



U.S. Department of Housing and Urban
Development

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Washington, DC 20410
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**Environmental Review for Activity/Project that is Categorically
Excluded Subject to Section 58.5
Pursuant to 24 CFR 58.35(a)**

Project Information

Project Name: *PR-CRP-000924 Plaza Convalecencia & Plaza del Pilar*

Responsible Entity: PR DEP OF HOUSING (PRDOH)

Grant Recipient (if different than Responsible Entity): Municipality of San Juan

State/Local Identifier: PUERTO RICO

Preparer:

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Certifying Officer Name and Title:

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Abdul Feliciano-Plaza - Permits and Environmental Compliance Specialist
Javier Mercado-Barrera - Permits and Environmental Compliance Specialist
Priscilla Toro-Rivera – Permits and Environmental Compliance Specialist

Consultant (if applicable):

Direct Comments to: PRDOH at comentariosambiental@vivienda.pr.gov.

Project Location:

“Plaza de la Convalecencia” and “Plaza El Pilar”, San Juan, are located at the Brumbaugh street Río Piedras Ward, San Juan, Puerto Rico (Lat: 18.397973, Lon: -66.052261, Cadaster 087-012-560-01) (see Location Map attached at Attachment A of this report.)

Description of the Proposed Project [24 CFR 50.12 & 58.32; 40 CFR 1508.25]:

The Plazas are at the heart of the urban town of Río Piedras, borough of the city of San Juan. The Plaza del Pilar, surrounding the Church of El Pilar that was built in 1831. The Plaza del Pilar and its church was remodeled near 1940.



The Plaza of Convalecencia is divided from The Plaza del Pilar by the Brumbaugh Street. The Plaza of Convalecencia was completely remodeled in 2009. Both Plazas, Del Pilar and Convalecencia amount to an approximate of 1,879.0 square meters.

After 2017 with Hurricane María, both Plazas suffered many damages. The Scope of Work (SOW) of this remodeling project covers: The following existing elements will be demolished and removed from the project site: Existing pedestrian ramps not compliant with current codes, telephone booths and any other obsolete utility structures, fountains, including associated plumbing, pumps, and foundations, existing pavement (concrete) within areas designated for reconstruction in the Plaza del Pilar mainly, site furniture (benches, planters, lighting fixtures, trash receptacles, etc.) slated for replacement, curbs that are in poor condition and landscaping plants and trees located within construction limits that are in poor conditions.

Remodeling activities will include: existing structures include kiosks, offices & bathrooms, and a clock tower, reconstruction of section of a low wall around the landscaping, rehabilitation of structures that suffered damages such as roofs and others by Hurricane Maria, improvements and renewal of all pavements, bus stops improvements, improvements of existing concession and bathrooms, renewal or substitution of all water fountains, improvements to electrical system that includes LED lighting, improvements and new urban furniture (benches, tables, bike racks, trash cans) and new landscaping in affected areas.

The following activities will be also conducted: Improvements to play areas, signage and wayfinding elements, improvements to pedestrian crossings, cleaning and finishing surface areas and New Security and WIFI Systems.



In this project there will be NO new building construction. Infrastructure systems of water, sanitary sewer, electricity, and storm sewer are present in the existing site. Below is a proposed Schematic Site Plan for this project:



All the areas in this project have already been impacted. It is not proposed to expand the footprint of the improvement project outside of the existing footprint of already impacted areas of the Plazas and its surroundings.

Level of Environmental Review Determination:

Categorically Excluded per 24 CFR 58.35(a), and subject to laws and authorities at §58.5.

Funding Information

Grant Number	HUD Program	Funding Amount
B-17-DM-72-0001 B-18-DP-72-0001 B-19-DP-78-0002 B-18-DE-72-0001	Community Development Block Grant – Disaster Recovery (CDBG- DR)	\$11,938,162,230

Estimated Total HUD Funded Amount:

\$4,658,291.11 (four million six hundred fifty-eight thousand two hundred ninety-one dollars and eleven cents)

Estimated Total Project Cost (HUD and non-HUD funds) [24 CFR 58.32(d)]:

\$4,658,291.11 (four million six hundred fifty-eight thousand two hundred ninety-one dollars and eleven cents)

Compliance with 24 CFR 50.4, 58.5, and 58.6 Laws and Authorities

Compliance Factors: Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6	Are formal compliance steps or mitigation required?	Compliance determinations
STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 50.4 & 58.6		
Airport Hazards 24 CFR Part 51 Subpart D	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	The project is not located within an FAA designated civilian airport Runway Clear Zone (RCA) or Runway Protection Zone, or within the military Airfield Clear Zone (CZ) or Accident Potential Zone/Approach Protection Zone (APZ). There are no Civil Airports within 2,500 feet of the location (18,418 feet to Luis Munoz Marin Airport in San Juan). Additionally, the only Military Airport is the Luis Munoz Marin in San Juan is beyond the 15,000 feet for compliance issues (18,418 feet). Therefore, this topic is in compliance with 24 CFR Part 51 Subpart D. See Information and Figures attached at Attachment I of this report.
Coastal Barrier Resources Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 [16 USC 3501]	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	A USFWS Coastal Barrier Resources System Mapper Documentation Map is included. The project site is not included in nor affected by Coastal Barrier Resources System (CBRS) boundaries (28,158 feet to PR-87P). Therefore, this topic is in compliance with Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 [16 USC 3501]. See Information and Figures attached at Attachment II of this report.
Flood Insurance Flood Disaster Protection Act of 1973 and National Flood Insurance Reform Act of 1994	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	A FEMA Flood Insurance Rate Map (FIRM 72000C0370J 11/18/2009) shows that the project is located in an area of minimum risk of flood, Zone X. Therefore, this topic is in compliance with Flood Disaster Protection

[42 USC 4001-4128 and 42 USC 5154a]		Act of 1973 and National Flood Insurance Reform Act of 1994 [42 USC 4001-4128 and 42 USC 5154a]. See Information and/or Figures attached at Attachment III of this report.
STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 50.4 & 58.5		
<p>Clean Air</p> <p>Clean Air Act, as amended, particularly section 176(c) & (d); 40 CFR Parts 6, 51, 93</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The project location is not located in a nonattainment designated area for 1 NAAQS pollutant, Sulfur Dioxide (2010). According to the The Book US EPA (https://www3.epa.gov/airquality/greenbook/anc13.html) the project area is not included under an status of NONATTAINMENT: Sulfur Dioxide (2010) Nonattainment Area Area/State/County Report Data is current as of May 31, 2023: San Juan, PR (Nonattainment), San Juan Municipio (P),(San Juan Antiguo Ward., Santurce Ward., Hato Rey Norte Ward., Gobernador Pinero Ward.)The proposed project is not expected to contribute to the emission of Sulphur Dioxide (SO2). Sulfur dioxide primarily derived from fossil fuel combustion at power plants and other industrial facilities, both which are not part of the proposed project. The project estimated emissions levels are expected to be below the minimum. The project must obtain construction permits and comply with the required conditions regarding the fugitive dust control during the construction. The project does not include new construction and will not cause conversion of land use facilitating the development of public, commercial, or industrial facilities OR five or more dwelling units. Therefore, this topic is in compliance with Clean Air Act, as amended, particularly section 176(c) & (d); 40 CFR Parts 6, 51, 93. See Information and/or Figures attached at Attachment VI of this report.</p>
<p>Coastal Zone Management</p> <p>Coastal Zone Management Act, sections 307(c) & (d)</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The proposed project is not inside Puerto Rico's coastal zone (10,123 feet from the coastal zone boundary). A map depicting the relation of the project to the Coastal Zone</p>

		<p>limits is included (PR Coastal Management Zone Limits from: https://gis.pr.gov/Pages/default.aspx.) The proposed improvements do not increase the existing construction footprint of the Plaza. Its use is in accordance with the public policies regarding zoning. The proposed project is not expected to affect the PR Coastal Management Zone. Therefore, this topic is in compliance with Coastal Zone Management Act, sections 307(c) & (d). See Information and/or Figures attached at Attachment V of this report.</p>
<p>Contamination and Toxic Substances 24 CFR Part 50.3(i) & 58.5(i)(2)</p>	<p>Yes No <input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>No ASTM ESA Phase I study was supplied to the preparer. The NEPAssist Tool (Accessed May 12 2025) did not identify the site as a hazardous waste (RCRA) facility or a toxic release facility. Nevertheless, the US EPA-ECHO TOOL did show 12 RCRA Facilities, all without violation, within the 3,000 feet. A site visit to record the site's general conditions was performed on August 17, 2023 and no evident contamination sources were identified. An Asbestos Containing Materials (ACM) and Lead Based Paint (LBP) survey was conducted at the site. The Site resulted negative for both components. The Grant Recipient provided a certification that project area free of material containing ACM or LBP. PRDOH informed (see Memorandum to File of 08/7/2025 in Attachment VI) that the several agencies consulted confirmed the lack of scientific data on Radon testing for Puerto Rico and the technical difficulties that we face in Puerto Rico to comply with HUD's Radon testing requirement. Accordingly, Radon testing is infeasible and impracticable for this property, and no further consideration of Radon is needed for the environmental review. Therefore, according to the available information and the information provided by the Grant Recipient, this topic is in compliance with 24 CFR Part 50.3(i) & 58.5(i)(2). See Information and/or Figures attached at Attachment VI of this report.</p>
<p>Endangered Species Endangered Species Act of 1973, particularly section 7; 50 CFR Part 402</p>	<p>Yes No <input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The nearest designated critical habitat (<i>Eleutherodactylus jananariveroi</i>) is located more than 52,600 feet from the site. The USFWS IpaC tool identified the potential presence of <i>Chilabothrus inornatus</i> (Puerto Rican Boa). A USFWS Official Species List and a Consistency Letter are included. A protocol to avoid/minimize impacts to the species or its habitat is provided and must be implemented by the Grant Recipient. A USFWS Self Certification Letter was submitted. The proposed project is not likely</p>

		<p>to adversely affect Puerto Rican boas. The proposed activities are covered (USFWS Concurrence Letter 10-JUN-2024) by the USFWS Blanket Clearance Letter for Federally sponsored projects, Housing and Urban Development of January 14 of 2013 (Attached) Criteria 2,4,5,8 and 9.</p> <p>Puerto Rican Boa Conservation Measures (USFWS, January 2024):</p> <ol style="list-style-type: none">1. Inform all project personnel about the potential presence of the PR boa in areas where the proposed work will be conducted. A pre-construction meeting should be conducted to inform all project personnel about the need to avoid harming the species as well as penalties for harassing or harming PR boas. An educational poster or sign with photo or illustration of the species should be displayed at the project site.2. Prior to any construction activity, including removal of vegetation and earth movements, the boundaries of the project and areas to be excluded and protected should be clearly marked in the project plan and in the field in order to avoid further habitat degradation into forested and conservation areas.3. Once areas are clearly marked, and prior to the use of heavy machinery and any construction activity (including removal of vegetation and earth movement), a biologist or project personnel with experience on this species should survey the areas to be cleared to verify the presence of any PR boa within the work area.4. If a PR boa is found within any of the working or construction areas, activities should stop at that area and information recorded (see #5). Do not capture the boa. If boas need to be moved out of harm's way, designated personnel shall immediately contact the Puerto Rico Department of Natural and Environmental Resources (PRDNER) Rangers for safe capture and relocation of the animal (PRDNER phone #: (787) 724-5700, (787) 230-5550, (787) 771-1124). If immediate relocation is not an
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		<p>option, project-related activities at that area must stop until the boa moves out of harm's way on its own. Activities at other work sites, where no boas have been found after surveying the area, may continue.</p> <p>5. For all boa sightings (dead or alive), record the time and date of the sighting and the specific location where it was found. PR boa data should also include a photo of the animal (dead or alive), site GPS coordinates, the time and date, and comments on how the animal was detected and its behavior.</p> <p>6. If a PR boa is captured by PRDNER personnel, record the name of that person and information on where the PR boa will be taken. This information should be reported to the Service.</p> <p>7. Measures should be taken to avoid and minimize PR boa casualties by heavy machinery or motor vehicles being used on site. Any heavy machinery left on site (staging) or near potential PR boa habitat (within 50 meters of potential boa habitat), needs to be thoroughly inspected each morning before work starts to ensure that no boas have sheltered within engine compartments or other areas of the equipment. If PR boas are found within vehicles or equipment, do not capture the animal, and let it move on its own or call PRDNER Rangers for safe capture and relocation of the animal (see #4). If not possible, the animal should be left alone until it leaves the vehicle on its own.</p> <p>8. PR boas may seek shelter in debris piles. Measures should be taken to avoid and minimize boa casualties associated with sheltering in debris piles as a result of project activities. Debris piles should be placed far away from forested areas. Prior to moving, disposing or shredding, debris piles should be carefully inspected for the presence of boas. If debris piles will be left on site, we recommend they be placed in areas that will not be disturbed in the future.</p>
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		<p>9. If a dead PR boa is found, immediately cease all work in that area and record the information accordingly (see #5). If the PR boa was accidentally killed as part of the project actions, please include information on what conservation measures had been implemented and what actions will be taken to avoid further killings. A dead boa report should be sent by email (see contacts below) to the Service within 48 hours of the event.</p> <p>10. Projects must comply with all state laws and regulations. Please contact the PRDNER for further guidance. Therefore, this topic is in compliance with Endangered Species Act of 1973, particularly section 7; 50 CFR Part 402. See Information and/or Figures attached at Attachment VII of this report.</p>
<p>Explosive and Flammable Hazards</p> <p>24 CFR Part 51 Subpart C</p>	<p>Yes No</p> <p><input checked="" type="checkbox"/> <input type="checkbox"/></p>	<p>The project does not include any of the following activities: installation or development of hazard facilities, development, construction or rehabilitation that will increase residential densities, or conversion. However, a 354 KW Emergency Electric Generator (EEG) is installed at the parking area located one floor beneath the Convalecencia Plaza. A 500-gallon diesel double wall day tank provides fuel to the EEG. On August 1st of 2025, Mr. Daniel Pagán Rosa, a licensed engineer, wrote: “An ADDITIONAL External eight (8) feet long x seven (7) feet wide x 1.5 feet height (840 cubic Feet) dike will be constructed around the EEG. According to the HUD ASD Tool, the Acceptable Separation Distance (ASD) for thermal radiation for an above ground tank, considering an additional external concrete dike as the one described above would be: 46.37 feet for people and 7.02 feet for structures. In: HUDs Acceptable Separation Distance Guidebook:</p> <p style="text-align: center;"><i>"Natural barriers are hills, mountains, earthen elevations, etc. Manmade barriers are buildings, housing developments and other</i></p>

		<p><i>structures. Natural and man-made barriers may serve as abatement from thermal radiation or blast-overpressure effects that can have an impact on HUD-assisted projects and the people who live and work there.</i></p> <p><i>"If there are natural or man-made barriers between the proposed HUD-assisted project site and the hazard, the available barrier must serve to abate the effects of thermal radiation, blast-overpressure or both from the hazard."</i></p> <p><i>" - If the ASD is not achievable between the proposed HUD-assisted project site and the hazardous operation/facility, but there is no clear line of sight between the proposed HUD-assisted project and the hazard, mitigation may not be required. "</i></p> <p><i>"Under the regulation 24 CFR Part 51 Subpart C, if there is a natural or man-made abatement between the proposed HUD-assisted project and the hazard that impedes a clear view, the abatement might serve as mitigation for the proposed HUD-assisted project."</i></p> <p>Considering the above-mentioned statutory considerations:</p> <ul style="list-style-type: none">a) The EGG is already located below the surface.b) Existing structures and proposed dike will shield the proposed project and people from potential thermal exposures originated at the EGG. <p>To the best of our knowledge, we consider that the proposed project will not expose people nor buildings to diesel spills or thermal radiation and that existing manmade features and the proposed dike provides protection to the proposed project, acting as barriers in the case of a diesel spill or fire originating from the EGG diesel day tank.</p>
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		<p>Therefore, this topic should be considered in compliance with 24 CFR Part 51 Subpart C regulations.”</p> <p>Therefore, this topic is in compliance with Explosive and Flammable Hazards 24 CFR Part 51 Subpart C. See Information and/or Figures attached at Attachment VIII of this report.</p>
<p>Farmlands Protection</p> <p>Farmland Protection Policy Act of 1981, particularly sections 1504(b) and 1541; 7 CFR Part 658</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The proposed project is located in an already developed urban parcel zoned DV in the Municipality of San Juan Zoning Map. See also USDA Farmlands Map showing that the area is not Prime Farm Land. Therefore, this topic is in compliance with Farmland Protection Policy Act of 1981, particularly sections 1504(b) and 1541; 7 CFR Part 658. See Information and/or Figures attached at Attachment IX of this report.</p>
<p>Floodplain Management</p> <p>Executive Order 11988, particularly section 2(a); 24 CFR Part 55</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The proposed project does not occur on a floodplain. It is located in Zone X. A FEMA’s Advisory Base Flood Elevation Map (ABFE) is included. Therefore, this topic is in compliance with Executive Order 11988, particularly section 2(a); 24 CFR Part 55. See Information and/or Figures attached at Attachment X of this report.</p>
<p>Historic Preservation</p> <p>National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800</p>	<p>Yes No</p> <p><input checked="" type="checkbox"/> <input type="checkbox"/></p>	<p>On December 9, 2024, SHPO concurred that the project will have no adverse effect upon historic properties and on March 27 of 2025 SHPO issued a determination that the archaeological monitoring plan is deemed acceptable. The following conditions are imposed and shall be implemented: "Archeological monitoring for all ground disturbing activities within Plaza del Pilar and the west half of Plaza de la Convalecencia (from Brumbaugh Street to the midpoint)" and Design plans must respect the historic character of the surrounding NRHP-listed/eligible historic properties and the NRHP-eligible Río Piedras TUC. Therefore, this topic is in compliance with National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800. See Information and/or Figures attached at Attachment XI of this report.</p>

<p>Noise Abatement and Control</p> <p>Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B</p>	<p>Yes No <input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>There is no new construction for residential use and no rehabilitation of an existing residential property. The project does not involve development of noise sensitive uses. The increase of the existing noise levels during operation is not expected.</p> <p>The Grant Recipient will follow all applicable laws and regulations, including but not limited the Rule No. 8019 of May 9th of 2011, known as the “Reglamento para el Control de la Contaminación por Ruidos”, as amended, regarding the control of noise levels during construction and during operation. Therefore, this topic is in compliance with Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B. See Information and/or Figures attached at Attachment XII of this report.</p>
<p>Sole Source Aquifers</p> <p>Safe Drinking Water Act of 1974, as amended, particularly section 1424(e); 40 CFR Part 149</p>	<p>Yes No <input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>There are no sole source aquifers in PR (nearest is 0.96 thousand miles). An EPA map for Sole Source Aquifers and its lack in PHSU area of PR is provided. Therefore, this topic is in compliance with Safe Drinking Water Act of 1974, as amended, particularly section 1424(e); 40 CFR Part 149 . See Information and/or Figures attached at Attachment XIII of this report.</p>
<p>Wetlands Protection</p> <p>Executive Order 11990, particularly sections 2 and 5</p>	<p>Yes No <input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>A USFWS National Wetland Inventory Map is attached. No wetlands were identified inside nor within 100 feet from the project limits. Therefore, this topic is in compliance with Executive Order 11990, particularly sections 2 and 5. See Information and/or Figures attached at Attachment XIV of this report.</p>
<p>Wild and Scenic Rivers</p> <p>Wild and Scenic Rivers Act of 1968, particularly section 7(b) and (c)</p>	<p>Yes No <input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>As per US Forest Service Geospatial Data Discovery, Puerto Rico’s Designated National Wild and Scenic Rivers are located more than 78,900 FEET east-southeast of the proposed project site. Therefore, this topic is in compliance with Wild and Scenic Rivers Act of 1968, particularly section 7(b) and (c). See Information and/or Figures attached at Attachment XV of this report.</p>

Field Inspection (Information and/or Figures attached at Attachment XVIII of this report.): A site visit to record the site’s general conditions was performed on August 17, 2023 by Plan. Laredo Gonzalez.

Summary of Findings and Conclusions:

The proposed project is expected to improve recreation and touristic alternatives in the Rio Piedras area. It will also rehabilitate and enhance an important cultural space in the area.

If the best practices in design and construction methods and techniques are followed and implemented and the project comply with all the applicable regulations and laws, this project should not have a significant environmental impact.

Mitigation Measures and Conditions [40 CFR 1505.2(c)]

Summarized below are all mitigation measures to be adopted by the Responsible Entity to reduce, avoid, or eliminate adverse environmental impacts and to avoid non-compliance or non-conformance with the above-listed authorities and factors. These measures/conditions must be incorporated into project contracts, development agreements, and other relevant documents. The staff responsible for implementing and monitoring mitigation measures should be clearly identified in the mitigation plan.

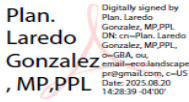
Law, Authority, or Factor	Mitigation Measure
Endangered Species Act of 1973, particularly section 7; 50 CFR Part 402	<p>The USFWS IpaC tool identified the potential presence of <i>Chilabothrus inornatus</i> (Puerto Rican Boa). Puerto Rican Boa Conservation Measures (USFWS, January 2024):</p> <ol style="list-style-type: none"> 1. Inform all project personnel about the potential presence of the PR boa in areas where the proposed work will be conducted. <p>A pre-construction meeting should be conducted to inform all project personnel about the need to avoid harming the species as well as penalties for harassing or harming PR boas. An educational poster or sign with photo or illustration of the species should be displayed at the project site.</p> <ol style="list-style-type: none"> 2. Prior to any construction activity, including removal of vegetation and earth movements, the boundaries of the project and areas to be excluded and protected should be clearly marked in the project plan and in the field in order to avoid further habitat degradation into forested and conservation areas. 3. Once areas are clearly marked, and prior to the use of heavy machinery and any construction activity (including removal of vegetation and earth movement), a biologist

	<p>or project personnel with experience on this species should survey the areas to be cleared to verify the presence of any PR boa within the work area.</p> <p>4. If a PR boa is found within any of the working or construction areas, activities should stop at that area and information recorded (see #5). Do not capture the boa. If boas need to be moved out of harm's way, designated personnel shall immediately contact the Puerto Rico Department of Natural and Environmental Resources (PRDNER) Rangers for safe capture and relocation of the animal (PRDNER phone #s: (787) 724-5700, (787) 230-5550, (787) 771- 1124). If immediate relocation is not an option, project-related activities at that area must stop until the boa moves out of harm's way on its own. Activities at other work sites, where no boas have been found after surveying the area, may continue.</p> <p>5. For all boa sightings (dead or alive), record the time and date of the sighting and the specific location where it was found. PR boa data should also include a photo of the animal (dead or alive), site GPS coordinates, the time and date, and comments on how the animal was detected and its behavior.</p> <p>6. If a PR boa is captured by PRDNER personnel, record the name of that person and information on where the PR boa will be taken. This information should be reported to the Service.</p> <p>7. Measures should be taken to avoid and minimize PR boa casualties by heavy machinery or motor vehicles being used on site. Any heavy machinery left on site (staging) or near potential PR boa habitat (within 50 meters of potential boa habitat), needs to be thoroughly inspected each morning before work starts to ensure that no boas have sheltered within engine compartments or other areas of the equipment. If PR boas are found within vehicles or equipment, do not capture the animal, and let it move on its own or call PRDNER Rangers for safe capture and relocation of the animal (see #4). If not possible, the animal should be left alone until it leaves the vehicle on its own.</p> <p>8. PR boas may seek shelter in debris piles. Measures should be taken to avoid and minimize boa casualties associated with sheltering in debris piles as a result of project activities. Debris piles should be placed far away from forested areas. Prior to moving, disposing or shredding, debris piles should be carefully inspected for</p>
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	<p>the presence of boas. If debris piles will be left on site, we recommend they be placed in areas that will not be disturbed in the future.</p> <p>9. If a dead PR boa is found, immediately cease all work in that area and record the information accordingly (see #5). If the PR boa was accidentally killed as part of the project actions, please include information on what conservation measures had been implemented and what actions will be taken to avoid further killings. A dead boa report should be sent by email (see contacts below) to the Service within 48 hours of the event.</p> <p>10. Projects must comply with all state laws and regulations. Please contact the PRDNER for further guidance.</p>
<p>36 CFR 800 “Protection of Historic Properties”</p>	<p>On December 9, 2024, SHPO concurred that the project will have no adverse effect upon historic properties and on March 27 of 2025 SHPO issued a determination that the archaeological monitoring plan is deemed acceptable. The following condition is imposed and shall be implemented: "Archeological monitoring for all ground disturbing activities within Plaza del Pilar and the west half of Plaza de la Convalecencia (from Brumbaugh Street to the midpoint)".</p>
<p>Explosive and Flammable Hazards</p> <p>24 CFR Part 51 Subpart C</p>	<p>A 354 KW Emergency Electric Generator (EEG) is installed at the parking area located one floor beneath the Convalecencia Plaza. A 500-gallon diesel double wall day tank provides fuel to the EGG. On August 1st of 2025, Mr. Daniel Pagán Rosa, a licensed engineer, wrote: “An ADDITIONAL External eight (8) feet long x seven (7) feet wide x 1.5 feet height (840 cubic Feet) dike will be constructed around the EGG. According to the HUD ASD Tool, the Acceptable Separation Distance (ASD) for thermal radiation for an above ground tank, considering an additional external concrete dike as the one described above would be: 46.37 feet for people and 7.02 feet for structures. “</p>
<p>Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B and Clean Air Act, as amended, particularly section 176(c) & (d); 40 CFR Parts 6, 51, 93</p>	<p>The proposed project does not include New Construction for Residential Use nor the Rehabilitation of an existing residential property. Noise may be generated by construction activities, but it is not anticipated it will adversely impact the surrounding neighborhood. No increase of the existing noise levels is expected during operation. The applicant will implement the regulations at the “Reglamento para el Control de la Contaminación por Ruidos (Reglamento 8019 del 9 de mayo del 2011)”. The applicant must follow the agencies recommendations as well as all the applicable laws and regulations in the design and development of the project.</p>

Determination:

- This categorically excluded activity/project converts to Exempt, per 58.34(a)(12) because there are no circumstances which require compliance with any of the federal laws and authorities cited at §58.5. **Funds may be committed and drawn down after certification of this part** for this (now) EXEMPT project; OR
- This categorically excluded activity/project cannot convert to Exempt because there are circumstances which require compliance with one or more federal laws and authorities cited at §58.5. Complete consultation/mitigation protocol requirements, **publish NOI/RROF and obtain “Authority to Use Grant Funds”** (HUD 7015.16) per Section 58.70 and 58.71 before committing or drawing down any funds; OR
- This project is now subject to a full Environmental Assessment according to Part 58 Subpart E due to extraordinary circumstances (Section 58.35(c)).

Preparer Signature: _____  _____ Date: 20/AUG/2025

Name/Title/Organization: Plan. Laredo Gonzalez, GBA

Responsible Entity Agency Official Signature: _____

_____ Date: 8/26/2025

Name/Title: Abdul X. Feliciano Plaza, Permits and Environmental Specialist

This original, signed document and related supporting material must be retained on file by the Responsible Entity in an Environmental Review Record (ERR) for the activity/project (ref: 24 CFR Part 58.38) and in accordance with recordkeeping requirements for the HUD program(s).

CONTENT

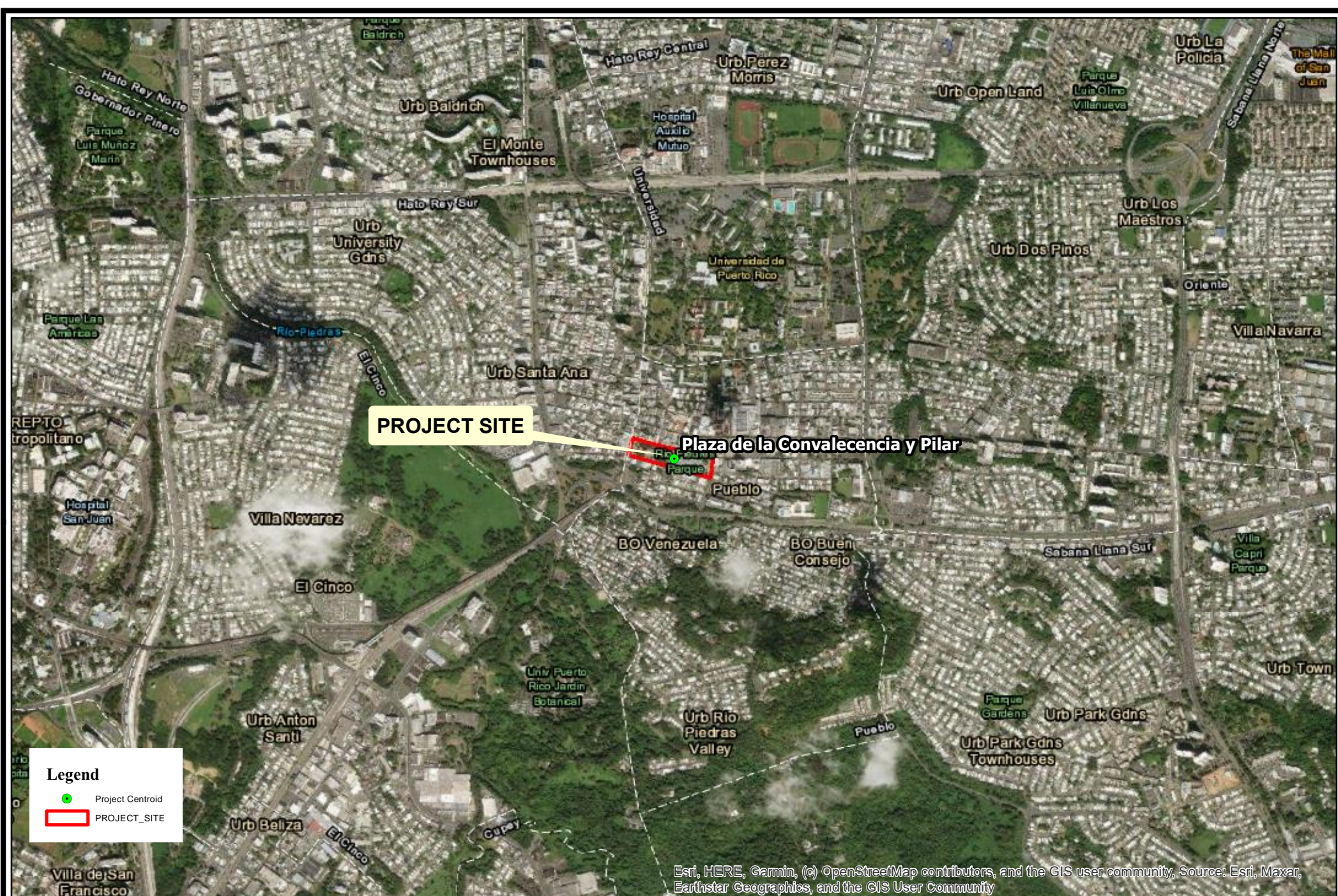
Project Information	1
Level of Environmental Review Determination:	4
Funding Information	4
Compliance with 24 CFR 50.4, 58.5, and 58.6 Laws and Authorities	5
Field Inspection.....	14
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FIGURE 1: Location Map

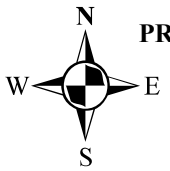


PROJECT SITE

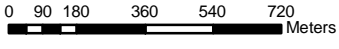
Plaza de la Convalecencia y Pilar

Legend

- Project Centroid
- PROJECT_SITE



PR-CRP-000924 Plaza Convalecencia & Plaza del Pilar
LOCATION MAP
 (Source: GIS.PR.GOV,
 Esri Imagery Basemap)



1:20,000
 GBA- FEB/2024
 Plan. Laredo González

STATE ROAD PR-25, BETWEEN
 GEORGETI ST. AND ARZUAGA ST.
 RIO PIEDRAS WARD,
 SAN JUAN, PUERTO RICO.
Parcel ID: 087-012-560-01

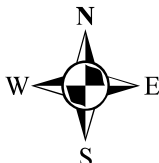
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18.397973,-66.052261
Spatial Reference: NAD 1983
StatePlane Puerto Rico-
Virgin Islands FIPS 5200

Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community, Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community

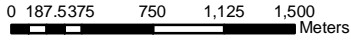
Attachment I: Airport Hazards 24 CFR Part 51 Subpart D

Legend

-  PROJECT_SITE
-  Project Centroid
-  DIST_TO_CIVIL_AIRPORT
-  AIRPORT_LMM_INTERNATIONAL
-  AIRPORT_LMM_INTERNATIONAL_2500_feet
-  LMMSJ_CIVIL_AIRPORT



**CRP-000924 Plaza Convalecencia & Plaza del Pilar
CIVIL AIRPORT HAZARD
(Source: GIS.PR.GOV,
Esri Imagery Basemap)**



1:40,000

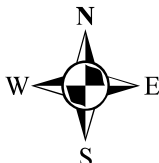
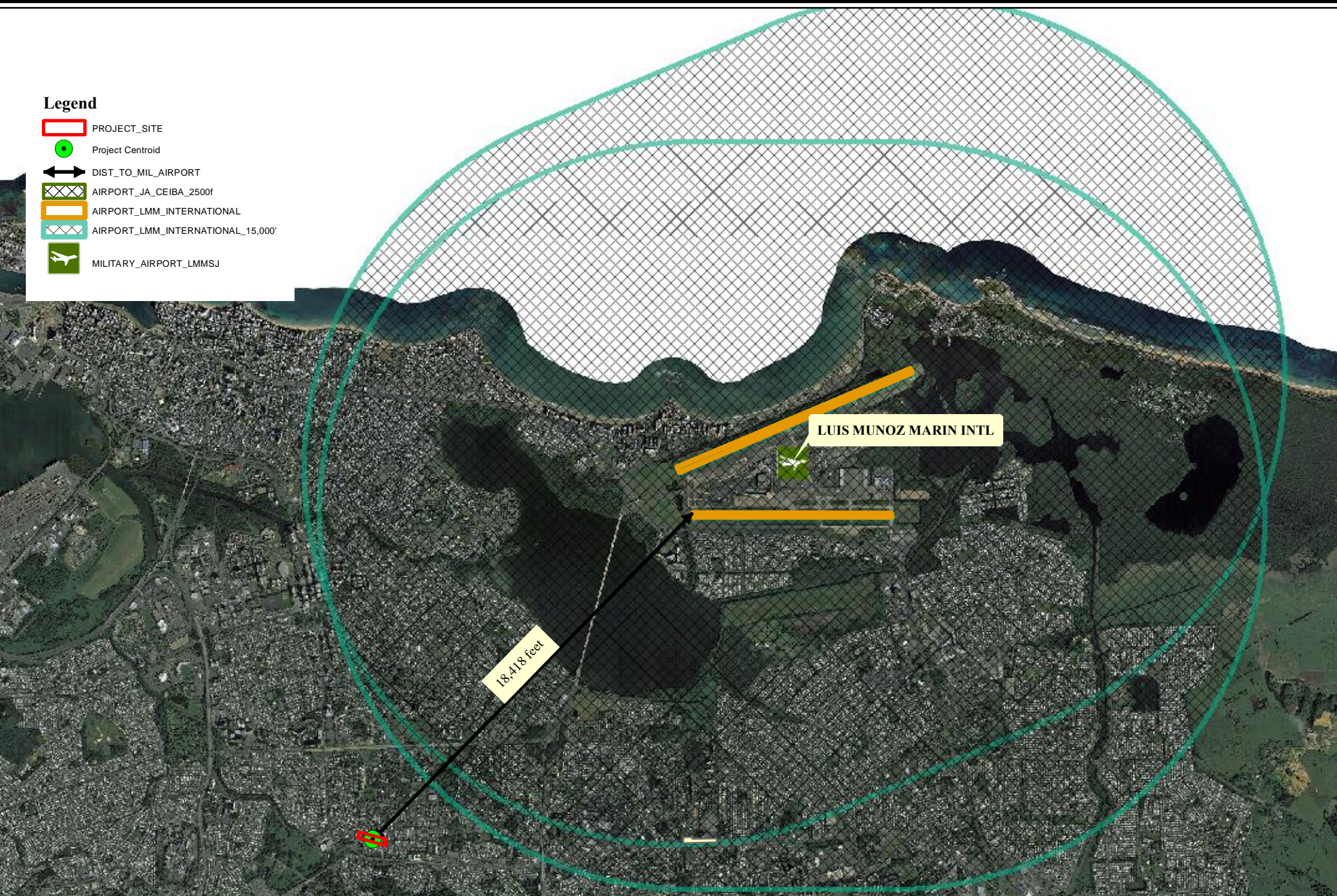
GBA- MAY/2025
Plan. Laredo González

**STATE ROAD PR-25, BETWEEN
GEORGETI ST. AND ARZUAGA ST.
RIO PIEDRAS WARD,
SAN JUAN, PUERTO RICO.
Parcel ID: 087-012-560-01**

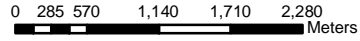
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Spatial Reference: NAD 1983
StatePlane Puerto Rico-
Virgin Islands FIPS 5200**

Legend

-  PROJECT_SITE
-  Project Centroid
-  DIST_TO_MIL_AIRPORT
-  AIRPORT_JA_CEIBA_2500f
-  AIRPORT_LMM_INTERNATIONAL
-  AIRPORT_LMM_INTERNATIONAL_15,000'
-  MILITARY_AIRPORT_LMMSJ



CRP-000924 Plaza Convalecencia & Plaza del Pilar
MILITARY AIRPORT HAZARD
(Source:GIS.PR.GOV,
Esri Imagery Basemap)



1:60,000
GBA- MAY/2025
Plan. Laredo González

STATE ROAD PR-25, BETWEEN
GEORGETI ST. AND ARZUAGA ST.
RIO PIEDRAS WARD,
SAN JUAN, PUERTO RICO.
Parcel ID: 087-012-560-01

Coordinates:
18.397973,-66.052261
Spatial Reference: NAD 1983
StatePlane Puerto Rico-
Virgin Islands FIPS 5200

**Attachment II: Coastal Barrier Resources Coastal Barrier
Resources Act, as amended by the Coastal Barrier Improvement
Act of 1990 [16 USC 3501]**

Coastal Barrier Resources System Mapper Documentation



CBRS Units

- Otherwise Protected Area
- System Unit
- CBRS Buffer Zone
- 66.051092, 18.397793

0 65 130 260 390 ft
1:4,514

The pin location displayed on the map is a point selected by the user. Failure of the user to ensure that the pin location displayed on this map correctly corresponds with the user supplied address/location description may result in an invalid federal flood insurance policy. **The U.S. Fish and Wildlife Service (Service) has not validated the pin location with respect to the user supplied address/location description below. The Service recommends that all pin locations be verified by federal agencies prior to use of this map for the provision or denial of federal funding or financial assistance .** Please note that a structure bisected by the Coastal Barrier Resources System (CBRS) boundary (i.e., both "partially in" and "partially out") is within the CBRS and therefore affected by CBRA's restrictions on federal flood insurance. A pin placed on a bisected structure must be placed on the portion of the structure within the unit (including any attached features such as a deck or stairs).

User Name: LAREDO GONZALEZ

User Organization: GBA

User Supplied Address/Location Description: PLAZA DE LA CONVALECENCIA-PILAR, RIO PIEDRAS, SAN JUAN, PR

Pin Location: Outside CBRS

Pin Flood Insurance Prohibition Date: N/A

Pin System Unit Establishment Date: N/A

The user placed pin location is not within the CBRS. The official CBRS maps are accessible at <https://www.fws.gov/library/collections/official-coastal-barrier-resources-system-maps> .

The CBRS information is derived directly from the CBRS web service provided by the Service. This map was exported on 2/23/2024 and does not reflect changes or amendments subsequent to this date. The CBRS boundaries on this map may become superseded by new boundaries over time.

This map image may be void if one or more of the following map elements do not appear: basemap imagery, CBRS unit labels, prohibition date labels, legend, scale bar, map creation date. For additional information about flood insurance and the CBRS, visit: <https://www.fws.gov/node/263838> .

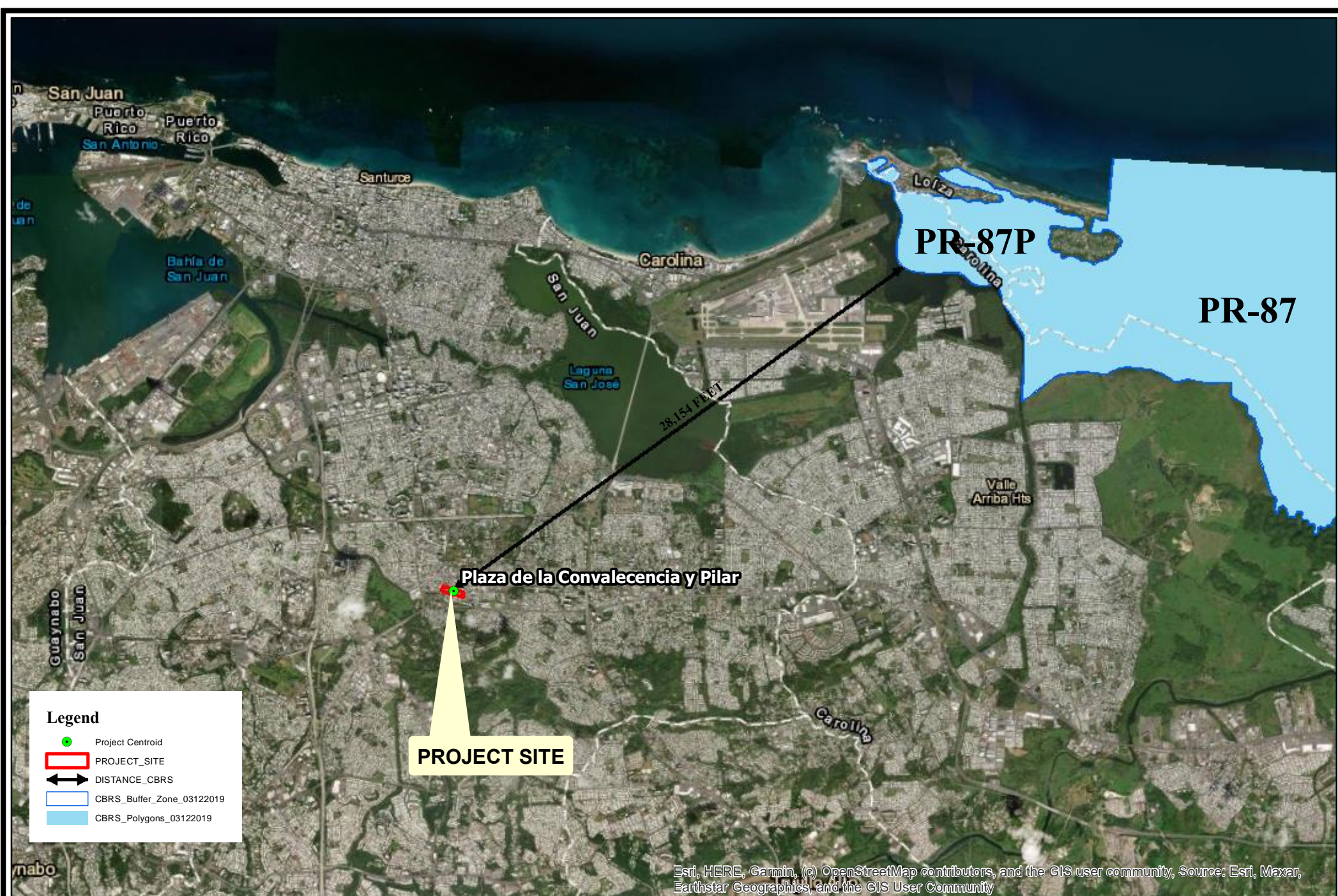


PR-CRP-000924
Plaza Convalecencia &
Plaza del Pilar
Parcel ID: 087-012-560-01

STATE ROAD PR-25, BETWEEN
 GEORGETI ST. AND ARZUAGA
 ST., RIO PIEDRAS WARD, SAN
 JUAN, PUERTO RICO.

Coordinates:
18.397973,-66.052261

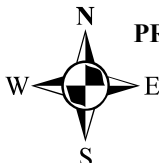




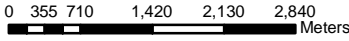
Legend

- Project Centroid
- PROJECT_SITE
- DISTANCE_CBRS
- CBRS_Buffer_Zone_03122019
- CBRS_Polygons_03122019

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PR-CRP-000924 Plaza Convalecencia & Plaza del Pilar
Coastal Barrier System (CBRS)
 (Source: www.fws.gov/cbrs,
 Esri Imagery Basemap)



1:75,000
 GBA- FEB/2024
 Plan. Laredo González

STATE ROAD PR-25, BETWEEN
 GEORGETI ST. AND ARZUAGA ST.
 RIO PIEDRAS WARD,
 SAN JUAN, PUERTO RICO.
Parcel ID: 087-012-560-01

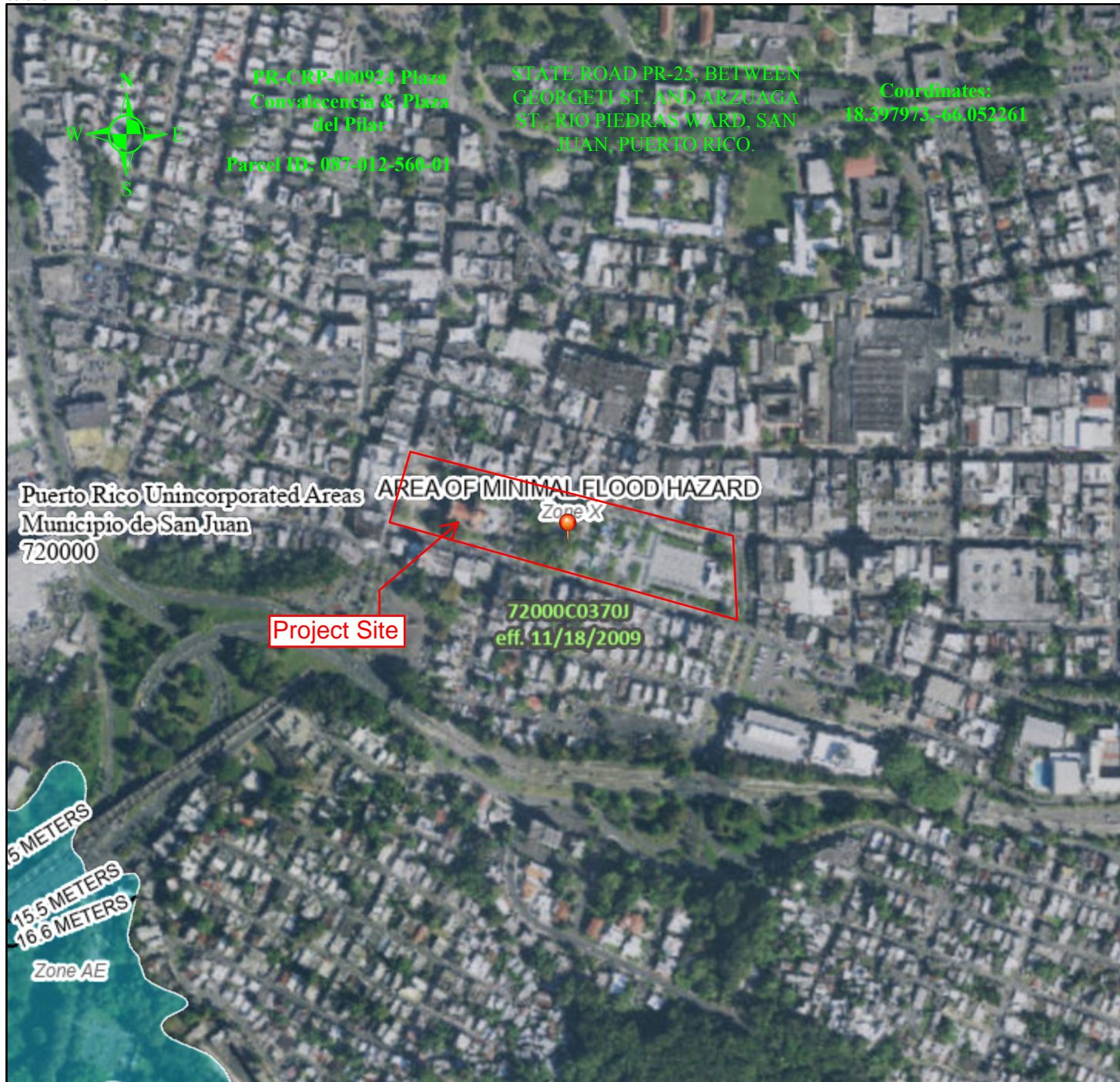
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18.397973,-66.052261
Spatial Reference: NAD 1983
StatePlane Puerto Rico-
Virgin Islands FIPS 5200

**Attachment III: Flood Insurance Flood Disaster Protection Act
of 1973 and National Flood Insurance Reform Act of 1994 [42
USC 4001-4128 and 42 USC 5154a]**

National Flood Hazard Layer FIRMette



66°3'23"W 18°24'9"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard Zone D
		Channel, Culvert, or Storm Sewer
OTHER FEATURES		Levee, Dike, or Floodwall
		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
MAP PANELS		17.5 Coastal Transect
		Base Flood Elevation Line (BFE)
OTHER FEATURES		Limit of Study
		Jurisdiction Boundary
OTHER FEATURES		Coastal Transect Baseline
		Profile Baseline
OTHER FEATURES		Hydrographic Feature
		Digital Data Available
MAP PANELS		No Digital Data Available
		Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **1/10/2024 at 8:59 AM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

**Attachment IV: Clean Air Clean Air Act, as amended, particularly
section 176(c) & (d); 40 CFR Parts 6, 51, 93**



You are here: EPA Home > Green Book > >National Area and County-Level Multi-Pollutant Information >Puerto Rico Nonattainment/Maintenance Status for Each County by Year for All Criteria Pollutants

Puerto Rico Nonattainment/Maintenance Status for Each County by Year for All Criteria Pollutants

Data is current as of January 31, 2024

Listed by County, NAAQS, Area. The 8-hour Ozone (1997) standard was revoked on April 6, 2015 and the 1-hour Ozone (1979) standard was revoked on June 15, 2005.

* The 1997 Primary Annual PM-2.5 NAAQS (level of 15 µg/m³) is revoked in attainment and maintenance areas for that NAAQS. For additional information see the PM-2.5 NAAQS SIP Requirements Final Rule, effective October 24, 2016. (81 FR 58009)

Change the State:

Important Notes

Download National Dataset: [dbf](#) | [xls](#) | [Data dictionary \(PDF\)](#)

County	NAAQS	Area Name	Nonattainment in Year	Redesignation to Maintenance	Classification	Whole or/Part County	Population (2010)	State/County FIPS Codes
PUERTO RICO								
Arecibo Municipio	Lead (2008)	Arecibo, PR	1112131415161718192021222324	//		Part	32,185	72/013
Bayamon Municipio	Sulfur Dioxide (2010)	San Juan, PR	18192021222324	//		Part	22,921	72/021
Catano Municipio	Sulfur Dioxide (2010)	San Juan, PR	18192021222324	//		Whole	28,140	72/033
Guaynabo Municipio	PM-10 (1987)	Mun. of Guaynabo, PR	929394959697989900010203040506070809	02/11/2010	Moderate	Part	90,470	72/061
Guaynabo Municipio	Sulfur Dioxide (2010)	San Juan, PR	18192021222324	//		Part	23,802	72/061
Salinas Municipio	Sulfur Dioxide (2010)	Guayama-Salinas, PR	18192021222324	//		Part	23,401	72/123
San Juan Municipio	Sulfur Dioxide (2010)	San Juan, PR	18192021222324	//		Part	147,963	72/127
Toa Baja Municipio	Sulfur Dioxide (2010)	San Juan, PR	18192021222324	//		Part	52,441	72/137

Important Notes

Follow.

2024-01-31



You are here: EPA Home > Green Book > Sulfur Dioxide (2010) Nonattainment Area
Area/State/County Report

Sulfur Dioxide (2010) Nonattainment Area Area/State/County Report

Data is current as of June 30, 2023

Allegheny, PA (Nonattainment)
PENNSYLVANIA (Region III)
Allegheny County (P)

Alton Township, IL (Nonattainment)
ILLINOIS (Region V)
Madison County (P)

Anne Arundel County and Baltimore County, MD (Nonattainment)
MARYLAND (Region III)
Anne Arundel County (P)
Baltimore County (P)

Beaver, PA (Nonattainment)
PENNSYLVANIA (Region III)
Beaver County (P)

Detroit, MI (Nonattainment)
MICHIGAN (Region V)
Wayne County (P)

Evangeline Parish (Partial), LA (Nonattainment)
LOUISIANA (Region VI)
Evangeline Parish (P)

Freestone and Anderson Counties, TX (Nonattainment)
TEXAS (Region VI)
Anderson County (P)
Freestone County (P)

Giles County, VA (Nonattainment)
VIRGINIA (Region III)
Giles County (P)

Guayama-Salinas, PR (Nonattainment)
PUERTO RICO (Region II)
Salinas Municipio (P)
Aguirre Ward., Lapa Ward.

Hayden, AZ (Nonattainment)
ARIZONA (Region IX)
Gila County (P)
Pinal County (P)

Henderson-Webster Counties, KY (Nonattainment)
KENTUCKY (Region IV)

Henderson County (P)
Webster County (P)

Howard County, TX (Nonattainment)
TEXAS (Region VI)
Howard County (P)

Huntington, IN (Nonattainment)
INDIANA (Region V)
Huntington County (P)
Huntington Township

Hutchinson County, TX (Nonattainment)
TEXAS (Region VI)
Hutchinson County (P)

Indiana, PA (Nonattainment)
PENNSYLVANIA (Region III)
Armstrong County (P)
Indiana County

Miami, AZ (Nonattainment)
ARIZONA (Region IX)
Gila County (P)

Muscatine, IA (Nonattainment)
IOWA (Region VII)
Muscatine County (P)

Muskingum River, OH (Nonattainment)
OHIO (Region V)
Morgan County (P)
Center Township
Washington County (P)
Waterford Township

Navarro County, TX (Nonattainment)
TEXAS (Region VI)
Navarro County (P)

New Madrid County, MO (Nonattainment)
MISSOURI (Region VII)
New Madrid County (P)

Piti-Cabras, GU (Nonattainment)
GUAM (Region IX)
Guam (P)

Rusk and Panola Counties, TX (Nonattainment)
TEXAS (Region VI)
Panola County (P)
Rusk County (P)

San Juan, PR (Nonattainment)
PUERTO RICO (Region II)
Bayamon Municipio (P)
Juan Sanchez Ward.
Catano Municipio
Guaynabo Municipio (P)
Pueblo Viejo Ward.
San Juan Municipio (P)

*San Juan Antiguo Ward., Santurce Ward., Hato Rey Norte Ward.,
Gobernador Pinero Ward.*

Toa Baja Municipio (P)

Palo Seco Ward., Sabana Seca Ward.

St. Bernard Parish, LA (Nonattainment)

LOUISIANA (Region VI)

St. Bernard Parish

St. Clair, MI (Nonattainment)

MICHIGAN (Region V)

St. Clair County (P)

St. Lawrence County, NY (Nonattainment)

NEW YORK (Region II)

St. Lawrence County (P)

Sullivan County, TN (Nonattainment)

TENNESSEE (Region IV)

Sullivan County (P)

Titus County, TX (Nonattainment)

TEXAS (Region VI)

Titus County (P)

Warren, PA (Nonattainment)

PENNSYLVANIA (Region III)

Warren County (P)

Whatcom County, WA (Nonattainment)

WASHINGTON (Region X)

Whatcom County (P)

Discover.
Connect.
Ask.

Follow.

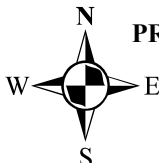
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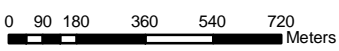
Legend

- Project Centroid
- PROJECT_SITE
- so2_2010std_na (www.epa.gov/green-book/green-book-gis-download)

Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community, Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community



PR-CRP-000924 Plaza Convalecencia & Plaza del Pilar
AIR QUALITY
 (Source: www.epa.gov/green-book,
 Esri Imagery Basemap)

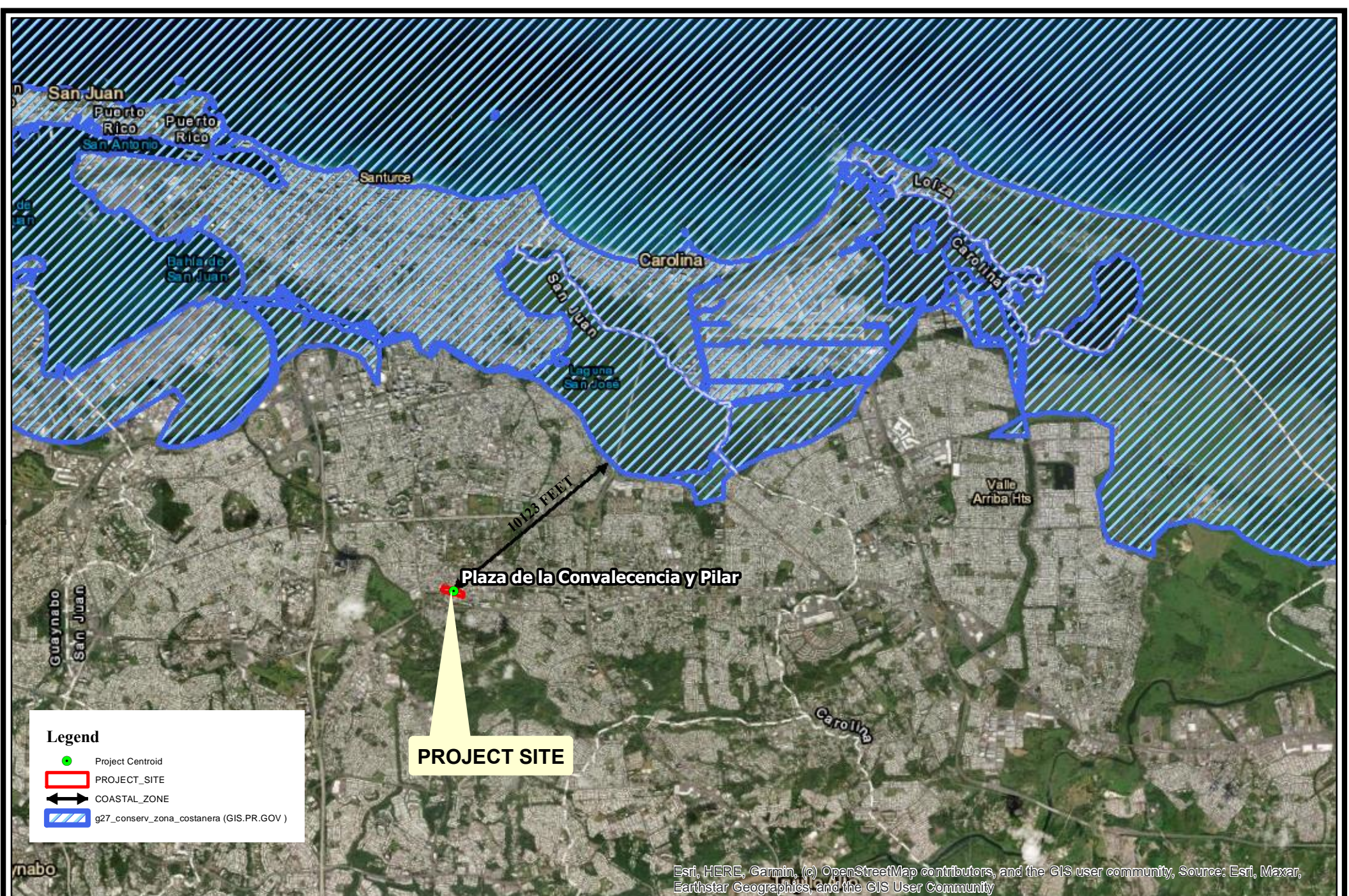


1:20,000
 GBA- FEB/2024
 Plan. Laredo González

STATE ROAD PR-25, BETWEEN
 GEORGETI ST. AND ARZUAGA ST.
 RIO PIEDRAS WARD,
 SAN JUAN, PUERTO RICO.
 Parcel ID: 087-012-560-01

Coordinates:
 18.397973,-66.052261
Spatial Reference: NAD 1983
 StatePlane Puerto Rico-
 Virgin Islands FIPS 5200

**Attachment V: Coastal Zone Management Coastal Zone
Management Act, sections 307(c) & (d)**



Legend

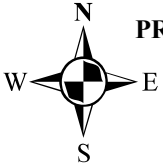
- Project Centroid
- PROJECT_SITE
- COASTAL_ZONE
- g27_conserv_zona_costanera (GIS.PR.GOV)

PROJECT SITE

Plaza de la Convalecencia y Pilar

10,123 FEET

Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community, Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community



PR-CRP-000924 Plaza Convalecencia & Plaza del Pilar
PR COASTAL ZONE
 (Source:GIS.PR.GOV,
 Esri Imagery Basemap)

0 355 710 1,420 2,130 2,840 Meters

1:75,000

GBA- FEB/2024
 Plan. Laredo González

STATE ROAD PR-25, BETWEEN
 GEORGETI ST. AND ARZUAGA ST.
 RIO PIEDRAS WARD,
 SAN JUAN, PUERTO RICO.
Parcel ID: 087-012-560-01

Coordinates:
18.397973,-66.052261
Spatial Reference: NAD 1983
StatePlane Puerto Rico-
Virgin Islands FIPS 5200

**Attachment VI: Contamination and Toxic Substances 24 CFR
Part 50.3(i) & 58.5(i)(2)**

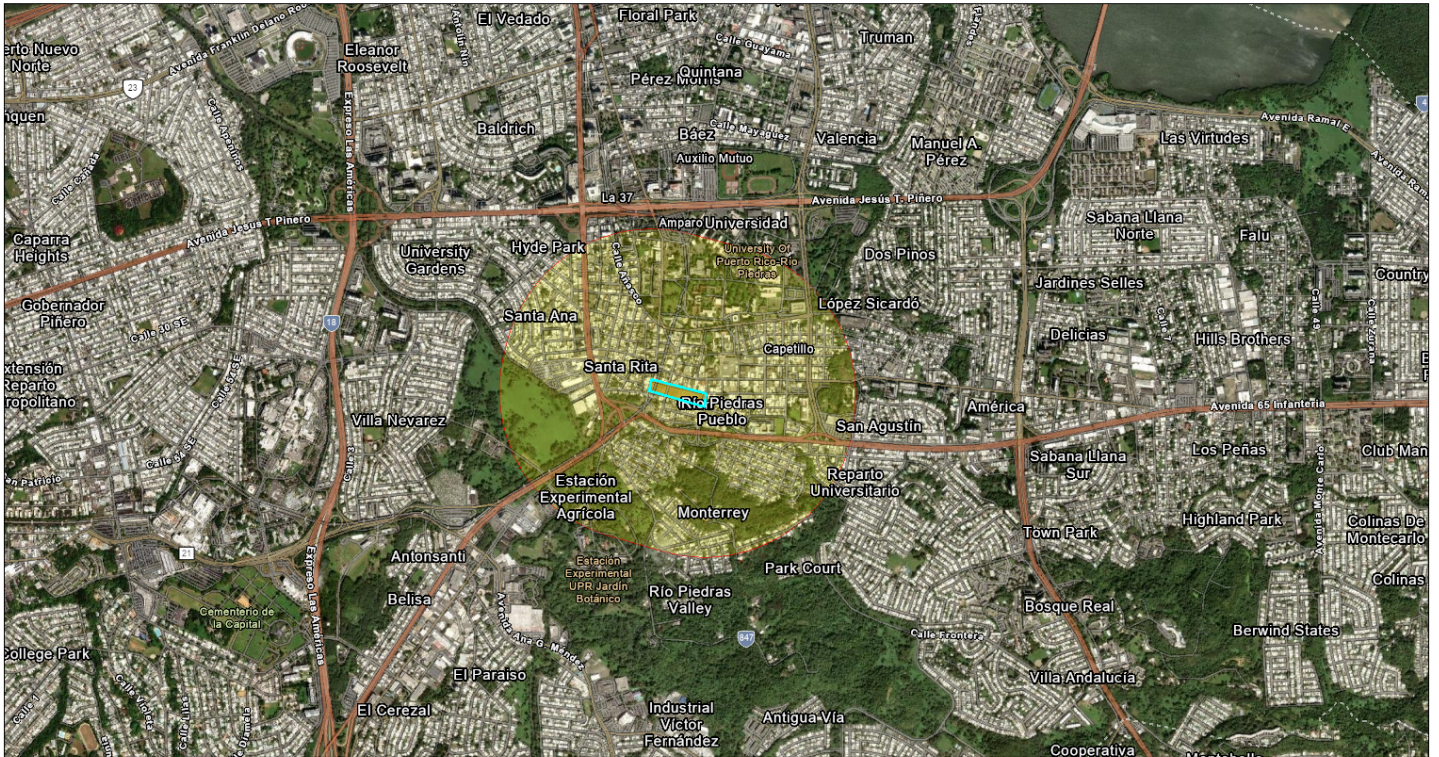


**PR-CRP-000924 Plaza
Convalecencia & Plaza
del Pilar**

Parcel ID: 087-012-560-01

**STATE ROAD PR-25, BETWEEN
GEORGETI ST. AND ARZUAGA
ST., RIO PIEDRAS WARD, SAN
JUAN, PUERTO RICO.**

**Coordinates:
18.397973,-66.052261**



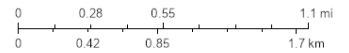
May 12, 2025

- Project Buffer
- Plaza de la Convalecencia y El Pilar
- conv_pilar_site

NEPAssist Report

Plaza de la Convalecencia y El Pilar

1:22,931



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, (c) OpenStreetMap contributors, and the GIS User Community, Maxar

Input Coordinates: 18.396936,-66.049521,18.397823,-66.052737,18.398445,-66.052575,18.397670,-66.049440,18.396936,-66.049521

Project Area	0.01 sq mi
Within 3000 feet of an Ozone 1-hr (1979 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of an Ozone 8-hr (1997 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of an Ozone 8-hr (2008 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of an Ozone 8-hr (2015 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a Lead (2008 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a SO2 1-hr (2010 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a PM2.5 24hr (2006 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a PM2.5 Annual (1997 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a PM2.5 Annual (2012 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a PM10 (1987 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a CO Annual (1971 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a NO2 Annual (1971 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a Federal Land?	no
Within 3000 feet of an impaired stream?	no
Within 3000 feet of an impaired waterbody?	yes
Within 3000 feet of a waterbody?	yes
Within 3000 feet of a stream?	yes
Within 3000 feet of an NWI wetland?	Available Online
Within 3000 feet of a Brownfields site?	no

Within 3000 feet of a Superfund site?	no
Within 3000 feet of a Toxic Release Inventory (TRI) site?	no
Within 3000 feet of a water discharger (NPDES)?	no
Within 3000 feet of a hazardous waste (RCRA) facility?	no
Within 3000 feet of an air emission facility?	no
Within 3000 feet of a school?	yes
Within 3000 feet of an airport?	no
Within 3000 feet of a hospital?	no
Within 3000 feet of a designated sole source aquifer?	no
Within 3000 feet of a historic property on the National Register of Historic Places?	yes
Within 3000 feet of a Chemical Data Reporting (CDR) site?	no
Within 3000 feet of a Land Cession Boundary?	no
Within 3000 feet of a tribal area (lower 48 states)?	no
Within 3000 feet of the service area of a mitigation or conservation bank?	no
Within 3000 feet of the service area of an In-Lieu-Fee Program?	no
Within 3000 feet of a Public Property Boundary of the Formerly Used Defense Sites?	no
Within 3000 feet of a Munitions Response Site?	no
Within 3000 feet of an Essential Fish Habitat (EFH)?	yes
Within 3000 feet of a Habitat Area of Particular Concern (HAPC)?	no
Within 3000 feet of an EFH Area Protected from Fishing (EFHA)?	no
Within 3000 feet of a Bureau of Land Management Area of Critical Environmental Concern?	no
Within 3000 feet of an ESA-designated Critical Habitat Area per U.S. Fish & Wildlife Service?	no
Within 3000 feet of an ESA-designated Critical Habitat river, stream or water feature per U.S. Fish & Wildlife Service?	no

Created on: 5/12/2025 12:24:45 PM



Detailed Facility Report

Facility Summary

CMS DR JAVIER JAVIER ANTON

#1 PINERO ST COR VALLEJO ST, RIO PIEDRAS, PR 00928

FRS (Facility Registry Service) ID: 110007813143

EPA Region: 02

Latitude: 18.39687

Longitude: -66.051867

Locational Data Source: RCRAINFO

Industries: Executive, Legislative, and Other General Government Support

Indian Country: N

Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	12/08/2005
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Active VSQG, (PRD987381563)

Safe Drinking Water Act (SDWA): No Information

Go To Enforcement/Compliance Details

Known Data Problems <<https://epa.gov/resources/echo-data/known-data-problems>>

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Facility/System Characteristics

Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110007813143					N	18.39687	-66.051867
RCRAInfo	RCRA	PRD987381563	VSQG	Active (H)			N	18.39687	-66.051867

Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110007813143	CMS DR JAVIER JAVIER ANTON	#1 PINERO ST COR VALLEJO ST, RIO PIEDRAS, PR 00928	San Juan Municipio
RCRAInfo	RCRA	PRD987381563	CMS DR JAVIER JAVIER ANTON	#1 PINERO ST COR VALLEJO ST, RIO PIEDRAS, PR 00928	San Juan Municipio

Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
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No data records returned

Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
RCRAInfo	PRD987381563	92119	Other General Government Support

Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
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No data records returned

Enforcement and Compliance

Compliance Monitoring History

Last 5 Years

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
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No data records returned

Entries in italics are not included in ECHO's Compliance Monitoring Activity counts because they are not compliance monitoring strategy <https://www.epa.gov/compliance/compliance-monitoring-programs> activities or because they are not counted as inspections within EPA's Annual Results <https://www.epa.gov/enforcement/enforcement-data-and-results>.

Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
RCRA	PRD987381563	No	05/10/2025	0	05/09/2025

Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: PRD987381563)		07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-12/31/23	01/01-03/31/24	04/01-06/30/24	07/01-09/30/24	10/01-12/31/24	01/01-03/31/25	04/01-06/30/25
Facility-Level Status		No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified
Violation		Agency											

Informal Enforcement Actions

Last 5 Years

Statute	System	Source ID	Type of Action	Lead Agency	Date
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No data records returned

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

Formal Enforcement Actions

Last 5 Years

Statute	System	Law/ Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/ Filed Date	Settlements/ Actions	Settlement/ Action Date	Federal Penalty Assessed	State/ Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
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No data records returned

Environmental Conditions

Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
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No data records returned

Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
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No data records returned

Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
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No data records returned

Pollutants

Toxics Release Inventory History of Reported Chemicals Released or Transferred in Pounds per Year at Site

TRI Facility ID	Year	Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Disposal to Land	Total On-Site Releases	Total Off-Site Transfers
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No data records returned

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name

No data records returned

Community

Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2022 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. Census boundaries and demographic data for U.S. Territories are based on the "2020 Island Areas Demographic Profiles" from the U.S. Census Bureau. EPA's spatial processing methodology considers the overlap between the selected radii and ACS census block groups in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <<https://epa.gov/help/reports/dfr-data-dictionary#demographic>>.

General Statistics (ACS (American Community Survey))	
Total Persons	20,481
Population Density	6,574/sq.mi.
Housing Units in Area	14,263
Percent People of Color	99%
Households in Area	9,253
Households on Public Assistance	291
Persons With Low Income	13,620
Percent With Low Income	70%

Geography	
Radius of Selected Area	1 mi.
Center Latitude	18.39687
Center Longitude	-66.051867
Total Area	--
Land Area	100%
Water Area	0%

Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	3,853 (41.67%)
\$15,000 - \$25,000	1,500 (16.22%)

Age Breakdown (ACS (American Community Survey)) - Persons (%)	
Children 5 years and younger	506 (2%)
Minors 17 years and younger	2,360 (12%)
Adults 18 years and older	18,119 (88%)
Seniors 65 years and older	5,307 (26%)

Race Breakdown (ACS (American Community Survey)) - Persons (%)	
White	10,697 (52%)
African-American	0 (0%)
Hispanic-Origin	20,187 (99%)
Asian	70 (0%)
Hawaiian/Pacific Islander	0 (0%)
American Indian	95 (0%)
Other/Multiracial	4,154 (20%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	2,245 (14.64%)
9th through 12th Grade	1,017 (6.63%)
High School Diploma	2,580 (16.83%)
Some College/2-year	1,309 (8.54%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	6,266 (40.86%)

Income Breakdown (ACS (American Community Survey)) - Households (%)

\$25,000 - \$50,000	2,370 (25.63%)
\$50,000 - \$75,000	665 (7.19%)
Greater than \$75,000	859 (9.29%)



Detailed Facility Report

Facility Summary

DE DIEGO VILLAGE

61 DE DIEGO STREET, SAN JUAN, PR 00925

FRS (Facility Registry Service) ID: 110070816261

EPA Region: 02

Latitude: 18.3991

Longitude: -66.0509

Locational Data Source: NPDES

Industries: --

Indian Country: N

Enforcement and Compliance Summary

Statute	CWA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): Non-Major, Permit Effective (PRR1000A2), Non-Major, Permit Terminated; Compliance Tracking Off (PRR1000B7)

Resource Conservation and Recovery Act (RCRA): No Information

Safe Drinking Water Act (SDWA): No Information

Go To Enforcement/Compliance Details

Known Data Problems <<https://epa.gov/resources/echo-data/known-data-problems>>

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Facility/System Characteristics

Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110070816261					N	18.3991	-66.0509
ICIS-NPDES	CWA	PRR1000A2	Non-Major: General Permit Covered Facility	Effective	Construction Stormwater	02/16/2027	N	18.3991	-66.0509
ICIS-NPDES	CWA	PRR1000B7	Non-Major: General Permit Covered Facility	Terminated; Compliance Tracking Off	Construction Stormwater	02/16/2027	N	18.3991	-66.0509

Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110070816261	DE DIEGO VILLAGE	61 DE DIEGO STREET, SAN JUAN, PR 00925	San Juan Municipio
ICIS-NPDES	CWA	PRR1000A2	DE DIEGO VILLAGE	61 DE DIEGO STREET, SAN JUAN, PR 00925	
ICIS-NPDES	CWA	PRR1000B7	DE DIEGO VILLAGE	61 DE DIEGO STREET, SAN JUAN, PR 00925	

Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
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No data records returned

Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
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No data records returned

Facility Industrial Effluent Guidelines

Identifier	Effluent Guideline (40 CFR Part)	Effluent Guideline Description
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No data records returned

Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
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No data records returned

Enforcement and Compliance

Compliance Monitoring History

Last 5 Years

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
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No data records returned

Entries in italics are not included in ECHO's Compliance Monitoring Activity counts because they are not compliance monitoring strategy <<https://www.epa.gov/compliance/compliance-monitoring-programs>> activities or because they are not counted as inspections within EPA's Annual Results <<https://www.epa.gov/enforcement/enforcement-data-and-results>>.

Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
CWA	PRR1000A2	No	12/31/2024	0	05/09/2025
CWA	PRR1000B7	No	12/31/2024	0	05/09/2025

Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12	QTR 13+
CWA (Source ID: PRR1000A2)		01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-12/31/23	01/01-03/31/24	04/01-06/30/24	07/01-09/30/24	10/01-12/31/24	01/01-05/09/25
	Facility-Level Status	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	Undetermined
	Quarterly Noncompliance Report History													
CWA (Source ID: PRR1000B7)		01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-12/31/23	01/01-03/31/24	04/01-06/30/24	07/01-09/30/24	10/01-12/31/24	01/01-05/09/25
	Facility-Level Status	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	Unknown	Terminated Permit	Terminated Permit	Terminated Permit	Terminated Permit
	Quarterly Noncompliance Report History									Undetermined	Undetermined			

Informal Enforcement Actions

Last 5 Years

Statute	System	Source ID	Type of Action	Lead Agency	Date
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No data records returned

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

Formal Enforcement Actions

Last 5 Years

Statute	System	Law/ Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/ Filed Date	Settlements/ Actions	Settlement/ Action Date	Federal Penalty Assessed	State/ Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
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No data records returned

Environmental Conditions

Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
210100050502	Rio Puerto Nuevo at mouth	RIO PIEDRAS (SAN JUAN BAY ESTUARY PREE13A2)	No	No	--	Yes

Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
PR	2024	PREE13A2	SAN JUAN BAY ESTUARY	Impaired - 303(d) Listed - With Restoration Plan	MERCURY METALS (OTHER THAN MERCURY) NUTRIENTS OIL AND GREASE ORGANIC ENRICHMENT/OXYGEN DEPLETION OTHER CAUSE PATHOGENS TEMPERATURE TURBIDITY	Not Supporting	Not Supporting	--	Not Supporting	--

Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
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No data records returned

Pollutants

Toxics Release Inventory History of Reported Chemicals Released or Transferred in Pounds per Year at Site

TRI Facility ID	Year	Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Disposal to Land	Total On-Site Releases	Total Off-Site Transfers
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No data records returned

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name

No data records returned

CWA (Clean Water Act) Discharge Monitoring Report (DMR) Pollutant Loadings

DMR and TRI Multi-Year Loading Report

NPDES ID	Description
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No data records returned

Community

Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2022 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. Census boundaries and demographic data for U.S. Territories are based on the "2020 Island Areas Demographic Profiles" from the U.S. Census Bureau. EPA's spatial processing methodology considers the overlap between the selected radii and ACS census block groups in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <<https://epa.gov/help/reports/dfr-data-dictionary#demographic>>.

General Statistics (ACS (American Community Survey))	
Total Persons	22,342
Population Density	7,170/sq.mi.
Housing Units in Area	15,528
Percent People of Color	99%
Households in Area	10,143
Households on Public Assistance	354
Persons With Low Income	14,819
Percent With Low Income	70%

Geography	
Radius of Selected Area	1 mi.
Center Latitude	18.3991
Center Longitude	-66.0509
Total Area	--
Land Area	100%
Water Area	0%

Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	4,229 (41.69%)
\$15,000 - \$25,000	1,599 (15.76%)
\$25,000 - \$50,000	2,598 (25.61%)
\$50,000 - \$75,000	755 (7.44%)
Greater than \$75,000	964 (9.5%)

Age Breakdown (ACS (American Community Survey)) - Persons (%)	
Children 5 years and younger	543 (2%)
Minors 17 years and younger	2,528 (11%)
Adults 18 years and older	19,812 (89%)
Seniors 65 years and older	5,867 (26%)

Race Breakdown (ACS (American Community Survey)) - Persons (%)	
White	11,762 (53%)
African-American	0 (0%)
Hispanic-Origin	22,036 (99%)
Asian	63 (0%)
Hawaiian/Pacific Islander	7 (0%)
American Indian	104 (0%)
Other/Multiracial	4,565 (20%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	2,438 (14.43%)
9th through 12th Grade	1,088 (6.44%)
High School Diploma	2,853 (16.89%)
Some College/2-year	1,411 (8.35%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	6,958 (41.19%)



Detailed Facility Report

Facility Summary

ESCUELA SUPERIOR RAMON VILA MAYO

AVE GANDARA ESQUINA CALLE, RIO PIEDRAS, PR 00936

FRS (Facility Registry Service) ID: 110064658623

EPA Region: 02

Latitude: 18.401706

Longitude: -66.045275

Locational Data Source: RCRAINFO

Industries: Educational Services

Indian Country: N

Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Active Other, (PRR000025106)

Safe Drinking Water Act (SDWA): No Information

Go To Enforcement/Compliance Details

Known Data Problems <<https://epa.gov/resources/echo-data/known-data-problems>>

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Facility/System Characteristics

Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110064658623					N	18.401706	-66.045275
RCRAInfo	RCRA	PRR000025106	Other	Active (H)			N	18.401706	-66.045275

Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110064658623	ESCUELA SUPERIOR RAMON VILA MAYO	AVE GANDARA ESQUINA CALLE, RIO PIEDRAS, PR 00936	San Juan Municipio
RCRAInfo	RCRA	PRR000025106	ESCUELA SUPERIOR RAMON VILA MAYO	AVE GANDARA ESQUINA CALLE, RIO PIEDRAS, PR 00936	San Juan Municipio

Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
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No data records returned

Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
RCRAInfo	PRR000025106	611110	Elementary and Secondary Schools

Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
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No data records returned

Enforcement and Compliance

Compliance Monitoring History

Last 5 Years

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
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No data records returned

Entries in italics are not included in ECHO's Compliance Monitoring Activity counts because they are not compliance monitoring strategy <https://www.epa.gov/compliance/compliance-monitoring-programs> activities or because they are not counted as inspections within EPA's Annual Results <https://www.epa.gov/enforcement/enforcement-data-and-results>.

Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
RCRA	PRR000025106	No	05/10/2025	0	05/09/2025

Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: PRR000025106)		07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-12/31/23	01/01-03/31/24	04/01-06/30/24	07/01-09/30/24	10/01-12/31/24	01/01-03/31/25	04/01-06/30/25
Facility-Level Status		No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified
Violation		Agency											

Informal Enforcement Actions

Last 5 Years

Statute	System	Source ID	Type of Action	Lead Agency	Date
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No data records returned

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

Formal Enforcement Actions

Last 5 Years

Statute	System	Law/ Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/ Filed Date	Settlements/ Actions	Settlement/ Action Date	Federal Penalty Assessed	State/ Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
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No data records returned

Environmental Conditions

Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
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No data records returned

Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
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No data records returned

Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
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No data records returned

Pollutants

Toxics Release Inventory History of Reported Chemicals Released or Transferred in Pounds per Year at Site

TRI Facility ID	Year	Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Disposal to Land	Total On-Site Releases	Total Off-Site Transfers
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No data records returned

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name

No data records returned

Community

Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2022 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. Census boundaries and demographic data for U.S. Territories are based on the "2020 Island Areas Demographic Profiles" from the U.S. Census Bureau. EPA's spatial processing methodology considers the overlap between the selected radii and ACS census block groups in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <<https://epa.gov/help/reports/dfr-data-dictionary#demographic>>.

General Statistics (ACS (American Community Survey))	
Total Persons	30,621
Population Density	9,821/sq.mi.
Housing Units in Area	19,830
Percent People of Color	99%
Households in Area	13,604
Households on Public Assistance	499
Persons With Low Income	22,050
Percent With Low Income	75%

Geography	
Radius of Selected Area	1 mi.
Center Latitude	18.401706
Center Longitude	-66.045275
Total Area	--
Land Area	100%
Water Area	0%

Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	6,218 (45.71%)
\$15,000 - \$25,000	2,050 (15.07%)

Age Breakdown (ACS (American Community Survey)) - Persons (%)	
Children 5 years and younger	947 (3%)
Minors 17 years and younger	4,367 (14%)
Adults 18 years and older	26,254 (86%)
Seniors 65 years and older	7,472 (24%)

Race Breakdown (ACS (American Community Survey)) - Persons (%)	
White	15,136 (49%)
African-American	0 (0%)
Hispanic-Origin	30,254 (99%)
Asian	56 (0%)
Hawaiian/Pacific Islander	22 (0%)
American Indian	101 (0%)
Other/Multiracial	7,165 (23%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	3,026 (13.49%)
9th through 12th Grade	1,487 (6.63%)
High School Diploma	4,582 (20.43%)
Some College/2-year	2,106 (9.39%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	8,066 (35.96%)

Income Breakdown (ACS (American Community Survey)) - Households (%)

\$25,000 - \$50,000	3,422 (25.16%)
\$50,000 - \$75,000	938 (6.9%)
Greater than \$75,000	975 (7.17%)



Detailed Facility Report

Facility Summary

ESSO STANDARD OIL CO PR 3P-198

1072 DE DIEGO ESQ BARBOSA, RIO PIEDRAS, PR 00928

FRS (Facility Registry Service) ID: 110021015202

EPA Region: 02

Latitude: 18.398403

Longitude: -66.043562

Locational Data Source: RCRAINFO

Industries: Gasoline Stations

Indian Country: N

Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Active VSQG, (PRR000017582)

Safe Drinking Water Act (SDWA): No Information

Go To Enforcement/Compliance Details

Known Data Problems <<https://epa.gov/resources/echo-data/known-data-problems>>

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Facility/System Characteristics

Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110021015202					N	18.398403	-66.043562
RCRAInfo	RCRA	PRR000017582	VSQG	Active (H)			N	18.398403	-66.043562

Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110021015202	ESSO STANDARD OIL CO PR 3P-198	1072 DE DIEGO ESQ BARBOSA, RIO PIEDRAS, PR 00928	San Juan Municipio
RCRAInfo	RCRA	PRR000017582	ESSO STANDARD OIL CO PR 3P-198	1072 DE DIEGO ESQ BARBOSA, RIO PIEDRAS, PR 00928	San Juan Municipio

Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
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No data records returned

Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
RCRAInfo	PRR000017582	44719	Other Gasoline Stations

Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
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No data records returned

Enforcement and Compliance

Compliance Monitoring History

Last 5 Years

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
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No data records returned

Entries in italics are not included in ECHO's Compliance Monitoring Activity counts because they are not compliance monitoring strategy <https://www.epa.gov/compliance/compliance-monitoring-programs> activities or because they are not counted as inspections within EPA's Annual Results <https://www.epa.gov/enforcement/enforcement-data-and-results>.

Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
RCRA	PRR000017582	No	05/10/2025	0	05/09/2025

Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: PRR000017582)		07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-12/31/23	01/01-03/31/24	04/01-06/30/24	07/01-09/30/24	10/01-12/31/24	01/01-03/31/25	04/01-06/30/25
Facility-Level Status		No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified
Violation		Agency											

Informal Enforcement Actions

Last 5 Years

Statute	System	Source ID	Type of Action	Lead Agency	Date
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No data records returned

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

Formal Enforcement Actions

Last 5 Years

Statute	System	Law/ Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/ Filed Date	Settlements/ Actions	Settlement/ Action Date	Federal Penalty Assessed	State/ Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
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No data records returned

Environmental Conditions

Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
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No data records returned

Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
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No data records returned

Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
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No data records returned

Pollutants

Toxics Release Inventory History of Reported Chemicals Released or Transferred in Pounds per Year at Site

TRI Facility ID	Year	Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Disposal to Land	Total On-Site Releases	Total Off-Site Transfers
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No data records returned

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name

No data records returned

Community

Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2022 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. Census boundaries and demographic data for U.S. Territories are based on the "2020 Island Areas Demographic Profiles" from the U.S. Census Bureau. EPA's spatial processing methodology considers the overlap between the selected radii and ACS census block groups in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <<https://epa.gov/help/reports/dfr-data-dictionary#demographic>>.

General Statistics (ACS (American Community Survey))	
Total Persons	28,539
Population Density	9,149/sq.mi.
Housing Units in Area	17,987
Percent People of Color	99%
Households in Area	12,316
Households on Public Assistance	421
Persons With Low Income	19,819
Percent With Low Income	72%

Geography	
Radius of Selected Area	1 mi.
Center Latitude	18.398403
Center Longitude	-66.043562
Total Area	--
Land Area	100%
Water Area	0%

Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	5,280 (42.86%)
\$15,000 - \$25,000	1,959 (15.9%)

Age Breakdown (ACS (American Community Survey)) - Persons (%)	
Children 5 years and younger	834 (3%)
Minors 17 years and younger	4,165 (15%)
Adults 18 years and older	24,374 (85%)
Seniors 65 years and older	7,176 (25%)

Race Breakdown (ACS (American Community Survey)) - Persons (%)	
White	14,831 (52%)
African-American	0 (0%)
Hispanic-Origin	28,189 (99%)
Asian	56 (0%)
Hawaiian/Pacific Islander	6 (0%)
American Indian	86 (0%)
Other/Multiracial	5,828 (20%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	2,789 (13.33%)
9th through 12th Grade	1,443 (6.9%)
High School Diploma	4,136 (19.78%)
Some College/2-year	2,233 (10.68%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	7,547 (36.08%)

Income Breakdown (ACS (American Community Survey)) - Households (%)

\$25,000 - \$50,000	3,082 (25.02%)
\$50,000 - \$75,000	944 (7.66%)
Greater than \$75,000	1,053 (8.55%)



Detailed Facility Report

Facility Summary

ESSO STANDARD OIL CO PR SC-029

RD 3 KM 0.3 INT 925, HUMACAO, PR 00791

FRS (Facility Registry Service) ID: 110009437546

EPA Region: 02

Latitude: 18.396894

Longitude: -66.05443

Locational Data Source: UNKNOWN

Industries: --

Indian Country: N

Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Active VSQG, (PRR000004523)

Safe Drinking Water Act (SDWA): No Information

Go To Enforcement/Compliance Details

Known Data Problems <<https://epa.gov/resources/echo-data/known-data-problems>>

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Facility/System Characteristics

Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110009437546					N		
RCRAInfo	RCRA	PRR000004523	VSQG	Active (H)			N	18.396894	-66.05443

Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110009437546	ESSO STANDARD OIL CO PR SC-029	RD 3 KM 0.3 INT 925, HUMACAO, PR 00791	Humacao Municipio
RCRAInfo	RCRA	PRR000004523	ESSO STANDARD OIL CO PR SC-029	RD 3 KM 0.3 INT 925, HUMACAO, PR 00791	Humacao Municipio

Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
No data records returned			

Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
No data records returned			

Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
No data records returned			

Enforcement and Compliance

Compliance Monitoring History

Last 5 Years

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
No data records returned							

Entries in italics are not included in ECHO's Compliance Monitoring Activity counts because they are not compliance monitoring strategy <https://www.epa.gov/compliance/compliance-monitoring-programs> activities or because they are not counted as inspections within EPA's Annual Results <https://www.epa.gov/enforcement/enforcement-data-and-results>.

Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
RCRA	PRR000004523	No	05/10/2025	0	05/09/2025

Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: PRR000004523)		07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-12/31/23	01/01-03/31/24	04/01-06/30/24	07/01-09/30/24	10/01-12/31/24	01/01-03/31/25	04/01-06/30/25
Facility-Level Status		No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified
Violation		Agency											

Informal Enforcement Actions

Last 5 Years

Statute	System	Source ID	Type of Action	Lead Agency	Date
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No data records returned

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

Formal Enforcement Actions

Last 5 Years

Statute	System	Law/ Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/ Filed Date	Settlements/ Actions	Settlement/ Action Date	Federal Penalty Assessed	State/ Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
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No data records returned

Environmental Conditions

Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
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No data records returned

Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
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No data records returned

Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
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No data records returned

Pollutants

Toxics Release Inventory History of Reported Chemicals Released or Transferred in Pounds per Year at Site

TRI Facility ID	Year	Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Disposal to Land	Total On-Site Releases	Total Off-Site Transfers
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No data records returned

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name

No data records returned

Community

Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2022 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. Census boundaries and demographic data for U.S. Territories are based on the "2020 Island Areas Demographic Profiles" from the U.S. Census Bureau. EPA's spatial processing methodology considers the overlap between the selected radii and ACS census block groups in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <<https://epa.gov/help/reports/dfr-data-dictionary#demographic>>.

General Statistics (ACS (American Community Survey))	
Total Persons	19,863
Population Density	6,377/sq.mi.
Housing Units in Area	14,007
Percent People of Color	99%
Households in Area	9,136
Households on Public Assistance	243
Persons With Low Income	12,500
Percent With Low Income	66%

Geography	
Radius of Selected Area	1 mi.
Center Latitude	18.396894
Center Longitude	-66.05443
Total Area	--
Land Area	100%
Water Area	0%

Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	3,587 (39.28%)
\$15,000 - \$25,000	1,430 (15.66%)

Age Breakdown (ACS (American Community Survey)) - Persons (%)	
Children 5 years and younger	509 (3%)
Minors 17 years and younger	2,125 (11%)
Adults 18 years and older	17,739 (89%)
Seniors 65 years and older	5,221 (26%)

Race Breakdown (ACS (American Community Survey)) - Persons (%)	
White	10,595 (53%)
African-American	0 (0%)
Hispanic-Origin	19,603 (99%)
Asian	66 (0%)
Hawaiian/Pacific Islander	0 (0%)
American Indian	88 (0%)
Other/Multiracial	3,943 (20%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	1,967 (13.07%)
9th through 12th Grade	882 (5.86%)
High School Diploma	2,390 (15.88%)
Some College/2-year	1,201 (7.98%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	6,900 (45.85%)

Income Breakdown (ACS (American Community Survey)) - Households (%)	
\$25,000 - \$50,000	2,376 (26.02%)
\$50,000 - \$75,000	718 (7.86%)
Greater than \$75,000	1,022 (11.19%)



Detailed Facility Report

Facility Summary

FARMACIA EL AMAL #27

79 ARZUAGA ST, RIO PIEDRAS, PR 00925

FRS (Facility Registry Service) ID: 110006537756

EPA Region: 02

Latitude: 18.39777

Longitude: -66.04983

Locational Data Source: FRS

Industries: --

Indian Country: N

Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Active VSQG, (PRR000013888)

Safe Drinking Water Act (SDWA): No Information

[Go To Enforcement/Compliance Details](#)

[Known Data Problems <https://epa.gov/resources/echo-data/known-data-problems>](https://epa.gov/resources/echo-data/known-data-problems)

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Facility/System Characteristics

Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110006537756					N	18.39777	-66.04983
RCRAInfo	RCRA	PRR000013888	VSQG	Active (H)			N	18.397873	-66.050256

Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110006537756	FARMACIA EL AMAL #27	79 ARZUAGA ST, RIO PIEDRAS, PR 00925	San Juan Municipio
RCRAInfo	RCRA	PRR000013888	FARMACIA EL AMAL #27	79 ARZUAGA ST, RIO PIEDRAS, PR 00925	San Juan Municipio

Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
No data records returned			

Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
No data records returned			

Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
No data records returned			

Enforcement and Compliance

Compliance Monitoring History

Last 5 Years

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
No data records returned							

Entries in italics are not included in ECHO's Compliance Monitoring Activity counts because they are not compliance monitoring strategy <https://www.epa.gov/compliance/compliance-monitoring-programs> activities or because they are not counted as inspections within EPA's Annual Results <https://www.epa.gov/enforcement/enforcement-data-and-results>.

Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
RCRA	PRR000013888	No	05/10/2025	0	05/09/2025

Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: PRR000013888)		07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-12/31/23	01/01-03/31/24	04/01-06/30/24	07/01-09/30/24	10/01-12/31/24	01/01-03/31/25	04/01-06/30/25
Facility-Level Status		No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified
Violation		Agency											

Informal Enforcement Actions

Last 5 Years

Statute	System	Source ID	Type of Action	Lead Agency	Date
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No data records returned

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

Formal Enforcement Actions

Last 5 Years

Statute	System	Law/ Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/ Filed Date	Settlements/ Actions	Settlement/ Action Date	Federal Penalty Assessed	State/ Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
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No data records returned

Environmental Conditions

Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
--	---	---	---------------------------------	--------------------------------------	--	---

No data records returned

Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
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No data records returned

Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
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No data records returned

Pollutants

Toxics Release Inventory History of Reported Chemicals Released or Transferred in Pounds per Year at Site

TRI Facility ID	Year	Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Disposal to Land	Total On-Site Releases	Total Off-Site Transfers
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No data records returned

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name

No data records returned

Community

Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2022 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. Census boundaries and demographic data for U.S. Territories are based on the "2020 Island Areas Demographic Profiles" from the U.S. Census Bureau. EPA's spatial processing methodology considers the overlap between the selected radii and ACS census block groups in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <<https://epa.gov/help/reports/dfr-data-dictionary#demographic>>.

General Statistics (ACS (American Community Survey))	
Total Persons	21,776
Population Density	6,989/sq.mi.
Housing Units in Area	14,917
Percent People of Color	99%
Households in Area	9,754
Households on Public Assistance	327
Persons With Low Income	14,497
Percent With Low Income	70%

Geography	
Radius of Selected Area	1 mi.
Center Latitude	18.39777
Center Longitude	-66.04983
Total Area	--
Land Area	100%
Water Area	0%

Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	4,023 (41.23%)
\$15,000 - \$25,000	1,581 (16.2%)

Age Breakdown (ACS (American Community Survey)) - Persons (%)	
Children 5 years and younger	504 (2%)
Minors 17 years and younger	2,506 (12%)
Adults 18 years and older	19,271 (88%)
Seniors 65 years and older	5,681 (26%)

Race Breakdown (ACS (American Community Survey)) - Persons (%)	
White	11,470 (53%)
African-American	0 (0%)
Hispanic-Origin	21,464 (99%)
Asian	68 (0%)
Hawaiian/Pacific Islander	0 (0%)
American Indian	100 (0%)
Other/Multiracial	4,415 (20%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	2,414 (14.74%)
9th through 12th Grade	1,104 (6.74%)
High School Diploma	2,823 (17.24%)
Some College/2-year	1,442 (8.81%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	6,542 (39.95%)

Income Breakdown (ACS (American Community Survey)) - Households (%)	
\$25,000 - \$50,000	2,515 (25.78%)
\$50,000 - \$75,000	720 (7.38%)
Greater than \$75,000	918 (9.41%)



Detailed Facility Report

Facility Summary

GOMEZ HERMANOS METRO INC

AVE MUNOZ RIVERA #1088, RIO PIEDRAS, PR 00927

FRS (Facility Registry Service) ID: 110004892153

EPA Region: 02

Latitude: 18.397971

Longitude: -66.055856

Locational Data Source: RCRAINFO

Industries: --

Indian Country: N

Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Active VSQG, (PRR000002386)

Safe Drinking Water Act (SDWA): No Information

Go To Enforcement/Compliance Details

Known Data Problems <<https://epa.gov/resources/echo-data/known-data-problems>>

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Facility/System Characteristics

Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110004892153					N	18.397971	-66.055856
RCRAInfo	RCRA	PRR000002386	VSQG	Active (H)			N	18.397971	-66.055856

Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110004892153	GOMEZ HERMANOS METRO INC	AVE MUNOZ RIVERA #1088, RIO PIEDRAS, PR 00927	San Juan Municipio
RCRAInfo	RCRA	PRR000002386	GOMEZ HERMANOS METRO INC	AVE MUNOZ RIVERA #1088, RIO PIEDRAS, PR 00927-5016	San Juan Municipio

Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
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No data records returned

Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
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No data records returned

Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
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No data records returned

Enforcement and Compliance

Compliance Monitoring History

Last 5 Years

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
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No data records returned

Entries in italics are not included in ECHO's Compliance Monitoring Activity counts because they are not compliance monitoring strategy <https://www.epa.gov/compliance/compliance-monitoring-programs> activities or because they are not counted as inspections within EPA's Annual Results <https://www.epa.gov/enforcement/enforcement-data-and-results>.

Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
RCRA	PRR000002386	No	05/10/2025	0	05/09/2025

Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: PRR000002386)		07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-12/31/23	01/01-03/31/24	04/01-06/30/24	07/01-09/30/24	10/01-12/31/24	01/01-03/31/25	04/01-06/30/25
Facility-Level Status		No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified
Violation		Agency											

Informal Enforcement Actions

Statute	System	Source ID	Type of Action	Lead Agency	Date
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No data records returned

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

Formal Enforcement Actions

Statute	System	Law/ Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/ Filed Date	Settlements/ Actions	Settlement/ Action Date	Federal Penalty Assessed	State/ Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
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No data records returned

Environmental Conditions

Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
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No data records returned

Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
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No data records returned

Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
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No data records returned

Pollutants

Toxics Release Inventory History of Reported Chemicals Released or Transferred in Pounds per Year at Site

TRI Facility ID	Year	Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Disposal to Land	Total On-Site Releases	Total Off-Site Transfers
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No data records returned

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name

No data records returned

e-Manifest Hazardous Waste History (Public)

Hazardous Waste Shipped in Kilograms by Year (Through 2/8/2025)

Source ID	Waste Description	2022	2023	2024	2025
PRR000002386	Hazardous Waste	2,088	1,986	2,133	151
PRR000002386	Acute Hazardous Waste	0	0	0	0
PRR000002386	Pharmaceutical Hazardous Waste	0	0	0	0

“Pharmaceutical Hazardous Waste” refers to quantities managed under 40 CFR part 266 subpart P and thus excluded from the Hazardous and Acute Hazardous Waste quantities shown above.

Community

Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2022 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. Census boundaries and demographic data for U.S. Territories are based on the "2020 Island Areas Demographic Profiles" from the U.S. Census Bureau. EPA's spatial processing methodology considers the overlap between the selected radii and ACS census block groups in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <<https://epa.gov/help/reports/dfr-data-dictionary#demographic>>.

General Statistics (ACS (American Community Survey))	
Total Persons	20,486
Population Density	6,577/sq.mi.
Housing Units in Area	14,316
Percent People of Color	99%
Households in Area	9,409
Households on Public Assistance	220
Persons With Low Income	12,364
Percent With Low Income	63%

Age Breakdown (ACS (American Community Survey)) - Persons (%)	
Children 5 years and younger	553 (3%)
Minors 17 years and younger	2,145 (10%)
Adults 18 years and older	18,341 (90%)
Seniors 65 years and older	5,427 (26%)

Race Breakdown (ACS (American Community Survey)) - Persons (%)	
White	11,205 (55%)
African-American	0 (0%)
Hispanic-Origin	20,218 (99%)

Geography	
Radius of Selected Area	1 mi.
Center Latitude	18.397971
Center Longitude	-66.055856
Total Area	--
Land Area	100%
Water Area	0%

Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	3,514 (37.35%)
\$15,000 - \$25,000	1,460 (15.52%)
\$25,000 - \$50,000	2,446 (26%)
\$50,000 - \$75,000	799 (8.49%)
Greater than \$75,000	1,190 (12.65%)

Race Breakdown (ACS (American Community Survey)) - Persons (%)	
Asian	60 (0%)
Hawaiian/Pacific Islander	0 (0%)
American Indian	90 (0%)
Other/Multiracial	3,901 (19%)
Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	1,892 (12.1%)
9th through 12th Grade	846 (5.41%)
High School Diploma	2,367 (15.14%)
Some College/2-year	1,178 (7.54%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	7,664 (49.03%)



Detailed Facility Report

Facility Summary

OFICINA CENTRAL FARMACIA EL AMAL

1086A MUNOZ RIVERA AVE, RIO PIEDRAS, PR 00925

FRS (Facility Registry Service) ID: 110004895917

EPA Region: 02

Latitude: 18.399872

Longitude: -66.056277

Locational Data Source: RCRAINFO

Industries: --

Indian Country: N

Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Active VSQG, (PRR000013359)

Safe Drinking Water Act (SDWA): No Information

[Go To Enforcement/Compliance Details](#)

[Known Data Problems <https://epa.gov/resources/echo-data/known-data-problems>](https://epa.gov/resources/echo-data/known-data-problems)

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Facility/System Characteristics

Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110004895917					N	18.399872	-66.056277
RCRAInfo	RCRA	PRR000013359	VSQG	Active (H)			N	18.399872	-66.056277

Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110004895917	OFICINA CENTRAL FARMACIA EL AMAL	1086A MUNOZ RIVERA AVE, RIO PIEDRAS, PR 00925	San Juan Municipio
RCRAInfo	RCRA	PRR000013359	OFICINA CENTRAL FARMACIA EL AMAL	1086A MUNOZ RIVERA AVE, RIO PIEDRAS, PR 00925	San Juan Municipio

Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
No data records returned			

Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
No data records returned			

Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
No data records returned			

Enforcement and Compliance

Compliance Monitoring History

Last 5 Years

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
No data records returned							

Entries in italics are not included in ECHO's Compliance Monitoring Activity counts because they are not compliance monitoring strategy <https://www.epa.gov/compliance/compliance-monitoring-programs> activities or because they are not counted as inspections within EPA's Annual Results <https://www.epa.gov/enforcement/enforcement-data-and-results>.

Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
RCRA	PRR000013359	No	05/10/2025	0	05/09/2025

Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: PRR000013359)		07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-12/31/23	01/01-03/31/24	04/01-06/30/24	07/01-09/30/24	10/01-12/31/24	01/01-03/31/25	04/01-06/30/25
Facility-Level Status		No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified
Violation		Agency											

Informal Enforcement Actions

Last 5 Years

Statute	System	Source ID	Type of Action	Lead Agency	Date
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No data records returned

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

Formal Enforcement Actions

Last 5 Years

Statute	System	Law/ Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/ Filed Date	Settlements/ Actions	Settlement/ Action Date	Federal Penalty Assessed	State/ Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
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No data records returned

Environmental Conditions

Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
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No data records returned

Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
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No data records returned

Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
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No data records returned

Pollutants

Toxics Release Inventory History of Reported Chemicals Released or Transferred in Pounds per Year at Site

TRI Facility ID	Year	Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Disposal to Land	Total On-Site Releases	Total Off-Site Transfers
-----------------	------	---------------	--------------------------	--	------------------------	------------------	------------------------	--------------------------

No data records returned

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name

No data records returned

Community

Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2022 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. Census boundaries and demographic data for U.S. Territories are based on the "2020 Island Areas Demographic Profiles" from the U.S. Census Bureau. EPA's spatial processing methodology considers the overlap between the selected radii and ACS census block groups in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <<https://epa.gov/help/reports/dfr-data-dictionary#demographic>>.

General Statistics (ACS (American Community Survey))	
Total Persons	22,738
Population Density	7,298/sq.mi.
Housing Units in Area	15,558
Percent People of Color	99%
Households in Area	10,400
Households on Public Assistance	233
Persons With Low Income	13,073
Percent With Low Income	60%

Geography	
Radius of Selected Area	1 mi.
Center Latitude	18.399872
Center Longitude	-66.056277
Total Area	--
Land Area	100%
Water Area	0%

Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	3,672 (35.31%)
\$15,000 - \$25,000	1,535 (14.76%)

Age Breakdown (ACS (American Community Survey)) - Persons (%)	
Children 5 years and younger	702 (3%)
Minors 17 years and younger	2,463 (11%)
Adults 18 years and older	20,275 (89%)
Seniors 65 years and older	5,999 (26%)

Race Breakdown (ACS (American Community Survey)) - Persons (%)	
White	12,787 (56%)
African-American	0 (0%)
Hispanic-Origin	22,454 (99%)
Asian	81 (0%)
Hawaiian/Pacific Islander	2 (0%)
American Indian	91 (0%)
Other/Multiracial	4,101 (18%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	2,032 (11.68%)
9th through 12th Grade	882 (5.07%)
High School Diploma	2,496 (14.35%)
Some College/2-year	1,244 (7.15%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	8,933 (51.35%)

Income Breakdown (ACS (American Community Survey)) - Households (%)

\$25,000 - \$50,000	2,705 (26.01%)
\$50,000 - \$75,000	936 (9%)
Greater than \$75,000	1,552 (14.92%)



Detailed Facility Report

Facility Summary

SMALLWOOD PROJECT

AVENIDA PONCE DE LEON ESQ, SAN JUAN, PR 00906

FRS (Facility Registry Service) ID: 110031435025

EPA Region: 02

Latitude: 18.393044

Longitude: -66.055819

Locational Data Source: RCRAINFO

Industries: Real Estate

Indian Country: N

Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Active VSQG, (PRR000020099)

Safe Drinking Water Act (SDWA): No Information

[Go To Enforcement/Compliance Details](#)

[Known Data Problems <https://epa.gov/resources/echo-data/known-data-problems>](https://epa.gov/resources/echo-data/known-data-problems)

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Facility/System Characteristics

Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110031435025					N	18.393044	-66.055819
RCRAInfo	RCRA	PRR000020099	VSQG	Active (H)			N	18.393044	-66.055819

Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110031435025	SMALLWOOD PROJECT	AVENIDA PONCE DE LEON ESQ, SAN JUAN, PR 00906	San Juan Municipio
RCRAInfo	RCRA	PRR000020099	SMALLWOOD PROJECT	AVENIDA PONCE DE LEON ESQ, SAN JUAN, PR 00906	San Juan Municipio

Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
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No data records returned

Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
RCRAInfo	PRR000020099	53119	Lessors of Other Real Estate Property

Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
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No data records returned

Enforcement and Compliance

Compliance Monitoring History

Last 5 Years

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
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No data records returned

Entries in italics are not included in ECHO's Compliance Monitoring Activity counts because they are not compliance monitoring strategy <https://www.epa.gov/compliance/compliance-monitoring-programs> activities or because they are not counted as inspections within EPA's Annual Results <https://www.epa.gov/enforcement/enforcement-data-and-results>.

Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
RCRA	PRR000020099	No	05/10/2025	0	05/09/2025

Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: PRR000020099)		07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-12/31/23	01/01-03/31/24	04/01-06/30/24	07/01-09/30/24	10/01-12/31/24	01/01-03/31/25	04/01-06/30/25
Facility-Level Status		No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified
Violation		Agency											

Informal Enforcement Actions

Last 5 Years

Statute	System	Source ID	Type of Action	Lead Agency	Date
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No data records returned

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

Formal Enforcement Actions

Last 5 Years

Statute	System	Law/ Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/ Filed Date	Settlements/ Actions	Settlement/ Action Date	Federal Penalty Assessed	State/ Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
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No data records returned

Environmental Conditions

Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
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No data records returned

Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
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No data records returned

Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
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No data records returned

Pollutants

Toxics Release Inventory History of Reported Chemicals Released or Transferred in Pounds per Year at Site

TRI Facility ID	Year	Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Disposal to Land	Total On-Site Releases	Total Off-Site Transfers
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No data records returned

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name

No data records returned

Community

Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2022 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. Census boundaries and demographic data for U.S. Territories are based on the "2020 Island Areas Demographic Profiles" from the U.S. Census Bureau. EPA's spatial processing methodology considers the overlap between the selected radii and ACS census block groups in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <<https://epa.gov/help/reports/dfr-data-dictionary#demographic>>.

General Statistics (ACS (American Community Survey))	
Total Persons	17,754
Population Density	5,701/sq.mi.
Housing Units in Area	12,294
Percent People of Color	99%
Households in Area	8,066
Households on Public Assistance	193
Persons With Low Income	11,373
Percent With Low Income	67%

Geography	
Radius of Selected Area	1 mi.
Center Latitude	18.393044
Center Longitude	-66.055819
Total Area	--
Land Area	100%
Water Area	0%

Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	3,229 (40%)
\$15,000 - \$25,000	1,307 (16.19%)

Age Breakdown (ACS (American Community Survey)) - Persons (%)	
Children 5 years and younger	556 (3%)
Minors 17 years and younger	1,990 (11%)
Adults 18 years and older	15,761 (89%)
Seniors 65 years and older	4,604 (26%)

Race Breakdown (ACS (American Community Survey)) - Persons (%)	
White	9,413 (53%)
African-American	0 (0%)
Hispanic-Origin	17,494 (99%)
Asian	77 (0%)
Hawaiian/Pacific Islander	0 (0%)
American Indian	72 (0%)
Other/Multiracial	3,347 (19%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	1,681 (12.6%)
9th through 12th Grade	826 (6.19%)
High School Diploma	2,203 (16.52%)
Some College/2-year	1,267 (9.5%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	5,842 (43.8%)

Income Breakdown (ACS (American Community Survey)) - Households (%)

\$25,000 - \$50,000	1,993 (24.69%)
\$50,000 - \$75,000	587 (7.27%)
Greater than \$75,000	956 (11.84%)



Detailed Facility Report

Facility Summary

SMILE COLLISION CENTER

1088 MUNOZ RIVERA AVE, SAN JUAN, PR 00927

FRS (Facility Registry Service) ID: 110063077316

EPA Region: 02

Latitude: 18.402678

Longitude: -66.056493

Locational Data Source: RCRAINFO

Industries: Repair and Maintenance

Indian Country: N

Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	12/04/2014
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Active VSQG, (PRN008027419), Active SQG, (PRR000025288)

Safe Drinking Water Act (SDWA): No Information

Go To Enforcement/Compliance Details

Known Data Problems <<https://epa.gov/resources/echo-data/known-data-problems>>

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Facility/System Characteristics

Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110063077316					N	18.402678	-66.056493
RCRAInfo	RCRA	PRN008027419	VSQG	Active (H)			N	18.402678	-66.056493
RCRAInfo	RCRA	PRR000025288	SQG	Active (H)			N	18.402678	-66.056493

Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110063077316	SMILE COLLISION CENTER	1088 MUNOZ RIVERA AVE, SAN JUAN, PR 00927	San Juan Municipio
RCRAInfo	RCRA	PRN008027419	SMILE COLLISION CENTER	1088 MUNOZ RIVERA AVE, RIO PIEDRAS, PR 00927	San Juan Municipio
RCRAInfo	RCRA	PRR000025288	SMILE COLLISION CENTER	1088 MUNOZ RIVERA AVE, SAN JUAN, PR 00927	San Juan Municipio

Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
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No data records returned

Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
RCRAInfo	PRR000025288	811121	Automotive Body, Paint, and Interior Repair and Maintenance

Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
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No data records returned

Enforcement and Compliance

Compliance Monitoring History

Last 5 Years

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
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No data records returned

Entries in italics are not included in ECHO's Compliance Monitoring Activity counts because they are not compliance monitoring strategy <https://www.epa.gov/compliance/compliance-monitoring-programs> activities or because they are not counted as inspections within EPA's Annual Results <https://www.epa.gov/enforcement/enforcement-data-and-results>.

Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
RCRA	PRN008027419	No	05/10/2025	0	05/09/2025
RCRA	PRR000025288	No	05/10/2025	0	05/09/2025

Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: PRN008027419)		07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-12/31/23	01/01-03/31/24	04/01-06/30/24	07/01-09/30/24	10/01-12/31/24	01/01-03/31/25	04/01-06/30/25
	Facility-Level Status	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified
	Violation												
	Agency												
RCRA (Source ID: PRR000025288)		07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-12/31/23	01/01-03/31/24	04/01-06/30/24	07/01-09/30/24	10/01-12/31/24	01/01-03/31/25	04/01-06/30/25
	Facility-Level Status	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified
	Violation												
	Agency												

Informal Enforcement Actions

Last 5 Years

Statute	System	Source ID	Type of Action	Lead Agency	Date
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No data records returned

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

Formal Enforcement Actions

Last 5 Years

Statute	System	Law/ Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/ Filed Date	Settlements/ Actions	Settlement/ Action Date	Federal Penalty Assessed	State/ Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
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No data records returned

Environmental Conditions

Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
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No data records returned

Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
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No data records returned

Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
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No data records returned

Pollutants

Toxics Release Inventory History of Reported Chemicals Released or Transferred in Pounds per Year at Site

TRI Facility ID	Year	Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Disposal to Land	Total On-Site Releases	Total Off-Site Transfers
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No data records returned

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name

No data records returned

e-Manifest Hazardous Waste History (Public)

Hazardous Waste Shipped in Kilograms by Year (Through 2/8/2025)

Source ID	Waste Description	2022	2023	2024	2025
PRR000025288	Hazardous Waste	1,014	1,135	1,445	--
PRR000025288	Acute Hazardous Waste	0	0	0	--
PRR000025288	Pharmaceutical Hazardous Waste	0	0	0	--

“Pharmaceutical Hazardous Waste” refers to quantities managed under 40 CFR part 266 subpart P and thus excluded from the Hazardous and Acute Hazardous Waste quantities shown above.

Community

Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2022 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. Census boundaries and demographic data for U.S. Territories are based on the "2020 Island Areas Demographic Profiles" from the U.S. Census Bureau. EPA's spatial processing methodology considers the overlap between the selected radii and ACS census block groups in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <<https://epa.gov/help/reports/dfr-data-dictionary#demographic>>.

General Statistics (ACS (American Community Survey))	
Total Persons	25,144
Population Density	8,067/sq.mi.
Housing Units in Area	17,404
Percent People of Color	99%

Age Breakdown (ACS (American Community Survey)) - Persons (%)	
Children 5 years and younger	807 (3%)
Minors 17 years and younger	2,773 (11%)
Adults 18 years and older	22,369 (89%)
Seniors 65 years and older	6,733 (27%)

General Statistics (ACS (American Community Survey))	
Households in Area	11,757
Households on Public Assistance	299
Persons With Low Income	14,591
Percent With Low Income	61%
Geography	
Radius of Selected Area	1 mi.
Center Latitude	18.402678
Center Longitude	-66.056493
Total Area	--
Land Area	100%
Water Area	0%

Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	4,364 (37.13%)
\$15,000 - \$25,000	1,724 (14.67%)
\$25,000 - \$50,000	2,870 (24.42%)
\$50,000 - \$75,000	1,080 (9.19%)
Greater than \$75,000	1,714 (14.58%)

Race Breakdown (ACS (American Community Survey)) - Persons (%)	
White	14,068 (56%)
African-American	0 (0%)
Hispanic-Origin	24,843 (99%)
Asian	74 (0%)
Hawaiian/Pacific Islander	27 (0%)
American Indian	95 (0%)
Other/Multiracial	4,556 (18%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	2,244 (11.63%)
9th through 12th Grade	908 (4.7%)
High School Diploma	2,932 (15.19%)
Some College/2-year	1,402 (7.26%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	9,822 (50.89%)



Detailed Facility Report

Facility Summary

VIDYS CAFE & RESTAURANT

104 UNIVERSIDAD AVE, RIO PIEDRAS, PR 00925

FRS (Facility Registry Service) ID: 110015322836

EPA Region: 02

Latitude: 18.40311

Longitude: -66.05465

Locational Data Source: FRS

Industries: Food Services and Drinking Places

Indian Country: N

Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Active VSQG, (PRR000016246)

Safe Drinking Water Act (SDWA): No Information

[Go To Enforcement/Compliance Details](#)

[Known Data Problems <https://epa.gov/resources/echo-data/known-data-problems>](https://epa.gov/resources/echo-data/known-data-problems)

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Facility/System Characteristics

Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110015322836					N	18.40311	-66.05465
RCRAInfo	RCRA	PRR000016246	VSQG	Active (H)			N	18.403122	-66.0549

Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110015322836	VIDYS CAFE & RESTAURANT	104 UNIVERSIDAD AVE, RIO PIEDRAS, PR 00925	San Juan Municipio
RCRAInfo	RCRA	PRR000016246	VIDYS CAFE & RESTAURANT	104 UNIVERSIDAD AVE, RIO PIEDRAS, PR 00925	San Juan Municipio

Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
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No data records returned

Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
RCRAInfo	PRR000016246	72211	Full-Service Restaurants

Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
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No data records returned

Enforcement and Compliance

Compliance Monitoring History

Last 5 Years

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
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No data records returned

Entries in italics are not included in ECHO's Compliance Monitoring Activity counts because they are not compliance monitoring strategy <https://www.epa.gov/compliance/compliance-monitoring-programs> activities or because they are not counted as inspections within EPA's Annual Results <https://www.epa.gov/enforcement/enforcement-data-and-results>.

Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
RCRA	PRR000016246	No	05/10/2025	0	05/09/2025

Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: PRR000016246)		07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-12/31/23	01/01-03/31/24	04/01-06/30/24	07/01-09/30/24	10/01-12/31/24	01/01-03/31/25	04/01-06/30/25
Facility-Level Status		No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified
Violation		Agency											

Informal Enforcement Actions

Statute	System	Source ID	Type of Action	Lead Agency	Date
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No data records returned

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

Formal Enforcement Actions

Statute	System	Law/ Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/ Filed Date	Settlements/ Actions	Settlement/ Action Date	Federal Penalty Assessed	State/ Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
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No data records returned

Environmental Conditions

Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
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No data records returned

Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
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No data records returned

Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
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No data records returned

Pollutants

Toxics Release Inventory History of Reported Chemicals Released or Transferred in Pounds per Year at Site

TRI Facility ID	Year	Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Disposal to Land	Total On-Site Releases	Total Off-Site Transfers
-----------------	------	---------------	--------------------------	--	------------------------	------------------	------------------------	--------------------------

No data records returned

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name

No data records returned

Community

Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2022 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. Census boundaries and demographic data for U.S. Territories are based on the "2020 Island Areas Demographic Profiles" from the U.S. Census Bureau. EPA's spatial processing methodology considers the overlap between the selected radii and ACS census block groups in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <<https://epa.gov/help/reports/dfr-data-dictionary#demographic>>.

General Statistics (ACS (American Community Survey))	
Total Persons	26,559
Population Density	8,520/sq.mi.
Housing Units in Area	18,153
Percent People of Color	99%
Households in Area	12,148
Households on Public Assistance	314
Persons With Low Income	16,350
Percent With Low Income	64%

Geography	
Radius of Selected Area	1 mi.
Center Latitude	18.40311
Center Longitude	-66.05465
Total Area	--
Land Area	100%
Water Area	0%

Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	4,716 (38.83%)
\$15,000 - \$25,000	1,833 (15.09%)

Age Breakdown (ACS (American Community Survey)) - Persons (%)	
Children 5 years and younger	930 (4%)
Minors 17 years and younger	3,159 (12%)
Adults 18 years and older	23,401 (88%)
Seniors 65 years and older	6,889 (26%)

Race Breakdown (ACS (American Community Survey)) - Persons (%)	
White	14,462 (54%)
African-American	0 (0%)
Hispanic-Origin	26,215 (99%)
Asian	68 (0%)
Hawaiian/Pacific Islander	24 (0%)
American Indian	94 (0%)
Other/Multiracial	5,347 (20%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	2,435 (12.14%)
9th through 12th Grade	1,066 (5.32%)
High School Diploma	3,266 (16.29%)
Some College/2-year	1,453 (7.25%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	9,573 (47.74%)

Income Breakdown (ACS (American Community Survey)) - Households (%)

\$25,000 - \$50,000	2,948 (24.28%)
\$50,000 - \$75,000	1,023 (8.42%)
Greater than \$75,000	1,624 (13.37%)



Detailed Facility Report

Facility Summary

WALGREENS 891

PR-3 AVE 65TH INF CORNER BARBOSA RIO PIEDRAS, SAN JUAN, PR 00924

FRS (Facility Registry Service) ID: 110004892395

EPA Region: 02

Latitude: 18.395009

Longitude: -66.042887

Locational Data Source: RCRAINFO

Industries: Health and Personal Care Retailers

Indian Country: N

Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Active VSQG, (PRR000003202)

Safe Drinking Water Act (SDWA): No Information

Go To Enforcement/Compliance Details

Known Data Problems <<https://epa.gov/resources/echo-data/known-data-problems>>

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Facility/System Characteristics

Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110004892395					N	18.395009	-66.042887
RCRAInfo	RCRA	PRR000003202	VSQG	Active (H)			N	18.395009	-66.042887

Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110004892395	WALGREENS 891	PR-3 AVE 65TH INF CORNER BARBOSA RIO PIEDRAS, SAN JUAN, PR 00924	San Juan Municipio
RCRAInfo	RCRA	PRR000003202	WALGREENS STORE 891	65 INFANTERIA CORNER BARBOSA, RIO PIEDRAS, PR 00924	San Juan Municipio

Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
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No data records returned

Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
RCRAInfo	PRR000003202	456110	Pharmacies and Drug Retailers

Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
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No data records returned

Enforcement and Compliance

Compliance Monitoring History

Last 5 Years

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
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No data records returned

Entries in italics are not included in ECHO's Compliance Monitoring Activity counts because they are not compliance monitoring strategy <https://www.epa.gov/compliance/compliance-monitoring-programs> activities or because they are not counted as inspections within EPA's Annual Results <https://www.epa.gov/enforcement/enforcement-data-and-results>.

Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
RCRA	PRR000003202	No	05/10/2025	0	05/09/2025

Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: PRR000003202)		07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-12/31/23	01/01-03/31/24	04/01-06/30/24	07/01-09/30/24	10/01-12/31/24	01/01-03/31/25	04/01-06/30/25
Facility-Level Status		No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified
Violation		Agency											

Informal Enforcement Actions

Last 5 Years

Statute	System	Source ID	Type of Action	Lead Agency	Date
---------	--------	-----------	----------------	-------------	------

No data records returned

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

Formal Enforcement Actions

Last 5 Years

Statute	System	Law/ Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/ Filed Date	Settlements/ Actions	Settlement/ Action Date	Federal Penalty Assessed	State/ Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
---------	--------	--------------	-----------	----------------	----------	-------------	-----------	--------------------	----------------------	-------------------------	--------------------------	-------------------------------	--------------------------	-----------	------------------

No data records returned

Environmental Conditions

Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
--	---	---	---------------------------------	--------------------------------------	--	---

No data records returned

Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
-------	--------------	--------------------	----------------------	-----------------	-----------------------	--------------------	----------------	----------------------	----------------	-----------

No data records returned

Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
-----------	-----------------------------------	---	---------------------------------	---

No data records returned

Pollutants

Toxics Release Inventory History of Reported Chemicals Released or Transferred in Pounds per Year at Site

TRI Facility ID	Year	Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Disposal to Land	Total On-Site Releases	Total Off-Site Transfers
-----------------	------	---------------	--------------------------	--	------------------------	------------------	------------------------	--------------------------

No data records returned

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name

No data records returned

Community

Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2022 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. Census boundaries and demographic data for U.S. Territories are based on the "2020 Island Areas Demographic Profiles" from the U.S. Census Bureau. EPA's spatial processing methodology considers the overlap between the selected radii and ACS census block groups in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <<https://epa.gov/help/reports/dfr-data-dictionary#demographic>>.

General Statistics (ACS (American Community Survey))	
Total Persons	25,857
Population Density	8,289/sq.mi.
Housing Units in Area	16,309
Percent People of Color	99%
Households in Area	11,073
Households on Public Assistance	318
Persons With Low Income	17,679
Percent With Low Income	71%

Geography	
Radius of Selected Area	1 mi.
Center Latitude	18.395009
Center Longitude	-66.042887
Total Area	--
Land Area	100%
Water Area	0%

Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	4,444 (40.13%)
\$15,000 - \$25,000	1,777 (16.05%)

Age Breakdown (ACS (American Community Survey)) - Persons (%)	
Children 5 years and younger	874 (3%)
Minors 17 years and younger	3,715 (14%)
Adults 18 years and older	22,145 (86%)
Seniors 65 years and older	6,821 (26%)

Race Breakdown (ACS (American Community Survey)) - Persons (%)	
White	13,577 (53%)
African-American	0 (0%)
Hispanic-Origin	25,541 (99%)
Asian	77 (0%)
Hawaiian/Pacific Islander	0 (0%)
American Indian	67 (0%)
Other/Multiracial	4,914 (19%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	2,606 (13.55%)
9th through 12th Grade	1,345 (7%)
High School Diploma	3,704 (19.27%)
Some College/2-year	2,201 (11.45%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	6,793 (35.33%)

Income Breakdown (ACS (American Community Survey)) - Households (%)

\$25,000 - \$50,000	2,799 (25.28%)
\$50,000 - \$75,000	983 (8.88%)
Greater than \$75,000	1,070 (9.66%)

Field Visit Checklist & Site Evaluation						
Project Name:	PR-CRP-000924 Plaza Convalecencia & Plaza del Pilar			Latitude:	118.397611	
First Name:	LAREDO	Last Name:	GONZALEZ	Longitude:	-66.0509706	
Street Address:	State Road PR-25, Rio Piedras Ward			Apt/Suite:	----	
City:	San Juan			State:	PR	Zip: ----
Date of Visit:	August 17, 2023		Field Visit Conducted By:	LAREDO GONZALEZ		
EXISTING ENVIRONMENTAL CONDITIONS ON & AROUND SITE						
Levee/Flood Control Structures (Levees, T-walls, pumping stations, etc.)						
	Site Specific			Area		
Observations	NO			N/A		
Toxic Chemicals & Radioactive Materials						
Petroleum or Chemical Storage						
	Site Specific			Area		
Is there any evidence or indication of an underground storage tank (UST) may be located on site?	NO			N/A		
If yes, are they in use?	N/A			N/A		
Are there any out-of-service underground fuel tanks?	NO			N/A		
Is there any evidence that any AST on the property are leaking?	NO			N/A		
Polychlorinated Biphenyls (PCB):						
	Site Specific			Area		
Is there any evidence or indication of leaking electrical equipment (transformer - ground or pole mounted, capacitor, or hydraulic equipment) present on site?	NO			N/A		
Hazardous Operations						
	Site Specific			Area		
Is there any evidence of manufacturing operations utilizing or producing hazardous substances at or in close proximity to the site?	NO			N/A		
Is there any evidence or indication that past operations located on or in close proximity to the property used hazardous substances or radiological materials that may have been released into the environment?	NO			N/A		
Notes/Observations:						
<p>The Plazas are at the heart of the urban town of Río Piedras, borough of the city of San Juan. The Plaza del Pilar, surrounding the Church of El Pilar that was built in 1831. The Plaza del Pilar and its church was remodeled near 1940. The Plaza of Convalecencia is divided from The Plaza del Pilar by the Brumbaugh Street. The Plaza of Convalecencia was completely remodeled in 2009. Both Plazas, Del Pilar and Convalecencia amount to an approximate of 1,8790 square meters. (No ASTM ESA Phase I study was supplied to the preparer. The observations above are only descriptive and should not be used in lieu of a formal ASTM ESA Phase I study)</p>						

Photograph 1 East View (Church of el Pilar)



Photograph 2a-2b Southeast View Plaza El Pilar



2a



2b

Photograph 3 South eastern tip of Plaza de la Convalecencia



Photograph 4 eastern tip of Plaza de la Convalecencia



Photograph 5a-b West side of Plaza de la Convalecencia



5a



5b

Photograph 6a-e Center of Plaza de la Convalecencia



6a: Underground parking ventilation system



6b: Underground parking ventilation system



6c



6d



6e

Photograph 7a-c East of Plaza de la Convalecencia



7a



7b



7c



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Asbestos & Lead Based Paint Survey/ Environmental Consultants/ Industrial Hygiene/ Indoor Air Quality
DNER Permits / EPA Permits & Certifications EM@IL: globalespr@gmail.com
POSTAL ADDRESS: RR8 BOX 1995 PMB 313 BAYAMON, PR 00956 Phones: 787-994-2203 . 787-607-8965

Asbestos Containing Materials Inspection



SAMPLING CONDUCTED AT:
Plazas del Pilar & de la Convalecencia
Located at Georgetti & Arzuaga Streets Rio Piedras
in San Juan, PR



GES Project # -2023-231

DECEMBER 2023



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December 12, 2023

Arch. Istra Hernandez
President
Hernandez-Bauza PSC, Architects
PO Box 361090 San Juan, PR 00936

Affair: Asbestos Containing Materials Inspection in Plazas del Pilar & de la Convalecencia located at Georgetti & Arzuaga Streets Rio Piedras in San Juan, PR

Dear Arch. Hernandez:

Global Environmental Services LLC (GES) was contracted to perform a Asbestos Containing Materials Inspection at reference project.

Asbestos Containing Building Material (ACBM) is defined as any material which contains more that 1% percent Asbestos.

The ACM Inspection was conducted on December 2, 2023 by Mr. Angel M. Rivera, Department of Natural and Environmental Resources of Puerto Rico (DNER) certified Asbestos Inspector # ASB-0623-0270-SI with enough experience.

During the inspection, inspector **NO suspected Asbestos Containing Materials**. The asbestos inspection work will be performed by Asbestos Hazards Emergency Response Act (AHERA) accredited asbestos inspectors under the PR Environmental Quality Board accreditation program. The inspection will be conducted in accordance with EPA's "Guidance for Controlling Asbestos Containing Materials in Buildings (EPA 560/5-85/024)". Asbestos Containing Materials Inspection and bulk sampling procedures to be implemented was based on the guidelines established by the ASTM E2356-14 Standard Practice for Comprehensive Building Asbestos Survey. Samples were analyzed by PLM using dispersion staining techniques in accordance with US EPA Method: 600/M4-82-020 of Dec. 1982 and 600/R-93/116 of July 93.

Global Environmental Services LLC **certifies this project asbestos free.**



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The Asbestos Containing Materials inspection was performed based on DNER/ NESHAP regulations and protocol according to the following scenario:

- a. The project are divided various functional spaces.
- b. Physical and hazard assessment of suspected asbestos containing materials was performed.
- c. Samples were collected according to homogenous areas.(Does not apply).
- d. Samples sent to NVLAP Accredited Laboratory. (Does not apply).
- e. Samples were analyzed by PLM method, in accordance to EPA recommended procedures. (Does not apply).

Thank you for the opportunity, any questions, please call 787-994-2203 and 787-607-8965 or email globalespr@gmail.com.

Cordially;

Mr. Angel O. Ortega, JS
*Environmental Consultant
President*

Mr. Angel M. Rivera
Asbestos Inspector-ASB-0623-0270-SI



GLOBAL ENVIRONMENTAL SERVICES LLC

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APPENDIX I

**CERTIFICATIONS GRANTED BY THE
DEPARTMENT OF NATURAL AND
ENVIRONMENTAL RESOURCES
OF PUERTO RICO**



GLOBAL ENVIRONMENTAL SERVICES LLC

Asbestos & Lead Based Paint Survey/ Environmental Consultants/ Industrial Hygiene/ Indoor Air Quality
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ASBESTOS INSPECTOR CERTIFICATION

	TARJETA DE REGISTRO PARA LA REMOCION DE ASBESTO Esta tarjeta autoriza a: Ángel M. Rivera Guido Inspector A trabajar en la remoción de asbesto en Puerto Rico. Esta persona NO es un empleado del DRNA.  Firma Autorizada - Departamento Recursos Naturales y Ambientales
ASB-0623-0270-SI Número de Registro	
16-abr-2024 Fecha de vencimiento	



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APPENDIX II

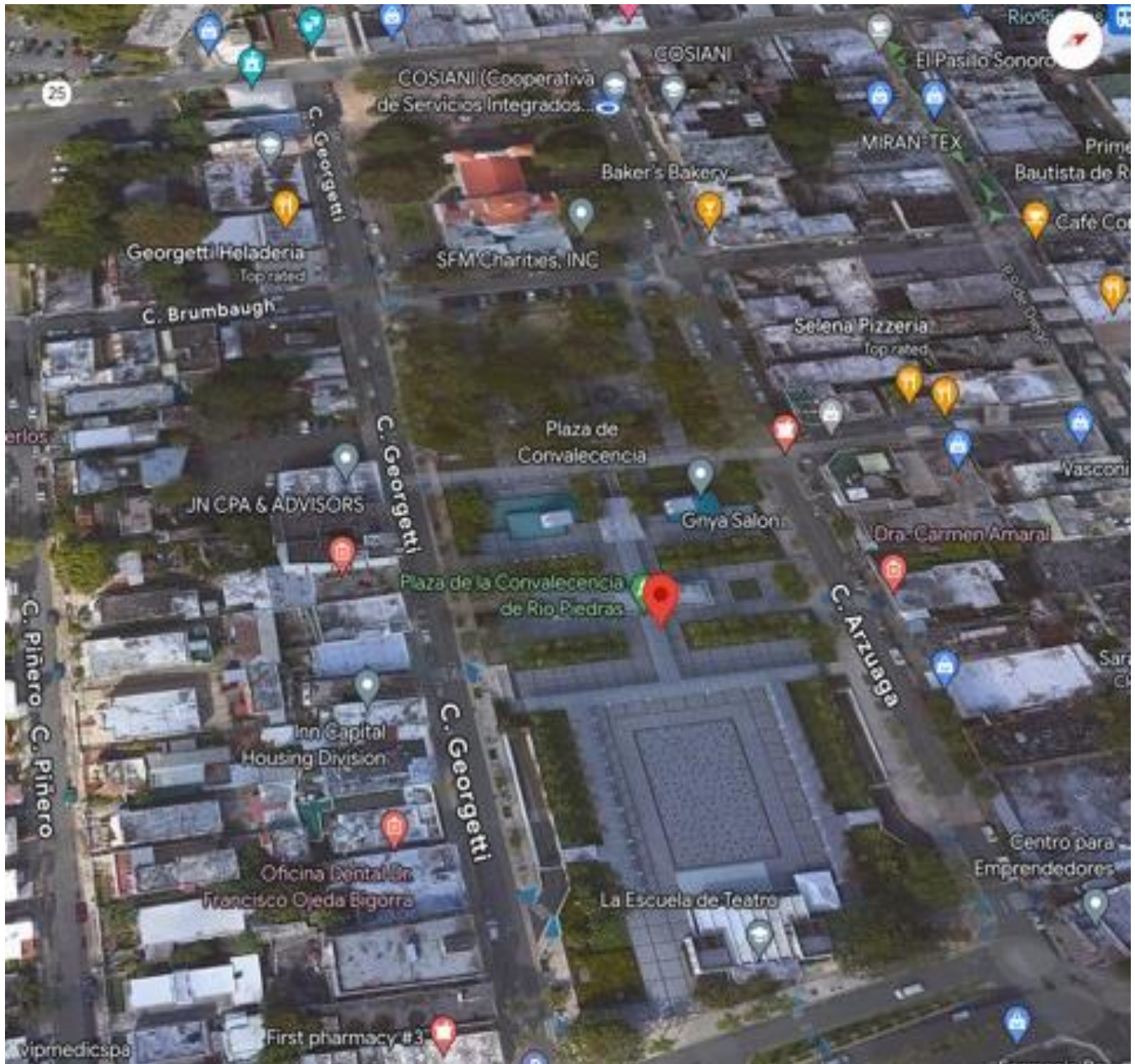
SITE AREAS & LAYOUT



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SITE AREA



COORDINATES TO GET TO THE PROJECT:

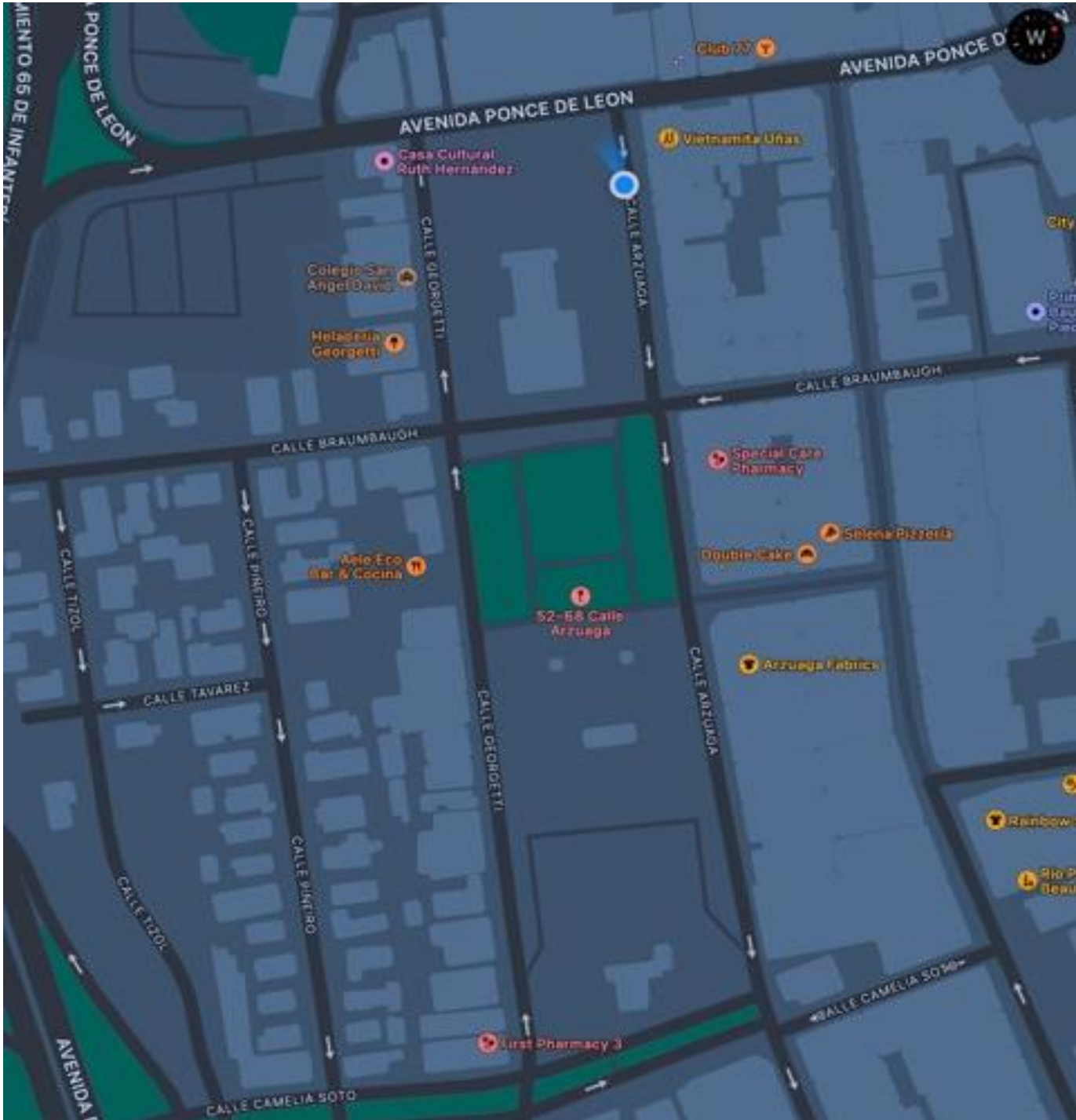
18.3975542, -66.0505479



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SITE AREA





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SITE AREA

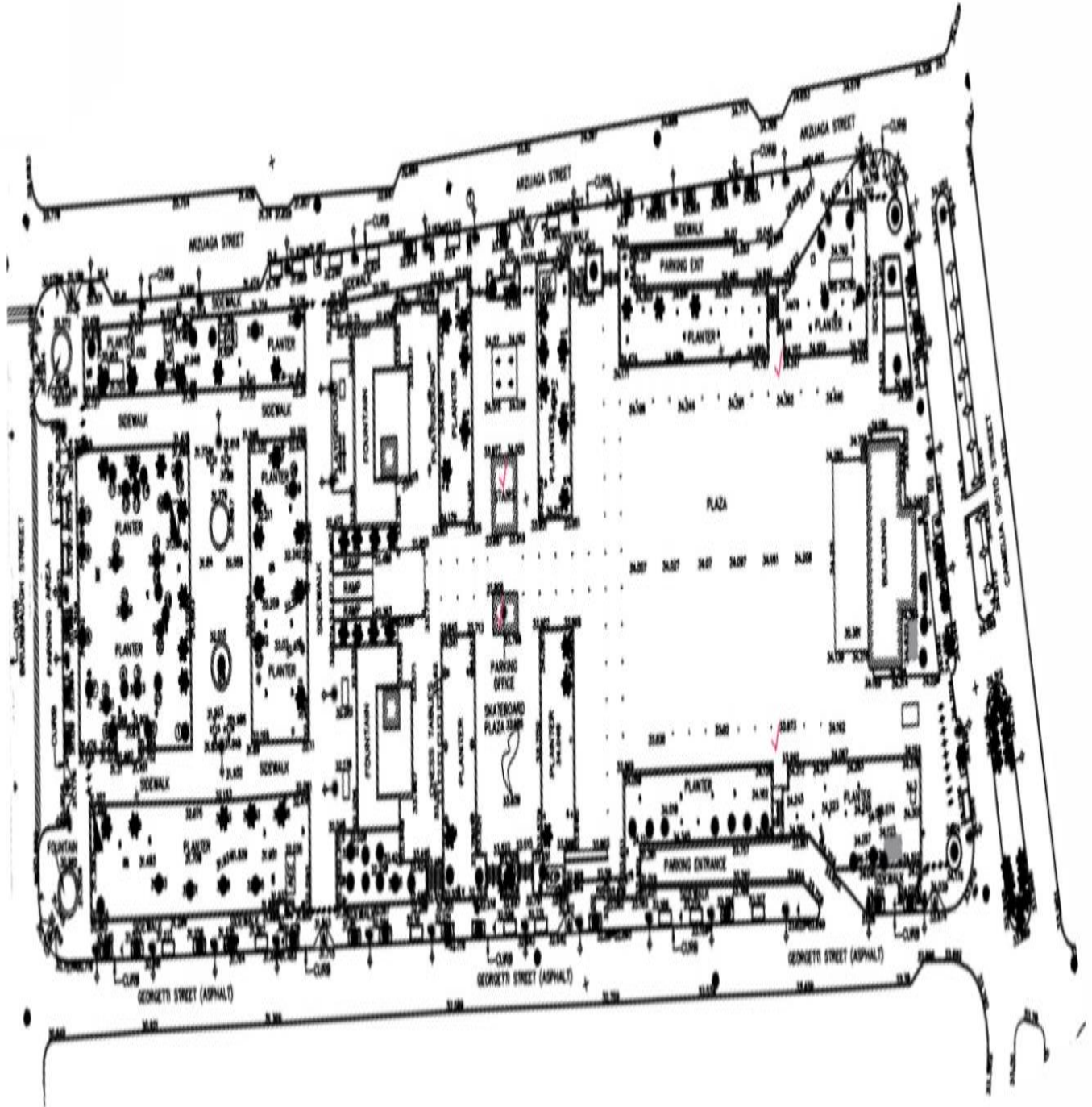




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LAYOUT AND FUNCTIONAL SPACES



NOT TO SCALE



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AERIAL VIEW





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APPENDIX III

ASBESTOS NEGATIVE CERTIFICATION



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GOBIERNO DE PUERTO RICO
OFICINA DEL GOBERNADOR
JUNTA DE CALIDAD AMBIENTAL

OGPE
Oficina de Gestión de Permisos

Área de Calidad de Agua

Forma PGC-009

CERTIFICACION DE NO PRESENCIA DE ASBESTO EN ESTRUCTURAS A DEMOLERSE (Deberá completarse en letra de molde o impresa)

NUM. PERMISO: _____

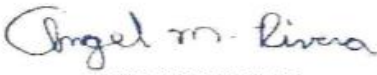
Yo, Angel M. Rivera, mayor de edad, casado, y vecino de Guayama
(Nombre) (Estado Civil) (Municipio)

Dirección Postal RR8 Box 1995 PMB 313 Bayamón, PR 00956
(Pueblo) (Zip Code)

Teléfonos: Residencial (787) 607 - 8965 Oficina (787) 994 - 2203 Ext. _____
Fax () -

Certifico que:

1. La estructura localizada en Plazas del Pilar y de la Convalecencia en la Calle Georgetti y Arzuaga Rio Piedras en San Juan, PR, la cual será objeto de una demolición se encuentra libre de asbesto.
2. La información antes indicada es cierta y correcta.
3. Afirmo y reconozco las consecuencias de incluir y someter información falsa en este documento.
4. Para que así conste, firmo la presente certificación en Bayamón de Puerto Rico, hoy día 5 de diciembre de 2023 (Municipio)



ASB-0623-0270-SI
Firma y Sello del Profesional o
Firma del Inspector de Asbesto registrado por la JCA (Original)

Nota: Ingenieros o Arquitectos deberán someter evidencia de que se encuentra al día en el pago de sus cuotas de colegiación e Inspectores de Asbesto deberán someter evidencia de la tarjeta de registro provista por la JCA.

Dirección Física: Ave. Ponce de León 1308, Carr. Estatal 8838, Sector el Cinco, Río Piedras, PR 00926
Dirección Postal: Apartado 11488, Santurce, PR 00910-1488
Tel. (787) 767-8181 • Fax (787) 767-1962





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APPENDIX IV

CONCLUSION

After evaluating the above mentioned project, our company Global Environmental Services LLC certifies Asbestos free for the **Plazas del Pilar & de la Convalecencia** in Georgetti & Arzuaga Streets Rio Piedras in San Juan, PR of December 5, 2023.



**CERTIFICACION DE NO PRESENCIA DE ASBESTO
EN ESTRUCTURAS A DEMOLERSE**
(Deberá completarse en letra de molde o impresa)

NUM. PERMISO: _____

Yo, Angel M. Rivera, mayor de edad, casado, y vecino de Guayama
(Nombre) (Estado Civil) (Municipio)

Dirección Postal RR8 Box 1995 PMB 313 Bayamón, PR 00956
(Pueblo) (Zip Code)

Teléfonos: Residencial (787) 607 - 8965 Oficina (787) 994 - 2203 Ext. _____
Fax () -

Certifico que:

1. La estructura localizada en Plazas del Pilar y de la Convalecencia en la Calle Georgetti y Arzuaga Río Piedras en San Juan, PR, la cual será objeto de una demolición se encuentra libre de asbesto.
2. La información antes indicada es cierta y correcta.
3. Afirmo y reconozco las consecuencias de incluir y someter información falsa en este documento.
4. Para que así conste, firmo la presente certificación en Bayamón de Puerto Rico, (Municipio)
hoy día 5 de diciembre de 2023

ASB-0623-0270-SI

Firma y Sello del Profesional o
Firma del Inspector de Asbesto registrado por la JCA (Original)

Nota: Ingenieros o Arquitectos deberán someter evidencia de que se encuentra al día en el pago de sus cuotas de colegiación e Inspectores de Asbesto deberán someter evidencia de la tarjeta de registro provista por la JCA.



GLOBAL ENVIRONMENTAL SERVICES LLC

Asbestos & Lead Based Paint Survey/Environmental Consultants Services/Industrial Hygiene/ Indoor Air Quality
DNER & EPA Permits and Certifications

RRS BOX 1995 PMB 313 BAYAMON, PR 00956 [EM@IL: globalespr@gmail.com](mailto:globalespr@gmail.com) PHONES: 787-994-2203 /787-607-8965

ASBESTOS INSPECTOR CERTIFICATION

	<p>TARJETA DE REGISTRO PARA LA REMOCION DE ASBESTO</p> <p>Esta tarjeta autoriza a:</p> <p><u>Ángel M. Rivera Guido</u></p> <p>Inspector</p> <p>A trabajar en la remoción de asbesto en Puerto Rico. Esta persona NO es un empleado del DRNA.</p> <p></p> <p>Firma Autorizada - Departamento Recursos Naturales y Ambientales</p>
<p>ASB-0623-0270-SI</p>	
<p>Número de Registro</p>	
<p>16-abr-2024</p>	
<p>Fecha de vencimiento</p>	



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Asbestos & Lead Based Paint Survey/ Environmental Consultants/ Industrial Hygiene/ Indoor Air Quality
DNER Permits / EPA Permits & Certifications EM@IL: globalespr@gmail.com
POSTAL ADDRESS: RR8 BOX 1995 PMB 313 BAYAMON, PR 00956 Phones: 787-994-2203 . 787-607-8965

Lead Based Paint Inspection



SAMPLING CONDUCTED AT:
Plazas del Pilar & de la Convalecencia
Located at Georgetti & Arzuaga Streets Rio Piedras
in San Juan, PR



GES Project # -2023-231

DECEMBER 2023



GLOBAL ENVIRONMENTAL SERVICES LLC

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GLOBAL ENVIRONMENTAL SERVICES LLC

*Asbestos & Lead Based Paint Survey/ Environmental Consultants/ Industrial Hygiene/ Indoor Air Quality
DNER Permits / EPA Permits & Certifications*

December 12, 2023

Arch. Istra Hernandez
President
Hernandez-Bauza PSC, Architects
PO Box 361090 San Juan, PR 00936

Affair: Lead Based Paint Inspection in Plazas del Pilar & de la Convalecencia located at Georgetti & Arzuaga Streets Rio Piedras in San Juan, PR

Dear Arch. Hernandez:

Global Environmental Services LLC (GES) was contracted to perform a Lead Based Paint Inspection at reference project.

The Lead Paint Standard is in Addendum I of the Report. Project Photos in Addendum III of the report.

The Inspection performance with Thermo Fisher Scientific XRF Niton Model Xlp 300A Serial Number #114943 was conducted using H.U.D. Standard for Lead Based Paint as defined by Title X of Housing and Community Department Act of 1992 (unless HUD and EPA have lowered the standard) & Guidelines for the Evaluation and Control of Lead Based Paint in Housing of 1997, revised in 2012 and Regulation # 9098 of the year 2019-Department of Natural and Environmental Resources of Puerto Rico (DNER) for the proper management of Lead Based Paint Activities.

The Lead Based Paint Inspection was conducted on December 2, 2023 by Mr. Angel M. Rivera, Department of Natural and Environmental Resources of Puerto Rico (DNER) certified Lead Based Paint Inspector # LBPI-33222-379 with enough experience.

The project consisted of evaluation in components (requested areas) in Plazas located in Rio Piedras San Juan, PR. During the evaluation **all components were negative** with Lead Based Paint in said project.

Negative Definition= If the lead concentration measured by the XRF Spectrum Analyzer is less than 1.0 mg/cm² it is considered negative.

Positive Definition= If the concentration measured by the XRF Spectrum Analyzer is equal or greater than 1.0 mg/cm² it is considered **Positive**.



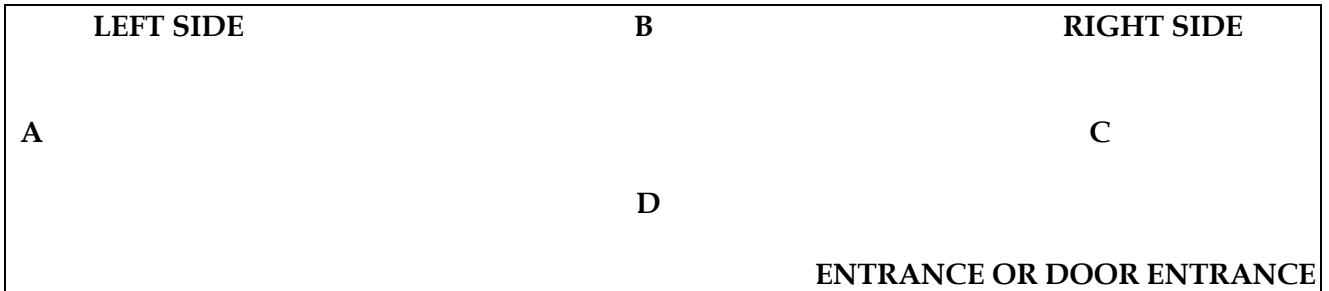
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TABLE- LEAD REGULATORY LEVELS	
	<i>EPA & DNER Levels</i>
LEAD BASED PAINT	1.0mg/cm2 or 0.5% by weight (or 5,000 ppm)

Lead Based Paint Inspection Guidelines used during the inspection.

SOP: Standard Operation Procedure :



Thank you for the opportunity, any questions, please call 787-994-2203 and 787-607-8965 or email globalespr@gmail.com.

Cordially;

Mr. Angel O. Ortega JS
Environmental Consultant
President

Mr. Angel M. Rivera
Lead Based Paint Inspector LBPI-33222-379



GLOBAL ENVIRONMENTAL SERVICES LLC

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ADDENDUM I

THE LEAD PAINT STANDARD



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ThermoFisher SCIENTIFIC	Lead Paint Standard	Surface Lead mg/cm ² PN 500-934
<p>< 0.01 ± ----- SRM 2570</p>		<p>3.58 ± 0.39 SRM 2571</p>
<p>XRF Calibration Check Units 1.04 ± 0.06 SRM 2573 For a 20 sec sam- ple, the reading should be: 0.8 to 1.2 mg/cm²</p>		<p>1.53 ± 0.09 SRM 2572</p>
<p>0.71 ± 0.08 SRM 2574</p>		<p>0.31 ± 0.02 SRM 2575</p>

Americas Thermo Scientific 2 Radcliff Road Tewksbury, MA 01876 USA Tel USA: 800-875-1578 Tel: +1 978-670-7460 Fax: +1 978-670-7430 niton@thermofisher.com	Europe and Africa Thermo Scientific Joseph-Dollinger-Bogen 9 80807 Munich Germany Office: +49 89 3681 380 Fax: +49 89 3681 3830 niton.eur@thermofisher.com	Asia and the Middle East Thermo Scientific Unit 23, 5/F, Corporation Park, 11 On Lai Street, Siu Lek Yuen, Shatin, NT, Hong Kong. Office: +852 2869 6669 Fax: +852 2567 4447 niton.asia@thermofisher.com
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GLOBAL ENVIRONMENTAL SERVICES LLC

*Asbestos & Lead Based Paint Survey/ Environmental Consultants/ Industrial Hygiene/ Indoor Air Quality
DNER Permits / EPA Permits & Certifications*

ADDENDUM II

PERFORMANCE CHARACTERISTIC SHEET (PCS)-

XRF NITON XLP SERIE #300A



GLOBAL ENVIRONMENTAL SERVICES LLC

Asbestos & Lead Based Paint Survey/ Environmental Consultants/ Industrial Hygiene/ Indoor Air Quality
DNER Permits / EPA Permits & Certifications

Niton XLp 300, 9/24/2004, ed. 1

Performance Characteristic Sheet

EFFECTIVE DATE: September 24, 2004

EDITION NO.: 1

MANUFACTURER AND MODEL:

Make: Niton LLC

Tested Model: XLp 300

Source: ¹⁰⁹Cd

Note: This PCS is also applicable to the equivalent model variations indicated below, for the Lead-in-Paint K+L variable reading time mode, in the XLi and XLp series:

XLi 300A, XLi 301A, XLi 302A and XLi 303A.

XLp 300A, XLp 301A, XLp 302A and XLp 303A.

XLi 700A, XLi 701A, XLi 702A and XLi 703A.

XLp 700A, XLp 701A, XLp 702A, and XLp 703A.

Note: The XLi and XLp versions refer to the shape of the handle part of the instrument. The differences in the model numbers reflect other modes available, in addition to Lead-in-Paint modes. The manufacturer states that specifications for these instruments are identical for the source, detector, and detector electronics relative to the Lead-in-Paint mode.

FIELD OPERATION GUIDANCE

OPERATING PARAMETERS:

Lead-in-Paint K+L variable reading time mode.

XRF CALIBRATION CHECK LIMITS:

0.8 to 1.2 mg/cm² (inclusive)

The calibration of the XRF instrument should be checked using the paint film nearest 1.0 mg/cm² in the NIST Standard Reference Material (SRM) used (e.g., for NIST SRM 2579, use the 1.02 mg/cm² film).

If readings are outside the acceptable calibration check range, follow the manufacturer's instructions to bring the instruments into control before XRF testing proceeds.

SUBSTRATE CORRECTION:

For XRF results using Lead-in-Paint K+L variable reading time mode, substrate correction is not needed for:

Brick, Concrete, Drywall, Metal, Plaster, and Wood

INCONCLUSIVE RANGE OR THRESHOLD:

K+L MODE READING DESCRIPTION	SUBSTRATE	THRESHOLD (mg/cm ²)
Results not corrected for substrate bias on any substrate	Brick	1.0
	Concrete	1.0
	Drywall	1.0
	Metal	1.0
	Plaster	1.0
	Wood	1.0

1 of 3



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Niton XLP 300, 9/24/2004, ed. 1

BACKGROUND INFORMATION

EVALUATION DATA SOURCE AND DATE:

This sheet is supplemental information to be used in conjunction with Chapter 7 of the HUD *Guidelines for the Evaluation and Control of Lead-Based Paint Hazards in Housing* ("HUD Guidelines"). Performance parameters shown on this sheet are calculated from the EPA/HUD evaluation using archived building components. Testing was conducted in August 2004 on 133 testing combinations. The instruments that were used to perform the testing had new sources; one instrument's was installed in November 2003 with 40 mCi initial strength, and the other's was installed June 2004 with 40 mCi initial strength.

OPERATING PARAMETERS:

Performance parameters shown in this sheet are applicable only when properly operating the instrument using the manufacturer's instructions and procedures described in Chapter 7 of the HUD Guidelines.

SUBSTRATE CORRECTION VALUE COMPUTATION:

Substrate correction is not needed for brick, concrete, drywall, metal, plaster or wood when using Lead-in-Paint K+L variable reading time mode, the normal operating mode for these instruments. If substrate correction is desired, refer to Chapter 7 of the HUD Guidelines for guidance on correcting XRF results for substrate bias.

EVALUATING THE QUALITY OF XRF TESTING:

Randomly select ten testing combinations for retesting from each house or from two randomly selected units in multifamily housing. Use the K+L variable time mode readings.

Conduct XRF retesting at the ten testing combinations selected for retesting.

Determine if the XRF testing in the units or house passed or failed the test by applying the steps below.

Compute the Retest Tolerance Limit by the following steps:

Determine XRF results for the original and retest XRF readings. Do not correct the original or retest results for substrate bias. In single-family housing a result is defined as the average of three readings. In multifamily housing, a result is a single reading. Therefore, there will be ten original and ten retest XRF results for each house or for the two selected units.

Calculate the average of the original XRF result and retest XRF result for each testing combination.

Square the average for each testing combination.

Add the ten squared averages together. Call this quantity C.

Multiply the number C by 0.0072. Call this quantity D.

Add the number 0.032 to D. Call this quantity E.

Take the square root of E. Call this quantity F.

Multiply F by 1.645. The result is the Retest Tolerance Limit.

Compute the average of all ten original XRF results.

Compute the average of all ten re-test XRF results.

Find the absolute difference of the two averages.

2 of 3



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Niton XLP 300, 9/24/2004, ed. 1

If the difference is less than the Retest Tolerance Limit, the inspection has passed the retest. If the difference of the overall averages equals or exceeds the Retest Tolerance Limit, this procedure should be repeated with ten new testing combinations. If the difference of the overall averages is equal to or greater than the Retest Tolerance Limit a second time, then the inspection should be considered deficient.

Use of this procedure is estimated to produce a spurious result approximately 1% of the time. That is, results of this procedure will call for further examination when no examination is warranted in approximately 1 out of 100 dwelling units tested.

TESTING TIMES:

For the Lead-in-Paint K+L variable reading time mode, the instrument continues to read until it is moved away from the testing surface, terminated by the user, or the instrument software indicates the reading is complete. The following table provides testing time information for this testing mode. The times have been adjusted for source decay, normalized to the initial source strengths as noted above. Source strength and type of substrate will affect actual testing times. At the time of testing, the instruments had source strengths of 26.6 and 36.6 mCi.

Testing Times Using K+L Reading Mode (Seconds)						
Substrate	All Data			Median for laboratory-measured lead levels (mg/cm ²)		
	25 th Percentile	Median	75 th Percentile	Pb < 0.25	0.25 ≤ Pb < 1.0	1.0 ≤ Pb
Wood Drywall	4	11	19	11	15	11
Metal	4	12	18	9	12	14
Brick Concrete Plaster	8	16	22	15	18	16

CLASSIFICATION RESULTS:

XRF results are classified as positive if they are greater than or equal to the threshold, and negative if they are less than the threshold.

DOCUMENTATION:

A document titled *Methodology for XRF Performance Characteristic Sheets* provides an explanation of the statistical methodology used to construct the data in the sheets, and provides empirical results from using the recommended inconclusive ranges or thresholds for specific XRF instruments. For a copy of this document call the National Lead Information Center Clearinghouse at 1-800-424-LEAD.

This XRF Performance Characteristic Sheet was developed by the Midwest Research Institute (MRI) and QuanTech, Inc., under a contract between MRI and the XRF manufacturer. HUD has determined that the information provided here is acceptable when used as guidance in conjunction with Chapter 7, Lead-Based Paint Inspection, of HUD's *Guidelines for the Evaluation and Control of Lead-Based Paint Hazards in Housing*.



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ADDENDUM III

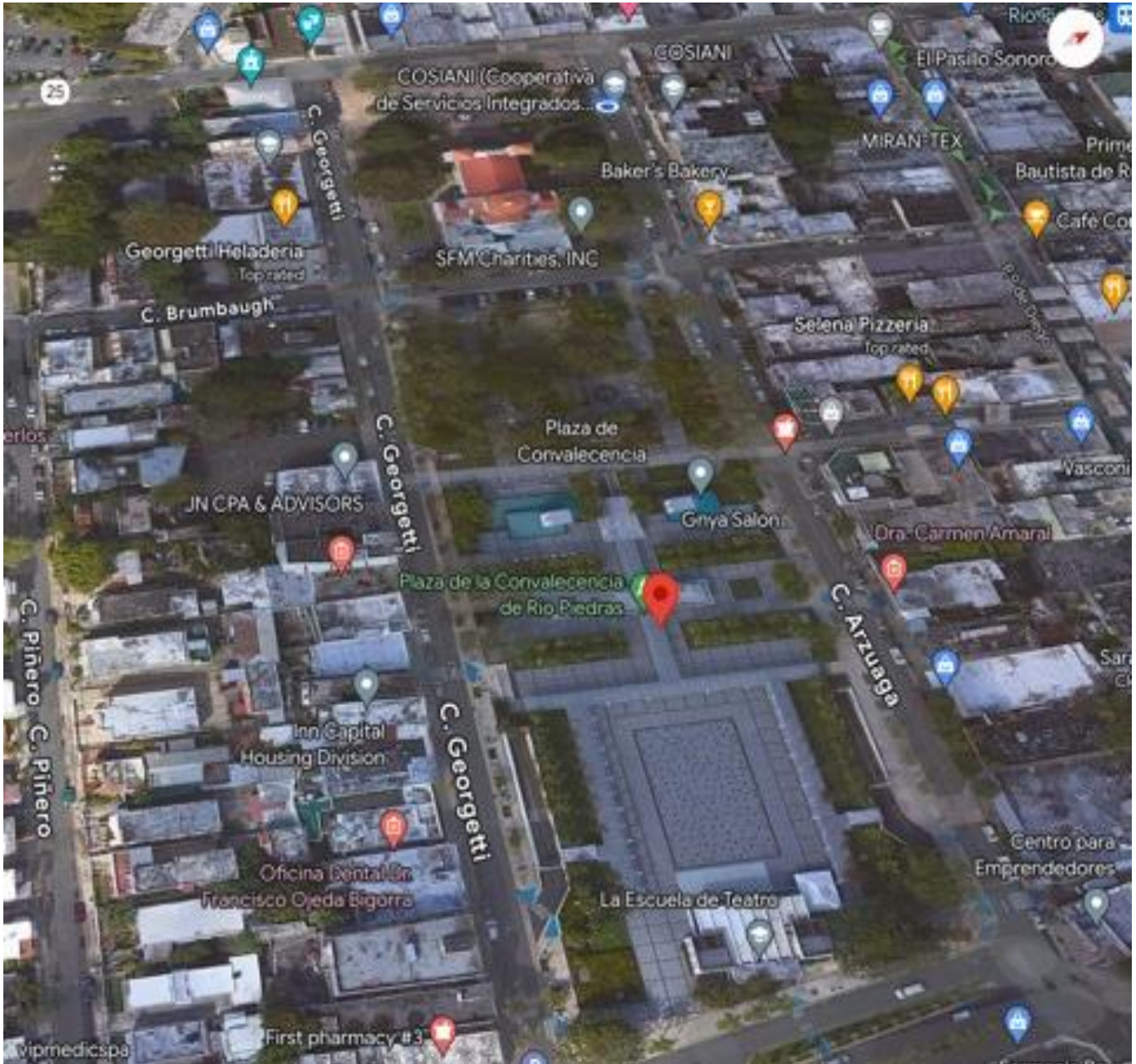
SITE AREA & FUNCTIONAL SPACES



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SITE AREA



COORDINATES TO GET TO THE PROJECT:

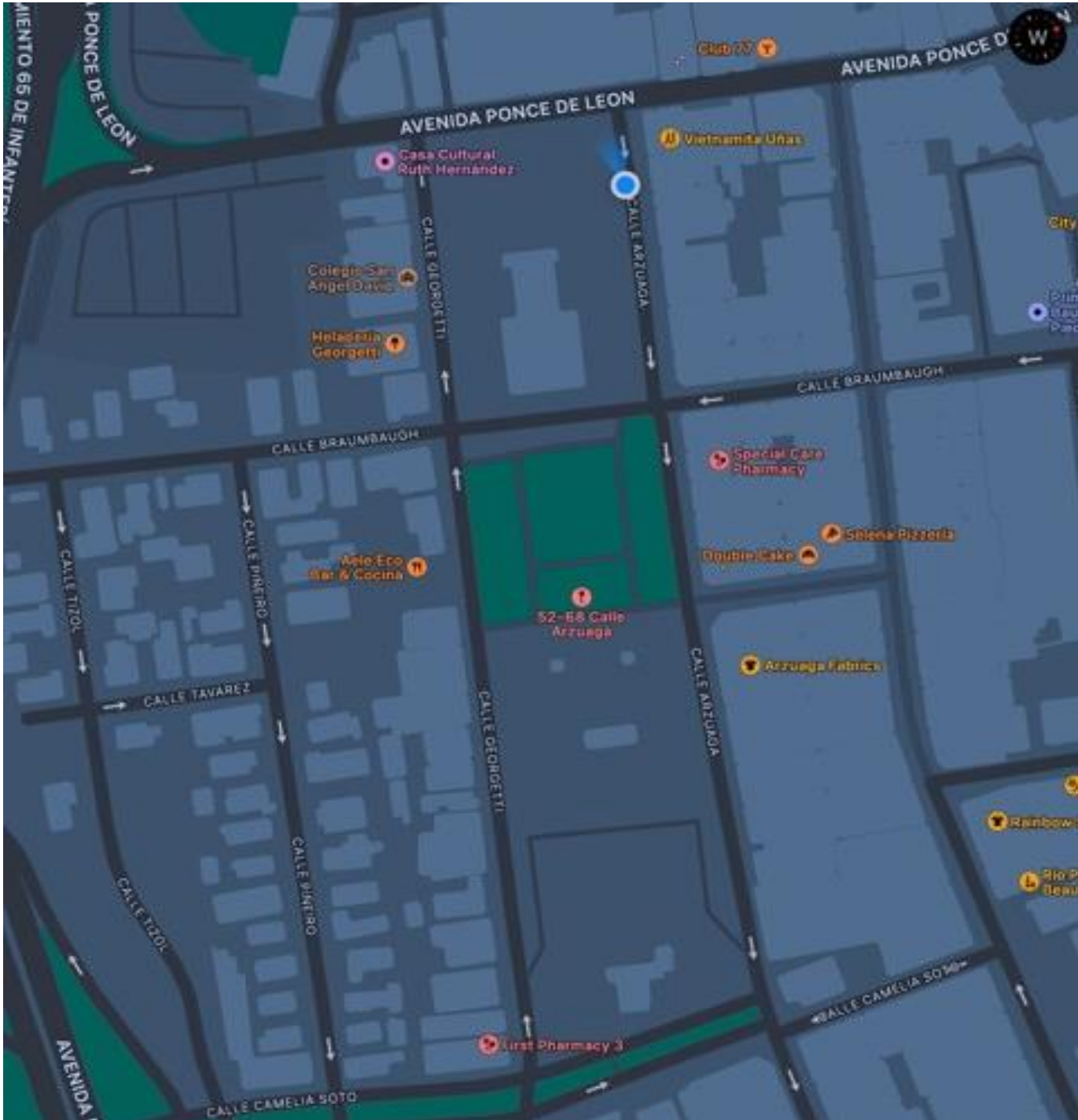
18.3975542, -66.0505479



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SITE AREA





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SITE AREA

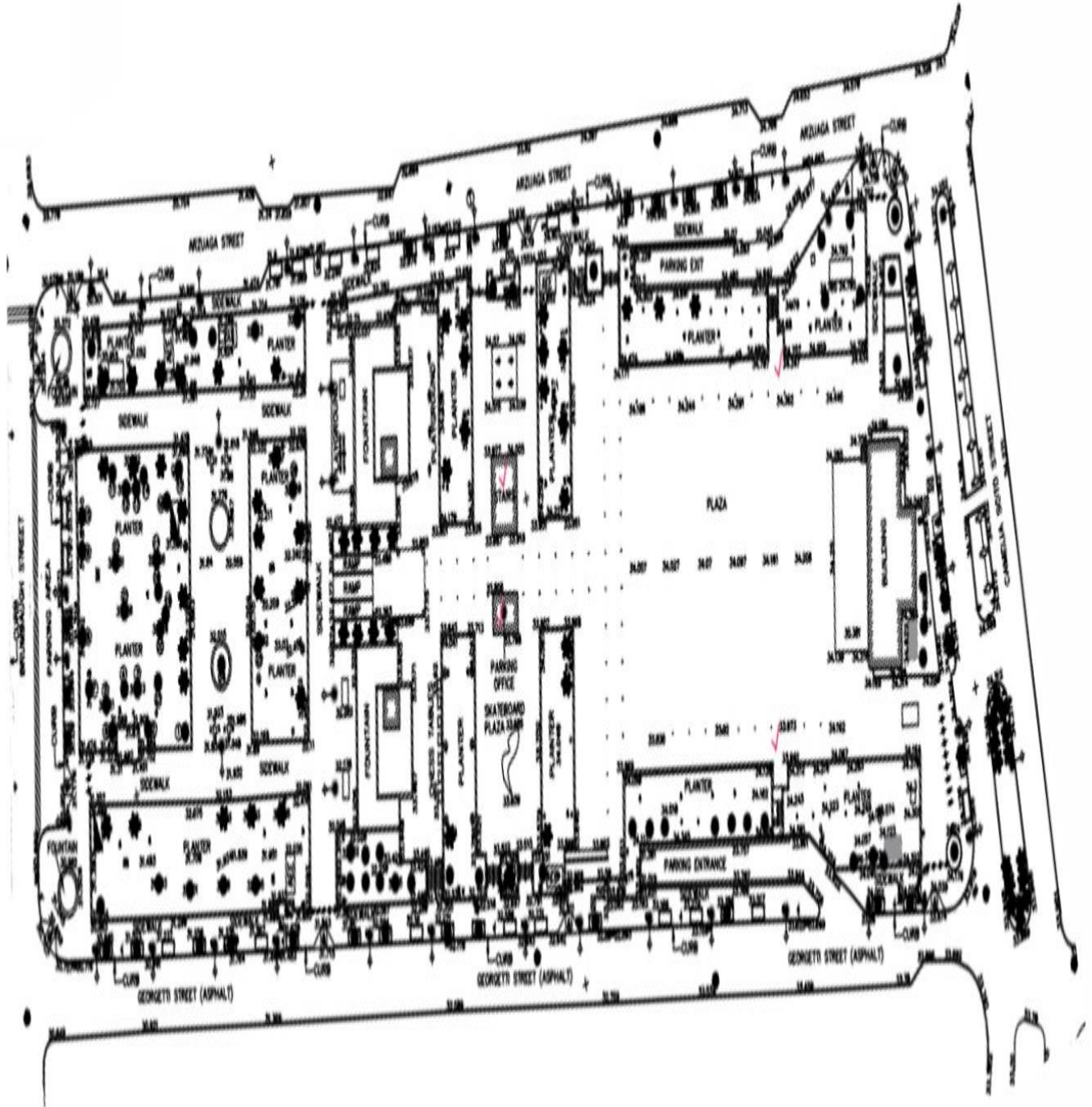




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LAYOUT AND FUNCTIONAL SPACES



NOT TO SCALE



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AERIAL VIEW





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ADDENDUM IV

*CERTIFICATIONS GRANTED BY THE DEPARTMENT OF
NATURAL AND ENVIRONMENTAL RESOURCES OF
PUERTO RICO*



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GLOBAL ENVIRONMENTAL SERVICES LLC COMPANY LEAD CERTIFICATION





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MR. ANGEL M. RIVERA - LEAD BASED PAINT INSPECTOR CERTIFICATION





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ADDENDUM V

LBP TESTING COMBINATIONS



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GES 2023- 231	XRF Serial Number: 114943	Project: Plaza del Pilar & de la Convalecencia in San Juan, PR	Client: Hernandez- Bauza PSC Architects	LBP Inspector: Mr. Angel M. Rivera	Date: December 2, 2023	Page 21/29	
Sample ID	Functional Space	Component	Side	Substrate	XRF Reading (mg/cm ²)	Result Pos./ Neg.	Approx. Sq. ft./Ln. Ft.
1	Calibrate				0.9		
2	Calibrate				0.9		
3	Calibrate				1.0		
4	Plaza del Pilar	Planter	A	Concrete	0.01	Neg.	
5	Plaza del Pilar	Planter	A	Concrete	0.01	Neg.	
6	Plaza del Pilar	Planter	A	Concrete	0.01	Neg.	
7	Plaza del Pilar	Planter	A	Concrete	0.01	Neg.	
8	Plaza del Pilar	Planter	A	Concrete	0.01	Neg.	
9	Plaza del Pilar	Planter	A	Concrete	0.01	Neg.	
10	Plaza del Pilar	Planter	A	Concrete	0.01	Neg.	
11	Plaza del Pilar	Planter	A	Concrete	0.01	Neg.	
12	Plaza del Pilar	Planter	C	Concrete	0.01	Neg.	
13	Plaza del Pilar	Planter	C	Concrete	0.02	Neg.	
14	Plaza del Pilar	Planter	C	Concrete	0.01	Neg.	
15	Plaza del Pilar	Planter	C	Concrete	0.02	Neg.	
16	Plaza del Pilar	Planter	C	Concrete	0.02	Neg.	
17	Plaza del Pilar	Planter	C	Concrete	0.01	Neg.	
18	Plaza del Pilar	Planter	C	Concrete	0.02	Neg.	
19	Plaza del Pilar	Planter	C	Concrete	0.01	Neg.	
20	Plaza del Pilar	Planter	Center Side	Concrete	0.02	Neg.	
21	Plaza del Pilar	Planter	Center	Concrete	0.00	Neg.	
22	Plaza del Pilar	Planter	Center Side	Concrete	0.01	Neg.	
23	Plaza del Pilar	Planter	Center Side	Concrete	0.01	Neg.	
24	Plaza del Pilar	Canopy	A	Concrete	0.01	Neg.	



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	XRF Serial Number: 114943	Project: Plaza del Pilar & de la Convalecencia in San Juan, PR	Client: Hernandez- Bauza PSC Architects	LBP Inspector: Mr. Angel M. Rivera	Date: December 2, 2023		
Sample ID	Functional Space	Component	Side	Substrate	XRF Reading (mg/cm ²)	Result Pos/ Neg.	Approx. Sq. ft./ Ln. Ft.
25	Plaza del Pilar	Canopy	A	Concrete	0.01	Neg.	
26	Plaza Convalecencia Stair (Center Side) Exterior	Wall	A	Concrete	0.01	Neg.	
27	Plaza Convalecencia Stair (Center Side) Exterior	Wall	B	Concrete	0.01	Neg.	
28	Plaza Convalecencia Stair (Center Side) Exterior	Wall	C	Concrete	0.02	Neg.	
29	Plaza Convalecencia Stair (Center Side) Exterior	Wall	D	Concrete	0.02	Neg.	
30	Plaza Convalecencia Stair (Center Side) Exterior	Wall	A	Metal	0.01	Neg.	
31	Plaza Convalecencia Stair (Center Side) Exterior	Wall	B	Metal	0.01	Neg.	
32	Plaza Convalecencia Stair (Center Side) Exterior	Wall	C	Metal	0.01	Neg.	
33	Plaza Convalecencia Stair (Center Side) Exterior	Wall	D	Metal	0.01	Neg.	
34	Plaza Convalecencia Stair (Center Side)	Wall	A	Concrete	0.01	Neg.	
35	Plaza Convalecencia Stair (Center Side)	Wall	B	Concrete	0.01	Neg.	
36	Plaza Convalecencia Stair (Center Side)	Wall	C	Concrete	0.02	Neg.	
37	Plaza Convalecencia Stair (Center Side)	Wall	D	Concrete	0.02	Neg.	
38	Plaza Convalecencia Stair (Center Side)	Floor	Floor	Concrete	0.00	Neg.	
39	Plaza Convalecencia Stair (Center Side)	Ceiling	Top	Concrete	0.01	Neg.	
40	Plaza Convalecencia Stair (Center Side)	Handrail	A	Metal	0.02	Neg.	
41	Plaza Convalecencia Stair (Center Side)	Handrail	C	Metal	0.02	Neg.	



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GES 2023- 231	Asbestos & Lead Based Paint Survey/ Environmental Consultants/ Industrial Hygiene/ Indoor Air Quality DNER Permits / EPA Permits & Certifications					Page 23/29	
	XRF Serial Number: 114943	Project: Plaza del Pilar & de la Convalecencia in San Juan, PR	Client: Hernandez- Bauza PSC Architects	LBP Inspector: Mr. Angel M. Rivera	Date: December 2, 2023		
Sample ID	Functional Space	Component	Side	Substrate	XRF Reading (mg/cm ²)	Result Pos/ Neg.	Approx. Sq. ft./ Ln. Ft.
42	Plaza Convalecencia Parking Office Exterior	Wall	A	Concrete	0.01	Neg.	
43	Plaza Convalecencia Parking Office Exterior	Wall	B	Concrete	0.01	Neg.	
44	Plaza Convalecencia Parking Office Exterior	Wall	C	Concrete	0.02	Neg.	
45	Plaza Convalecencia Parking Office Exterior	Wall	D	Concrete	0.02	Neg.	
46	Plaza Convalecencia Parking Office Exterior	Wall	A	Metal	0.01	Neg.	
47	Plaza Convalecencia Parking Office Exterior	Wall	B	Metal	0.01	Neg.	
48	Plaza Convalecencia Parking Office Exterior	Wall	C	Metal	0.01	Neg.	
49	Plaza Convalecencia Parking Office Exterior	Wall	D	Metal	0.01	Neg.	
50	Plaza Convalecencia Parking Office	Door	D	Metal	0.02	Neg.	
51	Plaza Convalecencia Parking Office	Door Frame	D	Metal	0.02	Neg.	
52	Plaza Convalecencia Parking Office	Wall	A	Concrete	0.01	Neg.	
53	Plaza Convalecencia Parking Office	Wall	B	Concrete	0.01	Neg.	
54	Plaza Convalecencia Parking Office	Wall	C	Concrete	0.02	Neg.	
55	Plaza Convalecencia Parking Office	Wall	D	Concrete	0.02	Neg.	
56	Plaza Convalecencia Parking Office	Floor	Floor	Concrete	0.00	Neg.	
57	Plaza Convalecencia Parking Office	Ceiling	Top	Concrete	0.01	Neg.	



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GES 2023- 231	Asbestos & Lead Based Paint Survey/ Environmental Consultants/ Industrial Hygiene/ Indoor Air Quality DNER Permits / EPA Permits & Certifications					Page 24/29	
	XRF Serial Number: 114943	Project: Plaza del Pilar & de la Convalecencia in San Juan, PR	Client: Hernandez- Bauza PSC Architects	LBP Inspector: Mr. Angel M. Rivera	Date: December 2, 2023		
Sample ID	Functional Space	Component	Side	Substrate	XRF Reading (mg/cm ²)	Result Pos/ Neg.	Approx. Sq. ft./ Ln. Ft.
58	Plaza Convalecencia Parking Office	Handrail	A	Metal	0.02	Neg.	
59	Plaza Convalecencia Parking Office	Handrail	C	Metal	0.02	Neg.	
60	Plaza Convalecencia Stair (North Side) Exterior	Wall	A	Concrete	0.01	Neg.	
61	Plaza Convalecencia Stair (North Side) Exterior	Wall	B	Concrete	0.01	Neg.	
62	Plaza Convalecencia Stair (North Side) Exterior	Wall	C	Concrete	0.02	Neg.	
63	Plaza Convalecencia Stair (North Side) Exterior	Wall	D	Concrete	0.02	Neg.	
64	Plaza Convalecencia Stair (North Side) Exterior	Wall	A	Metal	0.01	Neg.	
65	Plaza Convalecencia Stair (North Side) Exterior	Wall	B	Metal	0.01	Neg.	
66	Plaza Convalecencia Stair (North Side) Exterior	Wall	C	Metal	0.01	Neg.	
67	Plaza Convalecencia Stair (North Side) Exterior	Wall	D	Metal	0.01	Neg.	
68	Plaza Convalecencia Stair (North Side)	Wall	A	Concrete	0.01	Neg.	
69	Plaza Convalecencia Stair (North Side)	Wall	B	Concrete	0.01	Neg.	
70	Plaza Convalecencia Stair (North Side)	Wall	C	Concrete	0.02	Neg.	
71	Plaza Convalecencia Stair (North Side)	Wall	D	Concrete	0.02	Neg.	
72	Plaza Convalecencia Stair (North Side)	Floor	Floor	Concrete	0.00	Neg.	
73	Plaza Convalecencia Stair (North Side)	Ceiling	Top	Concrete	0.01	Neg.	



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GES 2023- 231	Asbestos & Lead Based Paint Survey/ Environmental Consultants/ Industrial Hygiene/ Indoor Air Quality		DNER Permits / EPA Permits & Certifications			Page 25/29	
	XRF Serial Number: 114943	Project: Plaza del Pilar & de la Convalecencia in San Juan, PR	Client: Hernandez- Bauza PSC Architects	LBP Inspector: Mr. Angel M. Rivera	Date: December 2, 2023	Result Pos/ Neg.	Approx. Sq. ft./ Ln. Ft.
Sample ID	Functional Space	Component	Side	Substrate	XRF Reading (mg/cm ²)	Result Pos/ Neg.	Approx. Sq. ft./ Ln. Ft.
74	Plaza Convalecencia Stair (North Side)	Handrail	A	Metal	0.02	Neg.	
75	Plaza Convalecencia Stair (North Side)	Handrail	C	Metal	0.02	Neg.	
76	Plaza Convalecencia Stair (South Side) Exterior	Wall	A	Concrete	0.01	Neg.	
77	Plaza Convalecencia Stair (South Side) Exterior	Wall	B	Concrete	0.01	Neg.	
78	Plaza Convalecencia Stair (South Side) Exterior	Wall	C	Concrete	0.02	Neg.	
79	Plaza Convalecencia Stair (South Side) Exterior	Wall	D	Concrete	0.02	Neg.	
80	Plaza Convalecencia Stair (South Side) Exterior	Wall	A	Metal	0.01	Neg.	
81	Plaza Convalecencia Stair (South Side) Exterior	Wall	B	Metal	0.01	Neg.	
82	Plaza Convalecencia Stair (South Side) Exterior	Wall	C	Metal	0.01	Neg.	
83	Plaza Convalecencia Stair (South Side) Exterior	Wall	D	Metal	0.01	Neg.	
84	Plaza Convalecencia Stair (South Side)	Wall	A	Concrete	0.01	Neg.	
85	Plaza Convalecencia Stair (South Side)	Wall	B	Concrete	0.01	Neg.	
86	Plaza Convalecencia Stair (South Side)	Wall	C	Concrete	0.02	Neg.	
87	Plaza Convalecencia Stair (South Side)	Wall	D	Concrete	0.02	Neg.	
88	Plaza Convalecencia Stair (South Side)	Floor	Floor	Concrete	0.00	Neg.	
89	Plaza Convalecencia Stair (South Side)	Ceiling	Top	Concrete	0.01	Neg.	



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<i>Asbestos & Lead Based Paint Survey/ Environmental Consultants/ Industrial Hygiene/ Indoor Air Quality</i> <i>DNER Permits / EPA Permits & Certifications</i>							
GES 2023- 231	XRF Serial Number: 114943	Project: Plaza del Pilar & de la Convalecencia in San Juan, PR	Client: Hernandez- Bauza PSC Architects	LBP Inspector: Mr. Angel M. Rivera	Date: December 2, 2023	Page 26/29	
<i>Sample ID</i>	<i>Functional Space</i>	<i>Component</i>	<i>Side</i>	<i>Substrate</i>	<i>XRF Reading (mg/cm²)</i>	<i>Result Pos/ Neg.</i>	<i>Approx. Sq. ft./ Ln. Ft.</i>
90	Plaza Convalecencia Stair (South Side)	Handrail	A	Metal	0.02	Neg.	
91	Plaza Convalecencia Stair (South Side)	Handrail	C	Metal	0.02	Neg.	
92	Calibrate				1.0		
93	Calibrate				1.0		
94	Calibrate				1.1		



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ADDENDUM VI

LEAD BASED PAINT NEGATIVE CERTIFICATION



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GOBIERNO DE PUERTO RICO
OFICINA DEL GOBERNADOR
JUNTA DE CALIDAD AMBIENTAL



Área de Calidad de Agua

Forma PGC-010

CERTIFICACION DE NO PRESENCIA DE PINTURA CON BASE DE PLOMO EN ESTRUCTURAS A DEMOLERSE (Deberá completarse en letra de molde o impresa)

NUM. PERMISO: _____

Yo, Angel O. Ortega, mayor de edad, casado, y vecino de Bayamón
(Inspector o Evaluador de Riesgos) (Estado Civil) (Municipio)

Dirección Postal RR8 Box 1995 PMB 313 Bayamón, PR 00956
(Pueblo) (Zip Code)

Teléfonos: Residencial (787) 607 - 8965 Oficina (787) 994 - 2203 Ext. _____
Fax () - _____

Certifico que:

1. Estoy certificado por la Junta de Calidad Ambiental como (Inspector / Evaluador de Riesgos) con Número de Certificación LBPI-33222-379, la cual se encuentra vigente. (solamente en las areas solicitadas) en las Plazas del Pilar y de la Convalecencia en la Calle Georgetti y Arzuaga Río Piedras en San Juan, PR la cual será objeto de una demolición se encuentra libre de pintura con base de plomo.
2. La estructura localizada en de la Convalecencia en la Calle Georgetti y Arzuaga Río Piedras en San Juan, PR la cual será objeto de una demolición se encuentra libre de pintura con base de plomo.
3. La información antes indicada es cierta y correcta.
4. Afirmo y reconozco las consecuencias de incluir y someter información falsa en este documento.
5. Para que así conste, firmo la presente certificación en Bayamón de Puerto Rico, hoy día 5 de diciembre de 2023 (Municipio)

Angel m. Rivera

LBPI-33222-379

Firma del Inspector o Evaluador de Riesgos (en original)

Nota : Deberá someter evidencia de la tarjeta o certificado provista por la JCA.

Dirección Física: Ave. Ponce de León 1308, Carr. Estatal 8838, Sector el Cinco, Río Piedras, PR 00926
Dirección Postal: Apartado 11488, Santurce, PR 00910-1488
Tel. (787) 767-8181 • Fax (787) 767-1962





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ADDENDUM VII

CONCLUSION

After evaluating the above mentioned project, our company Global Environmental Services LLC certifies Lead Based Paint free (requested areas only) for the **Plazas del Pilar & de la Convalecencia** in Georgetti & Arzuaga Streets Rio Piedras in San Juan, PR of December 5, 2023.



**CERTIFICACION DE NO PRESENCIA DE PINTURA CON BASE DE PLOMO
EN ESTRUCTURAS A DEMOLERSE**
(Deberá completarse en letra de molde o impresa)

NUM. PERMISO: _____

Yo, Angel O. Ortega, mayor de edad, casado, y vecino de Bayamón
(Inspector o Evaluador de Riesgos) (Estado Civil) (Municipio)

Dirección Postal RR8 Box 1995 PMB 313 Bayamón, PR 00956
(Pueblo) (Zip Code)

Teléfonos: Residencial (787) 607 - 8965 Oficina (787) 994 - 2203 Ext. _____
Fax (_____) _____ - _____

Certifico que:

1. Estoy certificado por la Junta de Calidad Ambiental como (Inspector / Evaluador de Riesgos) con Número de Certificación LBPI-33222-379, la cual se encuentra vigente.
(solamente en las areas solicitadas) en las Plazas del Pilar y
2. La estructura localizada en de la Convalecencia en la Calle Georgetti y Arzuaga Rio Piedras en San Juan, PR, la cual será objeto de una demolición se encuentra libre de pintura con base de plomo.
3. La información antes indicada es cierta y correcta.
4. Afirmo y reconozco las consecuencias de incluir y someter información falsa en este documento.
5. Para que así conste, firmo la presente certificación en Bayamón de Puerto Rico,
(Municipio)
hoy día 5 de diciembre de 2023

Angel m. Rivera

LBPI-33222-379

Firma del Inspector o Evaluador de Riesgos (en original)

Nota : Deberá someter evidencia de la tarjeta o certificado provista por la JCA.

GLOBAL ENVIRONMENTAL SERVICES LLC

Asbestos & Lead Based Paint Survey/Environmental Consultants Services/Industrial Hygiene/Indoor Air Quality
DNER Permits/ EPA Permits & Certifications

RRS BOX 1995 PMB 313 BAYAMON, PR 00956 [EM@IL: globalespr@gmail.com](mailto:EM@IL:globalespr@gmail.com) **PHONES: 787-994-2203 /787-607-8965**

MR. ANGEL M. RIVERA- LEAD BASED PAINT INSPECTOR CERTIFICATION





DEPARTMENT OF

HOUSING

GOVERNMENT OF PUERTO RICO



Memorandum to File

Date: 08/07/2025

**Plan. Laredo
Gonzalez,
MP. PPL**

Digitally signed by Plan. Laredo
Gonzalez, MP. PPL
DN: cn=Plan. Laredo Gonzalez,
MP. PPL, c=GBA, ou=GBA,
email=eco.landscape.pr@gmail.c
om, c=US
Date: 2025.08.07 16:27:34 -0400'

From: Plan. Laredo González
Preparer
CDBG-DR Program
Community Development Block Grant - Disaster Recovery Program
Puerto Rico Department of Housing

Application Number: PR-CRP-000924

Project: Plaza Convalecencia & Plaza del Pilar

Re: Justification for the Infeasibility and Impracticability of Radon Testing

After reviewing Application Number PR-CRP-000924 under the CDBG-DR Program, administered by the Puerto Rico Department of Housing (**PRDOH**), to complete the property's contamination analysis in accordance with 24 C.F.R. § 50.3(i) and 24 C.F.R. § 58.5(i), and the information supplied by PRDOH (see below) we have determined that testing the property's radon levels is infeasible and impracticable.

Per the U.S. Department of Housing and Urban Development's (**HUD**) CPD Notice 23-103, the recommended best practices and alternative options for radon testing are infeasible and impracticable in this case due to the following reason[s]:

- As required by the CPD Notice 23-103, the scientific data reviewed in lieu of testing must consist of a minimum of ten documented test results over the previous ten years. If there are less than ten documented results over this period, it is understood that there is a lack of scientific data. The latest report for radon testing in Puerto Rico was prepared in 1995 by the U.S. Department of the Interior in Cooperation with the U.S. Environmental Protection Agency. No other completed studies and reports on radon testing are available in Puerto Rico.
- There is no available science-based or state-generated information for Puerto Rico for the last ten years that can be used to determine whether the project site is in a high-risk area. The Department of Health and Human Services, Centers for Disease Control and

Prevention (CDC), National Environmental Public Health Tracking, and Radon Testing map do not include Puerto Rico data.

- There are only two (2) licensed professionals in Puerto Rico who can conduct radon testing using the American National Standards Institute/American Association of Radon Scientists and Technologists (ANSI/AARST) testing standards, which makes it difficult, time-consuming, and highly expensive to coordinate and secure a site visit for the contamination evaluation.
- Do-it-yourself (DIY) radon test kits are known to be unreliable in assuring and controlling the quality of the test results; they are not readily available in Puerto Rico, and the cost and time required for purchasing and sending them for analysis are unreasonable when weighed against the results' reliability and the need for prompt results.
- Local authorities in Puerto Rico do not have the specialized radon monitoring equipment or trained staff needed to conduct the radon testing analysis and ensure proper quality control and quality assurance practices are adhered to. We also do not have a radiation laboratory certified for radon testing.

As part of the evaluation for this determination, PRDOH informed that information requests were sent to six (6) local agencies at the state and federal levels. PRDOH indicated they received responses from the following agencies:

- United States Geological Survey;
- Centers for Disease Control and Prevention;
- Puerto Rico Department of Health; and
- United States Environmental Protection Agency.

PRDOH informed that the agencies mentioned above confirmed the lack of scientific data on Radon testing for Puerto Rico and the technical difficulties that we face to comply with HUD's Radon testing requirement. For the above-mentioned reasons, Radon testing is infeasible and impracticable for this property, and no further consideration of Radon is needed for the environmental review.

Radon
Attachments



August 20, 2024

Mrs. Carmen R. Guerrero Pérez
Director
Caribbean Environmental Protection Division
City View Plaza II – Suite 7000
#48 Rd. 165 km 1.2
Guaynabo, PR 00968-8069

Via email: guerrero.carmen@epa.gov

RE: Request for information regarding available data on radon testing and levels within Puerto Rico

The Puerto Rico Department of Housing (PRDOH) kindly requests your assistance in gathering data, information, or reports related to radon testing in Puerto Rico, as this information is crucial for our compliance with the U.S. Department of Housing and Urban Development (HUD) Community Planning and Development (CPD) Notice CDP-23-103.

This Notice emphasizes the importance of radon testing and mitigation in ensuring safe living environments, particularly in HUD-assisted properties. PRDOH, as the grantee of the Community Development Block Grant for Disaster Recovery and Mitigation (CDBG-DR/MIT), is responsible for ensuring compliance with environmental requirements under CDBG-DR/MIT programs. To fulfill our obligations under this Notice, we must compile comprehensive and up-to-date information on radon levels, testing practices, and any mitigation efforts within the islands of Puerto Rico.

Specifically, we are seeking for possible availability of the following information:

Radon testing data – Results from radon testing conducted within your agency's purview, including details on location, testing methods, and recorded radon levels.

Reports and assessments – Any reports, studies, or assessments your agency has produced or commissioned that address radon testing or mitigation.

Policies and guidelines – Information or any policy, guideline, or protocol your agency follows concerning radon testing, exposure limits, or mitigation.

Historical data – If available, historical data or trends in radon levels within the regions you monitor that may impact HUD-assisted housing.

This information is vital to ensure that our radon management strategies are practical and compliant with federal requirements. If some of this information may be sensitive or confidential, we are prepared to discuss any necessary agreements or protocols for sharing this data securely.

Please let us know if you require additional details or have any questions regarding this request. We would greatly appreciate your response by September 15, 2024, so we can incorporate this data into our ongoing compliance efforts.

Thank you in advance for your cooperation and support. We look forward to working together on this critical initiative.

Sincerely,

William O. Rodríguez Rodríguez, Esq.
Secretary

Cc: [Mr. Oleg Pavelko, \[Pavelko.Oleg@epa.gov\]\(mailto:Oleg.Pavelko_Pavelko.Oleg@epa.gov\)](mailto:Oleg.Pavelko_Pavelko.Oleg@epa.gov)
[Mr. Matthew Lautta, \[Lautta.Matthew@epa.gov\]\(mailto:Matthew.Lautta.Lautta.Matthew@epa.gov\)](mailto:Matthew.Lautta.Lautta.Matthew@epa.gov)



August 20, 2024

Dr. Silvina Cancelos
Professor
College of Engineering
University of Puerto Rico – Mayagüez Campus
259 Norte Blvd. Alfonso Valdés Cobián
Mayagüez, Puerto Rico

Via email: silvina.cancelos@upr.edu

RE: Request for information regarding available data on radon testing and levels within Puerto Rico

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Sincerely,

William O. Rodríguez Rodríguez, Esq.
Secretary

Cc: [Dr. Carlos Marín, \[carlos.marin3@upr.edu\]\(mailto:Carlos.Marin3@upr.edu\)](mailto:Dr.Carlos.Marin_Carlos.Marin3@upr.edu)



August 20, 2024

Dr. Jessica Izarry
Director
Office of Island Affairs
U.S. Centers for Disease Control and Prevention
1324 CII Canada, San Juan, 00920
Guaynabo, PR 00968-8069

Via email: OIA@cdc.gov

RE: Request for Information regarding available data on radon testing and levels within Puerto Rico

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Sincerely,

William O. Rodríguez Rodríguez, Esq.
Secretary



August 20, 2024

Mrs. Anais Rodríguez
Secretary
Puerto Rico Department of Natural Resources
Carretera 8838, km. 6.3, Sector El Cinco,
Río Piedras San Juan, PR 00926

Via email: anais.rodriguez@dma.pr.gov

RE: Request for Information regarding available data on radon testing and levels within Puerto Rico

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Sincerely,

William O. Rodríguez Rodríguez, Esq.
Secretary

Cc: Mr. Luis Márquez, secretariogaire@dma.pr.gov
Eng. Amarilys Rosario, aire@dma.pr.gov
Mrs. Elid Ortega, ortega@dma.pr.gov



August 20, 2024

Dr. Carlos R. Mellado López
Secretary
Puerto Rico Department of Health
PO Box 70184
San Juan, PR 00936-8184

Via email: drCarlos.mellado@salud.pr.gov

RE: Request for Information regarding available data on radon testing and levels within Puerto Rico

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August 20, 2024

Mrs. Holly Weyers
Regional Director, Southeast – Puerto Rico
US Geological Survey
3916 Sunset Ridge Road
Raleigh, NC 27607

Via email: hswyers@usgs.gov

RE: Request for Information regarding available data on radon testing and levels within Puerto Rico

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Sincerely,

William O. Rodríguez Rodríguez, Esq.
Secretary

Cc: Mr. Raúl Hernández Dabla, rahernandez2@salud.pr.gov

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Sincerely,

William O. Rodríguez Rodríguez, Esq.
Secretary

Cc: Mr. R. Randall Schumann, rschumann@usgs.gov

From: Charp, Paul (CDC/NCEH/DEHSP) <pac4@cdc.gov>
Sent: Tuesday, September 3, 2024 6:36 AM
To: Miranda, Sandra (CDC/PHIC/DPS); Irizarry, Jessica (CDC/PHIC/DPS); Rzeszotarski, Peter (CDC/NCEH/DEHSP); Vinson, D. Aaron (CDC/NCEH/DEHSP)
Cc: Kostak, Liana (CDC/PHIC/DPS); Vazquez, Germaine (CDC/NCEH/DEHSP)
Subject: RE: REHi: Puerto Rico Request for Information- Randon testing and levels

Good morning, Sandra and others,

In response to the request from Mr. William Rodriguez of the Department of Housing, Government of Puerto Rico, I have reviewed all the available data within the CDC National Environmental Public Health Tracking Network system for data related to radon in Puerto Rico. In addition to the tracking data available on the internet, I also reached out to Mr. Aaron Vinson of the NCEH Tracking Branch.

I was not able to find any data in the CDC systems and this was confirmed by Mr. Vinson. We also reached out the US Environmental Protection Agency who indicated they had no radon data in their systems. Please relay this information to Mr. Rodriguez in your response to his requests

If you have any additional questions, please contact me.

Thank you and best regards,

Paul A. Charp, Ph.D., Fellow, HPS
Senior Health Physicist
Emerging Environmental Hazards and Health Effects Branch (EEHHEB)
Division of Environmental Health Science and Practice (DEHSP)
National Center for Environmental Health (NCEH)
Centers for Disease Control and Prevention (CDC)
pcharp@cdc.gov
770-488-0723 office
404.388.0614 Cell



From: Schumann, R. Randall <rschumann@usgs.gov>
Sent: Wednesday, August 21, 2024 4:39 PM
To: Melanie Medina Smaine <mmedina@vivienda.pr.gov>; Weyers, Holly S <hsweyers@usgs.gov>
Cc: Elaine Dume Mejia <Edume@vivienda.pr.gov>; Luz S Colon Ortiz <Lcolon@vivienda.pr.gov>; Aldo A. Rivera-Vazquez <aarivera@vivienda.pr.gov>
Subject: RE: Request for Information- Radon testing and levels

Dear Ms. Medina Smaine,

In the early 1990s the U.S. Geological Survey (USGS) conducted geologic assessments of radon potential for all 50 states and the territories of Guam and Puerto Rico, in collaboration with the U.S. EPA. I conducted the geologic radon potential assessment for Puerto Rico. The PDF file of the report is too large to attach to this message but it can be obtained at <https://pubs.usgs.gov/of/1993/0292k/report.pdf>. The USGS did not conduct indoor radon testing and we did not conduct field studies associated with this assessment; it was based on existing data. Mr. David Saldana of the Puerto Rico Department of Health kindly provided us with data for 610 homes that were tested for indoor radon by his agency between 1993 and 1995, which are summarized in the report. I am not aware of any other radon-related geologic studies conducted in the Commonwealth of Puerto Rico by the U.S. Geological Survey.

Best regards,

R. Randall Schumann
Scientist Emeritus
U.S. Geological Survey
Geosciences and Environmental Change Science Center
Denver, Colorado, USA
rschumann@usgs.gov
<https://www.usgs.gov/staff-profiles/r-randall-schumann>

From: Raul Hernandez Doble <rhernandez2@salud.pr.gov>
Sent: Wednesday, August 21, 2024 2:13:31 PM
To: Melanie Medina Smaine <mmedina@vivienda.pr.gov>; Dr. Carlos Mellado <drcarlos.mellado@salud.pr.gov>
Cc: Elaine Dume Mejia <Edume@vivienda.pr.gov>; Luz S Colon Ortiz <Lcolon@vivienda.pr.gov>; Aldo A. Rivera-Vazquez <aarivera@vivienda.pr.gov>; Mayra Toro Tirado <mtoro@salud.pr.gov>
Subject: RE: [EXTERNAL]Request for Information- Randon testing and levels

Good afternoon. Ms. Medina

I regret to inform that we do not have any recent information on radon testing, since we do not have a certified radiation laboratory certified for radon testing. There are companies that sell test kits available online that can be done and mailed to a testing laboratory. There are also lists of radon contractors and these companies that process radon testing cartridges with instructions, on the Environmental Protection Agency Indoor air Quality web page. The last radon study in Puerto Rico done by the PR Department of Health was done on the year 1993.

Raul Hernandez Doble
Director, Seccion Salud Radiologica
Division de Salud Ambiental
Secretaria Auxiliar para la Vigilancia y la Proteccion de la Salud Publica
rhernandez2@salud.gov.pr
Phone: (787)765-2929 ext. 3210

From: Reyes, Brenda <Reyes.Brenda@epa.gov>
Sent: Wednesday, September 18, 2024 11:48 AM
To: Cesar O Rodriguez Santos <cesarrodriguez@drna.pr.gov>; Maritza Rosa Olivares <maritzarosaolivares@drna.pr.gov>; Silvina Cancelos Mancini <silvina.cancelos@upr.edu>; Melanie Medina Smaine <mmedina@vivienda.pr.gov>
Cc: Elaine Dume Mejia <Edume@vivienda.pr.gov>; Luz S Colon Ortiz <Lcolon@vivienda.pr.gov>; Aldo A. Rivera-Vazquez <aarivera@vivienda.pr.gov>; Povetko, Oleg (he/him/his) <Povetko.Oleg@epa.gov>
Subject: RE: Request for Information- Randon testing and levels

Saludos.

La EPA esta trabajando una respuesta a su petición. Se sometió borrador a la directora y el subdirector para su aprobación y firma.

Brenda Reyes Tomassini
Public Affairs
U.S. EPA
Region 2
Caribbean Environmental Protection Division
(787) 977-5869/(787) 977-5865
Mobile: 202-834-1290

From: Silvina Cancelos Mancini <silvina.cancelos@upr.edu>
Sent: Friday, September 6, 2024 15:04
To: Melanie Medina Smaine <mmedina@vivienda.pr.gov>
Cc: Elaine Dume Mejia <Edume@vivienda.pr.gov>; Luz S Colon Ortiz <Lcolon@vivienda.pr.gov>; Aldo A. Rivera-Vazquez <aarivera@vivienda.pr.gov>; Maritza Rosa Olivares <maritzarosaolivares@drna.pr.gov>; Reyes, Brenda <Reyes.Brenda@epa.gov>; Povetko, Oleg <Povetko.Oleg@epa.gov>
Subject: Re: Request for Information- Randon testing and levels

Estimada Melanie Medina
Quería dejarte saber que recibimos su correo el 21 de agosto al igual que el de Maritza Rosa el pasado 4 de septiembre. Ya las personas involucradas de EPA, junto conmigo y el Dr. Marín estamos al tanto del asunto y estamos trabajando para poder enviarles la información.

Atentamente

Silvina Cancelos
Professor
Associate Director
Mechanical Engineering Department
University of Puerto Rico - Mayaguez
Call BOX 9000 Mayaguez PR 00680
Tel: 787-832-4040 ext 5956
email: silvina.cancelos@upr.edu



Bubble Dynamics Lab
University of Puerto Rico - Mayaguez



EPA REGION 2
CARIBBEAN ENVIRONMENTAL PROTECTION DIVISION

September 23, 2024

VIA EMAIL

William O. Rodriguez Rodriguez, Esq.
Secretary
Puerto Rico Department of Housing
Barbosa Ave. 606 Building Juan C. Cordero
San Juan, PR 00917
Email: W.Rodriguez@vivienda.pr.gov

RE: EPA Response to August 20, 2024 request for information of data on radon testing and levels in Puerto Rico

Dear Honorable Secretary Rodriguez Rodriguez:

This communication is in response to your letter of August 20, 2024 addressed to the Puerto Rico Department of Natural and Environmental Resources (DNER) and referred to the U.S. Environmental Protection Agency (EPA) regarding available data on radon testing and levels within Puerto Rico.

EPA's National Radon Action Plan 2021–2025 sets a goal for the nation to find, fix and prevent high indoor radon levels in 8 million buildings by 2025 and prevent 3,500 lung cancer deaths per year. Under this Plan, leaders from across multiple sectors are working together to plan, guide, and sustain nationwide action to prevent exposure to radon.

Due to the lack of data in Puerto Rico, EPA undertook an investigation in collaboration with the University of Puerto Rico-Mayaguez (UPRM) Campus, Departments of Civil Engineering and Surveying and Mechanical Engineering, to find out if radon presented a problem in Puerto Rico. Up until 2021, the only data we had for Puerto Rico was a 1993-1995 mail-in radon screening study referred to by the U.S. Geological Survey report (USGS, 1995) in which the USGS concluded that several areas of Puerto Rico have the geologic potential to generate indoor radon levels exceeding the EPA Action Level of 4 pCi/L (picocuries per liter), perhaps locally reaching very high levels above 50 pCi/L, if a house construction and

ventilation allow for soil-gas radon to enter and concentrate within the structure.¹ According to the USGS report, most of these areas are located in the northwest part of the island. Please note that the actual 1993-1995 study documentation is not available to the EPA.

Typical radon testing technology used in mainland United States (charcoal canisters or electric-powered devices) are impractical in Puerto Rico because of high humidity and power outages. The recovery and rebuilding of communities following the aftermath of 2017 Hurricanes Irma and Maria presented an opportunity to develop radon prevention and mitigation strategies in 2019. Initially, EPA sampled indoor radon air in over 170 single-family residences in the municipalities of San Sebastian, Lares, Ciales, Arecibo, Morovis, Camuy, and Hatillo and later expanded the project to other municipalities such as Rincon, Aguada, Aguadilla, Isabela, Quebradillas, Barceloneta and Vega Baja. The quality assurance protocols were anchored in American National Standards Institute/American Association of Radon Scientists and Technologists (ANSI/AARST) standards of practice (ANSI/AARS, 2019). The sampling was designed in two stages: scoping and confirmatory sampling. The scoping sampling was conducted using Corentium Home (CH) electronic monitors and E-Perm systems. Locations measuring above the EPA Action Level of 4 pCi/L with CH were measured at the second stage of the sampling using RAD7 and Corentium Pro Continuous Radon Monitors (CRMs). Nationally certified radon sampling professionals led by one such professional from the UPRM conducted confirmatory sampling in the second stage. Also, during the study, the nationally certified radon mitigation professionals inspected several homes with elevated indoor radon levels.

Mapping radon in Puerto Rico proved to be a complicated endeavor given the COVID-19 pandemic in 2020. EPA and UPRM continue to work on the project, however, results have not been finalized, and no scientific report has been published yet. Unfortunately, EPA cannot share preliminary data at this time because it contains privileged information. Nevertheless, preliminary data from the study does show homes with levels over 4 pCi/L (EPA Action Level) that might need mitigation to protect the health of their inhabitants.

Although many states have developed laws and regulations governing radon disclosure, certification, and mitigation, Puerto Rico lacks legislation or mandatory radon testing provisions for new construction, remodeling, selling or buying homes. Given this loophole and aiming to answer your request, the EPA can provide information on Best Management Practices for sampling indoor radon in Puerto Rico.

¹ Reference: USGS. Geologic Radon Potential of Guam and Puerto Rico, Report 93-292-K. Washington, DC: USGS. Retrieved 9/11/2024, from <https://pubs.usgs.gov/of/1993/0292k/report.pdf>.

CITY VIEW PLAZA II BUILDING, 7TH FLOOR
ROUTE 185 GUAYNABO, PR 00988

2

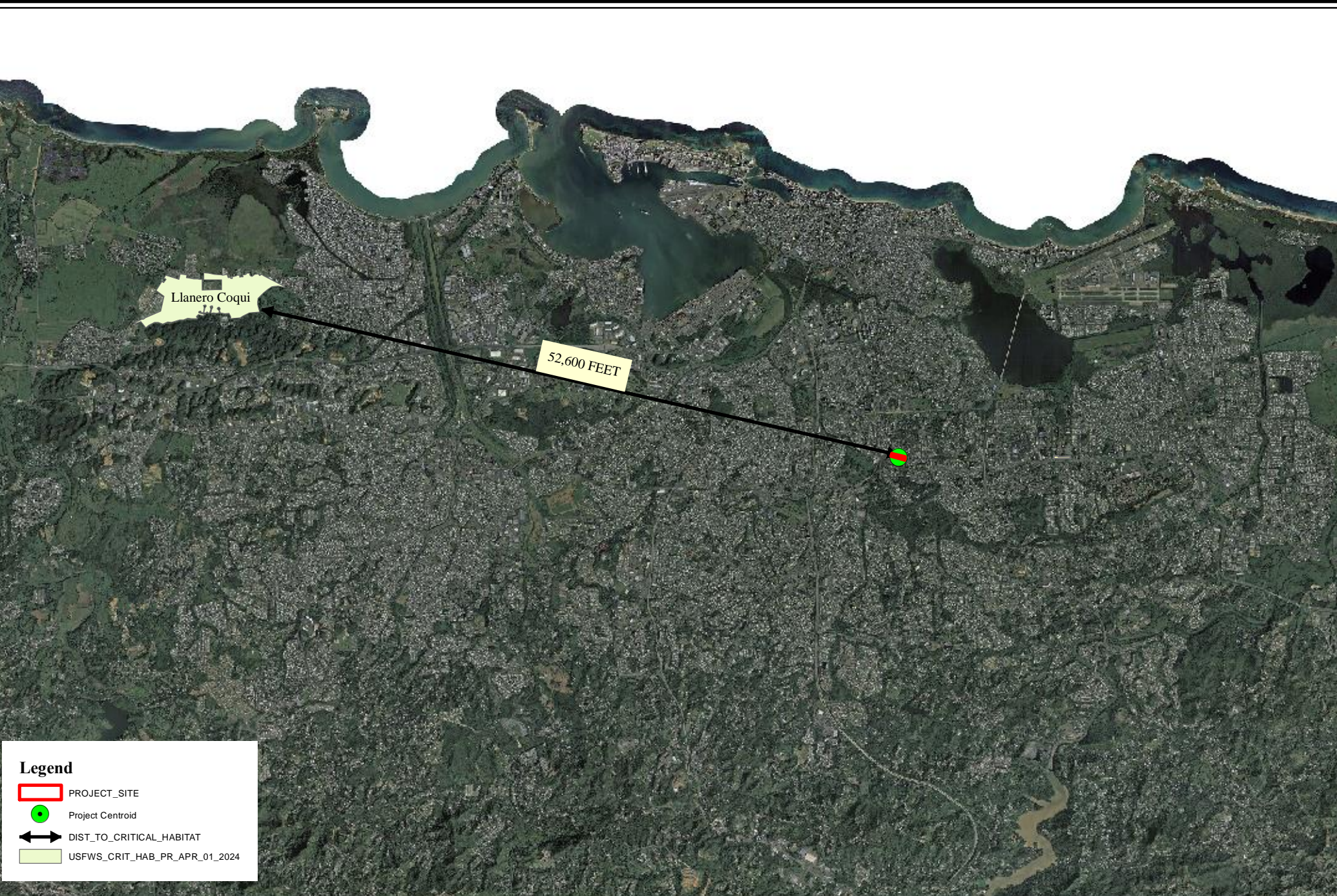
If you have any questions or need any additional information, please contact me at 787-977-5865 or guerrero.carmen@epa.gov or have your staff contact Reyes, Brenda at reyes.brenda@epa.gov or (787) 977-5869.

Sincerely,
CARMEN GUERRERO PEREZ
Carmen R. Guerrero Pérez
Director

Digitally signed by
CARMEN GUERRERO PEREZ
Date: 2024.09.23 09:41:39
-04'00'

cc: Roberto Mendez, Esq (Acting Secretary, PR Department of Natural and Env. Resources)
Melany Medina: mmedina@vivienda.pr.gov
Elaine Dume Mejia: Edume@vivienda.pr.gov
Luz S Colon Ortiz: Lcolon@vivienda.pr.gov
Aldo A. Rivera-Vazquez: aarivera@vivienda.pr.gov
Cesar O. Rodriguez: cesarrodriquez@drna.pr.gov
Marita Rosa Olivares: maritzarosaolivares@drna.pr.gov

**Attachment VII: Endangered Species Endangered Species Act of
1973, particularly section 7; 50 CFR Part 402**

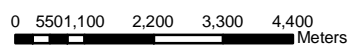


Llanero Coqui

52,600 FEET

Legend

- PROJECT_SITE
- Project Centroid
- ↔ DIST_TO_CRITICAL_HABITAT
- USFWS_CRIT_HAB_PR_APR_01_2024



CRP-000924 Plaza Convalecencia & Plaza del Pilar
USFWS CRITICAL HABITAT
 (Source:GIS.PR.GOV,
 Esri Imagery Basemap)

1:120,000
 GBA- MAY/2025
 Plan. Laredo González

STATE ROAD PR-25, BETWEEN
GEORGETI ST. AND ARZUAGA ST.
RIO PIEDRAS WARD,
SAN JUAN, PUERTO RICO.
Parcel ID: 087-012-560-01

Coordinates:
18.397973,-66.052261
Spatial Reference: NAD 1983
StatePlane Puerto Rico-
Virgin Islands FIPS 5200



Transmittal Letter

June 7, 2024

Caribbean Ecological Services Field Office
U.S. Fish and Wildlife Service
P.O. Box 491
Boquerón, Puerto Rico 00622
Email: caribbean@es@fws.gov



Based on the information provided, we determined the project proposed qualifies for the blanket clearance letter. Nevertheless, if the project is modified this office should be contacted concerning the need for the initiation of consultation under section 7 of Endangered Species Act of 1973.

Reviewer **DAMARIS ROMAN RUIZ** Digitally signed by DAMARIS ROMAN RUIZ
Date: 2024.06.10 13:32:49 -04'00'

SILMARIE PADRON Digitally signed by SILMARIE PADRON
Date: 2024.06.10 19:49:13 -04'00'
Acting Caribbean ES Field Supervisor

**RE: USFWS Endangered Species Act Certifications
CRP Program – May 2024**

We are submitting the following Self-Certifications for projects under the CDBG-DR City Revitalization Program. Attached are included the Self-Certifications that certify that the projects are in compliance and are not likely to adversely affect federally-listed species.

The following table includes the projects that are in compliance with the Blanket Clearance Letter for the Endangered Species act of 1973, as amended, and the Fish and Wildlife Coordination Act.

Project Number	Project Name
PR-CRP-000369	Plaza de Armas, Old San Juan
PR-CRP-000388	Centro Urbano Tradicional
PR-CRP-000443	Rehabilitación Plaza de Hostos
PR-CRP-000497	Rotonda Miguel Meléndez Muñoz / CDT – Mejoras al Acceso Vial
PR-CRP-000506	Ramón E. Betances Main Square
PR-CRP-000700	Parque Urbano “Canobanax”
PR-CRP-000768	Urban Center Street and Sidewalk Restoration
PR-CRP-000803	Nuevo Teatro Comunitario
PR-CRP-000855	Mejoras a la infraestructura de la Urbanización Mayagüez Terrace
PR-CRP-000924	Improvements to Plaza Convalecencia & Plaza del Pilar
PR-CRP-000943	Renovation of Public Plaza at Florida Urban Center
PR-CRP-000957	Gándara Avenue Rehabilitation

For more information, please contact the Permits and Environmental Compliance Division at environmentcdbg@vivienda.pr.gov or at (787)274.2527 ext. 4320.

Sincerely,

Permits and Environmental Compliance Division
Disaster Recovery Office



Self-Certification

<http://www.fws.gov/caribbean/ES/Index.html>

Endangered Species Act Certification

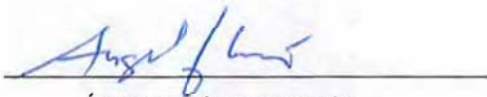
The U.S. Fish and Wildlife Service, Caribbean Ecological Services Field Office developed a Blanket Clearance Letter in compliance with Endangered Species Act of 1973, as amended, and the Fish and Wildlife Coordination Act for federally funded projects.

The Service determined that projects in compliance with the following criteria are not likely to adversely affect federally-listed species.

The Puerto Rico Department of Housing (PRDOH) certifies that the following project **Improvements to Plaza Convalecencia & Plaza del Pilar (PR-CRP-000924)** consisting of the proposed action: the improvement to the existing "Plaza de la Convalecencia" and "Plaza del Pilar", Río Piedras Ward, San Juan, Puerto Rico. (Please refer to enclosed maps and project description for details). The project is located at: Lat: 18.39764612, Lon: -66.05094625 (Nad83 x: 240404.6668, y: 262500.9775), Cadaster 087-012-560-01; complies with:

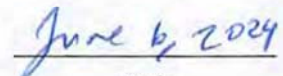
Check	Project Criteria
<input type="checkbox"/>	1. Street resurfacing.
<input checked="" type="checkbox"/>	2. Construction of gutters and sidewalks along existing roads.
<input type="checkbox"/>	3. Reconstruction or emergency repairs of existing buildings, facilities and homes.
<input checked="" type="checkbox"/>	4. Rehabilitation of existing occupied single-family homes, and buildings; provided that equipment storage or staging areas are not located on vacant property harboring a wetland and/or forested vegetation and that the lighting associated to the new facilities is not visible directly or indirectly from a beach.
<input checked="" type="checkbox"/>	5. Demolition of dilapidated single-family homes or buildings; provided that the demolition debris is disposed in certified receiving facilities; equipment storage or staging areas are not located on vacant property harboring a wetland and/or forested vegetation.
<input type="checkbox"/>	6. Rebuilding of demolished single-family homes or buildings, provided that the new

	construction is within the existing footprint of the previous structure and/or within pre-existing grassed or paved areas, and that the lighting associated to the new facilities are not visible directly or indirectly from a beach.
<input type="checkbox"/>	7. Activities within existing Right of Ways (ROWs) of roads, bridges and highways, when limited to actions that do not involve cutting native vegetation or mayor earth moving; and are not located within, or adjacent to, drainages, wetlands, or aquatic systems. These activities include the installation of potable water and sanitary pipelines.
<input checked="" type="checkbox"/>	8. Improvements to existing recreational facilities, including the installation of roofs to existing basketball courts, provided that the lighting associated to the facilities are not visible directly or indirectly from the beach.
<input checked="" type="checkbox"/>	9. Construction of electric underground systems in existing towns and communities, provided that the property is not a wetland area and the lighting associated to the facilities are not visible directly or indirectly from the beach.
<input type="checkbox"/>	10. Construction of facilities on vacant properties covered with grasses in urban areas, provided that the lighting associated to the facilities are not visible directly or indirectly from the beach.
<input type="checkbox"/>	11. Construction of houses, buildings or acquiring lands in urban areas covered by grass for relocation of low-income families and/or facilities that have been affected by weather conditions.



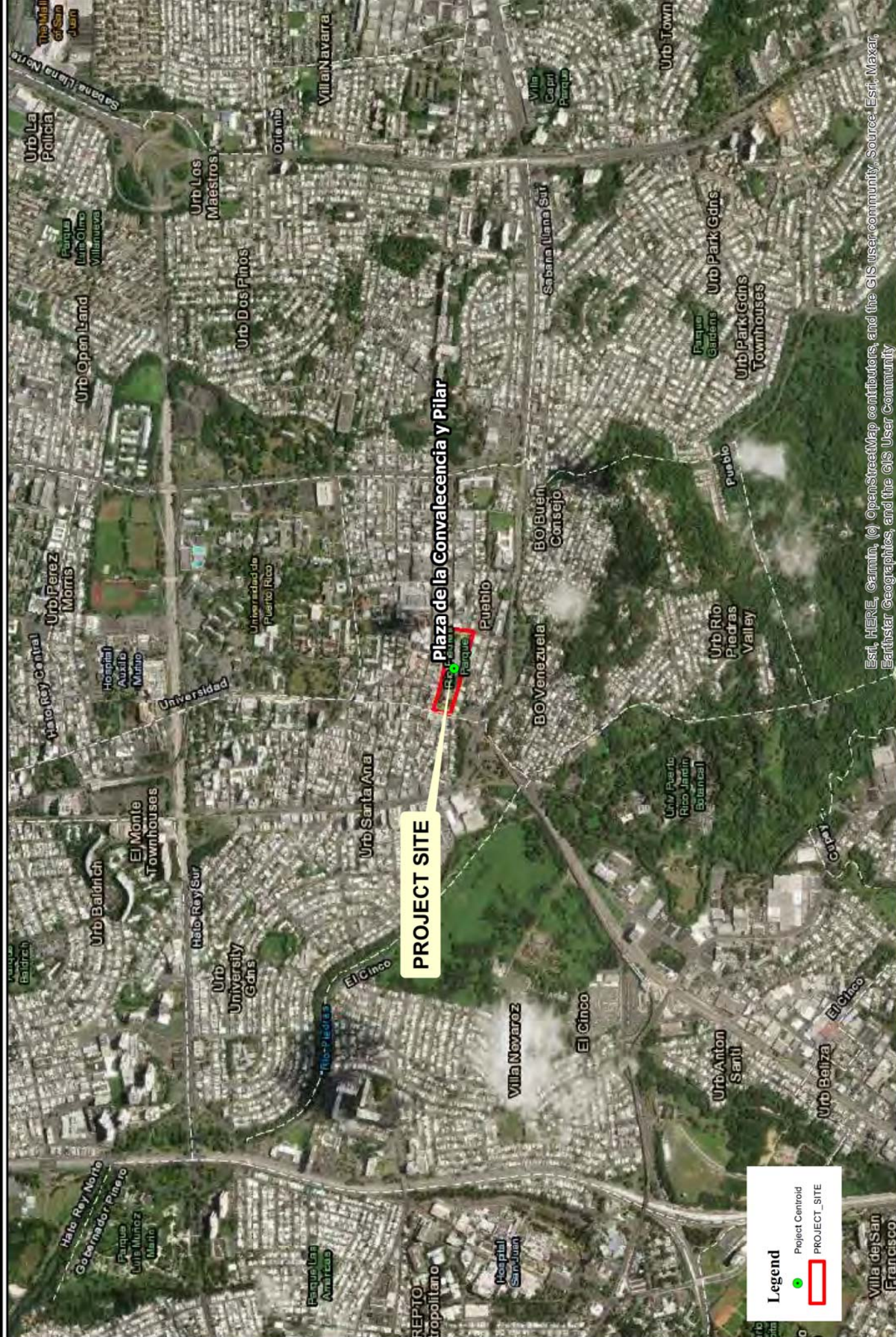
Ángel G. López-Guzmán
Deputy Director

Permits and Environmental Compliance Division
Office of Disaster Recovery
Address: P.O. Box 21365 San Juan, PR 00928
Telephone and Ext: 787-274-2527 ext. 4320
Email: environmentcdbg@vivienda.pr.gov



Date

Attachment I: LOCATION MAP



Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community, Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community

Coordinates:
 18.39764612, -66.05094625
Spatial Reference: NAD 1983
 StatePlane Puerto Rico-
 Virgin Islands FIPS 5200

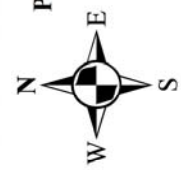
STATE ROAD PR-25, BETWEEN
 GEORGETI ST. AND ARZUAGA ST.
 RIO PIEDRAS WARD,
 SAN JUAN, PUERTO RICO.
Parcel ID: 087-012-560-01

0 90 180 360 540 720 Meters
1:20,000
 GBA- FEB/2024
 Plan. Laredo González

PR-CRP-000924 Plaza Convalecencia & Plaza del Pilar
LOCATION MAP
 (Source: GIS.PR.GOV,
 Esri Imagery Basemap)

Legend

- Project Centroid
- PROJECT_SITE



Attachment II: PROJECT DESCRIPTION



PROJECT SUMMARY & BASIS FOR DESIGN

Project: IMPROVEMENTS TO PLAZA DE CONVALECENCIA Y PLAZA DEL PILAR, PR-CRP-00924

Location: Ave. Ponce de León, Calle Georgetti, Calle Arsuaga con Calle Camelia Soto, Río Piedras, San Juan, PR

Owner: Autonomous Municipality of San Juan (MASJ)

The Autonomous Municipality of San Juan (MASJ) issued an RFP for the improvements to the Plaza de la Convalecencia and Plaza del Pilar, and our Firm was selected to design this project. The Plazas are at the heart of the urban town of Río Piedras, borough of the city of San Juan. The Plaza del Pilar, surrounding the Church of El Pilar that was built in 1831. The Plaza del Pilar and its church was remodeled near 1940. The Plaza of Convalecencia is divided from The Plaza del Pilar by the Brumbaugh Street. The Plaza of Convalecencia was completely remodeled in 2009. Both Plazas, Del Pilar and Convalecencia amount to an approximate of 1,8790 square meters.



After 2017 with Hurricane María, both Plazas suffered many damages. The MASJ's request for proposal included the Scope of Work (SOW) of this remodeling project as follows:

1. Rehabilitation of structures that suffered damages such as roofs and others by Hurricane Maria
2. Improvements and renewal of all pavements
3. Bus stops improvements
4. Improvements of existing concession and bathrooms
5. Renewal or substitution of all water fountains

6. Improvements to electrical system that includes LED lighting
7. Improvements and new urban furniture (benches, tables, bike racks, trash cans)
8. Cutting and pruning of green affected areas
9. New landscaping in affected areas
10. Improvements to play areas
11. Signage and wayfinding elements
12. Improvements to pedestrian crossings
13. Cleaning and finishing surface areas
14. New Security and WIFI Systems



In our project there will be **NO new building construction**. Infrastructure systems of water, sanitary sewer, electricity, and storm sewer are present in the existing site. Below is a proposed Schematic Site Plan for this project:



All the areas in this project have already been impacted. **It is not proposed to expand the footprint of the improvement project outside of the existing footprint of already impacted areas of the Plazas and its surroundings.** As shown on the drawing above, the improvements proposed include the following:

1. Demolition and new concrete pavements for Plaza del Pilar plaza, parking areas and sidewalks.
2. New pre-cast concrete benches, tables and other urban furniture.
3. Construction of a half-pipe skateboarding feature for the skateboarding community.
4. Removal of existing bus stop for future installation of a new one by the Municipality.
5. Additional curb ramps, street crossings and relocation of existing statue.
6. Restoration of two round existing fountains in Brumbaugh St., Plaza Convalecencia.
7. New play and picnic area inside the large planting area facing Brumbaugh St.
8. New playground areas in Plaza Convalecencia.
9. Transformation of the two existing water ponds into children's step-in & play water features.
10. Reconstruction of hurricane damages to ventilation towers, and roof structures in Convalecencia.
11. Rehabilitation of existing elevator for access to existing underground parking.
12. Reconstruction of one accessibility ramp to connect the two levels of Plaza Convalecencia.
13. Installation of two solar powered stations with wifi and charging capabilities.
14. Repairs to granite paver pavements in Plaza Convalecencia.
15. Addition of powder coated perforated metal panels to existing trellises for providing shadow.
16. Relocation of existing ping-pong concrete tables.
17. Repair and addition of some new lighting poles and new urban furniture at both plazas.
18. Enhancement of existing planting areas with new additional landscaping.

We understand that this improvements project qualifies for a Determination of Environmental Compliance by Categorical Exclusion since its execution does not present a significant environmental impact and complies with the regulatory actions.

Submitted By: *Istra Hernández*
Istra Hernández Cabán, RA, AIA

Date: March 20, 2024

Attachment IV: NMFS CRITICAL HABITAT MAP

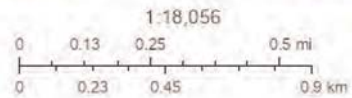
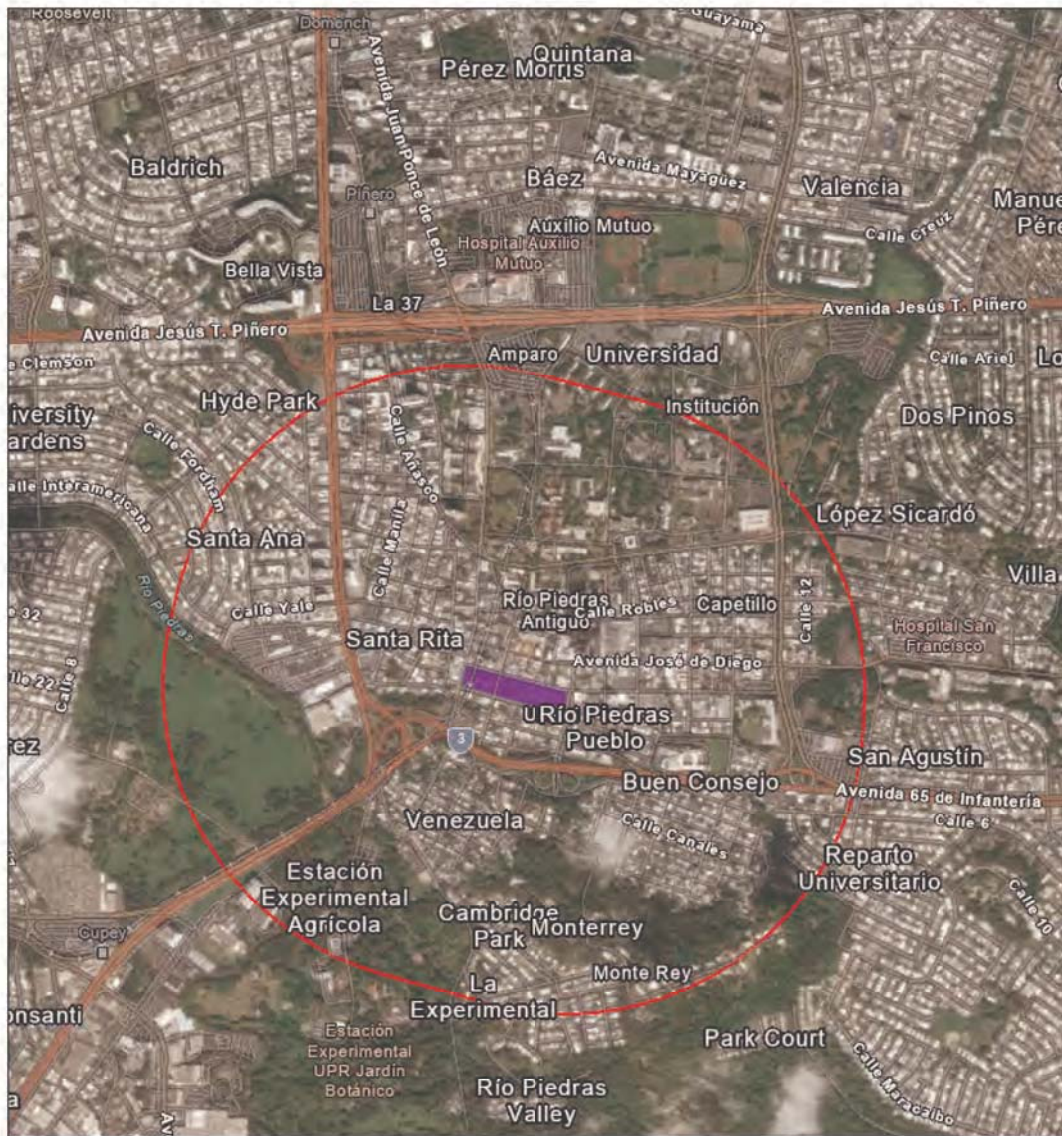


Critical Habitat Report

Area of Interest (AOI) Information: PR-CRP-000924 Plaza Convalecencia & Plaza del Pilar

Area : 3.4 km²

Apr 2 2024 14:23:35 Puerto Rico Time



NOAA National Marine Fisheries Service, Maxar, Esri Community Maps Contributors, Esri, TomTom, Garmin, Pousquam, SafeGraph, GeoTechnologies, Inc, NIT/NASA, USGS, NPS, US Census Bureau, USFWS

No Critical habitat present inside the 3000' search radius.

Summary

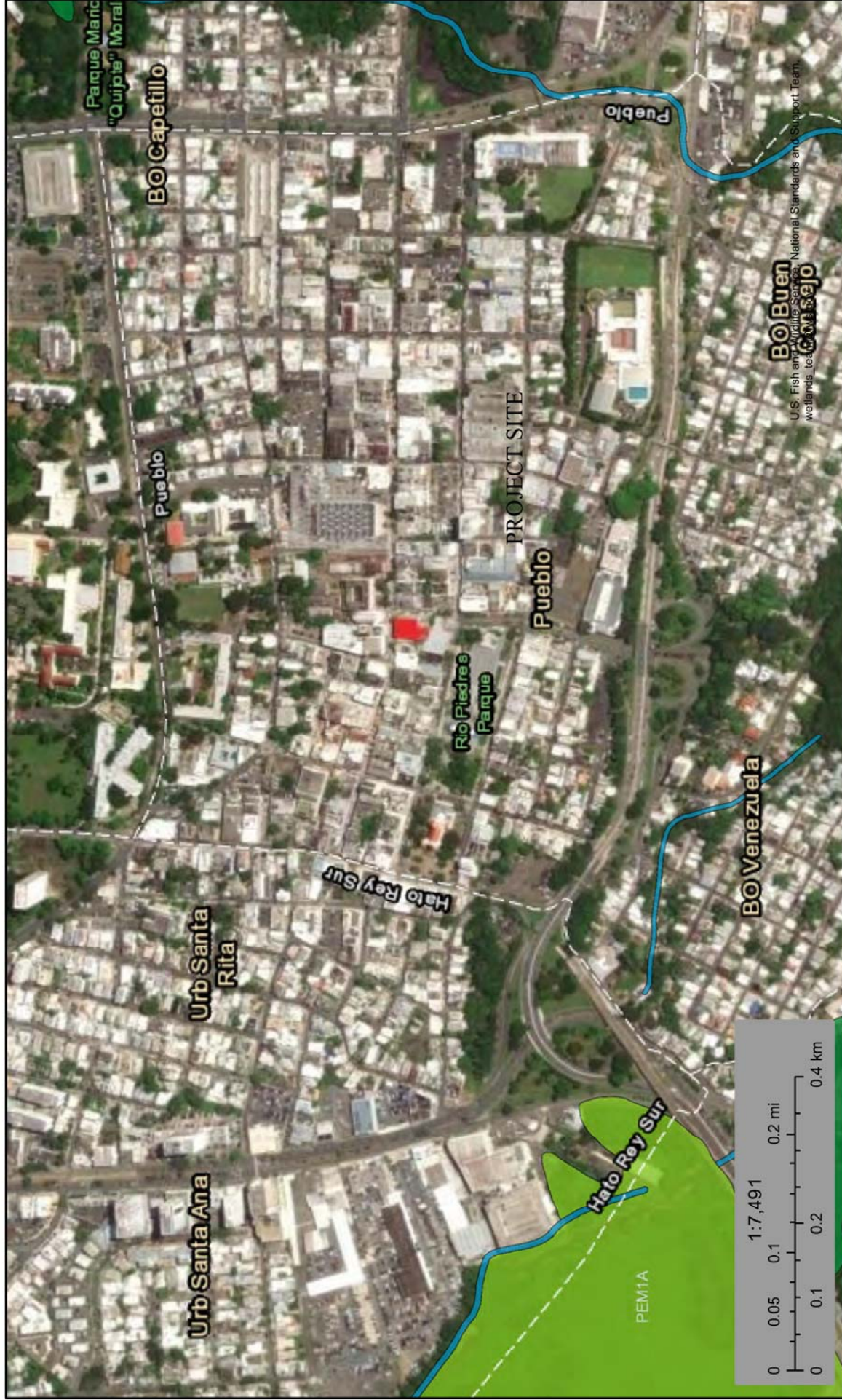
Name	Count	Area(km ²)	Length(m)
All Critical Habitat Polyline	0	N/A	0
All Critical Habitat Polygon	0	0	N/A



U.S. Fish and Wildlife Service

National Wetlands Inventory

PR-CRP-000924 Wetlands Map



This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

- April 16, 2024
- Wetlands**
- Estuarine and Marine Deepwater
 - Estuarine and Marine Wetland
 - Freshwater Emergent Wetland
 - Freshwater Forested/Shrub Wetland
 - Freshwater Pond
 - Lake
 - Other
 - Riverine

Attachment III: USFWS DOCUMENTS



United States Department of the Interior



FISH AND WILDLIFE SERVICE

Caribbean Ecological Services

Field Office

P.O. Box 491

Boqueron, PR 00622

JAN 14 2013

In Reply Refer To:
FWS/R4/CESFO/BKT/HUD

Mr. Efrain Maldonado
Field Office Director
U.S. Department of Housing and Urban Development
235 Federico Costa Street, Suite 200
San Juan, Puerto Rico 00918

Re: Blanket Clearance Letter for Federally
sponsored projects, Housing and Urban
Development

Dear Mr. Maldonado:

The U.S. Fish and Wildlife Service (USFWS) is one of two lead Federal Agencies responsible for the protection and conservation of Federal Trust Resources, including threatened or endangered species listed under the Endangered Species Act of 1973 (16 U.S.C. 1531 et seq.) (ESA). In the U.S. Caribbean, the USFWS has jurisdiction over terrestrial plants and animals, the Antillean manatee and sea turtles when nesting. The National Marine Fisheries Service has jurisdiction over marine species, except for the manatee. The ESA directs all Federal agencies to participate in conserving these species. Specially, section 7 of the ESA requires Federal agencies to consult with the USFWS to ensure that actions they fund authorize, permit, or otherwise carry out will not jeopardize the continued existence of any listed species or adversely modify designated critical habitat. The USFWS issued regulations in 1986 detailing the consultation process. As part of this consultation process, the USFWS review development projects to assist Federal agencies on the compliance of the ESA.

The U.S. Department of Housing and Urban Development (HUD) typically allocate grant funds for rural and urban development projects. Obligations under the ESA, as well as the National Environmental Policy Act (NEPA), require HUD to perform consultation and an environmental impact review prior to the project's authorization. Primarily, these projects involve repair or reconstruction of existing facilities associated with developed land.

In order to expedite the consultation process, the Caribbean Ecological Services Field Office has developed this Blanket Clearance Letter (BCL) to cover for activities and projects that typically result in no adverse effects to federally-listed species under our jurisdiction. If projects comply with the project criteria discussed below, no further consultation with the USFWS is needed.

Project Criteria

1. Street resurfacing.
2. Construction of gutters and sidewalks along existing roads.
3. Reconstruction or emergency repairs of existing buildings, facilities and homes.
4. Rehabilitation of existing occupied single family homes, and buildings; provided that equipment storage or staging areas are not located on vacant property harboring a wetland and/or forested vegetation and that the lighting associated to the new facilities is not visible directly or indirectly from a beach.
5. Demolition of dilapidated single family homes or buildings; provided that the demolition debris is disposed in certified receiving facilities; equipment storage or staging areas are not located on vacant property harboring a wetland and/or forested vegetation.
6. Rebuilding of demolished single family homes or buildings, provided that the new construction is within the existing footprint of the previous structure and/or within pre-existing grassed or paved areas, and that the lighting associated to the new facilities are not visible directly or indirectly from a beach.
7. Activities within existing Right of Ways (ROWs) of roads, bridges and highways, when limited to actions that do not involve cutting native vegetation or mayor earth moving; and are not located within, or adjacent to, drainages, wetlands, or aquatic systems. These activities include the installation of potable water and sanitary pipelines.
8. Improvements to existing recreational facilities, including the installation of roofs to existing basketball courts, provided that the lighting associated to the facilities are not visible directly or indirectly from the beach.
9. Construction of electric underground systems in existing towns and communities, provided that the property is not a wetland area and the lighting associated to the facilities are not visible directly or indirectly from the beach.
10. Construction of facilities on vacant properties covered with grasses in urban areas, provided that the lighting associated to the facilities are not visible directly or indirectly from the beach.
11. Construction of houses, buildings or acquiring lands in urban areas covered by grass for relocation of low income families and/or facilities that have been affected by weather conditions.

Determination:

Based on the nature of the projects described above and habitat characteristics described on project criteria, we have determined that the actions and type of projects described above may be conducted within this BCL without adversely affecting federally-listed

species under our jurisdiction. Thus, consultation under Section 7 of the Endangered Species Act is not required.

In all situations, HUD, and the municipalities are expected to implement Best Management Practices, where applicable, to ensure that impacts from erosion and stream sedimentation are appropriately minimized.

The Service encourages your agency to enhance the conservation of our trust resources (i.e.; listed species, wetlands, aquatic habitats, migratory birds and marine mammals). We therefore, provide the following recommendations that have proven to help in this way.

Water Crossing Structures:

1. Use of bottomless culverts or single span bridges instead of traditional box or RCP culverts or any other water crossing structure that impacts the stream bottom, particularly in streams which support native fish. The use of bottomless culverts or a short span bridge would provide a more stable crossing and would not alter the stream habitat. However, if bottomless structures or bridges are not feasible due to cost or engineering constraints, we recommend the following criteria be used to maintain good habitat in the streams:
 - a. The stream should not be widened to fit the bridge since this can lead to sedimentation during low flows and possible bank erosion during high flows. Rather, the bridge should be designed to fit the stream channel at the point of crossing. Culverts should be sized to carry natural bank full flow. Additional flow can be capture by culverts placed at a higher elevation so as not to impact bank full flows.
 - b. Bridge abutments, wing walls or any other structures should not intrude into the active stream channel.
 - c. All culvert footings must be countersunk into the stream channel at both the invert and outlet ends at a minimum of 10% of the culvert height. This will align the water crossing structure with the slope of the stream.
 - d. Waterways must not be blocked as to impede the free movement of water and fish. Materials moved during construction, such as grubbing, earth fills, and earth cut materials must not be piled where they can fall back into the stream and block the drainage courses.
 - e. Appropriate erosion and/or sedimentation controls measures are to be undertaken to protect water quality until riverbanks are re-vegetated. It has been our experience that appropriate erosion and/or sedimentation control measures are not implemented properly by project contractors. In order to function properly, silt fences need to be buried 6" (proper depth is marked by a line on the silt fence) and supported at regular intervals by wood stakes. For that reason we are recommending that

the enclosed drawing of proper silt fence installation is included in all final project construction plans.

- f. Upon completion of a water crossing construction, any temporary fill, must be removed from the construction area and disposed in a landfill.

Limitations:

Actions that do not meet the above project criteria, such as actions requiring placement of fill, disturbance, or modification to land outside of an existing access road or ROW; actions that occur on vacant property harboring a wetland and/or forest vegetation; actions requiring excavation, clearing of native vegetation, or alteration of storm water drainage patterns; or actions that require lighting which can be directly or indirectly seen from a beach, must be individually coordinated through the Caribbean Ecological Services Field Office and will be evaluated on a case by case basis.

The Service reserves the right to revoke or modify this BCL if:

1. New information reveals that the categories of work covered in this BCL may affect listed or designated critical habitat in a manner, or to an extent, not previously considered.
2. The categories of work included in this BCL are subsequently modified to include activities not considered in this review.
3. New species are listed or critical habitat designated that may be affected.

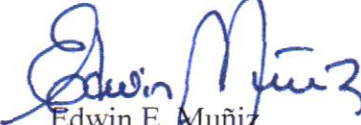
It is our mission to work with others, to conserve, protect and enhance fish wildlife and plants and their habitats for the continuing benefit of our people.

To obtain additional information on threatened and endangered species, you may visit our website <http://www.fws.gov/caribbean/ES> where you will also find the Map of the Species by Municipality and the Map of Critical Habitat. The USFWS has also developed a web based tool called IPac. Please visit <http://www.ecos.fws.gov/ipac> and familiarize yourself with the features we offer. We encourage you to begin your project planning process by requesting an **Official Species List** for your individual project that will include all species that may occur in the vicinity of the action area and includes a map of the action area. The site will also identify designated critical habitat, or other natural resources of concern that may be affected by your proposed project. At this time, best management practices or conservation measures are not available at the site but we expect the site to continue growing in its offering.

These maps provide information on the species/habitat relations within a municipality and could provide the applicants an insight if the proposed action is covered under this BCL or may affect a species, thus requiring individual review.

If you have any additional question regarding this BCL, please do not hesitate to contact Marelisa Rivera, Deputy Field Supervisor, at 787-851-7297 extension 206.

Sincerely yours,



Edwin E. Muñiz
Field Supervisor

Enclosures (Fact Sheets)

cc: OCAM, San Juan
Office of Federal Funds, 78 Municipalities of Puerto Rico
AAA
PRFAA
DNER



Ecological Services in the Caribbean

Caribbean Field Office

Project evaluation



Our mission is to conserve, protect and enhance fish and wildlife and their habitats through consultation, cooperation and communication for the continuing benefit of the American people.

Legal authorities:

- Endangered Species Act (ESA)
- Fish and Wildlife Coordination Act
- Migratory Bird Treaty Act
- Coastal Barriers Act

Roles and Responsibilities:

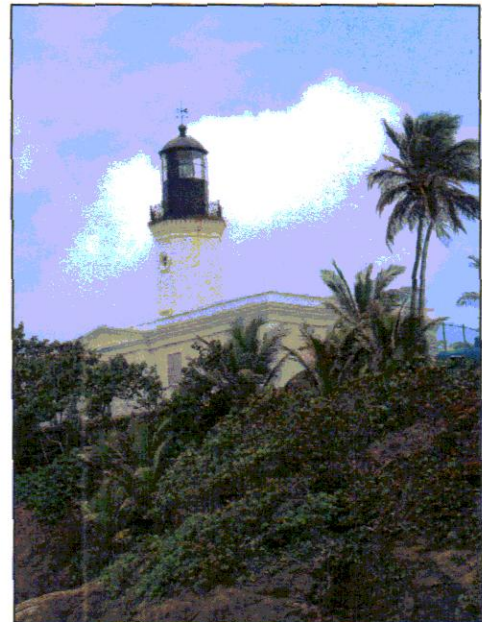
- Provide technical assistance to Federal and Commonwealth agencies to minimize possible impacts of land and water projects to our trust resources
 - *Wetlands and other aquatic habitats
 - *Endangered Species and their habitats
 - *Migratory Birds
 - *Critical Wildlife Areas
 - *Coastal Barriers
- Assist with ESA Section 7 compliance through informal and formal consultation processes

How do we assist others?

- Determine presence / absence of wetland resources, threatened and endangered species habitat, coastal barriers, important wildlife areas within the action area
- Evaluate possible direct, indirect and cumulative impacts
- Provide conservation recommendations to avoid, minimize and/or mitigate impacts
- General recommendations for habitat enhancement

Minimum requirements for the evaluation of projects:

- An 8.5 by 11 inch copy of the specific site location on a USGS topographic map (1:20,000) marked with an arrow (➔)
- Project description
- Aerial photo of the project site
- Latitude and Longitude (degrees, minutes and seconds or decimal degrees)
- Environmental Documents (EA and EIS)
- Specific studies (by qualified personnel)



For more information:

US Fish and Wildlife Service
Caribbean Field Office
Raod 301, Km. 5.1
Bo. Corozo

Boquerón, PR 00622

<http://www.fws.gov>

<http://www.fws.gov/caribbean/es>

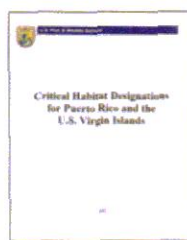


Endangered Species Lists Using Web-based Tools

The U.S. Fish and Wildlife Service's Caribbean Ecological Services Field Office (CESFO) provides technical assistance to private individuals and organizations, as well as Federal, state, and local agencies pursuant to the Endangered Species Act of 1973 (ESA) (87 Stat. 884, as amended; 16 U.S.C. 1531 et seq.). To assist project sponsors or applicants with the process of determining whether a Federally-listed species and/or "critical habitat" may occur within their proposed project area, we have developed Web-based tools. These tools were developed primarily to assist Federal agencies that are consulting with us under Section 7(a)(2) of the Endangered Species Act (ESA) (87 Stat. 884, as amended; 16 U.S.C. 1531 et seq.).

IPaC. The US Fish & Wildlife Service (USFWS) has a tool named IPaC. IPaC stands for Information, Planning, and Conservation. This system is designed for easy, public access to the natural resources information for which the USFWS has trust or regulatory responsibility. Examples include Threatened and Endangered species, migratory birds, National Refuge lands, Coastal Barrier Resource Units, and the management of invasive species. One of the primary goals of the IPaC system is to provide information in a manner that assists individuals in planning their activities within the context of natural resource conservation. The IPaC system also assists people through the various regulatory consultation, permitting and approval processes administered by the USFWS, helping achieve more effective and efficient results for both the project proponents and natural resources. Through IPaC, you can get a preliminary USFWS species list in addition to links to species life history information, the USFWS Migratory Bird program, and more. You can access IPaC at: <http://ecos.fws.gov/ipac>

CESFO List of Threatened & Endangered Species and Critical Habitat Designations: CESFO has developed another tool (Species Map) that can be used as a quick reference to find out where the Federally-listed species



are known to occur, as well as those likely to occur, in any given municipality in Puerto Rico and island in the

U.S. Virgin islands. It identifies general areas where the species may be located. However, it does not represent the absolute distribution of the species and does not constitute a recommendation or comment issued by our agency in reference to a proposed project. This list represents the best available information regarding known or likely occurrences of Federally-listed species and is subject to change as new information becomes available. You can access this database at <http://www.fws.gov/caribbean/es/PDF/Map/pdf>



Be aware that Section 9 of the ESA prohibits unauthorized taking of listed species and applies to Federal and non-Federal activities. Under the Act, it is illegal for any person subject to the jurisdiction of the United States to take (includes harass, harm, pursue, hunt, shoot, wound, kill, trap, capture, or collect; or to attempt any of these), import or export, ship in interstate or foreign commerce in the course of commercial activity, or sell or offer for sale in interstate or foreign commerce any endangered fish or wildlife species and most threatened fish and wildlife species. It is also illegal to possess, sell, deliver, carry, transport, or ship any such wildlife that has been taken illegally. "Harm" includes any act which actually kills or injures fish or wildlife, and case law has clarified that such acts may include significant habitat modification or degradation that significantly impairs

essential behavioral patterns of fish or wildlife. For projects not authorized, funded, or carried out by a Federal agency, consultation with the Service pursuant to Section 7(a)(2) of the ESA is not required. However, no person is authorized to "take" any listed species without appropriate authorizations from the Service. Therefore, we provide technical assistance to individuals and agencies to assist with project planning to avoid the potential for "take," or when appropriate, to provide assistance with their application for an incidental take permit pursuant to Section 10(a)(1)(B) of the ESA.

If the project is within the distribution of the species, additional information may be needed to determine the presence of habitat. In some cases, specialized surveys may be needed to determine the presence or absence of the species in a particular area.

For additional information on fish and wildlife resources or State-listed species, we suggest contacting the Puerto Rico Department of Natural and Environmental Resources and the U.S. Virgin Islands Department of Planning and Natural Resources.

For further assistance, please feel free to contact us at (787) 851-7297 or visit our Web page at www.fws.gov/caribbean/es if you need further assistance.

For further information visit our national websites at:

<http://www.fws.gov>

<http://ecos.fws.gov>



U.S. Fish & Wildlife Service

Consultations with Federal Agencies

Section 7 of the Endangered Species Act

The purposes of the Endangered Species Act are to provide a means for conserving the ecosystems upon which endangered and threatened species depend and a program for the conservation of such species. The ESA directs all Federal agencies to participate in conserving these species. Specifically, section 7 (a)(1) of the ESA charges Federal agencies to aid in the conservation of listed species, and section 7 (a)(2) requires the agencies to ensure that their activities are not likely to jeopardize the continued existence of listed species or adversely modify designated critical habitats.

How does the consultation process support the recovery of species and their ecosystems?

The Endangered Species Program of the U.S. Fish and Wildlife Service uses section 7 tools in partnership with other Service programs and other Federal agencies to collaboratively solve conservation challenges, as well as create opportunities, using section 7 consultations, to recover the ecosystems of listed species. Consultations also provide ways to implement recovery tasks by addressing threats to listed species that may result from Federal agency programs and activities.

What is the consultation process that occurs under section 7(a)(2)?

The provision under section 7 that is most often associated with the Service and other Federal agencies is section 7(a)(2). It requires Federal agencies to consult with the Service to ensure that actions they fund, authorize, permit, or otherwise carry out will not jeopardize the continued existence of any listed species or adversely modify designated critical habitats. The



Photo Credit: USGS - Sirenia Project

USGS

In response to requests for consultations from the U. S. Coast Guard with regard to manatees and sea turtles, the South Florida Office of the U. S. Fish and Wildlife Service has provided guidance about events such as fireworks displays, regattas, boat parades and races, and fishing tournaments.

Service issued regulations in 1986 detailing the consultation process, and we have since completed a handbook describing the process in detail. The handbook is available on our web site at http://www.fws.gov/endangered/esa-library/pdf/esa_section7_handbook.pdf.

What is the Service doing to facilitate the consultation process?

Designing projects in ways that are compatible with the conservation needs of listed species and their ecosystems is among the most effective methods of ensuring a more rapid and efficient section 7 consultation process, as well as species' recovery. The Information, Planning, and Conservation System is an emerging tool for action agencies, their applicants, and other project proponents to use

during the initial phases of project development and assessment. The system will allow for more effective integration of listed resource conservation needs and the eventual streamlining of section 7(a)(2) consultation.

How does a consultation get started?

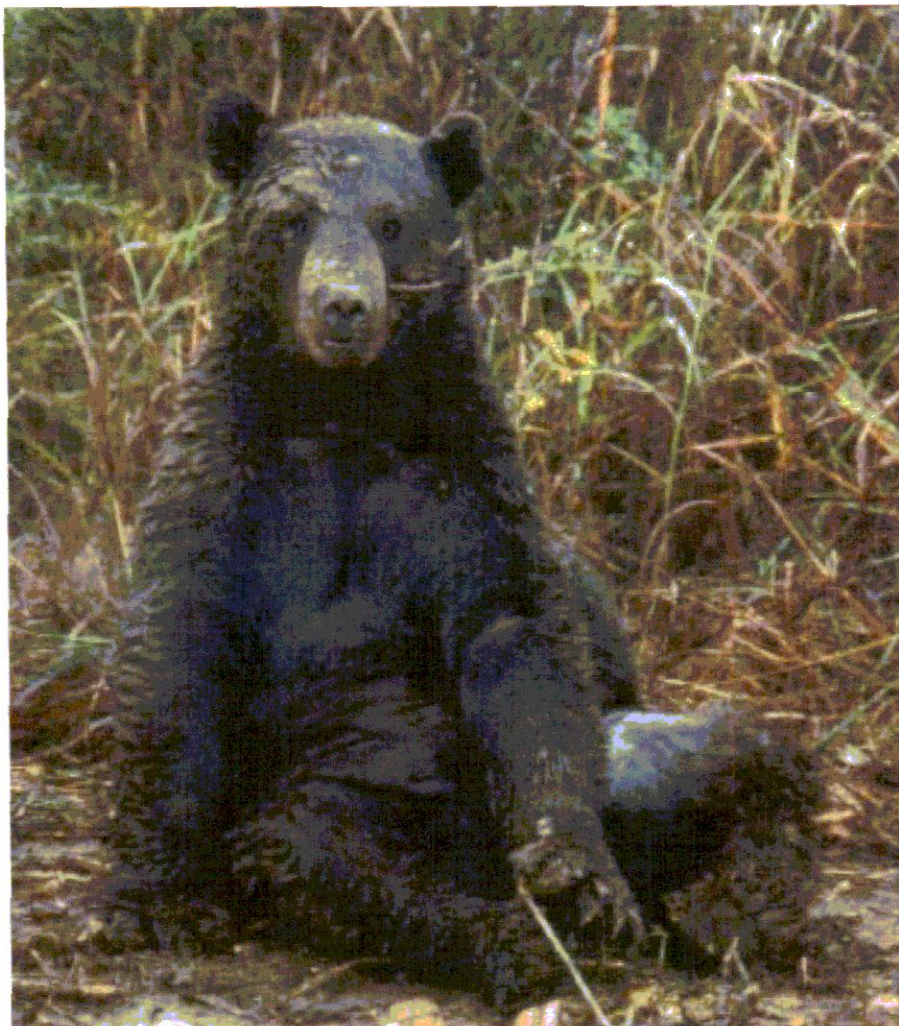
Early coordination is one of the most effective methods of (1) streamlining section 7 consultation, (2) reducing the need to make project modifications during the consultation process, and (3) improving the ability of section 7 to fulfill its role as a recovery tool. Federal agencies, applicants, and the Service engage in early coordination to develop methods of integrating proposed activities with the conservation needs of listed resources before the proposed actions are fully designed.

Before initiating an action, the Federal agency or its non-Federal permit applicant should coordinate with the Service as to the species that may be within their action area. If a listed species is present, the Federal agency must determine whether the project may affect it. If so, consultation may be required. If the action agency determines (and the Service agrees) that the project is not likely to adversely affect a listed species or designated critical habitat, and the Service concurs in writing, then the consultation (informal to this point) is concluded.

What happens if a Federal project may adversely affect a listed species?

If the Federal agency determines that a project is likely to adversely affect a listed species or designated critical habitat, the agency initiates formal consultation by providing information with regard to the nature of the anticipated effects. The ESA requires that consultation be completed within 90 days, and the regulations allow an additional 45 days for the Service to prepare a biological opinion. The analysis of whether or not the proposed action is likely to jeopardize the continued existence of the species or adversely modify designated critical habitat is contained in a biological opinion. If a jeopardy or adverse modification determination is made, the biological opinion must identify any reasonable and prudent alternatives that could allow the project to move forward.

The Service must anticipate any incidental take that may result from the proposed project and, provided that such take will not jeopardize the continued existence of the listed species, authorize that take in an incidental take statement. The latter contains clear terms and conditions designed to reduce the impact of the anticipated take to the species involved. The authorization of incidental take is contingent upon the Federal agency carrying out the terms and conditions. If the Service issues either a non-jeopardy opinion or a jeopardy opinion that contains reasonable and prudent alternatives, it may include an incidental take statement.



Dan Anderson/USFWS

This Louisiana black bear was one of the largest ever captured on Tensas River National Wildlife Refuge, weighing in at over 400 pounds. The bear was trapped using a leg-hold cable snare that does not injure the animal. The biological information obtained, including weight, sex, a tooth for aging, and other measurements, is part of the Service's ongoing research efforts to aid in the recovery of this threatened subspecies. Afterwards, the bear was released on site.

What is the consultation workload?

In Fiscal Year 2010, the Service assisted Federal agencies in carrying out their responsibilities under section 7 on more than 30,000 occasions. The vast majority of the workload was technical assistance to Federal agencies and informal consultations on actions that were not likely to adversely affect listed species or their designated critical habitat. A large percentage of projects, as initially planned, would have had adverse impacts to listed species, but were dealt with through informal consultation. In these situations, the Federal agency made changes to the project design so that adverse impacts to listed species were avoided.

What type of guidance is available for other Federal agencies?

Guidance is available on our section 7 web site at <http://www.fws.gov/endangered/what-we-do/consultations-overview.html>. Please call us at 703-358-2171 if you have any questions, or see our Endangered Species Program Contacts at <http://www.fws.gov/endangered/regions/index.html> to locate a Service office in your area.

**U. S. Fish and Wildlife Service
Endangered Species Program
4401 N. Fairfax Drive, Room 420
Arlington, VA 22203
703-358-2171
<http://www.fws.gov/endangered/>**

April 2011



United States Department of the Interior



FISH AND WILDLIFE SERVICE
Caribbean Ecological Services Field Office
Post Office Box 491
Boqueron, PR 00622-0491
Phone: (787) 834-1600 Fax: (787) 851-7440
Email Address: CARIBBEAN_ES@FWS.GOV

In Reply Refer To:
Project Code: 2024-0052086
Project Name: Plaza de la Convaleciencia y El Pilar

February 21, 2024

Subject: List of threatened and endangered species that may occur in your proposed project location or may be affected by your proposed project

To Whom It May Concern:

THE FOLLOWING SPECIES LIST IS NOT A SECTION 7 CONSULTATION. PLEASE CONTACT OUR OFFICE TO COMPLETE THE CONSULTATION PROCESS

The purpose of the Endangered Species Act (Act) is to provide a means whereby threatened, and endangered species and the ecosystems upon which they depend may be conserved. Under sections 7(a)(1) and 7(a)(2) of the Act and its implementing regulations (50 CFR 402 et seq.), Federal agencies are required to utilize their authorities to carry out programs for the conservation of threatened and endangered species and to determine whether projects may affect those species and/or their designated critical habitat.

Federal agencies are required to "request of the Secretary of Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action". The enclosed species list provides information to assist with the U.S. Fish and Wildlife Service (Service) consultation process under section 7 of the Act. However, **the enclosed species list does not complete the required consultation process.** The species list identifies threatened, endangered, proposed and candidate species, as well as proposed and designated critical habitats, that may occur within the boundary of your proposed project and/or may be affected by your proposed project. A discussion between the Federal agency and the Service should include what types of listed species may occur in the proposed action area and what effect the proposed action may have on those species. This process initiates informal consultation.

Once a species list is obtained for the proposed project, an effect determination for endangered and threatened species should be made. The applicant could make an effect determination by using available keys on IPaC for specific species. For species with no determination keys, the applicant should request concurrence from the Service by sending a project package

to caribbean_es@fws.gov. To obtain guidance for completing this process and the minimum requirements for project packages, please visit:

<https://www.fws.gov/sites/default/files/documents/consultation-under-section-7-of-the-endangered-species-act-with-the-caribbean-ecological%20Services-field-office-template-letter.pdf>

When a federal agency, after discussions with the Service, determines that the proposed action is not likely to adversely affect any listed species, or adversely modify any designated critical habitat, and the Service concurs, the informal consultation is complete, and the proposed project moves ahead. If the proposed action is suspected to affect a listed species or modify designated critical habitat, the Federal agency may then prepare a Biological Assessment (B.A.) to assist in its determination of the project's effects on species and their habitat. However, a B.A. is required for construction projects (or other undertakings having similar physical impacts) that are major Federal actions significantly affecting the quality of the human environment as defined in the National Environmental Policy Act (42 U.S.C. 4332(2) (c)). For projects other than major construction activities, the Service suggests that a biological evaluation similar to a B.A. where the agency provides the Service with an evaluation on the likely effects of the action to determine whether the project may affect listed or proposed species and/or designated or proposed critical habitat. Recommended contents of a B.A. are described at 50 CFR 402.12.

If a federal agency determines, based on its B.A. or biological evaluation, that listed species and/or designated critical habitat may be affected by the proposed project, the agency is required to further consult with the Service pursuant to 50 CFR 402. In addition, the Service recommends that candidate species, proposed species, and proposed critical habitat be addressed within the consultation process. More information on the regulations and procedures for section 7 consultation, including the role of permit or license applicants, can be found in the "Endangered Species Consultation Handbook" at:

<https://www.fws.gov/sites/default/files/documents/endangered-species-consultation-handbook.pdf>

New information based on updated surveys, changes in the abundance and distribution of species, changed habitat conditions, or other factors could change this list. Please feel free to contact us if you need more current information or assistance regarding the potential impacts to federally proposed, listed, and candidate species.

This list is provided pursuant to Section 7 of the Endangered Species Act and fulfills the requirement for Federal agencies to "request of the Secretary of the Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action". Please use this list to determine whether your project requires consultation and to make your effects determination. For more guidance, use the Guideline for Consultation under Section 7 of the Endangered Species Act with the Caribbean Ecological Services Field Office by clicking [here](#).

This species list is provided by:

Caribbean Ecological Services Field Office

caribbean_es@fws.gov

Post Office Box 491

Boqueron, PR 00622-0491

(786) 244-0081

Attachment(s):

- Official Species List
- USFWS National Wildlife Refuges and Fish Hatcheries
- Bald & Golden Eagles
- Migratory Birds
- Wetlands

OFFICIAL SPECIES LIST

This list is provided pursuant to Section 7 of the Endangered Species Act, and fulfills the requirement for Federal agencies to "request of the Secretary of the Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action".

This species list is provided by:

Caribbean Ecological Services Field Office

Post Office Box 491

Boqueron, PR 00622-0491

(787) 834-1600

PROJECT SUMMARY

Project Code: 2024-0052086
Project Name: Plaza de la Convalecencia y El Pilar
Project Type: Federal Grant / Loan Related
Project Description: Remodeling of existing urban public "plazas" at Rio Piedras Ward, San Juan, Puerto Rico.

Project Location:

The approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/@18.3977114,-66.05109053083737,14z>



Counties: San Juan County, Puerto Rico

ENDANGERED SPECIES ACT SPECIES

There is a total of 1 threatened, endangered, or candidate species on this species list.

Species on this list should be considered in an effects analysis for your project and could include species that exist in another geographic area. For example, certain fish may appear on the species list because a project could affect downstream species.

IPaC does not display listed species or critical habitats under the sole jurisdiction of NOAA Fisheries¹, as USFWS does not have the authority to speak on behalf of NOAA and the Department of Commerce.

See the "Critical habitats" section below for those critical habitats that lie wholly or partially within your project area under this office's jurisdiction. Please contact the designated FWS office if you have questions.

-
1. [NOAA Fisheries](#), also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

REPTILES

NAME	STATUS
Puerto Rican Boa <i>Chilabothrus inornatus</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/6628 General project design guidelines: https://ipac.ecosphere.fws.gov/project/BNH4HIRKBJH37OA4ODTS3BMPYU/documents/generated/7159.pdf	Endangered

CRITICAL HABITATS

THERE ARE NO CRITICAL HABITATS WITHIN YOUR PROJECT AREA UNDER THIS OFFICE'S JURISDICTION.

YOU ARE STILL REQUIRED TO DETERMINE IF YOUR PROJECT(S) MAY HAVE EFFECTS ON ALL ABOVE LISTED SPECIES.

USFWS NATIONAL WILDLIFE REFUGE LANDS AND FISH HATCHERIES

Any activity proposed on lands managed by the [National Wildlife Refuge](#) system must undergo a 'Compatibility Determination' conducted by the Refuge. Please contact the individual Refuges to discuss any questions or concerns.

THERE ARE NO REFUGE LANDS OR FISH HATCHERIES WITHIN YOUR PROJECT AREA.

BALD & GOLDEN EAGLES

Bald and golden eagles are protected under the Bald and Golden Eagle Protection Act¹ and the Migratory Bird Treaty Act².

Any person or organization who plans or conducts activities that may result in impacts to bald or golden eagles, or their habitats³, should follow appropriate regulations and consider implementing appropriate conservation measures, as described in the links below. Specifically, please review the "[Supplemental Information on Migratory Birds and Eagles](#)".

1. The [Bald and Golden Eagle Protection Act](#) of 1940.
2. The [Migratory Birds Treaty Act](#) of 1918.
3. 50 C.F.R. Sec. 10.12 and 16 U.S.C. Sec. 668(a)

THERE ARE NO BALD AND GOLDEN EAGLES WITHIN THE VICINITY OF YOUR PROJECT AREA.

MIGRATORY BIRDS

Certain birds are protected under the Migratory Bird Treaty Act¹ and the Bald and Golden Eagle Protection Act².

Any person or organization who plans or conducts activities that may result in impacts to migratory birds, eagles, and their habitats³ should follow appropriate regulations and consider implementing appropriate conservation measures, as described in the links below. Specifically, please review the "[Supplemental Information on Migratory Birds and Eagles](#)".

1. The [Migratory Birds Treaty Act](#) of 1918.
2. The [Bald and Golden Eagle Protection Act](#) of 1940.
3. 50 C.F.R. Sec. 10.12 and 16 U.S.C. Sec. 668(a)

THERE ARE NO FWS MIGRATORY BIRDS OF CONCERN WITHIN THE VICINITY OF YOUR PROJECT AREA.

WETLANDS

Impacts to [NWI wetlands](#) and other aquatic habitats may be subject to regulation under Section 404 of the Clean Water Act, or other State/Federal statutes.

For more information please contact the Regulatory Program of the local [U.S. Army Corps of Engineers District](#).

Please note that the NWI data being shown may be out of date. We are currently working to update our NWI data set. We recommend you verify these results with a site visit to determine the actual extent of wetlands on site.

THERE ARE NO WETLANDS WITHIN YOUR PROJECT AREA.

IPAC USER CONTACT INFORMATION

Agency: Private Entity
Name: LAREDO GONZALEZ
Address: PMB 268
Address Line 2: 35 Juan Carlos de Borbon 67
City: Guaynabo
State: PR
Zip: 00969
Email: falconpr2010@gmail.com
Phone: 7876373603



United States Department of the Interior



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Phone: (787) 834-1600 Fax: (787) 851-7440
Email Address: CARIBBEAN_ES@FWS.GOV

In Reply Refer To:
Project code: 2024-0052086
Project Name: Plaza de la Convalecencia y El Pilar

February 21, 2024

Subject: Consistency letter for the project named 'Plaza de la Convalecencia y El Pilar' for specified threatened and endangered species, that may occur in your proposed project location, pursuant to the IPaC determination key titled Caribbean Determination Key (DKey).

Dear Applicant:

Thank you for using the assisted evaluation keys in IPaC. This letter is provided pursuant to the Service's authority under the Endangered Species Act of 1973, as amended (ESA) (87 Stat. 884; 16 U.S.C. 1531et seq.). On February 21, 2024, LAREDO GONZALEZ used the Caribbean DKey; dated January 19, 2024, in the U.S. Fish and Wildlife Service's online [IPaC application](#) to evaluate potential impacts to federally listed species, from a project named 'Plaza de la Convalecencia y El Pilar'. The project is located in San Juan County, Puerto Rico (shown below).

The approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/@18.3977114,-66.05109053083737,14z>



The following description was provided for the project 'Plaza de la Convalecencia y El Pilar':

Remodeling of existing urban public "plazas" at Rio Piedras Ward, San Juan, Puerto Rico.

Based on your answers and the assistance of the Service's Caribbean DKey, you determined the proposed Action will have "No Effect" on the following species:

Species	Listing Status	Determination
Puerto Rican Boa (<i>Chilabothrus inornatus</i>)	Endangered	No effect

Thank you for informing the Service of your "No Effect" determination(s) for this project. No further consultation/coordination for this project is required for these species. However, be aware that reinitiation of consultation may be necessary if later modifications are made to the project so that it no longer meets the criteria or outcome described above, or if new information reveals effects of the action that could affect listed species or critical habitat in a manner or to an extent not previously considered, or if a new species is listed.

This letter serves as documentation of your consideration of the federally listed species as required under section 7 of the ESA. However, effects to the other federally listed species or critical habitat as listed below from the "IPaC print-out for the project" (see below) should be considered as part of your ESA review for the project.

The Service will notify you within 30 calendar days if we determine that this proposed Action does not meet the criteria for a "No Effect" (NE) determination for Federally listed species in the Caribbean. If we do not notify you within that timeframe, you may proceed with the Action under the terms of the NE concurrence provided here. This verification period allows the Caribbean Ecological Services Field Office to apply local knowledge to evaluate the Action, as we may identify a small subset of actions having unanticipated impacts. In such instances, the Caribbean Ecological Services Field Office may request additional information to verify the effects determination reached through the DKey.

Note: Projects located within the range of the Puerto Rican boa or the Virgin Islands tree boa might encounter these species during project activities. **This letter does not provide take to handle or move these species.** If relocation of the species is needed, please contact either the Puerto Rico Department of Natural Resources (DNER) at 787-724-5700, 787-230-5550, or 787-771-1124 for projects in Puerto Rico, or the Virgin Islands Department of Planning and Natural Resources, Division of Fish and Wildlife (DFW) at 340-775-6762 for projects in the Virgin Islands. Otherwise, contact the Caribbean Ecological Services Field Office (caribbean_es@fws.gov) to determine whether the consultation needs to be reinitiated.

If the proposed project is located within species range where a DKey has not been developed for those species, please follow the established guidance for initiating section 7 consultation Caribbean Ecological Services Field Office.

We appreciate your interest in protecting endangered species and their habitats. It is the Service's mission to work with others to conserve, protect, and enhance fish, wildlife, and plants and their

habitats for the continuing benefit of our people. If you have any questions or require additional information, please contact our office at Caribbean_es@fws.gov.

Action Description

You provided to IPaC the following name and description for the subject Action.

1. Name

Plaza de la Convalecencia y El Pilar

2. Description

The following description was provided for the project 'Plaza de la Convalecencia y El Pilar':

Remodeling of existing urban public "plazas" at Rio Piedras Ward, San Juan, Puerto Rico.

The approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/@18.3977114,-66.05109053083737,14z>



QUALIFICATION INTERVIEW

1. Is the proposed project an EPA Multi-Sector General Permit (MSGP) renewal for an existing project? ([MSGP Fact Sheet](#))

No

2. Is the proposed project within an urban developed area? (i.e., cities, downtowns, shopping malls etc.)

Note: Urban and developed areas has one or more of the following characteristics: Presence of existing buildings, residential areas, and commercial establishments. Well-established infrastructure including roads, utilities, and urban facilities. High population density. Established neighborhoods and urban amenities ("urbanizaciones"). Developed landscape with paved surfaces, parking lots, and industrial areas. Signs of human activity and urbanization, such as shopping centers and recreational facilities. Location within the boundaries of a city or town ("casco urbano"). High concentration of built-up structures and limited open spaces. Aerial imagery might be requested to the applicant. .

Yes

3. [Hidden Semantic] Does the proposed project intersect the Puerto Rican boa area of influence?

Automatically answered

Yes

IPAC USER CONTACT INFORMATION

Agency: Private Entity
Name: LAREDO GONZALEZ
Address: PMB 268
Address Line 2: 35 Juan Carlos de Borbon 67
City: Guaynabo
State: PR
Zip: 00969
Email: falconpr2010@gmail.com
Phone: 7876373603

LEAD AGENCY CONTACT INFORMATION

Lead Agency: Department of Housing and Urban Development

General Project Design Guidelines (1 Species)

Generated February 21, 2024 02:46 PM UTC, IPaC v6.105.0-rc3



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Species Document Availability

Species with general design guidelines

Puerto Rican Boa *Chilabothrus inornatus*



U.S. FISH AND WILDLIFE SERVICE CARIBBEAN ECOLOGICAL SERVICES FIELD OFFICE

Conservation Measures for the Puerto Rican boa (*Chilabothrus inornatus*)

Section 7 (a)(1) of the Endangered Species Act (ESA) charges Federal agencies to aid in the conservation of listed species, and section 7 (a)(2) requires the agencies, through consultation with the U.S. Fish and Wildlife Service (Service), to ensure their activities are not likely to jeopardize the continued existence of listed species or adversely modify designated critical habitats. Section 7 applies to the management of Federal lands as well as Federal actions that may affect federally listed species, such as Federal approval of private activities through the issuance of Federal funding, permits, licenses, or other actions. Any person that injures, captures, or kills a Puerto Rico boa is subject to penalties under the ESA. If Federal funds or permits are needed, the funding or permitting agency should initiate Section 7 consultation with the Service. To initiate a consultation under the Section 7 of the ESA, you must submit a project package with the established minimum requirements. These conservation measures should be incorporated into the project plans to minimize possible impacts to the species.

The endangered Puerto Rican (PR) boa (*Chilabothrus inornatus*, formerly *Epicrates inornatus*) is the largest endemic snake species that inhabits Puerto Rico. The PR boa is non-venomous and does not pose any life threatening danger to humans, but some individuals may try to bite if disturbed or during capture or handling. Its body color ranges from tan to dark brown with irregular diffuse marking on the dorsum, but some individuals lack marking and are uniformly dark. Juveniles may have a reddish color with more pronounced markings. In general, as they mature, their body color tends to darken.



The PR boa was federally listed in 1970. Currently, the species has an island-wide distribution and occurs in a wide variety of habitat types, ranging from wet montane to subtropical dry forest and can be found from mature forest to areas with different degrees of human disturbance such as roadsides or houses, especially if near their habitat in rural areas. The PR boa is considered mostly nocturnal, remaining less active, concealed or basking under the sun during the day.

The Service has developed the following conservation measures with the purpose of assisting others to avoid or minimize adverse effects to the PR boa and its habitat. These recommendations may be incorporated into new project plans and under certain circumstances into existing projects. Depending on the project, additional conservation measures can be implemented besides the ones presented in this document.

Conservation Measures:

1. Inform all project personnel about the potential presence of the PR boa in areas where the proposed work will be conducted. A pre-construction meeting should be conducted to inform all project personnel about the need to avoid harming the species as well as penalties for harassing or harming PR boas. An educational poster or sign with photo or illustration of the species should be displayed at the project site.
2. Prior to any construction activity, including removal of vegetation and earth movements, the boundaries of the project and areas to be excluded and protected should be clearly marked in the project plan and in the field in order to avoid further habitat degradation into forested and conservation areas.
3. Once areas are clearly marked, and prior to the use of heavy machinery and any construction activity (including removal of vegetation and earth movement), a biologist or project personnel with experience on this species should survey the areas to be cleared to verify the presence of any PR boa within the work area.
4. If a PR boa is found within any of the working or construction areas, activities should stop at that area and information recorded (see #5). **Do not capture the boa.** If boas need to be moved out of harm's way, designated personnel shall immediately contact the Puerto Rico Department of Natural and Environmental Resources (PRDNER) Rangers for safe capture and relocation of the animal (PRDNER phone #: (787) 724-5700, (787) 230-5550, (787) 771-1124). **If immediate relocation is not an option, project-related activities at that area must stop until the boa moves out of harm's way on its own.** Activities at other work sites, where no boas have been found after surveying the area, may continue.
5. For all boa sightings (dead or alive), record the time and date of the sighting and the specific location where it was found. PR boa data should also include a photo of the animal (dead or alive), site GPS coordinates, the time and date, and comments on how the animal was detected and its behavior.

6. If a PR boa is captured by PRDNER personnel, record the name of that person and information on where the PR boa will be taken. This information should be reported to the Service.
7. Measures should be taken to avoid and minimize PR boa casualties by heavy machinery or motor vehicles being used on site. Any heavy machinery left on site (staging) or near potential PR boa habitat (within 50 meters of potential boa habitat), needs to be thoroughly inspected each morning before work starts to ensure that no boas have sheltered within engine compartments or other areas of the equipment. If PR boas are found within vehicles or equipment, do not capture the animal, and let it move on its own or call PRDNER Rangers for safe capture and relocation of the animal (see #4). If not possible, the animal should be left alone until it leaves the vehicle on its own.
8. PR boas may seek shelter in debris piles. Measures should be taken to avoid and minimize boa casualties associated with sheltering in debris piles as a result of project activities. Debris piles should be placed far away from forested areas. Prior to moving, disposing or shredding, debris piles should be carefully inspected for the presence of boas. If debris piles will be left on site, we recommend they be placed in areas that will not be disturbed in the future.
9. If a dead PR boa is found, immediately cease all work in that area and record the information accordingly (see #5). If the PR boa was accidentally killed as part of the project actions, please include information on what conservation measures had been implemented and what actions will be taken to avoid further killings. A dead boa report should be sent by email (see contacts below) to the Service within 48 hours of the event.
10. Projects must comply with all state laws and regulations. Please contact the PRDNER for further guidance.

If you have any questions regarding the above conservation measures, please contact the Service:

- José Cruz-Burgos, Endangered Species Program Coordinator
 - Email: jose_cruz-burgos@fws.gov
 - Office phone (305) 304-1386
- Jan Zegarra, Fish and Wildlife Biologist
 - Email: jan_zegarra@fws.gov
 - Office phone (786) 933-1451

Attachment VIII: Explosive and Flammable Hazards 24 CFR Part 51 Subpart C



August 1st, 2025

Puerto Rico Department of Housing
PO Box 21365
San Juan PR 00928-1365

RE: Compliance with HUD **Explosive and Flammable Hazards Section** (24 CFR Part 51 Subpart C) **CONVALECENCIA PLAZA**, San Juan, Puerto Rico

Dear Housing Personnel:

The proposed project does not consider the installation or development of hazardous facilities. However, a 354 KW Emergency Electric Generator (EEG) is installed at the parking area located one floor beneath the Convelecencia Plaza. A 500-gallon diesel doble wall day tank provides fuel to the EEG. Said day tank was constructed in compliance with the Safety Standards developed by the Underwriters Laboratories (UL) code UL-142.

The above-described EEG tank meets the description of a Self-Contained Above Ground Container (SCACs), SCACs are considered containers without a dike (HUD Guidebook 6600.G). According to the HUD ASD Tool, the Acceptable Separation Distance (ASD) for thermal radiation for an above the ground, non-diked diesel tank of 500 gallons would be 207.5 feet, for people and 36.50 feet for buildings and housing units. (See Attachment # 1)

An **ADDITIONAL External** eight (8) feet long x seven (7) feet wide x 1.5 feet height (84 cubic Feet) dike will be constructed around the EEG. According to the HUD ASD Tool, the Acceptable Separation Distance (ASD) for thermal radiation for an above ground tank, considering an additional external concrete dike as the one described above would be:

Accepted Separation Distance (ASD) for a 500-Gallons Doble Wall, Diked Diesel Day Tank. (Note # 1)	Results
Diked Area	56 sqf.
ASD for Thermal Radiation for People (ASDPNPD)	46.37 Feet
ASD for Thermal Radiation for Buildings (ASDBNPD)	7.02 Feet

Note # 1: Acceptable Separation Distance (ASD) considering the construction of an External Additional Dike.

In: HUDs Acceptable Separation Distance Guidebook:

Calle Dr. Irma I. Ruiz #901, PMB 46 Urb. Brisas del Mar Luquillo, PR 00773



"Natural barriers are hills, mountains, earthen elevations, etc. Manmade barriers are buildings, housing developments and other structures. Natural and man-made barriers may serve as abatement from thermal radiation or blast-overpressure effects that can have an impact on HUD-assisted projects and the people who live and work there.

"If there are natural or man-made barriers between the proposed HUD-assisted project site and the hazard, the available barrier must serve to abate the effects of thermal radiation, blast-overpressure or both from the hazard." " - If the ASD is not achievable between the proposed HUD-assisted project site and the hazardous operation/facility, but there is no clear line of sight between the proposed HUD-assisted project and the hazard, mitigation may not be required. "

"Under the regulation 24 CFR Part 51 Subpart C, if there is a natural or man-made abatement between the proposed HUD-assisted project and the hazard that impedes a clear view, the abatement might serve as mitigation for the proposed HUD-assisted project."

Considering the above-mentioned statutory considerations:

- a) The EGG is already located below the surface.
- b) Existing structures and proposed dike will shield the proposed project and people from potential thermal exposures originated at the EGG.

To the best of our knowledge, we consider that the proposed project will not expose people nor buildings to diesel spills or thermal radiation and that existing manmade features and the proposed dike provides protection to the proposed project, acting as barriers in the case of a diesel spill or fire originating from the EGG diesel day tank. Therefore, this topic should be considered in compliance with 24 CFR Part 51 Subpart C regulations.

Cordally
DANIEL PAGAN ROSA
LICENCIADO
LIC. # 6244
Eng. Daniel Pagan Rosa PE
License # 6244

See Attachments # 1 & 2

ATTACHMENT # 1

Attachment # 1

[home \(https://www.nudexchange.info/\)](https://www.nudexchange.info/) > Programs
(<https://www.hudexchange.info/programs/>) > Environmental Review
(<https://www.hudexchange.info/programs/environmental-review/>) > ASD Calculator

Acceptable Separation Distance (ASD) Electronic Assessment Tool

The Environmental Planning Division (EPD) has developed an electronic-based assessment tool that calculates the Acceptable Separation Distance (ASD) from stationary hazards. The ASD is the distance from above ground stationary containerized hazards of an explosive or fire prone nature, to where a HUD assisted project can be located. The ASD is consistent with the Department's standards of blast overpressure (0.5 psi-buildings) and thermal radiation (450 BTU/ft² - hr - people and 10,000 BTU/ft² - hr - buildings). Calculation of the ASD is the first step to assess site suitability for proposed HUD-assisted projects near stationary hazards. Additional guidance on ASDs is available in the Department's guidebook "Siting of HUD- Assisted Projects Near Hazardous Facilities" and the regulation 24 CFR Part 51, Subpart C, Siting of HUD-Assisted Projects Near Hazardous Operations Handling Conventional Fuels or Chemicals of an Explosive or Flammable Nature.

Note: Tool tips, containing field specific information, have been added in this tool and may be accessed by hovering over the ASD result fields with the mouse.

Acceptable Separation Distance Assessment Tool

Is the container above ground?

Yes: No:

Is the container under pressure?

Yes: No:

Does the container hold a cryogenic liquified gas?

Yes: No:

N/A Liquid Diesel Fuel at Atmospheric Pressure

Is the container diked?

Yes: No:

What is the volume (gal) of the container?

500

What is the Diked Area Length (ft)?

What is the Diked Area Width (ft)?

Calculate Acceptable Separation Distance

Diked Area (sqft)

56

The Storage Containers located therein is a Double Wall Carbon Steel UL 142 unit where an additional Concrete Dike will be provided of 56 sqft.

ASD for Blast Over Pressure (ASDBOP)

ASD for Thermal Radiation for People (ASDPPU)

207.20

ASD for Thermal Radiation for Buildings (ASDBPU)

36.50

ASD for Thermal Radiation for People (ASDPNPD)

ASD for Thermal Radiation for Buildings (ASDBNPD)

For mitigation options, please click on the following link: Mitigation Options (<https://www.hudexchange.info/resource/3846/acceptable-separation-distance-asd-hazard-mitigation-options/>)

Providing Feedback & Corrections

After using the ASD Assessment Tool following the directions in this User Guide, users are encouraged to provide feedback on how the ASD Assessment Tool may be improved. Users are also encouraged to send comments or corrections for the improvement of the tool.

Please send comments or other input using the **Contact Us** (<https://www.hudexchange.info/contact-us/>) form.

Related Information

- **ASD User Guide** (<https://www.hudexchange.info/resource/3839/acceptable-separation-distance-asd-assessment-tool-user-guide/>)
- **ASD Flow Chart** (<https://www.hudexchange.info/resource/3840/acceptable-separation-distance-asd-flowchart/>)

ATTACHMENT # 2

Attachment # 2

Home (<https://www.nudexchange.info/>) > Programs
(<https://www.hudexchange.info/programs/>) > Environmental Review
(<https://www.hudexchange.info/programs/environmental-review/>) > ASD Calculator

Acceptable Separation Distance (ASD) Electronic Assessment Tool

The Environmental Planning Division (EPD) has developed an electronic-based assessment tool that calculates the Acceptable Separation Distance (ASD) from stationary hazards. The ASD is the distance from above ground stationary containerized hazards of an explosive or fire prone nature, to where a HUD assisted project can be located. The ASD is consistent with the Department's standards of blast overpressure (0.5 psi-buildings) and thermal radiation (450 BTU/ft² - hr - people and 10,000 BTU/ft² - hr - buildings). Calculation of the ASD is the first step to assess site suitability for proposed HUD-assisted projects near stationary hazards. Additional guidance on ASDs is available in the Department's guidebook "Siting of HUD- Assisted Projects Near Hazardous Facilities" and the regulation 24 CFR Part 51, Subpart C, Siting of HUD-Assisted Projects Near Hazardous Operations Handling Conventional Fuels or Chemicals of an Explosive or Flammable Nature.

Note: Tool tips, containing field specific information, have been added in this tool and may be accessed by hovering over the ASD result fields with the mouse.

Acceptable Separation Distance Assessment Tool

- Is the container above ground? Yes: No:
- Is the container under pressure? Yes: No:
- Does the container hold a cryogenic liquified gas? Yes: No: N/A Liquid Diesel Fuel at Atmospheric Pressure
- Is the container diked? Yes: No:

What is the volume (gal) of the container?

What is the Diked Area Length (ft)?

8

What is the Diked Area Width (ft)?

7

Calculate Acceptable Separation Distance

Diked Area (sqft)

56

The Storage Container located therein is a Double Wall Carbon Steel UL-142 unit where an additional Concrete Dike will be provided of 56 sqft.

ASD for Blast Over Pressure (ASDBOP)

ASD for Thermal Radiation for People (ASDPPU)

ASD for Thermal Radiation for Buildings (ASDBPU)

ASD for Thermal Radiation for People (ASDPNPD)

46.37

ASD for Thermal Radiation for Buildings (ASDBNPD)

7.02

For mitigation options, please click on the following link: Mitigation Options (<https://www.hudexchange.info/resource/3846/acceptable-separation-distance-asd-hazard-mitigation-options/>)

Providing Feedback & Corrections

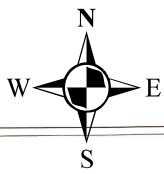
After using the ASD Assessment Tool following the directions in this User Guide, users are encouraged to provide feedback on how the ASD Assessment Tool may be improved. Users are also encouraged to send comments or corrections for the improvement of the tool.

Please send comments or other input using the **Contact Us (<https://www.hudexchange.info/contact-us/>)** form.

Related Information

- **ASD User Guide (<https://www.hudexchange.info/resource/3839/acceptable-separation-distance-asd-assessment-tool-user-guide/>)**
- **ASD Flow Chart (<https://www.hudexchange.info/resource/3840/acceptable-separation-distance-asd-flowchart/>)**

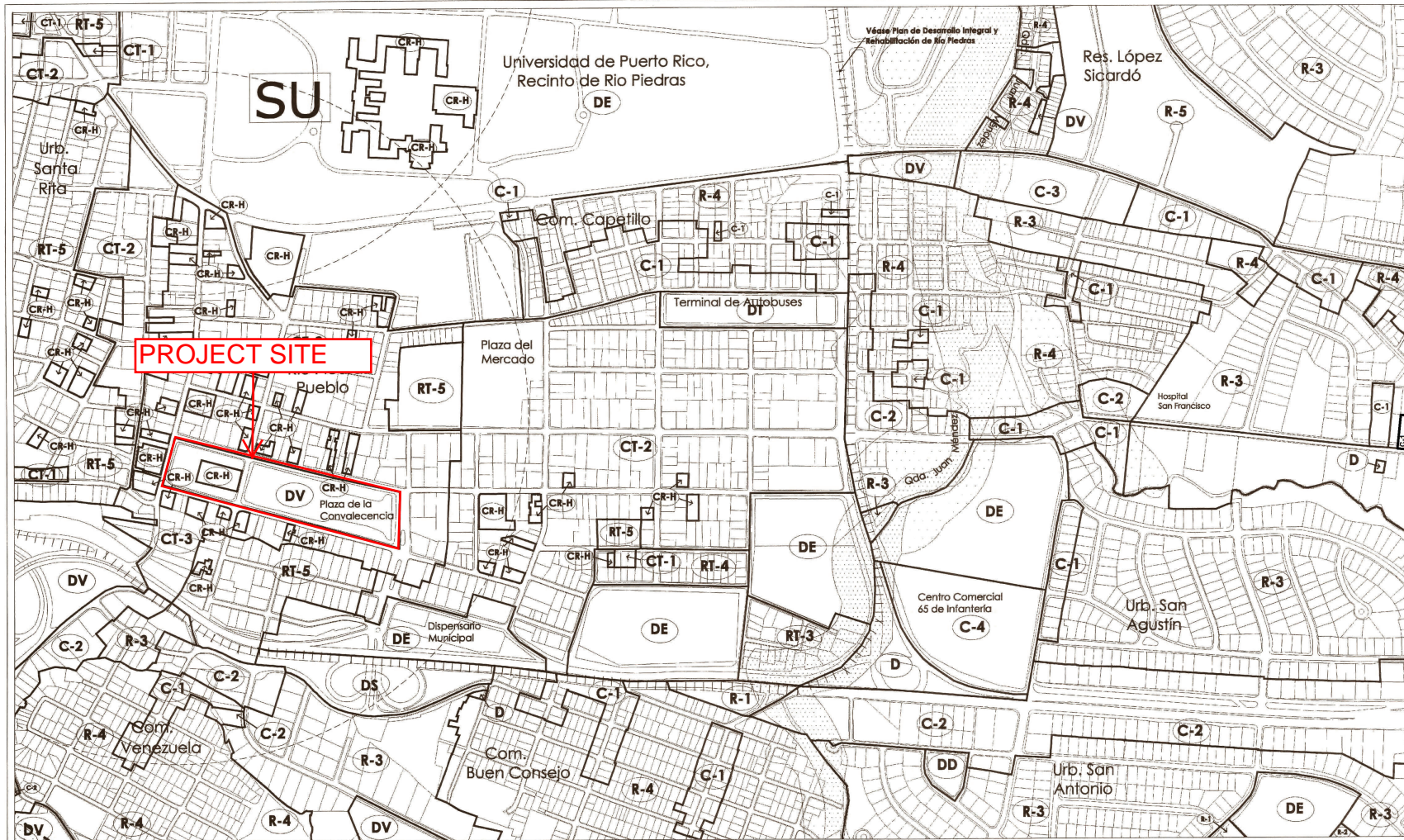
**Attachment IX: Farmland Protection Policy Act of 1981,
particularly sections 1504(b) and 1541; 7 CFR Part 658**



PR-CRP-000924
 Plaza Convalecencia &
 Plaza del Pilar
 Parcel ID: 087-012-560-01

STATE ROAD PR-25, BETWEEN
 GEORGETI ST. AND ARZUAGA
 ST., RIO PIEDRAS WARD, SAN
 JUAN, PUERTO RICO.

Coordinates:
 18.397611,-66.0509706



LEYENDA

----- LIMITE DE MUNICIPIO
 ----- LIMITE DE DISTRITO DE CLASIFICACION
 ----- LIMITE DE CLASIFICACION

DISTRITOS DE CLASIFICACION

SU SUELO URBANO
 SRC SUELO URBICO COMUN
 SRFP SUELO URBICO ESPECIALMENTE PROTEGIDO

ZONA INUNDABLE 1
 ZONA INUNDABLE 1M
 ZONA INUNDABLE 2

○ CALIFICACION

NUMERO DE HOJA 8E

DISTRITOS DE CALIFICACION

DISTRITOS EN SUELO URBANO

DISTRITOS RESIDENCIALES

R-1 (BAJA DENSIDAD-SOLAR MIN. 8,000 m²/c)

R-2 (BAJA DENSIDAD-SOLAR MIN. 100 m²/c)

R-3 (BAJA DENSIDAD-SOLAR MIN. 480 m²/c)

R-4 (GENERAL-SOLAR MIN. 300 m²/c)

R-5 APARTAMENTOS (ALTA DENSIDAD EN SOLAR MIN. 400 m²/c)

R-6 APARTAMENTOS (ZONAS HISTORICAS)

RT-3 RESIDENCIAL TURISTICO (300 m²/c)

RT-4 RESIDENCIAL TURISTICO (200 m²/c)

RT-5 RESIDENCIAL TURISTICO (1,000 m²/c)

DISTRITOS COMERCIALES

CO-1 COMERCIAL DE OFICINA UNO

CO-2 COMERCIAL DE OFICINA DOS

C-1 COMERCIAL LIVIANO

C-2 COMERCIAL LOCAL

C-3 COMERCIAL CENTRAL INTERMEDIO

C-4 COMERCIAL CENTRAL

CE-1 CENTROS DE SERVICIOS COMERCIAL CENTRAL

CE-2 COMERCIAL DE SERVICIOS COMERCIAL EXTERNA

CE-3 COMERCIAL DE SERVICIOS COMERCIAL EXTERNA

CE-4 COMERCIAL DE SERVICIOS COMERCIAL EXTERNA

CE-5 COMERCIAL DE SERVICIOS COMERCIAL EXTERNA

CE-6 COMERCIAL DE SERVICIOS COMERCIAL EXTERNA

DISTRITOS INDUSTRIALES

I-1 INDUSTRIAL (INDUSTRIAS LIVIANAS)

I-2 INDUSTRIAL (INDUSTRIAS LIVIANAS LIMITADAS)

I-3 INDUSTRIAL (INDUSTRIAS LIVIANAS LIMITADAS)

I-4 INDUSTRIAL (INDUSTRIAS PESADAS LIMITADAS)

DISTRITOS DE ORDENACION EN SUELO URBICO

SRF SUELO URBICO FORJADO

S-1 BOSQUES DE INTERIOR

DISTRITOS SOBREPUESTOS

SC-1 RESIDENCIAL-COMERCIAL

D DISTRITOS DOTACIONALES:

D TERCERIA PUBLICA

DV PLAZAS Y AREAS VERDES

DD RECREACION Y DEPORTE

DE EQUIPAMIENTO

DS SERVICIO PUBLICO

DA ADMINISTRACION

DT TRANSPORTACION

○ DISTRITO TU (TIEN URBANO)

DISTRITOS DE APLICACION GENERAL

CR-H CONSERVACION/RESTAURACION RECURSOS HISTORICOS

CPH CONSERVACION PATRIMONIO HISTORICO

ESCALA: 1:2,000

CERTIFICACION
 ADOPTADO POR LA JUNTA DE PLANIFICACION DE PUERTO RICO

Myrna Martínez Hernández
 MYRNA MARTÍNEZ HERNÁNDEZ
 SECRETARÍA INTERINA

DEC 1 2 2014
 VIGENCIA

Mapa de Calificación de Suelo Municipio Autónomo de San Juan



ADOPTADO POR LA JUNTA DE PLANIFICACION DE PUERTO RICO
 CONFORME A LA RESOLUCION: C-18-45
 ESTA HOJA REVOCA A LAS ANTERIORES
 SEGUN ENMENDADA EN: 03 OCT 2014

6D	6E	6F
7D	7E	7F
8D	8E	8F
9D	9E	9F
10D	10E	10F



PR-CRP-000924
Plaza Convalecencia &
Plaza del Pilar
Parcel ID: 087-012-560-01

STATE ROAD PR-25, BETWEEN
 GEORGETI ST. AND ARZUAGA
 ST., RIO PIEDRAS WARD, SAN
 JUAN, PUERTO RICO.

Coordinates:
18.397973,-66.052261



Soil Map may not be valid at this scale.

Map Scale: 1:1,930 if printed on A landscape (11" x 8.5") sheet.




Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 19N WGS84

Farmland Classification—San Juan Area, Puerto Rico
 (PLAZA DE LA CONVALECENCIA-PILAR)

Farmland Classification—San Juan Area, Puerto Rico
(PLAZA DE LA CONVALECENCIA-PILAR)









MAP LEGEND








Area of Interest (AOI)






 Area of Interest (AOI)








Soils



Soil Rating Polygons

-  Not prime farmland
-  All areas are prime farmland
-  Prime farmland if drained
-  Prime farmland if protected from flooding or not frequently flooded during the growing season
-  Prime farmland if irrigated
-  Prime farmland if drained and either protected from flooding or not frequently flooded during the growing season
-  Prime farmland if irrigated and drained
-  Prime farmland if irrigated and either protected from flooding or not frequently flooded during the growing season









-  Prime farmland if subsoiled, completely removing the root inhibiting soil layer
-  Prime farmland if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60
-  Prime farmland if irrigated and reclaimed of excess salts and sodium
-  Farmland of statewide importance
-  Farmland of statewide importance, if drained
-  Farmland of statewide importance, if protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if irrigated

-  Farmland of statewide importance, if drained and either protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if irrigated and drained
-  Farmland of statewide importance, if irrigated and either protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if subsoiled, completely removing the root inhibiting soil layer
-  Farmland of statewide importance, if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60



































-  Farmland of statewide importance, if irrigated and reclaimed of excess salts and sodium
-  Farmland of statewide importance, if drained or either protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if warm enough, and either drained or either protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if warm enough
-  Farmland of statewide importance, if thawed
-  Farmland of local importance
-  Farmland of local importance, if irrigated

-  Farmland of unique importance
-  Not rated or not available






















Soil Rating Lines

-  Not prime farmland
-  All areas are prime farmland
-  Prime farmland if drained
-  Prime farmland if protected from flooding or not frequently flooded during the growing season
-  Prime farmland if irrigated
-  Prime farmland if drained and either protected from flooding or not frequently flooded during the growing season
-  Prime farmland if irrigated and drained
-  Prime farmland if irrigated and either protected from flooding or not frequently flooded during the growing season

Farmland Classification—San Juan Area, Puerto Rico
(PLAZA DE LA CONVALECENCIA-PILAR)

	Prime farmland if subsoiled, completely removing the root inhibiting soil layer		Farmland of statewide importance, if drained and either protected from flooding or not frequently flooded during the growing season		Farmland of statewide importance, if irrigated and reclaimed of excess salts and sodium		Farmland of unique importance		Prime farmland if subsoiled, completely removing the root inhibiting soil layer
	Prime farmland if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60		Farmland of statewide importance, if irrigated and drained		Farmland of statewide importance, if drained or either protected from flooding or not frequently flooded during the growing season		Soil Rating Points Not prime farmland		Prime farmland if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60
	Prime farmland if irrigated and reclaimed of excess salts and sodium		Farmland of statewide importance, if irrigated and either protected from flooding or not frequently flooded during the growing season		Farmland of statewide importance, if warm enough, and either drained or either protected from flooding or not frequently flooded during the growing season		Prime farmland if drained		Prime farmland if irrigated and reclaimed of excess salts and sodium
	Farmland of statewide importance		Farmland of statewide importance, if subsoiled, completely removing the root inhibiting soil layer		Farmland of statewide importance, if warm enough		Prime farmland if protected from flooding or not frequently flooded during the growing season		Farmland of statewide importance
	Farmland of statewide importance, if protected from flooding or not frequently flooded during the growing season		Farmland of statewide importance, if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60		Farmland of statewide importance, if thawed		Prime farmland if irrigated		Farmland of statewide importance, if drained
	Farmland of statewide importance, if irrigated				Farmland of local importance		Prime farmland if drained and either protected from flooding or not frequently flooded during the growing season		Farmland of statewide importance, if protected from flooding or not frequently flooded during the growing season
					Farmland of local importance, if irrigated		Prime farmland if irrigated and drained		Farmland of statewide importance, if irrigated
							Prime farmland if irrigated and either protected from flooding or not frequently flooded during the growing season		

Farmland Classification—San Juan Area, Puerto Rico
(PLAZA DE LA CONVALECENCIA-PILAR)

<ul style="list-style-type: none">  Farmland of statewide importance, if drained and either protected from flooding or not frequently flooded during the growing season  Farmland of statewide importance, if irrigated and drained  Farmland of statewide importance, if irrigated and either protected from flooding or not frequently flooded during the growing season  Farmland of statewide importance, if subsoiled, completely removing the root inhibiting soil layer  Farmland of statewide importance, if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60 	<ul style="list-style-type: none">  Farmland of statewide importance, if irrigated and reclaimed of excess salts and sodium  Farmland of statewide importance, if drained or either protected from flooding or not frequently flooded during the growing season  Farmland of statewide importance, if warm enough, and either drained or either protected from flooding or not frequently flooded during the growing season  Farmland of statewide importance, if warm enough  Farmland of statewide importance, if thawed  Farmland of local importance  Farmland of local importance, if irrigated 	<ul style="list-style-type: none">  Farmland of unique importance  Not rated or not available <p>Water Features</p> <ul style="list-style-type: none">  Streams and Canals <p>Transportation</p> <ul style="list-style-type: none">  Rails  Interstate Highways  US Routes  Major Roads  Local Roads <p>Background</p> <ul style="list-style-type: none">  Aerial Photography 	<p>The soil surveys that comprise your AOI were mapped at 1:20,000.</p> <div style="border: 1px solid black; padding: 5px; margin: 5px 0;"> <p>Warning: Soil Map may not be valid at this scale.</p> <p>Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.</p> </div> <p>Please rely on the bar scale on each map sheet for map measurements.</p> <p>Source of Map: Natural Resources Conservation Service Web Soil Survey URL: Coordinate System: Web Mercator (EPSG:3857)</p> <p>Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.</p> <p>This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.</p> <p>Soil Survey Area: San Juan Area, Puerto Rico Survey Area Data: Version 17, Sep 13, 2023</p> <p>Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.</p> <p>Date(s) aerial images were photographed: Jan 23, 2022—Mar 1, 2022</p> <p>The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.</p>
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Farmland Classification

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
UI	Urban land	Not prime farmland	6.7	100.0%
Totals for Area of Interest			6.7	100.0%

Description

Farmland classification identifies map units as prime farmland, farmland of statewide importance, farmland of local importance, or unique farmland. It identifies the location and extent of the soils that are best suited to food, feed, fiber, forage, and oilseed crops. NRCS policy and procedures on prime and unique farmlands are published in the "Federal Register," Vol. 43, No. 21, January 31, 1978.

Rating Options

Aggregation Method: No Aggregation Necessary

Tie-break Rule: Lower

**Attachment X: Floodplain Management Executive Order 11988,
particularly section 2(a); 24 CFR Part 55**

Mapa Niveles de Inundación Base Recomendados



Project Site

72000C0370J

San Juan

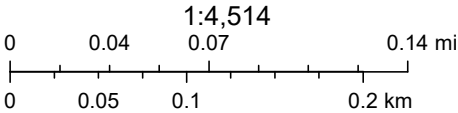
PR-CRP-000924 Plaza
Convalecencia & Plaza
del Pilar
Parcel ID: 087-012-560-01

STATE ROAD PR-25, BETWEEN
GEORGETT ST. AND ARZUAGA
ST., RIO PIEDRAS WARD, SAN
JUAN, PUERTO RICO.

Coordinates:
18.397973, -66.052261

2/12/2024, 2:17:22 PM

- Municipios Limite
- AE
- VE
- Panel
- AO
- X (0.2% Probabilidad Anual de Inundación)
- Zona Inundable
- A Costera
- A



PRPB; FEMA, Maxar

**Attachment XI: Historic Preservation National Historic
Preservation Act of 1966, particularly sections 106 and 110; 36
CFR Part 800**



OFICINA ESTATAL DE

CONSERVACIÓN HISTÓRICA

GOBIERNO DE PUERTO RICO

Executive Director | Carlos A. Rubio Cancela | carubio@prshpo.pr.gov

Thursday, March 27, 2025

Lauren B Poche

269 Avenida Ponce de León, San Juan, PR, 00917

SHPO-CF-02-26-25-08 PR-CRP-000924 (San Juan), Plaza de la Convalecencia & Plaza del Pilar

Dear Ms. Poche,

We have reviewed the archaeological monitoring plan, dated January 2025, prepared for the above referenced project. The plan is deemed acceptable.

If you have any questions regarding our comments, please do not hesitate to contact our Office.

Sincerely,

Carlos A. Rubio Cancela

State Historic Preservation Officer

CARC/GMO/MB





GOVERNMENT OF PUERTO RICO
DEPARTMENT OF HOUSING

April 30, 2024

Arch. Carlos A. Rubio Cancela

Executive Director

Puerto Rico State Historic Preservation Office

Cuartel de Ballajá, Third Floor

San Juan, Puerto Rico 00901

Re: Authorization to Submit Documents for Consultation

Dear Arch. Rubio Cancela,

The U.S. Department of Housing (HUD) approved the allocations of Community Development Block Grant (CDBG-DR) funds on February 9, 2018. It also approved the allocation of Community Development Block Grant Mitigation (CDBG-MIT) funds on January 27, 2020. The purpose of these allocations is to address unsatisfied needs as a result of Hurricanes Irma and Maria in September 2017; and to carry out strategic and high-impact activities to mitigate disaster risks and reduce future losses.

To comply with the environmental requirements established by HUD, the Department of Housing of Puerto Rico (PRDOH) contracted Horne Federal LLC to provide environmental review services, among others, that will support the objectives of the agenda for both CDBG-DR and CDBG -MIT Programs.

To expedite the processes, Horne Federal LLC, is authorized to submit to the State Historic Preservation Officer, documentation of projects related to both the CDBG-DR and CDBG-MIT on behalf of PRDOH.

Cordially,

Aldo A. Rivera Vázquez, PE

Director

Division of Environmental Permitting and Compliance

Office of Disaster Recovery

February 26, 2025

Carlos A. Rubio Cancela
State Historic Preservation Officer
Puerto Rico State Historic Preservation Office
Cuartel de Ballajá (Tercer Piso)
San Juan, PR 00902-3935

Puerto Rico Disaster Recovery, CDBG-DR City Revitalization (City-Rev) Program

Re: SHPO-CF-11-26-24-06 – PR-CRP-000924, Plaza de la Convalecencia and Plaza del Pilar, San Juan, Puerto Rico – Archaeology Monitoring Work Plan Submission

Dear Architect Rubio Cancela,

On behalf of the Puerto Rico Department of Housing (PRDOH), we thank you for your letter dated December 9, 2024, in response to the submission of documentation for PR-CRP-000924 Plaza de la Convalecencia and Plaza del Pilar project. The letter stated that after the review of all documentation the PRSHPO agrees with PRDOH's finding that the proposed project will have no adverse effect upon historic properties conditioned to archaeological monitoring for all ground-disturbing activities within Plaza del Pilar and the west half of Plaza de la Convalecencia (from Brumbaugh Street to the midpoint).

As such, we are submitting the requested Archaeological Monitoring prepared by Archaeologist Imandra Martínez. We are requesting your review of the prepared plan and concurrence that the implementation of the plan is appropriate for the undertaking.

Please contact me with any questions or concerns by email at lauren.poche@horne.com or phone at 225-405-7676.

Kindest regards,



Lauren Bair Poche. M.A.

