

**Environmental Review for Activity/Project that is Categorically  
Excluded Subject to Section 58.5  
Pursuant to 24 CFR 58.35(a)**

**Project Information**

**Project Name:** (1) Santa Isabel Multipurpose Building Francisco Robledo (PR-CRP-001153)  
(2) Renovations to Plaza del Mercado in Santa Isabel Urban Center (PR-CRP-000759)

**Responsible Entity:** Puerto Rico Department of Housing (PRDOH)

**Grant Recipient** (if different than Responsible Entity): Municipality of Santa Isabel

**State/Local Identifier:** Puerto Rico / Municipality of Santa Isabel

**Preparer:** Architect Elí M. Martínez, SOI's Qualified Professional

**Certifying Officer Name and Title:**

Juan Carlos Perez-Bofill - Director, Disaster Recovery CDBG-DR  
Sally Z. Acevedo-Cosme - Permits and Environmental Compliance Specialist  
Pedro de León Rodríguez - Permits and Environmental Compliance Specialist  
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Janette I. Cambrelen - Permits and Environmental Compliance Specialist  
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Mónica Machuca Rios - Permits and Environmental Compliance Specialist

**Direct Comments to:** Puerto Rico Department of Housing at [environmentcdbg@vivienda.pr.gov](mailto:environmentcdbg@vivienda.pr.gov)

**Project Location:**

(1) PR-CRP-001153 Santa Isabel Multipurpose Building Francisco Robledo: Padre Severo Ferrer Ave., Urb. Santiago Apóstol, Santa Isabel (17.969282°, -66.40927°)  
(2) PR-CRP-000759, Renovations to Plaza del Mercado in Santa Isabel Urban Center: Padre Severo Ferrer Ave., Urb. San Juan Apóstol (17.968903°, -66.409195°)

Both projects share the same parcel (ID: 415-095-121-14 - <https://catastro.crimpr.net/cdprpc/>), see Attachment A for details.

**Description of the Proposed Project** [24 CFR 50.12 & 58.32; 40 CFR 1508.25]:

For Environmental Review Process, the two projects cited above are being aggregated, in compliance with §58.32. The aggregation can be considered both geographic and functional since they share the same parcel, and both involve rehabilitation of existing buildings. Also, both projects have been awarded Public Assistance funds by the Federal Emergency Management Agency (FEMA).

**(1) PR-CRP-001153 - SANTA ISABEL MULTIPURPOSE BUILDING FRANCISCO ROBLED0:**

The proposed Multiuse Building project encompasses a comprehensive scope of construction and renovation initiatives, designed to enhance functionality and aesthetics. The parcel is owned by the municipality and the activities plan to address compliance with building codes and regulations. The multipurpose building structure, while generally sound, requires comprehensive improvements to address compliance with the Americans with Disabilities Act (ADA) and with fire safety codes. Other key issues are the need replacement are windows, doors, corroded metal panels in the facade, abandoned AC units, light fixtures, damaged perimetral fences and the presence of hazardous materials such as wood partitions coated with lead-based paint. No asbestos containing material was detected. All ground disturbance will be confined to the proposed entrance on the east side of the parcel, with no expansion of the current building footprint.

Elements to address ADA compliance include a new entrance ramp, remodeling, and reconfiguration of bathrooms for ADA compliance, and adding a ramp for the stage area. Interior spaces will be reconfigured to comply with life safety codes, prioritizing occupant well-being and optimizing functionality. Also, the activities include installation of a new hung ceiling with energy-efficient light fixtures to elevate the interior ambiance and contribute to energy conservation. For more information on the improvements aimed at improving accessibility and other interior improvements refer to the architectural drawings in Attachment 0/A101-A107.

In the exterior, metal panels will be replaced on the façade and integrate roll-up doors in openings to protect windows. Parking lot resurfacing, ornamental fencing, and landscaping integration is also proposed to improve the exterior environment. For more information on the proposed exterior improvements refer to the architectural drawings in Attachment 0/SA100-SA102.

Electrical upgrades include a new electrical distribution system and panels, complemented by a modern fire alarm system for enhanced safety. For more information on the proposed electrical improvements refer to the architectural drawings in Attachment 0/E101-E104.

Additionally, more efficient air conditioning equipment, ducts, diffusers, and registers will be installed to address energy efficiency concerns. For more information on the proposed exterior improvements refer to the architectural drawings in Attachment 0/M-101-M-102.

The primary objectives of this project are to improve accessibility, upgrade existing infrastructure, enhance energy efficiency, and create a more comfortable and modern environment for the community. These improvements align with the needs of Santa Isabel's community. Upon completion, the project aims to provide a more inclusive and accessible space, improve energy efficiency, and provide a space



for the community to assemble. In summary, our approach aims to blend aesthetic enhancements with functional upgrades, creating an inclusive environment in the Multiuse Building.

Photos of existing conditions (Santa Isabel Multipurpose Building Francisco Robledo (PR-CRP-001153)):



(2) PR CRP 000759 - RENOVATION TO PLAZA DEL MERCADO IN SANTA ISABEL URBAN CENTER:

The public market structure, owned by the municipality, requires repair. The built top roof was damaged, and the metal deck is exposed allowing the entry of rainwater. All interior partitions are in poor condition due to water exposure. Electrical and plumbing in the interior need replacing. Exterior entrance areas need repair and require improvements to comply with ADA standards. Asbestos containing roof material needs to be abated along with the lead-based paint found in the exterior concrete curbs. Ground disturbance activities will be confined to the proposed entrances on the South, East, and West sides of the parcel. The existing building footprint measures 5,796 square feet. The building footprint will be increased by 15% with the incorporation of an additional 900 square feet for new spaces dedicated to outdoor vendors.

The proposed renovation for the public market encompasses various aspects, starting with the construction of inviting entrances to enhance accessibility. Inside, we aim to reconfigure the interior space to accommodate 14 new commercial units of varying sizes, complemented by the addition of 4 external spaces for vendors. The project includes the installation of new hung ceilings and energy-efficient light fixtures to improve the overall atmosphere of the commercial spaces. Bathrooms will be remodeled to comply with ADA standards, promoting inclusivity for all visitors. For more information on the improvements aimed at improving accessibility and other interior improvements refer to the architectural drawings in Attachment 00/A101-A103.

Additionally, a new ramp will be constructed in the parking lot area, ensuring ease of access and compliance with accessibility regulations. The facade will undergo repairs, addressing issues with metal panels and cement plaster to enhance both the visual appeal and structural integrity of the building. Roofing improvements, including a new roof deck and impermeabilization treatment, will contribute to the building's durability and weather resistance. Security features will be enhanced through the incorporation of roll-up doors to protect windows. The parking will be improved with the proposed resurfacing and painted parking lines. A new ornamental fence will be installed to enhance security and contribute to the overall visual appeal around the property. For more information on the improvements aimed at improving site accessibility and other exterior improvements refer to the architectural drawings in Attachment 00/SA100-SA103, A201-A202.

The electrical infrastructure will be upgraded, including the installation of a new electrical distribution system and modern electrical panels. For more information on the proposed electrical improvements refer to the architectural drawings in Attachment 0/E101-E102. Safety measures will be bolstered with the implementation of a state-of-the-art fire alarm system. To ensure optimal comfort and energy efficiency, efficient air conditioning equipment will be installed in the commercial spaces. For more information on the proposed air conditioning improvements refer to the architectural drawings in Attachment 0/ACV-101 - ACV-301.

The primary objectives of this project are to improve accessibility, upgrade existing infrastructure, enhance energy efficiency, and create a more comfortable and modern environment for both visitors and occupants. These improvements align with the needs of Santa Isabel's community. Upon completion, the project aims to provide a more inclusive and accessible space, improve energy efficiency, and elevate the overall quality of the environment for businesses and individuals within Santa

Isabel's Public Market. In summary, our approach aims to transform the public market into a contemporary, functional, and inclusive space. The project prioritizes the needs of both tenants and visitors, adhering to the highest standards of safety, accessibility, and aesthetic appeal.

Photos of existing conditions at the site (Renovations to Plaza del Mercado in Santa Isabel Urban Center (PR-CRP-000759)):



## **Funding Information**

| <b>Grant Number</b>   | <b>HUD Program</b>   | <b>Funding Amount</b> |
|---|--|-----------------------|
| B-17-DM-72-0001;<br>B-18-DP-72-0001;<br>B-19-DP-78-0002;<br>B-18-DE-72-0001 | Community Development Block Grant –<br>Disaster Recovery (CDBG-DR) | \$11,928,162,000      |

**Estimated Total HUD Funded Amount:** (1) \$1,200,000 ; (2) 1,400,000

**Estimated Total Project Cost** (HUD and non-HUD funds) [24 CFR 58.32(d)]:

| <b>(1) PR-CRP-001153 – Multipurpose Bldg.</b> |                       | <b>(2) PR CRP 000759 – Plaza del Mercado</b> |                       |
|---|-----------------------|--|-----------------------|
| HUD funds                                     | \$1,383,683.65        | HUD funds                                    | \$1,155,342.54        |
| FEMA Federal Share                            | \$488,059.54          | FEMA Federal Share                           | \$42,249.04           |
| <b>Total</b>                                  | <b>\$1,871,743.19</b> | <b>Total</b>                                 | <b>\$1,197,591.58</b> |

## **Compliance with 24 CFR 50.4, 58.5, and 58.6 Laws and Authorities**

Record below the compliance or conformance determinations for each statute, executive order, or regulation. Provide credible, traceable, and supportive source documentation for each authority. Where applicable, complete the necessary reviews or consultations and obtain or note applicable permits of approvals. Clearly note citations, dates/names/titles of contacts, and page references. Attach additional documentation as appropriate.

| <b>Compliance Factors: Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6</b> | <b>Are formal compliance steps or mitigation required?</b>                | <b>Compliance Determinations</b>  |
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| <b>STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 50.4 and 58.6</b>                       |   |   |
| <b>Airport Hazards</b><br><br>24 CFR Part 51 Subpart D  | Yes    No<br><input type="checkbox"/> <input checked="" type="checkbox"/> | The closest military airport, Luis Muñoz Marin International Airport, is located 224,211 feet to the north of the project. The closest civilian airport, Mercedita International Airport, is located 55,508 feet to the west of the project. The project is not located within 15,000 feet of a military airport or 2,500 feet of a civilian airport. Additionally, the sale, acquisition, or disposition of property is not proposed under this scope of work; thus, notification with respect to airport runway protection zones would not apply. The project is in compliance with Airport Hazards requirements. Refer to Attachment B for a map of airport locations. |



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| <b>Coastal Barrier Resources</b><br><br>Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 [16 USC 3501]          | Yes    No<br><input type="checkbox"/> <input checked="" type="checkbox"/> | According to information obtained from the U.S. Fish and Wildlife (USFWS) Coastal Barrier Resources System Mapper, the site is located outside of the Coastal Barrier Resource System. The closest resources are over 1.25 miles away from the project site. This project has no potential to impact a CBRS Unit and is complying with the Coastal Barrier Resources Act. Refer to Attachments C.   |
| <b>Flood Insurance</b><br><br>Flood Disaster Protection Act of 1973 and National Flood Insurance Reform Act of 1994 [42 USC 4001-4128 and 42 USC 5154a] | Yes    No<br><input type="checkbox"/> <input checked="" type="checkbox"/> | According to the FEMA Flood Insurance Rate Map (FIRM) (panel 72000C2060J) with an effective date of 11/18/2009), none of the projects require flood insurance due them being in a Zone X (Area of minimal Flood Hazard) and Zone X Shaded 500-yr flood area (0.2% Annual Chance Flood Hazard). Refer to maps in Attachment D.   |
| <b>STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 50.4 &amp; 58.5</b>   |   |   |
| <b>Clean Air</b><br><br>Clean Air Act, as amended, particularly section 176(c) & (d); 40 CFR Parts 6, 51, 93  | Yes    No<br><input type="checkbox"/> <input checked="" type="checkbox"/> | The proposed projects are located within an Attainment area. The projects are not located in nonattainment Status for any criteria pollutants and the Municipality is not listed in the EPA Green Book "Puerto Rico Nonattainment / Maintenance Status for Each County by Year for all Criteria Pollutants". Although construction of the project components will briefly increase emissions, there will be no substantial increase of long-term emissions as a result of this project. No increase in population density is expected as a result of project activities. The activities may result in unwanted dust, incidental to construction activities. Due to the scale of activities, this can be assumed to be below de minimis levels, and the project does not constitute a major source of air pollution. The project is in compliance with the Clean Air Act. Refer to Attachment E for Map and data for nonattainment area. |
| <b>Coastal Zone Management</b><br><br>Coastal Zone Management Act, sections 307(c) & (d)  | Yes    No<br><input type="checkbox"/> <input checked="" type="checkbox"/> | The proposed projects are not located within the Puerto Rico coastal management zone. The site location is approximately 1,248 feet from the nearest coastal zone. The project is in compliance with the Coastal Zone Management Act. Refer to Attachment F.  |
| <b>Contamination and Toxic Substances</b><br><br>24 CFR Part 50.3(i) & 58.5(i)(2)   | Yes    No<br><input checked="" type="checkbox"/> <input type="checkbox"/> | The project requires mitigations to meet HUD's toxic standards. Based on NEPAassist, Envirofacts, and EPA Echo information, there are several EPA facilities within a 3,000-foot buffer of the projects' site, including 5  |

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|   |   | <p>Hazardous Waste (RCRAInfo) generators, 1 Air Pollution (ICIS-AIR) emitter, and 1 Toxic Releases (TRI) site. The presence of these sites will not result in conflicts with the intended use of the property or the proposed construction activities. Also, none of these sites are directly adjacent to the project. The site inspection did not reveal any concerns regarding adjacent properties. Refer to Attachment G for map and facility NEPAAssist reports.</p> <p>(1) SANTA ISABEL MULTIPURPOSE BUILDING FRANCISCO ROBLEDO</p> <p>An asbestos &amp; lead based paint containing material study was performed. Paint tested positive for lead in some partition walls and doors. Asbestos containing materials (ACM) were not identified. Contaminants shall be removed by a certified professional in accordance with local and federal guidelines. Refer to Attachment 000 (Lead Based Paint Inspection Report &amp; Asbestos Containing Material Report)</p> <p>(2) RENOVATION TO PLAZA DEL MERCADO IN SANTA ISABEL URBAN CENTER</p> <p>An asbestos &amp; lead based paint containing material study was performed. Paint tested positive for lead in concrete curbs and asbestos containing roofing material was identified. Contaminants shall be removed by a certified professional in accordance with local and federal guidelines. Refer to Attachment 000 (Lead Based Paint Inspection Report &amp; Asbestos Containing Material Report)</p> |
| <p><b>Endangered Species</b></p> <p>Endangered Species Act of 1973, particularly section 7; 50 CFR Part 402</p> | <p>Yes    No</p> <p><input type="checkbox"/>    <input checked="" type="checkbox"/></p> | <p>Both these projects comply with criteria established in US Fish and Wildlife Service's Blanket Clearance Letter (BCL) issued on January 14, 2013. The proposed projects involve the rehabilitation of existing buildings. A Self-Certification to fulfill requirements related to the Blanket Clearance Letter was prepared for the proposed projects. The information was submitted to comply with Section 7 of the Endangered Species Act (ESA) April 23, 2024. Based on the information provided, the agency determined that the proposed activities qualify for the blanket clearance letter. If the project is modified the USFWS should be contacted concerning the need for the initiation of consultation under Section 7 of ESA of 1973.</p> <p>Per the Official Species List from the U.S. Fish and Wildlife Service (USFWS) Information for Planning and Consultation (IPaC) website, the Puerto Rican Boa can be found in the project area, but there are no critical habitats at this location. The closest critical habitat is</p>   |

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|   |   | <p>over 16 miles to the northeast. Project will have no potential to affect species or habitats due to the nature of the activities involved in the project. If a Puerto Rican Boa is encountered, work will cease until it moves off the site or, failing that, the USFWS will be notified to relocate the Boa.</p> <p>All proposed improvements are within the property lines and do not involve the development of previously undisturbed property or natural habitat and there are no critical habitats at this location. The proposed projects will have no effect on federally protected threatened or endangered species. See Attachment H for USFWS consultation letters, site photos, the IPaC report, and critical habitat map.</p>   |
| <b>Explosive and Flammable Hazards</b><br><br>24 CFR Part 51 Subpart C  | Yes    No<br><input type="checkbox"/> <input checked="" type="checkbox"/> | The project does not include any of the following activities: development, construction, rehabilitation that will increase residential densities, or conversion, therefore, the project is in compliance with 24 CFR Part 51 Subpart C. The project is not located near or in areas of handling of flammable, toxic or explosive chemical products. The project is in compliance with Explosive and Flammable Hazards. Refer to Field Visit Report included in Attachment I.  |
| <b>Farmlands Protection</b><br><br>Farmland Protection Policy Act of 1981, particularly sections 1504(b) and 1541; 7 CFR Part 658 | Yes    No<br><input type="checkbox"/> <input checked="" type="checkbox"/> | The project is in compliance with the Farmland Protection Policy Act. Soil is classified as Urban Land. The projects are not located on prime farmland. The project does not include any activities including new construction, acquisition of undeveloped land or conversion that could convert agricultural land to nonagricultural land use. See Attachment J.   |
| <b>Floodplain Management</b><br><br>Executive Order 11988, particularly section 2(a); 24 CFR Part 55                              | Yes    No<br><input type="checkbox"/> <input checked="" type="checkbox"/> | According to the FEMA's Flood Insurance Rate Map (FIRM) (panel 72000C2060J dated 11/18/2009) and to Advisory Base Flood Elevation (ABFE) Map (obtained from <a href="https://gis-r2-fema.hub.arcgis.com/apps/31dfa15671944086b54b55bfc03344d7/explore">https://gis-r2-fema.hub.arcgis.com/apps/31dfa15671944086b54b55bfc03344d7/explore</a> , as of December 11, 2018), (see Attachments D and K respectively), the project area is partly located within "0.2% Annual Chance Flood Zone", or Zone X Shaded, which is indicative of minimal flood hazard (also known as the 500-year flood zone). Since the activity is not considered a critical action, no mitigation activities are required. Additionally, the project involves the renovation of an existing developed area and buildings, with no changes to the footprint, thus the activity will not impact the |

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|  |   | floodplain. As such, the project is in compliance with Executive Order 11988.  |
| <b>Historic Preservation</b><br><br>National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800             | Yes    No<br><input type="checkbox"/> <input checked="" type="checkbox"/> | The complete Section 106 consultation package was submitted to SHPO December 15, 2023. SHPO concurred with the finding of “no historic properties affected within the project’s area of potential effects” via letter dated January 11, 2024.<br><br>Compliance with the drawings and specifications, as provided to PRSHPO and approved, will ensure that this project will have no adverse effects to existing historic properties. No additional mitigation is required. Thus, both projects comply with the National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800. Refer to Attachment L. |
| <b>Noise Abatement and Control</b><br><br>Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B | Yes    No<br><input type="checkbox"/> <input checked="" type="checkbox"/> | As the project does not involve the construction or rehabilitation of a residential space, it is not considered to be a noise sensitive project, and therefore, a noise assessment was not required. Noise may be generated by construction activities, but construction noise is not anticipated to impact the surrounding neighborhood. The project is in compliance with HUD's Noise regulation.  |
| <b>Sole Source Aquifers</b><br><br>Safe Drinking Water Act of 1974, as amended, particularly section 1424(e); 40 CFR Part 149                  | Yes    No<br><input type="checkbox"/> <input checked="" type="checkbox"/> | There are no Sole Source Aquifers in Puerto Rico. The project consists of activities that are unlikely to have adverse impact on groundwater resources. The project is in compliance without further evaluation. Refer to Attachment M.  |
| <b>Wetlands Protection</b><br><br>Executive Order 11990, particularly sections 2 and 5   | Yes    No<br><input type="checkbox"/> <input checked="" type="checkbox"/> | The National Wetlands Inventory (NWI) mapping shows no wetlands in the vicinity of the project area. The proposed projects are in compliance with Executive Order 11990. Refer to map on Attachment N.   |
| <b>Wild and Scenic Rivers</b><br><br>Wild and Scenic Rivers Act of 1968, particularly section 7(b) and (c)                                     | Yes    No<br><input type="checkbox"/> <input checked="" type="checkbox"/> | Puerto Rico has three Wild and Scenic Rivers which are located in the east side of Puerto Rico. The closest wild and scenic river is 45.34 miles of the proposed project site, thus the project is in compliance with Wild and Scenic Rivers Act. Refer to Attachment O.   |
| <b>ENVIRONMENTAL JUSTICE</b>   |   |  |
| <b>Environmental Justice</b><br><br>Executive Order 12898  | Yes    No<br><input type="checkbox"/> <input checked="" type="checkbox"/> | The project will benefit low- and moderate-income communities. Thus, there will be no disproportionate impact on these communities. No adverse environmental impacts were identified in the project's  |



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|  |  | total environmental review. Therefore, the proposed activity complies with Executive Order 12898. |
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**Field Inspection** (Date and completed by):

Field Inspection on March 13, 2023, Elí M. Martínez.

- (1) The Multipurpose Building is situated on the same lot as Plaza del Mercado, located approximately 33 meters outside Santa Isabel's traditional urban center. Serving as the entrance to Jardines de Santa Isabel housing complex, the structure is a single level with a mezzanine, spanning 9,225 square feet. It includes a lobby, administrative office, storage spaces, and a multipurpose room with amenities. The site features parking, emergency exits, and is surrounded by a community park, private residences, and Plaza del Mercado. The existing structure, made of steel columns, concrete block walls, and a metal deck roof, is in good condition with some exterior wall damage.
- (2) The structure, situated at the corner of Roman Baldorioty de Castro Street and #4 Street, serves as the entrance to the Jardines de Santa Isabel housing complex and is outside Santa Isabel's traditional urban sector. Located on the same lot, the Plaza del Mercado shares this location outside the urban center. The existing single-level structure, covering 5,796 square feet, has undergone interior renovations in the 1990s, featuring two bathrooms, an administrative office, and parking areas with a capacity for thirty-nine spaces. Despite some damage to exterior walls and roof caused by Hurricane Maria, the main structure is in good condition and suitable for restoration.

Refer to Attachment I and the project description for site photos.

**Summary of Findings and Conclusions:**

The activities will be performed in an urban setting, where no impact to endangered or threatened species is expected. Also, the action will not change the use of the site. The environmental review confirms that this project does not represent a significant environmental impact due to the urban surroundings in which it is located.

As noted in the estimated project cost, the facilities subject to the proposed project have also been granted FEMA funding under its Public Assistance program. As such, the grant recipient should be aware of conditions set forth by FEMA Environmental and Historic Preservation's (EHP) compliance evaluation, known as the Record of Environmental Consideration (REC). The conditions should be addressed during project development to ensure funding availability at close out. The conditions are listed in the table below for awareness of the subrecipient. Copies of the RECs and project reports are included in Attachment P as reference. The reports were obtained from FEMA's Grants Portal platform (<https://grantee.fema.gov/>).

## FEMA Conditions for Project (1) Santa Isabel Multipurpose Building Francisco Robledo (PR-CRP-001153)

| FEMA condition  | Recommendations   |
|---|---|
| <p>Endangered Species Act:</p> <p>1. Inform all personnel about the potential presence of the PR boa and the VI boa in areas where the proposed work will be conducted. Photographs of the PR and VI Boa are to be prominently displayed at the site. The recipient must ensure that project personnel is able to correctly identify a PR or VI boa. For information on PR boa, please visit: <a href="https://ecos.fws.gov/ecp/species/6628">https://ecos.fws.gov/ecp/species/6628</a>.</p> <p>2. Prior to any construction activity, including removal of vegetation and earth movement, the boundaries of the project area must be delineated, buffer zones, and areas to be excluded and protected, should be clearly marked in the project plan and in the field to avoid further habitat degradation into forested areas. Once areas are clearly marked, and prior to any construction activity, including site preparation, project personnel able to correctly identify a PR or VI boa must survey the areas to be cleared to ensure that no boas are present within the work area. Vehicle and equipment operation must remain on designated access roads/paths and within rights-of way.</p> <p>3. If a PR boa is found within any of the working or construction areas, activities should stop in the area where the boa was found. Do not capture the boa. If boas need to be moved out of harm's way, project personnel designated by the recipient shall immediately contact the Puerto Rico Department of Natural and Environmental Resources (PRDNER) Rangers for safe capture and relocation of the animal (PRDNER phone #s: 787-724-5700, 787-230-5550, 787-771-1124). If immediate relocation is not an option, project-related activities at this area must stop until the boa moves out of harm's way on its own. Activities at other work sites, where no boas have been found after surveying the area, may continue.</p> <p>4. Measures should be taken to avoid and minimize PR boa casualties by heavy machinery or motor vehicles being used on site. Any heavy machinery left on site (staging) or near potential PR boa habitat (within 50 meters of potential boa habitat), needs to be thoroughly inspected each morning before work</p> | <p><i>1. When the Blanket Clearance Letter is applied, the sub applicant is expected to implement Best Management Practices (BMP) to ensure impact from erosion and sedimentation are appropriately minimized. Thus, sub-applicant should keep documents that serve as evidence of BMP implementation. If found onsite, take photographs of the PR Boa and document BMPs implemented. Ensure all contractors are informed about BMPs related to the PR Boa if discovered onsite.</i></p> <p><i>2. Subrecipient should ensure the contractor is trained in boa identification and schedule surveys onsite. Document any identified boa sightings.</i></p> <p style="text-align: right;">May8, 2024</p> <p><i>3. If snakes are found onsite, take photographs and document BMPs implemented. Ensure all contractors are informed and trained on BMPs related to snakes if discovered onsite, and coordinate with the PR DNER on relocation prior to resuming work.</i></p> <p><i>4. Subrecipient should ensure the contractor is trained in boa identification and schedule surveys onsite. Document any identified boa sightings. Inspect vehicles left onsite prior to construction activities. If a boa is discovered, coordinate with PRDNER.</i></p> |

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| <p>starts to ensure that no boas have sheltered within engine compartments or other areas of the equipment. If PR boas are found within vehicles or equipment, do not capture the animal and let it move on its own or call PRDNER Rangers for safe capture and relocation of the boa (PRDNER phone #s: 787-724-5700, 787-230-5550, 787-771-1124). If not possible, the animal should be left alone until it leaves the vehicle on its own.</p> <p>5. PR boas may seek shelter in debris piles. Measures should be taken to avoid and minimize boa casualties associated with sheltering in debris piles as a result of project activities. Debris piles should be placed far away from forested areas. Prior to moving, disposing or shredding, debris piles should be carefully inspected for the presence of boas. If PR boas are, found within debris piles, do not capture the animal and let it move on its own or call PRDNER Rangers for safe capture and relocation of the animal. If debris piles will be left on site, we recommend they be placed in areas that will not be disturbed in the future.</p> <p>6. For all boa sightings (dead or alive), personnel designated by the recipient must record the time and date of the sighting and the specific location where the boa was found. Data should also include a photo of the animal dead or alive, and site GPS coordinates, and comments on how the animal was detected and its behavior. If the PR boa was accidentally killed as part of the project actions, please include information on what conservation measures had been implemented and what actions will be taken to avoid further killings. All boasighting reports should be sent to the USFWS Caribbean Ecological Services Field Office, Marelisa Rivera - Deputy Field Supervisor, 787- 851-7297 extension 206, 787-510-5207, marelisa_rivera@fws.gov. For Virgin Islands Boas in St. Thomas and Steven's Cay US Virgin Islands (VI boas have not been reported on St. Croix or St. John):</p> <p>7. Follow the same guidance above but contact the VI Division of Fish and Wildlife (VIDFW), for technical assistance (340-775-6762) and capture of any VI boas. For information on USVI boa, please visit: <a href="https://ecos.fws.gov/ecp/species/">https://ecos.fws.gov/ecp/species/</a></p> | <p><b>5. Inspect debris piles onsite prior to construction activities. Avoid disturbing debris. If a boa is discovered, coordinate with PRDNER.</b></p> <p><b>6. If boas are found onsite, take photographs and document BMPs implemented. Ensure all contractors are informed and trained on BMPs related to snakes if discovered onsite, and coordinate with the PR DNER and USFWS Caribbean Ecological Services Field Office, Marelisa Rivera on relocation prior to resuming work. Ensure all conservation and mitigation measures related to the PR Boa are well documented.</b></p> <p><b>6. If boas are found onsite, coordinate with the VI Division of Fish and Wildlife (VIDFW).</b></p> |
| <p>Resource Conservation and Recovery Act (RCRA):</p> <p>1. The Applicant shall handle, manage, and dispose of all solid and hazardous waste in accordance with requirements of local, state, and federal laws,</p>   | <p><b>1. Subrecipient should ensure the waste hauler has all operation permits up to date and keep copies of these as proof of compliance. Keep waste hauler's invoices and manifests as</b></p>   |

