint and would not change, but rather improve, the preexisting design, function, and location as the original. Photos of the project areas are included in **Appendix C**.

**Level of Environmental Review Determination:**

The project falls under a Categorically Excluded Activity Subject to 24 CFR §58.5 (CEST per 24 CFR 58.35(a)).

**Funding Information**

<b>Grant Number</b>	<b>HUD Program</b>	<b>Funding Amount</b>
B-17-DM-72-0001; B-18-DP-72-0001; B-19-DP-78-0002; B-18-DE-72-0001	Community Development Block Grant – Disaster Recovery (CDBG-DR)	\$11,938,162,230.00

**Estimated Total HUD Funded Amount:** (provide most recent estimates for project)

<u>PR-CRP-001111 – Vieques Public School</u>		<u>PR-CRP-000807 – Vieques Public Plaza</u>	
HUD funds (@ 90%)	\$3,329,973.47	HUD funds (@ 90%)	\$3,857,856.01

**Estimated Total Project Cost** (HUD and non-HUD funds) [24 CFR 58.32(d)]: (include here detail of amounts of funding from other sources such as FEMA, FTA, etc., if applicable)

<u>PR-CRP-001111 – Vieques Public School</u>		<u>PR-CRP-000807 – Vieques Public Plaza</u>	
HUD funds (@ 90%)	\$3,329,973.47	HUD funds (@ 90%)	\$3,857,856.01
FEMA Federal Share	\$406,277.82	FEMA Federal Share	\$56,598.75
<b>Non-federal share</b>	<b>\$45,141.98</b>	<b>Non-federal share</b>	<b>\$6,288.75</b>
<b>Total</b>	<b>\$3,781,393.27</b>	<b>Total</b>	<b>\$3,920,742.51</b>

**Compliance with 24 CFR 50.4, 58.5, and 58.6 Laws and Authorities**

Record below the compliance or conformance determinations for each statute, executive order, or regulation. Provide credible, traceable, and supportive source documentation for each authority. Where applicable, complete the necessary reviews or consultations and obtain or note applicable permits of approvals. Clearly note citations, dates/names/titles of contacts, and page references. Attach additional documentation as appropriate.

<p><b>Compliance Factors:</b> Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6</p>	<p>Are formal compliance steps or mitigation required?</p>	<p>Compliance determinations</p>
<p><b>STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 50.4 &amp; 58.6</b></p>		
<p><b>Airport Hazards</b>  24 CFR Part 51 Subpart D</p>	<p>Yes    No <input type="checkbox"/>   <input checked="" type="checkbox"/></p>	<p>Vieques is an archipelagic island-municipality located approximately 42,240 feet (8 miles) to the east of the main island of Puerto Rico. The municipality has a civilian airport, the Antonio Rivera Rodríguez Airport (VQS), which is located approximately 3.2 miles (16,896 ft) west of the project site. The closest military airport is Luis Muñoz Marín International Airport (SJU) which is in San Juan, approximately 42.9 miles (226,477 ft) to the northwest of the project site. The SJU facility operates as a joint civil/military airport.</p> <p>The project is not located within 15,000 feet of a military airport, or 2,500 feet of a civilian airport. The projects are in compliance with Airport Hazard requirements.</p> <p>Please refer to <b>Figure 3a and Figure 3b in Appendix A.</b></p>
<p><b>Coastal Barrier Resources</b>  Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 [16 USC 3501]</p>	<p>Yes    No <input type="checkbox"/>   <input checked="" type="checkbox"/></p>	<p>According to the Coastal Barrier Resources System Mapper, the closest CBRS Unit is Ensenada Unit PR-17P, located approximately 3.2 miles (16,896 feet) southeast of the Project. Therefore, the project will not affect the CBRS unit. The projects are in compliance with the Coastal Barrier Resources Act. Please refer to <b>Figure 4 in Appendix A.</b></p>

<p><b>Flood Insurance</b></p> <p>Flood Disaster Protection Act of 1973 and National Flood Insurance Reform Act of 1994 [42 USC 4001-4128 and 42 USC 5154a]</p>	<p>Yes    No</p> <p><input type="checkbox"/>   <input checked="" type="checkbox"/></p>	<p>Per Floodplain Insurance Map (FIRM) 72000C1340J effective date November 18, 2009, the project is not located within a flood zone. No flood insurance will be required for the projects and the projects are in compliance with Flood Insurance requirements.</p> <p>Please refer to <b>Figure 5 in Appendix A.</b></p>
<p><b>STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 50.4 &amp; 58.5</b></p>		
<p><b>Clean Air</b></p> <p>Clean Air Act, as amended, particularly section 176(c) &amp; (d); 40 CFR Parts 6, 51, 93</p>	<p>Yes    No</p> <p><input type="checkbox"/>   <input checked="" type="checkbox"/></p>	<p>According to the Environmental Protection Agency's Green Book and the NEPA assist website data, the project site is 45.46 miles (240,025 feet) to the southeast of the nearest nonattainment area. Construction activities may result in unwanted fugitive dust emissions. However, the project is located in an area with attainment status for all criteria pollutants. As such, the project is in compliance with the Clean Air Act. The emissions from the project would not cause any exceedances or violations.</p> <p>The project will include the installation of a new 60-KW emergency-power generator unit with a 48-hour diesel fuel backup capacity. The mechanical power of this unit corresponds to approximately 80 horsepower (HP). This unit is considered a minor, stationary, air emissions source and will require a permit for its construction and operation in compliance with the Puerto Rico Department of Natural and Environmental Resources (DNER). This permit will comply with the Clean Air Act. Thus, the project developer or owner will obtain the necessary permits in compliance with regulations. The location of the unit on the roof of the building will ensure proper dispersion of emissions.</p> <p>See <b>Figure 6</b> and the EPA's Green Book in <b>Appendix J.</b></p>

<p><b>Coastal Zone Management</b></p> <p>Coastal Zone Management Act, sections 307(c) &amp; (d)</p>	<p>Yes    No</p> <p><input type="checkbox"/>    <input checked="" type="checkbox"/></p>	<p>As shown in Figure 7 of Appendix A, the projects are within the delineation of the Coastal Zone. The application for the Federal Consistency Certification was submitted to the Puerto Rico Planning Board’s (PRPB) Coastal Zone Management Program (PRCZMP) on 12/13/2023. The agency responded on February 8, 2024, where the case was assigned number CZ-2024-0129-106 and requested information which included “Environmental Endorsement”, Endorsement from SHPO and ICP, and any other endorsement available. This petition was submitted and the agency responded again on April 30, 2024, requesting specifically the evidence of compliance with Article 4 (B) (3) of Environmental Public Policy Law 416. This evidence was obtained during the month of September 2024 and was submitted to the agency which issued the Federal Consistency Certification on January 9, 2025 confirming that the project is compliant with PRCZMP.</p> <p>Since all PRPB’s requirements were submitted, there are no additional compliance conditions in the certification issued. The letter states that “the determination does not preclude the possibility of the need to obtain any other permit or endorsement from other Commonwealth or Federal Agencies.” This means that while the determination has been made, it does not rule out the need for additional permits or approvals from other local or federal agencies. However, this does not impose any specific conditions. As such, the projects are in compliance with Coastal Zone Management. Please refer to <b>Figure 7 in Appendix A. Appendix D</b> contains a copy of the PR Planning Board Coastal Zone Certification and Supporting Documents.</p>
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<p><b>Contamination and Toxic Substances</b></p> <p>24 CFR Part 50.3(i) &amp; 58.5(i)(2)</p>	<p>Yes    No</p> <p><input checked="" type="checkbox"/>    <input type="checkbox"/></p>	<p>According to the NEPAAssist database, there are seven regulated sites within a 3,000-ft radius of the project site, but no violations are reported for each. The sites identified inside the buffer zone are:</p> <ol style="list-style-type: none"> <li>1. Pr Electric Power Auth Substa #2501</li> <li>2. Predio Frente Al Muelle Isabel</li> <li>3a. Naval Ammunition Support Depot</li> <li>3b. Antigua Estacion De Gasolina Isabel li</li> <li>4. Esso Standard Oil Co - Pr I-225</li> <li>5. Industrial C&amp;S Of Pr Llc – Vieques</li> <li>6. New Medical Facilities At Vieques</li> </ol> <p>There are no sites in the Superfund National Priorities or CERCLA List, no landfills or other sites that could affect the project development or proposed use. The information gathered from the field inspections suggest that there are no contaminants or toxic substances present at either project site. Therefore, there are no environmental concerns associated with the proposed projects or the intended uses of the facility.</p> <p>Historically, Vieques Public Plaza and Vieques Public School are well-established, long-standing areas. The plaza has been central to community events since its establishment in the mid-1800s, and while it underwent several renovations, it has maintained its role without any indications of historical contaminants. The Vieques Public School, dating back to its construction in 1907, has been utilized as a public school and, more recently, as a community center. The absence of industrial use or hazardous material handling at these sites over their history assures that environmental contamination risk remains low.</p> <p>Lead-Based Paint (LBP) and Asbestos Surveys were conducted in September 2022 at several building within the municipality of</p>
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		<p>Vieques, including at Public School J. Gautier Benítez, the site for project PR-CRP-000807. The conclusion of the surveys points to the presence of LBP in “all interior and exterior masonry, and concrete walls. Ceramic tiles from bathrooms” of the school building. Related to Asbestos Containing Materials (ACM), the report cites that “no suspected ACM was identified in the areas to be repair[ed]. Access to the roof was not granted at the time of the inspection, assumed positive to asbestos content.” Thus, depending on the activities that will be performed in the areas identified with “positive” presence of LBP, mitigation will be to be addressed prior to start of construction. Similarly, the activities that will be performed on the roof of the structure will need to address the presence of ACM and, as needed, determine mitigation requirements. The surveys for LBP and asbestos are included as part of Attachment H, as a supporting document to the exploratory studies memorandum, dated June 8, 2023, submitted to SHPO.</p> <p>HUD issued Notice CPD-23-103 on January 11, 2024, regarding Departmental Policy for Addressing Radon in the Environmental Review Process. The Notice intends to clarify that radon must be considered in the Environmental Review analysis for all HUD funded projects. The notices states that radon must be assessed for projects that “involve structures that are occupied or are intended to be occupied at least four (4) hours a day”. However, it has been determined that the recommended best practices and alternative options for radon testing are infeasible and impracticable for project PR-CRP-000807, which involves a structure that will likely be occupied more than 4 hours per day. The reasons for this impracticability are listed in the related</p>
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		<p>document in Appendix E. Since radon testing is considered infeasible and impracticable for this property, no further consideration of Radon is needed for the environmental review.</p> <p>Thus, no further analysis is required, and the projects are in compliance with the Contamination and Toxic Substances requirements.</p> <p>Please refer to <b>Figure 8 in Appendix A</b> and documents in <b>Appendix E</b>.</p>
<p><b>Endangered Species</b></p> <p>Endangered Species Act of 1973, particularly section 7; 50 CFR Part 402</p>	<p>Yes    No</p> <p><input type="checkbox"/>    <input checked="" type="checkbox"/></p>	<p>The project complies with Project Criteria 1, 2, 3 and 8 of the Blanket Clearance Letter (BCL) from Fish and Wildlife Service to expedite the consultation process of those projects that typically have no adverse effects on federally listed species under their jurisdiction. The USFWS provided their concurrence with this finding on March 10, 2024. According to the IPaC website, no threatened, endangered species or critical habitat were identified at the project area. Also, the project is 3.05 miles (16,094.9 feet) to the northeast of the nearest critical habitat.</p> <p>The project is in compliance with Endangered Species requirements. Please refer to supporting documentation in <b>Appendix F</b> and <b>Figure 9 of Appendix A</b>.</p>
<p><b>Explosive and Flammable Hazards</b></p> <p>24 CFR Part 51 Subpart C</p>	<p>Yes    No</p> <p><input checked="" type="checkbox"/>    <input type="checkbox"/></p>	<p>The project does not include any of the following activities: development, construction, rehabilitation that will increase residential densities, or conversion. Therefore, the project is in compliance with Explosive and Flammable Hazards (24 CFR Part 51 Subpart C ).</p> <p>However, the project will include the installation of a new 60 kW-hour emergency-power generator unit with a 48-hour diesel fuel backup storage. The fuel storage volume is estimated at 2,640 gallons. Local regulation by the DNER requires a Plan for Storage</p>

		<p>Prevention and Response to Spills (Plan para el Almacenamiento, Prevención y Respuesta a Derrames (Plan APRD) when the storage of oil related substances is less than 1,320 gallons. When oil storage exceeds the threshold, compliance with 40 CRF 112 requires the development of a Spill Prevention, Control, and Countermeasure (SPCC) plan for the site. This SPCC plan must also be presented to DNER for review. The project owner will be responsible for the development of this plan prior to any oil storage activities.</p> <p>Additionally, compliance with 24 CFR Part 51 Subpart C must be addressed to evaluate the project's adherence to HUD's Explosive and Flammable Hazards requirements. The review process under Subpart C ensures that the location and characteristics of the proposed emergency generator and diesel fuel storage do not present unacceptable risks due to proximity to explosive or flammable hazards. Examination of aerial views and ground reconnaissance walk-through conducted by the designer's personnel on 1/19/2023 showed no above ground storage tanks or other flammable or explosive facilities within the projects' sites or nearby surrounding properties.</p> <p>Three new water cisterns will be installed on the roof of the school building, each with a capacity of 550 gallons. These cisterns are solely intended for water storage, and no toxic or hazardous materials will be stored in them. Additionally, the plaza was built around a historic cistern, constructed in 1869, which remains preserved underground but is no longer functional. The proposed design ensures that the historic cistern remains undisturbed while the plaza itself is restored to contemporary standards. See Appendix H for more details on the historic cistern. The project is in compliance with Explosive and Flammable Hazards and local code given that a SPCC plan will be developed to mitigate risks associated with the storage and use of diesel fuel from the generator. Please refer to <b>Figure 10</b> in <b>Appendix A</b> and <b>SHPO documentation</b> that includes site</p>
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		photos and walk-through documentation in <b>Appendix H.</b>
<p><b>Farmlands Protection</b></p> <p>Farmland Protection Policy Act of 1981, particularly sections 1504(b) and 1541; 7 CFR Part 658</p>	<p>Yes    No</p> <p><input type="checkbox"/>   <input checked="" type="checkbox"/></p>	<p>According to the Natural Resources Conservation Service, the projects are in urban lands classified as “Non-prime farmlands”.</p> <p>This action does not include any activities, including new construction, acquisition of undeveloped land or conversion, which could convert agricultural land to a non-agricultural use.</p> <p>Thus, the projects are in compliance with Farmland Protection requirements. Please refer to the NCRS Soil <b>Figure 11 in Appendix A.</b></p>
<p><b>Floodplain Management</b></p> <p>Executive Order 11988, particularly section 2(a); 24 CFR Part 55</p>	<p>Yes    No</p> <p><input type="checkbox"/>   <input checked="" type="checkbox"/></p>	<p>According to the FEMA Federal Flood Standard Support Tool (<a href="https://floodstandard.climate.gov/tool">https://floodstandard.climate.gov/tool</a>) no FFMRS data exists for the site. To evaluate the extent of the project location within the FFRMS floodplain, the 0.2 Percent Annual Chance Flood Approach was revised with best available data. According to the Advisory Base Flood Elevation (ABFE) Map (December 11, 2018), both project sites are located outside of the 0.2% floodplain. No mitigation measures related to floodplain are required and both projects are in compliance with Floodplain Management requirements.</p> <p>Refer to <b>Figure 12 in Appendix A.</b> For the FFMRS information refer to <b>Appendix G.</b></p>
<p><b>Historic Preservation</b></p> <p>National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800</p>	<p>Yes    No</p> <p><input checked="" type="checkbox"/>   <input type="checkbox"/></p>	<p>The State Historic Preservation Officer (SHPO) has received and reviewed the design documents in accordance with 54 U.S.C. 306708, commonly known as Section 106 of the National Historic Preservation Act. This act requires the SHPO to advise and assist federal agencies and other responsible entities in identifying historic properties, assessing the potential effects on them, and</p>

		<p>considering alternatives to avoid or minimize these effects.</p> <p>After reviewing all the documentation, the Puerto Rico State Historic Preservation Office (PRSHPO) concurred with the finding of no adverse effect for this undertaking. However, this concurrence was conditioned to archaeological monitoring during all ground-disturbing activities at both Luis Muñoz Rivera Plaza and the former J. Gautier Benítez School. The agency also requested redesign of the entrance ramp for project PR-CRP-001111. Both the revised drawings for the ramp and the archeological monitoring plan were submitted to the agency and they agreed they were acceptable, thus concluding the Section 106 process as of May 24, 2024.</p> <p>Appendix H contains all documents associated with the Section 106 process, including those related to exploratory studies.</p>
<p><b>Noise Abatement and Control</b></p> <p>Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B</p>	<p>Yes    No</p> <p><input type="checkbox"/>   <input checked="" type="checkbox"/></p>	<p>The project involves rehabilitation of existing non-residential buildings for non-residential use. An evaluation of noise abatement and control is not required. Therefore, the projects are in compliance with Noise Abatement and Control requirements.</p> <p>It should be noted that the new emergency-power generator unit will be provided with noise attenuation and vibration dampers to reduce impact on the surrounding community when in use during emergency situations.</p>
<p><b>Sole Source Aquifers</b></p> <p>Safe Drinking Water Act of 1974, as amended, particularly section 1424(e); 40 CFR Part 149</p>	<p>Yes    No</p> <p><input type="checkbox"/>   <input checked="" type="checkbox"/></p>	<p>There are no EPA sole source aquifers in Puerto Rico. Furthermore, the project consists of activities that are unlikely to have an adverse impact on groundwater resources.</p>

		<p>The projects are in compliance with Sole Source Aquifer requirements.</p> <p>Refer to <b>Figure 13 in Appendix A.</b></p>
<p><b>Wetlands Protection</b></p> <p>Executive Order 11990, particularly sections 2 and 5</p>	<p>Yes    No</p> <p><input type="checkbox"/>    <input checked="" type="checkbox"/></p>	<p>The USFWS National Wetlands Inventory (NWI) Map shows there are no wetlands at the project site. The nearest wetland area is approximately 229.2 feet east of the project and classified as a Freshwater Forested/Shrub Wetland. The proposed project will not include work that may affect this wetland.</p> <p>Therefore, the projects are in compliance with Wetlands Protection requirements.</p> <p>Please refer to <b>Figure 14 in Appendix A.</b></p>
<p><b>Wild and Scenic Rivers</b></p> <p>Wild and Scenic Rivers Act of 1968, particularly section 7(b) and (c)</p>	<p>Yes    No</p> <p><input type="checkbox"/>    <input checked="" type="checkbox"/></p>	<p>Puerto Rico has only three Wild and Scenic Rivers, located on the east side of Puerto Rico. The proposed Project is located on the municipality-island of Vieques close to the east coast of Puerto Rico, approximately 23.2 miles (122,496 feet) east of said rivers. There would be no impact to Wild and Scenic Rivers.</p> <p>Therefore, the projects are in compliance with Wild and Scenic Rivers requirements.</p> <p>Please refer to <b>Figure 15 in Appendix A.</b></p>
<p><b>ENVIRONMENTAL JUSTICE</b></p>		
<p><b>Environmental Justice</b></p> <p>Executive Order 12898</p>	<p>Yes    No</p> <p><input type="checkbox"/>    <input checked="" type="checkbox"/></p>	<p>The proposed activities will not have a disproportionate environmental impact on communities with low socioeconomic indicators. According to data from the Environmental Protection Agency (EPA), the community within a 1-mile radius is composed of 88% low-income (compared to 70% territory-wide average) population with an unemployment rate of 9-10% (compared to 14% territory-wide average). The projects are intended to benefit all residents and serve as a community hub, with no limitations to the users or significant short- or long-term environmental impact that can</p>

		adversely affect the surrounding community. Therefore, the projects are in compliance with Environmental Justice requirements. <b>Appendix I</b> contains the EJSscreen Report.
--	--	---

**Field Inspection:** Field inspection took place on January 19, 2023, by the design team and MARVEL personnel. A follow-up site visit was conducted on April 26, 2023, with a civil and structural engineer. Documentation from these field visits can be found in **Appendix H**. **Appendix C** contains site photos taken during the inspection of PR-CRP-001111 and PR-CRP-000807. No aboveground storage tanks (ASTs), emergency power generators, or other significant on-site infrastructure were observed. The roof of the Vieques Public School was clear of items, except for a satellite dish located in the southwest corner (**Appendix C, Figure 3**). No visible soil stains or signs of hazardous materials were noted during the inspection. In the plaza, examples of areas requiring attention included sidewalk damage and noticeable sinking in the central area, which aligns with the location of the historic underground cistern (**Appendix C, Figures 7 and 10**).

Currently, Vieques Public Plaza (PR-CRP-000807) shows extensive wear from prior renovations, especially modifications in the early 2000s that altered its original layout and architectural features. The existing gazebo, landscape planters, and pavement have suffered structural and aesthetic damage, particularly from hurricanes Irma and Maria. While the plaza maintains its role as a community gathering space, its infrastructure, including pavement, seating areas, and historical design elements like the former water cistern, requires substantial restoration to meet contemporary accessibility and usage standards. The cistern, documented in maps from 1887 to 1898, was built in 1869 and served as the main source of water in the area before modern aqueducts (refer to information presented in Appendix H). The cistern is still preserved under the square and will not be altered by the proposed project.

Originally constructed as the Jose Gautier Benitez School in 1907, the Vieques Public School (PR-CRP-00111) area has sustained damage from hurricane forces, impacting its structural and historical integrity. The exterior and interior show deterioration, including cracked walls, missing moldings, and damaged windows. Non-original elements, such as jalousie windows, compromise the historical character, and the building lacks modern amenities necessary for community functions. Previous interventions have disturbed parts of the structure, but some historic features remain, preserving the building's potential for adaptive reuse in a community-focused setting.

**Summary of Findings and Conclusions:**

Vieques Public Square (PR-CRP-000807) - Summary of Findings and Conclusions:

The Plaza Luis Munoz Rivera, Vieques’s main public square in Isabel II in Vieques, PR, is a historical place that has been modified multiple times throughout its history. It is surrounded by municipal

buildings, including the Vieques City Hall, churches, and residences. The square has significant mature trees and has ample seating areas, as well as an architecturally notable outdoor stage area or “glorieta” designed by architect Jorge Rigau. The plaza, however, presents a “hard” environment, dominated by hard finishes and lacking in vegetation and shade. Most of the seating area is deteriorated and not shaded. There is also an oversimplification in the existing planting scheme that results in a dominance of hard surfaces and materials that present decay. Sight lines are not modulated, which incites a sense of exposure and lack of human scale. The overall effect is a mildly inhospitable environment. Additionally, there are numerous architectural barriers arising from the way elevation changes have been handled. These barriers not only affect people with disabilities, but also affect the general axial flow of pedestrian traffic that the surviving parterre design suggests. Finally, the central zone of the plaza is sinking, probably due to a historical water well in that location and needs to be repaired.

#### José Gautier Benitez School (PR-CRP-001111) - Summary of Findings and Conclusions:

The Jose Gautier Benitez School building, formerly known as the Vieques Public School, showed significant deterioration from lack of maintenance and exposure to recent climate events. The exterior hardscape area is dominated by hard concrete finishes with only two planters on either side of the main entrance stair. The front fence facing Victor Duteil Street does not seem original to the design, although an iron work cupola detail from a past fence design seems to have been integrated into the existing. Accessibility is observed as a critical issue, as the building either lacks proper access entirely or has access points that do not comply with current accessibility codes, limiting usability for individuals with disabilities.

The building’s facade exhibits multiple signs of deterioration, including paint that is peeling, as well as mechanical, chemical, and physical damage. Spalled concrete and exposed, corroding steel reinforcement are visible in several areas. Architectural details like cornices, moldings, and trims are either broken or missing plaster. Poor water management at the roof level is evident with rainwater runoff streaking parts of the façade. Surface cracks are prevalent, particularly near window openings and building corners, and in some areas, vegetation has begun to grow.

The building's window openings are fitted with aluminum shutters, many of which show visible signs of damage and wear. In several cases, the openings are further obstructed by steel bars, detracting from the original neoclassical design's authenticity. The exterior and interior doors are made of pressure-treated wood, which is not original to the building’s design. Additionally, the wooden transoms above the main exterior doors have been covered with plywood panels. The central corridor of the building features vinyl tile flooring. The skylight above the central courtyard shows clear signs of water infiltration. According to current users, the skylight fails to effectively divert rainwater, often allowing it to cascade through during heavy rains. This ongoing issue has caused visible water damage, particularly around the gypsum board enclosure surrounding the original steel columns.

The building shows outdated infrastructure and significant functional obsolescence. The electrical and HVAC systems seem inadequate and are characterized by patchwork fixes and haphazard repairs, with exposed wiring in many areas and with equipment that is not appropriately concealed. Existing bathrooms fail to meet modern standards for efficiency, comfort and accessibility.

The building's deterioration threatens to erase an important architectural piece of Vieques' history. The building's current state negatively impacts the aesthetic appearance of the urban center's key corridor, hindering efforts to revitalize the local economy and create community cohesion. Without intervention, the continued decay will diminish its architectural significance.

### **Mitigation Measures and Conditions [40 CFR 1505.2(c)]**

Summarize below all mitigation measures adopted by the Responsible Entity to reduce, avoid, or eliminate adverse environmental impacts and to avoid non-compliance or non-conformance with the above-listed authorities and factors. These measures/conditions must be incorporated into project contracts, development agreements, and other relevant documents. The staff responsible for implementing and monitoring mitigation measures should be clearly identified in the mitigation plan.

<b>Law, Authority, or Factor</b>	<b>Mitigation Measure</b>
Clean Air Act (CAA)	The project will include the installation of a new 60 kW (approx. 80 HP) emergency-power generator unit with a 48-hour fuel backup capacity. This unit will require a permit for its construction and operation in compliance with the Puerto Rico Department of Natural and Environmental Resources (DNER). This permit will comply with the Clean Air Act. Thus, the project developer or owner will obtain the necessary permits in compliance with regulations.
Explosive and Flammable Hazards	Due to new storage of diesel fuel and possibly other oil derivatives, compliance with 40 CRF 112 is required which includes the development of a Spill Prevention, Control, and Countermeasure (SPCC) plan for the site. The project owner will be responsible for the development of this plan prior to any oil storage activities.
National Historic Preservation Act (NHPA)	Due to the ground moving works to be performed during the development of the project and the historical sensitivity of the area, archaeological monitoring during all ground-disturbing activities at both Luis Muñoz Rivera Plaza and the former J. Gautier Benítez School must be conducted per Section 106 consultation process. <b>Appendix H</b> contains a copy of this Plan.
Contamination and Toxic Substances	Lead-Based Paint (LBP) was identified in areas of the Public School J. Gautier Benítez, the site for project PR-CRP-000807. The conclusion of the survey points to the presence of LBP in “all interior and exterior masonry, and concrete walls. Ceramic tiles from bathrooms.” Therefore, based on the activities that will be performed in the areas identified with “positive” presence of LBP, mitigation will need to be addressed prior to start of construction.

	<p>Related to Asbestos Containing Materials (ACM), the report cites that “no suspected ACM was identified in the areas to be repair[ed]. Access to the roof was not granted at the time of the inspection, assumed positive to asbestos content.” Thus, activities that will be performed on the roof of the structure will need to address the presence of ACM and, as needed, mitigation requirements prior to construction work start may be needed.</p>
--	---

**Determination:**

- This categorically excluded activity/project converts to Exempt, per 58.34(a)(12) because there are no circumstances which require compliance with any of the federal laws and authorities cited at §58.5. **Funds may be committed and drawn down after certification of this part** for this (now) EXEMPT project, OR
- This categorically excluded activity/project cannot convert to Exempt because there are circumstances which require compliance with one or more federal laws and authorities cited at §58.5. Complete consultation/mitigation protocol requirements, **publish NOI/RROF and obtain "Authority to Use Grant Funds"** (HUD 7015.16) per Section 58.70 and 58.71 before committing or drawing down any funds, OR
- This project is now subject to a full Environmental Assessment according to Part 58 Subpart E due to extraordinary circumstances (Section 58.35(c)).

Preparer Signature:   
Angel Garcia (Dec 9, 2024 09:10 AST) Date: 1/17/2025

Name/Title/Organization: Angel Garcia PE / Principal / AG Environmental PSC

Responsible Entity Agency Official

Signature:  Date: 1/29/2025

Name/Title: Sally Z. Acevedo Cosme- Permits and Environmental Compliance Specialist

This original, signed document and related supporting material must be retained on file by the Responsible Entity in an Environmental Review Record (ERR) for the activity/project (ref: 24 CFR Part 58.38) and in accordance with recordkeeping requirements for the HUD program(s).

## **List of Appendices**

Appendix A. Maps

Appendix B. Project Drawings

Appendix C. Site Photos

Appendix D. Coastal Zone Determination Supporting Documents

Appendix E. Contamination and Toxic Substances Supporting Documents

Appendix F. Endangered Species Supporting Documents

Appendix G. FFMRS Information

Appendix H. Section 106 Process documentation

Appendix I. Environmental Justice Supporting Documents

Appendix J. EPA Green Book – Puerto Rico Nonattainment/Maintenance Status data

## Appendix A. Maps

**Figure 1**

**Mejoras a la Plaza Pública de Vieques - PR-CRP-000807;  
Centro Agrícola de Transformación Social y Comunitario  
- PR-CRP-001111**

**Topographic Map**

Address:

Plaza: Luis Muñoz Rivera Plaza – 29 Víctor Duteil St., Vieques, P.R., 00765;

Centro Agrícola: Former J. Gautier Benítez School (Vieques Public School) –  
Víctor Duteil St., Vieques, P.R., 00765

Coordinates:

Plaza: 18.149310, -65.441310; Centro Agrícola: 18.14894, -65.44153



**Legend**

Project Footprints

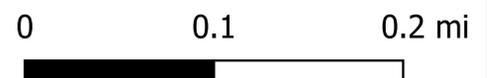
 Centro Agrícola

 Plaza

**AG Environmental PSC**

Engineering · Science · Field Services

Scale: 1:6400  
1 inch equals 0.1 miles



Spatial Reference:  
NAD83(NSRS2007) / Puerto Rico and Virgin Is.  
Sources: USGS The National Map Viewer (USGS-  
<https://apps.nationalmap.gov/downloader/>).

## Figure 2

### Mejoras a la Plaza Pública de Vieques - PR-CRP-000807; Centro Agrícola de Transformación Social y Comunitario - PR-CRP-001111

#### Project Area

Address:

Plaza: Luis Muñoz Rivera Plaza – 29 Victor Duteil St., Vieques, P.R., 00765;

Centro Agrícola: Former J. Gautier Benítez School (Vieques Public School) – Víctor Duteil St., Vieques, P.R., 00765

Coordinates:

Plaza: 18.149310, -65.441310; Centro Agrícola: 18.14894, -65.44153



## Legend

Project Footprints

 Centro Agrícola

 Plaza

AG Environmental PSC

Engineering · Science · Field Services

Scale: 1:6400

1 inch equals 0.1 miles

0 0.1 0.2 mi

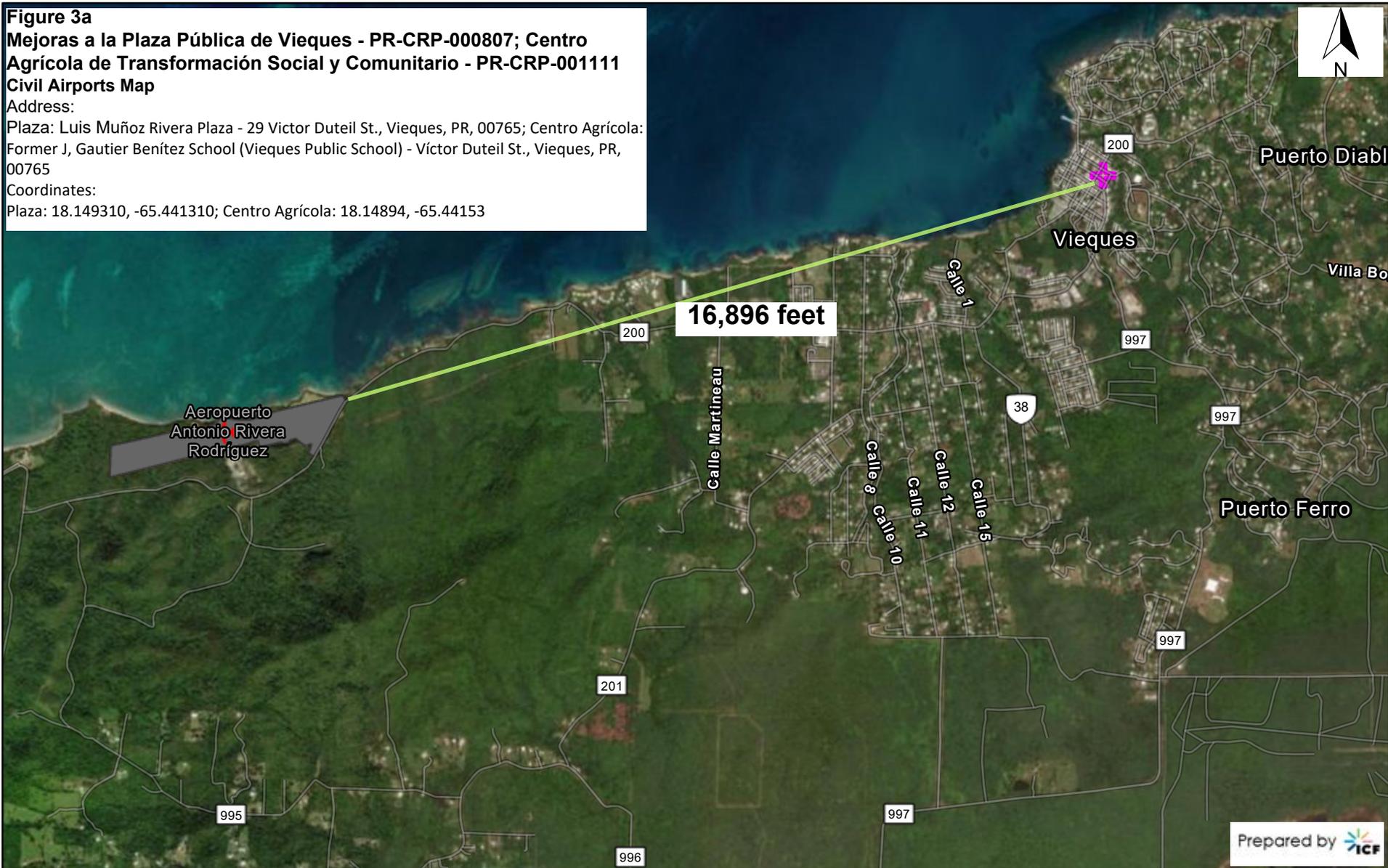


Spatial Reference:

NAD83(NSRS2007) / Puerto Rico and Virgin Is.

Sources: NOAA Digital Coast Viewer (NOAA-  
<https://www.coast.noaa.gov/dataviewer/#/imagery/search/>).

**Figure 3a**  
**Mejoras a la Plaza Pública de Vieques - PR-CRP-000807; Centro**  
**Agrícola de Transformación Social y Comunitario - PR-CRP-001111**  
**Civil Airports Map**  
 Address:  
 Plaza: Luis Muñoz Rivera Plaza - 29 Victor Duteil St., Vieques, PR, 00765; Centro Agrícola:  
 Former J, Gautier Benítez School (Vieques Public School) - Víctor Duteil St., Vieques, PR,  
 00765  
 Coordinates:  
 Plaza: 18.149310, -65.441310; Centro Agrícola: 18.14894, -65.44153



November 28, 2024

-  Search Result (point)
-  Airport Polygons
-  Airport Points

Source: EPA NEPAassist (<https://nepassisttool.epa.gov/nepassist/nepamap.aspx>)  
 Spatial Reference: WGS84

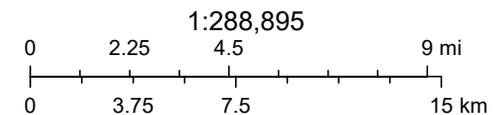
1:36,112  
 0 0.28 0.55 1.1 mi  
 0 0.45 0.9 1.8 km  
 Esri, TomTom, Garmin, Foursquare, SafeGraph, GeoTechnologies, Inc, METI/  
 NASA, USGS, NPS, US Census Bureau, USFWS, Maxar, EPA OEI



November 25, 2024

-  Search Result (point)
-  Airport Polygons
-  Airport Points

Source: EPA NEPAAssist (<https://nepassisttool.epa.gov/nepassist/nepamap.aspx>)  
 Spatial Reference: WGS84



Earthstar Geographics, Esri, TomTom, Garmin, Foursquare, SafeGraph, METI/NASA, USGS, NPS, USFWS, EPA OEI

# Figure 4

## Mejoras a la Plaza Pública de Vieques - PR-CRP-000807; Centro Agrícola de Transformación Social y Comunitario - PR-CRP-001111

### Coastal Barrier Resources System Map

Address:

Plaza: Luis Muñoz Rivera Plaza – 29 Víctor Duteil St., Vieques, P.R., 00765;

Centro Agrícola: Former J. Gautier Benítez School (Vieques Public School) –  
Víctor Duteil St., Vieques, P.R., 00765

Coordinates:

Plaza: 18.149310, -65.441310; Centro Agrícola: 18.14894, -65.44153



- Project Point
- CBRS Buffer Zone

#### CBRS Units

- Otherwise Protected Area
- System Unit

Scale: 1:64000  
1 inch equals 1 miles



**AG Environmental PSC**

Engineering · Science · Field Services

Spatial Reference:  
NAD83(NSRS2007) / Puerto Rico and Virgin Is.  
Sources: Coastal Barrier Resources System Mapper (USFWS- <https://fwsprimary.wim.usgs.gov/CBRSMapper-v2/>). Esri Imagery Basemap service.

**Figure 5**

**Mejoras a la Plaza Pública de Vieques - PR-CRP-000807;  
 Centro Agrícola de Transformación Social y Comunitario - PR-CRP-001111**

**Flood Insurance Map**

Address:

Plaza: Luis Muñoz Rivera Plaza – 29 Víctor Duteil St., Vieques, P.R., 00765; Centro Agrícola: Former J. Gautier Benítez School (Vieques Public School) – Víctor Duteil St., Vieques, P.R., 00765

Coordinates:

Plaza: 18.149310, -65.441310; Centro Agrícola: 18.14894, -65.44153

**AG Environmental PSC**

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**Project Footprints**

- Centro Agrícola
- Plaza
- No Digital Data Available
- Digital Data Available
- Unmapped
- LOMRs Effective
- Political Jurisdictions
- Profile Baselines
- Levees
- Coastal Transects
- Transect Baselines
- Base Flood Elevations

- Limit of Moderate Wave Action
- Limit lines SFHA/Flood Zone Boundary
- Flowage Easement Boundary
- 1% Annual Chance Flood Hazard
- Regulatory Floodway
- Special Floodway
- Area of Undetermined Flood Hazard
- 0.2% Annual Chance Flood Hazard
- Future Conditions 1% Annual Chance Flood Hazard
- Area with Reduced Risk Due to Levee
- Area with Risk Due to Levee

Scale: 1:6333  
 1 inch equals 0.1 miles

Spatial Reference:  
 NAD83(NSRS2007) / Puerto Rico and Virgin Is.  
 Sources: FEMA National Flood Hazard Layer Viewer (FEMA-  
<https://hazards-fema.maps.arcgis.com/apps/webappviewer/index.html?id=8b0adb51996444d4879338b5529aa9cd&extent=-67.12997043026961,18.382927508988438,-67.10216128720322,18.40328899374268>). Esri Imagery Basemap service.

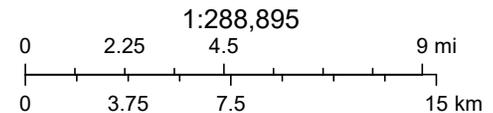


**Figure 6**  
**Mejoras a la Plaza Pública de Vieques - PR-CRP-000807; Centro**  
**Agrícola de Transformación Social y Comunitario - PR-CRP-001111**  
**Clean Air Act Map**  
 Address:  
 Plaza: Luis Muñoz Rivera Plaza - 29 Victor Duteil St., Vieques, PR, 00765; Centro Agrícola:  
 Former J. Gautier Benítez School (Vieques Public School) - Víctor Duteil St., Vieques, PR,  
 00765  
 Coordinates:  
 Plaza: 18.149310, -65.441310; Centro Agrícola: 18.14894, -65.44153

November 25, 2024

+ Search Result (point)    SO2 1-hr (2010 standard)    PM10 (1987 standard)  
 Nonattainment     Maintenance

Source: EPA NEPAassist (<https://nepassistool.epa.gov/nepassist/nepamap.aspx>)  
 Spatial Reference: WGS84



Earthstar Geographics, Esri, TomTom, Garmin, Foursquare, SafeGraph, METI/NASA, USGS, NPS, USFWS, U.S. EPA Office of Air and Radiation

# Figure 7

## Mejoras a la Plaza Pública de Vieques - PR-CRP-000807; Centro Agrícola de Transformación Social y Comunitario - PR-CRP-001111

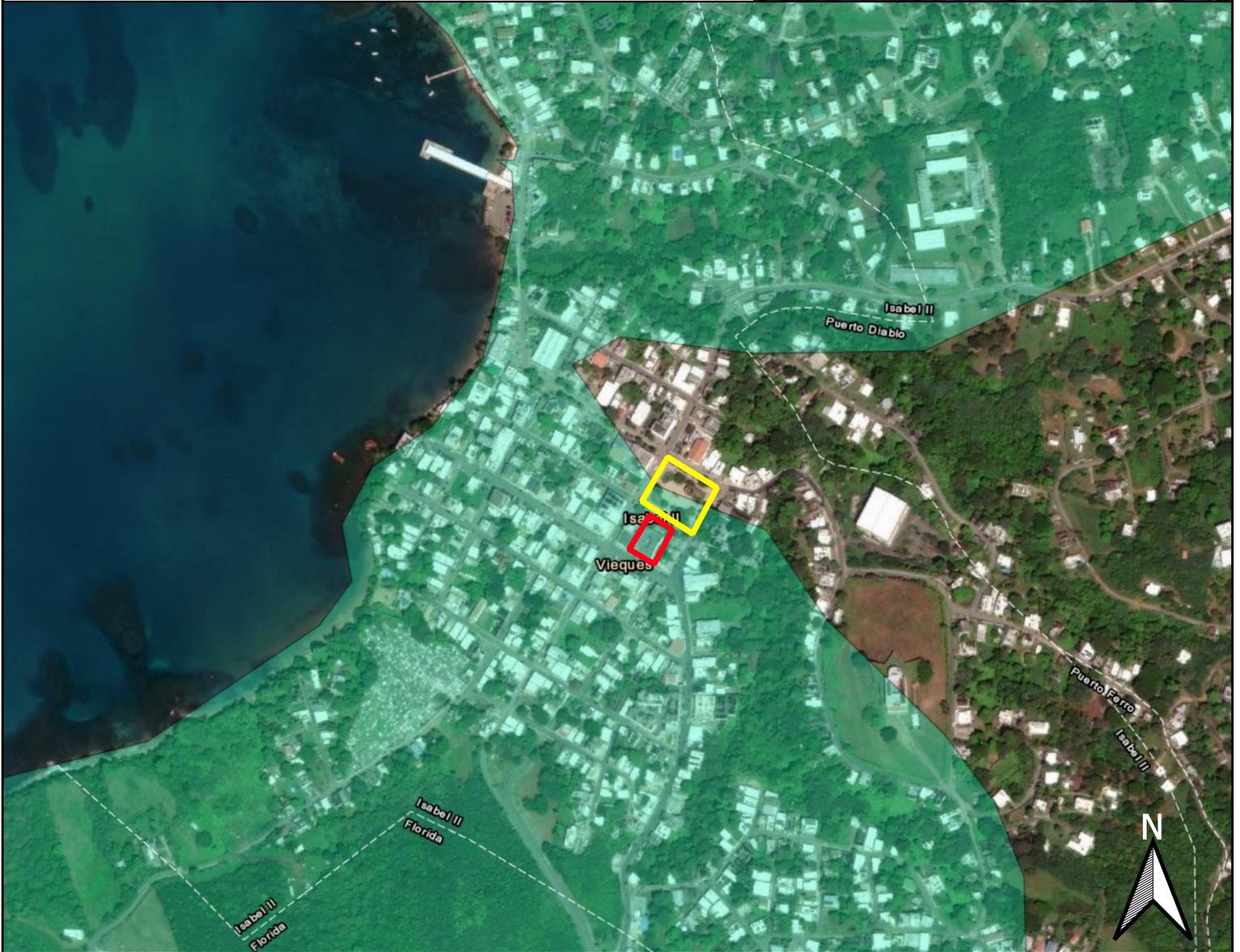
### Coastal Zone Map

Address:

Plaza: Luis Muñoz Rivera Plaza – 29 Victor Duteil St., Vieques, P.R., 00765;  
Centro Agrícola: Former J. Gautier Benítez School (Vieques Public School) –  
Víctor Duteil St., Vieques, P.R., 00765

Coordinates:

Plaza: 18.149310, -65.441310; Centro Agrícola: 18.14894, -65.44153



### Project Footprints

-  Centro Agrícola
-  Plaza
-  Coastal Zone

**AG Environmental PSC**

Engineering · Science · Field Services

Scale: 1:6400

1 inch equals 0.1 miles

0 0.1 0.2 mi



Spatial Reference:

NAD83(NSRS2007) / Puerto Rico and Virgin Is.

Sources: U.S. Climate Resilience Toolkit

(<https://drna-pmzc.maps.arcgis.com/apps/MapTools/index.html?appid=e9e1788520a74242852b03494e739ea4>).

ESRI Imagery Basemap service.

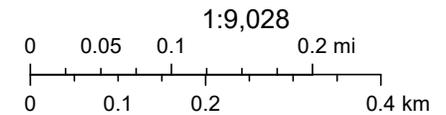


**Figure 8**  
**Mejoras a la Plaza Pública de Vieques - PR-CRP-000807; Centro Agrícola de Transformación Social y Comunitario - PR-CRP-001111**  
**Contamination and Toxic Substances Map**  
 Address:  
 Plaza: Luis Muñoz Rivera Plaza - 29 Victor Duteil St., Vieques, PR, 00765; Centro Agrícola: Former J, Gautier Benítez School (Vieques Public School) - Víctor Duteil St., Vieques, PR, 00765  
 Coordinates:  
 Plaza: 18.149310, -65.441310; Centro Agrícola: 18.14894, -65.44153

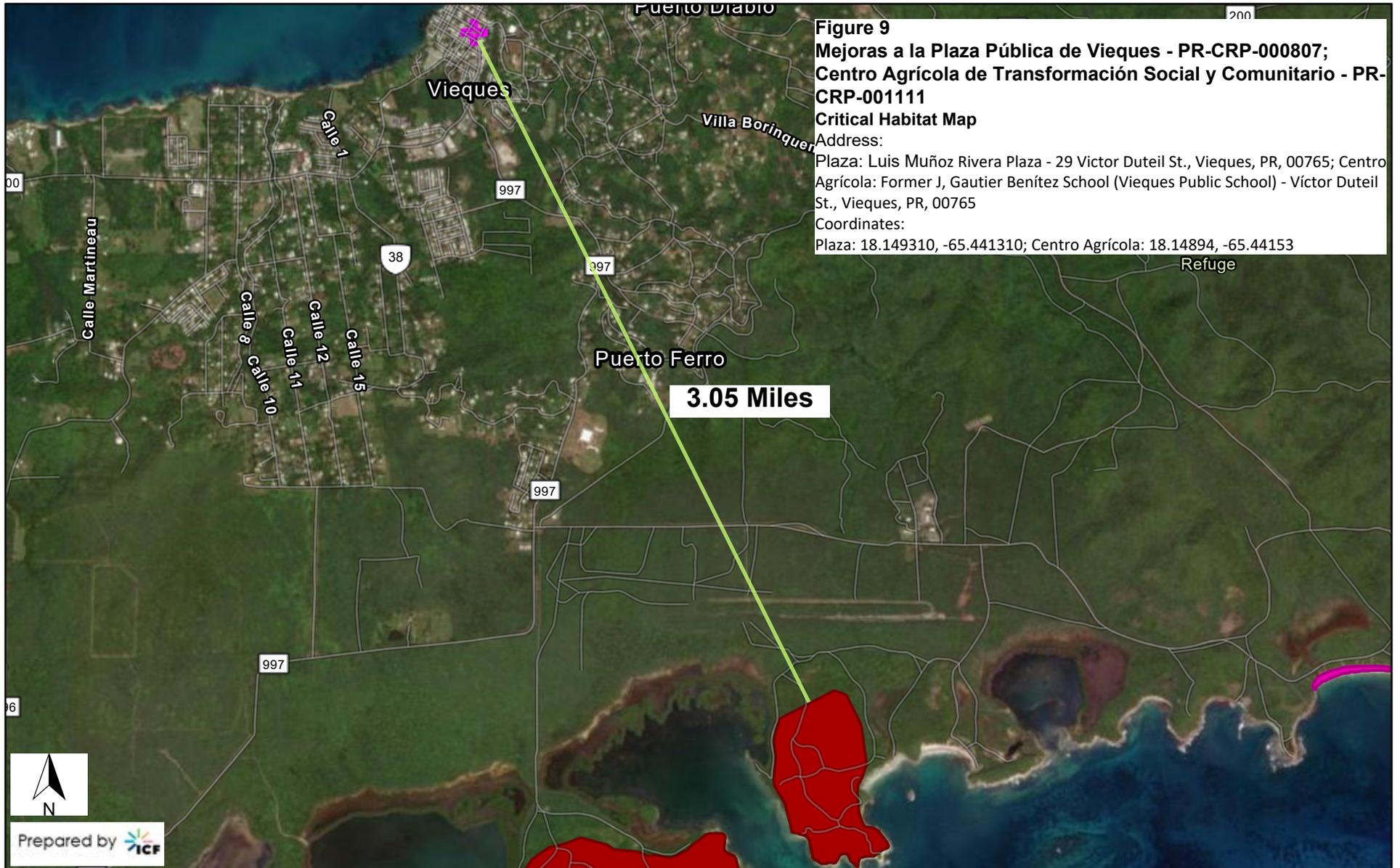
November 25, 2024

- Hazardous Waste (RCRAInfo)
- Water Dischargers (NPDES)
- Brownfields (ACRES)
- Project Buffer
- Project Area
- + Search Result (point)

Source: EPA NEPassist (<https://nepassisttool.epa.gov/nepassist/nepamap.aspx>)  
 Spatial Reference: WGS84



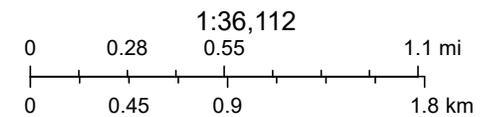
Maxar, Esri Community Maps Contributors, Esri, TomTom, Garmin, Foursquare, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, NPS,



November 26, 2024

- Critical Habitat - Polygon Features - Proposed ✚ Search Result (point)
- Critical Habitat - Polygon Features - Final

Source: EPA NEPAassist (<https://nepassisttool.epa.gov/nepassist/nepamap.aspx>)  
 Spatial Reference: WGS84



Esri, TomTom, Garmin, Foursquare, SafeGraph, GeoTechnologies, Inc, METI/  
 NASA, USGS, NPS, US Census Bureau, USFWS, Maxar

# Figure 10

## Mejoras a la Plaza Pública de Vieques - PR-CRP-000807; Centro Agrícola de Transformación Social y Comunitario - PR-CRP-001111

### Explosive and Flammable Hazards Map

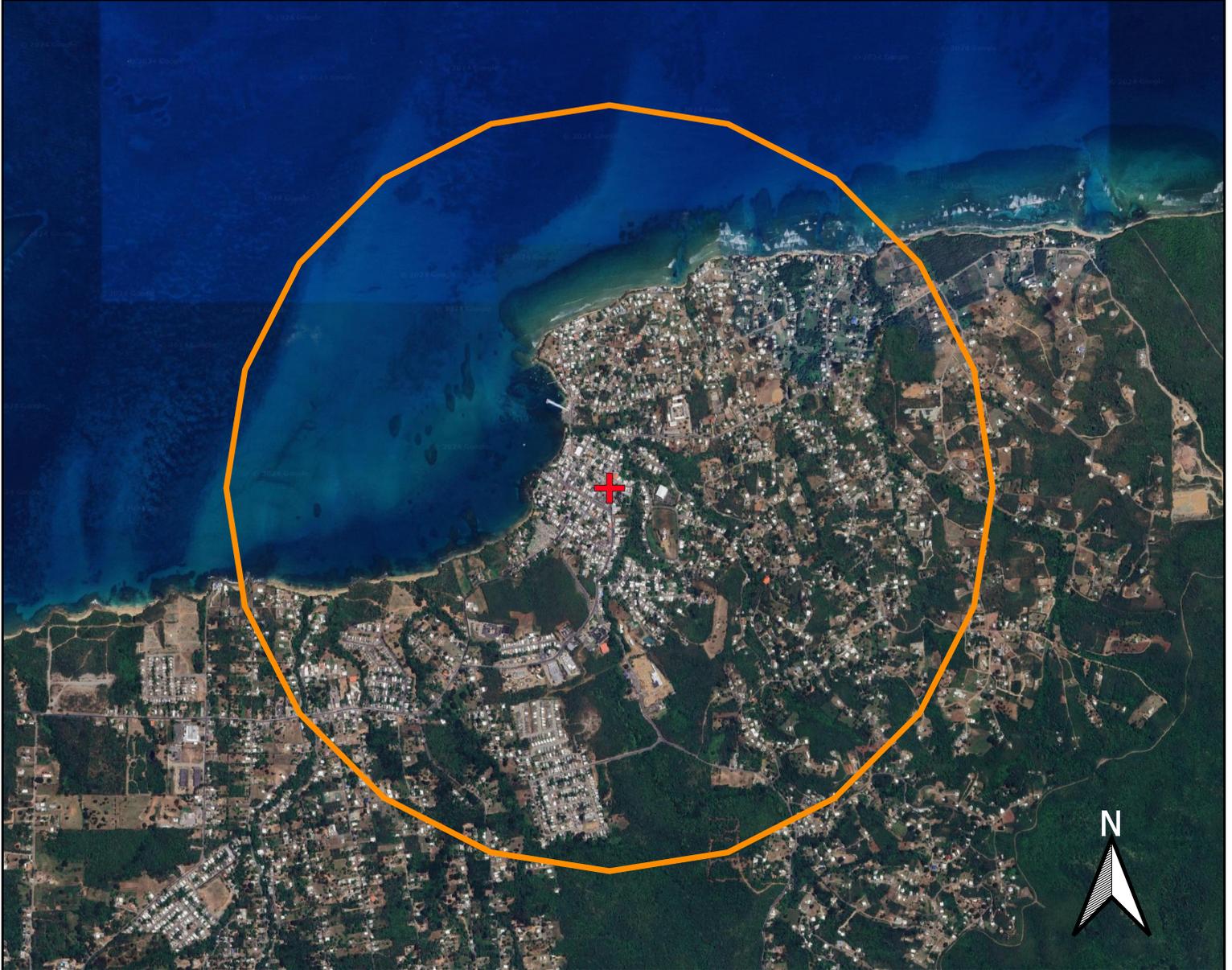
Address:

Plaza: Luis Muñoz Rivera Plaza – 29 Víctor Duteil St., Vieques, P.R., 00765;

Centro Agrícola: Former J. Gautier Benítez School (Vieques Public School) – Víctor Duteil St., Vieques, P.R., 00765

Coordinates:

Plaza: 18.149310, -65.441310; Centro Agrícola: 18.14894, -65.44153



### Legend

-  Project Point
-  Buffer 1-mile radius
-  Explosives and Flammable Hazards

AG Environmental PSC

Engineering · Science · Field Services

Scale: 1:25400  
1 inch equals 0.4 miles



Spatial Reference:  
NAD83(NSRS2007) / Puerto Rico and Virgin Is.

Sources: Google Satellite Basemap.

**Note: An AST map with a 1 mile buffer is only required if the project includes construction activities that will increase residential densities or conversion. Therefore the activity is compliant**

**Figure 11**

**Mejoras a la Plaza Pública de Vieques - PR-CRP-000807;  
Centro Agrícola de Transformación Social y Comunitario  
- PR-CRP-001111**

**Farmland Map**

Address:

Plaza: Luis Muñoz Rivera Plaza – 29 Victor Duteil St., Vieques, P.R., 00765;

Centro Agrícola: Former J. Gautier Benítez School (Vieques Public School) –  
V́ctor Duteil St., Vieques, P.R., 00765

Coordinates:

Plaza: 18.149310, -65.441310; Centro Agrícola: 18.14894, -65.44153



**Project Footprints**

 Centro Agrícola

 Plaza

**Agricultural Land**

 Farmland of statewide importance

 Not prime farmland

**AG Environmental PSC**

Engineering · Science · Field Services

Scale: 1:6400

1 inch equals 0.1 miles

0 0.1 0.2 mi



Spatial Reference:

NAD83(NSRS2007) / Puerto Rico and Virgin Is.

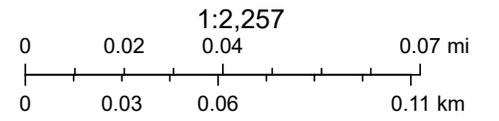
Sources: Source: U.S. Department of Agriculture (USDA) Web Soil Survey  
URL <https://websoilsurvey.nrcs.usda.gov/>



**Figure 12**  
**Mejoras a la Plaza Pública de Vieques - PR-CRP-000807; Centro Agrícola de Transformación Social y Comunitario - PR-CRP-001111**  
**Floodplain Management Map (ABFE)**  
 Address:  
 Plaza: Luis Muñoz Rivera Plaza - 29 Victor Duteil St., Vieques, PR, 00765; Centro Agrícola: Former J, Gautier Benítez School (Vieques Public School) - Víctor Duteil St., Vieques, PR, 00765  
 Coordinates:  
 Plaza: 18.149310, -65.441310; Centro Agrícola: 18.14894, -65.44153

12/8/2024, 4:35:38 PM

- |   |                               |   |
|---|-------------------------------|---|
| Flood Hazard Area (zoom in to make visible) | 0.2% Annual Chance Flood Zone | Limit of Moderate Wave Action (LIMWA)                   |
| A   | Project Area                  | Advisory Base Flood Elevation (zoom in to make visible) |
| AE  | Flood Hazard Extent           | Streamline (zoom in to make visible)                    |
| Coastal A Zone                              | 1% Annual Chance Flood        |   |
| VE  | 0.2% Annual Chance Flood      |   |



FEMA, Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community as of December 11, 2018  
 Spatial Reference: EPSG:3857

**Figure 13**

**Mejoras a la Plaza Pública de Vieques - PR-CRP-000807;  
Centro Agrícola de Transformación Social y Comunitario  
- PR-CRP-001111**

**Sole Source Aquifers Map**

Address:

Plaza: Luis Muñoz Rivera Plaza – 29 Victor Duteil St., Vieques, P.R., 00765; Centro Agrícola: Former J. Gautier Benítez School (Vieques Public School) – Víctor Duteil St., Vieques, P.R., 00765

Coordinates:

Plaza: 18.149310, -65.441310; Centro Agrícola: 18.14894, -65.44153



**Legend**

- Project Point
- Sole Source Aquifers

**AG Environmental PSC**  
Engineering · Science · Field Services

Scale: 1:9604800  
1 inch equals 150 miles



Spatial Reference:  
NAD83(NSRS2007) / Puerto Rico and Virgin Is.  
Sources: EPA Sole Source Aquifer Locations (EPA - <https://epa.maps.arcgis.com/apps/webappviewer/index.html?id=9ebb047ba3ec41ada1877155fe31356b>), ESRI Streets Basemap service.



**U.S. Fish and Wildlife Service**  
**National Wetlands Inventory**



**Figure 14**  
**Mejoras a la Plaza Pública de Vieques - PR-CRP-000807; Centro Agrícola de Transformación Social y Comunitario - PR-CRP-001111**  
**Wetlands Map**  
 Address:  
 Plaza: Luis Muñoz Rivera Plaza - 29 Víctor Duteil St., Vieques, PR, 00765; Centro Agrícola: Former J, Gautier Benítez School (Vieques Public School) - Víctor Duteil St., Vieques, PR, 00765  
 Coordinates:  
 Plaza: 18.149310, -65.441310; Centro Agrícola: 18.14894, -65.44153

Measurement Result  
 229.2 Feet



Prepared by ICF



U.S. Fish and Wildlife Service, National Standards and Support Team,  
 wetlands\_team@fws.gov

November 26, 2024

**Wetlands**

- |                                |                                   |       |
|--------------------------------|-----------------------------------|-------|
| Estuarine and Marine Deepwater | Freshwater Emergent Wetland       | Lake  |
| Estuarine and Marine Wetland   | Freshwater Forested/Shrub Wetland | Other |
| Freshwater Pond                | Riverine                          |       |

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

**Figure 15**

**Mejoras a la Plaza Pública de Vieques - PR-CRP-000807;  
Centro Agrícola de Transformación Social y Comunitario  
- PR-CRP-001111**

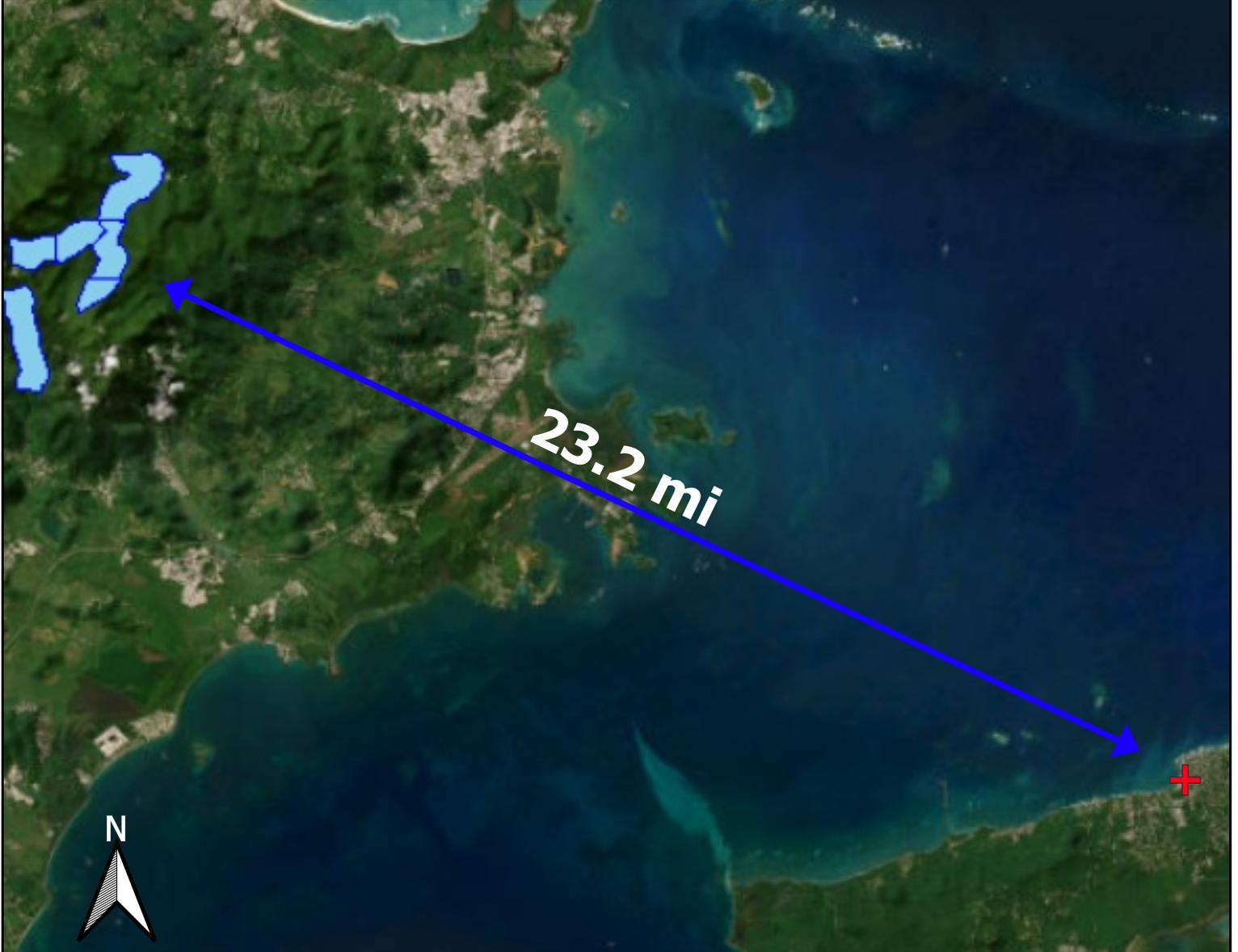
**Wild and Scenic Rivers Map**

Address:

Plaza: Luis Muñoz Rivera Plaza – 29 Víctor Duteil St., Vieques, P.R.,  
00765; Centro Agrícola: Former J. Gautier Benítez School (Vieques Public  
School) – Víctor Duteil St., Vieques, P.R., 00765

Coordinates:

Plaza: 18.149310, -65.441310; Centro Agrícola: 18.14894, -65.44153



**Legend**

-  Project Point
-  Wild and Scenic Rivers

**AG Environmental PSC**

Engineering · Science · Field Services

Scale: 1:192800  
1 inch equals 3 miles

0 3 6 mi



Spatial Reference:

NAD83(NSRS2007) / Puerto Rico and Virgin Is.

Sources: US Forest Service - National Wild and Scenic Rivers  
(<https://www.arcgis.com/home/webmap/viewer.html?webmap=0fffb9e660424703a96c81e47a501d79#:~:text=This%20web%20map%20was%20created%20by%20Esri%20Training%20Services%20to>).  
ESRI Imagery Basemap service.

## Appendix B. Project Drawings

Attached separately due to file size.

## Appendix C. Site Photos



**Figure 1.** Aerial photo of both PR-CRP-001111 - Vieques Public School (south) and PR-CRP-000807 - Vieques Public Plaza (north).



**Figure 2.** Aerial photo of PR-CRP-000807 - Vieques Public Plaza.

Additional site photos and site inspection details are included in Appendix H.



**Figure 3.** Aerial photo of PR-CRP-001111 - Vieques Public School showing nothing on the roof aside from a satellite dish in the southwest corner.



**Figure 4.** Photo of the existing entrance to PR-CRP-001111 - Vieques Public School.

Additional site photos and site inspection details are included in Appendix H.



**Figure 5.** Vieques Public School, facing north from Muñoz Rivera Street.



**Figure 6.** Vieques Public School, central courtyard.

Additional site photos and site inspection details are included in Appendix H.



**Figure 7.** Areas in need of sidewalk repair in the plaza.



**Figure 8.** Photo from within the plaza facing west.



**Figure 9.** Photo from within the plaza facing northeast.

Additional site photos and site inspection details are included in Appendix H.



**Figure 10.** View of the central area of the Plaza showing the area that is sinking (historic underground cistern location).



**Figure 11.** View of the Vieques Public School from the center of the Plaza.

Additional site photos and site inspection details are included in Appendix H.

## Appendix D. Coastal Zone Determination Supporting Documents



# GOVERNMENT OF PUERTO RICO

## PUERTO RICO PLANNING BOARD

January 9, 2025

**Mr. Angel López Guzmán**

[a.lopez@vivienda.pr.gov](mailto:a.lopez@vivienda.pr.gov)

Deputy Director

Permit and Environmental Compliance Division

PR Department of Housing

PO Box 21365

San Juan, Puerto Rico, 00928-1365

Federal Consistency Certification

Federal Assistance with CDBG funds from the

City Revitalization Program (CRP)

**CZ-2024-0129-106 / PR-CRP-001111 & CRP-000807**

**Cadastral Number: 457-052-020-04**

Improvements to the Vieques Public Square

Pueblo Ward, Vieques

Dear Mr. López:

The Puerto Rico Department of Housing submitted the application of reference to obtain federal assistance from the CDBG-DR funds through the City Revitalization Program. It involves remodeling the market square and realize some improvements to the Vieques Public Square. Project goal is to rehabilitate a community center & the town's public square. The proposed improvements will address the community's need for recreational, social, and cultural spaces, while providing a safe, resilient and inclusive space where residents and visitors can have access to fresh local produce. It will take place in existing facilities, not changing the use or footprint or adding new structures to the Coastal zone.

The proposed project is in the urban center at 449 Carlos Lebrum Street, in the municipality of Vieques.



The proposed improvements seek to demolish the exterior concrete pavement surrounding the primary structure to make way for new planting beds and paving materials. New foundations will be provided to support a new fence on the Munoz Rivera Street.

The historic structure has a total area of 5,710 SF distributed across a single raised level. The structure is situated in a lot of area of 1,210.67 square meters according to Puerto Rico Planning Board geographic database.

The application and the submitted documents comply with the Environmental Compliance requirements established by the Office of Management and Permits (OGPE), the State Historic Preservation Office (SHPO), the Puerto Rico Institute of Culture (ICP), and the Department of Natural and Environmental Resources (DRNA). After reviewing the documentation provided by the proponent, it is concluded that the project is **consistent** with the PRCZMP.

This determination does not preclude the possibility of the need to obtain any other permit or endorsement from other Commonwealth or Federal Agencies. Thanks for your cooperation with our Program. If you have any questions concerning this matter, please contact Maryguel Fuentes at 787-723-6200 ext. 16017 or her e-mail address: fuentes\_m@jp.pr.gov

Cordially,



**Luis E. Lamboy Torres**

Director

Geology and Hydrogeology Office

c: [municipio.vieques.alcaldia@gmail.com](mailto:municipio.vieques.alcaldia@gmail.com)

Department of Housing, [environmentalcdbg@vivienda.pr.gov](mailto:environmentalcdbg@vivienda.pr.gov)

Mrs. Leilani González Negrón, MBA, [legonzalez@vivienda.pr.gov](mailto:legonzalez@vivienda.pr.gov)

MFL/





GOBIERNO DE PUERTO RICO  
JUNTA DE PLANIFICACIÓN DE PUERTO RICO

30 de abril de 2024

**Sr. Angel G. López Guzmán**  
**Departamento de Vivienda**  
PO Box 21365  
San Juan, Puerto Rico 00928-1365

**Certificación de Compatibilidad Federal**  
**CZ-2024-0129-106 Federal Assistance**  
Mejoras a la Plaza Pública y Plaza del Mercado  
Centro Urbano, Vieques

Estimado señor López:

La petición de enmienda a su Determinación de Compatibilidad con el Programa de Manejo de la Zona Costanera (PMZCPR) ha sido recibida y evaluada. Le hemos asignado el número **CZ-2024-0129-106**, favor de hacer referencia al mismo cuando nos dirija correspondencia relacionada con esta solicitud.

Al revisar la información sometida a esta oficina, hemos encontrado que la misma aún carece de la información necesaria para poder ser evaluada, según se describe en la Sección 930.58 de los Procedimientos de Compatibilidad Federal. A tales efectos, deberá someter la siguiente información:

1. Evidencia del cumplimiento con el Artículo 4 (B) (3) de la Ley Sobre Política Pública Ambiental, Ley Número 416, del 22 de septiembre de 2004, emitida por la Oficina de Gerencia de Permisos (OGPe), para la acción propuesta. El cumplimiento con esta ley es un **requisito** para la eventual otorgación de la Certificación de Compatibilidad Federal con el PMZCPR.

El período de evaluación de esta solicitud iniciará cuando se reciba la información solicitada. Esperamos su respuesta a lo aquí señalado lo antes posible para proceder con la evaluación de su solicitud. Nos reiteramos a su disposición.



Para cualquier duda o pregunta al respecto, no dude en comunicarse con la Sra. Maryguel Fuentes Lacén, al teléfono: 787-723-6200 ext. 16017 o por correo electrónico a la siguiente dirección: [fuentes\\_m@jp.pr.gov](mailto:fuentes_m@jp.pr.gov).

Cordialmente,



**Lcdo. Luis E. Lamboy Torres**  
Director  
Oficina de Geología e Hidrogeología

c: [environmentcdbg@vivienda.pr.gov](mailto:environmentcdbg@vivienda.pr.gov)

MFL





# GOBIERNO DE PUERTO RICO

## JUNTA DE PLANIFICACIÓN DE PUERTO RICO

8 de febrero de 2024

**Sr. Angel G. López Guzmán**

Director

División de Cumplimiento Ambiental y Permisos

Departamento de la Vivienda

**Solicitudes de Certificación de Consistencia Federal con el Programa de Manejo de la Zona Costanera de Puerto Rico (PMZCPR), Asistencia Federal con fondos de "City Revitalization Program" (CRP)**

- Mejoras en Avenida Las Nereidas, Cataño: PR-CRP-000488
- Plaza Salvador Brau, Viejo San Juan: PR-CRP-000448
- Rehabilitación de la Calle Cerra en Santurce, San Juan: PR-CRP-000674
- Revitalización de la Plaza de Hostos, San Juan PR-CRP-000443
- Rompeolas y Facilidades Públicas en Aguadilla: PR-CRP-000492
- Mejoras a la Plaza Pública de Vieques PR-CRP-000807 y 01111\_PRDOH
- Remodelación de la Plaza de Recreo y Plaza del Quinto Centenario, Cataño: PRCRP-000528

Estimado Señor López:

Hemos estado evaluando las solicitudes de Referencia, que nos fueron referidas durante el mes de enero. Luego de la evaluación inicial de los documentos radicados con cada una de las solicitudes, hemos encontrado que las mismas carecen de información que es requerida para completar la evaluación sobre Consistencia Federal con el Programa de Manejo de la Zona Costanera de Puerto Rico (PMZCPR).

A tales efectos, le anejamos una tabla donde se indica los documentos e información que deben radicar para la evaluación de cada una de las solicitudes. De tener alguna pregunta o si necesita asistencia, no dude en comunicarse con Maryguel Fuentes Lacén o Rose A. Ortiz al (787) 723-6200, extensiones 16018 o 16012. También puede comunicarse con los técnicos de la Unidad de Zona Costanera a través de sus direcciones de correo electrónico: [fuentes\\_m@jp.pr.gov](mailto:fuentes_m@jp.pr.gov); [ortiz\\_r@jp.pr.gov](mailto:ortiz_r@jp.pr.gov).

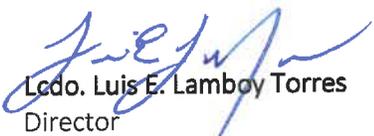


La Junta de Planificación no procederá con la evaluación de las solicitudes de referencia hasta tanto se radiquen los documentos requeridos. Se le concede un periodo de treinta (30) días a partir del recibo de esta comunicación para completar la información requerida. De no recibir la misma dentro del periodo estipulado o una solicitud de tiempo adicional, la Junta procederá con el archivo de las solicitudes de referencia.

Los documentos requeridos se deben radicar en formato digital a través del correo electrónico de [comentariosjp@jp.pr.gov](mailto:comentariosjp@jp.pr.gov) con copia al e-mail del técnico que corresponda según la tabla que se provee como anejo.

Estamos en la mejor disposición de asistirle.

Cordialmente,

  
**Lcdo. Luis E. Lamboy Torres**  
Director  
Oficina de Geología e Hidrogeología

c: Miguel A. Romero Lugo, Municipio de San Juan  
Julio Alicea Vasallo, Municipio de Cataño

RAO

Anejos



Número del Departamento de Vivienda y Descripción	Número de Caso asignado por la Junta de Planificación	Técnico a cargo en la Unidad de Zona Costanera	Información Requerida
PR-CRP-000528 Remodelación de la Plaza de Recreo y Quinto Centenario en <b>Cataño</b>	CZ-2024-0131-108	Rose A. Ortiz Diaz  (787) 723-6200 Extensión 16012  E-mail: ortiz_r@jp.pr.gov	<ul style="list-style-type: none"> <li>- Endoso sobre Cumplimiento con la Ley sobre Política Pública Ambiental (Endoso Ambiental) emitido por <b>OGPe</b>.</li> <li>- Endoso del Instituto de Cultura Puertorriqueña (<b>ICP</b>) y de la Oficina Estatal de Conservación Histórica (<b>SHPO</b>) si es requerido de acuerdo con el documento de la <b>Pre-Consulta</b> emitido por OGPe.</li> <li>- Copia de cualquier endoso o información adicional.</li> </ul>
PR-CRP-000807 y 001111_PRDOH Mejoras a la Plaza Pública y Plaza del Mercado de <b>Vieques</b>	CZ-2024-0129-106	Maryguel Fuentes  787) 723-6200 Extensión 16017  E-mail: fuentes_m@jp.pr.gov	<ul style="list-style-type: none"> <li>- Documento de la Pre-Consulta</li> <li>- Endoso Ambiental</li> <li>- Endoso de ICP y SHPO</li> <li>- Copia de cualquier endoso o información adicional.</li> </ul>
PR-CRP-000492 Construcción de un rompeolas recreacional y otras facilidades públicas en <b>Aguadilla</b> .	CZ-2024-0129-105	Maryguel Fuentes	<ul style="list-style-type: none"> <li>- El proyecto del rompeolas debe ser separado de los otros proyectos que no impactan Aguas de los Estados Unidos o no son dependientes del Agua.</li> <li>- La Certificación de Consistencia Federal con el PMZCPR para el rompeolas se trabaja automáticamente a través de la radicación del Permiso Federal del Cuerpo de Ingenieros del Ejército de Estados Unidos (USACE), una vez obtenida, se validará para el Programa CRP.</li> <li>- Los proyectos para las mejoras en las facilidades públicas que se encuentran en tierra firme requerirán el documento de la Pre-Consulta, Endoso Ambiental, y los otros endosos requeridos de acuerdo con el documento de la Pre-Consulta.</li> </ul>
PR-CRP-000443 Revitalización de la Plaza de Hostos en el <b>Viejo San Juan</b>	CZ-2024-0126-102	Rose A. Ortiz	<ul style="list-style-type: none"> <li>- Ya cuenta con el Endoso Ambiental (Exclusión Categórica).</li> <li>- Solo se necesitan los endosos de ICP y SHPO.</li> </ul>
PR-CRP-000674 Rehabilitación de la Calle Cerra, <b>San Juan</b>	CZ-2024-0126-101	Maryguel Fuentes	<ul style="list-style-type: none"> <li>- Pre-Consulta</li> <li>- Endoso Ambiental</li> <li>- Endosos de ICP y SHPO</li> <li>- Cualquier endoso o información adicional.</li> </ul>
PR-CRP-000448	CZ-2024-0125-099	Maryguel Fuentes	<ul style="list-style-type: none"> <li>- Tiene el Endoso Ambiental.</li> </ul>

Anejo

Solicitudes de Certificación de Consistencia Federal con el PMZCPR

Asistencia Federal del Programa CRP

8 de Febrero de 2024

Plaza Salvador Brau <b>Viejo San Juan.</b>			- Solo se necesitan los endosos de ICP y SHPO y cualquier otro endoso o información adicional
CRP-000488 Mejoras al sistema vial y reforestación en la Avenida Las Nereidas en <b>Cataño.</b>	CZ-2024-0103-077	Rose A. Ortiz	- Endoso Ambiental. - Cualquier endoso o información adicional.

Submitted December 2023

Commonwealth of Puerto Rico  
Office of the Governor  
Puerto Rico Planning Board  
Physical Planning Area  
Land Use Planning Bureau

**Application for Certification of Consistency with the  
Puerto Rico Coastal Management Program**

General Instructions:

- A. Attach a 1:20,000 scale, U.S. Geological Survey topographic quadrangular base map of the site.
- B. Attach a reasonably scaled plan or schematic design of the proposed object, indicating the following:
  - 1. Peripheral areas
  - 2. Bodies of water, tidal limit and natural systems.
- C. You may attach any further information you consider necessary for proper evaluation of the proposal.
- D. If any information requested in the questionnaire does not apply in your case, indicate by writing "N/A"(not applicable).
- E. Submit a minimum of seven (7) copies of this application.

<b>DO NOT WRITE IN THIS BOX</b>			
Type of application: _____	Application Number: _____		
Date received: _____	Date of Certification: _____		
Evaluation result:	<input type="checkbox"/> Objection	<input type="checkbox"/> Acceptance	<input type="checkbox"/> Negotiation
Technician: _____	Supervisor: _____		
Comments:			

- 1. Name of Federal Agency: US Department of Housing and Urban Development
- 2. Federal Program Catalog Number: 14.228 Community Development Block Grant - Disaster Recovery
- 3. Type of Action:
  - Federal Activity
  - License or permit
  - Federal Assistance
- 4. Name of Applicant: Municipality of Vieques
- 5. Postal Address: Calle Carlos Lebrum #449 Vieques, P.R. 00765
- Telephone: 787-741-5000 Fax: 787-741-0565
- 6. Project name: Market Square for Community and Social Tranformation (PR-CRP-001111) & Improvements to the Vieques Public Square (PR-CRP-000807)
- 7. Physical Description of Project Location (area, facilities such as vehicular access, drainage, storm and sanitary sewer placement, etc.): Both projects are located in the urban center of the  
municipality of Vieques, easily accesible via street Victor Duteill, PR-220 and Calle Benitez Guzman and Calle San Francisco.

8. Type of construction or other work proposed:

- drainage                       channeling                       landfill                       sand extraction  
 pier                                       bridge                                       residential                       tourist

others (specify and explain) Project goal is to rehabilitate a community center & the town's public square

Description of proposed work: Please refer to the attached project description and associated drawings.

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9. Natural, artificial, historic or cultural systems likely to be affected by the project

Place an X opposite any of the systems indicated below that are in the project area or its surroundings, which are likely to be affected by that activity. Indicate the distance from the project to any outside system that would likely be affected.

System	Within Project	Outside Project	Distance (meters)	Local name of affected system
beach, dunes		X	230	Bahia de Mulas
marshes				
coral, reefs				
river, estuary		X	82	Unnamed creek
bird sanctuary				
pond, lake, lagoon				
agricultural unit				
forest, wood				
cliff, breakwater				
cultural or tourist area	X			Plaza & school
other (explain)		X		Floodzone X

Describe the likely impact of the project on the identified system (s).

Positive  Negative

Explain: The proposed improvements will address the community's need for recreational, social, and cultural spaces, while providing a safe, resilient and inclusive space where residents and visitors can have access to fresh local produce. The project will take place in existing facilities, not changing the use or footprint or adding new structures to the Coastal zone. Please refer to the attached Project Description for additional details.

10. Indicate permits, approvals and endorsements of the proposal by Federal and Puerto Rican government agencies. Evidence of such support should be attached to the proposal.

	Yes	No	Pending	Application Number
a. Planning Board	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<u>JP-833</u>
b. Regulation and Permits Administration	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<u>Not applicable</u>
c. Environmental Quality Board	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<u>Not Applicable</u>
d. Department of Natural Resources	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<u>Env Compliance Law 41</u>
e. State Historic Preservation Office	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<u>Section 106 consultation</u>
f. U.S. Army Corps of Engineers	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<u>Not applicable</u>
g. U.S. Coast Guard	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<u>Not applicable</u>
h. Other (s) (specify)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<u>None</u>

**CERTIFICATION**

I CERTIFY THAT (project name) Market Square for Community and Social Tranformation (PR-CRP-001111) & Improvements to the Vieques Public Square (PR-CRP-000807) is consistent with the Puerto Rico Coastal Zone Management Program, and that to the best of my knowledge the above information is true.

\_\_\_\_\_  
Name (legible)

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Position

\_\_\_\_\_  
Date



**MARVEL**

**PR-CRP-001111**

**MARKET SQUARE FOR SOCIAL AND COMMUNITY  
TRANSFORMATION (*PLAZA DEL MERCADO DE  
TRANSFORMACION SOCIAL Y COMUNITARIO*)**

**&**

**PR-CRP-000807**

**IMPROVEMENTS TO THE VIEQUES PUBLIC SQUARE  
(*MEJORAS A LA PLAZA PUBLICA DE VIEQUES*)**

**SCHEMATIC DESIGN NARRATIVE**

**August 22, 2023**

## **PR-CRP-001111 Market Square for Social and Community Transformation**

*(PR-CRP-001111 – Plaza del Mercado de Transformación Social y Comunitario)*

### **1. Owner Information**

- a. **Name of Corporation or Individual:** Municipio de Vieques
- b. **Property Owner:** Departamento de Transportación y Obras Públicas (DTOP)
- c. **Authorized Representative:** Hon. José A. Corcino Acevedo, Mayor
- d. **Postal Address** – 449 Calle Carlos Lebrum, Vieques, P.R. 00765
- e. **Physical Address** – 449 Calle Carlos Lebrum, Vieques, P.R. 00765
- f. **Telephone Number** - 787-741-5000
- g. **Email** – [municipio.vieques.alcaldia@gmail.com](mailto:municipio.vieques.alcaldia@gmail.com)
- h. **SS Patronal:** 66-0433538

### **2. Property Deed**

Refer to ATTACHMENT A - Resolution 2022-124, dated November 18, 2022 under the Committee for the Evaluation and Disposal of Real Estate, authorizing the lease agreement between DTOP and the Municipality of Vieques.

### **3. Cadaster Number**

457-052-020-04

### **4. Project Summary**

**CDBG Application ID:** PR-CRP-001111

**Project Name:** Market Square for Community and Social Transformation

**Address:** Calle Victor Duteil #29, Vieques, PR 00765

**Project Funding Amount:** 2,208,950.00

The J. Gautier Benítez School, also known as the Vieques Public School, was designed by renowned architect Antonin Nechodoma, and built by Frank B. Hatch in 1907 in the neoclassical style, typical of the time. Later repaired by Adrian Finlayson in 1919, the structure was built with concrete blocks, wooden roof with an open interior patio, with wooden doors, and wooden and glass shuttered windows. Currently, and with further interventions (no date available), the building has a concrete slab roof, non-original wood doors; with clay, ceramic and vinyl floor tiles, and aluminum jalousie “Miami” windows, which are not historical.

The original building served as a public school, properly named Vieques Public School. Currently, the building hosts several functions, acting as a center for several community organizations to provide services and programs. The proposed revitalization project seeks to rehabilitate existing facilities to create a more resilient center, one that can better support and the services which are already in the facility and provide the space for the creation of a Market Square for Social and Community Transformation by introducing an agricultural market to support for small farmers.

The proposed improvements seek to demolish the exterior concrete pavement surrounding the primary structure in order to make way for new planting beds and paving materials. New foundations will be provided to support a new fence on the Muñoz Rivera Street.

The rehabilitation of the building does not seek to change the size and/or capacity of the existing building footprint, rather, the existing spaces will be rehabilitated with the purpose of using them as a center of social and community transformation where local non-profit organizations can make use of multidisciplinary classrooms for training and provide community services by leasing office spaces. Part of the rooms within the rehabilitated building will become an Agricultural Market which will provide access to local families and communities in Vieques to fresh produce from small local farmer merchants, encouraging and supporting the local economy. The remaining areas will continue to serve as spaces where community organizations provide other services to the Vieques community.

The historic structure has a total area of 5,710 SF distributed across a single raised level. The structure is situated in a lot area of 1,210.67 square meters according to Puerto Rico Planning Board geographic database. This is identified with the cadaster number 457-052-020-04 and is classified as Urban Land

# MARVEL

(Suelo Urbano – SU) in accordance with the Plan de Uso de Terrenos de Puerto Rico on November 30, 2015. The parcel is zoned as D.g (Dotacional General) within the developed area of the Municipality of Vieques. The Lambert coordinates of the property are X: 304943.6496, Y: 235207.7547. The land has substantially flat topography. The property is located outside of the flood zone and is identified as zone X according to FEMA map 72000C1340J effective April 18, 2018.

## Existing Conditions



View of former Gautier Benítez School main façade. Photo taken from Víctor Duteil St. Camera looking south.

# MARVEL



View of former Gautier Benítez School secondary façade. Photo taken from Muñoz Rivera St. Camera looking north.



View of former Gautier Benítez School interior patio. Camera looking south.

## **Acquisition**

The property is owned by the Department of Transportation and Public Works (DTOP) and leased by the Municipality of Vieques as of Resolution 2022-124 effective November 18, 2022

## **Demolition**

Demolition work will focus on exterior paving, planters and the concrete block fence facing Calle Muñoz Rivera as parts of the existing wall have collapsed. Exterior envelope elements such as non-historic windows and doors and skylight will be removed. GWB partitions, acoustic ceiling tiles, vinyl flooring, rubber base and ceramic tiles will also be removed.

## **Purchases and Equipment**

The agricultural market will require refrigerated open display and refrigerator equipment for produce items intended for sale. Shelving units will be affixed to the top and bottom of the existing interior concrete floor and roof slab. The following appliances will be supplied by the vendor for the operation of the coffee shop. These will require electrical and plumbing hookups:

1. Espresso Machine
2. Coffee Grinder
3. Commercial Coffee Brewer
4. Hot Water Dispenser
5. Water Filtration System
6. Undercounter refrigerator
7. Water Filtration System
8. Commercial Blender
9. Ice Machine
10. POS System

The building will be equipped with a service sink and a janitor closet for maintenance and operations.

## **Rehabilitation, Renovation, Repairs & Improvements**

The proposed intervention seeks to rehabilitate the existing building and recover those qualities of historic architectural value that the property has. Therefore, on the building exterior, areas with spalled concrete will be repaired, and cracked or missing cornices, moldings, and window sills will be restored. The exterior walls will be altered only to recover original vent openings at the base of the building that have been covered over time and contribute to the historic character of the structure.

The existing metal jalousie windows will be replaced, and the original openings of the windows will be recovered. New metal windows and wood doors will be incorporated. Their design seeks to be compatible with the historical character of the building emulating the appearance and patterns of the original windows and doors identified through historic photographs and other documentation as no original drawings have been found to date.

Within the building interior, existing gypsum board walls will be removed, and new partitions will be put in place where required, based on the proposed programming of the spaces. The existing ceramic tiles in the bathrooms will be removed and replaced with new tiles.

The existing skylight and louvers structure above the interior courtyard will be replaced to integrate new low-e glazing and support system. The supporting concrete curb on which it sits will be raised to improve impermeability and accommodate new roof insulation and membrane system on the surrounding roof.

## **Construction**

The exterior site concrete fence wall facing Muñoz Rivera Street will be reconstructed to provide a wider access into the property and access from the sidewalk for trash storage. The iron fence along Calle Victor Duteil will be preserved and restored, with repairs to the low wall.

To meet ADA requirements, two different ramps will be required to provide an accessible entrance to the building. On the Muñoz Rivera Street approach, the existing non-compliant ADA ramp will be demolished. The ground elevation will be raised to meet sidewalk grade and a slab on grade ramp will be erected to the West side of the building entrance. A new landing will be provided at finish floor elevation with new stairs on the opposite side of the new ramp. On the Victor Duteil Street approach, the existing historic stairs will be enclosed over a slab on grade ramp and landing structure in an effort to preserve the original building

elements. New entrance stairs will be constructed to align with the central building axis, forward from their original location.

## **Utilities and Infrastructure**

### **Structural**

The structural scope of work consists of the alteration of an existing building to be transformed into a market square. A GPR survey for the existing structural elements will be performed in the old school structure to evaluate the existing conditions of the structure. It is also proposed various explorations of existing foundations be made. Such information will determine the magnitude of the foundation and structure reinforcement required. Areas affected by corroded rebar and/or loose concrete will need to be repaired according to specified instructions.

### **Electrical**

The scope of the electrical work aims to provide a fully new electrical system with a new three-phase feeder to the improved point of connection that complies with all standards and regulations. All existing electrical system will be demolished and/or abandoned.

A new solar photovoltaic array is proposed to assure the resiliency and performance of a building that will function as a community center. The grid interactive photovoltaic (PV) system of 35 KW shall be installed on the roof. The photovoltaic modules will be mounted on a raised aluminum framework over the replaced roof membrane. The proposed location on the roof takes best advantage of the southern exposure and allows the array to be concealed from public view as the existing building parapet has an elevation of approximately 8 feet. It is expected it will generate approximately 30% - 40% of the project energy used. System is proposed to be a net metering concept type of installation to reduce the energy consumption and the utility bill costs, not as a backup system.

A new emergency distribution system will be provided. This system will consist of a diesel driven generator (final capacity to be determined), ATS and Emergency Distribution Panel that will serve the whole building electrical load.

A new fire alarm system consisting of manual and automatic initiation means, audio and visual notification appliances will be provided per NFPA requirements for educational facilities.

## **Mechanical**

The mechanical building systems will be designed using energy efficient methods and environmentally friendly strategies. New ventilation and air conditioning systems will be provided only in the proposed office spaces. The mechanical equipment serving these spaces will be located on the roof of the existing building and will be anchored and concealed behind the existing building parapet.

In the spaces occupied by the agricultural market and café programs, passive design strategies, such as operable fenestration, augmented by ceiling fans, will be implemented to allow for fresh air cross-ventilation.

## **Plumbing and Sanitary System**

The distribution system shall consist of the location of existing piping entering the building, provide a new reduced pressure zone backflow preventer and continuing to all fixtures. All portions of the building plumbing fixture, and equipment shall be protected from static pressures greater than 80 psi by the installation of pressure reducing valves.

The proposed improvements include the provision of potable water cisterns and dedicated pumps to serve the building when service is disrupted. Service will continue to tie into the existing water meter on site.

The bathroom fixtures count will be reduced on the existing bathrooms complying with the proposed building use occupancy (Business) as per the 2018 Puerto Rico Building Code and the Americans with Disabilities Act (ADA). A new sink will be provided at the proposed coffee shop area as well as a service sink for a new janitor room and water fountain to serve the building users as required by the 2018 Puerto Rico Building Code.

## **Fire Protection**

Currently, the building does not have fire protection by means of sprinkler system. Fire extinguishers will be provided as required by NFPA 10.

## **Telecommunications**

A new telecommunications infrastructure will be provided. New telecommunications point of connection will be requested from the “Junta Reglamentadora de Telecomunicaciones” and a new main telephone and cable TV underground distribution system will be provided. New main distribution cabinets will be installed, as well as a new building distribution that will provide the necessary pathways for the required information system requirements including wireless connections for full building coverage.

## **PR-CRP-000807 Improvements to the Vieques Public Square**

*(PR-CRP-000807 – Mejoras a la Plaza Pública de Vieques)*

### **1. Owner Information**

- a. **Name of Corporation or Individual:** Municipio de Vieques
- b. **Property Owner:** Municipio de Vieques
- c. **Authorized Representative:** Hon. José A. Corcino Acevedo, Mayor
- d. **Postal Address** – 449 Calle Carlos Lebrum, Vieques, P.R. 00765
- e. **Physical Address** – 449 Calle Carlos Lebrum, Vieques, P.R. 00765
- f. **Telephone Number** - 787-741-5000
- g. **Email** – [municipio.vieques.alcaldia@gmail.com](mailto:municipio.vieques.alcaldia@gmail.com)
- h. **SS Patronal:** 66-0433538

### **2. Property Deed**

Refer to ATTACHMENT B – MOV Plaza Ownership Certification Letter

### **3. Cadaster Number**

457-042-019-01

### **4. Project Summary**

**Application ID:** PR-CRP-000807

**Project Name:** Improvements to the Vieques Public Square

**Address:** 449 Calle Carlos Lebrum, Vieques, PR 00765

**Project Funding Amount:** 1,835,187.50

Vieques Public Square (c.1845), also known as Plaza Luis Muñoz Rivera, is first identified in an 1850 plan that shows the urban grid, just six years after the town of Isabel Segunda was founded. The original

aspect of the plaza, as with most others in Latin America, was an open space covered with dirt-land, around which were located the primary public, governmental, and religious buildings. The first intervention made was in 1869-1871 for the construction of a public cistern of circular shape and can be found documented in maps from 1887 through 1898. Later, in a 1916-1920 intervention, part of the cistern was demolished, and another part is still underground. This project included a complete redesign of the plaza, and the construction of a concrete gazebo with a sheet-metal roof. In 1947-1953, the gazebo's roof was reconstructed in reinforced concrete, and the existing columns were altered, the plaza was also repaved with terrazzo, and the green areas were rebuilt. The latest remodeling of the Plaza was in 2004-2007, the existing gazebo located at the center of the plaza was demolished and another was constructed at the northeast corner of the plaza. The plaza was also repaved with terrazzo with a new pattern, the design of the existing planters was altered and covered in coral stone. As part of this last intervention, a new fountain was built at the southwest corner of the plaza inside a planter shaped like Vieques Island.

The Vieques Public Square serves as the main gathering place for the residents and visitor of the Island especially during the different festivities celebrated year-round. On the Southeast corner of the Plaza, there is a permanent concession stand occupied and local street vendors frequented the plaza daily.

The proposed improvements to the public square include replacement of the existing pavement surface to repair areas where the pavement has settled, construction of new stairs extensions along the North, West, and Southwest edges of the plaza, construction of new shade structures, repairs and modification to adjacent sidewalks including the construction of new ADA compliant access ramps, new seat walls, and raised planters, restoration to the existing water feature, improvements to the site lighting, basic landscape elements, new site furnishings, outdoor speakers, and public Wi-Fi system.

Foundations are required to construct several elements of the plaza such as seating walls, stairs, curbs, ramps, low retaining walls, concrete pedestal to locate the existing monument, support posts for shade structures, and raised planters. The primary means of construction for the foundations of the plaza and sidewalk elements will be using poured-in-place reinforced concrete.

Ground disturbances will occur in several places throughout the plaza and are required to build the foundations for the steps, raised planters, seat walls, concrete pedestal, and shade structure support

posts. Ground disturbances will also occur during the demolition process of existing concrete raised planting beds, concrete stairs along the North, West of existing concrete raised planting beds and concrete stairs along the Public Square's North, West, and Southwest edges of the Public Square.

Improvements and repairs to the public square do not seek to increase the capacity or size of the plaza or adjacent sidewalks. The intervention will maintain the current programmatic uses of the public spaces.

Vieques Public Square is in a lot that has 3.808 sq.m with the cadaster number 457-042- 019-01 and is classified as Urban Land (Suelo Urbano-SU) in accordance with the Plan de Uso de Terrenos de Puerto Rico November 30, 2015, and Puerto Rico's Planning Board geographic database. The parcel is Dotacional General (Dg) within the urban area of the municipality of Vieques. The Lambert Coordinates of the public square are X: 04973.8510, Y:235254.7010. The property is located outside of the flood zone and is identified as zone X according to FEMA map 72000C1340J effective May 25, 2018.

## Existing Conditions



*Aerial view of existing Luis Muñoz Rivera Plaza*



*View of existing Luis Muñoz Rivera Plaza. Camera looking East*

## **Acquisition**

The property is owned by the Municipality of Vieques, and no additional acquisition of land or fixed structures is expected.

## **Demolition**

The proposed intervention will require the demolition of the existing seat walls, raised planters, sections of the adjacent sidewalks, curbs, stairs, a concrete pedestal located inside a raised planter, a steel post located inside a raised planter, handrails, existing stairs, portions of the plaza's concrete slab and low

wall along the North, West, and Southwest of edges of the plaza, and existing light fixtures within the plaza. Approximately  $\pm$  12 existing trees and tree stumps will require removal as they are in poor shape or are damaged per an arborist's assessment.

## **Purchases and Equipment**

The improvement to Vieques Public Square will require the relocation of an existing electrical unit. Similarly, plumbing components, such as a water pump and sump pump will be required to restore the existing water feature on the southwest planter to its original working condition. New electrical outlets, internet service devices for a public Wi-Fi system, outdoor-grade speakers, and plumbing and electrical hookups will be provided throughout the Plaza. New light posts and site furnishings, including benches, waste receptacles, and bike racks will be incorporated into the design.

## **Rehabilitation, Renovation, Repairs & Improvements**

The proposed intervention seeks to replace 20,960 sq.ft. of the existing plaza pavement as well as the existing electrical and lighting infrastructure systems and improve the condition of the the adjacent sidewalks and existing tree pits. An approximate area of 2,500 sq. ft. of the existing concrete slab will be repaired where pavement has subsided, along with  $\pm$ 8,650 sq. ft. of sidewalks. The existing water feature located on the southwest quadrant of the square will be restored to its original operation conditions. The intended repairs and modifications do not anticipate an increase in the area or the capacity of the public square.

## **Construction**

As part of the improvements, construction of new seat walls, concrete stairs,  $\pm$ 2,700 sq. ft of pergola/shade structures, raised planters, ADA compliant ramps, low retaining walls and sidewalks curbs will take place.

## **Utilities and Infrastructure**

### **Structural**

The structural scope of work consists of the alteration of an existing Public Square. It is proposed that a complete soil report and various explorations of existing foundations be made in the existing square. Such

information will determine the magnitude of the foundation and structure reinforcement for the proposed pergola structures. Other alterations to the Public Square include the addition of planters, retaining walls, and metal trellis.