Architectural Historian, EHP Senior Manager
LBP/KPS

Attachments

PRDOH CDBG-DR CRP Program

Plaza de la Convalecencia and Plaza del Pilar

San Juan, Puerto Rico

SHPO-CF-11-26-24-06 PR-CRP-000924



Archaeological Monitoring Plan

Prepared by:

Imandra Martínez-Castañeda

Archaeologist – **Plexos Group**

Assisted by Archaeologist Larissa García-Cabrera

January 2025

*Incorporating the Archaeological Monitoring Work Plan Template
developed by Archaeologist Sharon Meléndez Ortiz, HORNE PR, 2023*

PREAMBLE

The Municipality of San Juan is seeking Community Development Block Grant disaster recovery funds financed by the federal Department of Housing and Urban Development due to damage received by the 2017 Hurricanes Irma and Maria. The Puerto Rico Department of Housing (PRDOH) has established an Agreement between PRDOH and the Municipality of San Juan for the City Revitalization Program as part of the Community Development Block Grant for Disaster Recovery (CDBG-DR) Program. The Municipality of San Juan proposes to rehabilitate and renovate the *Plaza del Pilar and Plaza de la Convalecencia* located in the Río Piedras Traditional Urban Center (Eligible District to the National Register of Historic Places, NRHP). The Puerto Rico State Historic Preservation Office (PRSHPO), in a letter dated December 9, 2024, concurred with a finding of No Adverse Effect for this undertaking conditioned to the implementation of an archaeological monitoring for all ground-disturbing activities within Plaza del Pilar and the west half of Plaza de la Convalecencia (from Brumbaugh Street to the midpoint).

The undertaking will repair damage caused by hurricanes Irma and Maria and improve the plaza to recover its prior intensive public uses. This project encompasses a range of enhancements aimed at improving the overall functionality and aesthetics of Plaza de la Convalecencia and Plaza del Pilar. The work will prioritize the reconstruction of the pavement, improvements to street furniture, new ramps in compliance with safety standards for people with disabilities, the reconstruction of infrastructure and road and pedestrian safety elements, the creation of parking areas, new landscaping, and sport areas, light improvement, among others. The direct APE for this project encompasses

Plaza del Pilar and Plaza de la Convalecencia, two rectangular plazas separated by Brumbaugh Street (previously España Street), aligned at the center of the Río Piedras TUC. On the west side of the lot is Ponce de León Avenue (State Road PR-25), historically known as Comercio Street. On the north side is Arzuaga Street (previously De las Delicias Street). On the south side is Georgetti Street (previously Santo Domingo Street). Plaza de la Convalecencia is the site of a multi-story, underground parking garage at the east end of the plaza, flanked by Camelia Soto Street. Plaza del Pilar measures 349 feet (106 meters) east to west and 208 feet (63 meters) north to south, with a surface area of 71,322 square feet (6,626 square meters). Plaza de la Convalecencia measures 734 feet (224 meters) east to west and a maximum width of 250 feet (76 meters) north to south, measured on the east side, with a surface area of 173,361 square feet (16,106 square meters). The combined direct APE measures 1,102 feet (336 meters) east to west, including

Brumbaugh Street, with a maximum width of 250 feet (76 meters) north to south, with a surface area of 246,816 square feet (22,930 square meters).¹

The visual APE is the viewshed of the proposed project which includes the surrounding pavement and all buildings facing the plazas (*Plaza del Pilar and Plaza de la Convalecencia*). The viewshed comprises approximately 413,831.07 square feet.

The objectives of this archaeological monitoring plan are: (1) to establish measures to prevent indirect adverse effects on known historical resources; (2) to establish the protocol to be followed in archaeological monitoring; (3) to establish the protocol to be followed if previously unknown resources are identified; (4) to establish the protocol to be followed if there are any unexpected or previously unanticipated adverse effects; (5) to locate, evaluate and document archaeological resources during project development; (6) to recover as much archaeological information as possible during excavation and construction; (7) to conserve and enhance the value of the archaeological resources located and documented; and (8) in the event that the archaeological resource cannot be conserved in situ, to conserve it through documentation (preservation by record).

This document complies with applicable federal and state laws, regulations, and guidelines, and is consistent with the Secretary of the Interior's (SOI) Guidelines for Archeological Documentation, the Advisory Council on Historic Preservation's (ACHP) recommendations on the recovery of significant information from archaeological sites as updated in 2009, and Regulation #8932 of the Institute of Puerto Rican Culture (ICP). The plan was prepared by archaeologist Imandra Martínez Castañeda, who meets the Professional Qualifications Standards set forth in 36 CFR Part 61.

¹ Dilan Heidy and Maritza Torrez edited by Jorge Lizardi Pollock and Jesús Vega. CRP-000924, Section 106 NHPA Effect Determination. Improvements to Plaza de la Convalecencia and Plaza del Pilar, City Revitalization Program, 2024.

Figure 1. Project Location, ca. 1939-1940, (Source: United State Department of the Interior, Geological Survey. Original scale 1:30,000)

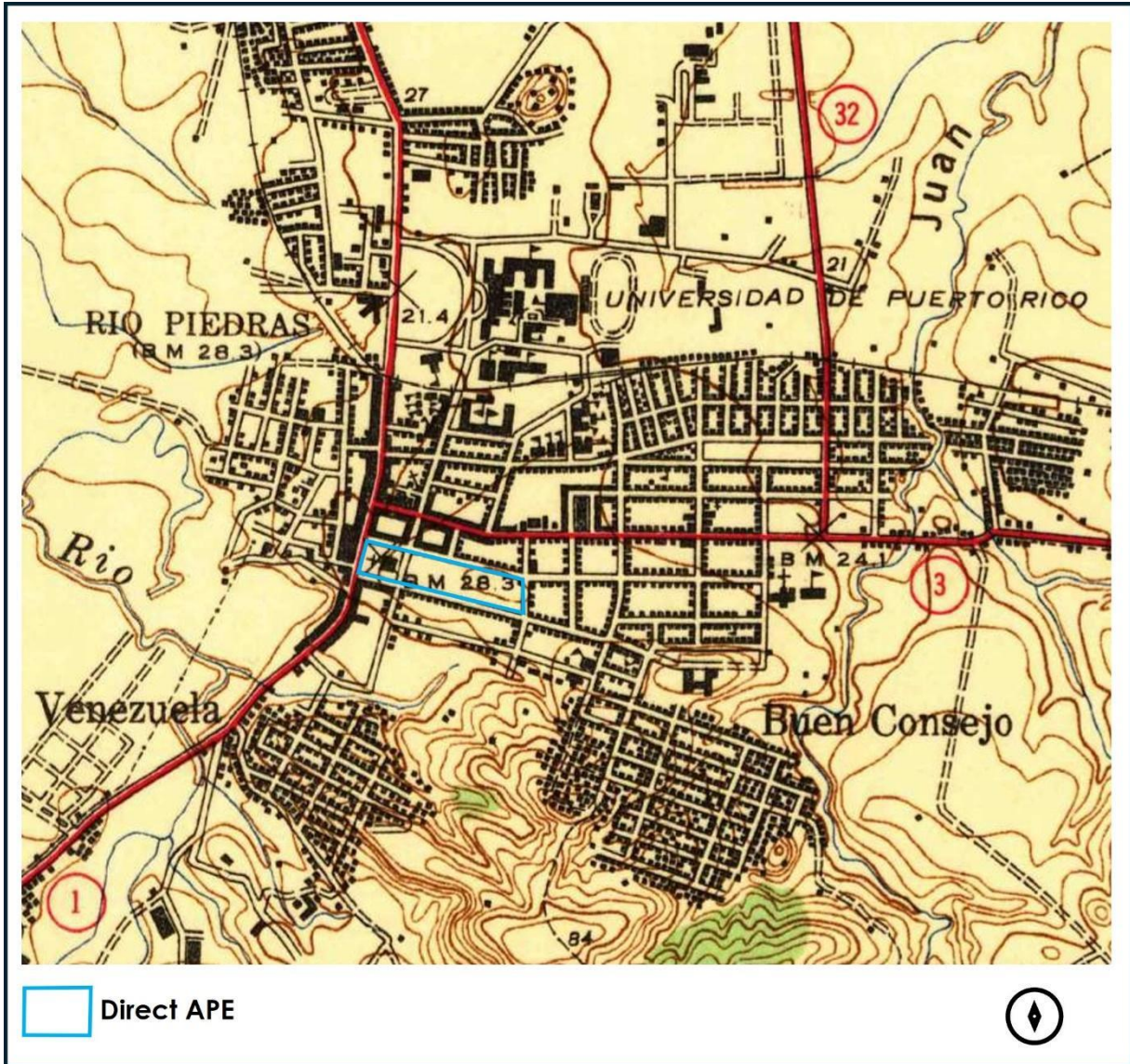


Figure 2. Project Location. Area of Potential Effect Map (Source: CRP-000924, Section 106 NHPA Effect Determination. Improvements to Plaza de la Convalecencia and Plaza del Pilar, City Revitalization Program, 2024)



This scope of work is divided into six (6) sections and one (2) appendix. The section following this preamble discusses the proposed construction works. The third section includes a brief description of the historic properties located within the APE and of the archaeological potential of the area. The fourth section provides a detailed description of the archaeological monitoring procedure to be carried out before, during, and after the construction works. Section V includes the professional qualifications of the team that will implement this monitoring plan, and the last section includes the references cited. The plan closes with an appendix with a model of monitoring daily activity sheet (Appendix A).

1. PROJECT DESCRIPTION

The project aims² for the improvements to *Plaza del Pilar* and the *Plaza de la Convalecencia*, both located in the eligible District Río Piedras Traditional Urban Center. For a better understanding of the construction work being carried out, we have divided it according to the location in which it will be carried out.

Plaza del Pilar:

Demolition works

1. Demolition of sections of the concrete curb along the square east side, including the northeast and southeast corners.
2. Demolition of handicap ramps located at each of the four corners of the site.
3. Remove two concrete vehicular ramps located on the south-center side and the southeast corner.
4. Demolition of the concrete ramp at the lateral entrance to the south transept of *Nuestra Señora del Pilar* Church "the Church".
5. Demolition of concrete stairs and handrails situated at the northwest and at the central stairs leading to the Church.
6. Demolition of the sidewalk portion and construct a new access ramp on the north-center side, oriented perpendicular to the façade of the Church.
7. Demolition of concrete pavers and pavements.
8. Removal of three concrete pergolas.
9. Scarification and replacement of all fourteen planters.
10. Demolition and reconstruction of the concrete low wall that surrounds the rectangular planters adjacent to the central stairs leading to the Church.
11. Eliminate the bus stop situated on the west side of the site.
12. Remove and securely store the sculpture positioned in front of the Church.
13. Demolish the sculpture base along with the surrounding fence.
14. Conduct the demolition and reconstruction of the concrete low wall that encompasses two square-shaped planters on the north side and the northeast corner.
15. Remove the concrete slabs located inside three rectangular planters along the north side.
16. Partial demolition of two planters to facilitate the widening of pedestrian access on the north-center side, oriented perpendicular to the façade of the Church.
17. Demolition of two concrete telephone booths located at the northeast and southeast corners.
18. Remove all the bollards from the site.

² For a better understanding of the proposed undertaking, see attached the most recent design plans of the project (Appendix B).

19. Remove all trash cans.
20. Perform saw-cutting of the entry steps at the lateral entrance to the nave from the south side of the Church.

The demolition works inside the plaza will be performed using lightweight equipment. The contractor shall take precautions during demolition works on areas identified as environmentally, architecturally, and archaeologically sensitive. During the demolition and construction process, erosion and sedimentation control measures will be implemented to avoid sediment discharge into the road surface and storm sewer system during rainfall events.

Scope of work

1. Concrete Pavement: New concrete pavement throughout the area will be constructed.
2. Benches Installation: Will install fifteen prefabricated concrete benches on top of the low walls of all existing planters, excluding those located along the north sidewalk.
3. Handicapped Ramps: Will construct eight handicapped ramps at all four corners of the north and south sidewalks.
4. Mountable Curbs: Will build four mountable curbs on the south sidewalk, located behind Nuestra Señora del Pilar Church ("the Church"), as well as on the northeast and southeast corners.
5. Concrete Planters: Rectangular concrete planters along the south and east sidewalks will be built.
6. Bench Installation on Planters: Installation of pre-cast concrete benches on the rectangular planters flanking the central stairs leading to the vestibule of the Church.
7. New Stairs: Will build new stairs on the northwest corner and new central stairs leading to the vestibule of the Church.
8. Parking Areas: Will construct two parking areas with four parking spaces each, located at the northeast and southeast corners.
9. Domino Tables Installation: Installation of four pre-cast concrete domino tables between two rectangular concrete planters, situated to the south of the nave of the Church.
10. Metal Bollards: Installation of metal bollards in several locations:
 - On the west side, between two rectangular planters.
 - On the north-center side, in front of the new pedestrian crossing, it is located between the concrete mountable curbs and the parking areas on the northeast and southeast corners.
 - On the south-center side, one of the concrete vehicular ramps is flanking.
11. Concrete Dinner Table: Installation of a pre-cast concrete dinner table between the four domino tables to the south of the nave.
12. Planter Portions: Will construct new planter sections flanking the pedestrian crossing on the north-center side.

13. Planters Maintenance: Will clean, repair, and paint most of the existing concrete planters, excluding the two rectangular planters near the central stairs leading to the vestibule of the Church.
14. Sculpture reinstalment: Reinstallation of the sculpture in front of the Church to the rectangular concrete planter located north of the central stairs leading to the vestibule.
15. Pedestrian Crossing Lines: Repaint five pedestrian crossing lines at all four corners and add two new pedestrian crossing lines on the north-center and south-center sides.
16. Skateboarding Prevention Wall: Installation of a new low wall extension equipped with a galvanized steel channel for skateboarding on two rectangular concrete planters along the sidewalk north of the Church.
17. Light Poles Reinstalment: Reinstallation of two light poles between the two rectangular planters located north of the nave of the Church.
18. Bike Racks and Trash Receptacles: Installation of new bike racks at the northwest and southeast corners, along with thirteen trash receptacles placed along every sidewalk. Additionally, two trash receptacles will be placed near the central stairs leading to the vestibule of the Church.
19. Dog Waste Station: Installation of a dog waste station within the rectangular concrete planter adjacent to the north side of the vestibule and nave of the Church.
20. Bus Stop Installation: The project includes installing a new bus stop on the west-center side and applying exposed aggregate pavement on the north and south sidewalks.

Plaza de la Convalecencia

Demolition works

1. Two water fountains on the northwest and southwest corners need to be cleaned, including the removal of stone, wood panel vegetation, and metal grills.
2. The pavers were displaced by tree roots and reinstalled in three rectangular areas north and south of the central planting area.
3. Demolition of the water fountain between the two central planting areas, including removal of piping, pump, and casing.
4. Demolition of play area and rubber pavement between the two central planting areas.
5. Relocation of concrete domino and ping-pong tables and benches between the two central planting areas and on the southeast corner.
6. Remove and store granite stone in a concrete circular planter between the two central planting areas.
7. Removal of artificial grass on the northeast corner and relocation of playground equipment on the northeast corner.
8. Demolition of the concrete ramp and a portion of the planter on the pedestrian entrance to the underground parking garage.
9. Partial demolition of the planter on one of the central planting areas and the pedestrian entrance to the underground parking garage.

10. The two fountains on the east side will have their tiling, piping grilles, and fountain equipment removed. The metal guardrail in one of the central planting areas, the pedestrian entrance to the underground parking garage, and the northeast corner will also be removed.
11. Replacement of broken pavers and vegetation removal by hand or herbicides throughout the west half of Plaza de la Convalecencia.
12. Extending from the midpoint to Camelia Soto Street: replacement of broken pavers, removal of vegetation by hand or herbicides throughout the east half of Plaza de la Convalecencia.
13. Cleaning of the entire aluminum trellis structure; cleaning and sealing concrete sidewalk on all sides.
14. Demolition of concrete skate sculpture and reinstallation of surrounding pavers on the northeast corner.
15. Removal of metal edge lining two rectangular planting areas on the southwest corner.
16. Remove artificial grass from the northeast corner and relocate playground equipment from the northwest corner.
17. Cleaning of five granite curbs, one on the north sidewalk, two on the east sidewalk, and two on the south sidewalk.
18. Cleaning and unplugging of trench drain and drainpipes on the southwest corner.
19. The project involves removing and restoring backlit signage near the underground parking garage exit on the south side and removing broken tiles from the sculpture inside the traffic island on Camelia Soto Street.

Scope of work

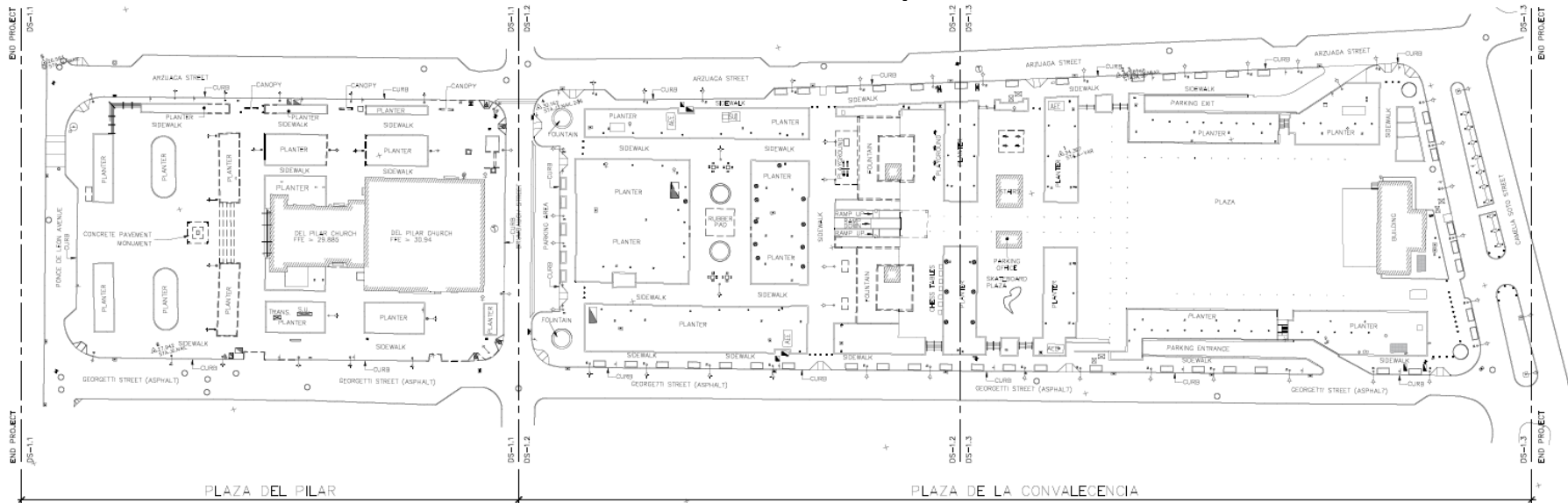
1. Water Fountain Repairs: Cleaning and sealing the marble slabs at the northwest and southwest corners of the fountains.
2. Interactive Water Fountain Areas: Installation of interactive water fountain stations to the north and south of the pedestrian access to the underground parking garage.
3. Granite Planter Curb Installation: Installation of a missing granite planter curb on the west side and landscape of all eight planting areas.
4. Concrete Surface Cleaning: Cleaning all concrete surfaces on sidewalks using pressurized water.
5. ADA Ramp Maintenance: Cleaning and repainting four ADA-compliant concrete ramps located at the northwest and southwest corners, as well as the north and south sides.
6. Light Pole Maintenance: Cleaning and repainting all light poles and luminaires on the sidewalks.
7. Guardrail Cleaning and Painting: Cleaning and painting guardrails throughout the west half of Plaza de la Convalecencia.
8. Concrete Furniture Installation: Installation of four sets of concrete furniture distributed among the two central planting areas, and two pre-cast concrete benches at the northeast corner.

9. Bike Rack Installations: Installation of new bike racks in the southwest corner and the northwest and southeast corners.
10. Trash Receptacles: Installation of seventeen trash receptacles throughout the west half of Plaza de la Convalecencia and eighteen receptacles throughout the east half.
11. Dog Waste Station Installation: Installation of a dog waste station in the central planting areas and another on the west side.
12. Playground Construction: Construction of a playground between the two central planting areas, which will include a new slide, drum tree, climbing holds, saddle spinner, rubber half-balls, talk tubes, and a rubber-poured surface. The existing seesaw, climbing tree, and domino tables and chairs will also be part of the playground.
13. Sculpture Restoration: Restore missing tiles and replace damaged stainless-steel tubes on the sculpture located inside the traffic island on Camelia Soto Street.
14. Paver Reinstallation: Remove and reinstall pavers throughout the east half of Plaza de la Convalecencia and repair marble stones using recycled stones to line two rectangular planting areas on the southwest corner.
15. Solar Charging Station Installation: Installation of two solar charging stations between two rectangular planting areas on the northwest corner.
16. Aluminum Trellis Updates: Installation of new perforated metal panels over the entire aluminum trellis structure and relocate two ping-pong tables to the southwest corner between the rectangular planting areas. Additionally, install twelve pre-cast concrete planters on the northwest corner surrounding the solar charging stations.
17. Signage Reinstallation: Reinstallation of a restored backlit signage near the underground parking garage exit on the south side.
18. Concrete Bench Installation: Installation of a concrete bench parallel to the north side of the theater building on the east side.

Excavations (Plaza del Pilar y Plaza de la Convalecencia)

- Signs installation: 20"-24" (Plaza del Pilar y Plaza de la Convalecencia)
- Mountable curbs: 8"-11" (Plaza del Pilar)
- Sidewalks: 4" (Plaza del Pilar)
- Skate ramps construction: 2'-3' (Plaza del Pilar)
- Playground area: 3' (Plaza de la Convalecencia)
- Water pump storage: 5'10" (Plaza de la Convalecencia)
- Stair and planters renovation: 1'-1'6" to 3' 4" (Plaza del Pilar)

Figure 3. Plaza del Pilar and Plaza de la convalecencia. Demolition site plan. (Source:Source: Drawing DS-1.0, Hernández-Bauzá PSC Architects, 2024)



DEMOLITION SITE PLAN & KEY MAP

SCALE 1:250



Figure 4. Plaza del Pilar. Demolition site plan. (Source:Source: Drawing DS-1.1, Hernández-Bauzá PSC Architects, 2024)

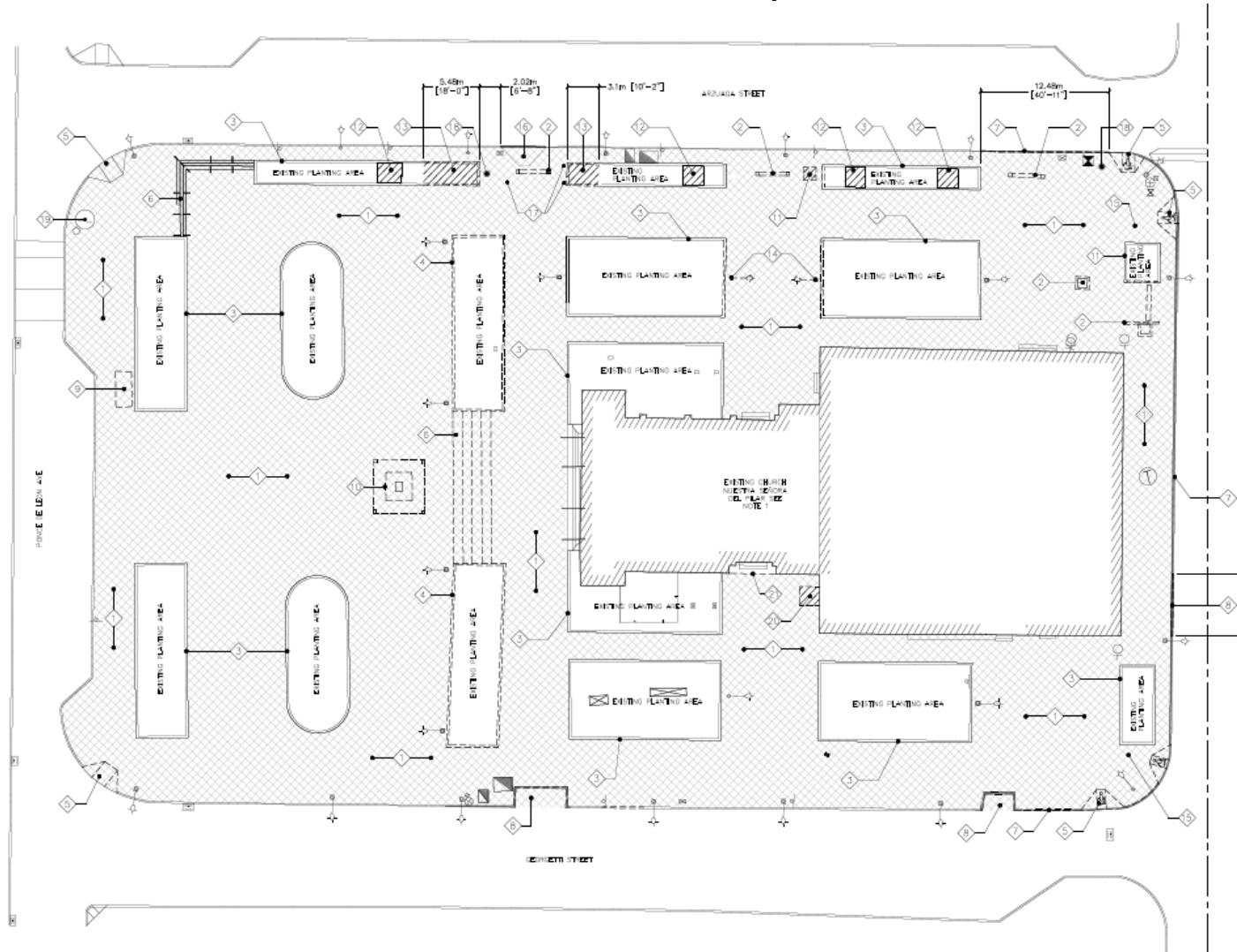


Figure 5. Plaza de la Convalecencia. Demolition site plan. (Source: Drawing DS-1.2, Hernández-Bauzá PSC Architects, 2024)

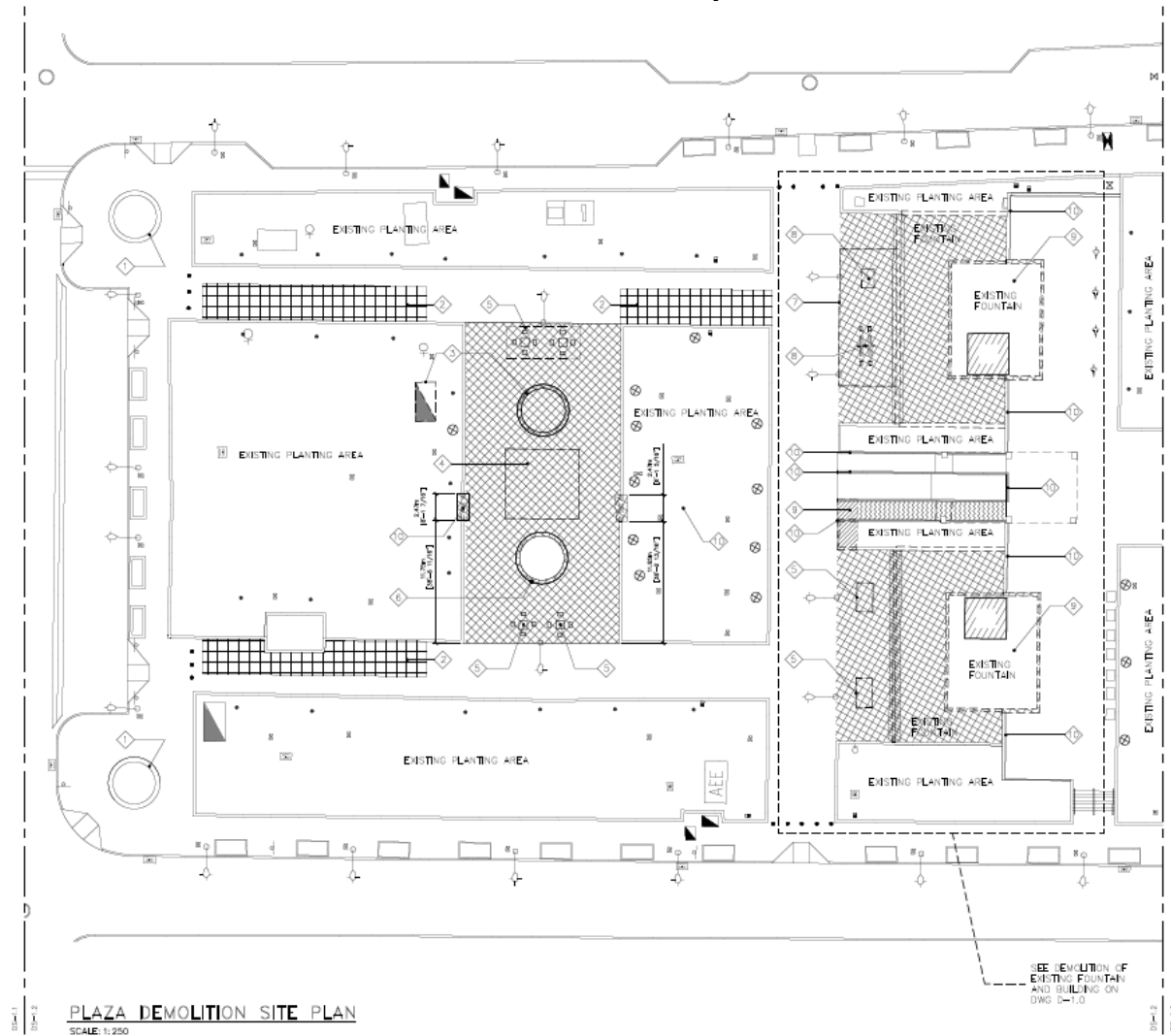


Figure 6. Plaza de la Convalecencia. Demolition site plan. (Source:Source: Drawing DS-1.3, Hernández-Bauzá PSC Architects, 2024)

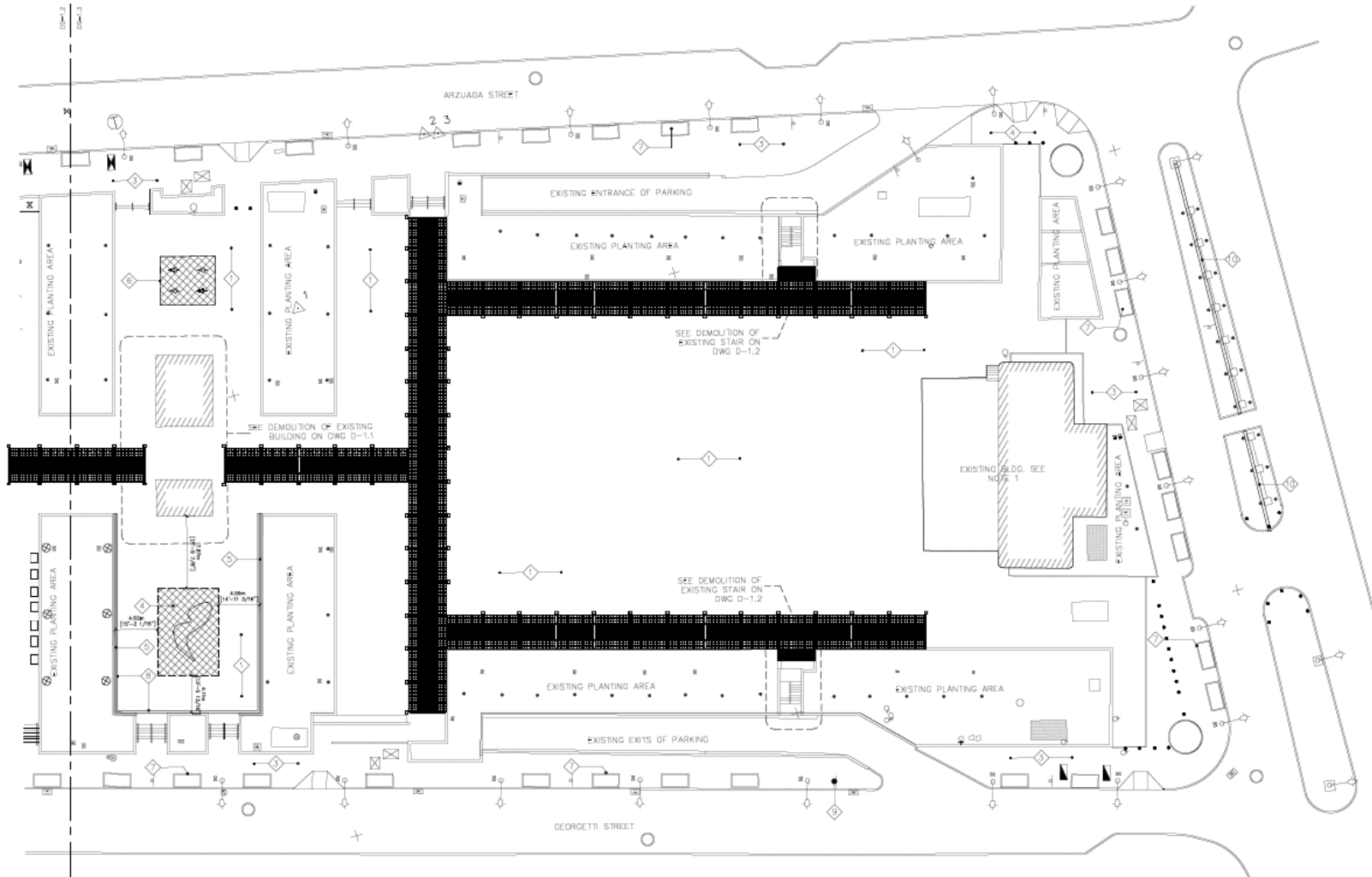


Figure 7. Plaza del Pilar and Plaza de la convalecencia. Proposed plazas site plan. (Source:Source: Drawing AS-1.0, Hernández-Bauzá PSC Architects, 2024)

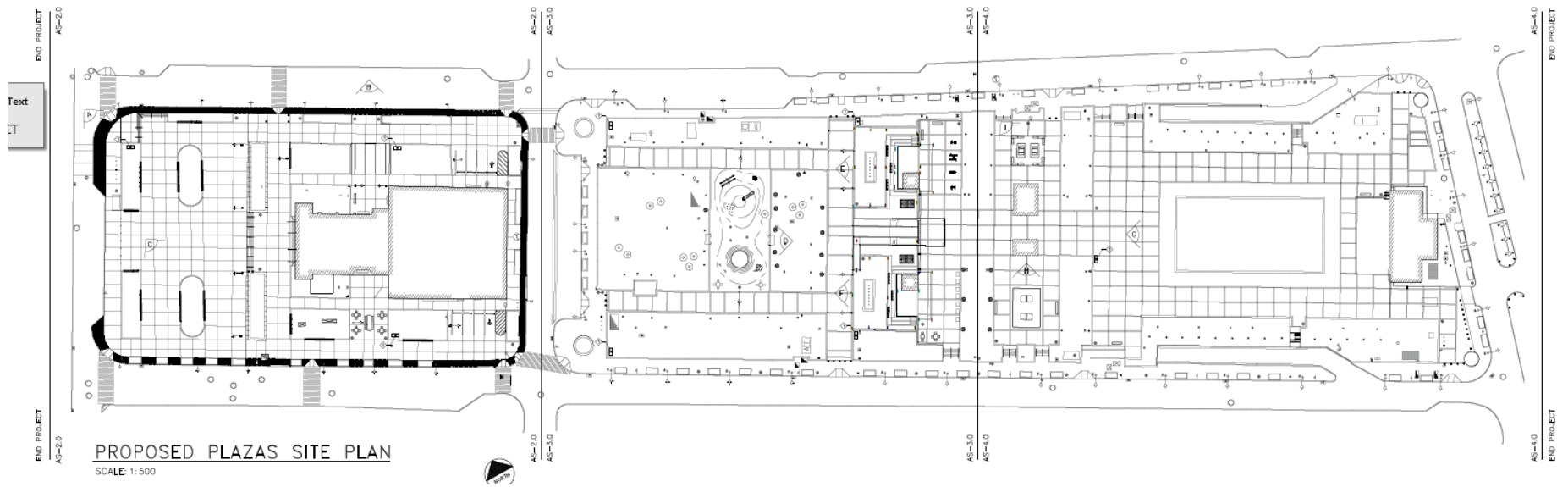


Figure 8. Plaza del Pilar. Proposed plaza site plan. (Source: Drawing AS-2.0, Hernández-Bauzá PSC Architects, 2024)

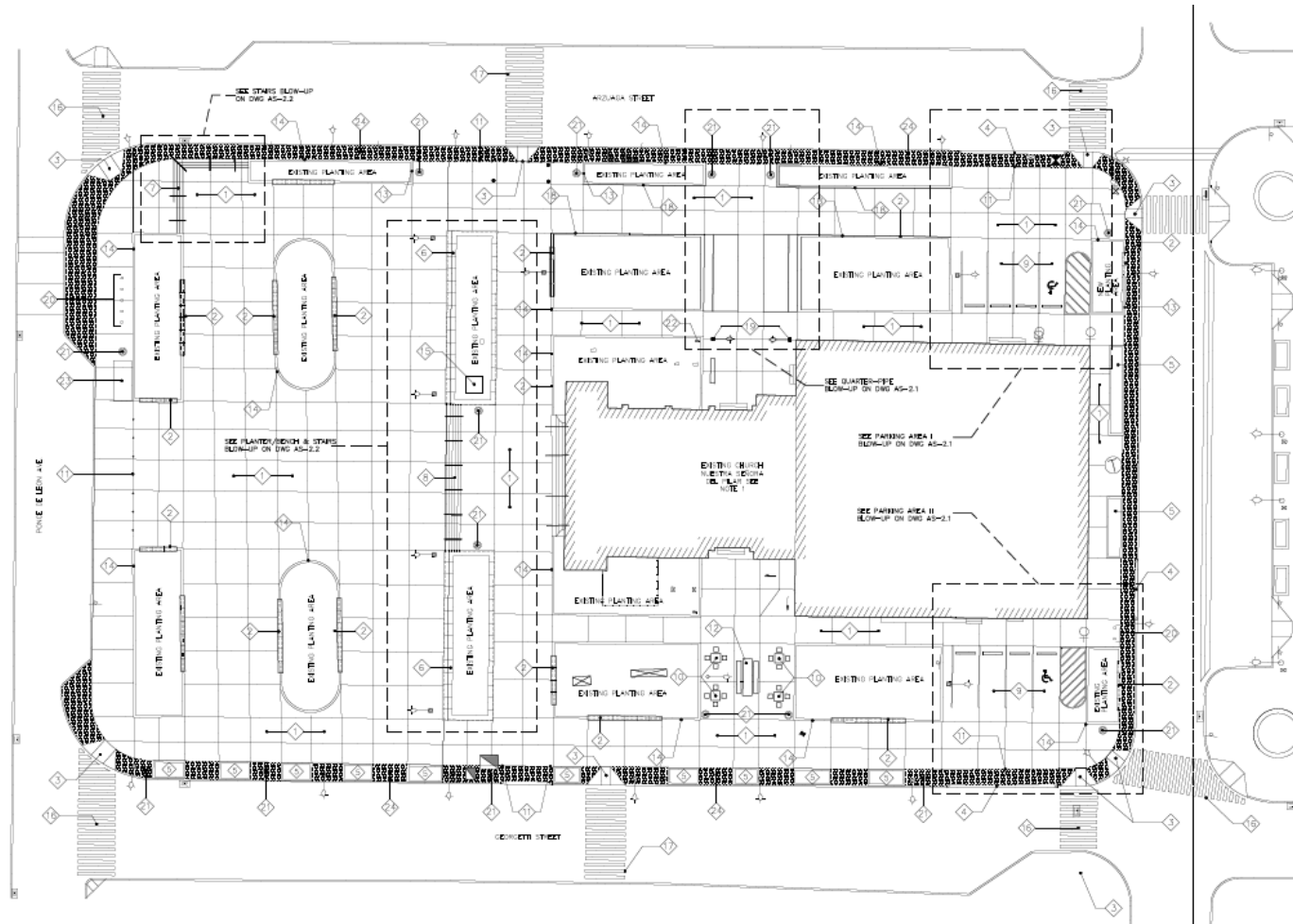


Figure 9. Plaza de la Convalecencia. Proposed plaza site plan. (Source:Source: Drawing AS-3.0, Hernández-Bauzá PSC Architects, 2024)

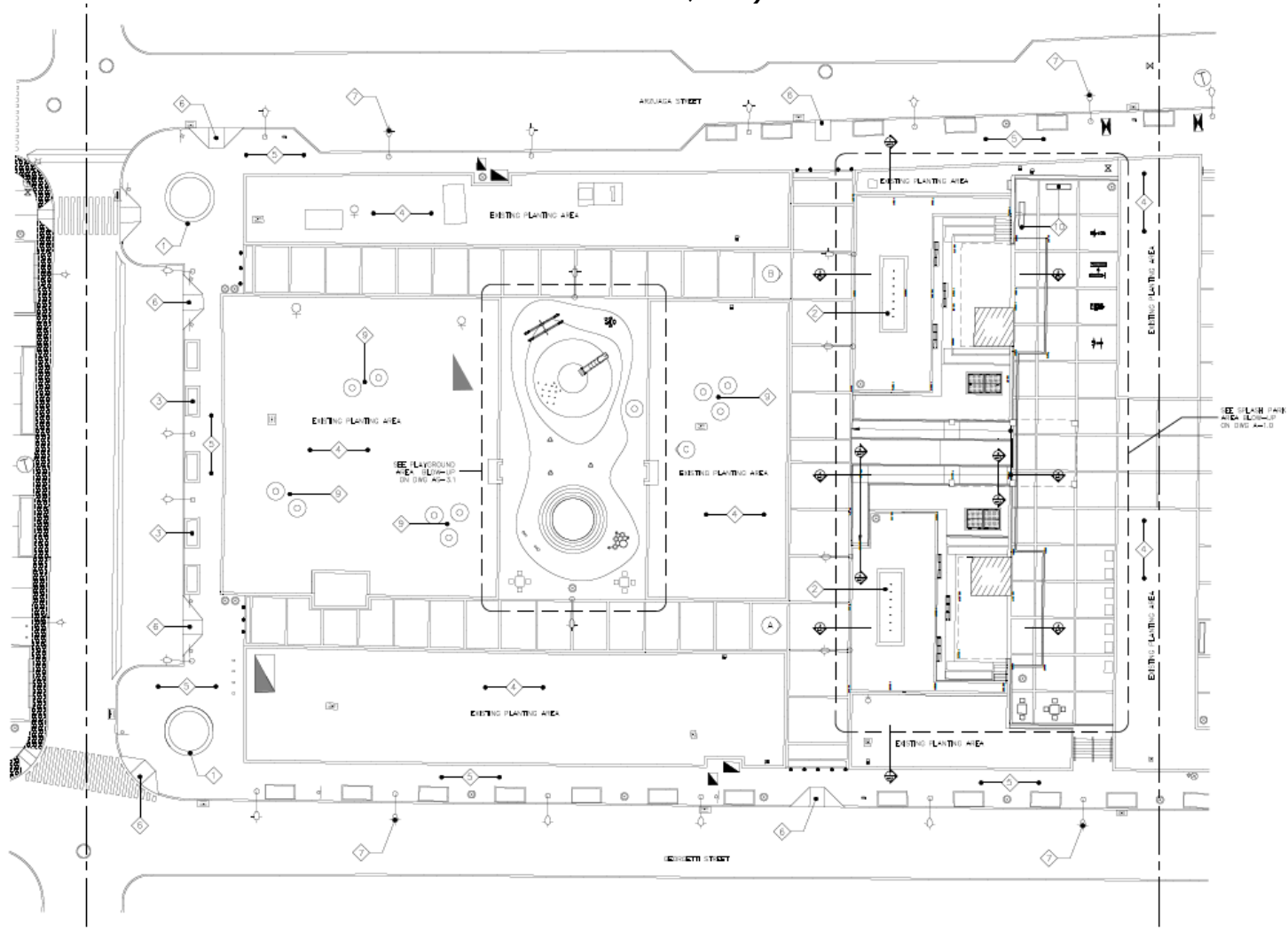
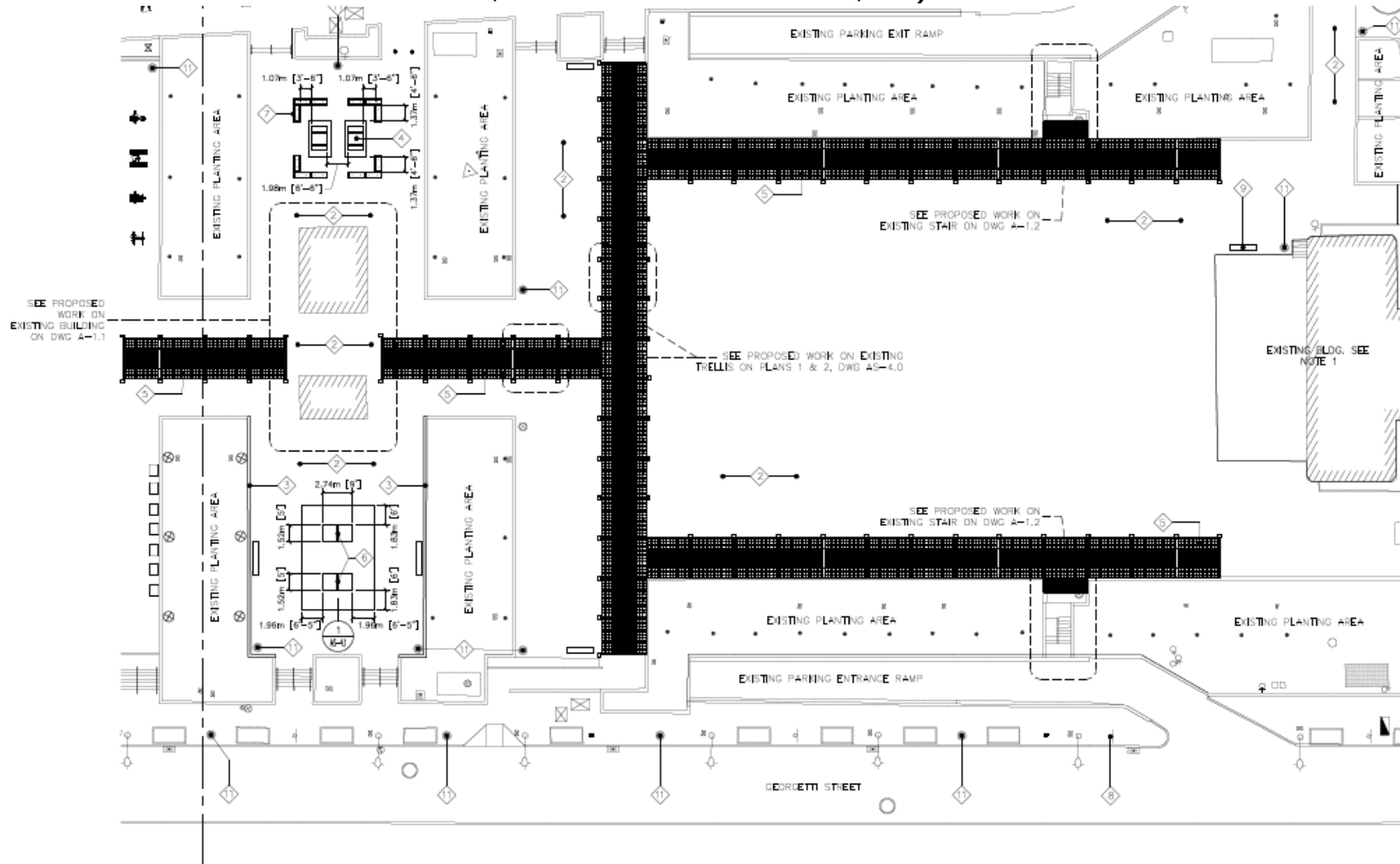


Figure 10. Plaza de la Convalecencia. Proposed plaza site plan. (Source: Drawing AS-4.0, Hernández-Bauzá PSC Architects, 2024)



2. HISTORIC PROPERTIES WITHIN THE APE

According to the previous investigation (Dilan Heidy and Maritza Torrez edited by Jorge Lizardi Pollock and Jesús Vega. CRP-000924, Section 106 NHPA Effect Determination. Improvements to Plaza de la Convalecencia and Plaza del Pilar, City Revitalization Program, 2024), the project will take place on a site (both plazas) contributing to the Río Piedras Traditional Urban Center eligible district. In addition, Plaza del Pilar and Plaza de la Convalecencia, are considered eligible for the National Register of Historic Places (NRHP) in its own character. The direct APE for this project has historically been occupied at least since the eighteenth century. Puerto Rican historiography has explored the urban history of Río Piedras. For example, Cayetano Coll y Toste (cited in Ocacio Meléndez, Marcial E., p. 9, and Sepúlveda, Aníbal, p. 152) notes that Río Piedras emerged as a town in 1714, in the area known as El Roble. The Río Piedras parish was officially founded in 1714 under the dedication of Nuestra Señora del Pilar. However, the church we see today was designed in 1931 by architect Francisco Porrata Doria. Fray Iñigo Abbad y Lasiera, at the end of the 18th century, describes Río Piedras as a place located half a league from the Martín Peña bridge. He characterizes it (p. 232) with a church and three houses in a meadow next to a stream. One of the earliest maps depicting this settlement is that of Miguel de Mueas of 1775 (Figure 12). This map shows the settlement with the church and nearby neighborhoods such as Cangrejos to the south.

By 1850, passenger and merchandise traffic to Río Piedras increased. "As commerce and traffic increased in the nineteenth century...a considerable cluster of population and services developed around the Río Piedras Plaza..." (Caplow T. cited in Ocacio M., 1985). This situation road passed through Río Piedras, which was called "Travesía" in this section³. In 1859, the led to the repair of the road from San Juan to Caguas was ordered that same year. This general road plan was consolidated. The central highway was designed. This project was planned from Caguas since the section from San Juan to Río Piedras had already been completed. Río Piedras was represented in 1884 in the military sketch of the city of Río Piedras prepared by the Corps of Engineers (Figure 13). The sketch shows the initial urban grid of Río Piedras, in which one can distinguish -from north to south- the Calle del Comercio (Camino Real/Travesía) bordering the Plaza del Pilar on the west. Also, from north to south was already defined the separation of the Plaza del Pilar from the Plaza de la Convalecencia by España Street, now Brumbaugh Street.

³ The section between San Juan and Río Piedras has existed as a Camino Real (Royal Road) since the 18th century. According to Dilan Heidy and Maritza Torrez edited by Jorge Lizardi Pollock and Jesús Vega, 2024, this street was once called *Camino Real* and passed through the town of Río Piedras, transforming it into a strategic transportation and commercial hub between the capital city of San Juan and the island's interior and southern municipalities. Subsequently, it expands its reach to municipalities such as Trujillo Alto and Carolina. The area started to become very busy with wealthy families building summer houses, the construction of a vocational house, and *Jardín y Casa de la Convalecencia* for military officers.

On the other hand, the construction of the tramway and the railroad lines marked the historical progression of the study area. Around the year 1880, Pablo Ubarri y Capetillo received authorization to construct the tramway (west of the project area, actual Ponce de León Avenue) connecting San Juan and Río Piedras. Simultaneously, the Spanish government planned to build a railroad (north of the project area, Dr. José N. Gándara Avenue) towards the end of the 19th century (Figure 14). Both infrastructures enhanced the transportation of goods and passengers between Río Piedras and other regions, particularly with San Juan. Noteworthy historical events that have shaped the development of Río Piedras include its role as a production and supply hub for San Juan, the creation of the tramway linking it to the capital, its status as a seasonal retreat for affluent families from the capital, and its significance as an educational center on the island following the establishment of the University of Puerto Rico campus, after 1902, the Escuela Normal Insular moved to the “La Convalecencia” farm in Río Piedras due to the proximity of the capital city of San Juan to the north of the island and the accessibility of the area⁴.

In addition, along these contexts were erected multiple buildings that today are part of the island's architectural heritage. The architectural and urban environment dates to the XIX century. Early buildings reflected a mix of neoclassical styles, vernacular influences, and Spanish Revival. However, as the 20th century progressed, new architectural movements like Art Deco and modernism began to leave their mark, especially in public and residential spaces. Some of the most important buildings that surround the projects are, for example⁵, Iglesia Nuestra Señora del Pilar (1933); Concrete, Three Stories Mix-Use Building (1950, 1 Arzuaga Street); Concrete Three Stories Mix-Uses Building (1930, 2 Arzuaga Street); Edificio Manolo Margarida; Edificio Doña Emilia A. de Margarida (1925, 4 Arzuaga Street); Edificio José Ruiz de Val (1924, 6 Arzuaga Street); Edificio Santa Ana Najero (1930-1940, 1104 Brumbaugh Street); Two Stories, Mix-Use Masonry, Brick and Concrete Building (ca. 1910, 51 Arzuaga Street); Two Stories Mix- Use Concrete Building (1940, 57 Arzuaga Street); Concrete Three Stories Mix-Use Building (1920, 59 Arzuaga Street); Hotel Nest (ca. 1930, 1102 Ponce de León Avenue); Higinio Joglar Residence (ca. 1920, 1122 Ponce de León Avenue; Evaristo Joglar Residence; Modelo Drugstore (ca. 1920, 1124 Ponce de León Avenue); Casa de Cultura Ruth Hernández Torres (ca. 1867, 1154 Ave. Ponce de León); Two Stories Office Building (ca. 1920, 4 Georgetti Street); Edificio Dávila Monsanto (ca. 1925, 6 Georgetti Street); Edificio Emilio Antuñano (ca. 1900, 16 Georgetti Street); Two Stories Concrete Student Hostel (1930, 1154 Brumbaugh Street); Edificio Borinquen (ca. 1950, 1153 Brumbaugh Street); Commercial Building (ca. 1900, 52 Georgetti Street); Two Stories Concrete Residence (ca. 1950, 72 Georgetti Street); Two Stories Concrete Medical Office (ca. 1950, 74 Georgetti Street); Two Stories Concrete Commercial Building (ca. 1925, 1115 Camelia Soto Street).

⁴ The Law of March 12, 1903, creates the University of Puerto Rico. It began to operate on a farm on the outskirts of Río Piedras, with an enrollment of 273 students. Incorporates the Escuela Normal Insular (<https://www.uprrp.edu/recinto/historia>)

⁵Dilan Heidy and Torres Maritza, edited by Jorge Lizardi and Jesús E. Vega. Section 106 NHPA Effect Determination Form, 2024.

Archaeological Potential

The studies consulted during the investigation of the Section 106 NHPA Effect Determination Form (Dilan and Torres, 2024, edited by Lizardi and Vega, 2024) reveal that the project area is of great archaeological and cultural value as it was surrounded in the north and west by sugar haciendas and cattle ranches called *hatos*. Within its quarter-mile radius, only one recorded archaeological site has been identified, *Travesía de Río Piedras*⁶, a strategic and busy street that ran north to south located east of Plaza del Pilar. A small hospital, ice factory, telegraph post, drugstores, health clinics, and ironwork shops were on this street. Not listed in ICP's or SHPO's inventories but identified during the construction of the urban train was a trolley workshop⁷ .03 miles W of the APE, a bakery⁸ .03 mi SW, a brick foundation⁹ .03 miles SW, and the *Ponce de León Academia de Tiro* (Gun Club)¹⁰ .06 mi SW of the APE. According to the 106 NHPA Determination Form, the Catholic hermitage of 1647 is the oldest potential archaeological site located NW of the Río Piedras TUC in what is today the Santa Rita neighborhood, and adjacent was a small catholic cemetery. No prehistoric sites have been discovered within a quarter-mile radius of the project site,

Thirteen archaeological studies have been carried out within a quarter-mile radius, in which four resulted positive for cultural resources and nine were negative. The positive studies closest to the area of the Plaza de la Convalecencia and Plaza del Pilar are:

- Phase 1A, Urban Train for San Juan Metropolitan Area (1992), was carried out at an approximate distance of .03 miles west of the project area. The result was a determination of the overall archaeological sensitivity of the Río Piedras Traditional Urban Center.
- Phase 1A, Historical Background of the Urban Development of Río Piedras & Caño Martín Peña Sector, *Tren Urbano*, San Juan Metropolitan Area (1995), carried out within the project area. A phase 2 cultural resource study was recommended due to the historical importance of the project area.

⁶ Portion of the Ponce de León Avenue, or Carretera Central, between the intersections with Dr. José N. Gándara Avenue to the north and 65 de Infantería Avenue to the south; part of the Camino Real, a historic road that connected the city of San Juan with the town of Caguas, passing through Río Piedras.

⁷ Brick and masonry remnants of a trolley repair shop uncovered in Lots 724-A and 728-A on Georgetti Street after the demolition of 1118 Ponce de León Avenue (also known as Hollywood Academy, Ramón Vilá Mayo Building, and Carmen Pharmacy), a two-story, concrete residential-commercial structure of Spanish Neoclassical style built c. 1930-1940; documented during the 1997 archaeological monitoring for the Río Piedras section of the Tren Urbano project.

⁸ Brick walls with remnants of a cast-iron door, refractory bricks, and charcoal associated with a bakery oven; documented in Lot #711 underneath the demolished 1157 Ponce de León Avenue, a one-story, concrete commercial structure of 3,200 square feet from the 1960s; destroyed by the drilling of eleven piles to build containers for sand and rock aggregates for the construction of the Río Piedras section of the Tren Urbano project.

⁹ Exposed brick walls pertaining to a basement and fragments of industrially produced British tableware and bottles documented in Lots #705 and #707 underneath a one-story, concrete commercial structure of Modern style-built c. 1970 at the intersection between Ponce de León Avenue and Julián Blanco Street; documented during the 1997 archaeological monitoring for the Río Piedras section of the Tren Urbano project.

¹⁰ Structural remains of two properties separated by a hallway, featuring retention walls and historic fill for leveling the terrain, and an intact cistern four meters deep; documented in Lots #705 y #707 underneath a two-story, concrete residential-commercial structure of undefined style-built c. 1940 during the 1997 archaeological monitoring for the Río Piedras section of the Tren Urbano project.

- Phase III, *Tren Urbano Project, Río Piedras-UPR Alignment* (Volume 1: General Introduction, Discussion of Results & Interpretations), carried out within the project area (2004). In this survey, the 19th-century road known as *Travesía de Río Pedras* was documented
- Monitoring, *Centro Histórico de Río Piedras, Proyecto Tren Urbano (2002)*, was carried out within the project area.

The project area is at the heart of the NRHP-eligible District of Río Piedras Traditional Urban Center. Therefore, the potential for unearthing archaeological materials during ground-disturbing activities is considered non-negligible. On the west side of the Plaza del Pilar facing Ponce de León Avenue (former *Travesía de Río Piedras*) may be found the remains of foundations or other structural elements related to the original church built around 1714 and the one built in 1831 (It is presumed that the existing church of 1933 was built in concrete, avoiding any buried foundations to the west of the new church). In addition, there is a high probability of finding human burials¹¹ within this Plaza associated with the atriums, courtyards, or areas surrounding the churches (1714 and 1831 buildings). On the other hand, the 1831 church was flanked by the priest's house and a small jail, although it is unclear whether these secondary structures were (to the east of the church or outside the existing plaza), attention should be paid to remnants associated with these structures.

According to Section 106 of the NHPA Effect Determination Form, the area has been subject to modifications, especially on the east side of Plaza de la Convalecencia, such as excavations to build the multistory parking garage, lowering the potential to encounter archaeological sites. However, on the west side of the Plaza de la Convalecencia, there may be buried remnants of the 19th-century governor's summer house (a two-story wooden building), first used by Spanish army officers. This building was demolished in the 1970s but excluded from the excavations for the underground parking lot. In addition, other archaeological elements will be found like historical infrastructural elements, pavements, sidewalks, drainage systems, and lighting systems could be uncovered during demolition and reconstruction activities associated with the early stages of the public Plaza. Similarly, ceramics, glass, or metal artifacts related to past lifestyles could be retrieved. Previous cultural layers impacted by disasters like fires, earthquakes, or hurricanes could be identified, among other artifacts of archaeological value. It is important to note that the archaeologist must focus on the ground-disturbing activities within Plaza del Pilar and the **west half of Plaza de la Convalecencia, from Brumbaugh Street to the midpoint, coordinates 18.397611, -66.050706** (Figure 11).

On the other hand, Plaza de la Convalecencia and Plaza del Pilar are surrounded by important buildings and structures like the 19th-century Casa de Cultura Ruth Hernández Torres and many early to mid-20th-century commercial and residential buildings eligible for the NRHP along with Nuestra Señora del Pilar Parish which is within the project's area of potential effects.

¹¹ According to Section 106 of the NHPA Effect Determination Form (CRP-000924), it is estimated that this practice was carried out for more than 90 years in Plaza del Pilar, since the first construction was in 1714, and the implementation of the Napoleonic Code was in 1809 when human burials were prohibited in and around churches. While previous Spanish laws or *reales cédulas* existed in 1787 and 1804, some historians believe they were rarely enforced.

Figure 11. Project Location Archaeological monitoring focus area (shaded red). (Source: CRP-000924, Section 106 NHPA Effect Determination. Improvements to Plaza de la Convalecencia and Plaza del Pilar, City Revitalization Program, 2024)



Below is a series of images related to the historical and archaeological significance of the site, as well as its historical uses.

Figure 12. Detail of Manuel de Muesa map, 1775 (San Juan y su Región. Mapa de la Isla de Puerto Rico), showing the Río Piedras Town. (Source: Sepulveda, 151).

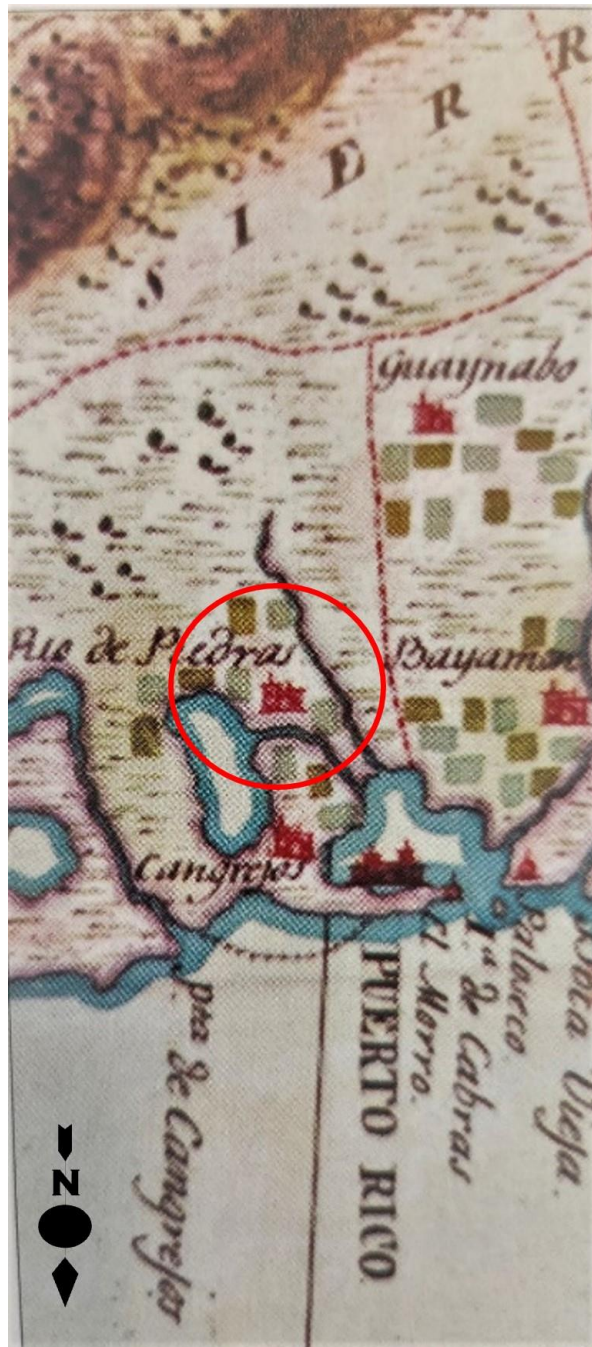


Figure 13. Croquis de Río Piedras, Manuel Moriano, 1884. APE is highlighted in yellow (Source: Archivo Digital Nacional de Puerto Rico).

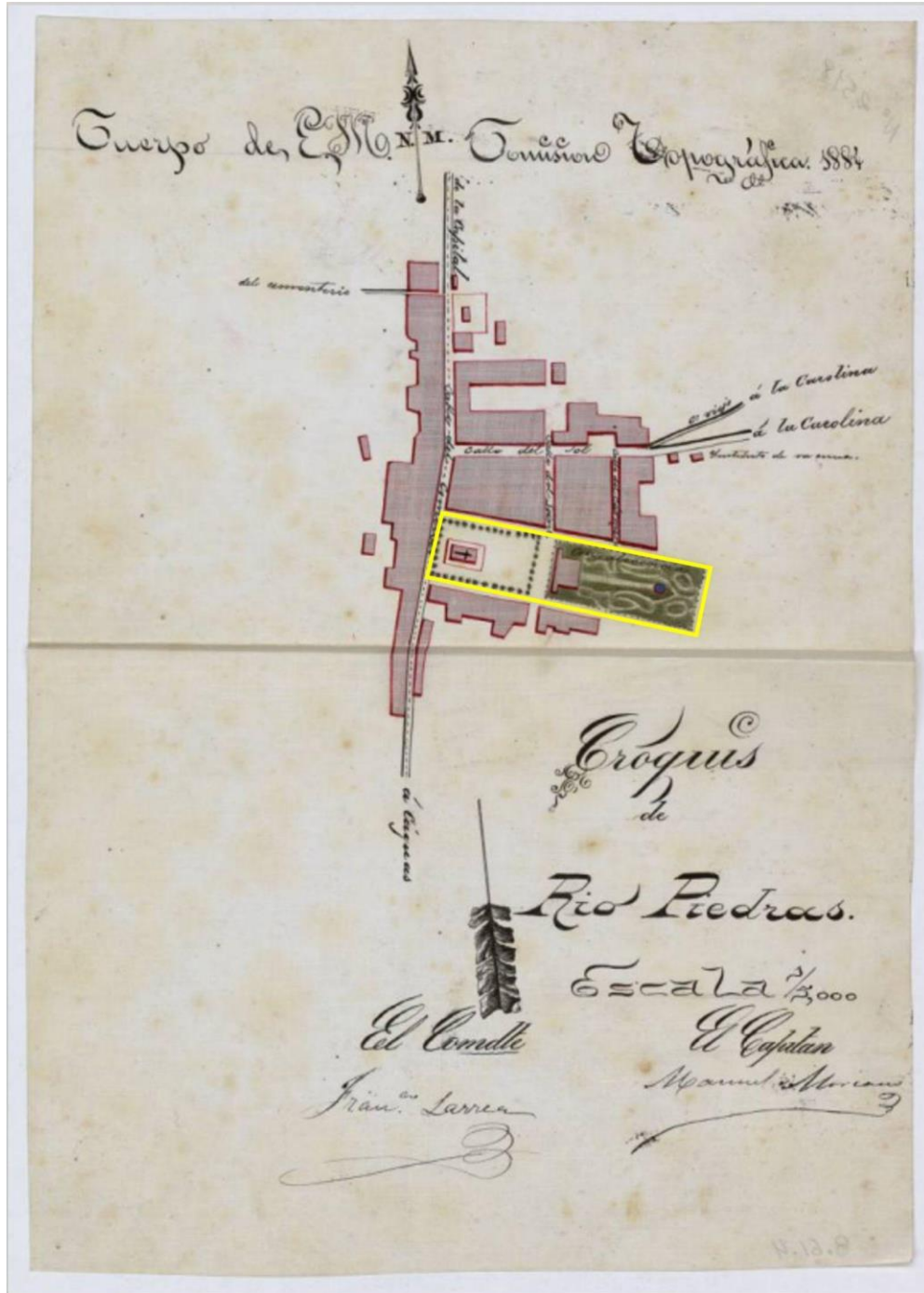


Figure 14. Río Piedras 1916. Map showing the railroad and the tramway. In yellow, is highlight the proposed project, in blue is the old railroad track, and in purple is the tramway track (Source: Sepúlveda, 2004)

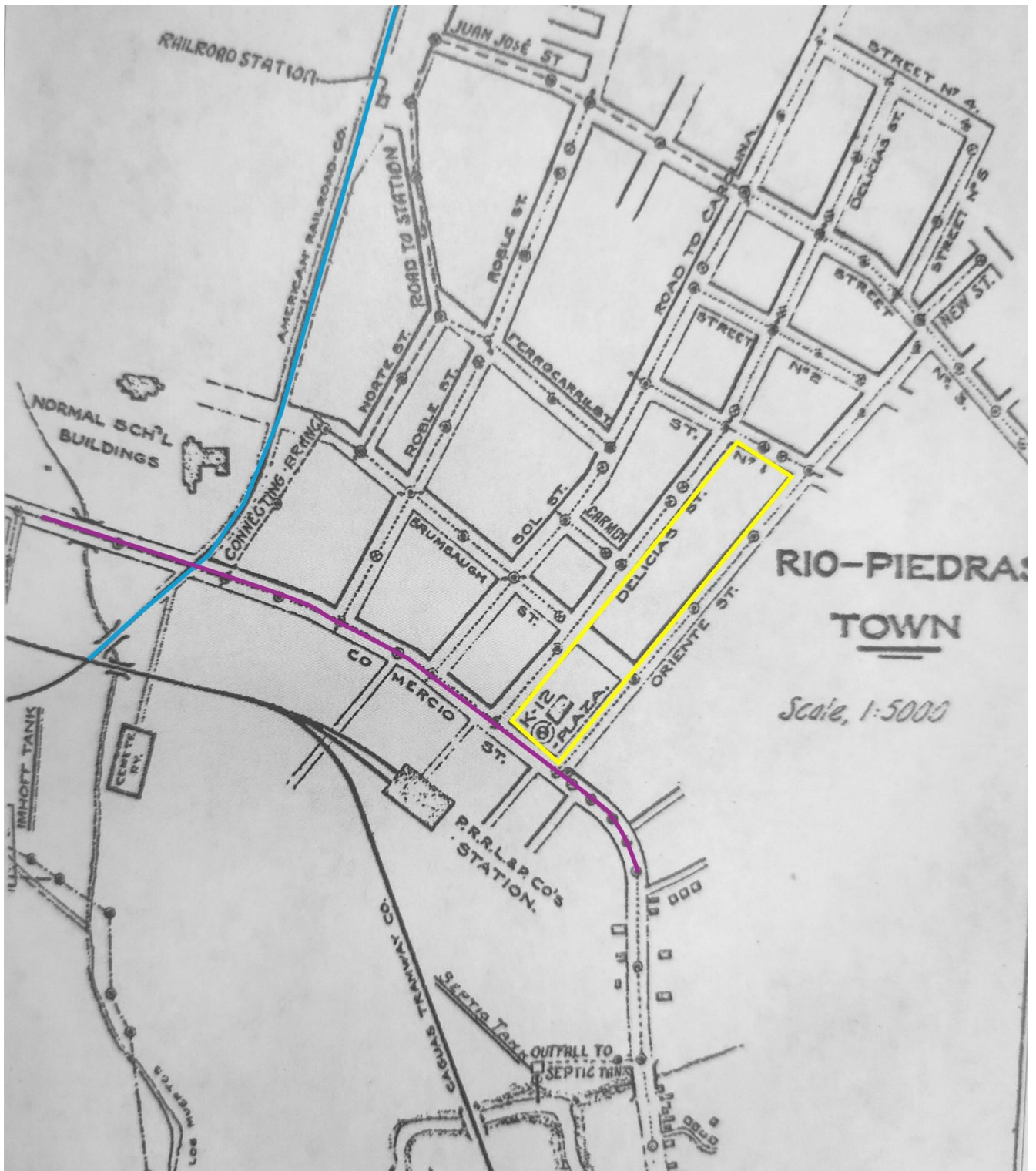


Figure 15. 1931 aerial photograph of the urban area of Río Piedras. Project parcel location is highlight in yelow
(Source: CRP-000924, Section 106 NHPA Effect Determination. Improvements to Plaza de la Convalecencia and Plaza del Pilar, City Revitalization Program, 2024)



Figure 16. 1951 aerial photograph of the urban area of Río Piedras. Project parcel location is highlight in yellow
(Source: <https://gis.pr.gov/descargaGeodatos/FotosAereasHistoricas/Pages/1950.aspx>)



Figure 17. 1962 aerial photograph of the urban area of Río Piedras. Project parcel location is highlight in yellow (Source: CRP-000924, Section 106 NHPA Effect Determination. Improvements to Plaza de la Convalecencia and Plaza del Pilar, City Revitalization Program, 2024).



Figure 18. A: 1936 photograph of the Nuestra Señora del Pilar Church and Plaza del Pilar, facing Juan Ponce de León Avenue; B: 1906 Casa de la Convalecencia to the east of Plaza del Pilar today (Source: CRP-000924, Section 106 NHPA Effect Determination. Improvements to Plaza de la Convalecencia and Plaza del Pilar, City Revitalization Program, 2024).

A



B

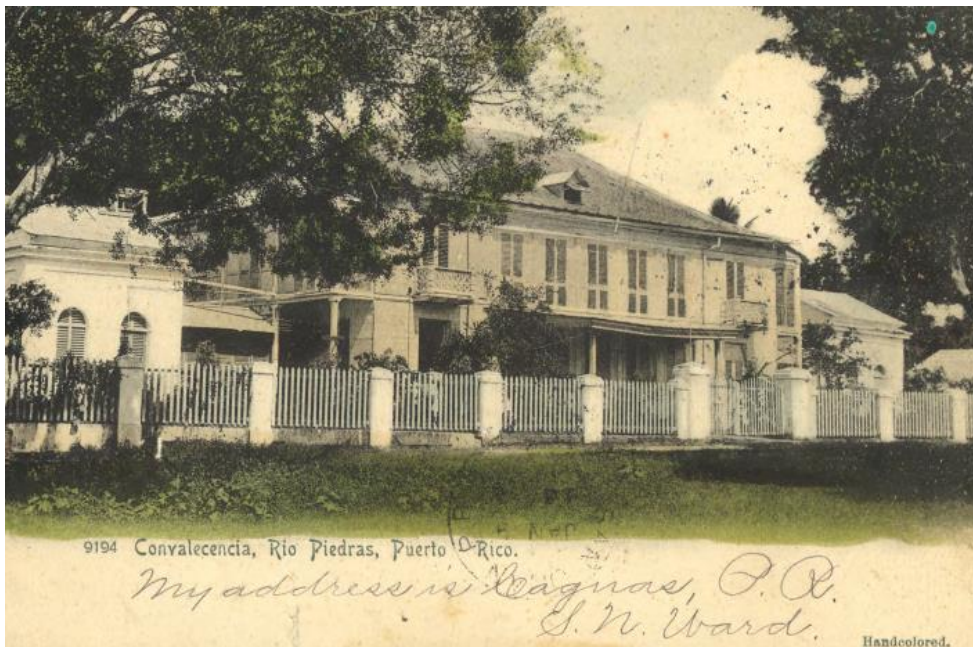


Figure 19: Project Existing conditions. A: Façade of Nuestra Señora del Pilar Church on the west side of Plaza del Pilar; B: Pedestrian footpath on the north side of Plaza del Pilar, parallel to Nuestra Señora del Pilar Church and Arzuaga Street; C: Parking area and sidewalk on the west half of Plaza de la Convalecencia, parallel to Brumbaugh Street; D: Circular planters and domino tables between two rectangular planting areas on the west half of Plaza de la Convalecencia, perpendicular to Arzuaga Street.



3. ARCHAEOLOGICAL MONITORING PROCEDURE

The monitoring activities can be divided into three groups: activities before the project begins, activities during construction, and post-construction activities. Monitoring is limited to activities that entail demolition, excavations, and earth movements. Those reconstruction activities that do not entail excavations or earth movements do not require an archaeological monitor. However, if there are activities with heavy equipment taking place in the vicinity of historic buildings, there should be a monitor present to prevent accidents and indirect impacts.

A. Before Construction Begins

1. The Municipality/Construction Manager (CM) will notify the Project Manager (PM), Grant Manager (GM), and Monitor of the proposed activities' start date. The PM is responsible for coordination between the CM and the SOI-qualified archaeologist who will oversee the monitoring (Monitor).
2. Before any demolition or construction begins, the Municipality, PM, CM, GM, and Monitor will have a kickoff meeting to discuss the procedure for archaeological monitoring, including the coordination protocol between the Monitor and the Contractor. The Monitor will provide an orientation on the area's cultural resources and potential resources and their proper treatment. The Monitor will also explain which project activities require archaeological monitoring.
3. The Municipality, CM, PM, and construction crew will complete and sign a statement outlining the activities that may not be performed without the Monitor's presence, demonstrating their understanding and commitment to following the archaeological monitoring procedures.
4. The Monitor shall document the NHRP-eligible or potentially eligible building through detailed descriptions, photos, and scale drawings if necessary. This data must be included in the final report.

B. During Demolition and Construction

1. The Monitor shall be in the field during the project activities involving demolition and ground disturbance, and activities with heavy machinery or lightweight equipment in the vicinity of historic buildings; access and clear sightlines to all demolition and excavation activities and debris removal will be provided to the Monitor. Particular attention should be paid when carrying out excavations or demolitions close to the facades of historic buildings located on both sides of the street and to other associated structures that may exist within the project's area of potential effect.
2. All demolition near the buildings' facades must be done with light machinery to avoid damaging structures.
3. The Monitor shall provide instructions directly to the construction field personnel concerning how to proceed when there is a potential to impact an archaeological resource. The construction field personnel will abide by these requests: excavate slowly, stop the excavation work to evaluate a finding, etc.

4. The Monitor shall keep a record of monitored activities. The Monitor shall fill out the Daily Record of Activities Form (see **Appendix A**). These forms should be sent weekly to the GM for review and will be attached to the final report as an appendix.
5. After the demolition and removal of surfaces, the Monitor shall document any exposed subsurface feature and shall complete a scale plan drawing. The amount, size, and placement of excavation units needed to document the features, if any, shall depend on the size and complexity of the feature being documented. If necessary to understand the context of the identified resource, the Monitor should conduct archival research of primary sources (like previous project files, newspapers, journals), cartographic sources, and historical images. If human remains are found, the protocol established in Section D should be followed.
6. The Monitor shall document all other archaeological remains identified during construction activities, except for previously unidentified historically significant findings (refer to B-8 below). The documentation shall include a detailed description of the discovery, context, horizontal and vertical provenience, photos, and a plan drawing. This documentation shall be done within a reasonable amount of time, trying not to impact on the project schedule as much as possible.
7. Any subsurface feature may be demolished and removed after being documented by the Monitor and approved by the GM. The information recorded will be included in the final report.
8. If the identified archaeological remains are considered historically significant – i.e., complex structures, precolonial remains or stratified deposits – the Monitor shall instruct the construction crew to (1) immediately cease work in the vicinity of the discovery, (2) take all reasonable measures to avoid or minimize harm to the property, and (3) notify the Municipality, PM, CM, and GM. The GM shall immediately notify the SHPO, as per stipulation III.B.1.b. of the PA. The following protocol shall be followed:
 - a. The Monitor shall make a preliminary assessment of the findings. The assessment shall include a description of the discovery, location, horizontal and vertical extent (if known), context, photographs, and drawings including a site plan. The assessment shall also include a work plan for implementing a National Register of Historic Places' eligibility evaluation of the exceptional remains.
 - b. The assessment and NRHP-eligibility evaluation work plan shall be submitted via email to the PM and GM within 24 hours of the discovery. The GM will comment on the work plan within 24 hours of receiving it.
 - c. The Monitor shall implement the work plan after receiving the GM's authorization to proceed. After completing the fieldwork, the Monitor shall prepare an End of Field Report, summarizing the results. Said report should include an NRHP-eligibility determination. The End of Field Report shall be submitted via email to the PM and GM within 48 hours after completing the fieldwork.
 - d. The GM shall notify the SHPO of the NRHP-eligibility determination.
 - i. If the finding is **not eligible** to the NRHP, the GM shall notify the SHPO and provide supporting documentation. Construction activities may

resume under archaeological monitoring unless the SHPO disagrees with the NRHP determination and makes a timely objection within 48 hours of the notification.

- ii. If the finding is **eligible** to the NRHP, the criteria of adverse effect shall be applied. If the project activities do not adversely affect the findings, the GM shall notify the SHPO and provide supporting documentation. Construction activities may resume under archaeological monitoring unless the SHPO makes a timely objection within 48 hours of the notification.

If the project activities have an **adverse effect** on the NRHP-eligible finding, Data Recovery will be implemented as a Treatment Measure per Appendix F of the PA. The Monitor shall develop a data recovery plan with a research design consistent with the Secretary of the Interior's Guidelines for Archeological Documentation (http://www.nps.gov/history/locallaw/arch_stnds_7.htm) and the Advisory Council on Historic Preservation's (ACHP) recommendations on the recovery of significant information from archaeological sites as updated in 2009, at https://www.achp.gov/protectinghistoricproperties/Section_106_Archaeology_Guidance. The data recovery plan shall be submitted via email to the GM for comments. The GM shall be responsible for submitting the data recovery plan to the SHPO for comments and approval. This treatment measure does not apply to burials or human remains (refer to II.B.11 of this work plan).

9. If any additional construction activities are added or design changes are made after the project has begun, the Municipality, CM and PM shall inform the GM and the Monitor prior to performing the work. The Monitor, in conjunction with GM, shall evaluate these activities and apply the adverse effect criteria. If it is determined that the effect is adverse, the archaeologist will provide recommendations on how to avoid, minimize, or mitigate the adverse effect. These recommendations will be consulted with the SHPO prior to implementation. The SHPO will have 15 days to comment on the recommendations. If no communication is received within that time frame it will be assumed that the SHPO has no objection and concurs with the recommendations outlined.
10. If during construction activities historic property is affected in an unanticipated manner, the CM shall stop work immediately, and inform the Municipality, PM, GM and Monitor. The Monitor, in conjunction with GM, shall evaluate the unanticipated effects and apply the adverse effect criteria within no more than 24 hours. If the effect is determined to be adverse, the Monitor and GM will provide recommendations on how to avoid, minimize, or mitigate such adverse effects. The GM shall consult with the SHPO on the recommendations prior to implementation. The SHPO will have 48 hours to comment on the recommendations. If no communication is received within that timeframe, it will be understood that the SHPO has no objection and concurs with the recommendations outlined.

C. After Construction Ends

1. Upon the completion of archaeological monitoring, the Municipality, PM and GM shall be notified. The estimated date of delivery of the final report shall be

indicated in the said notification.

2. A technical report shall be prepared detailing monitored construction activities, documentary research (if any), documentation archaeological features and other findings, and analysis and interpretation of the results. The report must include visual information, such as drawings and photos, and a sketch plan of all the documented findings. The report shall be submitted to the GM no later than two (2) weeks after completing the archaeological monitoring work. The GM shall submit the report to the SHPO no later than one (1) week after receiving it.

D. Human Remains

If human remains are discovered, the protocol established in Stipulation III.B.1.c. of the PA must be followed:

1. Stop working immediately.
2. Notify the local law enforcement office and coroner/medical examiner following applicable Commonwealth statute(s).
3. Protect the remains from any harm.
4. The GM shall be responsible for notifying the SHPO within twenty-four (24) hours of identifying human remains.

4. PROFESSIONAL QUALIFICATIONS

The Monitor must meet the minimum Secretary of the Interior Professional Qualifications Standards for Archaeology established in 36CFR Part 61. These are: a graduate degree in archaeology, anthropology, or closely related field, plus at least one (1) year of full-time professional experience or equivalent specialized training in archaeological research, administration, or management; at least four (4) months of supervised field and analytic experience in general Puerto Rican archaeology; the demonstrated ability to carry research to completion; and at least one (1) year of full-time professional experience at a supervisory level in the study of archaeological resources of the pre-Columbian and colonial periods. Please see https://www.nps.gov/history/local-law/arch_stnds_9.htm for more information.

The SOI-qualified archaeologist shall not defer their monitoring responsibilities to any other person who does not meet the minimum professional qualifications. Any additional personnel to intervene in monitoring efforts shall have vast experience in historic archaeology, in working in evaluation (Phase II), documentation (Phase III), and monitoring projects dealing with colonial period properties.

The Principal Investigator may not transfer his or her duties, obligations, and responsibilities to subordinates or other technicians who are not professionally trained in archaeology. In the case of hiring archaeologists and trained technicians to assist in archaeological monitoring, the Principal Investigator must be present for at least 25 percent of the duration of the fieldwork to supervise them.

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s/f "Archeology and Historic Preservation: Secretary of the Interior's Standards and Guidelines for Historical Documentation". http://www.cr.nps.gov/local-law/arch_stnds_5.htm.

s/f "Archeology and Historic Preservation: Secretary of the Interior's Standards and Guidelines for Identification". http://www.cr.nps.gov/local-law/arch_stnds_5.htm.

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United States Geological Survey

APPENDIX A: MONITORING DAILY ACTIVITY SHEE

	PUERTO RICO 2017 DISASTER RECOVERY City Revitalization Program ARCHAEOLOGICAL MONITORING DAILY RECORD OF ACTIVITIES
Case ID:	Project Location:
Municipality:	Project Coordinates (lat/long):

SOI Qualified-Archaeologist:
Date of Monitoring: Click or tap to enter a date.
Work Hours:

<u>Description of work performed by contractor and supervised by the Monitor:</u>		
	YES	NO
Was an archaeological remain documented during the day. If yes, include the required information below.	<input type="checkbox"/>	<input type="checkbox"/>
Was an exceptional archaeological remain identified during the day? If yes, explain below.	<input type="checkbox"/>	<input type="checkbox"/>
Have the construction activities affected a previously unidentified property or a known historic property in an unanticipated manner? If yes, explain below.	<input type="checkbox"/>	<input type="checkbox"/>
Has there been a change in the scope of work of the project? If yes, explain below.	<input type="checkbox"/>	<input type="checkbox"/>

	PUERTO RICO 2017 DISASTER RECOVERY City Revitalization Program ARCHAEOLOGICAL MONITORING DAILY RECORD OF ACTIVITIES
Case ID:	Project Location:
Municipality:	Project Coordinates (lat/long):

<h2 style="text-align: left; margin: 0;">Site Photos</h2>	
<p>Direction of Photo: Click here to enter text.</p> <p>Description: Click here to enter text.</p>	Photo area
<p>Direction of Photo: Click here to enter text.</p> <p>Description: Click here to enter text.</p>	Photo area

APPENDIX B: 90% DESIGN PLANS



90% Construction Drawings for: IMPROVEMENTS OF PLAZA DE LA CONVALECENCIA AND PLAZA DEL PILAR Rio Piedras, San Juan, Puerto Rico



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P.O. Box 361090
San Juan, PR 00936-1090
Phone: 787-751-7241
Email: istrasier@gmail.com

Project Management:
Dept. Urban Design and Project
Development, Autonomous
Municipality of San Juan, Puerto
Rico

**NOT FOR
CONSTRUCTION**



INDEX OF DRAWINGS

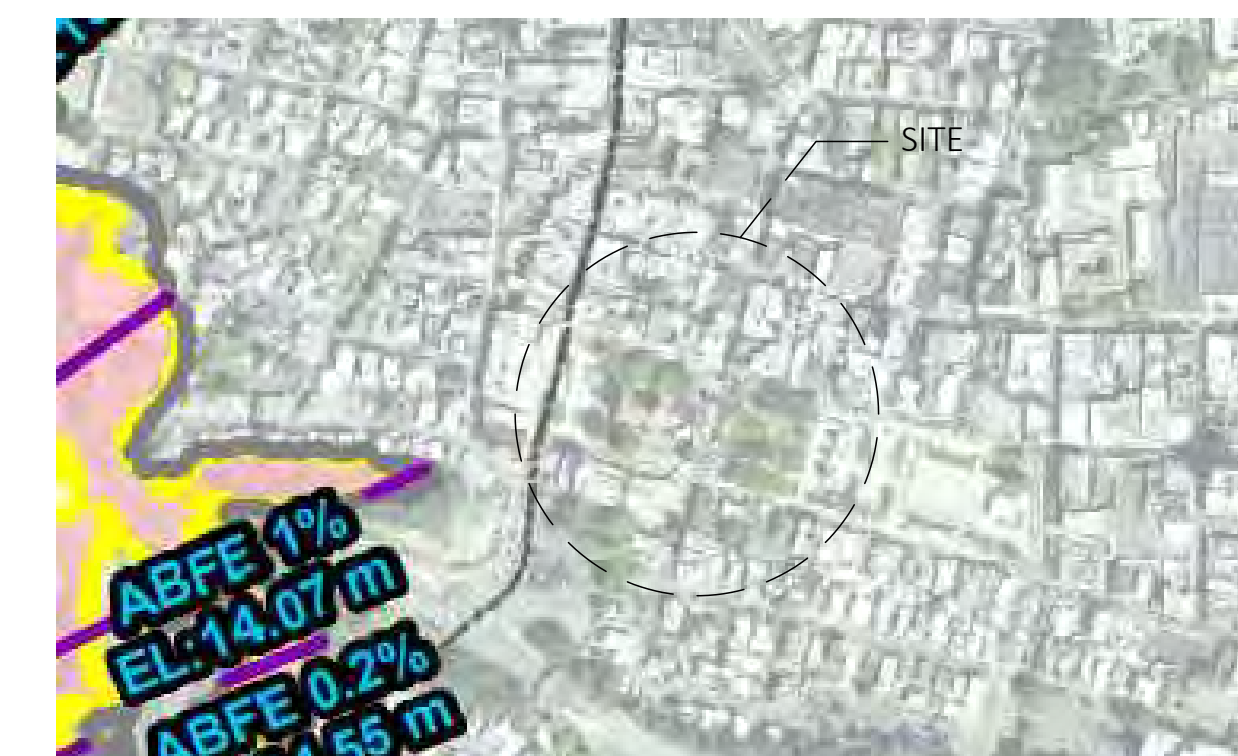
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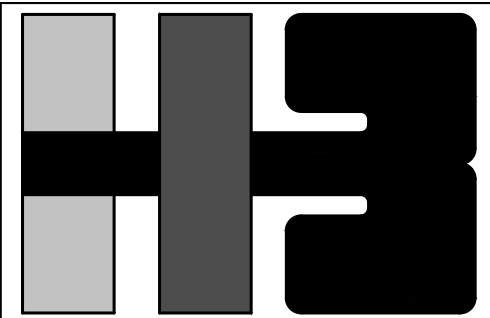
LOCATION MAP



CALIFICATION MAP



FLOODING MAP



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ISTRA HERNANDEZ DE BAUZA
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CLIENT

MANAGER
DEPT. OF URBAN DESIGN AND PROJECT DEVELOPMENT, MASJ.

OWNER
AUTONOMOUS MUNICIPALITY OF SAN JUAN

PROJECT

IMPROVEMENTS OF "PLAZA DE LA CONVALECENCIA" AND "PLAZA DEL PILAR"

DRAWING NAME

SITE SURVEY

COMPUTER PLOT

THIS DRAWING WAS DRAFTED ON A CAD SYSTEM ALL CHANGES OR CORRECTIONS MUST BE STRICTLY EXECUTED ON CAD. ANY QUESTIONS PLEASE CONTACT HERNANDEZ-BAUZA

NO.	DATE	REVISION	BY	APPROVED
1	3/1/24		L.R.	L.H.

PROJECT

DRAWN BY/CHECKED BY

L.R. I.H.

NUMBER TOTAL

2 61

DRAWING NUMBER

X-1.0

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Y:262500.000

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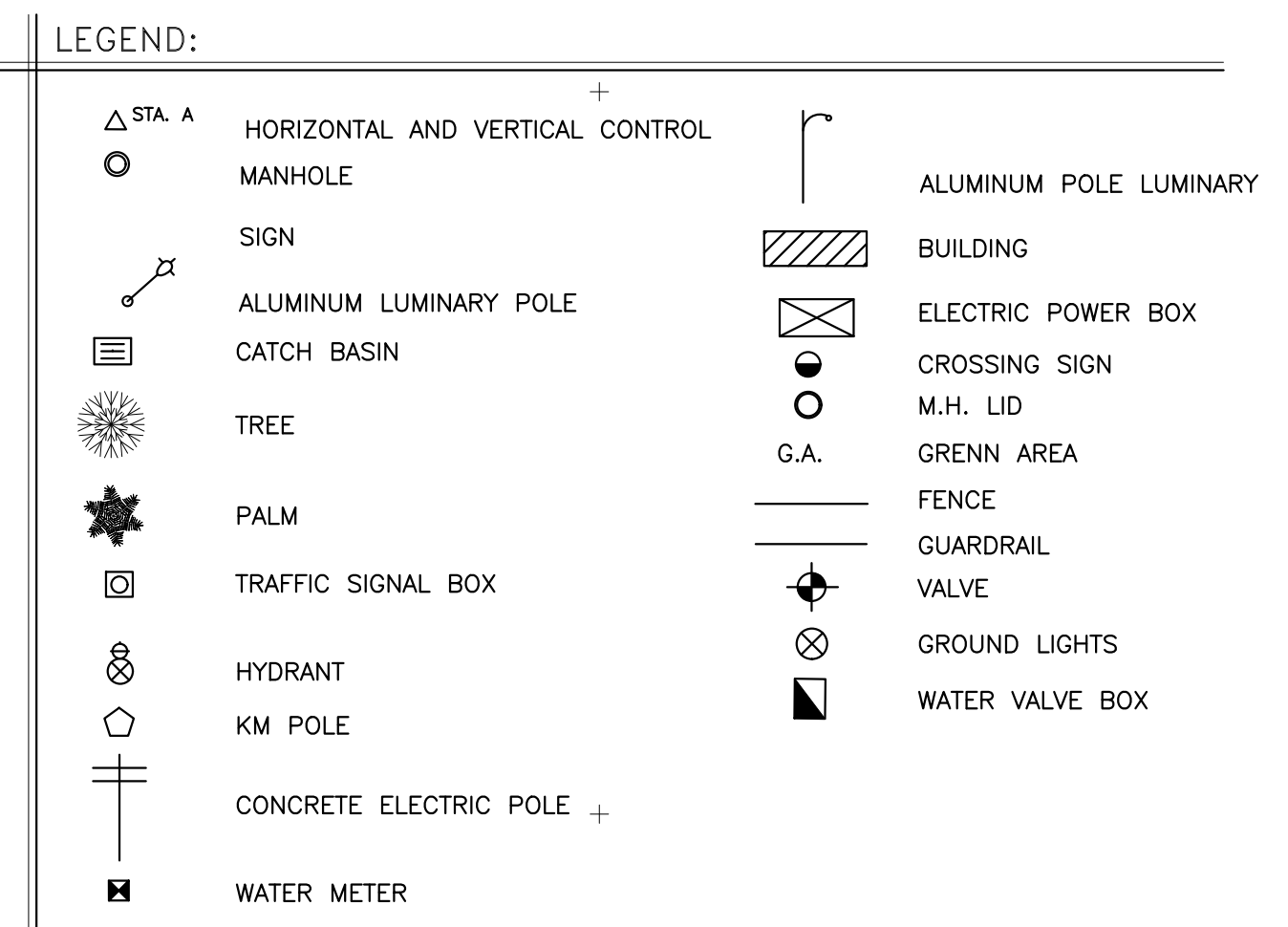


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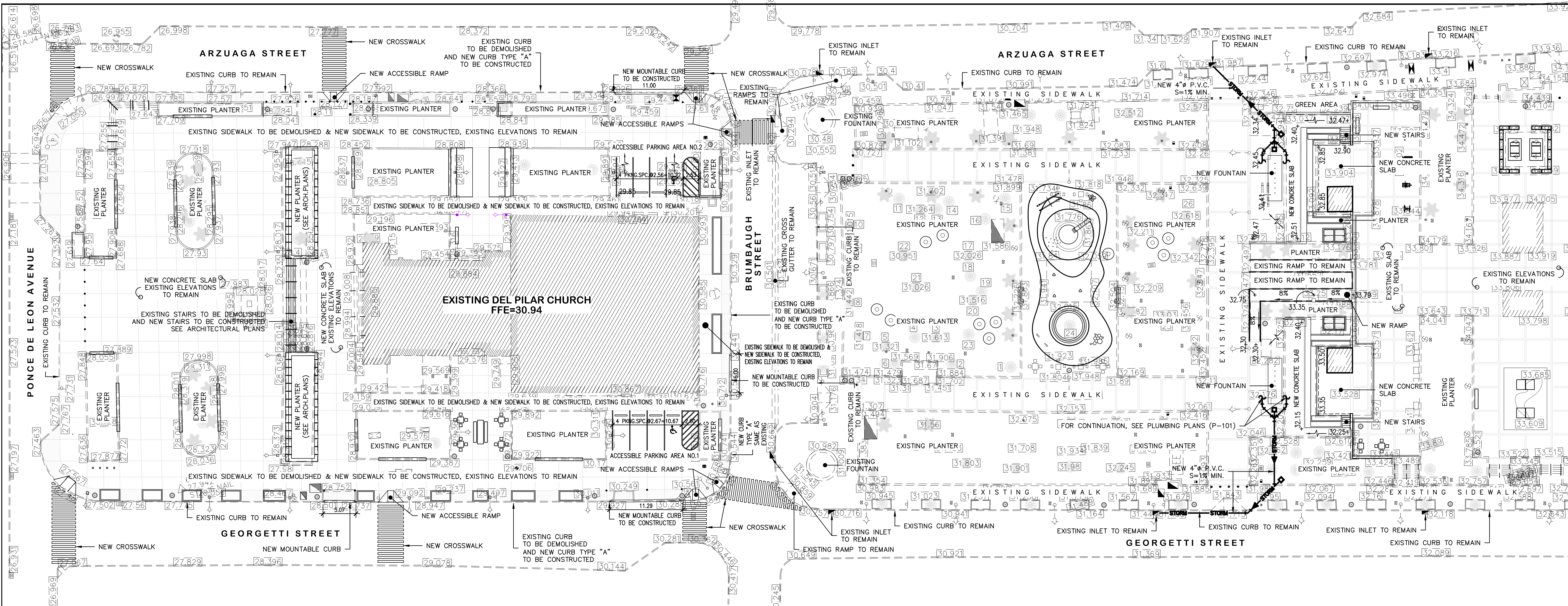
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NUMBER	TREE	DIAMETER	CONDITION
1	COABA	31" Ø	HEALTHY
2	ROBLE	8" Ø	HEALTHY
3	ROBLE	4" Ø	HEALTHY
4	ROBLE	6" Ø	HEALTHY
5	PALMA	9" Ø	HEALTHY
6	ROBLE	9" Ø	HEALTHY
7	ROBLE	12" Ø	HEALTHY
8	ROBLE	2" Ø	HEALTHY
9	ROBLE	3" Ø	HEALTHY
10	ROBLE	3" Ø	HEALTHY
11	ROBLE	9" Ø	HEALTHY
12	ROBLE	7" Ø	HEALTHY
13	ROBLE	8" Ø	HEALTHY
14	ROBLE	8" Ø	HEALTHY
15	SAUCE	8" Ø	HEALTHY
16	ROBLE	5" Ø	HEALTHY
17	REINA DE LAS FLORES	30" Ø	HEALTHY
18	ROBLE	4" Ø	HEALTHY
19	ROBLE	5" Ø	HEALTHY
20	ROBLE	5" Ø	HEALTHY
21	CEIBA	24" Ø	HEALTHY
22	ROBLE	12" Ø	HEALTHY
23	COABA	28" Ø	HEALTHY
24	REINA DE LAS FLORES	16" Ø	HEALTHY
25	COABA	32" Ø	HEALTHY
26	REINA DE LAS FLORES	20" Ø	HEALTHY



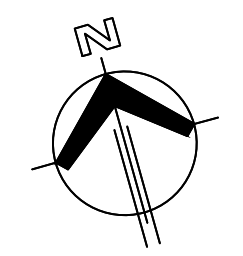
- NOTES:**
- 1) THE HORIZONTAL CONTROL ARE REFERRED TO THE LAMBERT COORDINATES SYSTEM NAD-83 (2011)(EPOCH: 2010.000, ITRF 2014 (EPOCH: 2023.5798)
 - 2) THE VERTICAL CONTROL ARE REFERRED TO THE PRVD-02, GEOID 18. BY OPUS SYSTEM.
 - 3) THE DECIMAL POINT DENOTE THE PLACE OF THE ELEVATION EXCEPT WHEN OTHERWISE INDICATED.
 - 4) THIS SURVEY WAS CARRY OUT WITH AN R.T.K. INSTRUMENT SOUTH S82V, BASE # V1282748597GM AND ROVER # V1282749199GM.
 - 5) THIS SURVEY WAS PERFORMED ON AUGUST 3 AND 4, 2023.
 - 6) ALL DISTANCES AND ELEVATIONS ARE IN METERS.



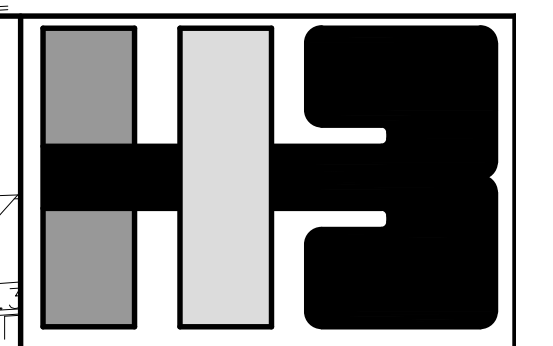
- LEGEND:**
- 27.877 EXISTING ELEVATIONS
 - 32.90 PROPOSED ELEVATIONS
 - PROPOSED INLET
 - EXISTING INLETS TO REMAIN
 - ARROW INDICATES DIRECTION OF RUN-OFF FLOW
 - PROPOSED STORM SEWER LINE AND DIRECTION OF FLOW
 - PROPOSED 4" Ø CLEAN-OUT

- NOTES:**
- 1- DIMENSIONS AND/OR ELEVATIONS ARE SHOWN IN METRIC SYSTEM, UNLESS OTHERWISE NOTED.
 - 2- THIS PLAN AND OTHER RELATED ONES, HAS BEEN PREPARED CONSIDERING THE INFORMATION INCLUDED IN THE "AS-BUILT PLAN" PREPARED BY JOSÉ MELÉNDEZ MELÉNDEZ, PLS, LIC.NO.12278 AND DATED ON AUGUST 4, 2023.
 - 3- CONTRACTOR SHALL COMPLY WITH THE RECOMMENDATIONS INCLUDED IN THE ABOVE DOCUMENTS, IF CONFLICT BETWEEN PLANS AND SUBSOIL STUDY ARISES, THE SUBSOIL STUDY RECOMMENDATIONS SHALL PREVAIL.
 - 4- PRIOR TO START CONSTRUCTION, THE OWNER SHALL ENGAGE THE SERVICES OF A CONSULTING GEOTECHNICAL ENGINEER WHO SHALL DIRECT AND SUPERVISE THE EARTHWORK OPERATIONS. CONTRACTOR SHALL ALSO, COMPLY WITH THE RECOMMENDATIONS THAT SAID CONSULTANT MAY ESTABLISH DURING THE PROJECT CONSTRUCTION.
 - 5- SOME FILL MATERIAL REQUIRED FOR ATTAINING THE GRADE SHOWN IN THIS PLAN MAY BE OBTAINED WITHIN THE PROJECT AREA, CONTRACTOR SHALL FOLLOW THE RECOMMENDATIONS ESTABLISHED BY THE GEOTECHNICAL ENGINEER AND PRIOR TO ITS USE, SHALL OBTAIN THE APPROVAL OF THE GEOTECHNICAL ENGINEER.

- 6- UNLESS OTHERWISE SPECIFIED BY SAID GEOTECHNICAL ENGINEER,
- (A) MATERIAL FOR FILL OR EMBANKMENT SHALL BE AS PER AASHTO CLASSIFICATION A-2-4 OR BETTER, COMPACTED TO DENSITIES OF 95% ON ALL AREAS, AS DETERMINED BY THE ASTM-D-1557, DEPOSITED IN LAYER IN SUCH THICKNESS AS REQUIRED BY THE NATURE OF SOIL, BUT NEVER TO EXCEED SIX INCHES (6").
- (B) SLOPES SHALL NOT BE STEEPER THAN 1.5 TO 1 FOR CUTS AND 2 TO 1 FOR FILLS.
- (C) ALL SLOPES EXCEEDING 3 TO 1 AND DIRT SWALES SHALL BE SODDED IMMEDIATELY WITH BERMUDA GRASS, PLANTED IN BLOCKS TO PREVENT EROSION.
- 7- THE TOPSOIL NEEDED TO PROVIDE THE FINAL GRADES FOR LAWNS AND PLANTING AREA SHALL BE PROPERLY STOCKPILED WITHIN THE PROJECT LIMITS.
- 8- ROUGH GRADING SHALL BE PERFORMED ACCORDING TO THE PRESENT PLAN REQUIRED LEVELS, SUBGRADES AND GRADES ARE AS FOLLOWS:
- A) FOR BUILDING FLOOR SLAB, TO THE UNDERSIDE OF THE RESPECTIVE FLOOR SLAB, SAME WILL VARY DEPENDING ON THE FLOOR FINISHES.
 - B) FOR STREETS PAVEMENTS, WALKS & OTHER SURFACED AREAS TO THE UNDERSIDE OF THE RESPECTIVE SURFACING OR BASE COURSE.
 - C) FOR LAWNS & PLANTING AREA TO FOUR (4") BELOW SPECIFIED FINISH GRADES, THEN COMPLETE TO GRADE WITH AN ACCEPTABLE TOPSOIL.
- 9- FOR TREE REMOVAL, REFER TO TREE INVENTORY STUDY.



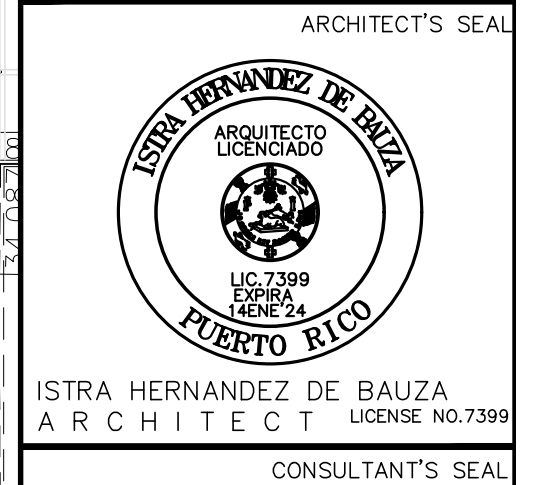
EXISTING TOPOGRAPHY & GRADING PLAN
SCALE: 1=300 METRIC



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ARCHITECT'S SEAL
CONSULTANT'S SEAL

YO, ANGEL GONZALEZ, INGENIERO LICENCIADO #12245, CERTIFICO QUE SOY EL PROFESIONAL QUE DISEÑO ESTOS PLANOS Y LAS ESPECIFICACIONES COMPLEMENTARIAS. TAMBIÉN, CERTIFICO QUE ENTENDO QUE DICHS PLANOS Y ESPECIFICACIONES CUMPLEN CON LAS DISPOSICIONES APPLICABLES DEL REGLAMENTO CONTINUTO Y LAS DISPOSICIONES APPLICABLES DE LOS REGLAMENTOS Y CÓDIGO DE CONSTRUCCIÓN VIGENTES DE LAS AGENCIAS, JUNTAS REGLAMENTADORAS O CORPORACIONES PÚBLICAS CON JURISDICCION Y ESTÁN EN CONFORMIDAD CON CÓDIGO DE CONSTRUCCIÓN DE PUERTO RICO 2018 VIGENTE AL 15 DE NOVIEMBRE DE 2018. CERTIFICO, ADEMÁS, QUE EN LA PREPARACIÓN DE ESTOS PLANOS Y ESPECIFICACIONES SE HA CUMPLIDO CABALMENTE CON LO DISPUESTO EN LA LEY NÚM. 14 DE 8 DE ENERO DE 2004, SEGÚN ENMIENDADA, CONOCIDA COMO LA "LEY PARA LA INVERSIÓN POR LA INDUSTRIA PUERTORRIQUEÑA" Y CON LA LEY NÚM. 319 DE 15 DE MAYO DE 1938, SEGÚN ENMIENDADA, LEY NÚM. 50 DE 6 DE JULIO DE 1978, SEGÚN ENMIENDADA, SEGÚN APLIQUE; RECONOZCO QUE CUALQUIER DECLARACIÓN FALSA O FALSIFICACIÓN DE LOS HECHOS QUE SE HAYA PRODUCIDO POR DESCUIDADO O POR NEGLIGENCIA YA SEA POR MÍ, MIS AGENTES O EMPLEADOS, O POR OTRAS PERSONAS CON MI CONOCIMIENTO, ME HACEN RESPONSABLE DE CUALQUIER ACCIÓN JUDICIAL Y PENAL POR LA DOPE.

CLIENT
MANAGER
DEPT. OF URBAN DESIGN AND PROJECT DEVELOPMENT, MASJ.

OWNER
AUTONOMOUS MUNICIPALITY OF SAN JUAN

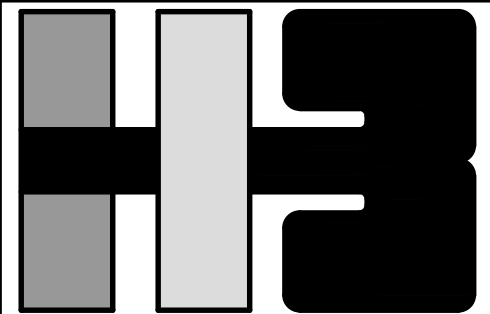
PROJECT
EXISTING TOPOGRAPHY AND GRADING PLAN

DRAWING NAME

COMPUTER PLOT
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NO.	DATE	REVISION	BY	APPROVED

PROJECT	
DRAWING BY/CHECKED BY	
NUMBER	TOTAL
3	62
DRAWING NUMBER	
C-1.0	



HERNANDEZ-BAUZA PSC, ARCHITECTS

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CLIENT
MANAGER
DEPT. OF URBAN DESIGN AND PROJECT DEVELOPMENT, MASJ.

OWNER
AUTONOMOUS MUNICIPALITY OF SAN JUAN

PROJECT

DRAWING NAME

STREET DETAILS

COMPUTER PLOT

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NO. DATE REVISION BY APPROVED

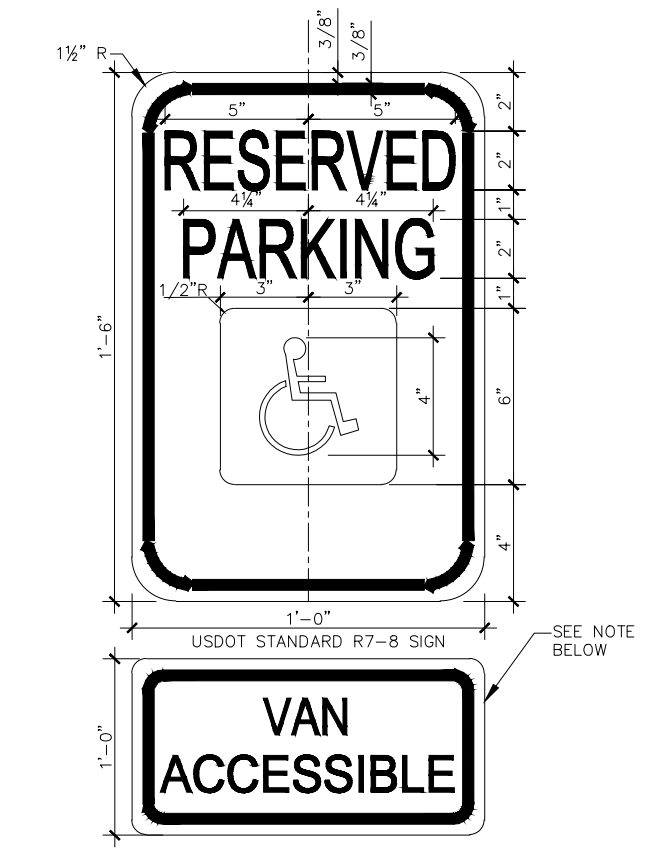
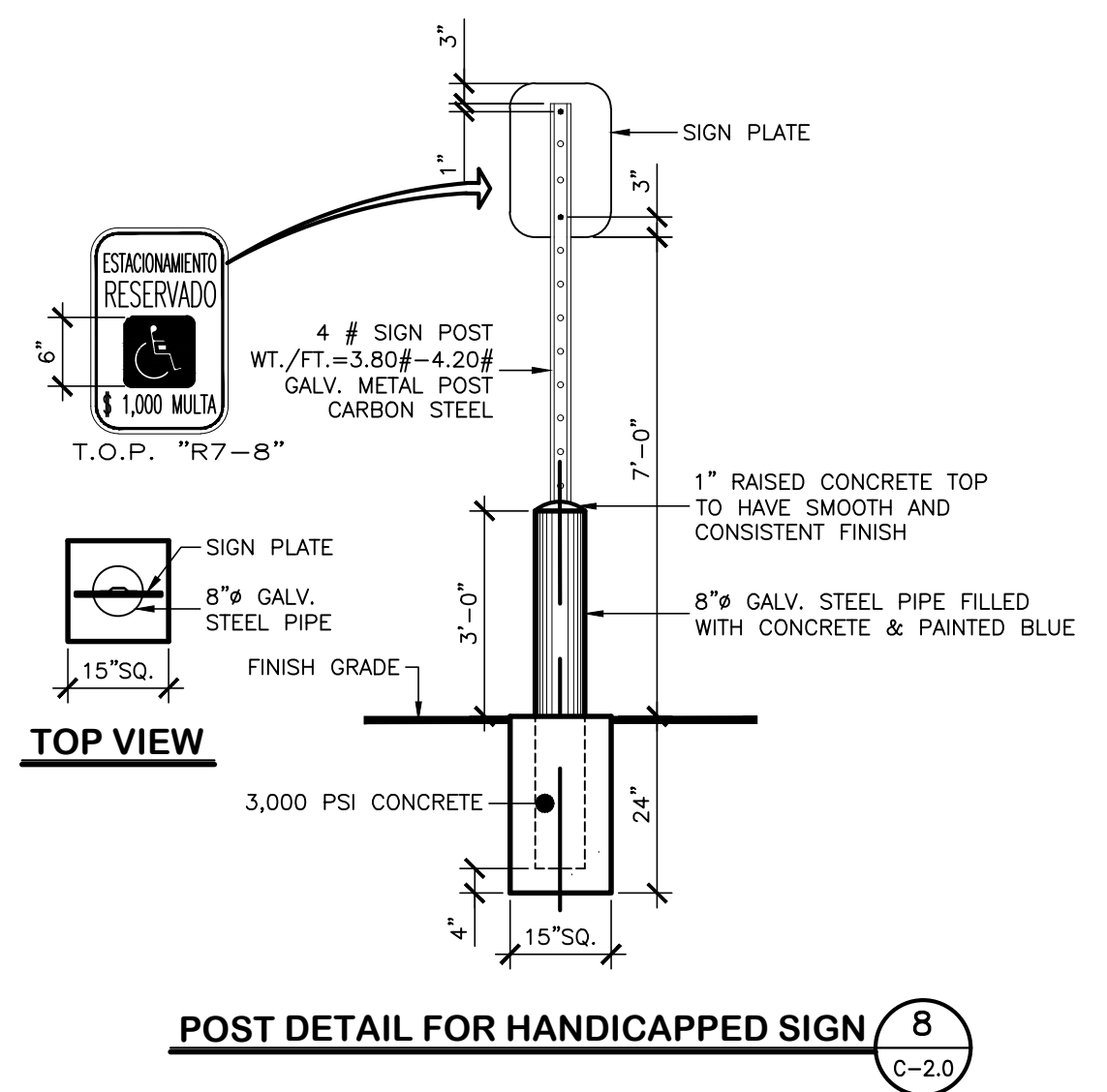
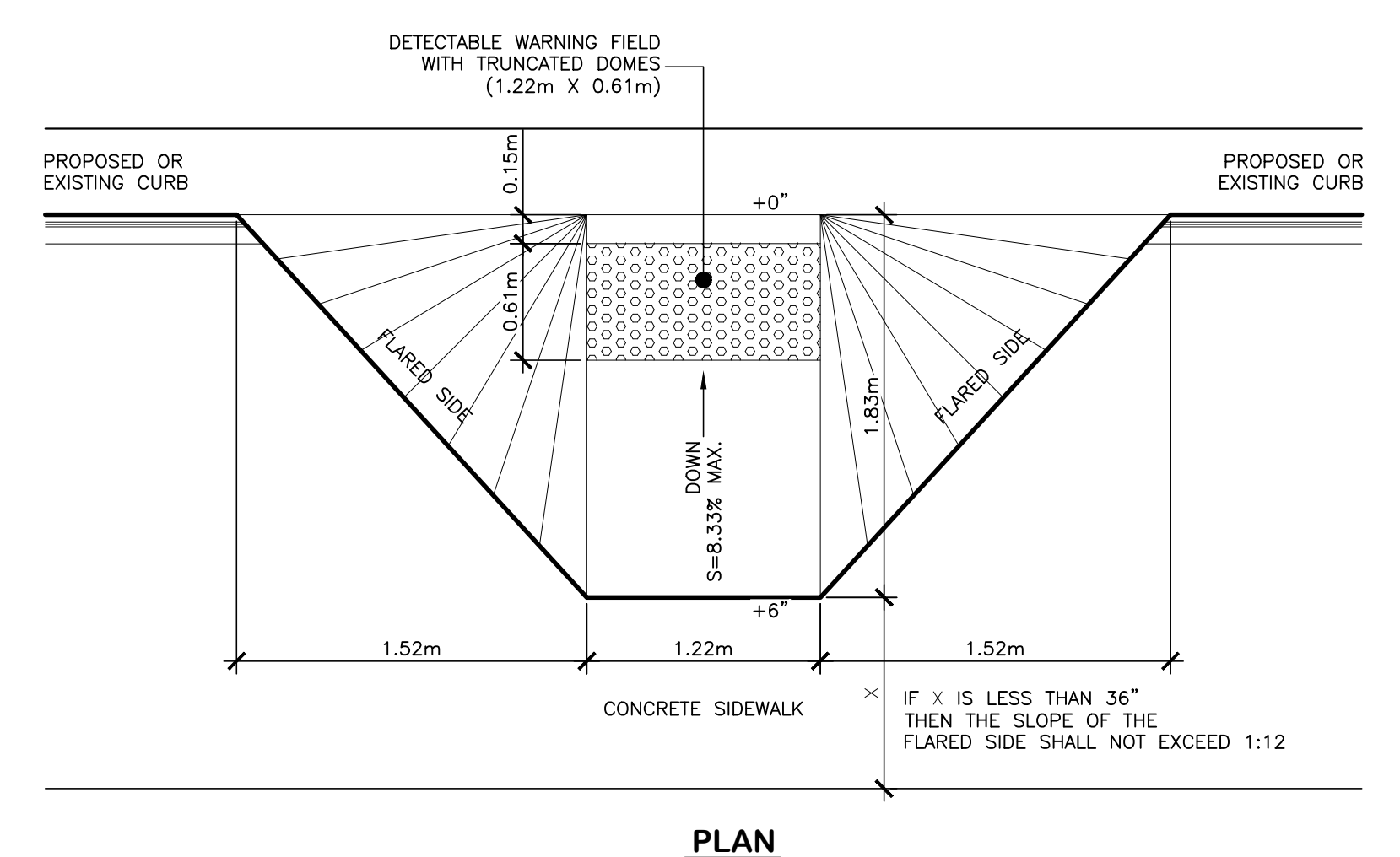
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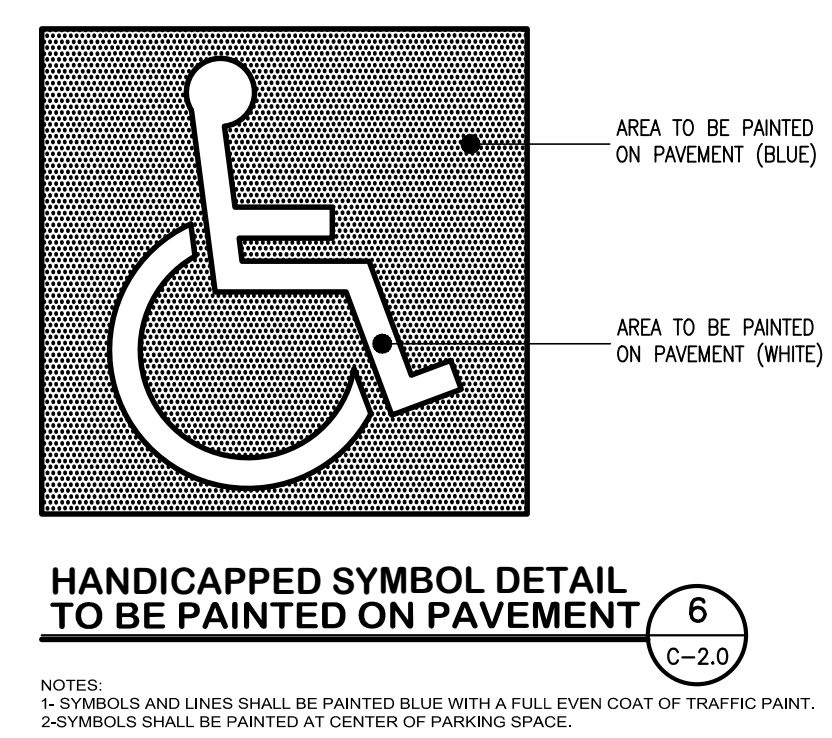
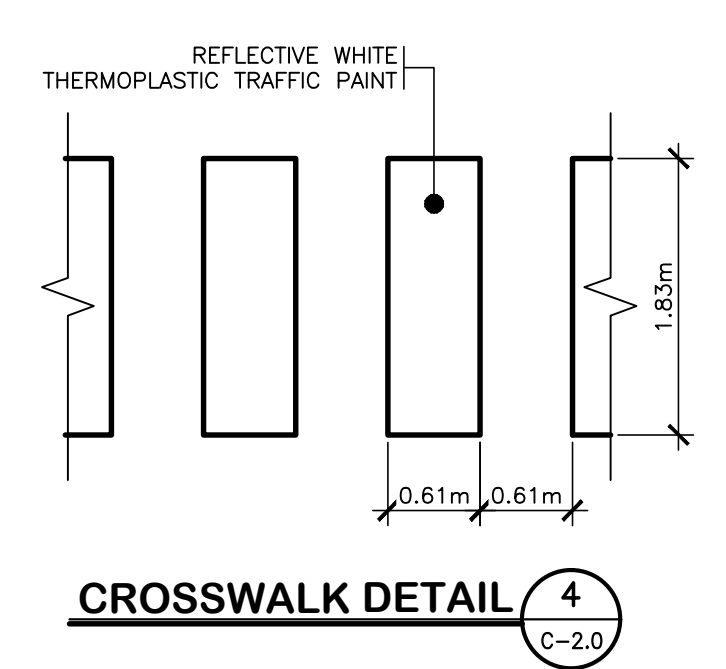
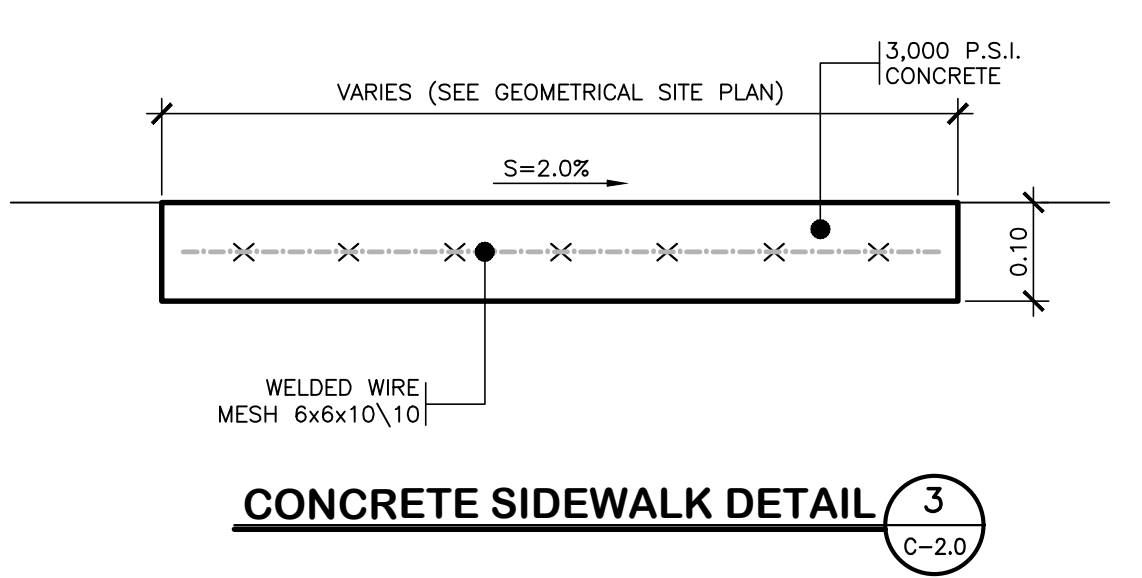
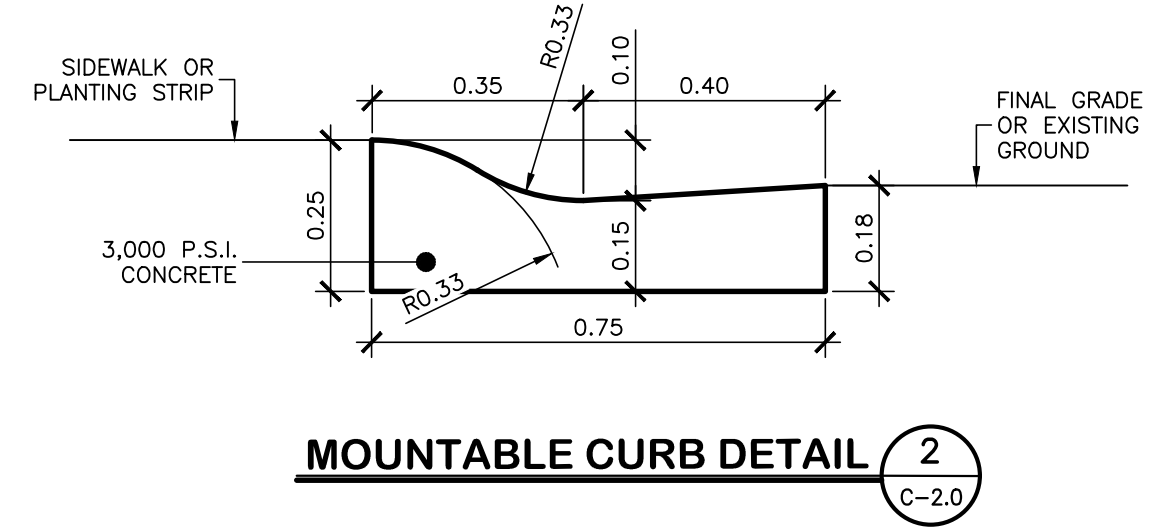
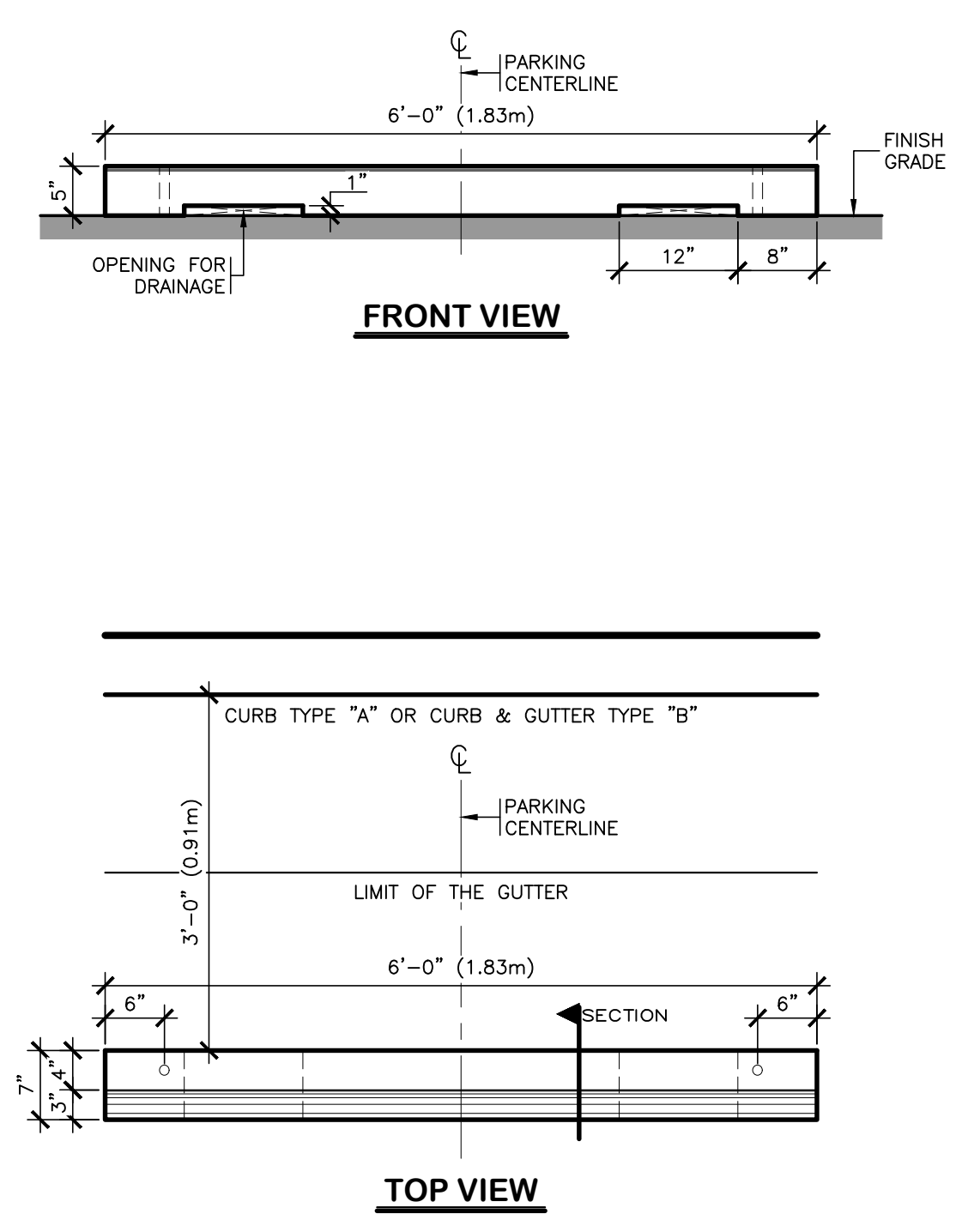
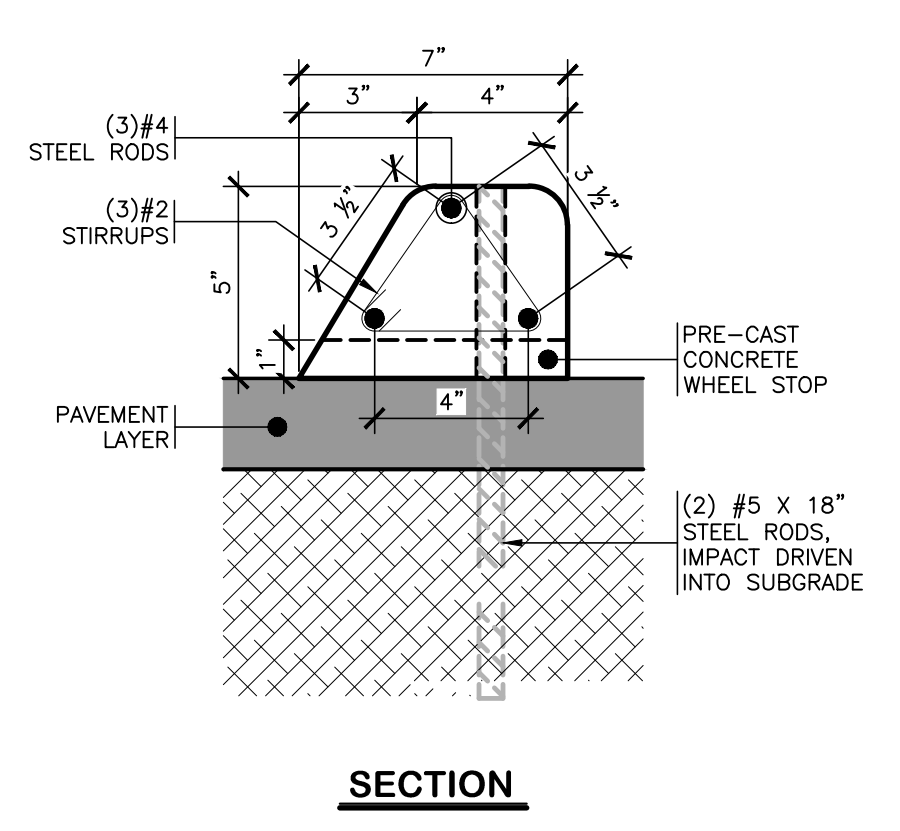
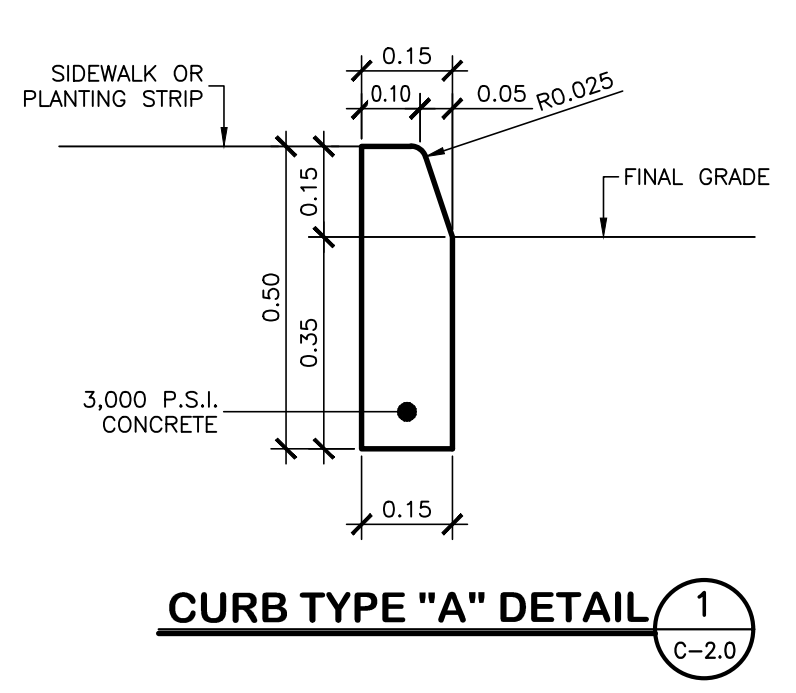
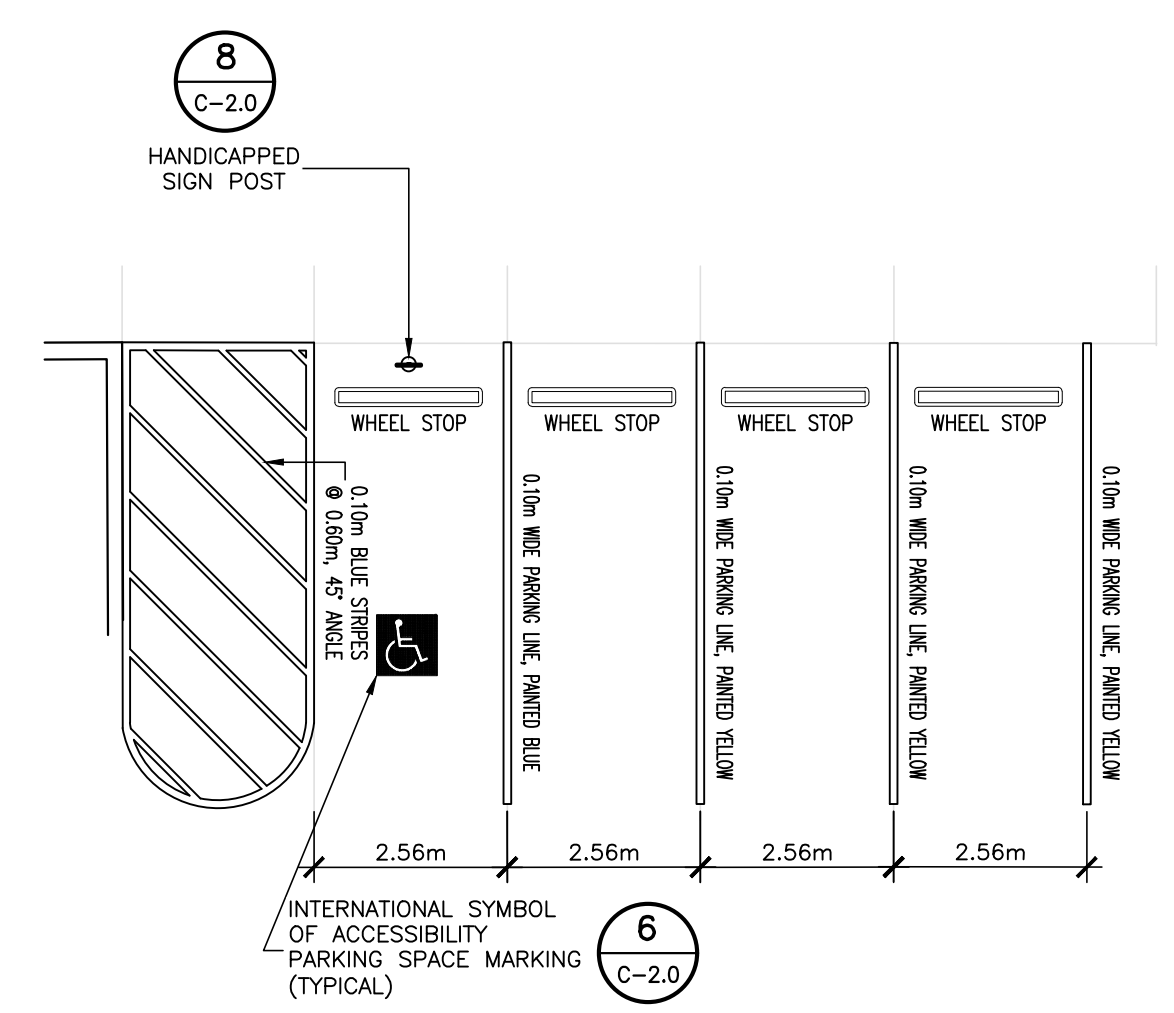
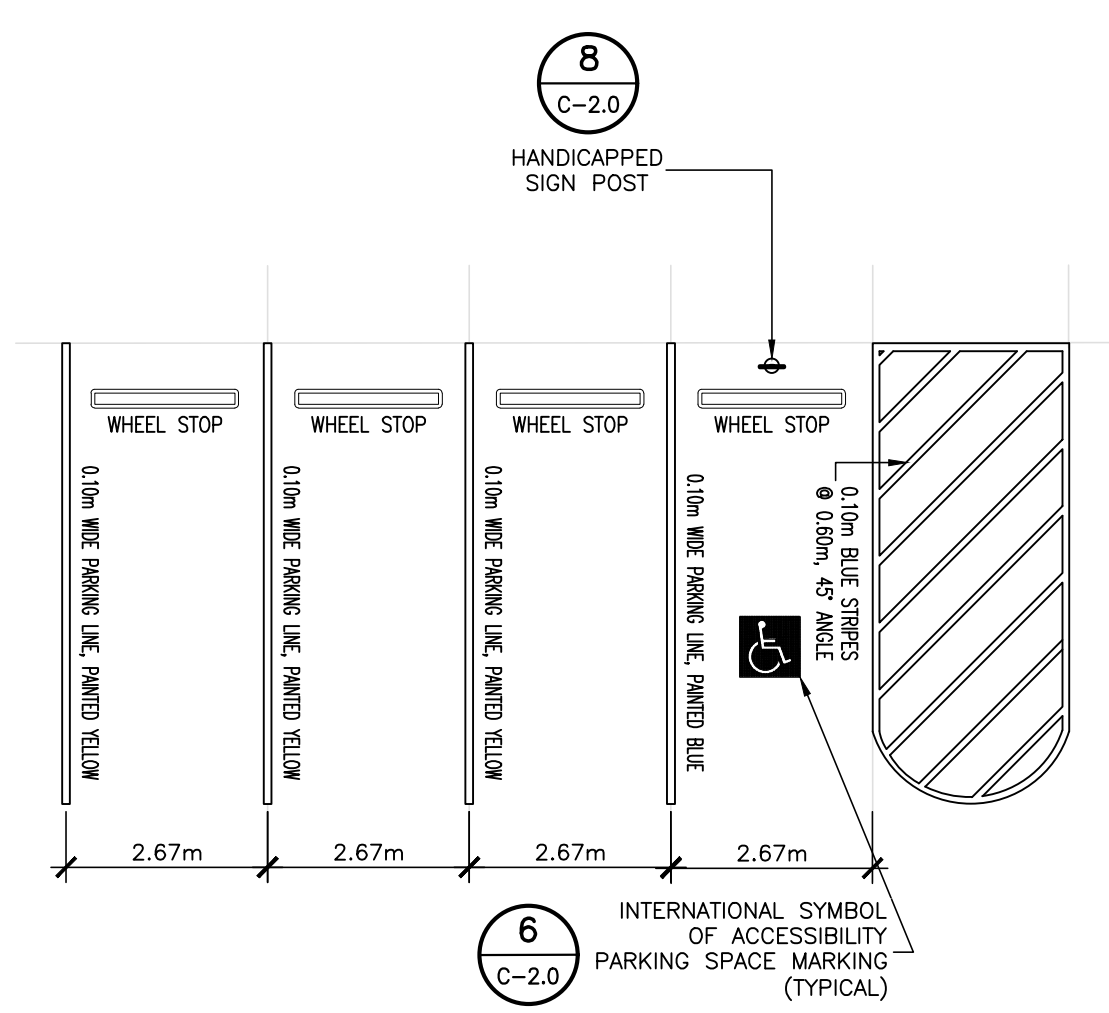
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DRAWING NUMBER

C-2.0

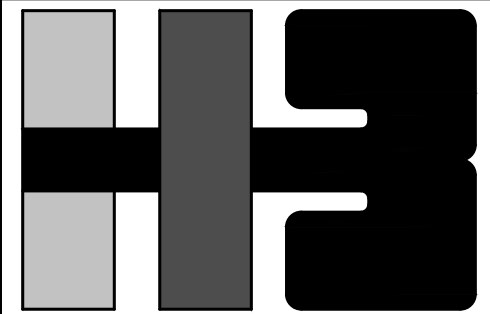


NOTE (R7-8 SIGN): THIS IS A STANDARD SIGN AND MAY BE ORDERED FROM ANY TRAFFIC SIGN SUPPLIER BY NUMBER. THE SIGN MUST BE SUPPLEMENTED WITH A "VAN ACCESSIBLE" SIGN AS APPLICABLE AND/OR AMOUNT OF THE FINE FOR ILLEGALLY PARKING IN THE RESERVED SPACE(S) A MUNICIPALITY MAY IMPOSE. CONFIRM WITH LOCAL REGULATIONS.



ACCESSIBLE PARKING AREA NO. 1-ENLARGED PLAN 9 C-2.0

ACCESSIBLE PARKING AREA NO. 2-ENLARGED PLAN 9a C-2.0



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ARCHITECT'S SEAL



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 CONSULTANT'S SEAL

YO, ISTRA HERNANDEZ, ARQUITECTO LICENCIADO #7399, CERTIFICO QUE SOY EL PROFESIONAL QUE DISEÑÓ ESTOS PLANOS Y LAS ESPECIFICACIONES COMPLEMENTARIAS. TAMBIÉN CERTIFICO QUE ENTENDÍ QUE DICHS PLANOS Y ESPECIFICACIONES CUMPLEN CON LAS DISPOSICIONES APLICABLES DEL REGLAMENTO CONJUNTO Y LAS DISPOSICIONES APLICABLES DE LOS REGLAMENTOS Y CÓDIGOS DE CONSTRUCCIÓN VIGENTES DE LAS AGENCIAS, JUNTAS REGULADORAS O CORPORACIONES PÚBLICAS CON JURISDICCION Y ESTAN EN CONFORMIDAD CON LOS CÓDIGOS DE CONSTRUCCIÓN DE PUERTO RICO 2018 VIGENTE AL 15 DE NOVIEMBRE DE 2018. CERTIFICO, ADÉMÁS, QUE EN LA PREPARACIÓN DE ESTOS PLANOS Y ESPECIFICACIONES SE HA CUMPLIDO CABALMENTE CON LO DISPUESTO EN LA LEY NÚM. 14 DE 8 DE ENERO DE 2004, SEGÚN ENMENDADA, CONOCIDA COMO LA "LEY PARA LA INVERSIÓN POR LA INDUSTRIA PUERTORRIQUEÑA" CON LA LEY NÚM. 315 DE 15 DE MAYO DE 1938, SEGÚN ENMENDADA, LEY NÚM. 96 DE 6 DE JULIO DE 1978, SEGÚN ENMENDADA, SEGÚN APRUQUE; RECONOCIENDO QUE CUALQUIER DECLARACIÓN FALSA O FALSIFICACIÓN DE LOS HECHOS QUE SE HAYA PRODUCIDO POR DESCONOCIMIENTO O POR NEGLIGENCIA YA SEA POR MÍ, MIS AGENTES O EMPLEADOS, O POR OTROS PERSONAS CON MI CONOCIMIENTO, ME HACER RESPONSABLE DE CUALQUIER ACCIÓN JUDICIAL Y DISCIPLINARIA POR LA OSPE.

CLIENT

MANAGER
 DEPT. OF URBAN DESIGN AND PROJECT DEVELOPMENT, MASJ.

OWNER
 AUTONOMOUS MUNICIPALITY OF SAN JUAN

PROJECT

IMPROVEMENTS OF "PLAZA DE LA CONVALESCENCIA" AND "PLAZA DEL PILAR"

DRAWING NAME

DEMOLITION SITE PLAN AND GENERAL NOTES

COMPUTER PLOT
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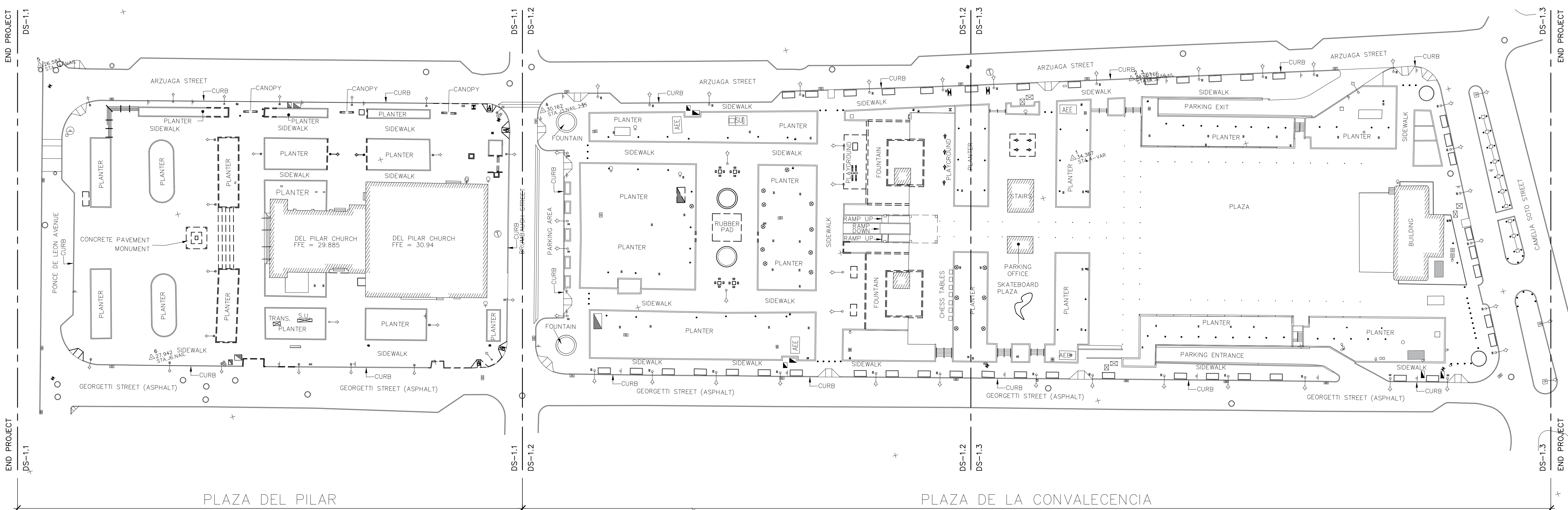
NO.	DATE	REVISION	BY	APPROVED

PROJECT

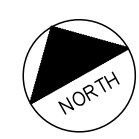
DRAWING BY/CHECKED BY
 JDD I.H.

NUMBER	TOTAL
5	62

DRAWING NUMBER
 DS-1.0



DEMOLITION SITE PLAN & KEY MAP
 SCALE: 1:250



DEMOLITIONS & GENERAL NOTES:

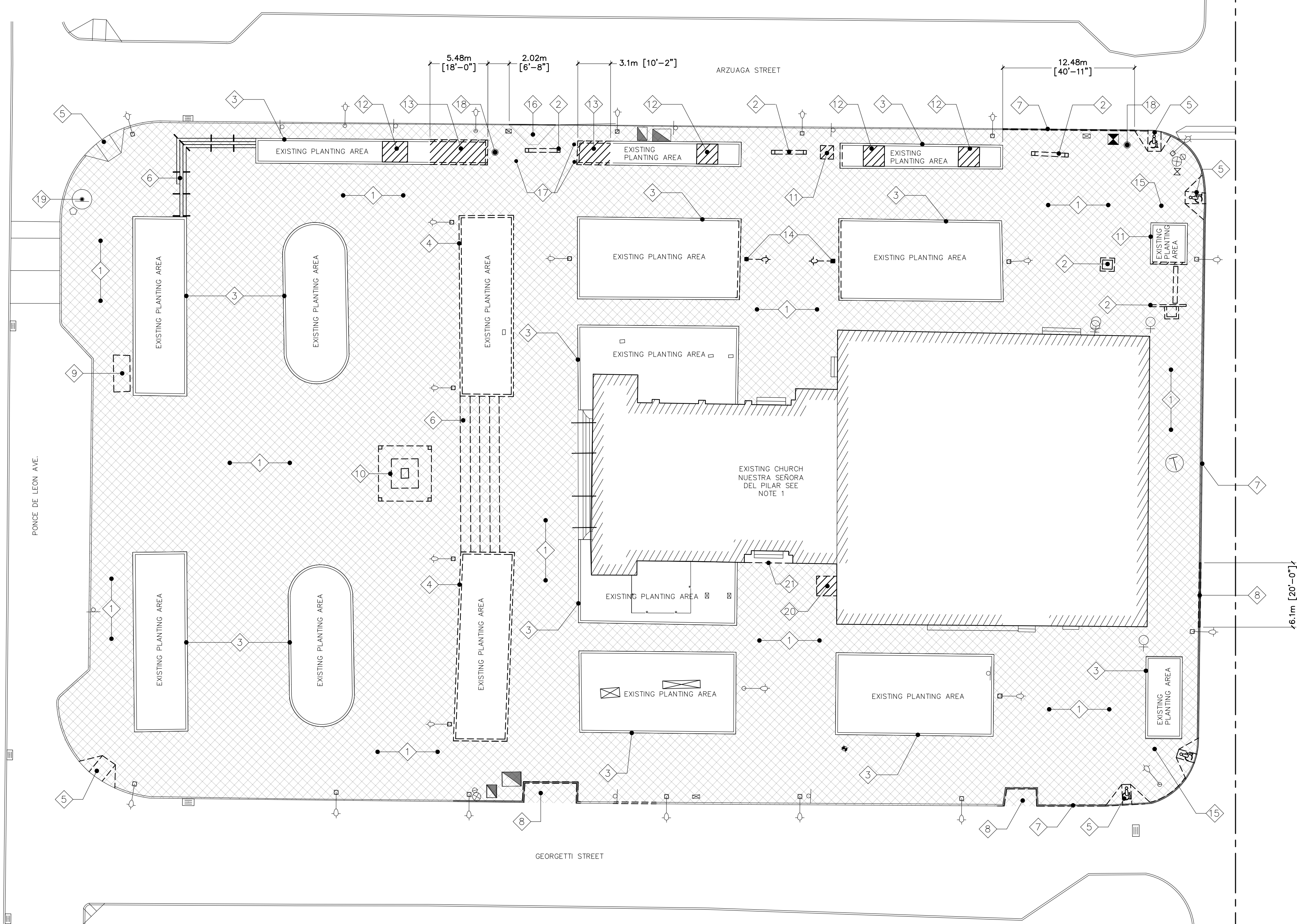
- PREVIOUS TO PROJECT DEMOLITIONS AND/OR EXCAVATIONS, THE CONTRACTOR MUST LOCATE AND IDENTIFY UNDERGROUND UTILITIES TO AVOID DAMAGES OR INTERRUPTIONS IN SERVICES. DAMAGES DUE TO HIS DEMOLITION AND/OR EXCAVATION WORK WILL HAVE TO BE REPAIRED AT HIS OWN COST.
 - CONTRACTOR SHALL DISPOSE PROPERLY OF ALL DEBRIS AND SCRAP MATERIAL FROM DEMOLITION WORK ACCORDING TO MUNICIPAL, STATE & FEDERAL REGULATIONS. SEE AND COMPLY AND COMPLY WITH DIVISION 002800 FOR HAZARDOUS MATERIALS ABATEMENT REMOVAL & DISPOSAL.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE INFLICTED TO THE PROJECT PROPERTY OR ADJACENT PROPERTIES OR OTHER PROJECT AREAS TO REMAIN DURING THE DEMOLITION AND CONSTRUCTION PHASES. DAMAGED ITEMS SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE AND OWNER'S SATISFACTION. DAMAGE TO SUBSTRATE SURFACES DURING REMOVAL PROCEDURES SHALL BE REPAIRED TO OWNER'S SATISFACTION BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
 - DEMOLITION AND REMOVAL SHALL BE CONDUCTED IN A MANNER THAT ELIMINATES HAZARDS TO PERSONS, THE ENVIRONMENT AND PROPERTY IN THE SURROUNDING AREA. THE CONTRACTOR SHALL PREVENT THE RELEASE OF DUST INTO THE AIR AND SOIL.
 - CONTRACTOR SHALL PROVIDE METAL CONTAINERS OF SUFFICIENT CAPACITY AS TO MAINTAIN THE PROJECT SITE & BUILDINGS FREE OF WASTE AND SCRAP MATERIALS. EVERY AFTERNOON BEFORE FINISHING THE DAY'S WORK HE SHALL COLLECT ALL WASTE MATERIALS AND PLACE THEM IN THE CONTAINERS. AT NO TIME WASTE MATERIAL SHALL BE LEFT UNCOLLECTED FROM ONE DAY TO ANOTHER. ON A MINIMUM WEEKLY BASIS WASTE MATERIALS STORED IN THE METAL CONTAINERS SHALL BE COLLECTED AND DISPOSED OFF ACCORDING TO MUNICIPAL, STATE & FEDERAL REGULATIONS. SEE APPLICABLE DIVISION 002800 HAZARDOUS MATERIALS ABATEMENT REQUIREMENTS.
 - THE CONTRACTOR SHALL MAINTAIN STREETS, PARKINGS, SIDEWALKS AND GROUNDS CLEAN AT ALL TIMES. WASHING WITH WATER IS REQUIRED TO PREVENT DUST CONTAMINATION AND HEALTH HAZARDS. WATER CONSUMPTION FOR CLEANING, CAN NOT BE TAKEN FROM PUBLIC FIRE HYDRANTS OR SCHOOL SERVICE.
 - THE CONTRACTOR SHALL SUBMIT, PROCURE AND OBTAIN THE FOLLOWING DOCUMENTS & PERMITS FROM THE ENVIRONMENTAL QUALITY BOARD OF PUERTO RICO IN ORDER TO PROCEED WITH CONTRACT WORK:
 - CONSOLIDATED PERMIT FROM ENVIRONMENTAL QUALITY BOARD
 - SOLID WASTE DISPOSAL (FORM D.S.-3) OR APPLICABLE PER HAZARDOUS OR NON-HAZARDOUS MATERIALS
 - PREPARE AND SUBMIT RES PLAN
 - OTHER REQUIRED BY LAWS AND REGULATION.
 - ANY OTHER REQUIRED PERMIT FOR THE CONTRACT WORK.
- NOTE: CONTRACTOR MUST MAINTAIN IN FULL FORCE ALL EXISTING PERMITS OBTAINED BY PREVIOUS CONTRACTOR AND / OR SUBMITT AND OBTAIN NEW PERMITS AT HIS OWN COST.**
- THE CONTRACTOR WILL NOTIFY AND OBTAIN PERMIT FROM THE PUBLIC SERVICE COMMISSION PRIOR TO THE EXCAVATION WORK OF THE PROJECT. PERMIT MUST BE SUBMITTED TO THE OWNER AND TO THE PROJECT INSPECTOR BEFORE PROCEEDING WITH ANY EXCAVATION OR DEMOLITION WORK.
 - PRIOR TO PROCEEDING WITH LANDSCAPING WORK, CONTRACTOR MUST REQUEST AND OBTAIN FROM THE MUNICIPALITY OF SAN JUAN A PERMIT FOR CUTTING AND PLANTING OF TREES ACCORDING TO THE PLANNING REGULATION NO.25.
 - THE DEMOLITION DRAWINGS ARE INTENDED TO GIVE THE CONTRACTOR A GENERAL SCOPE OF THE DEMOLITION WORK. THE CONTRACTOR IS RESPONSIBLE FOR COMPLETING ALL DEMOLITION'S NECESSARY TO PERFORM THE CONSTRUCTION WORK AS DEMONSTRATED IN CONTRACT DRAWINGS AND WRITTEN SPECIFICATIONS, EVEN IF IT IS NOT SPECIFICALLY SHOWN IN THE DEMOLITION DRAWINGS. NO ADDITIONAL COST TO OWNER WILL BE CHARGED FOR DEMOLITION'S NOT SHOWN IN DWGS.
 - UTILITIES AND OR SERVICES (CONSISTING BUT NOT LIMITED TO WATER, SEWER, ELECTRICITY, GAS, CABLE TV, DATA AND TELEPHONE) CAN NOT BE SUSPENDED TO ANY BUILDING OR PROPERTY WHILE CONTRACT WORK IS PERFORMED IN THIS PROJECT. IN ALL SITUATIONS CONTRACTOR SHALL MAKE NECESSARY TEMPORARY CONNECTIONS TO MAINTAIN SERVICES CONNECTED AND OR UTILITIES AT ALL TIME AND AT HIS OWN EXPENSE. PLANNING AND COORDINATION BETWEEN CONTRACTOR AND THE AGENCIES PROVIDING THE UTILITIES AND OR SERVICES ARE HIS SOLE RESPONSIBILITY AND AT HIS OWN COST.

WORK PLAN

- THE WORK WILL BE PERFORMED BY A QUALIFIED CONTRACTOR. CONCRETE RECYCLING CAN BE USED ON THIS WORK, BUT NOT ON SITE TO PERFORM ALL DEMOLITION & CONSTRUCTION WORK. THE CONTRACTOR WILL ENSURE THE SAFETY OF ITS WORKERS AND OF THE PUBLIC & SURROUNDING AREAS. SAFETY FENCES AND SIGNS WILL BE PROVIDED AS REQUIRED. ALL PERSONNEL WILL USE THE O.S.H.A. REQUIRED PROTECTIVE EQUIPMENT AS REQUIRED BY THE STATE AND FEDERAL REGULATIONS. THE WORK WILL BE PERFORMED FOLLOWING THE STATE AND FEDERAL LAWS CONCERNED AND IN ACCORDANCE WITH THE WORK PLAN.
- FINAL DISPOSITION OF DEBRIS AND MATERIAL RESULTING FROM DEMOLITION - ALL METALS WILL BE RECYCLED AT APPROVED RECYCLING CENTERS. THE CONTRACTOR WILL TRANSPORT ALL CONCRETE WASTE MATERIAL IN AUTHORIZED TRUCKS AS APPROVED BY "DOT" & THE PUBLIC SERVICE COMMISSION.
 - SAFETY AND HEALTH PLAN - THE CONTRACTOR SHALL PROVIDE A RISK FREE ENVIRONMENT FOR ALL EMPLOYEES AND THEIR SURROUNDING. HE MUST GUARANTEE THE SAFETY AND HEALTH OF ALL EMPLOYEES, SUBCONTRACTORS AND GENERAL PUBLIC SUBMITTING A COMPREHENSIVE SAFETY & HEALTH PLAN FOR THE CONTRACTED INSPECTION APPROVAL.
 - SAFETY MEASURES AND PRECAUTIONS DURING DEMOLITION OR CONSTRUCTION (ALL O.S.H.A. AND E.P.A. UPDATED COMPLIANCE)

GENERAL PROCEDURES:

- THE CONTRACTOR SHALL EXECUTE AND CERTIFY A THOROUGH VISIT TO THE PROJECT SITE, TO FAMILIARIZE WITH ALL THE CONSTRUCTION WORK BEFORE ATTENDING THE PRE-BID MEETING.
- CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGES INFLICTED TO THE OWNER'S OR NEIGHBOR PROPERTY OR OTHER AREAS DURING THE EXECUTION OF THE WORK. HE SHALL REPAIR ANY DAMAGES AT HIS OWN EXPENSE TO OWNER'S SATISFACTION
- THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT ALL SHOP DRAWINGS, PRODUCT LITERATURE AND SAMPLES FOR APPROVAL PRIOR TO COMMENCEMENT OF THE WORK AND NO LATER THAN 90 CALENDAR DAYS AFTER ORDER TO PROCEED. NO SUBSTITUTIONS REQUEST OF MATERIALS WILL BE CONSIDERED WHEN NON-COMPLIANCE OF SUBMITTAL'S DELIVERY TIME IS CAUSING SUCH SUBSTITUTION REQUEST.
- DRAWINGS ARE NOT TO BE SCALED: SEE ARCHITECTURAL DRAWINGS FOR EXACT DIMENSIONS.
- ALL MATERIALS AND CONSTRUCTION METHODS USED MUST COMPLY WITH ALL GOVERNING REGULATIONS AS SET FORTH BY THE PUERTO RICO PLANNING BOARD, AND ALL OTHER CONCERNED REGULATORY AGENCIES AND CODES.
- NEW CONSTRUCTION INCLUDING CONCRETE, MASONRY WOOD, PLASTER, GATES, FRAMES, AND MISCELLANEOUS UNFINISHED METALS (OTHER THAN STAINLESS STEEL) SHALL BE PAINTED UNLESS OTHERWISE CLEARLY INDICATED ON DRAWING.
- ALL WOOD MATERIAL WEATHER SOLID OR PLYWOOD SHALL BE PRESSURE TREATED AND KILN DRIED IN ACCORDANCE WITH SPECIFICATIONS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING FIELD CONDITIONS PRIOR TO ACTUAL CONSTRUCTION OR INSTALLATION. IN CASE OF ANY DISCREPANCY WITH THE CONSTRUCTION DOCUMENTS, OR DOUBTS AS TO THE INTERPRETATION OF SAID DOCUMENTS, THE ARCHITECT SHALL BE IMMEDIATELY NOTIFIED AND CONSULTED FOR CLARIFICATION PRIOR TO CONSTRUCTION OR INSTALLATION.
- WHERE QUANTITY OF MATERIALS ARE SHOWN IN CONSTRUCTION DRAWINGS AND OR WRITTEN SPECIFICATIONS, SUCH NUMBER SHALL NOT BE TAKEN AS THE DETERMINED QUANTITY NEEDED FOR THE CONSTRUCTION CONTRACT. THE CONTRACTOR SHALL PROVIDE AND INSTALL THE AMOUNT OF MATERIALS AND/OR EQUIPMENTS NEEDED TO COMPLETE AND PLACE IN OPERATION ALL THE WORK SHOWN IN THE CONSTRUCTION DRAWINGS AND WRITTEN SPECIFICATIONS, WITHOUT ADDITIONAL COST TO THE OWNER.
- BEFORE PAINTING WORK, CLEAN FUNGUS AND DARK SPOTS IN WALLS AND CEILINGS WITH AN INDUSTRIAL CHLORINE SOLUTION. (NO METHYLENE-CHLORIDE CONTAINING)
- REPAIR ALL CRACKS, SCRAPER, PATCH AND/OR REMOVE EXISTING IMPERFECTIONS IN ALL EXTERIOR CEMENT PLASTER WALLS. USE CONCRETE REHABILITATION PRODUCTS EQUAL OR SIMILAR TO TAMS INDUSTRIES, CO., "TAMS THIN PATCH" (PUERTO RICO WIRE PRODUCTS, INC.) FOR CORRECTION OF UNEVEN FINISHES IN EXISTING WALLS.
- APPLY A HIGH QUALITY SURFACE CONDITIONER AT ALL INTERIOR / EXTERIOR CEMENT PLASTER WALLS & CEILINGS BEFORE PAINTING. REFER TO SPECIFICATIONS.
- PAINT ALL EXTERIOR CEMENT PLASTER SURFACES, FRAMES, DOORS, WINDOW, ETC. AS SPECIFIED. COLORS TO BE SELECTED BY ARCHITECT AS INDICATED IN TECHNICAL SPECIFICATIONS. (NO LEAD-BASED PAINT SHALL BE UTILIZED IN THIS PROJECT).
- AFTER CONSTRUCTION WORK IS FINISHED THE WHOLE PROJECT SHALL BE PAINTED ACCORDING TO SPECIFICATIONS.



ANNOTATIONS:

- 1. EXISTING CHURCH NUESTRA SEÑORA DEL PILAR IS NOT PART OF THE SCOPE OF WORK, BUT ANY DAMAGE INFLECTED BY CONSTRUCTION WORK WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR WHO MUST REPAIR TO OWNER'S SATISFACTION.
- 2. ALL EXISTING LIGHTING POSTS & FIXTURES TO REMAIN, UNLESS SPECIFICALLY NOTED IN PLANS. SEE SITE CIVIL PLANS FOR MORE DETAILS.
- 3. ALL EXISTING CURB TO REMAIN, UNLESS SPECIFICALLY NOTED IN PLANS.
- 4. PREVIOUS TO PROJECT DEMOLITIONS OR EXCAVATIONS THE CONTRACTOR MUST LOCATE AND IDENTIFY UNDERGROUND UTILITIES TO AVOID DAMAGES OR INTERRUPTIONS IN SERVICES. ANY DAMAGES DUE TO THIS DEMOLITION OR EXCAVATION WORK ARE TO BE REPAIRED AT HIS OWN COST.
- 5. EXISTING TELEPHONE STRUCTURE TO BE DEMOLISHED.
- 6. DEMOLISH EXISTING SIDEWALK PORTION TO ACCOMMODATE NEW ACCESSIBLE RAMP.
- 7. REMOVE EXISTING BOLLARDS.
- 8. REMOVE ALL EXISTING TRASH RECEPTACLES IN PLAZA DEL PILAR
- 9. EXISTING SIGNAGE & GRANITE BASE TO REMAIN.
- 10. EXISTING RAMP TO BE DEMOLISHED.
- 11. SAW-CUT AT ENTRY STEPS
- 12. EXISTING CONCRETE CURB PORTION TO BE DEMOLISHED.
- 13. EXISTING CONCRETE VEHICULAR RAMP TO BE REMOVED.
- 14. EXISTING BUS STOP TO BE REMOVED & DELIVERED TO MASJ.
- 15. EXISTING CHURCH SCULPTURE TO BE REMOVED FROM BASE & PROPERLY STORED FOR REINSTALLMENT IN NEW LOCATION. SCULPTURE BASE & SURROUNDING FENCE TO BE DEMOLISHED.
- 16. EXISTING CONCRETE LOW WALL TO BE CAREFULLY DEMOLISHED & REMADE.
- 17. EXISTING CONCRETE SLAB INSIDE PLANTER TO BE DEMOLISHED.
- 18. EXISTING PLANTER PORTION TO BE DEMOLISHED.
- 19. EXISTING HC RAMP TO BE DEMOLISHED.
- 20. EXISTING PLANTER PORTION TO BE DEMOLISHED.
- 21. EXISTING LAMP POSTS TO BE RELOCATED.

PLAZA DEMOLITION SITE PLAN

SCALE: 1:250

LEGEND:

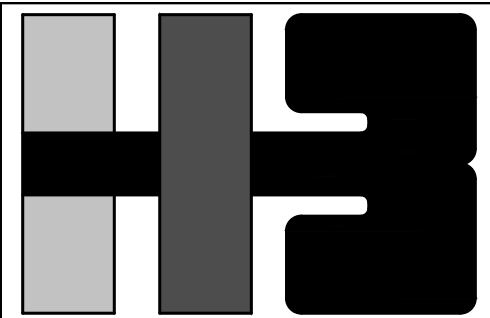
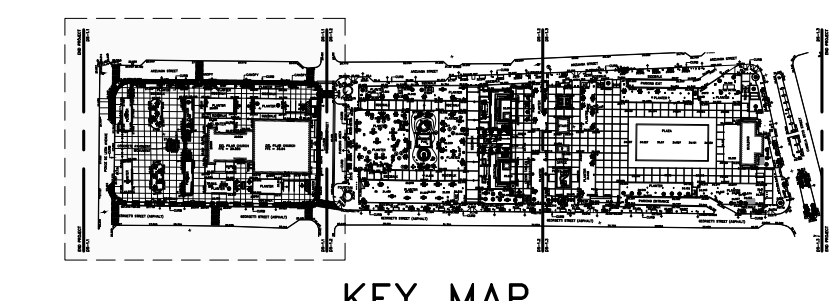
SYMBOL	DESCRIPTION
	EXISTING PAVEMENT TO BE DEMOLISHED
	EXISTING PLANTER PORTION TO BE DEMOLISHED
	EXISTING CURB PORTION TO BE DEMOLISHED
	EXISTING LOW-WALL FROM PLANTER TO BE DEMOLISHED
	ANNOTATION MARKER

NOTES:

- EXISTING CHURCH NUESTRA SEÑORA DEL PILAR IS NOT PART OF THE SCOPE OF WORK, BUT ANY DAMAGE INFLECTED BY CONSTRUCTION WORK WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR WHO MUST REPAIR TO OWNER'S SATISFACTION.
- ALL EXISTING LIGHTING POSTS & FIXTURES TO REMAIN, UNLESS SPECIFICALLY NOTED IN PLANS. SEE SITE CIVIL PLANS FOR MORE DETAILS.
- ALL EXISTING CURB TO REMAIN, UNLESS SPECIFICALLY NOTED IN PLANS.
- PREVIOUS TO PROJECT DEMOLITIONS OR EXCAVATIONS THE CONTRACTOR MUST LOCATE AND IDENTIFY UNDERGROUND UTILITIES TO AVOID DAMAGES OR INTERRUPTIONS IN SERVICES. ANY DAMAGES DUE TO THIS DEMOLITION OR EXCAVATION WORK ARE TO BE REPAIRED AT HIS OWN COST.

ANNOTATIONS:

- 1. DEMOLISH EXISTING CONCRETE PAVEMENT & PAVERS.
- 2. EXISTING STRUCTURE TO BE DEMOLISHED.
- 3. ALL EXISTING PLANTING TO BE SCARIFIED & REPAIRED IN PLACE.
- 4. EXISTING PLANTING LOW WALL TO BE DEMOLISHED & RE-BUILT.
- 5. EXISTING HC RAMP TO BE DEMOLISHED.
- 6. EXISTING CONCRETE STAIRS & HANDRAILS TO BE DEMOLISHED.

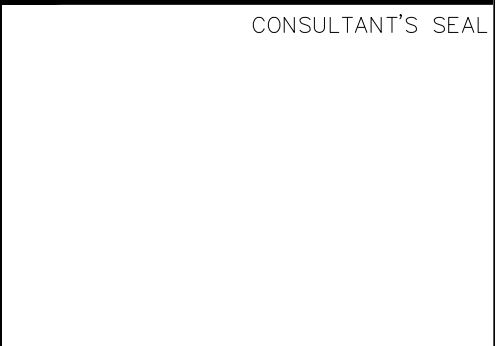


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DEPT. OF URBAN DESIGN AND PROJECT DEVELOPMENT, MASJ.

OWNER
AUTONOMOUS MUNICIPALITY OF SAN JUAN

PROJECT
IMPROVEMENTS OF "PLAZA DE LA CONVALESCENCIA" AND "PLAZA DEL PILAR"

DRAWING NAME
PLAZA DEMOLITION SITE PLAN

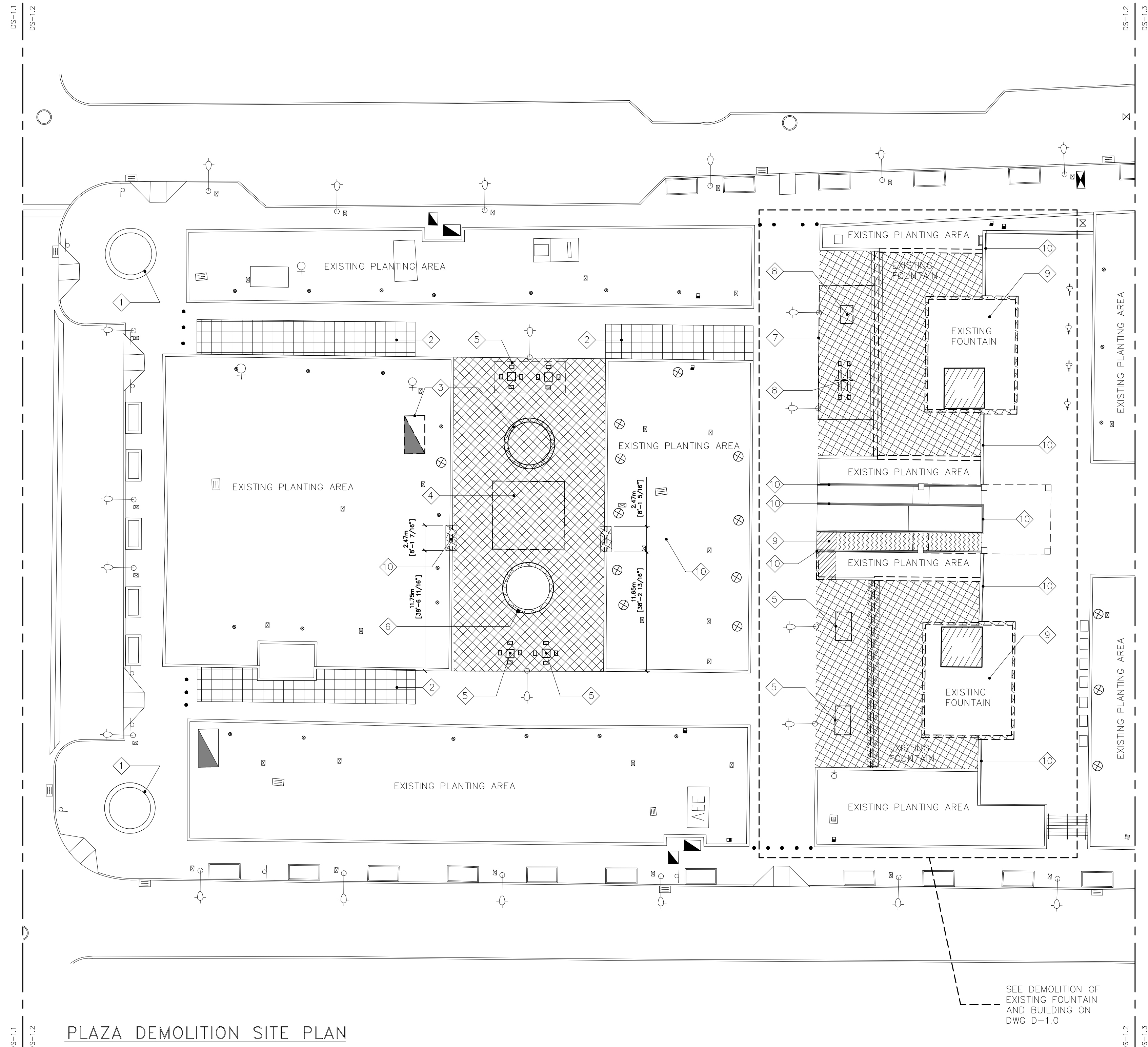
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1	3/1/24		L.R.	L.H.

PROJECT
DRAWING BY/CHECKED BY
JDD I.H.

NUMBER	TOTAL
6	62

DRAWING NUMBER
DS-1.1









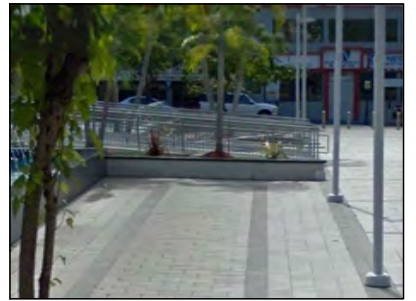
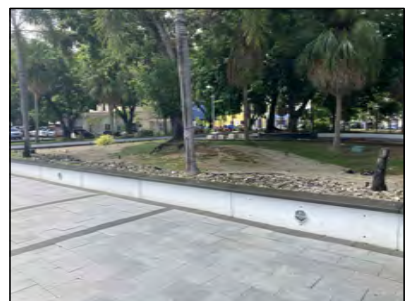



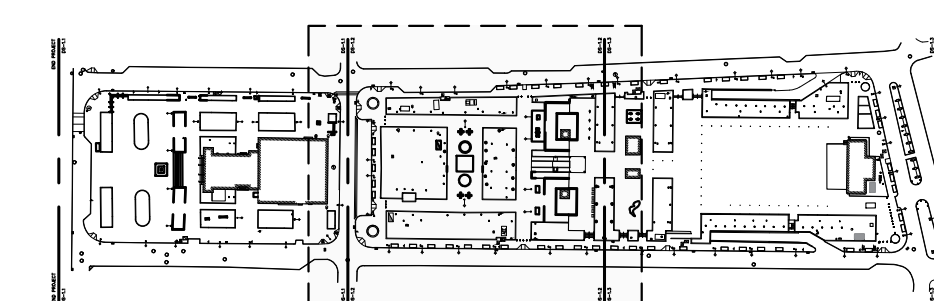
PLAZA DEMOLITION SITE PLAN
SCALE: 1:250

LEGEND:

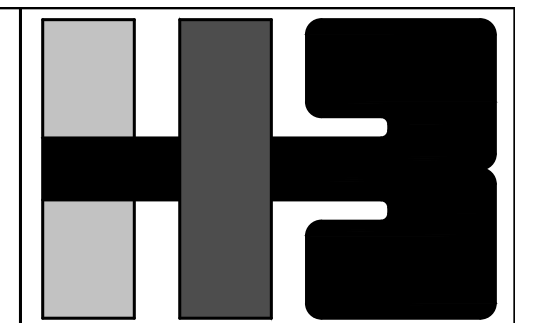
SYMBOL	DESCRIPTION
	EXISTING PAVEMENT TO BE REMOVED
	EXISTING PAVERS TO BE REMOVED & REINSTALLED
	EXISTING RAMP & PLANTER PORTION TO BE DEMOLISHED
	SCARIFICATION OF CONCRETE SURFACE
	EXISTING LOW-WALL FROM PLANTER TO BE DEMOLISHED
	ANNOTATION MARKER

ANNOTATIONS:

- 1 EXISTING WATER FOUNTAIN TO BE CLEANED, REMOVE EXISTING STONE, WOOD PANEL, VEGETATION AND METAL GRILLS. SEE DWG --- FOR IMPROVEMENTS. 
- 2 EXISTING PAVERS TO BE CAREFULLY REMOVED FOR REINSTALLATION. EXISTING GRANITE PAVERS HAVE BEEN DISPLACED BY TREE ROOTS. CONTRACTOR MUST PROVIDE SERVICES OF CERTIFIED ARBORIST TO CUT & PRUNE THE NECESSARY ROOTS TO RE-INSTALL PAVERS & COMPACTED BASE ACCORDING TO SECTION --- OF TECH SPECS 
- 3 EXISTING WATER FOUNTAIN TO BE DEMOLISHED, REMOVE ALL EXISTING PIPING AND WATER PUMP AND CASING TO BE PROPERLY DISPOSED. 
- 4 EXISTING PLAY AREA AND RUBBER PAVEMENT TO BE DEMOLISHED. 
- 5 EXISTING CONCRETE DOMINOS TABLE, BENCHES & PING-PONG TABLES TO BE CAREFULLY REMOVED & RELOCATED. 
- 6 REMOVE, CLEAN & STORE GRANITE STONE OF EXISTING CONCRETE PLANTER. 
- 7 EXISTING ARTIFICIAL GRASS TO BE REMOVED. 
- 8 EXISTING PLAYGROUND EQUIPMENT TO BE CAREFULLY REMOVED AND RELOCATED IN NEW PLAYGROUND AREA. FOR DETAILS SEE DWG AS-3.1 
- 9 EXISTING RAMP & PLANTER PORTION TO BE DEMOLISHED. FOR DETAILS SEE DWG D-1.0 
- 10 EXISTING PLANTER PORTION TO BE CAREFULLY DEMOLISHED. FOR DETAILS SEE DWG AS-3.1 
- 11 REMOVE AND REPLACE ALL BROKEN PAVERS.
CLEANING: WATER BLASTING
JOINT SAND: REFRESHED WITH DRY SAND. APPLY SEALERS WILL HELP HOLD THE SAND IN THE JOINTS. THESE ARE APPLIED OVER THE ENTIRE PAVER SURFACE AS A LIQUID AND ALLOWED TO SOAK AND CURE IN THE JOINTS.
VEGETATION: REMOVE (VEGETATION) BY HAND OR WITH HERBICIDES. TAKE CARE IN USING HERBICIDES SO THAT ADJACENT VEGETATED AREAS ARE NOT DAMAGED. USE BIODEGRADABLE PRODUCTS THAT WON'T DAMAGE OTHER VEGETATION OR POLLUTE WATER SUPPLIES WHEN WASHED FROM THE PAVEMENT SURFACE. 



KEY MAP



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DRAWING NAME
DEMOLITION SITE PLAN

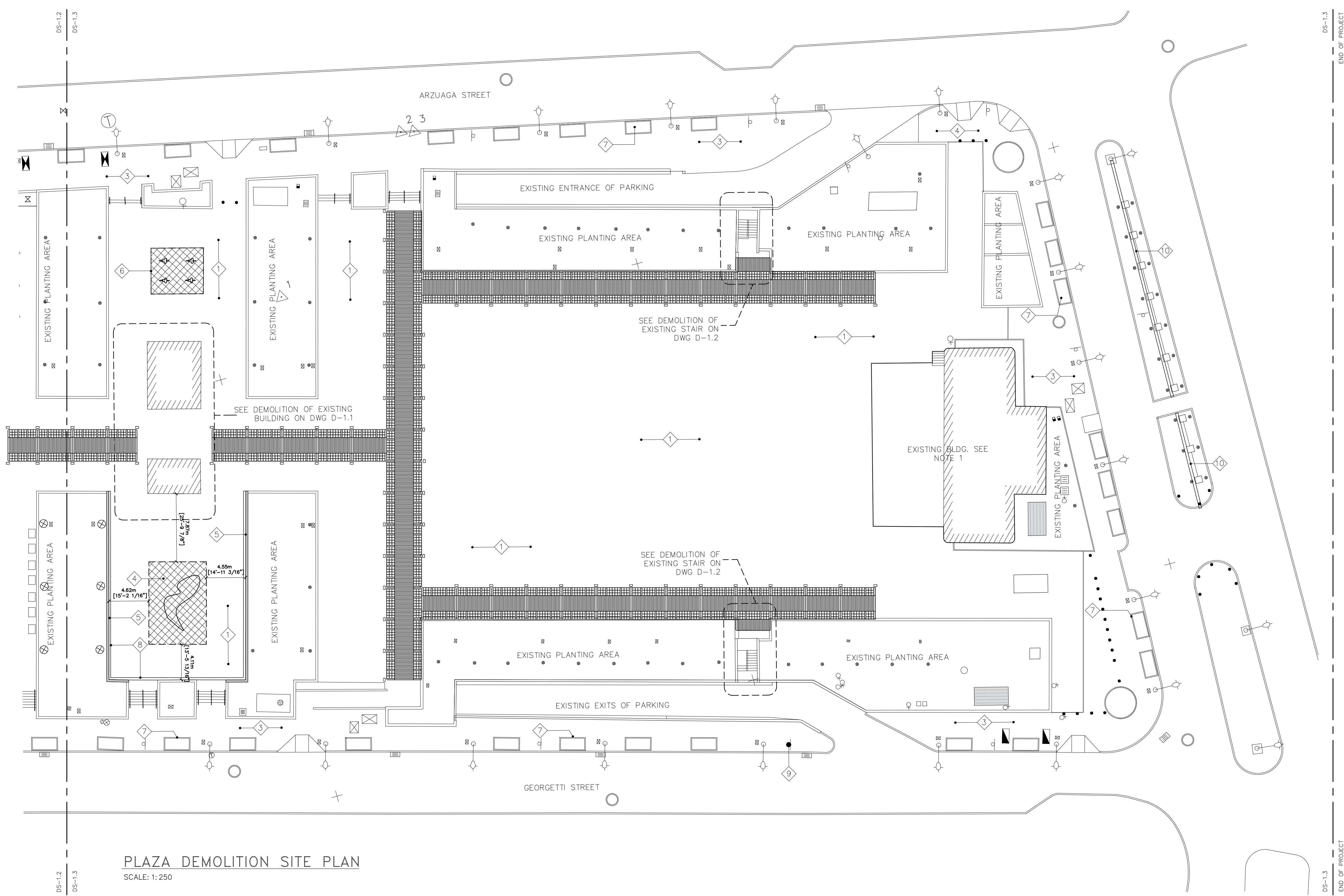
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NO.	DATE	REVISION	BY	APPROVED
1	3/1/24		L.R.	L.H.

PROJECT
DRAWING BY/CHECKED BY
JDD I.H.

NUMBER	TOTAL
7	62

DRAWING NUMBER
DS-1.2



PLAZA DEMOLITION SITE PLAN
SCALE: 1:250

ANNOTATIONS:

1 REMOVE AND REPLACE ALL BROKEN PAVERS.
CLEANING:
WATER BLASTING
JOINT SAND:
REPLISHED WITH DRY SAND, APPLY SEALERS WILL HELP HOLD THE SAND IN THE JOINTS. THESE ARE APPLIED OVER THE ENTIRE PAVEMENT SURFACE AS A LIQUID AND ALLOWED TO SOAK AND CURE IN THE JOINTS.
VEGETATION:
REMOVE (VEGETATION) BY HAND OR WITH HERBICIDES. TAKE CARE IN USING HERBICIDES SO THAT ADJACENT VEGETATED AREAS ARE NOT DAMAGED. USE BIODEGRADABLE PRODUCTS THAT WON'T DAMAGE OTHER VEGETATION OR POLLUTE WATER SUPPLIES WHEN WASHED FROM THE PAVEMENT SURFACE.

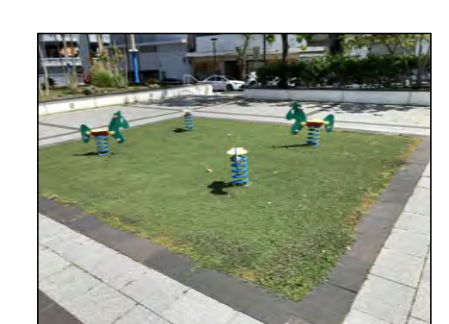
2 EXISTING ALUMINUM TRELLIS STRUCTURE TO BE CLEANED.
3 EXISTING CONCRETE SIDEWALK TO BE CLEANED & SEALED.
5 EXISTING METAL EDGE TO BE REMOVED.

4 EXISTING CONCRETE SKATE SCULPTURE AND NOTED PAVER AREA TO BE DEMOLISHED, REMOVE SURROUNDING PAVERS TO BE REINSTALLED
5 EXISTING METAL EDGE TO BE REMOVED.

6 EXISTING ARTIFICIAL GRASS TO BE REMOVED, PLAYGROUND ELEMENTS TO BE CAREFULLY REMOVED & RELOCATED.
7 EXISTING SOLID STONE GRANITE CURB TO BE CLEANED

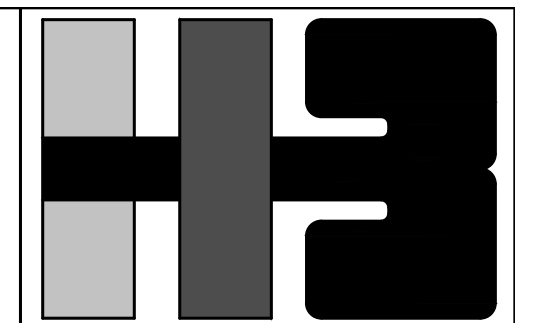
8 ALL EXISTING TRENCH DRAIN & DRAIN PIPE TO BE CLEANED AND UNPLUGGED.
9 EXISTING BACKLITE SIGNAGE TO BE REMOVED & RESTORED FOR REINSTALLATIONS.

10 REMOVE ALL BROKEN TILES.



LEGEND:

SYMBOL	DESCRIPTION
	EXISTING PAVEMENT TO BE REMOVED
	EXISTING PAVERS TO BE REMOVED & REINSTALLED
	ANNOTATION MARKER



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MANAGER
DEPT. OF URBAN DESIGN AND PROJECT DEVELOPMENT, MASJ.
OWNER
AUTONOMOUS MUNICIPALITY OF SAN JUAN

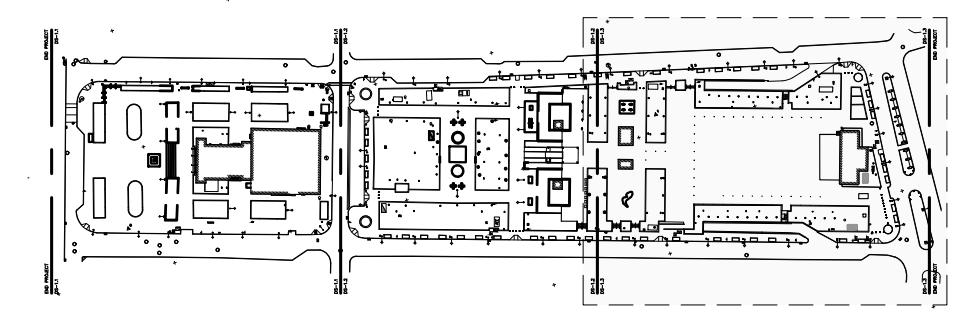
PROJECT
IMPROVEMENTS OF "PLAZA DE LA CONVALESCENCIA" AND "PLAZA DEL PILAR"

DRAWING NAME
DEMOLITION SITE PLAN

COMPUTER PLOT
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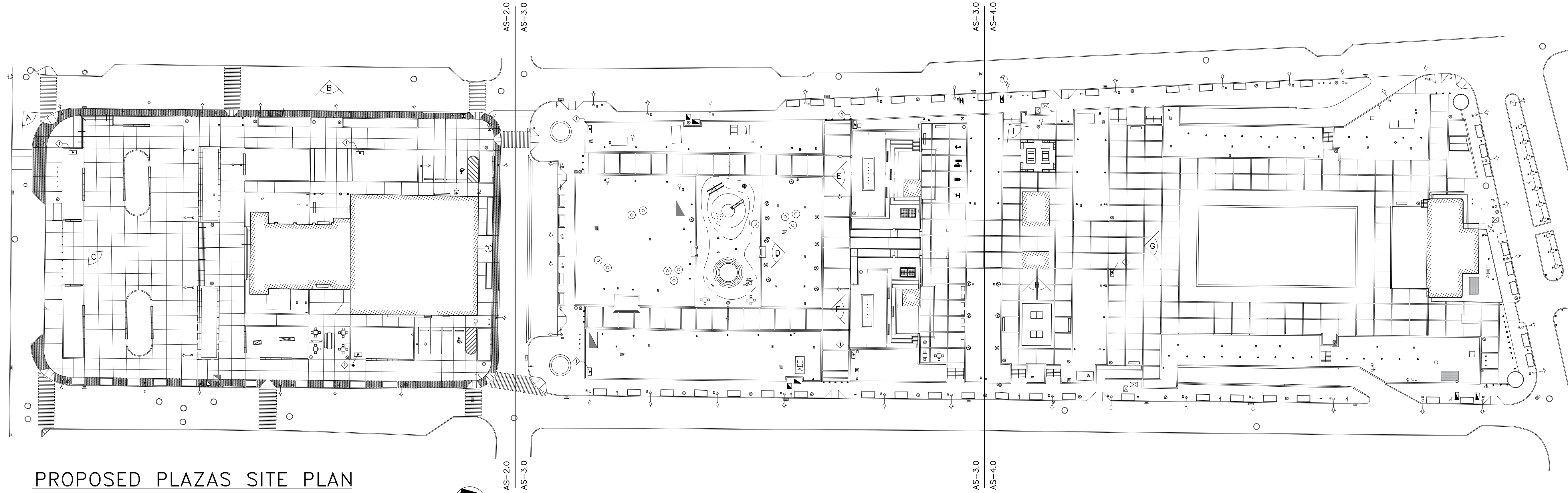
NO.	DATE	REVISION	BY	APPROVED
1	3/1/24		L.R.	L.H.

PROJECT	
DRAWING BY/CHECKED BY	
JDD	I.H.
NUMBER	TOTAL
8	62
DRAWING NUMBER	
DS-1.3	



KEY MAP

END PROJECT
AS-2.0



PROPOSED PLAZAS SITE PLAN
SCALE: 1:500

END PROJECT
AS-4.0



Ⓐ STAIR & PLANTER REMODEL VIEW



Ⓑ PLAZA NIGHT VIEW



Ⓒ PLANTER MINI RAMP VIEW



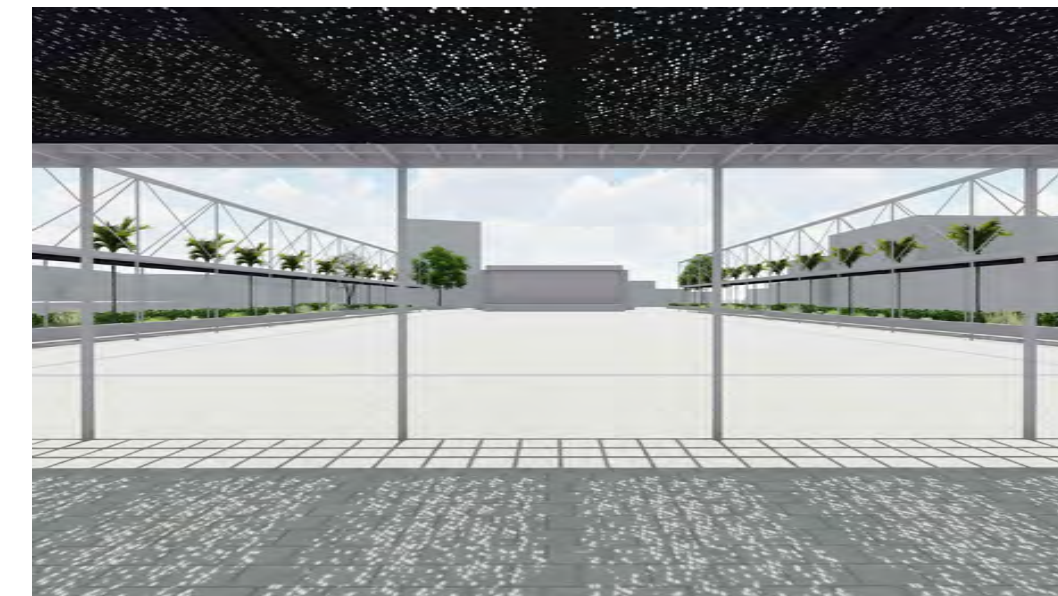
Ⓓ PLAYGROUND VIEW



Ⓔ WATER PLAZA I VIEW



Ⓕ WATER PLAZA II VIEW



Ⓒ TRELLIS AREA VIEW



Ⓗ PING-PONG AREA VIEW



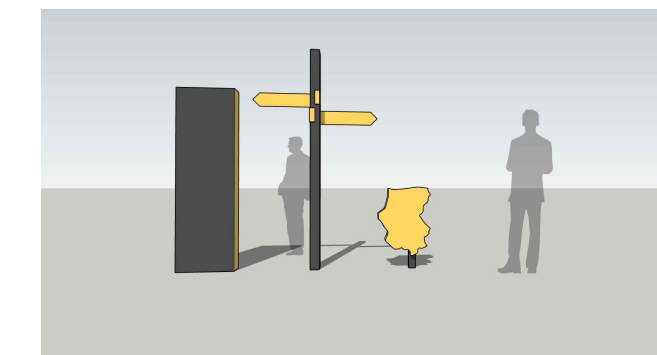
Ⓙ SOLAR WORKSTATION AREA VIEW

LEGEND:

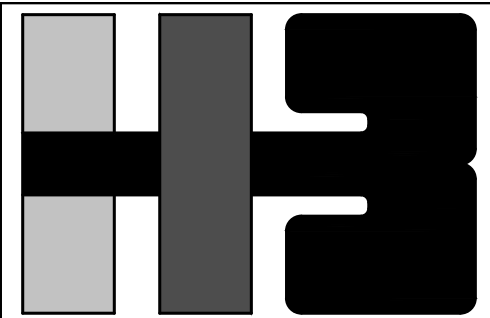
SYMBOL	DESCRIPTION
	VIEW POSITION MARKER

ANNOTATIONS:

① NEW PROJECT SIGNAGE. SEE DETAILS IN DWG AS-1.2



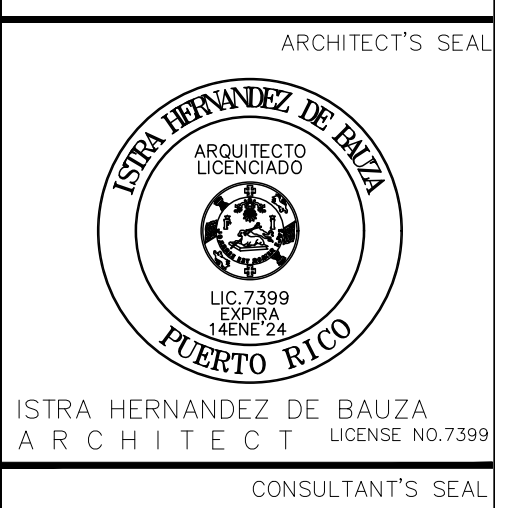
① NEW PROJECT SIGNAGE
SEE DETAILS IN DWG AS-1.2



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PROJECT
IMPROVEMENTS OF "PLAZA DE LA CONVALESCENCIA" AND "PLAZA DEL PILAR"

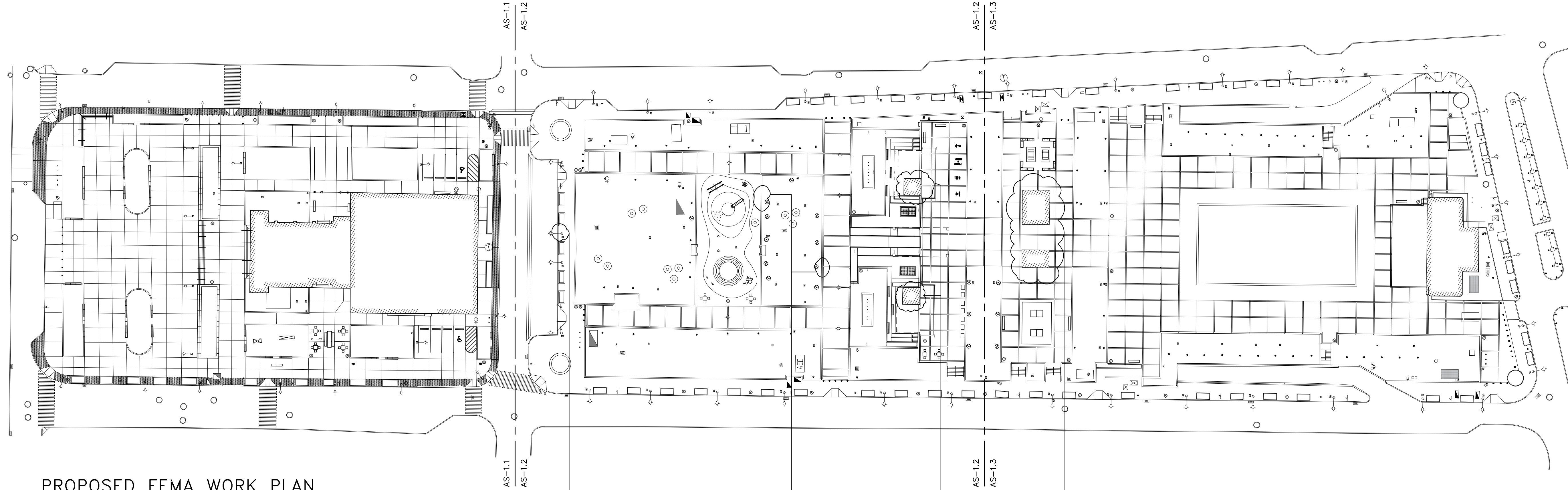
DRAWING NAME
PROPOSED SITE PLAN

COMPUTER PLOT
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DRAWING BY/CHECKED BY	
L.R.C.	I.H.
NUMBER	TOTAL
9	62
DRAWING NUMBER	
AS-1.0	

END PROJECT AS-1.1



PROPOSED FEMA WORK PLAN
SCALE: 1: 500



Damaged Light Pole

Damaged Black Marble Tile

Tower 2 & Tower 3

Building 1 & Tower 1

Applicant: Municipio de San Juan	Damage Inventory # 168306	Category G
Work Order # FIPS # 127-99127-00	Date: 08/14/2019	GPS 18.397575, -66.050685
Site Inspector: Carmen Melendez, Yohari Lopez	Damage Facility: Convalecencia Plaza and Parking	
Site: Plaza de la Convalecencia	Photo# 1	Site: Plaza de la Convalecencia
		Photo# 2
		Photo# 3
		Photo# 4

DEPARTMENT OF HOMELAND SECURITY- FEDERAL EMERGENCY MANAGEMENT AGENCY-DR PAGE 1 OF 7

Applicant: Municipio de San Juan	Damage Inventory # 168306	Category G
Work Order # FIPS # 127-99127-00	Date: 08/14/2019	GPS 18.397575, -66.050685
Site Inspector: Carmen Melendez, Yohari Lopez	Damage Facility: Convalecencia Plaza and Parking	
Component Description: Building 1 // Elevator	Photo# 5	Component Description: Building 1 // Elevator
		Photo# 6
		Photo# 7
		Photo# 8

DEPARTMENT OF HOMELAND SECURITY- FEDERAL EMERGENCY MANAGEMENT AGENCY-DR PAGE 2 OF 7

Applicant: Municipio de San Juan	Damage Inventory # 168306	Category G
Work Order # FIPS # 127-99127-00	Date: 08/14/2019	GPS 18.397575, -66.050685
Site Inspector: Carmen Melendez, Yohari Lopez	Damage Facility: Convalecencia Plaza and Parking	
Component Description: Building 1	Photo# 9	Component Description: Building 1
		Photo# 10
		Photo# 11
		Photo# 12

DEPARTMENT OF HOMELAND SECURITY- FEDERAL EMERGENCY MANAGEMENT AGENCY-DR PAGE 3 OF 7

Applicant: Municipio de San Juan	Damage Inventory # 168306	Category G
Work Order # FIPS # 127-99127-00	Date: 08/14/2019	GPS 18.397575, -66.050685
Site Inspector: Carmen Melendez, Yohari Lopez	Damage Facility: Convalecencia Plaza and Parking	
Component Description: Building 1	Photo# 13	Component Description: Building 1
		Photo# 14
		Photo# 15
		Photo# 16

DEPARTMENT OF HOMELAND SECURITY- FEDERAL EMERGENCY MANAGEMENT AGENCY-DR PAGE 4 OF 7

Applicant: Municipio de San Juan	Damage Inventory # 168306	Category G
Work Order # FIPS # 127-99127-00	Date: 08/14/2019	GPS 18.397575, -66.050685
Site Inspector: Carmen Melendez, Yohari Lopez	Damage Facility: Convalecencia Plaza and Parking	
Component Description: Tower 2	Photo# 17	Component Description: Tower 2
		Photo# 18
		Photo# 19
		Photo# 20

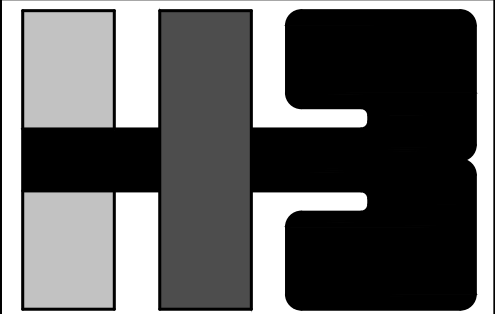
DEPARTMENT OF HOMELAND SECURITY- FEDERAL EMERGENCY MANAGEMENT AGENCY-DR PAGE 5 OF 7

Applicant: Municipio de San Juan	Damage Inventory # 168306	Category G
Work Order # FIPS # 127-99127-00	Date: 08/14/2019	GPS 18.397575, -66.050685
Site Inspector: Carmen Melendez, Yohari Lopez	Damage Facility: Convalecencia Plaza and Parking	
Component Description: Playground // Seawall area	Photo# 21	Component Description: Playground // Seawall area
		Photo# 22
		Photo# 23
		Photo# 24

DEPARTMENT OF HOMELAND SECURITY- FEDERAL EMERGENCY MANAGEMENT AGENCY-DR PAGE 6 OF 7

Applicant: Municipio de San Juan	Damage Inventory # 168306	Category G
Work Order # FIPS # 127-99127-00	Date: 08/14/2019	GPS 18.397575, -66.050685
Site Inspector: Carmen Melendez, Yohari Lopez	Damage Facility: Convalecencia Plaza and Parking	
Component Description: Ornamental pole missing w/ 2.5h diameter lightning	Photo# 25	

DEPARTMENT OF HOMELAND SECURITY- FEDERAL EMERGENCY MANAGEMENT AGENCY-DR PAGE 7 OF 7



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PROJECT
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DRAWING NAME

PROPOSED FEMA WORK PLAN

COMPUTER PLOT
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NO.	DATE	REVISION	BY	APPROVED

PROJECT

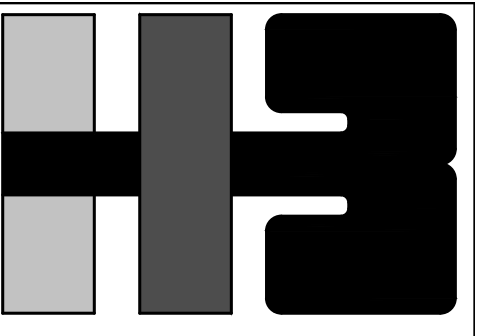
DRAWING BY/CHECKED BY

JDD I.H.

NUMBER	TOTAL
10	62

DRAWING NUMBER

AS-1.1



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PSC, ARCHITECTS**

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OF SAN JUAN

PROJECT

IMPROVEMENTS TO "PLAZA
DE LA CONVALESCENCIA"
AND "PLAZA DEL PILAR"

DRAWING NAME

WAYFINDING SIGNAGE PLAN

COMPUTER PLOT

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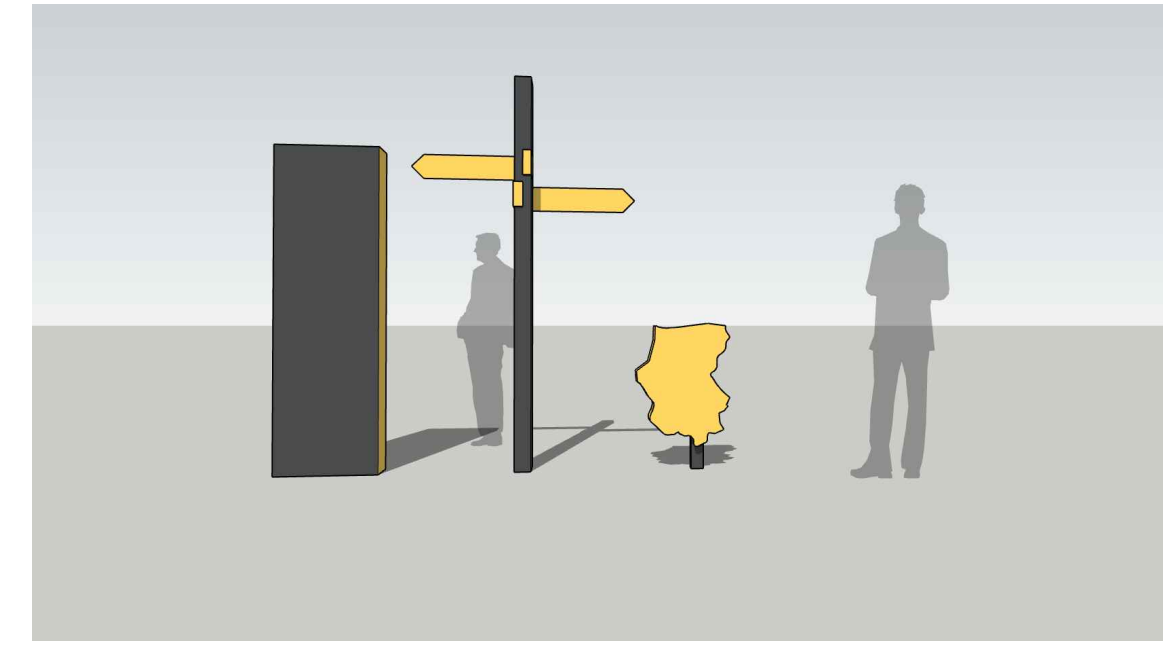
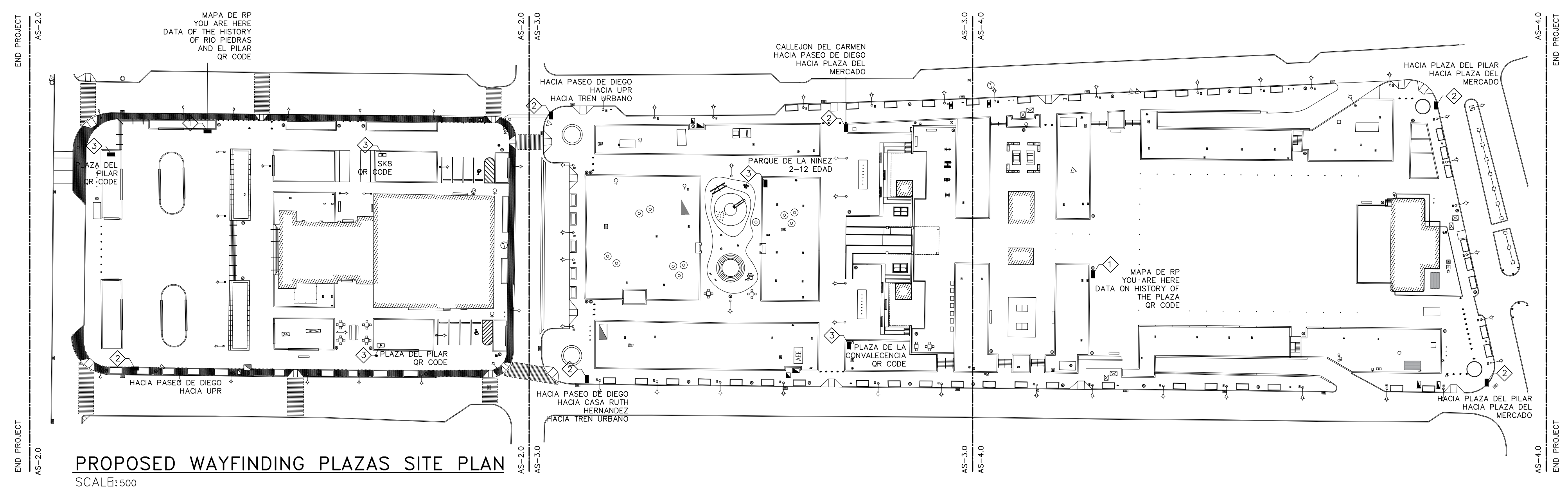
jdd I.H.

NUMBER TOTAL

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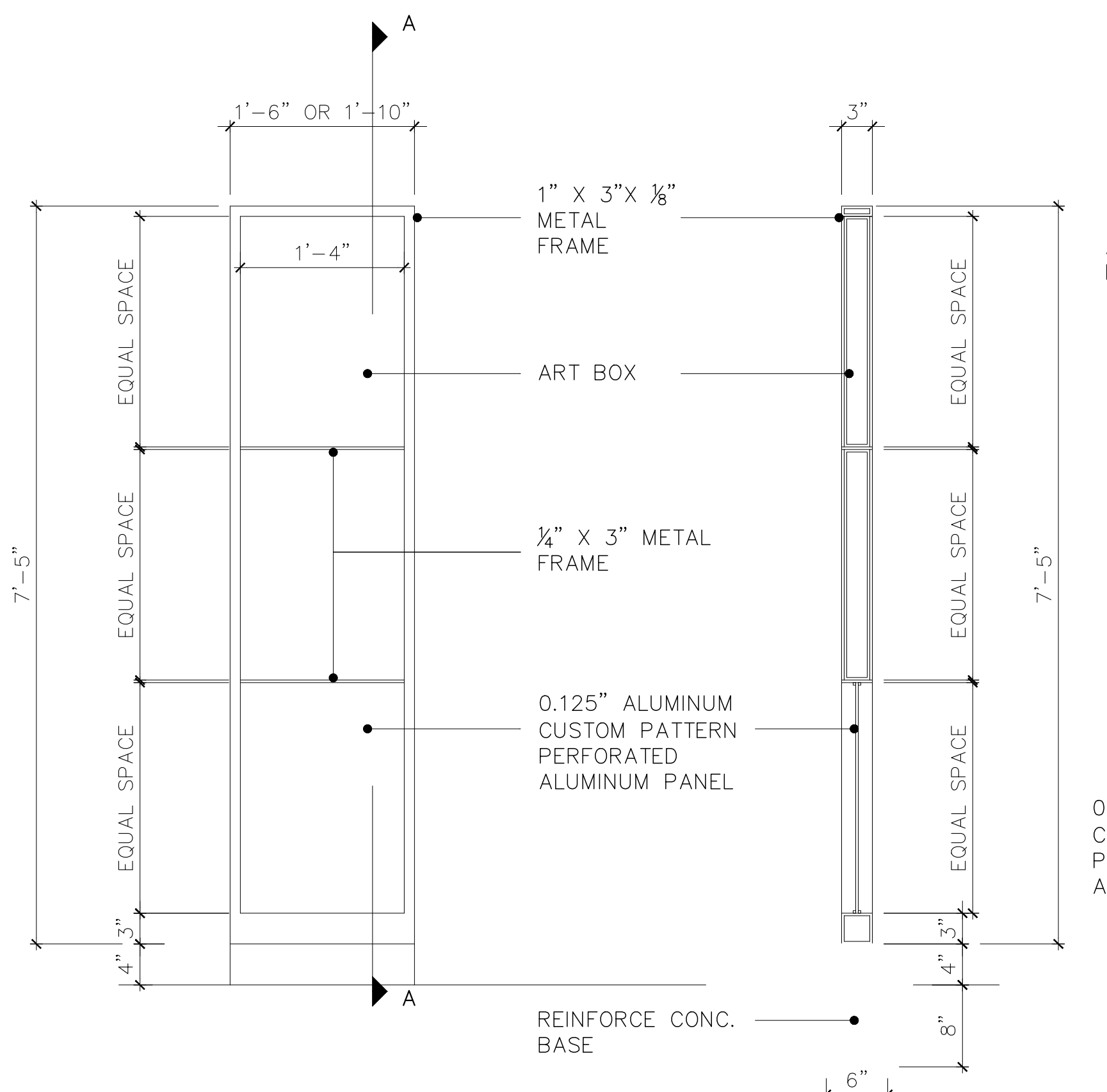
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NEW PROJECT SIGNAGE

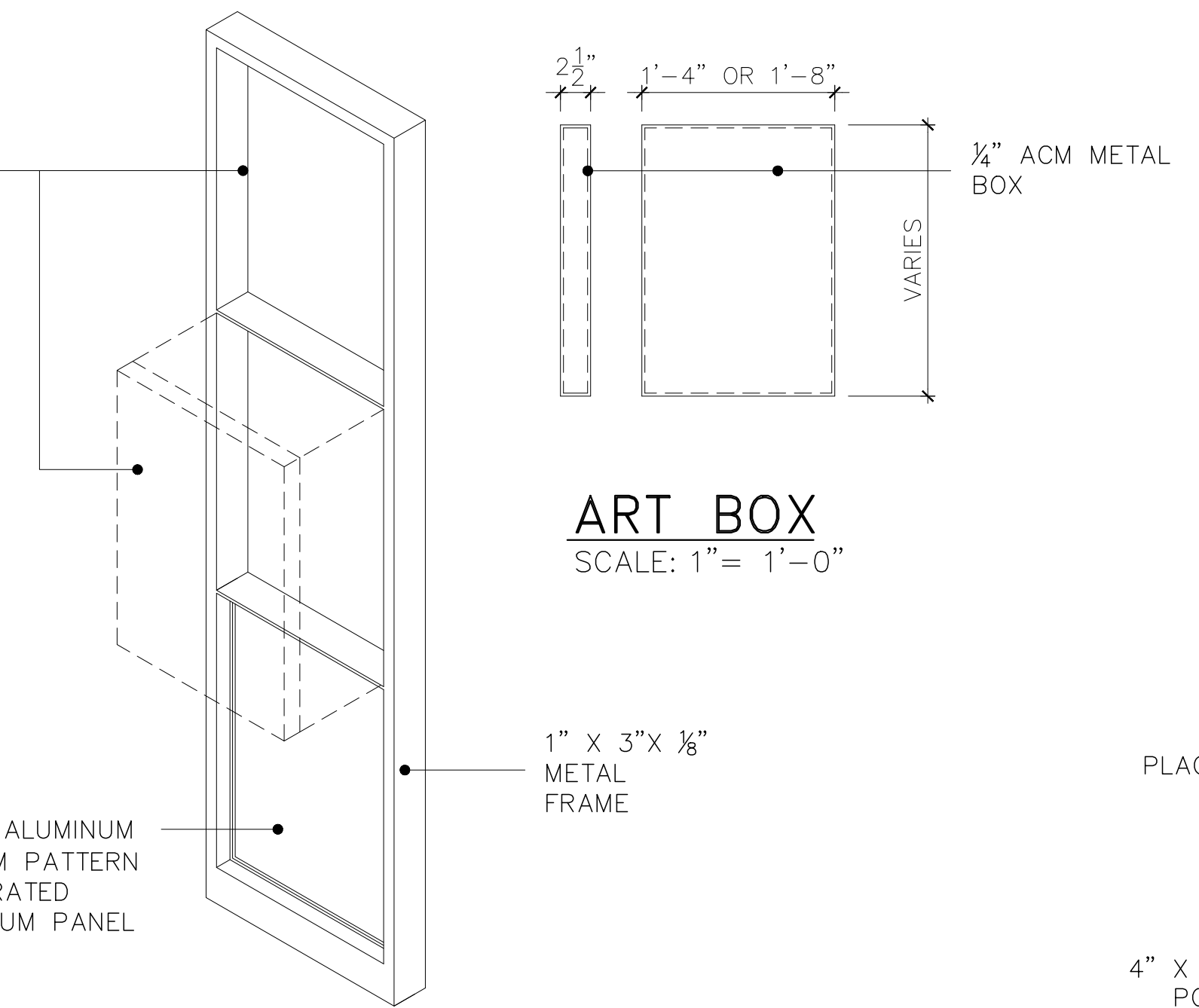
- NOTE:
- SEE SECTION 104330 "EXTERIOR SIGNAGE" OF TECH. SPECS FOR SIZES, MATERIAL AND INSTRUCTIONS OF SIGNAGE.
 - GRAPHICS AND COPY WRITING BY MASJ.
 - CONTRACTOR MUST SUBMIT SIGNAGE FABRICATION SHOP DRAWINGS FOR ARCHITECT APPROVAL AND COLOR SELECTION BEFORE SIGNAGE CONSTRUCTION.



1 NEW SIGNAGE TYPE 1
SCALE: 1" = 1'-0"

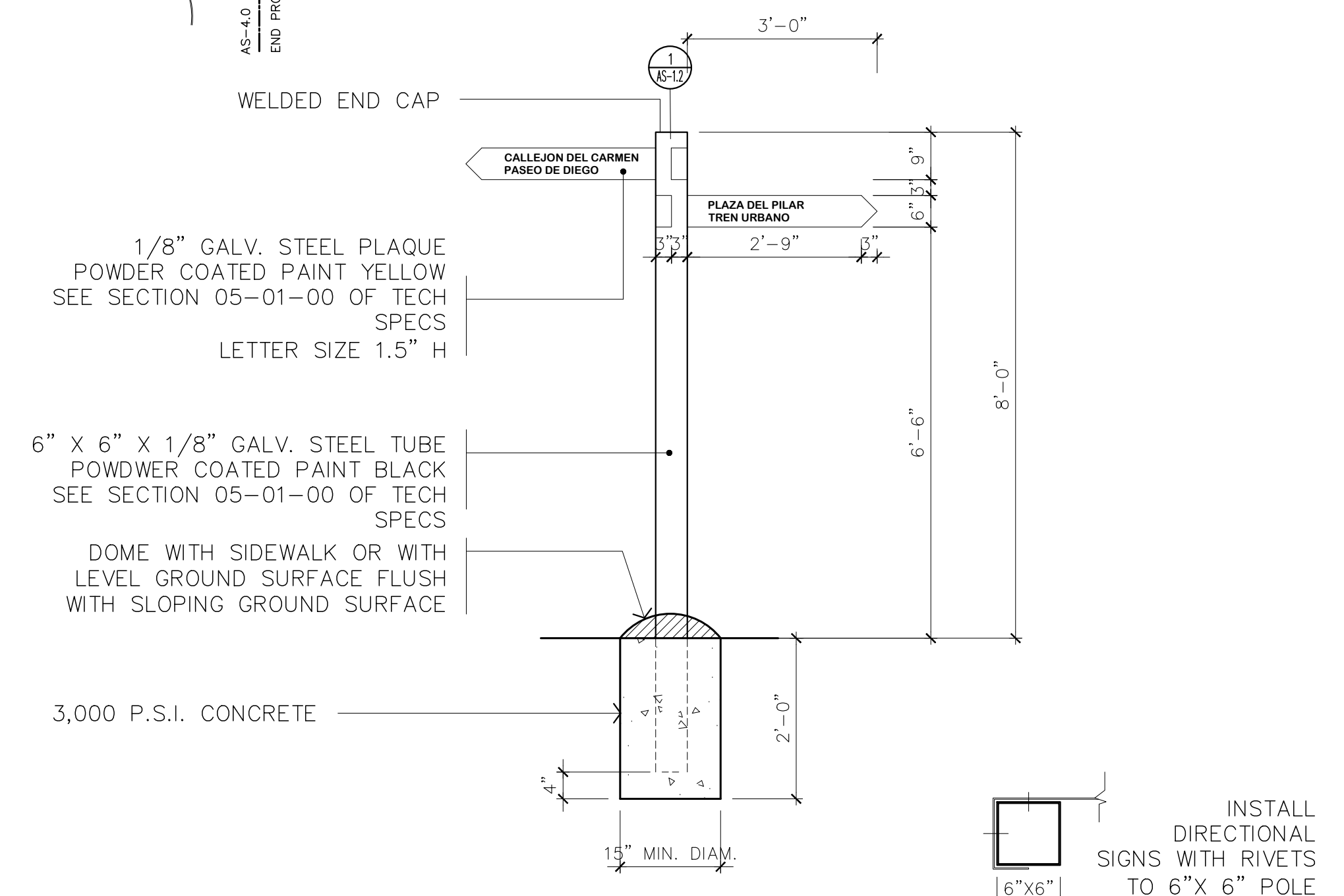
SECTION "A-A"
SCALE: 1" = 1'-0"

SIGNAGE FOR RIO PIEDRAS GRAPHIC MAP,
YOU ARE HERE LOCATION AND GENERAL
INFORMATION



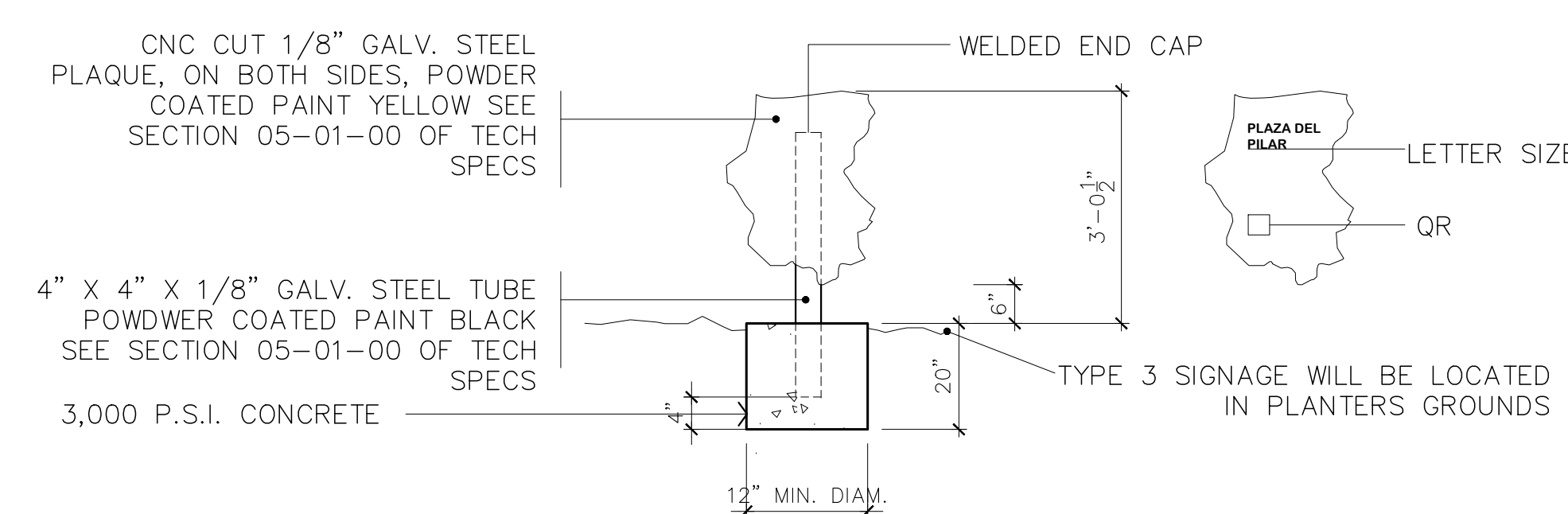
NEW SIGNAGE

TYPE 1 ISOMETRIC
SCALE: 1" = 1'-0"

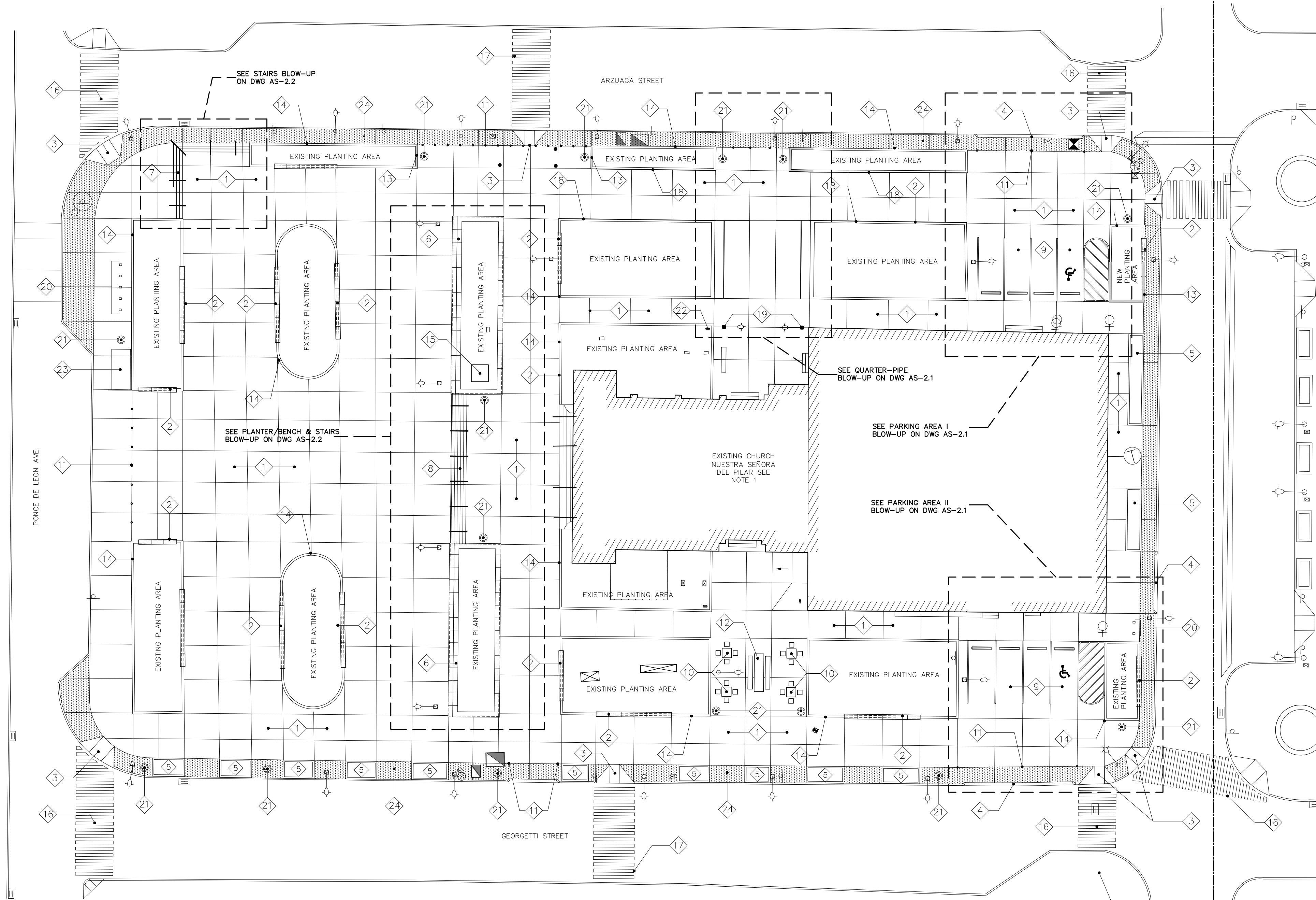


2 NEW SIGNAGE TYPE 2
SCALE: NTS
SIGNAGE FOR DIRECTION OF STREETS, ALLEYS
AND IMPORTANT LANDMARKS LIKE "LA PLAZA
DEL MERCADO".

DETAIL
SCALE: NTS



3 NEW SIGNAGE TYPE 3
SCALE: NTS
SIGNAGE FOR SPECIFIC PLACE NAME. FOR
EXAMPLE "LA PLAZA DE LA CONVALESCENCIA"



PLAZA DEL PILAR PROPOSED SITE PLAN

SCALE: 1: 250

LEGEND:

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	ANNOTATION MARKER		NEW EXPOSED AGGREGATE PAVEMENT
	DETAIL MARKER		
	SECTION MARKER		
	NEW TRASH RECEPTACLE		
	NEW BIKE RACKS		
	NEW BOLLARDS		
	NEW DOG WASTE STATION		

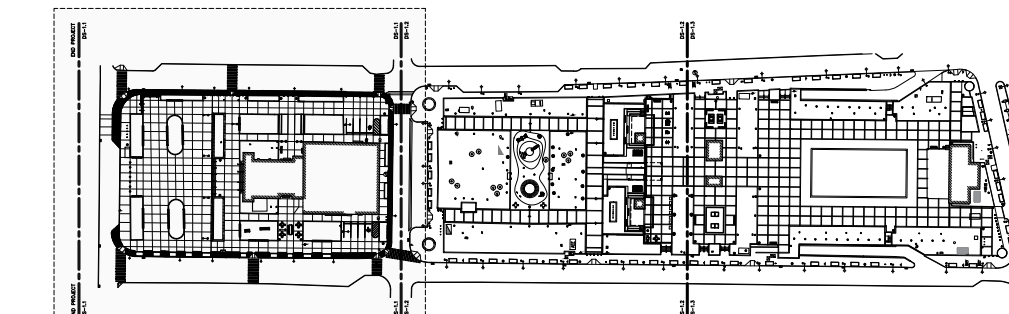
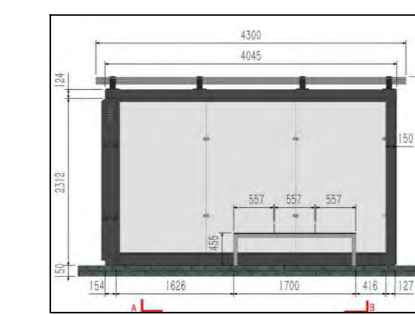
ANNOTATIONS:

- 1 NEW CONCRETE PAVEMENT WITH BROOM FINISH.
- 2 NEW PRE-FABRICATED CONCRETE BENCH FOR EXISTING PLANTER LOW WALL. SEE DETAILS ON DWG AS-2.2
- 3 NEW CONCRETE HANDICAPPED RAMP. SEE DETAILS ON DWG AS-2.3
- 4 NEW CONCRETE MOUNTABLE CURB. SEE DETAILS ON DWG AS-2.3
- 5 NEW CONCRETE PLANTER. SEE DETAILS ON DWG AS-2.2
- 6 NEW PRECAST CONCRETE BENCH/PLANTER. SEE DETAILS ON DWG AS-2.2
- 7 NEW STAIRS. SEE DETAILS ON DWG AS-2.2
- 8 NEW CONCRETE STAIRS. SEE DETAILS ON DWG AS-2.2

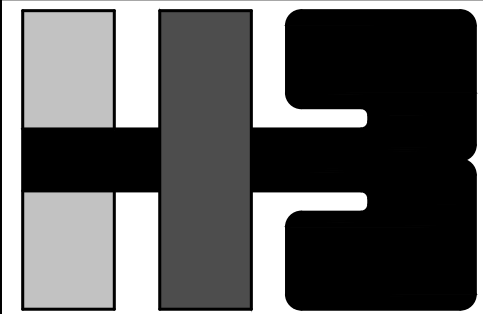
NOTES:

- EXISTING CHURCH NUESTRA SEÑORA DEL PILAR IS NOT PART OF THE SCOPE OF WORK, BUT ANY DAMAGE INFLECTED BY CONSTRUCTION WORK WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR WHO MUST REPAIR TO OWNER'S SATISFACTION.
- ALL EXISTING LIGHTING POSTS & FIXTURES TO REMAIN, UNLESS SPECIFICALLY NOTED IN PLANS.
- ALL EXISTING CURB TO REMAIN, UNLESS SPECIFICALLY NOTED IN PLANS. SEE SITE CIVIL PLANS FOR MORE DETAILS.
- PREVIOUS TO PROJECT DEMOLITIONS OR EXCAVATIONS THE CONTRACTOR MUST LOCATE AND IDENTIFY UNDERGROUND UTILITIES TO AVOID DAMAGES OR INTERRUPTIONS IN SERVICES. ANY DAMAGES DUE TO THIS DEMOLITION OR EXCAVATION WORK ARE TO BE REPAIRED AT HIS OWN COST.

- 9 NEW PARKING SPACES. SEE BLOW-UP ON DWG AS-2.3
- 10 NEW DOMINO TABLES EQUAL OR APPROVE EQUAL TO 713 PRECAST, LLC MODEL TE-6
- 11 NEW BOLLARDS. SEE DETAILS IN DWG AS-2.3
- 12 NEW CONCRETE DINNER TABLE APPROVE EQUAL TO 713 PRECAST, LLC MODEL TE-4
- 13 NEW PLANTER PORTION. SEE DWG ---
- 14 EXISTING PLANTER TO BE CLEANED, REPAIRED & REPAINTED.
- 15 NEW LOCATION FOR EXISTING SCULPTURE. SEE DWG ---
- 16 REPAINT EXISTING PEDESTRIAN CROSSING LINES. FOR DETAILS SEE TECH SPEC SECTION 07-18-00 (TRAFFIC COATINGS)
- 17 NEW PEDESTRIAN CROSSING LINES. FOR DETAILS SEE TECH SPEC SECTION 07-18-00 (TRAFFIC COATINGS)
- 18 NEW LOW-WALL EXTENSION WITH GALVANIZED STEEL CHANNEL FOR SKATEBOARDING
- 19 EXISTING LIGHT POLES IN NEW LOCATION
- 20 NEW BIKE RACKS. SEE DETAILS ON DWG AS-2.3
- 21 NEW TRASH RECEPTACLE SEE DETAILS IN DWG AS-2.3
- 22 NEW DOG TRASH RECEPTACLE. SEE DETAILS ON DWG AS-2.3
- 23 NEW BUS STOP BY MASJ EQUAL OR APPROVE EQUAL TO SELECTED SPIDER MODEL.
- 24 NEW EXPOSED AGGREGATE PAVEMENT. SEE SECTION 03-53-00 (EXPOSED AGGREGATE) OF TECH. SPECS.



KEY MAP



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CLIENT
MANAGER
DEPT. OF URBAN DESIGN AND PROJECT DEVELOPMENT, MASJ.

OWNER
AUTONOMOUS MUNICIPALITY OF SAN JUAN

PROJECT
IMPROVEMENTS OF "PLAZA DE LA CONVALESCENCIA" AND "PLAZA DEL PILAR"

DRAWING NAME
PROPOSED SITE PLAN (FIRST PORTION)

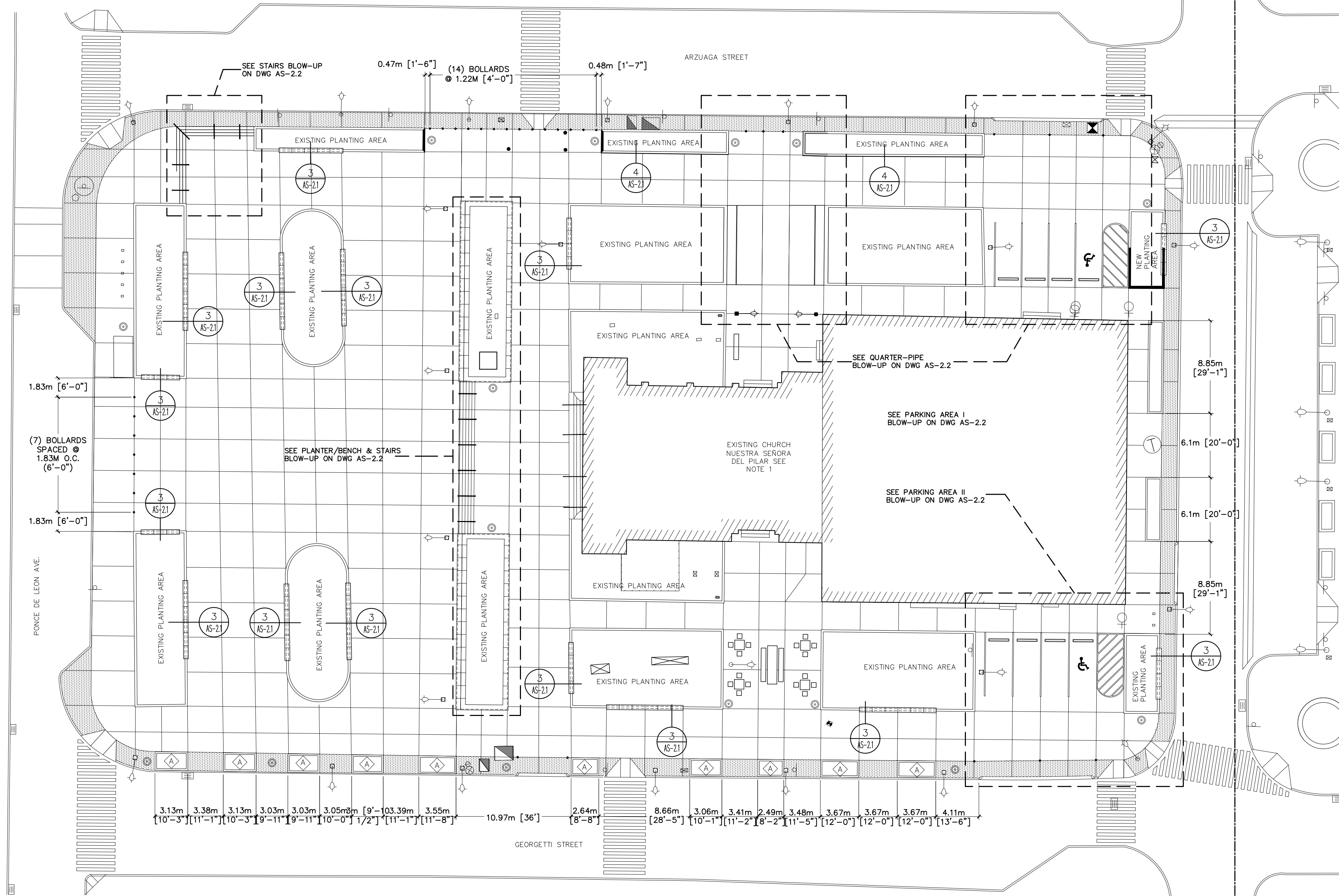
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PROJECT
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LRC I.H.

NUMBER	TOTAL
12	62

DRAWING NUMBER
AS-2.0



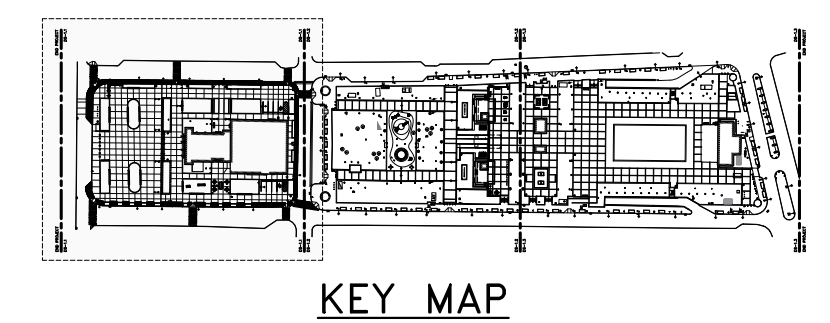
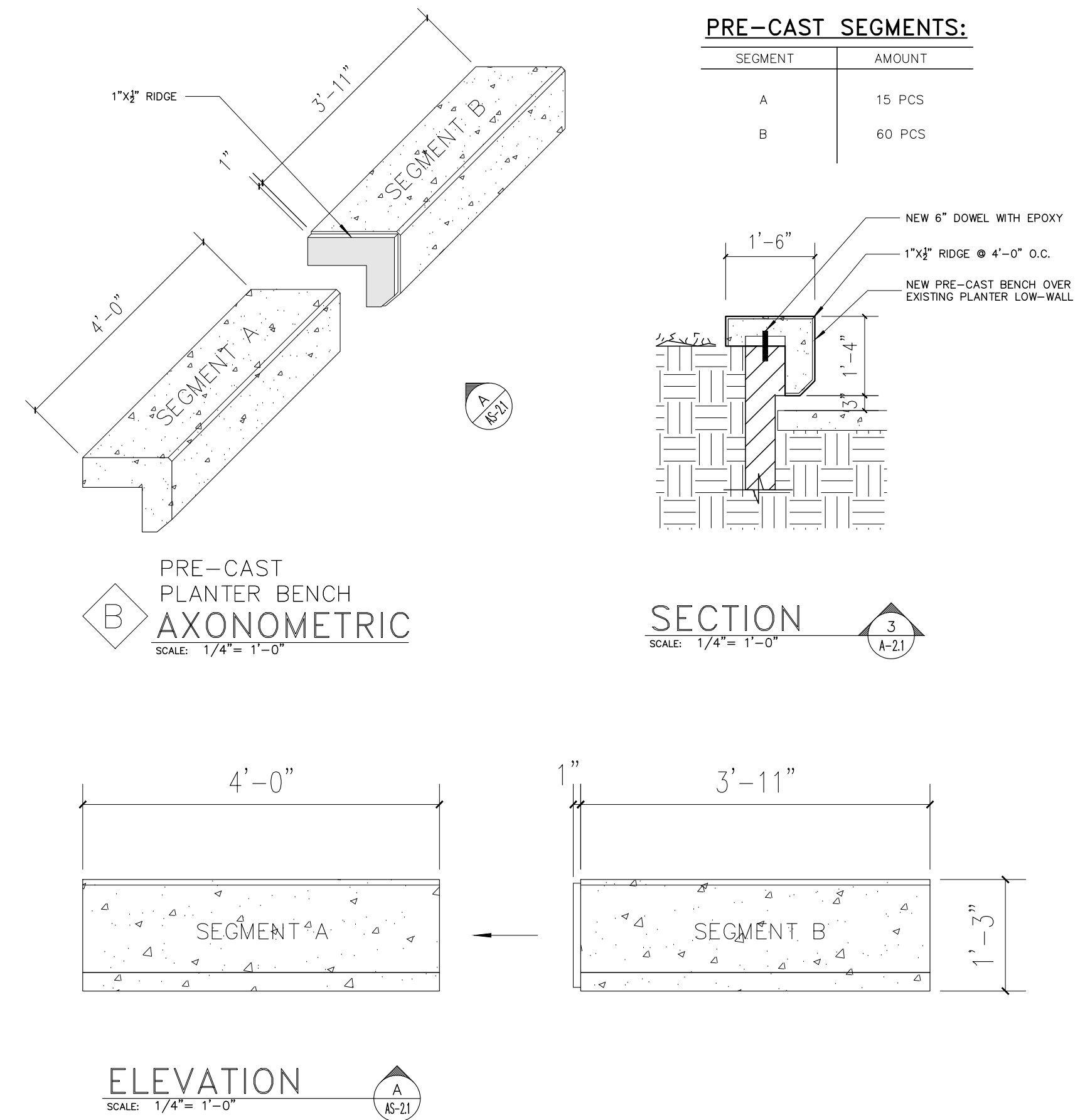
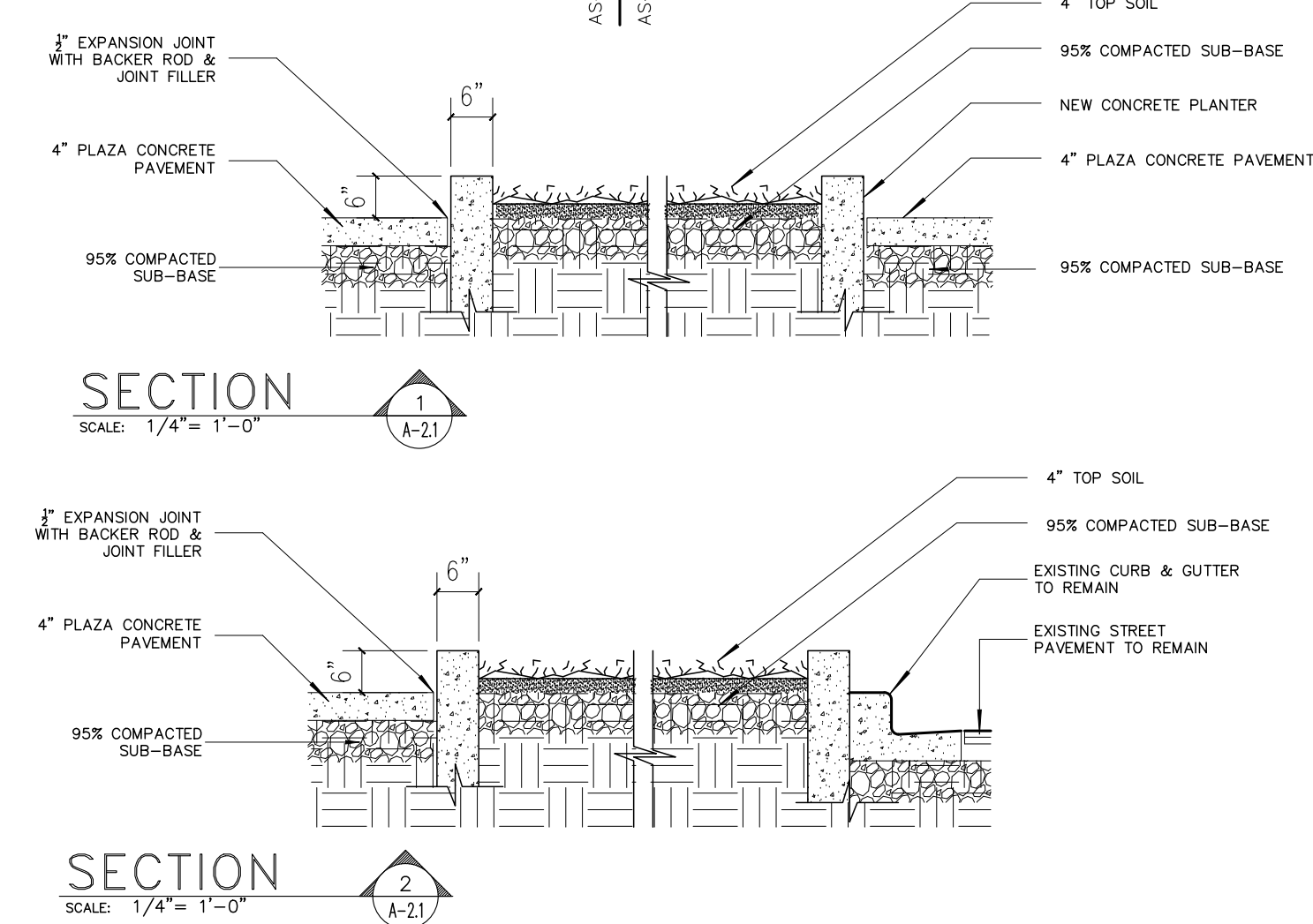
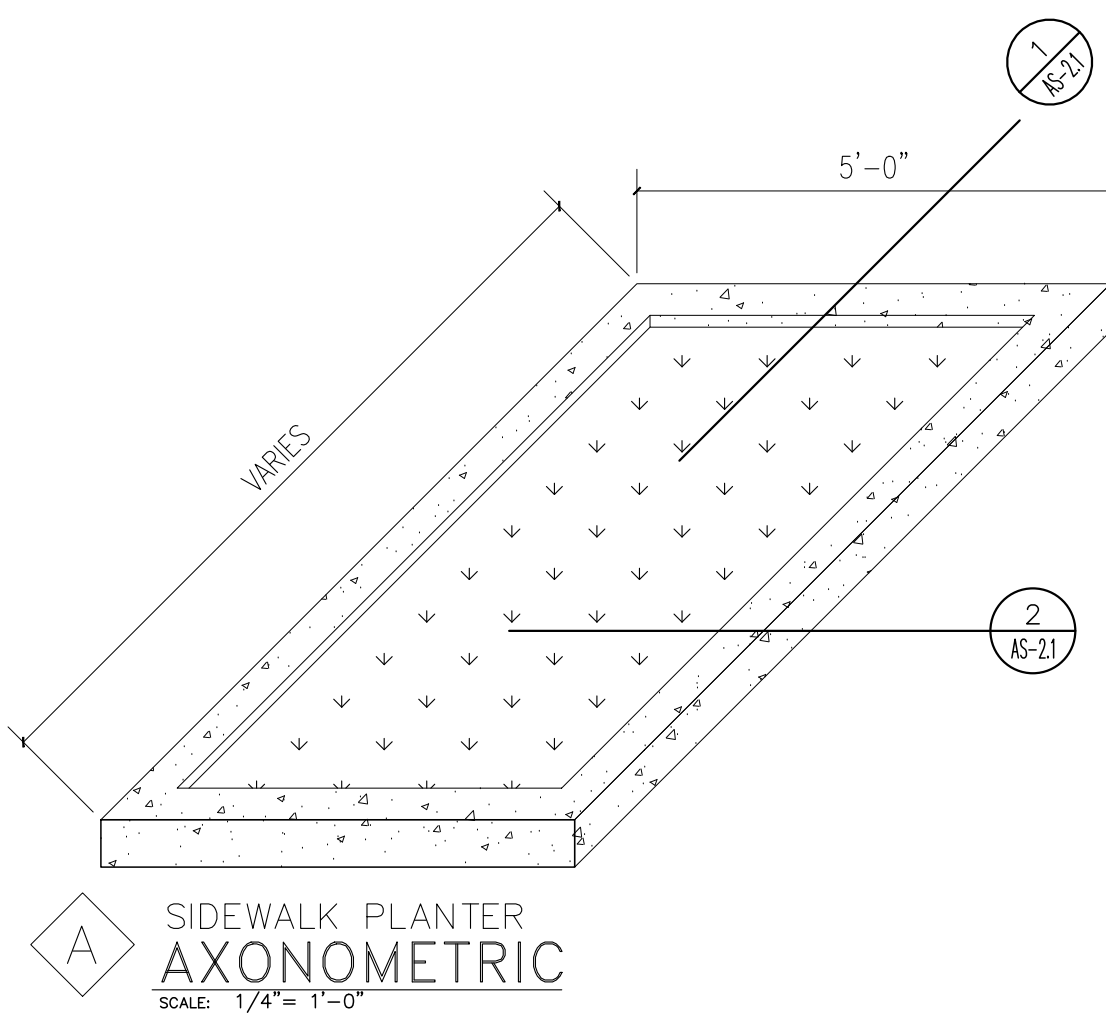
PLAZA DEL PILAR PROPOSED SITE PLAN
SCALE: 1: 250

LEGEND:

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	ANNOTATION MARKER		NEW EXPOSED AGGREGATE PAVEMENT
	DETAIL MARKER		
	SECTION MARKER		
	NEW TRASH RECEPTACLE		
	NEW BIKE RACKS		
	NEW BOLLARDS		
	NEW DOG WASTE STATION		

NOTES:

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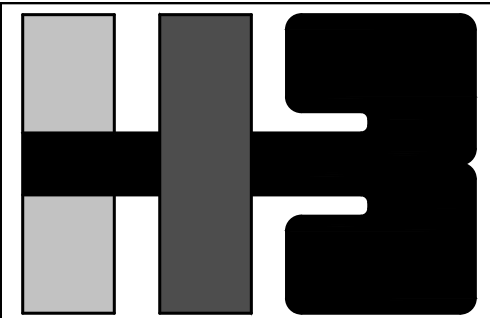
DRAWING NAME

PROPOSED SITE PLAN (FIRST PORTION)

COMPUTER PLOT
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NO.	DATE	REVISION	BY	APPROVED
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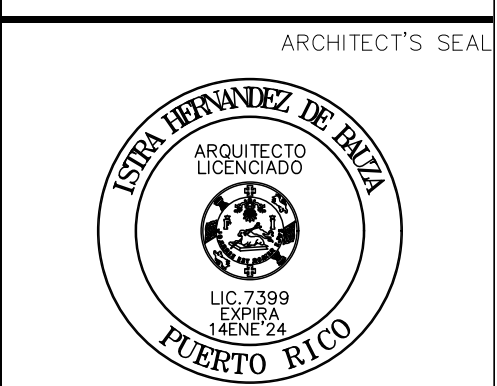
PROJECT	
DRAWING BY/CHECKED BY	
LRC	I.H.
NUMBER	TOTAL
13	62
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DRAWING NAME
 BLOW-UP PLANS, SECTIONS & DETAILS

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L.R.	I.H.

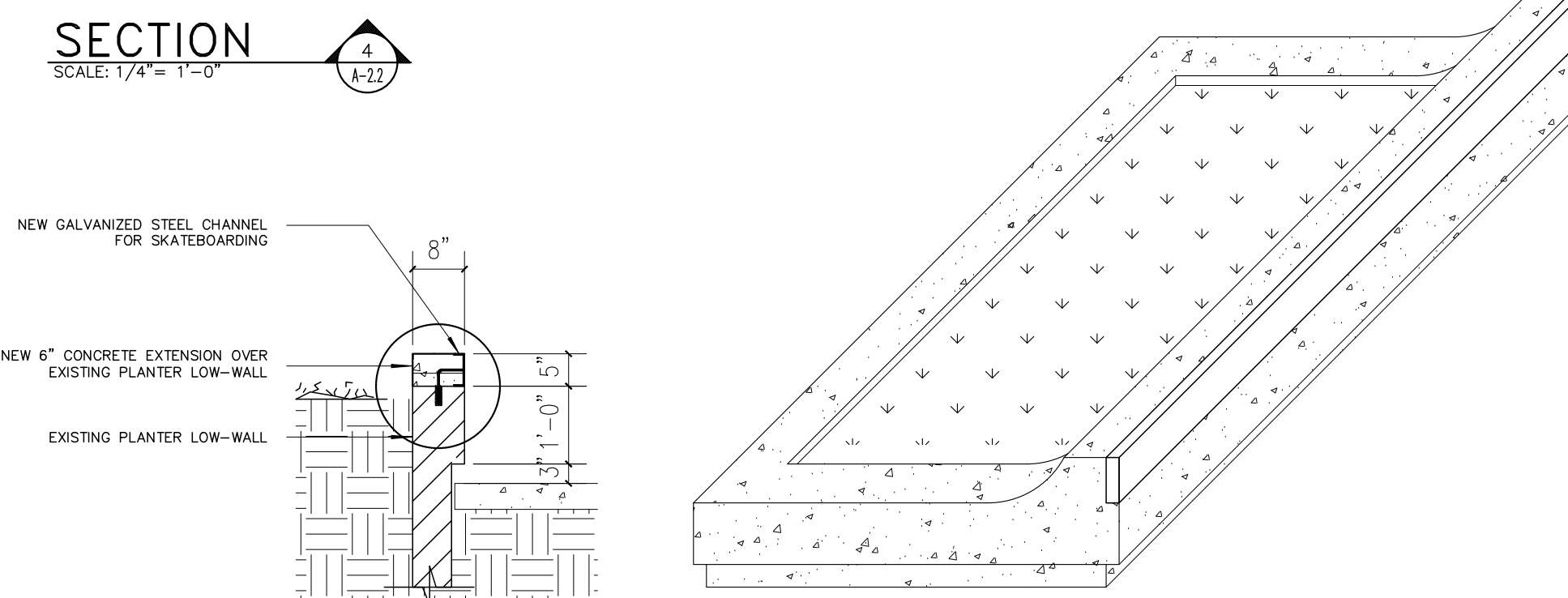
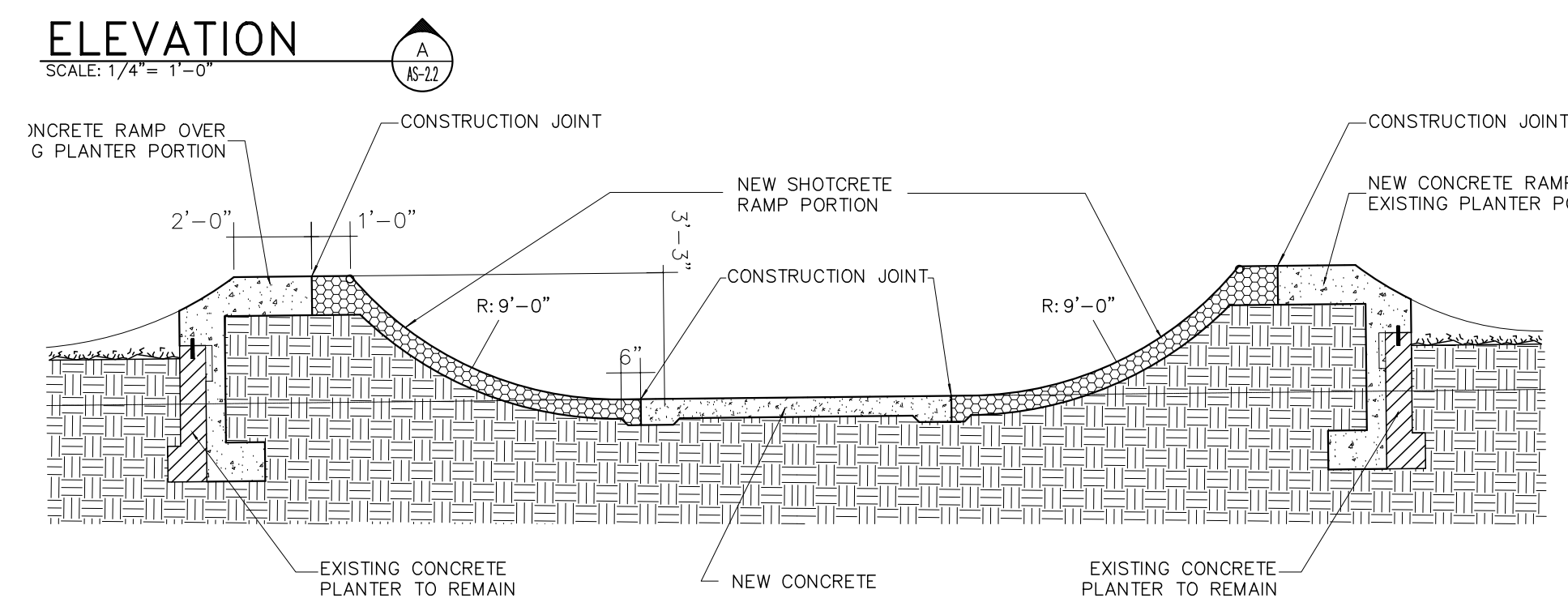
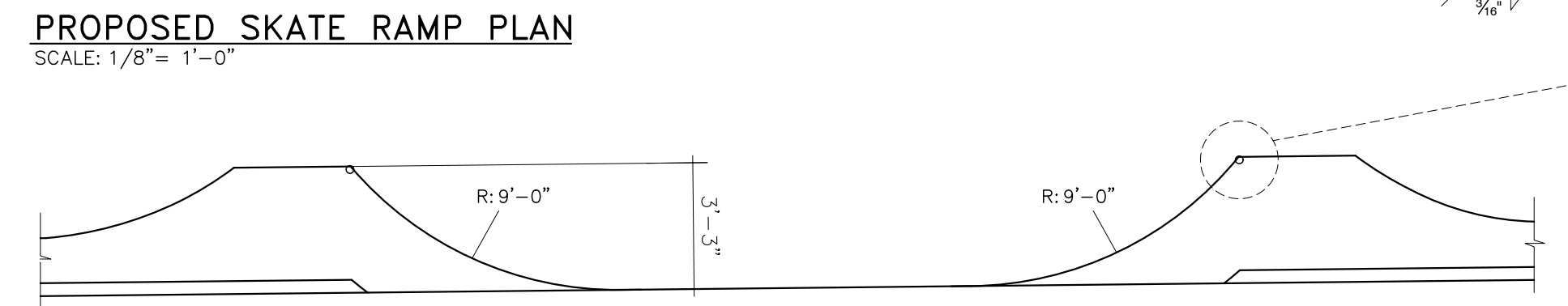
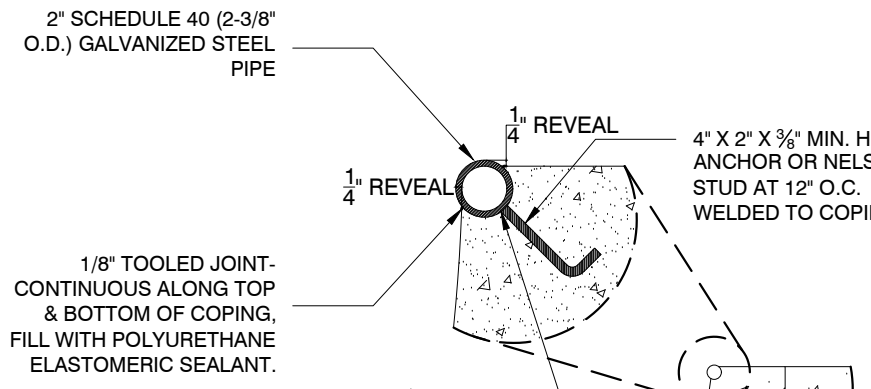
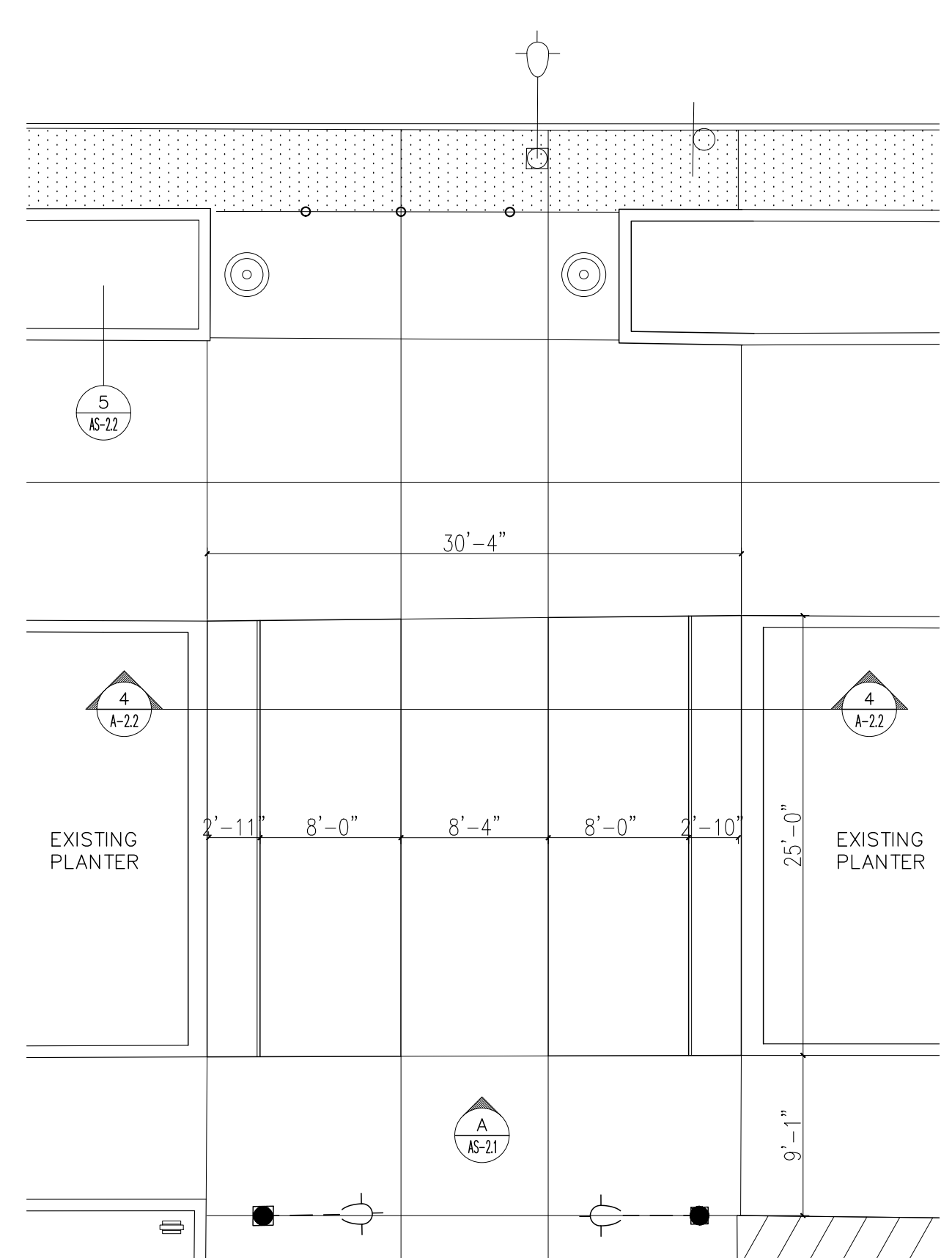
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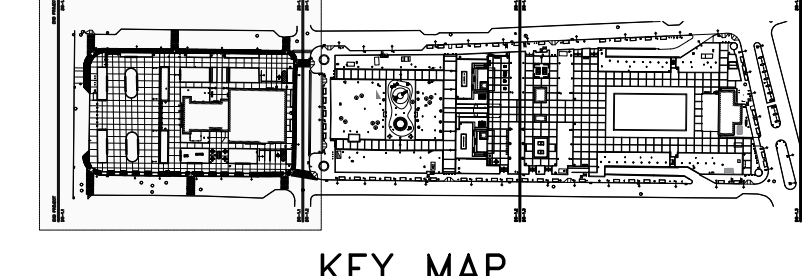
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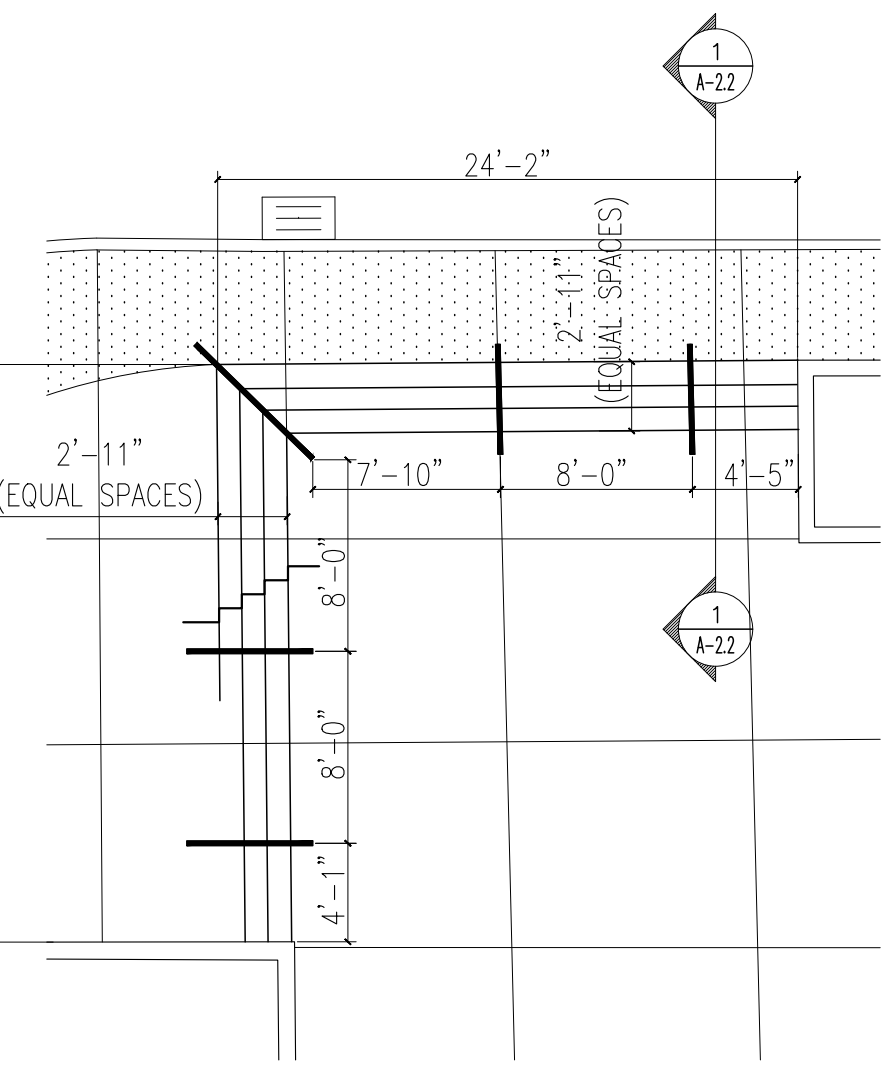
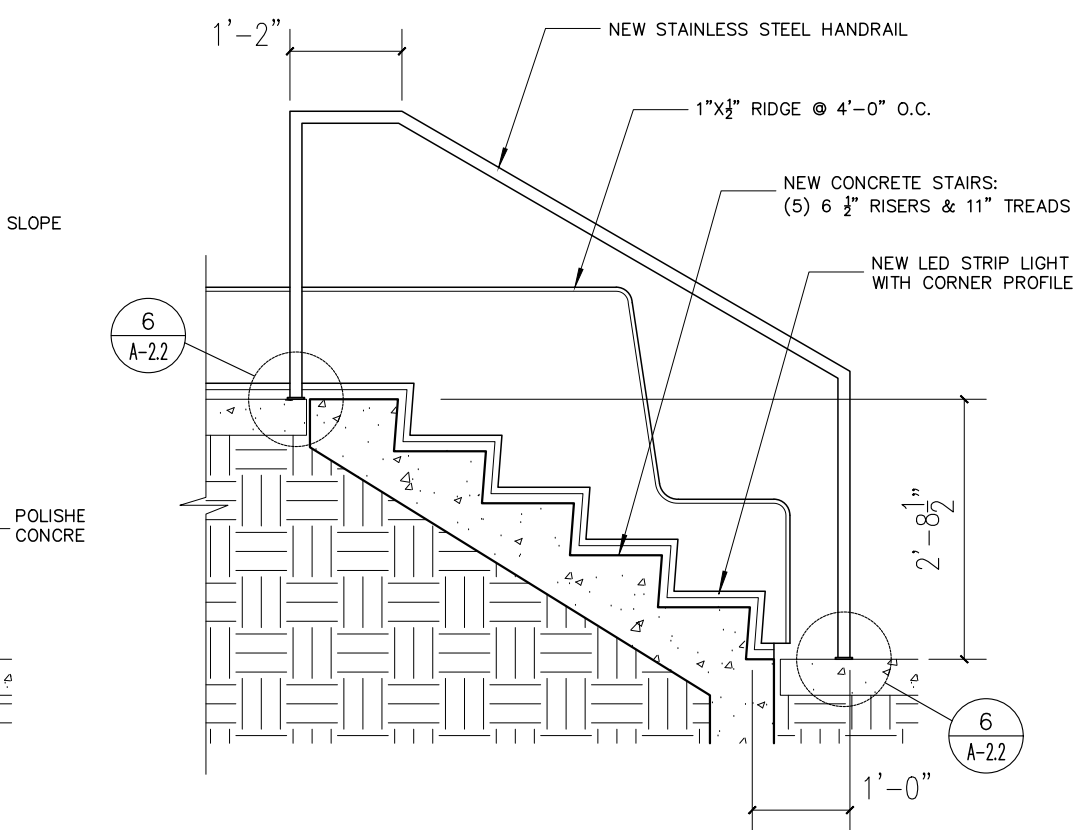
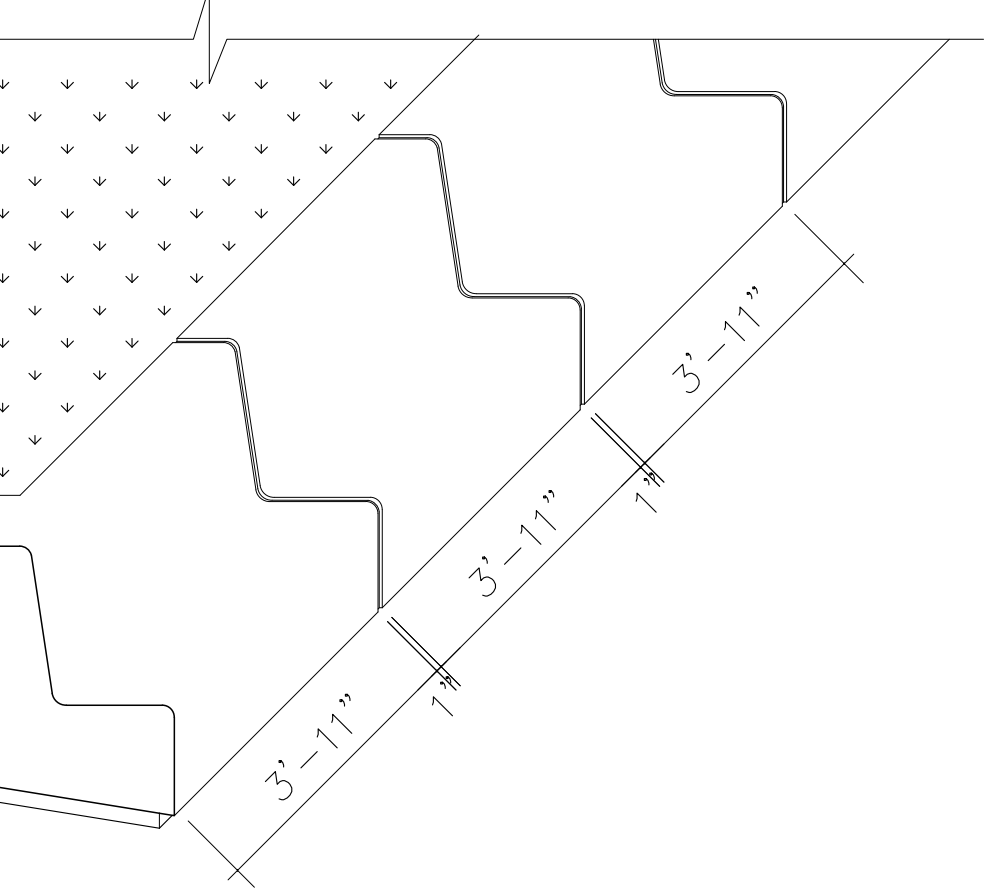
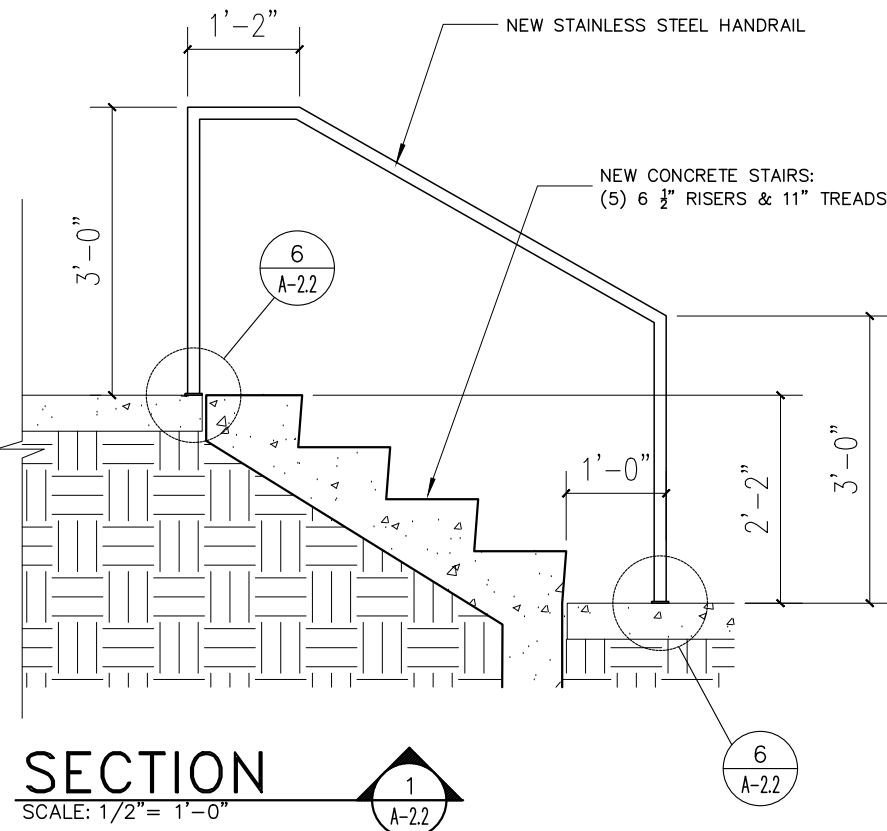
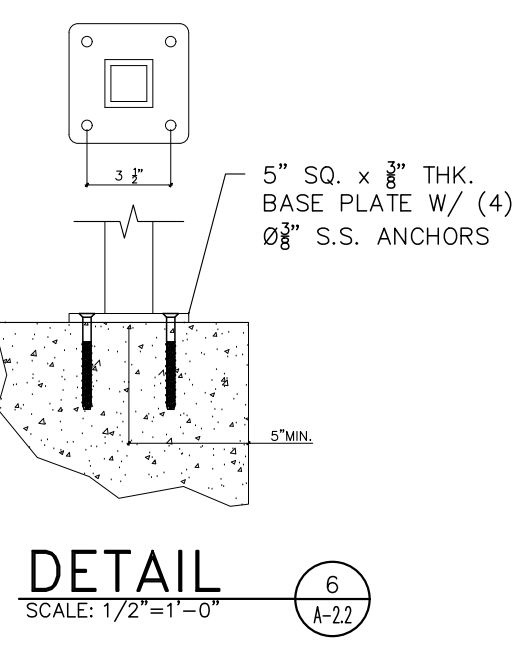
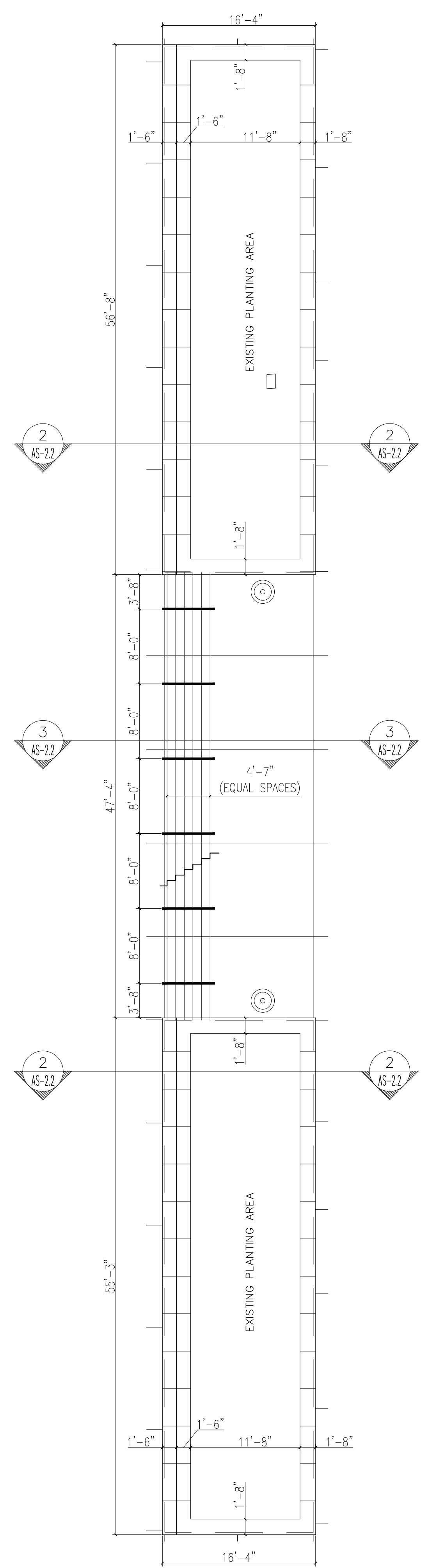
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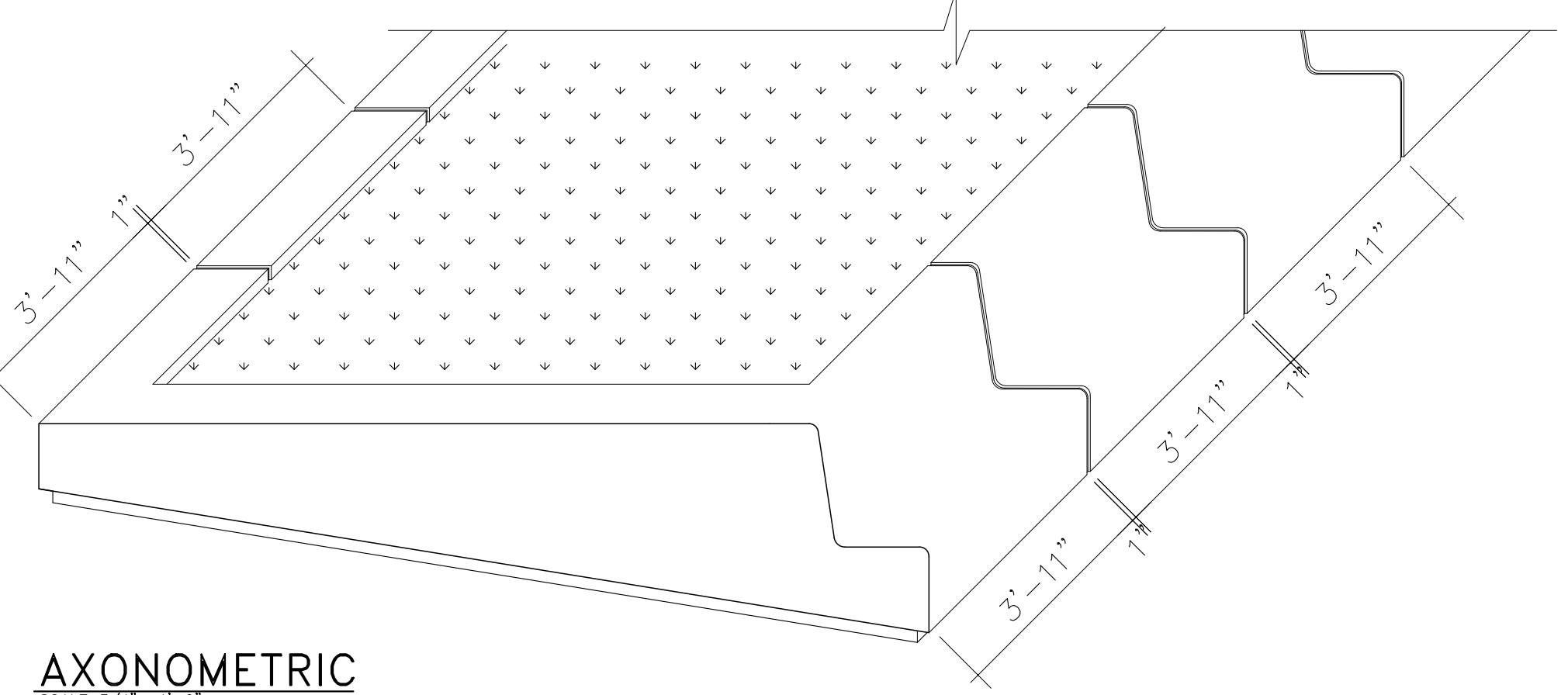
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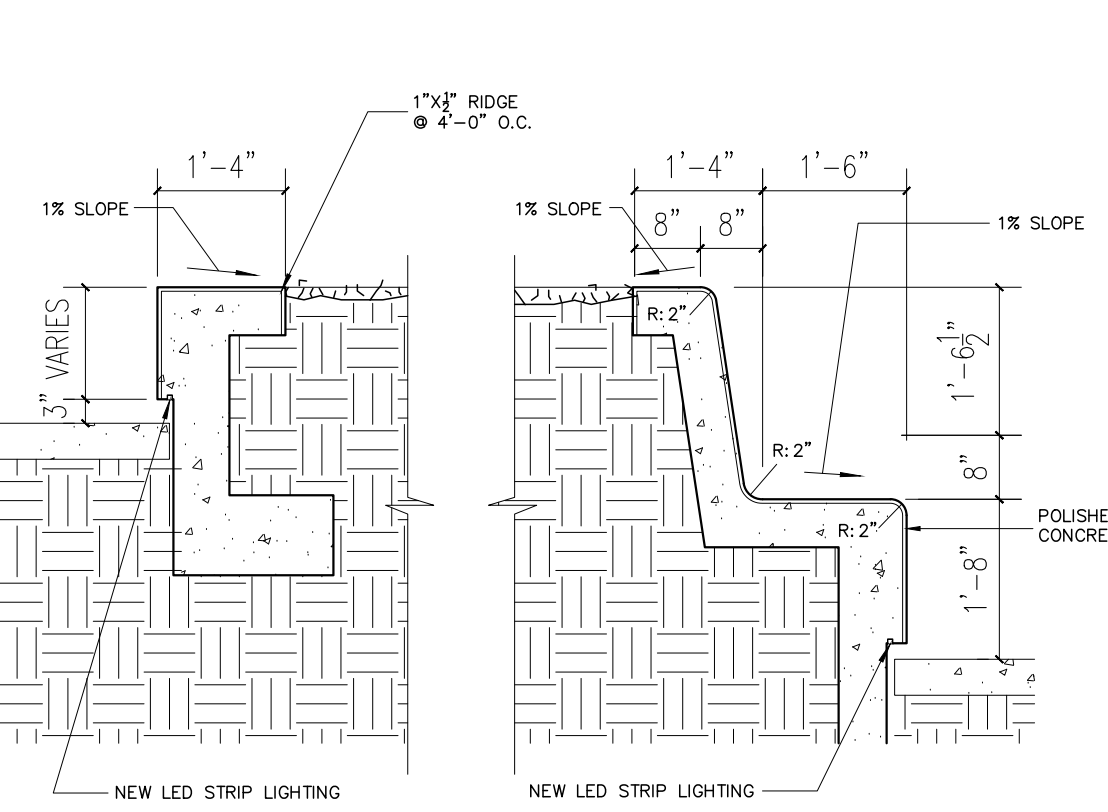
* NOTE: FOR ALL NEW CONCRETE WORK, PLEASE REFER TO STRUCTURAL DWG'S IN SECTION S-1.0 TO S-2.2



PROPOSED STAIR RENOVATION PLAN
 SCALE: 1/8" = 1'-0"

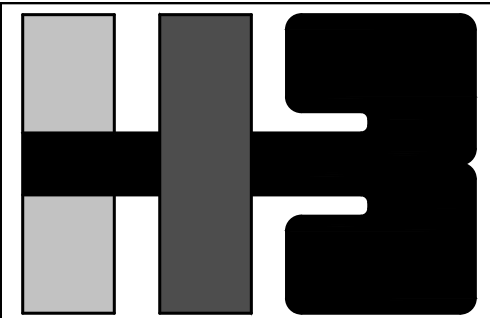


AXONOMETRIC
 SCALE: 3/4" = 1'-0"



SECTION
 SCALE: 1/2" = 1'-0"

SECTION
 SCALE: 1/2" = 1'-0"



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PSC, ARCHITECTS**

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DRAWING NAME

BLOW-UP PLANS,
SECTIONS & DETAILS

COMPUTER PLOT

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PROJECT

DRAWING BY/CHECKED BY
L.R. I.H.

NUMBER TOTAL
15 62

DRAWING NUMBER
AS-2.3

DRAWING NUMBER
AS-2.3

DRAWING NUMBER
AS-2.3

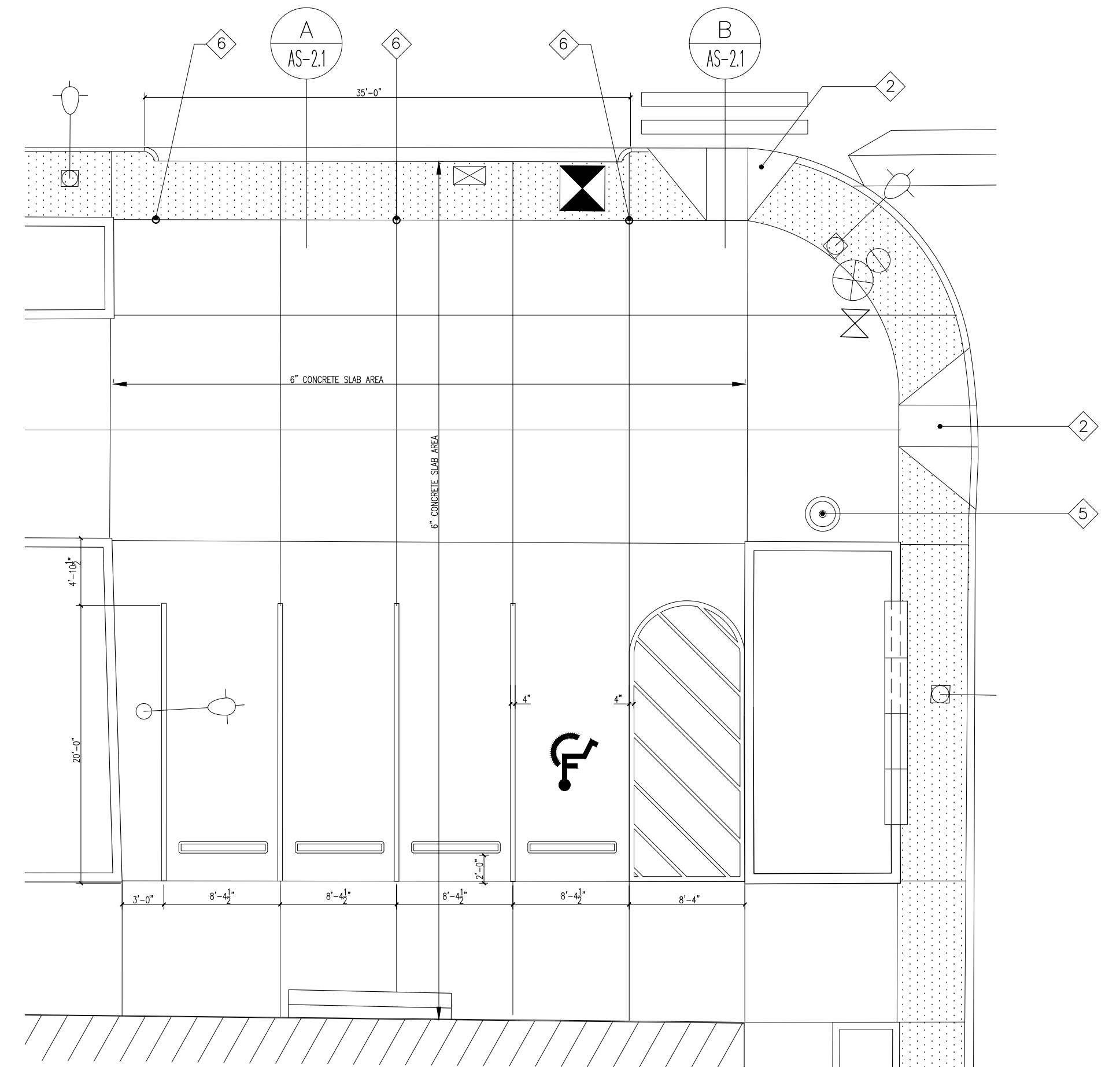
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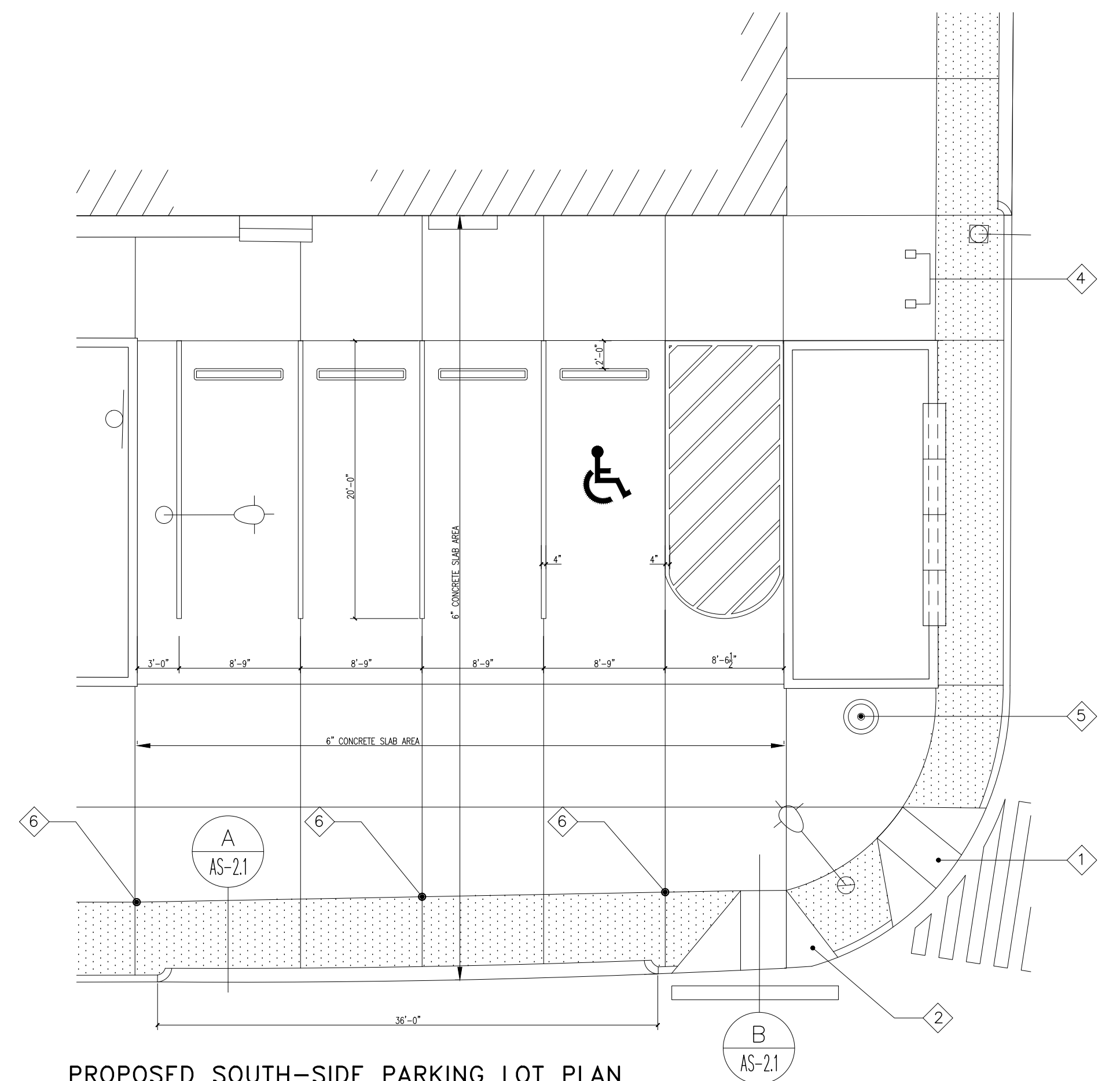
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SYMBOL	DESCRIPTION
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	NEW DOG WASTE STATION

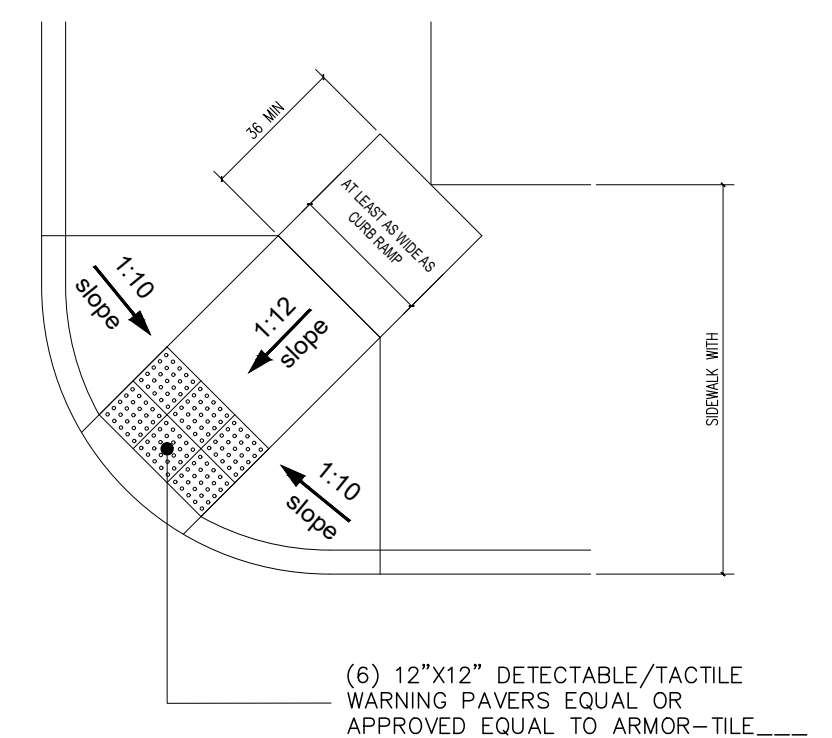
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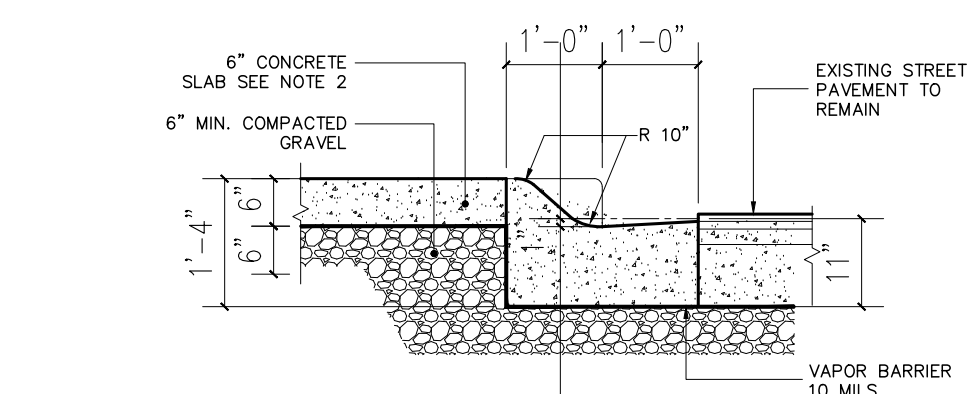
PROPOSED NORTH-SIDE PARKING LOT PLAN
SCALE: 1/8" = 1'-0"



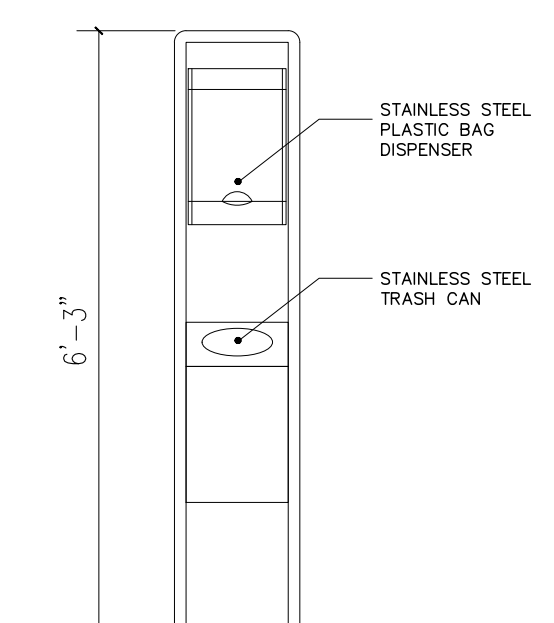
PROPOSED SOUTH-SIDE PARKING LOT PLAN
SCALE: 1/8" = 1'-0"



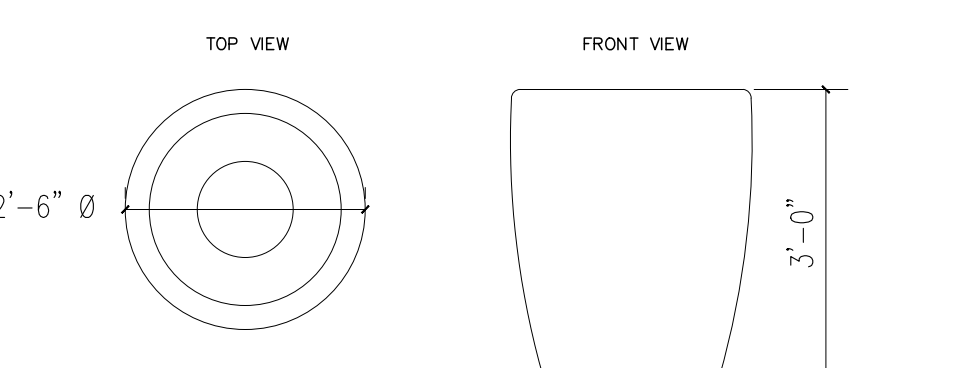
1 ADA RAMP ALTERNATE I
SCALE: 1/4" = 1'-0"



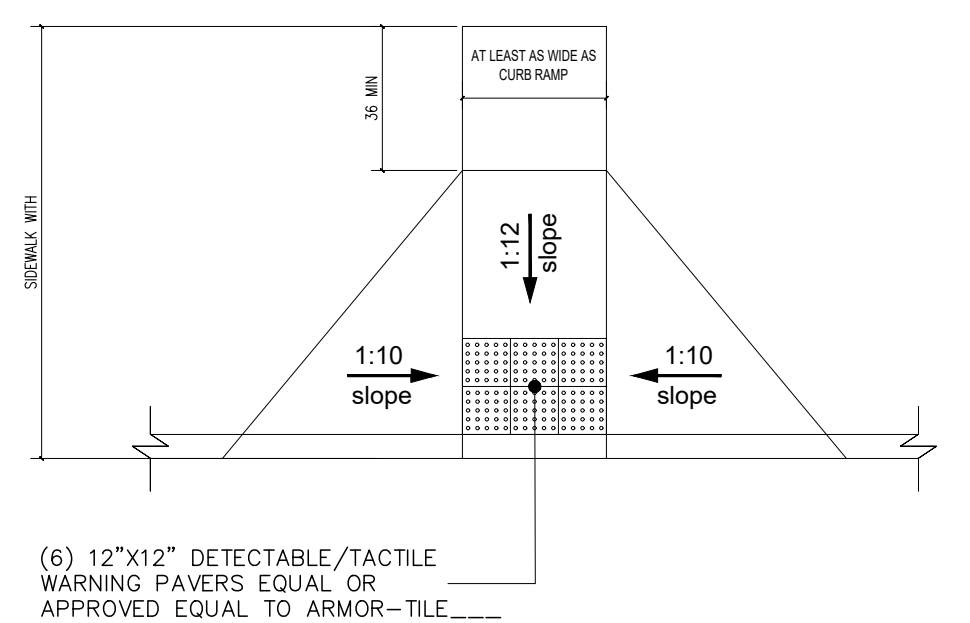
A MOUNTABLE CURB DETAIL
SCALE: 1/4" = 1'-0"



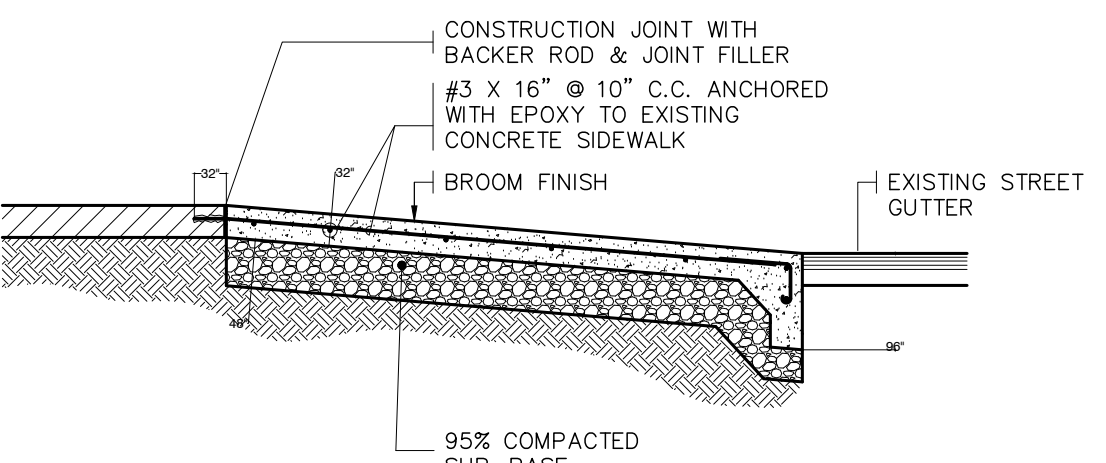
3 DOG WASTE STATION
SCALE: 1/4" = 1'-0"



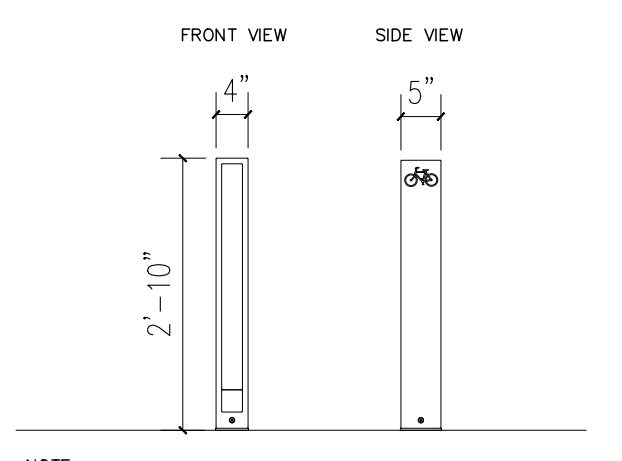
5 TRASH RECEPTACLE
SCALE: 1/4" = 1'-0"



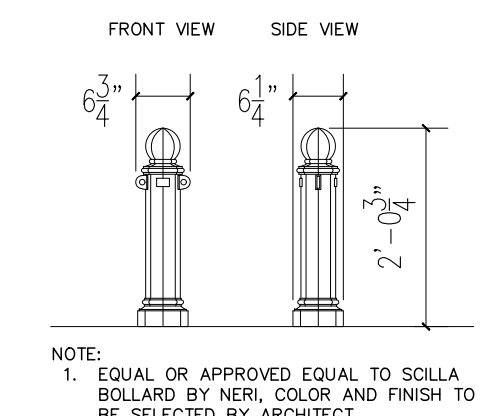
2 ADA RAMP ALTERNATE II
SCALE: 1/4" = 1'-0"



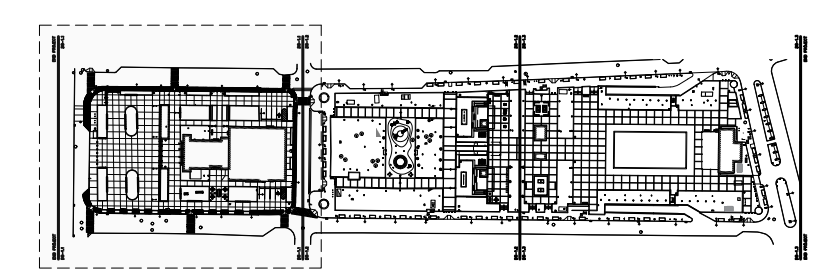
B ADA RAMP DETAIL
SCALE: 1/4" = 1'-0"



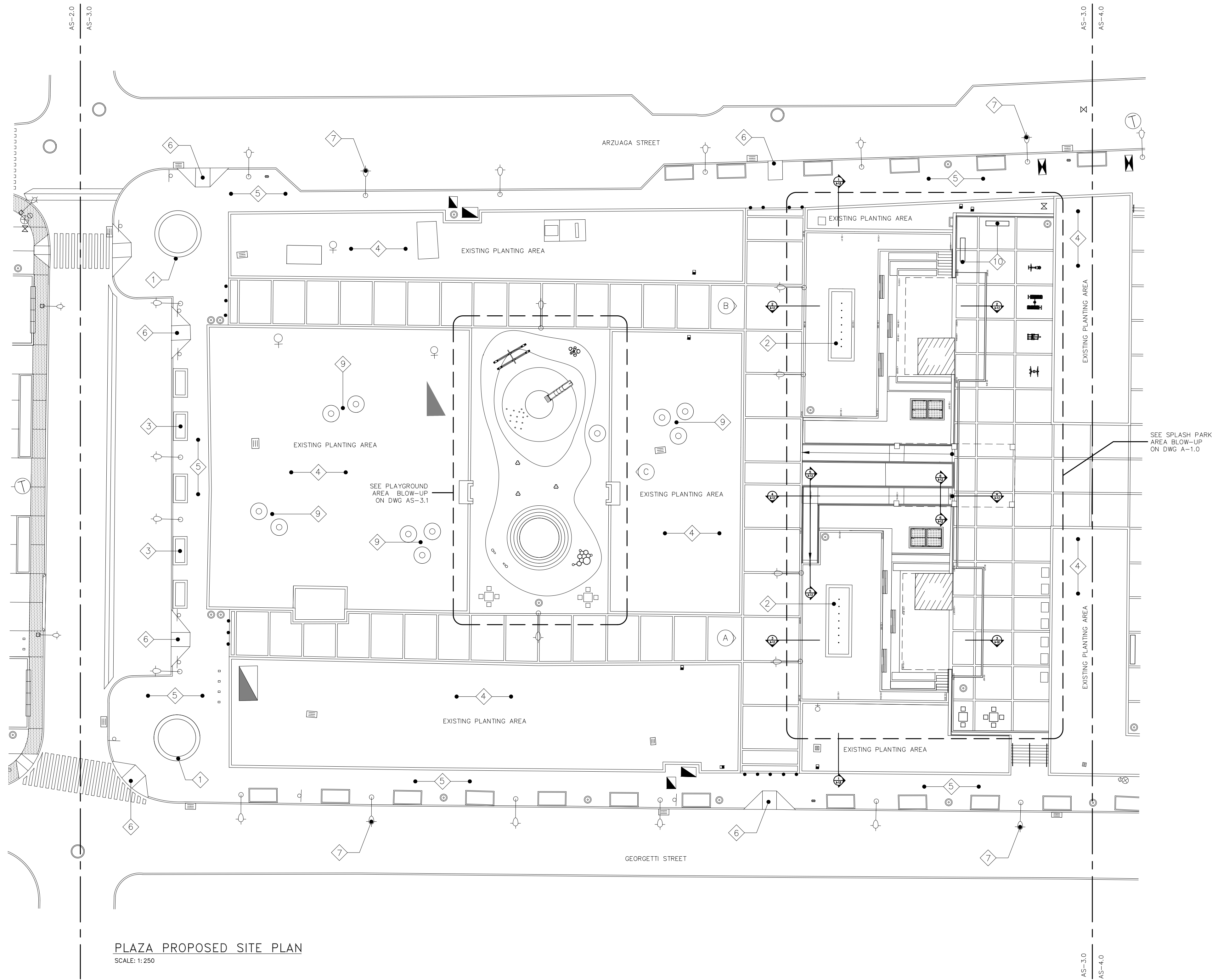
4 BIKE RACK
SCALE: 1/4" = 1'-0"



6 BOLLARD
SCALE: 1/4" = 1'-0"



KEY MAP



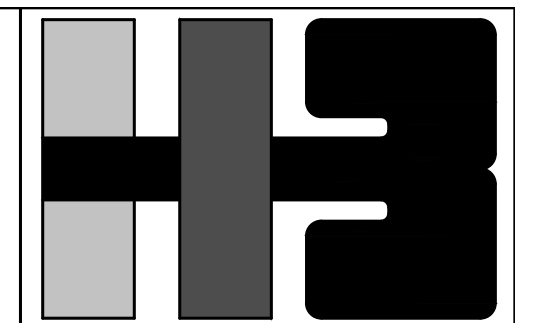
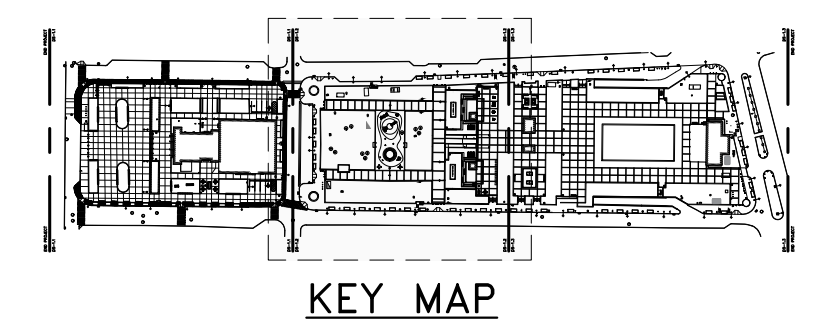
PLAZA PROPOSED SITE PLAN
SCALE: 1:250

LEGEND:

SYMBOL	DESCRIPTION
◇	ANNOTATION MARKER
○	DETAIL MARKER
△	SECTION MARKER
○	NEW TRASH RECEPTACLE
□	NEW BIKE RACKS
○	NEW BOLLARDS
■	NEW DOG WASTE STATION

ANNOTATIONS:

- 1 EXISTING WATER FOUNTAIN TO BE REPAIRED & RENEWED. MARBLE SLAB TO BE CLEANED & SEALED. INTERIOR FOUNTAIN MUST BE CLEANED & SEALED. FOR NEW MECHANICAL WORK SEE DWG ----
- 2 NEW INTERACTIVE WATER FOUNTAIN AREA SEE DWG A-1.0 FOR DETAILS
- 3 INSTALL MISSING GRANITE PLANTER CURB (TO MATCH EXISTING).
- 4 NEWLY LANDSCAPED PLANTER AREA SEE DWG----
- 5 ALL EXISTING CONCRETE SURFACE MUST BE CLEANED BY PRESSURE (2000 PSI MAX)
- 6 ALL EXISTING CONCRETE HANDICAPPED ADA RAMPS TO BE CLEANED & REPAINTED.
- 7 ALL EXISTING LIGHT POLES & LUMINARIES TO BE CLEANED & REPAINTED ACCORDING TO SECTION 05100 (RESTORATION OF METALS) & 099600 (HIGH PERFORMANCE COATING)
- 8 ALL EXISTING RAILINGS & GUARDRAILS TO BE CLEANED & PAINTED ACCORDING TO TECH SPEC SECTION 05100 (RESTORATION OF METALS)
- 9 NEW PEBBLE CONCRETE FURNITURE EQUAL OR SIMILAR TO CONFETI BENCH BY MAGOURBAN
- 10 NEW BENCH EQUAL OR APPROVED EQUAL TO BE-27 BY 713 PRECAST.
- 11 NEW BIKE RACKS. SEE DETAILS ON DWG AS-2.3
- 12 NEW TRASH RECEPTACLE. SEE DETAILS IN DWG AS-2.3
- 13 NEW DOG WASTE STATION. SEE DETAILS ON DWG AS-2.3



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CLIENT
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OWNER
AUTONOMOUS MUNICIPALITY OF SAN JUAN

PROJECT
IMPROVEMENTS OF "PLAZA DE LA CONVALECENCIA" AND "PLAZA DEL PILAR"

DRAWING NAME
PROPOSED SITE PLAN (SECOND PORTION)

COMPUTER PLOT
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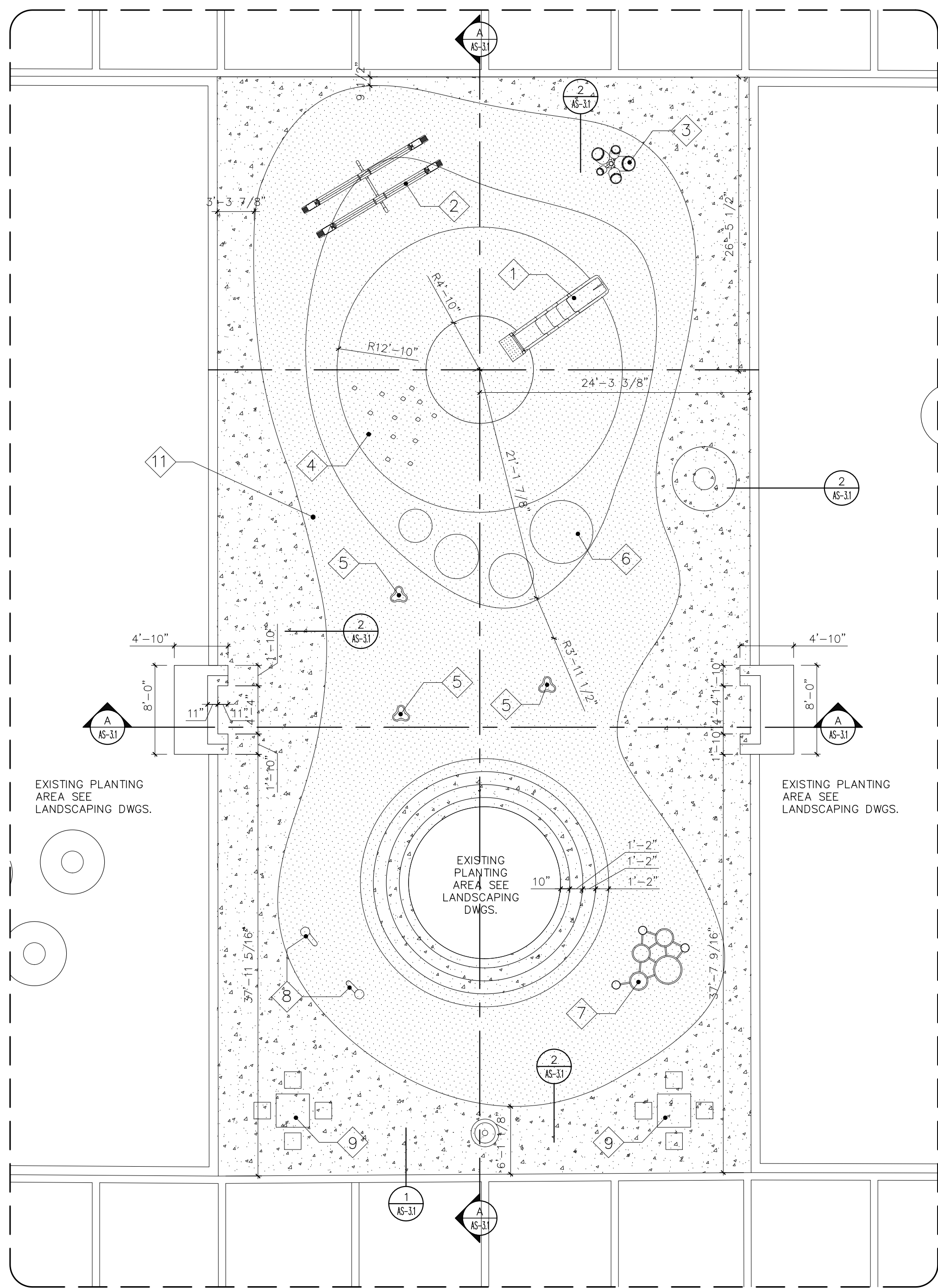
NO.	DATE	REVISION	BY	APPROVED
1	3/1/24		L.R.	L.H.