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| <p>regulations, and ordinances. In addition, the Applicant shall ensure that all debris is separated and disposed of in a manner consistent with the PR DNER guidelines at a permitted site or landfill.</p> <p>2. For asbestos containing material and lead base paint the Applicant shall handle, manage, and dispose of all types of hazardous waste in accordance with requirements of local, state, and federal laws, regulations, and ordinances. In addition, the Applicant shall ensure that all debris is separated and disposed of in a manner consistent with the PR-DNER guidelines at a permitted site or landfill or provide evidence of the close out permit from PR-DNER for activities of remediation, abatement or removal of those materials.</p> <p>3. If roads/embankments: All construction material and debris deposited in eroded embankments must be removed before start of work. Final disposal of bituminous and any non-recyclable debris materials resulting from the restoration and demolition activities must take place at an authorized sanitary landfill. Noncompliance with these requirements may jeopardize receipt of federal funds.</p> | <p><i>proof of compliance. The waste hauler should provide a letter indicating the final disposal site of the waste.</i></p> <p><i>2. Make sure the waste hauler has all operation permits up to date, keep copies of these as proof of compliance. The waste hauler can provide a letter indicating the final disposal site. If no ACM/LBP materials are generated, prepare a memorandum to indicate so.</i></p> <p><i>3. Make sure the waste hauler has all operation permits up to date, keep copies of these as proof of compliance. The waste hauler can provide a letter indicating the final disposal site. If no bituminous/non-recyclable debris materials are generated, prepare a memorandum to indicate so.</i></p> |
|--|---|

### **FEMA Conditions for Project (2) Renovations to Plaza del Mercado in Santa Isabel Urban Center (PR-CRP-000759)**

| FEMA condition   | Recommendations   |
|--|---|
| <p>Resource Conservation and Recovery Act (RCRA):</p> <p>1. The Applicant shall handle, manage, and dispose of all solid and hazardous waste in accordance with requirements of local, state, and federal laws, regulations, and ordinances. In addition, the Applicant shall ensure that all debris is separated and disposed of in a manner consistent with the PR DNER guidelines at a permitted site or landfill.</p> <p>2. All construction material and debris deposited in eroded embankments must be removed before start of work. Final disposal of bituminous and any non-recyclable debris materials resulting from the restoration and demolition activities must take place at an authorized sanitary landfill. Any changes to the approved scope of work will require resubmission through the State to FEMA for re-evaluation for compliance with the National Environmental Policy Act. Noncompliance with these requirements may jeopardize receipt of federal funds.</p> | <p><i>1. Subrecipient should ensure the waste hauler has all operation permits up to date and keep copies of these as proof of compliance. Keep waste hauler's invoices and manifests as proof of compliance. The waste hauler should provide a letter indicating the final disposal site of the waste.</i></p> <p><i>2. Make sure the waste hauler has all operation permits up to date, keep copies of these as proof of compliance. The waste hauler can provide a letter indicating the final disposal site. If no bituminous/non-recyclable debris materials are generated, prepare a memorandum to indicate so.</i></p> |

|   |  |
|---|--|
| 3. Unusable equipment, debris, white goods, scrap metal any other material shall be disposed in approved manner and location. In the event significant items are discovered during the implementation or development of the project the Applicant shall handle, manage, and dispose petroleum products, hazardous materials and toxic waste in accordance to the requirements of the local and federal agencies. Noncompliance with these requirements may jeopardize receipt of federal funds. | <i>3. If there are materials for disposal that include petroleum products, hazardous materials and toxics, a specialized company must be contracted to handle the material and its disposal. Use only contractors that are licensed for handling this type of waste.</i> |
|---|--|

### **Mitigation Measures and Conditions [40 CFR 1505.2(c)]**

Summarize below all mitigation measures adopted by the Responsible Entity to reduce, avoid, or eliminate adverse environmental impacts and to avoid non-compliance or non-conformance with the above-listed authorities and factors. These measures/conditions must be incorporated into project contracts, development agreements, and other relevant documents. The staff responsible for implementing and monitoring mitigation measures should be clearly identified in the mitigation plan.

| <b>Law, Authority, or Factor</b>   | <b>Mitigation Measure</b>  |
|------------------------------------|--|
| Contamination and Toxic Substances | <p>(1) SANTA ISABEL MULTIPURPOSE BUILDING FRANCISCO ROBLED0 Lead-based paint in partition walls must be removed by a certified company in compliance with local and federal regulations. Refer to Attachment 000</p> <p>(2) RENOVATION TO PLAZA DEL MERCADO IN SANTA ISABEL URBAN CENTER<br/>Asbestos containing roof material and the lead-based paint in concrete curbs must be removed by a certified company in compliance with local and federal regulations. Refer to Attachment 000</p> |

**Determination:**

- ☐ This categorically excluded activity/project converts to Exempt, per 58.34(a)(12) because there are no circumstances which require compliance with any of the federal laws and authorities cited at §58.5. **Funds may be committed and drawn down after certification of this part** for this (now) EXEMPT project; OR
- ☒ This categorically excluded activity/project cannot convert to Exempt because there are circumstances which require compliance with one or more federal laws and authorities cited at §58.5. Complete consultation/mitigation protocol requirements, **publish NOI/RROF and obtain "Authority to Use Grant Funds"** (HUD 7015.16) per Section 58.70 and 58.71 before committing or drawing down any funds; OR
- ☐ This project is now subject to a full Environmental Assessment according to Part 58 Subpart E due to extraordinary circumstances (Section 58.35(c)).

Preparer Signature:  Date: May 3, 2024

Name/Title/Organization: ELI M. MARTINEZ - ARCHITECT

Certifying Officer Signature:  Date: May 6, 2024

Name/Title: Santa D. Ramirez Lebron / Permits and Environmental Compliance Specialist

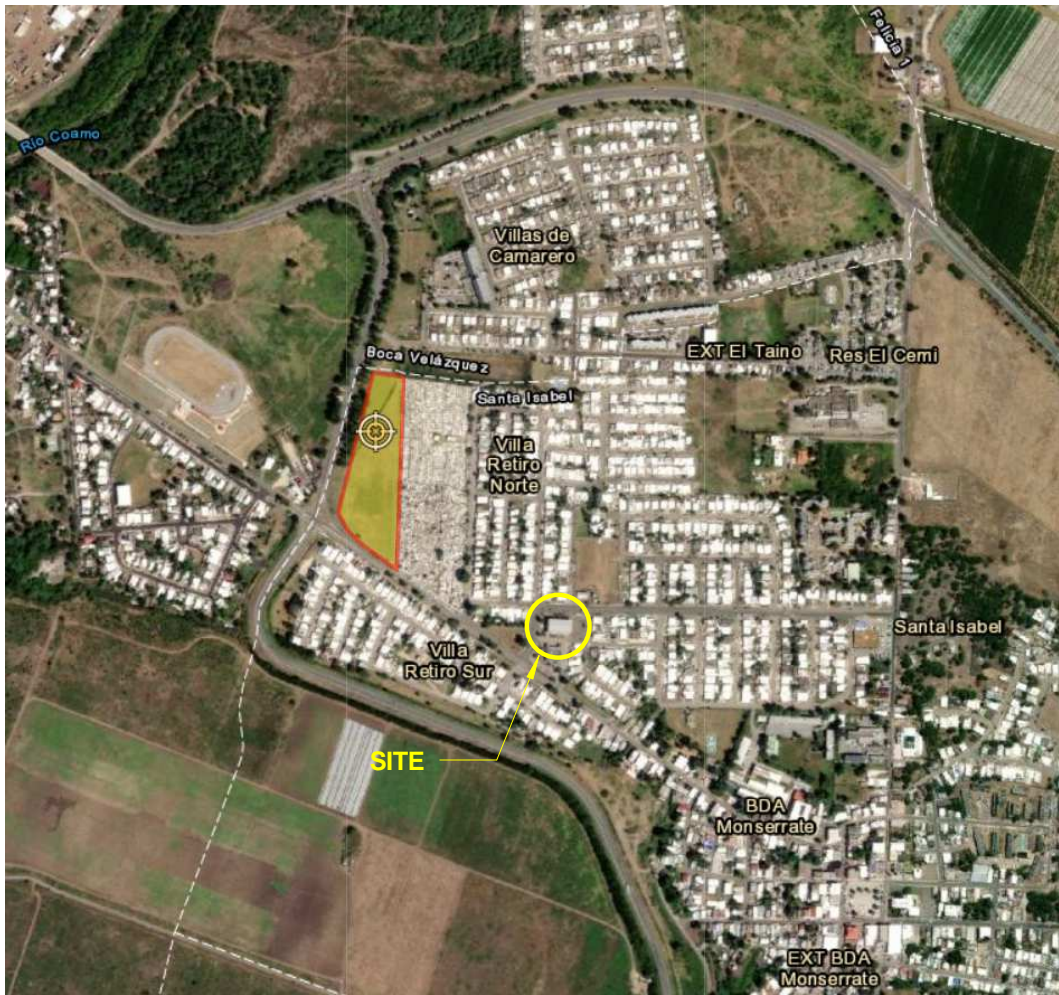
This original, signed document and related supporting material must be retained on file by the Responsible Entity in an Environmental Review Record (ERR) for the activity/project (ref: 24 CFR Part 58.38) and in accordance with recordkeeping requirements for the HUD program(s).

## List of Attachments

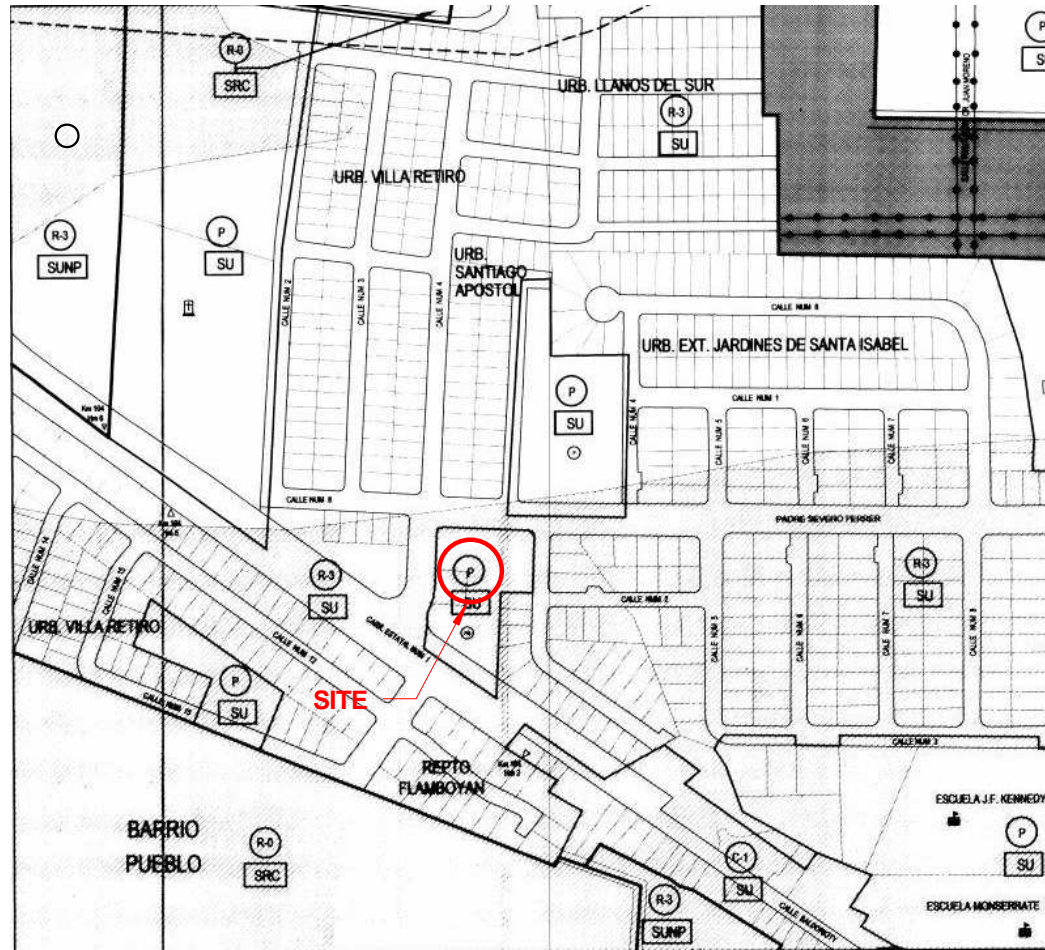
|                 |   |
|-----------------|---|
| Attachment 0    | (1) Santa Isabel Multipurpose Building Francisco Robledo Plans  |
| Attachment 00   | (2) Renovation To Plaza Del Mercado In Santa Isabel Urban Center Plans  |
| Attachment 000  | (1) Santa Isabel Multipurpose Building Francisco Robledo Lead Based Paint Inspection Report & Asbestos Containing Material Report         |
| Attachment 0000 | (2) Renovation To Plaza Del Mercado In Santa Isabel Urban Center Lead Based Paint Inspection Report & Asbestos Containing Material Report |
| Attachment A    | Location Map  |
| Attachment B    | Airport Hazards   |
| Attachment C    | Coastal Barrier Resources   |
| Attachment D    | Flood Insurance   |
| Attachment E    | Clean Air   |
| Attachment F    | Coastal Zone Management   |
| Attachment G    | Contamination And Toxic Substances  |
| Attachment H    | Endangered Species  |
| Attachment I    | Field Visit Checklist & Site Evaluation   |
| Attachment J    | Farmlands Protection  |
| Attachment K    | Floodplain Management   |
| Attachment L    | Historic Preservation   |
| Attachment M    | Sole Source Aquifers  |
| Attachment N    | Wetlands Protection   |
| Attachment O    | Wild And Scenic Rivers  |
| Attachment P    | FEMA REC and Project Reports  |

ATTACHMENT 0  
(1) Santa Isabel Multipurpose Building Francisco Robledo  
CONSTRUCTION PLANS 90%

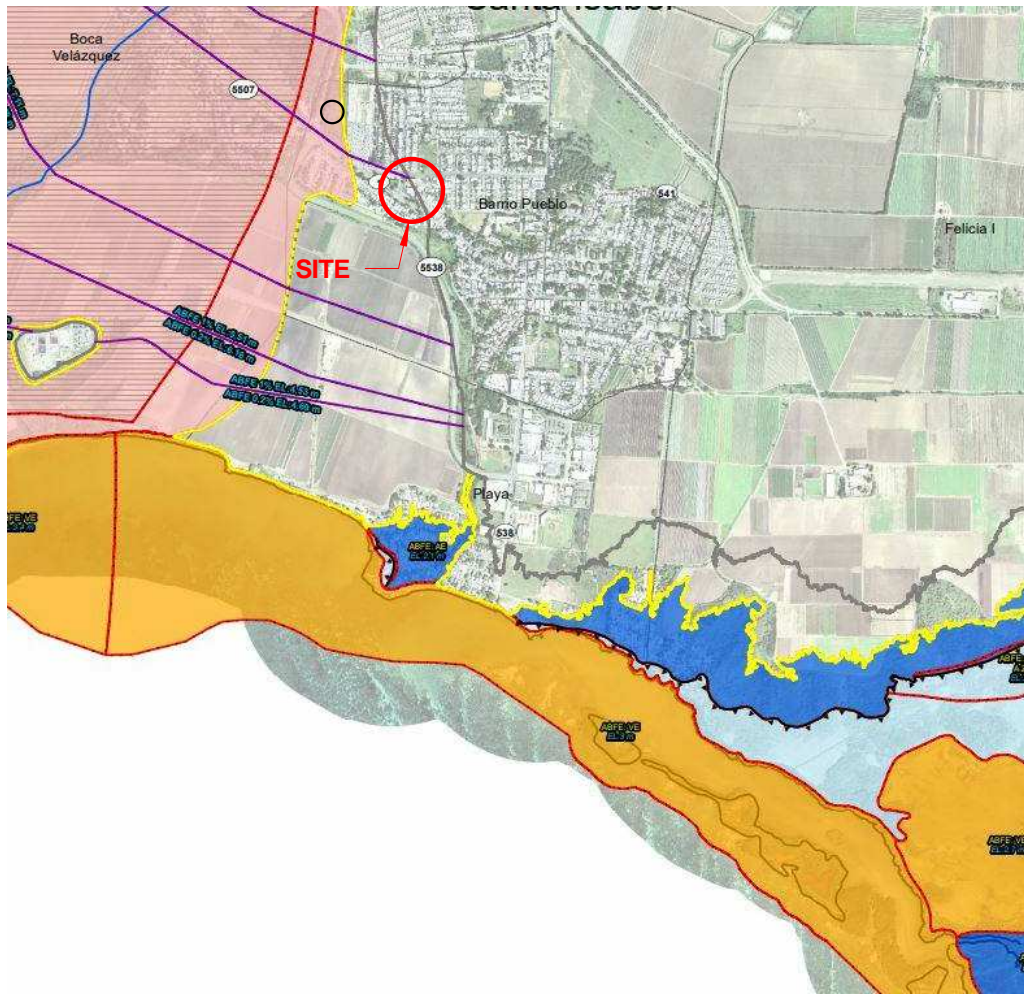




LOCATION PLAN  
x: 202567.4831  
y: 215023.6049



MAPA DE  
ZONIFICACION #4  
VIGENCIA: 18 DE JULIO  
DE 2001



FLOOD PLAN  
ZONE A & ZONE X  
72000C20601  
VIGENCIA: 13 DE  
ABRIL DE 2018



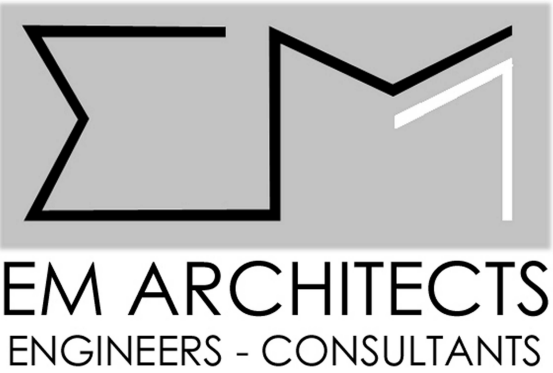
MUNICIPIO DE SANTA ISABEL  
HON. RAFAEL "BILLY" BURGOS SANTIAGO

# SANTA ISABEL MULTIPURPOSE BUILDING FRANCISCO ROBLEDO [PR-CRP-001153]

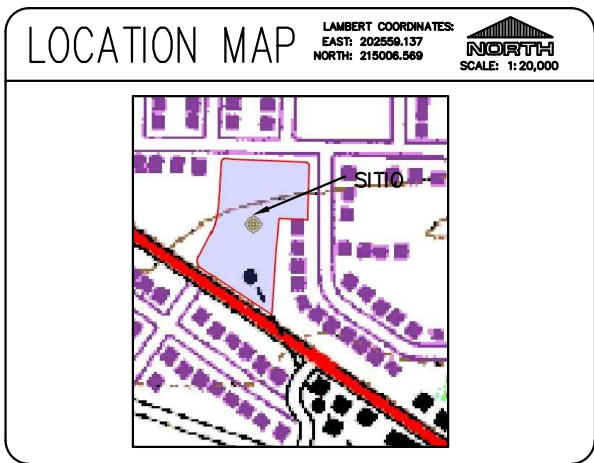
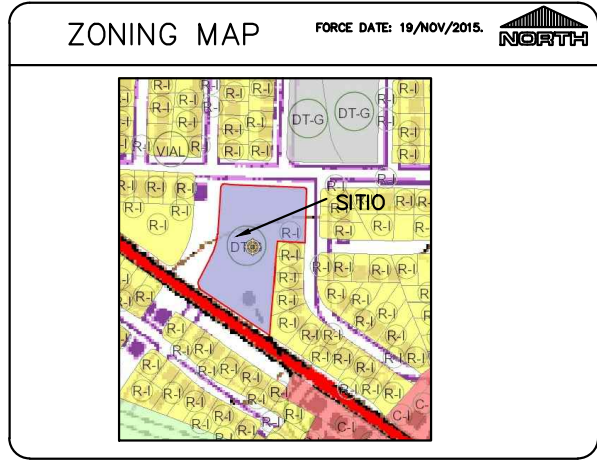
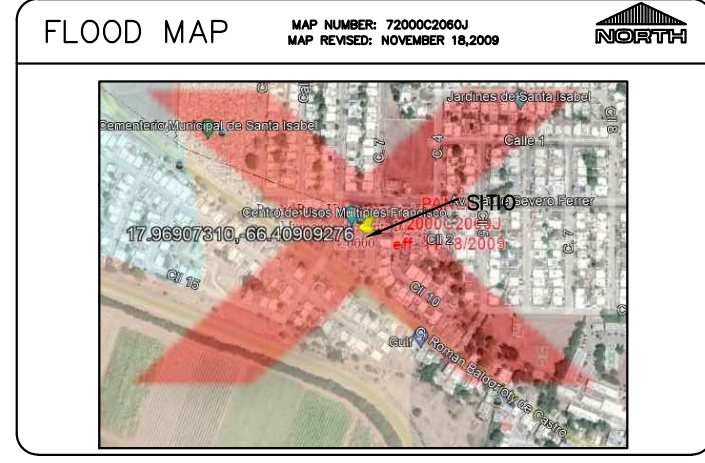
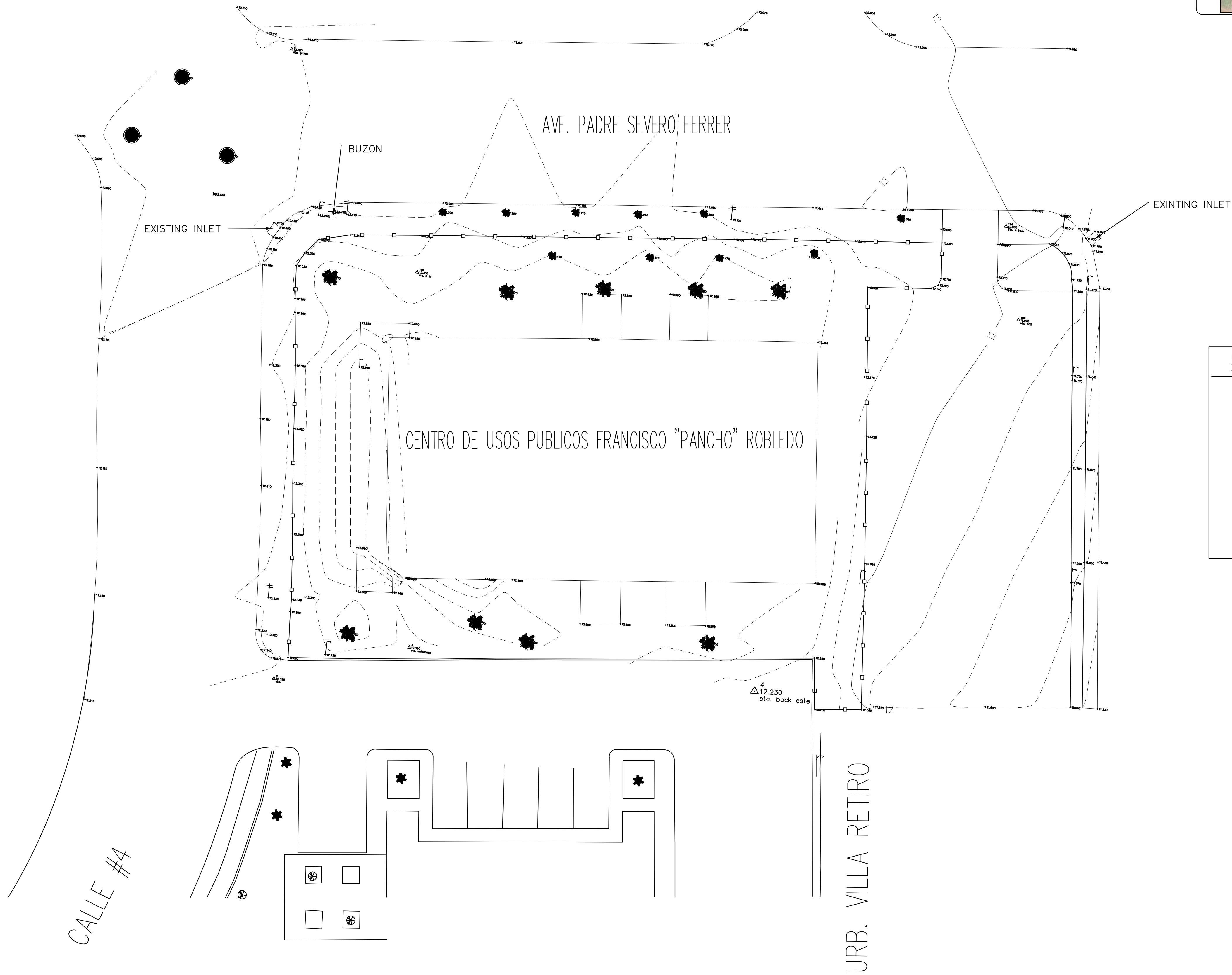
SANTA ISABEL, PUERTO RICO