## **Electrical**

The electrical scope consists of furnishing a new electrical infrastructure, including all the new electrical components and to perform modifications to the current layouts illuminating the area. The electrical system shall be a 120/208 V, three (3) phases, four (4) wires system with sufficient capacity to serve the Plaza. All new electrical connections will be made in the MDP and the required auxiliary panelboards. A new electrical closer will be designed for the plaza to install all new electrical equipment. The demolition scope includes the removal of all the existing panels located inside the existing electrical closet, the removal of all devices installed in the plaza, removal of all lighting fixtures and other devices installed at periphery posts.

## **Plumbing**

The plumbing system's design shall include the coordination of existing domestic water, with the available utility locations indicated on the civil site utilities plan. All utilities will be coordinated with the civil engineer to include pipe sizes. The systems will be shown on the plumbing drawings leaving the Plaza to a point 5 feet outside of the Plaza area and indicated to continue the civil plans. The distribution system shall consist of the location of existing piping entering the Plaza, provide a new reduced pressure zone backflow preventer and continuing to all hose bibs and water pond feature. The popping portions for the hose bibs shall be protected from static pressures greater than 80 psi by the installation of pressure reducing valve. The pond's make-up water valve shall be protected from static pressures greater than 40 psi by the installation of a pressure reducing valve.

The water system for the water pond feature consists of a water recirculating pump that raises the pond water to the higher deck of the feature and cascading to the lower pond.

## **Telecommunications**

Will be provided as required for the remotely controlled devices and dedicated outlets for special presentations.



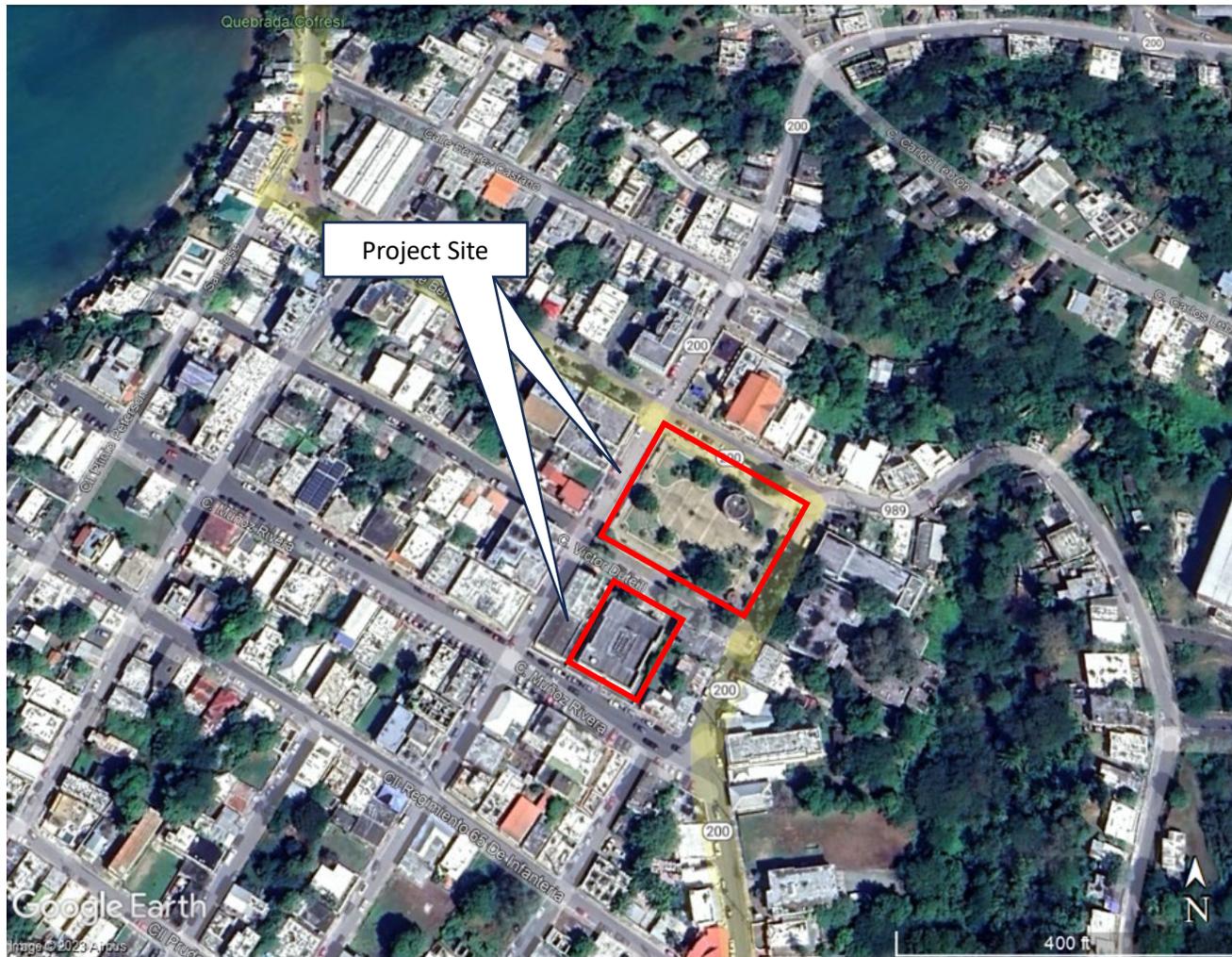
Title: Site Location Map - Topographic Map

Project: PR-CRP-001111 Market Square for Community and Social Transformation & PR-CRP-000807 Improvements to the Vieques Public Square

Source: USGS (2009)

Website: <https://ngmdb.usgs.gov/topoview/viewer/#4/40.01/-100.06>

Author: AG Environmental PSC



Title: Site Location Map - Aerial View Map

Project: PR-CRP-001111 Market Square for Community and Social Transformation & PR-CRP-000807 Improvements to the Vieques Public Square

Source: Google Earth

Website: <https://earth.google.com/web/>

Author: AG Environmental PSC

# National Flood Hazard Layer FIRMette



65°26'48"W 18°9'14"N



Project Site

72000C1340J  
eff. 11/18/2009

0 250 500 1,000 1,500 2,000 Feet 1:6,000

Basemap Imagery Source: USGS National Map 2023

## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

- SPECIAL FLOOD HAZARD AREAS**
  - Without Base Flood Elevation (BFE) Zone A, V, A99
  - With BFE or Depth Zone AE, AO, AH, VE, AR
  - Regulatory Floodway
- OTHER AREAS OF FLOOD HAZARD**
  - 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
  - Future Conditions 1% Annual Chance Flood Hazard Zone X
  - Area with Reduced Flood Risk due to Levee. See Notes, Zone X
  - Area with Flood Risk due to Levee Zone D
- OTHER AREAS**
  - NO SCREEN Area of Minimal Flood Hazard Zone X
  - Effective LOMRs
  - Area of Undetermined Flood Hazard Zone D
- GENERAL STRUCTURES**
  - Channel, Culvert, or Storm Sewer
  - Levee, Dike, or Floodwall
- CROSS SECTIONS**
  - 20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
  - 17.5
- OTHER FEATURES**
  - Coastal Transect
  - Base Flood Elevation Line (BFE)
  - Limit of Study
  - Jurisdiction Boundary
  - Coastal Transect Baseline
  - Profile Baseline
  - Hydrographic Feature
- MAP PANELS**
  - Digital Data Available
  - No Digital Data Available
  - Unmapped

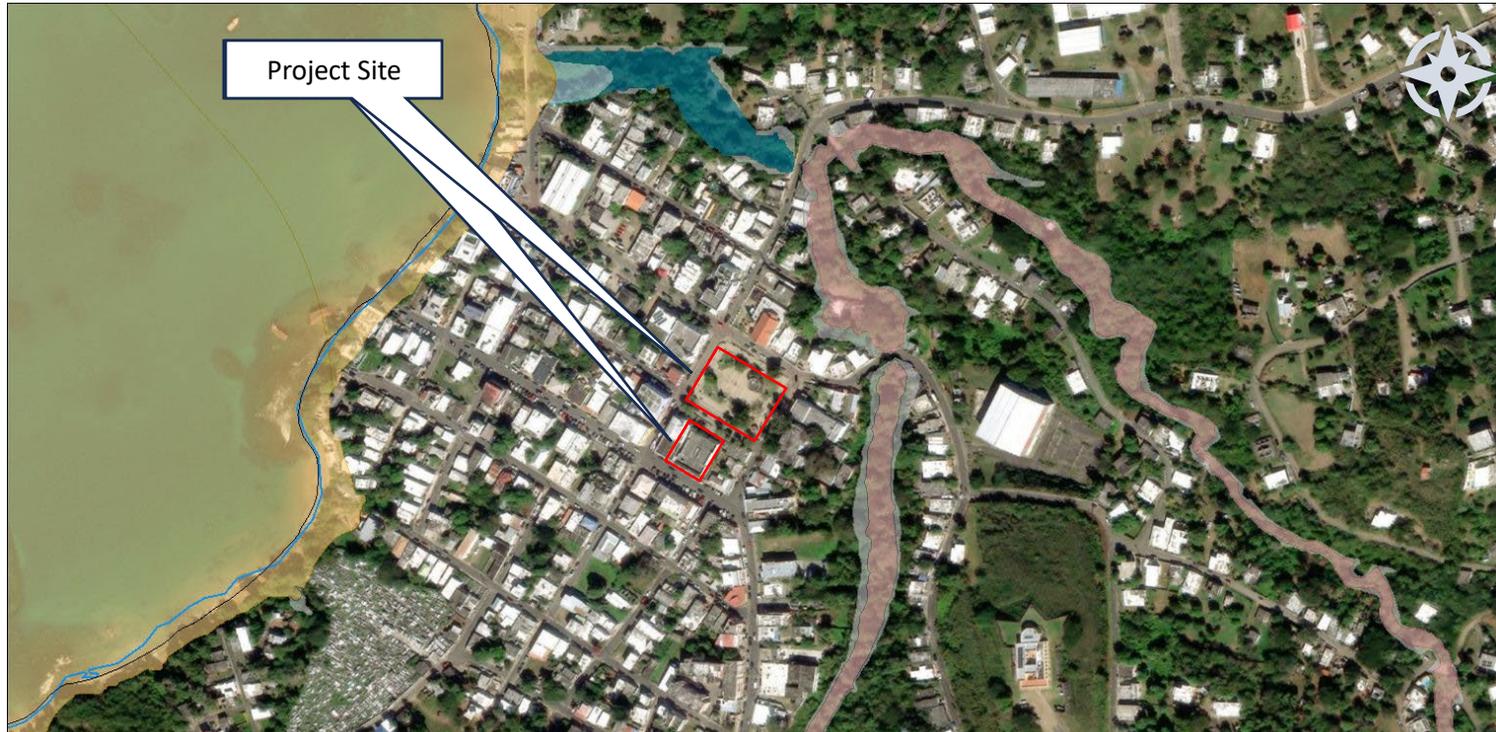
This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 10/19/2023 at 9:13 AM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

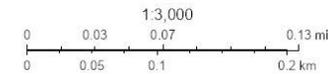
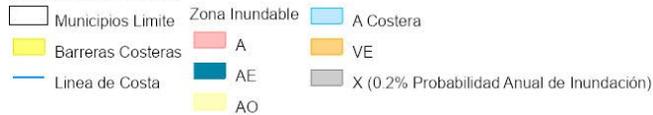
This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

Title: FEMA Flood Insurance Rate Map  
 Project: PR-CRP-001111 Market Square for Community and Social Transformation & PR-CRP-000807 Improvements to the Vieques Public Square  
 Source: FEMA  
 Website: [National Flood Hazard Layer | FEMA.gov](https://www.fema.gov/national-flood-hazard-layer)  
 Author: AG Environmental PSC

## Mapa Niveles de Inundación Base Recomendados



10/19/2023, 9:36:20 AM



Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community, PRPB, FEMA

Junta de Planificación, FEMA  
PRPB, FEMA | Junta de Planificación, Programa de Sistema de Información Geográfica |

Title: Base Flood Elevation Advisory Map

Project: PR-CRP-001111 Market Square for Community and Social Transformation & PR-CRP-000807 Improvements to the Vieques Public Square

Source: FEMA / PR Planning Board

Website: [Mapa Niveles de Inundación Base Recomendados por: \(pr.gov\)](https://pr.gov)

Author: AG Environmental PSC

## Appendix E. Contamination and Toxic Substances Supporting Documents

## EPA Facilities: Contamination and Toxic Substances

PR-CRP-000807 & PR-CRP-001111

	Description of Facility	EPA Facility Type and Distance
1	Pr Electric Power Auth Substa #2501 PR-200 KM 0.2 ISABEL II VIEQUES, PR 00765	Hazardous Waste (RCRAInfo) (.12 mi NE)
2	Predio Frente Al Muelle Isabel 97 CALLE LUIS MUNOZ RIVERA VIEQUES, PR 00765	Brownfields (ACRES) (.1 mi S)
3	<ul style="list-style-type: none"> <li>a. Naval Ammunition Support Depot PR-200 VIEQUES, PR 00765</li> <li>b. Antigua Estacion De Gasolina Isabel li PR-200 AND CALLE ANTONIO G. MELLADO VIEQUES, PR 00765</li> </ul>	<ul style="list-style-type: none"> <li>a. Hazardous Waste (RCRAInfo)</li> <li>b. Brownfields (ACRES)</li> </ul> <p style="text-align: center;">(Both .21 mi S)</p>
4	Esso Standard Oil Co - Pr I-225 PR-993 KM 1.4 BO MONTE SANTO VIEQUES, PR 00765	Hazardous Waste (RCRAInfo) (.31 mi S)
5	Industrial C&S Of Pr Llc - Vieques RD 200 CORNER 201 MARTINEAU WARD VIEQUES, PR 00765	Hazardous Waste (RCRAInfo) (.40 mi S)
6	New Medical Facilities At Vieques PR-997, KM. 0.3 FLORIDA WARD VIEQUES, PR 00765	Water Dischargers (NPDES) (.49 mi S)



# Detailed Facility Report

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Facility Summary

**PR ELECTRIC POWER AUTH SUBSTA #2501**

**PR-200 KM 0.2 ISABEL II, VIEQUES, PR 00765**

**FRS (Facility Registry Service) ID:** 110014442406

**EPA Region:** 02

**Latitude:** 18.15127

**Longitude:** -65.440239

**Locational Data Source:** RCRAINFO

**Industries:** Utilities

**Indian Country:** N

# Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
<b>Compliance Status</b>	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

## Regulatory Information

**Clean Air Act (CAA):** No Information

**Clean Water Act (CWA):** No Information

**Resource Conservation and Recovery Act (RCRA):** Active VSQG, (PRR000015875)

**Safe Drinking Water Act (SDWA):** No Information

Go To Enforcement/Compliance Details

Known Data Problems <<https://epa.gov/resources/echo-data/known-data-problems>>

## Other Regulatory Reports

**Air Emissions Inventory (EIS):** No Information

**Greenhouse Gas Emissions (eGGRT):** No Information

**Toxic Releases (TRI):** No Information

**Compliance and Emissions Data Reporting Interface (CEDRI):** No Information

Facility/System Characteristics

## Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110014442406					N	18.15127	-65.440239

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
RCRAInfo	RCRA	PRR000015875	VSQG	Active (H)			N	18.15127	-65.440239

## Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110014442406	PR ELECTRIC POWER AUTH SUBSTA #2501	PR-200 KM 0.2 ISABEL II, VIEQUES, PR 00765	Vieques Municipio
RCRAInfo	RCRA	PRR000015875	PR ELECTRIC POWER AUTH SUBSTA #2501	RD 200 KM 0.2 ISABEL II, VIEQUES, PR 00765	Vieques Municipio

## Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
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No data records returned

## Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
RCRAInfo	PRR000015875	221119	Other Electric Power Generation

## Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
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No data records returned

Enforcement and Compliance

## Compliance Monitoring History Last 5 Years

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
---------	-----------	--------	---------------	----------------------------	-------------	------	-------------------------

No data records returned

*Entries in italics are not included in ECHO's Compliance Monitoring Activity counts because they are not compliance monitoring strategy <<https://www.epa.gov/compliance/compliance-monitoring-programs>> activities or because they are not counted as inspections within EPA's Annual Results <<https://www.epa.gov/enforcement/enforcement-data-and-results>>.*

## Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
RCRA	PRR000015875	No	11/23/2024	0	11/22/2024

## Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: PRR000015875)		01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-12/31/23	01/01-03/31/24	04/01-06/30/24	07/01-09/30/24	10/01-12/31/24
Facility-Level Status		No Violation Identified											
Violation		Agency											

## Informal Enforcement Actions

Statute	System	Source ID	Type of Action	Lead Agency	Date
---------	--------	-----------	----------------	-------------	------

No data records returned

*Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.*

## Formal Enforcement Actions

Statute	System	Law/Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/ Filed Date	Settlements/ Actions	Settlement/ Action Date	Federal Penalty Assessed	State/ Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
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No data records returned

Environmental Conditions

## Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
--	---	---	---------------------------------	--------------------------------------	--	---

No data records returned

## Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
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No data records returned

## Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
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No data records returned

Pollutants

## Toxics Release Inventory History of Reported Chemicals Released or Transferred in Pounds per Year at Site

TRI Facility ID	Year	Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Disposal to Land	Total On-Site Releases	Total Off-Site Transfers
-----------------	------	---------------	--------------------------	--	------------------------	------------------	------------------------	--------------------------

No data records returned

## Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name
---------------

No data records returned

Community

# Environmental Justice

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the EJScreen home page.

## Potential Environmental Justice Concerns

- US Territory
- Supplemental/EJ index percentiles >= 90 (Census block group)
- Supplemental/EJ index percentiles >= 90 (1-mile average)

## EJScreen Indexes Shown

Index Type

## Related Reports

EJScreen Community Report

## Download Data

Census Block Group ID: 721479506003	US (Percentile)			State (Percentile)		
	Facility Census Block Group	1-mile Avg	1-mile Max	Facility Census Block Group	1-mile Avg	1-mile Max
<b>Count of Indexes At or Above 90th Percentile</b>	<b>3</b>	<b>2</b>	<b>3</b>	<b>0</b>	<b>0</b>	<b>1</b>
Particulate Matter 2.5	--	N/A	--	--	N/A	--
Ozone	--	N/A	--	--	N/A	--
Diesel Particulate Matter	0	0	--	0	0	--
Air Toxics Cancer Risk	25	35	34	0	0	--
Air Toxics Respiratory Hazard Index	20	18	25	0	0	--
Toxic Releases to Air	16	15	21	0	0	--
Traffic Proximity	📍 96	89	📍 97	63	42	66
Lead Paint	📍 96	📍 92	📍 99	78	63	📍 96
Risk Management Plan (RMP) Facility Proximity	17	15	23	0	0	--
Hazardous Waste Proximity	28	26	37	0	0	--
Superfund Proximity	📍 98	📍 98	📍 99	54	51	64
Underground Storage Tanks (UST)	0	0	--	0	0	--

Census Block Group ID: 721479506003	US (Percentile)			State (Percentile)		
	Facility Census Block Group	1-mile Avg	1-mile Max	Facility Census Block Group	1-mile Avg	1-mile Max
Wastewater Discharge	--	N/A	--	--	N/A	--

Map Display Based on:  US  State

Display Map Layer

Facility 1-mile Radius  Facility Census Block Group



## Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2021 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. Census boundaries and demographic data for U.S. Territories are based on the "2020 Island Areas Demographic Profiles" from the U.S. Census Bureau. EPA's spatial processing methodology considers the overlap between the selected radii and ACS census block groups in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <<https://epa.gov/help/reports/dfr-data-dictionary#demographic>>.

General Statistics (ACS (American Community Survey))	
Total Persons	2,968
Population Density	1,651/sq.mi.
Housing Units in Area	1,723
Percent People of Color	96%
Households in Area	862
Households on Public Assistance	29
Persons With Low Income	2,612
Percent With Low Income	88%

Geography	
Radius of Selected Area	1 mi.
Center Latitude	18.15127
Center Longitude	-65.440239
Land Area	58%
Water Area	42%

Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	514 (59.63%)
\$15,000 - \$25,000	153 (17.75%)
\$25,000 - \$50,000	164 (19.03%)
\$50,000 - \$75,000	25 (2.9%)
Greater than \$75,000	6 (.7%)

Age Breakdown (ACS (American Community Survey)) - Persons (%)	
Children 5 years and younger	216 (7%)
Minors 17 years and younger	879 (30%)
Adults 18 years and older	2,089 (70%)
Seniors 65 years and older	609 (21%)

Race Breakdown (ACS (American Community Survey)) - Persons (%)	
White	1,152 (39%)
African-American	0 (0%)
Hispanic-Origin	2,821 (95%)
Asian	9 (0%)
Hawaiian/Pacific Islander	0 (0%)
American Indian	0 (0%)
Other/Multiracial	1,450 (49%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	224 (11.53%)
9th through 12th Grade	280 (14.42%)
High School Diploma	1,098 (56.54%)
Some College/2-year	47 (2.42%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	165 (8.5%)

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<[>>](https://epa.gov/www.epa.gov/cleanups/)Cleanups In My Community (CIMC)

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# Property Details for Predio Frente al Muelle Isabel

## On this page:

- Profile Information
- Property Location
- Property Progress
- CAs Associated with this Property
- Assessment Activities at this Property
- Climate Adaption and Mitigation - Planning or Assessment
- Contaminants and Media
- Cleanup Activities
- Climate Adaption and Mitigation - Demolition or Cleanup
- Institutional & Engineering Controls
- Redevelopment and Other Leveraged Accomplishments
- Climate Adaption and Mitigation - Redevelopment
- Additional Property Attributes

[Legal Notices <https://www.epa.gov/cleanups/cimc-legal-notice/>](https://www.epa.gov/cleanups/cimc-legal-notice/)

---

## Profile Information

Property Alias

Property Owner **Private**

ACRES Property ID **224161**

Property Address **97 Calle Luis Munoz Rivera PR-200 Km 0.0 VIEQUES, PR 00765**

Size **1.4**

Parcel Numbers

Latitude/Longitude **18.148461 / -65.44171499999999**

Congressional District **1**

Property Contact **Devine, Alison**

**Devine.Alison@epa.gov**

**212-637-4158**

## Property Location

## Property Progress

Assessment	✘
Clean Up	✘
Institutional Controls in Place	✘
Engineering Controls in Place	✘
Ready for Anticipated Use	✘
Redevelopment Underway	✘

## CAs Associated with this Property

CA Name	CA #	State	Type	Announcement Year
R2 TBA - Puerto Rico (STAG Funded)	n/a	PR	TBA	2004

## Assessment Activities at this Property

Activity	EPA Funding	Start Date	Completion Date	CA	Accomplishment Counted?	Counted When?
Phase I Environmental Assessment	\$15,545.00	07/29/2015	11/25/2015	R2 TBA - Puerto Rico (STAG Funded)	Y	FY17

Is Cleanup Necessary? **Unknown**

EPA Assessment Funding: **\$15,545.00**  
Leveraged Funding:  
Total Funding: **\$15,545.00**

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---

## Climate Adaption and Mitigation - Planning or Assessment

There is no data for Climate Adaption and Mitigation - Planning or Assessment.

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---

## Contaminants and Media

Contaminant Found  
Media Affected  
**Ground Water**  
**Soil**

Remediating Action for Contaminants  
Remediating Action for Media  
**NOT Cleaned up**  
**NOT Cleaned up**

[Top of Page](#)

---

## Cleanup Activities

There are no current cleanup activities.

Cleanup/Treatment Implemented:  
Cleanup/Treatment Categories:  
Addl Cleanup/Treatment info:  
Address of Data Source:

[Top of Page](#)

---

## Climate Adaption and Mitigation - Demolition or Cleanup

There is no data for Climate Adaption and Mitigation - Demolition or Cleanup.

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# Institutional and Engineering Controls

Indicate whether Institutional Controls are required **U**

Categories of Controls

Additional Institutional Controls Information

Address of Data Source (URL if available)

Are Institutional Controls in Place

Date Institutional Controls were put in place

Indicate whether Engineering Controls are required **Yes**

Categories of Controls **Security (e.g., Guard, Fences)**

Additional Engineering controls information

Address of Data Source (URL if available)

Indicate whether Engineering Controls are in place

Date Engineering Controls were put in place

[Top of Page](#)

---

# Redevelopment and Other Leveraged Accomplishments

There are no current redevelopment activities.

Number of Redevelopment Jobs Leveraged:

Actual Acreage of Greenspace Created:

Leveraged Funding:

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---

# Climate Adaption and Mitigation - Redevelopment

There is no data for Climate Adaption and Mitigation - Redevelopment

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---

# Additional Property Attributes

## Property Highlights

**Abandoned power station and wastewater treatment plant (WWTP). No previous investigations conducted. Given the former property uses, it is likely that various oils, lubricants, solvents, hydraulic fluids, degreaser coagulants, pH stabilizers, surfactants, polymers and flocculants, which may include hazardous substances were discharged on the property, potentially impacting soil and groundwater. During recon, numerous oil stains were observed on PREPA former power generation units, and on underlying concrete floors. Several structures could not be visually assessed due to the presence of dense vegetation. A former PRASA concrete tank contained accumulated sediment/sludge, the contents of which are unknown. Given the age of the structures and observed presence of peeling paint, broken tiles, exposed insulation, and electrical panels, it is possible that lead-based paint, asbestos and PCBs exist.**

## Predominant Past Usage

**Former Use: Former power station (1960s-1970s) operated by Puerto Rico Electric Power Authority (PREPA) and WWTP (1960s-1990) operated by Puerto Rico Aqueduct and Sewer Authority (PRASA).  
Industry (1.4)**

## What types of funding are being used on this property?

## State and Tribal Program Information

## Date No Further Action Letter Received

## Date Letter/Signed Report Received from a Qualified Professional

## Other Cleanup Documentation

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<<https://www.epa.gov/contracting>>

### EPA www Web Snapshots

<<https://www.epa.gov/home/wwwepagov-snapshots>>

### Grants

<<https://www.epa.gov/grants>>

### No FEAR Act Data

<<https://www.epa.gov/ocr/whistleblower-protections-epa-and-how-they-relate-non-disclosure-agreements-signed-epa-employees>>

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# Detailed Facility Report

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Facility Summary

**NAVAL AMMUNITION SUPPORT DEPOT**

**PR-200, VIEQUES, PR 00765**

**FRS (Facility Registry Service) ID:** 110014406259

**EPA Region:** 02

**Latitude:** 18.14574

**Longitude:** -65.4418

**Locational Data Source:** FRS

**Industries:** National Security and International Affairs

**Indian Country:** N

# Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	08/17/1999
<b>Compliance Status</b>	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

## Regulatory Information

**Clean Air Act (CAA):** No Information

**Clean Water Act (CWA):** No Information

**Resource Conservation and Recovery Act (RCRA):** Active VSQG, (PRD980536189)

**Safe Drinking Water Act (SDWA):** No Information

Go To Enforcement/Compliance Details

Known Data Problems <<https://epa.gov/resources/echo-data/known-data-problems>>

## Other Regulatory Reports

**Air Emissions Inventory (EIS):** No Information

**Greenhouse Gas Emissions (eGGRT):** No Information

**Toxic Releases (TRI):** No Information

**Compliance and Emissions Data Reporting Interface (CEDRI):** No Information

Facility/System Characteristics

## Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110014406259					N	18.14574	-65.4418

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
RCRAInfo	RCRA	PRD980536189	VSQG	Active (H )			N	18.12832	-65.515659

## Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110014406259	NAVAL AMMUNITION SUPPORT DEPOT	PR-200, VIEQUES, PR 00765	Vieques Municipio
RCRAInfo	RCRA	PRD980536189	NAVAL AMMUNITION SUPPORT DEPOT	RTE 200, VIEQUES ISLAND, PR 00765	Vieques Municipio

## Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
--------	------------	----------	-----------------

No data records returned

## Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
RCRAInfo	PRD980536189	92811	National Security

## Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
------------------	------------	---------------	---------------------------

No data records returned

Enforcement and Compliance

## Compliance Monitoring History Last 5 Years

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
---------	-----------	--------	---------------	----------------------------	-------------	------	-------------------------

No data records returned

*Entries in italics are not included in ECHO's Compliance Monitoring Activity counts because they are not compliance monitoring strategy <<https://www.epa.gov/compliance/compliance-monitoring-programs>> activities or because they are not counted as inspections within EPA's Annual Results <<https://www.epa.gov/enforcement/enforcement-data-and-results>>.*

## Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
RCRA	PRD980536189	No	11/23/2024	0	11/22/2024

## Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: PRD980536189)		01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-12/31/23	01/01-03/31/24	04/01-06/30/24	07/01-09/30/24	10/01-12/31/24
Facility-Level Status		No Violation Identified											
Violation		Agency											

## Informal Enforcement Actions

Statute	System	Source ID	Type of Action	Lead Agency	Date
---------	--------	-----------	----------------	-------------	------

No data records returned

*Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.*

## Formal Enforcement Actions

Statute	System	Law/Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/ Filed Date	Settlements/ Actions	Settlement/ Action Date	Federal Penalty Assessed	State/ Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
---------	--------	-------------	-----------	----------------	----------	-------------	-----------	--------------------	----------------------	-------------------------	--------------------------	-------------------------------	--------------------------	-----------	------------------

No data records returned

Environmental Conditions

## Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
--	---	---	---------------------------------	--------------------------------------	--	---

No data records returned

## Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
-------	--------------	--------------------	----------------------	-----------------	-----------------------	--------------------	----------------	----------------------	----------------	-----------

No data records returned

## Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
-----------	-----------------------------------	---	---------------------------------	---

No data records returned

Pollutants

## Toxics Release Inventory History of Reported Chemicals Released or Transferred in Pounds per Year at Site

TRI Facility ID	Year	Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Disposal to Land	Total On-Site Releases	Total Off-Site Transfers
-----------------	------	---------------	--------------------------	--	------------------------	------------------	------------------------	--------------------------

No data records returned

## Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name
---------------

No data records returned

Community

# Environmental Justice

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the EJScreen home page.

## Potential Environmental Justice Concerns

- US Territory
- Supplemental/EJ index percentiles >= 90 (Census block group)
- Supplemental/EJ index percentiles >= 90 (1-mile average)

## EJScreen Indexes Shown

Index Type

## Related Reports

EJScreen Community Report

## Download Data

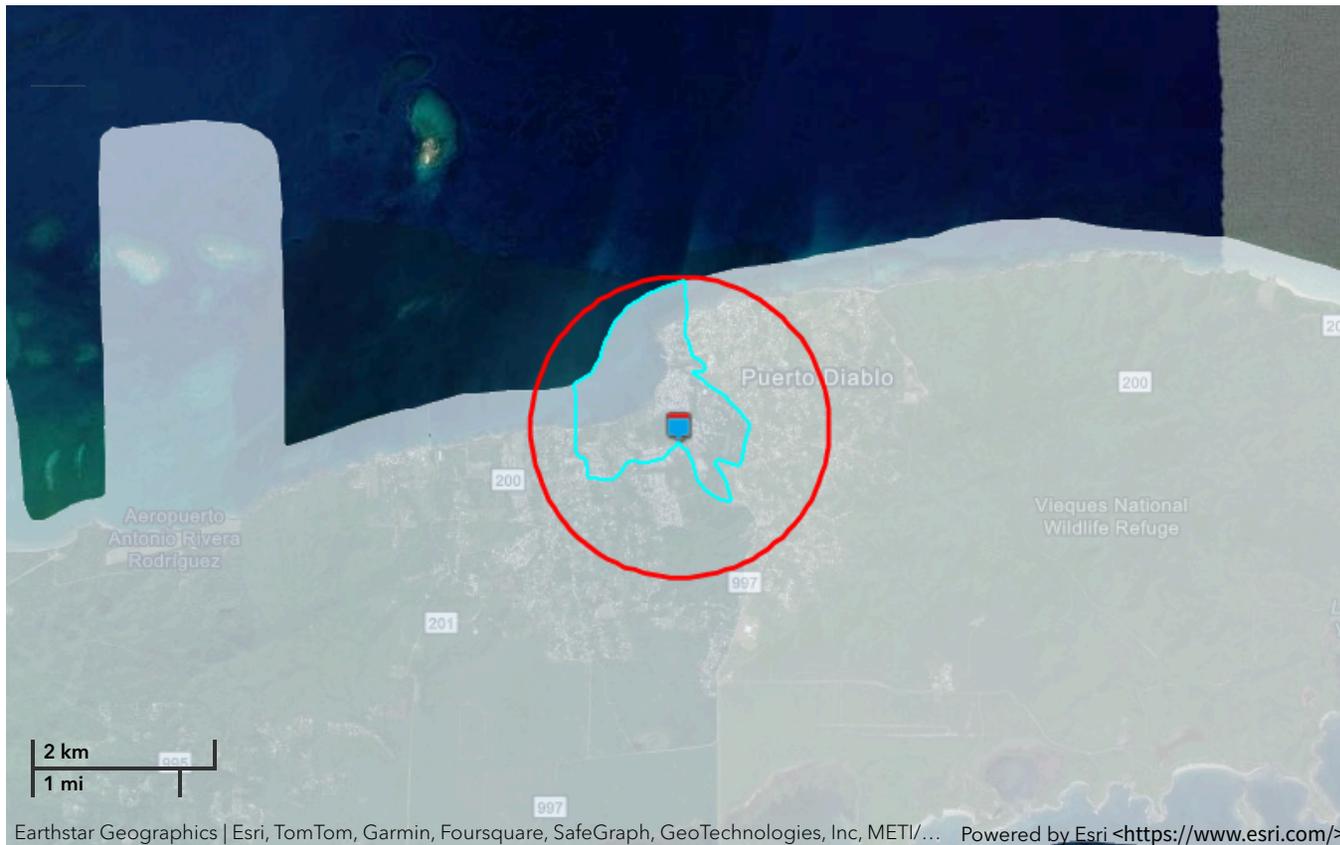
Census Block Group ID: 721479506003	US (Percentile)			State (Percentile)		
	Facility Census Block Group	1-mile Avg	1-mile Max	Facility Census Block Group	1-mile Avg	1-mile Max
<b>Count of Indexes At or Above 90th Percentile</b>	<b>3</b>	<b>2</b>	<b>3</b>	<b>0</b>	<b>0</b>	<b>1</b>
Particulate Matter 2.5	--	N/A	--	--	N/A	--
Ozone	--	N/A	--	--	N/A	--
Diesel Particulate Matter	0	0	--	0	0	--
Air Toxics Cancer Risk	25	35	34	0	0	--
Air Toxics Respiratory Hazard Index	20	18	25	0	0	--
Toxic Releases to Air	16	15	21	0	0	--
Traffic Proximity	📍 96	87	📍 97	63	40	66
Lead Paint	📍 96	📍 93	📍 99	78	67	📍 96
Risk Management Plan (RMP) Facility Proximity	17	15	23	0	0	--
Hazardous Waste Proximity	28	26	37	0	0	--
Superfund Proximity	📍 98	📍 98	📍 99	54	50	64
Underground Storage Tanks (UST)	0	0	--	0	0	--

Census Block Group ID: 721479506003	US (Percentile)			State (Percentile)		
	Facility Census Block Group	1-mile Avg	1-mile Max	Facility Census Block Group	1-mile Avg	1-mile Max
Wastewater Discharge	--	N/A	--	--	N/A	--

Map Display Based on:  US  State

Display Map Layer

Facility 1-mile Radius  Facility Census Block Group



# Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2021 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. Census boundaries and demographic data for U.S. Territories are based on the "2020 Island Areas Demographic Profiles" from the U.S. Census Bureau. EPA's spatial processing methodology considers the overlap between the selected radii and ACS census block groups in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <<https://epa.gov/help/reports/dfr-data-dictionary#demographic>>.

General Statistics (ACS (American Community Survey))	
Total Persons	3,510
Population Density	1,569/sq.mi.
Housing Units in Area	1,912
Percent People of Color	97%
Households in Area	980
Households on Public Assistance	29
Persons With Low Income	3,154
Percent With Low Income	90%

Geography	
Radius of Selected Area	1 mi.
Center Latitude	18.14574
Center Longitude	-65.4418
Land Area	72%
Water Area	28%

Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	549 (56.13%)
\$15,000 - \$25,000	188 (19.22%)
\$25,000 - \$50,000	194 (19.84%)
\$50,000 - \$75,000	30 (3.07%)
Greater than \$75,000	17 (1.74%)

Age Breakdown (ACS (American Community Survey)) - Persons (%)	
Children 5 years and younger	229 (7%)
Minors 17 years and younger	950 (27%)
Adults 18 years and older	2,560 (73%)
Seniors 65 years and older	758 (22%)

Race Breakdown (ACS (American Community Survey)) - Persons (%)	
White	1,170 (33%)
African-American	0 (0%)
Hispanic-Origin	3,332 (95%)
Asian	6 (0%)
Hawaiian/Pacific Islander	0 (0%)
American Indian	0 (0%)
Other/Multiracial	1,955 (56%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	289 (12.02%)
9th through 12th Grade	333 (13.85%)
High School Diploma	1,263 (52.52%)
Some College/2-year	40 (1.66%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	270 (11.23%)

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---

# Property Details for Antigua Estacion de Gasolina Isabel II

## On this page:

- Profile Information
- Property Location
- Property Progress
- CAs Associated with this Property
- Assessment Activities at this Property
- Climate Adaption and Mitigation - Planning or Assessment
- Contaminants and Media
- Cleanup Activities
- Climate Adaption and Mitigation - Demolition or Cleanup
- Institutional & Engineering Controls
- Redevelopment and Other Leveraged Accomplishments
- Climate Adaption and Mitigation - Redevelopment
- Additional Property Attributes

[Legal Notices](https://www.epa.gov/cleanups/cimc-legal-notice) <<https://www.epa.gov/cleanups/cimc-legal-notice>>

---

## Profile Information

Property Alias	
Property Owner	<b>Private</b>
ACRES Property ID	<b>224141</b>
Property Address	<b>Road 200 and Calle Antonio G. Mellado Road 200 Calle Antonio G. Mellado VIEQUES, PR 00765</b>
Size	<b>1.55</b>
Parcel Numbers	
Latitude/Longitude	<b>18.145780 / -65.441809</b>
Congressional District	<b>1</b>
Property Contact	<b>Devine, Alison</b> <b>Devine.Alison@epa.gov</b> <b>212-637-4158</b>

## Property Location

## Property Progress

Assessment	✘
Clean Up	✘
Institutional Controls in Place	✘
Engineering Controls in Place	✘
Ready for Anticipated Use	✘
Redevelopment Underway	✘

## CAs Associated with this Property

CA Name	CA #	State	Type	Announcement Year
R2 TBA - Puerto Rico (STAG Funded)	n/a	PR	TBA	2004

## Assessment Activities at this Property

Activity	EPA Funding	Start Date	Completion Date	CA	Accomplishment Counted?	Counted When?
Phase I Environmental Assessment	\$19,247.00	08/27/2015	11/24/2015	R2 TBA - Puerto Rico (STAG Funded)	Y	FY17

Is Cleanup Necessary? **Unknown**

EPA Assessment Funding: **\$19,247.00**  
Leveraged Funding:  
Total Funding: **\$19,247.00**

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---

## Climate Adaption and Mitigation - Planning or Assessment

There is no data for Climate Adaption and Mitigation - Planning or Assessment.

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---

## Contaminants and Media

Contaminant Found  
Media Affected  
**Ground Water**  
**Soil**

Remediating Action for Contaminants  
Remediating Action for Media  
**NOT Cleaned up**  
**NOT Cleaned up**

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---

## Cleanup Activities

There are no current cleanup activities.

Cleanup/Treatment Implemented:  
Cleanup/Treatment Categories:  
Addl Cleanup/Treatment info:  
Address of Data Source:

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---

## Climate Adaption and Mitigation - Demolition or Cleanup

There is no data for Climate Adaption and Mitigation - Demolition or Cleanup.

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# Institutional and Engineering Controls

Indicate whether Institutional Controls are required **U**

Categories of Controls

Additional Institutional Controls Information

Address of Data Source (URL if available)

Are Institutional Controls in Place

Date Institutional Controls were put in place

Indicate whether Engineering Controls are required

Categories of Controls

Additional Engineering controls information

Address of Data Source (URL if available)

Indicate whether Engineering Controls are in place

Date Engineering Controls were put in place

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---

# Redevelopment and Other Leveraged Accomplishments

There are no current redevelopment activities.

Number of Redevelopment Jobs Leveraged:

Actual Acreage of Greenspace Created:

Leveraged Funding:

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---

# Climate Adaption and Mitigation - Redevelopment

There is no data for Climate Adaption and Mitigation - Redevelopment

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---

# Additional Property Attributes

## Property Highlights

Abandoned former fuel station within a light commercial use zone. Municipality plans to renovate for use as municipal gas station. In 1992, three gasoline and one diesel USTs installed 30 years prior were removed and replaced with two 10,000-gallon gasoline tanks and one 6,000-gallon diesel tank. These three tanks are currently located on the subject property. During the 1992 tank removal, one of the 4,000-gallon tanks was observed to have several perforations due to corrosion. The gasoline service station was reportedly abandoned sometime between 2000 and 2012 due to fuel leaks observed to be migrating into the nearby creek. Piles of trash, debris, scrap metal, tires, and spare parts, as well as unidentified drums and maintenance equipment, are located throughout the inside of the storage shack, main office, and adjoining one-story structure. The age of the office building is unknown; it is possible lead-based paint is present on the property.

**Former Use:** Property may have been developed as early as 1951. USTs were reportedly installed in 1960s. **Current owner is Total Petroleum, past owner was Esso**

## Predominant Past Usage

**Commercial (1.55)**

What types of funding are being used on this property?

State and Tribal Program Information

Date No Further Action Letter Received

Date Letter/Signed Report Received from a Qualified Professional

Other Cleanup Documentation

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# Detailed Facility Report

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Facility Summary

**ESSO STANDARD OIL CO - PR I-225**

**PR-993 KM 1.4 BO MONTE SANTO, VIEQUES, PR 00765**

**FRS (Facility Registry Service) ID:** 110007816391

**EPA Region:** 02

**Latitude:** 18.143986

**Longitude:** -65.441688

**Locational Data Source:** FRS

**Industries:** --

**Indian Country:** N

# Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
<b>Compliance Status</b>	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

## Regulatory Information

**Clean Air Act (CAA):** No Information

**Clean Water Act (CWA):** No Information

**Resource Conservation and Recovery Act (RCRA):** Inactive Other, (PRR000001198)

**Safe Drinking Water Act (SDWA):** No Information

Go To Enforcement/Compliance Details

Known Data Problems <<https://epa.gov/resources/echo-data/known-data-problems>>

## Other Regulatory Reports

**Air Emissions Inventory (EIS):** No Information

**Greenhouse Gas Emissions (eGGRT):** No Information

**Toxic Releases (TRI):** No Information

**Compliance and Emissions Data Reporting Interface (CEDRI):** No Information

Facility/System Characteristics

## Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110007816391					N	18.143986	-65.441688

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
RCRAInfo	RCRA	PRR000001198	Other	Inactive ( )			N	18.143986	-65.441688

## Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110007816391	ESSO STANDARD OIL CO - PR I-225	PR-993 KM 1.4 BO MONTE SANTO, VIEQUES, PR 00765	Vieques Municipio
RCRAInfo	RCRA	PRR000001198	ESSO STANDARD OIL CO - PR I-225	CARR 993 KM 1.4 BO MONTE SANTO, VIEQUES, PR 00765	Vieques Municipio

## Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
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No data records returned

## Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
--------	------------	------------	-------------------

No data records returned

## Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
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No data records returned

## Enforcement and Compliance

### Compliance Monitoring History Last 5 Years

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
---------	-----------	--------	---------------	----------------------------	-------------	------	-------------------------

No data records returned

*Entries in italics are not included in ECHO's Compliance Monitoring Activity counts because they are not compliance monitoring strategy <<https://www.epa.gov/compliance/compliance-monitoring-programs>> activities or because they are not counted as inspections within EPA's Annual Results <<https://www.epa.gov/enforcement/enforcement-data-and-results>>.*

## Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
RCRA	PRR000001198	No	11/23/2024	0	11/22/2024

## Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: PRR000001198)		01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-12/31/23	01/01-03/31/24	04/01-06/30/24	07/01-09/30/24	10/01-12/31/24
Facility-Level Status		No Violation Identified											
Violation		Agency											

## Informal Enforcement Actions

Statute	System	Source ID	Type of Action	Lead Agency	Date
---------	--------	-----------	----------------	-------------	------

No data records returned

*Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.*

## Formal Enforcement Actions

Statute	System	Law/Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/ Filed Date	Settlements/ Actions	Settlement/ Action Date	Federal Penalty Assessed	State/ Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
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No data records returned

Environmental Conditions

## Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
--	---	---	---------------------------------	--------------------------------------	--	---

No data records returned

## Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
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No data records returned

## Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
-----------	-----------------------------------	---	---------------------------------	---

No data records returned

Pollutants

## Toxics Release Inventory History of Reported Chemicals Released or Transferred in Pounds per Year at Site

TRI Facility ID	Year	Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Disposal to Land	Total On-Site Releases	Total Off-Site Transfers
-----------------	------	---------------	--------------------------	--	------------------------	------------------	------------------------	--------------------------

No data records returned

## Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name
---------------

No data records returned

Community

# Environmental Justice

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the EJScreen home page.

## Potential Environmental Justice Concerns

- US Territory
- Supplemental/EJ index percentiles >= 90 (Census block group)
- Supplemental/EJ index percentiles >= 90 (1-mile average)

## EJScreen Indexes Shown

Index Type

## Related Reports

EJScreen Community Report

## Download Data

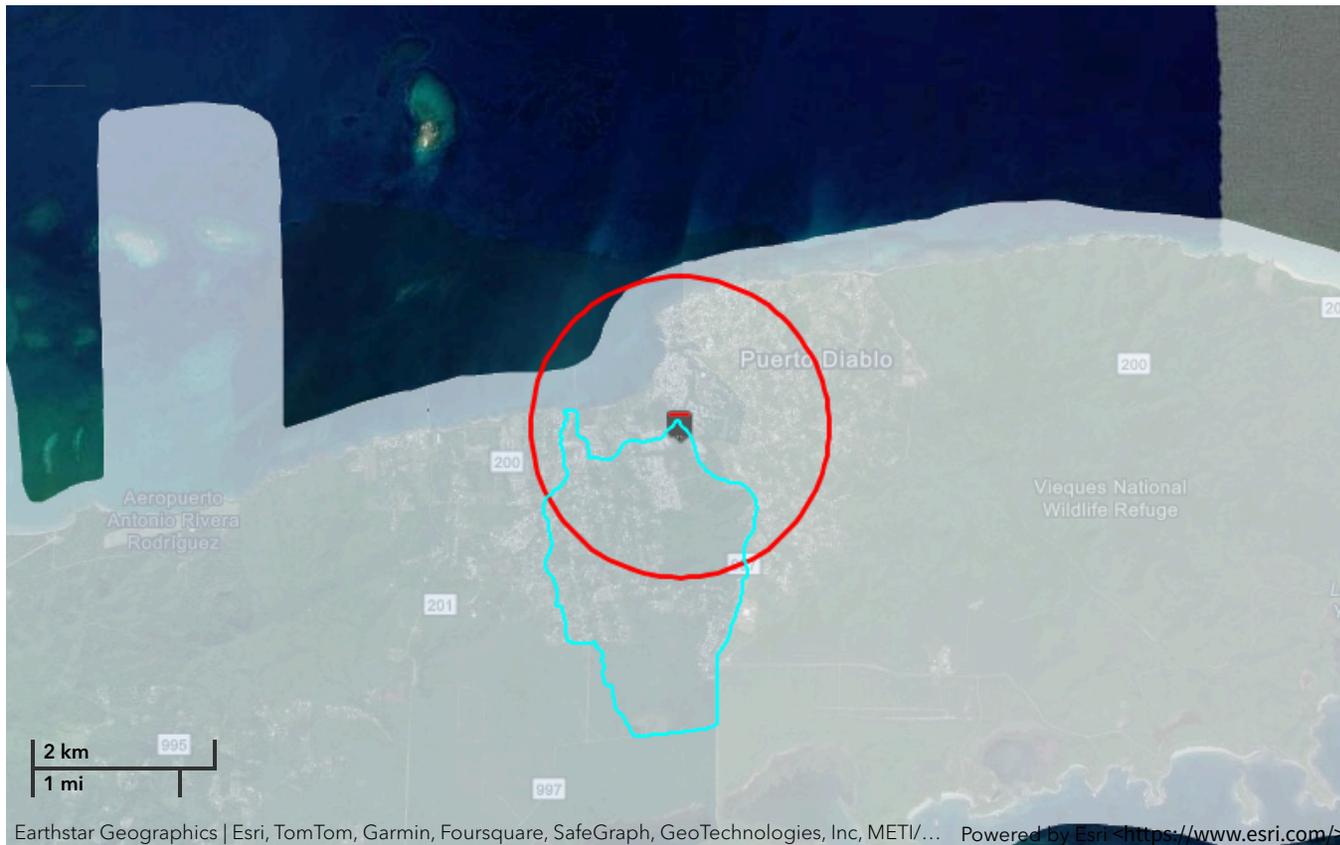
Census Block Group ID: 721479505003	US (Percentile)			State (Percentile)		
	Facility Census Block Group	1-mile Avg	1-mile Max	Facility Census Block Group	1-mile Avg	1-mile Max
<b>Count of Indexes At or Above 90th Percentile</b>	<b>2</b>	<b>2</b>	<b>3</b>	<b>0</b>	<b>0</b>	<b>1</b>
Particulate Matter 2.5	--	N/A	--	--	N/A	--
Ozone	--	N/A	--	--	N/A	--
Diesel Particulate Matter	0	0	--	0	0	--
Air Toxics Cancer Risk	21	35	34	0	0	--
Air Toxics Respiratory Hazard Index	17	18	25	0	0	--
Toxic Releases to Air	14	15	21	0	0	--
Traffic Proximity	74	87	97	25	40	66
Lead Paint	97	94	99	81	69	96
Risk Management Plan (RMP) Facility Proximity	15	15	23	0	0	--
Hazardous Waste Proximity	25	26	37	0	0	--
Superfund Proximity	97	98	99	48	51	64
Underground Storage Tanks (UST)	0	0	--	0	0	--

Census Block Group ID: 721479505003	US (Percentile)			State (Percentile)		
	Facility Census Block Group	1-mile Avg	1-mile Max	Facility Census Block Group	1-mile Avg	1-mile Max
Wastewater Discharge	--	N/A	--	--	N/A	--

Map Display Based on:  US  State

Display Map Layer

Facility 1-mile Radius  Facility Census Block Group



## Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2021 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. Census boundaries and demographic data for U.S. Territories are based on the "2020 Island Areas Demographic Profiles" from the U.S. Census Bureau. EPA's spatial processing methodology considers the overlap between the selected radii and ACS census block groups in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <<https://epa.gov/help/reports/dfr-data-dictionary#demographic>>.

General Statistics (ACS (American Community Survey))	
Total Persons	3,626
Population Density	1,545/sq.mi.
Housing Units in Area	1,940
Percent People of Color	97%
Households in Area	1,001
Households on Public Assistance	29
Persons With Low Income	3,276
Percent With Low Income	90%

Geography	
Radius of Selected Area	1 mi.
Center Latitude	18.143986
Center Longitude	-65.441688
Land Area	75%
Water Area	25%

Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	550 (54.95%)
\$15,000 - \$25,000	198 (19.78%)
\$25,000 - \$50,000	201 (20.08%)
\$50,000 - \$75,000	32 (3.2%)
Greater than \$75,000	20 (2%)

Age Breakdown (ACS (American Community Survey)) - Persons (%)	
Children 5 years and younger	230 (6%)
Minors 17 years and younger	958 (26%)
Adults 18 years and older	2,668 (74%)
Seniors 65 years and older	793 (22%)

Race Breakdown (ACS (American Community Survey)) - Persons (%)	
White	1,157 (32%)
African-American	0 (0%)
Hispanic-Origin	3,441 (95%)
Asian	5 (0%)
Hawaiian/Pacific Islander	0 (0%)
American Indian	0 (0%)
Other/Multiracial	2,083 (57%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	305 (12.13%)
9th through 12th Grade	345 (13.72%)
High School Diploma	1,296 (51.53%)
Some College/2-year	37 (1.47%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	299 (11.89%)



# Detailed Facility Report

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Facility Summary

**INDUSTRIAL C&S OF PR LLC - VIEQUES**

**RD 200 CORNER 201 MARTINEAU WARD, VIEQUES, PR 00765**

**FRS (Facility Registry Service) ID:** 110070398413

**EPA Region:** 02

**Latitude:** 18.143288

**Longitude:** -65.443058

**Locational Data Source:** RCRAINFO

**Industries:** Electrical Equipment, Appliance, and Component Manufacturing

**Indian Country:** N

# Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
<b>Compliance Status</b>	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

## Regulatory Information

**Clean Air Act (CAA):** No Information

**Clean Water Act (CWA):** No Information

**Resource Conservation and Recovery Act (RCRA):** Inactive Other, (PRR000026377)

**Safe Drinking Water Act (SDWA):** No Information

Go To Enforcement/Compliance Details

Known Data Problems <<https://epa.gov/resources/echo-data/known-data-problems>>

## Other Regulatory Reports

**Air Emissions Inventory (EIS):** No Information

**Greenhouse Gas Emissions (eGGRT):** No Information

**Toxic Releases (TRI):** No Information

**Compliance and Emissions Data Reporting Interface (CEDRI):** No Information

Facility/System Characteristics

## Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110070398413					N	18.143288	-65.443058

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
RCRAInfo	RCRA	PRR000026377	Other	Inactive ( )			N	18.143288	-65.443058

## Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110070398413	INDUSTRIAL C&S OF PR LLC - VIEQUES	RD 200 CORNER 201 MARTINEAU WARD, VIEQUES, PR 00765	Vieques Municipio
RCRAInfo	RCRA	PRR000026377	INDUSTRIAL C&S OF PR LLC - VIEQUES	RD 200 CORNER 201 MARTINEAU WARD, VIEQUES, PR 00765	Vieques Municipio

## Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
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No data records returned

## Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
RCRAInfo	PRR000026377	335313	Switchgear and Switchboard Apparatus Manufacturing

## Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
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No data records returned

Enforcement and Compliance

## Compliance Monitoring History Last 5 Years

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
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No data records returned

Entries in italics are not included in ECHO's Compliance Monitoring Activity counts because they are not compliance monitoring strategy <<https://www.epa.gov/compliance/compliance-monitoring-programs>> activities or because they are not counted as inspections within EPA's Annual Results <<https://www.epa.gov/enforcement/enforcement-data-and-results>>.

## Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
RCRA	PRR000026377	No	11/23/2024	0	11/22/2024

## Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: PRR000026377)		01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-12/31/23	01/01-03/31/24	04/01-06/30/24	07/01-09/30/24	10/01-12/31/24
Facility-Level Status		No Violation Identified											
Violation		Agency											

## Informal Enforcement Actions

Statute	System	Source ID	Type of Action	Lead Agency	Date
---------	--------	-----------	----------------	-------------	------

No data records returned

*Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.*

## Formal Enforcement Actions

Statute	System	Law/Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/ Filed Date	Settlements/ Actions	Settlement/ Action Date	Federal Penalty Assessed	State/ Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
---------	--------	-------------	-----------	----------------	----------	-------------	-----------	--------------------	----------------------	-------------------------	--------------------------	-------------------------------	--------------------------	-----------	------------------

No data records returned

Environmental Conditions

## Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
--	---	---	---------------------------------	--------------------------------------	--	---

No data records returned

## Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
-------	--------------	--------------------	----------------------	-----------------	-----------------------	--------------------	----------------	----------------------	----------------	-----------

No data records returned

## Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
-----------	-----------------------------------	---	---------------------------------	---

No data records returned

Pollutants

## Toxics Release Inventory History of Reported Chemicals Released or Transferred in Pounds per Year at Site

TRI Facility ID	Year	Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Disposal to Land	Total On-Site Releases	Total Off-Site Transfers
-----------------	------	---------------	--------------------------	--	------------------------	------------------	------------------------	--------------------------

No data records returned

## Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name
---------------

No data records returned

## e-Manifest Hazardous Waste History (Public)

### Hazardous Waste Shipped in Kilograms by Year (Through 8/24/2024)

Source ID	Waste Description	2021	2022	2023	2024
PRR000026377	Hazardous Waste	469	--	--	--
PRR000026377	Acute Hazardous Waste	0	--	--	--
PRR000026377	Pharmaceutical Hazardous Waste	0	--	--	--

“Pharmaceutical Hazardous Waste” refers to quantities managed under 40 CFR part 266 subpart P and thus excluded from the Hazardous and Acute Hazardous Waste quantities shown above.

## Community

# Environmental Justice

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the EJScreen home page.

### Potential Environmental Justice Concerns

- US Territory
- Supplemental/EJ index percentiles >= 90 (Census block group)
- Supplemental/EJ index percentiles >= 90 (1-mile average)

### EJScreen Indexes Shown

Index Type

### Related Reports

EJScreen Community Report

Download Data

Census Block Group ID: 721479505003	US (Percentile)			State (Percentile)		
	Facility Census Block Group	1-mile Avg	1-mile Max	Facility Census Block Group	1-mile Avg	1-mile Max
<b>Supplemental Indexes</b>						
<b>Count of Indexes At or Above 90th Percentile</b>	<b>2</b>	<b>2</b>	<b>3</b>	<b>0</b>	<b>0</b>	<b>1</b>
Particulate Matter 2.5	--	N/A	--	--	N/A	--
Ozone	--	N/A	--	--	N/A	--
Diesel Particulate Matter	0	0	--	0	0	--
Air Toxics Cancer Risk	21	35	34	0	0	--
Air Toxics Respiratory Hazard Index	17	18	25	0	0	--
Toxic Releases to Air	14	15	21	0	0	--
Traffic Proximity	74	87	97	25	40	66

Supplemental Indexes	US (Percentile)			State (Percentile)		
	Facility Census Block Group	1-mile Avg	1-mile Max	Facility Census Block Group	1-mile Avg	1-mile Max
Lead Paint	97	94	99	81	70	96
Risk Management Plan (RMP) Facility Proximity	15	15	23	0	0	--
Hazardous Waste Proximity	25	26	37	0	0	--
Superfund Proximity	97	98	99	48	51	64
Underground Storage Tanks (UST)	0	0	--	0	0	--
Wastewater Discharge	--	N/A	--	--	N/A	--

Map Display Based on:  US  State

Display Map Layer

Facility 1-mile Radius  Facility Census Block Group



## Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2021 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. Census boundaries and demographic data for U.S. Territories are based on the "2020 Island Areas Demographic Profiles" from the U.S. Census Bureau. EPA's spatial processing methodology considers the overlap between the selected radii and ACS census block groups in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <<https://epa.gov/help/reports/dfr-data-dictionary#demographic>>.

General Statistics (ACS (American Community Survey))	
Total Persons	3,657
Population Density	1,557/sq.mi.
Housing Units in Area	1,920
Percent People of Color	97%
Households in Area	1,001
Households on Public Assistance	28
Persons With Low Income	3,328
Percent With Low Income	91%

Geography	
Radius of Selected Area	1 mi.
Center Latitude	18.143288
Center Longitude	-65.443058
Land Area	75%
Water Area	25%

Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	546 (54.65%)
\$15,000 - \$25,000	202 (20.22%)
\$25,000 - \$50,000	198 (19.82%)
\$50,000 - \$75,000	31 (3.1%)
Greater than \$75,000	22 (2.2%)

Age Breakdown (ACS (American Community Survey)) - Persons (%)	
Children 5 years and younger	229 (6%)
Minors 17 years and younger	958 (26%)
Adults 18 years and older	2,699 (74%)
Seniors 65 years and older	807 (22%)

Race Breakdown (ACS (American Community Survey)) - Persons (%)	
White	1,132 (31%)
African-American	0 (0%)
Hispanic-Origin	3,475 (95%)
Asian	4 (0%)
Hawaiian/Pacific Islander	0 (0%)
American Indian	0 (0%)
Other/Multiracial	2,151 (59%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	309 (12.12%)
9th through 12th Grade	349 (13.69%)
High School Diploma	1,298 (50.92%)
Some College/2-year	33 (1.29%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	312 (12.24%)



# Detailed Facility Report

---

Facility Summary

**NEW MEDICAL FACILITIES AT VIEQUES**

**PR-997, KM. 0.3 FLORIDA WARD, VIEQUES, PR 00765**

**FRS (Facility Registry Service) ID:** 110071505196

**EPA Region:** 02

**Latitude:** 18.1422

**Longitude:** -65.4396

**Locational Data Source:** NPDES

**Industries:** --

**Indian Country:** N

## Enforcement and Compliance Summary

Statute	CWA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

## Regulatory Information

**Clean Air Act (CAA):** No Information

**Clean Water Act (CWA):** Non-Major, Permit Effective (PRR1000HL)

**Resource Conservation and Recovery Act (RCRA):** No Information

**Safe Drinking Water Act (SDWA):** No Information

Go To Enforcement/Compliance Details

Known Data Problems <<https://epa.gov/resources/echo-data/known-data-problems>>

## Other Regulatory Reports

**Air Emissions Inventory (EIS):** No Information

**Greenhouse Gas Emissions (eGGRT):** No Information

**Toxic Releases (TRI):** No Information

**Compliance and Emissions Data Reporting Interface (CEDRI):** No Information

Facility/System Characteristics

## Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110071505196					N	18.1422	-65.4396
ICIS-NPDES	CWA	PRR1000HL	Non-Major: General Permit Covered Facility	Effective	Construction Stormwater	02/16/2027	N	18.1422	-65.4396



## Informal Enforcement Actions

Last 5 Years

Statute	System	Source ID	Type of Action	Lead Agency	Date
---------	--------	-----------	----------------	-------------	------

No data records returned

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

## Formal Enforcement Actions

Last 5 Years

Statute	System	Law/Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/ Filed Date	Settlements/ Actions	Settlement/ Action Date	Federal Penalty Assessed	State/ Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
---------	--------	-------------	-----------	----------------	----------	-------------	-----------	--------------------	----------------------	-------------------------	--------------------------	-------------------------------	--------------------------	-----------	------------------

No data records returned

Environmental Conditions

## Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
210100060102	Northcentral Vieques	UNNAMED INTERMITTENT CREEK LOCATED TO THE WEST	No	No	--	Yes

## Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
PR	2022	PRVC54B	VIEQUES ISLAND	Unknown	--	--	Insufficient Information	--	Insufficient Information	--

## Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
-----------	-----------------------------------	---	---------------------------------	---

No data records returned

Pollutants

## Toxics Release Inventory History of Reported Chemicals Released or Transferred in Pounds per Year at Site

TRI Facility ID	Year	Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Disposal to Land	Total On-Site Releases	Total Off-Site Transfers
-----------------	------	---------------	--------------------------	--	------------------------	------------------	------------------------	--------------------------

No data records returned

# Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name

No data records returned

## CWA (Clean Water Act) Discharge Monitoring Report (DMR) Pollutant Loadings

DMR and TRI Multi-Year Loading Report

NPDES ID

Description

No data records returned

Community

## Environmental Justice

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the EJScreen home page.

### Potential Environmental Justice Concerns

- US Territory
- Supplemental/EJ index percentiles  $\geq 90$  (Census block group)
- Supplemental/EJ index percentiles  $\geq 90$  (1-mile average)

### EJScreen Indexes Shown

Index Type

Supplemental (default)

### Related Reports

EJScreen Community Report

Download Data

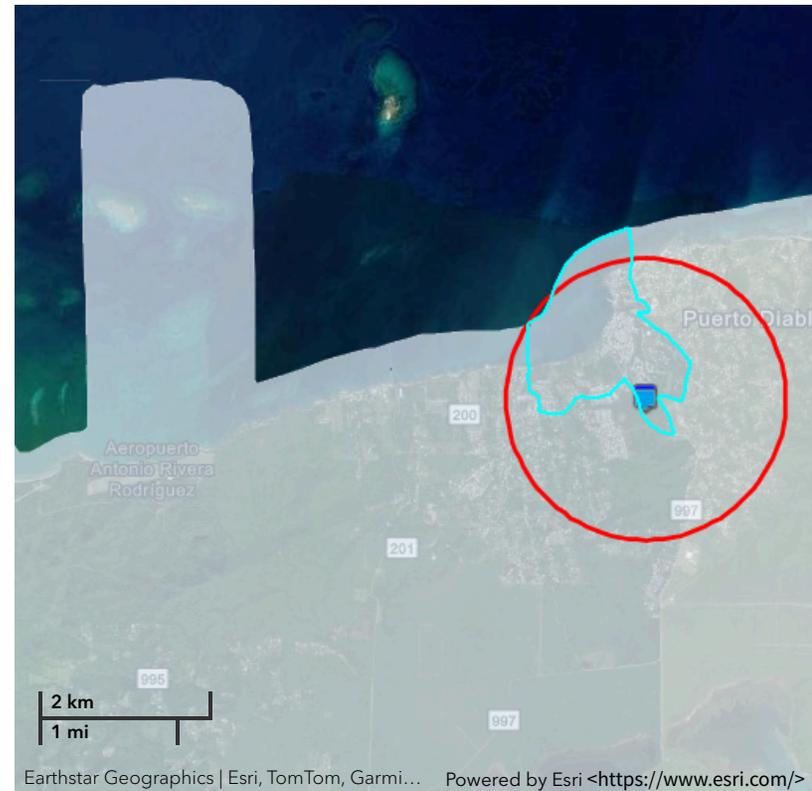
Census Block Group ID: 721479506003	US (Percentile)			State (Percentile)		
	Facility Census Block Group	1-mile Avg	1-mile Max	Facility Census Block Group	1-mile Avg	1-mile Max
<b>Count of Indexes At or Above 90th Percentile</b>	<b>3</b>	<b>2</b>	<b>3</b>	<b>0</b>	<b>0</b>	<b>1</b>
Particulate Matter 2.5	--	N/A	--	--	N/A	--
Ozone	--	N/A	--	--	N/A	--
Diesel Particulate Matter	0	0	--	0	0	--
Air Toxics Cancer Risk	25	22	34	0	0	--
Air Toxics Respiratory Hazard Index	20	18	25	0	0	--
Toxic Releases to Air	16	15	21	0	0	--
Traffic Proximity	96	87	97	63	39	66
Lead Paint	96	94	99	78	69	96
Risk Management Plan (RMP) Facility Proximity	17	15	23	0	0	--
Hazardous Waste Proximity	28	26	37	0	0	--
Superfund Proximity	98	98	99	54	50	64
Underground Storage Tanks (UST)	0	0	--	0	0	--
Wastewater Discharge	--	N/A	--	--	N/A	--

Map Display Based on:  US  State

Display Map Layer

Summary - Number of Indexes

Facility 1-mile Radius  Facility Census Block Group



## Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2021 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. Census boundaries and demographic data for U.S. Territories are based on the "2020 Island Areas Demographic Profiles" from the U.S.

Census Bureau. EPA's spatial processing methodology considers the overlap between the selected radii and ACS census block groups in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <<https://epa.gov/help/reports/dfr-data-dictionary#demographic>>.

<b>General Statistics (ACS (American Community Survey))</b>	
Total Persons	3,564
Population Density	1,457/sq.mi.
Housing Units in Area	1,911
Percent People of Color	96%
Households in Area	978
Households on Public Assistance	27
Persons With Low Income	3,205
Percent With Low Income	90%

<b>Geography</b>	
Radius of Selected Area	1 mi.
Center Latitude	18.1422
Center Longitude	-65.4396
Land Area	78%
Water Area	22%

<b>Income Breakdown (ACS (American Community Survey)) - Households (%)</b>	
Less than \$15,000	526 (53.62%)
\$15,000 - \$25,000	195 (19.88%)
\$25,000 - \$50,000	204 (20.8%)
\$50,000 - \$75,000	34 (3.47%)
Greater than \$75,000	22 (2.24%)

<b>Age Breakdown (ACS (American Community Survey)) - Persons (%)</b>	
Children 5 years and younger	215 (6%)
Minors 17 years and younger	901 (25%)
Adults 18 years and older	2,663 (75%)
Seniors 65 years and older	790 (22%)

<b>Race Breakdown (ACS (American Community Survey)) - Persons (%)</b>	
White	1,090 (31%)
African-American	0 (0%)
Hispanic-Origin	3,368 (95%)
Asian	5 (0%)
Hawaiian/Pacific Islander	0 (0%)
American Indian	0 (0%)
Other/Multiracial	2,086 (59%)

<b>Education Level (Persons 25 &amp; older) (ACS (American Community Survey)) - Persons (%)</b>	
Less than 9th Grade	312 (12.42%)
9th through 12th Grade	336 (13.37%)
High School Diploma	1,266 (50.38%)
Some College/2-year	36 (1.43%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	316 (12.57%)



## Memorandum to File

**Date:** December 23, 2024

**From:** Mildred M Guzmán  
PM Environmental Specialist  
CDBG-DR Program  
City Revitalization Program  
Puerto Rico Department of Housing

**Application Number:** PR-CRP-000807

**Project:** Centro Agrícola de Transformación Social y Comunitario

**Re: Justification for the Infeasibility and Impracticability of Radon Testing**

After reviewing Application Number PR-CRP-000807 under the City Revitalization Program, administered by the Puerto Rico Department of Housing (**PRDOH**), to complete the property's contamination analysis in accordance with 24 C.F.R. § 50.3(i) and 24 C.F.R. § 58.5(i), we have determined that testing the property's radon levels is infeasible and impracticable.

Per the U.S. Department of Housing and Urban Development's (**HUD**) CPD Notice 23-103, the recommended best practices and alternative options for radon testing are infeasible and impracticable in this case due to the following reasons:

- As required by the CPD Notice 23-103, the scientific data reviewed in lieu of testing must consist of a minimum of ten documented test results over the previous ten years. If there are less than ten documented results over this period, it is understood that there is a lack of scientific data. The latest report for radon testing in Puerto Rico was prepared in 1995 by the U.S. Department of the Interior in Cooperation with the U.S. Environmental Protection Agency. No other completed studies and reports on radon testing are available in Puerto Rico.
- There is no available science-based or state-generated information for Puerto Rico for the last ten years that can be used to determine whether the project site is in a high-risk area. The Department of Health and Human Services, Centers for Disease Control and Prevention (**CDC**), National Environmental Public Health Tracking, and Radon Testing map do not include Puerto Rico data.

- There are only two (2) licensed professionals in Puerto Rico who can conduct radon testing using the American National Standards Institute/American Association of Radon Scientists and Technologists (**ANSI/AARST**) testing standards, which makes it difficult, time-consuming, and highly expensive to coordinate and secure a site visit for the contamination evaluation.
- Do-it-yourself (**DIY**) radon test kits are known to be unreliable in assuring and controlling the quality of the test results; they are not readily available in Puerto Rico, and the cost and time required for purchasing and sending them for analysis are unreasonable when weighed against the results' reliability and the need for prompt results.
- Local authorities in Puerto Rico do not have the specialized radon monitoring equipment or trained staff needed to conduct the radon testing analysis and ensure proper quality control and quality assurance practices are adhered to. We also do not have a radiation laboratory certified for radon testing.

As part of the evaluation for this determination, PRDOH sent information requests to six (6) local agencies at the state and federal levels. We received responses from the following agencies:

- United States Geological Survey;
- Centers for Disease Control and Prevention;
- Puerto Rico Department of Health; and
- United States Environmental Protection Agency.

The agencies mentioned above confirmed the lack of scientific data on Radon testing for Puerto Rico and the technical difficulties that we face to comply with HUD's Radon testing requirement. For the above-mentioned reasons, Radon testing is infeasible and impracticable for this property, and no further consideration of Radon is needed for the environmental review.

**Radon  
Attachments**



August 20, 2024

Mrs. Carmen R. Guerrero Pérez  
Director  
Caribbean Environmental Protection Division  
City View Plaza II – Suite 7000  
#48 Rd. 165 km 1.2  
Guaynabo, PR 00968-8069

Via email: [guerrero.carmen@epa.gov](mailto:guerrero.carmen@epa.gov)

**RE: Request for information regarding available data on radon testing and levels within Puerto Rico**

The Puerto Rico Department of Housing (PRDOH) kindly requests your assistance in gathering data, information, or reports related to radon testing in Puerto Rico, as this information is crucial for our compliance with the U.S. Department of Housing and Urban Development (HUD) Community Planning and Development (CPD) Notice CDP-23-103.

This Notice emphasizes the importance of radon testing and mitigation in ensuring safe living environments, particularly in HUD-assisted properties. PRDOH, as the grantee of the Community Development Block Grant for Disaster Recovery and Mitigation (CDBG-DR/MIT), is responsible for ensuring compliance with environmental requirements under CDBG-DR/MIT programs. To fulfill our obligations under this Notice, we must compile comprehensive and up-to-date information on radon levels, testing practices, and any mitigation efforts within the islands of Puerto Rico.

Specifically, we are seeking for possible availability of the following information:

**Radon testing data** – Results from radon testing conducted within your agency's purview, including details on location, testing methods, and recorded radon levels.

**Reports and assessments** – Any reports, studies, or assessments your agency has produced or commissioned that address radon testing or mitigation.

**Policies and guidelines** – Information or any policy, guideline, or protocol your agency follows concerning radon testing, exposure limits, or mitigation.

**Historical data** – If available, historical data or trends in radon levels within the regions you monitor that may impact HUD-assisted housing.

This information is vital to ensure that our radon management strategies are practical and compliant with federal requirements. If some of this information may be sensitive or confidential, we are prepared to discuss any necessary agreements or protocols for sharing this data securely.

Please let us know if you require additional details or have any questions regarding this request. We would greatly appreciate your response by September 15, 2024, so we can incorporate this data into our ongoing compliance efforts.

Thank you in advance for your cooperation and support. We look forward to working together on this critical initiative.

Sincerely,

William O. Rodríguez Rodríguez, Esq.  
Secretary

Cc: Mr. Oleg Povelko, [Povelko.Oleg@epa.gov](mailto:Povelko.Oleg@epa.gov)  
Mr. Matthew Lantia, [lantia.matthew@epa.gov](mailto:lantia.matthew@epa.gov)



August 20, 2024

Dr. Silvina Cancelos  
Professor  
College of Engineering  
University of Puerto Rico – Mayagüez Campus  
259 Norte Blvd. Alfonso Valdés Cobián  
Mayagüez, Puerto Rico

Via email: [silvina.cancelos@upr.edu](mailto:silvina.cancelos@upr.edu)

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Sincerely,

William O. Rodríguez Rodríguez, Esq.  
Secretary

Cc: Dr. Carlos Marín, [carlos.marin3@upr.edu](mailto:carlos.marin3@upr.edu)



August 20, 2024

Dr. Jessica Izarry  
Director  
Office of Island Affairs  
U.S. Centers for Disease Control and Prevention  
1324 CII Canada, San Juan, 00920  
Guaynabo, PR 00968-8069

Via email: [OIA@cdc.gov](mailto:OIA@cdc.gov)

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Barbosa Ave. #606, Building Juan C. Cordero Dávila, Río Piedras, PR 00918 | PO Box 21365 San Juan, PR 00928-1365  
Tel. (787) 274-2527 | [www.viviendapr.gov](http://www.viviendapr.gov)

CDBG-DR/MIT Program  
Request for Information in relation with HUD CPD-23-103 for Puerto Rico  
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Sincerely,

  
William O. Rodríguez Rodríguez, Esq.  
Secretary



August 20, 2024

Mrs. Anais Rodríguez  
Secretary  
Puerto Rico Department of Natural Resources  
Carretera 8838, km. 6.3, Sector El Cinco,  
Río Piedras San Juan, PR 00926

Via email: [anais.rodriguez@dma.pr.gov](mailto:anais.rodriguez@dma.pr.gov)

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CDBG-DR/MIT Program  
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William O. Rodríguez Rodríguez, Esq.  
Secretary

Cc: Mr. Luis Márquez, [secretariogaire@dma.pr.gov](mailto:secretariogaire@dma.pr.gov)  
Eng. Amarilys Rosario, [aire@dma.pr.gov](mailto:aire@dma.pr.gov)  
Mrs. Elid Ortega, [ortega@dma.pr.gov](mailto:ortega@dma.pr.gov)



August 20, 2024

Dr. Carlos R. Mellado López  
Secretary  
Puerto Rico Department of Health  
PO Box 70184  
San Juan, PR 00936-8184

Via email: [drCarlos.mellado@salud.pr.gov](mailto:drCarlos.mellado@salud.pr.gov)

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William O. Rodríguez Rodríguez, Esq.  
Secretary

Cc: Mr. Raúl Hernández Dabla, [rahernandez2@salud.pr.gov](mailto:rahernandez2@salud.pr.gov)



August 20, 2024

Mrs. Holly Weyers  
Regional Director, Southeast – Puerto Rico  
US Geological Survey  
3916 Sunset Ridge Road  
Raleigh, NC 27607

Via email: [hsweyers@usgs.gov](mailto:hsweyers@usgs.gov)

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Sincerely,

William O. Rodríguez Rodríguez, Esq.  
Secretary

Cc: Mr. R. Randall Schumann, [rschumann@usgs.gov](mailto:rschumann@usgs.gov)

**From:** Charp, Paul (CDC/NCEH/DEHSP) <pac4@cdc.gov>  
**Sent:** Tuesday, September 3, 2024 6:36 AM  
**To:** Miranda, Sandra (CDC/PHIC/DPS); Irizarry, Jessica (CDC/PHIC/DPS); Rzeszotarski, Peter (CDC/NCEH/DEHSP); Vinson, D. Aaron (CDC/NCEH/DEHSP)  
**Cc:** Kostak, Liana (CDC/PHIC/DPS); Vazquez, Germaine (CDC/NCEH/DEHSP)  
**Subject:** RE: REHi: Puerto Rico Request for Information- Randon testing and levels

Good morning, Sandra and others,

In response to the request from Mr. William Rodriguez of the Department of Housing, Government of Puerto Rico, I have reviewed all the available data within the CDC National Environmental Public Health Tracking Network system for data related to radon in Puerto Rico. In addition to the tracking data available on the internet, I also reached out to Mr. Aaron Vinson of the NCEH Tracking Branch.

I was not able to find any data in the CDC systems and this was confirmed by Mr. Vinson. We also reached out the US Environmental Protection Agency who indicated they had no radon data in their systems. Please relay this information to Mr. Rodriguez in your response to his requests

If you have any additional questions, please contact me.

Thank you and best regards,

Paul A. Charp, Ph.D., Fellow, HPS  
Senior Health Physicist  
Emerging Environmental Hazards and Health Effects Branch (EEHHEB)  
Division of Environmental Health Science and Practice (DEHSP)  
National Center for Environmental Health (NCEH)  
Centers for Disease Control and Prevention (CDC)  
pcharp@cdc.gov  
770-488-0723 office  
404.388.0614 Cell



**From:** Schumann, R. Randall <rschumann@usgs.gov>  
**Sent:** Wednesday, August 21, 2024 4:39 PM  
**To:** Melanie Medina Smaine <mmedina@vivienda.pr.gov>; Weyers, Holly S <hsweyers@usgs.gov>  
**Cc:** Elaine Dume Mejia <Edume@vivienda.pr.gov>; Luz S Colon Ortiz <Lcolon@vivienda.pr.gov>; Aldo A. Rivera-Vazquez <aarivera@vivienda.pr.gov>  
**Subject:** RE: Request for Information- Radon testing and levels

Dear Ms. Medina Smaine,

In the early 1990s the U.S. Geological Survey (USGS) conducted geologic assessments of radon potential for all 50 states and the territories of Guam and Puerto Rico, in collaboration with the U.S. EPA. I conducted the geologic radon potential assessment for Puerto Rico. The PDF file of the report is too large to attach to this message but it can be obtained at <https://pubs.usgs.gov/of/1993/0292k/report.pdf>. The USGS did not conduct indoor radon testing and we did not conduct field studies associated with this assessment; it was based on existing data. Mr. David Saldana of the Puerto Rico Department of Health kindly provided us with data for 610 homes that were tested for indoor radon by his agency between 1993 and 1995, which are summarized in the report. I am not aware of any other radon-related geologic studies conducted in the Commonwealth of Puerto Rico by the U.S. Geological Survey.

Best regards,

R. Randall Schumann  
Scientist Emeritus  
U.S. Geological Survey  
Geosciences and Environmental Change Science Center  
Denver, Colorado, USA  
[rschumann@usgs.gov](mailto:rschumann@usgs.gov)  
<https://www.usgs.gov/staff-profiles/r-randall-schumann>

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**From:** Raul Hernandez Doble <rhernandez2@salud.pr.gov>  
**Sent:** Wednesday, August 21, 2024 2:13:31 PM  
**To:** Melanie Medina Smaine <mmedina@vivienda.pr.gov>; Dr. Carlos Mellado <drcarlos.mellado@salud.pr.gov>  
**Cc:** Elaine Dume Mejia <Edume@vivienda.pr.gov>; Luz S Colon Ortiz <Lcolon@vivienda.pr.gov>; Aldo A. Rivera-Vazquez <aarivera@vivienda.pr.gov>; Mayra Toro Tirado <mtoro@salud.pr.gov>  
**Subject:** RE: [EXTERNAL]Request for Information- Radon testing and levels

Good afternoon. Ms. Medina

I regret to inform that we do not have any recent information on radon testing, since we do not have a certified radiation laboratory certified for radon testing. There are companies that sell test kits available online that can be done and mailed to a testing laboratory. There are also lists of radon contractors and these companies that process radon testing cartridges with instructions, on the Environmental Protection Agency Indoor air Quality web page. The last radon study in Puerto Rico done by the PR Department of Health was done on the year 1993.

Raul Hernandez Doble  
Director, Seccion Salud Radiologica  
Division de Salud Ambiental  
Secretaria Auxiliar para la Vigilancia y la Proteccion de la Salud Publica  
[rhernandez2@salud.gov.pr](mailto:rhernandez2@salud.gov.pr)  
Phone: (787)765-2929 ext. 3210

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**From:** Reyes, Brenda <Reyes.Brenda@epa.gov>  
**Sent:** Wednesday, September 18, 2024 11:48 AM  
**To:** Cesar O Rodriguez Santos <cesarrodriguez@drna.pr.gov>; Maritza Rosa Olivares <maritzarosaolivares@drna.pr.gov>; Silvana Cancelos Mancini <silvana.cancelos@upr.edu>; Melanie Medina Smaine <mmedina@vivienda.pr.gov>  
**Cc:** Elaine Dume Mejia <Edume@vivienda.pr.gov>; Luz S Colon Ortiz <Lcolon@vivienda.pr.gov>; Aldo A. Rivera-Vazquez <aarivera@vivienda.pr.gov>; Povetko, Oleg (he/him/his) <Povetko.Oleg@epa.gov>  
**Subject:** RE: Request for Information- Randon testing and levels

Saludos.

La EPA esta trabajando una respuesta a su petición. Se sometió borrador a la directora y el subdirector para su aprobación y firma.

Brenda Reyes Tomassini  
Public Affairs  
U.S. EPA  
Region 2  
Caribbean Environmental Protection Division  
(787) 977-5869/(787) 977-5865  
Mobile: 202-834-1290

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**From:** Silvana Cancelos Mancini <[silvana.cancelos@upr.edu](mailto:silvana.cancelos@upr.edu)>  
**Sent:** Friday, September 6, 2024 15:04  
**To:** Melanie Medina Smaine <[mmedina@vivienda.pr.gov](mailto:mmedina@vivienda.pr.gov)>  
**Cc:** Elaine Dume Mejia <[Edume@vivienda.pr.gov](mailto:Edume@vivienda.pr.gov)>; Luz S Colon Ortiz <[Lcolon@vivienda.pr.gov](mailto:Lcolon@vivienda.pr.gov)>; Aldo A. Rivera-Vazquez <[aarivera@vivienda.pr.gov](mailto:aarivera@vivienda.pr.gov)>; Maritza Rosa Olivares <[maritzarosaolivares@drna.pr.gov](mailto:maritzarosaolivares@drna.pr.gov)>; Reyes, Brenda <[Reyes.Brenda@epa.gov](mailto:Reyes.Brenda@epa.gov)>; Povetko, Oleg <[Povetko.Oleg@epa.gov](mailto:Povetko.Oleg@epa.gov)>  
**Subject:** Re: Request for Information- Randon testing and levels

Estimada Melanie Medina  
Quería dejarte saber que recibimos su correo el 21 de agosto al igual que el de Maritza Rosa el pasado 4 de septiembre. Ya las personas involucradas de EPA, junto conmigo y el Dr. Marín estamos al tanto del asunto y estamos trabajando para poder enviarles la información.

Atentamente

Silvana Cancelos  
Professor  
Associate Director  
Mechanical Engineering Department  
University of Puerto Rico - Mayaguez  
Call BOX 9000 Mayaguez PR 00680  
Tel: 787-832-4040 ext 5956  
email: [silvana.cancelos@upr.edu](mailto:silvana.cancelos@upr.edu)



Bubble Dynamics Lab  
University of Puerto Rico - Mayaguez



EPA REGION 2  
CARIBBEAN ENVIRONMENTAL PROTECTION DIVISION

September 23, 2024

**VIA EMAIL**

William O. Rodriguez Rodriguez, Esq.  
Secretary  
Puerto Rico Department of Housing  
Barbosa Ave. 606 Building Juan C. Cordero  
San Juan, PR 00917  
Email: W.Rodriguez@vivienda.pr.gov

**RE: EPA Response to August 20, 2024 request for information of data on radon testing and levels in Puerto Rico**

Dear Honorable Secretary Rodriguez Rodriguez:

This communication is in response to your letter of August 20, 2024 addressed to the Puerto Rico Department of Natural and Environmental Resources (DNER) and referred to the U.S. Environmental Protection Agency (EPA) regarding available data on radon testing and levels within Puerto Rico.

EPA's National Radon Action Plan 2021–2025 sets a goal for the nation to find, fix and prevent high indoor radon levels in 8 million buildings by 2025 and prevent 3,500 lung cancer deaths per year. Under this Plan, leaders from across multiple sectors are working together to plan, guide, and sustain nationwide action to prevent exposure to radon.

Due to the lack of data in Puerto Rico, EPA undertook an investigation in collaboration with the University of Puerto Rico-Mayaguez (UPRM) Campus, Departments of Civil Engineering and Surveying and Mechanical Engineering, to find out if radon presented a problem in Puerto Rico. Up until 2021, the only data we had for Puerto Rico was a 1993-1995 mail-in radon screening study referred to by the U.S. Geological Survey report (USGS, 1995) in which the USGS concluded that several areas of Puerto Rico have the geologic potential to generate indoor radon levels exceeding the EPA Action Level of 4 pCi/L (picocuries per liter), perhaps locally reaching very high levels above 50 pCi/L, if a house construction and

ventilation allow for soil-gas radon to enter and concentrate within the structure.<sup>1</sup> According to the USGS report, most of these areas are located in the northwest part of the island. Please note that the actual 1993-1995 study documentation is not available to the EPA.

Typical radon testing technology used in mainland United States (charcoal canisters or electric-powered devices) are impractical in Puerto Rico because of high humidity and power outages. The recovery and rebuilding of communities following the aftermath of 2017 Hurricanes Irma and Maria presented an opportunity to develop radon prevention and mitigation strategies in 2019. Initially, EPA sampled indoor radon air in over 170 single-family residences in the municipalities of San Sebastian, Lares, Ciales, Arecibo, Morovis, Camuy, and Hatillo and later expanded the project to other municipalities such as Rincon, Aguada, Aguadilla, Isabela, Quebradillas, Barceloneta and Vega Baja. The quality assurance protocols were anchored in American National Standards Institute/American Association of Radon Scientists and Technologists (ANSI/AARST) standards of practice (ANSI/AARS, 2019). The sampling was designed in two stages: scoping and confirmatory sampling. The scoping sampling was conducted using Corentium Home (CH) electronic monitors and E-Perm systems. Locations measuring above the EPA Action Level of 4 pCi/L with CH were measured at the second stage of the sampling using RAD7 and Corentium Pro Continuous Radon Monitors (CRMs). Nationally certified radon sampling professionals led by one such professional from the UPRM conducted confirmatory sampling in the second stage. Also, during the study, the nationally certified radon mitigation professionals inspected several homes with elevated indoor radon levels.

Mapping radon in Puerto Rico proved to be a complicated endeavor given the COVID-19 pandemic in 2020. EPA and UPRM continue to work on the project, however, results have not been finalized, and no scientific report has been published yet. Unfortunately, EPA cannot share preliminary data at this time because it contains privileged information. Nevertheless, preliminary data from the study does show homes with levels over 4 pCi/L (EPA Action Level) that might need mitigation to protect the health of their inhabitants.

Although many states have developed laws and regulations governing radon disclosure, certification, and mitigation, Puerto Rico lacks legislation or mandatory radon testing provisions for new construction, remodeling, selling or buying homes. Given this loophole and aiming to answer your request, the EPA can provide information on Best Management Practices for sampling indoor radon in Puerto Rico.

<sup>1</sup> Reference: USGS. Geologic Radon Potential of Guam and Puerto Rico, Report 93-292-K. Washington, DC: USGS. Retrieved 9/11/2024, from <https://pubs.usgs.gov/of/1993/0292k/report.pdf>.

CITY VIEW PLAZA II BUILDING, 7<sup>TH</sup> FLOOR  
ROUTE 185 GUAYNABO, PR 00988

2

If you have any questions or need any additional information, please contact me at 787-977-5865 or [guerrero.carmen@epa.gov](mailto:guerrero.carmen@epa.gov) or have your staff contact Reyes, Brenda at [reyes.brenda@epa.gov](mailto:reyes.brenda@epa.gov) or (787) 977-5869.

Sincerely,  
**CARMEN GUERRERO PEREZ**  
Carmen R. Guerrero Pérez  
Director

Digitally signed by  
CARMEN GUERRERO PEREZ  
Date: 2024.09.23 09:41:39  
-04'00'

cc: Roberto Mendez, Esq (Acting Secretary, PR Department of Natural and Env. Resources)  
Melany Medina: [mmedina@vivienda.pr.gov](mailto:mmedina@vivienda.pr.gov)  
Elaine Dume Mejia: [Edume@vivienda.pr.gov](mailto:Edume@vivienda.pr.gov)  
Luz S Colon Ortiz: [Lcolon@vivienda.pr.gov](mailto:Lcolon@vivienda.pr.gov)  
Aldo A. Rivera-Vazquez: [aarivera@vivienda.pr.gov](mailto:aarivera@vivienda.pr.gov)  
Cesar O. Rodriguez: [cesarrodriiguez@drna.pr.gov](mailto:cesarrodriiguez@drna.pr.gov)  
Marita Rosa Olivares: [maritzarosaolivares@drna.pr.gov](mailto:maritzarosaolivares@drna.pr.gov)

## Appendix F. Endangered Species Supporting Documents



### Transmittal Letter

March 6, 2024

Caribbean Ecological Services Field Office  
U.S. Fish and Wildlife Service  
P.O. Box 491  
Boquerón, Puerto Rico 00622  
Email: [caribbean\\_es@fws.gov](mailto:caribbean_es@fws.gov)



Based on the information provided, we determined the project proposed qualifies for the blanket clearance letter. Nevertheless, if the project is modified this office should be contacted concerning the need for the initiation of consultation under section 7 of Endangered Species Act of 1973.

Reviewer **DAMARIS ROMAN RUIZ** Digitally signed by DAMARIS ROMAN RUIZ  
Date: 2024.03.08 10:44:12 -04'00'

**ROBERT TAWES** Digitally signed by ROBERT TAWES  
Date: 2024.03.10 17:21:41 -04'00'  
Acting Caribbean ES Field Supervisor

**RE: USFWS Endangered Species Act Certifications  
City Revitalization Program  
February 2024**

We are submitting the following Self-Certifications for projects under the CDBG-DR City Revitalization Program. Attached are included the Self-Certifications that certify that the projects are in compliance and are not likely to adversely affect federally-listed species.

The following table includes the projects that are in compliance with the Blanket Clearance Letter for the Endangered Species act of 1973, as amended, and the Fish and Wildlife Coordination Act.

Project Number	Project Name
PR-CRP-000338	Mejoras a la Plaza de la Identidad
PR-CRP-000341	Remodelación Plaza Angel Mislán
PR-CRP-000521	Demolición y Construcción Plaza del Mercado
PR-CRP-000670	Centro Multiuso Distrito Moca
PR-CRP-000742	Plaza de Recreo
PR-CRP-000744	Centro de Desarrollo Artístico y Cultural de Sabana Grande
PR-CRP-000807 & PR-CRP-001111	Mejoras a Plaza Pública y Plaza del Mercado, Vieques
PR-CRP-000892	Lajas Activity Center
PR-CRP-000902	Elderly Service Center
PR-CRP-001011	Mejoras al Estacionamiento Público del Municipio de Naguabo

For more information, please contact the Permits and Environmental Compliance Division at [environmentcdbg@vivienda.pr.gov](mailto:environmentcdbg@vivienda.pr.gov) or at (787)274.2527 ext. 4320.

Sincerely,

Permits and Environmental Compliance Division  
Office of Disaster Recovery



### Self-Certification

<http://www.fws.gov/caribbean/ES/Index.html>

#### Endangered Species Act Certification

The U.S. Fish and Wildlife Service, Caribbean Ecological Services Field Office developed a Blanket Clearance Letter in compliance with Endangered Species Act of 1973, as amended, and the Fish and Wildlife Coordination Act for federally funded projects.

The Service determined that projects in compliance with the following criteria are not likely to adversely affect federally listed species.

The Puerto Rico Department of Housing (PRDOH) certifies that the following projects **PR-CRP-001111, Market Square for Community and Social Transformation (Lat: 18.14894, Long: -65.44153)** and **PR-CRP-000807, Improvements to the Vieques Public Square (Lat: 18.149310, Long: -65.441310)** consisting of the rehabilitation of the Community Center and the improvements to the Plaza de Recreo, respectively, comply with:

Check	Project Criteria
<input checked="" type="checkbox"/>	1. Street resurfacing.
<input checked="" type="checkbox"/>	2. Construction of gutters and sidewalks along existing roads.
<input checked="" type="checkbox"/>	3. Reconstruction or emergency repairs of existing buildings, facilities, and homes.
<input type="checkbox"/>	4. Rehabilitation of existing occupied single-family homes, and buildings; provided that equipment storage or staging areas are not located on vacant property harboring a wetland and/or forested vegetation and that the lighting associated to the new facilities is not visible directly or indirectly from a beach.
<input type="checkbox"/>	5. Demolition of dilapidated single-family homes or buildings; provided that the demolition debris is disposed in certified receiving facilities; equipment storage or staging areas are not located on vacant property harboring a wetland and/or forested vegetation.
<input type="checkbox"/>	6. Rebuilding of demolished single-family homes or buildings, provided

	that the new construction is within the existing footprint of the previous structure and/or within pre-existing grassed or paved areas, and that the lighting associated to the new facilities are not visible directly or indirectly from a beach.
<input type="checkbox"/>	7. Activities within existing Right of Ways (ROWs) of roads, bridges and highways, when limited to actions that do not involve cutting native vegetation or mayor earth moving; and are not located within, or adjacent to, drainages, wetlands, or aquatic systems. These activities include the installation of potable water and sanitary pipelines.
<input checked="" type="checkbox"/>	8. Improvements to existing recreational facilities, including the installation of roofs to existing basketball courts, provided that the lighting associated to the facilities are not visible directly or indirectly from the beach.
<input type="checkbox"/>	9. Construction of electric underground systems in existing towns and communities, provided that the property is not a wetland area and the lighting associated to the facilities are not visible directly or indirectly from the beach.
<input type="checkbox"/>	10. Construction of facilities on vacant properties covered with grasses in urban areas, provided that the lighting associated to the facilities are not visible directly or indirectly from the beach.
<input type="checkbox"/>	11. Construction of houses, buildings or acquiring lands in urban areas covered by grass for relocation of low-income families and/or facilities that have been affected by weather conditions.



Ángel G. López-Guzmán  
Deputy Director

Permits and Environmental Compliance Division

Office of Disaster Recovery

**Address:** P.O. Box 21365 San Juan, PR 00928

**Telephone and Ext:** 787-274-2527 ext. 4320

**Email:** [environmentcdbg@vivienda.pr.gov](mailto:environmentcdbg@vivienda.pr.gov)

*March 6, 2024*

Date



Title: Site Location Map - Topographic Map

Project: PR-CRP-001111 Market Square for Community and Social Transformation & PR-CRP-000807 Improvements to the Vieques Public Square

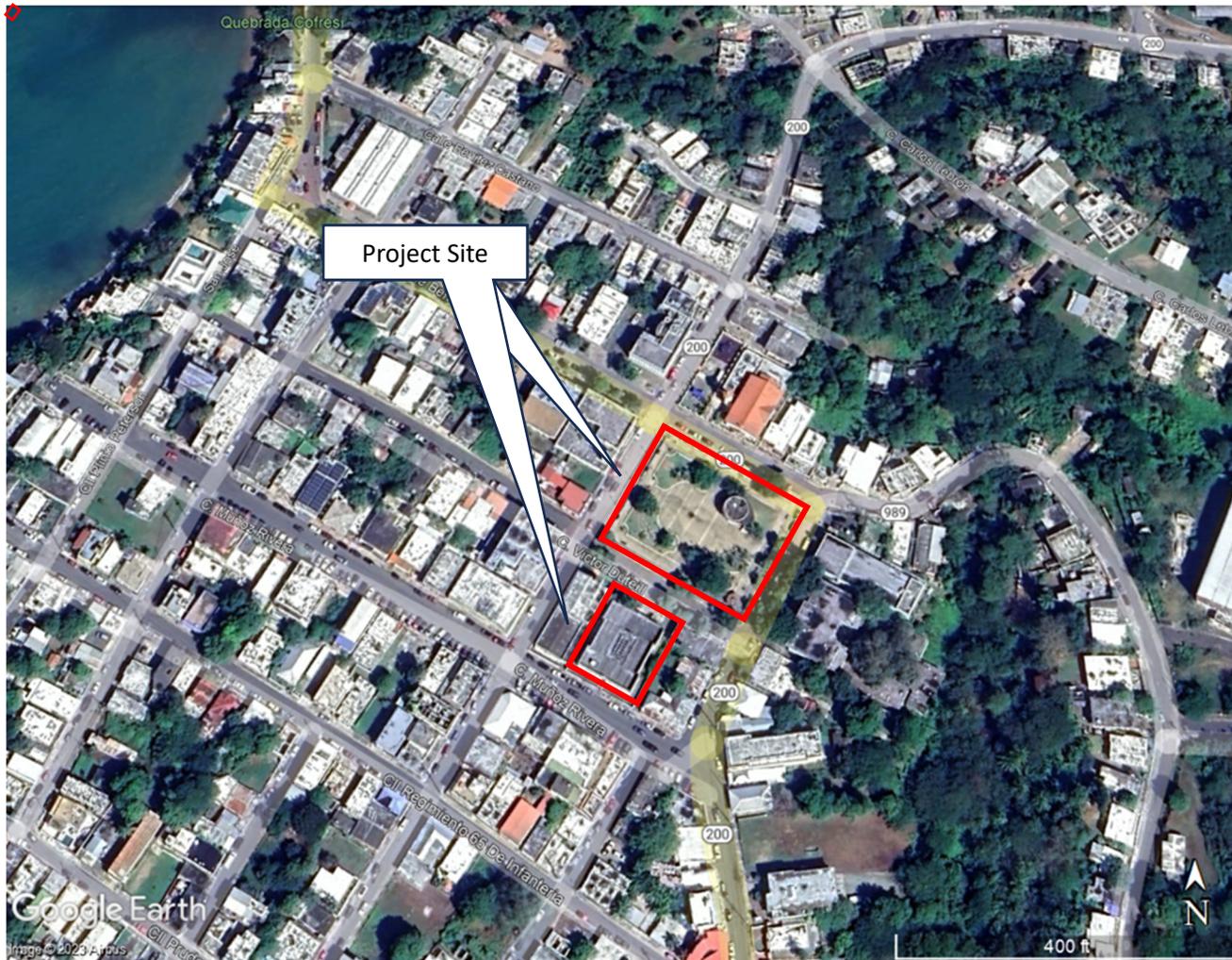
Coordinates: Market Square, X: 304943.6496, Y: 235207.7547 / Public Square, X: 304973.8510, Y: 235254.7010

Cadaster: Market Square, 457-052-020-04 / Public Square, 457-042-019-01

Source: USGS (2009)

Website: <https://ngmdb.usgs.gov/topoview/viewer/#4/40.01/-100.06>

Author: AG Environmental PSC



Title: Site Location Map - Aerial View Map

Project: PR-CRP-001111 Market Square for Community and Social Transformation & PR-CRP-000807 Improvements to the Vieques Public Square

Coordinates: Maquet Square, X: 304943.6496, Y: 235207.7547 / Public Square, X: 304973.8510, Y: 235254.7010

Cadaster: Maquet Square, 457-052-020-04 / Public Square, 457-042-019-01 Source: Google Earth

Website: <https://earth.google.com/web/>

Author: AG Environmental PSC

## Critical Habitat Map - Vieques



10/18/2023

 Critical Habitat - Polygon Features - Final

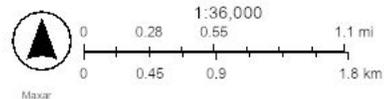
World Imagery

Low Resolution 15m Imagery

High Resolution 60cm Imagery

High Resolution 30cm Imagery

Citations



Title: USFWS Critical Habitat Map

Project: PR-CRP-001111 Market Square for Community and Social Transformation & PR-CRP-000807 Improvements to the Vieques Public Square

Coordinates: Market Square, X: 304943.6496, Y: 235207.7547 / Public Square, X: 304973.8510, Y: 235254.7010

Cadaster: Market Square, 457-052-020-04 / Public Square, 457-042-019-01

Source: US Fish and Wildlife Service

Website: [https://services.arcgis.com/QVENGdaPbd4LUkLV/ArcGIS/rest/services/USFWS\\_Critical\\_Habitat/FeatureServer](https://services.arcgis.com/QVENGdaPbd4LUkLV/ArcGIS/rest/services/USFWS_Critical_Habitat/FeatureServer)

Author: AG Environmental PSC



**MARVEL**

**PR-CRP-001111**

**MARKET SQUARE FOR SOCIAL AND COMMUNITY  
TRANSFORMATION (*PLAZA DEL MERCADO DE  
TRANSFORMACION SOCIAL Y COMUNITARIO*)**

**&**

**PR-CRP-000807**

**IMPROVEMENTS TO THE VIEQUES PUBLIC SQUARE  
(*MEJORAS A LA PLAZA PUBLICA DE VIEQUES*)**

ENVIRONMENTAL REVIEW RECORD  
PROJECT DESCRIPTION

## **PR-CRP-001111 Market Square for Social and Community Transformation**

*(PR-CRP-001111 – Plaza del Mercado de Transformación Social y Comunitario)*

### **1. Owner Information**

- a. **Name of Corporation or Individual:** Municipio de Vieques
- b. **Property Owner:** Departamento de Transportación y Obras Públicas (DTOP)
- c. **Authorized Representative:** Hon. José A. Corcino Acevedo, Mayor
- d. **Postal Address** – 449 Calle Carlos Lebrum, Vieques, P.R. 00765
- e. **Physical Address** – 449 Calle Carlos Lebrum, Vieques, P.R. 00765
- f. **Telephone Number** - 787-741-5000
- g. **Email** – [municipio.vieques.alcaldia@gmail.com](mailto:municipio.vieques.alcaldia@gmail.com)
- h. **SS Patronal:** 66-0433538

### **2. Property Deed**

Refer to ATTACHMENT A - Resolution 2022-124, dated November 18, 2022 under the Committee for the Evaluation and Disposal of Real Estate, authorizing the lease agreement between DTOP and the Municipality of Vieques.