PROJECT

DRAWING BY/CHECKED BY
JDD I.H.

NUMBER	TOTAL
16	62

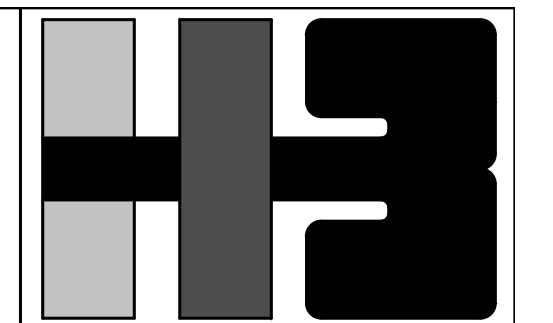
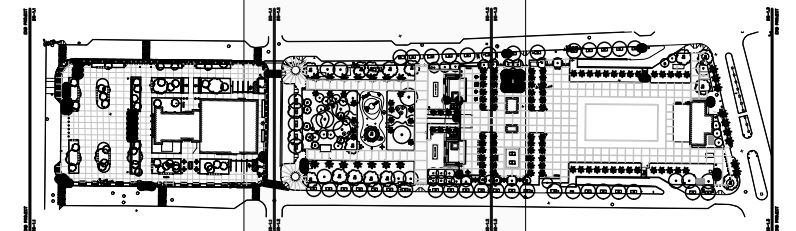
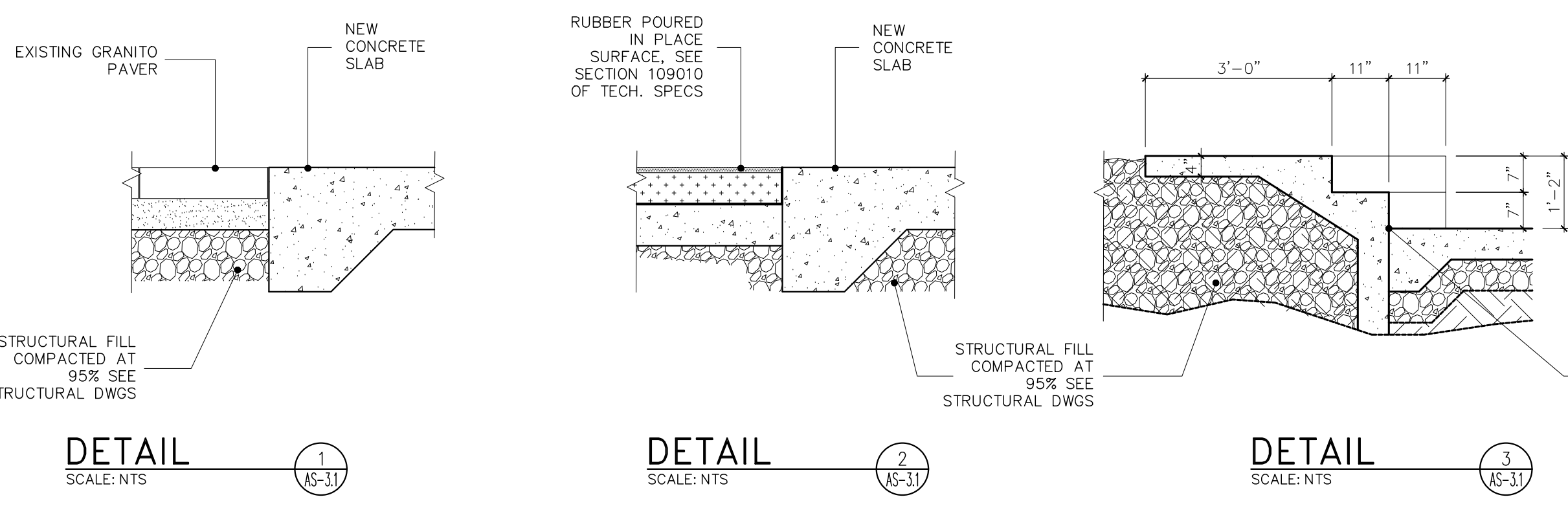
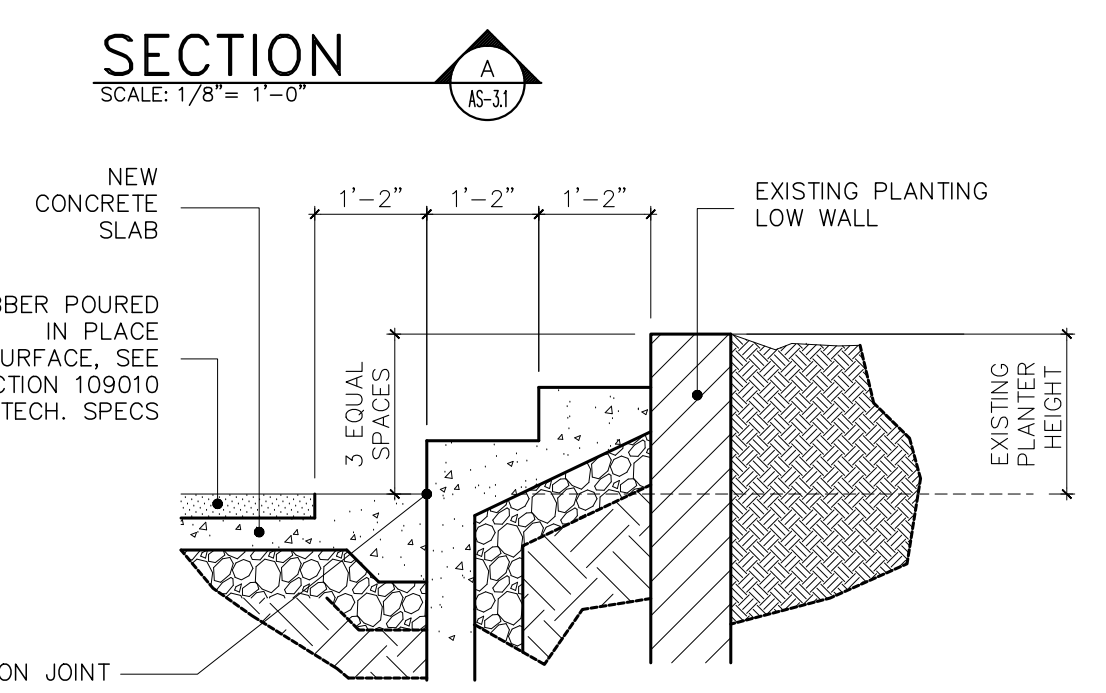
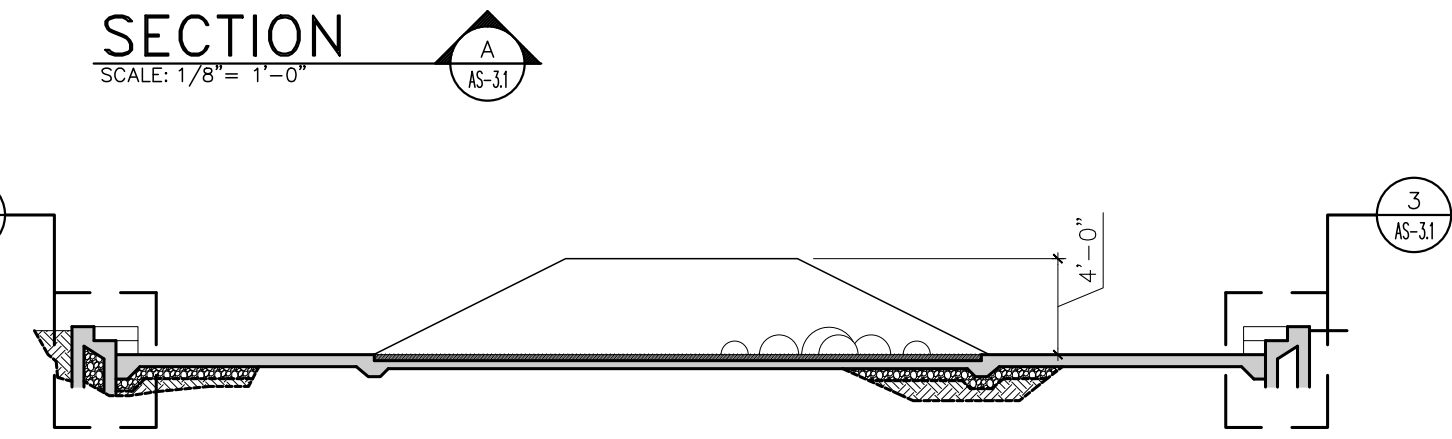
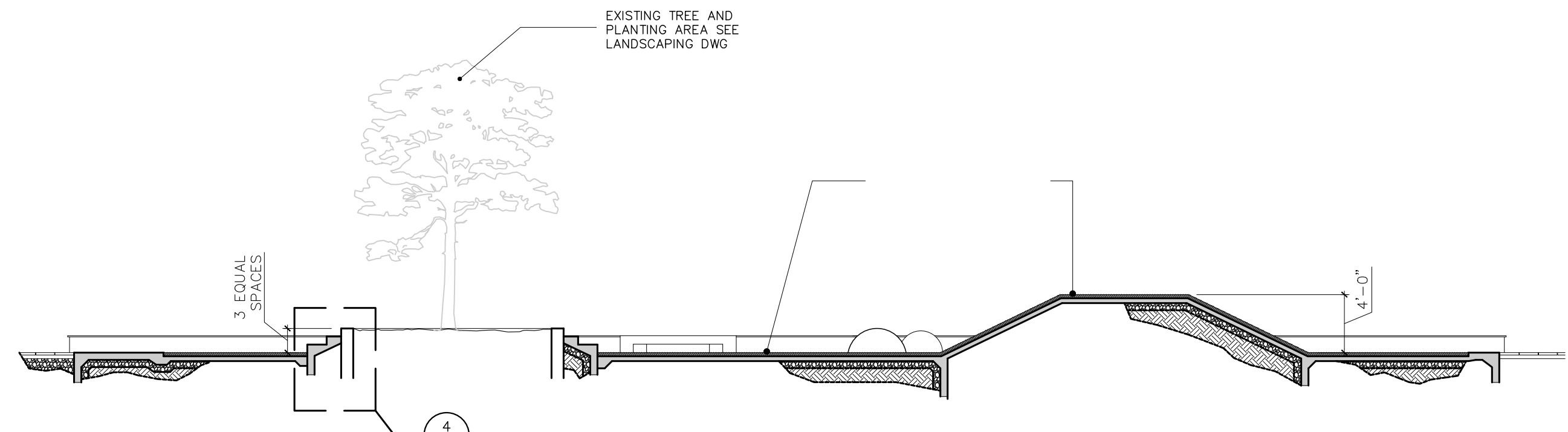
DRAWING NUMBER
AS-3.0



PROPOSED PLAYGROUND PLAN
SCALE: 1/8" = 1'-0"

PLAYGROUND EQUIPMENT LEGEND

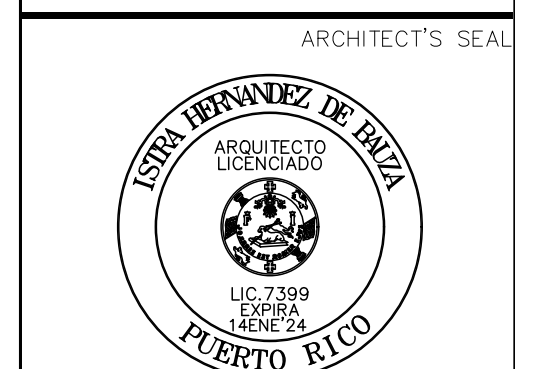
- 1 NEW SLIDE EQUAL OR APPROVE EQUAL TO TIMBERFORM MODEL NO. 1650-51-EMB EMBANKMENT SLIDE CHUTE BY COLUMBIA CASCADE COMPANY
- 2 REINSTALL EXISTING SEESAW BY PLAYWORLD SYSTEMS, PROPERTY OF MASJ
- 3 NEW DRUMTREE EQUAL OR APPROVED EQUAL TO TIMBERFORM MODEL NO. 3841-02-P
- 4 NEW CLIMBING HOLDS EQUAL OR APPROVED EQUAL TO 24 CLASSIC KIDS PLAYGROUND PACK HOLDS BY ATOMIK CLIMBING HOLDS
- 5 NEW SADDLE SPINNER MODEL #152179 EQUAL OR APPROVED EQUAL BY LANDSCAPE STRUCTURES
- 6 NEW RUBBER HALF BALLS EPDM EQUAL OR APPROVED EQUAL BY EUROFLEX
- 7 REINSTALL EXISTING CLIMBING TREE BY PLAYWORLD SYSTEMS, PROPERTY OF MASJ
- 8 NEW TALK TUBES EQUAL OR APPROVED EQUAL TO CHATTER NOODLE MODEL #156453 BY LANDSCAPE STRUCTURES
- 9 REINSTALL EXISTING CONCRETE DOMINO TABLES AND CHAIRS, PROPERTY OF MASJ
- 10 NEW CONCRETE SURFACE
- 11 RUBBER POURED IN PLACE SURFACE, SEE SECTION 109010 OF TECH. SPECS
- 12 NEW CONCRETE TRASH RECEPTACLE SEE NOTE 3 OF URBAN FURNITURE ON DWG AS-2.0



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LICENSE NO. 7399

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DEPT. OF URBAN DESIGN AND PROJECT DEVELOPMENT, MASJ.

OWNER
AUTONOMOUS MUNICIPALITY OF SAN JUAN

PROJECT
IMPROVEMENTS OF "PLAZA DE LA CONVALESCENCIA" AND "PLAZA DEL PILAR"

DRAWING NAME
BLOW-UP PLANS, SECTIONS & DETAILS

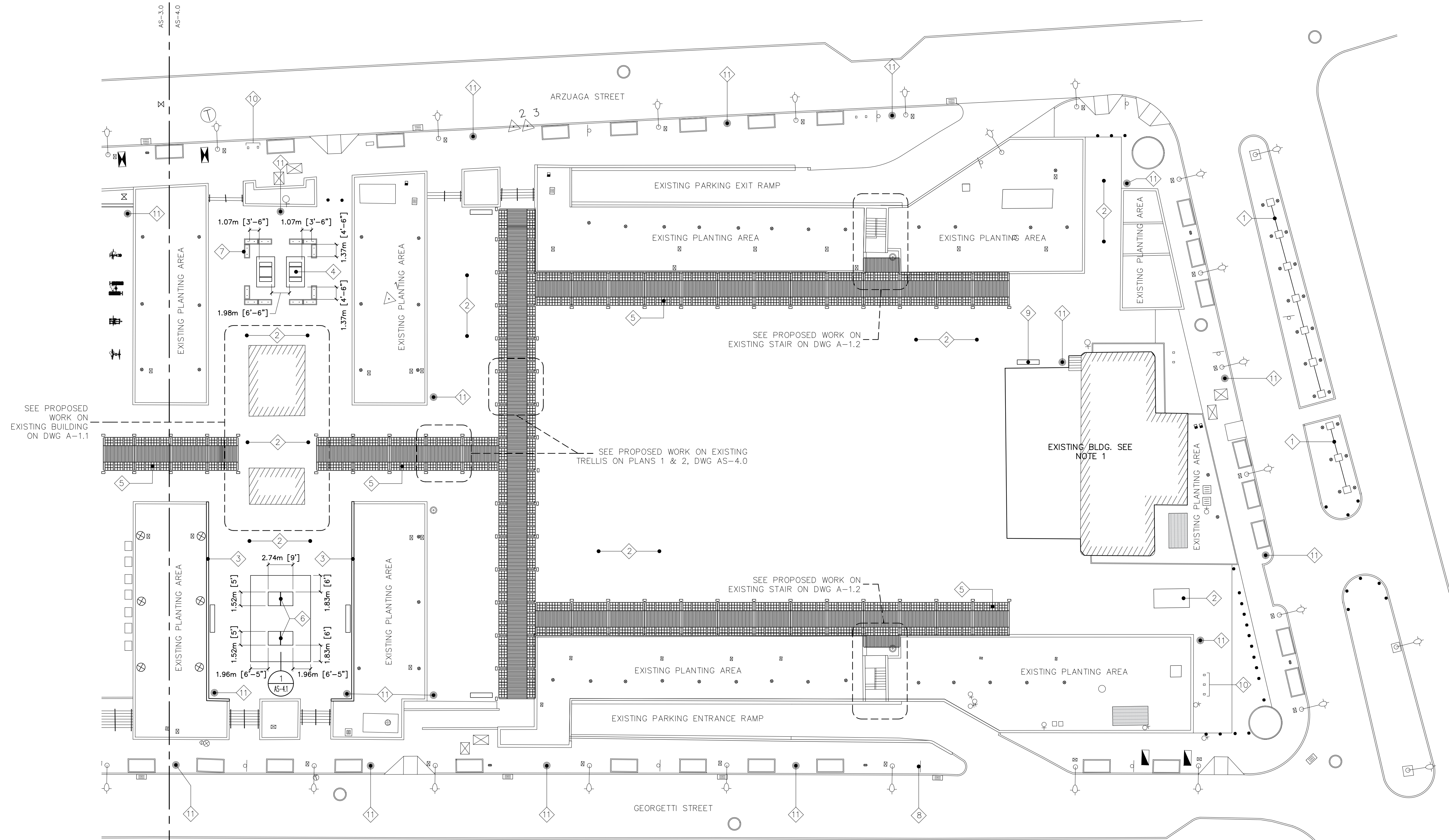
COMPUTER PLOT
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1	3/1/24		L.R.	L.H.

PROJECT
DRAWING BY/CHECKED BY
AB I.H.

NUMBER	TOTAL
17	62

DRAWING NUMBER
AS-3.1



PROPOSED SITE PLAN
SCALE: 1:250

LEGEND:

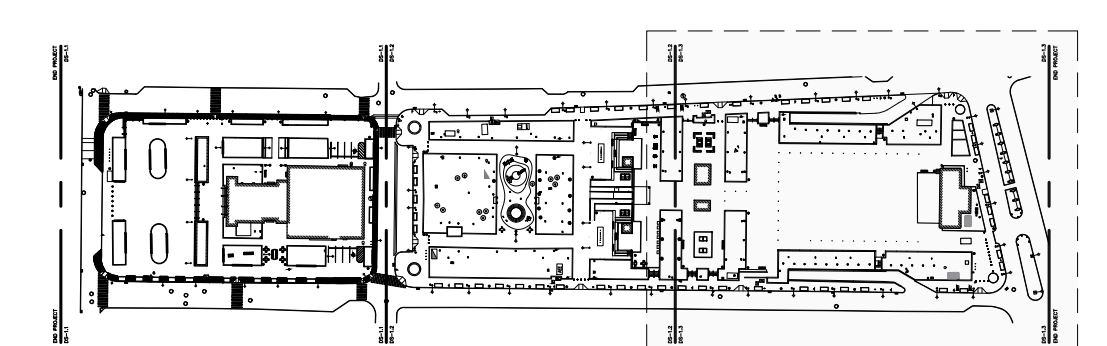
SYMBOL	DESCRIPTION
◇	ANNOTATION MARKER
○	DETAIL MARKER
△	SECTION MARKER
○	NEW TRASH RECEPTACLE
□	NEW BIKE RACKS
○	NEW BOLLARDS
≡	NEW DOG WASTE STATION

ANNOTATIONS:

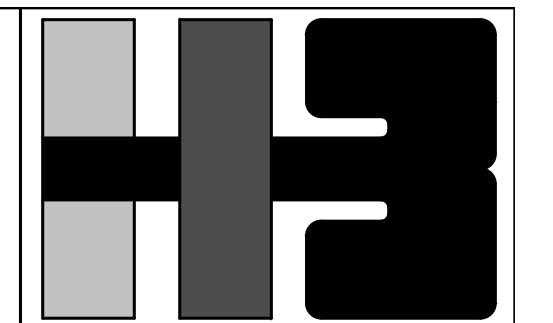
- 1 EXISTING SCULPTURE TO BE CLEANED AND IMPROVED. RESTORE ALL MISSING TILES AND REPLACE ALL DAMAGE STAINLESS STEEL TUBE TO MATCH EXISTING.
- 2 EXISTING PAVERS TO BE CAREFULLY REMOVED FOR REINSTALLATION, SEE DWG --- FOR DETAILS AND NOTES
- 3 REPAIR EXISTING MARBLE STONES WITH RECYCLED STONES FROM OTHER AREAS.
- 4 NEW SOLAR CHARGING EQUAL OR APPROVE EQUAL TO SUNBOLT CHARGING STATION MOMENTUM MODEL.
- 5 NEW PERFORATED METAL PANELS BY DOBLAMOS (NEFI MODEL FROM VORTEX SERIES) ON EXISTING METAL TRELLIS. SEE DWG AS-4.0 FOR DETAILS.
- 6 NEW LOCATION FOR EXISTING PING-PONG TABLES.
- 7 NEW CONCRETE PLANTER EQUAL OR APPROVE EQUAL TO 713 PRECAST PL-14 (12 TOTAL)
- 8 RESTORED & REINSTALLED BACKLIT PARKING SIGNAGE

AS-4.0
END OF PROJECT

- 9 NEW BENCH EQUAL OR APPROVED EQUAL TO BE-27 BY 713 PRECAST.
- 10 NEW BIKE RACKS. SEE DETAILS ON DWG AS-2.3
- 11 NEW TRASH RECEPTACLE. SEE DETAILS IN DWG AS-2.3
- 12 NEW DOG WASTE STATION. SEE DETAILS ON DWG AS-2.3



KEY MAP



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DRAWING NAME
PROPOSED SITE PLAN (THIRD PORTION)

COMPUTER PLOT
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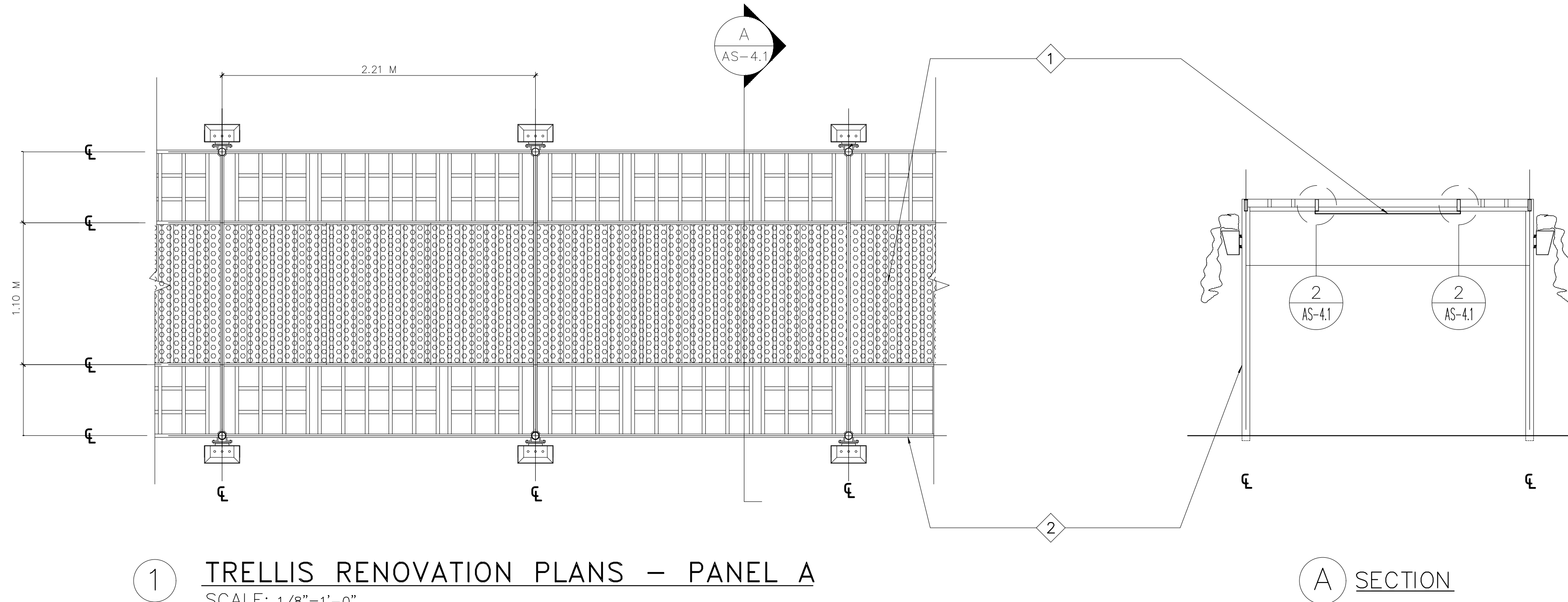
NO.	DATE	REVISION	BY	APPROVED
1	3/1/24		L.R.	L.H.

PROJECT

DRAWING BY/CHECKED BY
L.R.C. I.H.

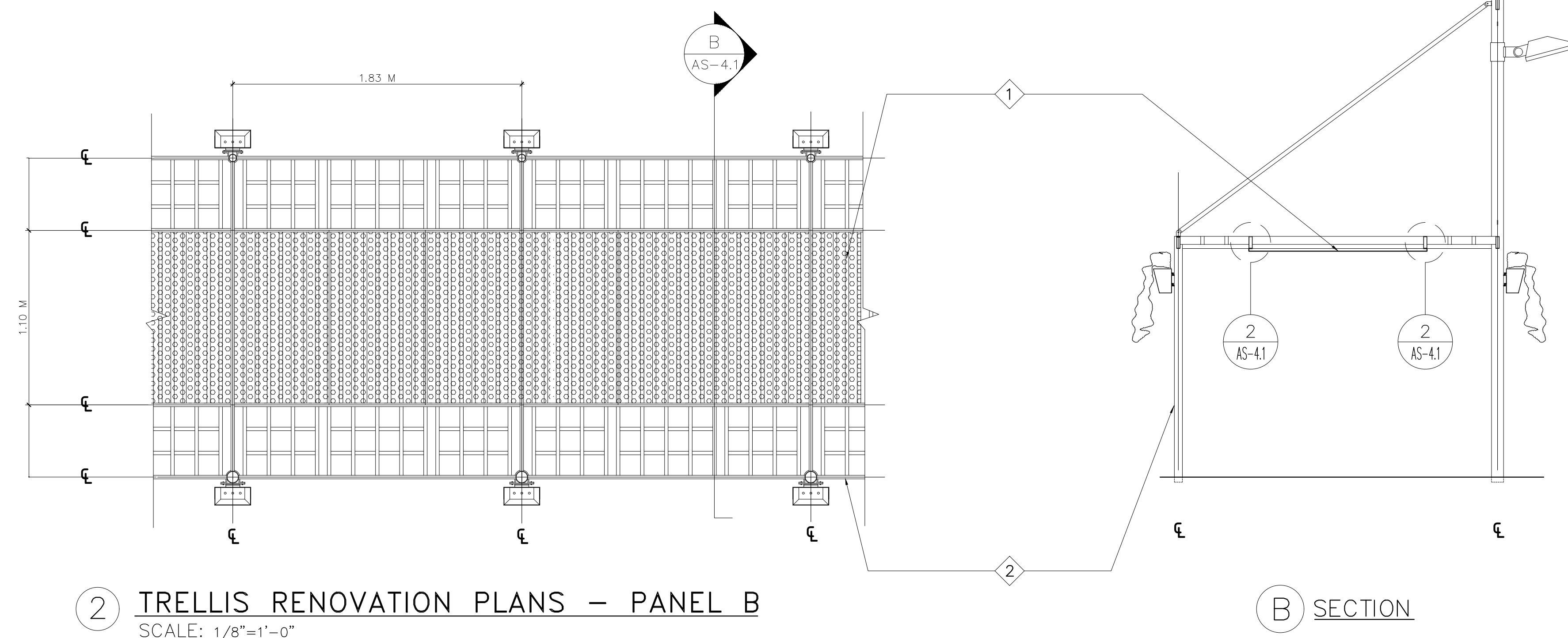
NUMBER	TOTAL
18	62

DRAWING NUMBER
AS-4.0



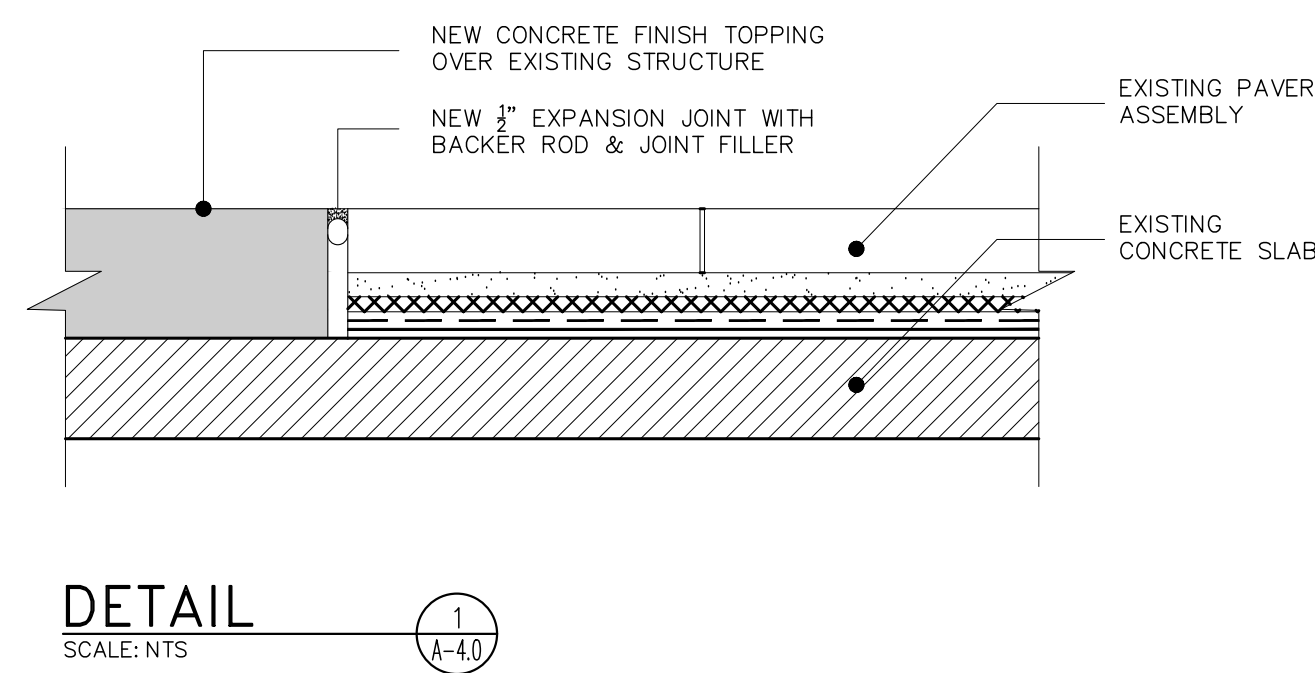
1 TRELLIS RENOVATION PLANS – PANEL A
SCALE: 1/8"=1'-0"

A SECTION

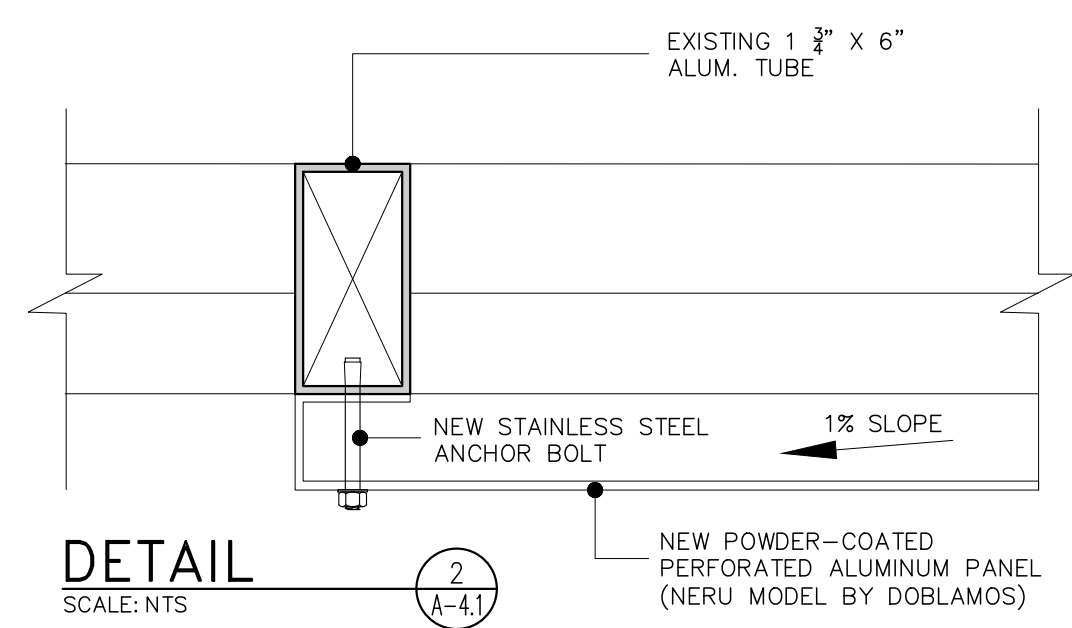


2 TRELLIS RENOVATION PLANS – PANEL B
SCALE: 1/8"=1'-0"

B SECTION



DETAIL 1
SCALE: NTS
A-4.1



DETAIL 2
SCALE: NTS
A-4.1

LEGEND:

SYMBOL	DESCRIPTION
	ANNOTATION MARKER
	DETAIL MARKER
	SECTION MARKER

NOTES:

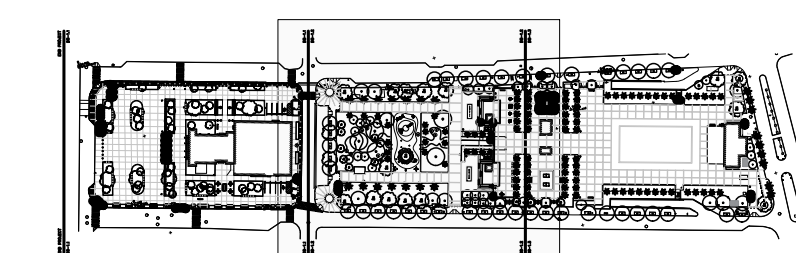
1. EXISTING CHURCH NUESTRA SEÑORA DEL PILAR IS NOT PART OF THE SCOPE ... BUT ANY DAMAGE -----

ANNOTATIONS:

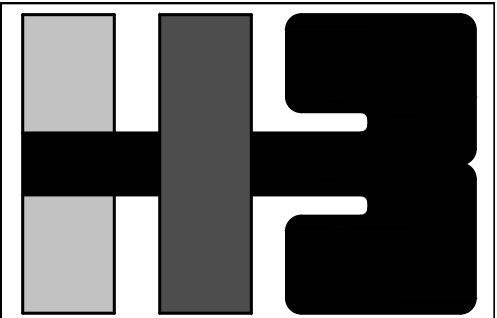
- 1 NEW PERFORATED METAL PANELS EQUAL OR APPROVE EQUAL TO NERÚ MODEL FROM VORTEX SERIES BY DOBLAMOS



- 2 EXISTING METAL TRELLIS STRUCTURE TO BE CLEANED & REPAINTED



KEY MAP



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CLIENT
MANAGER
DEPT. OF URBAN DESIGN AND PROJECT DEVELOPMENT, MASJ.

OWNER
AUTONOMOUS MUNICIPALITY OF SAN JUAN

PROJECT
IMPROVEMENTS OF "PLAZA DE LA CONVALECENCIA" AND "PLAZA DEL PILAR"

DRAWING NAME
BLOW-UP PLANS, SECTIONS & DETAILS

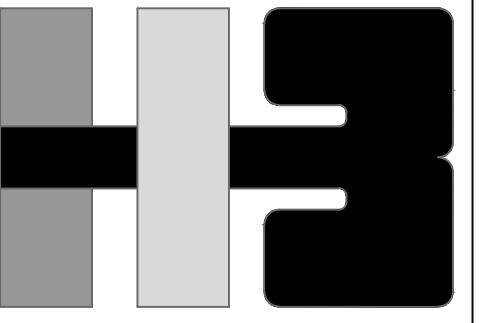
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OF SAN JUAN

PROJECT
IMPROVEMENTS OF "PLAZA
DE LA CONVALENCENCIA"
AND "PLAZA DEL PILAR"

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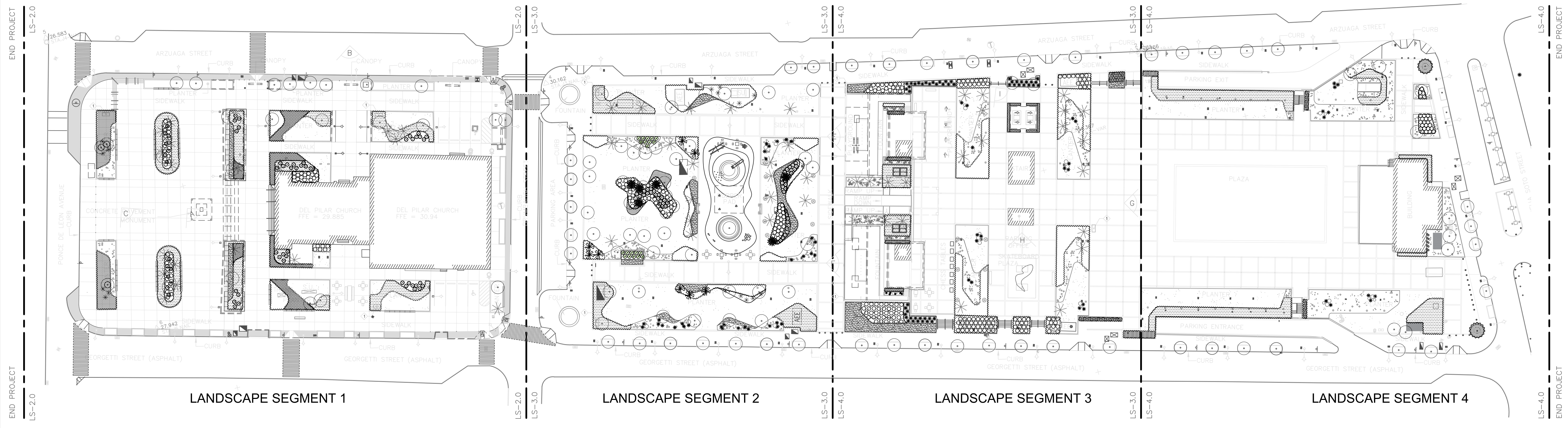
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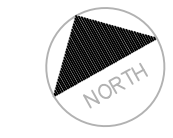
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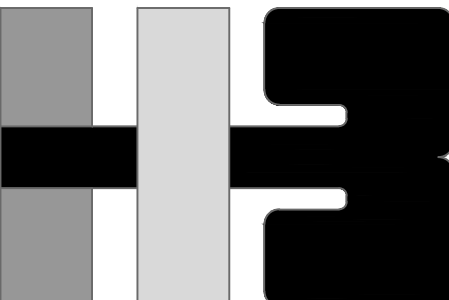
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LS1.0 LANDSCAPE MASTER PLAN
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MANAGER
DEPT. OF URBAN DESIGN AND PROJECT DEVELOPMENT, MASJ.

OWNER
AUTONOMOUS MUNICIPALITY OF SAN JUAN

PROJECT
IMPROVEMENTS OF "PLAZA DE LA CONVALESCENCIA" AND "PLAZA DEL PILAR"

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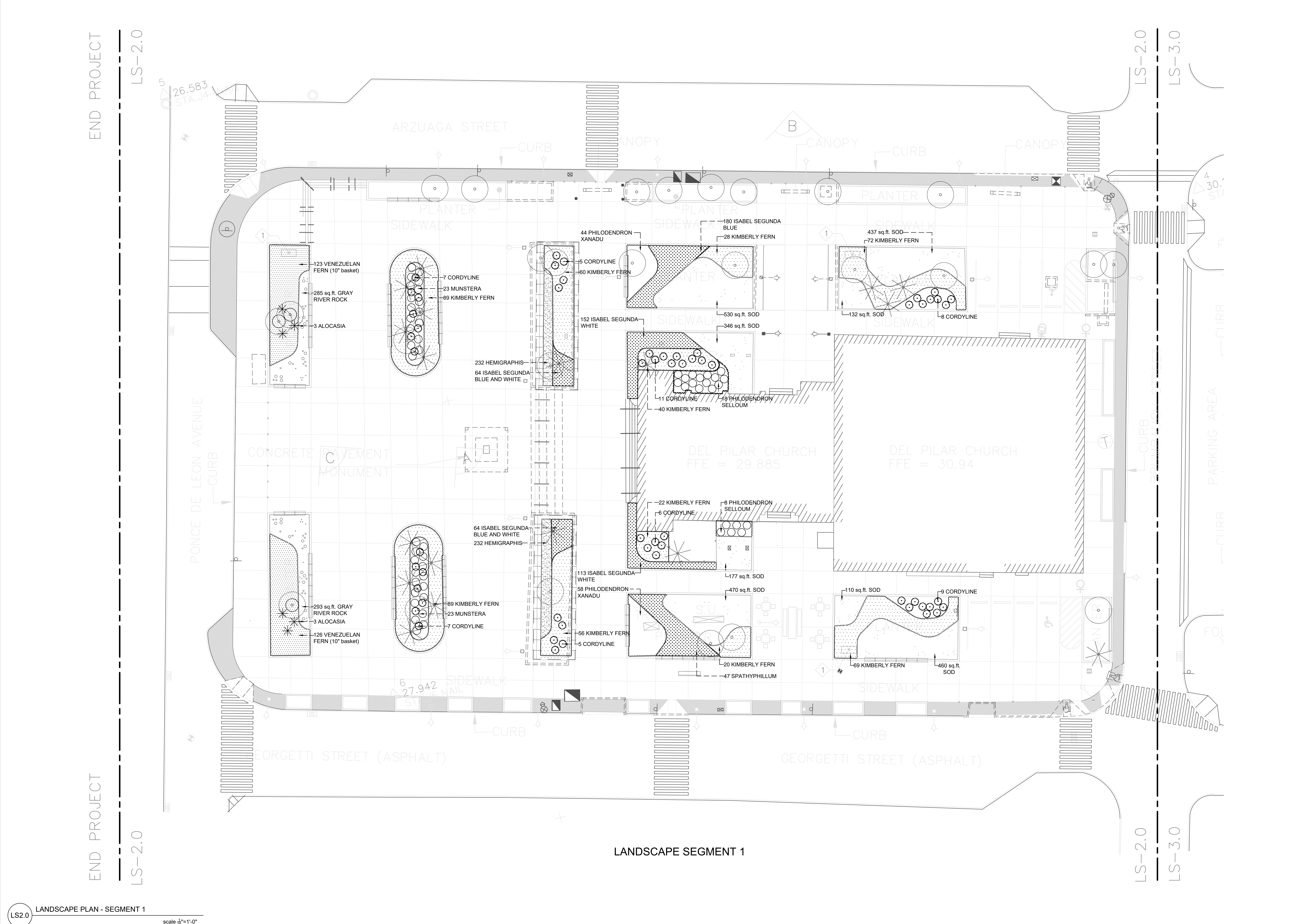
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NUMBER	TOTAL
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PROJECT
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NUMBER TOTAL
21 62
DRAWING NUMBER
LS-2.0



LANDSCAPE SEGMENT 1

END PROJECT

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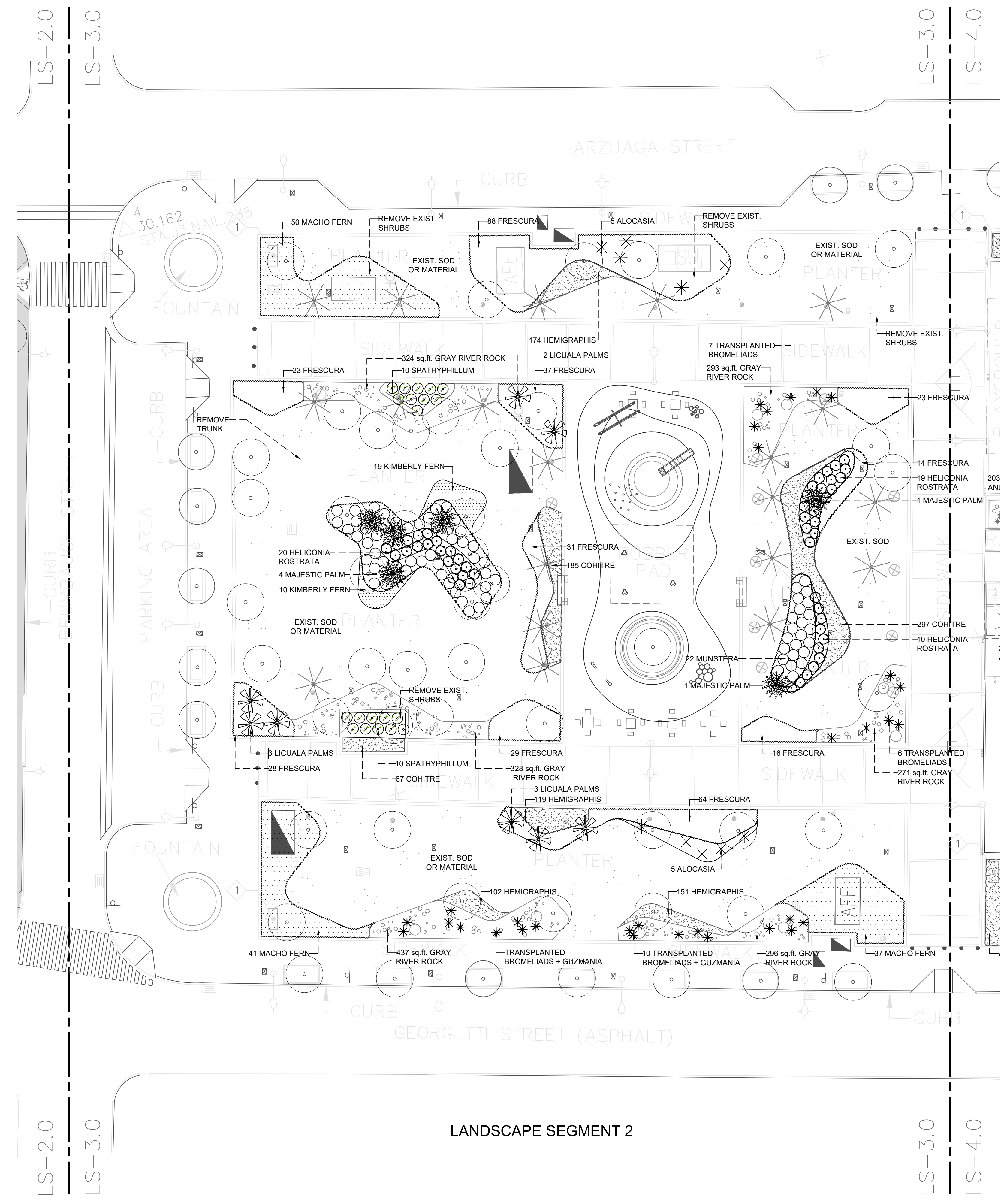
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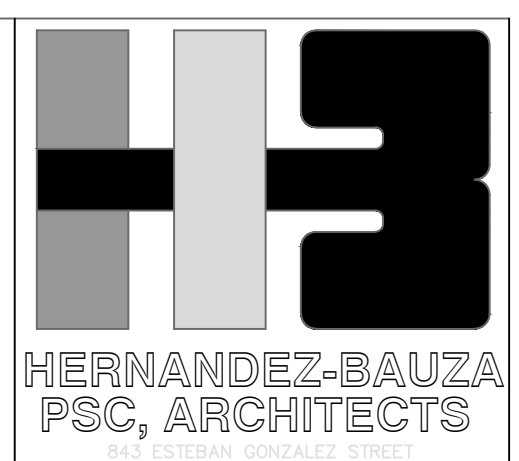
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LS-3.0



LANDSCAPE SEGMENT 2



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MANAGER
 DEPT. OF URBAN DESIGN AND PROJECT DEVELOPMENT, MASJ.

OWNER
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PROJECT
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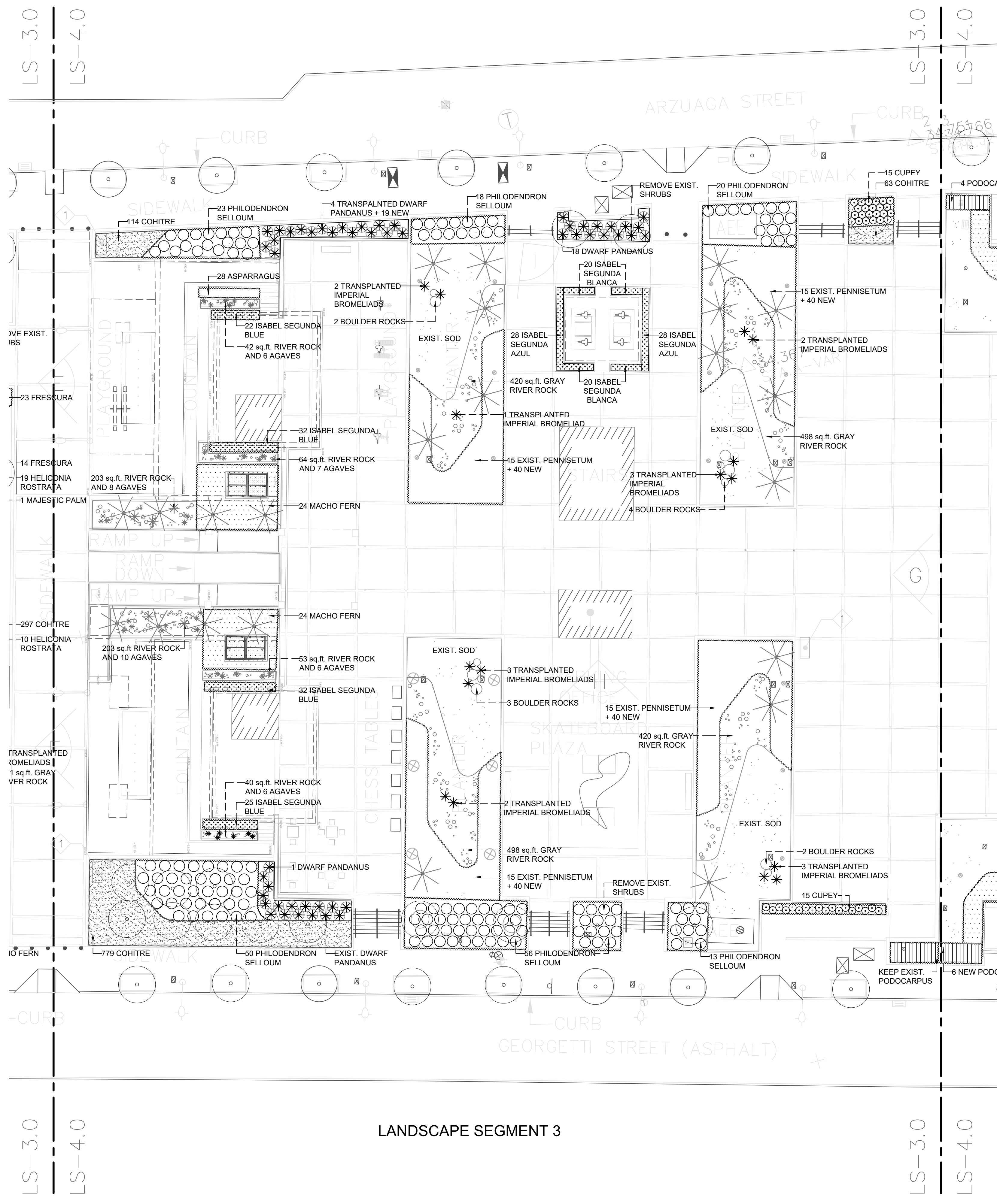
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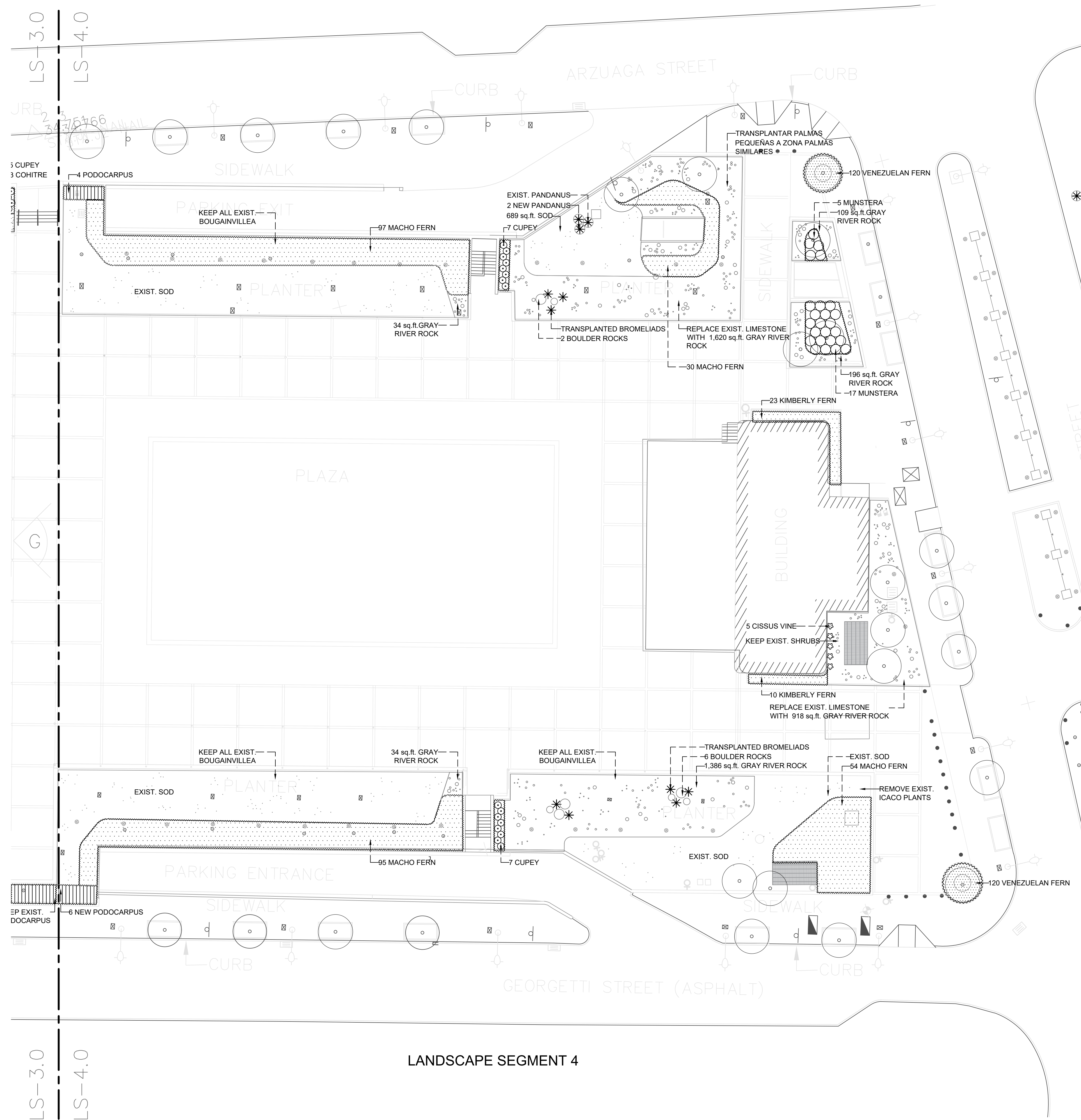
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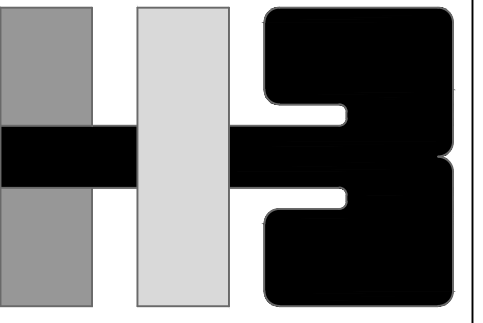
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LANDSCAPE SEGMENT 3



LANDSCAPE SEGMENT 4



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CLIENT
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PROJECT
 IMPROVEMENTS OF "PLAZA DE LA CONVALESCENCIA" AND "PLAZA DEL PILAR"

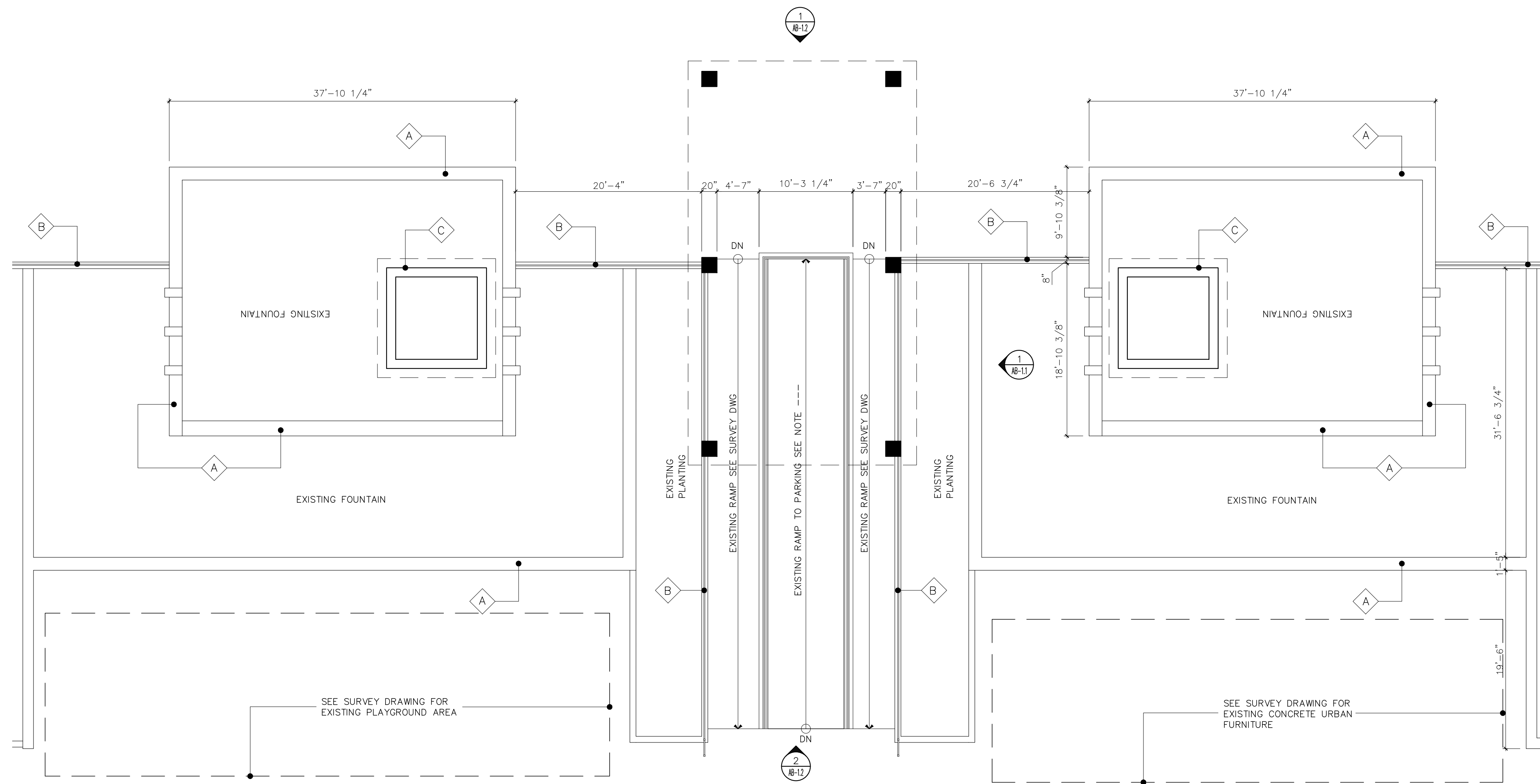
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
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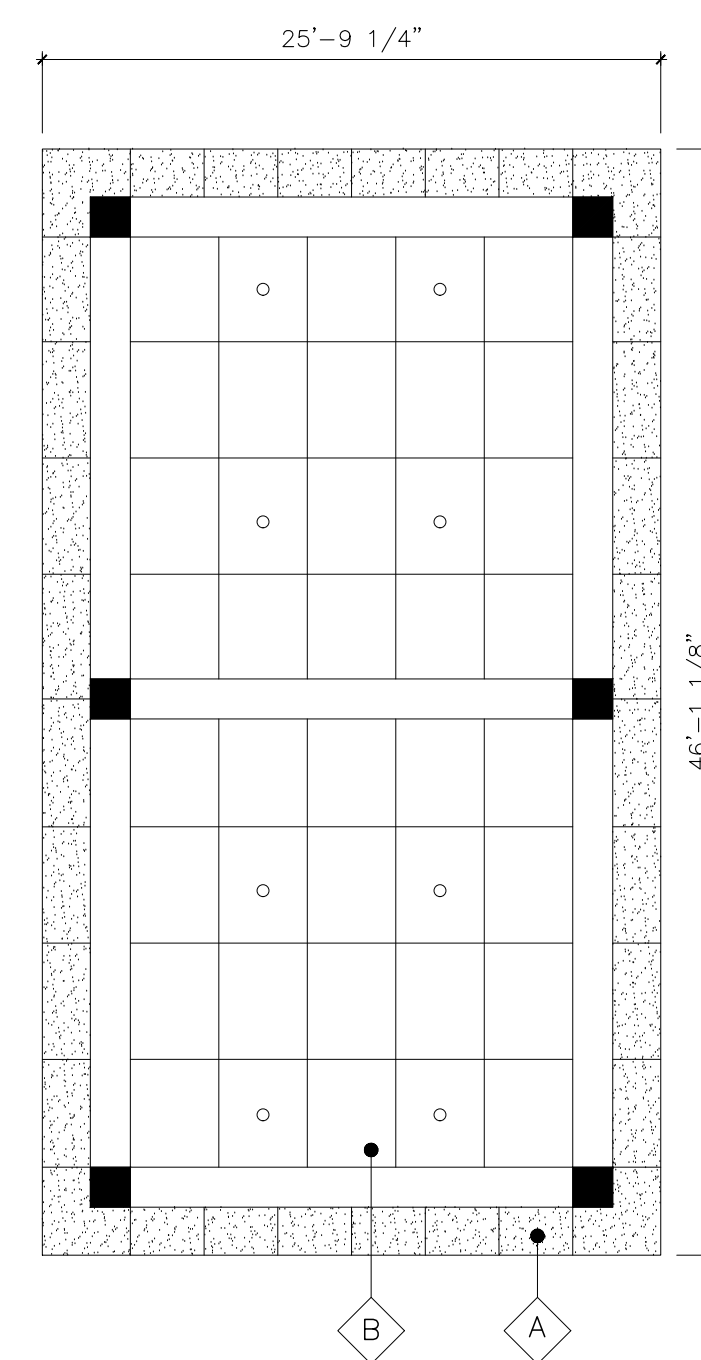
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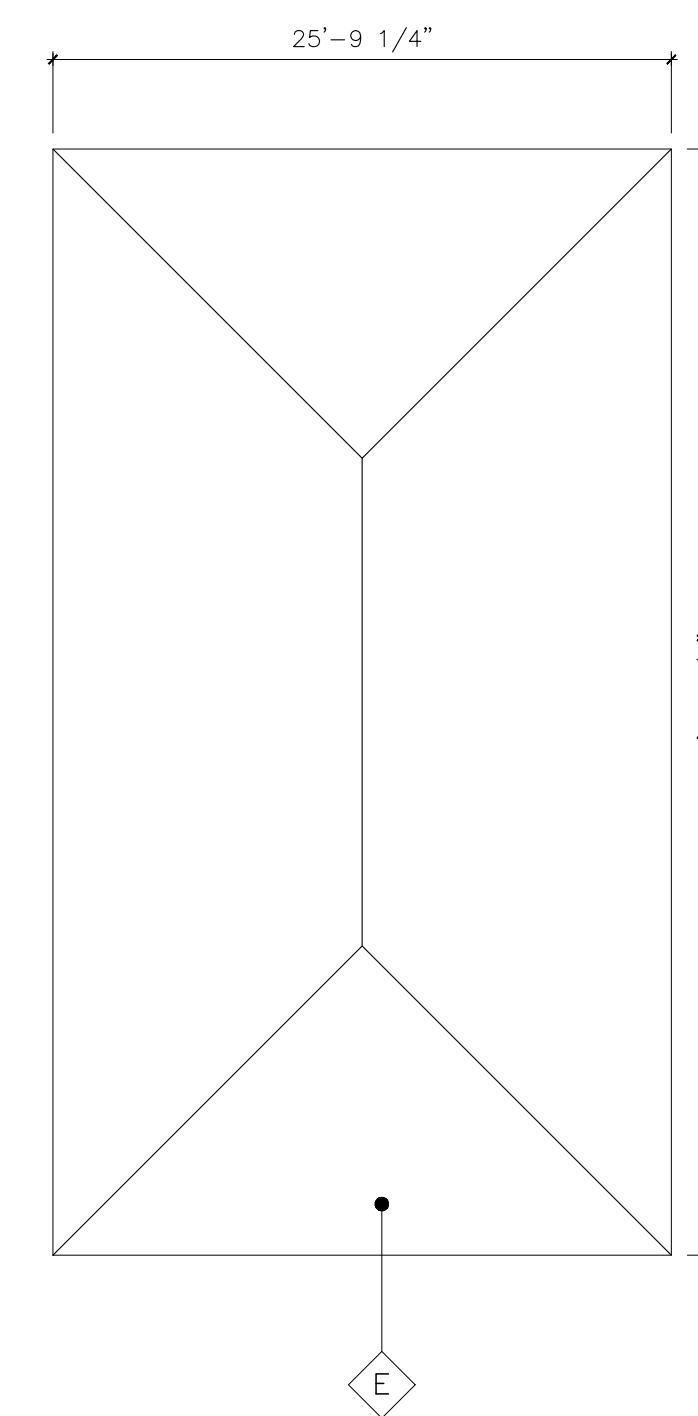
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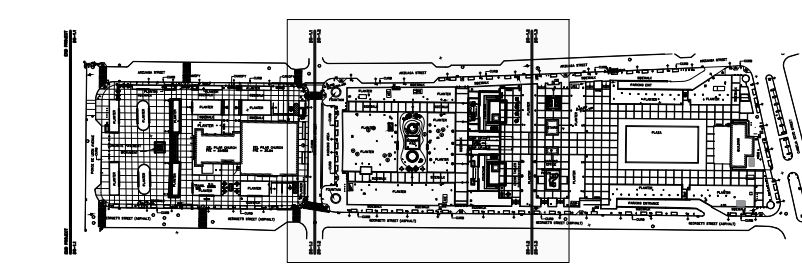
-  EXISTING GRANITE STONE OVER A CONCRETE LOW WALL
-  EXISTING GALV STEEL GUARD RAIL
-  EXISTING TOWER



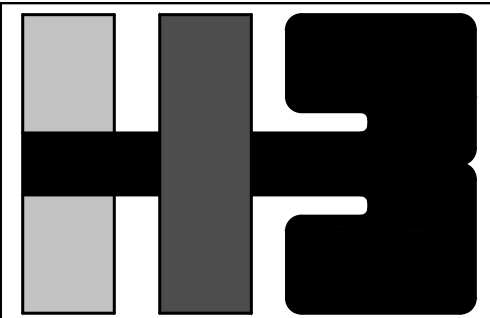
EXISTING GAZEBO RAMP REFLECTING CEILING
SCALE: 1/8" = 1'-0"



EXISTING GAZEBO RAMP ROFF PLAN
SCALE: 1/8" = 1'-0"



KEY MAP



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MANAGER
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OWNER
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DRAWING NAME
EXISTING BUILDING A FLOOR PLAN

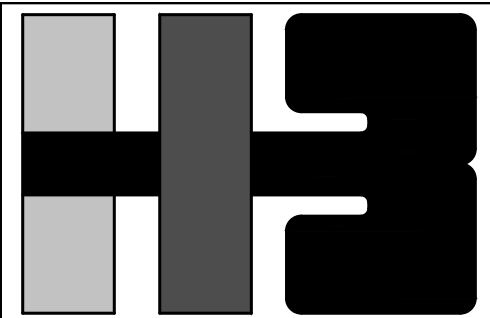
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NUMBER	TOTAL
26	62

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YO, ISTRA HERNANDEZ, ARQUITECTO LICENCIADO #7399, CERTIFICO QUE SOY EL PROFESIONAL QUE DISEÑÉ ESTOS PLANOS Y LAS ESPECIFICACIONES COMPLEMENTARIAS. TAMBIÉN CERTIFICO QUE ENTENDÍ QUE DICHS PLANOS Y ESPECIFICACIONES CUMPLEN CON LAS DISPOSICIONES APLICABLES DEL REGLAMENTO CONJUNTO Y LAS DISPOSICIONES APLICABLES DE LOS REGLAMENTOS Y CÓDIGOS DE CONSTRUCCIÓN VIGENTES DE LAS AGENCIAS, JUNTAS REGLAMENTADORAS O CORPORACIONES PÚBLICAS CON JURISDICCION Y ESTAN EN CONFORMIDAD CON LOS CÓDIGOS DE CONSTRUCCIÓN DE PUERTO RICO 2018 VIGENTE AL 15 DE NOVIEMBRE DE 2018. CERTIFICO, ADEMÁS, QUE EN LA PREPARACIÓN DE ESTOS PLANOS Y ESPECIFICACIONES SE HA CUMPLIDO CABALMENTE CON LO DISPUESTO EN LA LEY NÚM. 14 DE 8 DE ENERO DE 2004, SEGÚN ENMIENDADA, CONOCIDA COMO LA "LEY PARA LA INVERSIÓN POR LA INDUSTRIA PUERTORRIQUEÑA" Y CON LA LEY NÚM. 315 DE 15 DE MAYO DE 1938, SEGÚN ENMIENDADA; LEY NÚM. 96 DE 6 DE JULIO DE 1978, SEGÚN ENMIENDADA; SEGÚN APRUQUE; RECONOCIENDO QUE CUALQUIER DECLARACIÓN FALSA O FALSIFICACIÓN DE LOS HECHOS QUE SE HAYA PRODUCIDO POR DESCONOCIMIENTO O POR NEGLIGENCIA YA SEA POR MÍ, MIS AGENTES O EMPLEADOS, O POR OTRAS PERSONAS CON MI CONOCIMIENTO, ME HACERÉ RESPONSABLE DE CUALQUIER ACCIÓN JUDICIAL Y DISCIPLINARIA POR LA DGPE.

CLIENT
MANAGER
DEPT. OF URBAN DESIGN AND PROJECT DEVELOPMENT, MASJ.

OWNER
AUTONOMOUS MUNICIPALITY OF SAN JUAN

PROJECT
IMPROVEMENTS OF "PLAZA DE LA CONVALECENCIA" AND "PLAZA DEL PILAR"

DRAWING NAME
EXISTING BUILDING A REFLECTING CEILING, ROOF PLAN AND ELEVATION

COMPUTER PLOT
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NO.	DATE	REVISION	BY	APPROVED

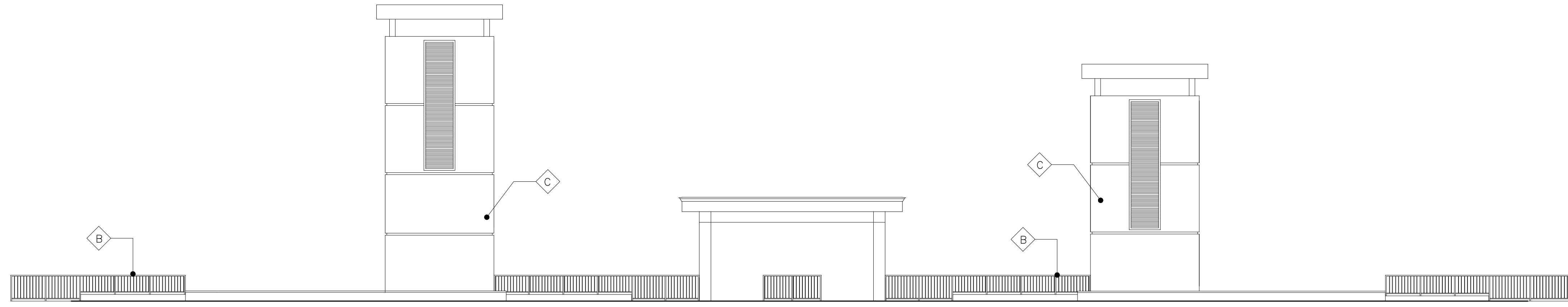
PROJECT

DRAWING BY/CHECKED BY
jdd I.H.

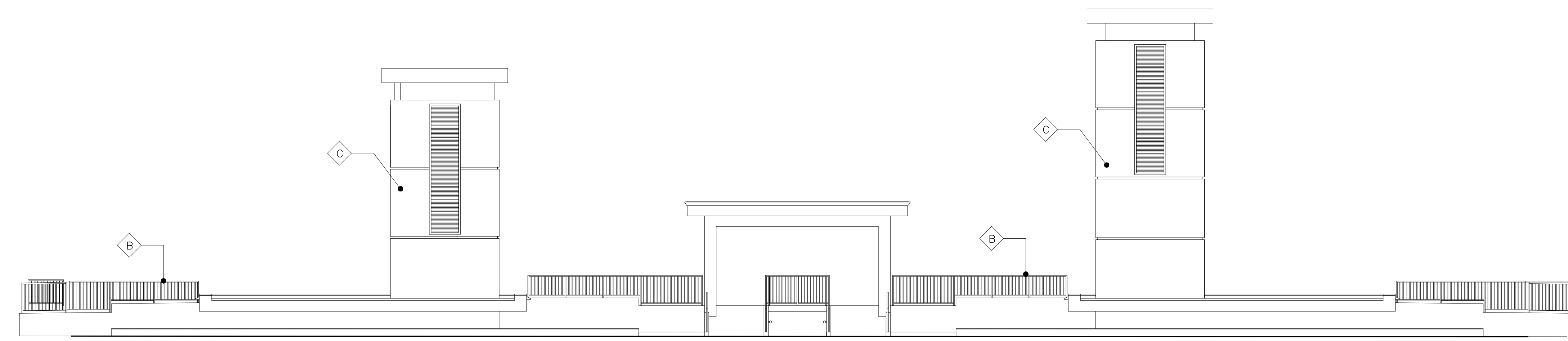
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DRAWING NUMBER
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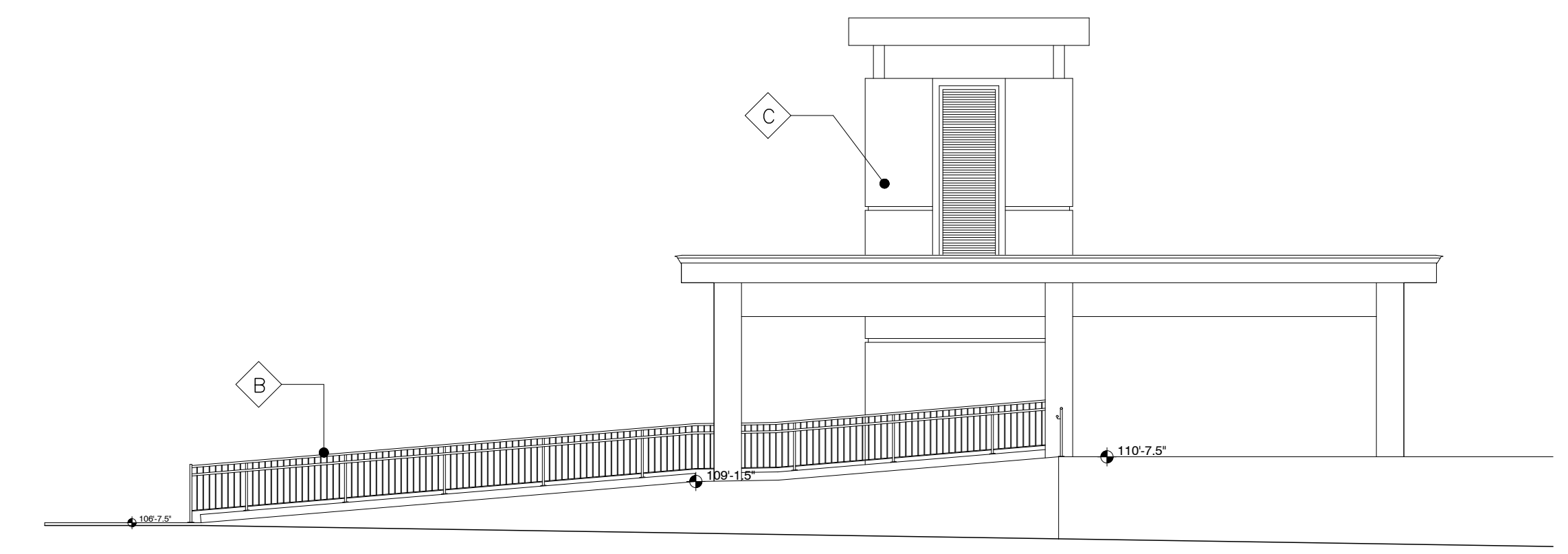
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- EXISTING GRANITE STONE OVER A CONCRETE LOW WALL
 - EXISTING GALV STEEL GUARD RAIL
 - EXISTING TOWER



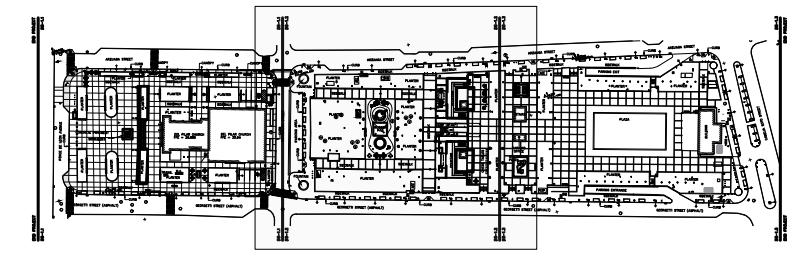
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A-11



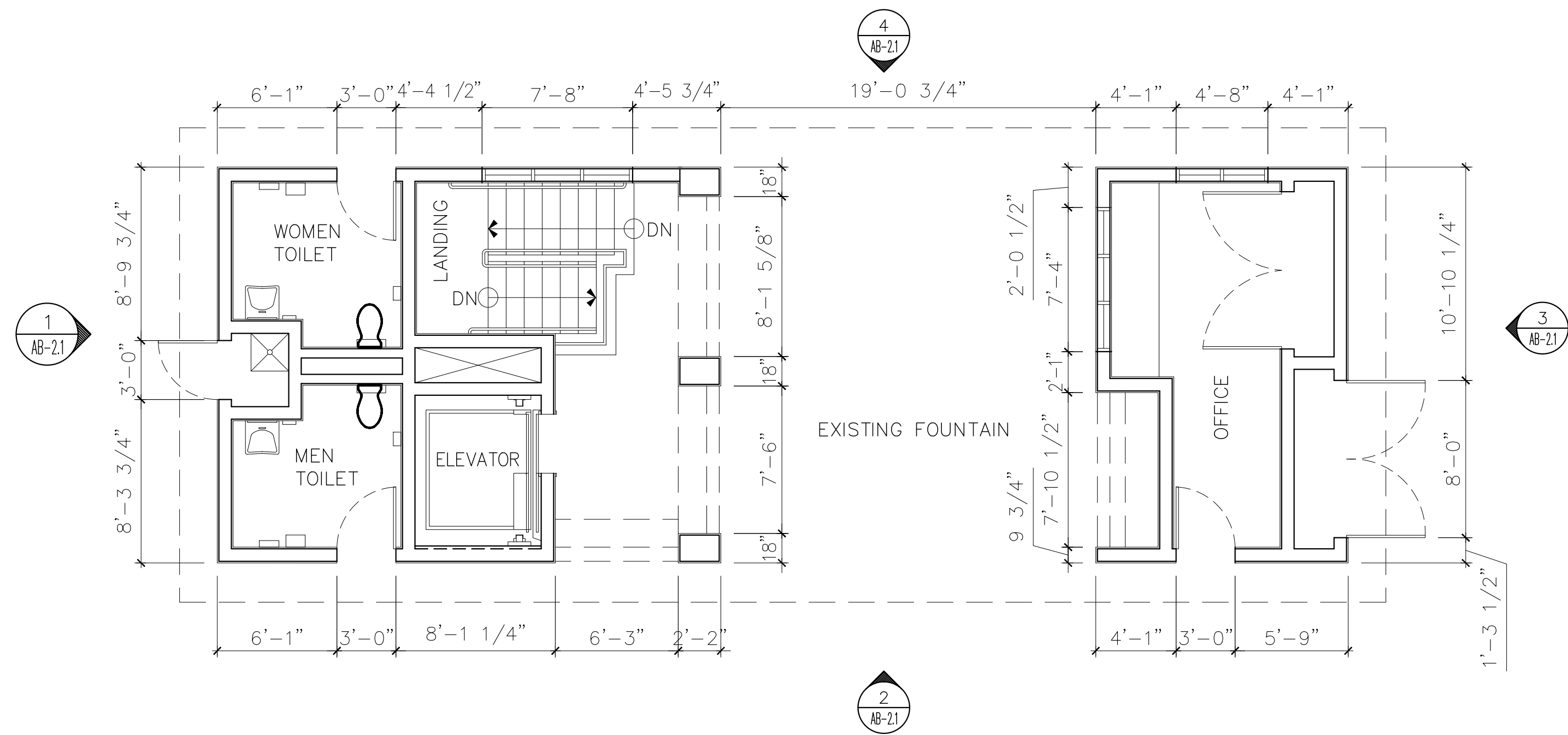
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A-11



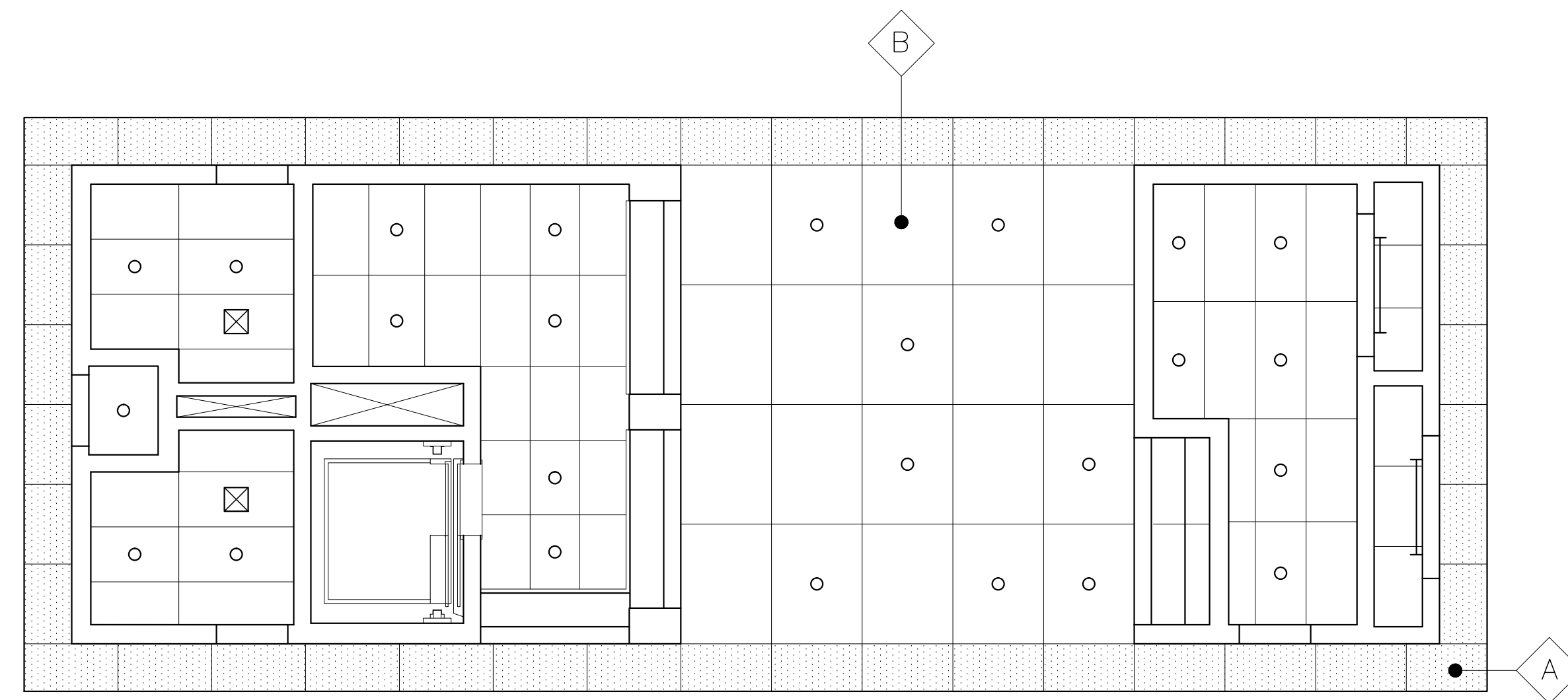
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A-11



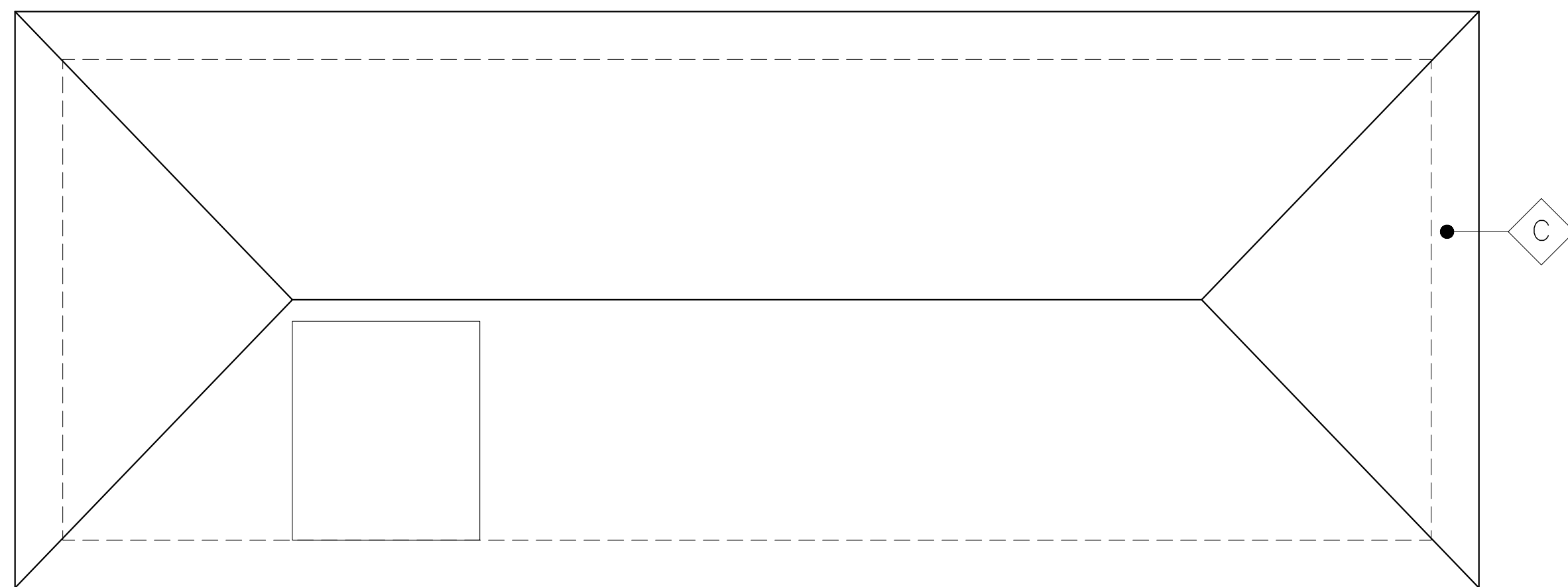
KEY MAP



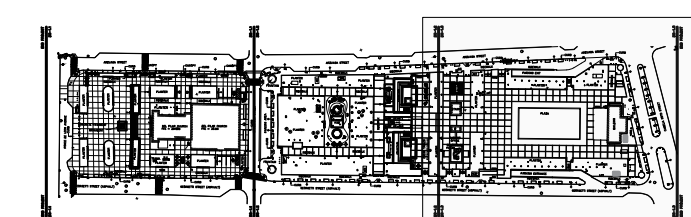
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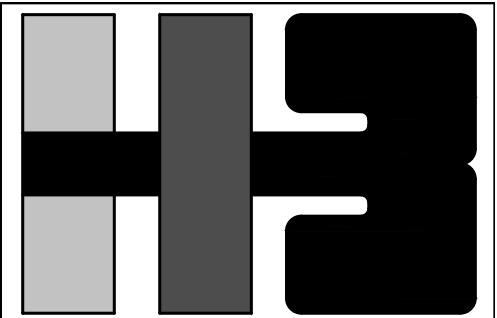
EXISTING BUILDING B REFLECTING CEILING
SCALE: 3/16" = 1'-0"



EXISTING BUILDING B ROOF PLAN
SCALE: 3/16" = 1'-0"



KEY MAP



HERNANDEZ-BAUZA PSC, ARCHITECTS
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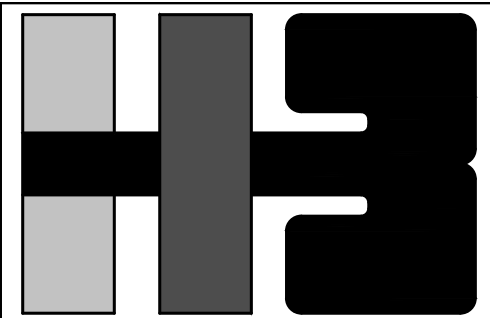
NO.	DATE	REVISION	BY	APPROVED

PROJECT

DRAWING BY/CHECKED BY
jdd I.H.

NUMBER	TOTAL
28	62

DRAWING NUMBER
AB-2.0



**HERNANDEZ-BAUZA
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EXISTING BUILDING B
ELEVATIONS

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NO. DATE REVISION BY APPROVED

NO.	DATE	REVISION	BY	APPROVED

PROJECT

DRAWING BY/CHECKED BY

jdd I.H.

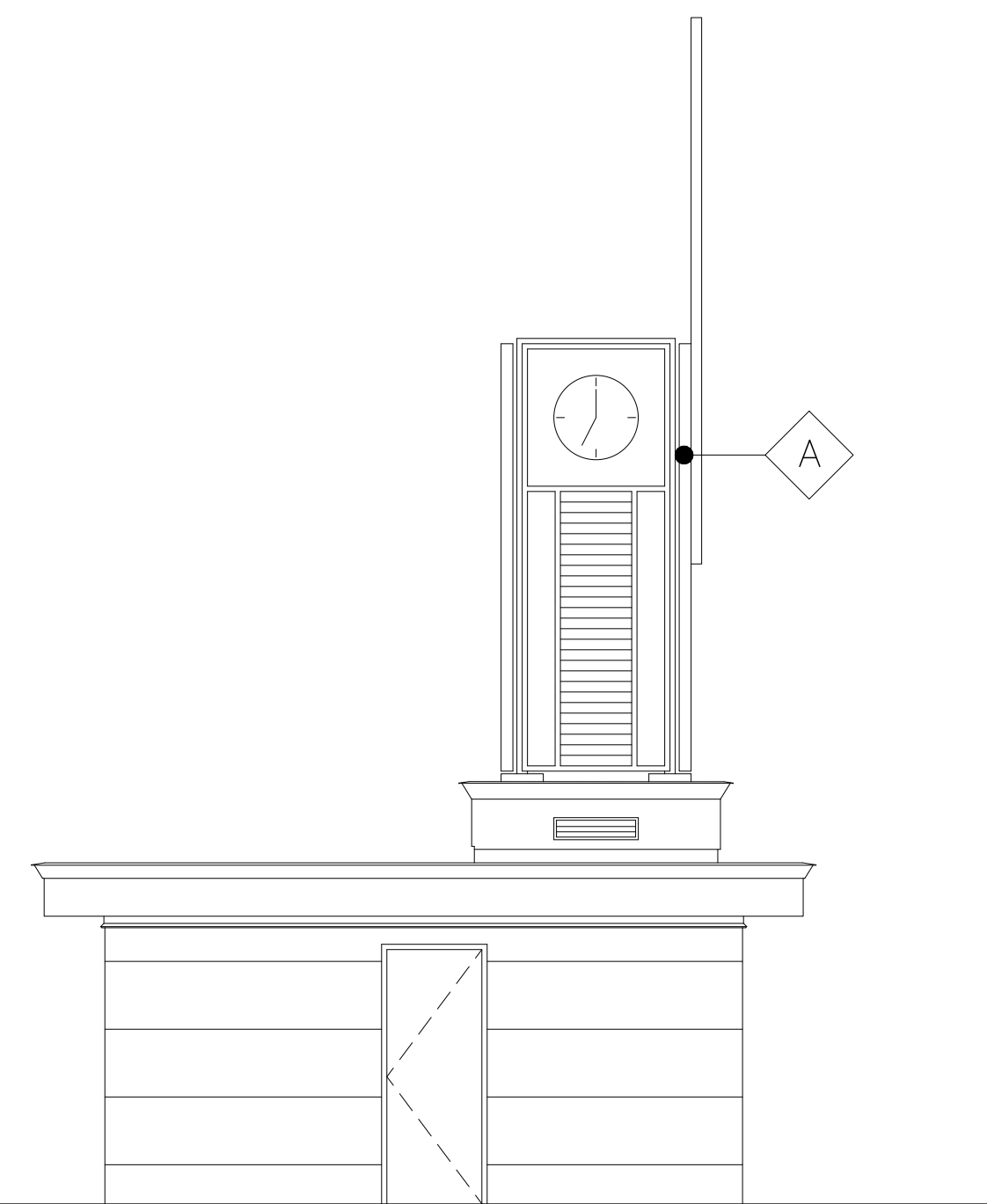
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
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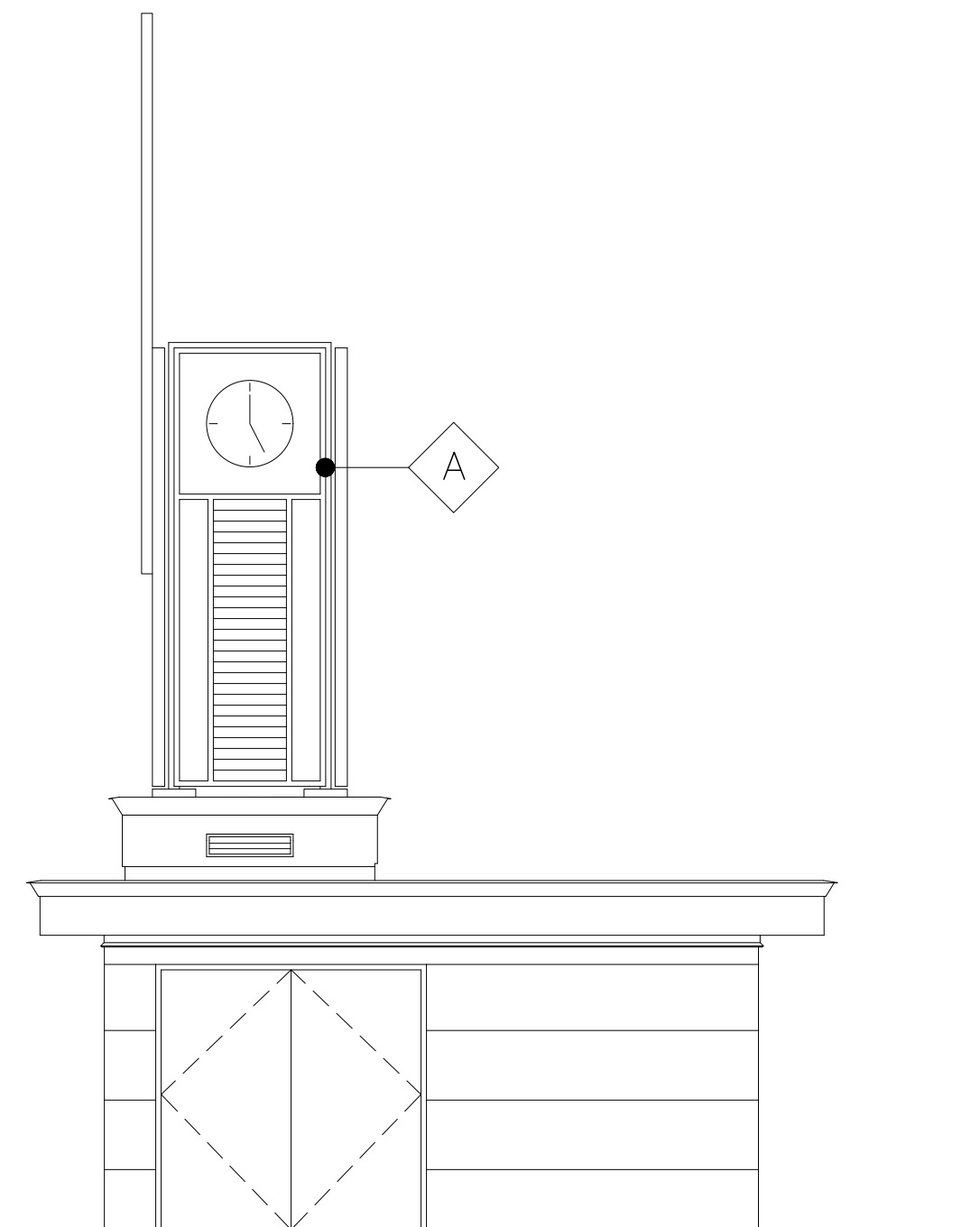
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
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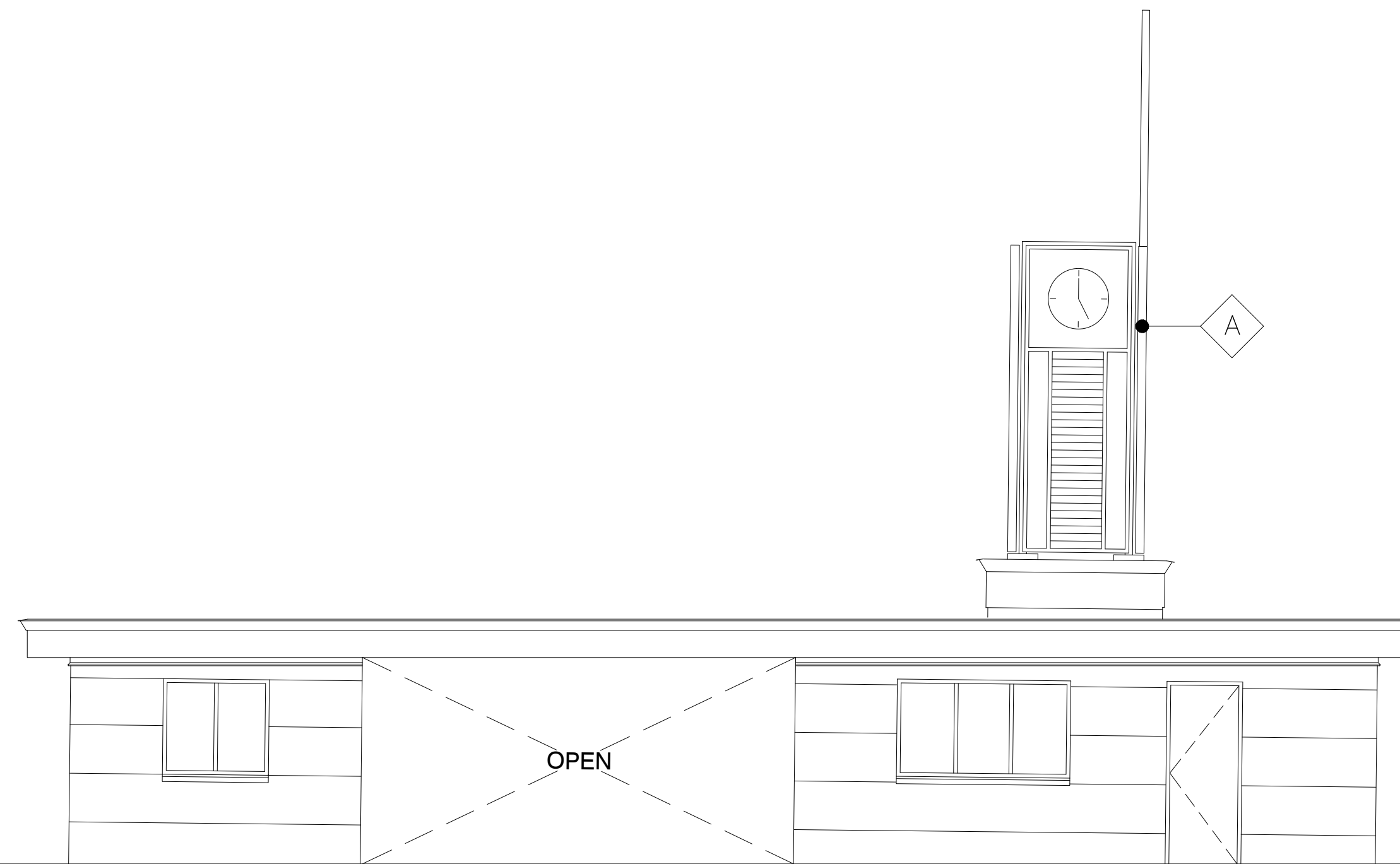
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


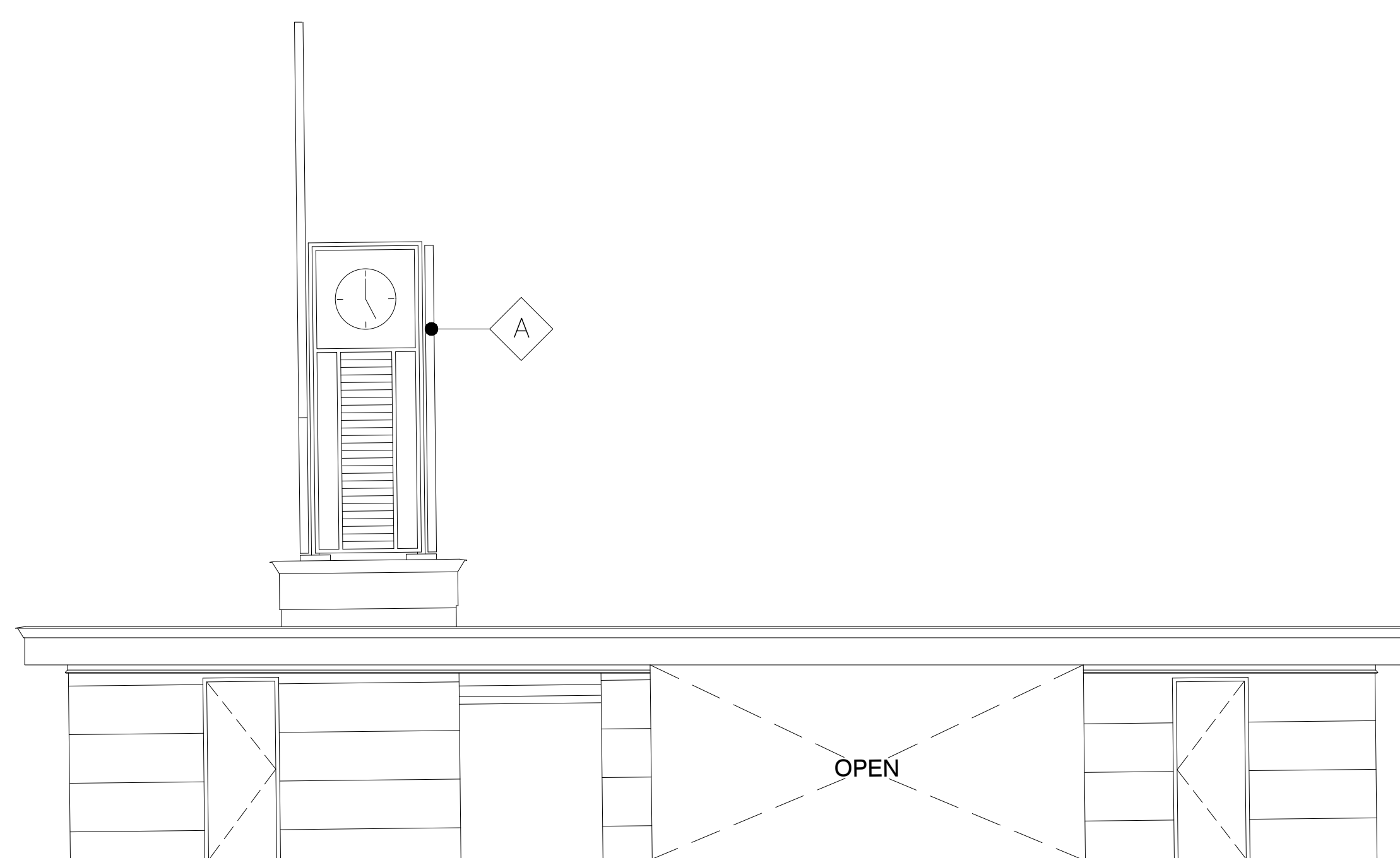
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


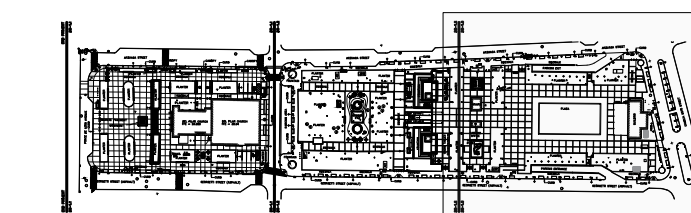
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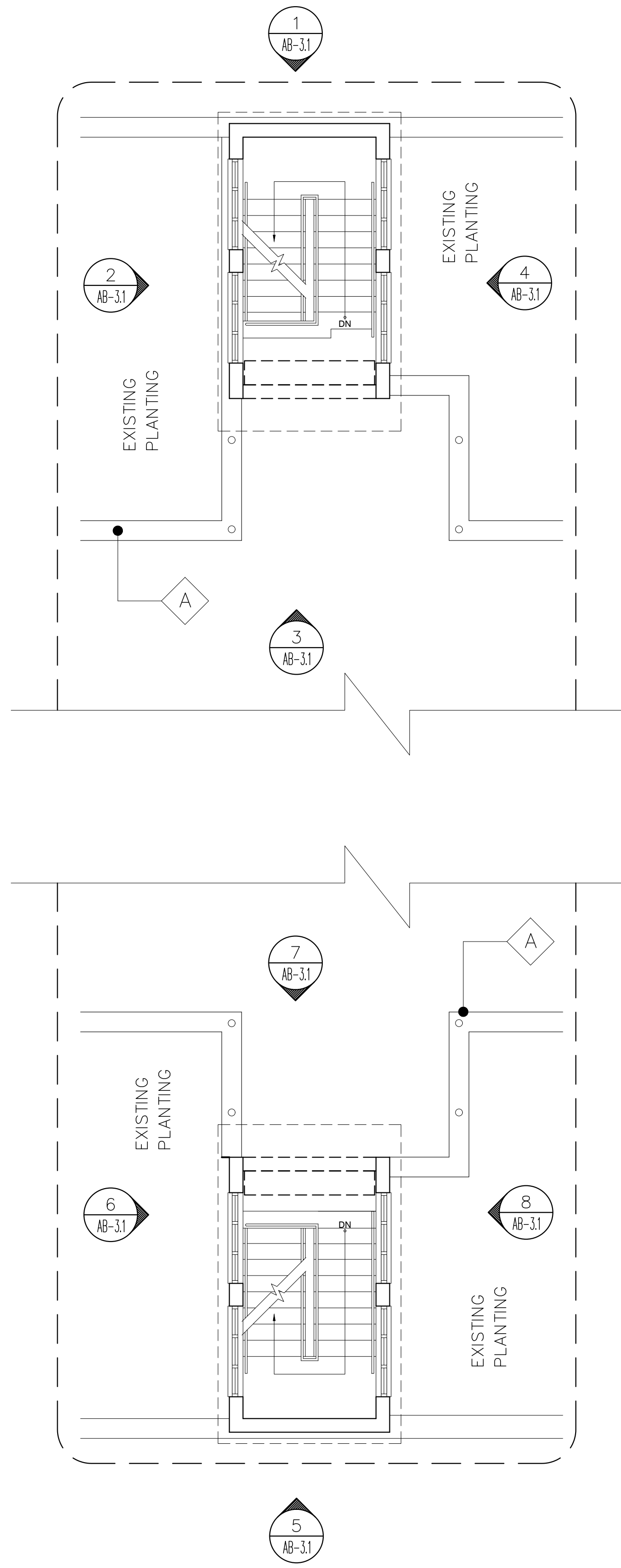
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ELEVATION 
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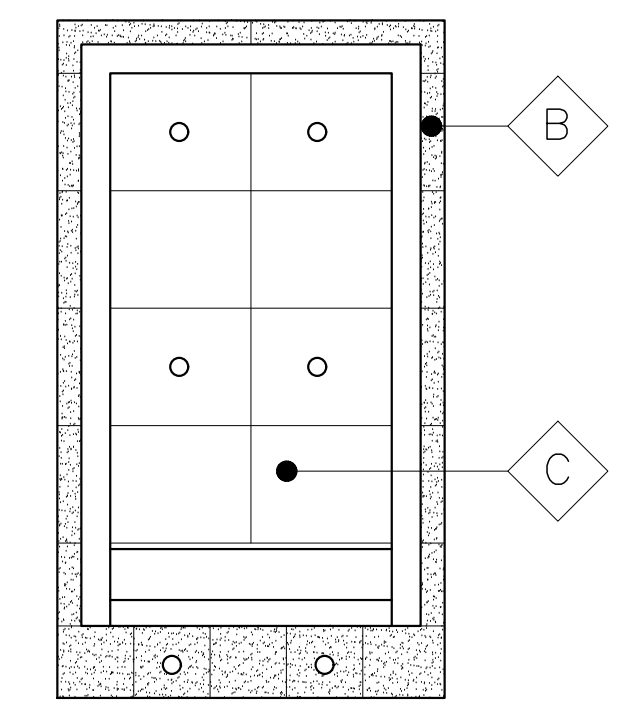


KEY MAP

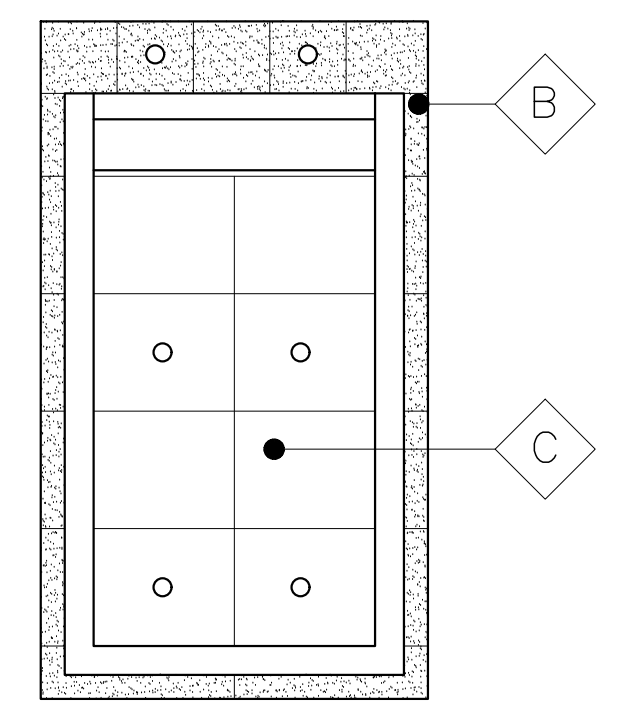


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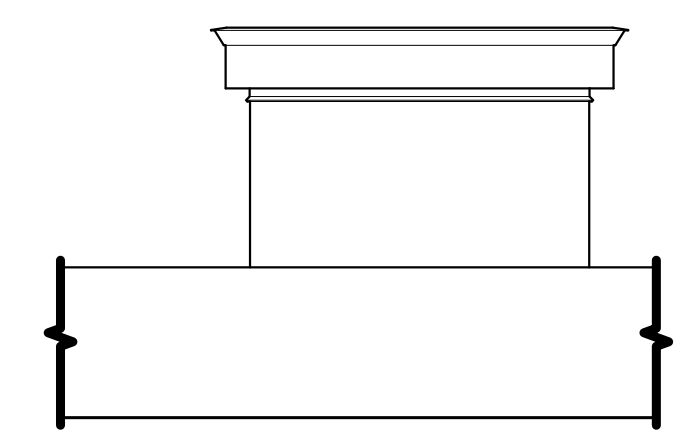
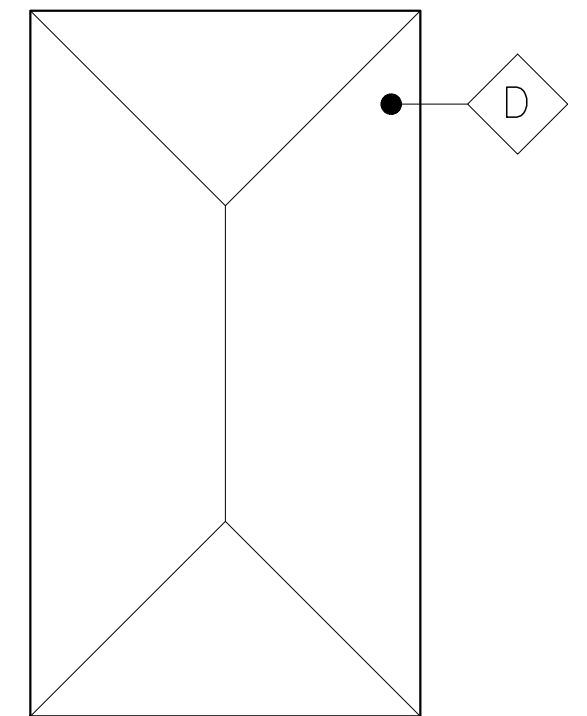
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 - B EXISTING STAINLESS STEEL PERFORATE PANEL
 - C EXISTING PLYWOOD LAMINATED
 - D WATERPROOFING MEMBRANE



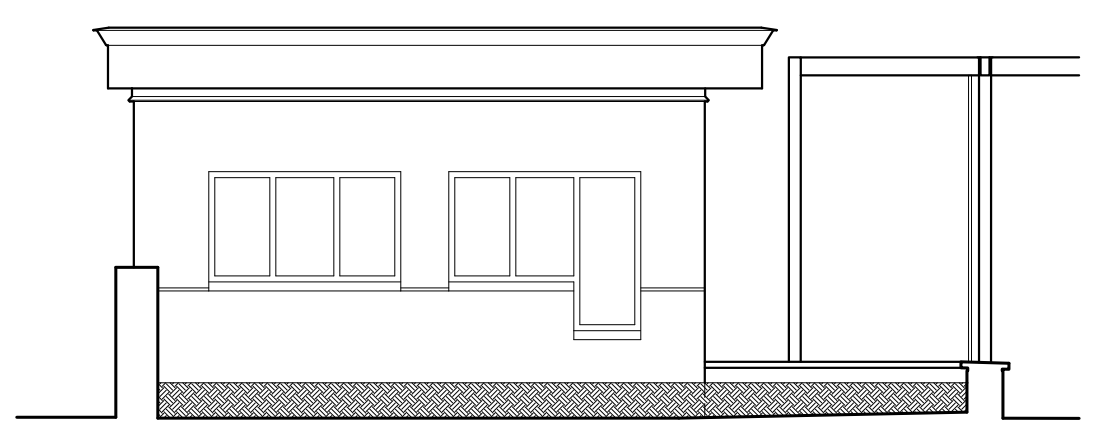
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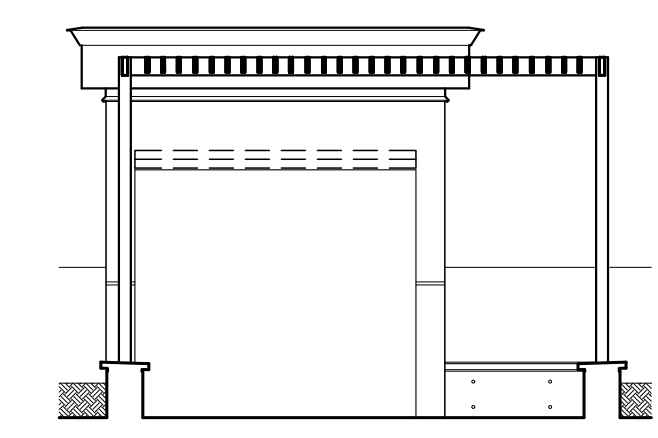
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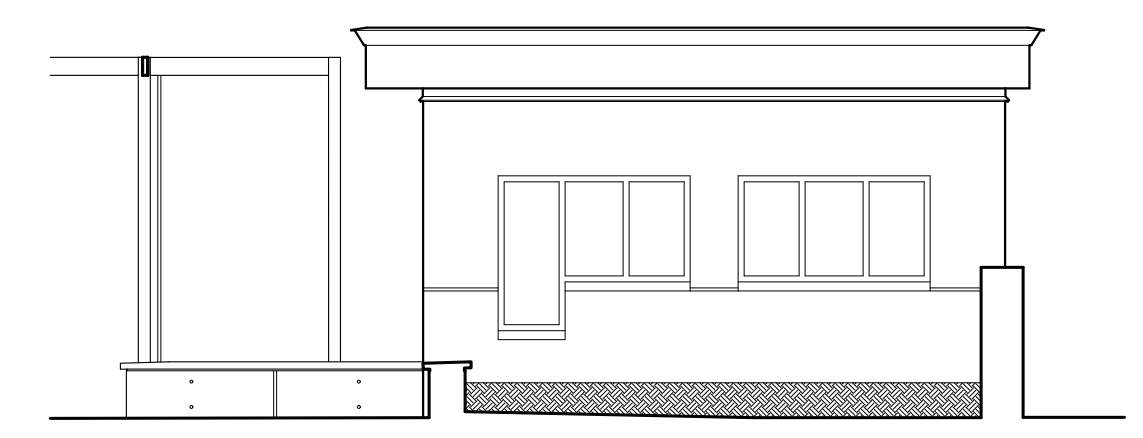
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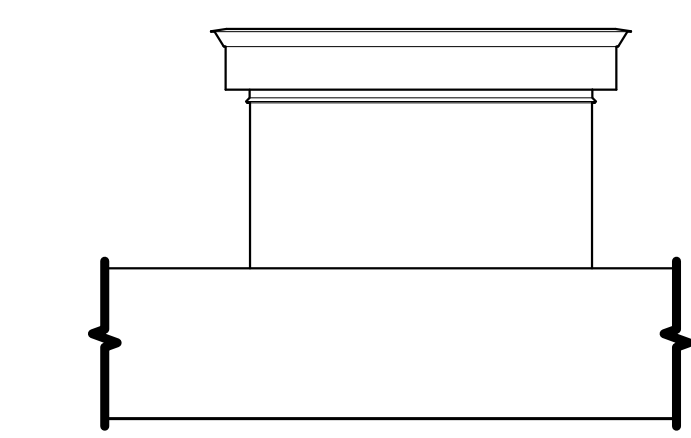
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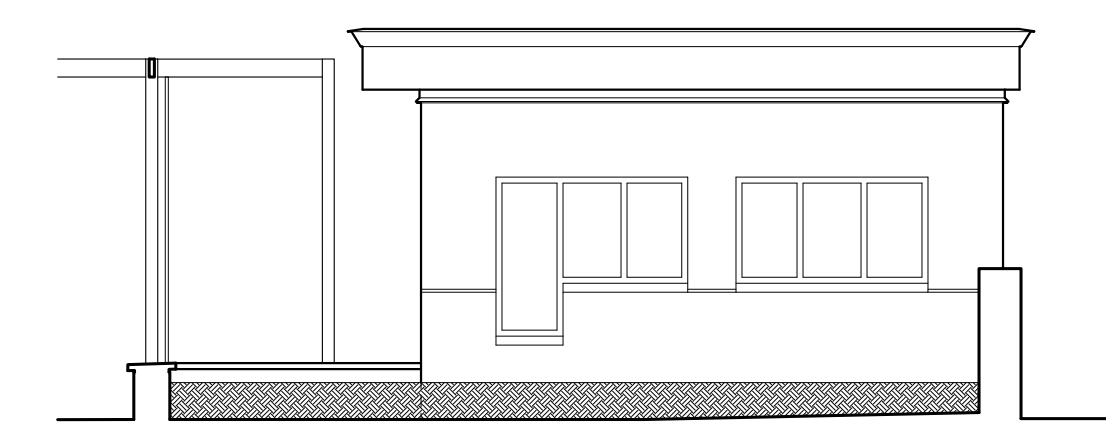
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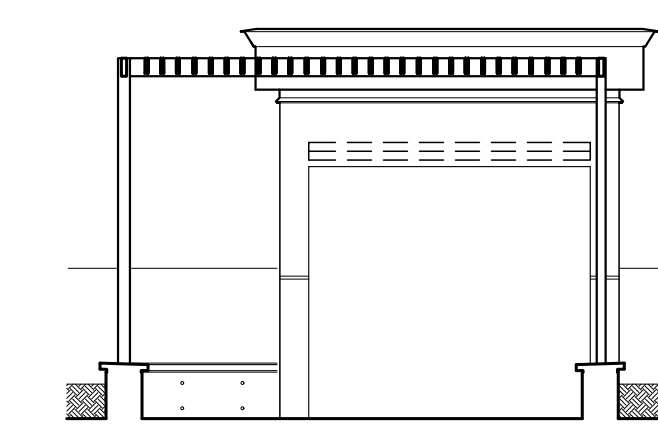
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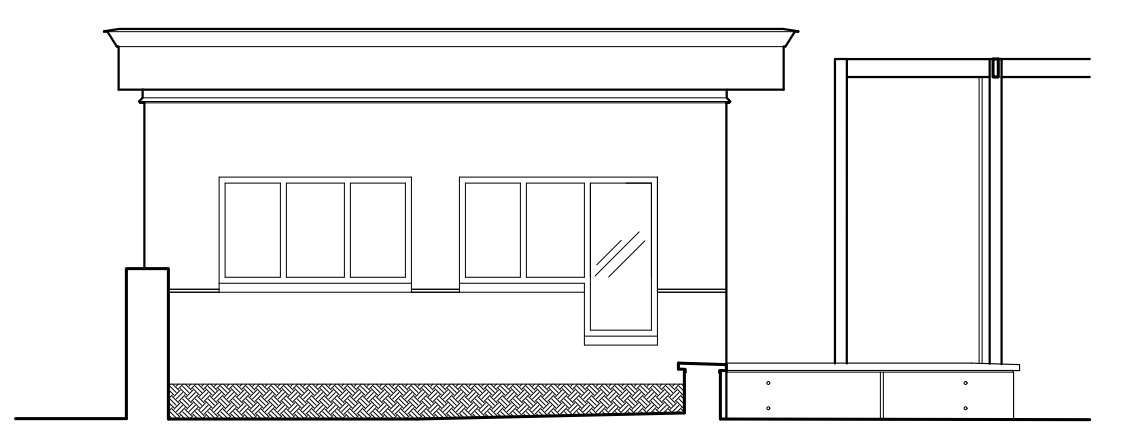
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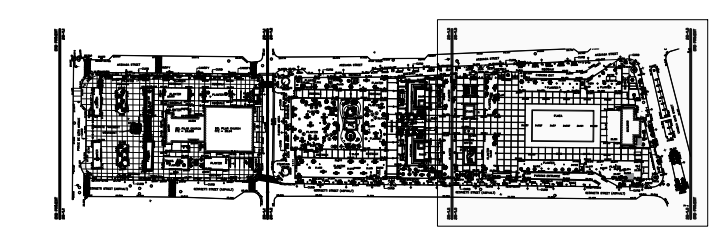
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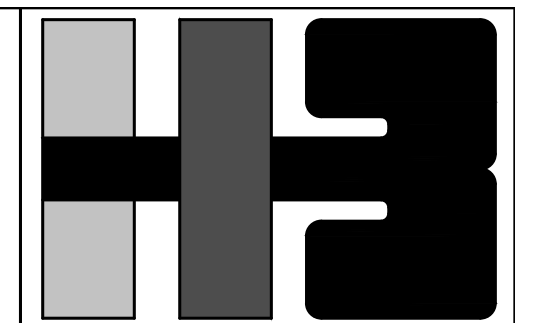
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ELEVATION 8
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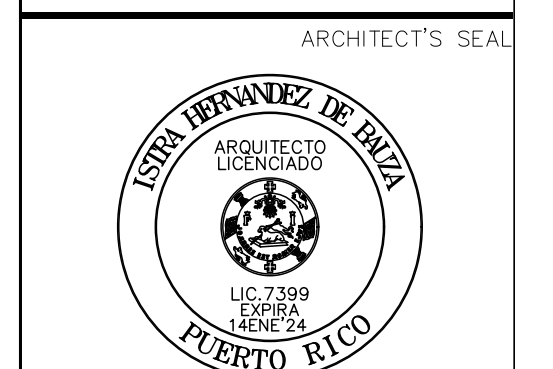
KEY MAP



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PROJECT
DRAWING BY/CHECKED BY
jdd I.H.

NUMBER	TOTAL
30	62

DRAWING NUMBER
AB-3.0

PHOTOGRAPHIC DOCUMENTATION

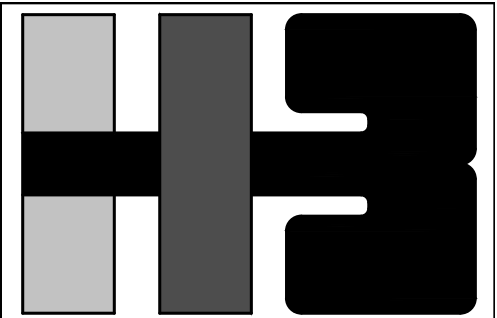
BUILDING A AREA



BUILDING B AREA



BUILDING B AREA



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CLIENT
MANAGER
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OWNER
AUTONOMOUS MUNICIPALITY OF SAN JUAN

PROJECT
IMPROVEMENTS OF "PLAZA DE LA CONVALESCENCIA" AND "PLAZA DEL PILAR"

DRAWING NAME
PHOTOGRAPHIC DOCUMENTATION

COMPUTER PLOT
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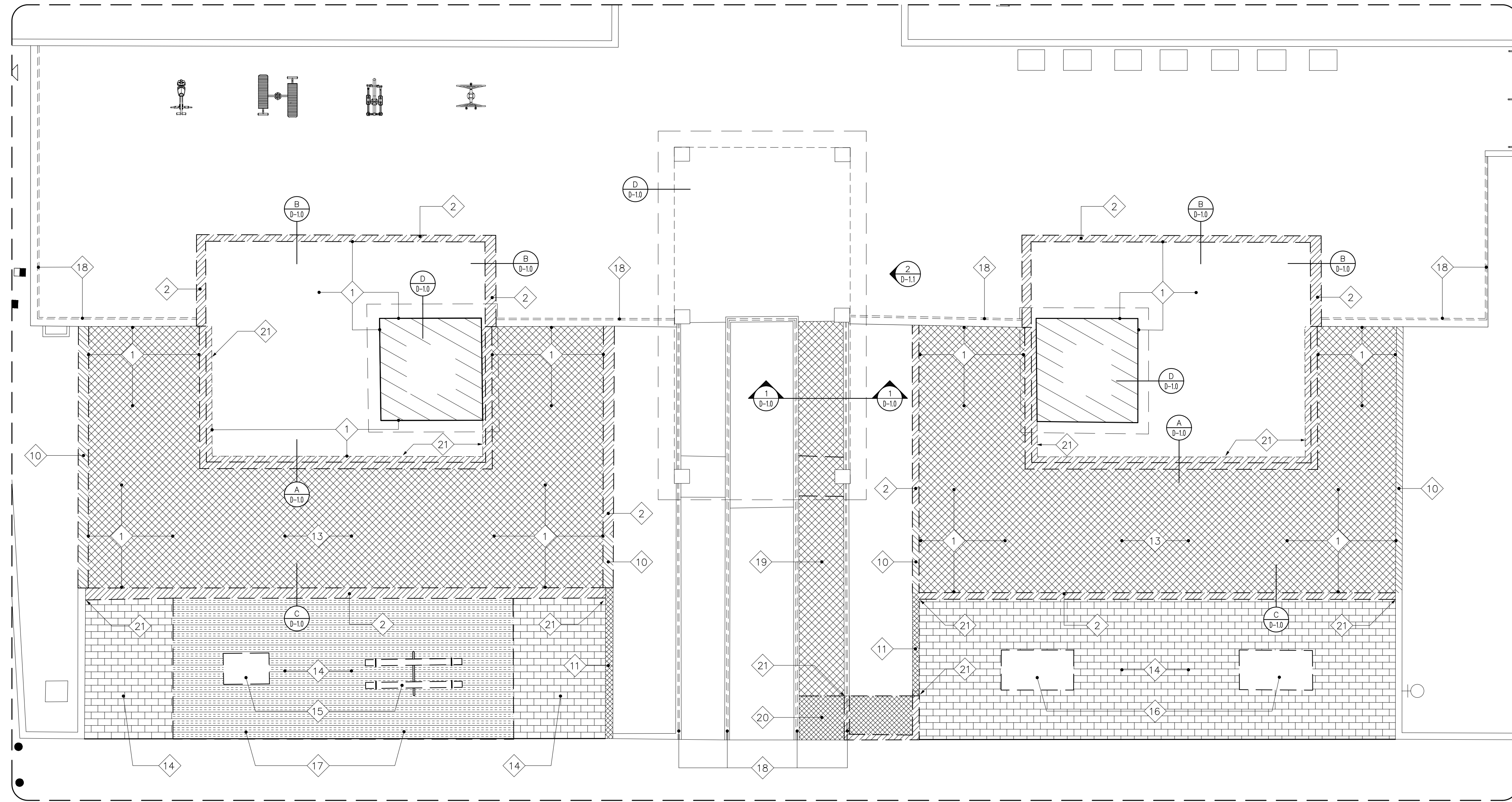
NO.	DATE	REVISION	BY	APPROVED

PROJECT

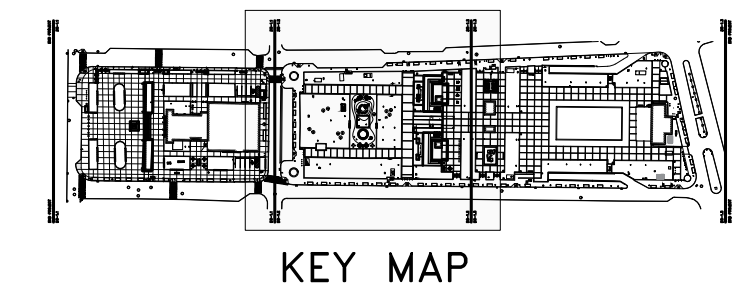
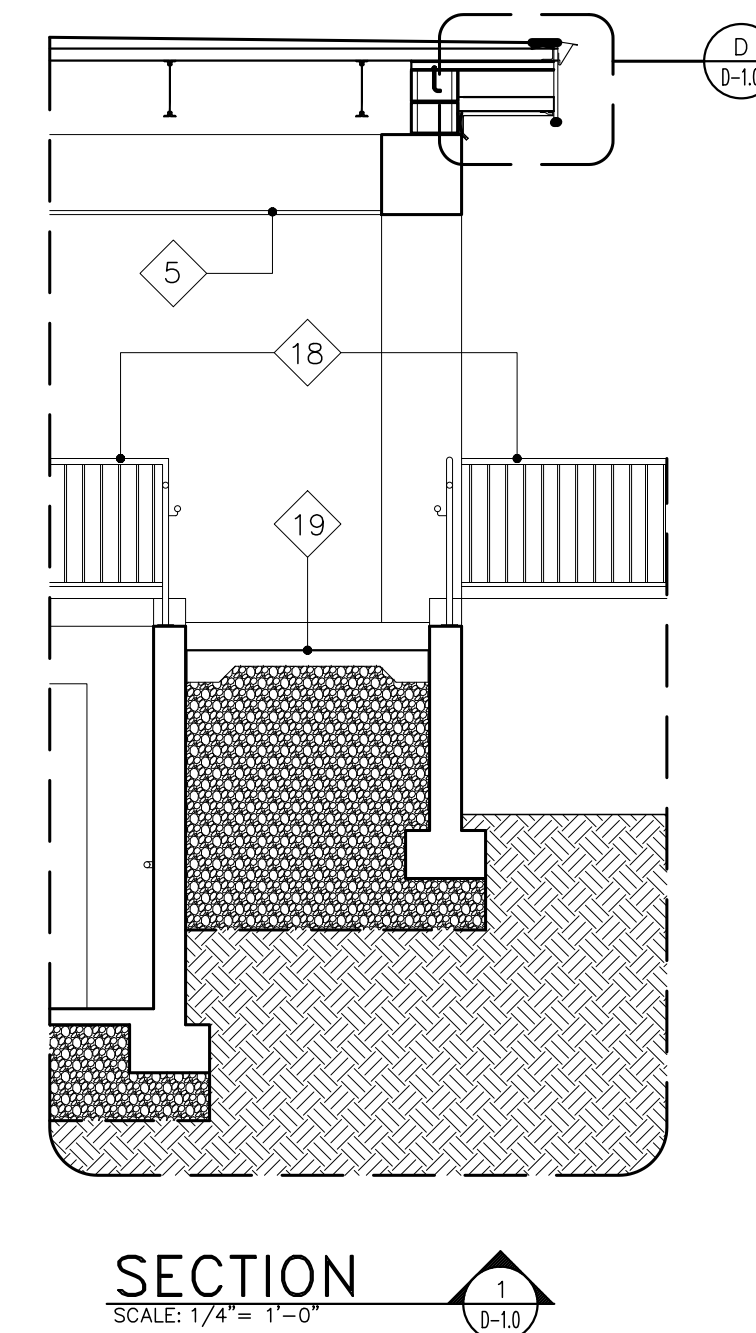
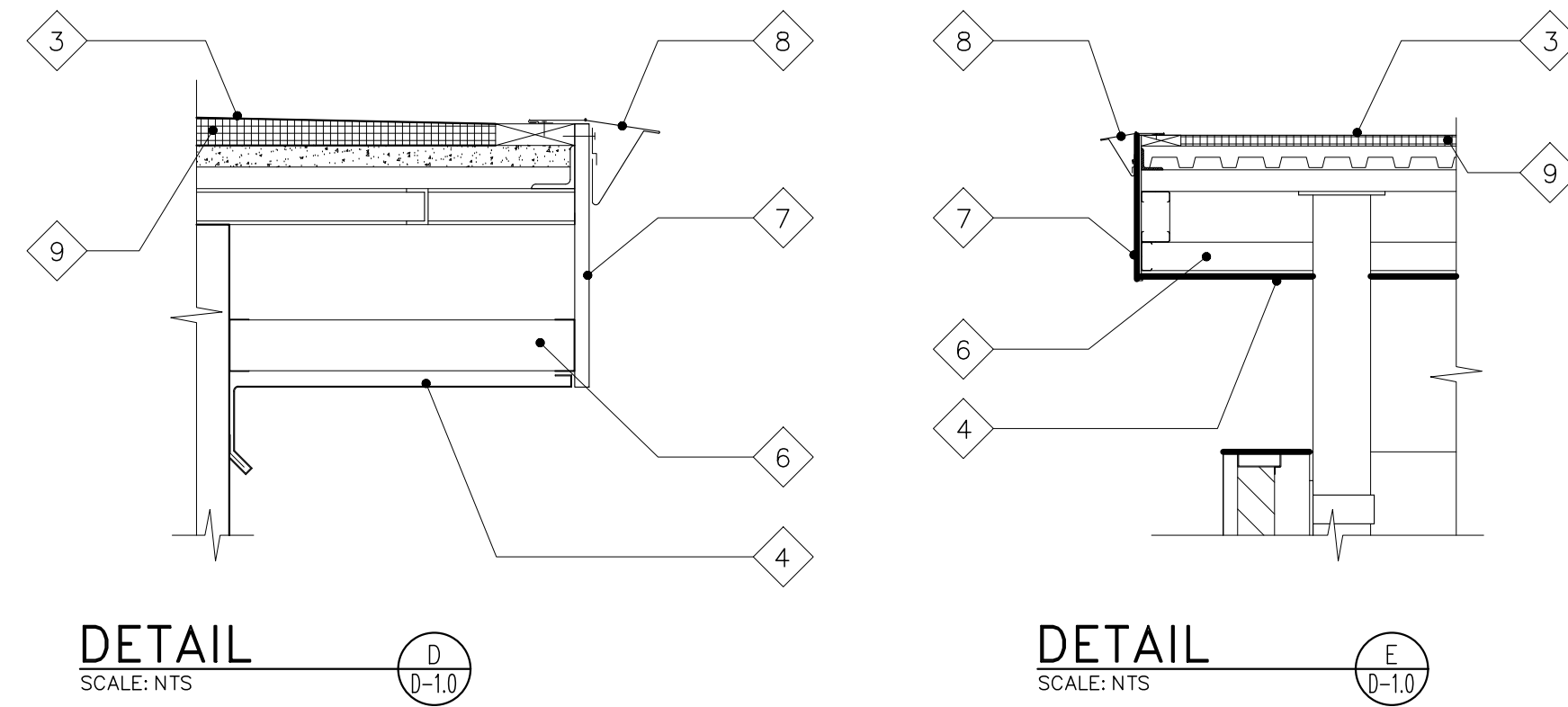
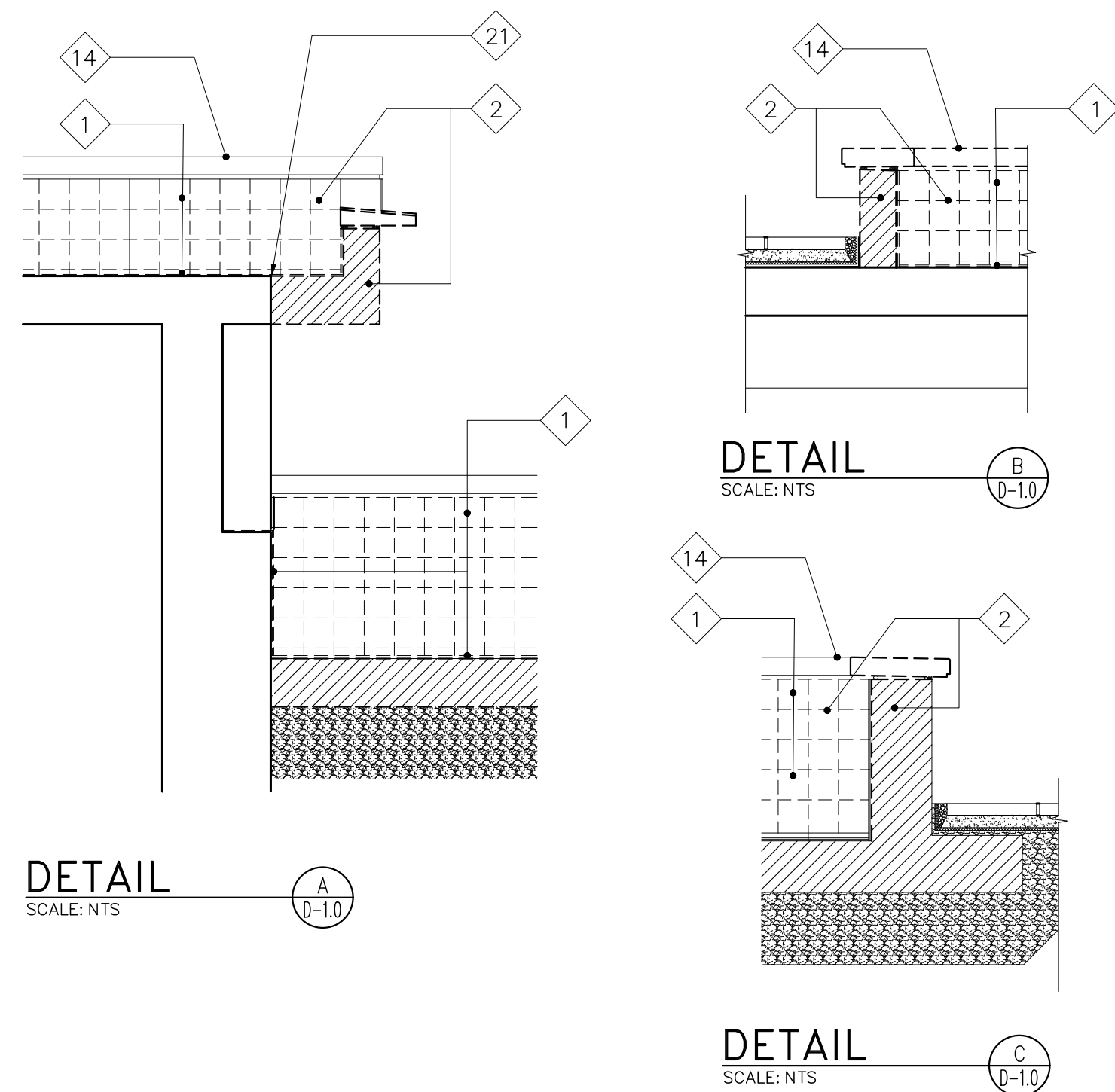
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jdd I.H.

NUMBER	TOTAL
31	62

DRAWING NUMBER
AB-4.0



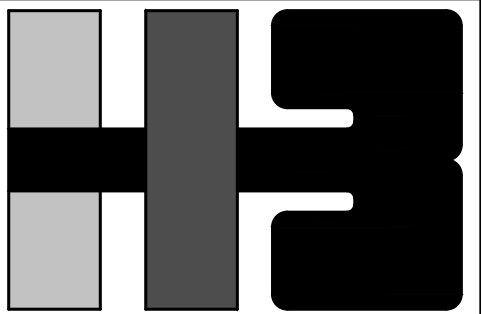
EXISTING GAZEBO RAMP AREA DEMOLITION FLOOR PLAN
SCALE: 1/8" = 1'-0"



LEGEND:

SYMBOL	DESCRIPTION
[Hatched pattern]	EXISTING SLAB PORTION TO BE DEMOLISHED
[Hatched pattern]	EXISTING GRANITE STONE TO BE REMOVED & REUSED
[Hatched pattern]	EXISTING LOW-WALL PORTION TO BE DEMOLISHED
[Hatched pattern]	EXISTING LOW-WALL PORTION TO BE LOWERED
[Hatched pattern]	EXISTING PAVERS TO BE REMOVED
[Hatched pattern]	EXISTING ARTIFICIAL GRASS TO BE REMOVED

- ANNOTATIONS:**
- 1 REMOVE EXISTING TILES ON FOUNTAIN FLOOR & WALLS.
 - 2 REMOVE EXISTING GRANITE STONE TO BE REUSED & RELOCATED, AND DEMOLISH EXISTING CONC. LOW WALL.
 - 3 EXISTING WATER PROOFING MEMBRANE TO BE REMOVED.
 - 4 EXISTING PERFORATED STAINLESS STEEL PANEL TO BE REMOVED, CLEANED ACCORDING TO SECTION 050100 (RESTORATION OF METALS) OF TECH SPECS, AND REINSTALLED
 - 5 EXISTING PLYWOOD LAMINATE TO BE REMOVED.
 - 6 EXISTING METAL STUB TO BE REMOVED
 - 7 EXISTING WOOD PANEL TO BE REMOVED WHERE OCCURS
 - 8 EXISTING CLAD STAINLESS STEEL ROOF EDGE TO BE REMOVED, CLEANED ACCORDING TO SECTION 050100 (RESTORATION OF METALS) OF TECH SPECS, AND REINSTALLED
 - 9 EXISTING TAPERED INSULATION TO BE REMOVED
 - 10 REMOVE EXISTING GRANITE STONE TO BE REUSED & RELOCATED, AND LOWER EXISTING CONC. LOW WALL UNTIL LEVEL WITH ADJACENT.
 - 11 REMOVE EXISTING GRANITE STONE TO BE REUSED & RELOCATED.
 - 12 DEMOLISH EXISTING PAVER PORTION FOR NEW ADA RAMP EXTENSION.
 - 13 DEMOLISH EXISTING CONCRETE SLAB
 - 14 CAREFULLY REMOVE EXISTING GRANITE STONE TO BE REUSED
 - 15 CAREFULLY REMOVE EXISTING PLAYGROUND EQUIPMENT TO BE RELOCATED
 - 16 CAREFULLY REMOVE EXISTING CONCRETE EQUIPMENT TO BE RELOCATED
 - 17 REMOVE EXISTING PLAYGROUND ARTIFICIAL GRASS FLOORING
 - 18 REMOVE EXISTING RAILINGS TO BE REPLACED
 - 19 SCARIFY EXISTING CONCRETE RAMP TO BE REMODELED.
 - 20 DEMOLISH EXISTING RAMP PORTION TO BE REMODELED.
 - 21 SAW CUT EXISTING LOW-WALL PORTION. PATCH AS REQUIRED.



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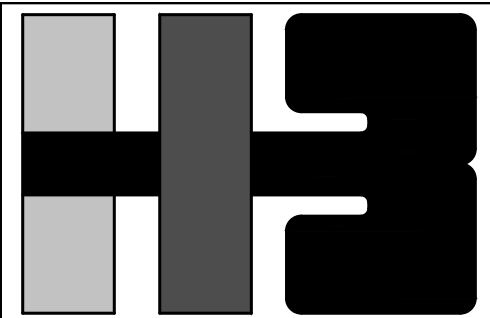
PROJECT
IMPROVEMENTS OF "PLAZA DE LA CONVALESCENCIA" AND "PLAZA DEL PILAR"

DRAWING NAME
EXISTING BUILDING A DEMOLITION FLOOR PLAN

COMPUTER PLOT
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1	3/1/24		L.R.	L.H.

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DRAWING BY/CHECKED BY	
jdd	I.H.
NUMBER	TOTAL
32	62
DRAWING NUMBER	
D-1.0	



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PROJECT
IMPROVEMENTS OF "PLAZA
DE LA CONVALECENCIA"
AND "PLAZA DEL PILAR"

DRAWING NAME
EXISTING BUILDING A
DEMOLITION, REFLECTED
CEILING, ROOF PLAN & DETAILS

COMPUTER PLOT
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PROJECT

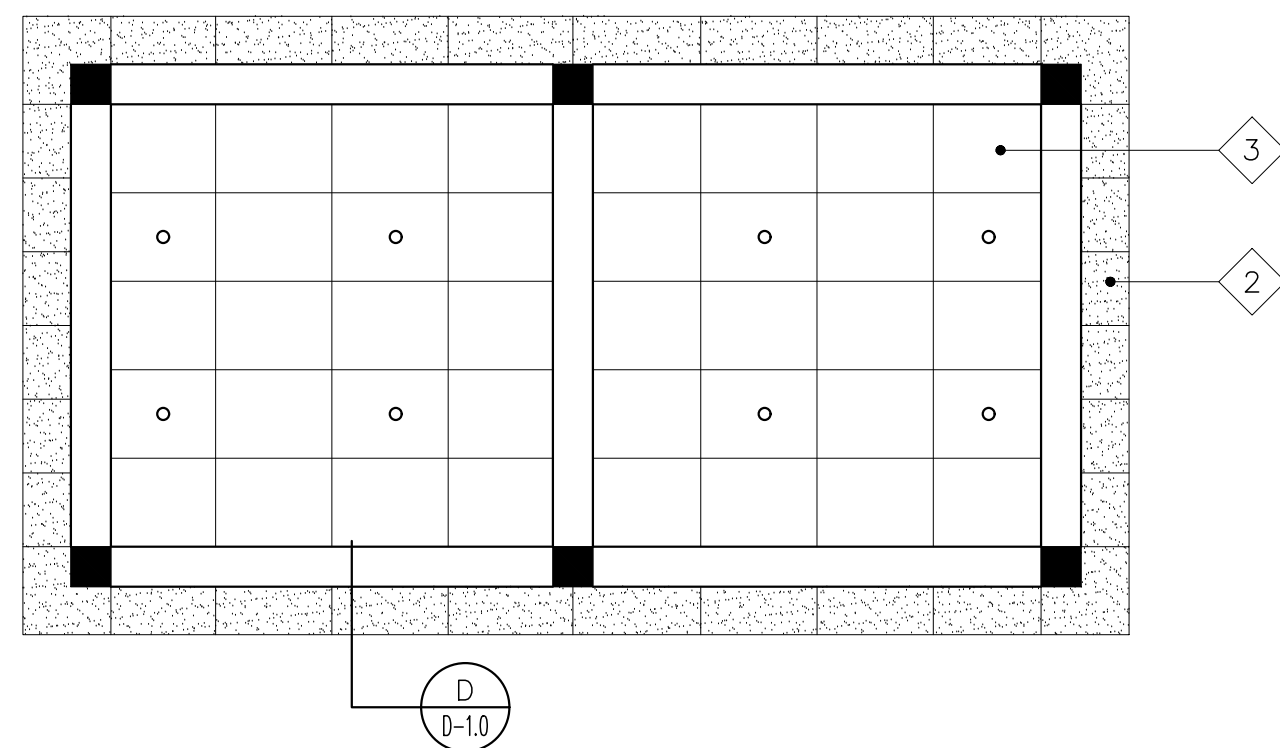
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NUMBER	TOTAL
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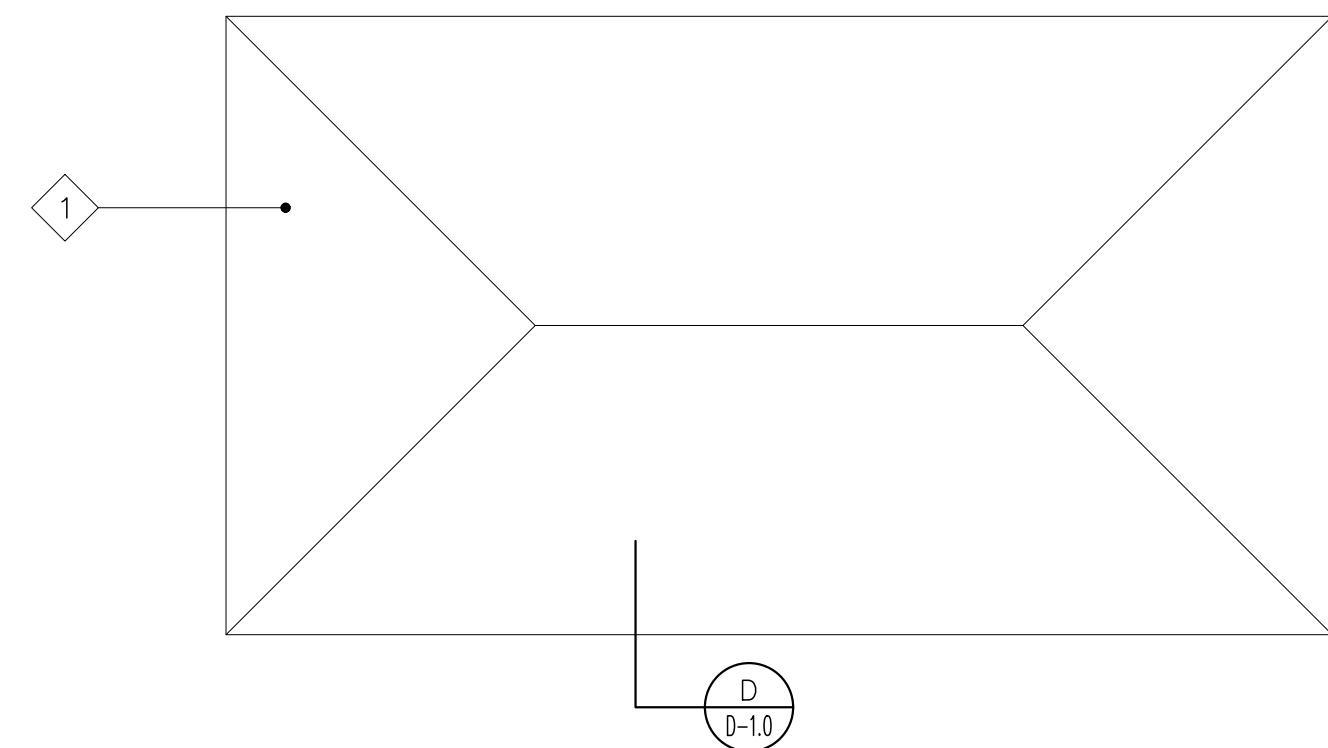
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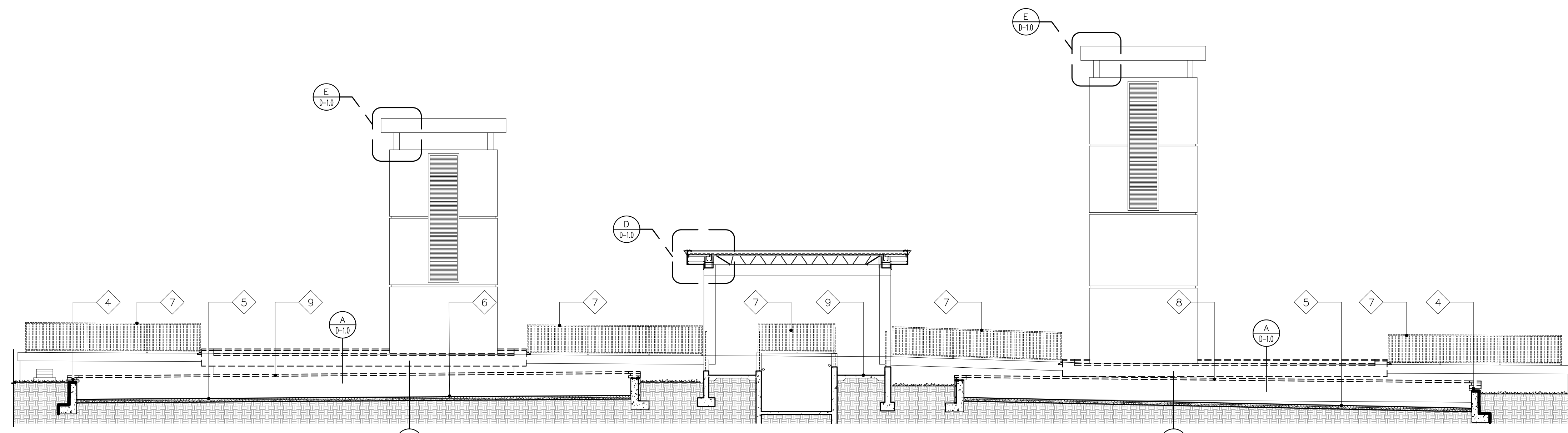
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- 4 REMOVE EXISTING GRANITE STONE TO BE REUSED & RELOCATED.
- 5 DEMOLISH EXISTING PAVERS
- 6 REMOVE EXISTING PLAYGROUND FLOORING
- 7 REMOVE EXISTING RAILINGS TO BE REPLACED
- 8 REMOVE EXISTING GRANITE STONE TO BE REUSED & RELOCATED, AND DEMOLISH EXISTING CONC. LOW WALL.
- 9 SCARIFY EXISTING CONCRETE RAMP TO BE REMODELED.
- 10 DEMOLISH EXISTING RAMP PORTION TO BE REMODELED.



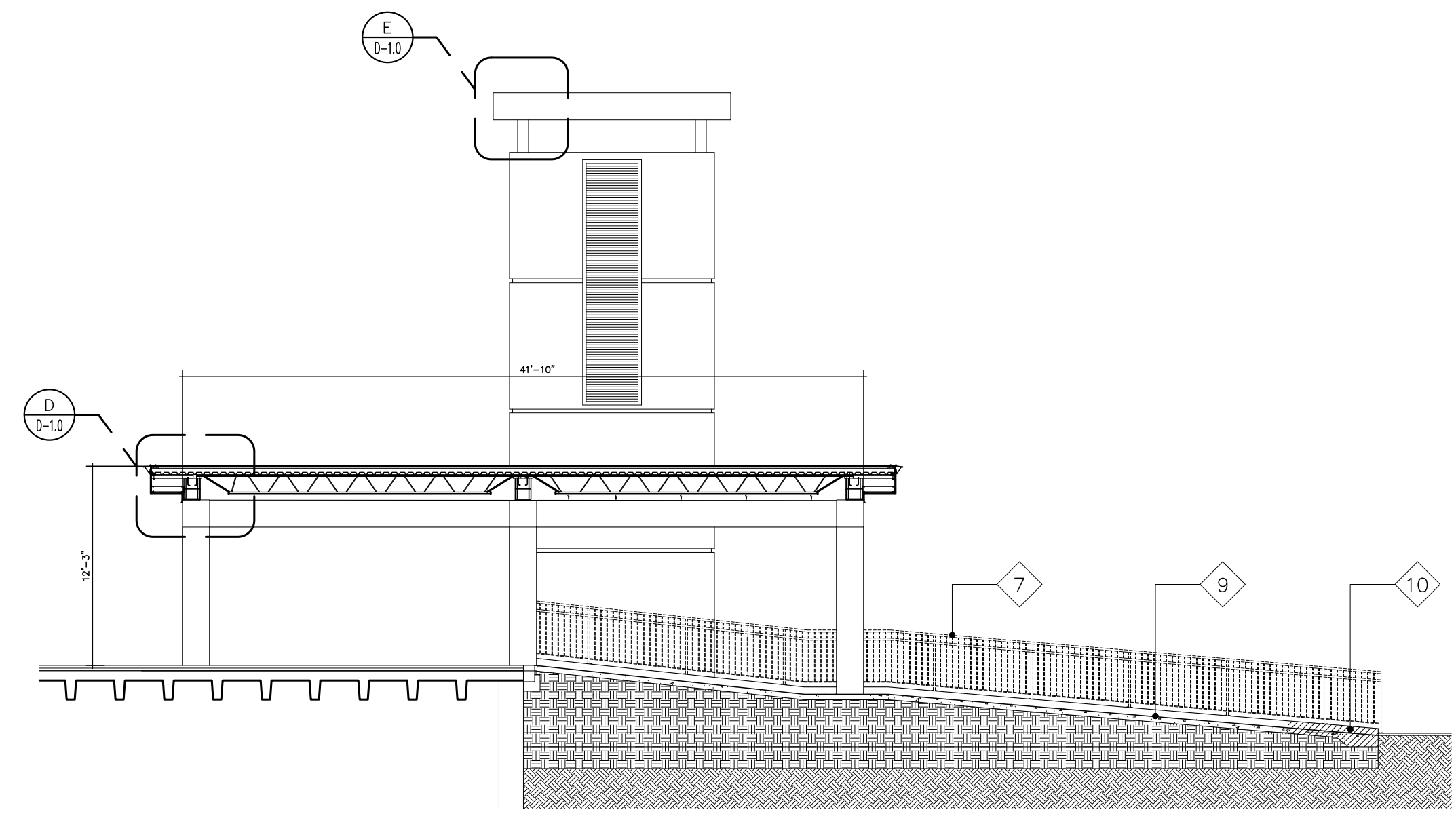
EXISTING GAZEBO RAMP REFLECTING
CEILING DEMOLITION FLOOR PLAN
SCALE: 1/8" = 1'-0"



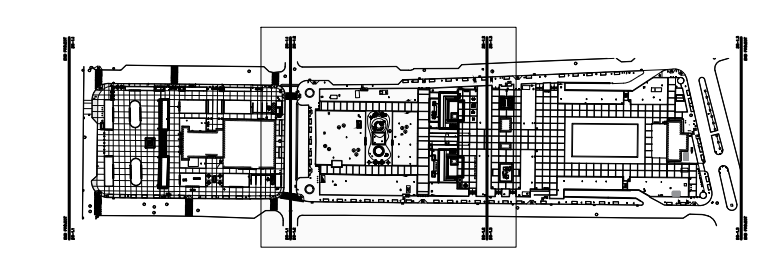
EXISTING GAZEBO RAMP ROOF
DEMOLITION FLOOR PLAN
SCALE: 1/8" = 1'-0"



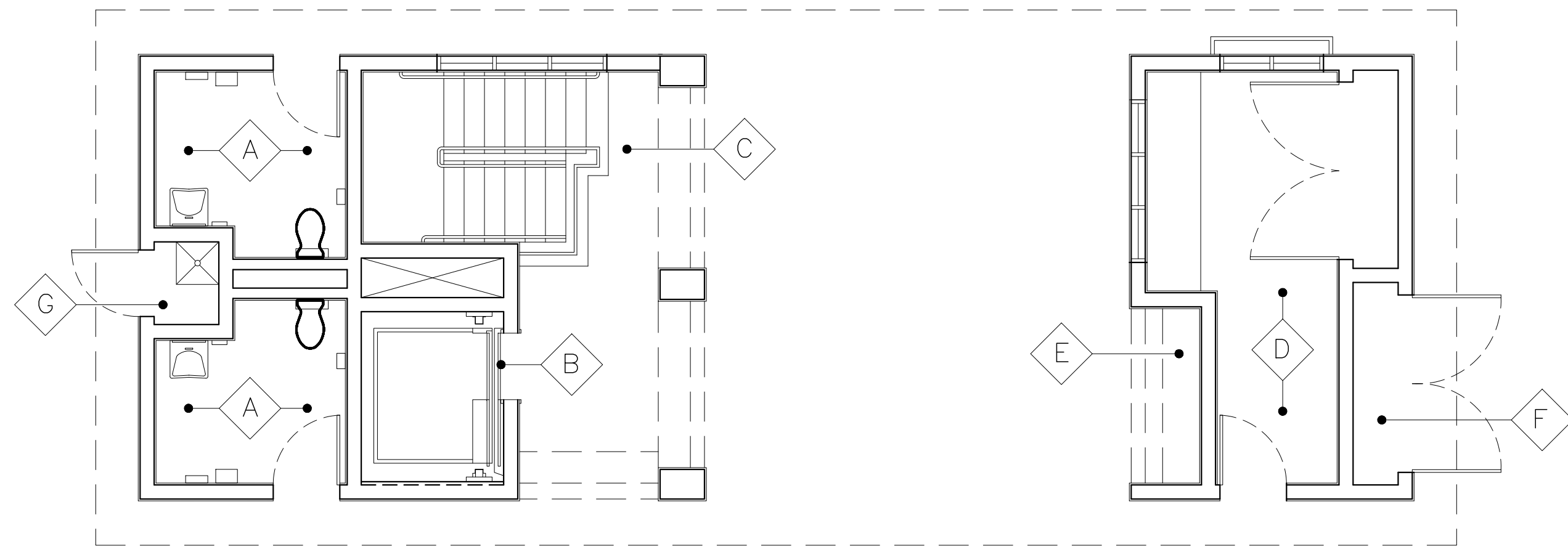
ELEVATION 1
SCALE: 1/4" = 1'-0"



ELEVATION 2
SCALE: 1/4" = 1'-0"

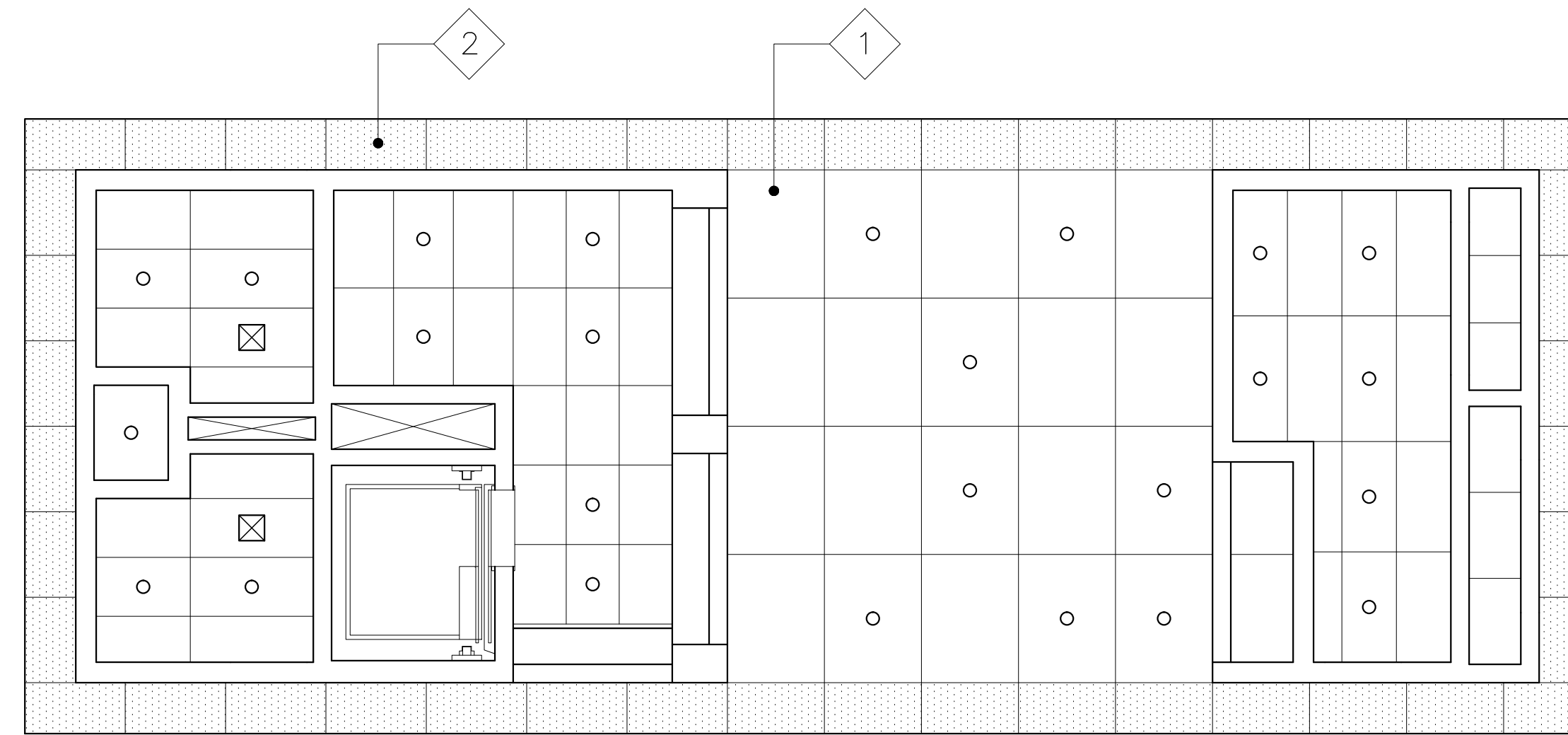


KEY MAP



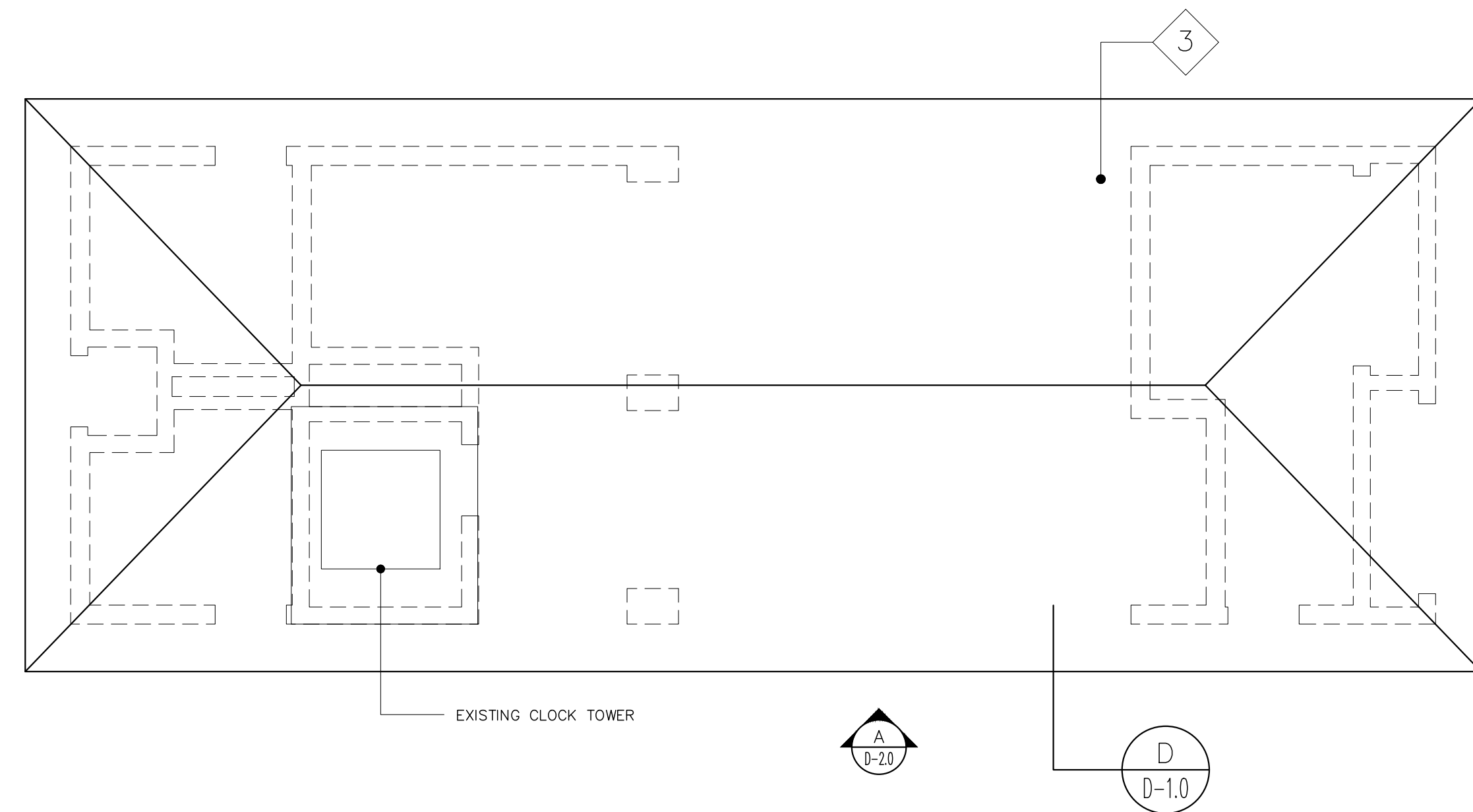
EXISTING BUILDING B FLOOR PLAN

SCALE: 3/16" = 1'-0"



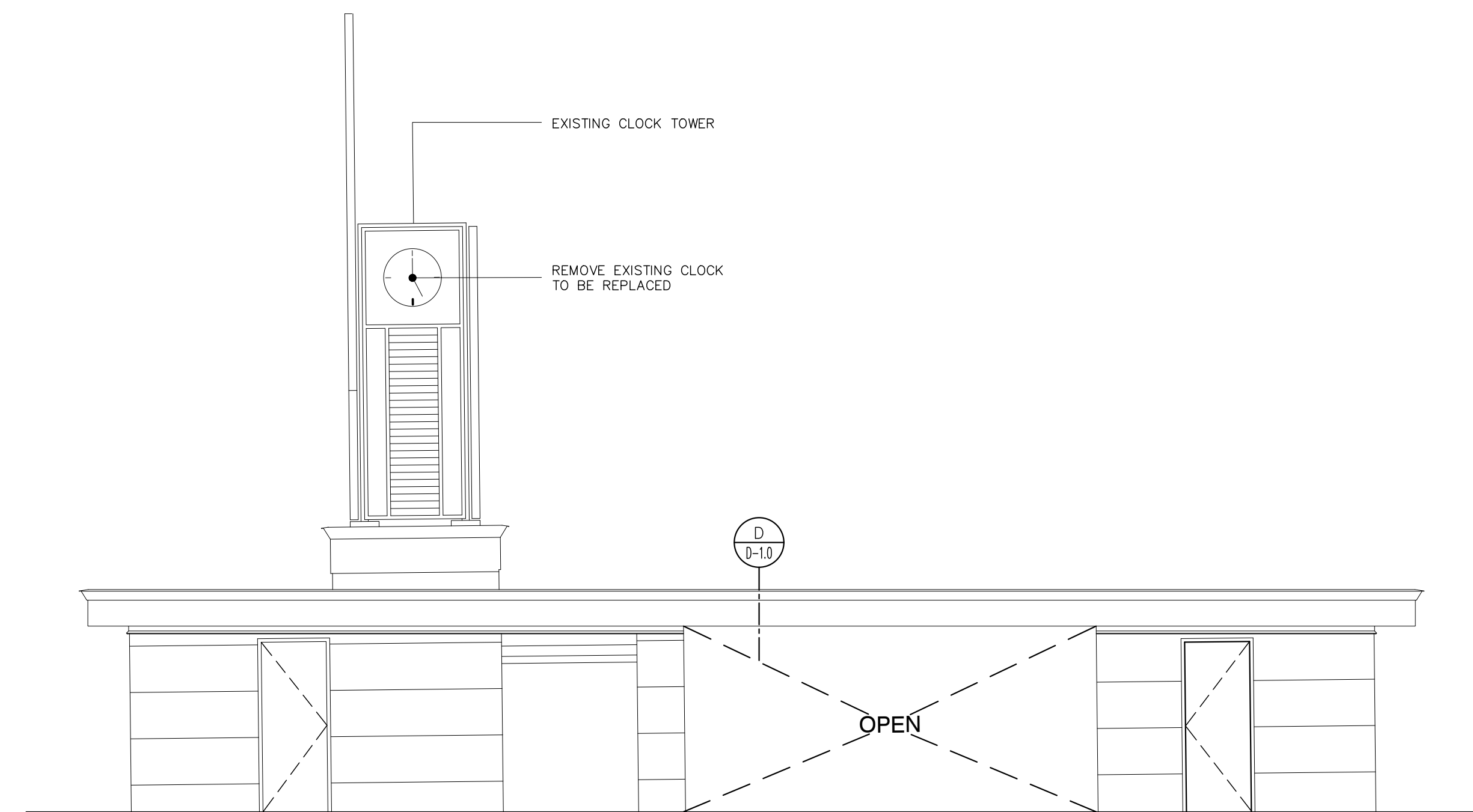
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SCALE: 3/16" = 1'-0"



EXISTING BUILDING B ROOF PLAN

SCALE: 3/16" = 1'-0"

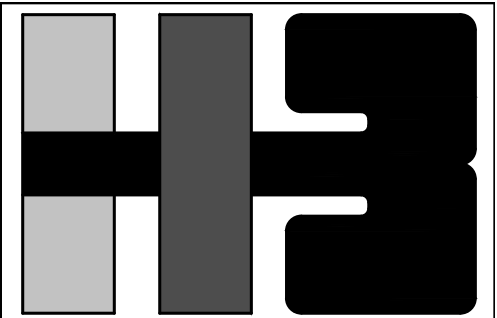


EXISTING BUILDING B ELEVATION

SCALE: 3/16" = 1'-0"

LEGEND:

- 1 EXISTING PLYWOOD LAMINATE TO BE REMOVED
- 2 EXISTING PERFORATED STAINLESS STEEL PANEL TO BE REMOVED, CLEAN ACCORDING TO SECTION 050100 (RESTORATION OF METALS) OF TECH SPECS, AND REINSTALLED
- 3 EXISTING WATER PROOFING MEMBRANE TO BE REMOVED
- A BATHROOMS: REMOVE EXISTING MIRROR, DOORS AND HARDWARE AND PROPERLY DISPOSED.
- B ELEVATOR: CLEAN EXISTING DOOR...
- C STAIR: CLEAN EXISTING STAIR, REMOVE EXISTING BROKEN FIX GLASS WINDOW
- D OFFICE: REMOVE AND PROPERLY DISPOSE EXISTING WALL PACK A/C UNIT, CLEAN EXISTING OFFICE AREA.
- E TICKET MACHINE AREA: CLEAN EXISTING AREA...
- F ELECTRIC ROOM: REMOVE AND PROPERLY DISPOSED EXISTING DOOR AND HARDWARE.
- G JANITOR: REMOVE AND PROPERLY DISPOSED EXISTING DOOR AND HARDWARE.



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IMPROVEMENTS OF "PLAZA DE LA CONVALESCENCIA" AND "PLAZA DEL PILAR"

DRAWING NAME
EXISTING BUILDING B DEMOLITION, REFLECTED CEILING AND ROOF PLAN

COMPUTER PLOT
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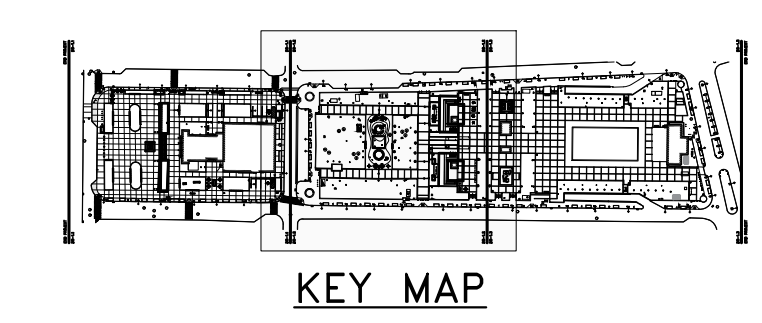
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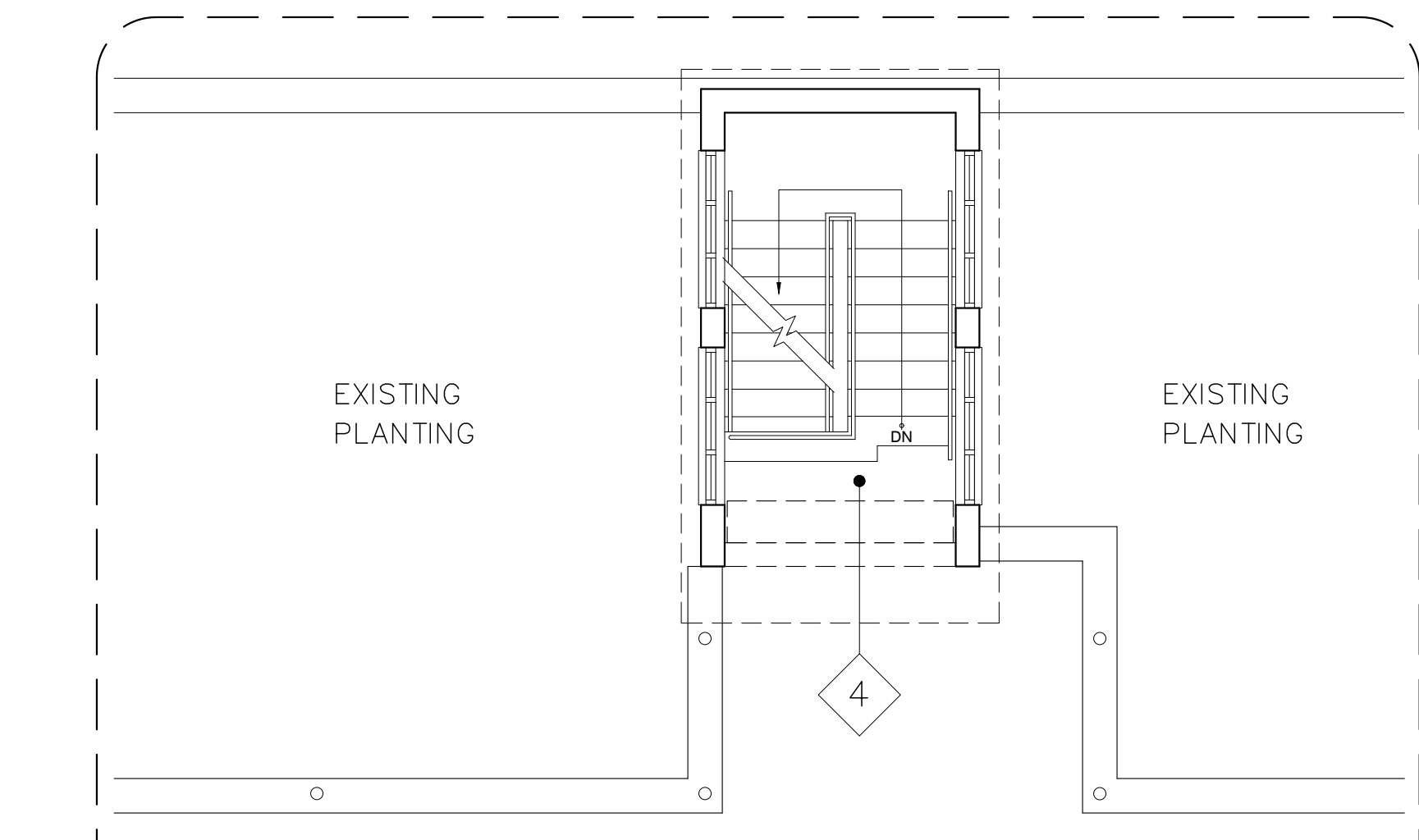
PROJECT

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LRC I.H.

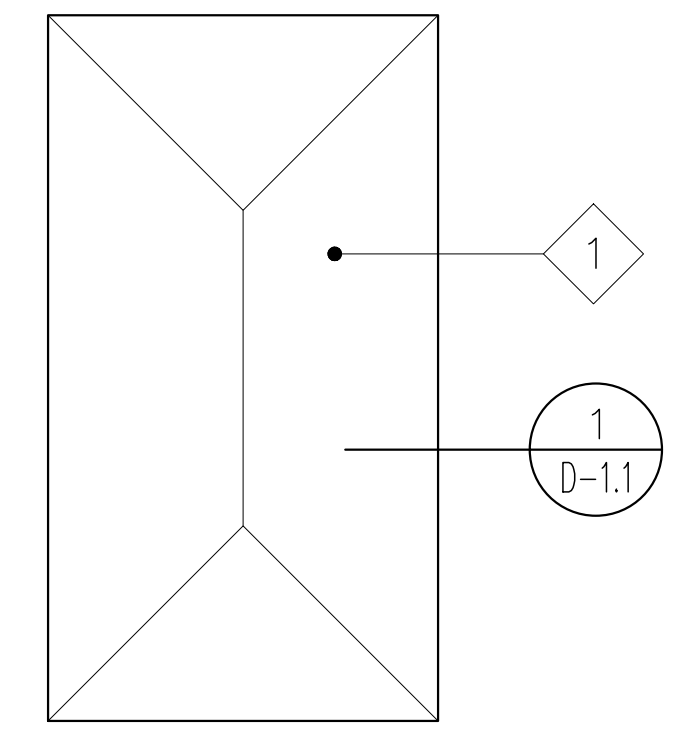
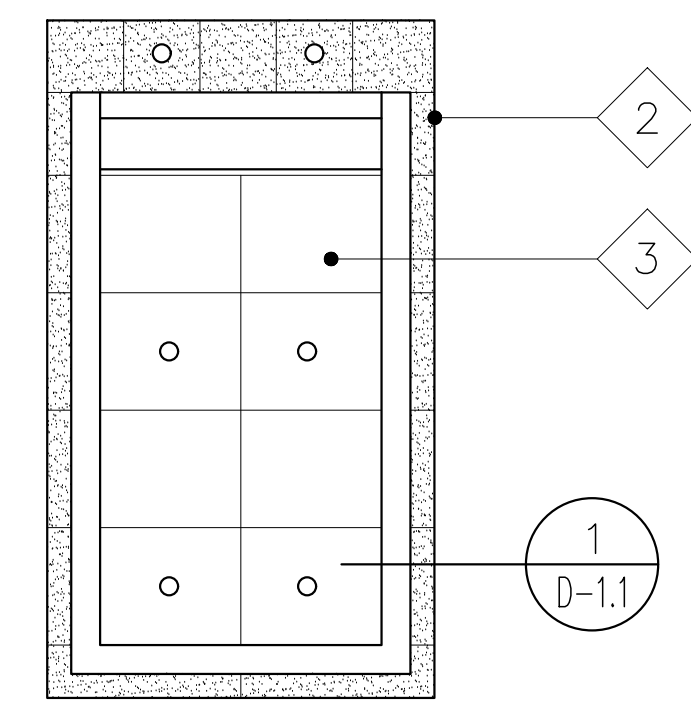
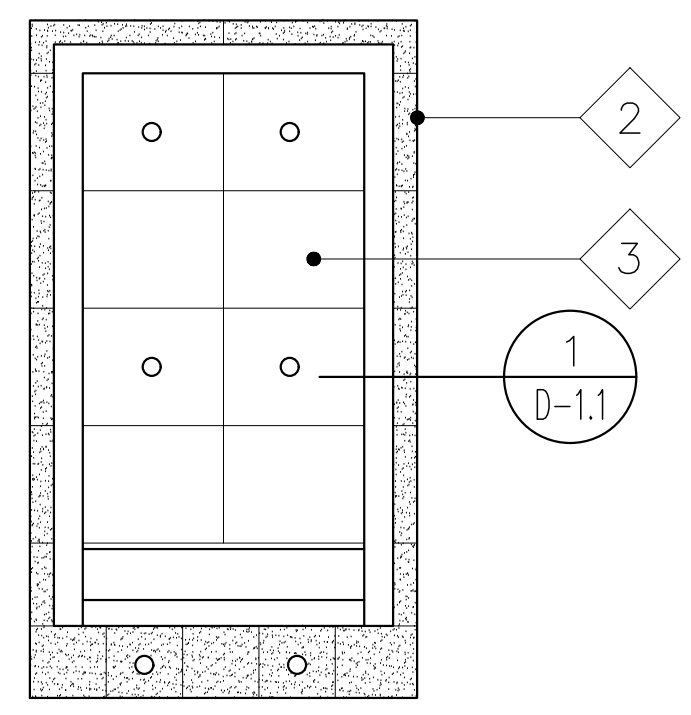
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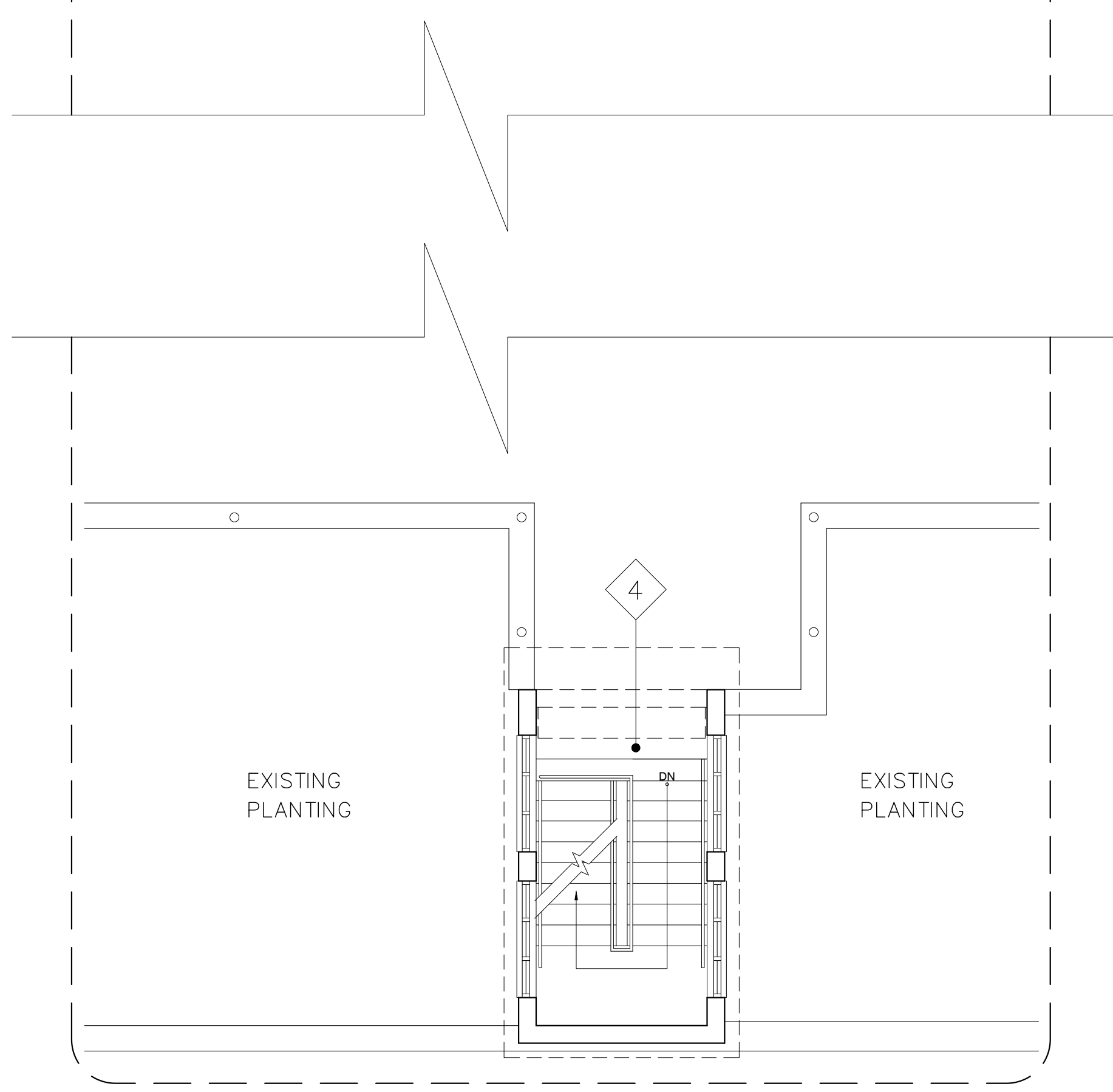




EXISTING BUILDING C DEMOLITION REFLECTED CEILING
SCALE: 3/16" = 1'-0"

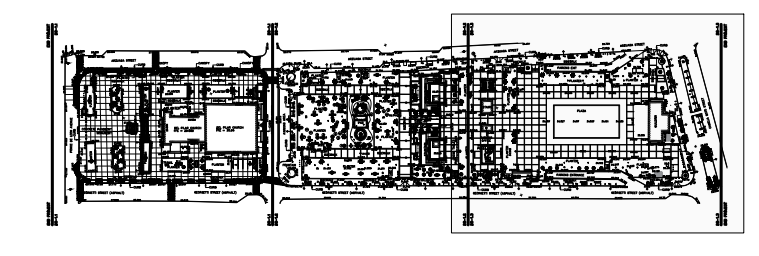


EXISTING BUILDING A DEMOLITION ROOF PLAN
SCALE: 3/16" = 1'-0"

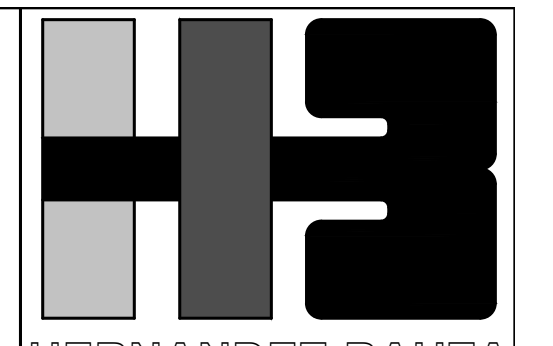


EXISTING BUILDING C DEMOLITION FLOOR PLAN
SCALE: 3/16" = 1'-0"

- LEGEND:**
- 1 EXISTING WATER PROOFING MEMBRANE TO BE REMOVE
 - 2 EXISTING PERFORATED STAINLESS STEEL PANEL TO BE REMOVE, CLEAN ACCORDING TO SECTION ----- OF TECH SPECS, TO REINSTALL
 - 3 EXISTING PLYWOOD LAMINATED TO BE REMOVE AND PROPERLY DISPOSE
 - 4 STAIR:
CLEAN EXISTING STAIR, REMOVE EXISTING BROKEN FIX GLASS WINDOW AND PROPERLY DISPOSE



KEY MAP



HERNANDEZ-BAUZA PSC, ARCHITECTS
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CONSULTANT'S SEAL

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CLIENT
MANAGER
DEPT. OF URBAN DESIGN AND PROJECT DEVELOPMENT, MASJ.

OWNER
AUTONOMOUS MUNICIPALITY OF SAN JUAN

PROJECT
IMPROVEMENTS OF "PLAZA DE LA CONVALECENCIA" AND "PLAZA DEL PILAR"

DRAWING NAME
EXISTING BUILDING C DEMOLITION, REFLECTED CEILING AND ROOF PLAN

COMPUTER PLOT
THIS DRAWING WAS DRAFTED ON A CAD SYSTEM ALL CHANGES OR CORRECTIONS MUST BE STRICTLY EXECUTED ON CAD. ANY QUESTIONS PLEASE CONTACT HERNANDEZ-BAUZA

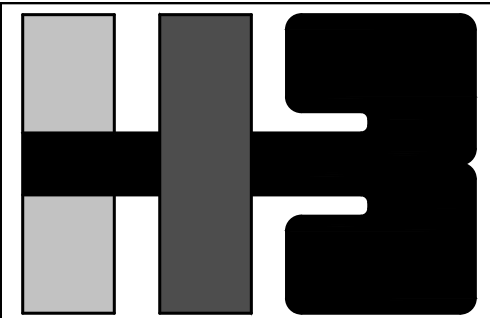
NO.	DATE	REVISION	BY	APPROVED

PROJECT

DRAWING BY/CHECKED BY
jdd I.H.

NUMBER	TOTAL
35	62

DRAWING NUMBER
D-3.0



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PROJECT

IMPROVEMENTS OF "PLAZA DE LA CONVALESCENCIA" AND "PLAZA DEL PILAR"

DRAWING NAME

EXISTING BUILDING A PROPOSED FLOOR PLAN, SECTIONS & DETAILS

COMPUTER PLOT

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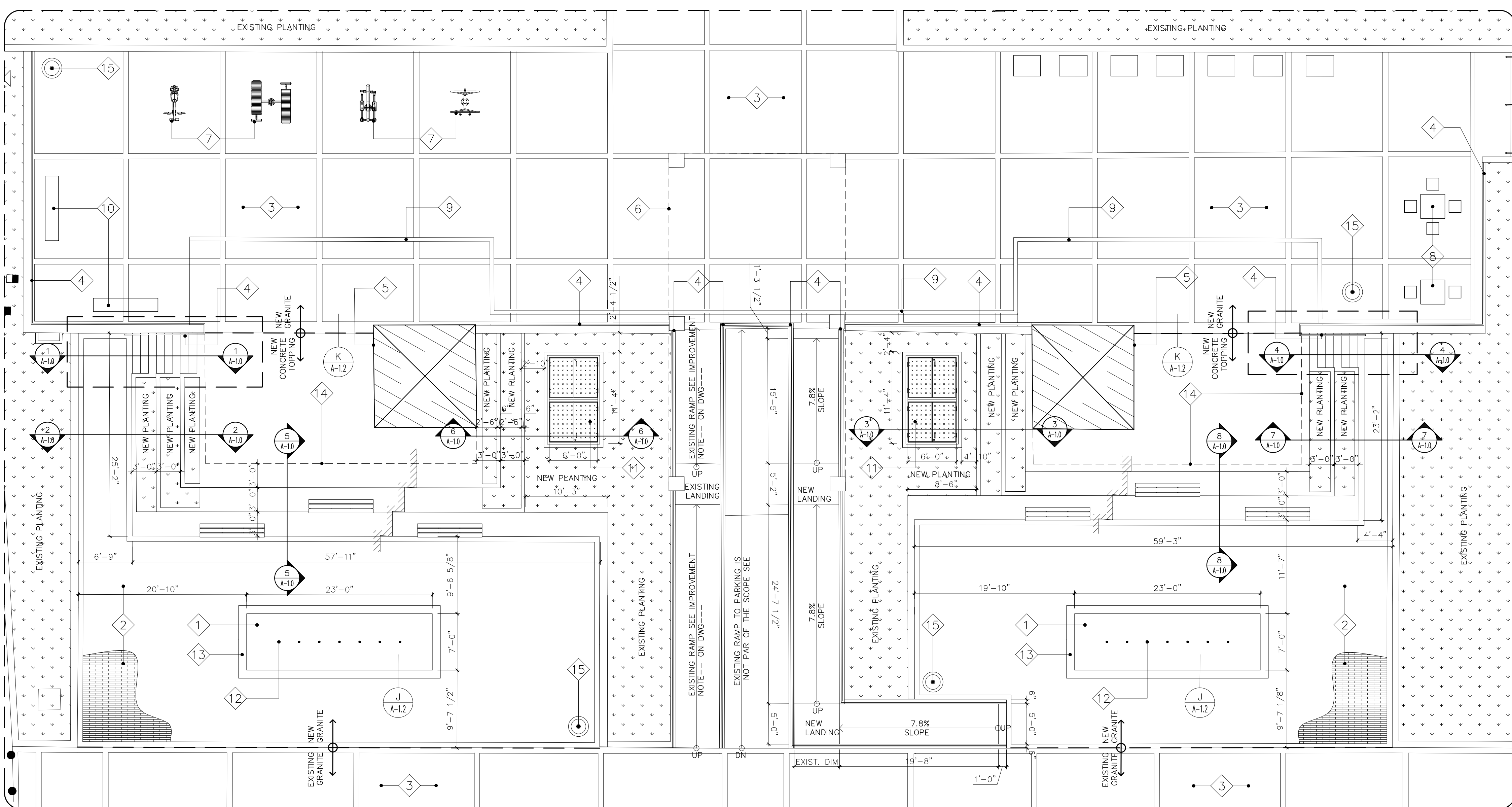
NO.	DATE	REVISION	BY	APPROVED
1	3/1/24		L.R.	L.H.

PROJECT

DRAWN BY / CHECKED BY
 L.R.C. I.H.

NUMBER TOTAL
 36 62

DRAWING NUMBER
 A-1.0



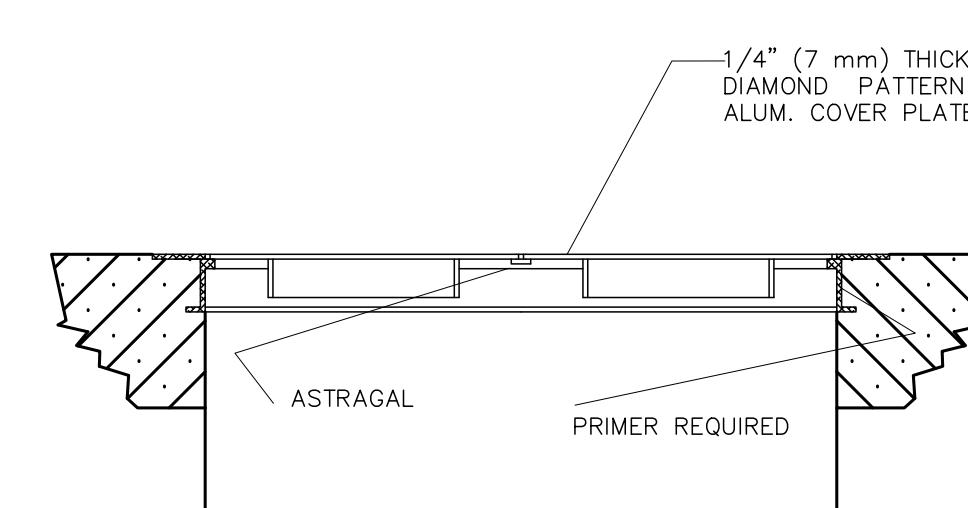
- ANNOTATIONS:**
- 1 NEW CONCRETE SPLASH PAD.
 - 2 NEW CONCRETE PAVER EQUAL OR APPROVED EQUAL TO TABLONCILLO PAVER BY CARMELO.
 - 3 EXISTING GRANITE PAVER.
 - 4 NEW GALVANIZED STEEL RAILINGS. SEE DETAILS ON DWG. A-1.1.
 - 5 EXISTING TOWER 2 & 3 SEE DWG A-1.1 FOR IMPROVEMENT.
 - 6 EXISTING GAZEBO RAMP SEE DWG A-1.1 FOR IMPROVEMENT.
 - 7 EXISTING TRAINING EQUIPMENT TO BE REPAINTED.
 - 8 NEW CONCRETE URBAN FURNITURE EQUAL OR APPROVE EQUAL TO 713 PRECAST, LLC MODEL TE-6
 - 9 EXISTING TRENCH DRAIN.
 - 10 NEW BENCH EQUAL OR APPROVED EQUAL TO BE-27 BY 713 PRECAST.
 - 11 NEW WATER PUMP STORAGE. SEE MECH DWG P-101 & P-500 FOR DETAILS.
 - 12 NEW GROUND SPRAY MANIFOLD. SEE MECH DWG P-101 & P-500 FOR DETAILS.
 - 13 NEW SPLASH PAD TRENCH DRAIN. SEE MECH DWG P-101 & P-500 FOR DETAILS.
 - 14 NEW 3/4" EXPANSION JOINT WITH BACKER ROD & JOINT FILLER
 - 15 NEW TRASH RECEPTACLE EQUAL OR APPROVED EQUAL TO TR-9 MODEL BY 713 PRECAST.

LEGEND:

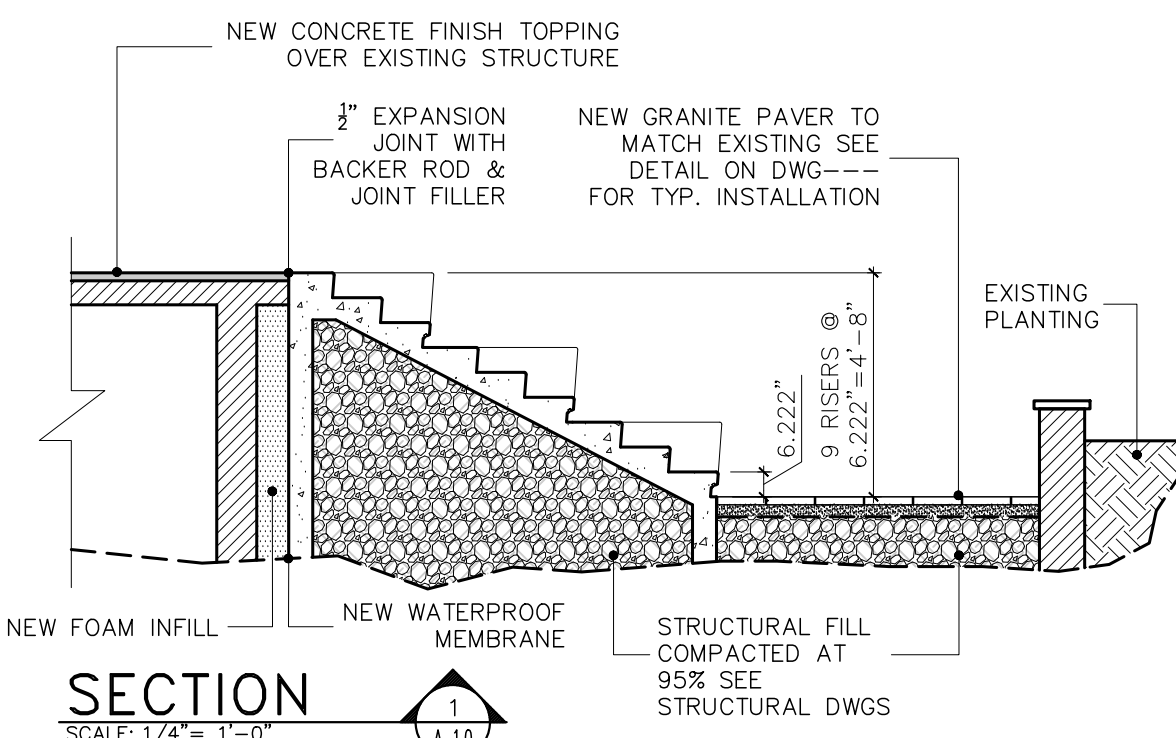
SYMBOL	DESCRIPTION
◇	ANNOTATION MARKER
○	DETAIL MARKER
⊖	SECTION MARKER
○	NEW TRASH RECEPTACLE
□	NEW BIKE RACKS
○	NEW BOLLARDS
[Pattern]	STRUCTURAL FILL
[Pattern]	TOP SOIL
[Pattern]	PLANTING AREA
[Pattern]	NEW PAVER AREA

SPLASH PARK AREA BLOW-UP
 SCALE: 1/8" = 1'-0"

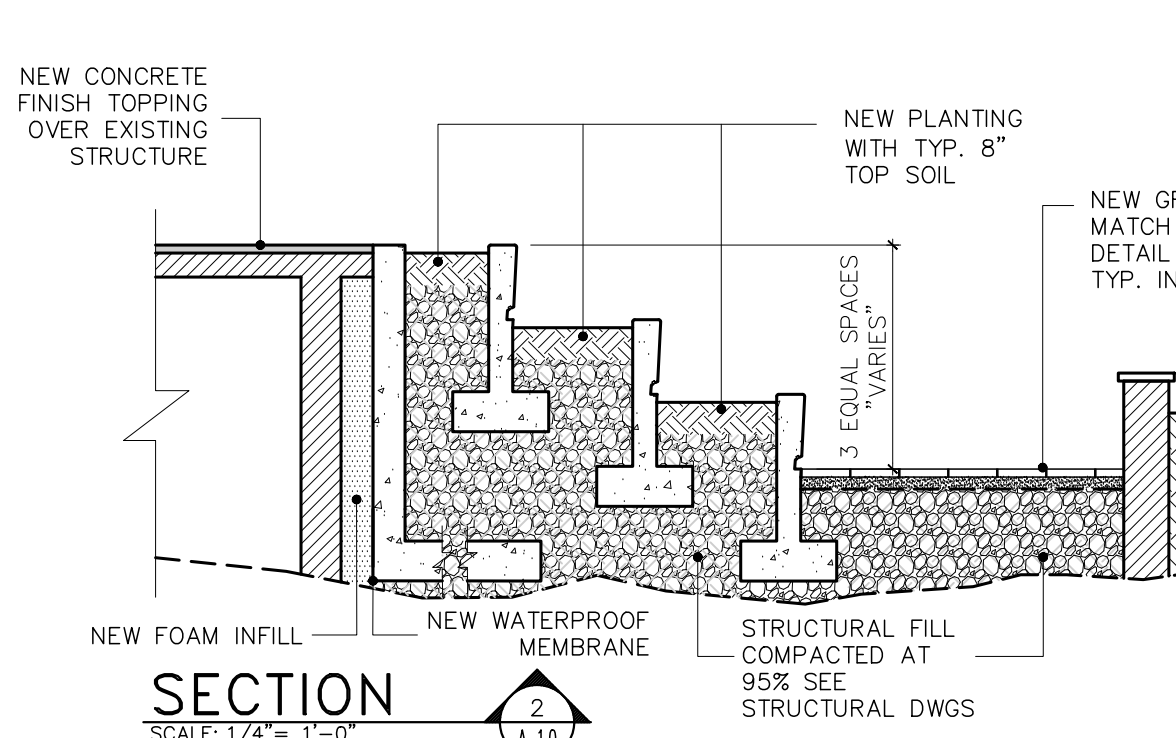
* NOTE: FOR ALL NEW CONCRETE WORK, PLEASE REFER TO STRUCTURAL DWG'S IN SECTION S-1.0 TO S-2.2



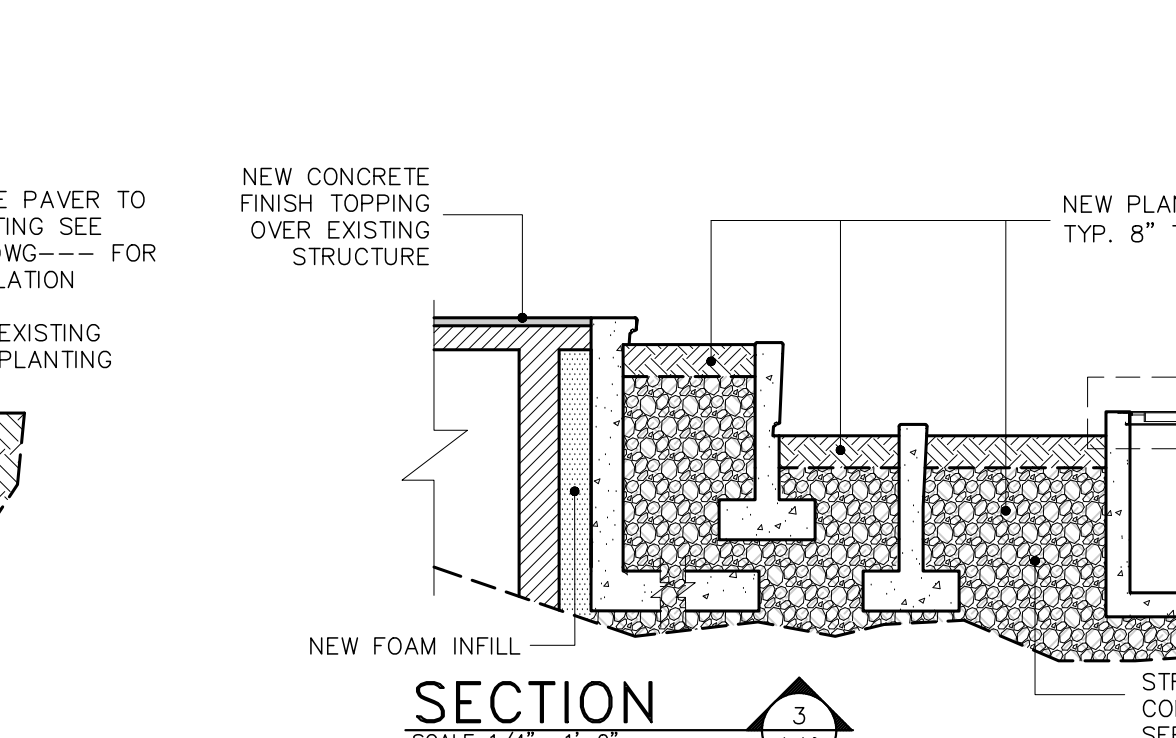
DETAIL A-10
 SCALE: NTS



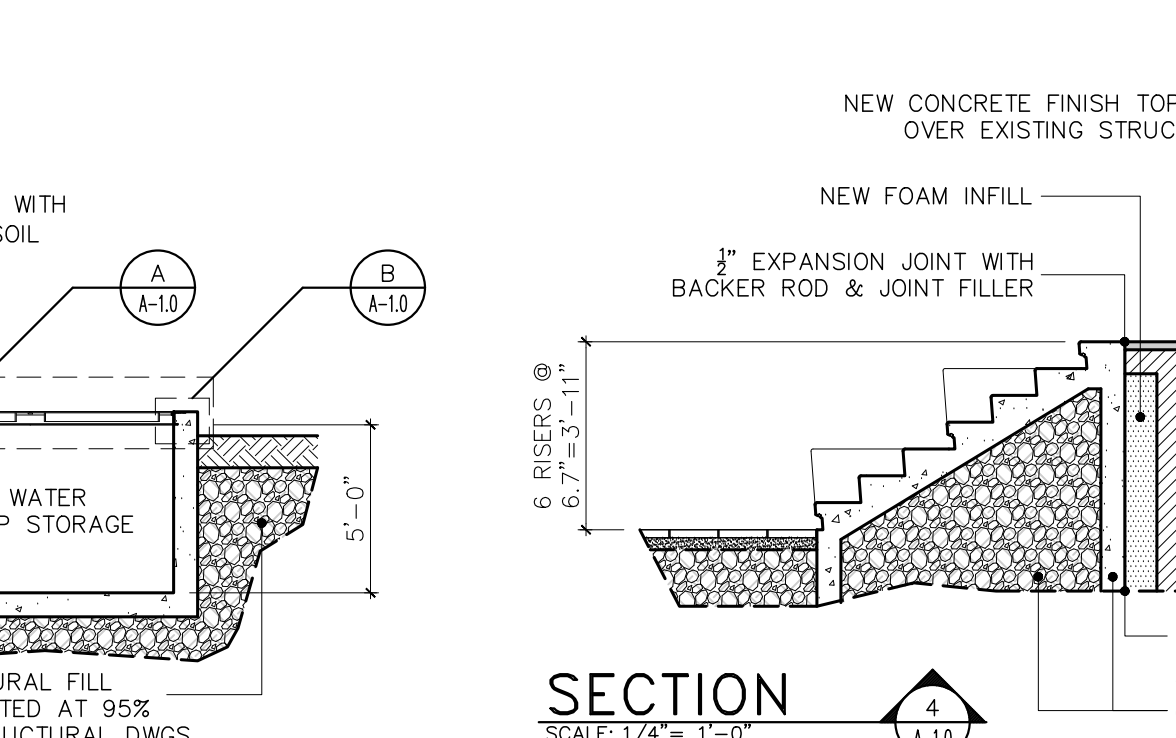
SECTION 1
 SCALE: 1/4" = 1'-0"



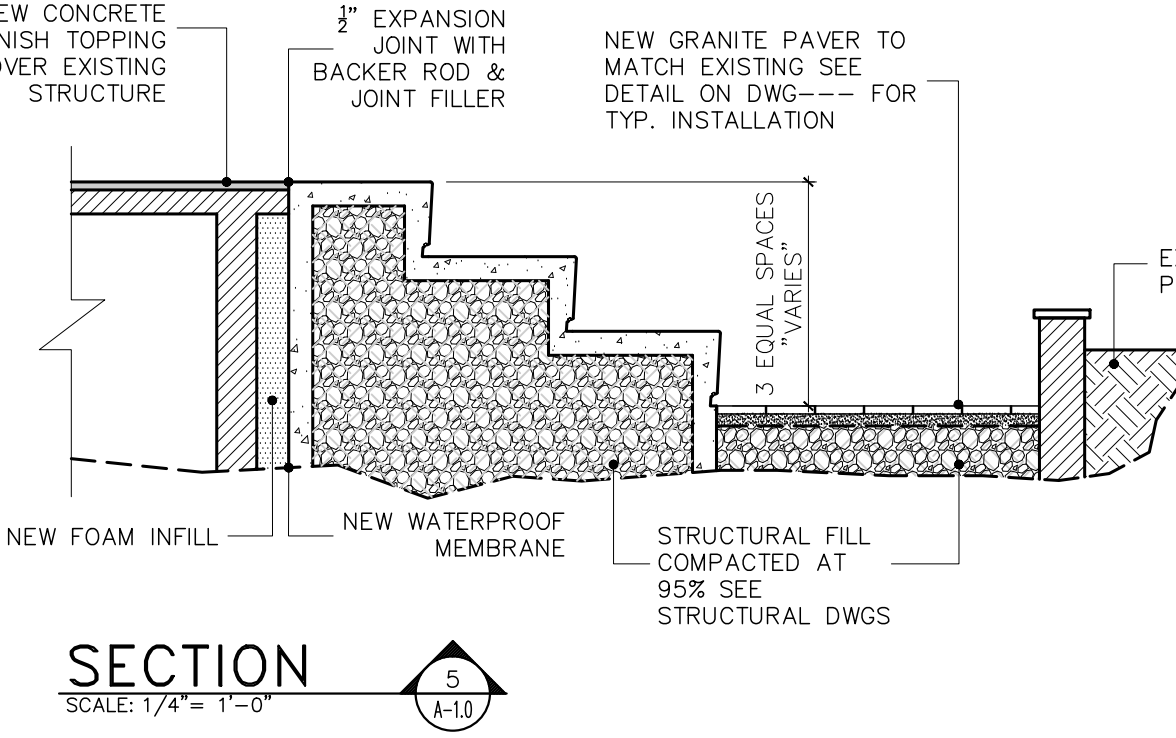
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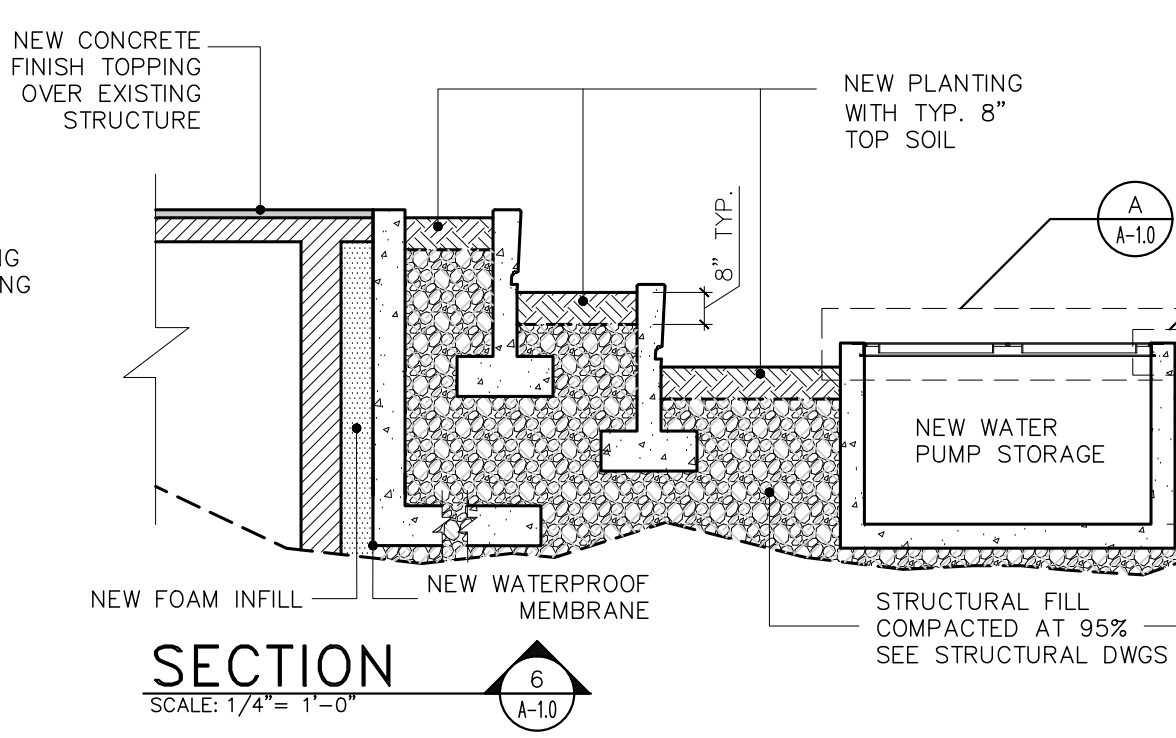
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 SCALE: 1/4" = 1'-0"



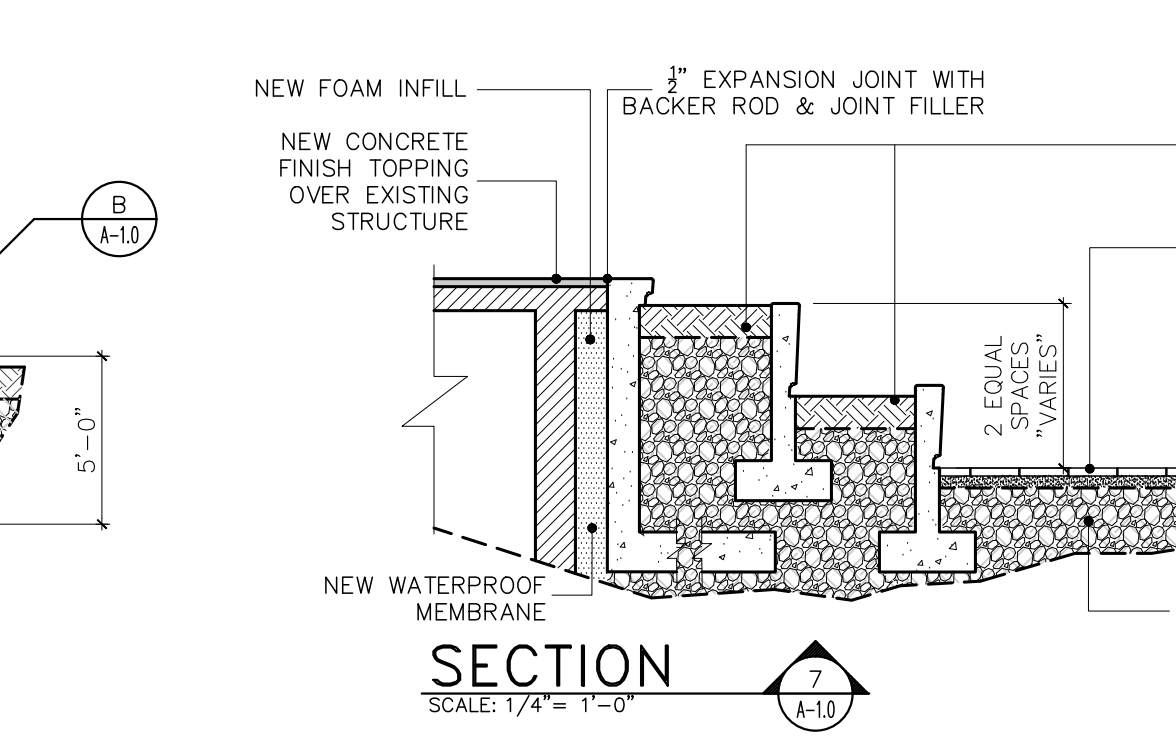
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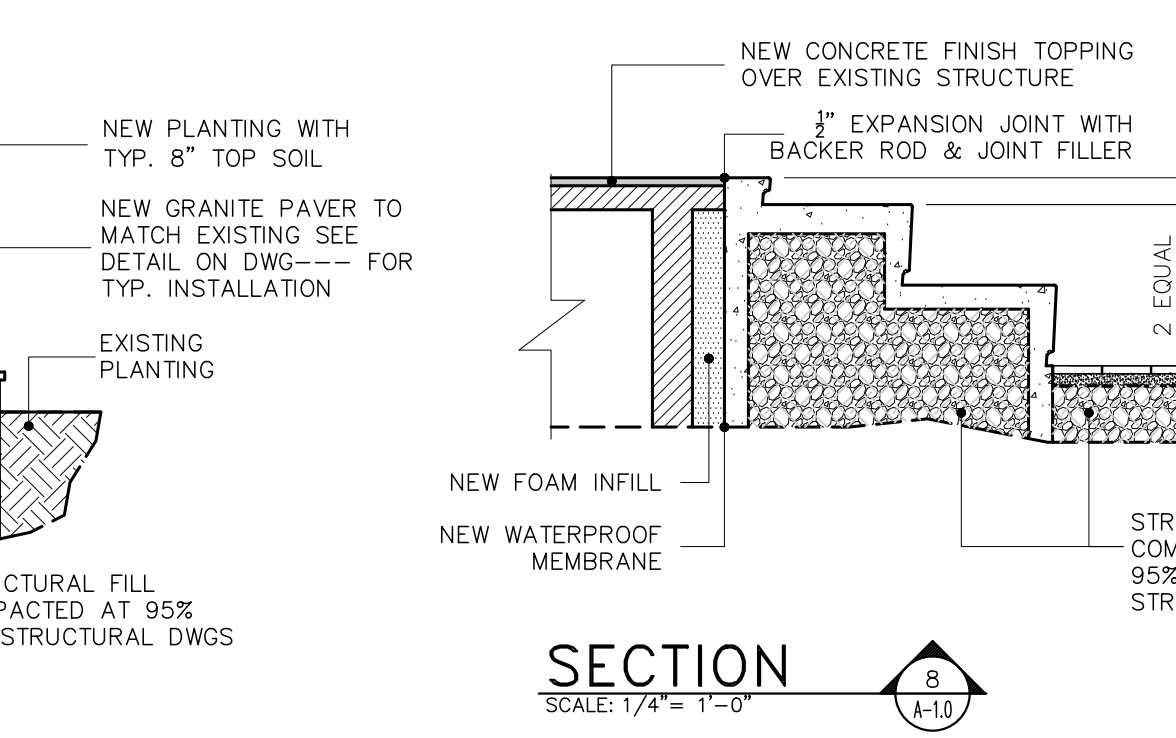
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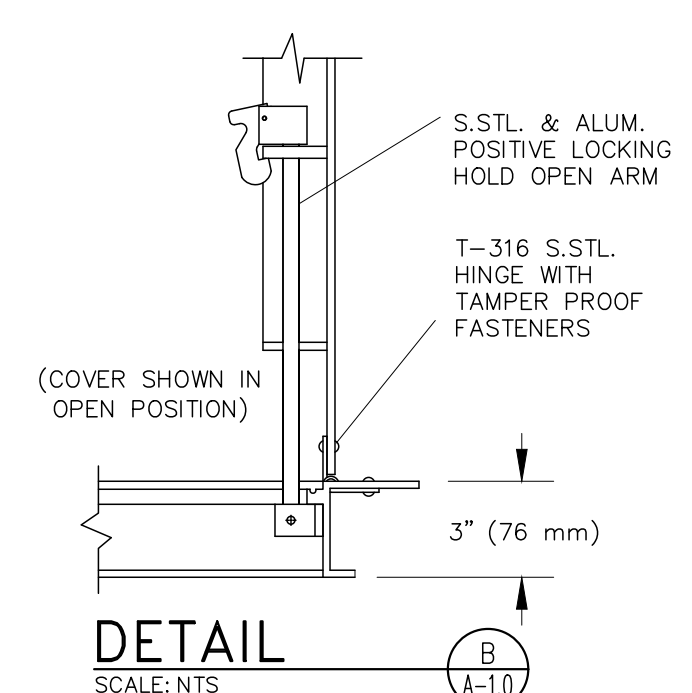
SECTION 6
 SCALE: 1/4" = 1'-0"



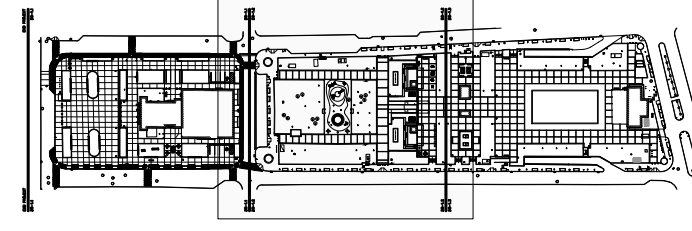
SECTION 7
 SCALE: 1/4" = 1'-0"



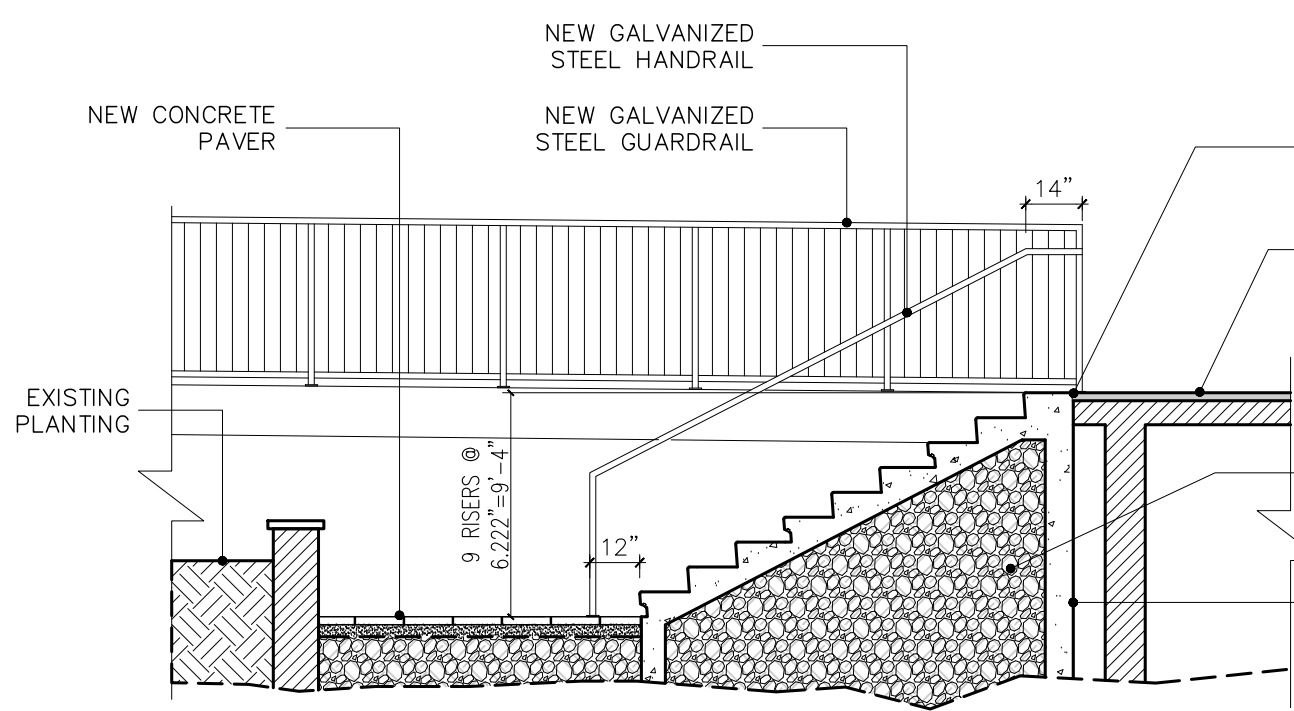
SECTION 8
 SCALE: 1/4" = 1'-0"



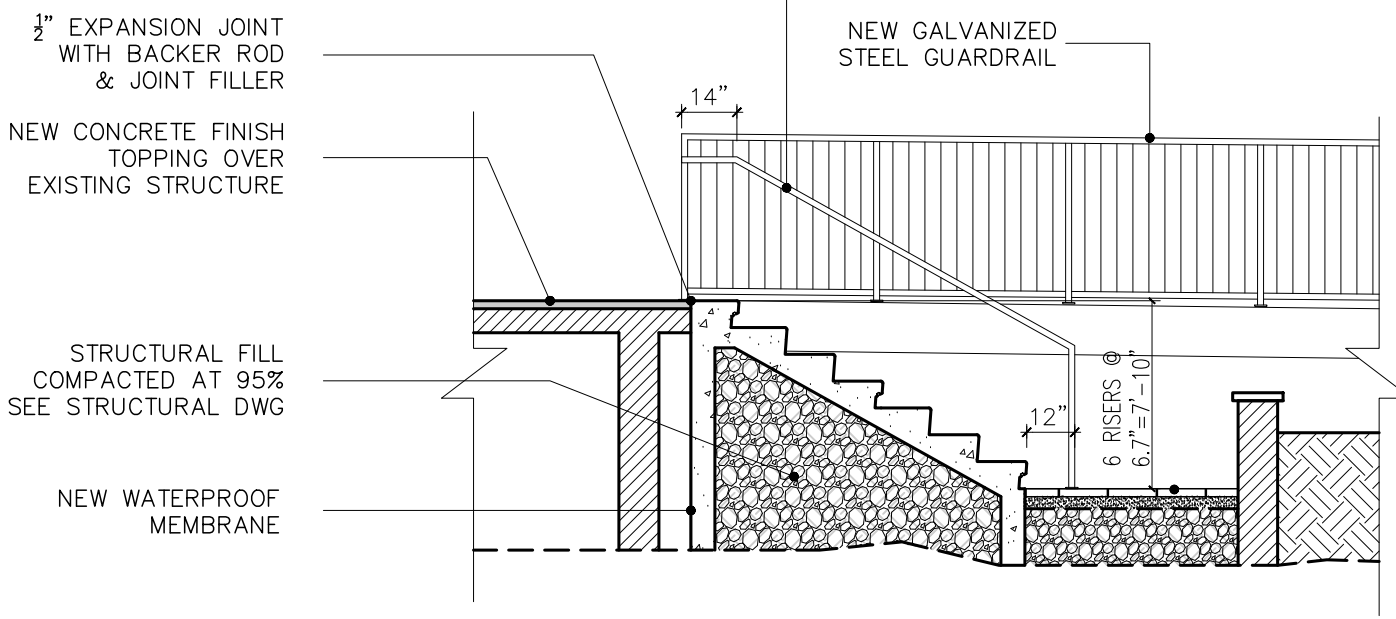
DETAIL B
 SCALE: NTS



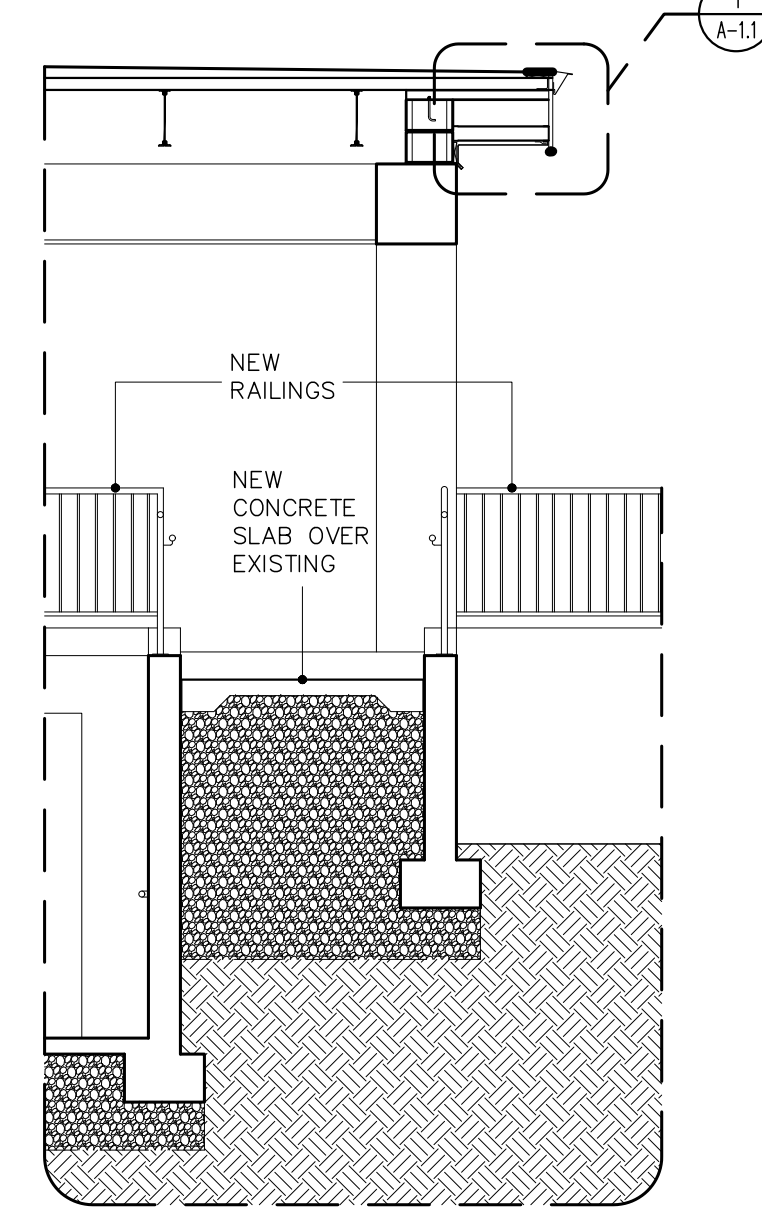
KEY MAP



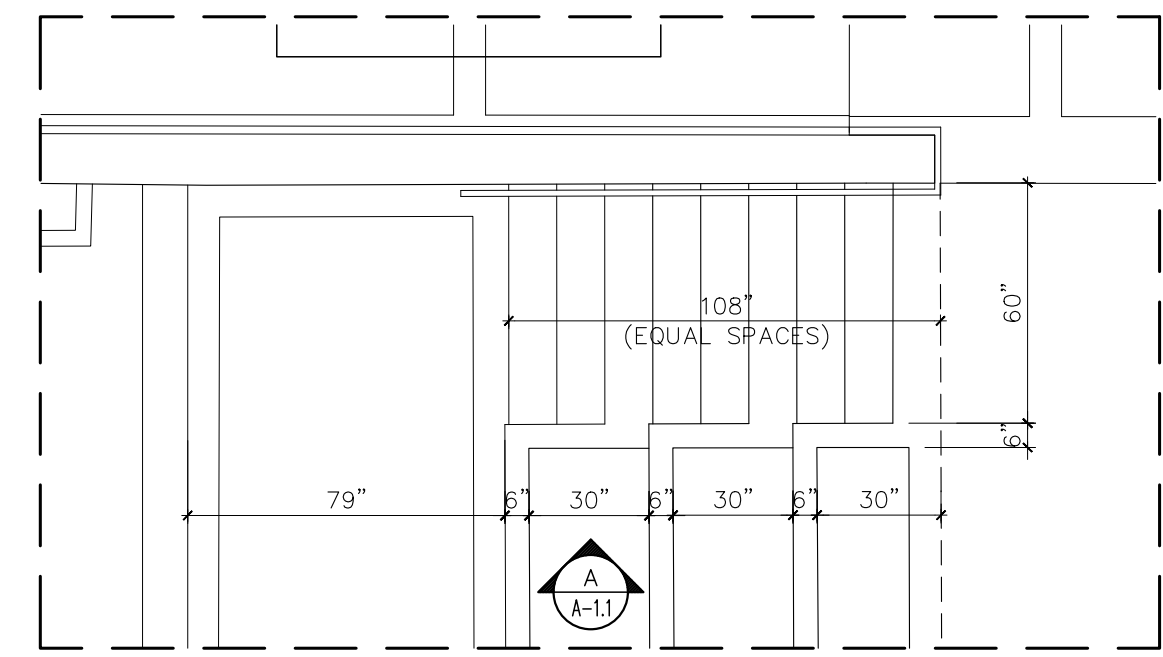
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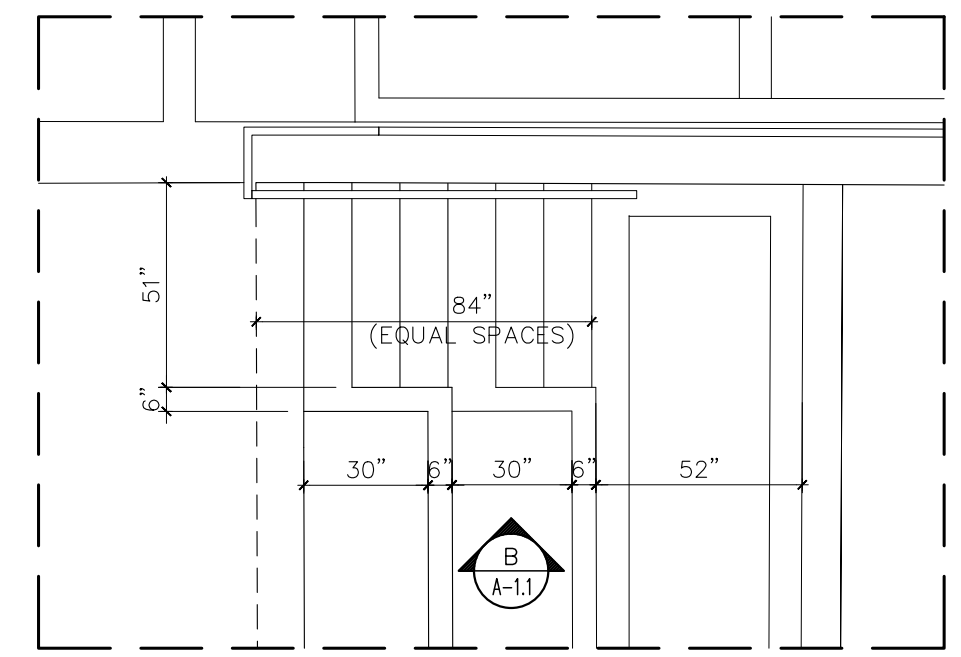
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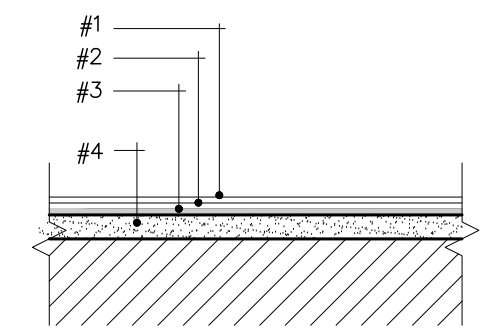
SECTION
SCALE: 1/4" = 1'-0"



BLEACHER STAIRS PLAN I
SCALE: 1/2" = 1'-0"



BLEACHER STAIRS PLAN II
SCALE: 1/2" = 1'-0"

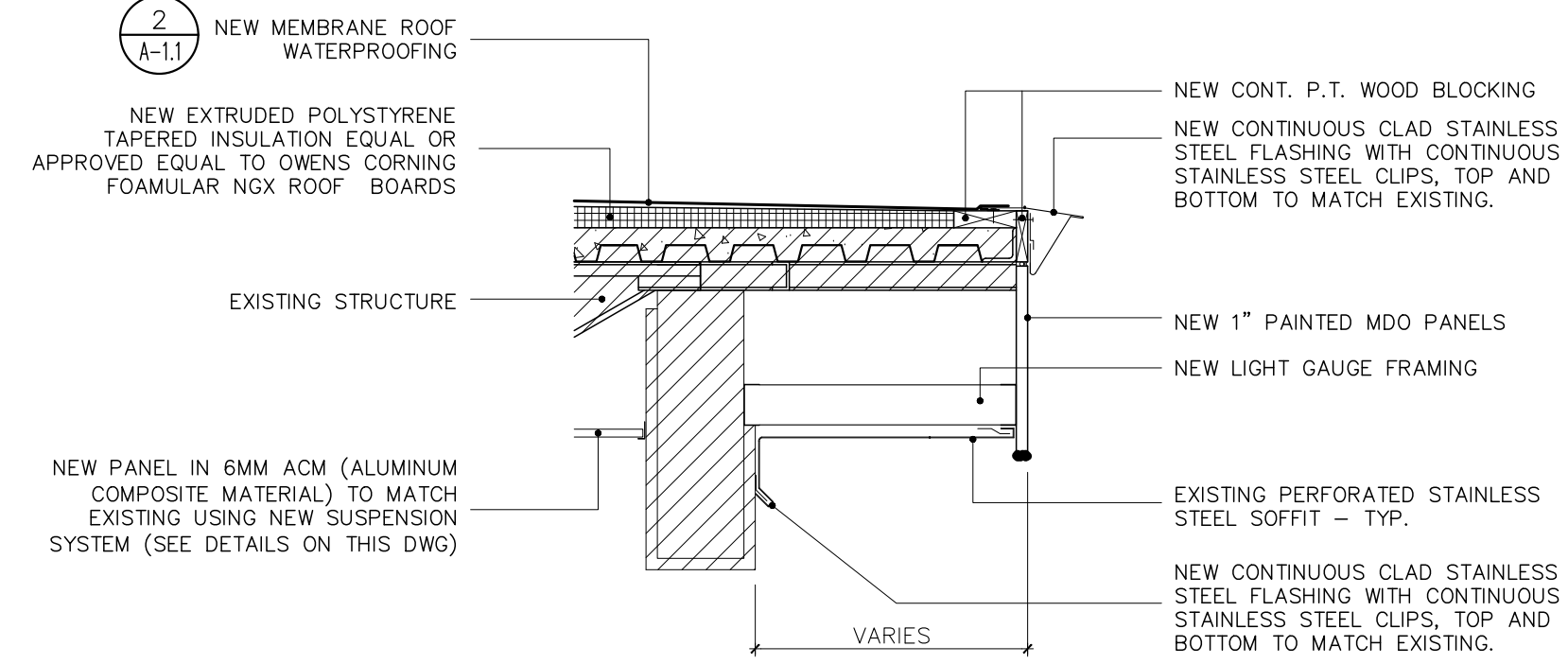


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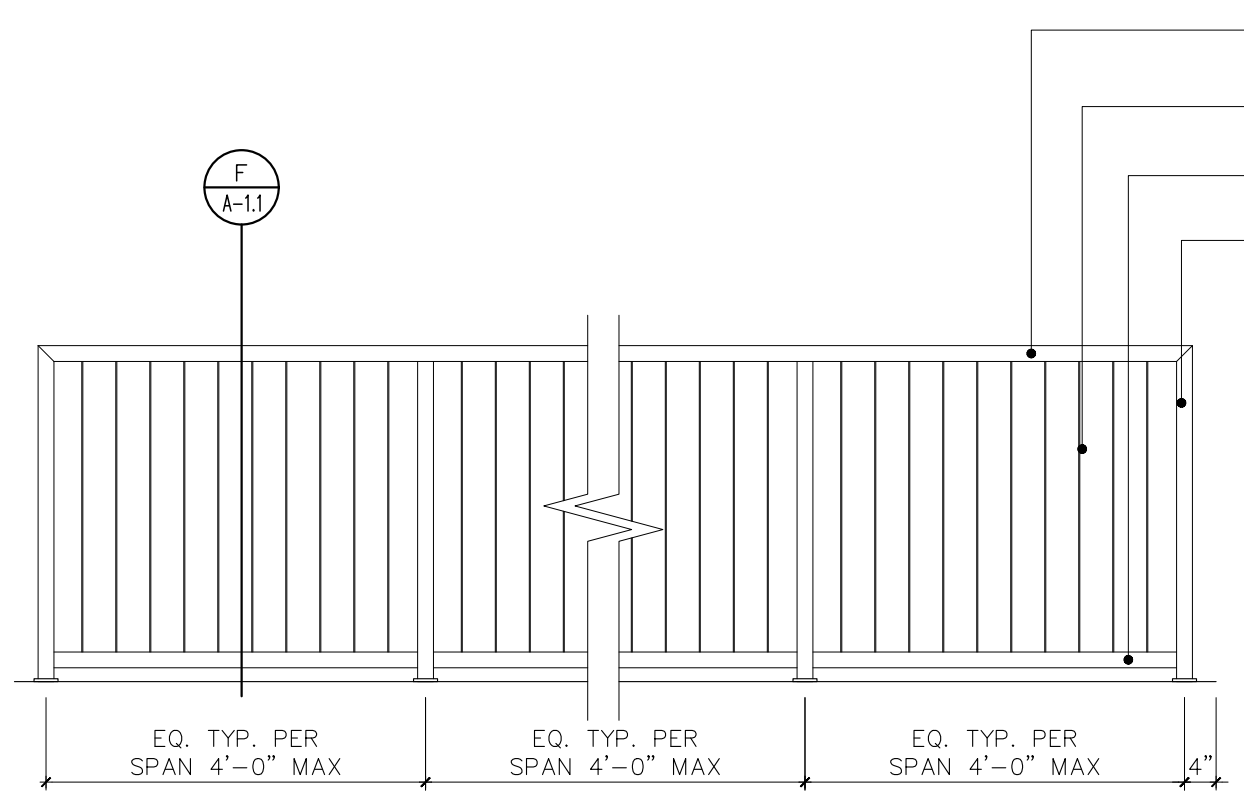
SYMBOL	DESCRIPTION
	ANNOTATION MARKER
	DETAIL MARKER
	SECTION MARKER
	STRUCTURAL FILL
	PLANTING AREA
	NEW PAVER AREA

- STRUCTURAL STEEL ROOF WATERPROOFING SYSTEM:**
- SBS MODIFIED BITUMEN FLASHING MEMBRANE W/FIBERGLASS MAT REINFORCEMENT FINISHED W/ALUMINUM CLAD TOP & BURN OFF FILM ON THE BOTTOM SIDE, AND BURN-OFF FILM.
 - SBS MODIFIED BITUMEN MEMBRANE W/POLYESTER MAT REINFORCEMENT.
 - ASPHALT PRIMER COAT
 - NEW EXTRUDED POLYSTYRENE TAPERED INSULATION EQUAL OR APPROVED EQUAL TO OWENS CORNING FOAMULAR NGX ROOF BOARDS FULLY ADHERED TO CONCRETE ROOF SLOPES OF 1/4" X FEET.

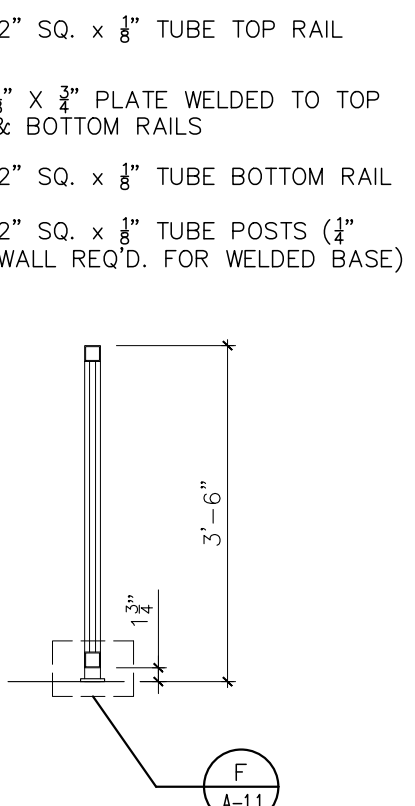
ROOF WATERPROOFING DETAIL
SCALE: N.T.S.



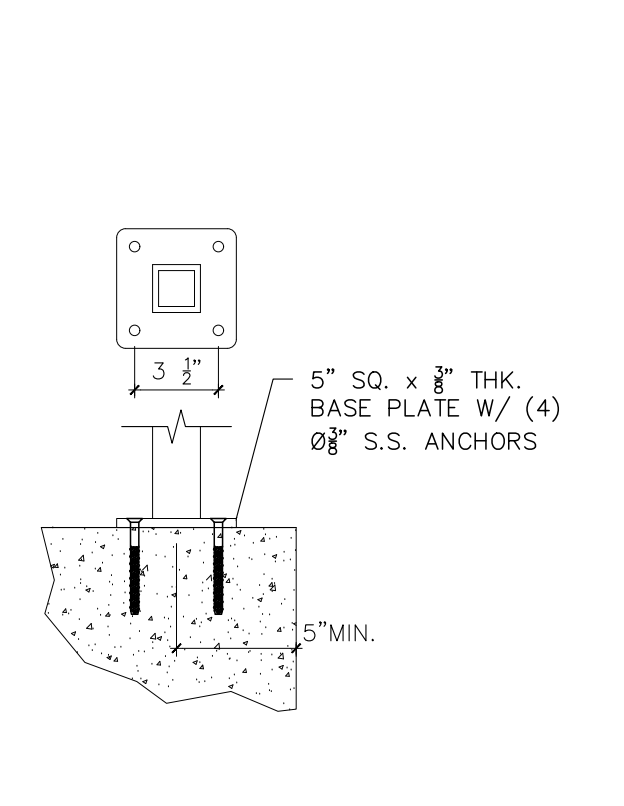
DETAIL
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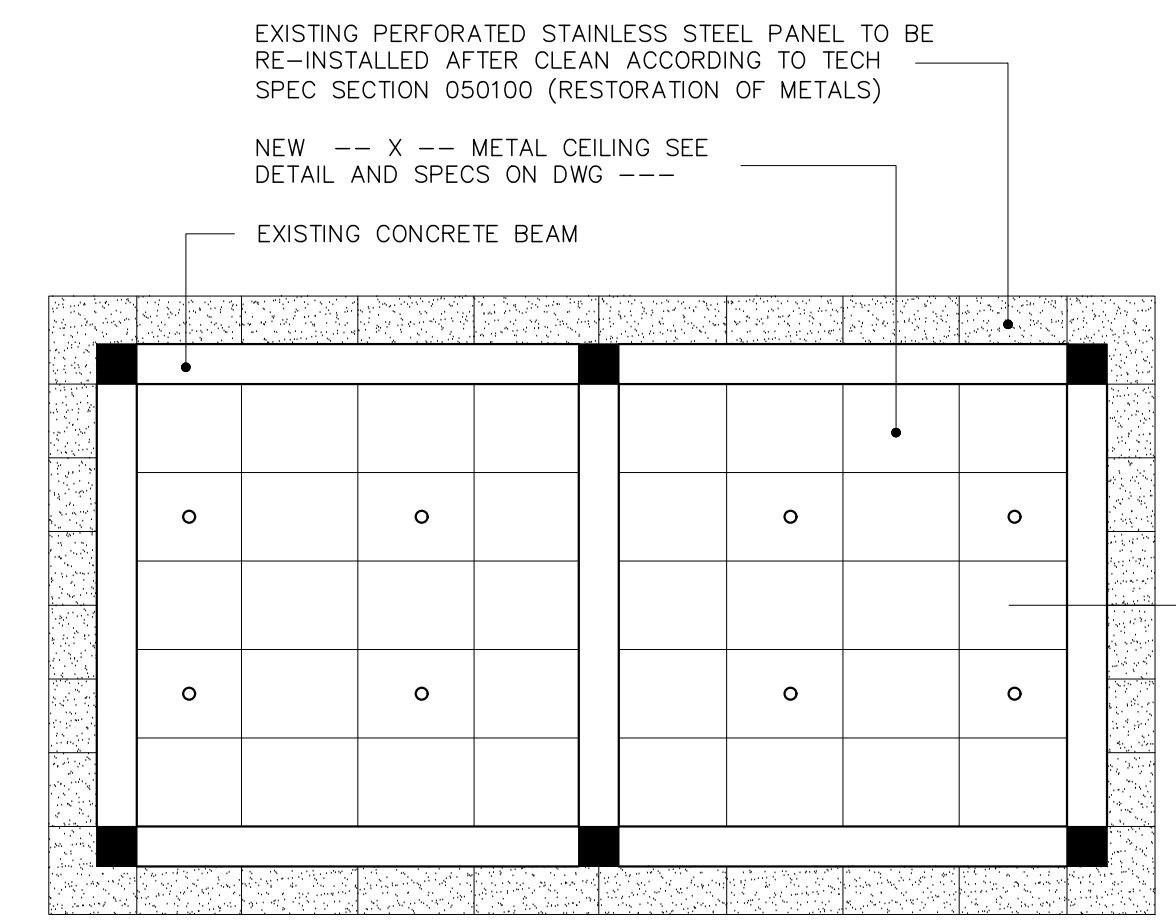
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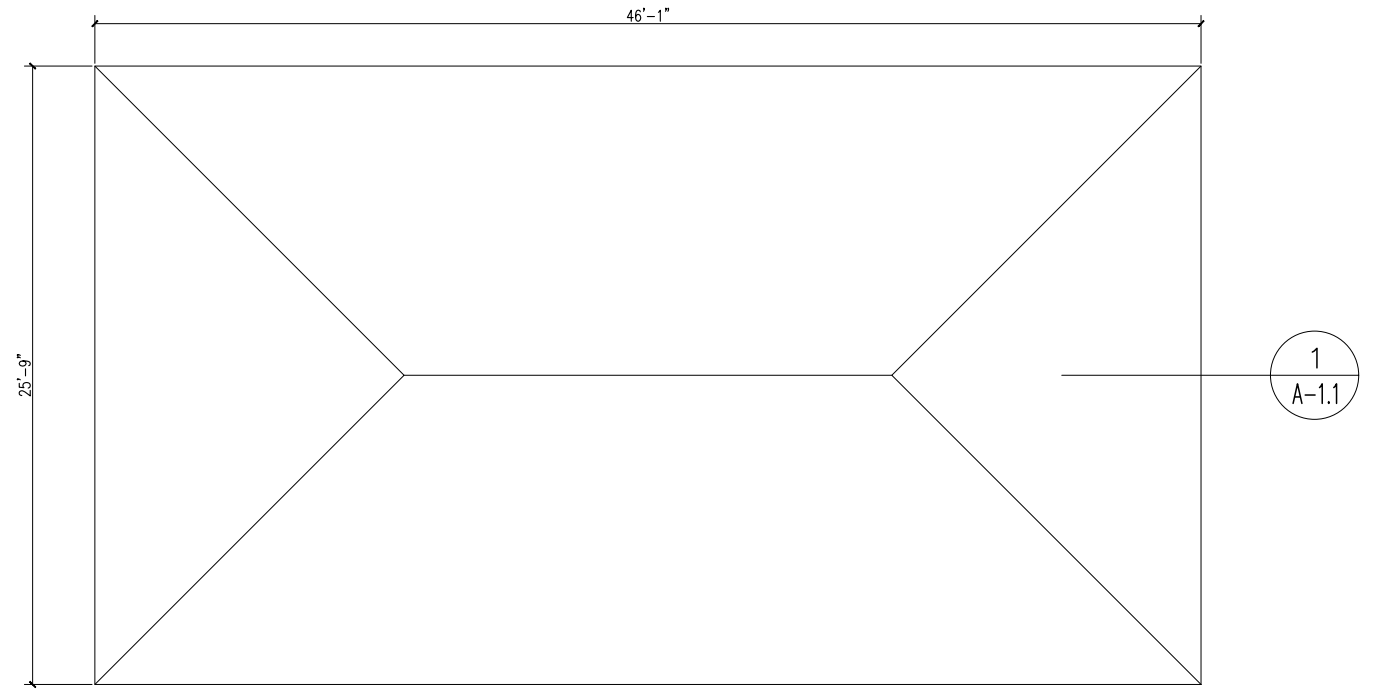
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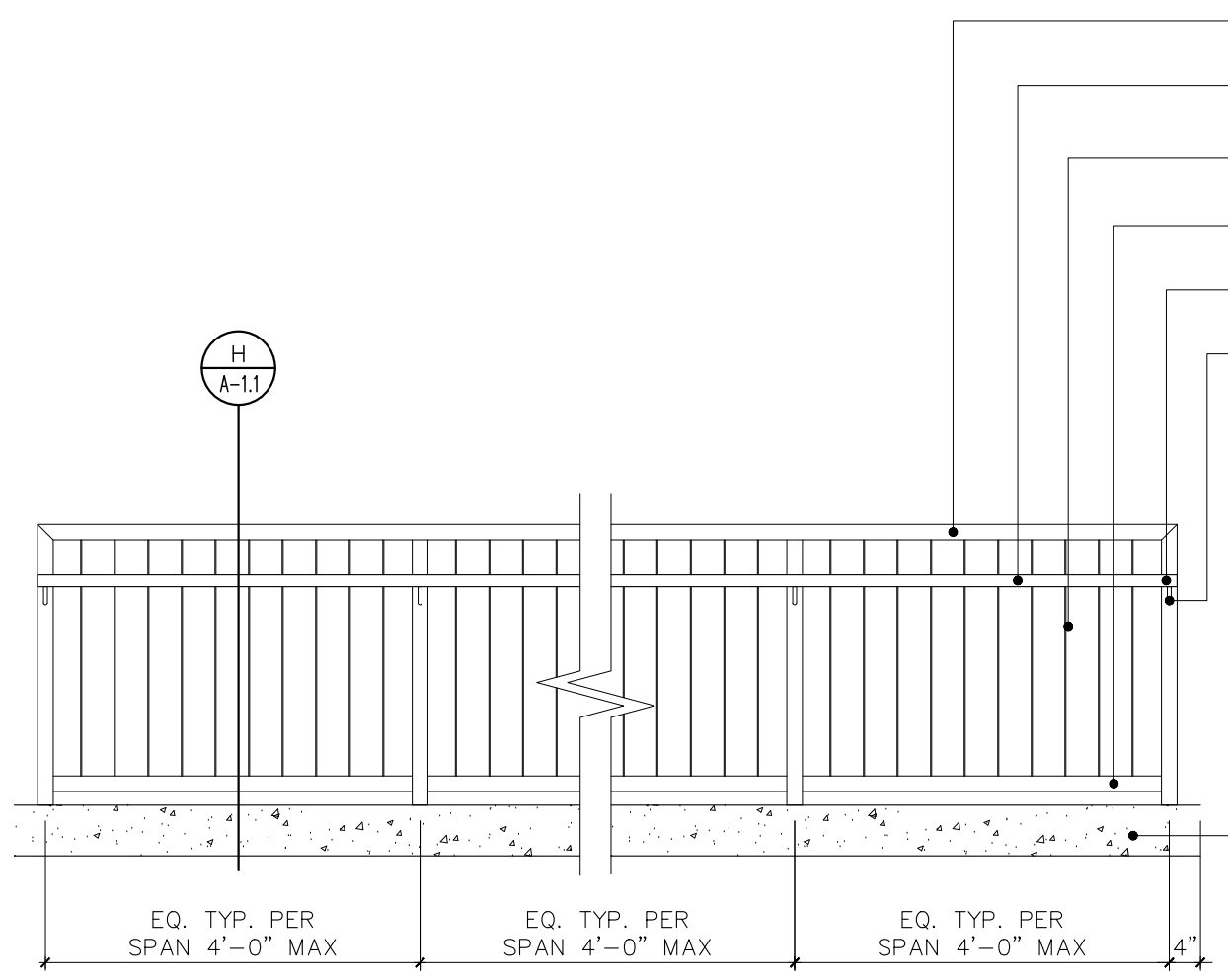
DETAIL
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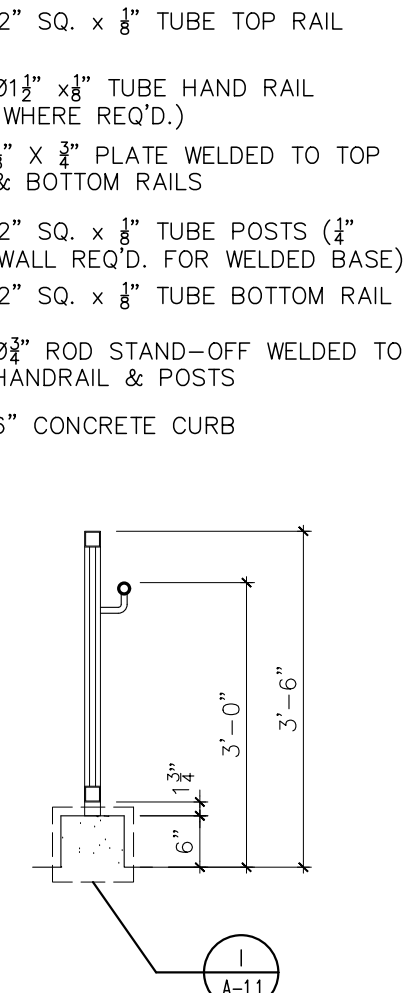
EXISTING BUILDING A PROPOSED REFLECTING CEILING
SCALE: 3/16" = 1'-0"



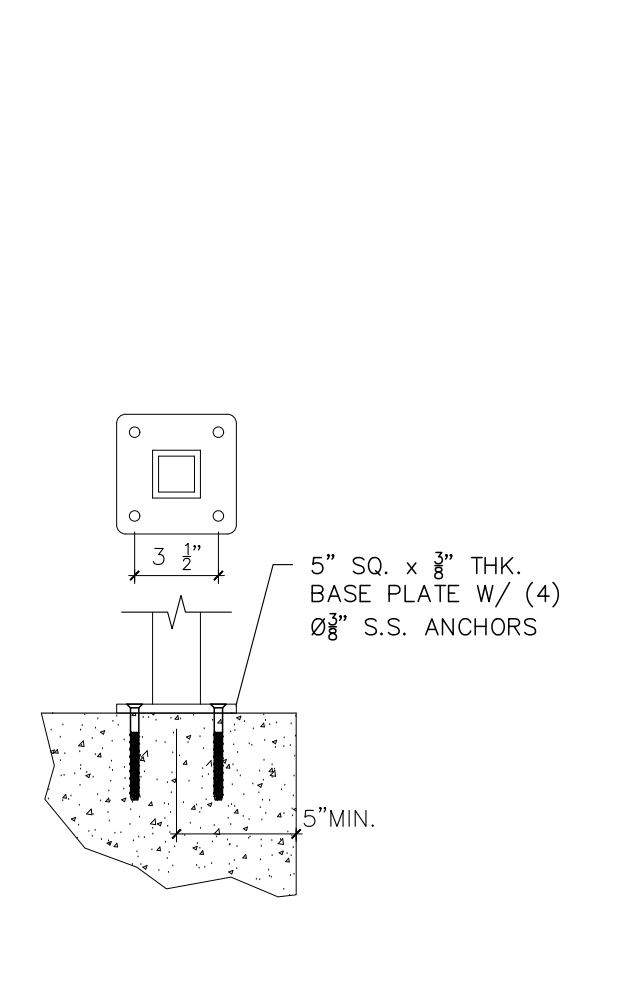
EXISTING BUILDING A PROPOSED ROOF PLAN
SCALE: 3/16" = 1'-0"



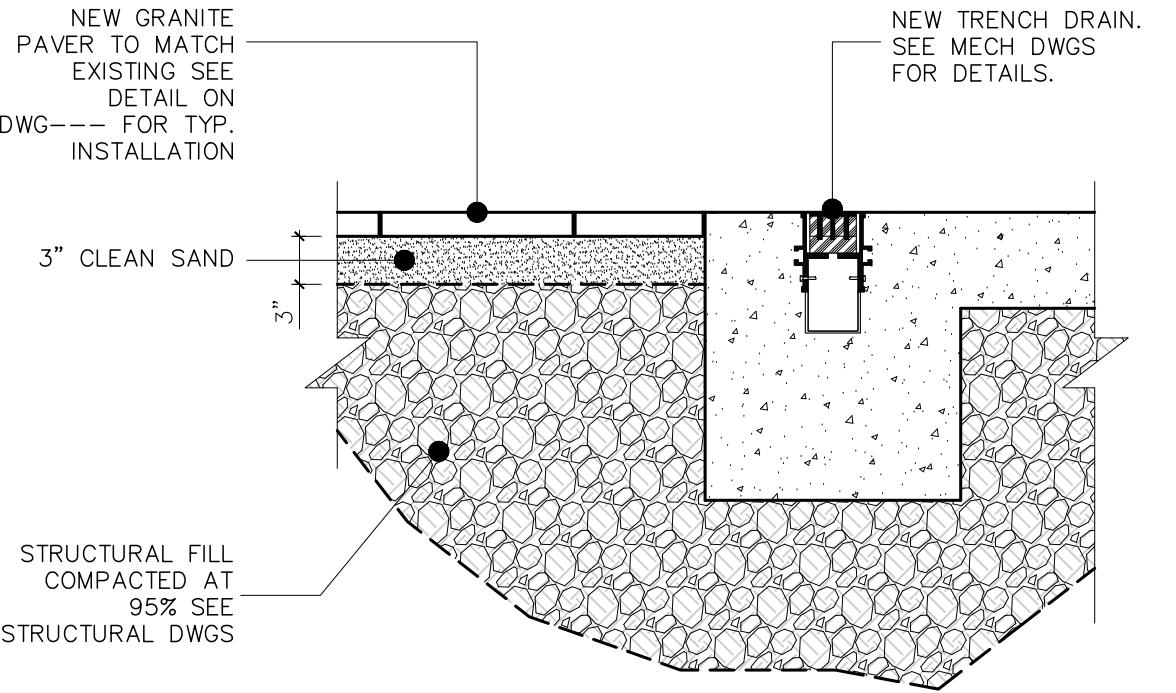
ELEVATION
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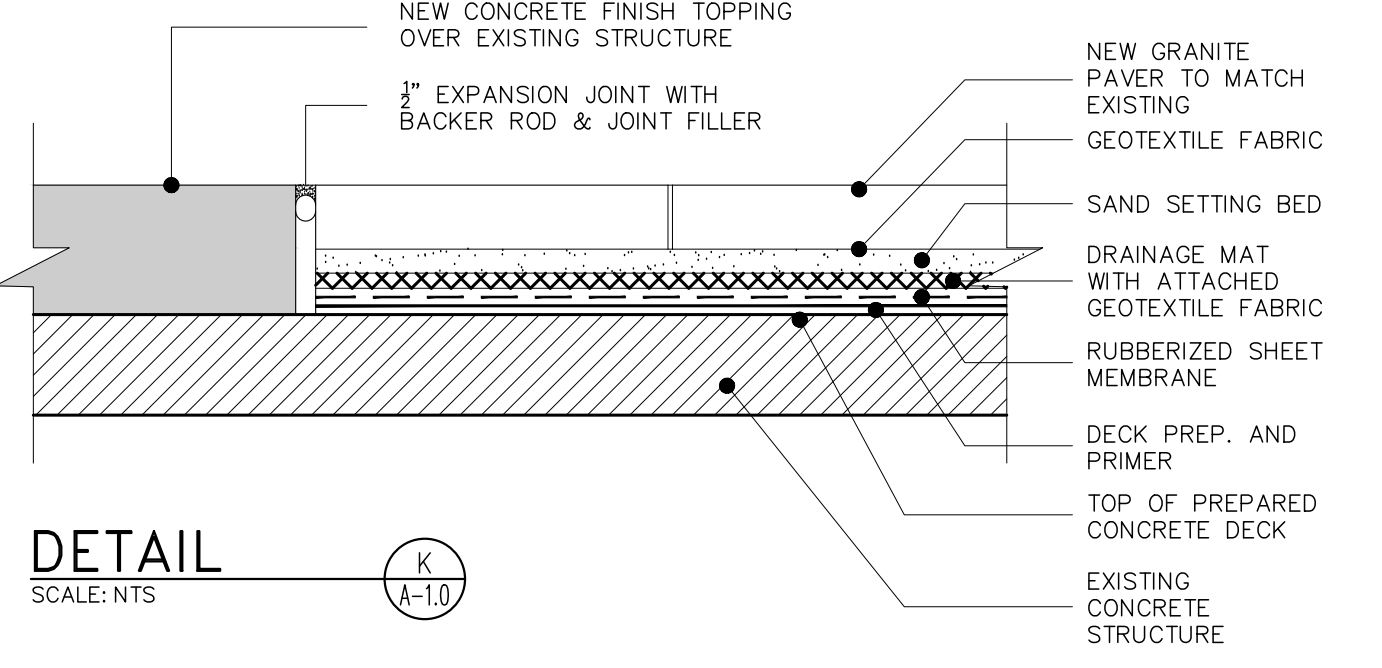
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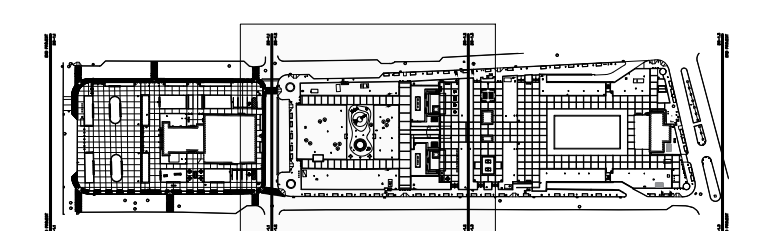
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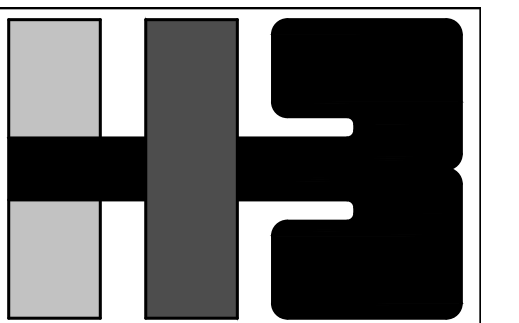
DETAIL
SCALE: N.T.S.



DETAIL
SCALE: N.T.S.



KEY MAP



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LICENSE NO. 7399

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PROJECT
IMPROVEMENTS OF "PLAZA DE LA CONVALESCENCIA" AND "PLAZA DEL PILAR"

DRAWING NAME
EXISTING BUILDING A PROPOSED BLOW-UP PLANS SECTIONS & DETAILS

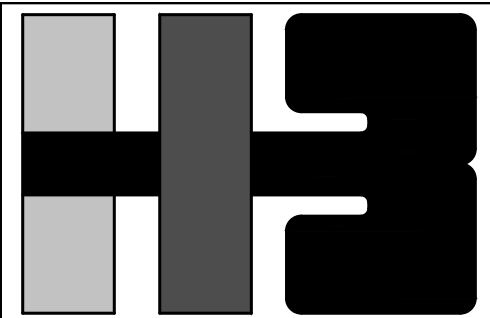
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NO.	DATE	REVISION	BY	APPROVED
1	3/1/24		L.R.	L.H.

PROJECT
DRAWING BY/CHECKED BY
L.R.C. I.H.

NUMBER	TOTAL
37	62

DRAWING NUMBER
A-1.1



**HERNANDEZ-BAUZA
PSC, ARCHITECTS**

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AUTONOMOUS MUNICIPALITY
OF SAN JUAN

PROJECT
IMPROVEMENTS OF "PLAZA
DE LA CONVALESCENCIA"
AND "PLAZA DEL PILAR"

DRAWING NAME
EXISTING BUILDING A
PROPOSED ELEVATIONS
& SECTIONS

COMPUTER PLOT
THIS DRAWING WAS DRAFTED ON A CAD SYSTEM ALL CHANGES OR CORRECTIONS MUST BE STRICTLY EXECUTED ON CAD. ANY QUESTIONS PLEASE CONTACT HERNANDEZ-BAUZA

NO.	DATE	REVISION	BY	APPROVED
1	3/1/24		L.R.	I.H.

PROJECT

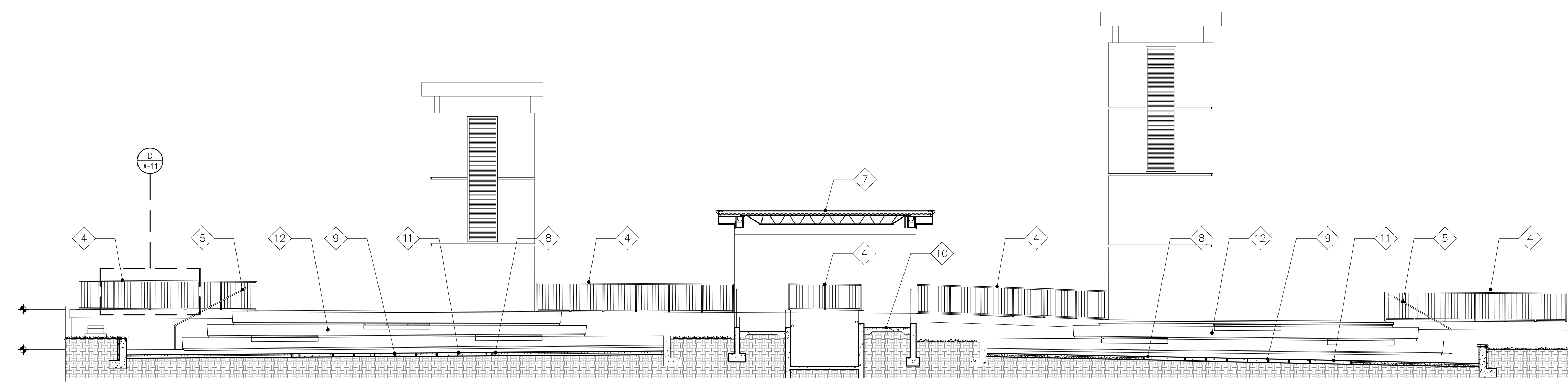
DRAWING BY/CHECKED BY
L.R.C. I.H.

NUMBER	TOTAL
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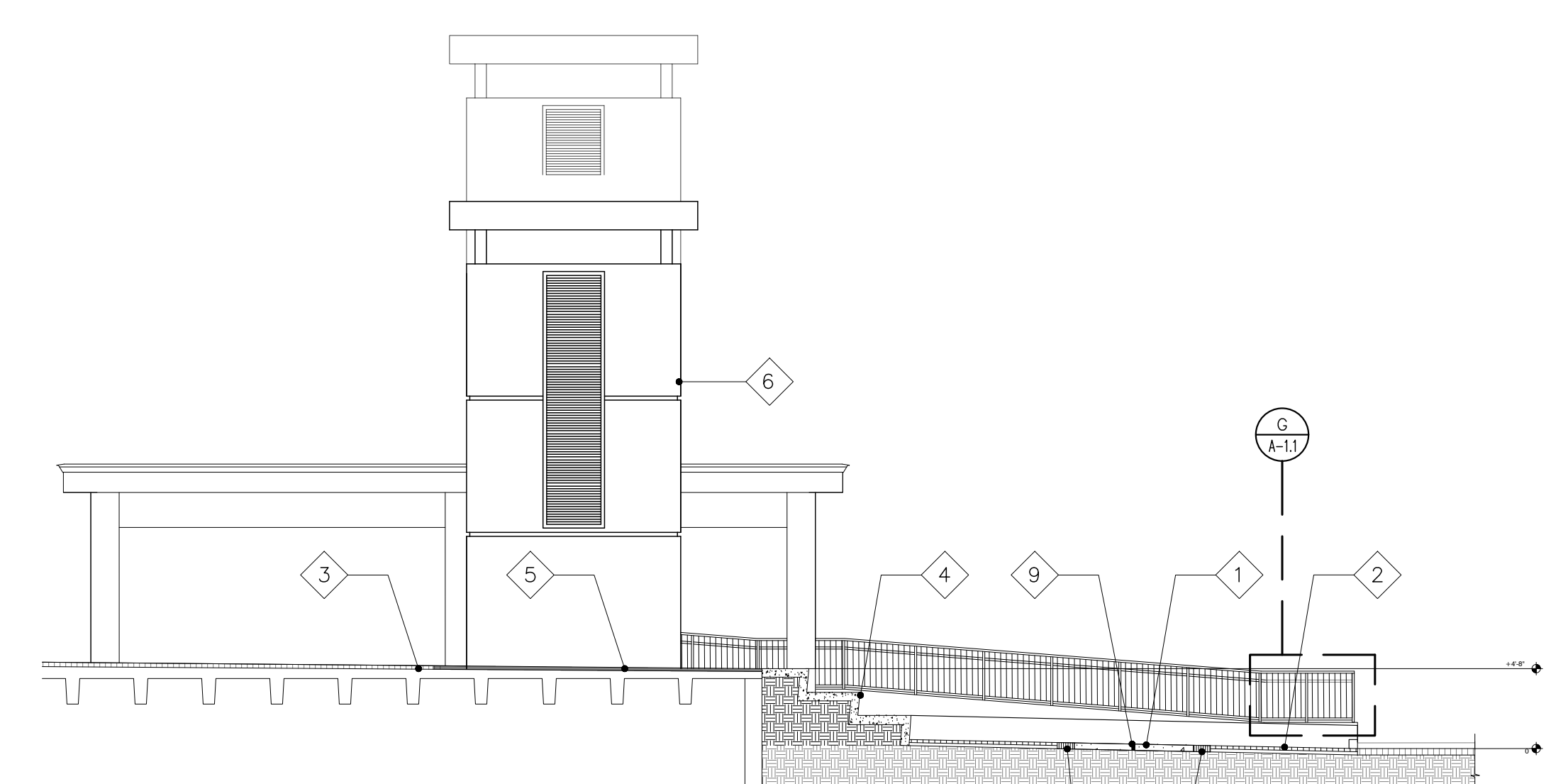
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ANNOTATIONS:

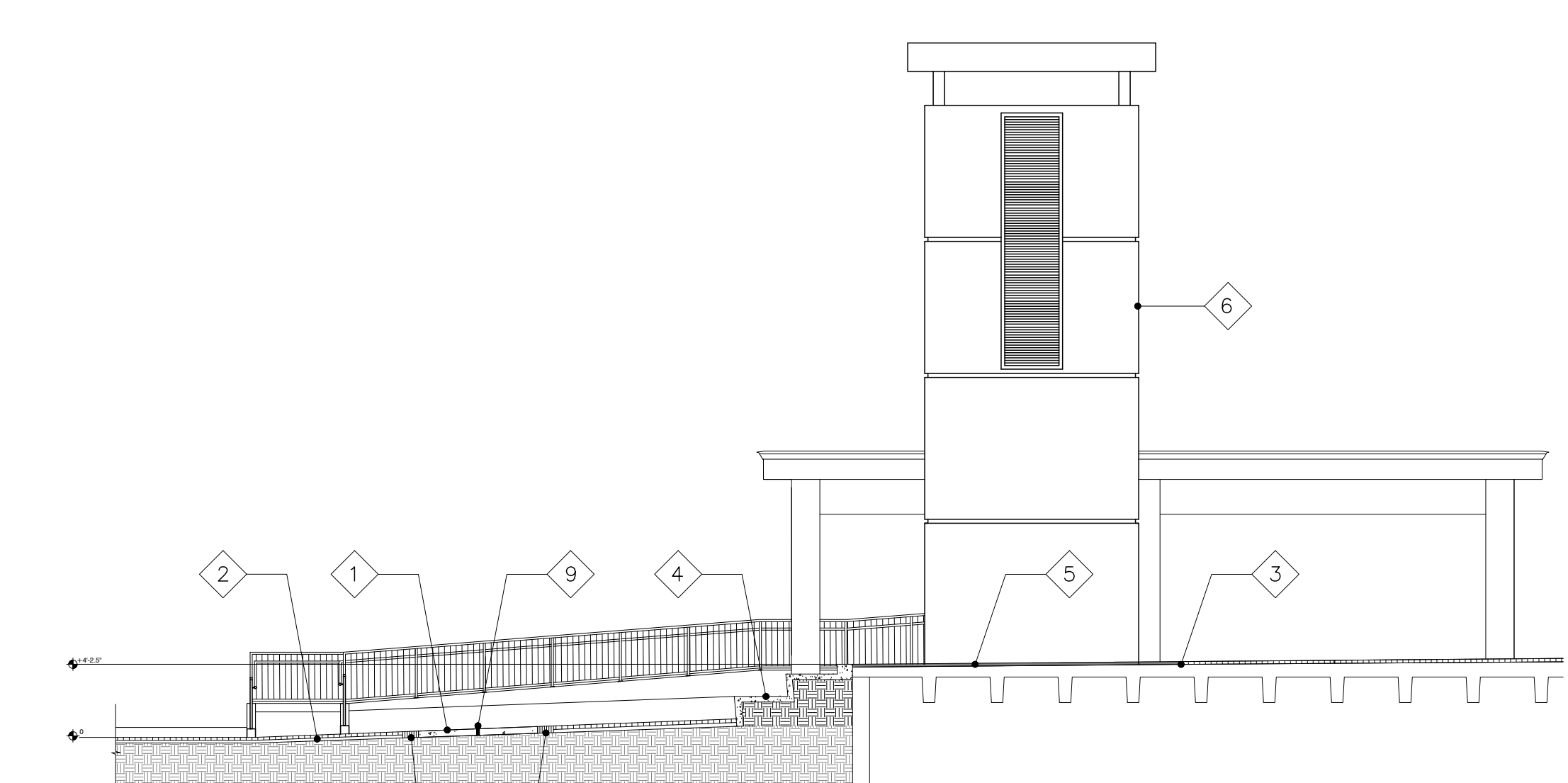
- 1 NEW CONCRETE SPLASH PAD.
- 2 NEW GRANITE PAVER TO MATCH EXISTING
- 3 EXISTING GRANITE PAVER.
- 4 NEW 1 1/2" GALVANIZED STEEL GUARDRAILS
SEE DETAILS ON DWG. A-1.1
- 5 NEW 1 1/2" GALVANIZED STEEL HANDRAILS
SEE DETAILS ON DWG. A-1.1
- 6 EXISTING TOWER 2 & 3 SEE DWG A-1.1
FOR IMPROVEMENT.
- 7 EXISTING GAZEBO RAMP SEE DWG A-1.1
FOR IMPROVEMENT.
- 8 NEW GROUND SPRAY MANIFOLD. SEE MECH
DWG P-101 & P-500 FOR DETAILS.
- 9 NEW SPLASH PAD TRENCH DRAIN. SEE
MECH DWG P-101 & P-500 FOR DETAILS.
- 10 NEW ACCESSIBLE RAMP PORTION. SEE
STRUCTURAL DWG S-2.0 FOR DETAILS.
- 11 NEW CONCRETE TOPPING OVER EXISTING
SLAB. SEE DWG A-1.1 FOR DETAILS



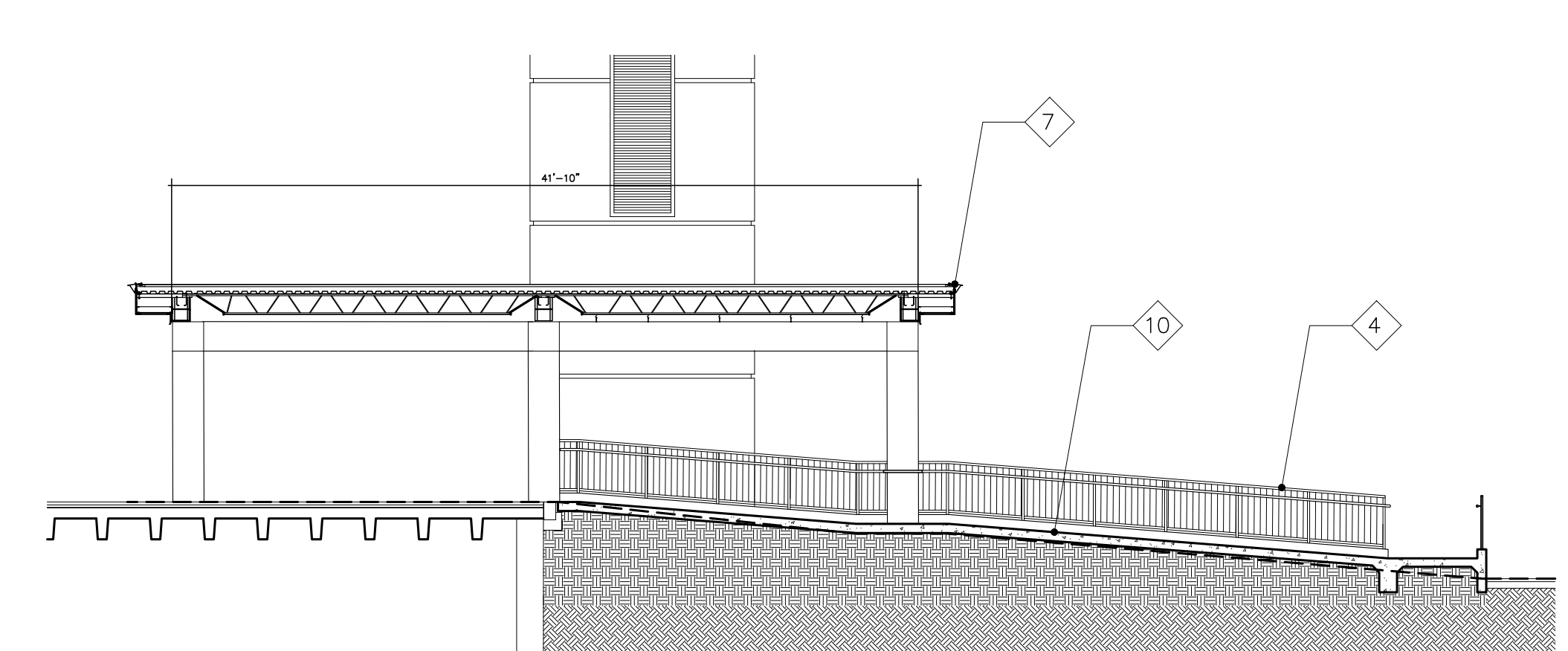
SECTION 1
SCALE: 1/8" = 1'-0"



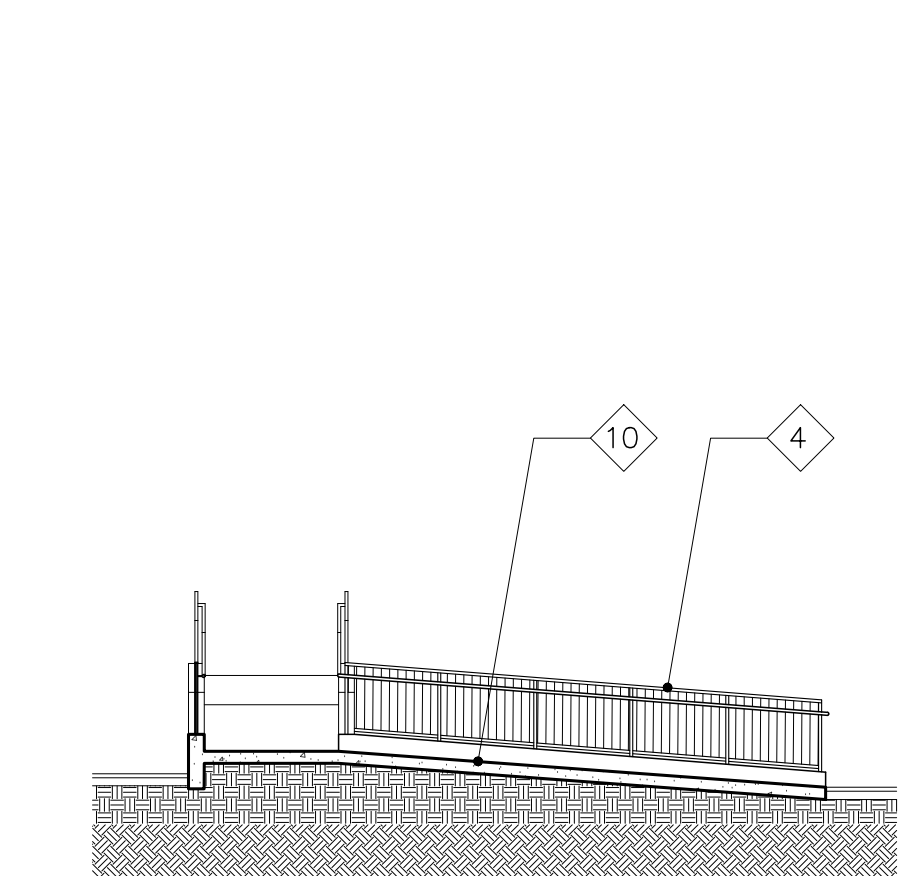
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SCALE: 1/8" = 1'-0"



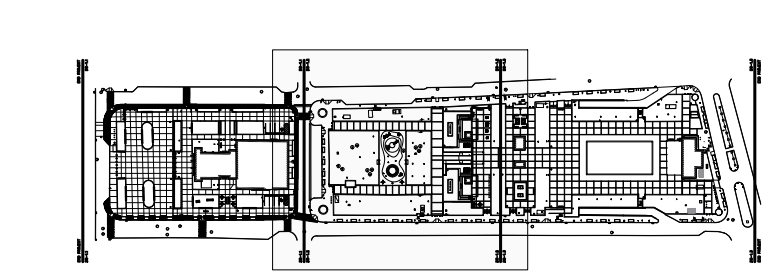
SECTION 3
SCALE: 1/8" = 1'-0"



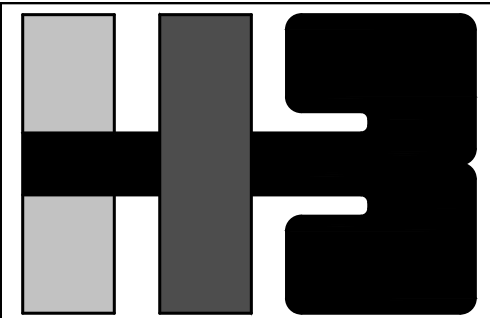
SECTION 4
SCALE: 1/8" = 1'-0"



SECTION 5
SCALE: 1/8" = 1'-0"



KEY MAP



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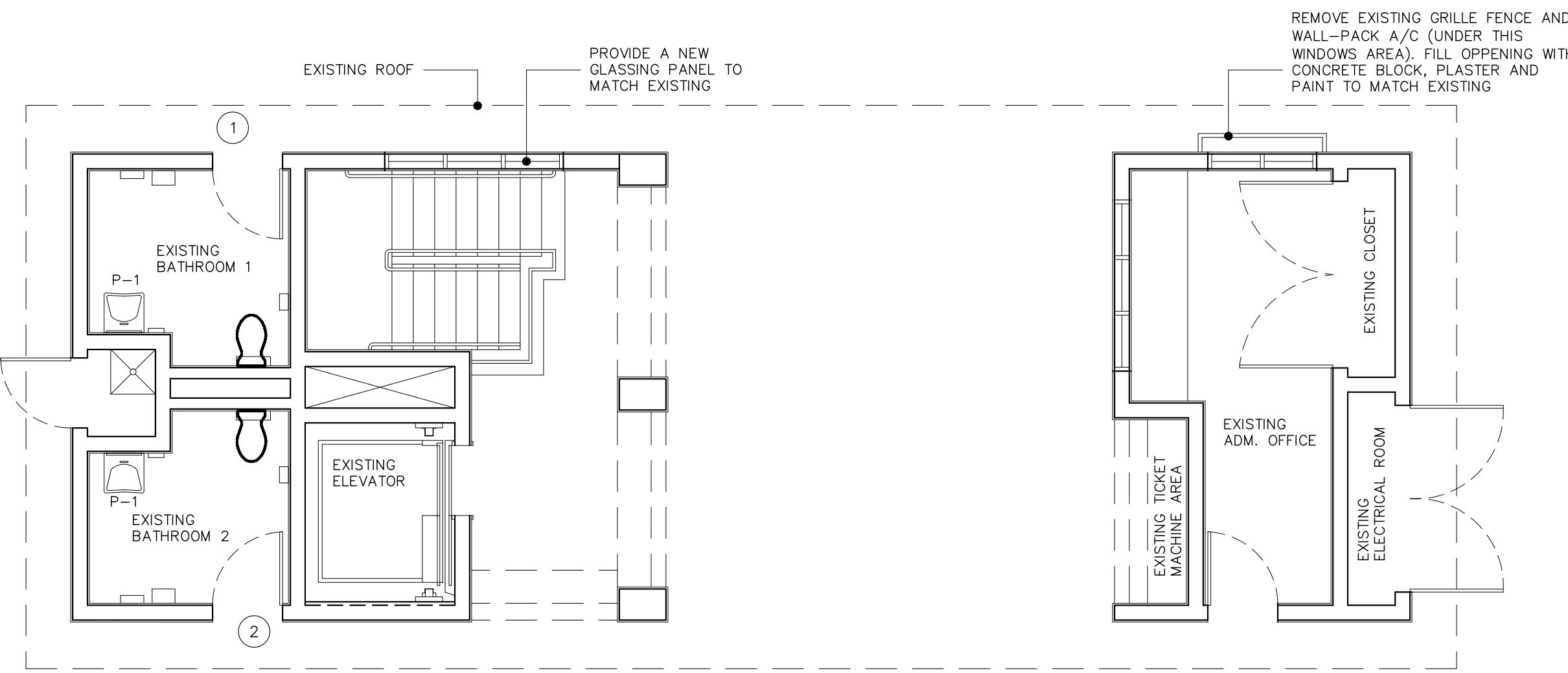
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PROJECT

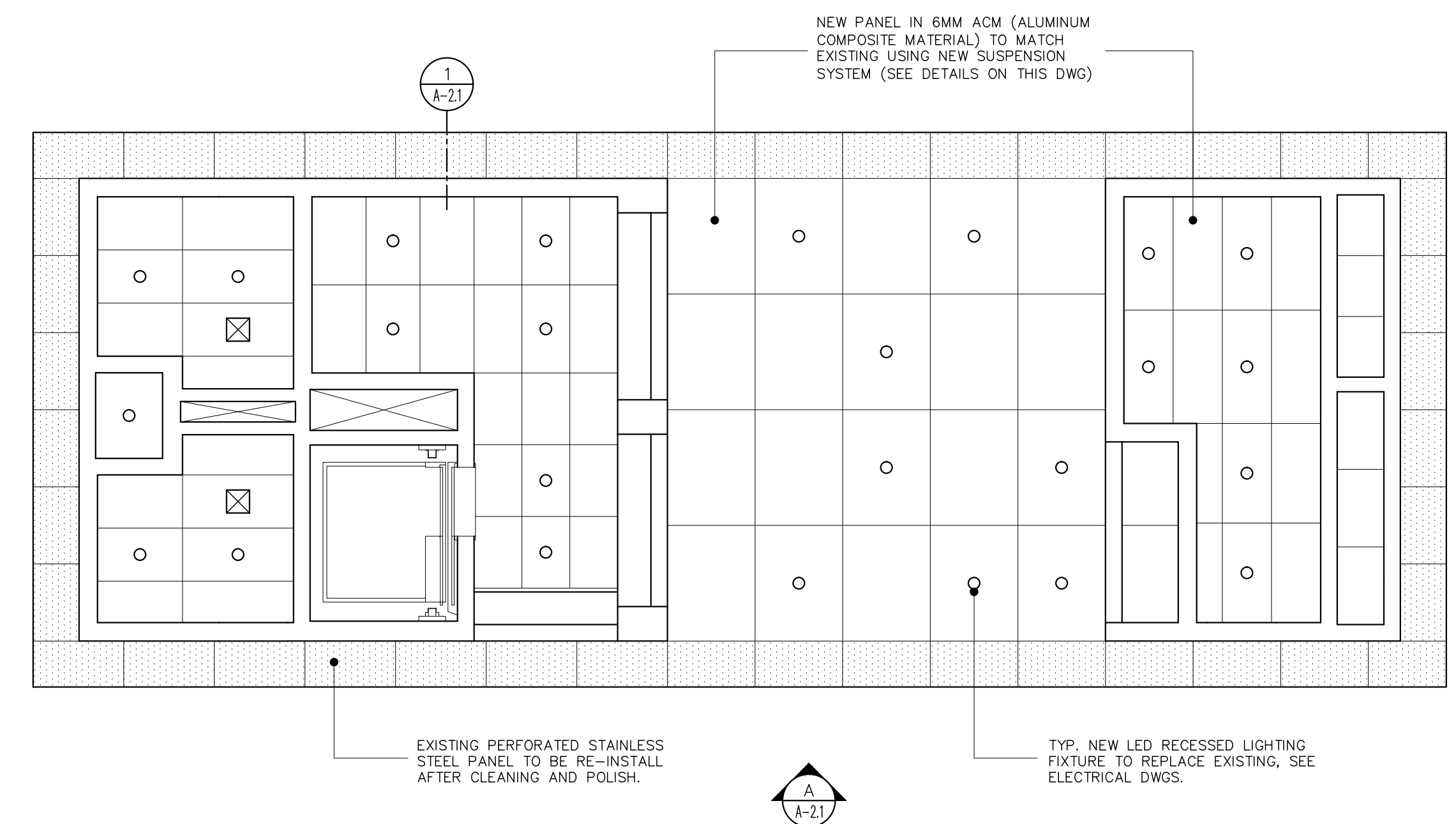
DRAWING BY/CHECKED BY
 jdd I.H.

NUMBER	TOTAL
39	62

DRAWING NUMBER
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EXISTING BUILDING B PROPOSED FLOOR PLAN
 SCALE: 3/16" = 1'-0"



EXISTING BUILDING B PROPOSED REFLECTING CEILING
 SCALE: 3/16" = 1'-0"

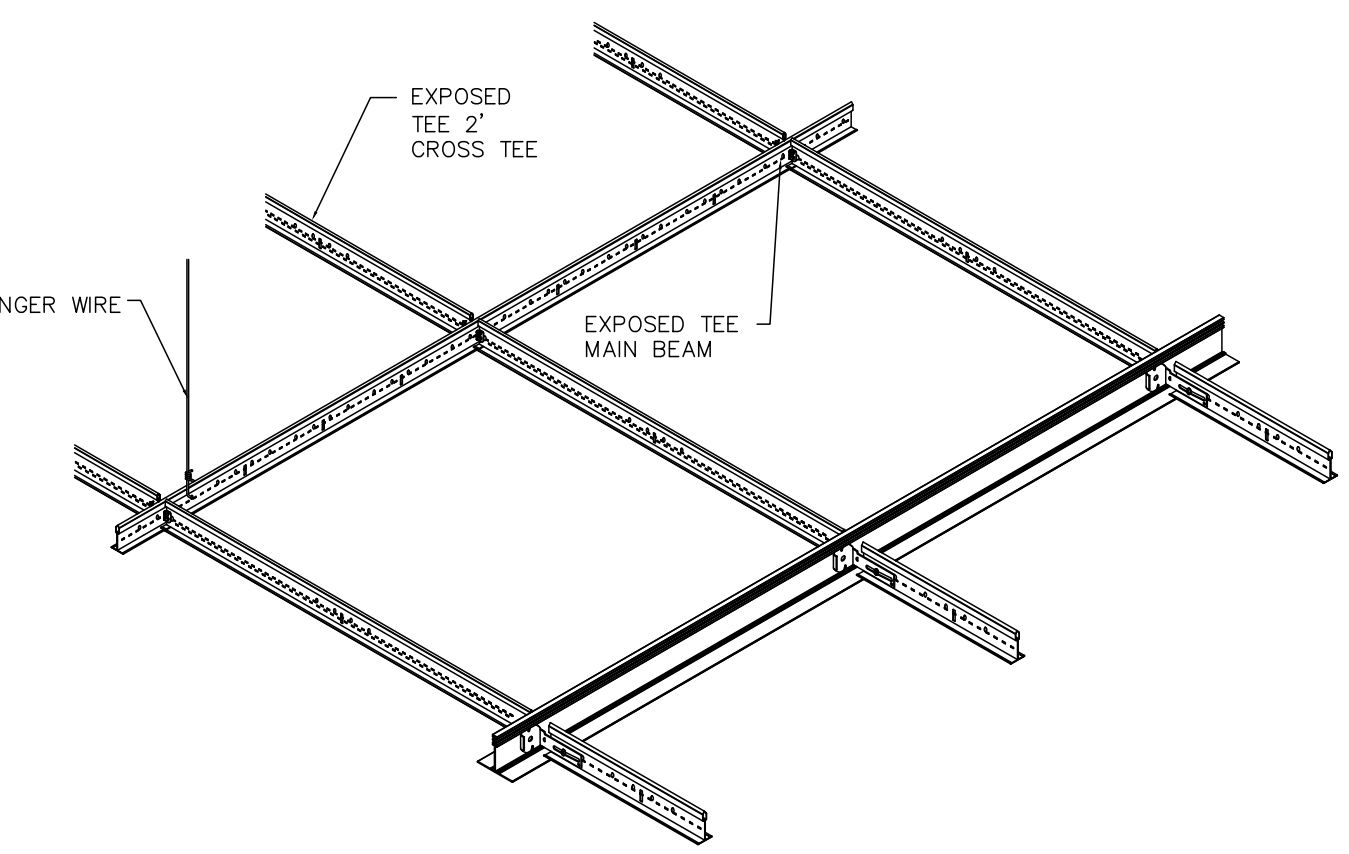
BATHROOM ACCESSORIES		
NUMBER	DESCRIPTION	COMMENTS
2	MIRROR	BRADLEY FIXED TILT MIRROR 740-024360
2	HAND SOAP DISPENSER	REMOVE TO RE-INSTALL, CLEAN AND POLISH
3	36" GRAB BAR	REMOVE TO RE-INSTALL, CLEAN AND POLISH
4	42" GRAB BAR	REMOVE TO RE-INSTALL, CLEAN AND POLISH
5	TOILET PAPER DISPENSER	REMOVE TO RE-INSTALL, CLEAN AND POLISH
6	PAPER DISPENSER	REMOVE TO RE-INSTALL, CLEAN AND POLISH
7	TOILET COVER PAPER DISPENSER	REMOVE TO RE-INSTALL, CLEAN AND POLISH

PLUMBING FIXTURE SCHEDULE		
SYMBOL	FIXTURE	SPECIFICATIONS
P-1	HC LAVATORY	1 1/2" CAST BRASS P-TRAP WITH CLEANOUT MODEL Z8700-PC BY ZURN, CHROME-PLATED, SOLID BRASS ANGLE STOP MODEL Z8804-XL-LR-PC ZURN - GRID DRAIN Z8743-PC, ZURN - P-TRAP Z8700-PC, ZURN - ANGLE STOPS Z8804-XL-LR-PC.

- GENERAL NOTES**
- CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGES INFLECTED TO THE OWNER'S OR NEIGHBOR PROPERTY OR OTHER AREAS DURING THE EXECUTION OF THE WORK. HE SHALL REPAIR ANY DAMAGES AT HIS OWN EXPENSE TO OWNER'S SATISFACTION
 - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING FIELD CONDITIONS PRIOR TO ACTUAL CONSTRUCTION OR INSTALLATION. IN CASE OF ANY DISCREPANCY WITH THE CONSTRUCTION DOCUMENTS, OR DOUBTS AS TO THE INTERPRETATION OF SAID DOCUMENTS, THE ARCHITECT SHALL BE IMMEDIATELY NOTIFIED AND CONSULTED FOR CLARIFICATION PRIOR TO CONSTRUCTION OR INSTALLATION.
 - CLEAN ALL EXTERIOR WALLS & FLOOR BY HYDROBLASTING (3 KSI)
 - BEFORE PAINTING WORK, CLEAN FUNGUS AND DARK SPOTS IN WALLS AND CEILINGS WITH AN INDUSTRIAL CHLORINE SOLUTION. (NO METHYLENE-CHLORIDE CONTAINING)
 - REPAIR ALL CRACKS, SCRAPE, PATCH AND/OR REMOVE EXISTING IMPERFECTIONS IN ALL INTERIOR / EXTERIOR CEMENT PLASTER WALLS & CEILINGS. USE CONCRETE REHABILITATION PRODUCTS FOR CORRECTION OF UNEVEN FINISHES IN EXISTING WALLS OR CEILINGS.
 - APPLY A HIGH QUALITY SURFACE CONDITIONER AT ALL INTERIOR / EXTERIOR CEMENT PLASTER WALLS
 - PAINT ALL INTERIOR / EXTERIOR CEMENT PLASTER SURFACES, FRAMES, DOORS, WINDOW, ETC. AS SPECIFIED. COLORS TO BE SELECTED BY ARCHITECT AS INDICATED IN TECHNICAL SPECIFICATIONS. (NO LEAD-BASED PAINT SHALL BE UTILIZED IN THIS PROJECT.
 - AFTER CONSTRUCTION WORK IS FINISHED THE WHOLE PROJECT SHALL BE PAINTED ACCORDING TO SPECIFICATIONS.