CONSTRUCTION PLANS  
JANUARY 29, 2024

| DRAWING INDEX |                    |   |
|---------------|--------------------|---|
| SHEET NUMBER  | SHEET NOMENCLATURE | SHEET NAME  |
| 01            | T100               | TITLE SHEET   |
| 02            | C-1                | PLANO ASBUILT   |
| 03            | DS101              | DEMOLITION SITE PLAN                                  |
| 04            | EX101              | EXISTING & DEMOLITION PLAN - 1ST LEVEL                |
| 05            | EX102              | EXISTING FLOOR PLAN AND DEMOLITION - 2ND LEVEL        |
| 06            | EX103              | EXISTING REFLECTED CEILING AND DEMOLITION - 1ST LEVEL |
| 07            | EX104              | EXISTING REFLECTED CEILING AND DEMOLITION - 2ND LEVEL |
| 08            | EX201              | EXISTING ELEVATIONS AND DEMOLITION                    |
| 09            | EX202              | EXISTING ELEVATIONS AND DEMOLITION                    |
| 10            | EX301              | EXISTING SECTIONS                                     |
| 11            | SA100              | GENERAL SITE PLAN                                     |
| 12            | SA101              | ENLARGED VIEW - ARCHITECTURAL SITE PLAN               |
| 13            | SA102              | ENLARGED VIEW - ARCHITECTURAL SITE PLAN               |
| 14            | SA103              | ARCHITECTURAL SITE DETAILS                            |
| 15            | A000               | NOTES & GENERAL LEGEND                                |
| 16            | A001               | PERSPECTIVE VIEW                                      |
| 17            | A101               | PROPOSED FLOOR PLAN - 1ST LEVEL                       |
| 18            | A102               | PROPOSED FLOOR PLAN - 2ND LEVEL                       |
| 20            | A103               | FLOOR PATTERN - 1ST LEVEL                             |
| 21            | A104               | FLOOR PATTERN - 2ND LEVEL                             |
| 22            | A105               | PROPOSED REFLECTED CEILING - 1ST LEVEL                |
| 23            | A106               | PROPOSED REFLECTED CEILING - 2ND LEVEL                |
| 24            | A107               | ARCHITECTURAL ROOF PLAN                               |
| 25            | A201               | PROPOSED ELEVATIONS                                   |
| 26            | A202               | PROPOSED ELEVATIONS                                   |
| 27            | A203               | ELEVATIONS - ENLARGED VIEW                            |
| 28            | A301               | PROPOSED SECTIONS                                     |
| 29            | A501               | ENLARGED VIEW - BATHROOMS                             |
| 30            | A502               | ENLARGED VIEW - SNACK BAR                             |
| 31            | A503               | ENLARGED VIEW - HANDICAPPED RAMP AND STAIR            |
| 33            | A504               | ENLARGED VIEW - STAGE                                 |
| 34            | A601               | DOOR AND WINDOW SCHEDULES                             |
| 35            | A701               | SAFETY PLAN - FIRST LEVEL                             |
| 36            | A702               | SAFETY PLAN - SECOND LEVEL                            |
| 37            | ST101              | FOUNDATION PLAN AND STRUCTURAL DETAILS                |
| 38            | ST200              | FOUNDATION DETAILS                                    |
| 39            | M-101              | AIR CONDITIONING                                      |
| 40            | M-102              | AIR CONDITIONING MEZZANINE FLOOR PLAN                 |
| 41            | SE101              | ELECTRICAL SITE PLAN                                  |
| 42            | E101               | LIGHTING, FIRE ALARM PLAN - 1ST LEVEL                 |
| 43            | E102               | LIGHTING, FIRE ALARM PLAN - 2ND LEVEL                 |
| 44            | E103               | POWER & TELEPHONE, CABLE TV PLAN - 1ST LEVEL          |
| 45            | E104               | POWER & TELEPHONE, CABLE TV PLAN - 2ND LEVEL          |







| ESTACIONES DE CONTROL |             |             |           |                |
|-----------------------|-------------|-------------|-----------|----------------|
| ESTACION              | (Y) NORTE   | (X) ESTE    | ELEVACION | DESCRIPCION    |
| 4                     | 215031.4498 | 202579.6687 | 12.23     | sta. back este |
| 1                     | 215002.9404 | 202525.0071 | 12.19     | sta. 1         |
| 2                     | 215032.5747 | 202536.9492 | 12.33     | sta.           |
| 3                     | 215088.5122 | 202538.5328 | 12.18     | sta. buzón     |
| 4                     | 215035.3325 | 202548.9785 | 12.39     | sta. safacones |
| 110                   | 215068.6861 | 202549.6829 | 12.35     | sta. 6 in      |
| 114                   | 215072.7584 | 202602.0172 | 12.03     | Sta. 4 back    |
| 169                   | 215064.4215 | 202603.1158 | 11.97     | sta. 505       |

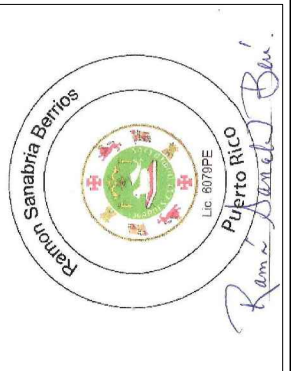
| LEGEND: |                         |
|---------|-------------------------|
| SYMBOL  | DESCRIPTION             |
| —       | PROPERTY LINES          |
| —○—     | METAL FENCE             |
| —○—     | CHAIN LINK FENCE        |
| —○—     | BARBED WIRE FENCE       |
| —○—     | WATER CONTAINERS        |
| —○—     | INTERMEDIATE CONTAINERS |
| —○—     | POINTS                  |
| —○—     | STATIONS                |
| —○—     | ROAD MARK               |
| —○—     | REINFORCED POINTS       |
| —○—     | VEHICLES                |
| —○—     | CATCH BASINS            |
| —○—     | HEADWALLS               |
| —○—     | LIGHTING POLES          |
| —○—     | POWER POLES             |
| —○—     | TELEPHONE POLES         |
| —○—     | TREES                   |

## NOTAS

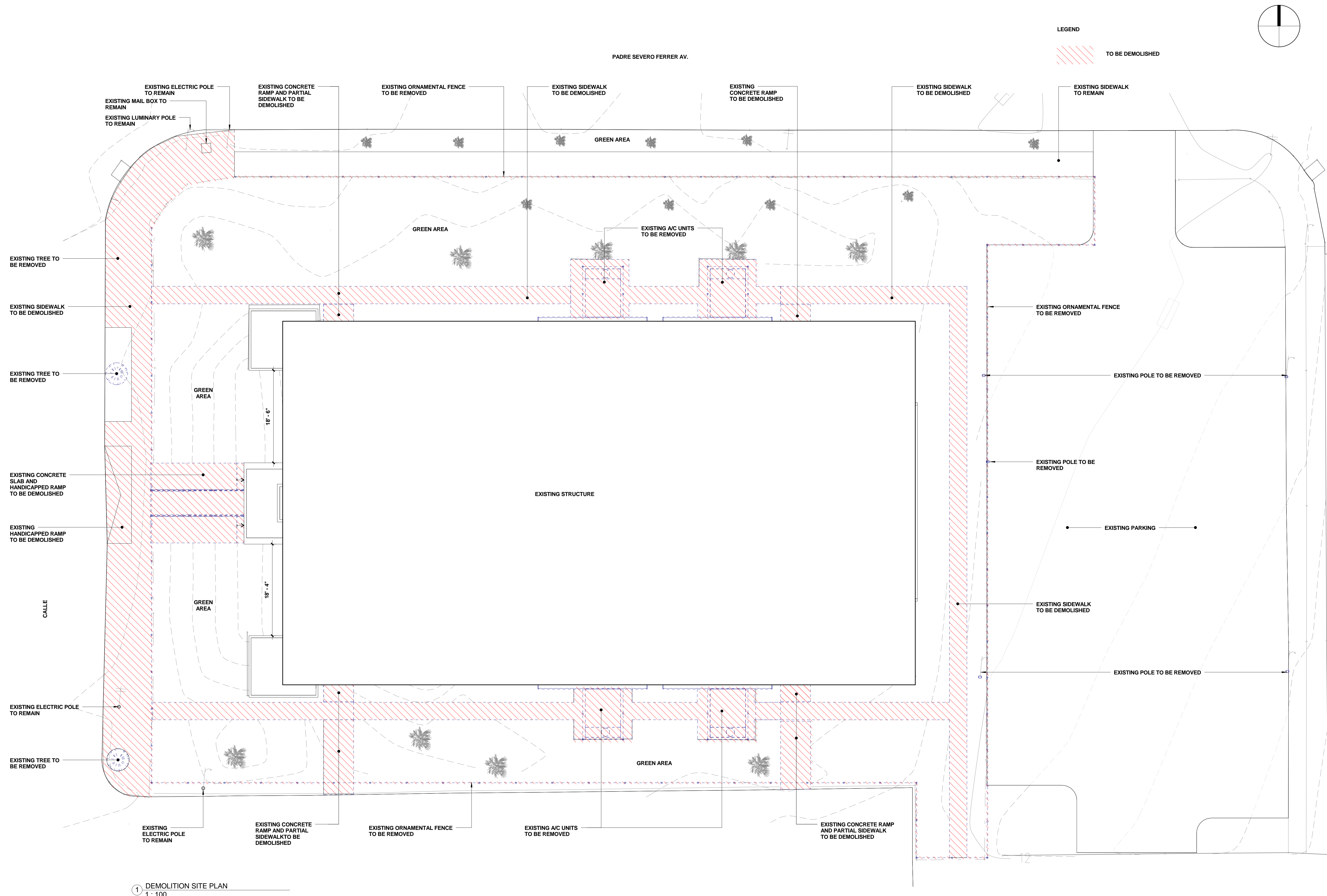
- ESTE PLANO ESTA REFERIDO AL SISTEMA DE COORDENADAS PLANAS ESTATALES LAMBERT NAD 83 (2011) EPOCH: 2010.0000 Y LAS ELEVACIONES ESTAN REFERIDAS AL PRVD02 UTILIZANDO :ORTHOMRTRIC HEIGHT DERIVED BY GPS UTILIZANDO EL GEIOD HYBRID MODEL 2018.
- TODAS LAS MEDIDAS ESTAN EXPRESADAS EN METROS, AL MENOS QUE SE INDIQUE LO CONTRARIO.
- LA INFORMACION MOSTRADA EN ESTE PLANO REPRESENTA EL RESULTADO DE LAS MEDICIONES HECHAS PARA LA FECHA INDICADA EN EL PLANO Y SOLO PUEDE SER CONSIDERADA COMO UNA INDICACION DE LAS CONDICIONES EXISTENTES EN EL MOMENTO.
- LA INFORMACION PROVISTA EN ESTE PLANO PUEDE O NO MOSTRAR TODAS LAS ESTRUCTURAS Y UTILIDADES EXISTENTES POR ENCIMA Y POR DEBAJO DEL TERRENO.
- SIMBOLOS SON UNICAMENTE PARA PROPOSITO DE ILUSTRACION, ELLOS NO NECESARIAMENTE SON DEL MISMO TIPO O TAMAÑO DEL OBJETO QUE ELLOS REPRESENTAN.
- SIMBOLOS SON UNICAMENTE PARA PROPOSITO DE ILUSTRACION, ELLOS NO NECESARIAMENTE SON DEL MISMO TIPO O TAMAÑO DEL OBJETO QUE ELLOS REPRESENTAN.

## SURVEY CERTIFICATE:

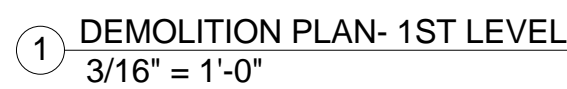
I DO HEREBY CERTIFY THAT THIS SURVEY WORK WAS PERFORMED DURING THE MONTH OF APRIL 2023, THAT ELECTRONIC DISTANCES MEASURING INSTRUMENT (TOPCON-GM SERIES) WERE USED FOLLOWING THE STANDARD SURVEY TECHNIQUES FOR THESE CASES.





[illegible]

1 DEMOLITION SITE PLAN  
1 : 100

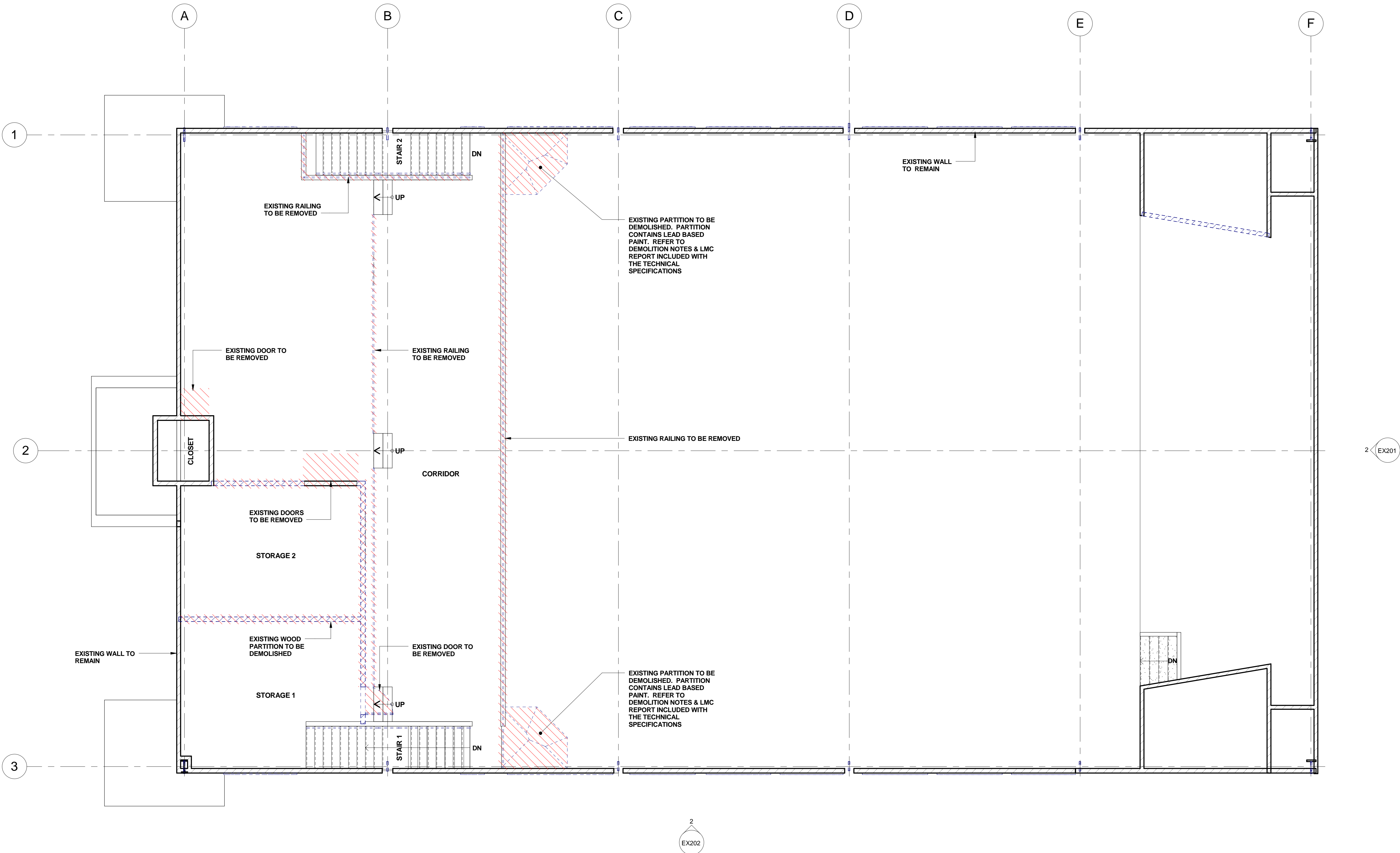


## 6. REMOVE ALL WALL TILES, BATHROOM EQUIPMENT AND PARTITIONS



LEGEND

 TO BE DEMOLISHED

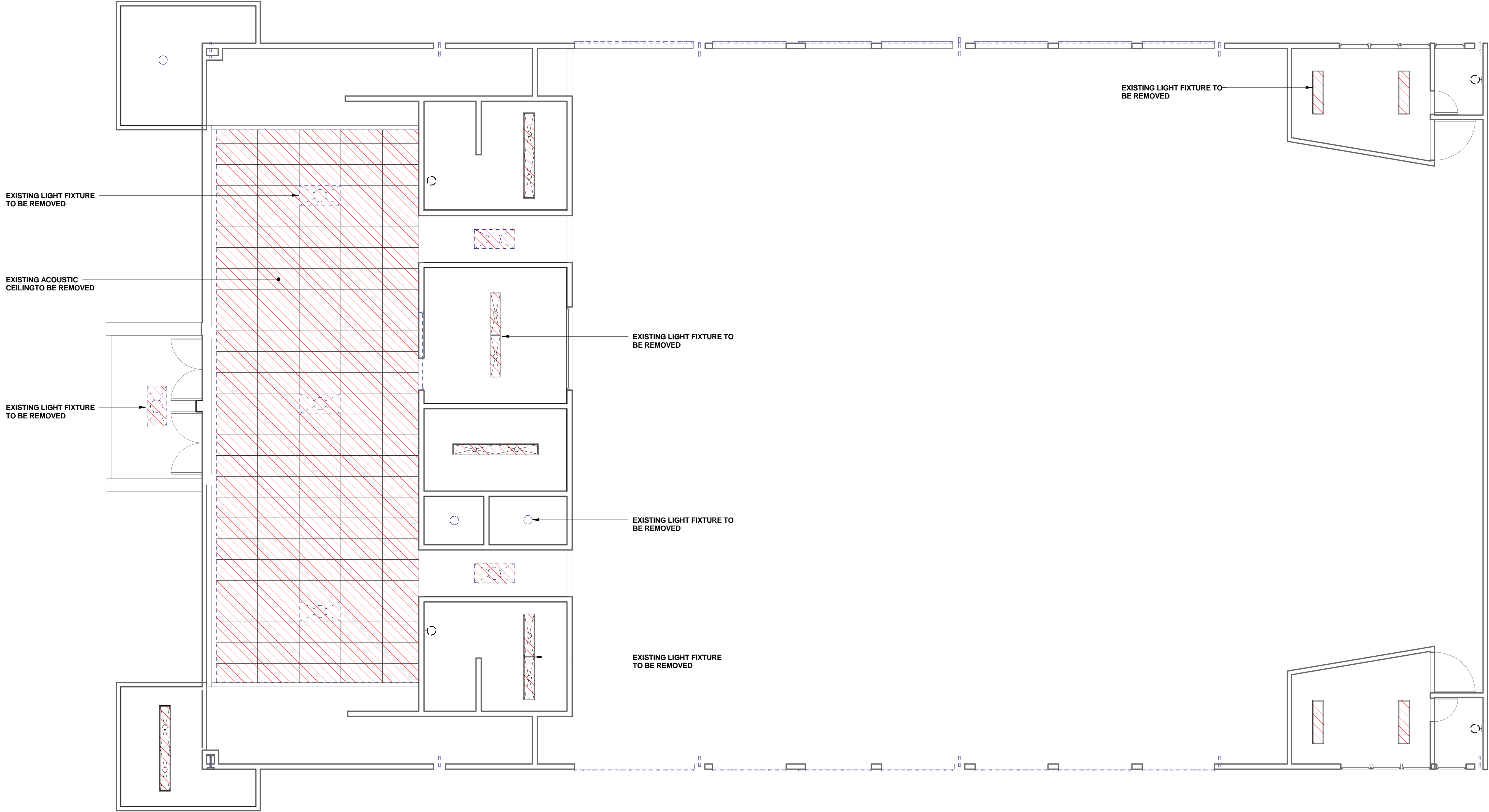


EXISTING FLOOR PLAN AND DEMOLITION  
- 2ND LEVEL  
1 3/16" = 1'-0"

LEGEND

 TO BE DEMOLISHED

- DEMOLITION NOTES:
1. ALL ACOUSTIC CEILINGS TO BE DEMOLISHED
  2. ALL LIGHT FIXTURES TO BE REMOVED AND RETURNED TO THE OWNER
  3. REFER TO ELECTRICAL PLANS FOR SMOKE DETECTORS
  4. ALL SUPPLY GRILLS AND RETURN REGISTERS TO BE REMOVED AND REPLACED.



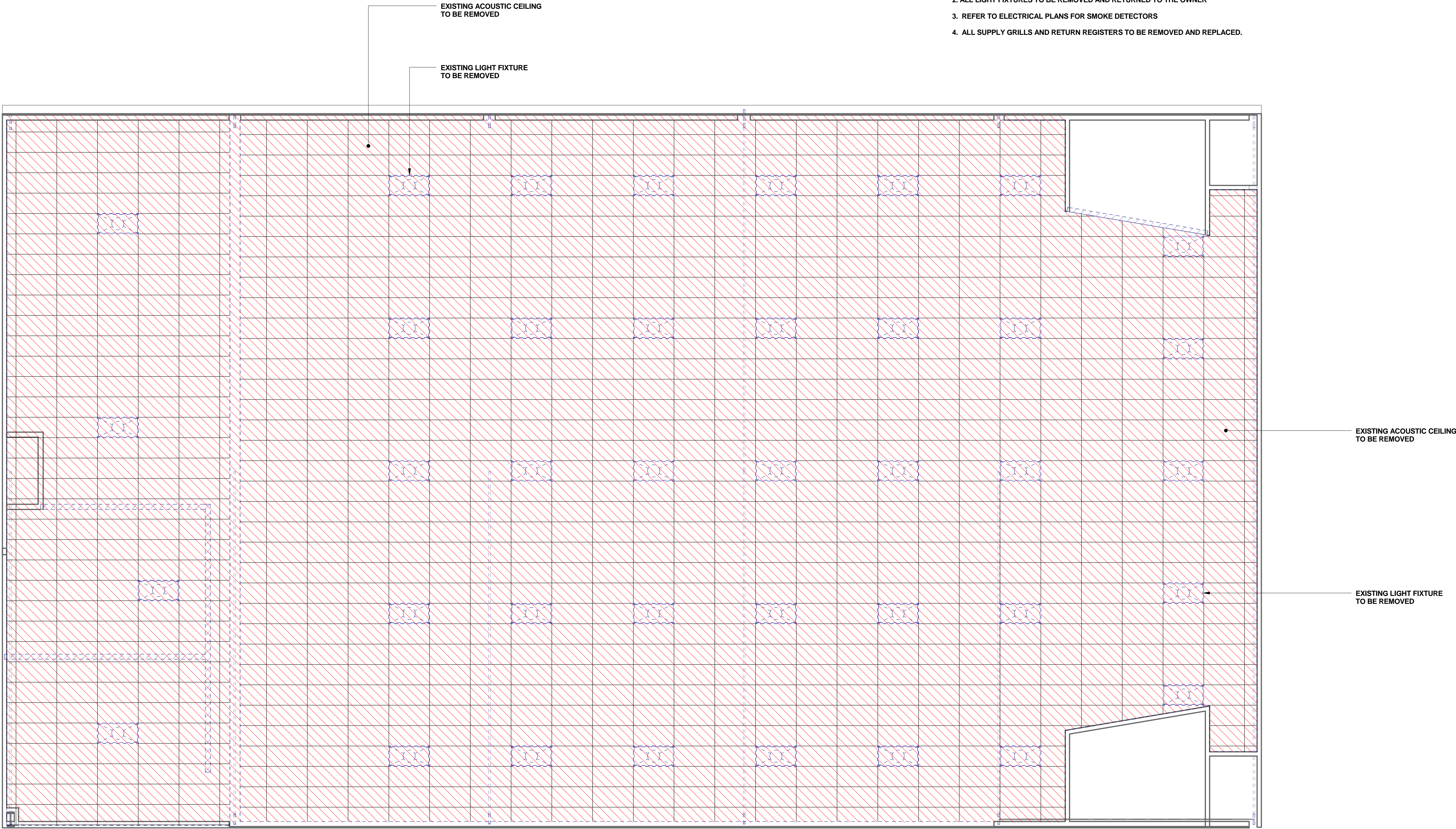
EXISTING REFLECTED CEILING - FIRST LEVEL  
1 3/16" = 1'-0"

LEGEND

 TO BE DEMOLISHED

DEMOLITION NOTES:

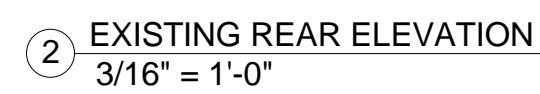
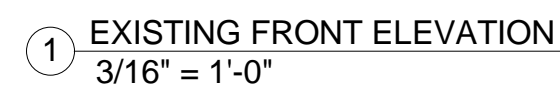
1. ALL ACOUSTIC CEILINGS TO BE DEMOLISHED
2. ALL LIGHT FIXTURES TO BE REMOVED AND RETURNED TO THE OWNER
3. REFER TO ELECTRICAL PLANS FOR SMOKE DETECTORS
4. ALL SUPPLY GRILLS AND RETURN REGISTERS TO BE REMOVED AND REPLACED.



EXISTING REFLECTED CEILING - 2ND LEVEL

1 3/16" = 1'-0"

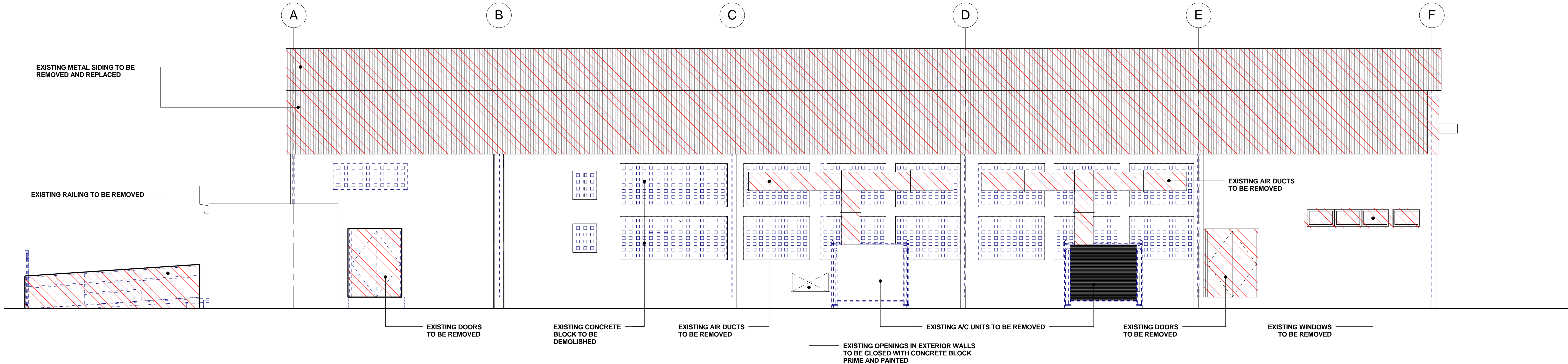
 **TO BE DEMOLISHED**



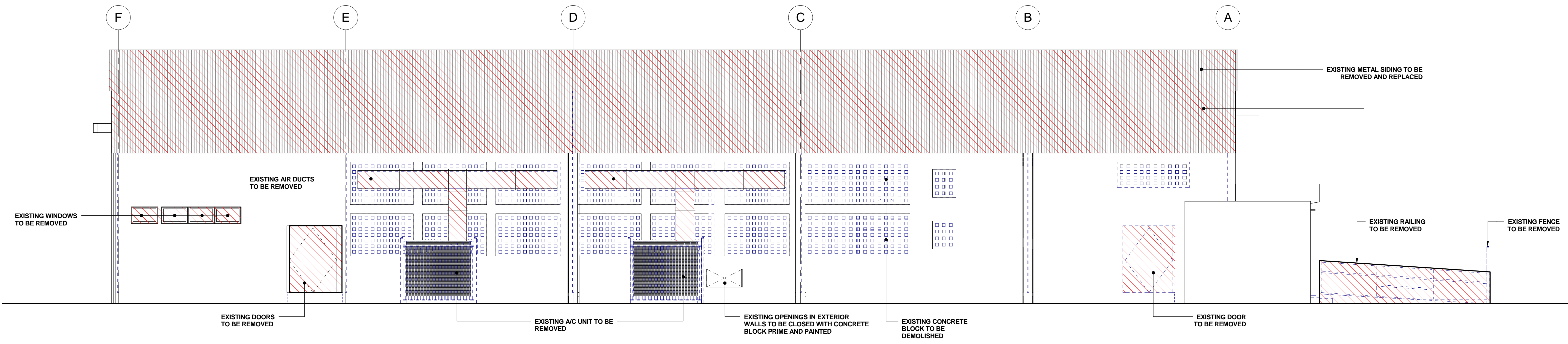


LEGEND

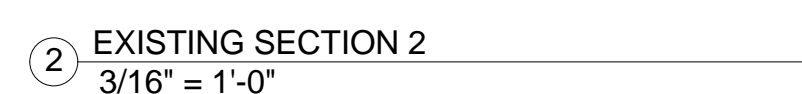
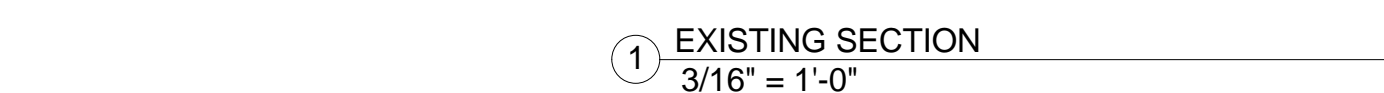
 TO BE DEMOLISHED