### **3. Cadaster Number**

457-052-020-04

### **4. Project Summary**

**CDBG Application ID:** PR-CRP-001111

**Project Name:** Market Square for Community and Social Transformation

**Address:** Calle Victor Duteil #29, Vieques, PR 00765

**Project Funding Amount:** 2,208,950.00

The J. Gautier Benítez School, also known as the Vieques Public School, was designed by renowned architect Antonin Nechodoma, and built by Frank B. Hatch in 1907 in the neoclassical style, typical of the time. Later repaired by Adrian Finlayson in 1919, the structure was built with concrete blocks, wooden roof with an open interior patio, with wooden doors, and wooden and glass shuttered windows. Currently, and with further interventions (no date available), the building has a concrete slab roof, non-original wood doors; with clay, ceramic and vinyl floor tiles, and aluminum jalousie “Miami” windows, which are not historical.

The original building served as a public school, properly named Vieques Public School. Currently, the building hosts several functions, acting as a center for several community organizations to provide services and programs. The proposed revitalization project seeks to rehabilitate existing facilities to create a more resilient center, one that can better support and the services which are already in the facility and provide the space for the creation of a Market Square for Social and Community Transformation by introducing an agricultural market to support for small farmers.

The proposed improvements seek to demolish the exterior concrete pavement surrounding the primary structure in order to make way for new planting beds and paving materials. New foundations will be provided to support a new fence on the Muñoz Rivera Street.

The rehabilitation of the building does not seek to change the size and/or capacity of the existing building footprint, rather, the existing spaces will be rehabilitated with the purpose of using them as a center of social and community transformation where local non-profit organizations can make use of multidisciplinary classrooms for training and provide community services by leasing office spaces. Part of the rooms within the rehabilitated building will become an Agricultural Market which will provide access to local families and communities in Vieques to fresh produce from small local farmer merchants, encouraging and supporting the local economy. The remaining areas will continue to serve as spaces where community organizations provide other services to the Vieques community.

The historic structure has a total area of 5,710 SF distributed across a single raised level. The structure is situated in a lot area of 1,210.67 square meters according to Puerto Rico Planning Board geographic database. This is identified with the cadaster number 457-052-020-04 and is classified as Urban Land

(Suelo Urbano – SU) in accordance with the Plan de Uso de Terrenos de Puerto Rico on November 30, 2015. The parcel is zoned as D.g (Dotacional General) within the developed area of the Municipality of Vieques. The Lambert coordinates of the property are X: 304943.6496, Y: 235207.7547. The land has substantially flat topography. The property is located outside of the flood zone and is identified as zone X according to FEMA map 72000C1340J effective April 18, 2018.

## Existing Conditions



View of former Gautier Benítez School main façade. Photo taken from Víctor Duteil St. Camera looking south.

# MARVEL



View of former Gautier Benítez School secondary façade. Photo taken from Muñoz Rivera St. Camera looking north.



View of former Gautier Benítez School interior patio. Camera looking south.

## **Acquisition**

The property is owned by the Department of Transportation and Public Works (DTOP) and leased by the Municipality of Vieques as of Resolution 2022-124 effective November 18, 2022

## **Demolition**

Demolition work will focus on exterior paving, planters and the concrete block fence facing Calle Muñoz Rivera as parts of the existing wall have collapsed. Exterior envelope elements such as non-historic windows and doors and skylight will be removed. GWB partitions, acoustic ceiling tiles, vinyl flooring, rubber base and ceramic tiles will also be removed.

## **Purchases and Equipment**

The agricultural market will require refrigerated open display and refrigerator equipment for produce items intended for sale. Shelving units will be affixed to the top and bottom of the existing interior concrete floor and roof slab. The following appliances will be supplied by the vendor for the operation of the coffee shop. These will require electrical and plumbing hookups:

1. Espresso Machine
2. Coffee Grinder
3. Commercial Coffee Brewer
4. Hot Water Dispenser
5. Water Filtration System
6. Undercounter refrigerator
7. Water Filtration System
8. Commercial Blender
9. Ice Machine
10. POS System

The building will be equipped with a service sink and a janitor closet for maintenance and operations.

## **Rehabilitation, Renovation, Repairs & Improvements**

The proposed intervention seeks to rehabilitate the existing building and recover those qualities of historic architectural value that the property has. Therefore, on the building exterior, areas with spalled concrete will be repaired, and cracked or missing cornices, moldings, and window sills will be restored. The exterior walls will be altered only to recover original vent openings at the base of the building that have been covered over time and contribute to the historic character of the structure.

The existing metal jalousie windows will be replaced, and the original openings of the windows will be recovered. New metal windows and wood doors will be incorporated. Their design seeks to be compatible with the historical character of the building emulating the appearance and patterns of the original windows and doors identified through historic photographs and other documentation as no original drawings have been found to date.

Within the building interior, existing gypsum board walls will be removed, and new partitions will be put in place where required, based on the proposed programming of the spaces. The existing ceramic tiles in the bathrooms will be removed and replaced with new tiles.

The existing skylight and louvers structure above the interior courtyard will be replaced to integrate new low-e glazing and support system. The supporting concrete curb on which it sits will be raised to improve impermeability and accommodate new roof insulation and membrane system on the surrounding roof.

## **Construction**

The exterior site concrete fence wall facing Muñoz Rivera Street will be reconstructed to provide a wider access into the property and access from the sidewalk for trash storage. The iron fence along Calle Victor Duteil will be preserved and restored, with repairs to the low wall.

To meet ADA requirements, two different ramps will be required to provide an accessible entrance to the building. On the Muñoz Rivera Street approach, the existing non-compliant ADA ramp will be demolished. The ground elevation will be raised to meet sidewalk grade and a slab on grade ramp will be erected to the West side of the building entrance. A new landing will be provided at finish floor elevation with new stairs on the opposite side of the new ramp. On the Victor Duteil Street approach, the existing historic stairs will be enclosed over a slab on grade ramp and landing structure in an effort to preserve the original building

elements. New entrance stairs will be constructed to align with the central building axis, forward from their original location.

## **Utilities and Infrastructure**

### **Structural**

The structural scope of work consists of the alteration of an existing building to be transformed into a market square. A GPR survey for the existing structural elements will be performed in the old school structure to evaluate the existing conditions of the structure. It is also proposed various explorations of existing foundations be made. Such information will determine the magnitude of the foundation and structure reinforcement required. Areas affected by corroded rebar and/or loose concrete will need to be repaired according to specified instructions.

### **Electrical**

The scope of the electrical work aims to provide a fully new electrical system with a new three-phase feeder to the improved point of connection that complies with all standards and regulations. All existing electrical system will be demolished and/or abandoned.

A new solar photovoltaic array is proposed to assure the resiliency and performance of a building that will function as a community center. The grid interactive photovoltaic (PV) system of 35 KW shall be installed on the roof. The photovoltaic modules will be mounted on a raised aluminum framework over the replaced roof membrane. The proposed location on the roof takes best advantage of the southern exposure and allows the array to be concealed from public view as the existing building parapet has an elevation of approximately 8 feet. It is expected it will generate approximately 30% - 40% of the project energy used. System is proposed to be a net metering concept type of installation to reduce the energy consumption and the utility bill costs, not as a backup system.

A new emergency distribution system will be provided. This system will consist of a diesel driven generator (final capacity to be determined), ATS and Emergency Distribution Panel that will serve the whole building electrical load.

A new fire alarm system consisting of manual and automatic initiation means, audio and visual notification appliances will be provided per NFPA requirements for educational facilities.

## **Mechanical**

The mechanical building systems will be designed using energy efficient methods and environmentally friendly strategies. New ventilation and air conditioning systems will be provided only in the proposed office spaces. The mechanical equipment serving these spaces will be located on the roof of the existing building and will be anchored and concealed behind the existing building parapet.

In the spaces occupied by the agricultural market and café programs, passive design strategies, such as operable fenestration, augmented by ceiling fans, will be implemented to allow for fresh air cross-ventilation.

## **Plumbing and Sanitary System**

The distribution system shall consist of the location of existing piping entering the building, provide a new reduced pressure zone backflow preventer and continuing to all fixtures. All portions of the building plumbing fixture, and equipment shall be protected from static pressures greater than 80 psi by the installation of pressure reducing valves.

The proposed improvements include the provision of potable water cisterns and dedicated pumps to serve the building when service is disrupted. Service will continue to tie into the existing water meter on site.

The bathroom fixtures count will be reduced on the existing bathrooms complying with the proposed building use occupancy (Business) as per the 2018 Puerto Rico Building Code and the Americans with Disabilities Act (ADA). A new sink will be provided at the proposed coffee shop area as well as a service sink for a new janitor room and water fountain to serve the building users as required by the 2018 Puerto Rico Building Code.

## **Fire Protection**

Currently, the building does not have fire protection by means of sprinkler system. Fire extinguishers will be provided as required by NFPA 10.

## **Telecommunications**

A new telecommunications infrastructure will be provided. New telecommunications point of connection will be requested from the “Junta Reglamentadora de Telecomunicaciones” and a new main telephone and cable TV underground distribution system will be provided. New main distribution cabinets will be installed, as well as a new building distribution that will provide the necessary pathways for the required information system requirements including wireless connections for full building coverage.

## **PR-CRP-000807 Improvements to the Vieques Public Square**

*(PR-CRP-000807 – Mejoras a la Plaza Pública de Vieques)*

### **1. Owner Information**

- a. **Name of Corporation or Individual:** Municipio de Vieques
- b. **Property Owner:** Municipio de Vieques
- c. **Authorized Representative:** Hon. José A. Corcino Acevedo, Mayor
- d. **Postal Address** – 449 Calle Carlos Lebrum, Vieques, P.R. 00765
- e. **Physical Address** – 449 Calle Carlos Lebrum, Vieques, P.R. 00765
- f. **Telephone Number** - 787-741-5000
- g. **Email** – [municipio.vieques.alcaldia@gmail.com](mailto:municipio.vieques.alcaldia@gmail.com)
- h. **SS Patronal:** 66-0433538

### **2. Property Deed**

Refer to ATTACHMENT B – MOV Plaza Ownership Certification Letter

### **3. Cadaster Number**

457-042-019-01

### **4. Project Summary**

**Application ID:** PR-CRP-000807

**Project Name:** Improvements to the Vieques Public Square

**Address:** 449 Calle Carlos Lebrum, Vieques, PR 00765

**Project Funding Amount:** 1,835,187.50

Vieques Public Square (c.1845), also known as Plaza Luis Muñoz Rivera, is first identified in an 1850 plan that shows the urban grid, just six years after the town of Isabel Segunda was founded. The original

aspect of the plaza, as with most others in Latin America, was an open space covered with dirt-land, around which were located the primary public, governmental, and religious buildings. The first intervention made was in 1869-1871 for the construction of a public cistern of circular shape and can be found documented in maps from 1887 through 1898. Later, in a 1916-1920 intervention, part of the cistern was demolished, and another part is still underground. This project included a complete redesign of the plaza, and the construction of a concrete gazebo with a sheet-metal roof. In 1947-1953, the gazebo's roof was reconstructed in reinforced concrete, and the existing columns were altered, the plaza was also repaved with terrazzo, and the green areas were rebuilt. The latest remodeling of the Plaza was in 2004-2007, the existing gazebo located at the center of the plaza was demolished and another was constructed at the northeast corner of the plaza. The plaza was also repaved with terrazzo with a new pattern, the design of the existing planters was altered and covered in coral stone. As part of this last intervention, a new fountain was built at the southwest corner of the plaza inside a planter shaped like Vieques Island.

The Vieques Public Square serves as the main gathering place for the residents and visitor of the Island especially during the different festivities celebrated year-round. On the Southeast corner of the Plaza, there is a permanent concession stand occupied and local street vendors frequented the plaza daily.

The proposed improvements to the public square include replacement of the existing pavement surface to repair areas where the pavement has settled, construction of new stairs extensions along the North, West, and Southwest edges of the plaza, construction of new shade structures, repairs and modification to adjacent sidewalks including the construction of new ADA compliant access ramps, new seat walls, and raised planters, restoration to the existing water feature, improvements to the site lighting, basic landscape elements, new site furnishings, outdoor speakers, and public Wi-Fi system.

Foundations are required to construct several elements of the plaza such as seating walls, stairs, curbs, ramps, low retaining walls, concrete pedestal to locate the existing monument, support posts for shade structures, and raised planters. The primary means of construction for the foundations of the plaza and sidewalk elements will be using poured-in-place reinforced concrete.

Ground disturbances will occur in several places throughout the plaza and are required to build the foundations for the steps, raised planters, seat walls, concrete pedestal, and shade structure support

posts. Ground disturbances will also occur during the demolition process of existing concrete raised planting beds, concrete stairs along the North, West of existing concrete raised planting beds and concrete stairs along the Public Square's North, West, and Southwest edges of the Public Square.

Improvements and repairs to the public square do not seek to increase the capacity or size of the plaza or adjacent sidewalks. The intervention will maintain the current programmatic uses of the public spaces.

Vieques Public Square is in a lot that has 3.808 sq.m with the cadaster number 457-042- 019-01 and is classified as Urban Land (Suelo Urbano-SU) in accordance with the Plan de Uso de Terrenos de Puerto Rico November 30, 2015, and Puerto Rico's Planning Board geographic database. The parcel is Dotacional General (Dg) within the urban area of the municipality of Vieques. The Lambert Coordinates of the public square are X: 04973.8510, Y:235254.7010. The property is located outside of the flood zone and is identified as zone X according to FEMA map 72000C1340J effective May 25, 2018.

## Existing Conditions



*Aerial view of existing Luis Muñoz Rivera Plaza*



*View of existing Luis Muñoz Rivera Plaza. Camera looking East*

## **Acquisition**

The property is owned by the Municipality of Vieques, and no additional acquisition of land or fixed structures is expected.

## **Demolition**

The proposed intervention will require the demolition of the existing seat walls, raised planters, sections of the adjacent sidewalks, curbs, stairs, a concrete pedestal located inside a raised planter, a steel post located inside a raised planter, handrails, existing stairs, portions of the plaza's concrete slab and low

wall along the North, West, and Southwest of edges of the plaza, and existing light fixtures within the plaza. Approximately  $\pm$  12 existing trees and tree stumps will require removal as they are in poor shape or are damaged per an arborist's assessment.

## **Purchases and Equipment**

The improvement to Vieques Public Square will require the relocation of an existing electrical unit. Similarly, plumbing components, such as a water pump and sump pump will be required to restore the existing water feature on the southwest planter to its original working condition. New electrical outlets, internet service devices for a public Wi-Fi system, outdoor-grade speakers, and plumbing and electrical hookups will be provided throughout the Plaza. New light posts and site furnishings, including benches, waste receptacles, and bike racks will be incorporated into the design.

## **Rehabilitation, Renovation, Repairs & Improvements**

The proposed intervention seeks to replace 20,960 sq.ft. of the existing plaza pavement as well as the existing electrical and lighting infrastructure systems and improve the condition of the the adjacent sidewalks and existing tree pits. An approximate area of 2,500 sq. ft. of the existing concrete slab will be repaired where pavement has subsided, along with  $\pm$ 8,650 sq. ft. of sidewalks. The existing water feature located on the southwest quadrant of the square will be restored to its original operation conditions. The intended repairs and modifications do not anticipate an increase in the area or the capacity of the public square.

## **Construction**

As part of the improvements, construction of new seat walls, concrete stairs,  $\pm$ 2,700 sq. ft of pergola/shade structures, raised planters, ADA compliant ramps, low retaining walls and sidewalks curbs will take place.

## **Utilities and Infrastructure**

### **Structural**

The structural scope of work consists of the alteration of an existing Public Square. It is proposed that a complete soil report and various explorations of existing foundations be made in the existing square. Such

information will determine the magnitude of the foundation and structure reinforcement for the proposed pergola structures. Other alterations to the Public Square include the addition of planters, retaining walls, and metal trellis.

## **Electrical**

The electrical scope consists of furnishing a new electrical infrastructure, including all the new electrical components and to perform modifications to the current layouts illuminating the area. The electrical system shall be a 120/208 V, three (3) phases, four (4) wires system with sufficient capacity to serve the Plaza. All new electrical connections will be made in the MDP and the required auxiliary panelboards. A new electrical closer will be designed for the plaza to install all new electrical equipment. The demolition scope includes the removal of all the existing panels located inside the existing electrical closet, the removal of all devices installed in the plaza, removal of all lighting fixtures and other devices installed at periphery posts.

## **Plumbing**

The plumbing system's design shall include the coordination of existing domestic water, with the available utility locations indicated on the civil site utilities plan. All utilities will be coordinated with the civil engineer to include pipe sizes. The systems will be shown on the plumbing drawings leaving the Plaza to a point 5 feet outside of the Plaza area and indicated to continue the civil plans. The distribution system shall consist of the location of existing piping entering the Plaza, provide a new reduced pressure zone backflow preventer and continuing to all hose bibs and water pond feature. The popping portions for the hose bibs shall be protected from static pressures greater than 80 psi by the installation of pressure reducing valve. The pond's make-up water valve shall be protected from static pressures greater than 40 psi by the installation of a pressure reducing valve.

The water system for the water pond feature consists of a water recirculating pump that raises the pond water to the higher deck of the feature and cascading to the lower pond.

## **Telecommunications**

Will be provided as required for the remotely controlled devices and dedicated outlets for special presentations.

# IPaC Information for Planning and Consultation U.S. Fish & Wildlife Service

## IPaC resource list

This report is an automatic report (referred to as *trust resources*) on the project area reference could potentially be

Please note that the Federal Highways Programmatic Consultation for Transportation Projects affecting NLEB or Indiana Bat Determination Key is temporarily offline for updates and will be available soon. We apologize for any inconvenience this may cause.



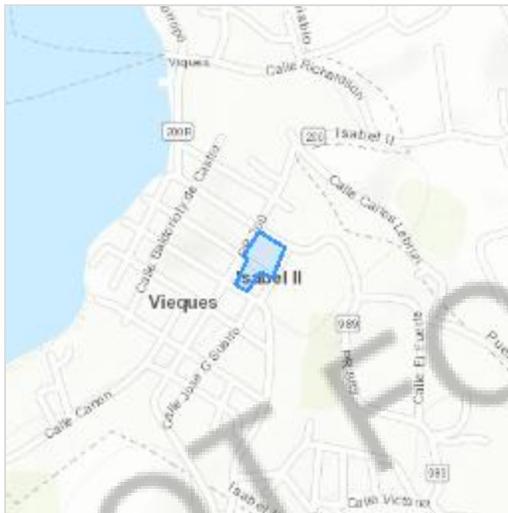
actively referred to as l to be on or near ect area, but that he likelihood and

extent of effects a project may have on trust resources typically requires gathering additional site-specific (e.g., vegetation/species surveys) and project-specific (e.g., magnitude and timing of proposed activities) information.

Below is a summary of the project information you provided and contact information for the USFWS office(s) with jurisdiction in the defined project area. Please read the introduction to each section that follows (Endangered Species, Migratory Birds, USFWS Facilities, and NWI Wetlands) for additional information applicable to the trust resources addressed in that section.

### Location

Vieques County, Puerto Rico



# Local office

## Caribbean Ecological Services Field Office

☎ (939) 320-3135

📠 (787) 851-7440

✉ [CARIBBEAN\\_ES@FWS.GOV](mailto:CARIBBEAN_ES@FWS.GOV)

### MAILING ADDRESS

Post Office Box 491

Boqueron, PR 00622-0491

### PHYSICAL ADDRESS

Office Park I

State Road #2 Km 156.5, Suite 303}

Mayaguez, PR 00680

NOT FOR CONSULTATION

# Endangered species

**This resource list is for informational purposes only and does not constitute an analysis of project level impacts.**

The primary information used to generate this list is the known or expected range of each species. Additional areas of influence (AOI) for species are also considered. An AOI includes areas outside of the species range if the species could be indirectly affected by activities in that area (e.g., placing a dam upstream of a fish population even if that fish does not occur at the dam site, may indirectly impact the species by reducing or eliminating water flow downstream). Because species can move, and site conditions can change, the species on this list are not guaranteed to be found on or near the project area. To fully determine any potential effects to species, additional site-specific and project-specific information is often required.

Section 7 of the Endangered Species Act **requires** Federal agencies to "request of the Secretary information whether any species which is listed or proposed to be listed may be present in the area of such proposed action" for any project that is conducted, permitted, funded, or licensed by any Federal agency. A letter from the local office and a species list which fulfills this requirement can **only** be obtained by requesting an official species list from either the Regulatory Review section in IPaC (see directions below) or from the local field office directly.

For project evaluations that require USFWS concurrence/review, please return to the IPaC website and request an official species list by doing the following:

1. Draw the project location and click CONTINUE.
2. Click DEFINE PROJECT.
3. Log in (if directed to do so).
4. Provide a name and description for your project.
5. Click REQUEST SPECIES LIST.

Listed species<sup>1</sup> and their critical habitats are managed by the [Ecological Services Program](#) of the U.S. Fish and Wildlife Service (USFWS) and the fisheries division of the National Oceanic and Atmospheric Administration (NOAA Fisheries<sup>2</sup>).

Species and critical habitats under the sole responsibility of NOAA Fisheries are **not** shown on this list. Please contact [NOAA Fisheries](#) for [species under their jurisdiction](#).

1. Species listed under the [Endangered Species Act](#) are threatened or endangered; IPaC also shows species that are candidates, or proposed, for listing. See the [listing status page](#) for more information. IPaC only shows species that are regulated by USFWS (see FAQ).
2. [NOAA Fisheries](#), also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

There are no listed species or critical habitats expected to occur at this location.

## Bald & Golden Eagles

Bald and Golden Eagles are protected under the Bald and Golden Eagle Protection Act <sup>2</sup> and the Migratory Bird Treaty Act (MBTA) <sup>1</sup>. Any person or organization who plans or conducts activities that may result in impacts to Bald or Golden Eagles, or their nests, should follow appropriate regulations and implement required avoidance and minimization measures, as described in the various links on this page.

The [data](#) in this location indicates that no eagles have been observed in this area. This does not mean eagles are not present in your project area, especially if the area is difficult to survey. Please review the 'Steps to Take When No Results Are Returned' section of the [Supplemental Information on Migratory Birds and Eagles document](#) to determine if your project is in a poorly surveyed area. If it is, you may need to rely on other resources to determine if eagles may be present (e.g. your local FWS field office, state surveys, your own surveys).

Additional information can be found using the following links:

- Eagle Management <https://www.fws.gov/program/eagle-management>
- Measures for avoiding and minimizing impacts to birds <https://www.fws.gov/library/collections/avoiding-and-minimizing-incident-take-migratory-birds>
- Nationwide avoidance and minimization measures for birds <https://www.fws.gov/sites/default/files/documents/nationwide-standard-conservation-measures.pdf>
- Supplemental Information for Migratory Birds and Eagles in IPaC <https://www.fws.gov/media/supplemental-information-migratory-birds-and-bald-and-golden-eagles-may-occur-project-action>

## Bald & Golden Eagles FAQs

### What does IPaC use to generate the potential presence of bald and golden eagles in my specified location?

The potential for eagle presence is derived from data provided by the [Avian Knowledge Network \(AKN\)](#). The AKN data is based on a growing collection of [survey, banding, and citizen science datasets](#) and is queried and filtered to return a list of those birds reported as occurring in the 10km grid cell(s) which your project intersects, and that have been identified as warranting special attention because they are an eagle ([Bald and Golden Eagle Protection Act](#) requirements may apply).

### Proper interpretation and use of your eagle report

On the graphs provided, please look carefully at the survey effort (indicated by the black vertical line) and for the existence of the "no data" indicator (a red horizontal line). A high survey effort is the key component. If the survey effort is high, then the probability of presence score can be viewed as more dependable. In contrast, a low survey effort line or no data line (red horizontal) means a lack of data and, therefore, a lack of certainty about presence of the species. This list is not perfect; it is simply a starting point for identifying what birds have the potential to be in your project area, when they might be there, and if they might be breeding (which means nests might be present). The list and associated information help you know what to look for to confirm presence and helps guide you in knowing when to implement avoidance and minimization measures to eliminate or reduce potential impacts from your project activities or get the appropriate permits should presence be confirmed.

### How do I know if eagles are breeding, wintering, or migrating in my area?

To see what part of a particular bird's range your project area falls within (i.e. breeding, wintering, migrating, or resident), you may query your location using the [RAIL Tool](#) and view the range maps provided for birds in your area at the bottom of the profiles provided for each bird in your results. If an eagle on your IPaC migratory bird species list has a breeding season associated with it (indicated by yellow vertical bars on the phenology graph in your "IPaC PROBABILITY OF PRESENCE SUMMARY" at the top of your results list), there may be nests present at some point within the timeframe specified. If "Breeds elsewhere" is indicated, then the bird likely does not breed in your project area.

### Interpreting the Probability of Presence Graphs

Each green bar represents the bird's relative probability of presence in the 10km grid cell(s) your project overlaps during a particular week of the year. A taller bar indicates a higher probability of species presence. The survey effort can be used to establish a level of confidence in the presence score.

### *How is the probability of presence score calculated? The calculation is done in three steps:*

The probability of presence for each week is calculated as the number of survey events in the week where the species was detected divided by the total number of survey events for that week. For example, if in week 12 there were 20 survey events and the Spotted Towhee was found in 5 of them, the probability of presence of the Spotted Towhee in week 12 is 0.25.

To properly present the pattern of presence across the year, the relative probability of presence is calculated. This is the probability of presence divided by the maximum probability of presence across all weeks. For example, imagine the probability of presence in week 20 for the Spotted Towhee is 0.05, and that the probability of presence at week 12 (0.25) is the maximum of any week of the year. The relative probability of presence on week 12 is  $0.25/0.25 = 1$ ; at week 20 it is  $0.05/0.25 = 0.2$ .

The relative probability of presence calculated in the previous step undergoes a statistical conversion so that all possible values fall between 0 and 10, inclusive. This is the probability of presence score.

### Breeding Season ()

Yellow bars denote a very liberal estimate of the time-frame inside which the bird breeds across its entire range. If there are no yellow bars shown for a bird, it does not breed in your project area.

### Survey Effort ()

Vertical black lines superimposed on probability of presence bars indicate the number of surveys performed for that species in the 10km grid cell(s) your project area overlaps.

### No Data ()

A week is marked as having no data if there were no survey events for that week.

### Survey Timeframe

Surveys from only the last 10 years are used in order to ensure delivery of currently relevant information. The exception to this is areas off the Atlantic coast, where bird returns are based on all years of available data, since data in these areas is currently much more sparse.

## Migratory birds

The Migratory Bird Treaty Act (MBTA) <sup>1</sup> prohibits the take (including killing, capturing, selling, trading, and transport) of protected migratory bird species without prior [authorization](#) by the Department of Interior U.S. Fish and Wildlife Service (FWS). The incidental take of migratory birds is the injury or death of birds that results from, but is not the purpose, of an activity. The FWS interprets the MBTA to prohibit incidental take.

1. The [Migratory Birds Treaty Act](#) of 1918.
2. The [Bald and Golden Eagle Protection Act](#) of 1940.

Additional information can be found using the following links:

- Eagle Management <https://www.fws.gov/program/eagle-management>

- Measures for avoiding and minimizing impacts to birds <https://www.fws.gov/library/collections/avoiding-and-minimizing-incident-take-migratory-birds>
- Nationwide avoidance and minimization measures for birds
- Supplemental Information for Migratory Birds and Eagles in IPaC <https://www.fws.gov/media/supplemental-information-migratory-birds-and-bald-and-golden-eagles-may-occur-project-action>

The [data](#) in this location indicates that no migratory birds of concern have been observed in this area. This does not mean [birds of concern](#) are not present in your project area, especially if the area is difficult to survey. Please review the 'Steps to Take When No Results Are Returned' section of the [Supplemental Information on Migratory Birds and Eagles document](#) to determine if your project is in a poorly surveyed area. If it is, you may need to rely on other resources to determine what migratory birds of concern may be present (e.g. your local FWS field office, state surveys, your own surveys).

## Migratory Bird FAQs

**Tell me more about avoidance and minimization measures I can implement to avoid or minimize impacts to migratory birds.**

[Nationwide Avoidance & Minimization Measures for Birds](#) describes measures that can help avoid and minimize impacts to all birds at any location year-round. When birds may be breeding in the area, identifying the locations of any active nests and avoiding their destruction is one of the most effective ways to minimize impacts. To see when birds are most likely to occur and breed in your project area, view the Probability of Presence Summary. [Additional measures](#) or [permits](#) may be advisable depending on the type of activity you are conducting and the type of infrastructure or bird species present on your project site.

**What does IPaC use to generate the list of migratory birds that potentially occur in my specified location?**

The Migratory Bird Resource List is comprised of [Birds of Conservation Concern \(BCC\)](#) and other species that may warrant special attention in your project location, such as those listed under the Endangered Species Act or the [Bald and Golden Eagle Protection Act](#) and those species marked as "Vulnerable". See the FAQ "What are the levels of concern for migratory birds?" for more information on the levels of concern covered in the IPaC migratory bird species list.

The migratory bird list generated for your project is derived from data provided by the [Avian Knowledge Network \(AKN\)](#). The AKN data is based on a growing collection of [survey, banding, and citizen science datasets](#) and is queried and filtered to return a list of those birds reported as occurring in the 10km grid cell(s) with which your project intersects. These species have been identified as warranting special attention because they are BCC species in that area, an eagle ([Bald and Golden Eagle Protection Act](#) requirements may apply), or a species that has a particular vulnerability to offshore activities or development.

Again, the Migratory Bird Resource list includes only a subset of birds that may occur in your project area. It is not representative of all birds that may occur in your project area. To get a list of all birds potentially present in your project area, and to verify survey effort when no results present, please visit the [Rapid Avian Information Locator \(RAIL\) Tool](#).

### Why are subspecies showing up on my list?

Subspecies profiles are included on the list of species present in your project area because observations in the AKN for **the species** are being detected. If the species are present, that means that the subspecies may also be present. If a subspecies shows up on your list, you may need to rely on other resources to determine if that subspecies may be present (e.g. your local FWS field office, state surveys, your own surveys).

### What does IPaC use to generate the probability of presence graphs for the migratory birds potentially occurring in my specified location?

The probability of presence graphs associated with your migratory bird list are based on data provided by the [Avian Knowledge Network \(AKN\)](#). This data is derived from a growing collection of [survey, banding, and citizen science datasets](#).

Probability of presence data is continuously being updated as new and better information becomes available. To learn more about how the probability of presence graphs are produced and how to interpret them, go to the Probability of Presence Summary and then click on the "Tell me about these graphs" link.

### How do I know if a bird is breeding, wintering, or migrating in my area?

To see what part of a particular bird's range your project area falls within (i.e. breeding, wintering, migrating, or resident), you may query your location using the [RAIL Tool](#) and view the range maps provided for birds in your area at the bottom of the profiles provided for each bird in your results. If a bird on your IPaC migratory bird species list has a breeding season associated with it (indicated by yellow vertical bars on the phenology graph in your "IPaC PROBABILITY OF PRESENCE SUMMARY" at the top of your results list), there may be nests present at some point within the timeframe specified. If "Breeds elsewhere" is indicated, then the bird likely does not breed in your project area.

### What are the levels of concern for migratory birds?

Migratory birds delivered through IPaC fall into the following distinct categories of concern:

1. "BCC Rangewide" birds are [Birds of Conservation Concern](#) (BCC) that are of concern throughout their range anywhere within the USA (including Hawaii, the Pacific Islands, Puerto Rico, and the Virgin Islands);
2. "BCC - BCR" birds are BCCs that are of concern only in particular Bird Conservation Regions (BCRs) in the continental USA; and
3. "Non-BCC - Vulnerable" birds are not BCC species in your project area, but appear on your list either because of the [Bald and Golden Eagle Protection Act](#) requirements (for eagles) or (for non-eagles) potential susceptibilities in offshore areas from certain types of development or activities (e.g. offshore energy development or longline fishing).

Although it is important to avoid and minimize impacts to all birds, efforts should be made, in particular, to avoid and minimize impacts to the birds on this list, especially BCC species. For more information on avoidance and minimization measures you can implement to help avoid and minimize migratory bird impacts, please see the FAQ "Tell me more about avoidance and minimization measures I can implement to avoid or minimize impacts to migratory birds".

### **Details about birds that are potentially affected by offshore projects**

For additional details about the relative occurrence and abundance of both individual bird species and groups of bird species within your project area off the Atlantic Coast, please visit the [Northeast Ocean Data Portal](#). The Portal also offers data and information about other taxa besides birds that may be helpful to you in your project review. Alternately, you may download the bird model results files underlying the portal maps through the [NOAA NCCOS Integrative Statistical Modeling and Predictive Mapping of Marine Bird Distributions and Abundance on the Atlantic Outer Continental Shelf](#) project webpage.

### **Proper interpretation and use of your migratory bird report**

The migratory bird list generated is not a list of all birds in your project area, only a subset of birds of priority concern. To learn more about how your list is generated and see options for identifying what other birds may be in your project area, please see the FAQ "What does IPaC use to generate the migratory birds potentially occurring in my specified location". Please be aware this report provides the "probability of presence" of birds within the 10 km grid cell(s) that overlap your project; not your exact project footprint. On the graphs provided, please look carefully at the survey effort (indicated by the black vertical line) and for the existence of the "no data" indicator (a red horizontal line). A high survey effort is the key component. If the survey effort is high, then the probability of presence score can be viewed as more dependable. In contrast, a low survey effort bar or no data bar means a lack of data and, therefore, a lack of certainty about presence of the species. This list does not represent all birds present in your project area. It is simply a starting point for identifying what birds of concern have the potential to be in your project area, when they might be there, and if they might be breeding (which means nests might be present). The list and associated information help you know what to look for to confirm presence and helps guide implementation of avoidance and minimization measures to eliminate or reduce potential impacts from your project activities, should presence be confirmed. To learn more about avoidance and minimization measures, visit the FAQ "Tell me about avoidance and minimization measures I can implement to avoid or minimize impacts to migratory birds".

### **Interpreting the Probability of Presence Graphs**

Each green bar represents the bird's relative probability of presence in the 10km grid cell(s) your project overlaps during a particular week of the year. A taller bar indicates a higher probability of species presence. The survey effort can be used to establish a level of confidence in the presence score.

#### ***How is the probability of presence score calculated? The calculation is done in three steps:***

The probability of presence for each week is calculated as the number of survey events in the week where the species was detected divided by the total number of survey events for that week. For example, if in week 12 there were 20 survey events and the Spotted Towhee was found in 5 of them, the probability of presence of the Spotted Towhee in week 12 is 0.25.

To properly present the pattern of presence across the year, the relative probability of presence is calculated. This is the probability of presence divided by the maximum probability of presence across all weeks. For example, imagine the probability of presence in week 20 for the Spotted Towhee is 0.05, and that the probability of presence at week 12 (0.25) is the maximum of any week of the year. The relative probability of presence on week 12 is  $0.25/0.25 = 1$ ; at week 20 it is  $0.05/0.25 = 0.2$ .

The relative probability of presence calculated in the previous step undergoes a statistical conversion so that all possible values fall between 0 and 10, inclusive. This is the probability of presence score.

#### **Breeding Season ()**

Yellow bars denote a very liberal estimate of the time-frame inside which the bird breeds across its entire range. If there are no yellow bars shown for a bird, it does not breed in your project area.

#### **Survey Effort ()**

Vertical black lines superimposed on probability of presence bars indicate the number of surveys performed for that species in the 10km grid cell(s) your project area overlaps.

#### **No Data ()**

A week is marked as having no data if there were no survey events for that week.

#### **Survey Timeframe**

Surveys from only the last 10 years are used in order to ensure delivery of currently relevant information. The exception to this is areas off the Atlantic coast, where bird returns are based on all years of available data, since data in these areas is currently much more sparse.

## Facilities

### National Wildlife Refuge lands

Any activity proposed on lands managed by the [National Wildlife Refuge](#) system must undergo a 'Compatibility Determination' conducted by the Refuge. Please contact the individual Refuges to discuss any questions or concerns.

There are no refuge lands at this location.

# Fish hatcheries

There are no fish hatcheries at this location.

## Wetlands in the National Wetlands Inventory (NWI)

Impacts to [NWI wetlands](#) and other aquatic habitats may be subject to regulation under Section 404 of the Clean Water Act, or other State/Federal statutes.

For more information please contact the Regulatory Program of the local [U.S. Army Corps of Engineers District](#).

This location did not intersect any wetlands mapped by NWI.

**NOTE:** This initial screening does **not** replace an on-site delineation to determine whether wetlands occur. Additional information on the NWI data is provided below.

### Data limitations

The Service's objective of mapping wetlands and deepwater habitats is to produce reconnaissance level information on the location, type and size of these resources. The maps are prepared from the analysis of high altitude imagery. Wetlands are identified based on vegetation, visible hydrology and geography. A margin of error is inherent in the use of imagery; thus, detailed on-the-ground inspection of any particular site may result in revision of the wetland boundaries or classification established through image analysis.

The accuracy of image interpretation depends on the quality of the imagery, the experience of the image analysts, the amount and quality of the collateral data and the amount of ground truth verification work conducted. Metadata should be consulted to determine the date of the source imagery used and any mapping problems.

Wetlands or other mapped features may have changed since the date of the imagery or field work. There may be occasional differences in polygon boundaries or classifications between the information depicted on the map and the actual conditions on site.

### Data exclusions

Certain wetland habitats are excluded from the National mapping program because of the limitations of aerial imagery as the primary data source used to detect wetlands. These habitats include seagrasses or submerged aquatic vegetation that are found in the intertidal and subtidal zones of estuaries and nearshore coastal waters. Some deepwater reef communities (coral or tubercid worm reefs) have also been excluded from the inventory. These habitats, because of their depth, go undetected by aerial imagery.

### **Data precautions**

Federal, state, and local regulatory agencies with jurisdiction over wetlands may define and describe wetlands in a different manner than that used in this inventory. There is no attempt, in either the design or products of this inventory, to define the limits of proprietary jurisdiction of any Federal, state, or local government or to establish the geographical scope of the regulatory programs of government agencies. Persons intending to engage in activities involving modifications within or adjacent to wetland areas should seek the advice of appropriate Federal, state, or local agencies concerning specified agency regulatory programs and proprietary jurisdictions that may affect such activities.

## Appendix G. FFMRS Information



# FFRMS No Data Exists Report

Report generated by the Federal Flood Standard Support Tool on Fri Nov 01 2024. For more information on FFRMS and the data, visit <https://floodstandard.climate.gov>.

## Summary

Based on the submitted footprint, there is currently no data in this tool to support a FFRMS floodplain determination. Data may exist for this location but may not be in a digital format suitable for analysis required for this tool. See below for other data options. For additional assistance, please contact [FEMA-FFRMS-SUPPORT-REQUEST@fema.dhs.gov](mailto:FEMA-FFRMS-SUPPORT-REQUEST@fema.dhs.gov).

## Proposed Action Details

Latitude and Longitude (centroid of polygon): Y: 18.149143 X: -65.441366

Service criticality: **Non-critical**      Service Life: **Through 2050**

## Considerations at this location

No additional considerations at this location.

## Nonexistent or Inadequate Federal Flood Standard Support Tool Data

**No FFSST Data:** In situations where the Federal Flood Standard Support Tool has no data, or the user has reason to question the Federal Flood Standard Support Tool data, users may need to rely on other resources, including flood hazard data from other federal sources or from state, tribal, or local government sources to identify the FFRMS floodplain.

**No Alternative Data Sources:** If there is no alternative data source (federal, state, local), users may need to engage in location-specific engineering analysis of the flood risk. If an action is in the FFRMS floodplain and locating it there is the only practicable alternative, then the services of a professional engineer, architect, or other licensed design professional may be needed to determine how to minimize the impacts of flood and make the action resilient (e.g., elevation, floodproofing and/or nature-based solutions), especially when dealing with critical actions.

**Inconclusive Data:** Where FEMA flood maps indicate “area not included,” there may be background data available. Finding that data would require research in the Map Service Center and the assistance of a FEMA Regional Floodplain Management & Insurance (FM&I) Division's FFRMS Specialist.

## Assistance

To contact the FEMA Regional Floodplain Management & Insurance FFRMS Point of Contact for assistance, first find the appropriate FEMA Regional office given the location of the proposed project. Then visit the [“Contact Us” link at FEMA.gov](#) to contact that Regional Office's Floodplain Management & Insurance Branch or e-mail FEMA at [FEMA-FFRMS-SUPPORT-REQUEST@fema.dhs.gov](mailto:FEMA-FFRMS-SUPPORT-REQUEST@fema.dhs.gov).



## Project Location



1:4,514

FFRMS Floodplain



Project Location



## Appendix H. Section 106 Process documentation



# GOVERNMENT OF PUERTO RICO

## STATE HISTORIC PRESERVATION OFFICE

Executive Director | Carlos A. Rubio Cancela | carubio@prshpo.pr.gov

Friday, May 24, 2024

### Lauren B Poche

269 Avenida Ponce de Leon, San Juan, PR, 00917

SHPO-CF-04-29-24-02 PR-CRP-000807 & 001111 (Vieques) Archaeology  
Monitoring Plan & Rev. Ramp Design

Dear Ms. Poche,

We have reviewed the archaeological monitoring plan, date March 2024, as well as the plans for the revised ramp design, dated April 19, 2024, prepared for the above referenced project. Both documents are deemed acceptable.

If you have any questions, please do not hesitate to contact our Office.

Sincerely,

Carlos A. Rubio Cancela

State Historic Preservation Officer

CARC/GMO/MB



Cuartel de Ballajá (Tercer Piso), Calle Norzagaray, Esq. Beneficencia, Viejo San Juan, PR 00901 | PO Box 9023935, San Juan, PR 00902-3935



October 20, 2022

**Arch. Carlos A. Rubio Cancela**

Executive Director

State Historic Preservation Officer

Cuartel de Ballajá Bldg.

San Juan, Puerto Rico

**Re: Authorization to Submit Documents**

Dear Arch. Rubio Cancela:

The U.S. Department of Housing (HUD) approved the allocations of Community Development Block Grant (CDBG-DR) funds on February 9, 2018. It also approved the allocation of Community Development Block Grant Mitigation (CDBG-MIT) funds on January 27, 2020. The purpose of these allocations is to address unsatisfied needs as a result of Hurricanes Irma and Maria in September 2017; and to carry out strategic and high-impact activities to mitigate disaster risks and reduce future losses.

To comply with the environmental requirements established by HUD, the Department of Housing of Puerto Rico (PRDOH) contracted Horne Federal LLC to provide environmental registry review services, among others, that will support the objectives of the agenda for both CDBG-DR and CDBG -MIT Programs.

In line to expedite the processes, Horne Federal LLC, is authorized to submit to the State Historic Preservation Officer, documentation of projects related to both the CDBG-DR and CDBG-MIT on behalf of PRDOH.

Cordially,

A handwritten signature in blue ink, appearing to be 'JB', is written over the printed name.

Juan C. Pérez Bofill, P.E. M.Eng

Director of Disaster Recovery

CDBG DR-MIT

April 29, 2024

Carlos A. Rubio Cancela  
State Historic Preservation Officer  
Puerto Rico State Historic Preservation Office  
Cuartel de Ballajá (Tercer Piso)  
San Juan, PR 00902-3935

**Puerto Rico Disaster Recovery, CDBG-DR City Revitalization (City-Rev) Program**

**SHPO 06-23-23-06, PR-CRP-000807 and PR-CRP-001111: Improvements to the Vieques Public Square and Market Square for Community and Social Transformation Project, Vieques, Puerto Rico – Submission of the Archaeological Monitoring Plan and Revised Ramp Designs**

Dear Architect Rubio Cancela,

On behalf of the Puerto Rico Department of Housing (PRDOH) and the subrecipient, the Municipality of Vieques, we thank you for your letter dated Wednesday, November 29, 2023 where your office concurred with our finding of no adverse effect for this undertaking, conditioned to archaeological monitoring during all ground disturbing activities for both the Luis Muñoz Rivera Plaza and the former J. Gautier Benítez School and that once the monitoring work plan was submitted that your review would continue. Additionally, the recommendation was made for a lighter, more transparent design for the access ramp to the main entrance of the former school because as proposed, it visually impacts the façade of the historic building.

A monitoring report outlining the findings of the structural and exploratory studies for these projects was submitted to your office on March 27, 2024. That report supported the need for additional monitoring during the full project activities. Your response letter dated April 19<sup>th</sup>, 2024 acknowledged receipt of the report, that it confirms the need for monitoring during the undertakings themselves, and reiterated that the monitoring plans for the undertakings must be submitted for your review.

As such, on behalf of PRDOH and the Municipality of Vieques, we are submitting the *Archaeological Monitoring Plan for Vieques, Puerto Rico PR-CRP-000807/PR-CRP-001111, SHPO 06-23-23-03*, prepared by Archaeologist Marisol Rodriguez Miranda for your review and concurrence that this plan is appropriate for the proposed undertakings.

Based upon the comments regarding the original ramp proposal, we are also submitting revised plans for the access ramp proposed on the left side of the façade. As you can see in the attached drawings and conceptual renderings, adjustments have been made to lighten the design and reduce the visual impact to the façade of the historic school. We are submitting these updated designs for your review and feedback.

Please contact me with any questions or concerns by email at [lauren.poche@horne.com](mailto:lauren.poche@horne.com) or phone at 225-405-7676.

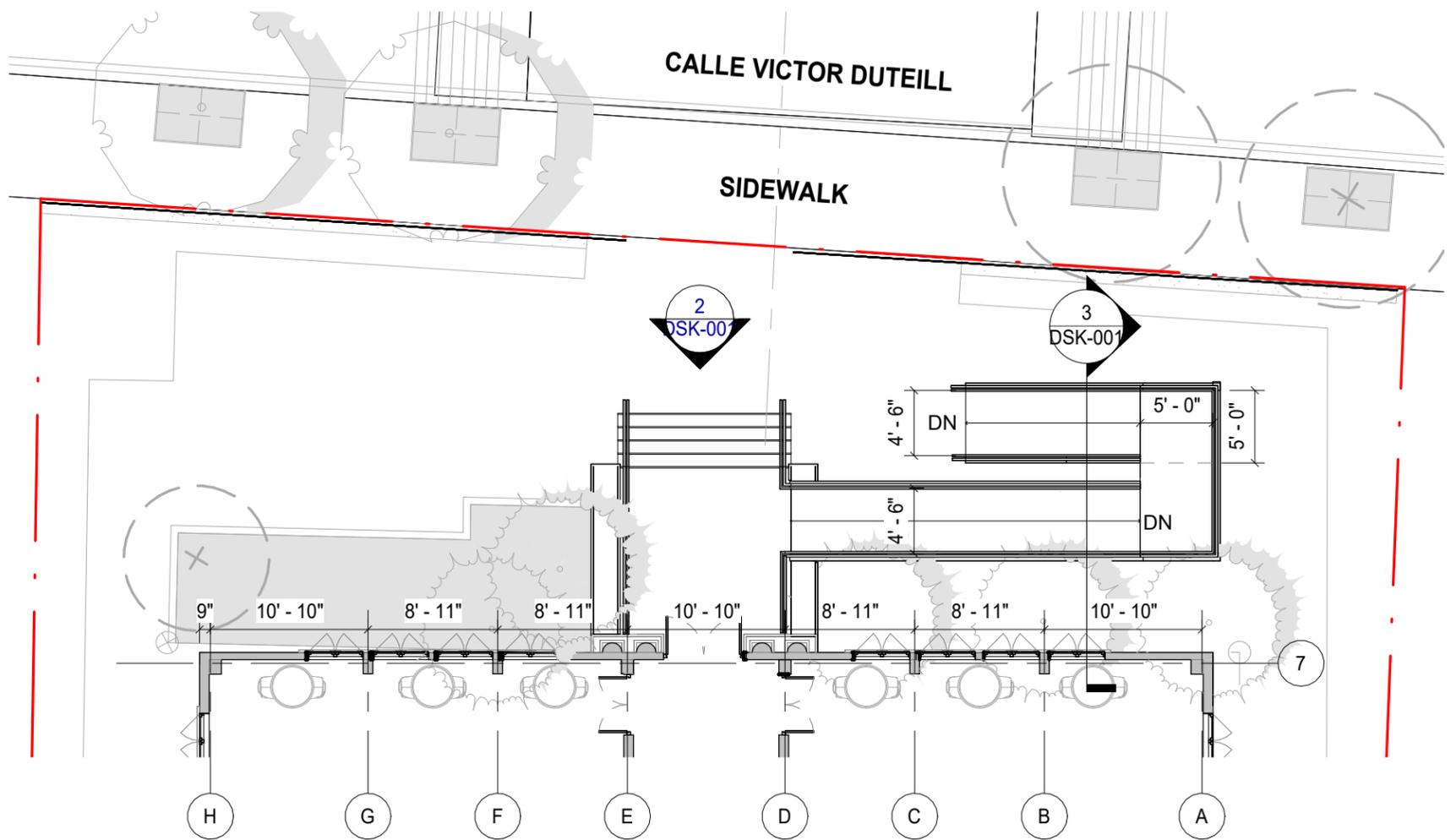
Kindest regards,



**Lauren Bair Poche. M.A.**  
Architectural Historian, EHP Senior Manager

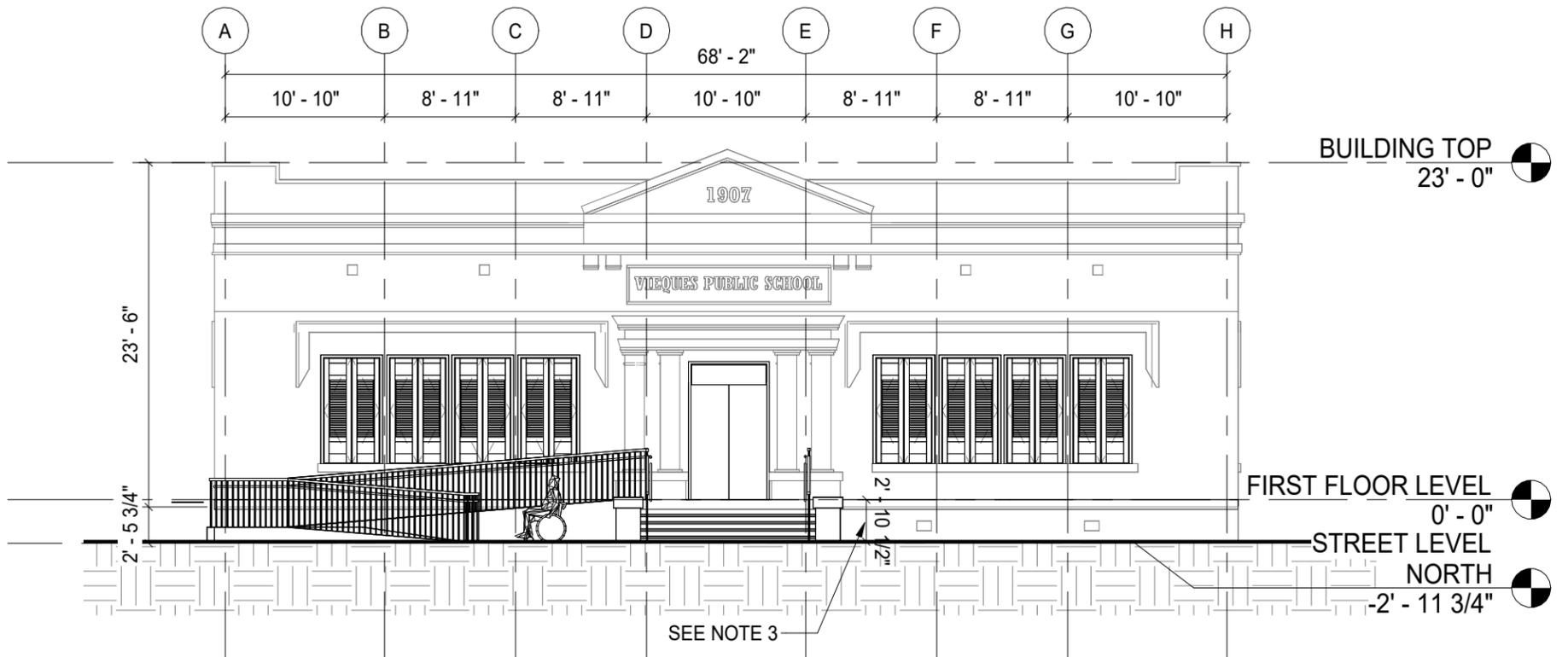
Attachments

**REVISED DESIGN PLANS FOR THE PROPOSED  
RAMP, INCLUDING CONCEPTUAL RENDERINGS**



# 1 MAIN ENTRANCE RAMP FLOOR PLAN

3/32" = 1'-0"



# 2 NORTH ELEVATION - MAIN ENTRANCE RAMP

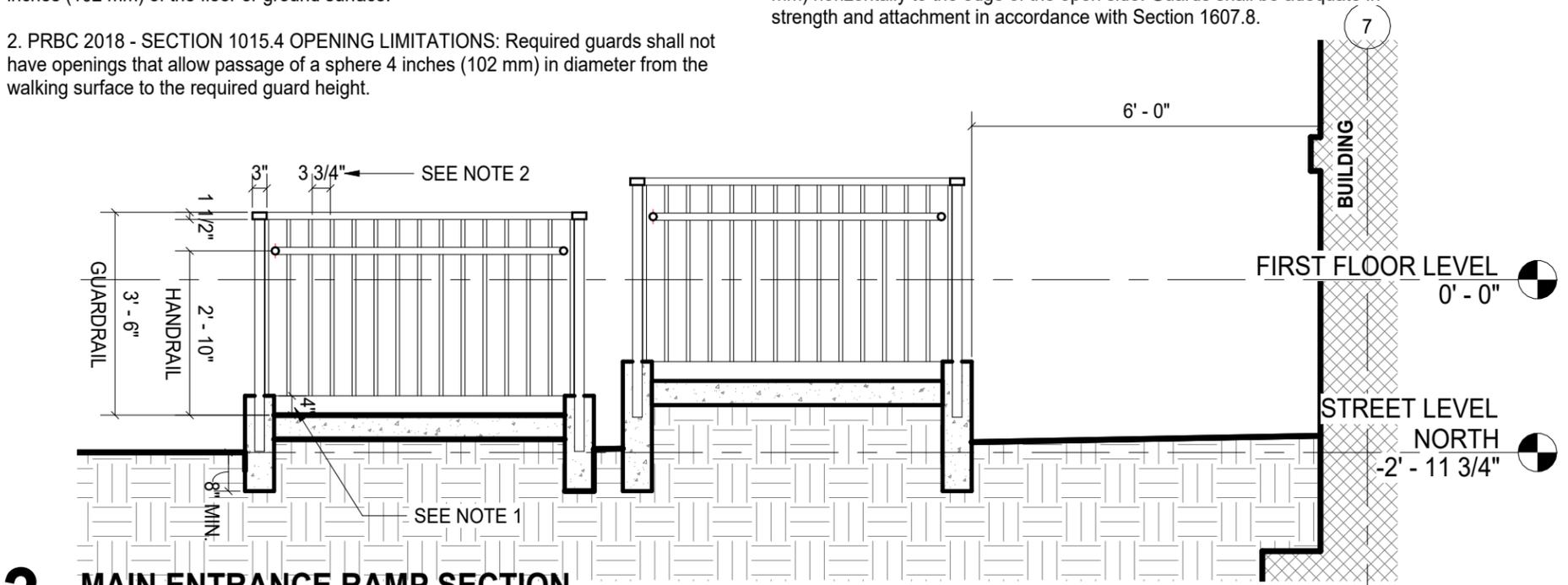
3/32" = 1'-0"

### NOTES

1. PRBC 2018 - SECTION 1012.10.1 CURB, RAIL, WALL OR BARRIER: A curb, rail, wall or barrier shall be provided to serve as edge protection. A curb shall be not less than 4 inches (102 mm) in height. Barriers shall be constructed so that the barrier prevents the passage of a 4-inch-diameter (102 mm) sphere, where any portion of the sphere is within 4 inches (102 mm) of the floor or ground surface.

2. PRBC 2018 - SECTION 1015.4 OPENING LIMITATIONS: Required guards shall not have openings that allow passage of a sphere 4 inches (102 mm) in diameter from the walking surface to the required guard height.

3. PRBC 2018 - SECTION 1015.2 WHERE REQUIRED: Guards shall be located along open-sided walking surfaces, including mezzanines, equipment platforms, aisles, stairs, ramps and landings that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Guards shall be adequate in strength and attachment in accordance with Section 1607.8.

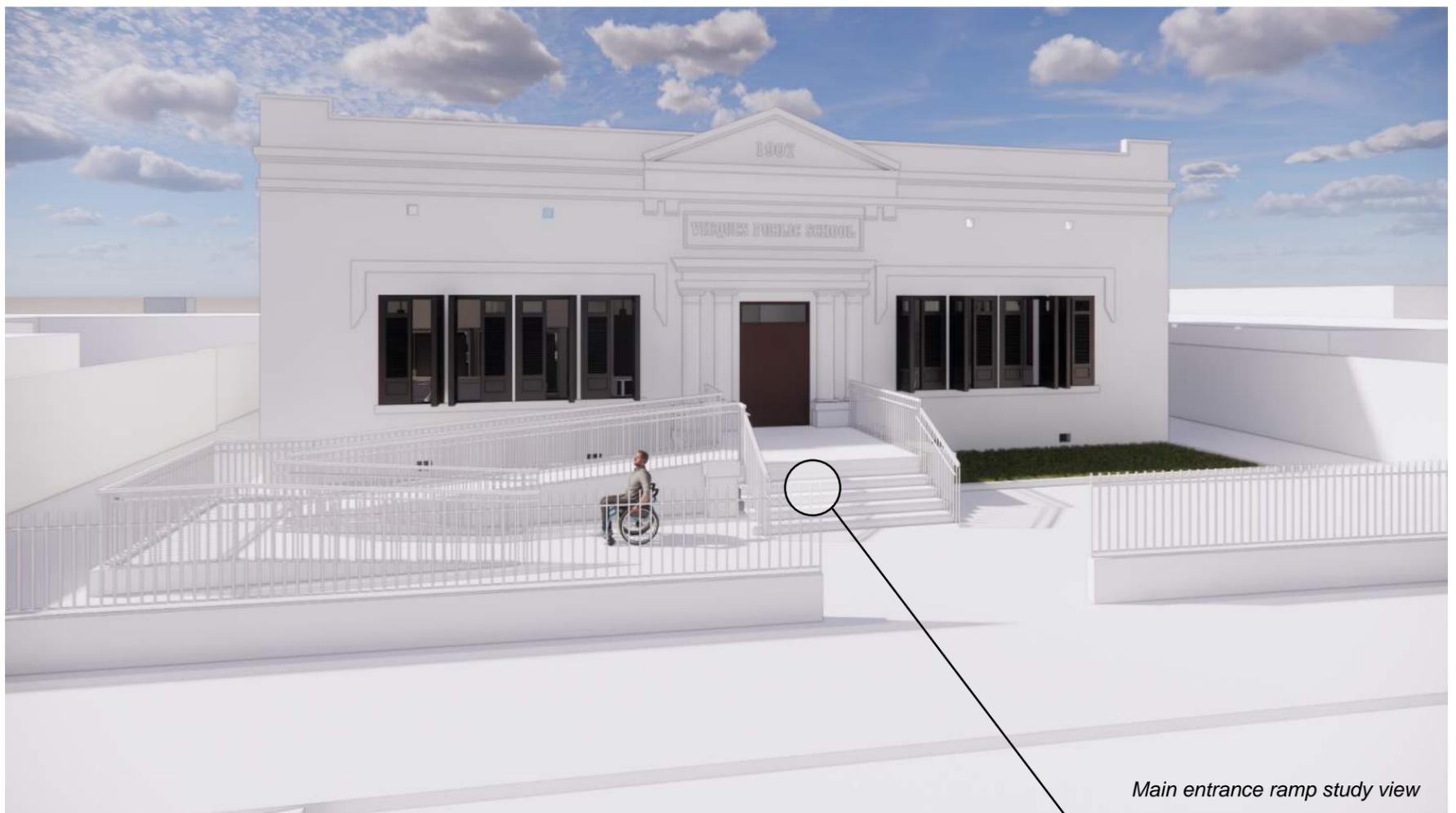


# 3 MAIN ENTRANCE RAMP SECTION

3/8" = 1'-0"



Conceptual rendering



Main entrance ramp study view



Photo of existing conditions

Historic elements from exterior existing fence to be preserved and restored and incorporated into new fence design.



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 VIEQUES, PR 00765

**STRUCTURAL ENGINEER**  
 JCDM STRUCTURAL, LLC.  
 844 HOSTOS STREET  
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**SURVEYOR**  
 FSS LAND SURVEYORS & CONSULTANTS  
 P.O. BOX 2075, AIBONITO, PR 01705

**ISSUE RECORD DESCRIPTION**

REV	DATE	DESCRIPTION
01	05.05.2023	ISSUED 100% SD's
02	07.14.2023	ISSUED 30% DD Progress

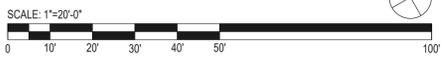
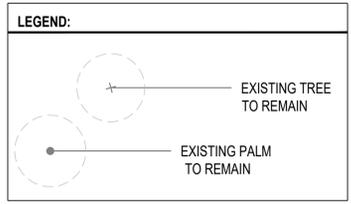
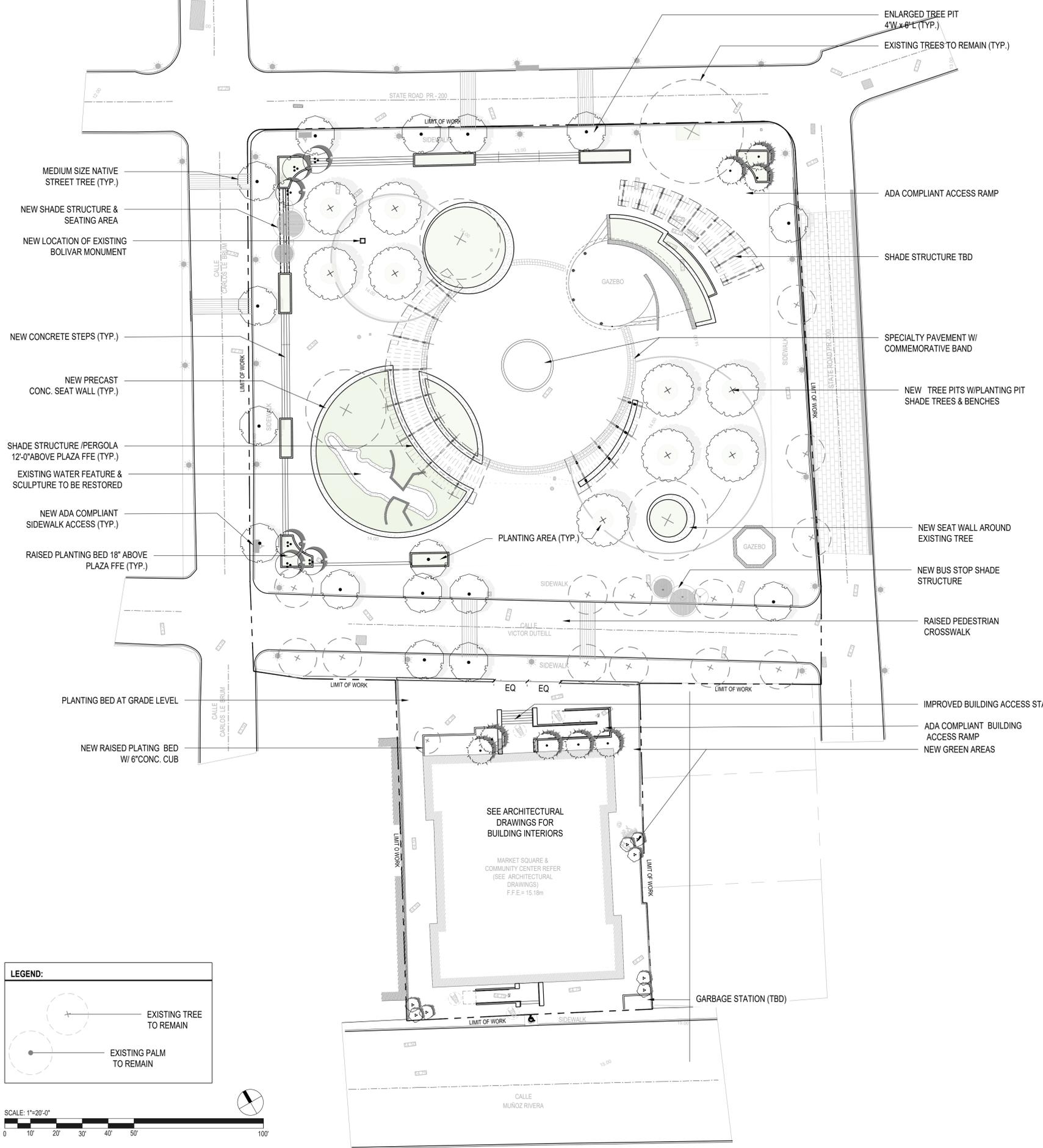
YO JONATHAN J MARVEL FULLER, NUMERO DE LICENCIA 21738 CERTIFICO QUE SOY EL PROFESIONAL QUE CONFECCIONO, DISEÑO Y/O PREPARO ESTOS PLANOS Y LAS ESPECIFICACIONES COMPLEMENTARIAS. TAMBIEN CERTIFICO QUE ENTENDO QUE DICHO PLANOS Y ESPECIFICACIONES CUMPLEN CON LAS DISPOSICIONES APLICABLES DEL REGLAMENTO CONJUNTO Y LAS DISPOSICIONES APLICABLES DE LOS REGLAMENTOS Y CÓDIGOS DE CONSTRUCCION VIGENTES DE LAS AGENCIAS, JUNTAS REGLAMENTADORAS O CORPORACIONES PUBLICAS CON JURISDICCION CERTIFICADO, ADEMAS QUE EN LA PREPARACION DE ESTOS PLANOS Y ESPECIFICACIONES SE HA CUMPLIDO CABALMENTE CON LO DISPUESTO EN LA LEY NUM. 14 DE 8 DE ENERO DE 2004, SEGUN ENMIENDADA, CONOCIDA COMO LA LEY PARA LA INVERSION POR LA INDUSTRIA PUERTORRIQUEÑA Y CON LA LEY NUM. 96 DE 6 DE ABRIL DE 1978, SEGUN ENMIENDADA, RECONOCIDO QUE CUALQUIER DECLARACION FALSA O FALSIFICACION DE LOS HECHOS QUE SE HAYA PRODUCIDO POR DESCONOCIMIENTO O POR NEGLIGENCIA YA SEA POR MI, MIS AGENTES O EMPLEADOS, O POR OTRAS PERSONAS CON MI CONCOMENTO, ME HACEN RESPONSABLE DE CUALQUIER ACCION JUDICIAL Y DISCIPLINARIA POR LA DOPE.

Vieques, PR  
 MA #2252  
 VIEQUES CITY REV  
 GROUP 2  
 CRP-PR-000807 &  
 CRP-PR-001111  
 VIEQUES, PR  
 Project Address II

**PUBLIC SQUARE, PUBLIC MARKET & COMMUNITY CENTER OVERALL SITE PLAN**

SCALE: As Noted

DRAWING #:  
**L-002** of



2:\PROJECTS\232 - VIEQUES CITY REV AE SWS - PR-00-PR-CRP-000807 - MEDIOES PUBLIC SQUARE/CO-CONTRACT DOCS\00-SHEETS\232\_1\_002\_OVERALL SITE PLANNING



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**SURVEYOR**  
 FSS LAND SURVEYORS & CONSULTANTS  
 P.O. BOX 2075, AIBONITO, PR 00705

**ISSUE RECORD DESCRIPTION**

**REV DATE DESCRIPTION**

REV	DATE	DESCRIPTION
01	05.05.2023	ISSUED 100% SD's
02	07.14.2023	ISSUED 30% DD Progress

YO JONATHAN J. MARVEL FULLER, NÚMERO DE LICENCIA 21738, CERTIFICO QUE SOY EL PROFESIONAL QUE CONFECIONO, DISEÑO Y/O PREPARO ESTOS PLANOS Y LAS ESPECIFICACIONES COMPLEMENTARIAS. TAMBIÉN, CERTIFICO QUE ENTENDO QUE DICHO PLANOS Y ESPECIFICACIONES CUMPLEN CON LAS DISPOSICIONES APLICABLES DEL REGLAMENTO CONJUNTO Y LAS DISPOSICIONES APLICABLES DE LOS REGLAMENTOS Y CÓDIGOS DE CONSTRUCCIÓN VIGENTES DE LAS AGENCIAS, JUNTAS REGLAMENTADORAS O CORPORACIONES PÚBLICAS CON JURISDICCIÓN. CERTIFICO, ADemás, QUE EN LA PREPARACION DE ESTOS PLANOS Y ESPECIFICACIONES SE HA CUMPLIDO CABALMENTE CON LO DISPUESTO EN LA LEY NÚM. 14 DE 8 DE ENERO DE 2004, SEGUN ENMIENDADA, CONOCIDA COMO LA "LEY PARA LA INVERSION POR LA INDUSTRIA PUERTORRIQUEÑA" Y CON LA LEY NÚM. 86 DE 20 DE JULIO DE 1978, SEGUN ENMIENDADA, RECONOCIDO QUE CUALQUIER DECLARACION FALSA O FALSIFICACION DE LOS HECHOS QUE SE HAYA PRODUCIDO POR DESCONOCIMIENTO O POR NEGLIGENCIA YA SEA POR MI, MIS AGENTES O EMPLEADOS, O POR OTRAS PERSONAS CON MI CONOCIMIENTO, ME HACEN RESPONSABLE DE CUALQUIER ACCION JUDICIAL Y DISCIPLINARIA POR LA OPORTE.

Vieques, PR  
 MA #2252  
 VIEQUES CITY REV  
 GROUP 2  
 CRP-PR-000807 &  
 CRP-PR-001111  
 VIEQUES, PR  
 Project Address II

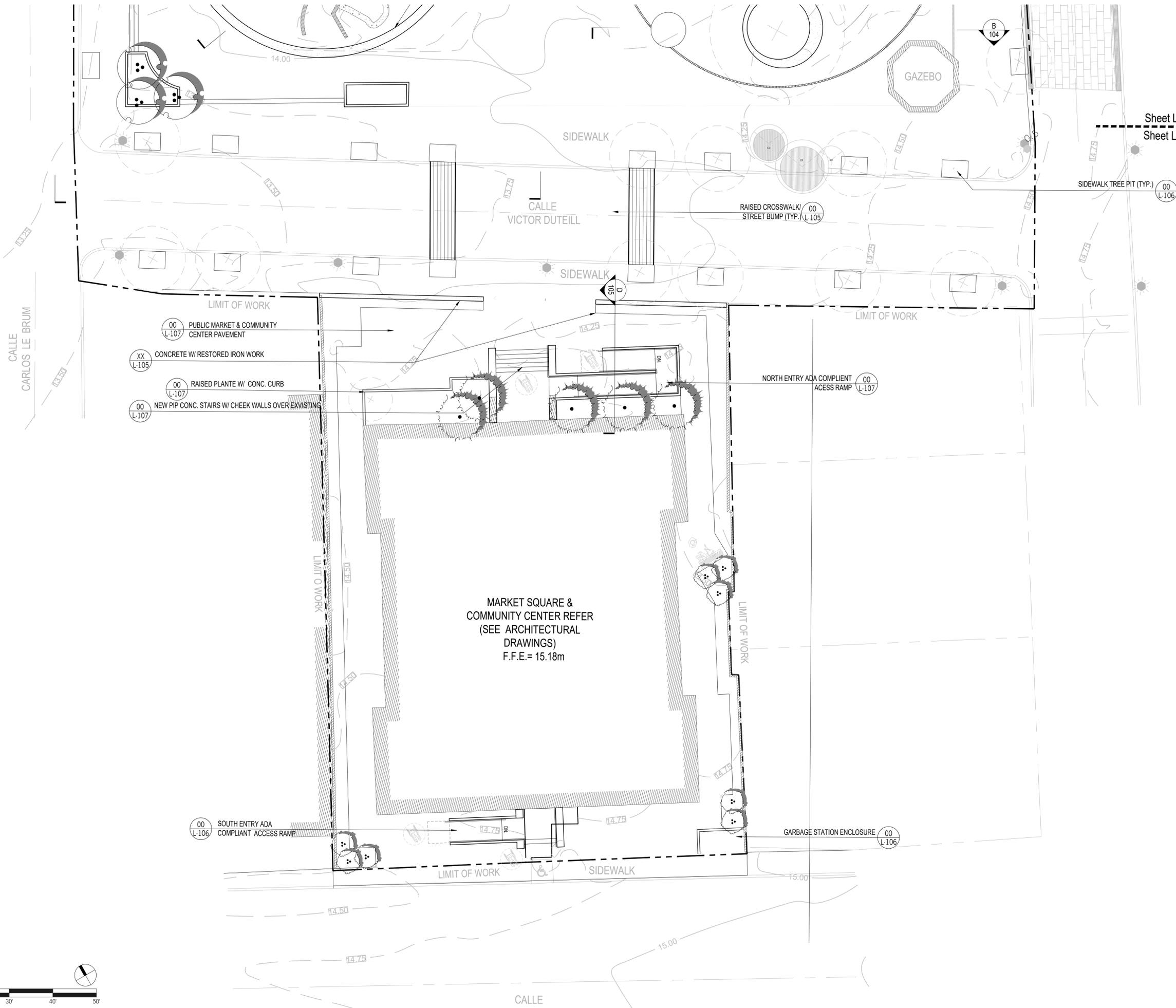
**PUBLIC MARKET & COMMUNITY CENTER SITE PLAN PLAN**

SCALE: As Noted

DRAWING #:  
**L-102** 00 of 000

Sheet L-X01  
 Sheet L-X02

Sheet L-X01  
 Sheet L-X02



- 00 L-107 PUBLIC MARKET & COMMUNITY CENTER PAVEMENT
- XX L-105 CONCRETE W/ RESTORED IRON WORK
- 00 L-107 RAISED PLANTE W/ CONC. CURB
- 00 L-107 NEW PIP CONC. STAIRS W/ CHEEK WALLS OVER EXISTING

MARKET SQUARE & COMMUNITY CENTER REFER (SEE ARCHITECTURAL DRAWINGS)  
 F.F.E. = 15.18m



Z:\PROJECTS\232 - VIEQUES CITY REV AE SWS - PR-00-PR-CRP-000807 - VIEQUES PUBLIC SQUARE/CP-CONTRACT DOCS/00-SHEETS\232\_L-102\_LANDSCAPE PLAN - WORKING.DWG

**PR-CRP-000807 and PR-CRP-001111 (Vieques)**  
**ARCHAEOLOGICAL MONITORING PLAN**



**SHPO 06-23-23-03**

**Vieques, Puerto Rico**

**PR-CRP-000807 / PR CRP-001111**

# **Archaeological Monitoring Plan**

**Improvements to the Vieques Public Square**

**Market square for Social and Community Transformation**

Prepared by:  
Marisol Rodriguez Miranda  
Archaeologist – ICF

*Based on Archaeological Monitoring Work Plan Template developed by  
Archaeologist Sharon Meléndez Ortiz, HORNE PR, 2023*

January 2024/ Revised March 2024

**Acronyms**

CDBG-DR	Community Development Block Grant Disaster Recovery
CM-	Municipality/Construction Manager
CRP-	City Revitalization Program
EDF-	Section 106 Effect Determination Form for SHPO standard consultation in CRP Program
GM-	Grant Manager (HORNE)
Monitor -	SOI-qualified and state qualified who will oversee the monitoring.
PM-	Program Manager (ICF)
PRDOH-	Puerto Rico Department of Housing. Programmatic Agreement- Section 106 Programmatic Agreement among FEMA-SHPO and COR 3 and adopted by Puerto Rico Housing Development as amended (2023)

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- 2- APPENDIX B: SITE PLANS
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## 1. PREAMBLE

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The Municipality of Vieques is seeking Community Development Block Grant Disaster Recovery funds financed by the federal Department of Housing and Urban Development due to damage received by the 2017 Hurricanes Irma and Maria. The Puerto Rico Department of Housing (PRDOH) has established an Agreement between PRDOH and the Municipality of Vieques for the City Revitalization Program(CRP) as part of the Community Development Block Grant for Disaster Recovery (CDBG-DR) Program.

The Municipality of Vieques proposes the rehabilitation and renovation of two areas within the Traditional Urban Center, PR-CRP-000807 Mejoras a la Plaza Publica de Vieques (henceforth Vieques Public Plaza) and PR-CRP-001111 Centro Agrícola de Transformación Social y Comunitario (henceforth Vieques Public School). A formal consultation with SHPO was prepared for both projects in compliance with Stipulation II.A.4 of the Section 106 Programmatic Agreement among PRSHPO (Programmatic Agreement) as amended in the form of an Effect Determination Form (EDF). The Puerto Rico State Historic Preservation Office (PRSHPO), in a letter dated November 29, 2023, concurred with a finding of **No Adverse Effect** for this undertaking **conditioned** to the implementation of an archaeological monitoring during demolition and ground- disturbing activities.

As per documentation provided by the design firm Marvel the undertaking activities are proposed to repair damages caused by hurricanes Irma and Maria and improve the Vieques Public Plaza to recover and foster its prior intensive public use. In the case of the Vieques Public School, the project will repair and prepare the structure for a new use that will revitalize the historic building.

The direct APE for the Vieques Public Plaza project is 0.6772 acres located in the north of the island (cadaster 457- 042-019-01) and its boundaries (Figures 1-2) within surrounding streets, Carlos Lebrum to the north- west, P, Benitez Guzman to the East, the Victor Duteill to the west and Antonio Mellado (PR-200) to the south. The Indirect or visual APE are the buildings located in the mentioned streets.<sup>1</sup>

The Vieques Public School is located in Victor Duteill Street, to the south of the Vieques Public Plaza, in a lot of 0.2991 acres (cadaster 457- 052-020-04). Limits with mentioned street to the north, and Muñoz Rivera Street in the south, to the west with a Methodist Church building, and to the east with three lots of the Augusto Delorme succession The direct APE is the footprint of the undertaking, and the Visual APE includes the Plaza.<sup>22</sup>

The undertaking will be confined to the plaza footprint and surrounding sidewalks preserving its existing extents while proposing improvements to its spatial condition. The visual APE is the viewshed of the proposed project which includes the surrounding pavement and all buildings facing the plaza. For the Vieques Public School the façade will require changes that seek to recover the character defining features of the historic property and the APE will be confined to the actual footprint. More detail for of the APE can be found in the Effect Determination Form (EDF) prepared by Dr. Norma Medina Carillo, archaeologist and Karen J, Cuadro Esteves, SOI Qualified – architectural historian for these undertakings (Medina and Cuadro, 2023).

---

<sup>1</sup> For detail about the Visual APE please refer to the EDF.

<sup>2</sup> Idem

A summary of the EDF is presented here to establish the base for the plan in accordance with the activities proposed in the Scope of Work provided by Marvel for this stage of design. An analysis of the proposed activities vs the possible findings was added at the end of the plan. The plan complies with applicable federal and state laws, regulations, and guidelines, and is consistent with the Secretary of the Interior's (SOI) Guidelines for Archeological Documentation, the Advisory Council on Historic Preservation's (ACHP) recommendations on the recovery of significant information from archaeological sites as updated in 2009, and PR Regulation #8932 of the Council for Protection of the Puerto Rico Terrestrial Patrimony and other stipulations of the PR OGPe Joint Regulation.

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## 2. MONITORY

---

Based on the current regulations, in Puerto Rico an archaeological monitory consists of a continuous supervision by an SOIQ and CAT state qualified archaeologist during excavation work, removal of floors and demolition of structures, in areas where archaeological resources were identified or there is the possibility of finding them. It is generally carried out in urbanized areas such as streets and highways or inside structures, which do not allow systematic archaeological excavations prior to the demolition or construction of the project. Therefore, the excavations carried out by the contractor as part of the project are used to identify, evaluate and document any archaeological findings.

The effective development of archaeological supervision requires a clear understanding and agreement between the monitor, the proponent, the contractors, the Program, the agencies and any other public or private organization that requires their involvement.

The objectives of this archaeological monitoring plan are:

1. To establish the protocol to be followed by all parts during construction work.
2. To establish the protocol to be followed if previously unknown resources are identified.
3. To establish the protocol to be followed if there are any unexpected or previously unanticipated adverse effects to a known resource.
4. Locate, evaluate, and document archaeological resources during the development of the project.
5. Establish measures to prevent indirect adverse effects on known historical resources.
6. Recover as much information as possible during excavation and construction work.
7. Conserve and enhance the archaeological resources located and documented.
8. In the event that the archaeological resource cannot be preserved in situ, preserve it through documentation.

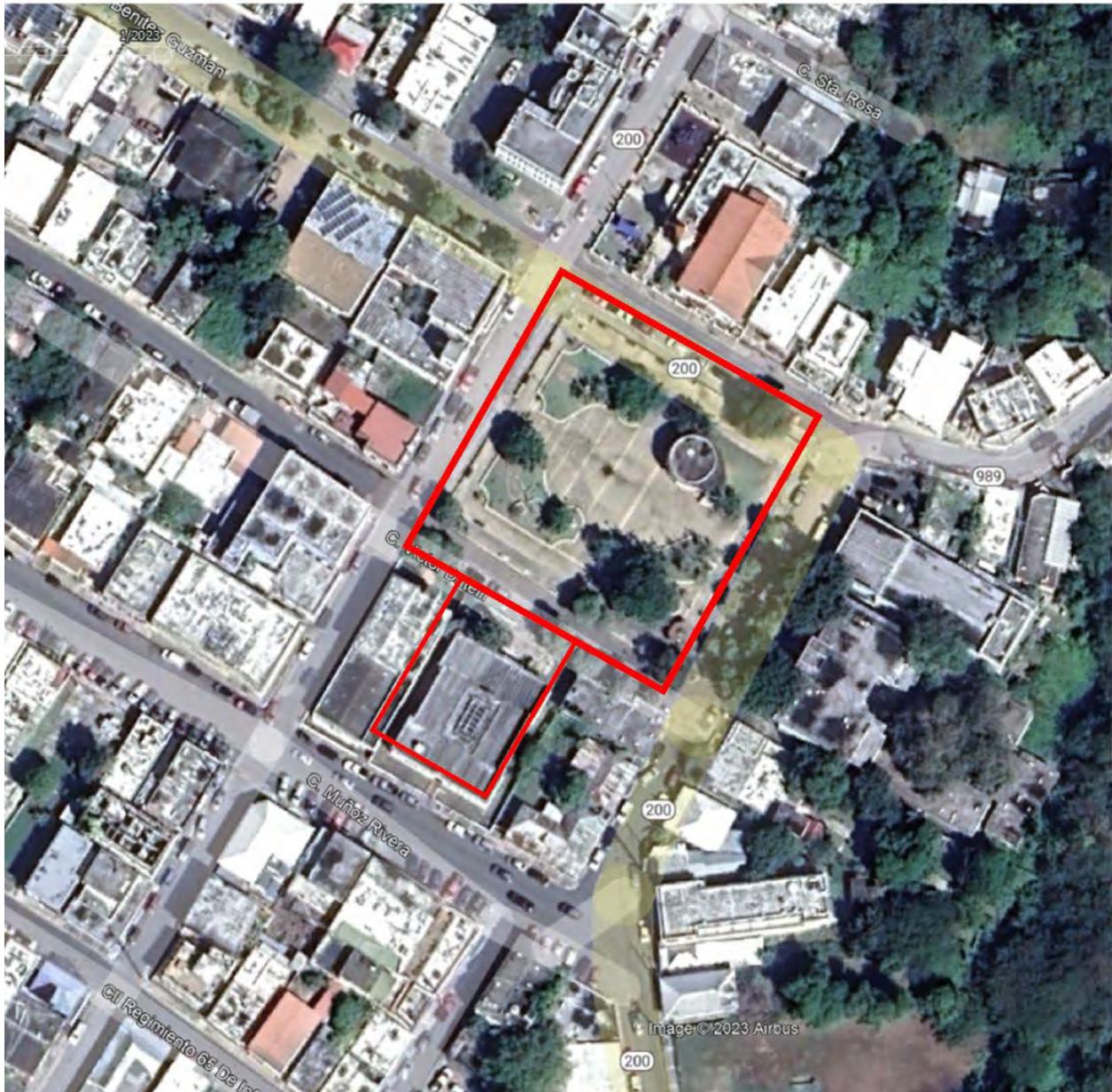


Figure 1 Undertaking location in the 2023 google earth system satellite image. To the north Luis Muñoz Rivera Plaza (Vieques Public Plaza) and to the south Vieques Public School.







3 . UNDERTAKING

The section discusses the proposed construction works as developed by the design firm Marvel. The scope of work was prepared and presented based on the 30 % design plans.

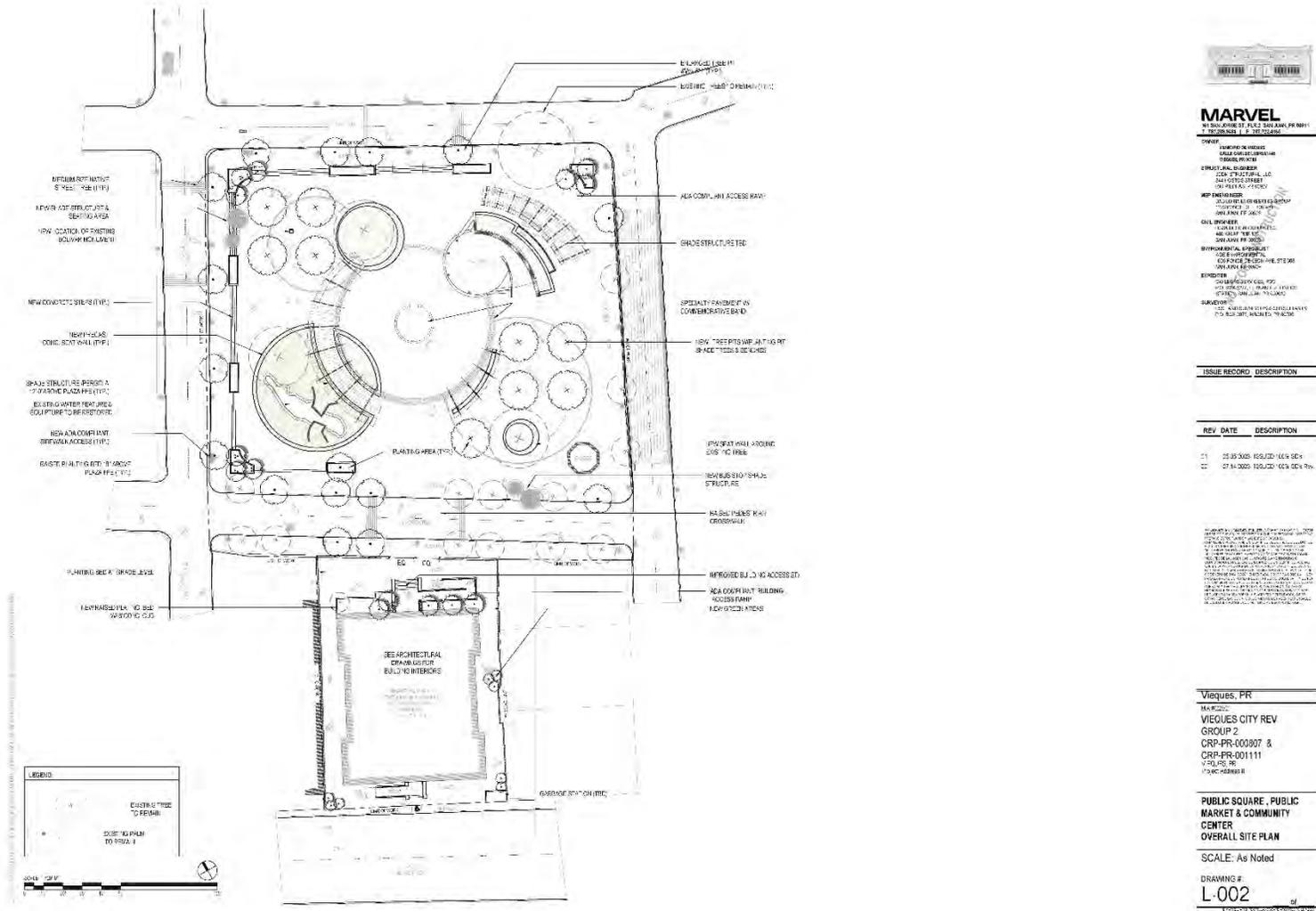


Figure 5 Undertaking General Site Plan

### 3.1 PR-CRP-000807 Vieques Public Plaza

Vieques Public Plaza serves as the main gathering place for the residents and visitors of the island. The square sits at the foundational center of the town of Isabel II and has been the scene for holding fairs, markets, patron saint festivities and many other cultural events,

The improvements proposed as part of the City Revitalization Program are focused on bringing the plaza to current standards and expectations for a contemporary public space, addressing damages to its infrastructure, vegetation, and urban elements, caused by the passage of Hurricanes Irma and María. By enhancing its spatial and environmental qualities, including circulation and accessibility, leisure, and shading areas (through trellis structures and increased vegetation cover), stormwater management and supporting infrastructure (including electrical, plumbing, and wireless connectivity). At the same time, these enhancements seek to uphold the historical significance and architectural context surrounding the square. The incorporation of trellises, floor patterns and seating areas in circular shapes are elements that are being used to reinterpret the former historic water cistern geometry, and to bring back the centrifugal orientation that was characteristic of the plaza, when the central structure served as a gathering place for the community. The proposed design seeks to reactivate and enhance "the void", to evoke the two different types of structures that no longer exist but were part of the history and the foundation of Isabel Segunda's urban center. This design also maintains and reinterprets the quadrants, once planters, with vegetated areas, and seeks to tie in with other existing elements such as the gazebos, the fountain, and monuments. In the center of the plaza a commemorative design made of specialty pavement will be incorporated to emphasize the historic importance of the place.

In order to achieve these goals, improvements include the replacement of all the existing pavement surface to repair areas where the pavement has settled, construction of new stairs extensions along the north, west, and southwest edges of the plaza, construction of new shade structures, repairs and modification to adjacent sidewalks including new ADA compliant access ramps, reconstruction of seat walls and raised planters, the maintenance of the gazebos, and the restoration of the existing water feature.

The improvements to the Vieques Public Plaza will require electrical & plumbing adjustments and modifications to restore the existing water feature to its original working conditions and the provision of new electrical outlets, internet services, replacement of outdoor-grade speakers, plumbing and electrical hookups throughout the Plaza, a public Wi-Fi system, new lighting system and urban furniture.

Improvements and repairs to the public square do not seek to increase the capacity or size of the plaza or adjacent sidewalks. The intervention will maintain the current programmatic uses of the public spaces.



Figure 6 PR-CRP-000807 Vieques Public Plaza, proposed overall site plan.

### 3.2 PR-CRP-001111 Vieques Public School (former Jose Gautier Benitez School)

The Jose Gautier Benitez School, also known as the Vieques Public School, was designed by renowned architect Antonin Nechodoma, and built by Frank B. Hatch in 1907. While the original building was designed to serve as a public school, the building has become a space for local community organizations; to provide essential resources, services, and programs to the community. Nevertheless, the historic property was severely affected by the winds and rain from Hurricanes Irma and Marra, causing damage to both the exterior and interior of the structure including gates, windows, doors, paint, skylights, and roof. In response to these challenges, the proposed revitalization project seeks to adapt the existing structure and exterior areas into a more resilient community-oriented facility. The vision is to repurpose the building into a Market Square for Social and Community Transformation. This will be achieved through the integration of an agricultural market and coffee bar to foster and support small business farmers, enable access to fresh and local food, and support the cultural and family events that are celebrated in the adjacent public square, in a secure and resilient site.

The proposed intervention will follow the Secretary of Interior's Standards for Rehabilitation and seeks to recover those character defining features that the property has. Therefore, on the building exterior, areas with spalled concrete will be repaired, and cracked or missing cornices~ moldings, and windowsills will be restored. The exterior walls will be altered only to recover original vent openings at the base of the building, which have been covered over time and contribute to the historic character of the structure.

Current non-original metal jalousie windows will be replaced, and the original openings of the windows will be recovered. New metal windows and wood doors will be incorporated. The design seeks to be compatible with the historical character of the building emulating the appearance and patterns of the original windows and doors identified through historic photographs and other documentation, as no original drawings have been found to date. The installed skylight louvers structure above the interior courtyard (not original to the building nor a character defining feature) will be replaced to integrate new low-e glazing and frame system. The supporting concrete curb on which it sits will be raised to improve impermeability and accommodate new roof insulation and membrane system on the surrounding roof to meet ADA requirements, two different ramps will be required to provide an accessible entrance to the building. On the Muñoz Rivera Street approach, the existing non-compliant ADA ramp will be demolished.

The ground elevation will be raised to meet sidewalk grade and a slab on grade ramp will be erected to the west side of the building entrance. A new landing will be provided at finish floor elevation with new stairs on the opposite side of the new ramp. On the Victor Duteil Street approach, the existing historic stairs will be enclosed over a slab on grade ramp and landing structure in an effort to preserve the original building elements. New entrance stairs will be constructed to align with the central building axis, forward from their original location at building interior, existing gypsum board walls will be demolished, and new partitions will be installed where required, based on the proposed programming of the spaces. The existing ceramic tiles in the bathrooms will be removed and replaced with new tiles. Electrical, mechanical, and plumbing improvements will be made to the structure and will also follow the recommendations provided at the Secretary of Interior's Standards for Rehabilitation. New ventilation and air conditioning systems will be provided only in the proposed office spaces. The mechanical equipment serving these spaces will be located on the roof of the existing building and will be anchored and concealed behind the existing building parapet. In the spaces occupied by the agricultural market and cafe programs, passive design strategies, such as operable fenestration, augmented by ceiling fans, will be implemented to allow for fresh air cross ventilation.

The plumbing system will be designed to meet the 2018 Puerto Rico Plumbing Code. This includes the provision of a potable water cistern and pumps to serve the building when service is disrupted. Service will continue to tie into the existing water meter on site. The bathroom fixtures count will be reduced on the existing bathrooms complying with the proposed building use occupancy (Business) as per the 2018 Puerto Rico Building Code. A new service sink will be provided for the proposed cafe as well as service sink for a new janitor room and a water fountain to serve the building users as required by the 2018 Puerto Rico Building Code.

A new solar photovoltaic array is proposed to assure the resiliency and performance of a building that will function as a community center. The photovoltaic modules will be mounted on a raised aluminum framework over the replaced roof membrane. Similarly, a 50KW emergency back-up generator will be provided to support non-critical loads should primary power be disrupted.

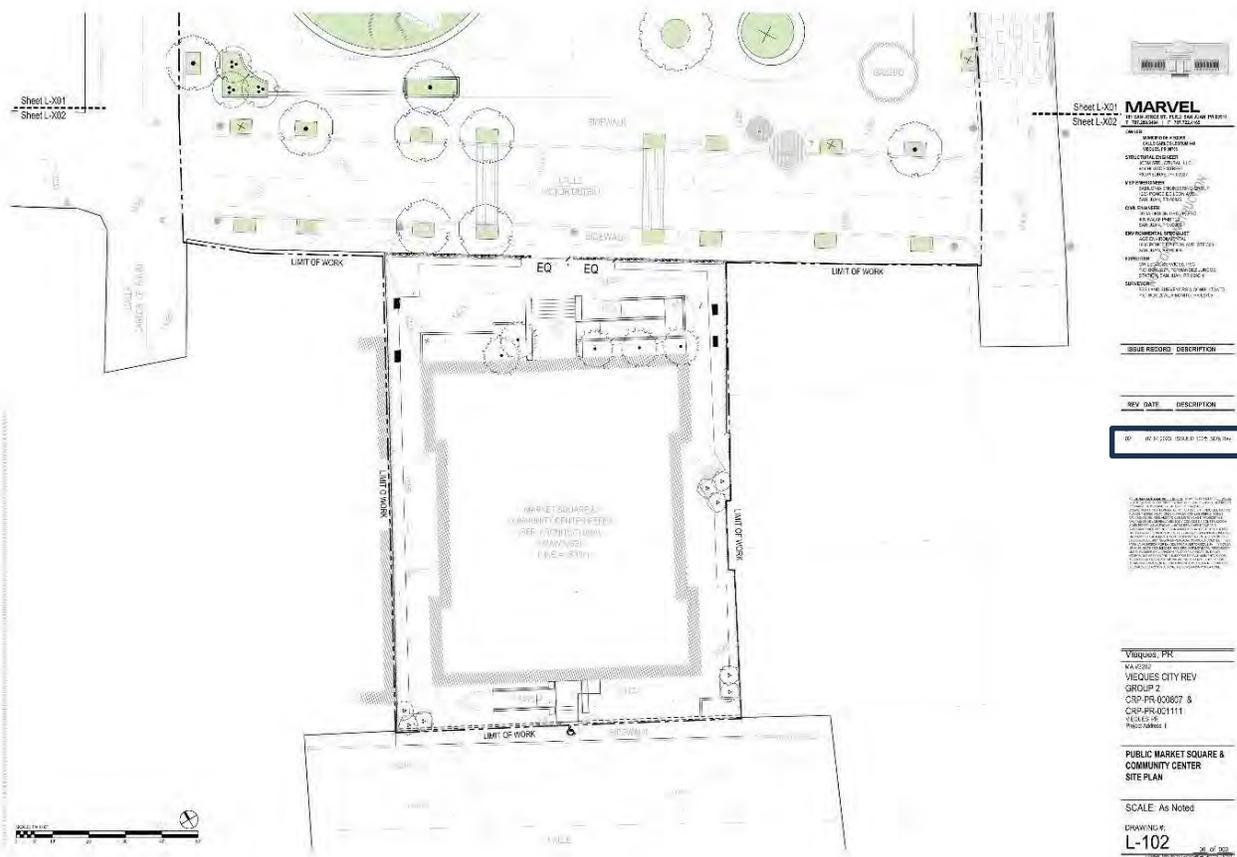


Figure 7 PR-CRP-001111 Vieques Public School, proposed overall site plan.