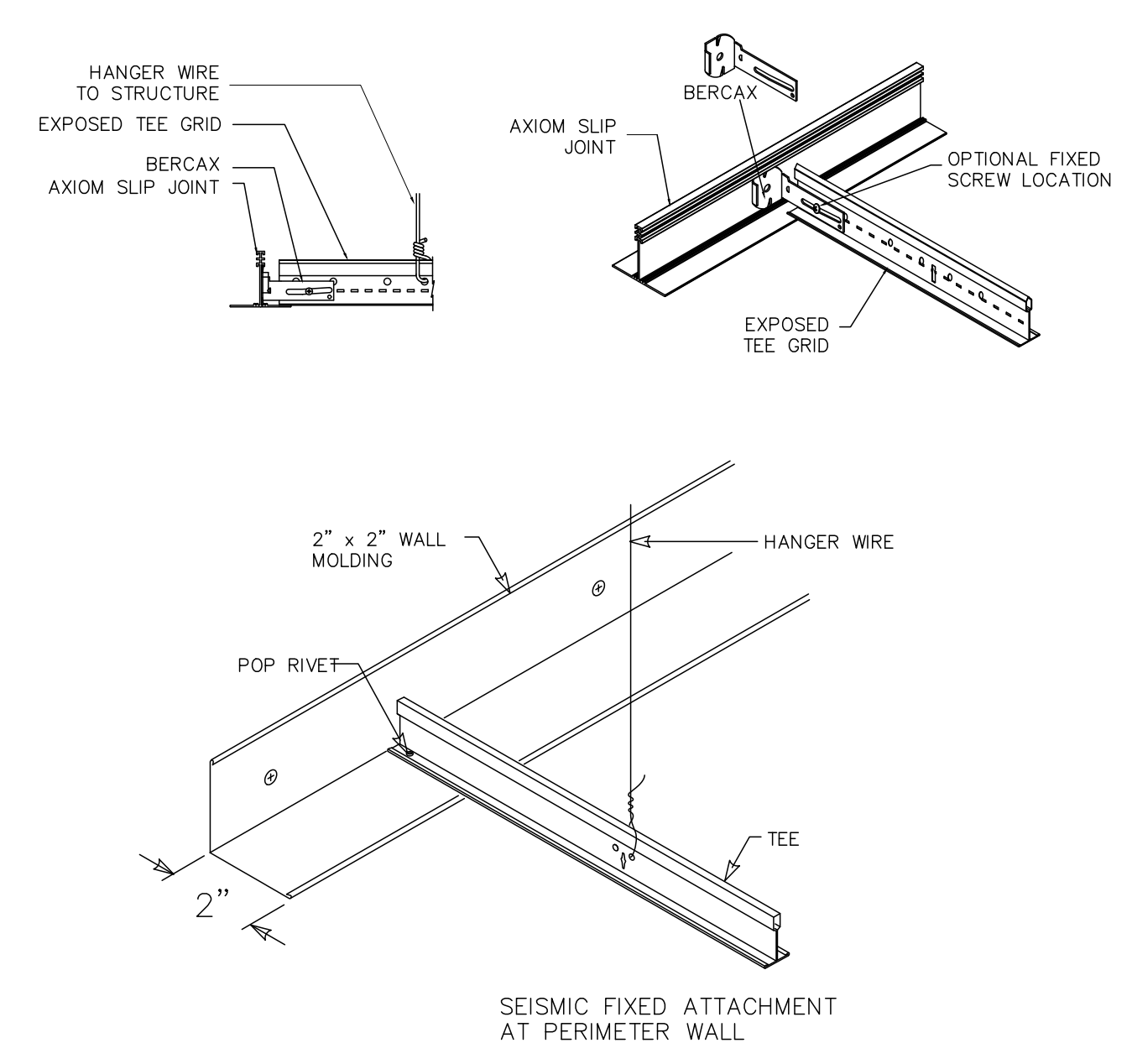
- ELEVATOR MODERNIZATION NOTES:**
- CUARTO DE MAQUINA
 A. CONTROLADOR NUEVO COMPUTADORIZADO QUE CUMPLA CON LOS REGLAMENTOS DE SEGURIDAD Y EL CÓDIGO DE ANSI 17.1 REV.2019. INCLUIR: REQUISITOS ADA 2010
 - OPERACIÓN DE EMERGENCIA EN CASO DE FUEGO
 3. PARA QUE FUNCIONE CON GENERADOR ELÉCTRICO CUANDO LUMA FALLE
 - CON "RUPTURE VALVE" EN LA TUBERÍA HIDRÁULICA
 A. REEMPLAZAR "PUMP UNIT" INCLUYENDO MOTOR, BOMBA HIDRÁULICA Y CUERPO DE VALVULA. REEMPLAZAR ACEITE HIDRÁULICO.
 - ALAMBRADO - PROVEER NUEVO
 - SEÑALES Y BOTONERAS DE PASILLO - TODAS SERÁN REEMPLAZADAS
 - ENTRADAS Y TÚNEL -
 A. EN TODOS LOS PISOS SE REEMPLAZARÁN A LAS PUERTAS LOS "HANGER ROLLERS", CERRADURAS Y ZAPATILLAS
 B. REACONDICIONAR Y PINTAR TODOS LOS MATERIALES EXPUESTOS DEL TÚNEL A REUTILIZARSE COMO VÍAS, BRACKETS Y AMORTIGUADORES
 C. INSTALAR SISTEMA "BRALE" EN MARCOS DE PUERTAS Y PASILLOS SEGÚN REQUERIDO POR LOS CODIGOS VIGENTES
 D. INSTALAR SENSOR DE SEGURIDAD EN PISTON
 - CABINA -
 A. REEMPLAZAR OPERADOR DE PUERTA Y SUS COMPONENTES
 B. SUPLIR E INSTALAR UN PROTECTOR DE SEGURIDAD A LA PUERTA DE CABINA
 C. REEMPLAZAR PANEL DE BOTONES SEGÚN REQUISITOS DE CÓDIGO DE IMPEDIMENTOS Y BOMBEROS
 D. SUPLIR E INSTALAR INDICADOR DE PISO VISUAL Y AUDIBLE
 E. SUPLIR E INSTALAR SEÑALES LUMINADAS TIPO FLECHAS Y AUDIBLES QUE INDICAN LA DIRECCIÓN DEL ELEVADOR
 F. INSTALAR CÁMARA DE SEGURIDAD
 G. SUPLIR Y ALAMBRAR TODO EL EQUIPO NECESARIO PARA TENER UN SISTEMA DE COMUNICACIÓN INTEGRADO
 H. INSTALAR "INSPECTION BOX" EN EL TECHO DE LA CABINA QUE TENGA SENSOR DE VELOCIDAD
 I. INSTALAR INTERRUPTOR (SW) EN LA ESCOTILLA DE EMERGENCIA
 J. INSTALAR BARANDAS EN EL TECHO DE LA CABINA, SEGÚN REQUERIDO POR CÓDIGO VIGENTE
 K. SE INSTALARÁ UN SISTEMA DE MONITOREO DE LÍNEA TELEFÓNICA, SEGÚN REQUERIDO POR CÓDIGO VIGENTE
 - DECORACIÓN DE CABINA -
 A. SUPLIR E INSTALAR PANELES DE PLÁSTICO LAMINADO (COLORES A SELECCIONARSE POR ARQUITECTO)
 B. SUPLIR E INSTALAR ABANICOS
 C. SUPLIR E INSTALAR TECHO SUSPENDIDO EN ACERO INOXIDABLE Y LUCES LED
 D. SUPLIR E INSTALAR PISO EN VINIL
 E. SUPLIR E INSTALAR PASAMANOS CON DIMENSIONES Y ALTURAS REQUERIDAS POR CÓDIGOS

ACOUSTICAL SUSPENDED CEILING TYPICAL DETAILS



GENERAL NOTES FOR CEILING SYSTEM:
 CONSULT YOUR LOCAL BUILDING CODE FOR ADDITIONAL REQUIREMENTS OUTSIDE OF THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. THIS INCLUDES BUT IS NOT LIMITED TO BRACING OF TRANSITIONS, AND ADDITIONAL SEISMIC REQUIREMENTS. FIELD VERIFY ALL CONDITIONS AND DIMENSIONS.

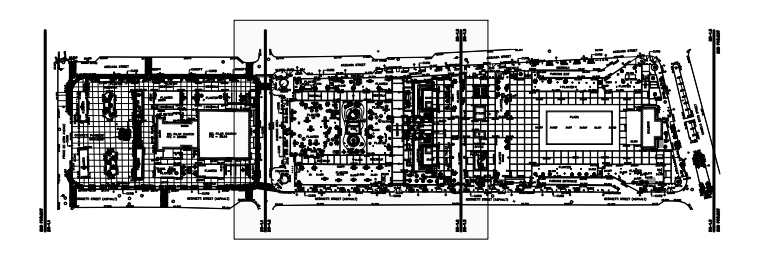
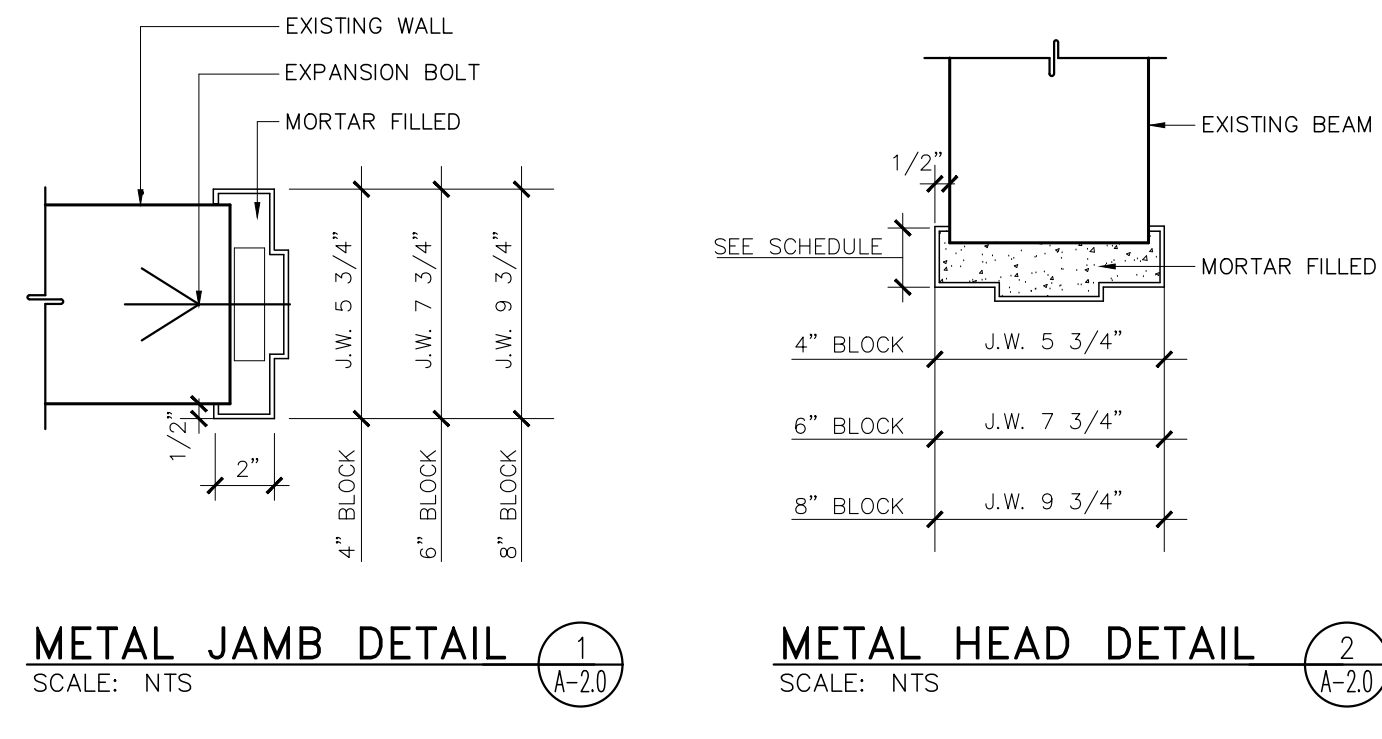
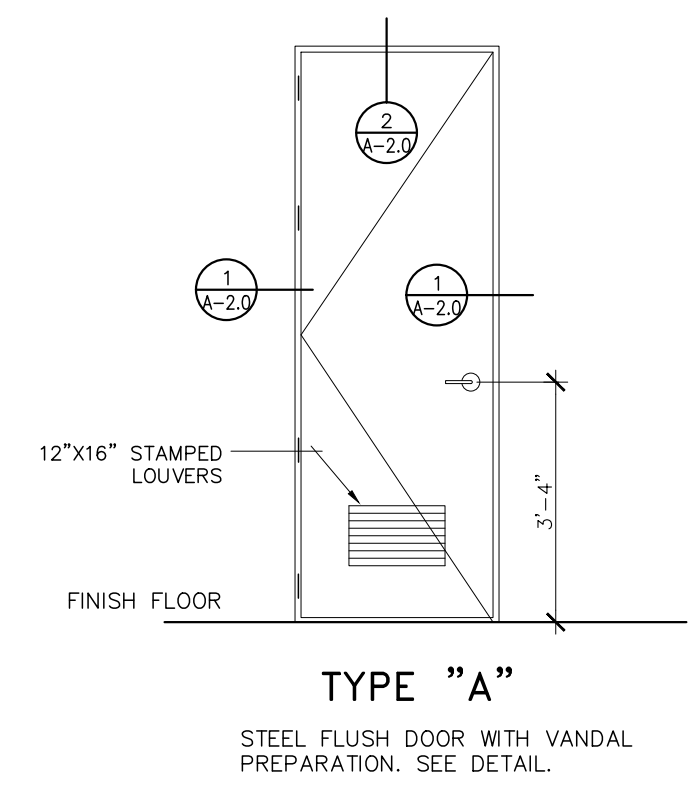
ACOUSTICAL CEILING SUSPENSION GRID SYSTEM DETAILS

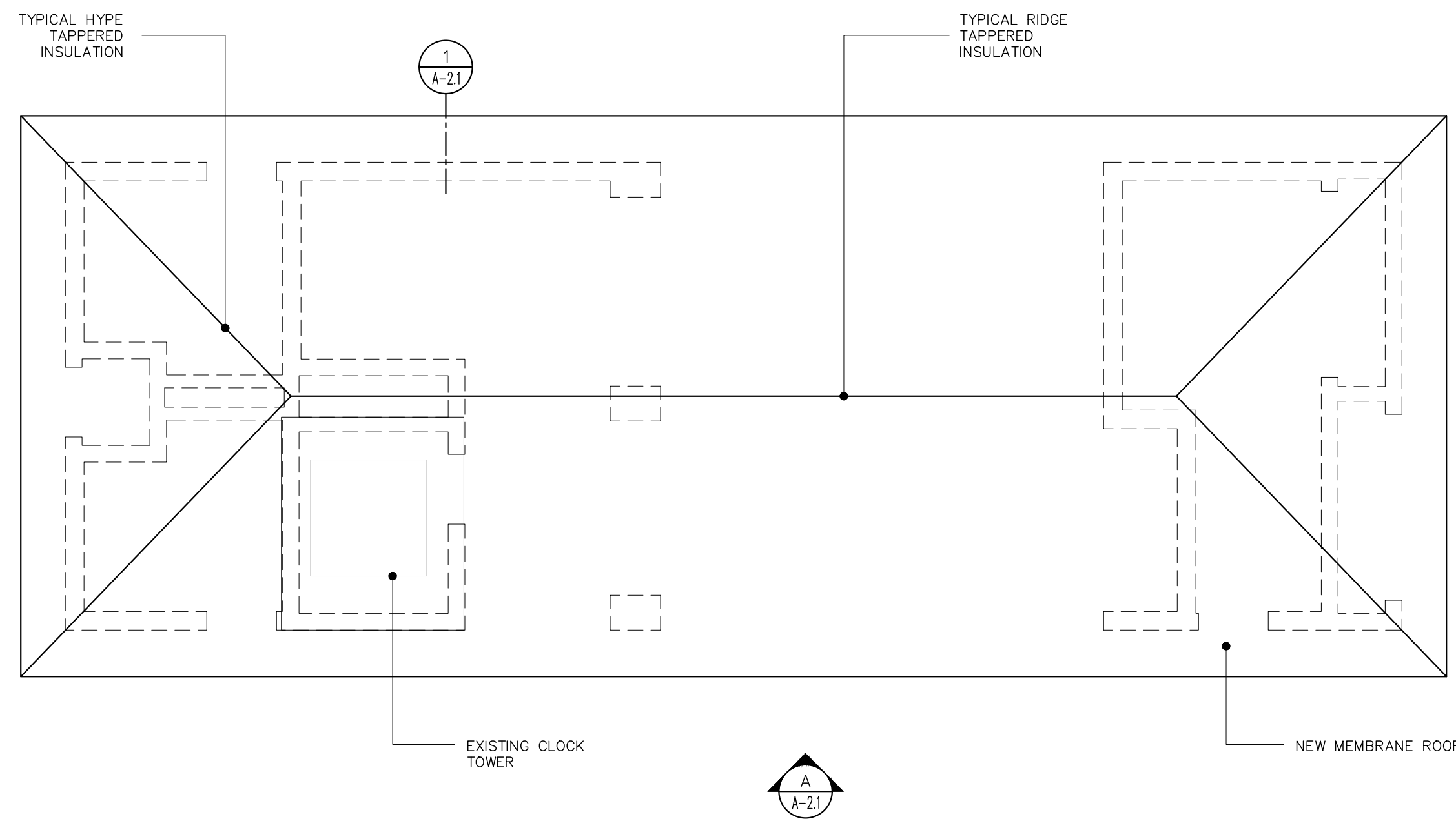


DOOR SCHEDULE FOR BUILDING A				
NUM.	OPENING	TYPE	FRAME	HARDWARE SET NUM.
1	3'-0" x 8'-0"	A	2 x 6	1
2	3'-0" x 8'-0"	A	2 x 6	1

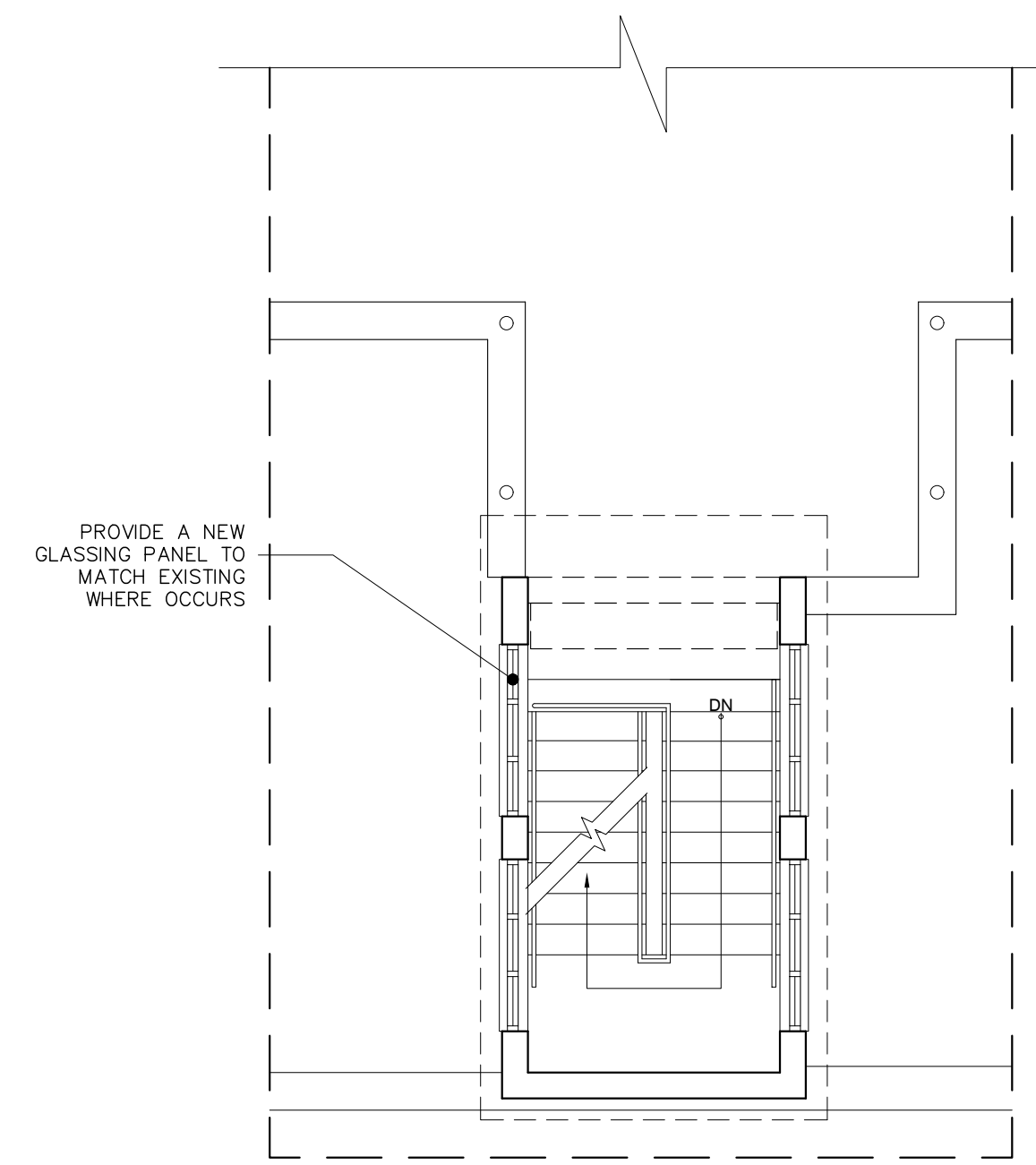
HARDWARE SET 1 SINGLE RESTROOM WITH ENTRANCE LOCK				
QTY	DESCRIPTION	MANUFACTURER	MODEL	SET NO.
4 EA	HINGES	5881	SERIES AS SPECIFIED	630
1 EA	ENTRANCE LOCK	L9453	L583-363	630
1 EA	SURFACE CLOSER	4011	REG SR	689
1 EA	KICK PLATE	8400	10" x 2" LDW	630
1 EA	STOP	WS407	FS436	630
1 SET	SEALS	706E		AL
1 EA	DRIP CAP	18A		AL
1 EA	DOOR SWEEP	C627		AL
1 EA	THRESHOLD	513		AL

CONTRACTOR SHALL SUBMIT HARDWARE SCHEDULE WITH THE HARDWARE SUBMITTAL FOR ARCHITECT'S APPROVAL.

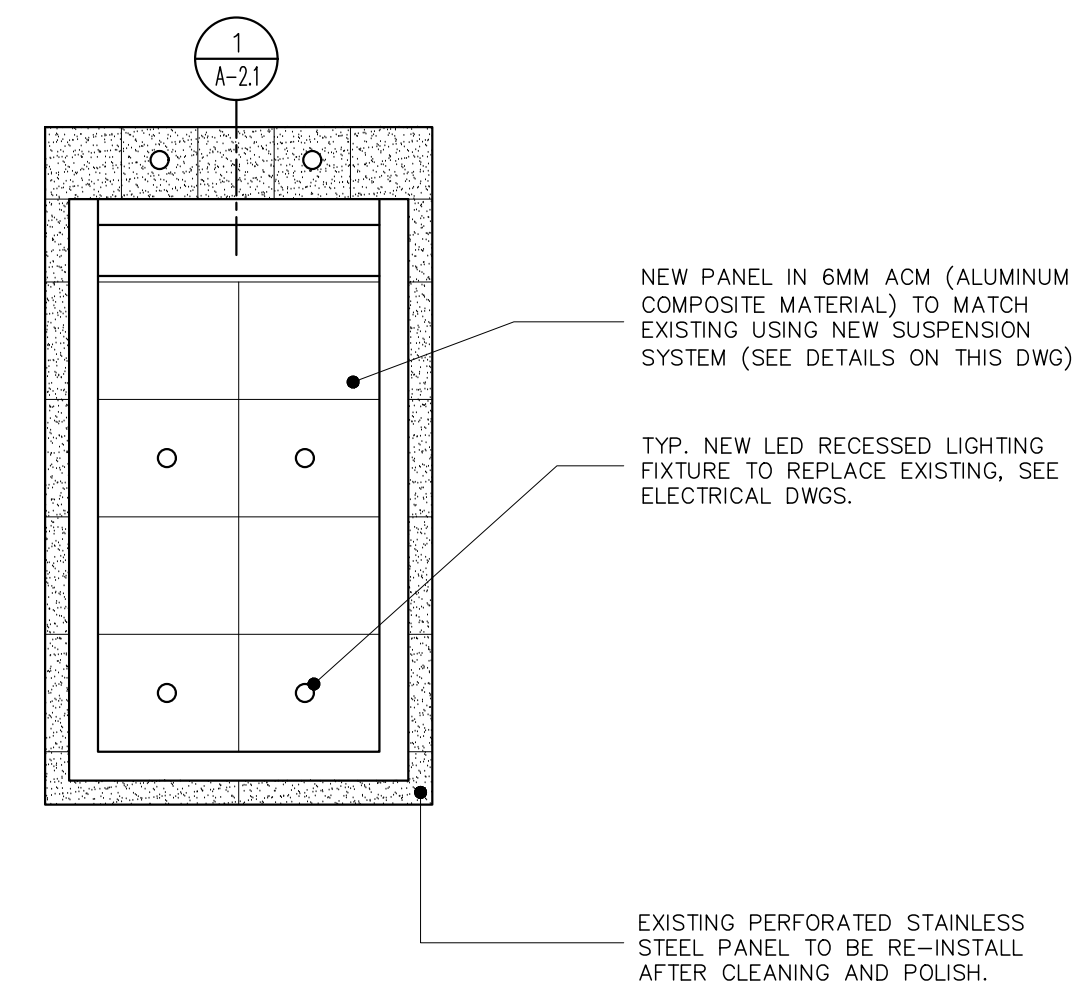




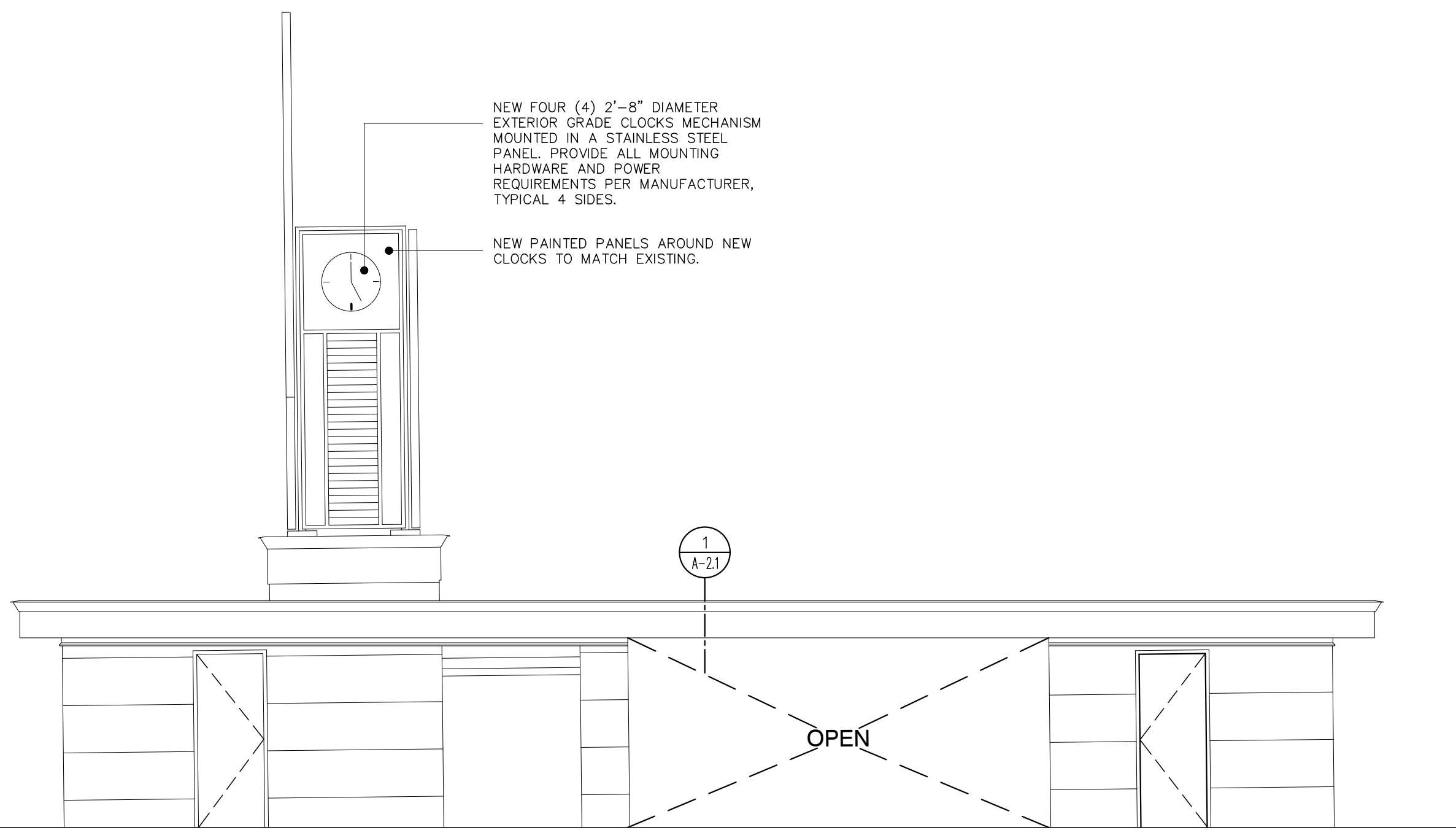
EXISTING BUILDING B PROPOSED ROOF PLAN
SCALE: 3/16" = 1'-0"



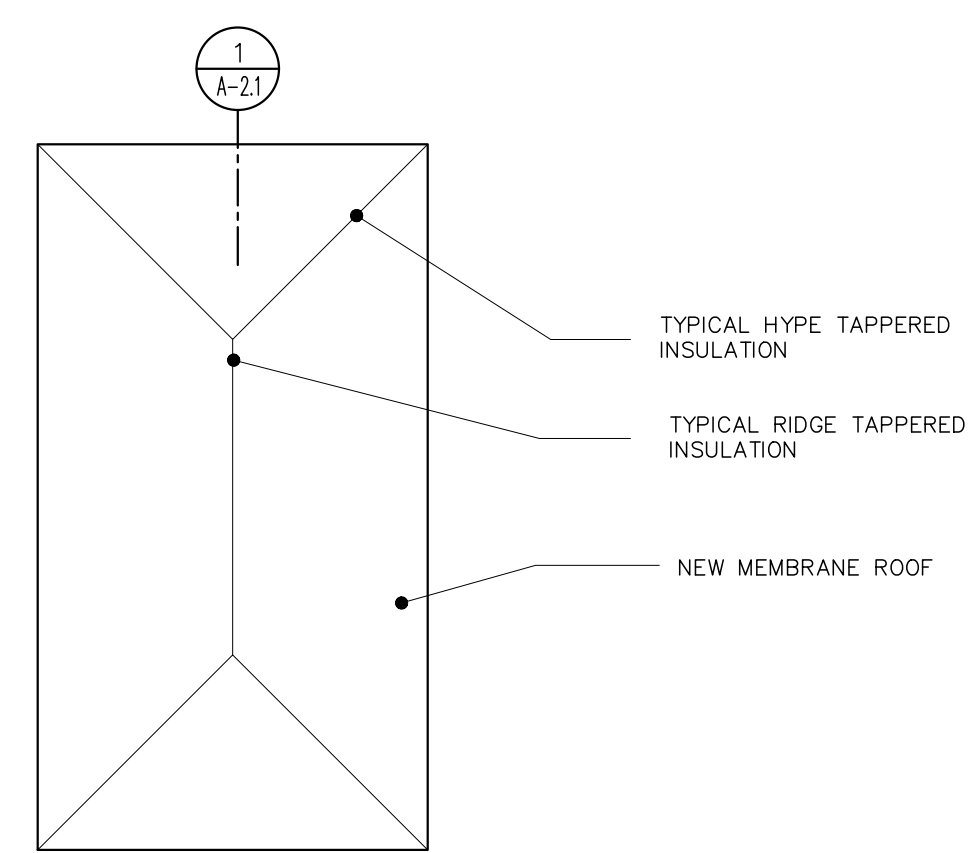
EXISTING BUILDING C PROPOSED FLOOR PLAN
SCALE: 3/16" = 1'-0"



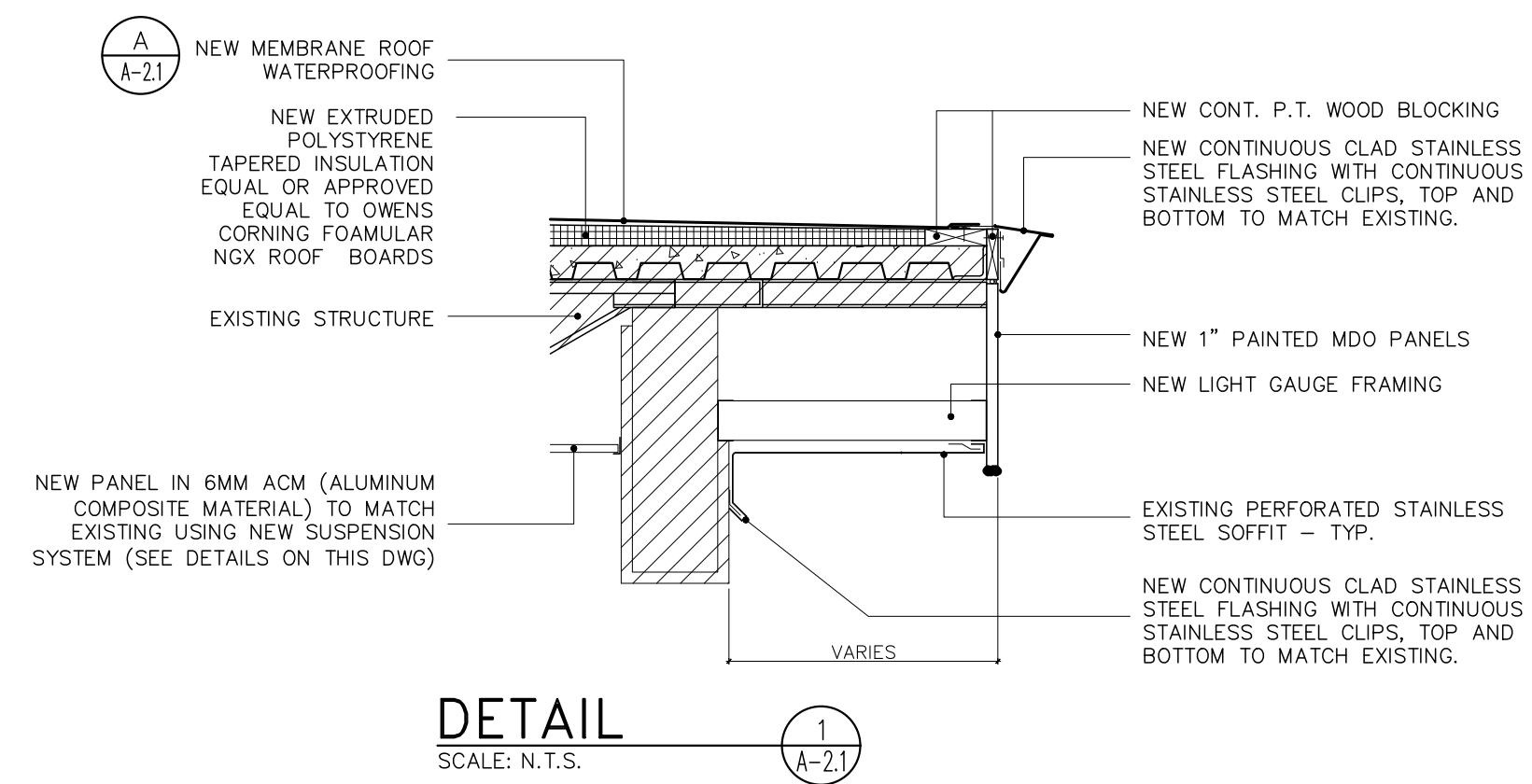
EXISTING BUILDING A PROPOSED ROOF PLAN
SCALE: 3/16" = 1'-0"



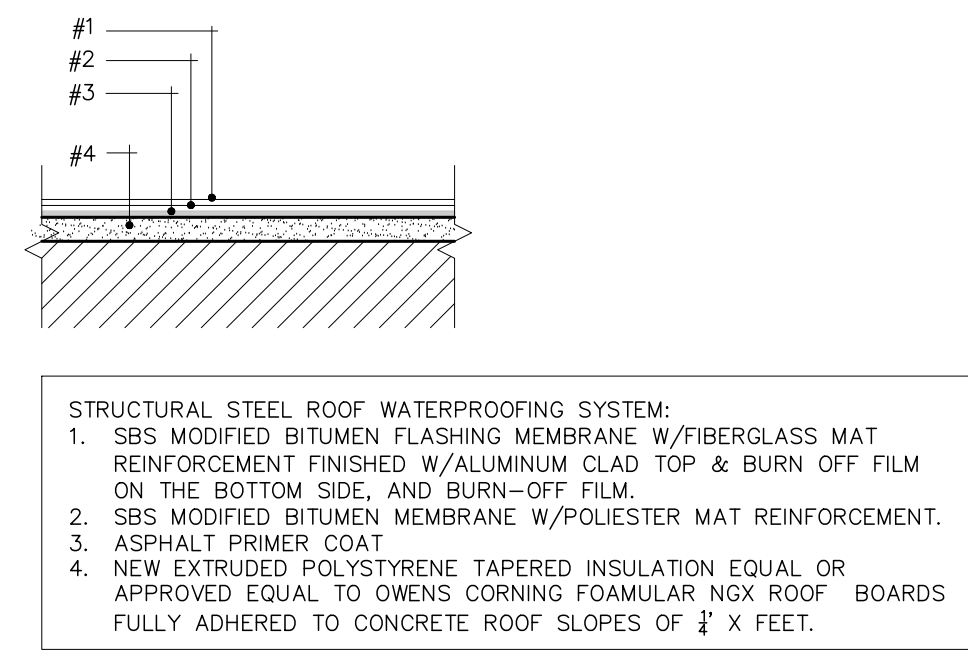
EXISTING BUILDING B ELEVATION
SCALE: 3/16" = 1'-0"



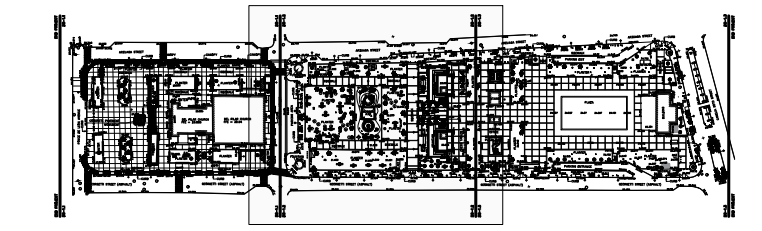
EXISTING BUILDING D PROPOSED ROOF PLAN
SCALE: 3/16" = 1'-0"



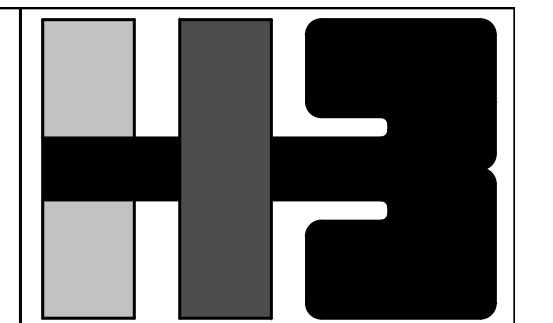
DETAIL
SCALE: N.T.S.



ROOF WATERPROOFING DETAIL
SCALE: N.T.S.

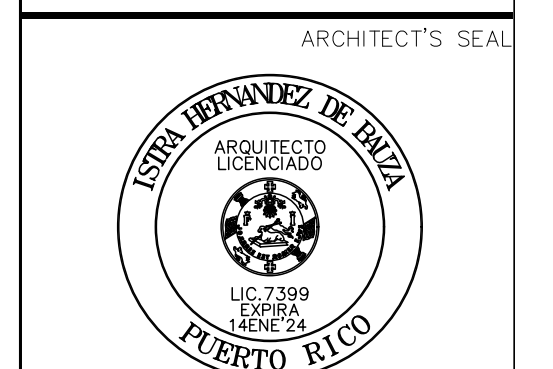


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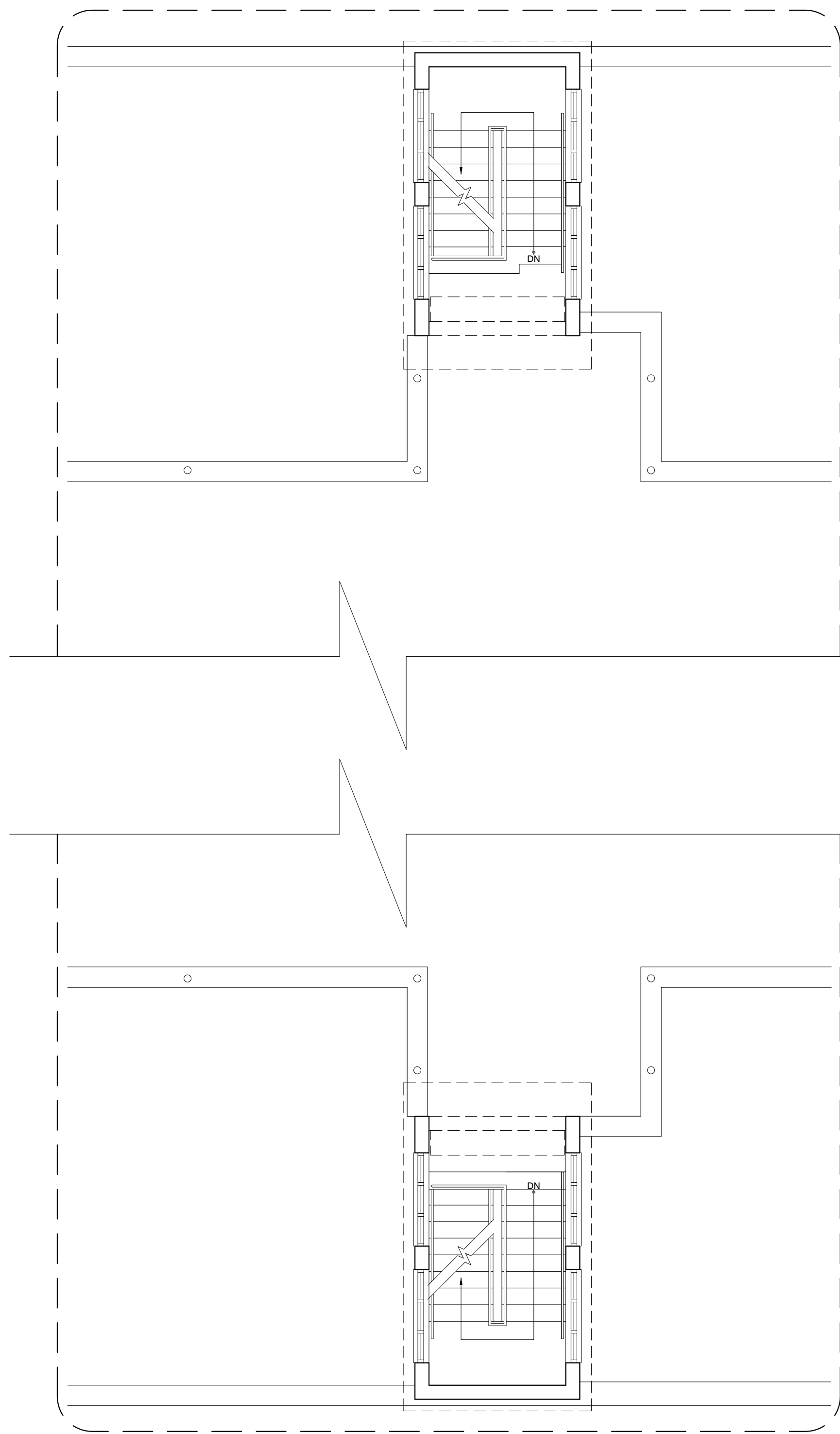
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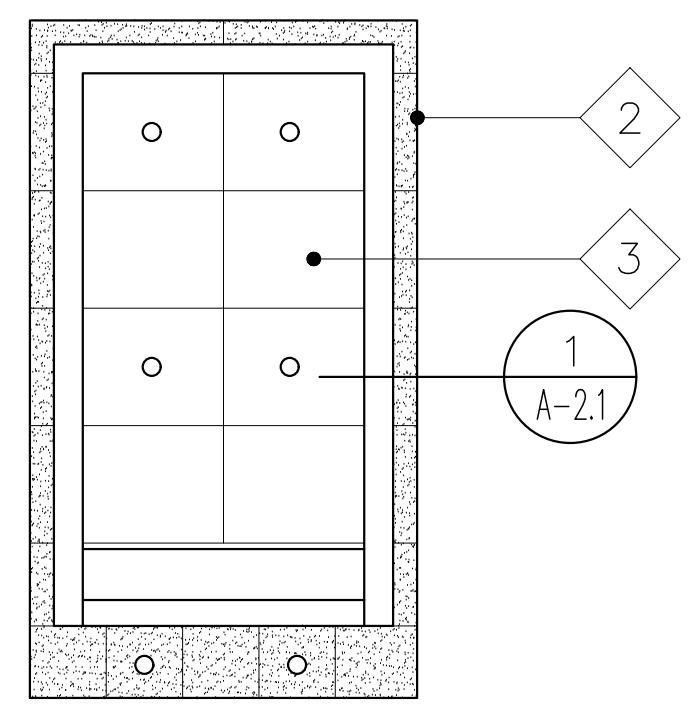
NUMBER	TOTAL
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DRAWING NUMBER
A-2.1

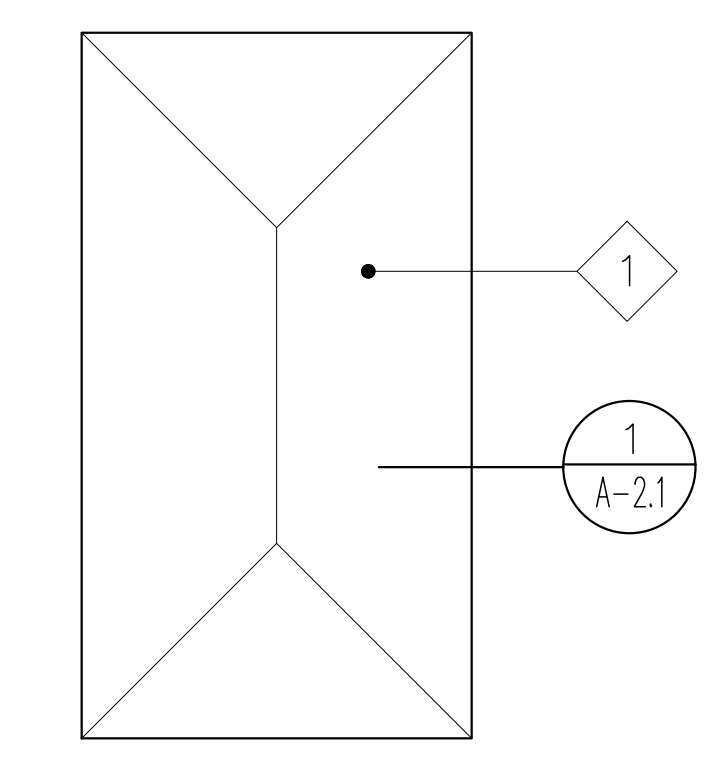
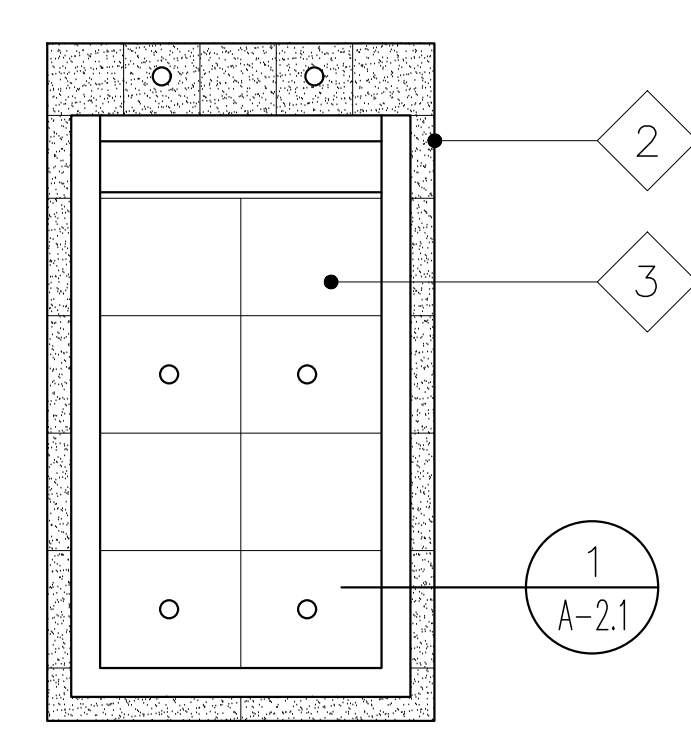


EXISTING BUILDING C PROPOSED FLOOR PLAN
SCALE: 3/16" = 1'-0"

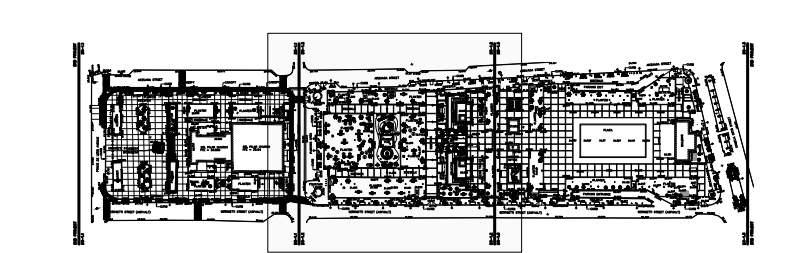
- LEGEND:**
- 1 INSTALL NEW WATER PROOFING MEMBRANE
SEE DETAILS AND NOTES ON DWG A-2.0
 - 2 EXISTING PERFORATED STAINLESS STEEL PANEL TO BE
RE-INSTALLED AFTER CLEAN ACCORDING TO TECH
SPEC SECTION 050100 (RESTORATION OF METALS)
 - 3 NEW METAL CEILING
 - 4 STAIR:
CLEAN EXISTING STAIR, INSTALL A NEW FIXED GLASS WINDOW
TO MATCH EXISTING.



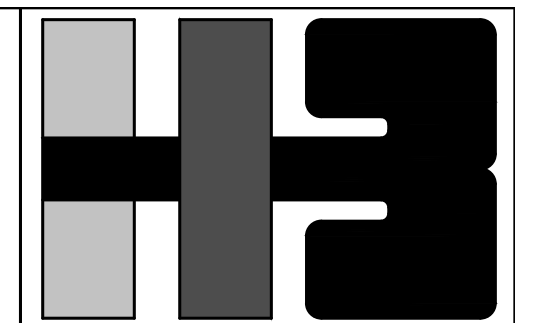
EXISTING BUILDING C PROPOSED REFLECTING CEILING
SCALE: 3/16" = 1'-0"



EXISTING BUILDING A PROPOSED ROOF PLAN
SCALE: 3/16" = 1'-0"



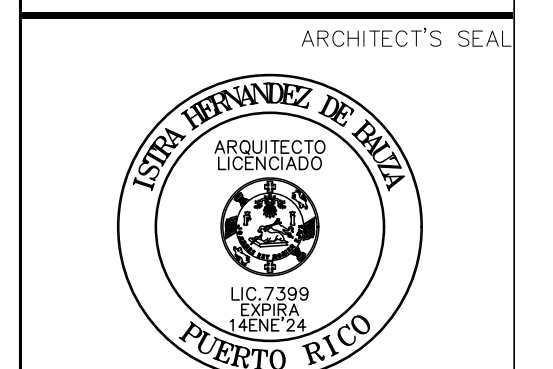
KEY MAP



**HERNANDEZ-BAUZA
PSC, ARCHITECTS**
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CLIENT
MANAGER
DEPT. OF URBAN DESIGN AND
PROJECT DEVELOPMENT, MASJ.

OWNER
AUTONOMOUS MUNICIPALITY
OF SAN JUAN

PROJECT
IMPROVEMENTS OF "PLAZA
DE LA CONVALECENCIA"
AND "PLAZA DEL PILAR"

DRAWING NAME
EXISTING BUILDING C
PROPOSED PLANS

COMPUTER PLOT
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NO.	DATE	REVISION	BY	APPROVED

PROJECT

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jdd I.H.

NUMBER	TOTAL
41	62

DRAWING NUMBER
A-3.0



PLAZA DEL PILAR RENDER I



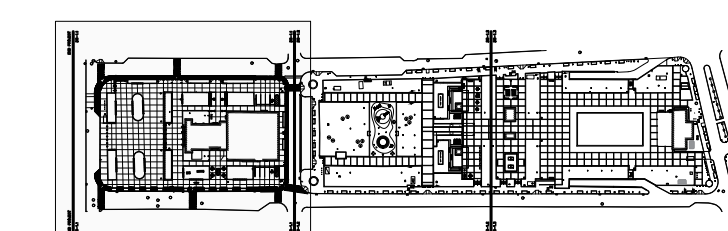
PLAZA DEL PILAR RENDER II



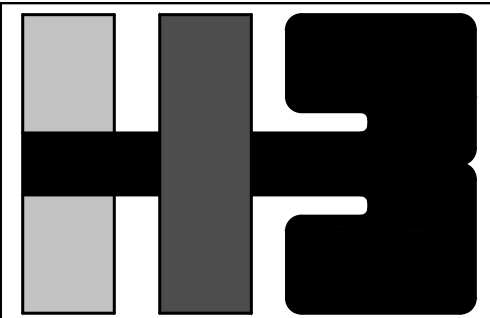
PLAZA DEL PILAR RENDER III



PLAZA DEL PILAR RENDER IV



KEY MAP



**HERNANDEZ-BAUZA
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CLIENT
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PROJECT
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DRAWING NAME
EXISTING BUILDING A PROPOSED PLAN

COMPUTER PLOT
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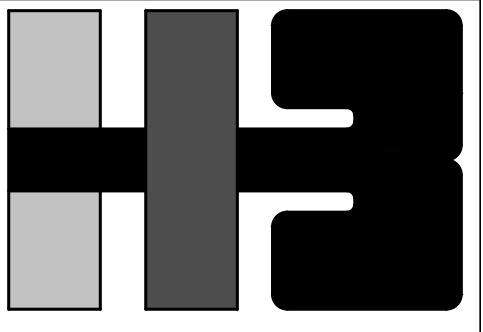
NO.	DATE	REVISION	BY	APPROVED

PROJECT

DRAWING BY/CHECKED BY
LRC I.H.

NUMBER	TOTAL
42	62

DRAWING NUMBER
A-4.0



**HERNANDEZ-BAUZA
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APLICABLES DEL REGLAMENTO CONJUNTO Y LAS
DISPOSICIONES APPLICABLES DE LOS REGLAMENTOS Y
CÓDIGOS DE CONSTRUCCIÓN VIGENTES DE LAS AGENCIAS,
JUNTAS REGULADORAS O CORPORACIONES PÚBLICAS
CON JURISDICCION Y ESTAN EN CONFORMIDAD CON
CÓDIGOS DE CONSTRUCCIÓN DE PUERTO RICO 2018" VIGENTE
AL 15 DE NOVIEMBRE DE 2018. CERTIFICO, ADÉMÁS, QUE EN LA
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CONOCIDA COMO LA "LEY PARA LA INVERSIÓN POR LA
INDUSTRIA PUERTORRIQUENA" Y CON LA LEY NÚM. 315 DE
15 DE MAYO DE 1938, SEGÚN ENMIENDADA; LEY NÚM. 96 DE
6 DE JULIO DE 1978, SEGÚN ENMIENDADA; SEGÚN APRUQUE;
RECONOCIENDO QUE CUALQUIER DECLARACIÓN FALSA O
FALSIFICACIÓN DE LOS HECHOS QUE SE HAYA PRODUCIDO
POR DESCONEJIMIENTO O POR NEGLIGENCIA YA SEA POR
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DRAWING NAME

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COMPUTER PLOT

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PROJECT

DRAWING BY/CHECKED BY

LRC I.H.

NUMBER TOTAL

43 62

DRAWING NUMBER

A-5.0



SPLASH PLAZA I RENDER



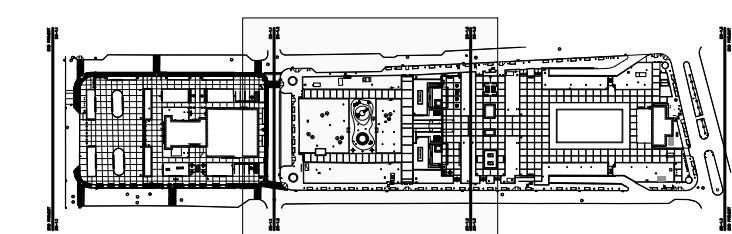
SPLASH PLAZA II RENDER



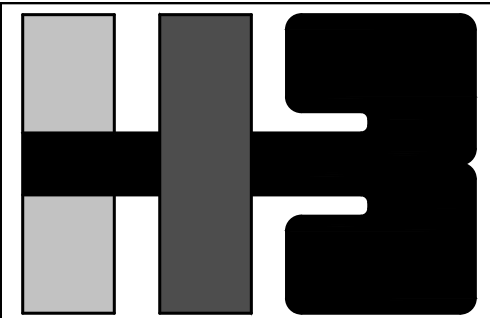
PLAYGROUND RENDER



HABITABLE PLANTER RENDER



KEY MAP



**HERNANDEZ-BAUZA
PSC, ARCHITECTS**

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DRAWING NAME
EXISTING BUILDING A
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NO. DATE REVISION BY APPROVED

NO.	DATE	REVISION	BY	APPROVED

PROJECT

DRAWING BY/CHECKED BY
LRC I.H.

NUMBER	TOTAL
44	62

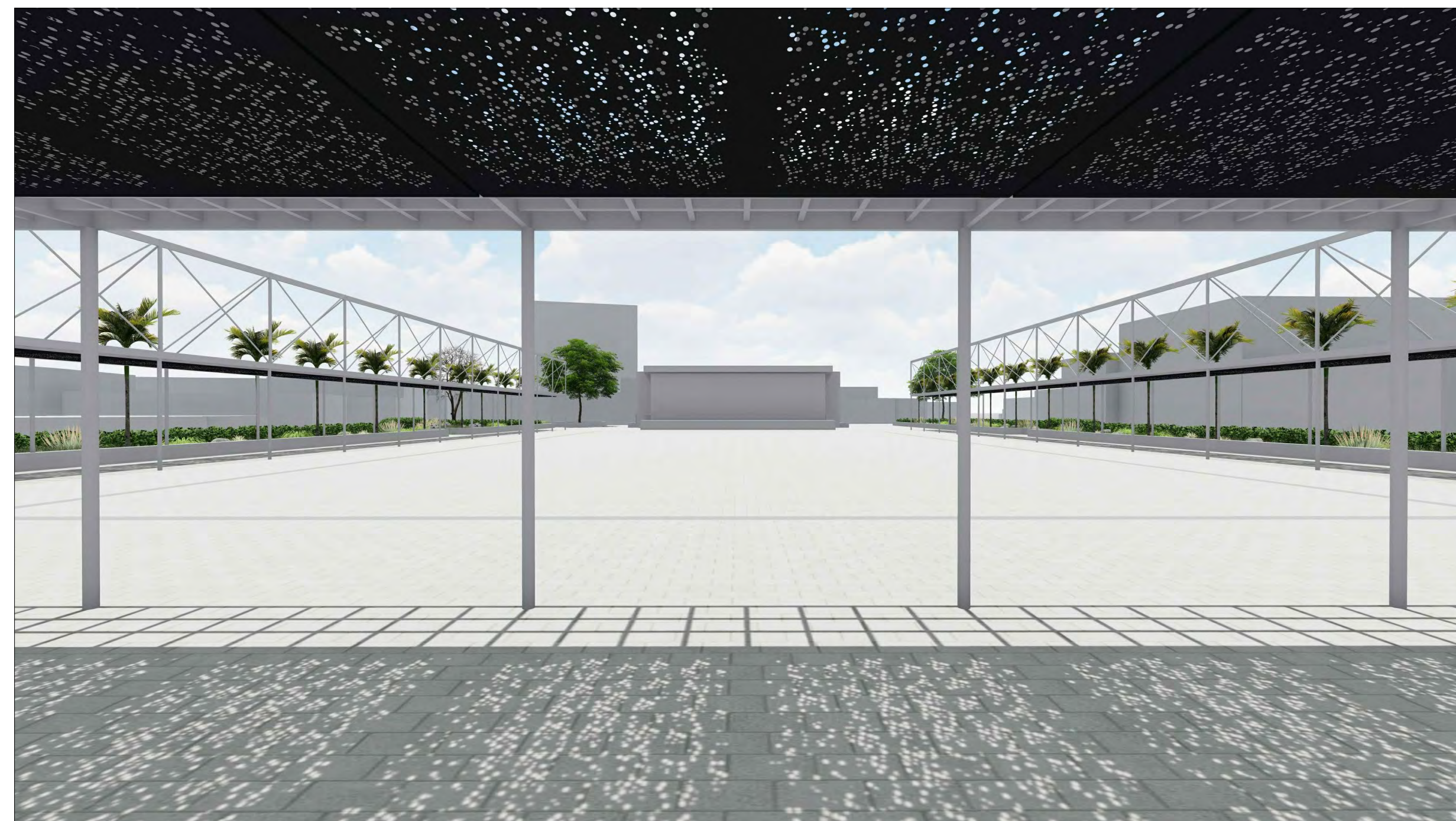
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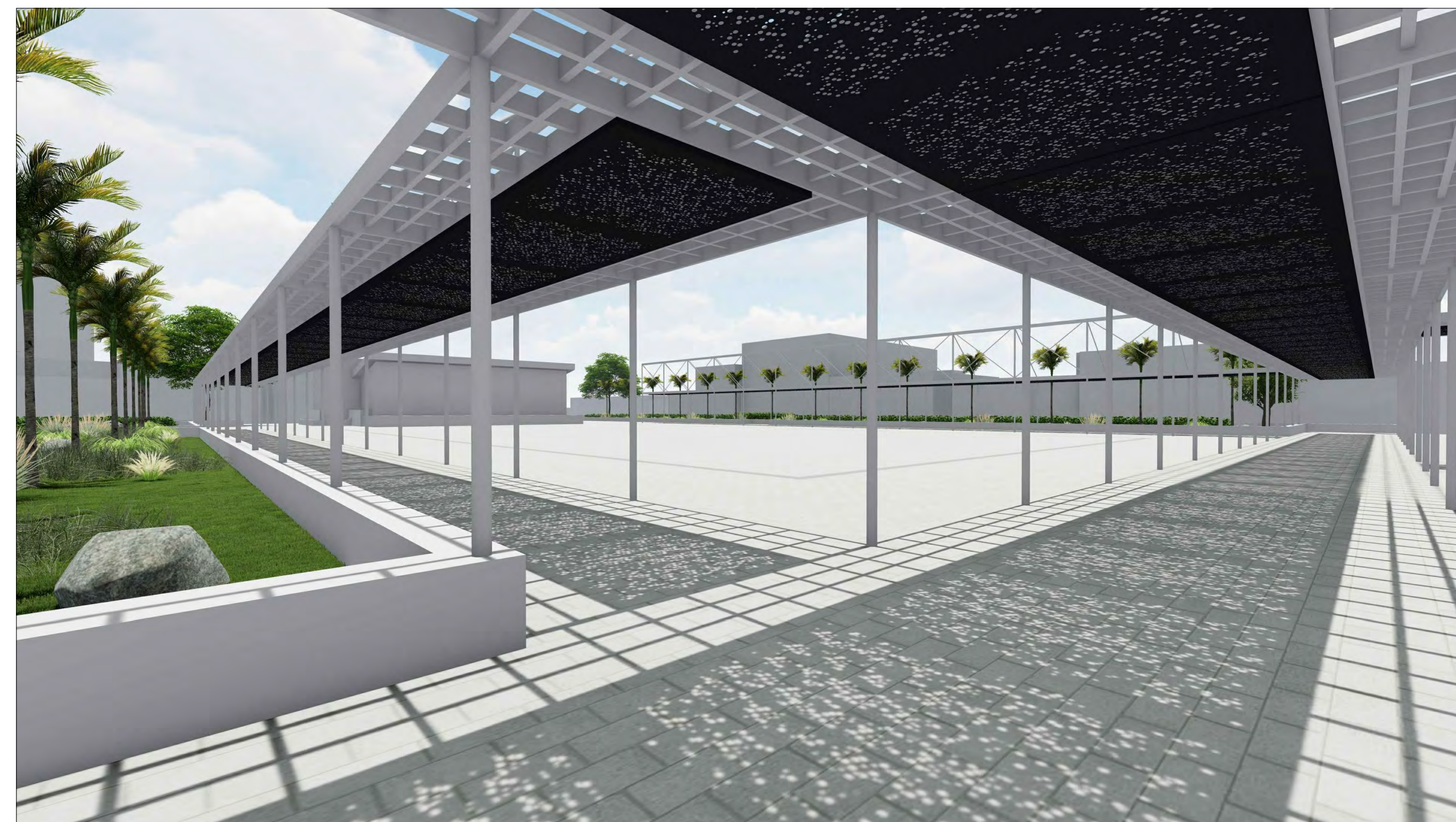
PING-PONG AREA RENDER



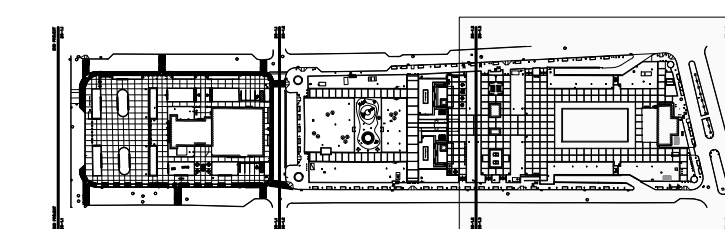
SOLAR STATION RENDER



TRELLIS RENDER I



TRELLIS RENDER II



KEY MAP



**HERNANDEZ-BAUZA
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DRAWING NAME
STRUCTURAL NOTES

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NO.	DATE	REVISION	BY	APPROVED

PROJECT	
DRAWING BY/CHECKED BY	
L.D.D.	I.H.

NUMBER	TOTAL
45	62

DRAWING NUMBER
S-0.0

FEB-20-2024

STRUCTURAL NOTES :

GENERAL:

- 1- UNLESS OTHERWISE INDICATED, THESE NOTES APPLY TO ALL STRUCTURAL DRAWINGS OF THIS SET OF PLANS.
- 2- IN CASE OF DISCREPANCY BETWEEN THESE NOTES AND THE CONSTRUCTION DRAWINGS, SPECIFICATIONS OR ANY REFERRED STANDARD, THE MORE RESTRICTIVE PROVISION SHALL APPLY.
- 3- STRUCTURAL DRAWINGS SHALL BE COORDINATED AND SUPPLEMENTED BY ARCHITECTURAL, ELECTRICAL, MECHANICAL AND ANY OTHER BUILDING DRAWINGS.
- 4- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND BEFORE ORDERING ANY MATERIAL. DIFFERENCES BETWEEN PLANS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF ENGINEER AND NO ACTION SHALL BE TAKEN UNTIL APPROVED BY ENGINEER.
- 5- CONTRACTOR SHALL SUBMIT FOR APPROVAL ANY DETAIL OR DIMENSION THAT IS OMITTED OR NOT SPECIFICALLY SHOWN ON PLANS.
- 6- CONTRACTOR SHALL PROTECT ALL PROPERTY FROM DAMAGE. ANY DAMAGED PROPERTY SHALL BE PROMPTLY REPLACED BY EQUAL AND/OR BETTER QUALITY.
- 7- ALL CONSTRUCTION, DEMOLITION AND / OR EXCAVATION WORK SHALL BE PERFORMED IN SUCH A WAY AS NOT TO IMPAIR THE SAFETY OF ADJOINING EXISTING STRUCTURES.
- 8- ALL SOIL BELOW NEW FOOTINGS SHALL BE COMPACTED IN 8 INCHES THICK LAYERS AND EACH LAYER SHALL BE COMPACTED TO 95 % OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM SPECIFICATION D-1557).(IF APPLICABLE FOR THIS PROJECT)
- 9- QUALITY OF FILL MATERIAL SHALL BE SUBMITTED TO OWNER FOR APPROVAL

REINFORCED CONCRETE:

- 1- ALL AGGREGATES SHALL COMPLY WITH ASTM SPECIFICATION C-33. CEMENT SHALL COMPLY WITH ASTM SPECIFICATION C-150. MAXIMUM SIZE OF COURSE AGGREGATES SHALL BE 3/4 INCH. MANUFACTURED AGGREGATES FROM WATER SOLUBLE MATERIALS WILL BE PERMITTED.
- 2- FORM WORKS SHALL BE CONSTRUCTED SO THAT THE CONCRETE SURFACES WILL CONFORM TO THE TOLERANCE LIMITS SET FORTH IN CHAPTER 4 OF THE "SPECIFICATIONS FOR STRUCTURAL MEMBERS FOR BUILDINGS" (ACI 301).
- 3- ALL DIMENSIONS SHOWN ARE STRUCTURAL AND DO NOT INCLUDE THICKNESS OF PLASTER OR ANY OTHER CONCRETE FINISH.
- 4- CONSTRUCTION LOADS SHALL NOT BE SUPPORTED ON, OR ANY SHORING REMOVED FROM ANY PART OF THE STRUCTURE UNDER CONSTRUCTION EXCEPT THAT PORTION OF THE STRUCTURE IN COMBINATION WITH THE REMAINING FORMING AND SHORING SYSTEM HAS SUFFICIENT STRENGTH TO SUPPORT SAFELY IT'S WEIGHT AND LOADS PLACED THEREON TIME FOR REMOVING CONCRETE FORMS AND SHORING IN BEAMS, SLABS AND STAIRWAYS SHALL BE TWO WEEKS. FOR WALLS 5 DAYS.
- 5- PROVIDE A POLYETHYLENE VAPOR BARRIER MEMBRANE UNDER ALL CONCRETE POURED AGAINST THE SOIL. UNLESS OTHERWISE INDICATED ON PLANS, VAPOR BARRIER SHALL BE EQUAL OR SIMILAR TO GRIFFOLYN TYPE-65. (IF APPLICABLE FIR THIS PROJECT)
- 6- REINFORCING BARS BE GRADE 60 HIGH STRENGTH DEFORMED NEW BILLET STEEL MEETING ASTM SPECIFICATION A-615 (LATEST).
- 7- UNLESS OTHERWISE SHOWN, MINIMUM REBAR SPLICE BE 24 INCH. FOR #3 BARS, 30 INCH., FOR #4 BARS, 36 INCH. FOR #5 BARS, 45 INCH. FOR #6 BARS, 63 INCH. FOR #7 BARS, 72 INCH. FOR #8 BARS, 80 INCH. FOR #9 BARS.
- 8- NO REBAR SPICE SHALL BE MADE AT OR NEAR REGIONS OF MAXIMUM STRESS AND NO MORE THAN 50 % OF REBARS SHALL BE SPLICED AT ANY LOCATION.
- 9- CONCRETE WORK SHALL CONFORM TO THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-LATEST), INCLUDING SUPPLEMENTS. AND SHALL COMPLY WITH ALL LOCAL LAWS AND ORDINANCES. WHERE CONFLICTING REQUIREMENTS OCCUR, THE MORE STRINGENT REQUIREMENT SHALL APPLY.
- 10- CONCRETE DESIGN IS BASED ON THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-LATEST), INCLUDING SUPPLEMENT.
- 11- REFERENCE SPECIFICATION AND CODES:
(A) EARTHWORK SPEC NO. 03000. (IF APPLICABLE FOR THIS PROJECT)
(B) CAST-IN PLACE CONCRETE SPEC NO. 03-300
- 12- ALL CONCRETE SHALL BE NORMAL WEIGHT, UNLESS NOTED, HAVING A MINIMUM COMPRESSIVE STRENGTH OF F'C = 4,000 PSI AT 28 DAYS, WATER CEMENT RATIO MINIMUM = 0.55. CONCRETE MIX DESIGN SHALL INCLUDE CORROSION INHIBITOR & SHRINKAGE ADMIXTURES. MAXIMUM WATER SOLUBLE CHLORIDE ION CONTENT (CT)=0.15% BY WEIGHT. USE OF SLAG CEMENT IS APPROVED.
- 13- REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60 (FY=60 KSI). CONTRACTOR SUPPLY WILL CERTIFICATES OF ALL STEEL MATERIALS. ALL STEEL BARS SHALL BE EPOXY COATED ACCORDING WITH ASTM A775 OR A934.

- 14- CONCRETE PROTECTION FOR REINFORCEMENT SHALL BE AS FOLLOWS:
- CAST AGAINST AND PERMANETLY EXPOSEDO TO EARTH: 3" (IF APPLICABLE FOT HIS PROJECT)
- #6 BARS AND LARGER: 2"
- #5 BARS AND SMALLER: 2"
- NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND SLAB AND WALLS: 1 1/2"
- BEAMS, GIRDERS, COLUMNS: 2"
- 15- (IF APPLICABLE FOR THIS PROJECT)
(A) DEPRESSED SLABS SHALL MAINTAIN FULL THICKNESS UNLESS NOTED. SEE TYPICAL DETAILS.
(B) ALL DIMENSIONS AND LOCATIONS OF FLOOR DEPRESSIONS SHALL BE VERIFIED FROM ARCHITECTURAL DRAWINGS BEFORE PLACING SLAB.
- 16- CONTRACTION AND CONTRACTION JOINTS IN SLABS ON GRADE SHALL BE LOCATED AND CONSTRUCTED AS DETAILED ON THE DRAWINGS.
- 17- ALL SLEEVES, SLOTS AND OTHER EMBEDDED AND UNDER SLAB ITEMS SHALL BE SET BEFORE CONCRETE IS PLACED, SEE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND VENDOR'S DRAWINGS FOR SIZES AND LOCATIONS.
- 18- ALL TOP BARS AT DISCONTINUOUS ENDS SHALL BE HOOKED.
- 19- ALL BAR SPLICES SHALL BE CLASS C LAP SPLICES, UNLESS NOTED.
- 20- ALL BEARING PLATES SHALL BE SET WITH NON-SHRINK GROUT.
- 21- ALL EXPOSED EXTERNAL CORNERS OF CONCRETE SHALL HAVE A 3/4" x 45 DEGREES CHAMFER, UNLESS NOTED.
- 22- SHOP DRAWINGS FOR REBARS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO FABRICATION.
- 23- OPENINGS IN CONCRETE WALLS SHALL BE REINFORCED AROUND PERIMETER WITH 2 #5 AND EXTENDING 2'-0" BEYOND CORNERS.
- 24- ALL WALLS AND PEDESTALS SHALL BE PLACED MONOLITHICALLY.
- 25- (IF APPLICABLE FOR THIS PROJECT)
(A) BACK FILLING AT FOUNDATION WALLS AND PEDESTALS SHALL BE PLACED SUCH THAT SYMMETRICAL LOADING SHALL BE MAINTAINED ON BOTH SIDES.
(B) WHERE DESIGN CONDITIONS REQUIRE BACK FILLING EACH SIDE TO UNEQUAL HEIGHTS, WALLS SHALL BE FIRMLY SHORED IN POSITION, AND SHORES SHALL REMAIN UNTIL FLOORS ARE PLACED AND PROPERLY SET TO PROVIDE FULL SUPPORT.
(C) BACK FILLING AT CANTILEVER WALLS SHALL NOT BE STARTED UNTIL THE WALLS HAVE ATTAINED THEIR MINIMUM 28-DAY COMPRESSIVE STRENGTH.
- 26- (IF APPLICABLE FOR THIS PROJECT) CONSTRUCTION JOINTS IN FOUNDATION WALL SHALL BE PLACED AT MID SPAN BETWEEN COLUMNS, BEAMS, OR SLABS, UNLESS NOTED.
- 27- ALL PIPE PENETRATIONS THROUGH FOUNDATION WALLS SHALL HAVE PIPE SLEEVES PROVIDED, WHICH SHALL BE SET BEFORE CONCRETE IS PLACED. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR SIZES AND LOCATIONS.
- 28- WALLS, WHERE DOOR OPENINGS OCCUR, BARS SHALL EXTEND 2'-0" BEYOND EDGE OF OPENING. (IF APPLICABLE FOR THIS PROJECT)
- 29- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ANY REQUIRED NEEDLING, SHORING, OR BRACING OF EXISTING STRUCTURES.
- 30- ANY CONDITIONS WHICH REQUIRE UNDERPINNING SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER, WHO WILL PROVIDE DESIGN/CONS- TRUCTION DIRECTION TO THE CONTRACTOR.
- 31- FOUNDATION CONCRETE PADS SHALL INCLUDE SETTING OF COLUMN ANCHOR OR EXPANSIONS SUPPLIED BY THE STRUCTURAL STEEL CONTRACTOR.
- 32- ALL ELEVATIONS ARE GIVEN WITH RESPECT TO FINISH FIRST FLOOR DATUM ELEVATIONS (REF. EL. 0'-0")
- 33- IF BOTTOM OF ANY FOUNDATION IS NOT AT LEAST 3'-0" BELOW THE EXISTING GROUND ELEVATIONS THE CONTRACTOR SHALL NOTIFY ENGINEER AND / OR SOIL CONSULTANT.
- 34- FOR STRUCTURAL EXCAVATION AND BACK FILL REQUIREMENTS SEE SOILS REPORT #5089-B DATED ON JANUARY 18 2022 MENTIONED IN NOTE NO. 16. (DOES NOT APPLY FOR THIS PROJECT)
- 35- SOIL WILL BE TREATED FOR TERMITES & INSECTS PRIOR TO CONCRETE POUR.
- 36- GENERAL CONTRACTOR SHALL BEWARE TO HAVE AT LEAST 2,000 PSF BEARING CAPACITY. PRESENCE OF A LICENSED GEOTECHNICAL ENGINEER IS RECOMMENDED DURING EARTHWORKS BEFORE TO POUR CONCRETE FOOTING.

STRUCTURAL STEEL:

- 1- STRUCTURAL STEEL SHALL COMPLY WITH THE FOLLOWING SPECIFICATIONS:
STEEL TUBES ASTM 500, GRADE B, Fy = 46 KSI
W SHAPES ASTM 572, GRADE 50, Fy = 50 KSI
ANY OTHER MISCELLANEOUS STRUCTURAL STEEL ASTM A36, Fy = 36 KSI
- 2- CONTRACTOR SHALL SUPPLY, ASSEMBLY AND CONSTRUCT ALL STEEL ELEMENTS CALLED FOR IN THE PLANS AND SPECIFICATIONS. CONTRACTOR SHALL ALSO SUBMIT FOR APPROVAL SHOP DRAWINGS OF ALL STRUCTURAL STEEL, JOINT PLATES, INSERTS AND FITTINGS BEFORE ORDERING IT.
- 3- THE REVIEW OF SHOP DRAWINGS BY THE ENGINEER SHALL IN NO CASE RELIEVE CONTRACTOR OF RESPONSIBILITIES FOR ERRORS, OMISSIONS, FURNISHINGS OF UNSUITABLE MATERIALS AND TIME DELAYS ARISING DIRECTLY FROM A DIVERSION FROM PLANS AND SPECIFICATIONS BROUGHT BY THE CONTRACTOR IN THE SHOP DRAWINGS.
- 4- WELDED SPLICES OF STRUCTURAL SECTIONS MAY BE PERMITTED IF APPROVED BY ENGINEER, CONTRACTOR SHALL OBTAIN THE SECTIONS IN LENGTHS THAT WOULD MINIMIZE THE NUMBER OF SPLICES.
- 5- ALL WELD WORKS SHALL BE PERFORMED BY SKILLED AND PROPERLY CERTIFIED WELDER, BEARING THE PUERTO RICO WELDER BOARD LICENSE.
- 6- CONNECTIONS, WHEN NOT SHOWN ON PLANS, SHALL BE DESIGNED TO TRANSMIT THE MAXIMUM STRESS ALLOWED FOR THE CONNECTED MEMBERS.
- 7- THE ERECTION OF STRUCTURAL STEEL ELEMENTS SHALL STRICTLY FOLLOW SECTION 7 OF THE AISC "CODE OF STANDARD PRACTICE".
- 8- DIMENSIONS OF STRUCTURAL STEEL ELEMENTS SHALL BE WITHIN THE DIMENSIONAL TOLERANCES SET FOR FORTH IN SECTION 6 OF THE CODE OF STANDARD PRACTICE OF THE AISC MANUAL OF STEEL CONSTRUCTION.
- 9- NO LOADS SHALL BE PLACED OVER ANY STEEL STRUCTURE UNTIL ALL STUDS, PURLINS, BEAMS, STEEL JOIST AND COLUMNS ARE PROPERLY BRACED.
- 10- ENGINEERED COATING AND PAINTING FOR STEEL TOWERS, SEE PAINT SPECIFICATIONS PREPARED BY ARCHITECT OF RECORD CONSULTANT (FLORIDA PROTECTIVE CONSULTANTS INC.)
- 11- DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH AISC MANUAL OF STEEL CONSTRUCTION 14th EDITION AND IBC CODE, LATEST.
- 12- MATERIAL SHALL MEET THE REQUIREMENTS OF THE FOLLOWING (UNO):
ALL STRUCTURAL STEEL SHALL BE U.S. MADE
STRUCTURAL STEEL - STRUCTURAL SHAPES A 572-GRADE 50.
HIGH STRENGTH BOLTS - 3/4" DIA. MIN. ASTM A325N
WELDING - E70XX ELECTRODES PER AWS D1.1 SPECS
STEEL PLATES- ASTM A-36.
- 13- ALL SHOP CONNECTIONS SHALL BE MADE WITH WELDS OR HIGH STRENGTH BOLTS. ALL FIELD CONNECTIONS SHALL BE BOLTED. STANDARD FRAMED CONNECTIONS SHALL BE USED AS SHOWN IN TABLE II PART 4 OF AISC MANUAL OF STEEL CONSTRUCTION (UNO) ALL BEAMS SHALL RECEIVE MAXIMUM NUMBER OF ROWS OF BOLTS FOR BEAM DEPTH.
- 14- ALL WELDING SHALL CONFORM TO THE CURRENT SPECIFICATIONS OF THE AMERICAN WELDING SOCIETY, AND SHALL COMPLY WITH ALL LOCAL LAWS AND ORDINANCES. WELDING ELECTRODES SHALL BE E-70 SERIES.
- 15- CONNECTIONS:
(A) ALL CONNECTIONS SHALL BE FRAMED BEAM CONNECTION CONFORMING TO THE REQUIREMENTS OF PART 4 OF THE AISC MANUAL, TABLE II & III UNLESS OTHERWISE NOTED.
(B) ALL BOLTED CONNECTIONS SHALL BE MADE WITHHIGH STRENGTH BOLTS. UNLESS OTHERWISE NOTED, CONNECTIONS SHALL BE "BEARING TYPE" WITH ALLOWABLE STRESS ON BOLTS BASED ON THREADS INCLUDED IN THE SHEAR PLANE.
(C) ALL HIGH STRENGTH BOLTS SHALL BE TIGHTENED TO PROVIDE AT LEAST THE MINIMUM TENSION SHOWN IN TABLE 3, FASTENER TENSION, OF THE SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325, UNLESS NOTED.
(D) SEATED CONNECTIONS WILL NOT BE PERMITTED UNLESS SHOWN ON THE DRAWINGS.
- 16- THE CONTRACTOR SHALL SUPPLY ALL TEMPORARY BRACING REQUIRED TO MAINTAIN PLUMBNESS AND STABILITY DURING ERECTION. BRACING SHALL NOT BE REMOVED UNTIL ALL PERMANENT BRACING HAS BEEN INSTALLED, ALL WELDING HAS BEEN COMPLETED, ALL BOLTS HAVE BEEN PROPERLY TIGHTENED, AND TOP SUPPORTING ROOF DECK AND CONCRETE FLOOR SLAB HAVE BEEN PROPERLY PLACED.
- 17- NO OPENINGS SHALL BE CUT IN STRUCTURAL MEMBERS UNLESS SHOWN ON THE DRAWINGS, OR APPROVAL IS RECEIVED FORM THE ENGINEER.
- 18- ALL ELEVATIONS ARE GIVEN WITH RESPECT TO FINISH FIRST FLOOR DATUM ELEVATION: (REF. ELEV. 0'-0")
- 19- PROVISIONS FOR DETAILS NOT SPECIFICALLY DRAWN SHALL BE MADE BY THE CONTRACTOR IN ACCORDANCE AISC SPECIFICATIONS AND CLARIFIED WITH THE DESIGNER.
- 20- MINIMUM METAL THICKNESS FOR ALL CONNECTIONS, STIFFENER PLATES ETC., SHALL BE 3/8".

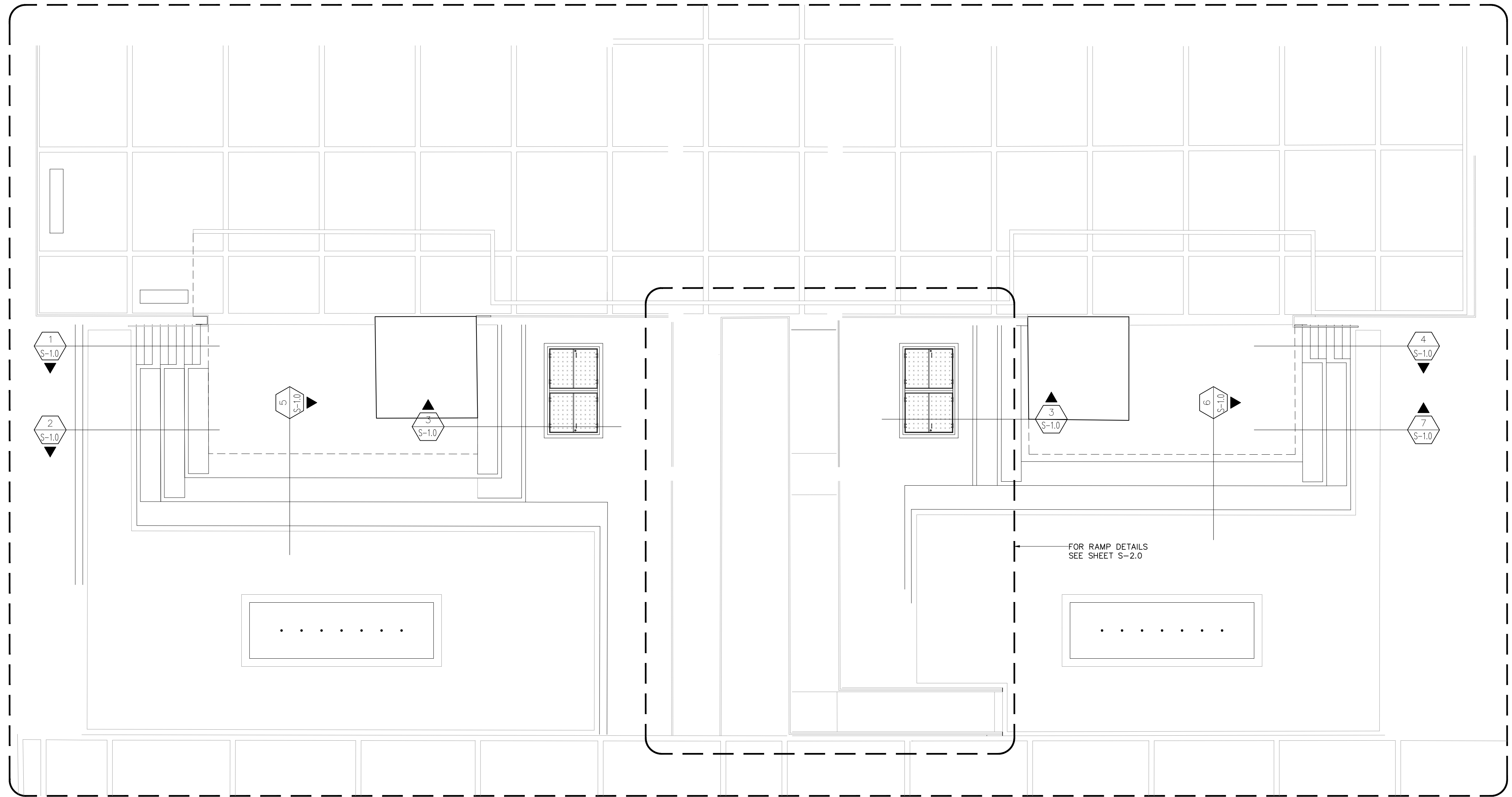
- 21- WORKING POINTS FOR VERTICAL BRACING SHALL BE AT INTERSECTION OF CENTERLINE OF COLUMN AND CENTERLINE OF BEAMS (U.N.O.) ON DWGS.
- 22- STAIRWAY AND PLATFORMS SHALL COMPLY WITH THE DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH STANDARDS AND ALL APPLICABLE LOCAL AND STATE CODES.
- 23- GRATING WHEN APPLICABLE, SHALL BE ALL WELDED OPEN CONSTRUCTION, WITH 1 1/4" x 3/16" BEARING BARS ON 1 3/16" O.C. (U.N.O.). GRATING SHALL BE SECURED TO SUPPORTING MEMBERS WITH SADDLE CLIPS, PROVIDE 2" CLEARANCE AROUND ALL EQUIPMENT, TANKS, ETC., THAT PENETRATE GRATING FLOORS. BAND ALL GRATING OPENINGS 8" AND LARGER WITH 1/4" x 5 1/4" PLATE WELDED TO GRATING AND EXTENDING 4" ABOVE TOP SURFACE OF GRATING.
- 24- HANDRAILS SHALL BE STAINLESS STEEL UNLESS OTHERWISE SPECIFIED 1 1/2" NOMINAL DIA. STANDARD STAINLESS STEEL PIPE, REFER TO DETAILS IN ARCHITECTURAL DRAWINGS. (DOES NOT APPLY FOR THIS PROJECT)
- 25- GROUT SHALL BE NON-SHRINK, NON-METALLIC, SIKA GROUT BY SIKA CORP OR APPROVED FOR PURPOSE REQUESTED. A/E SHALL APPROVE TYPE PRIOR TO USE.
- 26- FLOOR PLATE SHALL BE 3/8" CKD PLATE, PAINTED AND SHALL BE TAPPED TO SUPPORTING STEEL BY 3/16" FILLET WELDS 1 1/2" AT 12" O.C. GAP BETWEEN PLATES SHALL NOT EXCEED 1/4" ALL JOINTS OUTSIDE STRUCTURAL SUPPORTS SHALL HAVE BACKING PLATES.
- 27- STEEL STUDS SHALL BE INSTALLED WITH AUTOMATIC STUD WELDING MACHINE.
- 28- WIND LOAD:
a) BASIC WIND VELOCITY - 168 MPH AS PER PUERTO RICO BUILDING CODE 2018
b) EXPOSURE CATEGORY - "C"
c) RISK CATEGORY II
c) WIND DIRECTIONALITY FACTOR Kd - 0.9
d) TOPOGRAPHIC FACTOR Kzt - 1.0

CODES:

AMERICAN CONCRETE INSTITUTE, ACI 318 - LATEST EDITION
AMERICAN INSTITUTE OF STEEL CONSTRUCTION, LRFD LATEST EDITION.
PUERTO RICO BUILDING CODE - 2018

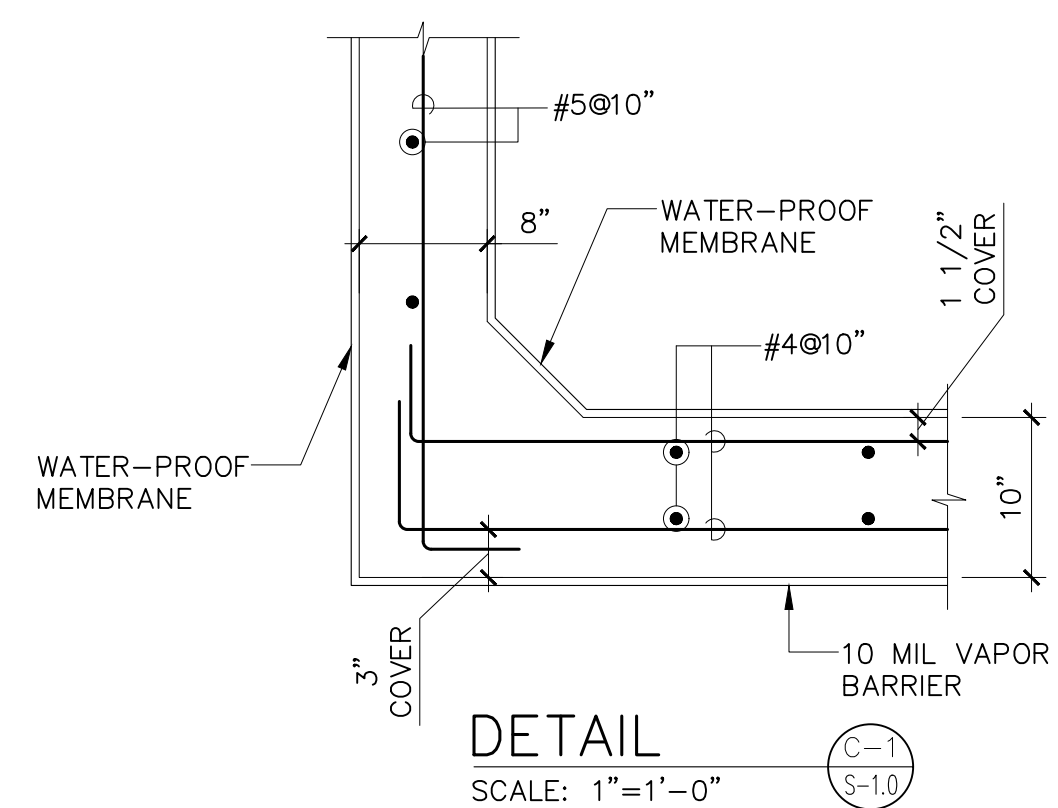
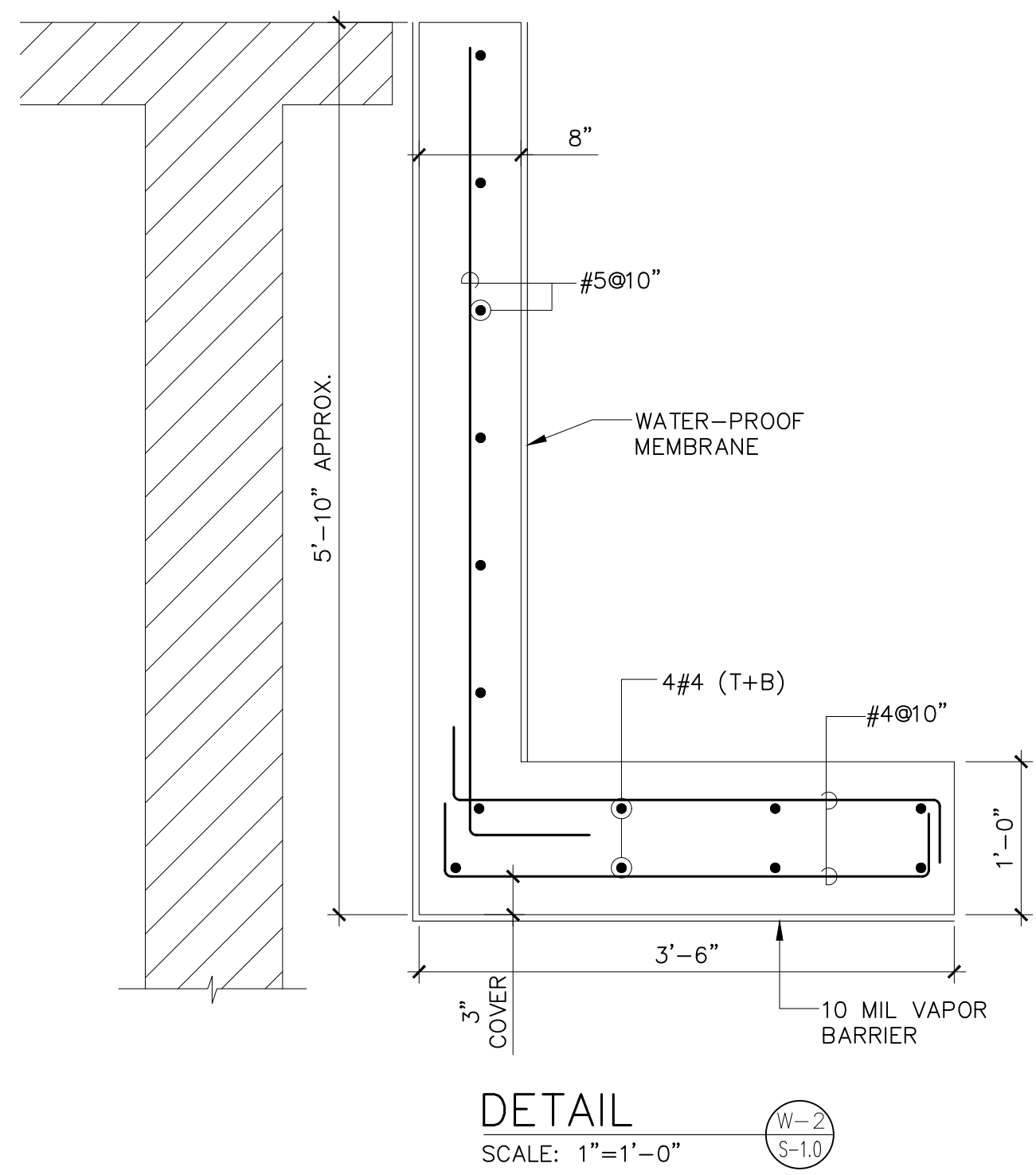
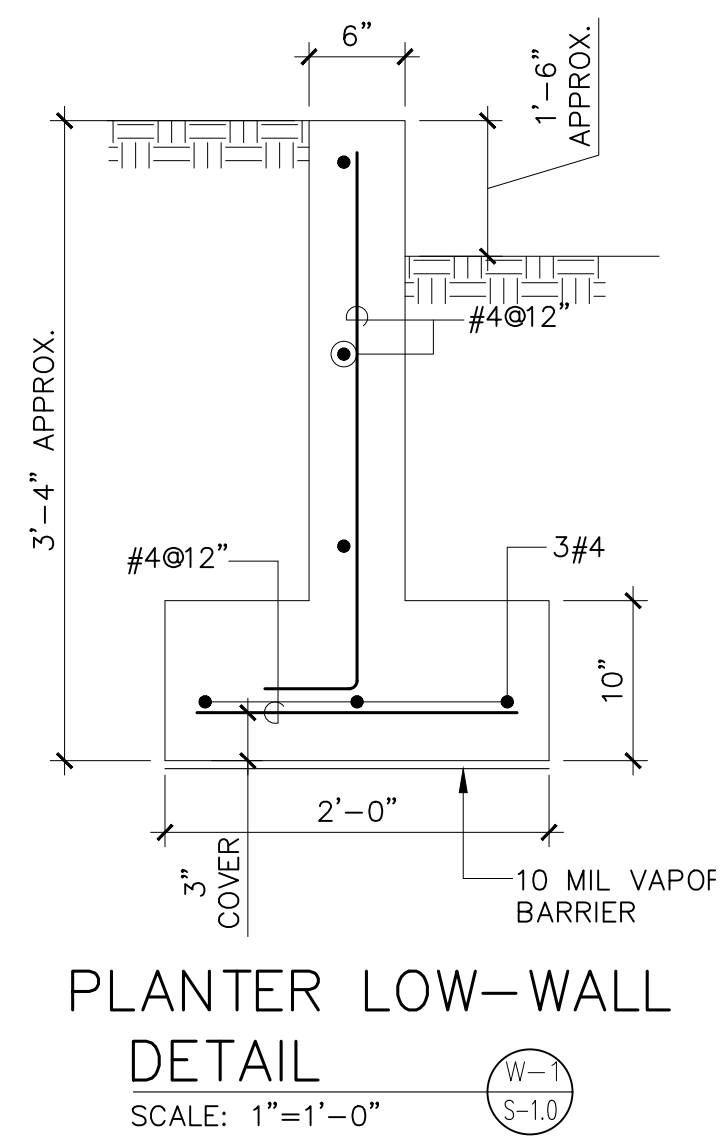
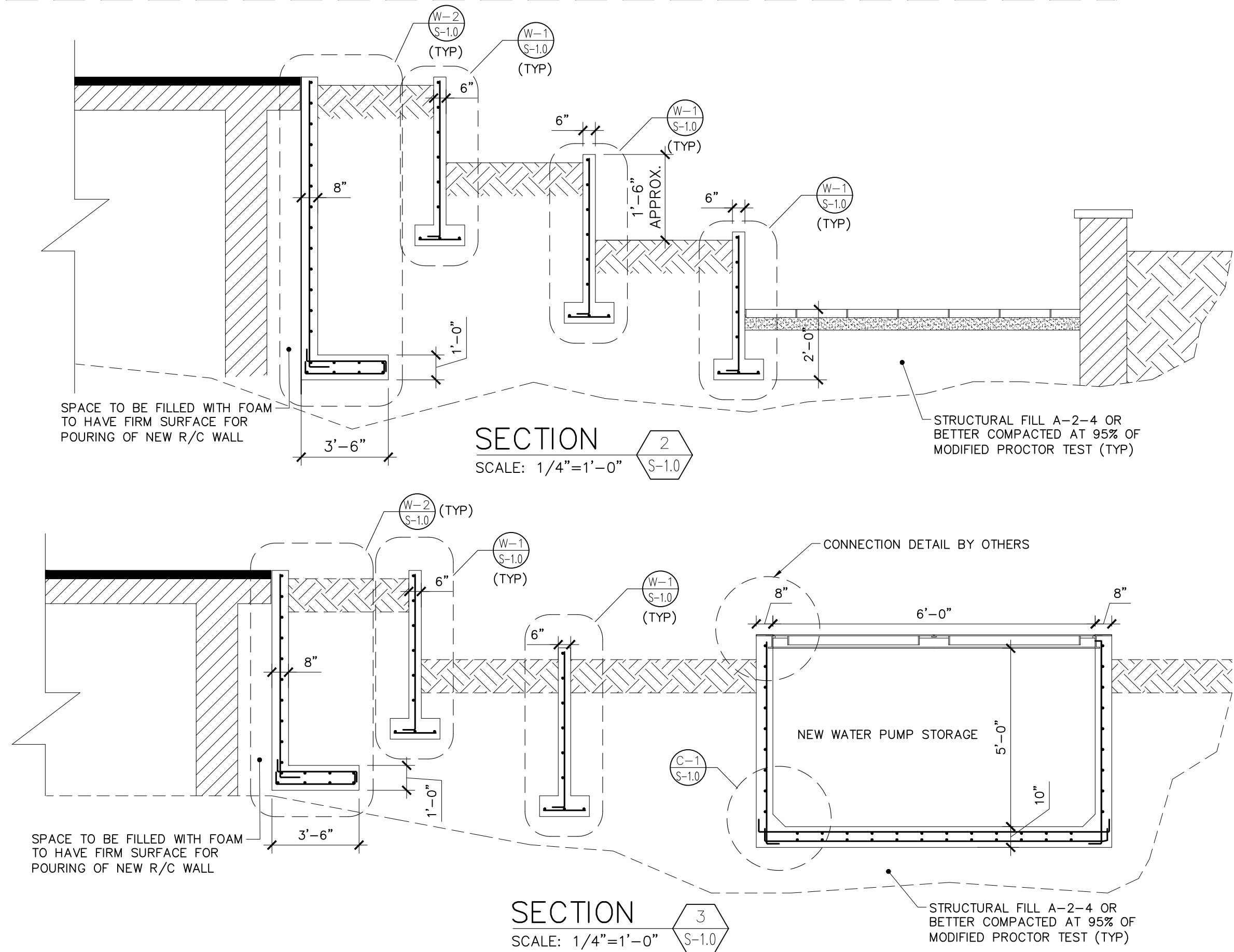
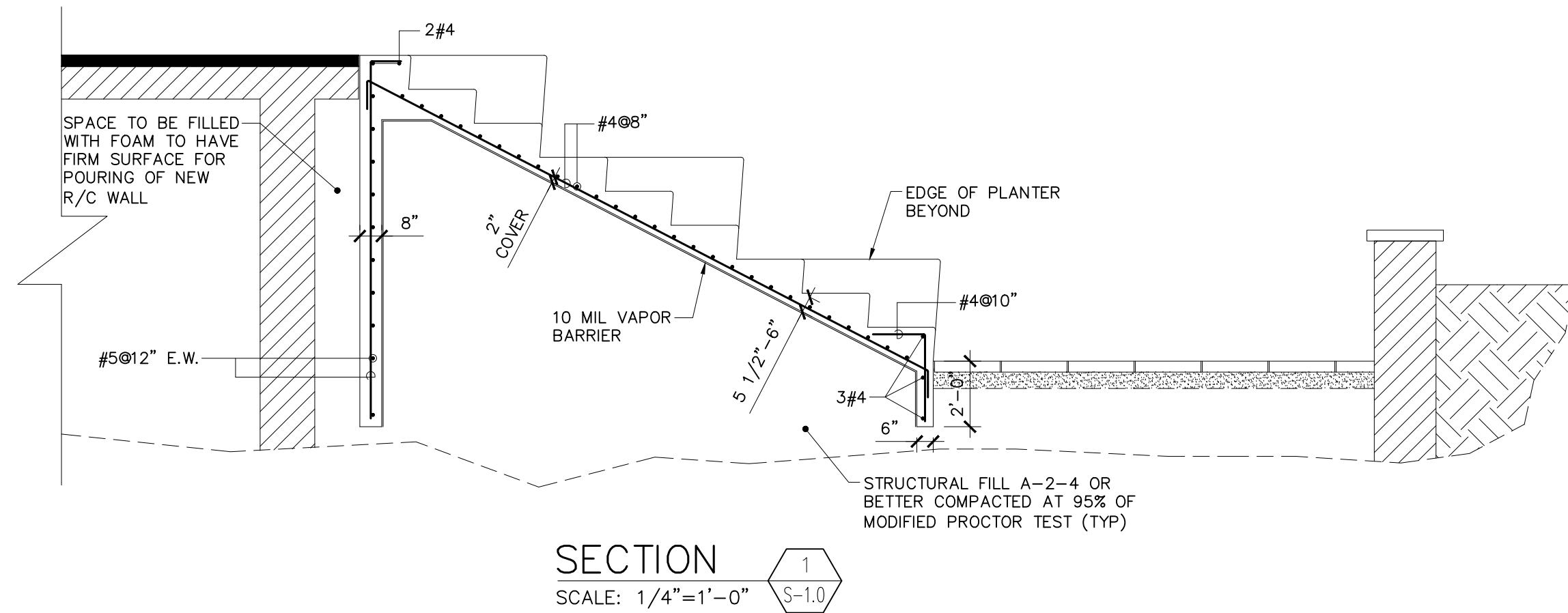
ABBREVIATIONS:

ADD ADDITIONAL	F.F.E FINISH FLOOR ELEVATION
B BOTTOM	FT FEET
E.W. EACH WAYS	GALV GALVANIZED
C.C CENTER TO CENTER	LG LONG
CL CLEAR	LL LOWER LAYER
COL COLUMN	MAX MAXIMUM
CONC CONCRETE	MECH MECHANICAL
CONST .. CONSTRUCTION	MIN MINIMUM
CONT CONTINUOUS	REINF REINFORCEMENT
C.S CARBON STEEL	SPECS SPECIFICATIONS
DTL DETAIL	S.S STAINLESS STEEL
DWG DRAWING	STD STANDARD
EA EACH	STL STEEL
E.E EACH END	SUP SUPPLEMENTARY
ELEV ELEVATION	T TYPICAL
F.B.E FOOTING BOTTOM ELEVATION	U.N.O UNLESS NOTED OTHERWISE



SPLASH PARK AREA BLOW-UP

SCALE: 1/8"=1'-0"



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CONSULTANT'S SEAL

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OWNER
AUTONOMOUS MUNICIPALITY OF SAN JUAN

PROJECT
IMPROVEMENTS OF "PLAZA DE LA CONVALESCENCIA" AND "PLAZA DEL PILAR"

DRAWING NAME
PLAZA BLOW-UP PLAN AND STRUCTURAL DETAILS

COMPUTER PLOT
THIS DRAWING WAS DRAFTED ON A CAD SYSTEM ALL CHANGES OR CORRECTIONS MUST BE STRICTLY EXECUTED ON CAD. ANY QUESTIONS PLEASE CONTACT HERNANDEZ-BAUZA

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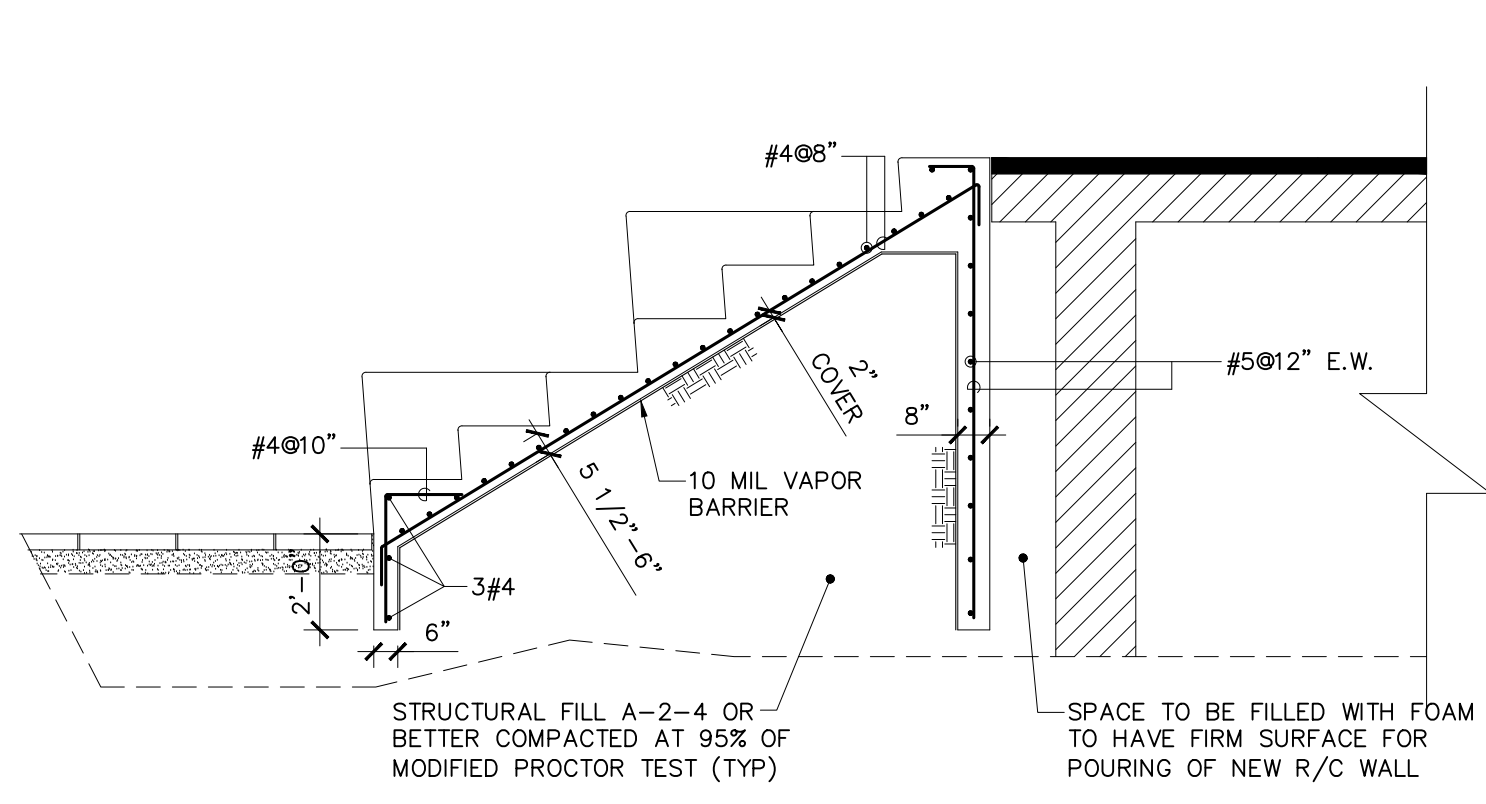
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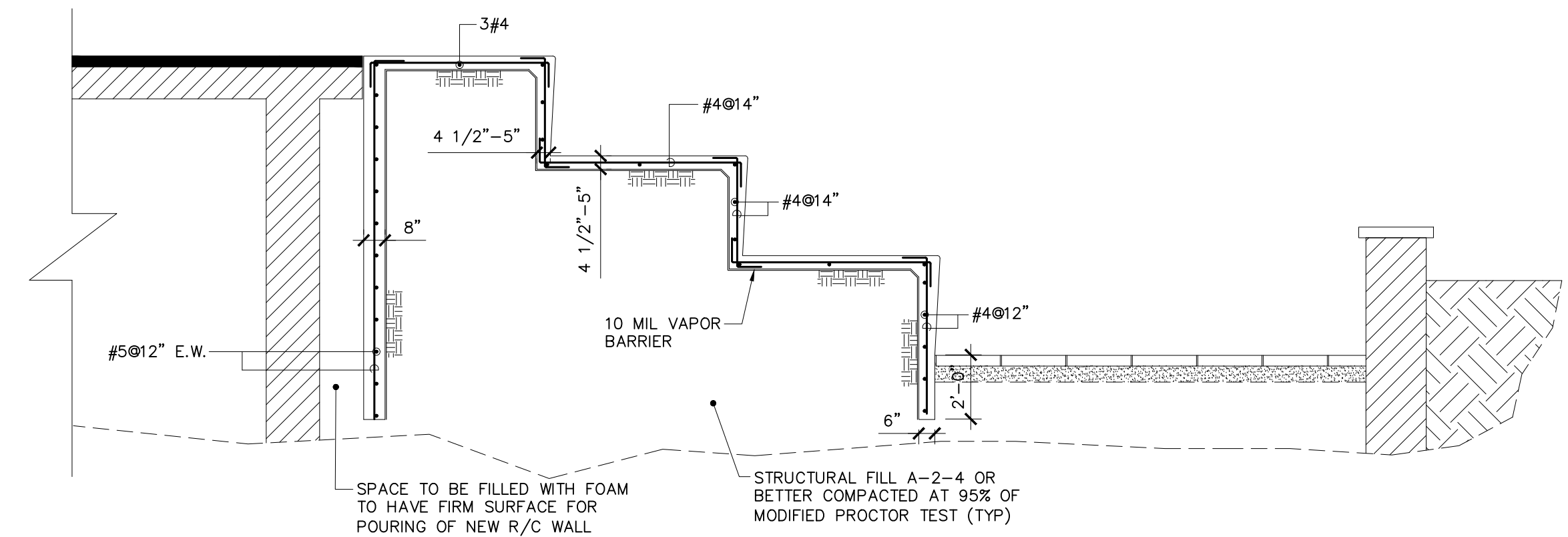
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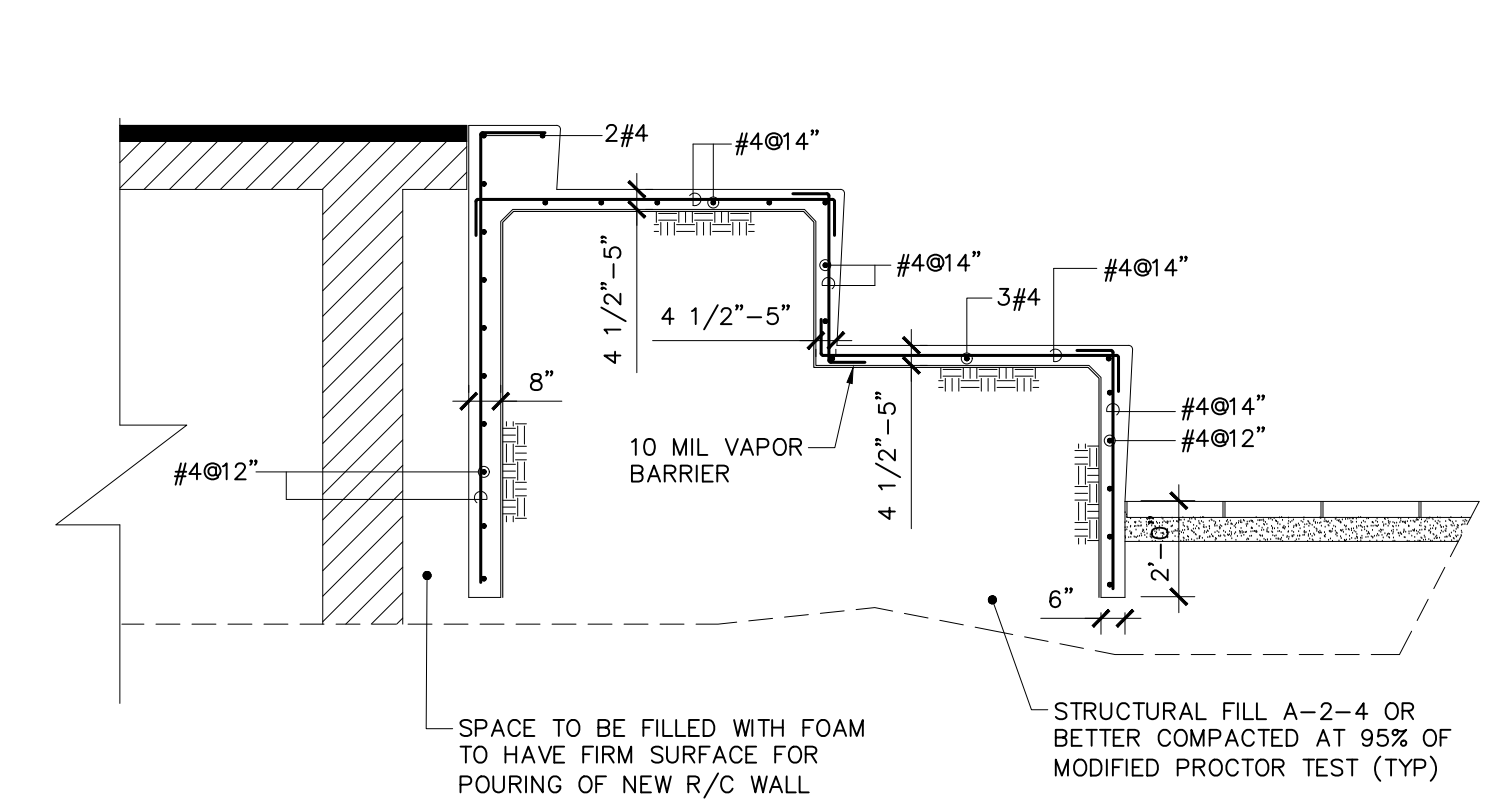
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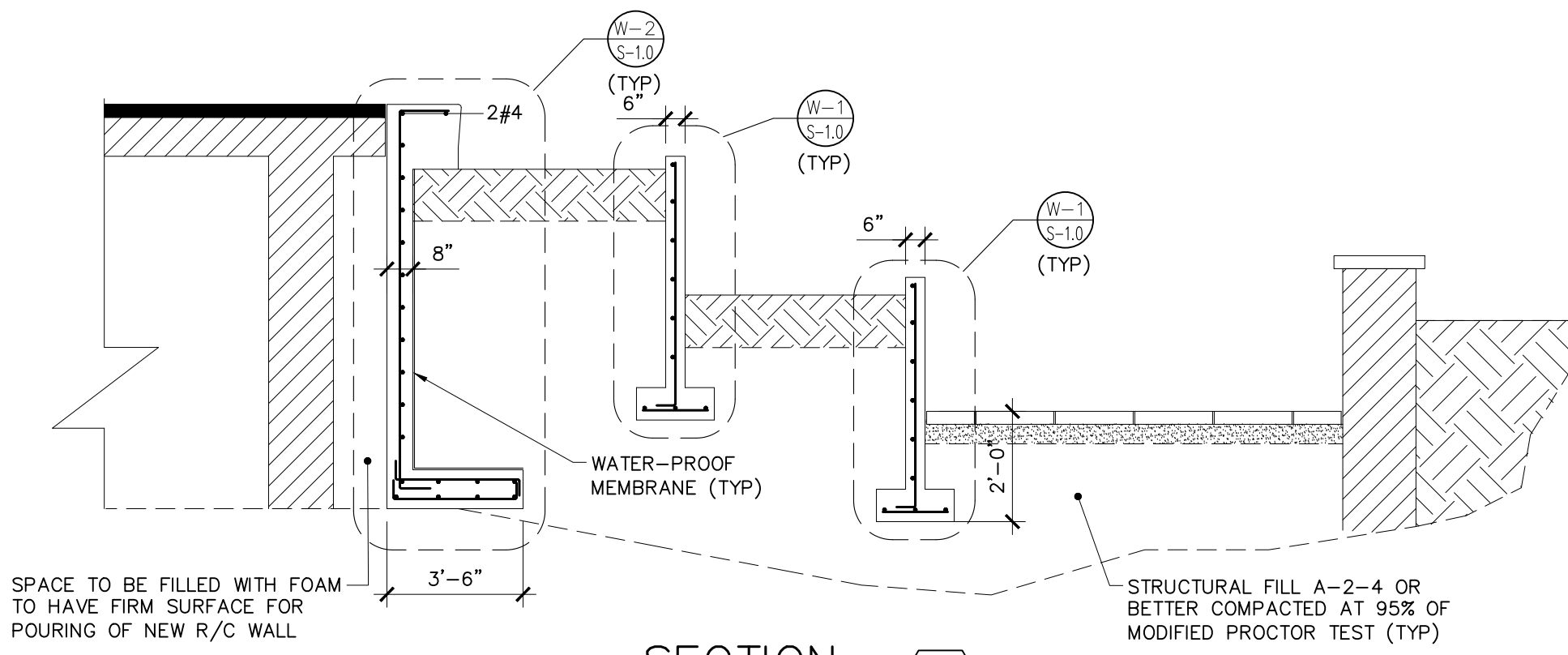
SECTION 4
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SECTION 5
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SECTION 6
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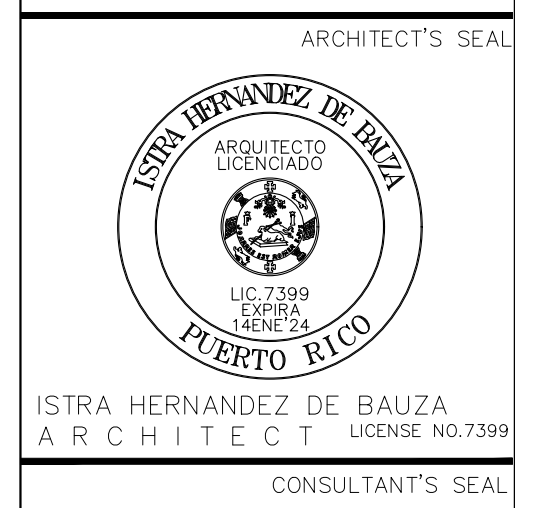


SECTION 7
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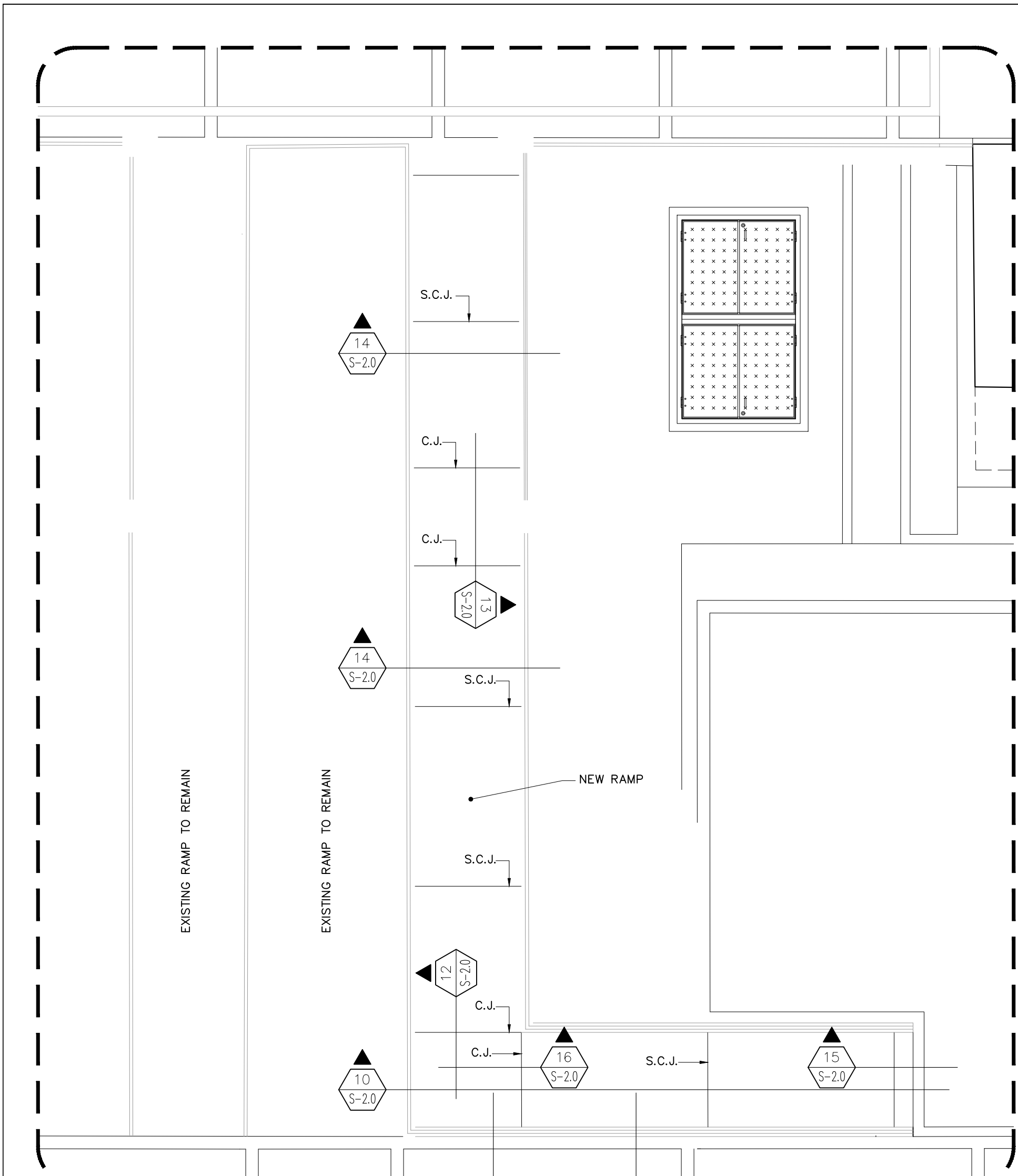
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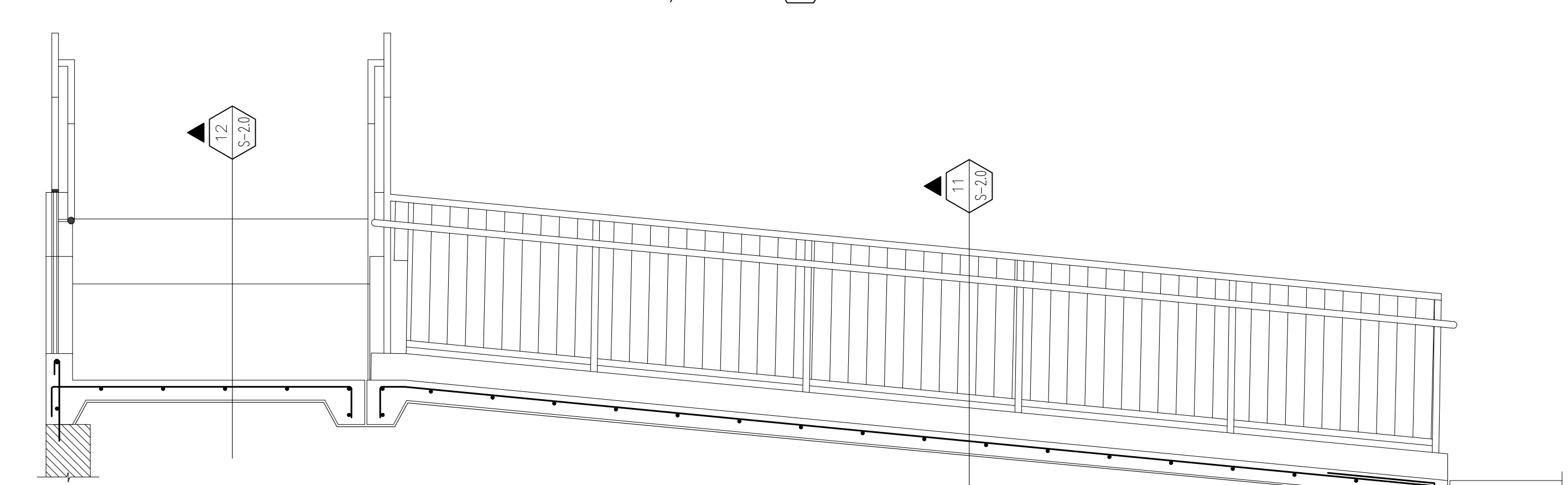
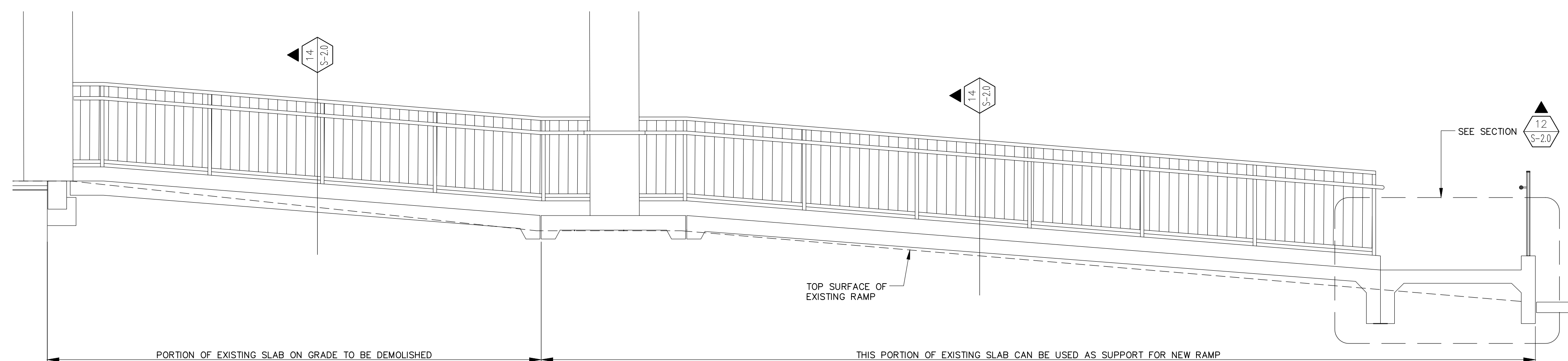
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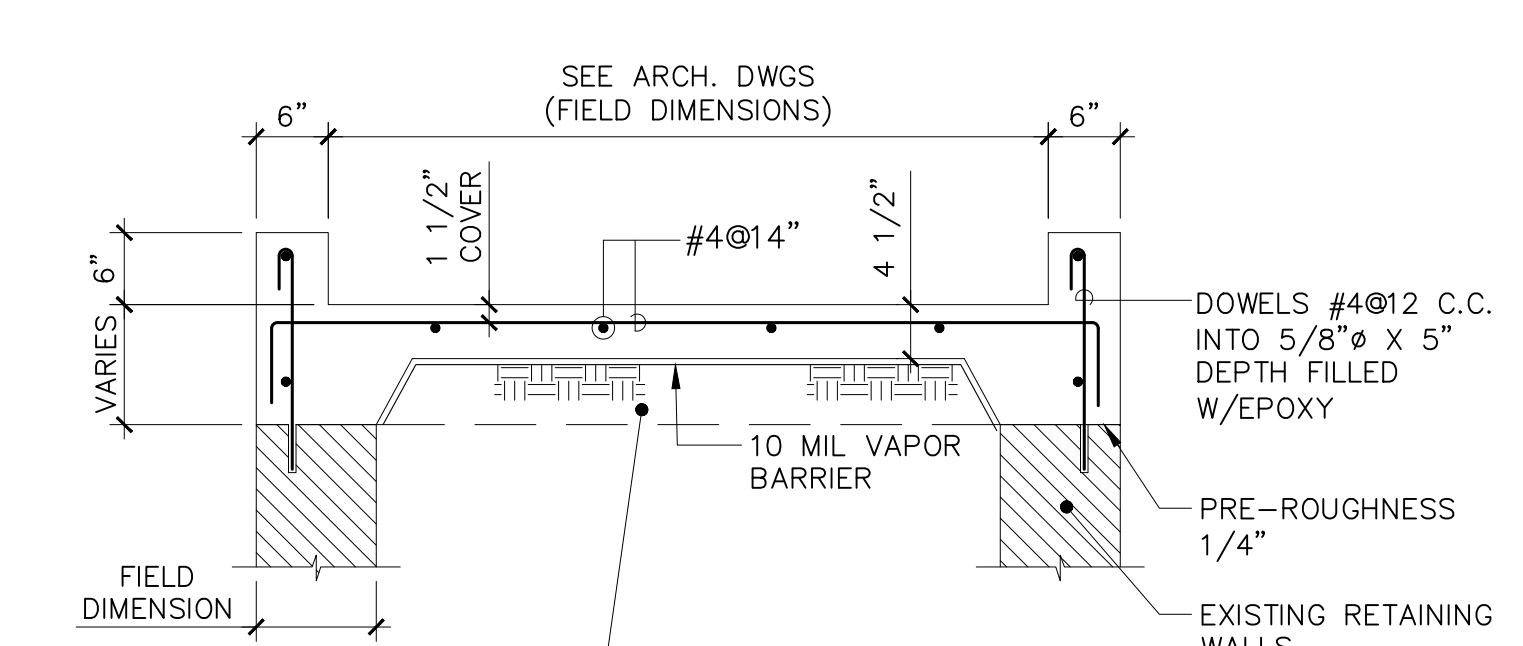
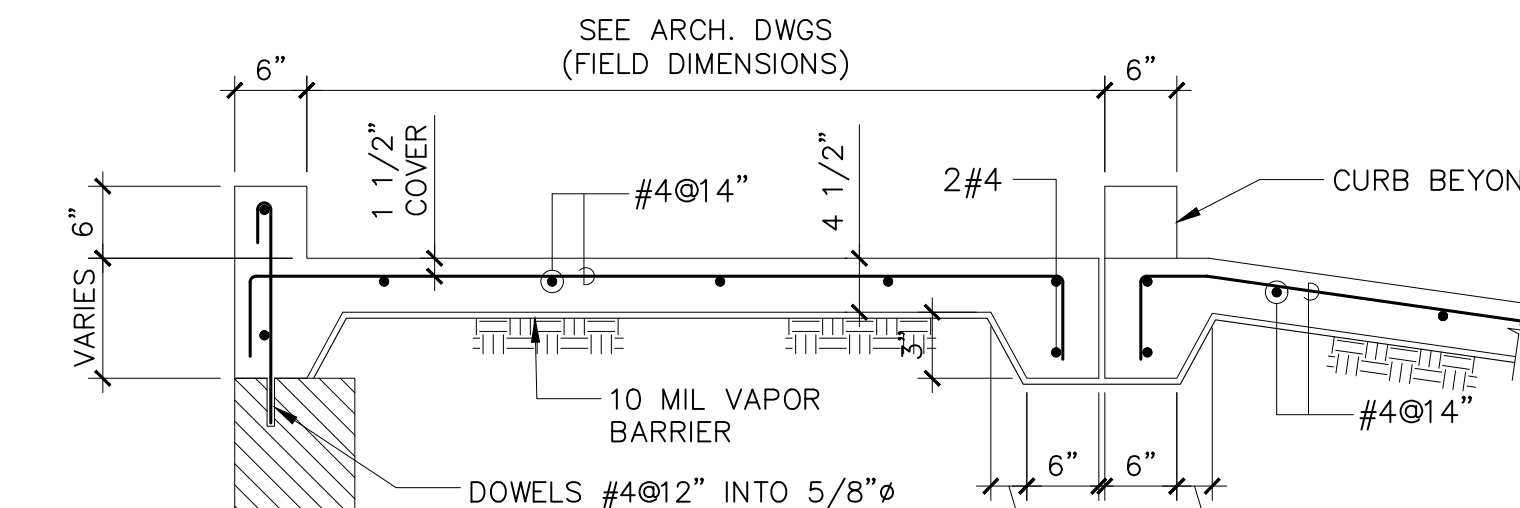
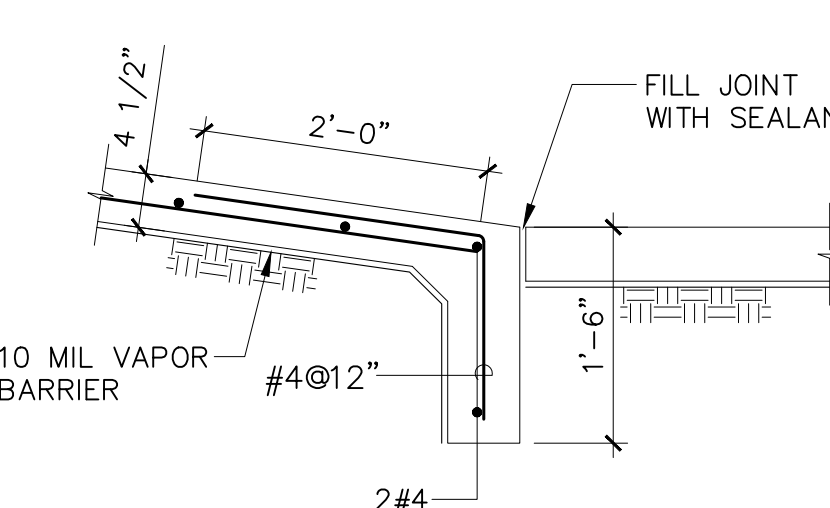
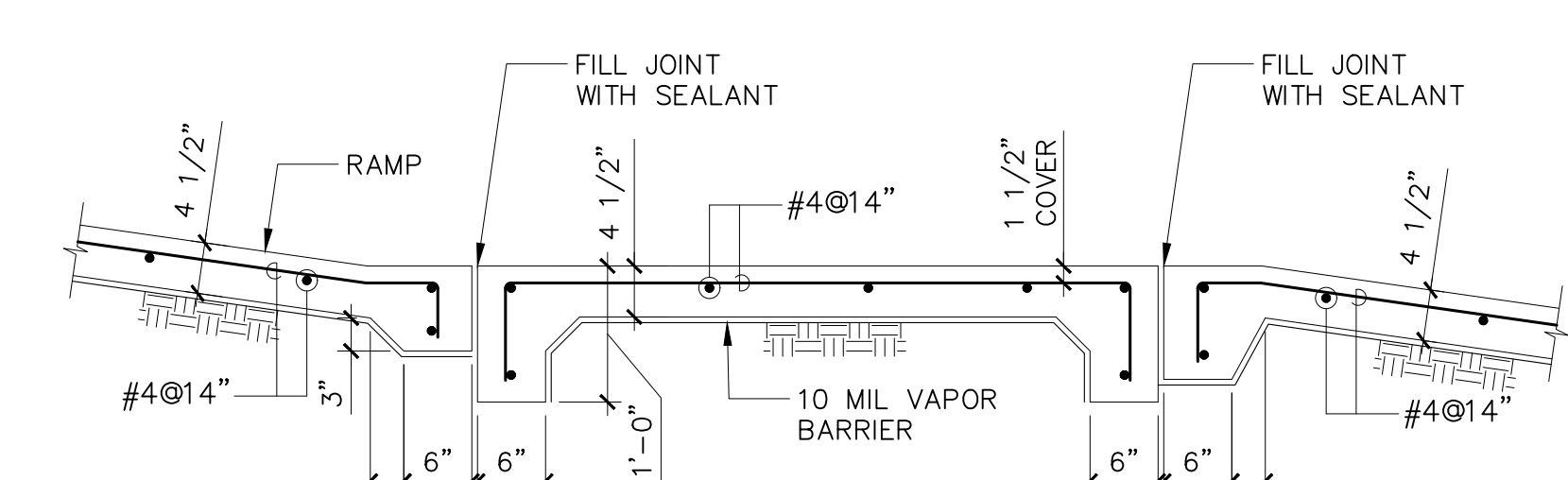
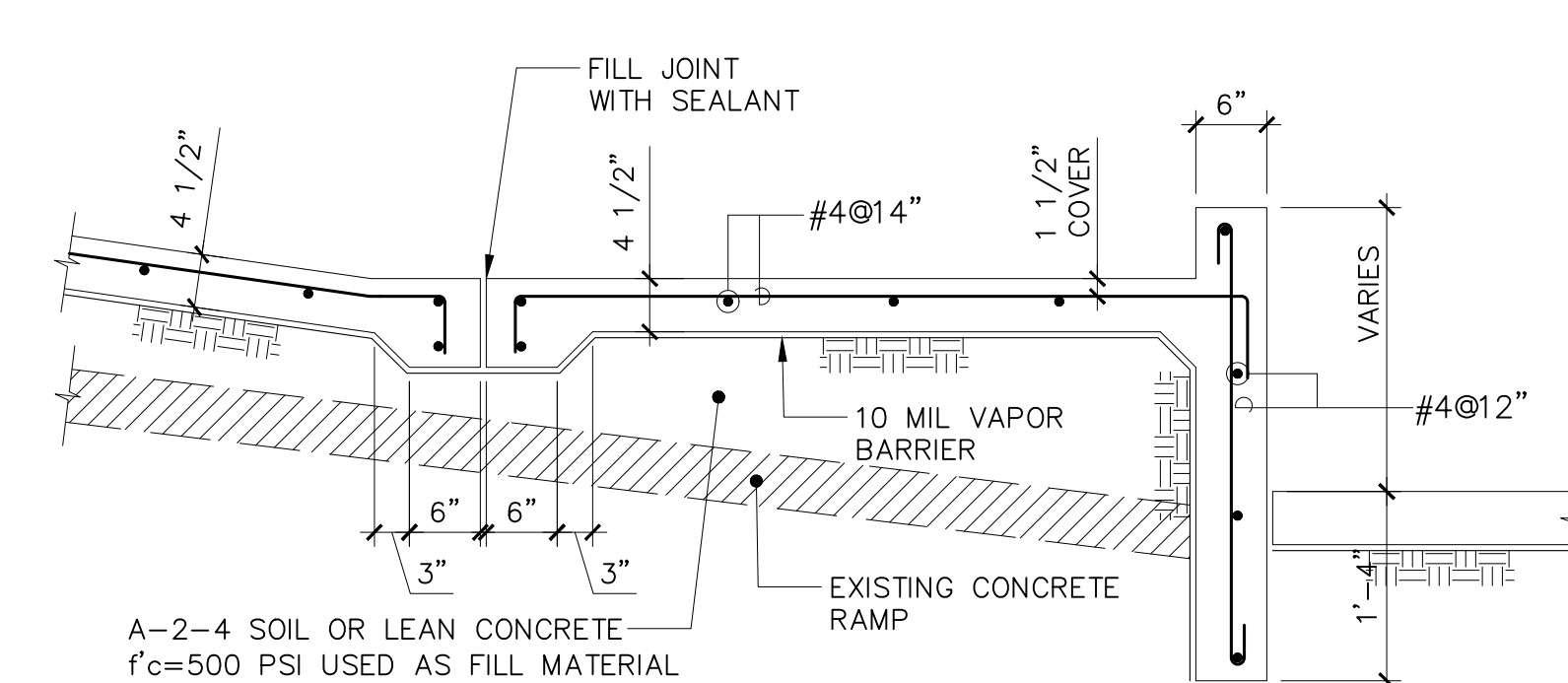
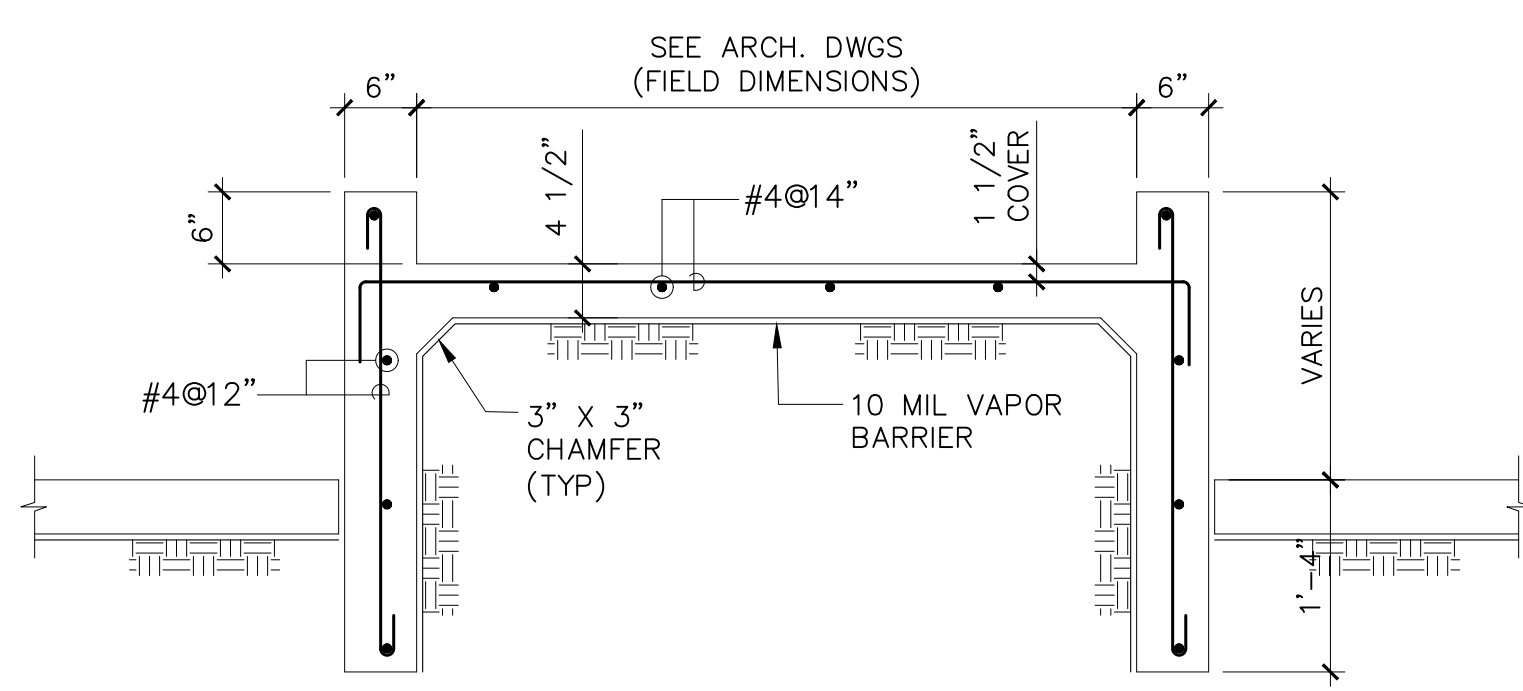
FEB-20-2024



RAMP AREA BLOW-UP
SCALE: 3/16"=1'-0"



SECTION 10
SCALE: 1/2"=1'-0"



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PROJECT
IMPROVEMENTS OF "PLAZA DE LA CONVALECENCIA" AND "PLAZA DEL PILAR"

DRAWING NAME
PLAZA BLOW-UP PLAN AND STRUCTURAL DETAILS

COMPUTER PLOT
THIS DRAWING WAS DRAFTED ON A CAD SYSTEM ALL CHANGES OR CORRECTIONS MUST BE STRICTLY EXECUTED ON CAD. ANY QUESTIONS PLEASE CONTACT HERNANDEZ-BAUZA

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PROJECT

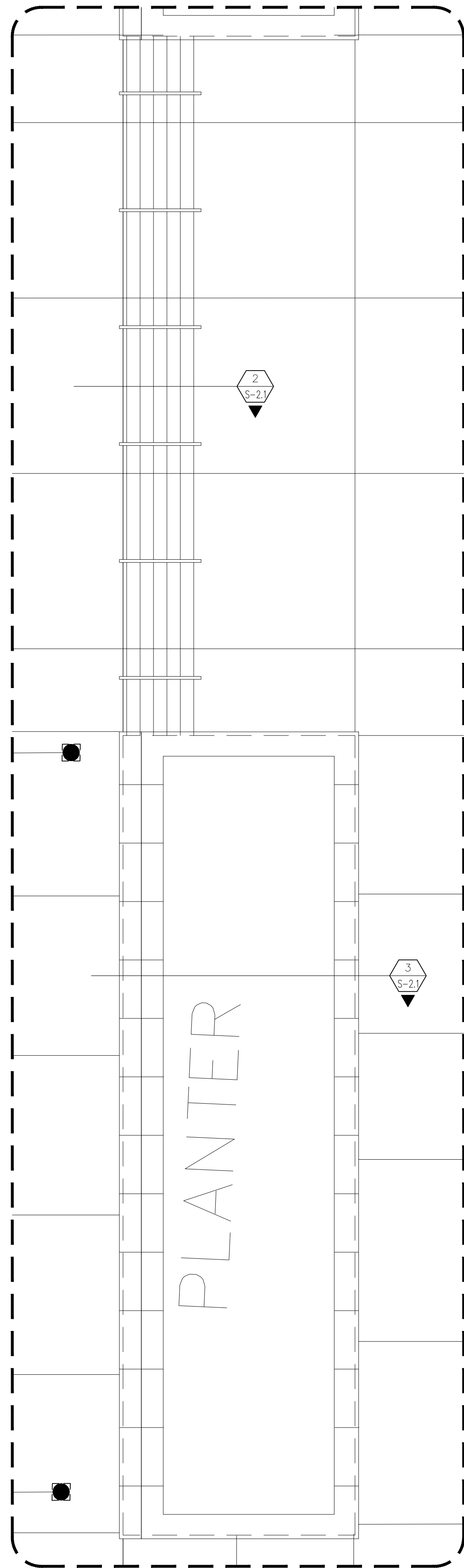
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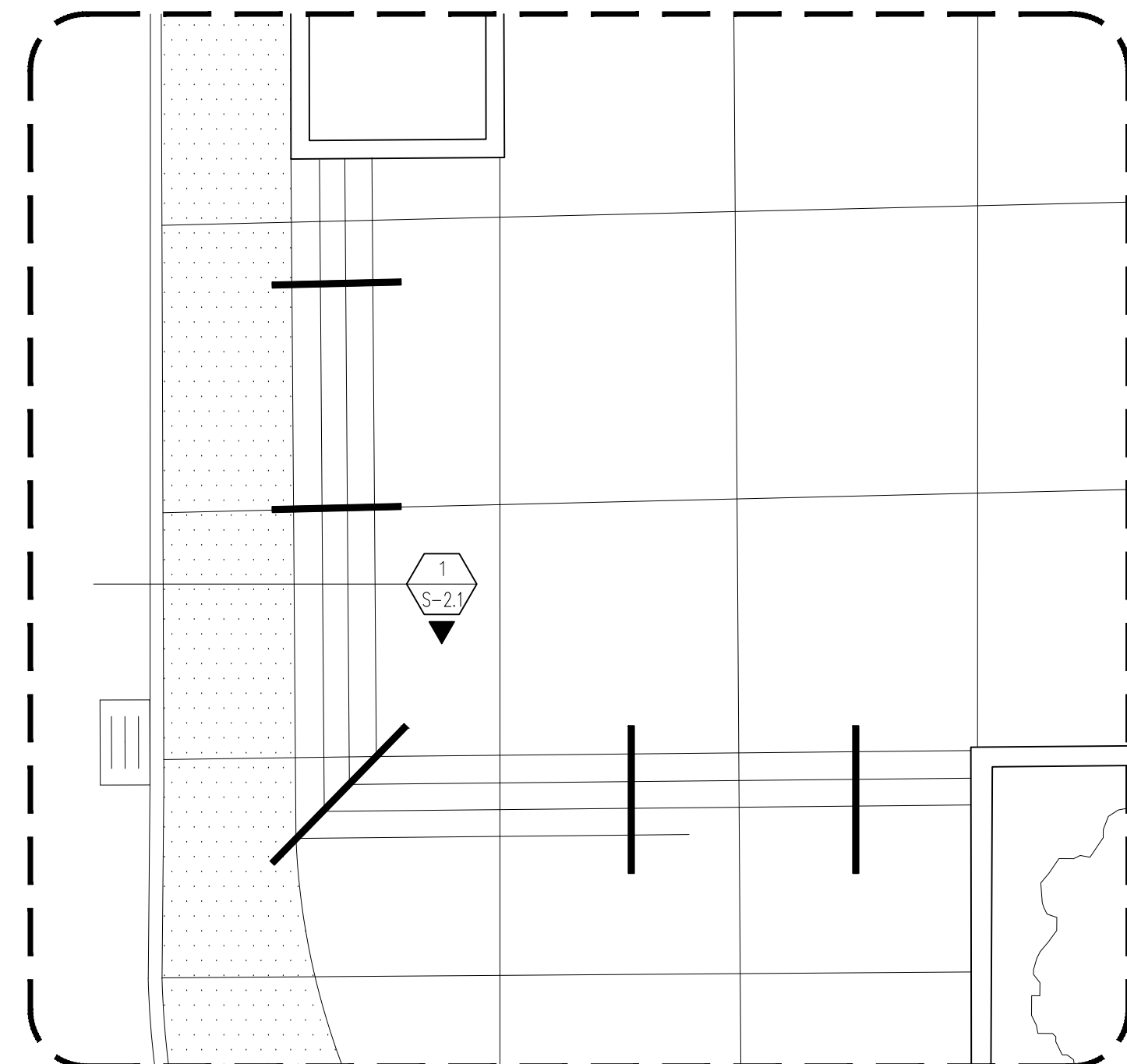
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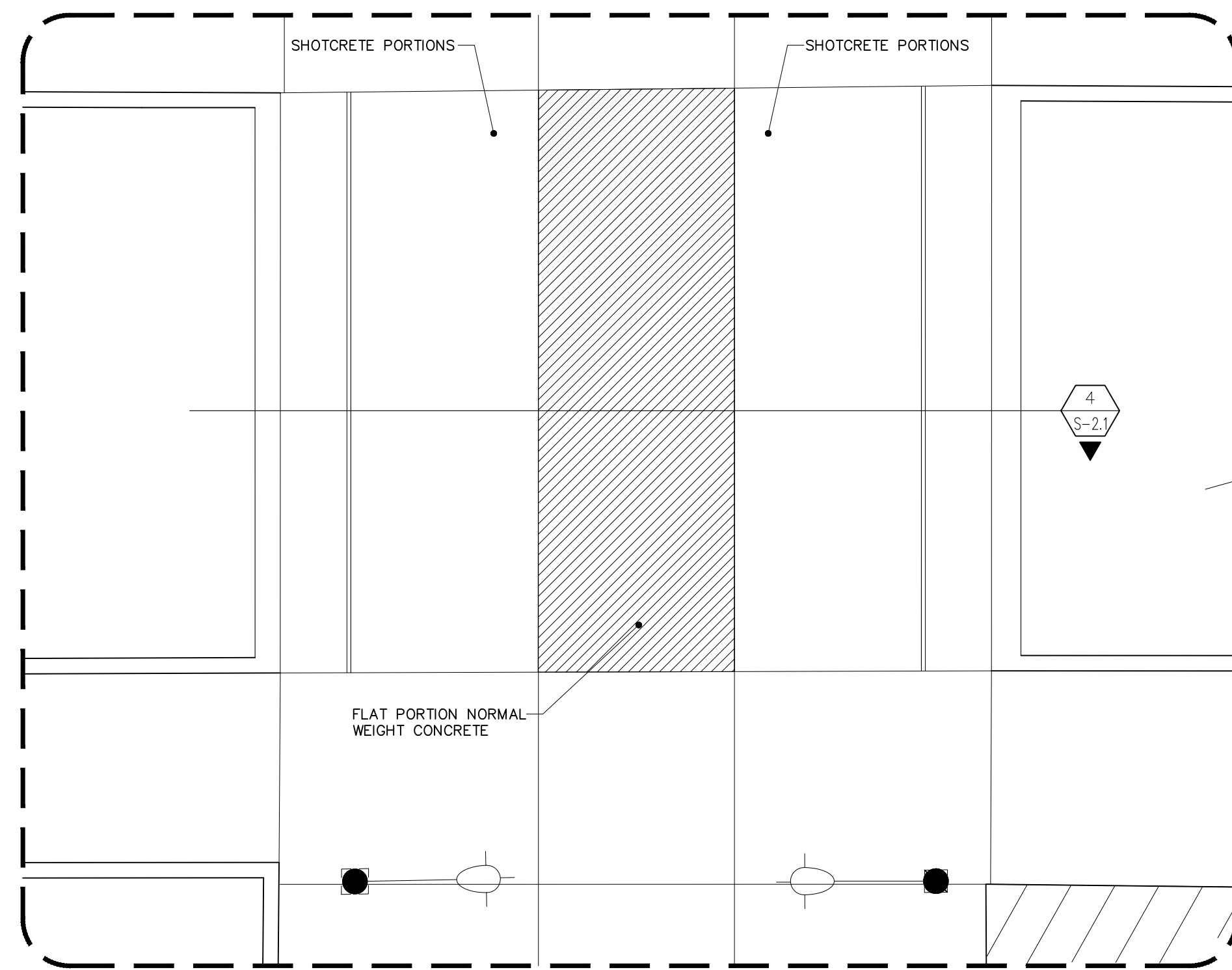
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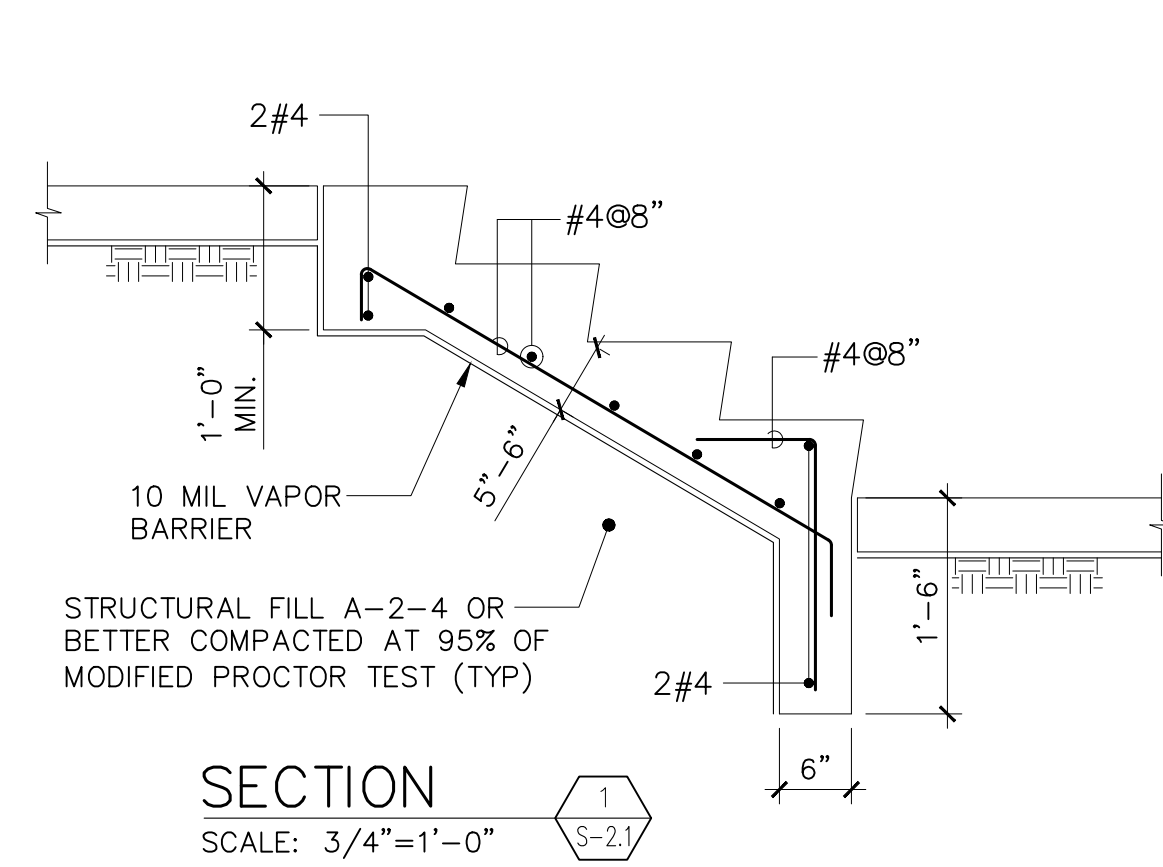
PLANTER/BENCH PLAN (PLAZA DEL PILAR)
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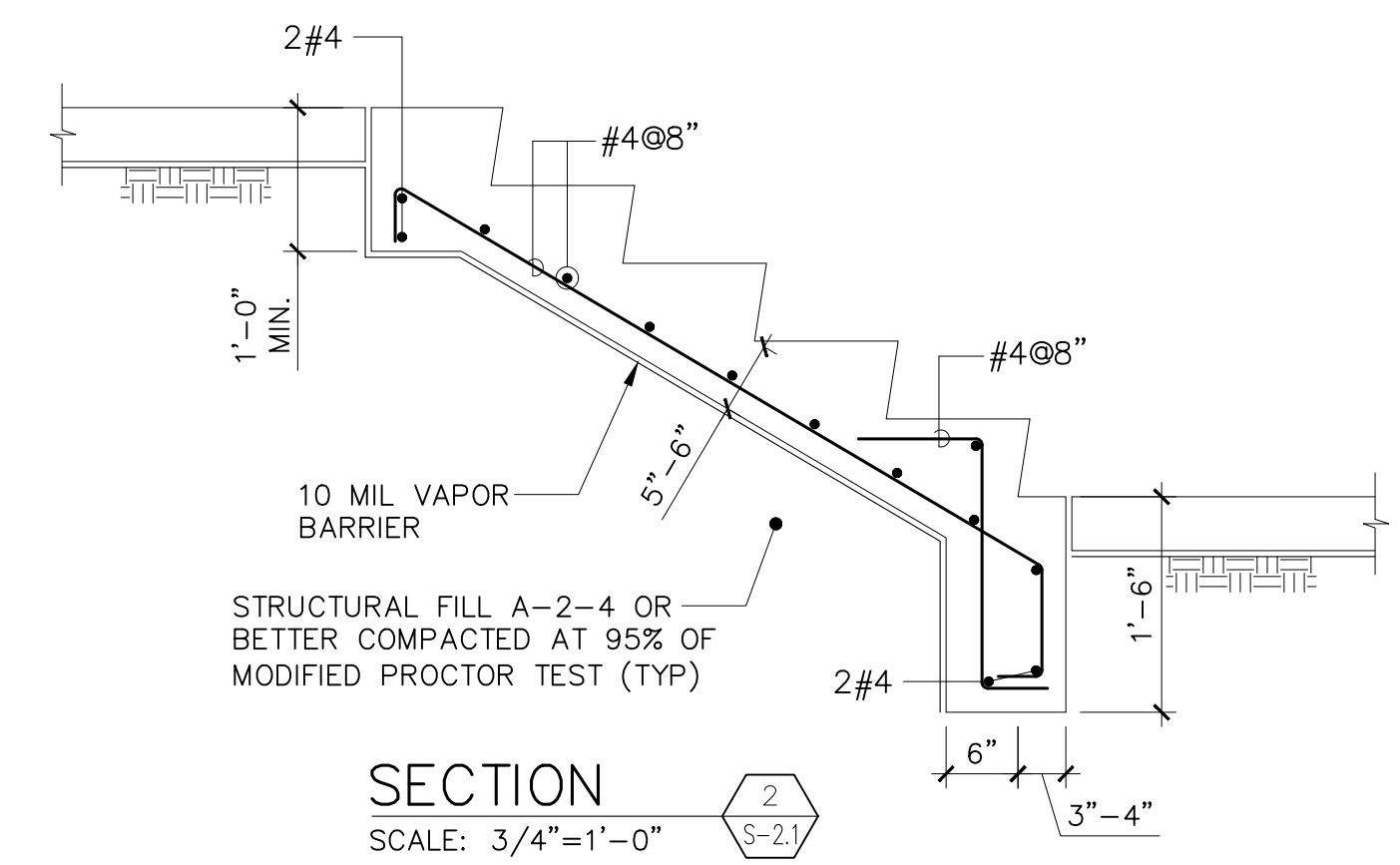
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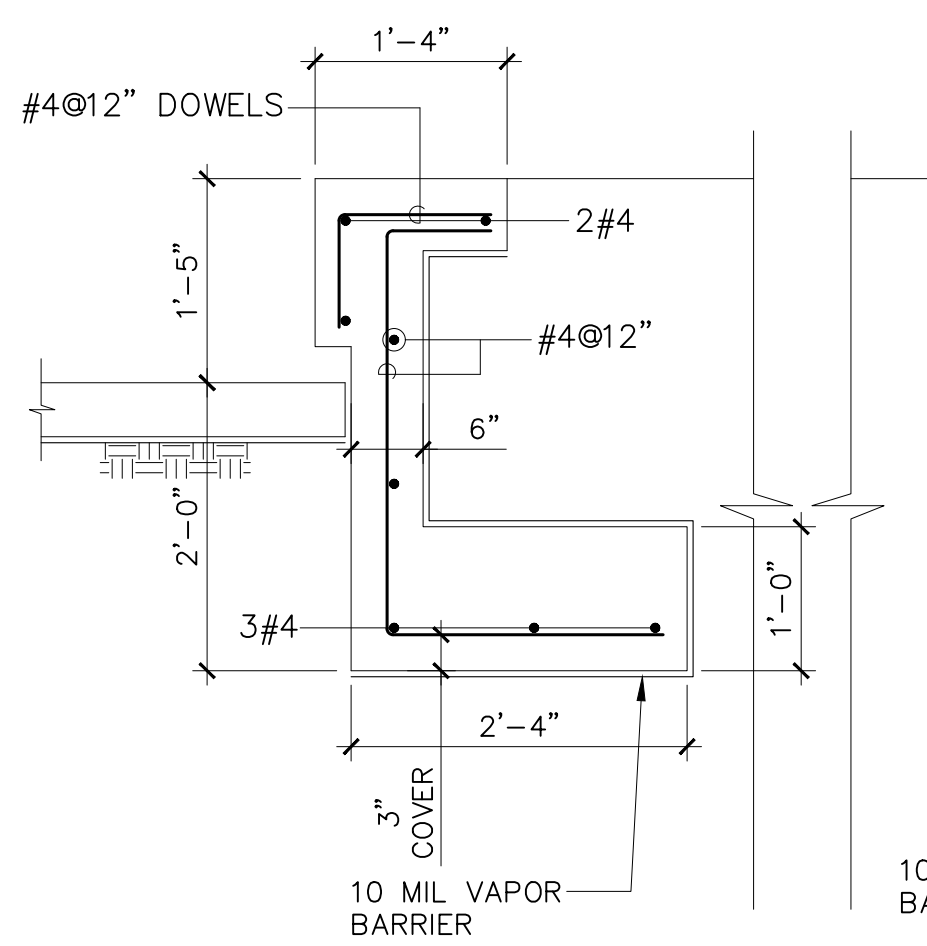
SKATE RAMP PLAN (PLAZA DEL PILAR)
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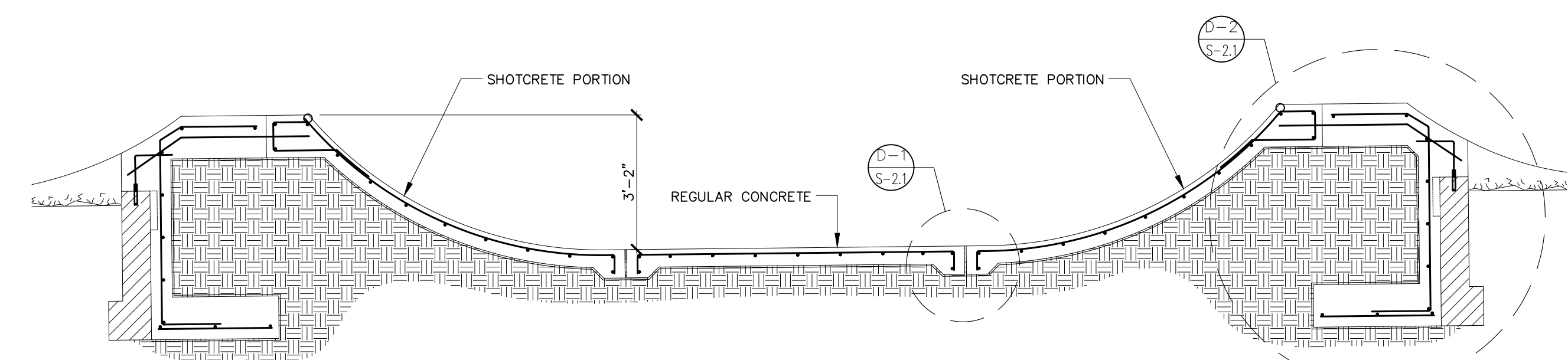
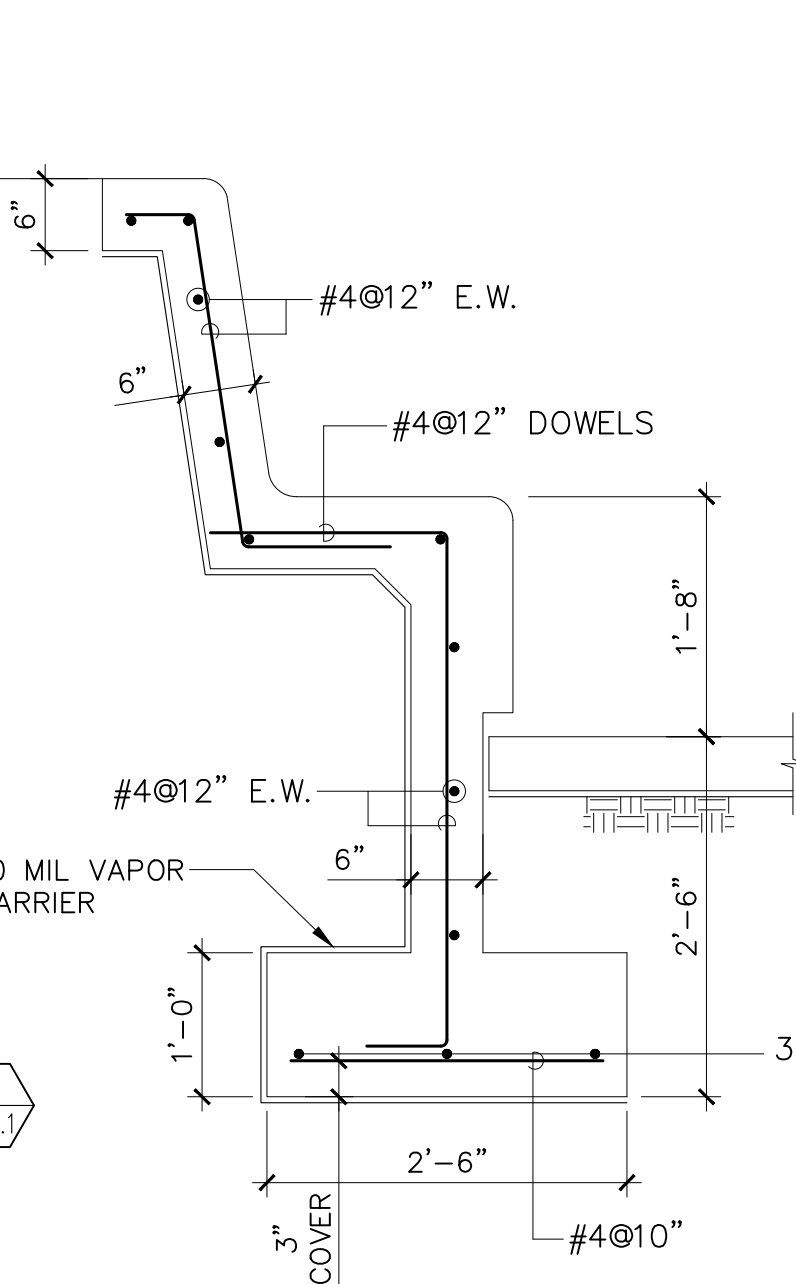
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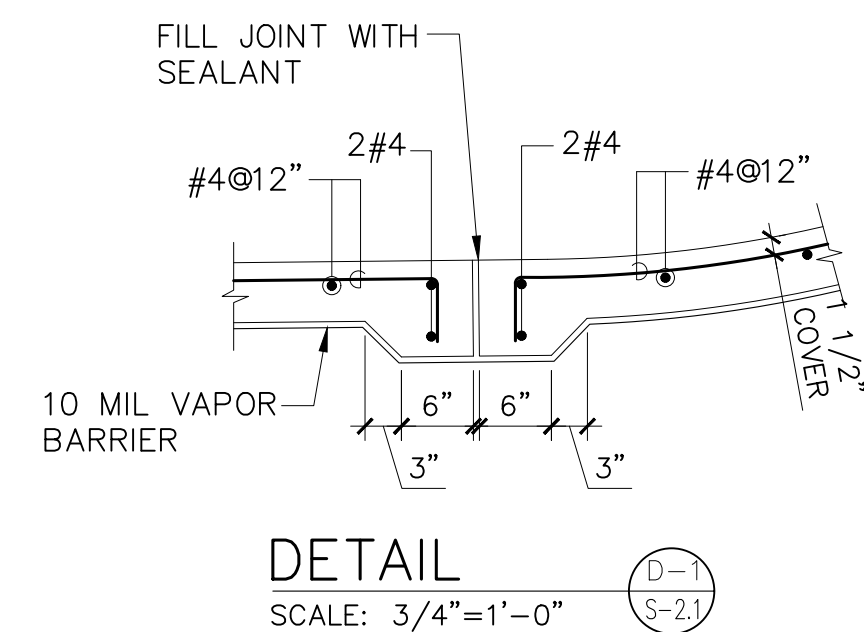
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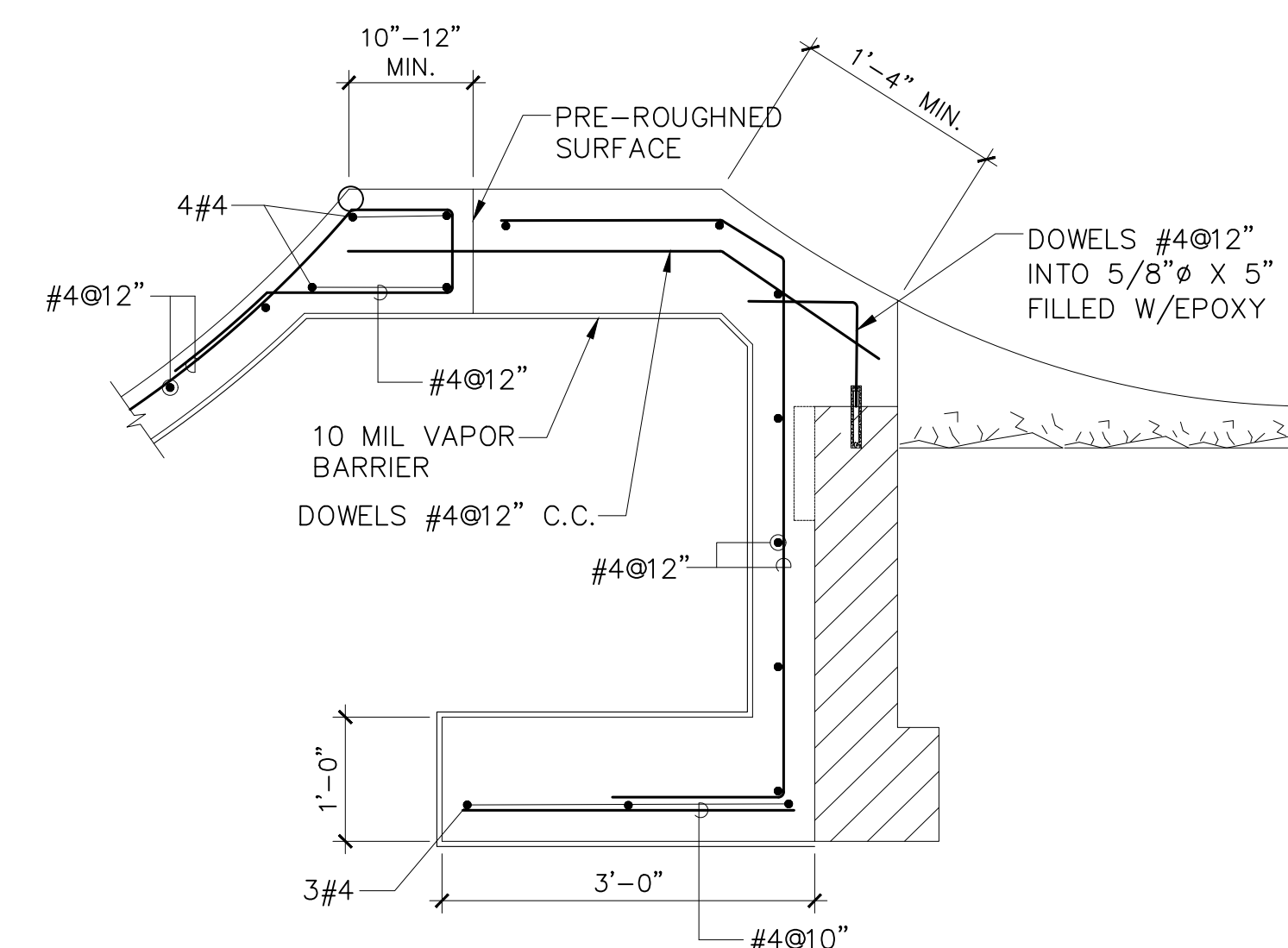
SECTION 3
SCALE: 3/4"=1'-0"



NEW SKATE PARK SECTION
SCALE: 3/8"=1'-0"



DETAIL D-1
SCALE: 3/4"=1'-0"



DETAIL D-2
SCALE: 3/4"=1'-0"



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PROJECT
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L.D.D. I.H.

NUMBER TOTAL
49 62

DRAWING NUMBER
S-2.1

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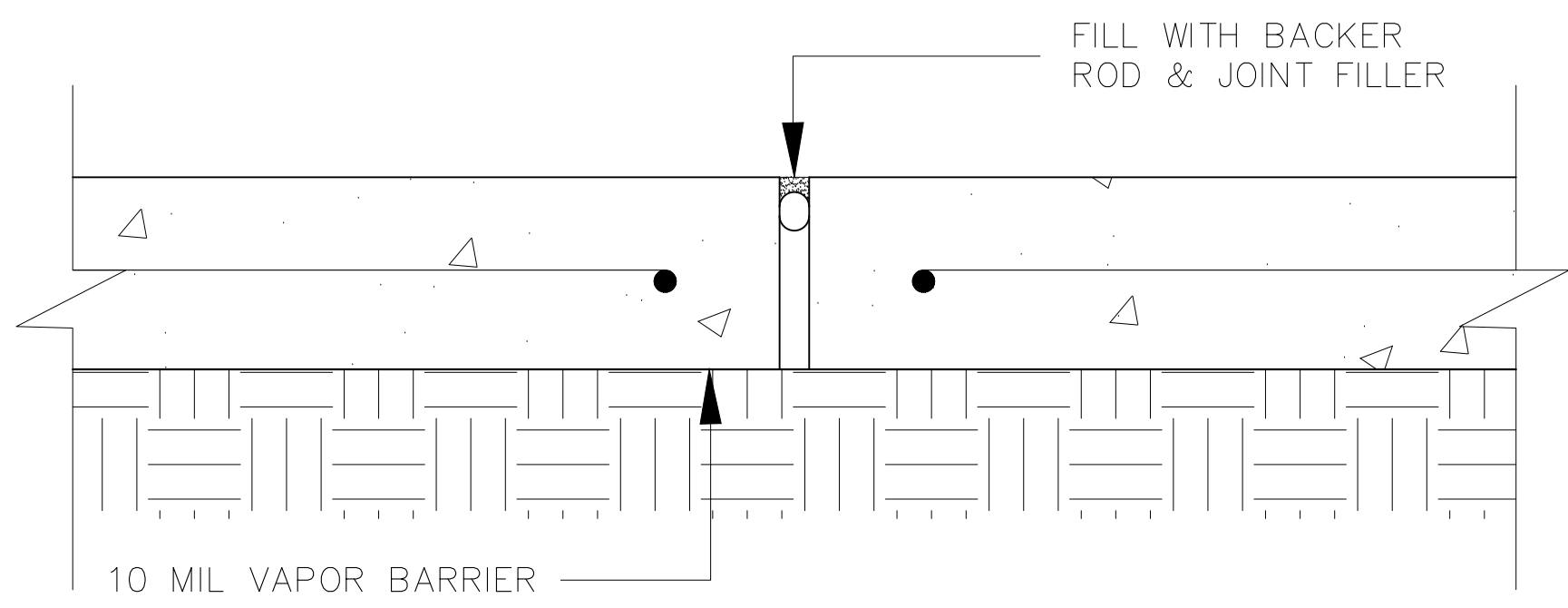
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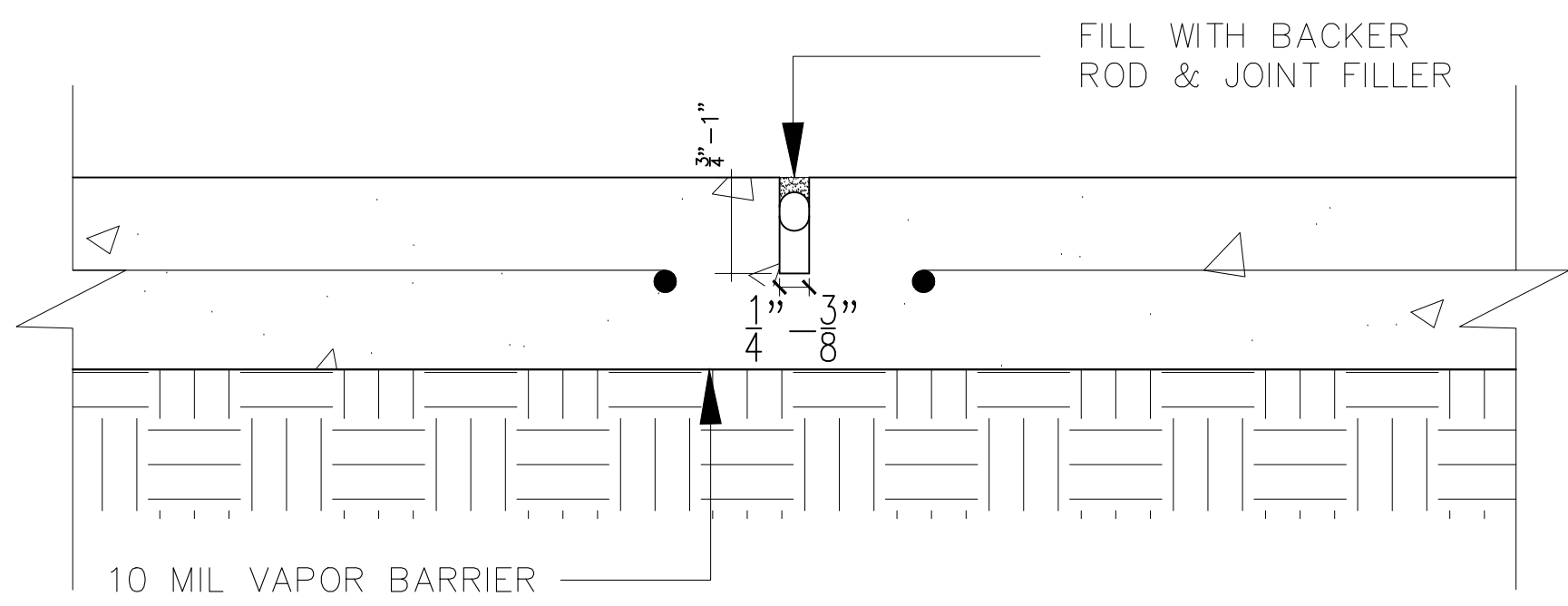
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NUMBER	TOTAL
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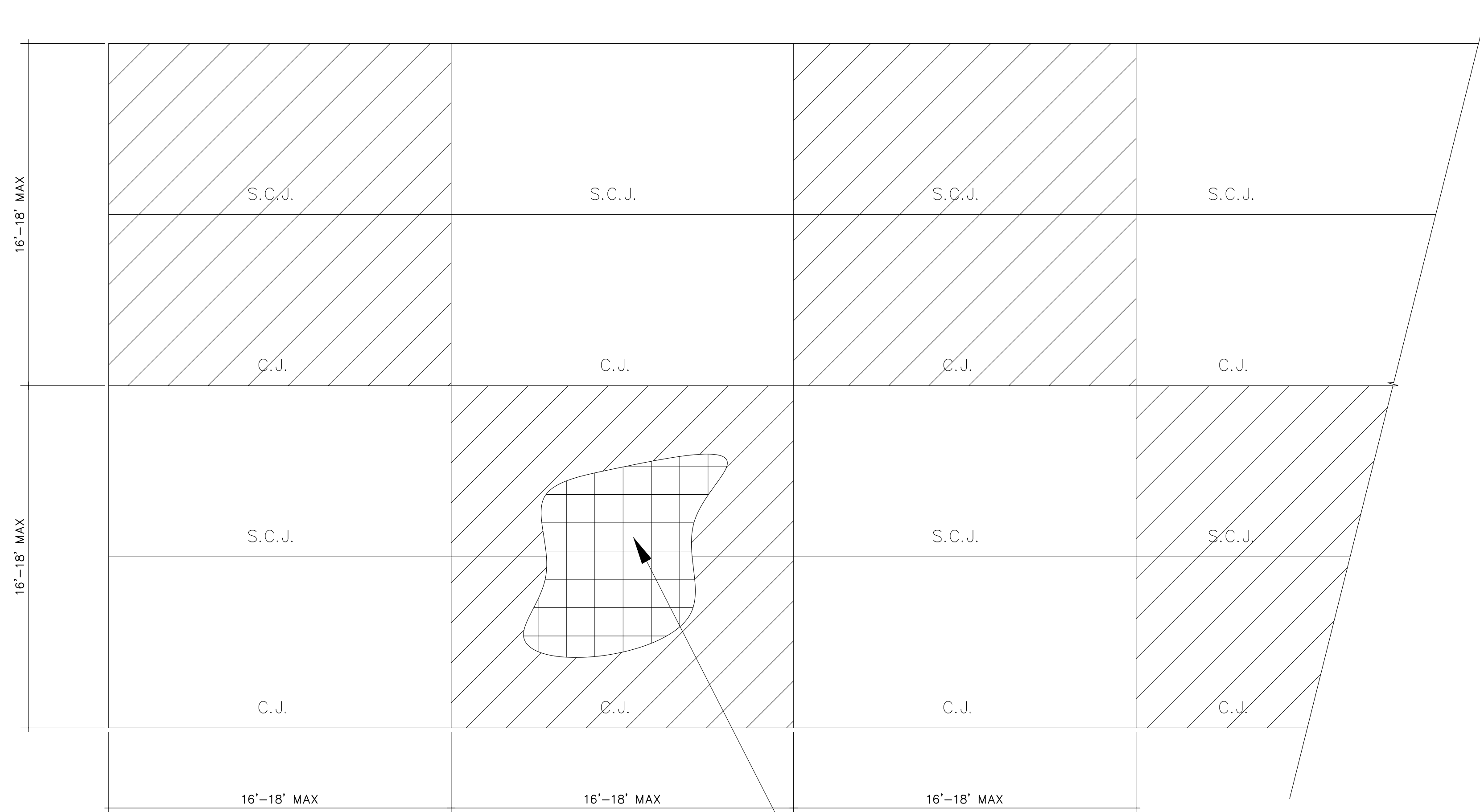
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S-2.2



CONSTRUCTION JOINT (C.J.)
SCALE: NTS



SAW-CONTROL JOINT (S.C.J.)
SCALE: NTS

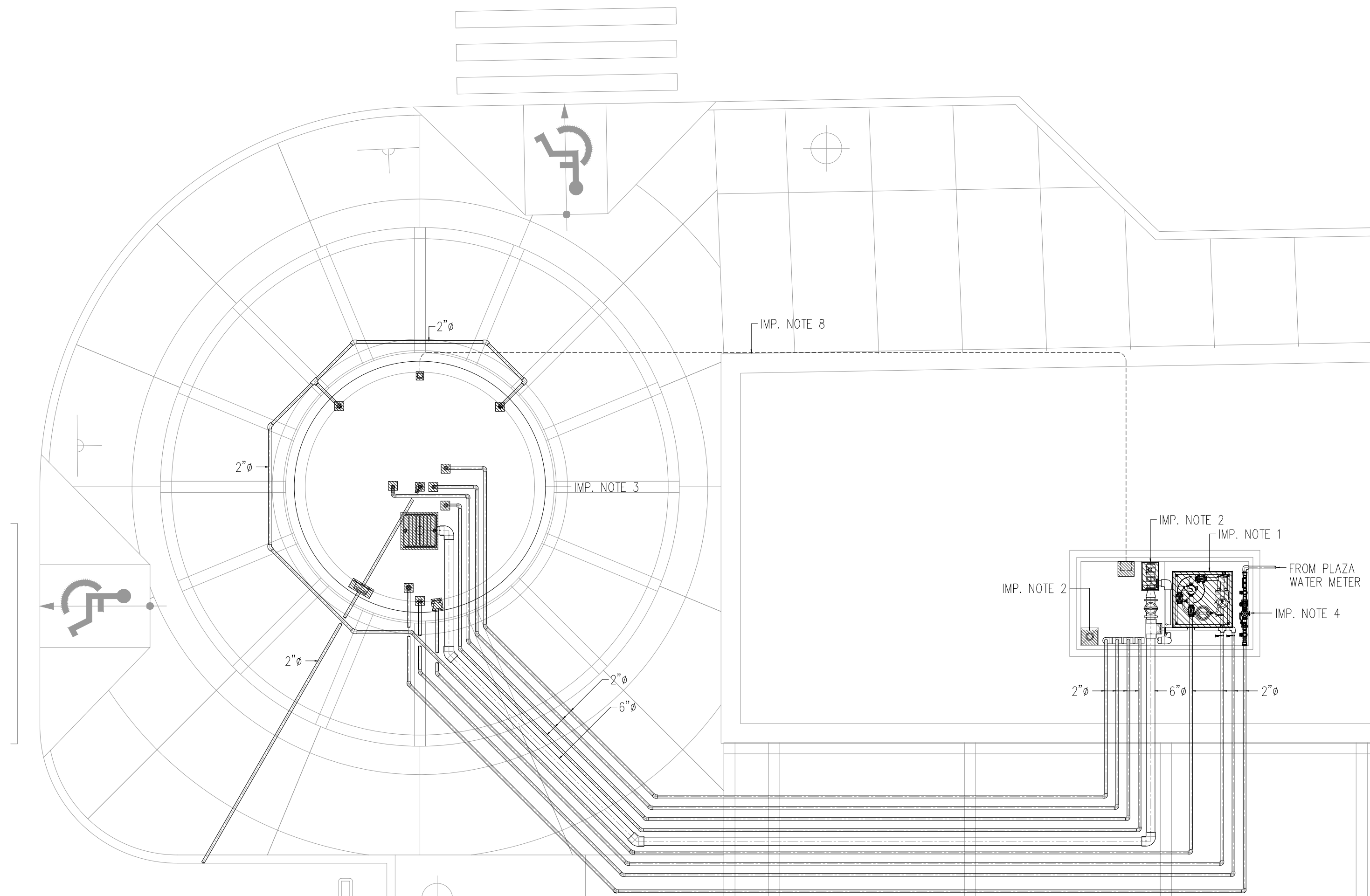


NOTE: POUR CONCRETE SLAB PANELS IN CHECKER BOARD PATTERN. (1ST DAY) THREE OR FOUR DAYS LATER POUR REST OF SLAB PANELS.

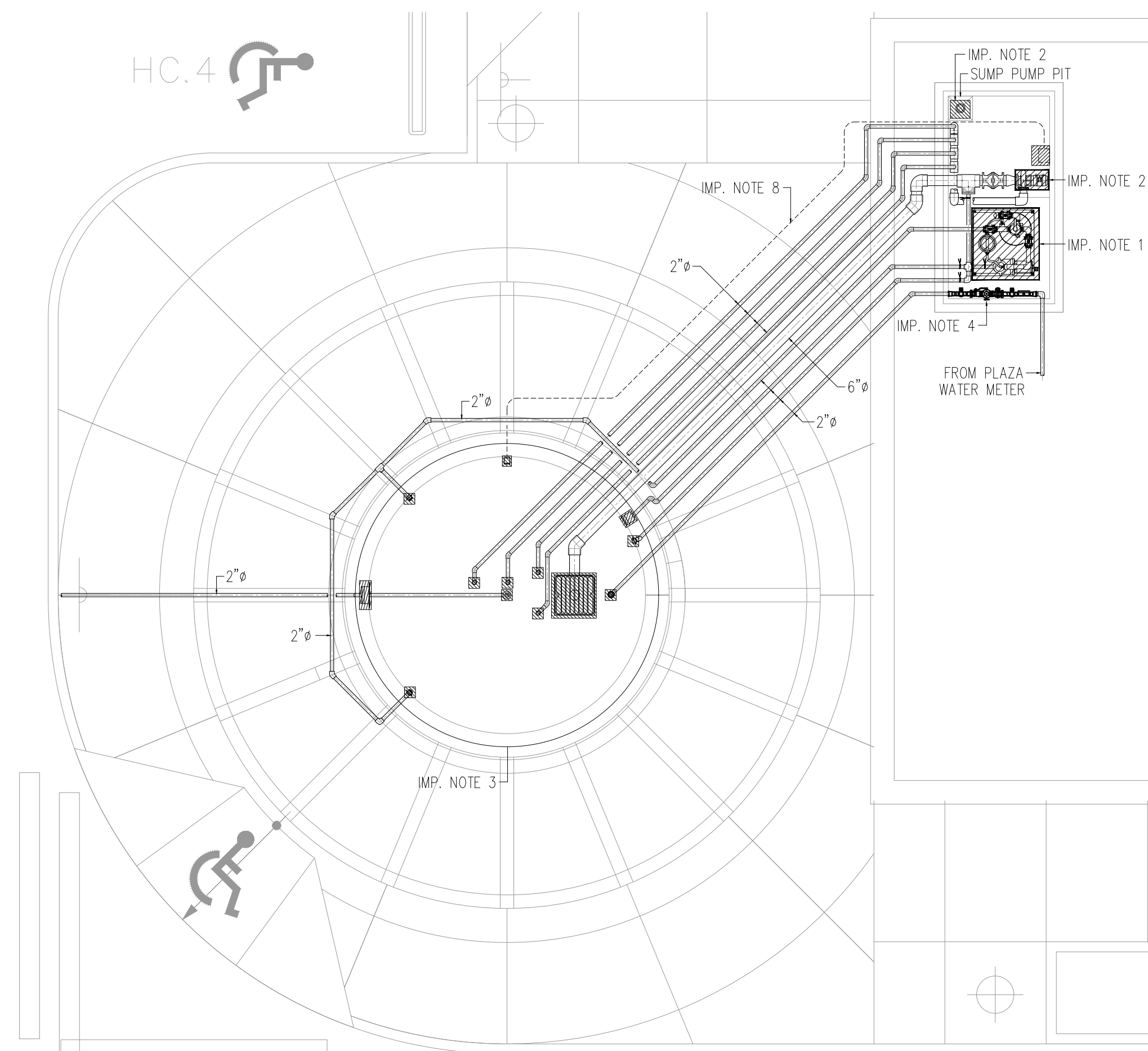
SLAB ON GRADE EXPANSION JOINT PLAN
SCALE: NTS

SLAB THICKNESS:
T= 4 1/2" FOR PEDESTRIAN TRAFFIC
T= 6"-8" FOR VEHICULAR TRAFFIC

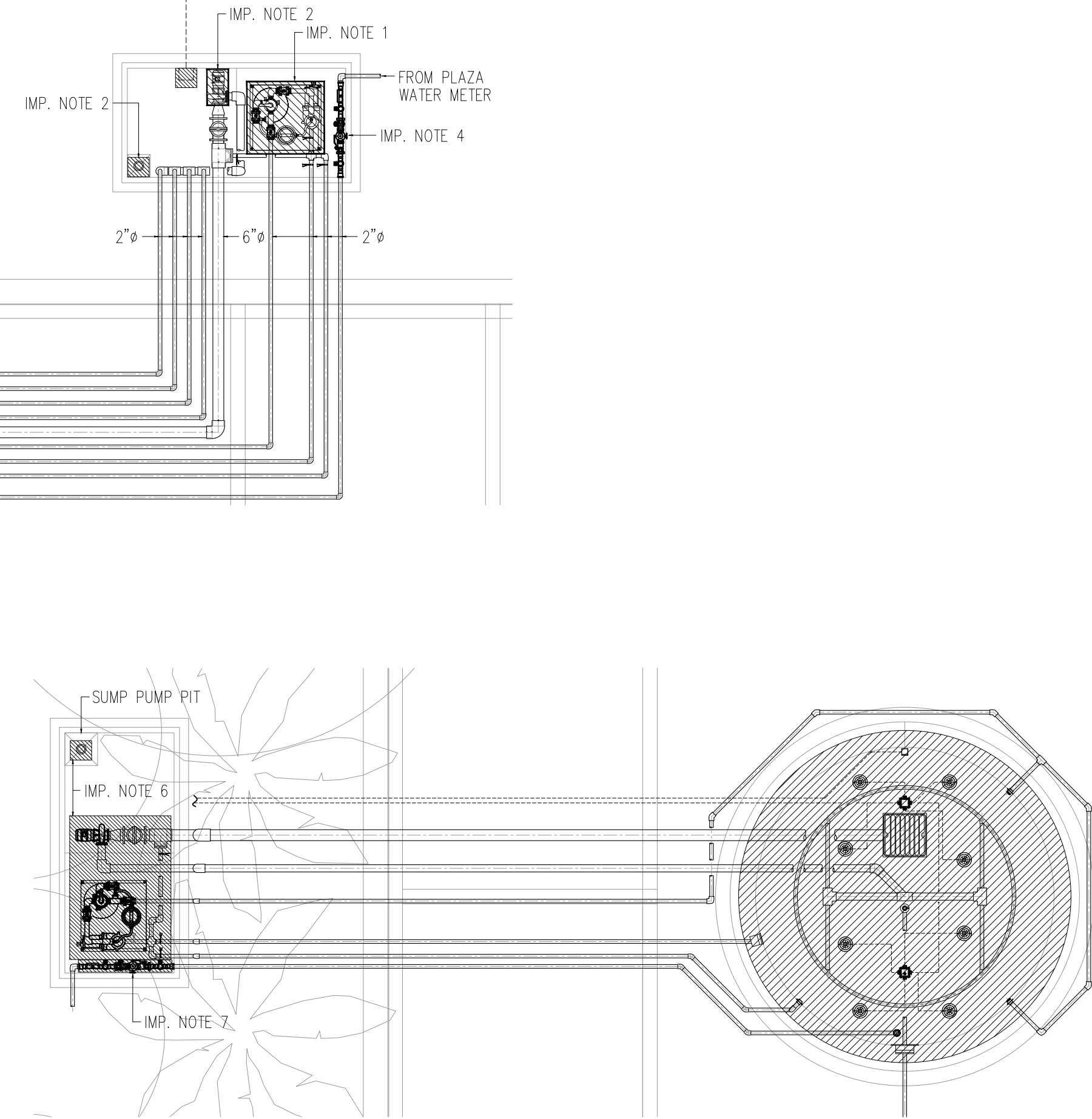
- # 4 E 14" EW @ MID-THICKNESS FOR T=4 1/2"
- # 4 @ 10" EW. @ MID-THICKNESS FOR T=6"-8"



PROPOSED FOUNTAIN 1 EQUIPMENT DEMOLITION PLAN
SCALE: 3/16" = 1'-0"



PROPOSED FOUNTAIN 2 EQUIPMENT DEMOLITION PLAN
SCALE: 3/16" = 1'-0"



PROPOSED FOUNTAIN 3 EQUIPMENT DEMOLITION PLAN
SCALE: 3/16" = 1'-0"

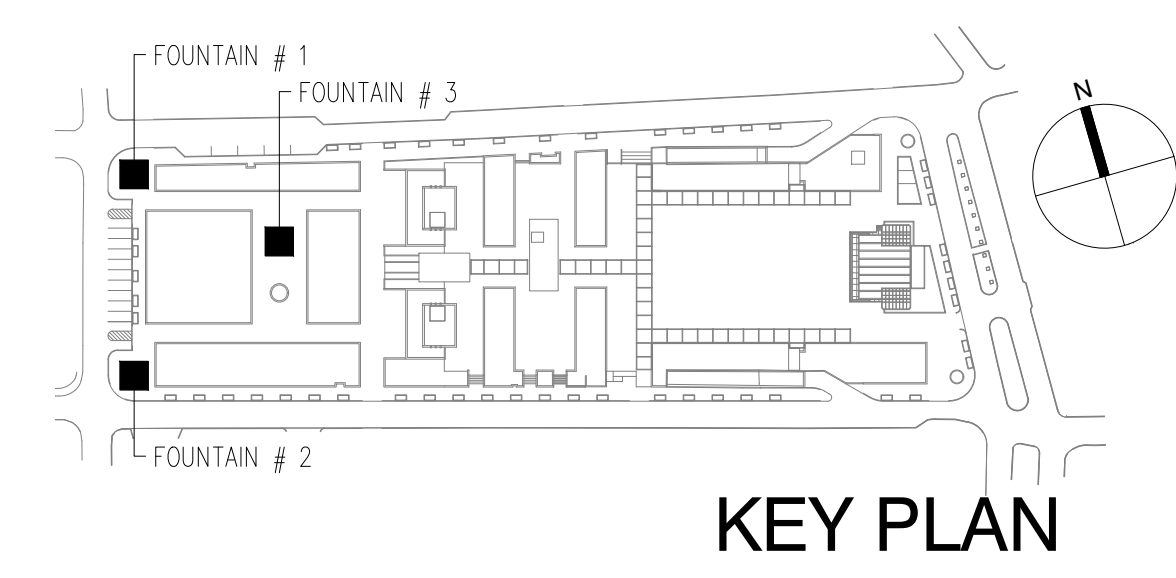
LEGEND:
 EQUIPMENT AND ACCESSORIES TO BE DEMOLISHED. ALL FOUNTAINS ACCESSORIES SHALL BE REMOVED AND REPLACE.

IMPORTANT NOTES:

1. FILTRATION PUMP, FILTER AND CHLORINATION SKID SHALL BE REMOVED.
2. WATER FEATURE PUMP SHALL BE REMOVED. INLET STRAINER BASKET SHALL BE CLEANED AND RE-USED. SUMP PUMP SHALL BE REMOVED.
3. ALL FILTRATION AND WATER FEATURE SYSTEMS VALVE SHALL BE REPLACED.
4. MAKE-UP WATER MANIFOLD SHALL BE RE-CONDITIONED AND EQUIPPED WITH A BACK-FLOW PREVENTER.
5. EXISTING FOUNTAINS 1 & 2 PIPING TO BE FIELD VERIFIED (PRESSURE TESTED FOR LEAKAGE, 120 PSI FOR 1 HOUR). IF PIPING PASSES PRESSURE TEST, IT SHALL BE REUSED, IF NOT REPLACED. TEST RESULTS SHALL BE SUBMITTED FOR APPROVAL.
6. ALL PUMPS, FILTRATION SYSTEM, CONTROLS, WATER FEATURES, ACCESSORIES AND VENTILATION FAN FOR FOUNTAIN 3 SHALL BE REMOVED. PIPING SHALL BE CAPPED AT FOUNTAIN AND PUMP VAULT ENDS.
7. WATER MAKE-UP MANIFOLD FOR FOUNTAIN 3 SHALL BE REMOVED AND CAP AT BOTH ENDS.
8. AUTOMATIC WATER FILL/LOW LEVEL CUT OFF CABLE TO BE REMOVED.
9. ALL VALVES AT PUMP SYSTEMS VAULTS FOR FOUNTAINS 1 & 2 SHALL BE REPLACED.
10. EXISTING EXHAUST FANS (AT BOTH FOUNTAINS) SHALL BE REMOVED, BUT NOT 6" PVC EXHAUST AND INTAKE GOOSENECKS.

DEMOLITION NOTES:

1. ALL EXISTING EQUIPMENT AND/OR SYSTEMS ARE SHOWN IN APPROXIMATE LOCATION. CONTRACTORS SHALL FIELD VERIFY THEM.
2. MAJOR DEVIATIONS FROM THE INFORMATION SHOWN IN ALL THE CONTRACT DOCUMENTS AND PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.
3. CARE SHALL BE TAKEN AT ANY INTERFACE BETWEEN DEMOLITION AND EXISTING CONSTRUCTION TO REMAIN TO AVOID ANY DAMAGES TO ANY REMAINING AREAS AND/OR SYSTEMS.
4. PROVIDE A TEMPORARY PROTECTION AS NECESSARY AND AS REQUIRED BY THE OWNER TO SEAL ANY DEMOLISH AREA FROM THE REST OF THE BUILDING AND MAINTAIN SECURITY WHERE DEMOLITION IS PERFORMED.
5. IT IS INTENDED THAT THE REMOVAL OF ALL MAJOR MECHANICAL, PLUMBING, AND ELECTRICAL ITEMS SHALL BE COMPLETED BY THEIR RESPECTIVE TRADES. ALL ITEMS TO BE REMOVED ARE NOT NECESSARILY SHOWN ON THESE DOCUMENTS. ONCE THE REMOVAL OF ALL MAJOR ITEMS ARE COMPLETED BY THE RESPECTIVE TRADES, THE REMAINING ITEMS SHALL BE REMOVED BY THE GENERAL CONTRACTOR.
6. THE CONTRACTOR SHALL REUSE ALL EXISTING MATERIALS IF POSSIBLE, UNLESS THE MATERIALS ARE SCHEDULED FOR REPLACEMENT. PRIOR TO DISPOSING ALL DEMOLISHED MATERIALS, THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE THOSE MATERIALS THAT THE FACILITY WILL RETAIN.
7. REMOVE ALL EXISTING FINISHES WHERE NEW MATERIALS ARE SCHEDULED. SURFACES TO REMAIN SHALL BE PATCHED AND/OR REPAIRED TO RECEIVE NEW FINISHES.
8. ALL EXISTING CONSTRUCTION REMAINING AFTER DEMOLITION THAT INTERFERES WITH THE NEW CONSTRUCTION SHALL BE REMOVED AS DIRECTED BY THE ARCHITECT UPON NOTIFICATION BY THE CONTRACTOR.
9. THE CONTRACTOR SHALL NOT CUT ANY STRUCTURAL WORK IN A MANNER THAT RESULTS IN A REDUCTION OF THE LOAD CARRYING CAPACITY OR LOAD/DEFLECTION RATIO. THE CONTRACTOR SHALL BRACE ALL ELEMENTS AS NECESSARY DURING THE DEMOLITION AND CONSTRUCTION. IF THE STRUCTURE HAS TO BE CUT, THE CONTRACTOR SHALL EMPLOY A STRUCTURAL ENGINEER TO DESIGN AND/OR INSURE THAT THE CUTTING OF THE STRUCTURE WILL NOT REDUCE THE LOAD CARRYING CAPACITY.
10. TYPICAL REMOVAL OF WALLS/PARTITION SHALL INCLUDED ALL WORK REQUIRED TO REMOVE MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS CONTAINED THEREIN. REMOVE DOORS, FRAMES, CASEWORK AND OTHER FIXTURES AS REQUIRED.
11. THE CONTRACTOR SHALL REMOVE ALL EXISTING FLOOR, CEILING AND/OR WALL MOUNTED DEVICES TO REMAIN PRIOR TO INSTALLING NEW FINISHES. AFTER ALL THE FLOORS, CEILINGS AND/OR WALLS HAVE RECEIVED THE NEW FINISHES, THE CONTRACTOR SHALL REINSTALL ALL WALL MOUNTED DEVICES TO REMAIN. TAKE TIME REMOVING ALL BUILDING ACCESSORY COVERS FROM RETAINERS. ALL ITEMS MUST BE STORED IN A SECURE LOCATION AS DIRECTED BY THE FACILITY FOR RE-INSTALLATION OF ALL ITEMS WHEN FINISHES ARE COMPLETED.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EXISTING SUBSTRATE CORRECTION IN ALL AREAS WHERE MECHANICAL, PLUMBING, AND ELECTRICAL EQUIPMENT AND SERVICES ARE REMOVED.
13. REMOVAL OF ANY PLUMBING FIXTURES AS NOTED IN THE DRAWINGS, INCLUDES THE CAPPING OF ALL WATER SUPPLY AND DRAINAGE PIPING AT WALL OR AT FLOOR. ALL WALLS, FLOORS, AND FINISHES TO REMAINS AFFECTED BY THE REMOVAL OF A FIXTURE, CASEWORK OR OTHER EQUIPMENT SHALL BE REPAIRED IN A MANNER TO BRING IT BACK TO "LIKE-NEW" CONDITION, TO MATCH OTHER EXISTING CONDITIONS TO REMAIN OR PREPARE THESE SURFACES FOR THE NEW FINISHES.
14. CAULK ALL PLUMBING FIXTURES, BASES, DRYWALL CABINETS AND TRIM TO ADJACENT SURFACES. COLOR OF CAULK HAS TO MATCH ADJACENT FINISH.
15. ALL EQUIPMENTS TO BE REMOVED SHALL BE CAREFULLY DISMOUNTED, DISCONNECTED FROM ALL RESPECTIVE SERVICES SYSTEMS AND THE REMAINING SERVICES SYSTEMS BE PROPERLY CAPPED.
16. ALL REUSED EXISTING MECHANICAL EQUIPMENT SHALL BE PROPERLY INSPECTED BY THEIR RESPECTIVE TRADE AND CLEANED FOR PROPER OPERATION.
17. DO NOT RELEASE ANY REFRIGERANT TO ATMOSPHERE. DISPOSE IN A LAWFUL MANNER.
18. IF ANY EXISTING FIRE PROOFING OR FIRE ASSEMBLY SYSTEM WHICH ARE INDICATED TO REMAIN ARE DAMAGED DURING DEMOLITION AND OR CONSTRUCTION, THEY SHALL BE REPAIRED TO CONFORM TO THE ORIGINAL FIRE PROTECTION REQUIREMENTS.
19. ALL EXISTING FIRE DAMPERS OR SMOKE DAMPERS BEING REUSED SHALL REMAIN IN PLACE AND OPERATIONAL.
20. DUCTS TO BE REMOVED SHALL ONLY BE REMOVE THAT PORTION OF THE DUCT INDICATED AND PLUG REMAINING DUCTS WITH THE SAME OR COMPATIBLE DUCTWORK MATERIAL.
21. IF ANY EQUIPMENTS OR SYSTEMS TO REMAIN ARE DAMAGED IN APPEARANCE OR ANY MANNER TO A POINT TO BE UNSERVICEABLE, REMOVE THE DAMAGED AND/OR UNSERVICEABLE ITEMS AND REPLACE THEM WITH A NEW PRODUCTS OF EQUAL CAPACITY AND QUALITY.
22. LEAVE ALL EXISTING EXHAUST FANS IN PLACE AND OPERATIONAL, UNLESS THE DRAWINGS SHOWS THE REPLACEMENT, RELOCATION OR THE ADDITION OF EXHAUST FANS.



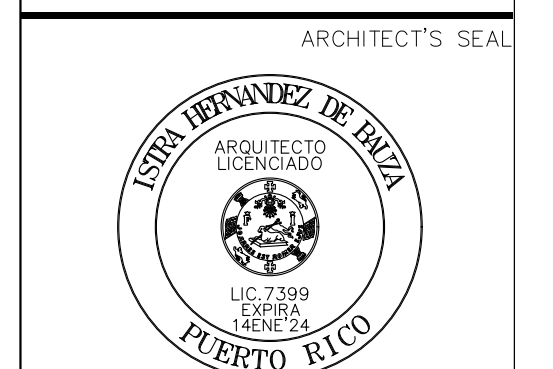
ISSUE FOR REVIEW AND COMMENTS 90%, 2024.02.26



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 CONSULTANT'S SEAL

YO, LUIS R. TORRES ROSA QUIROS, INGENIERO LICENCIADO #18777, CERTIFICO QUE SOY EL PROFESIONAL QUE DISEÑO O ESTOS PLANOS Y LAS ESPECIFICACIONES COMPLEMENTARIAS TAMBIEN, CERTIFICO QUE ENTENDO QUE DICHS PLANOS Y ESPECIFICACIONES CUMPLEN CON LAS DISPOSICIONES APLICABLES DEL REGLAMENTO CONJUNTO Y LAS DISPOSICIONES APLICABLES DE LOS REGLAMENTOS Y CODIGOS DE CONSTRUCCION VIGENTES DE LAS AGENCIAS, JUNTAS REGULADORAS O CORPORACIONES PUBLICAS CON JURISDICCION Y ESTAN EN CONFORMIDAD CON CODIGOS DE CONSTRUCCION DE PUERTO RICO 2018 VIGENTE AL 15 DE NOVIEMBRE DE 2018. CERTIFICO, ADEMÁS, QUE EN LA PREPARACION DE ESTOS PLANOS Y ESPECIFICACIONES SE HA CUMPLIDO CABALMENTE CON LO DISPUESTO EN LA LEY NÚM. 14 DE 8 DE ENERO DE 2004, SEGÚN ENMIENDADA, CONOCIDA COMO LA "LEY PARA LA INVERSIÓN POR LA INDUSTRIA PUERTORRIQUEÑA" CON LA LEY NÚM. 315 DE 15 DE MAYO DE 1938, SEGÚN ENMIENDADA; LEY NÚM. 96 DE 6 DE JULIO DE 1978, SEGÚN ENMIENDADA; SEGÚN APRUEBE RECONOCIDO QUE CUALQUIER DECLARACIÓN FALSA O FALSIFICACIÓN DE LOS HECHOS QUE SE HAYA PRODUCIDO POR DESCONOCIMIENTO O POR NEGLIGENCIA YA SEA POR MÍ, MIS AGENTES O EMPLEADOS, O POR OTRAS PERSONAS CON MI CONOCIMIENTO, ME HACERÁ RESPONSABLE DE CUALQUIER ACCIÓN JUDICIAL Y DISCIPLINARIA POR LA OSPE.

CLIENT
 MANAGER
 DEPT. OF URBAN DESIGN AND PROJECT DEVELOPMENT, MASJ.

OWNER
 AUTONOMOUS MUNICIPALITY OF SAN JUAN

PROJECT
 IMPROVEMENTS OF "PLAZA DE LA CONVALESCENCIA" AND "LA PLAZA DEL PILAR"

DRAWING NAME
 FOUNTAINS PUMPS AND ACCESSORIES DEMOLITION PLAN

COMPUTER PLOT
 THIS DRAWING WAS DRAFTED ON A CAD SYSTEM ALL CHANGES OR CORRECTIONS MUST BE STRICTLY ENCLOSED ON CAD. ANY QUESTIONS PLEASE CONTACT HERNANDEZ-BAUZA

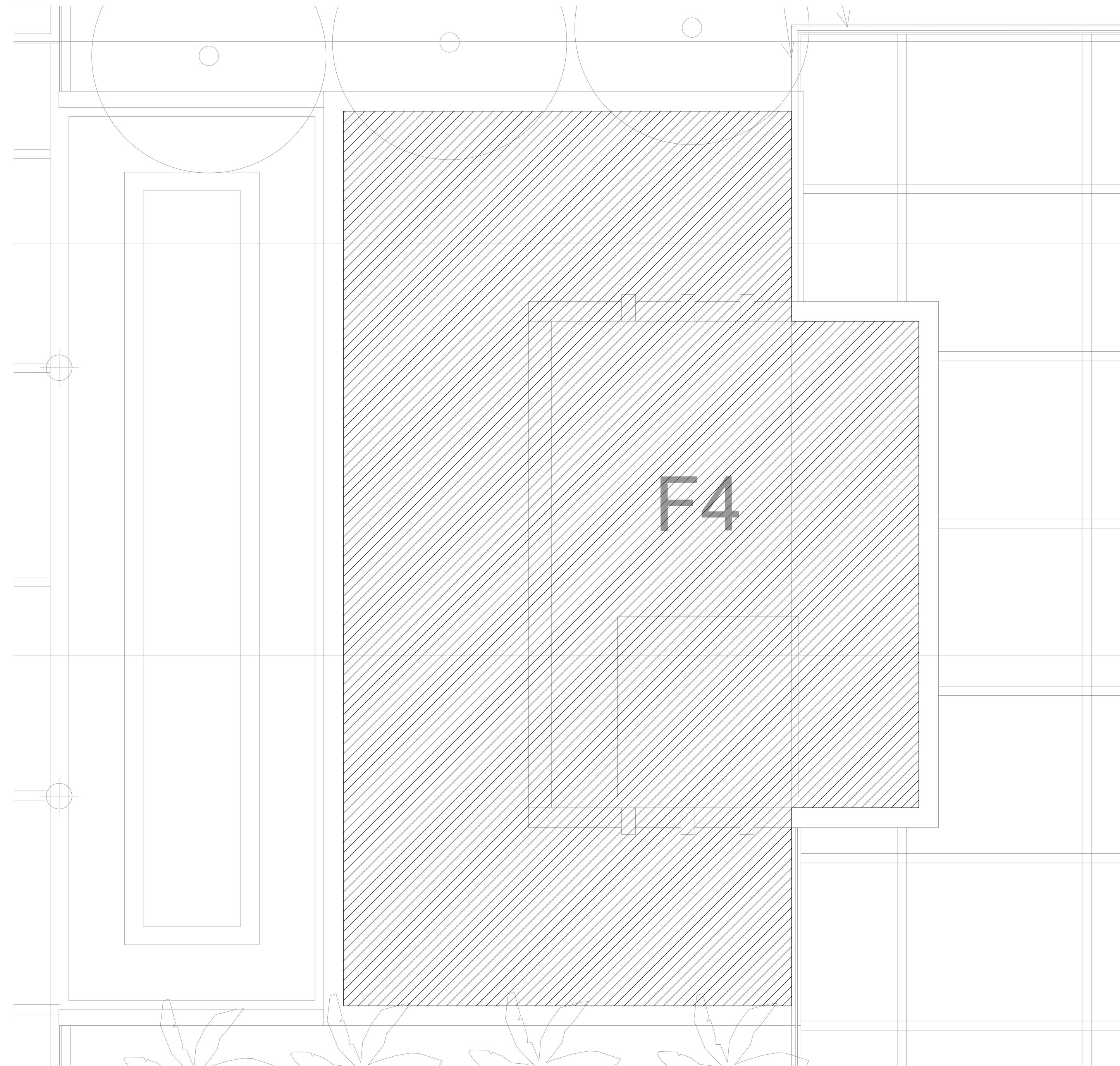
NO.	DATE	REVISION	BY	APPROVED

PROJECT

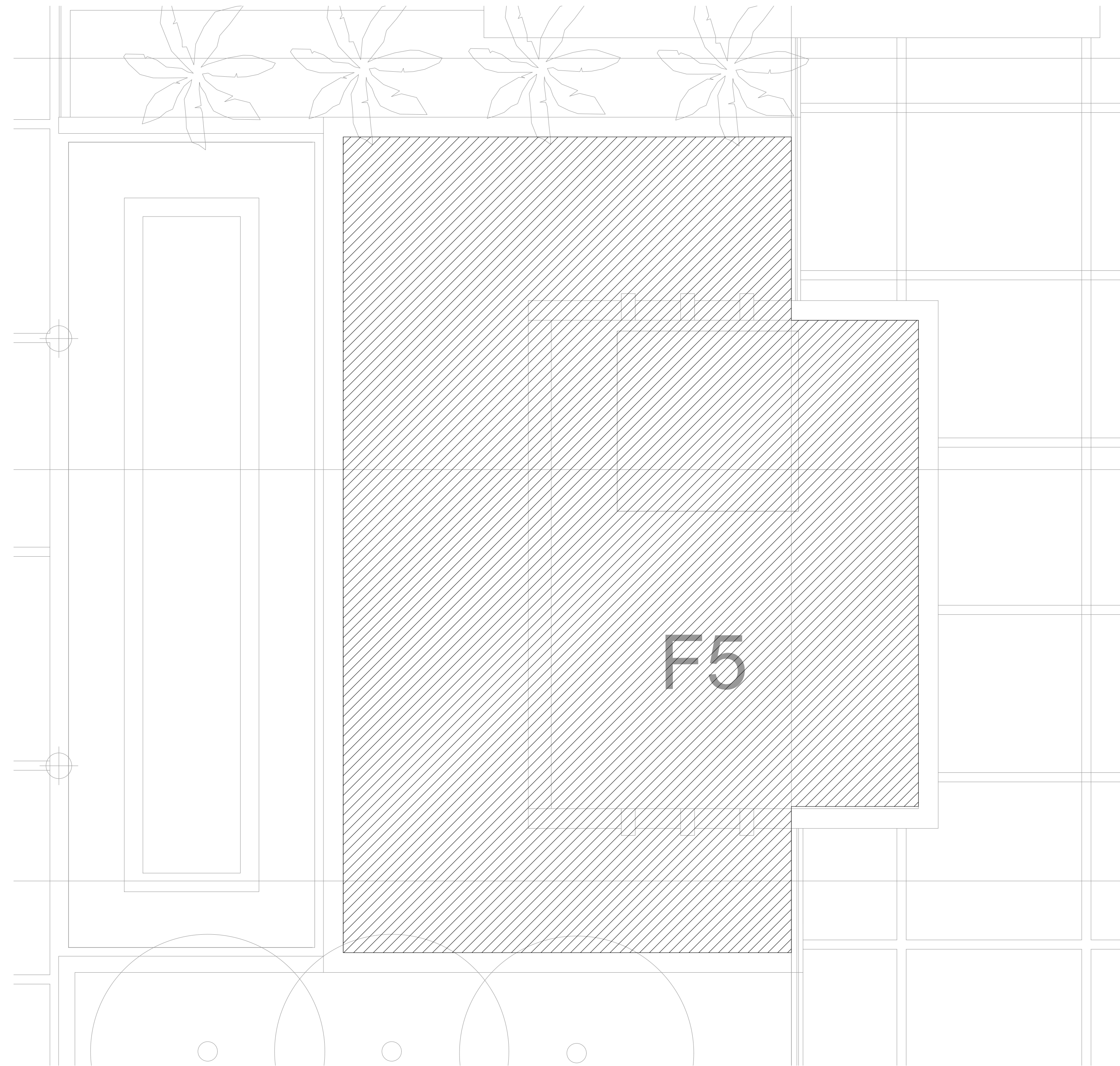
DRAWING BY/CHECKED BY
 ENERMECH L.T.Q.

NUMBER	TOTAL
51	62

DRAWING NUMBER
 DP-100



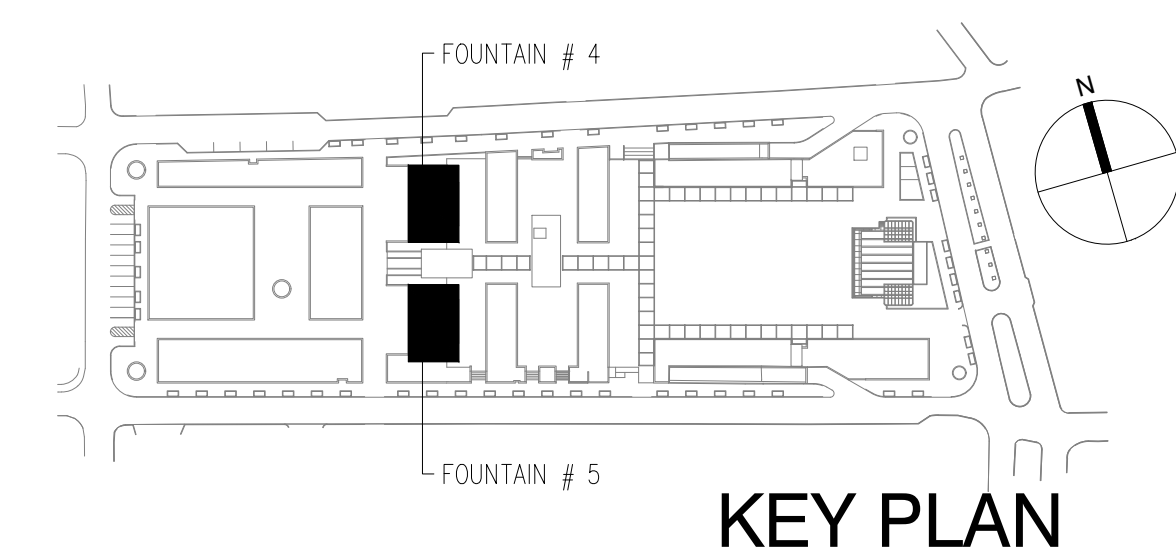
PROPOSED FOUNTAIN 4 EQUIPMENT DEMOLITION PLAN
SCALE: 3/16" = 1'-0"



PROPOSED FOUNTAIN 5 EQUIPMENT DEMOLITION PLAN
SCALE: 3/16" = 1'-0"

LEGEND:

////// EQUIPMENT AND ACCESSORIES TO BE DEMOLISHED. EQUIPMENT AT MECHANICAL ROOM (3RD LEVEL MULTI-LEVEL PARKING) SHALL BE REMOVED. ONLY ITEM TO BE USED FROM FOUNTAINS #4 & 5 IS THE POTABLE WATER PROVISIONS AT THESE (2) ROOMS, WHICH WILL BE CONNECTED AND EXTENDED TO THE NEW MECHANICAL VAULTS. REFER TO SHEET P-101 FOR POTABLE PROVISION.



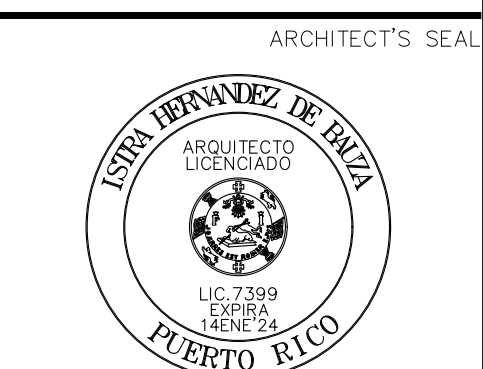
ISSUE FOR REVIEW AND COMMENTS 90%, 2024.02.26



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ARCHITECT'S SEAL
CONSULTANT'S SEAL

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FOUNTAINS PUMPS, PIPING AND ACCESSORIES DEMOLITION PLAN

COMPUTER PLOT
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NO.	DATE	REVISION	BY	APPROVED

PROJECT

DRAWING BY/CHECKED BY
ENERMECH L.T.O.

NUMBER	TOTAL
52	62

DRAWING NUMBER
DP-101

GENERAL PLUMBING NOTES:

- ALL PLUMBING WORK SHALL BE IN STRICT ACCORDANCE WITH THE DEPARTMENT OF HEALTH OF P.R., THE INTERNATIONAL PLUMBING CODE, PRASA-REGlamento DE NORMAS DE DISEÑO, ASHRAE STANDARD 90.1 – 2007, AND THE SPECIFICATIONS ISSUED FOR THIS PROJECT.
- FURNISH AND INSTALL COMPLETE AND PROPERLY OPERATING PLUMBING SYSTEMS AS INDICATED ON THE DRAWINGS AND SPECIFICATIONS PROVIDING SUBMITTALS, SHOP DRAWINGS, COORDINATION BETWEEN TRADES AND DISCIPLINES, "AS-BUILTS", TESTING AND TEST REPORTS.
- DRAWINGS AND SPECIFICATIONS, INCLUDING CALCULATIONS AND BUILDING STANDARDS, SHALL BE PART OF THIS WORK.
- SYMBOLS SHOWN ON PLUMBING LEGEND ARE NOT NECESSARILY USED ON THIS PROJECT.
- WORK MATERIALS SHOWN ON PLANS SHALL BE NEW UNLESS NOTED OTHERWISE, AND SHALL CONFORM TO THE CURRENT EDITION OF THE INTERNATIONAL PLUMBING CODE AND LOCAL APPLICABLE CODES AND REGULATIONS.
- BEFORE STARTING ANY WORK, CONTRACTOR SHALL EXAMINE THE COMPLETE SET OF DRAWINGS FOR ALL TRADES, INCLUDING ARCHITECTURAL, HEATING-VENTILATION-AIR CONDITIONING, AND ELECTRICAL. VERIFY DIMENSIONS, SPACE REQUIREMENTS, AND POINTS OF CONNECTION TO FIXTURES AND EQUIPMENT, AND MAKE ANY MINOR ADJUSTMENTS NECESSARY TO AVOID CONFLICTS WITH THE BUILDING STRUCTURE AND THE WORK OF OTHER TRADES.
- PLUMBING DRAWINGS AND LAYOUTS ARE DIAGRAMMATIC TO SHOW DESIGN INTENT AND FINISH CONDITIONS.
- SIZES SHOWN IN FIXTURE SCHEDULE ARE MINIMUM AND SHALL BE INCREASED AS NECESSARY TO COMPLY WITH CODES REQUIREMENTS OR AS SHOWN IN THE DRAWINGS.
- THESE DRAWINGS INDICATE THE FINISH REQUIREMENTS FOR THE PLUMBING SYSTEMS. DUE TO STRUCTURAL, MECHANICAL, DUCT OR PIPING INTERFERENCE, OR FOR OTHER REASONS, THE CONTRACTOR MAY DESIRE TO INSTALL THE WORK IN A MANNER DIFFERENT FROM THAT SHOWN. SUCH CHANGES SHALL BE PRESENTED TO THE CONSTRUCTION MANAGER FOR APPROVAL BEFORE PROCEEDING, AND THE RECORD DRAWINGS SHALL BE ACCURATELY REVISED TO SHOW THE CHANGES AS COMPLETED.
- IF ANY EQUIPMENT SUBMITTED BY THE CONTRACTOR IS DIFFERENT FROM THAT SPECIFIED, OR REQUIRES CHANGES IN MATERIAL OR LABOR FROM THAT REQUIRED IN THE CONTRACT DOCUMENTS AFFECTING THIS AND/OR OTHER TRADES, SUCH CHANGES SHALL BE SUBMITTED AS SHOP DRAWINGS. SUBMITTALS SHALL INDICATE CREDIT DUE TO OWNER. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR PAYMENT OF CHARGES RESULTING FROM ADDITIONS OR CHANGES IN THE WORK OF OTHER TRADES NECESSARY TO ACCOMMODATE THE REQUESTED MODIFICATION. CHANGES SHALL BE SHOWN ON RECORD AND AS-BUILT DRAWINGS.
- SEE ARCHITECTURAL DRAWINGS FOR EXTENT OF CONSTRUCTION, FOR EXACT PLUMBING FIXTURE LOCATIONS AND QUANTITIES INCLUDING OTHER PLUMBING EQUIPMENT, DEVICES, ETC.
- PROVIDE ACCESS PANELS IN WALLS FOR SHUT-OFF VALVE AND TRAP PRIMERS, OR LOCATE VALVES ABOVE ACCESSIBLE CEILINGS. REQUIRED SHUT-OFF AND CONTROL VALVES SHALL BE ACCESSIBLE.
- DOMESTIC WATER HEATERS SHALL BE DESIGNED, CERTIFIED, AND LISTED BY UNDERWRITERS LABORATORIES AND ASME TANK CONSTRUCTION.
- EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE EQUIPMENT MANUFACTURERS' RECOMMENDATIONS AND APPLICABLE CODES. PROVIDE FITTINGS, TRANSITIONS, VALVES AND OTHER DEVICES REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
- WATER FAUCETS AND SHOWER HEADS SHALL BE PROVIDED WITH CODE APPROVED FLOW RESTRICTIONS.
- KEEP PIPING CLEAR FROM LOAD BEARING FOOTINGS AS REQUIRED BY THE STRUCTURAL DRAWINGS.
- POTABLE WATER SYSTEMS SHALL BE DISINFECTED PRIOR TO USE.
- VENTS THROUGH ROOF SHALL BE MINIMUM OF THREE (3) FEET VERTICALLY AND TEN (10) FEET HORIZONTALLY FROM AIR CONDITIONING EQUIPMENT FRESH AIR INTAKES, WINDOWS, DOORS, OR OTHER OPENINGS.
- COORDINATE WITH ELECTRICAL DRAWINGS PRIOR TO ORDERING EQUIPMENT FOR AVAILABLE VOLTAGES AT EQUIPMENT LOCATION.
- COORDINATE CUTTING, DRILLING, PATCHING, AND REINFORCEMENT REQUIRED FOR PLUMBING WORK WITH THE GENERAL CONTRACTOR AND REQUIREMENTS OF THE STRUCTURAL DRAWINGS.
- PROVIDE PIPE SLEEVES FOR PIPING PASSING THROUGH A MASONRY, CONCRETE, STRUCTURAL WALL OR AS SHOWN ON PLANS. PROVIDE FIRE RATED CAULKING OF SAME RATING AS THE WALL. PENETRATIONS THROUGH FIRE RATED ASSEMBLIES SHALL BE IN ACCORDANCE WITH UL STANDARDS, OR OTHER STANDARDS ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION.
- PROVIDE AND INSTALL WATER HAMMER ARRESTERS WITH ACCESS PANELS OF REQUIRED SIZE AT QUICK CLOSING VALVES.
- CLEANOUTS SHALL BE ACCESSIBLE AND INSTALLED PER PLUMBING CODE.
- SLOPE OF BUILDING DRAINS AND WASTE SHALL BE AS FOLLOWS:

SIZE	MINIMUM SLOPE
2-1/2" OR LESS	1/4" PER FOOT
3" TO 6"	1/8" PER FOOT
8" OR LARGER	1/16" PER FOOT

- HOSE BIBBS AND MOP SINK FAUCETS SHALL BE EQUIPPED WITH APPROVED, PROPERLY INSTALLED ATMOSPHERIC TYPE NON-REMOVABLE VACUUM BREAKER.
- HANGING, SUPPORT AND SEISMIC BRACING OF PLUMBING PIPING SHALL COMPLY TO GUIDELINES FOR SEISMIC RESTRAINTS OF PLUMBING SYSTEMS PER SMACNA LATEST EDITION.
- SEE STRUCTURAL DRAWINGS FOR DETAILS ON ADDITIONAL STRUCTURAL ATTACHMENTS FOR PIPE SUPPORTS.

GENERAL PLUMBING NOTE (CONT.):

- FLOOR DRAINS AS SHOWN ON PLANS SHALL BE PROVIDED WITH CODE APPROVED ACCESSIBLE TRAP PRIMERS. CONCEALED TRAP PRIMER VALVES SHALL BE PROVIDED WITH ACCESS PANELS.
- REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS OF PENETRATIONS THROUGH ROOF.
- PLUMBING PIPING SYSTEMS SHALL BE TESTED IN ACCORDANCE WITH THE PROVISIONS OF THE PLUMBING CODE.
- NO PIPING, DUCTS, LEAK PROTECTION APPARATUS, OR OTHER FOREIGN EQUIPMENT ARE ALLOWED INSIDE THE ELECTRICAL ROOM AND OVER THE ELECTRICAL EQUIPMENT PER NEC SECTION 110.26.F.1.
- REFER TO ARCHITECTURAL DRAWINGS FOR FIRE RATED WALL LOCATIONS.
- COORDINATE WITH STRUCTURAL FOUNDATION ALL UNDERGROUND PIPING FOR CLEARANCE PRIOR TO EXCAVATION AND INSTALLATION.
- THE PLUMBING CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF EXISTING WATER SERVICE PIPE AND CONNECT TO IT WITH THE PROPER SIZE AS SHOWN IN THE DRAWING.
- LONG SWEEP BENDS OR LONG SWEEP FITTINGS SHALL BE PROVIDED AT THE BASE OF ALL STACKS.
- SINGLE AND DOUBLE SANITARY TEES AND QUARTER BENDS SHALL BE USED IN DRAINAGE LINES ONLY WHERE THE DIRECTION OF FLOW IS FROM THE HORIZONTAL TO THE VERTICAL.
- CLEANOUTS SHALL BE OF THE SAME NOMINAL SIZE AS PIPES UP TO 4" DIAM. NOT LESS THAN 4" FOR LARGER PIPES.
- THE CONTRACTOR SHALL FURNISH AND SET IN PLACE BEFORE CONCRETE POURING, ALL NECESSARY SLEEVES FOR WASTE OR SOIL, AND COLD WATER LINES. THESE SLEEVES SHALL BE AS SPECIFIED.
- THESE NOTES AS WELL AS THE LEGEND AND DETAILS APPLY TO ALL PLUMBING WORK FOR THE PROJECT.
- ALL WATER DISTRIBUTION AND SERVICE PIPE SHALL CONFORM TO AWWA C904, ANS/NF 14 & 61, PPI TR 4, AND SHALL BE PEX ULTRA CROSS-LINKED POLYETHYLENE SDR 9 CTS (COPPER TUBE SIZE) CONFORMING WITH THE FOLLOWING STANDARDS: NSF-PW, ANS/NF-61, AWWA C904, ANS/NF 14, ASTM F877, AND ANS/UL 263.
- ALL WATER SERVICE PIPE INSTALLED UNDERGROUND AND OUTSIDE OF THE STRUCTURE SHALL HAVE A MINIMUM WORKING PRESSURE RATING OF 160 PSI AT 73.4°F, WHERE THE WATER PRESSURE EXCEEDS 160 PSI. PIPING MATERIAL SHALL HAVE A MINIMUM RATED WORKING PRESSURE EQUAL TO THE HIGHEST AVAILABLE PRESSURE.
- ALL HOT WATER DISTRIBUTION PIPE SHALL HAVE A MINIMUM PRESSURE RATING OF 100 PSI AT 180°F.
- ALL DWV PIPING SHALL BE PVC (POLYVINYL CHLORIDE) CONFORMING WITH THE FOLLOWING STANDARDS: ASTM D 2665; ASTM F 891; ASTM F 1488; CSA B181.2; ASTM D 3034; CSA B182.2; CSA B182.4; SOLVENT CEMENTING SHALL CONFORM TO ASTM D 2235.
- ALL FITTINGS FOR SANITARY, WASTE, STORM AND DRAIN LINES SHALL BE SPIGOT END.
- THE CONTRACTOR SHALL PROVIDE PROTECTION FOR THE SURFACES OF ALL PLUMBING FIXTURES FROM DAMAGE BEFORE, DURING AND AFTER THEIR INSTALLATION AND UNTIL WORK IS COMPLETED AND ACCEPTED. CONTRACTOR AND SUBCONTRACTOR SHALL NOT USE PLUMBING FIXTURES FOR THE STORAGE OF TOOLS OR MATERIALS, DURING THE PERIOD OF CONSTRUCTION TO AVOID DAMAGE TO FIXTURES AND FITTINGS.
- SPECIAL ATTENTION IS CALLED TO THE INTERPRETATION OF THE CODE'S REQUIREMENTS DESCRIBED AND ILLUSTRATED IN THE INTERNATIONAL PLUMBING CODE HANDBOOK MADE PART OF THE REQUIREMENTS OF THIS CONTRACT.
- CONTRACTOR SHALL VERIFY IN THE FIELD ALL INVERT AND GRADE ELEVATIONS AND MAKE ANY NECESSARY ADJUSTMENTS AS REQUIRED BY THE FIELD CONDITIONS, AND REQUIRED TO OBTAIN THE PROPER SLOPE.
- THE CONTRACTOR MUST INSPECT PROJECT SITE AND MUST COORDINATE HIS WORK WITH THAT OF OTHER TRADES PRIOR TO SUBMITTING HIS PROPOSAL FOR THIS WORK. AFTER CONTRACT IS AWARDED, NO EXTRAS WILL BE ALLOWED FOR LACK OF COORDINATION, UNLESS PROJECT SITE CONDITIONS SUFFER DRASTIC CHANGES.
- ALL PIPING WELDS/SOLDER SHALL BE OF PHOSPHORUS FREE TYPE.
- CONTRACTOR SHALL INCORPORATE 90° DEGREES OFFSET TO PIPE RUNS LONGER THAN 15', AT 10' INTERVALS, MINIMUM OFFSET OF 1'-0".
- CONTRACTOR SHALL INCLUDE APPROPRIATE TRAPS AS PER CODE REQUIREMENTS; NO EQUIPMENTS SHALL BE INSTALLED WITHOUT TRAPS (EXCEPT WASHING MACHINE).
- THE CONTRACTOR SHALL PROVIDE SLEEVES AT SLABS OR BEAMS FOR PIPING LAYOUT AND FIXTURES INSTALLATION.
- START OF WORK BY CONTRACTOR SHALL BE CONSIDERED AS ACCEPTANCE BY HIM OF ALL CLAIMS OR QUESTIONS AS TO SUITABILITY OF THE WORK OF OTHER TRADES OR CONTRACTORS TO RECEIVE HIS WORK. THIS CONTRACTOR SHALL REMOVE AND REPLACE, AT HIS EXPENSE, ALL PLUMBING WORK WHICH MAY HAVE TO BE REMOVED BECAUSE OF INTERFERENCE WITH OTHER TRADES.
- DOMESTIC AND SERVICE HOT-WATER SYSTEM INSULATION SHALL BE FURNISHED AS FOLLOWS:

MINIMUM PIPE INSULATION THICKNESS (IN.)		
OPERATING TEMPERATURE (°F)	INSULATION CONDUCTIVITY	
	CONDUCTIVITY BTU·IN/(H·FT²·°F)	MEAN RATING TEMP(°F)
105+	0.22 – 0.28	100

NOMINAL PIPE SIZE (IN.)			
< 1	1 TO < 1-1/2	1-1/2 TO < 4	4 TO < 8
0.5	0.5	1.0	1.0

GENERAL PLUMBING NOTE (CONT.):

- ROUGHING-IN FOR TOILET FIXTURES, WHEN IN CONCRETE SLAB, SHALL INCORPORATE A LEGITIMATE CLOSET BEND FITTING. CONTRACTOR SHALL ALWAYS INSTALL LONG RADIUS ELBOWS AND BOSTON TEES AT ANY CHANGE OF DIRECTION OF SEWER PIPE. SHORT RADIUS ELBOWS SHALL NOT BE ALLOWED.
- ALL PIPING SHALL BE CONCEALED IN FLOOR TOPPING, WALLS OR CHASES UNLESS OTHERWISE NOTED.
- ALL PROJECT SHOWER AND TUB-SHOWER COMBINATION VALVES SHALL BE BALANCED WITH PRESSURE VALVES THAT CONFORM TO THE REQUIREMENTS OF ASSE 1016 OR CSA CAN/CSA-8125. VALVES SHALL BE EQUIPPED WITH MEANS TO LIMIT THE MAXIMUM SETTING OF THE VALVE TO 120 °F(49 °C), WHICH SHALL BE FIELD ADJUSTED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- CONTRACTOR SHALL PERFORM PLUMBING RELATED INSTALLATIONS UNDER THE DIRECT SUPERVISION OF A "MASTER PLUMBER" AS A MEASURE TO GUARANTEE COMPLIANCE WITH APPLICABLE CODES AND INSTALLATION STANDARDS.
- CONTRACTOR SHALL SEEK THE CERTIFICATION OF A "MASTER PLUMBER" AS PER LAW # 38 OF FEBRUARY 2002. THIS CERTIFICATION SHALL ASCERTAIN THE INSTALLATION OF ALL PLUMBING FOR THE PROJECT.
- FOR AIR CONDITIONING WATER CONDENSATE LINES INSULATION SPECIFICATIONS SEE DRAWING M000.

NOTES ON PLUMBING CODES REQUIREMENTS:

- CONTRACTOR SHALL PERFORM PLUMBING WORK UNDER THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE (IPC), FROM NOW ON REFERENCED AS "THE CODES" IN THE FOLLOWING STATEMENTS. THESE SHALL BE CONSIDERED THE "STANDARD PLUMBING PRACTICE" FOR THE WORK TO BE PERFORMED. PROVISIONS OF THE CODES, STANDARDS & REQUIREMENTS SHALL APPLY TO THE ERECTION, INSTALLATION, ADDITION TO, USE OR MAINTENANCE OF PLUMBING SYSTEMS WITHIN THIS PROJECT, EVEN WHEN NOT SPECIFICALLY CALLED FOR IN THE DRAWINGS. APPLICABILITY OF THE CODES SHALL GOVERN THE INSTALLATION OF ALL PLUMBING SYSTEMS UNDER THIS CONTRACT. DEFINITIONS SHALL BE AS PER THE CODES. MANDATORY REFERENCED STANDARDS OF THE CODES AS WELL AS THEIR APPENDICES SHALL BE BINDING (INTERNATIONAL FUEL GAS CODE, INTERNATIONAL PLUMBING CODE, STANDARDS OF THE INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL ENGINEERS, et. al.).
- THE DESIGN, DOCUMENTATION, INSPECTION AND APPROVAL OF CHANGES TO THE ENGINEERED DESIGN PLUMBING SYSTEMS SHALL COMPLY WITH THE PROVISIONS OF THE CODES. DESIGN CRITERIA SHALL BE SUBMITTED WITH ALL TECHNICAL DATA, AND CERTIFIED BY A DESIGN PROFESSIONAL.
- GENERAL REGULATIONS OF THE CODES SHALL INCLUDE, BUT NOT BE LIMITED TO: MATERIALS, ROCKET-PROOFING, PROTECTION OF PIPES AND PLUMBING SYSTEM COMPONENTS, TRENCHING, EXCAVATION AND BACKFILL, STRUCTURAL SAFETY, PIPING SUPPORTS, FLOODPROOFING, WASHROOM AND TOILET ROOM REQUIREMENTS, TOILET FACILITIES FOR WORKERS, TESTS, INSPECTIONS, EQUIPMENT EFFICIENCIES AND CONDENSATE DISPOSAL.
- CONTRACTOR SHALL PERFORM INSTALLATION OF PLUMBING FIXTURES AND FITTINGS FOLLOWING THE RECOMMENDATIONS AND REQUIREMENTS OF THE CODES FOR: FIXTURE MATERIALS, MINIMUM PLUMBING FACILITIES, BATHROOMS, BODES, DISHWASHING MACHINES, DRINKING FOUNTAINS, EMERGENCY SHOWERS, EYEWASH STATIONS, FLOOR DRAINS, FOOD WASTE GRINDERS UNITS, GARBAGE CAN WASHERS, URINAL TRAYS, LAVATORIES, SHOWERS, SINKS, URINALS, WATER CLOSETS, WHIRLPOOL BATHTUBS, HEALTH CARE FIXTURES AND EQUIPMENT, FAUCETS AND OTHER FIXTURE FITTINGS, FLUSHING DEVICES FOR WATER CLOSETS AND URINALS, MANUAL FOOD AND BEVERAGE DISPENSING EQUIPMENT.
- CONTRACTOR SHALL PERFORM THE INSTALLATION OF WATER HEATERS AS PER THE CODES, ACCOUNTING FOR, BUT NOT LIMITED TO, REQUIREMENTS ON CONNECTIONS, SAFETY DEVICES, INSULATION AND DRAINAGE.
- CONTRACTOR SHALL INSTALL WATER SUPPLY AND DISTRIBUTION FOLLOWING THE REQUIREMENTS OF THE CODES INCLUDING BUT NOT LIMITED TO: WATER REQUIREMENTS & SERVICE, BUILDING WATER DISTRIBUTION, MATERIALS, JOINTS AND CONNECTIONS, HOT WATER SUPPLY SYSTEM, PROTECTION OF POTABLE WATER SUPPLY, HEALTH CARE PLUMBING, DISINFECTION OF POTABLE WATER SYSTEM, DRINKING WATER TREATMENT UNITS, AND SOLAR SYSTEMS.
- CONTRACTOR SHALL INSTALL SANITARY DRAINAGE SYSTEM FOLLOWING THE REQUIREMENTS OF THE CODES INCLUDING, BUT NOT LIMITED TO: MATERIALS, BUILDING SEWER, DRAINAGE PIPING INSTALLATION, JOINTS, CONNECTIONS BETWEEN DRAINAGE PIPING AND FITTINGS, PROHIBITED JOINTS AND CONNECTIONS, CLEANOUTS, FIXTURE UNITS, DRAINAGE SYSTEM SIZING, SLOPES, OFFSETS IN DRAINAGE PIPING IN BUILDINGS, SUMPS AND EJECTORS, HEALTH CARE PLUMBING, AND BACKWATER VALVES.
- CONTRACTOR SHALL INSTALL INDIRECT/SPECIAL WASTE SYSTEMS FOLLOWING THE REQUIREMENTS OF THE CODES INCLUDING, BUT NOT LIMITED TO: INDIRECT WASTES, SPECIAL WASTES, MATERIALS, JOINTS, SLOPES AND CONNECTIONS.
- CONTRACTOR SHALL FIELD VERIFY, COORDINATE AND INSTALL VENTS FOLLOWING THE REQUIREMENTS OF THE CODES INCLUDING, BUT NOT LIMITED TO: MATERIALS, VENT STACKS AND STACK VENTS, VENT TERMINALS, VENT CONNECTIONS AND GRAPES, FIXTURE VENTS, INDIVIDUAL VENTS, COMMON VENTS, WET VENTING, WASTE STACK VENT, CIRCUIT VENTING, COMBINATIONS DRAIN AND VENT SYSTEM, ISLAND FIXTURE VENTING, RELIEF VENTS, VENTS FOR STACK OFFSETS, VENT PIPE SIZING, AND AIR ADMITTANCE VALVES.
- CONTRACTOR SHALL INSTALL INTERCEPTORS AND SEPARATORS FOLLOWING THE REQUIREMENTS OF THE CODES, ACCOUNTING FOR TRAP REQUIREMENTS, MATERIALS, JOINTS AND CONNECTIONS.
- CONTRACTOR SHALL INSTALL STORM DRAINAGE SYSTEM FOLLOWING THE STANDARDS & REQUIREMENTS OF THE CODES INCLUDING, BUT NOT LIMITED TO: MATERIALS, TRAPS, CONDUCTORS, AND CONNECTIONS, ROOF DRAINS, SIZE OF CONDUCTORS, LEADERS AND STORM DRAINS, SECONDARY (EMERGENCY) ROOF DRAINS, VALVES FOR CONTINUOUS FLOW, SUMPS, AND PUMPING SYSTEMS.
- CONTRACTOR SHALL INSTALL AND PROTECT DWV AND STORMWATER PIPES WITH FIRESTOP PROTECTION, AS PER STANDARDS & REQUIREMENTS OF THE CODES.

PLUMBING LEGEND:

- C.W. COLD WATER PIPING – NEW
- C.W. COLD WATER PIPING – EXISTING
- H.W. HOT WATER PIPING – NEW
- H.W. HOT WATER PIPING – EXISTING
- H.W.R. HOT WATER PIPING RETURN – NEW
- H.W.R. HOT WATER PIPING RETURN – EXISTING
- STORM PIPING – NEW
- STORM PIPING – EXISTING
- VENT PIPING – NEW
- VENT PIPING – EXISTING
- WASTE OR SOIL PIPING – NEW (UNDERGROUND OR UNDER SLAB)
- WASTE OR SOIL PIPING – EXISTING (UNDERGROUND OR UNDER SLAB)
- WASTE OR SOIL PIPING – NEW (EXPOSED OR OVER SLAB)
- WASTE OR SOIL PIPING – EXISTING (EXPOSED OR OVER SLAB)
- CAP
- C.O.P. CLEANOUT PLUG
- F.C.O. FLOOR CLEANOUT
- F.D. FLOOR DRAIN
- G.C.O. GROUND CLEANOUT
- H.B. HOSE BIBB
- ISOLATION VALVE
- PIPE DOWN
- P-TRAP
- PIPE INSULATION
- PIPE UP
- TIE-IN POINT CONNECTION (CONNECT NEW TO EXISTING)
- W.C.O. WALL CLEANOUT
- WATER HAMMER ARRESTOR
- W.F.P. WATER FOUNTAIN PUMP
- W.F.S. WATER FILTER AND CHLORINATION SYSTEM
- DN. DOWN
- E.F. EXHAUST FAN
- R.L. RAIN LEADER
- S.S. SOIL STACK
- S.V. STACK VENT
- TYP. TYPICAL
- U.G. UNDERGROUND
- V.S. VENT STACK
- V. VENT SYSTEM
- V.T.R. VENTILATION THROUGH ROOF
- W.S. WASTE STACK

GENERAL PLUMBING NOTES AND LEGEND
NOT TO SCALE

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IMPROVEMENTS OF "PLAZA DE LA CONVALESCENCIA" AND "LA PLAZA DEL PILAR"

DRAWING NAME
GENERAL PLUMBING NOTES AND LEGEND

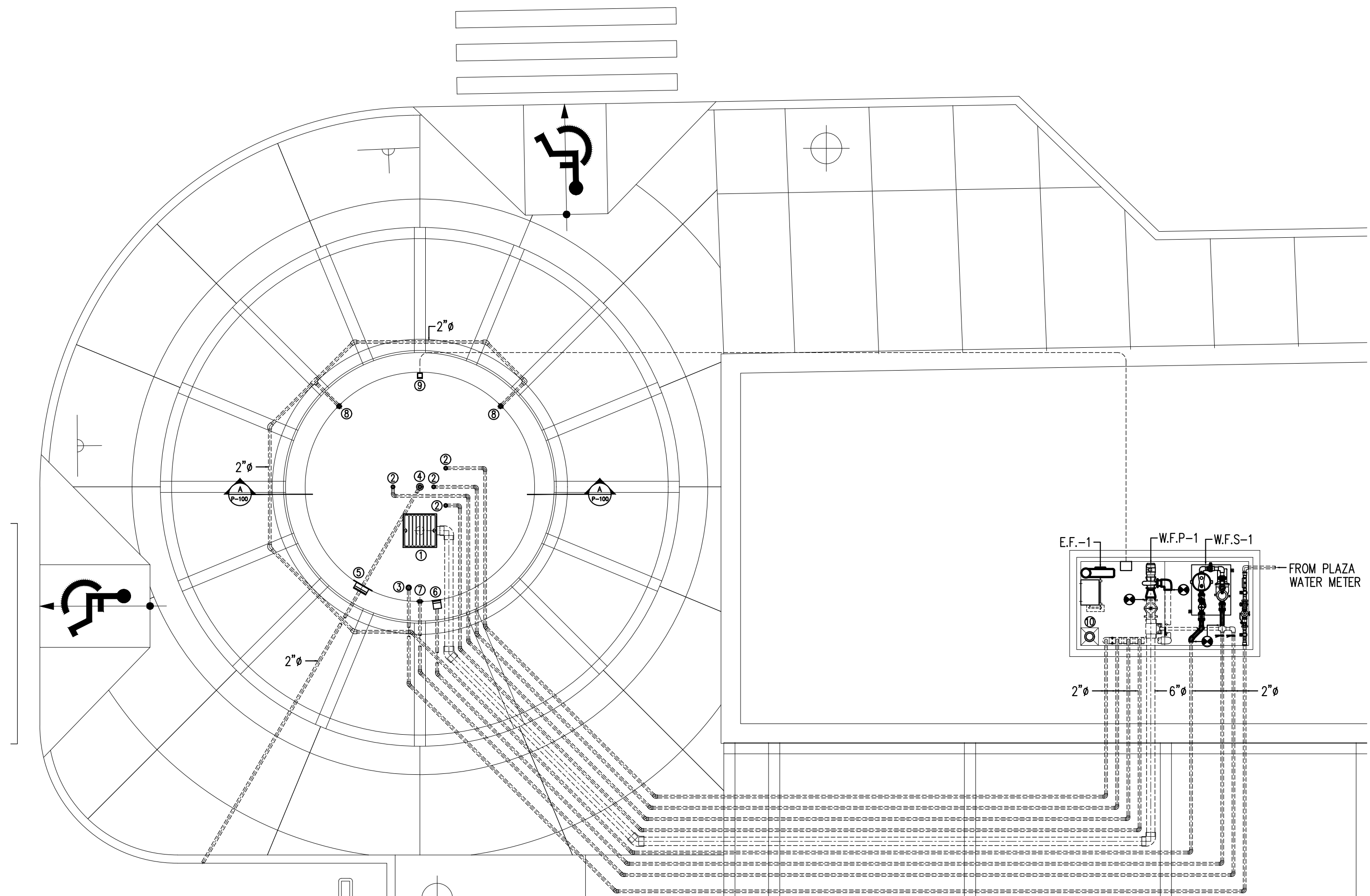
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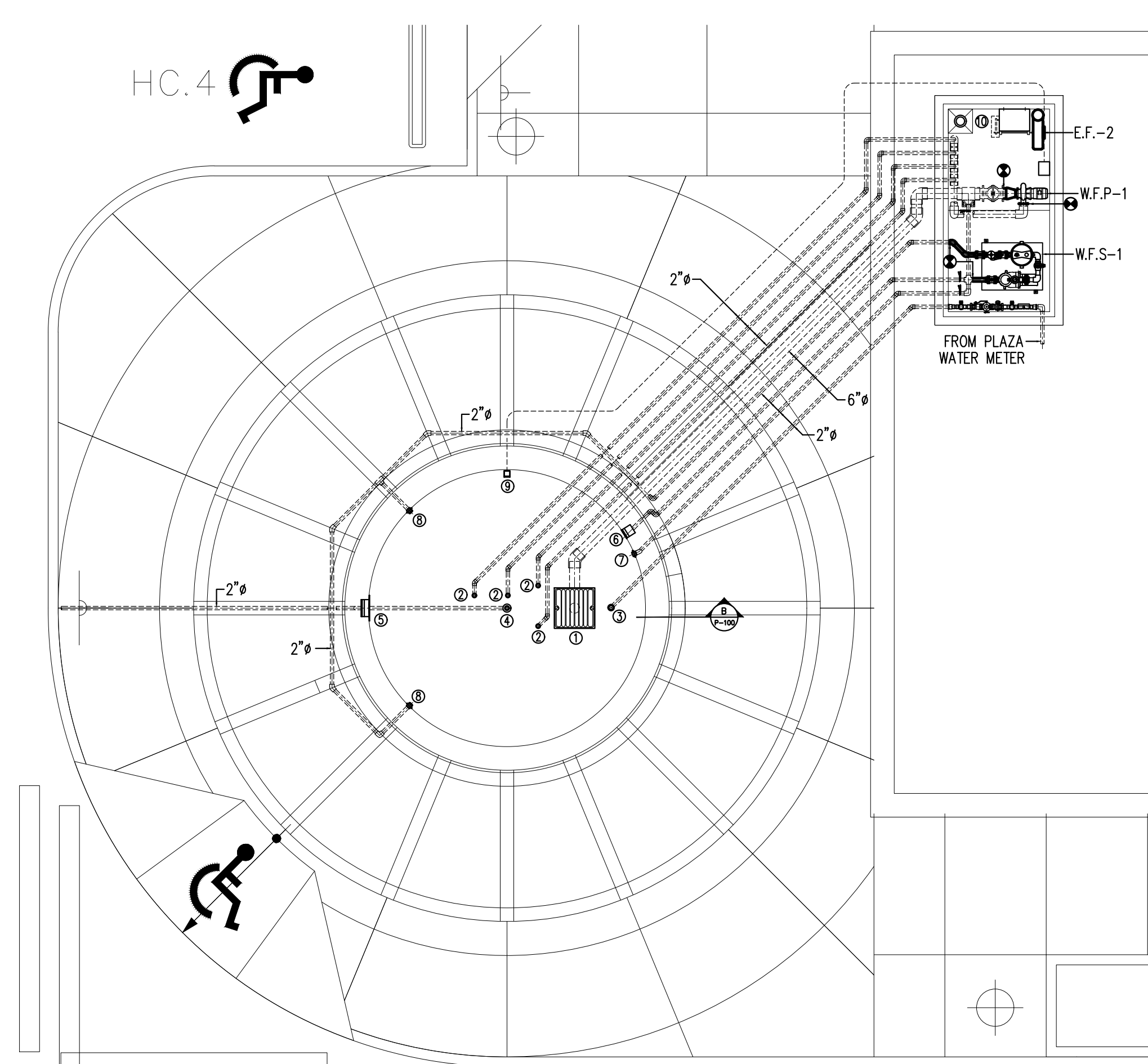
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NUMBER	TOTAL
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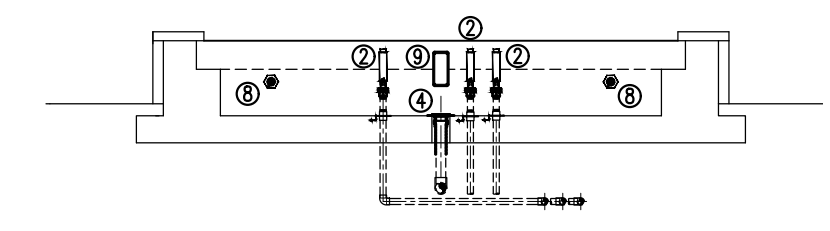
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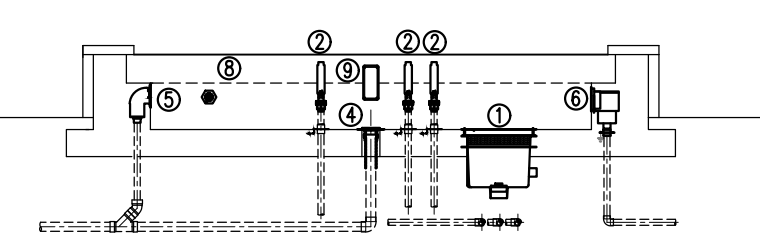
PROPOSED FOUNTAIN 1 PUMPING AND FILTRATION PIPING LAYOUT
SCALE: 3/16" = 1'-0"



PROPOSED FOUNTAIN 2 PUMPING AND FILTRATION PIPING LAYOUT
SCALE: 3/16" = 1'-0"



FOUNTAIN 1 SECTION A
SCALE: 3/16" = 1'-0"



FOUNTAIN 2 SECTION B
SCALE: 3/16" = 1'-0"

LEGEND:
--- REUSED PIPING IF AND ONLY IF THEY PASS THE PRESSURE TEST.

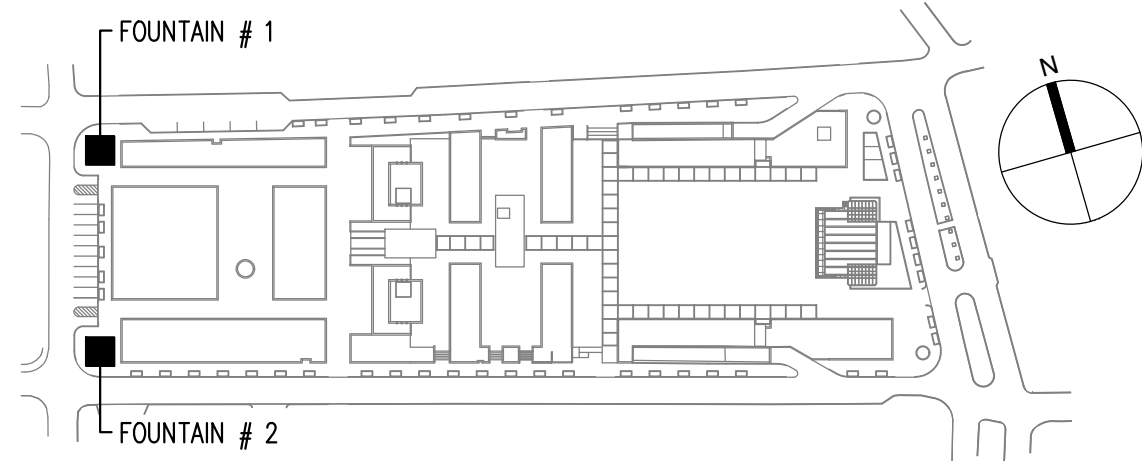
FOUNTAIN ACCESSORIES

IMPORTANT NOTE: ALL FOUNTAIN ACCESSORIES SHALL BE REPLACED WITH THE BELOW SPECIFIED OR APPROVE EQUAL.

TAG	DESCRIPTION	MODEL / MANUFACTURER / QTY. PER FOUNTAIN OR WATER FEATURE
①	24" SQ. FIBERGLASS ANTI-VORTEX SUMPS WITH WATERSTOP FLANGE, BRASS COVER AND 6" OUTLET	RAVS-2400-CC / ROMAN FOUNTAIN / 1
②	1 1/2" FROTHY NOZZLES WITH ADAPTER, SWIVEL BALL VALVE COUPLING, MIPLLE AND 2" WATERSTOP COUPLING FOR FOAMY AERATED SPRAY COLUMNS, CENTER NOZZLE TO 6 FT. HIGH AND 3 SIDE JETS TO 4" FT. HIGH	RFN-150 / ROMAN FOUNTAIN / 4
③	FLOOR INLET DIVERTER FITTING WITH 1 1/2" BRONZE WATERSTOP COUPLING FOR FILL WATER.	RIF-150 A / ROMAN FOUNTAIN / 1
④	BRONZE WATERSTOP COUPLING FLOOR DRAIN WITH 3" THR. PLUG.	RFD-300 / ROMAN FOUNTAIN / 1
⑤	BRONZE SIDEWALL OVERFLOW FITTINGS WITH 2" OUTLET & STRAINER	ROVS-200 W / ROMAN FOUNTAIN / 1
⑥	SKIMMER WITH BRONZE FACEPLATE	RPS-150-FA / ROMAN FOUNTAIN / 1
⑦	VACUUM FITTING WITH 2" BRONZE WATERSTOP COUPLING	RVF-150-WS / ROMAN FOUNTAIN / 1
⑧	EYEBALL INLET FITTING WITH 1 1/2" WATERSTOP COUPLING	REF-150-WS / ROMAN FOUNTAIN / 2
⑨	AUTO-FILL/ LOW WATER CUTOFF DECK MOUNT WATER LEVEL SENSOR, CIRCUIT BOARD AND CONTROL PANEL (120 VAC/60 Hz @ 4.4 VA, PROBE: 24 VAC) 3/4" SOLENOID VALVED AT MANIFOLDS SHALL BE REPLACED)	RCOM-WNA / ROMAN FOUNTAIN / 1 & RCOM-PNL3
⑩	SUMP PUMP MODEL SP33VF, 1-1/2" DISCHARGE, VERTICAL FLOAT PVC, SNAP ACTION, 10 FT. CORD, 1/3 HP, HIGH ALARM AND SENSOR, 3450 RPM, 60 Hz, 120 V/ 1 Ph / 60 Hz, F.L.A. 5.8 A, MANUFACTURED BY BARNES / CRANE PUMPS.	SP33VF / BARNES / 1
W.F.S.-#	WATER FILTER SYSTEM, SKID MOUNTED PUMP/CARTRIDGE FILTER W/CHEMICAL FEEDER EQUIPMENT (CHLORINATION), 1/2 HP, 120 V/1 Ph/ 60 Hz, MOTOR CONTROL PANEL (H-O-A, FILTER, LIGHTS, WATER VALVES)	RSM-1-RWSP-050 / ROMAN FOUNTAIN / 1
W.F.P.-#	WATER FEATURE PUMP, FOR SPECIFICATIONS SEE SHEET P-500.	-- / -- / --

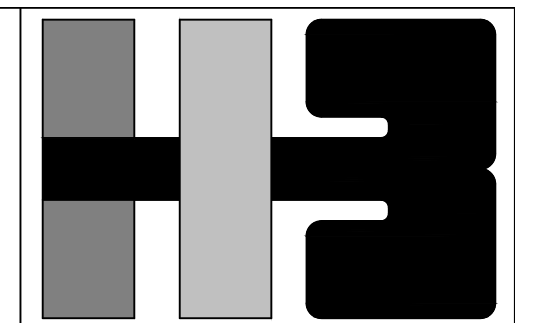
IMPORTANT NOTES:

- EXISTING MECHANICAL VAULTS SHALL BE PROPERLY PRESSURE CLEANED AND WALLS AND FLOOR SEALED WITH PRODUCT WATER SEALER TS-200 BY LANCO OR APPROVED EQUAL.
- MAKE-UP WATER MANIFOLD SHALL BE RE-CONDITIONED AND EQUIPPED WITH A BACK-FLOW PREVENTER.
- WATER FEATURE AND FILTRATION PUMP SYSTEMS SHALL BE RAISED AT LEAST 3 INCHES ABOVE FINISHED FLOOR.
- ONLY EXISTING PIPING THAT HAVE PASSED THE PRESSURE TEST SHALL REMAIN. (75 PSI FOR 12 HRS.)
- NEW SUMP PUMPS SHALL DISCHARGE TO EXISTING POINT OF DISCHARGE.
- ALL FOUNTAINS 1 & 2 ACCESSORIES ARE NEW AND IF THE EXISTING PIPING PASSES THE PRESSURE TEST, IT SHALL REMAIN. IN THIS CASE, ALL NEW FOUNTAINS ACCESSORIES SHALL BE RECONNECTED TO THE EXISTING PIPING (EVEN IF NO TIE-POINT SYMBOLS ARE SHOWN ON THE DRAWING).
- NEW EXHAUST FANS (E.F.-1 & 2) SHALL BE CONNECTED TO EXISTING 6" PVC EXHAUST GOOSENECKS USING A RUBBER COUPLING. INTAKE 6" PVC GOOSENECKS SHALL BE RE-CONDITIONED. BOTH INTAKE AND EXHAUST GOOSENECK SHALL BE FITTED WITH RODENT SCREENS TO PREVENT THE INCURSION OF RODENTS.



KEY PLAN

ISSUE FOR REVIEW AND COMMENTS 90%, 2024.02.26



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PROJECT
IMPROVEMENTS OF "PLAZA DE LA CONVALESCENCIA" AND "LA PLAZA DEL PILAR"

DRAWING NAME
NEW FOUNTAINS PUMPING FILTRATION SYSTEM AND ACCESSORIES LAYOUT

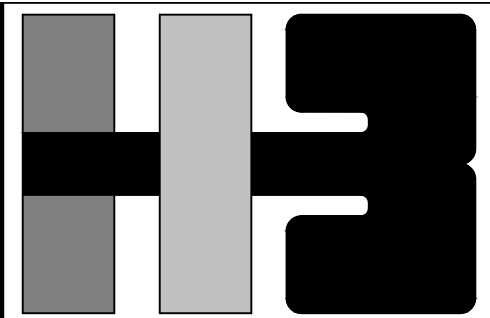
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CONSULTANT'S SEAL

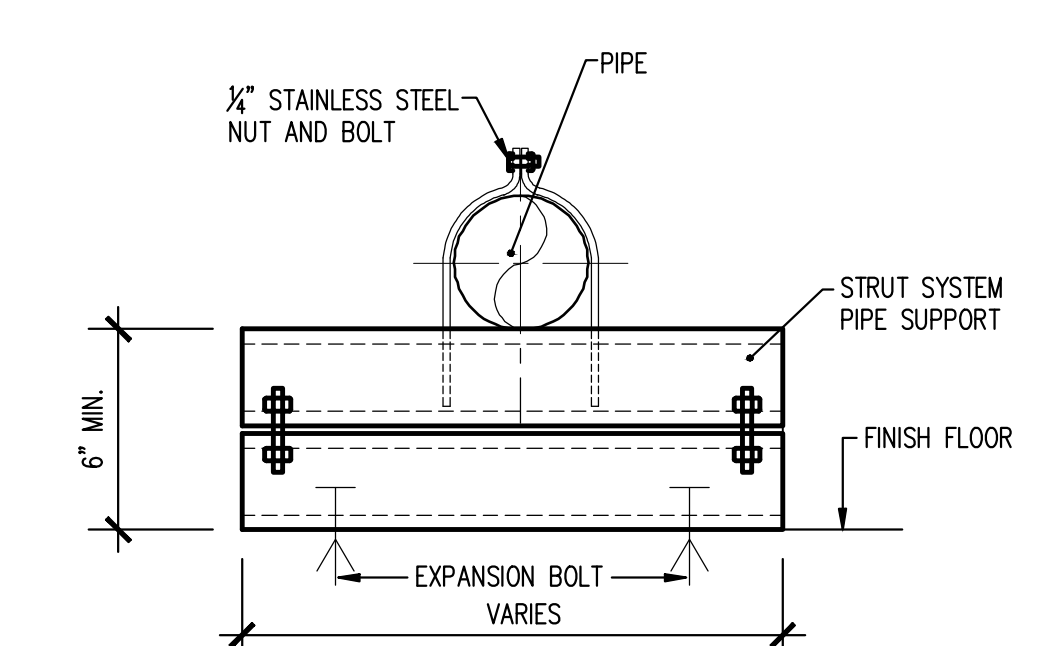
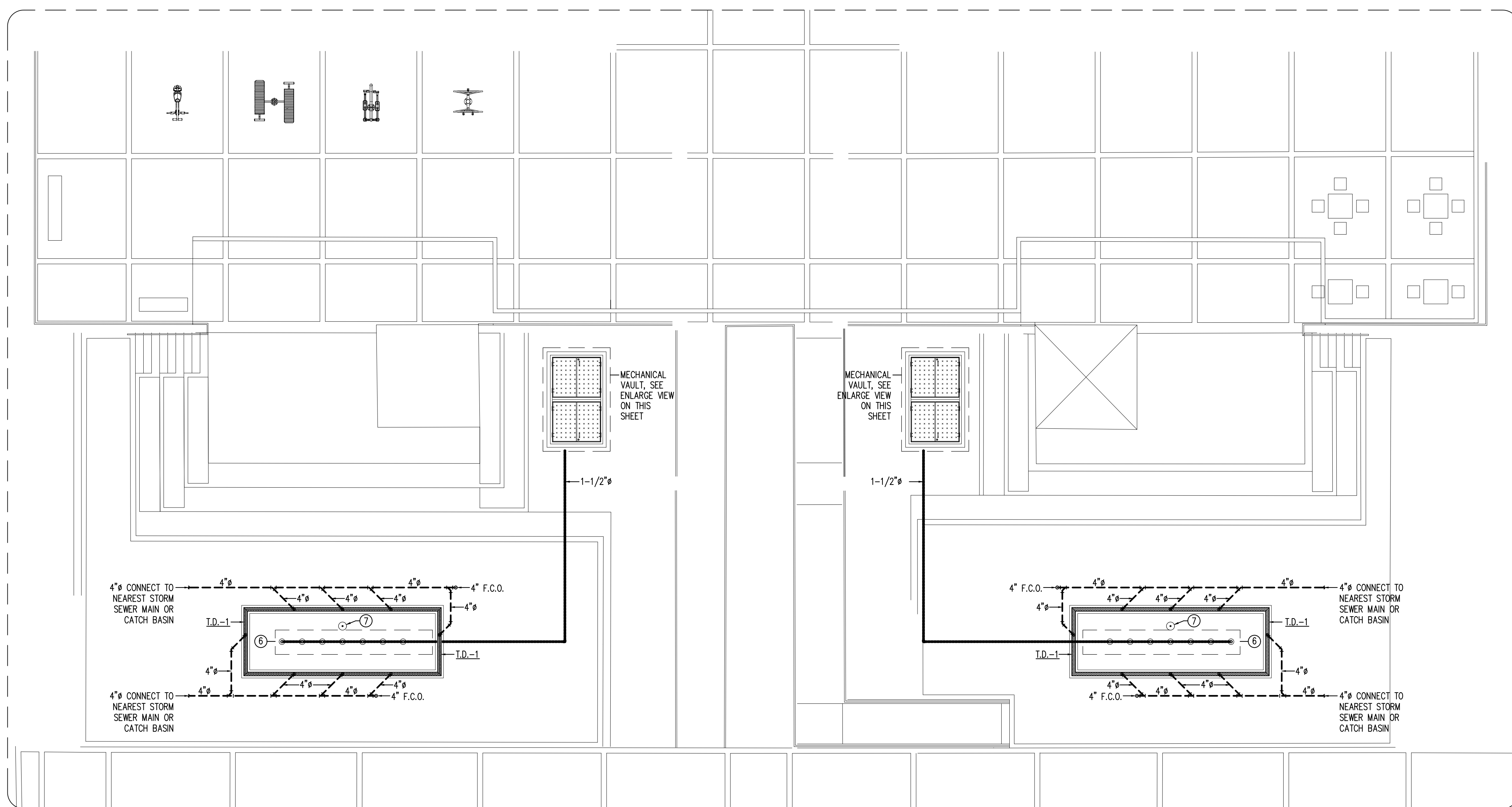
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IMPROVEMENTS OF "PLAZA DE LA CONVALESCENCIA" AND "LA PLAZA DEL PILAR"
DRAWING NAME
PROPOSED WATER FEATURES AND MECHANICAL VAULTS LAYOUT
COMPUTER PLOT
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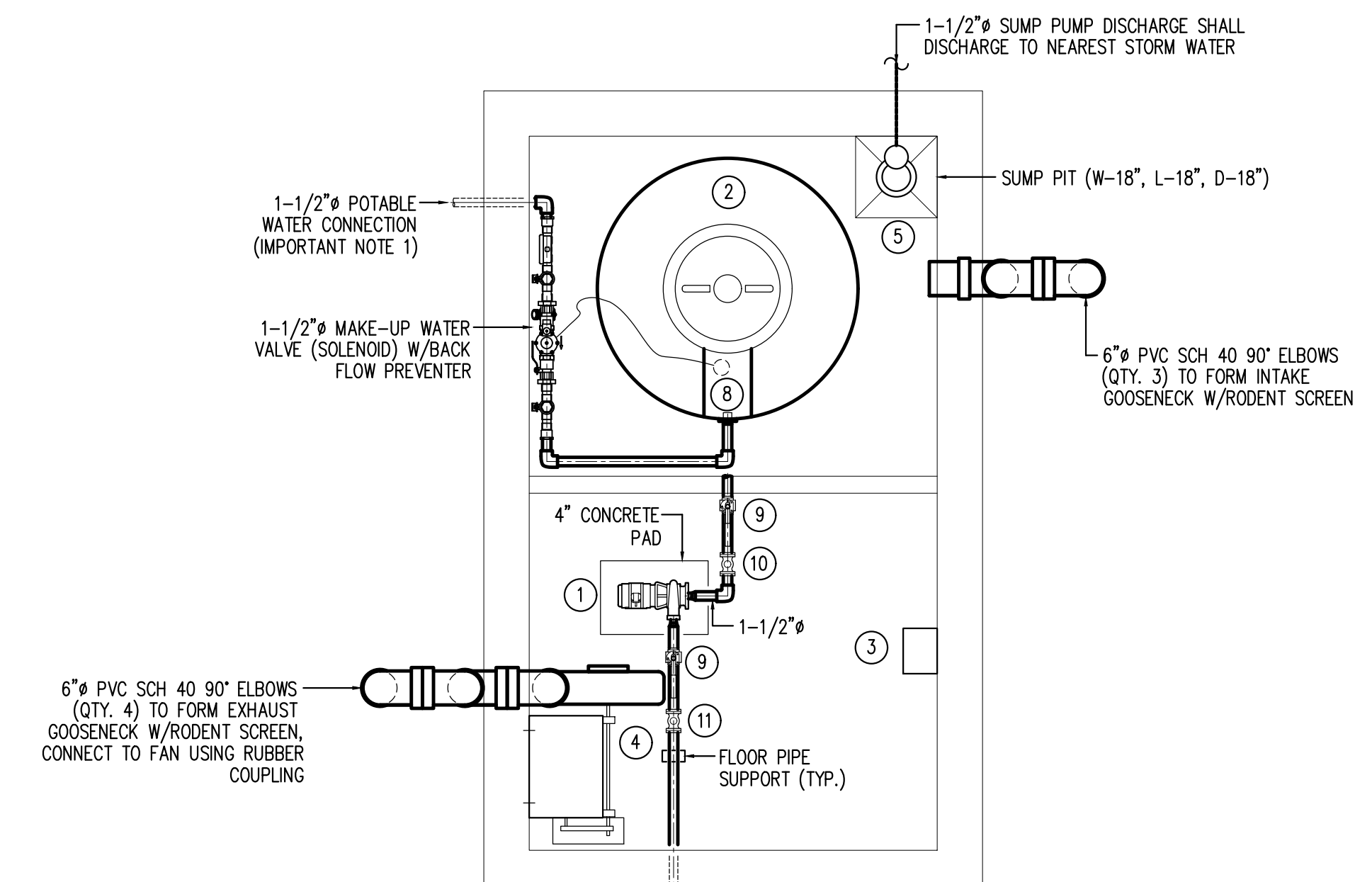
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DRAWING NUMBER
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NOTES:
1-INSULATE ALL DISSIMILAR MATERIALS TO PREVENT GALVANIC ACTION.
2-ALL PIPE SUPPORT COMPONENTS SHALL WITHSTAND APPLICABLE SEISMIC AND HURRICANE FORCES.

TYPICAL FLOOR OR WALL PIPING SUPPORT DETAIL
NOT TO SCALE

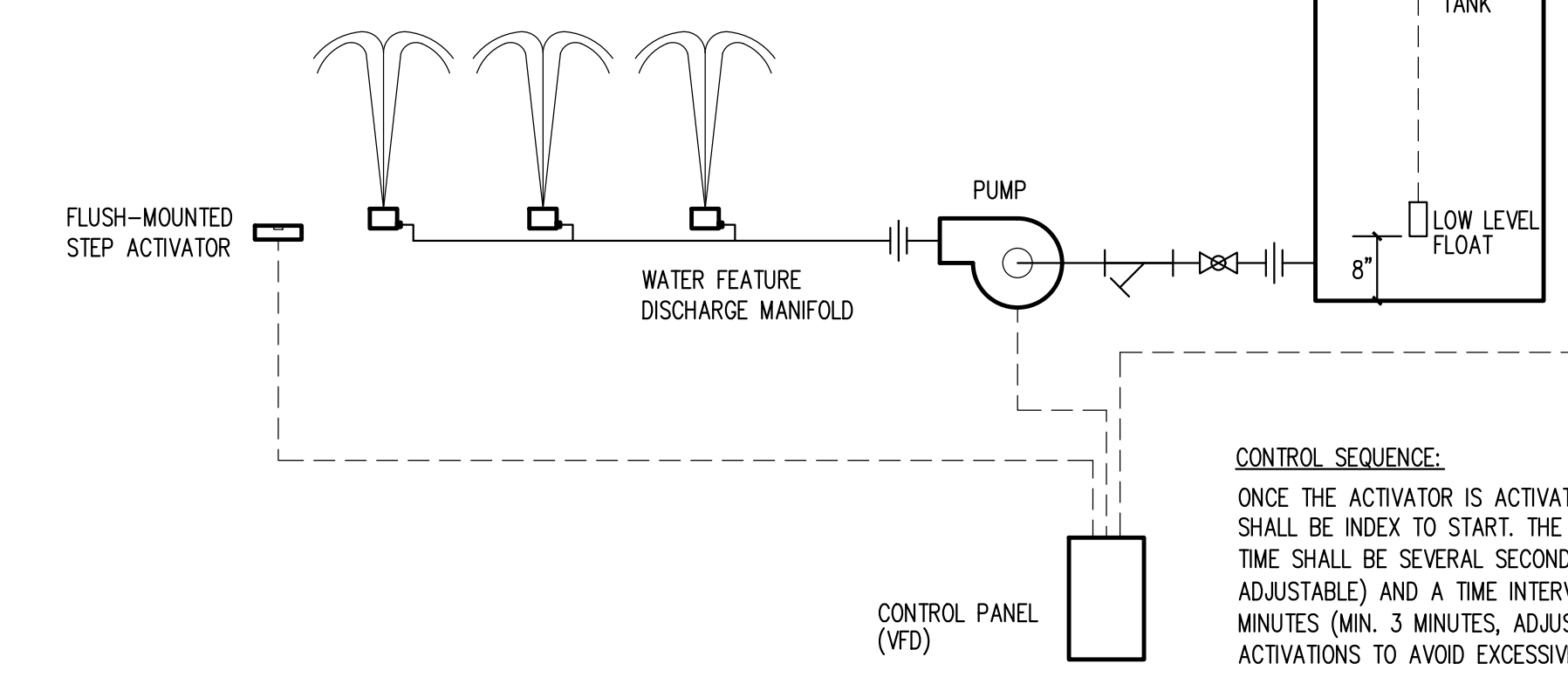
PROPOSED SPLASH PARK AREA PIPING LAYOUT
SCALE: 1/8" = 1'-0"



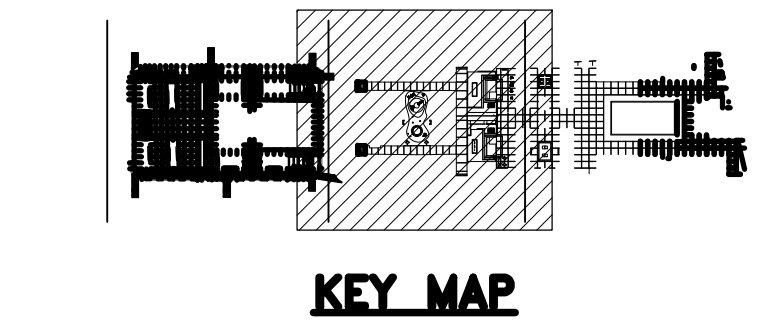
PROPOSED MECHANICAL VAULT ENLARGE VIEW
SCALE: 1/2" = 1'-0"

- IMPORTANT NOTES:
- POTABLE WATER CONNECTION (1-1/2") SHALL BE DONE AT EXISTING DEMOLISHED FOUNTAINS MECHANICAL ROOM AT 3RD LEVEL OF MULTI-LEVEL PARKING, FOR BOTH WATER FEATURES.
 - ALL PIPING FOR WATER FEATURE SHALL BE PVC SCH. 80, EXCEPT FOR WATER MAKE-UP PROVISION WHICH SHALL BE COPPER TYPE K.

WATER FEATURE ACCESSORIES	
TAG	DESCRIPTION
1	BERKELEY CENTRIFUGAL END SUCTION PUMP MODEL CP1-1/4XPS, RATED FOR 35 GPM @ 35 PSI, 1 HP, 3/60/208 VOLTS, 1.5" SUCTION X 1.25" DISCHARGE.
2	300 GALLON WATER TANK, 18" PE THREADED-VENTED MANWAY W/15" ACCESS, 2" PP DBL FLANGED BOLTED SHORT SIPHON TUBE ASSY W/EPDM GASKET & S.S. BOLTS, 1-1/2" PE THREADED BH W/EPDM GASKET, MODEL VWS300-46 MANUFACTURED BY PROTANK.
3	DANFOSS AQUA 1 H.P. VFD MODEL F202-PK75-T2-E66-H2-X-G-X-X-X-SXXX-X-AX-BX-CX-XX-D1, 200-240/3/60, NEMA 4X ENCLOSURE, 5 LINE LCD GRAPHICAL DISPLAY, INTEGRAL CALL A2 RFI FILTERS. INCLUDES ANALOG IO + BATTERY BACK MCB109.
4	EXHAUST FAN (E.F.-3 & 4), REFER TO SHEET P-500 FOR SPECIFICATIONS.
5	SUMP PUMP MODEL SP33VF, 1-1/2" DISCHARGE, VERTICAL FLOAT PVC, SNAP ACTION, 10 FT. CORD, 1/3 HP, HIGH ALARM PANEL AND SENSOR, 3450 RPM, 60 Hz, 120 V/ 1 Ph / 60 Hz, F.L.A. 5.8 A, MANUFACTURED BY BARNES / CRANE PUMPS.
6	STREAM JET MANIFOLD, W/S. NOZZLE COVERS, 1-1/2" CONNECTION, MANUFACTURED BY AQUATIX.
7	FLUSH-MOUNTED STEP ACTIVATOR, MANUFACTURED BY AQUATIX.
8	SUSPENDED TYPE DIRECT ACTING FLOAT SWITCH WITH CHEMICAL RESISTANT POLYPROPYLENE CASING AND 30 FT. OF POWER CORD. ANCHOR SCIENTIFIC MODEL GES30NOC BLUNT TYPE OR APPROVED EQUAL. LOW LEVEL PUMP CUT-OFF FOR VFD AND LOW LEVEL ALARM SIGNAL CONTROL. (LOW LEVEL FLOAT)
9	ISOLATION BALL VALVE
10	STRAINER
11	1.5" CHECK VALVE MODEL F300-150 BY STRATAFLO.

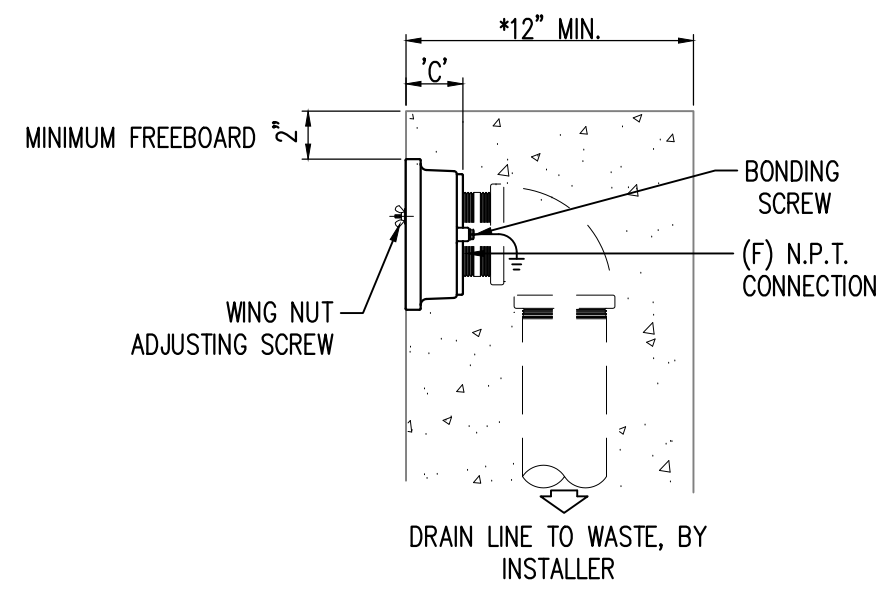


WATER FEATURE CONTROL DIAGRAM
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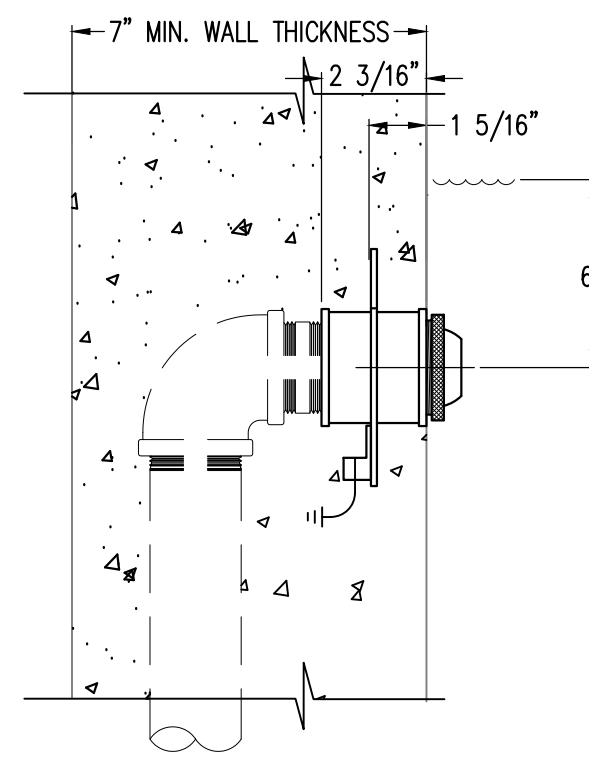


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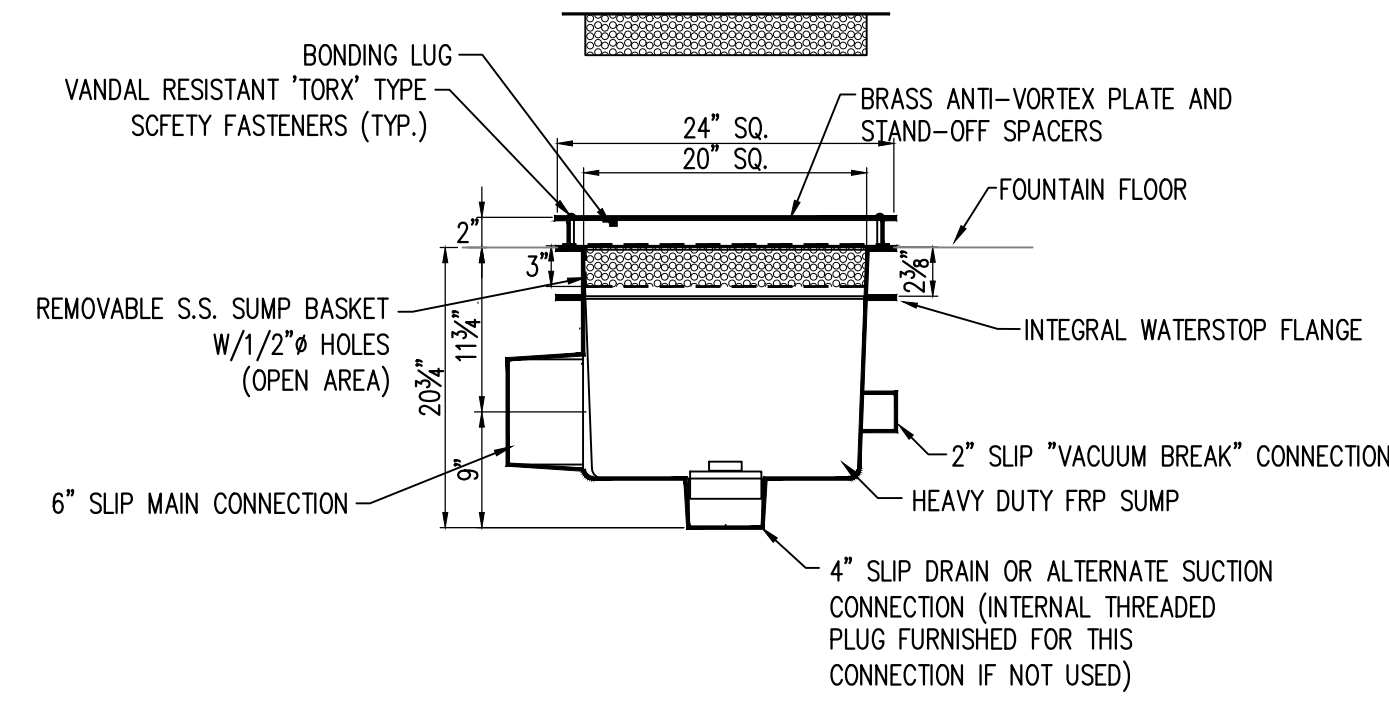
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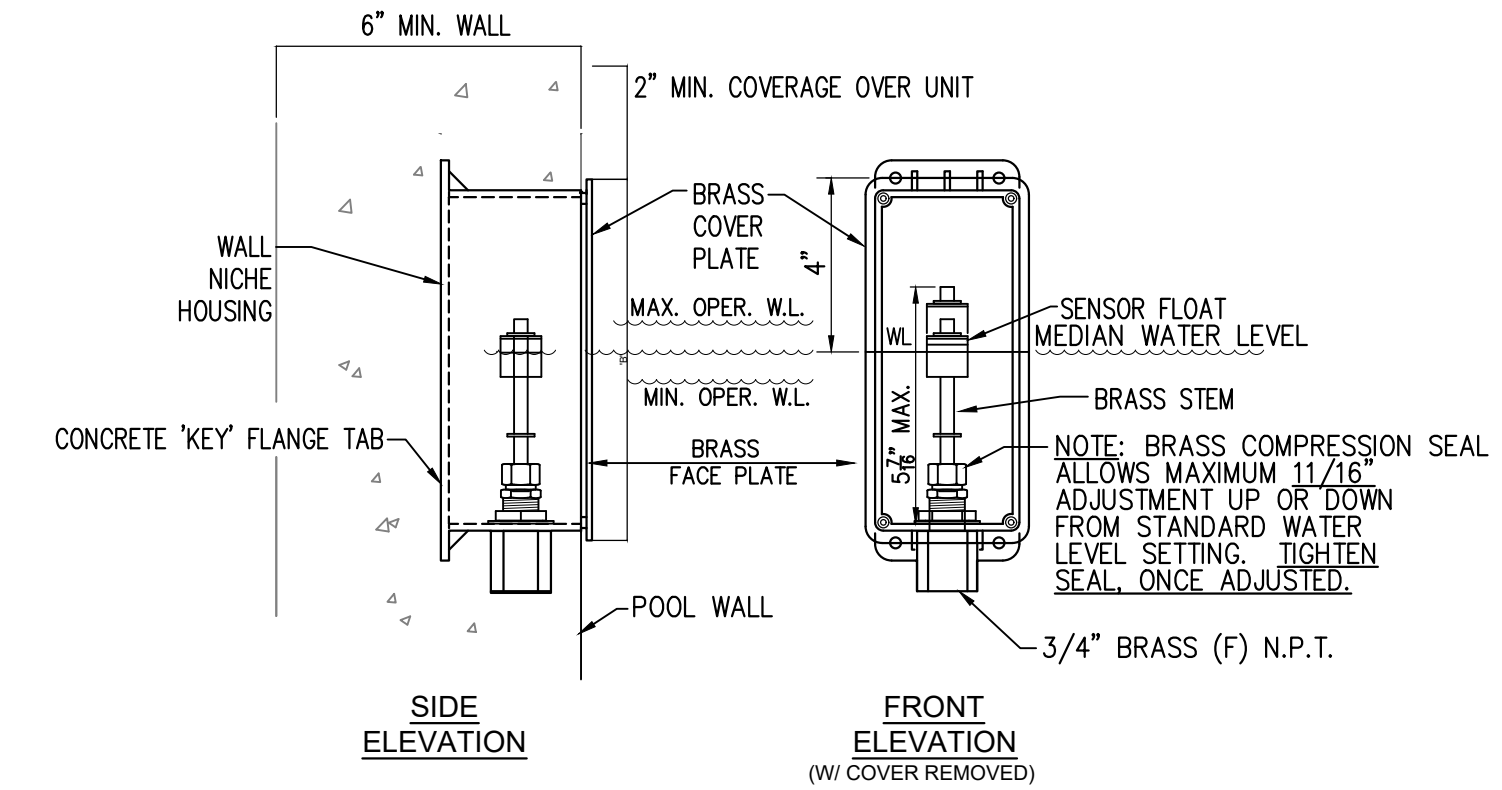
SIDEWALL OVERFLOW INSTALLATION DETAIL
NOT TO SCALE



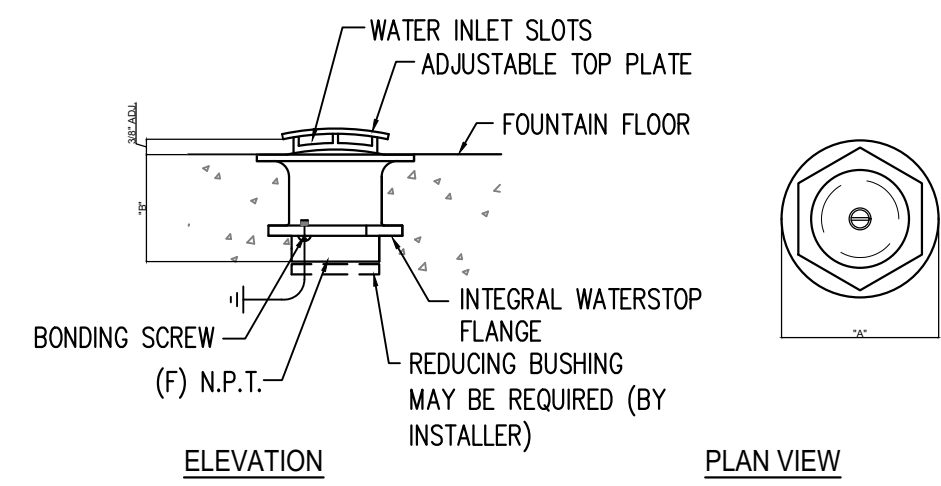
EYEBALL INLET FITTING INSTALLATION DETAIL
NOT TO SCALE



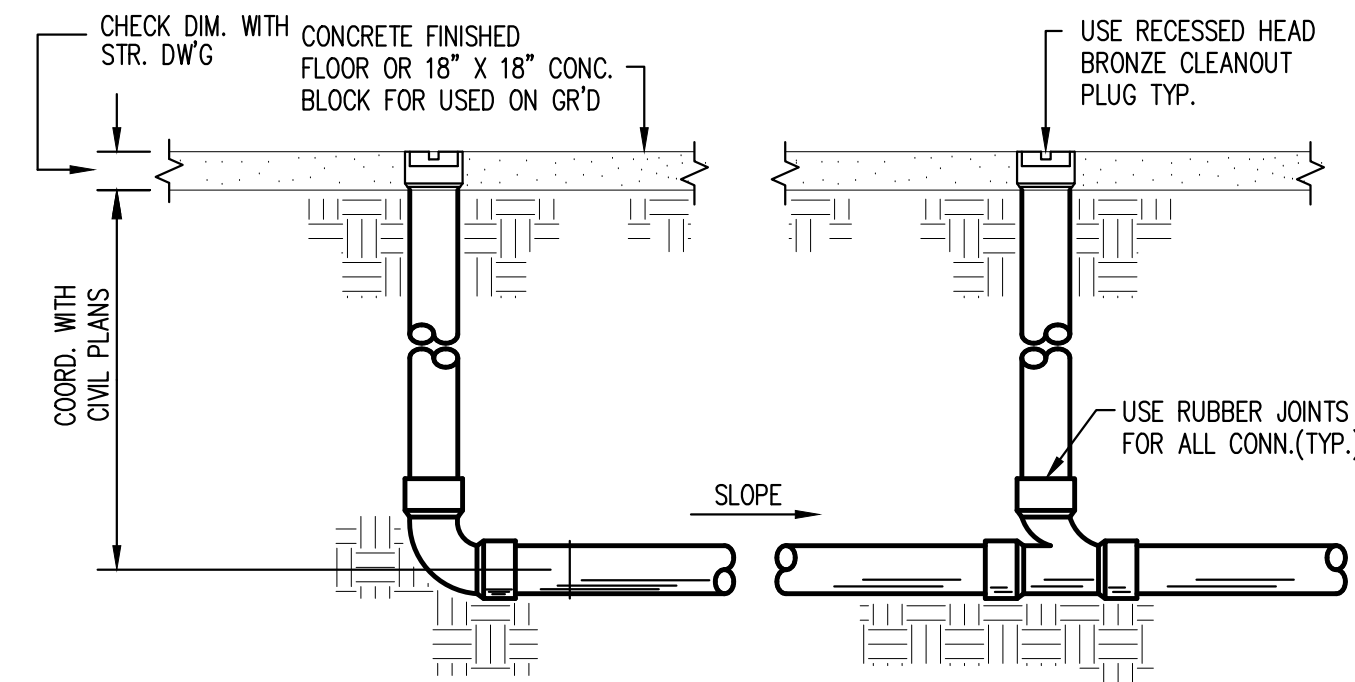
ANTI-VORTEX PLATE AND SUMP INSTALLATION DETAIL
NOT TO SCALE



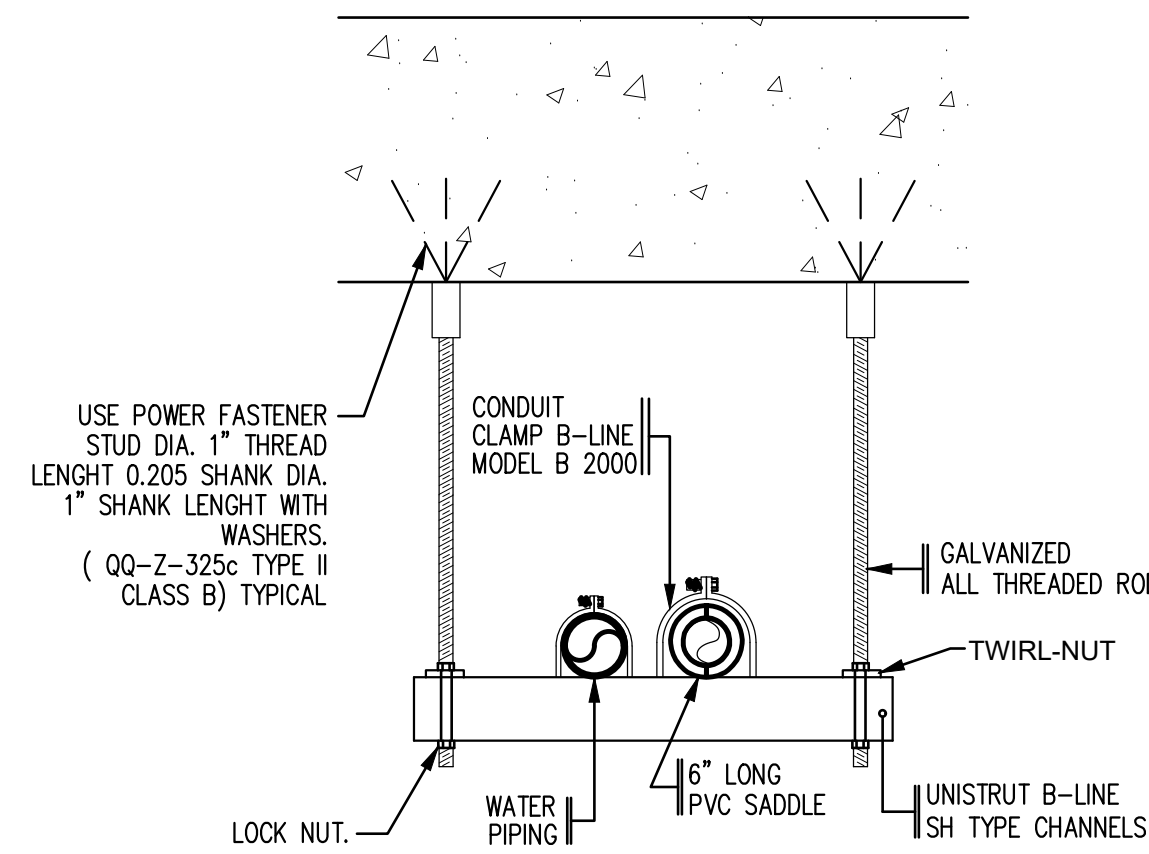
WALL MOUNTED, COMBINATION WATER MAKE-UP/LOW LEVEL CUTOFF CONTROL
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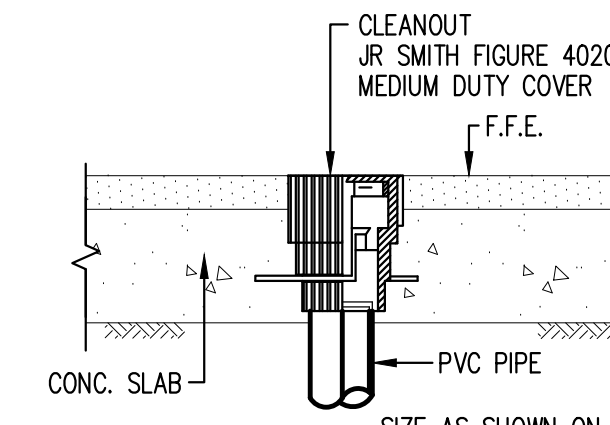
ADJUSTABLE FLOOR INLET FITTING INSTALLATION DETAIL
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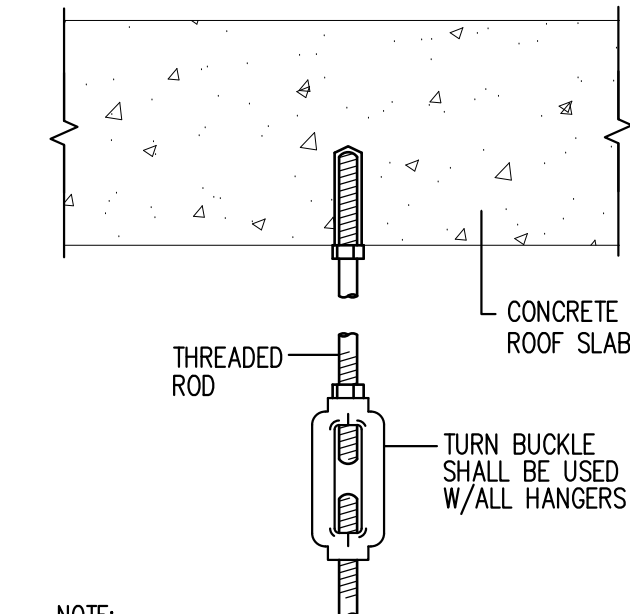
CLEANOUT INSTALLATION SERVICE CONNECTION DETAIL
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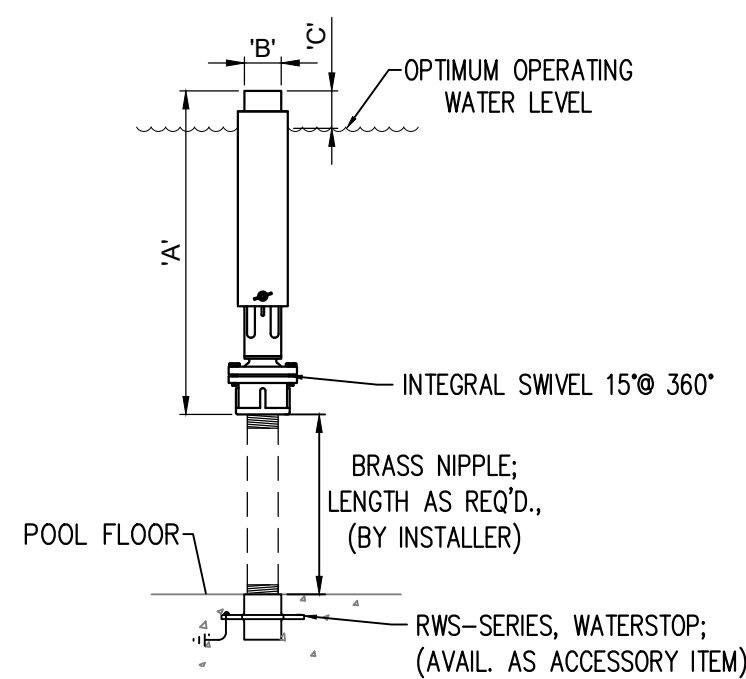
TYPICAL POTABLE WATER PIPING SUPPORT DETAIL
NOT TO SCALE



TYPICAL F.C.O. DETAIL
NOT TO SCALE



INDIVIDUAL PIPE HANGER UPPER ELEMENT DETAIL
NOT TO SCALE



FOAM NOZZLES INSTALLATION DETAIL
NOT TO SCALE

(T.D.-1) TRENCH DRAIN INSTALLATION DETAIL
NOT TO SCALE

FLOOR DRAIN SCHEDULE			
SYMBOL	DESCRIPTION	UNIT WASTE OR SOIL	REMARKS
T.D.-1	TRENCH DRAIN SYSTEM	4"	100% POLYPROPYLENE (L-3.28' SEGMENTS) POST INDUSTRIAL RECYCLED MATERIAL WITH U.V. INHIBITORS. CHANNEL INTERLOCKING DESIGN W/BUILT-IN SLOPE (0.6%) AND RADIUSSED BOTTOM MODEL 9930 ENVIRO-FLO II. TOTAL LENGTH AS REQUIRED. GRATE MODEL 9870-451-SSPA S.S. PERFORATED GRATE, ADA COMPLIANT FOR PEDESTRIAN, HEEL-PROOF, WHEEL CHAIR AND BICYCLE TRAFFIC.