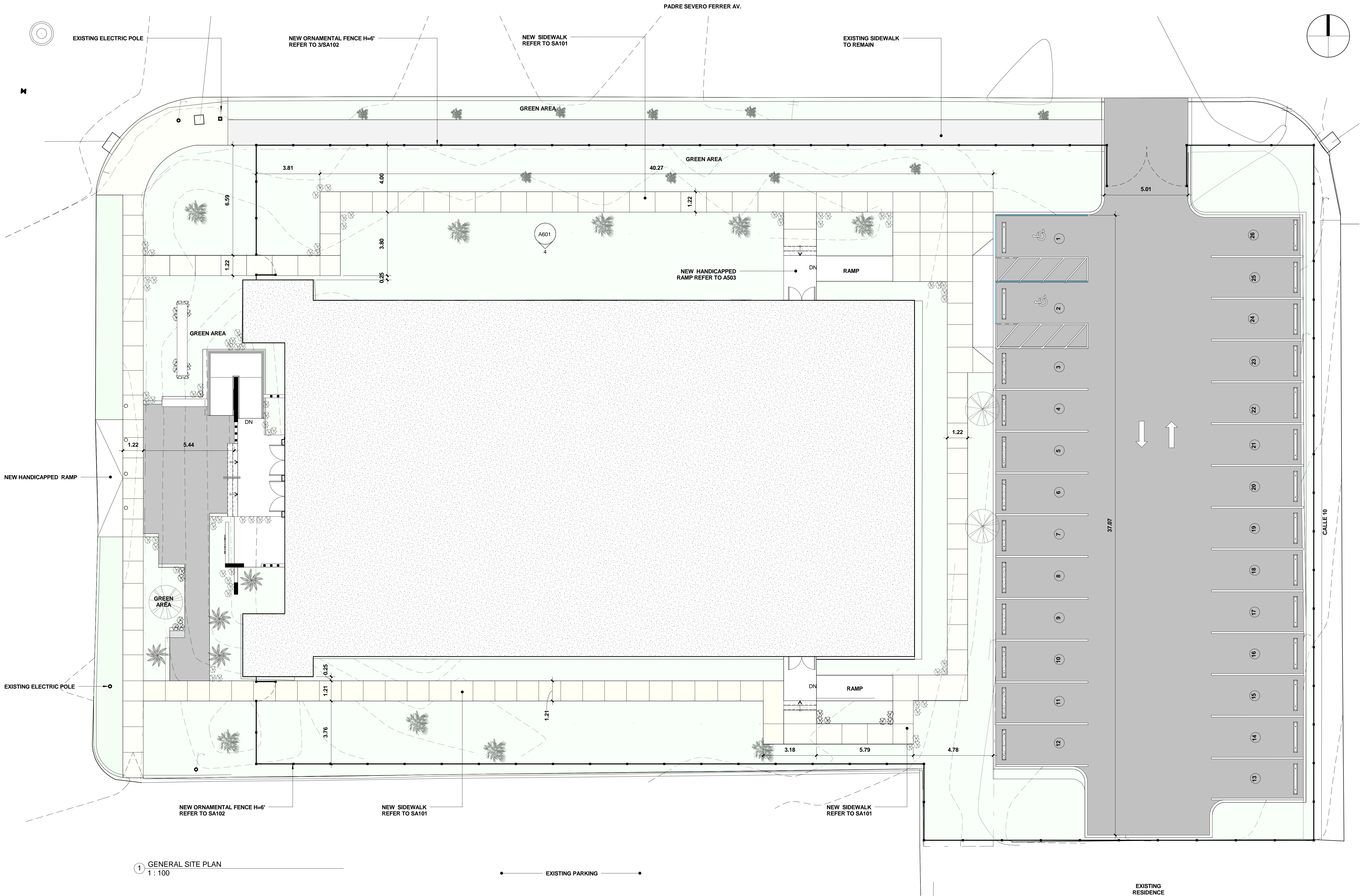
② EXISTING RIGHT ELEVATION  
3/16" = 1'-0"



① EXISTING LEFT ELEVATION  
3/16" = 1'-0"







1 GENERAL SITE PLAN  
1:100

EM ARCHITECTS  
ARQ. ELI MARIANO MARTÍNEZ BELENDEZ, AIA  
PO Box 2710-113  
San Juan, PR 00928  
emarchitects@gmail.com  
787.529.8551

THIS DOCUMENT AND ALL INFORMATION, DESIGN, CONCEPTS, DRAWINGS, DETAILS, SPECIFICATIONS AND GENERAL NOTES CONTAINED HEREIN ARE THE EXCLUSIVE PROPERTY OF EM ARCHITECTS. IT SHALL NOT BE COPIED OR TRANSMITTED IN ANY FORM OR BY ANY ELECTRONIC MEANS WITHOUT THE WRITTEN PERMISSION OF ARQ. ELI MARIANO MARTÍNEZ, AIA. THIS DOCUMENT IS TO BE USED AS A WORKING INSTRUMENT ONLY BY AUTHORIZED PERSONNEL.

ARCHITECT:

CONSULTANT:

CERTIFIED BY:

REVISION / DATE / DESCRIPTION

PROJECT  
SANTA ISABEL MULTIPURPOSE BUILDING  
FRANCISCO ROBLEDO [PR-CRP-001153]  
SANTA ISABEL, PUERTO RICO

CLIENT  
MUNICIPIO DE SANTA ISABEL

PROJECT #:

SCALE: 1:100

DRAWN BY: Author

GENERAL SITE PLAN

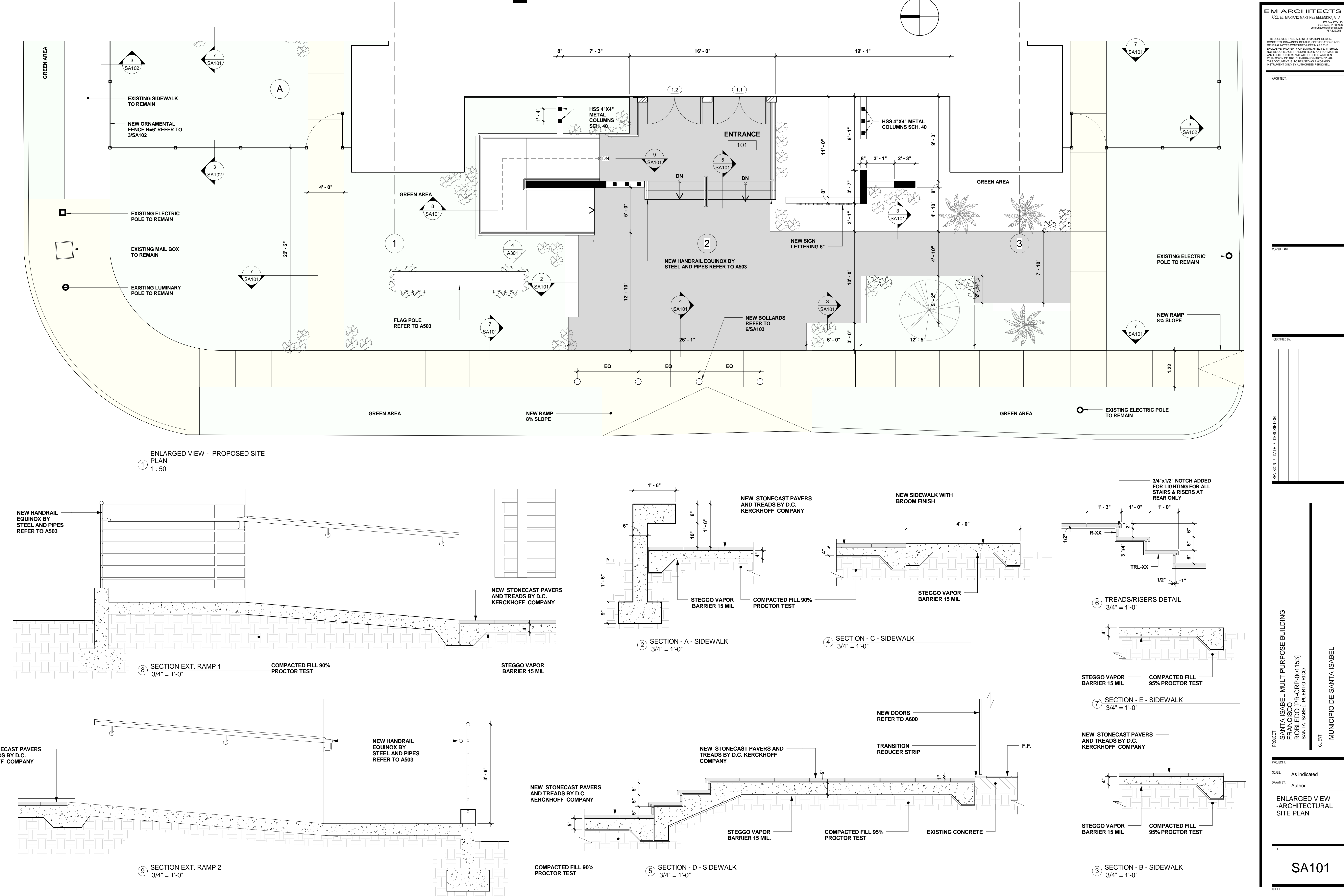
CALLE 2

TITLE

SA100

SHEET





EM ARCHITECTS

ARQ. ELI MARIANO MARTÍNEZ BELENDEZ, AIA

PO Box 2710-113  
San Juan, PR 00923  
emarchitects@gmail.com  
787.529.6651

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ARCHITECT:

CONSULTANT:

CERTIFIED BY:

REVISION / DATE / DESCRIPTION

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PROJECT

SANTA ISABEL MULTIPURPOSE BUILDING  
FRANCISCO ROBLEDO [PR-CRP-001153]  
SANTA ISABEL, PUERTO RICO

CLIENT

MUNICIPIO DE SANTA ISABEL

PROJECT #

SCALE: As indicated

DRAWN BY: Author

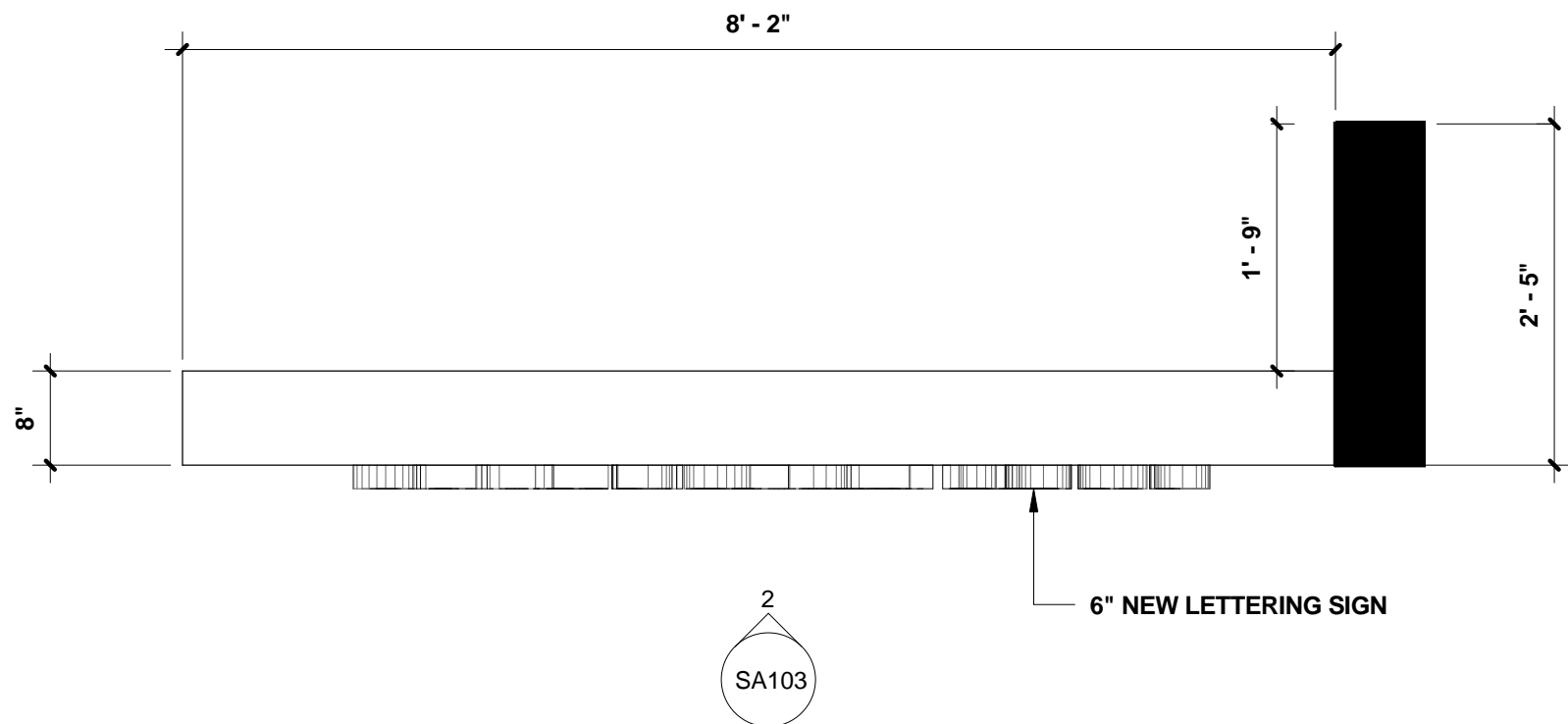
ENLARGED VIEW -ARCHITECTURAL SITE PLAN

TITLE

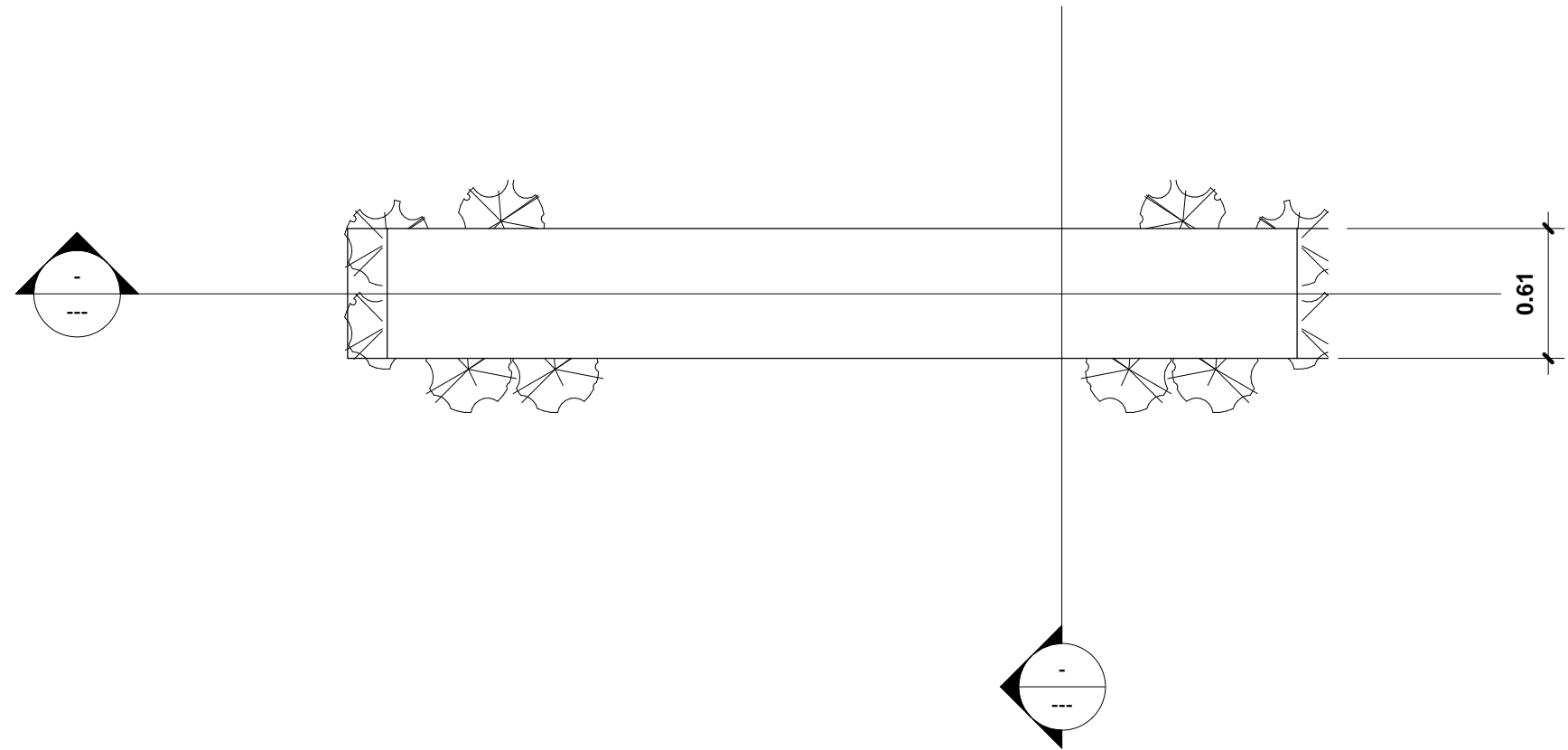
SA101

SHEET

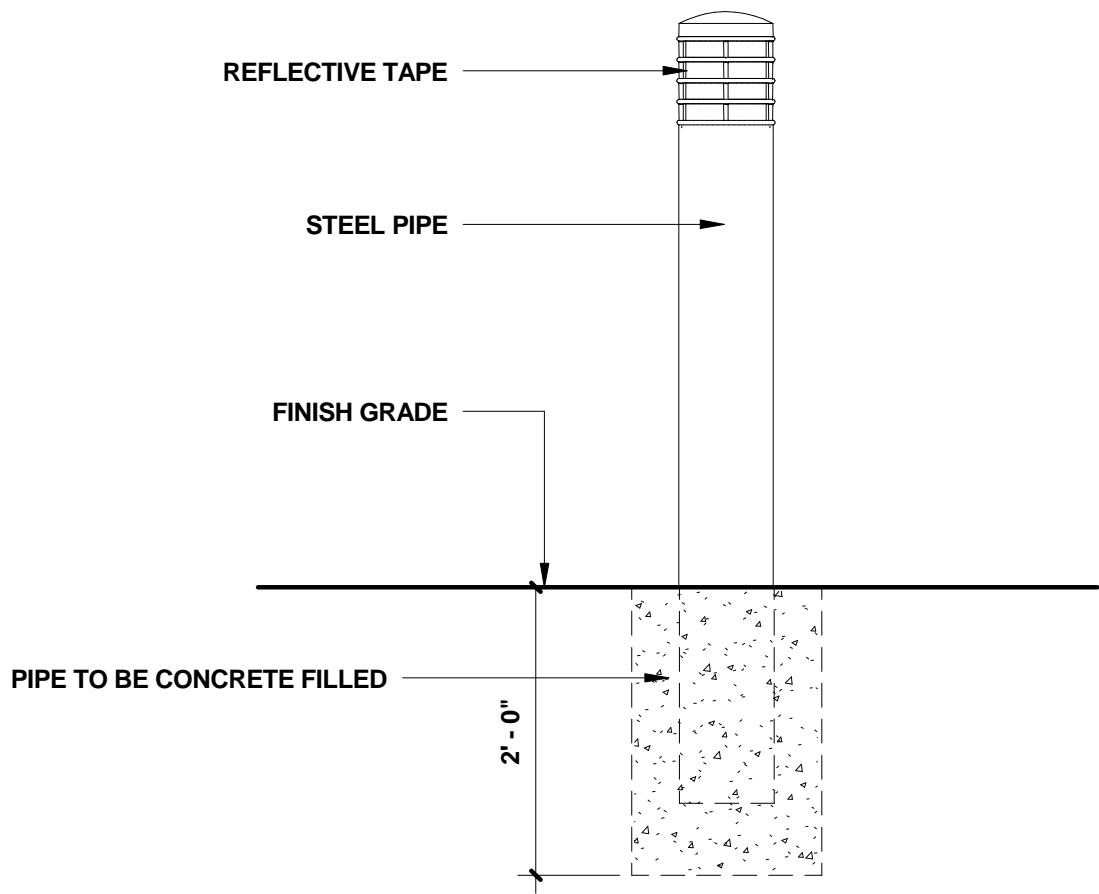




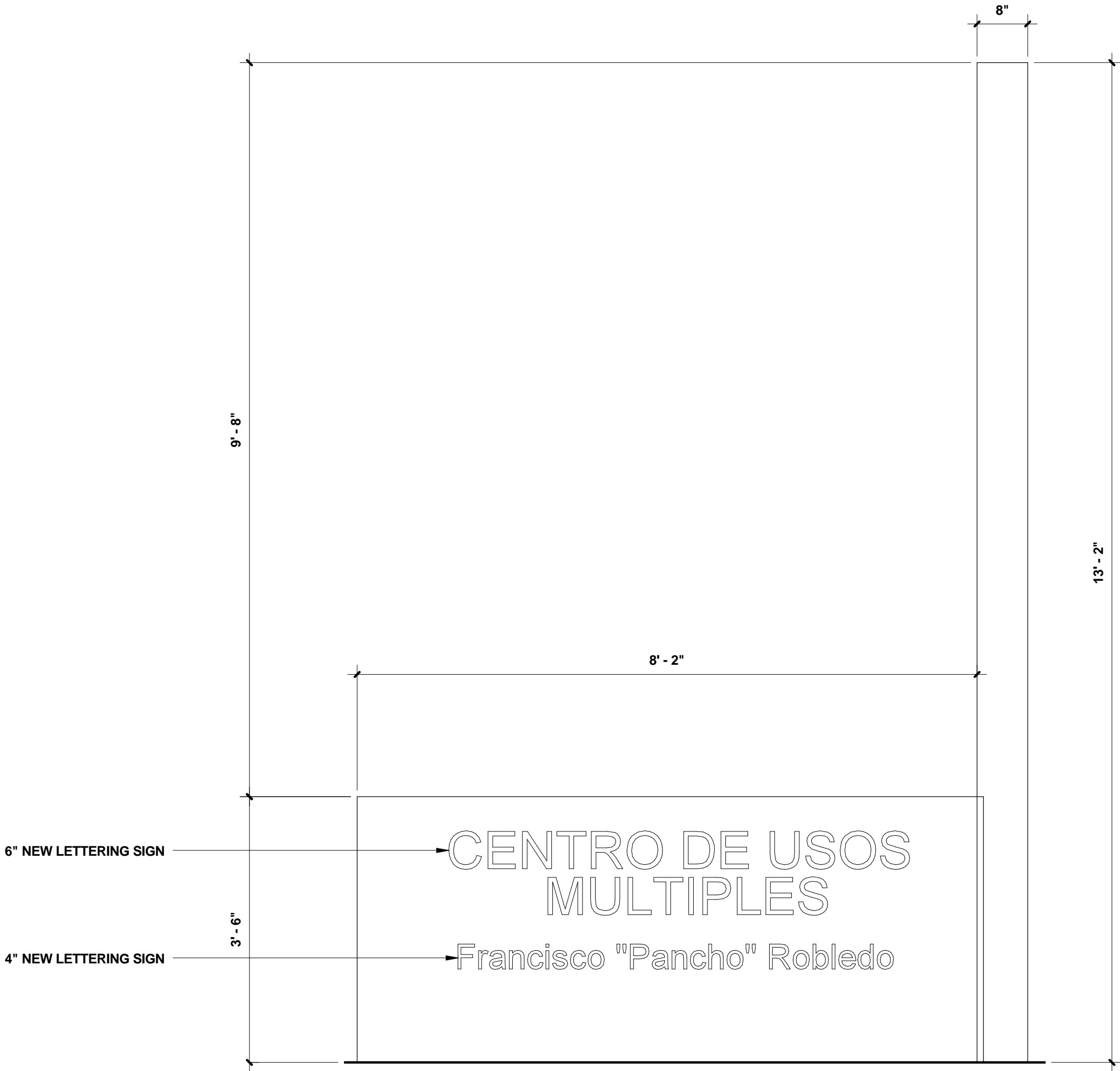
1 NEW SIGN LETTERING - FLOOR PLAN  
3/4" = 1'-0"



3 ENLARGED VIEW - FLAG POLE DETAILS  
3/8" = 1'-0"



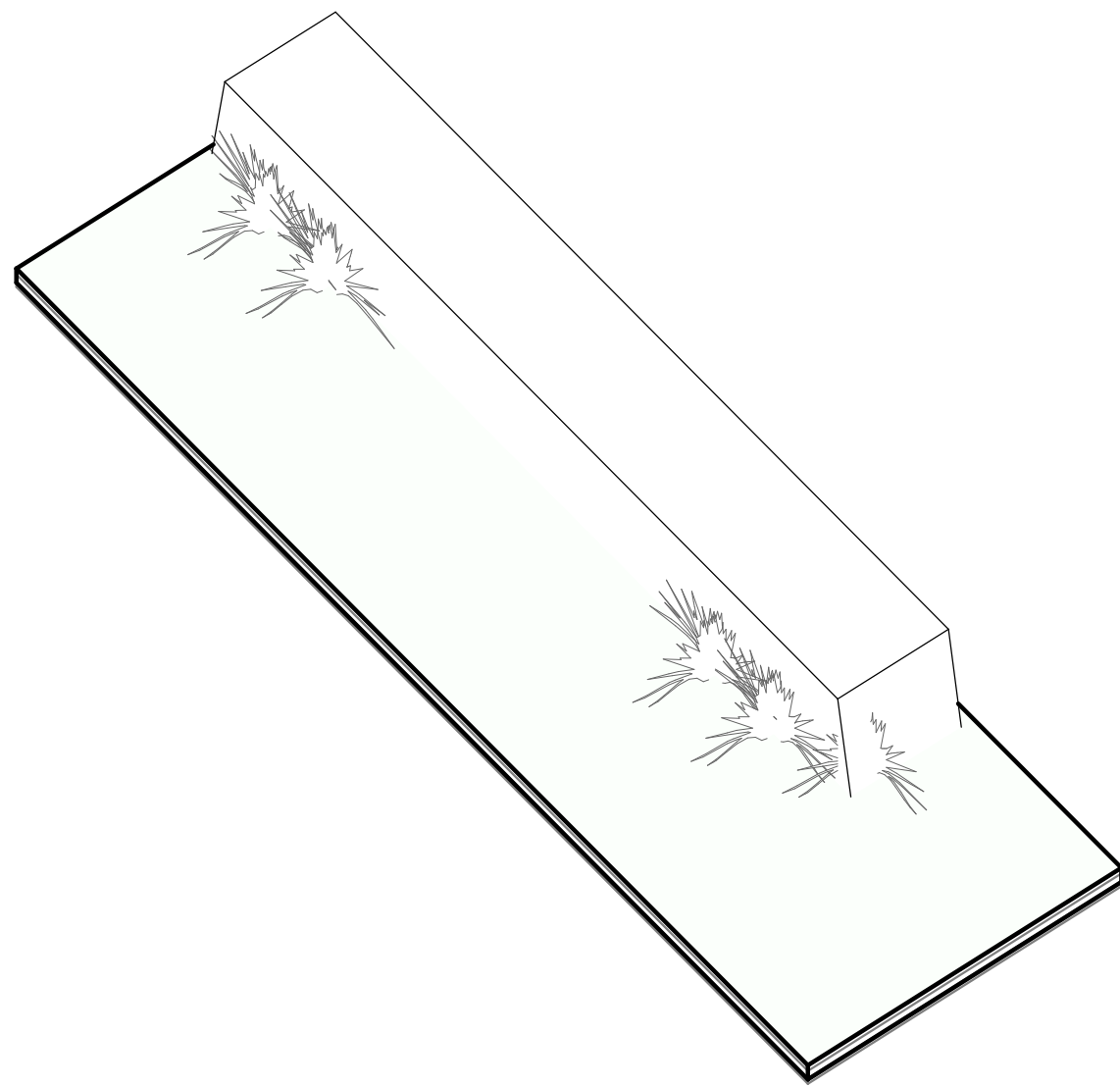
6 BOLLARD - DETAIL  
3/4" = 1'-0"