As part of the design procedures the A&E firm need to make exploratory excavations in both projects. The excavation was proposed to obtain information about the subsoil in both undertakings. Both agencies, ICP and SHPO, were consulted. In the case of Section 106 compliance proposed explorations were submitted to SHPO through the GM. SHPO on a letter dated July 18, 2023, concluded the exploratory will have no adverse effects on the undertakings and they do not require any further work. Even so, the results of the work need to be sent to the agency for review.<sup>3</sup>

ICP, for compliance with Law 112, 1988, required a monitory plan for all the exploratory in both projects, including a 1x1 mt in the Plaza. A monitory plan was submitted and approved by the agency.<sup>4</sup>

The excavations required for construction are not expected to deviate from the proposed design. If there are changes to the scope of work during the construction which require additional excavation, these will be notified to the proper stakeholder. Those changes will be notified to the GM for revision and notify the agencies. We need to consider the proposed activities will remain within the actual footprint of the undertaking. So, in case any other ground disturbance activity is added, any other excavation inside the actual footprint will be covered.

<sup>3</sup> See SHPO letter 06-23-3303

<sup>4</sup> See ICP letter

### 3.3 Ground Disturbance Activities

#### 3.3.1 Vieques Public School

Ground disturbance activities for the proposed interventions include:

- Demolition of the exterior concrete pavement surrounding the primary structure in order to make way for new planting beds and paving materials.
- New foundations will be provided to reconstruct a low wall that will support a new iron fence on Victor Duteil Street side.
- The exterior site concrete fence wall facing Muñoz Rivera Street, which is currently broken, will be demolished and will not be reconstructed so as to provide a wider access into the property and access from the sidewalk for trash storage area.
- New trees will be planted.

#### 3.3.2 Vieques Public Plaza

Ground disturbances will take place during the stabilization of the concrete slab at the center of the plaza where ponding occurs.

- Ground disturbances will also occur during the demolition process of existing concrete raised planting beds, concrete stairs along the Public Square's north, west, and southwest edges of the Public Square.
- The removal of trees that are deteriorated or damaged, and tree stumps ( $\pm 12$ ) will also cause ground disturbance activities within the plaza and along the sidewalk.
- Foundations are required to construct several elements of the plaza such as seating walls, stairs, curbs, ramps, low retaining walls, concrete pedestal to locate the existing monument support.
- Foundations for pergolas.
- Foundations for Bus Stop footing.
- New planters as described in table in figure 8. Excavations of concrete repair at the center of the plaza will be performed. The excavations will be conducted in specific areas to minimize the possible impacts.
- New trees will be planted.

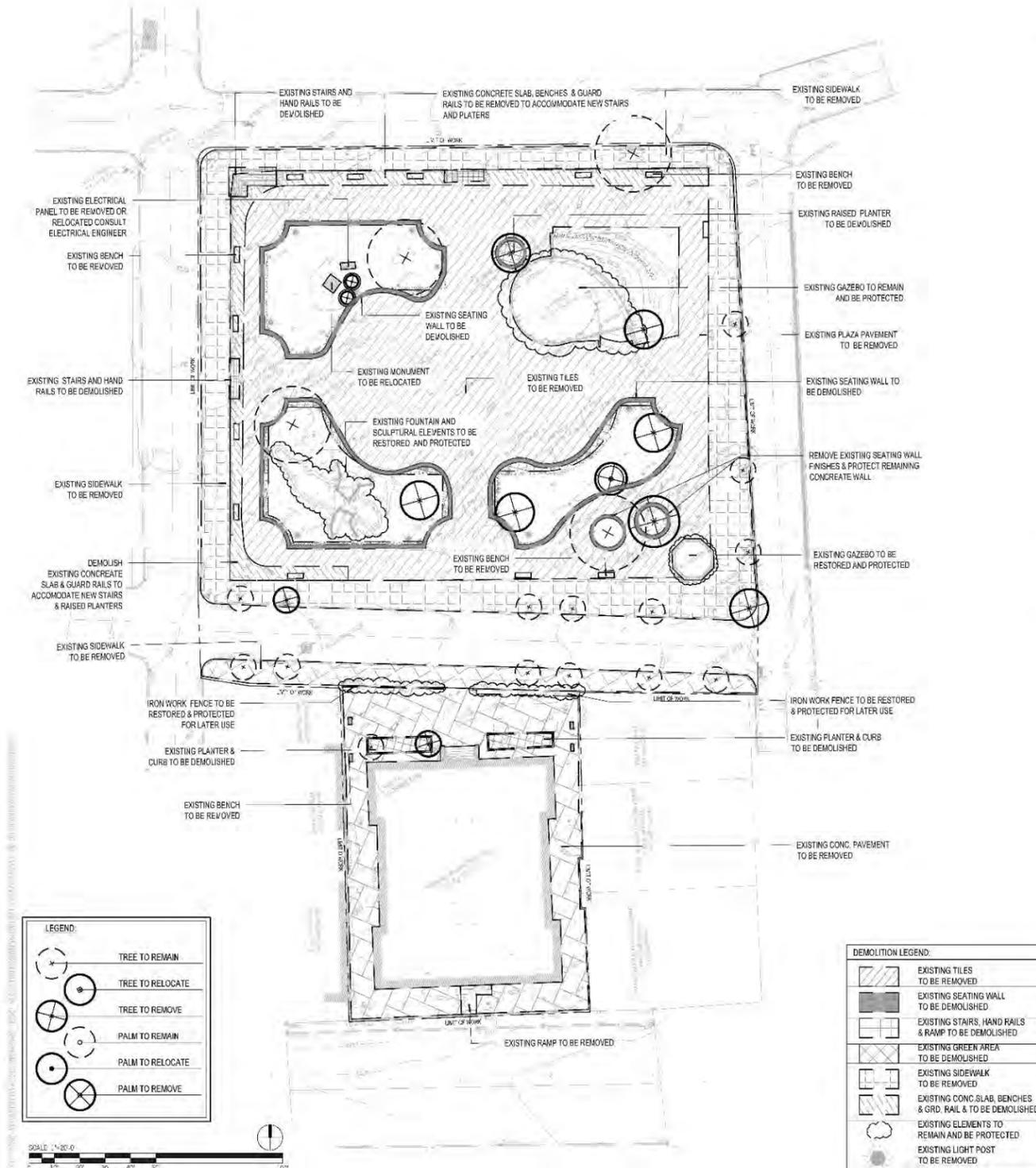
Disturbance activities will occur in specific areas, minimizing the impact as much as possible.

Table 8 provides details of the areas and depths expected for ground disturbance for the project areas (information provided by Marvel).

Figure 8 Ground disturbance description table.

<b>PR-CRP-000807 Vieques Public Plaza</b>			
<b>Items</b>	<b>Qty.</b>	<b>Description</b>	<b>Volume +/- (cu.ft.)</b>
<b>Demolition:</b>			
Existing Raised Planter	3	8571 SF x 12"	8,571
Existing Raised Planter	2	369 SF x 10"	306
<b>New Construction:</b>			
New Tree Pits (Sidewalk)	13	24 SF x 20"	521
New Tree Pits (Plaza)	9	38 SF x 24"	684
New Access Stair Footings	2	450 SF x 12"	450
	2	350 SF x 18"	525
	1	63 SF x 24"	126
New Raised Planter Wall Footing (Plaza)	9	794 SF x 12"	794
New Raised Planter Footing (Plaza Int)	4	954 SF X 12"	954
New Seat Wall & Bus Stop	1	150 SF x 18"	225
New Raised Planter / Seat Wall & Pergola Column Footings	3	443 SF x 48"	1,772
New Pergola Column Footings	19	10 SF x 48"	40
New Bus Stop Pergola Footings	4	8 SF x 48"	32
Concrete Slab Repair	1	1500 SF x 8"	1,005
<b>PR-CRP-001111 Market Square for Social and Community Transformation</b>			
<b>Items</b>	<b>Qty.</b>	<b>Description</b>	<b>Volume +/- (cu.ft.)</b>
<b>Demolition:</b>			
Existing Wall (Luis Munoz Rivera Street)	1	115 SF x 12"	115
Existing Planter Curb	1	58 SF x 12"	58
<b>New Construction:</b>			
New Raised Planter Wall	1	58 SF x 12"	
New Stairs and ADA Ramp	2	550 SF x 18"	1,193
		245 SF x 18"	
New Tree Pit	2	24 SF x 18"	72
New Concrete Wall and Slab	1	41 SF x 18"	62

Figure 9 General demolition plan for the undertakings (taken from the 30% plans provided)



LANDSCAPE DEMOLITION NOTES:

1. THE SCOPE OF WORK FOR THE DEMOLITION THE CONTRACTOR SHALL INCLUDE THE PROVISION OF ALL LABOR, MATERIALS, EQUIPMENT AND SUPERVISION FOR THE COMPLETE IMPLEMENTATION OF ALL WORK SHOWN IN THESE DRAWINGS, OR NOTED HEREIN, AND THOSE OF THE GENERAL REQUIREMENTS AND CONDITIONS OF THE OWNER.
2. CONTRACTOR SHALL UNDERSTAND THAT THIS PROJECT INVOLVES THE RENOVATION OF AN URBAN PLAZA INCLUDING EXISTING LANDSCAPE WITH SIDEWALKS, STRUCTURES, TREES, AND GROUNDCOVER PLANTINGS. THE SCOPE OF RENOVATION WILL REQUIRE SIDEWALKS, STRUCTURES AND PLANTING TO REMAIN IN PLACE WHILE OTHER ADJACENT ELEMENTS ARE REMOVED. ACCOMMODATIONS TO WORK IN CONFINED SPACES WHERE HEAVY EQUIPMENT IS NOT PERMITTED OR DEMOLITION IN ZONES WITH SENSITIVE EXISTING ELEMENTS CLOSE BY WILL BE ENCOUNTERED AND MUST BE MADE BY THE CONTRACTOR.
3. CONTRACTOR SHALL UNDERSTAND THAT PORTIONS OF THIS PROJECT LIE WITHIN AN ENVIRONMENTALLY SENSITIVE COASTAL AREA. ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE AND ENCROACHMENT INTO AREAS OUTSIDE OF THE SPECIFIC SCOPE OF WORK OR PROJECT STAGING AREAS AS DESIGNATED BY THE PM. SUITABLE EROSION FENCING SHALL BE INSTALLED AROUND THE PERIMETER (LIMIT OF WORK LINE) OF EACH SPECIFIC WORK AREA FOR THE DURATION OF THE PROJECT AND REMOVED WHEN THE CONTRACTOR IS GRANTED 'SUBSTANTIAL COMPLETION' BY OWNERSHIP.
4. CONTRACTOR SHALL BE AWARE BASE PLAN FOR THE SITE IS NOT AN AS-BUILT DRAWING OR OFFICIAL FIELD SURVEY OF THE EXISTING CONDITIONS AND VARIATIONS BETWEEN PLAN DRAWINGS AND ACTUAL FIELD CONDITIONS MAY VARY.
5. PRIOR TO COMMENCEMENT OF ANY DEMOLITION THE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT (LA), IN WRITING, A MINIMUM OF TWO (2) WEEKS PRIOR TO DESIRED DATE. CONTRACTOR AND LA SHALL FIELD REVIEW AND FINALIZE DETAILED DEMOLITION AREAS PRIOR TO COMMENCEMENT OF WORK. COORDINATE MARKING PROCEDURES WITH PM PRIOR TO MEETING WITH LA.
6. ALL EXISTING VEGETATION AREAS 'TO REMAIN' SHALL BE PROTECTED WITH ORANGE PLASTIC FENCING. THESE AREAS SHALL REMAIN PROTECTED FOR THE DURATION OF THE CONSTRUCTION PROCESS. NO MATERIALS, EQUIPMENT OR FOOT TRAFFIC SHALL BE PERMITTED WITHIN THE ZONES WHERE EXISTING VEGETATION IS TO REMAIN.
7. CONTRACTOR SHALL PROTECT THEIR WORK AT ALL TIMES AND MAKE NECESSARY ALLOCATIONS TO DIRECT EMPLOYEE AND GUEST TRAFFIC AWAY FROM THE WORK AREAS. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, SAFETY BARRIERS, FENCING AND THE LIKE AS REQUIRED THE THE PM.
8. CONTRACTOR SHALL REVIEW AND BECOME FULLY FAMILIAR WITH THE SITE, SITE CONDITIONS, LOGISTICS, LAY DOWN AREAS PRIOR TO BIDDING AND/OR COMMENCEMENT OF ANY WORK ON SITE. ALL SITE LOGISTICS SHALL BE REVIEWED AND COORDINATED WITH THE PM PRIOR TO BEGINNING OF WORK ON SITE.
9. CONTRACTOR SHALL VERIFY LOCATIONS OF ANY, AND ALL, UNDERGROUND UTILITIES SUCH AS WATER, ELECTRIC, TELECOMMUNICATIONS, SOUND, SANITARY, DRAINAGE WITH PM AND ANY APPROPRIATE GOVERNMENTAL AGENCIES PRIOR TO COMMENCING WORK.
10. CONTRACTOR SHALL COORDINATE AND SCHEDULE THE CLOSING DOWN, DISCONNECTION, OR SHUTTING-OFF, OF ANY SERVICES OR UTILITIES WITH PM, OWNER REPRESENTATIVE AND ANY OTHER APPROPRIATE LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY WORK.
11. FOR DEMOLITION OF ANY CONCRETE, STONE, OR WOOD PAVEMENTS AN ELECTRIC ROTARY SAW SHALL BE USED TO PROVIDE CLEAN STRAIGHT CUT LINES AT EDGE OF PAVEMENT TO REMAIN.
12. WORK AREA SHALL BE PROTECTED FROM PASSING PEDESTRIANS OR EMPLOYEES AND THE WORK AREA KEPT AS CONFINED AS POSSIBLE FOR THE IMPLEMENTATION OF ALL DEMOLITION WORK AND ITS ASSOCIATED PREPARATIONS.
13. CONTRACTOR IS RESPONSIBLE FOR THE SAFE REMOVAL OF ALL DEMOLISHED MATERIALS FROM THE PROJECT SITE ON A DAILY BASIS. ALL DERRIS SHALL BE REMOVED FROM THE SITE DAILY AND DISPOSED OF ACCORDING TO ALL APPLICABLE LAWS AND THE SITE SHALL BE LEFT 'BROOM CLEAN' AT THE END OF EACH DAY.
14. DEMOLITION AND REMOVAL SHALL BE CONDUCTED IN A SAFE, NEAT, CLEAN WORKMAN-LIKE MANNER WITH DAILY REMOVAL OF DEMOLISHED MATERIAL AND DUST CONTROL PERFORMED AS NEEDED OR AS DIRECTED BY OWNER REPRESENTATIVE.
15. ANY EXISTING PAVEMENTS, BUILDINGS, SIGNS, PLANTS OR OTHER ITEMS TO REMAIN IN PLACE OR TRANSPLANTED SHALL BE PROTECTED PRIOR TO THE COMMENCEMENT OF ANY WORK ON SITE AND PROTECTED DURING THE ENTIRE CONSTRUCTION PROCESS.
16. CONTRACTOR SHALL RELOCATE PLANT MATERIAL MARKED FOR TRANSPLANTING IMMEDIATELY TO THEIR FINAL PLANTING LOCATIONS IF POSSIBLE, FOLLOWING THE SAME INSTALLATION DETAILS AND SPECIFICATIONS AS UTILIZED FOR NEWLY INSTALLED TREES & PALMS (SEE LANDSCAPE CONSTRUCTION DETAILS). IF FINAL TRANSPLANT LOCATION IS NOT AVAILABLE AT TIME OF DEMOLITION CONTRACTOR SHALL TRANSPLANT MATERIAL TO AN ON-PROPERTY AREA DESIGNATED BY THE PM. THE CONTRACTOR SHALL MAINTAIN ALL TRANSPLANTED MATERIAL DURING THE ENTIRE CONSTRUCTION PROCESS WITH A GUARANTEED 90% SURVIVAL RATE FOR RELOCATED TREES AND PALMS.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO EXISTING ELEMENTS TO REMAIN IN PLACE CAUSED BY THE CONTRACTOR OR HIS SUB-CONTRACTORS DURING THE DEMOLITION PROCESS.



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FSD LAND SURVEYORS & CONSULTANTS  
P.O. BOX 2075, FERNON, O. PR 00705

ISSUE RECORD DESCRIPTION

REV	DATE	DESCRIPTION

NOTA: EL DISEÑO DE ESTE PROYECTO HA SIDO ELABORADO POR EL INGENIERO CIVIL MARVEL PÉREZ, QUIEN HA VERIFICADO QUE SE CUMPLEN LAS EXIGENCIAS DE LA LEY DE OBRAS PÚBLICAS Y LA LEY DE LICITACIONES PÚBLICAS. EL DISEÑO HA SIDO ELABORADO EN EL MARCO DE UN CONTRATO DE SERVICIOS PROFESIONALES, EL CUAL HA SIDO VERIFICADO POR EL INGENIERO CIVIL MARVEL PÉREZ, QUIEN HA VERIFICADO QUE SE CUMPLEN LAS EXIGENCIAS DE LA LEY DE OBRAS PÚBLICAS Y LA LEY DE LICITACIONES PÚBLICAS. EL DISEÑO HA SIDO ELABORADO EN EL MARCO DE UN CONTRATO DE SERVICIOS PROFESIONALES, EL CUAL HA SIDO VERIFICADO POR EL INGENIERO CIVIL MARVEL PÉREZ, QUIEN HA VERIFICADO QUE SE CUMPLEN LAS EXIGENCIAS DE LA LEY DE OBRAS PÚBLICAS Y LA LEY DE LICITACIONES PÚBLICAS.

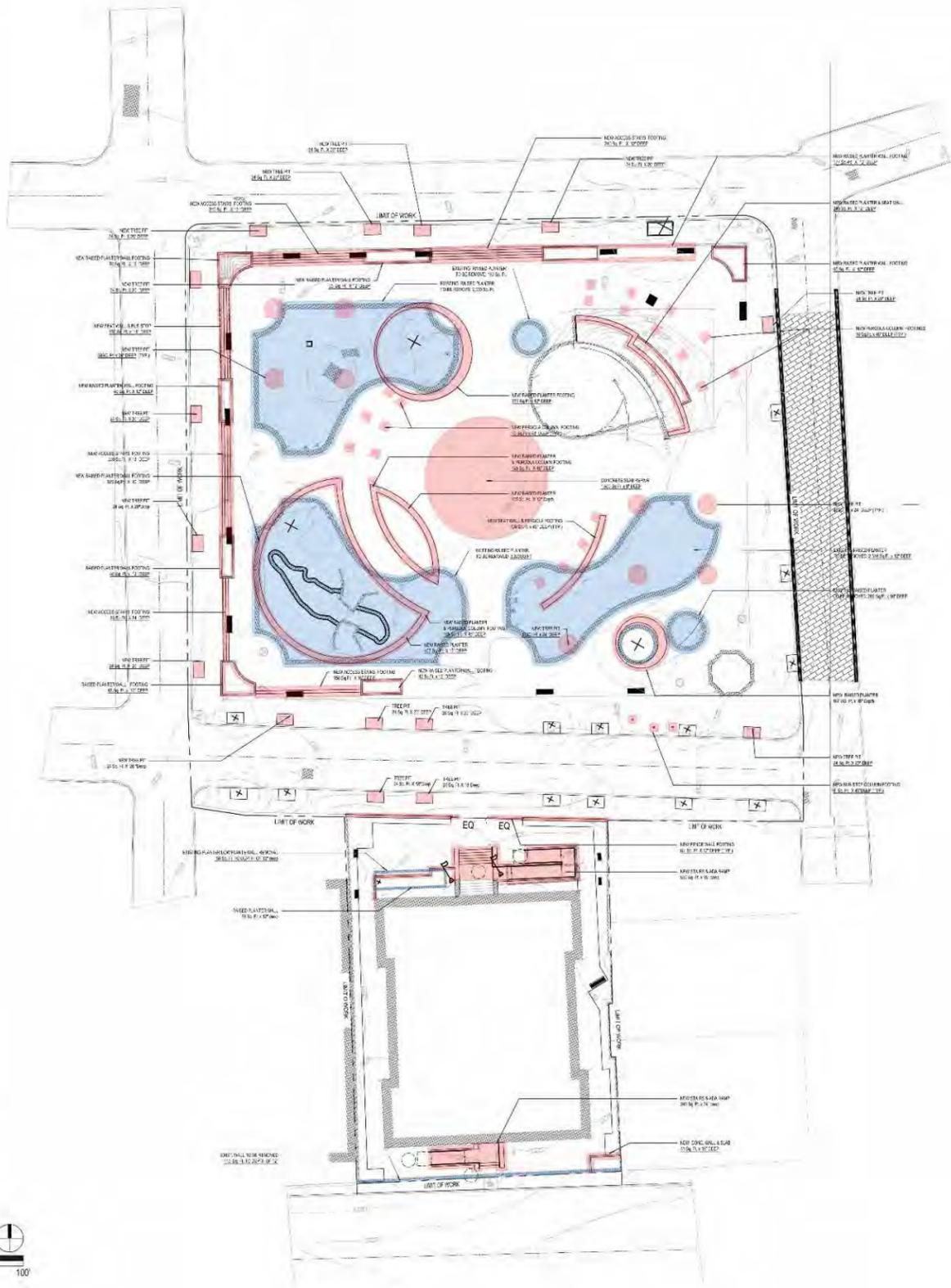
MA #2252  
VIEQUES CITY REV-  
GROUP 2  
CRP-PR-000807 &  
CRP-PR-001111  
VIEQUES, PR

DEMOLITION PLAN

SCALE: As Noted

DRAWING #  
**DM-001** of

PLAN DE PROYECTO DE CONSTRUCCIÓN DE UN COMPLEJO RESIDENCIAL EN LA ZONA URBANA DE VIEQUES, P.R. (PROYECTO DE LEON AVE. 1500) (PROYECTO DE LEON AVE. 1500) (PROYECTO DE LEON AVE. 1500)



**LEGEND:**  
 GROUND DISTURBANCE ACTIVITIES ASSOCIATED TO PROPOSED DESIGN  
 GROUND DISTURBANCE ACTIVITIES ASSOCIATED TO REMOVAL AND/OR DEMOLITION OF EXISTING ELEMENTS

SCALE:  
 1"=20'-0"  
 0 10 20 30 40 50 100

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**SURVEYOR:**  
 FSS LAND SURVEYORS & CONSULTANTS  
 P.O. BOX 2075, ABOONITO, PR 00706

**ISSUE RECORD DESCRIPTION**

REV	DATE	DESCRIPTION
01	05.05.2023	ISSUED 100% SD's
02	07.14.2023	ISSUED 100% SD's REV.

"EL ARCHITECTO MARVEL DISEÑO Y PROYECTO DE LEON AVE. 1500...  
 FICHA DE REGISTRO DE PROYECTO DE LEON AVE. 1500...  
 PLAN DE PROYECTO DE CONSTRUCCIÓN DE UN COMPLEJO RESIDENCIAL EN LA ZONA URBANA DE VIEQUES, P.R. (PROYECTO DE LEON AVE. 1500) (PROYECTO DE LEON AVE. 1500) (PROYECTO DE LEON AVE. 1500)

Vieques, PR  
 MA #2252  
 VIEQUES CITY REV  
 GROUP 2  
 CRP-PR-000807 &  
 CRP-PR-001111  
 VIEQUES, PR  
 Project Address II

**GROUND DISTURBANCE ACTIVITIES PLAN**

SCALE: As Noted

DRAWING #:  
**L-000** 01 of 01

Figure 10 Undertaking proposed ground disturbance activities including the demolition, trees, new construction etc.

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## 4. HISTORIC PROPERTIES WITHIN THE APE

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According to the previous investigation (Norma Medina Carrillo, -and Karen J. Cuadro Esteves--- Puerto Rico 2017 Disaster Recovery, CDBG-DR Program, City Revitalization Program (CRP), Section 106 NHPA Effect Determination, 2023).

### 4.1 Vieques Public Plaza

The plaza was severely impacted by the improvements made in the early 2000's, that completely changed its existing configuration, the main central gazebo structure was demolished, and a new one was constructed at the northeast corner of the plaza. All pavement, seating area, and the landscape planters were altered to accommodate this design. Due to these interventions the finishes or architectural elements that have been identified as character defining features were demolished or damaged in a way that affected its integrity.

“The Plaza de Recreo is not merely a place to be, it has under itself an immense cistern that was the main source of water supplies in the era before the modern aqueducts” (Ortiz Colom, Jorge, 2001; según citado por Cuadro y Medina, 2023).

The historical plans show the Plaza Pública Luis Muñoz Rivera was inserted into the urban grid in 1850, just seven years after the town of Isabel Segunda was founded. Claudio Coello's 1850 plan shows an urban grid completed up of 14 streets that formed about 11 blocks “The eccentric Plaza is located on the southeast side of the Urban layout. This plan shows the defined rectangular space of the Main Plaza without annotation of existing constructions or designs inside the public space of the square. The Plan of Isabel Segunda sketch from Vieques, 1887 shows the defined rectangular space of the Main



Figure 11 Photo from Rodriguez Archives circa 1909 showing the water well and associated structures.

Plaza with a well-defined in the central area of the "Plaza" . This well is the entrance to the "aljibe" that is located under the square. The cistern structure was built in 1869 and it seems to still be preserved under the Luis Muñoz Rivera Plaza.

As part of the investigation and the analysis required for developing the monitory plan, new data was added that

was considered necessary to establish the probabilities of impacting unknown archaeological resources. The plaza, as the actual recreational space we regularly see in other municipalities, was built in the 1930's. Until that moment the area presented an unevenness to the north that was required to be filled and leveled. This is evident in the new slab. So, it's probable that remains of the structures may still be presented under the plaza (see section 4.3).

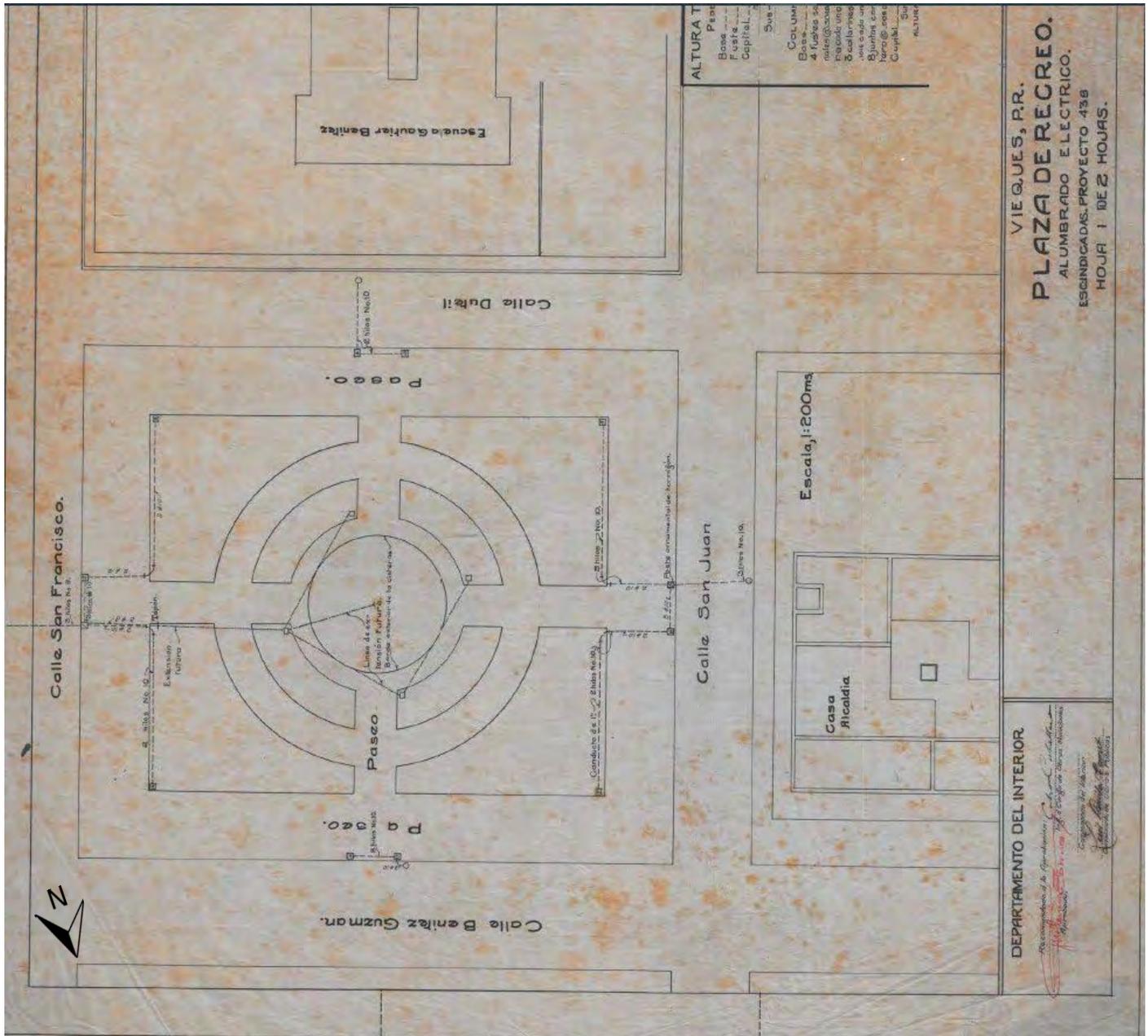


Figure 12 Plan dated 1919 for the lighting to be located in the Muñoz Rivera Townsquare (for Vieques Publica Plaza) it also shows the footprint of the Gautier Benitez School (Vieques Public School). At that moment, the street to the west of the plaza was named San Juan, now it is Carlos Lebron Street. The other streets remain the same.

## 4.2 Vieques Public School

The Vieques Public School, was designed by renowned architect Antonin Nechodoma, and built by Frank B. Hatch in 1907. While the original building was designed to serve as a public school, the building has become a space for local community organizations; to provide essential resources, services, and programs to the community.

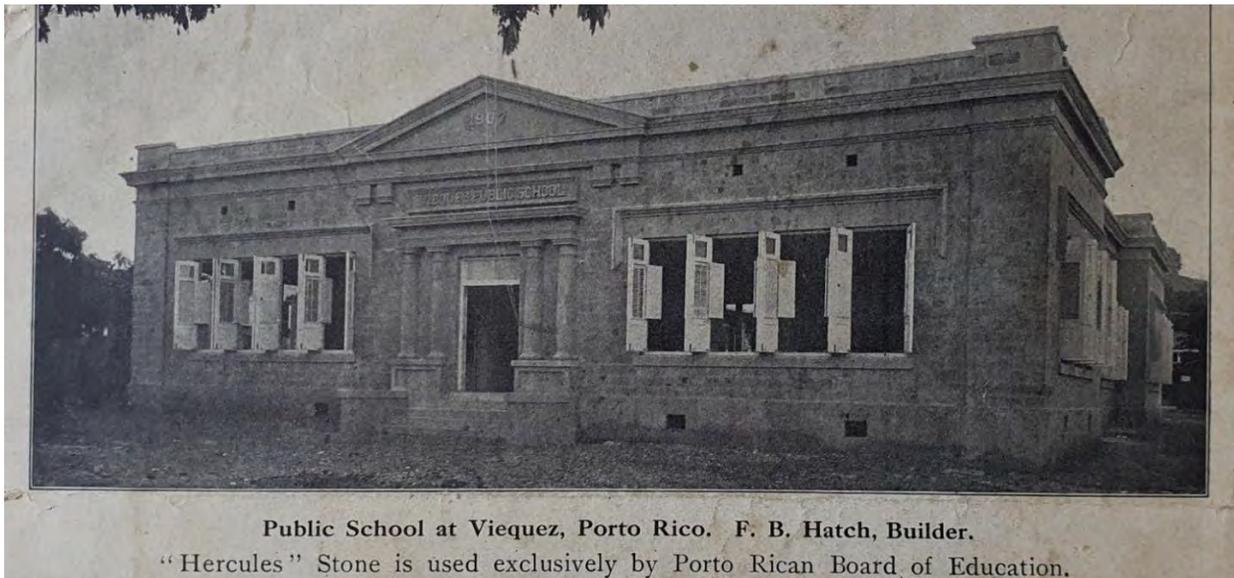


Figure 13 1910 Photo showing Vieques Public School. It can be appreciated that the whole area was removed.

## 4.3 Archaeological Potential and Expected findings

The studies consulted during the investigation of the Section 106 NHPA Effect Determination (Medina and Cuadro 2023) reveal findings of archaeological historical context.

Four positive archeological studies were documented within a ¼ mile of the project APE. (Refer to Table 1) These are, 1. School of Fine Arts and Archeological Center, 2. Relocation of plant and conversion to HC of the urban area of the town of Vieques, 3. Rehabilitation of Plaza Luis Muñoz Rivera, Vieques, P.R., 4. Rehabilitation of Plaza Luis Muñoz Rivera, Vieques, P.R. All these archeological studies were done by archeologist Virginia Rivera, each one with positive results of archeological resources.

On the Archaeological Monitory report: Relocation of plant and conversion to HC the urban area of the town of Vieques (ICP/CAT/PAE IV-07-15-04). Elements associated with the Spanish colonial period and elements associated with the pre-Columbian indigenous period were detected. In addition to the pre-Columbian archaeological site, other American colonial elements were identified during the archaeological monitoring. A canal system of two-channel sections was identified. Archaeologist Rivera points out the following conclusions. ... “Through these works, it was possible to locate and document even a portion of the prehistoric site Salem, located on the outskirts of the town of Vieques. Although with enough impacts it was possible to identify certain areas with some level of integrity.”

As per Dr. Medina in the EDF “The historic and archaeological information reviewed indicates that the area where the project APE is located is an area of high archaeological sensitivity related to the cultural activities of the Spanish colonial and American colonial periods. Based on the confirmation by Architect Jorge Ortiz Colom that the Spanish colonial water well, built in the nineteenth century, is still preserved

under the existing floor level. Also, the results of the monitoring conducted in the urban center of Isabel Segunda have yielded positive results to colonial cultural contexts associated with the Spanish and American colonial period.”<sup>5</sup>

For the Vieques Public School, the EDF indicates “José Gautier Benitez School is a historic building included as part of a thematic nomination in the National Register of Historic Places in Washington. The nomination corresponds to the Early American Colonial Schools of the 20th Century in Puerto Rico. The proposed project can impact contexts of architectural-historical and archaeological value to the extent that deep excavations are conducted during its rehabilitation. In addition, this 1907 historic building has been intervened on various previous occasions without archaeological studies. The most important resource to document in this project is the historic building itself. Based on the above, we understand that it is necessary to monitor all excavations and demolitions that the current project contemplates as part of the remodeling.”<sup>6</sup>

Based on the information presented by the SOIQ we prepared an analysis of the structures that were in the town square and that were demolished. According to our information the structures were built circa 1844. As we can observe in 1885 and the 1893 maps presented in the images shown in figures 13 and 14, those structures were demolished in the remodeling of the Plaza made in the 1930's. No actual document exists for that demolition was identified. Based on the photo shown in figure 15, dated circa 1940, that shows the Gazebo built in the plaza with the date 1934, we can assume that was the date of construction of that structure.

Figure 14- Map dated 1887. It only shows a dot that may be the well.

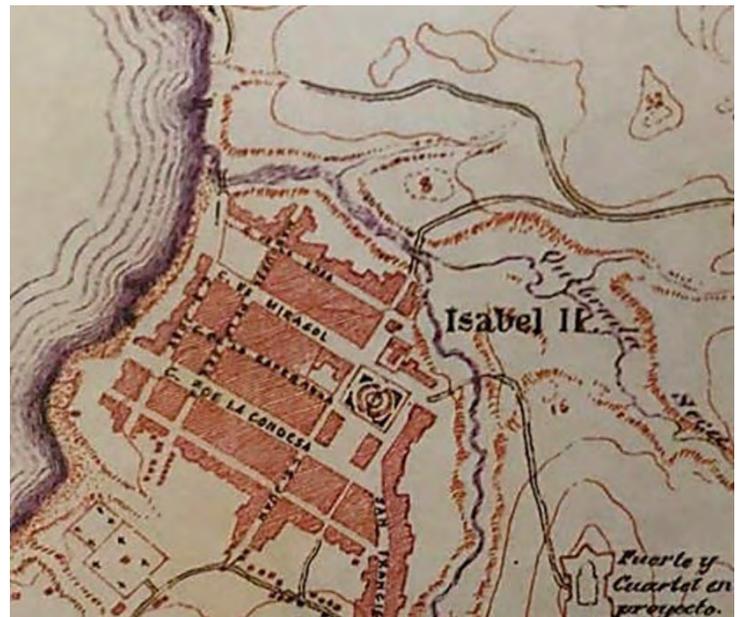


Figure 15 Fragment of the map dated 1893 showing the Isabel Segunda urban center where the plaza and the cistern is clearly identified.

<sup>5</sup> EDF page 38

<sup>6</sup> idem



*Figure 16 Photo circa 1950's of the Gazebo where we can observe the 1934 date over the Plaza Muñoz Rivera.*

Based on that information we can anticipate that the most possible archaeological remains to be identified during the monitoring work will be the remains of the structures that were part of the cistern. We need to remember that the Plaza also suffered a leveling that changed the topography that is not documented,

Recently the municipality asked for the authorization to perform some exploratory excavations on both projects. SHPO did not require any study, but ICP required a Monitory for that excavation. That information will give us more details on the stratification.

An analysis using the 1899 map of the plaza was prepared. In figure 17 we can see the structures in relation to the Plaza (2019 satellite image) As we can see the structures of the cistern coincide with the footprint of the planters. In an actual photo we can observe this area coincide with the area that is sinking at the center of the plaza (Figure 18).

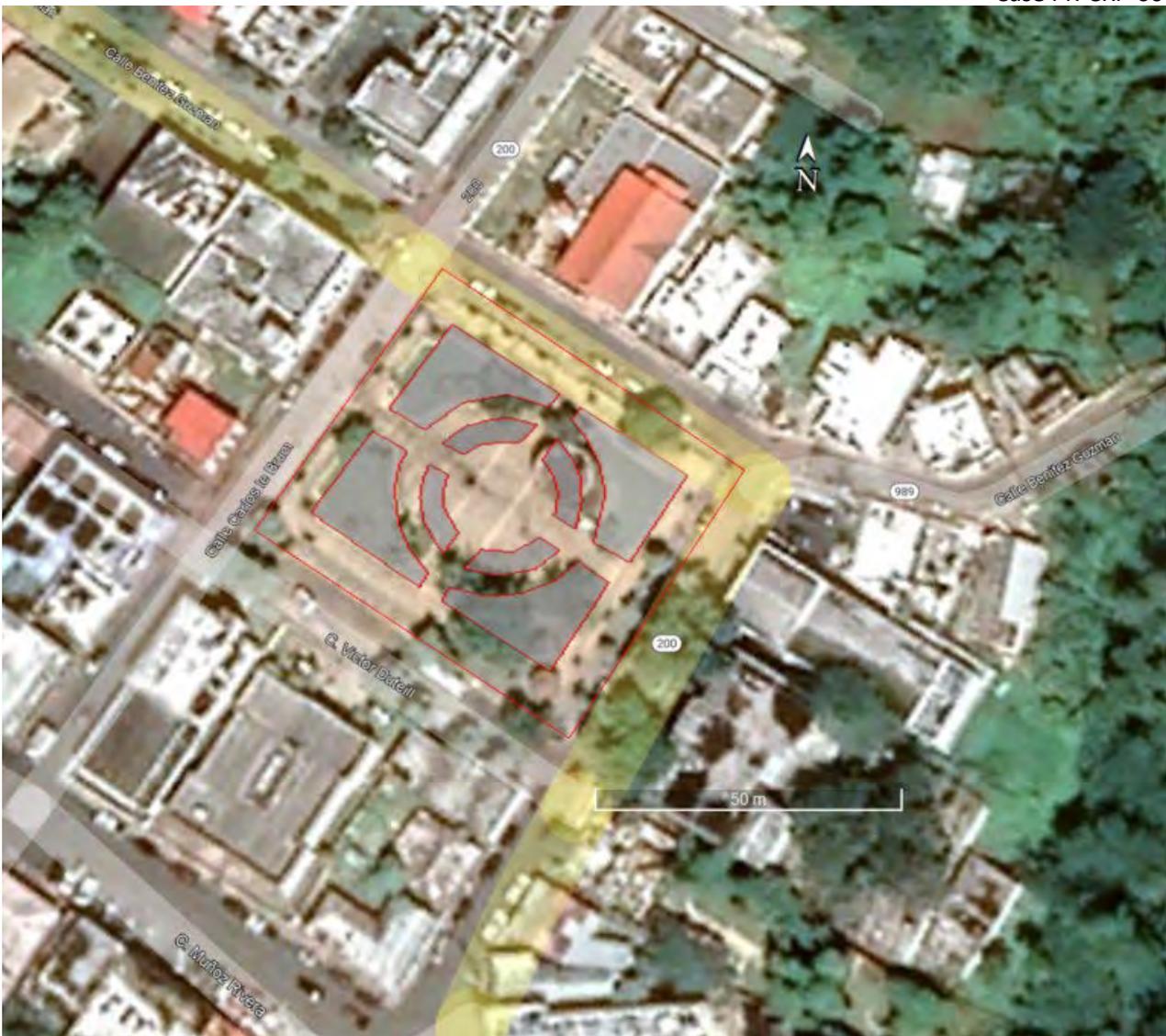


Figure 17 Footprint from the 1899 lighting plan over the 2023 satellite image. We can observe the well associated structures aligned with the planters.

We also prepared a comparison of that footprint with the excavations proposed in the present undertakings . That analysis can be used as a guide for the archaeologist.

Recently excavations at Carlos Lebrum Street identified archaeological remains of the indigenous settlers era in the island. This is a very important information, because although Vieques is known for the great number of archaeological sites identified that still remains intact, no information of a prehispanic settlement was identified in this area. So, before that discovery, the probability of finding remains that brings more information were low, but now with the location of post holes, burial remains and a deposit in a very narrow space the probability of recovering more information is higher (see EDF attached in appendix D).



Figure 18 View of the central area of the plaza showing the area that is sinking. According with the 1899 plan this is the area where the cistern was located.

In Figure 19 we can also see the demolition at the Vieques school, At the school we can assume that the original soil was disturbed and maybe removed during the construction. So, the probabilities of identifying archaeological remains of the pre-historic period are less but can't be discarded.

Archaeological sites are as delicate as they are resilient. The same dynamic nature of the settlements allows areas of burials or houses to be preserved, for example, in areas that have been severely impacted, as is the case here. The fact that the excavations are restricted to a specific area is helpful.

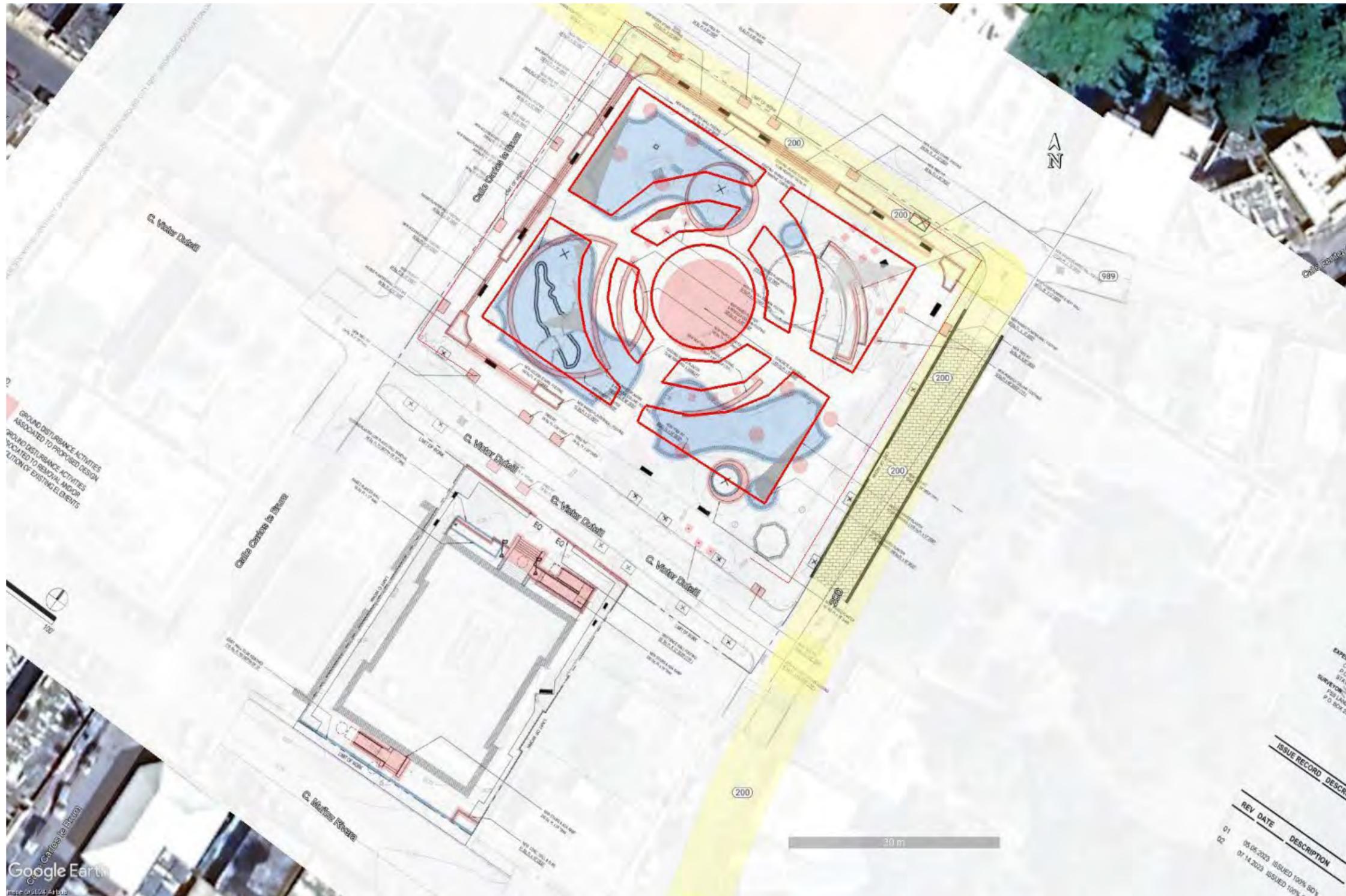


Figure 19 Image prepared by the author with the cistern and other features in 1899 based on plan in figure 12. The circle in the middle is the actual cistern, surrounded by the entrances and walls. Those features can be seen in figure 11 photograph.

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## 5. ARCHAEOLOGICAL MONITORING PROCEDURE

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We present the following Plan based on the information provided by the investigation submitted and approved by SHPO and adding information required for State regulations compliance as requested by the sub-recipient.<sup>7</sup>

The monitoring activities will be divided into three stages: activities before the project begins, activities during construction, and post-construction activities. Monitoring is limited to activities that entail demolition, excavations, and earth movements as defined by the state and federal laws and in the Programmatic Agreement (PA) among FEMA, COR3 and SHPO as amended adopted by PRDOH. Those reconstruction activities that do not entail excavations or earth movements do not require an archaeological monitor. However, if there are activities with heavy equipment taking place in the vicinity of historic buildings, there should be a monitor present to prevent accidents and indirect impacts.

### A. Before Construction Begins

1. The Municipality/Construction Manager (CM) will notify the Program Manager (PM), Grant Manager (GM), and Monitor of the proposed activities' start date. The PM is responsible for coordination between the CM and the SOI-qualified archaeologist who will oversee the monitoring (Monitor).
2. Before any demolition or construction begins, the Municipality, PM, CM, GM, and Monitor will have a kickoff meeting to discuss the procedure for archaeological monitoring, including the coordination protocol between the Monitor and the Contractor. The Monitor will provide an orientation on the area's cultural resources and potential resources and their proper treatment. The Monitor will also explain which project activities require archaeological monitoring.
3. The Municipality, CM, PM, and construction crew will complete and sign a statement outlining the activities that may not be performed without the Monitor's presence, demonstrating their understanding and commitment to following the archaeological monitoring procedures. Areas to be avoided by machinery shall be delineated and marked in a plan that shall be attached to the protocol.
4. The Monitor shall document the NHRP-eligible or potentially eligible properties through detailed descriptions, photos, and scale drawings. Particular attention shall be paid to the construction stages of the properties and to other associated structures that may exist within the project's area of potential effect. This data must be included in the final report.
5. The CM will ensure that all personnel in the field are aware that the Monitor can provide instructions directly to the construction field personnel. Concerning how to proceed when

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<sup>7</sup> PR State Regulation 8932, Council of Terrestrial Archaeology

there is a potential to impact an archaeological resource. The construction field personnel will abide by these requests: excavate slowly, stop the excavation work to evaluate a finding, etc.

## B. During Demolition and Construction

1. The Monitor shall be in the field during all project activities involving demolition and ground disturbance, and activities with heavy machinery in the vicinity of historic buildings; access and clear sightlines to all demolition and excavation activities and debris removal will be provided to the Monitor. If there's more than one activity occurring at the same time, an archaeologist shall be present at each site.
2. The Monitor shall provide instructions directly to the construction field personnel concerning how to proceed when there is a potential to impact an archaeological resource. The construction field personnel will abide by these requests: excavate slowly, stop the excavation work to evaluate a finding, etc. The Monitor shall keep a record of monitored activities. The Monitor shall fill out the Daily Record of Activities Form (see **Appendix A**). These forms should be sent weekly to the GM for review and will be attached to the final report as an appendix.
3. After the demolition and removal of surfaces, the Monitor shall document any exposed subsurface feature and shall complete a scale plan drawing. The amount, size, and placement of excavation units needed to document the features, if any, shall depend on the size and complexity of the feature being documented. If necessary to understand the context of the identified resource, the Monitor should conduct archival research of primary sources (like previous project files, newspapers, journals), cartographic sources, and historical images.
4. The Monitor shall document all other archaeological remains identified during construction activities, except for previously unidentified historically significant findings (refer to B-7 below). The documentation shall include a detailed description of the discovery, context, horizontal and vertical provenience, photos, and a plan drawing. This documentation shall be done within a reasonable amount of time, trying not to impact on the project schedule as much as possible.
5. Any subsurface feature may be demolished and removed after being documented by the Monitor and approved by the GM. The information recorded will be included in the final report.
6. If the identified archaeological remains are considered historically significant – i.e., complex structures, precolonial remains or stratified deposits – the Monitor shall instruct the construction crew to (1) immediately cease work in the vicinity of the discovery, (2) take all reasonable measures to avoid or minimize harm to the property, and (3) notify the Municipality, PM, CM, and GM. The GM shall immediately notify the SHPO, as per stipulation III.B.1.b. of the PA. The following protocol shall be followed:
  - a. The Monitor shall make a preliminary assessment of the finding. The assessment shall include a description of the discovery, location, horizontal and vertical extent (if known), context, photographs, and drawings including a site plan. The assessment shall also include a work plan for implementing a National Register of Historic Places' eligibility evaluation of the exceptional remains.
  - b. The assessment and NRHP-eligibility evaluation work plan shall be submitted via email to the PM and GM within 24 hours of the discovery. The GM will comment on the work plan within 24 hours of receiving it.
  - c. The Monitor shall implement the work plan after receiving the GM's authorization to proceed. After completing the fieldwork, the Monitor shall prepare an End of Field Report, summarizing the results. Said report should include an NRHP-

eligibility determination. The End of Field Report shall be submitted via email to the PM and GM within 48 hours after completing the fieldwork.

- i. The GM shall notify the SHPO of the NRHP-eligibility determination. If the finding is **not eligible** to the NRHP, the GM shall notify the SHPO and provide supporting documentation. Construction activities may resume under archaeological monitoring unless the SHPO disagrees with the NRHP determination and makes a timely objection within 48 hours of the notification.
- ii. If the finding is **eligible** to the NRHP, the criteria of adverse effect shall be applied. If the project activities do not adversely affect the finding, the GM shall notify the SHPO and provide supporting documentation. Construction activities may resume under archaeological monitoring unless the SHPO makes a timely objection within 48 hours of the notification.

If the project activities have an **adverse effect** on the NRHP-eligible finding, a Data Recovery will be implemented as a Treatment Measure per Appendix F of the PA. The Monitor shall develop a data recovery plan with a research design consistent with the Secretary of the Interior's Guidelines for Archeological Documentation ([http://www.nps.gov/history/locallaw/arch\\_stnds\\_7.htm](http://www.nps.gov/history/locallaw/arch_stnds_7.htm)) and the Advisory Council on Historic Preservation's (ACHP) recommendations on the recovery of significant information from archaeological sites as updated in 2009, at [https://www.achp.gov/protectinghistoricproperties/Section\\_106Archaeology\\_Guidance](https://www.achp.gov/protectinghistoricproperties/Section_106Archaeology_Guidance). The data recovery plan shall be submitted via email to the GM for comments. The GM shall be responsible for submitting the data recovery plan to the SHPO for comments and approval. This treatment measure does not apply to burials or human remains (refer to II.B.11 of this work plan).

7. If any additional construction activities are added or design changes are made after the project has begun, the Municipality, CM and PM shall inform the GM and the Monitor prior to performing the work. The Monitor, in conjunction with GM, shall evaluate these activities and apply the adverse effect criteria. If it is determined that the effect is adverse, the archaeologist will provide recommendations on how to avoid, minimize, or mitigate the adverse effect. These recommendations will be consulted with the SHPO prior to implementation. The SHPO will have 15 days to comment on the recommendations. If no communication is received within that time frame it will be assumed that the SHPO has no objection and concurs with the recommendations outlined.
8. If during construction activities a historic property is affected in an unanticipated manner, the CM shall stop work immediately, and inform the Municipality, PM, GM and Monitor. The Monitor, in conjunction with GM, shall evaluate the unanticipated effects and apply the adverse effect criteria within no more than 24 hours. If the effect is determined to be adverse, the Monitor and GM will provide recommendations on how to avoid, minimize, or mitigate such adverse effects. The GM shall consult with the SHPO on the recommendations prior to implementation. The SHPO will have 48 hours to comment on the recommendations. If no communication is received within that timeframe, it will be understood that the SHPO has no objection and concurs with the recommendations outlined.

### **C. After Construction Ends**

1. Upon the completion of archaeological monitoring, the Municipality, PM, and GM shall be notified. The estimated date of delivery of the final report shall be indicated in the said notification. The notification will be by email with a copy to all participants.
2. A technical report shall be prepared detailing monitored construction activities, documentary research (if any), documentation of archaeological features and other findings, and analysis and interpretation of the results. The report must include visual information, such as drawings and photos, and a sketch plan of all the documented findings. The report shall be submitted to the GM no later than two (2) weeks after completing the archaeological monitoring work. The GM shall submit the report to the SHPO no later than one (1) week after receiving it.
3. If any archaeological material is recovered the report will include the location of the temporary facility, where it was curated. Lists of material, and treatment for appropriate preservation to comply with 36CFR Part 79.<sup>8</sup> PRDOH in conjunction with the GM, PM, and municipality will identify the long-term facility for the collection as specified in 36CFR 79.5.

### **D. Human Remains**

If human remains are discovered, the protocol established in Stipulation III.B.1.c. of the PA must be followed:

1. Stop work immediately.
2. Notify the local law enforcement office and coroner/medical examiner following applicable Commonwealth statute(s).
3. Protect the remains from any harm.
4. The GM shall be responsible for notifying the SHPO within twenty-four (24) hours of identifying human remains.

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<sup>8</sup> <https://www.ecfr.gov/current/title-36/chapter-I/part-79eCFR> :: 36 CFR Part 79 -- Curation of Federally Owned or Administered Archeological Collections



Figure 20 View of the Townhall from the center of the plaza



Figure 21 View of the Vieques Public School from the center of the Plaza



Figure 22 Victor Duteill street view looking to Carlos Lebrum street, to the right the Plaza and to the left the School.



Figure 23 View of the Carlos Lebrum street and plaza (at the left of the photo). The unevenness in the slab is visible compare with the previous photo showing what was filled.



*Figure 24 View of the planters on the sides of the plaza.*



*Figure 25 Front view of the Vieques Public School from the plaza*



Figure 26 Rear view of the Vieques Public School at Muñoz Rivera Street



Figure 27 View of the Vieques Public School entrance from South to North showing the stairs and planters.



*Figure 28 Vieques Public School East Elevation looking North.*



*Figure 29 Vieques Public School West elevation looking North.*



Figure 30 Vieques Public School, central courtyard

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## 6. PROFESSIONAL QUALIFICATIONS

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The Monitor must meet the minimum Secretary of the Interior Professional Qualifications Standards for Archaeology established in 36CFR Part 61. These are: a graduate degree in archaeology, anthropology, or closely related field, plus at least one (1) year of full-time professional experience or equivalent specialized training in archaeological research, administration, or management; at least four (4) months of supervised field and analytic experience in general Puerto Rican archaeology; the demonstrated ability to carry research to completion; and at least one (1) year of full-time professional experience at a supervisory level in the study of archaeological resources of the pre-Columbian and colonial periods. Please see [https://www.nps.gov/history/local-law/arch\\_stnds\\_9.htm](https://www.nps.gov/history/local-law/arch_stnds_9.htm) for more information.

The SOI-qualified archaeologist shall not defer their monitoring responsibilities to any other person who does not meet the minimum professional qualifications. Any additional personnel to intervene in monitoring efforts shall have vast experience in historic archaeology, in working in evaluation (Phase II), documentation (Phase III), and monitoring projects dealing with colonial period properties.

The Principal Investigator may not transfer his or her duties, obligations, and responsibilities to subordinates or other technicians who are not professionally trained in archaeology. In the case of hiring archaeologists and trained technicians to assist in archaeological monitoring, the Principal Investigator must be present for at least 25 percent of the duration of the fieldwork to supervise them.

## 7. CITED REFERENCES

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### **Advisory Council on Historic Preservation**

1980 *Treatment of Archeological Properties: A Handbook*.  
[http://libraryarchives.metro.net/DPGTL/archaeology/1980\\_treatment\\_archaeological\\_properties.pdf](http://libraryarchives.metro.net/DPGTL/archaeology/1980_treatment_archaeological_properties.pdf)

### **Consejo para la Protección del Patrimonio Arqueológico Terrestre de Puerto Rico.**

2017 *Reglamento para la radicación y evaluación arqueológica de proyectos de construcción y desarrollo*. San Juan: ICP. Reglamento #8932 del 8 de febrero de 2017.

### **Medina Carillo, Norma and Karen J. Cuadro Esteves**

2023 Effect Determination Form for City Revitalization Program PR-CRP-000807 and PR-CRP-001111.

### **National Park Service**

s/f "Archeology and Historic Preservation: Secretary of the Interior's Standards and Guidelines [As Amended and Annotated] Professional Qualification Standards." [https://www.nps.gov/history/local-law/arch\\_stnds\\_9.htm](https://www.nps.gov/history/local-law/arch_stnds_9.htm).

s/f "Archeology and Historic Preservation: Secretary of the Interior's Standards and Guidelines for Archeological Documentation." [http://www.cr.nps.gov/local-law/arch\\_stnds\\_7.htm](http://www.cr.nps.gov/local-law/arch_stnds_7.htm) [consulted feb. 2024].

s/f "Archeology and Historic Preservation: Secretary of the Interior's Standards and Guidelines for Historical Documentation." [http://www.cr.nps.gov/local-law/arch\\_stnds\\_5.htm](http://www.cr.nps.gov/local-law/arch_stnds_5.htm).

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### **Puerto Rico State Historic Preservation Office (PRSHPO)**

1993 *Guía para hacer investigaciones arqueológicas Fases I, II y III*. San Juan: Oficina del Gobernador. Author Copy

### **Sepúlveda, Aníbal**

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2004 Puerto Rico urbano: atlas histórico de la ciudad puertorriqueña. San Juan: Centro de Investigaciones Carimar.

The following attachments are provided for reference and information purposes.

- APPENDIX A: Monitoring Daily Activity Sheets
- APPENDIX B: Site plans
- APPENDIX C: Detailed scope of work
- APPENDIX D: Section 106 Effect Determination Form with SHPO response letter (dated November 29, 2023)
- APPENDIX E: SHPO letter in response to technical advice for exploratory studies in the project areas (dated July 18, 2023)

APPENDIX A: MONITORING DAILY ACTIVITY SHEET

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	<b>PUERTO RICO 2017 DISASTER RECOVERY</b> <b>City Revitalization Program</b> <b>ARCHAEOLOGICAL MONITORING DAILY RECORD OF ACTIVITIES</b>
<b>Case ID:</b> PR-CRP-000807/PR-CRP001111	<b>Project Location:</b>
<b>Municipality:</b> Vieques	<b>Project Coordinates (lat/long):</b>

<b>SOI Qualified-Archaeologist:</b>
<b>Date of Monitoring:</b> Click or tap to enter a date.
<b>Work Hours:</b>

**Description of work performed by contractor and supervised by the Monitor:**

	YES	NO
Are the project activities conforming to the LIDRS? If not, explain below.	<input type="checkbox"/>	<input type="checkbox"/>
Was an archaeological remain documented during the day. If yes, include required information below.	<input type="checkbox"/>	<input type="checkbox"/>
Was an exceptional archaeological remain identified during the day? If yes, explain below.	<input type="checkbox"/>	<input type="checkbox"/>
Have the construction activities affected a previously unidentified property or a known historic property in an unanticipated manner? If yes, explain below.	<input type="checkbox"/>	<input type="checkbox"/>
Has there been a change in the scope of work of the project? If yes, explain below.	<input type="checkbox"/>	<input type="checkbox"/>

	<b>PUERTO RICO 2017 DISASTER RECOVERY</b> <b>City Revitalization Program</b> <b>ARCHAEOLOGICAL MONITORING DAILY RECORD OF ACTIVITIES</b>
<b>Case ID: PR-CRP-000807/PR-CRP001111</b>	<b>Project Location:</b>
<b>Municipality: Vieques</b>	<b>Project Coordinates (lat/long):</b>

<b>Site Photos</b>	
--------------------	--

<p><b>Direction of Photo:</b> Click here to enter text.</p> <p><b>Description:</b> Click here to enter text.</p>	
<p><b>Direction of Photo:</b> Click here to enter text.</p> <p><b>Description:</b> Click here to enter text.</p>	

 GOVERNMENT OF PUERTO RICO GOBIERNO DE PUERTO RICO	PUERTO RICO 2017 DISASTER RECOVERY City Revitalization Program ARCHAEOLOGICAL MONITORING DAILY RECORD OF ACTIVITIES
Case ID: PR-CRP-000807/PR-CRP001111	Project Location:
Municipality: Vieques	Project Coordinates (lat/long):

APPENDIX B: SITE PLANS (7/14/2023)

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	<b>PUERTO RICO 2017 DISASTER RECOVERY</b> <b>City Revitalization Program</b> <b>ARCHAEOLOGICAL MONITORING DAILY RECORD OF ACTIVITIES</b>
<b>Case ID: PR-CRP-000807/PR-CRP001111</b>	<b>Project Location:</b>
<b>Municipality: Vieques</b>	<b>Project Coordinates (lat/long):</b>

APPENDIX C: DETAILED SCOPE OF WORK

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January 31, 2024

Marisol Rodriguez Miranda  
Environmental Specialist – Senior Archaeologist  
ICF  
City View Plaza, Torre 2 – Suite 400  
Guaynabo, PR 00968

**Ground Disturbance Activities Plan -  
Vieques City Revitalization PR-CRP-000807 Improvements to the Vieques Public Square and PR-CRP-  
001111 Market Square for Social and Community Transformation**

Calle Victor Duteill  
Vieques, PR. 00765

## GROUND DISTURBANCE ACTIVITIES NARRATIVE

### **PR-CRP-000807 Improvements to the Vieques Public Square**

Vieques Public Square serves as the main gathering place for the residents and visitors of the island. The square sits at the foundational center of the town of Isabel II and has been the scene for holding fairs, markets, patron saint festivities and many other cultural events. Over the years, the plaza has been severely impacted by a series of improvements that have completely changed its configuration since first conceived. Prior to 2005, the plaza hosted a main central gazebo structure that has since been demolished. A new one was constructed at the northeast corner of the plaza in the early 2000's (c. 2007) as part of the remodel works made to the plaza at that time. All pavement, seating areas, and landscape planters have been altered to accommodate its most recent design. Due to these interventions the finishes or architectural elements that were identified as character defining features have been demolished or damaged in a way that affected its original design integrity.

The improvements proposed as part of the City Revitalization Program (See Fig. 01) are focused on bringing the plaza to current standards and expectations for a contemporary public space, addressing damages to its infrastructure, vegetation and urban elements, caused by the passage Hurricanes Irma and María. By enhancing its spatial and environmental qualities, including circulation and accessibility, leisure, and shading areas (through trellis structures and increased vegetation cover), stormwater

management and supporting infrastructure (including electrical, plumbing, and wireless connectivity). At the same time, these enhancements seek to uphold the historical significance and architectural context surrounding the square. The incorporation of trellises, floor patterns and seating areas in circular shapes are elements that are being used to reinterpret the former historic water cistern geometry, and to bring back the centrifugal orientation that was characteristic of the plaza, when the central structure served as a gathering place for the community. The proposed design seeks to reactivate and enhance "the void", to evoke the two different types of structures that no longer exist but were part of the history and the foundation of Isabel Segunda's urban center. This design also maintains and reinterprets the quadrants, once planters, with vegetated areas, and seeks to tie in with other existing elements such as the gazebos, the fountain, and monuments. In the center of the plaza a commemorative design made of specialty pavement will be incorporated to emphasize the historic importance of the place.



Figure 01. Vieques Public Square Proposed Overall Site Plan

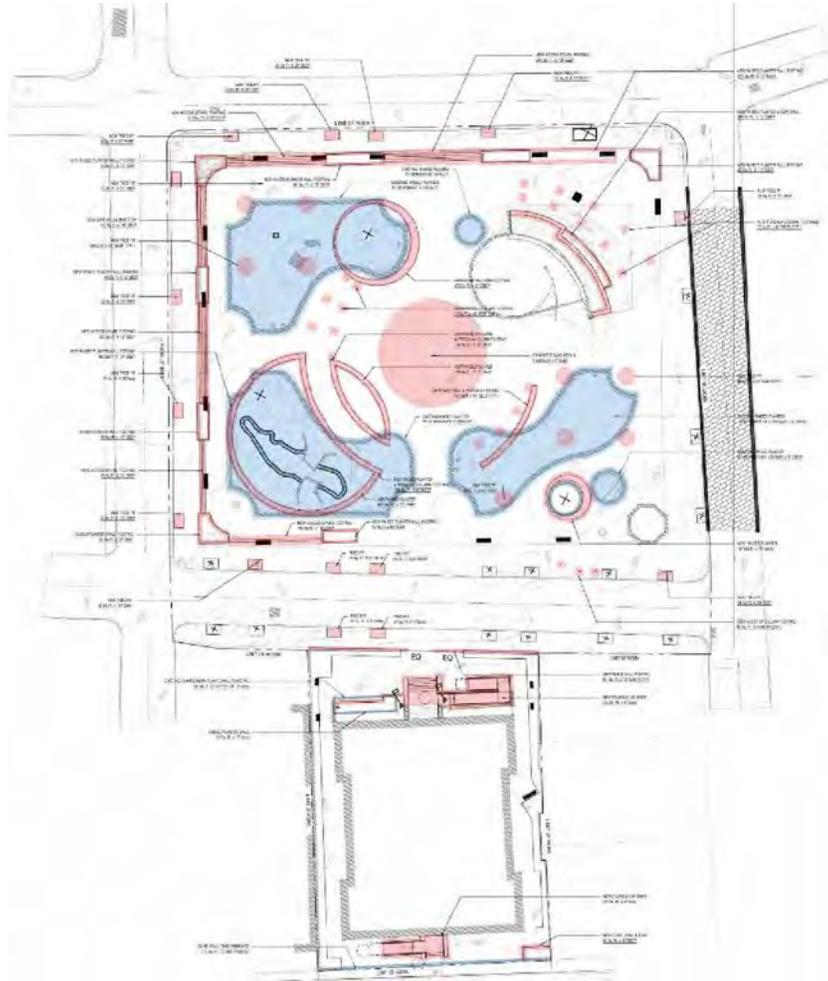
In order to achieve these goals, improvements include the replacement of all the existing pavement surface to repair areas where the pavement has settled, construction of new stairs extensions along the north, west, and southwest edges of the plaza, construction of new shade structures, repairs and modification to adjacent sidewalks including new ADA compliant access ramps, reconstruction of seat walls and raised planters, the maintenance of the gazebos, and the restoration of the existing water feature.

The improvements to the Vieques Public Square will require electrical & plumbing adjustments and modifications to restore the existing water feature to its original working conditions and the provision of new electrical outlets, internet services, replacement of outdoor-grade speakers, plumbing and electrical hookups throughout the Plaza, a public Wi-Fi system, new lighting system and urban furniture.

Ground disturbances will take place during the stabilization of the concrete slab at the center of the plaza where ponding occurs. Ground disturbances will also occur during the demolition process of existing concrete raised planting beds, concrete stairs along the Public Square's north, west, and southwest edges of the Public Square. The removal of trees that are deteriorated or damaged, and tree stumps ( $\pm 12$ ) will also cause ground disturbance activities within the plaza and along the sidewalk.

Foundations are required to construct several elements of the plaza such as seating walls, stairs, curbs, ramps, low retaining walls, concrete pedestal to locate the existing monument, support posts for shade structures, and raised planters. The primary material used for the mentioned foundations of the plaza and sidewalk elements will be poured-in-place reinforced concrete. These ground disturbance activities will occur in specific areas, minimizing the impact as much as possible.

Figure 02, below, illustrates the Preliminary Excavation Diagram. Areas highlighted in red indicate ground disturbance activities associated with the proposed design interventions mentioned above. Activities related to the removal and/or demolition of existing elements are shown in blue.



EB

Figure 02. Preliminary Excavation Diagram

The following table summarizes the ground disturbance activities taking place in the Public Square. The provided volume figures serve as preliminary estimates for the anticipated ground disturbance activities and are subject to adjustments as the design undergoes refinement.

<b>PR-CRP-000807 Vieques Public Plaza</b>			
<b>Items</b>	<b>Qty.</b>	<b>Description</b>	<b>Volume +/- (cu.ft.)</b>
<b>Demolition:</b>			
Existing Raised Planter	3	8571 SF x 12"	8,571
Existing Raised Planter	2	369 SF x 10"	306
<b>New Construction:</b>			
New Tree Pits (Sidewalk)	13	24 SF x 20"	521
New Tree Pits (Plaza)	9	38 SF x 24"	684
New Access Stair Footings	2	450 SF x 12"	450
	2	350 SF x 18"	525
	1	63 SF x 24"	126
New Raised Planter Wall Footing (Plaz	9	794 SF x 12"	794
New Raised Planter Footing (Plaza Int	4	954 SF X 12"	954
New Seat Wall & Bus Stop	1	150 SF x 18"	225
New Raised Planter / Seat Wall & Pergola Column Footings	3	443 SF x 48"	1,772
New Pergola Column Footings	19	10 SF x 48"	40
New Bus Stop Pergola Footings	4	8 SF x 48"	32
Concrete Slab Repair	1	1500 SF x 8"	1,005

Improvements and repairs to the public square do not seek to increase the capacity or size of the plaza or adjacent sidewalks. The intervention will maintain the current programmatic uses of the public spaces.

## **PR-CRP-001111 Market Square for Social and Community Transformation (Former Jose Gautier Benitez School)**

The J. Gautier Benítez School, also known as the Vieques Public School, was designed by renowned architect Antonin Nechodoma, and built by Frank B. Hatch in 1907. While the original building was designed to serve as a public school, the building has become a space for local community organizations; to provide essential resources, services, and programs to the community. Nevertheless, the historic property was severely affected by the winds and rain from Hurricanes Irma and Marfa, causing damage to both the exterior and interior of the structure including gates, windows, doors, paint, skylights, and roof. In response to these challenges, the proposed revitalization project seeks to adapt the existing structure and exterior areas into a more resilient community-oriented facility. The vision is to repurpose the building into a Market Square for Social and Community Transformation. This will be achieved through the integration of an agricultural market and *coffee* bar to foster and support small business farmers, enable access to fresh and local food, and support the cultural and family events that are celebrated in the adjacent public square, in a secure and resilient site.

The rehabilitation of the building does not seek to change the size and/or capacity of the existing building footprint, rather, the existing spaces will be rehabilitated with the purpose of using them as a center of social and community transformation, where local non-profit organizations can make use of multidisciplinary classrooms for training and provide community services by leasing office spaces. Part of the rooms within the rehabilitated building will become an Agricultural Market which will provide access to local families and communities in Vieques to fresh produce from small local farmer merchants, encouraging and supporting the local economy. The remaining areas will continue to serve as spaces where community organizations provide other services to the Vieques community.

The proposed intervention (See Fig. 03) will follow the Secretary of Interior's Standards for Rehabilitation and seeks to recover those character defining features that the property has. Therefore, on the building exterior, areas with spalled concrete will be repaired, and cracked or missing cornices, moldings, and window sills will be restored. The exterior walls will be altered only to recover original vent openings at the base of the building, which have been covered over time and contribute to the historic character of the structure.

The current non-original metal jalousie windows will be replaced, and the original openings of the windows will be recovered. New metal windows and wood doors will be incorporated. The design seeks to be compatible with the historical character of the building emulating the appearance and patterns of the original windows and doors identified through historic photographs and other documentation, as no original drawings have been found to date. The installed skylight louvers structure above the interior courtyard (not original to the building nor a character defining feature) will be replaced to integrate new low-e glazing and frame system. The supporting concrete curb on which it sits will be raised to improve impermeability and accommodate new roof insulation and membrane system on the surrounding roof.

To meet ADA requirements, two different ramps will be required to provide an accessible entrance to the building. On the Munoz Rivera Street approach, the existing non-compliant ADA ramp will be demolished. The ground elevation will be raised to meet sidewalk grade and a slab on grade ramp will be erected to the west side of the building entrance. A new landing will be provided at finish floor elevation with new stairs on the opposite side of the new ramp. On the Victor Duteil Street approach, the existing historic stairs will be enclosed over a slab on grade ramp and landing structure in an effort to preserve the original building elements. New entrance stairs will be constructed to align with the central building axis, forward from their original location.

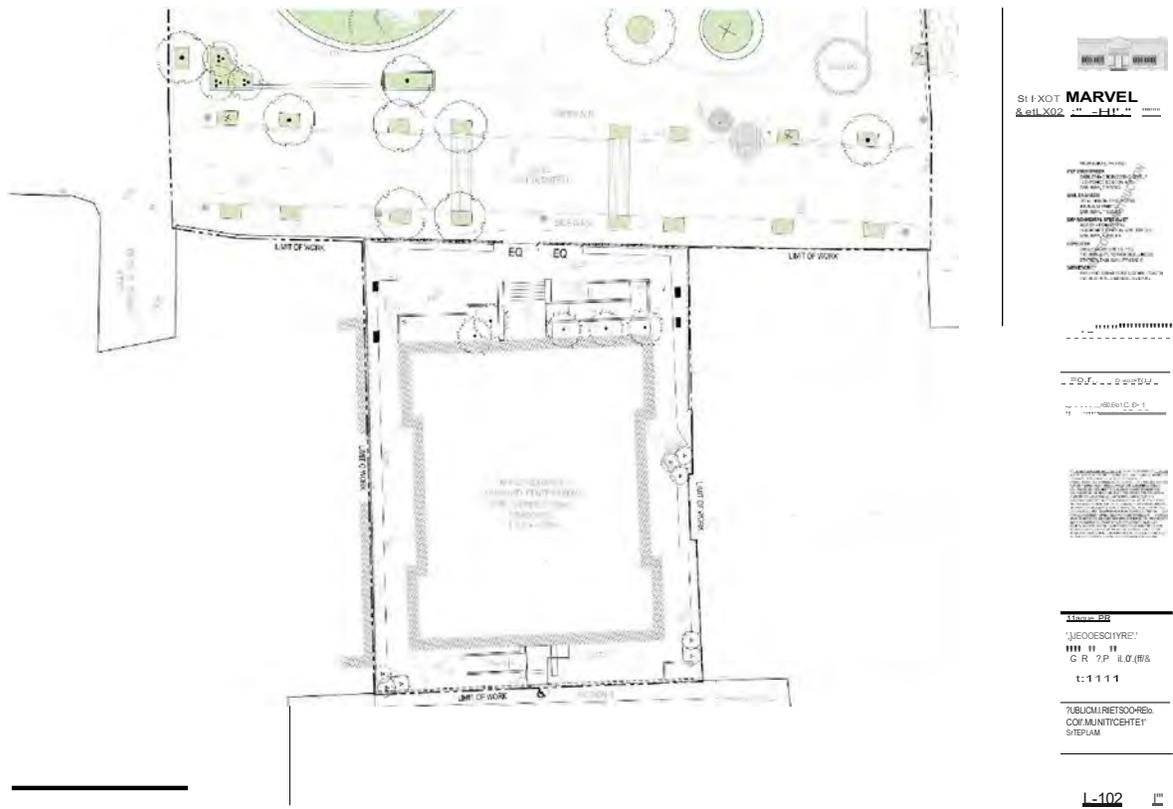


Figure 03. Market Square for Social and Community Transformation  
Proposed Overall Site Plan

At building interior, existing gypsum board walls will be demolished, and new partitions will be installed where required, based on the proposed programming of the spaces. The existing ceramic tiles in the bathrooms will be removed and replaced with new tiles. Electrical, mechanical, and plumbing improvements will be made to the structure and will also follow the recommendations provided at the Secretary of Interior's Standards for Rehabilitation. New ventilation and air conditioning systems will be provided only in the proposed office spaces. The mechanical equipment serving these spaces will be located on the roof of the existing building and will be anchored and concealed behind the existing building parapet. In the spaces occupied by the agricultural market and cafe programs, passive design strategies, such as operable fenestration, augmented by ceiling fans, will be implemented to allow for fresh air cross-ventilation. The plumbing system will be designed to meet the 2018 Puerto Rico Plumbing Code. This includes the provision of a potable water cistern and pumps to serve the building when service is disrupted. Service will continue to tie into the existing water meter on site. The bathroom fixtures count will be reduced on the existing bathrooms complying with the proposed building use occupancy (Business) as per the 2018 Puerto Rico Building Code. A new service sink will be provided for the proposed cafe as well as service sink for a new janitor room and a water fountain to serve the building users as required by the 2018 Puerto Rico Building Code.

A new solar photovoltaic array is proposed to assure the resiliency and performance of a building that will function as a community center. The photovoltaic modules will be mounted on a raised aluminum framework over the replaced roof membrane. Similarly, a 50KW emergency back-up generator will be provided to support non-critical loads should primary power be disrupted.

Ground disturbance activities for the proposed interventions include demolition of the exterior concrete pavement surrounding the primary structure in order to make way for new planting beds and paving materials. New foundations will be provided to reconstruct a low wall that will support a new iron fence on Victor Duteil Street side. The exterior site concrete fence wall facing Munoz Rivera Street, which is currently broken, will be demolished and will not be reconstructed so as to provide a wider access into the property and access from the sidewalk for trash storage area.

The following table summarizes the ground disturbance activities projected at the former Jose Gautier Benitez School site. The provided volume figures serve as preliminary estimates for the anticipated ground disturbance activities and are subject to adjustments as the design undergoes refinement.

<b>PR-CRP-001111 Market Square for Social and Community Transformation</b>			
<b>Items</b>	<b>Qty.</b>	<b>Description</b>	<b>Volume +/- (cu.ft.)</b>
<b>Demolition:</b>			
Existing Wall (Luis Munoz Rivera Street)	1	115 SF x 12"	115
Existing Planter Curb	1	58 SF x 12"	58
<b>New Construction:</b>			
New Raised Planter Wall	1	58 SF x 12"	
New Stairs and ADA Ramp	2	550 SF x 18"	1,193
		245 SF x 18"	
New Tree Pit	2	24 SF x 18"	72
New Concrete Wall and Slab	1	41 SF x 18"	62

The proposed interventions will not have any adverse effect on the historical integrity of the former School structure, nor on the Plaza. The ground disturbance activities to be carried out will be monitored by a qualified archaeologist as conditioned by the State Historic Preservation Office.

**Exhibits:**

- Exhibit A – Ground Disturbance Activities Plan

END OF DOCUMENT

APPENDIX D: Section 106 Effect Determination Form with SHPO response

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## GOVERNMENT OF PUERTO RICO

### STATE HISTORIC PRESERVATION OFFICE

Executive Director | Carlos A. Rubio-Cancela | [carubio@prshpo.pr.gov](mailto:carubio@prshpo.pr.gov)

Wednesday, November 29, 2023

## Lauren Bair Poche

HORNE - Architectural Historian Manager  
10000 Perkins Rowe, Suite 610 Bldg. C  
Baton Rouge, LA 70810

SHPO: 06-23-23-03 VIEQUES, PUERTO RICO DISASTER RECOVERY, CDBG-DR CITY REVITALIZATION PROGRAM (CRP), PR-CRP-000807 AND PR-CRP-001111: IMPROVEMENTS TO THE VIEQUES PUBLIC SQUARE AND MARKET SQUARE FOR COMMUNITY AND SOCIAL TRANSFORMATION, VIEQUES, PUERTO RICO

Dear Ms. Poche,

Our Office has received and reviewed the above referenced project in accordance with 54 USC 306108 (commonly known as Section 106 of the *National Historic Preservation Act, as amended*) and 36 CFR Part 800: *Protection of Historic Properties* from the Advisory Council on Historic Preservation. The State Historic Preservation Officer (SHPO) is to advise and assist federal agencies and other responsible entities when identifying historic properties, assessing effects upon them, and considering alternatives to avoid or reduce the project's effects.

After a review of all the documentation, the PRSHPO concurs with your finding of **no adverse effect** for this undertaking, **conditioned to** archaeological monitoring during all ground disturbing activities for both, the Luis Muñoz Rivera Plaza, and the former J. Gautier Benítez School. Once the monitoring work plans are submitted, we will continue with our review.

For architecture, we recommend a lighter, more transparent design for the access ramp to the main entrance of the former J. Gautier Benítez School. As proposed, the ramp visually impacts the façade of the historic building.

Please note that should the Agency discover other historic properties at any point during project implementation, you should notify the SHPO immediately. If you have any questions concerning our comments, do not hesitate to contact our Office.

Sincerely,

Carlos A. Rubio-Cancela  
State Historic Preservation Officer

CARC/GMO/LGC/EVR



November 1, 2023

Carlos A. Rubio Cancela  
State Historic Preservation Officer  
Puerto Rico State Historic Preservation Office  
Cuartel de Ballajá (Tercer Piso)  
San Juan, PR 00902-3935

### **Puerto Rico Disaster Recovery, CDBG-DR City Revitalization (City-Rev) Program**

**SHPO 06-23-23-06, Section 106 NHPA Effect Determination Submittal for PR-CRP-000807 and PR-CRP-001111: Improvements to the Vieques Public Square and Market Square for Community and Social Transformation Project, Vieques, Puerto Rico – *No Adverse Effect, Conditioned***

Dear Architect Rubio Cancela,

On February 9, 2018, an allocation of Community Development Block Grant - Disaster Recovery (CDBG-DR) funds was approved by the United States Department of Housing and Urban Development (HUD) under the Federal Register Volume 83, No. 28, 83 FR 5844, to assist the Commonwealth of Puerto Rico in meeting unmet needs in the wake of Hurricanes Irma and Maria. On August 14, 2018, an additional \$8.22 billion recovery allocation was allocated to Puerto Rico under the Federal Register Volume 83, No. 157, 83 FR 40314. With these funding allocations, the Puerto Rico Department of Housing (PRDOH) aims to lead a comprehensive and transparent recovery for the benefit of Puerto Rico residents. To faithfully comply with HUD's environmental requirements, the Puerto Rico Department of Housing contracted Horne Federal, LLC (HORNE) to provide environmental records review services that will support the Department's objectives Puerto Rico Housing (PRDOH) for CDBG-DR.

On behalf of PRDOH and the subrecipient, the Municipality of Vieques, we are submitting documentation for the proposed Improvements to the Vieques Public Square and Market Square for Community and Social Transformation (the former J. Gautier Benítez School) Project in the municipality of Vieques. This project is related to a technical assistance that was submitted to your office on June 23, 2023 regarding structural and exploratory studies. A response dated July 18, 2023 stated a concurrence with a determination that the proposed exploratory studies will have no adverse effect on the historic integrity of the school structure nor the plaza. It was requested that once the exploratory studies and project are available, to submit them for review.

The proposed improvements for the plaza focus on bringing the plaza to current standards and expectations for a contemporary public space by enhancing its spatial and environmental qualities, including circulation and accessibility, leisure, and shading areas (through trellis structures and increased vegetation cover), stormwater management and supporting infrastructure (including electrical, plumbing, and wireless connectivity). At the same time, these enhancements seek to uphold the historical significance and architectural context surrounding the square. The incorporation of trellises, floor patterns and seating areas in circular shapes are elements that the designer has used to reinterpret the former historic water cistern

geometry, and to bring back the centrifugal orientation that was characteristic of the plaza, when a central structure served as a gathering place for the community.

The proposed activities for the J. Gautier Benítez School, also known as the Vieques Public School, seek to adapt the existing structure and exterior areas, and re-purpose the building into a Market Square for Social and Community Transformation. This will be achieved through the integration of an agricultural market and coffee bar to foster and support small business farmers, enable access to fresh and local food, and support the cultural and family events that are celebrated in the adjacent public square, in a secure and resilient site. The proposed intervention will follow the Secretary of Interior's Standards for Rehabilitation and seeks to restore and retain the property's character defining features.

The full scope of the project is described in detail within the submitted documentation, which includes mapping, photographs, and 100% design plans.

Based on the provided documentation, the Program requests a concurrence with a determination that no historic properties affected is appropriate for this undertaking. For archaeology, this is conditioned to a archaeological monitoring with a plan developed for the plaza that focuses on excavations deeper than six inches in depth and a plan developed for the school that involves all excavations that are conducted inside and outside the historic structure; these plans will be submitted for review and approval. For architecture, this is conditioned to adherence to the Secretary of the Interior's Standard for Rehabilitation.

Please contact me with any questions or concerns by email at [lauren.poche@horne.com](mailto:lauren.poche@horne.com) or phone at 225-405-7676.

Kindest regards,



**Lauren Bair Poche. M.A.**

Architectural Historian, EHP Senior Manager

Attachments

<b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b> <b>CITY REVITALIZATION PROGRAM (CRP)</b> <b>Section 106 NHPA Effect Determination</b>		
<b>Subrecipient:</b> Municipality of Vieques, PR		
<b>Project Name:</b> Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques ( <i>Improvements to the Vieques Public Square</i> ) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario ( <i>Market Square for Social and Community Transformation</i> ) (School)		
<b>Project Number:</b> PR-CRP-000807 & PR-CRP-001111		<b>SHPO 06-23-23-03</b>

<b>Project Location:</b> <b>Plaza:</b> Luis Muñoz Rivera Plaza – 29 Victor Duteil St., Vieques, P.R., 00765; <b>School:</b> Former J. Gautier Benitez School (Vieques Public School) – Víctor Duteil St., Vieques, P.R., 00765	
<b>Project Coordinates:</b> <b>Plaza:</b> Lat:18.149310°, Long: -65.441310°; <b>School:</b> Lat:18.14894°, Long: -65.44153°	
<b>TPID (Número de Catastro):</b> <b>Plaza:</b> 457-042-019-01; <b>School:</b> 457-052-020-04	
<b>Type of Undertaking:</b> Substantial Repair - <b>X</b> New Construction	
<b>Plaza Construction Date</b> (AH est.): c.1845	<b>Plaza Property Size</b> (acres): <b>.6772</b>
<b>School Construction Date</b> (AH est.): 1907	<b>School Property Size</b> (acres): <b>.2991</b>

<b>SOI-Qualified Architect/Architectural Historian:</b> Karen J. Cuadro Esteves
<b>Date Reviewed:</b> April-May, 2023
<b>SOI-Qualified Archaeologist:</b> Norma Medina Carrillo
<b>Date Reviewed:</b> April-May, 2023

In compliance with Section 106 of the National Historic Preservation Act (NHPA), the Program is responsible for identifying historic properties listed in the NRHP and any properties not listed that would be considered eligible for listing that are located within the geographic area of potential effects (APE) of the proposed project and assessing the potential effects of its undertakings on these historic properties.

### Project Description (Undertaking)

The proposed projects will provide architectural and engineering improvements to Vieques Public Square and the former Vieques Public School (J. Gautier Benitez School) as part of the Community Development Block Grant – Disaster Recovery (CDBG-DR) set for the City Revitalization Program (CRP) as approved by the U.S. Housing and Urban Development (HUD).

### Vieques Public Square

Vieques Public Square serves as the main gathering place for the residents and visitors of the island. The square sits at the foundational center of the town of Isabel II and has been the scene for holding fairs, markets, patron saint festivities and many other cultural events. Local street vendors frequent the plaza daily and there is a permanent concession stand located on the southeast corner of the Plaza offering lunch to visitors.

The plaza was severely impacted by the improvements made in the early 2000's, that completely changed its existing configuration, the main central gazebo structure was 606 Barbosa Avenue, Building Juan C. Cordero Dávila, Río Piedras, PR 00918 | P.O. Box 21365 San Juan, PR 00928-1365

Tel: (787)274-2527 | [www.vivienda.pr.gov](http://www.vivienda.pr.gov)

<b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b> <b>CITY REVITALIZATION PROGRAM (CRP)</b> <b>Section 106 NHPA Effect Determination</b>	
<b>Subrecipient:</b> Municipality of Vieques, PR	
<b>Project Name:</b> Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques ( <i>Improvements to the Vieques Public Square</i> ) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario ( <i>Market Square for Social and Community Transformation</i> ) (School)	
<b>Project Number:</b> PR-CRP-000807 & PR-CRP-001111	

demolished, and a new one was constructed at the northeast corner of the plaza. All pavement, seating area, and the landscape planters were altered to accommodate this design. Due to these interventions the finishes or architectural elements that have been identified as character defining features were demolished or damaged in a way that affected its integrity.

As part of the City Revitalization Program, the proposed improvements are focused on bringing the plaza to current standards and expectations for a contemporary public space by enhancing its spatial and environmental qualities, including circulation and accessibility, leisure, and shading areas (through trellis structures and increased vegetation cover), stormwater management and supporting infrastructure (including electrical, plumbing, and wireless connectivity). At the same time, these enhancements seek to uphold the historical significance and architectural context surrounding the square. The incorporation of trellises, floor patterns and seating areas in circular shapes are elements that we use to reinterpret the former historic water cistern geometry, and to bring back the centrifugal orientation that was characteristic of the plaza, when a central structure served as a gathering place for the community. Our design, by reactivating and enhancing “the void”, evokes the two different types of structures that no longer exist and were part of the history and the foundation of Isabel Segunda urban center. This design also maintains and reinterprets the quadrants, that once were planters, with vegetated areas and incorporates other existing elements such as the gazebos, the fountain, and monuments. In the center of the plaza a commemorative design made of specialty pavement will be incorporated to emphasize its historic importance of the place.

In order to achieve these goals, improvements include the replacement of all the existing pavement surface to repair areas where the pavement has settled, construction of new stairs extensions along the north, west, and southwest edges of the plaza, construction of new shade structures, repairs and modification to adjacent sidewalks including new ADA compliant access ramps, reconstruction of seat walls and raised planters, the maintenance of the gazebos, and the restoration of the existing water feature.

This improvements to Vieques Public Square will require electrical & plumbing adjustments and modifications to restore the existing water feature to its original working conditions and the provision of new electrical outlets, internet services, replacement of outdoor-grade speakers, plumbing and electrical hookups throughout the Plaza, a public Wi-Fi system, new lighting system and urban furniture.

Ground disturbances will take place during the stabilization of the concrete slab at the center of the plaza where ponding occurs. Ground disturbances will also occur during the demolition process of existing concrete raised planting beds, concrete stairs along the north, west of existing concrete raised planting beds and concrete stairs along the Public Square's

<b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b> <b>CITY REVITALIZATION PROGRAM (CRP)</b> <b>Section 106 NHPA Effect Determination</b>	
<b>Subrecipient:</b> Municipality of Vieques, PR	
<b>Project Name:</b> Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques ( <i>Improvements to the Vieques Public Square</i> ) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario ( <i>Market Square for Social and Community Transformation</i> ) (School)	
<b>Project Number:</b> PR-CRP-000807 & PR-CRP-001111	

north, west, and southwest edges of the Public Square; and required to build the foundations of the proposed steps, raised planters, seat walls, concrete pedestal, and shade structure support posts.

The removal of trees that are deteriorated or damaged, and tree stumps ( $\pm 12$ ) will also take place. Foundations are required to construct several elements of the plaza such as seating walls, stairs, curbs, ramps, low retaining walls, concrete pedestal to locate the existing monument, support posts for shade structures, and raised planters. The primary material used for the mentioned foundations of the plaza and sidewalk elements will be poured-in-place reinforced concrete. These ground disturbance activities will occur in specific areas, minimizing the impact as much as possible.

Improvements and repairs to the public square do not seek to increase the capacity or size of the plaza or adjacent sidewalks. The intervention will maintain the current programmatic uses of the public spaces.

PR-CRP-000807_Vieques Public Square			
Estimates for ground disturbances.			
ITEMS	QTY.	DESCRIPTION	VOLUME +/- (cu.ft.)
STAIRS	875 sq.ft.	875 sq. ft. x 24"	1,750
RAISED PLANTERS & SEATWALLS	582 l.ft.	582'x 18" x 18"	1,310
RETAINING WALL	670 l.ft.	670'x 18" x 18"	1,508
RETAINING WALL	108 l.ft.	108' X 18" x 18"	243
RAMP	200 sq.ft.	200 sq.ft. x 24"	400
COLUMNS (Shade devices)	49 (ea.)	18" x 24" x 24" (49)	294
TREE PITS	1,040 l.f.t	1,040 sq.ft. x 30"	2,600
CONC SLAB REPAIR	1,500 sq.ft.	1,500 sq.ft. x 12"	1,500

## Vieques Public School

The J. Gautier Benitez School, also known as the Vieques Public School, was designed by renowned architect Antonin Nechodoma, and built by Frank B. Hatch in 1907. While the original building was designed to serve as a public school, the building has become a space for local community organizations; to provide essential resources, services, and programs to the community. The proposed revitalization project seeks to adapt the existing structure and exterior areas, and re-purpose the building into a Market Square for Social and Community Transformation. This will be achieved through the integration of an agricultural market and coffee bar to foster and support small business farmers, enable access to fresh and local food, and support the cultural and family events that are celebrated in the adjacent public square, in a secure and resilient site.

<b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b> <b>CITY REVITALIZATION PROGRAM (CRP)</b> <b>Section 106 NHPA Effect Determination</b>	
<b>Subrecipient:</b> Municipality of Vieques, PR	
<b>Project Name:</b> Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques ( <i>Improvements to the Vieques Public Square</i> ) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario ( <i>Market Square for Social and Community Transformation</i> ) (School)	
<b>Project Number:</b> PR-CRP-000807 & PR-CRP-001111	

The rehabilitation of the building does not seek to change the size and/or capacity of the existing building footprint, rather, the existing spaces will be rehabilitated with the purpose of using them as a center of social and community transformation, where local non-profit organizations can make use of multidisciplinary classrooms for training and provide community services by leasing office spaces. Part of the rooms within the rehabilitated building will become an Agricultural Market which will provide access to local families and communities in Vieques to fresh produce from small local farmer merchants, encouraging and supporting the local economy. The remaining areas will continue to serve as spaces where community organizations provide other services to the Vieques community.

The proposed intervention will follow the Secretary of Interior’s Standards for Rehabilitation, and seeks to restore those character defining features that the property has. Therefore, on the building exterior, areas with spalled concrete will be repaired, and cracked\_ or missing cornices, moldings, and window sills will be restored. The exterior walls will be altered only to recover original vent openings at the base of the building, that have been covered over time and contribute to the historic character of the structure.

The current non-original metal jalousie windows will be replaced, and the original openings of the windows will be recovered. New metal windows and wood doors will be incorporated. The design seeks to be compatible with the historical character of the building emulating the appearance and patterns of the original windows and doors identified through historic photographs and other documentation, as no original drawings have been found to date. The installed skylight louvers structure above the interior courtyard (not original to the building nor a character defining feature) will be replaced to integrate new low-E glazing and frame system. The supporting concrete curb on which it sits will be raised to improve impermeability and accommodate new roof insulation and membrane system on the surrounding roof.

To meet ADA requirements, two different ramps will be required to provide an accessible entrance to the building. On the Muñoz Rivera Street approach, the existing non-compliant ADA ramp will be demolished. The ground elevation will be raised to meet sidewalk grade and a slab on grade ramp will be erected to the west side of the building entrance. A new landing will be provided at the finished floor elevation with new stairs on the opposite side of the new ramp. On the Victor Duteil Street approach, the existing historic stairs will be enclosed over a slab on grade ramp and landing structure in an effort to preserve the entrance stairs will be constructed to align with the central building axis, forward from their original location.

The proposed improvements include demolishing the exterior concrete pavement surrounding the primary structure in order to make way for new planting beds and paving materials. New foundations will be constructed to support a new fence on Muñoz Rivera Street. The exterior site concrete fence wall facing Muñoz Rivera Street that is currently broken, will be designed and constructed to provide a wider access into the property and

<b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b> <b>CITY REVITALIZATION PROGRAM (CRP)</b> <b>Section 106 NHPA Effect Determination</b>	
<b>Subrecipient:</b> Municipality of Vieques, PR	
<b>Project Name:</b> Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques ( <i>Improvements to the Vieques Public Square</i> ) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario ( <i>Market Square for Social and Community Transformation</i> ) (School)	
<b>Project Number:</b> PR-CRP-000807 & PR-CRP-001111	

access from the sidewalk for trash storage. The iron fence along Calle Victor Duteil will be preserved and restored, with repairs to the low wall.

In the building interior, existing gypsum board walls will be demolished, and new partitions will be installed where required, based on the proposed programming of the spaces. The existing ceramic tiles in the bathrooms will be removed and replaced with new tiles. Electrical, mechanical, and plumbing improvements will be made to the structure and will also follow the recommendations provided at the Secretary of Interior’s Standards for Rehabilitation. New ventilation and air conditioning systems will be provided only in the proposed office spaces. The mechanical equipment serving these spaces will be located on the roof of the existing building, and will be anchored and concealed behind the existing building parapet. In the spaces occupied by the agricultural market and café programs, passive design strategies, such as operable fenestration, augmented by ceiling fans, will be implemented to allow for fresh air cross-ventilation. The plumbing system will be designed to meet the 2018 Puerto Rico Plumbing Code. This includes the provision of a building when service is disrupted. Service will continue to tie into the existing water meter on site. The bathroom fixtures count will be reduced on the existing bathrooms complying with the proposed building use occupancy (Business) as per the 2018 Puerto Rico Building Code. Nevertheless, a new sink will be provided at the proposed café as well as service sink for a new janitor room and water fountain to serve the building users as required by the 2018 Puerto Rico Building Code.

A new solar photovoltaic array is proposed to assure the resiliency and performance of a building that will function as a community center. The photovoltaic modules will be mounted on a raised aluminum framework over the replaced roof membrane. Similarly, a 50KW emergency back-up generator will be provided to support non-critical loads should primary power be disrupted for a certain period of time.