FAN SCHEDULE

GENERAL DATA							ELECTRICAL DATA						
UNIT TAG	SERVICE	FAN TYPE	MANUFACTURER	MODEL NO.	CFM	HP	STATIC PRESSURE (N.W.G)	VOLTZ	AMPS	PHASE	HERTZ	ENCLOSURE	REMARKS
E.F.-1	EXISTING MECHANICAL VAULT	CAST ALUM. PRESSURE BLOWER	TWN CITY	TPB-14R07A	75	1/3	0.5	115	1.14	1	60	TEFC	1, 2, 3, 4
E.F.-2	EXISTING MECHANICAL VAULT	CAST ALUM. PRESSURE BLOWER	TWN CITY	TPB-14R07A	75	1/3	0.5	115	1.14	1	60	TEFC	1, 2, 3, 4
E.F.-3	NEW MECHANICAL VAULT	CAST ALUM. PRESSURE BLOWER	TWN CITY	TPB-14R07A	75	1/3	0.5	115	1.14	1	60	TEFC	1, 2, 3, 4
E.F.-4	NEW MECHANICAL VAULT	CAST ALUM. PRESSURE BLOWER	TWN CITY	TPB-14R07A	75	1/3	0.5	115	1.14	1	60	TEFC	1, 2, 3, 4

REMARKS:
1. OSHA TYPE BELT GUARD 2. SHAFT & BEARING GUARD 3. MOUNT TCF MOTOR 4. VARIABLE SPEED V-BELT DRIVE, 1.2 SF

FOUNTAIN #1 & 2 WATER FEATURE PUMPS AND CONTROLS

A. GENERAL

The contractor shall furnish and install where shown in the plans a fountain system.

FOUNTAIN PUMP AND CONTROL

CIRCULAR CENTRAL NOZZLES FOUNTAIN

1. WATER FEATURE PUMPS

Pump shall be horizontal end-suction centrifugal, furnished with mechanical shaft seal and stainless-steel shaft.

PUMP SCHEDULE

PUMP	GPM	TOTAL HEAD FEET	H.P.
W.F.P-1 & 2	250	25	3

Published performance curves are to be furnished for evaluation and approval. The motor needs to be rated to not overload on any part of the curve. Pump shall be Berkeley Model ED, 3/60/208 volts, 3 h.p., 1800 rpm (distributed in Puerto Rico by Universal Equipment Sales & Service 787-724-2448) or approved equal.

2. CONTROL PANEL

The control shall consist of one Danfoss Aqua Drive model F202-P2K2-S2-E66-H2-X-G-X-X-X-SXXX-X-AX-BX-CX-X-XX-D1, 3 H.P., 1/60/208-230 Volts, NEMA 4X enclosure, graphical 6 lines LCD display (Pressure, Frequency, Set Point, KW Consumption, Amperage, etc.), real time clock with battery back-up, auto tuning, sleep mode, pipes protection using slow pipe fill mode after a power failure and drop of pressure on the building, no flow detection, 98% drive efficiency, motor tuning AMA, built-in dc line reactor for harmonics suppression.

VFD will operate on an internal timer program to activate fountain pump as required by the owner.

B. GUARANTEE

System shall be guaranteed not to produce objectionable noise, vibration when operating under specified conditions.

The complete system shall be guaranteed against defective material and workmanship for one year when installed and maintained in accordance with manufacturer's instruction and good stationary engineering practice.

C. MISCELLANEOUS

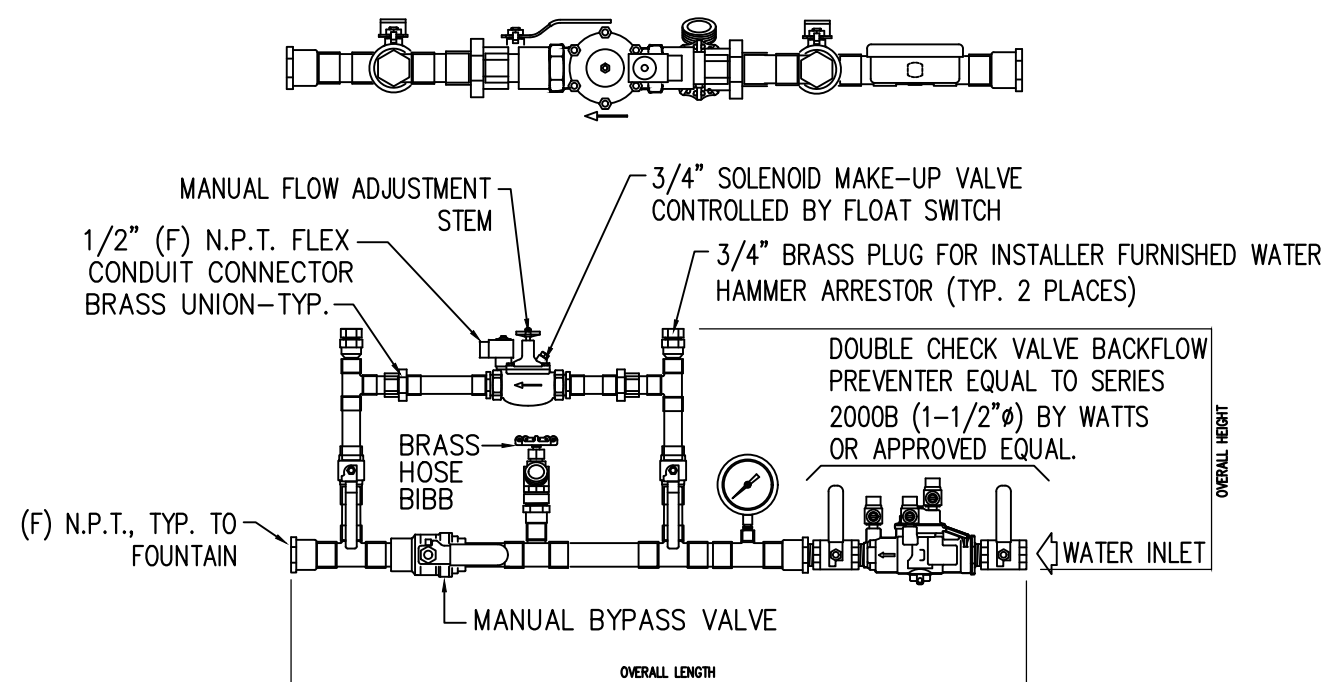
The services of a factory trained engineer shall be provided for final inspection and start-up for one day.

Supplier of the system shall stock spare parts and shall have had a maintenance service organization for not less than 20 years. Also shall answer a service call in less than 24 hours after required.

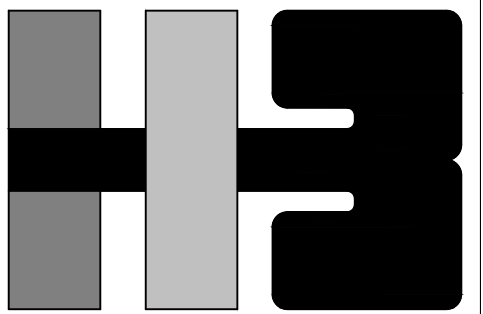
D. SUBMITTAL DATA

Submittal data for approval shall include the following:

- a. Pump performance curves
- b. Pump dimensional data
- c. Control panel dimensional data & wiring diagram



FILL MAINFOLD SYSTEM W/BACKFLOW PREVENTER
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PROJECT
IMPROVEMENTS OF "PLAZA DE LA CONVALESCENCIA" AND "LA PLAZA DEL PILAR"

DRAWING NAME

FOUNTAINS ACCESSORIES DETAILS AND WATER FEATURE PUMP/CONTROLS SPECIFICATIONS AND EXHAUST FANS SCHEDULES

COMPUTER PLOT
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ENERMECH L.T.Q.

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ISSUE FOR REVIEW AND COMMENTS 90%, 2024.02.26

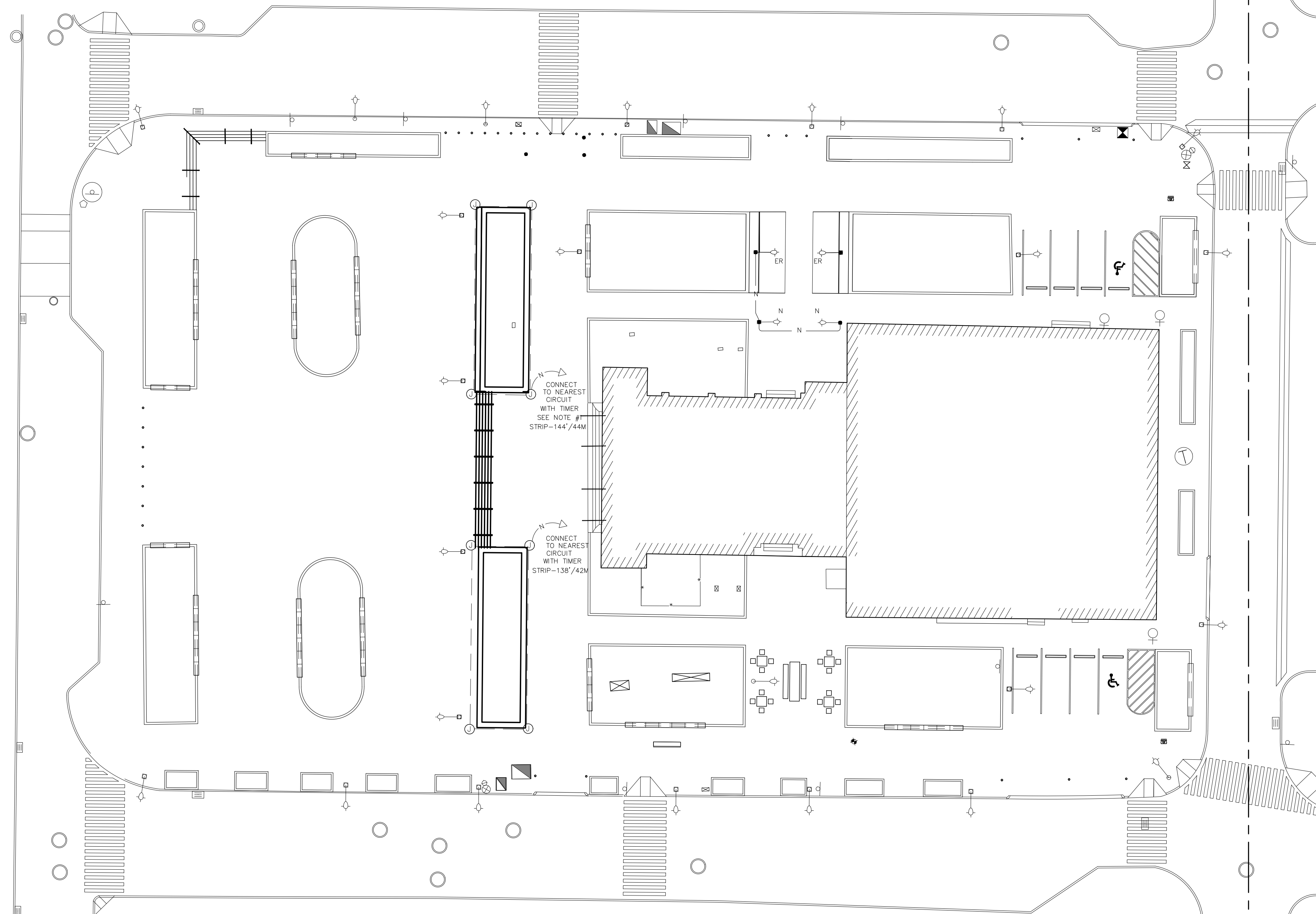


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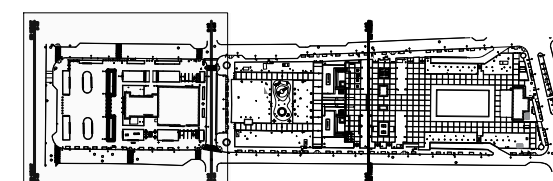
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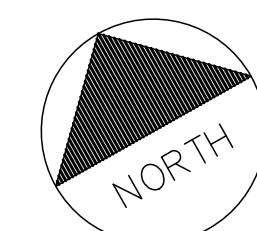


DEL PILAR ELECTRICAL SITE PLAN

SCALE: 1: 250



KEY MAP



E-1.0

E-2.0

E-1.0

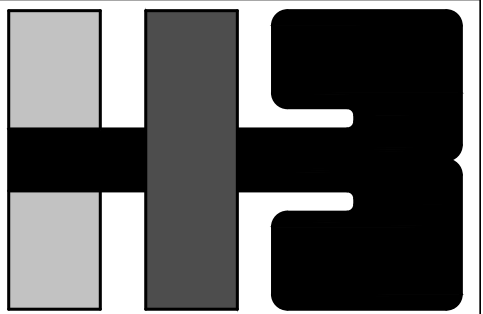
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LEGEND:

- EXISTING ORNAMENTAL POLES TO REMAIN
- EXISTING ORNAMENTAL POLES TO BE RELOCATE.
- NEW LOCATION OF EXISTING ORNAMENTAL POLES.
- NEW FEEDER FROM EXISTING POLES TO THE NEW LOCATION CONSISTING OF 3#10 THWN IN 3/4" PVC SCHED 40 @ 36" BELOW FINISH FLOOR
- LP-K14-6FT CHANNEL WITH LED LIGHT STRIP 2835 SEE MORE DETAILS IN E-4.0

VERY IMPORTANT NOTES:

1. THE CONTRACTOR SHALL VERIFY THAT THE ADDED LOAD DOES NOT OVERLOAD THE EXISTING CIRCUITS AND THE TOTAL LOAD OF PANEL.
2. ALL NEW LIGHTS SHALL BE LED TO REDUCE POWER LOAD.



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ELECTRICAL SITE PLAN

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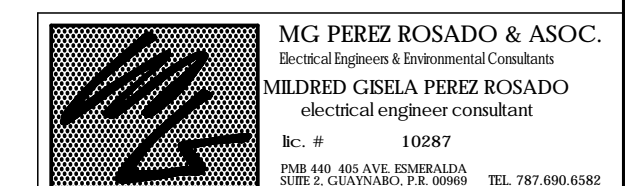
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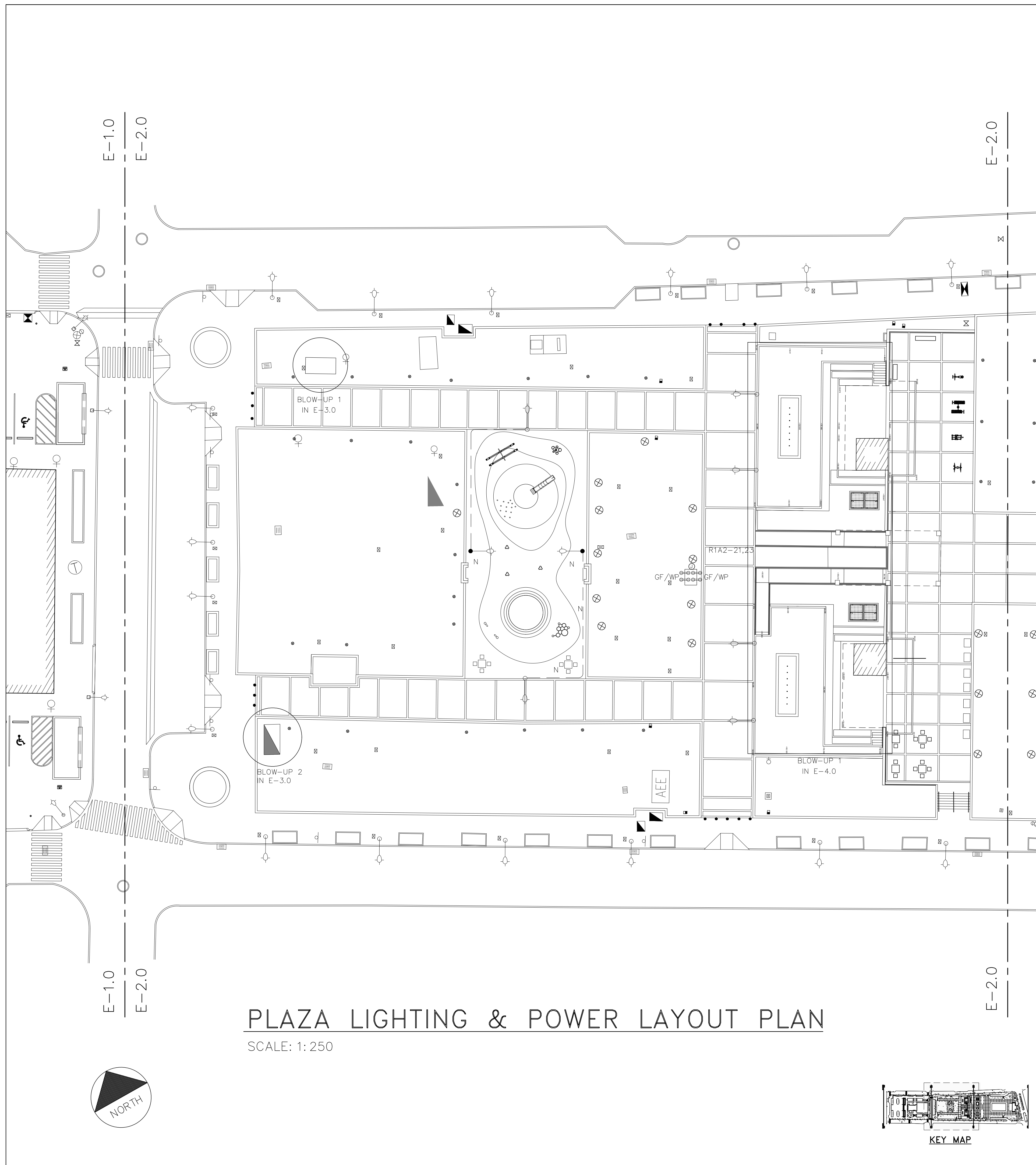
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PLAZA LIGHTING & POWER LAYOUT PLAN

SCALE: 1: 250

LEGEND:


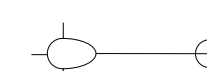
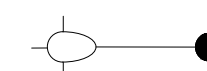

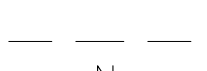

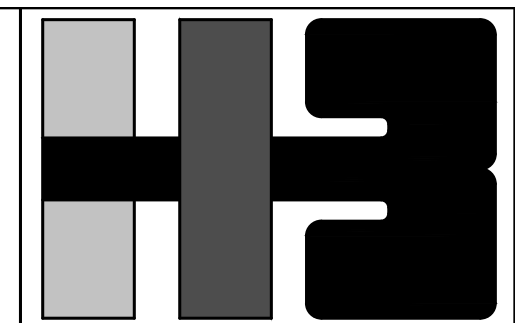
-  EXISTING ORNAMENTAL POLES TO REMAIN
-  EXISTING ORNAMENTAL POLES TO BE REPLACE BY A NEW ONE. SEE PHOTO 1
-  NEW ORNAMENTAL POLES SAME AS EXISTING. SEE PHOTO 2.
-  EXISTING WALL LAMPS. CONTRACTOR SHALL REPLACE THE BULBS AND RE-WIRE THE FEEDERS WITH THE SAME GAGE AS EXISTING
-  NEW FEEDER FROM EXISTING POLES TO THE NEW LOCATION CONSISTING OF 3#10 THWN IN 3/4" PVC SCHED 40 @ 36" BELOW FINISH FLOOR
-  NEW JUNCTION BOX WITH 4 RECEPTACLES FOR EACH FACE AL RECEPTACLES SHALL BE GF/WP 4 RECEPTACLES PER CIRCUIT IN A NEW 20A-1P 120V BREAKER



PHOTO 1



PHOTO 2



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COMPUTER PLOT
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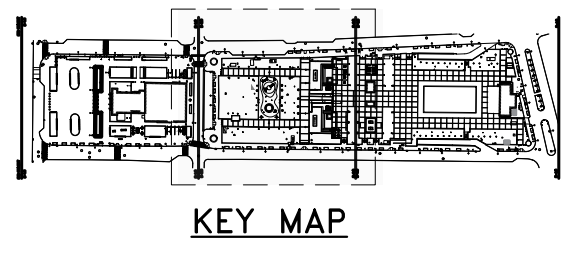
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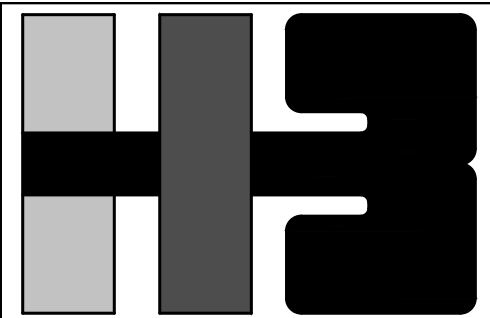
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PROJECT

DRAWING NAME

BLOW-UPS & PANELBOARD
SCHEDULES

COMPUTER PLOT

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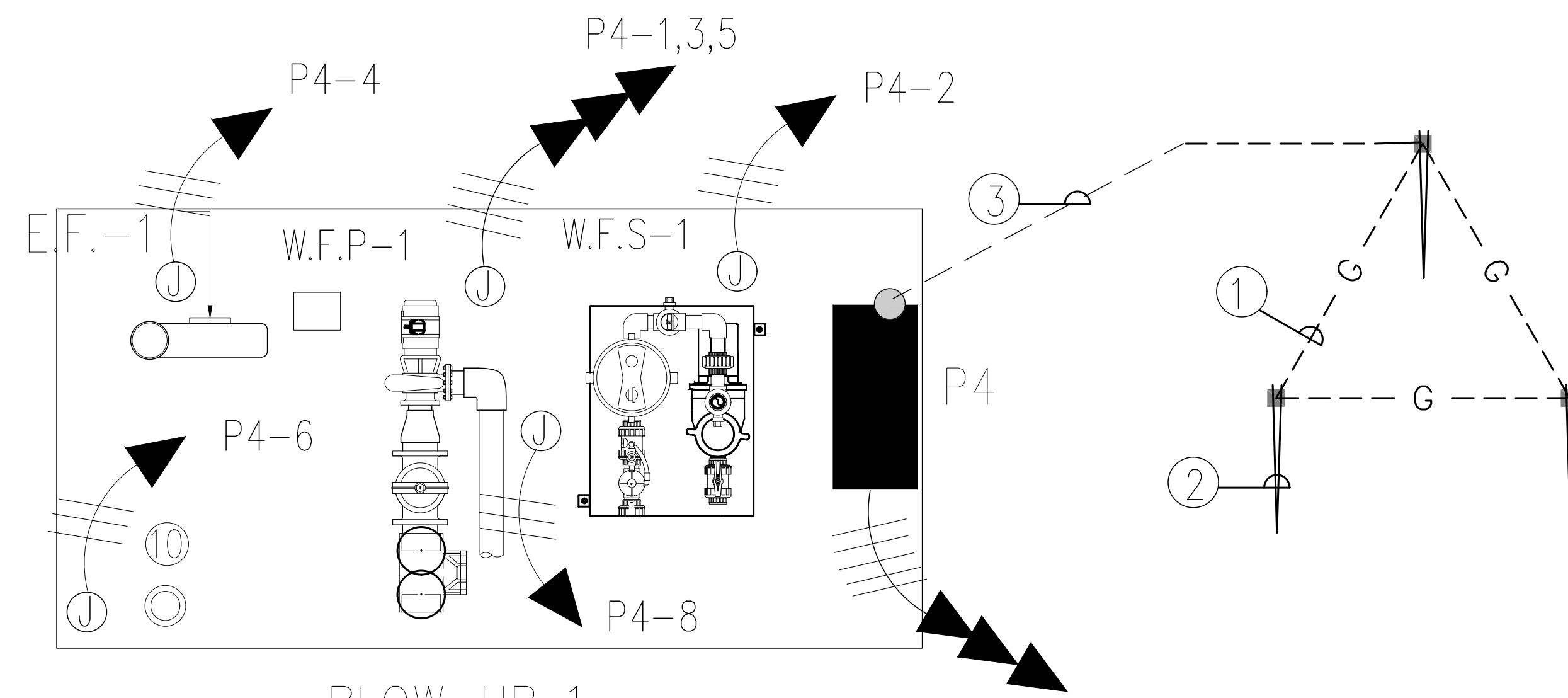
NUMBER	TOTAL
59	62

DRAWING NUMBER

E-3.0

GROUNDING LEGEND

- ① DELTA GROUNDING MAT GROUND CONDUCTOR CONSISTING OF 1/0 AWG SOFT DRWAN BARE COPPER CONNECTED WITH EXORTHERMIC CONNECTION EQUAL TO CADWELL INSTALLED AT 12" BELOW FINISH GRADE.
- ② TYPICAL COPPER CLAD GROUND ROD, 3/4" X 8'-0"
- ③ NEW PANEL SIDE CONNECTION TO GROUND MAT CONSISTING OF 1#4 IN 1" PVC CONDUIT



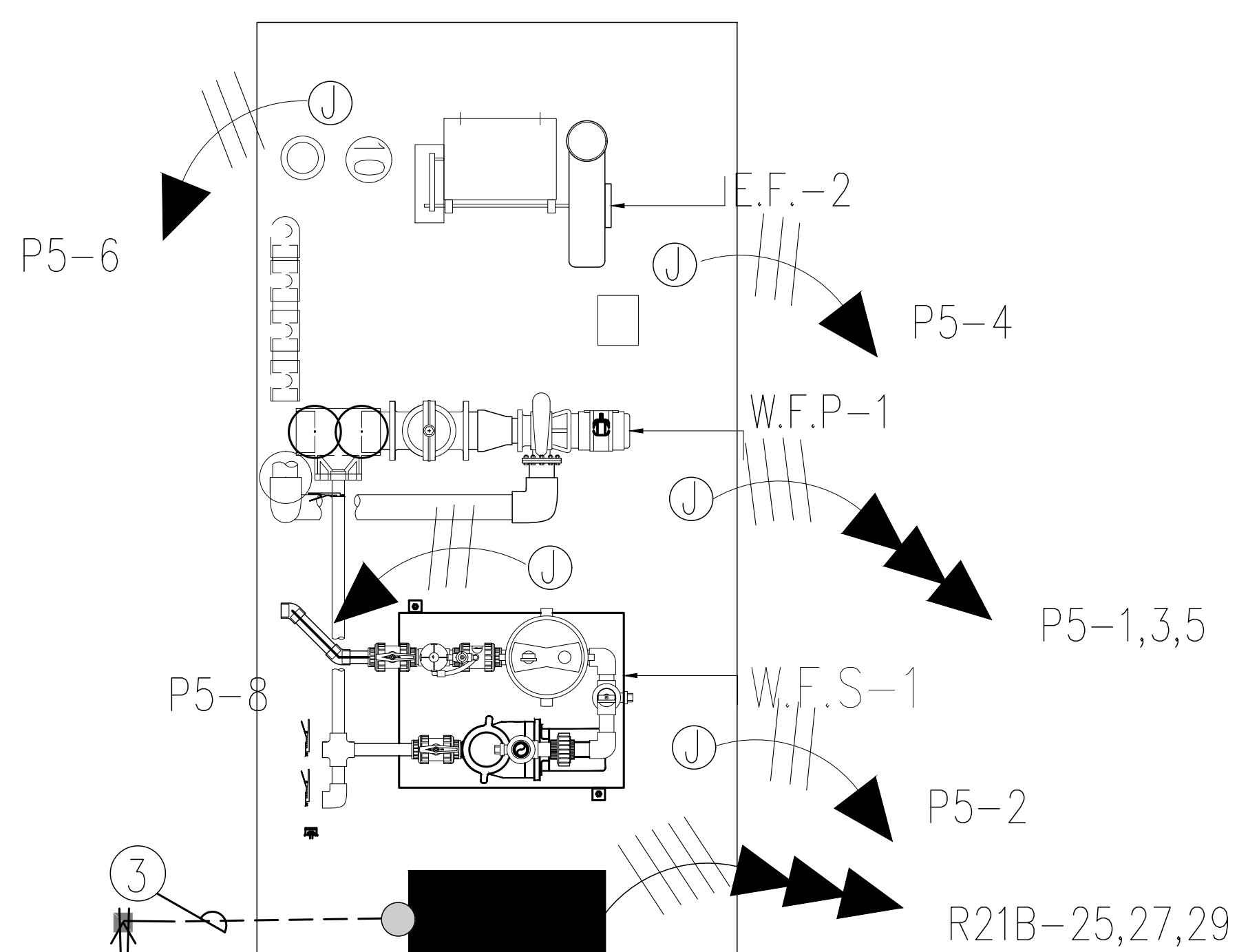
BLOW-UP 1

R21B-19,21,23
RE-WIRE WITH 4#4 & 1 #8 IN EXISTING CONDUIT
CONNECT TO EXISTING 50/3 A BREAKER

EQUIPMENT DESCRIPTION	TRIP AMPS	POLE	A	B	C	POLE	TRIP AMPS	EQUIPMENT DESCRIPTION
WFI	20	3	1	2	3	1	20	WSF1
			4	5	6	1	20	EF-1
			7	8		1	20	SUMP PUMP
SPARE	30	1				1	20	LEVEL SENSOR

INDICATES THIS CIRCUIT TO RECEIVE HANDLE LOCK-ON CLIP. SQUARE-D TYPE NOOD OR SIMILAR 14K AIC NEMA 4X, GF

PANEL P4 3 PHASE 4 WIRE 120/208 VOLTS GROUND BUS - FLUSH MTD. 40 A MAIN BREAKER



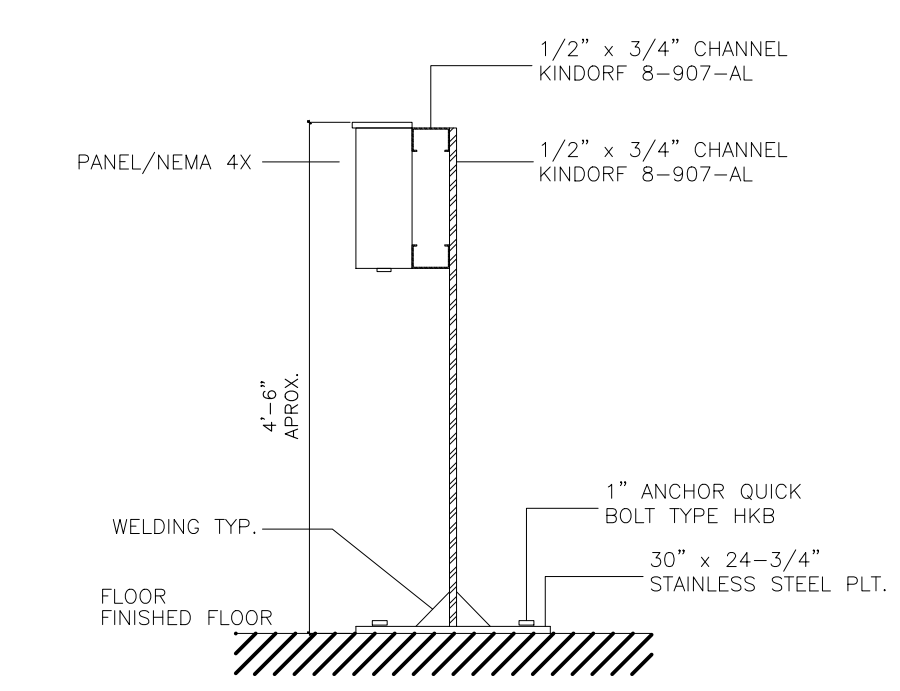
BLOW-UP 2

R21B-25,27,29
RE-WIRE WITH 4#4 & 1 #8 IN EXISTING CONDUIT
CONNECT TO EXISTING 50/3 A BREAKER

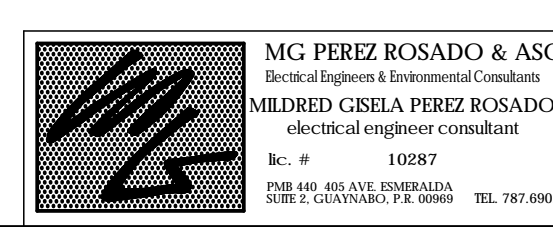
EQUIPMENT DESCRIPTION	TRIP AMPS	POLE	A	B	C	POLE	TRIP AMPS	EQUIPMENT DESCRIPTION
WFI	20	3	1	2	3	1	20	WSF1
			4	5	6	1	20	EF-2
			7	8		1	20	SUMP PUMP
SPARE	30	1				1	20	LEVEL SENSOR

INDICATES THIS CIRCUIT TO RECEIVE HANDLE LOCK-ON CLIP. SQUARE-D TYPE NOOD OR SIMILAR 14K AIC NEMA 4X, GF

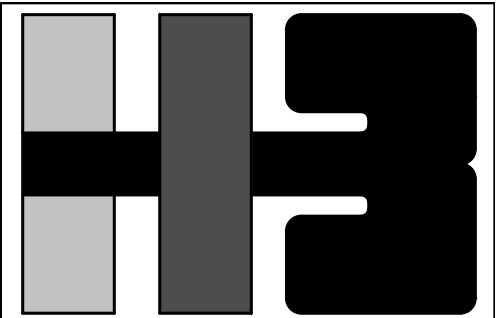
PANEL P5 3 PHASE 4 WIRE 120/208 VOLTS GROUND BUS - FLUSH MTD. 40 A MAIN BREAKER



PANEL MOUNTING DETAIL
N.T.S.



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CLIENT

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OWNER
AUTONOMOUS MUNICIPALITY
OF SAN JUAN

PROJECT

DRAWING NAME

SPLASH PARK
BLOW-UP

COMPUTER PLOT

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NO. DATE REVISION BY APPROVED

PROJECT

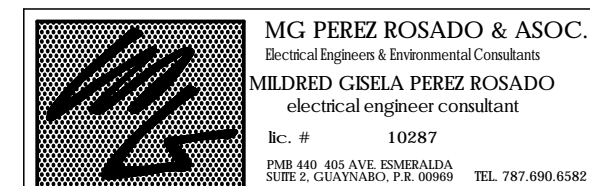
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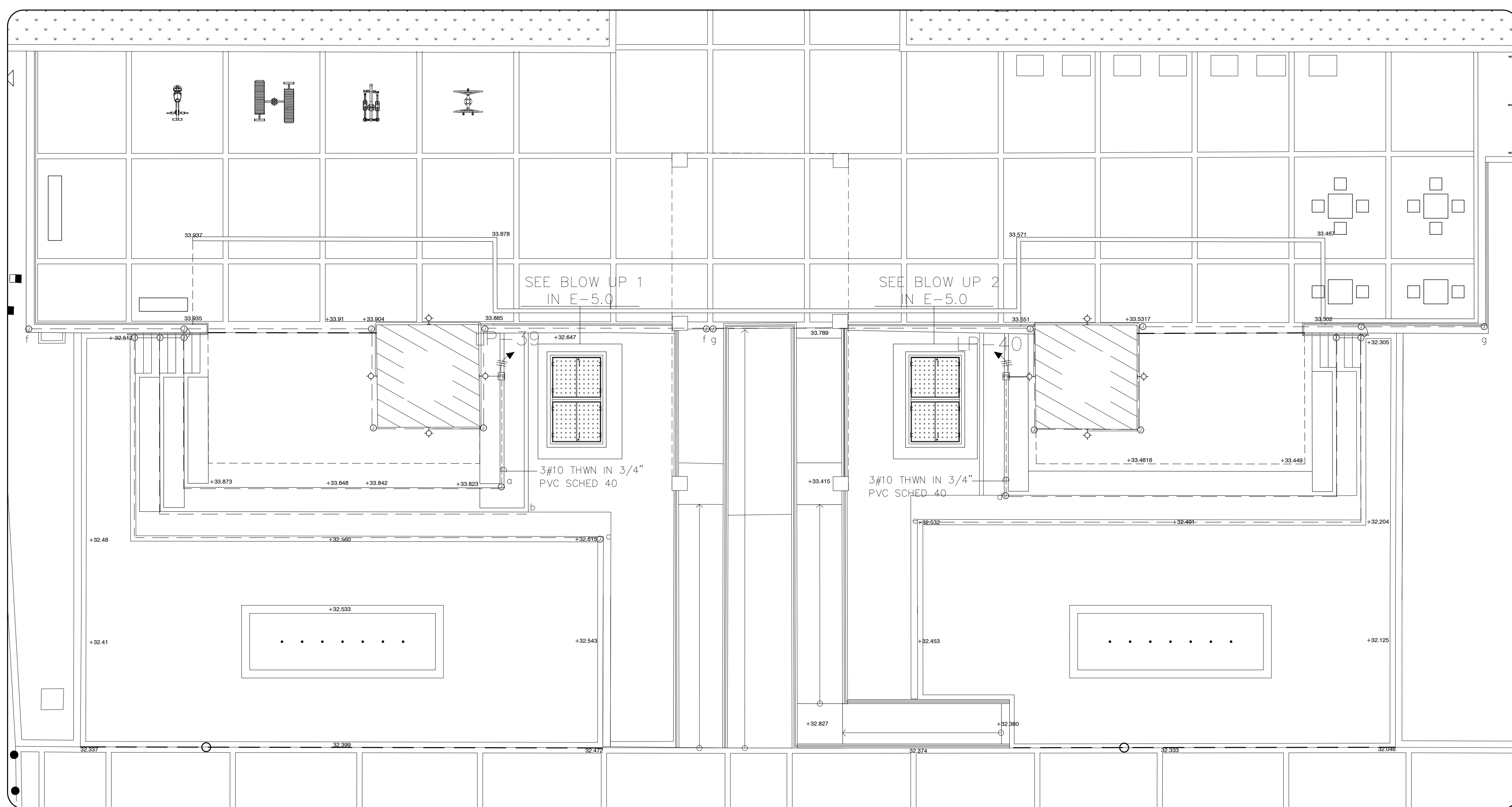
NUMBER	TOTAL
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DRAWING NUMBER

E-4.0



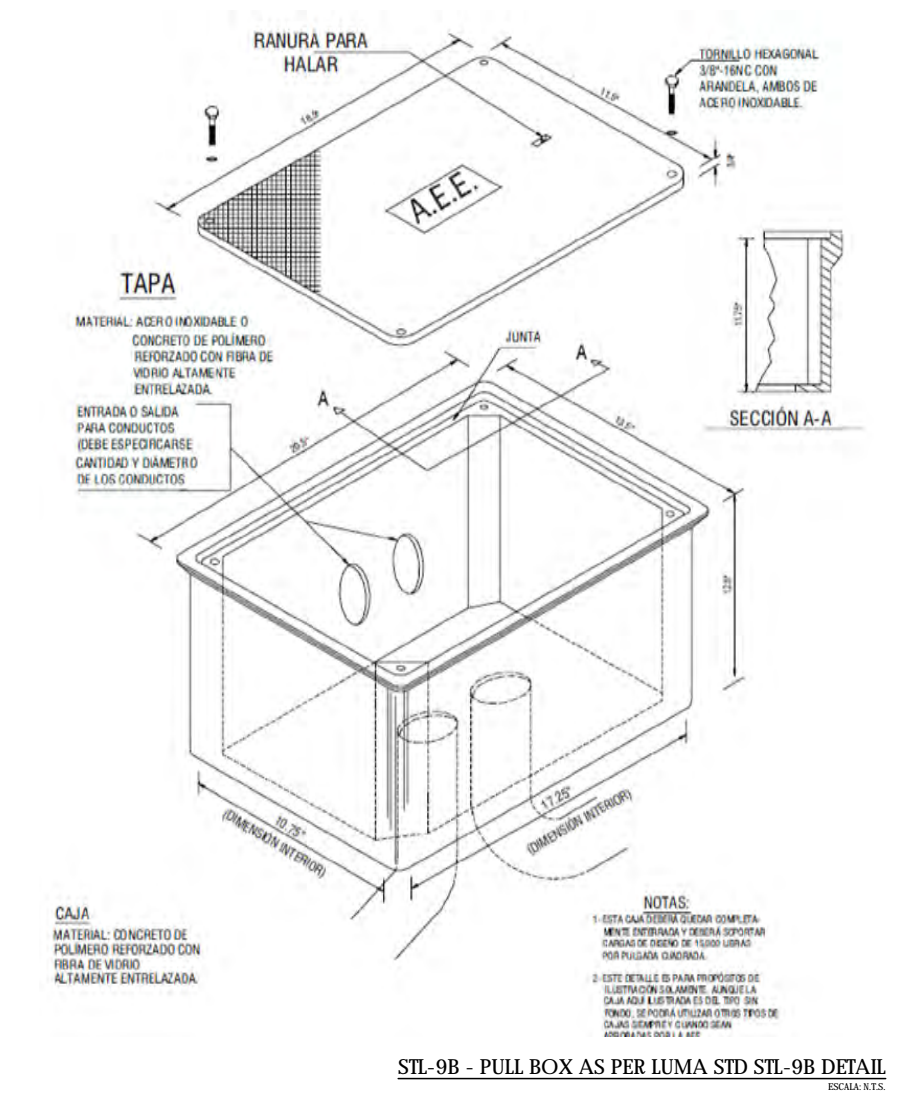
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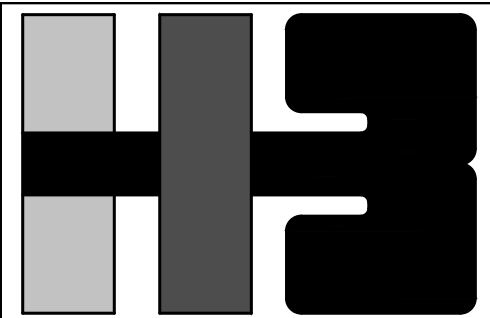
SPLASH PARK AREA BLOW-UP
SCALE: 1/8" = 1'-0"

SITE LIGHTING FIXTURE SCHEDULE							
DESIGNATION	SYM.	QTY.	MANUFACTURER	CATALOG	LAMPS		
					VOLTS	WATTS	TYPE
LA			KIM LIGHTING	CFL1WF 24L4KUV-BL JRB3 BLJW	120	24	CONNECT TO EXISTING LUTRON SWITCH PANEL
LB			LED OUTLET	LP-K14-6FT CHANNEL WITH LED LIGHT STRIP 2835 SEE NOTE 2	120	8.3W/METER SEE NOTE 1	CONNECT TO EXISTING LUTRON SWITCH PANEL

- NOTES:
- STRIP LENGTH
a-60 FEET/18.3 MT
b-66 FEET/20.1 MT
c-90 FEET/27.4 MT
d-60 FEET/18.3 MT
e-78 FEET/23.8 MT
f-126 FEET/38.4 MT
g-138 FEET/42 MT
*CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY FINAL MEASUREMENTS.
 - SEE INSTALLATION DETAILS IN ARCHITECTURAL AND STRUCTURAL DRAWINGS
 - CONTRACTOR SHALL VISIT THE SITE AND IDENTIFY THE LOCATION OF PANEL LP. CONTRACTOR SHALL ALSO CONNECT THIS CIRCUITS TO EXISTING LUTRON SWITCH PANEL.



STL-9B - PULL BOX AS PER LUMA STD STL-9B DETAIL



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OF SAN JUAN

PROJECT

DRAWING NAME

SPLASH PUMPS
BLOW UPS

COMPUTER PLOT
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PROJECT

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NUMBER TOTAL

61 62

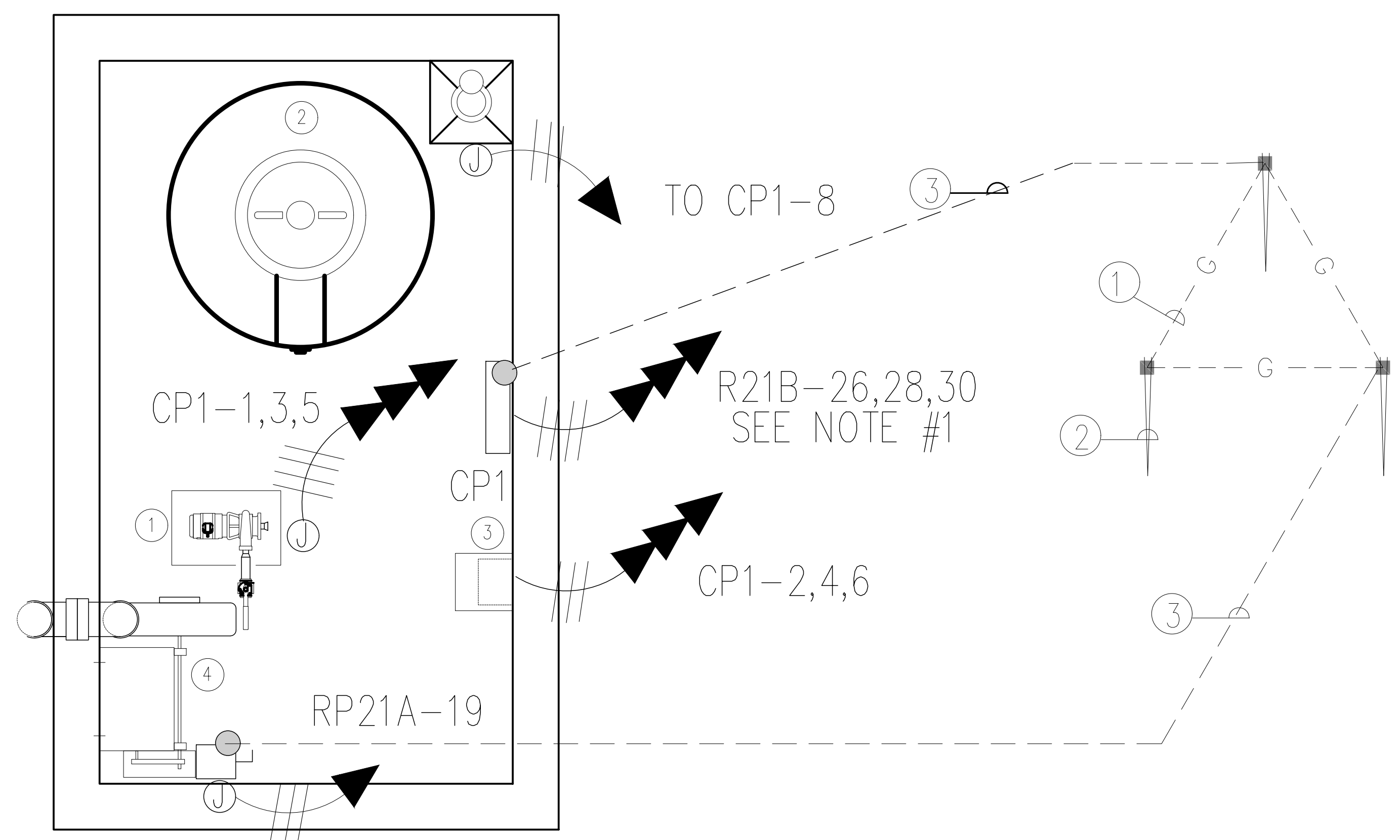
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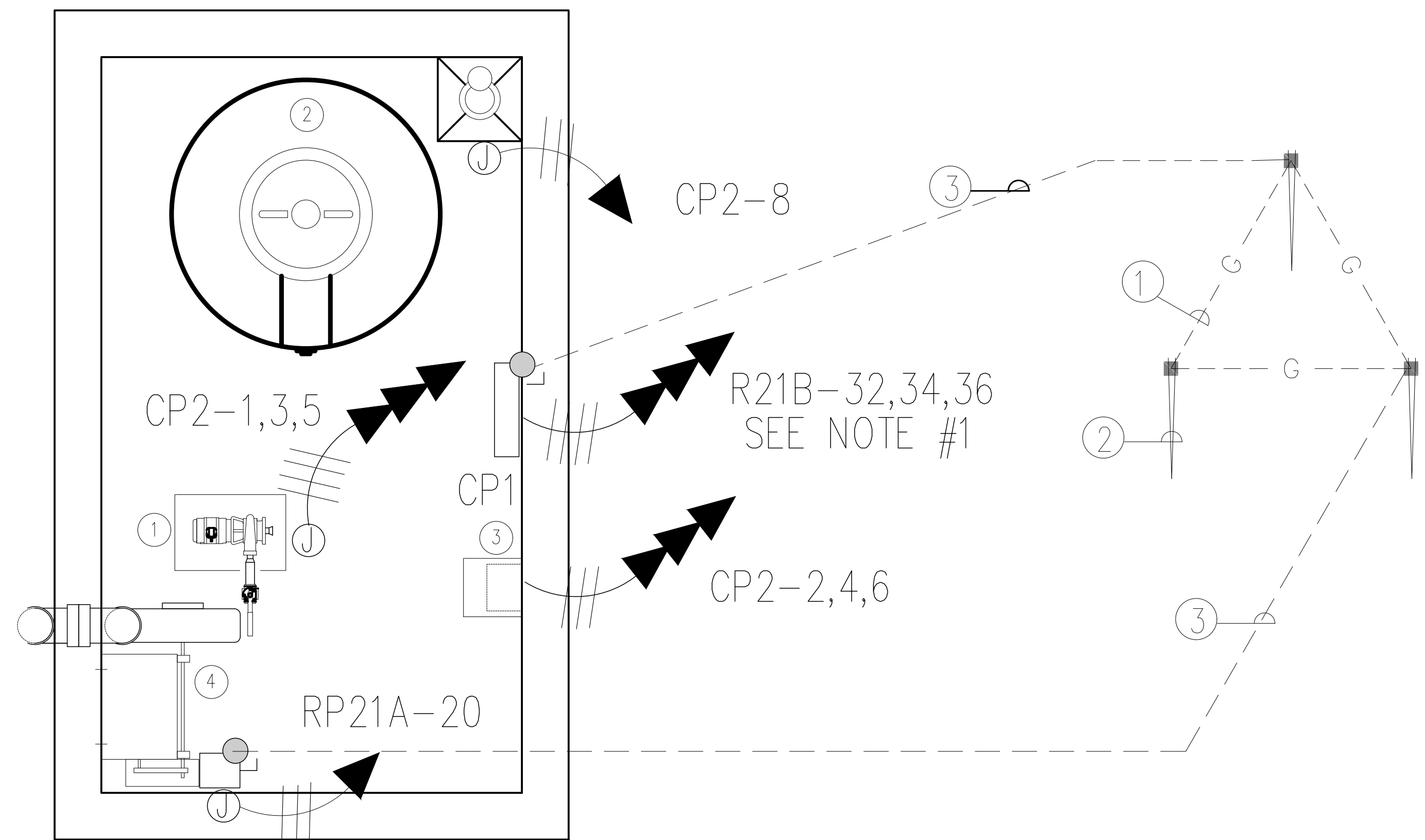
ELECTRICAL CONTROL PANEL(CP1)						
EQUIPMENT DESCRIPTION	TRIP AMPS	POLE	A B C	POLE	TRIP AMPS	EQUIPMENT DESCRIPTION
SUCTION PUMP	20	3	1 2 3 4 5 6 7 8	3	20	DANFOSS AQUA
SPARE	30	1	7	1	20	SUMP PUMP

CONTROL PANEL 3 PHASE 4 WIRE
120/208 VOLTS GROUND BUS - FLUSH MTD.
40 A

14K AIC NEMA 4X, GF



BLOW-UP 1



BLOW-UP 2

VERY IMPORTANTE NOTE:

- CONTRACTOR SHALL RE-USE THE EXISTING 30A/3P BREAKER IN PANEL R21B IF ARE IN GOOD SHAPE. THIS BREAKER SHALL BE DISCONNECTED FROM FOUNTAINS LIGHTING #4 & #5, BECAUSE THESE FOUNTAINS WILL BE DEMOLISHED. SEE MECHANICAL DRAWING FOR DETAILS.
- SEE NOTE 12 IN E-7.0

ELECTRICAL CONTROL PANEL(CP2)						
EQUIPMENT DESCRIPTION	TRIP AMPS	POLE	A B C	POLE	TRIP AMPS	EQUIPMENT DESCRIPTION
SUCTION PUMP	20	3	1 2 3 4 5 6 7 8	3	20	DANFOSS AQUA
SPARE	30	1	7	1	20	SUMP PUMP

CONTROL PANEL 3 PHASE 4 WIRE
120/208 VOLTS GROUND BUS - FLUSH MTD.
40 A

14K AIC NEMA 4X, GF

GROUNDING LEGEND

- DELTA GROUNDING MAT GROUND CONDUCTOR CONSISTING OF 1/0 AWG SOFT DRWAN BARE COPPER CONNECTED WITH EXOTHERMIC CONNECTION EQUAL TO CADWELL INSTALLED AT 12" BELOW FINISH GRADE.
- TYPICAL COPPER CLAD GROUND ROD, 3/4" X 8'-0"
- NEW CONTROL PANEL & DISCONNECT SIDE CONNECTION TO GROUND MAT CONSISTING OF 1#4 IN 1" PVC CONDUIT

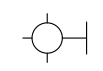
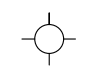
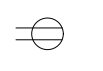

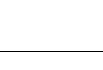


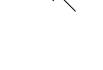

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EXCAVATION AND TRENCH NOTES:

1. APPLICABLE PERMITS
BEFORE STARTING ANY OPERATION IN THE JOB SITE, THE CONTRACTOR SHALL OBTAIN THE PERMITS DOCUMENTATION FROM CONCERNED GOVERNMENTAL AGENCIES. THE CONTRACTOR WILL ALSO BE RESPONSIBLE OF COORDINATING THE NECESSARY JOINT OPERATION, WITH OTHER PUBLIC AND PRIVATE COMPANIES SUCH AS, LUMA., AQUEDUCT AND SEWER, AUTHORITY, PRTC, CABLE T.V., GAS COMPANY, ETC.... WHICH CAN BE AFFECTED WITH THE PROPOSED WORK.
2. ALL PARTIES ASSOCIATED WITH EXCAVATIONS FOR THE CONDUIT AND MANHOLE SYSTEM SHALL FOLLOW WELL-ESTABLISHED SAFETY RULES AND REGULATIONS TO SAFEGUARD THE PUBLIC AND WORKMEN.
3. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING, WARNING SIGNS, LIGHTS, NO PARKING SIGNS, BARRICADES, AND REMOVAL OF EXCESS WATER AND EXCAVATED MATERIAL. FLAGMEN AND GUARDS SHALL BE PROVIDED WHERE REQUIRED TO MAINTAIN SAFE CONDITION FOR THE WORKMEN AND THE PUBLIC.
4. EXCAVATION SHALL BE CLOSED AND/OR BARRICADE FOR PUBLIC PROTECTION PRIOR TO LEAVING THE JOB SITE AT NIGHT WITH WARNING LIGHTS AND GUARDS.
5. NOT MORE THAN 200 FEET OF TRENCH IS TO BE OPEN AT ONE TIME (OR AS SPECIFIED BY THE "CENTRO DE EXCAVACIONES" OR THE DEPARTMENT OF PUBLIC WORKS OR THE MUNICIPAL AUTHORITY.)
6. THE CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR DAMAGES CAUSED BY HIS OPERATION TO STRUCTURES AND SUB-STRUCTURES, TELEPHONE PLANT, BUILDING FOOTINGS, ETC., ON PUBLIC OR PRIVATE PROPERTY. IF THE ORNAMENTAL GRASS, PLANTS OR PRODUCE PLANTS SUFFER ANY DAMAGE THE CONTRACTOR HAS TO REPLACE THEM AT HIS OWN COST.
7. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE RESIDENT ENGINEER IF OBSTRUCTIONS OR OTHER CONDITIONS ARE A COUNTERIED IN THE EXCAVATION WHICH COULD AFFECT THE SIZE OR SHAPE OF THE MANHOLE OR SPICING BOX FROM THAT SHOWN IN THE DETAILED PLANS OR WHICH WOULD HINDER THE PROPER INSTALLATION OF CABLES. A WRITTEN PERMISSION FROM THE UTILITY COMPANY AND FROM THE DESIGNER ENGINEERING OFFICE IS REQUIRED BEFORE DEVIATIONS FROM THE DETAILED PLANS ARE PERMITTED.
8. ALL MANHOLE CONSTRUCTION MUST BE SUPERVISED AND/OR UNDER THE DIRECTION OF A REGISTERED CIVIL ENGINEER, ACTIVE MEMBER OF THE C.I.A.P.R.
9. CONTRACTOR'S BID SHALL INCLUDE ALL COST FOR DEWATERING TRENCH AND SPICING BOX EXCAVATIONS, AS NO ADDITIONAL PREMIUM WILL BE PAID FOR THIS ITEM.
10. IN PAVED AREAS, THE SURFACE SHOULD BE CAREFULLY CUT MECHANICALLY TO PREVENT UNNECESSARY WIDTHS AT THE TOP OF THE TRENCH AND THIS REDUCE THE AMOUNT OF SURFACE THAT MUST BE REPAIRED.
11. THE TRENCH ROUTE AND MANHOLE LOCATION WILL BE CLEARLY MARKED BY THE ENGINEER BEFORE EXCAVATION IS STARTED, WHEN CONSIDERED NECESSARY.
12. IN PREPARING THE TRENCH BED FOR THE CONDUIT INSTALLATION, LEVEL THE TRENCH BED TO FORM AN EVEN BASE. IN SOME CASES IT MAY BE NECESSARY TO PROVIDE SAND OR FINE EARTH TO ESTABLISH AN EVEN BASE. IF, UPON EXCAVATION, THE TRENCH BED APPEARS TO BE INCAPABLE OF FIRMLY SUPPORTING THE CONDUIT, THE ENGINEER WILL DETERMINE WHETHER A CONCRETE BASE IS REQUIRED.
13. THE BASE SPACER SHOULD BE SPACED ALONG THE TRENCH BOTTOM AT NOT MORE THAN 5 FEET ON CENTER. SET THE FIRST TIER OF DUCTS INTO THE SPACER GROOVES, THEN A TIER OF INTERMEDIATE SPACERS, THEN THE SECOND TIER OF DUCTS, ETC. AND FINALLY THE SPACER COVER THE TOP TIER, MARKING CERTAIN THAT EACH TIER OF SPACERS IS SECURELY LOCKED TO THE NEXT LOWER TIER. IF THE FORMATION WILL EXCEED 10 TIERS, PLACE APPROXIMATELY ONE HALF THE TOTAL NUMBER OF TIERS BUT NO MORE THAT 1 SO THAT THE CONCRETE CAN BE POURED IN SUCCESSIVE STAGES.
14. BACK FILLING NEXT TO THE CONDUIT SHALL BE FREE FROM STONES OR OTHER MATERIAL WHICH MIGHT INJURE THE CONDUIT OR CONDUIT JOINTS. LARGE BOULDERS SHALL NOT BE INCLUDED IN ANY PART OF THE BACKFILL. IN TAMPING THE BACKFILL AT THE SIDES OF THE CONDUIT, USE EXTREME CARE NOT TO DAMAGE THE JOINTS OR SHIFT THE CONDUIT STRUCTURE. BACK FILLING AND TAMPING ALONGSIDE THE CONDUIT SHALL BE DONE IN LAYERS ONLY AN INCH OR TWO IN THICKNESS UNTIL THE LEVEL OF THE TOP OF THE CONDUIT IS REACHED. ABOVE THE CONDUIT, TAMP ALL BACKFILL THOROUGHLY IN 6-INCH LAYERS. BACKFILLING AROUND CONDUIT JOINED WITH MORTAL BANDAGES CAN PROCEED AS SOON AS THE JOINTS ARE COMPLETED. TROWELED JOINTS SHALL BE ALLOWED TO SET LEAST 24 HOURS BEFORE BACKFILLING.

15. UPON COMPLETION OF CONDUIT SECTIONS, A TEST MANDREL 3/8-INCH SMALLER IN DIAMETER THAT THE INSIDE DIAMETER OF THE CONDUIT SHALL BE PULLED THROUGH ALL SINGLE DUCT CONDUIT AND THROUGH TWO DIAGONALLY OPPOSITE DUCTS IN MULTIDUCT CONDUIT FORMATION TO ENSURE PROPER ALIGNMENT. IN ADDITION, ALL CONDUITS SHALL BE CLEANED OF LOOSE MATERIALS SUCH AS CONCRETE, MUD, DIRT, STONES, ETC. PULL WIRE (TYPE AS SPECIFIED BY THE ENGINEER) SHALL BE PLACED IN CONDUIT IF SO INDICATED BY THE ENGINEER ON THE CONSTRUCTION DRAWINGS. THE ENDS OF THE CONDUIT SHALL BE SEALED TO PREVENT THE ENTRANCE OF FOREIGN MATTER AND TO PROTECT AGAINST WATER OR GAS FROM ENTERING MANHOLES ALL CONDUIT ENTERING CENTRAL OFFICES OR OTHER IF THE WORK EXTENDS OVER SEVERAL DAYS, THE CONDUITS SHALL BE PLUGGED AT NIGHT TEMPORARILY AND PERMANENTLY UPON COMPLETION OF THE WORK.
16. ALL CEMENT USED IN UNDERGROUND CONSTRUCTION SHALL CONFORM TO THE SPECIFICATION OF THE AMERICAN SOCIETY FOR TESTING AND MATERIALS.
17. AGGREGATES USED IN PREPARATION OF CONCRETE SHALL CONFORM TO THE REQUIREMENTS FOR FINE AGGREGATE AND COARSE AGGREGATE FROM 3/8" TO 1 1/4".
18. IF CONCRETE HAS BEEN DAMAGED BY CRACKING THE CRACKED CONCRETE SHALL BE REMOVE AND REPLACED IN ACCORDANCE WITH THE INSTRUCTIONS OF THE ENGINEER AND THE CONST. INSPECTOR.
19. WHEN MANHOLES ARE CONSTRUCTED IN FLUID SOIL, ADEQUATE DRAINAGE SHALL BE PROVIDED TO PREVENT STATIC WATER PRESSURE ON CONCRETE UNTIL THE CONCRETE HAS PROPERLY HARDENED.
20. EACH MANHOLE, PULL BOX OR SPICING BOX SHALL BE PROVIDED WITH HARDWARE AND EQUIPMENT AS SPECIFIED BELOW AND SHOWN IN THE CONSTRUCTION DRAWINGS.
21. PULLING-IN IRONS SHALL BE PLACED SO AS TO EXTEND INTO THE MANHOLE FARENOUGH TO PERMIT A CLEAR OPENING OF APPROXIMATELY 3 INCHES IN THE EYE.
22. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PERFORM TEST EXCAVATIONS TO LOCATE AND PROTECT ALL SUBSURFACE STRUCTURES. LOCATIONS OF SUCH STRUCTURES SHOWN ON THE PLANS ARE FROM AVAILABLE INFORMATION AND THE EXACT LOCATION SHALL BE VERIFY ON FIELD.
23. ACCESSIBILITY TO FIRE HYDRANTS, FIRE ALARMS BOXES, AND PRIVATE DRIVEWAYS SHALL BE MAINTAINED USING TEMPORARY BRIDGES OVER TRENCH AS REQUIRED.
24. FIRE HYDRANTS, ALARM BOXES AND PRIVATE DRIVEWAYS SHALL REMAIN ACCESSIBLE AT ALL TIMES. STREET AND ROAD CLOSURES MUST BE COORDINATED WITH THE APPROPRIATE AGENCY.
25. ALL MEASUREMENTS ARE APPROXIMATE, FINAL MEASUREMENTS MUST BE POSTED ON A FIELD COPY OF THE DRAWINGS AND RETURNED TO THE DESIGNER ENGINEER UPON COMPLETION OF THE WORK.
26. THE USE OF CURVES IN THE CONDUIT RUN SHALL BE DONE ACCORDING TO THE STANDARD UTILITIES PRACTICES. CONCRETE TO BE USED IN THE INSTALLATION OF CONDUIT SHALL BE 3,000 P.S.I. WITH A SLUMP 0-9.
27. CONCRETE TO BE USED IN THE CONSTRUCTION OF SPICING BOX, MANHOLES AND PULL BOXES SHALL BE 4,000 P.S.I.
28. WHEN THE JOB IS FINISHED, ALL SURPLUS MATERIAL AND DEBRIS SHALL BE CLEARED FROM THE JOB SITE.
29. THE NECESSARY MEANS TO CARRY STORM WATER AWAY FROM THE WORK SHALL BE PROVIDED AND KEPT FROM OBSTRUCTIONS.
30. THE NECESSARY MEANS TO CARRY STORM WATER AWAY FROM THE WORK SHALL BE PROVIDED AND KEPT FROM OBSTRUCTIONS.

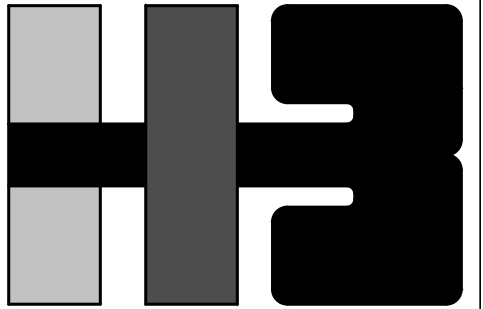
LEGEND:

-  WALL LIGHTING OUTLET, 7'-6" A.F.F. UNLESS OTHERWISE INDICATED IN THE DRAWINGS.
-  4" x 1-1/2" OCTAGONAL OUTLET BOX WITH COVER TO BE INSTALLED AT CEILING OR AT 78" A.F.F.
-  DUPLEX CONVENIENCE RECEPTACLE, GROUND TYPE, NEMA 5-20R, 20 AMP, 125V. AT 1'-6" A.F.F. UNLESS OTHERWISE INDICATED. W.P. MEANS WEATHER PROOF, (G.F. MEANS GROUND FAULT CIRCUIT INTERRUPTER).
-  3/4" EMT CONDUIT IN WALLS OR FLOOR NUMBER OF CONDUCTORS INSIDE, NO CROSSHATCH INDICATES TWO CONDUCTORS.
-  3/4" EMT CONDUIT IN CEILING SLAB INSIDE PLENUM, NUMBER OF CONDUCTORS INSIDE, NO CROSSHATCH INDICATES TWO CONDUCTORS.
-  HOMERUN TO PANELBOARD NUMBER OF ARROWS INDICATES NUMBER OF CIRCUITS INSIDE.
-  PANELBOARD AT 5'-0" A.F.F. AS INDICATED IN SINGLE LINE DIAGRAM.
-  JB BOXES FOR SWITCHES SHALL 2"X4"X3-1/2". LXHXW
-  30 A SAFETY SWITCH- 120V-1P F: 10 OR AS PER MANUFACTURER RECOMMENDATIONS

ELECTRIC GENERAL NOTES:

1. ALL ELECTRICAL OUTLETS INDICATED IN DRAWING SHALL BE INSTALLED AS INDICATED.
2. ALL WIRES AND CABLES SHALL BE THWN/THHN-600V. INSULATION.
3. UNLESS OTHERWISE INDICATED ALL WIRES AND CABLES SHALL BE COPPER.
4. PROVIDE GROUND WIRE IN ALL THE CONDUITS.
5. PROVIDE #12-AWG GREEN JUMPER BETWEEN RECEPTACLE GROUNDING SCREW AND OUTLET BOX GROUNDING SCREW.
6. UNLESS OTHERWISE INDICATED ALL CONDUITS SHALL BE 3/4" IN DIAMETER MINIMUM.
7. ALL UNDERGROUND CONDUIT COUPLING SHALL BE WATERTIGHT.
8. PROVIDE AN EXPANSION JOINT COUPLING OF THE REQUIRED TYPE AND SIZE WHENEVER A CONDUIT CROSSES AN EXPANSION JOINT.
9. PROVIDE PLASTIC CONDUIT DIVIDERS IN ALL UNDERGROUND CONDUIT RUNS, MAXIMUM DISTANCE BETWEEN DIVIDERS TO BE 4'-0".
10. CONTRACTOR MUST MAKE SURE THAT THE ENTIRE ELECTRICAL SYSTEM HAS GROUND CONTINUITY.
11. ALL THE ELECTRICAL INSTALLATION SHALL BE DONE IN A NEAT & WORKMANLIKE MANNER, ACCORDING TO THE LAST EDITION OF THE NATIONAL ELECTRICAL CODE, THE PUERTO RICO ELECTRIC POWER AUTHORITY LATEST STANDARD & THE PUERTO RICO TELEPHONE CO. LATEST PRACTICES.
12. THE CONTRACTOR SHALL VISIT THE JOB SITE AND BECOME ACQUAINTED WITH THE EXISTING FIELD CONDITIONS. IT SHALL BE THE DIRECT RESPONSIBILITY OF THE CONTRACTOR TO BRING PROMPTLY TO THE ATTENTION OF THE ENGINEER ANY DISCREPANCIES BETWEEN THE EXISTING FIELD CONDITIONS AND THOSE THAT WERE USED FOR DESIGN PURPOSES. THIS SHALL BE DONE BEFORE THE CONTRACTOR SUBMITS HIS BID, SO THAT THE ENGINEER CAN RENDER A DECISION ON THE MATTER BEFORE THE BIDS ARE RECEIVED. THE SUBMITTAL OF THE BID BY THE CONTRACTOR WILL BE HELD AS PROOF THAT CONTRACTOR UNDERSTANDS THOROUGHLY AND COMPLETELY THE SCOPE OF THE WORK INVOLVED, HAS FAMILIARIZED HIMSELF WITH THE EXISTING FIELD CONDITIONS, AND HAS INCLUDED IN HIS BID ALL THE ITEMS NECESSARY TO PERFORM THE ELECTRICAL WORK. NO ALLOWANCE WILL BE PERMITTED ON THIS MATTER AFTER THE BIDS ARE RECEIVED.
13. UNLESS OTHERWISE INDICATED ALL OUTLETS SHALL BE FLUSH MOUNTED AND SHALL HAVE THEIR OWN INDEPENDENT OUTLET BOXES. MINIMUM SIZE OF OUTLET BOX TO BE 4" SQUARE & 1 1/2" DEEP. EXACT SIZE OF OUTLET BOX SHALL BE DETERMINED ACCORDING TO THE MAXIMUM NUMBER OF CONDUCTORS IN THE BOX PER N.E.C. ARTICLE 314-SECTION 16. NOT FOR A/V PURPOSES.
14. ALL INDICATED HEIGHTS ARE FROM CENTER OF BOX TO FINISHED FLOOR.
15. CONTRACTOR SHALL BALANCE ALL LOADS.
16. ROUTE OF CONDUITS SHOWN IN THE LAYOUT IS SCHEMATIC AND INTENDED ONLY TO INDICATE INTERCONNECTIONS BETWEEN OUTLETS. EXACT CONDUIT ROUTING SHALL BE DETERMINED AT THE JOB SITE TO CONFORM WITH THE STRUCTURAL CONDITIONS AND SHALL BE SUBJECT TO THE FINAL APPROVAL OF THE ARCHITECT/ENGINEER.
17. LEAVE A #12-AWG-TW FISHWIRE IN ALL EMPTY CONDUITS.
18. ALL PANELBOARDS AND LOAD CENTERS SHALL BE PROVIDED WITH A FACTORY INSTALLED GROUND BUS FOR CONNECTING TO GROUND ALL THE GROUND WIRES OR CABLES ENTERING OR LEAVING THE PANELBOARD. THE GROUND BUS SHALL BE SIMILAR IN SIZE AND CHARACTERISTICS TO THE NEUTRAL BUS. ALL PANELBOARDS SHALL HAVE A MONOFLAT FRONT AND KEY LOCK.
19. WHEN TWO OR MORE WIRING DEVICES ARE SHOWN TOGETHER IN ADJACENT POSITIONS AND AT THE SAME HEIGHT, THEY SHALL BE INSTALLED IN A MULTIPLE GANG. OUTLET BOX OF THE PROPER SIZE SO THAT ONLY ONE RAISED COVER PLATE OF THE REQUIRED TYPE AND SIZE ARE USED. 120V AND 277V OUTLETS SHALL BE IN SEPARATE BOXES, SHOULD THAT BE INDICATING SWITCHES.
20. UNLESS OTHERWISE INDICATED, ALL WIRING DEVICES SHALL BE WHITE COLORED WITH 302 STAINLESS STEEL COVER PLATES, EXCEPT THE WEATHERPROOF OUTLETS WHICH SHALL HAVE THEIR STANDARD GRAY COVER PLATES.
21. WHEN TWO OR MORE PANELBOARDS OR CABINETS ARE SHOWN TOGETHER IN ADJACENT LOCATIONS, THE TOP OF ALL PANELBOARDS OR CABINETS SHALL BE ALIGNED WITH THE TOP OF THE BIGGEST ONE SO THAT ALL THE TOPS ARE AT EXACTLY THE SAME HEIGHT FROM THE FINISHED FLOOR.
22. IN CONDUIT RUNS, THE NUMBER OF ARROWS DESIGNATE THE NUMBER OF CIRCUITS IN THE CONDUIT (ONE POLE IN THE PANELBOARD PER EACH CIRCUIT), THE NUMBER OF LINES DESIGNATE THE NUMBER OF CONDUCTORS IN THE CONDUIT, THE LONGER LINE BEING A NEUTRAL CONDUCTOR AND "1" BEING THE GROUND CONDUCTOR.
23. TELEPHONE TERMINALS CABINET SHALL BE APPROVED EQUAL TO COLUMBIA METAL TYPE "PF" WITH THE DOOR HINGES, LOCK AND 3/4" PLYWOOD BACKBOARD COVER AT THE BOTTOM OF THE CABINET.
24. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE VOLTAGE CHARACTERISTICS AT THE SITE WITH PREPA AT THE TIME OF INSTALLATION BEFORE ORDERING ANY PRIMARY EQUIPMENT.
25. ALL WIRING DEVICES SHALL BE SPECIFICATION GRADE.
26. ALL THE SELF-STANDING AND SURFACE MOUNTED ELECTRICAL EQUIPMENT AS WELL AS THE RESTRAINT MANUAL GUIDELINES FOR MECHANICAL SYSTEMS, THE SAME APPLIES TO ALL THE CONDUIT WORK. THE DETAILS AND INSTALLATION METHODS IN SAID MANUAL SHALL BE MODIFIED AS REQUIRED TO FIT THE ELECTRICAL INSTALLATION OF THE PROJECT.
27. FOR FINAL LOCATION OF MECHANICAL EQUIPMENT SEE CORRESPONDING MECHANICAL AND ARCHITECTURAL DRAWINGS. CONTRACTOR TO RELOCATE ELECTRICAL ROUGH-IN ACCORDINGLY AT NO ADDITIONAL COST TO OWNER.
28. CONDUIT WORK:
 - A. ALL CONDUITS INSTALLED UNDERGROUND SHALL BE PVC SCHEDULE 40.
 - B. ALL CONDUITS INSTALLED EMBEDDED IN FLOOR SLABS WHICH ARE IN DIRECT CONTACT WITH THE EARTH SHALL BE PVC SCHEDULE 40.
 - C. ALL CONDUITS INSTALLED EMBEDDED IN WALLS, CEILING SLABS AND IN FLOOR SLABS WHICH ARE NOT IN DIRECT CONTACT WITH THE EARTH SHALL BE RIGID.
 - D. ALL CONDUITS INSTALLED IN THE AREA BETWEEN HUNG CEILINGS AND CEILING SLABS OR METAL DECKS SHALL BE RIGID.
 - E. ALL CONDUITS INSTALLED EXPOSED IN INDOOR AREAS SHALL BE RIGID.

- A. ALL 20 AMPERES, 120VOLT CIRCUIT RUNS SHALL BE AS FOLLOWS:
 - 5' TO 100' IN LENGTH, #12-AWG.
 - 100' TO 200' IN LENGTH, #10-AWG.
 - 200' TO 300' IN LENGTH, #8-AWG.
 - 300' TO 400' IN LENGTH, #6-AWG.
30. ALL PENDANT MOUNTED LUMINARIES SHALL BE INSTALLED USING STEMS, 2 STEMS PER EACH 4" LUMINARY. STEMS SHALL BE PAINTED OF THE COLOR REQUIRED BY THE ARCHITECT.
31. ALL PENETRATIONS THROUGH THE FLOORS, CONNECTING TWO OR MORE LEVELS SHALL BE FIRE RATED AND SMOKE TIGHT-SEALED IN ACCORDANCE WITH THE REQUIREMENTS OF IBC WITH APPROVED FIRE STOPPING MATERIALS.
32. THE CONTRACTOR SHALL CONSIDER IF THERE EXIST ANY ELECTRICAL DEVICE OR EQUIPMENT INSIDE THE WALL OR WALLS IN CONTRACT TO BE DEMOLISHED AND SHALL CONNECT THEM TO THE NEAREST ELECTRICAL FACILITY, BUT BEFORE THAT, THE CONTRACTOR SHALL VERIFY IF CIRCUITS DONT HAVE ANY PROBLEMS OF POSSIBLE OVERLOAD.
33. NO "UF" TYPE CONDUCTOR ALLOWED. ALL DROPS TO FIXTURES AND EQUIPMENT TO BE DONE IN FLEXIBLE METALLIC CONDUIT, SIZE, MAXIMUM LENGTH AND TYPE AS PER NEC AND TO OTHER EQUIPMENT AS REQUIRED BY CODES.
34. ALL EQUIPMENT AND MATERIAL TO BE NEW, THROUGHOUT AND AS PER NEMA AND U.S. STANDARDS AND APPROXIMATELY LABELED ALSO FOR EXISTING EQUIPMENT.
35. CONTRACTOR SHALL COORDINATE ALL OF HIS WORK, SHIPPING OR CUTTING, ETC. WITH EXISTING SERVICES AND UTILITIES AND WITH OWNER, OWNER'S ENGINEER, LANDLORD OR REPRESENTATIVE. THE CONTRACTOR IS REQUIRED TO VISIT THE PROJECT AND REPORT HIS COMMENTS BEFORE BIDDING. OWNER'S GENERAL CONDITIONS SHALL FORM PART OF THIS PHASE.
36. EQUIPMENT TO BE SUPPLIED AND INSTALLED BY OWNER AND OTHER TRADES OR CONTRACTORS TO HAVE INTEGRAL OVERLOAD PROTECTION, DISCONNECTING MEANS AND GROUND FAULT PROTECTION WHERE REQUIRED. POWER FACTOR FOR ALL EQUIPMENT TO BE ABOVE REQUIRED BY THE PUERTO RICO ENERGY CODE.
37. CONTRACTOR TO SUBMIT FOR APPROVAL ALL EQUIPMENT, LIGHTING FIXTURES, BUS DUCTS, TRANSFORMERS, PANELS, CONDUITS, FITTINGS, RECEPTACLES AND ANY OTHER ELECTRICAL MATERIALS REQUIRED FOR THE WORK TO BE PERFORMED.
38. THE ELECTRICAL INSTALLATION, MATERIALS AND METHOD OF WORK SHALL BE IN COMPLETE ACCORDANCE WITH LATEST PREPA, NEC OF P.R., PRLD, OSHA, ARPE AND OTHER AGENCIES APPLICABLE CODES AND REGULATIONS FOR SAID TYPE OF WORK AND SHALL BE SUBMITTED TO OWNER FOR APPROVAL. COORDINATION WITH OWNER'S REPRESENTATIVE IS MANDATORY
39. ALL RECEPTACLES AND SWITCHES SHALL BE HEAVY DUTY SPECIFICATION GRADE OF THE COLOR TO BE CHOSEN BY ARCHITECT. ALL WALL PLATES TO BE HEAVY DUTY STAINLESS STEEL.
40. ALL CONDUITS SHALL BE SECURELY FASTENED TO OUTLET BOXES OR CABINETS WITH ONE BUSHING AND TWO LOCKNUTS, ONE INSIDE AND THE OTHER OUTSIDE THE BOX OR CABINET OR FIXTURE AND INSULATED BUSHING ON CONDUITS 1-1/4" DIAMETER AND LARGER SHALL BE USED.
41. CONTRACTOR TO COLOR CODE ALL WIRING AS SHOWN:
 - A. ALL FEEDERS AT 277/480 VOLTS TO BE ORANGE, YELLOW, BROWN.
 - B. ALL FEEDERS AT 120/208 VOLTS TO BE RED, BLUE, BLACK.
 - C. ALL SWITCH RETURNS TO BE PURPLE, VIOLET, LIGHT BLUE.
 - D. ALL NEUTRAL CONDUCTORS TO BE WHITE.
 - E. ALL GROUND CONDUCTORS TO BE GREEN.
42. COORDINATION IS MANDATORY IN THIS PROJECT. CONTRACTOR MUST COORDINATE ALL HIS WORK WITH ARCHITECT/ENGINEER AND OWNER'S REPRESENTATIVE.
43. CONTRACTOR TO SUPPLY ALL 120 VOLTS CONTROL NEEDS TO AIR CONDITIONING VALVES, CONTROL PANELS, DAMPERS VARIABLE VOLUME BOXES AND ANY AND ALL CONTROL VOLTAGE NEEDS AS PART OF THIS CONTRACT WHETHER SHOWN OR NOT ON THIS PLANS.
44. ALL DUCT SMOKE DETECTORS SHALL BE SUPPLIED BY ELECTRICAL CONTRACTOR AND INSTALLED IN DUCT BY DUCT SUPPLIER/INSTALLER, CONNECTION TO FIRE ALARM SYSTEM OF DUCT DETECTORS BY ELECTRICAL CONTRACTOR.
45. CONTRACTOR SHALL COMPLY WITH UNIFORM BUILDING CODE (UBC) FOR LIGHTING FIXTURE INSTALLATION IN HUNG CEILINGS FOR SEISMIC ZONE 3 COMPLIANCE. ALL FIXTURES TO HAVE CALIFORNIA CLIPS TO HOLD FIXTURES TO HUNG CEILING AND ALL FIXTURES TO BE INDEPENDENTLY SUPPORTED FROM THE STRUCTURE AS REQUIRED. UNIFORM BUILDING CODE STANDARD 25-2 DESCRIBES CONSTRUCTION METHODS THAT MAY BE USED FOR LIGHT HEIGHT SUSPENDED CEILINGS. THESE STANDARDS SHALL BE USED AS GUIDE FOR SUPPORTING OF BOTH THE SUSPENDED CEILING AND THE LIGHTING FIXTURES.
46. THE ELECTRICAL INSTALLATION SHALL BE IN COMPLETE ACCORDANCE WITH ART.680: "SWIMMING POOLS, FOUNTAINS, AND SIMILAR INSTALLATION", ESPECIALLY RELATED TO THE GROUNDING SYSTEM.



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PSC, ARCHITECTS**
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ARCHITECT'S SEAL
ISTRA HERNANDEZ DE BAUZA
ARCHITECT LICENSE No.7399

CONSULTANT'S SEAL

YO, MILDRED G. PEREZ ROSADO, INGENIERA LICENCIADA #10287, CERTIFICADO QUE SOY EL PROFESIONAL QUE DISEÑO O ESTOS PLANOS Y LAS ESPECIFICACIONES COMPLEMENTARIAS TAMBIEN, CERTIFICADO QUE ENTENDI QUE DICHS PLANOS Y ESPECIFICACIONES CUMPLEN CON LAS DISPOSICIONES APPLICABLES DEL REGLAMENTO CONSULTADO Y LAS DISPOSICIONES APPLICABLES DE LOS REGLAMENTOS Y CÓDIGOS DE CONSTRUCCION VIGENTES DE LAS AGENCIAS, JUNTA REGULADORA DE CORPORACIONES PUBLICAS CON JURISDICCION Y ESTAN EN CONFORMIDAD CON LOS CÓDIGOS DE CONSTRUCCION DE PUERTO RICO 2018 VIGENTE AL 15 DE NOVIEMBRE DE 2018, CERTIFICADO, ADEMÁS, QUE EN LA PREPARACION DE ESTOS PLANOS Y ESPECIFICACIONES SE HA CUMPLIDO CABALMENTE CON LO DISPUESTO EN LA LEY NÚM. 14 DE 8 DE ENERO DE 2004, SEGÚN ENMIENDADA, CONOCIDA COMO LA "LEY PARA LA INVERSIÓN POR LA INDUSTRIA PUERTORRIQUEÑA" Y CON LA LEY NÚM. 315 DE 15 DE MAYO DE 1938, SEGÚN ENMIENDADA, LEY NÚM. 96 DE 6 DE JULIO DE 1978, SEGÚN ENMIENDADA, SEGÚN APÚLIQUE RECONOCIDO QUE CUICUIQUIER DECLARACIÓN FALSA O FALSIFICACIÓN DE LOS HECHOS QUE SE HAYA PRODUCIDO POR DESCONOCIMIENTO O POR NEGLIGENCIA YA SEA POR MI, MIS AGENTES O EMPLEADOS, O POR OTROS PERSONAS CON MI CONSENTIMIENTO, ME HACER RESPONSABLE DE CUALQUIER ACCIÓN JUDICIAL Y DISCIPLINARIA POR LA OPE.

CLIENT
MANAGER
DEPT. OF URBAN DESIGN AND PROJECT DEVELOPMENT, MASJ.
OWNER
AUTONOMOUS MUNICIPALITY OF SAN JUAN

PROJECT
DRAWING NAME

NOTES & LEGEND

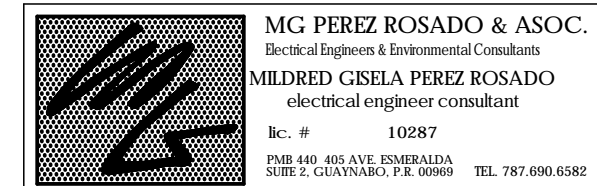
COMPUTER PLOT
THIS DRAWING WAS DRAFTED ON A CAD SYSTEM ALL CHANGES OR CORRECTIONS MUST BE STRICTLY EXECUTED ON CAD. ANY QUESTIONS PLEASE CONTACT HERNANDEZ-BAUZA

NO.	DATE	REVISION	BY	APPROVED

PROJECT
DRAWN BY/CHECKED BY
MPR I.H.

NUMBER	TOTAL
62	62

DRAWING NUMBER
E-6.0



MG PEREZ ROSADO & ASOC.
Electrical Engineer & Environmental Consultant
MILDRED GISELA PEREZ ROSADO
electrical engineer consultant
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P.O. BOX 361090 SAN JUAN, PUERTO RICO 00936-1090 TEL. 787.690.6082



GOVERNMENT OF PUERTO RICO

STATE HISTORIC PRESERVATION OFFICE

Executive Director | Carlos A. Rubio Cancela | carubio@prshpo.pr.gov

Monday, December 9, 2024

Lauren B Poche

269 Avenida Ponce de León, San Juan, PR, 00917

SHPO-CF-11-26-24-06 PR-CRP-000924 (San Juan), Plaza de la Convalecencia & Plaza del Pilar

Dear Ms. Poche,

Our Office has received and reviewed the above referenced project in accordance with 54 USC 306108 (commonly known as Section 106 of the National Historic Preservation Act, as amended) and 36 CFR Part 800: Protection of Historic Properties from the Advisory Council on Historic Preservation. The State Historic Preservation Officer (SHPO) is to advise and assist federal agencies and other responsible entities when identifying historic properties, assessing effects upon them, and considering alternatives to avoid or reduce the project's effects.

After a review of all the documentation provided, the PRSHPO agrees with your finding that the proposed project will have no adverse effect upon historic properties pursuant that the following conditions proposed by the agency are met:

1. Archaeological monitoring for all ground-disturbing activities within Plaza del Pilar and the west half of Plaza de la Convalecencia (from Brumbaugh Street to the midpoint).
2. Design plans must respect the historic character of the surrounding NRHP-listed/eligible historic properties and the NRHP-eligible Río Piedras TUC.
3. An archaeological monitoring plan will be prepared and submitted to the PRSHPO for review and concurrence of the appropriateness of its implementation for this undertaking. Please note that should the Agency discover any historic properties including archaeological findings at any point during project implementation, you should notify the SHPO immediately. If you have any questions concerning our comments, do not hesitate to contact our Office.



Cuartel de Ballajá (Tercer Piso), Calle Norzagaray, Esq. Beneficencia, Viejo San Juan, PR 00901 | PO Box 9023935, San Juan, PR 00902-3935

Sincerely,



Carlos A. Rubio Cancela

State Historic Preservation Officer

CARC/GMO/ SG



Cuartel de Ballajá (Tercer Piso), Calle Norzagaray, Esq. Beneficencia, Viejo San Juan, PR 00901 | PO Box 9023935, San Juan, PR 00902-3935



GOVERNMENT OF PUERTO RICO
DEPARTMENT OF HOUSING

April 30, 2024

Arch. Carlos A. Rubio Cancela

Executive Director

Puerto Rico State Historic Preservation Office

Cuartel de Ballajá, Third Floor

San Juan, Puerto Rico 00901

Re: Authorization to Submit Documents for Consultation

Dear Arch. Rubio Cancela,

The U.S. Department of Housing (HUD) approved the allocations of Community Development Block Grant (CDBG-DR) funds on February 9, 2018. It also approved the allocation of Community Development Block Grant Mitigation (CDBG-MIT) funds on January 27, 2020. The purpose of these allocations is to address unsatisfied needs as a result of Hurricanes Irma and Maria in September 2017; and to carry out strategic and high-impact activities to mitigate disaster risks and reduce future losses.

To comply with the environmental requirements established by HUD, the Department of Housing of Puerto Rico (PRDOH) contracted Horne Federal LLC to provide environmental review services, among others, that will support the objectives of the agenda for both CDBG-DR and CDBG -MIT Programs.

To expedite the processes, Horne Federal LLC, is authorized to submit to the State Historic Preservation Officer, documentation of projects related to both the CDBG-DR and CDBG-MIT on behalf of PRDOH.

Cordially,

Aldo A. Rivera Vázquez, PE

Director

Division of Environmental Permitting and Compliance

Office of Disaster Recovery

November 26, 2024

Carlos A. Rubio Cancela
State Historic Preservation Officer
Puerto Rico State Historic Preservation Office
Cuartel de Ballajá (Tercer Piso)
San Juan, PR 00902-3935

**Puerto Rico Disaster Recovery, CDBG-DR City Revitalization (City-Rev) Program
Section 106 NHPA Effect Determination Submittal for PR-CRP-000981, Gallery
Plaza Isabela, Isabela, Puerto Rico – *No Adverse Effect, Conditioned***

Dear Architect Rubio Cancela,

On February 9, 2018, an allocation of Community Development Block Grant - Disaster Recovery (CDBG-DR) funds was approved by the United States Department of Housing and Urban Development (HUD) under the Federal Register Volume 83, No. 28, 83 FR 5844, to assist the Commonwealth of Puerto Rico in meeting unmet needs in the wake of Hurricanes Irma and Maria. On August 14, 2018, an additional \$8.22 billion recovery allocation was allocated to Puerto Rico under the Federal Register Volume 83, No. 157, 83 FR 40314. With these funding allocations, the Puerto Rico Department of Housing (PRDOH) aims to lead a comprehensive and transparent recovery for the benefit of Puerto Rico residents. To faithfully comply with HUD's environmental requirements, PRDOH contracted Horne Federal, LLC (HORNE) to provide environmental records review services that will support their objectives for the CDBG-DR funds.

On behalf of PRDOH, HORNE is submitting documentation for the proposed Improvements to Plaza del Pilar and the Plaza de la Convalecencia, both located in the Río Piedras Traditional Urban Center. The Municipality of Río Piedras proposes to rehabilitate both plazas. Demolition and reconstruction activities at both plazas include pavers and pavements, concrete planters, low concrete walls, stairs, ADA ramps, sidewalks and curbs, trash receptacles, benches, installation of dog waste stations, removal and replacement of bollards, removal, and relocation of parking areas, repainting of pedestrian crossings, new landscaping, and replacement, cleaning, and repainting of light poles.

Additional proposed activities at Plaza del Pilar include the removal and storage of one sculpture and the demolition of the sculpture's concrete base and fence; the sculpture will be reinstalled on a

concrete planter; and the installation of four new domino tables and one dinner table. Additional proposed activities on the west side of the Plaza de la Convalecencia include the installation of interactive water fountains, the repair of existing water fountains and associated equipment, the removal of artificial grass, the removal and relocation of a play area, and the cleaning and repainting of planters. Additional activities at the east side of Plaza de la Convalecencia include the demolition of the concrete skate sculpture, the restoration of missing tiles, and the replacement of damaged stainless-steel tubes of the sculpture inside the traffic island on Camelia Soto Street.

The full scope of the project is described in the submitted documentation, which includes mapping, photographs, and the 90% construction plans. Based on the provided documentation, the Program requests a concurrence with a determination that "**No Adverse Effect**" is appropriate for this undertaking, conditioned to (1) archaeological monitoring for all ground-disturbing activities for all ground-disturbing activities within Plaza del Pilar and the west half of Plaza de la Convalecencia (from Brumbaugh Street to the midpoint). and (2) design plans must respect the historic character of the surrounding NRHP-listed/eligible historic properties and the NRHP-eligible Río Piedras TUC. If this condition is deemed appropriate, an archaeological monitoring plan will be prepared and submitted to the PRSHPO for review and concurrence of the appropriateness of its implementation for this undertaking.

If you have any questions or concerns, please contact me by email at lauren.poche@horne.com or phone at 225-405-7676.

Kindest regards,


A handwritten signature in cursive script that reads 'Lauren B. Poche'.

Lauren Bair Poche. M.A.

Architectural Historian, EHP Senior Manager

LBP/JCO

Attachments

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (City-Rev) Section 106 NHPA Effect Determination	
Subrecipient: Municipality of San Juan	
Project ID Number: PR-CRP-000924	
Project Name: Improvements to Plaza de la Convalecencia and Plaza del Pilar	


Project Location: Ponce de León Avenue (State Road PR-25), Arzuaga Street, Georgetti Street, Brumbaugh Street, and Camelia Soto Street, Río Piedras Ward, San Juan PR 00925	
Project Coordinates: 18.397993, -66.052261 (Plaza del Pilar); 18.397578, -66.050587 (Plaza de la Convalecencia)	
TPID (Número de Catastro): 087-012-560-01	
Type of Undertaking: <input checked="" type="checkbox"/> Substantial Repair/Improvements <input type="checkbox"/> New Construction	
Construction Date (AH Est.): 1823	Property Size (Acres): 2.17

SOI-Qualified Architect/Architectural Historian: Heidi J. Dilan; edited by Jorge Lizardi Pollock, Ph.D.
Date Reviewed: January 22, 2024; November 12, 2024
SOI-Qualified Archaeologist: Maritza Torres Martínez; edited by Jesus E. Vega, Ph.D.
Date Reviewed: April 30, 2024; November 12, 2024

In compliance with Section 106 of the National Historic Preservation Act (NHPA), the Program is responsible for identifying historic properties listed in the NRHP and any properties not listed that would be considered eligible for listing that are located within the geographic area of potential effects (APE) of the proposed project and assessing the potential effects of its undertakings on these historic properties.


Project Description (Undertaking)

The Municipality of San Juan proposes the rehabilitation of Plaza del Pilar and Plaza de la Convalecencia, both located in the Río Piedras Traditional Urban Center. According to the 90% completed construction drawings submitted by Hernández-Bauzá PSC Architects, the following demolitions are proposed for Plaza del Pilar: demolition of concrete pavement and pavers; demolition of three concrete pergolas with wood-framed gable roofs along the north side to northeast corner; scarification and replacement of all fourteen planters across Plaza del Pilar; demolition and reconstruction of concrete low wall around rectangular planters flanking the central stairs toward the vestibule of Nuestra Señora del Pilar Church; demolition of six handicapped ramps on all four corners; demolition of concrete L-shaped stairs and handrails on the northwest corner and central stairs toward

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (City-Rev) Section 106 NHPA Effect Determination	 <small>GOVERNMENT OF PUERTO RICO DEPARTMENT OF HOUSING</small>
Subrecipient: Municipality of San Juan	
Project ID Number: PR-CRP-000924	
Project Name: Improvements to Plaza de la Convalecencia and Plaza del Pilar	


the vestibule of Nuestra Señora del Pilar Church; demolition of concrete curb portions along the east side, including the northeast and southeast corners; demolition of two concrete vehicular ramps, on the south-center side, perpendicular to the façade of Nuestra Señora del Pilar Church, and southeast corner; removal of bus stop on the west side and delivery to the Municipality of San Juan; removal and storage of sculpture in front of Nuestra Señora del Pilar Church; demolition of sculpture base and surrounding fence; demolition and reconstruction of concrete low wall surrounding two square-shaped planters on the north side and northeast corner; demolition of concrete slabs inside three rectangular planters along the north side; partial demolition of two planters to widen pedestrian access on the north-center side, perpendicular to the façade of Nuestra Señora del Pilar Church; demolition of two concrete telephone booths on the northeast and southeast corners; demolition of sidewalk portion and construction of a new access ramp on the north-center side, perpendicular to the façade of Nuestra Señora del Pilar Church; removal of four bollards, three on the north-center side surrounding a concrete pergola with wood-framed gable roof and one on the south-center side inside a rectangular concrete planting area; removal of two trash receptacles on the north-center side and northeast corner; signage and granite base for the Río Piedras Train Station will remain; demolition of concrete ramp at the lateral entrance to the south transept of Nuestra Señora del Pilar Church; and saw-cut of entry steps at the lateral entrance to the nave from the south side of Nuestra Señora del Pilar Church. For a more detailed view of the proposed demolition plan for Plaza del Pilar, refer to Drawing DS-1.1 (Figure 1).

Additionally, the following constructions are proposed for Plaza del Pilar: construction of new concrete pavement with broom finish throughout Plaza del Pilar; installation of fifteen pre-fabricated concrete bench above low walls of all existing planters, excluding those flanking the north sidewalk; construction of eight handicapped ramps on all four corners and north and south sidewalks; construction of four mountable curbs on the south sidewalk, to the rear of Nuestra Señora del Pilar Church, and on the northeast and southeast corners; construction of rectangular concrete planters along the south sidewalk and east sidewalks, excluding the northeast corner; installation of pre-cast concrete bench on rectangular planters flanking the central stairs toward the vestibule of Nuestra Señora del Pilar Church; construction of new stairs on the northwest corner; construction of new central stairs toward the vestibule of Nuestra Señora del Pilar Church; construction of two parking areas with four parking spots on the northeast and southeast corners; installation of four pre-cast concrete domino tables between two rectangular concrete planters to the south of the nave of Nuestra Señora del Pilar Church; installation of metal bollards on the west side between two concrete rectangular planters, on the north-center side in front of the new pedestrian

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crossing, between the concrete mountable curbs and parking areas on the northeast and southeast corners, and on the south-center side flanking one of the concrete vehicular ramps; installation of pre-cast concrete dinner table between the four domino tables to the south of the nave of Nuestra Señora del Pilar Church; construction of new planter portions flanking the new pedestrian crossing on the north-center side; cleaning, repairing, and painting of most of the existing concrete planters, excluding the two rectangular planters flanking the central stairs toward the vestibule of Nuestra Señora del Pilar Church; reinstalment of the sculpture in front of Nuestra Señora del Pilar Church to the rectangular concrete planter north of the central stairs toward the vestibule of Nuestra Señora del Pilar Church; repainting of five pedestrian crossing lines on all four corners; painting of two new pedestrian crossing lines on the north-center and south-center sides; installation of new low-wall extension with galvanized steel channel for skateboarding on two rectangular concrete planters flanking the sidewalk to the north of Nuestra Señora del Pilar Church; reinstalment of two light poles between two rectangular planters north of the nave of Nuestra Señora del Pilar Church; installation of new bike racks on the northwest and southeast corners; installation of thirteen trash receptacles along every sidewalk and two more flanking the central stairs toward the vestibule of Nuestra Señora del Pilar Church; installation of dog waste station within the rectangular concrete planter adjacent to the north side of the vestibule and nave of Nuestra Señora del Pilar Church; installation of new bus stop on the west-center side; and application of exposed aggregate pavement on the north and south sidewalks. For a more detailed view of the proposed construction plan for Plaza del Pilar, refer to Drawing AS-2.0 (Figure 2).


The following demolitions are proposed for the west half of Plaza de la Convalecencia, extending from Brumbaugh Street to the midpoint: cleaning of two water fountains on the northwest and southwest corners, including removal of stone, wood panel vegetation and metal grills; reinstalment of pavers displaced by tree roots, in three rectangular areas north and south of the central planting area; demolition of water fountain between the two central planting areas, including removal of piping, pump, and casing; demolition of play area and rubber pavement between the two central planting areas; relocation of concrete domino and ping-pong tables and benches between the two central planting areas and on the southeast corner; removal, cleaning, and storage of granite stone in concrete circular planter between the two central planting areas; removal of artificial grass on the northeast corner and relocation of playground equipment on the northeast corner; demolition of concrete ramp and a portion of planter on the pedestrian entrance to the underground parking garage; partial demolition of planter on one of the central planting areas and on the pedestrian entrance to the underground parking garage; removal of

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tiling, piping grilles, and fountain equipment for the two fountains on the east side; removal of metal guardrail on one of the central planting areas, pedestrian entrance to the underground parking garage, and northeast corner; and replacement of broken pavers, removal of vegetation by hand or herbicides throughout the west half of Plaza de la Convalecencia. For a more detailed view of the proposed demolition plan for the west half Plaza de la Convalecencia, refer to Drawing DS-1.2 (Figure 3).

Additionally, the following constructions are proposed for the west half of Plaza de la Convalecencia: repair of water fountains with cleaning and sealing of marble slab, on the northwest and southwest corners; installation of interactive water fountain areas to the north and south of the pedestrian access to the underground parking garage; installation of missing granite planter curb on the west side; landscaping of all eight planting areas; cleaning of all concrete surfaces with pressurized water (maximum of 2,000 PSI) on all sidewalks; cleaning and repainting of four concrete handicapped ADA ramps on the northwest and southwest corners and north and south sides; cleaning and repainting of all light poles and luminaries on all sidewalks; cleaning and painting of guardrails throughout the west half of Plaza de la Convalecencia; installation of four sets of concrete furniture distributed among the two central planting areas; installation of two pre-cast concrete benches on the northeast corner; installation of new bike racks on the southwest corner; installation of seventeen trash receptacles throughout the west half of Plaza de la Convalecencia; installation of dog waste station on the central planting areas; and construction of a playground between the two central planting areas, equipped with a new slide, drum tree, climbing holds, saddle spinner, rubber half-balls, talk tubes, and rubber-poured surface, and the existing seesaw, climbing tree, and domino tables and chairs. For a more detailed view of the proposed construction plan for the west half of Plaza de la Convalecencia, refer to Drawing AS-3.0 (Figure 4).

The following demolitions are proposed for the east half of Plaza de la Convalecencia, extending from the midpoint to Camelia Soto Street: replacement of broken pavers, removal of vegetation by hand or herbicides throughout the east half of Plaza de la Convalecencia; cleaning of the entire aluminum trellis structure; cleaning and sealing of concrete sidewalk on all sides; demolition of concrete skate sculpture and reinstallation of surrounding pavers on the northeast corner; removal of metal edge lining two rectangular planting areas on the southwest corner; removal of artificial grass on the northeast corner and relocation of playground equipment on the northwest corner; cleaning of five granite curbs, one on the north sidewalk, two on the east sidewalk, and two on the south sidewalk; cleaning and unplugging of trench drains and drain pipes on the southwest corner;

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removal and restoration of backlite signage near the underground parking garage exit on the south side; and removal of broken tiles from the sculpture inside the traffic island on Camelia Soto Street. For a more detailed view of the proposed demolition plan for the east half Plaza de la Convalecencia, refer to Drawing DS-1.3 (Figure 5).

Additionally, the following constructions are proposed for the east half of Plaza de la Convalecencia: restoration of missing tiles and replacement of damaged stainless-steel tubes of the sculpture inside the traffic island on Camelia Soto Street; removal of pavers for reinstallation throughout the east half of Plaza de la Convalecencia; repair of marble stones with recycled stones lining two rectangular planting areas on the southwest corner; installation of two solar charging stations between two rectangular plants on the northwest corner; installation of new perforated metal panels over the entire aluminum trellis structure; relocation of two ping-pong tables to the southwest corner, between two rectangular planting areas; installation of twelve pre-cast concrete planters on the northwest corner, surrounding the solar charging stations; reinstallation of restored backlite signage near the underground parking garage exit on the south side; installation of concrete bench parallel to the north side of the theater building on the east side; installation of bike racks on the northwest and southeast corners; installation of eighteen trash receptacles throughout the east half of Plaza de la Convalecencia; and installation of dog waste station on the west side. For a more detailed view of the proposed construction plan for the east half of Plaza de la Convalecencia, refer to Drawing AS-4.0 (Figure 6).

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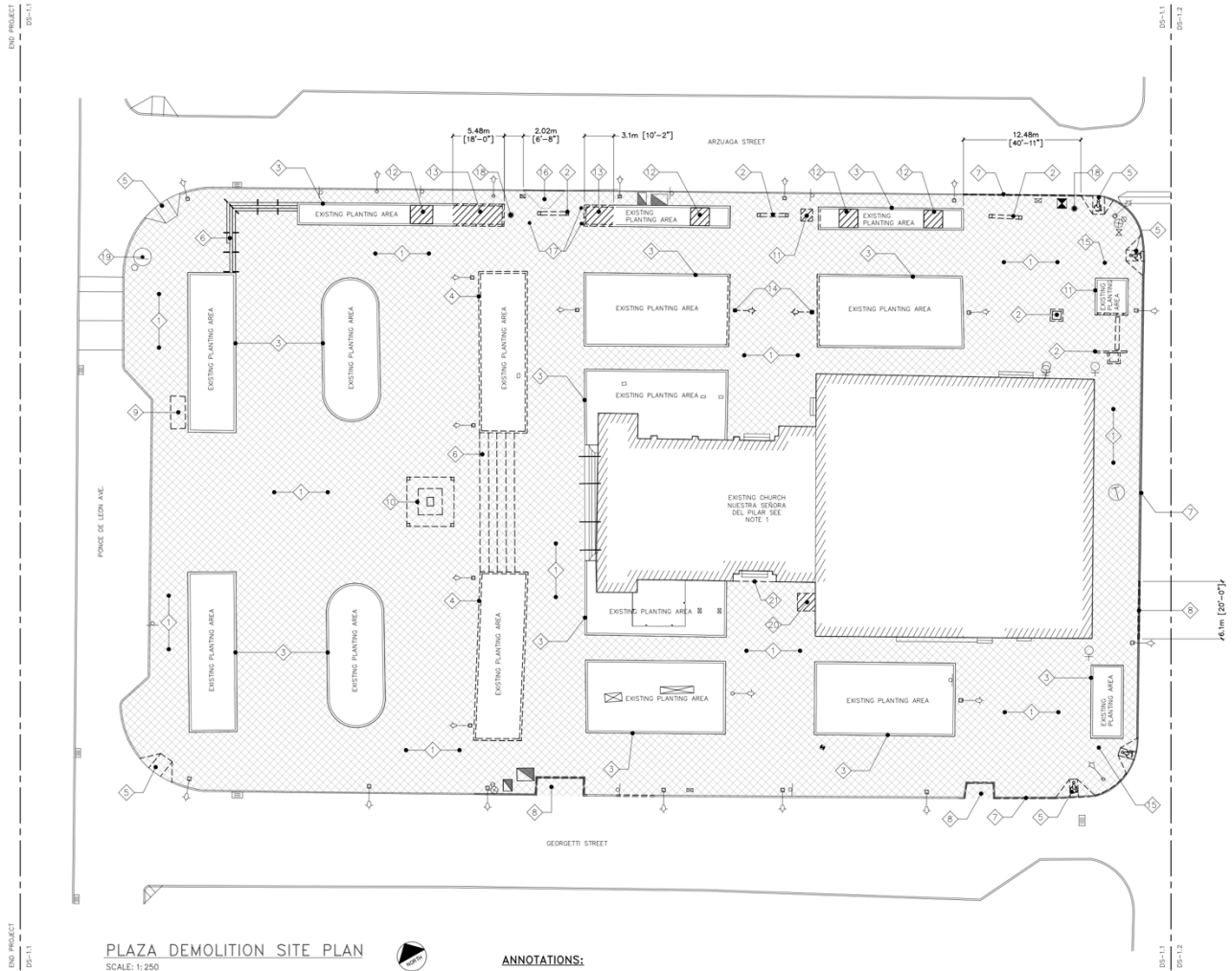


Figure 1. Demolition site plan for Plaza del Pilar (Source: Drawing DS-1.1, Hernández-Bauzá PSC Architects, 2024).

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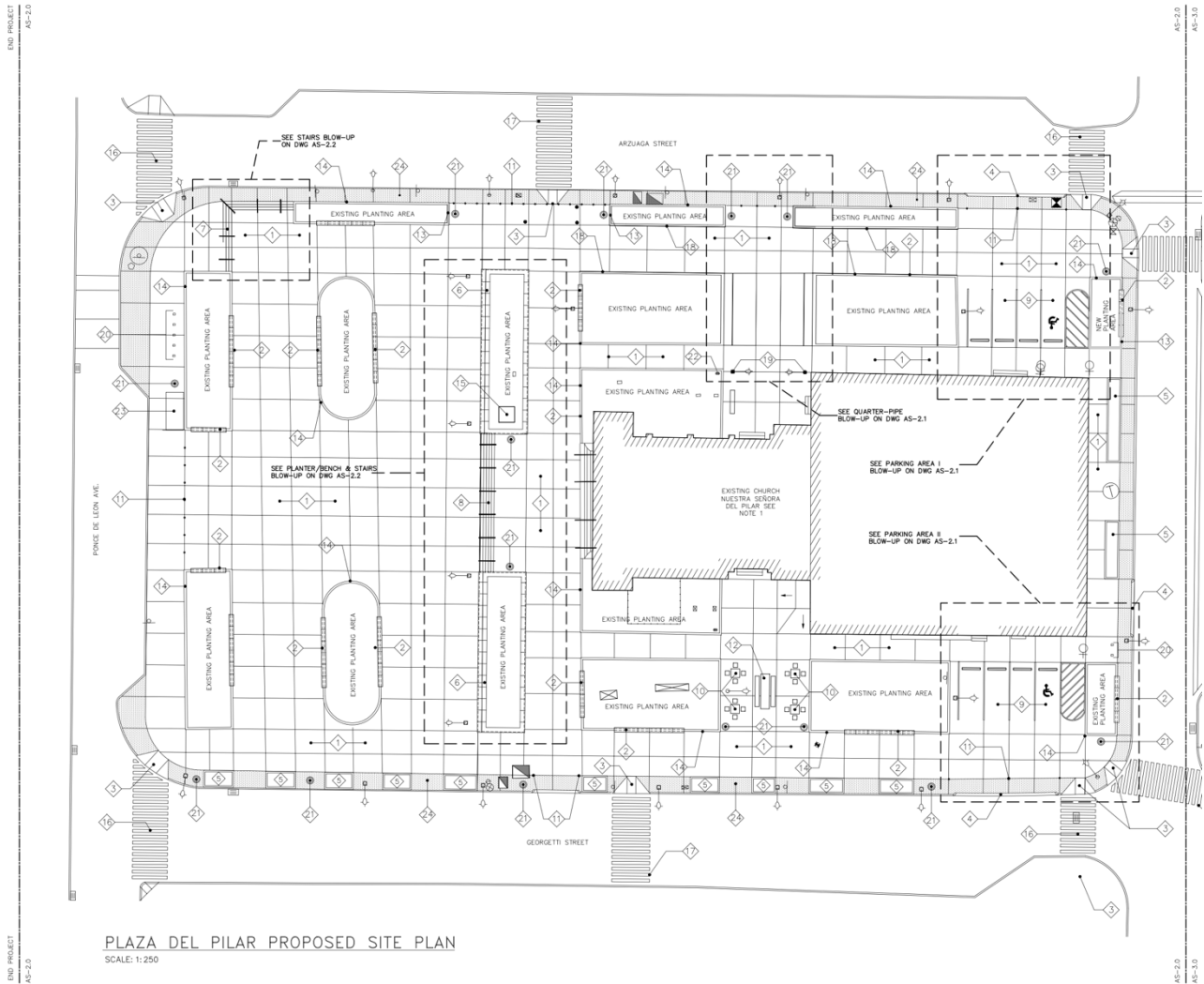


Figure 2. Proposed site plan for Plaza del Pilar (Source: Drawing AS-2.0, Hernández-Bauzá PSC Architects, 2024).

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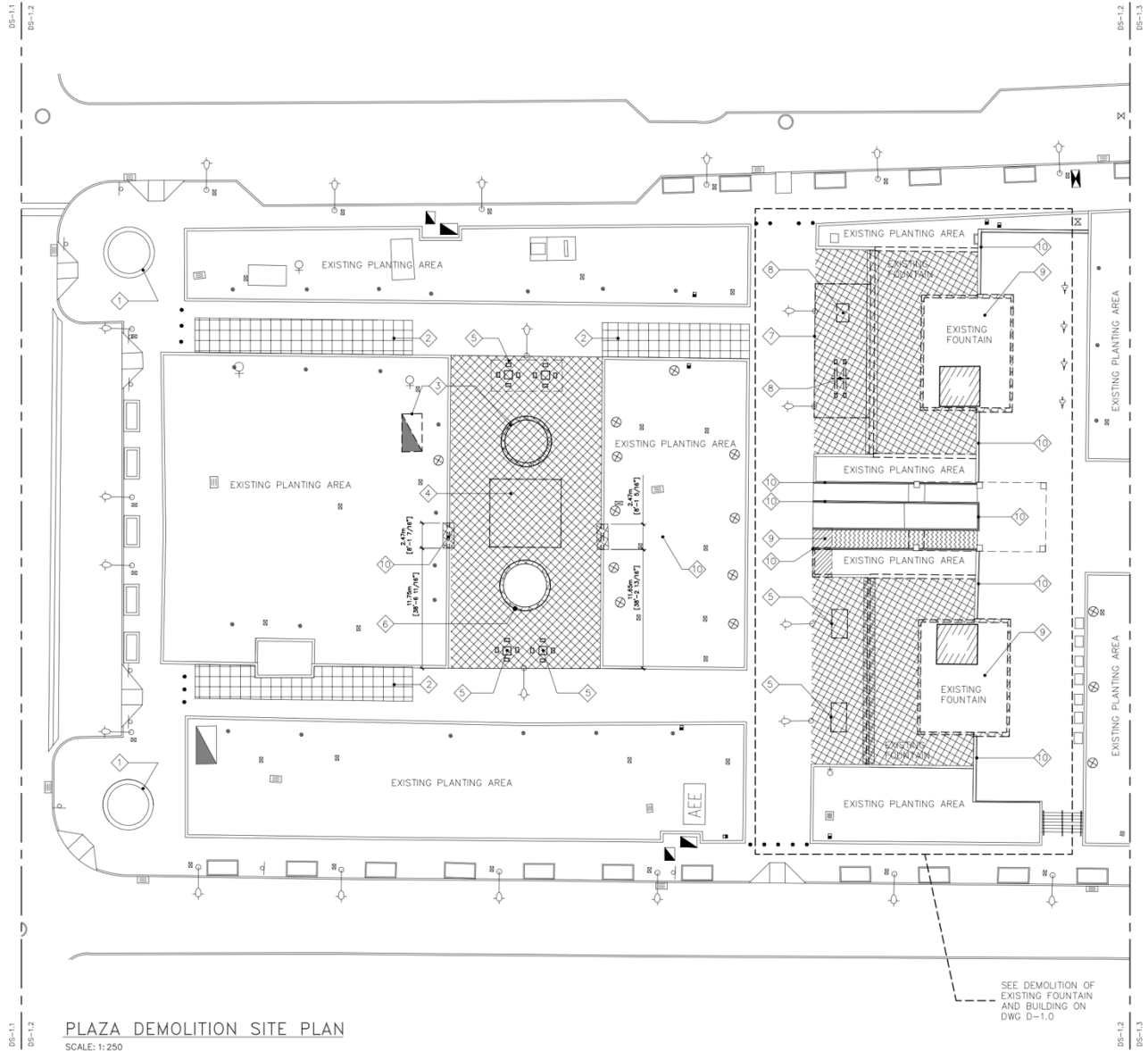


Figure 3. Demolition site plan for the west half of Plaza de la Convalecencia (Source: Drawing DS-1.2, Hernández-Bauzá PSC Architects, 2024).

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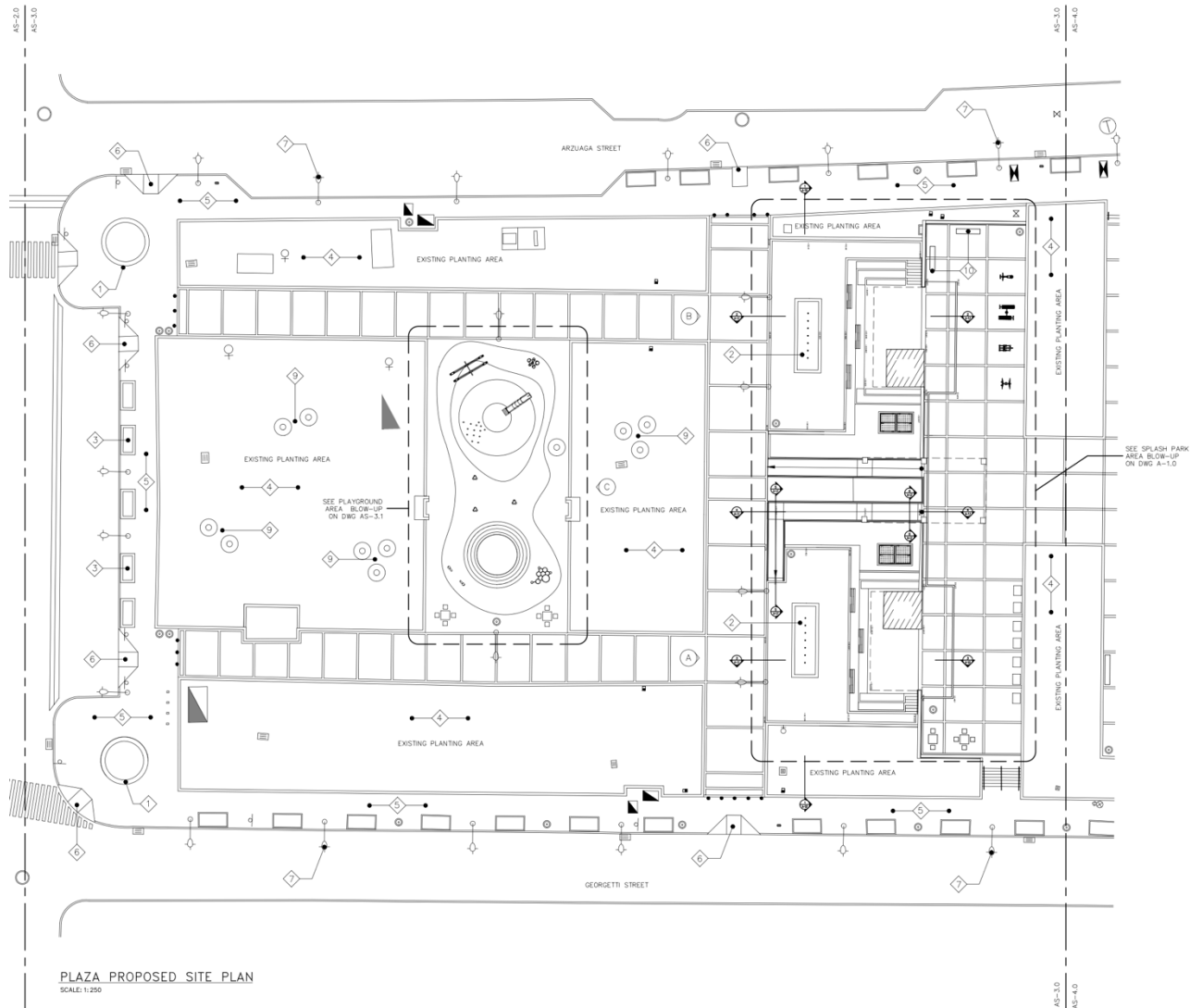


Figure 4. Proposed site plan for the west half of Plaza de la Convalecencia (Source: Drawing AS-3.0, Hernández-Bauzá PSC Architects, 2024).

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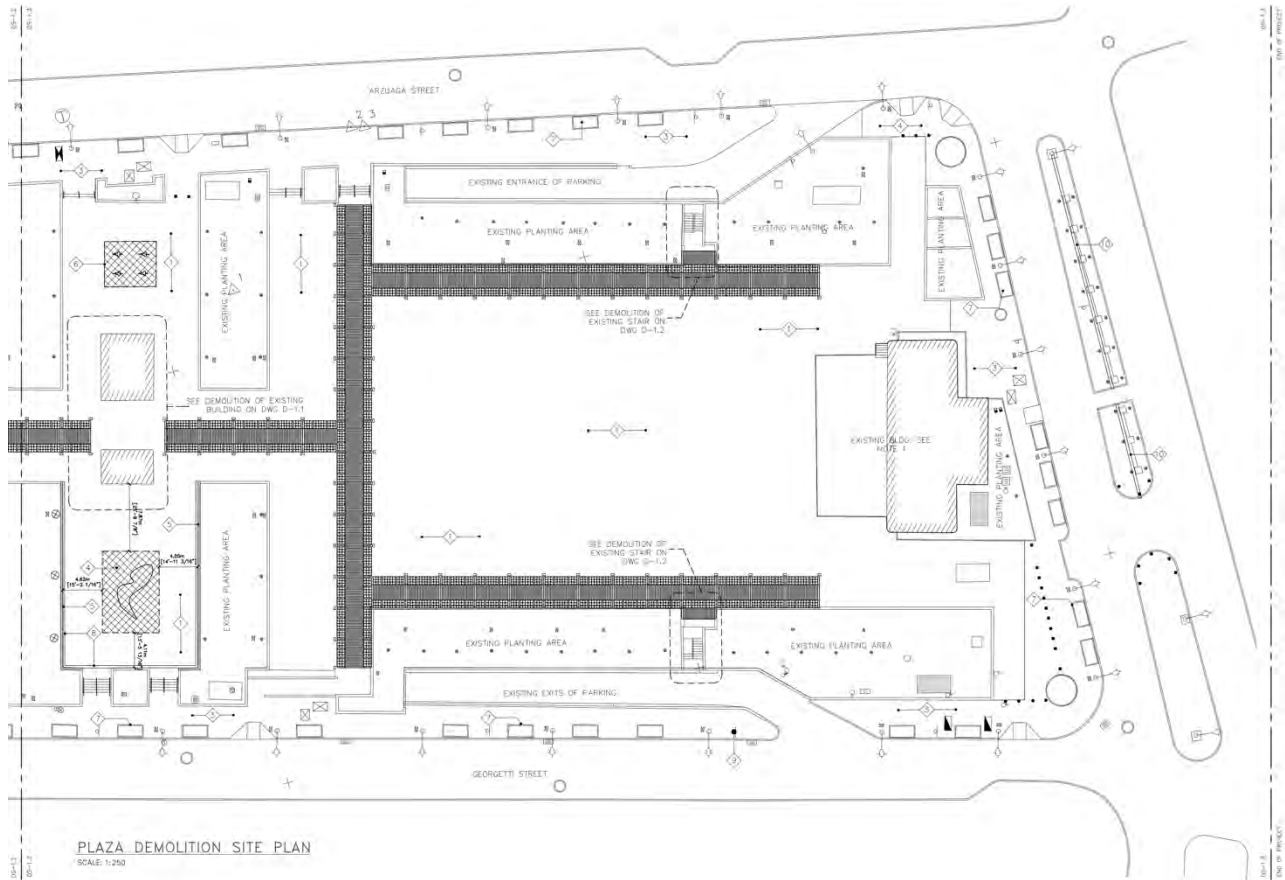


Figure 5. Demolition site plan for the east half of Plaza de la Convalecencia (Source: Drawing DS-1.3, Hernández-Bauzá PSC Architects, 2024).

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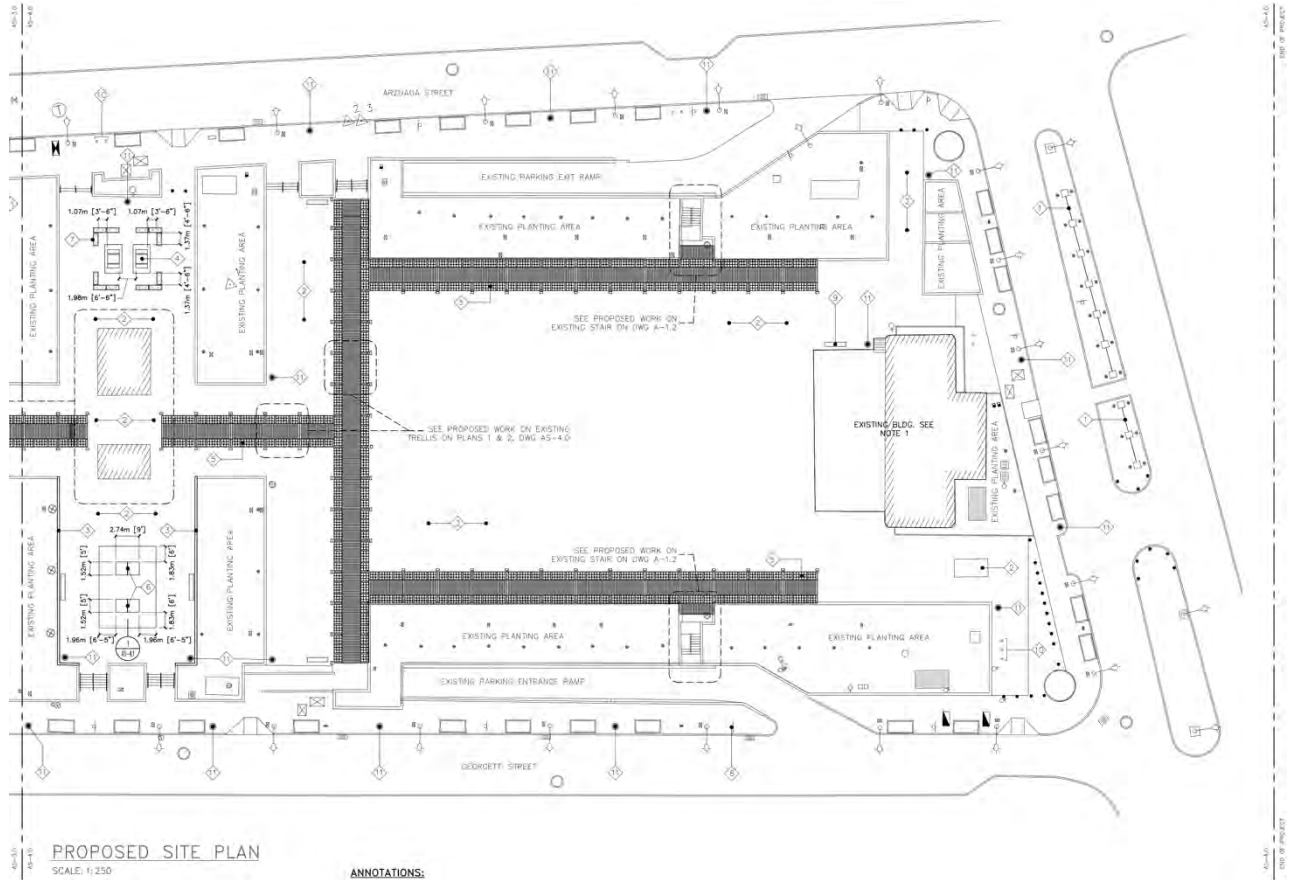




Figure 6. Proposed site plan for the east half of Plaza de la Convalecencia (Source: Drawing AS-4.0, Hernández-Bauzá PSC Architects, 2024).

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Area of Potential Effects

As defined in 36 CFR §800.16(d), the area of potential effects (APE) is the geographic area or areas within which an undertaking may directly or indirectly cause changes in the character or use of historic properties if any such properties exist. Based on this definition and the nature and scope of the Undertaking, the Program has determined that the direct APE for this project encompasses Plaza del Pilar and Plaza de la Convalecencia, two rectangular plazas separated by Brumbaugh Street (previously España Street), aligned at the center of the Río Piedras TUC. On the west side of the lot is Ponce de León Avenue (State Road PR-25), historically known as Comercio Street. On the north side is Arzuaga Street (previously De las Delicias Street). On the south side is Georgetti Street (previously Santo Domingo Street). Plaza de la Convalecencia is the site of a multi-story, underground parking garage at the east end of the plaza, flanked by Camelia Soto Street. Plaza del Pilar measures 349 feet (106 meters) east to west and 208 feet (63 meters) north to south, with a surface area of 71,322 square feet (6,626 square meters). Plaza de la Convalecencia measures 734 feet (224 meters) east to west and a maximum width of 250 feet (76 meters) north to south, measured on the east side, with a surface area of 173,361 square feet (16,106 square meters). The combined direct APE measures 1,102 feet (336 meters) east to west, including Brumbaugh Street, with a maximum width of 250 feet (76 meters) north to south, with a surface area of 246,816 square feet (22,930 square meters).

The visual or indirect APE is the viewshed of the proposed project, which has been defined as the properties surrounding Plaza del Pilar and Plaza de la Convalecencia, some of which are considered eligible to the National Register of Historic Places (NRHP) and contributing to the Río Piedras Traditional Urban Center. The viewshed comprises approximately 413,831.07 square feet (38,446.32 square meters). Nuestra Señora del Pilar Church, the 1933 Catholic church in the center-east of Plaza del Pilar designed by Francisco Porrata Doria in the Romanesque style, frames the viewshed. To the north, Arzuaga Street is characterized by early to mid-20th century, two- to three-story, mix-use buildings with varying architectural styles, such as Art Deco, Art Nouveau, and Spanish Neoclassical. Examples include Manolo Margarida Building (4 Arzuaga Street), José Ruiz de Val Building (6 Arzuaga Street), and Santa Ana Najero Building (1104 Brumbaugh Street). To the south, Georgetti Street encompasses late-19th century to mid-20th century mix-use buildings, including apartments, law and medical offices, and retail spaces. The older buildings, such as Casa de Cultura Ruth Hernández Torres (1154 Ponce de León Avenue) and Edificio Emilio Antuñano (16 Georgetti Street), exhibit Spanish Colonial traits, while more recent constructions, mostly two-story concrete residences turned into offices, are Early Modern in style (72 Georgetti


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Street, 74 Georgetti Street, and 76 Georgetti Street). To the west, Ponce de León Avenue is the only visible NRHP-listed historic property. Facing Plaza del Pilar are early 20th century concrete mix-use buildings, such as the Higinio Joglar and Evaristo Joglar Residences (1122 Ponce de León Avenue and 1124 Ponce de León Avenue), both Spanish Neoclassical in style. They are separated from the modern Río Piedras Train Station by the Singer Building (1120 Ponce de León Avenue), where the old Spanish Casino was inaugurated in 1920. To the east, past Plaza de la Convalecencia, Camelia Soto Street features substantially transformed mid-20th century buildings, such a three-story, concrete mix-use building from 1925 with Spanish Revival traits (1115 Camelia Soto Street). More NRHP-eligible buildings peer through the intersections with Del Carmen Street to the north, such as early 20th century mix-use buildings turned into trendy commercial establishments, and Brumbaugh Street to the south, which leads to several mid-20th century, concrete residences of Spanish Revival style in the Ubarri Neighborhood.

Historic Context

The pre-Columbian heritage of San Juan has been decimated by rapid urban development throughout the 20th century. No prehistoric sites of any era have been discovered within the historic boundaries of Río Piedras Ward. The few surviving prehistoric archaeological sites in San Juan are located on the north coast, including Vega-Vicente (SJ0100026), a submerged Archaic site (ca. 4000 BC - 200 AD) northwest of Punta Piedrita, off El Condado, and La Ceiba/St. Mary’s (SJ0100004), a terrestrial site with Ostiones ceramics (ca. 600 AD - 1200 AD) in El Condado. Lorraine (SJ0100003), another Pre-Columbian ceramic site, was detected near Condado Lagoon in Miramar, while Los Dominicos (SJ0100001), Plaza del Quinto Centenario (SJ0100028), and San Juan 2/Paseo Muñoz Rivera/Puerta de Tierra (SJ0100002) are multi-component sites on the north coast of San Juan Islet. The only inland, Pre-Columbian site within the Municipality of San Juan is El Coquí 1 y 2 (SJ0100007), a small, multi-component site with prehistoric ceramics and shells and historic artifacts.


Río Piedras is mentioned in the 1647 description of Puerto Rico by Diego de Vargas Torres, published in 1854 in Alejandro Tapia y Rivera’s *Biblioteca Histórica de Puerto Rico*. The earliest historic settlement of Río Piedras consisted of 16th century *estancias*, including sugar *haciendas* and cattle ranches called *hatos*, north and west of the future Río Piedras TUC. A Catholic hermitage was built in 1647 within today’s Santa Rita neighborhood, northwest of the Río Piedras TUC. In 1714, a small settlement called *El Roble*, the Oak, was built south of Muertos Creek, north of the river called *Río Piedras*, and west of Juan Méndez Creek, as

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reported by Fray Damián López de Haro. By 1823, the town of Río Piedras featured a more consolidated urban grid, with a basic street layout encompassing the existing Robles Street, the old parish of *Nuestra Señora del Pilar*, a town hall, a public plaza, and a jail. A sketch of 1824 by Antonio Cordero documents the church within two alternatives for an urban expansion of ten cuerdas, with a square alternative and a more rectangular alternative (Figure 7).

According to a croquis of Río Piedras prepared in 1884 by the Spanish Corps of Military Engineers, De Diego Street was known as Del Sol Street and extended three blocks east until its intersection with Camelia Soto Street, marking the east end of the town (Figure 8). From then on, it forked into two roads to leading to Carolina: one named *Camino Viejo* and the other simply *A Carolina*. The last one seems to have followed the present road until its intersection with 65 de Infantería Avenue, inaugurated in 1951, which mostly runs on the footprint of this old road ("Nombran Avenida 65 de Infantería", *El Mundo*, October 9, 1951, p. 17, *El Mundo Digital Archive*). The so-called *Camino Viejo* disappeared under new urban development, including *Colegio La Milagrosa*, a school built in the 1920s, and *Plaza de Mercado*, opened in 1918 (Fuster and Davis, *San Juan Siempre Nuevo*). To the south of De Diego Street, the croquis identifies the present Arzuaga and Georgetti Streets, which also extended to Camelia Soto Street. The original parish of *Nuestra Señora del Pilar* aligned its façade with Ponce de León Avenue, formerly *Travesía de Río Piedras* or Comercio Street, with its atrium on the west side, surrounded by trees and facing the *Travesía de Río Piedras*. What is now Martín Brumbaugh Street separated the rear of the church from the *Jardín y Casa de la Convalecencia*, demolished in the 20th century. The town extended to the north along the blocks formed by Robles Street, De Diego Street, and Ponce de León Avenue, which seemed to be inhabited on both east and west sides. The town ended to the south in the present Julián Blanco Street, and to the north in Amalia Marín Street.

The Spanish colonial government officially recognized Río Piedras in its effort to reorganize the municipal administration and military presence throughout the island. Its inception as an urban center was modest, but the town steadily grew until 1898. The *Camino Real* or *Travesía* passed through Río Piedras and transformed the town into a strategic transportation and commercial hub between the island's interior and southern municipalities and the capital city of San Juan. Twenty-seven years later, Governor Norzagaray ordered the extension of one of the oldest streets in Río Piedras, linking the *Camino Real* to the towns of Trujillo Alto and Carolina to the east. Formerly known as *Travesía del Sol*, it was renamed as De Diego Street. The prolongation of this street reinforced the connection between Río Piedras and the haciendas and towns to the south


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and east of the island (Marcial Ocasio, *Informe Histórico*). In fact, Pablo Ubarri e Iramátegui, Conde de Santurce, a landlord and entrepreneur, established a regular horse tram company, and eventually a trolley network from San Juan to Río Piedras and to Carolina, with the Río Piedras trolley workshop located in today’s González Street.

The airy landscape of Río Piedras incentivized wealthy families from San Juan, such as the Ubarri family, to build summer houses. *Jardín y Casa de la Convalecencia* was constructed for military officers and eventually assigned to the Spanish governor. There was also a vocational house built in the park. The railroad lines on the east side of Río Piedras ran along the present Añasco Street and Dr. José N. Gándara Avenue. Seven private and public schools were established in the area, cementing Río Piedras as an economic, social, and cultural center before the U.S. invasion of 1898. Drugstores, a small hospital, health clinics, an ice factory, a telegraph post, and iron workshops were established along the *Travesía de Río Piedras* (today’s Ponce de León Avenue), with shops, warehouses, and private residences of landowners and entrepreneurs cropping up along Sol Street (today’s Paseo de Diego).

A pavement plan for the streets of Río Piedras was prepared in 1920, two years after the first public marketplace opened in 1918, which was demolished in the late 1950s. This plan indicates the renaming of Sol Street as José de Diego Street, honoring the prominent Puerto Rican lawyer, politician, and writer who died in 1918 (Figure 9). De Diego Street was the longest paved road in Río Piedras, from Comercio Street to Padre Capuchinos Street. From this point onwards, it was still called *Camino a la Carolina*.

The role of Río Piedras as a commercial, transportation, and educational center continued during the 20th century. The University of Puerto Rico (UPR) was established in 1903 as a land grant institution to the north of the railroad lines, which ran east-west across the present Dr. José N. Gándara Avenue. For a modest start, the UPR eventually became an advanced academic and research institution. *Escuela de Artes y Oficios*, which became the University High School, was built in 1928 to the south of the railroad line, its Art Deco style façade facing *Calle Norte*, on North Street. Other key public and private schools were erected throughout the Río Piedras TUC during the early 20th century, including Hawthorne School (now Ramón Vilá Mayo School) established in 1901, Luis Muñoz Rivera School in 1924, and José Celso Barbosa Graded School in 1928, most of them included in the “Early Twentieth Century Schools in Puerto Rico” NRHP inventory (NPS #64501149), submitted in 1986 and reviewed in 2009. Prestigious private schools such as *Colegio San Antonio*, *Colegio San José*, and *Colegio La Milagrosa* also attracted thousands of students, teachers,

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professionals, and diverse workers to the Río Piedras TUC.

Aerial photographs from 1931 and 1936 demonstrate that Río Piedras grew mostly to the east, continuing the trend since the late 19th century (Figures 10, 11, and 12). The lands west of Ponce de León Avenue continued to be used for agricultural activities until the real estate boom that took place after the end of World War II. This eastbound growth occurred along the two main transportation routes to the east: De Diego Street and the railroad line, which ran parallel to the north. After railroad operations ceased, the latter became Dr. José N. Gándara Avenue.

In 1948, Río Piedras was divided into eighteen wards. The urban wards included Buen Consejo, Capetillo, El Cinco, Gobernador Piñero, Hato Rey Central, Hato Rey Norte, Hato Rey Sur, Oriente, Río Piedras Antiguo (Pueblo), Sabana Llana Norte, Sabana Llana Sur, and Universidad. The rural wards included Caimito, Cupey (subdivided into Cupey Alto and Cupey Bajo), Monacillo, Quebrada Arenas, Sabana Llana Rural, and Tortugo. The Martín Peña Channel separated Hato Rey Norte Ward in Río Piedras from Santurce Ward in San Juan. This natural channel connected San Juan Bay to San José and Los Corozos Lagoons, with numerous, indigenous fish corrals in the once pristine water.

In 1951, Río Piedras was incorporated into the Municipality of San Juan, following the approval of Project 177 of the Puerto Rico House of Representatives, partly due to fast-paced suburban development, which created an intricate urban sprawl that dissolved the boundaries between both metropolitan municipalities. Initially, suburban development concentrated in the immediate periphery of the Río Piedras TUC, with Santa Rita to the west and Pérez Morris to the south, followed by Santa Ana, Hyde Park, and University Gardens to the west, and Dos Pinos and Los Maestros to the east. Shopping malls were at first built near the urban center. Before Plaza Las Américas, the 65 de Infantería Shopping Mall was built on José Celso Barbosa Avenue (State Road PR-27), within walking distance from the public marketplace in De Diego Street. The massive acquisition of private cars halted the commercial and housing bonanza that Río Piedras enjoyed until the 1980s. Teachers, professors, and even students moved to the suburbs and began shopping in new malls such as Plaza Las Américas, inaugurated in 1968. In less than forty years, the Río Piedras TUC lost three-quarters of its population and most of its retail stores.

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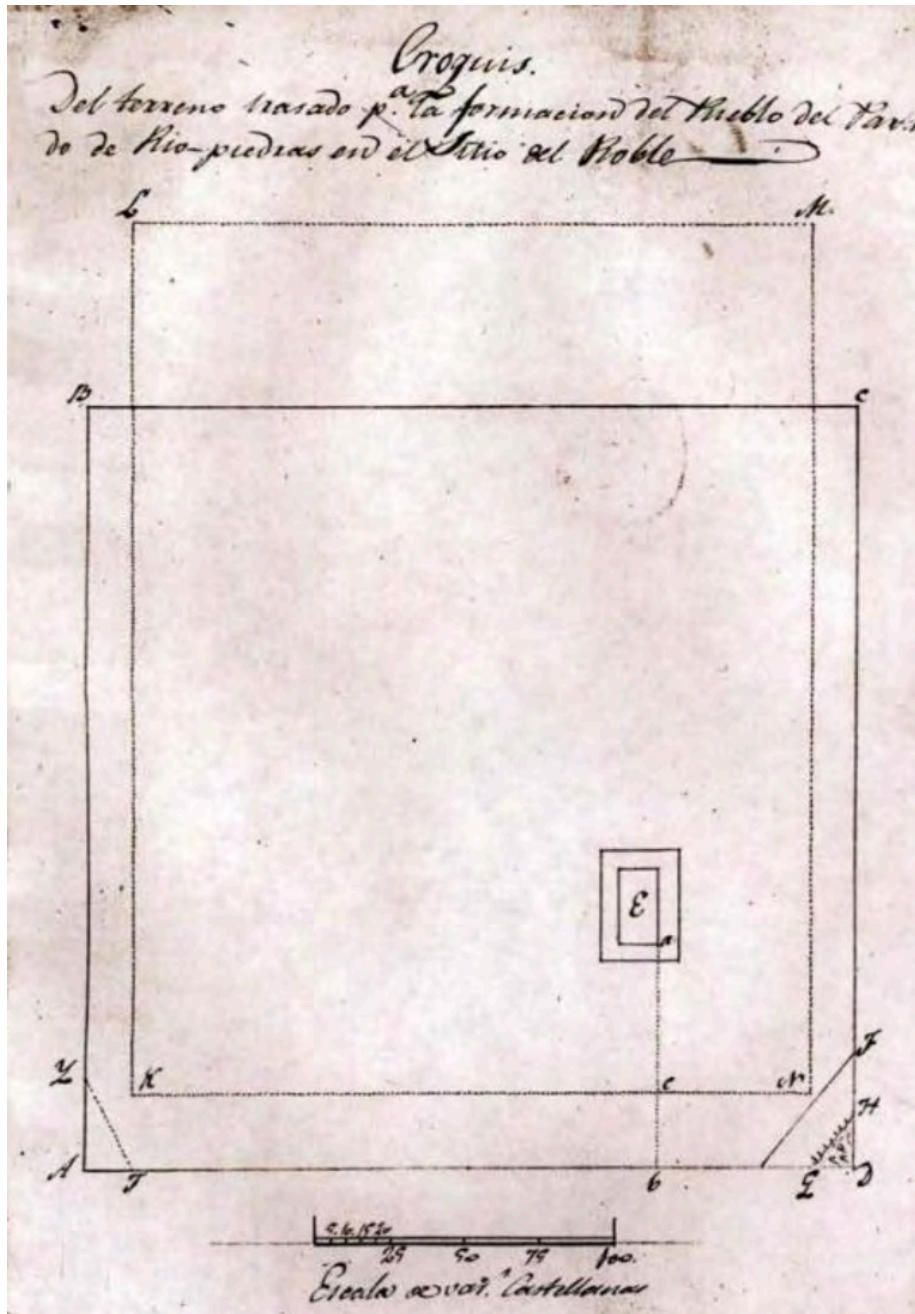


Figure 7. 1824 sketch of appraised land and future church (labeled "e") drawn by Antonio Cordero for the settlement of Partido de Río Piedras in El Roble, flanked by Carretera Central to the west (Source: Puerto Rico urbano: Atlas histórico de la ciudad puertorriqueña – Vol. I: La memoria olvidada, 1509-1820, p. 154, Aníbal R. Sepúlveda 2004).

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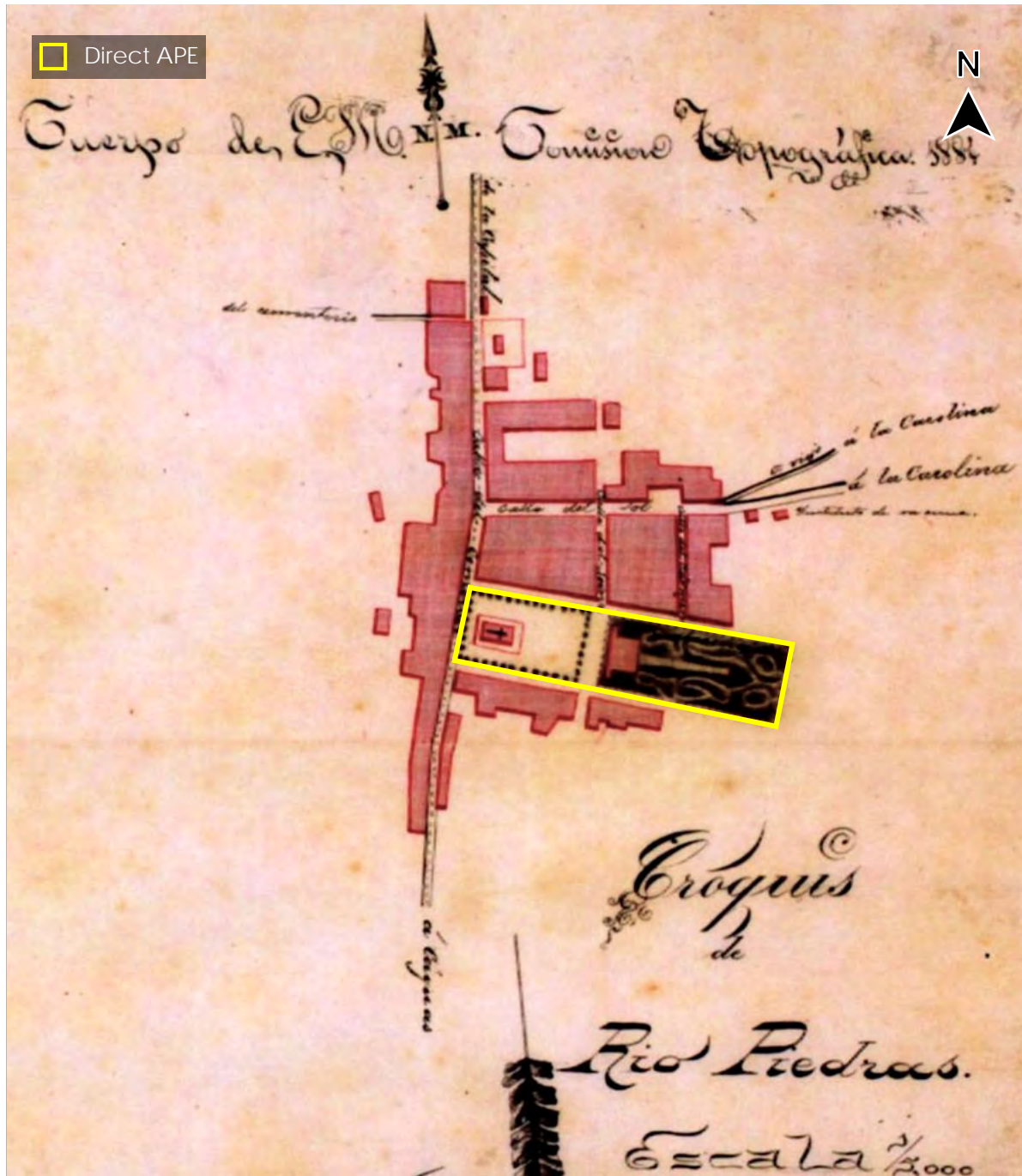


Figure 8. 1884 military sketch of the town of Río Piedras prepared by the Cuerpo de Ingenieros (Source: San Juan: Historia ilustrada de su desarrollo urbano, 1508-1898, San Juan: Carimar, Vol. 3, p. 399, Aníbal R. Sepúlveda 2003).

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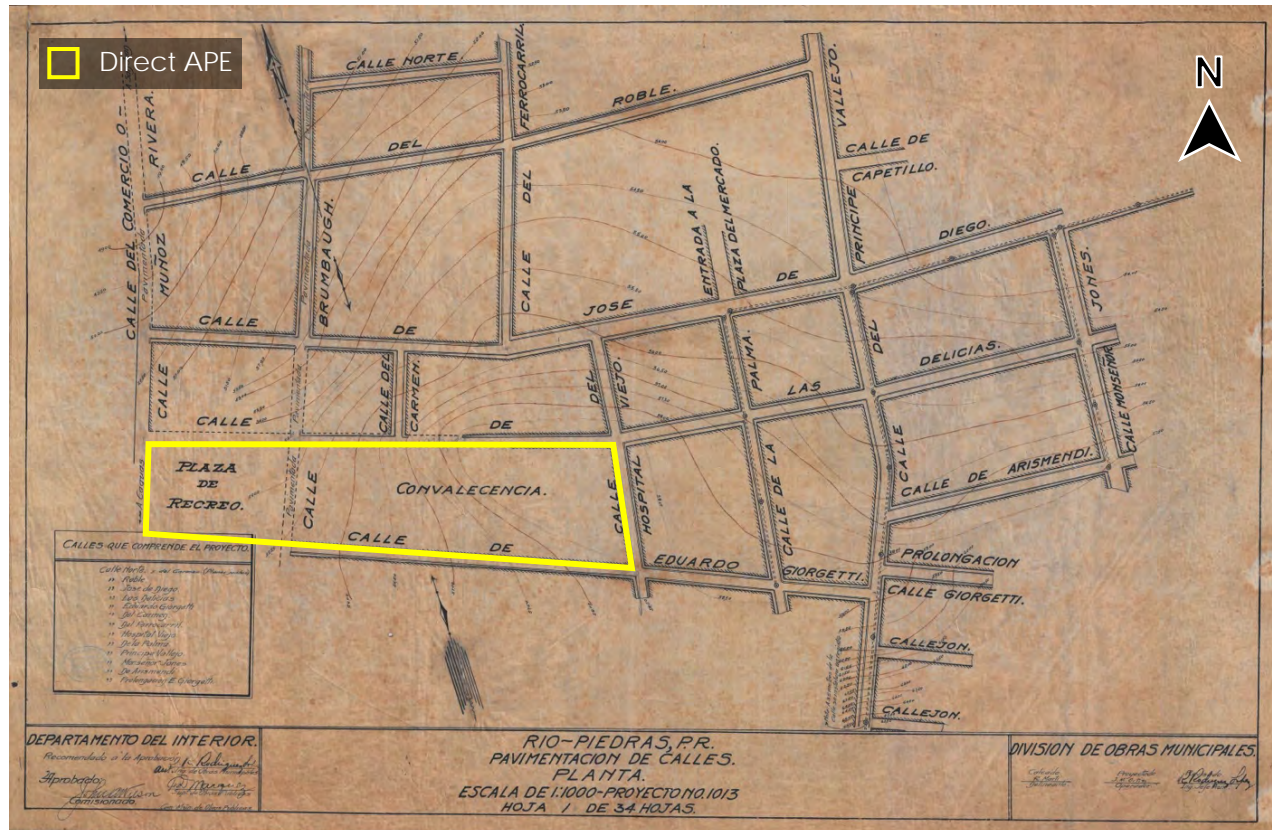


Figure 9. Circa 1920 pavement plan for the streets of Río Piedras, titled Plano de pavimentación de las calles de Río Piedras (Source: Mapoteca del Archivo General de Puerto Rico (AGPR), <https://archivonacional.com/PL/1/1/2579>).

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Figure 10. 1931 USGS aerial photograph of the urban areas of San Juan and Río Piedras surrounded by agricultural land (Source: Office of Photogrammetry, Puerto Rico Highways and Transportation Authority).

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Figure 11. 1931 USGS aerial photograph of the Rio Piedras Traditional Urban Center (Source: Office of Photogrammetry, Puerto Rico Highways and Transportation Authority).


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Figure 12. 1936 USGS aerial photograph of the Río Piedras Traditional Urban Center (Source: Office of Photogrammetry, Puerto Rico Highways and Transportation Authority).


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Identification of Historic Properties - Archaeology


Existing information on previously identified historic properties has been reviewed to determine if any such properties are located within the APE of this undertaking. The review of this existing information, by a Program contracted Historic Preservation Specialist meeting the Secretary of the Interior’s Professional Qualification Standards (36 CFR Part 61), shows that the project area is within a quarter-mile radius of at least seven recorded archaeological sites and NRHP-listed/eligible historic properties described below.

Table 1. Archaeological Sites and NRHP-Listed/Eligible Historic Properties Within a Quarter-Mile Radius of Project Area

1.	Name: Parroquia Nuestra Señora del Pilar		
	SHPO ID: N/A	ICP ID: SJ-48	NRHP ID: Eligible
	Period: Historic	Date: 1933	Distance: 0.00 mi
	Location: Arzuaga Street (North), Georgetti Street (South), Ponce de León Avenue (West) & Brumbaugh Street (East)	Coordinates: 18.397941, -66.051980	
	Description: Catholic church in the center-east side of Plaza del Pilar designed by Francisco Porrata Doria in the Romanesque style, featuring a Latin cross and a central dome decorated with tiles on the outside; the original façade and alabaster altar have remained unchanged, although other aspects have changed, such as when two load-bearing walls were removed to build four new confessionals; replaced a previous brick and masonry church on the west side of Plaza del Pilar built in 1831, which was substantially damaged by the San Fermin Earthquake in 1918 and Hurricane San Felipe II in 1928; closed down in 2014 and reopened in 2015 after a renovation funded by <i>Fundación para el Rescate de Río Piedras</i> and <i>Comité para la Restauración de la Iglesia del Pilar</i> ; the Catholic parish itself had been established since 1714 by Bishop Fray Pedro de la Concepción Urtiaga y Salazar, and a nearby hermitage in the original settlement of El Roble dedicated to Our Lady of the Pillar in 1647.		
2.	Name: Casa de la Convalecencia		
	SHPO ID: N/A	ICP ID: N/A	NRHP ID: Not Eligible
	Period: Historic	Date: 19 th Century	Distance: 0.00 mi
	Location: Arzuaga Street (North), Georgetti Street (South), Brumbaugh	Coordinates: 18.397579, -66.050585	

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	Street (West) & Camelia Soto (East)		
	Description: Two-story wooden residence with surrounding gardens originally built by the Spanish Army to the rear of the Nuestra Señora del Pilar Parish, where the Plaza de Convalecencia currently is; often used by governors as a summer residence and event venue; the residence was demolished in 1903, while the gardens were converted into a public plaza with the construction of an underground parking garage in 1973 and then redesigned in 2008.		
3.	Name: Travesía de Río Piedras; Camino Real		
	SHPO ID: SJ0100036	ICP ID: SJ-36	NRHP ID: 100003686
	Period: Historic	Date: 19 th Century	Distance: 0.01 mi W
	Location: Ponce de León Avenue	Coordinates: 18.399050, -66.052407	
	Description: Portion of the Ponce de León Avenue (or Carretera Central) between the intersections with Dr. José N. Gándara Avenue to the north and 65 de Infantería Avenue to the south; part of the Camino Real, a historic road that connected the city of San Juan with the town of Caguas, passing through Río Piedras.		
4.	Name: Trolley Workshop		
	SHPO ID: N/A	ICP ID: N/A	NRHP ID: Not Eligible
	Period: Historic	Date: 19 th Century	Distance: 0.03 mi W
	Location: 1118 Ponce de León Avenue	Coordinates: 18.398291, -66.052999	
	Description: Brick and masonry remnants of trolley repair shop uncovered in Lots 724-A and 728-A on Georgetti Street after the demolition of 1118 Ponce de León Avenue (also known as Hollywood Academy, Ramón Vilá Mayo Building, and Carmen Pharmacy), a two-story, concrete residential-commercial structure of Spanish Neoclassical style built c. 1930-1940; documented during the 1997 archaeological monitoring for the Río Piedras section of the Tren Urbano project.		
5.	Name: Bakery		
	SHPO ID: N/A	ICP ID: N/A	NRHP ID: Not Eligible
	Period: Historic	Date: 19 th Century	Distance: 0.03 mi SW
	Location: 1157 Ponce de León Avenue	Coordinates: 18.397402, -66.052543	
	Description: Brick walls with remnants of a cast-iron door, refractory bricks, and charcoal associated with a bakery oven; documented in Lot #711 underneath the demolished 1157 Ponce de León Avenue, a one-story, concrete commercial structure of 3,200 square feet from the 1960s; destroyed by the drilling of eleven piles to build containers for sand and rock aggregates for the construction of the Río Piedras section of the Tren Urbano project.		

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6.	Name: Brick Foundation		
	SHPO ID: N/A	ICP ID: N/A	NRHP ID: Not Eligible
	Period: Historic	Date: 19 th Century	Distance: 0.03 mi SW
	Location: 1148 Ponce de León Avenue		Coordinates: 18.397418, -66.052995
	Description: Exposed brick walls pertaining to a basement and fragments of industrially-produced British tableware and bottles documented in Lots #705 and #707 underneath a one-story, concrete commercial structure of Modern style built c. 1970 at the intersection between Ponce de León Avenue and Julián Blanco Street; documented during the 1997 archaeological monitoring for the Río Piedras section of the Tren Urbano project.		
7.	Name: Ponce de León Academia de Tiro (Gun Club)		
	SHPO ID: N/A	ICP ID: N/A	NRHP ID: Not Eligible
	Period: Historic	Date: 19 th Century	Distance: 0.06 mi SW
	Location: 1163 Ponce de León Avenue		Coordinates: 18.396997, -66.052866
	Description: Structural remains of two properties separated by a hallway, featuring retention walls and historic fill for leveling the terrain, and an intact cistern four meters deep; documented in Lots #705 y #707 underneath a two-story, concrete residential-commercial structure of undefined style built c. 1940 during the 1997 archaeological monitoring for the Río Piedras section of the Tren Urbano project.		

Table 2. Cultural Resource Studies Conducted Within a Quarter-Mile Radius of Project Area

A.	Title: Phase 1A, Mejoras para las Aceras y Calle Camelia Soto en el Casco Urbano de Río Piedras		
	SHPO ID: 09-26-02-04	ICP ID: N/A	NRHP ID: N/A
	Author: Guillermo Irazo & Osvaldo Torres		Year: 2003
	Results: Negative		Distance: 0.01 mi E
B.	Title: Monitoring, Centro Histórico de Río Piedras, Proyecto Tren Urbano		
	SHPO ID: N/A	ICP ID: N/A	NRHP ID: N/A
	Author: Marisol J. Meléndez Maíz		Year: 2002
	Results: Positive		Distance: 0.00 mi
C.	Title: Phase III, Tren Urbano Project, Río Piedras-UPR Alignment (Volumen 1: General Introduction, Discussion of Results & Interpretations)		


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	SHPO ID: 08-17-92-01	SHPO ID: N/A	SHPO ID: N/A
	Author: Marisol Meléndez Maíz, Jaqueline López, Sharon Meléndez & Leila Comulada		Year: 2004
	Results: Positive - Documentation of 19 th century road known as <i>Travesía de Río Piedras</i> .		Distance: 0.00 mi
D.	Title: Phase 1A, Historical Background of the Urban Development of Río Piedras & Caño Martín Peña Sector, Tren Urbano, San Juan Metropolitan Area		
	SHPO ID: 08-17-92-01	ICP ID: N/A	NRHP ID: N/A
	Author: Marlene Ramos Vélez		Year: 1995
	Results: Positive - Phase 2 cultural resource study recommended due to historical importance of surveyed area.		Distance: 0.00 mi
E.	Title: Phase 1B, Tren Urbano Project, Río Piedras Section		
	SHPO ID: 07-30-98-01	ICP ID: N/A	NRHP ID: N/A
	Author: Agamemnon Gus Pantel & Jaqueline López Meléndez		Year: 1997
	Results: Negative		Distance: 0.00 mi
F.	Title: Phase 1A, Edificio de Hospedería de Estudiantes: Solar en la Esquina de la Avenida Ponce de León y Calle Amalia Marín		
	SHPO ID: 08-07-98-02	ICP ID: N/A	NRHP ID: N/A
	Author: Marisol J. Meléndez Maíz		Year: 1999
	Results: Negative		Distance: 0.21 mi N
G.	Title: Phase 1A-1B, Desarrollo de Parcelas G y H (Tomo I)		
	SHPO ID: N/A	ICP ID: CAT-SJ-C-12-17-02	NRHP ID: N/A
	Author: Fernando Alvarado Muñoz		Year: 2012
	Results: Negative		Distance: 0.12 mi E
H.	Title: Phase 1A-1B, Desarrollo de Parcelas G y H (Tomo II)		
	SHPO ID: N/A	ICP ID: CAT-SJ-C-12-17-03	NRHP ID: N/A
	Author: Fernando Alvarado Muñoz		Year: 2012
	Results: Negative		Distance: 0.05 mi SE
I.	Title: Phase 1B, Centro de Transporte y Estacionamiento Público de Río Piedras		

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	SHPO ID: N/A	ICP ID: CAT-SJ-C-10-16-05	NRHP ID: N/A
	Author: Virginia Rivera Calderón		Year: 2010
	Results: Negative		Distance: 0.05 mi SE
J.	Title: Phase 1A Revision, Nueva Torre Municipal de Río Piedras		
	SHPO ID: N/A	ICP ID: CAT-SJ-C-12-17-04	NRHP ID: N/A
	Author: Fernando Alvarado Muñoz		Year: 2012
	Results: Negative		Distance: 0.07 mi S
K.	Title: Phase 1A, De Diego Village		
	SHPO ID: N/A	ICP ID: CAT-SJ-C-16-19-03	NRHP ID: N/A
	Author: Maritza Torres Martínez		Year: 2016
	Results: Negative		Distance: 0.06 mi N
L.	Title: Phase 1B, Desarrollo de Santa Rita, S.E.		
	SHPO ID: N/A	ICP ID: CAT-SJ-C-94-04-07	NRHP ID: N/A
	Author: Antonio Daubón Vidal		Year: 1994
	Results: Negative		Distance: 0.18 mi NW
M.	Title: Phase 1A, Urban Train for San Juan Metropolitan Area		
	SHPO ID: N/A	ICP ID: CAT-BA-92-04-05	NRHP ID: N/A
	Author: Eduardo Questell Rodríguez		Year: 1992
	Results: Positive - Overall archaeological sensitivity of the Río Piedras Traditional Urban Center.		Distance: 0.03 mi W

The Municipality of San Juan, whose largest *barrio* or ward is Río Piedras, includes ninety-nine (99) historic properties reported in site files of the Puerto Rico State Historic Preservation Office (PRSHPO), and in the Archaeology Division of the *Instituto de Cultura Puertorriqueña* (ICP). The inland areas of San Juan may have been sparsely populated in prehistory, with most indigenous activity on the north coast. Inland sites may also have been destroyed by the intense urban development of San Juan. The closest reported indigenous site is El Coquí 1 y 2 (SJ0100007), a multi-component site with prehistoric ceramics and shells, also containing historic artifacts. This site was unearthed during construction of Los Paseos neighborhood in Cupey Ward, south of Las Cumbres Avenue (State Road PR-199), approximately 3.25 miles southwest of the direct APE. So far, this is the only inland prehistoric


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site reported within the entire Municipality of San Juan.

The archaeological heritage of Río Piedras is currently limited to historic urban sites. No prehistoric sites of any era have been discovered within a quarter-mile radius of Plaza del Pilar and Plaza de la Convalecencia, located side-by-side at the center of the Río Piedras TUC. The earliest historic settlement of Río Piedras consisted of 16th century *estancias*, including sugar haciendas and cattle ranches called *hatos*, north and west of the future Río Piedras TUC. The largest *hato* belonged to don Manuel de Yllanes, called *Hato del Río de las Piedras*, providing meat to San Juan and vast quantities of hides for exporting to Spain. As reported at the *Archivo General de Indias* in Seville, 28,074 cattle hides were exported from Puerto Rico to Spain between 1561 and 1570 (Gelpí Baiz 2000:88-89). In 1700, the large *Hato del Río de las Piedras* belonged to doña Elena Menéndez Valdés, a descendant of governor Diego Menéndez de Valdés and widow of Governor Diego de Aguilera. Doña Elena donated the ranch to the king of Spain, thus becoming *El Hato del Rey*, the king’s ranch, abbreviated in modern times as *Hato Rey* (Moscoso 2020:381). So far, no archaeological evidence of any *estancias* north and west of the Río Piedras TUC has ever been found, most likely built with wood and other perishable materials.

The oldest potential archaeological site within a quarter-mile radius of the direct APE may be the Catholic hermitage of 1647, located within today’s Santa Rita neighborhood, northwest of the Río Piedras TUC. Adjacent to the old hermitage was a small Catholic cemetery (Ocasio Meléndez 1985:15). In 1714, a small settlement called *El Roble* was separated from Cangrejos (today’s Santurce) by Governor Miguel de Mueas. *El Roble* was expanded with ten *cuerdas* of land sold by Francisco Arús in 1825 (de Diego 1994: Vol. IV: 889). *El Roble* was located south of De los Muertos Creek, north of the main river in this sector, a stony river called *Río Piedras*, and west of Juan Méndez Creek, as reported by Fray Damián López de Haro in 1714. This location identifies *El Roble* within the Río Piedras TUC. In 1797, militiamen from Caguas, Bayamón, Toa Alta and Guaynabo clustered as a division in Río Piedras to defend San Juan from the British invasion (ibid 888).


In 1812, Bishop Juan Alejo de Arizmendi ordered the bodies from De los Muertos Creek to be exhumed and transferred to the Nuestra Señora del Pilar Parish at *El Roble*. It is not clear if this was actually carried out. The old cemetery was closed before 1935. The bodies exhumed and relocated to the Villa Nevárez Cemetery in El Cinco Ward, built in 1920 on land donated by Joaquín Leandró Solís Amy in 1910, near the *Camino Real*, known today as State Road PR-1. The old cemetery was located between today’s Amalia Marín and Humacao Streets, relocated for the construction of the Santa Rita neighborhood.

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The first church within Plaza del Pilar was built c. 1714, called *Nuestra Señora del Pilar*, flanked by the priest’s house and a small jail by 1823. No plans of these three structures have been discovered so far. In 1787, a *real cédula* in Spain banned burials within Catholic churches for fear of epidemic contagion, followed by a second *cédula* in 1804. Neither law may have been particularly enforced until the invasion of Spain by France in 1808, installing the Napoleonic Code of 1804 in Spain and its colonies by 1809. All burials within or around churches had to be relocated to cemeteries built outside of towns.

The Río Piedras parish was in ruins by 1820 and rebuilt in 1831 at the west side of Plaza del Pilar. The parish was damaged by the earthquake of San Fermin in 1918 and by Hurricane San Felipe II in 1928 and demolished in 1931. A new church was designed by architect Francisco Porrata Doria, built in 1933, located further east within the same rectangular plot of Plaza del Pilar. The archaeological potential of Plaza del Pilar may include buried church foundation remnants, including the original parish of 1714 and the second parish of 1831. A map of 1880 for the widening of urban streets in the Río Piedras TUC clearly depicts the parish on the west side of Plaza del Pilar (Figure 13). This brick structure is depicted in a diagonal photograph of 1898, taken from the *Travesía de Río Piedras*, now Ponce de León Avenue (Figure 14). Another photograph of 1898 shows the north entrance to the Río Piedras TUC along the *Carretera Central* or *Travesía de Río Piedras*, looking south (Figure 15), depicting the Saldaña Residence, the *Casa del Rey* or city hall, and the Catholic church, all on the east side of the road. A c. 1903 photograph showcases the façade of the early 19th century, built on the west side of Plaza del Pilar (Figure 16). The exact vertical and horizontal boundaries of the previous church foundations are unknown. The church of 1714 may have been built of masonry and wood. The 1831 church was built with bricks, with the 1933 church built in concrete. The concrete parish house to the rear of the existing church was added c. 1960.

Immediately east of Plaza del Pilar, across Brumbaugh Street, sat *Casa de la Convalecencia*, a two-story wooden edifice (Figure 17). It was not a hospital, perhaps best described as a sanatorium, a healthy place of repose for Spanish Army officers. Looking east, it faced a long, rectangular garden called *Jardín de la Convalecencia*, approximately 228 meter long. In 1856, *Casa de Convalecencia* provided shelter for the widows and orphans of cholera victims (ibid 889, 897). By 1878, this facility became a summer residence for the governor of Puerto Rico, as reported by Manuel Delgado y Ubeda. Surrounded by greenery, the governor took a break from work at La Fortaleza in Old San Juan.


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The governor’s presence contributed to the rising popularity of Río Piedras as a summer place for the island’s elite. During the late 19th and early 20th centuries, wealthy families built lavish summer houses within and around the Río Piedras TUC, particularly along De Diego Street, formerly Sol Street. In 1882, a steam-powered trolley was inaugurated along the *Travesía de Río Piedras*, covering twelve kilometers from Old San Juan, further promoting Río Piedras as an elite neighborhood for summer vacationers. Plaza del Pilar continued to be the center of the Río Piedras TUC, with photographs of large social gatherings at the church in 1910 (Figure 18). By the 1920s, some churchgoers arrived at the parish in cars in 1920 (Figure 19). After construction of the new church in 1933, the parish was still the visual and religious center of the Río Piedras TUC (Figures 20 and 21).

Casa de la Convalecencia was demolished in 1903. The east side of *Jardín de la Convalecencia* was partly cut down c. 1960, with a new park clearly visible in a 1962 aerial photograph (Figure 22). A multi-story underground parking garage built on the east side of Plaza de la Convalecencia in 1973, excluding the potential foundations of *Casa de la Convalecencia* at the west end of the lot. As documented in USGS topographic maps from 1941 to 1982, the two plazas at the center of the Río Piedras TUC maintained their original dimensions (Figure 23, 24 and 25). At some point in the 2000s, the underground parking garage was closed due to poor maintenance, reopening in 2008 as a keystone of the municipal project *Río 2012*.

The archaeological sensitivity of the Río Piedras TUC is centered around the *Travesía de Río Piedras* (SJ0100036), previously known as *Camino Real* or *Carretera Militar*, locally known in the 19th century as Comercio Street and now called Ponce de León Avenue, flanking the west side of the Plaza del Pilar. The *Travesía de Río Piedras* has been evaluated by various cultural resource studies for the urban rail system of the *Tren Urbano*, and for the University of Puerto Rico (UPR) large-scale building of *Plaza Universitaria*, including extensive demolitions and excavations. The *Tren Urbano* included two stations in Río Piedras, including one in front of Plaza del Pilar, on the west side of Ponce de León Avenue, and another one by the main UPR entrance, on the east side of the avenue. Demolitions for the Río Piedras station resulted significant archaeological discoveries dated from the 19th and early 20th centuries, discussed below.

In 1992, Eduardo Questell Rodríguez and Carlos Figueroa Sellas conducted a Phase 1A Literature Search and Sensitivity Study for the *Tren Urbano* in the Metropolitan Area, including the Municipalities of San Juan, Bayamón and Guaynabo. Its conclusion mentioned the possibility of archaeological sites under existing buildings, potentially more

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difficult to study than rural sites in open ground (1992:42-43). In 1993, the PRSHPO concurred with the authors' recommendation to conduct a Phase 1B study, also mentioning the need for archaeological monitoring. In 1994, Questell Rodríguez and Figueroa Sellas conducted the Phase 1B study, reporting negative results for the route in general, but mentioning the potential impact of proposed demolitions and excavations in Río Piedras (1994:10). The distance from the proposed train station to the Nuestra Señora del Pilar Church was estimated at 60 meters, sufficiently distant to avoid adverse effects (ibid 11).

In 1995, Marlene Ramos and Héctor Marín conducted a more specific Phase 1A study of Río Piedras for the *Tren Urbano*, indicating the presence of historic residential, commercial and industrial properties, including possible remnants of the trolley line. This study was followed by a Phase 1B archaeological study by Pantel, Del Cueto & Assoc. in 1996. Although this Phase 1B study was negative, the PRSHPO recommended an archaeological monitoring service for the construction of the *Tren Urbano*, conducted by Marisol Meléndez Maíz from 1997 to 1999, with Diana López Sotomayor as Principal Investigator, detecting twelve significant historic properties.

From September 1997 to February 1999, archaeological monitoring by Marisol Meléndez Maíz detected five sensitive areas in Río Piedras: Río Piedras Station, southwest entrance in Lots #724, #726, and #728; Río Piedras Station, north entrance at Robles Street in Lots #751, #753, and #757; UPR Station, brick structure, Pastrana to Bracetti Streets, new UPR radio station; Ponce de León Avenue in Lot #710 (corner of Julián Blanco Street), the Gun Club in Lots #705 and #707, and the Bakery in Lots 709 and 711; and Río Piedras Station, southwest entrance, trolley workshop in Lots 724-A and 778-A. The UPR radio station is beyond the quarter-mile radius of the direct APE.

The most prominent archaeological discoveries included brick and masonry foundations with a drainage canal in Lot #726; a privy and remnants of a brick floor, animal bones initially interpreted as human, and two large cisterns connected with an arched passage in Lot #726; a large brick cistern, a cement cistern, brick floors, and possible garden dated in the 1920s; three brick cisterns, refuse areas and burned wooden posts in Lot #757; cut-stone and brick foundations in Lots #753 and #751, and the trolley workshop in Lots #724 and #728.

In the *IV Encuentro de Investigadores*, Meléndez Maíz (2002) reported numerous obstacles towards a comprehensive archaeological evaluation of the *Travesía de Río Piedras*, including simultaneous excavations with limited archaeological personnel. This situation led

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to a Phase 2 site-testing investigation by Ethel V. Schlafer Román in 2001, and Phase 3 Mitigation by Marisol J. Meléndez Maíz, Sharon Meléndez Ortiz, and Leila Comulada in 2004.

The 2002 archaeological monitoring by Marisol Meléndez Maíz detected remnants of the 19th century trolley repair shop at González Street, a historic bakery in Ponce de León Avenue, and brick foundations at the corner of Julián E. Blanco Street with Ponce de León Avenue (Figures 26, 27, 28, 29, and 30). Three neighboring historic buildings at Ponce de León Avenue, across from Plaza del Pilar, were demolished for the new Río Piedras station of Tren Urbano (Figure 31). From north to south, these were: Villamil Warehouse (or Juanita Villamil Building), a two-story, concrete residential-commercial structure of Spanish Neo-classical style built c. 1910 on 1114 Ponce de León Avenue; Hollywood Beauty & Barber Supply, a two-story, concrete commercial structure of Modern style built c. 1960 on 1116 Ponce de León Avenue, and Hollywood Academy (Ramón Vilá Mayo Building or Del Carmen Pharmacy), a two-story, concrete residential-commercial structure of Spanish Neoclassical style built c. 1930-1940 on 1118 Ponce de León Avenue.

In 1999, the tunnel for the *Tren Urbano* at Ponce de León Avenue included deep excavations and fill at the west end of Plaza del Pilar (Figures 32 and 33). This excavation was stopped due to a survey error, misplacing the precise alignment of the excavation, as reported in the newspaper *Primera Hora* (March 8, 1999:3A). The parish was not damaged, but other deep excavations resulted in cracks on various historic buildings, including the Art, Anthropology, and History Museum at UPR, and the sinking of a historic column at the main entrance to the UPR campus. No archaeological discoveries were reported at the west end of Plaza del Pilar. However, considering the strong criticisms reported by Meléndez Maíz (2002), including the fast-track approach to various aspects of the undertaking, parts of this excavation at the west end of Plaza del Pilar may have been conducted with limited or no archaeological monitoring.

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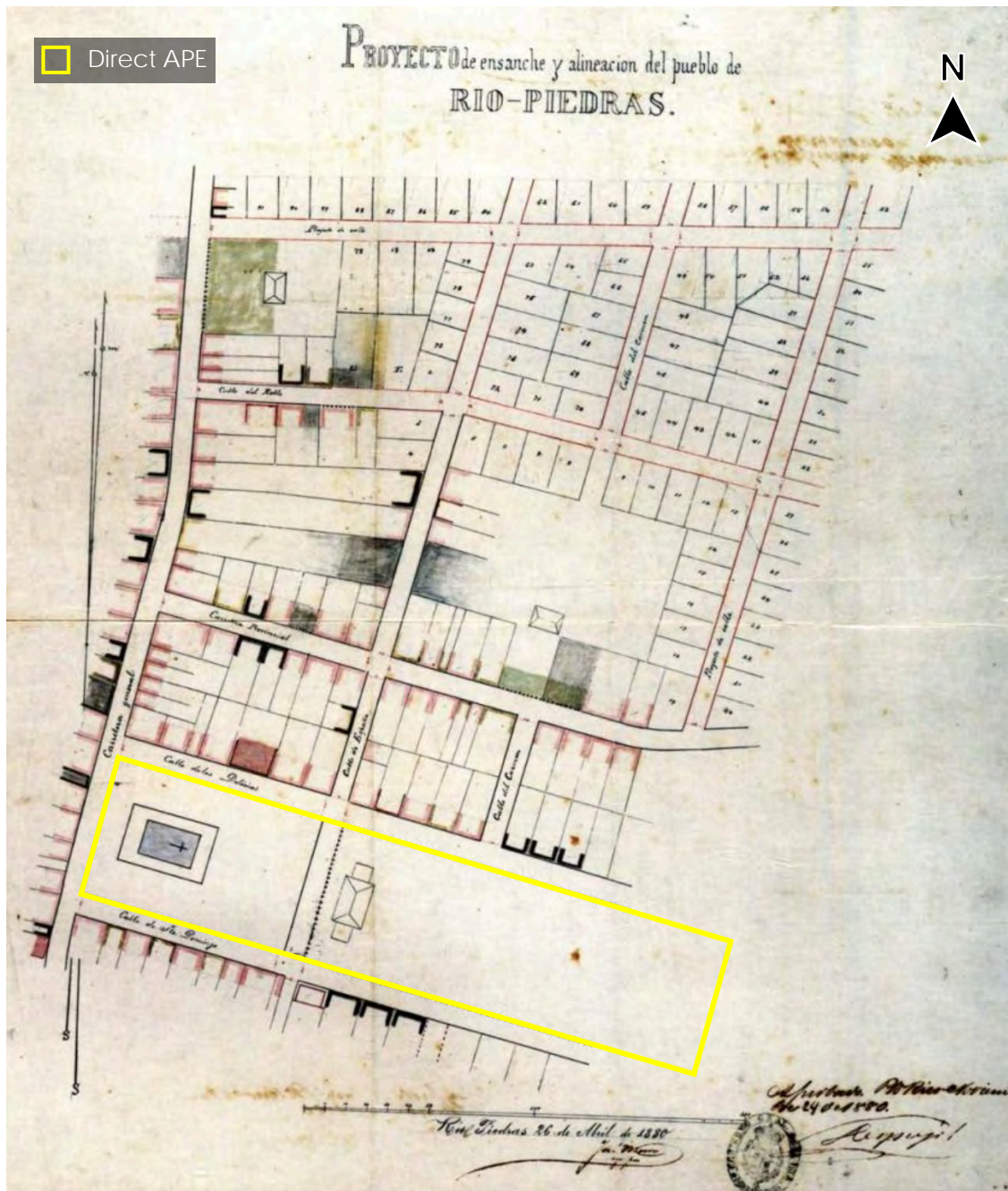


Figure 13. 1880 sketch of the Río Piedras urban center for the construction of two streets and the widening of three streets, drawn by José Muro and approved by Spanish governor Eulogio Despujol (Source: Puerto Rico urbano: Atlas histórico de la ciudad puertorriqueña - Vol. II: Domesticación del territorio, 1840-1860, p. 161, Aníbal R. Sepúlveda 2004).



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Figure 14. 1898 photograph of the previous Nuestra Señora del Pilar Church and Plaza del Pilar, facing the Carretera Central or Travesía de Río Piedras, looking southeast (Source: *Our Islands and their People*, Vol. I, p. 301, N.D. Thomson Publishing Co., 1899).

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Figure 15. 1898 photograph by Walter Townsend of north entrance to the Río Piedras urban center along the Carretera Central or Travesía de Río Piedras, looking south (Source: Puerto Rico urbano: Atlas histórico de la ciudad puertorriqueña - Vol. III: Entresiglos, 1880-1910, p. 407, Aníbal R. Sepúlveda 2004).



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Figure 16. c. 1903 photograph of the previous Nuestra Señora del Pilar Church and Plaza del Pilar, facing the Carretera Central or Travesía de Río Piedras, looking northeast (Source: Puerto Rico urbano: Atlas histórico de la ciudad puertorriqueña - Vol. III: Entresiglos, 1880-1910, p. 409, Aníbal R. Sepúlveda 2004).

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Figure 17. 1906 postcard featuring Casa de la Convalecencia to the east of Plaza del Pilar, in what is today an urban park with the same namesake (Source: Colección Digital, Biblioteca Escuela de Arquitectura, Universidad de Puerto Rico, Recinto Río Piedras, <https://archimages.uprrp.edu/files/original/0822f11c21745843edc356df0d2168d1.jpg>)

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Figure 18. 1910 photograph of the previous Nuestra Señora del Pilar Church and Plaza del Pilar during Holy Week festivities, looking south (Source: Grace Arroyo, Pinterest, www.pinterest.com/pin/446208275553332088).

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Figure 19. 1920 photograph of the previous Nuestra Señora del Pilar Church and Plaza del Pilar two years after the San Fermín Earthquake of 1918, looking southeast (Source: Grace Arroyo, Pinterest, www.pinterest.com/pin/24840235430672261).



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Figure 20. 1936 photograph of the existing Nuestra Señora del Pilar Church built two years prior, and Plaza del Pilar, facing Juan Ponce de León Avenue (Source: Colección Digital, Biblioteca Escuela de Arquitectura, Universidad de Puerto Rico, Recinto Río Piedras, <https://archimages.uprrp.edu/files/original/de192bf8aa0716b00bf44bc35ec4685a.jpg>).



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Figure 21. 1950 postcard of the existing Nuestra Señora del Pilar Church built in 1933, facing Juan Ponce de León Avenue (Source: 20 Miniature Views Puerto Rico, Geolsla Collection, www.geolsla.com/2018/08/20-vistas-de-puerto-rico-1940s).



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Figure 22. 1962 aerial photograph of the Río Piedras urban center and its surrounding communities (Source: USGS Earth Explorer, <https://earthexplorer.usgs.gov/>).

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Figure 23. 1941 USGS topographic map (1:30,000 scale) of Plaza del Pilar and Plaza de la Convalecencia in the Río Piedras Traditional Urban Center (Source: USGS topoView, <https://ngmndb.usgs.gov/topoview/>).

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Figure 24. 1965 USGS topographic map (1:20,000 scale) of the Plaza del Pilar and Plaza de la Convalecencia in the Río Piedras Traditional Urban Center (Source: USGS topoView, <https://ngmdb.usgs.gov/topoview>).

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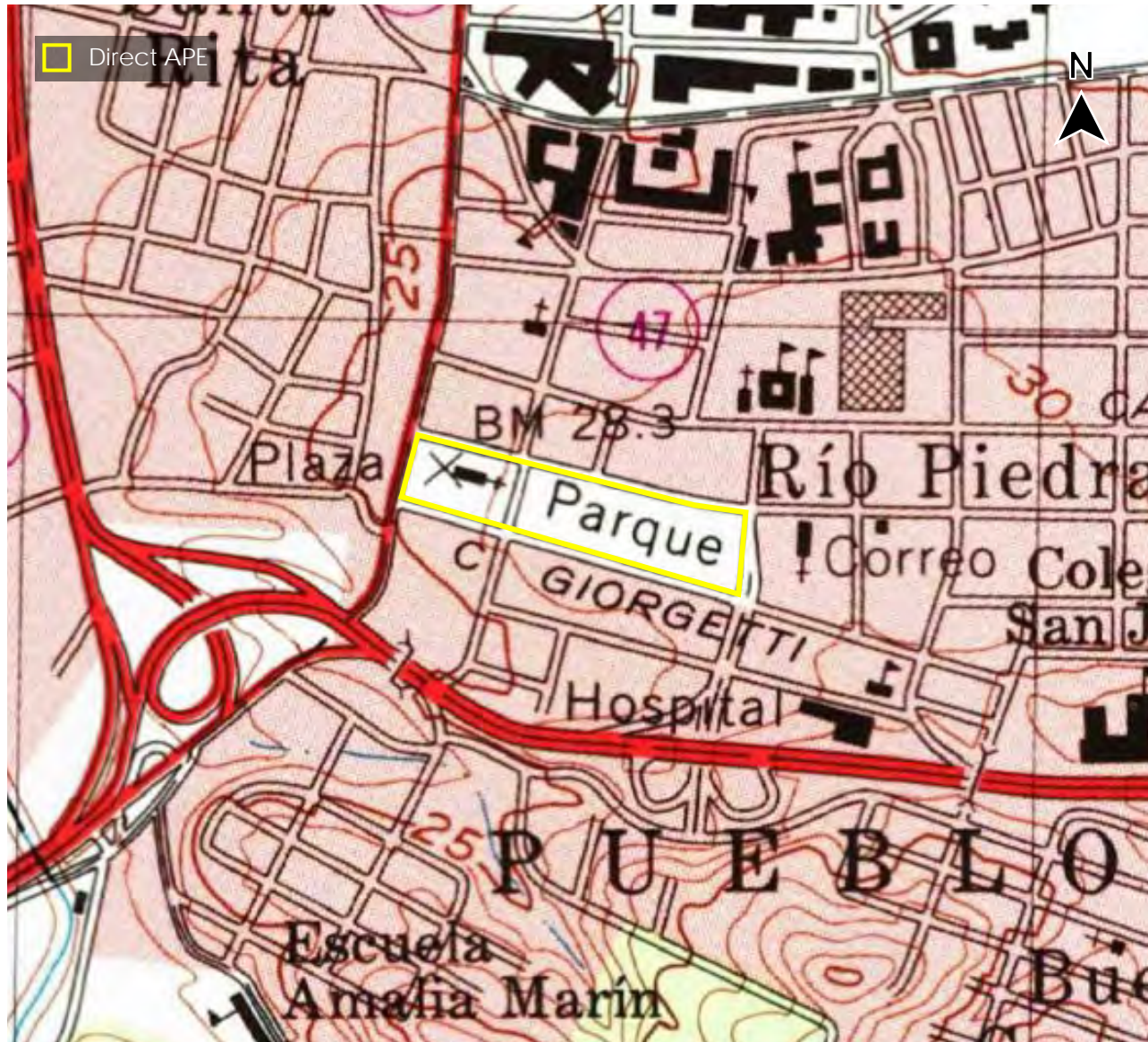


Figure 25. 1982 USGS topographic map (1:20,000 scale) of the Plaza del Pilar and Plaza de la Convalecencia in the Río Piedras Traditional Urban Center (Source: USGS topoView, <https://ngmdb.usgs.gov/topoview>).

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Figure 26. Exposed brick walls documented in Lots #705 and #707 at the intersection of Ponce de León Avenue and Julián Blanco Street in 1997, looking west (Tren Urbano Project, Río Piedras Contract: Archaeology, Marisol J. Meléndez 1998).

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Figure 27. Brick and masonry remnants of a trolley repair shop documented in Lots 724-A and 728-A on Georgetti Street in 1997, looking west (Tren Urbano Project, Río Piedras Contract: Archaeology, Marisol J. Meléndez 1998).



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Figure 28. Brick and masonry remnants of a trolley repair shop documented in Lots 724-A and 728-A on Georgetti Street in 1997, looking southwest (Tren Urbano Project, Río Piedras Contract: Archaeology, Marisol J. Meléndez 1998).

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Figure 29. Exposed south brick wall of Lot #711, associated with a 19th century bakery on Ponce de León Street, looking northeast (Tren Urbano Project, Río Piedras Contract: Archaeology, Marisol J. Meléndez 1998)



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Figure 30. Profile of drilled pile revealing oven fire chamber on Lot #711, associated with a 19th century bakery on Ponce de León Avenue, looking west (Tren Urbano Project, Río Piedras Contract: Archaeology, Marisol J. Meléndez 1998)



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Figure 31. Demolition of three historic buildings in front of Plaza del Pilar for the construction of the Río Piedras section of the *Tren Urbano* in 1999 (IV Encuentro de Investigadores, Instituto de Cultura Puertorriqueña, 2002:100).



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Figure 32. Excavation and filling along the west side of Plaza del Pilar and Ponce de León Avenue during the construction of an underground train tunnel for the *Tren Urbano* (*¡Qué huevo! Error en túnel del Tren, Primera Hora, Nydia Bauzá 1999*).

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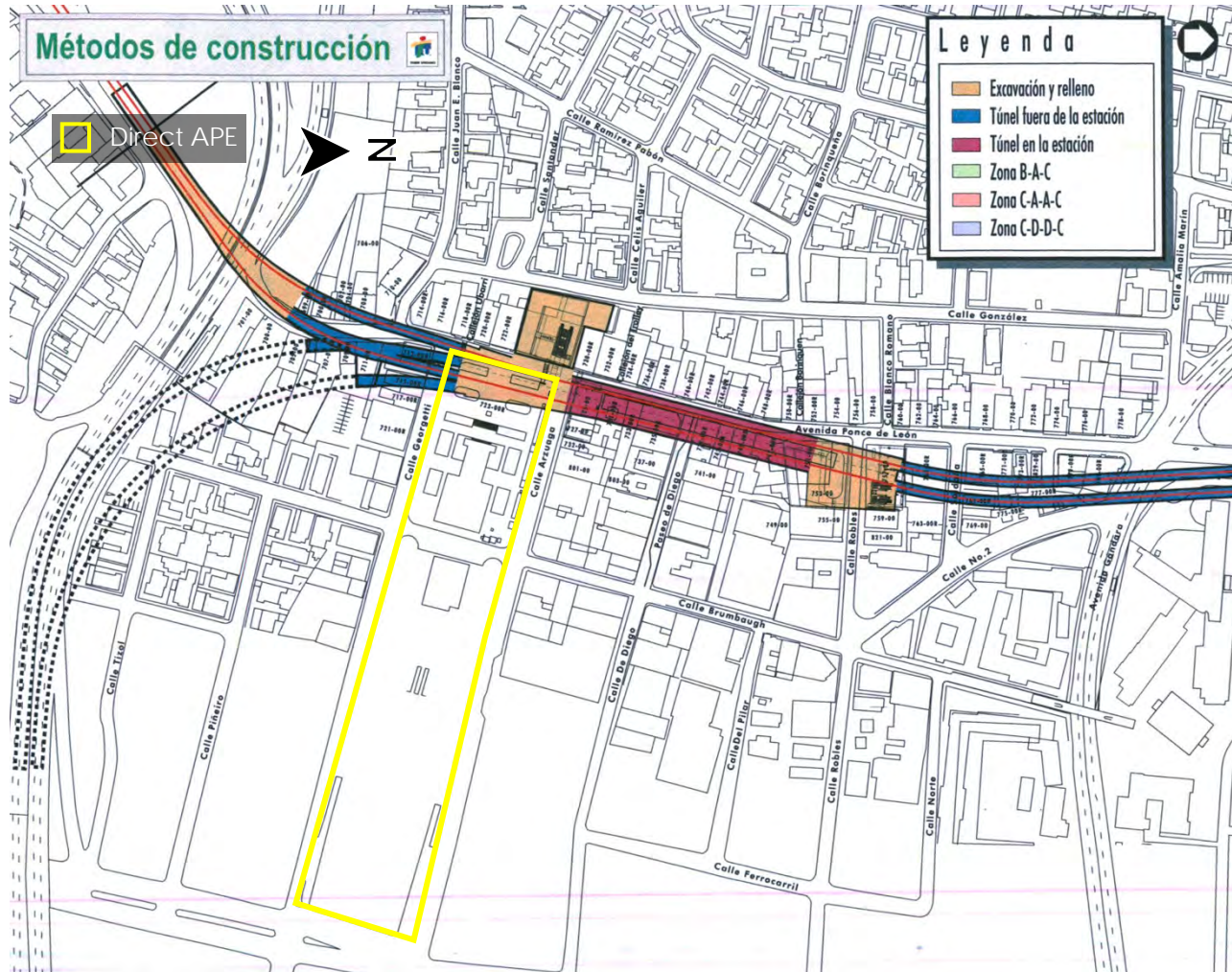



Figure 33. Schematic drawing of the construction methods implemented in the Río Piedras section of the Tren Urbano (Tren Urbano Project, Río Piedras Contract: Archaeology, Marisol J. Meléndez 1998).


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Identification of Historic Properties - Architecture

Existing information on previously identified historic properties has been reviewed to determine if any such properties are located within the APE of this undertaking. The review of this existing information, by a Program contracted Historic Preservation Specialist meeting the Secretary of the Interior’s Professional Qualification Standards (36 CFR Part 61), shows that the project area is within the boundaries of the National Register of Historic Places (NRHP)-eligible Río Piedras Traditional Urban Center.

Documentation and registration of historic buildings in Río Piedras can be considered modest. Despite being populated by numerous NRHP-eligible properties, only seven cultural resources have been documented by the State Historic Preservation Office (SHPO) and the Institute of Puerto Rican Culture (ICP) within a quarter-mile radius of the APE:

1. **SJ0100018.** Casa y Plaza de la Convalecencia, within the direct APE. The original gardens and residence, which were made by the Spanish army in the 19th century, were also used by governors. Both the gardens and the house have disappeared, and the space has been renovated several times and transformed into a public square. The mayor of San Juan carried out the most recent renovation less than twenty years ago. The gardens disappeared because the construction of an underground parking in 1973 under the former park.
2. **SJ0100036.** Travesía de Río Piedras, within the direct APE. The historic street segment of Ponce the León Avenue between Gándara Street and 65 de Infantería Avenue is part of the historic *Camino Real*, which passed through the Río Piedras TUC. The buildings along the street date from the early to mid-20th century to the present.
3. **SJO 0200037.** Torre y Cuadrángulo de la Universidad de Puerto Rico, 0.25 miles north. Spanish revival style compound built in the 1930s and early 1940s decades, which belongs to the University of Puerto Rico. Rafael Carmoega was the director of the project, though Francisco Roldán, William Schimelpfenning, and Francisco Gardón were among the design team members.
4. **SJO 0200064.** Escuela Hawthorne School (Escuela Raúl Vilá Mayo), 0.17 miles north. Built in 1911 within a Beaux Arts style and constructed partially in brick and masonry.
5. **SJO 0200019.** Escuela Graduada José Celso Barbosa and Escuela Luis Muñoz Rivera, 0.19 miles northeast. Escuela Luis Muñoz Rivera was built between 1924-1928 and designed by Fidel Sevillano and Rafael Carmoega for the Public Works Department of the Secretary of the Interior in a Beaux-Arts style.
6. **SJO 16000237.** Edificio Comunidad Orgullo Gay, 0.15 miles north. This two-story




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building with two separate living units was built in 1937 in a Spanish Revival style, though its architect is unknown.

- SG 100002694.** Casa Vigil, 0.12 miles north. This vernacular wooden residence, designed and built by the Vigil brothers in 1898, has a side gable metal roof, brick for the covered porch, and a concrete foundation (originally in wood).

In addition to the seven cultural resources listed in the NRHP, this report's field study identified at least thirty NRHP-eligible properties within the viewshed or visual APE, as detailed in the following table.

Table 3. NRHP-Listed/Eligible Historic Properties Within the Visual APE

Image	Address	Name	Description	NHRP
	18°23'51.3"N 66°03'02.1"W Arzuaga, Georgetti, Brumbaugh & Camelia Soto Streets (APE)	Plaza de la Convalecencia	Built in mid-19 th century but transformed several times. Last full renovation was completed circa 2004. It used to have a vacation house for the Spanish governors but it was demolished in the early 20 th century.	Eligible (Criteria A & B)
	18°23'53.0"N 66°03'08.8"W Ponce de León Ave., Arzuaga, Georgetti & Brumbaugh Streets (APE)	Iglesia Nuestra Señora del Pilar	The early 19 th century parish was demolished in 1931 and replaced in 1933 by one designed by Francisco Porrata Doria within Spanish Revival and Neo-Gothic traits.	Eligible (Criteria A, B, C & D)
	18°24'05.1"N 66°03'07.9"W; 18°23'50.8"N 66°03'10.3"W Ponce de León Avenue (0.01 mi W)	Travesía de Río Piedras	Historic segment of Ponce de León Avenue (former Camino Real), from Dr. José N. Gándara Avenue to 65th of Infantry Regiment Avenue, crossing through the Río Piedras TUC. 17 th century to present.	Listed



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	<p>18°23'54.6"N 66°03'08.9"W</p> <p>1 Arzuaga Street</p> <p>(0.01 mi N)</p>	<p>Concrete, Three Stories Mix-Use Building</p>	<p>Circa 1950, three stories, commercial and residential Modern building with some Art Deco traits designed by Pedro de Castro Hardesty.</p>	<p>Eligible (Criteria C)</p>
	<p>18°23'54.4"N 66°03'08.2"W</p> <p>2 Arzuaga Street</p> <p>(0.01 mi N)</p>	<p>Concrete Three Stories Mix-Uses Building</p>	<p>Circa 1930, three stories, Spanish Neoclassical style concrete commercial and residential building. Conforms with the historic scale and massing of the street.</p>	<p>Eligible (Criteria C)</p>
	<p>18°23'54.6"N 66°03'08.1"W</p> <p>4 Arzuaga Street</p> <p>(0.01 mi N)</p>	<p>Edificio Manolo Margarida; Edificio Doña Emilia A. de Margarida</p>	<p>1925, three stories, Art Nouveau style concrete commercial and residential building designed by Martínez & Lazaro Architects.</p>	<p>Eligible (Criteria C)</p>
	<p>18°23'54.3"N 66°03'07.7"W</p> <p>6 Arzuaga Street</p> <p>(0.01 mi N)</p>	<p>Edificio José Ruiz de Val</p>	<p>1924, three stories, concrete commercial and apartments building built by José Ruiz de Val, a lawyer, and designed within Beaux Arts traits by Martínez & Lazaro Architects.</p>	<p>Eligible (Criteria C)</p>
	<p>18°23'53.8"N 66°03'05.9"W</p> <p>1104 Brumbaugh Street</p> <p>(0.01 mi N)</p>	<p>Edificio Santa Ana Najero</p>	<p>Circa 1930-40, three stories, concrete commercial and residential building within Art Deco traits. Originally owned by Enrique Acosta.</p>	<p>Eligible (Criteria C)</p>

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	18°23'53.7"N 66°03'05.4"W 51 Arzuaga Street (0.01 mi N)	Two Stories, Mix-Use Masonry, Brick and Concrete Building	Circa 1910, commercial and residential building with Spanish Neoclassic traits.	Eligible (Criteria C)
	18°23'53.6"N 66°03'04.1"W 57 Arzuaga Street (0.01 mi N)	Two Stories Mix-Use Concrete Building	Circa 1940, Spanish Revival style building with retail space in first floor and residence in upper floor.	Eligible (Criteria C)
	18°23'53.2"N 66°03'03.5"W 59 Arzuaga Street (0.01 mi N)	Concrete Three Stories Mix-Use Building	Circa 1920, three stories, Spanish Colonial style commercial and residential building.	Eligible (Criteria C)
	18°23'54.7"N 66°03'09.5"W 1102 Ponce de León Avenue (0.02 mi NW)	Hotel Nest	Circa 1930, three stories, concrete hotel with Spanish Neoclassical traits that replaced a previous one. It was recently renovated.	Eligible (Criteria C)
	18°23'52.8"N 66°03'10.1"W 1122 Ponce de León Avenue (0.01 mi W)	Higinio Joglar Residence	Circa 1920, two stories, Spanish Neoclassical style mix-use concrete building by the brother of Evaristo Joglar, a Spanish merchant which also created the nearby Modelo Drugstore, within a similar design.	Eligible (Criteria A & C)

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	<p>18°23'52.4"N 66°03'10.1"W</p> <p>1124 Ponce de León Avenue</p> <p>(0.01 mi W)</p>	<p>Evaristo Joglar Residence; Modelo Drugstore</p>	<p>Circa 1920, two stories, Spanish Neoclassical style mix-use concrete building by Evaristo Joglar, a Spanish merchant and proprietor of Modelo Drugstore.</p>	<p>Eligible (Criteria A & C)</p>
	<p>18°23'51.7"N 66°03'09.7"W</p> <p>1154 Ave. Ponce de León</p> <p>(0.01 mi S)</p>	<p>Casa de Cultura Ruth Hernández Torres</p>	<p>Circa 1867, two stories, Vernacular mix-use building built with brick, masonry, wood, and metal. Recently restored.</p>	<p>Eligible (Criteria C)</p>
	<p>18°23'51.6"N 66°03'09.1"W</p> <p>4 Georgetti Street</p> <p>(0.01 mi S)</p>	<p>Two Stories Office Building</p>	<p>Circa 1920, two stories, Spanish Neoclassical concrete office building. Originally a residence built in 1868, the traditional colonial hammer floor plan was preserved.</p>	<p>Eligible (Criteria C)</p>
	<p>18°23'51.3"N 66°03'08.8"W</p> <p>6 Georgetti Street</p> <p>(0.01 mi S)</p>	<p>Edificio Dávila Monsanto; Los Chinitos</p>	<p>Circa 1925, five stories, concrete mix-use building (retail space in first floor, eight apartments above, and open terrace on the rooftop) with Art Nouveau traits in the columns, capitals, and parapets.</p>	<p>Eligible (Criteria C)</p>
	<p>18°23'51.0"N 66°03'06.9"W</p> <p>16 Georgetti Street</p> <p>(0.01 mi S)</p>	<p>Edificio Emilio Antuñano; Ventomar</p>	<p>Circa 1900, one story, brick and masonry commercial building with a Spanish colonial style. Topped with wooden beams and boards, and a metal planks roof pitched towards its back.</p>	<p>Eligible (Criteria C)</p>



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	<p>18°23'49.6"N 66°03'07.1"W</p> <p>1154 Brumbaugh Street</p> <p>(0.03 mi S)</p>	<p>Two Stories Concrete Student Hostel</p>	<p>Circa 1930, two stories, Art Deco style concrete residence, transformed into a student hostel.</p>	<p>Eligible (Criteria C)</p>
	<p>18°23'49.9"N 66°03'06.5"W</p> <p>1153 Brumbaugh Street</p> <p>(0.02 mi S)</p>	<p>Edificio Borinquen</p>	<p>Circa 1950, five stories, apartment building with retail space on the first floor, designed within Art Deco traits.</p>	<p>Eligible (Criteria C)</p>
	<p>18°23'50.3"N 66°03'05.7"W</p> <p>52 Georgetti Street</p> <p>(0.01 mi S)</p>	<p>One Story Commercial Building</p>	<p>Circa 1900, one story, Spanish colonial style, brick and masonry commercial building with a wood and metal roof.</p>	<p>Eligible (Criteria C)</p>
	<p>18°23'49.5"N 66°03'02.0"W</p> <p>72 Georgetti Street</p> <p>(0.01 mi S)</p>	<p>Two Stories Concrete Residence</p>	<p>Circa 1950, two stories, early Modern style concrete residence, currently used as a medical office.</p>	<p>Eligible (Criteria C)</p>
	<p>18°23'49.5"N 66°03'01.6"W</p> <p>74 Georgetti Street</p> <p>(0.01 mi S)</p>	<p>Two Stories Concrete Medical Office</p>	<p>Circa 1950, two stories, early Modern style concrete residence transformed into office space.</p>	<p>Eligible (Criteria C)</p>

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	18°23'49.4"N 66°03'01.2"W 76 Georgetti Street (0.01 mi S)	Two Stories Concrete Commercial Building	Circa 1950, two stories, Art Deco style concrete commercial building, currently used as a medical dispensary.	Eligible (Criteria C)
	18°23'50.3"N 66°02'57.7"W 1115 Camelia Soto Street (0.02 mi E)	Three Stories Concrete Commercial and Apartment Building	Circa 1925, three stories, Spanish Revival style, concrete apartment building with retail space on the first floor.	Eligible (Criteria C)

Until the first decades of the 20th century, the public squares and streets on the immediate periphery in the urban centers were characterized by the concentration of cultural, social, and economic activities. Therefore, the wealthiest neighbors often established residences and institutional or commercial buildings surrounding the town parish and plazas. It is not uncommon to still find single-family houses facing the town plaza. Nevertheless, most of the buildings around the church, the square, and, in the case of Río Piedras, the generous space of Plaza de la Convalecencia, represent an architectural typology known in Ancient Rome as "Casa de Diana" with commercial space on the first level and residences or apartments on the upper floors. In contrast, the houses and shops of the workers tend to occupy smaller land plots distant from the city center.

This class-related spatial distribution was evident in the Río Piedras TUC, where most workers lived in the following three wards: Capetillo to the east, Venezuela to the southwest, and Buen Consejo to the southeast. In fact, the open space south of Plaza del Pilar and Plaza de la Convalecencia, visible in a USGS aerial image of 1931, was later transformed into the Ubarri neighborhood, which holds some of the more spatially generous and sound design residences in Río Piedras (Figures 34 and 35). The same can be said of the Santa Rita neighborhood developed on the west side of Ponce de León Avenue, between the corners of Julián Blanco Street and Universidad Avenue with Ponce de León Avenue.



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Figure 34. 1931 USGS aerial photograph of Río Piedras (Source: Office of Photogrammetry, Puerto Rico Highways and Transportation Authority).


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Figure 35. c. 1945 Spanish Revival residence located in 1164 Brumbaugh Street, Ubarri Neighborhood, 0.07 miles south of the APE and outside of the Visual APE (Source: Author).

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There are at least three examples of "Casas de Diana" (commerce and housing) from the mid-19th to early 20th century in front of Plaza del Pilar. The oldest of them is *Casa Cultural Ruth Hernández Torres*, originally built in 1867, with a first level of brick and masonry that had commercial uses, and a large wooden residential space with hipped roofs sheeted with metal plates on the second level (Figure 36). The floor plan is hammer-shaped, a recurring vernacular way of organizing domestic space in urban centers to guarantee a side or interior patio. Equally representative of the architecture of the mix-use late 19th and early 20th centuries are the houses of the brothers Higinio and Evaristo Joglar (Figures 37 and 38). Both were built with reinforced concrete, exhibiting a Spanish Neoclassical Colonial style in the front elevations facing Plaza del Pilar, but still have metal plank roofs pitched towards the rear. It should be noted that two late 19th century commercial properties built in brick and masonry with wood and metal plank roofs have survived the intensive transformation of the Río Piedras TUC. Those are 16 Georgetti Street, which preserves much of its historical integrity, and 52 Georgetti Street, which has lost some of it, but Spanish Colonial traits can still be recognized within the façade.

It is quite possible that until 1920, most of the buildings around Plaza del Pilar and Plaza de la Convalecencia looked like the abovementioned properties. However, the increase in population density and the boom in commerce, educational activities, and services sustained until the 1980s promoted the change in the architecture of both the direct APE and visual APE. From Spanish Revival to austere functionalism, the buildings that surround the two plazas illustrate how human profiles, activities, and tastes were transformed throughout the period. For example, the building on 7 Arzuaga Street, built in 1925, is a commercial building with two levels of apartments above and large balconies. It is built in concrete with Art Nouveau style. On the south side of the square, the building at 6 Georgetti Street is a five-story property with an Art Nouveau appearance and is the tallest in all of visual APE (Figure 39). The first floor had commercial uses, while the upper floors are apartments that had generous balconies overlooking the square. In contrast, 72 Georgetti Street is an elegant residence designed in the Modern style that today functions as a doctor's office, while on the other side of Plaza de la Convalecencia, 1 Arzuaga Street is an austere Modern style, designed by Pedro de Castro Hardesty in the 1950s.

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Figure 36. Casa de la Cultura Ruth Hernández Torres, a c. 1867 vernacular brick, masonry, wood en metal building on 1154 Ave. Ponce de León, with commercial space on the first floor and a residence on the second floor (Source: Author).



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Figure 37. Early 20th century Spanish Neoclassical commercial-residential structure built for Higinio Joglar on 1122 Ponce de Leon Avenue (Source: Author).

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Figure 38. Early 20th century Spanish Neoclassical commercial-residential structure built for Evaristo Joglar on 1124 Ponce de Leon Avenue (Source: Author).


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Figure 39. Dávila Monsanto Building, a 1925 Art Nouveau style five-story apartment building with retail space on the first floor on 6 Georgetti Street; the tallest building in the visual APE (Source: Author).


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Nuestra Señora del Pilar Church and Plaza del Pilar also underwent several transformations as the 20th century progressed. Due to its narrowness and poor conditions, the small 19th century temple that used to align its façade with Ponce de León Avenue was demolished as soon as a new, much larger church was completed just behind it.¹ Once blessed and inaugurated in 1933, the 19th century temple was demolished, and its space was converted into a wide public space, and towards it the present church orients its façade. The new church, designed by architect Francisco Porrata Doria, boasts Spanish Revival and Neo-Gothic features and has interior decorative elements designed by Italian artist José Albrizio.² In front of the façade, where its new atrium appeared, planting spaces and benches for the public were incorporated (Figures 40 and 41). In the 1960s, when the Río Piedras TUC was most densely populated, the monumental parish house to the rear was built. Designed by the architect Jaime Torres Gaztambide, this spacious U-shaped building, with arched windows on the first level and a corridor with arcades open to the public space on the second, covers the entire apse of the main altar. Although it tries to respect Porrata Doria's 1931 design, it does so in an austere, even simplistic, way (Figure 42).

Plaza de la Convalecencia underwent even more radical changes than Plaza del Pilar throughout the 20th century. In the 1931 USGS aerial photograph, the ruins or footprint of the vacation house of the Spanish general captains, which aligned its façade with Brumbaugh Street, are still visible. In the 1936 USGS aerial photograph discussed above, it seems that the house had already been demolished, and the park was covered by a dense grove of trees that would honor the name Arzuaga Street had in the 19th century: De las Delicias Street. The municipality must have carried out other refurbishments in the next three decades, as a 1962 USGS aerial photograph shows how the dense grove was cleared and divided into rectangular flowerbeds between Brumbaugh Street and Del Carmen Street (Figure 43). Between Del Carmen Street and Camelia Soto Street, an ample open space was defined by a species of trapezium highlighted with flooring slab patrons, a forested child park is visible to the west, and an acoustic shell to offer open-air shows to the east end, as seen on a 1977 USGS aerial photograph (Figure 44).

¹ "Bendecirán el domingo la piedra angular de la nueva iglesia católica de Río Piedras". *El Mundo*, January 27, 1931, p. 12. Retrieved from <https://gpa.eastview.com/crl/elmundo/?a=d&d=mndo19310127-01.1.12&srpos=13&e=-----en-25--1-byDA-img-txIN-%22Parroquia+del+Pilar%22>

² "Bendición del nuevo comulgatorio" *El Mundo*, November 11, 1933, p. 9. Retrieved from <https://gpa.eastview.com/crl/elmundo/?a=d&d=mndo19331111-01.1.8&srpos=16&e=-----en-25--1-byDA-img-txIN-%22Parroquia+del+Pilar%22>.

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The most radical transformation that the park underwent, however, occurred at the same time that the municipality planned to convert De Diego Street into a large open-air shopping promenade. At this time, the construction of an underground parking garage partly under Plaza de la Convalecencia was proposed: from its edge on Del Carmen Street, to the east end, where the plaza borders Camelia Soto Street.³ The lack of parking was one of the biggest complaints publicly expressed by both neighbors and merchants. The underground parking garage has two levels below the surface of the plaza, requiring excavations more than sixteen feet deep, with a perimeter of nearly 100,000 square feet. Trees cover a limited portion of the existing park area: the polygon defined by Arzuaga Street to the north, Carmen Street to the east, Georgetti Street to the south, and Brumbaugh Street to the west. This area of the park has been altered on other occasions, the last one dating from the first decade of the 21st century. Hence, at present, this area exhibits a smaller surface of gardens, two fountains, orthogonal planting areas, and a large, paved esplanade with a small theater school on the east side of the space. The underground parking, as expected, has compromised the possibility that the square has to be filled again with trees and plants.

³ “Súbita transformación del Plaza de la Convalecencia de Río Piedras”. *El Mundo*, June 13th 1973, p. 4-A, Retrieved from *El Mundo Digital Archive*. <https://gpa.eastview.com/crl/elmundo/?a=p&p=home&e=-----en-25--1-byDA-img-txIN-%22Iglesia+del+Pilar%22----->

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Figure 40. 1931 USGS aerial photograph of Río Piedras highlighting the original Nuestra Señora del Pilar Church demolished in the same year (Source: Office of Photogrammetry, Puerto Rico Highways and Transportation Authority).

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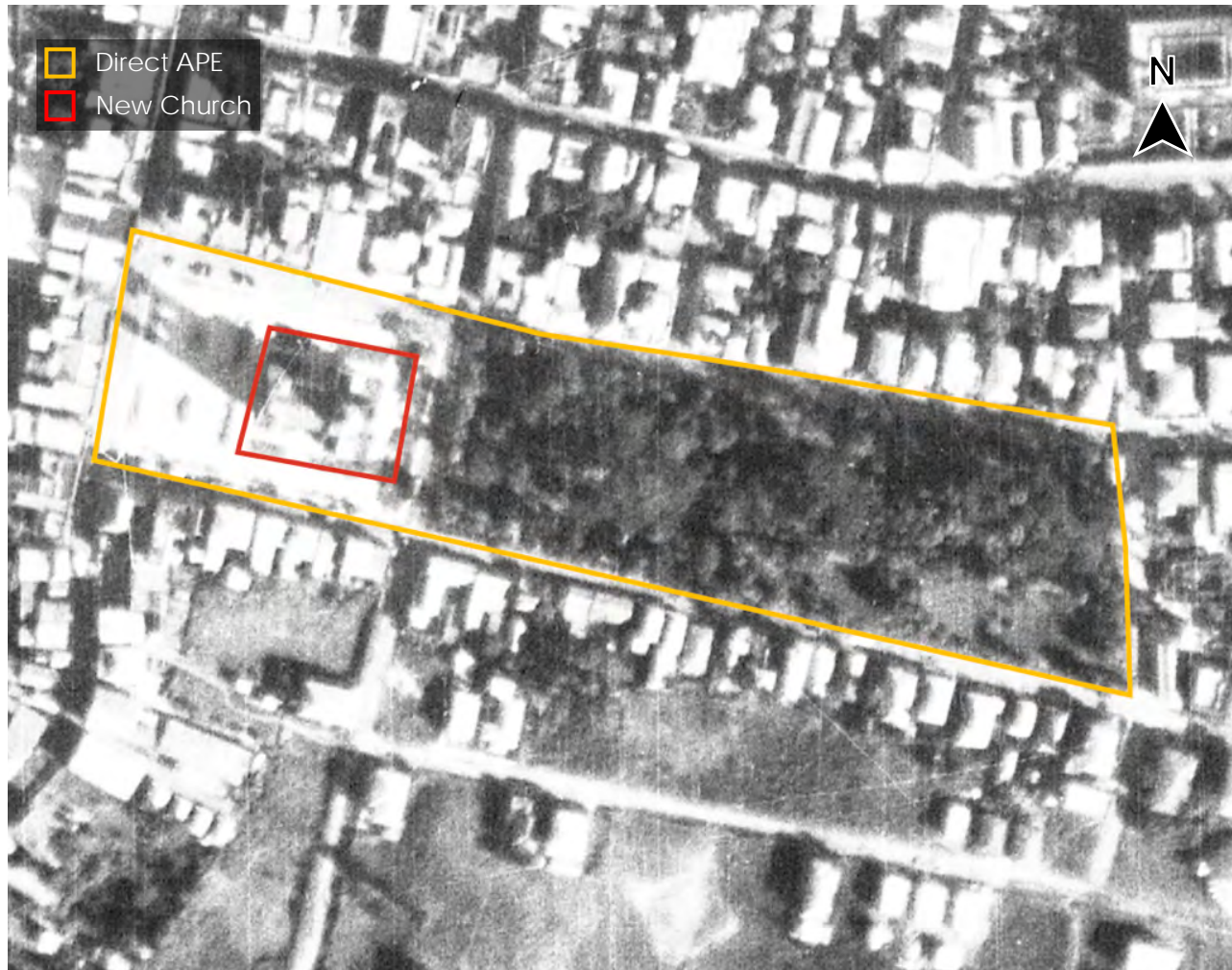


Figure 41. 1936 USGS aerial photograph of Río Piedras highlighting the new Nuestra Señora del Pilar Church built three years prior (Source: Office of Photogrammetry, Puerto Rico Highways and Transportation Authority).



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Figure 42. c. 1965 proposal for a new parish house by architect Jaime Torres Gaztambide (Source: Mapoteca del Archivo General de Puerto Rico, <https://archivonacional.com/PL/1/1/5852>).


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Figure 43. 1962 aerial photograph of Plaza del Pilar and Plaza de la Convalecencia (Source: USGS Earth Explorer, <https://earthexplorer.usgs.gov/>).




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Figure 44. 1977 aerial photograph of Plaza del Pilar and Plaza de la Convalecencia (Source: USGS Earth Explorer, <https://earthexplorer.usgs.gov/>).


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Determination

The following historic properties have been identified within the APE and the Program has determined the project will have the following effects on them:

- **Direct Effect:** For Plaza de Pilar, two historic foundations may be impacted on the west side, facing Ponce de León Avenue (formerly *Travesía de Río Piedras*): the original church built c. 1714 and the second church built in 1831. The second church was flanked by the priest's house and a small jail, but it is not clear if these secondary structures were east of the church, or outside of the existing plaza. From the date of the first construction in 1714, and the implementation of the Napoleonic Code in Puerto Rico by 1809, prohibiting burials in and around churches, we estimate ninety-two years of potential human burials within Plaza del Pilar. Although there were previous Spanish laws or *reales cédulas* for the same purpose in 1787 and 1804, some historians believe that they were seldom enforced. The existing church of 1933 was built in concrete, presumably avoiding any buried foundations west of the new church. For Plaza de la Convalecencia, the construction of the multi-story underground parking garage eliminated any archaeological material that may have existed on the east half, including remnants of the historic *Jardín de la Convalecencia*. *Casa de la Convalecencia*, the 19th century governor's summer home, first used by officers of the Spanish Army, was demolished in the 1970s on the west half of Plaza de la Convalecencia, excluded from the deep excavations for the underground parking garage. Therefore, remnants of the large, two-story wooden edifice may be impacted under the modern plaza.
- **Indirect Effect:** The undertaking will not significantly intervene in the aesthetics of Plaza del Pilar and Plaza de la Convalecencia, and as such, will not indirectly affect the cultural viewshed of the project area, which is located within the NRHP-eligible Río Piedras TUC. Urban furniture and technical infrastructure must be installed in harmony with the façades of surrounding NRHP-listed/eligible historic properties.

Based on the results of our historic property identification efforts, the Program has determined that project actions may affect historic archaeological materials within the direct APE, with a No Adverse Effect on NRHP-listed/eligible properties by providing an Archaeological Monitoring Plan approved by the Puerto Rico State Historic Preservation Office (PRSHPO), to be implemented by a SOI-Qualified Archaeologist.

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Project Name: Improvements to Plaza de la Convalecencia and Plaza del Pilar	

Recommendation

The Puerto Rico Department of Housing requests that the Puerto Rico SHPO concur that the following determination is appropriate for the undertaking (Choose One):

- No Historic Properties Affected
- No Adverse Effect

Condition: An Archaeological Monitoring Plan for the rehabilitation of Plaza de Pilar and Plaza de la Convalecencia must be submitted and approved by the PRSHPO, to be implemented by a SOI-Qualified Archaeologist for all ground-disturbing activities within Plaza del Pilar and the west half of Plaza de la Convalecencia (from Brumbaugh Street to the midpoint). Design plans must also respect the historic character of the surrounding NRHP-listed/eligible historic properties and the NRHP-eligible Río Piedras TUC.

- Adverse Effect

Proposed Resolution:

This Section is to be Completed by SHPO Staff Only

<p>The Puerto Rico State Historic Preservation Office has reviewed the above information and:</p> <ul style="list-style-type: none"> <input type="checkbox"/> Concurs with the information provided. <input type="checkbox"/> Does not concur with the information provided. 	
<p>Comments:</p> 	
<p>Carlos Rubio-Cancela State Historic Preservation Officer</p>	<p>Date:</p>

Subrecipient: Municipality of San Juan

Project ID Number: PR-CRP-000924

Project Name: Improvements to Plaza de la Convalecencia and Plaza del Pilar

Figure 45. Project (Parcel) Location with Direct APE - Aerial Map



Source: Satellite Imagery, Apple Maps
(<https://www.apple.com/maps>)

Subrecipient: Municipality of San Juan

Project ID Number: PR-CRP-000924

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Figure 46. Project (Parcel) Location with Direct & Visual APE - Aerial Map



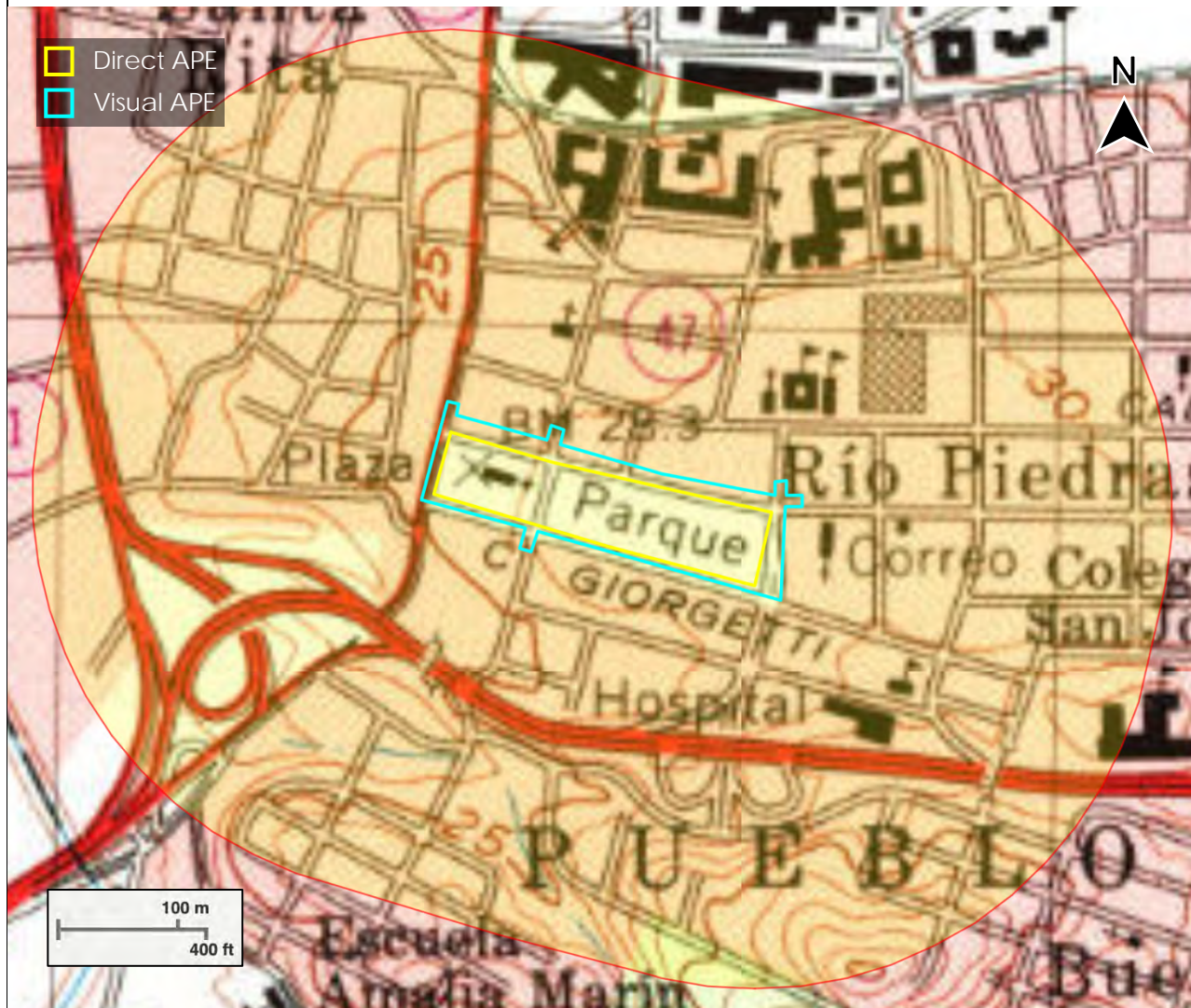
Source: Interactive Map of United States Environmental Protection Agency, NEPAassist (<https://nepassisttool.epa.gov/nepassist/nepamap.aspx>)

Subrecipient: Municipality of San Juan

Project ID Number: PR-CRP-000924

Project Name: Improvements to Plaza de la Convalecencia and Plaza del Pilar

Figure 47. Project (Parcel) Location with Direct & Visual APE - Topographic Map



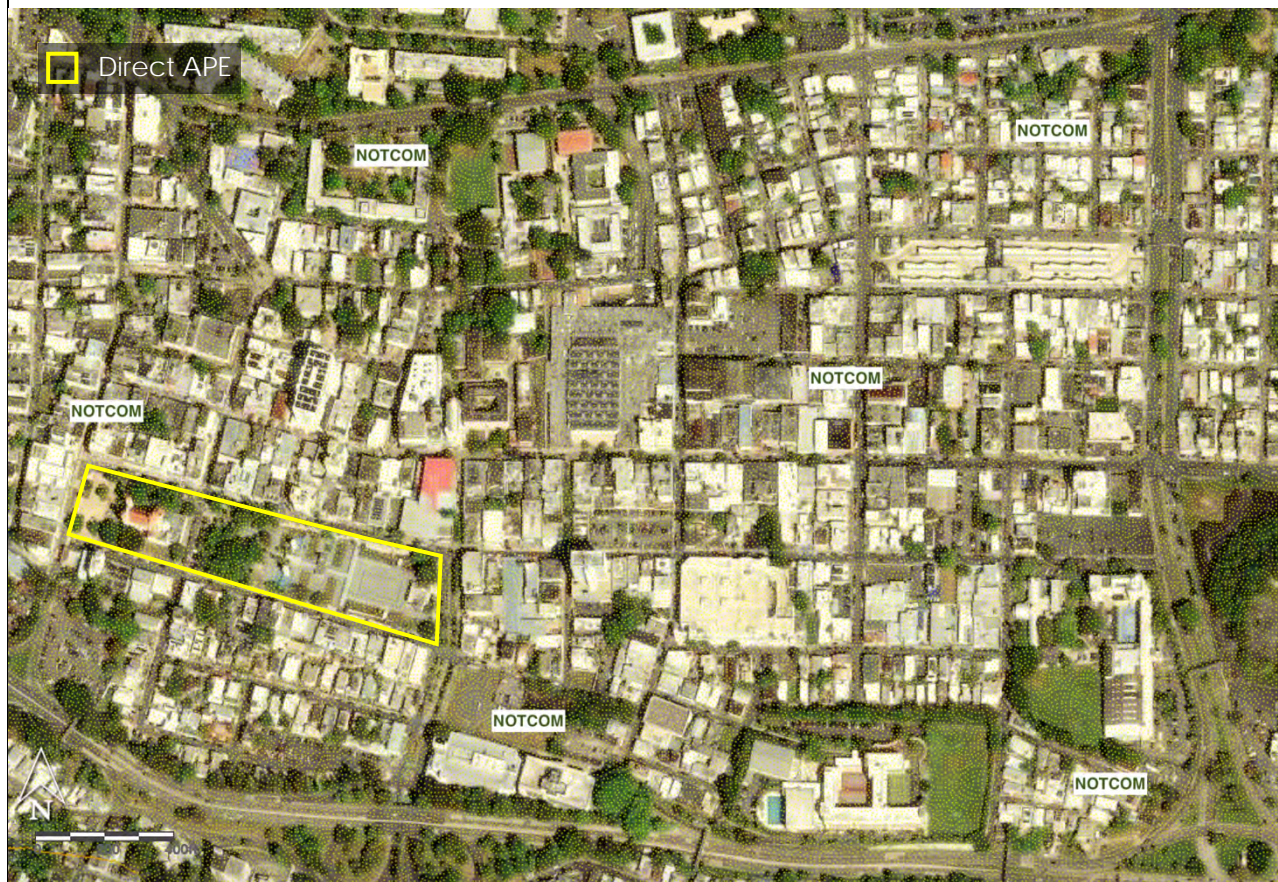
Source: Interactive Map of United States Environmental Protection Agency, NEPAassist (<https://nepassisttool.epa.gov/nepassist/nepamap.aspx>)

Subrecipient: Municipality of San Juan

Project ID Number: PR-CRP-000924

Project Name: Improvements to Plaza de la Convalecencia and Plaza del Pilar

Figure 48. Project (Parcel) Location - Soils Map



Source: Interactive Map of Puerto Rico Planning Board, MIPR

(<http://gis.jp.pr.gov/mipr/>)

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Project ID Number: PR-CRP-000924

Project Name: Improvements to Plaza de la Convalecencia and Plaza del Pilar

Figure 49. Project (Parcel) Location - Río Piedras Traditional Urban Center



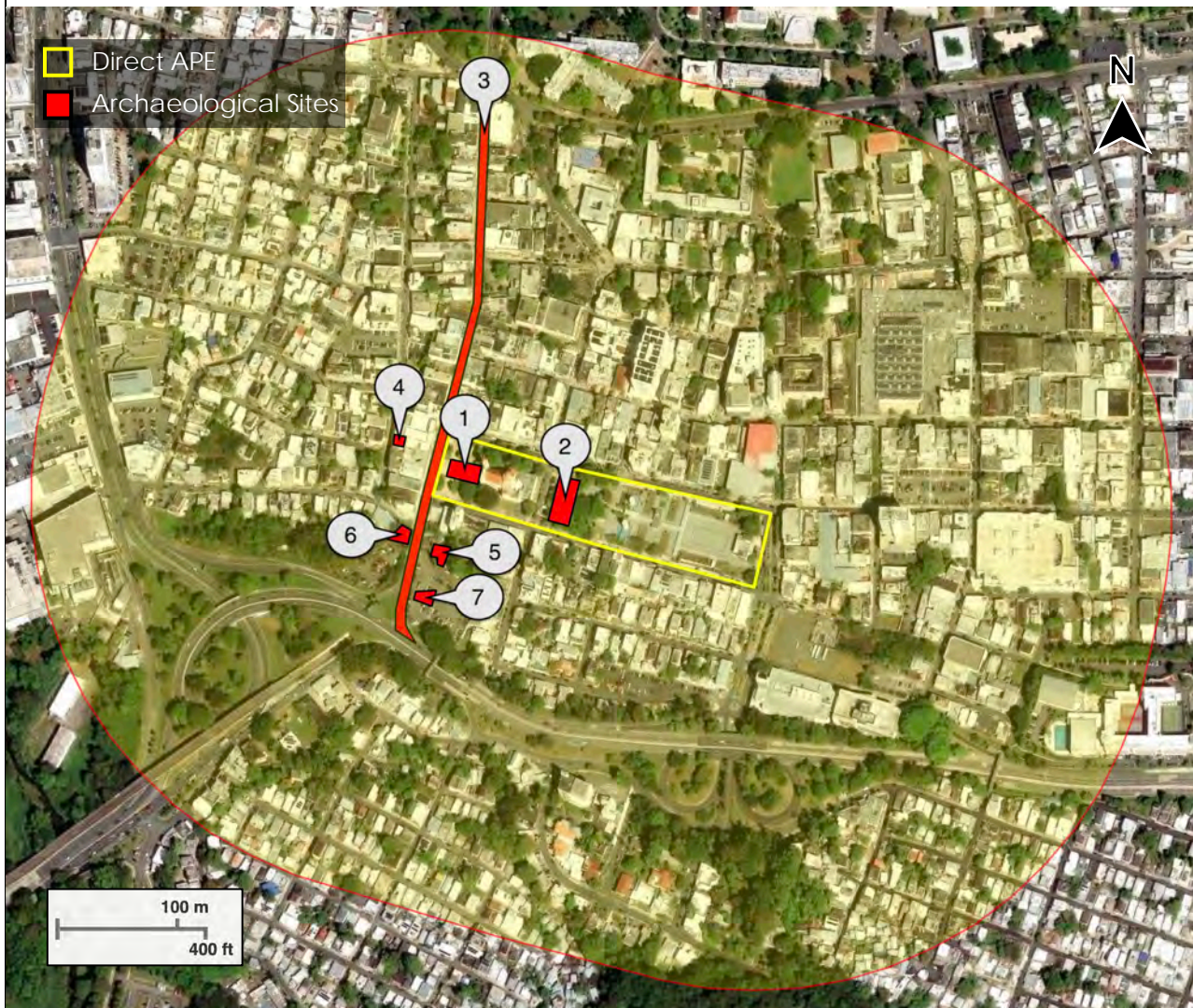
Source: State Historic Preservation Office (SHPO)
(<https://www.oech.pr.gov/conservacion-historica>)

Subrecipient: Municipality of San Juan

Project ID Number: PR-CRP-000924

Project Name: Improvements to Plaza de la Convalecencia and Plaza del Pilar

Figure 50. Project (Parcel) Location with Archaeological Sites - Aerial Map



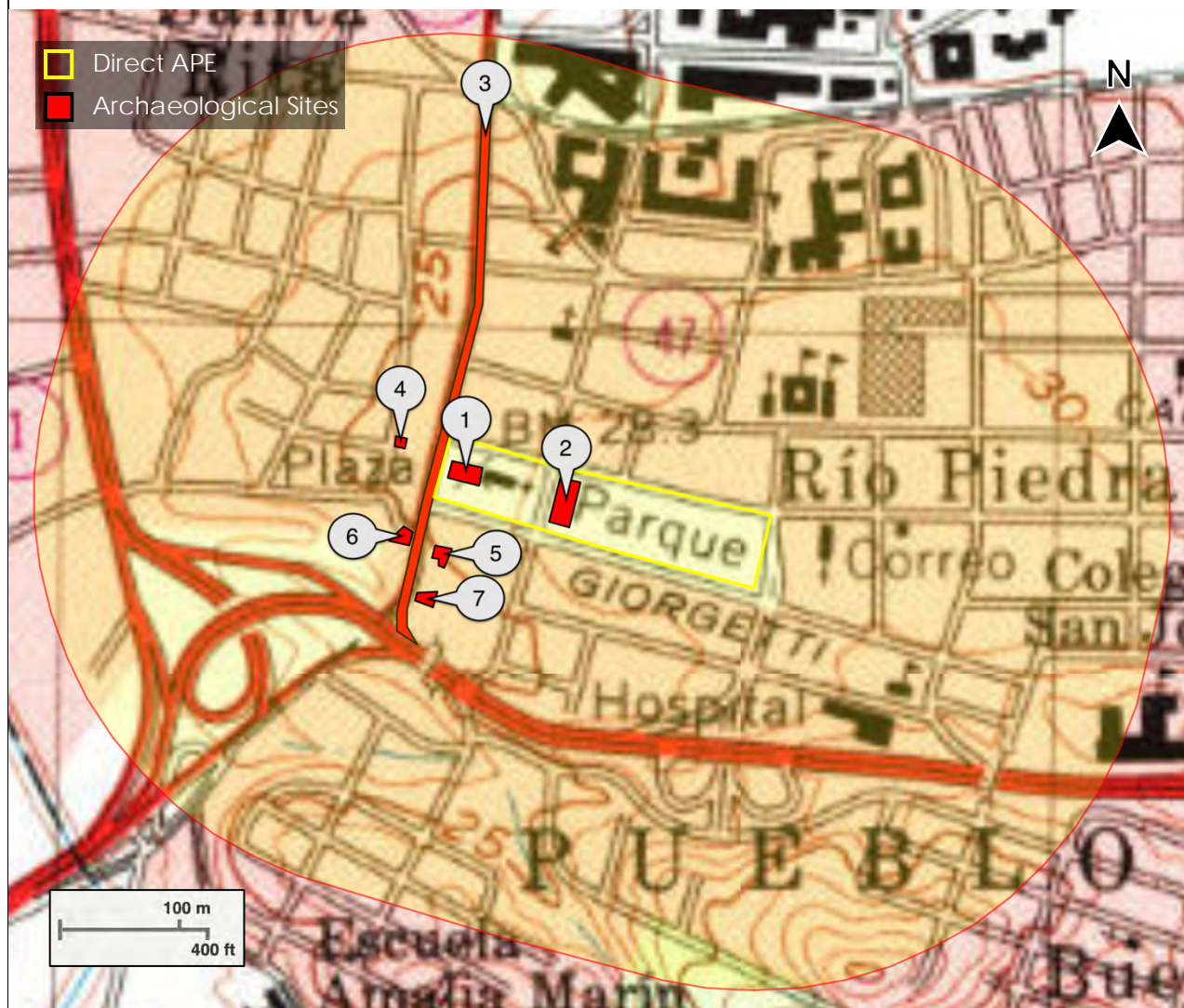
Source: Interactive Map of United States Environmental Protection Agency, NEPAassist
(<https://nepassisttool.epa.gov/nepassist/nepamap.aspx>)

Subrecipient: Municipality of San Juan

Project ID Number: PR-CRP-000924

Project Name: Improvements to Plaza de la Convalecencia and Plaza del Pilar

Figure 51. Project (Parcel) Location with Archaeological Sites - Topographic Map



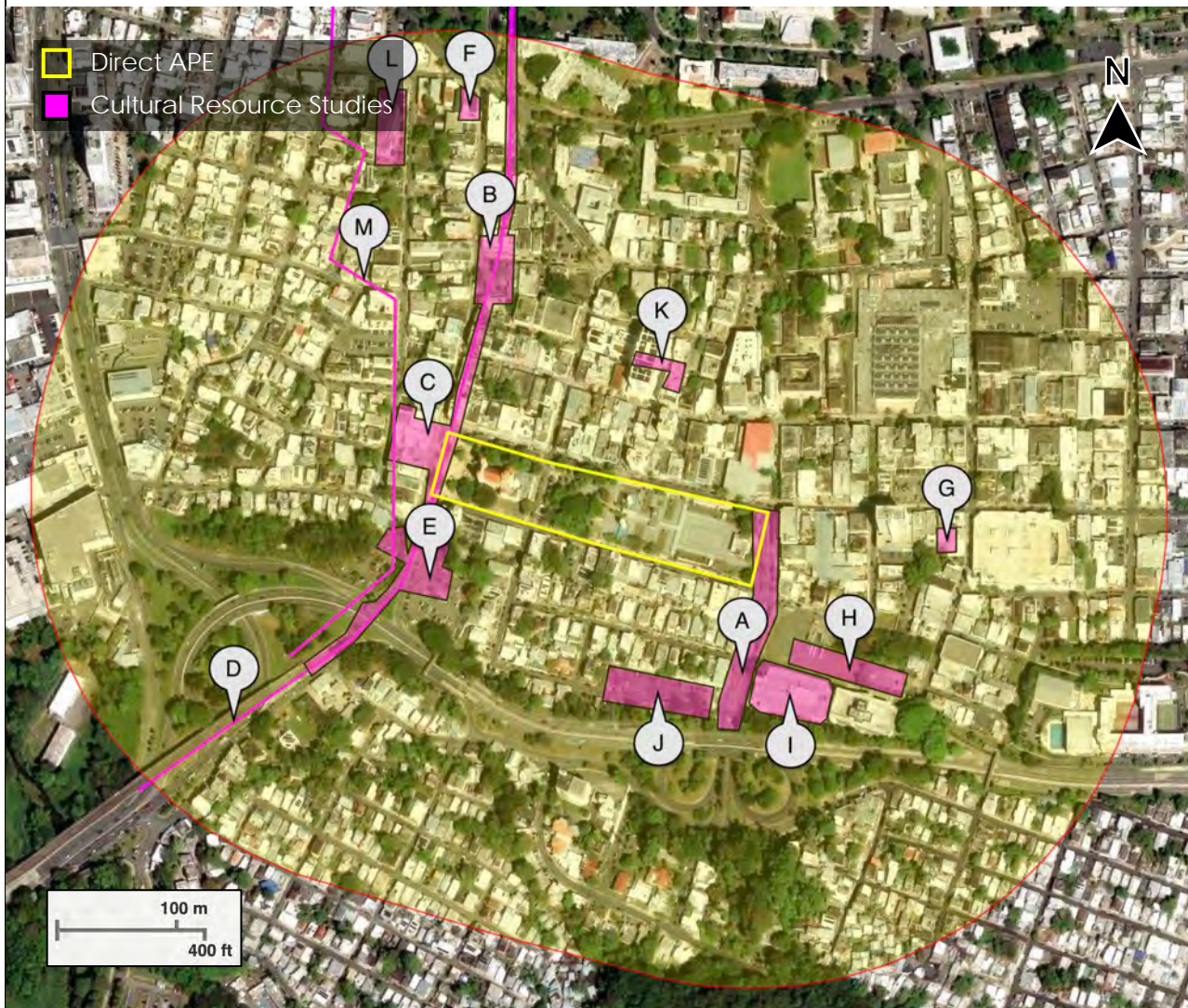
Source: Interactive Map of United States Environmental Protection Agency, NEPAassist
(<https://nepassisttool.epa.gov/nepassist/nepamap.aspx>)

Subrecipient: Municipality of San Juan

Project ID Number: PR-CRP-000924

Project Name: Improvements to Plaza de la Convalecencia and Plaza del Pilar

Figure 52. Project (Parcel) Location with Cultural Resource Studies - Aerial Map



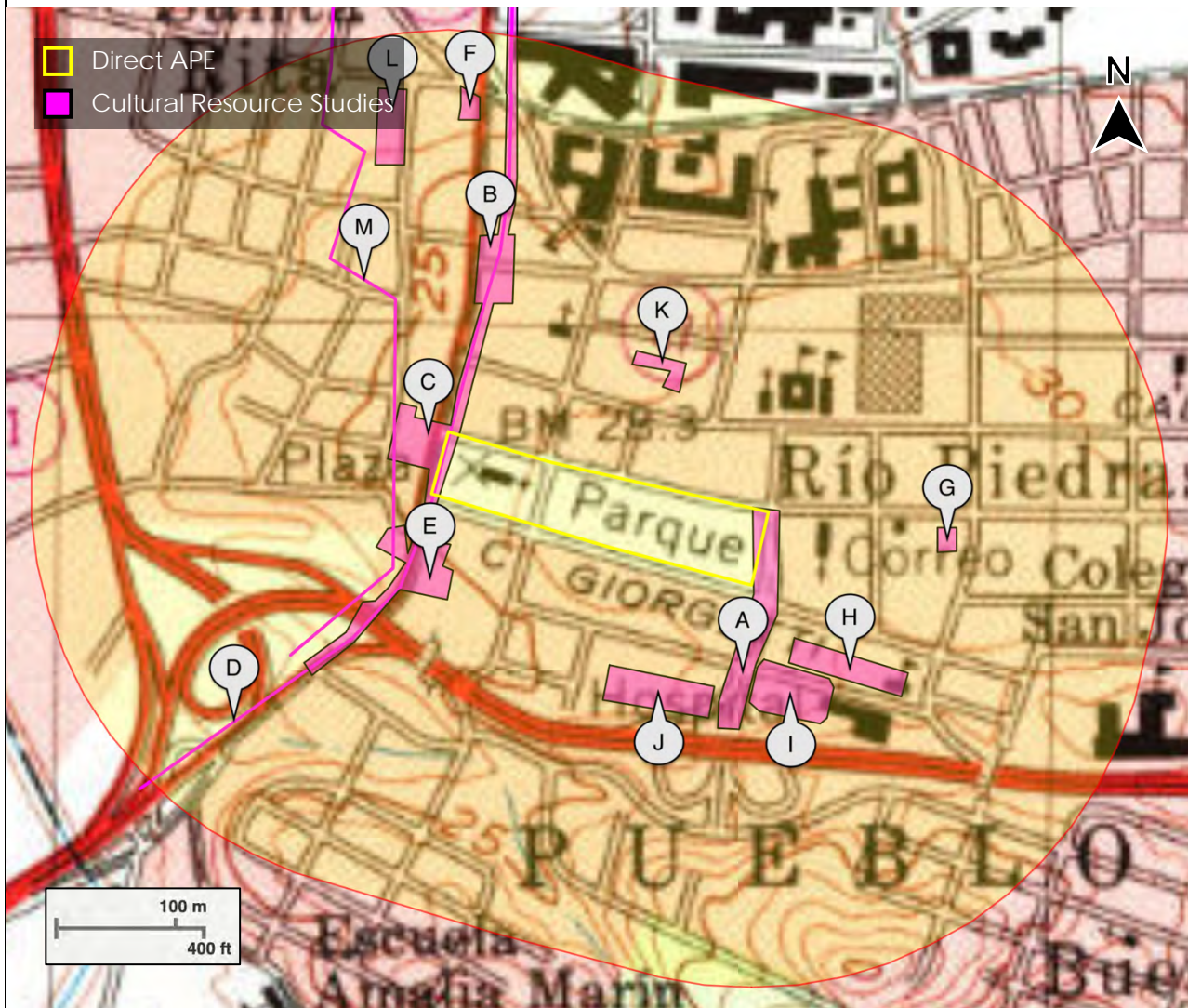
Source: Interactive Map of United States Environmental Protection Agency, NEPAassist
(<https://nepassisttool.epa.gov/nepassist/nepamap.aspx>)

Subrecipient: Municipality of San Juan

Project ID Number: PR-CRP-000924

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Figure 53. Project (Parcel) Location with Cultural Resource Studies - Topographic Map



Source: Interactive Map of United States Environmental Protection Agency, NEPAassist (<https://nepassisttool.epa.gov/nepassist/nepamap.aspx>)

Subrecipient: Municipality of San Juan

Project ID Number: PR-CRP-000924

Project Name: Improvements to Plaza de la Convalecencia and Plaza del Pilar

Photograph Key



Source: Satellite Imagery, Apple Maps

(<https://www.apple.com/maps>)

Subrecipient: Municipality of San Juan

Project ID Number: PR-CRP-000924

Project Name: Improvements to Plaza de la Convalecencia and Plaza del Pilar



Photo: 1

Description: Northwest corner of Plaza del Pilar at intersection of Ponce de León Avenue and Arzuaga Street.

Date: 6/6/2024



Photo: 2

Description: Façade of Nuestra Señora del Pilar Church on the west side of Plaza del Pilar.

Date: 6/6/2024



Subrecipient: Municipality of San Juan

Project ID Number: PR-CRP-000924

Project Name: Improvements to Plaza de la Convalecencia and Plaza del Pilar



Photo: 3

Description: Façade of Nuestra Señora del Pilar Church from the pedestrian footpath on the north side of Plaza del Pilar.

Date: 6/6/2024

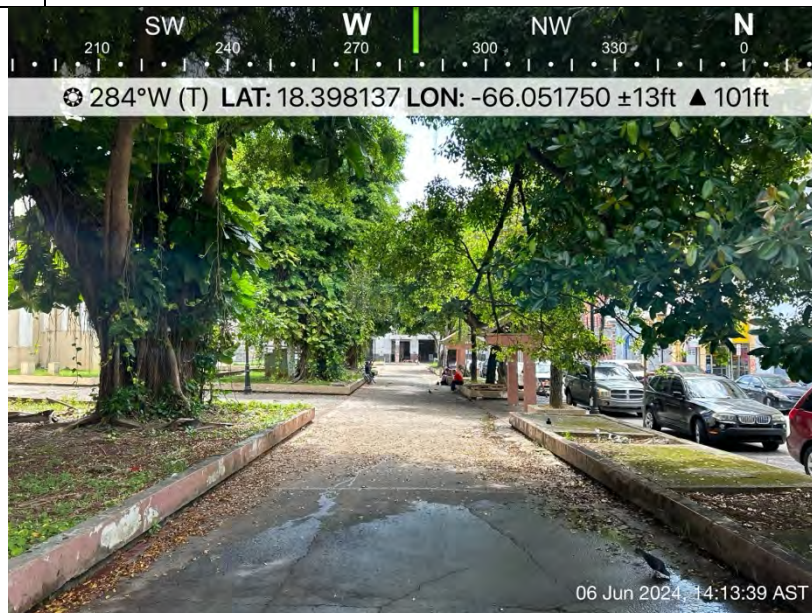


Photo: 4

Description: Pedestrian footpath on the north side of Plaza del Pilar, parallel to Nuestra Señora del Pilar Church and Arzuaga Street.

Date: 6/6/2024



Subrecipient: Municipality of San Juan

Project ID Number: PR-CRP-000924

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Photo: 5

Description: Rear elevation of Nuestra Señora del Pilar Church (Parish House) on the east side of Plaza del Pilar and west half of Plaza de la Convalecencia, separated by Brumbaugh Street.

Date: 6/6/2024



Photo: 6

Description: Circular planters and domino tables between two rectangular planting areas on the west half of Plaza de la Convalecencia, perpendicular to Arzuaga Street.

Date: 6/6/2024



Subrecipient: Municipality of San Juan

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Project Name: Improvements to Plaza de la Convalecencia and Plaza del Pilar



Photo: 7

Description: Stair access to the plaza and theater on the east half of Plaza de la Convalecencia from the pedestrian footpath on the north side.

Date: 6/6/2024



Photo: 8

Description: Northwest corner of the plaza and theater on the east half of Plaza de la Convalecencia.

Date: 6/6/2024



Subrecipient: Municipality of San Juan

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Photo: 9

Description: Stair access to the underground parking garage underneath the plaza and theater on the northeast corner of the east half of Plaza de la Convalecencia.

Date: 6/6/2024



Photo: 10

Description: Theater and temporary platform at the east side of Plaza de la Convalecencia, parallel to Camelia Soto Street.

Date: 6/6/2024



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Photo: 11

Description: Sidewalk and east side limit of Plaza de la Convalecencia, parallel to Camelia Soto Street.

Date: 6/6/2024



Photo: 12

Description: Vehicular entrance to the underground parking garage on the south side limit of the plaza and theater on the east half of Plaza de la Convalecencia.

Date: 6/6/2024



Subrecipient: Municipality of San Juan

Project ID Number: PR-CRP-000924

Project Name: Improvements to Plaza de la Convalecencia and Plaza del Pilar



Photo: 13

Description: Skating structure on the south side of the central area of Plaza de la Convalecencia, perpendicular to Georgetti Street.

Date: 6/6/2024

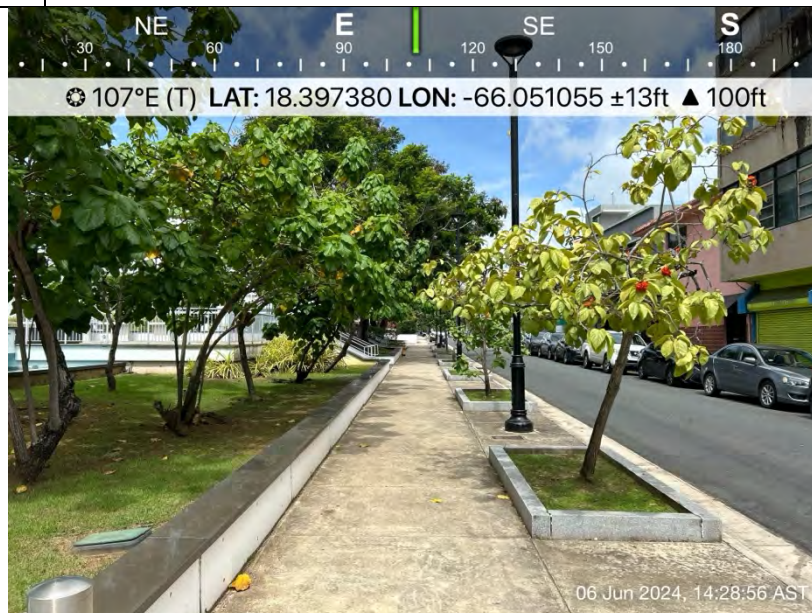


Photo: 14

Description: Sidewalk on the south side of the central area of Plaza de la Convalecencia, parallel to Georgetti Street.

Date: 6/6/2024



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Photo: 15

Description: Pedestrian entrance to the underground parking garage on the main pedestrian footpath crossing the west half of Plaza de la Convalecencia, from Georgetti Street to Arzuaga Street.

Date: 6/6/2024

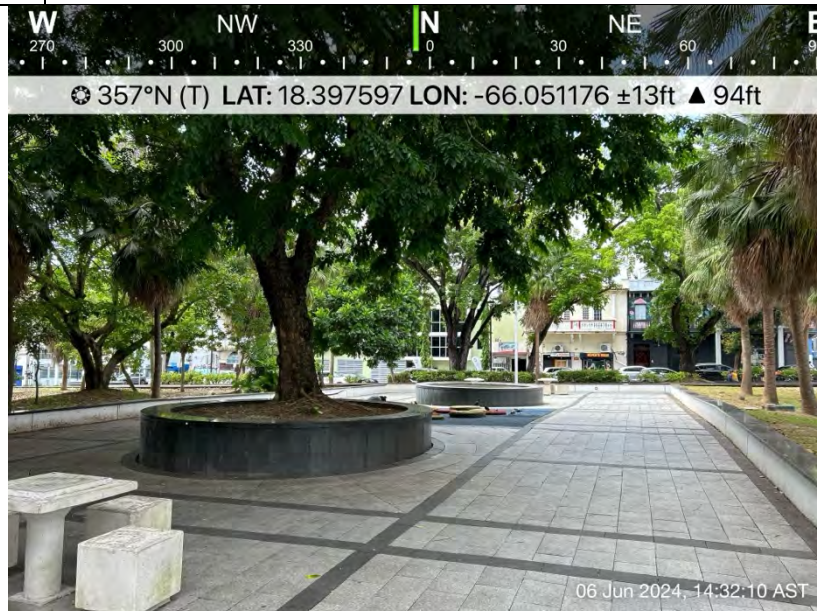


Photo: 16

Description: Circular planters and domino tables between two rectangular planting areas on the west half of Plaza de la Convalecencia, perpendicular to Georgetti Street.

Date: 6/6/2024



Subrecipient: Municipality of San Juan

Project ID Number: PR-CRP-000924

Project Name: Improvements to Plaza de la Convalecencia and Plaza del Pilar



Photo: 17

Description: Parking area and sidewalk on the west half of Plaza de la Convalecencia, parallel to Brumbaugh Street.

Date: 6/6/2024



Photo: 18

Description: Pedestrian footpath on the south side of the west half of Plaza de la Convalecencia, parallel to Georgetti Street, toward the rear elevation of Nuestra Señora del Pilar Church.

Date: 6/6/2024

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Project Name: Improvements to Plaza de la Convalecencia and Plaza del Pilar

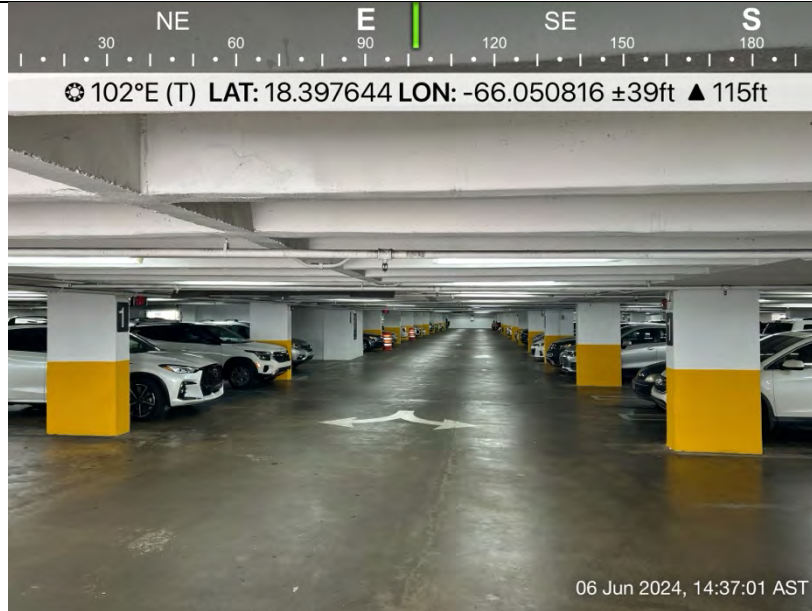


Photo: 19

Description: Underground parking garage underneath the plaza and theater on the east half of Plaza de la Convalecencia, accessible through different points.

Date: 6/6/2024



Photo: 20

Description: Pedestrian entrance to the underground parking garage on the main pedestrian footpath crossing the west half of Plaza de la Convalecencia, flanked by two fountains.

Date: 6/6/2024

Subrecipient: Municipality of San Juan

Project ID Number: PR-CRP-000924

Project Name: Improvements to Plaza de la Convalecencia and Plaza del Pilar



Photo: 21

Description: Playground area on the north side of the main pedestrian footpath crossing the west half of Plaza de la Convalecencia, perpendicular to Arzuaga Street.

Date: 6/6/2024



Photo: 22

Description: Sidewalk on the north side of the west half of Plaza de la Convalecencia, parallel to Arzuaga Street.

Date: 6/6/2024

Subrecipient: Municipality of San Juan

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Project Name: Improvements to Plaza de la Convalecencia and Plaza del Pilar



Photo: 23

Description: Pedestrian footpath on the south side of Plaza del Pilar, parallel to Nuestra Señora del Pilar Church and Georgetti Street.

Date: 6/6/2024

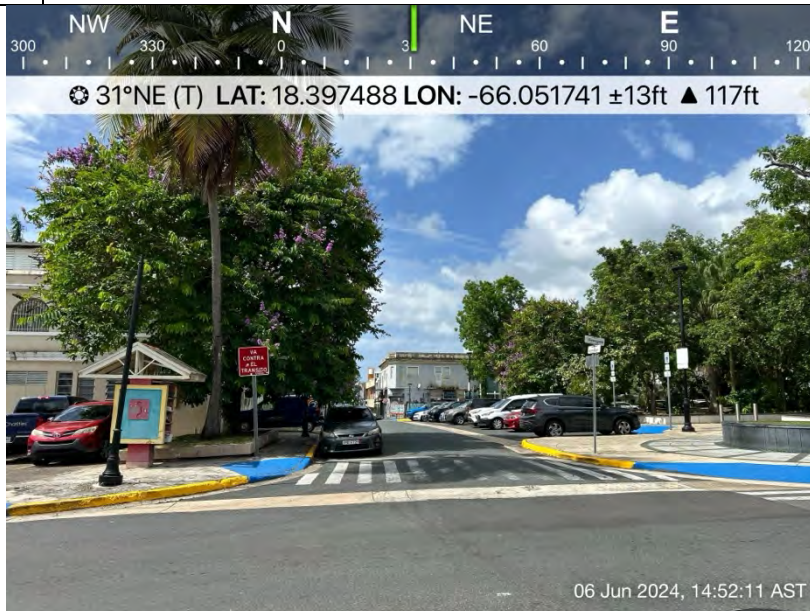


Photo: 24

Description: Rear elevation of Nuestra Señora del Pilar Church (Parish House) on the east side of Plaza del Pilar and west half of Plaza de la Convalecencia, separated by Brumbaugh Street.

Date: 6/6/2024



90% Construction Drawings for: IMPROVEMENTS OF PLAZA DE LA CONVALECENCIA AND PLAZA DEL PILAR Rio Piedras, San Juan, Puerto Rico



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Email: istraher@gmail.com

Project Management:
Dept. Urban Design and Project
Development, Autonomous
Municipality of San Juan, Puerto
Rico

**NOT FOR
CONSTRUCTION**



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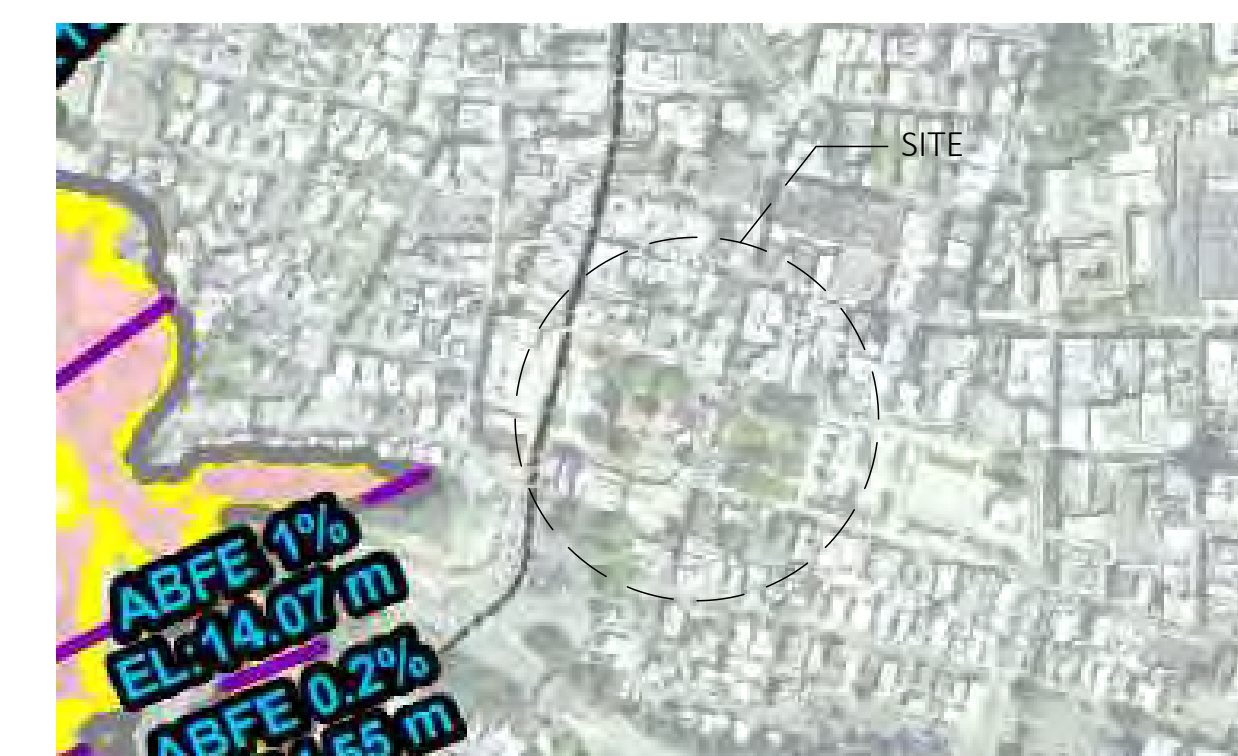
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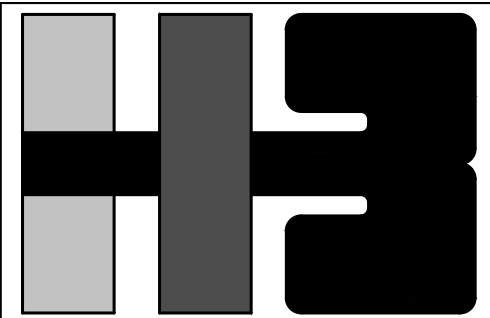
LOCATION MAP



CALIFICATION MAP



FLOODING MAP



**HERNANDEZ-BAUZA
PSC, ARCHITECTS**
843 ESTEBAN GONZALEZ STREET
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ARCHITECT'S SEAL



ISTRA HERNANDEZ DE BAUZA
ARCHITECT LICENSE NO. 7399

CONSULTANT'S SEAL

YO, ISTRA HERNANDEZ, ARQUITECTO LICENCIADO #7399, CERTIFICO QUE SOY EL PROFESIONAL QUE DISEÑO O ESTOS PLANOS Y LAS ESPECIFICACIONES COMPLEMENTARIAS. TAMBIEN CERTIFICO QUE ENTENDO QUE DICHS PLANOS Y ESPECIFICACIONES CUMPLEN CON LAS DISPOSICIONES APLICABLES DEL REGLAMENTO CONJUNTO Y LAS DISPOSICIONES APLICABLES DE LOS REGLAMENTOS Y CODIGOS DE CONSTRUCCION VIGENTES DE LAS AGENCIAS, JUNTA REGULADORA DE CORPORACIONES PUBLICAS CON JURISDICCION Y ESTAN EN CONFORMIDAD CON CODIGOS DE CONSTRUCCION DE PUERTO RICO 2018 VIGENTES AL 15 DE NOVIEMBRE DE 2018. CERTIFICO, ADEMAS, QUE EN LA PREPARACION DE ESTOS PLANOS Y ESPECIFICACIONES SE HA CUMPLIDO CABALMENTE CON LO DISPUESTO EN LA LEY NUM. 14 DE 8 DE ENERO DE 2004, SEGUN ENMIENDADA, CONOCIDA COMO LA LEY PARA LA INVERSION POR LA INDUSTRIA PUERTO RIQUEÑA Y CON LA LEY NUM. 185 DE 15 DE MAYO DE 1938, SEGUN ENMIENDADA; LEY NUM. 96 DE 6 DE JULIO DE 1978, SEGUN ENMIENDADA; SEGUN APRUQUE; RECONOCIDO QUE CUALQUIER DECLARACION FALSA O FALSIFICACION DE LOS HECHOS QUE SE HAYA PRODUCIDO POR DESCONEJAMIENTO O POR NEGLIGENCIA YA SEA POR MI, MIS AGENTES O EMPLEADOS, O POR OTRAS PERSONAS CON MI CONOCIMIENTO, ME HACER RESPONSABLE DE CUALQUIER ACCION JUDICIAL Y DISCIPLINARIA POR LA DGP.

CLIENT

MANAGER
DEPT. OF URBAN DESIGN AND PROJECT DEVELOPMENT, MASJ.

OWNER
AUTONOMOUS MUNICIPALITY OF SAN JUAN

PROJECT

IMPROVEMENTS OF "PLAZA DE LA CONVALECENCIA" AND "PLAZA DEL PILAR"

DRAWING NAME

SITE SURVEY

COMPUTER PLOT

THIS DRAWING WAS DRAFTED ON A CAD SYSTEM ALL CHANGES OR CORRECTIONS MUST BE STRICTLY EXECUTED ON CAD. ANY QUESTIONS PLEASE CONTACT HERNANDEZ-BAUZA

NO.	DATE	REVISION	BY	APPROVED
1	3/1/24		L.R.	L.H.

PROJECT

DRAWN BY/CHECKED BY

L.R. I.H.

NUMBER TOTAL

2 61

DRAWING NUMBER

X-1.0

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Y:262550.000

Y:262500.000

Y:262450.000

Y:262400.000

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SCALE 1:500

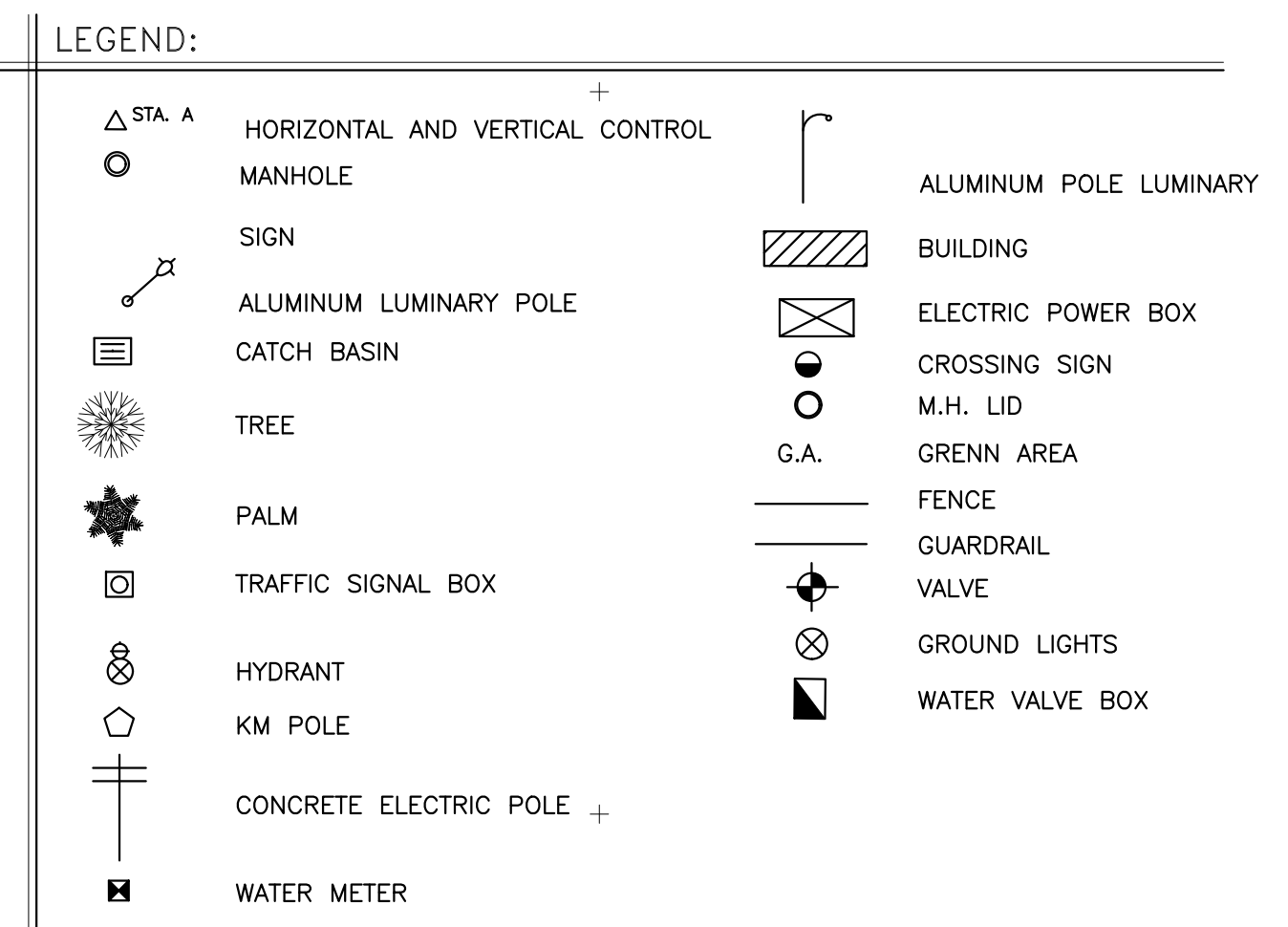


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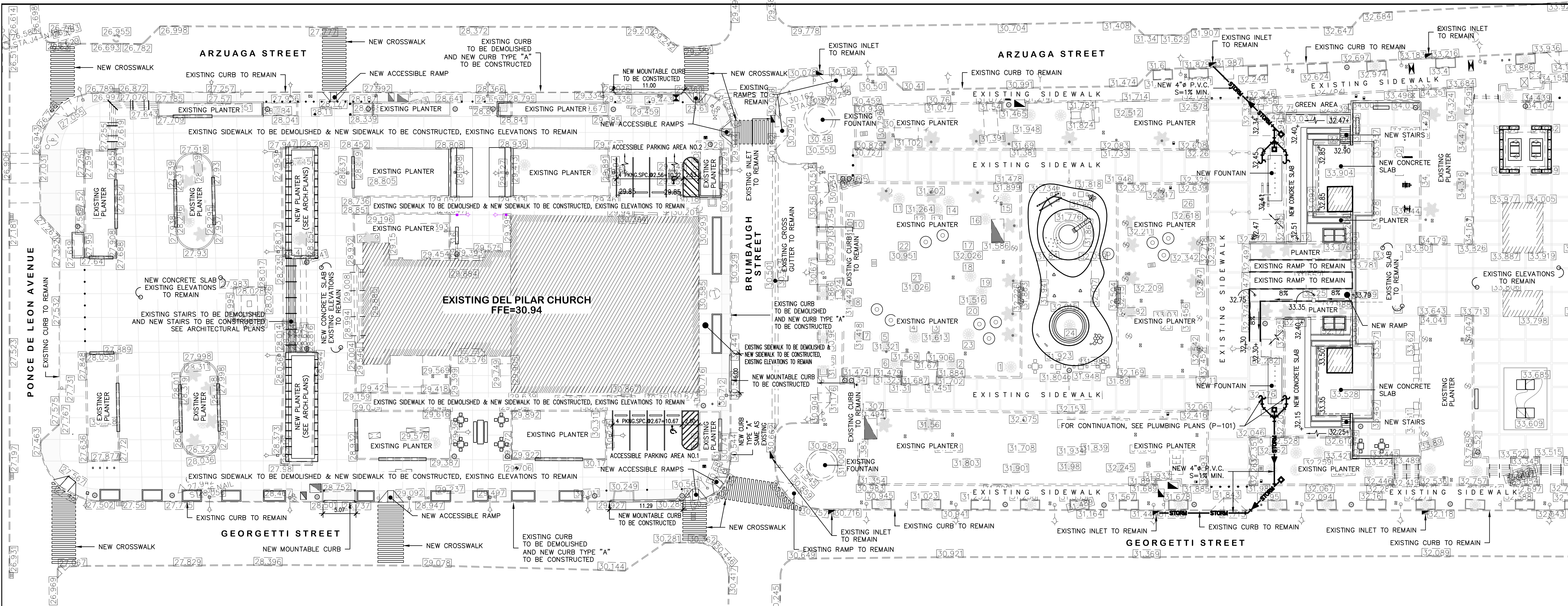
Y:262450.000

Y:262400.000

TREES TABLE			
NUMBER	TREE	DIAMETER	CONDITION
1	COABA	31" Ø	HEALTHY
2	ROBLE	8" Ø	HEALTHY
3	ROBLE	4" Ø	HEALTHY
4	ROBLE	6" Ø	HEALTHY
5	PALMA	9" Ø	HEALTHY
6	ROBLE	9" Ø	HEALTHY
7	ROBLE	12" Ø	HEALTHY
8	ROBLE	2" Ø	HEALTHY
9	ROBLE	3" Ø	HEALTHY
10	ROBLE	3" Ø	HEALTHY
11	ROBLE	9" Ø	HEALTHY
12	ROBLE	7" Ø	HEALTHY
13	ROBLE	8" Ø	HEALTHY
14	ROBLE	8" Ø	HEALTHY
15	SAUCE	8" Ø	HEALTHY
16	ROBLE	5" Ø	HEALTHY
17	REINA DE LAS FLORES	30" Ø	HEALTHY
18	ROBLE	4" Ø	HEALTHY
19	ROBLE	5" Ø	HEALTHY
20	ROBLE	5" Ø	HEALTHY
21	CEIBA	24" Ø	HEALTHY
22	ROBLE	12" Ø	HEALTHY
23	COABA	28" Ø	HEALTHY
24	REINA DE LAS FLORES	16" Ø	HEALTHY
25	COABA	32" Ø	HEALTHY
26	REINA DE LAS FLORES	20" Ø	HEALTHY



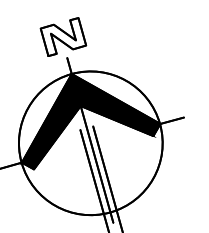
- NOTES:
- 1) THE HORIZONTAL CONTROL ARE REFERRED TO THE LAMBERT COORDINATES SYSTEM NAD-83 (2011)(EPOCH: 2010.000, ITRF 2014 (EPOCH: 2023.5798)
 - 2) THE VERTICAL CONTROL ARE REFERRED TO THE PRVD-02, GEOID 18. BY OPUS SYSTEM.
 - 3) THE DECIMAL POINT DENOTE THE PLACE OF THE ELEVATION EXCEPT WHEN OTHERWISE INDICATED.
 - 4) THIS SURVEY WAS CARRY OUT WITH AN R.T.K. INSTRUMENT SOUTH S82V, BASE # V1282748597GM AND ROVER # V1282749199GM.
 - 5) THIS SURVEY WAS PERFORMED ON AUGUST 3 AND 4, 2023.
 - 6) ALL DISTANCES AND ELEVATIONS ARE IN METERS.



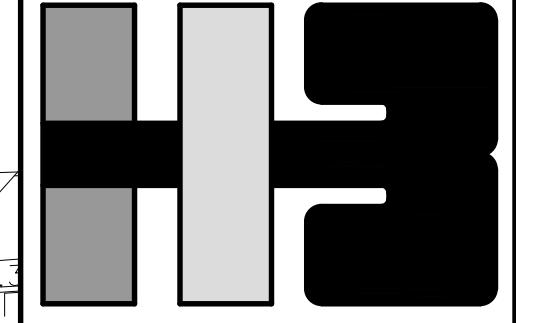
- LEGEND:**
- 27.877 EXISTING ELEVATIONS
 - 32.90 PROPOSED ELEVATIONS
 - PROPOSED INLET
 - EXISTING INLETS TO REMAIN
 - ARROW INDICATES DIRECTION OF RUN-OFF FLOW
 - PROPOSED STORM SEWER LINE AND DIRECTION OF FLOW
 - PROPOSED 4" Ø CLEAN-OUT

- NOTES:**
- 1- DIMENSIONS AND/OR ELEVATIONS ARE SHOWN IN METRIC SYSTEM, UNLESS OTHERWISE NOTED.
 - 2- THIS PLAN AND OTHER RELATED ONES, HAS BEEN PREPARED CONSIDERING THE INFORMATION INCLUDED IN THE "AS-BUILT PLAN" PREPARED BY JOSÉ MELÉNDEZ MELÉNDEZ, PLS, LIC.NO.12278 AND DATED ON AUGUST 4, 2023.
 - 3- CONTRACTOR SHALL COMPLY WITH THE RECOMMENDATIONS INCLUDED IN THE ABOVE DOCUMENTS, IF CONFLICT BETWEEN PLANS AND SUBSOIL STUDY ARISES, THE SUBSOIL STUDY RECOMMENDATIONS SHALL PREVAIL.
 - 4- PRIOR TO START CONSTRUCTION, THE OWNER SHALL ENGAGE THE SERVICES OF A CONSULTING GEOTECHNICAL ENGINEER WHO SHALL DIRECT AND SUPERVISE THE EARTHWORK OPERATIONS. CONTRACTOR SHALL ALSO, COMPLY WITH THE RECOMMENDATIONS THAT SAID CONSULTANT MAY ESTABLISH DURING THE PROJECT CONSTRUCTION.
 - 5- SOME FILL MATERIAL REQUIRED FOR ATTAINING THE GRADE SHOWN IN THIS PLAN MAY BE OBTAINED WITHIN THE PROJECT AREA, CONTRACTOR SHALL FOLLOW THE RECOMMENDATIONS ESTABLISHED BY THE GEOTECHNICAL ENGINEER AND PRIOR TO ITS USE, SHALL OBTAIN THE APPROVAL OF THE GEOTECHNICAL ENGINEER.

- 6- UNLESS OTHERWISE SPECIFIED BY SAID GEOTECHNICAL ENGINEER,
- (A) MATERIAL FOR FILL OR EMBANKMENT SHALL BE AS PER AASHTO CLASSIFICATION A-2-4 OR BETTER, COMPACTED TO DENSITIES OF 95% ON ALL AREAS, AS DETERMINED BY THE ASTM-D-1557, DEPOSITED IN LAYER IN SUCH THICKNESS AS REQUIRED BY THE NATURE OF SOIL, BUT NEVER TO EXCEED SIX INCHES (6").
- (B) SLOPES SHALL NOT BE STEEPER THAN 1.5 TO 1 FOR CUTS AND 2 TO 1 FOR FILLS.
- (C) ALL SLOPES EXCEEDING 3 TO 1 AND DIRT SWALES SHALL BE SODDED IMMEDIATELY WITH BERMUDA GRASS, PLANTED IN BLOCKS TO PREVENT EROSION.
- 7- THE TOPSOIL NEEDED TO PROVIDE THE FINAL GRADES FOR LAWNS AND PLANTING AREA SHALL BE PROPERLY STOCKPILED WITHIN THE PROJECT LIMITS.
- 8- ROUGH GRADING SHALL BE PERFORMED ACCORDING TO THE PRESENT PLAN REQUIRED LEVELS, SUBGRADES AND GRADES ARE AS FOLLOWS:
- A) FOR BUILDING FLOOR SLAB, TO THE UNDERSIDE OF THE RESPECTIVE FLOOR SLAB, SAME WILL VARY DEPENDING ON THE FLOOR FINISHES.
 - B) FOR STREETS PAVEMENTS, WALKS & OTHER SURFACED AREAS TO THE UNDERSIDE OF THE RESPECTIVE SURFACING OR BASE COURSE.
 - C) FOR LAWNS & PLANTING AREA TO FOUR (4") BELOW SPECIFIED FINISH GRADES, THEN COMPLETE TO GRADE WITH AN ACCEPTABLE TOPSOIL.
- 9- FOR TREE REMOVAL, REFER TO TREE INVENTORY STUDY.



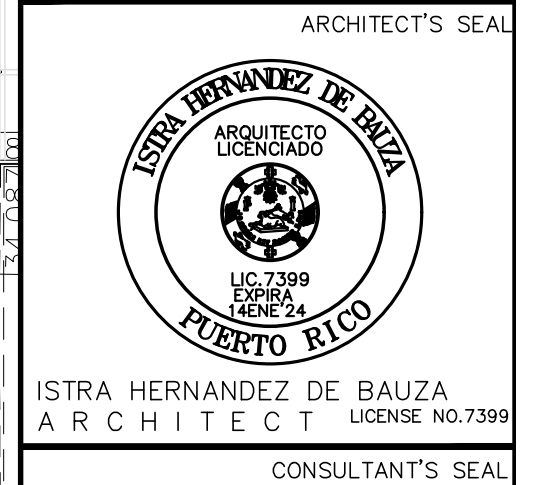
EXISTING TOPOGRAPHY & GRADING PLAN
SCALE: 1=300 METRIC



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LICENSE NO. 3399

YO, ANGEL GONZALEZ, INGENIERO LICENCIADO #2645, CERTIFICO QUE SOY EL PROFESIONAL QUE DISEÑO ESTOS PLANOS Y LAS ESPECIFICACIONES COMPLEMENTARIAS. TAMBIÉN, CERTIFICO QUE ENTENDO QUE DICHS PLANOS Y ESPECIFICACIONES CUMPLEN CON LAS DISPOSICIONES APPLICABLES DEL REGLAMENTO CONTINUTO Y LAS DISPOSICIONES APPLICABLES DE LOS REGLAMENTOS Y CÓDIGO DE CONSTRUCCIÓN VIGENTES DE LAS AGENCIAS, JUNTAS REGLAMENTADORAS O CORPORACIONES PÚBLICAS CON JURISDICCIÓN Y ESTÁN EN CONFORMIDAD CON CÓDIGO DE CONSTRUCCIÓN DE PUERTO RICO 2018 VIGENTE AL 15 DE NOVIEMBRE DE 2018. CERTIFICO, ADEMÁS, QUE EN LA PREPARACIÓN DE ESTOS PLANOS Y ESPECIFICACIONES SE HA CUMPLIDO CABALMENTE CON LO DISPUESTO EN LA LEY NÚM. 14 DE 8 DE ENERO DE 2004, SEGÚN ENMIENDADA, CONOCIDA COMO LA "LEY PARA LA INVERSIÓN POR LA INDUSTRIA PUERTORRIQUEÑA" Y CON LA LEY NÚM. 319 DE 15 DE MAYO DE 1938, SEGÚN ENMIENDADA, LEY NÚM. 50 DE 6 DE JULIO DE 1978, SEGÚN ENMIENDADA, SEGÚN APLIQUE; RECONOZCO QUE CUALQUIER DECLARACIÓN FALSA O FALSIFICACIÓN DE LOS HECHOS QUE SE HAYA PRODUCIDO POR DESCUIDADO O POR NEGLIGENCIA YA SEA POR MÍ, MIS AGENTES O EMPLEADOS, O POR OTRAS PERSONAS CON MI CONOCIMIENTO, ME HACEN RESPONSABLE DE CUALQUIER ACCIÓN JUDICIAL Y PENAL POR LA DOPE.

CLIENT
MANAGER
DEPT. OF URBAN DESIGN AND PROJECT DEVELOPMENT, MASJ.

OWNER
AUTONOMOUS MUNICIPALITY OF SAN JUAN

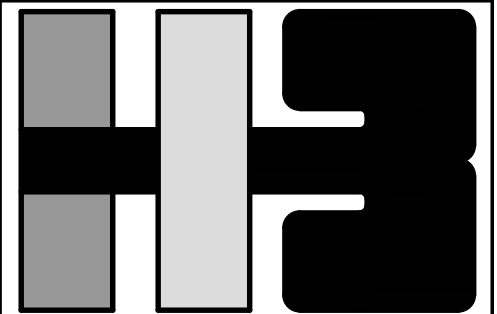
PROJECT
EXISTING TOPOGRAPHY AND GRADING PLAN

DRAWING NAME
EXISTING TOPOGRAPHY AND GRADING PLAN

COMPUTER PLOT
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NO.	DATE	REVISION	BY	APPROVED

PROJECT	
DRAWING BY/CHECKED BY	
NUMBER	TOTAL
3	62
DRAWING NUMBER	
C-1.0	



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CLIENT
 MANAGER
 DEPT. OF URBAN DESIGN AND PROJECT DEVELOPMENT, MASJ.
 OWNER
 AUTONOMOUS MUNICIPALITY OF SAN JUAN

PROJECT
 DRAWING NAME

STREET DETAILS

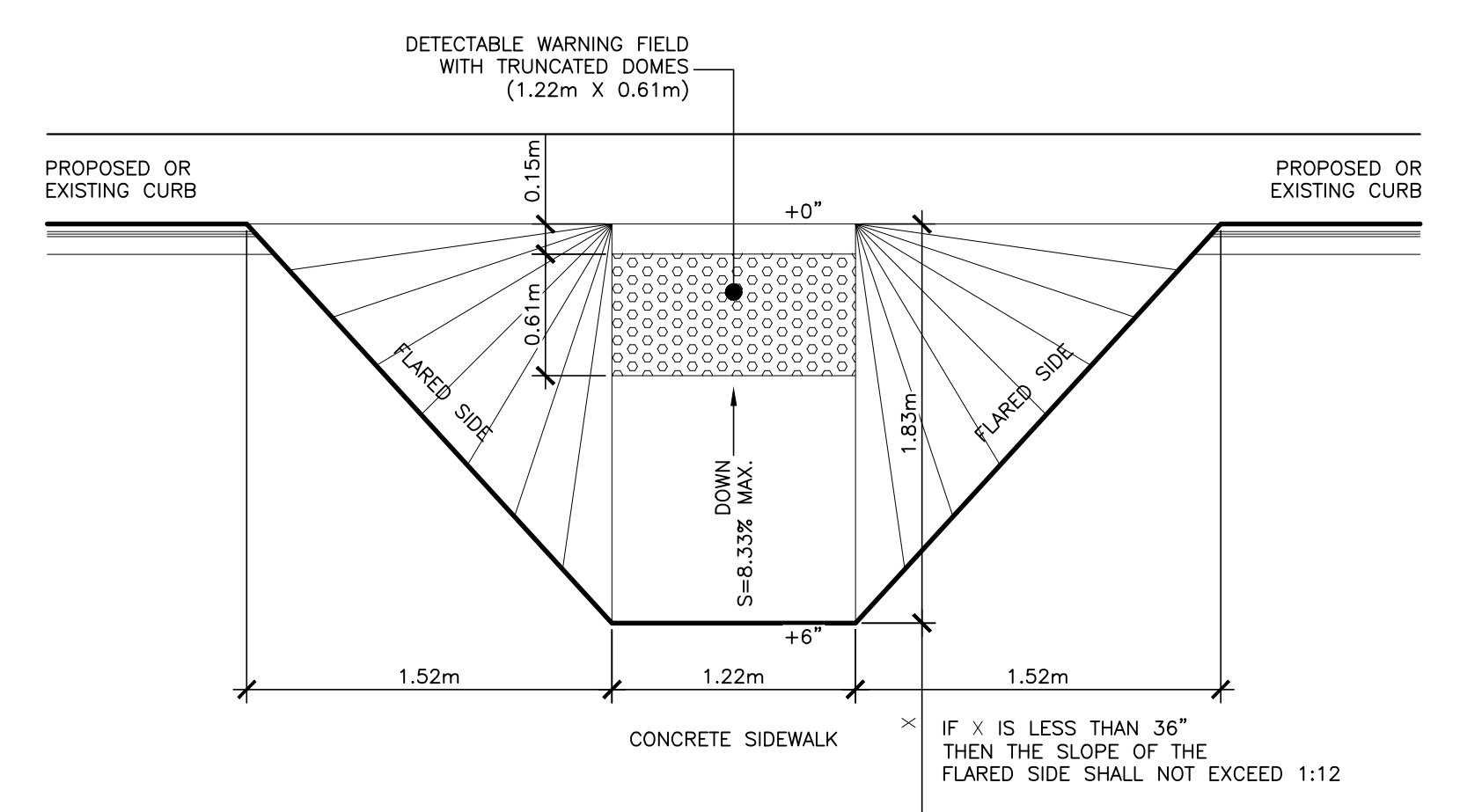
COMPUTER PLOT
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NO.	DATE	REVISION	BY	APPROVED

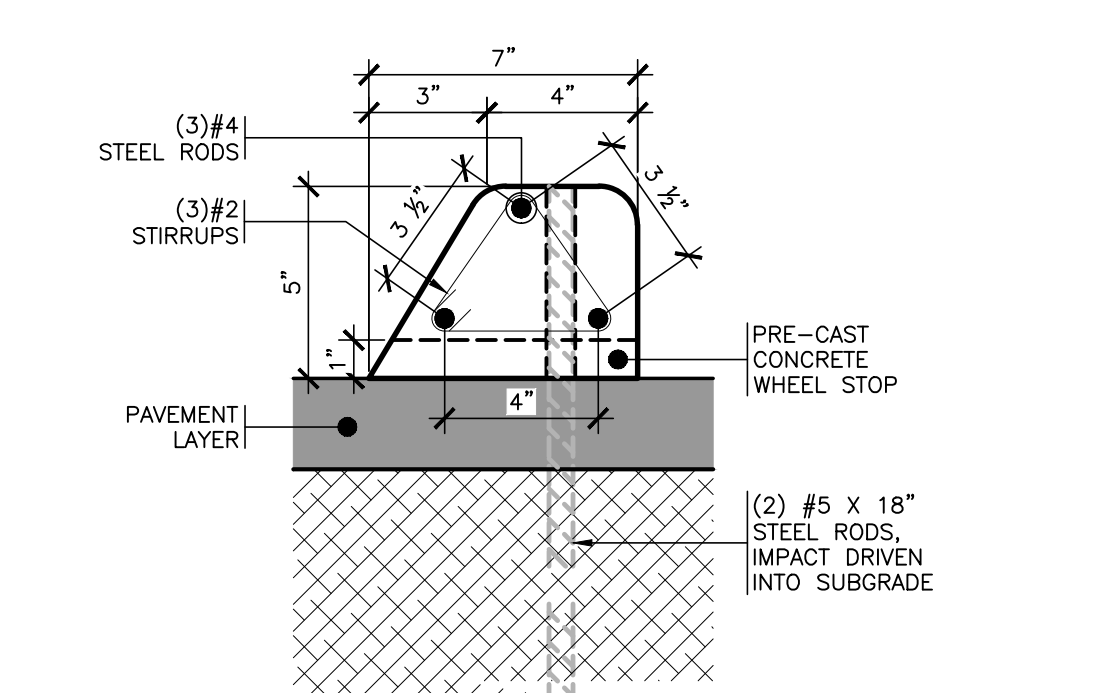
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NUMBER	TOTAL
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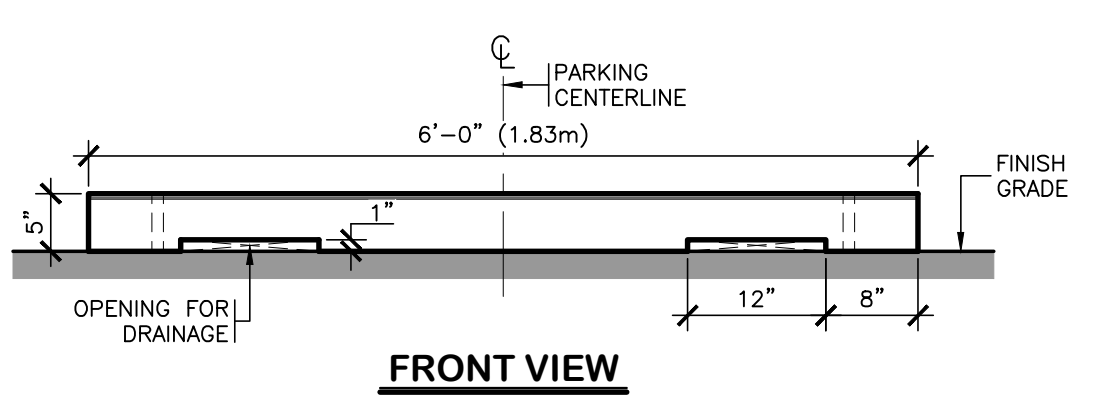
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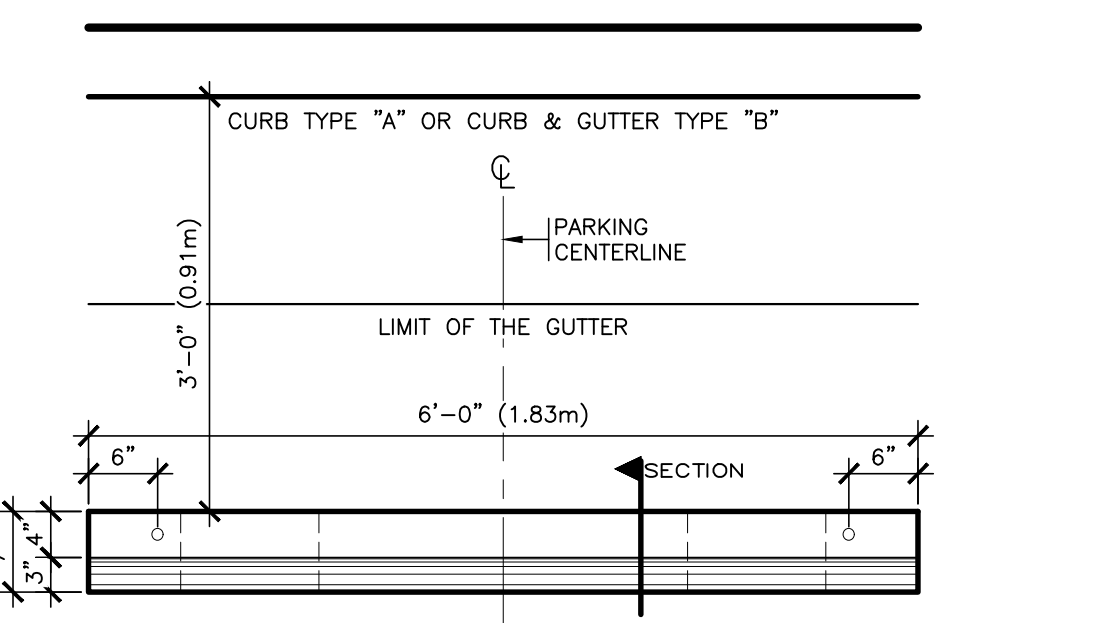
HANDICAPPED RAMP DETAILS 7
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SECTION

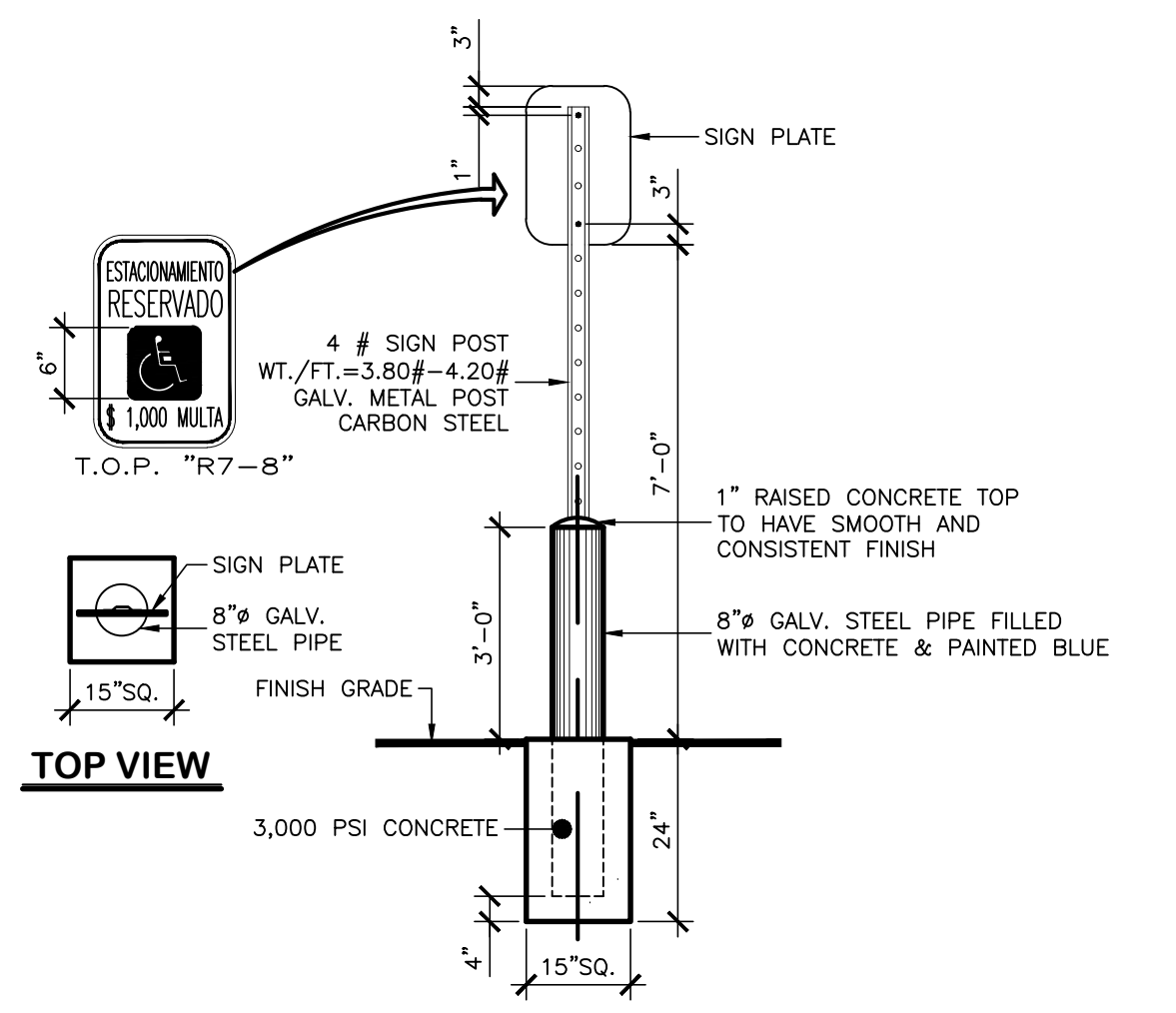


FRONT VIEW



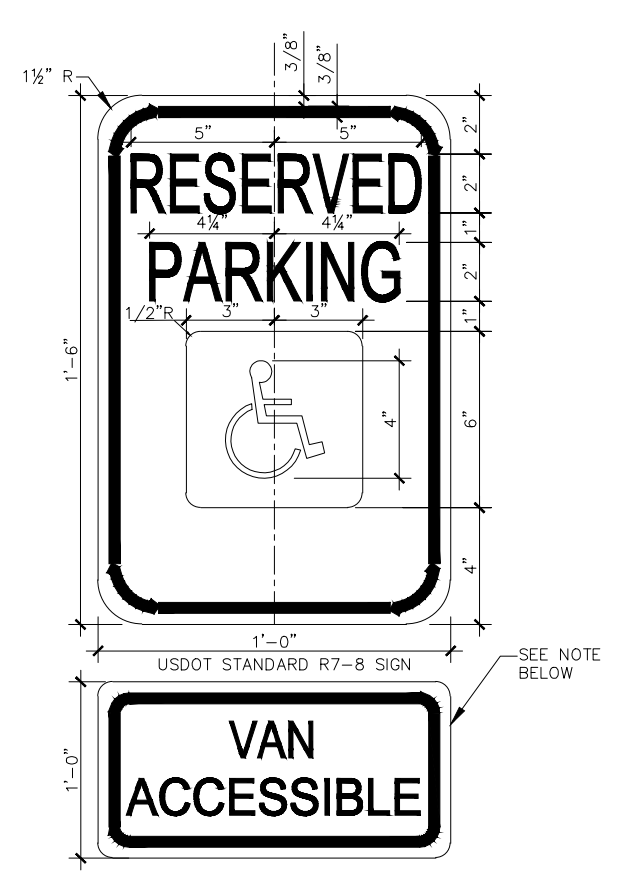
TOP VIEW

PRECAST WHEEL STOP DETAIL 5
 C-2.0



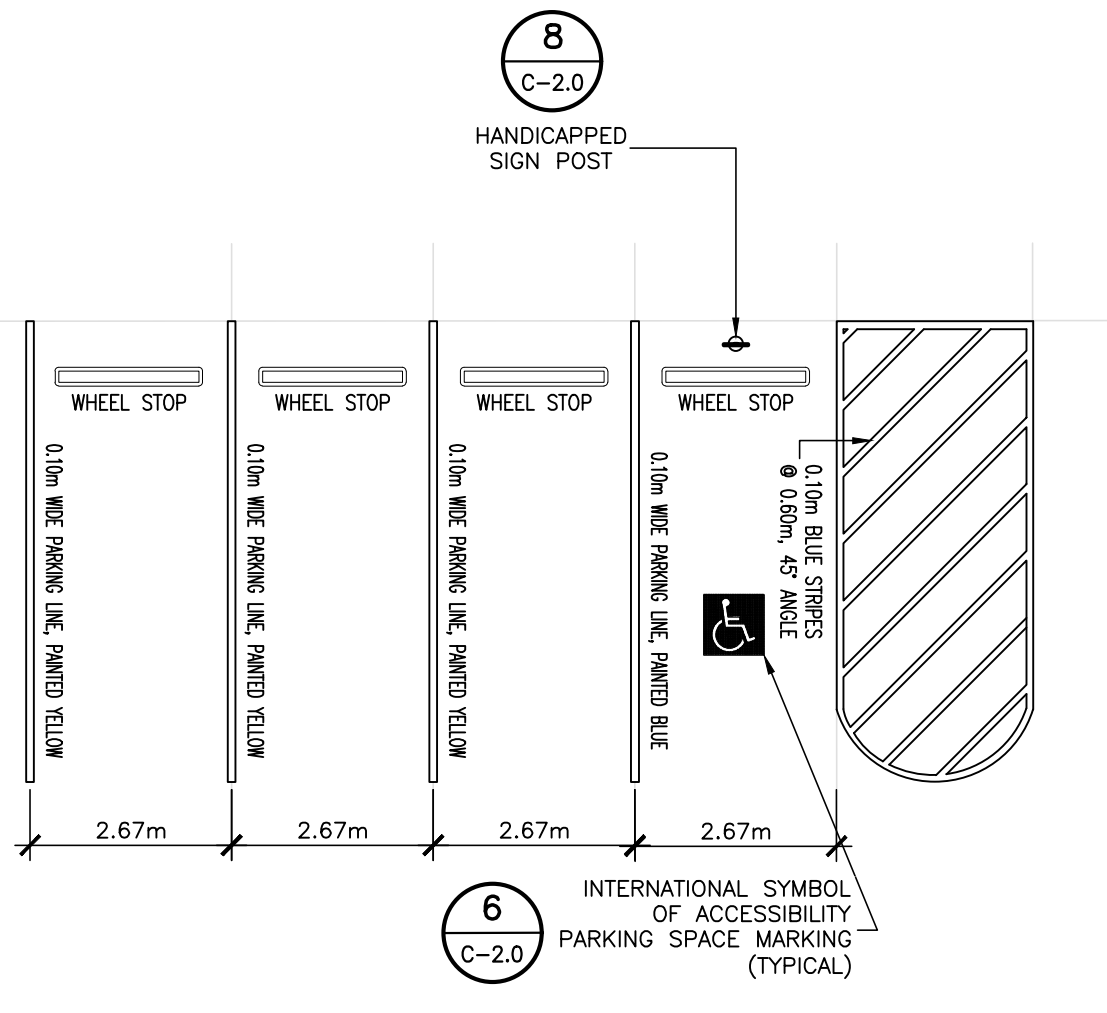
TOP VIEW

POST DETAIL FOR HANDICAPPED SIGN 8
 C-2.0

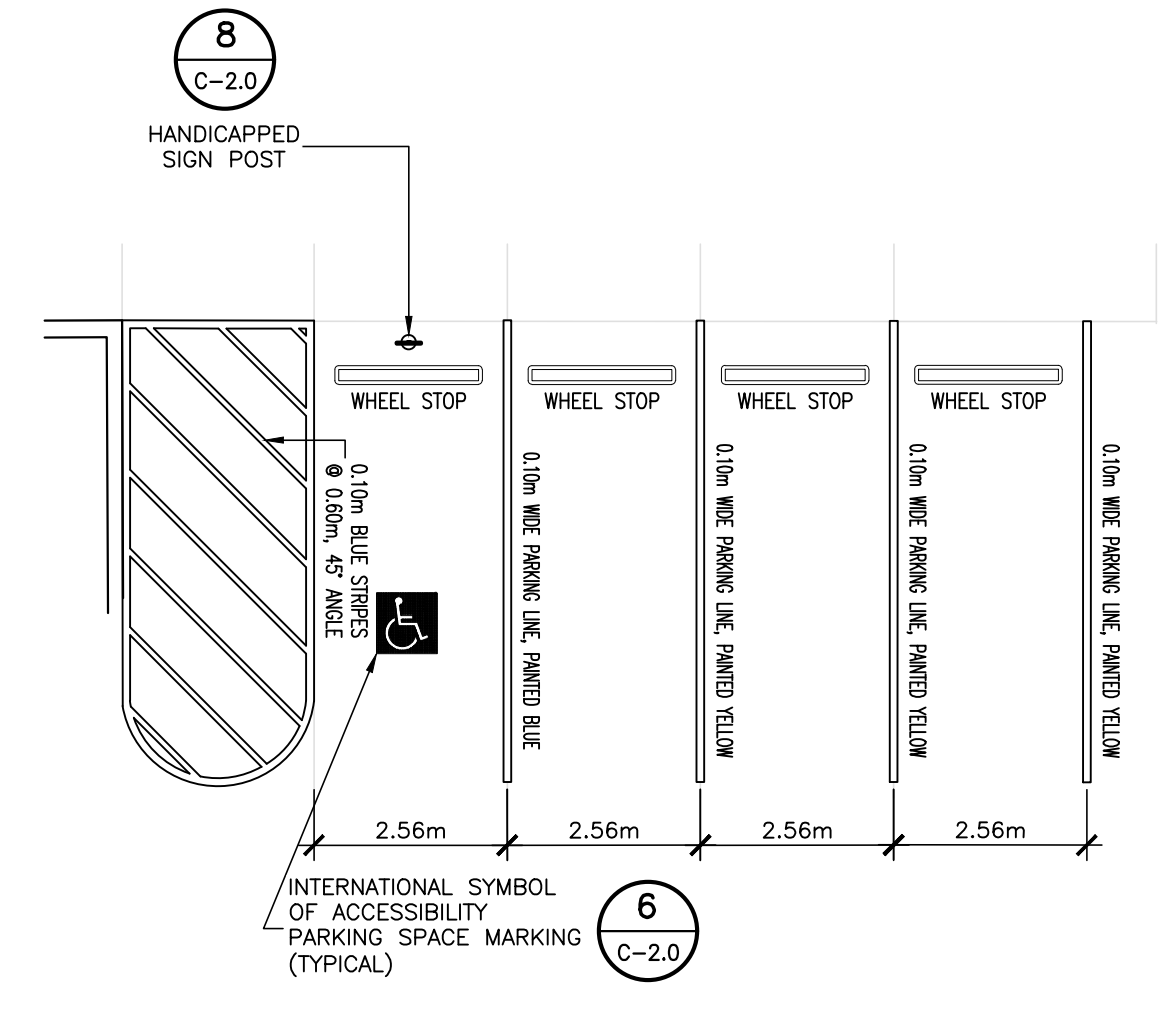


VAN ACCESSIBILITY SIGNAGE 8a
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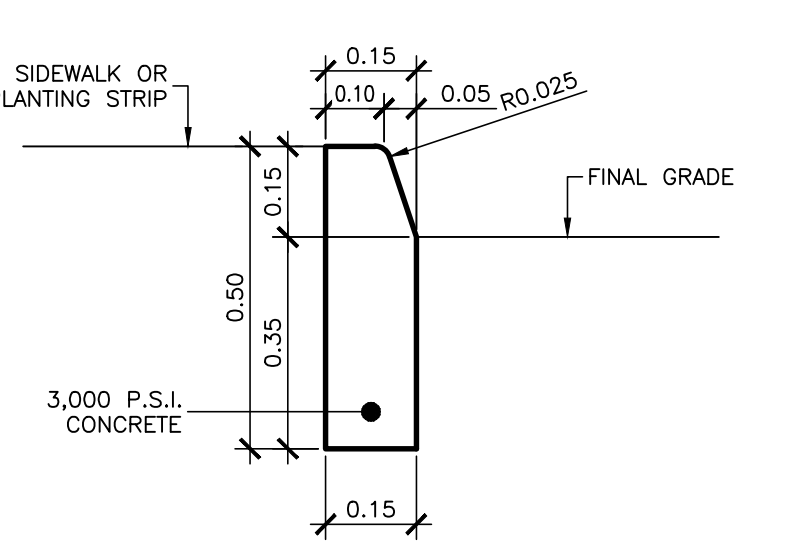
NOTE (R7-8 SIGN): THIS IS A STANDARD SIGN AND MAY BE ORDERED FROM ANY TRAFFIC SIGN SUPPLIER BY NUMBER. THE SIGN MUST BE SUPPLEMENTED WITH A "VAN ACCESSIBLE" SIGN AS APPLICABLE AND/OR AMOUNT OF THE FINE FOR ILLEGALLY PARKING IN THE RESERVED SPACE(S) A MUNICIPALITY MAY IMPOSE. CONFIRM WITH LOCAL REGULATIONS.