2 NEW SIGN LETTERING - ELEVATION  
3/4" = 1'-0"



4 FLAG POLE - ELEVATION - 1  
3/8" = 1'-0"



5 3D VIEW - FLAG POLE



GENERAL NOTES:

- ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDES THE DRAWINGS, ALL ADDENDUMS AND MODIFICATIONS ISSUED BY THE ARCHITECT.
- THE GENERAL CONTRACTOR (GC) SHALL REVIEW ALL DOCUMENTS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND SHALL CONFIRM THAT WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS, ETC., SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF ANY WORK IN QUESTION. THE GC SHALL ARRANGE FOR INSPECTIONS NECESSARY TO OBTAIN A CERTIFICATE OF OCCUPANCY.
- IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING MATERIALS/EQUIPMENT, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION.
- ALL WORK SHALL BE PERFORMED DURING DESIGNATED HOURS (8AM-5PM). WORK INVOLVING EXCESSIVE NOISE OR DUST, OR WHICH WOULD OTHERWISE INTERFERE WITH THE NORMAL OPERATION OF THE FACILITY SHALL BE DONE BETWEEN 9AM AND 5PM.
- GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY(IE) UTILITIES, NOT COVERED IN THE CONSTRUCTION/DEMOLITION DOCUMENTS, WHICH MAY INTERFERE WITH COMPLETING THEIR SCOPE OF WORK. THE ARCHITECT & GENERAL CONTRACTOR SHALL DISCUSS THE REMOVAL OF THESE UTILITIES. WHEN REMOVAL IS APPROVED BY THE ARCHITECT, THE GENERAL CONTRACTOR SHALL INSPECT, TEST, AND DISCONNECT THE SPECIFIED UTILITY, CUT BACK TO SOURCE (OR PERIMETER OF LEASE SPACE) AND CAP. ALL PENETRATIONS RESULTING FROM THE REMOVAL SHALL BE SEALED WITH NEW CONSTRUCTION TO MATCH (E) ADJACENT BLDG. FINISHES. UTILITY SERVICE SHALL BE DEFINED AS PLUMBING, HVAC, ELECT., AND FIRE PROTECTION SYSTEMS. GC SHALL INDICATE PERMANENTLY ABANDONED UTILITIES ON A RECORD TO SERVE AS PART OF THE "AS-BUILT" SET.
- "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
- "TYPICAL" SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT UNLESS OTHERWISE NOTED. DETAILS ARE USUALLY KEYED AND NOTED "TYP" ONLY ONCE, WHEN THEY FIRST OCCUR.
- "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS.
- WORK AREAS TO REMAIN SECURE AND LOCKABLE DURING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL COORDINATE WITH ARCHITECT AND/OR PROJECT MANAGER TO ENSURE SECURITY.
- THE GC SHALL VERIFY THAT THE EXISTING FLOORS ARE LEVEL AND FREE FROM SCALING. GC TO REPORT ANY VARIATIONS IN FLOOR LEVEL GREATER THAN 1/4" IN 10'-0" (NON-CUMULATIVE) TO ARCHITECT.
- THE CONTRACT DOCUMENTS ARE COMPLEMENTARY. WHAT IS SHOWN OR REFERRED TO AT A GIVEN LOCATION SHALL BE PROVIDED AS THOUGH SHOWN ON ALL (U.O.N.).
- Substitutions, REVISIONS, OR CHANGES MUST BE SUBMITTED TO ARCHITECT FOR REVIEW (IN CONFORMANCE WITH SPECIFIED PROCEDURES) PRIOR TO PURCHASE, FABRICATION OR INSTALLATION. REFER TO SPECIFICATIONS FOR SPECIFIC PROCEDURES.
- ALL WORK SHALL BE COORDINATED BY THE G.C. INCLUDING; SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, BUILDING FACILITATES, ETC.'
- THE SCOPE OF WORK AND ADJACENT AREAS SHALL BE PROTECTED FROM ANY DAMAGE THAT OCCURS BECAUSE OF THIS WORK. ANY DAMAGE THAT OCCURS SHALL BE THE FINANCIAL RESPONSIBILITY OF THE GC.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED PER MANUFACTURER'S INSTRUCTIONS. IN CASE OF DIFFERENCES BETWEEN THE MANUFACTURER'S INSTRUCTIONS AND CONTRACT DOCUMENTS, THE GC SHALL NOTIFY THE ARCHITECT BEFORE PROCEEDING.
- ACCESS PANELS, CLEANOUTS, AND THE LIKE SHALL BE MAINTAINED FOR EXISTING BUILDING SYSTEMS. RELOCATE DIFFUSERS AND REGISTERS TO FIT WITH NEW WORK.
- THE GC SHALL HAVE A FULL-TIME REPRESENTATIVE ON SITE AT ALL TIMES WHILE CONSTRUCTION ACTIVITIES ARE OCCURRING ON SITE.
- THE GC SHALL COMPLY WITH ALL CODES, LAWS, ORDINANCES, AND REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK.
- THE GC SHALL OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN PARTITION LOCATIONS, SIZES AND TYPES. DOOR AND WINDOW LOCATIONS SHALL BE AS SHOWN ON CONSTRUCTION PLAN. IN CASE OF CONFLICT, NOTIFY ARCHITECT FOR WRITTEN CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION.
- COMMENCEMENT OF WORK SHALL BE DEEMED AS THE GC'S ACKNOWLEDGMENT OF ALL WORK REQUIRED TO COMPLETE PROJECT IN CONFORMANCE WITH CONTRACT DOCUMENTS AND SCHEDULE. IT IS THE RESPONSIBILITY OF THE GC TO COORDINATE ORDERS, SUBMITTALS AND IMPLEMENTATION OF LONG LEAD ITEMS. THE GC'S FAILURE TO MAKE LONG LEAD ITEM ORDERS IN A TIMELY FASHION SHALL NOT BE GROUND FOR SUBSTITUTIONS.
- ALL NEW CONSTRUCTION INCLUDING CONCRETE, MASONRY, PLASTER, DRYWALL, DOORS, FRAMES, METAL PARTITIONS AND MISCELLANEOUS UNFINISHED METALS (OTHER THAN STAINLESS STEEL SHALL BE PAINTED UNLESS OTHERWISE CLEARLY ON DRAWINGS.
- BIDDERS SHALL VISIT THE BUILDING AND ACQUAINT THEM SELVES WITH THE CONDITIONS AS THEY ACTUALLY EXIST AND VERIFY DIMENSIONS, LOCATIONS AND DETAILS REQUIRED TO COMPLETE THE WORK. FAILURE TO VISIT THE PROJECT AREA WILL IN NO WAY RELIEVE THE SUCCESSFUL BIDDER OF FURNISHING ALL MATERIAL AND PERFORMING ALL WORK REQUIRED FOR THE COMPLETION OF THE CONTRACT. VISITS TO THE PROJECT AREA SHALL BE ARRANGED WITH THE MUNICIPALITY OF JUNCOS.
- WHENEVER AND WHEREVER ON THIS PLANS A REFERENCE IS MADE TO A SPECIFIC PRODUCT OR SUPPLIER, THE GENERAL CONTRACTOR SHALL UNDERSTAND THAT AN EQUAL OR SIMILAR MATERIAL OR COMPONENT CAN BE SUBMITTED FOR EVALUATION AND POSSIBLE APPROVAL OR DISAPPROVAL BY THE ARCHITECT.

CONTRACTOR NOTES:

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED SO THAT PROPER CORRECTIONS ARE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS AND/OR OMISSIONS.
- ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ARCHITECT ARE THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH THEY WERE EXPRESSLY DESIGNED.
- IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THE ARCHITECT, THE PERSON SO DOING WILL BE INDEBTED TO THE ARCHITECT FOR HIS FULL COMMISSION.
- CONTRACTOR SHALL NOT USE FOR CONSTRUCTION PURPOSES ANY DRAWINGS THAT WERE ADVANCED TO HIM PRIOR TO THE START OF CONSTRUCTION. ALL PLANS BEING USED BY CONTRACTOR SHOULD BEAR A STAMP WITH THE LABEL: "FOR CONSTRUCTION ONLY," SIGNED BY ARCHITECT.
- GENERAL CONTRACTOR SHALL FIELD SURVEY LOCATION AND VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE TENANT AND ARCHITECT.
- GENERAL CONTRACTOR SHALL COMPLETE ALL WORK AS INDICATED ON THESE PLANS UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR SHALL OBTAIN PERMITS, APPROVALS, INSPECTIONS, CERTIFICATE FOR COMPLIANCE AND CERTIFICATE OF OCCUPANCY AS REQUIRED, UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR SHALL CHECK IN WITH AND COORDINATE ALL WORK WITH THE LANDLORD'S PROJECT PERSONNEL.
- GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY POWER, LIGHT AND TELEPHONE IN ACCORDANCE WITH LANDLORD'S AND TENANTS REQUIREMENTS.
- GENERAL CONTRACTOR SHALL REMOVE ALL THESE ITEMS AT THE COMPLETION OF WORK OR AS REQUIRED.
- GENERAL CONTRACTOR SHALL HAVE TENANT'S SPACE CLEANED UPON COMPLETION OF WORK BY A PROFESSIONAL CLEANING SERVICE.
- GENERAL CONTRACTOR SHALL MAINTAIN ON SITE AT ALL TIMES, ALL APPROVED DRAWINGS INCLUDING ALL REVISIONS AND ADDENDA.
- GENERAL CONTRACTOR SHALL HAVE AT ALL TIME IN SITE OFFICE COPY OF ALL ENDORSEMENTS AND PERMITS OF THE PROJECT AT A VISIBLE PLACE.

EXISTING BUILDING NOTES

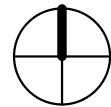
- THE EXISTING CONDITIONS SHOWN IN THE CONSTRUCTION DOCUMENTS ARE FOR ASSISTING CONTRACTORS TO UNDERSTAND THE SCOPE OF WORK. THEY ARE PREPARED BASED ON THE INFORMATION FURNISHED TO THE ENGINEER AND MAY NOT REFLECT THE TRUE AS BUILT CONDITION.
  - CONTRACTORS SHALL ASSUME FULL RESPONSIBILITY FOR FIELD VERIFYING ALL EXISTING CONDITIONS, SOUNDNESS OF EXISTING STRUCTURE, ALL PERTINENT DIMENSIONS AND ELEVATIONS. FAILURE TO DO THIS WILL NOT BE A CAUSE FOR ADDITIONAL COSTS. CONTRACTORS SHALL FURNISH THE VERIFIED INFORMATION TO THE ARCHITECT AND ENGINEER PROMPTLY FOR PROJECT COORDINATION.
  - CONTRACTORS TO PROVIDE ALL SHORING, BRACING, AND REINFORCING, TEMPORARY AND PERMANENT, AS REQUIRED TO RENDER EXISTING STRUCTURE TO REMAIN SOUND AND SAFE.
  - NEW FLOOR ELEVATIONS SHALL MATCH THE EXISTING FLOORS AT ALL LEVELS, UNLESS NOTED OTHERWISE.
- DEMOLITION NOTES:**
- THE ARCHITECT HAS NO KNOWLEDGE OF AND SHALL NOT BE HELD LIABLE FOR ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS ON THE JOBSITE. IF ASBESTOS OR OTHER HAZARDOUS MATERIALS ARE DISCOVERED DURING CONSTRUCTION, ISOLATE THE AFFECTED AREA AND FOLLOW OWNER REQUIREMENTS FOR REMOVAL & DISPOSAL.
  - COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SA FETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
  - PROVIDE AND MAINTAIN BARRICADES, LIGHTING AND GUARDRAILS AS REQUIRED BY APPLICABLE CODES AND REGULATIONS TO PROTECT OCCUPANTS OF BUILDING AND WORKERS.
  - ERECT AND MAINTAIN DUST PROOF PARTITIONS AS REQUIRED TO PREVENT SPREAD OF DUST, FUMES AND SMOKE, ETC. TO OTHER PARTS OF THE BUILDING. ON COMPLETION, REMOVE PARTITIONS AND REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES.
  - IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE AFFECTED AREAS AT NO COST TO THE OWNER
  - EXCEPT WHERE OTHERWISE NOTED, MAINTAIN POSSESSION OF MATERIALS BEING DEMOLISHED. REMOVE FROM SITE DAILY & LEGALLY DISPOSE OF DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
  - REMOVE DESIGNATED PARTITIONS, COMPONENTS, BUILDING EQUIPMENT AND FIXTURES AS REQUIRED FOR NEW WORK.
  - REMOVE ABANDONED HVAC EQUIPMENT, INCLUDING DUCTWORK, AS REQUIRED FOR NEW WORK.
  - REMOVE ABANDONED ELECTRICAL, TELEPHONE AND DATA CABLING BACK TO RISER AND DEVICES, UNLESS OTHERWISE NOTED.
  - REMOVE TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE CONTRACT AREAS AND SITE CLEAN, ORDERLY AND ACCEPTABLE FOR NEW CONSTRUCTION.
  - PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURE(S). PROVIDE AND PLACE BRACING OR SHORING AND BE RESPONSIBLE FOR SAFETY AND SUPPORT OF STRUCTURE. ASSUME LIABILITY FOR SUCH MOVEMENT, SETTLEMENT, DAMAGE OR INJURY.
  - CEASE OPERATIONS AND NOTIFY THE OWNER IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESORED.
  - ARRANGE AND PAY FOR DISCONNECTING, REMOVING AND CAPPING UTILITY SERVICES WITHIN AREAS OF DEMOLITION. DISCONNECT AND STUB OFF. NOTIFY THE AFFECTED UTILITY COMPANY AND BUILDING MANAGER IN ADVANCE AND OBTAIN APPROVAL BEFORE STARTING THE WORK.
  - HVAC SUBCONTRACTOR TO INSPECT EXISTING CONDITIONS PRIOR TO DEMOLITION. AND DETERMINE WHETHER ANY COMPRESSOR REFRIGERANT LINES ARE PRESENT THAT MUST BE PROPERLY DRAINED (TO E.P.A. STANDARDS PRIOR TO DEMOLITION)
  - PLACE MARKERS TO INDICATE LOCATION OF DISCONNECTED SERVICES. VERIFY SERVICE LINES AND CAPPING LOCATIONS PROJECT RECORD DOCS.
  - CONTRACTOR SHALL BE HELD RESPONSIBLE FOR DAMAGES INFLICTED TO THE OWNERS PROPERTY OR OTHER AREAS OF THE PROJECT. DURING THE EXECUTION OF THE WORK.
  - THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT ALL SHOP DRAWINGS FOR APPROVAL PRIOR TO COMMENCE OF WORK.
  - CONSULTANT DRAWINGS ARE NOT TO BE SCALED: SEE DEMOLITION DRAWINGS FOR EXACT DIMENSIONS.
  - CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS & UTILITIES ON SITE WITHIN THE DEMISED SPACE.

ABBREVIATIONS:

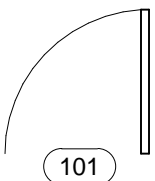
- A.A. ALL AROUND
- F.F.E. FINISHED FLOOR ELEVATION
- S.C.P. SMOOTH CEMENT PLASTER
- A.F.F. AFTER FINISHED FLOOR
- C.O. CLEAN OUT
- F.D. FLOOR DRAIN
- S.D. SMOKE DETECTOR
- E.F. EXHAUST FAN
- N.I.C. NOT IN CONTRACT
- W.H. WATER HEATER

PAINT NOTE:

- ALL INTERIOR AND EXTERIOR WALLS AND CEILING TO BE SCRAPPED WHERE NEEDED, PRIMED AND PAINTED.
  - COLORS TO BE SELECTED BY ARCHITECT.
  - PAINT SHALL BE SHERWIN WILLIAMS OR APPROVED EQUAL.
- DOOR AND WINDOW NOTES:**
- SUBMIT DOOR AND WINDOW SHOP DRAWINGS FOR ARCHITECT APPROVAL.
  - ALL GLASS COLOR TO BE SELECTED BY ARCHITECT.
  - FINAL MASONRY, WINDOW AND DOOR DIMENSIONS SHALL BE FIELD VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO PURCHASE.
  - THE CONTRACTOR SHALL SUBMIT A SHOP DRAWING FOR WINDOWS CERTIFIED BY A LICENSED ENGINEER TO WITHSTAND WIND SPEEDS AS REQUIRED BY THE IBC 2018 & PUERTO RICO BUILDING CODE.

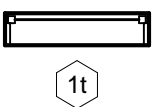


NORTH ARROW



DOOR

DOOR ID NUMBER

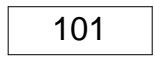


DOOR

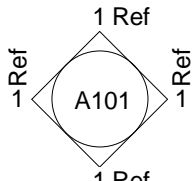
WINDOW ID



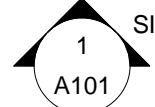
SPOT ELEVATION



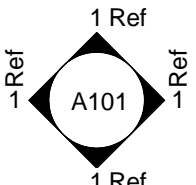
ROOM NUMBER



EXTERIOR ELEVATION SYMBOL



SECTION SYMBOL



INTERIOR ELEVATION SYMBOL

1 / A101

DRAWING / PAGE NUMBER

1 View Name  
1/8" = 1'-0"

DRAWING NUMBER / VIEW NAME / SCALE

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ARCHITECT:

CONSULTANT:

CERTIFIED BY:

REVISION / DATE / DESCRIPTION

PROJECT

SANTA ISABEL MULTIPURPOSE BUILDING  
FRANCISCO  
ROBLEDO [PR-CRP-001153]  
SANTA ISABEL, PUERTO RICO

CLIENT

MUNICIPIO DE SANTA ISABEL

PROJECT #:

SCALE: As indicated

DRAWN BY: Author

NOTES &  
GENERAL LEGEND

TITLE

A000

SHEET





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MUNICIPIO DE SANTA ISABEL

PROJECT #:

SCALE:

DRAWN BY: Author

PERSPECTIVE VIEW

TITLE

A001

SHEET

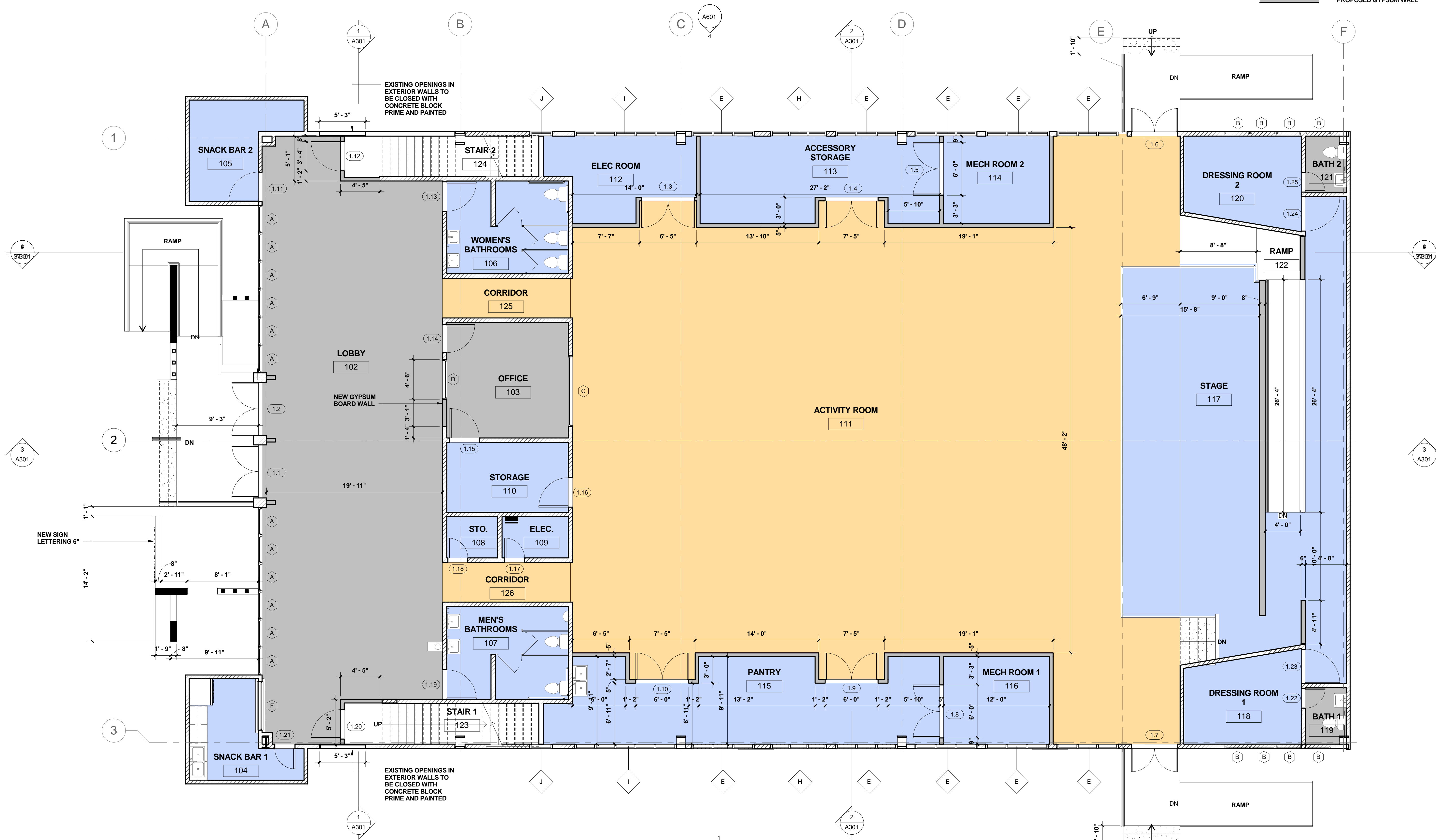


WALL LEGEND

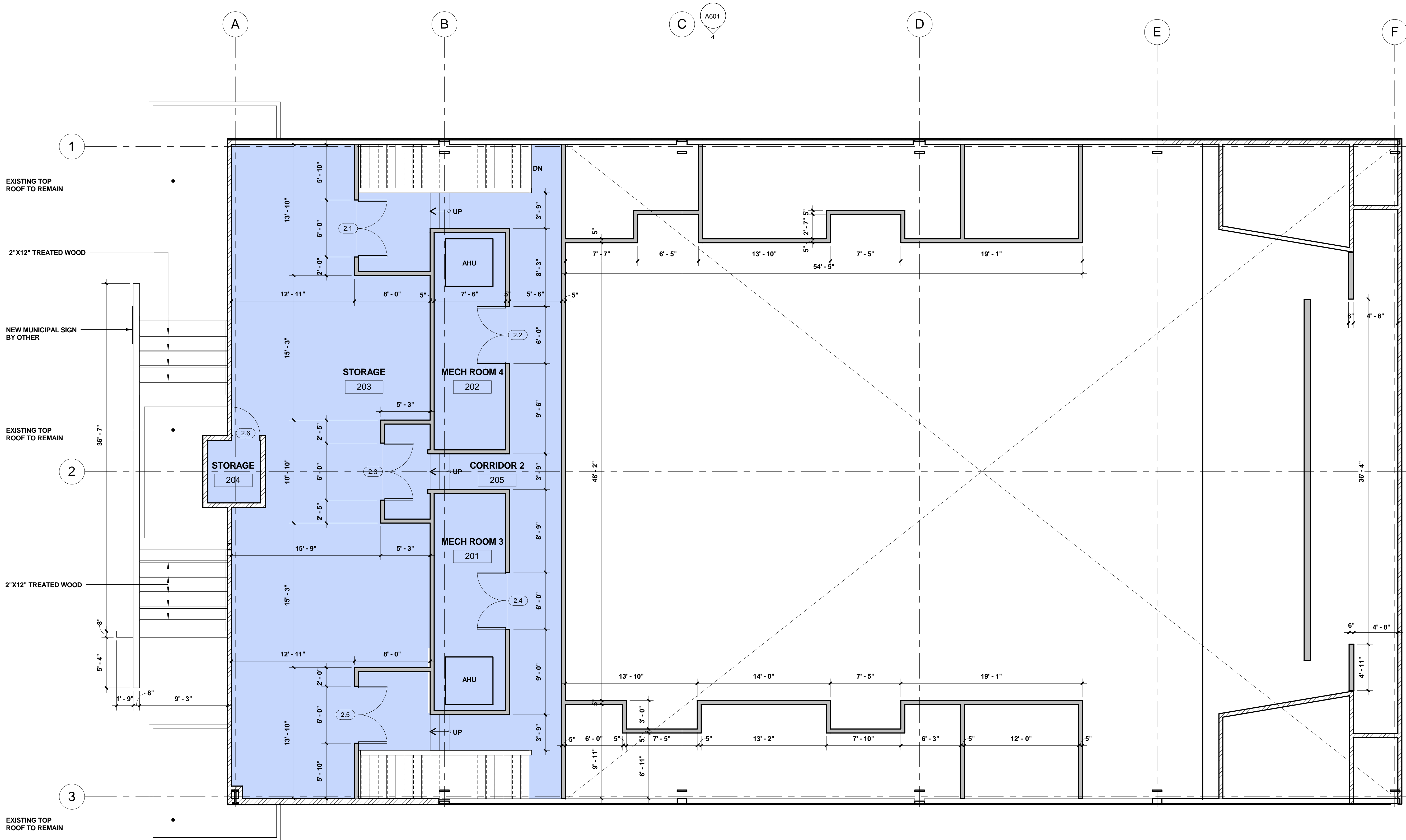
EXISTING WALL

PROPOSED CONCRETE WALL

PROPOSED GYPSUM WALL



1 PROPOSED FLOOR PLAN - FIRST LEVEL  
3/16" = 1'-0"



PROPOSED FLOOR PLAN - SECOND LEVEL  
1 3/16" = 1'-0"

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PROJECT #:

SCALE: As indicated

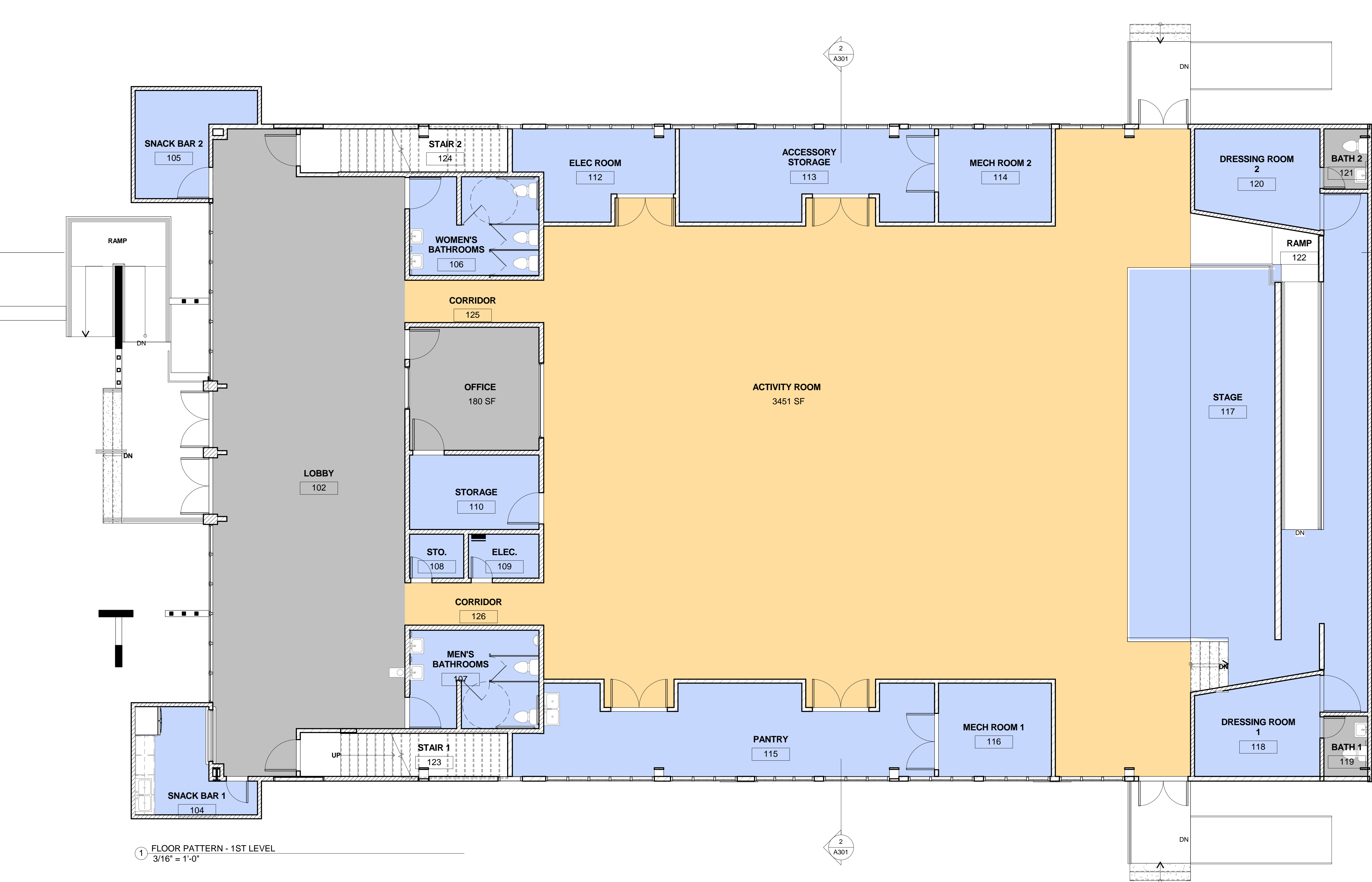
DRAWN BY: Author

PROPOSED FLOOR PLAN - 2ND LEVEL

TITLE

A102

SHEET



1 FLOOR PATTERN - 1ST LEVEL  
3/16" = 1'-0"

| Room Schedule |                   |         |             |                |              |                             |
|---------------|-------------------|---------|-------------|----------------|--------------|-----------------------------|
|               | Name              | Area    | Base Finish | Ceiling Finish | Floor Finish | Wall Finish                 |
| 101           | ENTRANCE          | 944 SF  |             |                | CT-1         | PLASTERED, PRIMED & PAINTED |
| 102           | LOBBY             | 1282 SF | VB-1        | ACT-1          | VT-1         |                             |
| 103           | OFFICE            | 180 SF  | VB-1        | ACT-1          | VT-1         |                             |
| 104           | SNACK BAR 1       | 108 SF  | VB-1        | ACT-1          | PC-1         |                             |
| 105           | SNACK BAR 2       | 109 SF  | VB-1        | ACT-1          | PC-1         |                             |
| 106           | WOMEN'S BATHROOMS | 142 SF  | VB-1        | ACT-1          | PC-1         |                             |
| 107           | MEN'S BATHROOMS   | 140 SF  | VB-1        | ACT-1          | PC-1         |                             |
| 108           | STO.              | 27 SF   | VB-1        | ACT-1          | PC-1         |                             |
| 109           | ELEC.             | 35 SF   | VB-1        | ACT-1          | PC-1         |                             |
| 110           | STORAGE           | 109 SF  | VB-1        | ACT-1          | PC-1         |                             |
| 111           | ACTIVITY ROOM     | 3451 SF | VB-1        | ACT-1          | VT-3         |                             |
| 112           | ELEC ROOM         | 134 SF  | VB-1        | ACT-1          | PC-1         |                             |
| 113           | ACCESSORY STORAGE | 244 SF  |             |                | PC-1         |                             |
| 114           | MECH ROOM 2       | 119 SF  |             |                | PC-1         |                             |
| 115           | PANTRY            | 378 SF  |             |                | PC-1         |                             |
| 116           | MECH ROOM 1       | 119 SF  |             |                | PC-1         |                             |
| 117           | STAGE             | 964 SF  | VB-1        | ACT-1          | PC-1         |                             |

| Room Schedule |                 |         |             |                |              |             |
|---------------|-----------------|---------|-------------|----------------|--------------|-------------|
|               | Name            | Area    | Base Finish | Ceiling Finish | Floor Finish | Wall Finish |
| 118           | DRESSING ROOM 1 | 129 SF  | VB-1        | ACT-1          | PC-1         |             |
| 119           | BATH 1          | 30 SF   | VB-1        | ACT-1          | VT-1         |             |
| 120           | DRESSING ROOM 2 | 129 SF  | VB-1        | ACT-1          | PC-1         |             |
| 121           | BATH 2          | 30 SF   | VB-1        | ACT-1          | VT-1         |             |
| 122           | RAMP            | 176 SF  | VB-1        | ACT-1          | PC-1         |             |
| 123           | STAIR 1         | 74 SF   | VB-1        | ACT-1          |              |             |
| 124           | STAIR 2         | 81 SF   | VB-1        | ACT-1          |              |             |
| 125           | CORRIDOR        | 65 SF   | VB-1        | ACT-1          | VT-3         |             |
| 126           | CORRIDOR        | 65 SF   | VB-1        | ACT-1          | VT-3         |             |
| 201           | MECH ROOM 3     | 172 SF  |             |                | PC-1         |             |
| 202           | MECH ROOM 4     | 172 SF  |             |                | PC-1         |             |
| 203           | STORAGE         | 1287 SF |             |                | PC-1         |             |
| 204           | STORAGE         | 37 SF   | VB-1        | ACT-1          | PC-1         |             |
| 205           | CORRIDOR 2      | 559 SF  | VB-1        | ACT-1          | PC-1         |             |

| FINISH LEGEND                   |  |
|---------------------------------|--|
| FLOOR FINISH                    |  |
| EX-FT                           | EXISTING FLOOR TILES TO REMAIN   |
| VT-1                            | VINYL TILE: WAKE P219 COLLECTION: PORTLAND PROJECT<br>TIMBERLAND TRACE BY MANNINGTON                                   |
| VT-2                            | VINYL TILE: ILLUSION WONDER NW204<br>INSTALL 1/4" SELF LEVELING CONCRETE   |
| PC                              |  |
| POLISHED CONCETE                |  |
| CSTR                            |  |
| CONCRETE SURFACE TO BE REPAIRED |  |
| FLOOR BASE                      |  |
| EX-FB                           | EXISTING FLOOR BASE<br>TO REMAIN   |
| RB-1                            | RUBBER BASE - Burkebase<br>Type TP PROFILE 603 ASH<br>6" HIGH  |
| RB-2                            | RUBBER BASE - PREMIUM EDGE<br>TYPE TP PLATINUM METALIC 117<br>4" HIGH  |
| VB-1                            | IDEAL BASE TP RUBBER<br>204 GRAY 6.25 HIGH, 2: TOE   |
| CEILING                         |  |
| ACT-1                           | ACOUSTIC CEILING TILE<br>USG MARS™ HEALTHCARE ACOUSTICAL PANELS<br>EDGE: SQ. GRID PROFILE: USG DX®                     |
| GWB                             | GP TUFF ROCK MOLD GUARD WALLBOARD -<br>MOISTURE RESISTANT TYPE   |
| EXCS                            | EXPOSED CONCRETE SURFACE TO BE PRIMED<br>AND PAINTED   |
| EX-CF                           | EXISTING CEILING AND LIGHT FIXTURES TO BE<br>CAREFULLY REMOVED AND REINSTALLED AFTER<br>SPRINKLER SYSTEM INSTALLATION. |
| WALL FINISH                     |  |
| EX-WF                           | EXISTING WALL FINISH TO REMAIN   |
| WP-1                            | SW 6196 FROSTY WHITE   |
| WP-2                            | SW 6197 ALOOF GRAY   |
| WP-3                            | SW 6956 BLUE REFRAIN   |
| WP-4                            | SW 6888 PIZAZZ PEACH   |

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ARCHITECT:

CONSULTANT:

CERTIFIED BY:

REVISION / DATE / DESCRIPTION

PROJECT  
SANTA ISABEL MULTIPURPOSE BUILDING  
FRANCISCO ROBLEDO [PR-CRP-001153]  
SANTA ISABEL, PUERTO RICO

CLIENT  
MUNICIPIO DE SANTA ISABEL

PROJECT #

SCALE: As indicated

DRAWN BY: Author

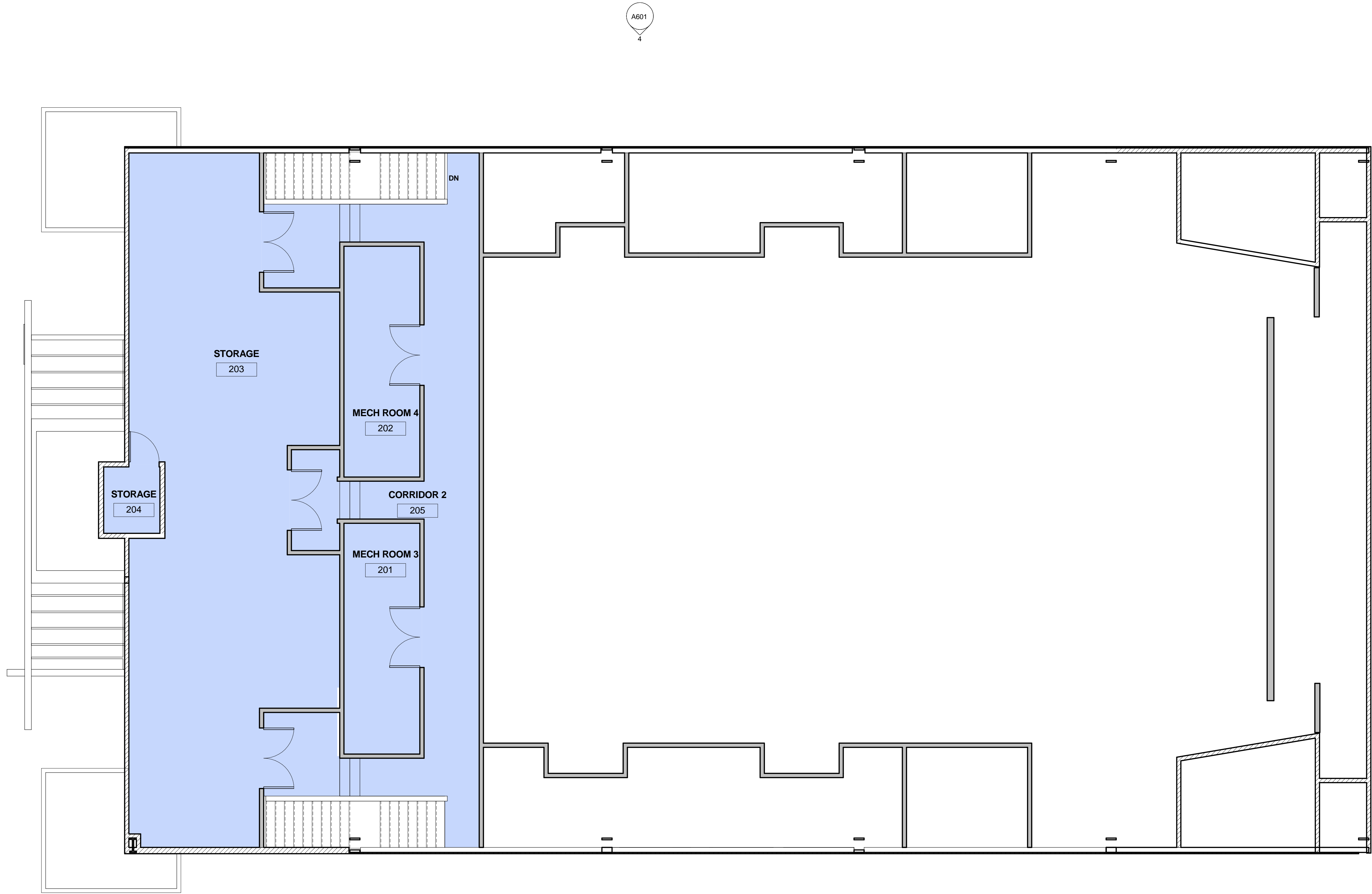
FLOOR PATTERN - 1ST LEVEL

TITLE

A103

SHEET





1 FLOOR PATTERN - 2ND LEVEL  
3/16" = 1'-0"

**SUBSTRATE PREPARATION NOTES:**

**WHERE EXISTING VINYL FLOORING IS REMOVED AND SHEET VINYL WILL BE INSTALLED:**

- SUBSTRATE PREPARATION WITH:
- ARDEX MRF (CORRECTING HOLES AN IMPERFECTIONS AFTER VINYL REMOVAL)
  - ARDEX MC RAPID (MOISTURE CONTROL & SEALANT)
  - ARDEX P 4 (PRIMER)
  - ARDEX K 10 (SELF LEVELING SOLUTION PRIOR TO INSTALLING SHEET VINYL)

**WHERE EXISTING FLOOR TILES WILL REMAIN NEW VINYL TILES OR SHEET VINYL WILL BE INTALLED:**

- SUBSTRATE PREPARATION WITH:
- ARDEX K 10 (SELF LEVELING)
  - ARDEX MRF (CORRECTING HOLES AN IMPERFECTIONS AFTER VINYL REMOVAL)

**CONCRETE SURFACE REPAIRS:**

- ARDEX MRF (CORRECTING HOLES AN IMPERFECTIONS AFTER VINYL REMOVAL)

**INTERIOR / EXTERIOR WALLS**

- ARDEX OVP FOR PATCHING AND REPAIRING EXTERIOR AND INTERIOR WALLS.

**NOTE:**  
THE WORK DESCRIBED ABOVE SHALL BE PERFORMED BY A CONTRACTOR CERTIFIED BY ARDEX AMERICAS  
ALL PRODUCTS TO BE INSTALLED AS PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.

Carl Roberts  
Sales Professional  
Puerto Rico & The Caribbean  
ARDEX Americas  
Mobile: +1 787-221-0916  
Telephone +1 724-203-5000  
www.ardexamericas.comFacebook: @ARDEXAmericas

**VINYL TILE NOTES:**

1. FLOOR FINISH TRANSITIONS SHALL BE CENTERED UNDER THE DOOR FRAMES WHERE TRANSITIONS OCCUR. THERE SHALL BE NO CHANGE IN LEVEL GREATER THAN 1/4". TRANSITION PIECES SHALL BE INCORPORATED WHEREVER THERE IS A CHANGE IN MATERIAL.

Nichole Santiago, ID  
Sales Representative/Interior Designer  
CUADRADO ALFOMBRAS  
www.cuadradoalfombras.com  
Mobile: (787) 457-8000  
Work: (787) 250-8000

**PAINT NOTES:**

1. ALL INTERIOR PAINT SHALL BE EQUAL OR SIMILAR TO ProMar 200 Zero VOC Interior Latex
2. ALL INTERIOR GYPSUM BOARD CEILINGS SHALL BE PRIMED AND PAINTED. THIS INCLUDES ONE PRIME COAT AND TWO FINISH COATS. PROVIDE 6" X 6" SAMPLE OF GYPSUM BOARD FOR REVIEW. PROVIDE HATCH WHERE REQUIRED BY CODE FOR ACCESS TO DAMPERS.
3. ALL HORIZONTAL FACES OF GYPSUM BOARD SOFFITS SHALL BE PAINTED

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SCALE: 3/16" = 1'-0"

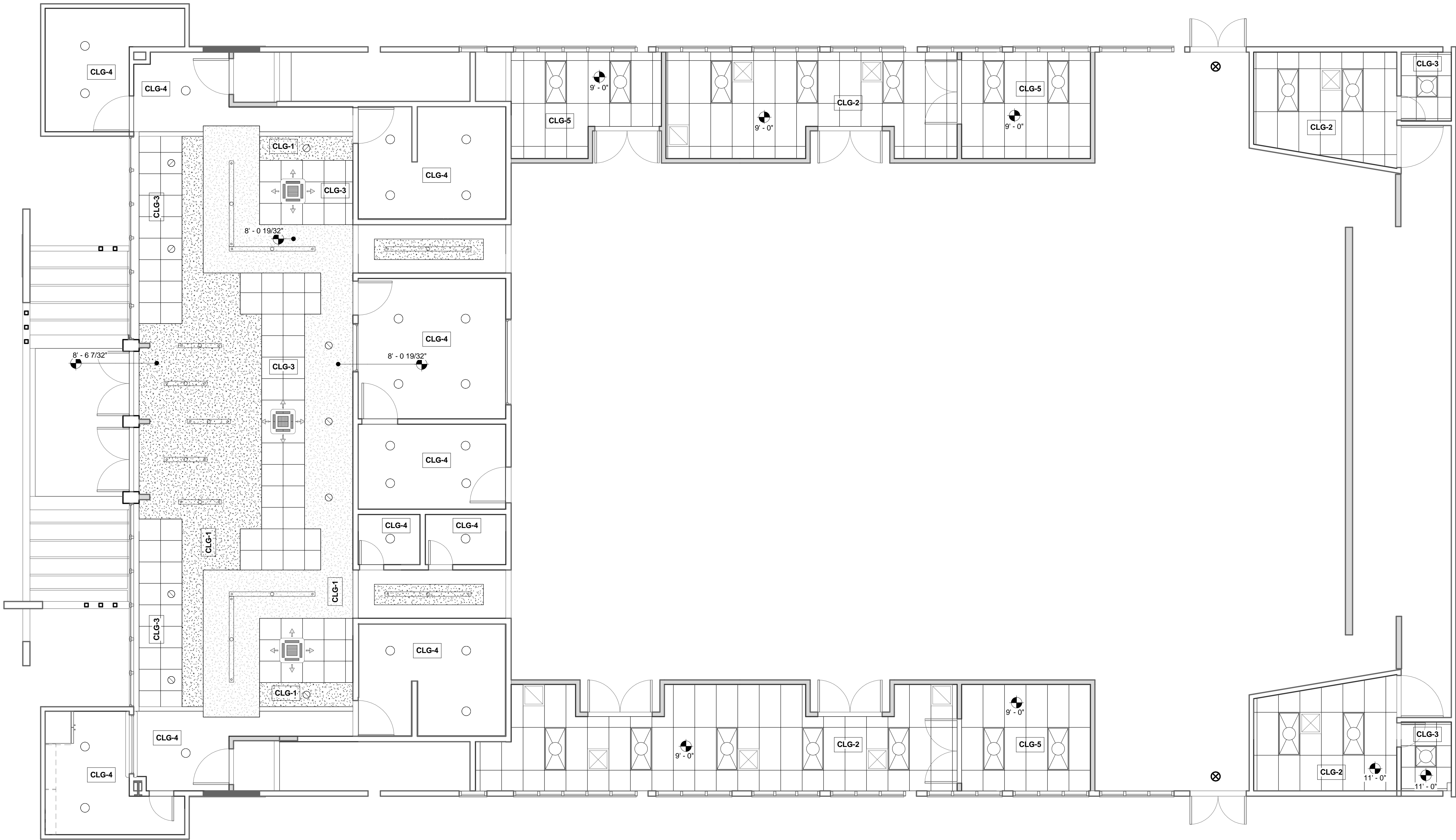
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FLOOR PATTERN - 2ND LEVEL

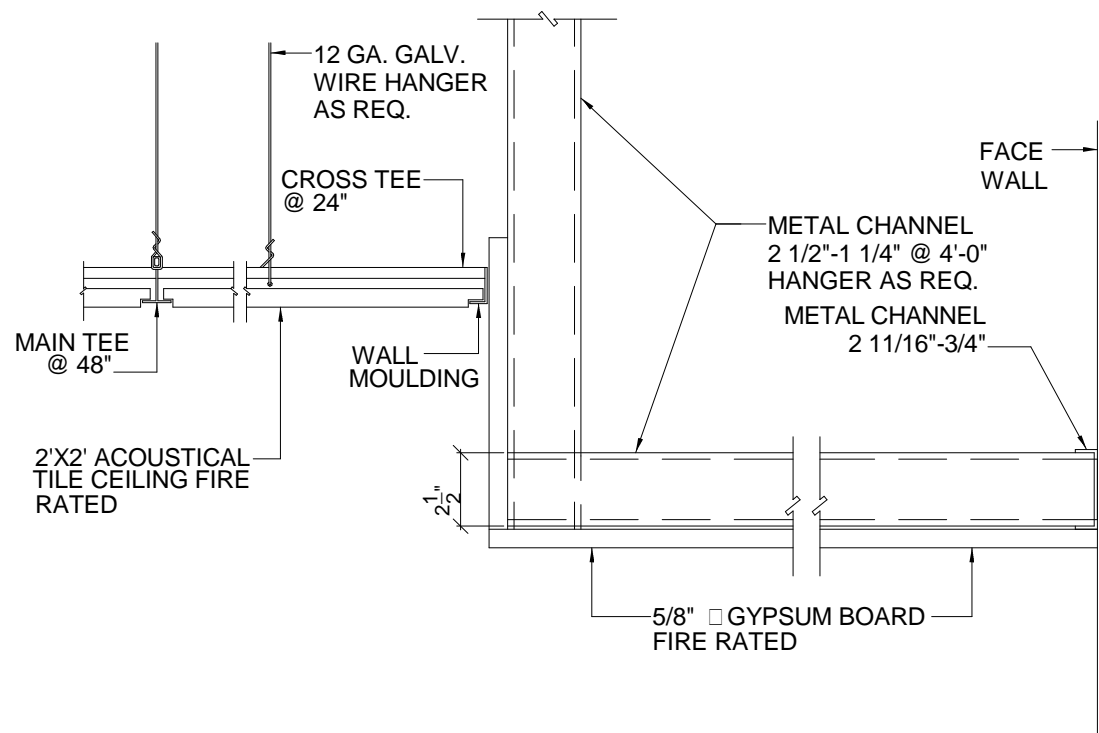
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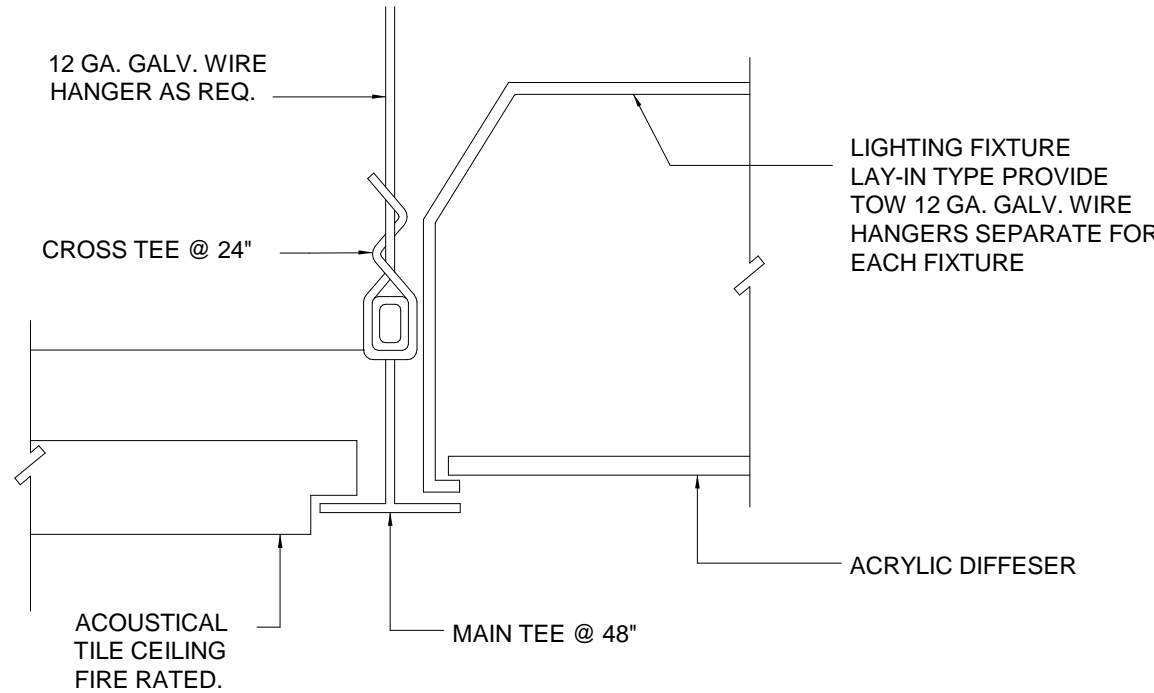
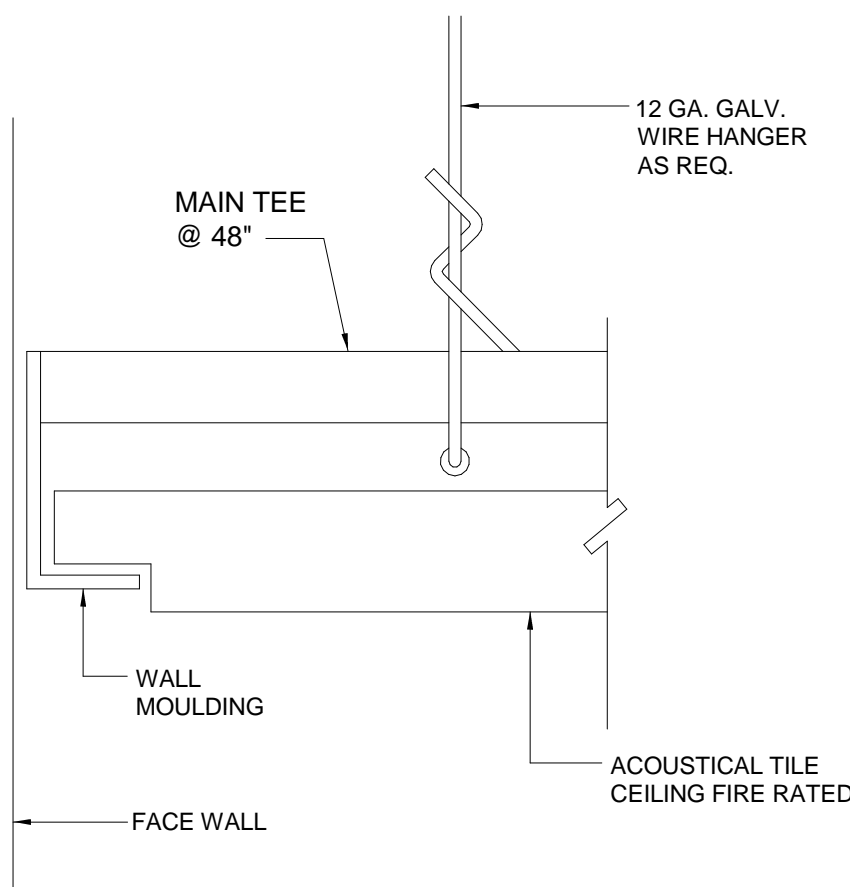
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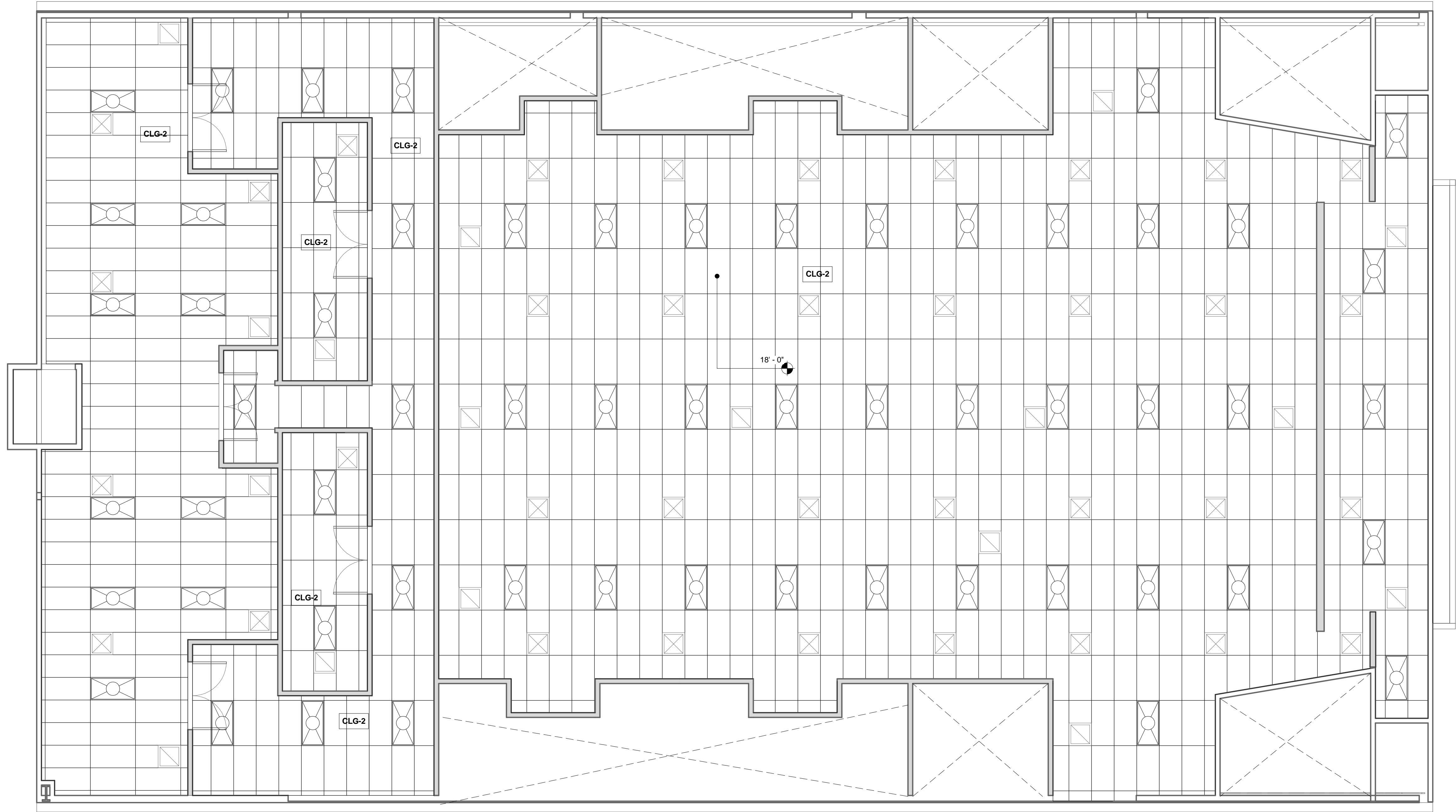
PROPOSED REFLECTED CEILING - FIRST LEVEL  
① 3/16" = 1'-0"