<b>PR-CR-001111_Vieques School Bldg</b>			
<b>Estimates for ground disturbances.</b>			
<b>ITEMS</b>	<b>QTY.</b>	<b>DESCRIPTION</b>	<b>VOLUME +/- (cu.ft.)</b>
STAIRS	105 sq. ft.	105 sq.ft. x 24"	210
CURB PLANTER ± 6"HT.	326 l.ft.	326'X12" x 12"	326
RAMPS	530 sq.ft.	530 sq.ft.x 24"	1,060
CONC WALL REMOVAL	175 l.ft.	175 l.ft. x 18" x18"	394

**Area of Potential Effects**

As defined in 36 CFR §800.16(d), the area of potential effects (APE) is the geographic area or areas within which an undertaking may directly or indirectly cause changes in the character

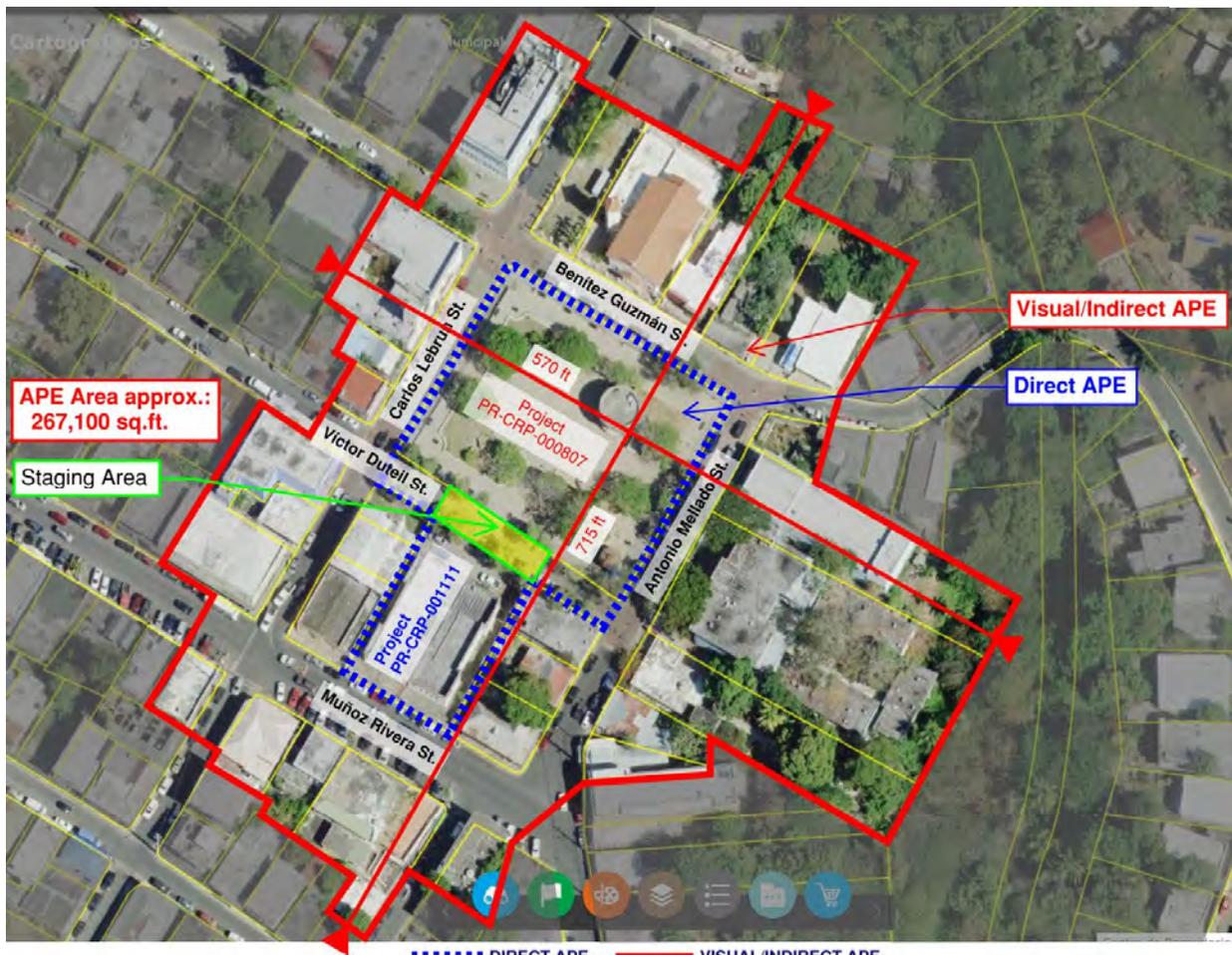
**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

or use of historic properties if any such properties exist. Based on this definition and the nature and scope of the Undertaking, the Program has determined that the total area of the direct and visual/indirect APE for this project is located in the eligible traditional urban center of Vieques, and has an area of approx. 267,100 sq. ft., and measures 715 ft. in length (north/south) and 570 ft in width (west/east). The streets that are part of this APE are Victor Duteil St., Carlos Lebrun St., Muñoz Rivera St., Benitez Guzmán St., and Antonio Mellado St. The visual/indirect APE area includes the properties adjacent to the Public Plaza of Vieques (PR-CRP-000807) and Vieques Public School (PR-CRP-001111); which are the direct APE. The staging area for Vieques Public Plaza and Vieques Public School will take place within the portion of Victor Duteil Street between the plaza and the school. Refer to Figure 01 which identifies the APE's and staging area of the project.

Figure 01: Direct and Indirect/Visual APE area and dimensions delimitation. Source CRIMPR, digital cadaster. (NTS)



<b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b> <b>CITY REVITALIZATION PROGRAM (CRP)</b> <b>Section 106 NHPA Effect Determination</b>	
<b>Subrecipient:</b> Municipality of Vieques, PR	
<b>Project Name:</b> Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques ( <i>Improvements to the Vieques Public Square</i> ) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario ( <i>Market Square for Social and Community Transformation</i> ) (School)	
<b>Project Number:</b> PR-CRP-000807 & PR-CRP-001111	

### Identification of Historic Properties – Archaeology

Its name is derived from the island's Taino name, **Bieque**, (Bi- small and Ke- land) meaning “small land”. The Indians who inhabited the island at the time of colonization were led by the caciques Cacimar and Yaureibo. In 1514, both caciques led revolts against the Spanish on the east coast of Puerto Rico. Cacimar died in the fighting and, eventually, Yaureibo was defeated on Vieques by a Spanish expedition that enslaved all the surviving Tainos. However, the Spanish did not colonize Vieques immediately, so that, during the seventeenth and eighteenth centuries, this territory was the object of multiple colonization attempts by several European countries.

The French were the first to occupy the island. They were expelled by the English in 1647. In 1666, the English, who called the island "Crab Island", tried to settle in Vieques, but the Spanish, too, expelled them. The English tried in 1718 to settle on the island once again but were again defeated by the Spanish. In 1752 the Danes created a small settlement that was also destroyed by the Spanish. It was not until the early nineteenth century that the Spanish government began to secure the territory. In 1811, under the leadership of Commander Juan Rosselló, the first Spanish settlement was created in Vieques territory, which, at that time, was not part of Puerto Rico. In 1816, the Liberator of America, Simón Bolívar, after being defeated in Venezuela, landed in Vieques in route to Haiti. His boat went almost unnoticed because it was thought to be a ship of corsairs or pirates, which stopped on the island constantly.<sup>1</sup> Through the Royal Decree of Grace of 1815, the crown granted certain freedoms related to trade, immigration, and taxes to avoid possible separatist movements in Puerto Rico, as they had already occurred in other colonies. By allowing immigration, many French landowners settled in Puerto Rico and Vieques, fleeing the revolutionary atmosphere of the French colonies. One of these, Teófilo José Jaime María Le Guillou, was appointed governor of the island of Vieques in 1832 by Santiago Méndez Vigo, the governor and lieutenant general of Puerto Rico. Vieques was not yet part of the Big Island (of the island territory of Puerto Rico). In 1843, under the leadership of the second military governor of Vieques, Francisco Sainz, the town of Isabel II was officially founded. Vieques was formally annexed to Puerto Rico in 1864 and was declared a free port in 1880, the year in which a customs office was installed. During the second half of the nineteenth century, the Vieques economy prospered thanks to the sugar industry. On the island of Vieques, several sugar mills were established, many of them French-owned. Some of the most important were Arcadia, Esperanza, Playa Grande, Resolution, Santa Elena, and Santa María. Some of these names are part of the Vieques toponymy, which identify neighborhoods and sectors of the island. The island's sugar industry experienced a marked decline during the 1920s and 1930s, forcing many of the workers to move to the Big Island (Puerto Rico) and Santa Cruz. In 1941, the U.S. Congress passed a series of laws that ordered the creation of a military base on Vieques, for which they expropriated 21,013 acres of the 33,649 that make up the island. This caused the closure of Central Playa Grande, the main

<sup>1</sup> <https://nuestropuertorico.com/municipios/vieques/>  
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source of work for the Viequesenses, and the relocation of 700 families to the center of the island, which would be known as the civilian area.<sup>2</sup>

The construction of the base generated many jobs, but once completed, the economic situation of civilians became difficult. Between 1945 and the mid-sixties, attempts were made, in vain, to re-establish the agricultural industry in the civilian sector. In the 1960s and 1970s, the economy was transformed into an industrial one. In 1969, General Electric was established in Vieques and is still in operation. In the decades following the Navy's arrival on Vieques, the island's inhabitants staged protests to the presence of the U.S.A. Navy in the island and the expropriation of land. In 1999, after the death of the civil guard, David Sanes, during a military shooting practice, a civil disobedience movement began. Citizens of Vieques and Puerto Rico began storming the firing zone by sea and land to stop military exercises. In May 2003, the Navy left Vieques lands. Most of the unoccupied territory was designated a National Wildlife Refuge, which is under the administration of the U.S. Fish and Wildlife Service. At present, the Vieques economy is based mainly on tourism and, to a lesser extent, on commercial fishing, beef cattle ranching and agriculture of ornamental plants, minor fruits, and vegetables. General Electric continues to be an important source of employment on the island.<sup>3</sup>

### Archeology - Vieques Public Square

The historical plans show the Plaza Publica Luis Munoz Rivera was inserted into the urban grid in 1850, just seven years after the town of Isabel Segunda was founded. Claudio Coello's 1850 plan shows an urban grid completed up of 14 streets that formed about 11 blocks (Figure 02).<sup>4</sup> "The eccentric Plaza is located on the southeast side of the Urban layout."<sup>5</sup> This plan shows the defined rectangular space of the Main Plaza without annotation of existing constructions or designs inside the public space of the square. The Plan of Isabel Segunda sketch from Vieques, 1887 shows the defined rectangular space of the Main Plaza with a "pozo" define in the central area of the "Plaza" (Figure 03). This well is the entrance to the "aljibe" that is located under the square. The cistern structure was built in 1869 and it seems to still be preserved under the Luis Muñoz Rivera Square.

"The Plaza de Recreo is not merely a place to be, it has under itself an immense cistern that was the main source of water supplies in the era before the modern aqueducts."<sup>6</sup>

<sup>2</sup> Ibid.

<sup>3</sup> Ibid.

<sup>4</sup> Sepúlveda Rivera, Aníbal, Puerto Rico Urbano CARIMAR, Vol. II. Page 182

<sup>5</sup> Ibid. Page 182.

<sup>6</sup> Ortíz Colom, Jorge,

[https://www.academia.edu/10279993/La\\_importancia\\_del\\_patrimonio\\_hist%C3%B3rico\\_edificado\\_en\\_la\\_isla\\_de\\_Vieques](https://www.academia.edu/10279993/La_importancia_del_patrimonio_hist%C3%B3rico_edificado_en_la_isla_de_Vieques)  
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Figure 02: Contours Isabel Segunda, 1850, Atlas of Spain, Claudio Coello. Project sites in red.<sup>7</sup>



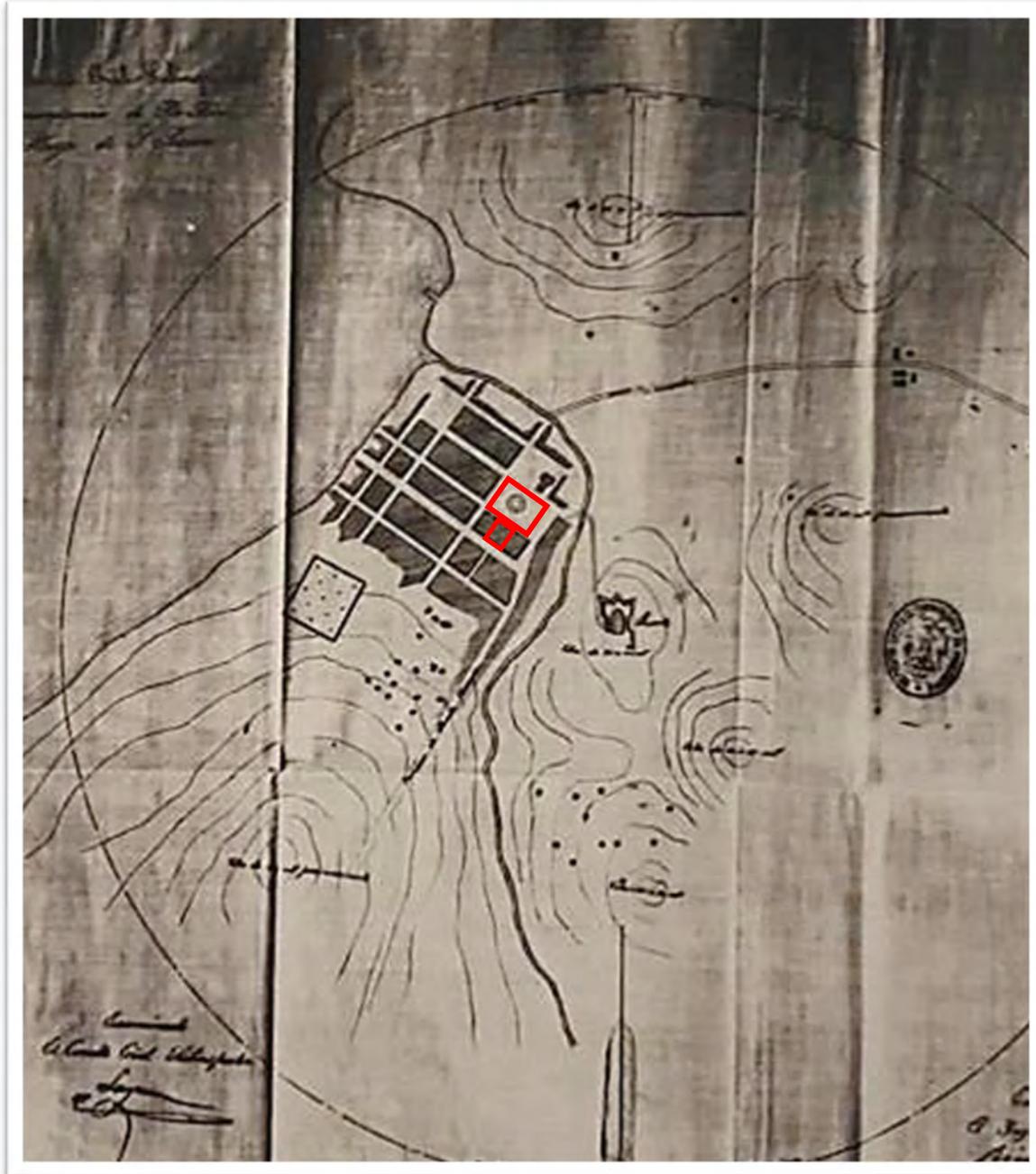
<sup>7</sup> Sepúlveda rivera, Aníbal, Puerto Rico Urbano CARIMAR, Vol. II. Page 182.  
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Figure 03: Plano Isabel Segunda croquis de Vieques, 1887. José Lagunas. Project sites in red<sup>8</sup>



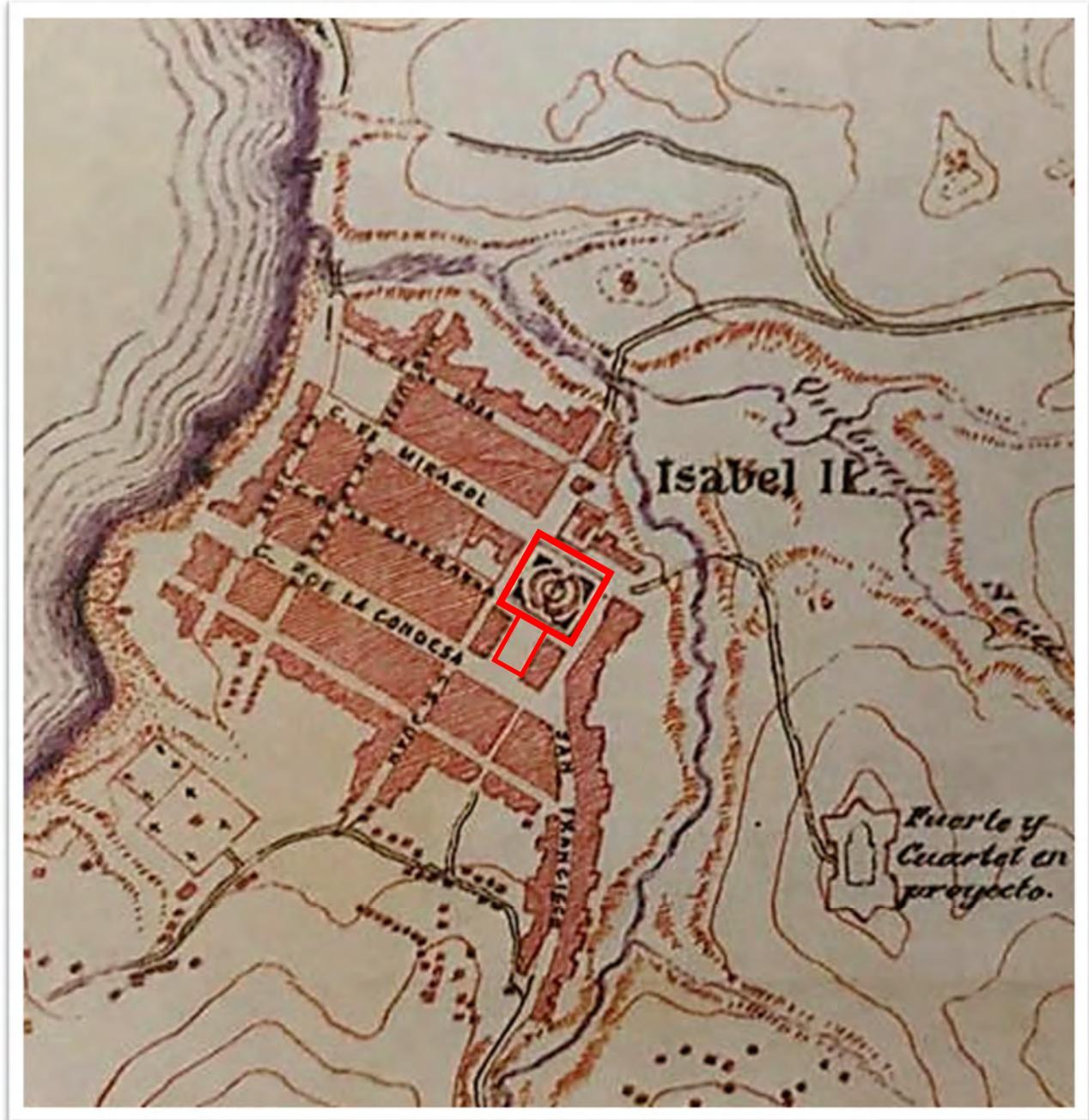
<sup>8</sup> Sepúlveda rivera, Aníbal, Puerto Rico Urbano CARIMAR, Vol. III. Page 444.  
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Figure 04: Plano de los alrededores de Isabel II, de Vieques, 1893. AGPR. Project sites in red.<sup>9</sup>



<sup>9</sup> Sepúlveda rivera, Aníbal, Puerto Rico Urbano CARIMAR, Vol. III. Page 445.  
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Figure 05: Plano de Isabel Segunda, 1898, Armando Morales, AGPR. Project sites in red <sup>10</sup>



<sup>10</sup> Sepúlveda rivera, Aníbal, Puerto Rico Urbano CARIMAR, Vol. III. Page 446.  
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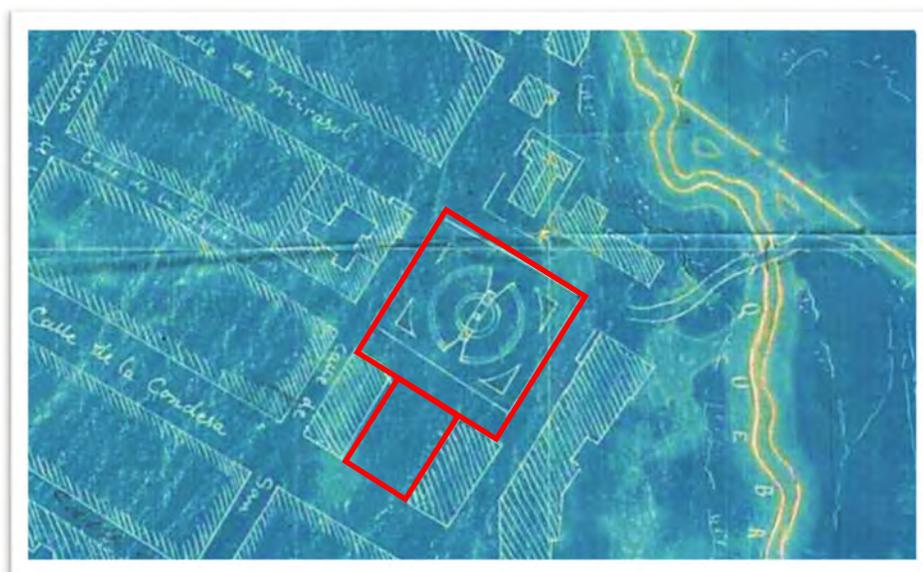
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The 1887 plan by Jose Lagunas (Figure 03), points to the existence of the well structure in the central space of the Plaza. This structure is displaced from the center of space to the west of the Plaza esplanade. In the plans of Isabel II of 1893 and 1898, the details of the pattern of the original design of the Plaza Publica de Vieques are clearly observed (Figure 04, 05 and 06). Below, a 1900 blueprint made by the American government using information of an 1845 map, showing the plaza and the well already built (Figure 07), can be viewed.<sup>11</sup>

Figure 06: Detail of the design for the Public Plaza in 1893.

Figure 07: Fragment of a 1900 blueprint of Vieques island based on a Spanish map of 1845. Please observe the town square is delimited and the well and associated structures were built.<sup>12</sup>



<sup>11</sup> Sepúlveda rivera, Aníbal, Puerto Rico Urbano CARIMAR, Vol. III. Page 446.

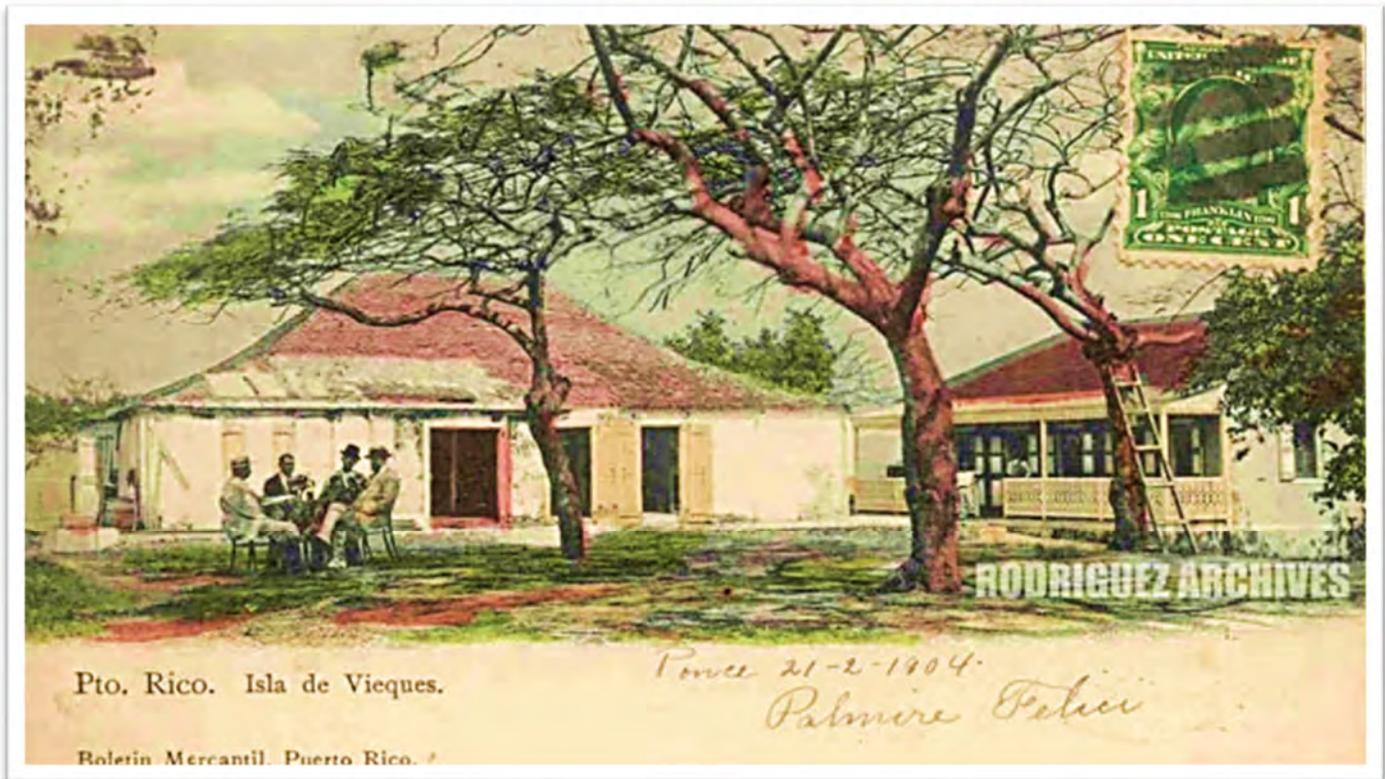
<sup>12</sup> Source General Archive of Puerto Rico, Vieques Island Land belonging to the town according to 1845 map.  
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Figure 08: 1904 Vieques Postcard showing people gathered at Vieques Town Square. Historical and Photographic Archive of Puerto Rico.



This 1904 photograph shows that the Main Square of Isabel Segunda consisted of a simple embankment with some trees to provide shade to comfort the visitors.<sup>13</sup>

<sup>13</sup> Source Historic and Photographic Archive of Puerto Rico.  
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Figure 09: This 1909 photograph shows the details of the design and structure of the well of the Plaza de Isabel Segunda in Vieques. The Plaza continued as an embankment until the 1920s.<sup>14</sup> In the aerial photograph of 1936 the Plaza de Isabel Segunda is already paved.



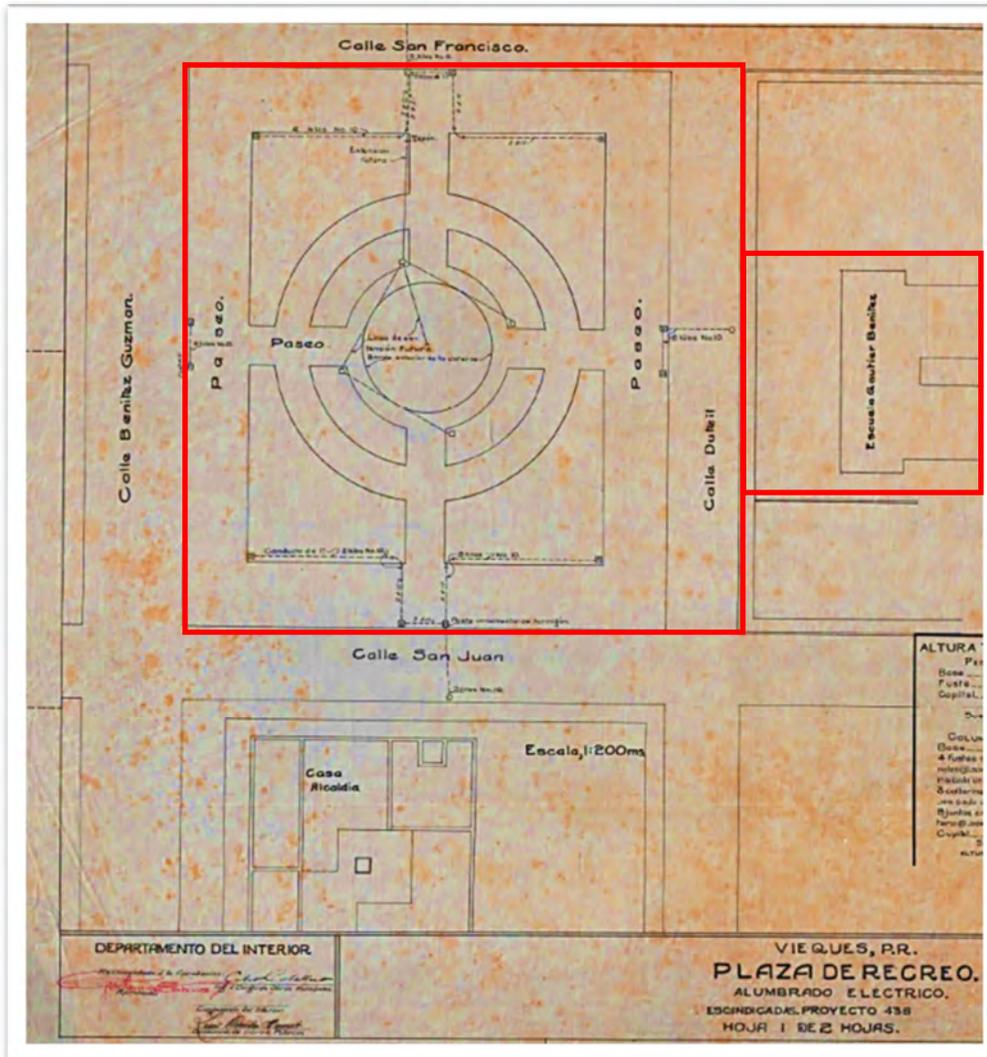
<sup>14</sup> Source Historic and Photographic Archive of Puerto Rico.  
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Figure 10: A 1919 Department of the Interior project for "Plaza de Recreo Electric Lighting", AGPR. The aerial photograph of 1936, shows the new design of the Plaza de Recreo.



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Figure 11: Photograph of the Vieques Public Plaza in c.1940.<sup>15</sup> A concrete structure was later constructed at the center of the plaza as a gathering space.



<sup>15</sup> Villar Roces, Mario, Los Municipios de Puerto Rico, La Gran Enciclopedia de Puerto Rico, Madrid: Forma Grafica S.A. 1976. Page. 386. 606 Barbosa Avenue, Building Juan C. Cordero Dávila, Río Piedras, PR 00918 | P.O. Box 21365 San Juan, PR 00928-1365  
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Figure 12: Photograph of the Vieques Public Plaza in 1957. Photography in Archive, Historical Archive of Puerto Rico, ICP. Photo Archive. This central structure suffered changes over time until its demolition in the early 2000's when a new design was implemented.



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Figure 13: Vieques Public Plaza, 2023. The intervention in early 2000’s changed Vieques Plaza’s configuration. Refer to the architecture description below for additional information regarding this intervention.



### Archeology - Jose Gautier Benitez School, 1907

Vieques Public School corresponds to the period of Early American Colonial period of the XX Century. The school was designed by Antonin Nechodoma. The school was built in 1907 and was repaired in 1919 by architect Adrian C. Finlayson (Figures 13 and 14).

“The Vieques Public School – J. Gautier Benitez, was designed by renowned Czech architect and Puerto Rico resident, Antonin Nechodoma and, built by F.B. Hatch, in 1907 (plaque on façade) in Neo-Classical style, typical of this historic period in Puerto Rico. Early 20th century schools, Americanization of Schools following the United States public school system. The National Register nomination of The Early 20th Century Schools in Puerto Rico Multiple Property Submission addresses the buildings that best represent the Commonwealth of Puerto Rico’s public school building efforts from 1900 to 1930. Upon taking charge of Puerto Rico at the dawn of the 20th century, the United States immediately understood the potential of education as a vehicle for effectively transmitting knowledge, as well as political and social ideas and ideals. Despite the relative rush to build so many new education facilities, many turned out to be

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outstanding architectural examples. With the construction of these schools during this period, the United States government made its presence felt in Puerto Rico and have proven to be some of its most lasting.”<sup>16</sup>

The Jose Gautier Benitez School was designed by Architect Antonín Nechodoma was borne in Prague, Czech Republic in 1877. He settled in Puerto Rico where he was very successful in his practice of architecture. Nechodoma designed structures of varied architectural influences,<sup>17</sup> The José Gautier Benítez school, built in 1907 was designed by Nechodoma in the neoclassical style.

Figure 14: Vieques Public School, P.R., Antonin Nechodoma, architect. F.B. Hatch, builder / A. Moscioni photo, ca.1907. Photograph. <https://www.loc.gov/item/90710366>



<sup>16</sup> Retrieved 12/02/2019 from, [https://www.nps.gov/nr/feature/school/2012/Early\\_20th\\_Century\\_Schools.htm](https://www.nps.gov/nr/feature/school/2012/Early_20th_Century_Schools.htm)

<sup>17</sup> <http://aacuprinvestigacion.blogspot.com/2009/09/ane-coleccion-antonin-nechodoma.html>

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Figure 15: José Gautier Benitez School, Vieques, Puerto Rico, main façade.<sup>18</sup>



“Facing the Vieques town plaza are the church, the institutional neoclassical schools, erected in the early years of the 20th century: Vieques Public School 1907, Victor Duteil School 1911 and, Eugenio Maria de Hostos School, the city hall, the first post office, among others. The schools follow the traditional design elements, with wide pediments, symmetry of facade and simple distribution of spaces in rooms on each side of their hallways.”<sup>19</sup>

<sup>18</sup> FEMA Site Visit Report (04/12/2018), ICF, Programmatic Agreement Analysis Report DRS Site Code / Project Name: 0026 Public School – Jose Gautier Benitez, Vieques, PR.

<sup>19</sup> 5 Jorge Ortiz Colom. La Importancia del Patrimonio Cultural en la Isla de Vieques.

///C:/Users/50390/Downloads/La\_importancia\_del\_patrimonio\_historico.pdf.

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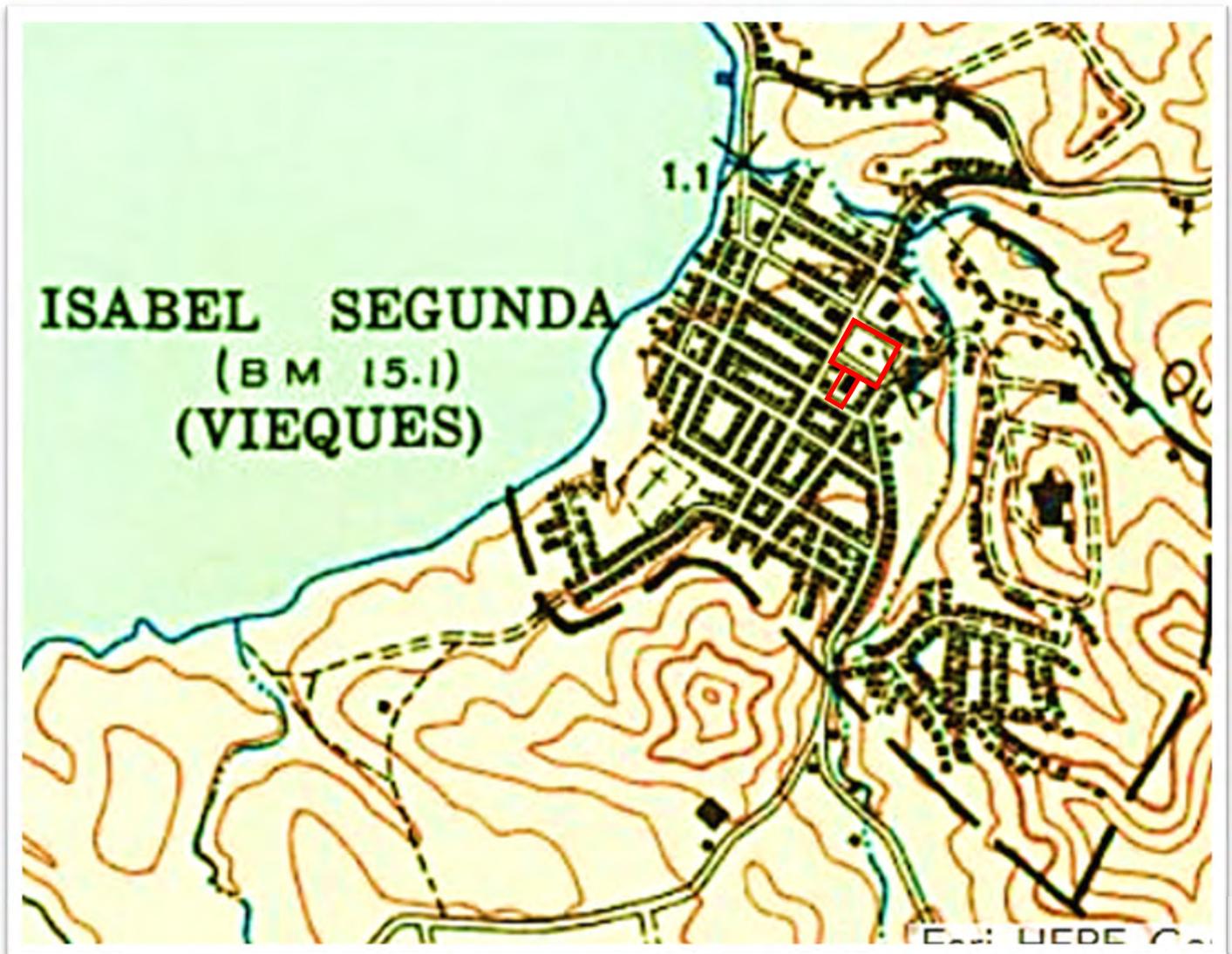
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### Analysis de Aerial Photographs and Historic Quadrangles.

Figure 16: Topographic Quadrangle 1943.<sup>20</sup> Project sites in red.



<sup>20</sup> [USGS Historical Topographic Map Explorer \(arcgis.com\)](https://explorer.arcgis.com/)

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Figure 17: Topographic Quadrangle 1951.<sup>21</sup> Project sites in red.



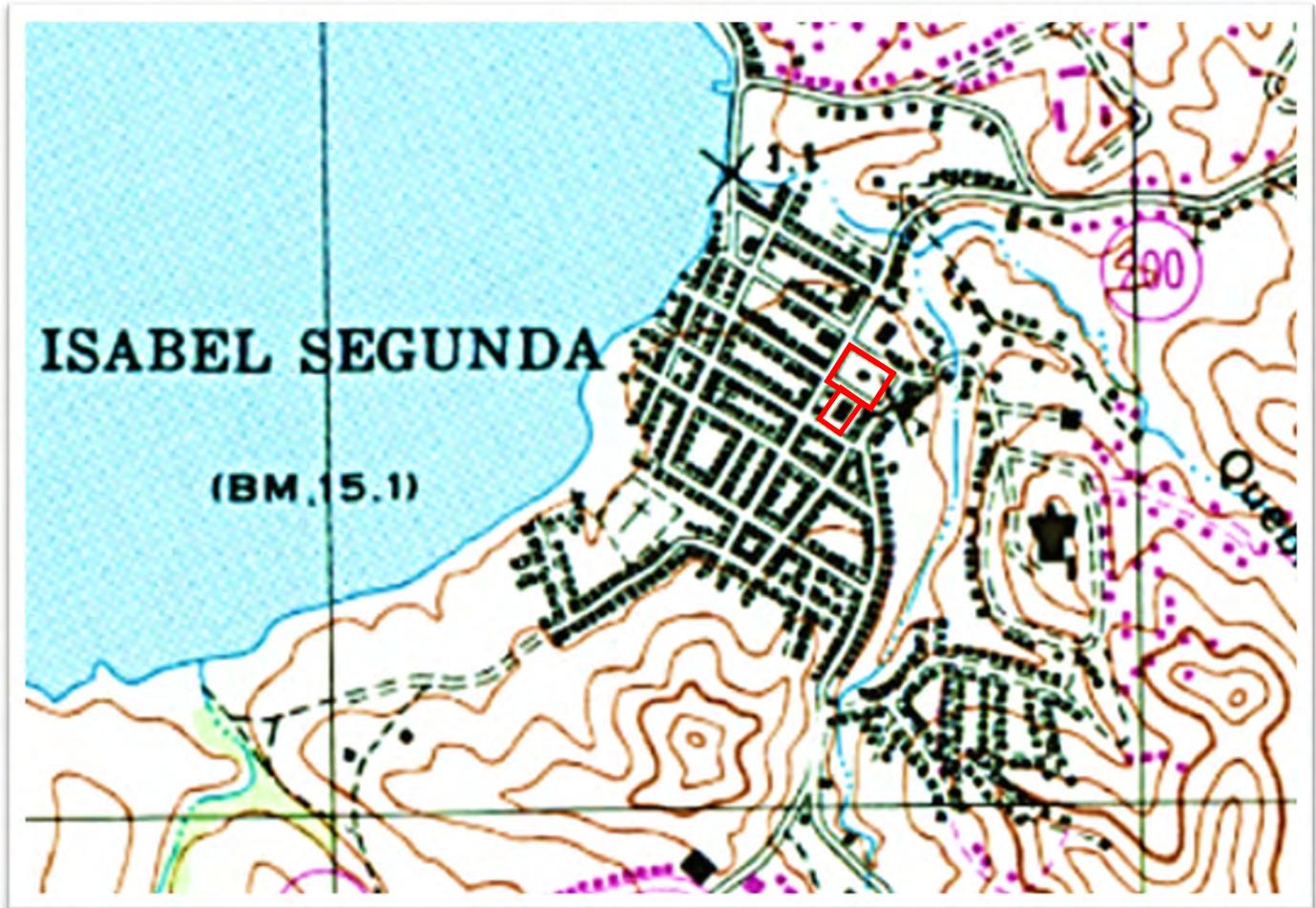
<sup>21</sup> [USGS Historical Topographic Map Explorer \(arcgis.com\)](https://arcgis.com)

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Figure 18: Topographic Quadrangle 1982.<sup>22</sup> Project sites in red.



<sup>22</sup> [USGS Historical Topographic Map Explorer \(arcgis.com\)](https://explorer.arcgis.com/)

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Figure 19: Aerial photograph 1936. Photogrammetry, DTOP. Project sites in red.

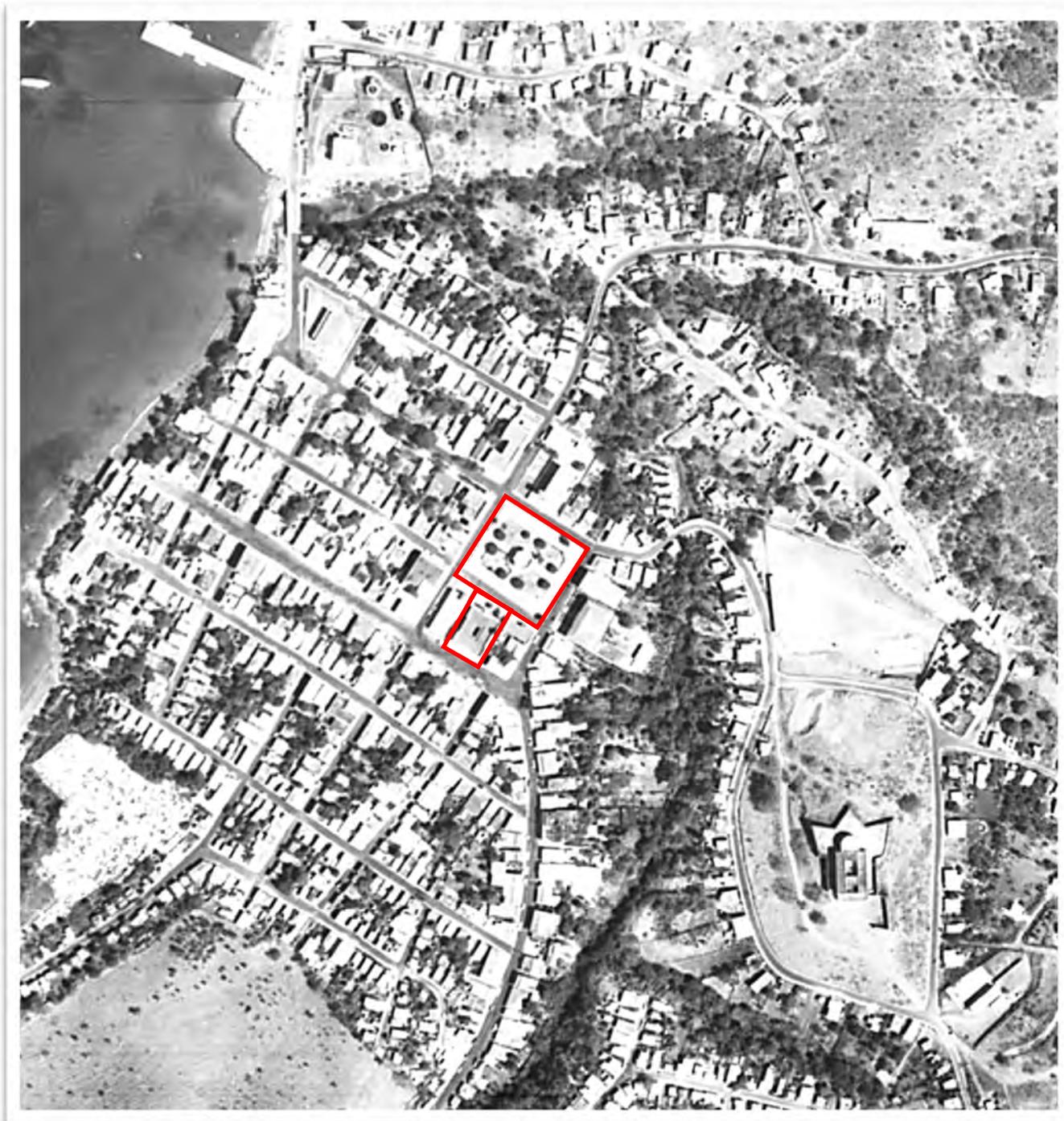


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Figure 20: Aerial photograph 1967. Photogrammetry, DTOP. Project sites in red.



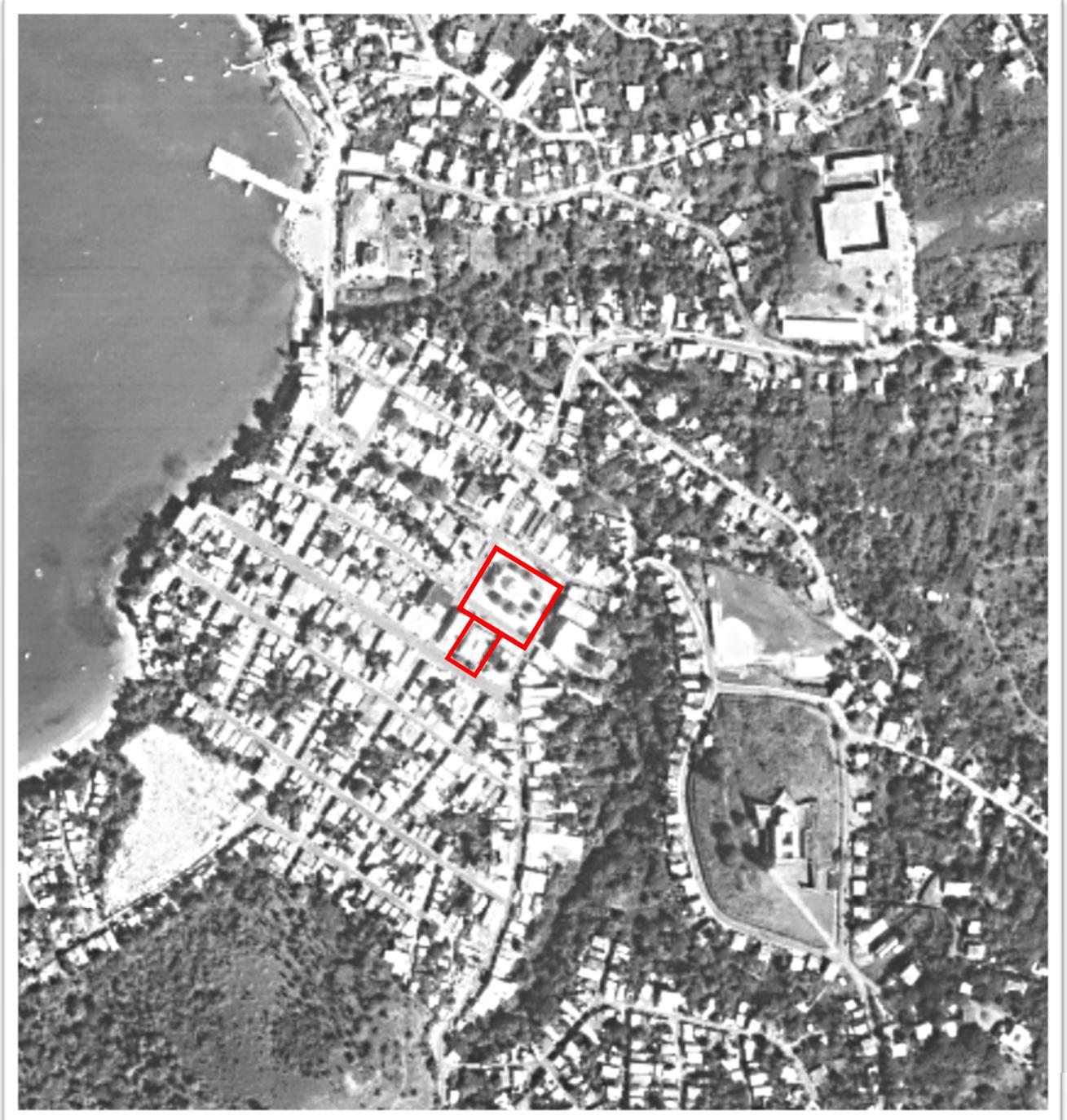
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Figure 21: Aerial photograph 1980. Photogrammetry, DTOP. Project sites in red.

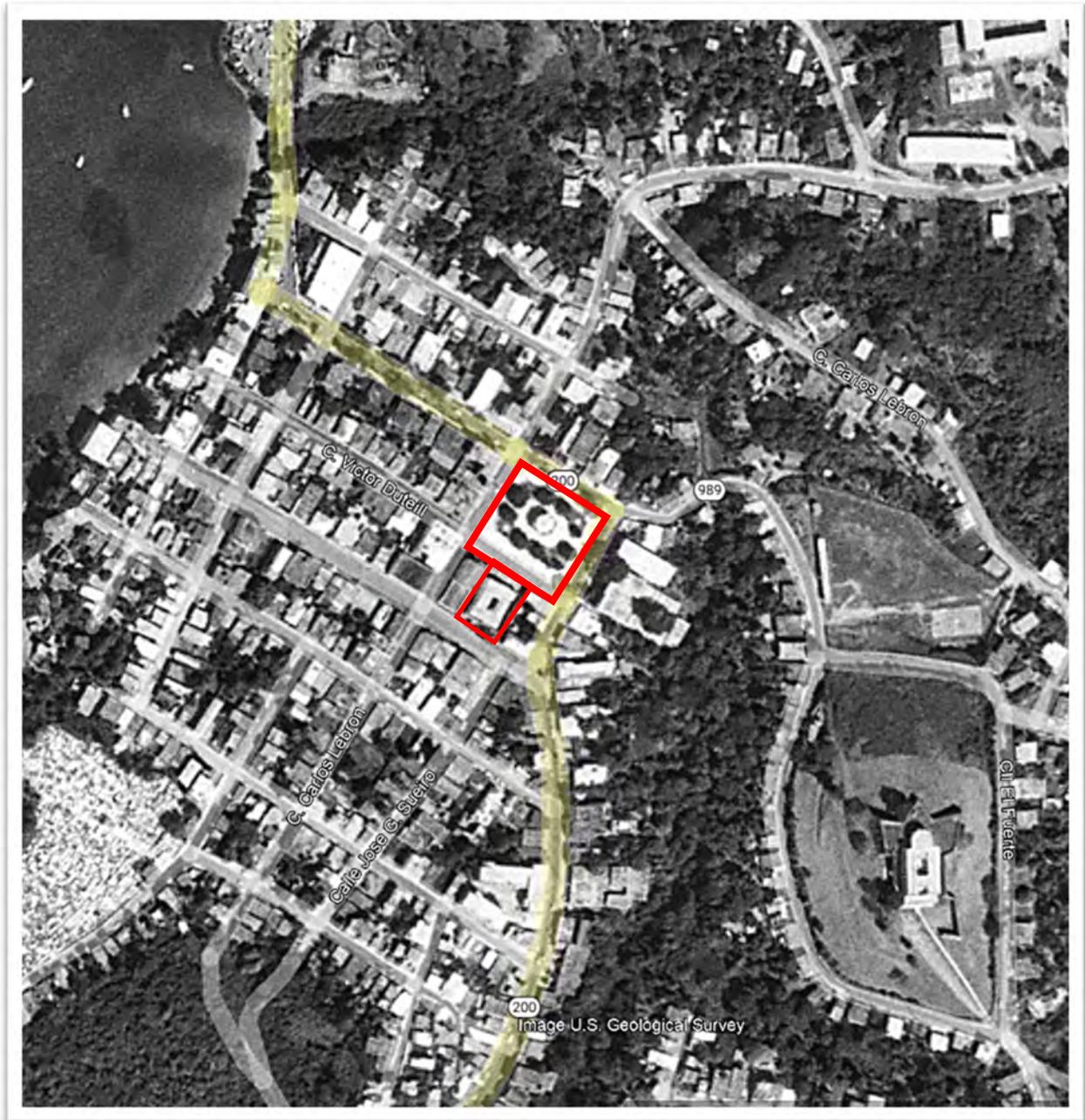


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Figure 22: Victor Duteil School 1911, Aerial photo 1994, Google Earth. Project sites in red.



**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

Figure 23: Aerial photograph 2023, Google Earth. Project sites in red.



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<b>Subrecipient:</b> Municipality of Vieques, PR	
<b>Project Name:</b> Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques ( <i>Improvements to the Vieques Public Square</i> ) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario ( <i>Market Square for Social and Community Transformation</i> ) (School)	
<b>Project Number:</b> PR-CRP-000807 & PR-CRP-001111	

The topographic quadrangles of 1943, 1951 and 1982 (Figures 16-18) show the area of the Main Square of Isabel Segunda as an empty space with a “gazebo” element in the center of the public square. However, the record of the aerial photographs (Figures 19-23) of the Main square parcel shows evidence of at least four different arrangements in the Plaza occurring between 1936 and 2023. As evidenced by the photograph of the Plaza de Isabel Segunda in Vieques in 1957, a single decorative “gazebo” is present for the most part of the twentieth century (Figure 12).

### Archaeological Cultural Resources

The municipality of Vieques has identified some 357 pre-Columbian sites in the PR-SHPO lists. Of these deposits, two are located towards the southwest of the urban area of Vieques. The closest deposit to the APE project V10100001 Monte Santo. This deposit is located 0.8522 miles southwest of the project. The second closest site to the project is V10100002 Martineau I. It is located 1.8560 miles southwest of the project (Figure 28). Both archaeological sites are located more than 0.5 miles from the project APE.

Most of the cultural resources located near the APE of the project correspond to Institutional Historic Buildings located around the Main Square of Isabel Segunda town, others are residences. Refer to Appendix “I. APE Inventory” for a detailed description of these properties.

Other historic cultural resources of Vieques Island outside of the direct or indirect APE, that are individually listed properties, included in the National Register of Historic Places (NRHP) and in the PR’s Register of Historic Districts and Sites at PR’s Planning Board are:

1. **Vieques Lighthouse** - Attached to State Highway #38; (17/NOV/77); 77001551.
2. **Fort of the Count of Mirasol** - Fort of Vieques; Del Fuerte Street; (18/NOV/77); 77001552.
3. **Hacienda Casa del francés** - Located northwest of Esperanza; (18/NOV/77); 77001548.<sup>23</sup>
4. **Casa de Rafael Acevedo** - {Acevedo, Rafael, House}; Calle Victor Duteil Calles San José y Baldorioty, Isabel Segunda; (17/MAR/94); 94000249.
5. **Casa de Jaime Puig Lemoine**; Calle 65 de Infantería #161, pueblo de Isabel Segunda; (14/ABRIL/94); 94000363.
6. **Las Tumbas de J.J. María Le Guillou**; Calle Santa María #200, cerca del pueblo de Isabel Segunda; (26/AGOS/94); 94000923).

Four positive archeological studies were documented within a ¼ mile of the project APE. (Refer to Table 1) These are, 1. School of Fine Arts and Archeological Center, 2. Relocation of plant and conversion to HC of the urban area of the town of Vieques, 3. Rehabilitation of Plaza Luis Muñoz Rivera, Vieques, P.R., 4. Rehabilitation of Plaza Luis Muñoz Rivera, Vieques, P.R. All these archeological studies were done by archeologist Virginia Rivera, each one with positive results of archeological resources.

<sup>23</sup> <https://www.caappr.org/caappr2021/wp-content/uploads/2021/05/Listado-propiedades-historicas-OECH-RNLH.pdf>  
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**Table 1: Archaeological Reports in a 0.25-mile radius of the PAE.**

Project name	Phase	Archaeologist	Results	Distance to the Project APE
1. Coliseum Nelson Dieppa  ICP/CAT/PAE  IV-03-06-03	Phase IB	Virginia Rivera	Negative	0.13608 miles (219 meters)
2. School of Fine Arts and Archaeological Center  ICP/CAT/PAE  IV-06-13-06	Phase IA	Virginia Rivera	<b>Positive</b> Recommend Archaeological Monitoring	0.055923 miles (90 meters)
3. Relocation of plant and conversion to HC of the urban area of the town of Vieques  ICP/CAT/PAE  IV-07-15-04	Monitory	Virginia Rivera	<b>Positive</b> Archaeologist V. Rivera recommends Archaeological Monitory for all excavations carried out in the Urban Center of Isabel Segunda.	0.062137 miles (100 meters)
4. Rehabilitation Plaza Luis Muñoz Rivera Vieques, P.R.  PR-SHPO 04-03-02-03  (July 21, 2023)	Phase IA	Virginia Rivera	<b>Positive</b> The investigation concludes that Plaza Luis Muñoz Rivera presents a historical and urban integrity. Recommends a Phase IB.	0.00 miles
5. Rehabilitation Plaza Luis Muñoz Rivera Vieques, P.R.  The original Monitory Report was not found in PR-SHPO or ICP/CAT/PAE archives.  (July 21, 2023)	Monitory	Virginia Rivera	<b>Positive</b>	0.0 miles

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Detailed information found of two of these archaeological studies with positive results conducted on the 1/4-mile radio of the project APE are:

**PR-SHPO 04-03-02-03 Phase IA. Rehabilitation Plaza Luis Muñoz Rivera Vieques, P.R.** The study was conducted by archaeologist Virginia Rivera Calderón in 2003. The original Archaeological Report was not found in PR-SHPO or ICP/CAT/ PAE archives. The study results point to a high possibility of archaeological remains in the Plaza Luis Munoz Rivera. The investigation concludes that the Plaza Luis Muñoz Rivera presents historical and urban integrity and Rivera recommends Phase IB.<sup>24</sup>

**ICP/CAT/PAE IV-07-15-04: Archaeological Monitory. Relocation of plant and conversion to HC of the urban area of the town of Vieques.** As a result of this archaeological monitoring, elements associated with the Spanish colonial period and elements associated with the pre-Columbian indigenous period were detected. The study was conducted by archaeologist Virginia Rivera Calderón in 2007. The project of underground telephone lines was conducted on Prudencio Quiñones Street, Luis Muñoz Rivera Street, and Carlos Le Brum Street. During the archaeological monitoring process, a total of nine (9) spots located on Le Brum Street were documented. These spots correspond to a concentration of elements of "socos" associated with pre-Columbian indigenous houses or structures. The evidence points to an indigenous settlement area in this sector of the town of Isabel Segunda. Between the spots of "socos" 8 and 9, an oval mark was detected, which could be associated with a possible burial. "By exposing the mark, inside we identified fragments of bones, fragments of indigenous pottery, and charcoal. The group was identified as Element 1".<sup>25</sup> It was later confirmed that Element 1 was an area impacted by a previous excavation and that the materials it contained were out of context. Nevertheless, these findings are of great archaeological importance since it is the first time that possible remains of an area of indigenous habitation have been detected in the town of Isabel Segunda on the island of Vieques.

In addition to the pre-Columbian archaeological site, other American colonial elements were identified during the archaeological monitoring. A canal system of two-channel sections was identified.

<sup>24</sup> Archaeological Data base program of PR-SHPO.

<sup>25</sup> Rivera Calderon, Virginia, ICP/CAT/PAE IV-07-15-04: Archaeological Monitory. Relocation of plant and conversion to HC of the urban area of the town of Vieques. 2007. Page. 29.

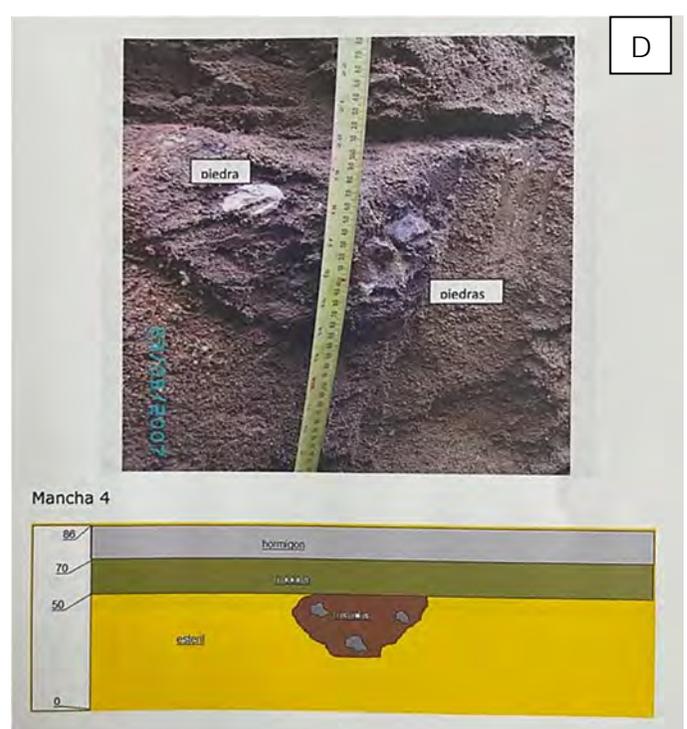
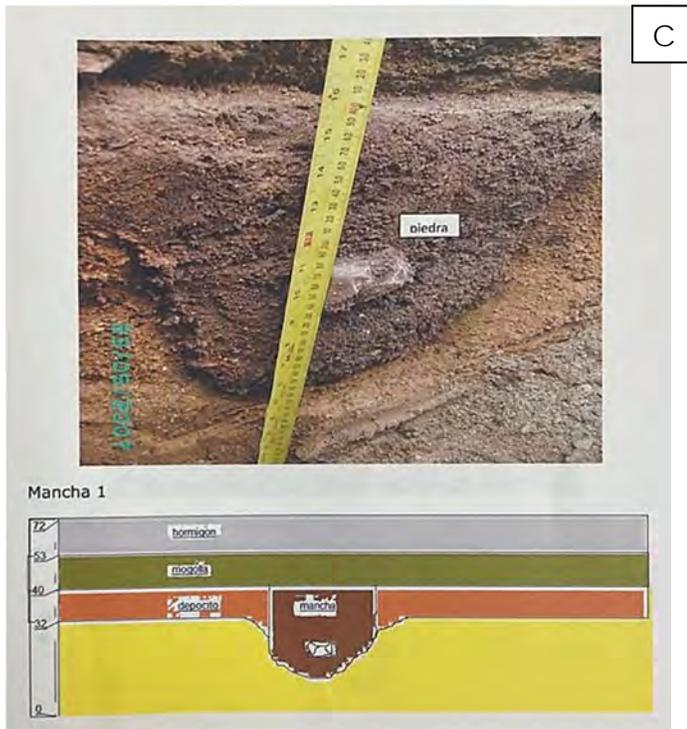
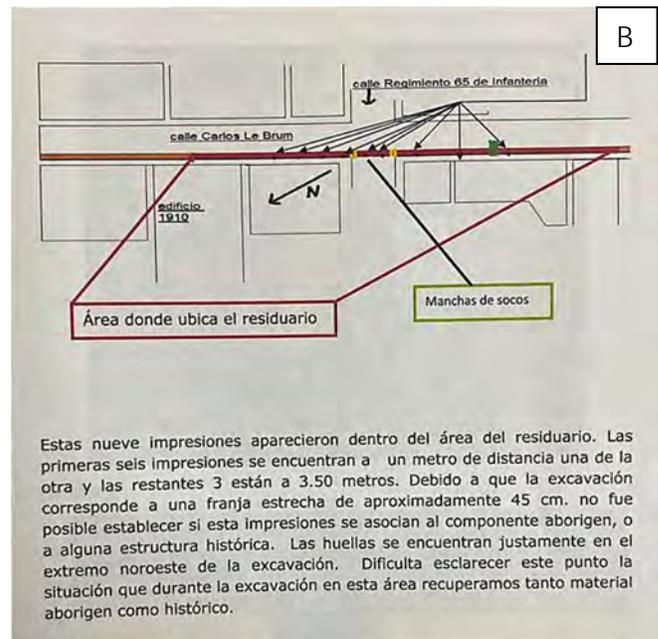
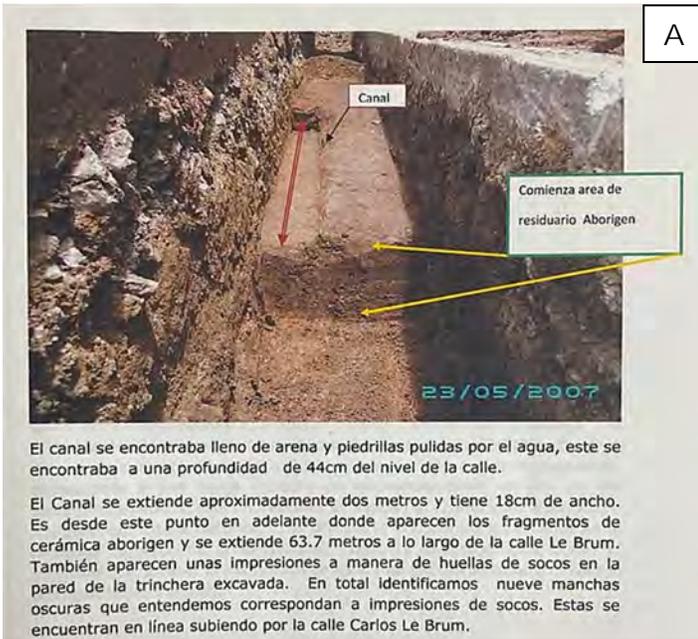
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Figure 24 (A, B, C, and D): Evidence of traces of pre-Columbian Socos detected in Brum Street, 2007.



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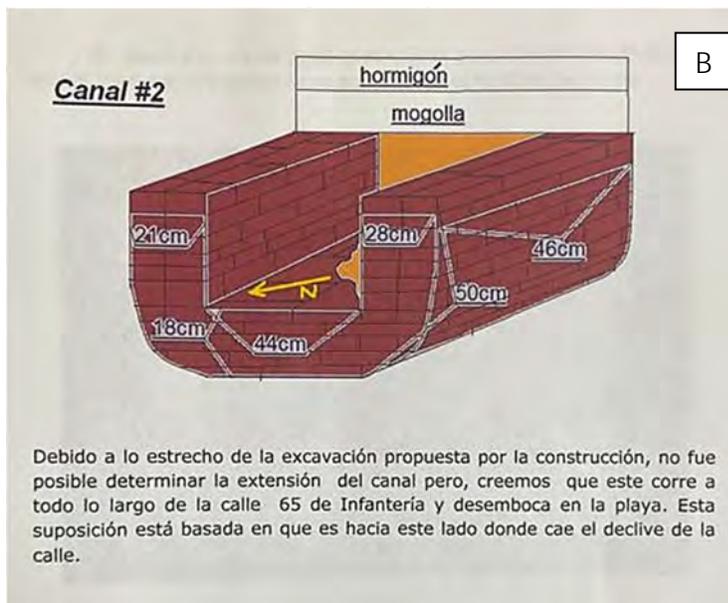
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Figure 25 (A, B, C, and D): Evidence of the colonial canal system detected in Brum Street, 2007.



A

El Canal #2, lo ubicamos al lado norte del cruce. Este está construido en ladrillo y argamasa. El canal ocupa un área de 93cm por 46. Fue impactado con anterioridad durante la construcción de las aceras del pueblo hace muchos años atrás. El mismo se encuentra hoy debajo de un estrato de relleno de mogolla.



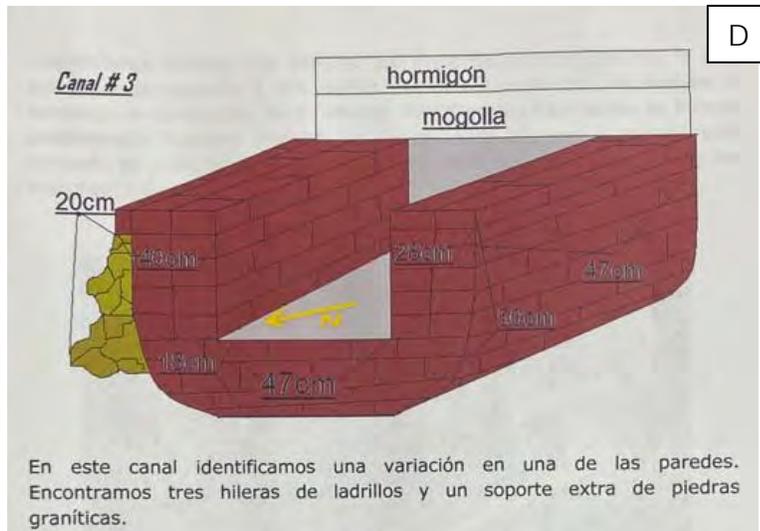
B

Debido a lo estrecho de la excavación propuesta por la construcción, no fue posible determinar la extensión del canal pero, creemos que este corre a todo lo largo de la calle 65 de Infantería y desemboca en la playa. Esta suposición está basada en que es hacia este lado donde cae el declive de la calle.



C

El Canal #3, es de igual construcción pero al otro lado de la calle, este al igual que el segundo corre paralelo a la calle 65 de infantería.



D

En este canal identificamos una variación en una de las paredes. Encontramos tres hileras de ladrillos y un soporte extra de piedras graníticas.

Archaeologist Rivera points out the following conclusions.

... "Through these works, it was possible to locate and document even a portion of the prehistoric site Salem, located on the outskirts of the town of Vieques. Although with enough impacts it was possible to identify certain areas with some level of integrity."<sup>26</sup>

<sup>26</sup> Rivera Calderon, Virginia, ICP/CAT/PAE IV-07-15-04: Archaeological Monitory. Relocation of plant and conversion to HC of the urban area of the town of Vieques. 2007. Page. 42.

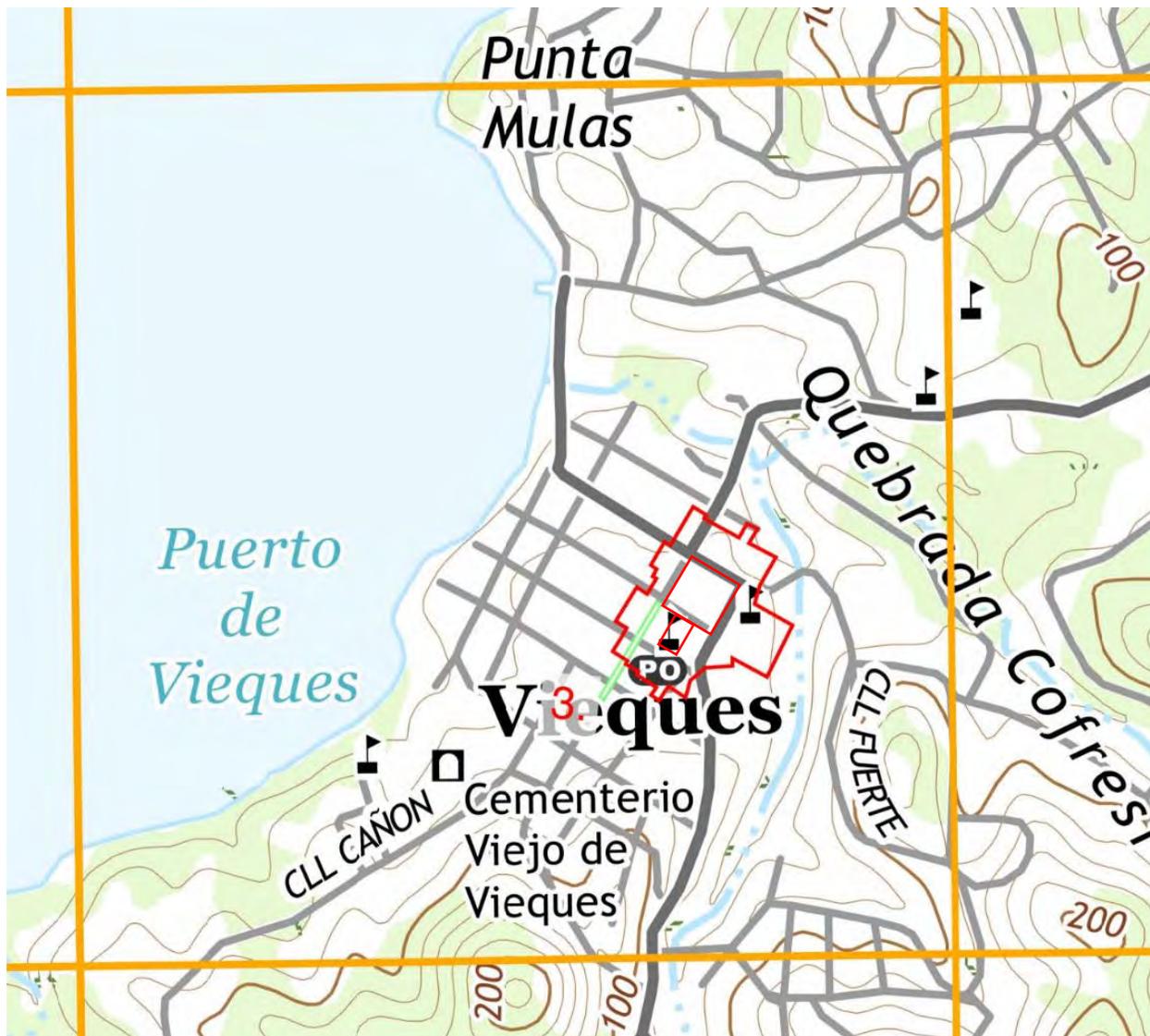
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Figure 26: Location of the positive monitory with Pre - Columbian archaeological remains (No. 3) at Brum Street near the Direct APE of the project; V. Rivera, 2007.<sup>27</sup>



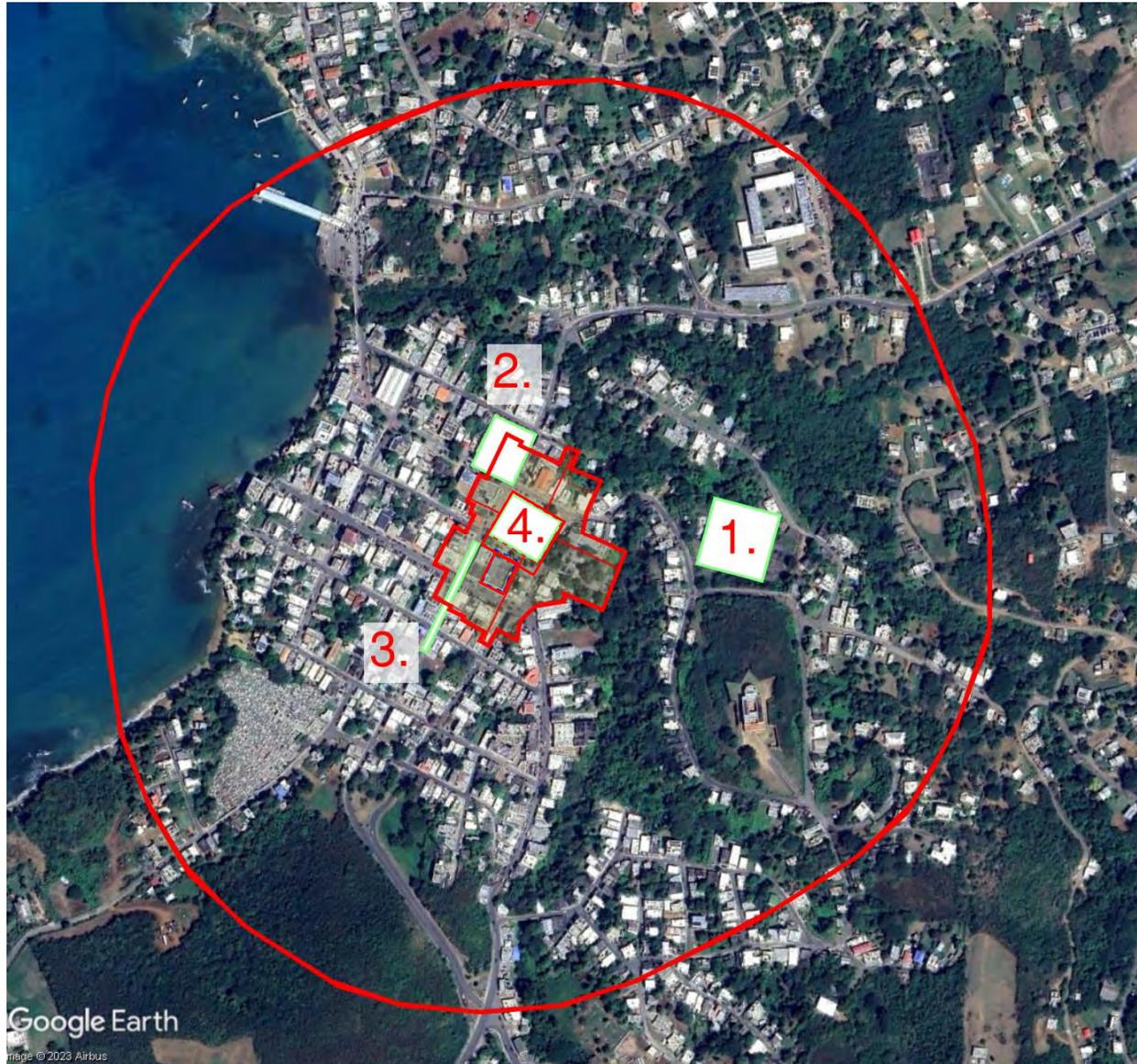
<sup>27</sup> Basemap source: 2018 (US Topo). [Get Maps | topoView \(usgs.gov\)](https://topoview.usgs.gov)  
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Figure 27: Location of the archaeological studies near the APE of the project (1/4-mile radio).



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Figure 28: Location of archaeological sites near the project APE, 0.25 miles radio.

Figure 28A

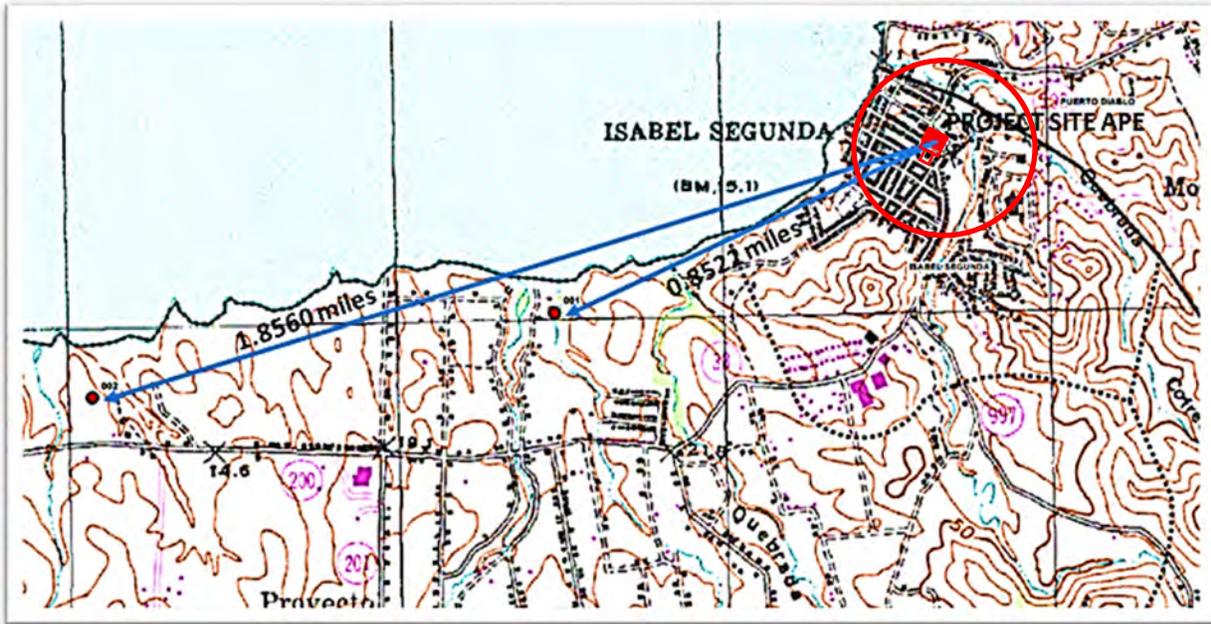
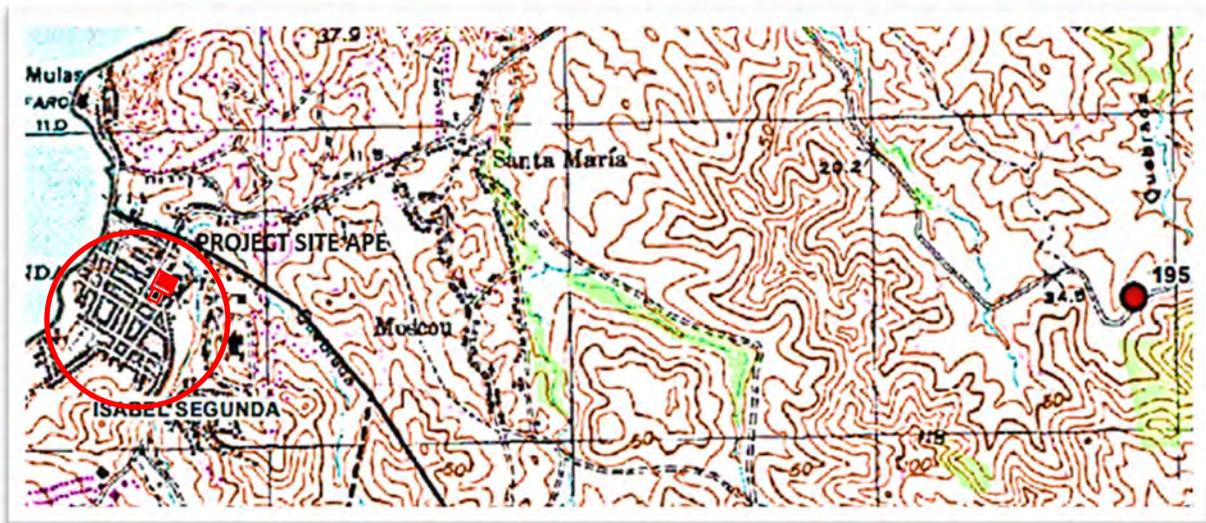


Figure 28B



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It is from the foundation of the town of Isabel Segunda in 1843 that, following the Spanish urban tradition, the initial urban grid of the town was established. Defining the blocks and streets that would form the urban grid was done by first defining the quadrangle corresponding to the central square. Historical evidence reveals that the Plaza of Isabel Segunda is at least 180 years old. The historic context of the square evidence that various interventions occurred during the Spanish and American colonial periods. The colonial well was intervened and closed before 1940. There is a high chance that some remains of this colonial structure, built in 1869, are still located under the level of the slab of the current square.

The historic and archaeological information reviewed indicates that the area where the project APE is located is an area of high archaeological sensitivity related to the cultural activities of the Spanish colonial and American colonial periods. Based on the confirmation by Architect Jorge Ortiz Colom that the Spanish colonial water well, built in the nineteenth century, is still preserved under the existing floor level.<sup>28</sup> Also, the results of the monitoring conducted in the urban center of Isabel Segunda have yielded positive results to colonial cultural contexts associated with the Spanish and American colonial period.

The proposed project at Vieques Public Square basically consists of improvements to the existing plaza design, constructions that require deep excavations (more than 6”) are contemplated. We recommended considering conducting selective archaeological monitoring during the project construction process to protect the cultural resources that remains in this historical context, the water well and, any other remnant evidence of the stages of construction of previous squares. Because there is a high chance that some remains of this colonial structure, built in 1869, are still located under the level of the slab of the Luis Muñoz Rivera Square, we understand that there is a need to recommend that selective archaeological monitoring be conducted during the construction process of the project.

José Gautier Benitez School is a historic building included as part of a thematic nomination in the National Register of Historic Places in Washington. The nomination corresponds to the Early American Colonial Schools of the 20th Century in Puerto Rico. The proposed project can impact contexts of architectural-historical and archaeological value to the extent that deep excavations are conducted during its rehabilitation. In addition, this 1907 historic building has been intervened on various previous occasions without archaeological studies. The most important resource to document in this project is the historic building itself. Based on the above, we understand that it is necessary to monitor all excavations and demolitions that the current project contemplates as part of the remodeling.

<sup>28</sup> Ortíz Colom, Jorge, La Importancia del Patrimonio Cultural en la Isla de Vieques. [https://www.academia.edu/10279993/La\\_importancia\\_del\\_patrimonio\\_hist%C3%B3rico\\_edificado\\_en\\_la\\_isla\\_de\\_Vieques](https://www.academia.edu/10279993/La_importancia_del_patrimonio_hist%C3%B3rico_edificado_en_la_isla_de_Vieques)

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## Identification of Historic Properties - Architecture

Existing information on previously identified historic properties has been reviewed to determine if any such properties are located within the APE of this undertaking. The review of this existing information, by a Program contracted Historic Preservation Specialist meeting the Secretary of the Interior’s Professional Qualification Standards (36 CFR Part 61) shows that the project area is within the boundaries of the National Register of Historic Places (NRHP)- eligible Traditional Urban Center. Also, various buildings within the APE were identified to be listed and eligible for listing to the National Register.

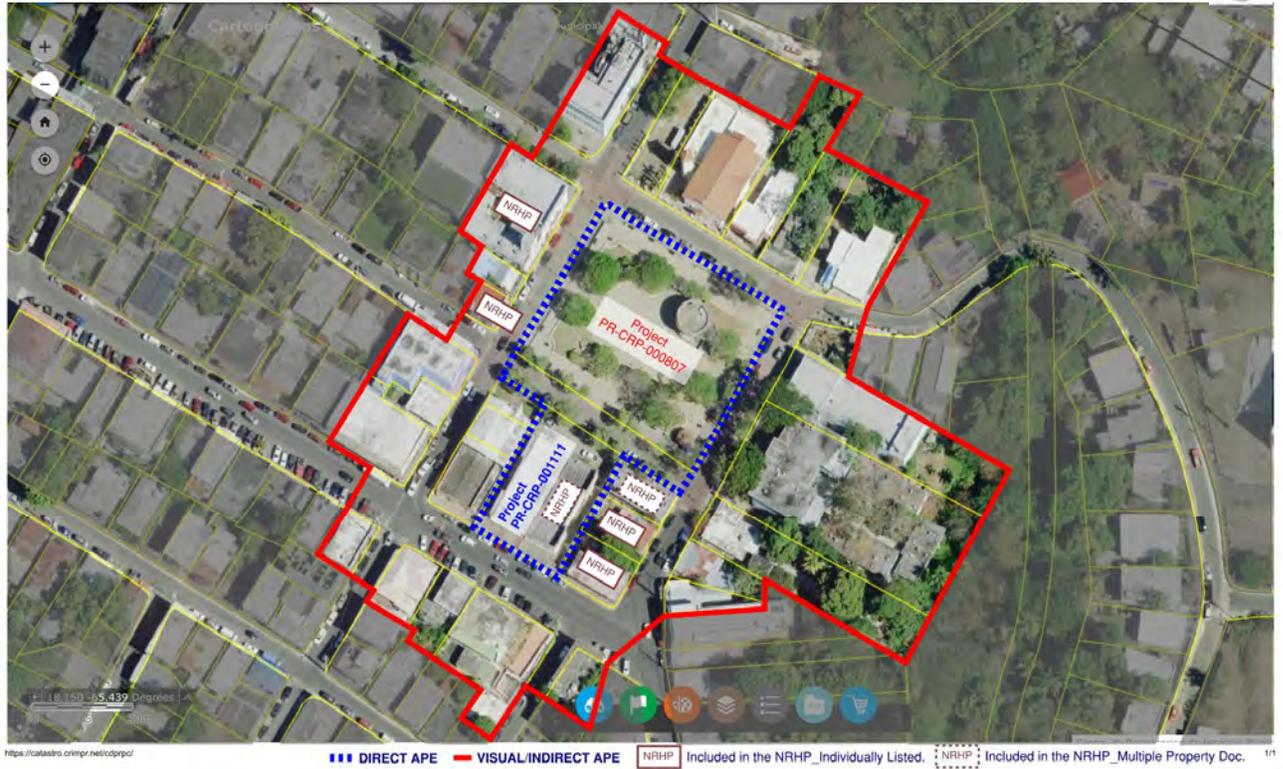
A total of twenty-nine (29) buildings, sites and/or structures were identified as part of the direct and indirect/visual APE; an inventory was done incorporating the information available and determining buildings’ listing or eligibility to the NRHP, and in the PR’s Register of Historic Districts and Sites at PR’s Planning Board, as well the information found in the Institute of Puerto Rican Culture Built Heritage Program archives. (Refer to “I. APE Inventory” and Figure 62 at the end of this document) Four (4) properties within the APE are part of the NRHP, other two (2) properties are included in the *Early 20th Century Schools in Puerto Rico* Multiple Property Listing at the NRHP. These buildings are identified in the key map for the NRHP properties (Figure 29). Other seven (7) properties were found eligible within the APE identified in the key map for Eligible NRHP properties (Figure 30). The total number of historic properties located within the APE is thirteen (13) (Figure 31).

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Figure 29: Key Map for the NRHP properties<sup>29</sup>.



<sup>29</sup> Image taken from CRIMPR Digital Cadaster web site.

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Figure 30: Key Map for the Eligible NRHP properties<sup>30</sup>.



<sup>30</sup> Image taken from CRIMPR Digital Cadaster web site.

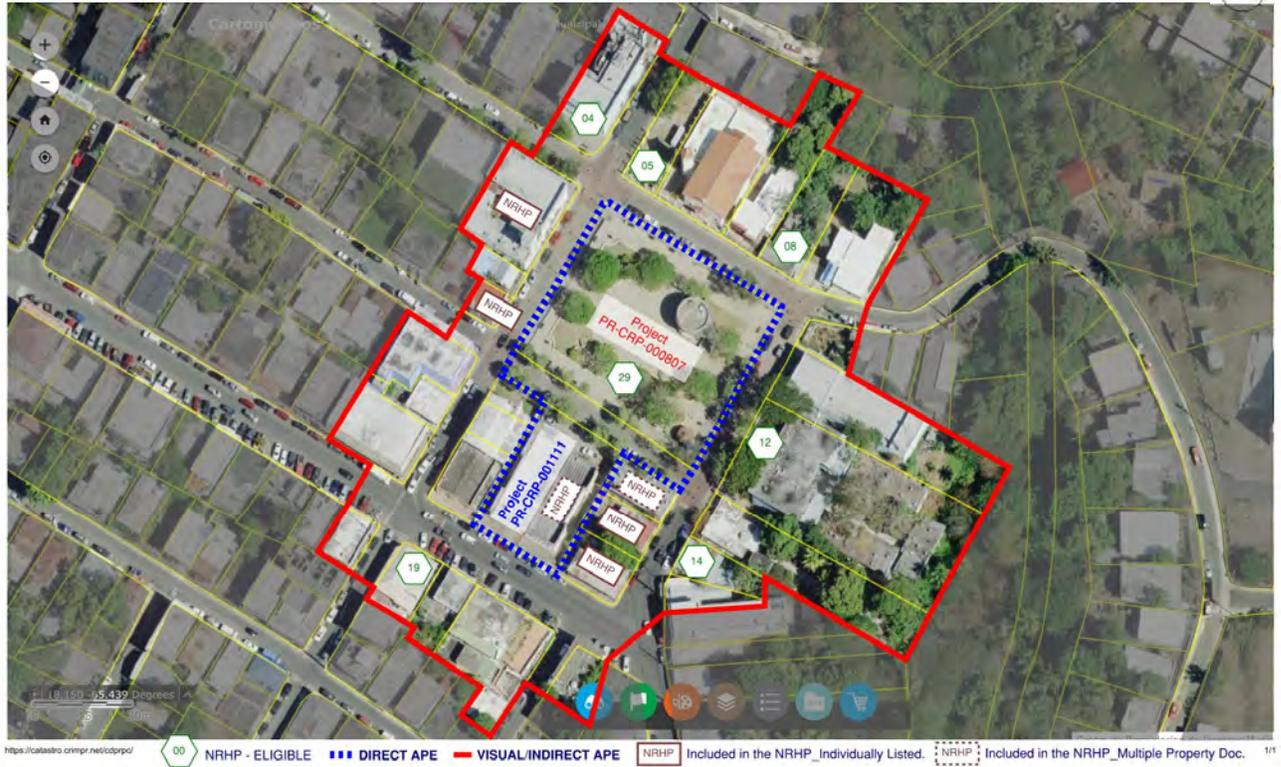
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Figure 31: Key Map for the NRHP & Eligible properties within the APE<sup>31</sup>.



<sup>31</sup> Image taken from CRIMPR Digital Cadaster web site.  
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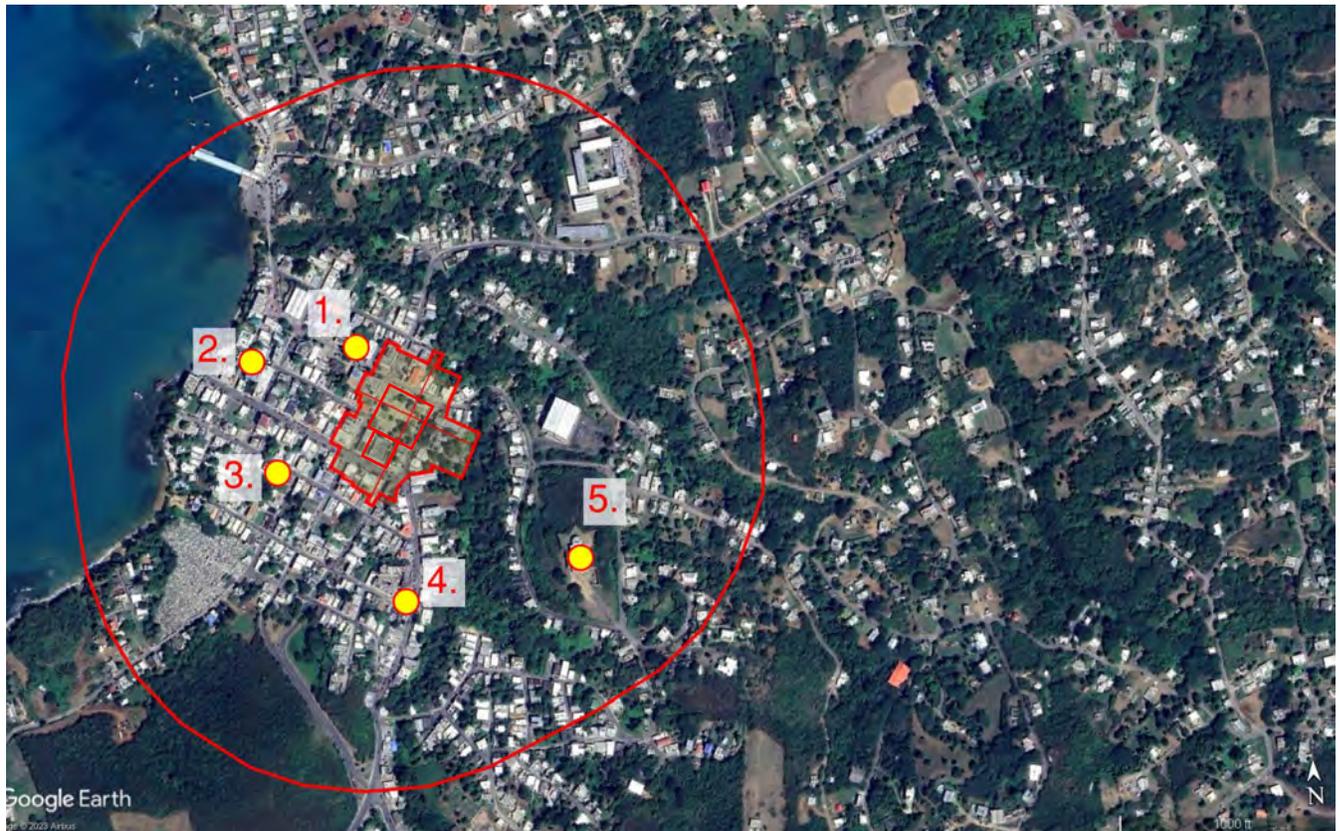
**Subrecipient:** Municipality of Vieques, PR

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The analysis of the ¼ mile took into consideration the properties registered in the NRHP and those listed in the PR Planification Board as determined by the Institute of Puerto Rican Culture (JP-ICP). Refer to Figure 32 for the location of these properties.

Figure 32: Key Map for the ¼ mile of the APE and historic properties.



List of Historic Buildings in the ¼ mile of the APE:

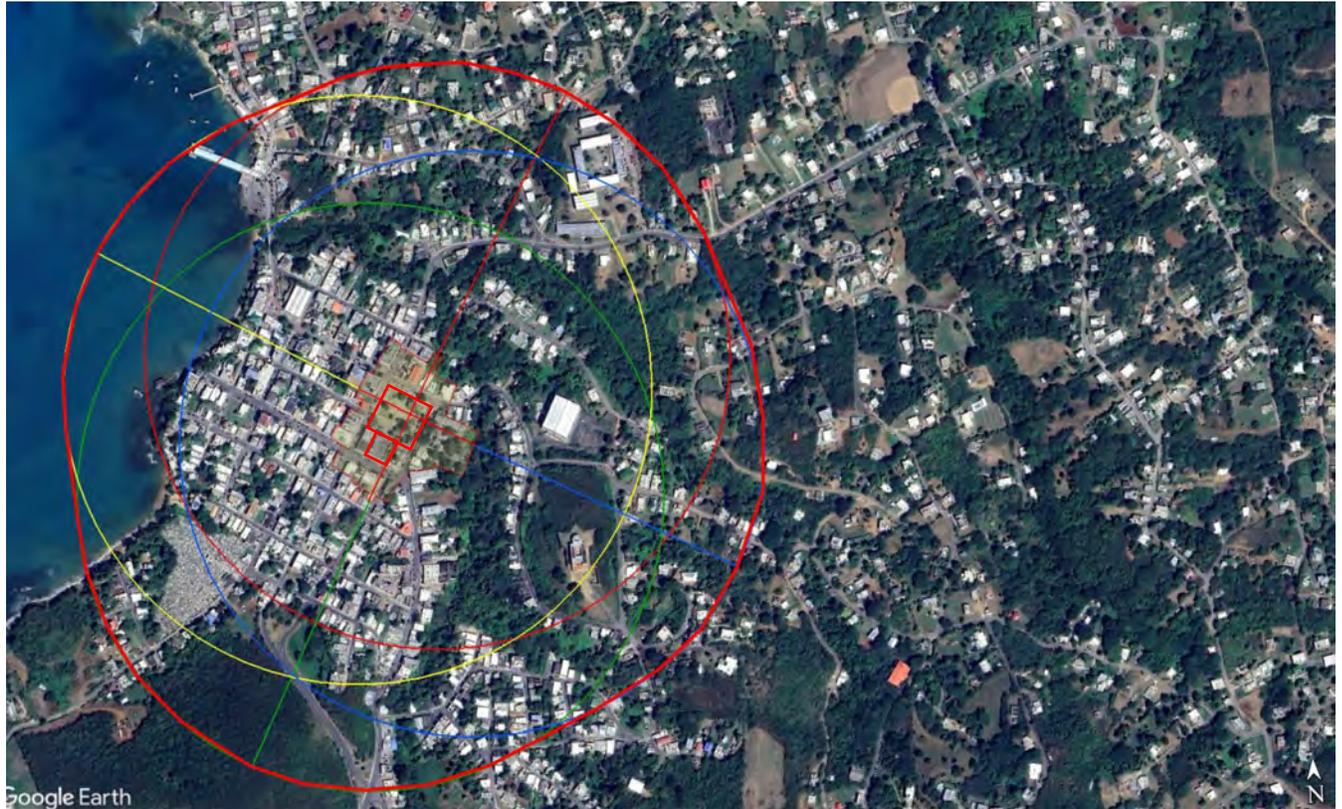
1. Casa Augusto Nere Delerme - NRHP: 93001555 (02/02/1994); JP-ICP: 2000-(RE)-18-JP-SH
2. Casa de Rafael Acevedo - NRHP: 94000249 (03/17/1994); JP\_ICP: 2000-(RE)-19-JP-SH
3. Casa de Don Jaime Puig - NRHP: 94000363 (04/14/1994); JP-ICP: 2000-(RE)-18-JP-SH
4. Casa Smaine Ortiz - NRHP: 93001554 (02/02/1994); JP-ICP: 2000-(RE)-18-JP-SH
5. Fuerte Conde de Mirasol - NRHP: 77001552 (11/18/1977); JP-ICP: 2000-(RE)-18-JP-SH

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Figure 33: Key Map for the ¼ mile determination area from the APE.