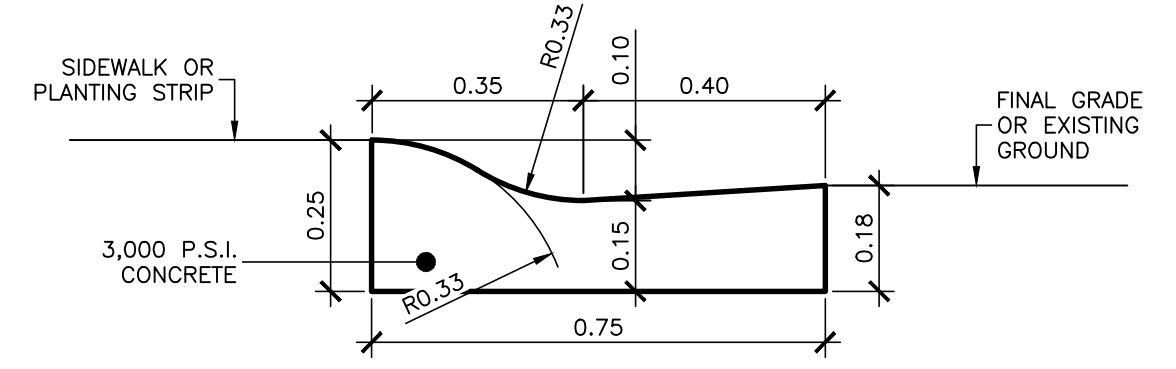
ACCESSIBLE PARKING AREA NO. 1-ENLARGED PLAN 9
 C-2.0



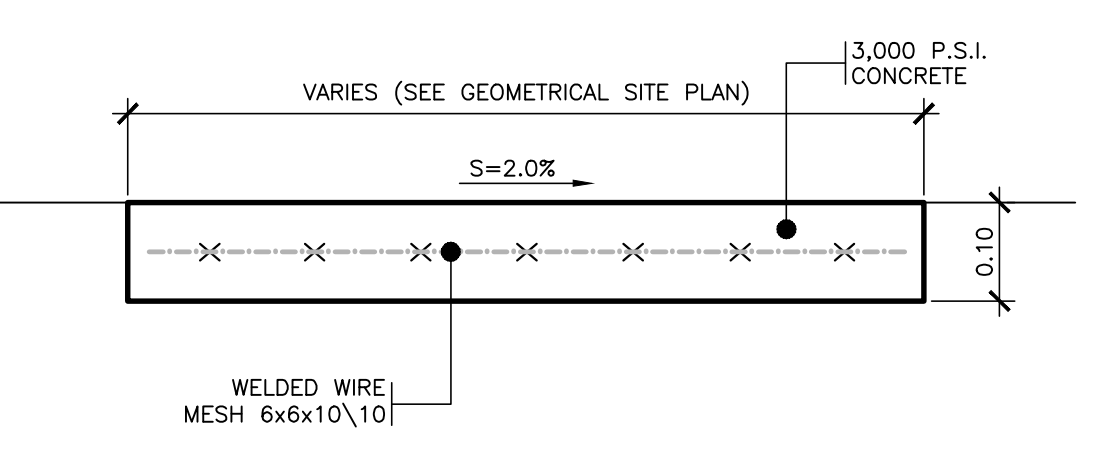
ACCESSIBLE PARKING AREA NO. 2-ENLARGED PLAN 9a
 C-2.0



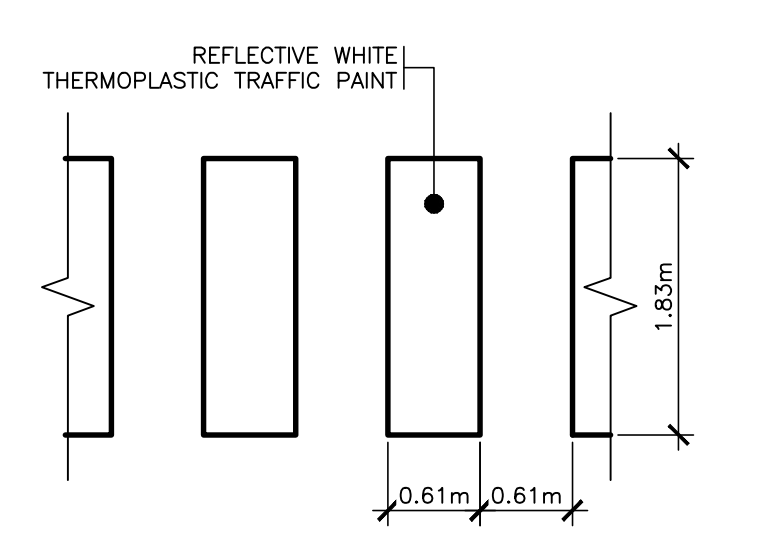
CURB TYPE "A" DETAIL 1
 C-2.0



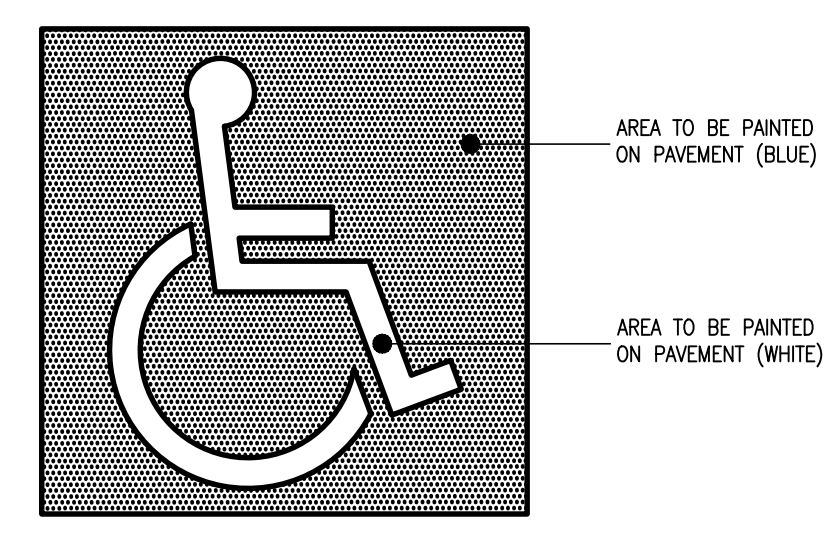
MOUNTABLE CURB DETAIL 2
 C-2.0



CONCRETE SIDEWALK DETAIL 3
 C-2.0

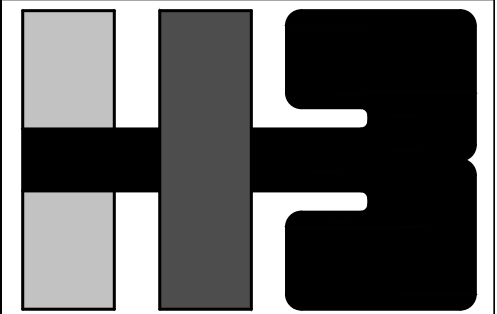


CROSSWALK DETAIL 4
 C-2.0



HANDICAPPED SYMBOL DETAIL TO BE PAINTED ON PAVEMENT 6
 C-2.0

NOTES:
 1- SYMBOLS AND LINES SHALL BE PAINTED BLUE WITH A FULL EVEN COAT OF TRAFFIC PAINT.
 2- SYMBOLS SHALL BE PAINTED AT CENTER OF PARKING SPACE.



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 AUTONOMOUS MUNICIPALITY OF SAN JUAN

PROJECT

IMPROVEMENTS OF "PLAZA DE LA CONVALECENCIA" AND "PLAZA DEL PILAR"

DRAWING NAME

DEMOLITION SITE PLAN AND GENERAL NOTES

COMPUTER PLOT
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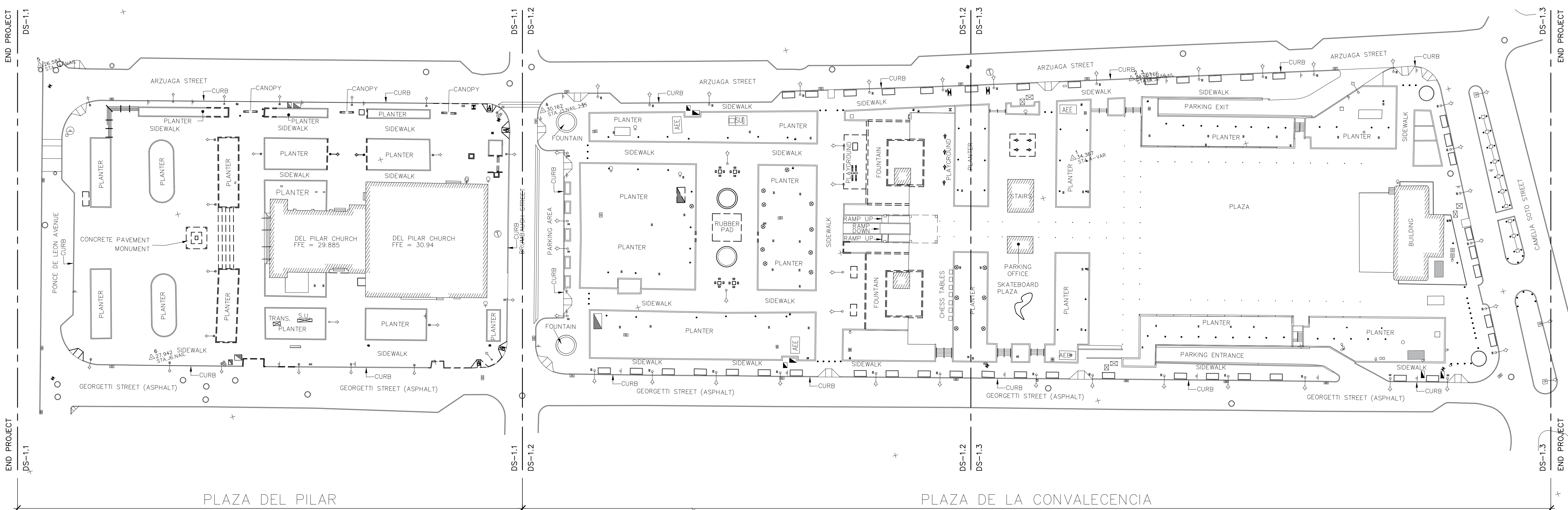
NO.	DATE	REVISION	BY	APPROVED

PROJECT

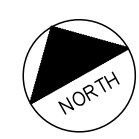
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NUMBER	TOTAL
5	62

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 DS-1.0



DEMOLITION SITE PLAN & KEY MAP
 SCALE: 1:250



DEMOLITIONS & GENERAL NOTES:

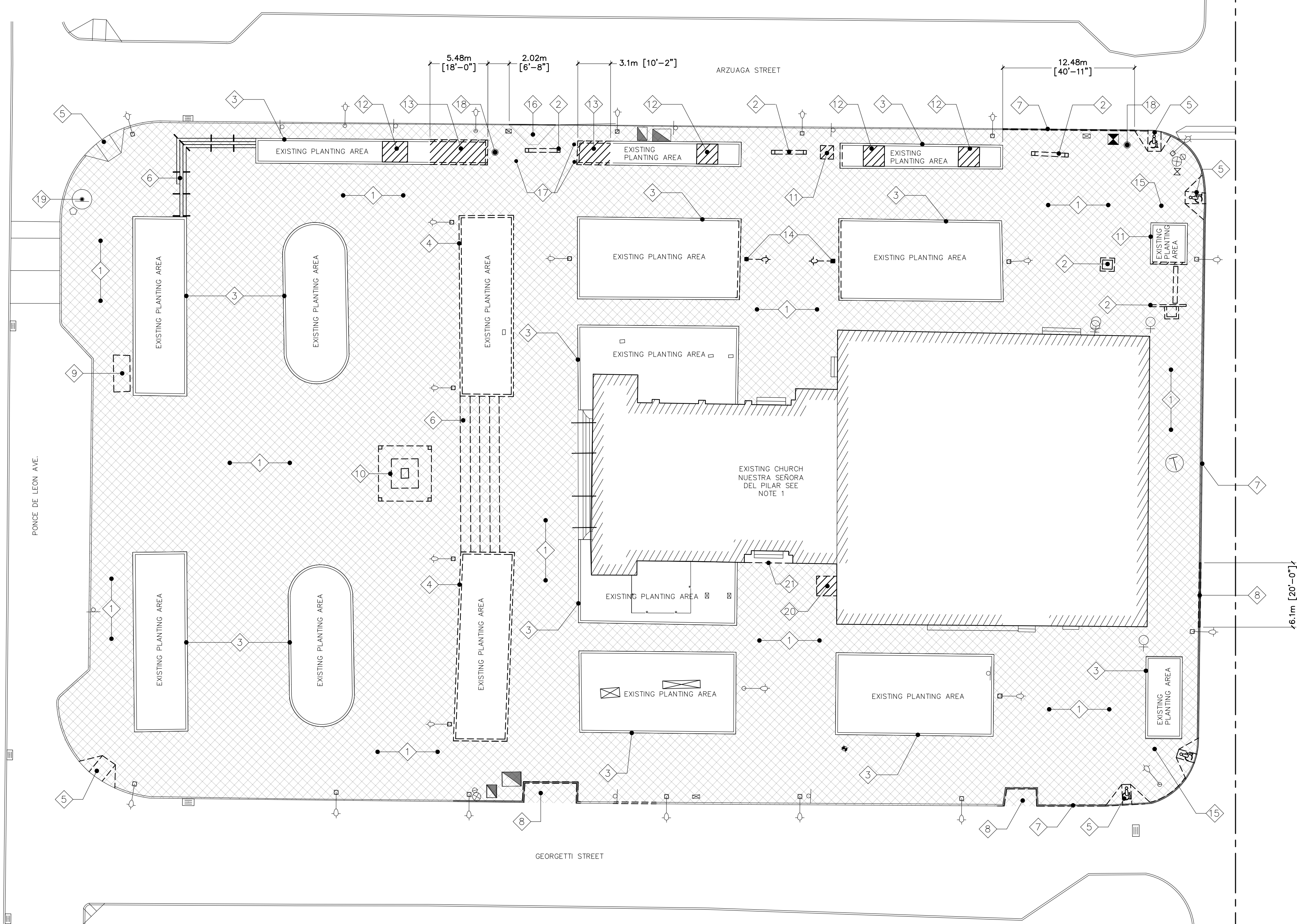
- PREVIOUS TO PROJECT DEMOLITIONS AND/OR EXCAVATIONS, THE CONTRACTOR MUST LOCATE AND IDENTIFY UNDERGROUND UTILITIES TO AVOID DAMAGES OR INTERRUPTIONS IN SERVICES. DAMAGES DUE TO HIS DEMOLITION AND/OR EXCAVATION WORK WILL HAVE TO BE REPAIRED AT HIS OWN COST.
 - CONTRACTOR SHALL DISPOSE PROPERLY OF ALL DEBRIS AND SCRAP MATERIAL FROM DEMOLITION WORK ACCORDING TO MUNICIPAL, STATE & FEDERAL REGULATIONS. SEE AND COMPLY AND COMPLY WITH DIVISION 002800 FOR HAZARDOUS MATERIALS ABATEMENT REMOVAL & DISPOSAL.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE INFLICTED TO THE PROJECT PROPERTY OR ADJACENT PROPERTIES OR OTHER PROJECT AREAS TO REMAIN DURING THE DEMOLITION AND CONSTRUCTION PHASES. DAMAGED ITEMS SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE AND OWNER'S SATISFACTION. DAMAGE TO SUBSTRATE SURFACES DURING REMOVAL PROCEDURES SHALL BE REPAIRED TO OWNER'S SATISFACTION BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
 - DEMOLITION AND REMOVAL SHALL BE CONDUCTED IN A MANNER THAT ELIMINATES HAZARDS TO PERSONS, THE ENVIRONMENT AND PROPERTY IN THE SURROUNDING AREA. THE CONTRACTOR SHALL PREVENT THE RELEASE OF DUST INTO THE AIR AND SOIL.
 - CONTRACTOR SHALL PROVIDE METAL CONTAINERS OF SUFFICIENT CAPACITY AS TO MAINTAIN THE PROJECT SITE & BUILDINGS FREE OF WASTE AND SCRAP MATERIALS. EVERY AFTERNOON BEFORE FINISHING THE DAY'S WORK HE SHALL COLLECT ALL WASTE MATERIALS AND PLACE THEM IN THE CONTAINERS. AT NO TIME WASTE MATERIAL SHALL BE LEFT UNCOLLECTED FROM ONE DAY TO ANOTHER. ON A MINIMUM WEEKLY BASIS WASTE MATERIALS STORED IN THE METAL CONTAINERS SHALL BE COLLECTED AND DISPOSED OFF ACCORDING TO MUNICIPAL, STATE & FEDERAL REGULATIONS. SEE APPLICABLE DIVISION 002800 HAZARDOUS MATERIALS ABATEMENT REQUIREMENTS.
 - THE CONTRACTOR SHALL MAINTAIN STREETS, PARKINGS, SIDEWALKS AND GROUNDS CLEAN AT ALL TIMES. WASHING WITH WATER IS REQUIRED TO PREVENT DUST CONTAMINATION AND HEALTH HAZARDS. WATER CONSUMPTION FOR CLEANING, CAN NOT BE TAKEN FROM PUBLIC FIRE HYDRANTS OR SCHOOL SERVICE.
 - THE CONTRACTOR SHALL SUBMIT, PROCURE AND OBTAIN THE FOLLOWING DOCUMENTS & PERMITS FROM THE ENVIRONMENTAL QUALITY BOARD OF PUERTO RICO IN ORDER TO PROCEED WITH CONTRACT WORK:
 - CONSOLIDATED PERMIT FROM ENVIRONMENTAL QUALITY BOARD
 - SOLID WASTE DISPOSAL (FORM D.S.-3) OR APPLICABLE PER HAZARDOUS OR NON-HAZARDOUS MATERIALS
 - PREPARE AND SUBMIT RES PLAN
 - OTHER REQUIRED BY LAWS AND REGULATION.
 - ANY OTHER REQUIRED PERMIT FOR THE CONTRACT WORK.
- NOTE: CONTRACTOR MUST MAINTAIN IN FULL FORCE ALL EXISTING PERMITS OBTAINED BY PREVIOUS CONTRACTOR AND / OR SUBMITT AND OBTAIN NEW PERMITS AT HIS OWN COST.**
- THE CONTRACTOR WILL NOTIFY AND OBTAIN PERMIT FROM THE PUBLIC SERVICE COMMISSION PRIOR TO THE EXCAVATION WORK OF THE PROJECT. PERMIT MUST BE SUBMITTED TO THE OWNER AND TO THE PROJECT INSPECTOR BEFORE PROCEEDING WITH ANY EXCAVATION OR DEMOLITION WORK.
 - PRIOR TO PROCEEDING WITH LANDSCAPING WORK, CONTRACTOR MUST REQUEST AND OBTAIN FROM THE MUNICIPALITY OF SAN JUAN A PERMIT FOR CUTTING AND PLANTING OF TREES ACCORDING TO THE PLANNING REGULATION NO.25.
 - THE DEMOLITION DRAWINGS ARE INTENDED TO GIVE THE CONTRACTOR A GENERAL SCOPE OF THE DEMOLITION WORK. THE CONTRACTOR IS RESPONSIBLE FOR COMPLETING ALL DEMOLITION'S NECESSARY TO PERFORM THE CONSTRUCTION WORK AS DEMONSTRATED IN CONTRACT DRAWINGS AND WRITTEN SPECIFICATIONS, EVEN IF IT IS NOT SPECIFICALLY SHOWN IN THE DEMOLITION DRAWINGS. NO ADDITIONAL COST TO OWNER WILL BE CHARGED FOR DEMOLITION'S NOT SHOWN IN DWGS.
 - UTILITIES AND OR SERVICES (CONSISTING BUT NOT LIMITED TO WATER, SEWER, ELECTRICITY, GAS, CABLE TV, DATA AND TELEPHONE) CAN NOT BE SUSPENDED TO ANY BUILDING OR PROPERTY WHILE CONTRACT WORK IS PERFORMED IN THIS PROJECT. IN ALL SITUATIONS CONTRACTOR SHALL MAKE NECESSARY TEMPORARY CONNECTIONS TO MAINTAIN SERVICES CONNECTED AND OR UTILITIES AT ALL TIME AND AT HIS OWN EXPENSE. PLANNING AND COORDINATION BETWEEN CONTRACTOR AND THE AGENCIES PROVIDING THE UTILITIES AND OR SERVICES ARE HIS SOLE RESPONSIBILITY AND AT HIS OWN COST.

WORK PLAN

- THE WORK WILL BE PERFORMED BY A QUALIFIED CONTRACTOR. CONCRETE RECYCLING CAN BE USED ON THIS WORK, BUT NOT ON SITE TO PERFORM ALL DEMOLITION & CONSTRUCTION WORK. THE CONTRACTOR WILL ENSURE THE SAFETY OF ITS WORKERS AND OF THE PUBLIC & SURROUNDING AREAS. SAFETY FENCES AND SIGNS WILL BE PROVIDED AS REQUIRED. ALL PERSONNEL WILL USE THE O.S.H.A. REQUIRED PROTECTIVE EQUIPMENT AS REQUIRED BY THE STATE AND FEDERAL REGULATIONS. THE WORK WILL BE PERFORMED FOLLOWING THE STATE AND FEDERAL LAWS CONCERNED AND IN ACCORDANCE WITH THE WORK PLAN.
- FINAL DISPOSITION OF DEBRIS AND MATERIAL RESULTING FROM DEMOLITION - ALL METALS WILL BE RECYCLED AT APPROVED RECYCLING CENTERS. THE CONTRACTOR WILL TRANSPORT ALL CONCRETE WASTE MATERIAL IN AUTHORIZED TRUCKS AS APPROVED BY "DOT" & THE PUBLIC SERVICE COMMISSION.
 - SAFETY AND HEALTH PLAN - THE CONTRACTOR SHALL PROVIDE A RISK FREE ENVIRONMENT FOR ALL EMPLOYEES AND THEIR SURROUNDING. HE MUST GUARANTEE THE SAFETY AND HEALTH OF ALL EMPLOYEES, SUBCONTRACTORS AND GENERAL PUBLIC SUBMITTING A COMPREHENSIVE SAFETY & HEALTH PLAN FOR THE CONTRACTED INSPECTION APPROVAL.
 - SAFETY MEASURES AND PRECAUTIONS DURING DEMOLITION OR CONSTRUCTION (ALL O.S.H.A. AND E.P.A. UPDATED COMPLIANCE)

GENERAL PROCEDURES:

- THE CONTRACTOR SHALL EXECUTE AND CERTIFY A THOROUGH VISIT TO THE PROJECT SITE, TO FAMILIARIZE WITH ALL THE CONSTRUCTION WORK BEFORE ATTENDING THE PRE-BID MEETING.
- CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGES INFLICTED TO THE OWNER'S OR NEIGHBOR PROPERTY OR OTHER AREAS DURING THE EXECUTION OF THE WORK. HE SHALL REPAIR ANY DAMAGES AT HIS OWN EXPENSE TO OWNER'S SATISFACTION
- THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT ALL SHOP DRAWINGS, PRODUCT LITERATURE AND SAMPLES FOR APPROVAL PRIOR TO COMMENCEMENT OF THE WORK AND NO LATER THAN 90 CALENDAR DAYS AFTER ORDER TO PROCEED. NO SUBSTITUTIONS REQUEST OF MATERIALS WILL BE CONSIDERED WHEN NON-COMPLIANCE OF SUBMITTAL'S DELIVERY TIME IS CAUSING SUCH SUBSTITUTION REQUEST.
- DRAWINGS ARE NOT TO BE SCALED: SEE ARCHITECTURAL DRAWINGS FOR EXACT DIMENSIONS.
- ALL MATERIALS AND CONSTRUCTION METHODS USED MUST COMPLY WITH ALL GOVERNING REGULATIONS AS SET FORTH BY THE PUERTO RICO PLANNING BOARD, AND ALL OTHER CONCERNED REGULATORY AGENCIES AND CODES.
- NEW CONSTRUCTION INCLUDING CONCRETE, MASONRY WOOD, PLASTER, GATES, FRAMES, AND MISCELLANEOUS UNFINISHED METALS (OTHER THAN STAINLESS STEEL) SHALL BE PAINTED UNLESS OTHERWISE CLEARLY INDICATED ON DRAWING.
- ALL WOOD MATERIAL WEATHER SOLID OR PLYWOOD SHALL BE PRESSURE TREATED AND KILN DRIED IN ACCORDANCE WITH SPECIFICATIONS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING FIELD CONDITIONS PRIOR TO ACTUAL CONSTRUCTION OR INSTALLATION. IN CASE OF ANY DISCREPANCY WITH THE CONSTRUCTION DOCUMENTS, OR DOUBTS AS TO THE INTERPRETATION OF SAID DOCUMENTS, THE ARCHITECT SHALL BE IMMEDIATELY NOTIFIED AND CONSULTED FOR CLARIFICATION PRIOR TO CONSTRUCTION OR INSTALLATION.
- WHERE QUANTITY OF MATERIALS ARE SHOWN IN CONSTRUCTION DRAWINGS AND OR WRITTEN SPECIFICATIONS, SUCH NUMBER SHALL NOT BE TAKEN AS THE DETERMINED QUANTITY NEEDED FOR THE CONSTRUCTION CONTRACT. THE CONTRACTOR SHALL PROVIDE AND INSTALL THE AMOUNT OF MATERIALS AND/OR EQUIPMENTS NEEDED TO COMPLETE AND PLACE IN OPERATION ALL THE WORK SHOWN IN THE CONSTRUCTION DRAWINGS AND WRITTEN SPECIFICATIONS, WITHOUT ADDITIONAL COST TO THE OWNER.
- BEFORE PAINTING WORK, CLEAN FUNGUS AND DARK SPOTS IN WALLS AND CEILINGS WITH AN INDUSTRIAL CHLORINE SOLUTION. (NO METHYLENE-CHLORIDE CONTAINING)
- REPAIR ALL CRACKS, SCRAPER, PATCH AND/OR REMOVE EXISTING IMPERFECTIONS IN ALL EXTERIOR CEMENT PLASTER WALLS. USE CONCRETE REHABILITATION PRODUCTS EQUAL OR SIMILAR TO TAMS INDUSTRIES, CO., "TAMS THIN PATCH" (PUERTO RICO WIRE PRODUCTS, INC.) FOR CORRECTION OF UNEVEN FINISHES IN EXISTING WALLS.
- APPLY A HIGH QUALITY SURFACE CONDITIONER AT ALL INTERIOR / EXTERIOR CEMENT PLASTER WALLS & CEILINGS BEFORE PAINTING. REFER TO SPECIFICATIONS.
- PAINT ALL EXTERIOR CEMENT PLASTER SURFACES, FRAMES, DOORS, WINDOW, ETC. AS SPECIFIED. COLORS TO BE SELECTED BY ARCHITECT AS INDICATED IN TECHNICAL SPECIFICATIONS. (NO LEAD-BASED PAINT SHALL BE UTILIZED IN THIS PROJECT.
- AFTER CONSTRUCTION WORK IS FINISHED THE WHOLE PROJECT SHALL BE PAINTED ACCORDING TO SPECIFICATIONS.



ANNOTATIONS:

- 1. EXISTING CHURCH NUESTRA SEÑORA DEL PILAR IS NOT PART OF THE SCOPE OF WORK, BUT ANY DAMAGE INFLECTED BY CONSTRUCTION WORK WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR WHO MUST REPAIR TO OWNER'S SATISFACTION.
- 2. ALL EXISTING LIGHTING POSTS & FIXTURES TO REMAIN, UNLESS SPECIFICALLY NOTED IN PLANS. SEE SITE CIVIL PLANS FOR MORE DETAILS.
- 3. ALL EXISTING CURB TO REMAIN, UNLESS SPECIFICALLY NOTED IN PLANS.
- 4. PREVIOUS TO PROJECT DEMOLITIONS OR EXCAVATIONS THE CONTRACTOR MUST LOCATE AND IDENTIFY UNDERGROUND UTILITIES TO AVOID DAMAGES OR INTERRUPTIONS IN SERVICES. ANY DAMAGES DUE TO THIS DEMOLITION OR EXCAVATION WORK ARE TO BE REPAIRED AT HIS OWN COST.
- 5. EXISTING TELEPHONE STRUCTURE TO BE DEMOLISHED.
- 6. DEMOLISH EXISTING SIDEWALK PORTION TO ACCOMMODATE NEW ACCESSIBLE RAMP.
- 7. REMOVE EXISTING BOLLARDS.
- 8. REMOVE ALL EXISTING TRASH RECEPTACLES IN PLAZA DEL PILAR
- 9. EXISTING SIGNAGE & GRANITE BASE TO REMAIN.
- 10. EXISTING CHURCH SCULPTURE TO BE REMOVED FROM BASE & PROPERLY STORED FOR REINSTALLMENT IN NEW LOCATION. SCULPTURE BASE & SURROUNDING FENCE TO BE DEMOLISHED.
- 11. EXISTING CONCRETE LOW WALL TO BE CAREFULLY DEMOLISHED & REMADE.
- 12. EXISTING CONCRETE SLAB INSIDE PLANTER TO BE DEMOLISHED.
- 13. EXISTING PLANTER PORTION TO BE DEMOLISHED.
- 14. EXISTING LAMP POSTS TO BE RELOCATED
- 15. EXISTING CONCRETE CURB PORTION TO BE DEMOLISHED.
- 16. EXISTING CONCRETE VEHICULAR RAMP TO BE REMOVED.
- 17. EXISTING BUS STOP TO BE REMOVED & DELIVERED TO MASJ.
- 18. EXISTING CHURCH SCULPTURE TO BE REMOVED FROM BASE & PROPERLY STORED FOR REINSTALLMENT IN NEW LOCATION. SCULPTURE BASE & SURROUNDING FENCE TO BE DEMOLISHED.
- 19. EXISTING SIGNAGE & GRANITE BASE TO REMAIN.
- 20. EXISTING RAMP TO BE DEMOLISHED.
- 21. SAW-CUT AT ENTRY STEPS

PLAZA DEMOLITION SITE PLAN

SCALE: 1:250

LEGEND:

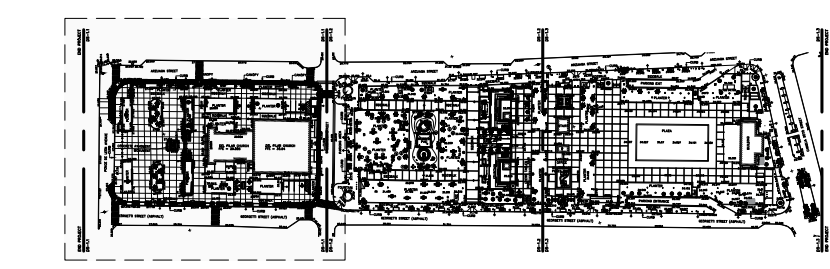
SYMBOL	DESCRIPTION
	EXISTING PAVEMENT TO BE DEMOLISHED
	EXISTING PLANTER PORTION TO BE DEMOLISHED
	EXISTING CURB PORTION TO BE DEMOLISHED
	EXISTING LOW-WALL FROM PLANTER TO BE DEMOLISHED
	ANNOTATION MARKER

NOTES:

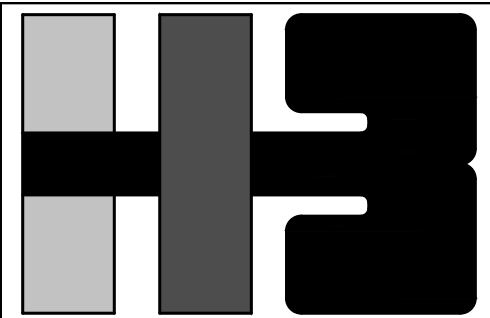
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- ALL EXISTING LIGHTING POSTS & FIXTURES TO REMAIN, UNLESS SPECIFICALLY NOTED IN PLANS. SEE SITE CIVIL PLANS FOR MORE DETAILS.
- ALL EXISTING CURB TO REMAIN, UNLESS SPECIFICALLY NOTED IN PLANS.
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ANNOTATIONS:

- 1. DEMOLISH EXISTING CONCRETE PAVEMENT & PAVERS.
- 2. EXISTING STRUCTURE TO BE DEMOLISHED.
- 3. ALL EXISTING PLANTING TO BE SCARIFIED & REPAIRED IN PLACE.
- 4. EXISTING PLANTING LOW WALL TO BE DEMOLISHED & RE-BUILT.
- 5. EXISTING HC RAMP TO BE DEMOLISHED.
- 6. EXISTING CONCRETE STAIRS & HANDRAILS TO BE DEMOLISHED.



KEY MAP

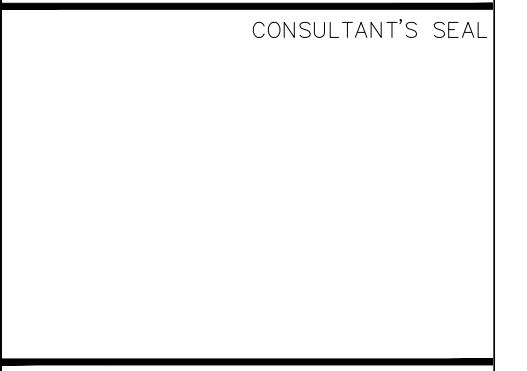


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MANAGER
DEPT. OF URBAN DESIGN AND PROJECT DEVELOPMENT, MASJ.

OWNER
AUTONOMOUS MUNICIPALITY OF SAN JUAN

PROJECT
IMPROVEMENTS OF "PLAZA DE LA CONVALESCENCIA" AND "PLAZA DEL PILAR"

DRAWING NAME
PLAZA DEMOLITION SITE PLAN

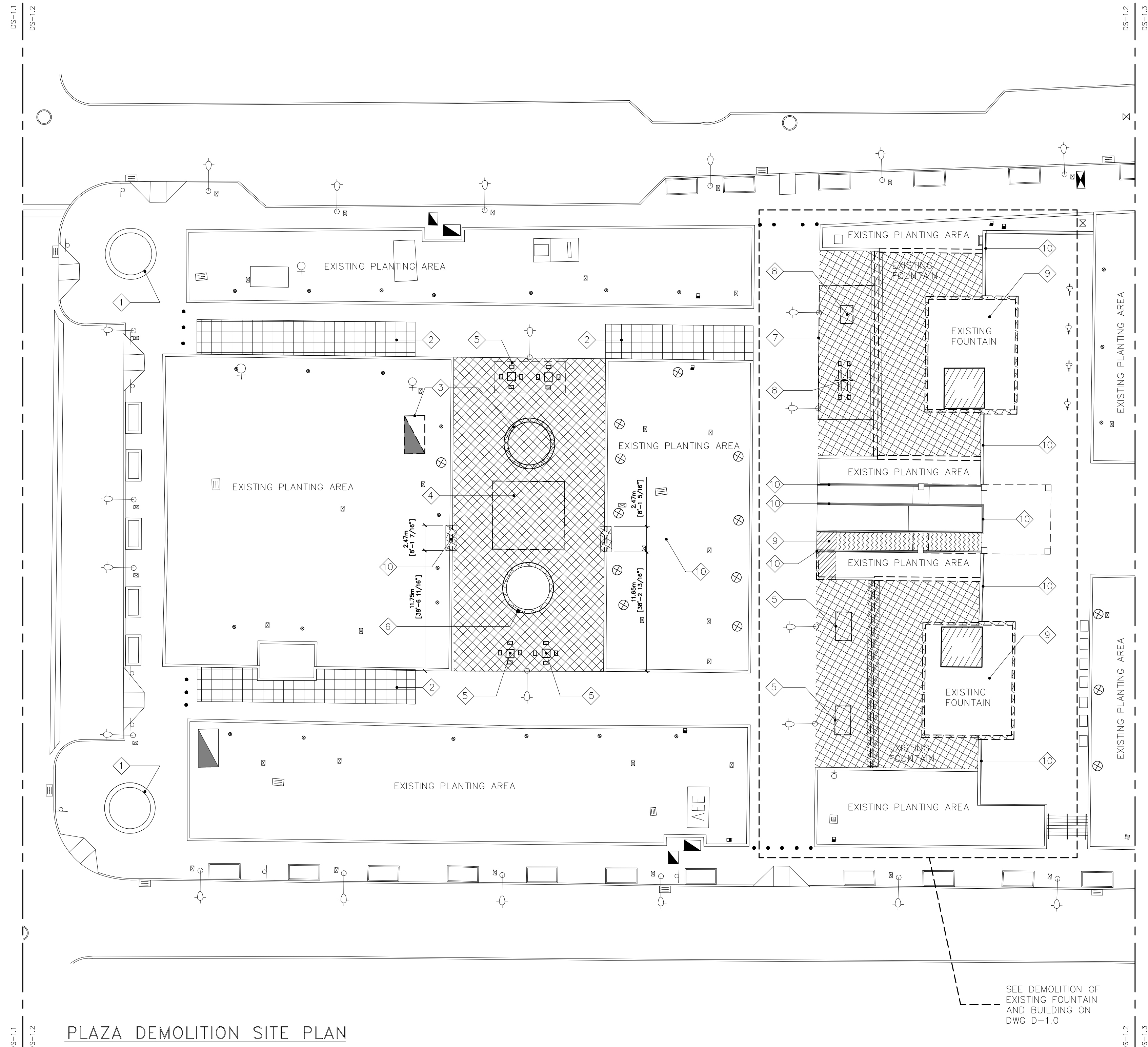
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1	3/1/24		L.R.	L.H.

PROJECT
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JDD I.H.

NUMBER	TOTAL
6	62

DRAWING NUMBER
DS-1.1



PLAZA DEMOLITION SITE PLAN
SCALE: 1:250

LEGEND:

SYMBOL	DESCRIPTION
	EXISTING PAVEMENT TO BE REMOVED
	EXISTING PAVERS TO BE REMOVED & REINSTALLED
	EXISTING RAMP & PLANTER PORTION TO BE DEMOLISHED
	SCARIFICATION OF CONCRETE SURFACE
	EXISTING LOW-WALL FROM PLANTER TO BE DEMOLISHED
	ANNOTATION MARKER

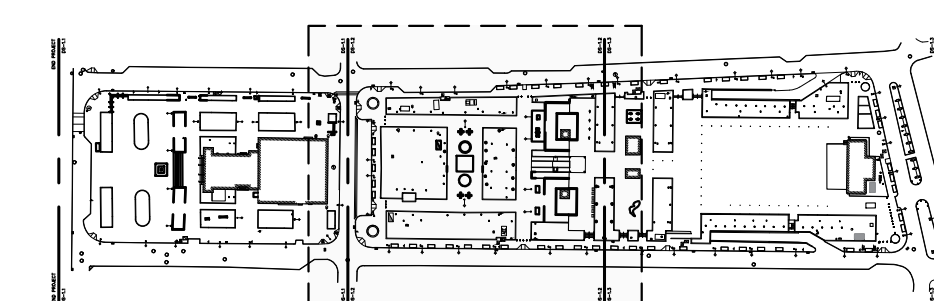
ANNOTATIONS:

- 1 EXISTING WATER FOUNTAIN TO BE CLEANED, REMOVE EXISTING STONE, WOOD PANEL, VEGETATION AND METAL GRILLS. SEE DWG --- FOR IMPROVEMENTS.
- 2 EXISTING PAVERS TO BE CAREFULLY REMOVED FOR REINSTALLATION. EXISTING GRANITE PAVERS HAVE BEEN DISPLACED BY TREE ROOTS. CONTRACTOR MUST PROVIDE SERVICES OF CERTIFIED ARBORIST TO CUT & PRUNE THE NECESSARY ROOTS TO RE-INSTALL PAVERS & COMPACTED BASE ACCORDING TO SECTION --- OF TECH SPECS
- 3 EXISTING WATER FOUNTAIN TO BE DEMOLISHED, REMOVE ALL EXISTING PIPING AND WATER PUMP AND CASING TO BE PROPERLY DISPOSED.
- 4 EXISTING PLAY AREA AND RUBBER PAVEMENT TO BE DEMOLISHED.
- 5 EXISTING CONCRETE DOMINOS TABLE, BENCHES & PING-PONG TABLES TO BE CAREFULLY REMOVED & RELOCATED.
- 6 REMOVE, CLEAN & STORE GRANITE STONE OF EXISTING CONCRETE PLANTER.
- 7 EXISTING ARTIFICIAL GRASS TO BE REMOVED.
- 8 EXISTING PLAYGROUND EQUIPMENT TO BE CAREFULLY REMOVED AND RELOCATED IN NEW PLAYGROUND AREA. FOR DETAILS SEE DWG AS-3.1
- 9 EXISTING RAMP & PLANTER PORTION TO BE DEMOLISHED. FOR DETAILS SEE DWG D-1.0
- 10 EXISTING PLANTER PORTION TO BE CAREFULLY DEMOLISHED. FOR DETAILS SEE DWG AS-3.1
- 11 REMOVE AND REPLACE ALL BROKEN PAVERS.

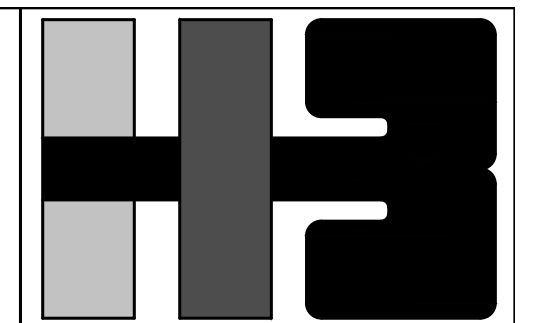
CLEANING:
WATER BLASTING

JOINT SAND:
REFRESHED WITH DRY SAND. APPLY SEALERS WILL HELP HOLD THE SAND IN THE JOINTS. THESE ARE APPLIED OVER THE ENTIRE PAVER SURFACE AS A LIQUID AND ALLOWED TO SOAK AND CURE IN THE JOINTS.

VEGETATION:
REMOVE (VEGETATION) BY HAND OR WITH HERBICIDES. TAKE CARE IN USING HERBICIDES SO THAT ADJACENT VEGETATED AREAS ARE NOT DAMAGED. USE BIODEGRADABLE PRODUCTS THAT WON'T DAMAGE OTHER VEGETATION OR POLLUTE WATER SUPPLIES WHEN WASHED FROM THE PAVEMENT SURFACE.



KEY MAP



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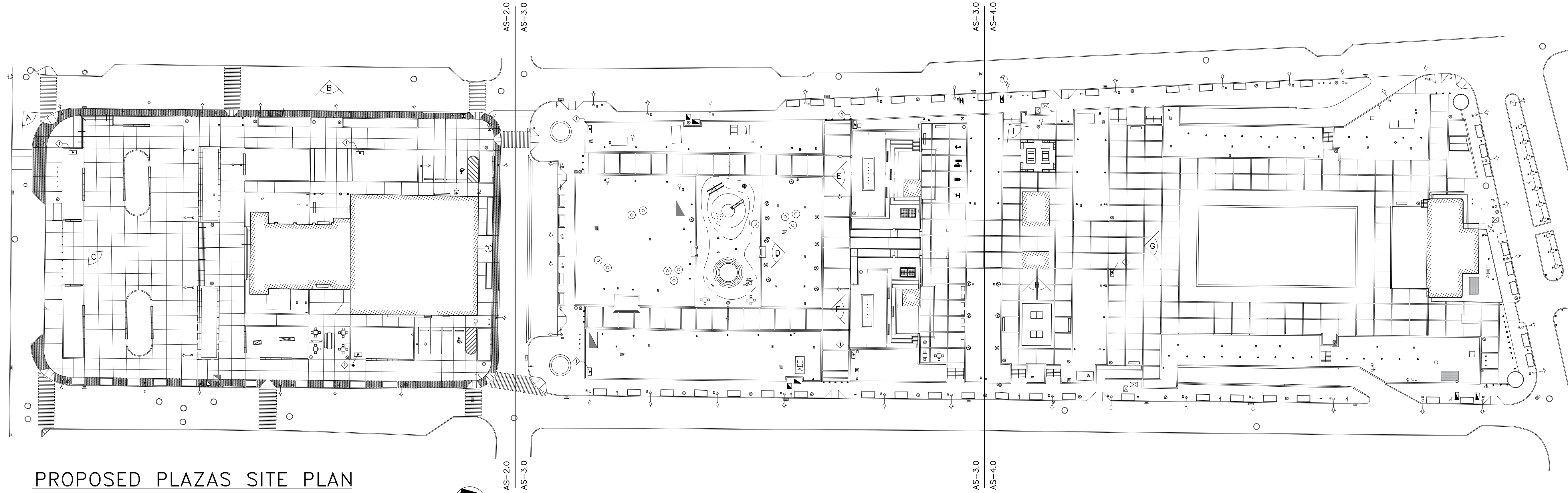
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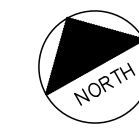
NUMBER	TOTAL
7	62

DRAWING NUMBER
DS-1.2

END PROJECT
AS-2.0



PROPOSED PLAZAS SITE PLAN
SCALE: 1:500



END PROJECT
AS-4.0



Ⓐ STAIR & PLANTER REMODEL VIEW



Ⓑ PLAZA NIGHT VIEW



Ⓒ PLANTER MINI RAMP VIEW



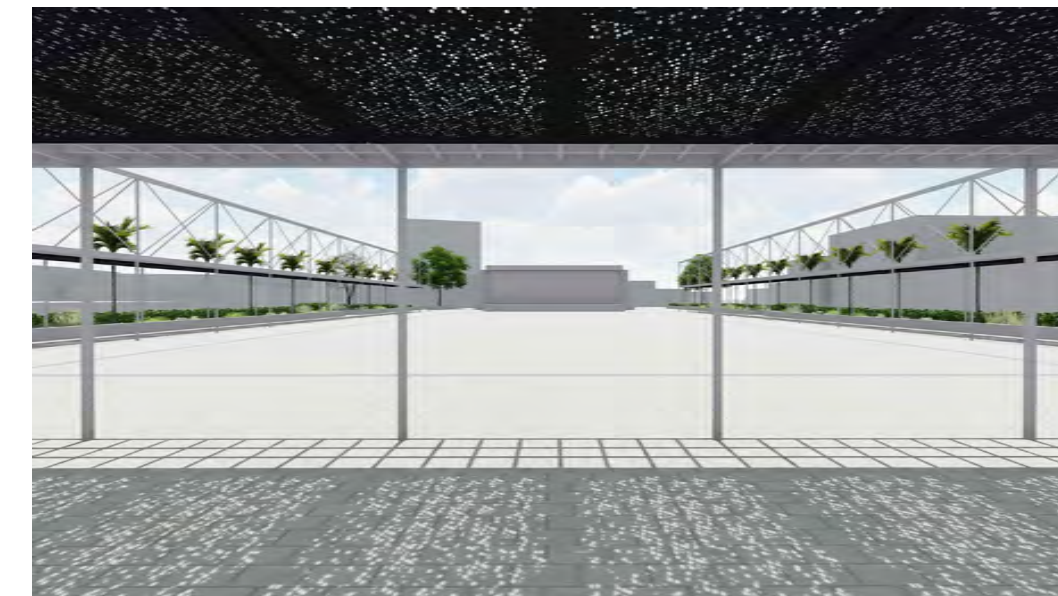
Ⓓ PLAYGROUND VIEW



Ⓔ WATER PLAZA I VIEW



Ⓕ WATER PLAZA II VIEW



Ⓒ TRELLIS AREA VIEW



Ⓓ PING-PONG AREA VIEW



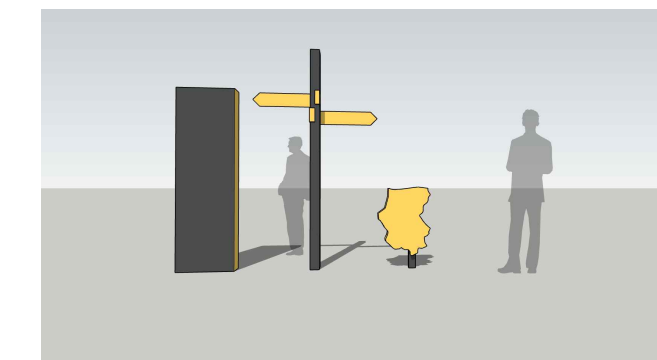
Ⓖ SOLAR WORKSTATION AREA VIEW

LEGEND:

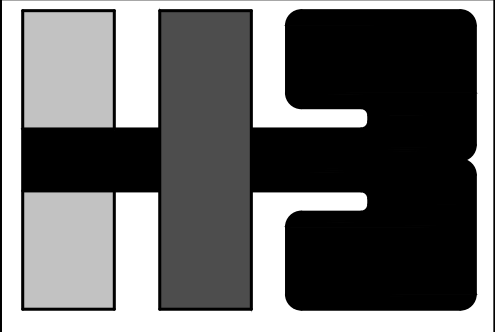
SYMBOL	DESCRIPTION
	VIEW POSITION MARKER

ANNOTATIONS:

① NEW PROJECT SIGNAGE. SEE DETAILS IN DWG AS-1.2



① NEW PROJECT SIGNAGE
SEE DETAILS IN DWG AS-1.2



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OWNER
AUTONOMOUS MUNICIPALITY OF SAN JUAN

PROJECT
IMPROVEMENTS OF "PLAZA DE LA CONVALESCENCIA" AND "PLAZA DEL PILAR"

DRAWING NAME
PROPOSED SITE PLAN

COMPUTER PLOT
THIS DRAWING WAS DRAFTED ON A CAD SYSTEM ALL CHANGES OR CORRECTIONS MUST BE STRICTLY ENCUOTED ON CAD. ANY QUESTIONS PLEASE CONTACT HERNANDEZ-BAUZA

NO.	DATE	REVISION	BY	APPROVED
1	3/1/24		L.R.	L.H.

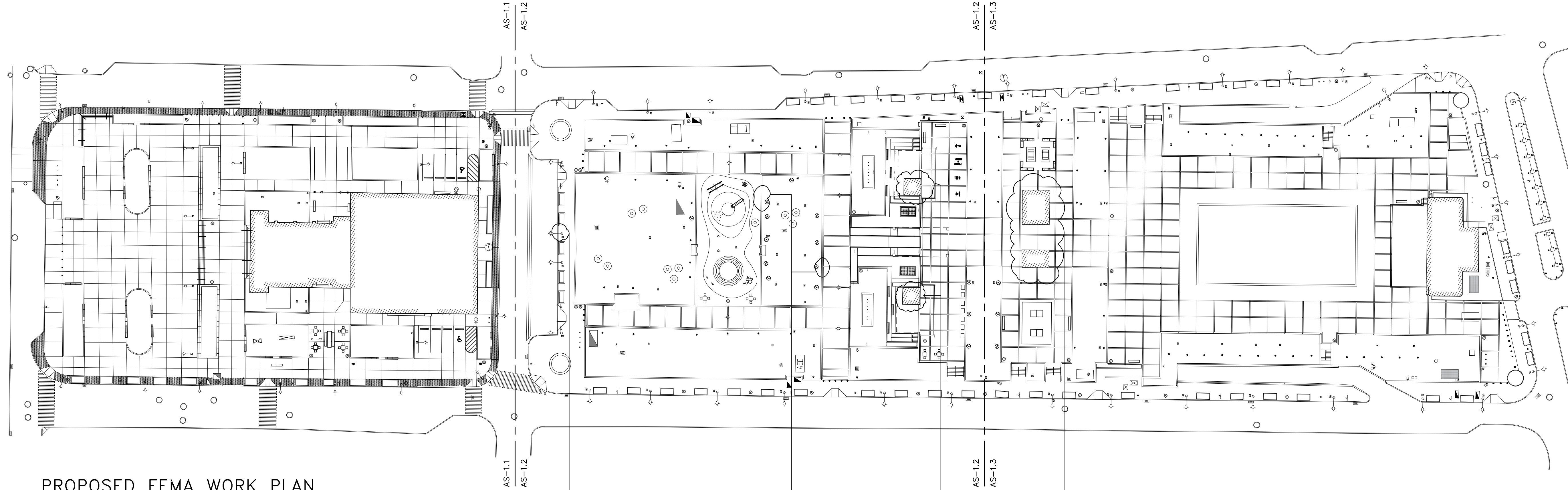
PROJECT

DRAWING BY/CHECKED BY
L.R.C. I.H.

NUMBER	TOTAL
9	62

DRAWING NUMBER
AS-1.0

END PROJECT AS-1.1



PROPOSED FEMA WORK PLAN
SCALE: 1: 500



Damaged Light Pole

Damaged Black Marble Tile

Tower 2 & Tower 3

Building 1 & Tower 1

Applicant: Municipio de San Juan	Damage Inventory # 168306	Category G
Work Order # FIPS # 127-99127-00	Date: 08/14/2019	GPS 18.397575, -66.050685
Site Inspector: Carmen Melendez, Yohari Lopez	Damage Facility: Convalecencia Plaza and Parking	
Site: Plaza de la Convalecencia	Photo# 1	Site: Plaza de la Convalecencia
Photo# 1	Photo# 2	Photo# 3
Component Description: Plaza de la Convalecencia	Photo# 4	Component Description: Building 1 // Elevator
Photo# 3	Photo# 4	Component Description: Not working due to wind driven rain, water intrusion and flooding of the first floor (underground)

DEPARTMENT OF HOMELAND SECURITY- FEDERAL EMERGENCY MANAGEMENT AGENCY-DR PAGE 1 OF 7

Applicant: Municipio de San Juan	Damage Inventory # 168306	Category G
Work Order # FIPS # 127-99127-00	Date: 08/14/2019	GPS 18.397575, -66.050685
Site Inspector: Carmen Melendez, Yohari Lopez	Damage Facility: Convalecencia Plaza and Parking	
Component Description: Building 1 // Elevator	Photo# 5	Component Description: Building 1 // Elevator
Photo# 5	Photo# 6	Component Description: Not working due to wind driven rain, water intrusion and flooding of the first floor (underground)
Photo# 6	Photo# 7	Component Description: Building 1 // Tower 1
Photo# 7	Photo# 8	Component Description: Not working due to wind driven rain, water intrusion and flooding of the first floor (underground)

DEPARTMENT OF HOMELAND SECURITY- FEDERAL EMERGENCY MANAGEMENT AGENCY-DR PAGE 2 OF 7

Applicant: Municipio de San Juan	Damage Inventory # 168306	Category G
Work Order # FIPS # 127-99127-00	Date: 08/14/2019	GPS 18.397575, -66.050685
Site Inspector: Carmen Melendez, Yohari Lopez	Damage Facility: Convalecencia Plaza and Parking	
Component Description: Building 1	Photo# 9	Component Description: Building 1
Photo# 9	Photo# 10	Component Description: Wood soffit, Broken due to high wind force and wind driven rain
Photo# 10	Photo# 11	Component Description: Building 1
Photo# 11	Photo# 12	Component Description: Wood soffit, Broken due to high wind force and wind driven rain

DEPARTMENT OF HOMELAND SECURITY- FEDERAL EMERGENCY MANAGEMENT AGENCY-DR PAGE 3 OF 7

Applicant: Municipio de San Juan	Damage Inventory # 168306	Category G
Work Order # FIPS # 127-99127-00	Date: 08/14/2019	GPS 18.397575, -66.050685
Site Inspector: Carmen Melendez, Yohari Lopez	Damage Facility: Convalecencia Plaza and Parking	
Component Description: Building 1	Photo# 13	Component Description: Building 1
Photo# 13	Photo# 14	Component Description: Wood soffit, Broken due to high wind force and wind driven rain
Photo# 14	Photo# 15	Component Description: Gazebo/ Ramp entrance
Photo# 15	Photo# 16	Component Description: Wood soffit, Broken due to high wind force and wind driven rain

DEPARTMENT OF HOMELAND SECURITY- FEDERAL EMERGENCY MANAGEMENT AGENCY-DR PAGE 4 OF 7

Applicant: Municipio de San Juan	Damage Inventory # 168306	Category G
Work Order # FIPS # 127-99127-00	Date: 08/14/2019	GPS 18.397575, -66.050685
Site Inspector: Carmen Melendez, Yohari Lopez	Damage Facility: Convalecencia Plaza and Parking	
Component Description: Tower 2	Photo# 17	Component Description: Tower 2
Photo# 17	Photo# 18	Component Description: Broken due to high wind force and wind driven rain. Tower is 16R (L) x 8R(W) = 48R (L) of soffit
Photo# 18	Photo# 19	Component Description: Tower 3
Photo# 19	Photo# 20	Component Description: Broken due to high wind force and wind driven rain. Tower is 16R (L) x 8R(W) = 48R (L) of soffit

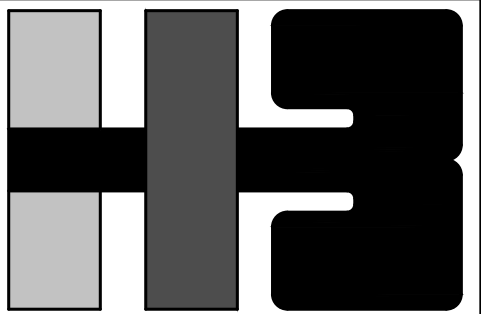
DEPARTMENT OF HOMELAND SECURITY- FEDERAL EMERGENCY MANAGEMENT AGENCY-DR PAGE 5 OF 7

Applicant: Municipio de San Juan	Damage Inventory # 168306	Category G
Work Order # FIPS # 127-99127-00	Date: 08/14/2019	GPS 18.397575, -66.050685
Site Inspector: Carmen Melendez, Yohari Lopez	Damage Facility: Convalecencia Plaza and Parking	
Component Description: Playground // Seawall area	Photo# 21	Component Description: Playground // Seawall area
Photo# 21	Photo# 22	Component Description: Black marble tile
Photo# 22	Photo# 23	Component Description: Broken due to high wind force and wind driven debris
Photo# 23	Photo# 24	Component Description: Garden // Center
Photo# 24	Photo# 25	Component Description: Black marble tile
Photo# 25	Photo# 26	Component Description: Broken due to high wind force and wind driven debris

DEPARTMENT OF HOMELAND SECURITY- FEDERAL EMERGENCY MANAGEMENT AGENCY-DR PAGE 6 OF 7

Applicant: Municipio de San Juan	Damage Inventory # 168306	Category G
Work Order # FIPS # 127-99127-00	Date: 08/14/2019	GPS 18.397575, -66.050685
Site Inspector: Carmen Melendez, Yohari Lopez	Damage Facility: Convalecencia Plaza and Parking	
Component Description: Ornamental pole missing w/ 2.5h diameter lightning	Photo# 25	Component Description: Broken due to high wind force and wind driven debris
Photo# 25	Photo# 26	Component Description: Broken due to high wind force and wind driven debris

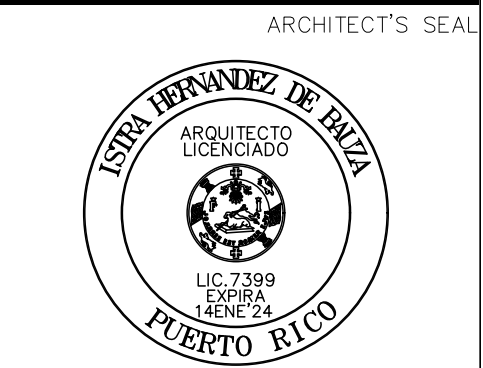
DEPARTMENT OF HOMELAND SECURITY- FEDERAL EMERGENCY MANAGEMENT AGENCY-DR PAGE 7 OF 7



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PROJECT
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DRAWING NAME

PROPOSED FEMA WORK PLAN

COMPUTER PLOT
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NO.	DATE	REVISION	BY	APPROVED

PROJECT

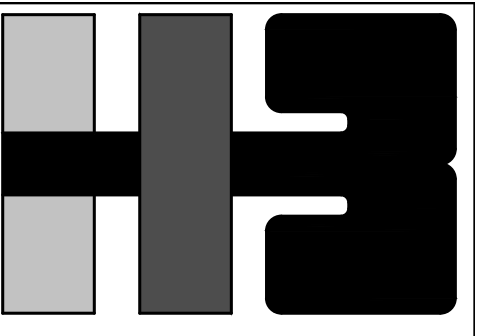
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JDD I.H.

NUMBER	TOTAL
10	62

DRAWING NUMBER

AS-1.1



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DRAWING NAME
WAYFINDING SIGNAGE PLAN

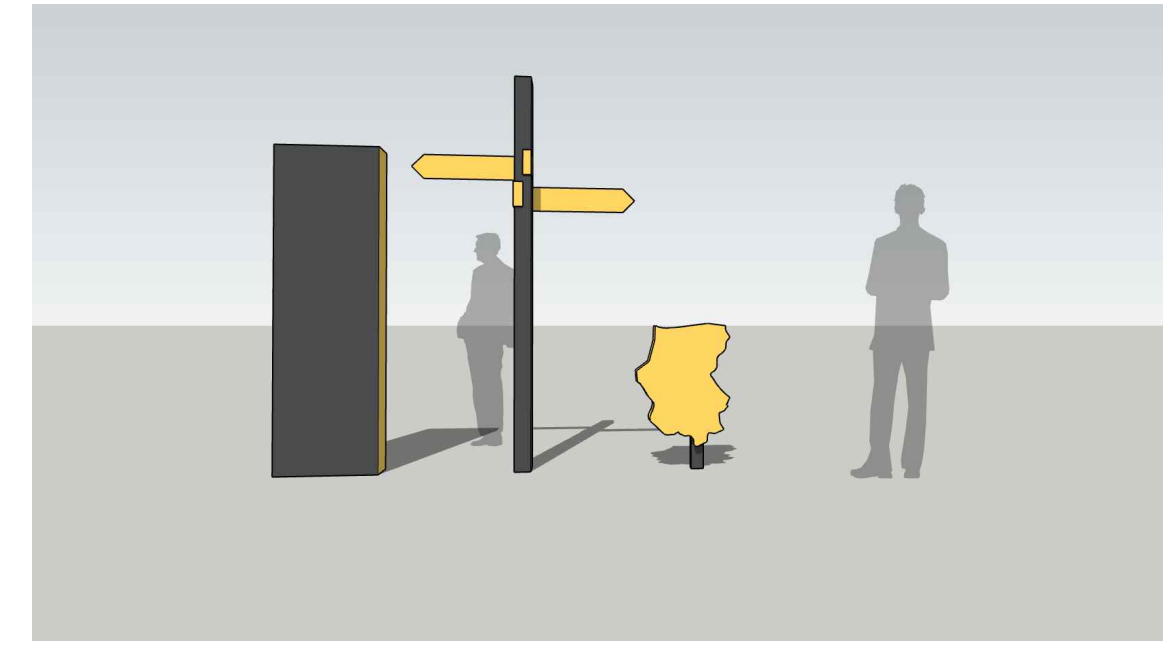
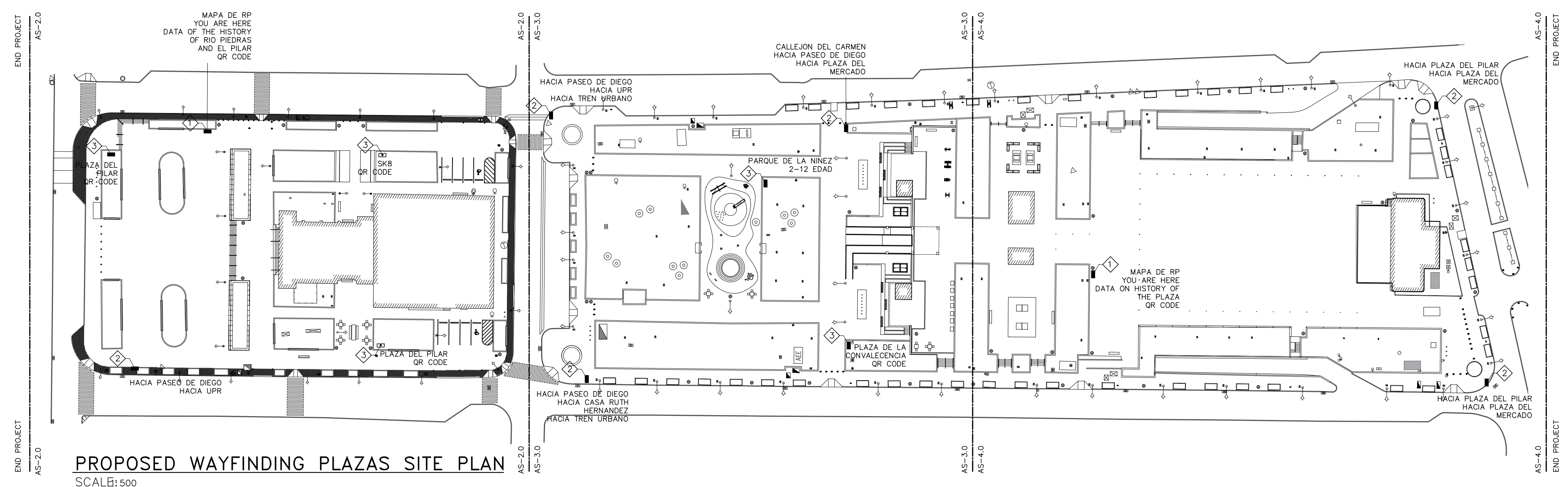
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PROJECT
DRAWING BY/CHECKED BY
jdd I.H.

NUMBER	TOTAL
11	62

DRAWING NUMBER
AS-1.2

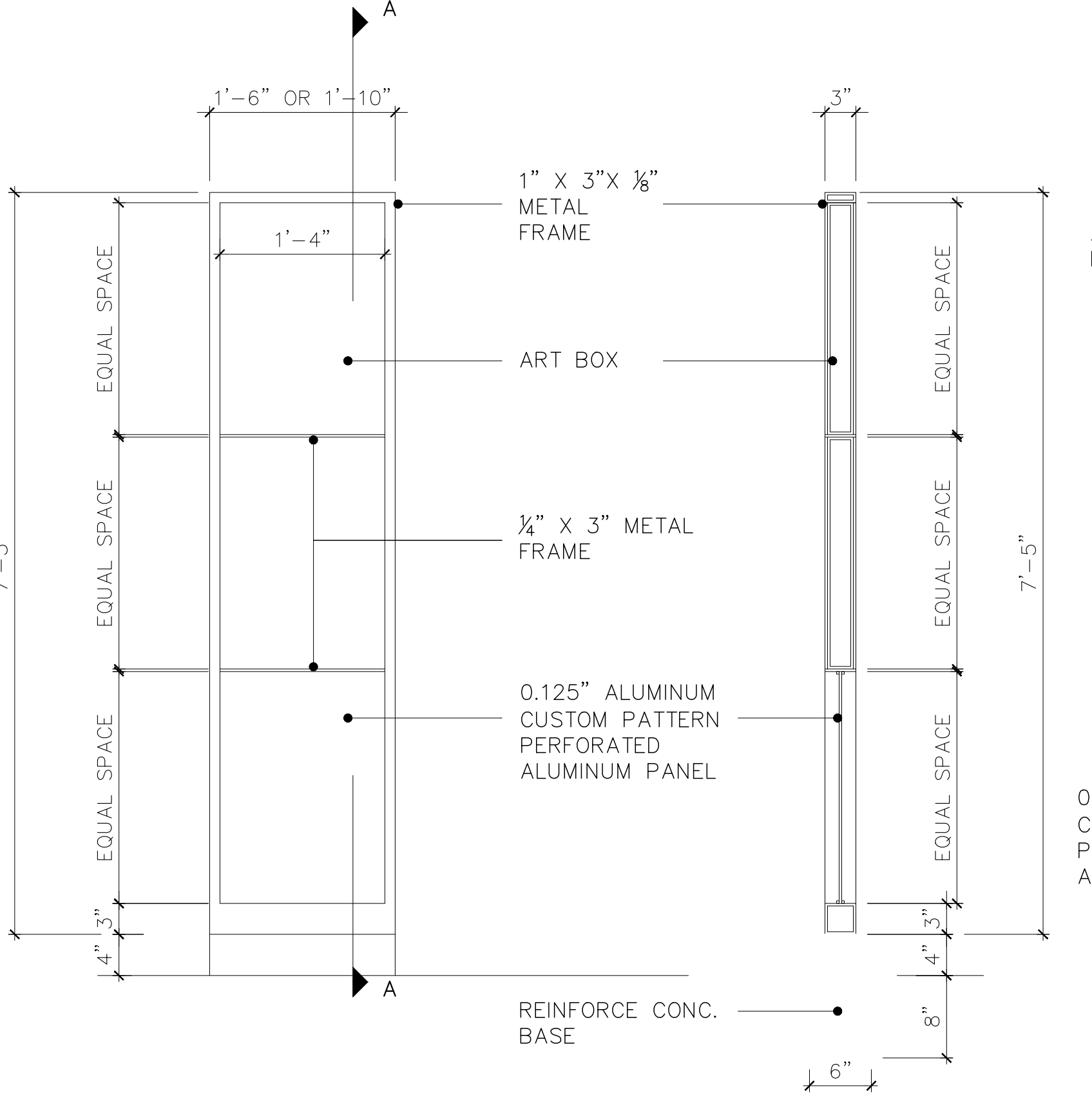


NEW PROJECT SIGNAGE

PROPOSED WAYFINDING PLAZAS SITE PLAN

SCALE: 1"=500'

- NOTE:
- SEE SECTION 104330 "EXTERIOR SIGNAGE" OF TECH. SPECS FOR SIZES, MATERIAL AND INSTRUCTIONS OF SIGNAGE.
 - GRAPHICS AND COPY WRITING BY MASJ.
 - CONTRACTOR MUST SUBMIT SIGNAGE FABRICATION SHOP DRAWINGS FOR ARCHITECT APPROVAL AND COLOR SELECTION BEFORE SIGNAGE CONSTRUCTION.



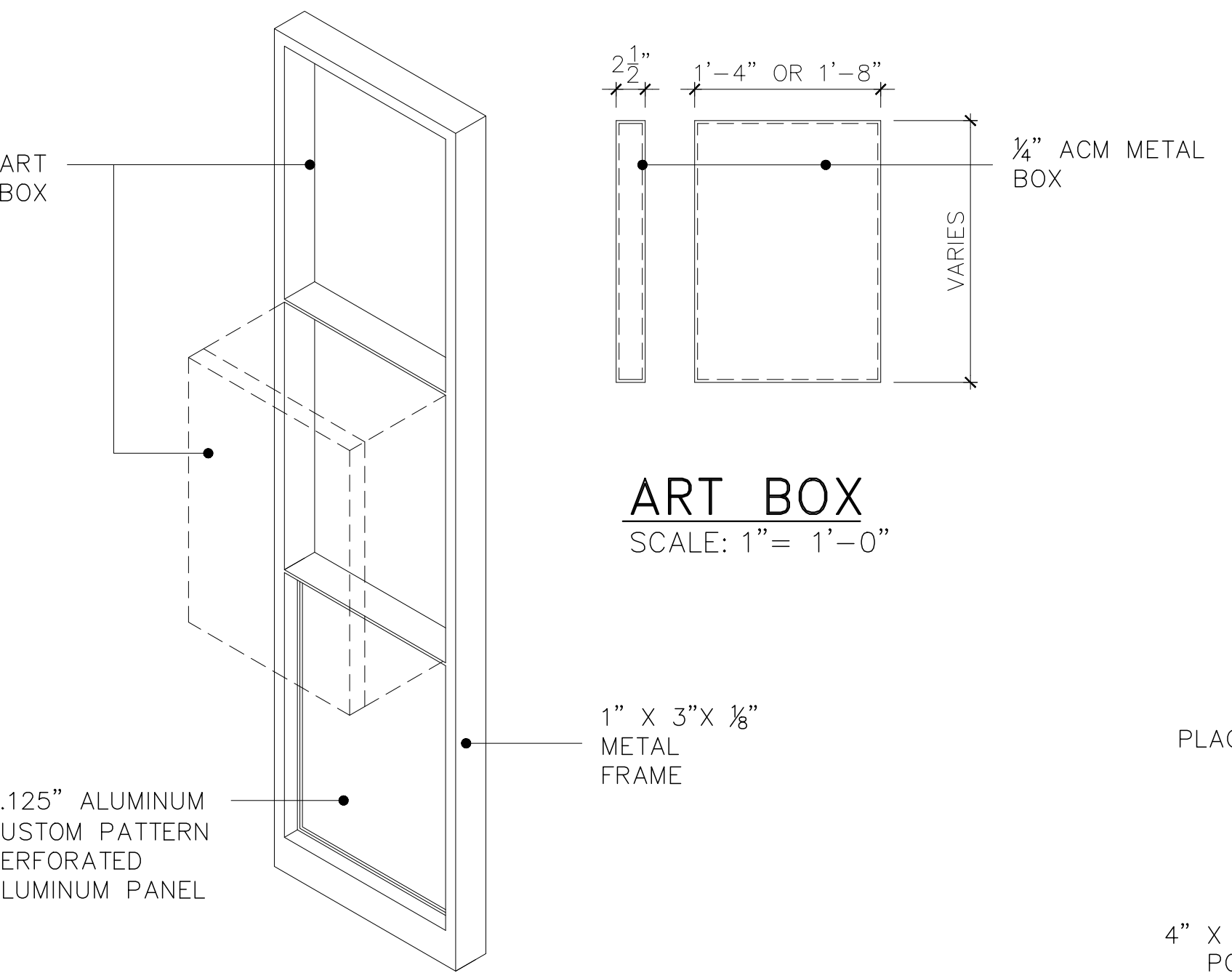
1 NEW SIGNAGE TYPE 1

SCALE: 1"= 1'-0"

SIGNAGE FOR RIO PIEDRAS GRAPHIC MAP, YOU ARE HERE LOCATION AND GENERAL INFORMATION

SECTION "A-A"

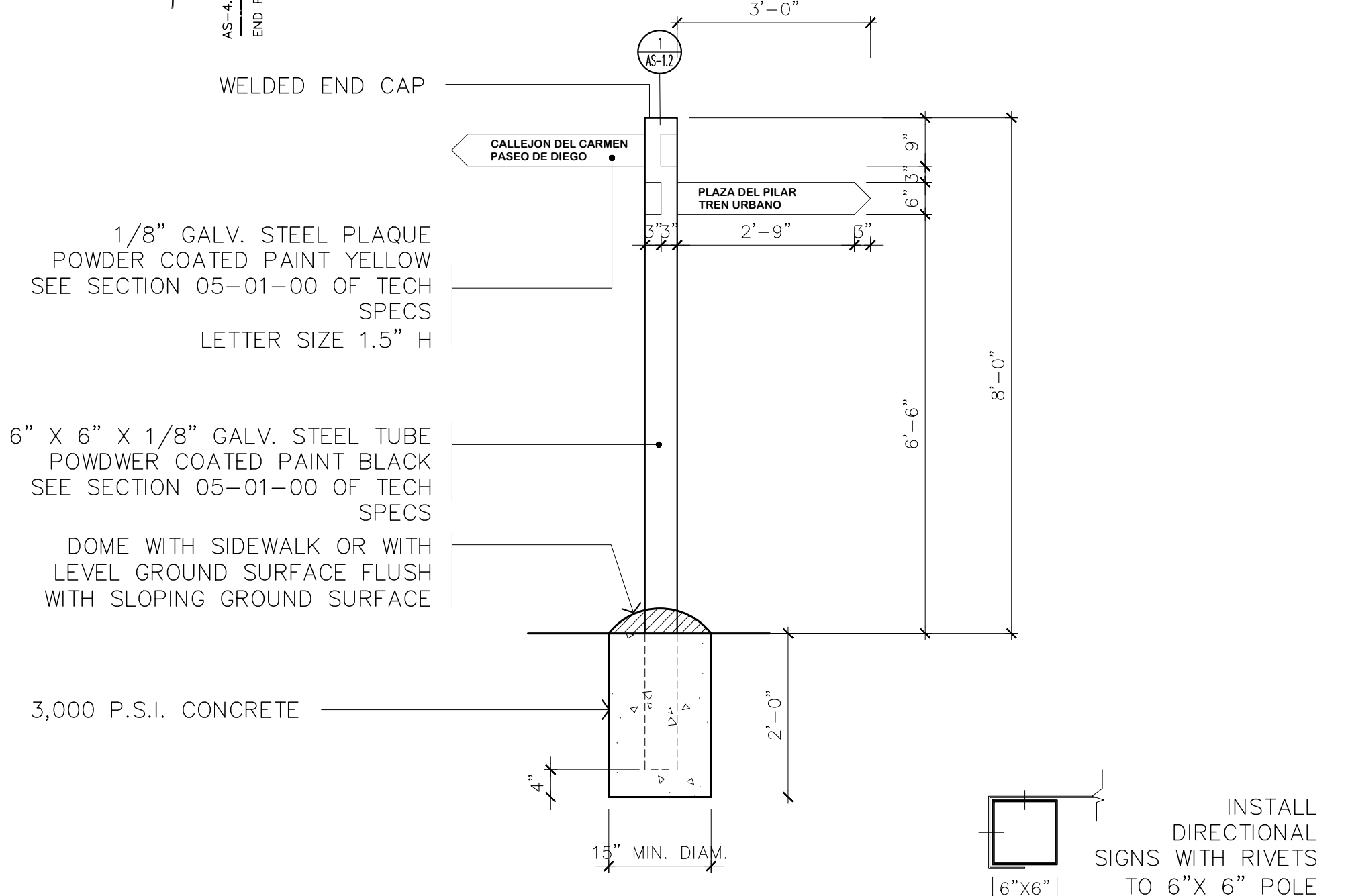
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NEW SIGNAGE

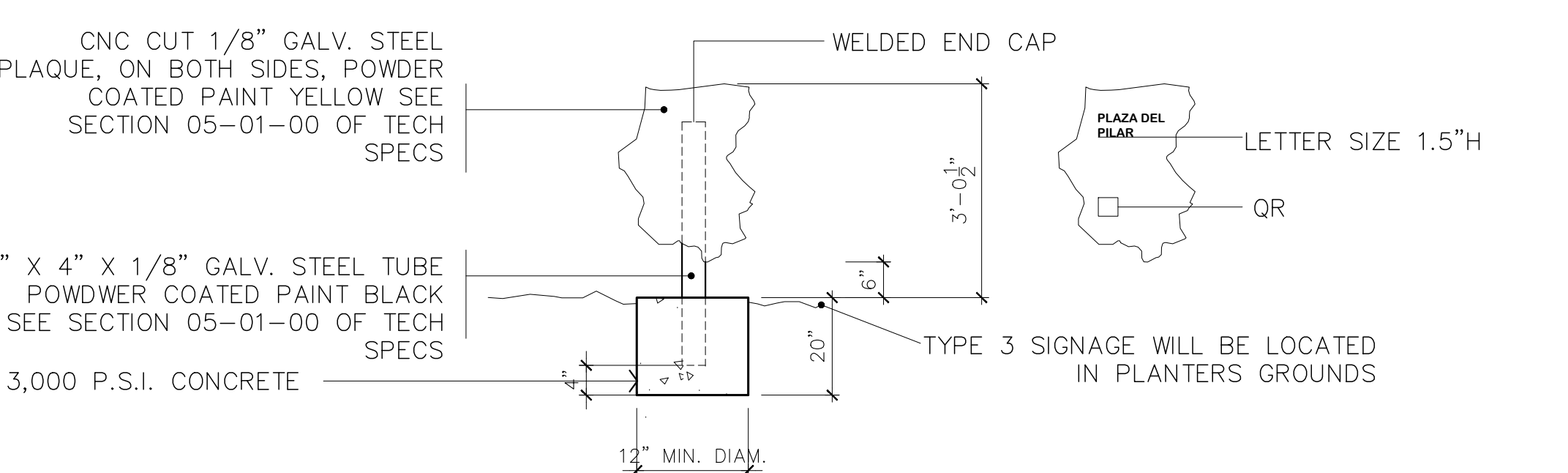
TYPE 1 ISOMETRIC

SCALE: 1"= 1'-0"



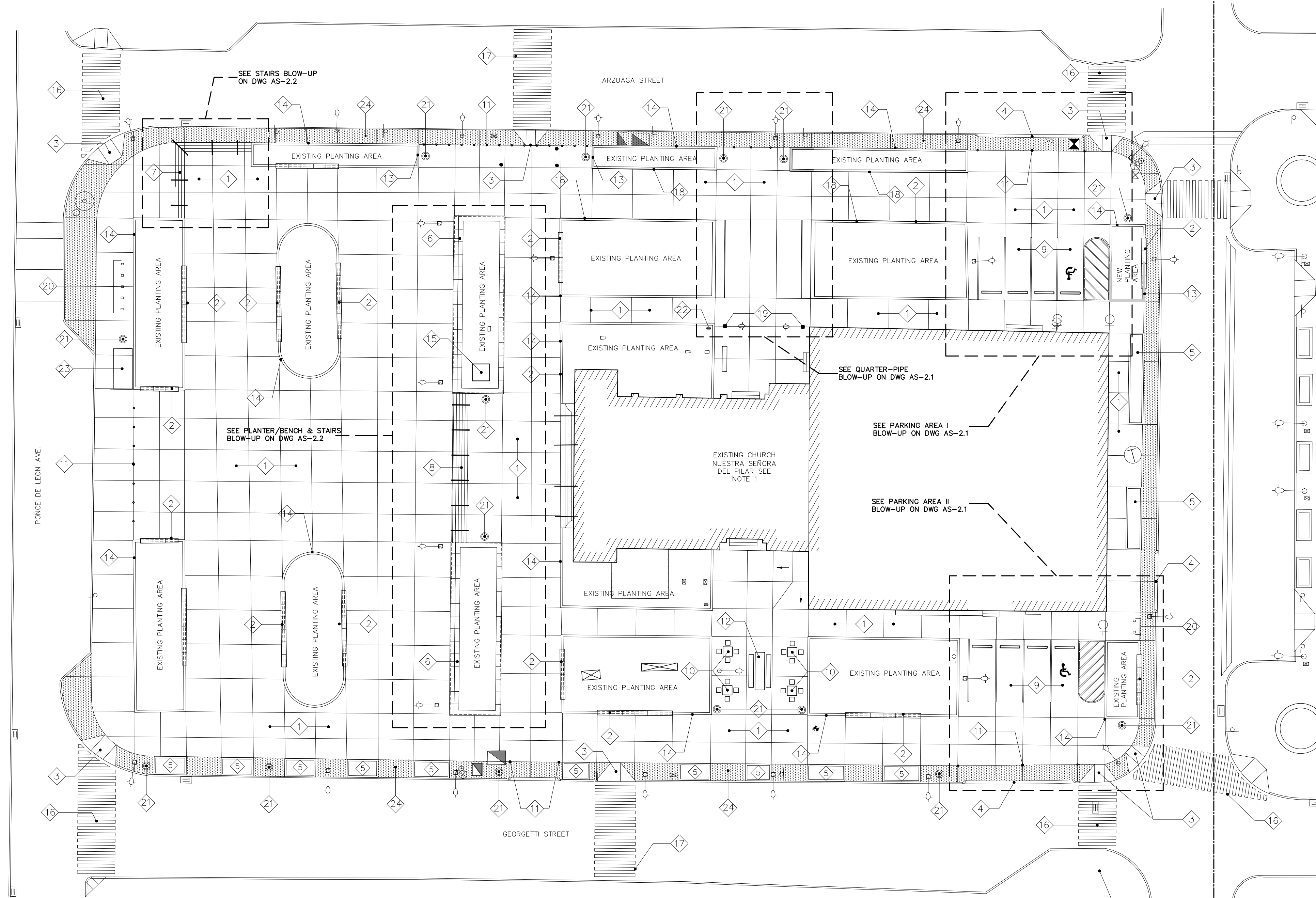
2 NEW SIGNAGE TYPE 2

SCALE: NTS
SIGNAGE FOR DIRECTION OF STREETS, ALLEYS AND IMPORTANT LANDMARKS LIKE "LA PLAZA DEL MERCADO".



3 NEW SIGNAGE TYPE 3

SCALE: NTS
SIGNAGE FOR SPECIFIC PLACE NAME. FOR EXAMPLE "LA PLAZA DE LA CONVALESCENCIA"



PLAZA DEL PILAR PROPOSED SITE PLAN

SCALE: 1: 250

LEGEND:

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	ANNOTATION MARKER		NEW EXPOSED AGGREGATE PAVEMENT
	DETAIL MARKER		
	SECTION MARKER		
	NEW TRASH RECEPTACLE		
	NEW BIKE RACKS		
	NEW BOLLARDS		
	NEW DOG WASTE STATION		

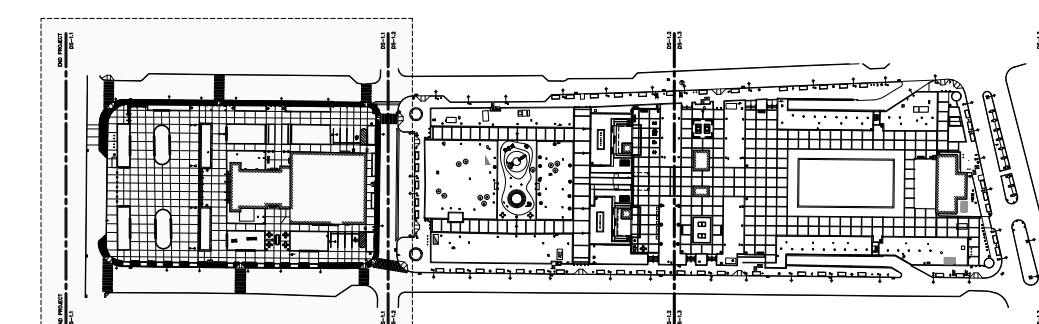
ANNOTATIONS:

- 1 NEW CONCRETE PAVEMENT WITH BROOM FINISH.
- 2 NEW PRE-FABRICATED CONCRETE BENCH FOR EXISTING PLANTER LOW WALL. SEE DETAILS ON DWG AS-2.2
- 3 NEW CONCRETE HANDICAPPED RAMP. SEE DETAILS ON DWG AS-2.3
- 4 NEW CONCRETE MOUNTABLE CURB. SEE DETAILS ON DWG AS-2.3
- 5 NEW CONCRETE PLANTER. SEE DETAILS ON DWG AS-2.2
- 6 NEW PRECAST CONCRETE BENCH/PLANTER. SEE DETAILS ON DWG AS-2.2
- 7 NEW STAIRS. SEE DETAILS ON DWG AS-2.2
- 8 NEW CONCRETE STAIRS. SEE DETAILS ON DWG AS-2.2

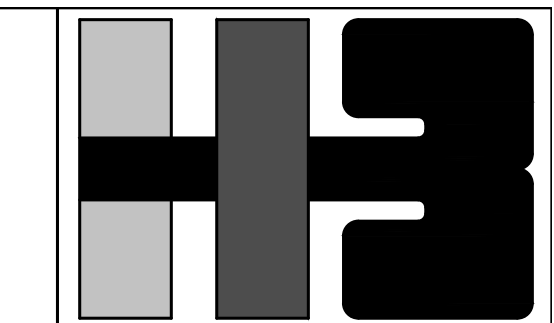
NOTES:

- EXISTING CHURCH NUESTRA SEÑORA DEL PILAR IS NOT PART OF THE SCOPE OF WORK, BUT ANY DAMAGE INFLECTED BY CONSTRUCTION WORK WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR WHO MUST REPAIR TO OWNER'S SATISFACTION.
- ALL EXISTING LIGHTING POSTS & FIXTURES TO REMAIN, UNLESS SPECIFICALLY NOTED IN PLANS.
- ALL EXISTING CURB TO REMAIN, UNLESS SPECIFICALLY NOTED IN PLANS. SEE SITE CIVIL PLANS FOR MORE DETAILS.
- PREVIOUS TO PROJECT DEMOLITIONS OR EXCAVATIONS THE CONTRACTOR MUST LOCATE AND IDENTIFY UNDERGROUND UTILITIES TO AVOID DAMAGES OR INTERRUPTIONS IN SERVICES. ANY DAMAGES DUE TO THIS DEMOLITION OR EXCAVATION WORK ARE TO BE REPAIRED AT HIS OWN COST.

- 9 NEW PARKING SPACES. SEE BLOW-UP ON DWG AS-2.3
- 10 NEW DOMINO TABLES EQUAL OR APPROVE EQUAL TO 713 PRECAST, LLC MODEL TE-6
- 11 NEW BOLLARDS. SEE DETAILS IN DWG AS-2.3
- 12 NEW CONCRETE DINNER TABLE APPROVE EQUAL TO 713 PRECAST, LLC MODEL TE-4
- 13 NEW PLANTER PORTION. SEE DWG ---
- 14 EXISTING PLANTER TO BE CLEANED, REPAIRED & REPAINTED.
- 15 NEW LOCATION FOR EXISTING SCULPTURE. SEE DWG ---
- 16 REPAINT EXISTING PEDESTRIAN CROSSING LINES. FOR DETAILS SEE TECH SPEC SECTION 07-18-00 (TRAFFIC COATINGS)
- 17 NEW PEDESTRIAN CROSSING LINES. FOR DETAILS SEE TECH SPEC SECTION 07-18-00 (TRAFFIC COATINGS)
- 18 NEW LOW-WALL EXTENSION WITH GALVANIZED STEEL CHANNEL FOR SKATEBOARDING
- 19 EXISTING LIGHT POLES IN NEW LOCATION
- 20 NEW BIKE RACKS. SEE DETAILS ON DWG AS-2.3
- 21 NEW TRASH RECEPTACLE SEE DETAILS IN DWG AS-2.3
- 22 NEW DOG TRASH RECEPTACLE. SEE DETAILS ON DWG AS-2.3
- 23 NEW BUS STOP BY MASJ EQUAL OR APPROVE EQUAL TO SELECTED SPIDER MODEL.
- 24 NEW EXPOSED AGGREGATE PAVEMENT. SEE SECTION 03-53-00 (EXPOSED AGGREGATE) OF TECH. SPECS.



KEY MAP



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 MANAGER
 DEPT. OF URBAN DESIGN AND PROJECT DEVELOPMENT, MASJ.

OWNER
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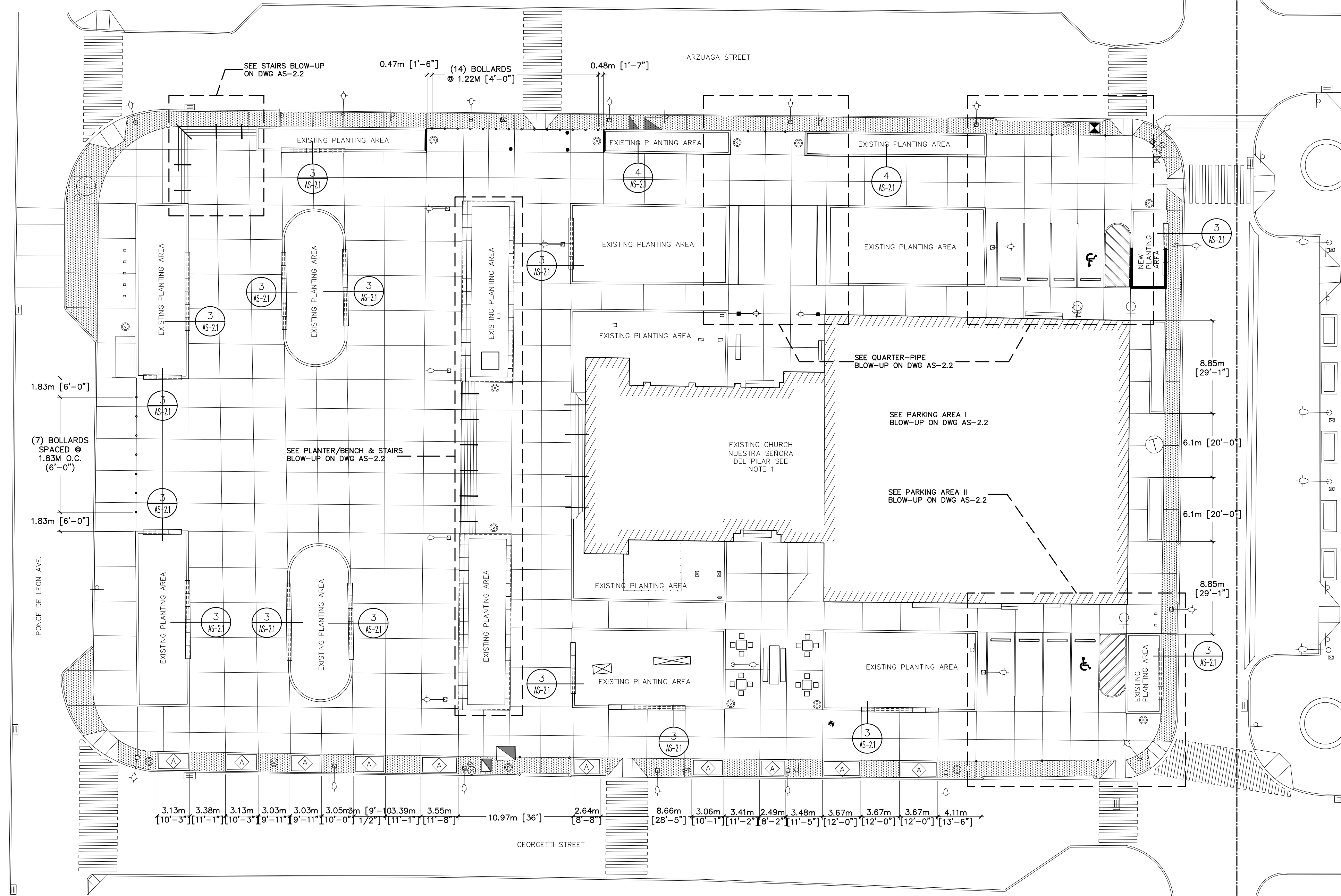
PROJECT
 IMPROVEMENTS OF "PLAZA DE LA CONVALESCENCIA" AND "PLAZA DEL PILAR"

DRAWING NAME
 PROPOSED SITE PLAN (FIRST PORTION)

COMPUTER PLOT
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NO.	DATE	REVISION	BY	APPROVED
1	3/1/24		L.R.	L.H.

PROJECT	
DRAWING BY/CHECKED BY	
LRC	I.H.
NUMBER	TOTAL
12	62
DRAWING NUMBER	
AS-2.0	



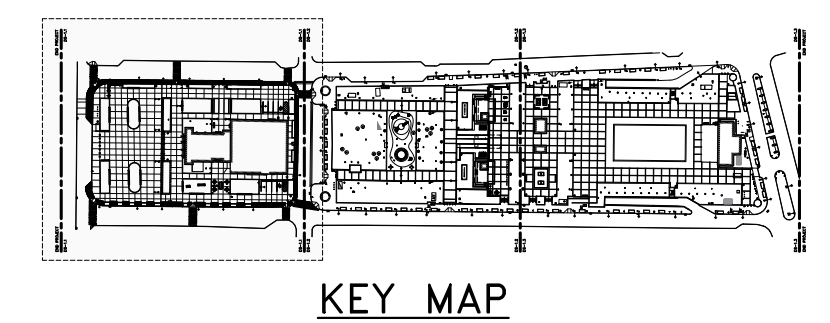
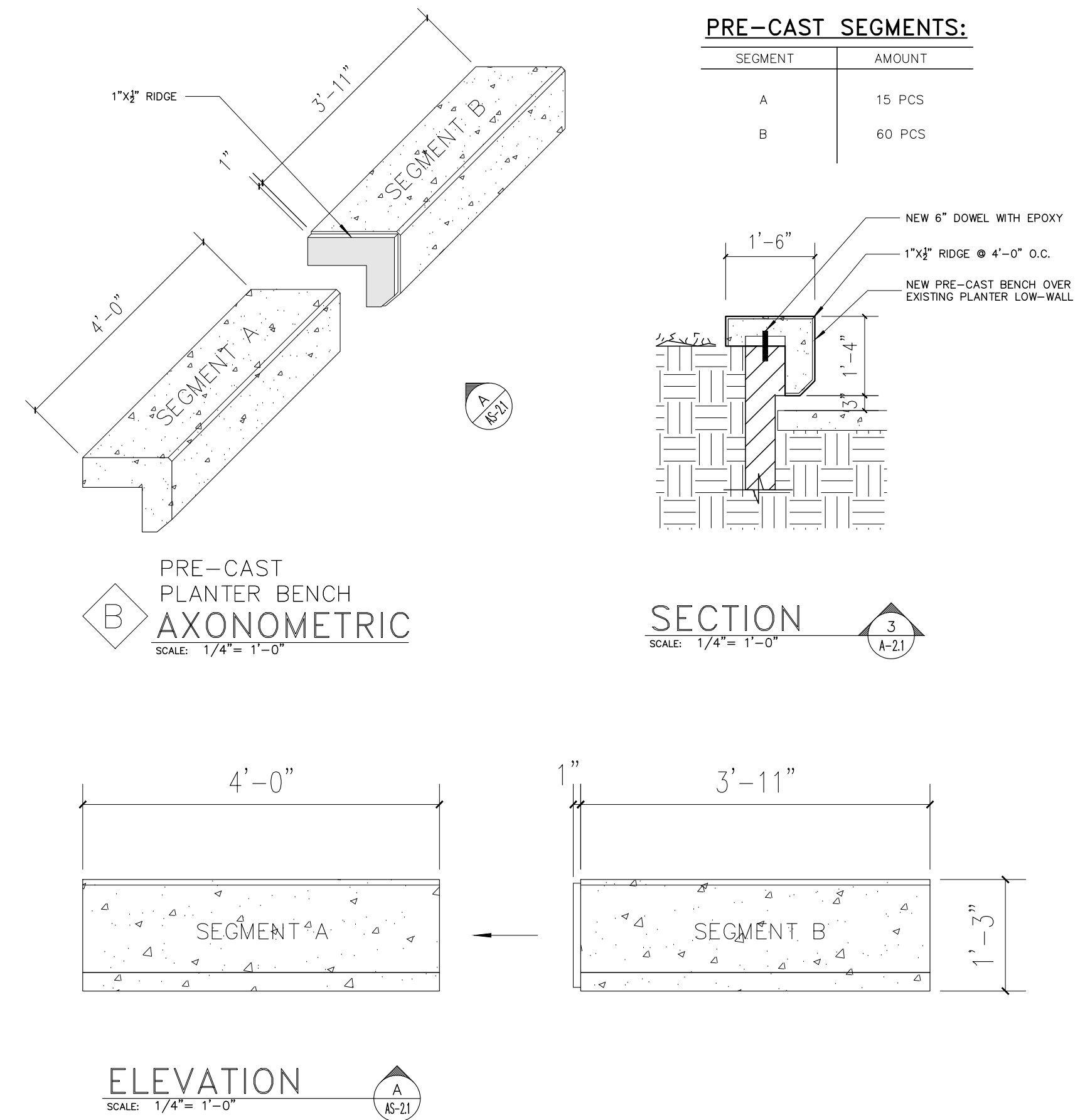
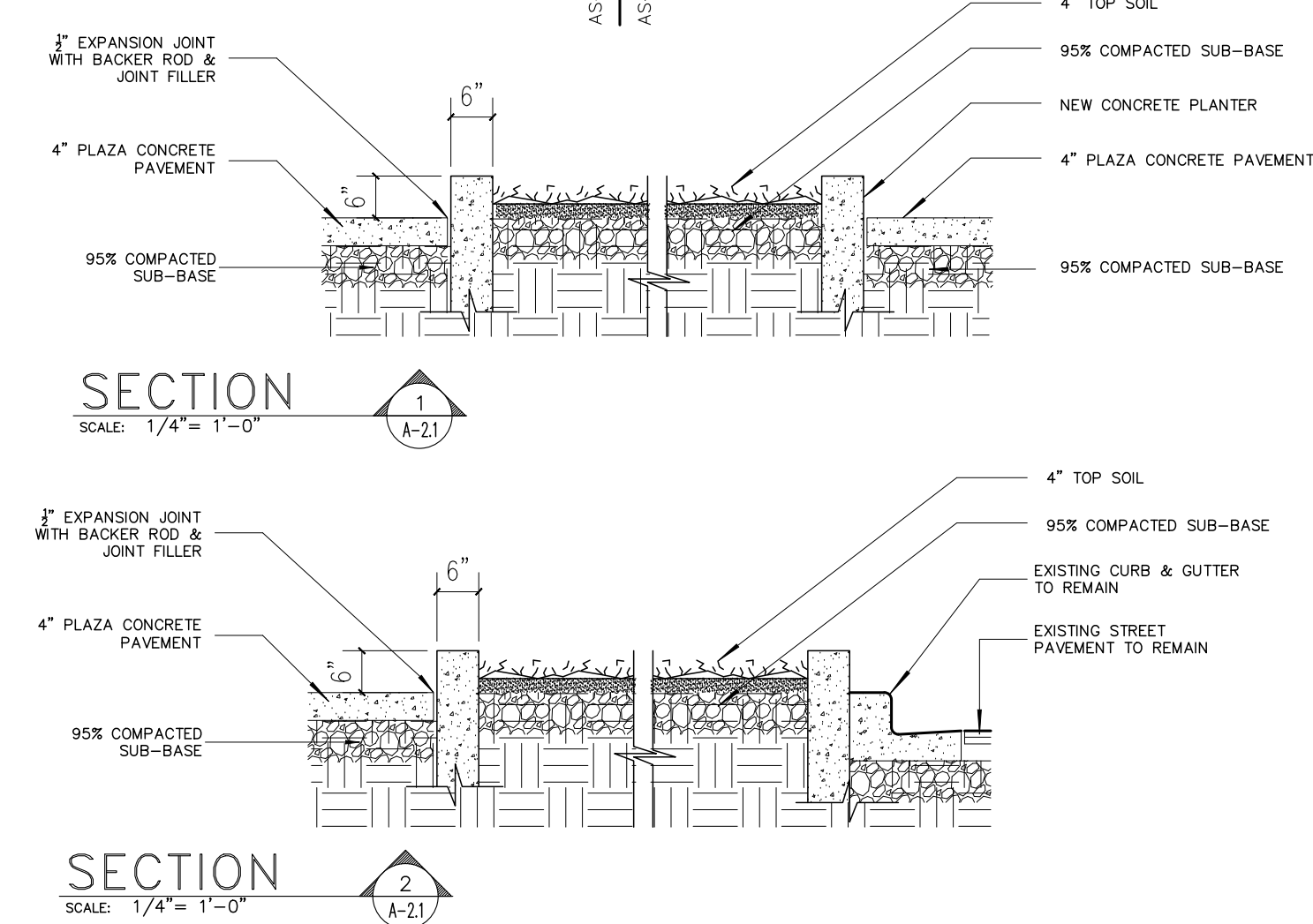
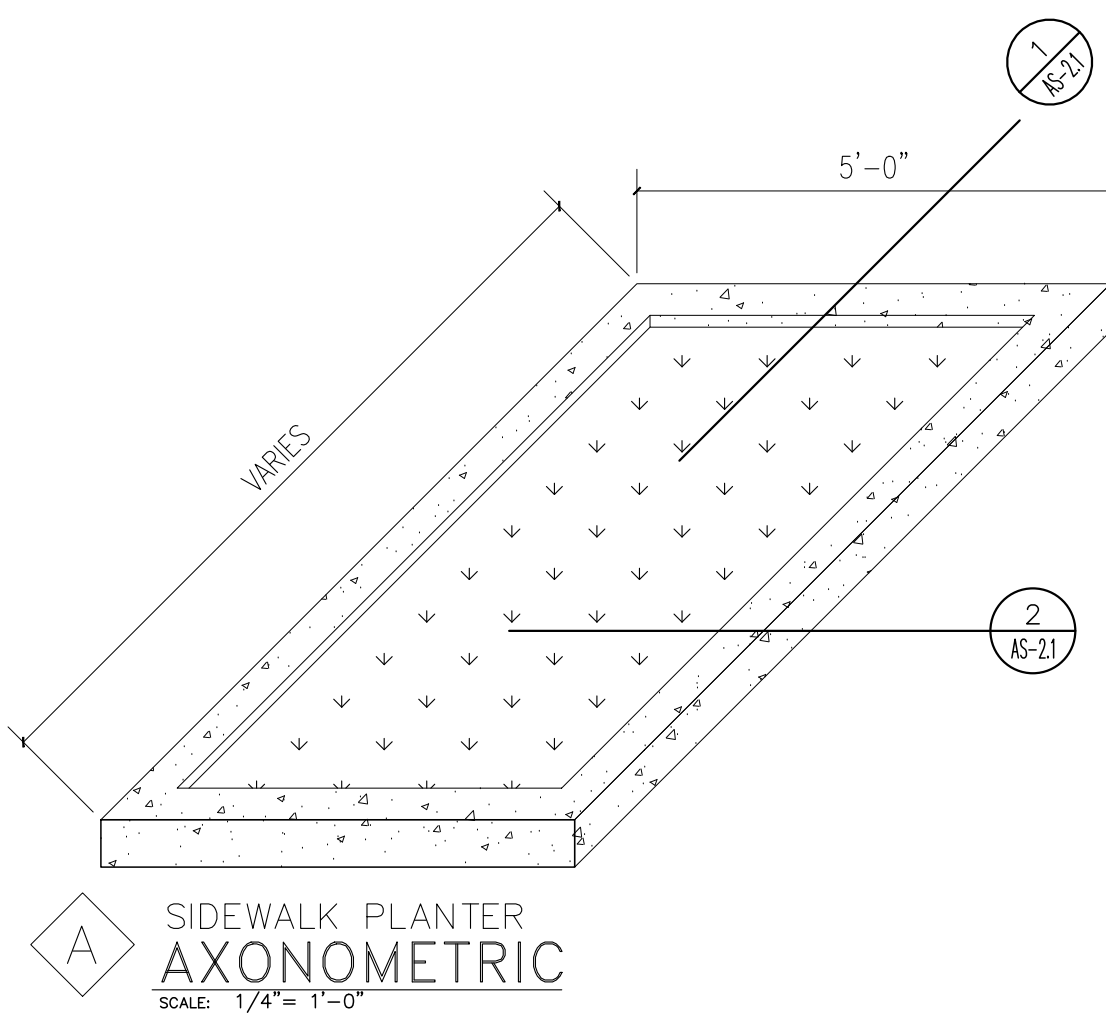
PLAZA DEL PILAR PROPOSED SITE PLAN
SCALE: 1: 250

LEGEND:

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
◇	ANNOTATION MARKER	▨	NEW EXPOSED AGGREGATE PAVEMENT
○	DETAIL MARKER		
⊖	SECTION MARKER		
⊙	NEW TRASH RECEPTACLE		
□	NEW BIKE RACKS		
○	NEW BOLLARDS		
▬	NEW DOG WASTE STATION		

NOTES:

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H B

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OWNER
AUTONOMOUS MUNICIPALITY OF SAN JUAN

PROJECT

IMPROVEMENTS OF "PLAZA DE LA CONVALESCENCIA" AND "PLAZA DEL PILAR"

DRAWING NAME

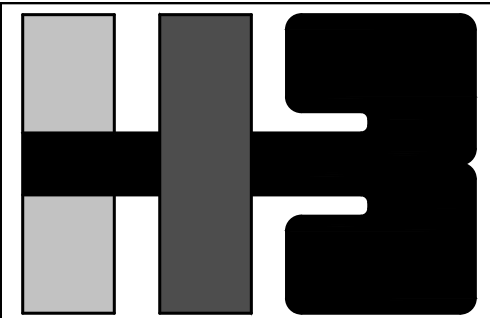
PROPOSED SITE PLAN (FIRST PORTION)

COMPUTER PLOT

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NO.	DATE	REVISION	BY	APPROVED
1	3/1/24		L.R.	L.H.

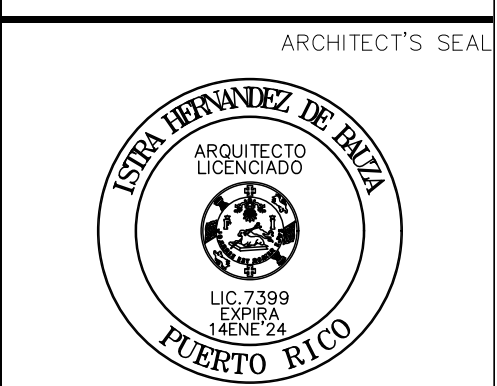
PROJECT	
DRAWING BY/CHECKED BY	
LRC	I.H.
NUMBER	TOTAL
13	62
DRAWING NUMBER	
AS-2.1	



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PROJECT
 IMPROVEMENTS OF "PLAZA DE LA CONVALESCENCIA" AND "PLAZA DEL PILAR"

DRAWING NAME
 BLOW-UP PLANS, SECTIONS & DETAILS

COMPUTER PLOT
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PROJECT	
DRAWING BY/CHECKED BY	
LRC	I.H.

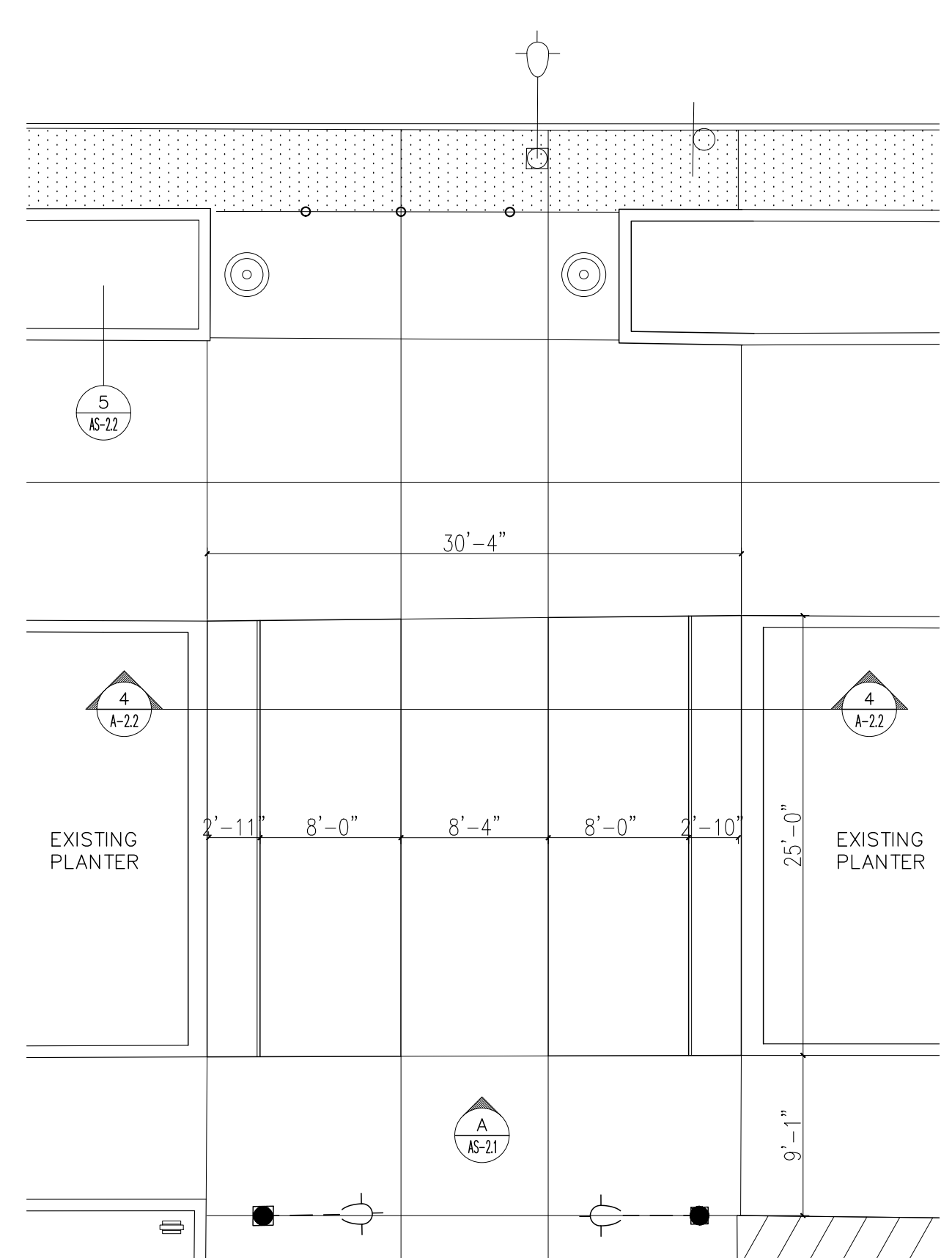
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14	62

DRAWING NUMBER
AS-2.2

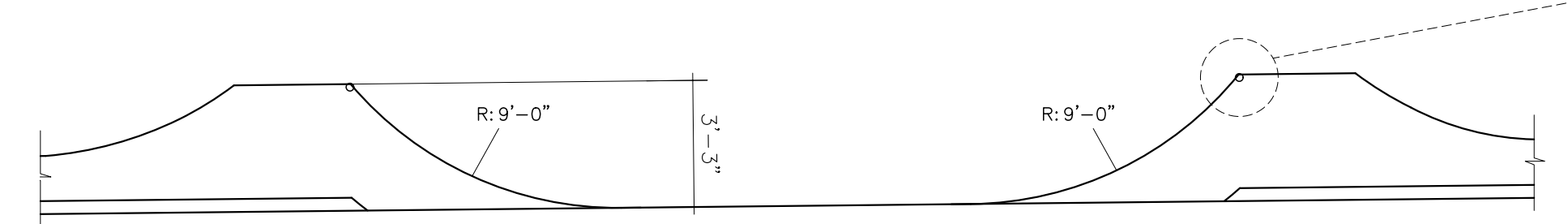
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SYMBOL	DESCRIPTION
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	DETAIL MARKER
	SECTION MARKER
	NEW TRASH RECEPTACLE
	NEW BIKE RACKS
	NEW BOLLARDS
	NEW DOG WASTE STATION

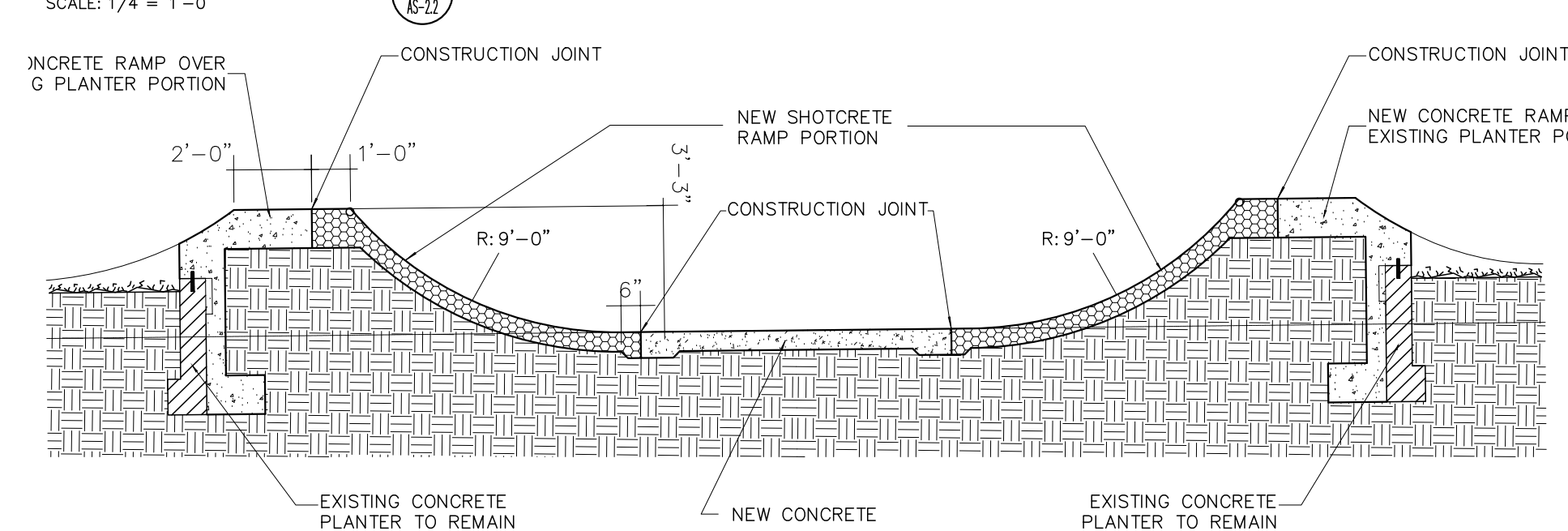
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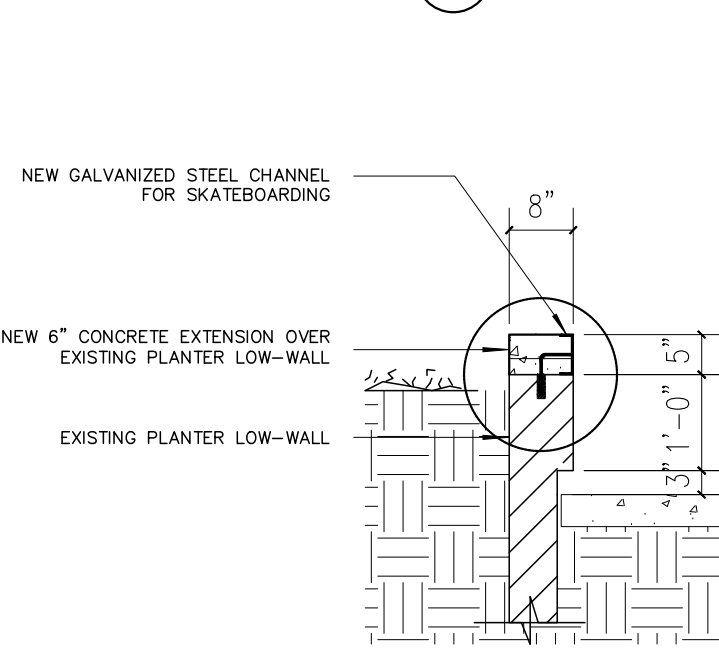
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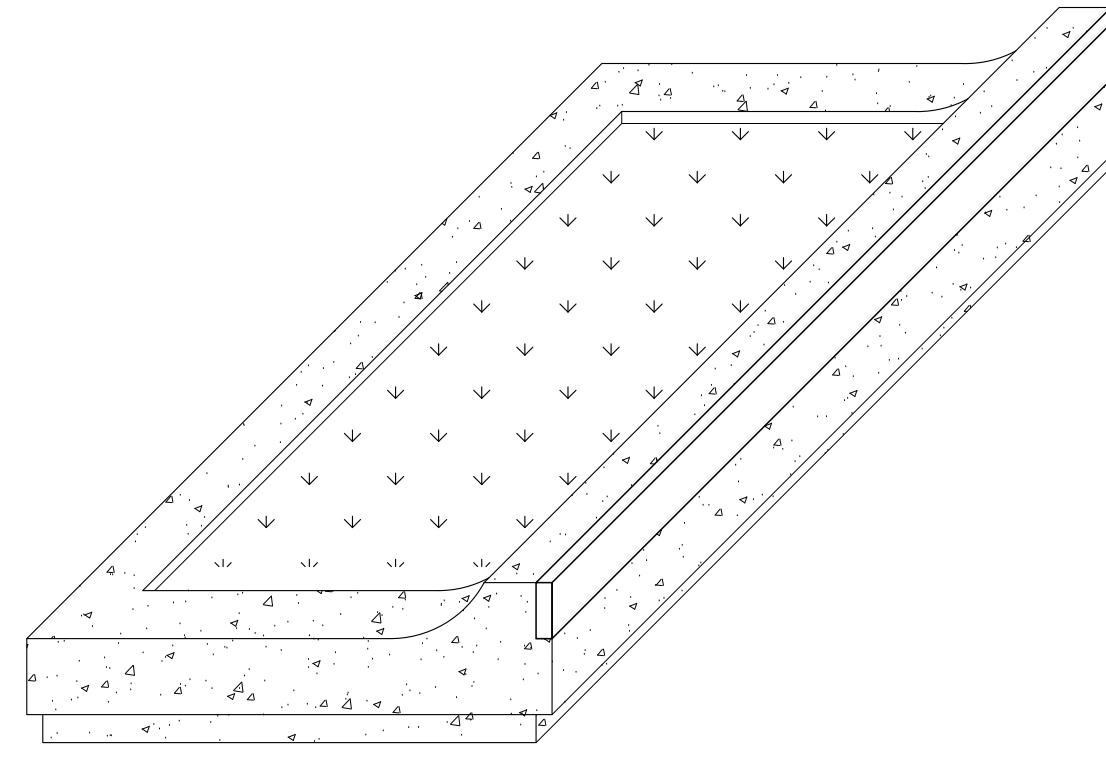
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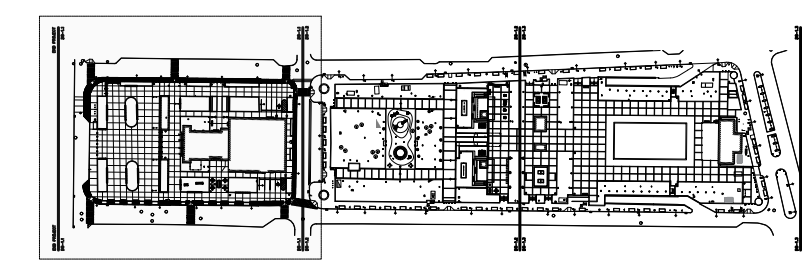
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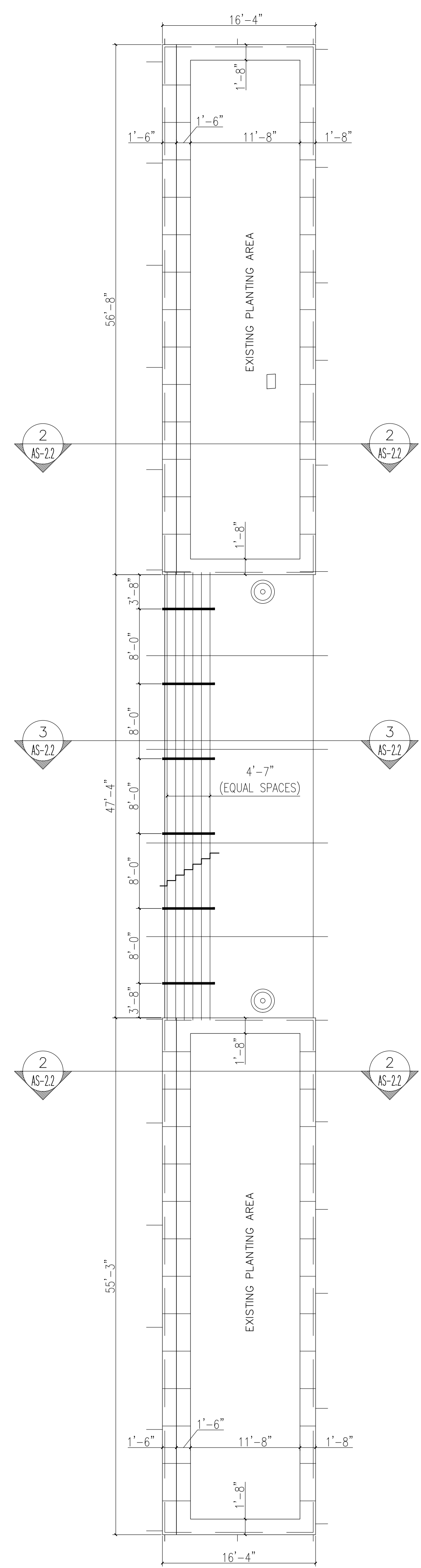
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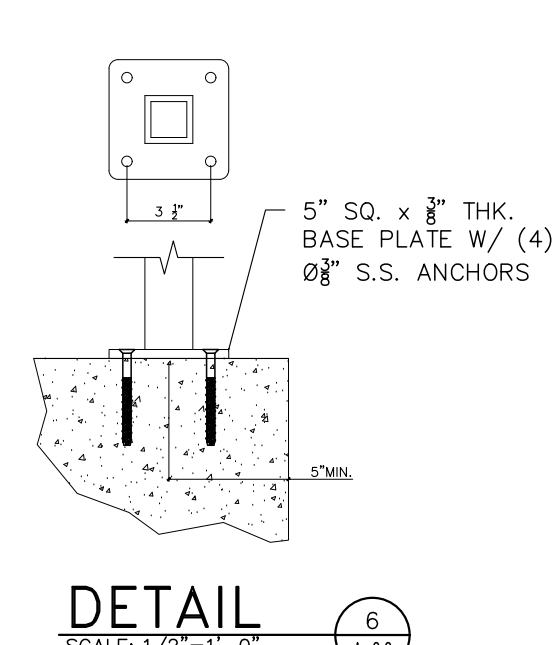
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 SCALE: 1/2" = 1'-0"



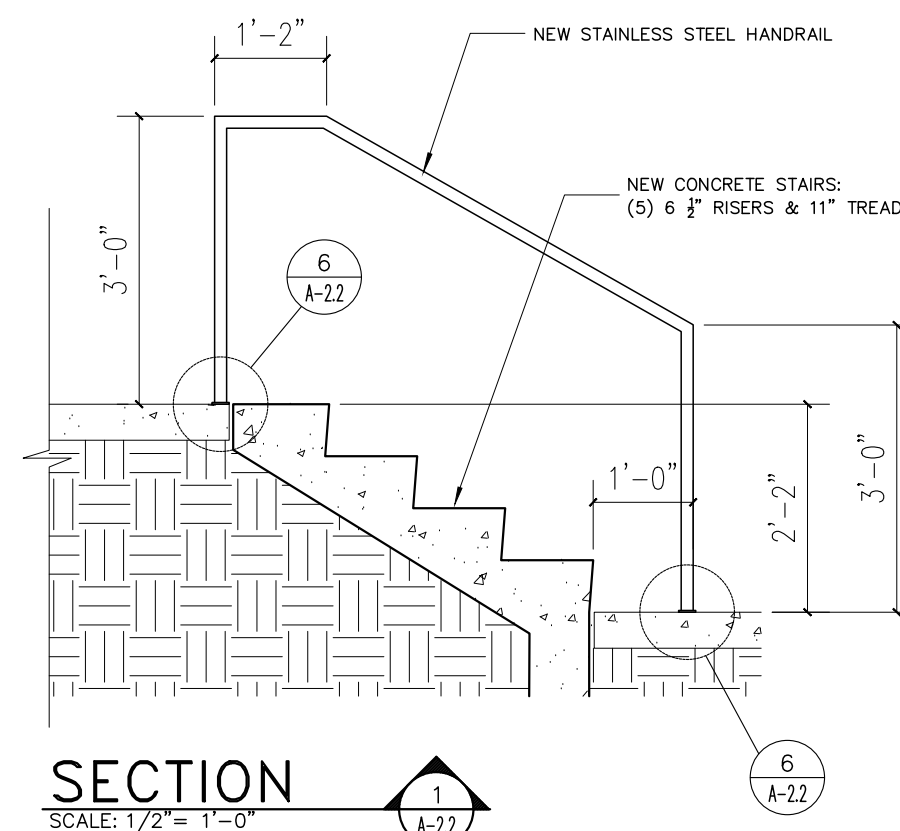
* NOTE: FOR ALL NEW CONCRETE WORK, PLEASE REFER TO STRUCTURAL DWG'S IN SECTION S-1.0 TO S-2.2



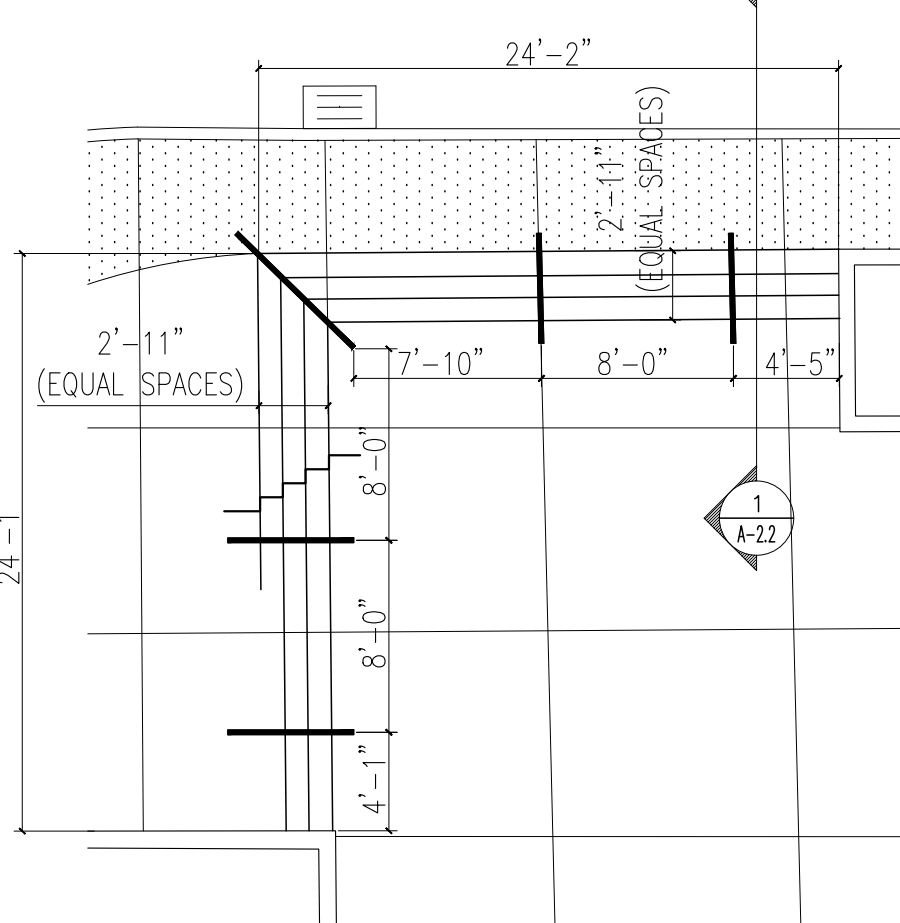
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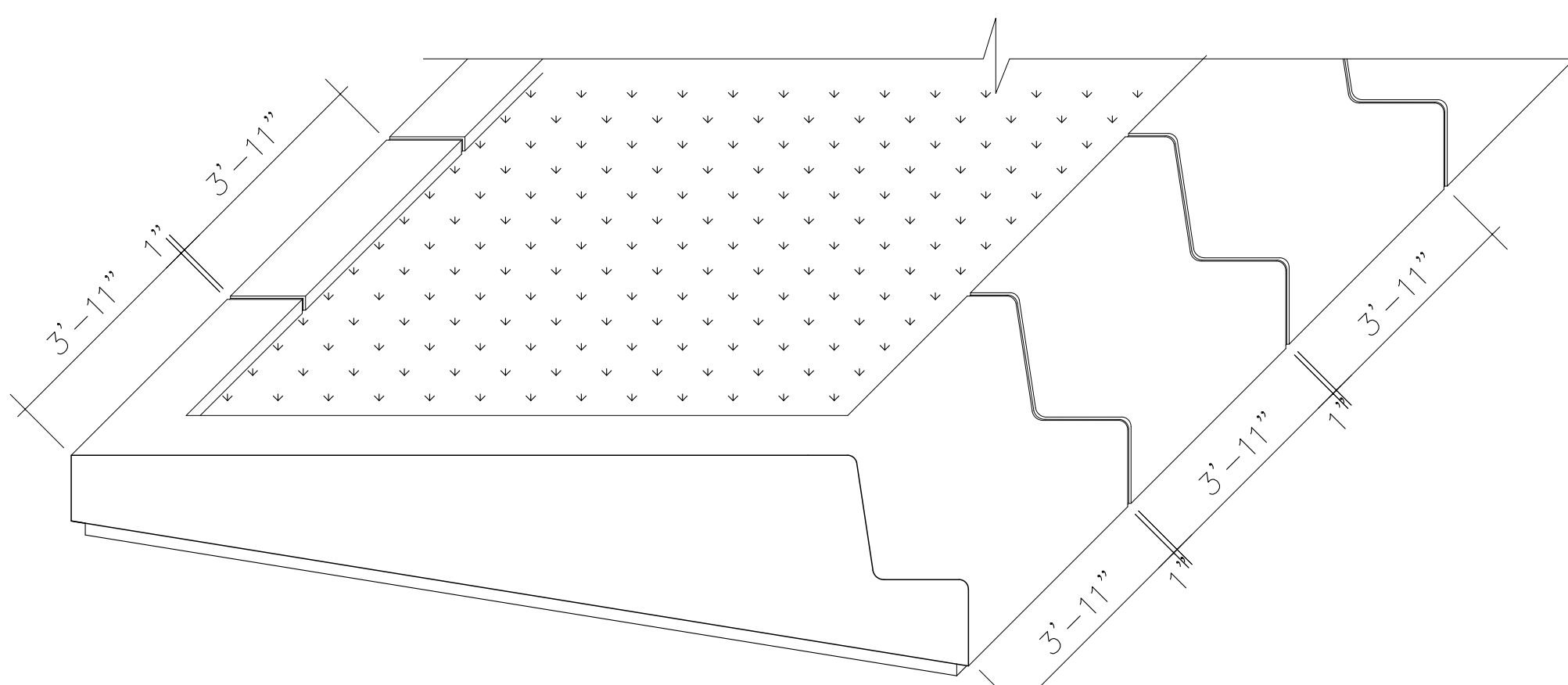
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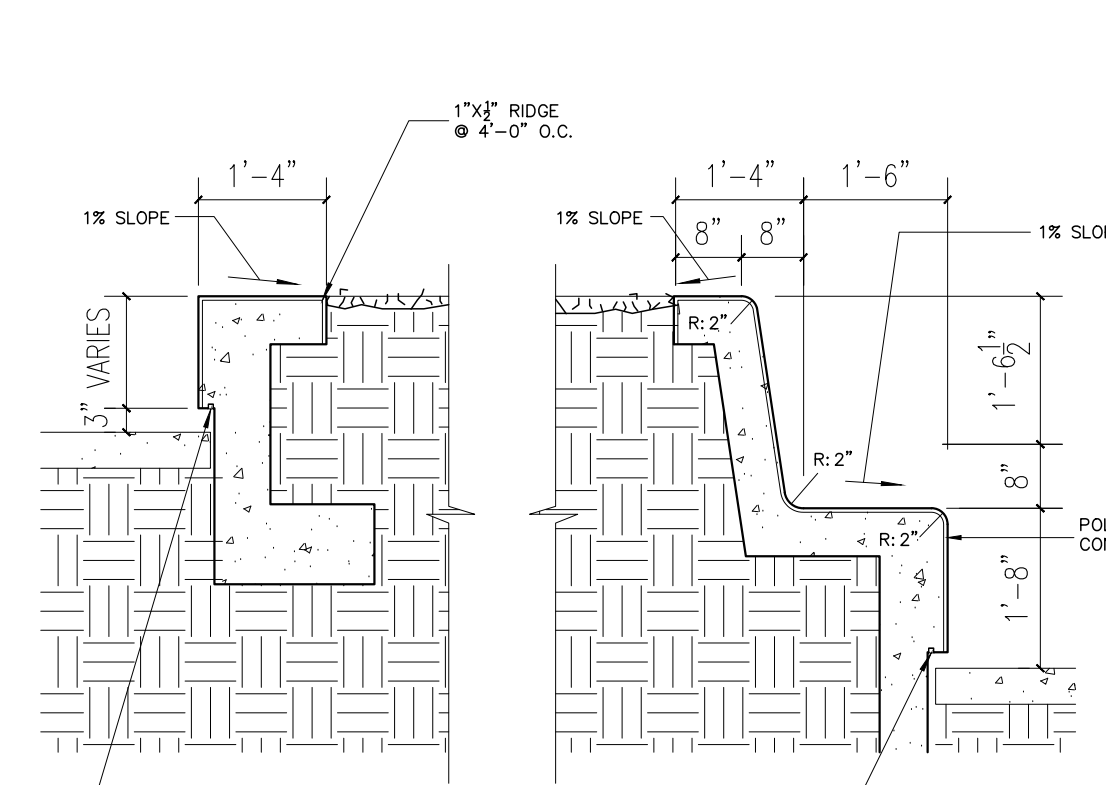
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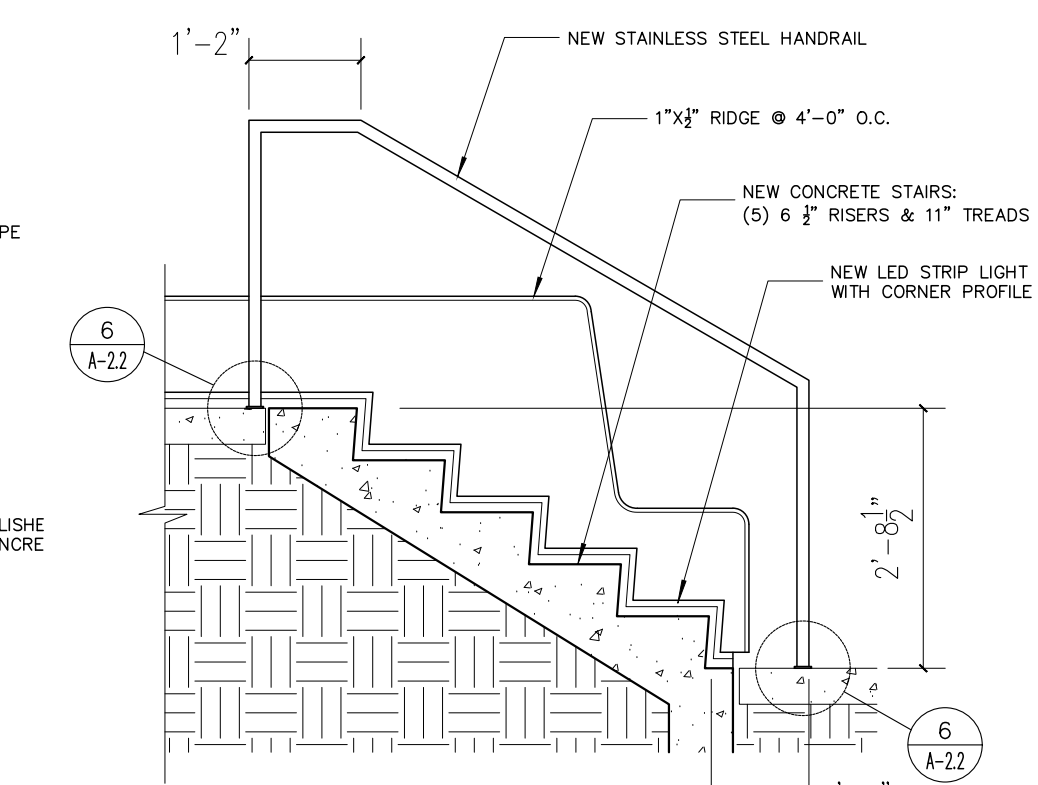
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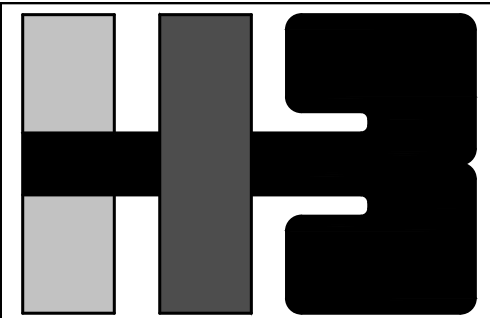
AXONOMETRIC
 SCALE: 3/4" = 1'-0"



SECTION
 SCALE: 1/2" = 1'-0"



SECTION
 SCALE: 1/2" = 1'-0"



**HERNANDEZ-BAUZA
PSC, ARCHITECTS**

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PROJECT
IMPROVEMENTS OF "PLAZA
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AND "PLAZA DEL PILAR"

DRAWING NAME
BLOW-UP PLANS,
SECTIONS & DETAILS

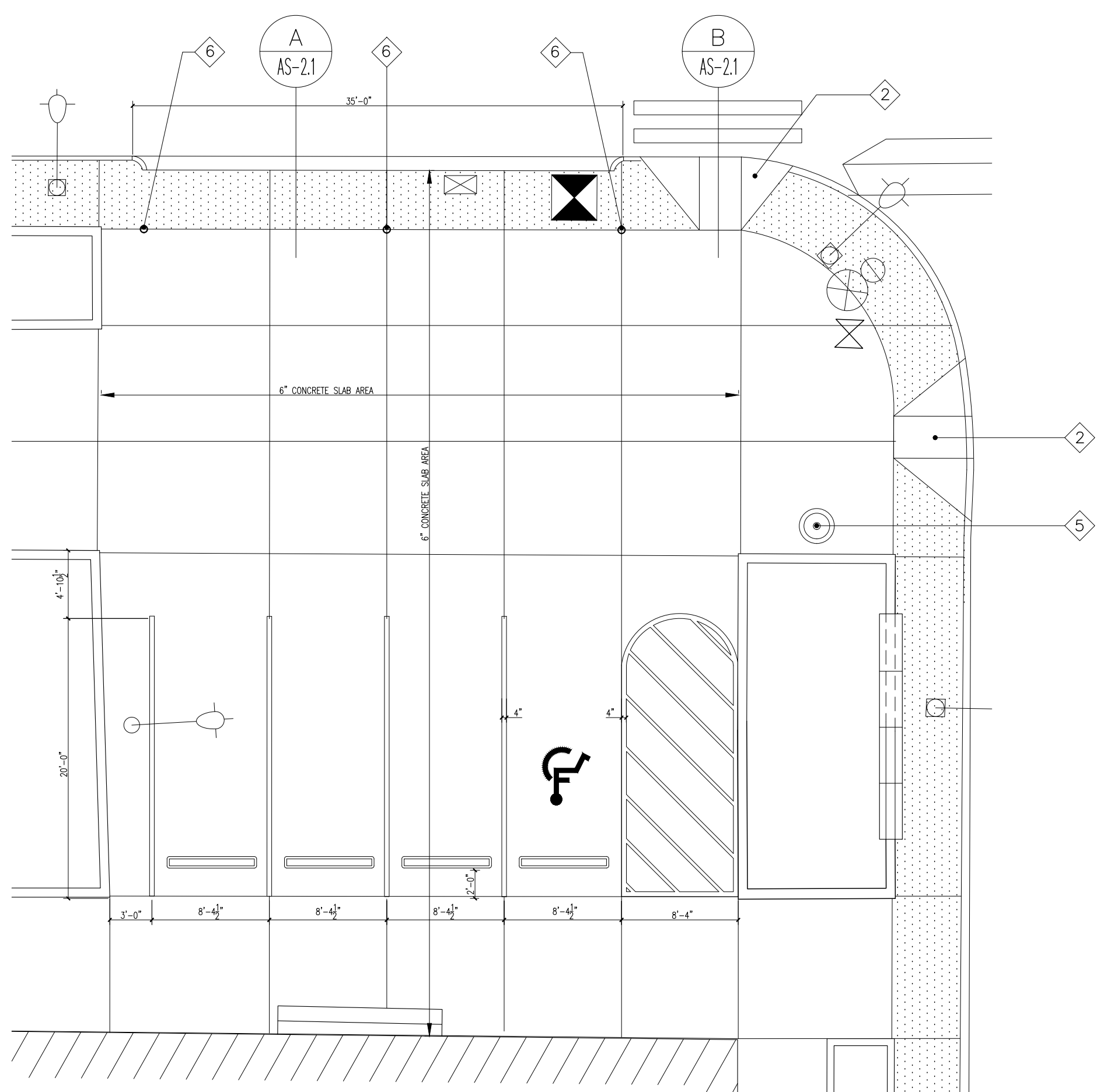
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1	3/1/24		L.R.	L.H.

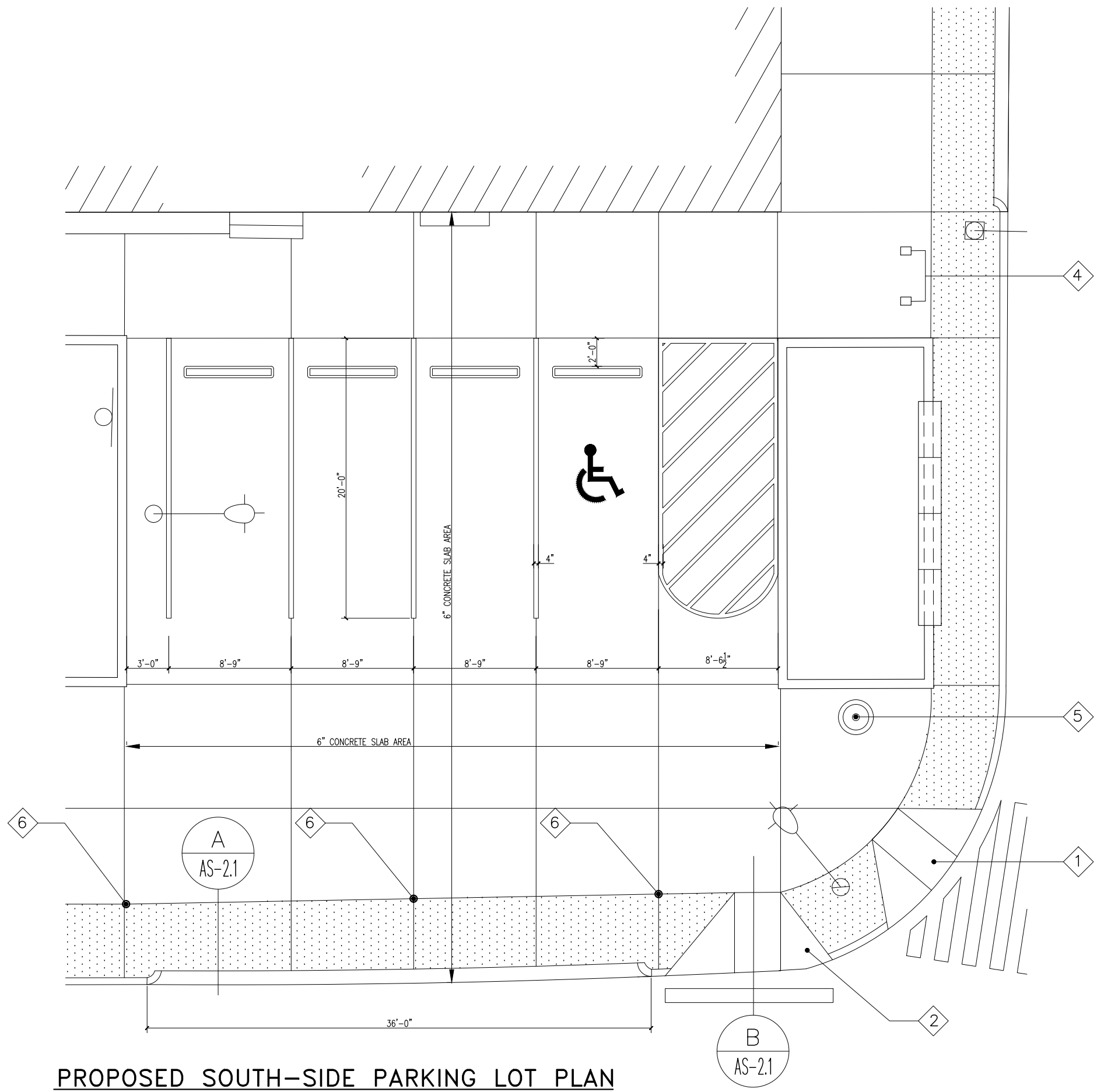
PROJECT
DRAWING BY/CHECKED BY
L.R. I.H.

NUMBER TOTAL
15 62

DRAWING NUMBER
AS-2.3



PROPOSED NORTH-SIDE PARKING LOT PLAN
SCALE: 1/8" = 1'-0"

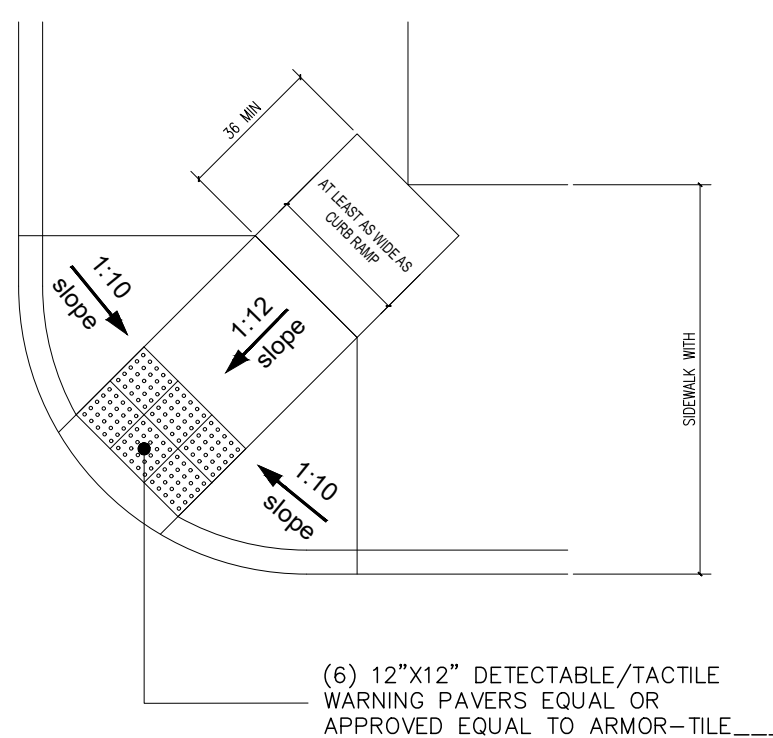


PROPOSED SOUTH-SIDE PARKING LOT PLAN
SCALE: 1/8" = 1'-0"

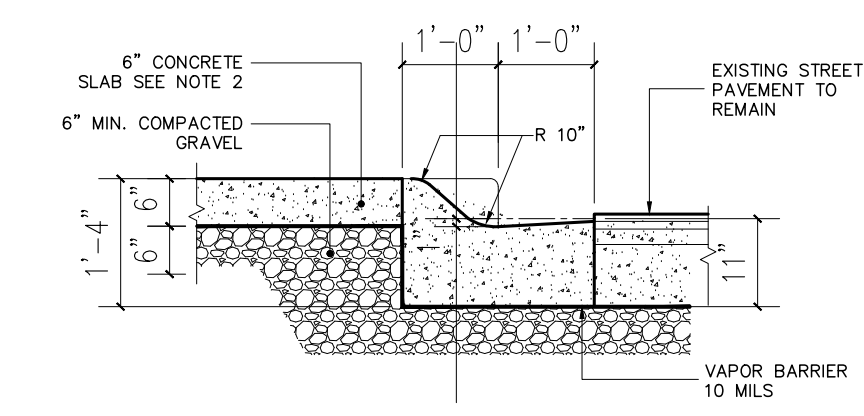
LEGEND:

SYMBOL	DESCRIPTION
◇	ANNOTATION MARKER
○	DETAIL MARKER
△	SECTION MARKER
○	NEW TRASH RECEPTACLE
□	NEW BIKE RACKS
○	NEW BOLLARDS
≡	NEW DOG WASTE STATION

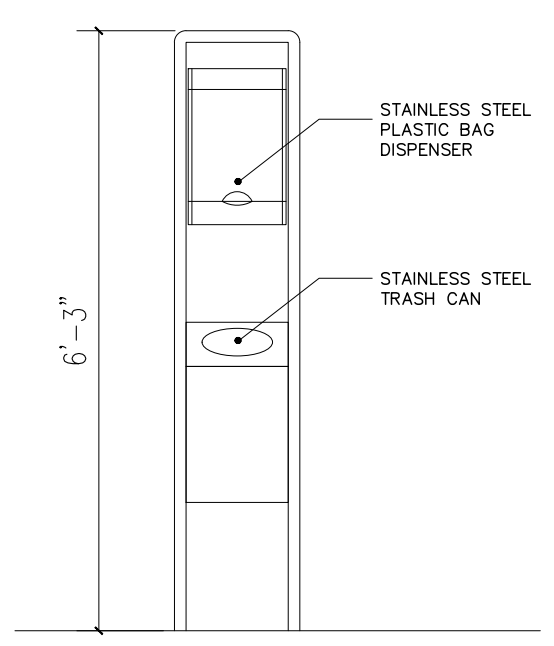
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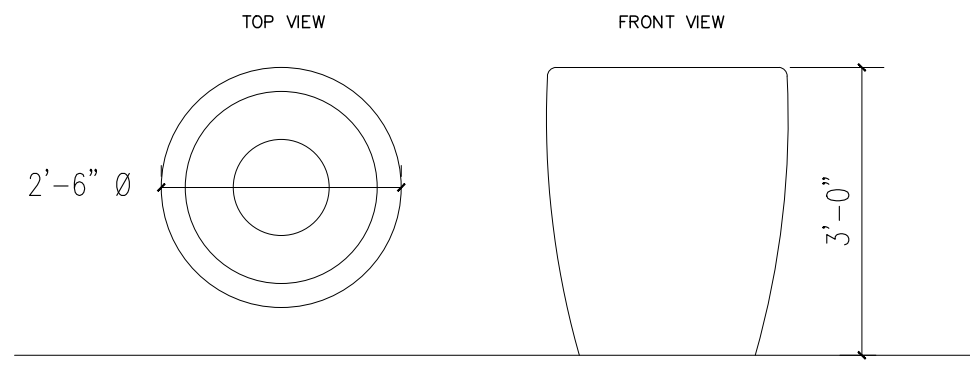
1 ADA RAMP ALTERNATE I
SCALE: 1/4" = 1'-0"



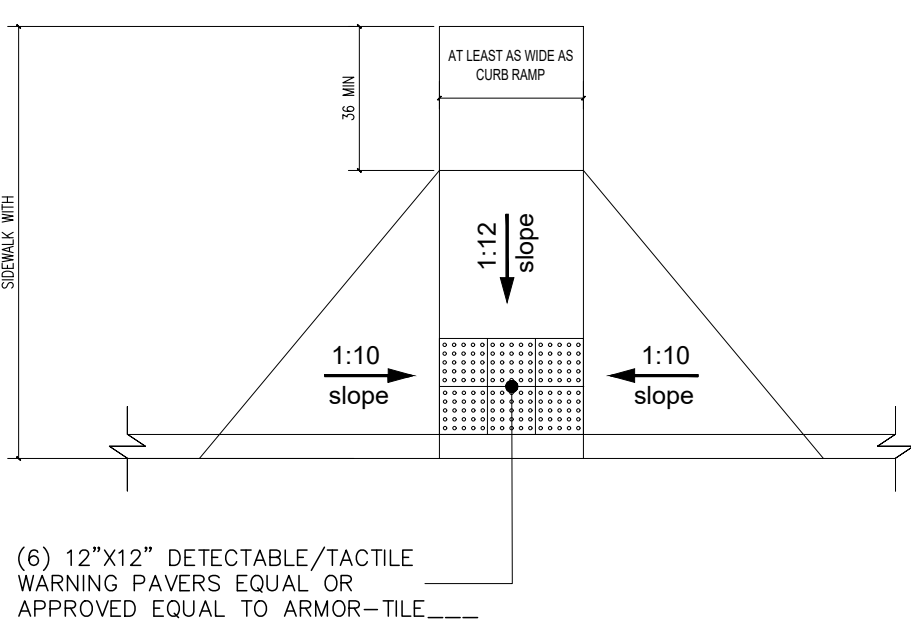
A MOUNTABLE CURB DETAIL
SCALE: 1/4" = 1'-0"



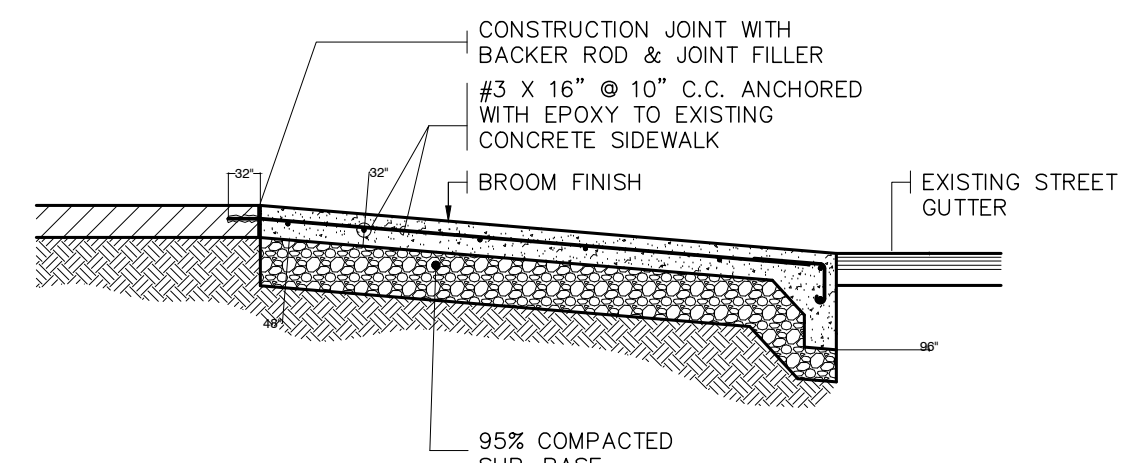
3 DOG WASTE STATION
SCALE: 1/4" = 1'-0"



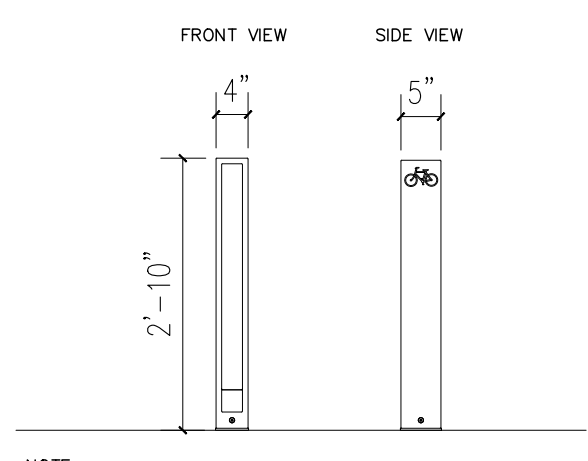
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SCALE: 1/4" = 1'-0"



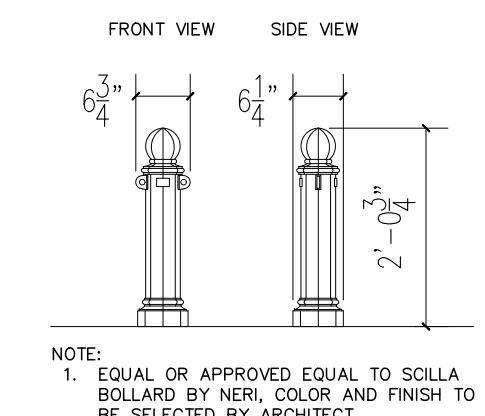
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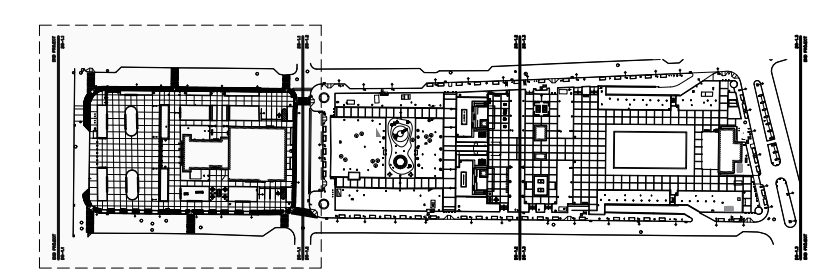
B ADA RAMP DETAIL
SCALE: 1/4" = 1'-0"



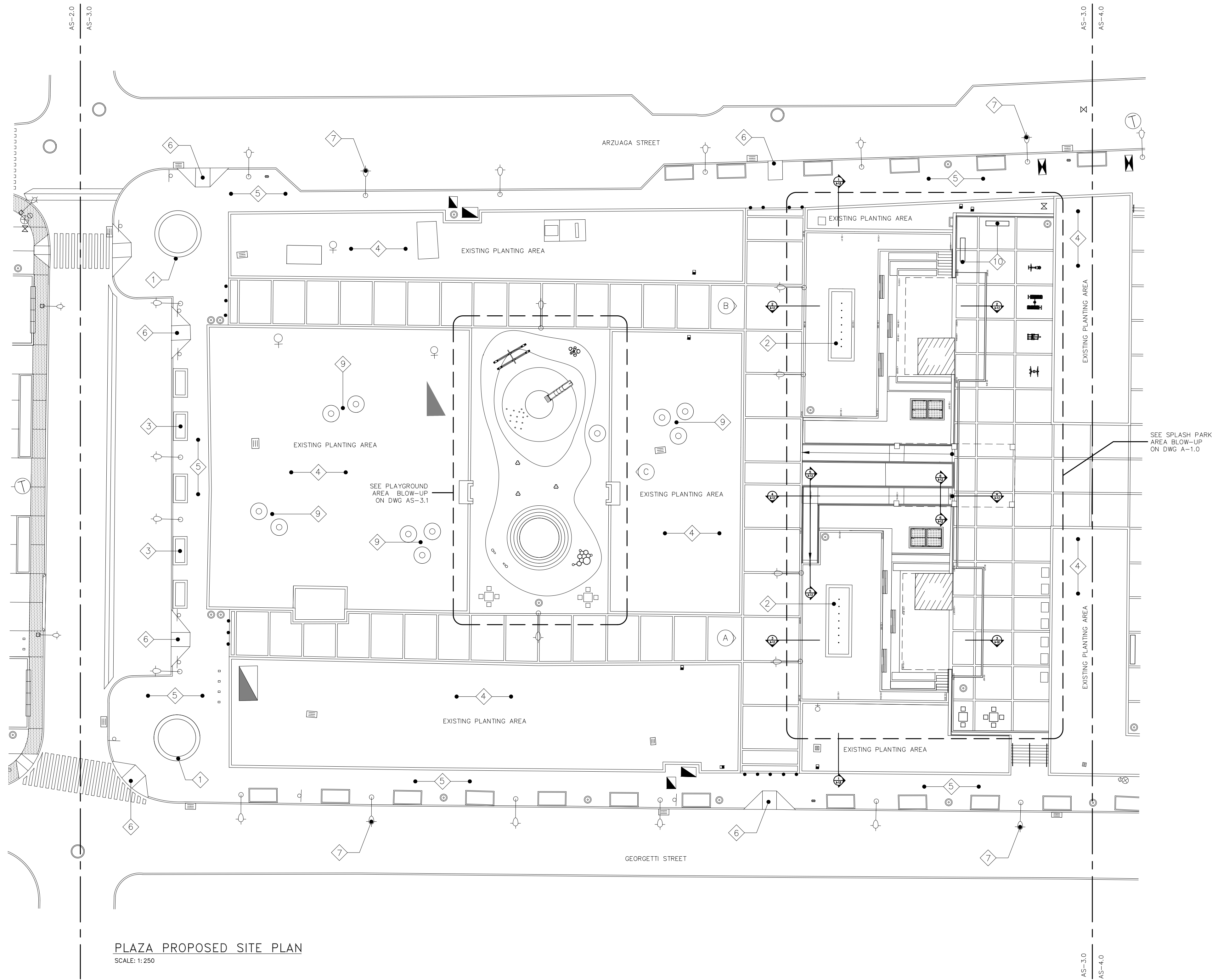
4 BIKE RACK
SCALE: 1/4" = 1'-0"



6 BOLLARD
SCALE: 1/4" = 1'-0"



KEY MAP



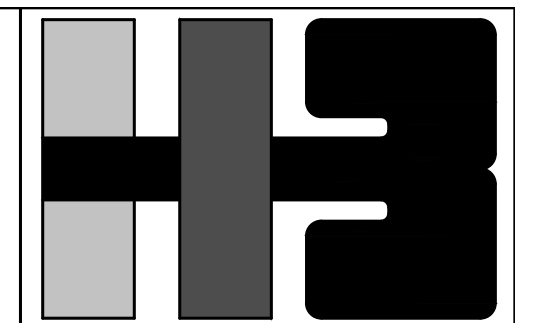
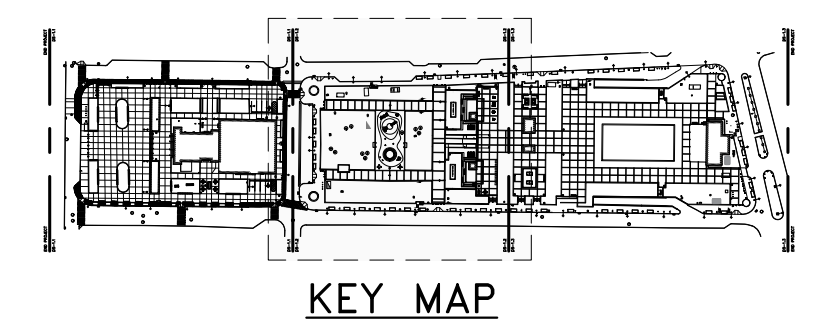
PLAZA PROPOSED SITE PLAN
SCALE: 1:250

LEGEND:

SYMBOL	DESCRIPTION
◇	ANNOTATION MARKER
○	DETAIL MARKER
△	SECTION MARKER
○	NEW TRASH RECEPTACLE
□	NEW BIKE RACKS
○	NEW BOLLARDS
■	NEW DOG WASTE STATION

ANNOTATIONS:

- 1 EXISTING WATER FOUNTAIN TO BE REPAIRED & RENEWED. MARBLE SLAB TO BE CLEANED & SEALED. INTERIOR FOUNTAIN MUST BE CLEANED & SEALED. FOR NEW MECHANICAL WORK SEE DWG ----
- 2 NEW INTERACTIVE WATER FOUNTAIN AREA SEE DWG A-1.0 FOR DETAILS
- 3 INSTALL MISSING GRANITE PLANTER CURB (TO MATCH EXISTING).
- 4 NEWLY LANDSCAPED PLANTER AREA SEE DWG----
- 5 ALL EXISTING CONCRETE SURFACE MUST BE CLEANED BY PRESSURE (2000 PSI MAX)
- 6 ALL EXISTING CONCRETE HANDICAPPED ADA RAMPS TO BE CLEANED & REPAINTED.
- 7 ALL EXISTING LIGHT POLES & LUMINARIES TO BE CLEANED & REPAINTED ACCORDING TO SECTION 05100 (RESTORATION OF METALS) & 099600 (HIGH PERFORMANCE COATING)
- 8 ALL EXISTING RAILINGS & GUARDRAILS TO BE CLEANED & PAINTED ACCORDING TO TECH SPEC SECTION 05100 (RESTORATION OF METALS)
- 9 NEW PEBBLE CONCRETE FURNITURE EQUAL OR SIMILAR TO CONFETI BENCH BY MAGOURBAN
- 10 NEW BENCH EQUAL OR APPROVED EQUAL TO BE-27 BY 713 PRECAST.
- 11 NEW BIKE RACKS. SEE DETAILS ON DWG AS-2.3
- 12 NEW TRASH RECEPTACLE. SEE DETAILS IN DWG AS-2.3
- 13 NEW DOG WASTE STATION. SEE DETAILS ON DWG AS-2.3



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CLIENT
MANAGER
DEPT. OF URBAN DESIGN AND PROJECT DEVELOPMENT, MASJ.

OWNER
AUTONOMOUS MUNICIPALITY OF SAN JUAN

PROJECT
IMPROVEMENTS OF "PLAZA DE LA CONVALECENCIA" AND "PLAZA DEL PILAR"

DRAWING NAME
PROPOSED SITE PLAN (SECOND PORTION)

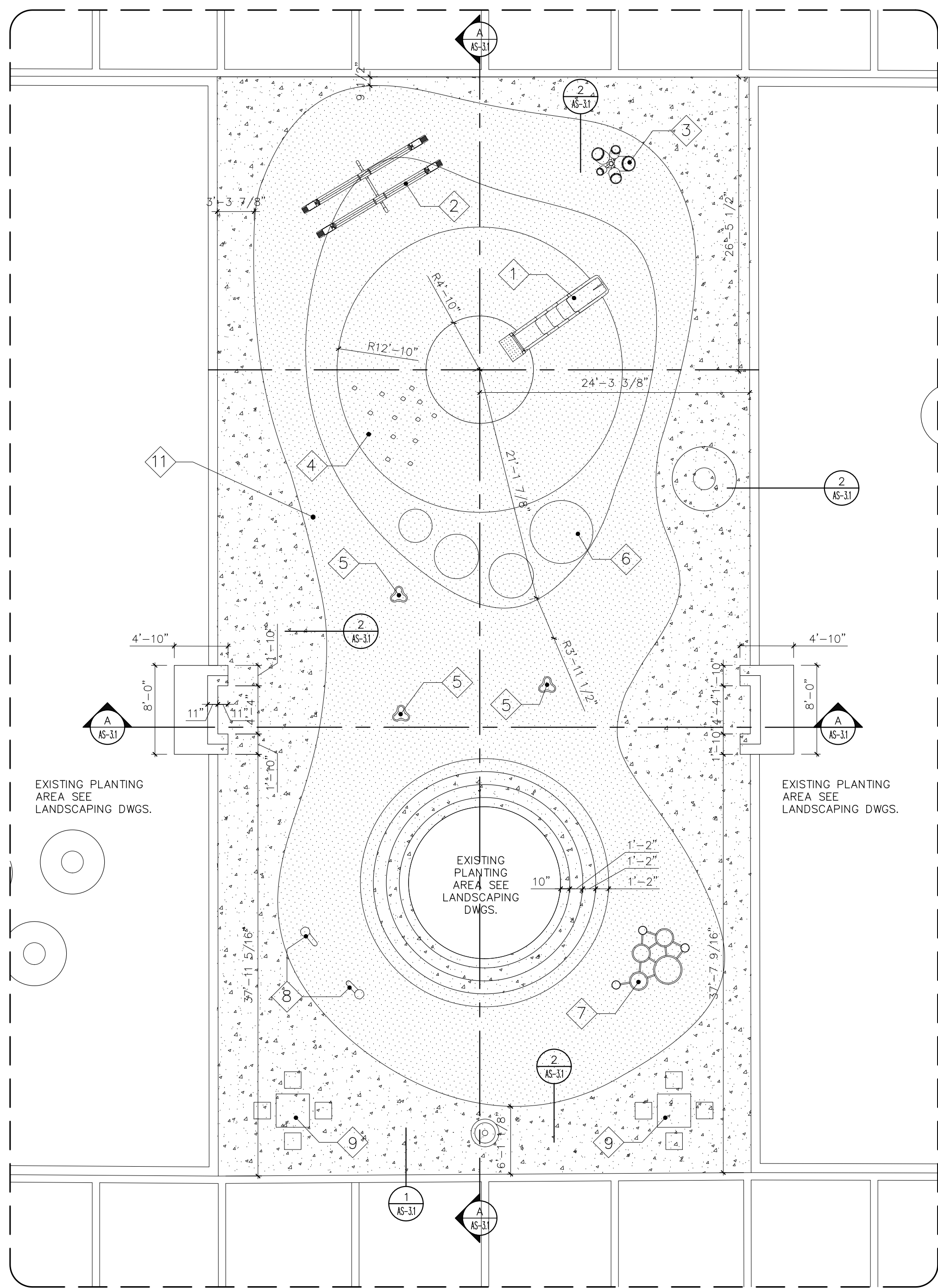
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NO.	DATE	REVISION	BY	APPROVED
1	3/1/24		L.R.	L.H.

PROJECT
DRAWING BY/CHECKED BY
JDD I.H.

NUMBER	TOTAL
16	62

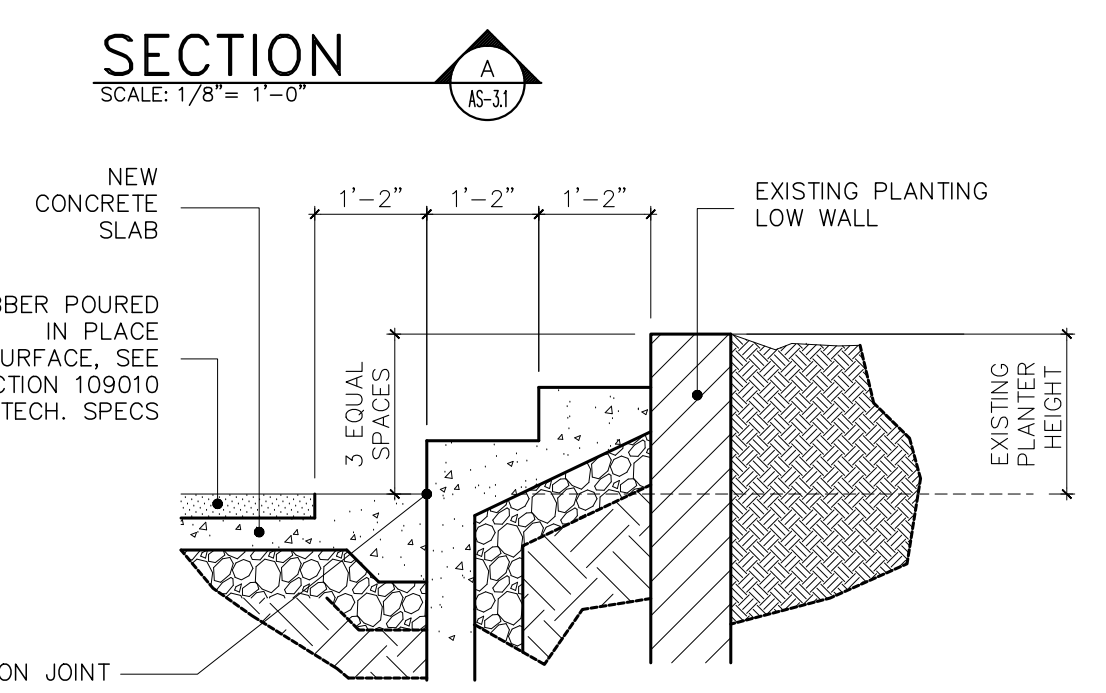
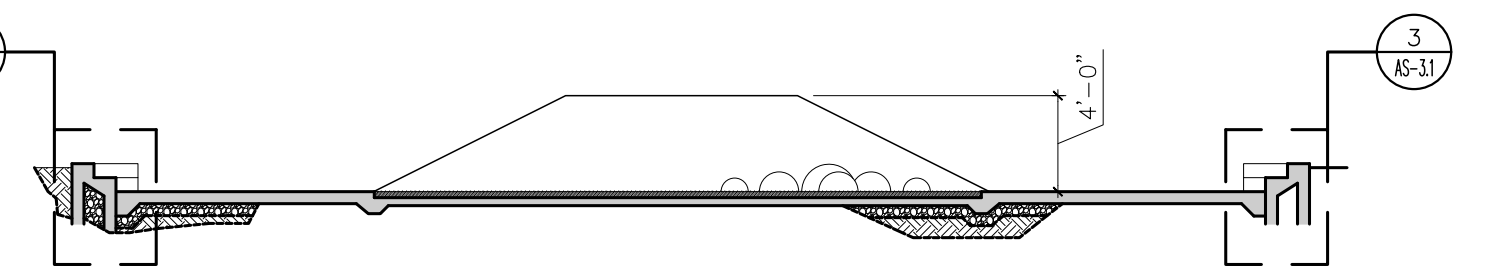
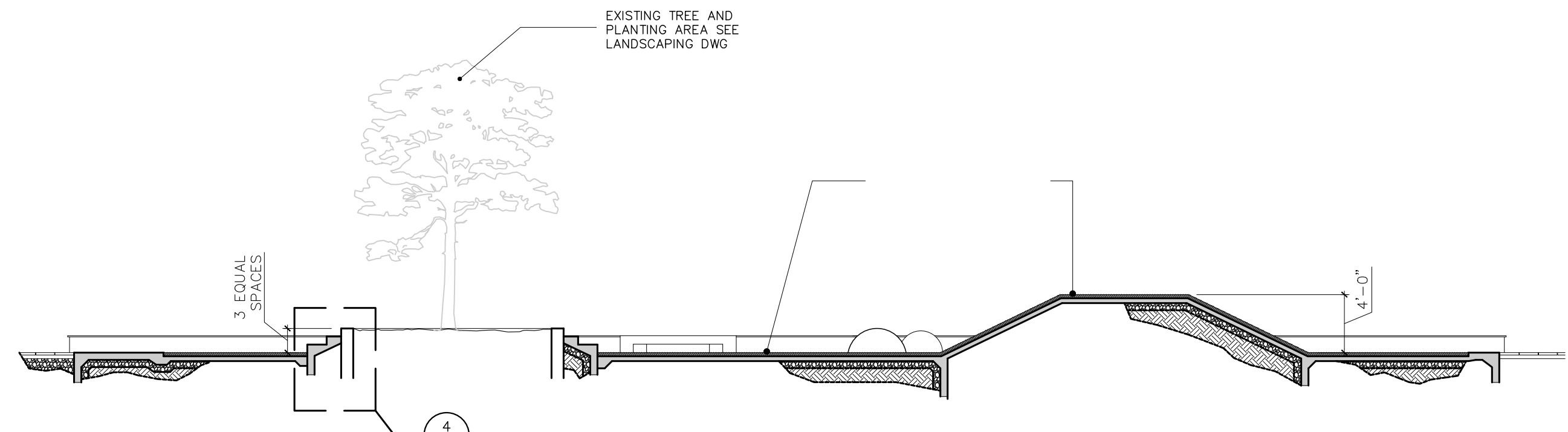
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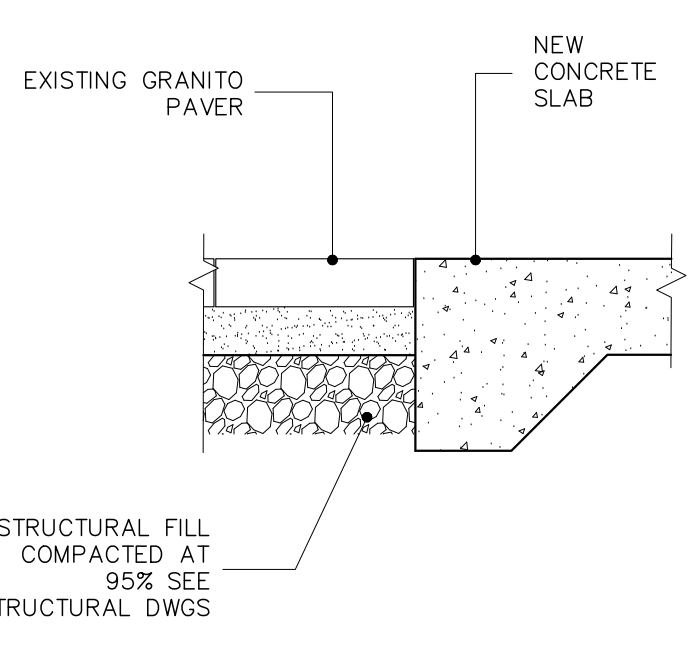
PROPOSED PLAYGROUND PLAN
SCALE: 1/8" = 1'-0"

PLAYGROUND EQUIPMENT LEGEND

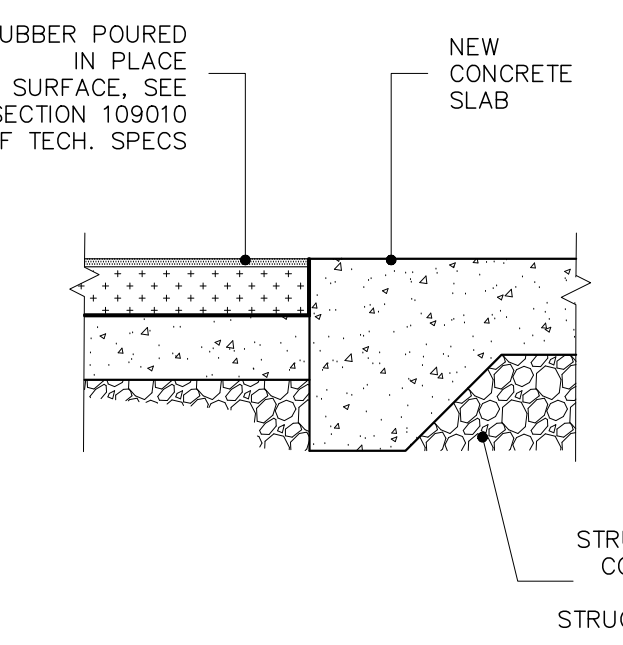
- 1 NEW SLIDE EQUAL OR APPROVE EQUAL TO TIMBERFORM MODEL NO. 1650-51-EMB EMBANKMENT SLIDE CHUTE BY COLUMBIA CASCADE COMPANY
- 2 REINSTALL EXISTING SEESAW BY PLAYWORLD SYSTEMS, PROPERTY OF MASJ
- 3 NEW DRUMTREE EQUAL OR APPROVED EQUAL TO TIMBERFORM MODEL NO. 3841-02-P
- 4 NEW CLIMBING HOLDS EQUAL OR APPROVED EQUAL TO 24 CLASSIC KIDS PLAYGROUND PACK HOLDS BY ATOMIK CLIMBING HOLDS
- 5 NEW SADDLE SPINNER MODEL #152179 EQUAL OR APPROVED EQUAL BY LANDSCAPE STRUCTURES
- 6 NEW RUBBER HALF BALLS EPDM EQUAL OR APPROVED EQUAL BY EUROFLEX
- 7 REINSTALL EXISTING CLIMBING TREE BY PLAYWORLD SYSTEMS, PROPERTY OF MASJ
- 8 NEW TALK TUBES EQUAL OR APPROVED EQUAL TO CHATTER NOODLE MODEL #156453 BY LANDSCAPE STRUCTURES
- 9 REINSTALL EXISTING CONCRETE DOMINO TABLES AND CHAIRS, PROPERTY OF MASJ
- 10 NEW CONCRETE SURFACE
- 11 RUBBER POURED IN PLACE SURFACE, SEE SECTION 109010 OF TECH. SPECS
- 12 NEW CONCRETE TRASH RECEPTACLE SEE NOTE 3 OF URBAN FURNITURE ON DWG AS-2.0



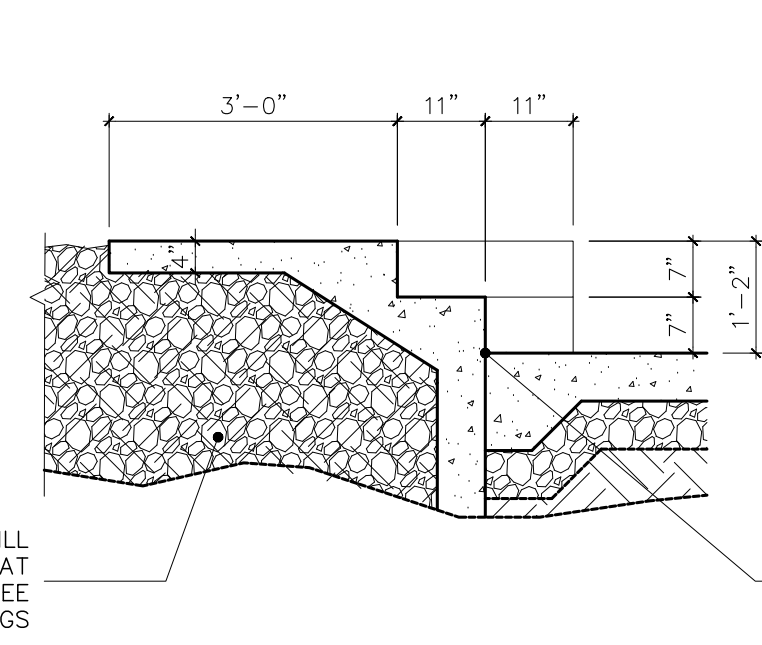
DETAIL
SCALE: NTS



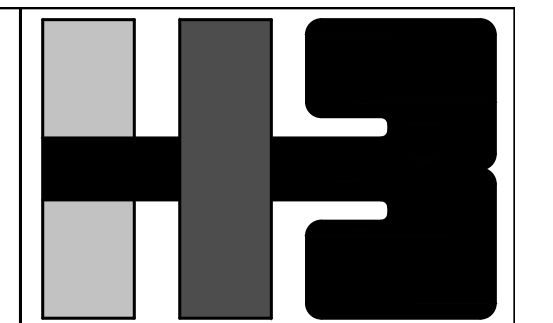
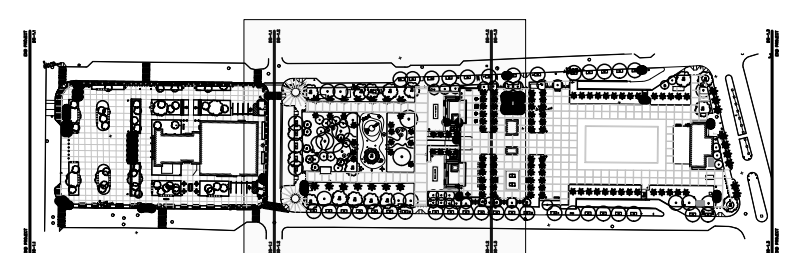
DETAIL
SCALE: NTS



DETAIL
SCALE: NTS



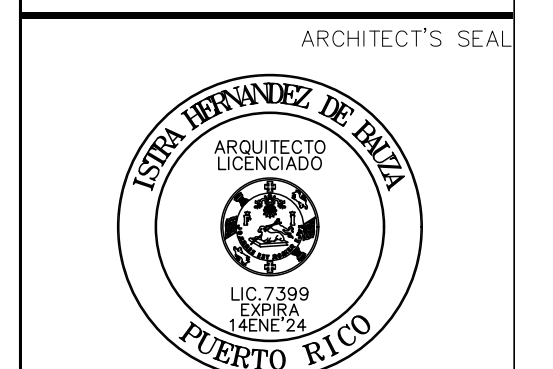
DETAIL
SCALE: NTS



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LICENSE NO. 7399

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CLIENT
MANAGER
DEPT. OF URBAN DESIGN AND PROJECT DEVELOPMENT, MASJ.

OWNER
AUTONOMOUS MUNICIPALITY OF SAN JUAN

PROJECT
IMPROVEMENTS OF "PLAZA DE LA CONVALESCENCIA" AND "PLAZA DEL PILAR"

DRAWING NAME
BLOW-UP PLANS, SECTIONS & DETAILS

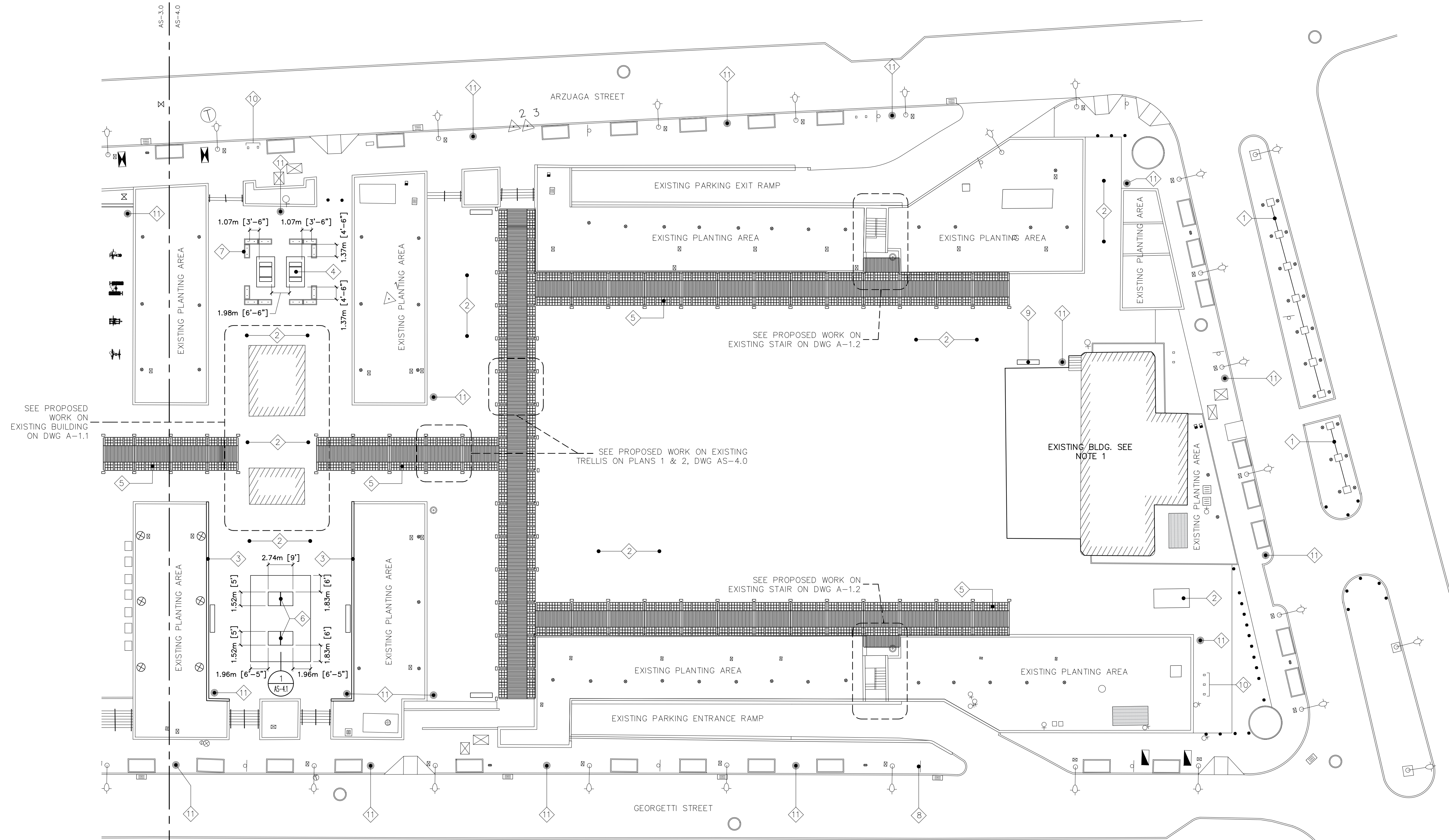
COMPUTER PLOT
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NO.	DATE	REVISION	BY	APPROVED
1	3/1/24		L.R.	L.H.

PROJECT
DRAWING BY/CHECKED BY
AB I.H.

NUMBER	TOTAL
17	62

DRAWING NUMBER
AS-3.1



PROPOSED SITE PLAN
SCALE: 1:250

LEGEND:

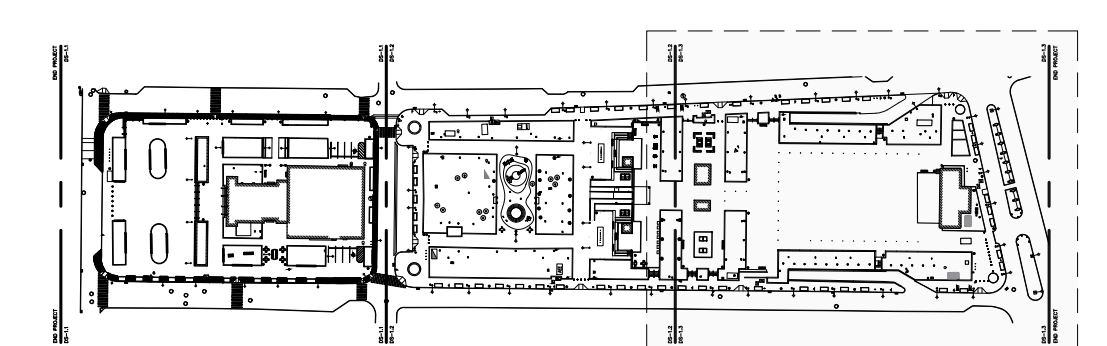
SYMBOL	DESCRIPTION
◇	ANNOTATION MARKER
○	DETAIL MARKER
△	SECTION MARKER
◎	NEW TRASH RECEPTACLE
□	NEW BIKE RACKS
○	NEW BOLLARDS
■	NEW DOG WASTE STATION

ANNOTATIONS:

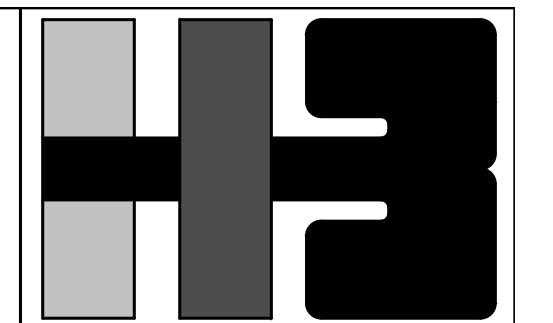
- 1 EXISTING SCULPTURE TO BE CLEANED AND IMPROVED. RESTORE ALL MISSING TILES AND REPLACE ALL DAMAGE STAINLESS STEEL TUBE TO MATCH EXISTING.
- 2 EXISTING PAVERS TO BE CAREFULLY REMOVED FOR REINSTALLATION, SEE DWG --- FOR DETAILS AND NOTES
- 3 REPAIR EXISTING MARBLE STONES WITH RECYCLED STONES FROM OTHER AREAS.
- 4 NEW SOLAR CHARGING EQUAL OR APPROVE EQUAL TO SUNBOLT CHARGING STATION MOMENTUM MODEL.
- 5 NEW PERFORATED METAL PANELS BY DOBLAMOS (NEFI MODEL FROM VORTEX SERIES) ON EXISTING METAL TRELLIS. SEE DWG AS-4.0 FOR DETAILS.
- 6 NEW LOCATION FOR EXISTING PING-PONG TABLES.
- 7 NEW CONCRETE PLANTER EQUAL OR APPROVE EQUAL TO 713 PRECAST PL-14 (12 TOTAL)
- 8 RESTORED & REINSTALLED BACKLIT PARKING SIGNAGE

AS-3.0
AS-4.0
END OF PROJECT

- 9 NEW BENCH EQUAL OR APPROVED EQUAL TO BE-27 BY 713 PRECAST.
- 10 NEW BIKE RACKS. SEE DETAILS ON DWG AS-2.3
- 11 NEW TRASH RECEPTACLE. SEE DETAILS IN DWG AS-2.3
- 12 NEW DOG WASTE STATION. SEE DETAILS ON DWG AS-2.3



KEY MAP



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MANAGER
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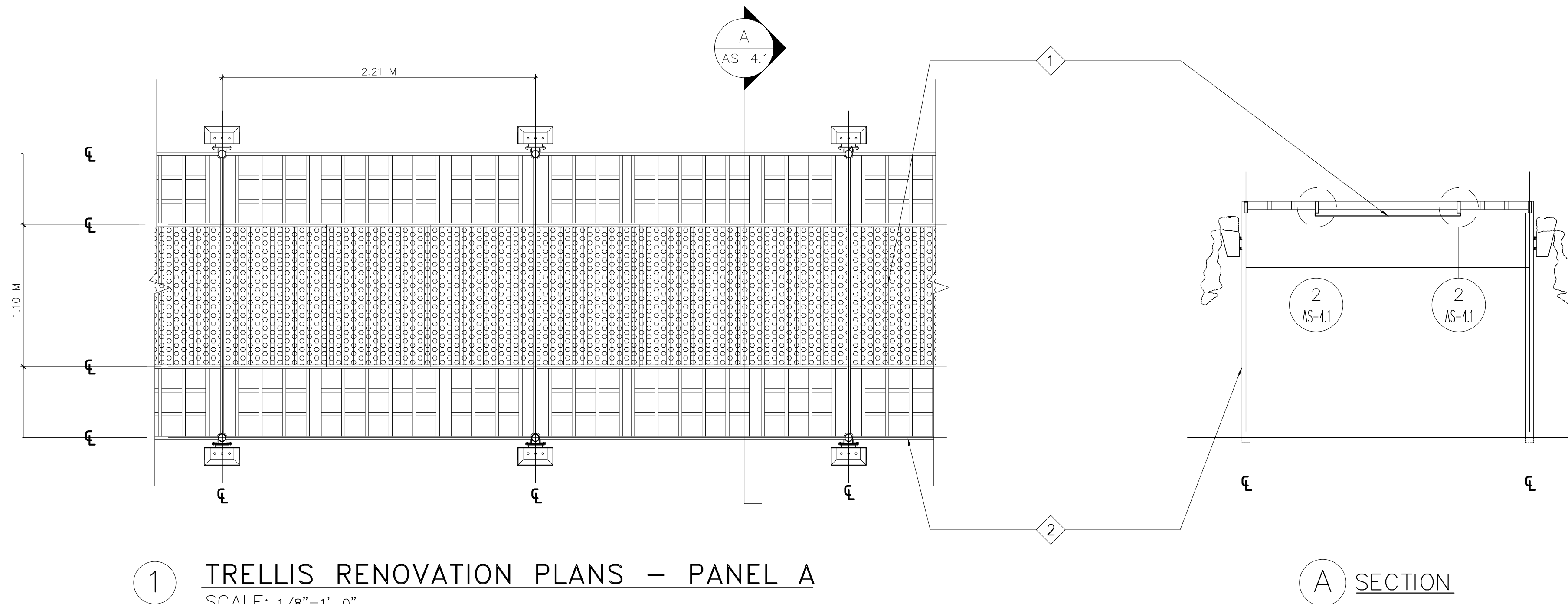
PROJECT
IMPROVEMENTS OF "PLAZA DE LA CONVALESCENCIA" AND "PLAZA DEL PILAR"

DRAWING NAME
PROPOSED SITE PLAN (THIRD PORTION)

COMPUTER PLOT
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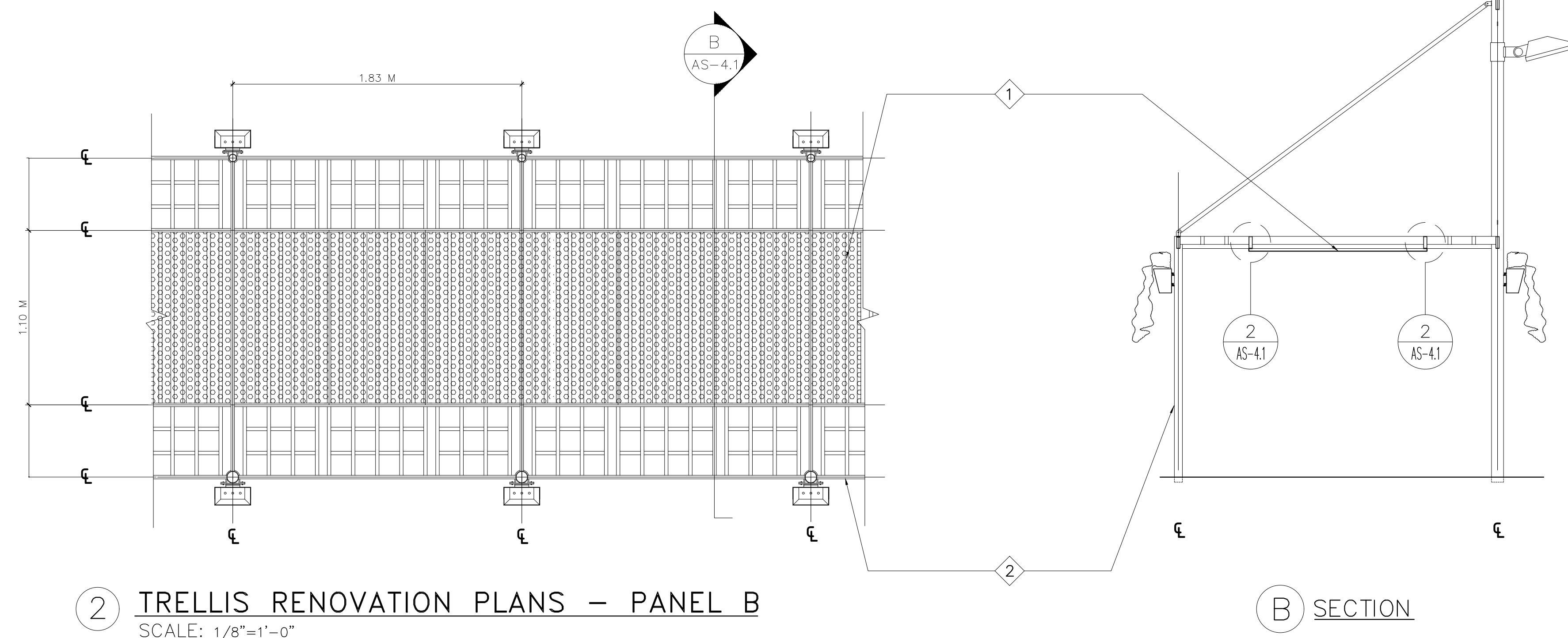
NO.	DATE	REVISION	BY	APPROVED
1	3/1/24		L.R.	L.H.

PROJECT	
DRAWING BY/CHECKED BY	
L.R.C.	I.H.
NUMBER	TOTAL
18	62
DRAWING NUMBER	
AS-4.0	



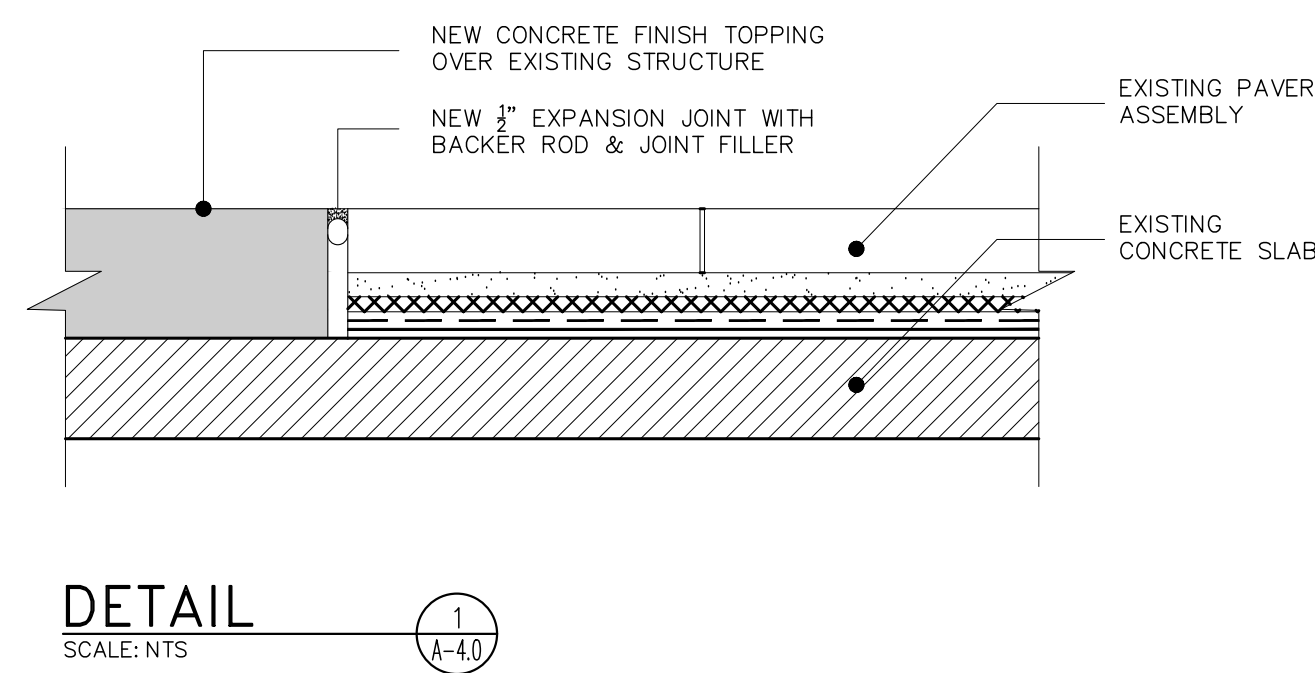
1 TRELLIS RENOVATION PLANS – PANEL A
SCALE: 1/8"=1'-0"

A SECTION

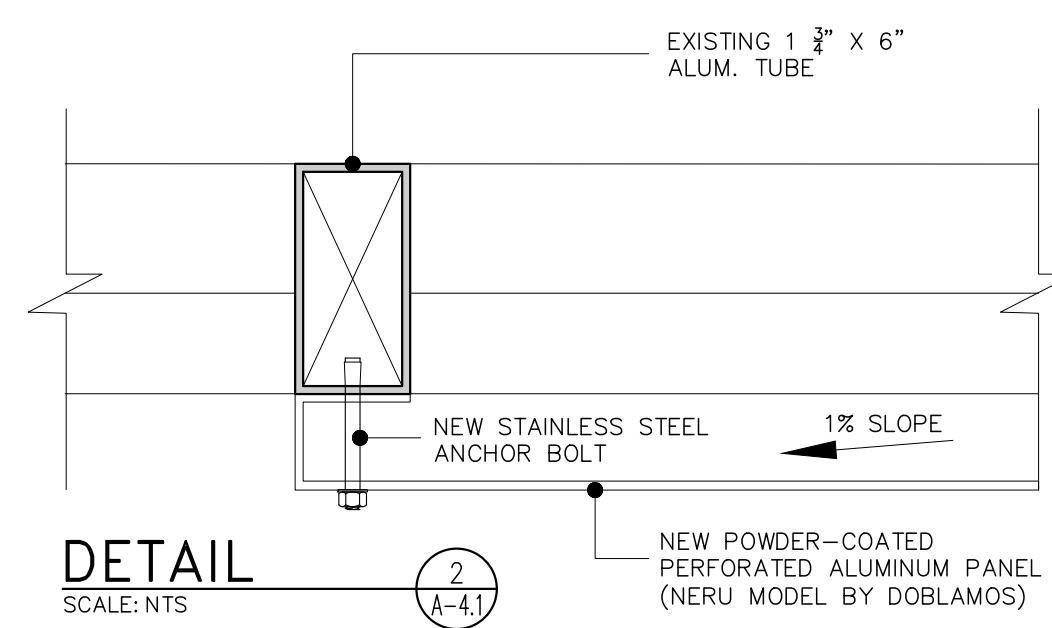


2 TRELLIS RENOVATION PLANS – PANEL B
SCALE: 1/8"=1'-0"

B SECTION



DETAIL SCALE: NTS 1 A-4.1



DETAIL SCALE: NTS 2 A-4.1

LEGEND:

SYMBOL	DESCRIPTION
	ANNOTATION MARKER
	DETAIL MARKER
	SECTION MARKER

NOTES:

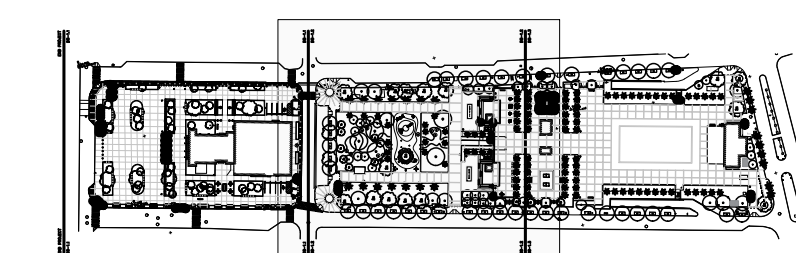
- EXISTING CHURCH NUESTRA SEÑORA DEL PILAR IS NOT PART OF THE SCOPE ... BUT ANY DAMAGE -----

ANNOTATIONS:

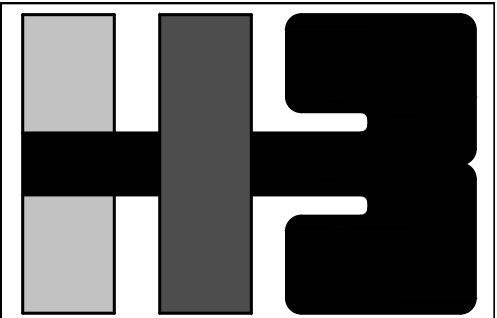
- NEW PERFORATED METAL PANELS EQUAL OR APPROVE EQUAL TO NERÚ MODEL FROM VORTEX SERIES BY DOBLAMOS



- EXISTING METAL TRELLIS STRUCTURE TO BE CLEANED & REPAINTED



KEY MAP



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DRAWING NAME
 BLOW-UP PLANS, SECTIONS & DETAILS

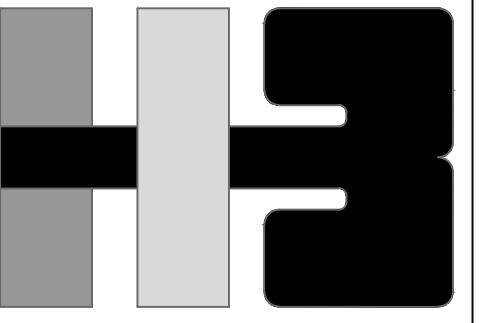
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19	62

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MANAGER
DEPT. OF URBAN DESIGN AND
PROJECT DEVELOPMENT, MASJ.

OWNER
AUTONOMOUS MUNICIPALITY
OF SAN JUAN

PROJECT
IMPROVEMENTS OF "PLAZA
DE LA CONVALENCENCIA"
AND "PLAZA DEL PILAR"

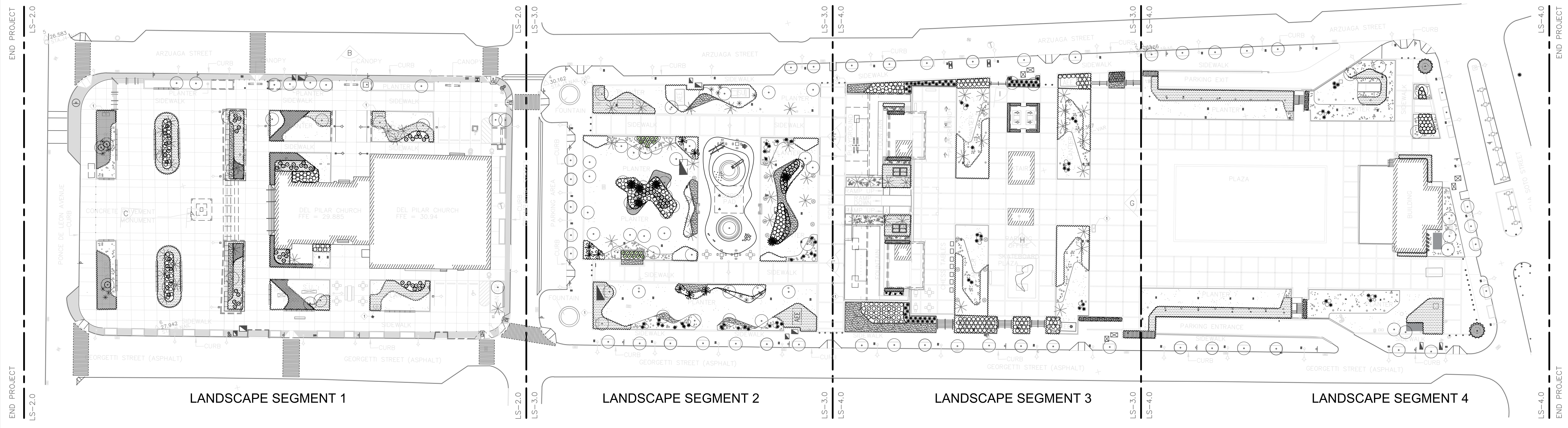
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NO. DATE REVISION BY APPROVED

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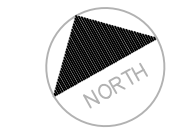
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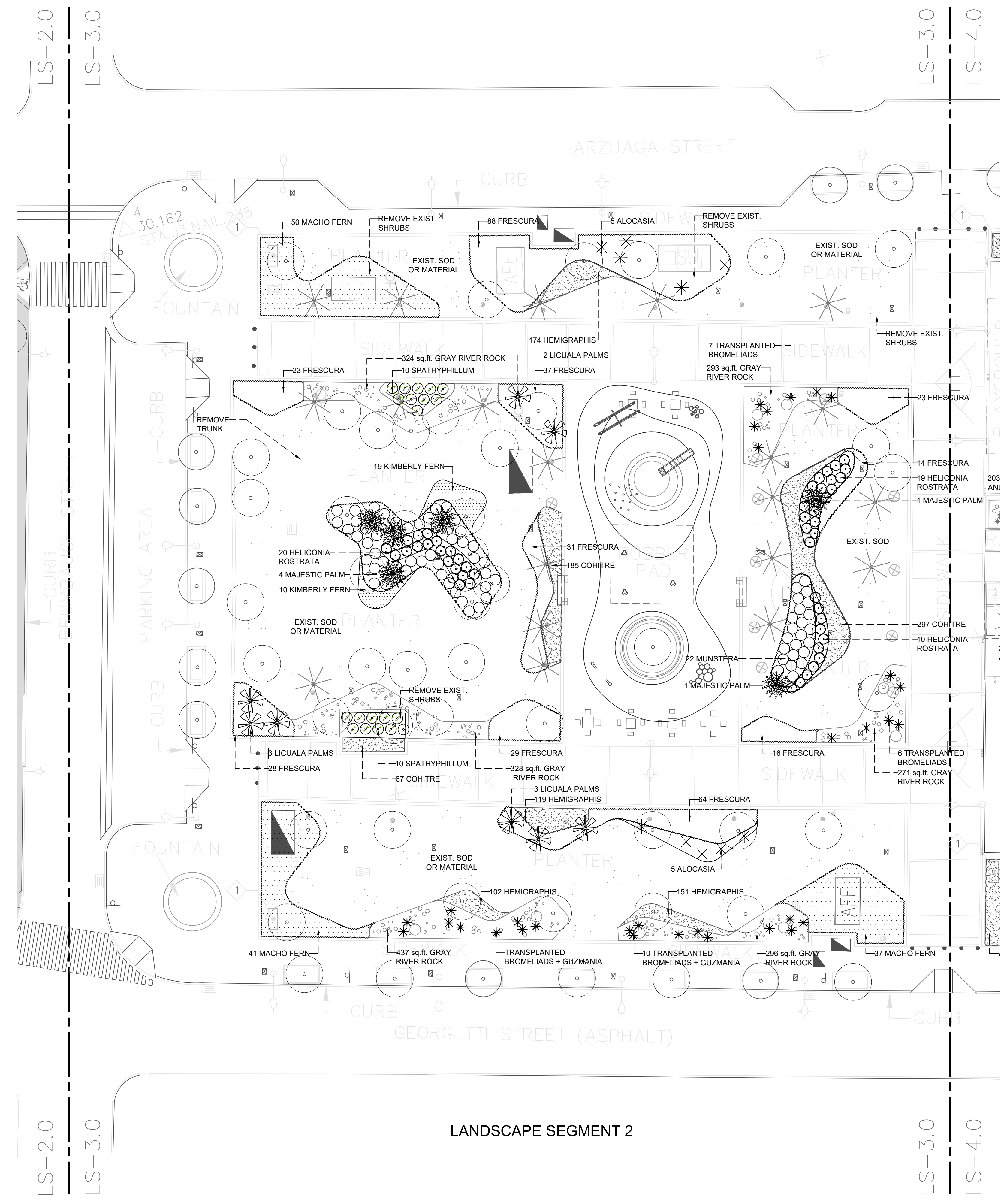
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DRAWING NUMBER
LS-1.0

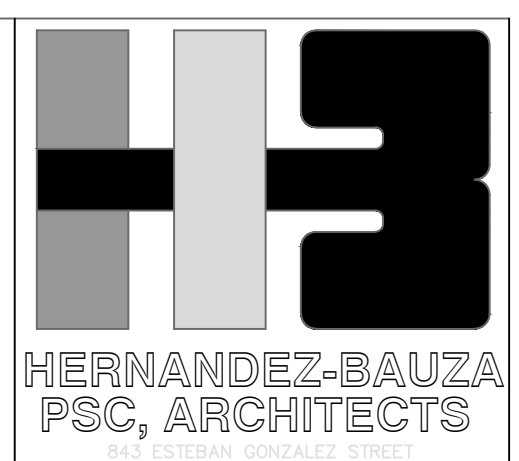


LS1.0 LANDSCAPE MASTER PLAN
NOT TO SCALE





LANDSCAPE SEGMENT 2



**HERNANDEZ-BAUZA
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MANAGER
 DEPT. OF URBAN DESIGN AND PROJECT DEVELOPMENT, MASJ.

OWNER
 AUTONOMOUS MUNICIPALITY OF SAN JUAN

PROJECT
 IMPROVEMENTS OF "PLAZA DE LA CONVALENCENCIA" AND "PLAZA DEL PILAR"

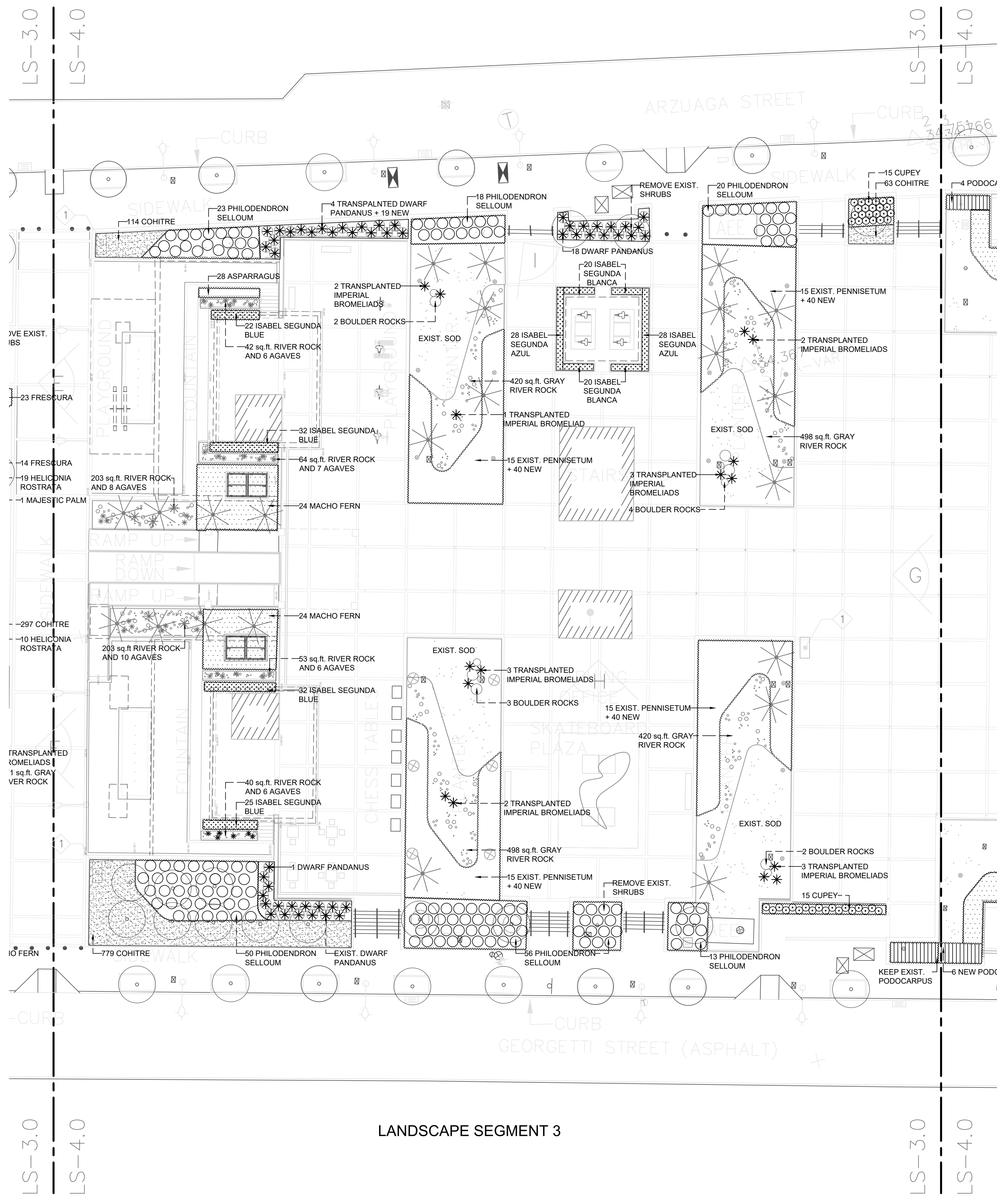
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 COMPUTER PLOT
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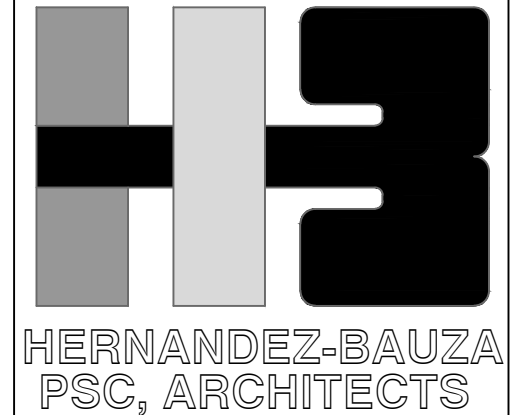
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22	62

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LANDSCAPE SEGMENT 3



**HERNANDEZ-BAUZA
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MANAGER
DEPT. OF URBAN DESIGN AND PROJECT DEVELOPMENT, MASJ.

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PROJECT
IMPROVEMENTS OF "PLAZA DE LA CONVALENCENCIA" AND "PLAZA DEL PILAR"

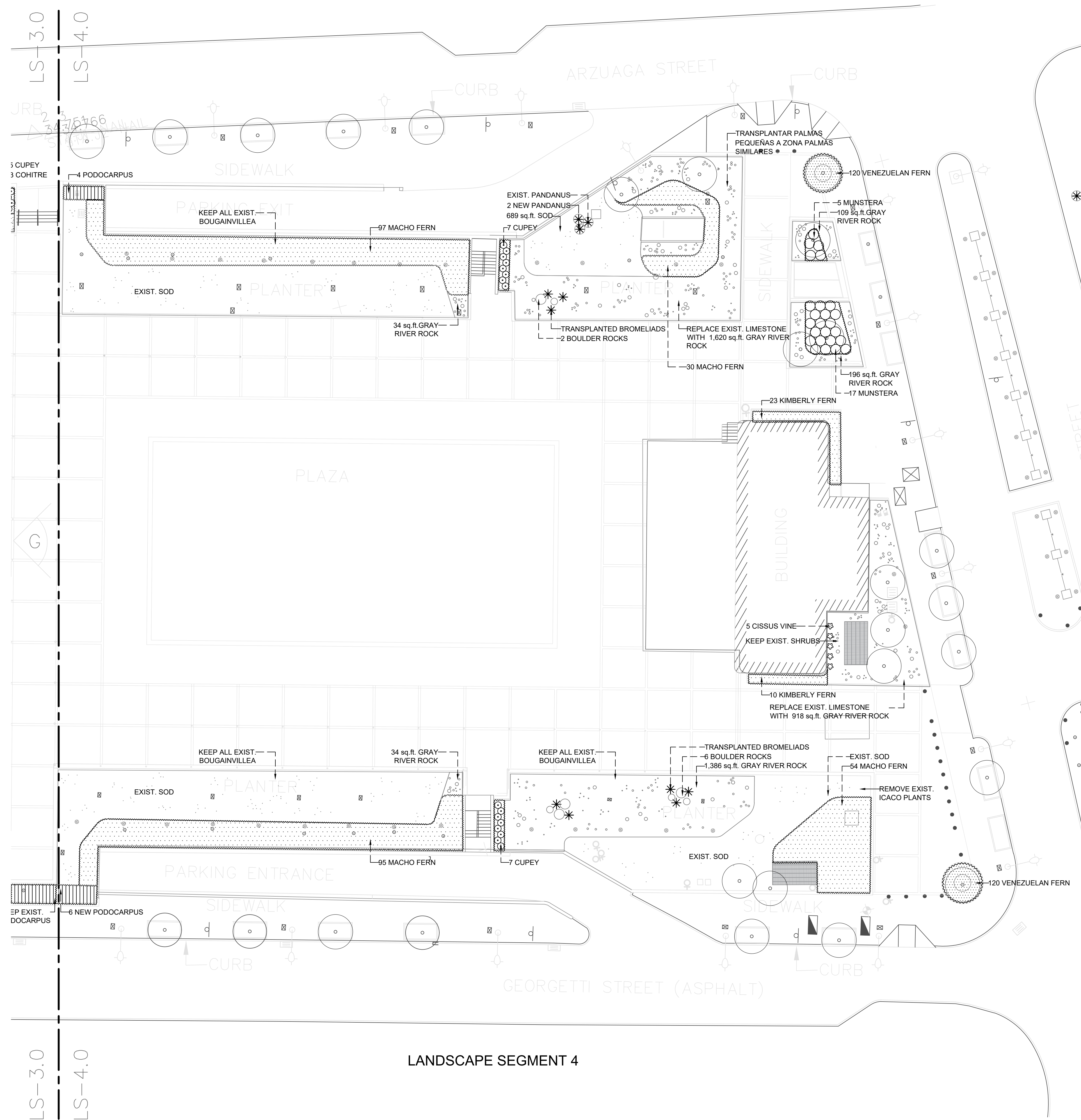
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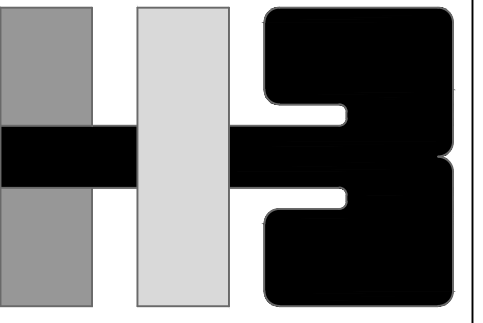
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NUMBER	TOTAL
23	62

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LANDSCAPE SEGMENT 4



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PROJECT
 IMPROVEMENTS OF "PLAZA DE LA CONVALESCENCIA" AND "PLAZA DEL PILAR"

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 COMPUTER PLOT
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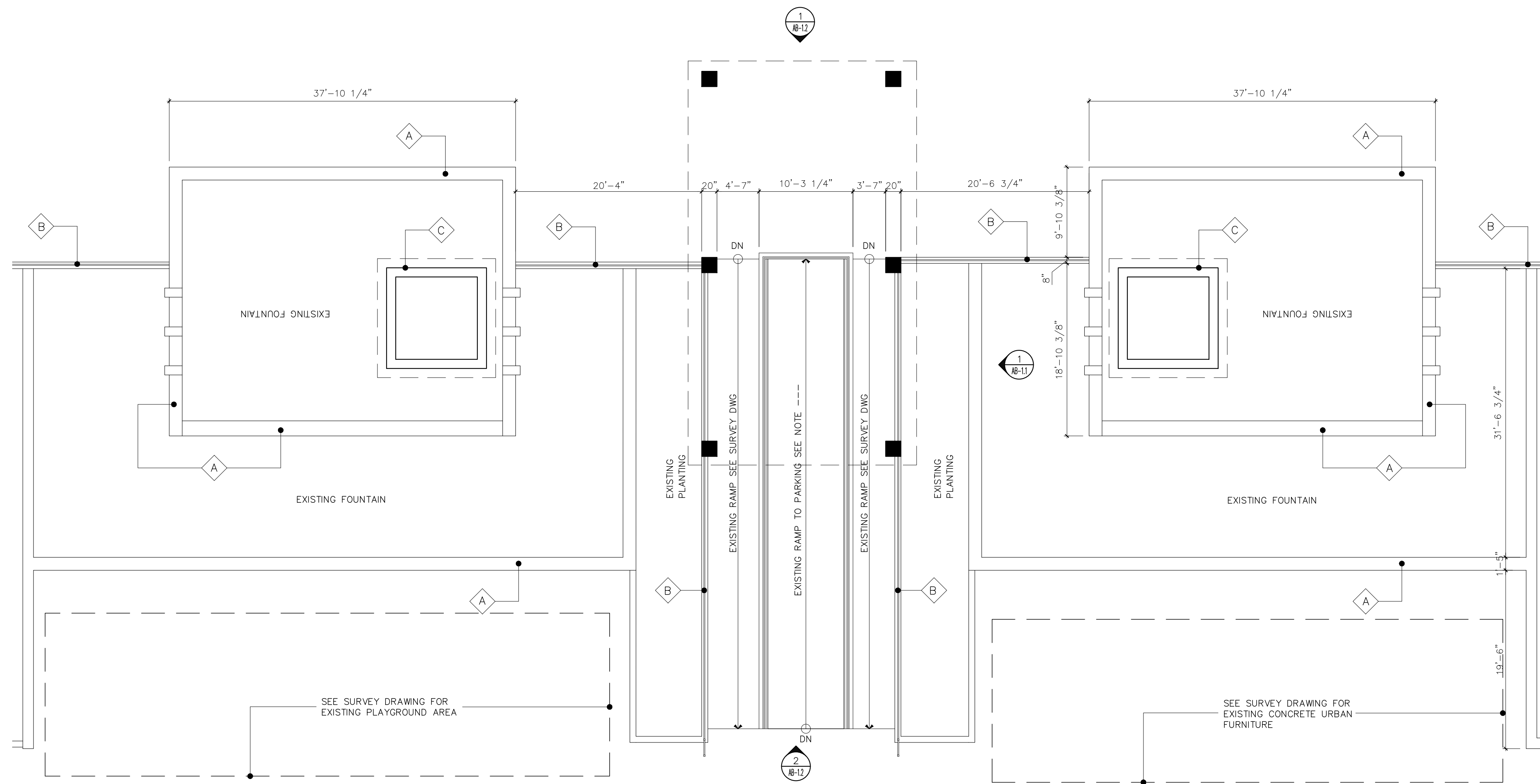
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PROJECT

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NUMBER	TOTAL
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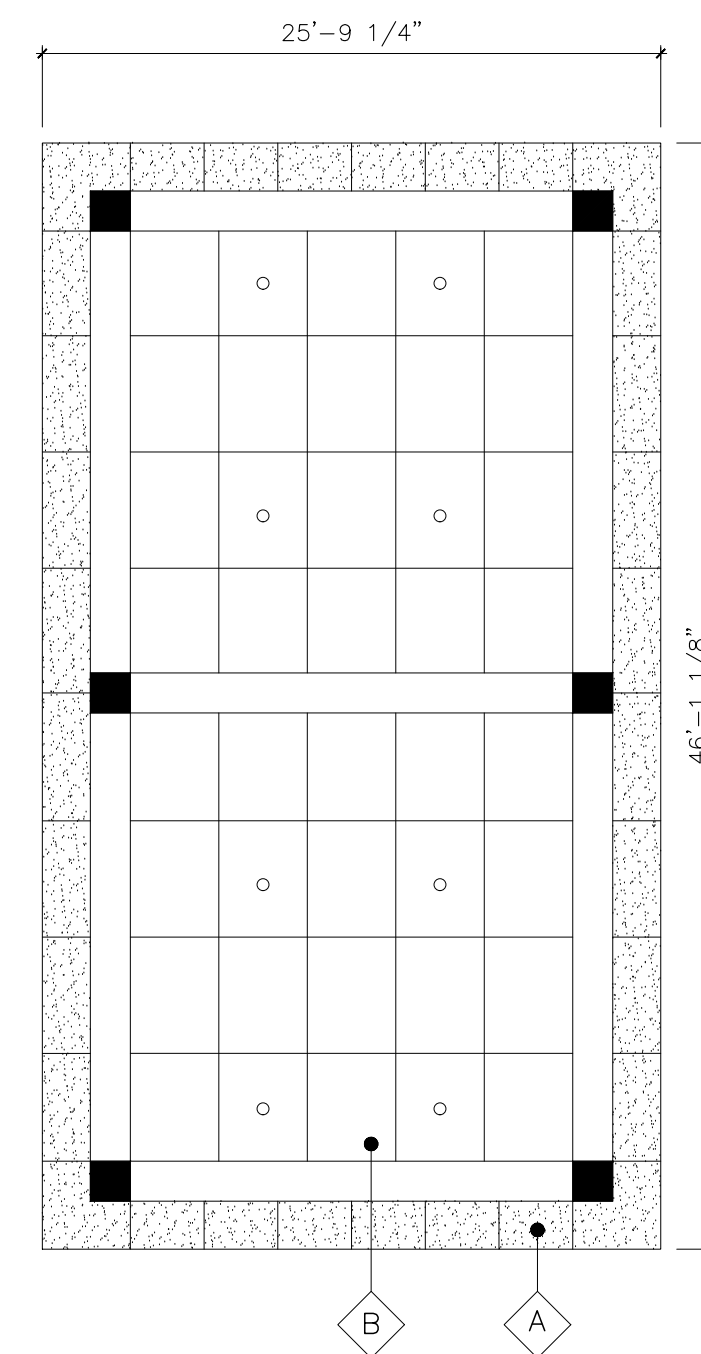
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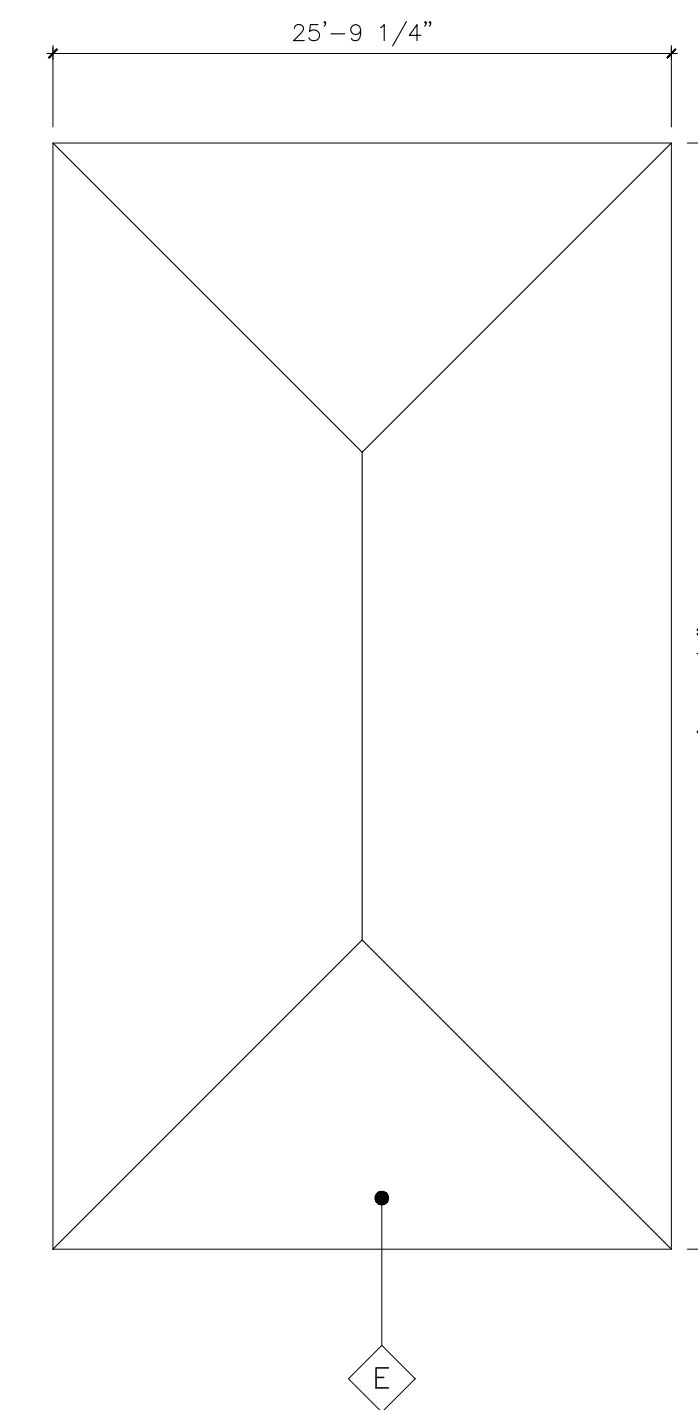
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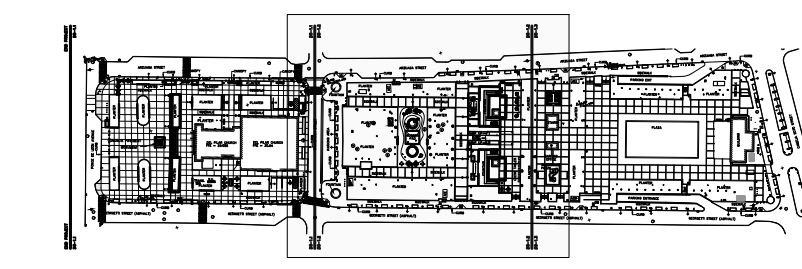
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- B EXISTING GALV STEEL GUARD RAIL
- C EXISTING TOWER



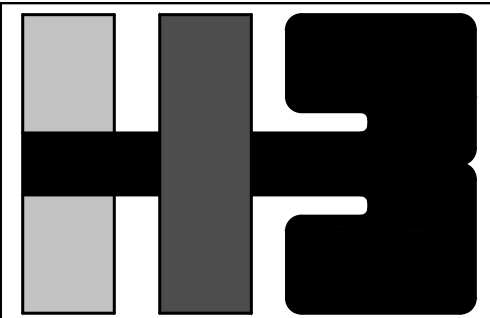
EXISTING GAZEBO RAMP REFLECTING CEILING
SCALE: 1/8" = 1'-0"



EXISTING GAZEBO RAMP ROFF PLAN
SCALE: 1/8" = 1'-0"



KEY MAP



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CLIENT
MANAGER
DEPT. OF URBAN DESIGN AND PROJECT DEVELOPMENT, MASJ.

OWNER
AUTONOMOUS MUNICIPALITY OF SAN JUAN

PROJECT
IMPROVEMENTS OF "PLAZA DE LA CONVALECENCIA" AND "PLAZA DEL PILAR"

DRAWING NAME
EXISTING BUILDING A FLOOR PLAN

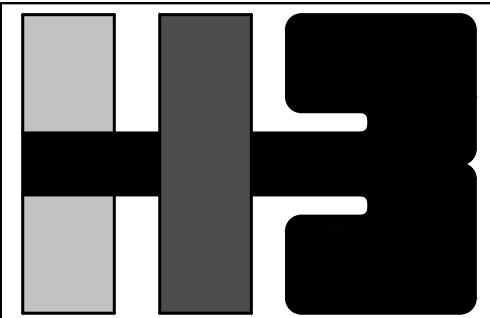
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NO.	DATE	REVISION	BY	APPROVED

PROJECT
DRAWING BY/CHECKED BY
jdd I.H.

NUMBER	TOTAL
26	62

DRAWING NUMBER
AB-1.0



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CLIENT
MANAGER
DEPT. OF URBAN DESIGN AND PROJECT DEVELOPMENT, MASJ.

OWNER
AUTONOMOUS MUNICIPALITY OF SAN JUAN

PROJECT
IMPROVEMENTS OF "PLAZA DE LA CONVALESCENCIA" AND "PLAZA DEL PILAR"

DRAWING NAME
EXISTING BUILDING A REFLECTING CEILING, ROOF PLAN AND ELEVATION

COMPUTER PLOT
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NO.	DATE	REVISION	BY	APPROVED

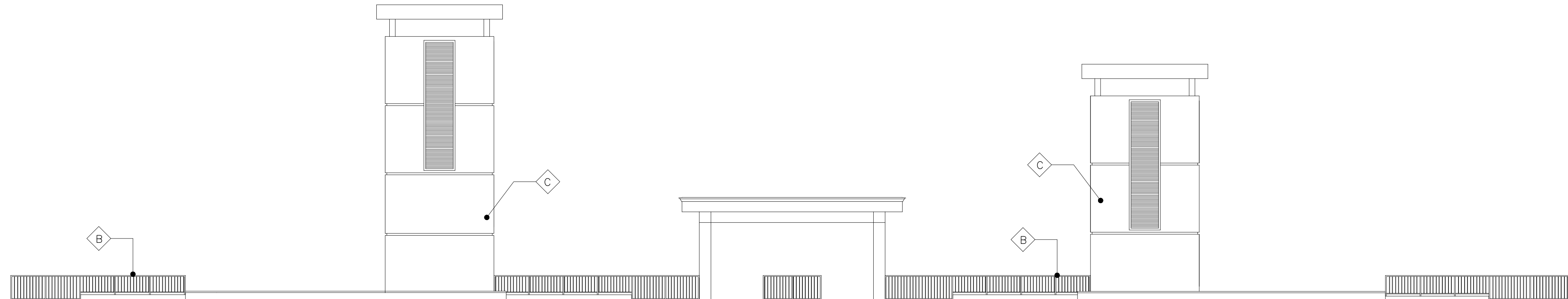
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DRAWING BY/CHECKED BY
jdd I.H.

NUMBER	TOTAL
27	62

DRAWING NUMBER
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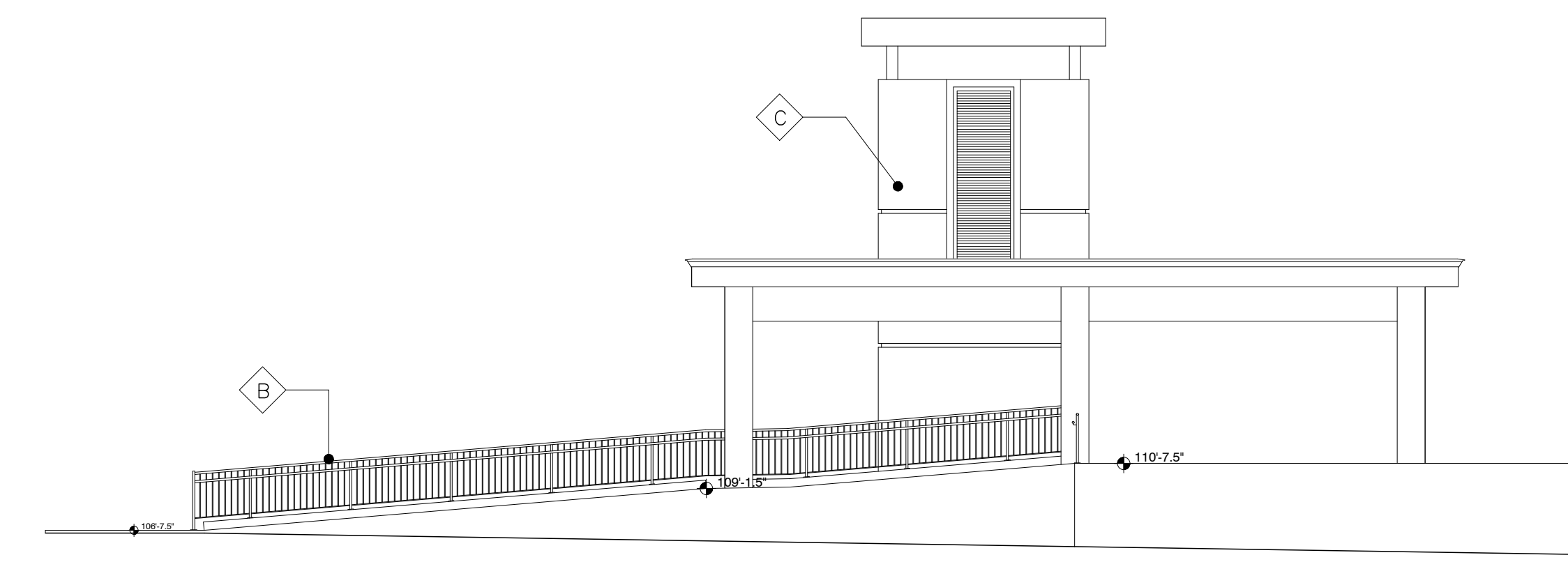
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- EXISTING GRANITE STONE OVER A CONCRETE LOW WALL
 - EXISTING GALV STEEL GUARD RAIL
 - EXISTING TOWER



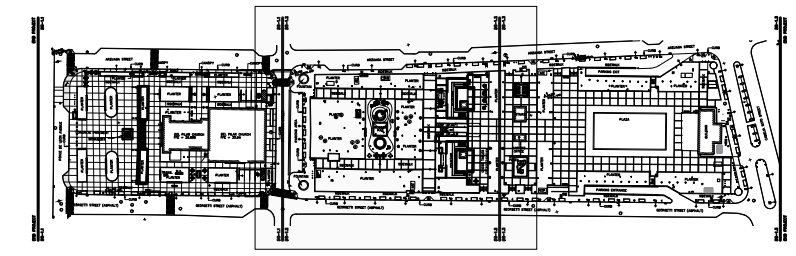
ELEVATION 1
SCALE: 1/8" = 1'-0"
A-11



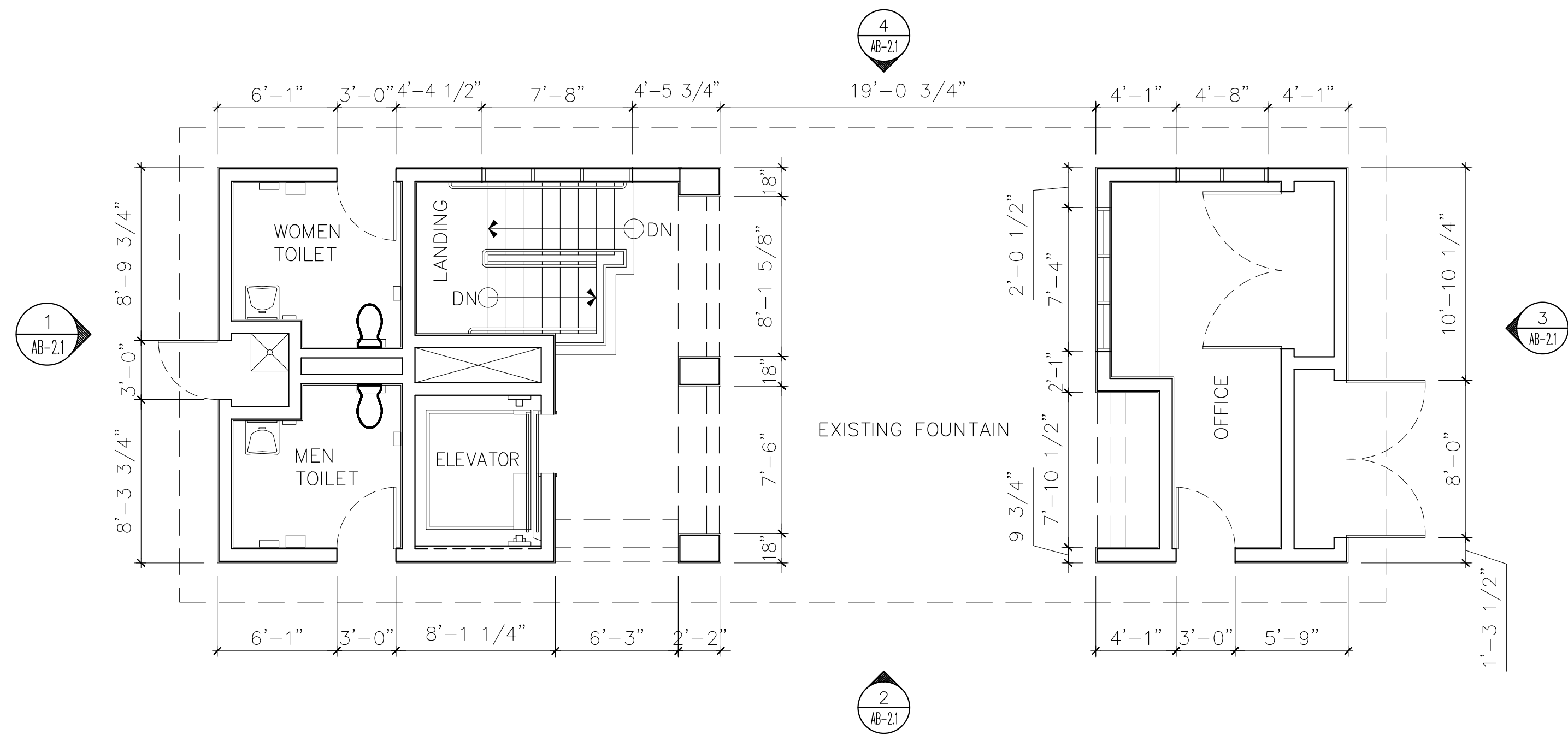
ELEVATION 2
SCALE: 1/8" = 1'-0"
A-11



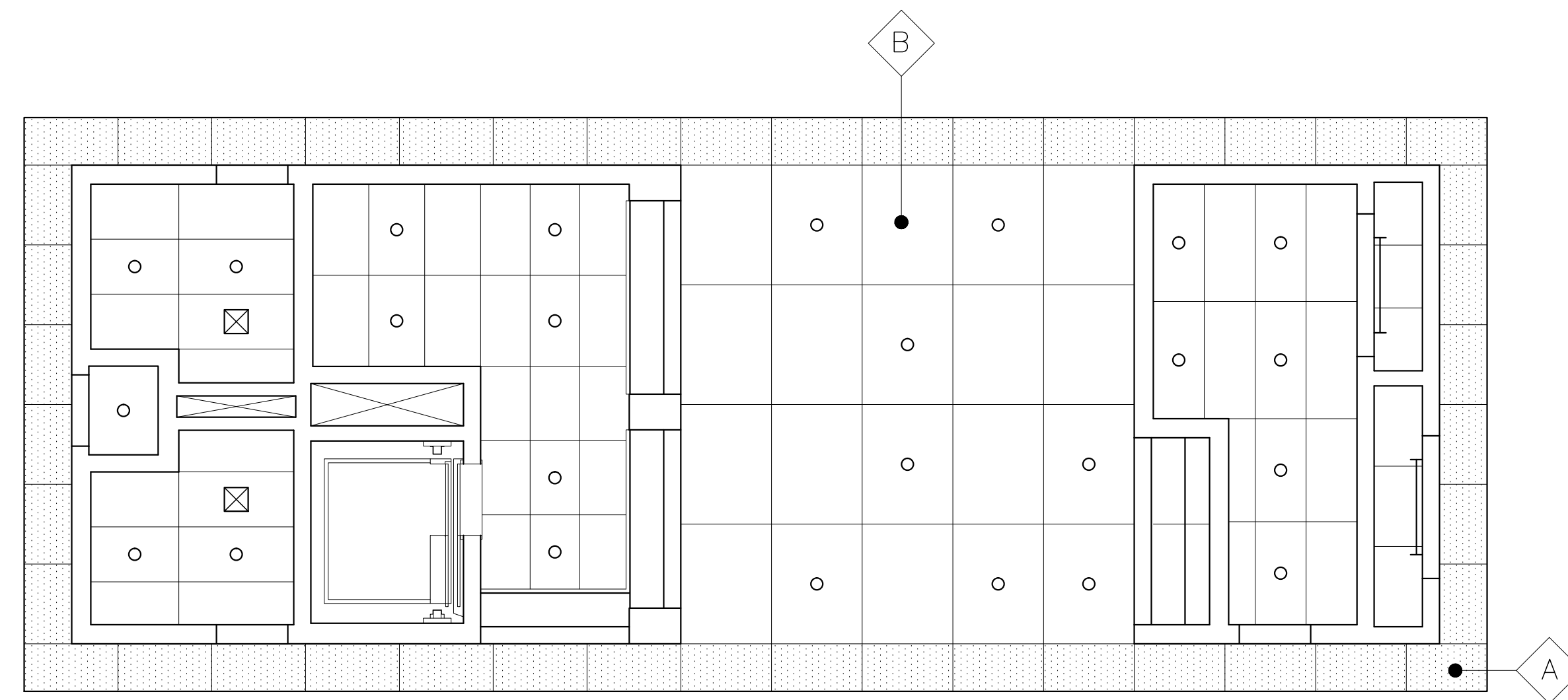
ELEVATION 3
SCALE: 1/8" = 1'-0"
A-11



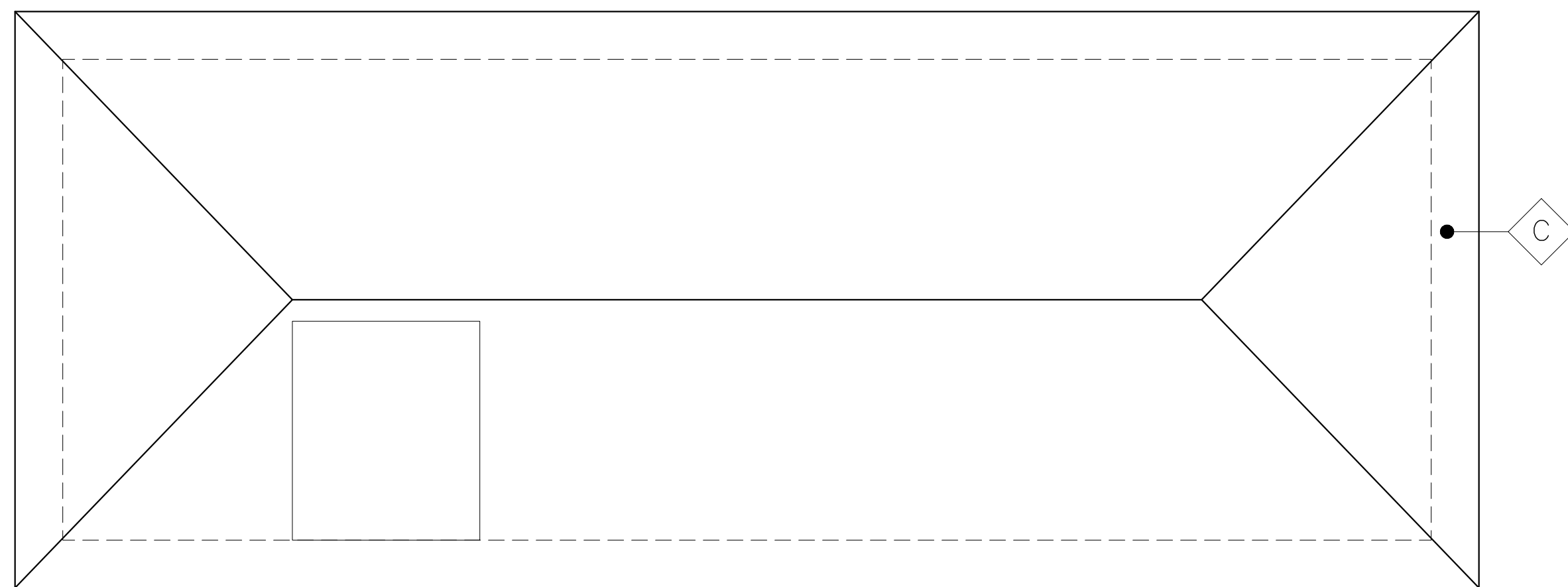
KEY MAP



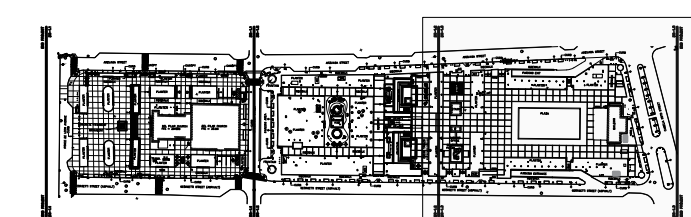
EXISTING BUILDING B FLOOR PLAN
SCALE: 3/16" = 1'-0"



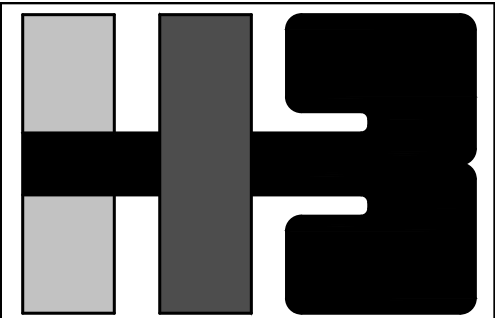
EXISTING BUILDING B REFLECTING CEILING
SCALE: 3/16" = 1'-0"



EXISTING BUILDING B ROOF PLAN
SCALE: 3/16" = 1'-0"



KEY MAP



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CLIENT
MANAGER
DEPT. OF URBAN DESIGN AND PROJECT DEVELOPMENT, MASJ.

OWNER
AUTONOMOUS MUNICIPALITY OF SAN JUAN

PROJECT
IMPROVEMENTS OF "PLAZA DE LA CONVALECENCIA" AND "PLAZA DEL PILAR"

DRAWING NAME
EXISTING BUILDING B FLOOR PLAN, REFLECTING CEILING AND ROOF PLAN

COMPUTER PLOT
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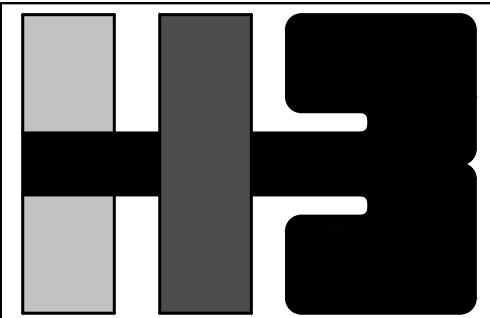
NO.	DATE	REVISION	BY	APPROVED

PROJECT

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jdd I.H.

NUMBER	TOTAL
28	62

DRAWING NUMBER
AB-2.0



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PROJECT

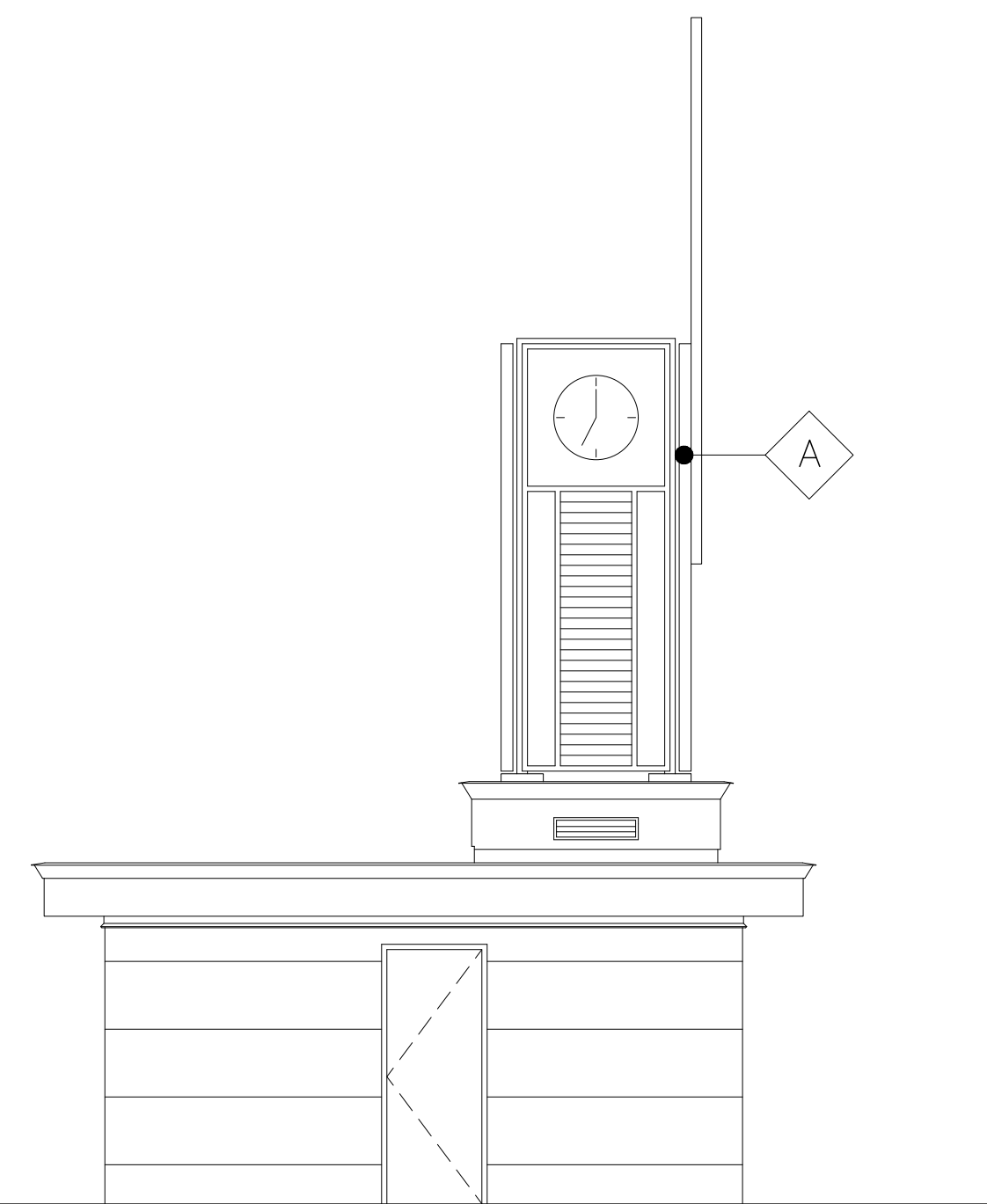
DRAWING BY/CHECKED BY
jdd I.H.

NUMBER	TOTAL
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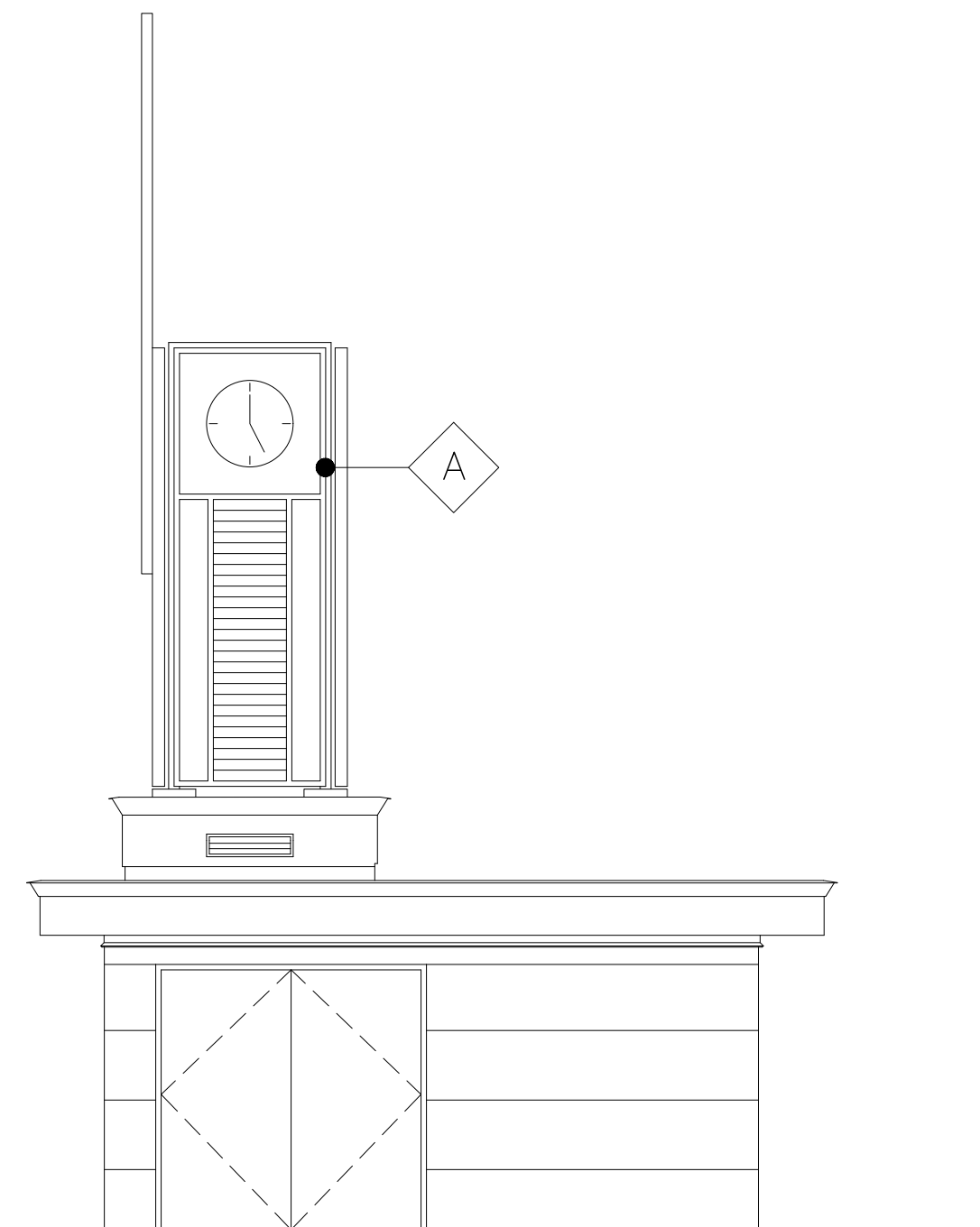
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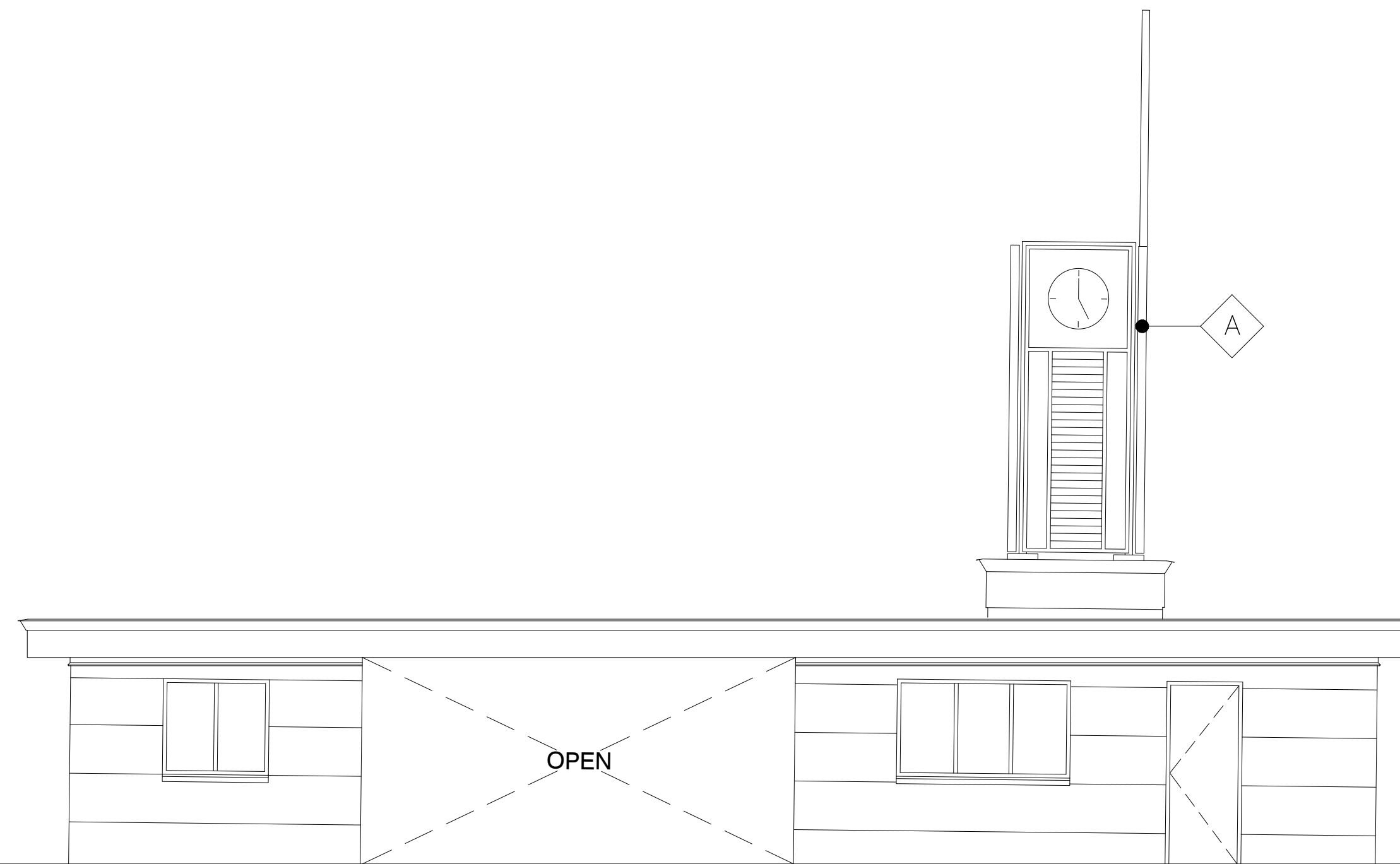
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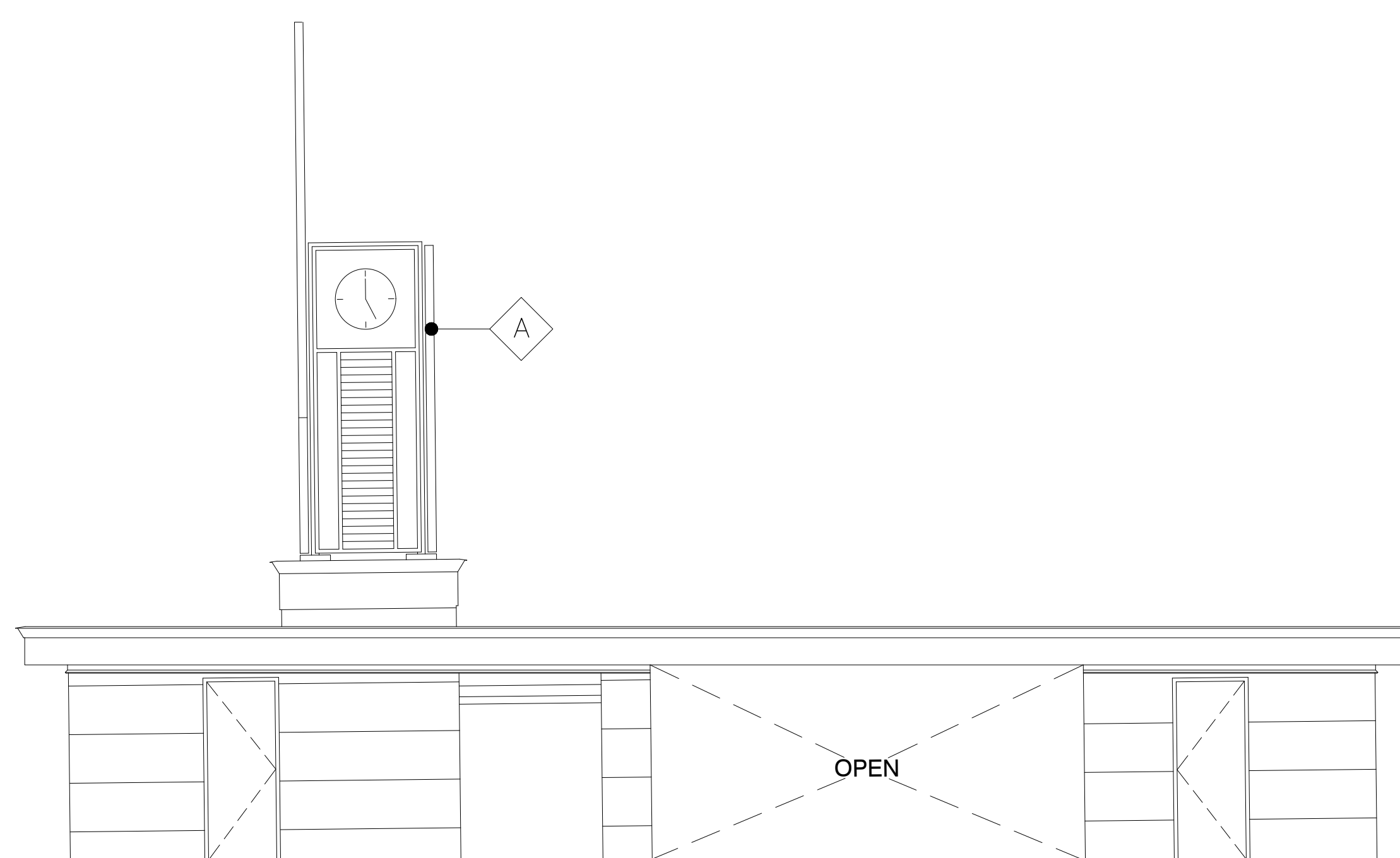
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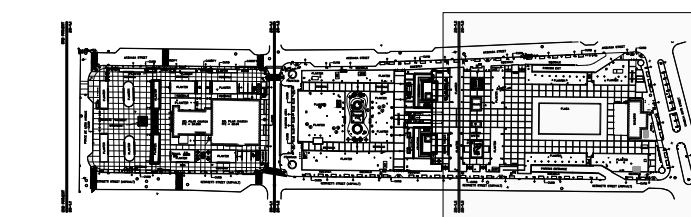
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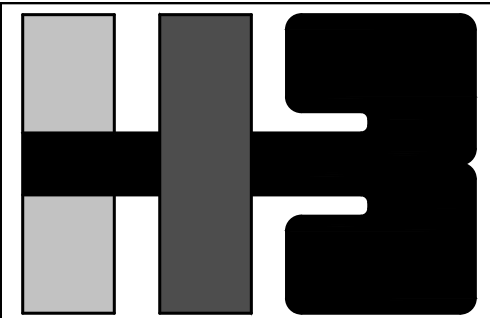
ELEVATION 2
SCALE: 3/16" = 1'-0" (B-21)



ELEVATION 4
SCALE: 3/16" = 1'-0" (B-21)



KEY MAP



**HERNANDEZ-BAUZA
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DE LA CONVALESCENCIA"
AND "PLAZA DEL PILAR"

DRAWING NAME
EXISTING BUILDING C
REFLECTING CEILING,
ROOF PLAN AND ELEVATIONS

COMPUTER PLOT
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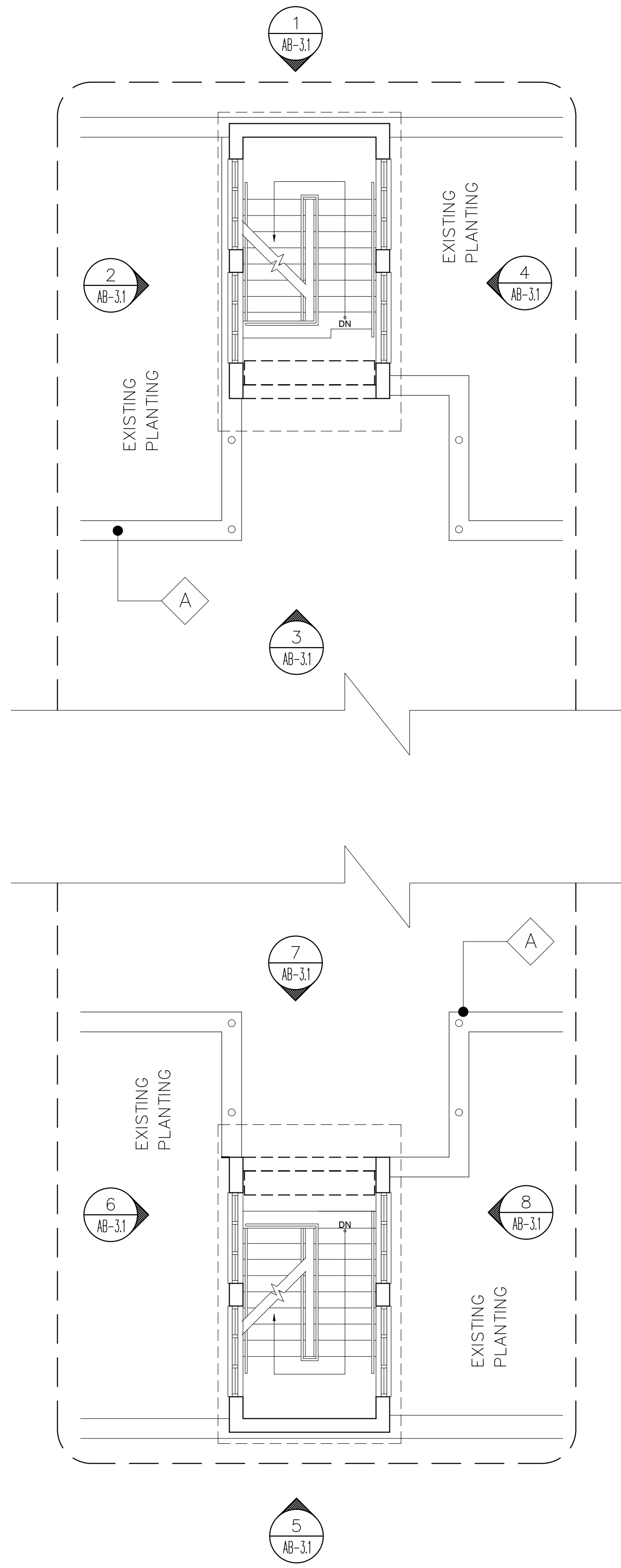
NO.	DATE	REVISION	BY	APPROVED

PROJECT

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jdd I.H.

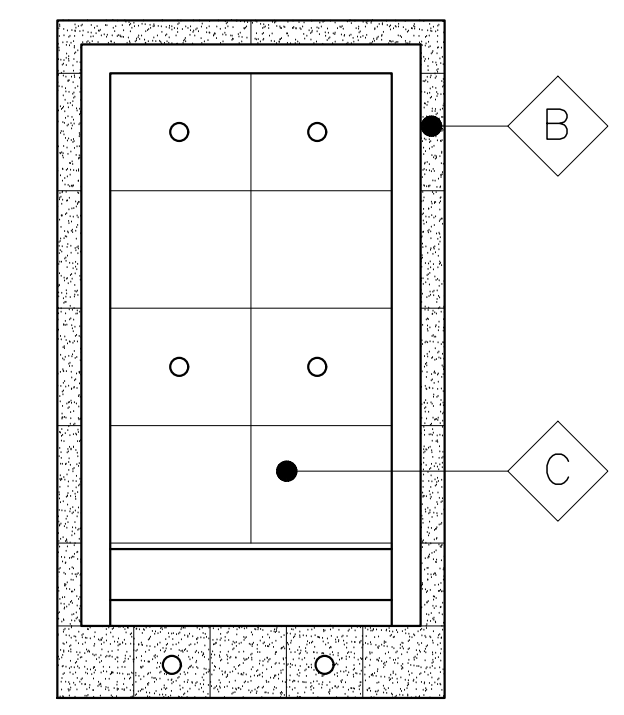
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AB-3.0

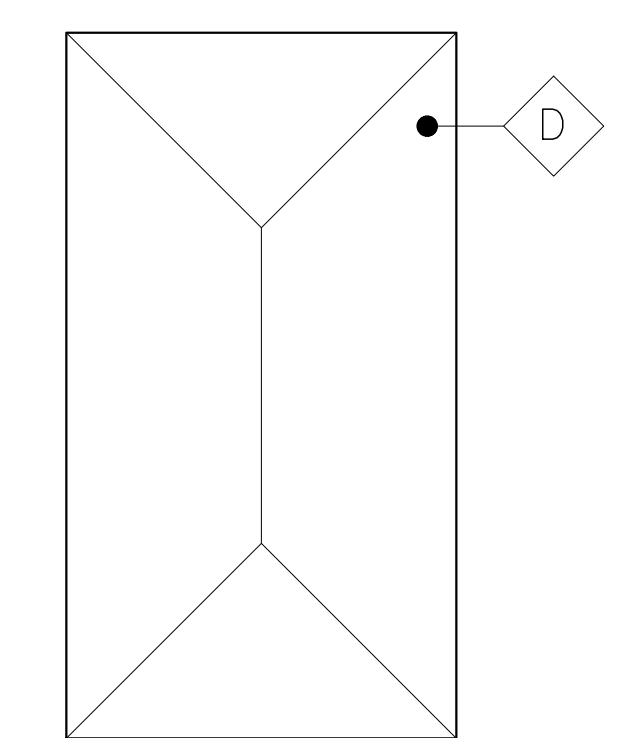
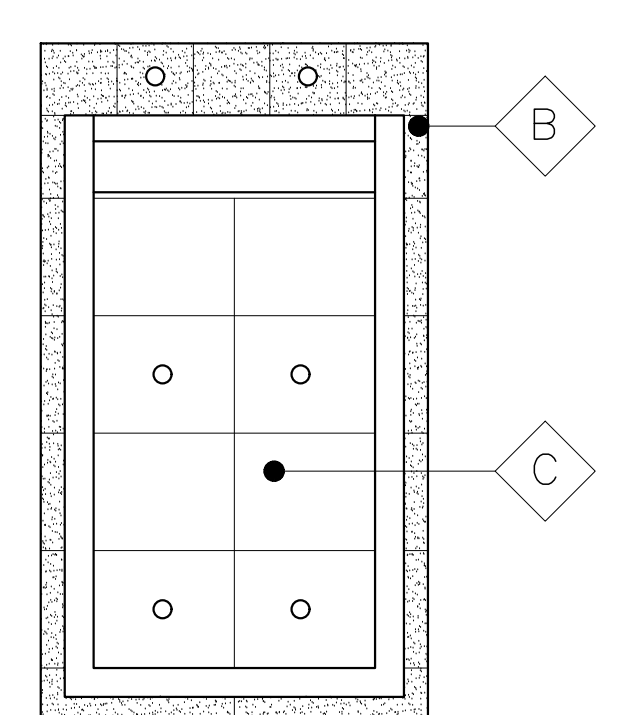


EXISTING BUILDING C FLOOR PLAN
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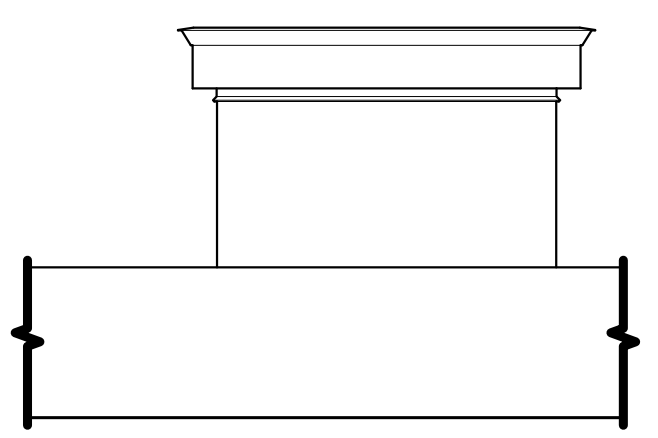
- LEGEND:
- A EXISTING GRANITE STONE OVER A CONCRETE LOW WALL
 - B EXISTING STAINLESS STEEL PERFORATE PANEL
 - C EXISTING PLYWOOD LAMINATED
 - D WATERPROOFING MEMBRANE



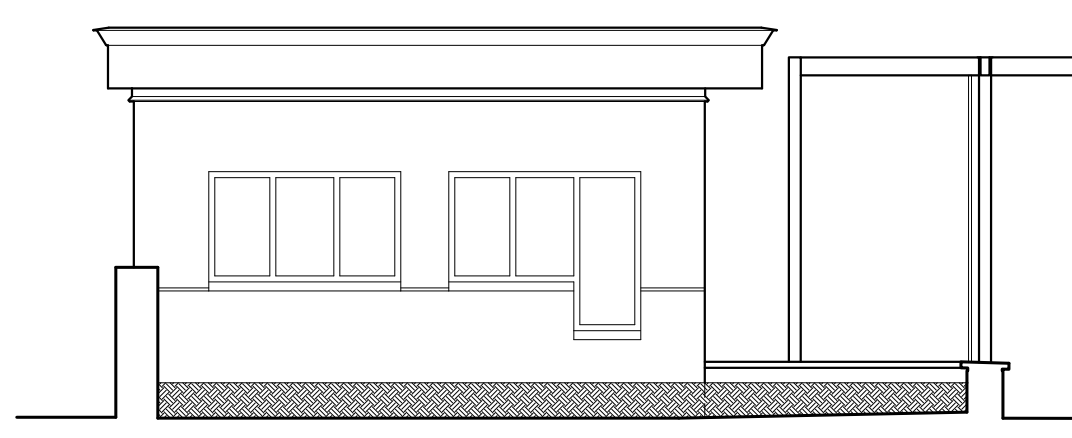
EXISTING BUILDING C REFLECTING CEILING
SCALE: 3/16" = 1'-0"



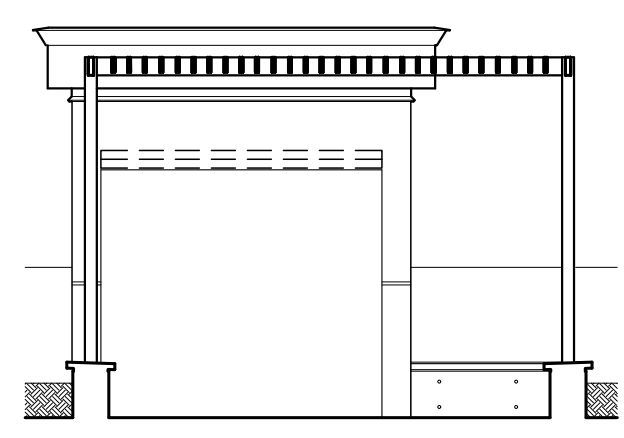
EXISTING BUILDING A ROOF PLAN
SCALE: 3/16" = 1'-0"



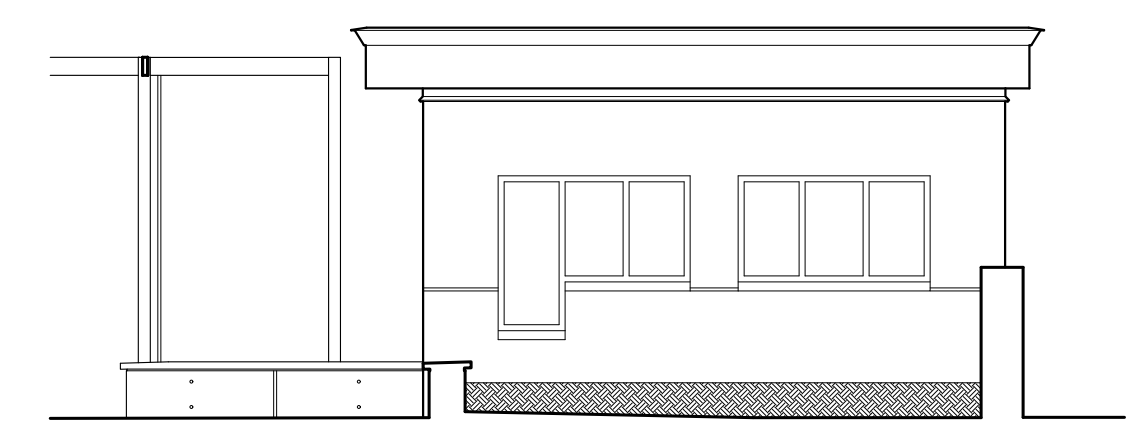
ELEVATION 1
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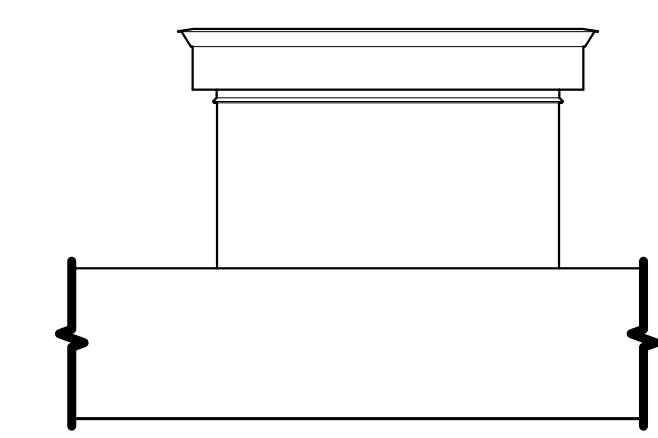
ELEVATION 2
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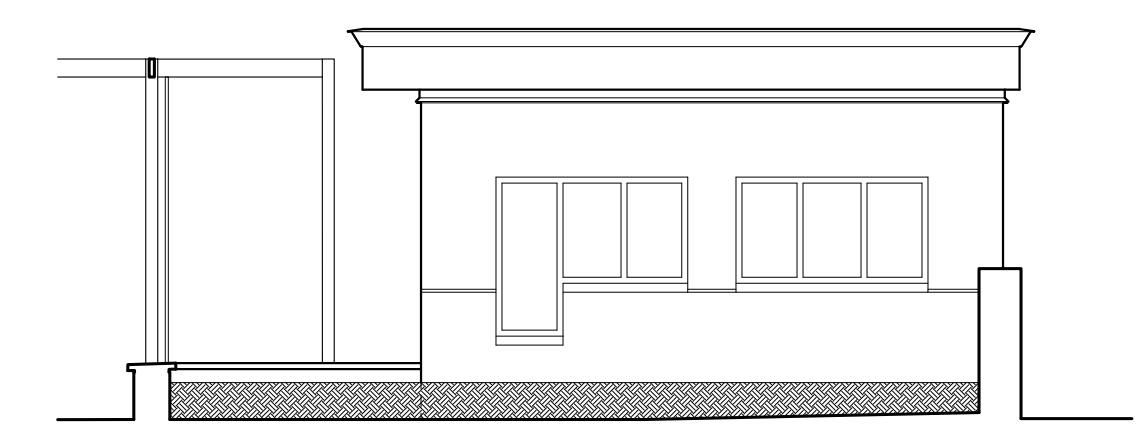
ELEVATION 3
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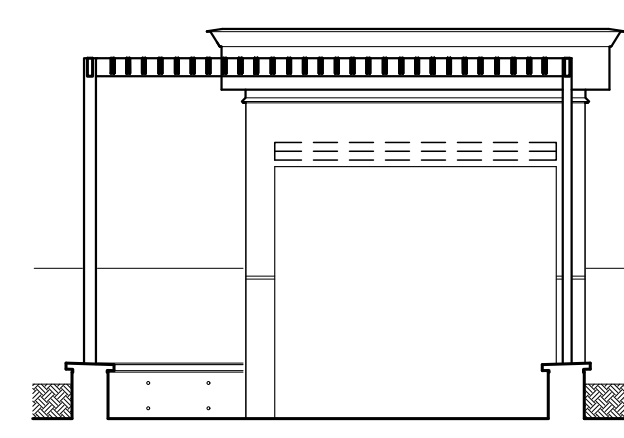
ELEVATION 4
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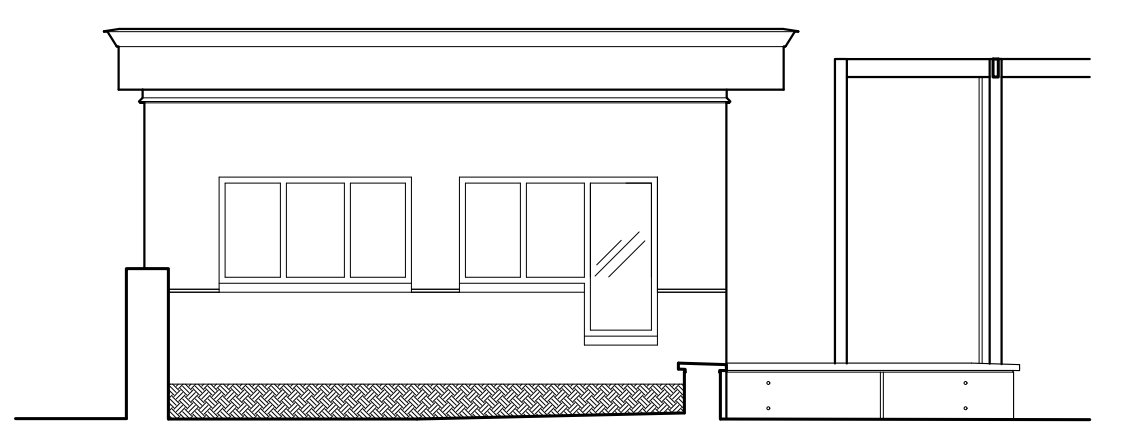
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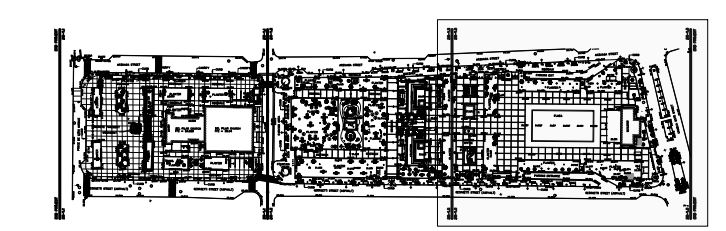
ELEVATION 6
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ELEVATION 7
SCALE: 3/16" = 1'-0"



ELEVATION 8
SCALE: 3/16" = 1'-0"



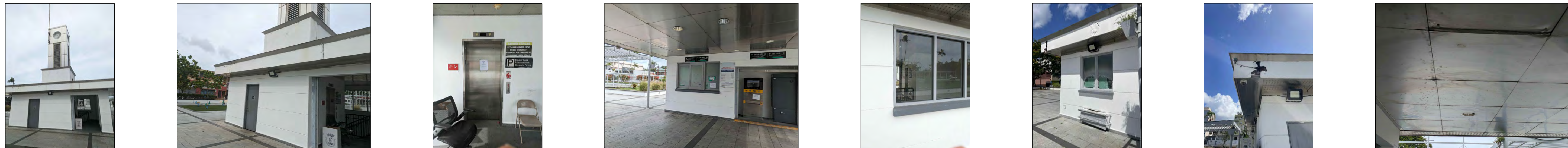
KEY MAP

PHOTOGRAPHIC DOCUMENTATION

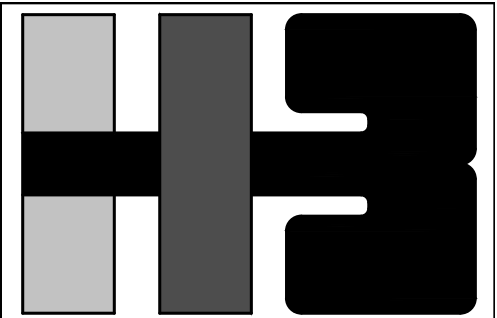
BUILDING A AREA



BUILDING B AREA



BUILDING B AREA



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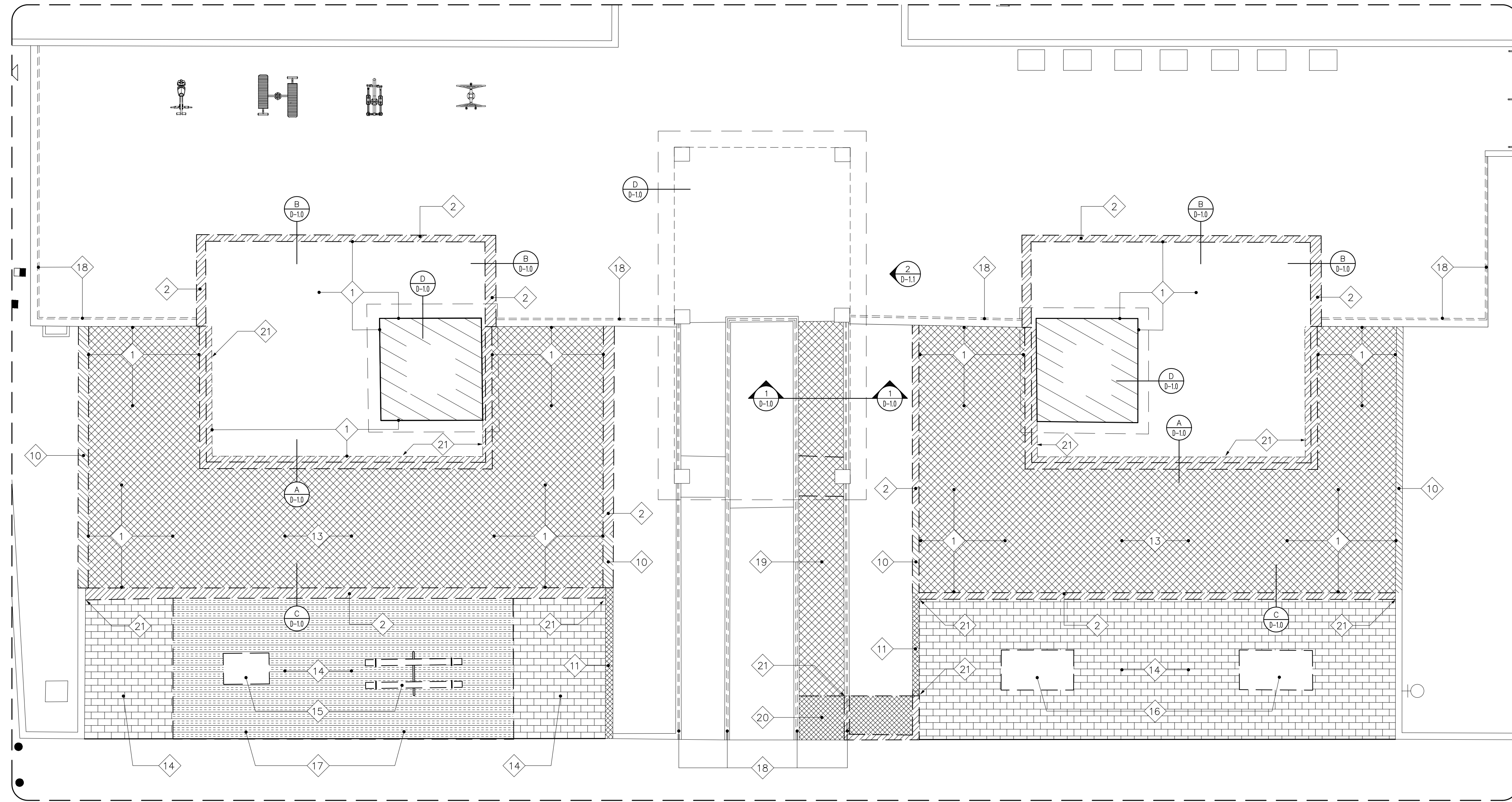
NO.	DATE	REVISION	BY	APPROVED

PROJECT

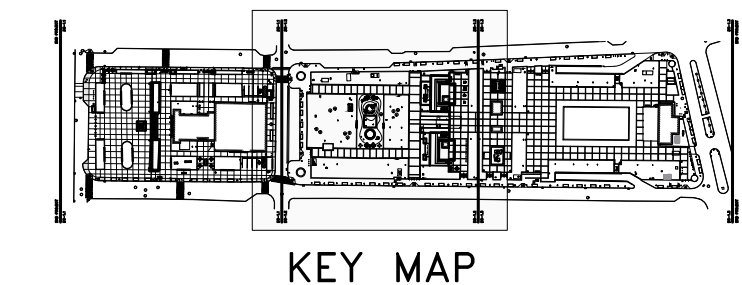
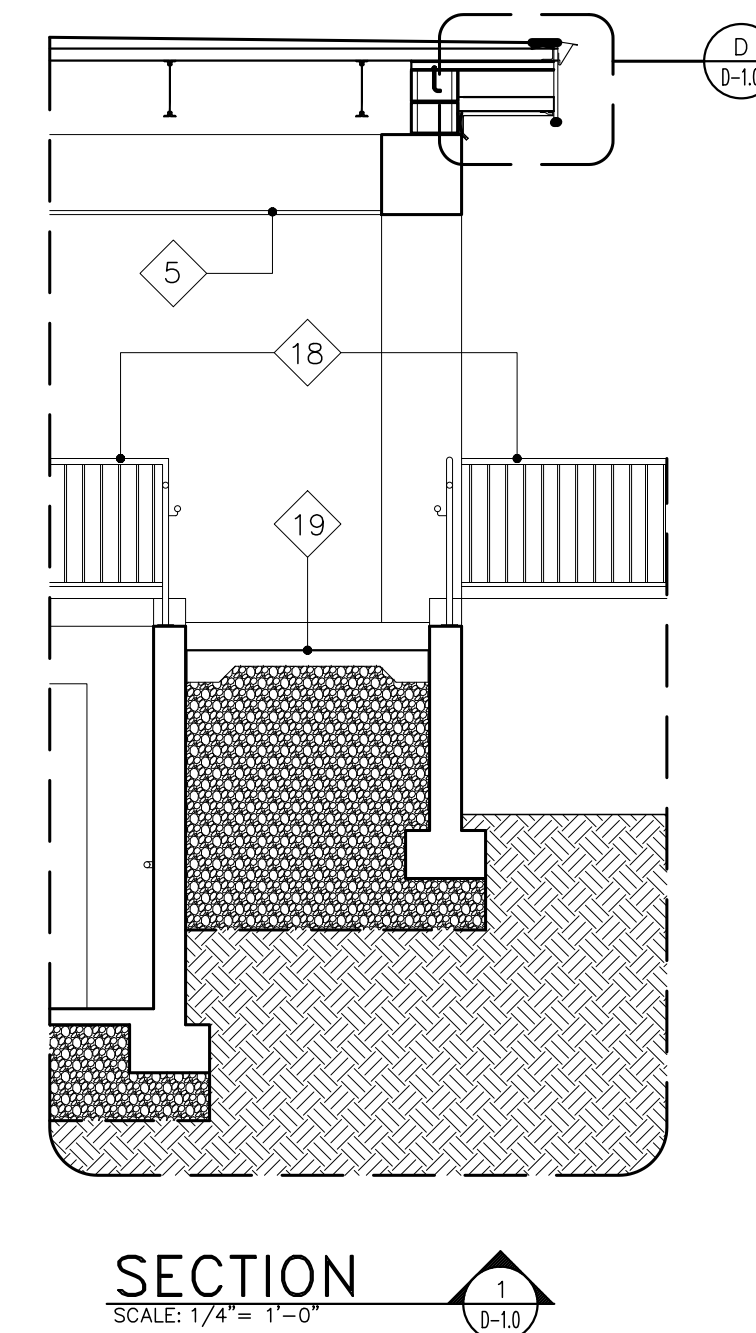
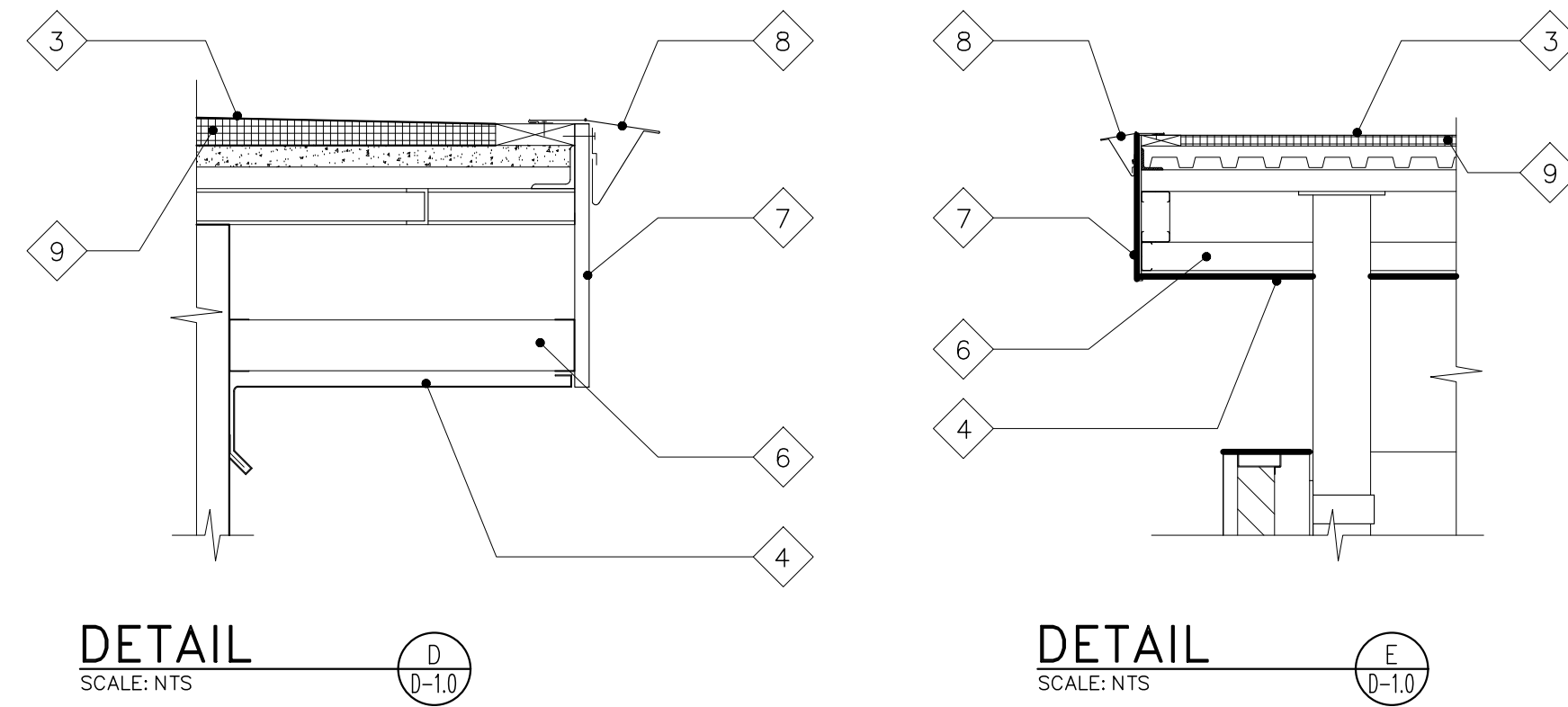
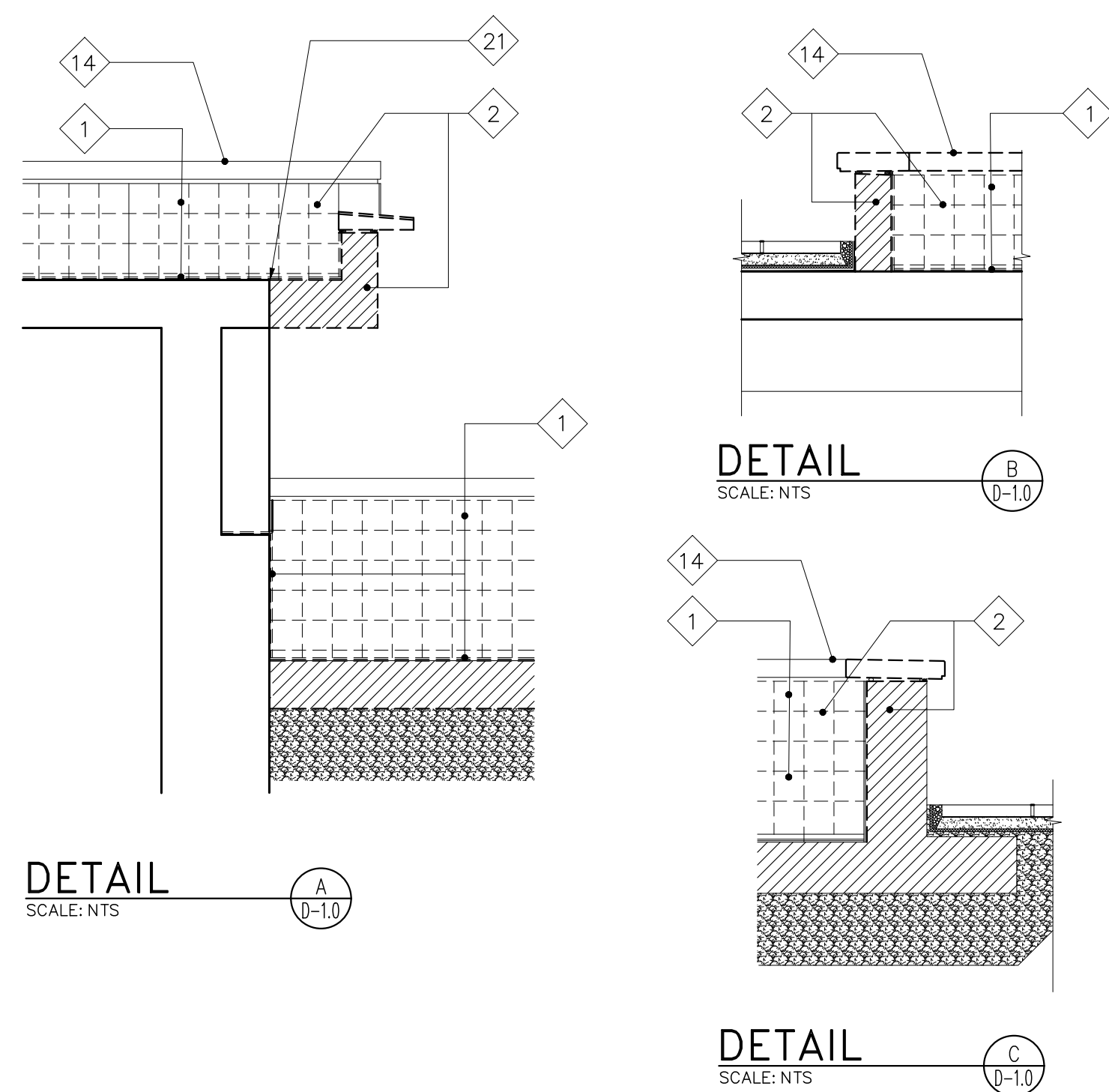
DRAWING BY/CHECKED BY
jdd I.H.

NUMBER	TOTAL
31	62

DRAWING NUMBER
AB-4.0



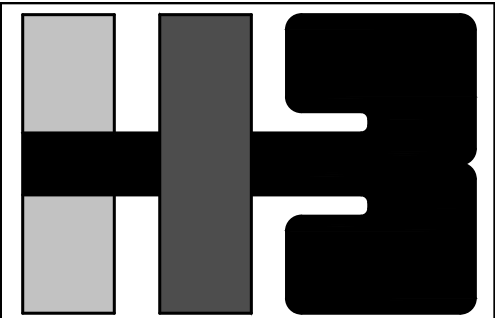
EXISTING GAZEBO RAMP AREA DEMOLITION FLOOR PLAN
SCALE: 1/8" = 1'-0"



LEGEND:

SYMBOL	DESCRIPTION
[Hatched pattern]	EXISTING SLAB PORTION TO BE DEMOLISHED
[Hatched pattern]	EXISTING GRANITE STONE TO BE REMOVED & REUSED
[Hatched pattern]	EXISTING LOW-WALL PORTION TO BE DEMOLISHED
[Hatched pattern]	EXISTING LOW-WALL PORTION TO BE LOWERED
[Hatched pattern]	EXISTING PAVERS TO BE REMOVED
[Hatched pattern]	EXISTING ARTIFICIAL GRASS TO BE REMOVED

- ANNOTATIONS:**
- 1 REMOVE EXISTING TILES ON FOUNTAIN FLOOR & WALLS.
 - 2 REMOVE EXISTING GRANITE STONE TO BE REUSED & RELOCATED, AND DEMOLISH EXISTING CONC. LOW WALL.
 - 3 EXISTING WATER PROOFING MEMBRANE TO BE REMOVED.
 - 4 EXISTING PERFORATED STAINLESS STEEL PANEL TO BE REMOVED, CLEANED ACCORDING TO SECTION 050100 (RESTORATION OF METALS) OF TECH SPECS, AND REINSTALLED
 - 5 EXISTING PLYWOOD LAMINATE TO BE REMOVED.
 - 6 EXISTING METAL STUB TO BE REMOVED
 - 7 EXISTING WOOD PANEL TO BE REMOVED WHERE OCCURS
 - 8 EXISTING CLAD STAINLESS STEEL ROOF EDGE TO BE REMOVED, CLEANED ACCORDING TO SECTION 050100 (RESTORATION OF METALS) OF TECH SPECS, AND REINSTALLED
 - 9 EXISTING TAPERED INSULATION TO BE REMOVED
 - 10 REMOVE EXISTING GRANITE STONE TO BE REUSED & RELOCATED, AND LOWER EXISTING CONC. LOW WALL UNTIL LEVEL WITH ADJACENT.
 - 11 REMOVE EXISTING GRANITE STONE TO BE REUSED & RELOCATED.
 - 12 DEMOLISH EXISTING PAVER PORTION FOR NEW ADA RAMP EXTENSION.
 - 13 DEMOLISH EXISTING CONCRETE SLAB
 - 14 CAREFULLY REMOVE EXISTING GRANITE STONE TO BE REUSED
 - 15 CAREFULLY REMOVE EXISTING PLAYGROUND EQUIPMENT TO BE RELOCATED
 - 16 CAREFULLY REMOVE EXISTING CONCRETE EQUIPMENT TO BE RELOCATED
 - 17 REMOVE EXISTING PLAYGROUND ARTIFICIAL GRASS FLOORING
 - 18 REMOVE EXISTING RAILINGS TO BE REPLACED
 - 19 SCARIFY EXISTING CONCRETE RAMP TO BE REMODELED.
 - 20 DEMOLISH EXISTING RAMP PORTION TO BE REMODELED.
 - 21 SAW CUT EXISTING LOW-WALL PORTION. PATCH AS REQUIRED.



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OWNER
 AUTONOMOUS MUNICIPALITY OF SAN JUAN

PROJECT

IMPROVEMENTS OF "PLAZA DE LA CONVALESCENCIA" AND "PLAZA DEL PILAR"

DRAWING NAME

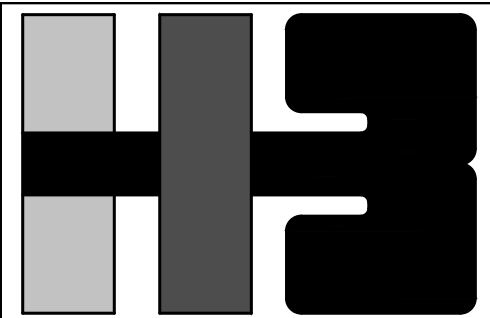
EXISTING BUILDING A DEMOLITION FLOOR PLAN

COMPUTER PLOT

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1	3/1/24		L.R.	L.H.

PROJECT	
DRAWING BY/CHECKED BY	
jdd	I.H.
NUMBER	TOTAL
32	62
DRAWING NUMBER	
D-1.0	



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AND "PLAZA DEL PILAR"

DRAWING NAME
EXISTING BUILDING A
DEMOLITION, REFLECTED
CEILING, ROOF PLAN & DETAILS

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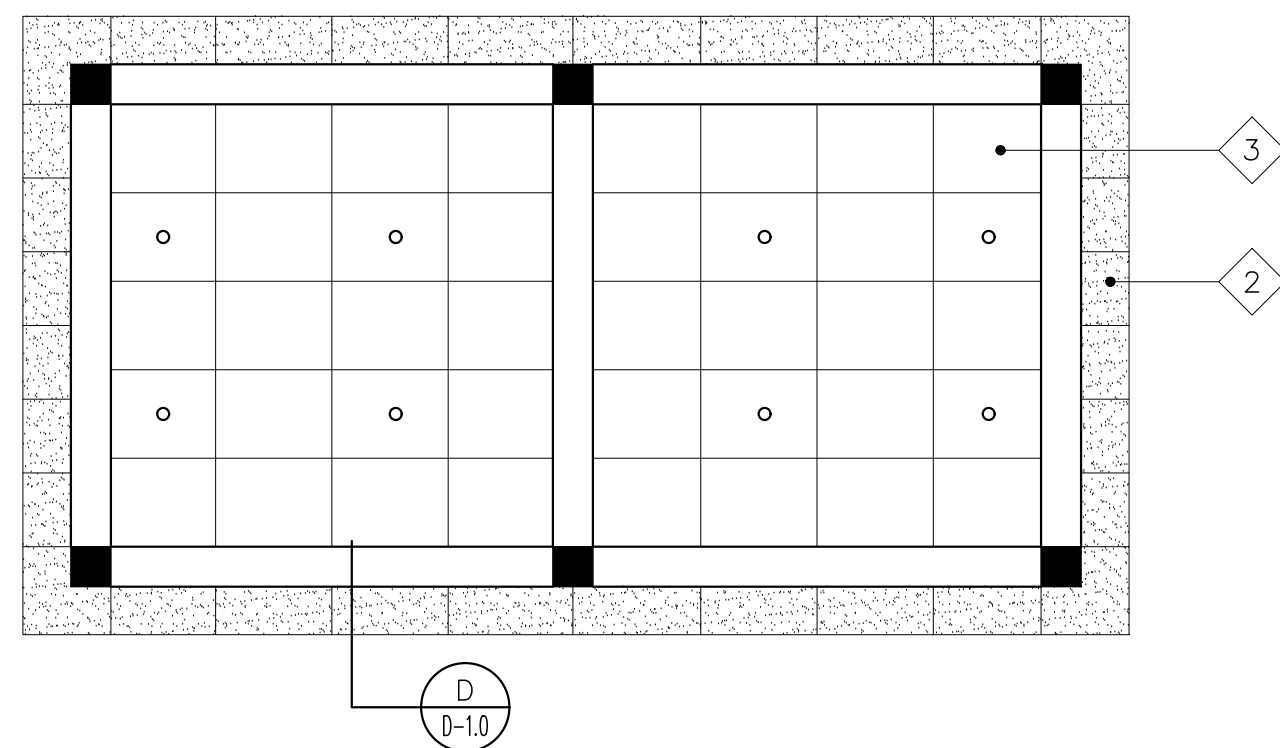
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L.R.C. I.H.