REFLECTED CEILING DETAILS  
② 12" = 1'-0"

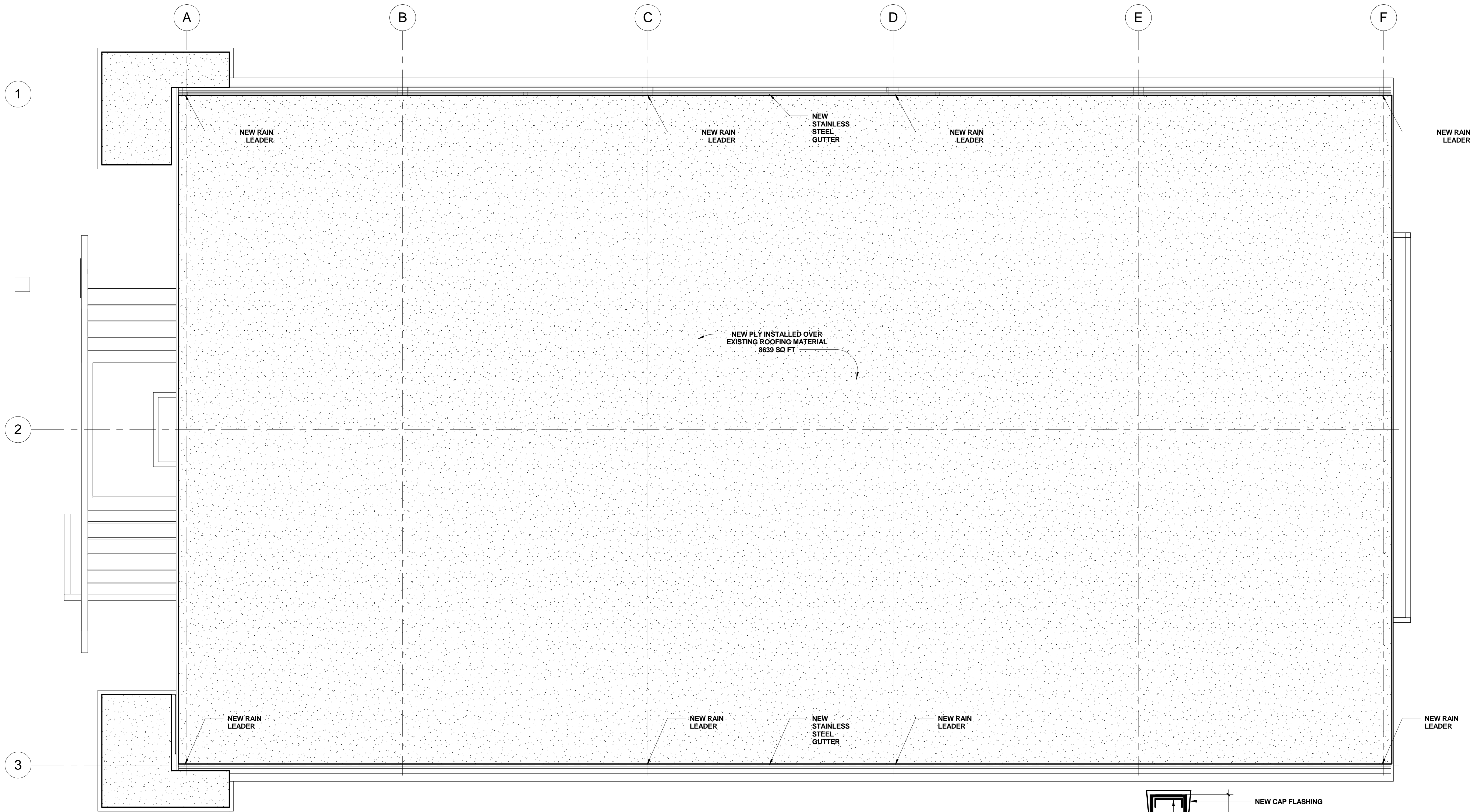


| LEGEND | DESCRIPTION  |
|--------|--|
|        | RECESSED LINEAR LIGHT FIXTURE 96"                              |
|        | RECESSED LINEAR LIGHT FIXTURE 48"                              |
|        | RECESSED LIGHT FIXTURE   |
|        | RECESSED LIGHT FIXTURE   |
|        | SURFACE MOUNTED LIGHT FIXTURE                                  |
|        | RECESSED CAN: DOWNLIGHT 6"<br>LITHONIA 6HF 2/6DTT F602A MVOLT  |
|        | RECESSED CAN: DOWNLIGHT 3"                                     |
|        | EXIT LIGHT   |
|        | CLG-1 GYPSUM BOARD FASCIA TYPE X                               |
|        | CLG-2 2 X 4 ACOUSTIC TILE: FINE DUNE TEXTURE                   |
|        | CLG-3 2 X 2 ACOUSTIC TILE: FINE DUNE TEXTURE                   |
|        | CLG-4 NO CEILING INSTALLED - CONCRETE TO BE PRIMED AND PAINTED |
|        | CLG-5 OPEN TO LEVEL ABOVE                                      |
|        | RETURN REGISTER<br>LAMINARIE MODEL L-RA-OB-24X24-W             |
|        | SUPPLY DIFFUSER<br>LAMINARIE MODEL L-AV-4-OB-P-24X24-W         |

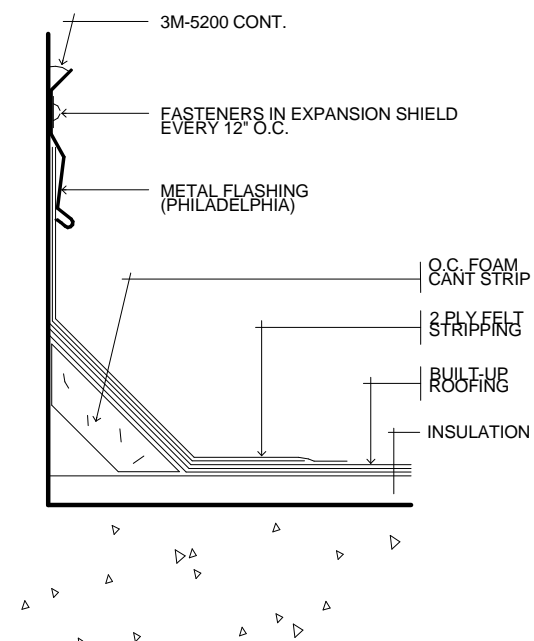


PROPOSED REFLECTED CEILING - 2ND LEVEL  
① 3/16" = 1'-0"

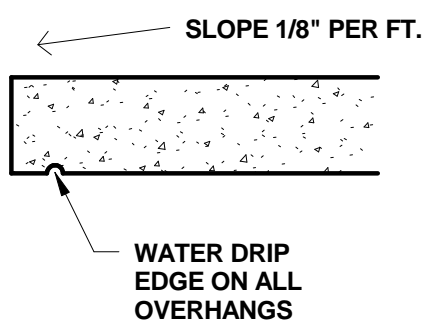
| LEGEND | DESCRIPTION   |
|--------|---|
|        | RECESSED LINEAR LIGHT FIXTURE 96"                             |
|        | RECESSED LINEAR LIGHT FIXTURE 48"                             |
|        | RECESSED LIGHT FIXTURE  |
|        | RECESSED LIGHT FIXTURE  |
|        | SURFACE MOUNTED LIGHT FIXTURE                                 |
|        | RECESSED CAN: DOWNLIGHT 6"<br>LITHONIA 6HF 2/6DTT F602A MVOLT |
|        | RECESSED CAN: DOWNLIGHT 3"                                    |
|        | EXIT LIGHT  |
|        | GYPSUM BOARD FASCIA TYPE X                                    |
|        | 2 X 4 ACOUSTIC TILE: FINE DUNE TEXTURE                        |
|        | 2 X 2 ACOUSTIC TILE: FINE DUNE TEXTURE                        |
|        | NO CEILING INSTALLED - CONCRETE<br>TO BE PRIMED AND PAINTED   |
|        | OPEN TO LEVEL ABOVE   |
|        | RETURN REGISTER<br>LAMINARIE MODEL L-RA-OB-24X24-W            |
|        | SUPPLY DIFFUSER<br>LAMINARIE MODEL L-AV-4-OB-P-24X24-W        |



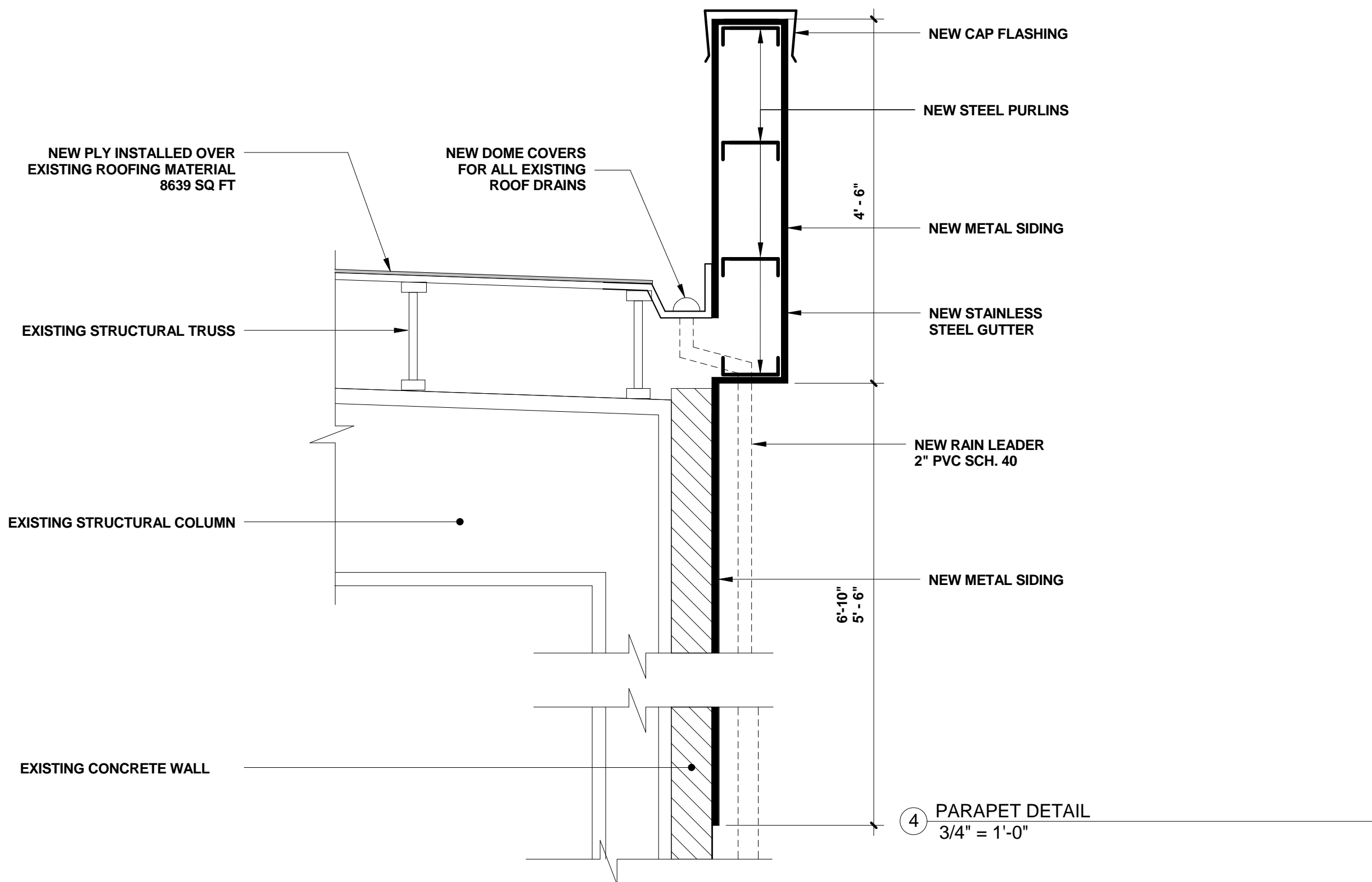
1 PROPOSED ROOF PLAN  
3/16" = 1'-0"



2 FLASHING DETAIL  
12" = 1'-0"



3 WATER DRIP DETAIL  
1" = 1'-0"

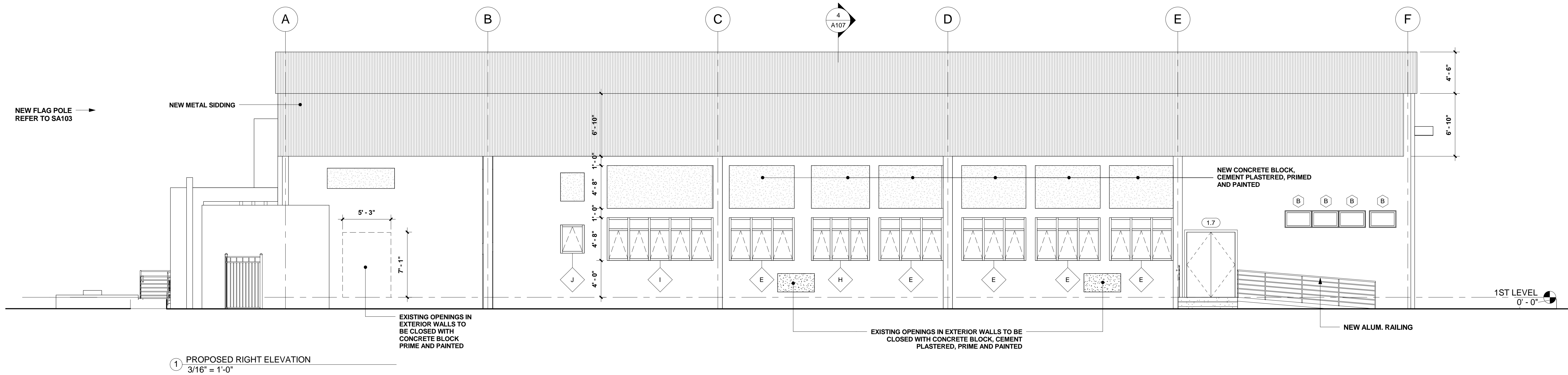


4 PARAPET DETAIL  
3/4" = 1'-0"

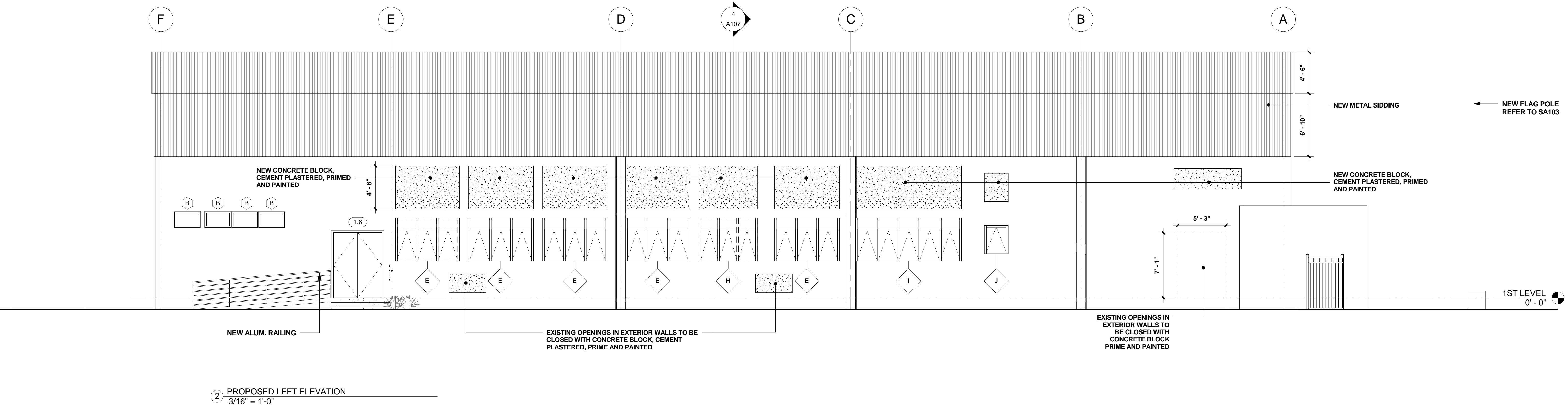


② PROPOSED REAR ELEVATION  
3/16" = 1'-0"





1 PROPOSED RIGHT ELEVATION  
3/16" = 1'-0"



2 PROPOSED LEFT ELEVATION  
3/16" = 1'-0"

EM ARCHITECTS  
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SANTA ISABEL, PUERTO RICO

CLIENT  
MUNICIPIO DE SANTA ISABEL

PROJECT #:

SCALE: 3/16" = 1'-0"

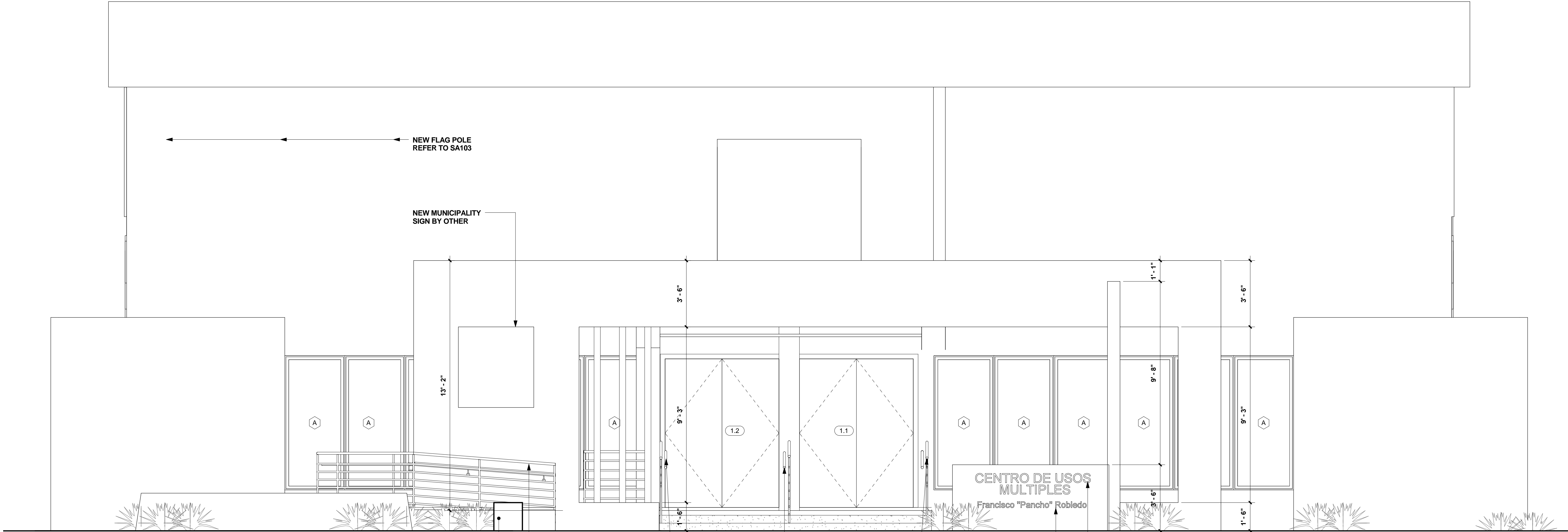
DRAWN BY: Author

PROPOSED ELEVATIONS

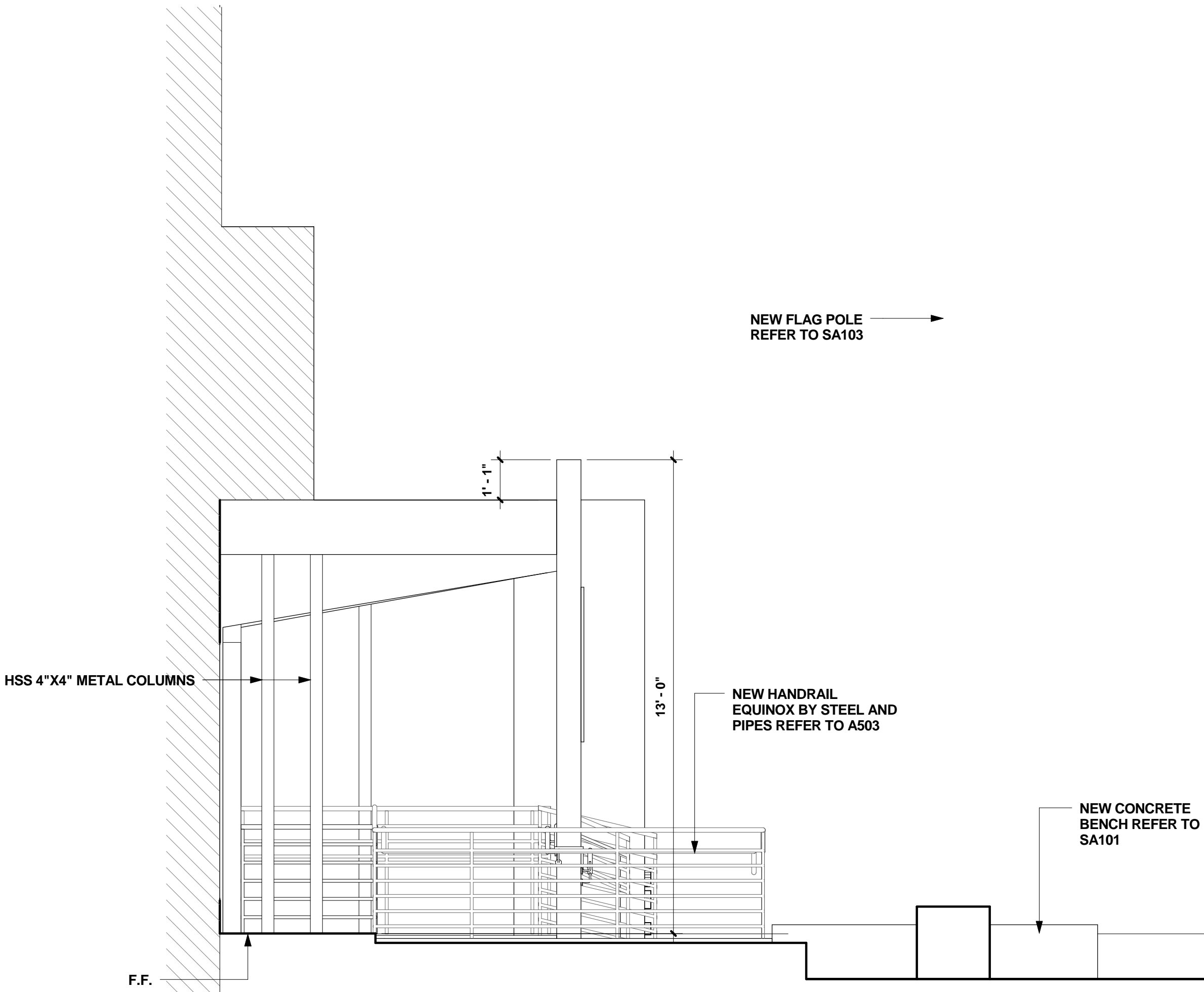
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A202