To determine the ¼ mile range each circle (Dark Red-North; Blue-East; Yellow-West; Green-South) centroid start at APE's farthest boundaries.

### Architecture - Vieques Public Square, c.1845<sup>32</sup>

Vieques Public Square (c.1845) is first identified in an 1850 plan that shows the urban grid (Figure 02), just six years after the town of Isabel Segunda was founded. The original aspect of the plaza was an open space covered with dirt-land, around which were located the primary public, governmental, and religious buildings. The first intervention made was in 1869-1871 for the construction of a public cistern of circular shape and can be found documented in maps from 1887 through 1898 (Figure 03, 05 & 34). Later, in a 1916-1920 intervention, some part of the cistern was demolished, and another part is still underground (Figure 35-36). This project included a complete redesign of the plaza, and the construction of a central concrete gazebo with a sheet-metal roof (Figure 37-38). In 1947-1953 the roof of the gazebo was reconstructed in reinforced concrete, and the existing columns were altered, the plaza was

<sup>32</sup> Discussed in detail at the Archeology Analysis  
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also repaved with terrazzo and the green areas were reconstructed (Figure 39-40).<sup>33</sup> The latest remodeling of the Plaza was in 2004-2007, led by Eng. José A. Marcano. The plaza was repaved with terrazzo and provided with a new pattern, the design of the existing planters was altered and covered in coral stone (Figure 41). The existing gazebo located at the center of the plaza was demolished (Figure 40) and another was constructed at the northeast corner of the plaza, designed by architect Jorge Rigau. (Figure 42). Also, a new fountain was constructed (Figure 43), designed and ornamented by architect and artist Jaime Suarez, located in the same place of the fountain that can be observed in Figure 39, inside a planter, with the shape of Vieques Island. Years later, the fountain was filled with earth.

The organization around the plaza is found to be exceptional; not only the town hall and church are adjacent to it, as they typically do in a traditional urban center; but also, four (4) schools are also adjacent: Gautier Benítez (1907), Vieques High School (c. 1910), Víctor Duteil (1911), and Eugenio M. de Hostos (c. 1940). The number of schools around the Plaza transformed it to a playground, somehow, the liveliness and number of students activated the place, and surely it became a reference point in their development (Figures 38).

Figure 33: This 1909 photograph shows the details of the design and structure of the well of the Plaza de Isabel Segunda in Vieques. Archivo Histórico y Fotográfico de Puerto Rico, November 17, 1909.



<sup>33</sup> Information taken from ICP Archives, Vieques Files.

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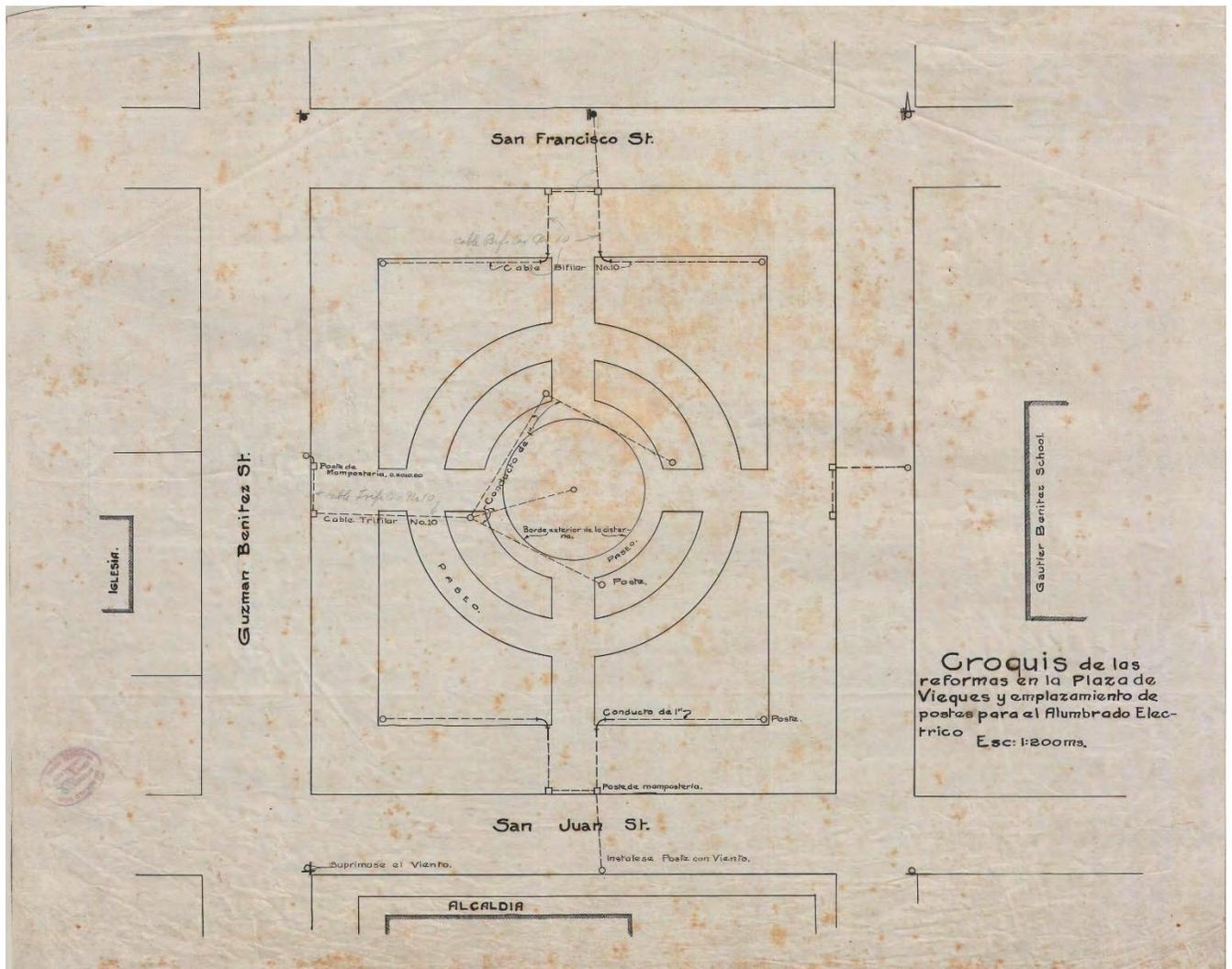
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Figure 35: Vieques Public Square improvement plan, including electrical utilities. (c.1919) Archivo Digital Nacional.

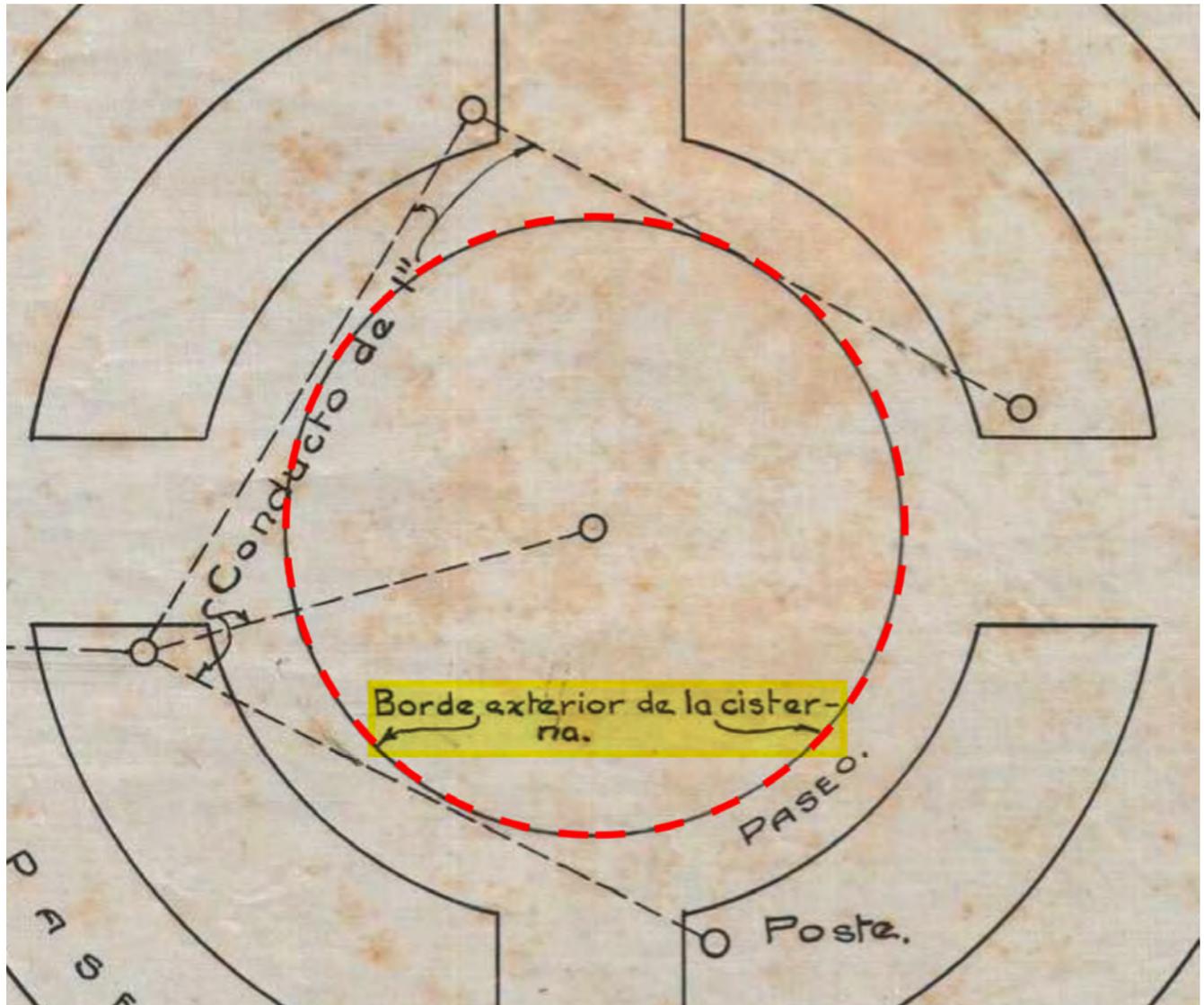


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Figure 36: Zoom to Figure 35 outlining the border of the cistern, as noted in the plans.



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Figure 37: Plaza's gazebo original design. Archivo Histórico y Fotográfico de Puerto Rico, March 6, 1949.



Figure 38: Gazebo overhang and brackets were modified. Children playing in Vieques Public Square, some with their school uniform.<sup>34</sup> Archivo Histórico y Fotográfico de Puerto Rico, 1957.



<sup>34</sup> <https://www.flickr.com/photos/fredandrebecca/8583943029/in/photolist-6tSuDJ-6tCvzq-6tyCx2-6okq9z-6tCHqw-6vKQBP-6txKuB-6tyvpg-6tBSA5-77AFVr-6tCysY-6tywE4-6tCjMY-6tCqK1-6vLi9U-6tNaxx-6tyAVR-6tN33k-6vQ3q3-6vQ1cA-6vQ42G-6tNgVg-6tMSFv-6tNkkn-6vKNCx-6tSrKJ-8eNJwP-8eS289-6vKPRB-6tCrzm-6tCP33-6tCzzG-6tydd8-7RVMRL-6rXo7Z-6tyeai-8eNJ22-e5CA1S-e5wXcK-6tCtbw-8eS2if-8eS2Do-atBNdm-ukZo1Q-ukZJ4Y-uCNUw2-uCNWeR-6TUNK2-6tNfHP-7RYHJn>  
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Figure 39: 1978, ICP photographic archive. It can be observed that the brackets were demolished, and the roof is made out of concrete with a new central column.



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Figure 40: Until 2005 it maintains the same design. The demolition of the central gazebo was approved by the Institute of Puerto Rican Culture on November 22, 2005. ICP Archives.



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Figure 41: Vieques Public Square existing aerial view. Source CRIMPR.



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Figure 42: New gazebo constructed in c.2007.



Historic evidence has proven that, due to the various interventions this public square has undergone, the historic integrity of the architectural components has been compromised. The last intervention of the 2000's was the most impactful, changing completely the centralized configuration that the public square had up to that moment. The proposed project seeks to bring back the centrifugal design while harmonizing with existing components that are worth preserving such as Arch. Rigau's gazebo (Figure 42) and Arch. Jaime Suarez fountain (Figure 43), along with some existing trees and objects such as Simón Bolívar bust and the like. Additional maps, information and photographs can be found in figures 55-64.

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Figure 43: New fountain constructed in c.2007.



**Architecture - Vieques Public School, 1907**

The construction of **Vieques Public School**<sup>35</sup>, also known as J. Gautier Benítez School, was part of the governmental educational development efforts, as described in the Multiple Property Listing Nomination *Early Twentieth Century Schools in Puerto Rico*<sup>36</sup>, important to the building’s significance. The *Vieques Public School* was constructed in 1907 by the Department of Education, Division of School Buildings.<sup>37</sup> The construction of this school was part of a broader mission of the United States education policy in Puerto Rico since the 1900’s and the implementation of the Foraker Act.<sup>38</sup> Architect Antonin Nechodoma designed the building and Frank B. Hatch, the contractor, built it. This information is taken from a photo (c.1907) made by Attilio Moscioni (1876-1950) in the recent times of its construction. (Figure 44).

<sup>35</sup> The name that appears in the construction cost estimates is “Vieques Graded building”. AGPR, Caja 1047, Legajo 72, Expediente 1  
<sup>36</sup> *Early 20<sup>th</sup> Century Schools in Puerto Rico*. National Register of Historic Places. Jorge Rigau. 2012.  
<sup>37</sup> AGPR, Caja 1047, Legajo 72, Expediente 1  
<sup>38</sup> *Early 20<sup>th</sup> Century Schools in Puerto Rico*. National Register of Historic Places. Jorge Rigau. 2012. Section E, page 1.  
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Figure 44: Vieques Public School main façade. A. Moscioni (c.1907)<sup>39</sup>



From the monthly cost estimates of the construction, located in the PR General Archives (AGPR by its Spanish acronym),<sup>40</sup> we found that the contract date was April 15, 1907, at a contract price of \$10,750.00; the original allotment for the project was \$11,000.00. The letter for determination of project completion is dated November 27, 1907, including the release of the project retainage, with a withholding of \$200 in relation to pending work. The project was totally completed on May 13<sup>th</sup>, 1908, as established in a letter from the Chief of the Division of School Extension, Walter S.F. Ward, to the Commissioner of Education.

<sup>39</sup> Vieques Public School, P.R., Antonin Nechodoma, architect. F.B. Hatch, builder / A. Moscioni photo. Library of Congress. <https://www.loc.gov/resource/cph.3c01306/>

<sup>40</sup> AGPR, Caja 1047, Legajo 72, Expediente 1  
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Since 1914, there have been communications regarding some repairs to the Gautier Benítez School (Vieques Public School). Some of these were concerns in relation to plumbing fixtures malfunction due to low water pressure (1914), wall cracks (1915), and repainting the building (1916). Part of the 1915’s communication was related to an earthquake event that seems to have created some kind of cracks in the walls.<sup>41</sup> The concern was dispatched in an answering letter that established:

*“A school building, built of hollow concrete blocks, has developed a large crack, apparently due to settlement of building on account of faulty foundation. This crack is the only blemish, the reminder of the building being in good condition”.*<sup>42</sup>

The need for major repairs was notified in 1918 due to water infiltration in the classrooms. On June 19, 1918, the announcement for the bidding of these repairs was submitted to various newspapers. The bid date was July 2, 1918, which was described as a deserted auction. It is through the perseverance of the Vieques School Board that the Department of Education decided to continue with the project. The cost estimate for this repair work was \$2,742.35, as estimated by the Department of Education. The payment of these works was provided by the Vieques School Board<sup>43</sup>.

The oldest construction documents found of Gautier Benítez School are located in the AGPR.<sup>44</sup> These documents illustrate the design for the roof repairs of the school, dated June 17, 1919 by architect Adrian Clark Finlayson. (Figure 45-49) He was another prominent architect in the Island, architect Jorge Rigau describes him as:

*“Educated at Syracuse University, and named locally Architect for the Insular Department of the Interior, he set high standards for school design in Puerto Rico. At his imposing projects, building volumes were consistently articulated with care. Surfaces were handled as textures to be manipulated through choice and treatment of material, insertions and/or bas-relief designs. The different components are often contrasted, but ultimately harmony prevails”.*<sup>45</sup>

<sup>41</sup> August 26, 1915. From Vieques School Board President, Mr. Juan Villafañe to the Commissioner of Education, Mr. P.G. Miller. AGPR, Caja 1047, Legajo 72, Expediente 4.

<sup>42</sup> November 4, 1915. From the acting commissioner to the Vieques School Board President. The document found was not signed. AGPR, Caja 1047, Legajo 72, Expediente 4.

<sup>43</sup> AGPR, Caja 1047, Legajo 72, Expediente 4.

<sup>44</sup> AGPR, Mapoteca, 306.1-306.4, Fondo Obras Públicas, Sección Edificios Escolares, Año 1918, Caja 1074, Legajo 72, Expediente 4.

<sup>45</sup> *Early 20<sup>th</sup> Century Schools in Puerto Rico*. National Register of Historic Places. Jorge Rigau. 2012. Section E, page 17.  
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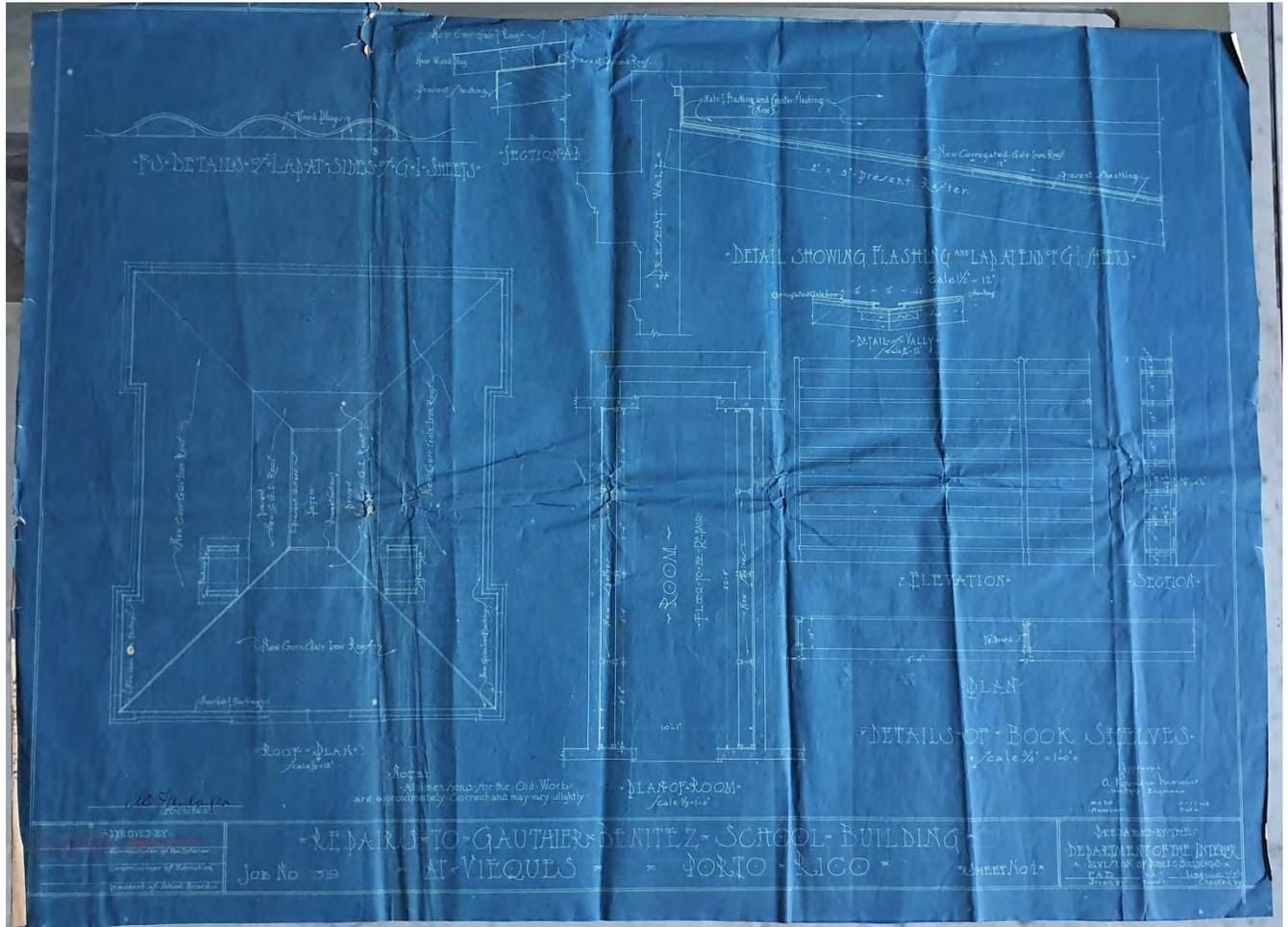
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Figure 45: Gautier Benítez School repairs plan by Adrian C. Finlayson.<sup>46</sup>



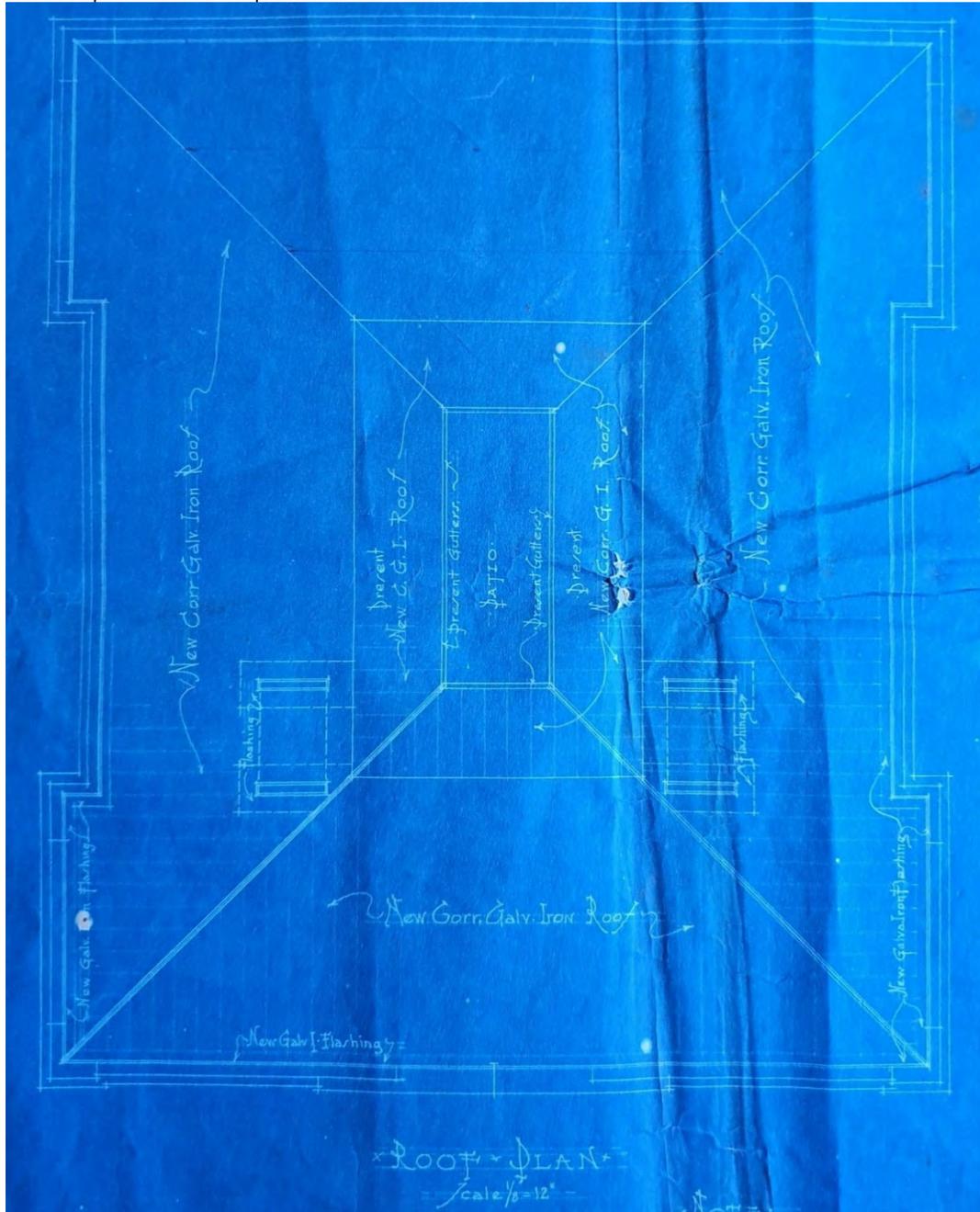
<sup>46</sup> Puerto Rico General Archives, ICPR. "Repairs to Gautier Benítez School". Fondo: Obras Públicas, Serie: Edificios Escolares, Caja: 1074, Legajo: 72 Exp:3, 306.4, Year: 1919.

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Figure 46: Repairs Roof Plan. It can be observed that the original roof was a hipped roof and the interior patio can be perceived.<sup>47</sup>



<sup>47</sup> Puerto Rico General Archives, ICPR. “Repairs to Gautier Benítez School”. Fondo: Obras Públicas, Serie: Edificios Escolares, Caja: 1074, Legajo: 72 Exp:3, 306.4, Year: 1919.

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From this plan, some of the original components of the roof, marked as “present” features in the drawings, can be observed. These repairs consisted in the incorporation of a new corrugated galvanized iron roof, the installation of new flashing and counter flashing and other elements needed for this installation, like wood plugs. Also, some bookshelves were designed to be incorporated into the school entrance corridor. As noted, the roof wood structure existed with a negative slope, diverting water towards the interior patio to the existing gutters (Figure 47); it is also detailed that they maintain the existing sheathing with the installed paroid roofing system<sup>48</sup> (Figure 48). Also, from the “Plan of Room” (Figure 49) we can perceive that door openings towards this area did not exist, as we have it today.

Figure 47: Section showing the negative slope of the roof towards the direction of the interior patio. Also existing elements can be observed identified as “present”<sup>49</sup>.



<sup>48</sup> A roofing protective application, marketed to be “permanent protection against all kinds of weather”, best known to have been distributed by F.W. Bird & Son. The product was also known as Neponset.

<https://archive.org/details/NeponsetRoofingsForEveryBuilding/page/n6/mode/1up?q=paroid>

<sup>49</sup> Puerto Rico General Archives, ICPR. “Repairs to Gautier Benítez School”. Fondo: Obras Públicas, Serie: Edificios Escolares, Caja: 1074, Legajo: 72 Exp:3, 306.4, Year: 1919.

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Figure 48: Project details, existing paroid roof installation is noted.<sup>50</sup>

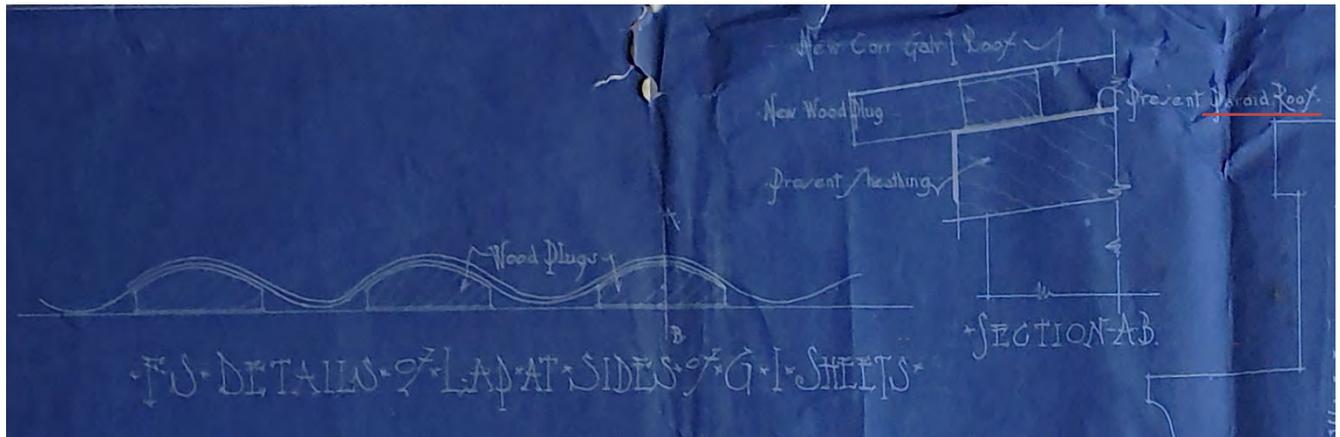


Figure 49: This plan of the room, located at one of the building entrances, we can observe that no doors opened to this area.<sup>51</sup>



<sup>50</sup> Puerto Rico General Archives, ICPR. "Repairs to Gautier Benítez School". Fondo: Obras Públicas, Serie: Edificios Escolares, Caja: 1074, Legajo: 72 Exp:3, 306.4, Year: 1919.

<sup>51</sup> Puerto Rico General Archives, ICPR. "Repairs to Gautier Benítez School". Fondo: Obras Públicas, Serie: Edificios Escolares, Caja: 1074, Legajo: 72 Exp:3, 306.4, Year: 1919.

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No other information was found from the years preceding these repairs. One of the main interventions was the reconstruction of the roof in reinforced concrete (no date), that also incorporated concrete columns inside the building. To our knowledge the building was used as a school, and later the Municipality of Vieques reused the building for offices and community services. In the photos at the end of this document (I. APE Inventory – Image No.28) we can observe how some features, like doors, windows, covered patio and roof, have changed over time (Figure 50).

Figure 50: Photo taken by architect T.S. Marvel, c.1970's. AACUPR. Change of main façade door and windows can be observed, fence has also changed.



### Concrete Blocks:

The main building system used for the construction is the hollow-core cement or concrete block, a number of almost 12,000 concrete blocks were used in this building, 11,994 to be exact.<sup>52</sup> The use of this material is very significant, since it was one of the first material used by

<sup>52</sup> AGPR, Caja 1047, Legajo 72, Expediente 1.

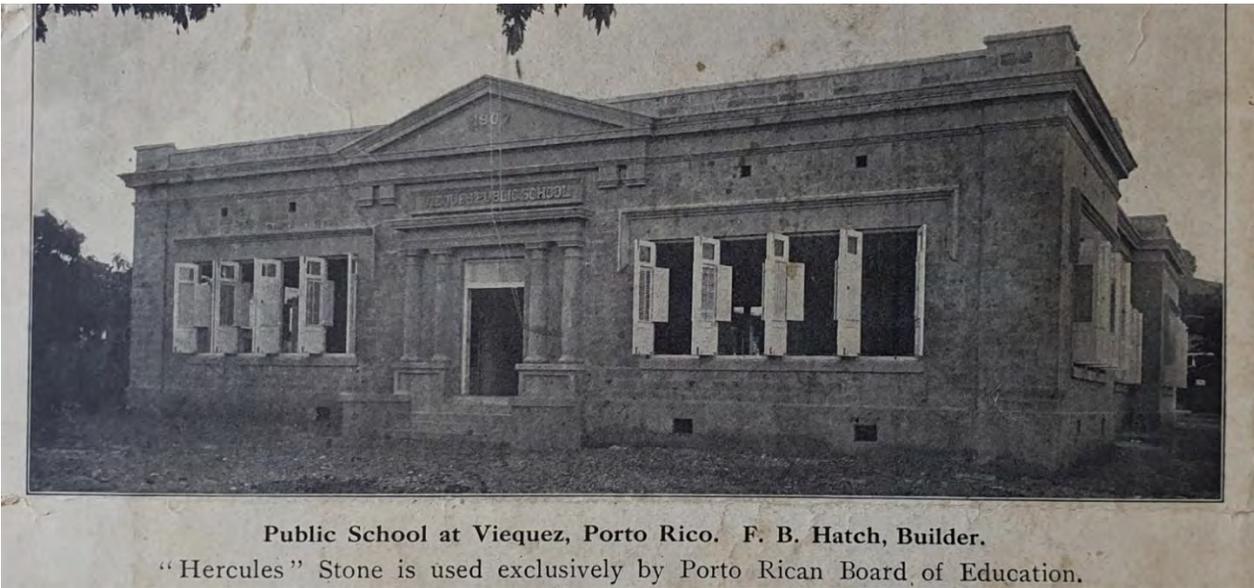
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Nechodoma in his designs when he first arrives at Puerto Rico. It is believed that this material was introduced in the Island by Protestant Missionaries who came to construct churches, schools, hospitals and other types of buildings<sup>53</sup>. Previous investigations indicate that the first building ever built in concrete block in Puerto Rico was the George O. Robinson Orphanage for girls in 1906. And the second being The Collins Memorial Methodist Episcopal Church in Aibonito, built from 1906-1907.<sup>54</sup> During these times, other churches and schools were made with this material, one of them being the Vieques Public School. The duo of A. Nechodoma and F.B. Hatch were the ones who design and built most of early Methodist buildings.

Figure 51: Vieques Public School used for concrete block advertisement.



As part of the improvement measures made by the Department of Education, in 1906, they gave a general directive indicating the substitution of wood with concrete block<sup>55</sup> which help the propagation of this construction material. As part of the findings in AGPR, and also documented by architect Beatriz del Cueto, there is a photo that seems to be part of a concrete block catalog which indicates that “Hercules” Stone is used exclusively by Porto Rican Board of Education”.<sup>56</sup> (Figure 51) Imported from Rochester New York, ‘The Hercules Cement Stone Machine’, manufactured by the Century Cement Machine Company, advertised it could produce “every shape and kind of (artificial) stone”<sup>57</sup> (Figure 52).

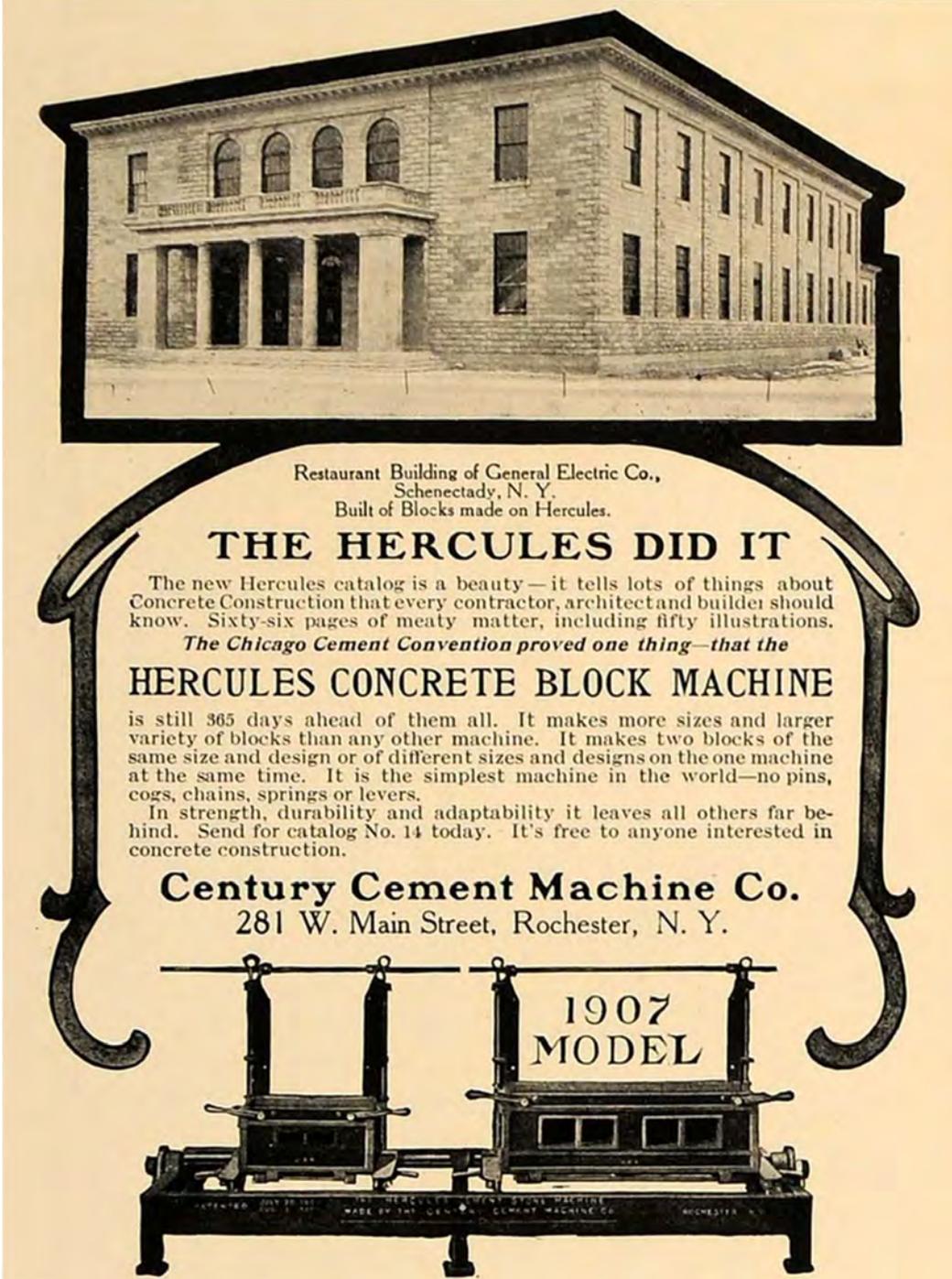
<sup>53</sup> Del Cueto, Beatriz. Antonín Nechodoma y Frank Bond Hatch: El dúo dinámico de la construcción, 1905-1925. AAA60. 2016.  
<sup>54</sup> Del Cueto, Beatriz. Concrete block and hydraulic cement floor tile in the tropics: advent, history, conservation. James Marston Fitch Foundation, Grant Report. 2014-15. Page 94.  
<sup>55</sup> Ibid. Page 97.  
<sup>56</sup> AGPR, Caja 1047, Legajo 72, Expediente 4. 98  
<sup>57</sup> Del Cueto. Concrete block and hydraulic cement floor tile. Page 98.  
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Figure 52: Hercules Block advertisement.



Restaurant Building of General Electric Co.,  
Schenectady, N. Y.  
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MODEL

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<b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b> <b>CITY REVITALIZATION PROGRAM (CRP)</b> <b>Section 106 NHPA Effect Determination</b>	
<b>Subrecipient:</b> Municipality of Vieques, PR	
<b>Project Name:</b> Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques ( <i>Improvements to the Vieques Public Square</i> ) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario ( <i>Market Square for Social and Community Transformation</i> ) (School)	
<b>Project Number:</b> PR-CRP-000807 & PR-CRP-001111	

The concrete block became popular due to easy manufacturing and portability, it also presented an aesthetic appearance, and it could be used in a variety of building types and sizes. One of its main attributes was to be a fire-proof material and resistant to hurricane winds. With the proliferation in the use of reinforced concrete the use of concrete blocks dissipated; also, the 1918 earthquake event exposed that concrete block did not perform as well as the reinforced concrete during these events, which helped with the change of preference in material.

**Antonin Nechodoma:**

Born in Prague, Bohemia in 1877. Moved to the US with his family when he was 10 years old and grew up in Chicago. In the 1900 was described as a contractor, with projects in Pilsen and West Side communities of Chicago; most of his work being residential and commercial construction. In early 1905 Nechodoma leaves Chicago and start working the following years, identified as an architect, on projects in Jacksonville, Florida; San Juan, Puerto Rico; and the Dominican Republic.

Ever since Nechodoma started to build his projects in PR, F.B. Hatch was the contractor involved in his projects; as is the case with Vieques Public School, one of the most recent projects of Nechodoma in PR. This collaboration continued until Hatch’s death in 1925, a relationship that lasted 20 years (1905-1925) (Figure 53).

Figure 53: A. Nechodoma (left) and F.B. Hatch (right)<sup>58</sup>



<sup>58</sup> Del Cueto, Beatriz. Antonín Nechodoma y Frank Bond Hatch. 606 Barbosa Avenue, Building Juan C. Cordero Dávila, Río Piedras, PR 00918 | P.O. Box 21365 San Juan, PR 00928-1365 Tel: (787)274-2527 | [www.vivienda.pr.gov](http://www.vivienda.pr.gov)

**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

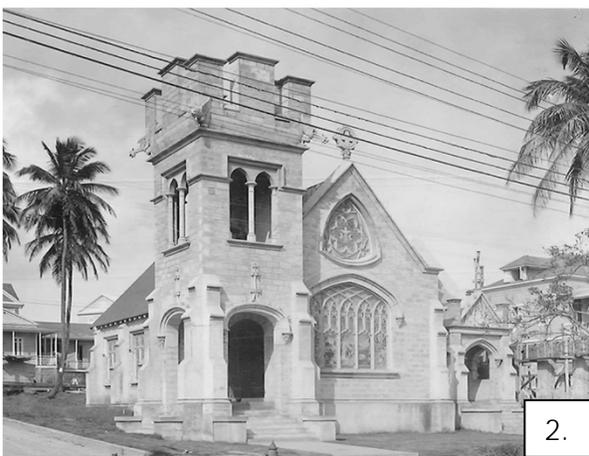
**Project Number:** PR-CRP-000807 & PR-CRP-001111

Nechodoma and Hatch first constructions were for the Methodist Episcopal Church, the same congregation as the church adjacent to Vieques Public School. These churches were constructed of a “hollow-core concrete block building system”. The product identified by T.S. Marvel is called “Compo-Stone” invented by Robert McCarrel.

Example of those are:

- o Methodist Episcopal Church, Aibonito – 1906-1907 (Figure 54 – 1.)
- o Methodist Episcopal Church, San Juan (Miramar) – 1908, neo-Gothic (Figure 54 – 2.)
- o Methodist Episcopal Church, Playa de Ponce – 1907 (Figure 54 – 3.)
- o Methodist Episcopal Church, Ponce – 1907, California Mission Style (Figure 54 – 4.)

Figure 54: Methodist Episcopal Churches.



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The other typology that they constructed during these early years were two schools, Vieques Public School (1907) constructed in concrete block and the Luchetti School (1908) constructed in reinforced concrete. During these years he also designed several renowned residences, some of which he also used the concrete block as the main building system. In 1908 Nechodoma decides to live in the Dominican Republic, until 1912, where he also used the concrete block as the main building system in some designs, until while experimenting with other materials like reinforced concrete.

On his return to Puerto Rico, Nechodoma, during the first three years, started experimenting with design, materials, and with his bungalow concept as well. Later, between 1913-1915 when the Wasmuth Folio of Frank Lloyd Wright’s work was published, his designs were influenced by the Prairie School style. The years following 1915, T.S. Marvel named them as “The best years” (1915-1923) because of the demand and constant construction of big residential buildings with designs very similar to the images found in the Wasmuth Folio. The P.R. highly prominent families were Nechodoma’s clients, giving him the freedom to create various types of designs and scale for residential, commercial, and educational projects. After 1923 he experienced various situations that contributed to his decline and eventual death on April 15, 1928, at 51 years old, due to a car accident near his home.

The Vieques Public School's historic significance, as described above, relies in its relevance to Puerto Rico’s governmental educational development efforts, its constructability, as well as with Arch. Antonin Nechodoma’s professional development. The proposed project will provide the required program needs while, at the same time, following the Secretary of Interior’s Standards for Rehabilitation, preserve building’s character defining features. The identification, protection and preservation of significant elements is contemplated as part of the project.

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<b>Project Number:</b> PR-CRP-000807 & PR-CRP-001111	

## Determination

The following historic properties have been identified within the APE:

### Direct Effect - Archeology:

- **Vieques Public Square of Isabel Segunda. (Plaza Luis Muñoz Rivera)**
  - The project can impact contexts of cultural, historical, and archeological pre-historic context if deep excavations (more than 6”) are conducted in Plaza Luis Muñoz Rivera and its periphery.
  - Based on all the above, we understand that there is a need to recommend that selective archaeological monitoring be conducted during the construction process of the proposed project.
  - The hired archaeologist and designer will establish all the areas where excavations are under 6 inches deep to be conducted under a selective archaeological monitoring plan.
  - We recommend a depth of 6 inches because the removal of the current floor of the square, which is not historical, can be done without monitoring. Once the level of the current floor and the added material under the floor is passed, deeper excavations should be conducted under archaeological monitoring.
  
- **Gautier Benítez School (Vieques Public School)**
  - The project can impact contexts of architectural-historical and archaeological value if deep excavations are carried out in the rehabilitation of José Gautier Benitez School.
  - There are no archaeological studies that identify the significant alterations that have occurred so far.
  - The building is a historical monument that deserves adequate documentation of the changes and alterations that occurred over time.
  - Based on all the above, we understand that the restoration and conservation of this important historical heritage requires an archaeological monitoring plan that includes excavations inside and outside the structure.
  - We also recommend the documentation of previous intervention processes conducted in the original 1907 building with the purpose of collecting historical information concerning previous restorations.

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<p><b>Project Number:</b> PR-CRP-000807 &amp; PR-CRP-001111</p>	

**Direct Effect - Architecture:**

- **Vieques Public Square of Isabel Segunda. (Plaza Luis Muñoz Rivera)**
  - The Main Square of Isabel Segunda is a historic site linked to the history of Vieques Island and has an intrinsic historic value.
  - This plaza has experienced various interventions over time that have affected its architectural integrity.
  - Rehabilitation works will have a direct impact to the historical plaza, no adverse effect is foreseen as part of this project.
- **Gautier Benítez School (Vieques Public School)**
  - The building is an eligible building, its relationship with the development of Puerto Rico’s public education system and with Arch. Antonin Nechodoma’s professional development, makes the building have an important historic value.
  - Character defining features must be identified, protected, and preserved.
  - Rehabilitation works will have a direct impact on the historic building, since it is established that the intervention will follow the Secretary of Interior’s Standard for Rehabilitation, no adverse effect is foreseen as part of this project.

**Indirect Effect - Archeology:**

- **Vieques Public Square of Isabel Segunda.**
  - The greatest indirect impact that the project will cause is a visual impact on the historic buildings that are located on the periphery of Luis Muñoz Rivera Square.
  - This impact can be a positive one if the design approved for the restoration harmonizes and respects the historical value of the colonial buildings in the surroundings of the square.
- **Gautier Benítez School (Vieques Public School)**
  - The greatest indirect impact that the project will cause is a visual impact on the historic buildings that are located on its periphery.
  - This impact can be a positive one if the design approved for the restoration harmonizes and respects the historical value of the colonial buildings in the surroundings of the square.

<p>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  CITY REVITALIZATION PROGRAM (CRP)  Section 106 NHPA Effect Determination</p>	
<p><b>Subrecipient:</b> Municipality of Vieques, PR</p>	
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<p><b>Project Number:</b> PR-CRP-000807 &amp; PR-CRP-001111</p>	

**Indirect Effect - Architecture:**

- o **Vieques Public Plaza**
  - The proposed project will have Indirect Effect on the area of the four streets surrounding the main square of Isabel Segunda, to the surrounding identified historic properties, five (5) historic buildings and six (6) eligible properties, that are part of the Visual APE of the project. (Refer to appendix “I. APE Inventory”) Even though they will be submitted to the visual and audible impacts due to typical construction work, it will be of temporary nature. Therefore, it has been determined there will be a non-adverse impact on the surroundings.
- o **Gautier Benítez School**
  - The proposed project will have Indirect Effect on the area of the four streets surrounding the main square of Isabel Segunda, and the portion of Muñoz Rivera St. that are under the APE area. Even though they will be submitted to the visual and audible impacts due to typical construction work, it will be of temporary nature. Therefore, it has been determined there will be a non-adverse impact on the surroundings.
  - The proposed project will have Indirect Effect to the properties adjacent to building’s property line. Even though they will be submitted to the sounds and change in the existing view due to typical construction works, it will be a temporary – non-adverse – impact to its surroundings.

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**Recommendation** (*Please keep on same page as SHPO Staff Section*)

The Puerto Rico Department of Housing requests that the Puerto Rico SHPO concur that the following determination is appropriate for the undertaking (Choose One):

- No Historic Properties Affected
- No Adverse Effect

**Vieques Public Square – Archeology:**

Condition (if applicable): Provide selective archeological monitoring plan only for excavations deeper than six inches (6”).

**Vieques Public Square – Architecture:**

Condition (if applicable): Follow the Secretary on Interior’s Standard for Rehabilitation.

**José Gautier Benitez School – Archeology:**

Condition (if applicable): Provide an archeological monitoring plan that includes excavations inside and outside the historic structure.

**José Gautier Benitez School – Architecture:**

Condition (if applicable): Follow the Secretary on Interior’s Standard for Rehabilitation.

- Adverse Effect

Proposed Resolution (if applicable)

**This Section is to be Completed by SHPO Staff Only**

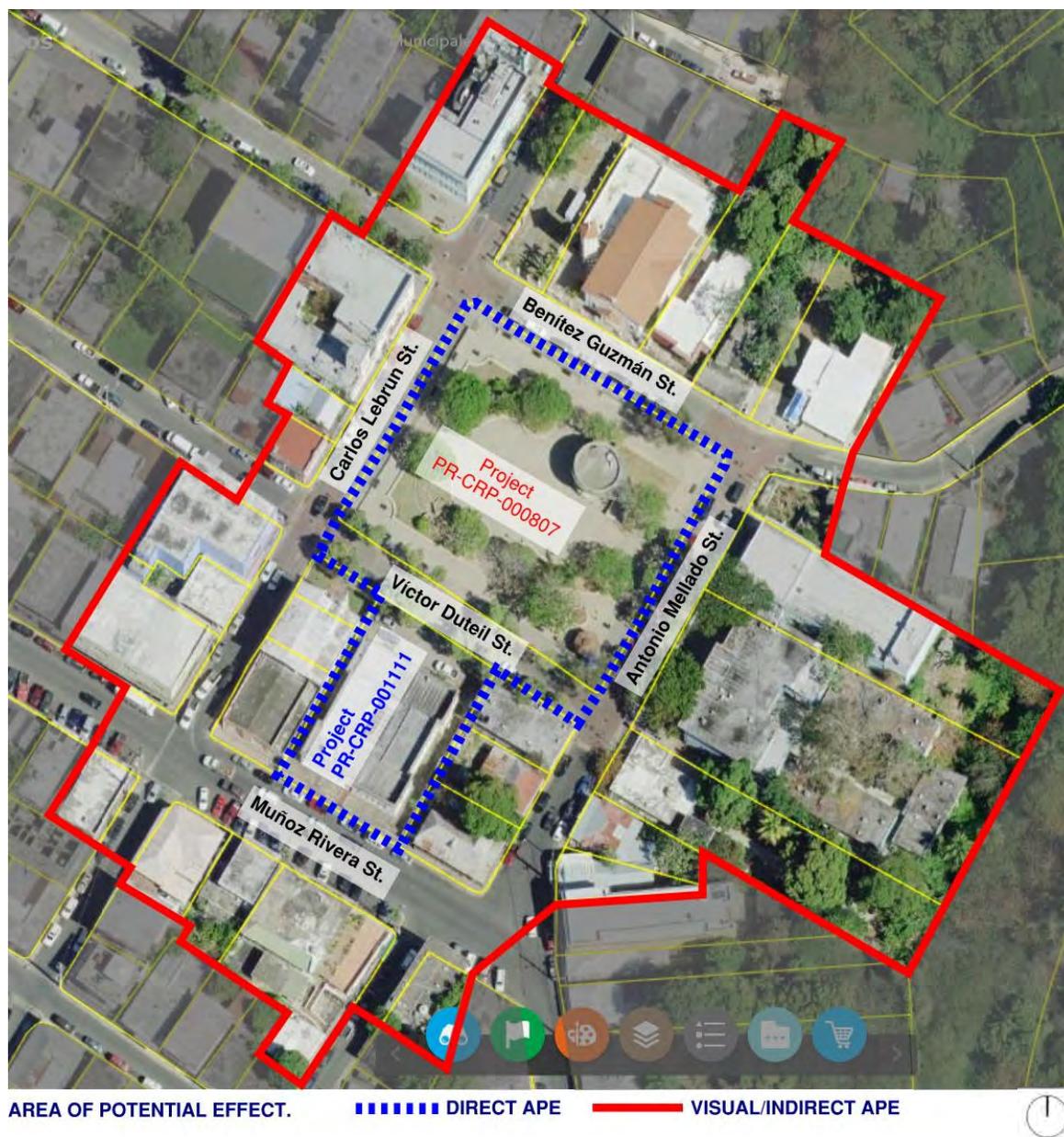
The Puerto Rico State Historic Preservation Office has reviewed the above information and:  <b>Concurs</b> with the information provided. <b>Does not concur</b> with the information provided.	
<b>Comments:</b>  	
Carlos Rubio-Cancela State Historic Preservation Officer	<b>Date:</b>

Subrecipient: Municipality of Vieques, PR

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Figure 55: Project (Parcel) Location – Area of Potential Effect Map (Aerial)



Base map source: CRIMPR





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Figure 57: Project (Parcel) Location - USGS Topographic Map



Base map source: 2018 (US Topo)  
[Get Maps | topoView \(usgs.gov\)](https://getmaps.usgs.gov/topoview/)



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Figure 58: Project (Parcel) Location – Soils Map (Only if Archaeology Review is Required)



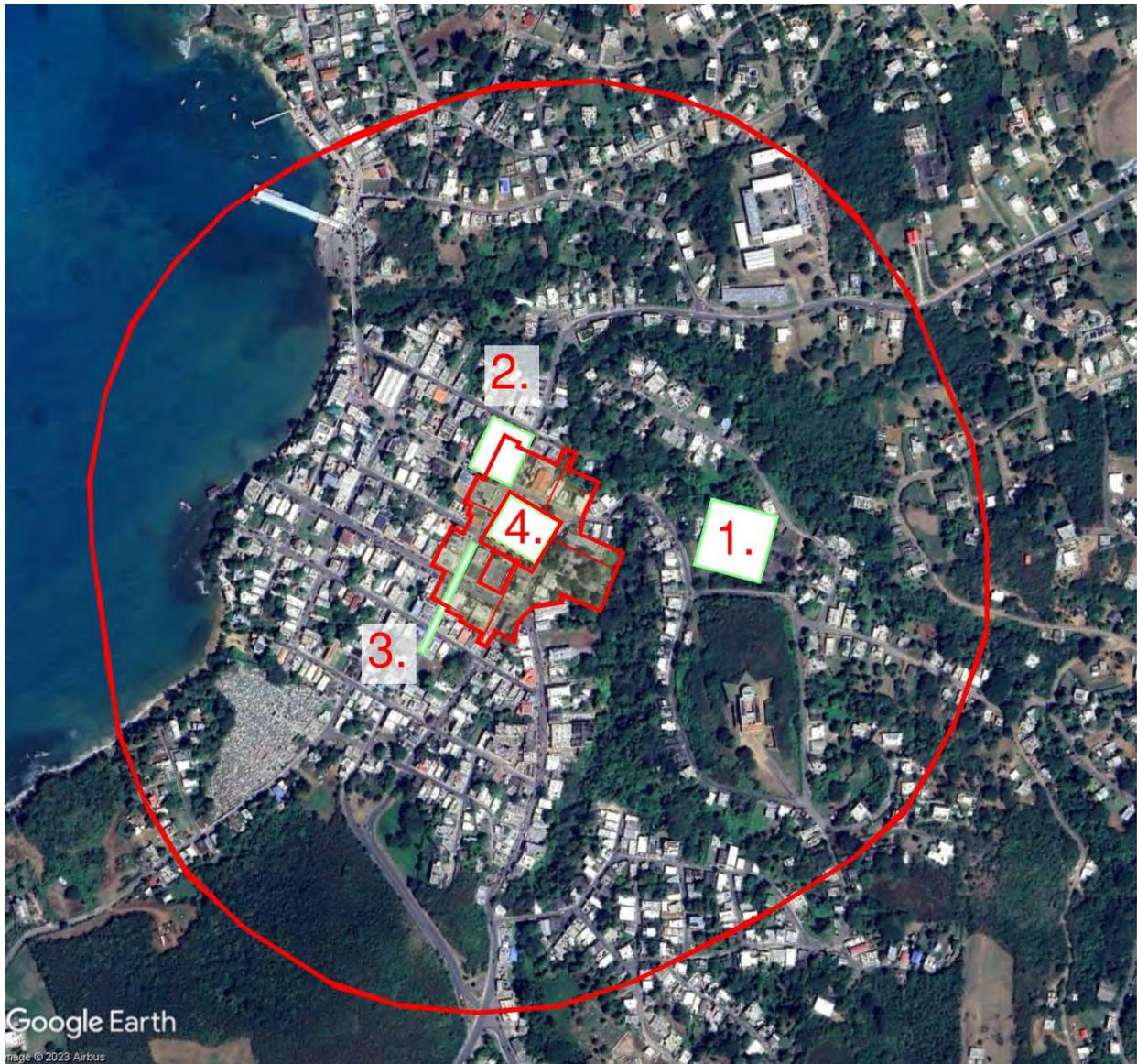
Base map source: [Web Soil Survey \(usda.gov\)](http://websoilsurvey.usda.gov)

Subrecipient: Municipality of Vieques, PR

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Figure 59: Project (Parcel) Location with Previous Investigations - Aerial Map



Base map source: Google Earth



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Project Number: PR-CRP-000807 & PR-CRP-001111

Figure 60: Project (Parcel) Location with Previously Recorded Cultural Resources USGS Topographic Map



Base map source: 2018 (US Topo)

[Get Maps | topoView \(usgs.gov\)](https://getmaps.usgs.gov/)

Subrecipient: Municipality of Vieques, PR

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Project Number: PR-CRP-000807 & PR-CRP-001111

Figure 61: Photograph Key



Base map source: CRIMPR



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**Project Number:** PR-CRP-000807 & PR-CRP-001111



**Photo #:** A

**Description (include direction):** Carlos Lebrun St. Looking towards north.

**Date:** Jan. 2023



**Photo #:** B

**Description (include direction):** Photo taken from Carlos Lebrun St. to Víctor Duteil St. Southwest corner of Vieques Public Plaza can be observed. Camera looking east.

**Date:** Jan. 2023

**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM**  
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**Project Number:** PR-CRP-000807 & PR-CRP-001111



**Photo #:** C

**Description (include direction):** Victor Duteil St. Camera looking west.

**Date:** Jan. 2023



**Photo #:** D

**Description (include direction):** Photo taken from Victor Duteil St. to Antonio Mellado St. Camera looking north.

**Date:** Jan. 2023

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  
 CITY REVITALIZATION PROGRAM (CRP)  
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**Project Number:** PR-CRP-000807 & PR-CRP-001111



**Photo #:** E

**Description (include direction):** Photo from the sidewalk of the south side of the plaza. Víctor Duteil St can be seen. Camera looking west.

**Date:** Jan. 2023



**Photo #:** F

**Description (include direction):** View from the center of Vieques Public Plaza towards the existing gazebo. Camera looking northeast.

**Date:** Jan. 2023

**Subrecipient:** Municipality of Vieques, PR

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**Project Number:** PR-CRP-000807 & PR-CRP-001111



**Photo #:** G

**Description (include direction):** Photo taken from the center of Vieques Public Plaza towards former Gautier Benitez School. Camera looking south.

**Date:** Jan. 2023



**Photo #:** H

**Description (include direction):** View of the rear façade of the Plaza gazebo. Camera looking southwest.

**Date:** Jan. 2023

**Subrecipient:** Municipality of Vieques, PR

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**Project Number:** PR-CRP-000807 & PR-CRP-001111



**Photo #:** I

**Description (include direction):** Detail of Plaza’s bench deterioration. Camera looking north.

**Date:** Jan. 2023



**Photo #:** J

**Description (include direction):** Detail of Plaza’s bench deterioration. Camera looking east.

**Date:** Jan. 2023

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  
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**Photo #:** K

**Description (include direction):** Corner view of Antonio Mellado St. with Muñoz Rivera St. Camera looking west.

**Date:** Jan. 2023



**Photo #:** L

**Description (include direction):** View of Muñoz Rivera St. Camera looking east.

**Date:** Jan. 2023

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**Project Number:** PR-CRP-000807 & PR-CRP-001111



**Photo #:** M

**Description (include direction):** View of former Gautier Benitez School main façade. Photo taken from Víctor Duteil St. Camera looking south.

**Date:** Jan. 2023



**Photo #:** N

**Description (include direction):** View of former Gautier Benitez School secondary façade. Photo taken from Muñoz Rivera St. Camera looking north.

**Date:** Jan. 2023

**Subrecipient:** Municipality of Vieques, PR

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**Project Number:** PR-CRP-000807 & PR-CRP-001111



**Photo #:** O

**Description (include direction):** (Photo rotated 90°) View of former Gautier Benitez School east patio. Camera looking North.

**Date:** Jan. 2023



**Photo #:** P

**Description (include direction):** (Photo rotated 90°) View of former Gautier Benitez School west patio. Camera looking North.

**Date:** Jan. 2023

**Subrecipient:** Municipality of Vieques, PR

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**Project Number:** PR-CRP-000807 & PR-CRP-001111



**Photo #:** Q

**Description (include direction):** View of former Gautier Benitez School interior patio. Camera looking south.

**Date:** Jan. 2023



**Photo #:** R

**Description (include direction):** View of former Gautier Benitez School interior patio. Camera looking southeast.

**Date:** Jan. 2023

**Subrecipient:** Municipality of Vieques, PR

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**Project Number:** PR-CRP-000807 & PR-CRP-001111



**Photo #:** S

**Description (include direction):** View of former Gautier Benitez School computer laboratory. Camera looking west.

**Date:** Jan. 2023



**Photo #:** T

**Description (include direction):** View of former Gautier Benitez School offices. Camera looking west.

**Date:** Jan. 2023

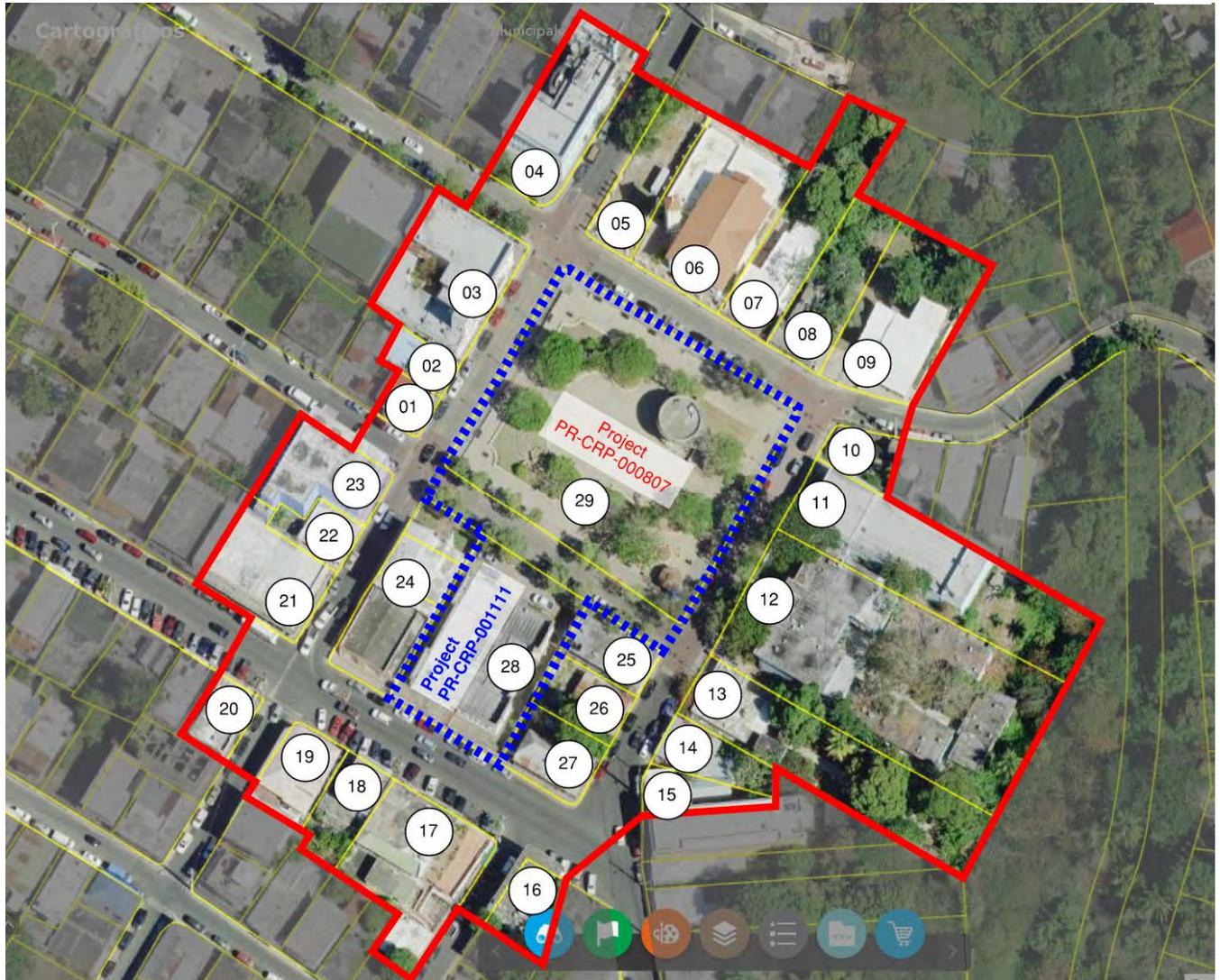
Subrecipient: Municipality of Vieques, PR

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### I. APE Inventory:

Figure 62: Key Map for the APE properties inventory.



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**Project Number:** PR-CRP-000807 & PR-CRP-001111

**Image No. 01**

**Date photo taken:** 01/25/2023



<b>Parcel/Lot #: Cadastral Number</b>	457-042-014-09-001
<b>Address:</b>	Carlos LeBrun St, corner Victor Duteil St.; Isabel Segunda, Vieques, P.R.
<b>Name / Historic name:</b>	El Plaza (Bar/Restaurant) / Historic Names: Farmacia de Vieques; Farmacia "Liberty Drug"; Antiguo Correo de Vieques; Bar Plaza.
<b>Approx. Constr. Date/Style:</b>	c. 1895
<b>NRHP Status or Eligibility/Other:</b>	Individually Listed (Vieques Pharmacy, #94000061, NRHP, 1994.) / Eligible with local significance under Criteria B & C. / ICP: Historic Site; 2000-(RE)-18-JP-SH; May 16, 2001.

**Subrecipient:** Municipality of Vieques, PR

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**Project Number:** PR-CRP-000807 & PR-CRP-001111

**Description** (include direction of image and other important information): Southeast façade, looking northwest (main façade). Late 19<sup>th</sup> Century Vernacular Architecture. Identified in the “Inventario de estructuras históricas en el pueblo de Isabel Segunda, Vieques, Puerto Rico” by Robert Rabin, 1991; ICP-PPHE Archives. Marked at ICP Inventory (No date - after 2001) as: Historic Site; ICP-PPHE Archives.

**Historic Photo:**

Archivo Histórico y Fotográfico de Puerto Rico, c.1940.



PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  
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**Project Number:** PR-CRP-000807 & PR-CRP-001111

Image No. 02	Date photo taken: 01/25/2023
Parcel/Lot #: Cadaster Number	457-042-014-08-001
Address:	Carlos LeBrun St; Isabel Segunda, Vieques, P.R.
Name / Historic name:	Empty Lot
Approx. Constr. Date/Style:	N/A
NRHP Status or Eligibility/Other:	Non-Contributing Property.
<p><b>Description</b> (include direction of image and other important information):                  Photo taken looking Northwest. The lot was identified to have a wooden residence (c.1900) at the "Inventario de estructuras históricas en el pueblo de Isabel Segunda, Vieques, Puerto Rico" by Robert Rabin, 1991; ICP-PPHE Archives. Marked at ICP Inventory (No date - after 2001) as: Not Eligible; ICP-PPHE Archives.</p>	
<p><b>Historic Photo:</b> (N/A)</p>	

**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

**Image No. 03**

**Date photo taken:** 01/25/2023



<b>Parcel/Lot #: Cadaster Number</b>	457-042-014-07
<b>Address:</b>	Carlos LeBrun St, corner Benítez Guzmán St.; Isabel Segunda, Vieques, P.R.
<b>Name / Historic name:</b>	Casa Alcaldía de Vieques (Vieques City Hall) / Historic Names: Casa de Gobierno; Casa Municipal; Casa del Rey; Ayuntamiento.
<b>Approx. Constr. Date/Style:</b>	c. 1844-1850, reconstructed in 1903.
<b>NRHP Status or Eligibility/Other:</b>	Individually Listed (Casa Alcaldía de Vieques, NRHP, 1994.) / Eligible with locally significance under Criteria A & C. / ICP: Historic Site; 2000-(RE)-18-JP-SH; May 16, 2001.
<b>Description</b> (include direction of image and other important information): Southeast façade, looking southwest (main façade). Vernacular adaptation on Colonial, Neoclassical and other architectural modes. Identified in the "Inventario de estructuras históricas en el pueblo de Isabel Segunda, Vieques, Puerto Rico" by Robert Rabin, 1991; ICP Archives. Marked at ICP Inventory (No date - after 2001) as: Historic Site.	

**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

**Historic Photo:**

Biblioteca Digital Puertorriqueña, Tarjetas Postales, 1960.



ICP Photographic Archive – 1973



**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

**Image No. 04**

**Date photo taken:** 01/25/2023



**Parcel/Lot #:**

**457-042-011-11**

**Cadaster Number**

**Address:**

Carlos LeBrun St, corner Benítez Guzmán St.; Isabel Segunda, Vieques, P.R.

**Name / Historic name:**

Vieques Art School / Historic Name: Vieques High School

**Approx. Constr. Date/Style:**

c.1910 / Neoclassical

**NRHP Status or Eligibility/Other:**

Eligible under Criterion C. The building maintains its original location, feeling, association, and setting, even though the building has been renovated to be an arts center, it still maintains its original design in most of its façades, and its educational character.

**Description** (include direction of image and other important information):

Carlos LeBrun St, corner Benitez Guzmán St.; looking north. The building was rehabilitated in 2021 to become the "Centro de Bellas Artes Iris Martínez"; inaugurated on April 18, 2021. Identified in the "Inventario de estructuras históricas en el pueblo de Isabel Segunda, Vieques, Puerto Rico" by Robert Rabin, 1991; ICP Archives. Marked at ICP Inventory (No date - after 2001) as: Not Eligible.

**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

**Historic Photo:**

Biblioteca Digital Puertorriqueña, Tarjetas Postales, n.d.



Archivo Histórico y Fotográfico de Puerto Rico, c.1950.



606 Barbosa Avenue, Building Juan C. Cordero Dávila, Río Piedras, PR 00918 | P.O. Box 21365 San Juan, PR 00928-1365  
Tel: (787)274-2527 | [www.vivienda.pr.gov](http://www.vivienda.pr.gov)

**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

**Image No.** 05

**Date photo taken:** 01/25/2023



<b>Parcel/Lot #:</b> <b>Cadaster Number</b>	457-043-015-17
<b>Address:</b>	Carlos LeBrun St, corner Benítez Guzmán St.; Isabel Segunda, Vieques, P.R.
<b>Name / Historic name:</b>	Park
<b>Approx. Constr. Date/Style:</b>	N/A
<b>NRHP Status or Eligibility/Other:</b>	Eligible under Criterion A. This park has been an open space since the early maps of the 1890's (refer to Figures 03-05). It maintains its original location, setting, feeling and association. Even though it has ben renovated over time, the fence structure and columns design has been the same since 1939, from the information available.
<b>Description</b> (include direction of image and other important information): Photo taken looking North. Marked at ICP Inventory (No date - after 2001) as: Eligible.	

**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

**Historic Photo:**

Archivo Histórico y Fotográfico de Puerto Rico, 1939.



ICP Photographic Archives, c.1950.



606 Barbosa Avenue, Building Juan C. Cordero Dávila, Río Piedras, PR 00918 | P.O. Box 21365 San Juan, PR 00928-1365  
Tel: (787)274-2527 | [www.vivienda.pr.gov](http://www.vivienda.pr.gov)

**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

Image No. 06	Date photo taken: 01/25/2023
	
Parcel/Lot #: Cadaster Number	457-043-015-16
Address:	Benitez Guzmán St.; Isabel Segunda, Vieques, P.R.
Name / Historic name:	Parroquia Inmaculada Concepción, Vieques Catholic Church.
Approx. Constr. Date/Style:	1998
NRHP Status or Eligibility/Other:	Non-Contributing Property.
<p><b>Description</b> (include direction of image and other important information):                  Southwest façade, looking northeast (main façade). Design by architect Efrén Badía.                  Marked at ICP Inventory (No date - after 2001) as: Eligible.</p>	

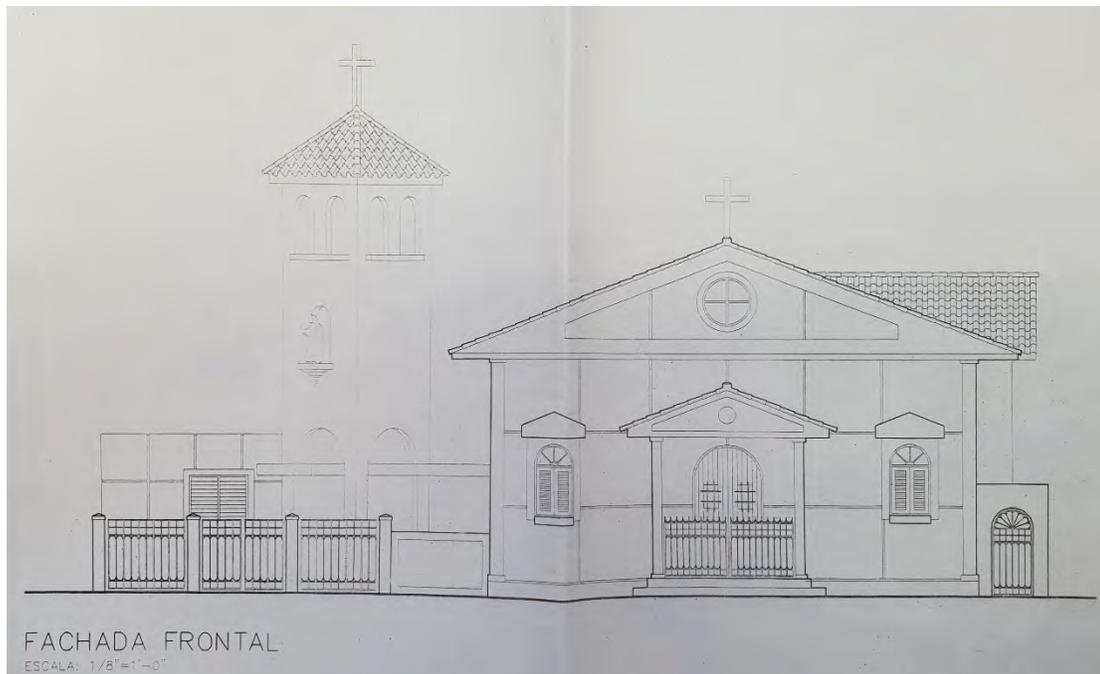
**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

**Historic Photo:**

ICP Archives, Architectural Plans, Arch. Efrén Badía, May 13, 1998.



ICP Photographic Archives: 1978, the photo shows a 1 level concrete building in the site.



**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM**  
**CITY REVITALIZATION PROGRAM (CRP)**  
**Section 106 NHPA Effect Determination**



**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

**Image No. 07**

**Date photo taken:** 01/25/2023



**Parcel/Lot #:**

**457-043-015-18**

**Cadaster Number**

**Address:**

Benitez Guzmán St.; Isabel Segunda, Vieques, P.R.

**Name / Historic name:**

Residence

**Approx. Constr. Date/Style:**

N/A

**NRHP Status or Eligibility/Other:**

Non-Contributing Property.

**Description** (include direction of image and other important information):

Southwest façade, looking northeast (main façade). Marked at ICP Inventory (No date after 2001) as: Not Eligible.

**Historic Photo:** (N/A)

**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

Image No. 08	Date photo taken: 01/25/2023
	
Parcel/Lot #: Cadaster Number	457-043-015-14
Address:	Benitez Guzmán St.; Isabel Segunda, Vieques, P.R.
Name / Historic name:	Residence
Approx. Constr. Date/Style:	c. 1940 / Art deco
NRHP Status or Eligibility/Other:	Eligible under Criterion C. The residence has some architectural elements that are distinguishable from the Art Deco design. Even though it has other architectural elements of other styles incorporated, it maintains its location, setting and feeling. Also, is the only building within the APE with an Art Deco style.
<p><b>Description</b> (include direction of image and other important information): Southwest façade, looking northeast (main façade). Identified in the “Inventario de estructuras históricas en el pueblo de Isabel Segunda, Vieques, Puerto Rico” by Robert Rabin, 1991; ICP Archives. Marked at ICP Inventory (No date - after 2001) as: Eligible.</p>	
<p><b>Historic Photo:</b> (N/A)</p>	

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  
 CITY REVITALIZATION PROGRAM (CRP)  
 Section 106 NHPA Effect Determination



**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

Image No. 009	Date photo taken: 01/25/2023
Parcel/Lot #: Cadaster Number	457-043-015-20
Address:	Benitez Guzmán St.; Isabel Segunda, Vieques, P.R.
Name / Historic name:	Residence
Approx. Constr. Date/Style:	N/A
NRHP Status or Eligibility/Other:	Non-Contributing Property.
<b>Description</b> (include direction of image and other important information): South façade, photo looking northeast. Marked at ICP Inventory (No date - after 2001) as: Not Eligible.	
<b>Historic Photo:</b> (N/A)	

**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

**Image No. 10**

**Date photo taken:** 01/25/2023



**Parcel/Lot #:**

**457-043-021-05**

**Cadaster Number**

**Address:**

Benitez Guzmán St., corner Antonio Mellado St. (San Francisco St.); Isabel Segunda, Vieques, P.R.

**Name / Historic name:**

Empty Lot.

**Approx. Constr. Date/Style:**

N/A

**NRHP Status or Eligibility/Other:**

Non-Contributing Property.

**Description** (include direction of image and other important information):

Photo taken looking east. Marked at ICP Inventory (No date - after 2001) as: Not Eligible.

**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

**Historic Photo:**

Archivo Histórico de Vieques, 1965.



**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

**Image No. 11**

**Date photo taken:** 01/25/2023



<b>Parcel/Lot #: Cadaster Number</b>	457-043-021-06
<b>Address:</b>	Antonio Mellado St. (San Francisco St.); Isabel Segunda, Vieques, P.R.
<b>Name / Historic name:</b>	Centro de Usos Múltiples de Vieques.
<b>Approx. Constr. Date/Style:</b>	No date available / Neoclassical.
<b>NRHP Status or Eligibility/Other:</b>	Non-Contributing Property.

**Description** (include direction of image and other important information):  
 West façade, looking east (main façade). Marked at ICP Inventory (No date - after 2001) as: Eligible. The façade of the building was reconstructed, original façade can be perceived in the historic photos attached. Further investigation on other building components (Ex. interior distribution and materials) should be investigated to determine building eligibility.

**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

**Historic Photo:**

Archivo Histórico de Vieques, 1965.



Archivo Histórico y Fotográfico de Puerto Rico, 1940.



**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

**Image No. 12**

**Date photo taken:** 01/25/2023



<b>Parcel/Lot #: Cadaster Number</b>	457-053-021-07
<b>Address:</b>	Antonio Mellado St. (San Francisco St.); Isabel Segunda, Vieques, P.R.
<b>Name / Historic name:</b>	Escuela Graduada Eugenio María de Hostos
<b>Approx. Constr. Date/Style:</b>	c.1930
<b>NRHP Status or Eligibility/Other:</b>	Eligible under Criterion A and C. The building maintains its original location, design, feeling, association, and setting. This building is also eligible for being part of the educational development in P.R. in the 20 <sup>th</sup> century.

**Description** (include direction of image and other important information):  
 West façade, looking northeast (main façade). Identified in the "Inventario de estructuras históricas en el pueblo de Isabel Segunda, Vieques, Puerto Rico" by Robert Rabin, 1991; ICP Archives. Marked at ICP Inventory (No date - after 2001) as: Eligible.

**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

**Historic Photo:**

Historia de Vieques – Facebook page, c.1940.



Archivo Histórico de Vieques, 1965.



**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

**Image No. 13**

**Date photo taken:** 01/25/2023



**Parcel/Lot #:**

457-053-021-08

**Cadaster Number**

**Address:**

Antonio Mellado St. (San Francisco St.); Isabel Segunda, Vieques, P.R.

**Name / Historic name:**

Residence.

**Approx. Constr. Date/Style:**

N/A

**NRHP Status or Eligibility/Other:**

Non-Contributing Property.

**Description** (include direction of image and other important information):

East façade (main), photo looking west. Marked at ICP Inventory (No date - after 2001) as: Not Eligible.

**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

**Historic photo:**

Archivo Histórico y Fotográfico de Puerto Rico, c.1940.  
Historic Name: Gertrudis Guadalupe residence, c.1900.



**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

**Image No. 14**

**Date photo taken:** 01/25/2023



<b>Parcel/Lot #: Cadaster Number</b>	457-053-021-09
<b>Address:</b>	370 Antonio Mellado St. (San Francisco St.); Isabel Segunda, Vieques, P.R.
<b>Name / Historic name:</b>	Residence / Historic Name: Gertrudis Guadalupe residence
<b>Approx. Constr. Date/Style:</b>	c.1900
<b>NRHP Status or Eligibility/Other:</b>	Eligible under Criterion C. The building maintains its original location, design, feeling, association, setting, material and workmanship.
<b>Description</b> (include direction of image and other important information): East façade (main), photo looking west. Identified in the "Inventario de estructuras históricas en el pueblo de Isabel Segunda, Vieques, Puerto Rico" by Robert Rabin, 1991; ICP Archives. Marked at ICP Inventory (No date - after 2001) as: Eligible.	

**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

**Historic Photo:**

Archivo Histórico y Fotográfico de Puerto Rico, c.1940.



**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

**Image No. 15**

**Date photo taken:** 01/25/2023



<b>Parcel/Lot #: Cadaster Number</b>	457-053-021-10
<b>Address:</b>	368 Antonio Mellado St. (San Francisco St.); Isabel Segunda, Vieques, P.R.
<b>Name / Historic name:</b>	Residence / Historic Name: Adrian Emeric residence.
<b>Approx. Constr. Date/Style:</b>	N/A
<b>NRHP Status or Eligibility/Other:</b>	Non-Contributing Property.
<b>Description</b> (include direction of image and other important information): East façade (main), photo looking west. Identified as a wood residence (S.XIX) in the "Inventario de estructuras históricas en el pueblo de Isabel Segunda, Vieques, Puerto Rico" by Robert Rabin, 1991; ICP Archives. Building has been intervened; concrete gallery/balcony and a wooden roof can be observed.	
<b>Historic photo:</b> (N/A)	

**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

**Image No. 16**

**Date photo taken:** 01/25/2023



<b>Parcel/Lot #: Cadastral Number</b>	457-052-026-01
<b>Address:</b>	Muñoz Rivera St.; Isabel Segunda, Vieques, P.R.
<b>Name / Historic name:</b>	Mixed use building.
<b>Approx. Constr. Date/Style:</b>	N/A
<b>NRHP Status or Eligibility/Other:</b>	Non-Contributing Property.
<b>Description</b> (include direction of image and other important information): North façade (main), photo looking south. Alterations to building caused an adverse effect to the existing/historic structure. Upper-level structure was originally a wood residence. Balcony beams seems to maintains building's original design.	

**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

**Historic photo:**

Archivo Histórico y Fotográfico de Puerto Rico, c.1950.



Existing photo, January 25, 2023.



PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  
 CITY REVITALIZATION PROGRAM (CRP)  
 Section 106 NHPA Effect Determination



**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

**Image No. 17**

**Date photo taken:** 01/25/2023



<b>Parcel/Lot #:</b> <b>Cadaster Number</b>	457-052-025-03
<b>Address:</b>	Muñoz Rivera St.; Isabel Segunda, Vieques, P.R.
<b>Name / Historic name:</b>	Mixed use building.
<b>Approx. Constr. Date/Style:</b>	N/A
<b>NRHP Status or Eligibility/Other:</b>	Non-Contributing Property.
<b>Description</b> (include direction of image and other important information): North façade (main), photo looking south.	
<b>Historic photo:</b> (N/A)	

**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

**Image No. 18**

**Date photo taken:** 01/25/2023



<b>Parcel/Lot #:</b> <b>Cadaster Number</b>	457-052-025-13
<b>Address:</b>	Muñoz Rivera St.; Isabel Segunda, Vieques, P.R.
<b>Name / Historic name:</b>	Mixed use building.
<b>Approx. Constr. Date/Style:</b>	N/A
<b>NRHP Status or Eligibility/Other:</b>	Non-Contributing Property.
<b>Description</b> (include direction of image and other important information): North façade (main), photo looking south.	
<b>Historic photo:</b> (N/A)	

**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

**Image No. 19**

**Date photo taken:** 01/25/2023



**Parcel/Lot #:**

**457-052-025-14**

**Cadaster Number**

**Address:**

Muñoz Rivera St., corner Carlos Le Brun St.; Isabel Segunda, Vieques, P.R.

**Name / Historic name:**

Commercial building / Historic Name: G & C Fashions

**Approx. Constr. Date/Style:**

c.1910

**NRHP Status or Eligibility/Other:**

Eligible under Criterion C. The building, specifically in its façade, maintains its original location, design, feeling, association, setting, material and workmanship. The interior elements have changed over time.

**Description** (include direction of image and other important information):

North and West façade (main entrance at building corner), photo looking south. Identified as a wood residence in the "Inventario de estructuras históricas en el pueblo de Isabel Segunda, Vieques, Puerto Rico" by Robert Rabin, 1991; ICP Archives.

**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

**Historic photo:**

Archivo Histórico y Fotográfico de Puerto Rico, c.1950.



**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

Image No. 20	Date photo taken: 01/25/2023
	
Parcel/Lot #: Cadaster Number	457-052-024-12
Address:	Muñoz Rivera St., corner Carlos Le Brun St.; Isabel Segunda, Vieques, P.R.
Name / Historic name:	Commercial building.
Approx. Constr. Date/Style:	N/A
NRHP Status or Eligibility/Other:	Non-Contributing Property.
<b>Description</b> (include direction of image and other important information): North façade (main), photo looking south.	
<b>Historic photo:</b> (N/A)	

**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

**Image No. 21**

**Date photo taken:** 01/25/2023



<b>Parcel/Lot #: Cadastral Number</b>	457-042-018-22
<b>Address:</b>	Muñoz Rivera St., corner Carlos Le Brun St.; Isabel Segunda, Vieques, P.R.
<b>Name / Historic name:</b>	Commercial building.
<b>Approx. Constr. Date/Style:</b>	N/A
<b>NRHP Status or Eligibility/Other:</b>	Non-Contributing Property.
<b>Description</b> (include direction of image and other important information): Corner view, photo looking west.	
<b>Historic photo:</b> (N/A)	

**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

**Image No. 22**

**Date photo taken:** 01/25/2023



<b>Parcel/Lot #: Cadaster Number</b>	457-042-018-09
<b>Address:</b>	441 Carlos Le Brun St. ; Isabel Segunda, Vieques, P.R.
<b>Name / Historic name:</b>	N/A
<b>Approx. Constr. Date/Style:</b>	N/A
<b>NRHP Status or Eligibility/Other:</b>	Non-Contributing Property.
<b>Description</b> (include direction of image and other important information): East façade, photo looking west. Identified as a commercial building (c.1910) in the "Inventario de estructuras históricas en el pueblo de Isabel Segunda, Vieques, Puerto Rico" by Robert Rabin, 1991; ICP Archives.	
<b>Historic photo:</b> (N/A)	

**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

**Image No. 23**

**Date photo taken:** 01/25/2023



<b>Parcel/Lot #:</b> <b>Cadaster Number</b>	457-042-018-08
<b>Address:</b>	Victor Duteil St., corner Carlos Le Brun St. ; Isabel Segunda, Vieques, P.R.
<b>Name / Historic name:</b>	N/A
<b>Approx. Constr. Date/Style:</b>	N/A
<b>NRHP Status or Eligibility/Other:</b>	Non-Contributing Property.
<b>Description</b> (include direction of image and other important information): Corner view, photo looking west. Marked at ICP Inventory (No date - after 2001) as: Not Eligible.	
<b>Historic photo:</b> (N/A)	

**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

Image No. 24

Date photo taken: 01/25/2023



<b>Parcel/Lot #: Cadastral Number</b>	A. 457-042-020-03 B. 457-042-020-02 C. 457-042-020-01
<b>Address:</b>	Víctor Duteil St.; Carlos Le Brun St.; Isabel Segunda, Vieques, P.R.
<b>Name / Historic name:</b>	The Methodist Church
<b>Approx. Constr. Date/Style:</b>	N/A
<b>NRHP Status or Eligibility/Other:</b>	Non-Contributing Property.

**Description** (include direction of image and other important information):  
 Corner view, photo looking east. Alterations to building caused an adverse effect to the existing/historic structure. Original architecture is highly impacted by later interventions. Marked at ICP Inventory (No date - after 2001) as: Not Eligible.

**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

**Historic photo:**

Methodist Church Archives, 1957.



Archivo Histórico y Fotográfico de Puerto Rico, c.1950-1960.



The Methodist Church in Isabel Segunda, Vieques Island, Puerto Rico

**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

**Image No. 25**

**Date photo taken:** 01/25/2023



<b>Parcel/Lot #: Cadaster Number</b>	457-052-020-05
<b>Address:</b>	Victor Duteil St.; Isabel Segunda, Vieques, P.R.
<b>Name / Historic name:</b>	Victor Duteil School / Historic Name: Vieques two (2) room school building, and Victor Duteil.
<b>Approx. Constr. Date/Style:</b>	1911.
<b>NRHP Status or Eligibility/Other:</b>	Previously Surveyed (Early XXth Century Schools in Puerto Rico, NRHP - Multiple Property Documentation, 2012.) / Eligible under Criterion A and C.

**Description** (include direction of image and other important information):  
 North façade view (main), photo taken looking south. Identified in the "Inventario de estructuras históricas en el pueblo de Isabel Segunda, Vieques, Puerto Rico" by Robert Rabin, 1991; ICP Archives. Marked at ICP Inventory (No date - after 2001) as: Eligible.

**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

**Historic photo:**

Archivo Histórico y Fotográfico de Puerto Rico, c.1940.



Archivo Histórico y Fotográfico de Puerto Rico,



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**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

**Image No. 26**

**Date photo taken:** 01/25/2023



<b>Parcel/Lot #: Cadaster Number</b>	457-052-020-06
<b>Address:</b>	355 Antonio Mellado St.; Isabel Segunda, Vieques, P.R.
<b>Name / Historic name:</b>	Casa Delerme-Anduze No. 2, Casa de Don Rosendo Delerme
<b>Approx. Constr. Date/Style:</b>	c.1872
<b>NRHP Status or Eligibility/Other:</b>	Individually Listed (Casa Delerme-Anduze No. 2, NRHP, 1993.) / Eligible with locally significance under Criteria C. / ICP: Historic Site; 2000-(RE)-18-JP-SH; May 16, 2001.

**Description** (include direction of image and other important information): East façade (main), photo taken looking west. Identified in the "Inventario de estructuras históricas en el pueblo de Isabel Segunda, Vieques, Puerto Rico" by Robert Rabin, 1991; ICP Archives. Marked at ICP Inventory (No date - after 2001) as: Historic Site.

**Additional Description of the property found in DTOP archives: (1967)**

It has a wooden floor on a brick and stone wall, wooden exterior walls covered in smooth zinc, interior walls are made of wood, the doors and windows are of the board type and the zinc roof is hipped with corrugated metal sheets. It has a porch with a concrete floor over filling and a wooden railing. It is painted green. It has electricity, aqueduct water and sewage service. It consists of three bedrooms, living / dining room. It is currently unoccupied. Measures 31.583' x 34'.

**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

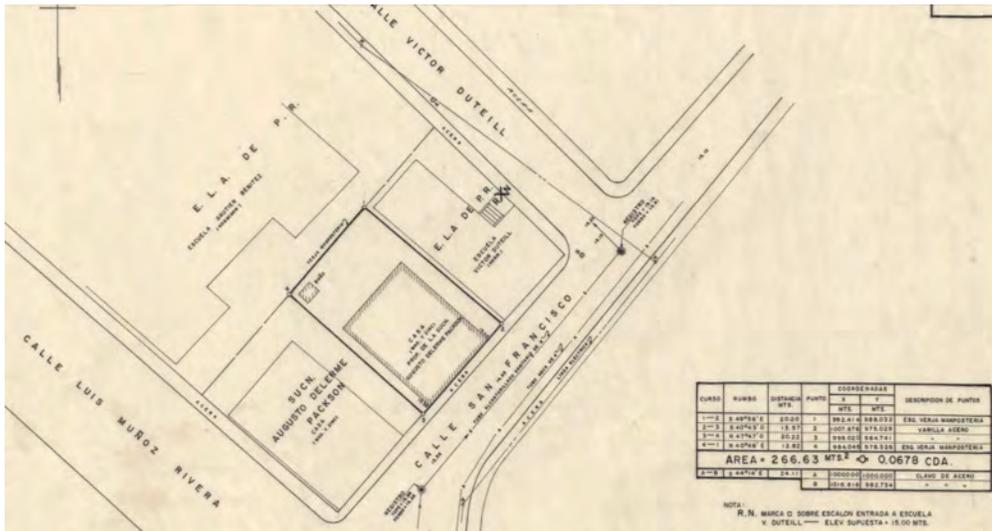
**Project Number:** PR-CRP-000807 & PR-CRP-001111

**Historic photo:**

National Register of Historic Places, Nomination. 1992.



PR Public Works Department Archive. 1965.



In 1967, this residence was evaluated to become Gautier Benítez School lunchroom, but no other  
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**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

information was found to confirm that his was done. At the moment the house is abandoned.  
PR Public Works Department Archive, c.1967.

IDENTIFICACION DE LA PARCELA

Proyecto Comedor Escolar Escuela Elem. Parcela Núm. \_\_\_\_\_  
Gautier Benitez

Municipio Vieques Dueño Sucn. Delorme



Frente de la estructura



Frente de la estructura

**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

Image No. 27	Date photo taken: 01/19/2023
	
Parcel/Lot #: Cadaster Number	457-052-020-07
Address:	361 Antonio Mellado St.; Isabel Segunda, Vieques, P.R.
Name / Historic name:	Delorme- Anduze House, Rosendo Delorme House
Approx. Constr. Date/Style:	c. 1850
NRHP Status or Eligibility/Other:	Individually Listed (Delorme-Anduze House, NRHP, 1993.) / Eligible with locally significance under Criteria C. / ICP: Historic Site; 2000-(RE)-18-JP-SH; May 16, 2001.
<p><b>Description</b> (include direction of image and other important information):                  Corner view, photo taken looking northwest. Identified in the "Inventario de estructuras históricas en el pueblo de Isabel Segunda, Vieques, Puerto Rico" by Robert Rabin, 1991; ICP Archives. Marked at ICP Inventory (No date - after 2001) as: Historic Site.</p>	
<p> </p>	

**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

**Historic photo:**

Archivo Histórico y Fotográfico de Puerto Rico, c.1950.



National Register of Historic Places, Nomination. 1992.



**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

Image No. 28	Date photo taken: 01/25/2023
	
<b>Parcel/Lot #: Cadaster Number</b>	457-052-020-04
<b>Address:</b>	Victor Duteil St.; Isabel Segunda, Vieques, P.R.
<b>Name / Historic name:</b>	Gautier Benítez School / Historic Name: Vieques Graded School Building.
<b>Approx. Constr. Date/Style:</b>	1907
<b>NRHP Status or Eligibility/Other:</b>	Previously Surveyed (Early XXth Century Schools in Puerto Rico, NRHP - Multiple Property Documentation, 2012.) / Eligible under Criterion A & C.
<b>Description</b> (include direction of image and other important information): North façade (main), photo looking south. Identified in the “Inventario de estructuras históricas en el pueblo de Isabel Segunda, Vieques, Puerto Rico” by Robert Rabin, 1991; ICP-PPHE Archives. Marked at ICP Inventory (No date - after 2001) as: Eligible.	

**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

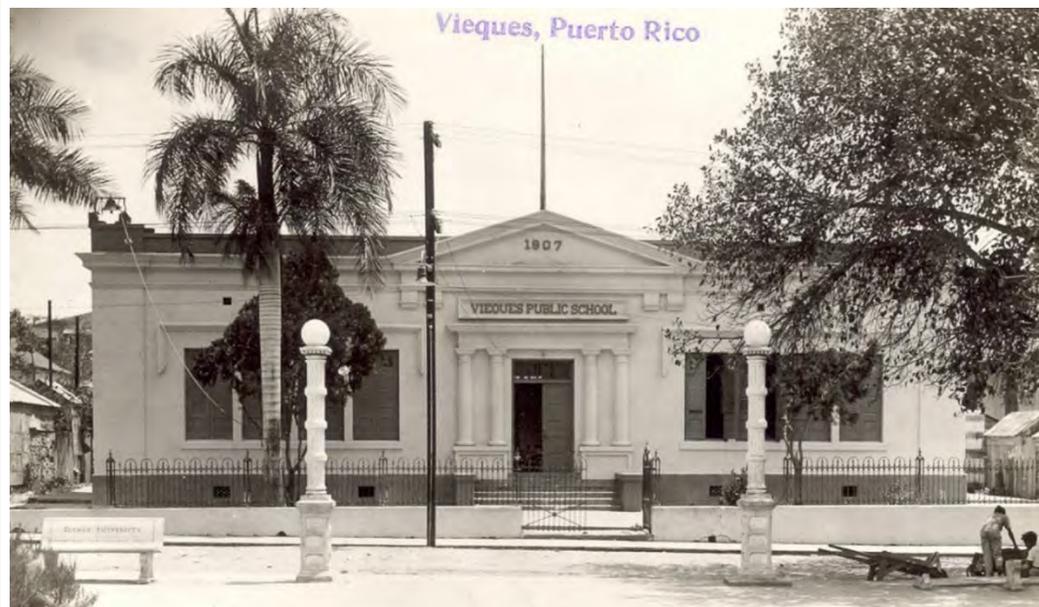
**Project Number:** PR-CRP-000807 & PR-CRP-001111

**Historic photo:**

Library of Congress, c.1907.



Archivo Histórico y Fotográfico de Puerto Rico, 1940.



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**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

Archivo de Arquitectura y Construcción de la Universidad de Puerto Rico.



Archivo de Arquitectura y Construcción de la Universidad de Puerto Rico.



**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

**Image No.** 029

**Date photo taken:** 01/19/2023



**Parcel/Lot #:**

457-042-019-01

**Cadaster Number**

**Address:**

Coordinates: Lat:18.149434°, Long: -65.441308°; Isabel Segunda, Vieques, P.R.

**Name / Historic name:**

Plaza Luis Muñoz Rivera

**Approx. Constr. Date/Style:**

c.1845

**NRHP Status or Eligibility/Other:**

Eligible under Criterion A. / ICP: Historic Site; 2000-(RE)-18-JP-SH; May 16, 2001. The plaza is part of the traditional urban center development and has also archeological importance.

**Description** (include direction of image and other important information):

Photo looking east. Even though its design has changed throughout the years, it is documented to have 1900's cistern walls under the Plaza. Also, its importance of being the foundational center of the City of Vieques makes it eligible. Marked at ICP Inventory (No date - after 2001) as: Historic Site.

**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

**Historic photo:**

Archivo Histórico y Fotográfico de Puerto Rico, Nov. 17, 1909.



Archivo Histórico y Fotográfico de Puerto Rico, March-1949.



**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

Archivo Histórico y Fotográfico de Puerto Rico, 1957.



Archivo Histórico de Vieques, 1963.