NUMBER	TOTAL
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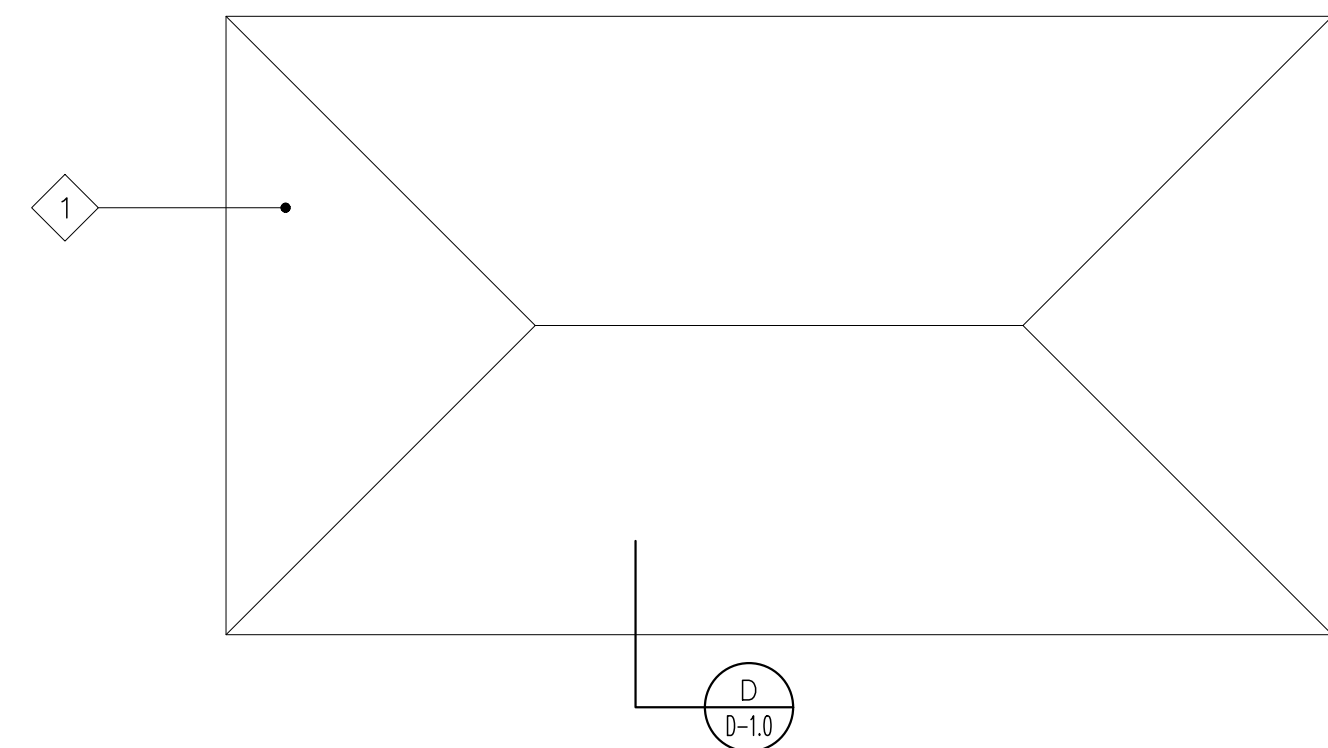
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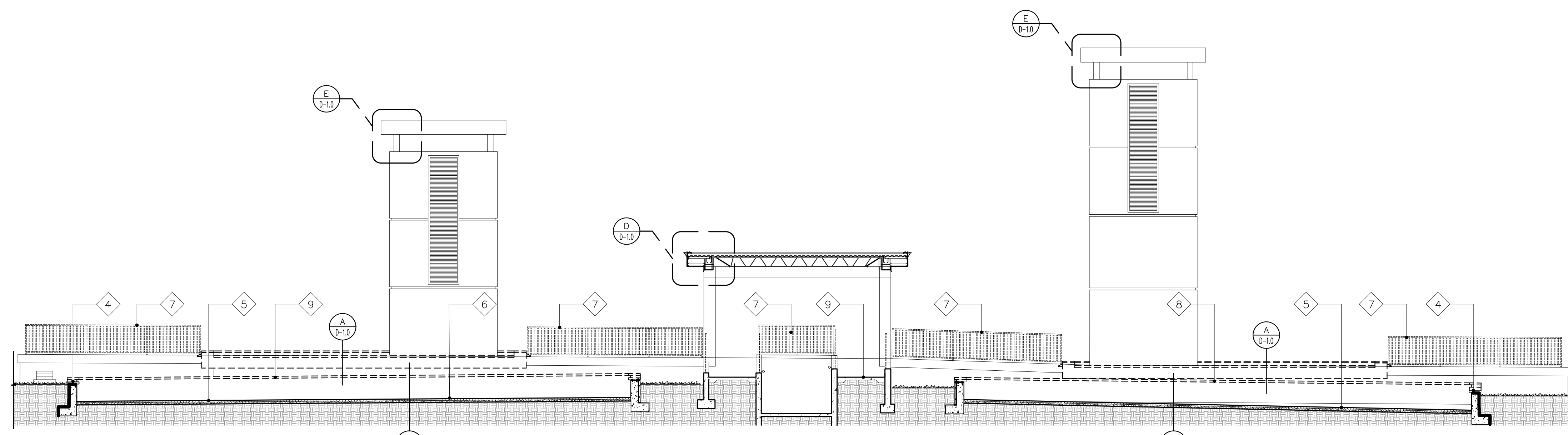
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- 5 DEMOLISH EXISTING PAVERS
- 6 REMOVE EXISTING PLAYGROUND FLOORING
- 7 REMOVE EXISTING RAILINGS TO BE REPLACED
- 8 REMOVE EXISTING GRANITE STONE TO BE REUSED & RELOCATED, AND DEMOLISH EXISTING CONC. LOW WALL.
- 9 SCARIFY EXISTING CONCRETE RAMP TO BE REMODELED.
- 10 DEMOLISH EXISTING RAMP PORTION TO BE REMODELED.



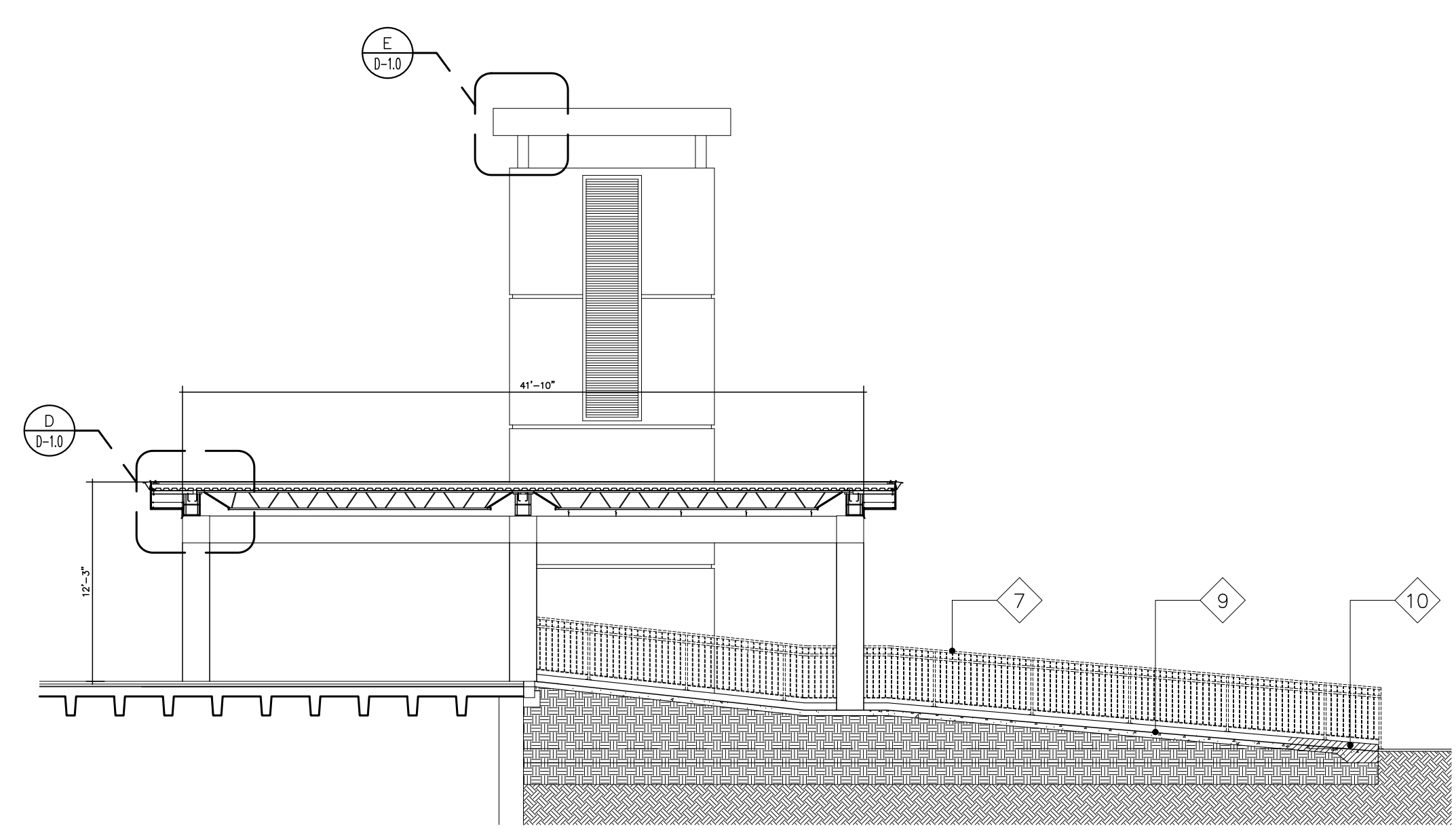
EXISTING GAZEBO RAMP REFLECTING
CEILING DEMOLITION FLOOR PLAN
SCALE: 1/8" = 1'-0"



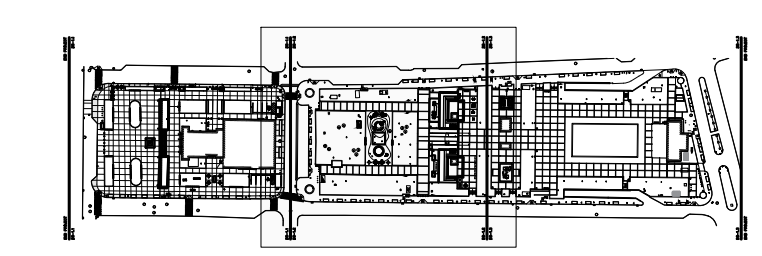
EXISTING GAZEBO RAMP ROOF
DEMOLITION FLOOR PLAN
SCALE: 1/8" = 1'-0"



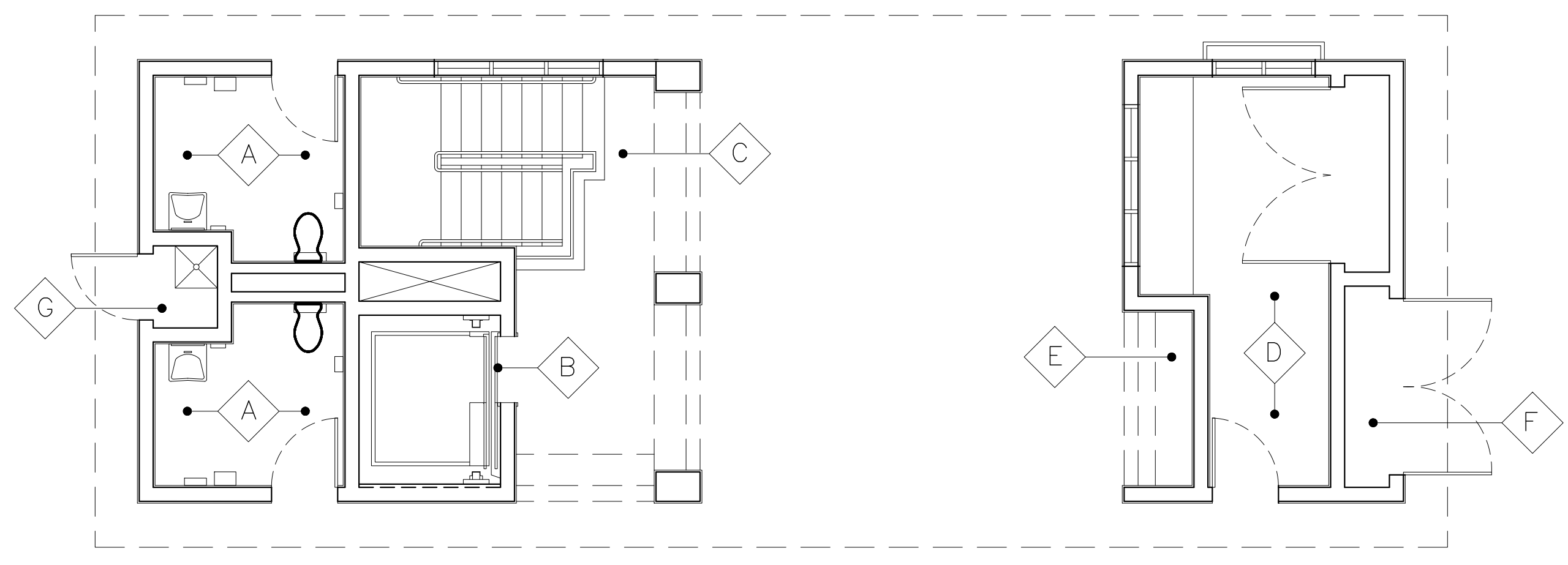
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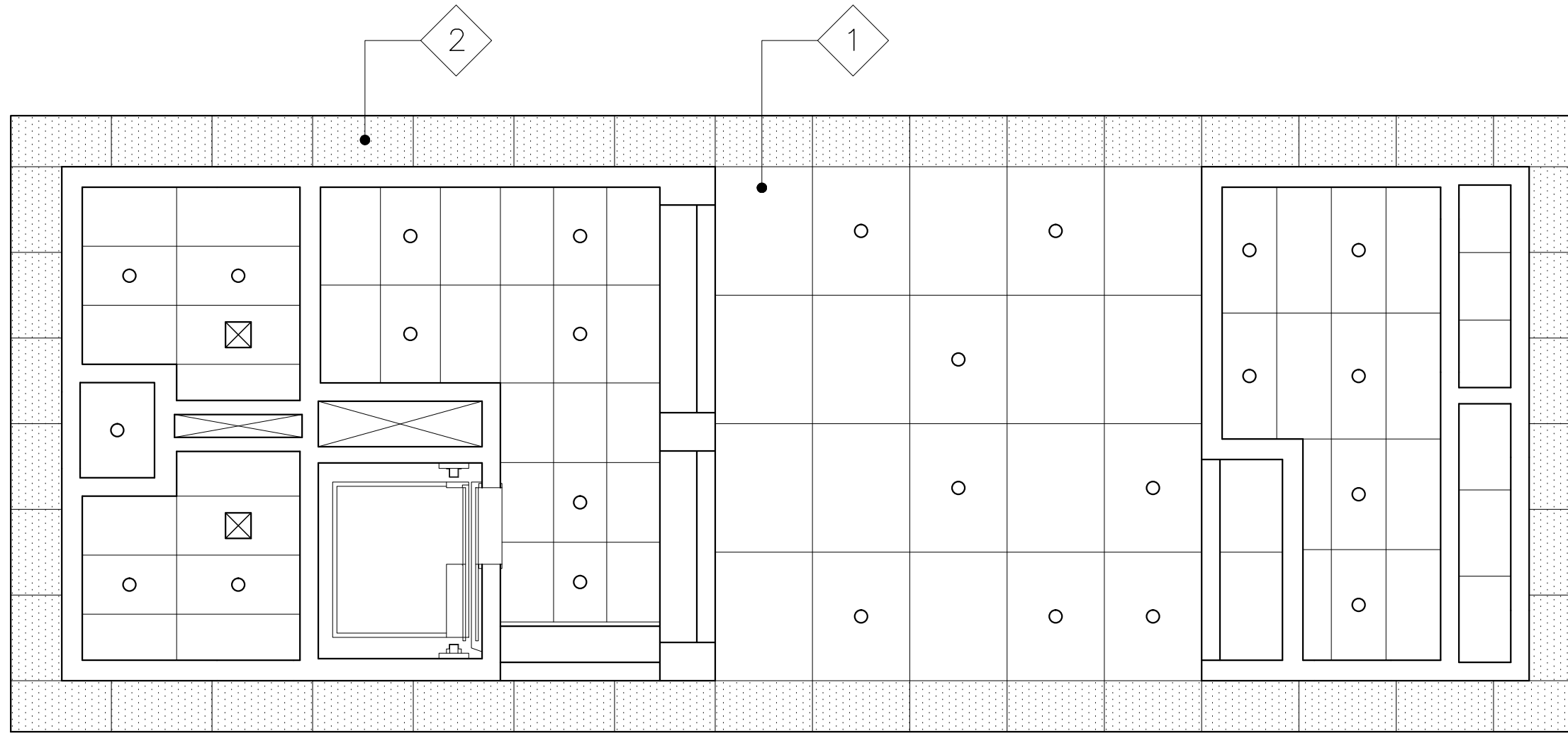


KEY MAP



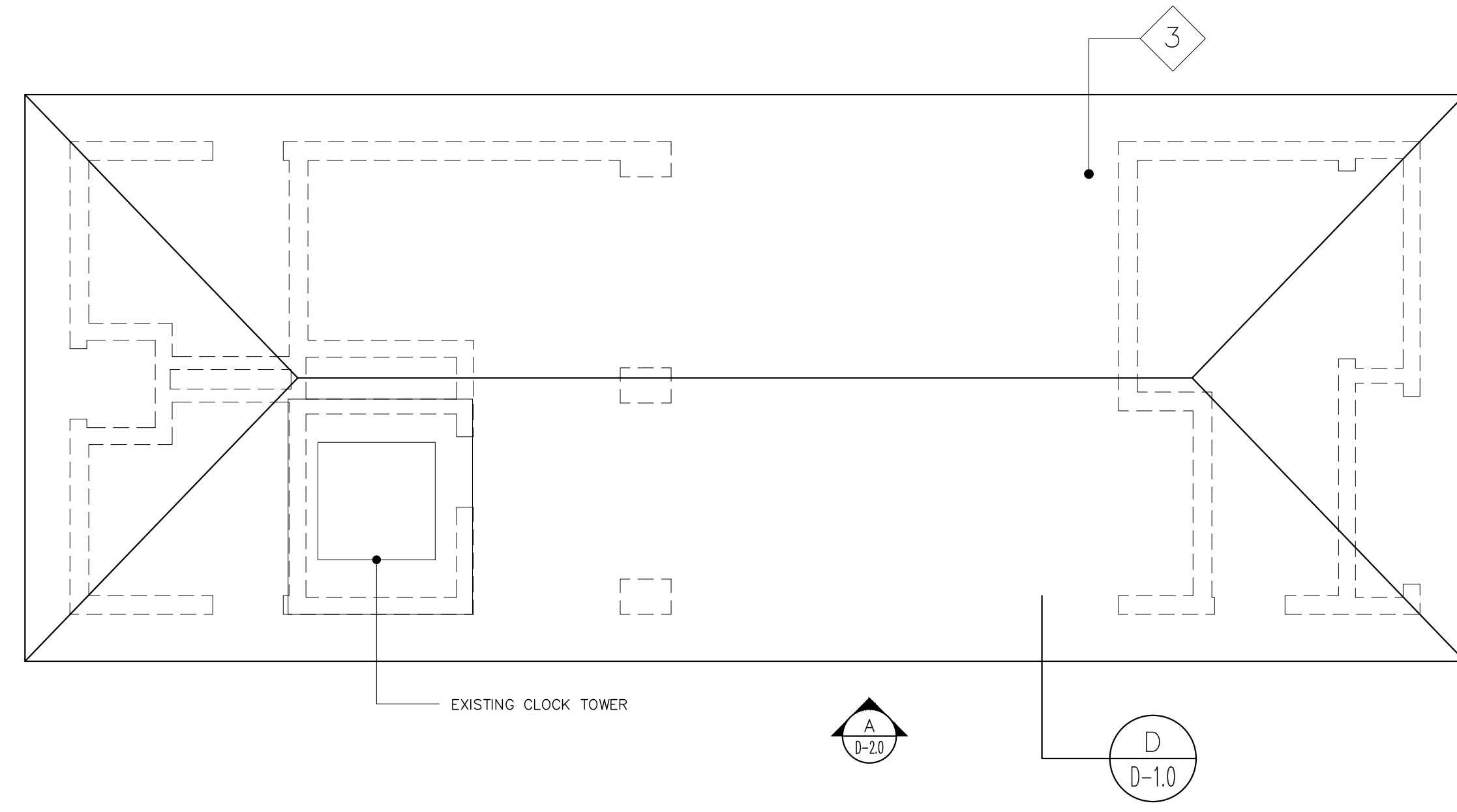
EXISTING BUILDING B FLOOR PLAN

SCALE: 3/16" = 1'-0"



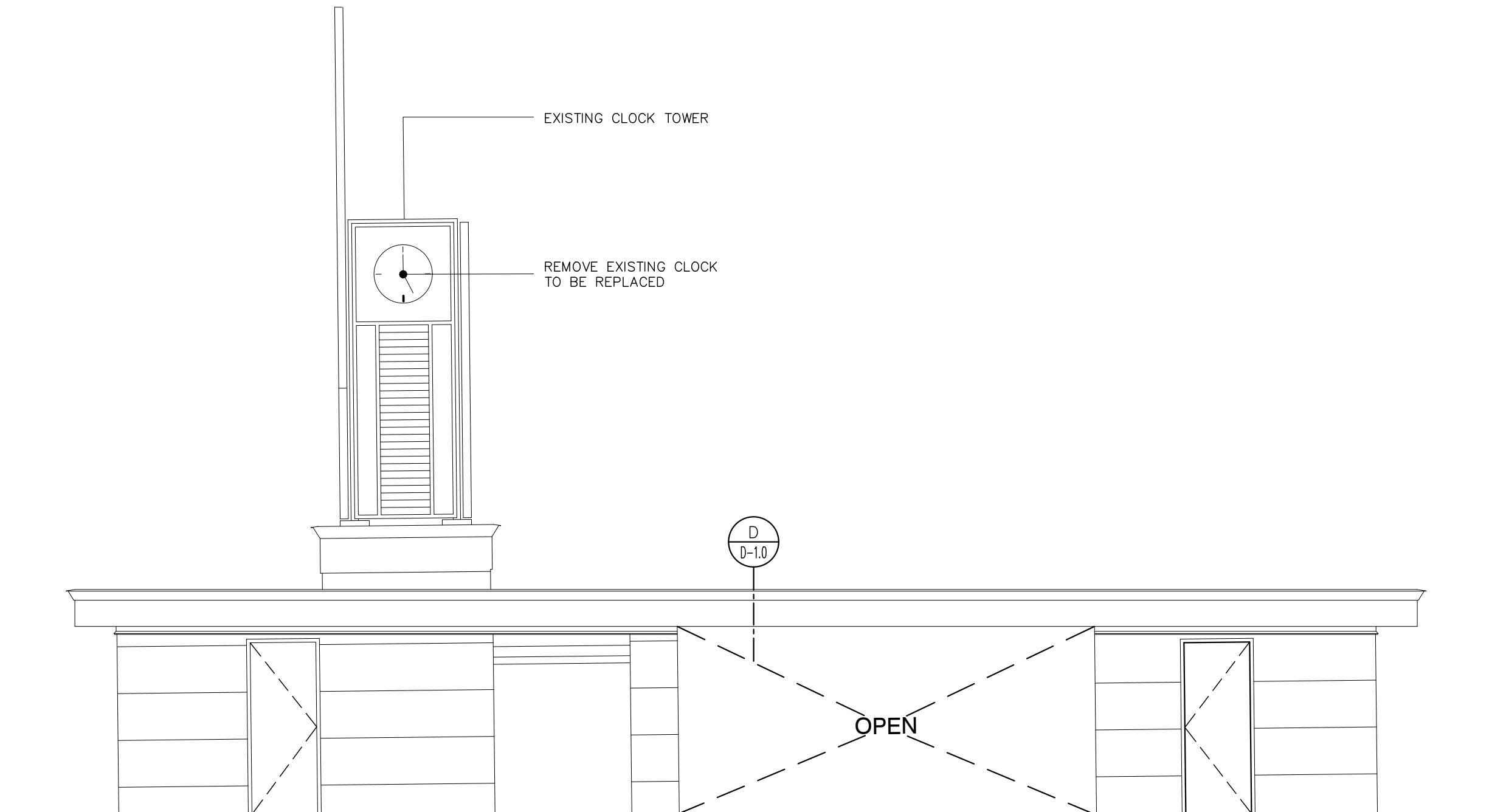
EXISTING BUILDING B REFLECTED CEILING

SCALE: 3/16" = 1'-0"



EXISTING BUILDING B ROOF PLAN

SCALE: 3/16" = 1'-0"

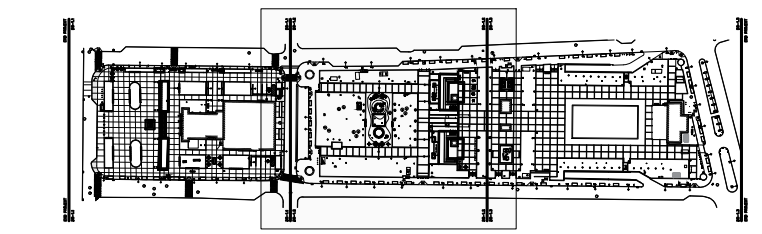


EXISTING BUILDING B ELEVATION

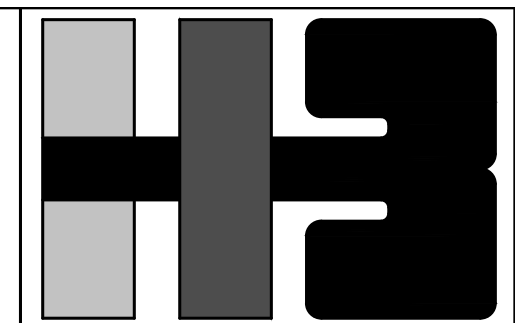
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LEGEND:

- 1 EXISTING PLYWOOD LAMINATE TO BE REMOVED
- 2 EXISTING PERFORATED STAINLESS STEEL PANEL TO BE REMOVED, CLEAN ACCORDING TO SECTION 050100 (RESTORATION OF METALS) OF TECH SPECS, AND REINSTALLED
- 3 EXISTING WATER PROOFING MEMBRANE TO BE REMOVED
- A BATHROOMS: REMOVE EXISTING MIRROR, DOORS AND HARDWARE AND PROPERLY DISPOSED.
- B ELEVATOR: CLEAN EXISTING DOOR...
- C STAIR: CLEAN EXISTING STAIR, REMOVE EXISTING BROKEN FIX GLASS WINDOW
- D OFFICE: REMOVE AND PROPERLY DISPOSE EXISTING WALL PACK A/C UNIT, CLEAN EXISTING OFFICE AREA.
- E TICKET MACHINE AREA: CLEAN EXISTING AREA...
- F ELECTRIC ROOM: REMOVE AND PROPERLY DISPOSED EXISTING DOOR AND HARDWARE.
- G JANITOR: REMOVE AND PROPERLY DISPOSED EXISTING DOOR AND HARDWARE.



KEY MAP



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DRAWING NAME
 EXISTING BUILDING B DEMOLITION, REFLECTED CEILING AND ROOF PLAN

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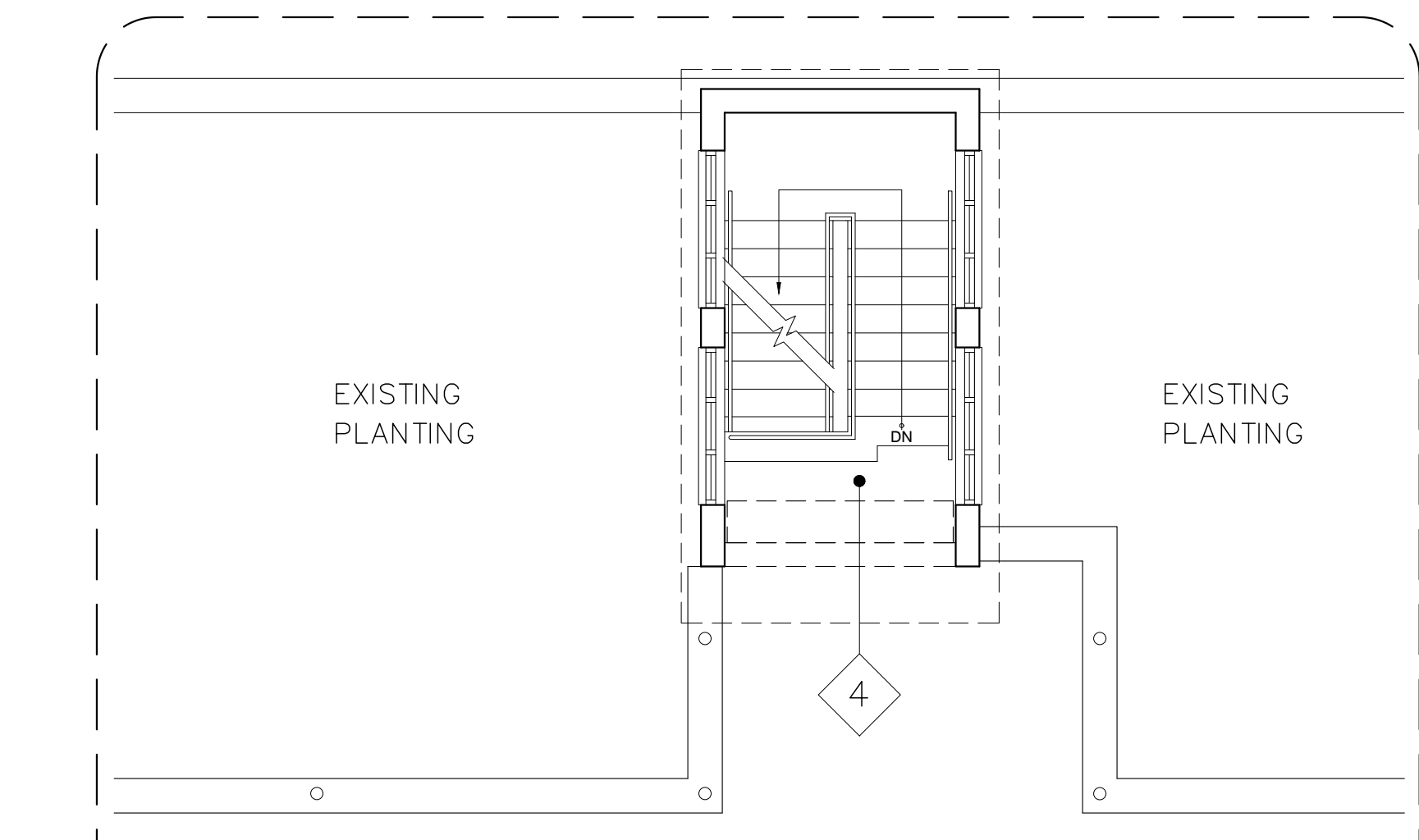
NO.	DATE	REVISION	BY	APPROVED

PROJECT

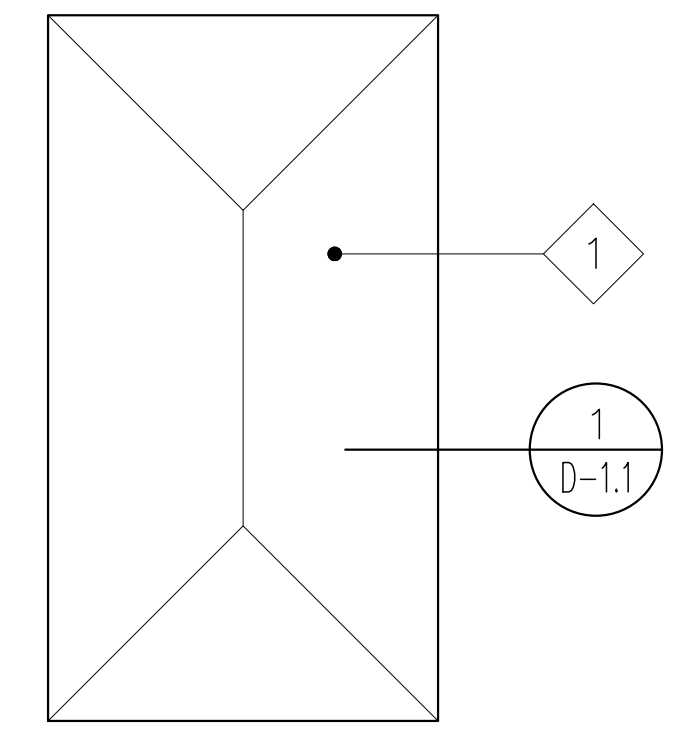
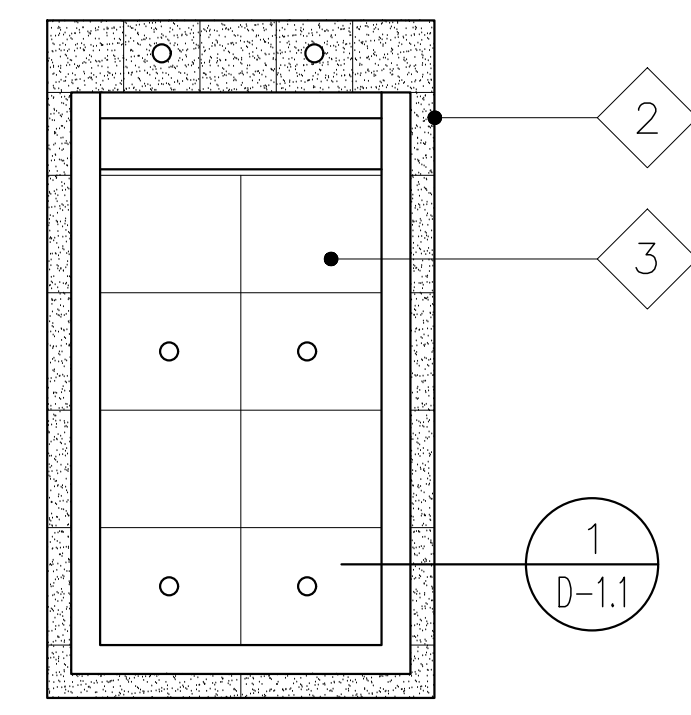
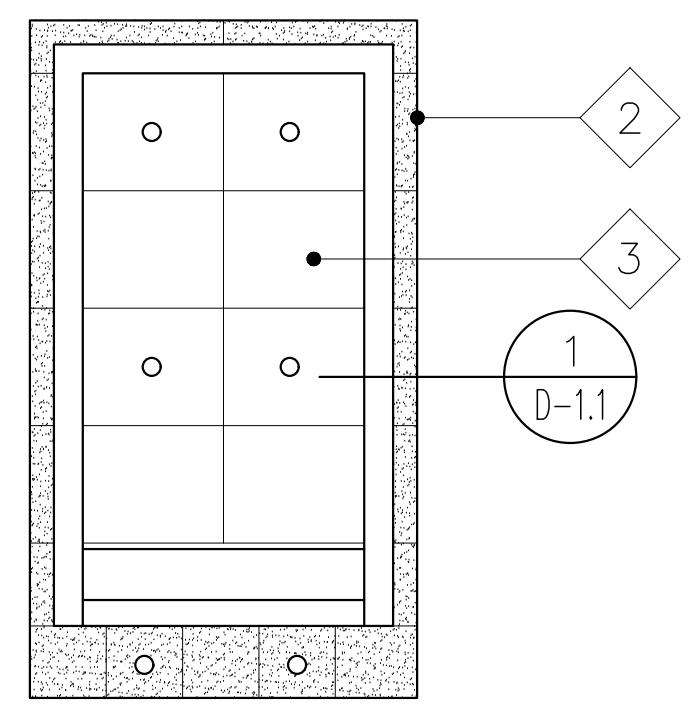
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 LRC I.H.

NUMBER	TOTAL
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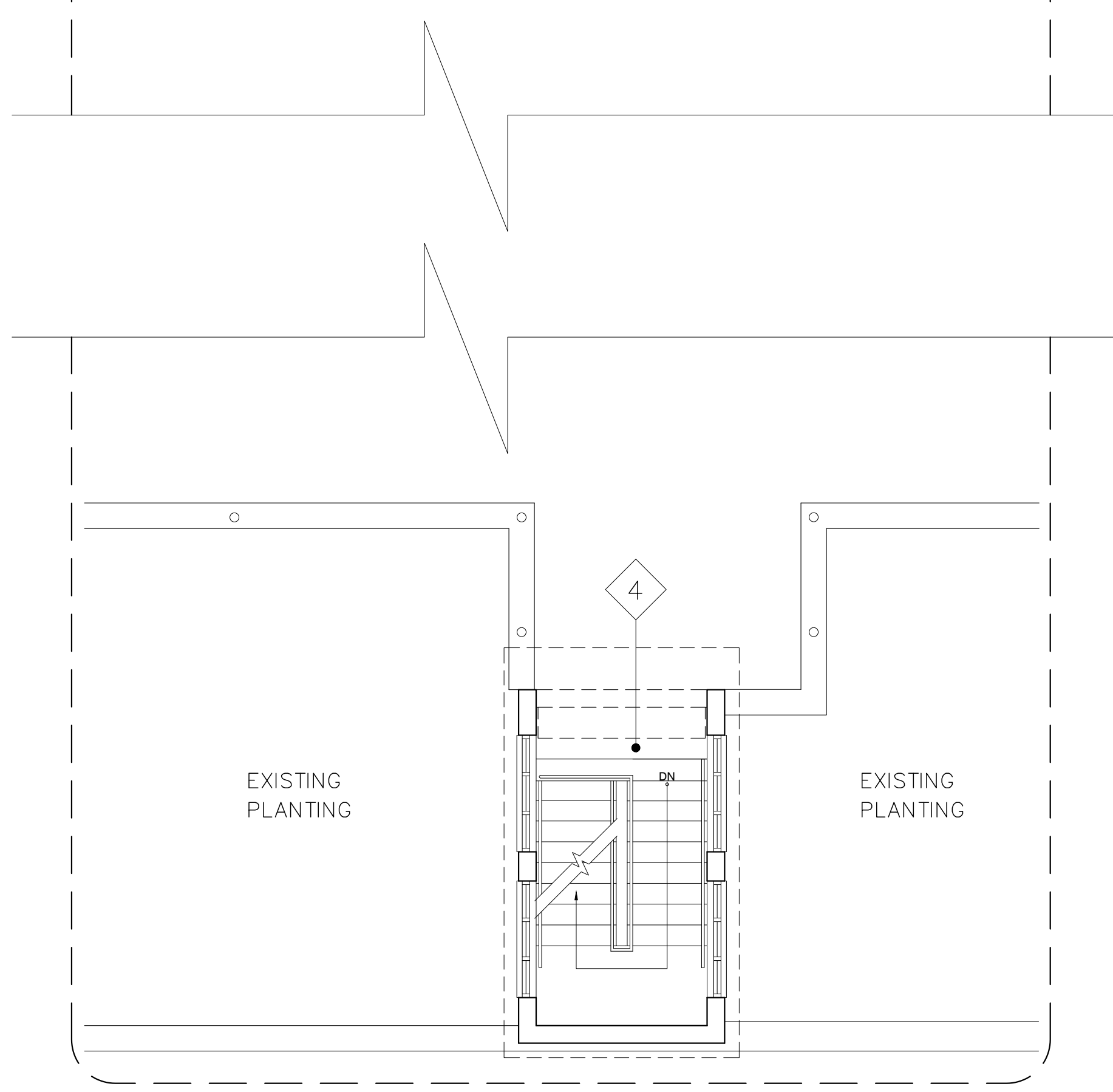
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EXISTING BUILDING C DEMOLITION REFLECTED CEILING
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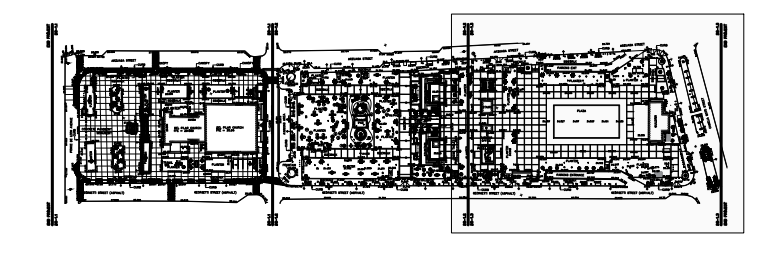


EXISTING BUILDING A DEMOLITION ROOF PLAN
SCALE: 3/16" = 1'-0"

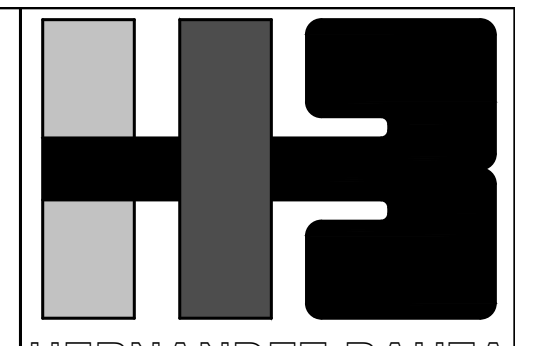


EXISTING BUILDING C DEMOLITION FLOOR PLAN
SCALE: 3/16" = 1'-0"

- LEGEND:**
- 1 EXISTING WATER PROOFING MEMBRANE TO BE REMOVE
 - 2 EXISTING PERFORATED STAINLESS STEEL PANEL TO BE REMOVE, CLEAN ACCORDING TO SECTION ----- OF TECH SPECS, TO REINSTALL
 - 3 EXISTING PLYWOOD LAMINATED TO BE REMOVE AND PROPERLY DISPOSE
 - 4 STAIR: CLEAN EXISTING STAIR, REMOVE EXISTING BROKEN FIX GLASS WINDOW AND PROPERLY DISPOSE



KEY MAP



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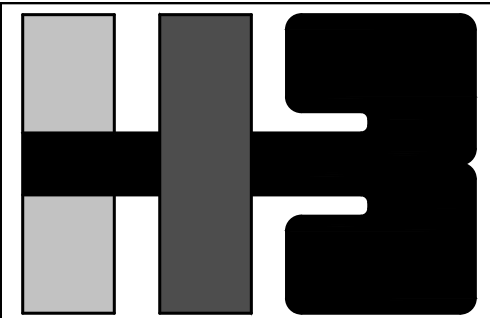
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PROJECT

DRAWING BY/CHECKED BY
jdd I.H.

NUMBER	TOTAL
35	62

DRAWING NUMBER
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YO, ISTRA HERNANDEZ, ARQUITECTO LICENCIADO #7399, CERTIFICO QUE SOY EL PROFESIONAL QUE DISEÑO O ESTOS PLANOS Y LAS ESPECIFICACIONES COMPLEMENTARIAS. TAMBIEN CERTIFICO QUE ENTENDO QUE DICHS PLANOS Y ESPECIFICACIONES CUMPLEN CON LAS DISPOSICIONES APPLICABLES DEL REGLAMENTO CONJUNTO Y LAS DISPOSICIONES APPLICABLES DE LOS REGLAMENTOS Y CODIGOS DE CONSTRUCCION VIGENTES DE LAS AGENCIAS, JUNTA REGULADORA DE CORPORACIONES PUBLICAS CON JURISDICCION Y ESTAN EN CONFORMIDAD CON LOS CODIGOS DE CONSTRUCCION DE PUERTO RICO 2008 VIGENTE AL 15 DE NOVIEMBRE DE 2008. CERTIFICO, ADEMAS, QUE EN LA PREPARACION DE ESTOS PLANOS Y ESPECIFICACIONES SE HA CUMPLIDO CABALMENTE CON LO DISPUESTO EN LA LEY NUM. 14 DE 8 DE ENERO DE 2004, SEGUN ENMIENDADA, CONOCIDA COMO LA "LEY PARA LA INVERSION POR LA INDUSTRIA PUERTORRIQUENA" CON LA LEY NUM. 315 DE 15 DE MAYO DE 1938, SEGUN ENMIENDADA; LEY NUM. 96 DE 6 DE JULIO DE 1978, SEGUN ENMIENDADA; SEGUN APRUEBO; RECONOCIENDO QUE CUALQUIER DECLARACION FALSA O FALSIFICACION DE LOS HECHOS QUE SE HAYA PRODUCIDO POR DESCONOCIMIENTO O POR NEGLIGENCIA YA SEA POR MI, MIS AGENTES O EMPLEADOS, O POR OTROS PERSONAS CON MI CONOCIMIENTO, ME HACER RESPONSABLE DE CUALQUIER ACCION JUDICIAL Y DISCIPLINARIA POR LA OGP.

CLIENT

MANAGER
 DEPT. OF URBAN DESIGN AND PROJECT DEVELOPMENT, MASJ.

OWNER
 AUTONOMOUS MUNICIPALITY OF SAN JUAN

PROJECT

IMPROVEMENTS OF "PLAZA DE LA CONVALESCENCIA" AND "PLAZA DEL PILAR"

DRAWING NAME

EXISTING BUILDING A PROPOSED FLOOR PLAN, SECTIONS & DETAILS

COMPUTER PLOT

THIS DRAWING WAS DRAFTED ON A CAD SYSTEM ALL CHANGES OR CORRECTIONS MUST BE STRICTLY EXECUTED ON CAD. ANY QUESTIONS PLEASE CONTACT HERNANDEZ-BAUZA

NO.	DATE	REVISION	BY	APPROVED
1	3/1/24		L.R.	L.H.

PROJECT

DRAWN BY / CHECKED BY
 L.R.C. I.H.

NUMBER TOTAL
 36 62

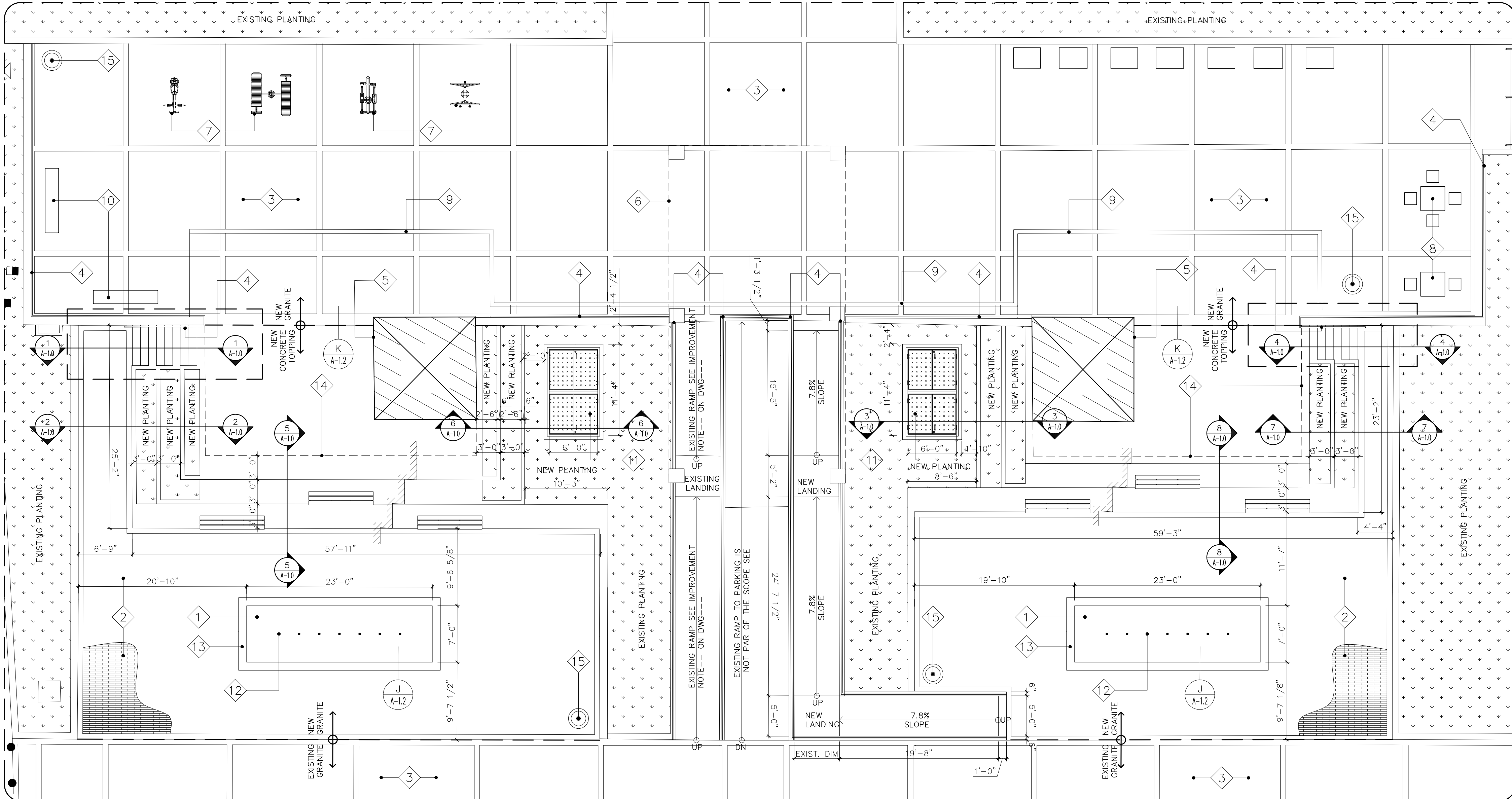
DRAWING NUMBER
 A-1.0

ANNOTATIONS:

- 1 NEW CONCRETE SPLASH PAD.
- 2 NEW CONCRETE PAVER EQUAL OR APPROVED EQUAL TO TABLONCILLO PAVER BY CARMELO.
- 3 EXISTING GRANITE PAVER.
- 4 NEW GALVANIZED STEEL RAILINGS. SEE DETAILS ON DWG. A-1.1.
- 5 EXISTING TOWER 2 & 3 SEE DWG A-1.1 FOR IMPROVEMENT.
- 6 EXISTING GAZEBO RAMP SEE DWG A-1.1 FOR IMPROVEMENT.
- 7 EXISTING TRAINING EQUIPMENT TO BE REPAINTED.
- 8 NEW CONCRETE URBAN FURNITURE EQUAL OR APPROVE EQUAL TO 713 PRECAST, LLC MODEL TE-6
- 9 EXISTING TRENCH DRAIN.
- 10 NEW BENCH EQUAL OR APPROVED EQUAL TO BE-27 BY 713 PRECAST.
- 11 NEW WATER PUMP STORAGE. SEE MECH DWG P-101 & P-500 FOR DETAILS.
- 12 NEW GROUND SPRAY MANIFOLD. SEE MECH DWG P-101 & P-500 FOR DETAILS.
- 13 NEW SPLASH PAD TRENCH DRAIN. SEE MECH DWG P-101 & P-500 FOR DETAILS.
- 14 NEW 3" EXPANSION JOINT WITH BACKER ROD & JOINT FILLER
- 15 NEW TRASH RECEPTACLE EQUAL OR APPROVED EQUAL TO TR-9 MODEL BY 713 PRECAST.

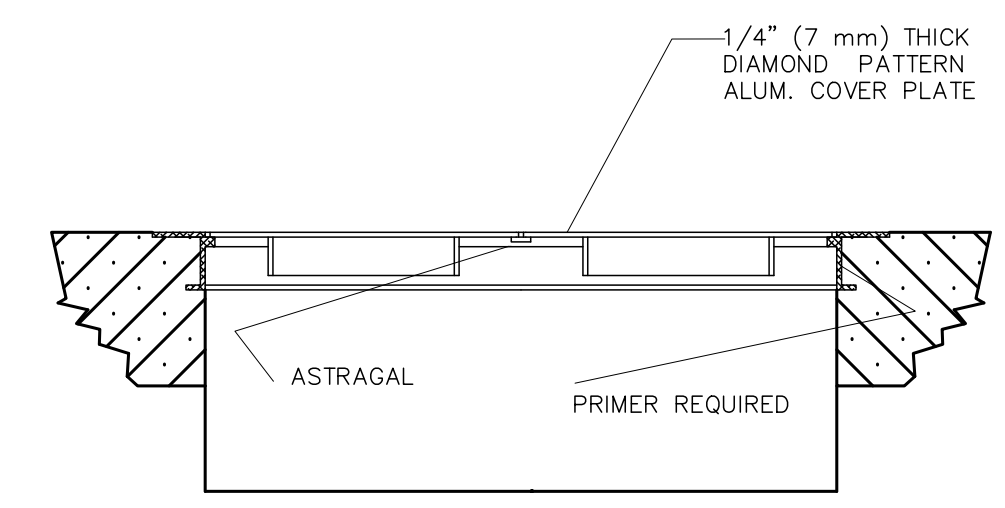
LEGEND:

SYMBOL	DESCRIPTION
◇	ANNOTATION MARKER
○	DETAIL MARKER
⊖	SECTION MARKER
○	NEW TRASH RECEPTACLE
□	NEW BIKE RACKS
○	NEW BOLLARDS
▨	STRUCTURAL FILL
▩	TOP SOIL
▧	PLANTING AREA
▦	NEW PAVER AREA

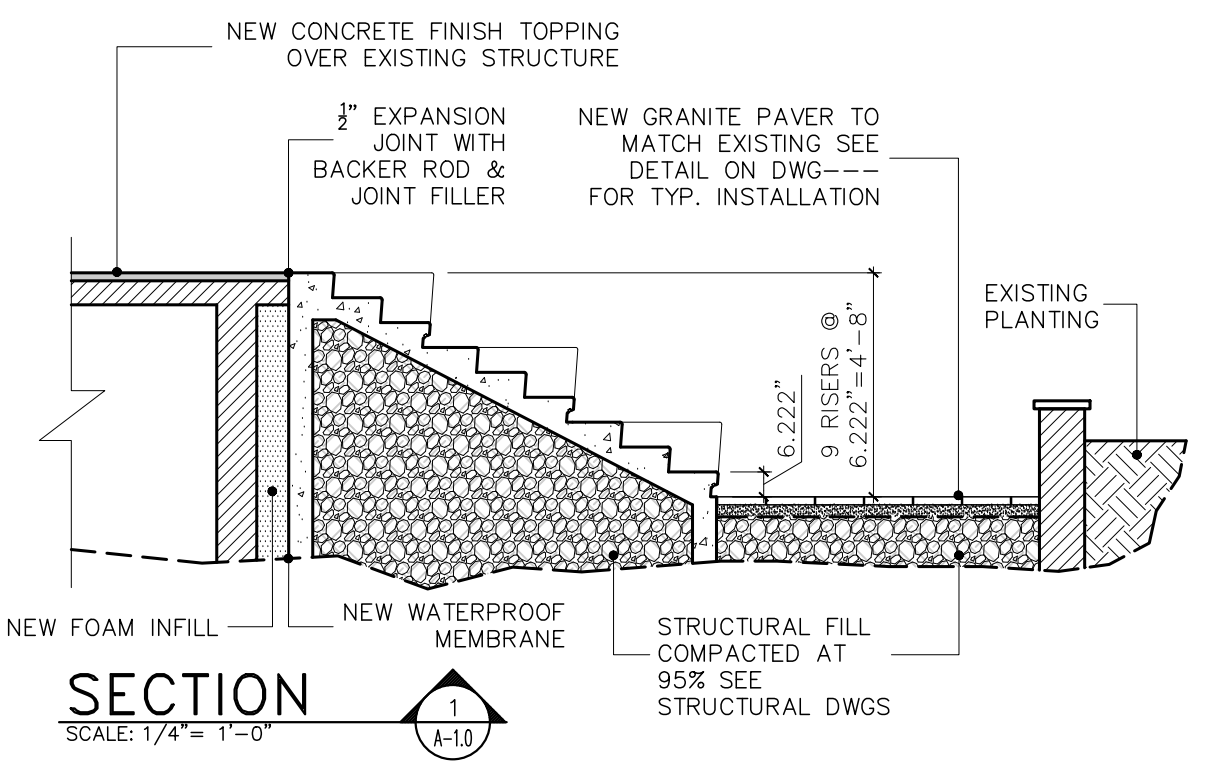


SPLASH PARK AREA BLOW-UP
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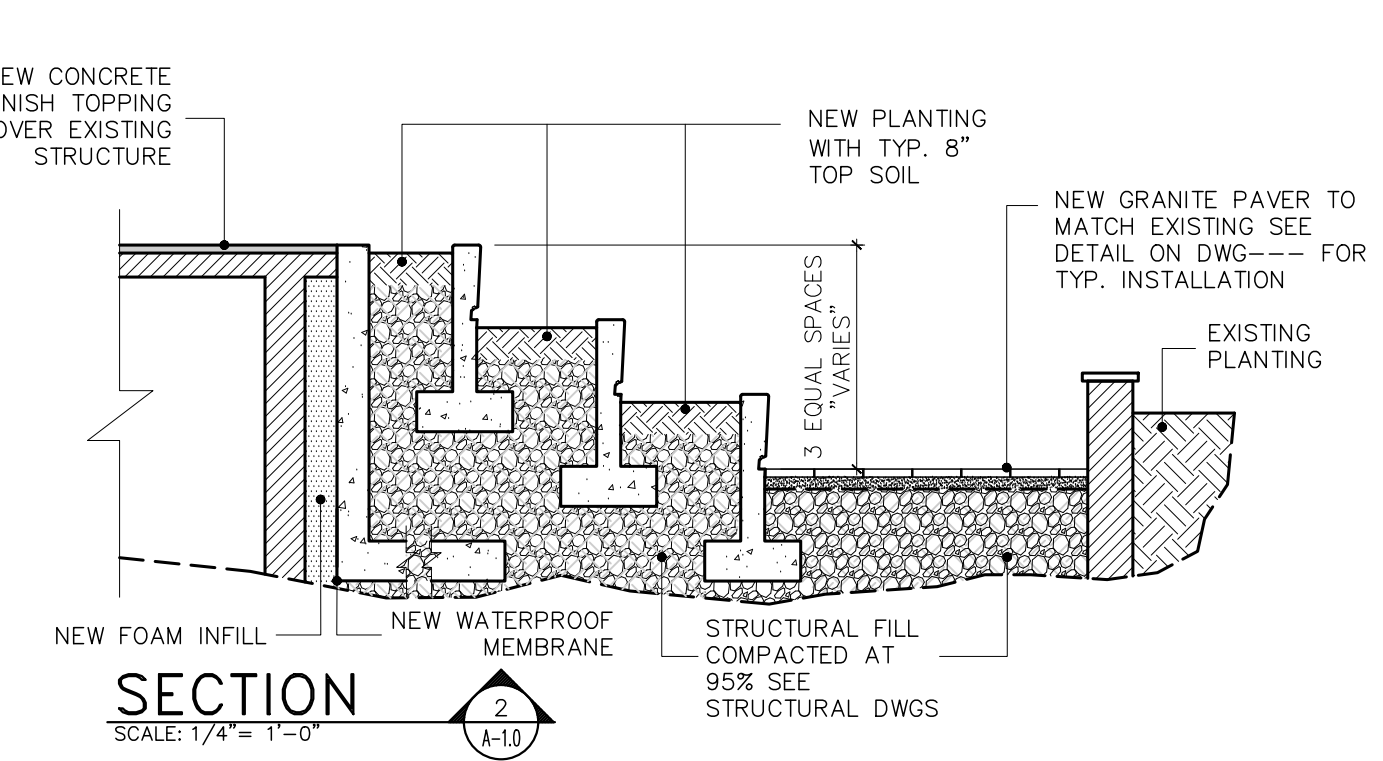
* NOTE: FOR ALL NEW CONCRETE WORK, PLEASE REFER TO STRUCTURAL DWG'S IN SECTION S-1.0 TO S-2.2



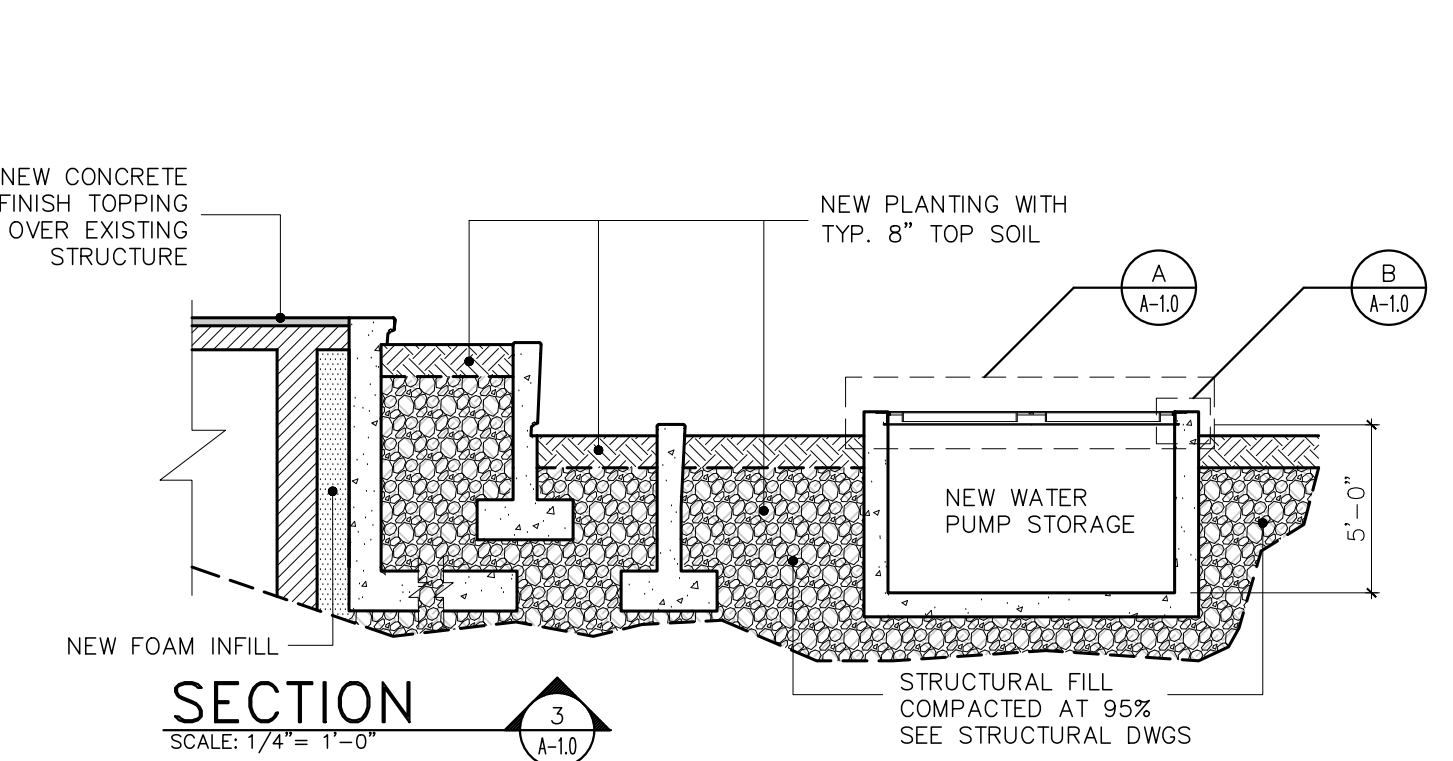
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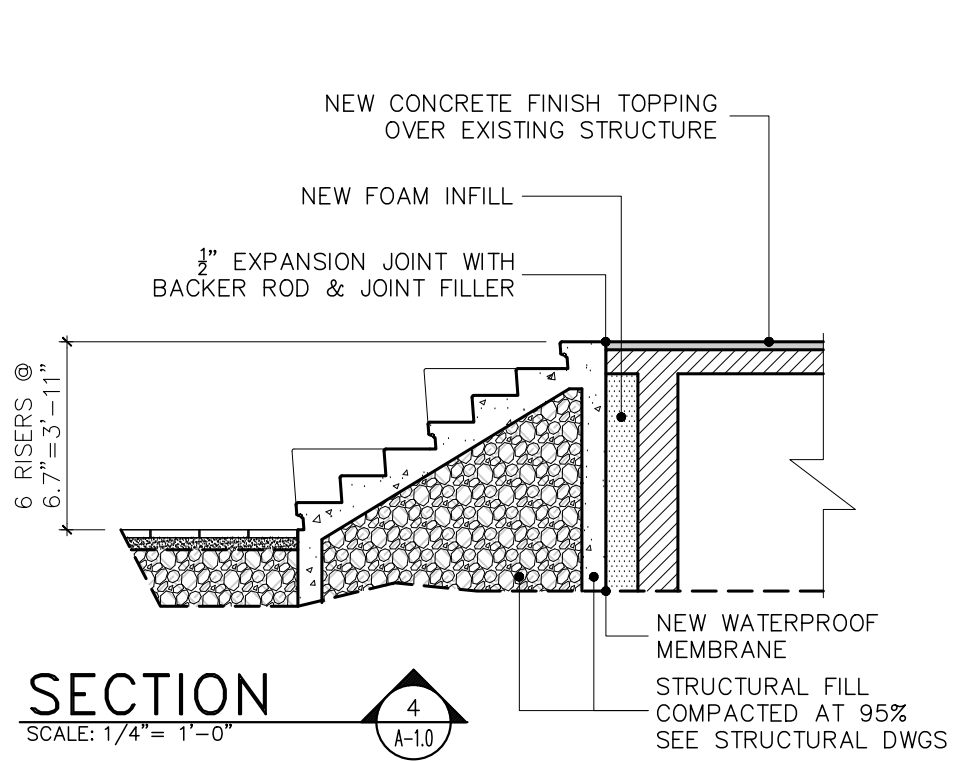
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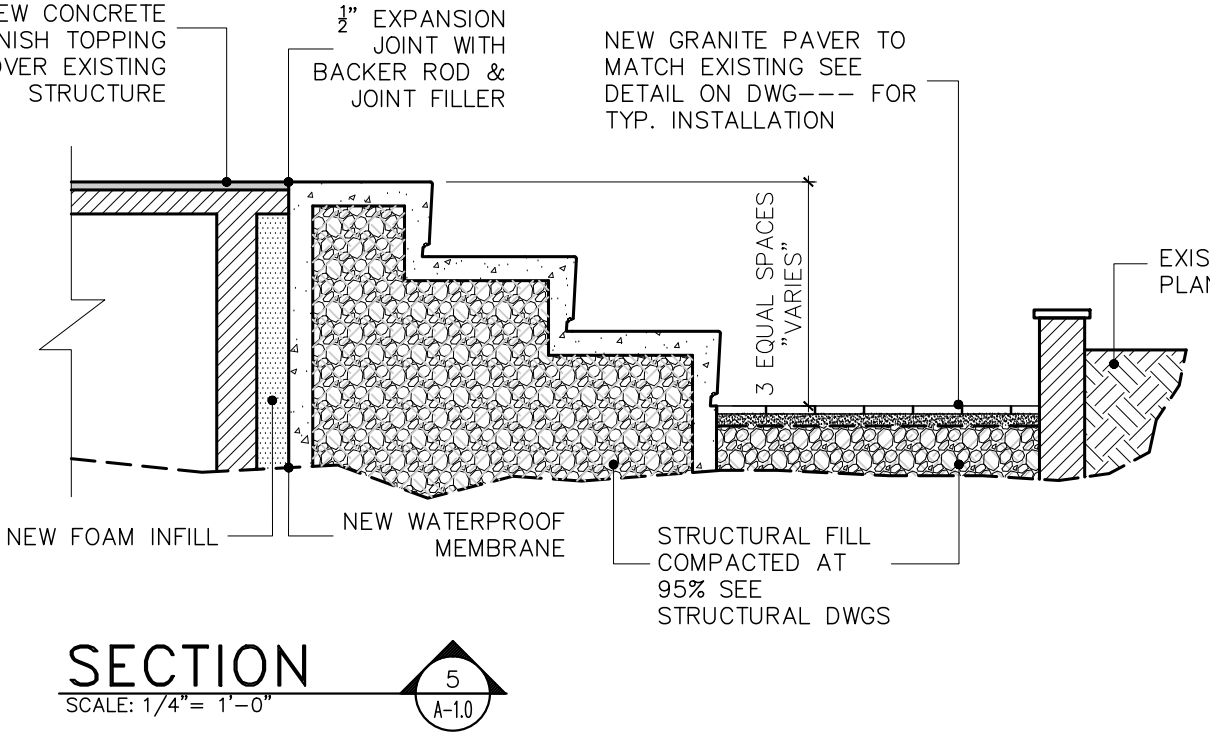
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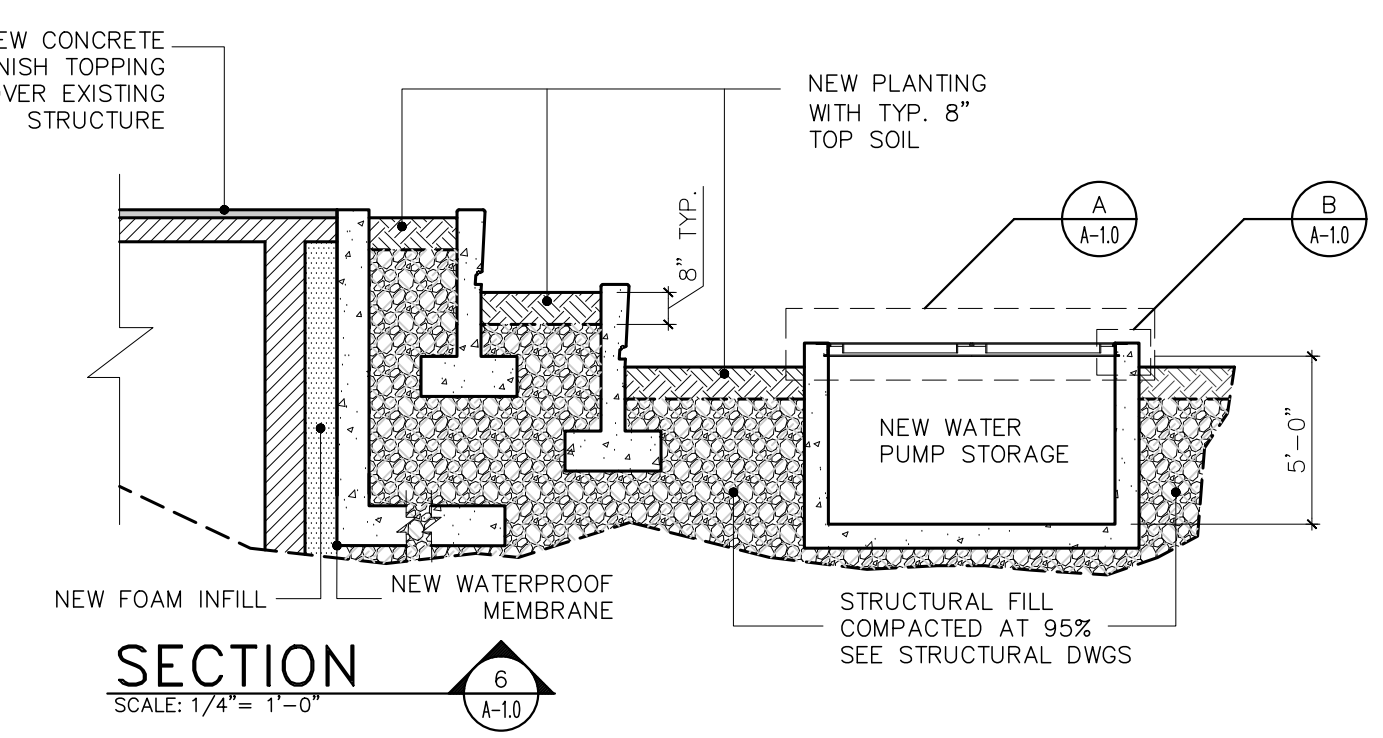
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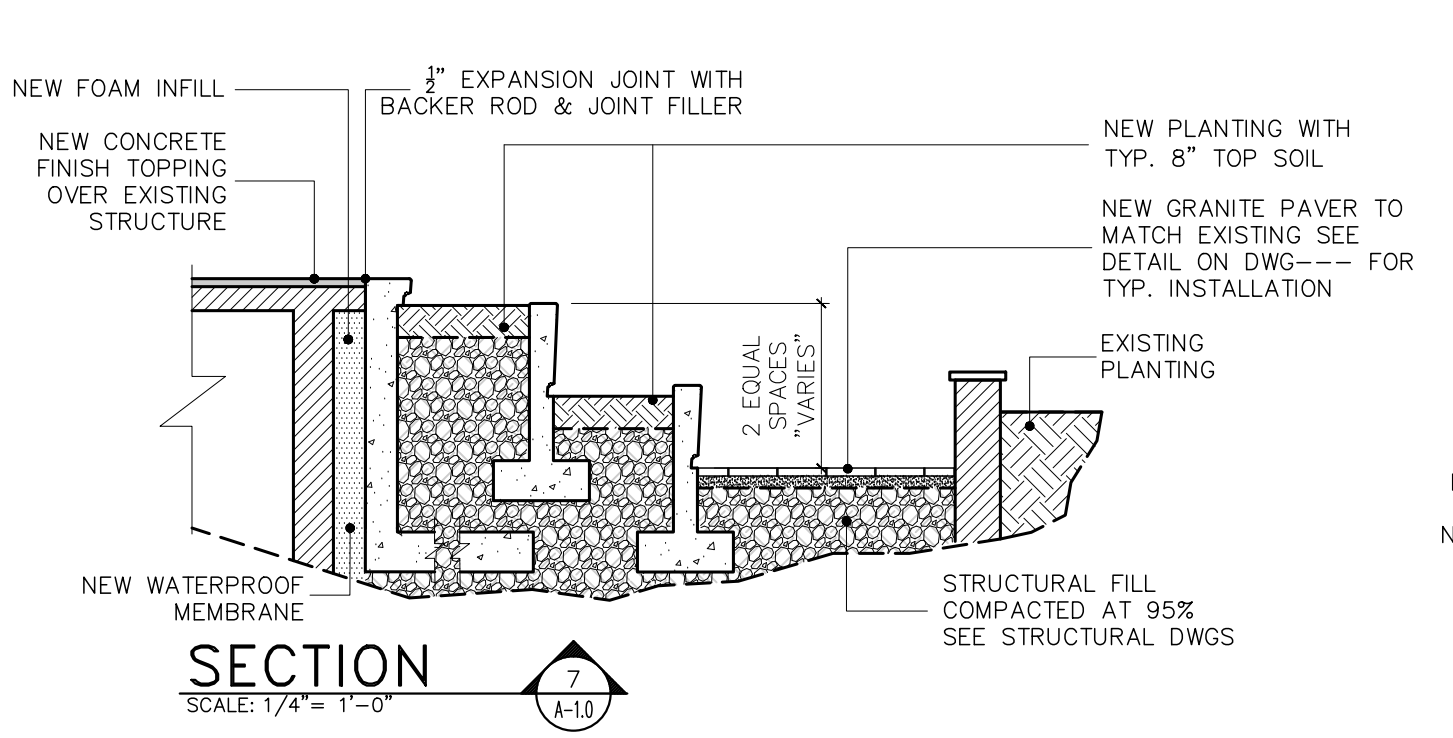
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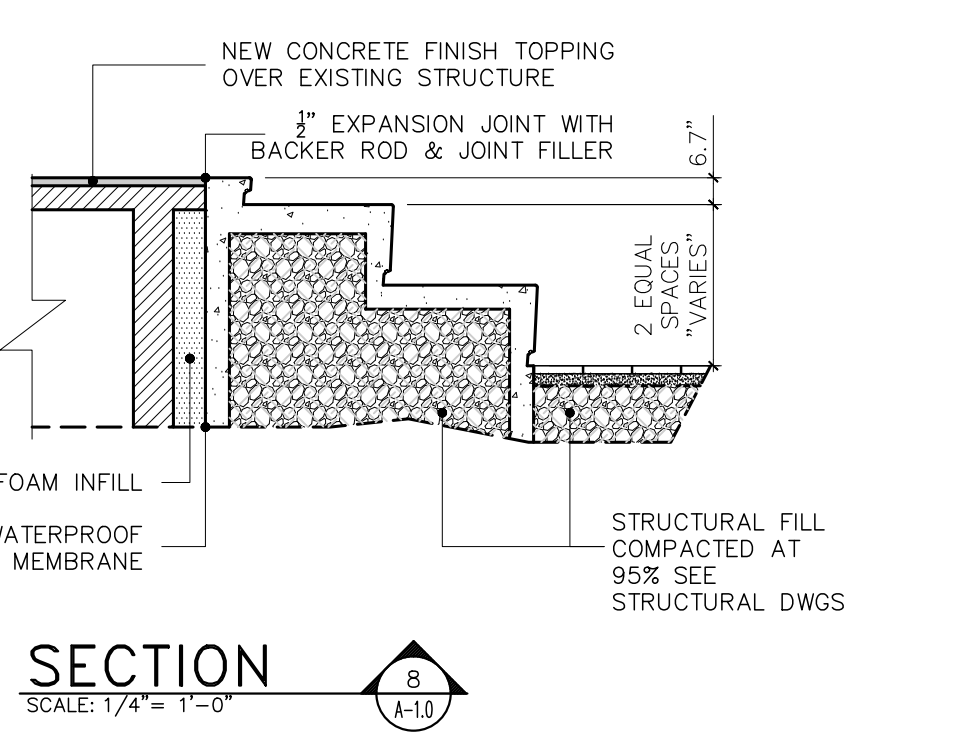
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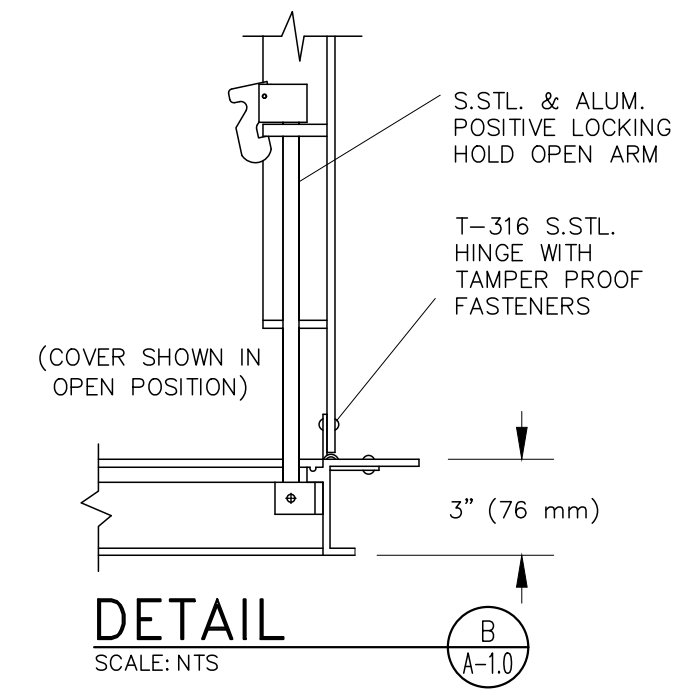
SECTION 6
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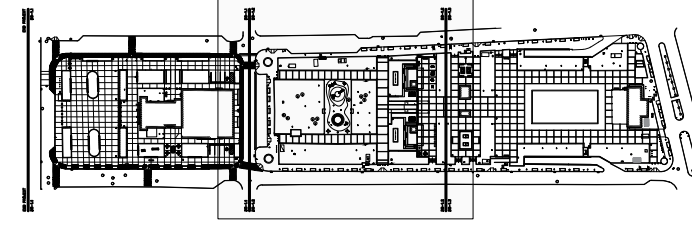
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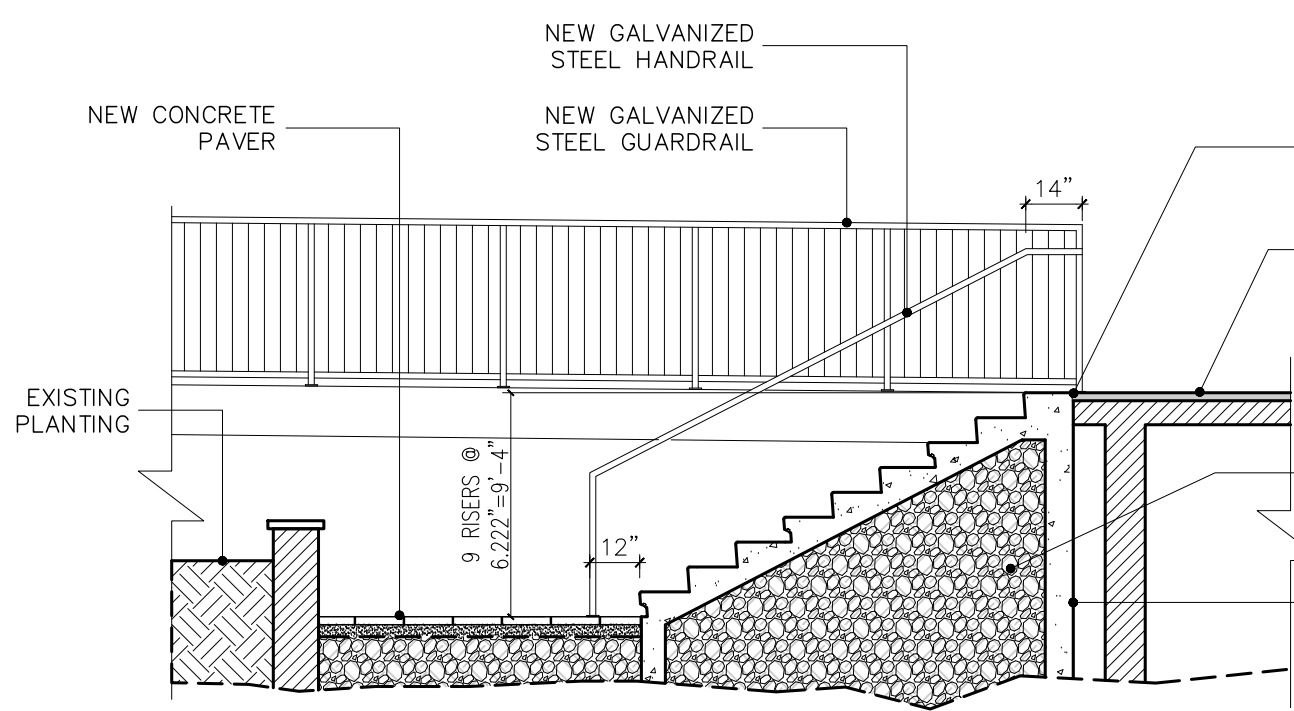
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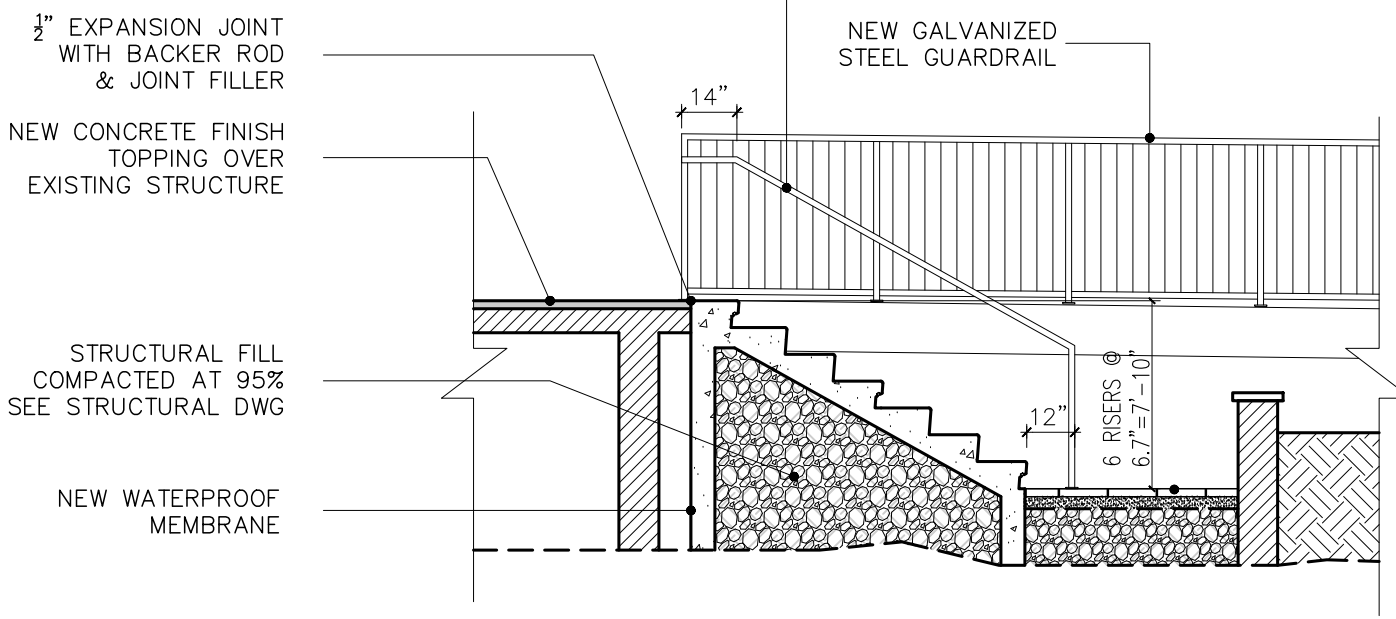
DETAIL
 SCALE: NTS



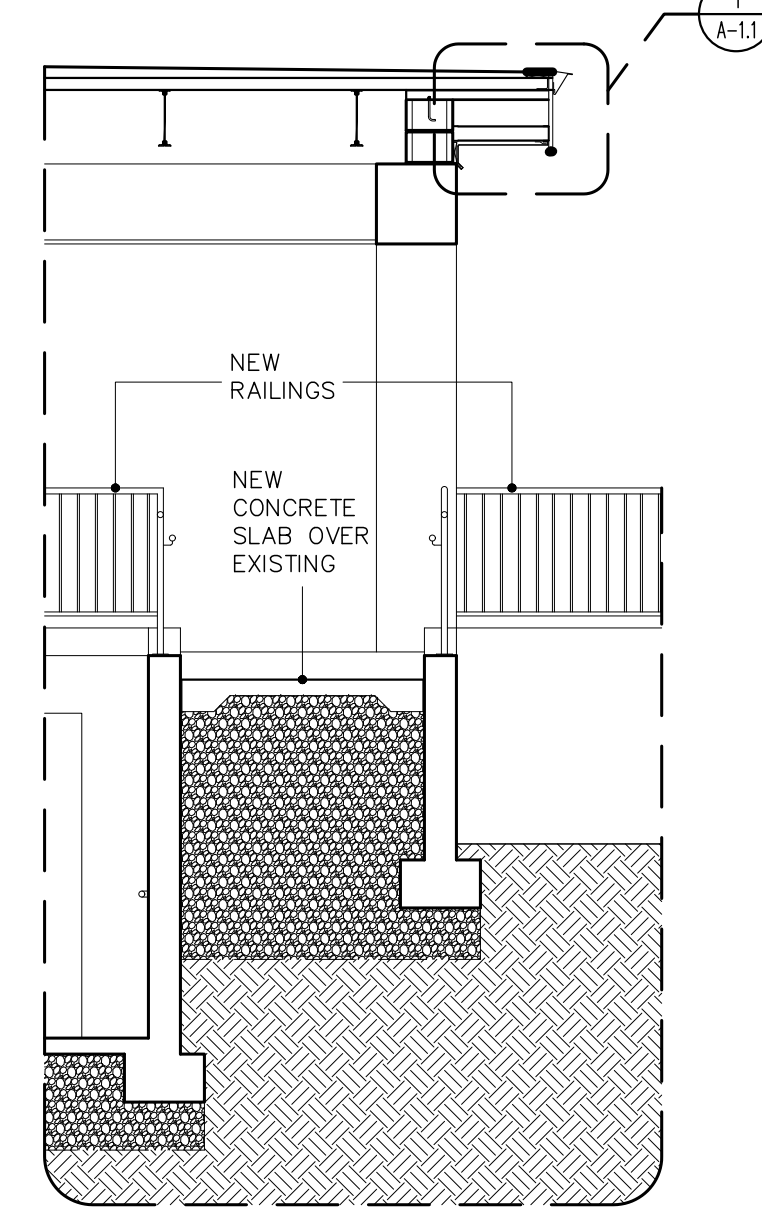
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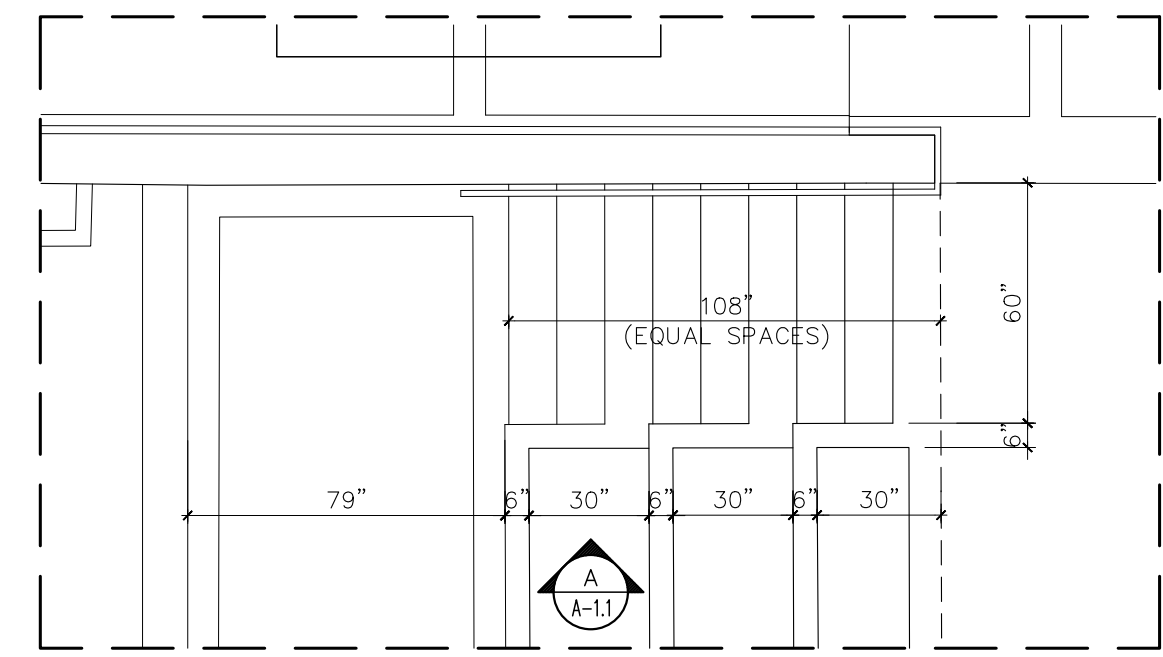
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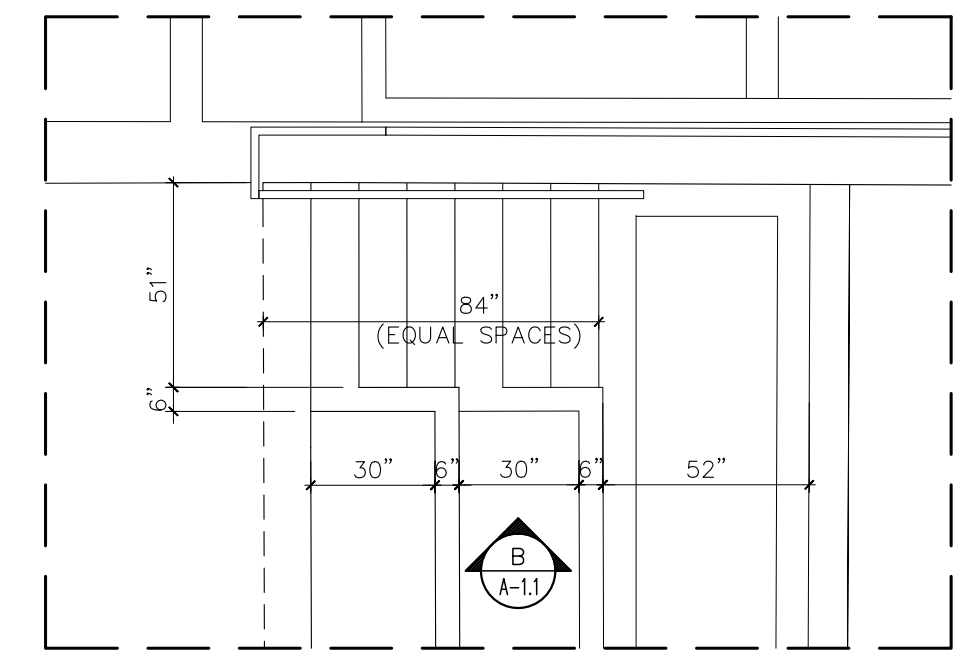
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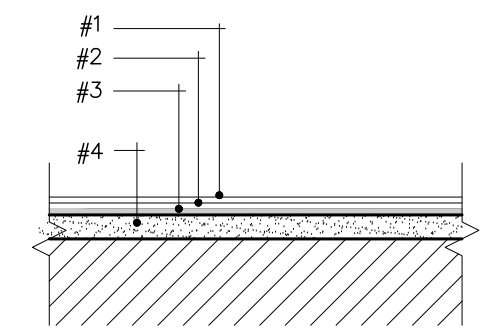
SECTION
SCALE: 1/4" = 1'-0"



BLEACHER STAIRS PLAN I
SCALE: 1/2" = 1'-0"



BLEACHER STAIRS PLAN II
SCALE: 1/2" = 1'-0"

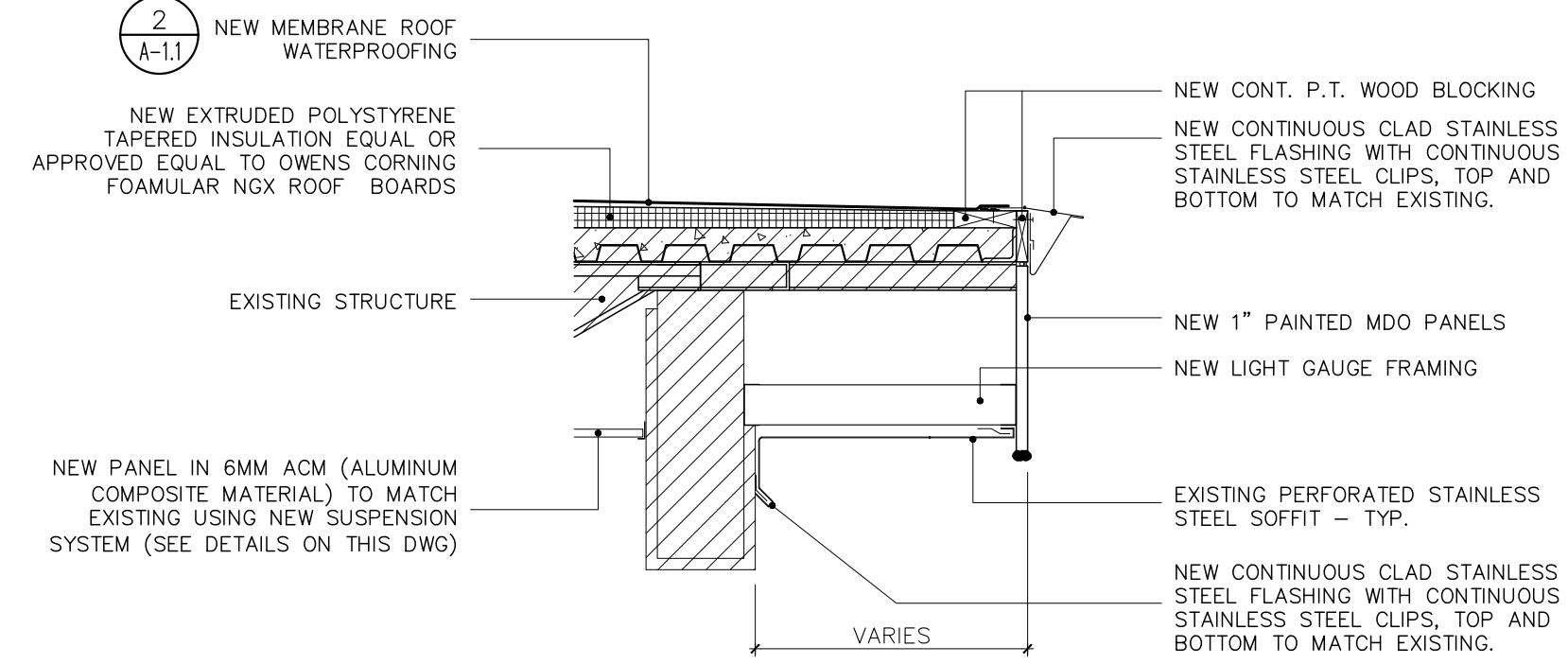


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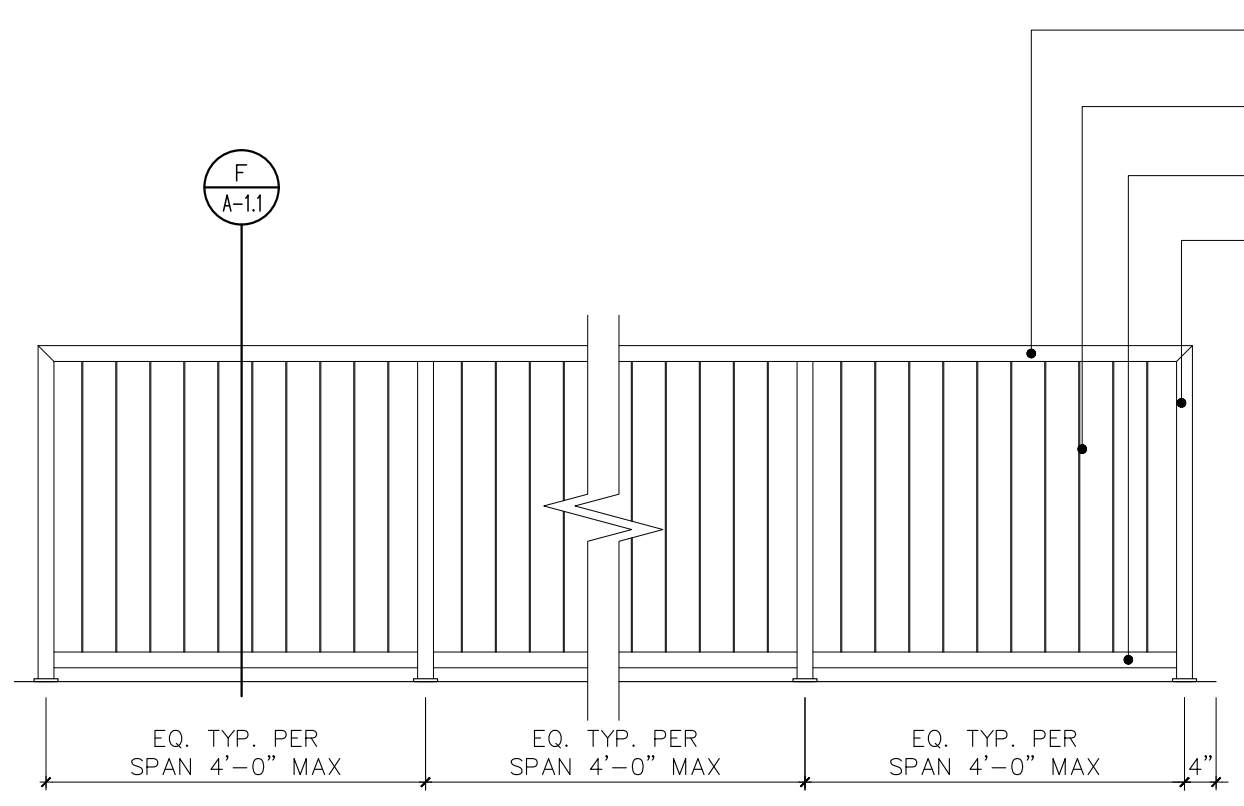
SYMBOL	DESCRIPTION
(Symbol)	ANNOTATION MARKER
(Symbol)	DETAIL MARKER
(Symbol)	SECTION MARKER
(Symbol)	STRUCTURAL FILL
(Symbol)	PLANTING AREA
(Symbol)	NEW PAVER AREA

- STRUCTURAL STEEL ROOF WATERPROOFING SYSTEM:**
- SBS MODIFIED BITUMEN FLASHING MEMBRANE W/FIBERGLASS MAT REINFORCEMENT FINISHED W/ALUMINUM CLAD TOP & BURN OFF FILM ON THE BOTTOM SIDE, AND BURN-OFF FILM.
 - SBS MODIFIED BITUMEN MEMBRANE W/POLYESTER MAT REINFORCEMENT.
 - ASPHALT PRIMER COAT
 - NEW EXTRUDED POLYSTYRENE TAPERED INSULATION EQUAL OR APPROVED EQUAL TO OWENS CORNING FOAMULAR NGX ROOF BOARDS FULLY ADHERED TO CONCRETE ROOF SLOPES OF 1/4" X FEET.

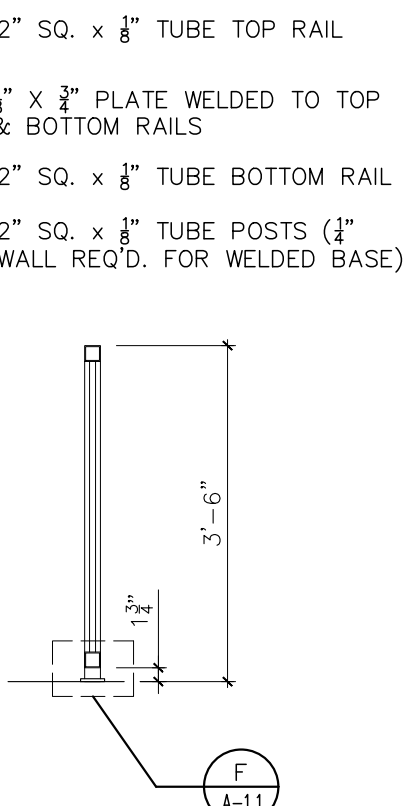
ROOF WATERPROOFING DETAIL
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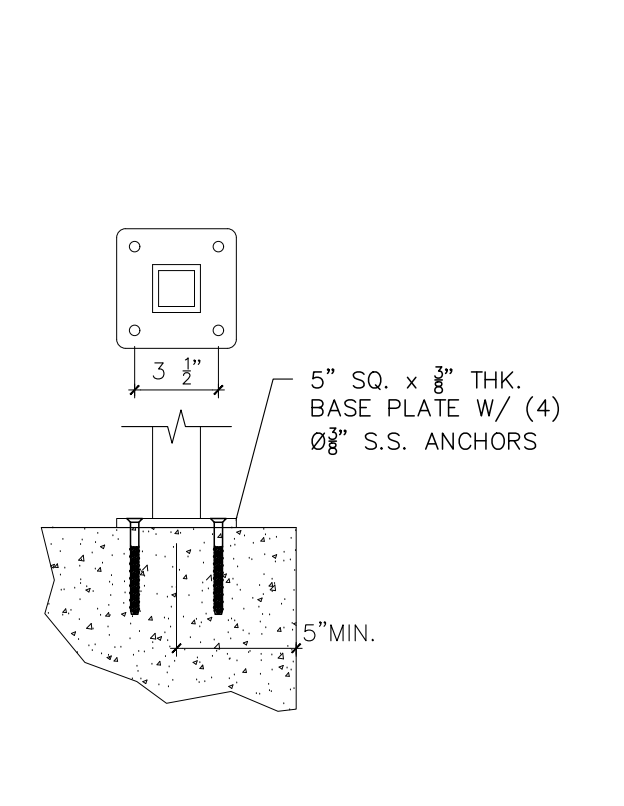
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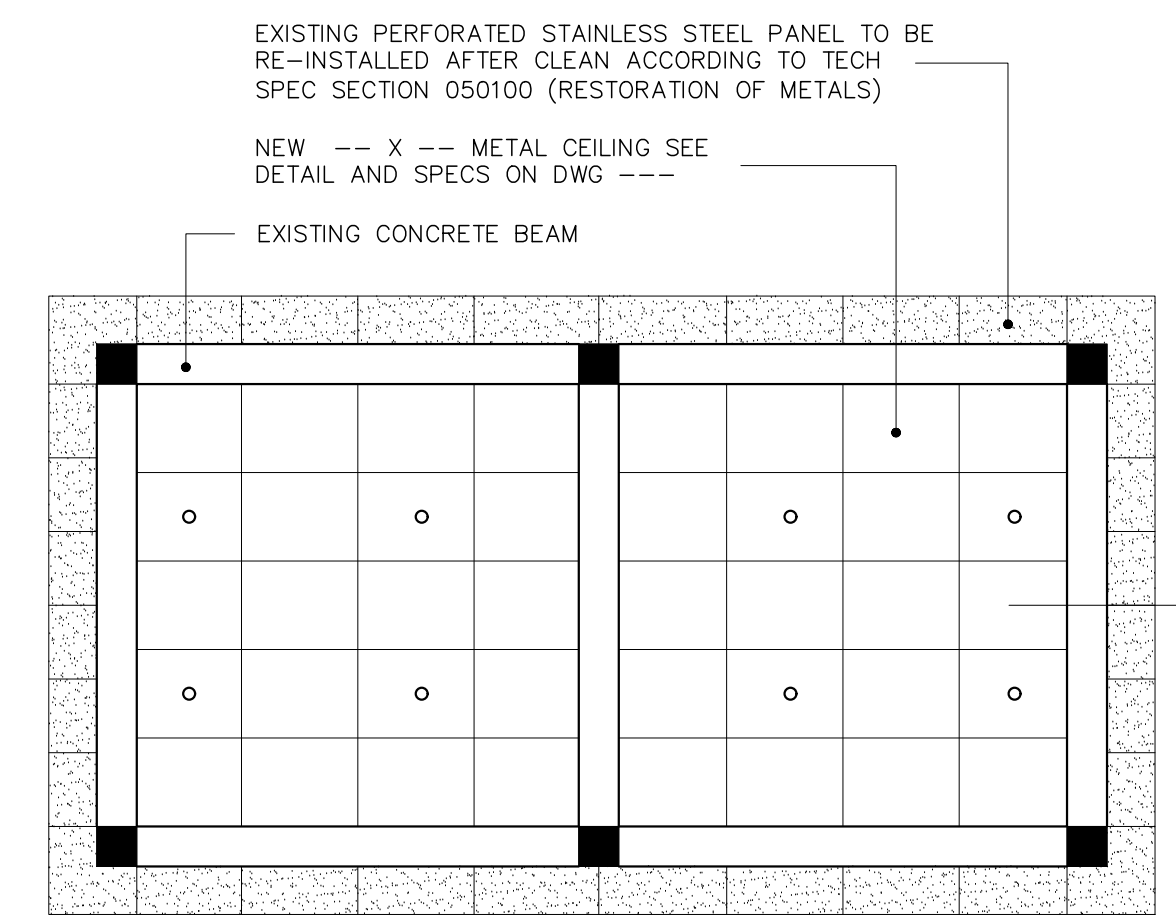
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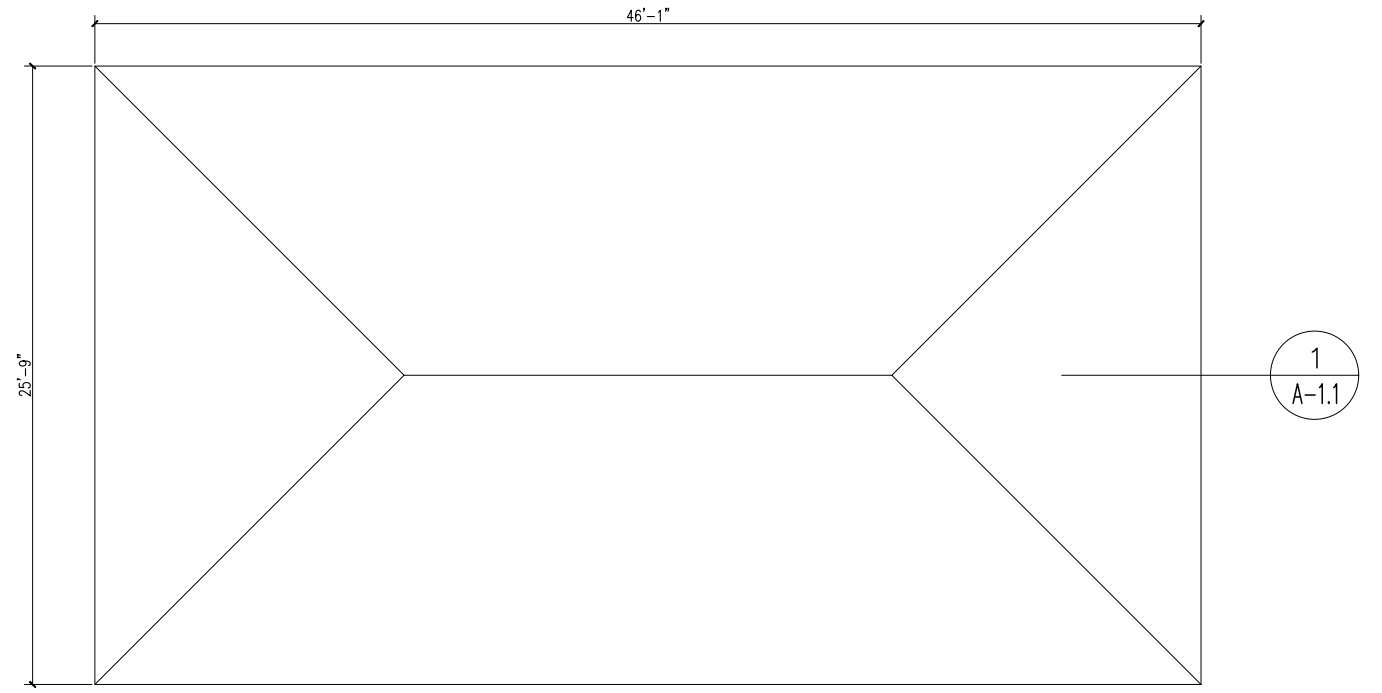
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SCALE: 1/2" = 1'-0"



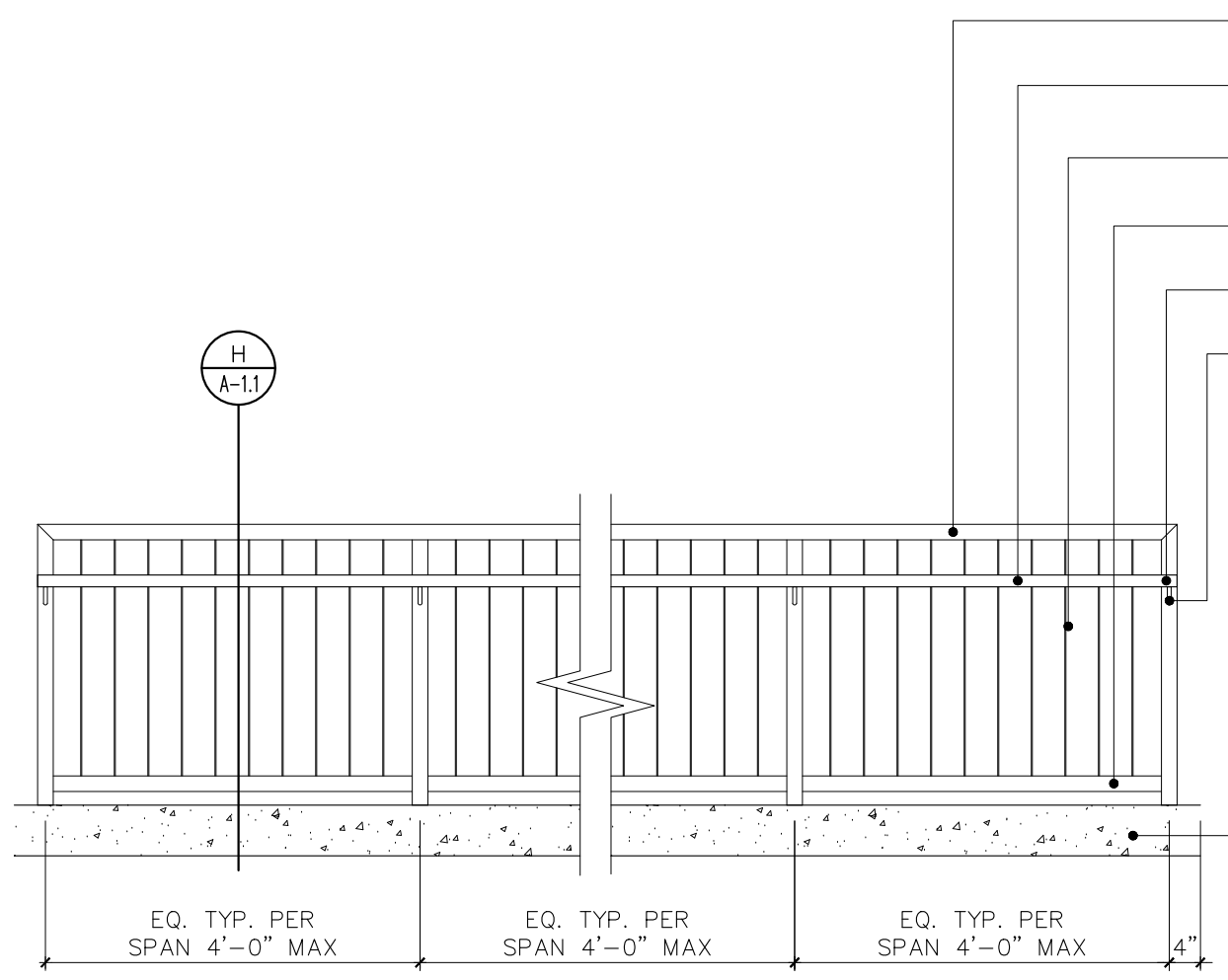
DETAIL
SCALE: 1/2" = 1'-0"



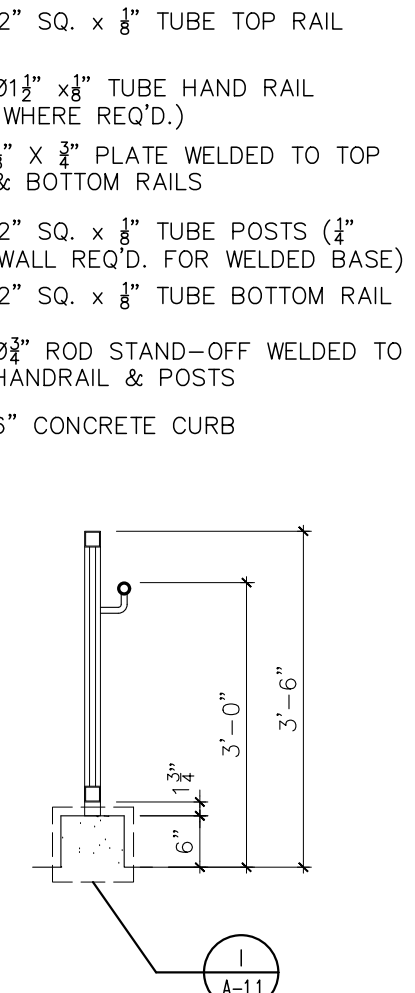
EXISTING BUILDING A PROPOSED REFLECTING CEILING
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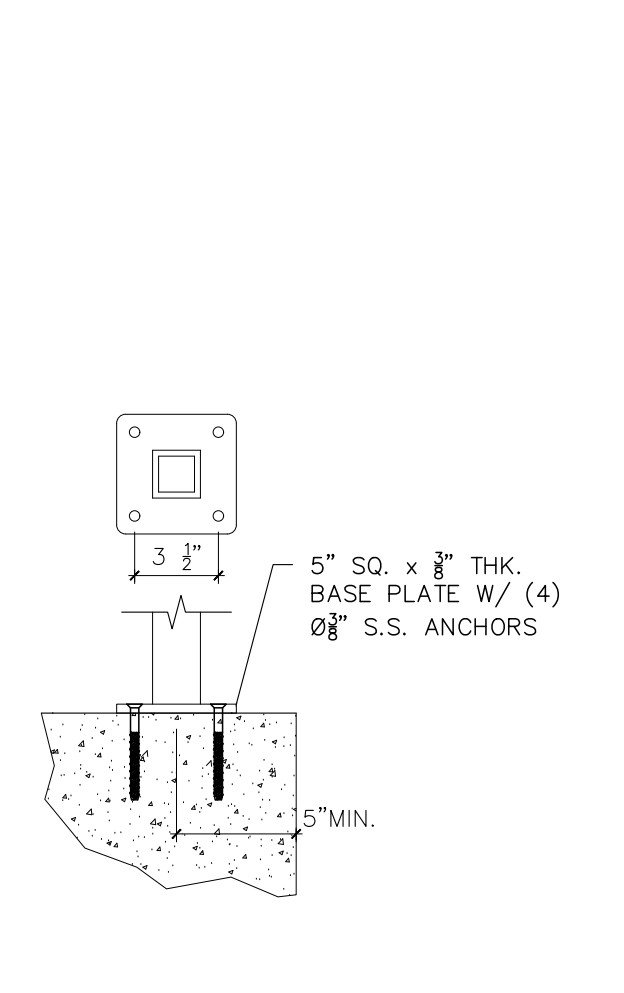
EXISTING BUILDING A PROPOSED ROOF PLAN
SCALE: 3/16" = 1'-0"



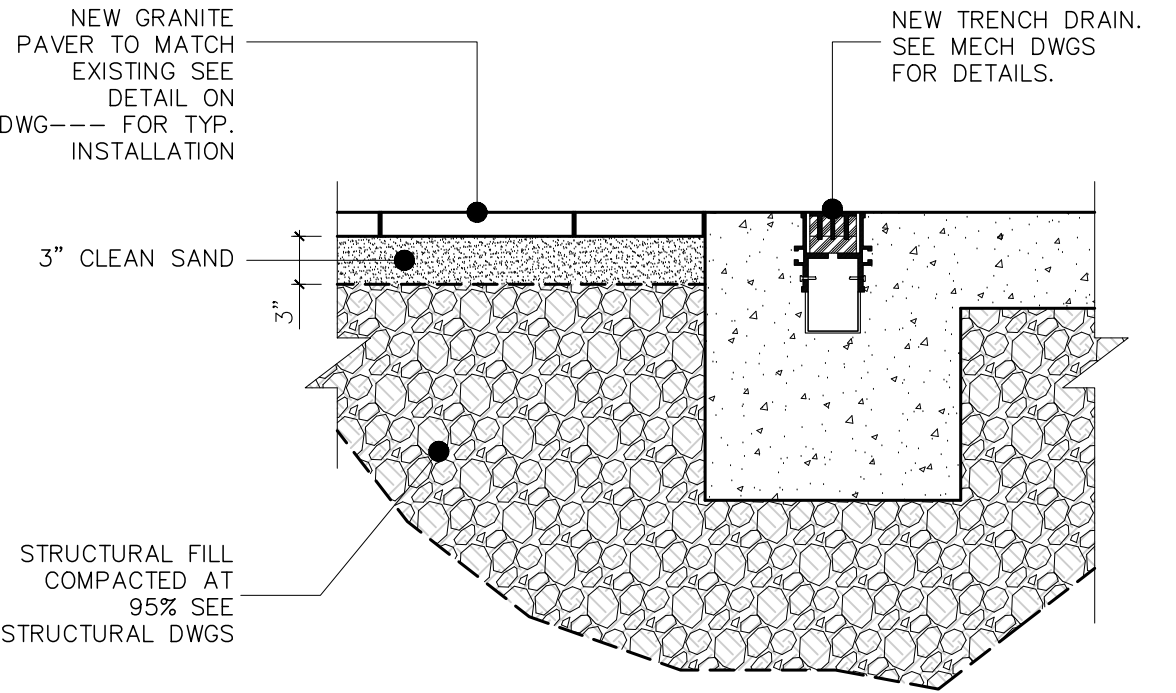
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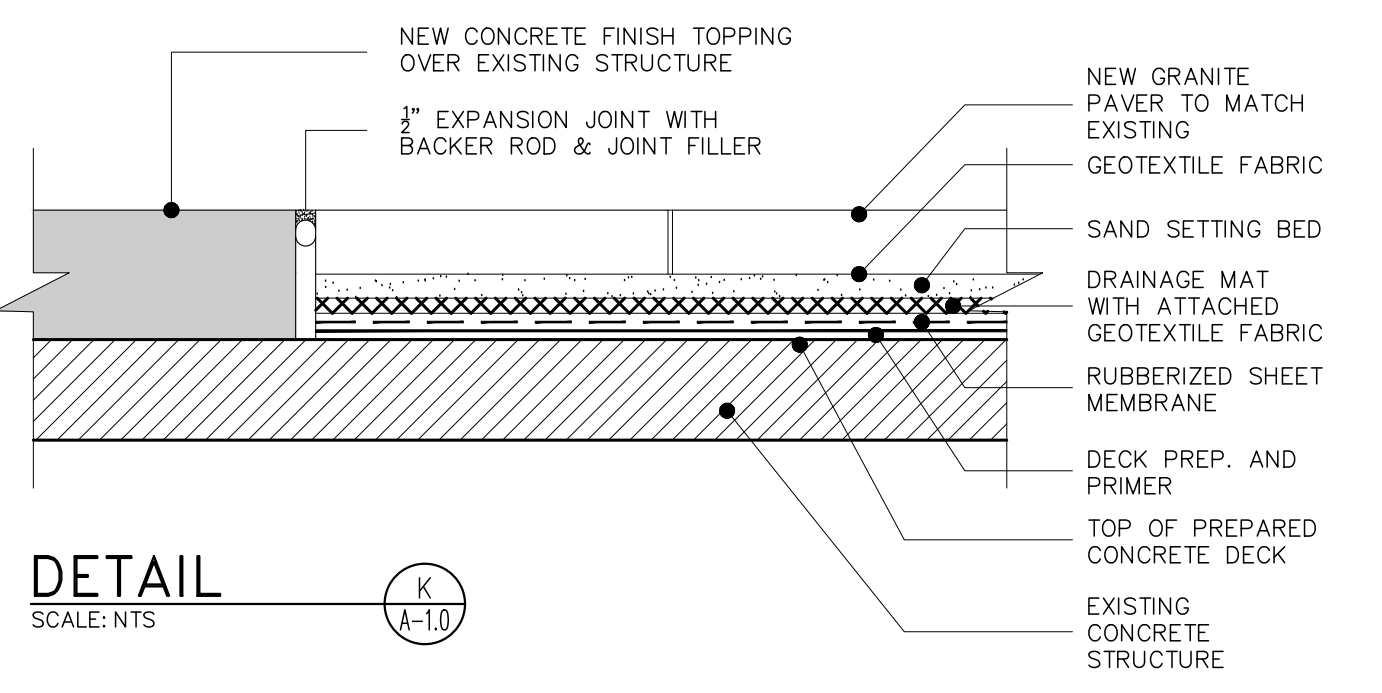
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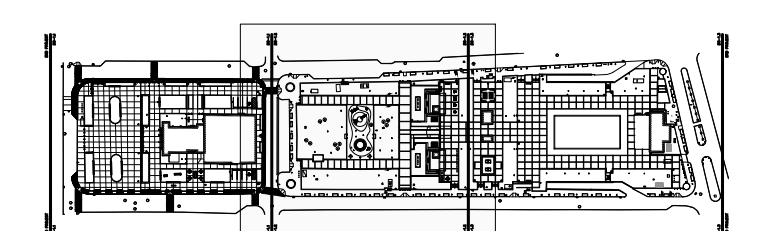
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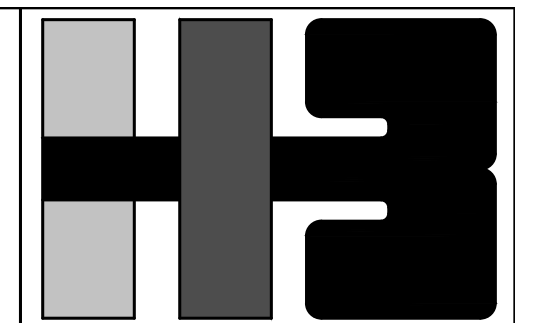
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DETAIL
SCALE: N.T.S.

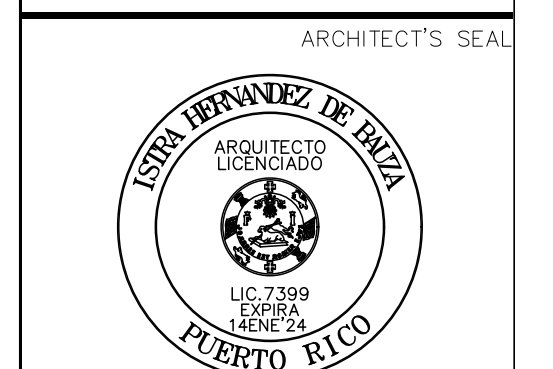


KEY MAP



HERNANDEZ-BAUZA PSC, ARCHITECTS
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IstHernandez@hernandezbauza.com



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LICENSE NO. 7399

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IMPROVEMENTS OF "PLAZA DE LA CONVALESCENCIA" AND "PLAZA DEL PILAR"

DRAWING NAME
EXISTING BUILDING A PROPOSED BLOW-UP PLANS SECTIONS & DETAILS

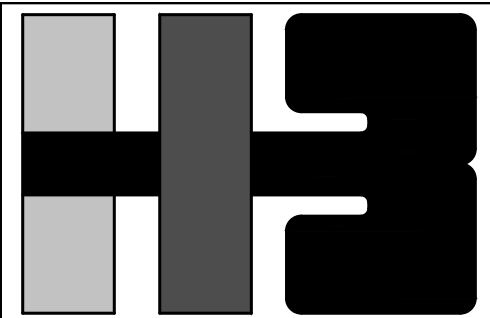
COMPUTER PLOT
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1	3/1/24		L.R.	L.H.

PROJECT
DRAWING BY/CHECKED BY
L.R.C. I.H.

NUMBER	TOTAL
37	62

DRAWING NUMBER
A-1.1



**HERNANDEZ-BAUZA
PSC, ARCHITECTS**

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DRAWING NAME
EXISTING BUILDING A
PROPOSED ELEVATIONS & SECTIONS

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1	3/1/24		L.R.	I.H.

PROJECT

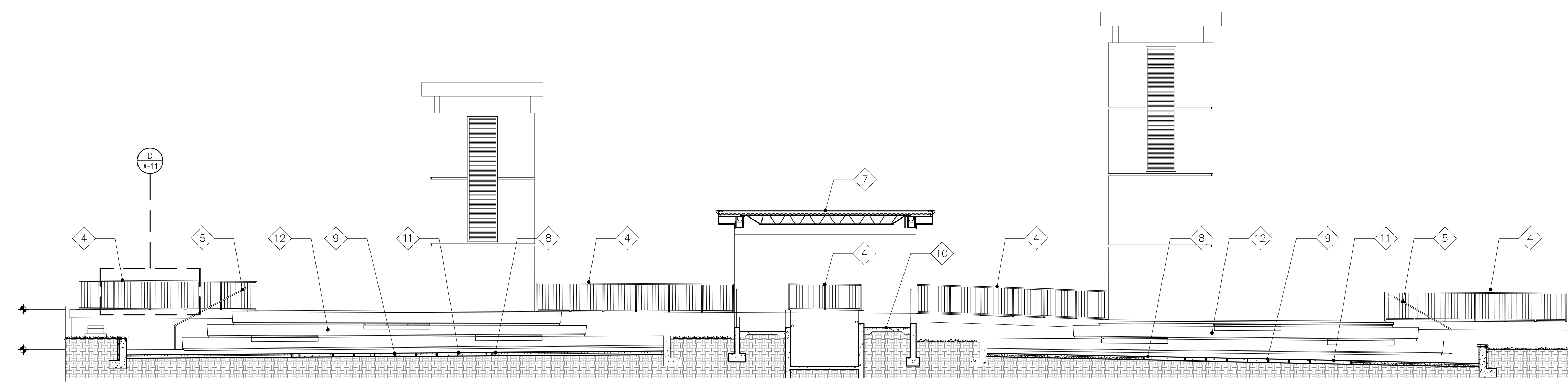
DRAWING BY/CHECKED BY
L.R.C. I.H.

NUMBER	TOTAL
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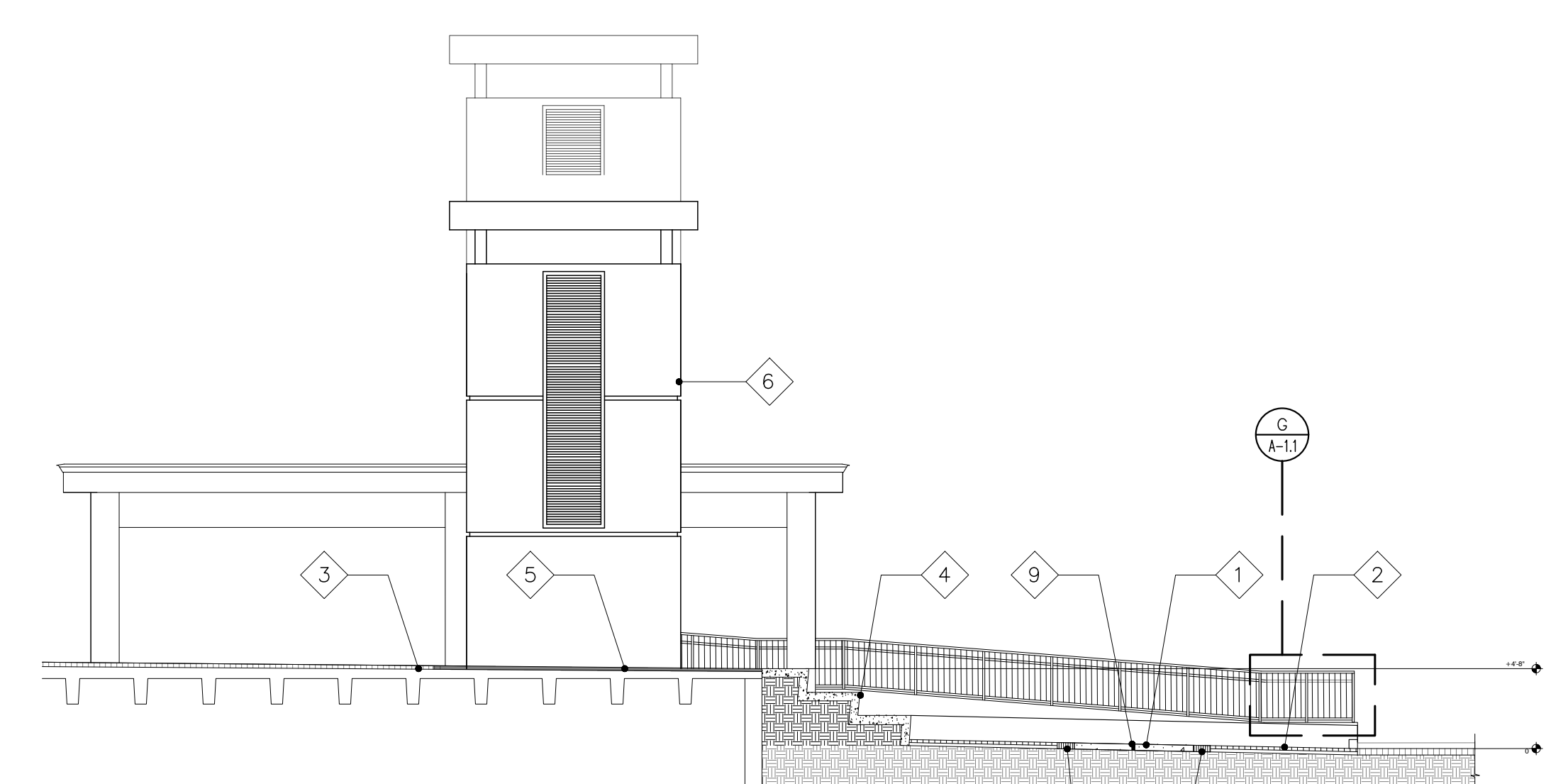
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A-1.2

ANNOTATIONS:

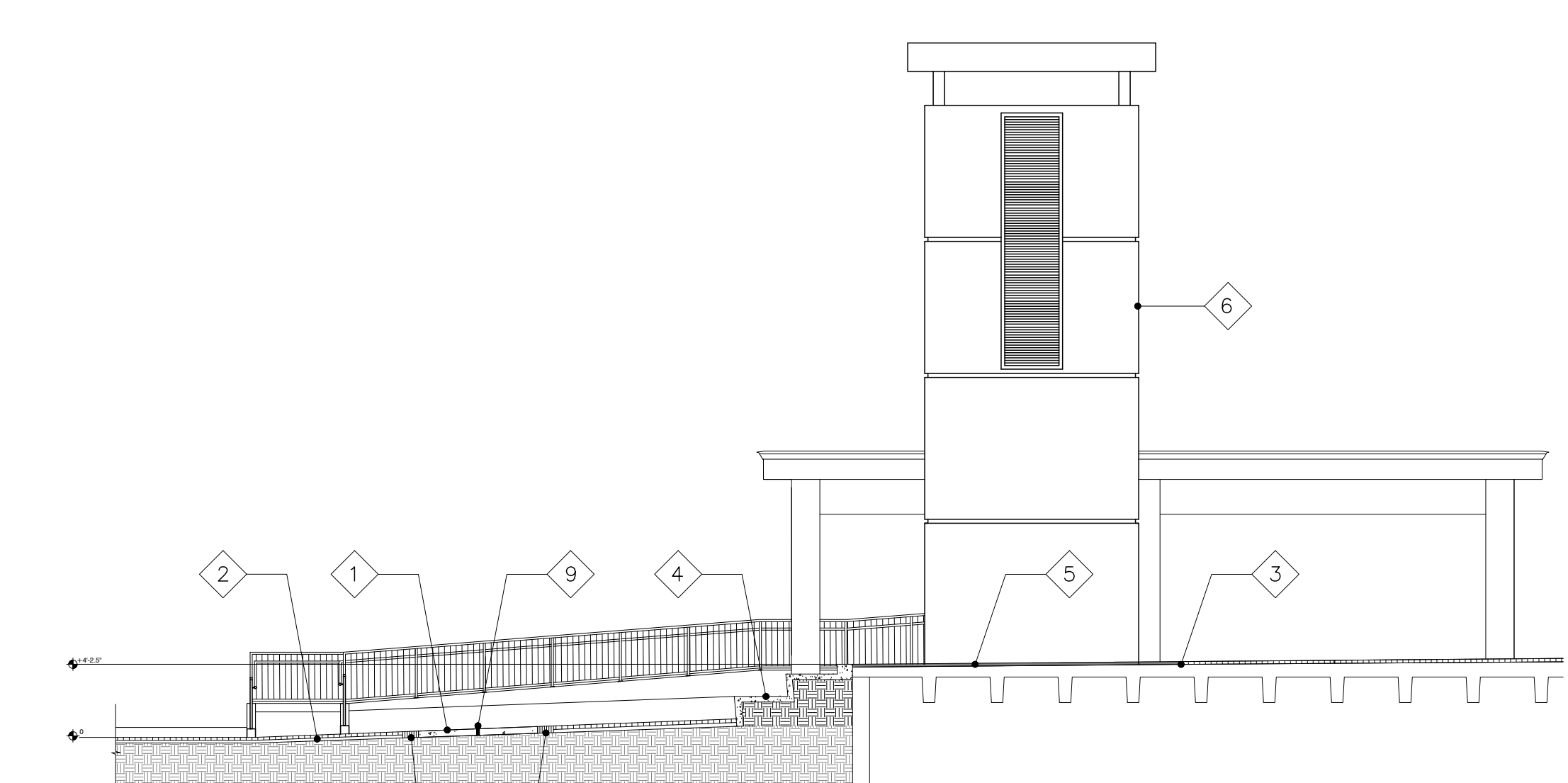
- 1 NEW CONCRETE SPLASH PAD.
- 2 NEW GRANITE PAVER TO MATCH EXISTING
- 3 EXISTING GRANITE PAVER.
- 4 NEW 1 1/2" GALVANIZED STEEL GUARDRAILS SEE DETAILS ON DWG. A-1.1
- 5 NEW 1 1/2" GALVANIZED STEEL HANDRAILS SEE DETAILS ON DWG. A-1.1
- 6 EXISTING TOWER 2 & 3 SEE DWG A-1.1 FOR IMPROVEMENT.
- 7 EXISTING GAZEBO RAMP SEE DWG A-1.1 FOR IMPROVEMENT.
- 8 NEW GROUND SPRAY MANIFOLD. SEE MECH DWG P-101 & P-500 FOR DETAILS.
- 9 NEW SPLASH PAD TRENCH DRAIN. SEE MECH DWG P-101 & P-500 FOR DETAILS.
- 10 NEW ACCESSIBLE RAMP PORTION. SEE STRUCTURAL DWG S-2.0 FOR DETAILS.
- 11 NEW CONCRETE TOPPING OVER EXISTING SLAB. SEE DWG A-1.1 FOR DETAILS



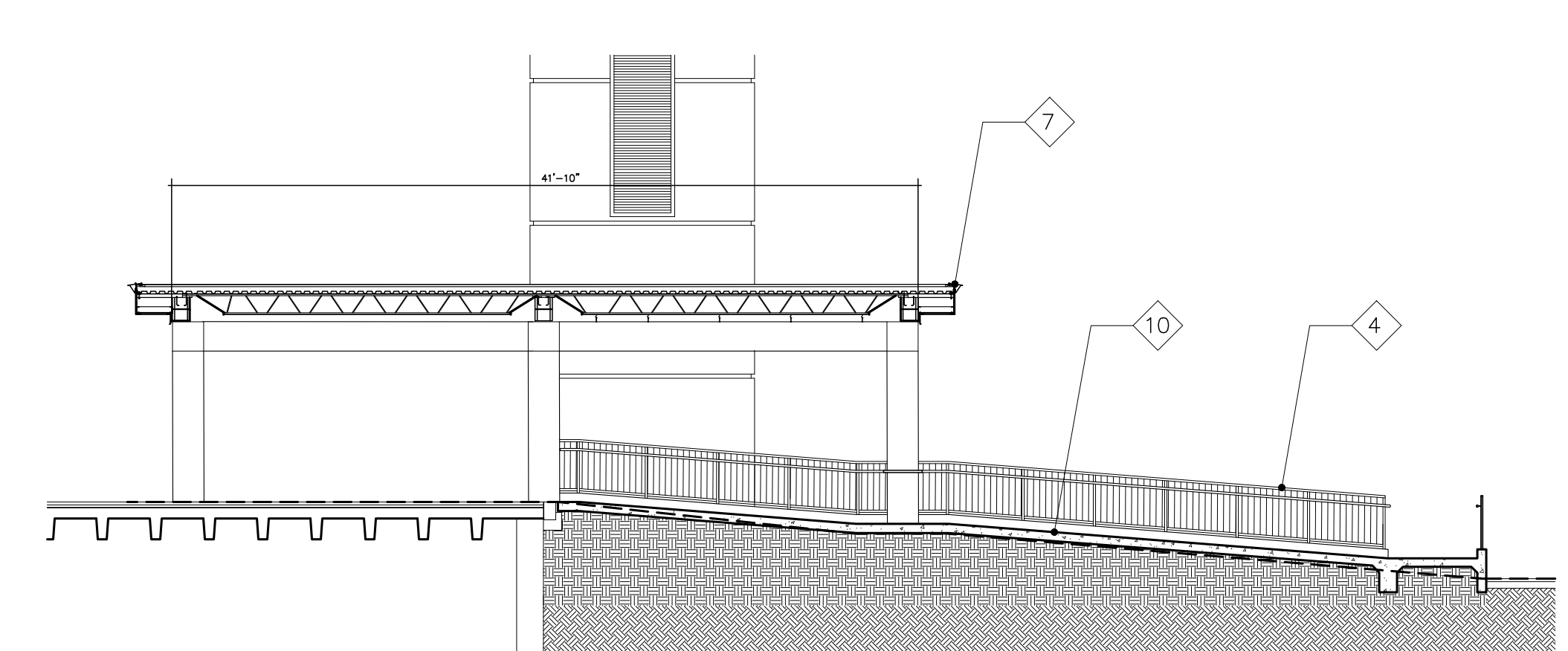
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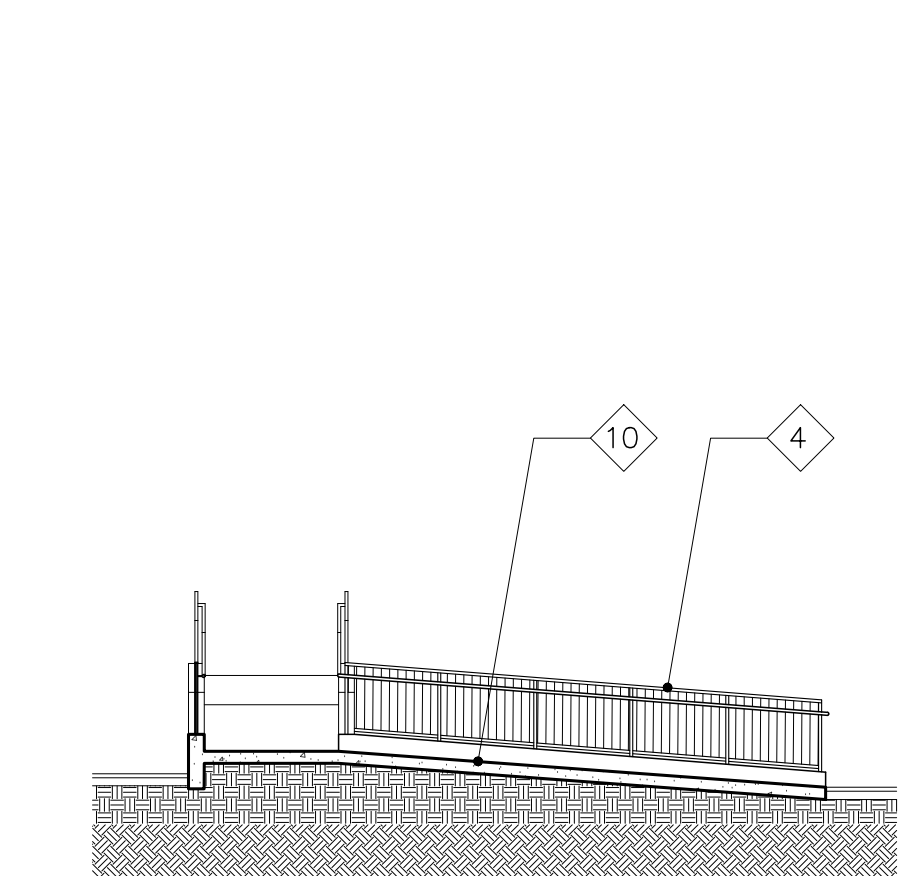
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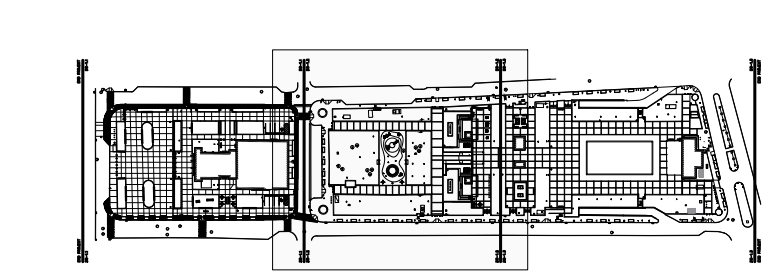
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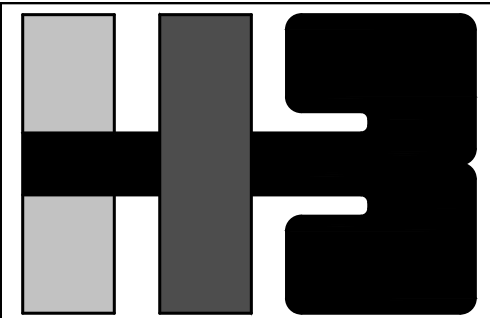
SECTION 4
SCALE: 1/8" = 1'-0"



SECTION 5
SCALE: 1/8" = 1'-0"



KEY MAP



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PROJECT
 IMPROVEMENTS OF "PLAZA DE LA CONVALESCENCIA" AND "PLAZA DEL PILAR"

DRAWING NAME
 EXISTING BUILDING B PROPOSED PLANS & DETAILS

COMPUTER PLOT
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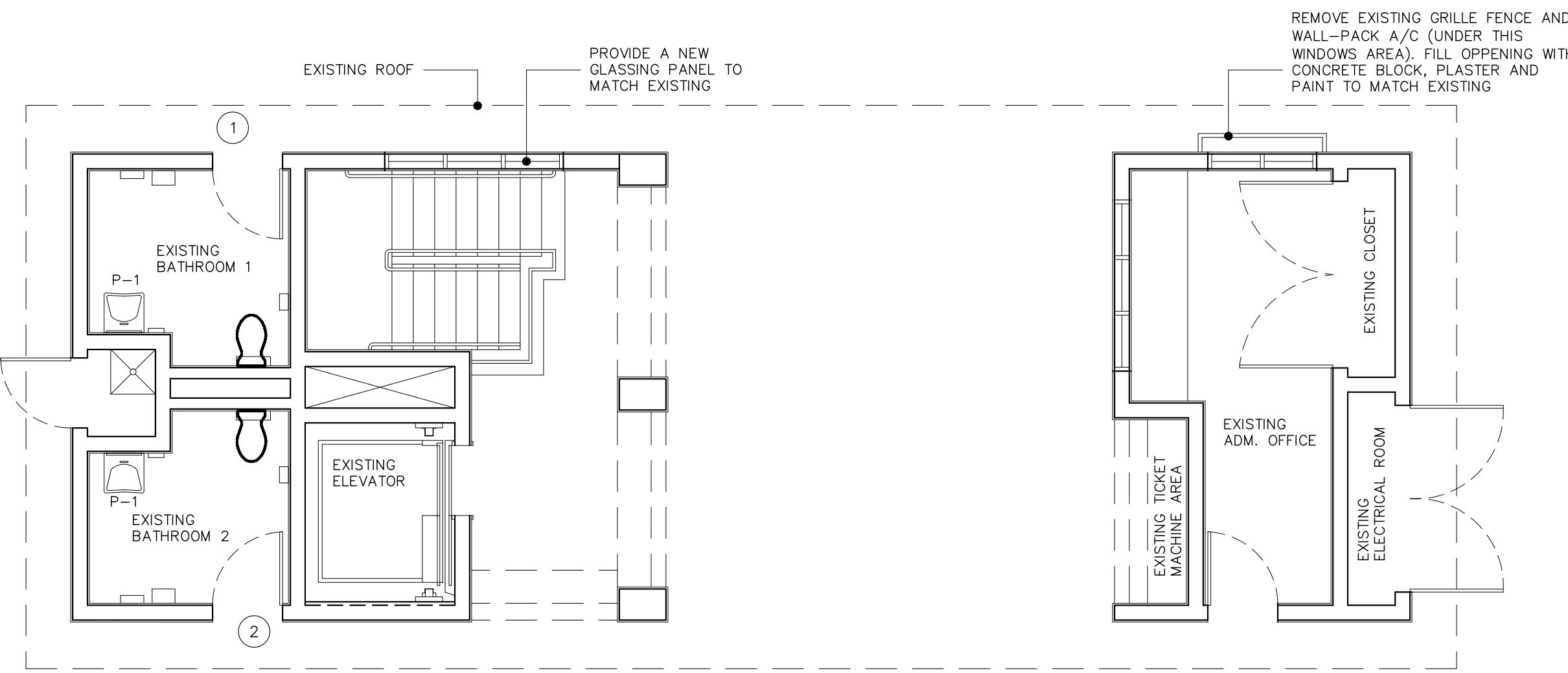
NO.	DATE	REVISION	BY	APPROVED
1	3/1/24		L.R.	L.H.

PROJECT

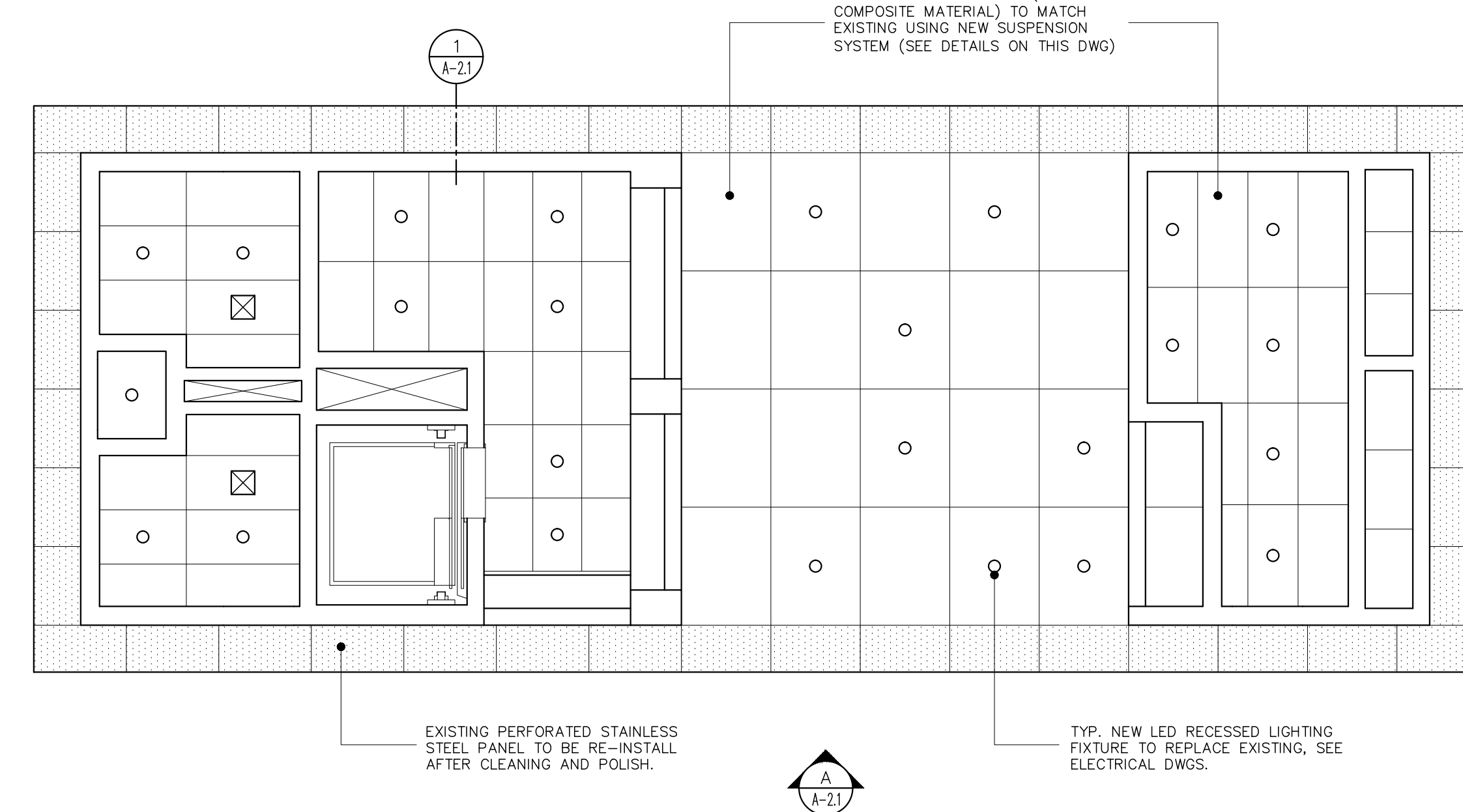
DRAWING BY/CHECKED BY
 jdd I.H.

NUMBER	TOTAL
39	62

DRAWING NUMBER
 A-2.0



EXISTING BUILDING B PROPOSED FLOOR PLAN
 SCALE: 3/16" = 1'-0"



EXISTING BUILDING B PROPOSED REFLECTING CEILING
 SCALE: 3/16" = 1'-0"

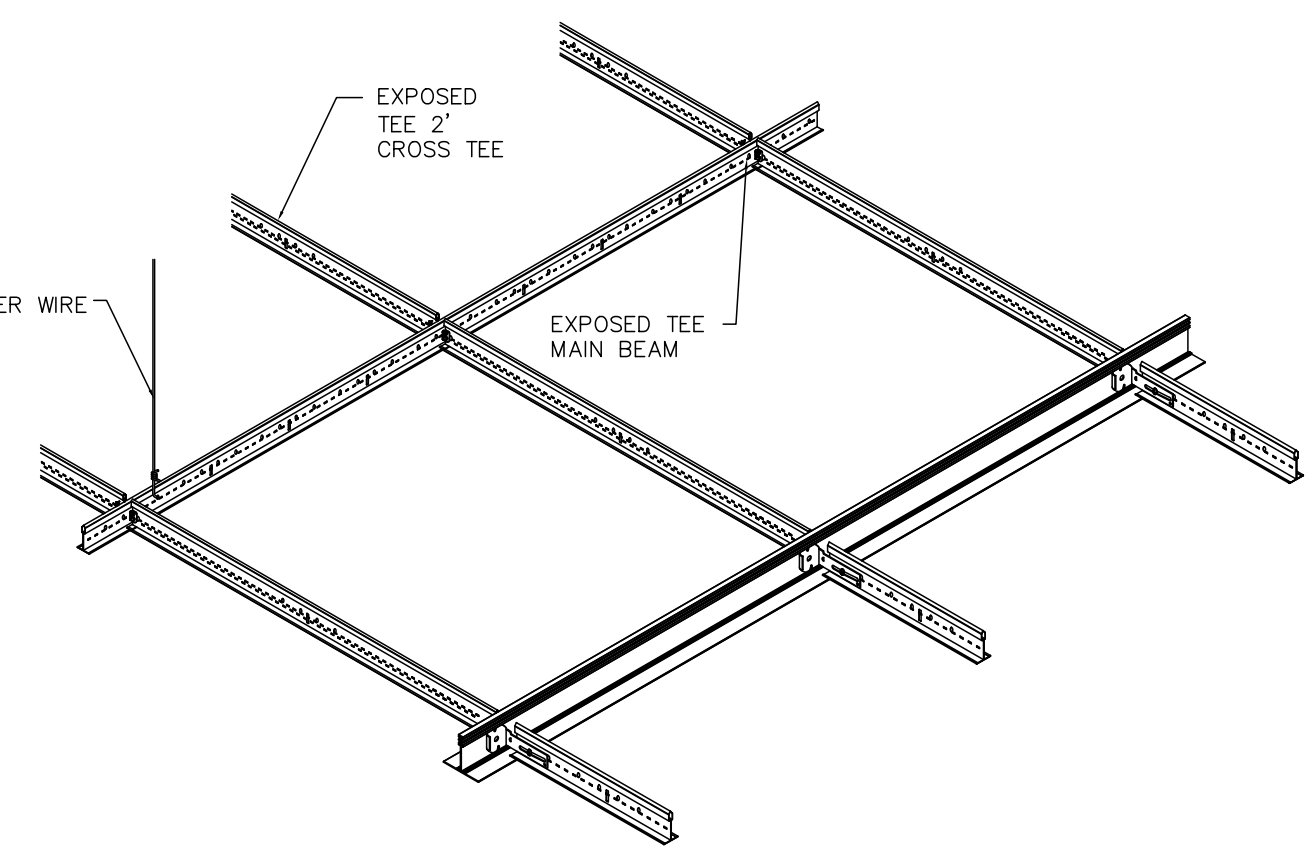
BATHROOM ACCESSORIES		
NUMBER	DESCRIPTION	COMMENTS
2	MIRROR	BRADLEY FIXED TILT MIRROR 740-024360
2	HAND SOAP DISPENSER	REMOVE TO RE-INSTALL, CLEAN AND POLISH
3	36" GRAB BAR	REMOVE TO RE-INSTALL, CLEAN AND POLISH
4	42" GRAB BAR	REMOVE TO RE-INSTALL, CLEAN AND POLISH
5	TOILET PAPER DISPENSER	REMOVE TO RE-INSTALL, CLEAN AND POLISH
6	PAPER DISPENSER	REMOVE TO RE-INSTALL, CLEAN AND POLISH
7	TOILET COVER PAPER DISPENSER	REMOVE TO RE-INSTALL, CLEAN AND POLISH

PLUMBING FIXTURE SCHEDULE		
SYMBOL	FIXTURE	SPECIFICATIONS
P-1	HC LAVATORY	1 1/2" CAST BRASS P-TRAP WITH CLEANOUT MODEL Z8700-PC BY ZURN, CHROME-PLATED, SOLID BRASS ANGLE STOP MODEL Z8804-XL-LR-PC ZURN - GRID DRAIN Z8743-PC, ZURN - P-TRAP Z8700-PC, ZURN - ANGLE STOPS Z8804-XL-LR-PC.

- GENERAL NOTES**
- CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGES INFLICTED TO THE OWNER'S OR NEIGHBOR PROPERTY OR OTHER AREAS DURING THE EXECUTION OF THE WORK. HE SHALL REPAIR ANY DAMAGES AT HIS OWN EXPENSE TO OWNER'S SATISFACTION
 - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING FIELD CONDITIONS PRIOR TO ACTUAL CONSTRUCTION OR INSTALLATION. IN CASE OF ANY DISCREPANCY WITH THE CONSTRUCTION DOCUMENTS, OR DOUBTS AS TO THE INTERPRETATION OF SAID DOCUMENTS, THE ARCHITECT SHALL BE IMMEDIATELY NOTIFIED AND CONSULTED FOR CLARIFICATION PRIOR TO CONSTRUCTION OR INSTALLATION.
 - CLEAN ALL EXTERIOR WALLS & FLOOR BY HYDROBLASTING (3 KSI)
 - BEFORE PAINTING WORK, CLEAN FUNGUS AND DARK SPOTS IN WALLS AND CEILINGS WITH AN INDUSTRIAL CHLORINE SOLUTION. (NO METHYLENE-CHLORIDE CONTAINING)
 - REPAIR ALL CRACKS, SCRAPE, PATCH AND/OR REMOVE EXISTING IMPERFECTIONS IN ALL INTERIOR / EXTERIOR CEMENT PLASTER WALLS & CEILINGS. USE CONCRETE REHABILITATION PRODUCTS FOR CORRECTION OF UNEVEN FINISHES IN EXTING WALLS OR CEILINGS.
 - APPLY A HIGH QUALITY SURFACE CONDITIONER AT ALL INTERIOR / EXTERIOR CEMENT PLASTER WALLS
 - PAINT ALL INTERIOR / EXTERIOR CEMENT PLASTER SURFACES, FRAMES, DOORS, WINDOW, ETC. AS SPECIFIED. COLORS TO BE SELECTED BY ARCHITECT AS INDICATED IN TECHNICAL SPECIFICATIONS. (NO LEAD-BASED PAINT SHALL BE UTILIZED IN THIS PROJECT.
 - AFTER CONSTRUCTION WORK IS FINISHED THE WHOLE PROJECT SHALL BE PAINTED ACCORDING TO SPECIFICATIONS.

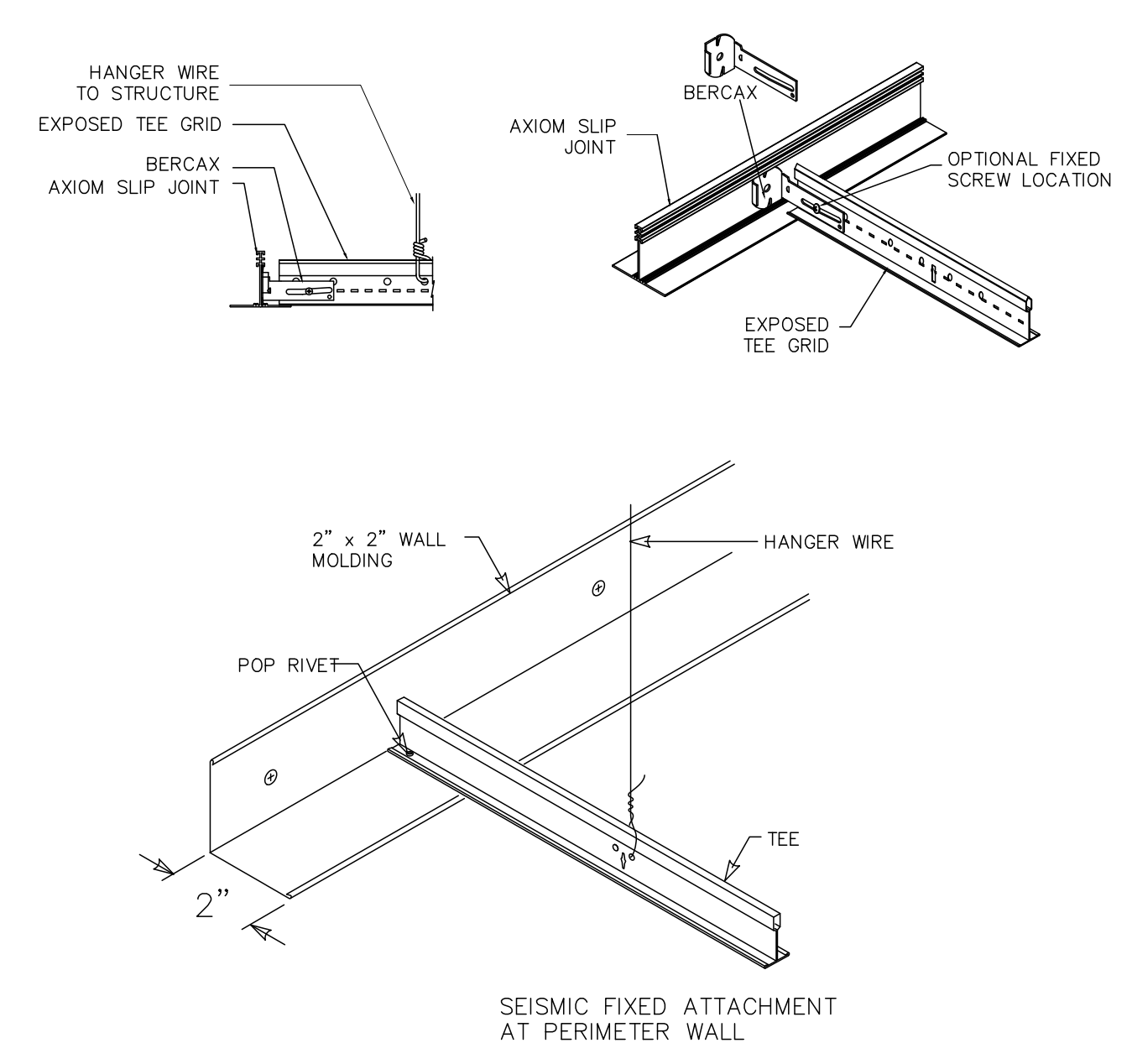
- ELEVATOR MODERNIZATION NOTES:**
- CUARTO DE MAQUINA
 A. CONTROLADOR NUEVO COMPUTADORIZADO QUE CUMPLA CON LOS REGLAMENTOS DE SEGURIDAD Y EL CÓDIGO DE ANSI 17.1 REV.2019. INCLUIR: REQUISITOS ADA 2010
 - OPERACIÓN DE EMERGENCIA EN CASO DE FUEGO
 3. PARA QUE FUNCIONE CON GENERADOR ELÉCTRICO CUANDO LUMA FALLE
 - CON "RUPTURE VALVE" EN LA TUBERIA HIDRÁULICA
 A. REEMPLAZAR "PUMP UNIT" INCLUYENDO MOTOR, BOMBA HIDRÁULICA Y CUERPO DE VALVULA. REEMPLAZAR ACEITE HIDRÁULICO.
 - ALAMBRADO - PROVEER NUEVO
 - SEÑALES Y BOTONERAS DE PASILLO - TODAS SERÁN REEMPLAZADAS
 - ENTRADAS Y TÚNEL -
 A. EN TODOS LOS PISOS SE REEMPLAZARÁN A LAS PUERTAS LOS "HANGER ROLLERS", CERRADURAS Y ZAPATILLAS
 B. REACONDICIONAR Y PINTAR TODOS LOS MATERIALES EXPUESTOS DEL TÚNEL A REUTILIZARSE COMO VÍAS, BRACKETS Y AMORTIGUADORES
 C. INSTALAR SISTEMA "BRALE" EN MARCOS DE PUERTAS Y PASILLOS SEGÚN REQUERIDO POR LOS CODIGOS VIGENTES
 D. INSTALAR SENSOR DE SEGURIDAD EN PISTON
 - CABINA -
 A. REEMPLAZAR OPERADOR DE PUERTA Y SUS COMPONENTES
 B. SUPLIR E INSTALAR UN PROTECTOR DE SEGURIDAD A LA PUERTA DE CABINA
 C. REEMPLAZAR PANEL DE BOTONES SEGÚN REQUISITOS DE CÓDIGO DE IMPEDIMENTOS Y BOMBEROS
 D. SUPLIR E INSTALAR INDICADOR DE PISO VISUAL Y AUDIBLE
 E. SUPLIR E INSTALAR SEÑALES LUMINADAS TIPO FLECHAS Y AUDIBLES QUE INDICAN LA DIRECCIÓN DEL ELEVADOR
 F. INSTALAR CÁMARA DE SEGURIDAD
 G. SUPLIR Y ALAMBRAR TODO EL EQUIPO NECESARIO PARA TENER UN SISTEMA DE COMUNICACIÓN INTEGRADO
 H. INSTALAR "INSPECTION BOX" EN EL TECHO DE LA CABINA QUE TENGA SENSOR DE VELOCIDAD
 I. INSTALAR INTERRUPTOR (SW) EN LA ESCOTILLA DE EMERGENCIA
 J. INSTALAR BARANDAS EN EL TECHO DE LA CABINA, SEGÚN REQUERIDO POR CÓDIGO VIGENTE
 K. SE INSTALARÁ UN SISTEMA DE MONITOREO DE LÍNEA TELEFÓNICA, SEGÚN REQUERIDO POR CÓDIGO VIGENTE
 - DECORACIÓN DE CABINA -
 A. SUPLIR E INSTALAR PANELES DE PLÁSTICO LAMINADO (COLORES A SELECCIONARSE POR ARQUITECTO)
 B. SUPLIR E INSTALAR ABANICOS
 C. SUPLIR E INSTALAR TECHO SUSPENDIDO EN ACERO INOXIDABLE Y LUCES LED
 D. SUPLIR E INSTALAR PISO EN VINIL
 E. SUPLIR E INSTALAR PASAMANOS CON DIMENSIONES Y ALTURAS REQUERIDAS POR CÓDIGOS

ACOUSTICAL SUSPENDED CEILING TYPICAL DETAILS



GENERAL NOTES FOR CEILING SYSTEM:
 CONSULT YOUR LOCAL BUILDING CODE FOR ADDITIONAL REQUIREMENTS OUTSIDE OF THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. THIS INCLUDES BUT IS NOT LIMITED TO BRACING OF TRANSITIONS, AND ADDITIONAL SEISMIC REQUIREMENTS. FIELD VERIFY ALL CONDITIONS AND DIMENSIONS.

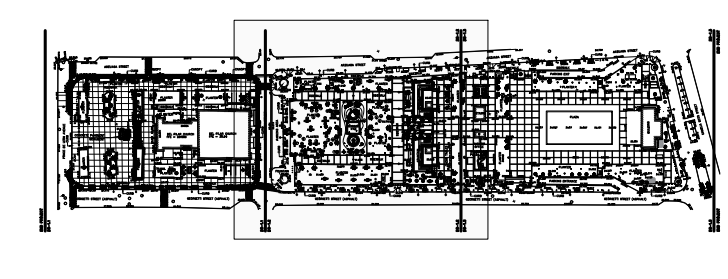
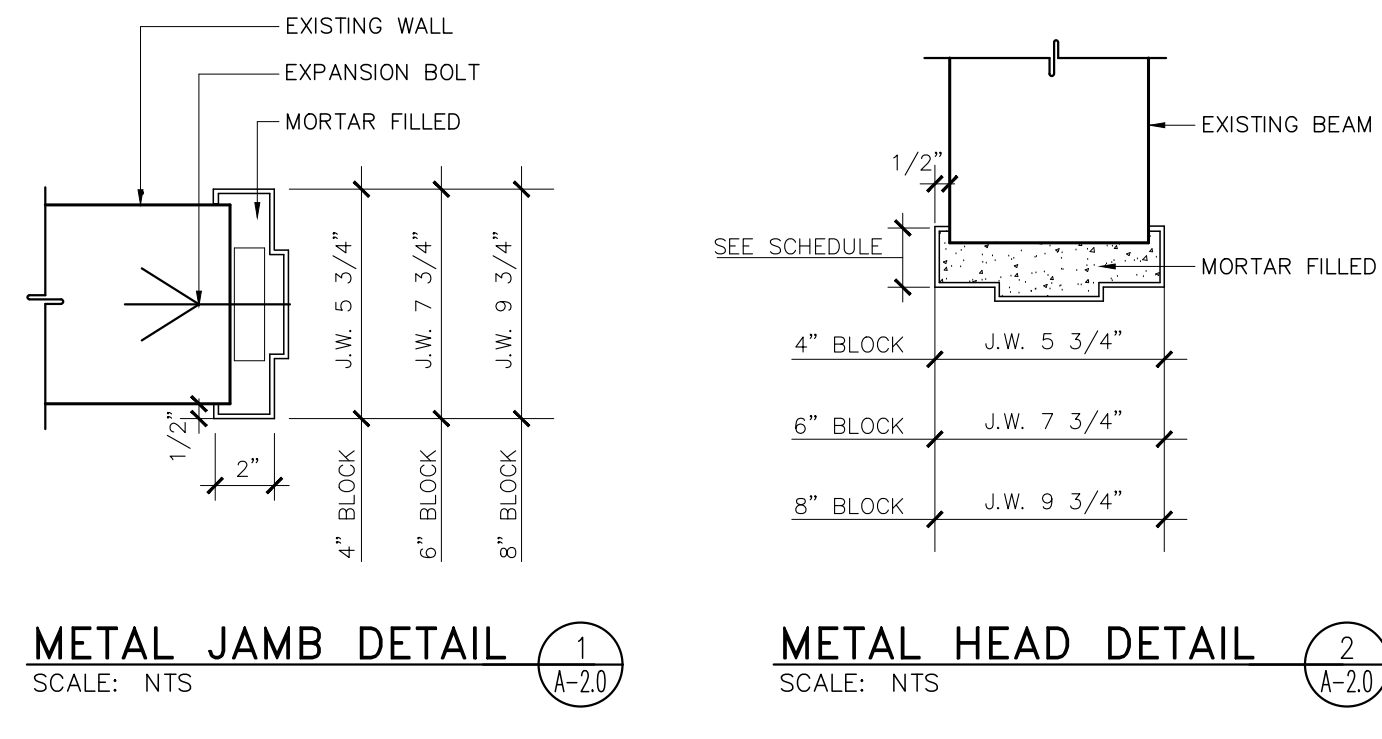
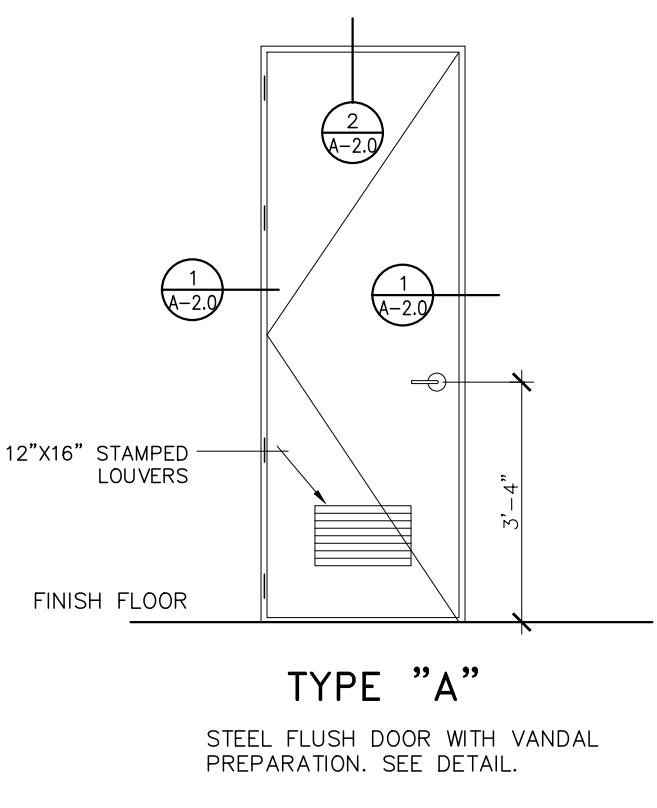
ACOUSTICAL CEILING SUSPENSION GRID SYSTEM DETAILS

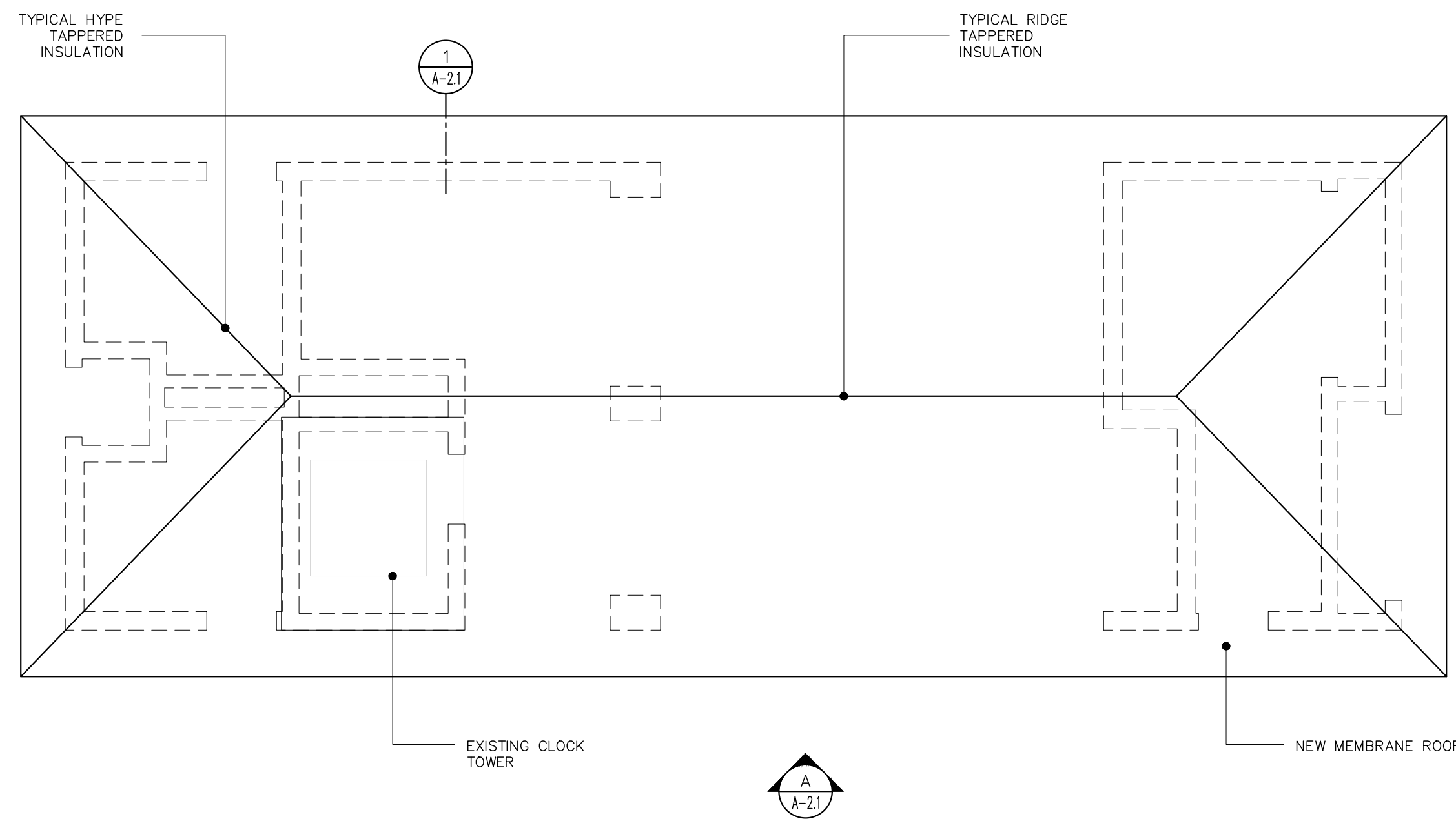


DOOR SCHEDULE FOR BUILDING A				
NUM.	OPENING	TYPE	FRAME	HARDWARE SET NUM.
1	3'-0" x 8'-0"	A	2 x 6	1
2	3'-0" x 8'-0"	A	2 x 6	1

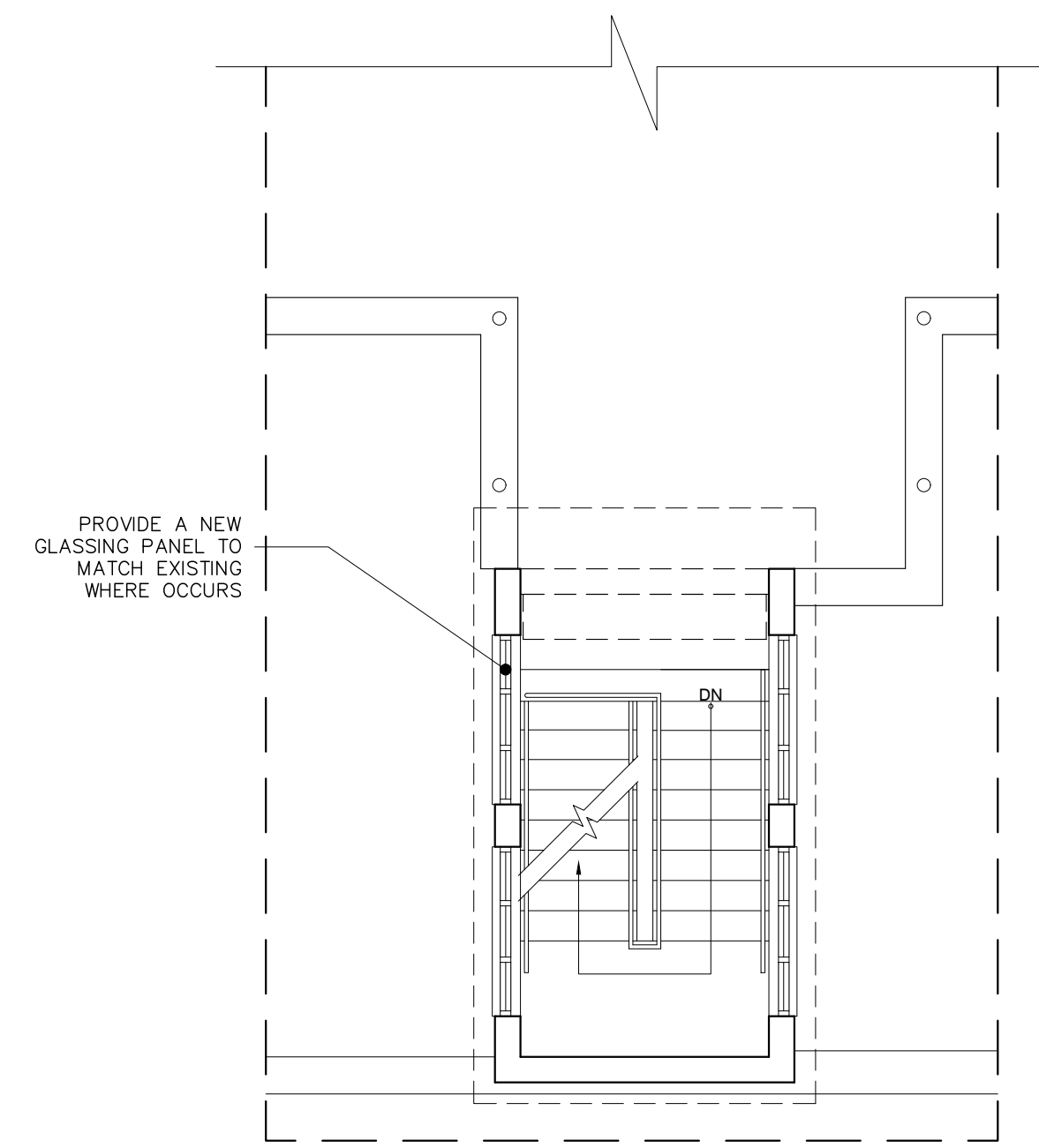
HARDWARE SET 1 SINGLE RESTROOM WITH ENTRANCE LOCK				
QTY	DESCRIPTION	MANUFACTURER	MODEL	SET NO.
4 EA	HINGES	5881	SERIES AS SPECIFIED	630
1 EA	ENTRANCE LOCK	L9453	L583-363	630
1 EA	SURFACE CLOSER	4011	REG SR	689
1 EA	KICK PLATE	8400	10" x 2" LDW	630
1 EA	STOP	WS407	FS436	630
1 SET	SEALS	706E	AL	NGP
1 EA	DRIP CAP	18A	AL	NGP
1 EA	DOOR SWEEP	C627	AL	NGP
1 EA	THRESHOLD	513	AL	NGP

CONTRACTOR SHALL SUBMIT HARDWARE SCHEDULE WITH THE HARDWARE SUBMITTAL FOR ARCHITECT'S APPROVAL.

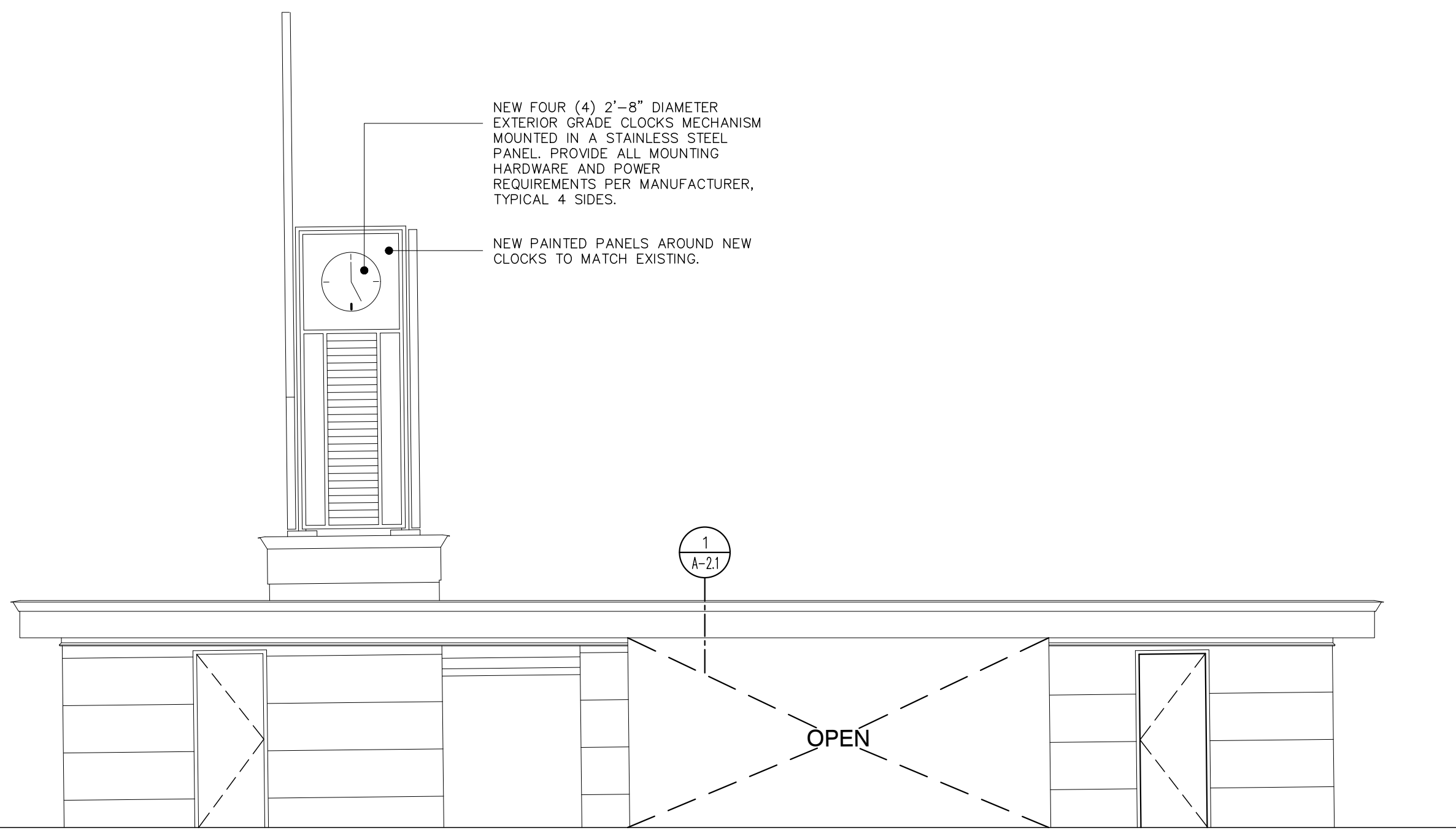




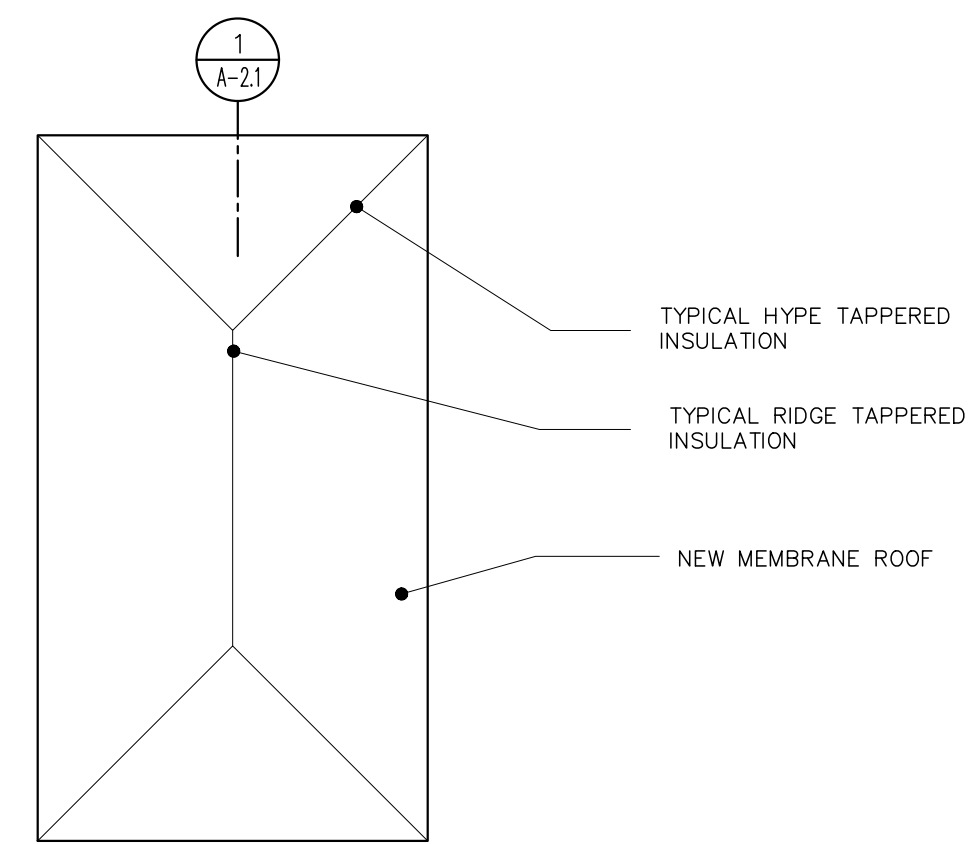
EXISTING BUILDING B PROPOSED ROOF PLAN
SCALE: 3/16" = 1'-0"



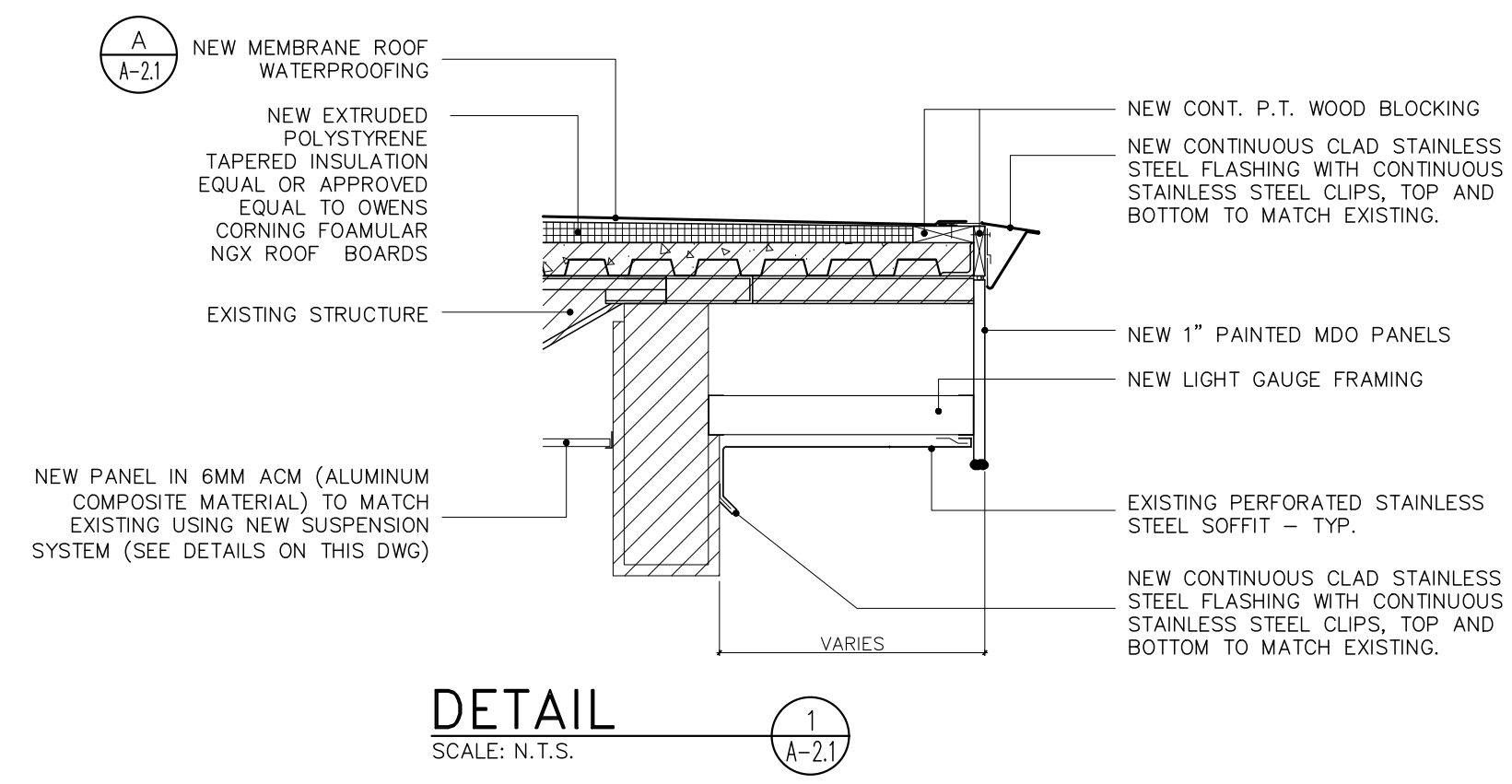
EXISTING BUILDING C PROPOSED FLOOR PLAN
SCALE: 3/16" = 1'-0"



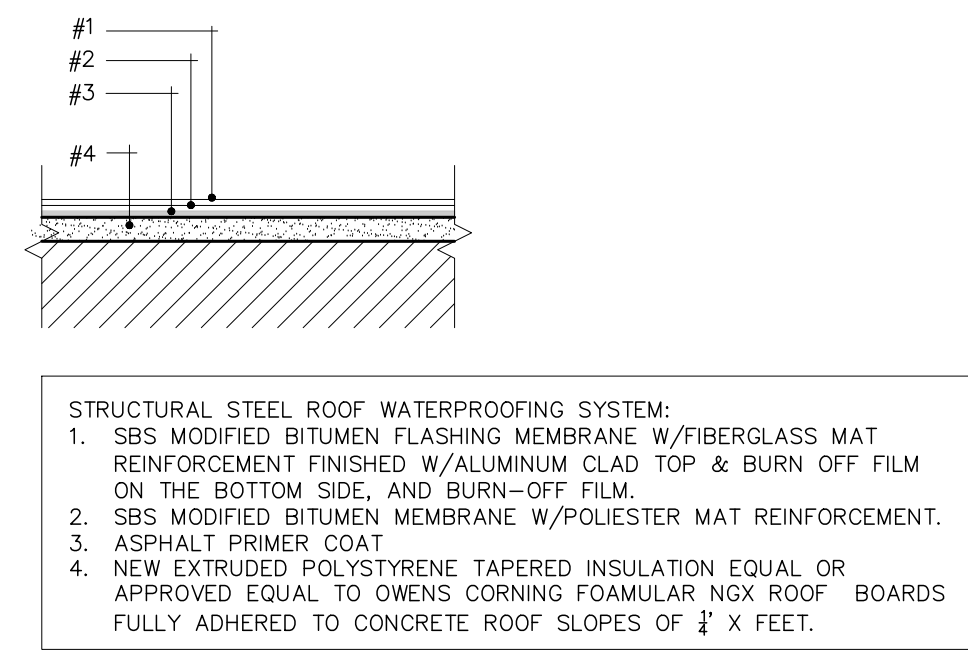
EXISTING BUILDING B ELEVATION
SCALE: 3/16" = 1'-0"



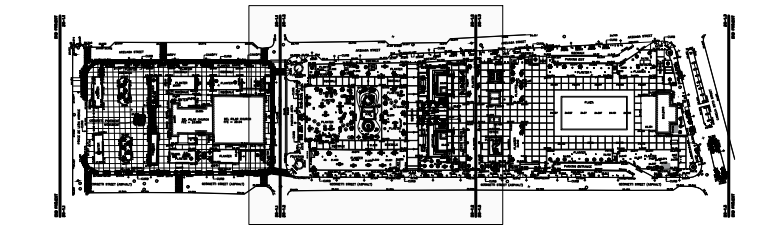
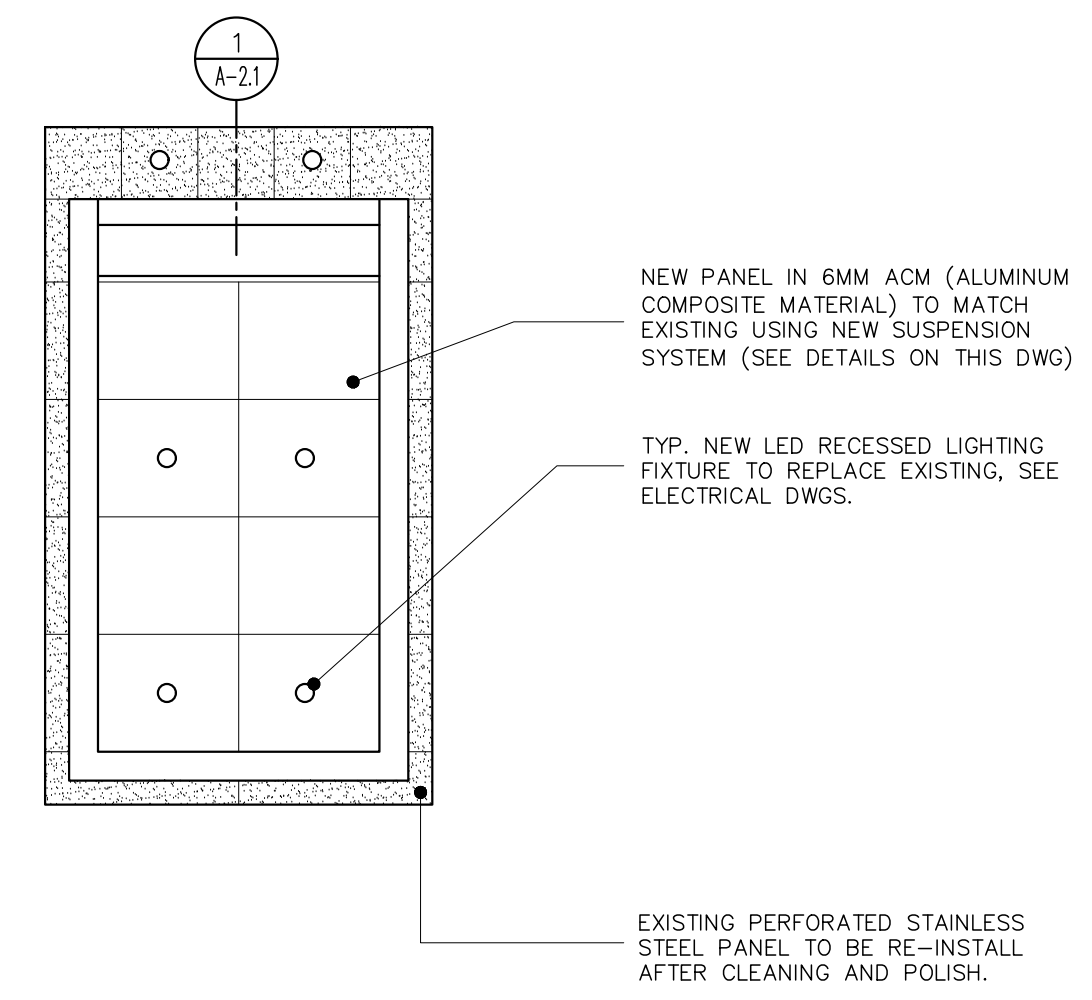
EXISTING BUILDING A PROPOSED ROOF PLAN
SCALE: 3/16" = 1'-0"



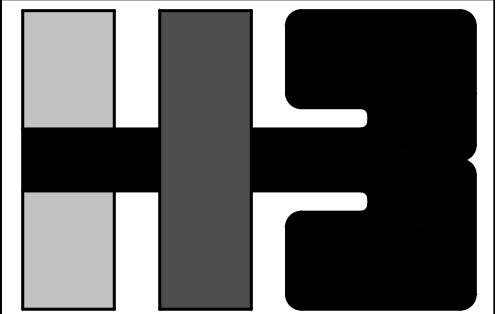
DETAIL
SCALE: N.T.S.



ROOF WATERPROOFING DETAIL
SCALE: N.T.S.



KEY MAP



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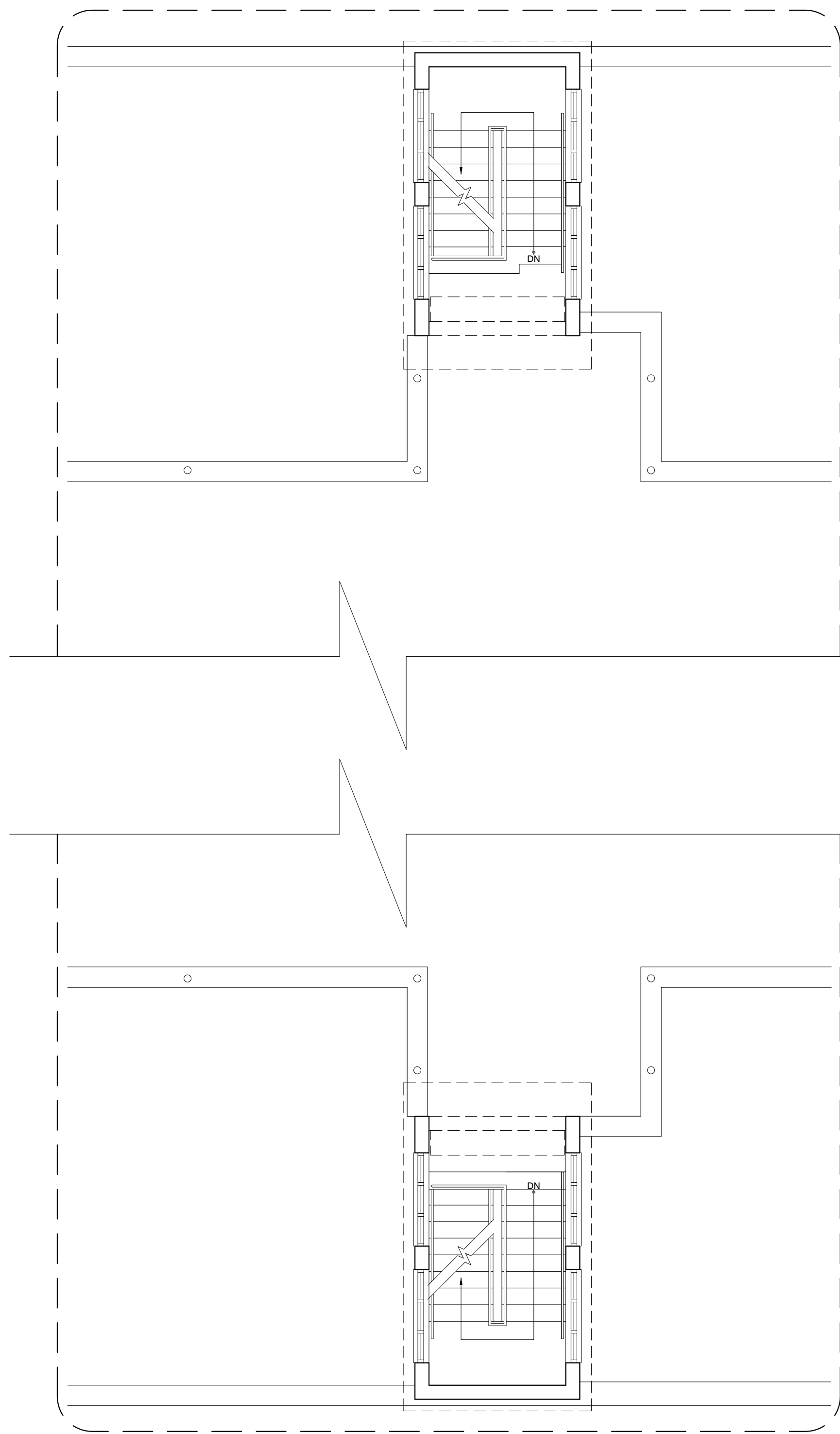
NO.	DATE	REVISION	BY	APPROVED
1	3/1/24		L.R.	L.H.

PROJECT

DRAWING BY/CHECKED BY
jdd I.H.

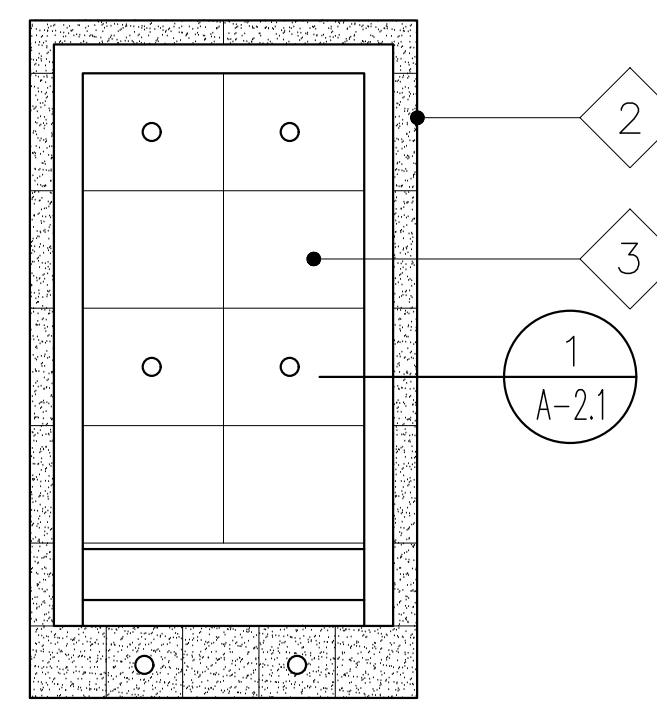
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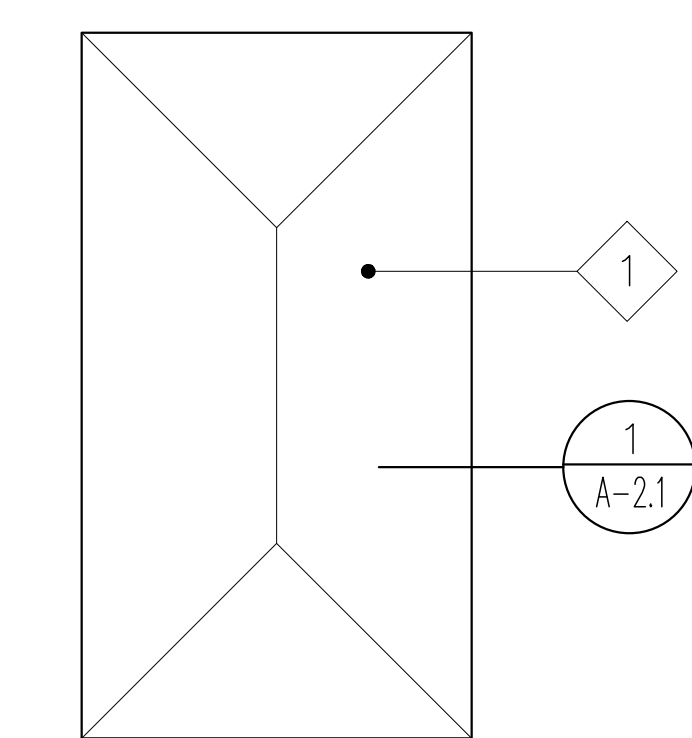
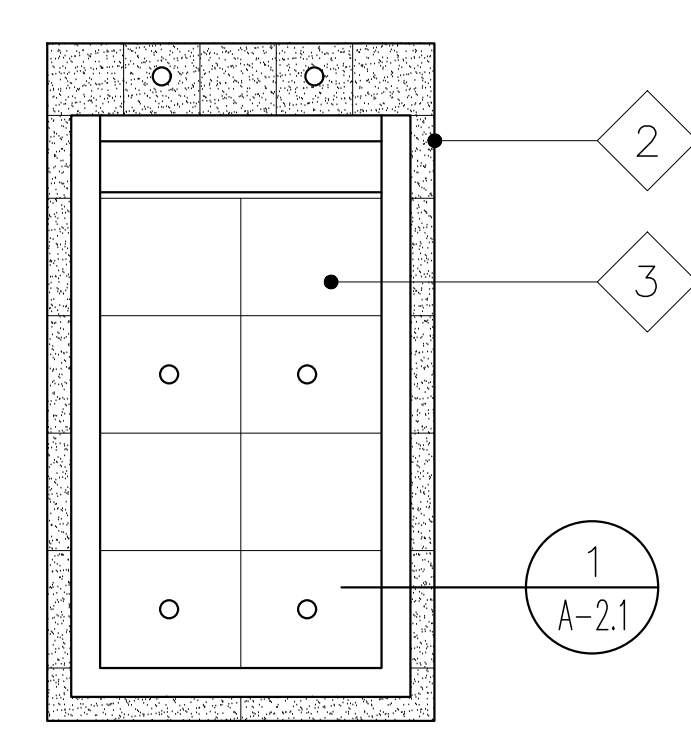


EXISTING BUILDING C PROPOSED FLOOR PLAN
SCALE: 3/16" = 1'-0"

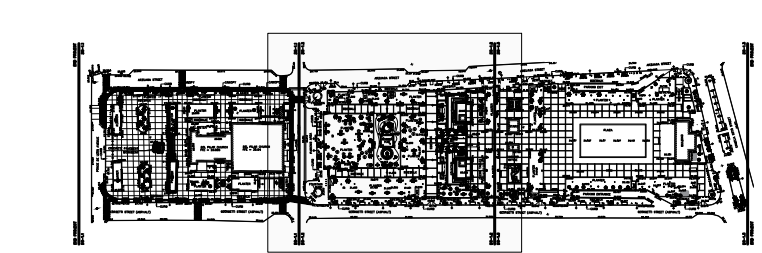
- LEGEND:**
- 1 INSTALL NEW WATER PROOFING MEMBRANE
SEE DETAILS AND NOTES ON DWG A-2.0
 - 2 EXISTING PERFORATED STAINLESS STEEL PANEL TO BE
RE-INSTALLED AFTER CLEAN ACCORDING TO TECH
SPEC SECTION 050100 (RESTORATION OF METALS)
 - 3 NEW METAL CEILING
 - 4 STAIR:
CLEAN EXISTING STAIR, INSTALL A NEW FIXED GLASS WINDOW
TO MATCH EXISTING.



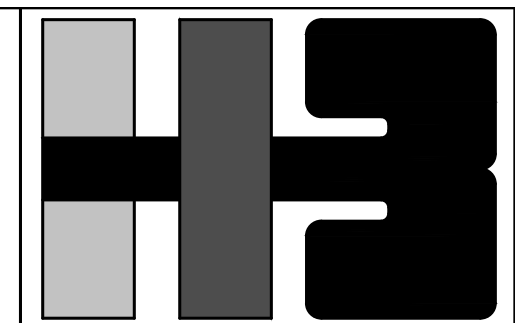
EXISTING BUILDING C PROPOSED REFLECTING CEILING
SCALE: 3/16" = 1'-0"



EXISTING BUILDING A PROPOSED ROOF PLAN
SCALE: 3/16" = 1'-0"



KEY MAP



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CONSULTANT'S SEAL

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DRAWING NAME
EXISTING BUILDING C PROPOSED PLANS

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NO.	DATE	REVISION	BY	APPROVED

PROJECT

DRAWING BY/CHECKED BY
jdd I.H.

NUMBER	TOTAL
41	62

DRAWING NUMBER
A-3.0



PLAZA DEL PILAR RENDER I



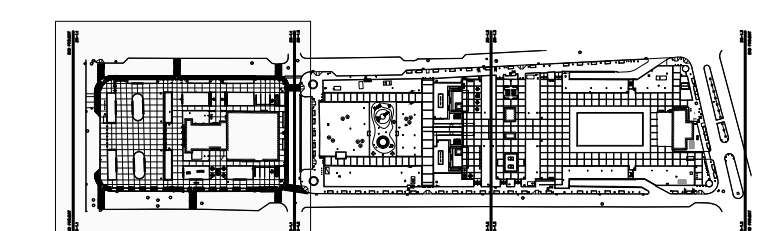
PLAZA DEL PILAR RENDER II



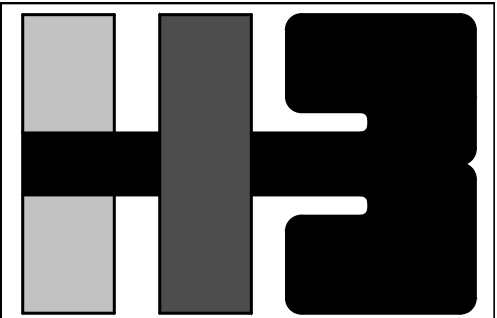
PLAZA DEL PILAR RENDER III



PLAZA DEL PILAR RENDER IV



KEY MAP



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CLIENT
MANAGER
DEPT. OF URBAN DESIGN AND PROJECT DEVELOPMENT, MASJ.

OWNER
AUTONOMOUS MUNICIPALITY OF SAN JUAN

PROJECT
IMPROVEMENTS OF "PLAZA DE LA CONVALESCENCIA" AND "PLAZA DEL PILAR"

DRAWING NAME
EXISTING BUILDING A PROPOSED PLAN

COMPUTER PLOT
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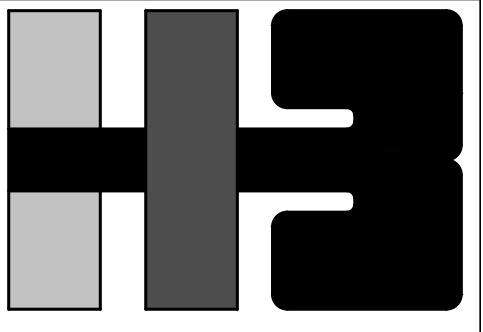
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PROJECT

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NUMBER	TOTAL
42	62

DRAWING NUMBER
A-4.0



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SPLASH PLAZA I RENDER



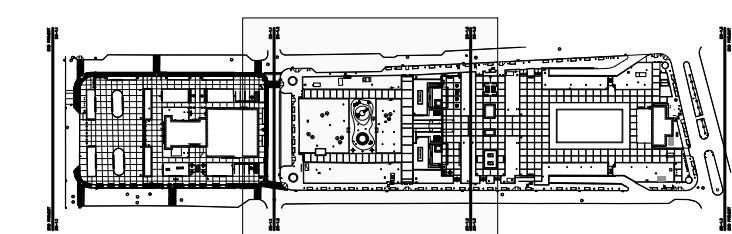
SPLASH PLAZA II RENDER



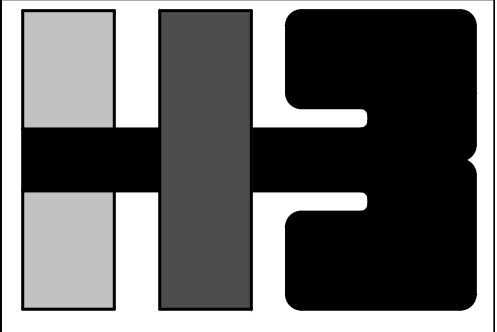
PLAYGROUND RENDER



HABITABLE PLANTER RENDER



KEY MAP



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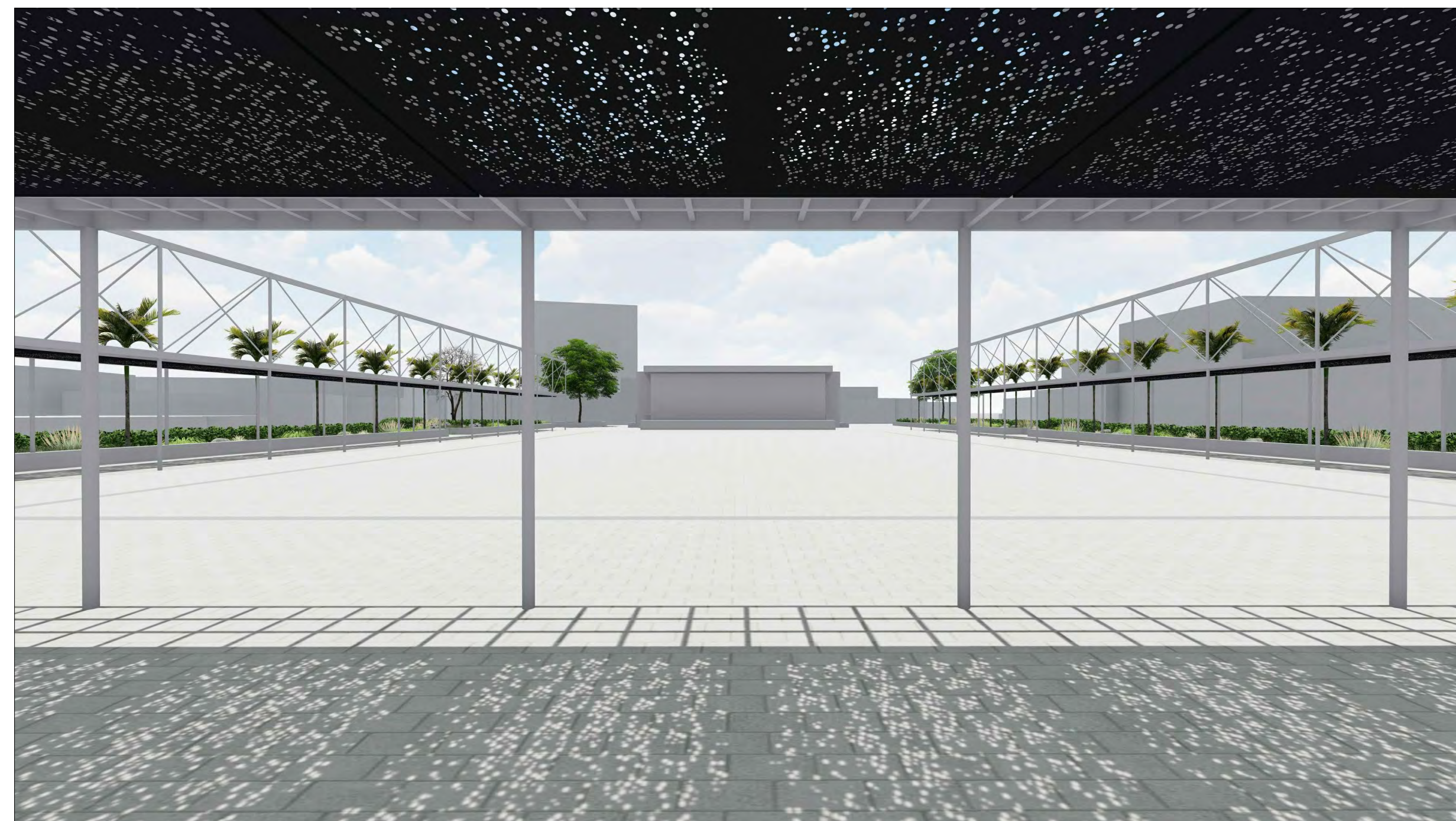
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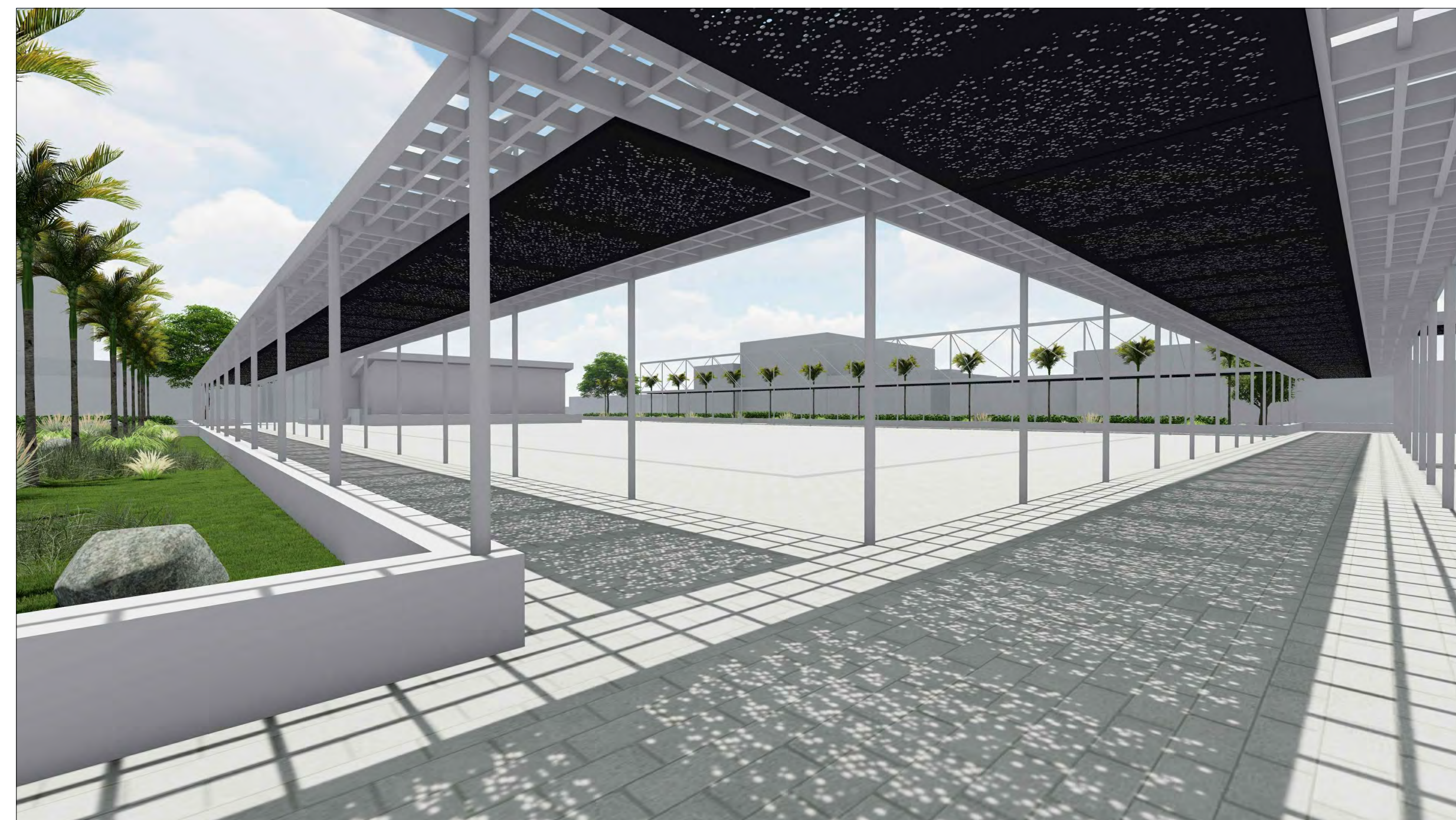
PING-PONG AREA RENDER



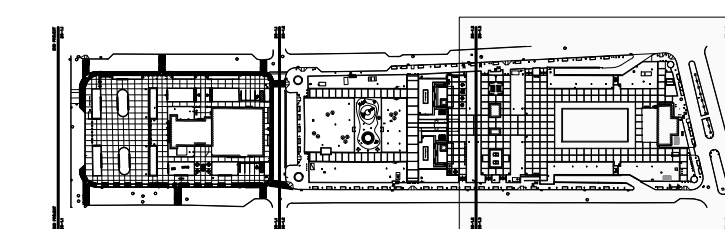
SOLAR STATION RENDER



TRELLIS RENDER I



TRELLIS RENDER II



KEY MAP

STRUCTURAL NOTES :

GENERAL:

- 1- UNLESS OTHERWISE INDICATED, THESE NOTES APPLY TO ALL STRUCTURAL DRAWINGS OF THIS SET OF PLANS.
- 2- IN CASE OF DISCREPANCY BETWEEN THESE NOTES AND THE CONSTRUCTION DRAWINGS, SPECIFICATIONS OR ANY REFERRED STANDARD, THE MORE RESTRICTIVE PROVISION SHALL APPLY.
- 3- STRUCTURAL DRAWINGS SHALL BE COORDINATED AND SUPPLEMENTED BY ARCHITECTURAL, ELECTRICAL, MECHANICAL AND ANY OTHER BUILDING DRAWINGS.
- 4- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND BEFORE ORDERING ANY MATERIAL. DIFFERENCES BETWEEN PLANS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF ENGINEER AND NO ACTION SHALL BE TAKEN UNTIL APPROVED BY ENGINEER.
- 5- CONTRACTOR SHALL SUBMIT FOR APPROVAL ANY DETAIL OR DIMENSION THAT IS OMITTED OR NOT SPECIFICALLY SHOWN ON PLANS.
- 6- CONTRACTOR SHALL PROTECT ALL PROPERTY FROM DAMAGE. ANY DAMAGED PROPERTY SHALL BE PROMPTLY REPLACED BY EQUAL AND/OR BETTER QUALITY.
- 7- ALL CONSTRUCTION, DEMOLITION AND / OR EXCAVATION WORK SHALL BE PERFORMED IN SUCH A WAY AS NOT TO IMPAIR THE SAFETY OF ADJOINING EXISTING STRUCTURES.
- 8- ALL SOIL BELOW NEW FOOTINGS SHALL BE COMPACTED IN 8 INCHES THICK LAYERS AND EACH LAYER SHALL BE COMPACTED TO 95 % OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM SPECIFICATION D-1557).(IF APPLICABLE FOR THIS PROJECT)
- 9- QUALITY OF FILL MATERIAL SHALL BE SUBMITTED TO OWNER FOR APPROVAL

REINFORCED CONCRETE:

- 1- ALL AGGREGATES SHALL COMPLY WITH ASTM SPECIFICATION C-33. CEMENT SHALL COMPLY WITH ASTM SPECIFICATION C-150. MAXIMUM SIZE OF COURSE AGGREGATES SHALL BE 3/4 INCH. MANUFACTURED AGGREGATES FROM WATER SOLUBLE MATERIALS WILL BE PERMITTED.
- 2- FORM WORKS SHALL BE CONSTRUCTED SO THAT THE CONCRETE SURFACES WILL CONFORM TO THE TOLERANCE LIMITS SET FORTH IN CHAPTER 4 OF THE "SPECIFICATIONS FOR STRUCTURAL MEMBERS FOR BUILDINGS" (ACI 301).
- 3- ALL DIMENSIONS SHOWN ARE STRUCTURAL AND DO NOT INCLUDE THICKNESS OF PLASTER OR ANY OTHER CONCRETE FINISH.
- 4- CONSTRUCTION LOADS SHALL NOT BE SUPPORTED ON, OR ANY SHORING REMOVED FROM ANY PART OF THE STRUCTURE UNDER CONSTRUCTION EXCEPT THAT PORTION OF THE STRUCTURE IN COMBINATION WITH THE REMAINING FORMING AND SHORING SYSTEM HAS SUFFICIENT STRENGTH TO SUPPORT SAFELY IT'S WEIGHT AND LOADS PLACED THEREON TIME FOR REMOVING CONCRETE FORMS AND SHORING IN BEAMS, SLABS AND STAIRWAYS SHALL BE TWO WEEKS. FOR WALLS 5 DAYS.
- 5- PROVIDE A POLYETHYLENE VAPOR BARRIER MEMBRANE UNDER ALL CONCRETE POURED AGAINST THE SOIL. UNLESS OTHERWISE INDICATED ON PLANS, VAPOR BARRIER SHALL BE EQUAL OR SIMILAR TO GRIFFOLYN TYPE-65. (IF APPLICABLE FIR THIS PROJECT)
- 6- REINFORCING BARS BE GRADE 60 HIGH STRENGTH DEFORMED NEW BILLET STEEL MEETING ASTM SPECIFICATION A-615 (LATEST).
- 7- UNLESS OTHERWISE SHOWN, MINIMUM REBAR SPLICE BE 24 INCH. FOR #3 BARS, 30 INCH., FOR #4 BARS, 36 INCH. FOR #5 BARS, 45 INCH. FOR #6 BARS, 63 INCH. FOR #7 BARS, 72 INCH. FOR #8 BARS, 80 INCH. FOR #9 BARS.
- 8- NO REBAR SPICE SHALL BE MADE AT OR NEAR REGIONS OF MAXIMUM STRESS AND NO MORE THAN 50 % OF REBARS SHALL BE SPLICED AT ANY LOCATION.
- 9- CONCRETE WORK SHALL CONFORM TO THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-LATEST), INCLUDING SUPPLEMENTS. AND SHALL COMPLY WITH ALL LOCAL LAWS AND ORDINANCES. WHERE CONFLICTING REQUIREMENTS OCCUR, THE MORE STRINGENT REQUIREMENT SHALL APPLY.
- 10- CONCRETE DESIGN IS BASED ON THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-LATEST), INCLUDING SUPPLEMENT.
- 11- REFERENCE SPECIFICATION AND CODES:
(A) EARTHWORK SPEC NO. 03000. (IF APPLICABLE FOR THIS PROJECT)
(B) CAST-IN PLACE CONCRETE SPEC NO. 03-300
- 12- ALL CONCRETE SHALL BE NORMAL WEIGHT, UNLESS NOTED, HAVING A MINIMUM COMPRESSIVE STRENGTH OF F'C = 4,000 PSI AT 28 DAYS, WATER CEMENT RATIO MINIMUM = 0.55. CONCRETE MIX DESIGN SHALL INCLUDE CORROSION INHIBITOR & SHRINKAGE ADMIXTURES. MAXIMUM WATER SOLUBLE CHLORIDE ION CONTENT (CT)=0.15% BY WEIGHT. USE OF SLAG CEMENT IS APPROVED.
- 13- REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60 (FY-60 KSI). CONTRACTOR SUPPLY WILL CERTIFICATES OF ALL STEEL MATERIALS. ALL STEEL BARS SHALL BE EPOXY COATED ACCORDING WITH ASTM A775 OR A934.

- 14- CONCRETE PROTECTION FOR REINFORCEMENT SHALL BE AS FOLLOWS:
- CAST AGAINST AND PERMANETLY EXPOSEDO TO EARTH: 3" (IF APPLICABLE FOT HIS PROJECT)
- #6 BARS AND LARGER: 2"
- #5 BARS AND SMALLER: 2"
- NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND SLAB AND WALLS: 1 1/2"
- BEAMS, GIRDERS, COLUMNS: 2"
- 15- (IF APPLICABLE FOR THIS PROJECT)
(A) DEPRESSED SLABS SHALL MAINTAIN FULL THICKNESS UNLESS NOTED. SEE TYPICAL DETAILS.
(B) ALL DIMENSIONS AND LOCATIONS OF FLOOR DEPRESSIONS SHALL BE VERIFIED FROM ARCHITECTURAL DRAWINGS BEFORE PLACING SLAB.
- 16- CONTRACTION AND CONTRACTION JOINTS IN SLABS ON GRADE SHALL BE LOCATED AND CONSTRUCTED AS DETAILED ON THE DRAWINGS.
- 17- ALL SLEEVES, SLOTS AND OTHER EMBEDDED AND UNDER SLAB ITEMS SHALL BE SET BEFORE CONCRETE IS PLACED, SEE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND VENDOR'S DRAWINGS FOR SIZES AND LOCATIONS.
- 18- ALL TOP BARS AT DISCONTINUOUS ENDS SHALL BE HOOKED.
- 19- ALL BAR SPLICES SHALL BE CLASS C LAP SPLICES, UNLESS NOTED.
- 20- ALL BEARING PLATES SHALL BE SET WITH NON-SHRINK GROUT.
- 21- ALL EXPOSED EXTERNAL CORNERS OF CONCRETE SHALL HAVE A 3/4" x 45 DEGREES CHAMFER, UNLESS NOTED.
- 22- SHOP DRAWINGS FOR REBARS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO FABRICATION.
- 23- OPENINGS IN CONCRETE WALLS SHALL BE REINFORCED AROUND PERIMETER WITH 2 #5 AND EXTENDING 2'-0" BEYOND CORNERS.
- 24- ALL WALLS AND PEDESTALS SHALL BE PLACED MONOLITHICALLY.
- 25- (IF APPLICABLE FOR THIS PROJECT)
(A) BACK FILLING AT FOUNDATION WALLS AND PEDESTALS SHALL BE PLACED SUCH THAT SYMMETRICAL LOADING SHALL BE MAINTAINED ON BOTH SIDES.
(B) WHERE DESIGN CONDITIONS REQUIRE BACK FILLING EACH SIDE TO UNEQUAL HEIGHTS, WALLS SHALL BE FIRMLY SHORED IN POSITION, AND SHORES SHALL REMAIN UNTIL FLOORS ARE PLACED AND PROPERLY SET TO PROVIDE FULL SUPPORT.
(C) BACK FILLING AT CANTILEVER WALLS SHALL NOT BE STARTED UNTIL THE WALLS HAVE ATTAINED THEIR MINIMUM 28-DAY COMPRESSIVE STRENGTH.
- 26- (IF APPLICABLE FOR THIS PROJECT) CONSTRUCTION JOINTS IN FOUNDATION WALL SHALL BE PLACED AT MID SPAN BETWEEN COLUMNS. BEAMS, OR SLABS, UNLESS NOTED.
- 27- ALL PIPE PENETRATIONS THROUGH FOUNDATION WALLS SHALL HAVE PIPE SLEEVES PROVIDED, WHICH SHALL BE SET BEFORE CONCRETE IS PLACED. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR SIZES AND LOCATIONS.
- 28- WALLS, WHERE DOOR OPENINGS OCCUR. BARS SHALL EXTEND 2'-0" BEYOND EDGE OF OPENING. (IF APPLICABLE FOR THIS PROJECT)
- 29- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ANY REQUIRED NEEDLING, SHORING, OR BRACING OF EXISTING STRUCTURES.
- 30- ANY CONDITIONS WHICH REQUIRE UNDERPINNING SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER, WHO WILL PROVIDE DESIGN/CONS- TRUCTION DIRECTION TO THE CONTRACTOR.
- 31- FOUNDATION CONCRETE PADS SHALL INCLUDE SETTING OF COLUMN ANCHOR OR EXPANSIONS SUPPLIED BY THE STRUCTURAL STEEL CONTRACTOR.
- 32- ALL ELEVATIONS ARE GIVEN WITH RESPECT TO FINISH FIRST FLOOR DATUM ELEVATIONS (REF. EL. 0'-0")
- 33- IF BOTTOM OF ANY FOUNDATION IS NOT AT LEAST 3'-0" BELOW THE EXISTING GROUND ELEVATIONS THE CONTRACTOR SHALL NOTIFY ENGINEER AND / OR SOIL CONSULTANT.
- 34- FOR STRUCTURAL EXCAVATION AND BACK FILL REQUIREMENTS SEE SOILS REPORT #5089-B DATED ON JANUARY 18 2022 MENTIONED IN NOTE NO. 16. (DOES NOT APPLY FOR THIS PROJECT)
- 35- SOIL WILL BE TREATED FOR TERMITES & INSECTS PRIOR TO CONCRETE POUR.
- 36- GENERAL CONTRACTOR SHALL BEWARE TO HAVE AT LEAST 2,000 PSF BEARING CAPACITY. PRESENCE OF A LICENSED GEOTECHNICAL ENGINEER IS RECOMMENDED DURING EARTHWORKS BEFORE TO POUR CONCRETE FOOTING.

STRUCTURAL STEEL:

- 1- STRUCTURAL STEEL SHALL COMPLY WITH THE FOLLOWING SPECIFICATIONS:
STEEL TUBES ASTM 500, GRADE B, Fy = 46 KSI
W SHAPES ASTM 572, GRADE 50, Fy = 50 KSI
ANY OTHER MISCELLANEOUS STRUCTURAL STEEL ASTM A36, Fy = 36 KSI
- 2- CONTRACTOR SHALL SUPPLY, ASSEMBLY AND CONSTRUCT ALL STEEL ELEMENTS CALLED FOR IN THE PLANS AND SPECIFICATIONS. CONTRACTOR SHALL ALSO SUBMIT FOR APPROVAL SHOP DRAWINGS OF ALL STRUCTURAL STEEL, JOINT PLATES, INSERTS AND FITTINGS BEFORE ORDERING IT.
- 3- THE REVIEW OF SHOP DRAWINGS BY THE ENGINEER SHALL IN NO CASE RELIEVE CONTRACTOR OF RESPONSIBILITIES FOR ERRORS, OMISSIONS, FURNISHINGS OF UNSUITABLE MATERIALS AND TIME DELAYS ARISING DIRECTLY FROM A DIVERSION FROM PLANS AND SPECIFICATIONS BROUGHT BY THE CONTRACTOR IN THE SHOP DRAWINGS.
- 4- WELDED SPLICES OF STRUCTURAL SECTIONS MAY BE PERMITTED IF APPROVED BY ENGINEER, CONTRACTOR SHALL OBTAIN THE SECTIONS IN LENGTHS THAT WOULD MINIMIZE THE NUMBER OF SPLICES.
- 5- ALL WELD WORKS SHALL BE PERFORMED BY SKILLED AND PROPERLY CERTIFIED WELDER, BEARING THE PUERTO RICO WELDER BOARD LICENSE.
- 6- CONNECTIONS, WHEN NOT SHOWN ON PLANS, SHALL BE DESIGNED TO TRANSMIT THE MAXIMUM STRESS ALLOWED FOR THE CONNECTED MEMBERS.
- 7- THE ERECTION OF STRUCTURAL STEEL ELEMENTS SHALL STRICTLY FOLLOW SECTION 7 OF THE AISC "CODE OF STANDARD PRACTICE".
- 8- DIMENSIONS OF STRUCTURAL STEEL ELEMENTS SHALL BE WITHIN THE DIMENSIONAL TOLERANCES SET FOR FORTH IN SECTION 6 OF THE CODE OF STANDARD PRACTICE OF THE AISC MANUAL OF STEEL CONSTRUCTION.
- 9- NO LOADS SHALL BE PLACED OVER ANY STEEL STRUCTURE UNTIL ALL STUDS, PURLINS, BEAMS, STEEL JOIST AND COLUMNS ARE PROPERLY BRACED.
- 10- ENGINEERED COATING AND PAINTING FOR STEEL TOWERS, SEE PAINT SPECIFICATIONS PREPARED BY ARCHITECT OF RECORD CONSULTANT (FLORIDA PROTECTIVE CONSULTANTS INC.)
- 11- DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH AISC MANUAL OF STEEL CONSTRUCTION 14th EDITION AND IBC CODE, LATEST.
- 12- MATERIAL SHALL MEET THE REQUIREMENTS OF THE FOLLOWING (UNO):
ALL STRUCTURAL STEEL SHALL BE U.S. MADE
STRUCTURAL STEEL - STRUCTURAL SHAPES A 572-GRADE 50.
HIGH STRENGTH BOLTS - 3/4" DIA. MIN. ASTM A325N
WELDING - E70XX ELECTRODES PER AWS D1.1 SPECS
STEEL PLATES- ASTM A-36.
- 13- ALL SHOP CONNECTIONS SHALL BE MADE WITH WELDS OR HIGH STRENGTH BOLTS. ALL FIELD CONNECTIONS SHALL BE BOLTED. STANDARD FRAMED CONNECTIONS SHALL BE USED AS SHOWN IN TABLE II PART 4 OF AISC MANUAL OF STEEL CONSTRUCTION (UNO) ALL BEAMS SHALL RECEIVE MAXIMUM NUMBER OF ROWS OF BOLTS FOR BEAM DEPTH.
- 14- ALL WELDING SHALL CONFORM TO THE CURRENT SPECIFICATIONS OF THE AMERICAN WELDING SOCIETY, AND SHALL COMPLY WITH ALL LOCAL LAWS AND ORDINANCES. WELDING ELECTRODES SHALL BE E-70 SERIES.
- 15- CONNECTIONS:
(A) ALL CONNECTIONS SHALL BE FRAMED BEAM CONNECTION CONFORMING TO THE REQUIREMENTS OF PART 4 OF THE AISC MANUAL, TABLE II & III UNLESS OTHERWISE NOTED.
(B) ALL BOLTED CONNECTIONS SHALL BE MADE WITHHIGH STRENGTH BOLTS. UNLESS OTHERWISE NOTED, CONNECTIONS SHALL BE "BEARING TYPE" WITH ALLOWABLE STRESS ON BOLTS BASED ON THREADS INCLUDED IN THE SHEAR PLANE.
(C) ALL HIGH STRENGTH BOLTS SHALL BE TIGHTENED TO PROVIDE AT LEAST THE MINIMUM TENSION SHOWN IN TABLE 3, FASTENER TENSION, OF THE SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325, UNLESS NOTED.
(D) SEATED CONNECTIONS WILL NOT BE PERMITTED UNLESS SHOWN ON THE DRAWINGS.
- 16- THE CONTRACTOR SHALL SUPPLY ALL TEMPORARY BRACING REQUIRED TO MAINTAIN PLUMBNESS AND STABILITY DURING ERECTION. BRACING SHALL NOT BE REMOVED UNTIL ALL PERMANENT BRACING HAS BEEN INSTALLED, ALL WELDING HAS BEEN COMPLETED, ALL BOLTS HAVE BEEN PROPERLY TIGHTENED, AND TOP SUPPORTING ROOF DECK AND CONCRETE FLOOR SLAB HAVE BEEN PROPERLY PLACED.
- 17- NO OPENINGS SHALL BE CUT IN STRUCTURAL MEMBERS UNLESS SHOWN ON THE DRAWINGS, OR APPROVAL IS RECEIVED FORM THE ENGINEER.
- 18- ALL ELEVATIONS ARE GIVEN WITH RESPECT TO FINISH FIRST FLOOR DATUM ELEVATION: (REF. ELEV. 0'-0")
- 19- PROVISIONS FOR DETAILS NOT SPECIFICALLY DRAWN SHALL BE MADE BY THE CONTRACTOR IN ACCORDANCE AISC SPECIFICATIONS AND CLARIFIED WITH THE DESIGNER.
- 20- MINIMUM METAL THICKNESS FOR ALL CONNECTIONS, STIFFENER PLATES ETC., SHALL BE 3/8".

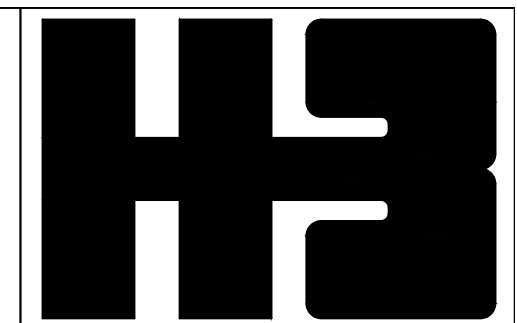
- 21- WORKING POINTS FOR VERTICAL BRACING SHALL BE AT INTERSECTION OF CENTERLINE OF COLUMN AND CENTERLINE OF BEAMS (U.N.O.) ON DWGS.
- 22- STAIRWAY AND PLATFORMS SHALL COMPLY WITH THE DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH STANDARDS AND ALL APPLICABLE LOCAL AND STATE CODES.
- 23- GRATING WHEN APPLICABLE, SHALL BE ALL WELDED OPEN CONSTRUCTION, WITH 1 1/4" x 3/16" BEARING BARS ON 1 3/16" O.C. (U.N.O.). GRATING SHALL BE SECURED TO SUPPORTING MEMBERS WITH SADDLE CLIPS, PROVIDE 2" CLEARANCE AROUND ALL EQUIPMENT, TANKS, ETC., THAT PENETRATE GRATING FLOORS. BAND ALL GRATING OPENINGS 8" AND LARGER WITH 1/4" x 5 1/4" PLATE WELDED TO GRATING AND EXTENDING 4" ABOVE TOP SURFACE OF GRATING.
- 24- HANDRAILS SHALL BE STAINLESS STEEL UNLESS OTHERWISE SPECIFIED 1 1/2" NOMINAL DIA. STANDARD STAINLESS STEEL PIPE, REFER TO DETAILS IN ARCHITECTURAL DRAWINGS. (DOES NOT APPLY FOR THIS PROJECT)
- 25- GROUT SHALL BE NON-SHRINK, NON-METALLIC, SIKA GROUT BY SIKA CORP OR APPROVED FOR PURPOSE REQUESTED. A/E SHALL APPROVE TYPE PRIOR TO USE.
- 26- FLOOR PLATE SHALL BE 3/8" CKD PLATE, PAINTED AND SHALL BE TAPPED TO SUPPORTING STEEL BY 3/16" FILLET WELDS 1 1/2" AT 12" O.C. GACH BETWEEN PLATES SHALL NOT EXCEED 1/4" ALL JOINTS OUTSIDE STRUCTURAL SUPPORTS SHALL HAVE BACKING PLATES.
- 27- STEEL STUDS SHALL BE INSTALLED WITH AUTOMATIC STUD WELDING MACHINE.
- 28- WIND LOAD:
a) BASIC WIND VELOCITY - 168 MPH AS PER PUERTO RICO BUILDING CODE 2018
b) EXPOSURE CATEGORY - "C"
c) RISK CATEGORY II
c) WIND DIRECTIONALITY FACTOR Kd - 0.9
d) TOPOGRAPHIC FACTOR Kzt - 1.0

CODES:

AMERICAN CONCRETE INSTITUTE, ACI 318 - LATEST EDITION
AMERICAN INSTITUTE OF STEEL CONSTRUCTION, LRFD LATEST EDITION.
PUERTO RICO BUILDING CODE - 2018

ABBREVIATIONS:

ADD ADDITIONAL	F.F.E FINISH FLOOR ELEVATION
B BOTTOM	FT FEET
E.W. EACH WAYS	GALV GALVANIZED
C.C CENTER TO CENTER	LG LONG
CL CLEAR	LL LOWER LAYER
COL COLUMN	MAX MAXIMUM
CONC CONCRETE	MECH MECHANICAL
CONST .. CONSTRUCTION	MIN MINIMUM
CONT CONTINUOUS	REINF REINFORCEMENT
C.S CARBON STEEL	SPECS SPECIFICATIONS
DTL DETAIL	S.S STAINLESS STEEL
DWG DRAWING	STD STANDARD
EA EACH	STL STEEL
E.E EACH END	SUP SUPPLEMENTARY
ELEV ELEVATION	T TYPICAL
F.B.E FOOTING BOTTOM ELEVATION	U.N.O UNLESS NOTED OTHERWISE



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DRAWING NAME
STRUCTURAL NOTES

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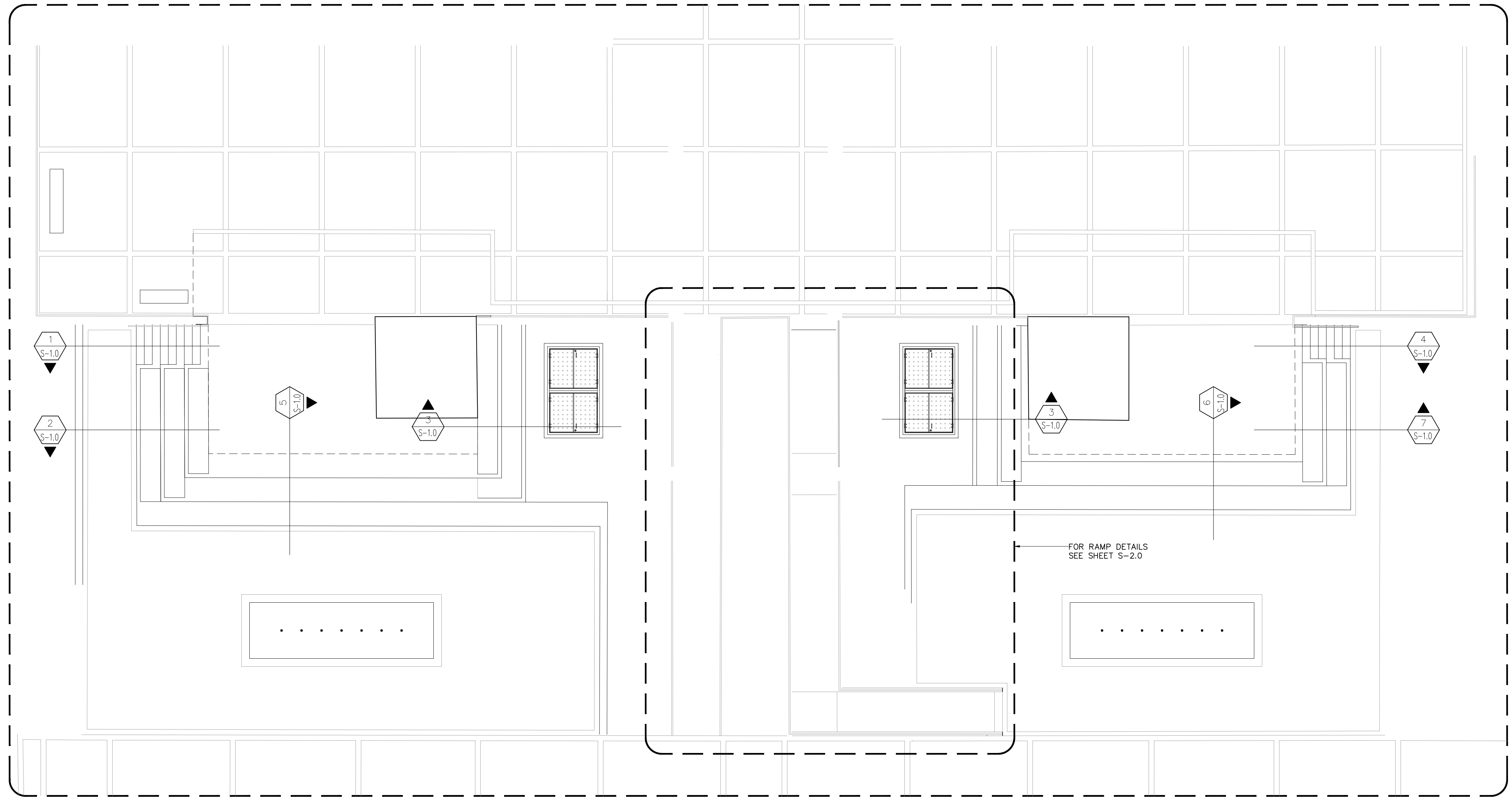
PROJECT

DRAWING BY/CHECKED BY
L.D.D. I.H.

NUMBER	TOTAL
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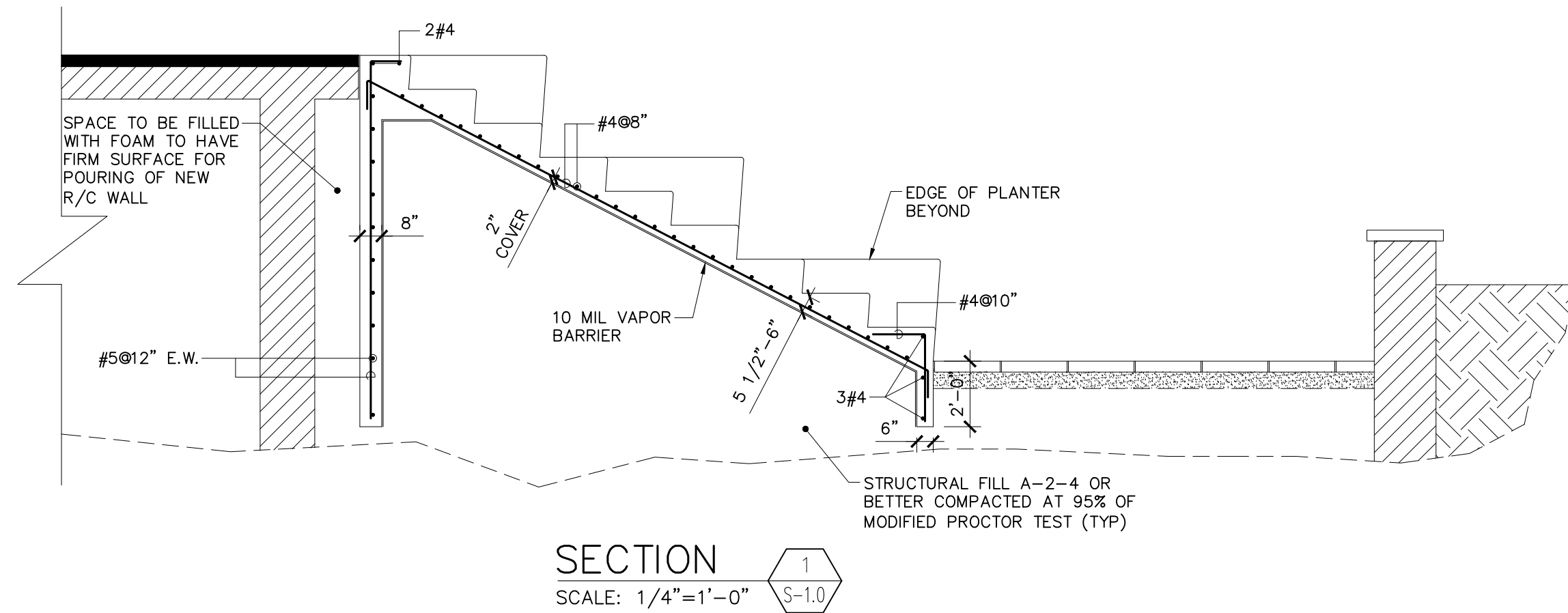
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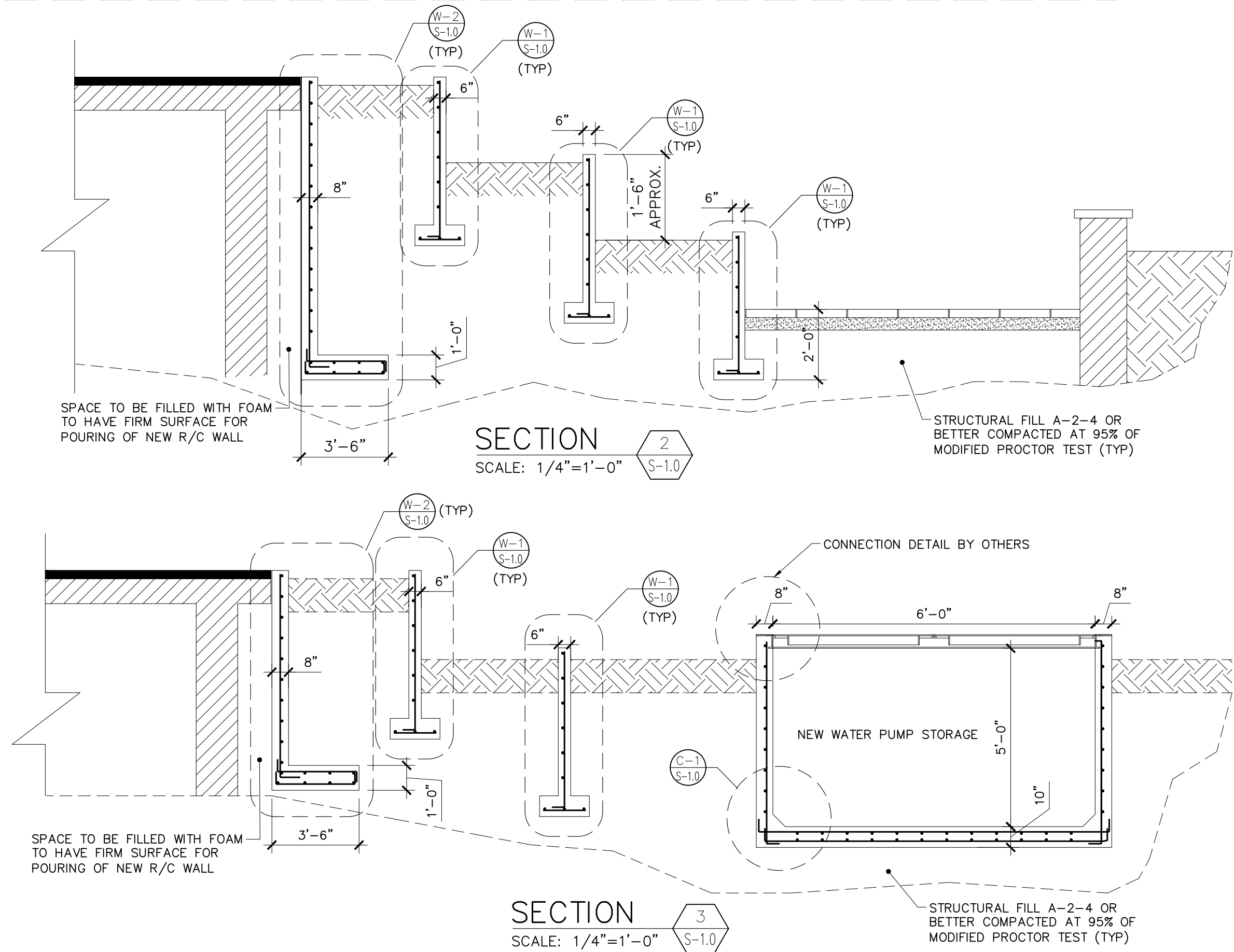
SPLASH PARK AREA BLOW-UP

SCALE: 1/8"=1'-0"



SECTION 1

SCALE: 1/4"=1'-0"

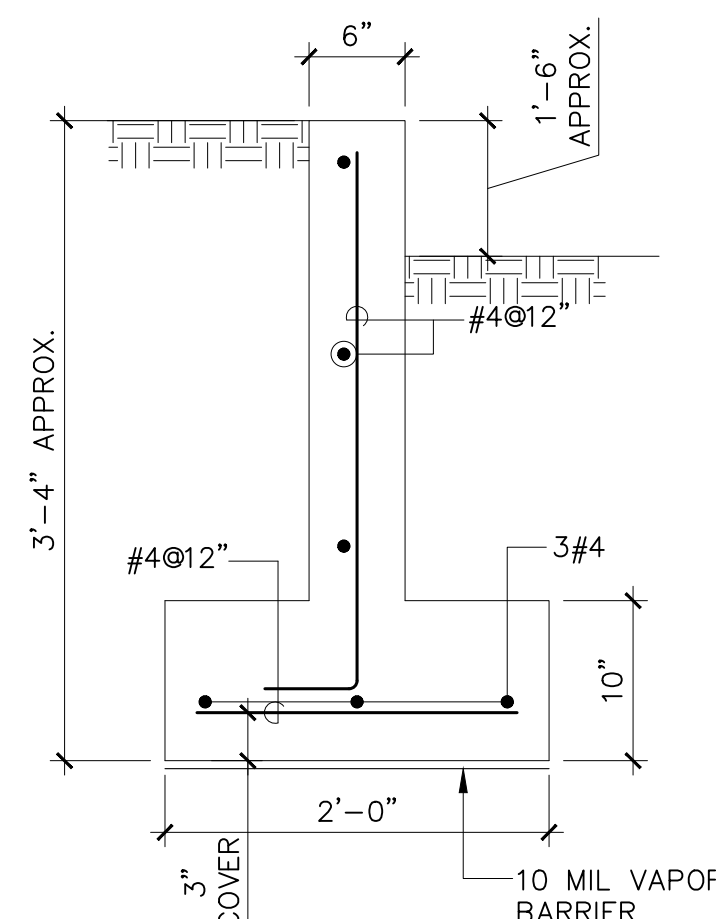


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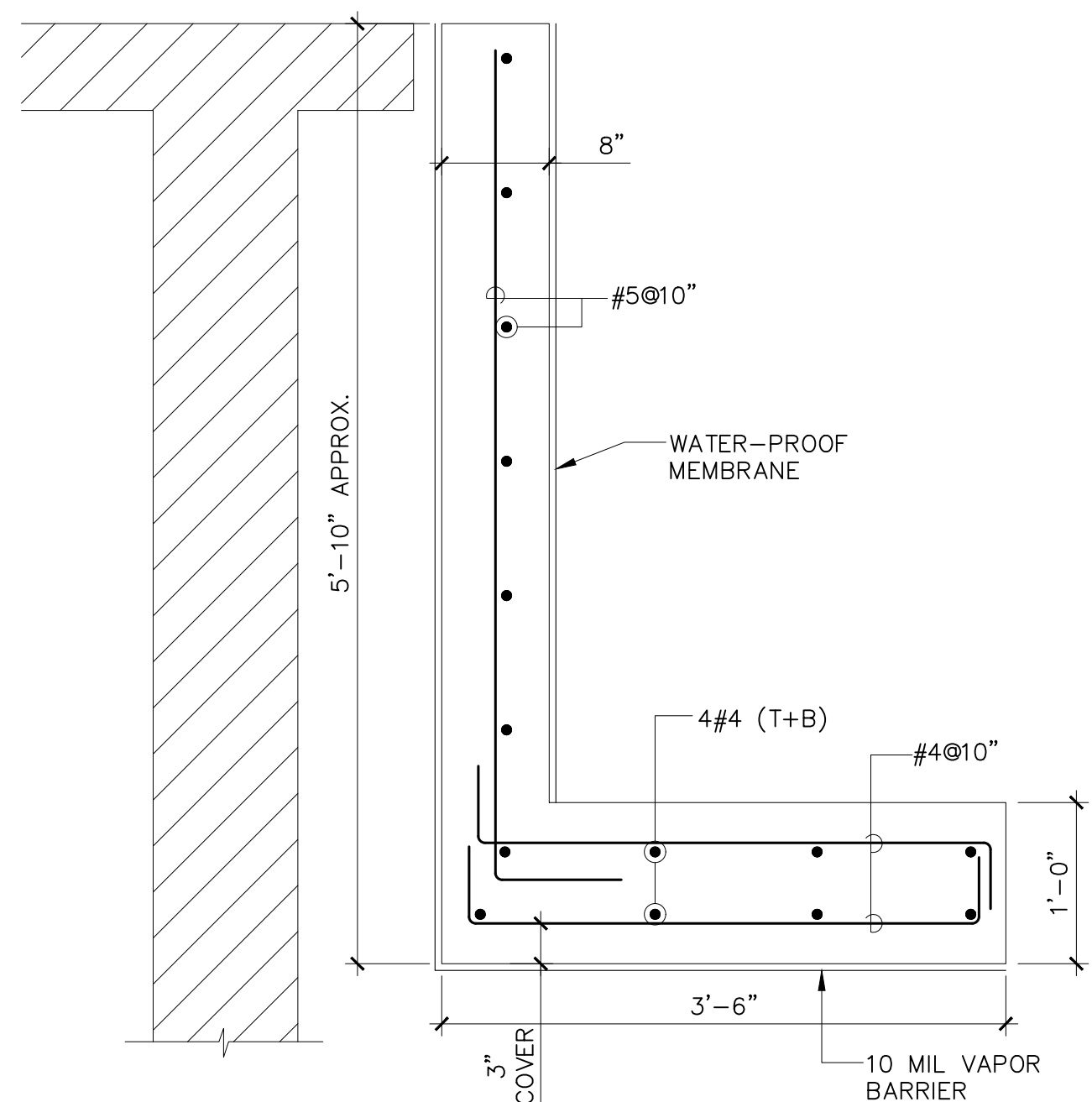
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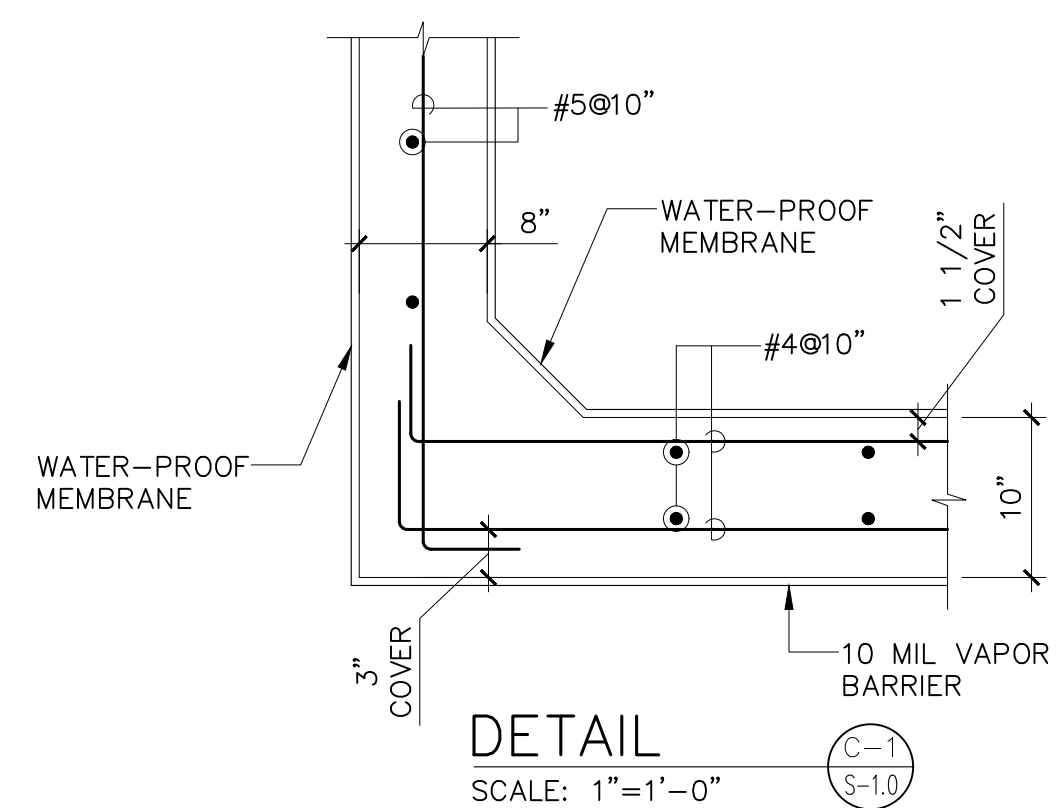
PLANTER LOW-WALL DETAIL

SCALE: 1"=1'-0"



DETAIL

SCALE: 1"=1'-0"



DETAIL

SCALE: 1"=1'-0"



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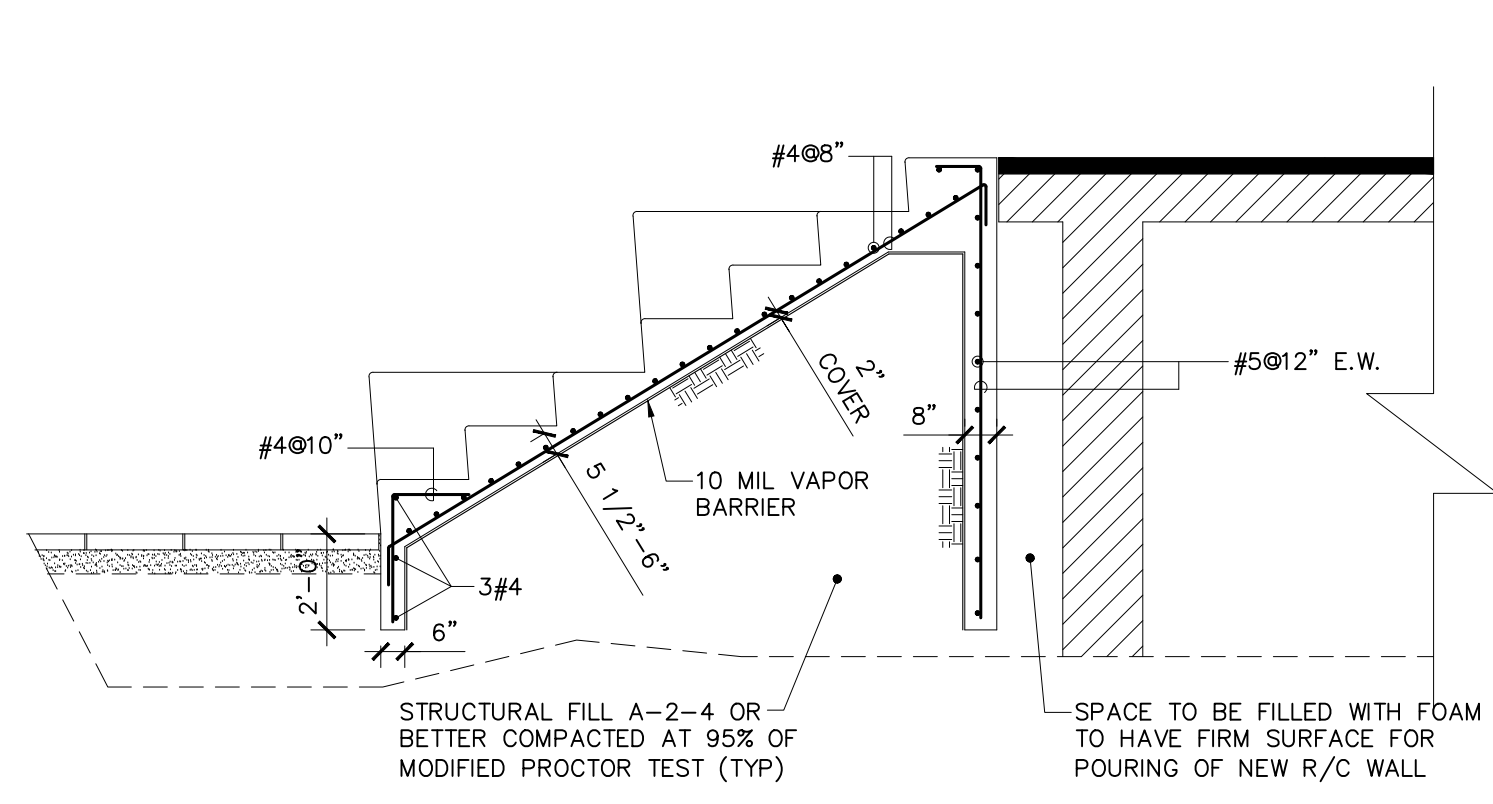
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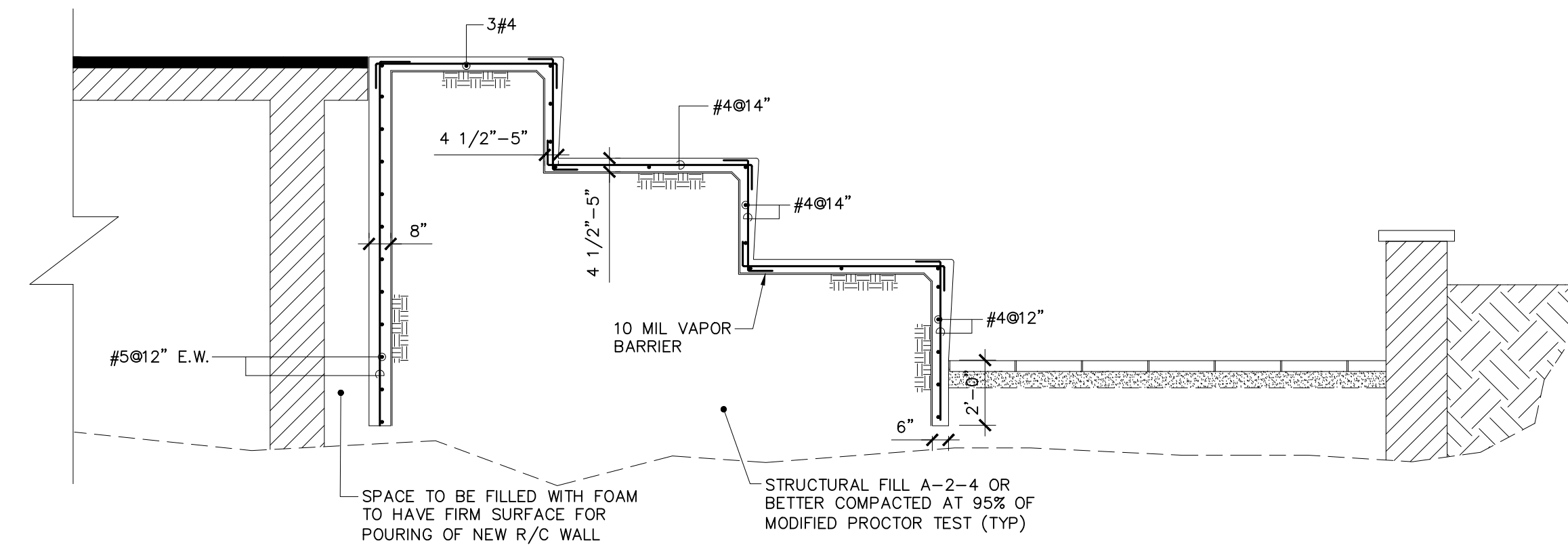
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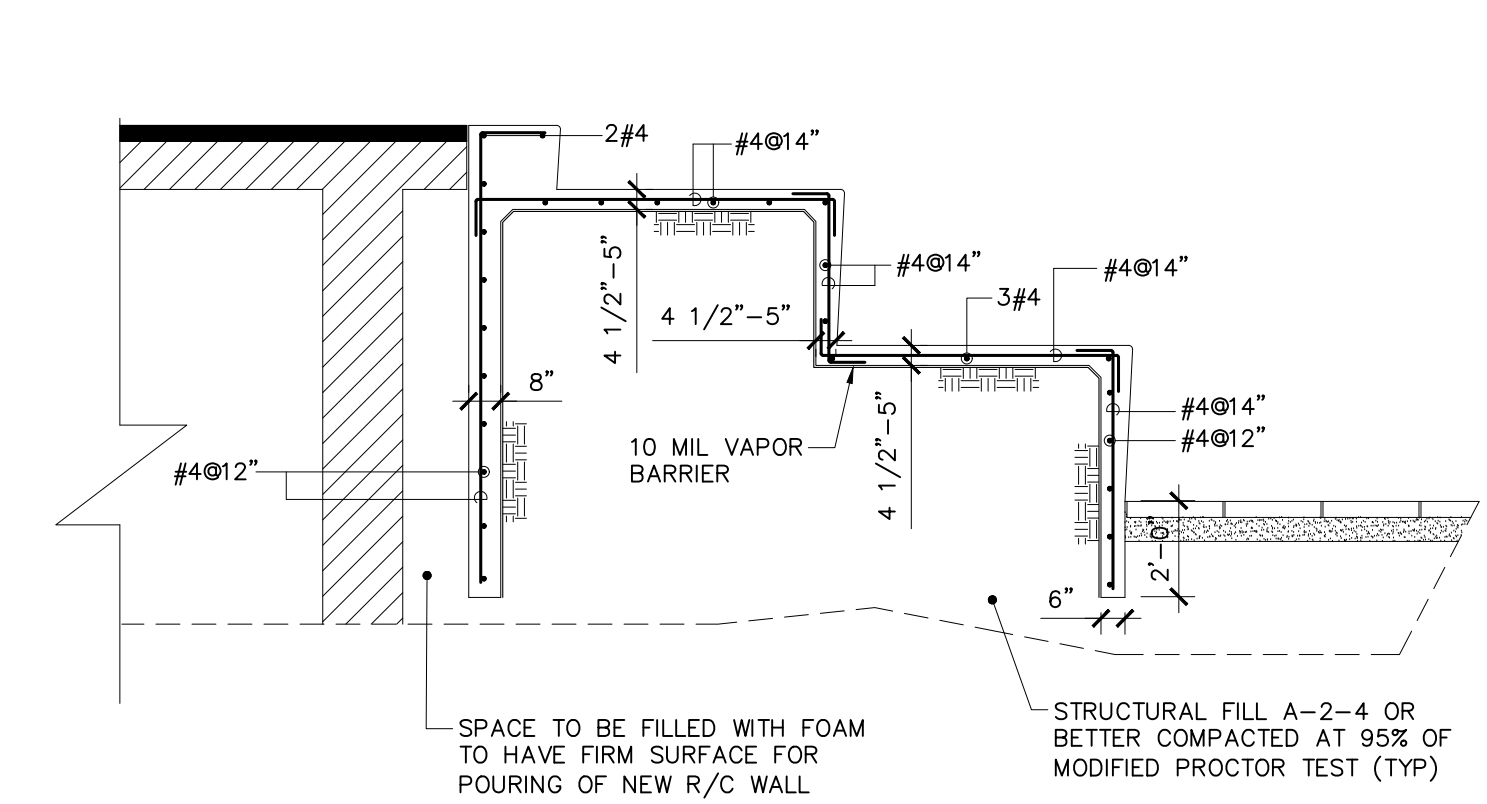
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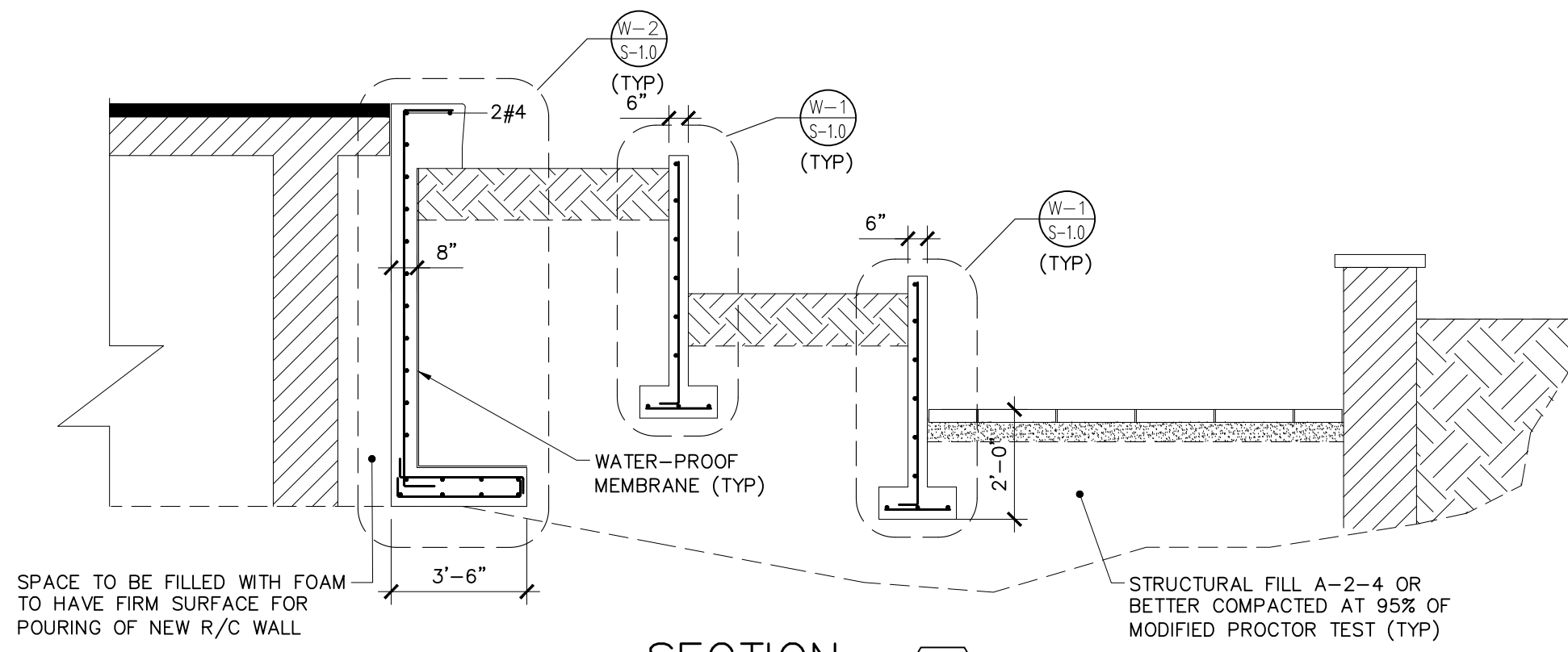
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SECTION 5
SCALE: 1/4"=1'-0" S-1.0



SECTION 6
SCALE: 1/4"=1'-0" S-1.0



SECTION 7
SCALE: 1/4"=1'-0" S-1.0



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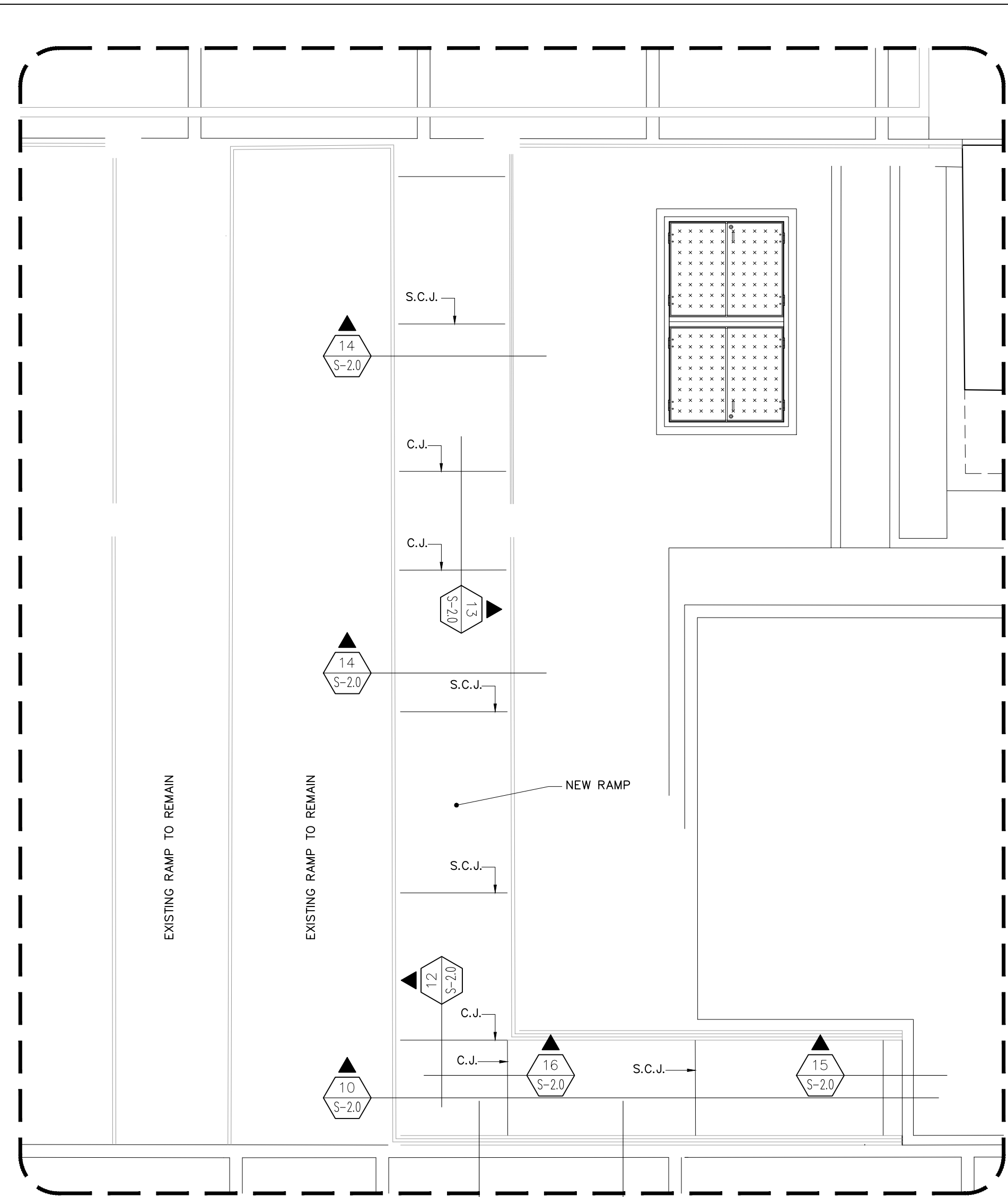
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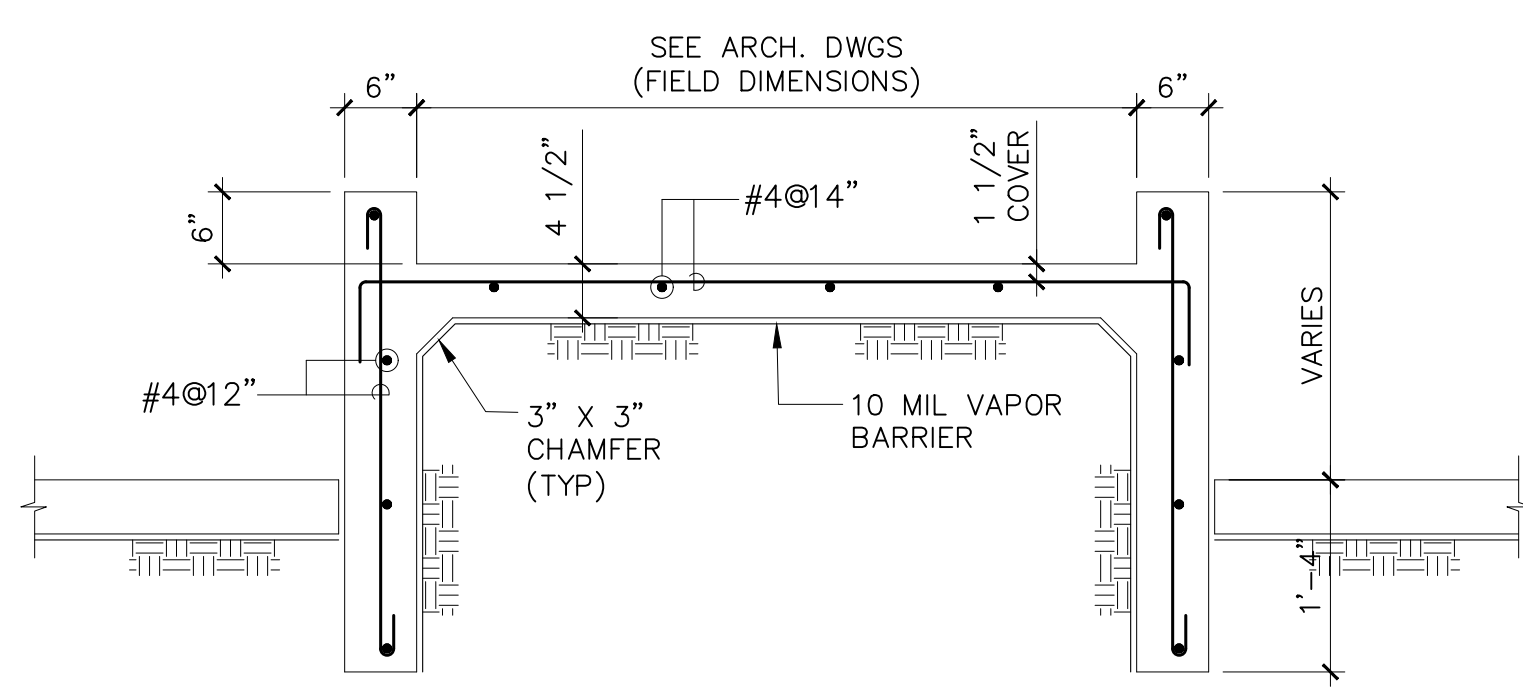
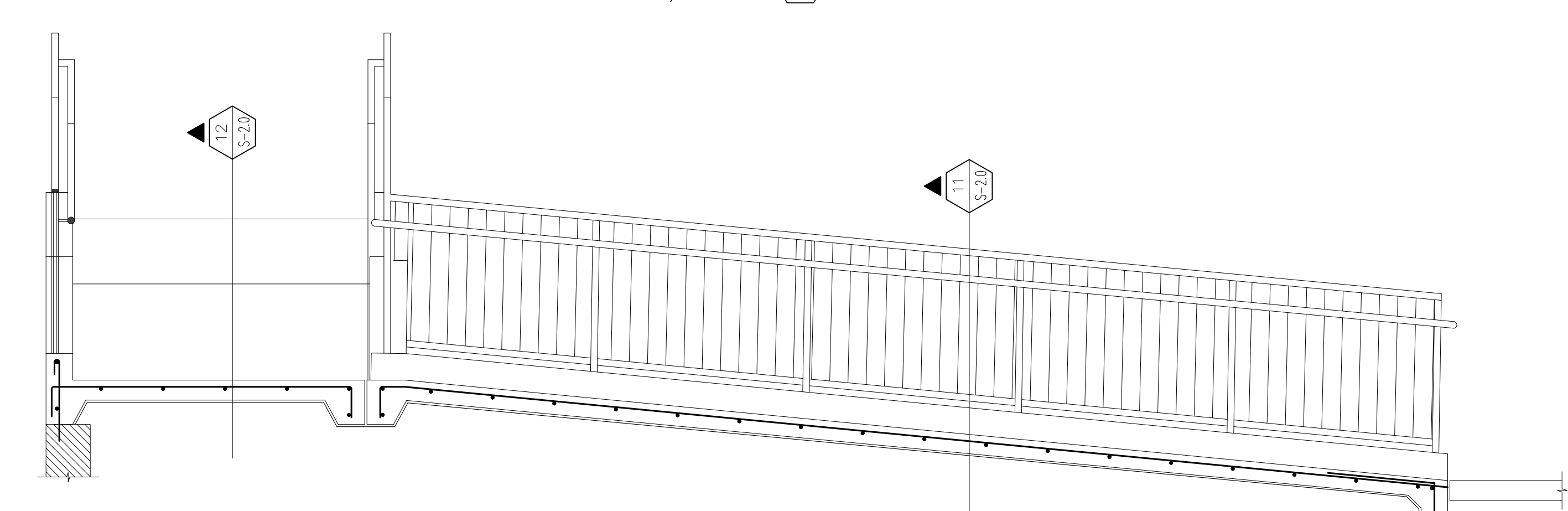
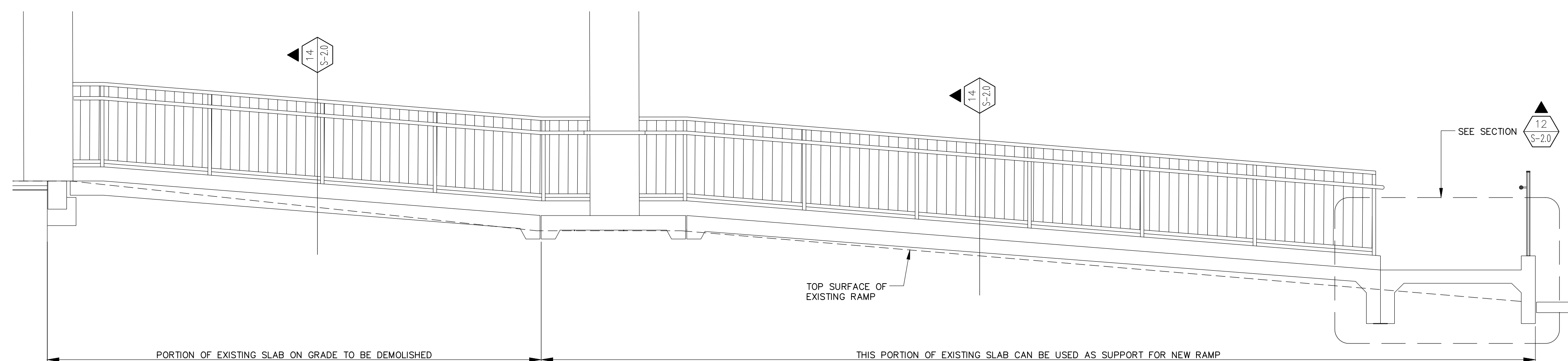
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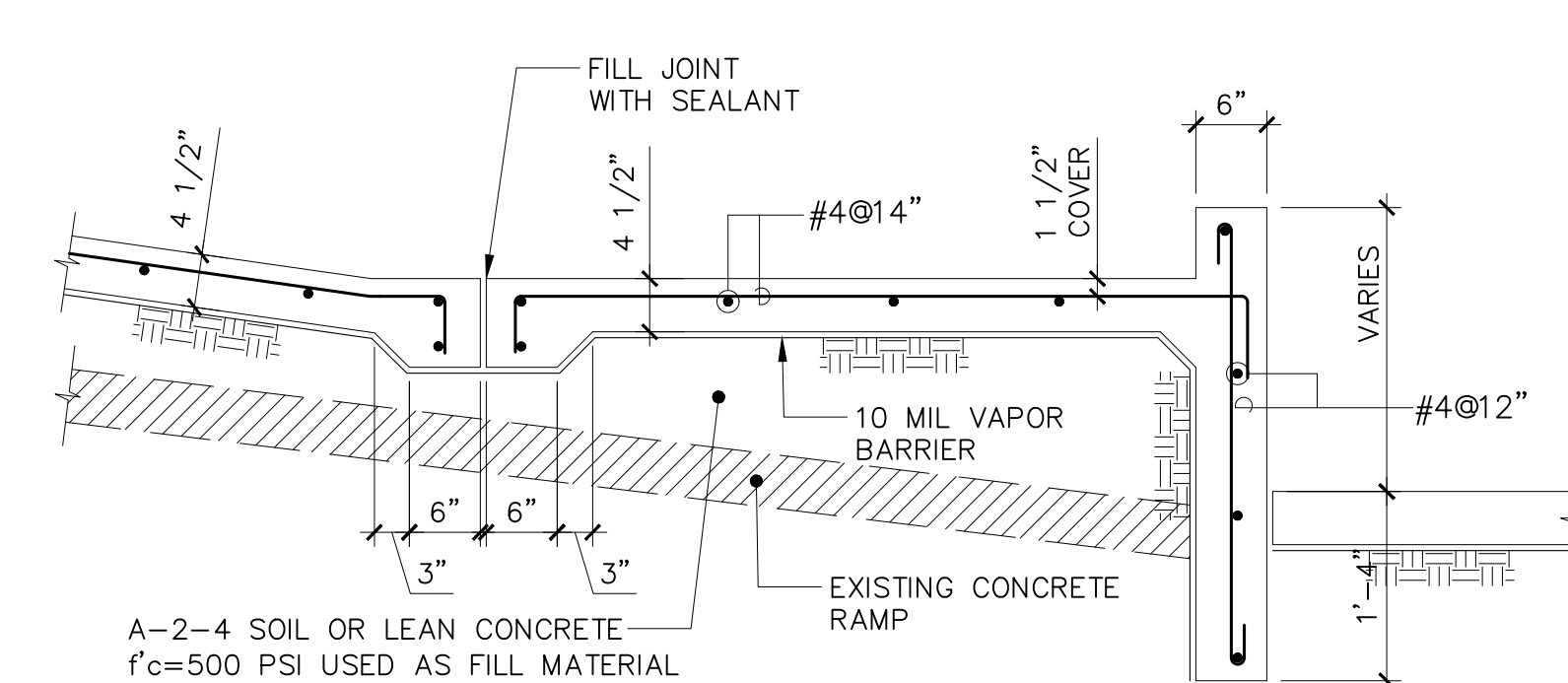
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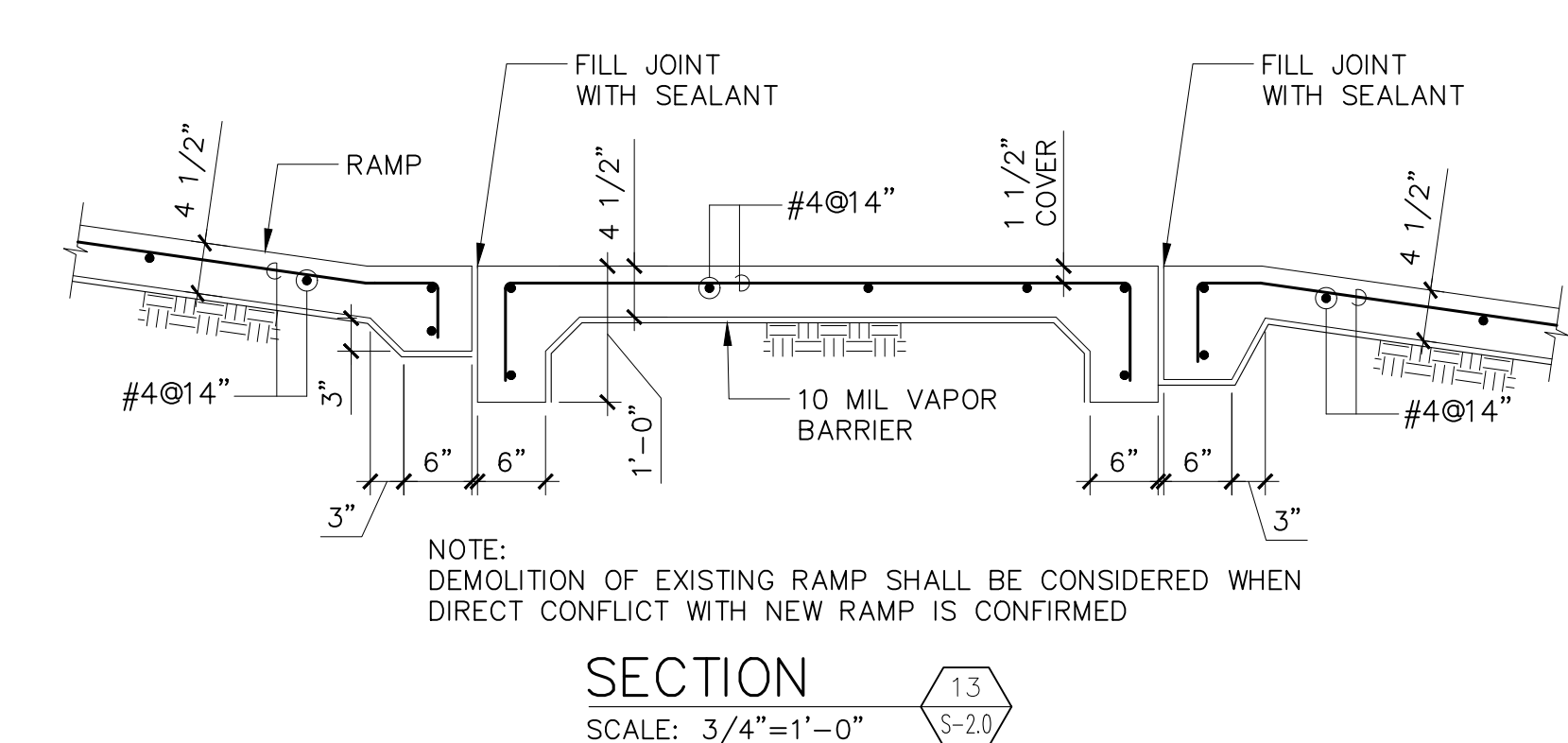
RAMP AREA BLOW-UP
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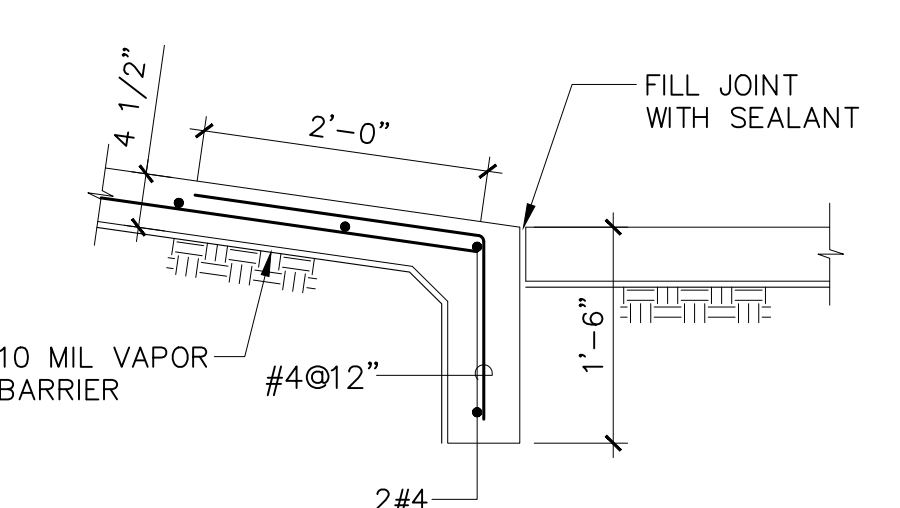
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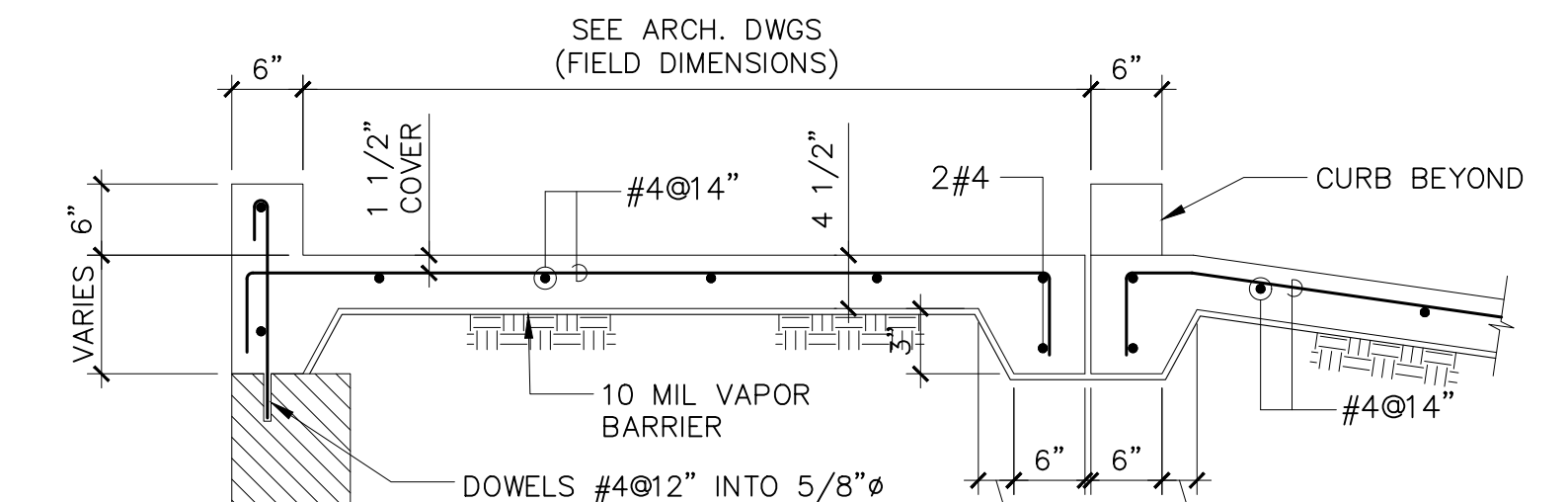
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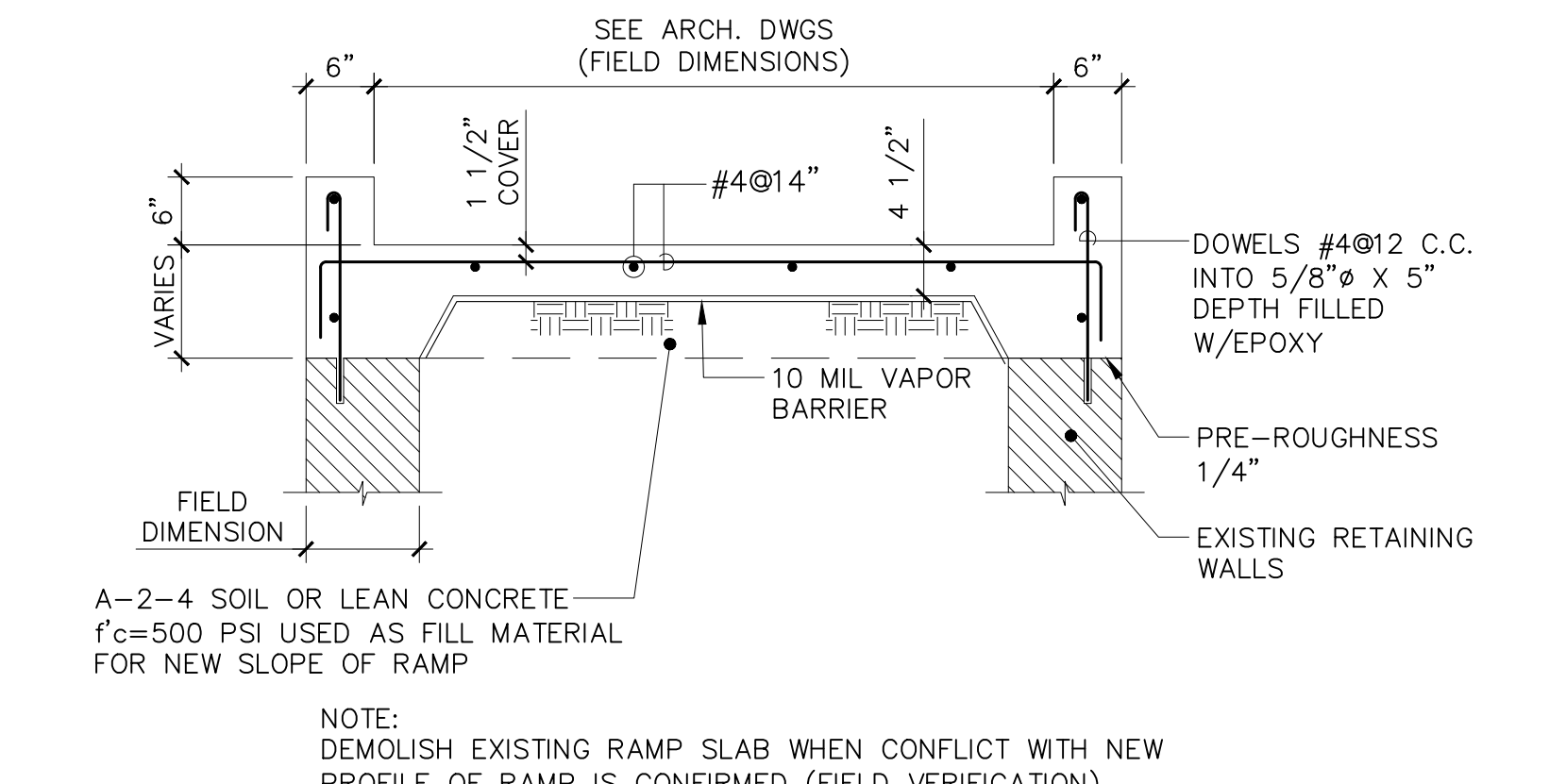
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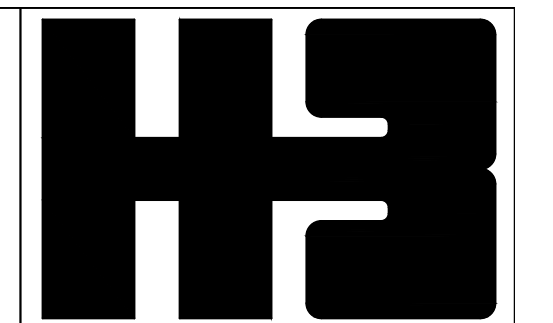
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SECTION 16
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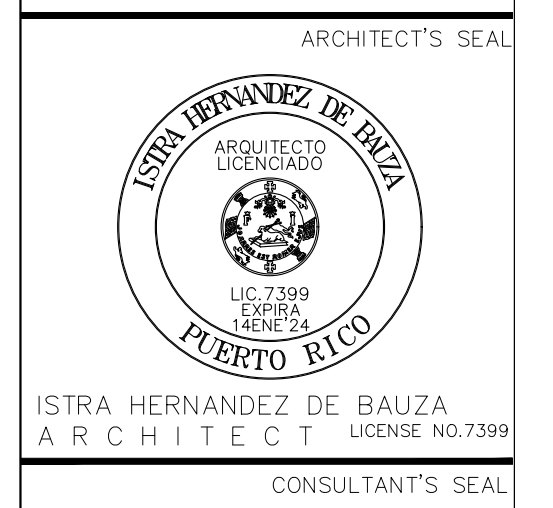
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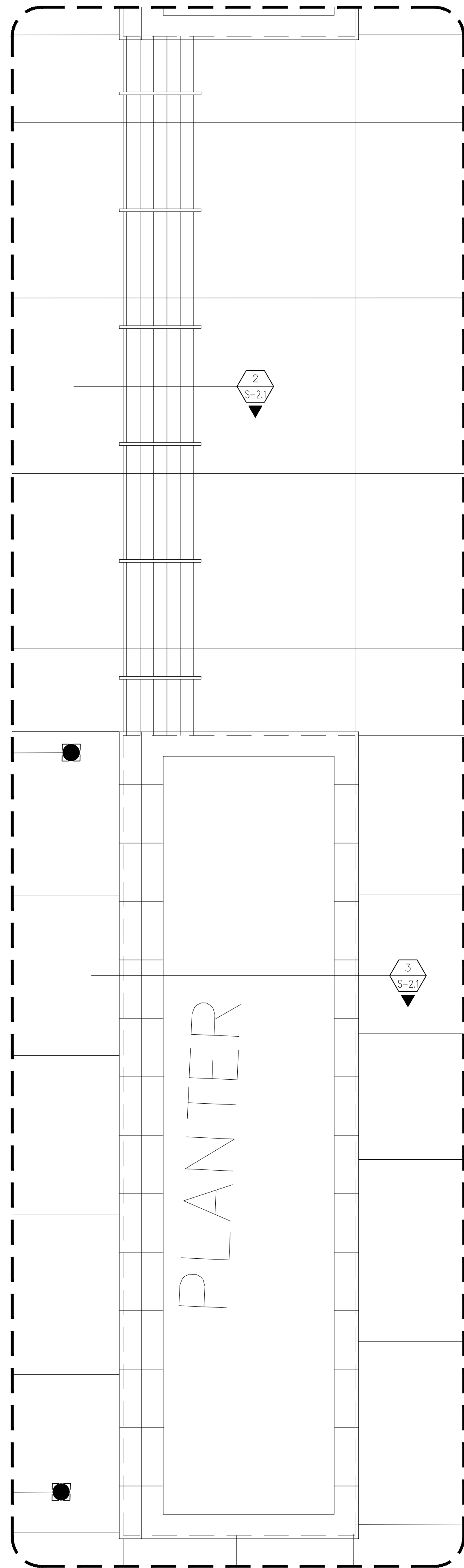
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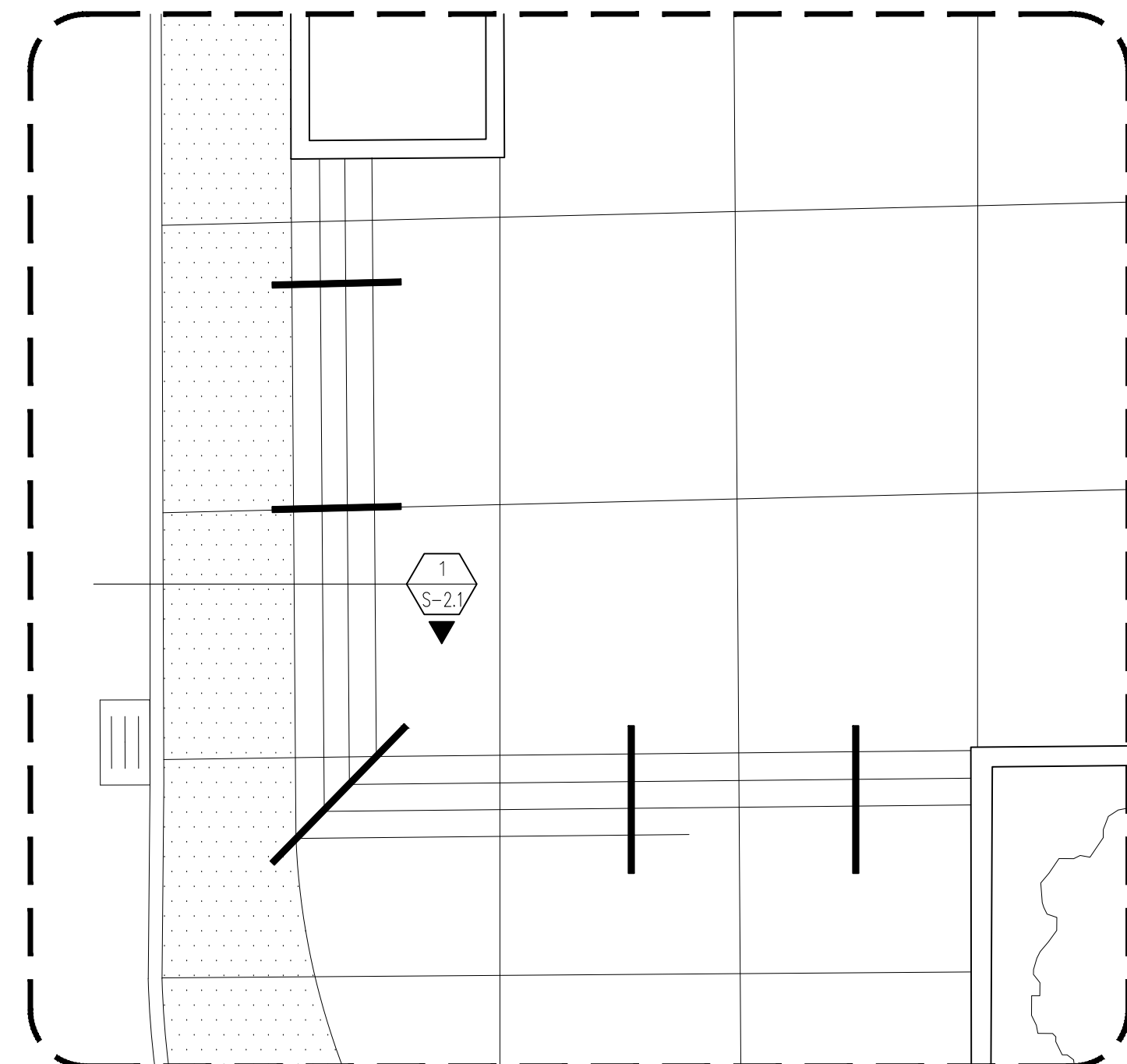
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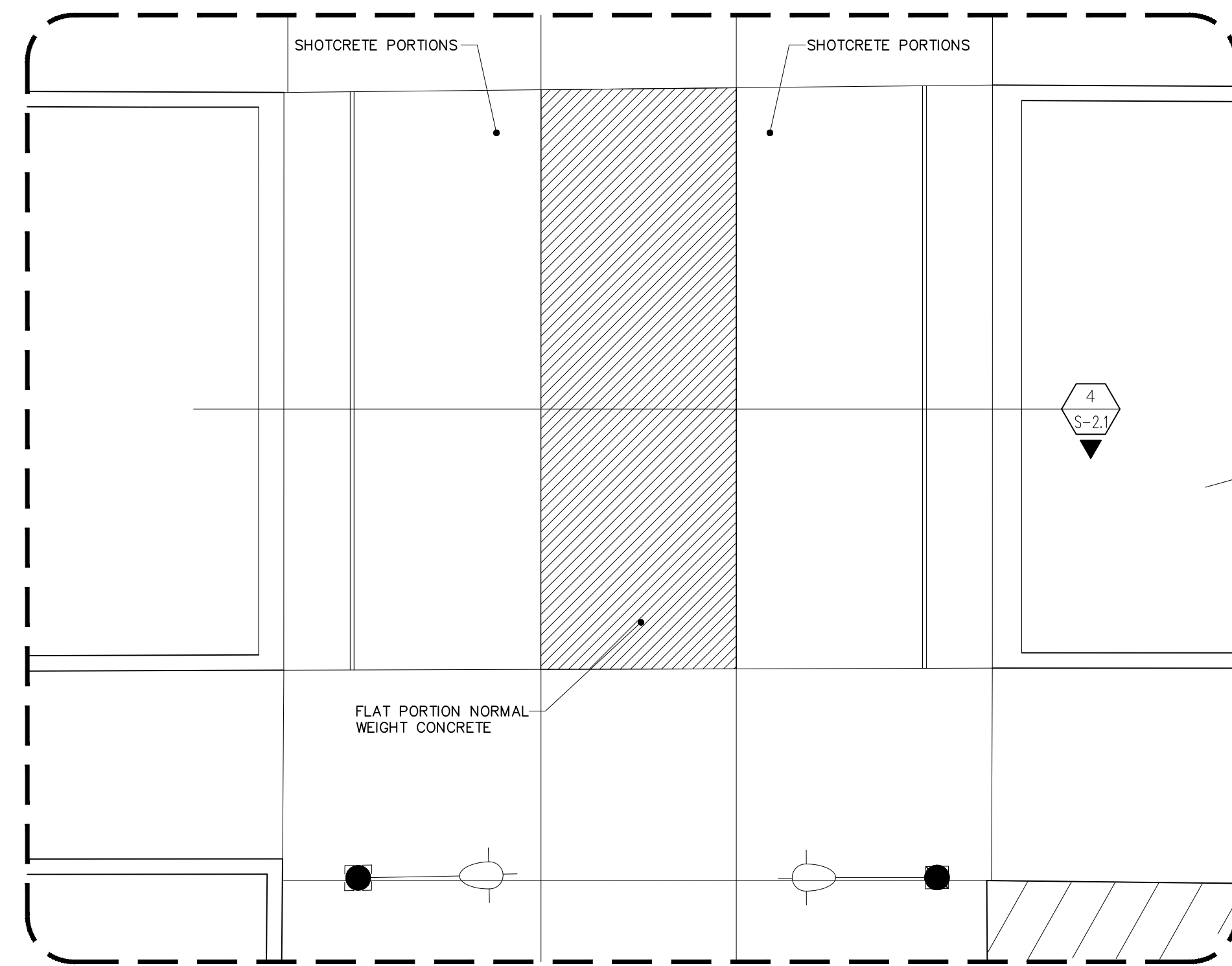
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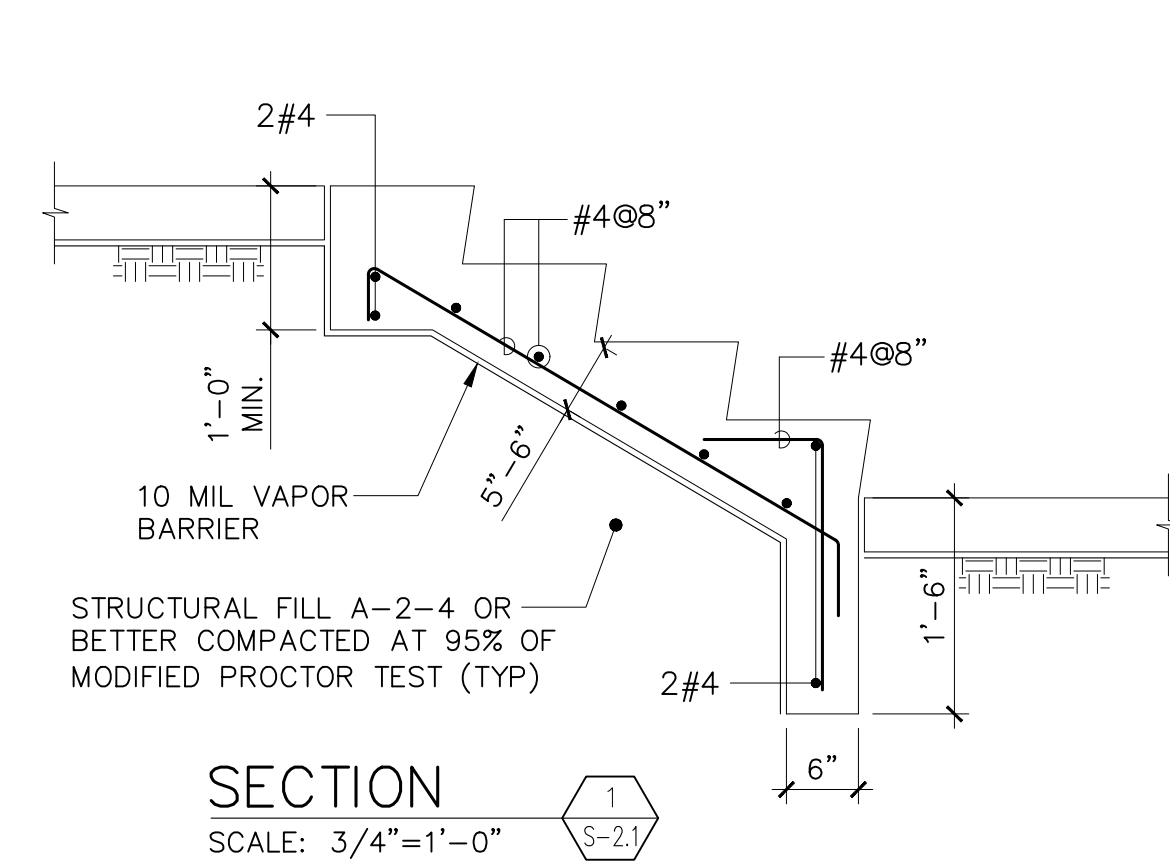
PLANTER/BENCH PLAN (PLAZA DEL PILAR)
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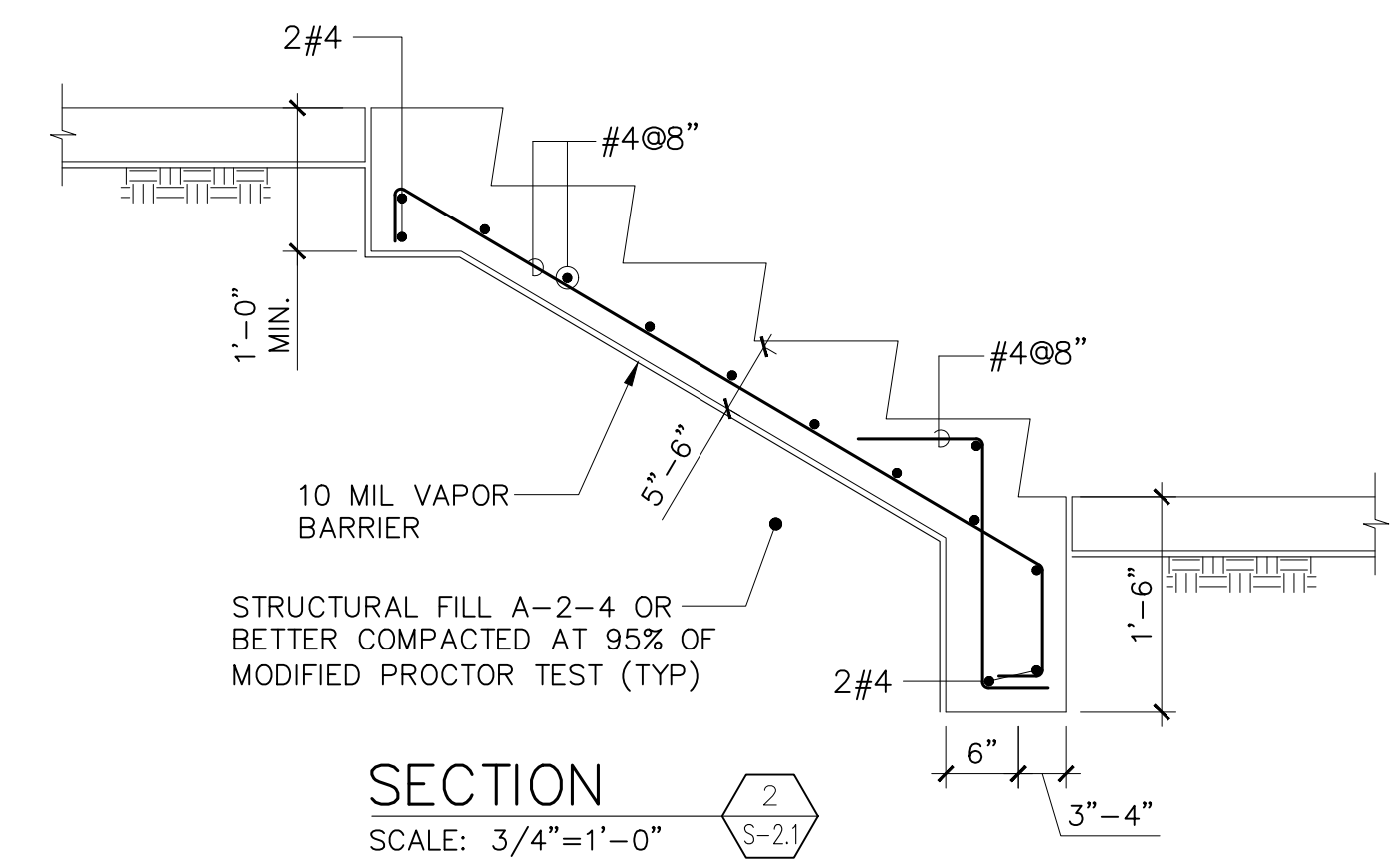
STAIR RENOVATION PLAN (PLAZA DEL PILAR)
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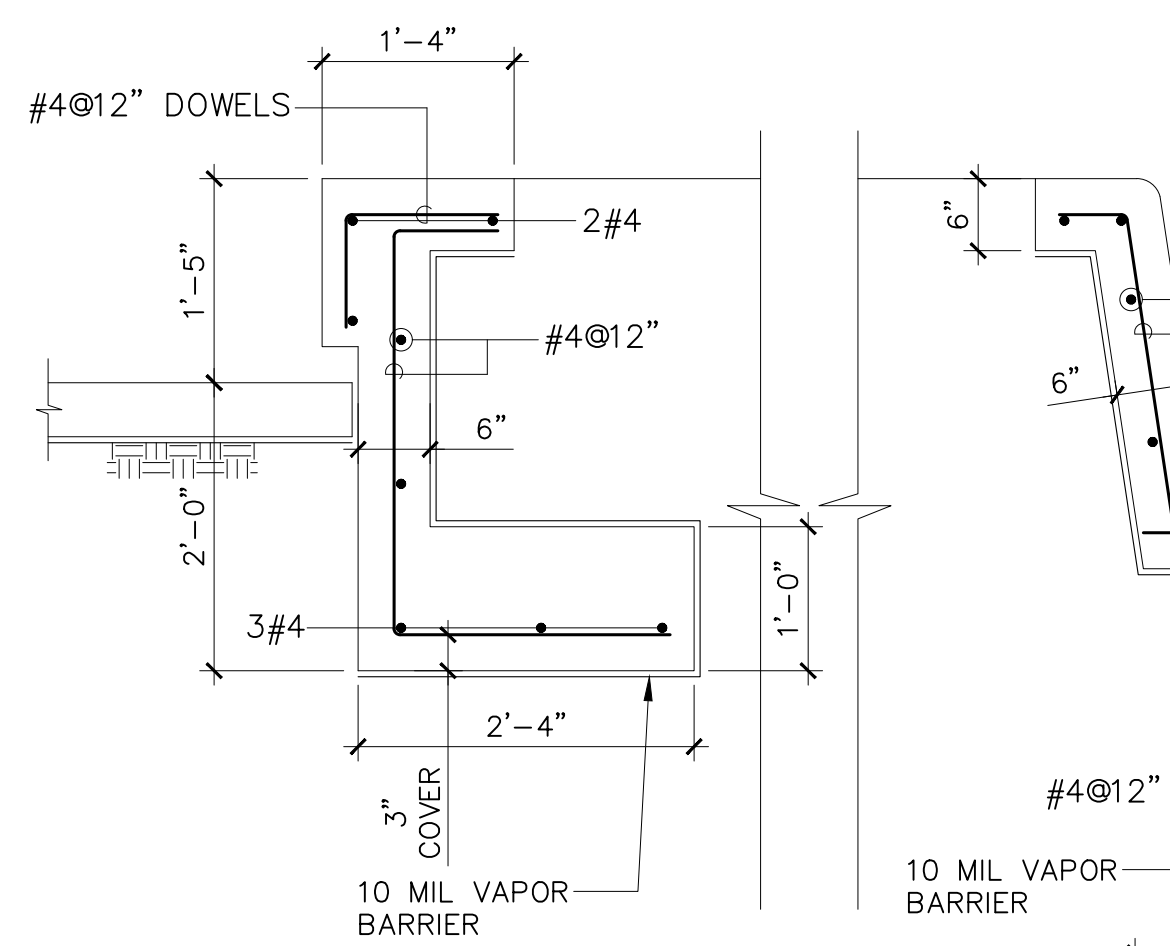
SKATE RAMP PLAN (PLAZA DEL PILAR)
SCALE: 3/16"=1'-0"



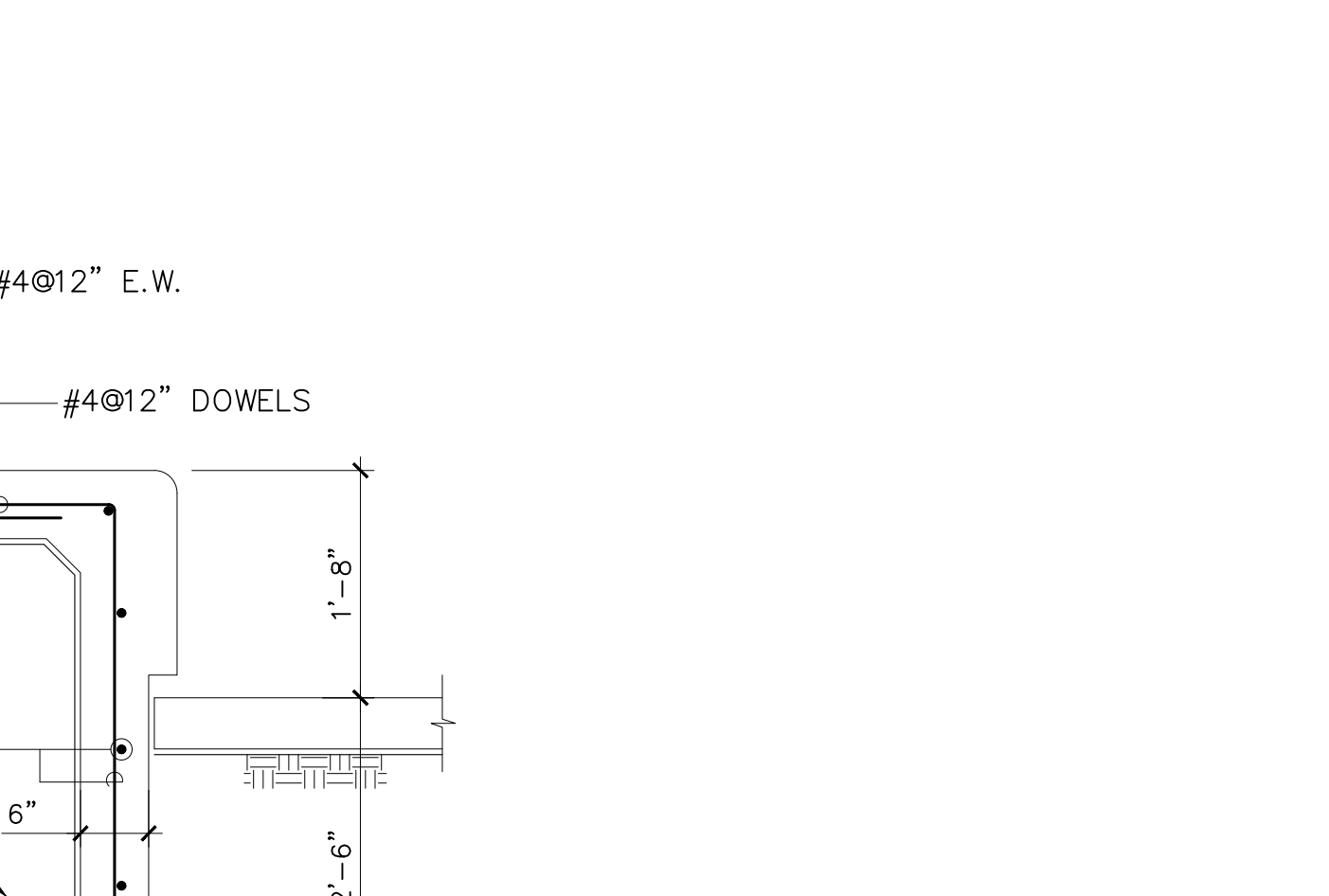
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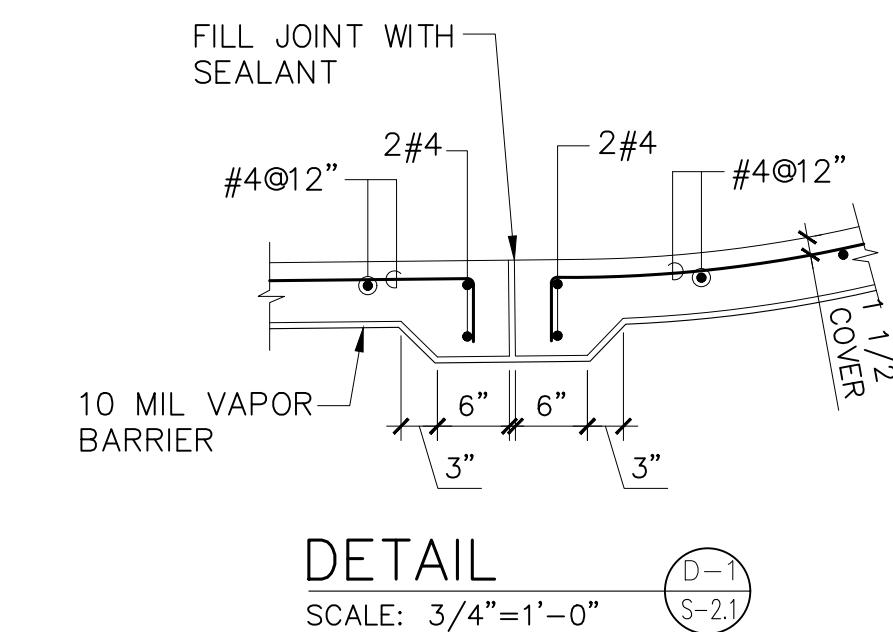
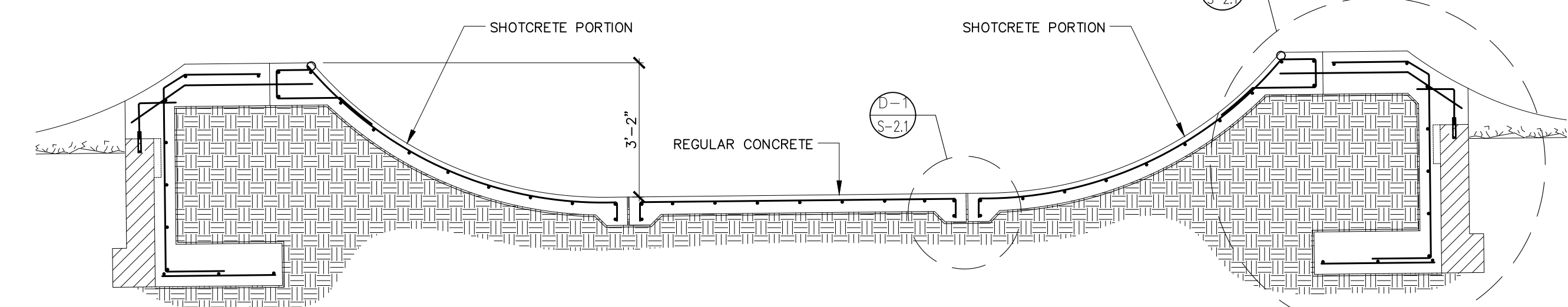
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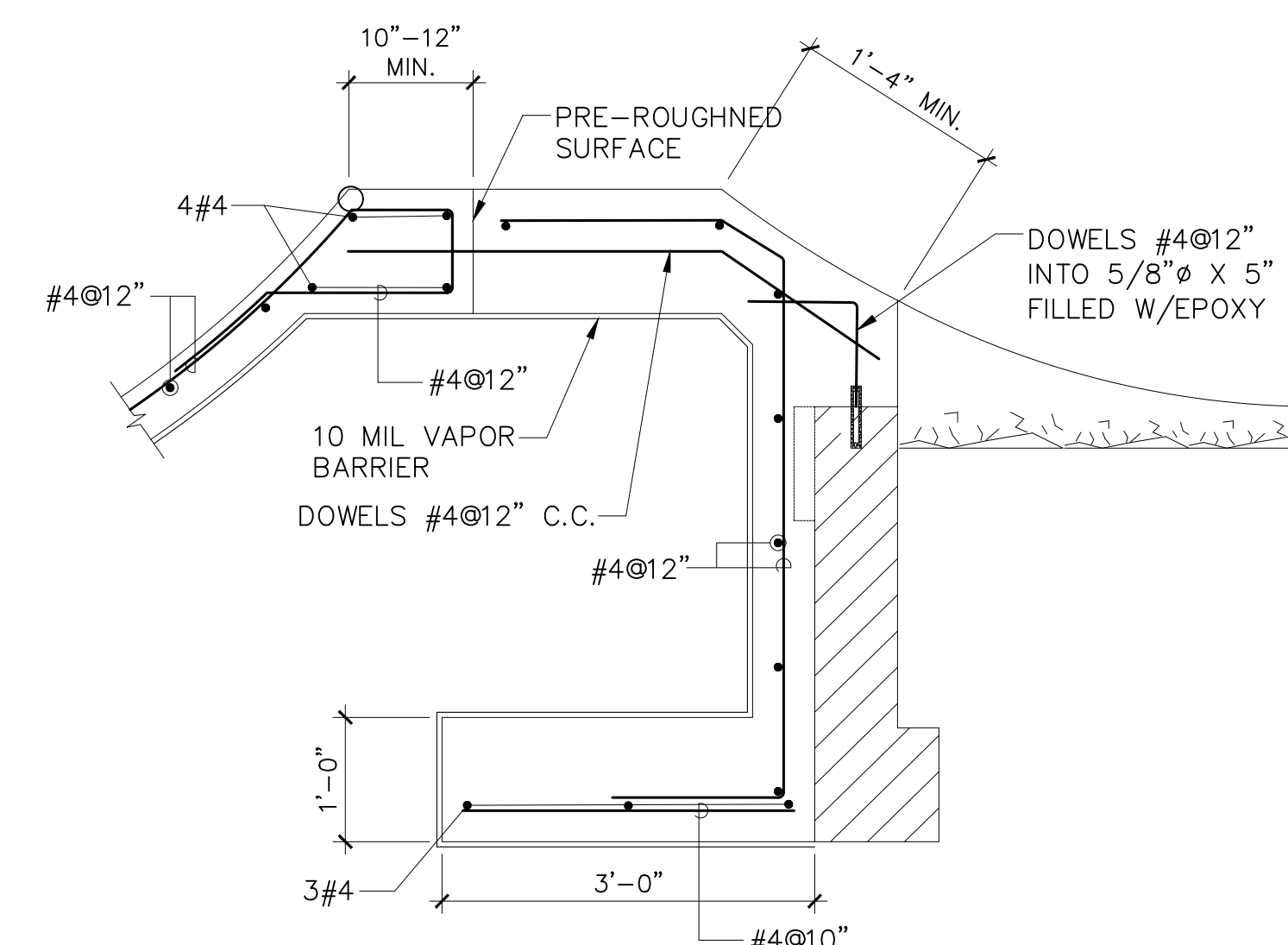
SECTION 3
SCALE: 3/4"=1'-0"



NEW SKATE PARK SECTION
SCALE: 3/8"=1'-0"



DETAIL D-1
SCALE: 3/4"=1'-0"



DETAIL D-2
SCALE: 3/4"=1'-0"



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CLIENT
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OWNER
AUTONOMOUS MUNICIPALITY OF SAN JUAN

PROJECT
IMPROVEMENTS OF "PLAZA DE LA CONVALESCENCIA" AND "PLAZA DEL PILAR"

DRAWING NAME
PLAZA BLOW-UP PLAN AND STRUCTURAL DETAILS

COMPUTER PLOT
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L.D.D. I.H.