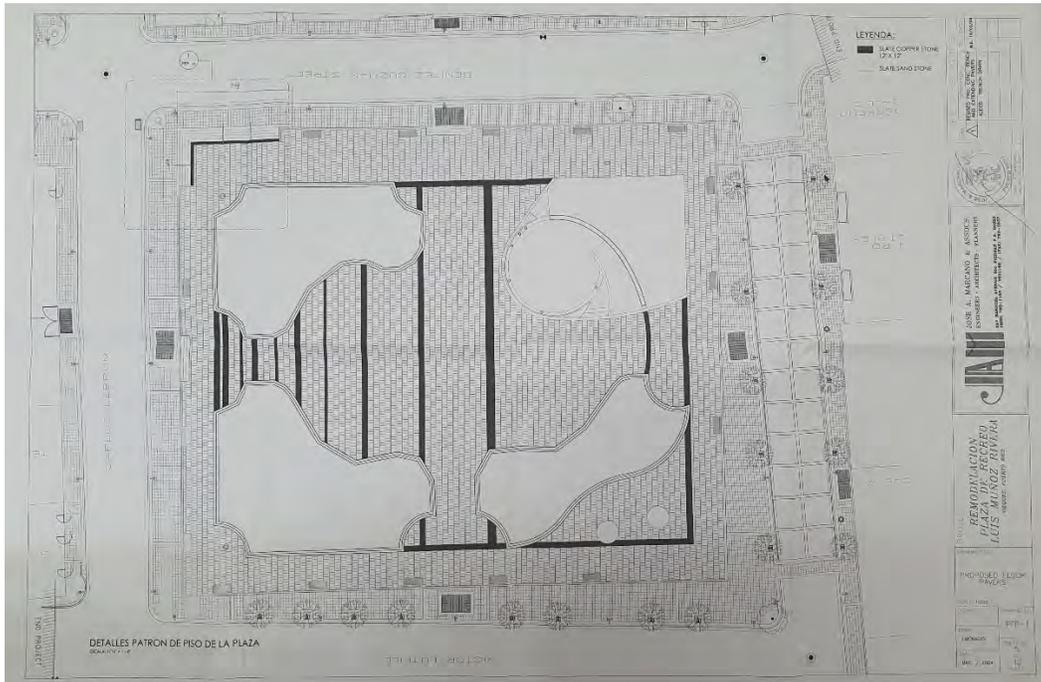


Subrecipient: Municipality of Vieques, PR

Project Name: Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

Project Number: PR-CRP-000807 & PR-CRP-001111

ICP Archives, 2004.



Arch. Jorge Rigau photographic archive, c.2007.



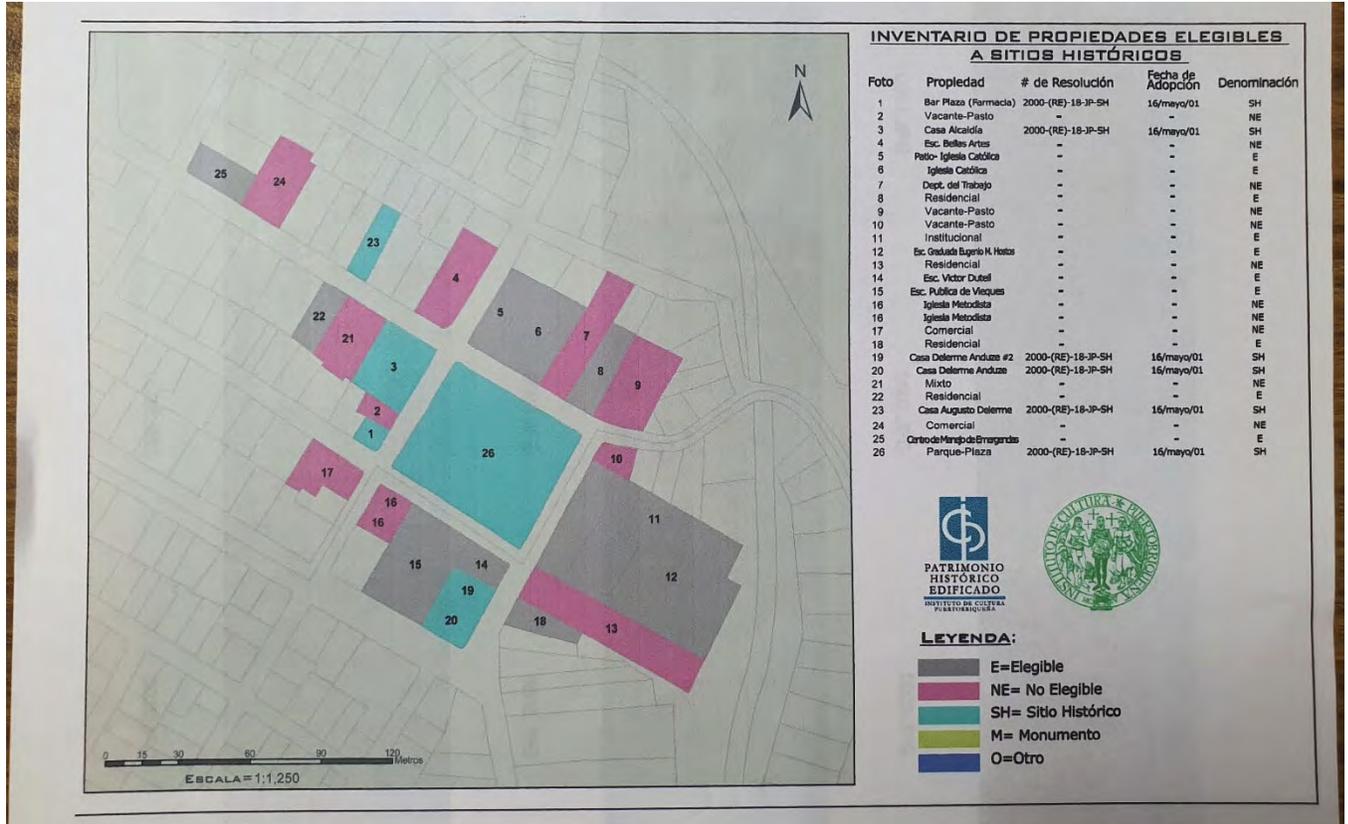
Subrecipient: Municipality of Vieques, PR

Project Name: Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

Project Number: PR-CRP-000807 & PR-CRP-001111

II. APE Inventory Appendix:

- Figure 63: “Inventario de propiedades elegibles a sitios históricos”, Instituto de Cultura Puertorriqueña, Archivos del Programa de Patrimonio Histórico Edificado. (ICP-PPHE Archives)



(No date - after 2001)

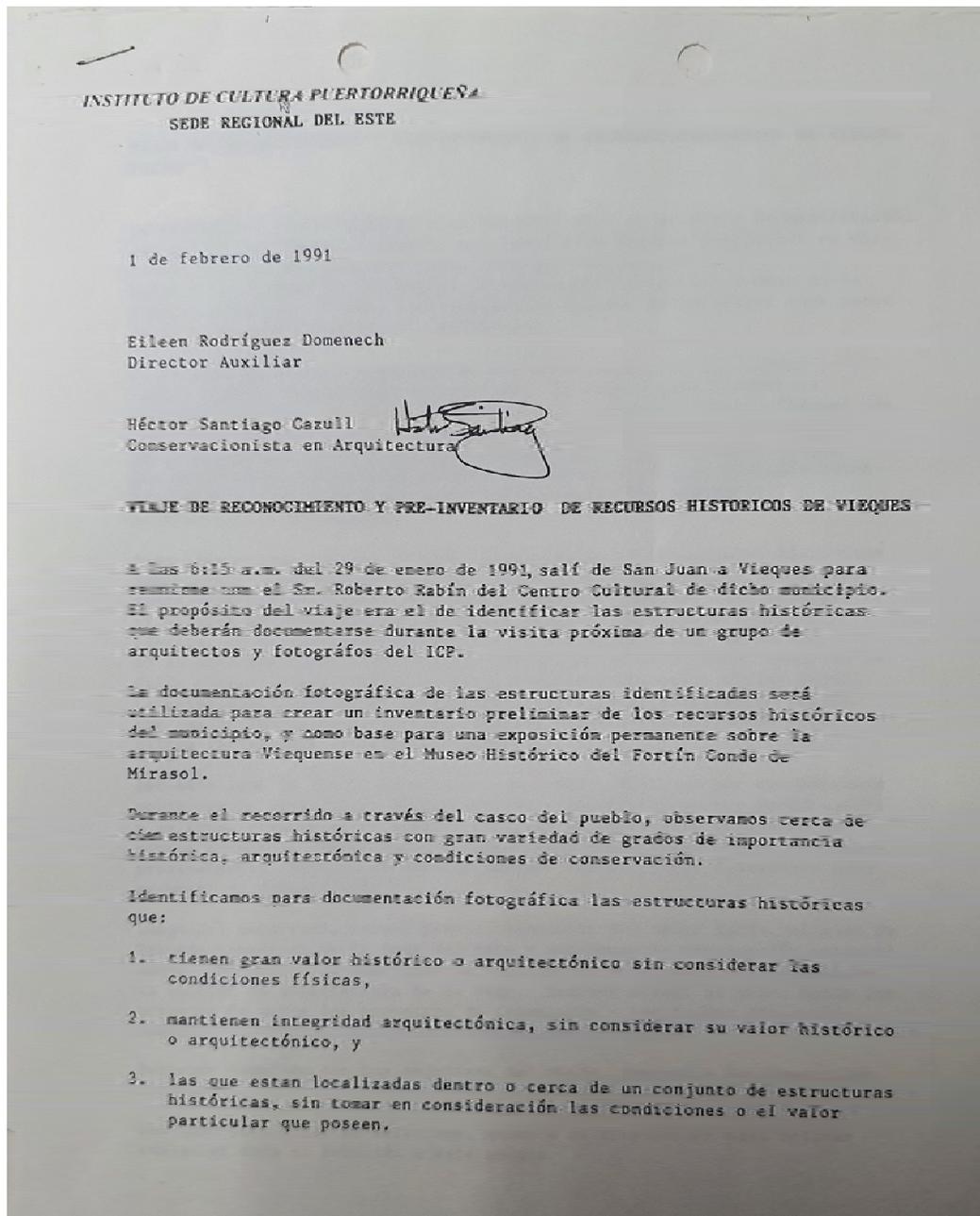
**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

2. Figure 64: “Inventario de estructuras históricas en el pueblo de Isabel Segunda, Vieques, Puerto Rico”, by Robert Rabin, 1991. ICP-PPHE Archives.

Figure 64-1





**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

Figure 64-2

VIAJE DE RECONOCIMIENTO Y PRE-INVENTARIO DE RECURSOS HISTORICOS DE VIEQUES  
PAGINA 2

Se enumeraron 79 estructuras y se identificaron en un plano de zonificación del pueblo de Vieques. Además, visitamos tres lugares históricos en distintos lugares del municipio – la Casa del Francés, El Faro de Punta Mulás y Las Ruinas de la Central, donde también están las tumbas de la familia Leguillou. Todas las estructuras deberán documentarse como parte de la colección fotográfica e inventario.

Se preparó un listado enumerado de las estructuras con la dirección y el nombre o breve descripción de cada una. En base a este listado se tomarán dos o tres fotos de cada estructura – cada estructura llevará una foto de la fachada, tomada de frente y una foto que muestre la relación de la estructura hacia otras estructuras históricas adyacentes. Sólo las estructuras identificadas como de interés particular llevarán fotos adicionales, las cuales documentarán en detalle los elementos particulares o de interés.

Cabe señalar que a pesar de haber identificado 79 estructuras históricas según los criterios señalados, las mismas están dispersas a través del casco urbano y no componen una zona o conjunto íntegro. Sin embargo, sí existen pequeños núcleos en varios puntos – en torno a la plaza pública, en la Calle Antonio Meliá al sur de la plaza, en la Calle 65 de Infantería oeste de la Calle Lebrón, en la Calle Ancha oeste de la Calle Carlos Lebrón y hacia el extremo oeste de la Calle Víctor Duteil. La mayor concentración de estructuras ocurre en el cuadrángulo formado por las calles 65 de Infantería, Benítez Guzmán, Carlos Lebrón y la última calle hacia el oeste del pueblo.

Por otro lado, la visita dejó claro que Vieques mantiene una considerable población de estructuras históricas con características muy particulares a la isla. Por ende, se debería realizar un inventario detallado de dichos recursos, además de la documentación fotográfica que se realizará próximamente. También se deberán nominar varios sitios históricos para promover su conservación.

Luego del recorrido, resumí para el beneficio del señor Rabín, el plan de Trabajo Semestral de la Sede del Este y acordamos la cooperación entre el Centro Cultural y la Sede para la realización de algunas actividades de la sección de arquitectura de la Sede. También ofrecí al señor Rabín una orientación sobre los proyectos de inventario y los fondos disponibles mediante la Oficina Estatal de Preservación Histórica.

Habiendo cumplido con los objetivos del viaje, regresé a San Juan a las 5:00 p.m.

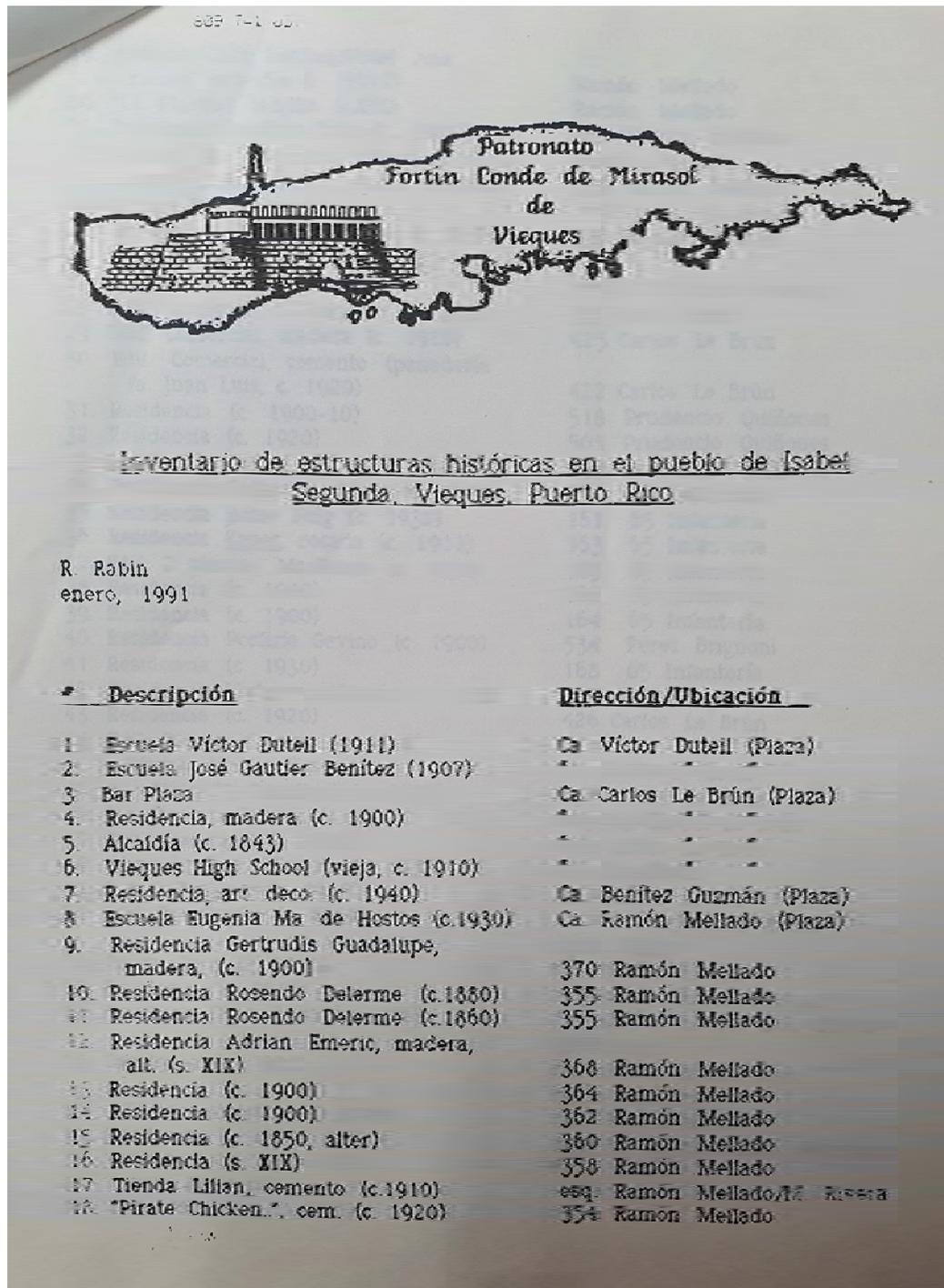
Sin otro particular al referirme, quedo a su disposición para aclarar cualquier duda en relación a este asunto.

**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

Figure 64-3





Subrecipient: Municipality of Vieques, PR

Project Name: Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

Project Number: PR-CRP-000807 & PR-CRP-001111

Figure 64-4

19. Antigua Casa Benítez/Hotel Ana ruinas incendio (c. 1910)	Ramón Mellado
20. "La Placita", ladrillo (s.XIX)	Ramón Mellado
21. Residencia Porfirio Ortiz (c. 1900)	341 Ramón Mellado
22. Escuela San Francisco, ruinas (c.1920)	Ramón Mellado
23. Glamyr School Supply, cem. (c.1940)	339 Ramón Mellado
24. Glamyr II (c. 1940)	337 Ramón Mellado
25. Provisiones Emeric, madera (s. XIX)	332 Ramón Mellado
26. Emeric, edif. adyacente (s. XIX)	
27. Residencia (c. 1910)	(*55) 206 San Francisco
28. Edif. Comercial, C. González (c. 1900)	395 José Sueiro
29. Edif. Comercial, madera (c. 1910)	425 Carlos Le Brún
30. Edif. Comercial, cemento (panadería Ta. Juan Luis, c. 1920)	422 Carlos Le Brún
31. Residencia (c. 1900-10)	518 Prudencio Quiñones
32. Residencia (c. 1920)	503 Prudencio Quiñones
33. Residencia Carmelina Paz (c. 1940)	499 Prudencio Quiñones
34. Residencia Guillermo Pérez (c. 1910)	159 65 Infantería
35. Residencia Jaime Puig (c. 1930)	161 65 Infantería
36. Residencia Kaper, rosada (c. 1910)	163 65 Infantería
37. Edif. 2 plantas, MacFaline (c. 1930)	165 65 Infantería
38. Residencia (c. 1940)	162 65 Infantería
39. Residencia (c. 1900)	164 65 Infantería
40. Residencia Porfiria Gasino (c. 1900)	534 Pérez Brignoni
41. Residencia (c. 1930)	168 65 Infantería
42. Residencia Victoriana Marín (c. 1910)	169 65 Infantería
43. Residencia (c. 1920)	426 Carlos Le Brún
44. Edif. Comercial, cem. (c. 1940) Oficina Víctor Simón	Ca. Carlos Le Brún
45. Bar Plata (T. González) (c. 1930)	437 Carlos Le Brún
46. Bar Pantera Rosada (c. 1910)	esq. 65 Inf./C. Le Brún
47. Edif. Comercial (c. 1910)	441 Carlos Le Brún
48. Almacén Ferr. Victoria (c. 1930)	65 Infantería
49. G & C Fashions (c. 1910)	Ca. Muñoz Rivera
50. Edif. Bar Caribe (c. 1910)	Ca. Muñoz Rivera, frente Sport Shop
51. Sports Shop (c. 1910)	Ca. Muñoz Rivera
52. Residence (c. 1910)	adyacente Banco Popular
53. Residence Nana Ortiz (c. 1910)	Ca. Muñoz Rivera, lado clínica- laboratorio
54. Residence (c. 1900)	Ca. Muñoz Rivera, lado Hotel Carmen
55. Edif. res-comercial (c.1900)	Ca. Muñoz Rivera
56. Residencia (c. 1930 - 40)	esq. M. Rivera/Punto Peterson
57. Residencia (c. 1930 - 40)	lado último
58. Iglesia Episcopal	
59. Logia Masónica (c. 1925)	

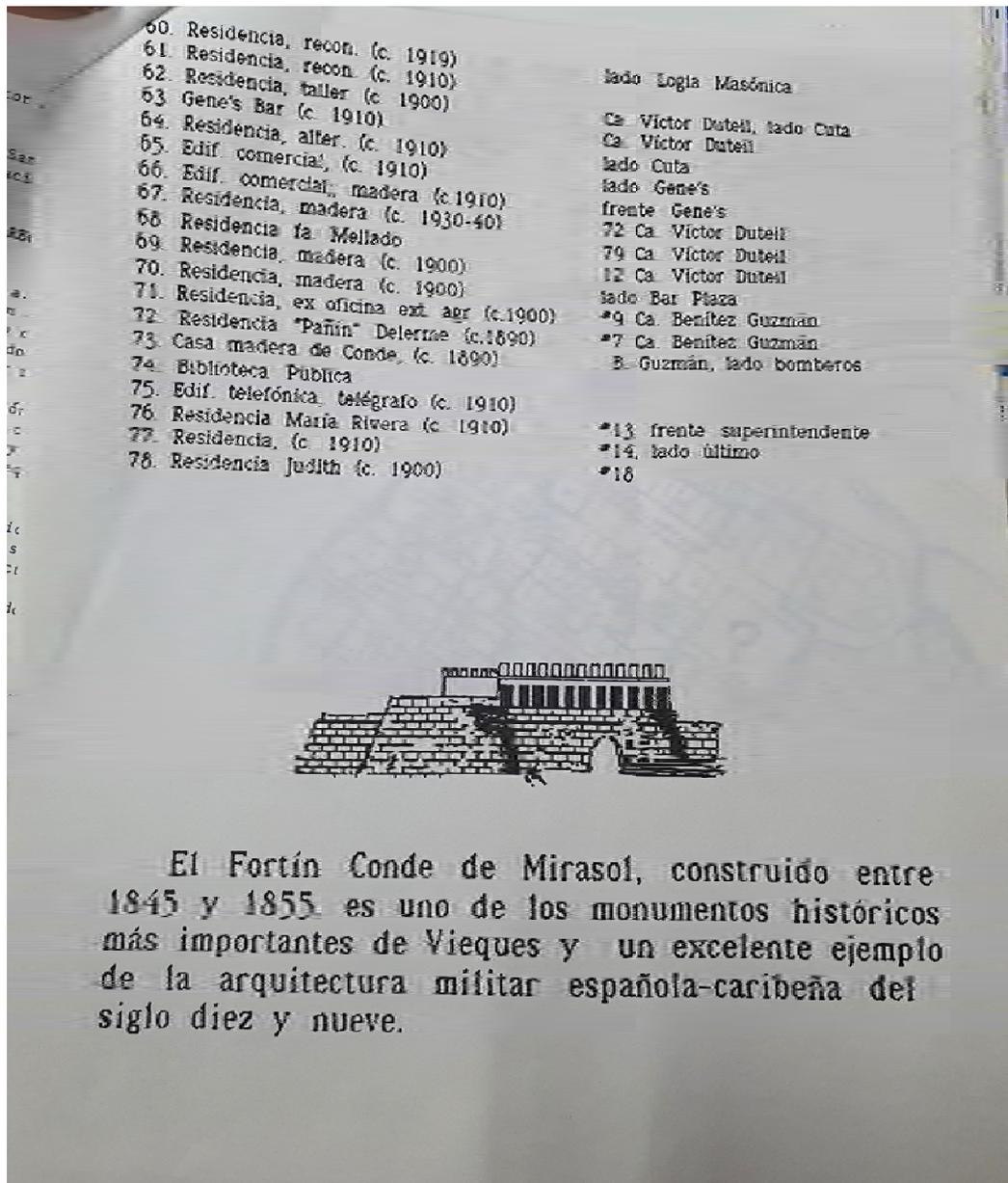


**Subrecipient:** Municipality of Vieques, PR

**Project Name:** Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

**Project Number:** PR-CRP-000807 & PR-CRP-001111

Figure 64-5



Subrecipient: Municipality of Vieques, PR

Project Name: Vieques City Revitalization – Group 2 Projects: Mejoras a la Plaza Pública de Vieques (*Improvements to the Vieques Public Square*) (Plaza) & Plaza del Mercado de Transformación Social y Comunitario (*Market Square for Social and Community Transformation*) (School)

Project Number: PR-CRP-000807 & PR-CRP-001111

Figure 64-6



606 Barbosa Avenue, Building Juan C. Cordero Dávila, Río Piedras, PR 00918 | P.O. Box 21365 San Juan, PR 00928-1365  
Tel: (787)274-2527 | [www.vivienda.pr.gov](http://www.vivienda.pr.gov)



PROJECT NO. 2252

# VIEQUES CITY REVITALIZATION - GROUP 2 PROJECTS

## PR-CRP-00807 IMPROVEMENTS TO THE VIEQUES PUBLIC SQUARE

## PR-CRP-01111 MARKET SQUARE FOR SOCIAL AND COMMUNITY TRANSFORMATION

**100% SCHEMATIC DESIGN - REVISED**  
**07.14.2023**



**MARVEL**  
 161 SAN JORGE ST., FLR.2 SAN JUAN, PR 00911  
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**OWNER**  
 MUNICIPIO DE VIEQUES  
 CALLE CARLOS LEBRUM 449  
 VIEQUES, PR 00765

**STRUCTURAL ENGINEER**  
 JCDM STRUCTURAL LLC  
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 RIO PIEDRAS, PR 00959

**MEP ENGINEER**  
 BABILONIA ENGINEERING GROUP  
 1223 PONCE DE LEON AVE.  
 SAN JUAN, PR 00906

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**SURVEYOR**  
 FSS LAND SURVEYORS & CONSULTANTS  
 P.O. BOX 2075, AIBONITO, PR 00705

**ISSUE RECORD DESCRIPTION**

REV	DATE	DESCRIPTION
1	05.05.2023	100% SD
2	07.14.2023	100% SD REV

YO, JONATHAN J. MARVEL FULLER, NÚMERO DE LICENCIA 21738, CERTIFICO QUE SOY EL PROFESIONAL QUE CONFECCIONO, DISEÑO Y/O PREPARO ESTOS PLANOS Y LAS ESPECIFICACIONES COMPLEMENTARIAS. TAMBIÉN, CERTIFICO QUE ENTENDIENDO QUE DICHS PLANOS Y ESPECIFICACIONES CUMPLEN CON LAS DISPOSICIONES APLICABLES DEL REGLAMENTO CONJUNTO Y LAS DISPOSICIONES APLICABLES DE LOS REGLAMENTOS Y CÓDIGOS DE CONSTRUCCIÓN VIGENTES DE LAS AGENCIAS, JUNTAS REGULADORAS O CORPORACIONES PÚBLICAS CON JURISDICCION CERTIFICO, ADICIONAL, QUE EN LA PREPARACION DE ESTOS PLANOS Y ESPECIFICACIONES SE HA CUMPLIDO CABALMENTE CON LO DISPUESTO EN LA LEY NÚM. 14 DE 8 DE ENERO DE 2004, SEGUN ENMIENDADA, CONOCIDA COMO LA LEY PARA LA INVERSION POR LA INDUSTRIA PUERTORRIQUEÑA Y CON LA LEY NÚM. 86 DE 11 DE JULIO DE 1976, SEGUN ENMIENDADA, RECONOCIENDO QUE CUALQUIER DECLARACION FALSA O FALSIFICACION DE LOS HECHOS QUE SE HAYA PRODUCIDO POR DESCUIDADO O POR NEGLIGENCIA YA SEA POR MI, MIS AGENTES O EMPLEADOS, O POR OTRAS PERSONAS CON MI CONOCIMIENTO, ME HACEN RESPONSABLE DE CUALQUIER ACCION JUDICIAL Y DISCIPLINARIA POR LA ODEP.

MA #2252  
 VIEQUES CITY REV -  
 GROUP 2  
 CRP-PR-000807 &  
 CRP-PR-001111  
 VIEQUES, PR

TITLE SHEET

SCALE: 12" = 1'-0"

DRAWING #:  
**T-001** of

APPENDIX E: SHPO Letter for exploratory studies

---



**GOVERNMENT OF PUERTO RICO**  
**STATE HISTORIC PRESERVATION OFFICE**

Executive Director | Carlos A. Rubio-Cancela | [carubio@prshpo.pr.gov](mailto:carubio@prshpo.pr.gov)

Tuesday, July 18, 2023

**Lauren Bair Poche**

HORNE - Architectural Historian Manager  
10000 Perkins Rowe, Suite 610 Bldg. G  
Baton Rouge, LA 70810

SHPO: 06-23-23-03 VIEQUES, PUERTO RICO DISASTER RECOVERY, CDBG-DR CITY REVITALIZATION PROGRAM (CRP), TECHNICAL ASSISTANCE REQUEST FOR STRUCTURAL AND EXPLORATORY STUDIES FOR PR-CRP-000807 AND PR-CRP-001111: IMPROVEMENTS TO THE VIEQUES PUBLIC SQUARE AND MARKET SQUARE FOR COMMUNITY AND SOCIAL TRANSFORMATION, VIEQUES, PUERTO RICO

Dear Ms. Poche,

Our Office received correspondence on June 23, 2023, regarding the above referenced project. We are providing comments and recommendations as a technical assistance for structural and exploratory studies at Vieques Public Square and the former J. Gautier Benítez School.

After a review of all the documentation provided, the PRSHPO concurs with your determination that the proposed exploratory studies will have no adverse effect on the historical integrity of the school structure, nor on the plaza.

Once the results of the exploratory studies and project are available, they will be submitted to the PRSHPO for review.

Please note that should the Agency discover other historic properties at any point during project implementation, you should notify the SHPO immediately. If you have any questions concerning our comments, do not hesitate to contact our Office.

Sincerely,

Carlos A. Rubio-Cancela  
State Historic Preservation Officer  
CARC/GMO/LGC/EVR/MB





October 20, 2022

**Arch. Carlos A. Rubio Cancela**

Executive Director

State Historic Preservation Officer

Cuartel de Ballajá Bldg.

San Juan, Puerto Rico

**Re: Authorization to Submit Documents**

Dear Arch. Rubio Cancela:

The U.S. Department of Housing (HUD) approved the allocations of Community Development Block Grant (CDBG-DR) funds on February 9, 2018. It also approved the allocation of Community Development Block Grant Mitigation (CDBG-MIT) funds on January 27, 2020. The purpose of these allocations is to address unsatisfied needs as a result of Hurricanes Irma and Maria in September 2017; and to carry out strategic and high-impact activities to mitigate disaster risks and reduce future losses.

To comply with the environmental requirements established by HUD, the Department of Housing of Puerto Rico (PRDOH) contracted Horne Federal LLC to provide environmental registry review services, among others, that will support the objectives of the agenda for both CDBG-DR and CDBG -MIT Programs.

In line to expedite the processes, Horne Federal LLC, is authorized to submit to the State Historic Preservation Officer, documentation of projects related to both the CDBG-DR and CDBG-MIT on behalf of PRDOH.

Cordially,

Juan C. Pérez Bofill, P.E. M.Eng

Director of Disaster Recovery

CDBG DR-MIT



# GOVERNMENT OF PUERTO RICO

## STATE HISTORIC PRESERVATION OFFICE

Executive Director | Carlos A. Rubio Cancela | carubio@prshpo.pr.gov

Friday, April 19, 2024

### Lauren B Poche

269 Avenida Ponce de Leon, San Juan, PR, 00917

SHPO-CF-03-28-24-03 PR-CRP-000807/001111 (Vieques) Structural and Exploratory Studies Findings

Dear Ms. Poche,

We acknowledge receipt of the Archaeological Monitoring of the Structural and Exploratory Studies for PR-CPR-000807 and PR-CRP-001111 submitted on March 28, 2024, for the case mentioned above. The report presents the findings of the monitoring as well as the results for the studies themselves and confirms that monitoring is needed for the project undertakings themselves.

As mentioned in our letter of November 29, 2023, once the monitoring work plans are submitted, we will continue with our review.

Please note that should the Agency discover other historic properties at any point during project implementation, you should notify the SHPO immediately. If you have any questions concerning our comments, do not hesitate to contact our Office.

Sincerely,

Carlos A. Rubio Cancela

State Historic Preservation Officer

CARC/GMO/ EVR



Cuartel de Ballajá (Tercer Piso), Calle Norzagaray, Esq. Beneficencia, Viejo San Juan, PR 00901 | PO Box 9023935, San Juan, PR 00902-3935

March 28, 2024

Carlos A. Rubio Cancela  
State Historic Preservation Officer  
Puerto Rico State Historic Preservation Office  
Cuartel de Ballajá (Tercer Piso)  
San Juan, PR 00902-3935

### **Puerto Rico Disaster Recovery, CDBG-DR City Revitalization (City-Rev) Program**

#### **Report Submission for the Archaeological Monitoring of the Structural and Exploratory Studies for PR-CRP-000807 and PR-CRP-001111: Improvements to the Vieques Public Square and Market Square for Community and Social Transformation Project, Vieques, Puerto Rico (SHPO 06-23-23-06)**

Dear Architect Rubio Cancela,

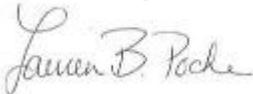
On behalf of the Puerto Rico Department of Housing and the Municipality of Vieques, we thank you for your letter dated July 18, 2023 regarding a technical assistance request for structural and exploratory studies to be conducted at the Vieques Public Square and the former J. Gautier Benítez School. In that letter you stated that the PRSHPO concurred with our determination that the proposed exploratory studies would have no adverse effect upon the historic integrity of the school structure nor the plaza. It was requested that once the exploratory studies and project are available, to submit them for review.

On November 2, 2023, consultation was initiated for these projects by HORNE on behalf of PRDOH. Based on the provided documentation, the Program requested a concurrence that a determination that no historic properties affected was appropriate for the undertaking. For archaeology, this was conditioned to a archaeological monitoring with a plan developed for the excavations to be conducted at both the plaza and the school; this plan is will be submitted to the PRSHPO for review and approval. The response letter, dated November 29, 2023 stated that the PRSHPO concurred with our finding of no adverse effect for this undertaking, conditioned to archaeological monitoring during all ground disturbing activities for both the Luis Muñoz Rivera Plaza and the former J. Gautier Benítez School and that once the monitoring work plan was submitted that your review would continue. Additionally, the recommendation was made for a lighter, more transparent design for the access ramp to the main entrance of the former school because as proposed, it visually impacts the façade of the historic building.

At this time, we are presenting your office with the Archaeological Monitoring of the Structural and Exploratory Studies for PR-CPR-000807 and PR-CRP-001111 for review. The report presents the findings of the monitoring as well as the results for the studies themselves and confirms that monitoring is needed for the project undertakings themselves.

Please contact me with any questions or concerns by email at [lauren.poche@horne.com](mailto:lauren.poche@horne.com) or phone at 225-405-7676.

Kindest regards,



**Lauren Bair Poche. M.A.**

Architectural Historian, EHP Senior Manager

Attachments

# INFORME FINAL – Monitoria Arqueológica

Proyecto:

Vieques City Revitalization CRP-PR-001111 Market Square for  
Community and Social Transformation & PR-CRP-000807  
Improvements to the Vieques Public Square

*Estudios Estructurales y Exploratorias*

Calle Víctor Duteil, Isabel Segunda, Vieques, Puerto Rico

ICP-PAE: IV-23-410

Presentado a:

**Municipio de Vieques**

Carlos Bermúdez

Presidente Junta de Subastas

  
Arqueología Maurás, Inc.  
Adalberto Maurás Casillas  
1605 Calle Poincare  
San Juan, PR 00911

5 de marzo de 2024

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## I. Introducción

El Municipio de Vieques ha contratado Arqueología Maurás, Inc. para realizar una Monitoria Arqueológica para el proyecto “Vieques City Revitalization CRP-PR-001111 Market Square for Community and Social Transformation & PR-CRP-000807 Improvements to the Vieques Public Square - Estudios Estructurales y Exploratorias”, Calle Víctor Duteil, Isabel Segunda, Vieques, PR. Esto en respuesta a la carta del 11 de agosto de 2023 (Anejo 1) del Programa de Arqueología y Etnohistoria (PAE) adscrita al Instituto de Cultura Puertorriqueña (ICP).

Los detalles del proyecto, así como el trasfondo histórico de Plaza Muñoz Rivera y la Escuela Gautier Benítez, se exponen en el “Section 106 NHPA Effect Determination FORM (Anejo 1). La Monitoria Arqueológica se realizó el 8 de febrero del presente, participando en esta Néstor Rodulfo y Adalberto Maurás.

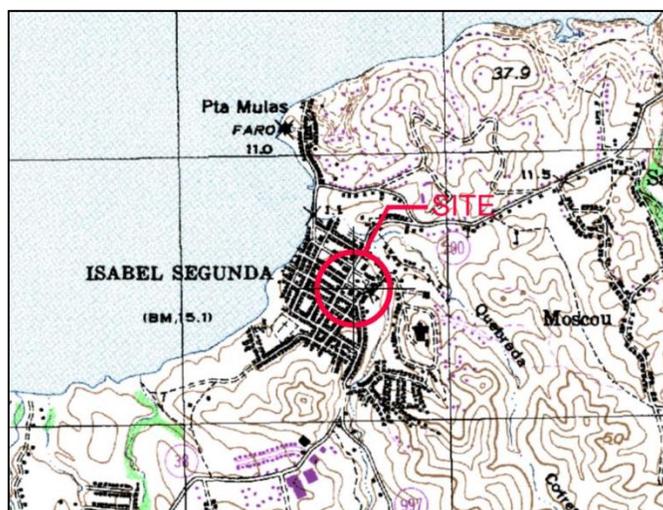


Figura 1: Ubicación de Proyecto (Mapa Topográfico USGS 1982).

## II. Descripción de Proyecto

El proyecto se compone de mejoras a la Plaza Pública de Vieques, así como a la antigua escuela J. Gautier Benítez (Coordenadas X:304975.1200 / Y:235257.7180). El edificio de la escuela ubicado frente a la Plaza fue diseñado por el Arq. Antonin Nechodoma en 1907. La estructura se construyó para servir como escuela. Actualmente, el edificio funciona como un centro para proveer servicios y programas comunitarios. La plaza se rehabilitará para servir como centro de actividades públicas, mejorando sus cualidades espaciales, áreas de ocio y sombra, buscando mantener la importancia histórica y el contexto arquitectónico que la rodea.

En la escuela se realizaron excavaciones de un 1x1x1m en dos localidades, a modo de exploratorias, para conocer la condición de la zapata de la estructura (Anejo 2: Vieques JG Benítez School-Exploratory Locations). También se removió en las paredes exteriores material cementoso, utilizado para tapar unos huecos en la base del edificio, para poder conocer la condición existente bajo la losa del piso del edificio (Figura 2).

En la plaza se realizó una exploratoria de 1x1x1m, adyacente a la jardinera sur oeste, en el interior de la plaza (Anejo 3: Vieques Plaza - Exploratory Location).



Figura 2: Respiraderos 1907 & condición existente (Maurás 2024:5).

### III. Trasfondo Histórico - Vieques

Durante las primeras décadas de colonización la población indígena de Vieques la regían los caciques Cacimar y Yaureibo. En 1514, estos encabezaron levantamientos contra los españoles, finalizando la revuelta con la esclavización de los sobrevivientes. Aun así, los españoles no ocupan la isla hasta 1811, cuando se establece el primer

asentamiento en Vieques. La Cédula de Gracia de 1815 concede libertades comerciales y de inmigración y muchos terratenientes franceses huyendo el fervor revolucionario de la época se establecen en Puerto Rico y Vieques. En 1844 se funda el pueblo de Isabel Segunda. La segunda mitad del siglo XIX marca gran prosperidad económica gracias al establecimiento de haciendas azucareras. Durante los 1920 y 1930, la industria azucarera experimenta un marcado declive, provocando la migración de trabajadores.

En 1941, en respuesta a la Segunda Guerra Mundial, el Congreso de los Estados Unidos ordena la creación de una base militar, expropiando 21,013 acres de las 33,649 que componen la isla. En las décadas posteriores a la llegada de la Marina, los habitantes de Vieques organizaron protestas contra su presencia. La muerte de David Sanes en 1999 provoca el levantamiento de la población y en mayo de 2003 la Marina abandona Vieques. Sin embargo, la mayor parte del territorio desocupado fue designado Refugio Nacional de Vida Silvestre.

### Plaza Pública de Vieques

La Plaza Pública Luis Muñoz Rivera (c. 1845) se identifica por primera vez en un plano de 1850, cual muestra la cuadrícula urbana y el espacio rectangular de la Plaza sin anotación de construcción alguna dentro de esta (Figura 3). Originalmente, la Plaza comprendía un espacio abierto de tierra, alrededor del cual se ubicaron los principales edificios públicos del pueblo.

La primera intervención en la Plaza se realiza entre 1869-1871 cuando se construye una cisterna pública de forma circular, según el croquis de 1887 (Figura 4). El plano de 1898 evidencia el diseño de la Plaza, y el contorno del "pozo" circular. El plano también destaca el espacio donde ubicaría la Escuela Gautier Benites (Figura 5 y 7).

La Plaza continuó como terraplén hasta la década de 1920. En la intervención de 1916-1920, parte de la cisterna fue demolida, y otra parte sigue bajo tierra. Entre 1920-1940 se demuele la estructura redonda protegiendo el aljibe, se sella el pozo y se niveló toda el área (Figura 6). La fotografía aérea de 1936 muestra la nueva Plaza de Recreo pavimentada con jardineras (Figura 7).

Figura 3: Plano Isabel Segunda - 1850  
(Sepúlveda 2004: T3:444).

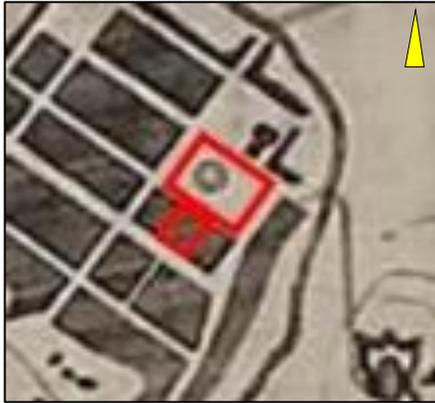


Figura 4: Plano Isabel Segunda - 1887  
(Sepúlveda 2004: T3:444).

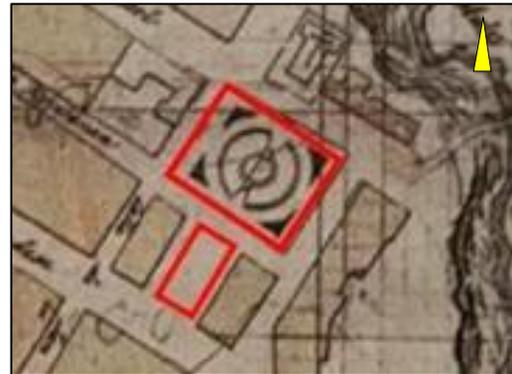


Figura 5: Plano de Isabel Segunda -1898  
(Sepúlveda 2004: T3:446).



Figura 6: Estructura delimitando el aljibe 1909 (Maurás 2024:8).



Figura 7: Aérea de 1936 – Nueva Plaza de Recreo (Maurás 2024:10).

En 1947-1953 se reconstruyó el techo de la glorieta en hormigón armado, la plaza se repavimentó con terrazo y se reconstruyeron las áreas verdes (Figura 8).



Figura 8: Plaza de Recreo de Isabel Segunda 1957 (Maurás 2024:10).

En la última remodelación entre 2004-2007, la plaza se repavimentada con terrazo, se alteró el diseño de las jardineras, la glorieta en el centro de la plaza fue demolida, se construye una nueva fuente y se construyó otra en la esquina noreste de la plaza (Figura 9).



Figura 9: Plaza de Recreo de Isabel Segunda - Aérea 2023 (Google Earth 2024).

La orquestación urbana alrededor de la plaza resulta excepcional combinando no solo el ayuntamiento y la iglesia, que forma parte de la articulación tradicional en centros urbanos, pero también se construyen sus inmediaciones la oficina de correos y cuatro (4) escuelas; Gautier Benítez (1907), Vieques High School (c.1910), Víctor Duteil (1911) y Eugenio M. de Hostos (c.1940). Las escuelas transformaron la Plaza en un patio de recreo donde los estudiantes, desde niños establecen su identidad y sentido de comunidad con Vieques.

### Escuela José Gautier Benítez

La Escuela J. Gautier Benítez, también conocida como la Escuela Pública de Vieques, fue diseñada por el arquitecto Antonin Nechodoma. El inmueble fue construido en 1907 por la División de Edificios Escolares del Departamento de Educación, Frank B. Hatch contratista. La construcción la escuela fue parte de una misión más amplia de la política educativa de los Estados Unidos desde la década de 1900, resultado de la americanización educación en Puerto Rico. El inmueble corresponde en diseño al período Colonial Americano Temprano neoclásico, típico de este período histórico en Puerto Rico (Figura 10).



Figura 10: Fachada – Esc. Gautier Benítez 2023 (Maurás 2024:12).

#### IV. Resumen Investigaciones y Arqueología

En la isla de Vieques se han identificado sobre 350 sitios precolombinos [ICP & SHPO). De estos, dos ubican al suroeste de la zona urbana: V10100001 Monte Santo, ubica a 1.4 km del proyecto y V10100002 Martineau I, ubica a 3 km.

Cuatro evaluaciones arqueológicas realizadas cerca y dentro del AEP evidencian resultados positivos a la presencia de recursos culturales (Figura 11).

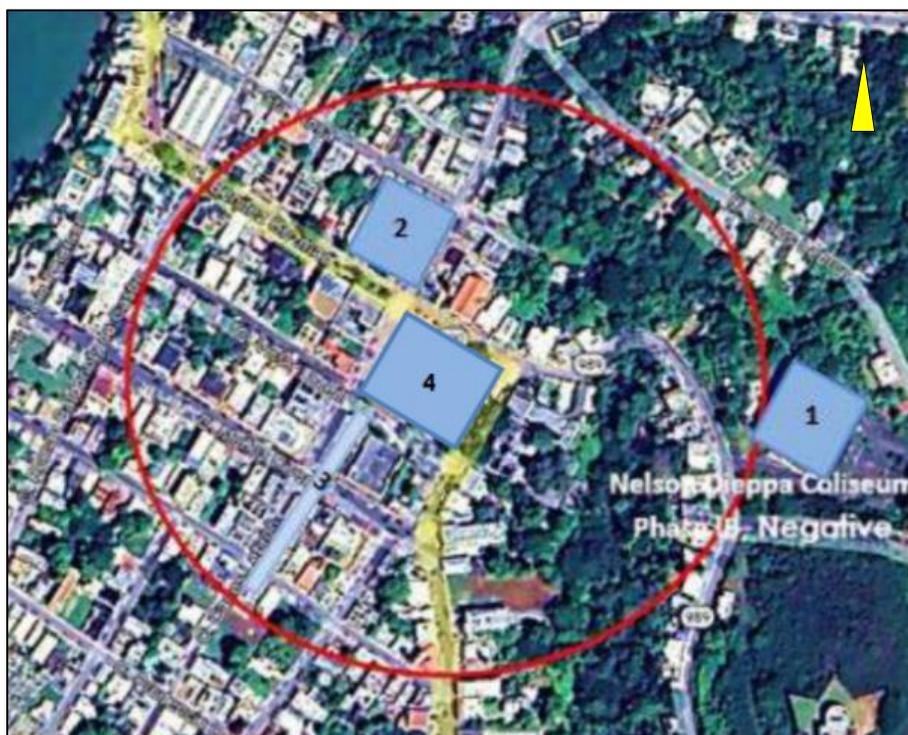


Figura 11: Evaluaciones cerca y dentro del AEP (Maurás 2024:14).

1. Fase IA - Escuela de Bellas Artes y Centro Arqueológico, Virginia Rivera.
2. Monitoria - Reubicación de la planta y conversión a HC del área urbana del pueblo de Vieques, Virginia Rivera.
3. Fase IA - Rehabilitación Plaza Luis Muñoz Rivera Vieques, P.R., Virginia Rivera.
4. Monitoria - Rehabilitación Plaza Luis Muñoz Rivera Vieques, P.R., Virginia Rivera.

#### IV. Monitoria - Resultados

La Monitoria se realiza durante la excavación de tres unidades de 1x1x1m, una en la Plaza adyacente a la jardinera sur oeste [ U1-Plaza ], y en dos localidades próximo a las paredes externas de la Escuela Gautier Benitez, a modo de exploratorias [ U2-Esc GB & U3-Esc GB ], para conocer la condición de la zapata de la estructura (y Anejo 2 y 3: Exploratory Locations). También se removió material cementoso, utilizado para tapar unos huecos en la base del edificio, para poder conocer la condición existente bajo la losa del piso del edificio (Figura 2 ).

La monitoria se realiza bajo condiciones constantes de lluvia, factor determinante en la documentación de los diferentes elementos, plantas y perfiles realizados. Al estar mojado el proceso de limpieza regaba el lodo y ensuciaba las paredes, piedras y perfiles al tratar de exponerlos.

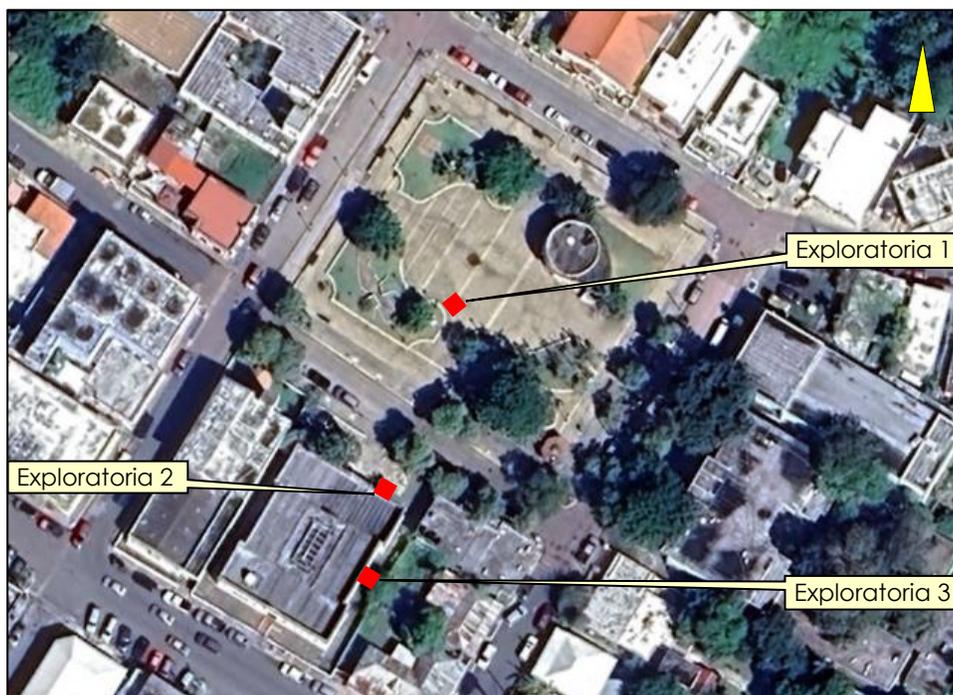


Figura 12: Ubicación de Exploratorias - Aérea 2023 (Google Earth 2024).

### Exploratoria 1- Plaza Muñoz Rivera

Bajo lluvia, comenzó la remoción de las losetas que cubren la superficie de la Plaza Pública de Vieques, en el área demarcada para la excavación de la Exploratoria 1, espacio de 1x1x1m, adyacente a la jardinera sur oeste de la plaza (Anejo 3).

La remoción empleó una cierra de gasolina con hoja de diamante para separar cada una de las losetas sin que sufrieran rupturas para poder reubicarlas. Se removió un área más amplia de loseta para poder acomodar la exploratoria de 1 x 1m. Bajo las losetas se identifica una losa en cemento de unos 10cm promedio, base sobre la cual se ubican las losetas que cubren toda el área peatonal de la plaza. Bajo la losa, demolida utilizando un martillo hidráulico montado en un Bobcat (Figura 13), la excavación continuó con el digger y luego a mano (Figura 14). Luego de la losa se identifica una camada de caliche de unos 8cm. En el perfil este el tercio norte de este nivel estratigráfico lo ocupa cemento histórico confeccionado con chinos de río (Figura 18). Seguido, se identifica un relleno de arcilla arenosa húmeda, a causa de la lluvia, 10YR 6/6, con detrito de construcción histórico, cuyo grosor se encuentra en dependencia a la presencia del Elemento 1, compuesto por peñones de granodiorita. El detrito consiste en fragmentos planos de piso, otros fragmentos de cemento con un tinte rojizo, confeccionados con chinos de río, posiblemente relacionados con las primeras intervenciones del siglo XX (Figura 14e). La Figura 16 evidencia los materiales y artefactos encontrados: los peñones del Elemento 1, fragmentos de cemento histórico, una herradura y un clavo en hierro identificados en el relleno histórico, Estrado D.

El Elemento 1 (Figura 19), se caracteriza como una posible calzada por su nivelación y elemento de contención por su incremento en grosor y volumen hacia el centro de la plaza donde ubica la cisterna. En la Figura 17, perfil sur de la exploratoria, los peñones del Elemento 1 no se extienden hasta el perfil sur, sino que estos llegan justo hasta su base. En la Figura 18, perfil este de la exploratoria, se evidencia la losa moderna base de las losetas y la camada de caliche. Sin embargo, a diferencia del perfil sur donde el caliche se observa uniforme ocupando el Estrato C, en este perfil aparece cemento histórico ocupando el tercio norte del mismo espacio estratigráfico. Bajo estos, el relleno histórico ocupa la mitad sur del perfil, los peños de granodiorita del

Elemento 1 ocupan la mitad norte. El Elemento 1 aparece a unos 42cm en el perfil norte y a unos 53cm de profundidad en el perfil sur, donde termina el depósito de peñones junto donde se excava la pared sur de la Exploratoria. Estos evidencian haber sido acomodados con su parte plana y menos ancha de forma horizontal una sobre otra y sobre el terreno en un intento de crear algún tipo de nivelación superficial, a diferencia a ser depositadas *ad hoc*, sin una sistemática en pie. La calzada / elemento de contención aparecen al pie del perfil sur y se adentran magnificando su volumen y grosor por el aumento en la cantidad de peñones hacia el norte, noroeste, en dirección al centro de la plaza donde yacen los remanentes de la cisterna histórica de la plaza.

Bajo de las de peñones del Elemento 1, a 60cm promedio, se identifican fragmentos de cemento histórico y ladrillo en una matriz de arcilla arenosa húmeda 10YR 5/8. Una vez el personal de Marvel Designs concluye su inspección, termina la excavación.



Figura 13: Exploratoria 1 – comienzo de excavación.

Foto a - corte de losetas con sierra; b y c - demolición de losa de cemento base de las losetas en superficie.



Figura 14: Excavación Exploratoria 1  
Elemento 1.

Foto a, b, c, d - excavación de relleno histórico  
Estrato D; e - Elemento 1 - peñones  
granodiorita.  
[escala 1=10cm]



Figura 15: Extracción - Elemento 1.

Foto a – e: Elemento 1 - extracción manual de peñones de granodiorita.  
[escala 1=10cm]

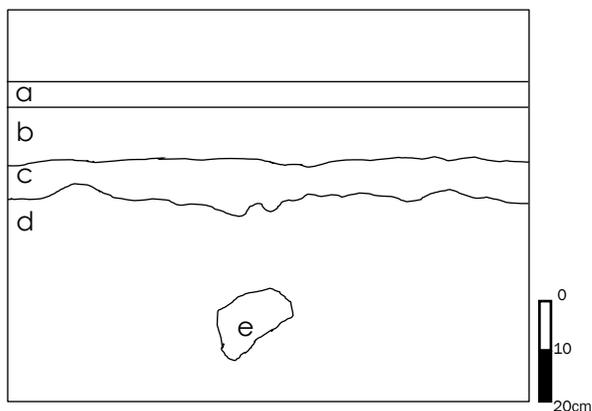


Figura 16: Materiales – artefactos encontrados.



Foto a - Peñones de granodiorita ubicados planos con su parte longitudinal de forma horizontal, según aparecen puestos en el Elemento 1; b – herradura; c – clavo en hierro; d - fragmentos de cemento con agregado de chinos de río y tinte rojo encontrados en el Estrato D - relleno histórico, sobre el elemento de granodioritas.

[escala 1=10cm]

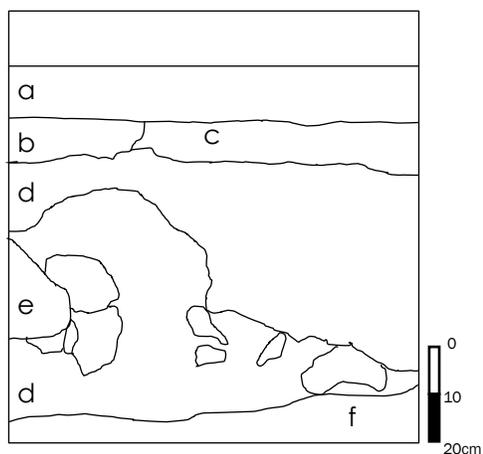


LEYENDA:

- a - Losetas en la superficie
- b - Losa en cemento base de losetas
- c - Camada de caliche
- d - Relleno histórico húmedo - 10YR 6/6
- e - Piedra



Figura 17: Perfil Sur.

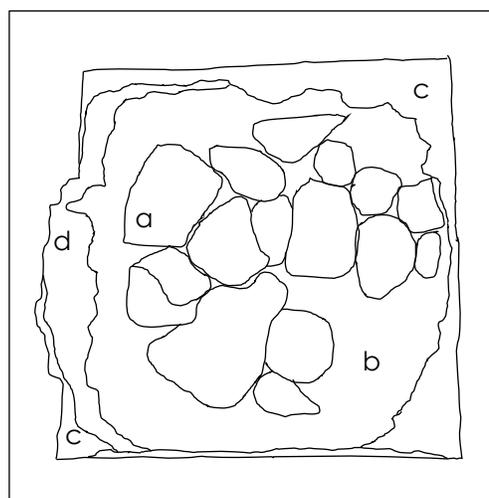


LEYENDA:

- a - Losa para base de losetas
- b - Losa en cemento histórico
- c - Camada de caliche
- d - Relleno histórico húmedo - 10YR 6/6
- e - Piedra Granodiorita
- f - Fondo de la excavación



Figura 18: Perfil Este.



LEYENDA:

- a - Elemento 1 – peñones de granodiorita
- b - Relleno histórico húmedo - 10YR 5/6
- c - Losa base de losetas
- d - Camada de caliche



Figura 19: Elemento 1 – planta.

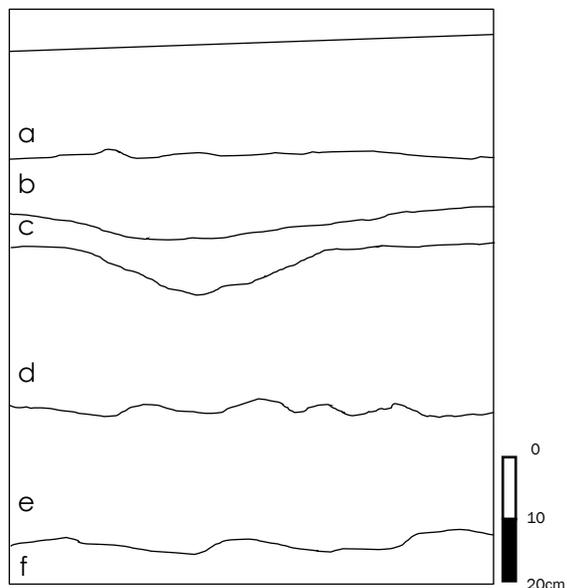
## Exploratoria 2 – Escuela Gautier Benitez

La Exploratoria 2 se excava en el costado izquierdo de la fachada del edificio de la Escuela Gautier Benitez, pegado a la pared. Esta, de 1m x 1m, requiere la remoción de una acera que corre segada a la pared, parte de la jardinera que ocupa esta área, En la superficie encontramos una acera, de unos 7cm de ancho, demolida, con una cierra de gasolina y un martillo hidráulico. Bajo de esta se identificó un piso en cemento, de unos 8cm de ancho, demolido con cierra y martillo hidráulico. Este se correlaciona al primer tiro de cemento cubriendo el perímetro de la escuela. Bajo este se identifica la camada de arena 10YR 4/4 y una arcilla con piedra 10YR 3/2 entrelazada conformando la camada sobre el cual se depositó el cemento que rodea la escuela. A 23cm de profundidad se identifica a arcilla húmeda 10YR 3/6, Estrato D. Excavando el estrato aparece a 31cm promedio de profundidad, la parte superior del cimiento del edificio (Figura 20). Esta parte consiste en el derrame de exceso de material fuera de la trinchera cortada en la matriz natural del terreno, empleada como molde para el cimiento (Figura 21). Continuando la excavación, a unos 54cm promedio de profundidad se identifica una arcilla maleable 7.5YR 6/8. Una vez expuesto el cimiento posee un grosor promedio de 30cm, en dependencia al volumen de derrame de material. A 90cm promedio, una vez el personal de Marvel Designs concluye su inspección, termina la excavación.



Figura 20: Exploratoria 2 - excavación.

Foto a – extracción de piso y acera demolida; b – cimiento expuesto; c – exposición parte inferior del cimiento.

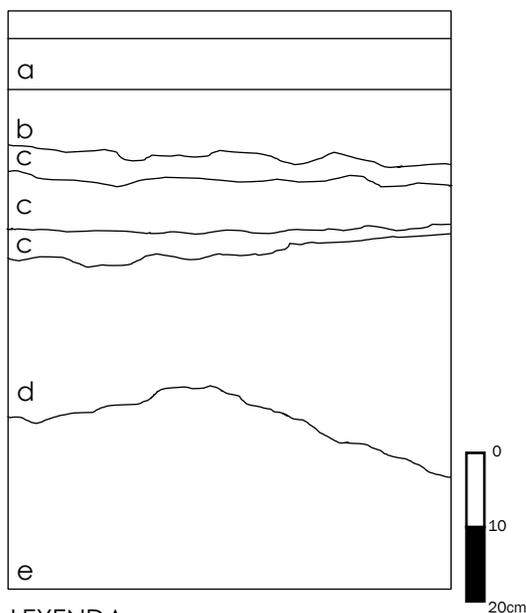


LEYENDA:

- a - Pare edificio empañetada bajo la superficie
- b - Pare edificio sin empañetar bajo la superficie
- c - Derrame tiro de cimiento
- d - Cimiento en cemento y chinós de río
- e - Subsuelo - 7.5YR 6/8
- f - Fondo de la excavación



Figura 21: Exploratoria 2 - Perfil pared exterior frontal del edificio - cimiento.



LEYENDA:

- a - Acera de superficie
- b - Losa de cemento
- c - Capada arena 10YR 4/4 y arcilla 10YR 3/2
- d - Arcilla humada - 10YR 3/6
- e - Subsuelo - 7.5YR 6/8



Figura 22: Exploratoria 2 - Perfil pared Oeste.

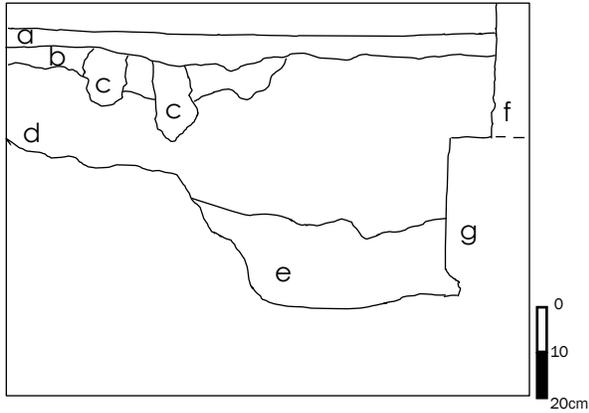
### Exploratoria 3 – Escuela Gautier Benitez

La Exploratoria 3 se excava al pie de la pared de la fachada lateral izquierdo del edificio de la Escuela Gautier Benitez. Esta, de 1m x 1m, requiere la remoción del piso en cemento, de unos 6cm de ancho, que cubre el perímetro de la escuela. Bajo este se identifica en el perfil sur oeste (Figura 24), una arcilla arenosa 10YR 4/4 mezclada con caliche, esta fluctúa en grosor y posee bolsillos de caliche, mientras que el perfil noreste de la exploratoria evidencia un estrato de arcilla plástica húmeda 10YR 3/2 bajo el cemento a 6cm de profundidad. Excavando el Estrato D, a 24cm de profundidad se identifica la parte superior del cimiento del edificio (Figura 24). A 41cm se identifica el subsuelo una arcilla plástica 7.5YR 6/8. A 63cm promedio, una vez el personal de Marvel Designs concluye su inspección, termina la excavación (Figura 25).



Figura 23: Exploratoria 3 - excavación.

Foto a – demolición de cemento perímetro de escuela; b y c – exposición de cimiento; d – documentación de perfiles.

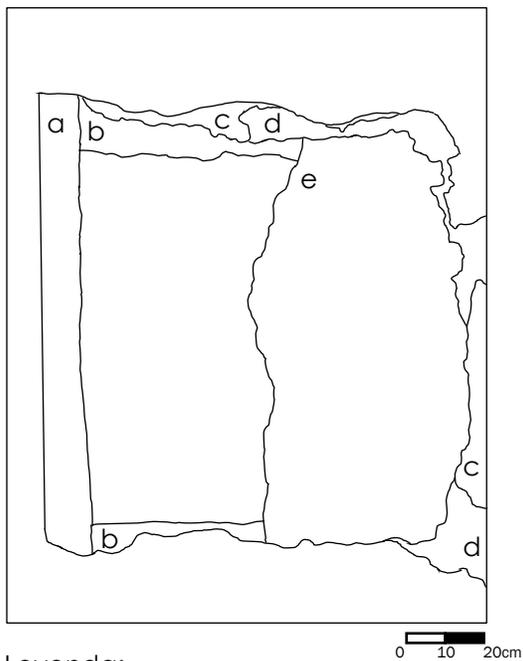


## LEYENDA:

- a - Tiro de cemento perímetro de la escuela
- b - Relleno arcilloso húmeda 10YR 3/2 y caliche
- c - Bolsillos de caliche
- d - Arcilla húmeda plástica - 10YR 3/2
- e - Subsuelo húmedo - 7.5YR 6/8
- f - Pared del edificio
- g - Cimiento



Figura 24: Exploratoria 3 - perfil sur oeste.



## Leyenda:

- a - Parte superior del cimiento
- b - Perfiles de la unidad
- c - Tiro de cemento perímetro de escuela
- d - Mezcla de caliche y relleno
- e - Escalón



Figura 25: Exploratoria 3 – planta.

## Respiraderos

En la fachada lateral izquierdo del edificio de la Escuela Gautier Benitez, en su parte inferior se ubican dos respiraderos. Se abrió el respiradero derecho, el más cercano a las escaleras de entrada del edificio, utilizando un martillo eléctrico manual, [Figura 9]. El respiradero mide 42cm de ancho x 30cm de alto. En el proceso de su apertura observamos una matriz de arena con restos de construcción, [Figura 10]. Una vez limpio podemos observar que el grosor de la pared es de 33cm, [Figura 11].



Figura 26: Respiradero – apertura.

Foto a y b – Proceso de apertura;  
c y d – documentación.  
[escala 1=10cm]

## V. Conclusión

Las excavaciones de exploratoria realizadas corroboran la determinación de que el APE es altamente sensible a la presencia de recursos culturales. Las Exploratorias 2 y 3 al pie de las paredes del edificio de la Escuela Gautier Benitez, lograron su cometido identificando y exponiendo los cimientos del inmueble bajo estudio. Aunque la excavación no identificó restos artefactuales, proveyó una ventana a la deposición natural que yacía en esta área.

La Exploratoria 1, en la Plaza Pública de Isabel Segunda, evidenció rellenos históricos con herraduras, clavos y fragmentos de cemento confeccionados con chinos de río como agregados. Para entonces en Vieques no existía piedra o agregado molido.

Más importante, la excavación identificó un conjunto de peñones de granodiorita, materia prima abundante en Vieques, sistemáticamente colocados con su parte plana y menos ancha de forma horizontal una sobre otra y sobre el terreno en un intento de crear algún tipo de nivelación superficial, a diferencia de ser depositadas *ad hoc*, sin una sistemática en pie. Una vez se comenzó extracción estos se adentran magnificando su volumen y grosor por el aumento en la cantidad de peñones hacia el norte, noroeste, en dirección al centro de la plaza donde yacen los remanentes de la cisterna histórica de la plaza. El elemento se podría caracterizar como una calzada / elemento de contención relacionado con el aljibe en medio de la Plaza Pública.

La información histórica y arqueológica en archivo revisada por Cuadro y Medina (2023) revela que la zona que abarca el APE del proyecto de Revitalización es una de alta sensibilidad arqueológica. La excavación de las exploratorias sustenta de forma empírica sus conclusiones.

Por estas razones se recomienda se realice monitoria arqueológica para cualquier intervención futura que requiera excavaciones dentro del APE proyecto del Vieques City Revitalization CRP-PR-001111, Market Square for Community and Social Transformation & PR-CRP-000807 Improvements to the Vieques Public Square.

## VI. Bibliografía

Cuadro Esteves, Karen J. & Norma Medina Carrillo - SOI-Qualified Specialists  
2023 PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination Subrecipient: Municipality of Vieques, PR Project Name: Vieques City Revitalization – Group 2 Projects: Improvements to the Vieques Public Square (Plaza) & Market Square for Social and Community Transformation (School) Project Number: PR-CRP-000807 & PR-CRP-001111

Maurás, Adalberto

2023 PLAN DE TRABAJO – Monitoria Arqueológica.  
Vieques City Revitalization CRP-PR-001111 Market Square for Community and Social Transformation & PR-CRP-000807 Improvements to the Vieques Public Square Estudios Estructurales y Exploratorias.  
Calle Víctor Duteil, Isabel Segunda, Vieques, Puerto Rico.

Anejo 1 Carta del ICP

11 de agosto de 2023

**SOLICITUD DE RADICACIÓN DE SRA Y  
PLAN DE MONITORÍA ARQUEOLÓGICA**

Arq. Jonathan Marvel Fuller  
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[jmarvel@marveldesigns.com](mailto:jmarvel@marveldesigns.com)  
[kcuadro@marveldesigns.com](mailto:kcuadro@marveldesigns.com)

Proyecto: *Vieques City Revitalization CRP-PR-001111 Market Square for Community and Social Transformation & PR-CRP-000807 Improvements to the Vieques Public Square*  
Estudios Estructurales y Exploratorias  
Calle Víctor Duteil, Isabel Segunda, Vieques, Puerto Rico  
ICP-PAE: IV-23-410

Estimado arquitecto Marvel:

El Programa de Arqueología y Etnohistoria (PAE) del Instituto de Cultura Puertorriqueña (ICP) recibió, a través de correo electrónico, los documentos relacionados a los estudios estructurales y exploratorias requeridos para poder realizar los proyectos de referencia. Debido a que las exploratorias conllevan excavaciones en la plaza pública y en la escuela José Gautier Benítez, cabe la posibilidad de que pudieran afectar recursos de naturaleza arqueológica.

Por lo tanto, de acuerdo con la Ley 161 para el Proceso de Permisos, deben solicitar el endoso o recomendación del Instituto de Cultura Puertorriqueña radicando una *Solicitud de Recomendación de Arqueología y Conservación Histórica (SRA)* a través del *Single Business Portal* de la Oficina de Gerencia de Permisos (OGPe).

Además, deberá someter un *Plan de Trabajo para Monitoría Arqueológica*. Este debe ser preparado por un arqueólogo cualificado para realizar investigaciones a nivel de Fase II por el Consejo para la Protección del Patrimonio Arqueológico Terrestre de Puerto Rico, y cumplir con el Artículo 10, Sección 3, Incisos A y B del *Reglamento para la Radicación y Evaluación Arqueológica de Proyectos de Construcción y Desarrollo, Reglamento Núm. 8932, de 2017*.

Calle Beneficencia, Viejo San Juan P.O. BOX 9024184, San Juan, Puerto Rico 00902-4184

PROGRAMA DE ARQUEOLOGÍA Y ETNOHISTORIA  
787.724.0700 Ext. 1360 / 787.723.2524 / [aarana@icp.pr.gov](mailto:aarana@icp.pr.gov)

ICP  
PAE



GOBIERNO DE PUERTO RICO  
INSTITUTO DE CULTURA PUERTORRIQUEÑA  
Programa de Arqueología y Etnohistoria  
Directora | Arql. Anabel Arana Lanzas

*Vieques City Revitalization Market Square & Public Square*

Estudios Estructurales y Exploratorias

ICP-PAE: IV-23-410

11 de agosto de 2023

Página 2

Una vez se radique el caso y el plan solicitado, deberá notificarnos a través del correo electrónico [aarana@icp.pr.gov](mailto:aarana@icp.pr.gov), para poder proceder con la evaluación correspondiente. Le recordamos que los endosos de ambas oficinas del ICP son necesarios previo al comienzo de cualquier obra o intervención en el predio.

Se le apercibe que el incumplimiento de estos requerimientos podrá ser objeto de sanciones administrativas según lo establecido en la Ley 112 del 20 de julio de 1988, según enmendada.

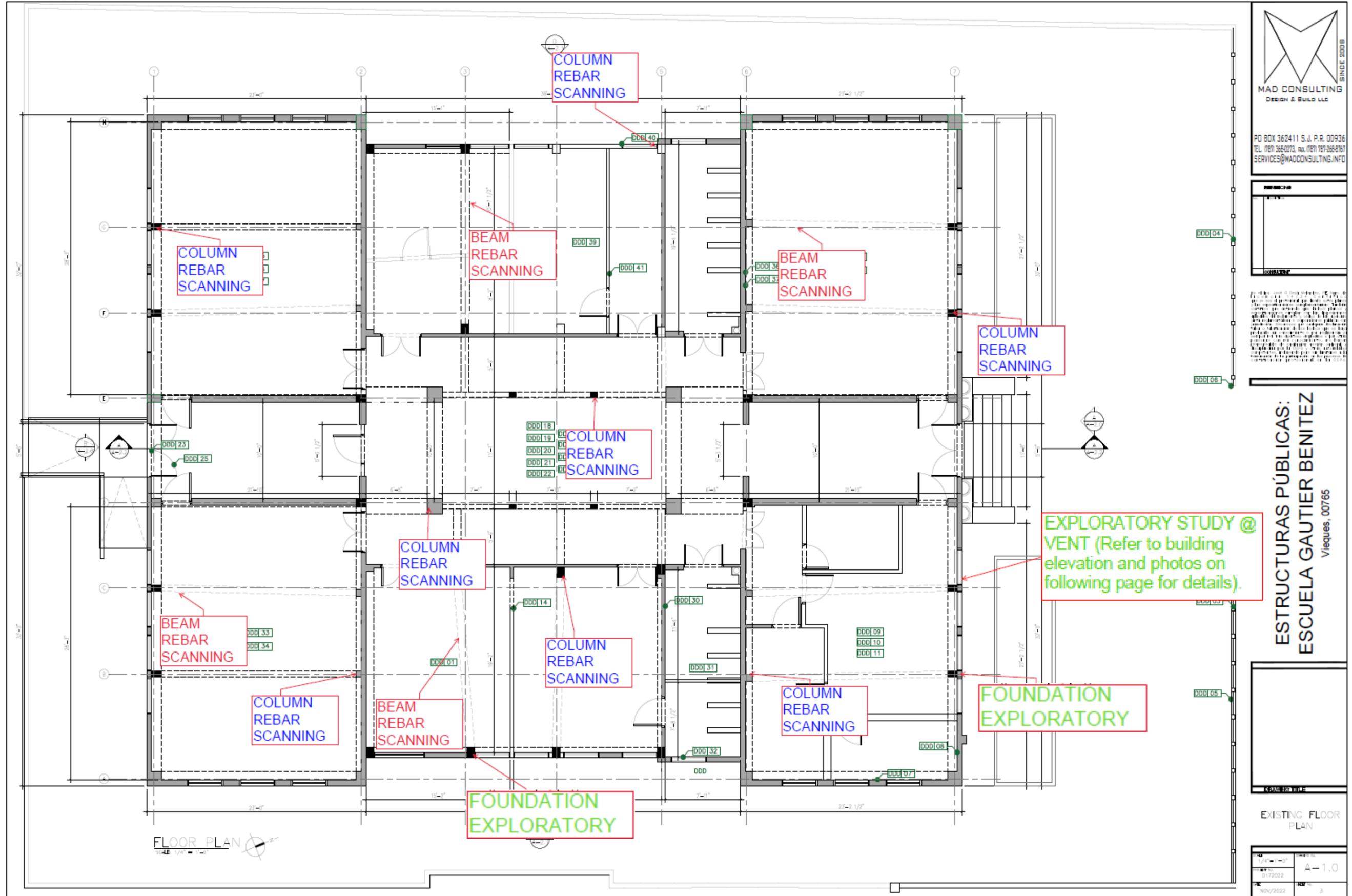
Atentamente,

Arql. Anabel Arana Lanzas  
Directora  
Programa de Arqueología y Etnohistoria

Calle Beneficencia, Viejo San Juan P.O. BOX 9024184, San Juan, Puerto Rico 00902-4184

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INSTITUTO  
DE CULTURA  
PUERTORRIQUEÑA



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 Design & Build LLC  
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 PO BOX 362411 S.J. P.R. 00936  
 TEL: (787) 368-0273 FAX: (787) 787-368-8767  
 SERVICES@MADCONSULTING.INFO

**PROYECTO:**  
 ESCUELA GAUTIER BENITEZ  
 VIEQUES, P.R.

**ESTRUCTURAS PÚBLICAS:  
 ESCUELA GAUTIER BENITEZ**  
 Vieques, 00765

K-PAO. 108.011E

EXISTING FLOOR PLAN	
NO. 1/4" = 1'-0"	REV. A-1.0
KEY 0172002	NOV/2022
NOV/2022	3



Antigua escuela J. Gautier Benitez, condición existente, 2023.



Foto histórica, Escuela J. Gautier Benitez (Vieques Public School), ca. 1907, A. Mosquera.



**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"

SINCE 2008

**MAD CONSULTING**  
Design & Build LLC

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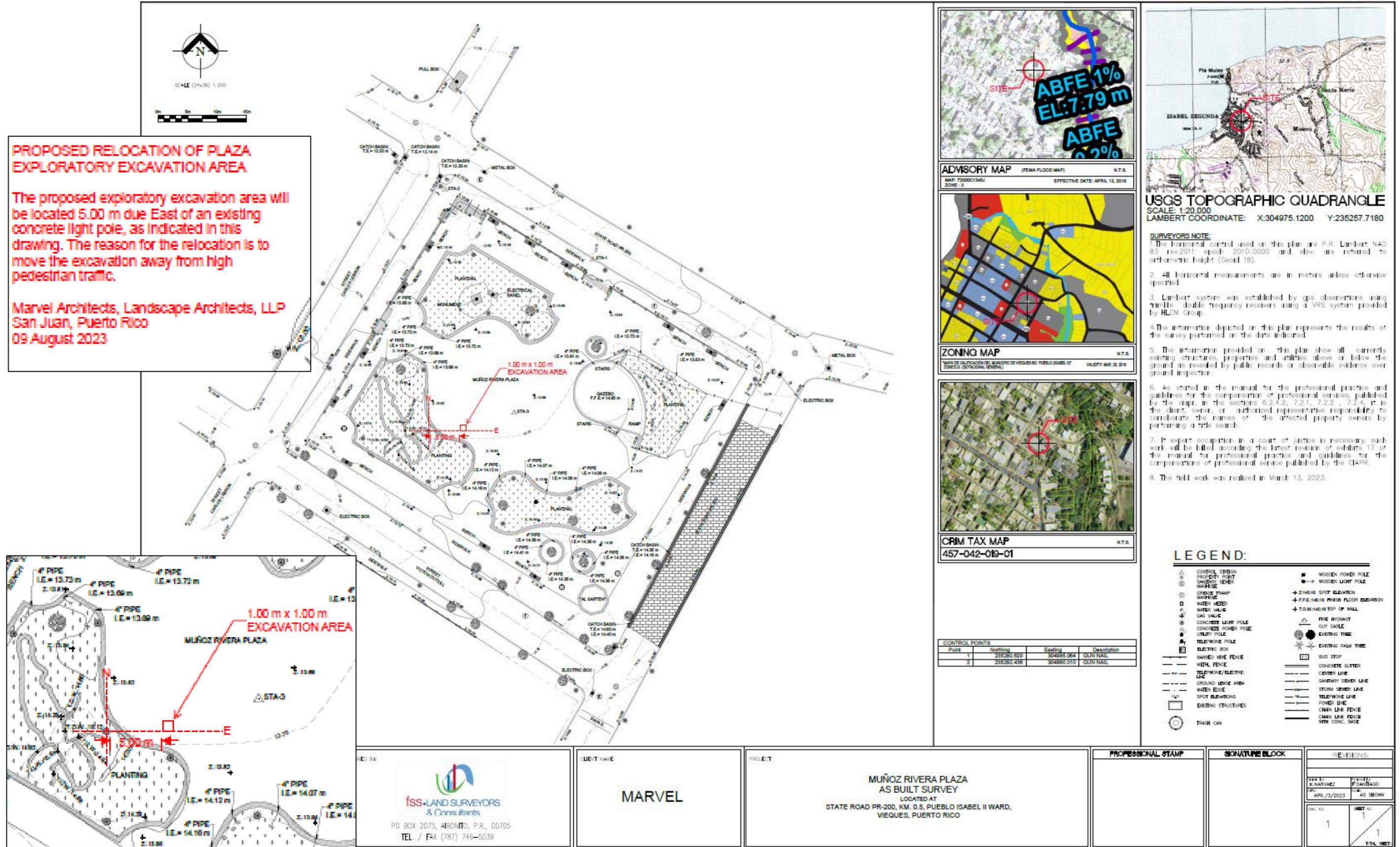
**ESTRUCTURAS PÚBLICAS:  
ESCUELA GAUTIER BENITEZ**  
Vieques, 00765

TÍTULO	
PROYECTO	
FECHA	

**ELEVATIONS**

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DATE	NOV/2022	SHEET NO.	4

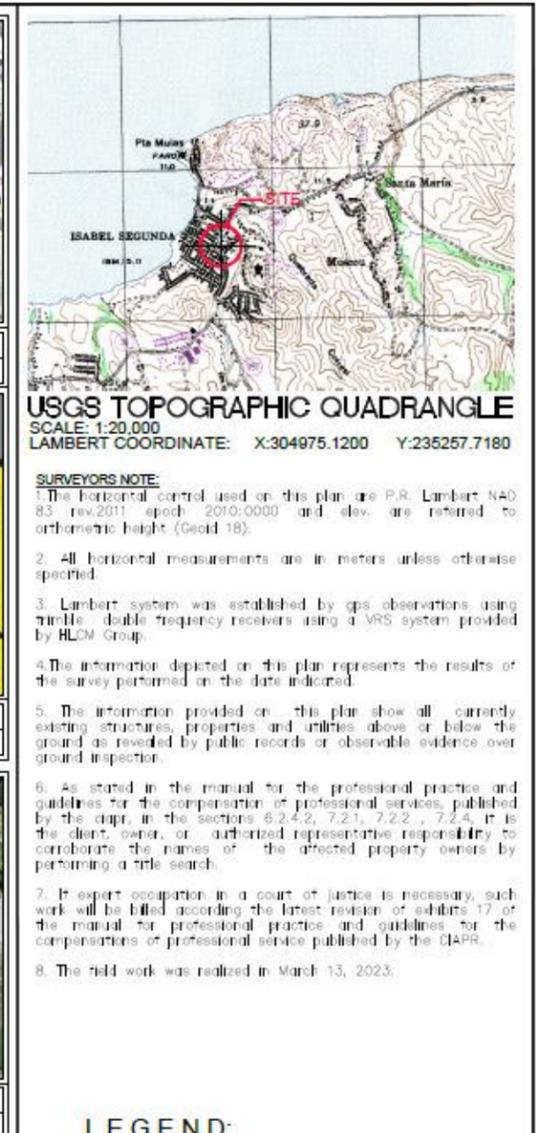
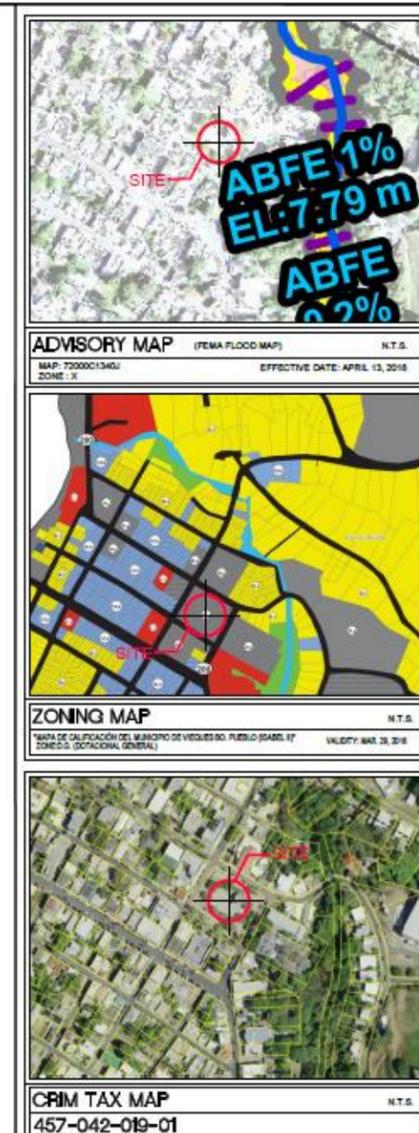
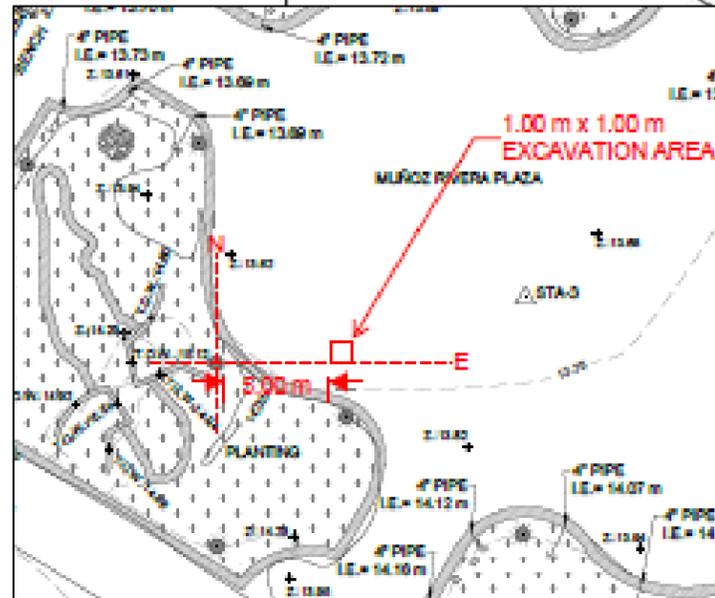
Anejo 3 Plano: Vieques Plaza - Exploratory Location



**PROPOSED RELOCATION OF PLAZA EXPLORATORY EXCAVATION AREA**

The proposed exploratory excavation area will be located 5.00 m due East of an existing concrete light pole, as indicated in this drawing. The reason for the relocation is to move the excavation away from high pedestrian traffic.

Marvel Architects, Landscape Architects, LLP  
San Juan, Puerto Rico  
09 August 2023



**LEGEND:**

△ CONTROL STATION	● WOODEN POWER POLE
○ PROPERTY POINT	● WOODEN LIGHT POLE
○ SANITARY SEWER	+
○ WATER MAIN	+
○ CHECK TRAMP	+
○ WATER METER	+
○ WATER VALVE	+
○ GAS VALVE	+
○ CONCRETE LIGHT POLE	+
○ CONCRETE POWER POLE	+
○ UTILITY POLE	+
○ TELEPHONE POLE	+
○ ELECTRIC BOX	+
○ BARBED WIRE FENCE	+
○ METAL FENCE	+
○ TELEPHONE/ELECTRIC LINE	+
○ GROUND USE AREA	+
○ WATER EASE	+
○ SPOT ELEVATIONS	+
○ EXISTING STRUCTURES	+
○ TRASH CAN	+
○	○ WOODEN POWER POLE
○	○ WOODEN LIGHT POLE
○	○ 2.000m SPOT ELEVATION
○	○ F.F.E. 140.00 FINISH FLOOR ELEVATION
○	○ T.O.W. 140.00 TOP OF WALL
○	○ PIPE WORKING
○	○ GUY CABLE
○	○ EXISTING TREE
○	○ EXISTING PALM TREE
○	○ BUS STOP
○	○ CONCRETE CULVERT
○	○ CENTER LINE
○	○ SANITARY SEWER LINE
○	○ STORM SEWER LINE
○	○ TELEPHONE LINE
○	○ POWER LINE
○	○ CHAIN LINK FENCE
○	○ CHAIN LINK FENCE WITH CONC. SIDE

**CONTROL POINTS**

Point	Northing	Easting	Description
1	235280.620	304985.064	SUN NAIL
2	235202.438	304980.010	SUN NAIL

<p>DESIGNED BY:</p> <p>PO BOX 2075, AIBONITO, P.R., 00705 TEL / FAX (787) 746-5039</p>	<p>CLIENT NAME:</p> <p><b>MARVEL</b></p>	<p>PROJECT:</p> <p><b>MUÑOZ RIVERA PLAZA AS BUILT SURVEY</b> LOCATED AT STATE ROAD PR-200, KM. 0.5, PUEBLO ISABEL II WARD, VIEQUES, PUERTO RICO</p>	<p>PROFESSIONAL STAMP</p>	<p>SIGNATURE BLOCK</p>	<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>APR 13 2023</td> <td>AS SHOWN</td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION	1	APR 13 2023	AS SHOWN
NO.	DATE	DESCRIPTION									
1	APR 13 2023	AS SHOWN									



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STATE HISTORIC PRESERVATION OFFICE

Executive Director | Carlos A. Rubio-Cancela | [carubio@prshpo.pr.gov](mailto:carubio@prshpo.pr.gov)

Tuesday, July 18, 2023

**Lauren Bair Poche**

HORNE - Architectural Historian Manager  
10000 Perkins Rowe, Suite 610 Bldg. G  
Baton Rouge, LA 70810

SHPO: 06-23-23-03 VIEQUES, PUERTO RICO DISASTER RECOVERY, CDBG-DR CITY REVITALIZATION PROGRAM (CRP), TECHNICAL ASSISTANCE REQUEST FOR STRUCTURAL AND EXPLORATORY STUDIES FOR PR-CRP-000807 AND PR-CRP-001111: IMPROVEMENTS TO THE VIEQUES PUBLIC SQUARE AND MARKET SQUARE FOR COMMUNITY AND SOCIAL TRANSFORMATION, VIEQUES, PUERTO RICO

Dear Ms. Poche,

Our Office received correspondence on June 23, 2023, regarding the above referenced project. We are providing comments and recommendations as a technical assistance for structural and exploratory studies at Vieques Public Square and the former J. Gautier Benítez School.

After a review of all the documentation provided, the PRSHPO concurs with your determination that the proposed exploratory studies will have **no adverse effect** on the historical integrity of the school structure, nor on the plaza.

Once the results of the exploratory studies and project are available, they will be submitted to the PRSHPO for review.

Please note that should the Agency discover other historic properties at any point during project implementation, you should notify the SHPO immediately. If you have any questions concerning our comments, do not hesitate to contact our Office.

Sincerely,

Carlos A. Rubio-Cancela  
State Historic Preservation Officer  
CARC/GMO/LGC/EVR/MB



June 23, 2023

Carlos A. Rubio Cancela  
State Historic Preservation Officer  
Puerto Rico State Historic Preservation Office  
Cuartel de Ballajá (Tercer Piso)  
San Juan, PR 00902-3935

## **Puerto Rico Disaster Recovery, CDBG-DR City Revitalization (City-Rev) Program**

### **Technical Assistance Request for Structural and Exploratory Studies for PR-CRP-000807 and PR-CRP-001111: Improvements to the Vieques Public Square and Market Square for Community and Social Transformation, Vieques, Puerto Rico**

Dear Architect Rubio Cancela,

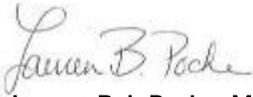
On February 9, 2018, an allocation of Community Development Block Grant - Disaster Recovery (CDBG-DR) funds was approved by the United States Department of Housing and Urban Development (HUD) under the Federal Register Volume 83, No. 28, 83 FR 5844, to assist the Commonwealth of Puerto Rico in meeting unmet needs in the wake of Hurricanes Irma and Maria. On August 14, 2018, an additional \$8.22 billion recovery allocation was allocated to Puerto Rico under the Federal Register Volume 83, No. 157, 83 FR 40314. With these funding allocations, the Puerto Rico Department of Housing (PRDOH) aims to lead a comprehensive and transparent recovery for the benefit of Puerto Rico residents. To faithfully comply with HUD's environmental requirements, the Puerto Rico Department of Housing contracted Horne Federal, LLC (HORNE) to provide environmental records review services that will support the Department's objectives Puerto Rico Housing (PRDOH) for CDBG-DR.

On behalf of PRDOH and the subrecipient, the Municipality of Vieques, we are requesting technical assistance regarding structural and exploratory studies for PR-CRP-000807, Improvements to the Vieques Public Square, and PR-CRP-001111, Market Square for Community and Social Transformation (the former J. Gautier Benítez School [School]). This Technical Assistance request is specifically focused on the need for studies to understand the structural condition of the School, as well as the Plaza. At the School, studies will be carried out with electronic equipment to scan structural elements such as beams, walls and columns. Also, it will be necessary to carry out some exploratory excavations to find out the condition of the footing. As part of these exploratory studies, it will also be necessary to remove cementitious material from the exterior walls that was used to cover some holes/vents, corresponding to its original design, at the base of the building, this in order to know the existing condition under the floor slab of the building. Only one exploration will be carried out in the Plaza, it will be an excavation one (1) meter long, one (1) meter wide, and one (1) meter deep. This excavation will be carried out, adjacent to the south-west planter, inside the plaza. Additional details are outlined in the attached documents, PRDOH\_City Revitalization Program\_PR-CRP-000807 and PR-CRP-001111\_Vieques\_Technical Assitance Memorandum, and Exhibits A through C.

The Program understands that these measures will not have any adverse effect on the historical integrity of the School structure, nor on the Plaza. The excavations to be carried out will be monitored by a qualified archaeologist.

Please contact me with any questions or concerns by email at [lauren.poche@horne.com](mailto:lauren.poche@horne.com) or phone at 225-405-7676.

Kindest regards,

A handwritten signature in cursive script that reads 'Lauren B. Poche'.

**Lauren Bair Poche. M.A.**

Architectural Historian, Historic Preservation Senior Manager

Attachments

June 8, 2023

Mr. Carlos Rubio-Cancela  
**Executive Director**  
**State Historic Preservation Office**  
Office of the Governor  
P.O. Box 9023935  
San Juan, PR 00902-3935

## **Technical Assistance**

**Vieques City Revitalization CRP-PR-001111 Market Square for Community and Social Transformation & PR-CRP-000807 Improvements to the Vieques Public Square**

## **Estudios estructurales y exploratorias**

Calle Victor Duteill  
Vieques, P.R. 00765

## MEMORANDUM

Mr. Rubio Cancela,

At the moment MARVEL is carrying out the design of a project that contemplates improvements to two spaces of a historical significance in the Municipality of Vieques. This project consists of improvements to the Vieques Public Square (Plaza), and to the former J. Gautier Benítez school (School).

On behalf of the Municipality of Vieques, we request a Technical Assistance for structural exploratory works in the Plaza, with cadastre number 457-042-019-01, and in the School, with identification of cadastre number 457-052-020-04.

The School building, which is located on Victor Duteill Street, in front of the Plaza, in the urban area of Isabel II, was designed by architect Antonin Nechodoma, is a one level building, and was built in 1907 by contractor Frank B. Hatch. The structure was initially built to serve as a public school. Currently, the old school building serves as a center that provides spaces for social organizations to provide community services and programs.

This historic property was severely affected by the winds and rain from Hurricanes Irma and Maria, causing damage to both the exterior and interior of the structure including gates, windows, doors, paint, skylights, and roof. In the same way, the Plaza was also greatly affected by these atmospheric events, causing damage to the infrastructure, vegetation, and its urban elements.

The project contemplates the rehabilitation of the School and the Plaza under the CDBG-DR funds of the "City Revitalization Program". In the School, with the purpose of creating a more resilient center, the areas occupied by the organizations that are already in the facility will be rehabilitated. The rest of the spaces will be set up to create a farmer's market and coffee bar, in order to support and encourage the small farmers of Vieques, provide access to fresh and local food for the community, and create a place that serves as support to the cultural and family events that take place in the adjacent Plaza de Recreo. In the Plaza, it is desired to rehabilitate it to serve as a center of public activities, festivals and cultural events. It is desired to be able to improve its spatial and environmental qualities, including circulation and accessibility, leisure and shaded areas, as well as improving the existing infrastructure. At the same time, these improvements seek to maintain the historical importance and architectural context that surrounds the plaza.

This Technical Assistance application is specifically focused on the need for studies to understand the structural condition of the School, as well as the Plaza. At the School, studies will be carried out with electronic equipment to scan structural elements such as beams, walls and columns. Also, it will be necessary to carry out some exploratory excavations to find out the condition of the footing. As part of these exploratory studies, it will also be necessary to remove cementitious material from the exterior walls that was used to cover some holes/vents, corresponding to its original design, at the base of the building, this in order to know the existing condition under the floor slab of the building. (Please refer to the attached images) Only one exploration will be carried out in the Plaza, it will be an excavation one (1) meter long, one (1) meter wide, and one (1) meter deep. This excavation will be carried out, adjacent to the south-west planter, inside the plaza.

In the documents provided you will find some drawings of the School with annotations provided by the structural consultant that identifies the areas and types of work to be carried out. We also attach the survey plan of the Plaza where we indicate the location to carry out the exploration in this space.

HAZMAT studies have been conducted in the building and are part of the documents submitted, which include the Asbestos Reports for the entire property and the Lead-Based Paint Report that takes into account the areas that will be affected by these works. The necessary mitigation works will be carried out prior to carrying out these works to take into consideration the findings of the reports presented.

We understand that these measures will not have any adverse effect on the historical integrity of the School structure, nor on the Plaza. The excavations to be carried out will be monitored by a qualified archaeologist. If you need any additional information or have difficulties with any of the files, do not hesitate to contact us.

Cordially,

  
Jonathan Marvel-Fuller, FAIA  
Licencia #21738



Exhibits:

- Exhibit A – Vieques JG Benitez School-Exploratory Locations
- Exhibit B – ACM and Lead Base Paint Inspection Vieques Historic Buildings and City Hall
- Exhibit C - Vieques Plaza - Exploratory Location

Photos:

Vents to be reopened:



Former J. Gautier Benítez school, existing condition, 2023.



J. Gautier Benítez School (Vieques Public School), ca. 1907, A. Moscianni.



**ACM AND LEAD BASE PAINT  
INSPECTION  
VIEQUES HISTORIC BUILDINGS AND  
CITY HALL  
FEMA PROJECT NO.64258 MVE055**

**AD Industrial Services, Inc.  
P O Box 1578  
Vega Baja, PR 00694**

**ACM AND LEAD BASE PAINT  
INSPECTION  
VIEQUES HISTORIC BUILDINGS AND  
CITY HALL  
FEMA PROJECT NO. 64258 MVE055**

**LEAD BASE PAINT SURVEY**

**LEAD BASE PAINT SURVEY  
MUNICIPIO DE VIEQUES  
FEMA PROJECT NO. 64258 MVE055  
VIEQUES HISTORIC BUILDING AND CITY HALL**

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# LEAD BASED PAINT SURVEY REPORT

Client Name: Melvin Deyá Assoc. AIA  
Mad Consulting LLC.

Project Location: Vieques Historic Buildings and City Hall

- City Hall
- Centro de Bellas Artes
- Public School J. Gautier Benítez
- Graduate School Eugenia María de Hostos
- Centro de Usos Múltiples

Survey Date: Sept 27, 2022

Company: A. D. Industrial Services, Inc.

Surveyor: Alexis Diaz Pacheco *Alexis Diaz Pacheco*  
Certified Lead Inspector – LBPI-21722-204

This report summarizes the results of a limited Lead-Based Paint (LBP) survey performed at the abovementioned structures from Vieques Municipality. The surveyed sites are scheduled to be repaired partially as per FEMA specifications, project No. 64258 MVIE055. Assessing the possible presence of LBP is necessary to determine the disposal options and to protect the workers health during demolition and or renovation activities. Lead Base Paint abatement activities are regulated by local and federal regulations. During the survey, the painted surfaces to be repaired from all the buildings and structures were tested for Lead Base Paint content using a direct reading XRF instrument, Heuresis, Model Pb200i. Attached Performance Characteristic Sheet for the instrument.

## A. Background on Exposure to Lead

Overexposure to lead is one of the most common hazards found in the construction industry. It is also a major potential public health risk. Lead poisoning is the leading environmentally induced illness in children. At greatest risk are children under the age of six because they are undergoing rapid neurological and physical development. In general population lead may be present at hazardous concentrations in food, water and air. Sources include deteriorated paint, urban dust and folk remedies.

Lead is commonly added to industrial paints because of its ability to resist corrosion. Industries with particularly high potential exposures included: construction work involving welding, cutting, brazing, blasting, etc., on lead painted surfaces, most smelter operations either as a trace contaminant or as a major product. Once in the blood, lead is distributed primarily among three components: blood, soft tissues (kidney, bone marrow, liver and brain) and mineralizing tissue (bones and teeth).

Hazard of lead in paint has been defined by the Department of Housing and Urban Development as 1.0 mg/ cm<sup>2</sup> as measured by XRF instrument or Atomic Absorption Spectroscopy (AAS) or 0.5% by weight or 5,000 ppm as measured by AAS or inductive Coupled Plasma (ICP). The same level was adopted by EPA regulations published in 1992, under Title X and PR Environmental Quality Board.

The purpose of this survey was to locate and identify Lead Based Paint areas in the buildings areas to be repair.

Our Scope of work consisted on the following:

- Observation and surveying of painted surfaces in the buildings.
- Testing of Lead Based Paint by XRF instrument manufactured by RMD LPA1
- Arrangement, review and evaluation of the results.
- Final survey report and recommendations.

## II. REGULATORY REVIEW AND PERSONNEL QUALIFICATIONS

Although **Occupational Safety and Health Administration (OSHA)** regulations for occupational lead exposure have been in effect since 1971 for the construction and general industries, the agency recognized the need to provide better protection and revised the regulations for general industry in 1978. The 1978 lead standard, however, excluded the construction industry from coverage because of insufficient information regarding lead use in construction.

In 1990, the **National Institute for Occupational Safety and Health (NIOSH)** set a national goal to eliminate worker exposure resulting in blood lead concentrations greater than 25 micrograms per deciliter (25ug/dl) of whole blood. Consequently, OSHA began developing a proposal for a comprehensive standard regulating occupational exposure to lead in construction. In October 1992, the Congress passed Section 1031 of Title X of the Housing and Community Development Act of 1992 requiring OSHA to issue an interim final lead standard for the construction industry, effective until OSHA issues a final standard.

## A. OSHA regulations

### 29 CFR 1926 Construction Industry Standard

The interim final rule, published on May 4, 1993, amends the OSHA standards for occupational health and environmental controls in Subpart D of Title 29 “Code of Federal Regulations (CFR) 1926 by adding a new section 1926.62, containing employee protection requirements for construction workers exposed to lead.

## B. PRDNR Regulations and Rules

### Rule for The Control of Lead Based Paint Abatement Activities

No person shall cause or permit the management of Lead Based Paint as defined in the regulation without obtaining an operational permit approval from the Agency and as required in The Regulation 9098 for the safe management Lead Base Paint Abatement Activities of the Environmental Quality Board of PR July 16, 2019.

### Additional PRDNR requirements

- If the Lead Based Paint residues removed are determined to be hazardous waste it must comply with all applicable requirements under EPA and PREQB regulation governing the generation, transportation storage and disposal of such hazardous waste. See generally, 40 CFR 260 and the PREQB regulation for the control of Hazardous and Non-Hazardous wastes, as amended.

## C. Personnel qualifications

Copies of the certifications for the personnel involved in the survey and sample collection of this project are included.

## III. SURVEY PROTOCOL

The search involved inspection of the interior and exterior structural components and painted surfaces to be repair. It included a visual walk-through of the entire structure and all accessible areas, to develop an inventory of all suspected Lead Bases paint components in areas to de repair.

## IV. TESTING PROCEDURE

The testing was performed with a Direct Reading XRF Instrument. Results are in  $\text{mg}/\text{cm}^2$  using the EPA method 6200.

Lead Based Paint is positive to a **level of 1.0  $\text{mg}/\text{cm}^2$  or greater**. A summary of the results of the building inspection is presented herein.

## V. POSITIVE RESULTS

During the survey of the Vieques Historic Buildings and City Hall, Lead Base Paint was identified in various areas to be repair.

Since the building areas are scheduled to be repair all the Lead Base Paint should be removed prior the activities begin. Lead Base Paint removal activities should be performed following federal and Puerto Rico Department of Natural Resources regulations.

### Summary

1. City Hall, entire concrete ceiling from second floor. Ceramic Tiles from men bathroom first floor.
2. Graduate School Eugenio Maria de Hostos, interior concrete baseboard from hallways and lobby.
3. Public School J. Gautier Benitez, All interior and exterior masonry, and concrete walls. Ceramic tiles from bathrooms.

See attached XRF readings and Photo Log of the Lead Base Paint.

*Alexis Diaz Pacheco*

Alexis Díaz Pacheco  
Lead Base Paint Inspector  
LBPI-21722-204

**ACM AND LEAD BASE PAINT  
INSPECTION  
VIEQUES HISTORIC BUILDINGS AND  
CITY HALL  
FEMA PROJECT NO.64258 MVE055**

**XRF READINGS**

Company Heuresis  
 Model Pb200i  
 Type XRF Lead Paint Analyzer  
 Serial Num. ###  
 App Version Pb200i-4.1-11

Job Id	Con	Rea	cen	Units	Result	Date	Analytic Mode	Room	-->RoomChoice	Structure	-->Member	Substrate	Wa	Condition
FEMA No.64258	1	1.2	mg/cm2	Positive	Sep/27/2022	Lead Paint	Exterior	Exterior	Calibration					
FEMA No.64258	2	1.1	mg/cm2	Positive	Sep/27/2022	Lead Paint	Exterior	Exterior	Calibration					
FEMA No.64258	3	1.1	mg/cm2	Positive	Sep/27/2022	Lead Paint	Exterior	Exterior	Calibration					
FEMA No.64258	4	3.7	mg/cm2	Positive	Sep/27/2022	Lead Paint	Interior	Interior	2nd Floor Lobby	City Hall	Ceiling	Concrete		Deteriorated
FEMA No.64258	5	0.2	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	Interior	Secretary	City Hall	Beam	Concrete		Deteriorated
FEMA No.64258	6	4.0	mg/cm2	Positive	Sep/27/2022	Lead Paint	Interior	Interior	Secretary	City Hall	Ceiling	Concrete		Deteriorated
FEMA No.64258	7	0.5	mg/cm2	Negative	Sep/27/2022	Lead Paint	Exterior	Exterior	Building	City Hall	Upper Wall	Concrete	A	Deteriorated
FEMA No.64258	8	0.0	mg/cm2	Negative	Sep/27/2022	Lead Paint	Exterior	Exterior	Building	City Hall	Lower Wall	Concrete	A	Deteriorated
FEMA No.64258	9	0.0	mg/cm2	Negative	Sep/27/2022	Lead Paint	Exterior	Exterior	Building	City Hall	Window Apron	Concrete		Deteriorated
FEMA No.64258	10	0.2	mg/cm2	Negative	Sep/27/2022	Lead Paint	Exterior	Exterior	Building	City Hall	Wall	Concrete	B	Deteriorated
FEMA No.64258	11	0.4	mg/cm2	Negative	Sep/27/2022	Lead Paint	Exterior	Exterior	Building	City Hall	Wall	Concrete	C	Deteriorated
FEMA No.64258	12	0.2	mg/cm2	Negative	Sep/27/2022	Lead Paint	Exterior	Exterior	Building	City Hall	Wall	Concrete	D	Deteriorated
FEMA No.64258	13	0.3	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	Interior	1st Floor Yard	City Hall	Wall	Concrete	A	Deteriorated
FEMA No.64258	14	0.0	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	Interior	1st Floor Yard	City Hall	Wall	Concrete	B	Deteriorated
FEMA No.64258	15	0.1	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	Interior	1st Floor Yard	City Hall	Wall	Concrete	C	Deteriorated
FEMA No.64258	16	0.3	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	Interior	1st Floor Yard	City Hall	Wall	Concrete	D	Deteriorated
FEMA No.64258	17	0.3	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	Interior	1st Floor Yard	City Hall	Wall	Concrete	A	Deteriorated
FEMA No.64258	18	0.3	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	Interior	Community initiative	City Hall	OrnamentalBlock	Concrete		Deteriorated
FEMA No.64258	19	0.8	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	Interior	Citizen Help	City Hall	Wall	Concrete	D	Deteriorated
FEMA No.64258	20	0.3	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	Interior	Legislature	City Hall	Wall	Concrete	A	Deteriorated
FEMA No.64258	21	0.0	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	Interior	Legislature	City Hall	Wall	Concrete	B	Deteriorated
FEMA No.64258	22	0.1	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	Interior	Legislature	City Hall	Wall	Concrete	C	Deteriorated
FEMA No.64258	23	1.9	mg/cm2	Positive	Sep/27/2022	Lead Paint	Interior	Interior	1st Floor Storage	City Hall	Wall	Concrete	C	Deteriorated
FEMA No.64258	24	0.3	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	Interior	1st Floor Storage	City Hall	Wall	Ceramic	C	Deteriorated
FEMA No.64258	25	0.2	mg/cm2	Negative	Sep/27/2022	Lead Paint	Exterior	Exterior	2nd Floor	City Hall	Balcony Wall	Concrete	A	Deteriorated
FEMA No.64258	26	0.0	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	Interior	Clock Tower	City Hall	Wall	Concrete	C	Deteriorated
FEMA No.64258	26	0.0	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	Interior	Secretary Office	City Hall	Wall	Concrete	B	Deteriorated

Job Id	Con		Result	Date	Analytic		Room	-->RoomChoice	Structure	-->Member	Substrate Wa Condition	
	Rea	cen			Units	Mode					Substrate	Wa
FEMA No.64258	27	0.3	mg/cm2	Negative	Sep/27/2022	Lead Paint	Exterior	Building	School of Fine Arts	Wall	Concrete	A
FEMA No.64258	28	0.0	mg/cm2	Negative	Sep/27/2022	Lead Paint	Exterior	Building	School of Fine Arts	Wall	Concrete	B
FEMA No.64258	29	0.0	mg/cm2	Negative	Sep/27/2022	Lead Paint	Exterior	Building	School of Fine Arts	Wall	Concrete	C
FEMA No.64258	30	0.3	mg/cm2	Negative	Sep/27/2022	Lead Paint	Exterior	Building	School of Fine Arts	Wall	Concrete	D
FEMA No.64258	31	0.0	mg/cm2	Negative	Sep/27/2022	Lead Paint	Exterior	Building	School of Fine Arts	Window	Wood	A
FEMA No.64258	32	0.2	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	1st Floor	School of Fine Arts	Wall	Concrete	A
FEMA No.64258	33	0.3	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	1st Floor	School of Fine Arts	Wall	Concrete	B
FEMA No.64258	34	0.0	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	1st Floor	School of Fine Arts	Wall	Concrete	C
FEMA No.64258	35	0.0	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	1st Floor	School of Fine Arts	Wall	Concrete	D
FEMA No.64258	36	0.1	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	Aditory 2nd Floor	School of Fine Arts	Wall	Concrete	A
FEMA No.64258	37	0.4	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	Aditory 2nd Floor	School of Fine Arts	Wall	Concrete	B
FEMA No.64258	38	0.1	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	Aditory 2nd Floor	School of Fine Arts	Wall	Concrete	C
FEMA No.64258	39	0.0	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	Aditory 2nd Floor	School of Fine Arts	Wall	Concrete	D
FEMA No.64258	40	0.2	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	Stairs	School of Fine Arts	Treat	Metal	Deteriorated
FEMA No.64258	41	0.3	mg/cm2	Negative	Sep/27/2022	Lead Paint	Exterior	1st Floor	Sch. Eug Ma de Hos	Wall	Concrete	A
FEMA No.64258	42	0.1	mg/cm2	Negative	Sep/27/2022	Lead Paint	Exterior	1st Floor	Sch. Eug Ma de Hos	Window	Metal	Deteriorated
FEMA No.64258	43	0.0	mg/cm2	Negative	Sep/27/2022	Lead Paint	Exterior	1st Floor	Sch. Eug Ma de Hos	Column	Concrete	A
FEMA No.64258	44	0.0	mg/cm2	Negative	Sep/27/2022	Lead Paint	Exterior	1st Floor	Sch. Eug Ma de Hos	Wall	Concrete	B
FEMA No.64258	45	0.0	mg/cm2	Negative	Sep/27/2022	Lead Paint	Exterior	1st Floor	Sch. Eug Ma de Hos	Wall	Concrete	C
FEMA No.64258	46	0.4	mg/cm2	Negative	Sep/27/2022	Lead Paint	Exterior	1st Floor	Sch. Eug Ma de Hos	Wall	Concrete	D
FEMA No.64258	47	0.2	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	1st Floor	Sch. Eug Ma de Hos	Lobby Wall	Concrete	A
FEMA No.64258	48	2.6	mg/cm2	Positive	Sep/27/2022	Lead Paint	Interior	1st Floor Lobby	Sch. Eug Ma de Hos	Baseboard	Concrete	A
FEMA No.64258	49	0.0	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	1st Floor	Sch. Eug Ma de Hos	Wall Section 8	Concrete	B
FEMA No.64258	50	0.2	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	1st Floor	Sch. Eug Ma de Hos	Wall	Concrete	C
FEMA No.64258	51	0.0	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	1st Floor	Sch. Eug Ma de Hos	Wall	Concrete	D
FEMA No.64258	52	0.0	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	1st Floor	Sch. Eug Ma de Hos	Baseboard	Concrete	Deteriorated
FEMA No.64258	53	0.2	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	1st Floor	Sch. Eug Ma de Hos	Garden	Concrete	Deteriorated
FEMA No.64258	54	0.5	mg/cm2	Negative	Sep/27/2022	Lead Paint	1st Floor	Mens Bathroom	Sch. Eug Ma de Hos	Upper Wall	Concrete	A
FEMA No.64258	55	0.2	mg/cm2	Negative	Sep/27/2022	Lead Paint	1st Floor	Mens Bathroom	Sch. Eug Ma de Hos	Upper Wall	Concrete	B

Job Id	Con		Result	Date	Analytic		Room	-->RoomChoice	Structure	-->Member	Substrate	Wa	Condition
	Rea	cen			Units	Mode							
FEMA No.64258	56	0.1	mg/cm2	Negative	Sep/27/2022	Lead Paint	1st Floor	Mens Bathroom	Sch. Eug Ma de Hos	Hos Upper Wall	Concrete	C	Deteriorated
FEMA No.64258	57	0.3	mg/cm2	Negative	Sep/27/2022	Lead Paint	1st Floor	Mens Bathroom	Sch. Eug Ma de Hos	Hos Upper Wall	Concrete	D	Deteriorated
FEMA No.64258	58	0.0	mg/cm2	Negative	Sep/27/2022	Lead Paint	2nd Floor	Mens Bathroom	Sch. Eug Ma de Hos	Hos Upper Wall	Concrete	A	Deteriorated
FEMA No.64258	59	0.0	mg/cm2	Negative	Sep/27/2022	Lead Paint	2nd Floor	Mens Bathroom	Sch. Eug Ma de Hos	Hos Upper Wall	Concrete	B	Deteriorated
FEMA No.64258	60	0.1	mg/cm2	Negative	Sep/27/2022	Lead Paint	2nd Floor	Mens Bathroom	Sch. Eug Ma de Hos	Hos Upper Wall	Concrete	C	Deteriorated
FEMA No.64258	61	0.3	mg/cm2	Negative	Sep/27/2022	Lead Paint	2nd Floor	Mens Bathroom	Sch. Eug Ma de Hos	Hos Upper Wall	Concrete	D	Deteriorated
FEMA No.64258	62	0.2	mg/cm2	Negative	Sep/27/2022	Lead Paint	2nd Floor	Hallway	Sch. Eug Ma de Hos	Hos Ceiling	Concrete		Deteriorated
FEMA No.64258	63	0.7	mg/cm2	Negative	Sep/27/2022	Lead Paint	2nd Floor	Hallway	Sch. Eug Ma de Hos	Hos Baseboard	Concrete		Deteriorated
FEMA No.64258	64	0.2	mg/cm2	Negative	Sep/27/2022	Lead Paint	2nd Floor	Hallway	Sch. Eug Ma de Hos	Hos Wall	Concrete	A	Deteriorated
FEMA No.64258	65	0.0	mg/cm2	Negative	Sep/27/2022	Lead Paint	2nd Floor	Hallway	Sch. Eug Ma de Hos	Hos Wall	Concrete	B	Deteriorated
FEMA No.64258	66	0.1	mg/cm2	Negative	Sep/27/2022	Lead Paint	2nd Floor	Hallway	Sch. Eug Ma de Hos	Hos Wall	Concrete	C	Deteriorated
FEMA No.64258	67	0.4	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	Stairs	Sch. Eug Ma de Hos	Hos Wall	Concrete	D	Deteriorated
FEMA No.64258	68	0.2	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	Stairs	Sch. Eug Ma de Hos	Hos Treat	Concrete		Deteriorated
FEMA No.64258	69	1.1	mg/cm2	Positive	Sep/27/2022	Lead Paint	Exterior	Calibration	Gautier Benites	Riser	Concrete		Deteriorated
FEMA No.64258	70	1.1	mg/cm2	Positive	Sep/27/2022	Lead Paint	Exterior	Calibration	Gautier Benites	Railing Fence	Metal		Deteriorated
FEMA No.64258	71	1.0	mg/cm2	Positive	Sep/27/2022	Lead Paint	Exterior	Calibration	Gautier Benites	Fence	Concrete		Deteriorated
FEMA No.64258	72	0.1	mg/cm2	Negative	Sep/27/2022	Lead Paint	Exterior	Fence	Gautier Benites	Wall	Concrete	A	Deteriorated
FEMA No.64258	73	0.2	mg/cm2	Negative	Sep/27/2022	Lead Paint	Exterior	Fence	Gautier Benites	Wall	Concrete	B	Deteriorated
FEMA No.64258	74	0.0	mg/cm2	Negative	Sep/27/2022	Lead Paint	Exterior	Building	Gautier Benites	Wall	Concrete	C	Deteriorated
FEMA No.64258	75	1.1	mg/cm2	Positive	Sep/27/2022	Lead Paint	Exterior	Building	Gautier Benites	Wall	Concrete	D	Deteriorated
FEMA No.64258	76	1.4	mg/cm2	Positive	Sep/27/2022	Lead Paint	Exterior	Building	Gautier Benites	Window	Metal	A	Deteriorated
FEMA No.64258	77	1.8	mg/cm2	Positive	Sep/27/2022	Lead Paint	Exterior	Building	Gautier Benites	Column	Concrete	A	Deteriorated
FEMA No.64258	78	2.3	mg/cm2	Positive	Sep/27/2022	Lead Paint	Exterior	Building	Gautier Benites	Wall Apron	Concrete	B	Deteriorated
FEMA No.64258	79	0.0	mg/cm2	Negative	Sep/27/2022	Lead Paint	Exterior	Building	Gautier Benites	Wall Apron	Concrete	D	Deteriorated
FEMA No.64258	80	0.0	mg/cm2	Negative	Sep/27/2022	Lead Paint	Exterior	Building	Gautier Benites	Ceiling	Concrete		Deteriorated
FEMA No.64258	81	0.3	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	Building	Gautier Benites	Wall	Concrete	A	Deteriorated
FEMA No.64258	82	0.4	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	Building	Gautier Benites	Wall	Concrete	B	Deteriorated
FEMA No.64258	83	0.3	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	Building	Gautier Benites	Wall	Concrete	D	Deteriorated
FEMA No.64258	84	4.1	mg/cm2	Positive	Sep/27/2022	Lead Paint	Interior	Lobby	Gautier Benites	Wall	Concrete	A	Deteriorated
FEMA No.64258	85	0.1	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	Lobby	Gautier Benites	Wall	Concrete	B	Deteriorated
FEMA No.64258	86	0.3	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	Lobby	Gautier Benites	Wall	Concrete	C	Deteriorated

Job Id	Con		Result	Date	Analytic		Room	-->RoomChoice	Structure	-->Member	Substrate	Wa	Condition
	Rea	cen			Units	Mode							
FEMA No.64258 87	0.1	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	Lobby	Gautier Benites	Wall	Concrete	D	Deteriorated	
FEMA No.64258 88	3.0	mg/cm2	Positive	Sep/27/2022	Lead Paint	Interior	Lobby	Gautier Benites	Baseboard	Concrete		Deteriorated	
FEMA No.64258 89	5.5	mg/cm2	Positive	Sep/27/2022	Lead Paint	Interior	Mens Bathroom	Gautier Benites	Upper Wall	Concrete	A	Deteriorated	
FEMA No.64258 90	3.7	mg/cm2	Positive	Sep/27/2022	Lead Paint	Interior	Mens Bathroom	Gautier Benites	Lower Wall	Ceramic	A	Deteriorated	
FEMA No.64258 91	4.3	mg/cm2	Positive	Sep/27/2022	Lead Paint	Interior	Mens Bathroom	Gautier Benites	Upper Wall	Concrete	B	Deteriorated	
FEMA No.64258 92	1.4	mg/cm2	Positive	Sep/27/2022	Lead Paint	Interior	Open Space Center	Gautier Benites	Wall	Concrete	A	Deteriorated	
FEMA No.64258 93	2.3	mg/cm2	Positive	Sep/27/2022	Lead Paint	Interior	Open Space Center	Gautier Benites	Wall	Concrete	B	Deteriorated	
FEMA No.64258 94	1.8	mg/cm2	Positive	Sep/27/2022	Lead Paint	Interior	Open Space Center	Gautier Benites	Wall	Concrete	C	Deteriorated	
FEMA No.64258 95	1.7	mg/cm2	Positive	Sep/27/2022	Lead Paint	Interior	Ladies Bathroom	Gautier Benites	Wall	Concrete	D	Deteriorated	
FEMA No.64258 96	0.8	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	Office Area Preschool	Gautier Benites	Wall	Concrete	D	Deteriorated	
FEMA No.64258 97	2.3	mg/cm2	Positive	Sep/27/2022	Lead Paint	Interior	Office Area Preschool	Gautier Benites	Wall	Concrete	B	Deteriorated	
FEMA No.64258 98	3.1	mg/cm2	Positive	Sep/27/2022	Lead Paint	Exterior	Building	Usos Multiples	Wall	Concrete	C	Deteriorated	
FEMA No.64258 99	0.2	mg/cm2	Negative	Sep/27/2022	Lead Paint	Exterior	Building	Usos Multiples	Wall	Concrete	A	Deteriorated	
FEMA No.64258 100	0.1	mg/cm2	Negative	Sep/27/2022	Lead Paint	Exterior	Building	Usos Multiples	Wall	Concrete	B	Deteriorated	
FEMA No.64258 101	0.3	mg/cm2	Negative	Sep/27/2022	Lead Paint	Exterior	Building	Usos Multiples	Wall	Concrete	C	Deteriorated	
FEMA No.64258 102	0.1	mg/cm2	Negative	Sep/27/2022	Lead Paint	Exterior	Building	Usos Multiples	Wall	Concrete	A	Deteriorated	
FEMA No.64258 103	0.4	mg/cm2	Negative	Sep/27/2022	Lead Paint	Exterior	Building	Usos Multiples	Wall	Concrete	B	Deteriorated	
FEMA No.64258 104	0.2	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	Open Space	Usos Multiples	Wall	Concrete	A	Deteriorated	
FEMA No.64258 105	0.2	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	Open Space	Usos Multiples	Wall	Concrete	B	Deteriorated	
FEMA No.64258 106	0.0	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	Open Space	Usos Multiples	Wall	Concrete	C	Deteriorated	
FEMA No.64258 107	0.2	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	Open Space	Usos Multiples	Wall	Concrete	D	Deteriorated	
FEMA No.64258 108	0.4	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	Open Space	Usos Multiples	Wall	Concrete	A	Deteriorated	
FEMA No.64258 109	1.0	mg/cm2	Positive	Sep/27/2022	Lead Paint	Exterior	Main Entrance	Usos Multiples	Ceiling	Concrete		Deteriorated	
FEMA No.64258 110	1.1	mg/cm2	Positive	Sep/27/2022	Lead Paint	Exterior	Calibration	Usos Multiples	Ceiling	Concrete		Deteriorated	
FEMA No.64258 111	1.0	mg/cm2	Positive	Sep/27/2022	Lead Paint	Exterior	Calibration	Usos Multiples	Ceiling	Concrete		Deteriorated	
FEMA No.64258 112	-0.1	mg/cm2	Negative	Sep/27/2022	Lead Paint	Exterior	Building	Usos Multiples	Wall	Concrete	A	Re-test	
FEMA No.64258 113	0.0	mg/cm2	Negative	Sep/27/2022	Lead Paint	Exterior	Building	Usos Multiples	Wall	Concrete	B	Re-test	
FEMA No.64258 114	0.1	mg/cm2	Negative	Sep/27/2022	Lead Paint	Exterior	Building	Usos Multiples	Wall	Concrete	C	Re-test	
FEMA No.64258 115	-0.3	mg/cm2	Negative	Sep/27/2022	Lead Paint	Exterior	Building	Usos Multiples	Wall	Concrete	D	Re-test	
FEMA No.64258 116	0.0	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	Open Space	Usos Multiples	Wall	Concrete	A	Re-test	
FEMA No.64258 117	0.0	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	Open Space	Usos Multiples	Wall	Concrete	B	Re-test	

Job Id	Rea: cen	Units	Result	Date	Analytic Mode	Room	-->RoomChoice	Structure	-->Member	Substrate	Wa Condition
FEMA No.64258 118	-0.2	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	Open Space	Usos Multiples	Wall	Concrete	C Re-test
FEMA No.64258 119	0.0	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	Open Space	Usos Multiples	Wall	Concrete	D Re-test
FEMA No.64258 120	0.1	mg/cm2	Negative	Sep/27/2022	Lead Paint	Interior	Open Space	Usos Multiples	Ceiling	Concrete	Re-test
FEMA No.64258 121	0.1	mg/cm2	Negative	Sep/27/2022	Lead Paint	Exterior	Main Entrance	Usos Multiples	Ceiling	Concrete	Re-test
FEMA No.64258 122	1.2	mg/cm2	Positive	Sep/27/2022	Lead Paint	Exterior	Calibration				
FEMA No.64258 123	1.1	mg/cm2	Positive	Sep/27/2022	Lead Paint	Exterior	Calibration				
FEMA No.64258 124	1.0	mg/cm2	Positive	Sep/27/2022	Lead Paint	Exterior	Calibration				

## Performance Characteristic Sheet

**EFFECTIVE DATE:** December 1, 2015

**MANUFACTURER AND MODEL:**

Make: *Heuresis*  
Models: *Model Pb200i*  
Source: *<sup>57</sup>Co, 5 mCi (nominal – new source)*

### FIELD OPERATION GUIDANCE

**OPERATING PARAMETERS:**

Action Level mode

**XRF CALIBRATION CHECK LIMITS:**

0.8 to 1.2 mg/cm<sup>2</sup> (inclusive)

**SUBSTRATE CORRECTION:**

Not applicable

**INCONCLUSIVE RANGE OR THRESHOLD:**

<b>ACTION LEVEL MODE READING DESCRIPTION</b>	<b>SUBSTRATE</b>	<b>THRESHOLD (mg/cm<sup>2</sup>)</b>
Results not corrected for substrate bias on any substrate	Brick	1.0
	Concrete	1.0
	Drywall	1.0
	Metal	1.0
	Plaster	1.0
	Wood	1.0

## BACKGROUND INFORMATION

### EVALUATION DATA SOURCE AND DATE:

This sheet is supplemental information to be used in conjunction with Chapter 7 of the HUD *Guidelines for the Evaluation and Control of Lead-Based Paint Hazards in Housing* ("HUD Guidelines"). Performance parameters shown on this sheet are calculated using test results on building components in the HUD archive. Testing was conducted on 146 test samples in November 2015, with two separate instruments running software version 2.1-2 in Action Level test mode. The actual source strength of each instrument on the day of testing was approximately 2.0 mCi; source ages were approximately one year.

### OPERATING PARAMETERS

Performance parameters shown in this sheet are applicable only when properly operating the instrument using the manufacturer's instructions and procedures described in Chapter 7 of the HUD Guidelines.

### XRF CALIBRATION CHECK:

The calibration of the XRF instrument should be checked using the paint film nearest 1.0 mg/cm<sup>2</sup> in the NIST Standard Reference Material (SRM) used (e.g., for NIST SRM 2579, use the 1.02 mg/cm<sup>2</sup> film).

If the average (rounded to 1 decimal place) of three readings is outside the acceptable calibration check range, follow the manufacturer's instructions to bring the instrument into control before XRF testing proceeds.

### SUBSTRATE CORRECTION VALUE COMPUTATION:

Chapter 7 of the HUD Guidelines provides guidance on correcting XRF results for substrate bias. Supplemental guidance for using the paint film nearest 1.0 mg/cm<sup>2</sup> for substrate correction is provided:

XRF results are corrected for substrate bias by subtracting from each XRF result a correction value determined separately in each house for single-family housing or in each development for multifamily housing, for each substrate. The correction value is an average of XRF readings taken over the NIST SRM paint film nearest to 1.0 mg/cm<sup>2</sup> at test locations that have been scraped bare of their paint covering. Compute the correction values as follows:

Using the same XRF instrument, take three readings on a bare substrate area covered with the NIST SRM paint film nearest 1 mg/cm<sup>2</sup>. Repeat this procedure by taking three more readings on a second bare substrate area of the same substrate covered with the NIST SRM.

Compute the correction value for each substrate type where XRF readings indicate substrate correction is needed by computing the average of all six readings as shown below.

For each substrate type (the 1.02 mg/cm<sup>2</sup> NIST SRM is shown in this example; use the actual lead loading of the NIST SRM used for substrate correction):

$$\text{Correction value} = (1\text{st} + 2\text{nd} + 3\text{rd} + 4\text{th} + 5\text{th} + 6\text{th Reading})/6 - 1.02 \text{ mg/cm}^2$$

Repeat this procedure for each substrate requiring substrate correction in the house or housing development.

### EVALUATING THE QUALITY OF XRF TESTING:

Randomly select ten testing combinations for retesting from each house or from two randomly selected units in multifamily housing.

Conduct XRF re-testing at the ten testing combinations selected for retesting.

Determine if the XRF testing in the units or house passed or failed the test by applying the steps below.

Compute the Retest Tolerance Limit by the following steps:

Determine XRF results for the original and retest XRF readings. Do not correct the original or retest results for substrate bias. In single-family and multi-family housing, a result is defined as a single reading. Therefore, there will be ten original and ten retest XRF results for each house or for the two selected units.

Calculate the average of the original XRF result and the retest XRF result for each testing combination.

Square the average for each testing combination.

Add the ten squared averages together. Call this quantity C.

Multiply the number C by 0.0072. Call this quantity D.

Add the number 0.032 to D. Call this quantity E.

Take the square root of E. Call this quantity F.

Multiply F by 1.645. The result is the Retest Tolerance Limit.

Compute the average of all ten original XRF readings.

Compute the average of all ten re-test XRF readings.

Find the absolute difference of the two averages.

If the difference is less than the Retest Tolerance Limit, the inspection has passed the retest. If the difference of the overall averages equals or exceeds the Retest Tolerance Limit, this procedure should be repeated with ten new testing combinations. If the difference of the overall averages is equal to or greater than the Retest Tolerance Limit a second time, then the inspection should be considered deficient.

Use of this procedure is estimated to produce a spurious result approximately 1% of the time. That is, results of this procedure will call for further examination when no examination is warranted in approximately 1 out of 100 dwelling units tested.

**TESTING TIMES:**

In the Action Level paint test mode, the instrument takes the longest time to complete readings close to the Federal standard of 1.0 mg/cm<sup>2</sup>. The table below shows the mean and standard deviation of actual reading times by reading level for paint samples during the November 2015 archive testing. The tested instruments reported readings to one decimal place. No significant differences in reading times by substrate were observed. These times apply only to instruments with the same source strength as those tested (2.0 mCi). Instruments with stronger sources will have shorter reading times and those with weaker sources, longer reading times, than those in the table.

Mean and Standard Deviation of Reading Times in Action Level Mode by Reading Level		
Reading (mg/cm <sup>2</sup> )	Mean Reading Time (seconds)	Standard Deviation (seconds)
< 0.7	3.48	0.47
0.7	7.29	1.92
0.8	13.95	1.78
0.9 – 1.2	15.25	0.66
1.3 – 1.4	6.08	2.50
≥ 1.5	3.32	0.05

**CLASSIFICATION OF RESULTS:**

XRF results are classified as **positive** if they are **greater than or equal** to the stated threshold for the instrument (1.0 mg/cm<sup>2</sup>), and *negative* if they are *less than* the threshold.

**DOCUMENTATION:**

A report titled *Methodology for XRF Performance Characteristic Sheets* (EPA 747-R-95-008) provides an explanation of the statistical methodology used to construct the data in the sheets, and provides empirical results from using the recommended inconclusive ranges or thresholds for specific XRF instruments. The report may be downloaded at <http://www2.epa.gov/lead/methodology-xrf-performance-characteristic-sheets-epa-747-r-95-008-september-1997>.

This XRF Performance Characteristic Sheet (PCS) was developed by QuanTech, Inc., under a contract with the XRF manufacturer.



**ACM AND LEAD BASE PAINT  
INSPECTION  
VIEQUES HISTORIC BUILDINGS AND  
CITY HALL  
FEMA PROJECT NO.64258 MVE055**

**PHOTOS**

Alexis Diaz  
AD Industrial Services

# LEAD PHOTO LOG ESCUELA DE BELLAS ARTES

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Tuesday, September 27, 2022

Prepared For

2 Issues Identified



ISSUE 1 FRONT ELEVATION



COORDINATES

Alexis Diaz  
AD Industrial Services

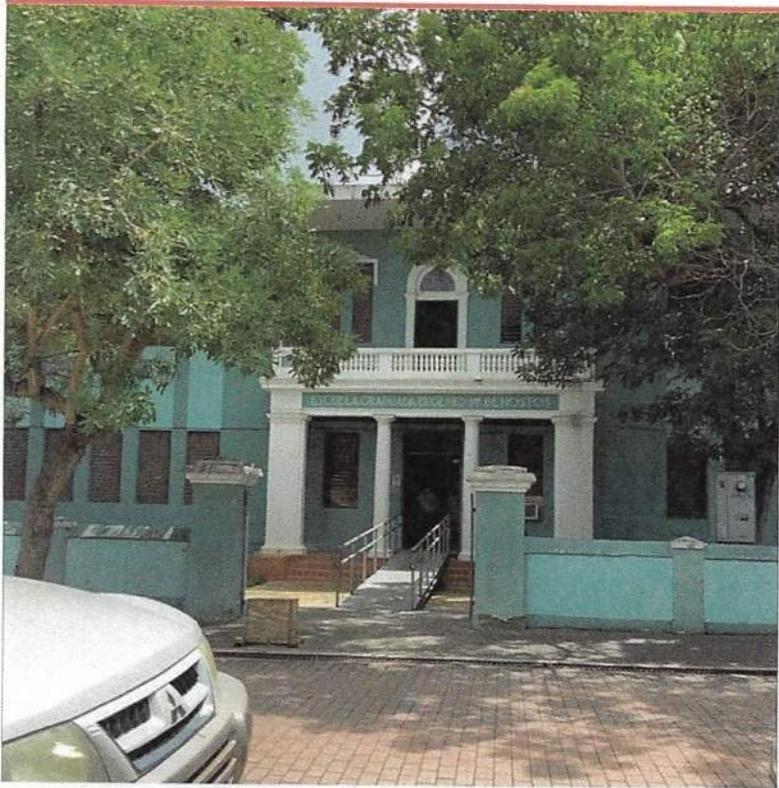
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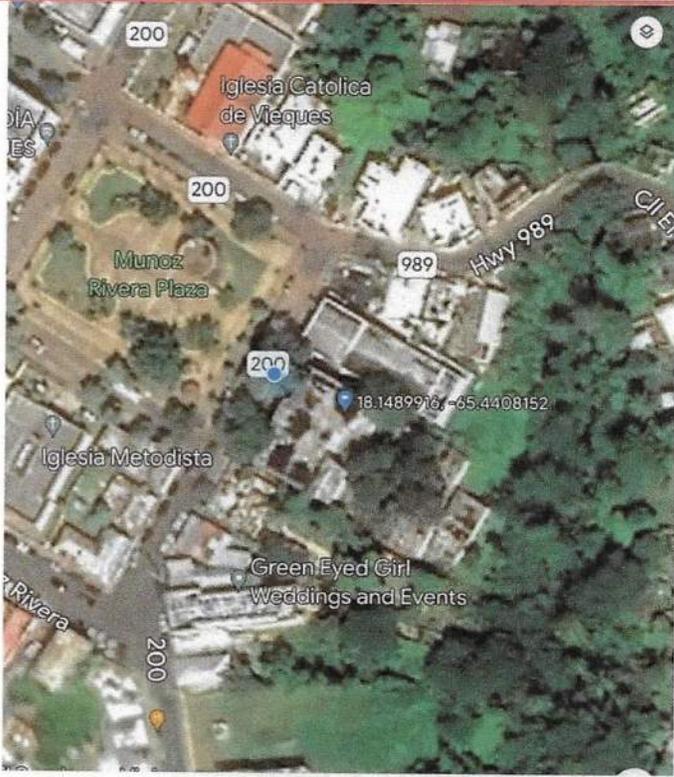
Tuesday, September 27, 2022

Prepared For

3 Issues Identified



**ISSUE 1 FRONT ELEVATION**



**COORDINATES,  
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**ISSUE 3. POSITIVE FOR LEAD  
BASE PAINT BASEBOARDS**

Alexis Diaz  
AD Industrial Services

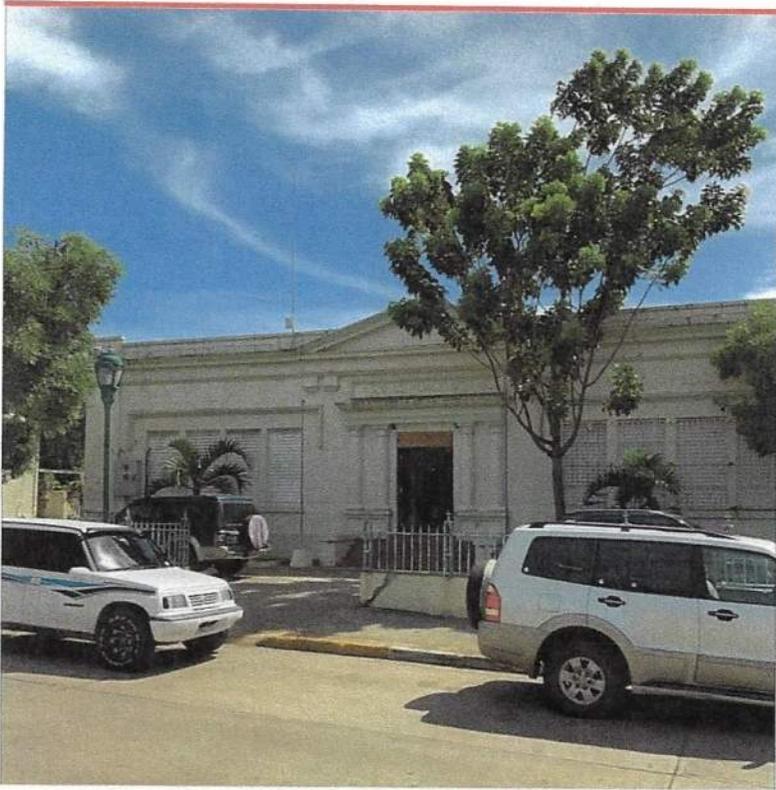
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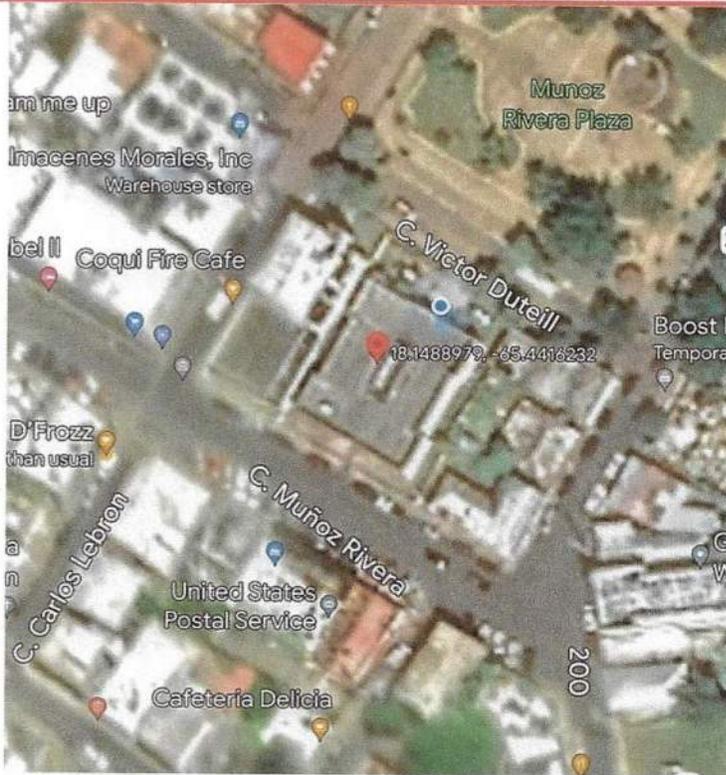
Tuesday, September 27, 2022

Prepared For

5 Issues Identified



ISSUE 1 FRONT ELEVATION



COORDINATES,  
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**ISSUE 3. POSITIVE FOR LEAD  
BASE PAINT BASEBOARDS**



**ISSUE 4. CONCRETE WALL  
WITH LEAD BASE PAINT**



**ISSUE 5. CERAMIC WALL TILES  
WITH LEAD, AND PAINT ON  
WALLS**

Mens And Ladies Bathroom

Alexis Diaz  
AD Industrial Services

# CITY HALL LEAD PHOTO LOG

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Tuesday, September 27, 2022

Prepared For

4 Issues Identified





**ISSUE 3. CERAMIC WALL TILES  
POSITIVE FOR LEAD**



**ISSUE 4. ENTIRE CEILING 2ND  
FLOOR POSITIVE FOR LEAD  
BASE PAINT**

**ACM AND LEAD BASE PAINT  
INSPECTION  
VIEQUES HISTORIC BUILDINGS AND  
CITY HALL  
FEMA PROJECT NO. 64258 MVE055**

**ASBESTOS SURVEY**

**ASBESTOS SURVEY  
VIEQUES HISTORIC BUILDINGS AND CITY HALL  
FEMA PROJECT NO. 64257 MVIE055  
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**2.0 REGULATORY REVIEW**

**3.0 SURVEY PROTOCOL**

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**5.0 HOMOGENEOUS AREAS**

**6.0 POSITIVE RESULTS**

**7.0 EXECUTIVE SUMMARY**

**APPENDIX I**

**Analytical Asbestos Results**

## ASBESTOS SURVEY REPORT

Client Name: Melvin Deya Assoc. AIA  
Mad Conculatings, LLC

Project Location: Vieques Historic Buildings and City Hall

- City Hall
- Cultural Center
- Public School J. Gautier Benitez
- Graduate School Eugenio Maria de Hostos
- Centro de Usos Múltiples

Survey Date: September 27, 2022

Company: A. D. Industrial Services, Inc.

Surveyor: Alexis Díaz Pacheco

### 1.0 INTRODUCTION

A limited asbestos survey was conducted at selective areas of the abovementioned historic buildings as part of a future repair of selective areas as per FEMA specifications. During the survey all suspected Asbestos Containing Materials (ACM) from accessible areas were sampled according with the Environmental Protection Agency (EPA) protocols.

#### 1.1 Background on exposure to asbestos inside buildings

Construction materials containing asbestos have been used extensively in schools, public, private and commercial buildings. The concern about exposure to asbestos in buildings is based on evidence linking various respiratory diseases with occupational exposure in the shipbuilding, mining, milling and fabricating industries. The presence of asbestos in buildings does not mean that the health of the occupants is endangered. If ACM is in good condition as are unlikely to be disturbed, exposure will be negligible. However, when ACM is damage or disturbed for example by maintenance and repairs without the proper controls asbestos fibers are released to the environment creating a potential hazard for building occupants.

The purpose of this survey was to locate and identify ACM within the areas of the buildings to be repair only.

Our Scope of work and services for the project consist of the following tasks:

- A walk through and observation of all floors and roof areas.
- Identification of Suspected ACM Homogeneous Areas.
- Collect Bulk samples of suspected ACM Homogeneous Areas. N/A
- Polarized Light Microscopy (PLM) analysis of the bulk samples. N/A
- Final report with recommended actions.

## **2.0 REGULATORY REVIEW**

### **2.1 EPA regulations**

#### National Emission Standards for Hazardous Air Pollutants (NESHAP) 40CFR61

This rule concern removal and demolition notification, removal and disposal of ACM. Also includes in the NESHAP are rules concerning manufacturing, spraying and fabricating of asbestos.

#### Asbestos Hazard Emergency Response Act (AHERA) 40 CFR 763, Subpart E

AHERA was enacted for controlling the exposure to asbestos fibers in schools. It requires the identification, sampling, assessment, remediation and response actions in schools with kindergarten to 12th grade.

#### EPA Worker Protection Rule (40CFR 763.120.121)

This rule extends workers coverage to state and local employees that perform asbestos works and are not covered under O.S.H.A. regulations, asbestos standards or any other state plan. Requirements include medical examination, air monitoring and reporting, protective equipment, work practices and record keeping.

### **2.2 O.S.H.A. Regulations**

#### 29 CFR 1926.1101, Construction Industry Standard

This standard cover employees involved in demolition, construction, response actions and preventive measures such as removal, encapsulation, alterations, repairs, maintenance insulation and spill emergency cleanups.

#### 29 CFR 1910.1001, General Industry Standard

This standard applies to all occupational exposure other than construction such as manufacturing, railroads, etc.

### 29 CFR 1910.134, Use of respirators

The O.S.H.A. respiratory protection rule defines the program and requirements as to when personnel are required and allowed to wear respirators.

## **2.3 Puerto Rico DNER**

### Rule 422

No person shall cause or permit the management of asbestos containing materials as defined in the regulation without obtaining an operational permit approval from the board.

## **3.0 SURVEY PROTOCOL**

This survey is organized in a manner consistent with the guidelines and protocols for assessing materials suspected of containing asbestos as defined by EPA.

The first phase of the survey consists of a pre-inspection which covers a review of all available building record such as specifications, floor plans, sketches and any other available documentation. A walk-through of the entire building and all accessible areas, in order to develop an inventory of all suspected ACM homogeneous materials.

The second phase involved a complete bulk sampling of all the possible ACM.

## **4.0 SAMPLING PROCEDURE**

The technique used for sampling is designed to minimized possible fiber released and in turn possible contamination of the surrounding areas. Once the sample location is selected the area is sprayed with a soapy water mixture. A core sample of the material is collected and placed in an airtight bag. The bag is labeled and stored. The sampled location is properly labeled with the sampling number and the sample location was mark in a sketch of the building. The sampled area is encapsulated. Proper respiratory protection is worn during the sample collection.

A chain of custody form is completed for every bulk sample collected and sent to an EPA approved laboratory for asbestos content analysis.

## 5.0 HOMOGENEOUS AREAS

- Built-up Roof from Graduate School Eugenio Maria de Hostos.
- Duct Insulation from the roof of Cultural Center.

## 6.0 POSITIVE RESULTS

The suspected ACM Homogeneous Areas sampled during this survey result negative to asbestos content. See attached laboratory and Chain of Custody for the exact sample location.

## 7.0 SUMMARY

1. **City Hall, no sample was collected from the Built-up Roof because it will damage the integrity of the system. According to the owner the roof was remodeled with Danosa brand, but no evidence was submitted at the time of the inspection. Assumed positive to asbestos content.**
2. **Cultural Center, A sample was collected from an air duct at the roof. The sample became negative. According to the owner the roof was remodeled with Danosa brand, but no evidence was submitted at the time of the inspection. Assumed positive to asbestos content.**
3. **Public School J. Gautier Benitez, no suspected ACM was identified in the areas to be repair. Access to the roof was not granted at the time of the inspection, assumed positive to asbestos content.**
4. **Graduate School Eugenio Maria de Hostos, two samples were collected from the Built-up Roof. The samples were sent to AES international Laboratories for analysis for asbestos content by P.L.M. method. The samples came negative.**
5. **Centro de Usos Múltiples, no samples were collected from the Built-up Roof because it will damage the integrity of the system. According to the owner the roof was remodeled with Danosa brand, but no evidence was submitted at the time of the inspection. The building undergoes a complete remodeling process approximately 15 years ago, but no evidence was submitted at the time of the inspection.**

**Assumed Asbestos Containing Materials should be sampled for asbestos content before any remodeling and/or demolition activities begins.**

**Asbestos Containing Materials abatement activities should be performed following PR Department and Environmental Resources and federal regulations.**

*Alexis Diaz Pacheco*

Alexis Diaz Pacheco  
Certified Asbestos Inspector  
ASB-1121-0622-SI



**ACM AND LEAD BASE PAINT  
INSPECTION  
VIEQUES HISTORIC BUILDINGS AND  
CITY HALL  
FEMA PROJECT NO.64258 MVE055**

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---

**ASBESTOS BULK SAMPLES ANALYSIS  
RESULTS**

---





ANALYTICAL ENVIRONMENTAL SERVICES INTERNATIONAL, INC.  
 611 Monserrate Street, 2nd. Floor, Santurce, P.R. 00907  
 PH. (787) 722-0220 Fax (787) 724-5788  
 Job ID: B22100002



**REPORT NUMBER**

RP22100341

**POLARIZED LIGHT MICROSCOPY (PLM) BULK SAMPLE ANALYSIS REPORT**

Client Name:	A.D. Industrial Services, Inc.	Date Collected:	09/27/2022
Project Name:	FEMA Project No. 64258 MVI E055, Vieques Historic Bldg. and City Hall	Date Received:	09/30/2022
Project ID:			

**RESULT OF ANALYSIS (BY % AREA VISUAL ESTIMATE)**

Lab Sample ID	Sample Description	Asbestos Detected	Asbestos Fibers	Other Fibers	Non - Fibrous Material
<b>B22100002.01</b>	Semi-Hard, Bituminous with Aggregates	No		Cellulose 2 Glass Fibers 5 Synthetic 5	Bitumen 63 Sand/Aggregates 15 Binders/Paint 10
B22100002.01.A	Other - Fibers and Paint				
EMH-092722-01	Black				
Layer % of Total :100%					

Date Analyzed: 10/03/2022

Sample Location: Built Top Roof South Side

Comments:

Paint Included as Binders

<b>B22100002.02</b>	Semi-Hard, Bituminous with Aggregates	No		Cellulose 2 Synthetic 8	Bitumen 60 Sand/Aggregates 20 Binders/Paint 10
B22100002.02.A	Other - Fibers and Paint				
EMH-092722-02	Black				
Layer % of Total :100%					

Date Analyzed: 10/03/2022

Sample Location: Built Top Roof East Side

Comments:

Paint Included as Binders

Comments:

For all heterogeneous and layered samples easily separated into sublayers, each component is analyzed and reported separately.

Samples are analyzed by PLM using dispersion staining techniques in accordance with US EPA methods App. E to Sub. E of 40 CFR Part 763 and EPA/600/R-93/116.

MICROANALYST:

  
 [Jessica Garcia]

QUALITY CONTROL:

  
 [Elme Rivera]

PLM is not consistently reliable in detecting small concentrations of asbestos in floor tiles and similar nonfriable materials. Quantitative TEM is currently the only method that can be used to get the conclusive asbestos content. This report relates only to the items tested as received. This report shall not be reproduced except in full and not without written approval of the laboratory. This report shall not be used to claim endorsement by NVLAP or any agency of the US Government. Methods used for determination of asbestos in bulk samples are found in both methods App. E to Sub. E of 40 CFR Part 763 and EPA/600/R-93/116.





ANALYTICAL ENVIRONMENTAL SERVICES INTERNATIONAL, INC.

611 Monserrate Street, 2nd. Floor, Santurce, P.R. 00907

PH. (787) 722-0220 Fax (787) 724-5788

Job ID: B22100001



REPORT NUMBER

RP22100340

POLARIZED LIGHT MICROSCOPY (PLM) BULK SAMPLE ANALYSIS REPORT

Client Name:	A.D. Industrial Services, Inc.	Date Collected:	09/27/2022
Project Name:	FEMA Project No. 64258 MVI E055, Vieques Historic Bldg. and City Hall	Date Received:	09/30/2022
Project ID:			

RESULT OF ANALYSIS (BY % AREA VISUAL ESTIMATE)

Lab Sample ID Client Sample ID	Sample Description	Asbestos Detected	Asbestos Fibers	Other Fibers	Non - Fibrous Material
<b>B22100001.01</b> B22100001.01.A BA-092722-01 Layer % of Total :100%	Semi-Hard, Paint with Bituminous, Fibers Other - and Black Mastic White	No		Cellulose 5 Glass Fibers 10	Bitumen 15 Binders/Paint 70

Date Analyzed: 10/03/2022

Sample Location: Air Duct Insulation Roof Area

Comments:

Comments:

For all heterogeneous and layered samples easily separated into sublayers, each component is analyzed and reported separately.

Samples are analyzed by PLM using dispersion staining techniques in accordance with US EPA methods App. E to Sub. E of 40 CFR Part 763 and EPA/600/R-93/116.

MICROANALYST:

[Jessica Garcia]

QUALITY CONTROL:

[Elme Rivera]

PLM is not consistently reliable in detecting small concentrations of asbestos in floor tiles and similar nonfriable materials. Quantitative TEM is currently the only method that can be used to get the conclusive asbestos content. This report relates only to the items tested as received. This report shall not be reproduced except in full and not without written approval of the laboratory. This report shall not be used to claim endorsement by NVLAP or any agency of the US Government. Methods used for determination of asbestos in bulk samples are found in both methods App. E to Sub. E of 40 CFR Part 763 and EPA/600/R-93/116.

# AD Industrial Services

Vega Baja PR

# CHAIN OF CUSTODY RECORD

JOB NUMBER *Sellos Artes Bldg*

CLIENT NAME: <i>MAD Consulting</i> ADDRESS: <i>Cieques PR</i>		PROJECT: <i>FEMA Project No. G4258</i> <i>MVI EPSS, Higües Historic Bldg</i> <i>and City Hall</i>		PROJECT MANAGER: <i>Alexis Diaz</i>		SPECIAL HANDLING: Same Day Rush _____ 24 Hour Rush _____ 48-72 Hour Rush _____ 1 Day _____ Rush Extractions _____ 10 - 15 Business Days _____ QAVCC Data Package _____				
PHONE: FAX: EMAIL: <i>787-360-5651</i>		SAMPLER: <i>Alexis Diaz</i>		Method of Shipment: COMMENTS: <i>5220001.01</i>						
PROJECT IDENTIFICATION/SITE LOCATION: <i>Air duct installation Roof Area</i>		ANALYSES REQUESTED:		Method of Shipment: COMMENTS: <i>5220001.01</i>						
DATE SAMPLED	TIME SAMPLED	SAMPLE ID	PLM, BULK ANALYSIS	Wipes for Lead Analysis	TCLP Sample for Lead Analysis	TCLP metals	Spore trap	agar plate	Soil Sample for Lead	Soil Sample for Asbestos
1000	9/27/22	BA-092722-01	✓							
RELINQUISHED BY	DATE / TIME	RECEIVED BY	DATE / TIME	DATE / TIME	DATE / TIME	DATE / TIME	DATE / TIME	DATE / TIME	DATE / TIME	DATE / TIME
<i>[Signature]</i>		<i>[Signature]</i>	9/20/22	15:20						
RELINQUISHED BY	DATE / TIME	RECEIVED BY	DATE / TIME	DATE / TIME	DATE / TIME	DATE / TIME	DATE / TIME	DATE / TIME	DATE / TIME	DATE / TIME
RELINQUISHED BY	DATE / TIME	RECEIVED BY	DATE / TIME	DATE / TIME	DATE / TIME	DATE / TIME	DATE / TIME	DATE / TIME	DATE / TIME	DATE / TIME
SPECIAL REQUIREMENTS / BILLING INFORMATION										

SAMPLE TYPE CODE:  
 DW = Drinking Water  
 WW = Waste Water  
 GW = Ground Water  
 SF = Surface Water  
 SW = Sea Water  
 SO = Solid/Soil  
 SL = Sludge  
 OL = Oil  
 OT = Other Matrix

SAMPLE CONDITION:  
 Thermometer #:  
 Received On Ice: Y / N  
 Samples Preserved: Y / N  
 Evidence Seals Present: Y / N  
 Container Attached: Y / N

\*Job ID: B22100001



A.D. Industrial Services, Inc.

*[Handwritten signature]*

# ASBESTOS PHOTO LOG ESCUELA GRADUADA EUGENIO MARIA DE HOSTOS

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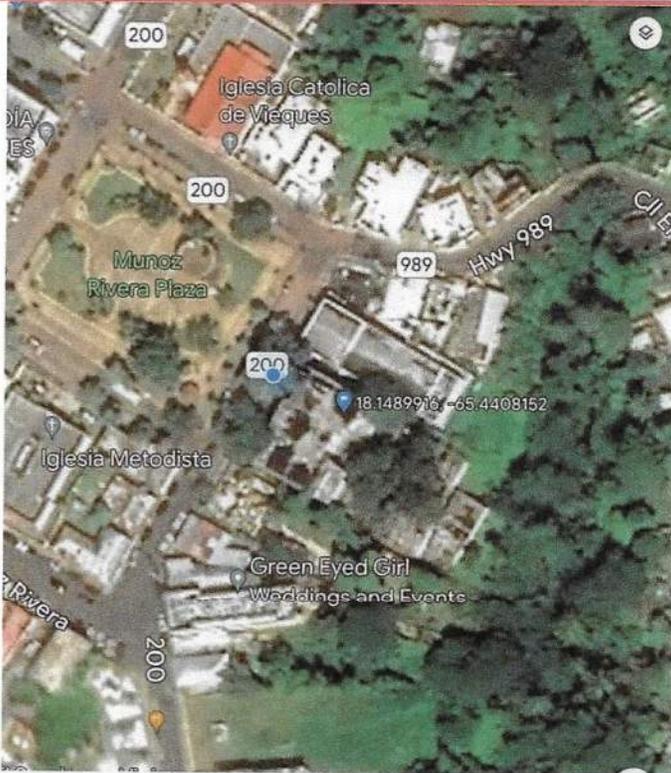
Tuesday, September 27, 2022

Prepared For

3 Issues Identified



**ISSUE 1 FRONT ELEVATION**



**COORDINATES,  
18.1489916,-65.4408152**



**ISSUE 3. BUILT-UP ROOF  
TREATMENT**

Sample ID

EMH-092722-01

EMH-092722-02

TARJETA DE REGISTRO  
LA REMOCION PARA DE ASBESTO

Esta tarjeta autoriza a:

**Alexis Díaz Pacheco**  
Inspector

A trabajar en la remoción de asbesto en  
Puerto Rico. Esta persona NO es un  
empleado del DRNA.

*Juan L. Rivera*  
Firma Autorizada - Departamento  
Recursos Naturales y Ambientales



ASB-1121-0622-SI  
Número de Registro

17-Nov-2022  
Fecha de vencimiento

CERTIFICACIÓN PLOMO PUERTO RICO

Esta tarjeta autoriza a:

**Alexis Díaz Pacheco**

Para realizar actividades relacionadas a  
Mitigación de Pintura con Base de Plomo

Disciplina: **Inspector**

Fecha de Expiración: Agosto 30, 2023

Certificación #:  
**LBPI-21722-204**



Firma Autorizada  
Departamento de Recursos Naturales y  
Ambientales

**ACM AND LEAD BASE PAINT  
INSPECTION  
VIEQUES HISTORIC BUILDINGS AND  
CITY HALL  
FEMA PROJECT NO.64258 MVE055**

**FEMA SCOPE OF WORK**

Fwd: FEMA Project No. 64258 MVIE055 Vieques Historic Buildings and City Hall - MAD Consulting (ACM & LBP Testing)

From: Melvin Deya (melvin@madconsulting.info)

To: adindustrialservices@yahoo.com

Date: Monday, August 22, 2022 at 01:17 PM GMT-4

Saludos Alexis,  
Te envío los DDD de Vieques.  
Gracias.

Melvin Deyá Assoc. AIA  
Principal Senior Designer  
MAD Consulting LLC.  
787-368-0273  
939-349-4662

Begin forwarded message:

**From:** Municipio de Vieques <viequesfema@gmail.com>  
**Date:** August 22, 2022 at 12:54:57 PM AST  
**To:** CARLOS BERMUDEZ <secmunicipal.gmv@gmail.com>, adindustrialservices@yahoo.com  
**Cc:** Dra Tania Marie Cintron <tmcp04@gmail.com>, melvin@madconsulting.info, anazario@nn-construction.com  
**Subject: Re: FEMA Project No. 64258 MVIE055 Vieques Historic Buildings and City Hall - MAD Consulting (ACM & LBP Testing)**

Arq. Melvin Deya,

Good afternoon. As requested, attached please find a copy of the Scope of works for the following DI's:

1. DI# 159732 – City Hall
2. DI# 159733 – Centro de Bellas Artes, Cultural Center
3. DI# 159738 – Public School – J. Gautier Benitez
4. DI# 159744 – Graduate School Eugenia María de Hostos
5. DI# 159773 – Centro de Usos Múltiples

If you have any questions or need additional information, please let us know.

Sincerely,

Alex Nazario

On Fri, Aug 19, 2022 at 12:08 PM Municipio de Vieques <[viequesfema@gmail.com](mailto:viequesfema@gmail.com)> wrote:

Buenas tardes Carlos,

Te incluyo el contacto de Alexis Diaz (Copiado) quien estará en Vieques el próximo Martes, 23 de agosto de 2022 para hacer muestreo de Asbestos & Plomo en las siguientes estructuras.

**Autonomous Municipality of Vieques – FEMA Project No. 64258 MVIE055 Vieques Historic Buildings and City Hall**

1. DI# 159732 – City Hall
2. DI# 159733 – Centro de Bellas Artes, Cultural Center
3. DI# 159738 – Public School – J. Gautier Benitez
4. DI# 159744 – Graduate School Eugenia María de Hostos
5. DI# 159773 – Centro de Usos Múltiples

Alexis Diaz  
(787) 390-5651  
[adindustrialservices@yahoo.com](mailto:adindustrialservices@yahoo.com)

Cualquier duda me dejás saber. Alexis - Me puedes llamar con cualquier duda durante tu visita. El número de Carlos Bermudez es el (787) 447-8697, su oficina está en Casa Alcaldía (City Hall) 2do Piso.

Saludos,

Alex Nazario  
(787) 396-8361



Project\_Report\_64258.pdf  
300.1kB



**MARVEL**  
161 SAN JORGE ST., FLR.2 SAN JUAN, PR 00911  
T 787.289.9494 | F 787.722.4165

**OWNER**  
MUNICIPIO DE VIEQUES  
CALLE CARLOS LEBRUM 449  
VIEQUES, PR 00765

**STRUCTURAL ENGINEER**  
JCDM STRUCTURAL LLC  
844 HOSTOS STREET  
RIO PIEDRAS, PR 00959

**MEP ENGINEER**  
BABLONIA ENGINEERING GROUP  
1223 PONCE DE LEON AVE.  
SAN JUAN, PR 00906

**CIVIL ENGINEER**  
DG3A DESIGN GROUP, PSC  
400 KALANAN BLDG 122  
SAN JUAN, PR 00918

**ENVIRONMENTAL SPECIALIST**  
ENVIRONMENTAL SPECIALIST  
1223 PONCE DE LEON AVE. STE 308  
SAN JUAN, PR 00909

**EXPEDITER**  
CW LEGAL SERVICES, PSC  
P.O. BOX 8277, FERNANDEZ JUNCO  
STATION, SAN JUAN, PR 00910

**SURVEYOR**  
FSS LAND SURVEYORS & CONSULTANTS  
P.O. BOX 2075, AIBONITO, PR 00705

**ISSUE RECORD** DESCRIPTION

**REV DATE** DESCRIPTION

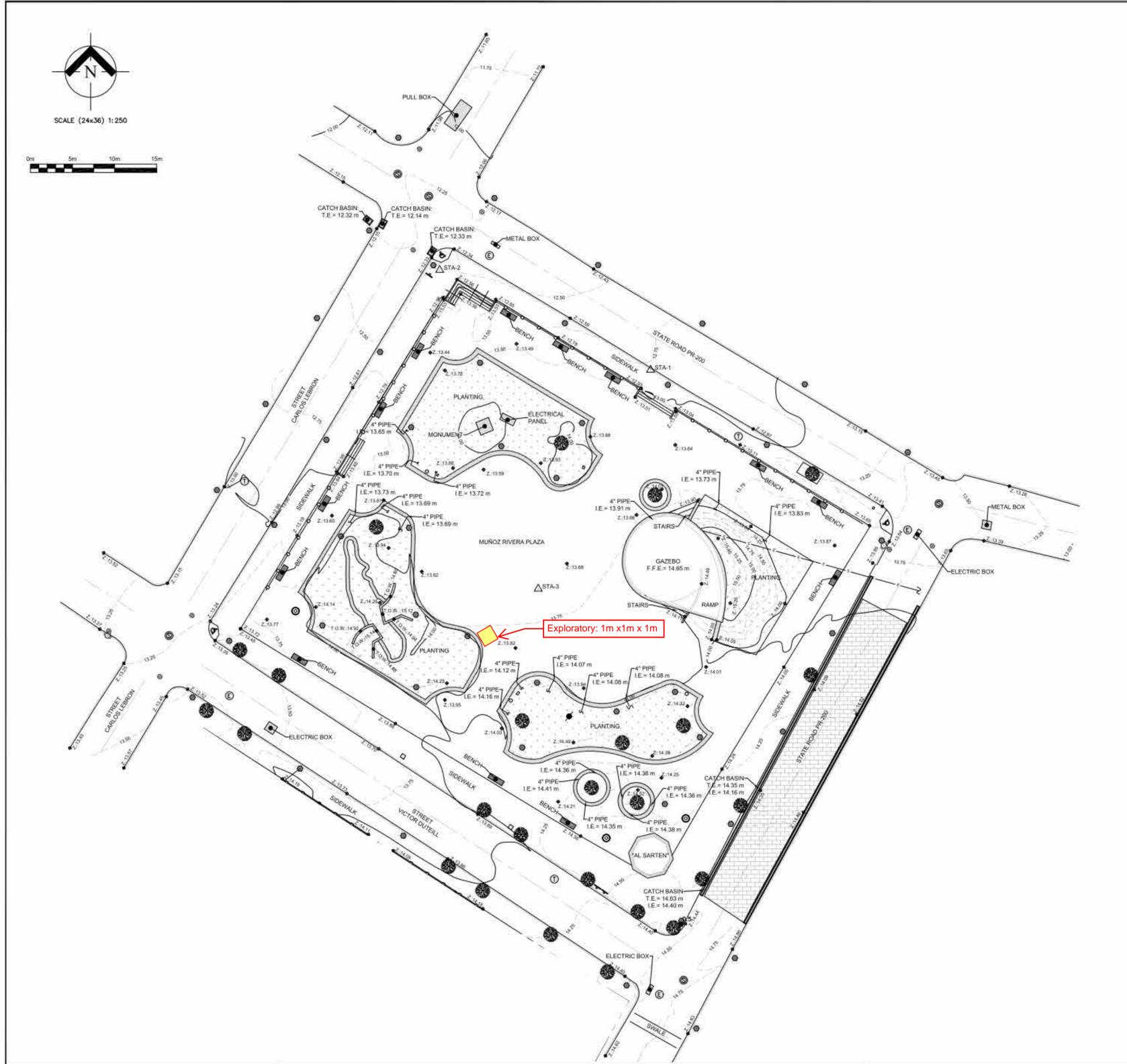
YO, JONATHAN J. MARVEL FULLER, NÚMERO DE LICENCIA 21738, CERTIFICO QUE SOY EL PROFESIONAL QUE CONFECCIONO, DISEÑO Y PREPARO ESTOS PLANOS Y LAS ESPECIFICACIONES COMPLEMENTARIAS. TAMBIÉN, CERTIFICO QUE ENTENDO QUE DICHS PLANOS Y ESPECIFICACIONES CUMPLEN CON LAS DISPOSICIONES APPLICABLES DEL REGLAMENTO CONJUNTO Y LAS DISPOSICIONES APPLICABLES DE LOS REGLAMENTOS Y CÓDIGOS DE CONSTRUCCIÓN VIGENTES DE LAS AGENCIAS, JUNTAS REGULADORAS O CORPORACIONES PÚBLICAS CON JURISDICCION CERTIFICADO. ASIMISMO, QUE EN LA PREPARACION DE ESTOS PLANOS Y ESPECIFICACIONES SE HA CUMPLIDO CABALMENTE CON LO DISPUESTO EN LA LEY NUM. 14 DE 8 DE ENERO DE 2004, SEGUN ENMIENDA, CONOCIDA COMO LA LEY PARA LA INVERSION POR LA INDUSTRIA PUERTORRIQUEÑA Y CON LA LEY NUM. 90 DE 10 DE JULIO DE 1976, SEGUN ENMIENDA, RECONOCIDO QUE CUALQUIER DECLARACION FALSA O FALSIFICACION DE LOS HECHOS QUE SE HAYA PRODUCIDO POR DESCONOCIMIENTO O POR NEGLIGENCIA YA SEA POR MI, MIS AGENTES O EMPLEADOS, O POR OTRAS PERSONAS CON MI CONOCIMIENTO, ME HACEN RESPONSABLE DE CUALQUIER ACCION JUDICIAL Y DISCIPLINARIA POR LA OPE.

MA #2252  
VIEQUES CITY REV -  
GROUP 2  
CRP-PR-000807 &  
CRP-PR-001111  
VIEQUES, PR

**SURVEY - PUBLIC SQUARE**

SCALE: 3/64" = 1'-0"

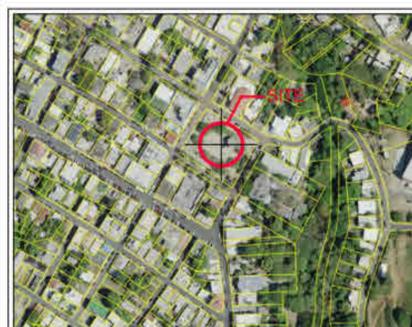
DRAWING #:  
**G-030** of



**ADVISORY MAP** (FEMA FLOOD MAP) N.T.S.  
MAP: 72000C1340J EFFECTIVE DATE: APRIL 13, 2018  
ZONE: X

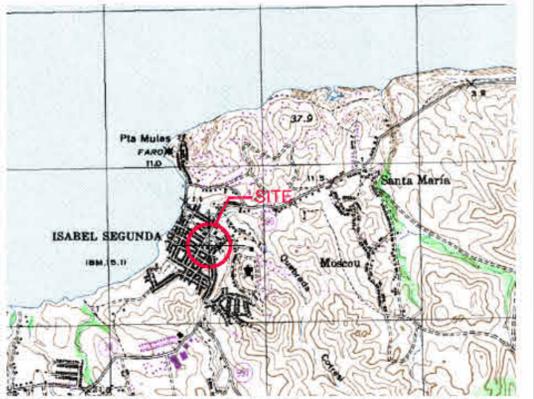


**ZONING MAP** N.T.S.  
MAPA DE CALIFICACION DEL MUNICIPIO DE VIEQUES BO. PUEBLO (ISABEL II)  
ZONE: D.G. (DOTACIONAL GENERAL) VALIDITY: MAR. 29, 2016



**CRIM TAX MAP** N.T.S.  
457-042-019-01

Point	Northing	Easting	Description
1	235280.620	304985.084	GUN NAIL
2	235292.436	304980.010	GUN NAIL



**USGS TOPOGRAPHIC QUADRANGLE**  
SCALE: 1:20,000  
LAMBERT COORDINATE: X:304975.1200 Y:235257.7180

**SURVEYORS NOTE:**  
1. The horizontal control used on this plan are P.R. Lambert NAD 83 rev.2011 epoch 2010:0000 and elev. are referred to orthometric height (Geoid 18).

2. All horizontal measurements are in meters unless otherwise specified.

3. Lambert system was established by gps observations using trimble double frequency receivers using a VRS system provided by HLCM Group.

4. The information depicted on this plan represents the results of the survey performed on the date indicated.

5. The information provided on this plan show all currently existing structures, properties and utilities above or below the ground as revealed by public records or observable evidence over ground inspection.

6. As stated in the manual for the professional practice and guidelines for the compensation of professional services, published by the ciapr, in the sections 6.2.4.2, 7.2.1, 7.2.2, 7.2.4, it is the client, owner, or authorized representative responsibility to corroborate the names of the affected property owners by performing a title search.

7. If expert occupation in a court of justice is necessary, such work will be billed according the latest revision of exhibits 17 of the manual for professional practice and guidelines for the compensations of professional service published by the CIAPR.

8. The field work was realized in March 13, 2023.

**LEGEND:**

- △ CONTROL STATION
- PROPERTY POINT
- ⊙ SANITARY SEWER MANHOLE
- ⊙ GREASE TRAMP MANHOLE
- ⊙ WATER METER
- ⊙ WATER VALVE
- ⊙ GAS VALVE
- ⊙ CONCRETE LIGHT POLE
- ⊙ CONCRETE POWER POLE
- ⊙ UTILITY POLE
- ⊙ TELEPHONE POLE
- ⊙ ELECTRIC BOX
- ⊙ BARBED WIRE FENCE
- ⊙ METAL FENCE
- ⊙ TELEPHONE/ELECTRIC LINE
- ⊙ GROUND LEASE AREA
- ⊙ WATER EDGE
- ⊙ SPOT ELEVATIONS
- ⊙ EXISTING STRUCTURES
- ⊙ TRASH CAN
- ⊙ WOODEN POWER POLE
- ⊙ WOODEN LIGHT POLE
- ⊙ Z:140.16 SPOT ELEVATION
- ⊙ F.F.E.:140.16 FINISH FLOOR ELEVATION
- ⊙ T.O.W.:140.16 TOP OF WALL
- ⊙ FIRE HYDRANT
- ⊙ GUY CABLE
- ⊙ EXISTING TREE
- ⊙ EXISTING PALM TREE
- ⊙ BUS STOP
- ⊙ CONCRETE GUTTER
- ⊙ CENTER LINE
- ⊙ SANITARY SEWER LINE
- ⊙ STORM SEWER LINE
- ⊙ TELEPHONE LINE
- ⊙ POWER LINE
- ⊙ CHAIN LINK FENCE
- ⊙ CHAIN LINK FENCE WITH CONC. BASE



PREPARED BY:  
**fss-LAND SURVEYORS & CONSULTANTS**  
PO BOX 2075, AIBONITO, P.R., 00705  
TEL. / FAX (787) 746-5039

CLIENT NAME:  
**MARVEL**

PROJECT:  
**MUÑOZ RIVERA PLAZA AS BUILT SURVEY**  
LOCATED AT  
STATE ROAD PR-200, KM. 0.5, PUEBLO ISABEL II WARD,  
VIEQUES, PUERTO RICO

**PROFESSIONAL STAMP**

**SIGNATURE BLOCK**

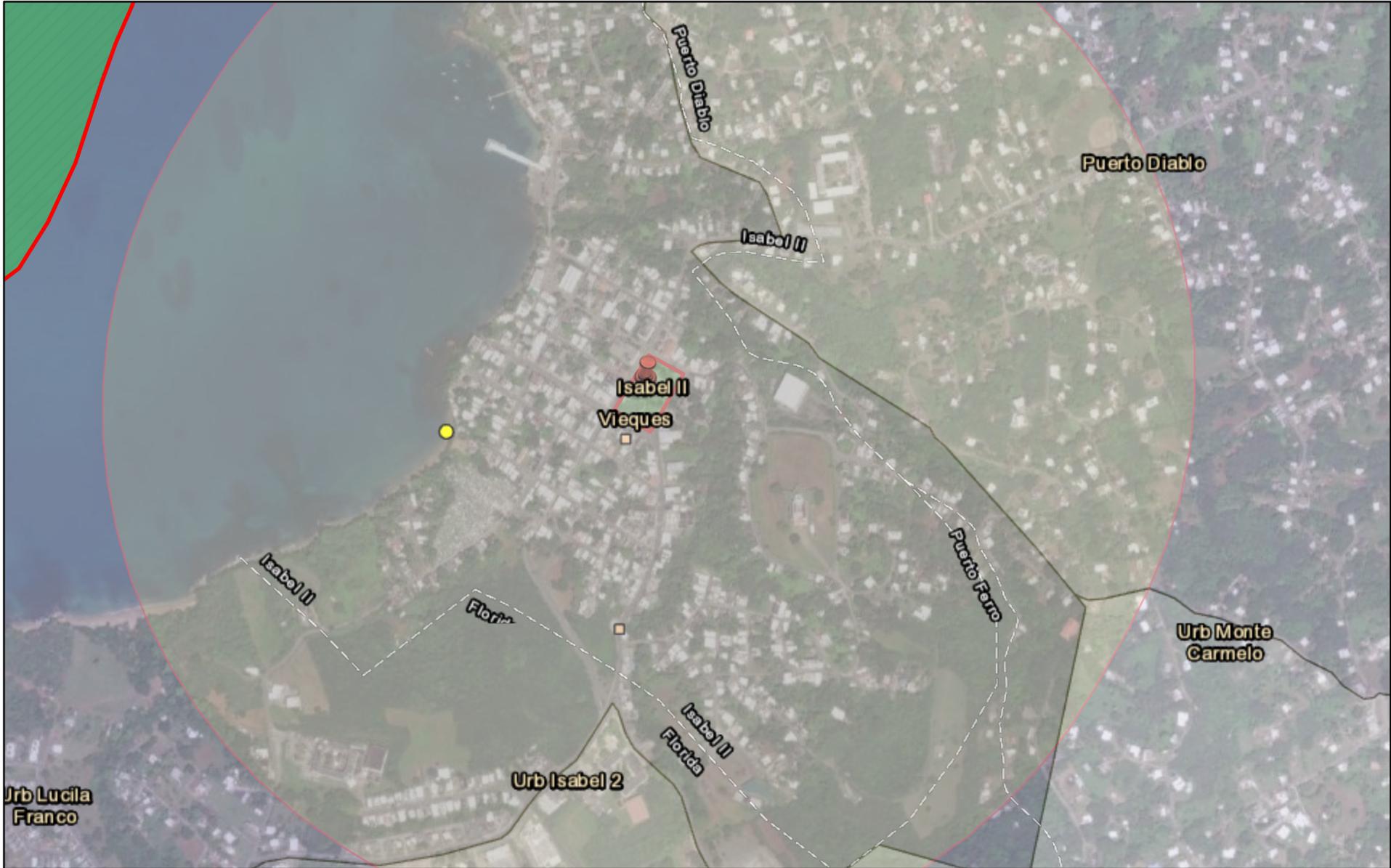
**REVISIONS:**

Drawn by:	Revised by:
K.NARVAEZ	F.SANTIAGO
Date:	Date:
APR./3/2023	AS SHOWN

DWG. NO.	SHEET NO.	TOTAL SHEETS
1	1	1

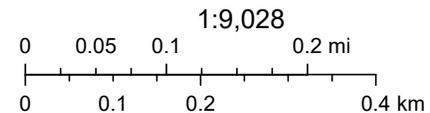
## Appendix I. Environmental Justice Supporting Documents

# Mejoras Plaza Publica de Vieques y Centro de Transformacion Agricola y Social



11/1/2024

Project 3	Brownfields	Population Density (per sq. mile)
Toxic Releases to Air (National Percentiles)	Project 2	0 - 295
Less than 50 percentile		> 295 - 1,836
Data not available		> 1,836 - 4,063
		Mejoras a la Plaza Publica de Vieques y Centro de Transformacion Agricola y Social



EPA, Esri, HERE, Garmin, iPC, Maxar



# EJScreen Community Report

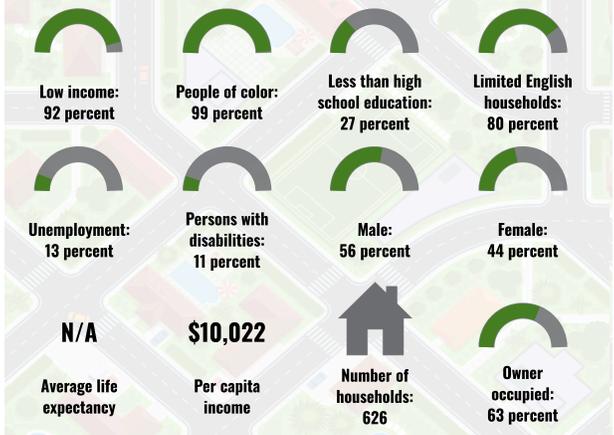
This report provides environmental and socioeconomic information for user-defined areas, and combines that data into environmental justice and supplemental indexes.

## Mejoras a la Plaza Publica de Vieues y

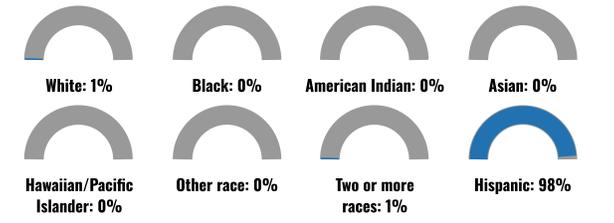
0.5 miles Ring around the Area  
 Population: 1,551  
 Area in square miles: 0.89



### COMMUNITY INFORMATION



### BREAKDOWN BY RACE



### BREAKDOWN BY AGE



### LIMITED ENGLISH SPEAKING BREAKDOWN



### LANGUAGES SPOKEN AT HOME

LANGUAGE	PERCENT
English	8%
Spanish	92%
Total Non-English	92%

Notes: Numbers may not sum to total due to rounding. Hispanic population can be of any race. Source: U.S. Census Bureau, American Community Survey (ACS) 2018-2022. Life expectancy data comes from the Centers for Disease Control.

Report for 0.5 miles Ring around the Area  
 Report produced November 1, 2024 using EJScreen Version 2.3

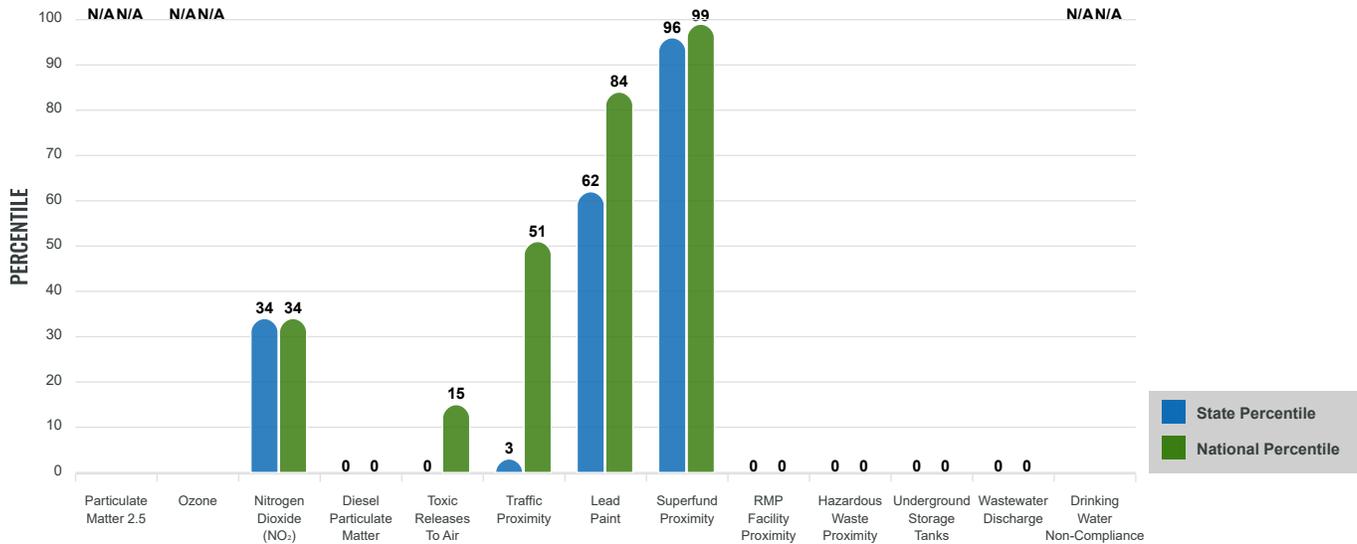
# Environmental Justice & Supplemental Indexes

The environmental justice and supplemental indexes are a combination of environmental and socioeconomic information. There are thirteen EJ indexes and supplemental indexes in EJScreen reflecting the 13 environmental indicators. The indexes for a selected area are compared to those for all other locations in the state or nation. For more information and calculation details on the EJ and supplemental indexes, please visit the [EJScreen website](#).

## EJ INDEXES

The EJ indexes help users screen for potential EJ concerns. To do this, the EJ index combines data on low income and people of color populations with a single environmental indicator.

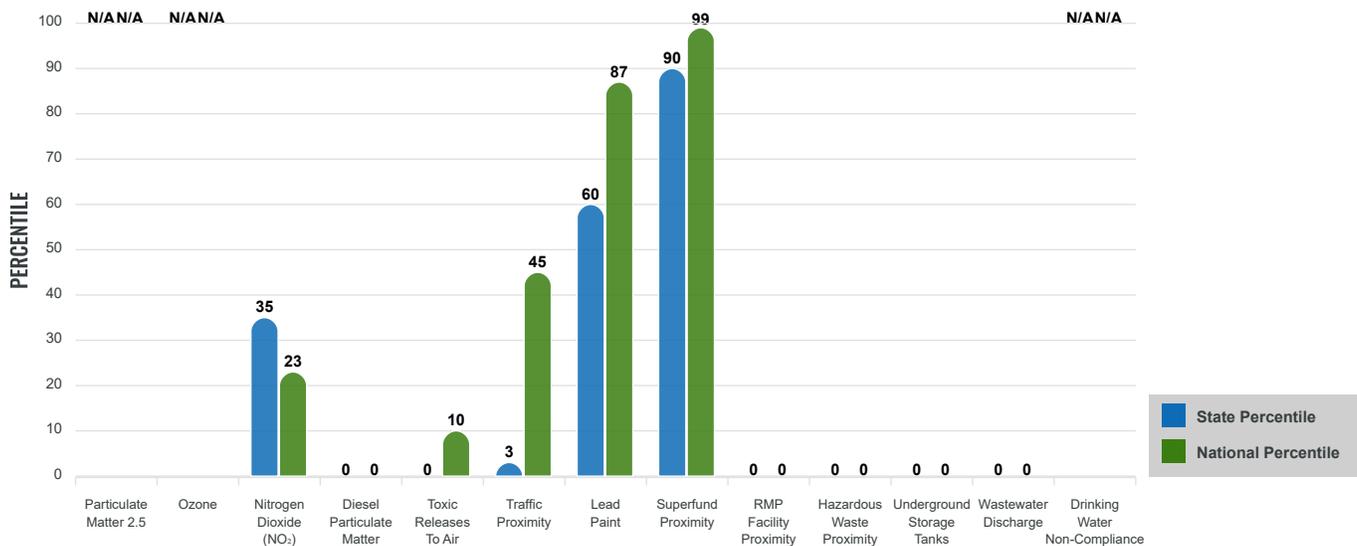
### EJ INDEXES FOR THE SELECTED LOCATION



## SUPPLEMENTAL INDEXES

The supplemental indexes offer a different perspective on community-level vulnerability. They combine data on percent low income, percent persons with disabilities, percent less than high school education, percent limited English speaking, and percent low life expectancy with a single environmental indicator.

### SUPPLEMENTAL INDEXES FOR THE SELECTED LOCATION



Report for 0.5 miles Ring around the Area

Report produced November 1, 2024 using EJScreen Version 2.3

# EJScreen Environmental and Socioeconomic Indicators Data

SELECTED VARIABLES	VALUE	STATE AVERAGE	PERCENTILE IN STATE	USA AVERAGE	PERCENTILE IN USA
<b>ENVIRONMENTAL BURDEN INDICATORS</b>					
Particulate Matter 2.5 (µg/m <sup>3</sup> )	N/A	N/A	N/A	8.45	N/A
Ozone (ppb)	N/A	N/A	N/A	61.8	N/A
Nitrogen Dioxide (NO <sub>2</sub> ) (ppbv)	3	5.5	31	7.8	6
Diesel Particulate Matter (µg/m <sup>3</sup> )	0.00351	0.0618	0	0.191	0
Toxic Releases to Air (toxicity-weighted concentration)	0.42	4,300	0	4,600	3
Traffic Proximity (daily traffic count/distance to road)	66,000	1,100,000	2	1,700,000	14
Lead Paint (% Pre-1960 Housing)	0.12	0.16	59	0.3	39
Superfund Proximity (site count/km distance)	0.62	0.23	92	0.39	86
RMP Facility Proximity (facility count/km distance)	0	0.66	0	0.57	0
Hazardous Waste Proximity (facility count/km distance)	0	1.2	0	3.5	0
Underground Storage Tanks (count/km <sup>2</sup> )	0	0	0	3.6	0
Wastewater Discharge (toxicity-weighted concentration/m distance)	0	670000	0	700000	0
Drinking Water Non-Compliance (points)	N/A	N/A	N/A	2.2	N/A
<b>SOCIOECONOMIC INDICATORS</b>					
Demographic Index USA	3.72	N/A	N/A	1.34	99
Supplemental Demographic Index USA	4.36	N/A	N/A	1.64	99
Demographic Index State	5.18	4.63	84	N/A	N/A
Supplemental Demographic Index State	2.93	2.72	56	N/A	N/A
People of Color	99%	97%	20	40%	95
Low Income	92%	70%	86	30%	99
Unemployment Rate	14%	14%	58	6%	89
Limited English Speaking Households	80%	66%	76	5%	99
Less Than High School Education	27%	20%	70	11%	90
Under Age 5	4%	3%	67	5%	44
Over Age 64	23%	23%	54	18%	75

\*Diesel particulate matter index is from the EPA's Air Toxics Data Update, which is the Agency's ongoing, comprehensive evaluation of air toxics in the United States. This effort aims to prioritize air toxics, emission sources, and locations of interest for further study. It is important to remember that the air toxics data presented here provide broad estimates of health risks over geographic areas of the country, not definitive risks to specific individuals or locations. More information on the Air Toxics Data Update can be found at: <https://www.epa.gov/haps/air-toxics-data-update>.

### Sites reporting to EPA within defined area:

Superfund .....	0
Hazardous Waste, Treatment, Storage, and Disposal Facilities .....	0
Water Dischargers .....	1
Air Pollution .....	0
Brownfields .....	2
Toxic Release Inventory .....	0

### Other community features within defined area:

Schools .....	2
Hospitals .....	0
Places of Worship .....	0

### Other environmental data:

Air Non-attainment .....	No
Impaired Waters .....	No

Selected location contains American Indian Reservation Lands* .....	No
Selected location contains a "Justice40 (CEJST)" disadvantaged community .....	Yes
Selected location contains an EPA IRA disadvantaged community .....	Yes

Report for 0.5 miles Ring around the Area

Report produced November 1, 2024 using EJScreen Version 2.3

## EJScreen Environmental and Socioeconomic Indicators Data

### HEALTH INDICATORS

INDICATOR	VALUE	STATE AVERAGE	STATE PERCENTILE	US AVERAGE	US PERCENTILE
Low Life Expectancy	N/A	N/A	N/A	20%	N/A
Heart Disease	N/A	N/A	N/A	5.8	N/A
Asthma	N/A	N/A	N/A	10.3	N/A
Cancer	N/A	N/A	N/A	6.4	N/A
Persons with Disabilities	11.4%	22.7%	5	13.7%	40

### CLIMATE INDICATORS

INDICATOR	VALUE	STATE AVERAGE	STATE PERCENTILE	US AVERAGE	US PERCENTILE
Flood Risk	N/A	N/A	N/A	12%	N/A
Wildfire Risk	N/A	N/A	N/A	14%	N/A

### CRITICAL SERVICE GAPS

INDICATOR	VALUE	STATE AVERAGE	STATE PERCENTILE	US AVERAGE	US PERCENTILE
Broadband Internet	37%	29%	71	13%	95
Lack of Health Insurance	8%	7%	76	9%	61
Housing Burden	No	N/A	N/A	N/A	N/A
Transportation Access Burden	No	N/A	N/A	N/A	N/A
Food Desert	No	N/A	N/A	N/A	N/A

Report for 0.5 miles Ring around the Area

Report produced November 1, 2024 using EJScreen Version 2.3

Location: User-specified polygonal location  
 Ring (buffer): 0.5-miles radius  
 Description: Mejoras a la Plaza Publica de Vieues y Centro de Transformacion Agricola y Social

Summary of ACS Estimates		2018 - 2022
Population		1,551
Population Density (per sq. mile)		2,557
People of Color Population		1,529
% People of Color Population		99%
Households		626
Housing Units		1,133
Housing Units Built Before 1950		55
Per Capita Income		10,022
Land Area (sq. miles) (Source: SF1)		0.61
% Land Area		65%
Water Area (sq. miles) (Source: SF1)		0.32
% Water Area		35%

	2018 - 2022 ACS Estimates	Percent	MOE (±)
<b>Population by Race</b>			
Total	1,551	100%	804
Population Reporting One Race	1,505	97%	1,405
White	361	23%	291
Black	153	10%	247
American Indian	0	0%	15
Asian	5	0%	27
Pacific Islander	0	0%	15
Some Other Race	986	64%	810
Population Reporting Two or More Races	46	3%	203
Total Hispanic Population	1,517	98%	818
Total Non-Hispanic Population	34		
White Alone	22	1%	166
Black Alone	2	0%	75
American Indian Alone	0	0%	15
Non-Hispanic Asian Alone	0	0%	15
Pacific Islander Alone	0	0%	15
Other Race Alone	0	0%	15
Two or More Races Alone	10	1%	105
<b>Population by Sex</b>			
Male	874	56%	457
Female	677	44%	428
<b>Population by Age</b>			
Age 0-4	64	4%	102
Age 0-17	395	25%	247
Age 18+	1,155	75%	679
Age 65+	364	23%	291

**Data Note:** Detail may not sum to totals due to rounding. Hispanic population can be of any race.

N/A means not available. **Source:** U.S. Census Bureau, American Community Survey (ACS) 2018 - 2022

Location: User-specified polygonal location

Ring (buffer): 0.5-miles radius

Description: Mejoras a la Plaza Publica de Vieues y Centro de Transformacion Agricola y Social

	2018 - 2022 ACS Estimates	Percent	MOE (±)
<b>Population 25+ by Educational Attainment</b>			
Total	1,088	100%	662
Less than 9th Grade	93	9%	276
9th - 12th Grade, No Diploma	204	19%	231
High School Graduate	620	57%	390
Some College, No Degree	37	3%	43
Associate Degree	68	6%	284
Bachelor's Degree or more	67	6%	379
<b>Population Age 5+ Years by Ability to Speak English</b>			
Total	1,487	100%	765
Speak only English	92	6%	165
Non-English at Home <sup>1+2+3+4</sup>	1,395	94%	652
<sup>1</sup> Speak English "very well"	112	8%	372
<sup>2</sup> Speak English "well"	241	16%	298
<sup>3</sup> Speak English "not well"	350	24%	362
<sup>4</sup> Speak English "not at all"	692	47%	387
<sup>3+4</sup> Speak English "less than well"	1,042	70%	530
<sup>2+3+4</sup> Speak English "less than very well"	1,283	86%	608
<b>Limited English Speaking Households*</b>			
Total	504	100%	210
Speak Spanish	504	100%	208
Speak Other Indo-European Languages	0	0%	15
Speak Asian-Pacific Island Languages	0	0%	15
Speak Other Languages	0	0%	15
<b>Households by Household Income</b>			
Household Income Base	626	100%	257
< \$15,000	319	51%	138
\$15,000 - \$25,000	162	26%	191
\$25,000 - \$50,000	131	21%	156
\$50,000 - \$75,000	13	2%	76
\$75,000 +	1	0%	65
<b>Occupied Housing Units by Tenure</b>			
Total	626	100%	257
Owner Occupied	396	63%	236
Renter Occupied	231	37%	129
<b>Employed Population Age 16+ Years</b>			
Total	1,209	100%	702
In Labor Force	484	40%	344
Civilian Unemployed in Labor Force	60	13%	90
Not In Labor Force	726	60%	594

**Data Note:** Detail may not sum to totals due to rounding. Hispanic population can be of anyrace.

N/A means not available. **Source:** U.S. Census Bureau, American Community Survey (ACS)

\*Households in which no one 14 and over speaks English "very well" or speaks English only.

Location: User-specified polygonal location

Ring (buffer): 0.5-miles radius

Description: Mejoras a la Plaza Publica de Vieues y Centro de Transformacion Agricola y Social

	2018 - 2022 ACS Estimates	Percent	MOE (±)
<b>Population by Language Spoken at Home*</b>			
Total (persons age 5 and above)	1,241	100%	655
English	99	8%	165
Spanish	1,141	92%	652
French, Haitian, or Cajun	0	0%	15
German or other West Germanic	0	0%	15
Russian, Polish, or Other Slavic	0	0%	15
Other Indo-European	0	0%	15
Korean	0	0%	15
Chinese (including Mandarin, Cantonese)	0	0%	15
Vietnamese	0	0%	15
Tagalog (including Filipino)	0	0%	15
Other Asian and Pacific Island	0	0%	15
Arabic	0	0%	15
Other and Unspecified	0	0%	15
Total Non-English	1,141	92%	675

**Data Note:** Detail may not sum to totals due to rounding. Hispanic population can be of any race.  
 N/A means not available. **Source:** U.S. Census Bureau, American Community Survey (ACS) 2018 - 2022.  
 \*Population by Language Spoken at Home is available at the census tract summary level and up.

**Appendix J. EPA Green Book – Puerto Rico  
Nonattainment/Maintenance Status data**



You are here: EPA Home > Green Book > >National Area and County-Level Multi-Pollutant Information >Puerto Rico Nonattainment/Maintenance Status for Each County by Year for All Criteria Pollutants

## Puerto Rico Nonattainment/Maintenance Status for Each County by Year for All Criteria Pollutants

Data is current as of October 31, 2024

Listed by County, NAAQS, Area. The 8-hour Ozone (1997) standard was revoked on April 6, 2015 and the 1-hour Ozone (1979) standard was revoked on June 15, 2005.

\* The 1997 Primary Annual PM-2.5 NAAQS (level of 15 µg/m<sup>3</sup>) is revoked in attainment and maintenance areas for that NAAQS. For additional information see the PM-2.5 NAAQS SIP Requirements Final Rule, effective October 24, 2016. (81 FR 58009)

Change the State:

PUERTO RICO

Important Notes

[Download National Dataset: dbf](#) | [xls](#) | [Data dictionary \(PDF\)](#)

County	NAAQS	Area Name	Nonattainment in Year	Redesignation to Maintenance	Classification	Whole or/Part County	Population (2010)	State/County FIPS Codes
<b>PUERTO RICO</b>								
Arecibo Municipio	Lead (2008)	Arecibo, PR	1112131415161718192021222324	//		Part	32,185	72/013
Bayamon Municipio	Sulfur Dioxide (2010)	San Juan, PR	18192021222324	//		Part	22,921	72/021
Catano Municipio	Sulfur Dioxide (2010)	San Juan, PR	18192021222324	//		Whole	28,140	72/033
Guaynabo Municipio	PM-10 (1987)	Mun. of Guaynabo, PR	929394959697989900010203040506070809	02/11/2010	Moderate	Part	90,470	72/061
Guaynabo Municipio	Sulfur Dioxide (2010)	San Juan, PR	18192021222324	//		Part	23,802	72/061
Salinas Municipio	Sulfur Dioxide (2010)	Guayama-Salinas, PR	18192021222324	//		Part	23,401	72/123
San Juan Municipio	Sulfur Dioxide (2010)	San Juan, PR	18192021222324	//		Part	147,963	72/127
Toa Baja Municipio	Sulfur Dioxide (2010)	San Juan, PR	18192021222324	//		Part	52,441	72/137

Important Notes