NUMBER	TOTAL
49	62

DRAWING NUMBER

S-2.1

FEB-20-2024



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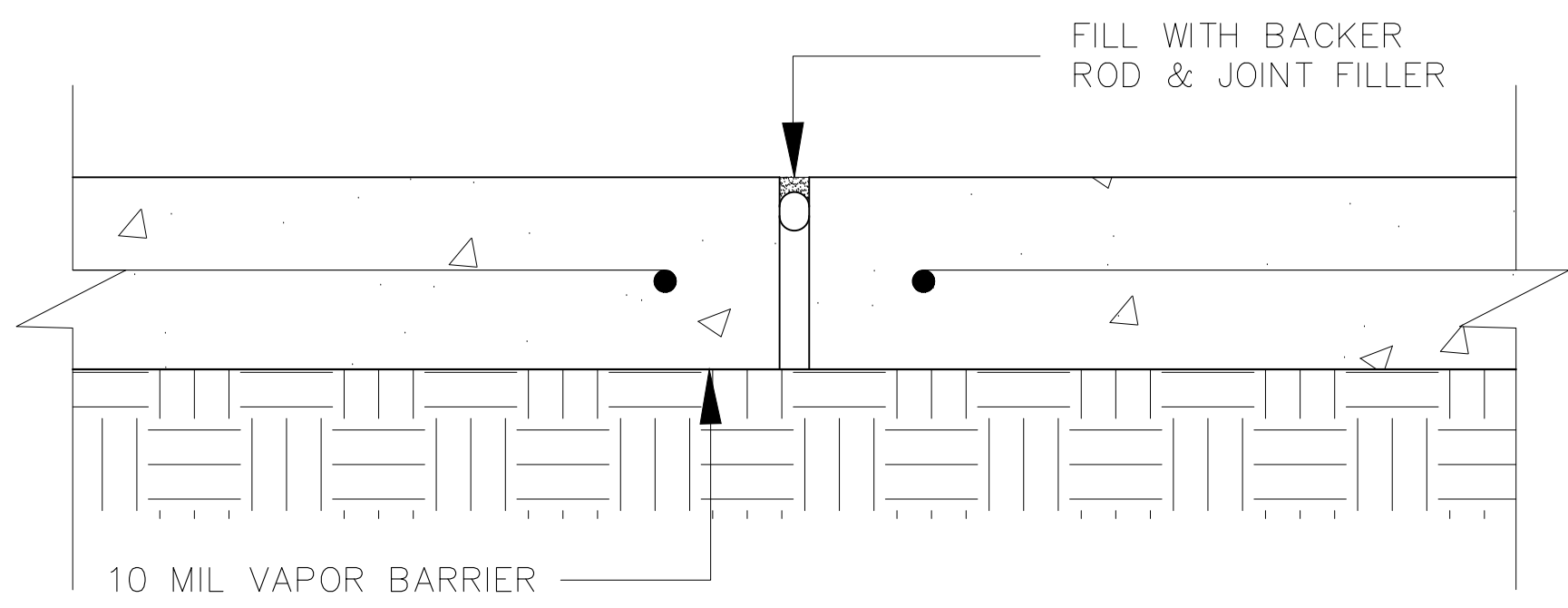
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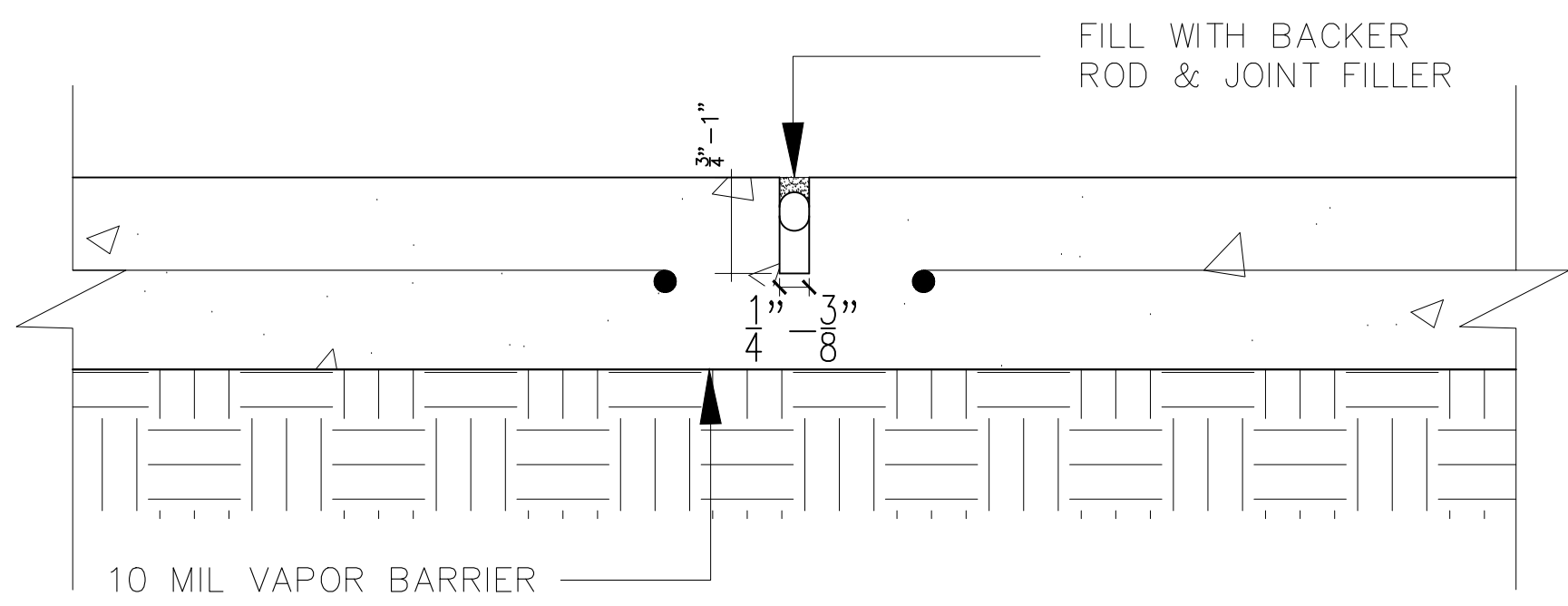
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NUMBER	TOTAL
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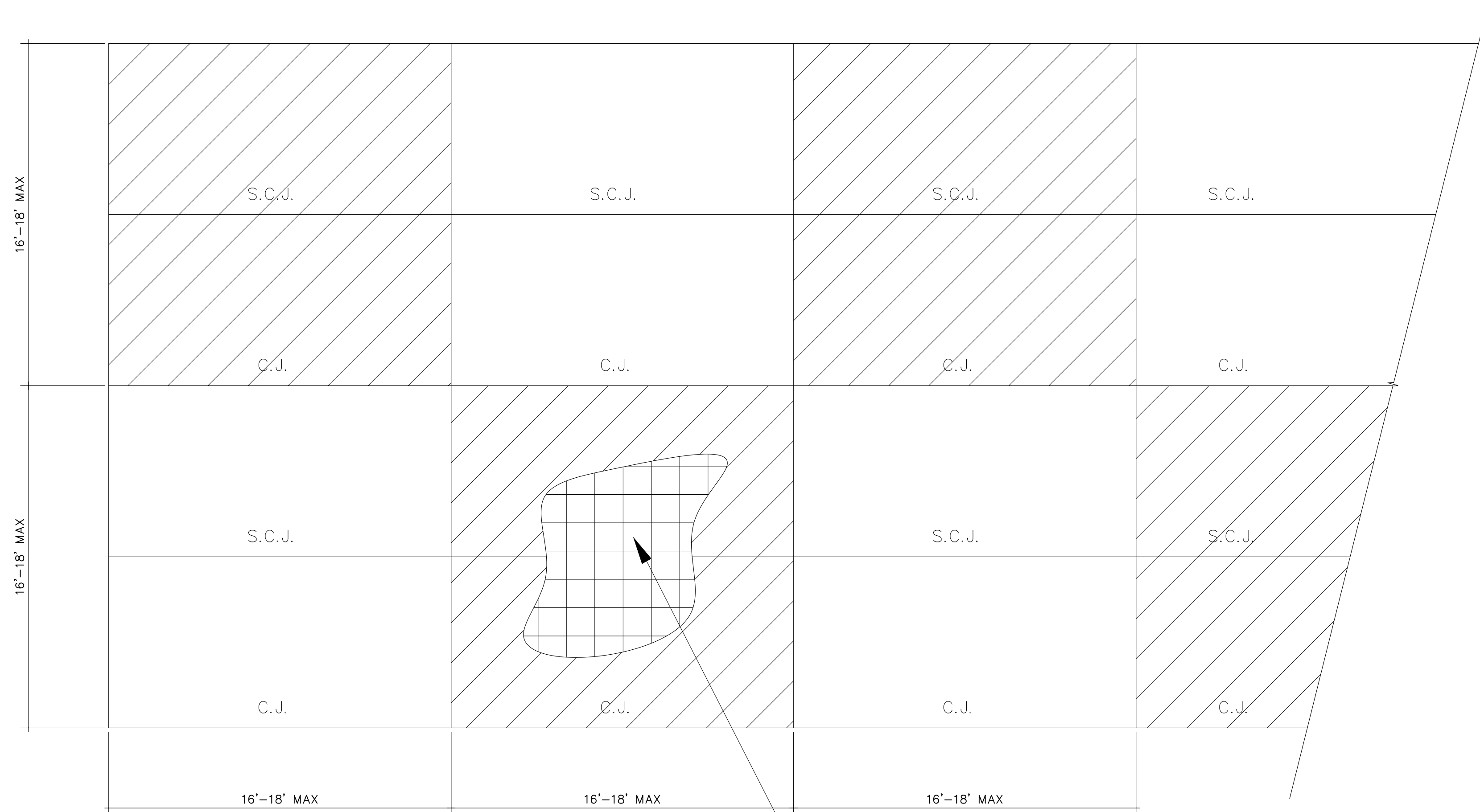
DRAWING NUMBER
S-2.2



CONSTRUCTION JOINT (C.J.)
SCALE: NTS



SAW-CONTROL JOINT (S.C.J.)
SCALE: NTS

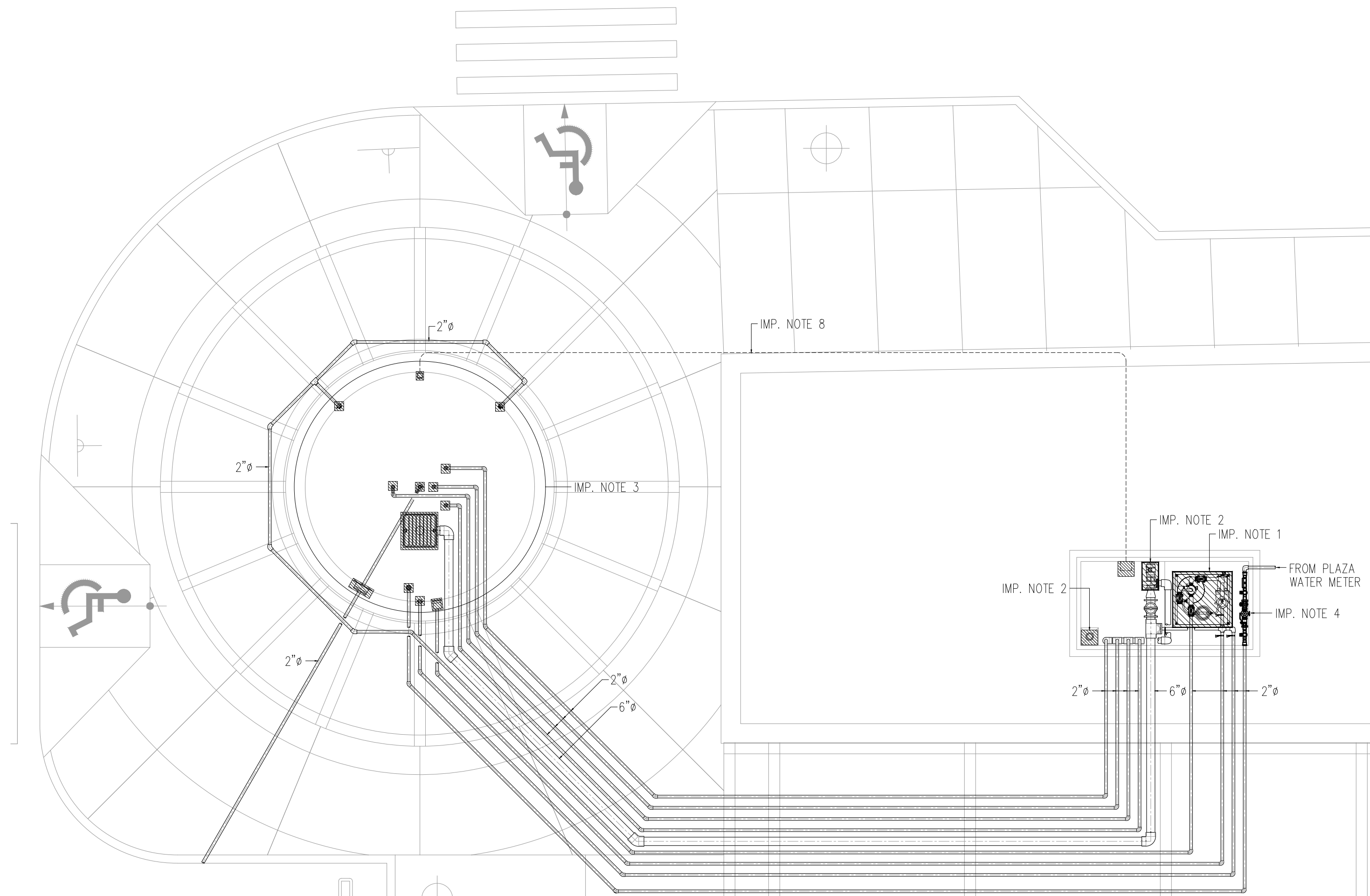


NOTE: POUR CONCRETE SLAB PANELS IN CHECKER BOARD PATTERN. (1ST DAY) THREE OR FOUR DAYS LATER POUR REST OF SLAB PANELS.

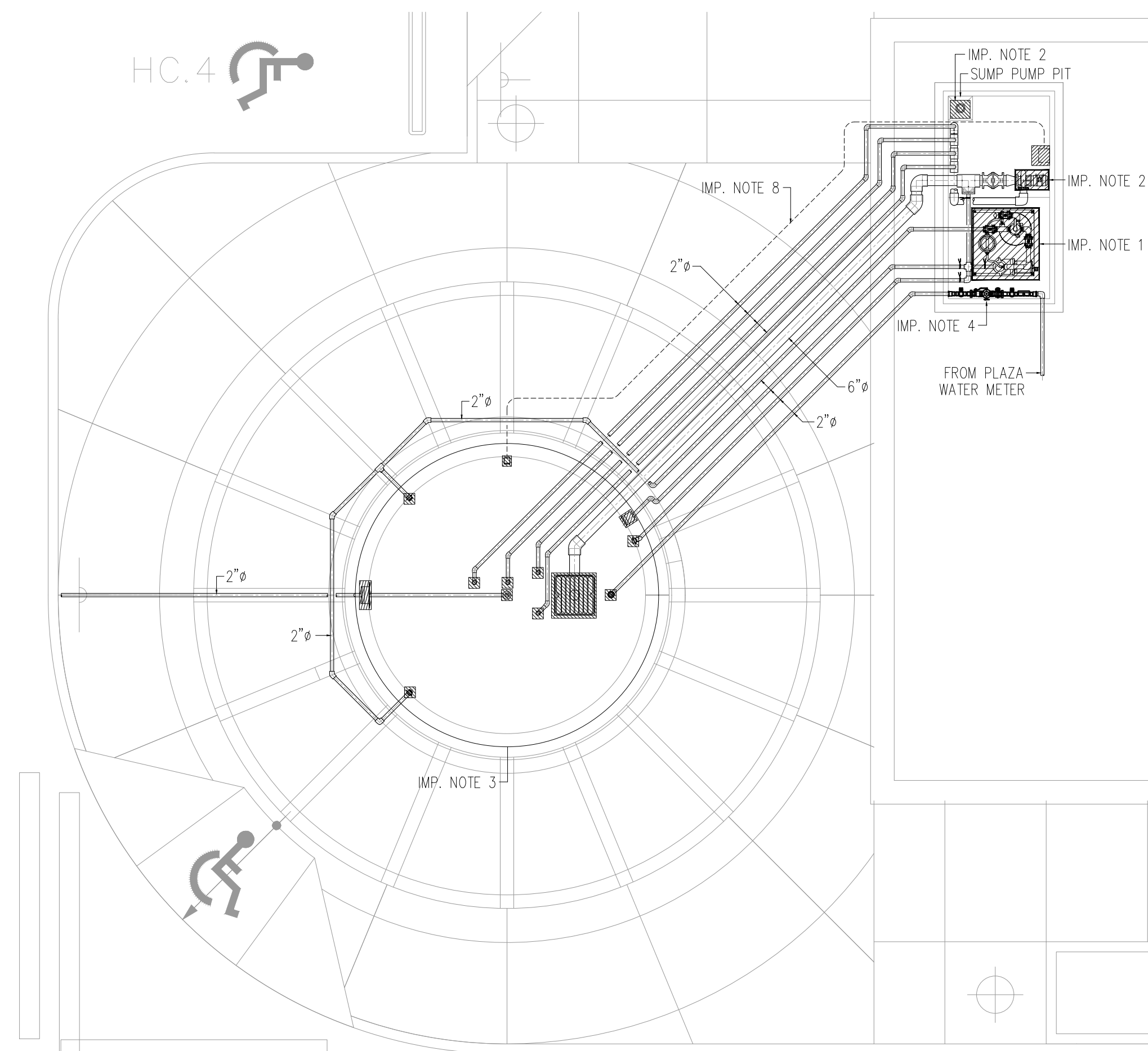
SLAB ON GRADE EXPANSION JOINT PLAN
SCALE: NTS

SLAB THICKNESS:
T= 4 1/2" FOR PEDESTRIAN TRAFFIC
T= 6"-8" FOR VEHICULAR TRAFFIC

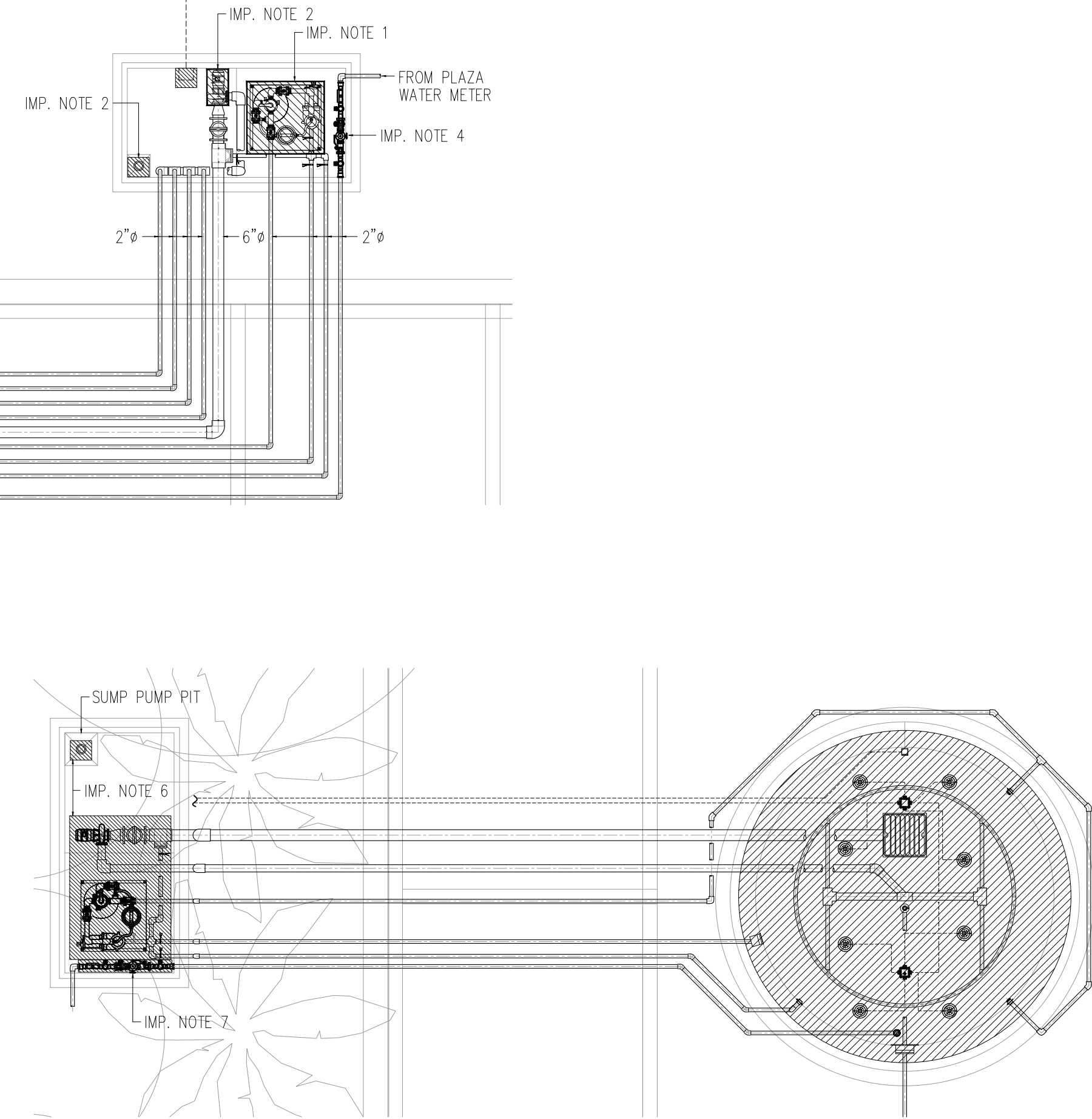
- # 4 E 14" EW @ MID-THICKNESS FOR T=4 1/2"
- # 4 @ 10" EW. @ MID-THICKNESS FOR T=6"-8"



PROPOSED FOUNTAIN 1 EQUIPMENT DEMOLITION PLAN
SCALE: 3/16" = 1'-0"



PROPOSED FOUNTAIN 2 EQUIPMENT DEMOLITION PLAN
SCALE: 3/16" = 1'-0"



PROPOSED FOUNTAIN 3 EQUIPMENT DEMOLITION PLAN
SCALE: 3/16" = 1'-0"

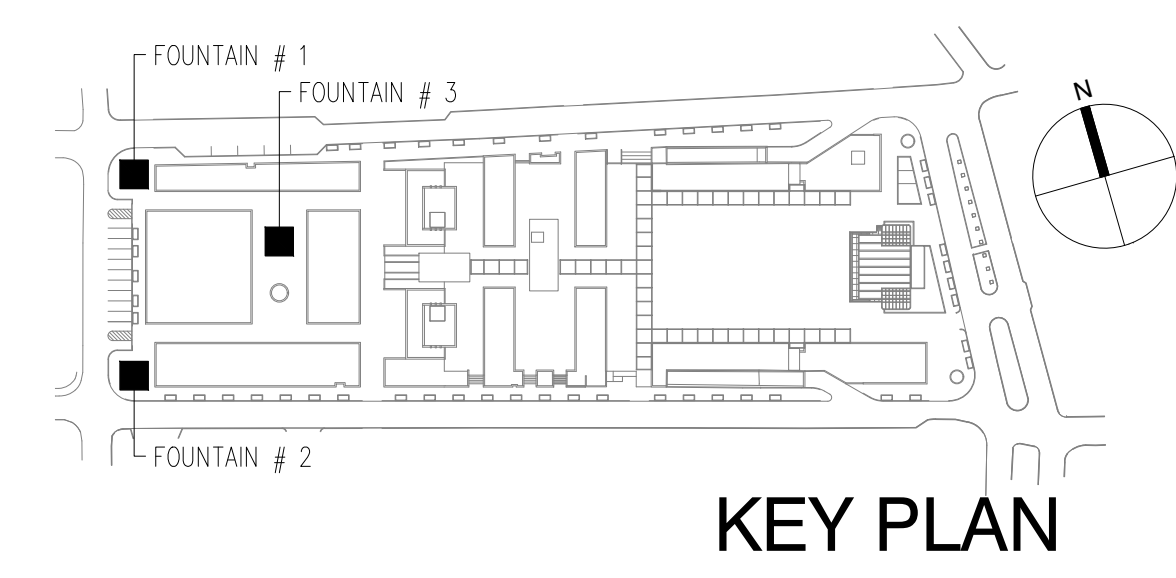
LEGEND:
 EQUIPMENT AND ACCESSORIES TO BE DEMOLISHED. ALL FOUNTAINS ACCESSORIES SHALL BE REMOVED AND REPLACE.

IMPORTANT NOTES:

1. FILTRATION PUMP, FILTER AND CHLORINATION SKID SHALL BE REMOVED.
2. WATER FEATURE PUMP SHALL BE REMOVED. INLET STRAINER BASKET SHALL BE CLEANED AND RE-USED. SUMP PUMP SHALL BE REMOVED.
3. ALL FILTRATION AND WATER FEATURE SYSTEMS VALVE SHALL BE REPLACED.
4. MAKE-UP WATER MANIFOLD SHALL BE RE-CONDITIONED AND EQUIPPED WITH A BACK-FLOW PREVENTER.
5. EXISTING FOUNTAINS 1 & 2 PIPING TO BE FIELD VERIFIED (PRESSURE TESTED FOR LEAKAGE, 120 PSI FOR 1 HOUR). IF PIPING PASSES PRESSURE TEST, IT SHALL BE REUSED, IF NOT REPLACED. TEST RESULTS SHALL BE SUBMITTED FOR APPROVAL.
6. ALL PUMPS, FILTRATION SYSTEM, CONTROLS, WATER FEATURES, ACCESSORIES AND VENTILATION FAN FOR FOUNTAIN 3 SHALL BE REMOVED. PIPING SHALL BE CAPPED AT FOUNTAIN AND PUMP VAULT ENDS.
7. WATER MAKE-UP MANIFOLD FOR FOUNTAIN 3 SHALL BE REMOVED AND CAP AT BOTH ENDS.
8. AUTOMATIC WATER FILL/LOW LEVEL CUT OFF CABLE TO BE REMOVED.
9. ALL VALVES AT PUMP SYSTEMS VAULTS FOR FOUNTAINS 1 & 2 SHALL BE REPLACED.
10. EXISTING EXHAUST FANS (AT BOTH FOUNTAINS) SHALL BE REMOVED, BUT NOT 6" PVC EXHAUST AND INTAKE GOOSENECKS.

DEMOLITION NOTES:

1. ALL EXISTING EQUIPMENT AND/OR SYSTEMS ARE SHOWN IN APPROXIMATE LOCATION. CONTRACTORS SHALL FIELD VERIFY THEM.
2. MAJOR DEVIATIONS FROM THE INFORMATION SHOWN IN ALL THE CONTRACT DOCUMENTS AND PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.
3. CARE SHALL BE TAKEN AT ANY INTERFACE BETWEEN DEMOLITION AND EXISTING CONSTRUCTION TO REMAIN TO AVOID ANY DAMAGES TO ANY REMAINING AREAS AND/OR SYSTEMS.
4. PROVIDE A TEMPORARY PROTECTION AS NECESSARY AND AS REQUIRED BY THE OWNER TO SEAL ANY DEMOLISH AREA FROM THE REST OF THE BUILDING AND MAINTAIN SECURITY WHERE DEMOLITION IS PERFORMED.
5. IT IS INTENDED THAT THE REMOVAL OF ALL MAJOR MECHANICAL, PLUMBING, AND ELECTRICAL ITEMS SHALL BE COMPLETED BY THEIR RESPECTIVE TRADES. ALL ITEMS TO BE REMOVED ARE NOT NECESSARILY SHOWN ON THESE DOCUMENTS. ONCE THE REMOVAL OF ALL MAJOR ITEMS ARE COMPLETED BY THE RESPECTIVE TRADES, THE REMAINING ITEMS SHALL BE REMOVED BY THE GENERAL CONTRACTOR.
6. THE CONTRACTOR SHALL REUSE ALL EXISTING MATERIALS IF POSSIBLE, UNLESS THE MATERIALS ARE SCHEDULED FOR REPLACEMENT. PRIOR TO DISPOSING ALL DEMOLISHED MATERIALS, THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE THOSE MATERIALS THAT THE FACILITY WILL RETAIN.
7. REMOVE ALL EXISTING FINISHES WHERE NEW MATERIALS ARE SCHEDULED. SURFACES TO REMAIN SHALL BE PATCHED AND/OR REPAIRED TO RECEIVE NEW FINISHES.
8. ALL EXISTING CONSTRUCTION REMAINING AFTER DEMOLITION THAT INTERFERES WITH THE NEW CONSTRUCTION SHALL BE REMOVED AS DIRECTED BY THE ARCHITECT UPON NOTIFICATION BY THE CONTRACTOR.
9. THE CONTRACTOR SHALL NOT CUT ANY STRUCTURAL WORK IN A MANNER THAT RESULTS IN A REDUCTION OF THE LOAD CARRYING CAPACITY OR LOAD/DEFLECTION RATIO. THE CONTRACTOR SHALL BRACE ALL ELEMENTS AS NECESSARY DURING THE DEMOLITION AND CONSTRUCTION. IF THE STRUCTURE HAS TO BE CUT, THE CONTRACTOR SHALL EMPLOY A STRUCTURAL ENGINEER TO DESIGN AND/OR INSURE THAT THE CUTTING OF THE STRUCTURE WILL NOT REDUCE THE LOAD CARRYING CAPACITY.
10. TYPICAL REMOVAL OF WALLS/PARTITION SHALL INCLUDED ALL WORK REQUIRED TO REMOVE MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS CONTAINED THEREIN. REMOVE DOORS, FRAMES, CASEWORK AND OTHER FIXTURES AS REQUIRED.
11. THE CONTRACTOR SHALL REMOVE ALL EXISTING FLOOR, CEILING AND/OR WALL MOUNTED DEVICES TO REINSTALL PRIOR TO INSTALLING NEW FINISHES. AFTER ALL THE FLOORS, CEILINGS AND/OR WALLS HAVE RECEIVED THE NEW FINISHES, THE CONTRACTOR SHALL REINSTALL ALL WALL MOUNTED DEVICES TO REMAIN. TAKE TIME REMOVING ALL BUILDING ACCESSORY COVERS FROM RETAINERS. ALL ITEMS MUST BE STORED IN A SECURE LOCATION AS DIRECTED BY THE FACILITY FOR RE-INSTALLATION OF ALL ITEMS WHEN FINISHES ARE COMPLETED.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EXISTING SUBSTRATE CORRECTION IN ALL AREAS WHERE MECHANICAL, PLUMBING, AND ELECTRICAL EQUIPMENT AND SERVICES ARE REMOVED.
13. REMOVAL OF ANY PLUMBING FIXTURES AS NOTED IN THE DRAWINGS, INCLUDES THE CAPPING OF ALL WATER SUPPLY AND DRAINAGE PIPING AT WALL OR AT FLOOR. ALL WALLS, FLOORS, AND FINISHES TO REMAINS AFFECTED BY THE REMOVAL OF A FIXTURE, CASEWORK OR OTHER EQUIPMENT SHALL BE REPAIRED IN A MANNER TO BRING IT BACK TO "LIKE-NEW" CONDITION, TO MATCH OTHER EXISTING CONDITIONS TO REMAIN OR PREPARE THESE SURFACES FOR THE NEW FINISHES.
14. CAULK ALL PLUMBING FIXTURES, BASES, DRYWALL CABINETS AND TRIM TO ADJACENT SURFACES. COLOR OF CAULK HAS TO MATCH ADJACENT FINISH.
15. ALL EQUIPMENTS TO BE REMOVED SHALL BE CAREFULLY DISMOUNTED, DISCONNECTED FROM ALL RESPECTIVE SERVICES SYSTEMS AND THE REMAINING SERVICES SYSTEMS BE PROPERLY CAPPED.
16. ALL REUSED EXISTING MECHANICAL EQUIPMENT SHALL BE PROPERLY INSPECTED BY THEIR RESPECTIVE TRADE AND CLEANED FOR PROPER OPERATION.
17. DO NOT RELEASE ANY REFRIGERANT TO ATMOSPHERE. DISPOSE IN A LAWFUL MANNER.
18. IF ANY EXISTING FIRE PROOFING OR FIRE ASSEMBLY SYSTEM WHICH ARE INDICATED TO REMAIN ARE DAMAGED DURING DEMOLITION AND OR CONSTRUCTION, THEY SHALL BE REPAIRED TO CONFORM TO THE ORIGINAL FIRE PROTECTION REQUIREMENTS.
19. ALL EXISTING FIRE DAMPERS OR SMOKE DAMPERS BEING REUSED SHALL REMAIN IN PLACE AND OPERATIONAL.
20. DUCTS TO BE REMOVED SHALL ONLY BE REMOVE THAT PORTION OF THE DUCT INDICATED AND PLUG REMAINING DUCTS WITH THE SAME OR COMPATIBLE DUCTWORK MATERIAL.
21. IF ANY EQUIPMENTS OR SYSTEMS TO REMAIN ARE DAMAGED IN APPEARANCE OR ANY MANNER TO A POINT TO BE UNSERVICEABLE, REMOVE THE DAMAGED AND/OR UNSERVICEABLE ITEMS AND REPLACE THEM WITH A NEW PRODUCTS OF EQUAL CAPACITY AND QUALITY.
22. LEAVE ALL EXISTING EXHAUST FANS IN PLACE AND OPERATIONAL, UNLESS THE DRAWINGS SHOWS THE REPLACEMENT, RELOCATION OR THE ADDITION OF EXHAUST FANS.



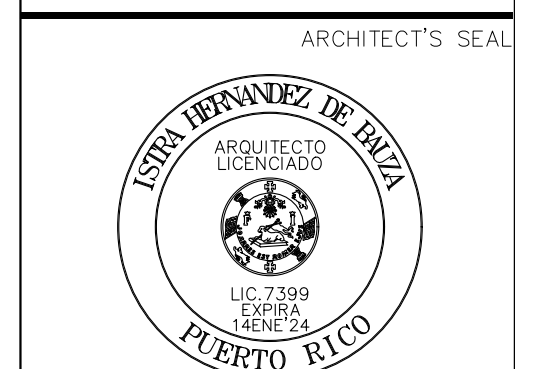
ISSUE FOR REVIEW AND COMMENTS 90%, 2024.02.26



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DRAWING NAME
FOUNTAINS PUMPS AND ACCESSORIES DEMOLITION PLAN

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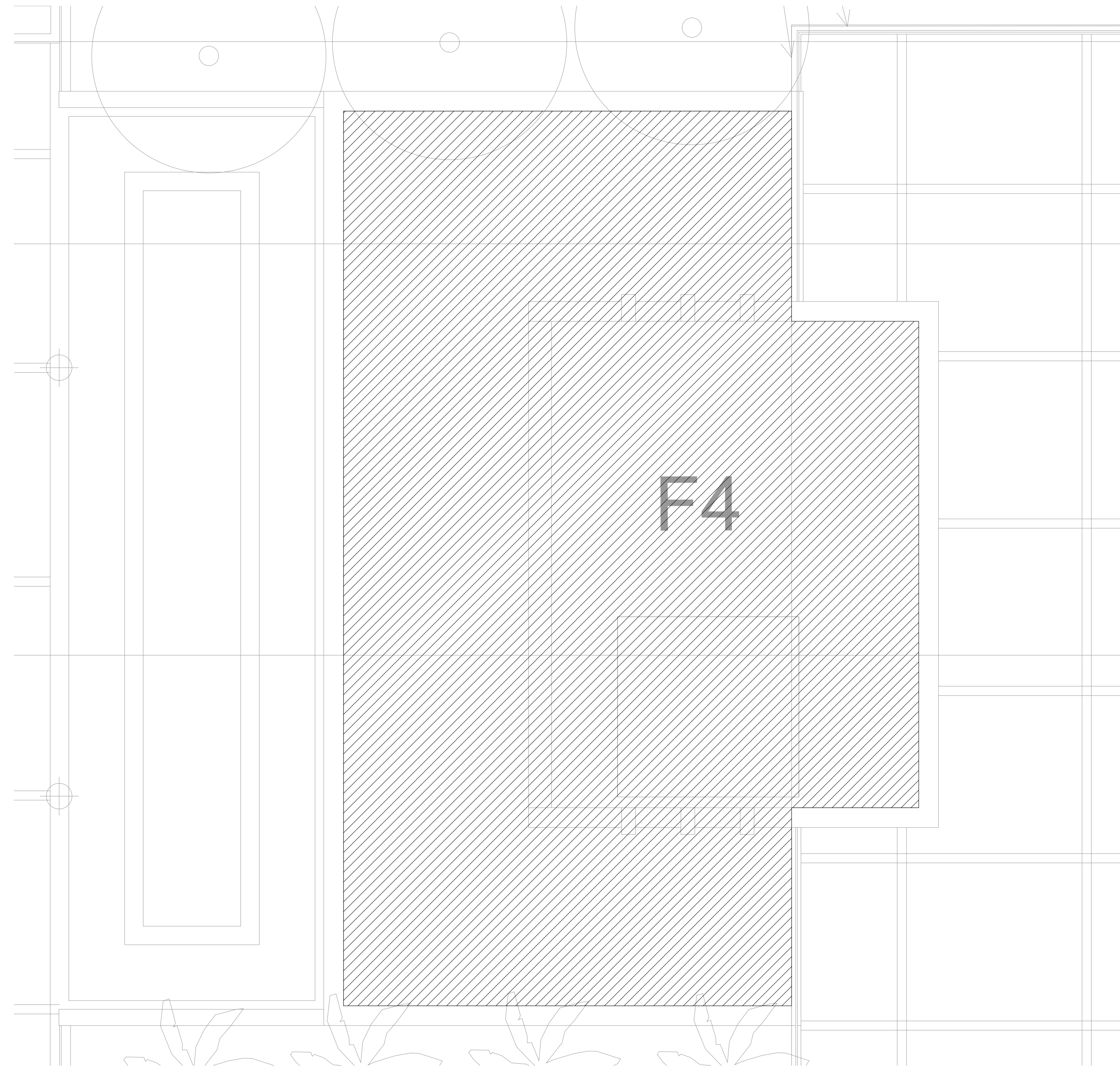
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PROJECT

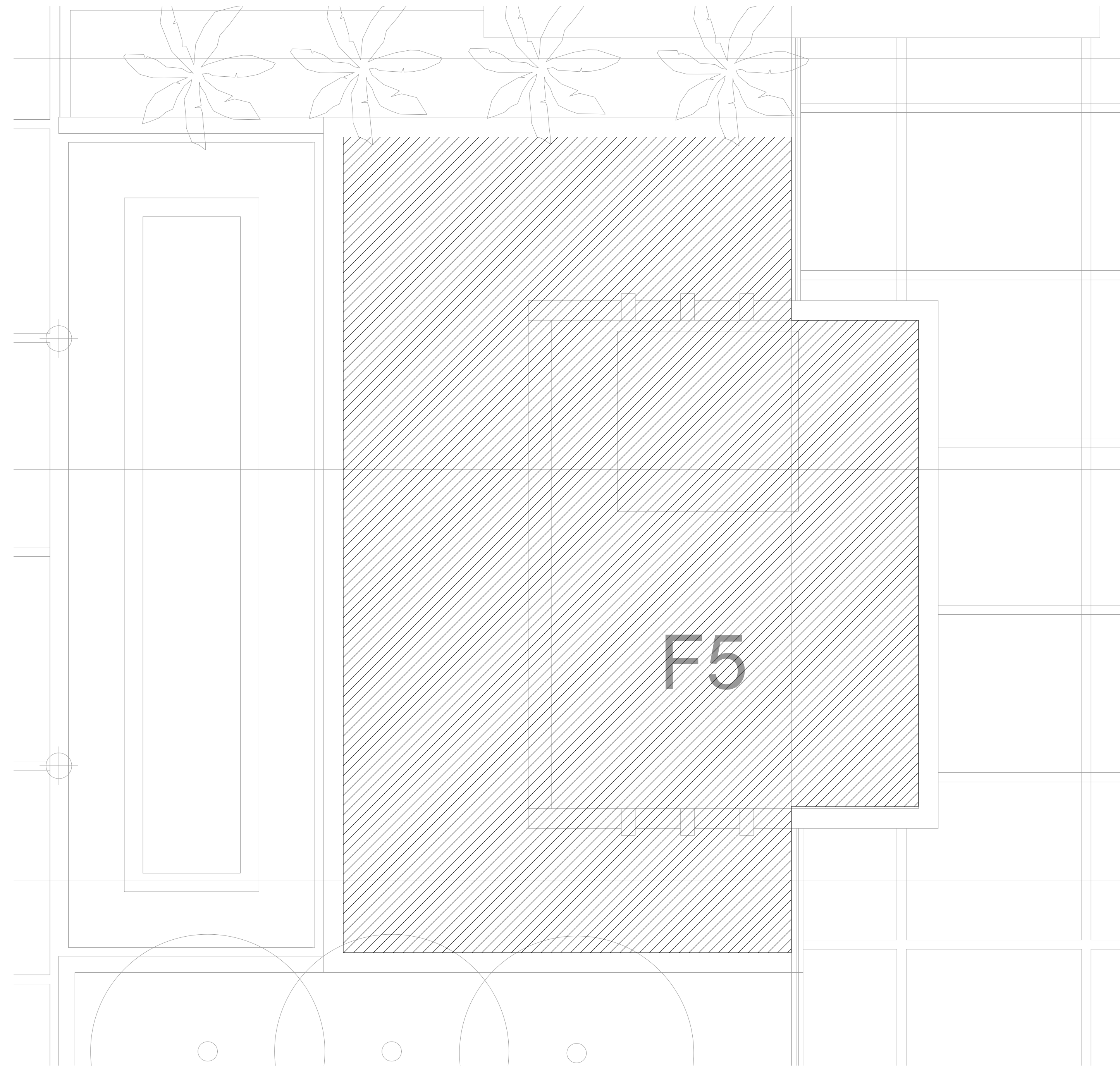
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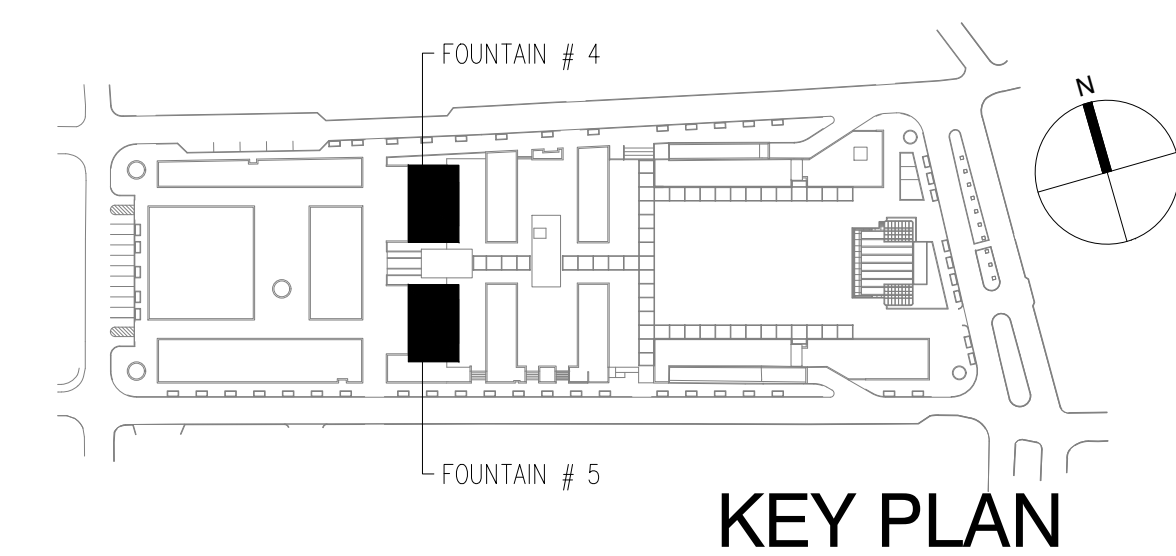
PROPOSED FOUNTAIN 4 EQUIPMENT DEMOLITION PLAN
SCALE: 3/16" = 1'-0"



PROPOSED FOUNTAIN 5 EQUIPMENT DEMOLITION PLAN
SCALE: 3/16" = 1'-0"

LEGEND:

////// EQUIPMENT AND ACCESSORIES TO BE DEMOLISHED. EQUIPMENT AT MECHANICAL ROOM (3RD LEVEL MULTI-LEVEL PARKING) SHALL BE REMOVED. ONLY ITEM TO BE USED FROM FOUNTAINS #4 & 5 IS THE POTABLE WATER PROVISIONS AT THESE (2) ROOMS, WHICH WILL BE CONNECTED AND EXTENDED TO THE NEW MECHANICAL VAULTS. REFER TO SHEET P-101 FOR POTABLE PROVISION.



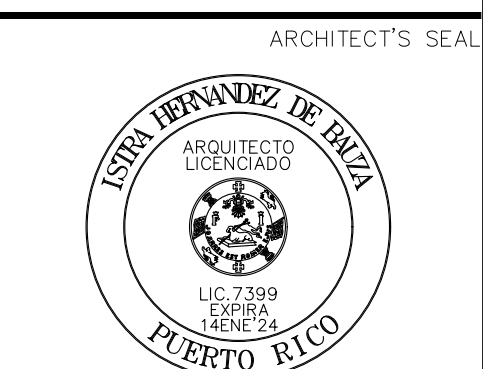
ISSUE FOR REVIEW AND COMMENTS 90%, 2024.02.26



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YO, LUIS R. TORREGROSA QUIROS, INGENIERO LICENCIADO #18777, CERTIFICO QUE SOY EL PROFESIONAL QUE DISEÑO O ESTOS PLANOS Y LAS ESPECIFICACIONES COMPLEMENTARIAS. TAMBIEN, CERTIFICO QUE ENTENDO QUE DICHS PLANOS Y ESPECIFICACIONES CUMPLEN CON LAS DISPOSICIONES APLICABLES DEL REGLAMENTO CONJUNTO Y LAS DISPOSICIONES APLICABLES DE LOS REGLAMENTOS Y CODIGOS DE CONSTRUCCION VIGENTES DE LAS AGENCIAS, JUNTAS REGULADORAS O CORPORACIONES PUBLICAS CON JURISDICCION Y ESTAN EN CONFORMIDAD CON CODIGOS DE CONSTRUCCION DE PUERTO RICO 2018 VIGENTE AL 15 DE NOVIEMBRE DE 2018. CERTIFICO, ADEMAS, QUE EN LA PREPARACION DE ESTOS PLANOS Y ESPECIFICACIONES HE CUMPLIDO CABALMENTE CON LO DISPUESTO EN LA LEY NUM. 14 DE 8 DE ENERO DE 2004, SEGUN ENMENDADA, CONOCIDA COMO LA "LEY PARA LA INVERSION POR LA INDUSTRIA PUERTORRIQUEÑA" Y CON LA LEY NUM. 310 DE 15 DE MAYO DE 1938, SEGUN ENMENDADA; LEY NUM. 96 DE 6 DE JULIO DE 1978, SEGUN ENMENDADA; SEGUN APLIQUE; RECONOCIENDO QUE CUALQUIER DECLARACION FALSA O FALSIFICACION DE LOS HECHOS QUE SE HAYA PRODUCIDO POR DESCONOCIMIENTO O POR NEGLIGENCIA YA SEA POR MI, MIS AGENTES O EMPLEADOS, O POR OTRAS PERSONAS CON MI CONOCIMIENTO, ME HACER RESPONSABLE DE CUALQUIER ACCION JUDICIAL Y DISCIPLINARIA POR LA OSPE.

CLIENT
MANAGER
DEPT. OF URBAN DESIGN AND PROJECT DEVELOPMENT, MASJ.

OWNER
AUTONOMOUS MUNICIPALITY OF SAN JUAN

PROJECT
IMPROVEMENTS OF "PLAZA DE LA CONVALECENCIA" AND "LA PLAZA DEL PILAR"

DRAWING NAME
FOUNTAINS PUMPS, PIPING AND ACCESSORIES DEMOLITION PLAN

COMPUTER PLOT
THIS DRAWING WAS DRAFTED ON A CAD SYSTEM ALL CHANGES OR CORRECTIONS MUST BE STRICTLY EXECUTED ON CAD. ANY QUESTIONS PLEASE CONTACT HERNANDEZ-BAUZA

NO.	DATE	REVISION	BY	APPROVED

PROJECT

DRAWING BY/CHECKED BY
ENERMECH L.T.O.

NUMBER	TOTAL
52	62

DRAWING NUMBER
DP-101

GENERAL PLUMBING NOTES:

- ALL PLUMBING WORK SHALL BE IN STRICT ACCORDANCE WITH THE DEPARTMENT OF HEALTH OF P.R., THE INTERNATIONAL PLUMBING CODE, PRASA-REGlamento DE NORMAS DE DISEÑO, ASHRAE STANDARD 90.1 – 2007, AND THE SPECIFICATIONS ISSUED FOR THIS PROJECT.
- FURNISH AND INSTALL COMPLETE AND PROPERLY OPERATING PLUMBING SYSTEMS AS INDICATED ON THE DRAWINGS AND SPECIFICATIONS PROVIDING SUBMITTALS, SHOP DRAWINGS, COORDINATION BETWEEN TRADES AND DISCIPLINES, "AS-BUILTS", TESTING AND TEST REPORTS.
- DRAWINGS AND SPECIFICATIONS, INCLUDING CALCULATIONS AND BUILDING STANDARDS, SHALL BE PART OF THIS WORK.
- SYMBOLS SHOWN ON PLUMBING LEGEND ARE NOT NECESSARILY USED ON THIS PROJECT.
- WORK MATERIALS SHOWN ON PLANS SHALL BE NEW UNLESS NOTED OTHERWISE, AND SHALL CONFORM TO THE CURRENT EDITION OF THE INTERNATIONAL PLUMBING CODE AND LOCAL APPLICABLE CODES AND REGULATIONS.
- BEFORE STARTING ANY WORK, CONTRACTOR SHALL EXAMINE THE COMPLETE SET OF DRAWINGS FOR ALL TRADES, INCLUDING ARCHITECTURAL, HEATING-VENTILATION-AIR CONDITIONING, AND ELECTRICAL. VERIFY DIMENSIONS, SPACE REQUIREMENTS, AND POINTS OF CONNECTION TO FIXTURES AND EQUIPMENT, AND MAKE ANY MINOR ADJUSTMENTS NECESSARY TO AVOID CONFLICTS WITH THE BUILDING STRUCTURE AND THE WORK OF OTHER TRADES.
- PLUMBING DRAWINGS AND LAYOUTS ARE DIAGRAMMATIC TO SHOW DESIGN INTENT AND FINISH CONDITIONS.
- SIZES SHOWN IN FIXTURE SCHEDULE ARE MINIMUM AND SHALL BE INCREASED AS NECESSARY TO COMPLY WITH CODES REQUIREMENTS OR AS SHOWN IN THE DRAWINGS.
- THESE DRAWINGS INDICATE THE FINISH REQUIREMENTS FOR THE PLUMBING SYSTEMS. DUE TO STRUCTURAL, MECHANICAL, DUCT OR PIPING INTERFERENCE, OR FOR OTHER REASONS, THE CONTRACTOR MAY DESIRE TO INSTALL THE WORK IN A MANNER DIFFERENT FROM THAT SHOWN. SUCH CHANGES SHALL BE PRESENTED TO THE CONSTRUCTION MANAGER FOR APPROVAL BEFORE PROCEEDING, AND THE RECORD DRAWINGS SHALL BE ACCURATELY REVISED TO SHOW THE CHANGES AS COMPLETED.
- IF ANY EQUIPMENT SUBMITTED BY THE CONTRACTOR IS DIFFERENT FROM THAT SPECIFIED, OR REQUIRES CHANGES IN MATERIAL OR LABOR FROM THAT REQUIRED IN THE CONTRACT DOCUMENTS AFFECTING THIS AND/OR OTHER TRADES, SUCH CHANGES SHALL BE SUBMITTED AS SHOP DRAWINGS. SUBMITTALS SHALL INDICATE CREDIT DUE TO OWNER. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR PAYMENT OF CHARGES RESULTING FROM ADDITIONS OR CHANGES IN THE WORK OF OTHER TRADES NECESSARY TO ACCOMMODATE THE REQUESTED MODIFICATION. CHANGES SHALL BE SHOWN ON RECORD AND AS-BUILT DRAWINGS.
- SEE ARCHITECTURAL DRAWINGS FOR EXTENT OF CONSTRUCTION, FOR EXACT PLUMBING FIXTURE LOCATIONS AND QUANTITIES INCLUDING OTHER PLUMBING EQUIPMENT, DEVICES, ETC.
- PROVIDE ACCESS PANELS IN WALLS FOR SHUT-OFF VALVE AND TRAP PRIMERS, OR LOCATE VALVES ABOVE ACCESSIBLE CEILINGS. REQUIRED SHUT-OFF AND CONTROL VALVES SHALL BE ACCESSIBLE.
- DOMESTIC WATER HEATERS SHALL BE DESIGNED, CERTIFIED, AND LISTED BY UNDERWRITERS LABORATORIES AND ASME TANK CONSTRUCTION.
- EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE EQUIPMENT MANUFACTURERS' RECOMMENDATIONS AND APPLICABLE CODES. PROVIDE FITTINGS, TRANSITIONS, VALVES AND OTHER DEVICES REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
- WATER FAUCETS AND SHOWER HEADS SHALL BE PROVIDED WITH CODE APPROVED FLOW RESTRICTIONS.
- KEEP PIPING CLEAR FROM LOAD BEARING FOOTINGS AS REQUIRED BY THE STRUCTURAL DRAWINGS.
- POTABLE WATER SYSTEMS SHALL BE DISINFECTED PRIOR TO USE.
- VENTS THROUGH ROOF SHALL BE MINIMUM OF THREE (3) FEET VERTICALLY AND TEN (10) FEET HORIZONTALLY FROM AIR CONDITIONING EQUIPMENT FRESH AIR INTAKES, WINDOWS, DOORS, OR OTHER OPENINGS.
- COORDINATE WITH ELECTRICAL DRAWINGS PRIOR TO ORDERING EQUIPMENT FOR AVAILABLE VOLTAGES AT EQUIPMENT LOCATION.
- COORDINATE CUTTING, DRILLING, PATCHING, AND REINFORCEMENT REQUIRED FOR PLUMBING WORK WITH THE GENERAL CONTRACTOR AND REQUIREMENTS OF THE STRUCTURAL DRAWINGS.
- PROVIDE PIPE SLEEVES FOR PIPING PASSING THROUGH A MASONRY, CONCRETE, STRUCTURAL WALL OR AS SHOWN ON PLANS. PROVIDE FIRE RATED CAULKING OF SAME RATING AS THE WALL. PENETRATIONS THROUGH FIRE RATED ASSEMBLIES SHALL BE IN ACCORDANCE WITH UL STANDARDS, OR OTHER STANDARDS ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION.
- PROVIDE AND INSTALL WATER HAMMER ARRESTERS WITH ACCESS PANELS OF REQUIRED SIZE AT QUICK CLOSING VALVES.
- CLEANOUTS SHALL BE ACCESSIBLE AND INSTALLED PER PLUMBING CODE.
- SLOPE OF BUILDING DRAINS AND WASTE SHALL BE AS FOLLOWS:

SIZE	MINIMUM SLOPE
2-1/2" OR LESS	1/4" PER FOOT
3" TO 6"	1/8" PER FOOT
8" OR LARGER	1/16" PER FOOT

- HOSE BIBBS AND MOP SINK FAUCETS SHALL BE EQUIPPED WITH APPROVED, PROPERLY INSTALLED ATMOSPHERIC TYPE NON-REMOVABLE VACUUM BREAKER.
- HANGING, SUPPORT AND SEISMIC BRACING OF PLUMBING PIPING SHALL COMPLY TO GUIDELINES FOR SEISMIC RESTRAINTS OF PLUMBING SYSTEMS PER SMACNA LATEST EDITION.
- SEE STRUCTURAL DRAWINGS FOR DETAILS ON ADDITIONAL STRUCTURAL ATTACHMENTS FOR PIPE SUPPORTS.

GENERAL PLUMBING NOTES AND LEGEND
NOT TO SCALE

GENERAL PLUMBING NOTE (CONT.):

- FLOOR DRAINS AS SHOWN ON PLANS SHALL BE PROVIDED WITH CODE APPROVED ACCESSIBLE TRAP PRIMERS. CONCEALED TRAP PRIMER VALVES SHALL BE PROVIDED WITH ACCESS PANELS.
- REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS OF PENETRATIONS THROUGH ROOF.
- PLUMBING PIPING SYSTEMS SHALL BE TESTED IN ACCORDANCE WITH THE PROVISIONS OF THE PLUMBING CODE.
- NO PIPING, DUCTS, LEAK PROTECTION APPARATUS, OR OTHER FOREIGN EQUIPMENT ARE ALLOWED INSIDE THE ELECTRICAL ROOM AND OVER THE ELECTRICAL EQUIPMENT PER NEC SECTION 110.26.F.1.
- REFER TO ARCHITECTURAL DRAWINGS FOR FIRE RATED WALL LOCATIONS.
- COORDINATE WITH STRUCTURAL FOUNDATION ALL UNDERGROUND PIPING FOR CLEARANCE PRIOR TO EXCAVATION AND INSTALLATION.
- THE PLUMBING CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF EXISTING WATER SERVICE PIPE AND CONNECT TO IT WITH THE PROPER SIZE AS SHOWN IN THE DRAWING.
- LONG SWEEP BENDS OR LONG SWEEP FITTINGS SHALL BE PROVIDED AT THE BASE OF ALL STACKS.
- SINGLE AND DOUBLE SANITARY TEES AND QUARTER BENDS SHALL BE USED IN DRAINAGE LINES ONLY WHERE THE DIRECTION OF FLOW IS FROM THE HORIZONTAL TO THE VERTICAL.
- CLEANOUTS SHALL BE OF THE SAME NOMINAL SIZE AS PIPES UP TO 4" DIAM. NOT LESS THAN 4" FOR LARGER PIPES.
- THE CONTRACTOR SHALL FURNISH AND SET IN PLACE BEFORE CONCRETE POURING, ALL NECESSARY SLEEVES FOR WASTE OR SOIL, AND COLD WATER LINES. THESE SLEEVES SHALL BE AS SPECIFIED.
- THESE NOTES AS WELL AS THE LEGEND AND DETAILS APPLY TO ALL PLUMBING WORK FOR THE PROJECT.
- ALL WATER DISTRIBUTION AND SERVICE PIPE SHALL CONFORM TO AWWA C904, ANS/NF 14 & 61, PPI TR 4, AND SHALL BE PEX ULTRA CROSS-LINKED POLYETHYLENE SDR 9 CTS (COPPER TUBE SIZE) CONFORMING WITH THE FOLLOWING STANDARDS: NSF-PW, ANS/NF-61, AWWA C904, ANS/NF 14, ASTM F877, AND ANS/UL 263.
- ALL WATER SERVICE PIPE INSTALLED UNDERGROUND AND OUTSIDE OF THE STRUCTURE SHALL HAVE A MINIMUM WORKING PRESSURE RATING OF 160 PSI AT 73.4°F, WHERE THE WATER PRESSURE EXCEEDS 160 PSI. PIPING MATERIAL SHALL HAVE A MINIMUM RATED WORKING PRESSURE EQUAL TO THE HIGHEST AVAILABLE PRESSURE.
- ALL HOT WATER DISTRIBUTION PIPE SHALL HAVE A MINIMUM PRESSURE RATING OF 100 PSI AT 180°F.
- ALL DWV PIPING SHALL BE PVC (POLYVINYL CHLORIDE) CONFORMING WITH THE FOLLOWING STANDARDS: ASTM D 2665; ASTM F 891; ASTM F 1488; CSA B181.2; ASTM D 3034; CSA B182.2; CSA B182.4; SOLVENT CEMENTING SHALL CONFORM TO ASTM D 2235.
- ALL FITTINGS FOR SANITARY, WASTE, STORM AND DRAIN LINES SHALL BE SPIGOT END.
- THE CONTRACTOR SHALL PROVIDE PROTECTION FOR THE SURFACES OF ALL PLUMBING FIXTURES FROM DAMAGE BEFORE, DURING AND AFTER THEIR INSTALLATION AND UNTIL WORK IS COMPLETED AND ACCEPTED. CONTRACTOR AND SUBCONTRACTOR SHALL NOT USE PLUMBING FIXTURES FOR THE STORAGE OF TOOLS OR MATERIALS, DURING THE PERIOD OF CONSTRUCTION TO AVOID DAMAGE TO FIXTURES AND FITTINGS.
- SPECIAL ATTENTION IS CALLED TO THE INTERPRETATION OF THE CODE'S REQUIREMENTS DESCRIBED AND ILLUSTRATED IN THE INTERNATIONAL PLUMBING CODE HANDBOOK MADE PART OF THE REQUIREMENTS OF THIS CONTRACT.
- CONTRACTOR SHALL VERIFY IN THE FIELD ALL INVERT AND GRADE ELEVATIONS AND MAKE ANY NECESSARY ADJUSTMENTS AS REQUIRED BY THE FIELD CONDITIONS, AND REQUIRED TO OBTAIN THE PROPER SLOPE.
- THE CONTRACTOR MUST INSPECT PROJECT SITE AND MUST COORDINATE HIS WORK WITH THAT OF OTHER TRADES PRIOR TO SUBMITTING HIS PROPOSAL FOR THIS WORK. AFTER CONTRACT IS AWARDED, NO EXTRAS WILL BE ALLOWED FOR LACK OF COORDINATION, UNLESS PROJECT SITE CONDITIONS SUFFER DRASTIC CHANGES.
- ALL PIPING WELDS/SOLDER SHALL BE OF PHOSPHORUS FREE TYPE.
- CONTRACTOR SHALL INCORPORATE 90 DEGREES OFFSET TO PIPE RUNS LONGER THAN 15', AT 10' INTERVALS, MINIMUM OFFSET OF 1'-0".
- CONTRACTOR SHALL INCLUDE APPROPRIATE TRAPS AS PER CODE REQUIREMENTS; NO EQUIPMENTS SHALL BE INSTALLED WITHOUT TRAPS (EXCEPT WASHING MACHINE).
- THE CONTRACTOR SHALL PROVIDE SLEEVES AT SLABS OR BEAMS FOR PIPING LAYOUT AND FIXTURES INSTALLATION.
- START OF WORK BY CONTRACTOR SHALL BE CONSIDERED AS ACCEPTANCE BY HIM OF ALL CLAIMS OR QUESTIONS AS TO SUITABILITY OF THE WORK OF OTHER TRADES OR CONTRACTORS TO RECEIVE HIS WORK. THIS CONTRACTOR SHALL REMOVE AND REPLACE, AT HIS EXPENSE, ALL PLUMBING WORK WHICH MAY HAVE TO BE REMOVED BECAUSE OF INTERFERENCE WITH OTHER TRADES.
- DOMESTIC AND SERVICE HOT-WATER SYSTEM INSULATION SHALL BE FURNISHED AS FOLLOWS:

MINIMUM PIPE INSULATION THICKNESS (IN.)		
OPERATING TEMPERATURE (°F)	INSULATION CONDUCTIVITY	
	CONDUCTIVITY BTU*IN/(H*FT**F)	MEAN RATING TEMP(°F)
105+	0.22 – 0.28	100

NOMINAL PIPE SIZE (IN.)			
< 1	1 TO < 1-1/2	1-1/2 TO < 4	4 TO < 8
0.5	0.5	1.0	1.0

GENERAL PLUMBING NOTE (CONT.):

- ROUGHING-IN FOR TOILET FIXTURES, WHEN IN CONCRETE SLAB, SHALL INCORPORATE A LEGITIMATE CLOSET BEND FITTING. CONTRACTOR SHALL ALWAYS INSTALL LONG RADIUS ELBOWS AND BOSTON TEES AT ANY CHANGE OF DIRECTION OF SEWER PIPE. SHORT RADIUS ELBOWS SHALL NOT BE ALLOWED.
- ALL PIPING SHALL BE CONCEALED IN FLOOR TOPPING, WALLS OR CHASES UNLESS OTHERWISE NOTED.
- ALL PROJECT SHOWER AND TUB-SHOWER COMBINATION VALVES SHALL BE BALANCED WITH PRESSURE VALVES THAT CONFORM TO THE REQUIREMENTS OF ASSE 1016 OR CSA CAN/CSA-8125. VALVES SHALL BE EQUIPPED WITH MEANS TO LIMIT THE MAXIMUM SETTING OF THE VALVE TO 120 °F(49 °C), WHICH SHALL BE FIELD ADJUSTED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- CONTRACTOR SHALL PERFORM PLUMBING RELATED INSTALLATIONS UNDER THE DIRECT SUPERVISION OF A "MASTER PLUMBER" AS A MEASURE TO GUARANTEE COMPLIANCE WITH APPLICABLE CODES AND INSTALLATION STANDARDS.
- CONTRACTOR SHALL SEEK THE CERTIFICATION OF A "MASTER PLUMBER" AS PER LAW # 38 OF FEBRUARY 2002. THIS CERTIFICATION SHALL ASCERTAIN THE INSTALLATION OF ALL PLUMBING FOR THE PROJECT.
- FOR AIR CONDITIONING WATER CONDENSATE LINES INSULATION SPECIFICATIONS SEE DRAWING 0000.

NOTES ON PLUMBING CODES REQUIREMENTS:

- CONTRACTOR SHALL PERFORM PLUMBING WORK UNDER THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE (IPC), FROM NOW ON REFERENCED AS "THE CODES" IN THE FOLLOWING STATEMENTS. THESE SHALL BE CONSIDERED THE "STANDARD PLUMBING PRACTICE" FOR THE WORK TO BE PERFORMED. PROVISIONS OF THE CODES, STANDARDS & REQUIREMENTS SHALL APPLY TO THE ERECTION, INSTALLATION, ADDITION TO, USE OR MAINTENANCE OF PLUMBING SYSTEMS WITHIN THIS PROJECT, EVEN WHEN NOT SPECIFICALLY CALLED FOR IN THE DRAWINGS. APPLICABILITY OF THE CODES SHALL GOVERN THE INSTALLATION OF ALL PLUMBING SYSTEMS UNDER THIS CONTRACT. DEFINITIONS SHALL BE AS PER THE CODES. MANDATORY REFERENCED STANDARDS OF THE CODES AS WELL AS THEIR APPENDICES SHALL BE BINDING (INTERNATIONAL FUEL GAS CODE, INTERNATIONAL PLUMBING CODE, STANDARDS OF THE INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL ENGINEERS, et. al.).
- THE DESIGN, DOCUMENTATION, INSPECTION AND APPROVAL OF CHANGES TO THE ENGINEERED DESIGN PLUMBING SYSTEMS SHALL COMPLY WITH THE PROVISIONS OF THE CODES. DESIGN CRITERIA SHALL BE SUBMITTED WITH ALL TECHNICAL DATA, AND CERTIFIED BY A DESIGN PROFESSIONAL.
- GENERAL REGULATIONS OF THE CODES SHALL INCLUDE, BUT NOT BE LIMITED TO: MATERIALS, ROCKET-PROOFING, PROTECTION OF PIPES AND PLUMBING SYSTEM COMPONENTS, TRENCHING, EXCAVATION AND BACKFILL, STRUCTURAL SAFETY, PIPING SUPPORTS, FLOODPROOFING, WASHROOM AND TOILET ROOM REQUIREMENTS, TOILET FACILITIES FOR WORKERS, TESTS, INSPECTIONS, EQUIPMENT EFFICIENCIES AND CONDENSATE DISPOSAL.
- CONTRACTOR SHALL PERFORM INSTALLATION OF PLUMBING FIXTURES AND FITTINGS FOLLOWING THE RECOMMENDATIONS AND REQUIREMENTS OF THE CODES FOR: FIXTURE MATERIALS, MINIMUM PLUMBING FACILITIES, BATHROOMS, BODES, DISHWASHING MACHINES, DRINKING FOUNTAINS, EMERGENCY SHOWERS, EYEWASH STATIONS, FLOOR DRAINS, FOOD WASTE GRINDERS UNITS, GARBAGE CAN WASHERS, URINAL TRAYS, LAVATORIES, SHOWERS, SINKS, URINALS, WATER CLOSETS, WHIRLPOOL BATHUBS, HEALTH CARE FIXTURES AND EQUIPMENT, FAUCETS AND OTHER FIXTURE FITTINGS, FLUSHING DEVICES FOR WATER CLOSETS AND URINALS, MANUAL FOOD AND BEVERAGE DISPENSING EQUIPMENT.
- CONTRACTOR SHALL PERFORM THE INSTALLATION OF WATER HEATERS AS PER THE CODES, ACCOUNTING FOR, BUT NOT LIMITED TO, REQUIREMENTS ON CONNECTIONS, SAFETY DEVICES, INSULATION AND DRAINAGE.
- CONTRACTOR SHALL INSTALL WATER SUPPLY AND DISTRIBUTION FOLLOWING THE REQUIREMENTS OF THE CODES INCLUDING BUT NOT LIMITED TO: WATER REQUIREMENTS & SERVICE, BUILDING WATER DISTRIBUTION, MATERIALS, JOINTS AND CONNECTIONS, HOT WATER SUPPLY SYSTEM, PROTECTION OF POTABLE WATER SUPPLY, HEALTH CARE PLUMBING, DISINFECTION OF POTABLE WATER SYSTEM, DRINKING WATER TREATMENT UNITS, AND SOLAR SYSTEMS.
- CONTRACTOR SHALL INSTALL SANITARY DRAINAGE SYSTEM FOLLOWING THE REQUIREMENTS OF THE CODES INCLUDING, BUT NOT LIMITED TO: MATERIALS, BUILDING SEWER, DRAINAGE PIPING INSTALLATION, JOINTS, CONNECTIONS BETWEEN DRAINAGE PIPING AND FITTINGS, PROHIBITED JOINTS AND CONNECTIONS, CLEANOUTS, FIXTURE UNITS, DRAINAGE SYSTEM SIZING, SLOPES, OFFSETS IN DRAINAGE PIPING IN BUILDINGS, SUMPS AND EJECTORS, HEALTH CARE PLUMBING, AND BACKWATER VALVES.
- CONTRACTOR SHALL INSTALL INDIRECT/SPECIAL WASTE SYSTEMS FOLLOWING THE REQUIREMENTS OF THE CODES INCLUDING, BUT NOT LIMITED TO: INDIRECT WASTES, SPECIAL WASTES, MATERIALS, JOINTS, SLOPES AND CONNECTIONS.
- CONTRACTOR SHALL FIELD VERIFY, COORDINATE AND INSTALL VENTS FOLLOWING THE REQUIREMENTS OF THE CODES INCLUDING, BUT NOT LIMITED TO: MATERIALS, VENT STACKS AND STACK VENTS, VENT TERMINALS, VENT CONNECTIONS AND GRAPES, FIXTURE VENTS, INDIVIDUAL VENTS, COMMON VENTS, WET VENTING, WASTE STACK VENT, CIRCUIT VENTING, COMBINATIONS DRAIN AND VENT SYSTEM, ISLAND FIXTURE VENTING, RELIEF VENTS, VENTS FOR STACK OFFSETS, VENT PIPE SIZING, AND AIR ADMITTANCE VALVES.
- CONTRACTOR SHALL INSTALL INTERCEPTORS AND SEPARATORS FOLLOWING THE REQUIREMENTS OF THE CODES, ACCOUNTING FOR TRAP REQUIREMENTS, MATERIALS, JOINTS AND CONNECTIONS.
- CONTRACTOR SHALL INSTALL STORM DRAINAGE SYSTEM FOLLOWING THE STANDARDS & REQUIREMENTS OF THE CODES INCLUDING, BUT NOT LIMITED TO: MATERIALS, TRAPS, CONDUCTORS, AND CONNECTIONS, ROOF DRAINS, SIZE OF CONDUCTORS, LEADERS AND STORM DRAINS, SECONDARY (EMERGENCY) ROOF DRAINS, VALVES FOR CONTINUOUS FLOW, SUMPS, AND PUMPING SYSTEMS.
- CONTRACTOR SHALL INSTALL AND PROTECT DWV AND STORMWATER PIPES WITH FIRESTOP PROTECTION, AS PER STANDARDS & REQUIREMENTS OF THE CODES.

PLUMBING LEGEND:

- C.W. COLD WATER PIPING – NEW
- C.W. COLD WATER PIPING – EXISTING
- H.W. HOT WATER PIPING – NEW
- H.W. HOT WATER PIPING – EXISTING
- H.W.R. HOT WATER PIPING RETURN – NEW
- H.W.R. HOT WATER PIPING RETURN – EXISTING
- ∞ STORM PIPING – NEW
- ∞ STORM PIPING – EXISTING
- VENT PIPING – NEW
- VENT PIPING – EXISTING
- T WASTE OR SOIL PIPING – NEW (UNDERGROUND OR UNDER SLAB)
- T WASTE OR SOIL PIPING – EXISTING (UNDERGROUND OR UNDER SLAB)
- T WASTE OR SOIL PIPING – NEW (EXPOSED OR OVER SLAB)
- T WASTE OR SOIL PIPING – EXISTING (EXPOSED OR OVER SLAB)
- CAP
- C.O.P. CLEANOUT PLUG
- F.C.O. FLOOR CLEANOUT
- F.D. FLOOR DRAIN
- G.C.O. GROUND CLEANOUT
- H.B. HOSE BIBB
- ISOLATION VALVE
- PIPE DOWN
- P-TRAP
- PIPE INSULATION
- PIPE UP
- TIE-IN POINT CONNECTION (CONNECT NEW TO EXISTING)
- W.C.O. WALL CLEANOUT
- WATER HAMMER ARRESTOR
- W.F.P. WATER FOUNTAIN PUMP
- W.F.S. WATER FILTER AND CHLORINATION SYSTEM
- DN. DOWN
- E.F. EXHAUST FAN
- R.L. RAIN LEADER
- S.S. SOIL STACK
- S.V. STACK VENT
- TYP. TYPICAL
- U.G. UNDERGROUND
- V.S. VENT STACK
- V. VENT SYSTEM
- V.T.R. VENTILATION THROUGH ROOF
- W.S. WASTE STACK

ISSUE FOR REVIEW AND COMMENTS 90%, 2024.02.26



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VO. LUIS R. TORRES ROSA QUIROS, INGENIERO LICENCIADO #18777, CERTIFICADO QUE SOY EL PROFESIONAL QUE DISEÑO O ESTOS PLANOS Y LAS ESPECIFICACIONES COMPLEMENTARIAS. TAMBIEN CERTIFICO QUE ENTENDO QUE DICHS PLANOS Y ESPECIFICACIONES CUMPLEN CON LAS DISPOSICIONES APPLICABLES DEL REGLAMENTO CONJUNTO Y LAS DISPOSICIONES APPLICABLES DE LOS REGLAMENTOS Y CODIGOS DE CONSTRUCCION VIGENTES DE LAS AGENCIAS, JUNTA REGULADORA DE CORPORACIONES PUBLICAS CON JURISDICCION Y ESTAN EN CONFORMIDAD CON CODIGOS DE CONSTRUCCION DE PUERTO RICO 2018 VIGENTE AL 15 DE NOVIEMBRE DE 2018. CERTIFICO, ADEMAS, QUE EN LA PREPARACION DE ESTOS PLANOS Y ESPECIFICACIONES SE HA CUMPLIDO CABALMENTE CON LO DISPUESTO EN LA LEY NÚM. 14 DE 8 DE ENERO DE 2004, SEGUN ENMENDADA, CONOCIDA COMO LA "LEY PARA LA INVERSION POR LA INDUSTRIA PUERTORRIQUENA" CON LA LEY NÚM. 315 DE 15 DE MAYO DE 1938, SEGUN ENMENDADA; LEY NÚM. 96 DE 6 DE JULIO DE 1978, SEGUN ENMENDADA; SEGUN APRUEBO RECONOCIDO QUE CUALQUIER DECLARACION FALSA O FALSIFICACION DE LOS HECHOS QUE SE HAYA PRODUCIDO POR DESCONOCIMIENTO O POR NEGLIGENCIA YA SEA POR MI, MIS AGENTES O EMPLEADOS, O POR OTROS PERSONAS CON MI CONOCIMIENTO, ME HACER RESPONSABLE DE CUALQUIER ACCION JUDICIAL Y DISCIPLINARIA POR LA OGRE.

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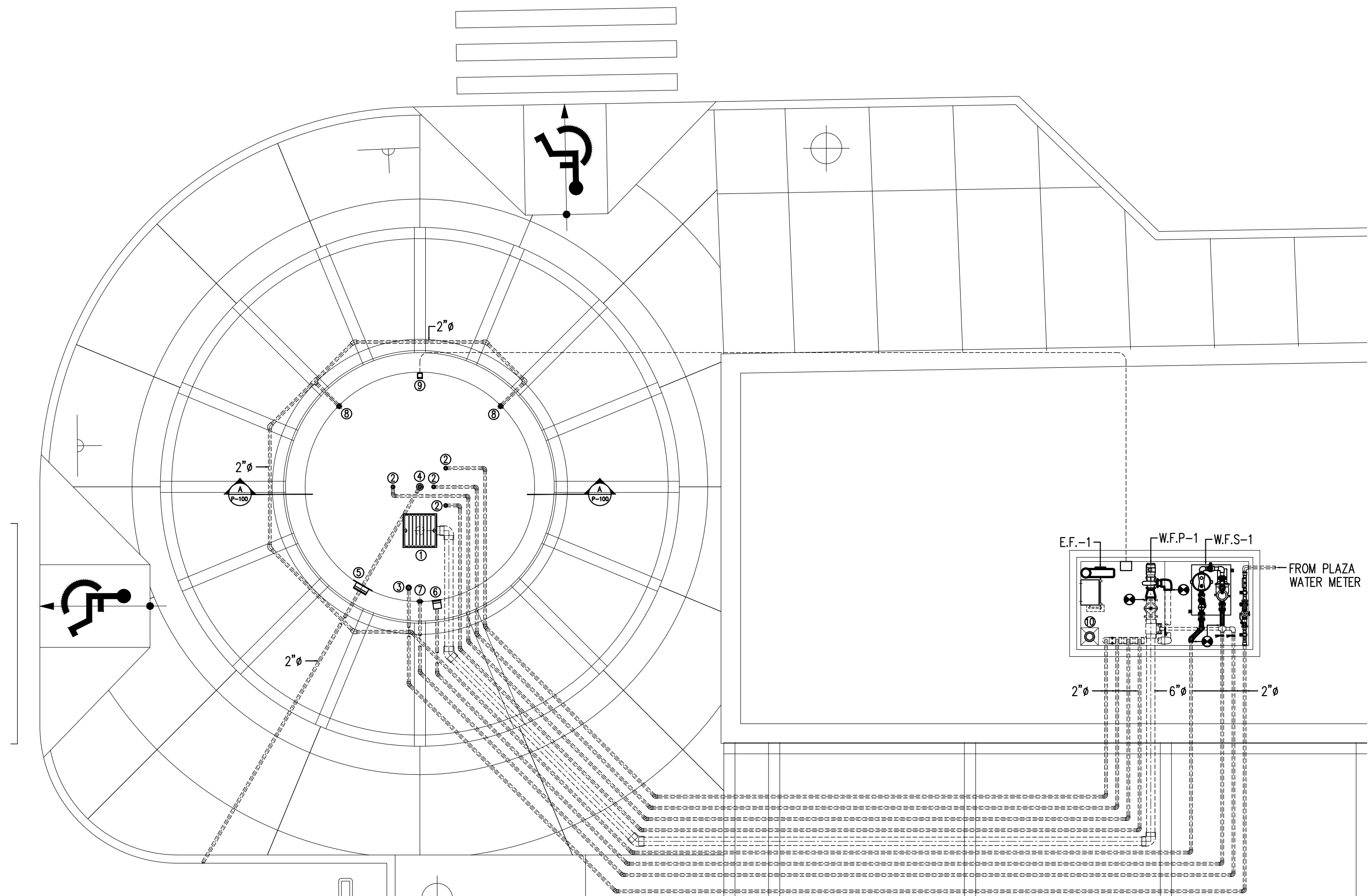
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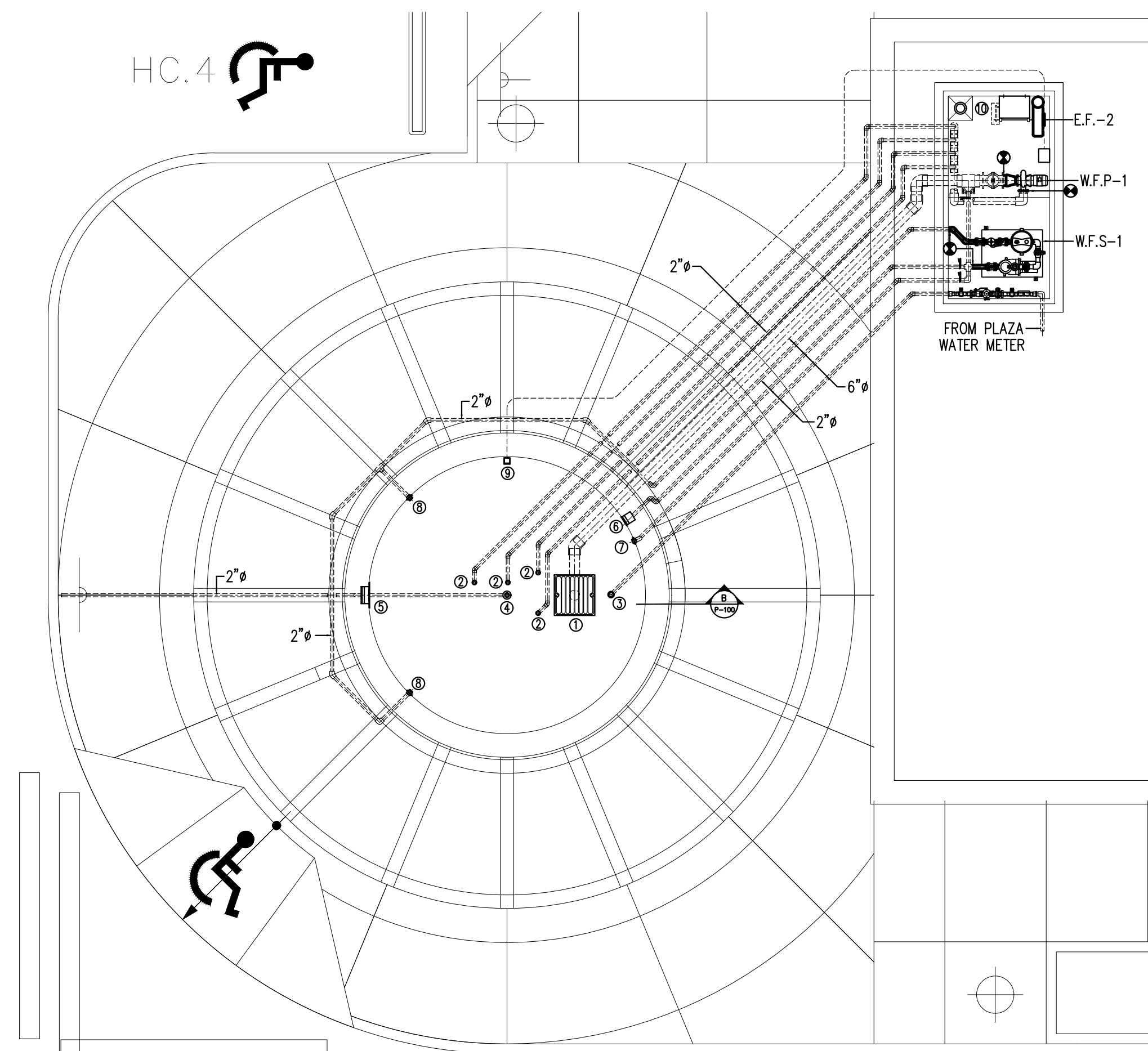
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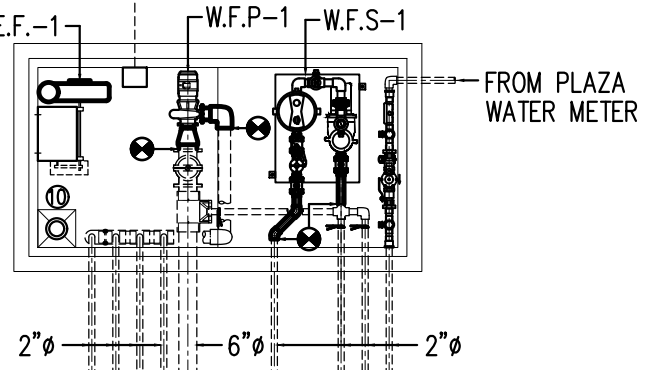
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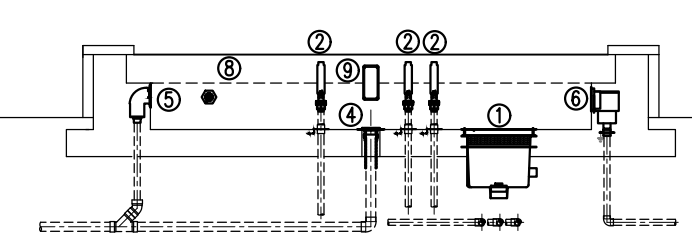
PROPOSED FOUNTAIN 1 PUMPING AND FILTRATION PIPING LAYOUT
SCALE: 3/16" = 1'-0"



PROPOSED FOUNTAIN 2 PUMPING AND FILTRATION PIPING LAYOUT
SCALE: 3/16" = 1'-0"



FOUNTAIN 1 SECTION A
SCALE: 3/16" = 1'-0"



FOUNTAIN 2 SECTION B
SCALE: 3/16" = 1'-0"

LEGEND:

==== REUSED PIPING IF AND ONLY IF THEY PASS THE PRESSURE TEST.

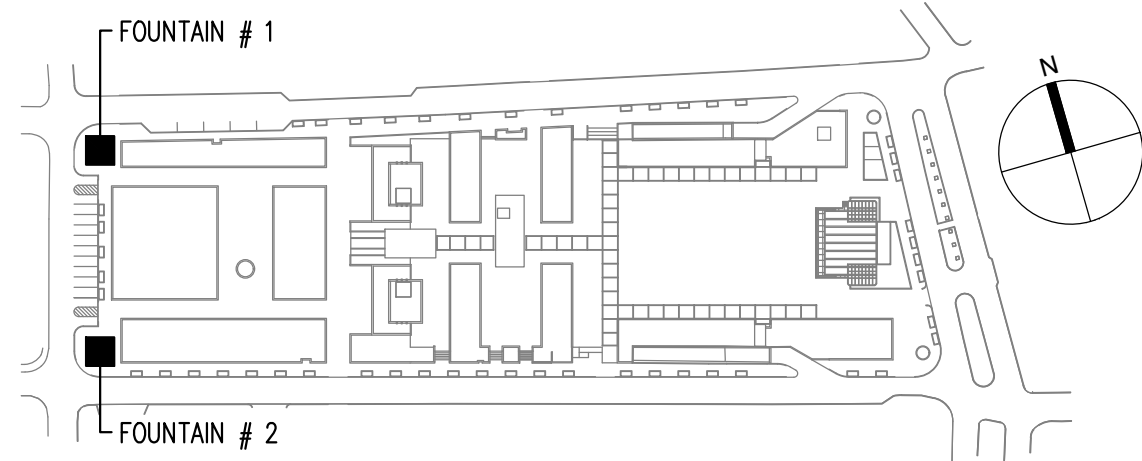
FOUNTAIN ACCESSORIES

IMPORTANT NOTE: ALL FOUNTAIN ACCESSORIES SHALL BE REPLACED WITH THE BELOW SPECIFIED OR APPROVE EQUAL.

TAG	DESCRIPTION	MODEL / MANUFACTURER / QTY. PER FOUNTAIN OR WATER FEATURE
①	24" SQ. FIBERGLASS ANTI-VORTEX SUMPS WITH WATERSTOP FLANGE, BRASS COVER AND 6" OUTLET	RAVS-2400-CC / ROMAN FOUNTAIN / 1
②	1 1/2" FROTHY NOZZLES WITH ADAPTER, SWIVEL BALL VALVE COUPLING, MIPLLE AND 2" WATERSTOP COUPLING FOR FOAMY AERATED SPRAY COLUMNS, CENTER NOZZLE TO 6 FT. HIGH AND 3 SIDE JETS TO 4" FT. HIGH	RFN-150 / ROMAN FOUNTAIN / 4
③	FLOOR INLET DIVERTER FITTING WITH 1 1/2" BRONZE WATERSTOP COUPLING FOR FILL WATER.	RIF-150 A / ROMAN FOUNTAIN / 1
④	BRONZE WATERSTOP COUPLING FLOOR DRAIN WITH 3" THR. PLUG.	RFD-300 / ROMAN FOUNTAIN / 1
⑤	BRONZE SIDEWALL OVERFLOW FITTINGS WITH 2" OUTLET & STRAINER	ROVS-200 W / ROMAN FOUNTAIN / 1
⑥	SKIMMER WITH BRONZE FACEPLATE	RPS-150-FA / ROMAN FOUNTAIN / 1
⑦	VACUUM FITTING WITH 2" BRONZE WATERSTOP COUPLING	RVF-150-WS / ROMAN FOUNTAIN / 1
⑧	EYEBALL INLET FITTING WITH 1 1/2" WATERSTOP COUPLING	REF-150-WS / ROMAN FOUNTAIN / 2
⑨	AUTO-FILL/ LOW WATER CUTOFF DECK MOUNT WATER LEVEL SENSOR, CIRCUIT BOARD AND CONTROL PANEL (120 VAC/60 Hz @ 4.4 VA, PROBE: 24 VAC) 3/4" SOLENOID VALVED AT MANIFOLDS SHALL BE REPLACED)	RCOM-WNA / ROMAN FOUNTAIN / 1 & RCOM-PNL3
⑩	SUMP PUMP MODEL SP33VF, 1-1/2" DISCHARGE, VERTICAL FLOAT PVC, SNAP ACTION, 10 FT. CORD, 1/3 HP, HIGH ALARM AND SENSOR, 3450 RPM, 60 Hz, 120 V/ 1 Ph / 60 Hz, F.L.A. 5.8 A, MANUFACTURED BY BARNES / CRANE PUMPS.	SP33VF / BARNES / 1
W.F.S.-#	WATER FILTER SYSTEM, SKID MOUNTED PUMP/CARTRIDGE FILTER W/CHEMICAL FEEDER EQUIPMENT (CHLORINATION), 1/2 HP, 120 V/1 Ph/ 60 Hz, MOTOR CONTROL PANEL (H-O-A, FILTER, LIGHTS, WATER VALVES)	RSM-1-RWSP-050 / ROMAN FOUNTAIN / 1
W.F.P.-#	WATER FEATURE PUMP, FOR SPECIFICATIONS SEE SHEET P-500.	-- / -- / --

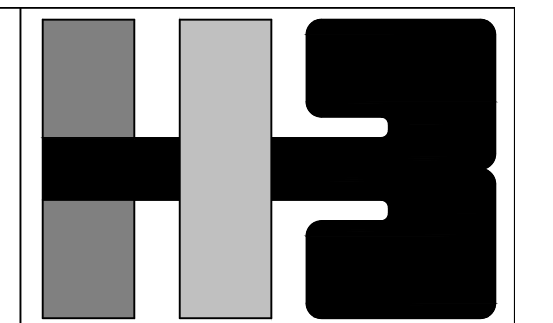
IMPORTANT NOTES:

- EXISTING MECHANICAL VAULTS SHALL BE PROPERLY PRESSURE CLEANED AND WALLS AND FLOOR SEALED WITH PRODUCT WATER SEALER TS-200 BY LANCO OR APPROVED EQUAL.
- MAKE-UP WATER MANIFOLD SHALL BE RE-CONDITIONED AND EQUIPPED WITH A BACK-FLOW PREVENTER.
- WATER FEATURE AND FILTRATION PUMP SYSTEMS SHALL BE RAISED AT LEAST 3 INCHES ABOVE FINISHED FLOOR.
- ONLY EXISTING PIPING THAT HAVE PASSED THE PRESSURE TEST SHALL REMAIN. (75 PSI FOR 12 HRS.)
- NEW SUMP PUMPS SHALL DISCHARGE TO EXISTING POINT OF DISCHARGE.
- ALL FOUNTAINS 1 & 2 ACCESSORIES ARE NEW AND IF THE EXISTING PIPING PASSES THE PRESSURE TEST, IT SHALL REMAIN. IN THIS CASE, ALL NEW FOUNTAINS ACCESSORIES SHALL BE RECONNECTED TO THE EXISTING PIPING (EVEN IF NO TIE-POINT SYMBOLS ARE SHOWN ON THE DRAWING).
- NEW EXHAUST FANS (E.F.-1 & 2) SHALL BE CONNECTED TO EXISTING 6" PVC EXHAUST GOOSENECKS USING A RUBBER COUPLING. INTAKE 6" PVC GOOSENECKS SHALL BE RE-CONDITIONED. BOTH INTAKE AND EXHAUST GOOSENECK SHALL BE FITTED WITH RODENT SCREENS TO PREVENT THE INCURSION OF RODENTS.



KEY PLAN

ISSUE FOR REVIEW AND COMMENTS 90%, 2024.02.26



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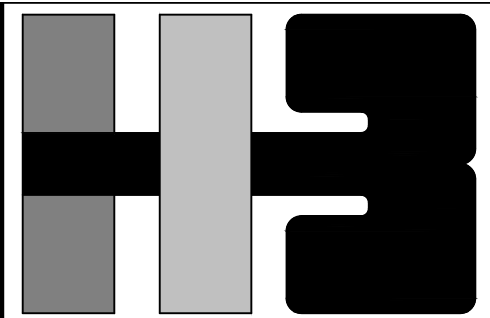
PROJECT
IMPROVEMENTS OF "PLAZA DE LA CONVALESCENCIA" AND "LA PLAZA DEL PILAR"

DRAWING NAME
NEW FOUNTAINS PUMPING FILTRATION SYSTEM AND ACCESSORIES LAYOUT

COMPUTER PLOT
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PROJECT	
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NUMBER 54	TOTAL 62
DRAWING NUMBER P-100	



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ARCHITECT'S SEAL



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OWNER
AUTONOMOUS MUNICIPALITY OF SAN JUAN

PROJECT
IMPROVEMENTS OF "PLAZA DE LA CONVALESCENCIA" AND "LA PLAZA DEL PILAR"

DRAWING NAME

PROPOSED WATER FEATURES AND MECHANICAL VAULTS LAYOUT

COMPUTER PLOT
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PROJECT

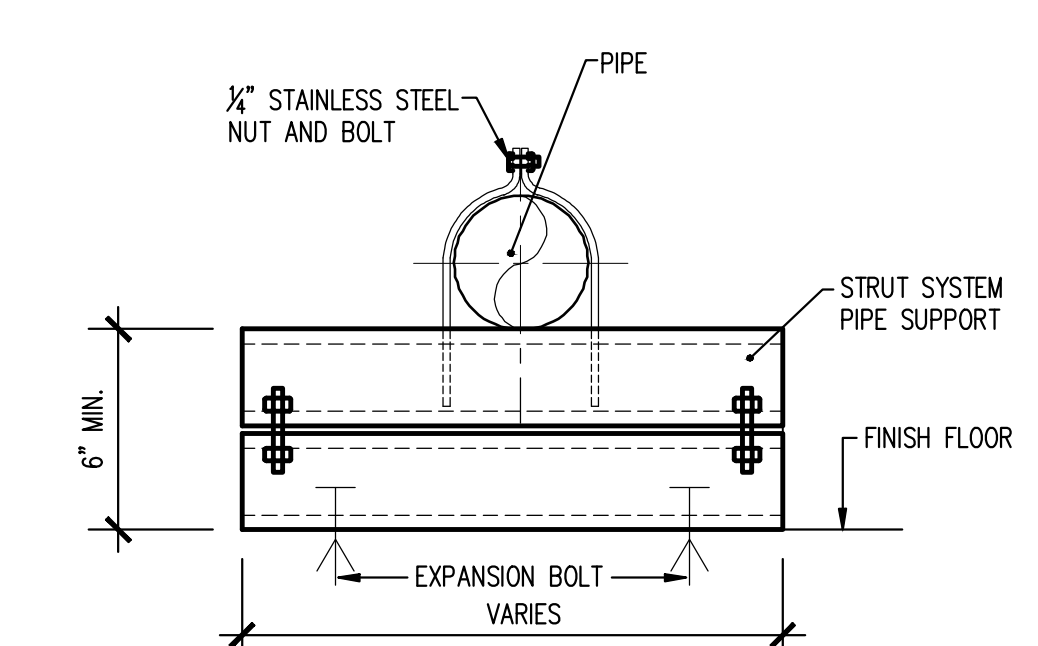
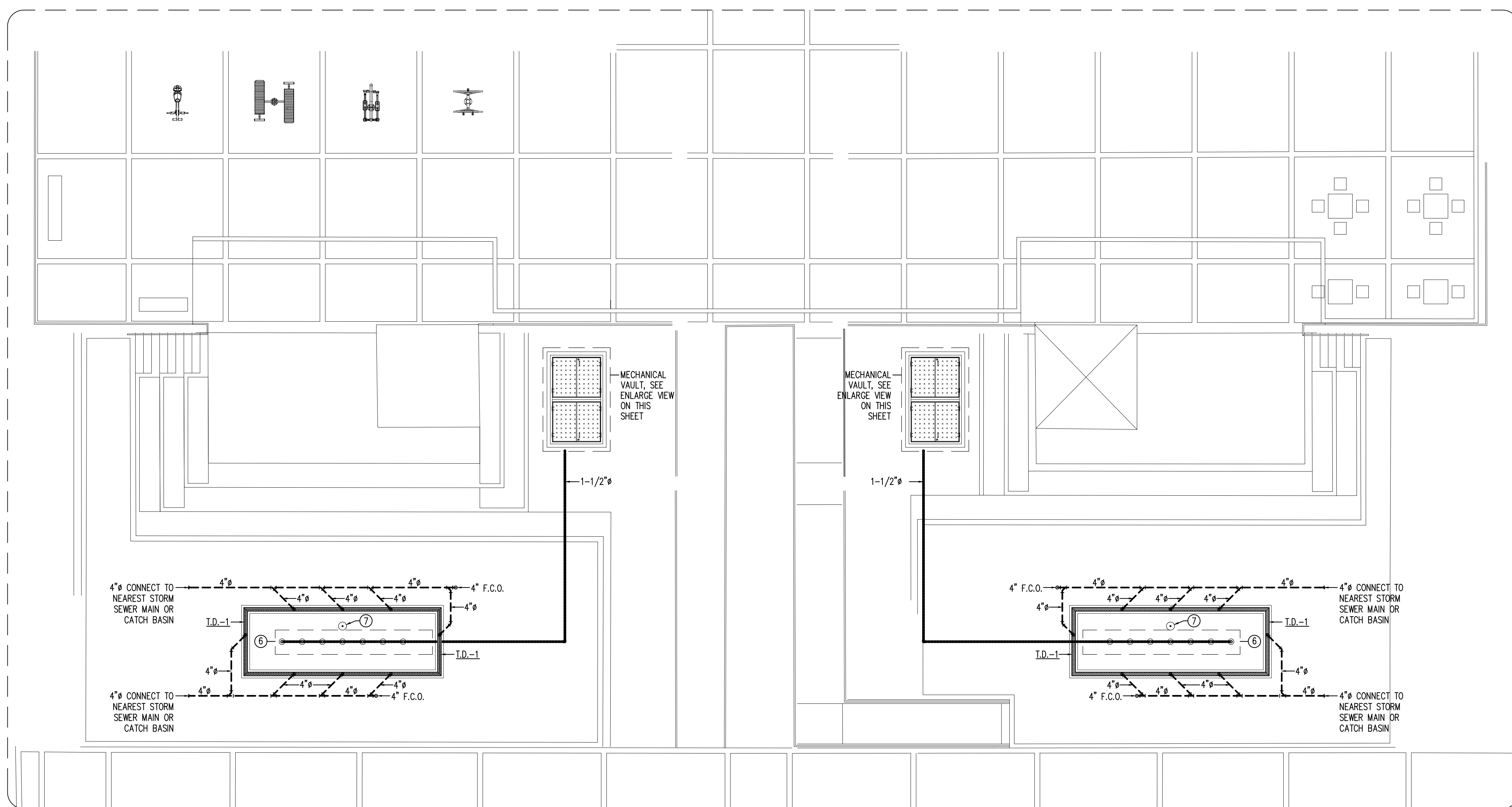
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enermech L.T.Q.

NUMBER	TOTAL
55	62

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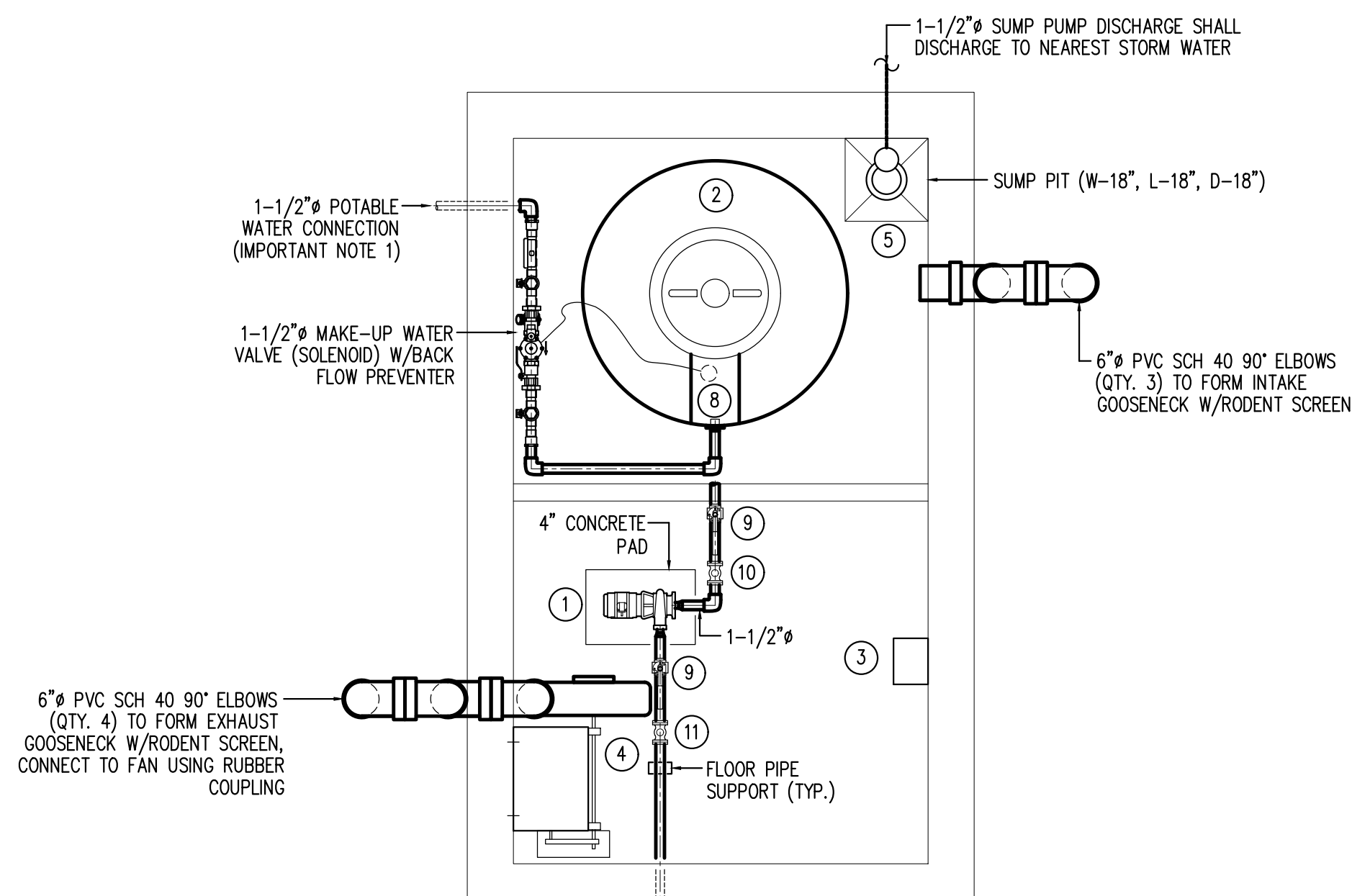
P-101



NOTES:
1-INSULATE ALL DISSIMILAR MATERIALS TO PREVENT GALVANIC ACTION.
2-ALL PIPE SUPPORT COMPONENTS SHALL WITHSTAND APPLICABLE SEISMIC AND HURRICANE FORCES.

TYPICAL FLOOR OR WALL PIPING SUPPORT DETAIL
NOT TO SCALE

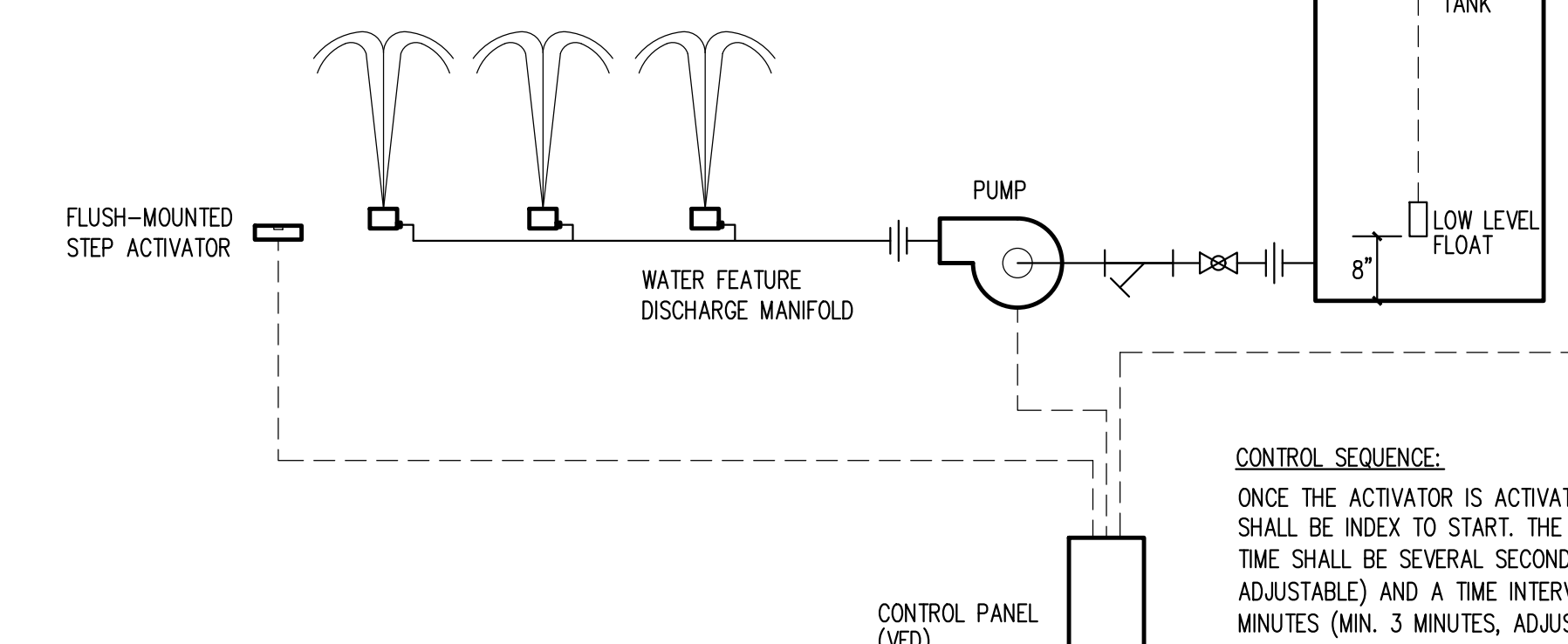
PROPOSED SPLASH PARK AREA PIPING LAYOUT
SCALE: 1/8" = 1'-0"



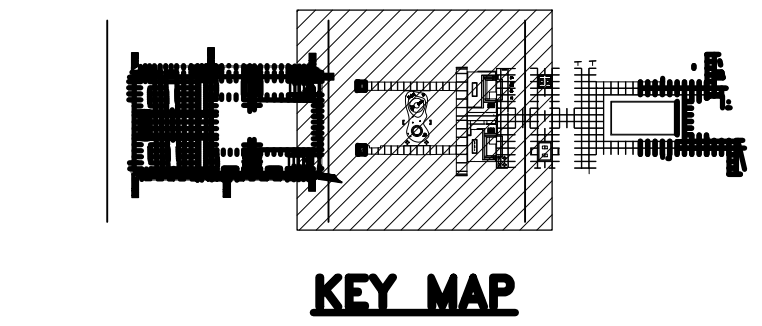
PROPOSED MECHANICAL VAULT ENLARGE VIEW
SCALE: 1/2" = 1'-0"

- IMPORTANT NOTES:
- POTABLE WATER CONNECTION (1-1/2") SHALL BE DONE AT EXISTING DEMOLISHED FOUNTAINS MECHANICAL ROOM AT 3RD LEVEL OF MULTI-LEVEL PARKING, FOR BOTH WATER FEATURES.
 - ALL PIPING FOR WATER FEATURE SHALL BE PVC SCH. 80, EXCEPT FOR WATER MAKE-UP PROVISION WHICH SHALL BE COPPER TYPE K.

WATER FEATURE ACCESSORIES	
TAG	DESCRIPTION
1	BERKELEY CENTRIFUGAL END SUCTION PUMP MODEL CP1-1/4XPS, RATED FOR 35 GPM @ 35 PSI, 1 HP, 3/60/208 VOLTS, 1.5" SUCTION X 1.25" DISCHARGE.
2	300 GALLON WATER TANK, 18" PE THREADED-VENTED MANWAY W/15" ACCESS, 2" PP DBL FLANGED BOLTED SHORT SIPHON TUBE ASSY W/EPDM GASKET & S.S. BOLTS, 1-1/2" PE THREADED BH W/EPDM GASKET, MODEL VWS300-46 MANUFACTURED BY PROTANK.
3	DANFOSS AQUA 1 H.P. VFD MODEL F202-PK75-T2-E66-H2-X-G-X-X-X-SXXX-X-AX-BX-CX-XX-D1, 200-240/3/60, NEMA 4X ENCLOSURE, 5 LINE LCD GRAPHICAL DISPLAY, INTEGRAL CALL A2 RFI FILTERS. INCLUDES ANALOG IO + BATTERY BACK MCB109.
4	EXHAUST FAN (E.F.-3 & 4), REFER TO SHEET P-500 FOR SPECIFICATIONS.
5	SUMP PUMP MODEL SP33VF, 1-1/2" DISCHARGE, VERTICAL FLOAT PVC, SNAP ACTION, 10 FT. CORD, 1/3 HP, HIGH ALARM PANEL AND SENSOR, 3450 RPM, 60 Hz, 120 V/ 1 Ph / 60 Hz, F.L.A. 5.8 A, MANUFACTURED BY BARNES / CRANE PUMPS.
6	STREAM JET MANIFOLD, W/S. NOZZLE COVERS, 1-1/2" CONNECTION, MANUFACTURED BY AQUATIX.
7	FLUSH-MOUNTED STEP ACTIVATOR, MANUFACTURED BY AQUATIX.
8	SUSPENDED TYPE DIRECT ACTING FLOAT SWITCH WITH CHEMICAL RESISTANT POLYPROPYLENE CASING AND 30 FT. OF POWER CORD. ANCHOR SCIENTIFIC MODEL GES30NOC BLUNT TYPE OR APPROVED EQUAL. LOW LEVEL PUMP CUT-OFF FOR VFD AND LOW LEVEL ALARM SIGNAL CONTROL. (LOW LEVEL FLOAT)
9	ISOLATION BALL VALVE
10	STRAINER
11	1.5" CHECK VALVE MODEL F300-150 BY STRATAFLO.

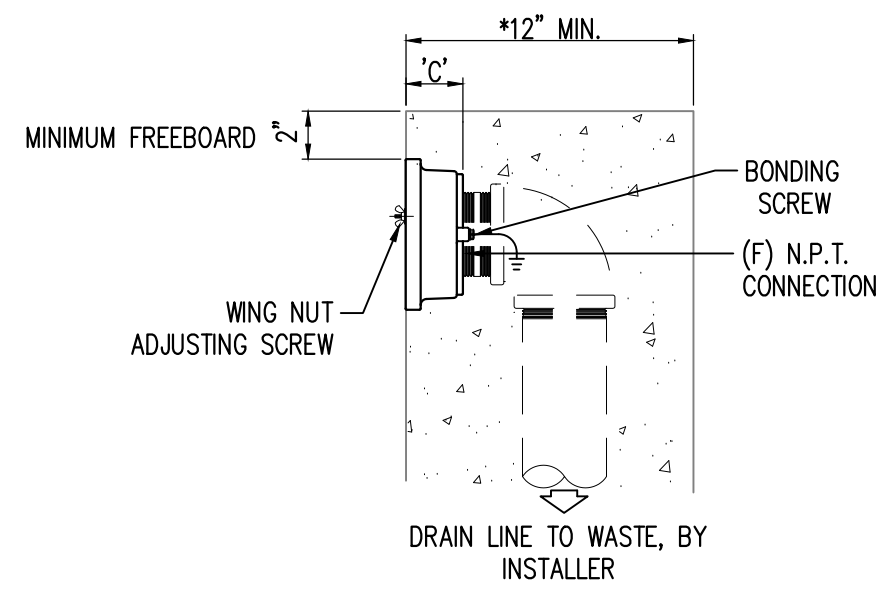


WATER FEATURE CONTROL DIAGRAM
NOT TO SCALE

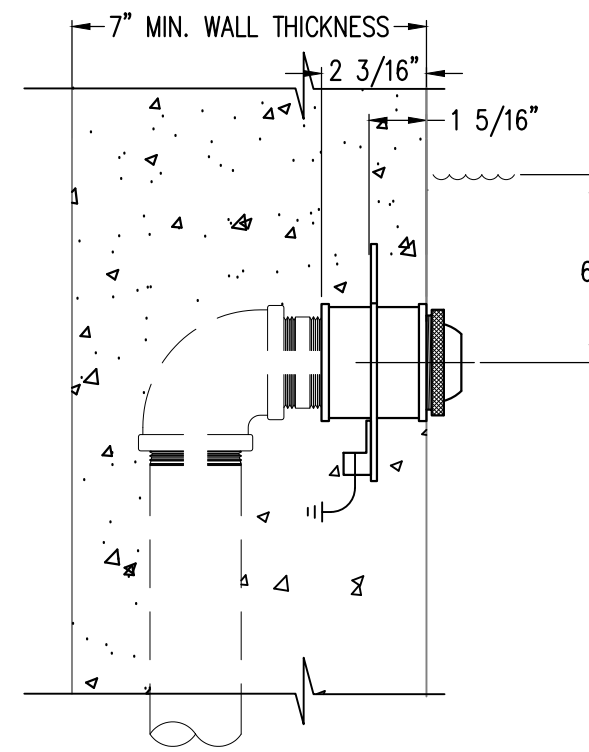


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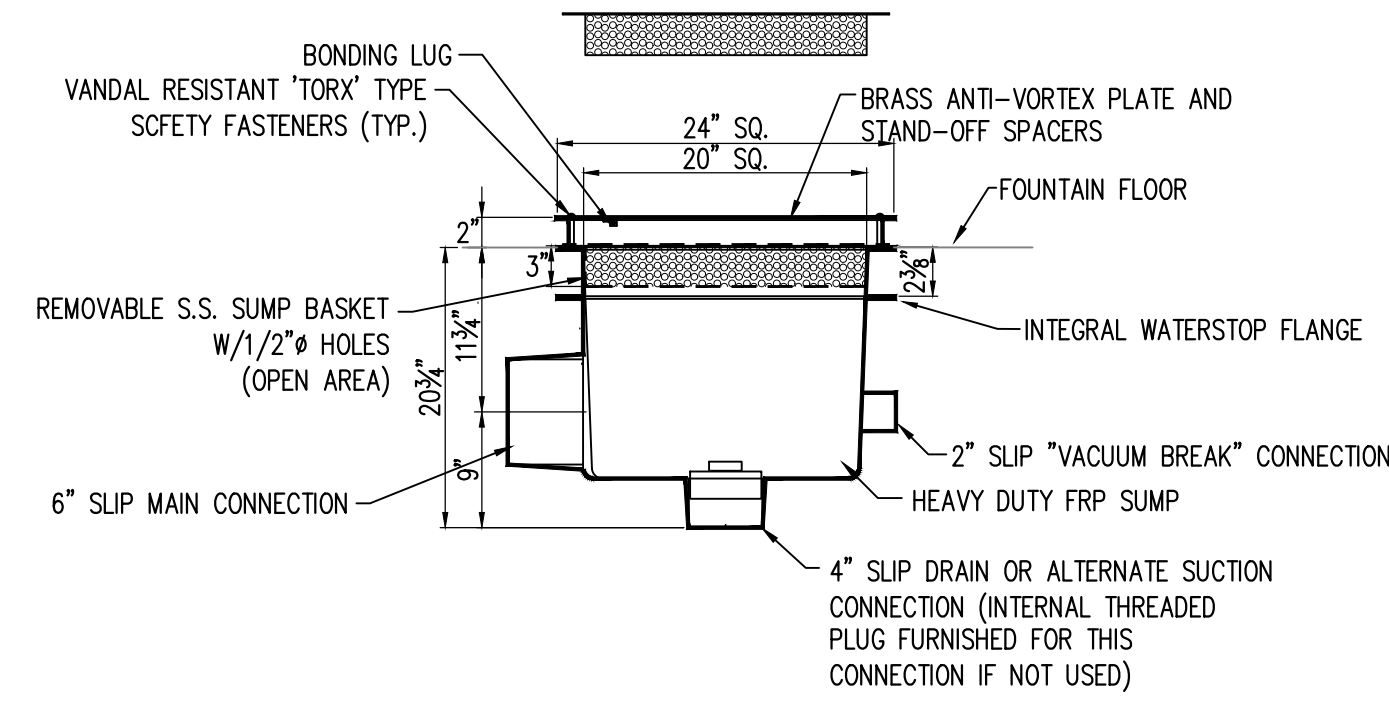




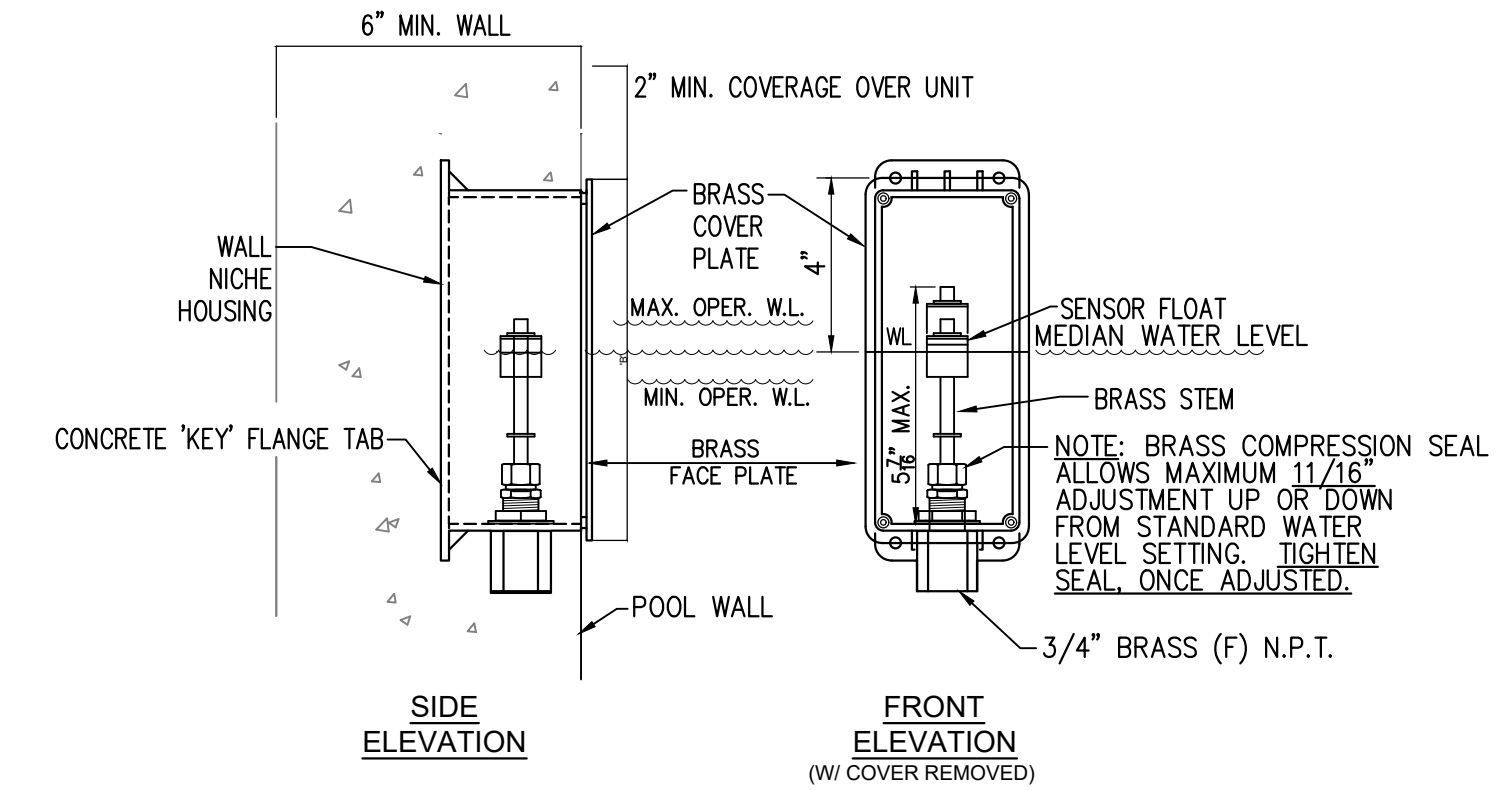
SIDEWALL OVERFLOW INSTALLATION DETAIL
NOT TO SCALE



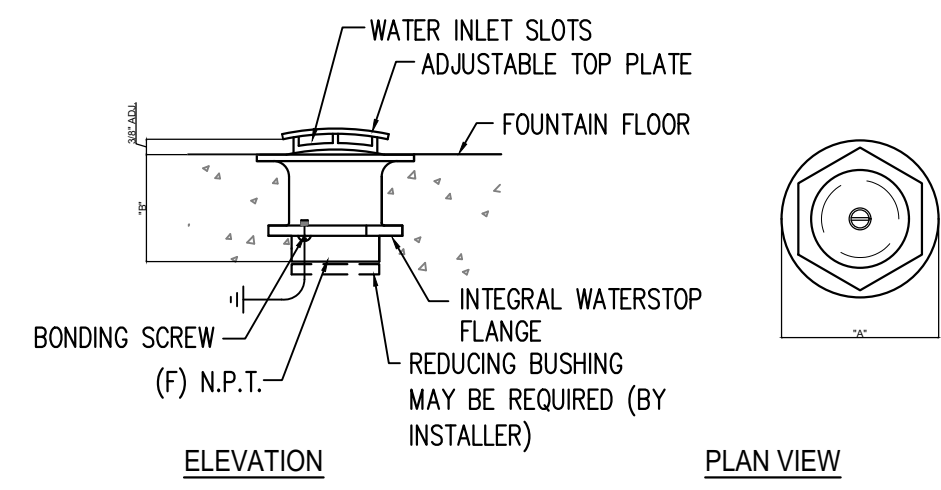
EYEBALL INLET FITTING INSTALLATION DETAIL
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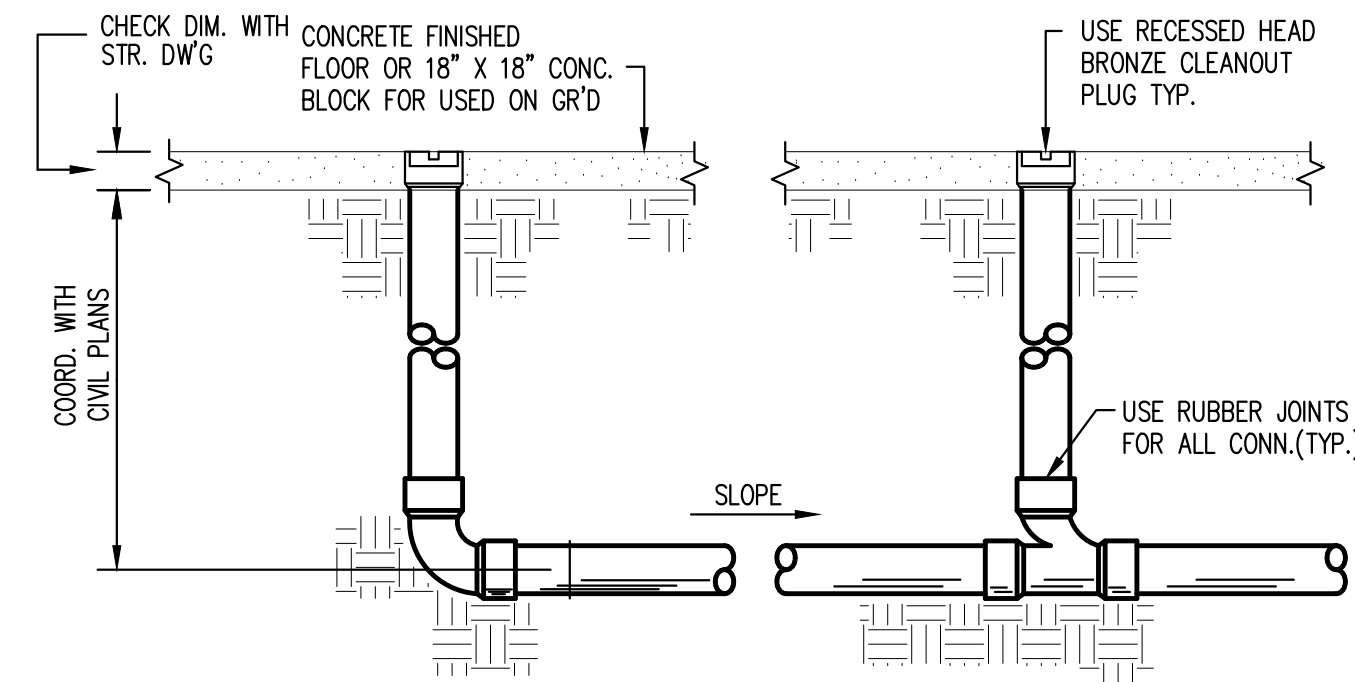
ANTI-VORTEX PLATE AND SUMP INSTALLATION DETAIL
NOT TO SCALE



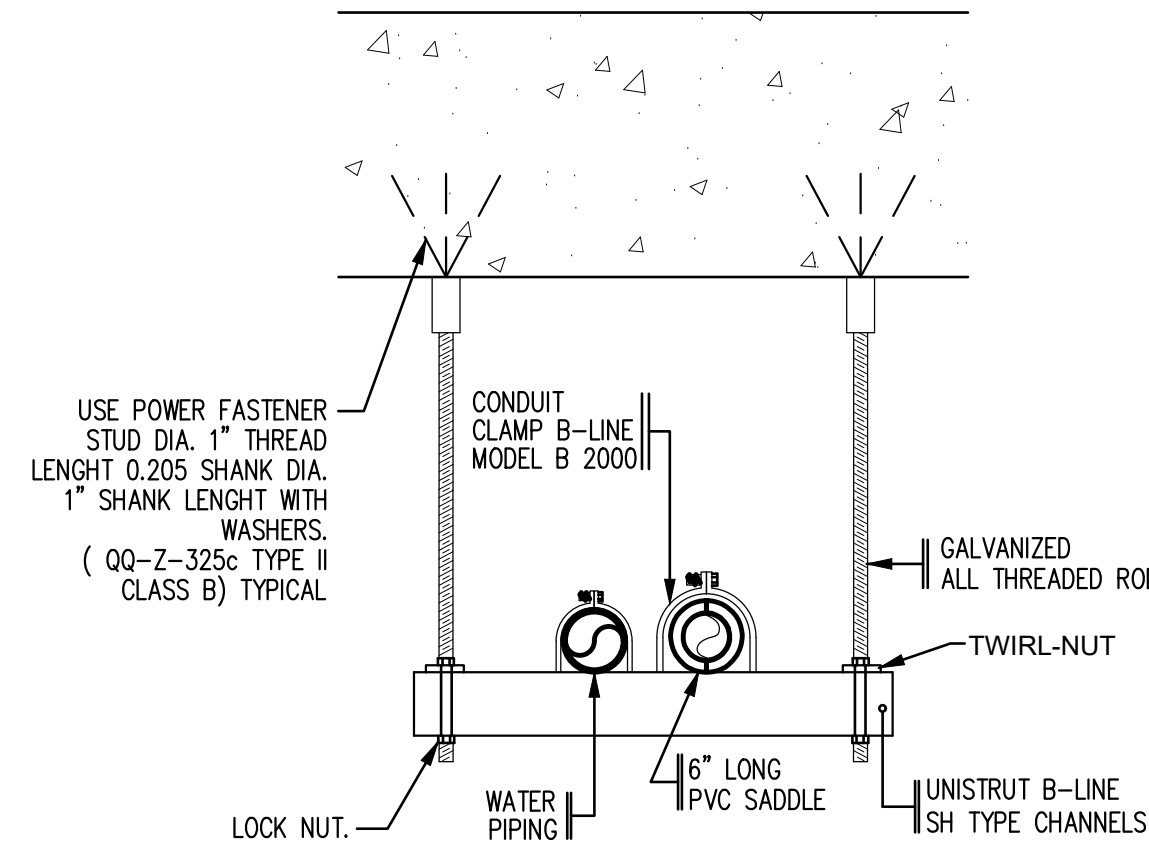
WALL MOUNTED, COMBINATION WATER MAKE-UP/LOW LEVEL CUTOFF CONTROL
NOT TO SCALE



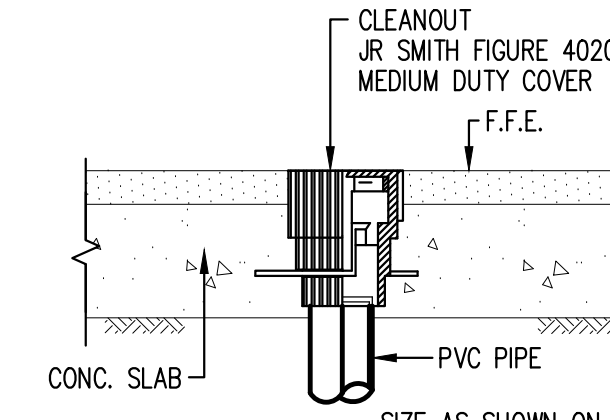
ADJUSTABLE FLOOR INLET FITTING INSTALLATION DETAIL
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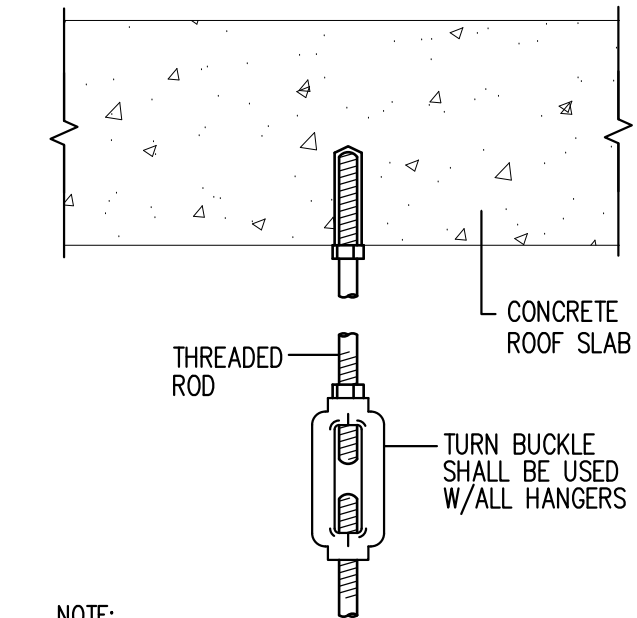
CLEANOUT INSTALLATION SERVICE CONNECTION DETAIL
NOT TO SCALE



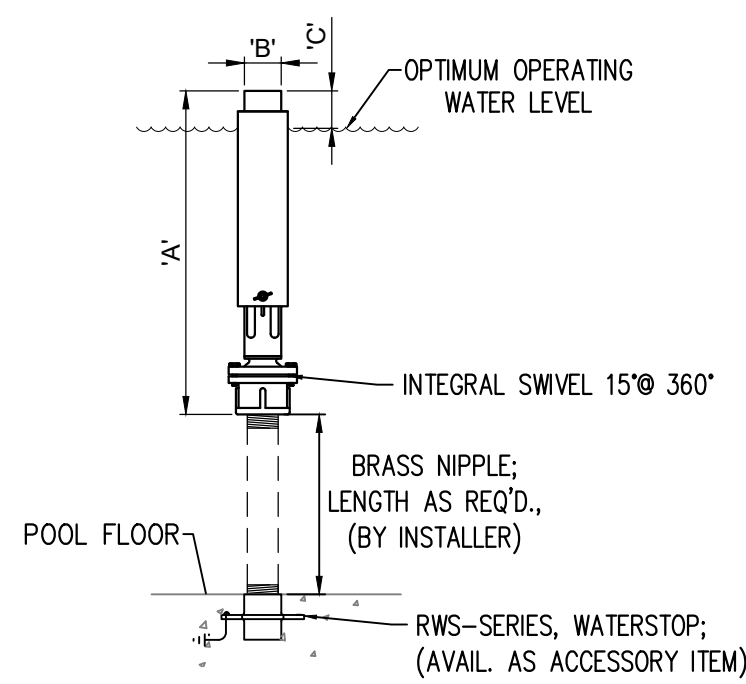
TYPICAL POTABLE WATER PIPING SUPPORT DETAIL
NOT TO SCALE



TYPICAL F.C.O. DETAIL
NOT TO SCALE



INDIVIDUAL PIPE HANGER UPPER ELEMENT DETAIL
NOT TO SCALE



FOAM NOZZLES INSTALLATION DETAIL
NOT TO SCALE

(T.D.-1) TRENCH DRAIN INSTALLATION DETAIL
NOT TO SCALE

FLOOR DRAIN SCHEDULE			
SYMBOL	DESCRIPTION	UNIT WASTE OR SOIL	REMARKS
T.D.-1	TRENCH DRAIN SYSTEM	4"	100% POLYPROPYLENE (L-3.28' SEGMENTS) POST INDUSTRIAL RECYCLED MATERIAL WITH U.V. INHIBITORS. CHANNEL INTERLOCKING DESIGN W/BUILT-IN SLOPE (0.6%) AND RADIUSSED BOTTOM MODEL 9930 ENVIRO-FLO II. TOTAL LENGTH AS REQUIRED. GRATE MODEL 9870-451-SSPA S.S. PERFORATED GRATE, ADA COMPLIANT FOR PEDESTRIAN, HEEL-PROOF, WHEEL CHAIR AND BICYCLE TRAFFIC.

FAN SCHEDULE

GENERAL DATA							ELECTRICAL DATA						
UNIT TAG	SERVICE	FAN TYPE	MANUFACTURER	MODEL NO.	CFM	HP	STATIC PRESSURE (N.WG)	VOLTZ	AMPS	PHASE	HERTZ	ENCLOSURE	REMARKS
E.F.-1	EXISTING MECHANICAL VAULT	CAST ALUM. PRESSURE BLOWER	TWN CITY	TPB-14R07A	75	1/3	0.5	115	1.14	1	60	TEFC	1, 2, 3, 4
E.F.-2	EXISTING MECHANICAL VAULT	CAST ALUM. PRESSURE BLOWER	TWN CITY	TPB-14R07A	75	1/3	0.5	115	1.14	1	60	TEFC	1, 2, 3, 4
E.F.-3	NEW MECHANICAL VAULT	CAST ALUM. PRESSURE BLOWER	TWN CITY	TPB-14R07A	75	1/3	0.5	115	1.14	1	60	TEFC	1, 2, 3, 4
E.F.-4	NEW MECHANICAL VAULT	CAST ALUM. PRESSURE BLOWER	TWN CITY	TPB-14R07A	75	1/3	0.5	115	1.14	1	60	TEFC	1, 2, 3, 4

REMARKS:
1. OSHA TYPE BELT GUARD 2. SHAFT & BEARING GUARD 3. MOUNT TCF MOTOR 4. VARIABLE SPEED V-BELT DRIVE, 1.2 SF

FOUNTAIN #1 & 2 WATER FEATURE PUMPS AND CONTROLS

A. GENERAL

The contractor shall furnish and install where shown in the plans a fountain system.

FOUNTAIN PUMP AND CONTROL

CIRCULAR CENTRAL NOZZLES FOUNTAIN

1. WATER FEATURE PUMPS

Pump shall be horizontal end-suction centrifugal, furnished with mechanical shaft seal and stainless-steel shaft.

PUMP SCHEDULE

PUMP	GPM	TOTAL HEAD FEET	H.P.
W.F.P-1 & 2	250	25	3

Published performance curves are to be furnished for evaluation and approval. The motor needs to be rated to not overload on any part of the curve. Pump shall be Berkeley Model ED, 3/60/208 volts, 3 h.p., 1800 rpm (distributed in Puerto Rico by Universal Equipment Sales & Service 787-724-2448) or approved equal.

2. CONTROL PANEL

The control shall consist of one Danfoss Aqua Drive model F202-P2K2-S2-E66-H2-X-G-X-X-X-SXXX-X-AX-BX-CX-X-XX-D1, 3 H.P., 1/60/208-230 Volts, NEMA 4X enclosure, graphical 6 lines LCD display (Pressure, Frequency, Set Point, KW Consumption, Amperage, etc.), real time clock with battery back-up, auto tuning, sleep mode, pipes protection using slow pipe fill mode after a power failure and drop of pressure on the building, no flow detection, 98% drive efficiency, motor tuning AMA, built-in dc line reactor for harmonics suppression.

VFD will operate on an internal timer program to activate fountain pump as required by the owner.

B. GUARANTEE

System shall be guaranteed not to produce objectionable noise, vibration when operating under specified conditions.

The complete system shall be guaranteed against defective material and workmanship for one year when installed and maintained in accordance with manufacturer's instruction and good stationary engineering practice.

C. MISCELLANEOUS

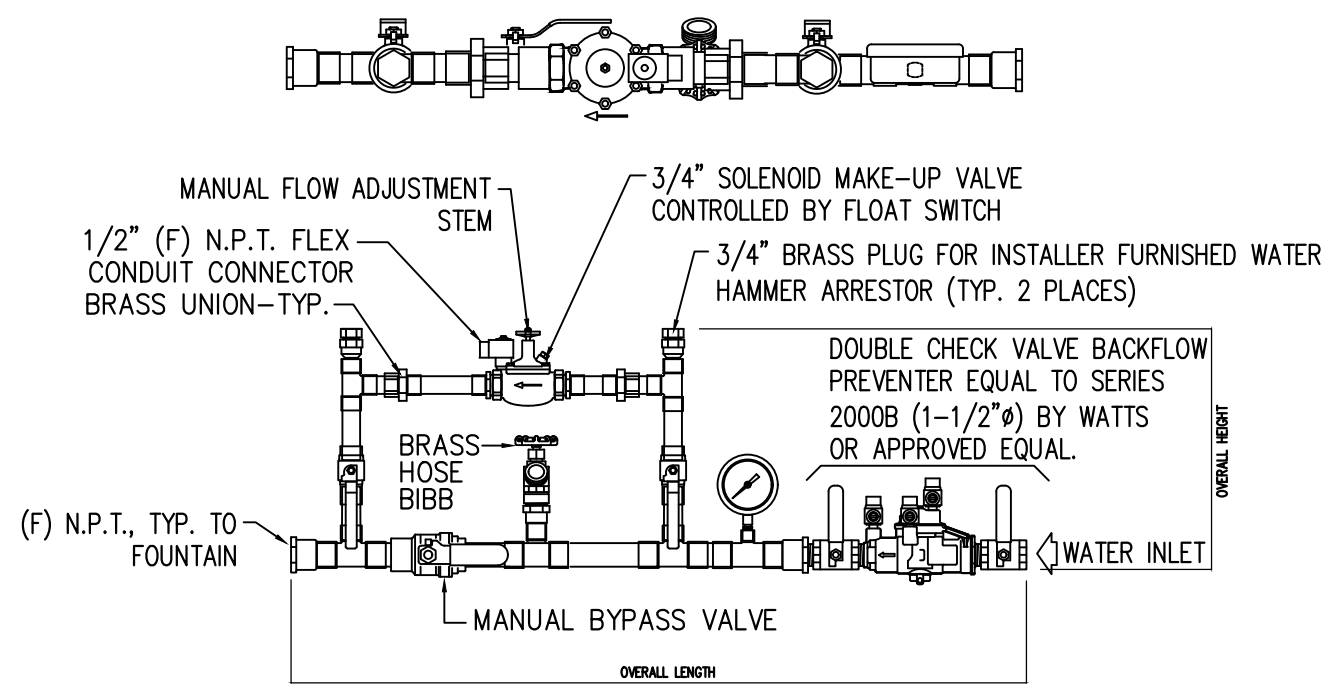
The services of a factory trained engineer shall be provided for final inspection and start-up for one day.

Supplier of the system shall stock spare parts and shall have had a maintenance service organization for not less than 20 years. Also shall answer a service call in less than 24 hours after required.

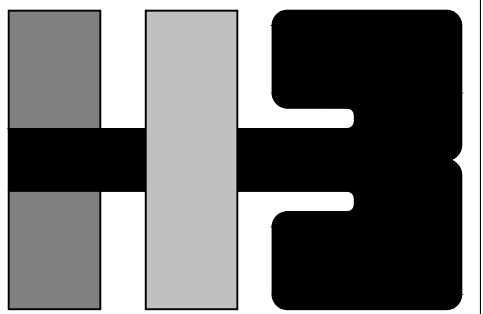
D. SUBMITTAL DATA

Submittal data for approval shall include the following:

- a. Pump performance curves
- b. Pump dimensional data
- c. Control panel dimensional data & wiring diagram



FILL MAINIFOL SYSTEM W/BACKFLOW PREVENTER
NOT TO SCALE



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MANAGER
DEPT. OF URBAN DESIGN AND PROJECT DEVELOPMENT, MASJ.
OWNER
AUTONOMOUS MUNICIPALITY OF SAN JUAN

PROJECT
IMPROVEMENTS OF "PLAZA DE LA CONVALESCENCIA" AND "LA PLAZA DEL PILAR"

DRAWING NAME

FOUNTAINS ACCESSORIES DETAILS AND WATER FEATURE PUMP/CONTROLS SPECIFICATIONS AND EXHAUST FANS SCHEDULES

COMPUTER PLOT
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NUMBER	TOTAL
56	62

DRAWING NUMBER

P-500

ISSUE FOR REVIEW AND COMMENTS 90%, 2024.02.26

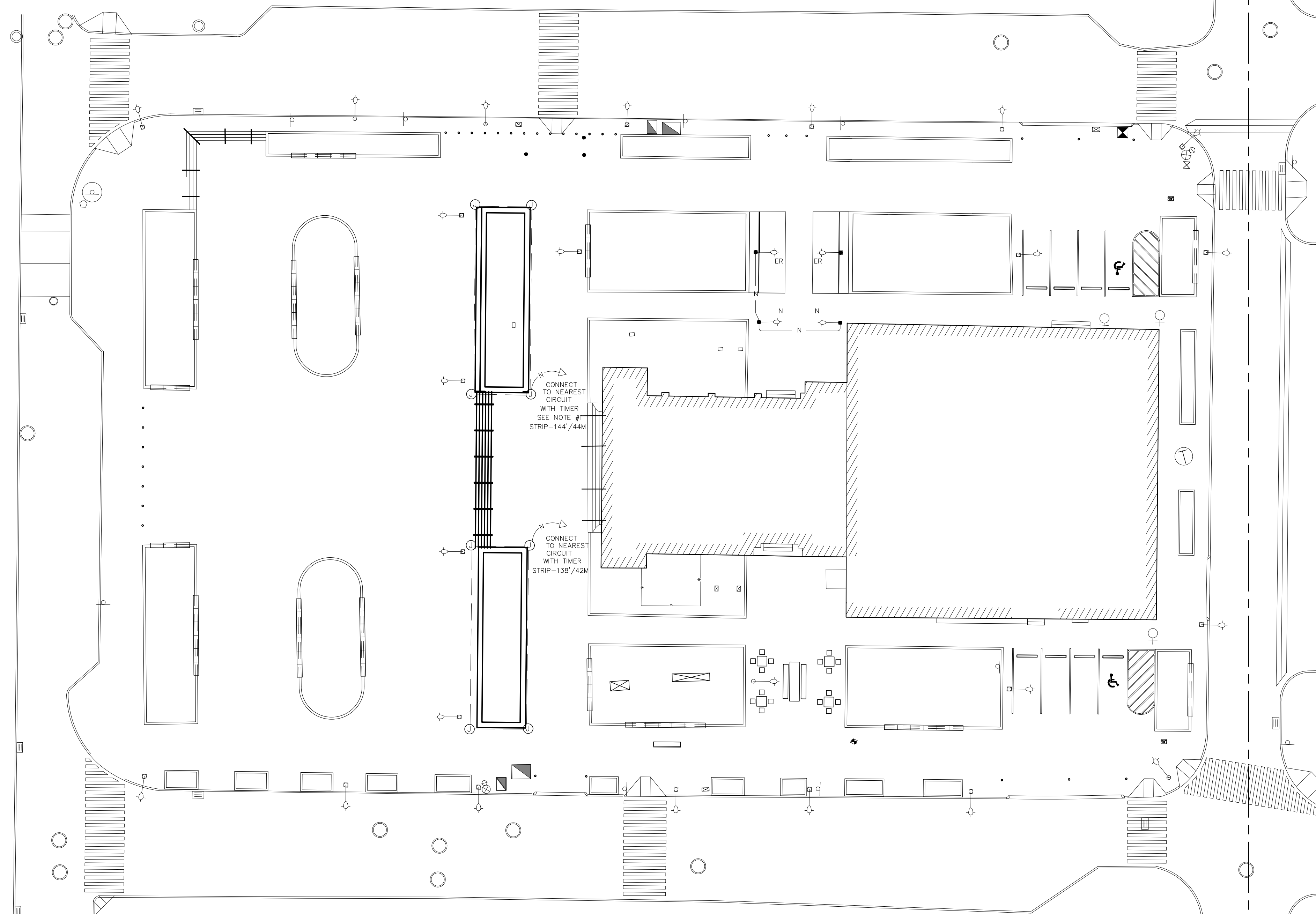


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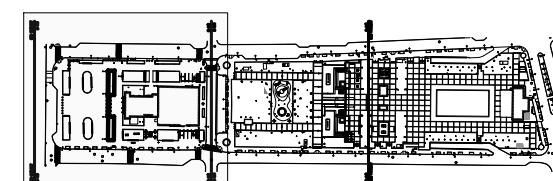
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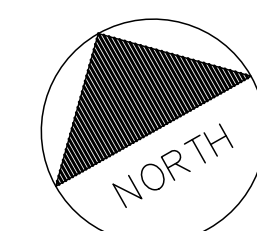


DEL PILAR ELECTRICAL SITE PLAN

SCALE: 1: 250



KEY MAP



E-1.0

E-2.0

E-1.0

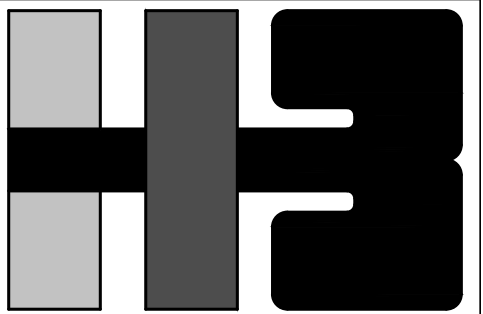
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LEGEND:

- EXISTING ORNAMENTAL POLES TO REMAIN
- EXISTING ORNAMENTAL POLES TO BE RELOCATE.
- NEW LOCATION OF EXISTING ORNAMENTAL POLES.
- NEW FEEDER FROM EXISTING POLES TO THE NEW LOCATION CONSISTING OF 3#10 THWN IN 3/4" PVC SCHED 40 @ 36" BELOW FINISH FLOOR
- LP-K14-6FT CHANNEL WITH LED LIGHT STRIP 2835 SEE MORE DETAILS IN E-4.0

VERY IMPORTANT NOTES:

1. THE CONTRACTOR SHALL VERIFY THAT THE ADDED LOAD DOES NOT OVERLOAD THE EXISTING CIRCUITS AND THE TOTAL LOAD OF PANEL.
2. ALL NEW LIGHTS SHALL BE LED TO REDUCE POWER LOAD.



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OF SAN JUAN

PROJECT

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DEL PILAR
ELECTRICAL SITE PLAN

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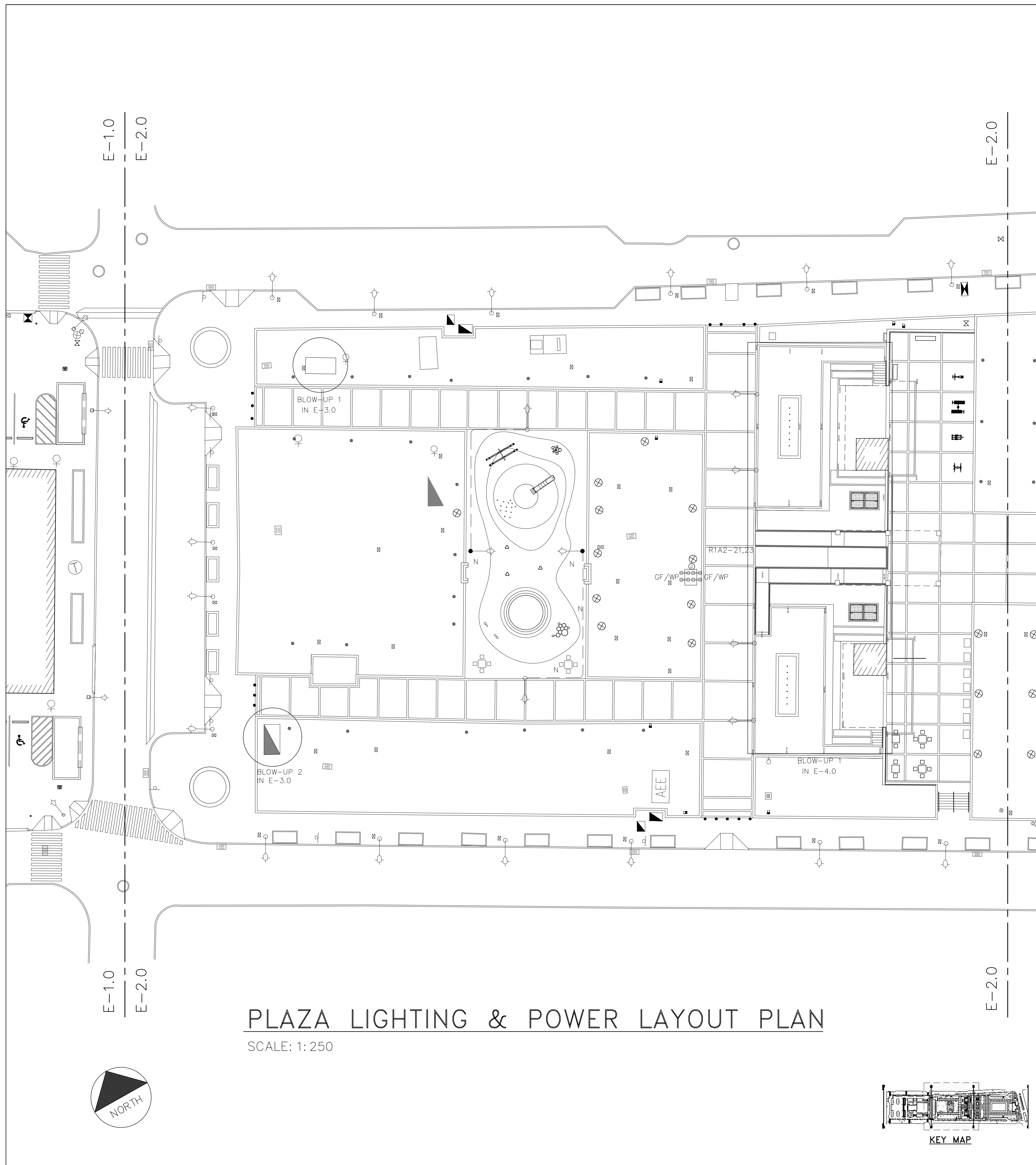
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MPR I.H.

NUMBER	TOTAL
57	62

DRAWING NUMBER
E-1.0

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PLAZA LIGHTING & POWER LAYOUT PLAN

SCALE: 1: 250

LEGEND:

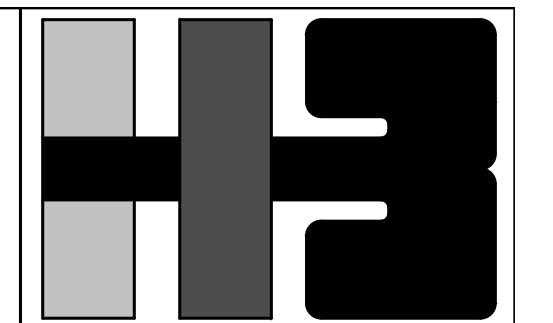
- EXISTING ORNAMENTAL POLES TO REMAIN
- EXISTING ORNAMENTAL POLES TO BE REPLACE BY A NEW ONE. SEE PHOTO 1
- NEW ORNAMENTAL POLES SAME AS EXISTING. SEE PHOTO 2.
- EXISTING WALL LAMPS. CONTRACTOR SHALL REPLACE THE BULBS AND RE-WIRE THE FEEDERS WITH THE SAME GAGE AS EXISTING
- NEW FEEDER FROM EXISTING POLES TO THE NEW LOCATION CONSISTING OF 3#10 THWN IN 3/4" PVC SCHED 40 @ 36" BELOW FINISH FLOOR
- NEW JUNCTION BOX WITH 4 RECEPTACLES FOR EACH FACE AL RECEPTACLES SHALL BE GF/WP 4 RECEPTACLES PER CIRCUIT IN A NEW 20A-1P 120V BREAKER



PHOTO 1



PHOTO 2



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PROJECT

DRAWING NAME
PLAZA LIGHTING & POWER LAYOUT PLAN

COMPUTER PLOT
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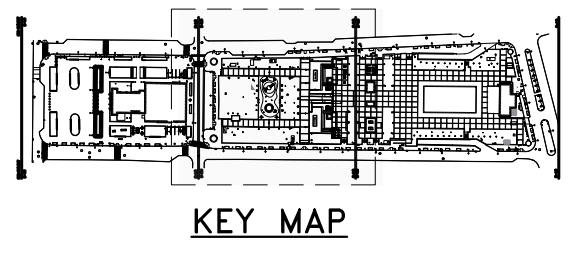
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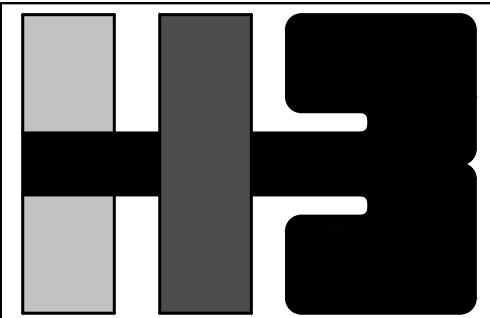
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NUMBER	TOTAL
58	62

DRAWING NUMBER
E-2.0

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OF SAN JUAN

PROJECT

DRAWING NAME

BLOW-UPS & PANELBOARD
SCHEDULES

COMPUTER PLOT

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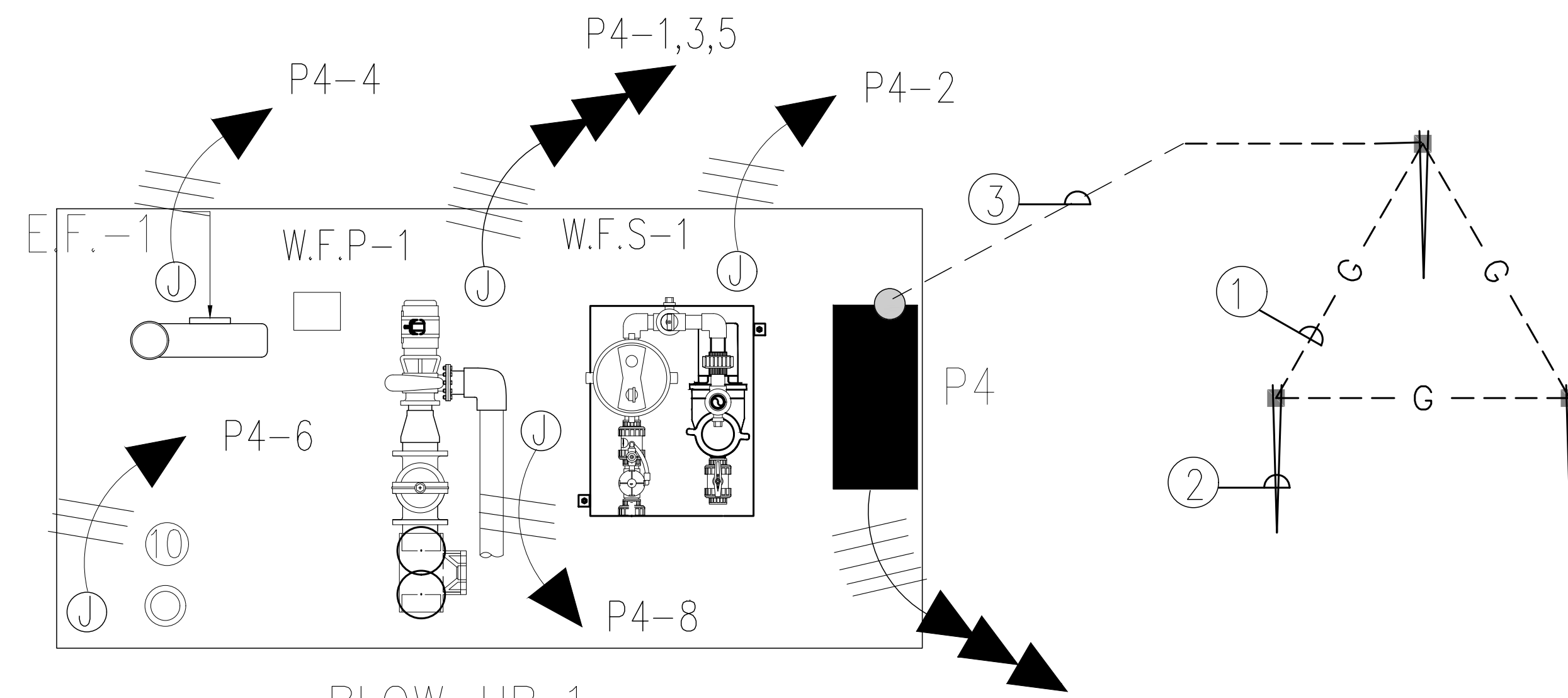
NUMBER	TOTAL
59	62

DRAWING NUMBER

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GROUNDING LEGEND

- ① DELTA GROUNDING MAT GROUND CONDUCTOR CONSISTING OF 1/0 AWG SOFT DRWAN BARE COPPER CONNECTED WITH EXORTHERMIC CONNECTION EQUAL TO CADWELL INSTALLED AT 12" BELOW FINISH GRADE.
- ② TYPICAL COPPER CLAD GROUND ROD, 3/4" X 8'-0"
- ③ NEW PANEL SIDE CONNECTION TO GROUND MAT CONSISTING OF 1#4 IN 1" PVC CONDUIT



BLOW-UP 1

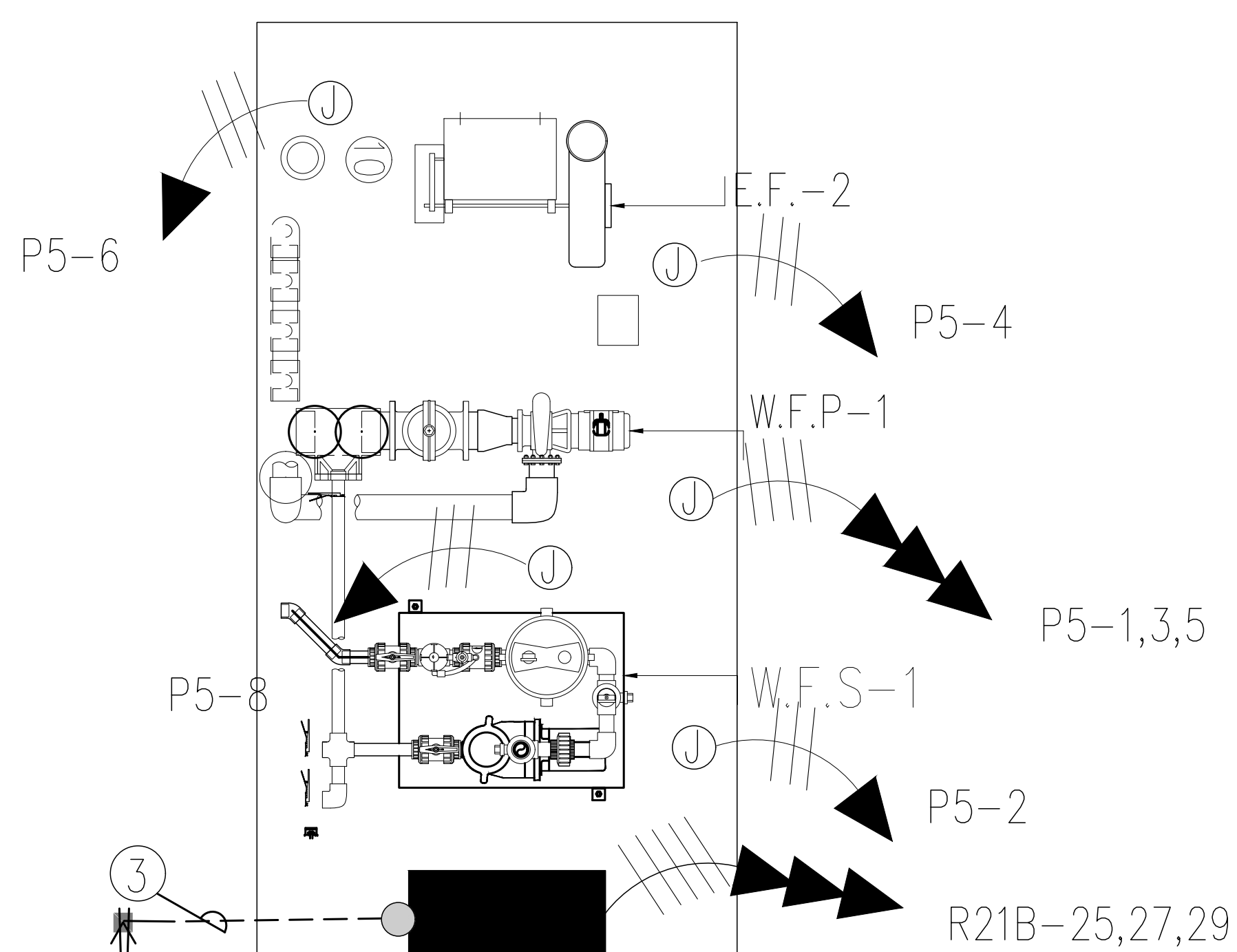
R21B-19,21,23
RE-WIRE WITH 4#4 & 1 #8 IN EXISTING CONDUIT
CONNECT TO EXISTING 50/3 A BREAKER

ELECTRICAL PANELS SCHEDULE - P4

EQUIPMENT DESCRIPTION	TRIP AMPS	POLE	A	B	C	POLE	TRIP AMPS	EQUIPMENT DESCRIPTION
WFI	20	3	1	2	3	1	20	WSF1
			4	5	6	1	20	EF-1
			7	8		1	20	SUMP PUMP
SPARE	30	1				1	20	LEVEL SENSOR

INDICATES THIS CIRCUIT TO RECEIVE HANDLE LOCK-ON CLIP. SQUARE-D TYPE NOOD OR SIMILAR 14K AIC NEMA 4X, GF

PANEL P4 3 PHASE 4 WIRE 120/208 VOLTS GROUND BUS - FLUSH MTD. 40 A MAIN BREAKER



BLOW-UP 2

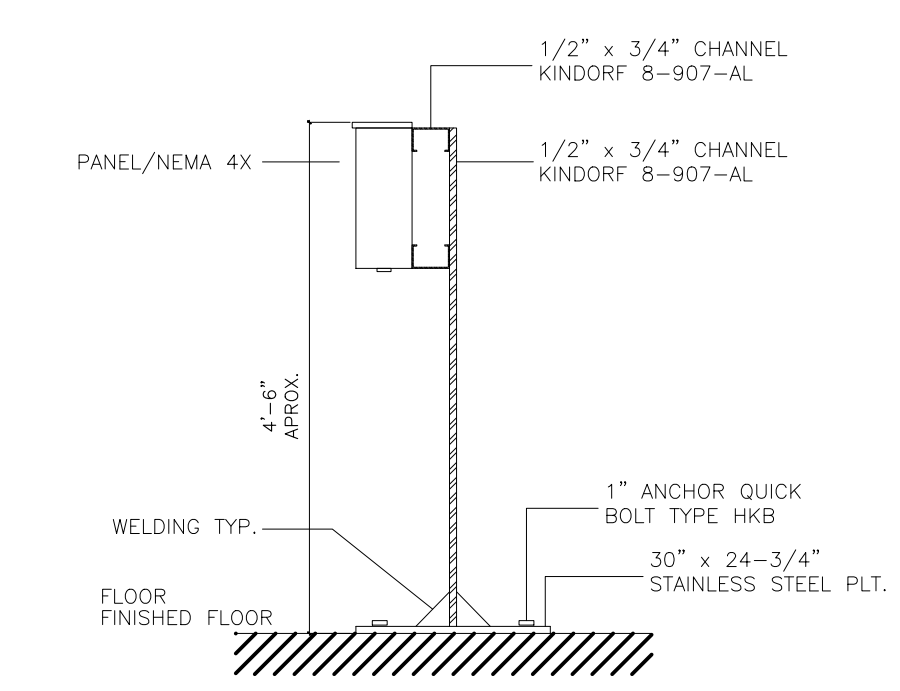
R21B-25,27,29
RE-WIRE WITH 4#4 & 1 #8 IN EXISTING CONDUIT
CONNECT TO EXISTING 50/3 A BREAKER

ELECTRICAL PANELS SCHEDULE - P5

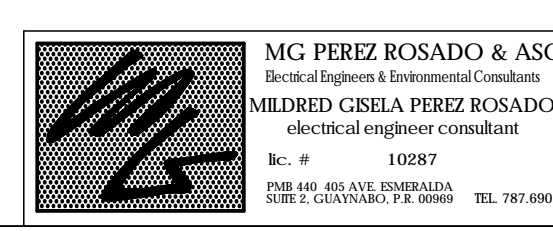
EQUIPMENT DESCRIPTION	TRIP AMPS	POLE	A	B	C	POLE	TRIP AMPS	EQUIPMENT DESCRIPTION
WFI	20	3	1	2	3	1	20	WSF1
			4	5	6	1	20	EF-2
			7	8		1	20	SUMP PUMP
SPARE	30	1				1	20	LEVEL SENSOR

INDICATES THIS CIRCUIT TO RECEIVE HANDLE LOCK-ON CLIP. SQUARE-D TYPE NOOD OR SIMILAR 14K AIC NEMA 4X, GF

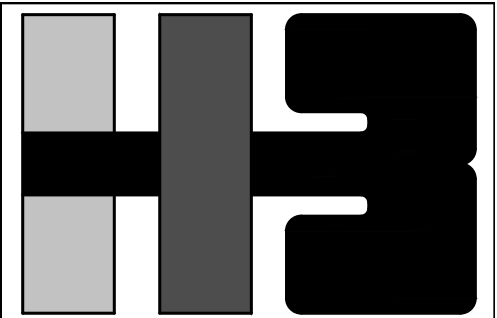
PANEL P5 3 PHASE 4 WIRE 120/208 VOLTS GROUND BUS - FLUSH MTD. 40 A MAIN BREAKER



PANEL MOUNTING DETAIL
N.T.S.



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OF SAN JUAN

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DRAWING NAME

SPLASH PARK
BLOW-UP

COMPUTER PLOT

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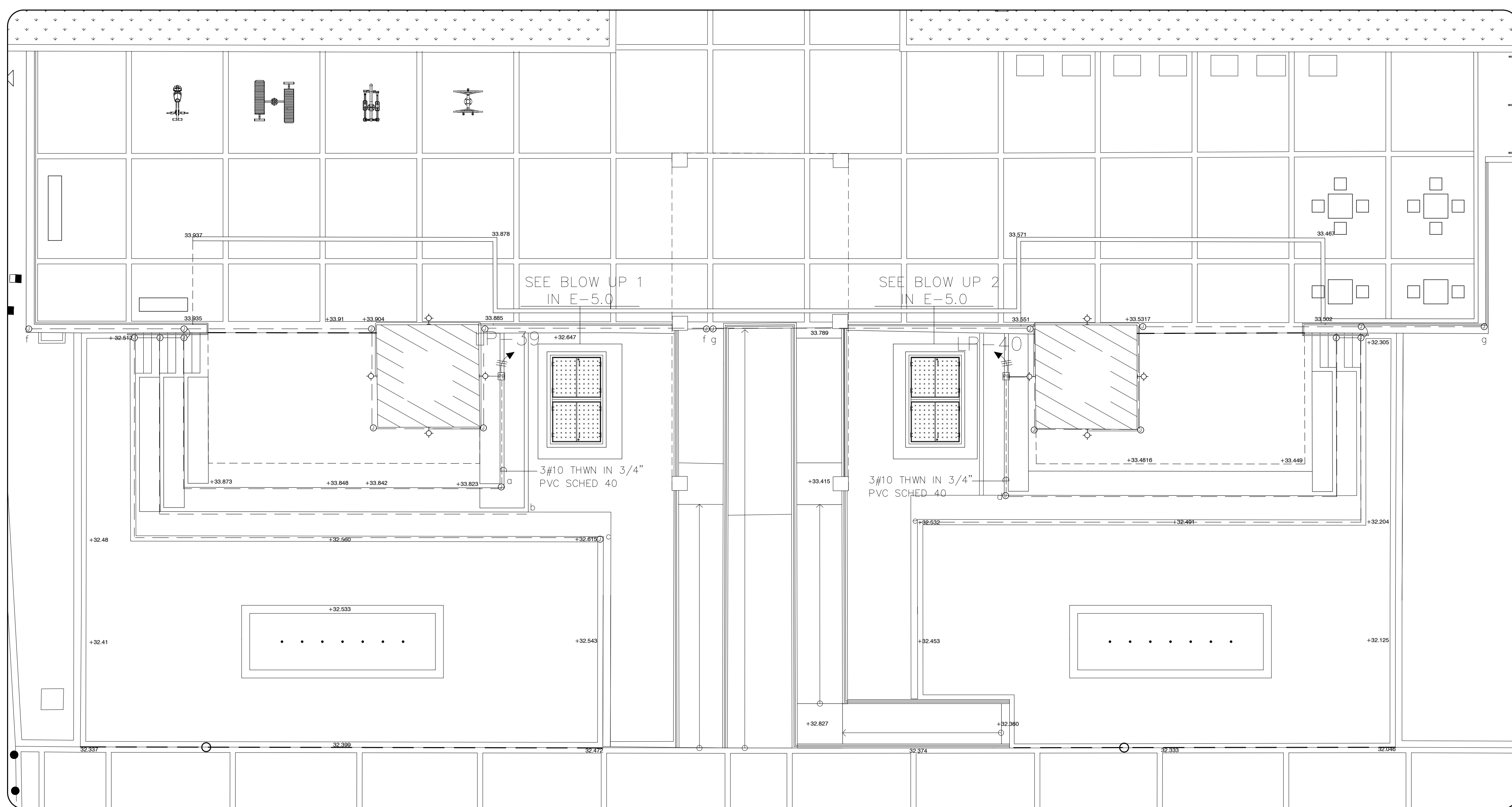
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NUMBER	TOTAL
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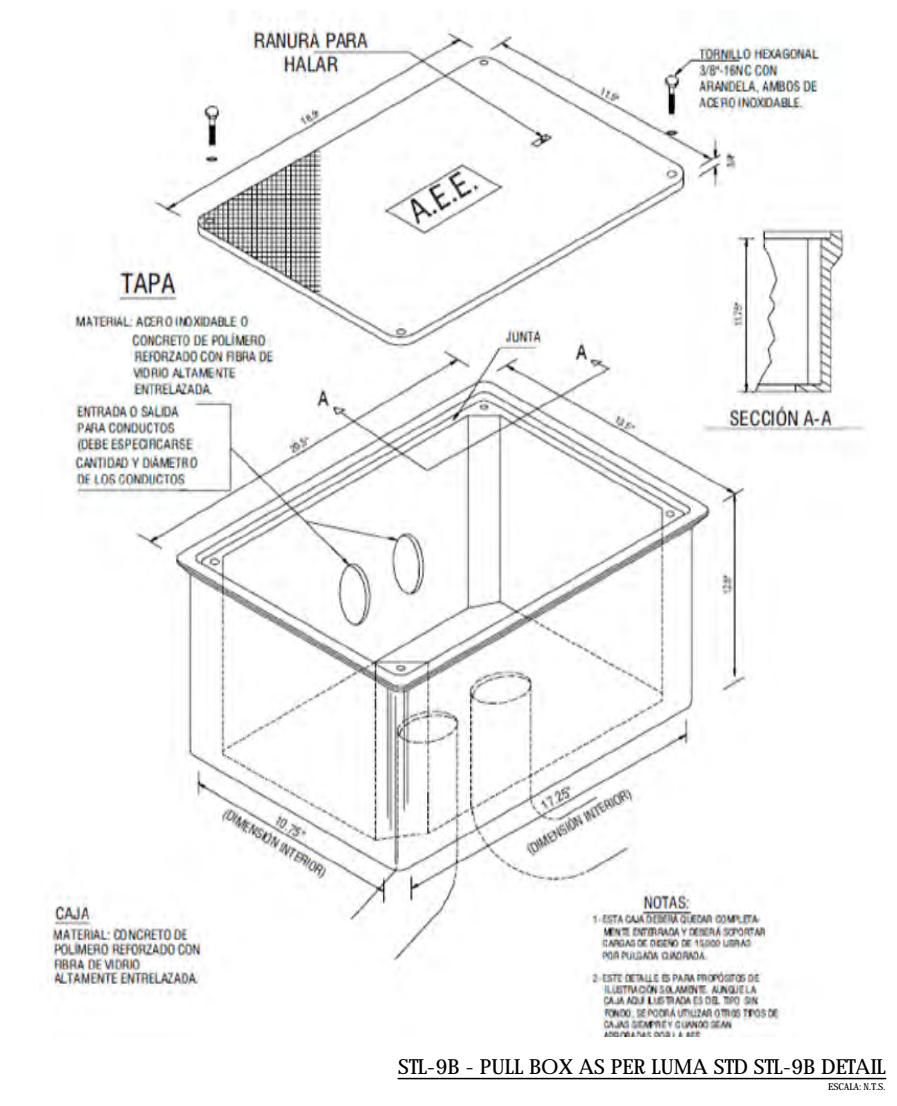
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SPLASH PARK AREA BLOW-UP
SCALE: 1/8" = 1'-0"

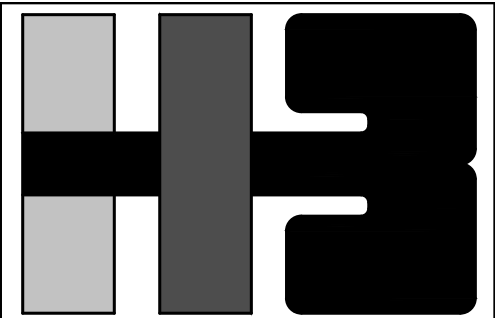
SITE LIGHTING FIXTURE SCHEDULE							
DESIGNATION	SYM.	QTY.	MANUFACTURER	CATALOG	LAMPS		TYPE
					VOLTS	WATTS	
LA			KIM LIGHTING	CFL1WF 24L4KUV-BL JRB3 BLJW	120	24	CONNECT TO EXISTING LUTRON SWITCH PANEL
LB			LED OUTLET	LP-K14-6FT CHANNEL WITH LED LIGHT STRIP 2835 SEE NOTE 2	120	8.3W/METER SEE NOTE 1	CONNECT TO EXISTING LUTRON SWITCH PANEL

- NOTES:
- STRIP LENGTH
a-60 FEET/18.3 MT
b-66 FEET/20.1 MT
c-90 FEET/27.4 MT
d-60 FEET/18.3 MT
e-78 FEET/23.8 MT
f-126 FEET/38.4 MT
g-138 FEET/42 MT
*CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY FINAL MEASUREMENTS.
 - SEE INSTALLATION DETAILS IN ARCHITECTURAL AND STRUCTURAL DRAWINGS
 - CONTRACTOR SHALL VISIT THE SITE AND IDENTIFY THE LOCATION OF PANEL LP. CONTRACTOR SHALL ALSO CONNECT THIS CIRCUITS TO EXISTING LUTRON SWITCH PANEL.



STL-08 - PULL BOX AS PER LUMA STD STL-08 DETAIL

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CONSULTANT'S SEAL

YO, MILDRED G. PEREZ ROSADO, INGENIERA LICENCIADA #10287, CERTIFICO QUE SOY EL PROFESIONAL QUE DISEÑO O ESTOS PLANOS Y LAS ESPECIFICACIONES COMPLEMENTARIAS TAMBIEN, CERTIFICO QUE ENTENDI QUE DICHS PLANOS Y ESPECIFICACIONES CUMPLEN CON LAS DISPOSICIONES APPLICABLES DEL REGLAMENTO CONJUNTO Y LAS DISPOSICIONES APPLICABLES DE LOS REGLAMENTOS Y CODIGOS DE CONSTRUCCION VIGENTES DE LAS AGENCIAS, JUNTAS REGULADORAS O CORPORACIONES PUBLICAS CON JURISDICCION Y ESTAN EN CONFORMIDAD CON CODIGOS DE CONSTRUCCION DE PUERTO RICO 2018 VIGENTE AL 15 DE NOVIEMBRE DE 2018. CERTIFICO, ADEMÁS, QUE EN LA PREPARACION DE ESTOS PLANOS Y ESPECIFICACIONES SE HA CUMPLIDO CABALMENTE CON LO DISPUESTO EN LA LEY NÚM. 14 DE 8 DE ENERO DE 2004, SEGÚN ENMENDADA, CONOCIDA COMO LA "LEY PARA LA INVERSIÓN POR LA INDUSTRIA PUERTORRIQUEÑA" Y CON LA LEY NÚM. 315 DE 15 DE MAYO DE 1938, SEGÚN ENMENDADA, LEY NÚM. 96 DE 6 DE JULIO DE 1978, SEGÚN ENMENDADA, SEGÚN APOQUEL RECONOCIDO QUE CUALQUIER DECLARACIÓN FALSA O FALSIFICACIÓN DE LOS HECHOS QUE SE HAYA PRODUCIDO POR DESCONOCIMIENTO O POR NEGLIGENCIA YA SEA POR MI, MIS AGENTES O EMPLEADOS, O POR OTRAS PERSONAS CON MI CONOCIMIENTO, ME HACER RESPONSABLE DE CUALQUIER ACCIÓN JUDICIAL Y DISCIPLINARIA POR LA OSPE.

CLIENT
MANAGER
DEPT. OF URBAN DESIGN AND
PROJECT DEVELOPMENT, MASJ.

OWNER
AUTONOMOUS MUNICIPALITY
OF SAN JUAN

PROJECT

DRAWING NAME

SPLASH PUMPS
BLOW UPS

COMPUTER PLOT
THIS DRAWING WAS DRAFTED ON A CAD SYSTEM ALL CHANGES OR CORRECTIONS MUST BE STRICTLY EXECUTED ON CAD. ANY QUESTIONS PLEASE CONTACT HERNANDEZ-BAUZA

NO. DATE REVISION BY APPROVED

NO.	DATE	REVISION	BY	APPROVED

PROJECT

DRAWING BY/CHECKED BY

MPR I.H.

NUMBER TOTAL

61 62

DRAWING NUMBER

E-5.0

ELECTRICAL CONTROL PANEL(CP1)						
EQUIPMENT DESCRIPTION	TRIP AMPS	POLE	A	B	C	EQUIPMENT DESCRIPTION
SUCTION PUMP	20	3	1	2	3	DANFOSS AQUA
SPARE	30	1	4	5	6	SUMP PUMP
CONTROL PANEL 3 PHASE 4 WIRE 120/208 VOLTS GROUND BUS - FLUSH MTD. 40 A						
14K AIC NEMA 4X, GF						

VERY IMPORTANTE NOTE:

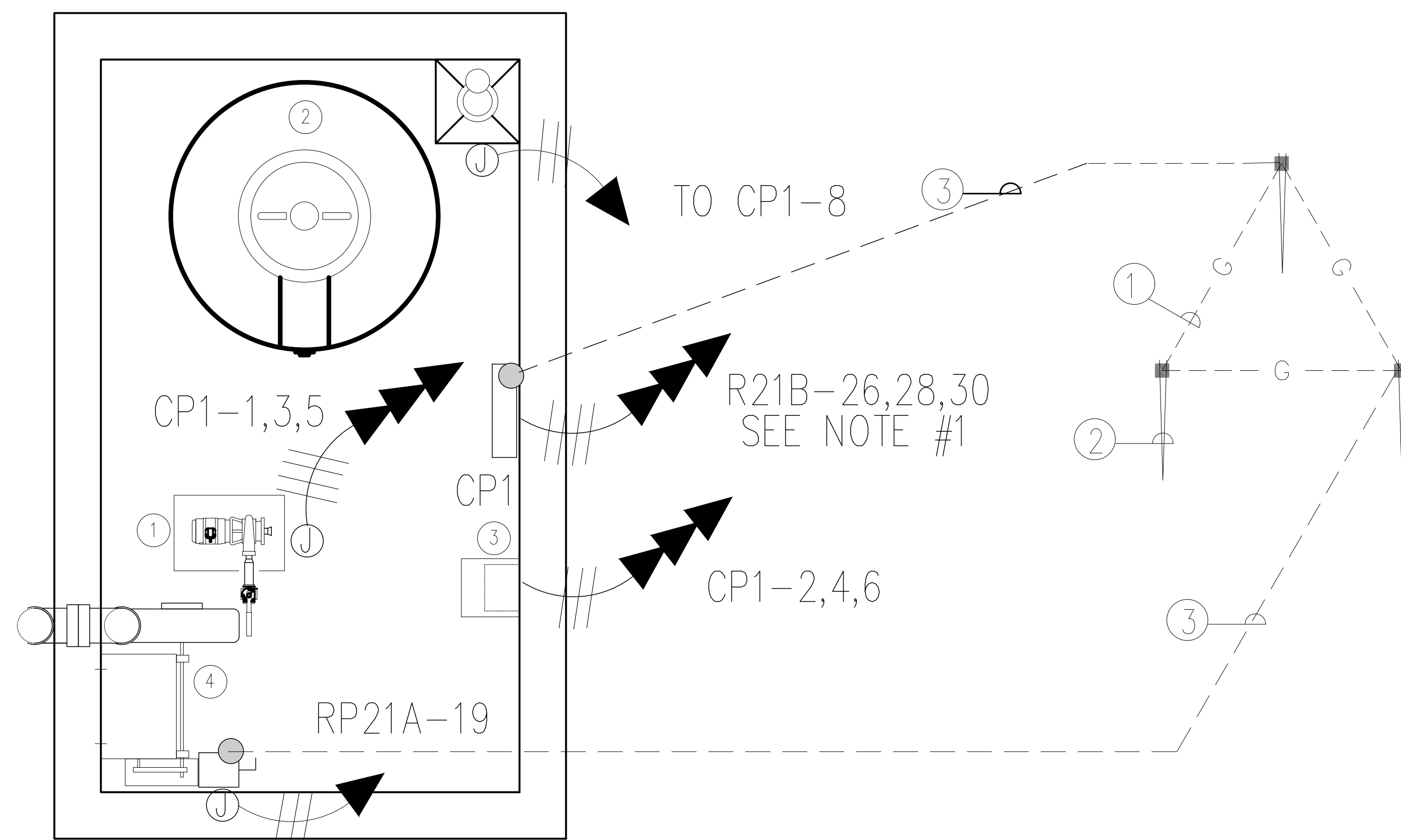
- CONTRACTOR SHALL RE-USE THE EXISTING 30A/3P BREAKER IN PANEL R21B IF ARE IN GOOD SHAPE. THIS BREAKER SHALL BE DISCONNECTED FROM FOUNTAINS LIGHTING #4 & #5, BECAUSE THESE FOUNTAINS WILL BE DEMOLISHED. SEE MECHANICAL DRAWING FOR DETAILS.

- SEE NOTE 12 IN E-7.0

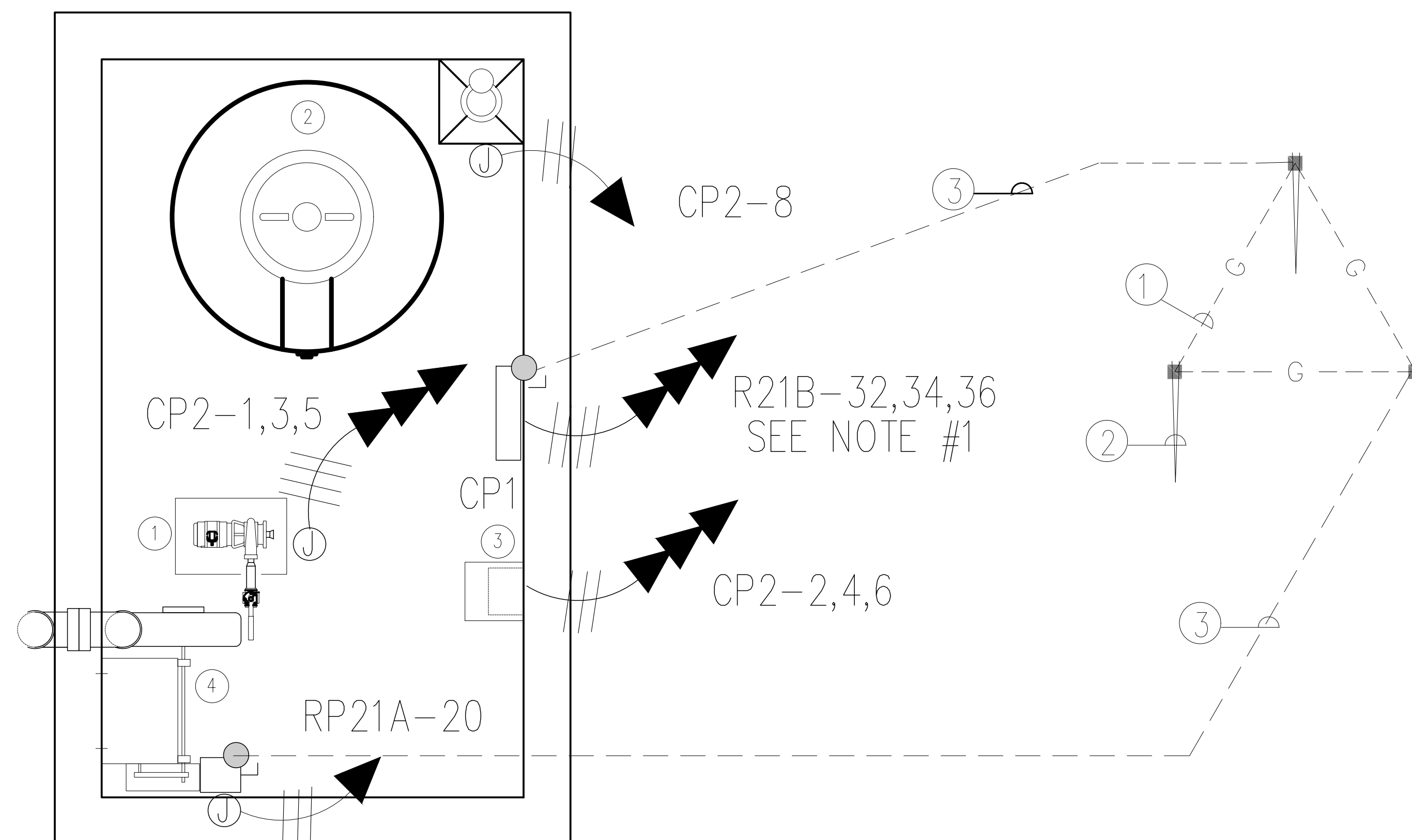
ELECTRICAL CONTROL PANEL(CP2)						
EQUIPMENT DESCRIPTION	TRIP AMPS	POLE	A	B	C	EQUIPMENT DESCRIPTION
SUCTION PUMP	20	3	1	2	3	DANFOSS AQUA
SPARE	30	1	4	5	6	SUMP PUMP
CONTROL PANEL 3 PHASE 4 WIRE 120/208 VOLTS GROUND BUS - FLUSH MTD. 40 A						
14K AIC NEMA 4X, GF						

GROUNDING LEGEND

- DELTA GROUNDING MAT GROUND CONDUCTOR CONSISTING OF 1/0 AWG SOFT DRWAN BARE COPPER CONNECTED WITH EXOTHERMIC CONNECTION EQUAL TO CADWELL INSTALLED AT 12" BELOW FINISH GRADE.
- TYPICAL COPPER CLAD GROUND ROD, 3/4" X 8'-0"
- NEW CONTROL PANEL & DISCONNECT SIDE CONNECTION TO GROUND MAT CONSISTING OF 1#4 IN 1" PVC CONDUIT



BLOW-UP 1



BLOW-UP 2

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EXCAVATION AND TRENCH NOTES:

1. APPLICABLE PERMITS

BEFORE STARTING ANY OPERATION IN THE JOB SITE, THE CONTRACTOR SHALL OBTAIN THE PERMITS DOCUMENTATION FROM CONCERNED GOVERNMENTAL AGENCIES. THE CONTRACTOR WILL ALSO BE RESPONSIBLE OF COORDINATING THE NECESSARY JOINT OPERATION, WITH OTHER PUBLIC AND PRIVATE COMPANIES SUCH AS, LUMA., AQUEDUCT AND SEWER, AUTHORITY, PRTC, CABLE T.V., GAS COMPANY, ETC.... WHICH CAN BE AFFECTED WITH THE PROPOSED WORK.

2. ALL PARTIES ASSOCIATED WITH EXCAVATIONS FOR THE CONDUIT AND MANHOLE SYSTEM SHALL FOLLOW WELL-ESTABLISHED SAFETY RULES AND REGULATIONS TO SAFEGUARD THE PUBLIC AND WORKMEN.

3. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING, WARNING SIGNS, LIGHTS, NO PARKING SIGNS, BARRICADES, AND REMOVAL OF EXCESS WATER AND EXCAVATED MATERIAL. FLAGMEN AND GUARDS SHALL BE PROVIDED WHERE REQUIRED TO MAINTAIN SAFE CONDITION FOR THE WORKMEN AND THE PUBLIC.

4. EXCAVATION SHALL BE CLOSED AND/OR BARRICADE FOR PUBLIC PROTECTION PRIOR TO LEAVING THE JOB SITE AT NIGHT WITH WARNING LIGHTS AND GUARDS.

5. NOT MORE THAN 200 FEET OF TRENCH IS TO BE OPEN AT ONE TIME (OR AS SPECIFIED BY THE "CENTRO DE EXCAVACIONES" OR THE DEPARTMENT OF PUBLIC WORKS OR THE MUNICIPAL AUTHORITY.)

6. THE CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR DAMAGES CAUSED BY HIS OPERATION TO STRUCTURES AND SUB-STRUCTURES, TELEPHONE PLANT, BUILDING FOOTINGS, ETC., ON PUBLIC OR PRIVATE PROPERTY. IF THE ORNAMENTAL GRASS, PLANTS OR PRODUCE PLANTS SUFFER ANY DAMAGE THE CONTRACTOR HAS TO REPLACE THEM AT HIS OWN COST.

7. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE RESIDENT ENGINEER IF OBSTRUCTIONS OR OTHER CONDITIONS ARE A COUNTERED IN THE EXCAVATION WHICH COULD AFFECT THE SIZE OR SHAPE OF THE MANHOLE OR SPICING BOX FROM THAT SHOWN IN THE DETAILED PLANS OR WHICH WOULD HINDER THE PROPER INSTALLATION OF CABLES. A WRITTEN PERMISSION FROM THE UTILITY COMPANY AND FROM THE DESIGNER ENGINEERING OFFICE IS REQUIRED BEFORE DEVIATIONS FROM THE DETAILED PLANS ARE PERMITTED.

8. ALL MANHOLE CONSTRUCTION MUST BE SUPERVISED AND/OR UNDER THE DIRECTION OF A REGISTERED CIVIL ENGINEER, ACTIVE MEMBER OF THE C.I.A.P.R.

9. CONTRACTOR'S BID SHALL INCLUDE ALL COST FOR DEWATERING TRENCH AND SPICING BOX EXCAVATIONS, AS NO ADDITIONAL PREMIUM WILL BE PAID FOR THIS ITEM.

10. IN PAVED AREAS, THE SURFACE SHOULD BE CAREFULLY CUT MECHANICALLY TO PREVENT UNNECESSARY WIDTHS AT THE TOP OF THE TRENCH AND THIS REDUCE THE AMOUNT OF SURFACE THAT MUST BE REPAIRED.

11. THE TRENCH ROUTE AND MANHOLE LOCATION WILL BE CLEARLY MARKED BY THE ENGINEER BEFORE EXCAVATION IS STARTED, WHEN CONSIDERED NECESSARY.

12. IN PREPARING THE TRENCH BED FOR THE CONDUIT INSTALLATION, LEVEL THE TRENCH BED TO FORM AN EVEN BASE. IN SOME CASES IT MAY BE NECESSARY TO PROVIDE SAND OR FINE EARTH TO ESTABLISH AN EVEN BASE. IF, UPON EXCAVATION, THE TRENCH BED APPEARS TO BE INCAPABLE OF FIRMLY SUPPORTING THE CONDUIT, THE ENGINEER WILL DETERMINE WHETHER A CONCRETE BASE IS REQUIRED.

13. THE BASE SPACER SHOULD BE SPACED ALONG THE TRENCH BOTTOM AT NOT MORE THAN 5 FEET ON CENTER. SET THE FIRST TIER OF DUCTS INTO THE SPACER GROOVES, THEN A TIER OF INTERMEDIATE SPACERS, THEN THE SECOND TIER OF DUCTS, ETC. AND FINALLY THE SPACER COVER THE TOP TIER, MARKING CERTAIN THAT EACH TIER OF SPACERS IS SECURELY LOCKED TO THE NEXT LOWER TIER. IF THE FORMATION WILL EXCEED 10 TIERS, PLACE APPROXIMATELY ONE HALF THE TOTAL NUMBER OF TIERS BUT NO MORE THAN 1 SO THAT THE CONCRETE CAN BE POURED IN SUCCESSIVE STAGES.

14. BACK FILLING NEXT TO THE CONDUIT SHALL BE FREE FROM STONES OR OTHER MATERIAL WHICH MIGHT INJURE THE CONDUIT OR CONDUIT JOINTS. LARGE BOULDERS SHALL NOT BE INCLUDED IN ANY PART OF THE BACKFILL. IN TAMPING THE BACKFILL AT THE SIDES OF THE CONDUIT, USE EXTREME CARE NOT TO DAMAGE THE JOINTS OR SHIFT THE CONDUIT STRUCTURE. BACK FILLING AND TAMPING ALONGSIDE THE CONDUIT SHALL BE DONE IN LAYERS ONLY AN INCH OR TWO IN THICKNESS UNTIL THE LEVEL OF THE TOP OF THE CONDUIT IS REACHED. ABOVE THE CONDUIT, TAMP ALL BACKFILL THOROUGHLY IN 6-INCH LAYERS. BACKFILLING AROUND CONDUIT JOINED WITH MORTAL BANDAGES CAN PROCEED AS SOON AS THE JOINTS ARE COMPLETED. TROWELED JOINTS SHALL BE ALLOWED TO SET AT LEAST 24 HOURS BEFORE BACKFILLING.

15. UPON COMPLETION OF CONDUIT SECTIONS, A TEST MANDREL 3/8-INCH SMALLER IN DIAMETER THAT THE INSIDE DIAMETER OF THE CONDUIT SHALL BE PULLED THROUGH ALL SINGLE DUCT CONDUIT AND THROUGH TWO DIAGONALLY OPPOSITE DUCTS IN MULTIDUCT CONDUIT FORMATION TO ENSURE PROPER ALIGNMENT. IN ADDITION, ALL CONDUITS SHALL BE CLEANED OF LOOSE MATERIALS SUCH AS CONCRETE, MUD, DIRT, STONES, ETC. PULL WIRE (TYPE AS SPECIFIED BY THE ENGINEER) SHALL BE PLACED IN CONDUIT IF SO INDICATED BY THE ENGINEER ON THE CONSTRUCTION DRAWINGS. THE ENDS OF THE CONDUIT SHALL BE SEALED TO PREVENT THE ENTRANCE OF FOREIGN MATTER AND TO PROTECT AGAINST WATER OR GAS FROM ENTERING MANHOLES ALL CONDUIT ENTERING CENTRAL OFFICES OR OTHER IF THE WORK EXTENDS OVER SEVERAL DAYS, THE CONDUITS SHALL BE PLUGGED AT NIGHT TEMPORARILY AND PERMANENTLY UPON COMPLETION OF THE WORK.

16. ALL CEMENT USED IN UNDERGROUND CONSTRUCTION SHALL CONFORM TO THE SPECIFICATION OF THE AMERICAN SOCIETY FOR TESTING AND MATERIALS.

17. AGGREGATES USED IN PREPARATION OF CONCRETE SHALL CONFORM TO THE REQUIREMENTS FOR FINE AGGREGATE AND COARSE AGGREGATE FROM 3/8" TO 1 1/4".

18. IF CONCRETE HAS BEEN DAMAGED BY CRACKING THE CRACKED CONCRETE SHALL BE REMOVE AND REPLACED IN ACCORDANCE WITH THE INSTRUCTIONS OF THE ENGINEER AND THE CONST. INSPECTOR.

19. WHEN MANHOLES ARE CONSTRUCTED IN FLUID SOIL, ADEQUATE DRAINAGE SHALL BE PROVIDED TO PREVENT STATIC WATER PRESSURE ON CONCRETE UNTIL THE CONCRETE HAS PROPERLY HARDENED.

20. EACH MANHOLE, PULL BOX OR SPICING BOX SHALL BE PROVIDED WITH HARDWARE AND EQUIPMENT AS SPECIFIED BELOW AND SHOWN IN THE CONSTRUCTION DRAWINGS.

21. PULLING-IN IRONS SHALL BE PLACED SO AS TO EXTEND INTO THE MANHOLE FARENOUGH TO PERMIT A CLEAR OPENING OF APPROXIMATELY 3 INCHES IN THE EYE.

22. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PERFORM TEST EXCAVATIONS TO LOCATE AND PROTECT ALL SUBSURFACE STRUCTURES. LOCATIONS OF SUCH STRUCTURES SHOWN ON THE PLANS ARE FROM AVAILABLE INFORMATION AND THE EXACT LOCATION SHALL BE VERIFY ON FIELD.

23. ACCESSIBILITY TO FIRE HYDRANTS, FIRE ALARMS BOXES, AND PRIVATE DRIVEWAYS SHALL BE MAINTAINED USING TEMPORARY BRIDGES OVER TRENCH AS REQUIRED.

24. FIRE HYDRANTS, ALARM BOXES AND PRIVATE DRIVEWAYS SHALL REMAIN ACCESSIBLE AT ALL TIMES. STREET AND ROAD CLOSURES MUST BE COORDINATED WITH THE APPROPRIATE AGENCY.

25. ALL MEASUREMENTS ARE APPROXIMATE, FINAL MEASUREMENTS MUST BE POSTED ON A FIELD COPY OF THE DRAWINGS AND RETURNED TO THE DESIGNER ENGINEER UPON COMPLETION OF THE WORK.

26. THE USE OF CURVES IN THE CONDUIT RUN SHALL BE DONE ACCORDING TO THE STANDARD UTILITIES PRACTICES. CONCRETE TO BE USED IN THE INSTALLATION OF CONDUIT SHALL BE 3,000 P.S.I. WITH A SLUMP 0-9.










27. CONCRETE TO BE USED IN THE CONSTRUCTION OF SPICING BOX, MANHOLES AND PULL BOXES SHALL BE 4,000 P.S.I.

28. WHEN THE JOB IS FINISHED, ALL SURPLUS MATERIAL AND DEBRIS SHALL BE CLEARED FROM THE JOB SITE.

29. THE NECESSARY MEANS TO CARRY STORM WATER AWAY FROM THE WORK SHALL BE PROVIDED AND KEPT FROM OBSTRUCTIONS.

30. THE NECESSARY MEANS TO CARRY STORM WATER AWAY FROM THE WORK SHALL BE PROVIDED AND KEPT FROM OBSTRUCTIONS.

LEGEND:

-  WALL LIGHTING OUTLET, 7'-6" A.F.F. UNLESS OTHERWISE INDICATED IN THE DRAWINGS.
-  4" x 1-1/2" OCTAGONAL OUTLET BOX WITH COVER TO BE INSTALLED AT CEILING OR AT 78" A.F.F.
-  DUPLEX CONVENIENCE RECEPTACLE, GROUND TYPE, NEMA 5-20R, 20 AMP, 125V. AT 1'-6" A.F.F. UNLESS OTHERWISE INDICATED. W.P. MEANS WEATHER PROOF, (G.F. MEANS GROUND FAULT CIRCUIT INTERRUPTER).
-  3/4" EMT CONDUIT IN WALLS OR FLOOR NUMBER OF CONDUCTORS INSIDE, NO CROSSHATCH INDICATES TWO CONDUCTORS.
-  3/4" EMT CONDUIT IN CEILING SLAB INSIDE PLENUM, NUMBER OF CONDUCTORS INSIDE, NO CROSSHATCH INDICATES TWO CONDUCTORS.
-  HOMERUN TO PANELBOARD NUMBER OF ARROWS INDICATES NUMBER OF CIRCUITS INSIDE.
-  PANELBOARD AT 5'-0" A.F.F. AS INDICATED IN SINGLE LINE DIAGRAM.
-  JB BOXES FOR SWITCHES SHALL 2"X4"X3-1/2". LXHXW
-  30 A SAFETY SWITCH- 120V-1P F: 10 OR AS PER MANUFACTURER RECOMMENDATIONS

ELECTRIC GENERAL NOTES:

1. ALL ELECTRICAL OUTLETS INDICATED IN DRAWING SHALL BE INSTALLED AS INDICATED.

2. ALL WIRES AND CABLES SHALL BE THWN/THHN-600V. INSULATION.

3. UNLESS OTHERWISE INDICATED ALL WIRES AND CABLES SHALL BE COPPER.

4. PROVIDE GROUND WIRE IN ALL THE CONDUITS.

5. PROVIDE #12-AWG GREEN JUMPER BETWEEN RECEPTACLE GROUNDING SCREW AND OUTLET BOX GROUNDING SCREW.

6. UNLESS OTHERWISE INDICATED ALL CONDUITS SHALL BE 3/4" IN DIAMETER MINIMUM.

7. ALL UNDERGROUND CONDUIT COUPLING SHALL BE WATERTIGHT.

8. PROVIDE AN EXPANSION JOINT COUPLING OF THE REQUIRED TYPE AND SIZE WHENEVER A CONDUIT CROSSES AN EXPANSION JOINT.

9. PROVIDE PLASTIC CONDUIT DIVIDERS IN ALL UNDERGROUND CONDUIT RUNS, MAXIMUM DISTANCE BETWEEN DIVIDERS TO BE 4'-0".

10. CONTRACTOR MUST MAKE SURE THAT THE ENTIRE ELECTRICAL SYSTEM HAS GROUND CONTINUITY.

11. ALL THE ELECTRICAL INSTALLATION SHALL BE DONE IN A NEAT & WORKMANLIKE MANNER, ACCORDING TO THE LAST EDITION OF THE NATIONAL ELECTRICAL CODE, THE PUERTO RICO ELECTRIC POWER AUTHORITY LATEST STANDARD & THE PUERTO RICO TELEPHONE CO. LATEST PRACTICES.

12. THE CONTRACTOR SHALL VISIT THE JOB SITE AND BECOME ACQUAINTED WITH THE EXISTING FIELD CONDITIONS. IT SHALL BE THE DIRECT RESPONSIBILITY OF THE CONTRACTOR TO BRING PROMPTLY TO THE ATTENTION OF THE ENGINEER ANY DISCREPANCIES BETWEEN THE EXISTING FIELD CONDITIONS AND THOSE THAT WERE USED FOR DESIGN PURPOSES. THIS SHALL BE DONE BEFORE THE CONTRACTOR SUBMITS HIS BID, SO THAT THE ENGINEER CAN RENDER A DECISION ON THE MATTER BEFORE THE BIDS ARE RECEIVED. THE SUBMITTAL OF THE BID BY THE CONTRACTOR WILL BE HELD AS PROOF THAT CONTRACTOR UNDERSTANDS THOROUGHLY AND COMPLETELY THE SCOPE OF THE WORK INVOLVED, HAS FAMILIARIZED HIMSELF WITH THE EXISTING FIELD CONDITIONS, AND HAS INCLUDED IN HIS BID ALL THE ITEMS NECESSARY TO PERFORM THE ELECTRICAL WORK. NO ALLOWANCE WILL BE PERMITTED ON THIS MATTER AFTER THE BIDS ARE RECEIVED.

13. UNLESS OTHERWISE INDICATED ALL OUTLETS SHALL BE FLUSH MOUNTED AND SHALL HAVE THEIR OWN INDEPENDENT OUTLET BOXES. MINIMUM SIZE OF OUTLET BOX TO BE 4" SQUARE & 1 1/2" DEEP. EXACT SIZE OF OUTLET BOX SHALL BE DETERMINED ACCORDING TO THE MAXIMUM NUMBER OF CONDUCTORS IN THE BOX PER N.E.C. ARTICLE 314-SECTION 16. NOT FOR A/V PURPOSES.

14. ALL INDICATED HEIGHTS ARE FROM CENTER OF BOX TO FINISHED FLOOR.

15. CONTRACTOR SHALL BALANCE ALL LOADS.

16. ROUTE OF CONDUITS SHOWN IN THE LAYOUT IS SCHEMATIC AND INTENDED ONLY TO INDICATE INTERCONNECTIONS BETWEEN OUTLETS. EXACT CONDUIT ROUTING SHALL BE DETERMINED AT THE JOB SITE TO CONFORM WITH THE STRUCTURAL CONDITIONS AND SHALL BE SUBJECT TO THE FINAL APPROVAL OF THE ARCHITECT/ENGINEER.

17. LEAVE A #12-AWG-TW FISHWIRE IN ALL EMPTY CONDUITS.

18. ALL PANELBOARDS AND LOAD CENTERS SHALL BE PROVIDED WITH A FACTORY INSTALLED GROUND BUS FOR CONNECTING TO GROUND ALL THE GROUND WIRES OR CABLES ENTERING OR LEAVING THE PANELBOARD. THE GROUND BUS SHALL BE SIMILAR IN SIZE AND CHARACTERISTICS TO THE NEUTRAL BUS. ALL PANELBOARDS SHALL HAVE A MONOFLAT FRONT AND KEY LOCK.

19. WHEN TWO OR MORE WIRING DEVICES ARE SHOWN TOGETHER IN ADJACENT POSITIONS AND AT THE SAME HEIGHT, THEY SHALL BE INSTALLED IN A MULTIPLE GANG. OUTLET BOX OF THE PROPER SIZE SO THAT ONLY ONE RAISED COVER PLATE OF THE REQUIRED TYPE AND SIZE ARE USED. 120V AND 277V OUTLETS SHALL BE IN SEPARATE BOXES, SHOULD THAT BE INDICATING SWITCHES.

20. UNLESS OTHERWISE INDICATED, ALL WIRING DEVICES SHALL BE WHITE COLORED WITH 302 STAINLESS STEEL COVER PLATES, EXCEPT THE WEATHERPROOF OUTLETS WHICH SHALL HAVE THEIR STANDARD GRAY COVER PLATES.

21. WHEN TWO OR MORE PANELBOARDS OR CABINETS ARE SHOWN TOGETHER IN ADJACENT LOCATIONS, THE TOP OF ALL PANELBOARDS OR CABINETS SHALL BE ALIGNED WITH THE TOP OF THE BIGGEST ONE SO THAT ALL THE TOPS ARE AT EXACTLY THE SAME HEIGHT FROM THE FINISHED FLOOR.

22. IN CONDUIT RUNS, THE NUMBER OF ARROWS DESIGNATE THE NUMBER OF CIRCUITS IN THE CONDUIT (ONE POLE IN THE PANELBOARD PER EACH CIRCUIT), THE NUMBER OF LINES DESIGNATE THE NUMBER OF CONDUCTORS IN THE CONDUIT, THE LONGER LINE BEING A NEUTRAL CONDUCTOR AND "1" BEING THE GROUND CONDUCTOR.

23. TELEPHONE TERMINALS CABINET SHALL BE APPROVED EQUAL TO COLUMBIA METAL TYPE "PF" WITH THE DOOR HINGES, LOCK AND 3/4" PLYWOOD BACKBOARD COVER AT THE BOTTOM OF THE CABINET.

24. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE VOLTAGE CHARACTERISTICS AT THE SITE WITH PREPA AT THE TIME OF INSTALLATION BEFORE ORDERING ANY PRIMARY EQUIPMENT.

25. ALL WIRING DEVICES SHALL BE SPECIFICATION GRADE.

26. ALL THE SELF-STANDING AND SURFACE MOUNTED ELECTRICAL EQUIPMENT AS WELL AS THE RESTRAINT MANUAL GUIDELINES FOR MECHANICAL SYSTEMS, THE SAME APPLIES TO ALL THE CONDUIT WORK. THE DETAILS AND INSTALLATION METHODS IN SAID MANUAL SHALL BE MODIFIED AS REQUIRED TO FIT THE ELECTRICAL INSTALLATION OF THE PROJECT.

27. FOR FINAL LOCATION OF MECHANICAL EQUIPMENT SEE CORRESPONDING MECHANICAL AND ARCHITECTURAL DRAWINGS. CONTRACTOR TO RELOCATE ELECTRICAL ROUGH-IN ACCORDINGLY AT NO ADDITIONAL COST TO OWNER.

28. CONDUIT WORK:

- A. ALL CONDUITS INSTALLED UNDERGROUND SHALL BE PVC SCHEDULE 40.
- B. ALL CONDUITS INSTALLED EMBEDDED IN FLOOR SLABS WHICH ARE IN DIRECT CONTACT WITH THE EARTH SHALL BE PVC SCHEDULE 40.
- C. ALL CONDUITS INSTALLED EMBEDDED IN WALLS, CEILING SLABS AND IN FLOOR SLABS WHICH ARE NOT IN DIRECT CONTACT WITH THE EARTH SHALL BE RIGID.
- D. ALL CONDUITS INSTALLED IN THE AREA BETWEEN HUNG CEILINGS AND CEILING SLABS OR METAL DECKS SHALL BE RIGID.
- E. ALL CONDUITS INSTALLED EXPOSED IN INDOOR AREAS SHALL BE RIGID.

F. ALL CONDUITS INSTALLED EXPOSED IN OUTDOOR AREAS SHALL BE RIGID GALVANIZED STEEL.

G. FINAL CONNECTIONS TO ALL MOTORS AND ELECTRICAL EQUIPMENT SHALL BE DONE WITH LIQUIDTIGHT FLEXIBLE STEEL CONDUIT.

29. ALL WIRES AND CABLES SHALL BE #12-AWG, EXCEPT WHEN OTHERWISE INDICATED IN THE DRAWINGS, OR AS INDICATED BELOW FOR 20 AMPERES CIRCUITS, WIRE SIZING.

A. ALL 20 AMPERES, 120VOLT CIRCUIT RUNS SHALL BE AS FOLLOWS:

- 5' TO 100' IN LENGTH, #12-AWG.
- 100' TO 200' IN LENGTH, #10-AWG.
- 200' TO 300' IN LENGTH, #8-AWG.
- 300' TO 400' IN LENGTH, #6-AWG.

30. ALL PENDANT MOUNTED LUMINARIES SHALL BE INSTALLED USING STEMS, 2 STEMS PER EACH 4" LUMINARY. STEMS SHALL BE PAINTED OF THE COLOR REQUIRED BY THE ARCHITECT.

31. ALL PENETRATIONS THROUGH THE FLOORS, CONNECTING TWO OR MORE LEVELS SHALL BE FIRE RATED AND SMOKE TIGHT-SEALED IN ACCORDANCE WITH THE REQUIREMENTS OF IBC WITH APPROVED FIRE STOPPING MATERIALS.

32. THE CONTRACTOR SHALL CONSIDER IF THERE EXIST ANY ELECTRICAL DEVICE OR EQUIPMENT INSIDE THE WALL OR WALLS IN CONTRACT TO BE DEMOLISHED AND SHALL CONNECT THEM TO THE NEAREST ELECTRICAL FACILITY, BUT BEFORE THAT, THE CONTRACTOR SHALL VERIFY IF CIRCUITS DONT HAVE ANY PROBLEMS OF POSSIBLE OVERLOAD.

33. NO "UF" TYPE CONDUCTOR ALLOWED. ALL DROPS TO FIXTURES AND EQUIPMENT TO BE DONE IN FLEXIBLE METALLIC CONDUIT, SIZE, MAXIMUM LENGTH AND TYPE AS PER NEC AND TO OTHER EQUIPMENT AS REQUIRED BY CODES.

34. ALL EQUIPMENT AND MATERIAL TO BE NEW, THROUGHOUT AND AS PER NEMA AND U.S. STANDARDS AND APPROXIMATELY LABELED ALSO FOR EXISTING EQUIPMENT.

35. CONTRACTOR SHALL COORDINATE ALL OF HIS WORK, SHIPPING OR CUTTING, ETC. WITH EXISTING SERVICES AND UTILITIES AND WITH OWNER, OWNER'S ENGINEER, LANDLORD OR REPRESENTATIVE. THE CONTRACTOR IS REQUIRED TO VISIT THE PROJECT AND REPORT HIS COMMENTS BEFORE BIDDING. OWNER'S GENERAL CONDITIONS SHALL FORM PART OF THIS PHASE.

36. EQUIPMENT TO BE SUPPLIED AND INSTALLED BY OWNER AND OTHER TRADES OR CONTRACTORS TO HAVE INTEGRAL OVERLOAD PROTECTION, DISCONNECTING MEANS AND GROUND FAULT PROTECTION WHERE REQUIRED. POWER FACTOR FOR ALL EQUIPMENT TO BE ABOVE REQUIRED BY THE PUERTO RICO ENERGY CODE.

37. CONTRACTOR TO SUBMIT FOR APPROVAL ALL EQUIPMENT, LIGHTING FIXTURES, BUS DUCTS, TRANSFORMERS, PANELS, CONDUITS, FITTINGS, RECEPTACLES AND ANY OTHER ELECTRICAL MATERIALS REQUIRED FOR THE WORK TO BE PERFORMED.

38. THE ELECTRICAL INSTALLATION, MATERIALS AND METHOD OF WORK SHALL BE IN COMPLETE ACCORDANCE WITH LATEST PREPA, NEC OF P.R., PRLD, OSHA, ARPE AND OTHER AGENCIES APPLICABLE CODES AND REGULATIONS FOR SAID TYPE OF WORK AND SHALL BE SUBMITTED TO OWNER FOR APPROVAL. COORDINATION WITH OWNER'S REPRESENTATIVE IS MANDATORY

39. ALL RECEPTACLES AND SWITCHES SHALL BE HEAVY DUTY SPECIFICATION GRADE OF THE COLOR TO BE CHOSEN BY ARCHITECT. ALL WALL PLATES TO BE HEAVY DUTY STAINLESS STEEL.

40. ALL CONDUITS SHALL BE SECURELY FASTENED TO OUTLET BOXES OR CABINETS WITH ONE BUSHING AND TWO LOCKNUTS, ONE INSIDE AND THE OTHER OUTSIDE THE BOX OR CABINET OR FIXTURE AND INSULATED BUSHING ON CONDUITS 1-1/4" DIAMETER AND LARGER SHALL BE USED.

41. CONTRACTOR TO COLOR CODE ALL WIRING AS SHOWN:

- A. ALL FEEDERS AT 277/480 VOLTS TO BE ORANGE, YELLOW, BROWN.
- B. ALL FEEDERS AT 120/208 VOLTS TO BE RED, BLUE, BLACK.
- C. ALL SWITCH RETURNS TO BE PURPLE, VIOLET, LIGHT BLUE.
- D. ALL NEUTRAL CONDUCTORS TO BE WHITE.
- E. ALL GROUND CONDUCTORS TO BE GREEN.

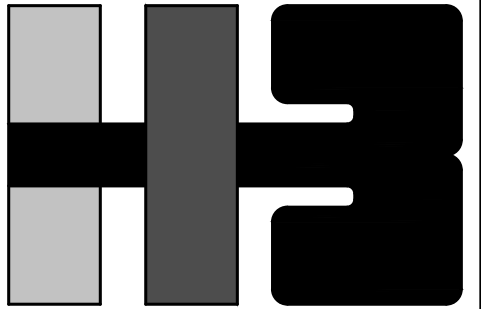
42. COORDINATION IS MANDATORY IN THIS PROJECT. CONTRACTOR MUST COORDINATE ALL HIS WORK WITH ARCHITECT/ENGINEER AND OWNER'S REPRESENTATIVE.

43. CONTRACTOR TO SUPPLY ALL 120 VOLTS CONTROL NEEDS TO AIR CONDITIONING VALVES, CONTROL PANELS, DAMPERS VARIABLE VOLUME BOXES AND ANY AND ALL CONTROL VOLTAGE NEEDS AS PART OF THIS CONTRACT WHETHER SHOWN OR NOT ON THIS PLANS.

44. ALL DUCT SMOKE DETECTORS SHALL BE SUPPLIED BY ELECTRICAL CONTRACTOR AND INSTALLED IN DUCT BY DUCT SUPPLIER/INSTALLER, CONNECTION TO FIRE ALARM SYSTEM OF DUCT DETECTORS BY ELECTRICAL CONTRACTOR.

45. CONTRACTOR SHALL COMPLY WITH UNIFORM BUILDING CODE (UBC) FOR LIGHTING FIXTURE INSTALLATION IN HUNG CEILINGS FOR SEISMIC ZONE 3 COMPLIANCE. ALL FIXTURES TO HAVE CALIFORNIA CLIPS TO HOLD FIXTURES TO HUNG CEILING AND ALL FIXTURES TO BE INDEPENDENTLY SUPPORTED FROM THE STRUCTURE AS REQUIRED. UNIFORM BUILDING CODE STANDARD 25-2 DESCRIBES CONSTRUCTION METHODS THAT MAY BE USED FOR LIGHT HEIGHT SUSPENDED CEILINGS. THESE STANDARDS SHALL BE USED AS GUIDE FOR SUPPORTING OF BOTH THE SUSPENDED CEILING AND THE LIGHTING FIXTURES.

46. THE ELECTRICAL INSTALLATION SHALL BE IN COMPLETE ACCORDANCE WITH ART.680: "SWIMMING POOLS, FOUNTAINS, AND SIMILAR INSTALLATION", ESPECIALLY RELATED TO THE GROUNDING SYSTEM.



**HERNANDEZ-BAUZA
PSC, ARCHITECTS**

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ARCHITECT'S SEAL

ISTRA HERNANDEZ DE BAUZA
ARCHITECT LICENSE No.7399

CONSULTANT'S SEAL

YO, MILDRED G. PEREZ ROSADO, INGENIERA LICENCIADA #10287, CERTIFICADO QUE SOY EL PROFESIONAL QUE DISEÑO O ESTOS PLANOS Y LAS ESPECIFICACIONES COMPLEMENTARIAS TAMBIEN, CERTIFICADO QUE ENTENDI QUE DICHS PLANOS Y ESPECIFICACIONES CUMPLEN CON LAS DISPOSICIONES APPLICABLES DEL REGLAMENTO CONSULTADO Y LAS DISPOSICIONES APPLICABLES DE LOS REGLAMENTOS Y CÓDIGOS DE CONSTRUCCION VIGENTES DE LAS AGENCIAS, JUNTA REGULADORA DE CORPORACIONES PUBLICAS CON JURISDICCION Y ESTAN EN CONFORMIDAD CON LOS CÓDIGOS DE CONSTRUCCION DE PUERTO RICO 2018 VIGENTE AL 15 DE NOVIEMBRE DE 2018, CERTIFICADO, ADEMÁS, QUE EN LA PREPARACION DE ESTOS PLANOS Y ESPECIFICACIONES SE HA CUMPLIDO CABALMENTE CON LO DISPUESTO EN LA LEY NÚM. 14 DE 8 DE ENERO DE 2004, SEGÚN ENMIENDADA, CONOCIDA COMO LA "LEY PARA LA INVERSIÓN POR LA INDUSTRIA PUERTORRIQUEÑA" Y CON LA LEY NÚM. 315 DE 15 DE MAYO DE 1938, SEGÚN ENMIENDADA, LEY NÚM. 96 DE 6 DE JULIO DE 1978, SEGÚN ENMIENDADA, SEGÚN APÚQUE, RECONOCIENDO QUE CUICUIQUIER DECLARACIÓN FALSA O FALSIFICACIÓN DE LOS HECHOS QUE SE HAYA PRODUCIDO POR DESCONOCIMIENTO O POR NEGLIGENCIA YA SEA POR MI, MIS AGENTES O EMPLEADOS, O POR OTROS PERSONAS CON MI CONSENTIMIENTO, ME HACER RESPONSABLE DE CUALQUIER ACCIÓN JUDICIAL Y DISCIPLINARIA POR LA OPE.

CLIENT

MANAGER
DEPT. OF URBAN DESIGN AND
PROJECT DEVELOPMENT, MASJ.

OWNER
AUTONOMOUS MUNICIPALITY
OF SAN JUAN

PROJECT

DRAWING NAME

NOTES & LEGEND

COMPUTER PLOT
THIS DRAWING WAS DRAFTED ON A CAD SYSTEM ALL CHANGES OR CORRECTIONS MUST BE STRICTLY EXECUTED ON CAD. ANY QUESTIONS PLEASE CONTACT HERNANDEZ-BAUZA

NO.	DATE	REVISION	BY	APPROVED

PROJECT

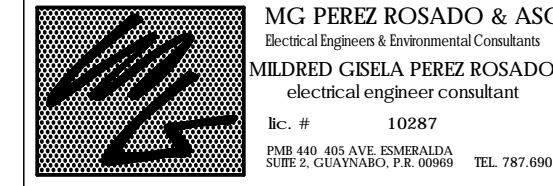
DRAWN BY/CHECKED BY

MPR I.H.

NUMBER	TOTAL
62	62

DRAWING NUMBER

E-6.0



MG PEREZ ROSADO & ASOC.
Electrical Engineers & Environmental Consultants
MILDRED GISELA PEREZ ROSADO
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**Attachment XII: Noise Abatement and Control Noise Control Act
of 1972, as amended by the Quiet Communities Act of 1978; 24
CFR Part 51 Subpart B**

Noise (CEST Level Reviews)

General requirements	Legislation	Regulation
HUD's noise regulations protect residential properties from excessive noise exposure. HUD encourages mitigation as appropriate.	Noise Control Act of 1972 General Services Administration Federal Management Circular 75-2: "Compatible Land Uses at Federal Airfields"	Title 24 CFR 51 Subpart B
References		
https://www.hudexchange.info/programs/environmental-review/noise-abatement-and-control		

1. What activities does your project involve? Check all that apply:

- New construction for residential use

NOTE: HUD assistance to new construction projects is generally prohibited if they are located in an Unacceptable zone, and HUD discourages assistance for new construction projects in Normally Unacceptable zones. See 24 CFR 51.101(a)(3) for further details.

→ *Continue to Question 4.*

- Rehabilitation of an existing residential property

NOTE: For modernization projects in all noise zones, HUD encourages mitigation to reduce levels to acceptable compliance standards. See 24 CFR 51 Subpart B for further details.

→ *Continue to Question 2.*

- A research demonstration project which does not result in new construction or reconstruction, interstate, land sales registration, or any timely emergency assistance under disaster assistance provisions or appropriations which are provided to save lives, protect property, protect public health and safety, remove debris and wreckage, or assistance that has the effect of restoring facilities substantially as they existed prior to the disaster

→ *Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below.*

- None of the above

→ *Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below.*

2. Do you have standardized noise attenuation measures that apply to all modernization and/or minor rehabilitation projects, such as the use of double glazed windows or extra insulation?

Yes

Indicate the type of measures that will apply (check all that apply):

Improved building envelope components (better windows and doors, strengthened sheathing, insulation, sealed gaps, etc.)

Redesigned building envelope (more durable or substantial materials, increased air gap, resilient channels, staggered wall studs, etc.)

Other

Explain:

→ *Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below and provide any supporting documentation.*

No

→ *Continue to Question 3.*

3. Complete the Preliminary Screening to identify potential noise generators in the vicinity (1000' from a major road, 3000' from a railroad, or 15 miles from an airport). Describe findings of the Preliminary Screening:

→ *Continue to Question 6.*

4. Complete the Preliminary Screening to identify potential noise generators in the vicinity (1000' from a major road, 3000' from a railroad, or 15 miles from an airport). Indicate the findings of the Preliminary Screening below:

There are no noise generators found within the threshold distances above.

→ Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide a map showing the location of the project relative to any noise generators.

Noise generators were found within the threshold distances.

→ Continue to Question 5.

5. Complete the Noise Assessment Guidelines to quantify the noise exposure. Indicate the findings of the Noise Assessment below:

Acceptable: (65 decibels or less; the ceiling may be shifted to 70 decibels in circumstances described in §24 CFR 51.105(a))

Indicate noise level here:

→ Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide noise analysis, including noise level and data used to complete the analysis.

Normally Unacceptable: (Above 65 decibels but not exceeding 75 decibels; the floor may be shifted to 70 decibels in circumstances described in 24 CFR 51.105(a))

Indicate noise level here:

Is the project in a largely undeveloped area¹?

No

→Your project requires completion of an Environmental Assessment (EA) pursuant to 51.104(b)(1)(i). Elevate this review to an EA-level review.

Provide noise analysis, including noise level and data used to complete the analysis.

Continue to Question 6.

Yes

→Your project requires completion of an Environmental Impact Statement (EIS) pursuant to 51.104(b)(1)(i). Elevate this review to an EIS-level review.

Provide noise analysis, including noise level and data used to complete the analysis.

Continue to Question 6.

¹ A largely undeveloped area means the area within 2 miles of the project site is less than 50 percent developed with urban uses or does not have water and sewer capacity to serve the project.

Unacceptable: (Above 75 decibels)

Indicate noise level here:

Your project requires completion of an Environmental Impact Statement (EIS) pursuant to 51.104(b)(1)(i). You may either complete an EIS or provide a waiver signed by the appropriate authority. Indicate your choice:

Convert to an EIS

→ Provide noise analysis, including noise level and data used to complete the analysis.

Continue to Question 6.

Provide waiver

→ Provide an Environmental Impact Statement waiver from the Certifying Officer or the Assistant Secretary for Community Planning and Development per 24 CFR 51.104(b)(2) and noise analysis, including noise level and data used to complete the analysis.

Continue to Question 6.

6. HUD strongly encourages mitigation be used to eliminate adverse noise impacts. Explain in detail the exact measures that must be implemented to mitigate for the impact or effect, including the timeline for implementation. This information will be automatically included in the Mitigation summary for the environmental review.

Mitigation as follows will be implemented:

→ Provide drawings, specifications, and other materials as needed to describe the project's noise mitigation measures.

Continue to the Worksheet Summary.

No mitigation is necessary.

Explain why mitigation will not be made here:

→ Continue to the Worksheet Summary.

Worksheet Summary

Compliance Determination

Provide a clear description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your region

There is no new construction for residential use and no rehabilitation of an existing residential property. The project does not involve development of noise sensitive uses. The increase of the existing noise levels during operation is not expected. The Grant Recipient will follow all applicable laws and regulations, including but not limited the Rule No. 8019 of May 9th of 2011, known as the “Reglamento para el Control de la Contaminación por Ruidos”, as amended, regarding the control of noise levels during construction and during operation. Therefore, this topic is in compliance with Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B

Are formal compliance steps or mitigation required?

Yes

No

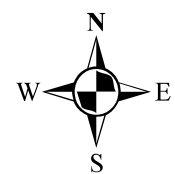
**Attachment XIII: Sole Source Aquifers Safe Drinking Water Act
of 1974, as amended, particularly section 1424(e); 40 CFR Part
149**

SOLE_SOURCE_AQUIFERS PR



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 EPA Regions

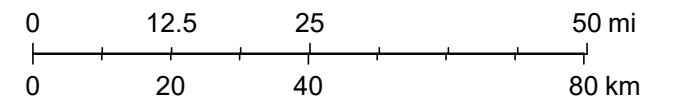


PR-CRP-000924
Plaza Convalecencia &
Plaza del Pilar
Parcel ID: 087-012-560-01

STATE ROAD PR-25, BETWEEN
GEORGETI ST. AND ARZUAGA
ST., RIO PIEDRAS WARD, SAN
JUAN, PUERTO RICO.

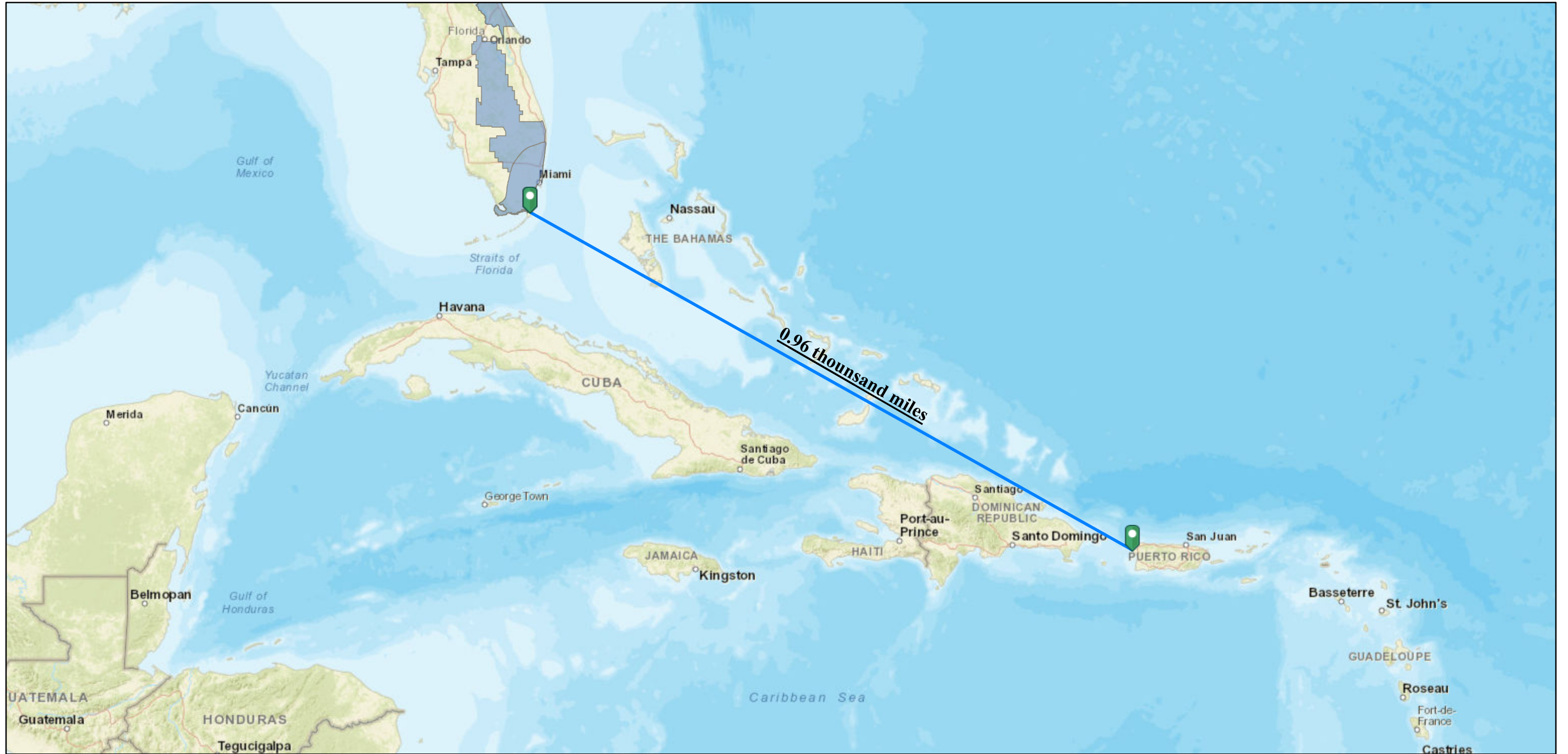
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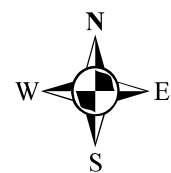
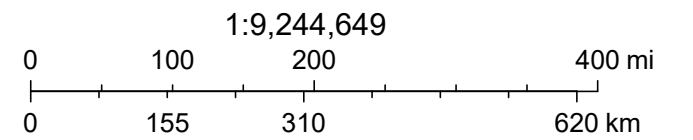
Esri, HERE, Garmin, NGA, USGS

NEAREST SOLE SOURCE AQUIFERS FROM PUERTO RICO



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 Sole_Source_Aquifers



PR-CRP-000924
Plaza Convalecencia &
Plaza del Pilar
Parcel ID: 087-012-560-01

STATE ROAD PR-25, BETWEEN
GEORGETI ST. AND ARZUAGA
ST., RIO PIEDRAS WARD, SAN
JUAN, PUERTO RICO.

Coordinates:
18.397973,-66.052261

Esri, HERE, Garmin, NGA, USGS

**Attachment XIV: Wetlands Protection Executive Order 11990,
particularly sections 2 and 5**



U.S. Fish and Wildlife Service

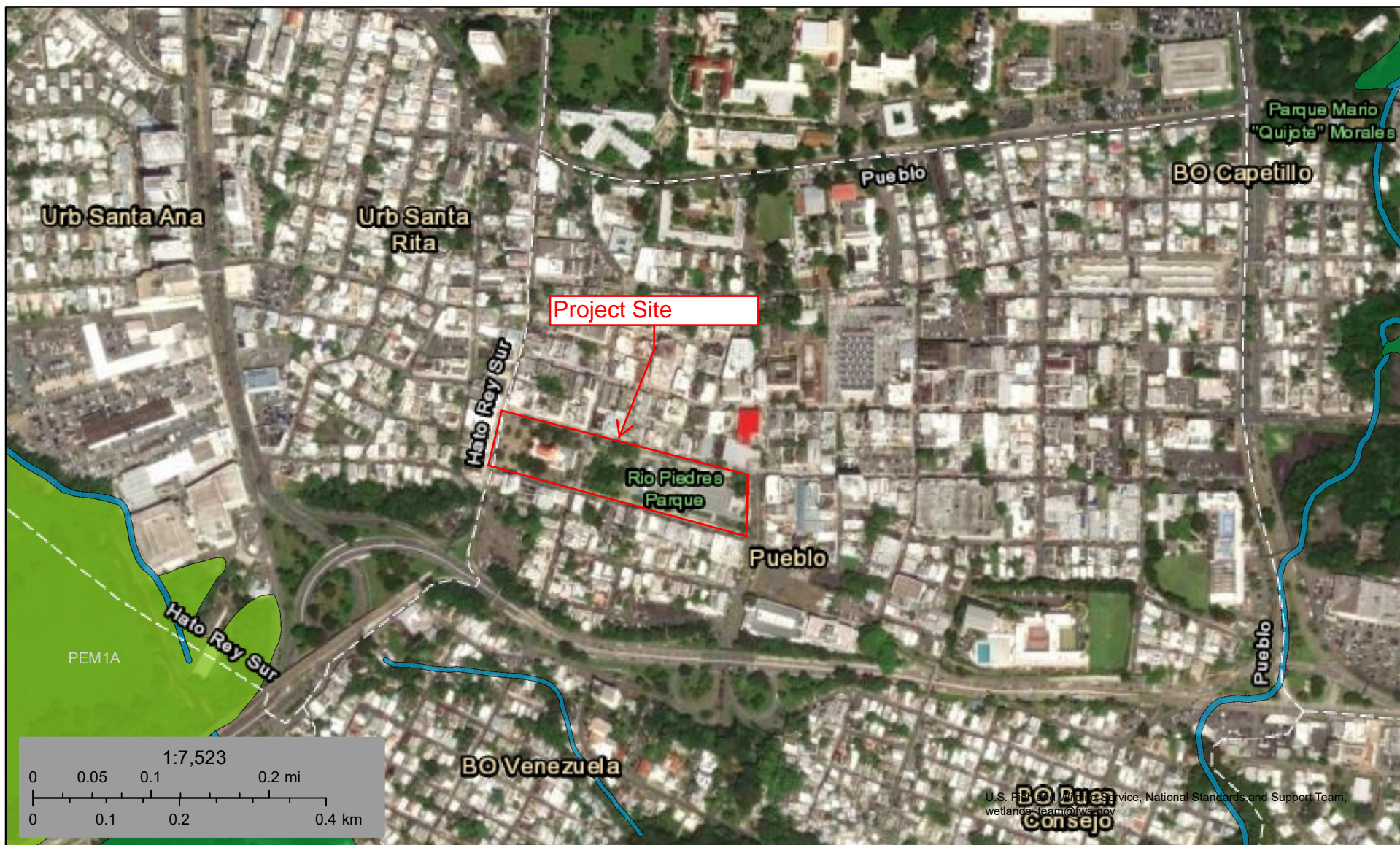
National Wetlands Inventory

PR-CRP-000924
Plaza Convalecencia &
Plaza del Pilar

STATE ROAD PR-25, BETWEEN
GEORGETI ST. AND ARZUAGA
ST., RIO PIEDRAS WARD, SAN
JUAN, PUERTO RICO.

Coordinates:
18.397973,-66.052261

Parcel ID: 087-012-560-01

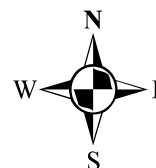


U.S. Fish and Wildlife Service, National Standards and Support Team,
wetlands_team@fws.gov

February 22, 2024











Wetlands

- | | | | | | |
|---|--------------------------------|---|-----------------------------------|---|----------|
|  | Estuarine and Marine Deepwater |  | Freshwater Emergent Wetland |  | Lake |
|  | Estuarine and Marine Wetland |  | Freshwater Forested/Shrub Wetland |  | Other |
| | |  | Freshwater Pond |  | Riverine |



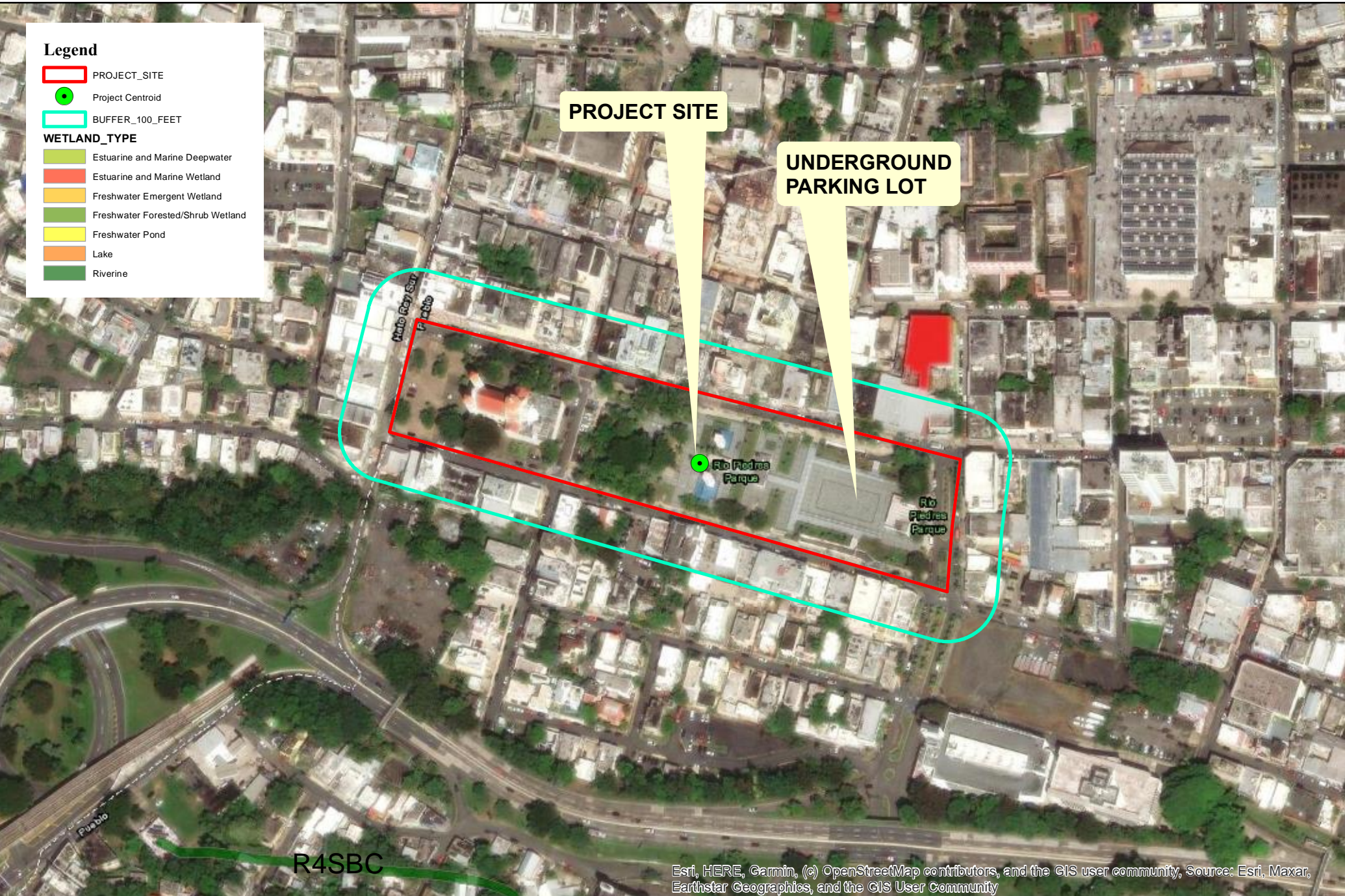
This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

Legend

-  PROJECT_SITE
-  Project Centroid
-  BUFFER_100_FEET
- WETLAND_TYPE**
-  Estuarine and Marine Deepwater
-  Estuarine and Marine Wetland
-  Freshwater Emergent Wetland
-  Freshwater Forested/Shrub Wetland
-  Freshwater Pond
-  Lake
-  Riverine

PROJECT SITE

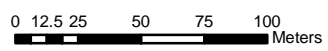
**UNDERGROUND
PARKING LOT**



Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community, Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community



CRP-000924 Plaza Convalecencia & Plaza del Pilar
NATIONAL WETLAND INVENTORY MAP (100 feet)
(Source: Esri Imagery Basemap)



1:3,000
GBA- MAY/2024
Plan. Laredo González

**STATE ROAD PR-25, BETWEEN
GEORGETI ST. AND ARZUAGA ST.
RIO PIEDRAS WARD,
SAN JUAN, PUERTO RICO.
Parcel ID: 087-012-560-01**

**Coordinates:
18.397973,-66.052261**
**Spatial Reference: NAD 1983
StatePlane Puerto Rico-
Virgin Islands FIPS 5200**

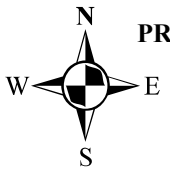
**Attachment XV: Wild and Scenic Rivers Wild and Scenic Rivers
Act of 1968, particularly section 7(b) and (c)**



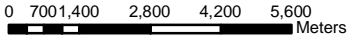
Legend

- Project Centroid
- PROJECT_SITE
- DISTANCE_NAT_WILD_SCENIC_RIVERS
- NATIONAL WILD & SCENIC RIVERS (National Rivers Inventory)

Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community, Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community



PR-CRP-000924 Plaza Convalecencia & Plaza del Pilar
NATIONAL WILD AND SCENIC RIVERS
 (Source: National Rivers Inventory
 Esri Imagery Basemap)

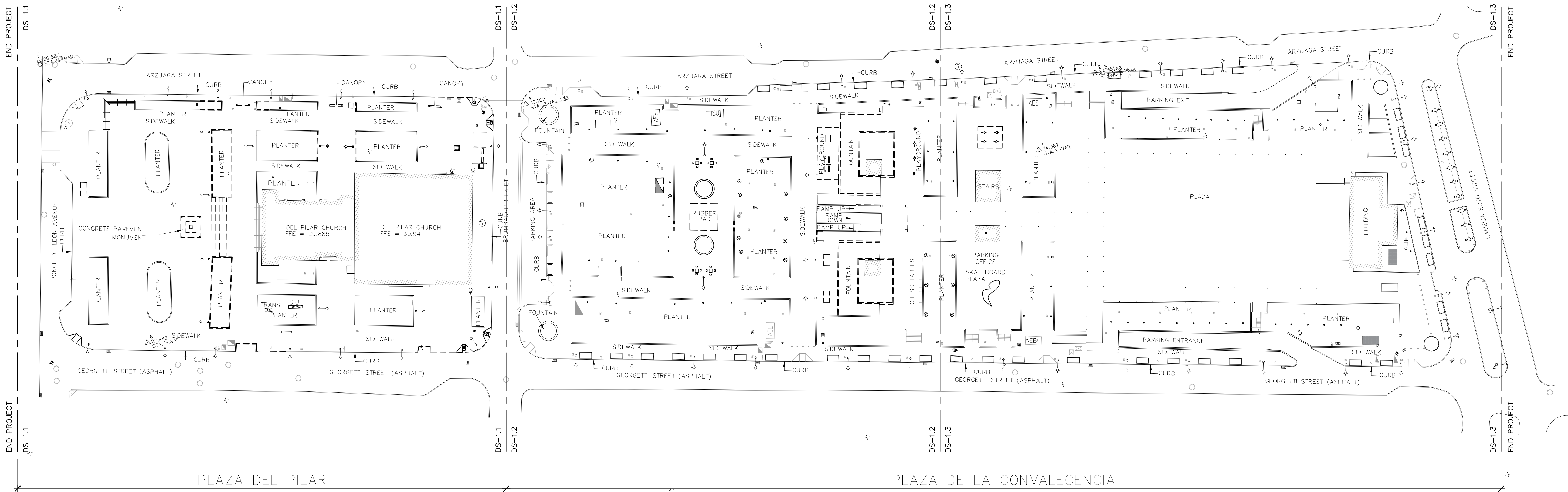


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 GBA- FEB/2024
 Plan. Laredo González

**STATE ROAD PR-25, BETWEEN
 GEORGETI ST. AND ARZUAGA ST.
 RIO PIEDRAS WARD,
 SAN JUAN, PUERTO RICO.
 Parcel ID: 087-012-560-01**

**Coordinates:
 18.397973,-66.052261**
**Spatial Reference: NAD 1983
 StatePlane Puerto Rico-
 Virgin Islands FIPS 5200**

Attachment XVI: Proposed project.



DEMOLITION SITE PLAN & KEY MAP

SCALE: 1:250



DEMOLITIONS & GENERAL NOTES:

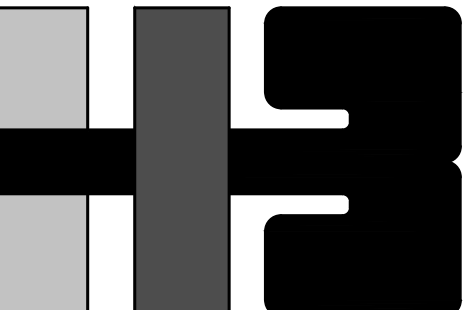
- 1) PREVIOUS TO PROJECT DEMOLITIONS AND/OR EXCAVATIONS, THE CONTRACTOR MUST LOCATE AND IDENTIFY UNDERGROUND UTILITIES TO AVOID DAMAGES OR INTERRUPTIONS IN SERVICES. DAMAGES DUE TO HIS DEMOLITION AND/OR EXCAVATION WORK WILL HAVE TO BE REPAIRED AT HIS OWN COST.
- 2) CONTRACTOR SHALL DISPOSE PROPERLY OF ALL DEBRIS AND SCRAP MATERIAL FROM DEMOLITION WORK ACCORDING TO MUNICIPAL, STATE & FEDERAL REGULATIONS. SEE AND COMPLY WITH DIVISION 020500 FOR HAZARDOUS MATERIALS ABATEMENT REMOVAL & DISPOSAL.
- 3) CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE INFLECTED TO THE PROJECT PROPERTY OR ADJACENT PROPERTIES OR OTHER PROJECT AREAS TO REMAIN DURING THE DEMOLITION AND CONSTRUCTION PHASES. DAMAGED ITEMS SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE AND OWNER'S SATISFACTION. DAMAGE TO SUBSTRATE SURFACES DURING REMOVAL PROCEDURES SHALL BE REPAIRED TO OWNER'S SATISFACTION BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
- 4) DEMOLITION AND REMOVAL SHALL BE CONDUCTED IN A MANNER THAT ELIMINATES HAZARDS TO PERSONS, THE ENVIRONMENT AND PROPERTY IN THE SURROUNDING AREA. THE CONTRACTOR SHALL PREVENT THE RELEASE OF DUST INTO THE AIR AND SOIL.
- 5) CONTRACTOR SHALL PROVIDE METAL CONTAINERS OF SUFFICIENT CAPACITY AS TO MAINTAIN THE PROJECT SITE & BUILDINGS FREE OF WASTE AND SCRAP MATERIALS. EVERY AFTERNOON BEFORE FINISHING THE DAY'S WORK HE SHALL COLLECT ALL WASTE MATERIALS AND PLACE THEM IN THE CONTAINERS. AT NO TIME WASTE MATERIAL SHALL BE LEFT UNCOLLECTED FROM ONE DAY TO ANOTHER. ON A MINIMUM WEEKLY BASIS WASTE MATERIALS STORED IN THE METAL CONTAINERS SHALL BE COLLECTED AND DISPOSED OFF ACCORDING TO MUNICIPAL, STATE & FEDERAL REGULATIONS. SEE APPLICABLE DIVISION 020500 HAZARDOUS MATERIALS ABATEMENT REQUIREMENTS.
- 6) THE CONTRACTOR SHALL MAINTAIN STREETS, PARKINGS, SIDEWALKS AND GROUNDS CLEAN AT ALL TIMES. WASHING WITH WATER IS REQUIRED TO PREVENT DUST CONTAMINATION AND HEALTH HAZARDS. WATER CONSUMPTION FOR CLEANING, CAN NOT BE TAKEN FROM PUBLIC FIRE HYDRANTS OR SCHOOL SERVICE.
- 7) THE CONTRACTOR SHALL SUBMIT, PROCURE AND OBTAIN THE FOLLOWING DOCUMENTS & PERMITS FROM THE ENVIRONMENTAL QUALITY BOARD OF PUERTO RICO IN ORDER TO PROCEED WITH CONTRACT WORK:
 - A. CONSOLIDATED PERMIT FROM ENVIRONMENTAL QUALITY BOARD
 - B. SOLID WASTE DISPOSAL (FORM D.S.-3) OR APPLICABLE PER HAZARDOUS OR NON-HAZARDOUS MATERIALS
 - C. PREPARE AND SUBMIT CES PLAN
 - D. OTHER REQUIRED BY LAWS AND REGULATION.
 - E. ANY OTHER REQUIRED PERMIT FOR THE CONTRACT WORK.
- NOTE: CONTRACTOR MUST MAINTAIN IN FULL FORCE ALL EXISTING PERMITS OBTAINED BY PREVIOUS CONTRACTOR AND / OR SUBMITT AND OBTAIN NEW PERMITS AT HIS OWN COST.
- 8) THE CONTRACTOR WILL NOTIFY AND OBTAIN PERMIT FROM THE PUBLIC SERVICE COMMISSION PRIOR TO THE EXCAVATION WORK OF THE PROJECT. PERMIT MUST BE SUBMITTED TO THE OWNER AND TO THE PROJECT INSPECTOR BEFORE PROCEEDING WITH ANY EXCAVATION OR DEMOLITION WORK.
- 9) PRIOR TO PROCEEDING WITH LANDSCAPING WORK, CONTRACTOR MUST REQUEST AND OBTAIN FROM THE MUNICIPALITY OF SAN JUAN A PERMIT FOR CUTTING AND PLANTING OF TREES ACCORDING TO THE PLANNING REGULATION NO.25.
- 10) THE DEMOLITION DRAWINGS ARE INTENDED TO GIVE THE CONTRACTOR A GENERAL SCOPE OF THE DEMOLITION WORK. THE CONTRACTOR IS RESPONSIBLE FOR COMPLETING ALL DEMOLITION'S NECESSARY TO PERFORM THE CONSTRUCTION WORK AS DEMONSTRATED IN CONTRACT DRAWINGS AND WRITTEN SPECIFICATIONS, EVEN IF IT IS NOT SPECIFICALLY SHOWN IN THE DEMOLITION DRAWINGS. NO ADDITIONAL COST TO OWNER WILL BE CHARGED FOR DEMOLITION'S NOT SHOWN IN DWGS.
- 11) UTILITIES AND OR SERVICES (CONSISTING BUT NOT LIMITED TO WATER, SEWER, ELECTRICITY, GAS, CABLE TV, DATA AND TELEPHONE) CAN NOT BE SUSPENDED TO ANY BUILDING OR PROPERTY WHILE CONTRACT WORK IS PERFORMED IN THIS PROJECT. IN ALL SITUATIONS CONTRACTOR SHALL MAKE NECESSARY TEMPORARY CONNECTIONS TO MAINTAIN SERVICES CONNECTED AND OR UTILITIES AT ALL TIME AND AT HIS OWN EXPENSE. PLANNING AND COORDINATION BETWEEN CONTRACTOR AND THE AGENCIES PROVIDING THE UTILITIES AND OR SERVICES ARE HIS SOLE RESPONSIBILITY AND AT HIS OWN COST.

WORK PLAN

- THE WORK WILL BE PERFORMED BY A QUALIFIED CONTRACTOR. CONCRETE RECYCLING CAN BE USED ON THIS WORK, BUT NOT ON SITE TO PERFORM ALL DEMOLITION & CONSTRUCTION WORK. THE CONTRACTOR WILL ENSURE THE SAFETY OF ITS WORKERS AND OF THE PUBLIC & SURROUNDING AREAS. SAFETY FENCES AND SIGNS WILL BE PROVIDED AS REQUIRED. ALL PERSONNEL WILL USE THE O.S.H.A. REQUIRED PROTECTIVE EQUIPMENT AS REQUIRED BY THE STATE AND FEDERAL REGULATIONS. THE WORK WILL BE PERFORMED FOLLOWING THE STATE AND FEDERAL LAWS CONCERNED AND IN ACCORDANCE WITH THE WORK PLAN.
- 1) FINAL DISPOSITION OF DEBRIS AND MATERIAL RESULTING FROM DEMOLITION - ALL METALS WILL BE RECYCLED AT APPROVED RECYCLING CENTERS. THE CONTRACTOR WILL TRANSPORT ALL CONCRETE WASTE MATERIAL IN AUTHORIZED TRUCKS AS APPROVED BY "DOT" & THE PUBLIC SERVICE COMMISSION.
 - 2) SAFETY AND HEALTH PLAN - THE CONTRACTOR SHALL PROVIDE A RISK FREE ENVIRONMENT FOR ALL EMPLOYEES AND THEIR SURROUNDING. HE MUST GUARANTEE THE SAFETY AND HEALTH OF ALL EMPLOYEES, SUBCONTRACTORS AND GENERAL PUBLIC SUBMITTING A COMPREHENSIVE SAFETY & HEALTH PLAN FOR THE CONTRACTED INSPECTION APPROVAL.
 - 3) SAFETY MEASURES AND PRECAUTIONS DURING DEMOLITION OR CONSTRUCTION (ALL O.S.H.A. AND E.P.A. UPDATED COMPLIANCE)

GENERAL PROCEDURES:

1. THE CONTRACTOR SHALL EXECUTE AND CERTIFY A THOROUGH VISIT TO THE PROJECT SITE, TO FAMILIARIZE WITH ALL THE CONSTRUCTION WORK BEFORE ATTENDING THE PRE-BID MEETING.
2. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGES INFLECTED TO THE OWNER'S OR NEIGHBOR PROPERTY OR OTHER AREAS DURING THE EXECUTION OF THE WORK. HE SHALL REPAIR ANY DAMAGES AT HIS OWN EXPENSE TO OWNER'S SATISFACTION.
3. THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT ALL SHOP DRAWINGS, PRODUCT LITERATURE AND SAMPLES FOR APPROVAL PRIOR TO COMMENCEMENT OF THE WORK AND NO LATER THAN 90 CALENDAR DAYS AFTER ORDER TO PROCEED. NO SUBSTITUTIONS REQUEST OF MATERIALS WILL BE CONSIDERED WHEN NON-COMPLIANCE OF SUBMITTAL'S DELIVERY TIME IS CAUSING SUCH SUBSTITUTION REQUEST.
4. DRAWINGS ARE NOT TO BE SCALED: SEE ARCHITECTURAL DRAWINGS FOR EXACT DIMENSIONS.
5. ALL MATERIALS AND CONSTRUCTION METHODS USED MUST COMPLY WITH ALL GOVERNING REGULATIONS AS SET FORTH BY THE PUERTO RICO PLANNING BOARD, AND ALL OTHER CONCERNED REGULATORY AGENCIES AND CODES.
6. NEW CONSTRUCTION INCLUDING CONCRETE, MASONRY WOOD, PLASTER, GATES, FRAMES, AND MISCELLANEOUS UNFINISHED METALS (OTHER THAN STAINLESS STEEL) SHALL BE PAINTED UNLESS OTHERWISE CLEARLY INDICATED ON DRAWING.
7. ALL WOOD MATERIAL WEATHER SOLID OR PLYWOOD SHALL BE PRESSURE TREATED AND KILN DRIED IN ACCORDANCE WITH SPECIFICATIONS.
8. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING FIELD CONDITIONS PRIOR TO ACTUAL CONSTRUCTION OR INSTALLATION. IN CASE OF ANY DISCREPANCY WITH THE CONSTRUCTION DOCUMENTS, OR DOUBTS AS TO THE INTERPRETATION OF SAID DOCUMENTS, THE ARCHITECT SHALL BE IMMEDIATELY NOTIFIED AND CONSULTED FOR CLARIFICATION PRIOR TO CONSTRUCTION OR INSTALLATION.
9. WHERE QUANTITY OF MATERIALS ARE SHOWN IN CONSTRUCTION DRAWINGS AND OR WRITTEN SPECIFICATIONS, SUCH NUMBER SHALL NOT BE TAKEN AS THE DETERMINED QUANTITY NEEDED FOR THE CONSTRUCTION CONTRACT THE CONTRACTOR SHALL PROVIDE AND INSTALL THE AMOUNT OF MATERIALS AND/OR EQUIPMENTS NEEDED TO COMPLETE AND PLACE IN OPERATION ALL THE WORK SHOWN IN THE CONSTRUCTION DRAWINGS AND WRITTEN SPECIFICATIONS, WITHOUT ADDITIONAL COST TO THE OWNER.
10. BEFORE PAINTING WORK, CLEAN FUNGUS AND DARK SPOTS IN WALLS AND CEILINGS WITH AN INDUSTRIAL CHLORINE SOLUTION. (NO METHYLENE-CHLORIDE CONTAINING)
11. REPAIR ALL CRACKS, SCRAPE, PATCH AND/OR REMOVE EXISTING IMPERFECTIONS IN ALL EXTERIOR CEMENT PLASTER WALLS. USE CONCRETE REHABILITATION PRODUCTS EQUAL OR SIMILAR TO TAMS INDUSTRIES, CO., "TAMS THIN PATCH" (PUERTO RICO WIRE PRODUCTS, INC.), FOR CORRECTION OF UNEVEN FINISHES IN EXISTING WALLS.
12. APPLY A HIGH QUALITY SURFACE CONDITIONER AT ALL INTERIOR / EXTERIOR CEMENT PLASTER WALLS & CEILINGS BEFORE PAINTING. REFER TO SPECIFICATIONS.
13. PAINT ALL EXTERIOR CEMENT PLASTER SURFACES, FRAMES, DOORS, WINDOW, ETC. AS SPECIFIED. COLORS TO BE SELECTED BY ARCHITECT AS INDICATED IN TECHNICAL SPECIFICATIONS. (NO LEAD-BASED PAINT SHALL BE UTILIZED IN THIS PROJECT.)
14. AFTER CONSTRUCTION WORK IS FINISHED THE WHOLE PROJECT SHALL BE PAINTED ACCORDING TO SPECIFICATIONS.



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CONSULTANT'S SEAL

YO, ISTRA HERNANDEZ, ARQUITECTO LICENCIADO #7399, CERTIFICO QUE SOY EL PROFESIONAL QUE DISEÑO ESTOS PLANOS Y LAS ESPECIFICACIONES COMPLEMENTARIAS. TAMBIÉN, CERTIFICO QUE ENTENDO QUE DICHO PLANOS Y ESPECIFICACIONES CUMPLEN CON LAS DISPOSICIONES APLICABLES DEL REGLAMENTO COMUNITARIO Y LAS DISPOSICIONES APLICABLES DE LOS REGLAMENTOS Y CÓDIGOS DE CONSTRUCCIÓN VIGENTES DE LAS AGENCIAS, JUNTAS REGLAMENTADORAS O CORPORACIONES PÚBLICAS CON JURISDICCIÓN Y ESTÁN EN CONFORMIDAD CON LOS CÓDIGOS DE CONSTRUCCIÓN DE PUERTO RICO 2018" VIGENTE AL 15 DE NOVIEMBRE DE 2018. CERTIFICO, ADEMÁS, QUE EN LA PREPARACIÓN DE ESTOS PLANOS Y ESPECIFICACIONES SE HA CUMPLIDO CABALMENTE CON LO DISPUESTO EN LA LEY NÚM. 14 DE 8 DE ENERO DE 2004, SEGÚN ENMIENDADA, CONOCIDA COMO LA "LEY PARA LA INVERSIÓN POR LA INDUSTRIA PUERTORRIQUEÑA" Y CON LA LEY NÚM. 235 DE 15 DE MAYO DE 1938, SEGÚN ENMIENDADA; LEY NÚM. 96 DE 6 DE JULIO DE 1978, SEGÚN ENMIENDADA; SEGÚN APLIQUE RECONOZCO QUE CUALQUIER DECLARACIÓN FALSA O FALSIFICACIÓN DE ESTOS HECHOS QUE SE HAYA PRODUCIDO POR DESCONOCIMIENTO O POR NEGLIGENCIA YA SEA POR MÍ, MIS AGENTES O EMPLEADOS, O POR OTRAS PERSONAS CON MI CONOCIMIENTO, ME HACEN RESPONSABLE DE CUALQUIER ACCIÓN JUDICIAL Y DISCIPLINARIA POR LA DQPE.

CLIENT
MANAGER
DEPT. OF URBAN DESIGN AND PROJECT DEVELOPMENT, MASJ.

OWNER
AUTONOMOUS MUNICIPALITY OF SAN JUAN

PROJECT
IMPROVEMENT OF "PLAZA DE LA CONVALECENCIA" AND "PLAZA DEL PILAR"

DRAWING NAME
DEMOLITION SITE PLAN AND GENERAL NOTES

COMPUTER PLOT
THIS DRAWING WAS DRAFTED ON A CAD SYSTEM ALL CHANGES OR CORRECTIONS MUST BE STRICTLY EXECUTED ON CAD. ANY QUESTIONS PLEASE CONTACT HERNANDEZ-BAUZA

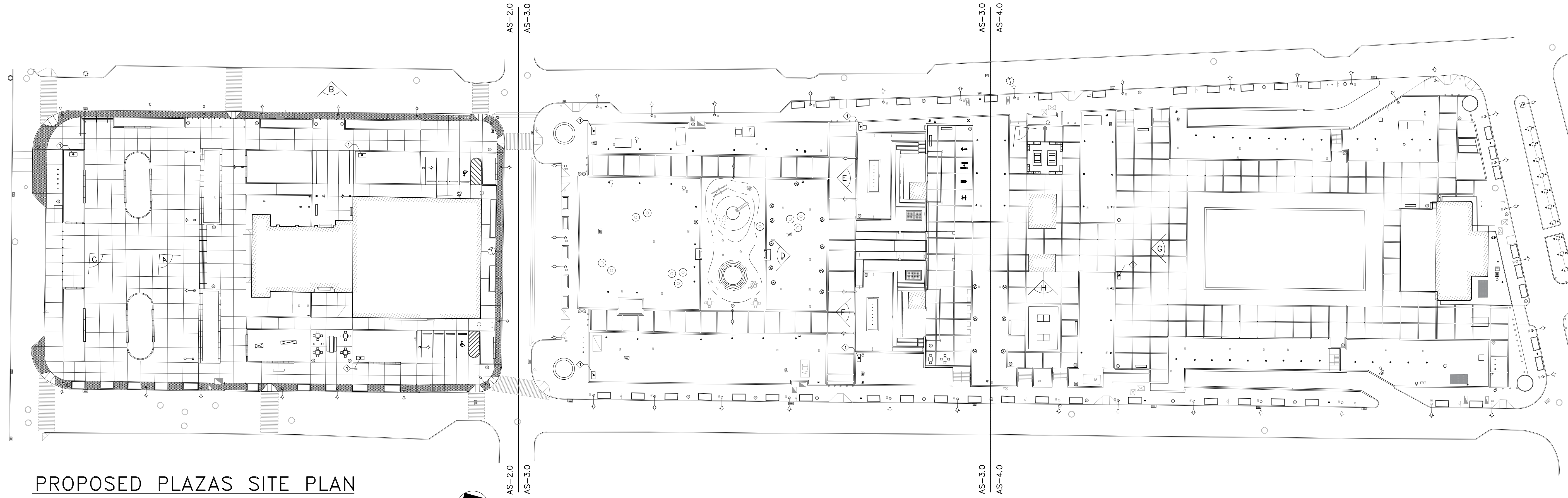
NO.	DATE	REVISION	BY	APPROVED

PROJECT
DRAWING BY/CHECKED BY
JDD I.H.

NUMBER	TOTAL
3	41

DRAWING NUMBER
DS-1.0

END PROJECT AS-2.0



PROPOSED PLAZAS SITE PLAN

SCALE: 1: 500



A STAIR & PLANTER REMODEL VIEW



B PLAZA NIGHT VIEW



C PLANTER MINI RAMP VIEW



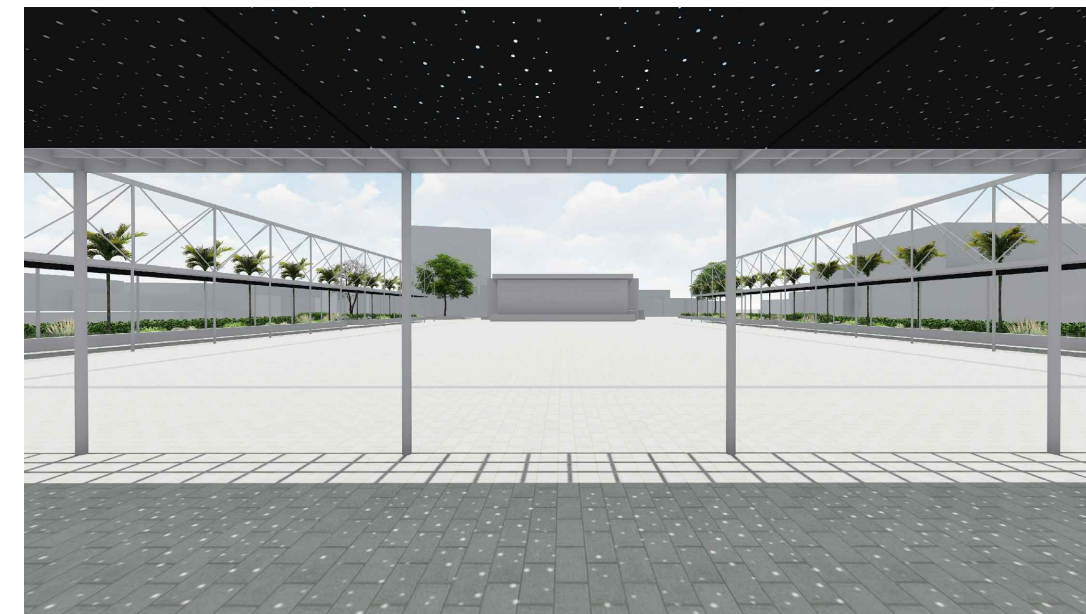
D PLAYGROUND VIEW



E WATER PLAZA I VIEW



F WATER PLAZA II VIEW



G TRELLIS AREA VIEW



H PING-PONG AREA VIEW



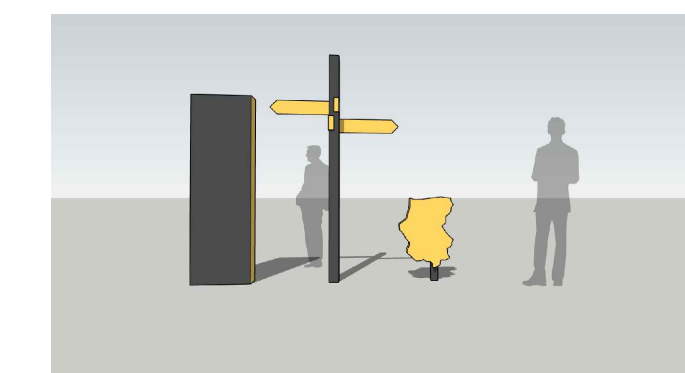
I SOLAR WORKSTATION AREA VIEW

LEGEND:

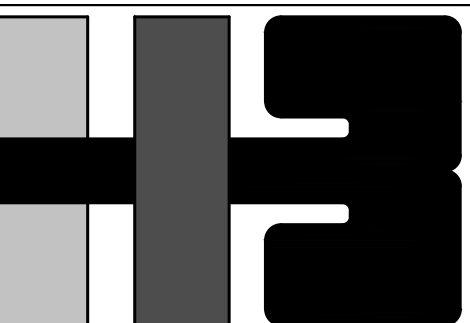
SYMBOL	DESCRIPTION
	VIEW POSITION MARKER

ANNOTATIONS:

1 NEW PROJECT SIGNAGE. SEE DETAIL ---



1 NEW PROJECT SIGNAGE
SEE DETAILS IN DWG ---



**HERNANDEZ-BAUZA
PSC, ARCHITECTS**

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TAMBIEN, CERTIFICO QUE ENTENDO QUE DICHS PLANOS Y
ESPECIFICACIONES CUMPLEN CON LAS DISPOSICIONES
APLICABLES DEL REGLAMENTO CONJUNTO Y LAS
DISPOSICIONES APPLICABLES DE LOS REGLAMENTOS Y
CODIGOS DE CONSTRUCCION VIGENTES DE LAS AGENCIAS,
JUNTAS REGLAMENTARIAS O CORPORACIONES PUBLICAS
CON JURISDICCION Y ESTAN EN CONFORMIDAD CON
CODIGOS DE CONSTRUCCION DE PUERTO RICO 2018* VIGENTE AL
15 DE NOVIEMBRE DE 2018. CERTIFICO, ADAMAS, QUE EN LA
PREPARACION DE ESTOS PLANOS Y ESPECIFICACIONES SE HA
CUMPLIDO CABALMENTE CON LO DISPUESTO EN LA LEY
NUM. 14 DE 8 DE ENERO DE 2004, SEGUN ENMENDADA,
CONOCIDA COMO LA "LEY PARA LA INVERSION POR LA
INDUSTRIA PUERTORRIQUENA" Y CON LA LEY NUM. 235 DE
15 DE MAYO DE 1938, SEGUN ENMENDADA; LEY NUM. 96 DE
6 DE JULIO DE 1978, SEGUN ENMENDADA; SEGUN ARQUIVOS
RECONOZCO QUE CUALQUIER DECLARACION FALSA O
FALSIFICACION DE LOS HECHOS QUE SE HAYA PRODUCIDO
POR DESCONOCIMIENTO O POR NEGLIGENCIA YA SEA POR
MI, MIS AGENTES O EMPLEADOS, O POR OTRAS PERSONAS CON
MI CONCOCIMIENTO, ME HACEN RESPONSABLE DE CUALQUIER
ACCION JUDICIAL Y DISCIPLINARIA POR LA DGRF.

CLIENT

MANAGER
DEPT. OF URBAN DESIGN AND
PROJECT DEVELOPMENT, MASJ.

OWNER
AUTONOMOUS MUNICIPALITY
OF SAN JUAN

PROJECT
IMPROVEMENT OF "PLAZA
DE LA CONVALESCENCIA"
AND "PLAZA DEL PILAR"

DRAWING NAME

PROPOSED SITE PLAN

COMPUTER PLOT

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OR CORRECTIONS MUST BE STRICTLY EXECUTED
ON CAD. ANY QUESTIONS PLEASE CONTACT HERNANDEZ-BAUZA

NO. DATE REVISION BY APPROVED

PROJECT

DRAWING BY/CHECKED BY

LRC I.H.

NUMBER TOTAL

7 41

DRAWING NUMBER

AS-1.0

Attachment XVII: Site information

X:240200.0

X:240250.0

X:240300.0

X:240350.0

X:240400.0

X:240450.0

Y:262600.000

Y:262550.000

Y:262500.000

Y:262450.000

Y:262400.000

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X:240300.000

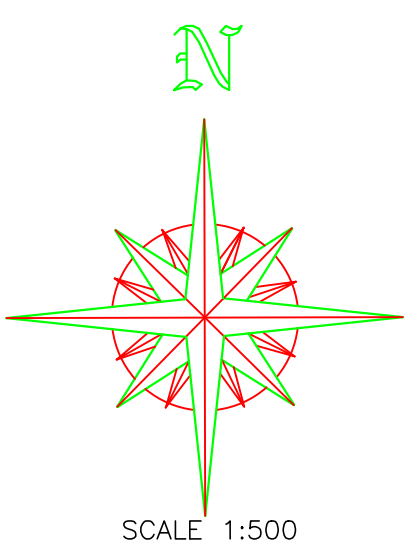
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X:240550.000



1 EXISTING TREE-PALM

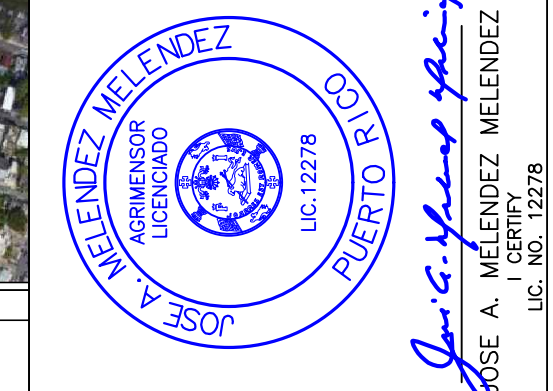
CONTROL STATIONS				
STATION	(Y) NORTH	(X) EAST	ELEVATION	DESCRIPTION
1	262505.1300	240459.3280	34.367	STA.A-VAR
2	262519.7900	240477.7420	34.751	STA.J1-NAIL
3	262519.4420	240479.2440	34.766	STA.J2-NAIL
4	262548.9590	240340.3300	30.162	STA.J3-NAIL.235
5	262590.5950	240227.5280	26.583	STA.J4-NAIL
6	262516.4830	240235.0880	27.942	STA.J6-NAIL

NOTES:

- 1) THE HORIZONTAL CONTROL ARE REFERRED TO THE LAMBERT COORDINATES SYSTEM NAD-83 (2011)(EPOCH: 2010.000, ITRF 2014 (EPOCH: 2023.5798)
- 2) THE VERTICAL CONTROL ARE REFERRED TO THE PRVD-02, GEOID 18. BY OPUS SYSTEM.
- 3) THE DECIMAL POINT DENOTE THE PLACE OF THE ELEVATION EXCEPT WHEN OTHERWISE INDICATED.
- 4) THIS SURVEY WAS CARRY OUT WITH AN R.T.K. INSTRUMENT SOUTH S82V, BASE # V1282748597GM AND ROVER # V1282749199GM.
- 5) THIS SURVEY WAS PERFORMED ON AUGUST 3 AND 4, 2023.
- 6) ALL DISTANCES AND ELEVATIONS ARE IN METERS.



REVISIONS	
DESCRIPTION	DATE



J.A.M.M. SURVEYING
 JOSE A. MELENDEZ MELENDEZ
 SURVEYING CONSULTANTS
 CALLE CRONOS A-PT VILLAS DE BUENA VISTA EN
 CAYAMA, P.R. 00981
 CELULAR (787) 644-4481

PROJECT:
 SURVEY AND TOPOGRAPHY
 PLAZA CONVALESCENCIA
 AND PLAZA DEL PILAR
 LOCATED AT
 RIO PIEDRAS
 SAN JUAN, PUERTO RICO

DRAWING TITLE:	
TREE INVENTORY PLAN	
SCALE: 1:500	DRAWING NO.
Field Work by: Laredo Gonzalez	ACP-1
Computed by: Laredo Gonzalez	
Drawn by: Laredo Gonzalez	
DATE: FEB 5, 2024	SHEET NO.
REVISIONS	1 OF 2
	SHEETS

Proyecto : PLAZA DE LA CONVALENCIA-PILAR
 Localización: RIO PIEDRAS
 Fecha: 5 FEB, 2024

TREE INVENTORY

REFERENCIA	ZONA	CONSEC	ID	ESPECIES	DBH	H	IND	ACCION	NOTAS
5 FEB, 2024	ZONA I	1	1	LAUREL DE LA INDIA	48.00	20.00	IND	CONSERVAR	BAD,FALLEN, UPROOTED
5 FEB, 2024	ZONA I	2	2	QUENEPA	9.00	20.00	IND	CONSERVAR	BAD
5 FEB, 2024	ZONA I	3	3	JAGUEY	12.00	20.00	IND	CONSERVAR	BAD
5 FEB, 2024	ZONA I	4	4	ADONIDIA	7.00	15.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	5	5	ADONIDIA	7.00	15.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	6	6	ADONIDIA	7.00	15.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	7	7	ADONIDIA	7.00	15.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	8	8	ARBOL DEL DIABLO	9.00	25.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	9	9	ADONIDIA	7.00	15.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	10	10	ADONIDIA	7.00	15.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	11	11	ADONIDIA	7.00	15.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	12	12	ADONIDIA	7.00	15.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	13	13	ADONIDIA	7.00	15.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	14	14	ALMENDRA	8.00	15.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	15	15	ADONIDIA	7.00	15.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	16	16	LAUREL DE LA INDIA	96.00	30.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	17	17	PALMA DE SOMBRERO	6.50	15.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	18	18	PALMA DE SOMBRERO	7.50	15.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	19	19	ALMACIGO	3.00	12.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	20	20	LAUREL DE LA INDIA	42.00	25.00	IND	CONSERVAR	BAD
5 FEB, 2024	ZONA I	21	21	QUENEPA	12.00	20.00	IND	CONSERVAR	BAD
5 FEB, 2024	ZONA I	22	22	ALMACIGO	11.50	20.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	23	23	LAUREL DE LA INDIA	30.00	25.00	IND	CONSERVAR	BAD
5 FEB, 2024	ZONA I	24	24	ROBLE BLANCO	2.00	12.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	25	25	MARIA	10.50	20.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	26	26	MARIA	15.00	20.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	27	27	LAUREL DE LA INDIA	14.00	18.00	IND	CONSERVAR	BAD
5 FEB, 2024	ZONA I	28	28	MARIA	16.00	25.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	29	29	LAUREL DE LA INDIA	72.00	25.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	30	30	ADONIDIA	7.00	20.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	31	31	ADONIDIA	6.00	10.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	32	32	REINA DE LAS FLORES	25.00	30.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	33	33	CAOBA DOMINICANA	41.00	40.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	34	34	MARIA	11.00	20.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	35	35	MARIA	16.00	30.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	36	36	LAUREL DE LA INDIA	96.00	40.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	37	37	PALMA REAL	11.00	35.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	38	38	PALMA REAL	12.00	35.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	39	39	PALMA REAL	11.00	35.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	40	40	LAUREL DE LA INDIA	84.00	40.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	41	41	QUENEPA	9.00	15.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	42	42	QUENEPA	7.50	18.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	43	43	REINA DE LAS FLORES	29.00	30.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	44	44	PALMA DE COCO	9.00	30.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	45	45	VOMITEL COLORADO	3.50	12.00	IND	CONSERVAR	BAD
5 FEB, 2024	ZONA I	46	46	VOMITEL COLORADO	2.00	10.00	IND	CONSERVAR	BAD
5 FEB, 2024	ZONA I	47	47	VOMITEL COLORADO	3.00	10.00	IND	CONSERVAR	BAD
5 FEB, 2024	ZONA I	48	48	VOMITEL COLORADO	3.00	10.00	IND	CONSERVAR	BAD
5 FEB, 2024	ZONA I	49	49	VOMITEL COLORADO	4.00	12.00	IND	CONSERVAR	BAD
5 FEB, 2024	ZONA I	50	50	CAOBA HIBRIDA	42.00	40.00	IND	PODAR	BAD, DEAD BRANCHES
5 FEB, 2024	ZONA I	51	51	CAOBA HIBRIDA	45.00	40.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	52	52	CAOBA HIBRIDA	43.00	40.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	53	53	CAOBA HIBRIDA	32.80	40.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	54	54	CAOBA HIBRIDA	18.00	30.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	55	55	PALMA DE SOMBRERO	8.00	18.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	56	56	PALMA DE SOMBRERO	9.00	20.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	57	57	PALMA DE SOMBRERO	8.00	18.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	58	58	PALMA DE SOMBRERO	9.00	18.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	59	59	PALMA DE SOMBRERO	9.00	18.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	60	60	VOMITEL COLORADO	3.00	12.00	IND	CONSERVAR	POOR

5 FEB, 2024	ZONA I	61	61	ROBLE BLANCO	14.00	18.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	62	62	ROBLE BLANCO	9.00	25.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	63	63	PALMA DE SOMBRERO	8.00	25.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	64	64	ROBLE BLANCO	8.00	25.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	65	65	ARBOL DEL DIABLO	5.00	15.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	66	66	ROBLE BLANCO	3.00	15.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	67	67	ROBLE BLANCO	4.00	10.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	68	68	ROBLE BLANCO	7.00	18.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	69	69	REINA DE LAS FLORES	14.00	25.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	70	70	PTEROCARPUS	34.00	40.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	71	71	PALMA DE SOMBRERO	8.00	18.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	72	72	PALMA DE SOMBRERO	8.00	18.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	73	73	PALMA DE SOMBRERO	7.50	18.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	74	74	ROBLE BLANCO	1.50	8.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	75	75	CEIBA	22.00	35.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	76	76	ROBLE BLANCO	3.50	12.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	77	77	ROBLE BLANCO	4.50	20.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	78	78	ROBLE BLANCO	3.00	12.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	79	79	ROBLE BLANCO	4.00	25.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	80	80	ROBLE BLANCO	9.50	30.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	81	81	ROBLE BLANCO	1.50	10.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	82	82	ROBLE BLANCO	1.50	12.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	83	83	PALMA DE SOMBRERO	9.00	25.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	84	84	ROBLE BLANCO	6.00	20.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	85	85	ROBLE BLANCO	6.00	20.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	86	86	ROBLE BLANCO	6.00	20.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	87	87	ROBLE BLANCO	6.00	20.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	88	88	PALMA DE SOMBRERO	8.00	18.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	89	89	PALMA DE SOMBRERO	9.00	20.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	90	90	ARBOL DE HELECHO JAPONES	8.00	18.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	91	91	ROBLE BLANCO	4.00	12.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	92	92	PALMA DE SOMBRERO	8.00	20.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	93	93	PALMA DE SOMBRERO	8.00	20.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	94	94	CAOBA HONDURENA	43.00	40.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	95	95	PALMA DE SOMBRERO	9.00	20.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	96	96	PALMA DE SOMBRERO	8.00	25.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	97	97	PALMA DE SOMBRERO	8.50	20.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	98	98	CAOBA HONDURENA	50.00	40.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	99	99	CAOBA HONDURENA	30.00	35.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	100	100	PALMA DE SOMBRERO	8.50	20.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	101	101	PALMA DE SOMBRERO	8.00	20.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	102	102	CAOBA HONDURENA	33.00	35.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	103	103	CAOBA HONDURENA	28.00	35.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	104	104	PALMA DE SOMBRERO	8.00	18.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	105	105	PALMA DE SOMBRERO	9.00	20.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	106	106	PALMA DE SOMBRERO	9.50	20.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	107	107	PALMA DE SOMBRERO	8.00	20.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	108	108	PALMA DE SOMBRERO	8.00	25.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	109	109	PTEROCARPUS	35.00	40.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	110	110	CAOBA HONDURENA	31.00	40.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	111	111	PALMA RABO DE ZORRA	8.50	20.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	112	112	PALMA RABO DE ZORRA	8.50	20.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	113	113	NONI	1.50	7.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	114	114	REINA DE LAS FLORES	17.50	25.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	115	115	ADONIDIA VENEZOLANA	6.00	25.00	IND	CONSERVAR	TRIPLE
5 FEB, 2024	ZONA I	116	116	ADONIDIA VENEZOLANA	6.00	25.00	IND	CONSERVAR	TRIPLE
5 FEB, 2024	ZONA I	117	117	ADONIDIA VENEZOLANA	6.00	25.00	IND	CONSERVAR	TRIPLE
5 FEB, 2024	ZONA I	118	118	ADONIDIA VENEZOLANA	6.00	25.00	IND	CONSERVAR	DOBLE
5 FEB, 2024	ZONA I	119	119	ADONIDIA VENEZOLANA	6.00	25.00	IND	CONSERVAR	DOBLE
5 FEB, 2024	ZONA I	120	120	ADONIDIA VENEZOLANA	6.00	25.00	IND	CONSERVAR	TRIPLE

5 FEB, 2024	ZONA I	121	121	ADONIDIA VENEZOLANA	5.50	25.00	IND	CONSERVAR	TRIPLE
5 FEB, 2024	ZONA I	122	122	ADONIDIA VENEZOLANA	5.50	25.00	IND	CONSERVAR	TRIPLE
5 FEB, 2024	ZONA I	123	123	MAGA	3.50	12.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	124	124	MAGA	7.50	15.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	125	125	MAGA	4.00	15.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	126	126	MAGA	5.00	15.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	127	127	MAGA	2.00	12.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	128	128	MAGA	4.50	15.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	129	129	MAGA	2.50	12.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	130	130	MAGA	5.00	15.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	131	131	VOMITEL COLORADO	4.00	11.00	IND	CONSERVAR	POOR
5 FEB, 2024	ZONA I	132	132	VOMITEL COLORADO	3.00	7.00	IND	CONSERVAR	POOR
5 FEB, 2024	ZONA I	133	133	VOMITEL COLORADO	3.00	7.00	IND	CONSERVAR	POOR
5 FEB, 2024	ZONA I	134	134	VOMITEL COLORADO	4.00	10.00	IND	CONSERVAR	POOR
5 FEB, 2024	ZONA I	135	135	PALMA MACARTHUR	2.00	15.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	136	136	FALSO FLAMBOYAN AMARILLO	18.00	30.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	137	137	FALSO FLAMBOYAN AMARILLO	21.00	30.00	IND	CONSERVAR	
5 FEB, 2024	ZONA I	138	138	PALMA MACARTHUR</					