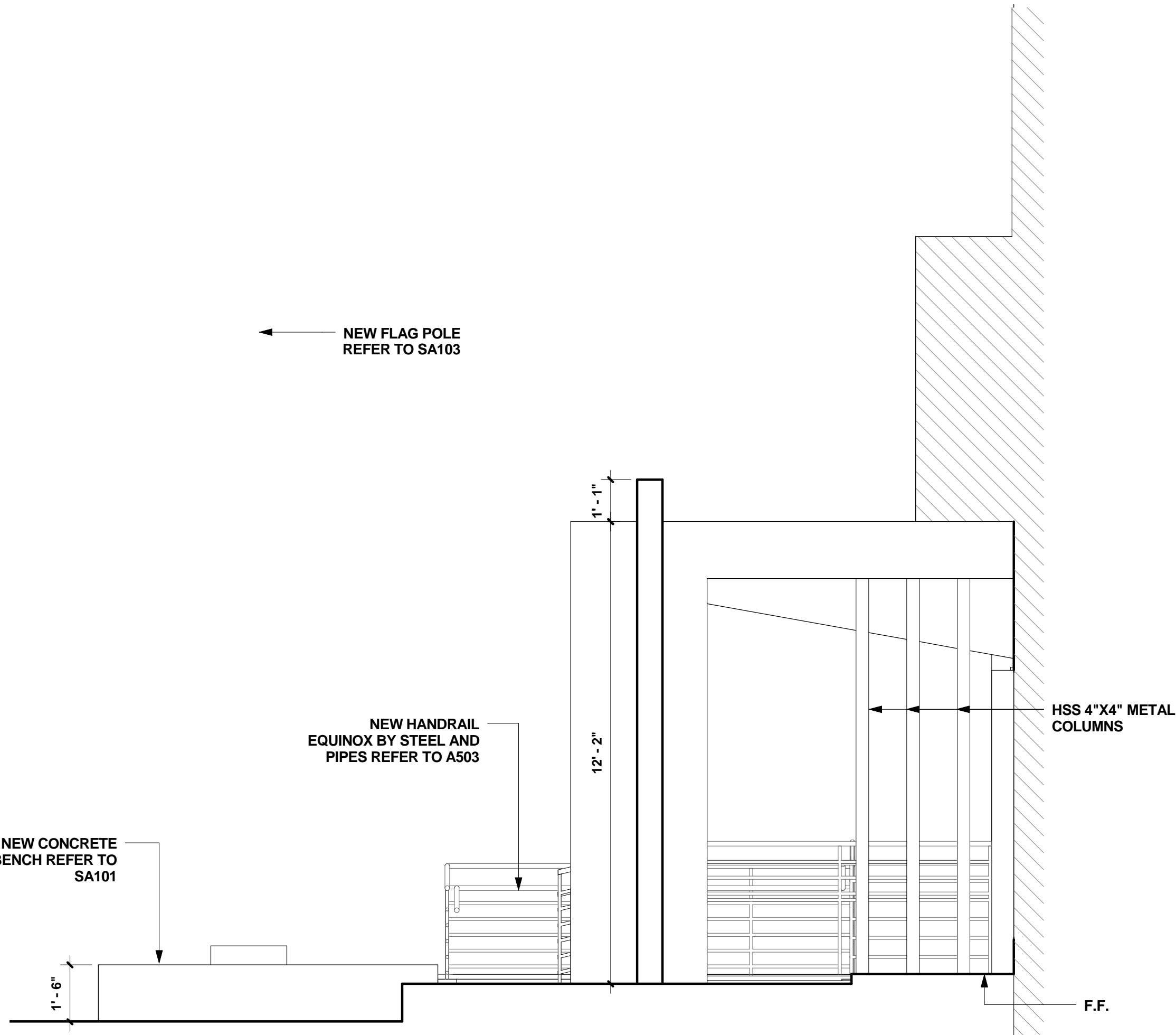
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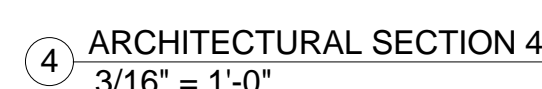
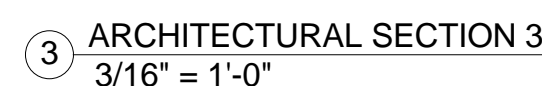
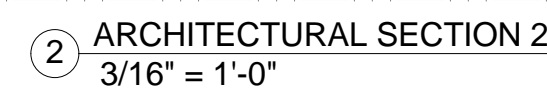
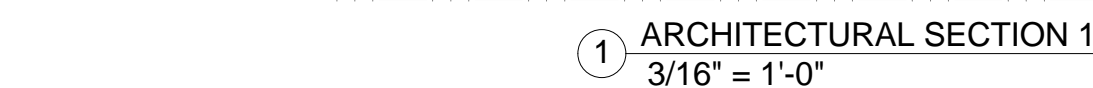
① FRONT ELEVATION - ENLARGED VIEW  
3/8" = 1'-0"

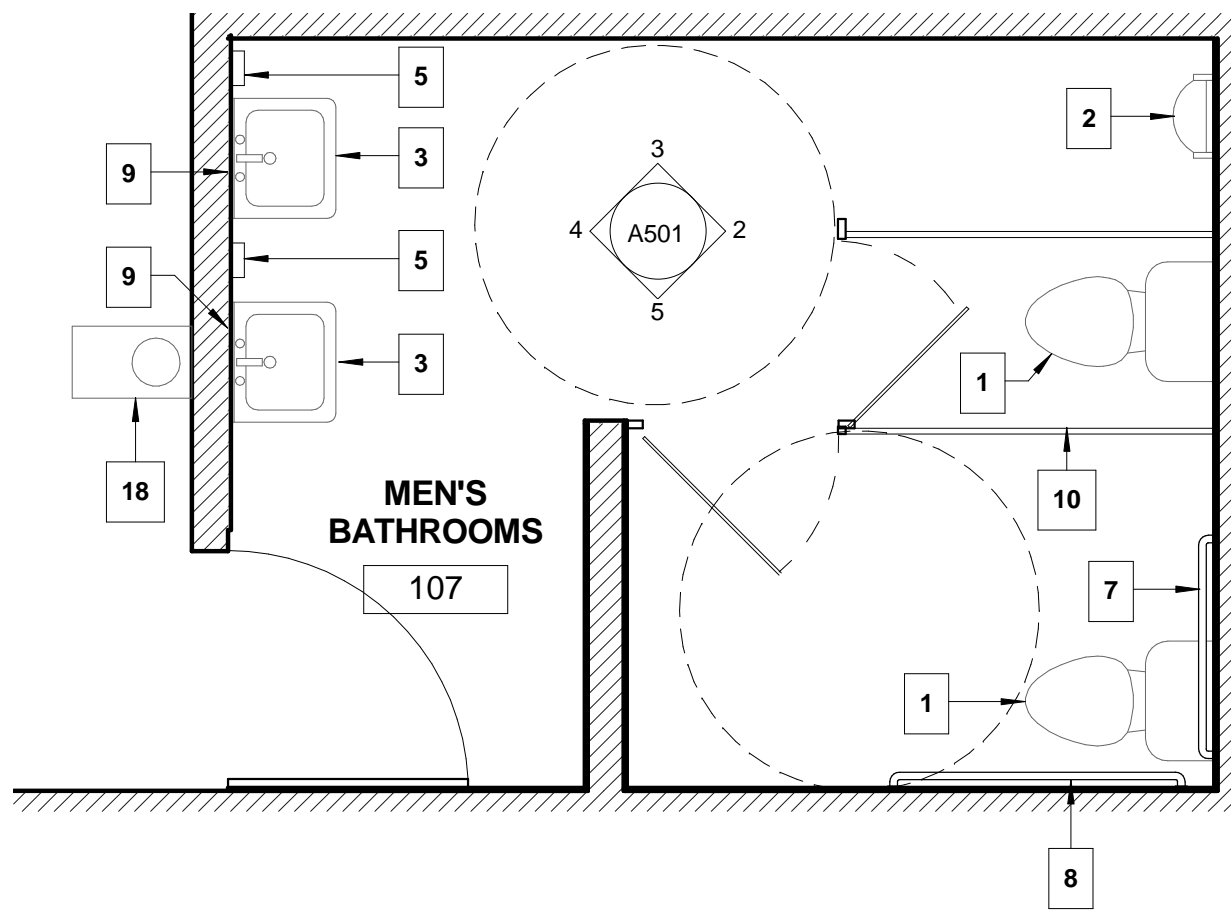


② LEFT ELEVATION - ENLARGED VIEW  
3/8" = 1'-0"

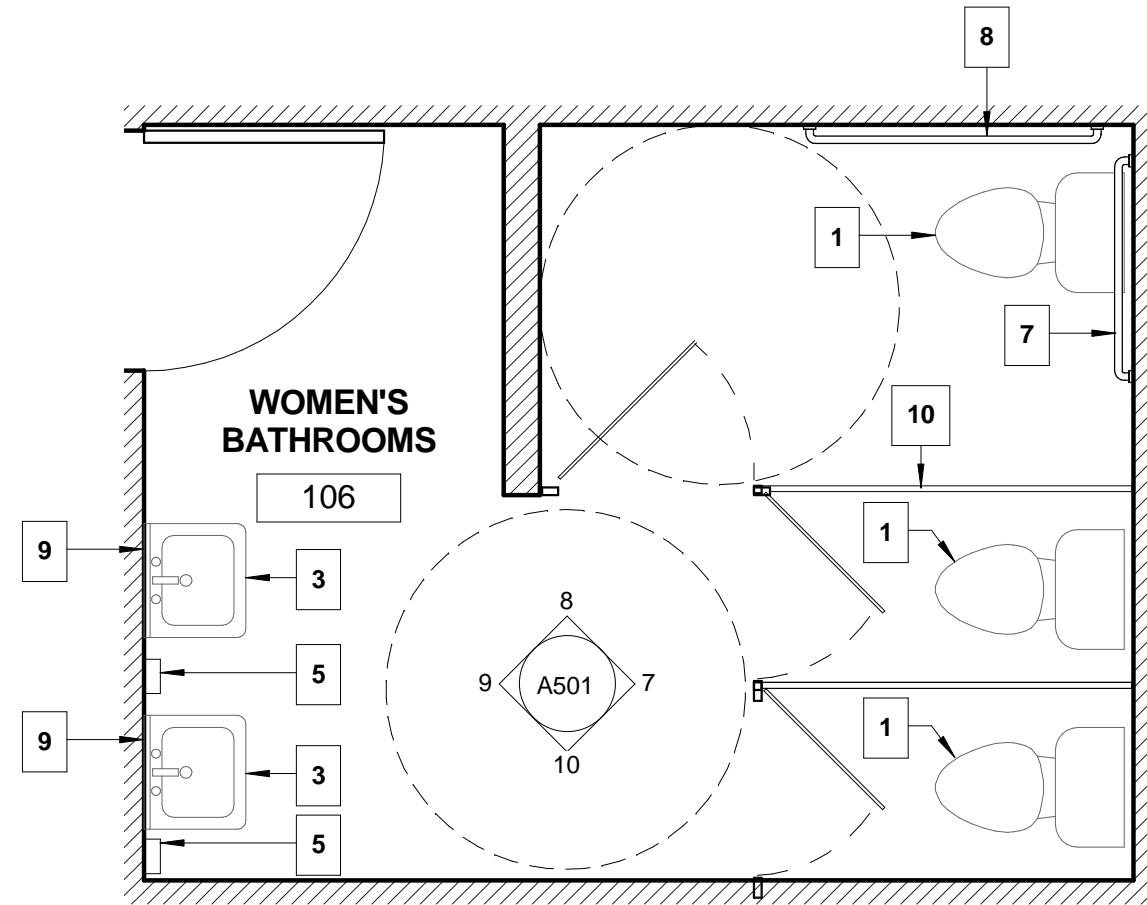


③ RIGHT ELEVATION - ENLARGED VIEW  
3/8" = 1'-0"

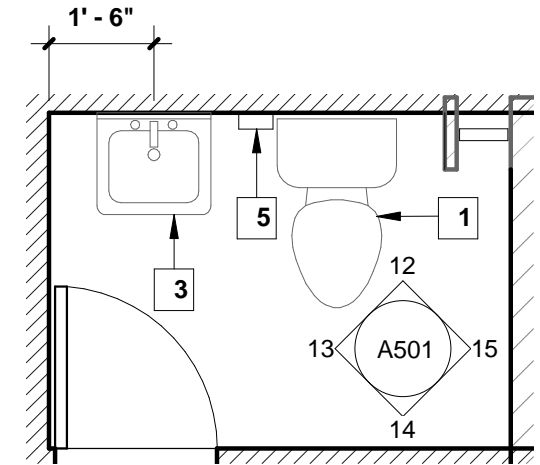




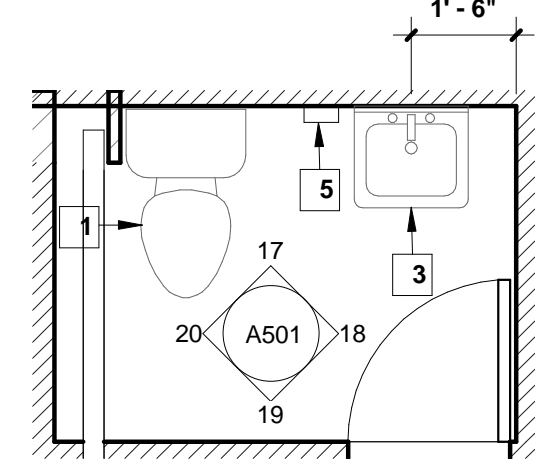
1 ENLARGED VIEW - MEN'S BATHROOMS  
3/8" = 1'-0"



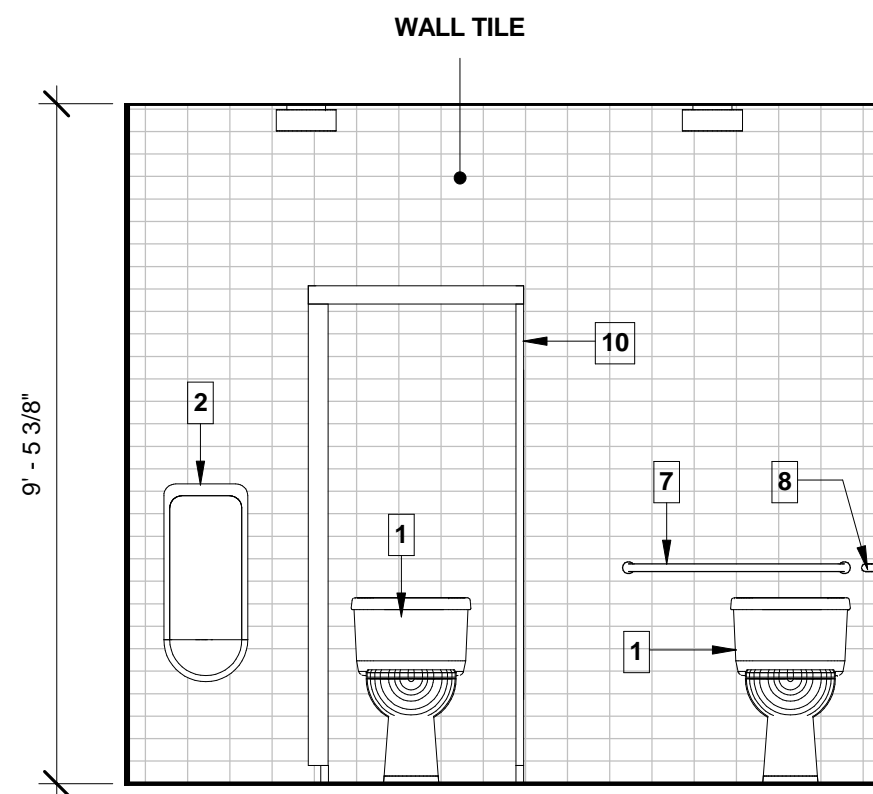
6 ENLARGED VIEW - WOMEN'S BATHROOMS  
3/8" = 1'-0"



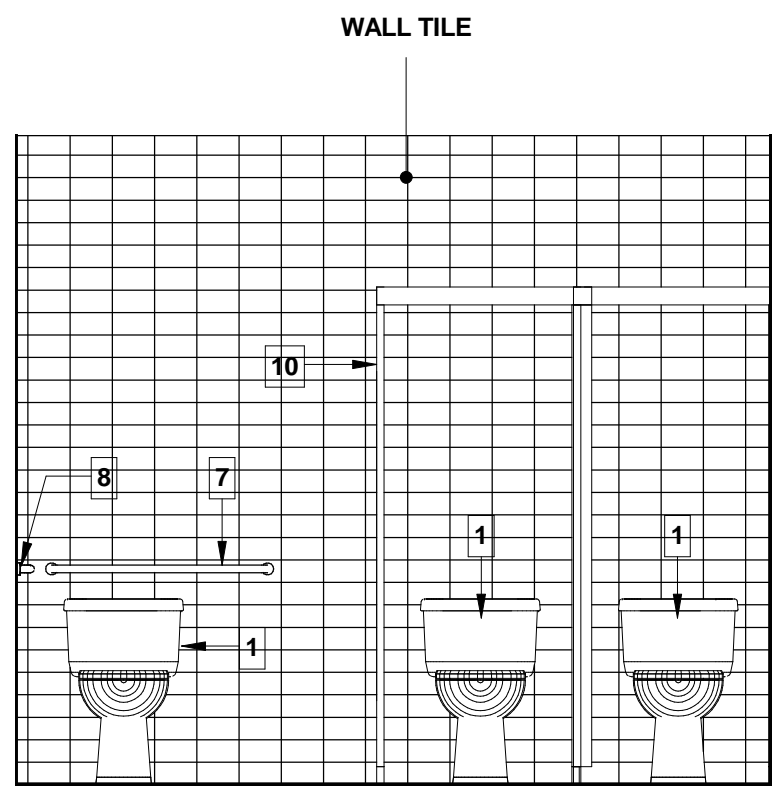
11 ENLARGED VIEW - MEN'S STAGE BATHROOMS  
3/8" = 1'-0"



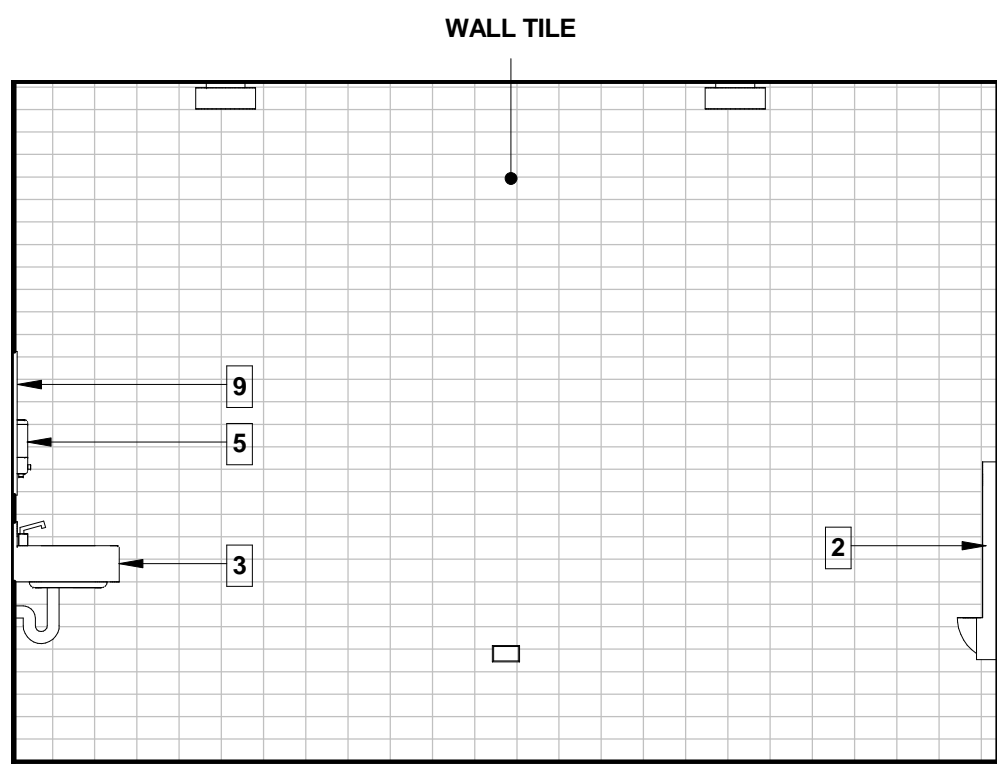
16 ENLARGED VIEW - WOMEN'S STAGE BATHROOMS  
3/8" = 1'-0"



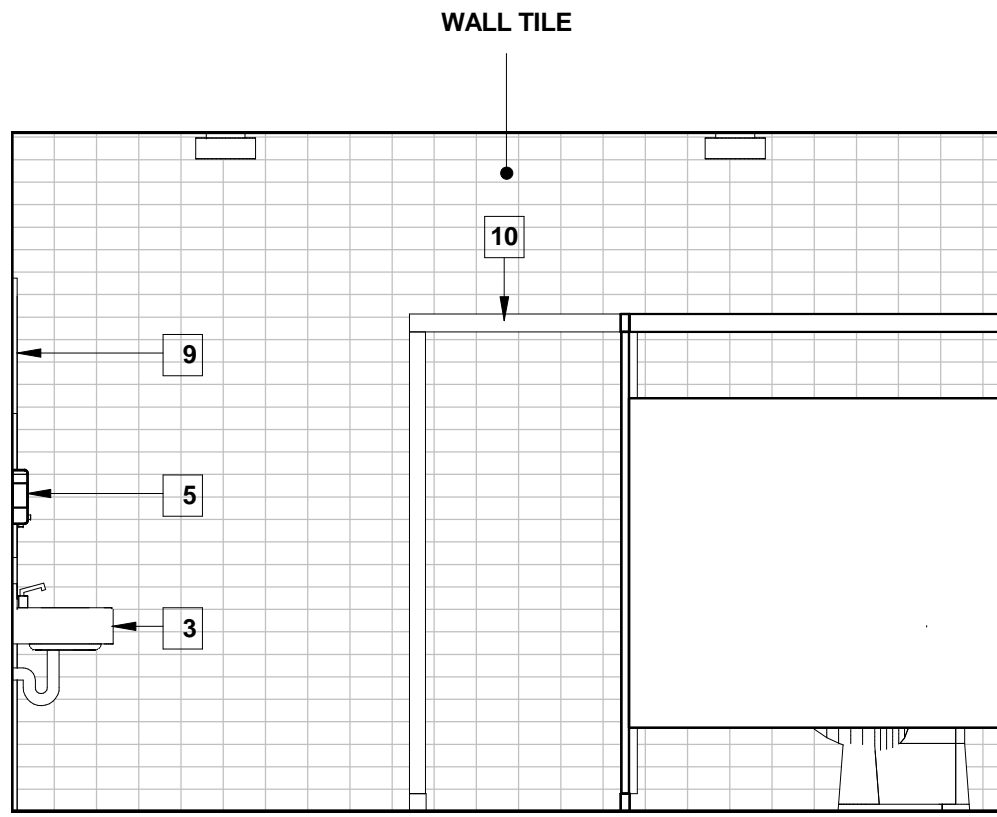
2 ELEVATION - 1 - MEN BATHROOM  
3/8" = 1'-0"



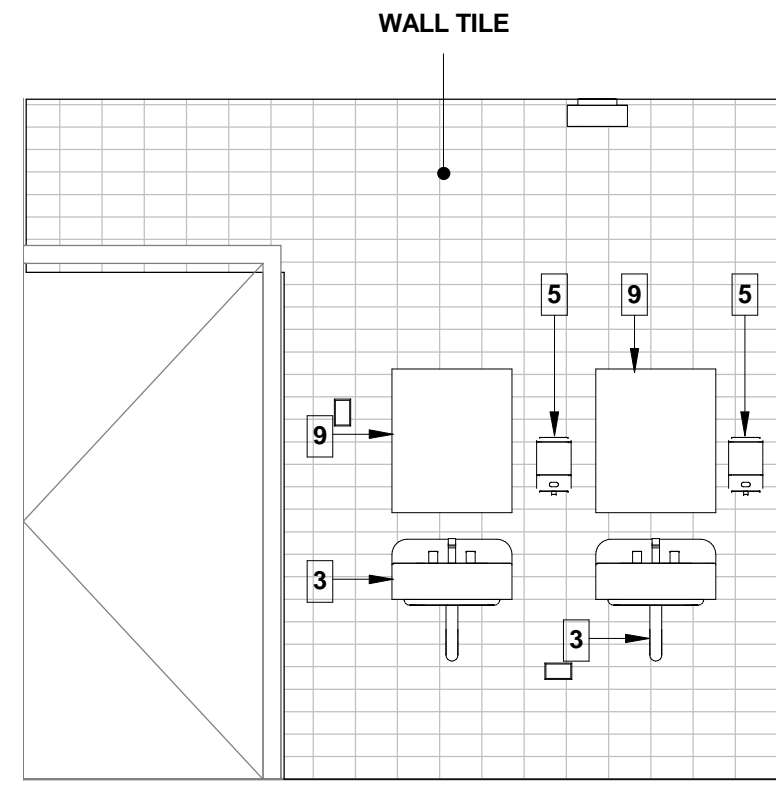
7 ELEVATION - 7 - WOMEN BATHROOM  
3/8" = 1'-0"



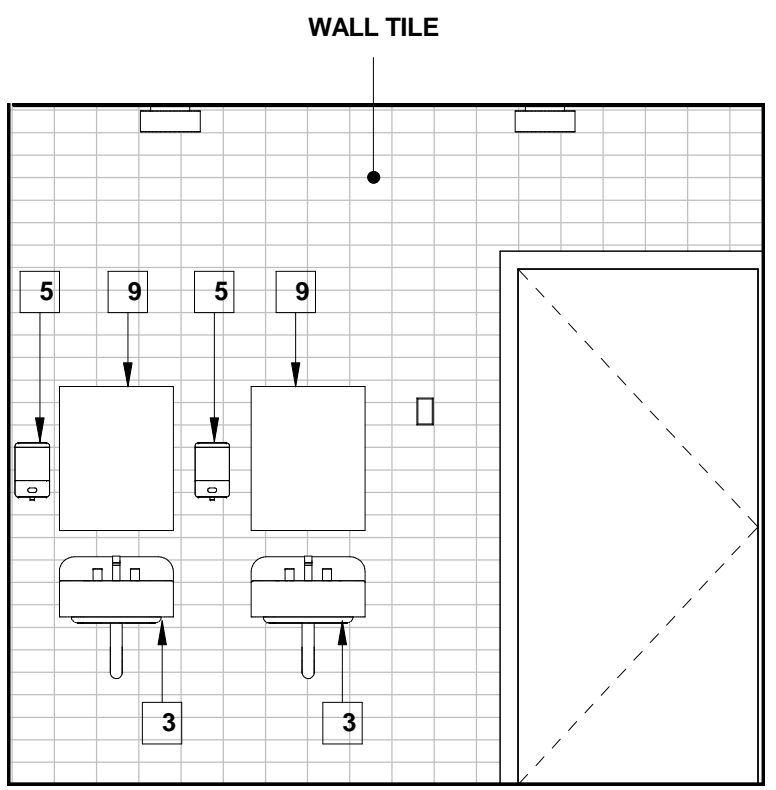
3 ELEVATION - 2 - MEN BATHROOM  
3/8" = 1'-0"



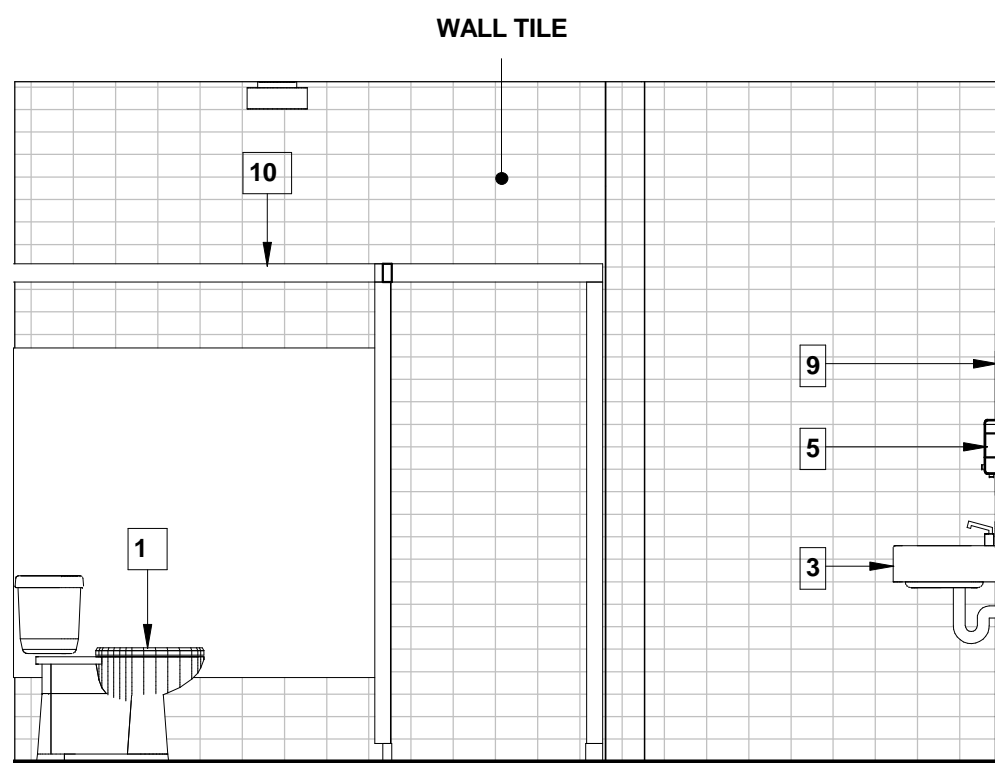
8 ELEVATION - 8 - WOMEN BATHROOM  
3/8" = 1'-0"



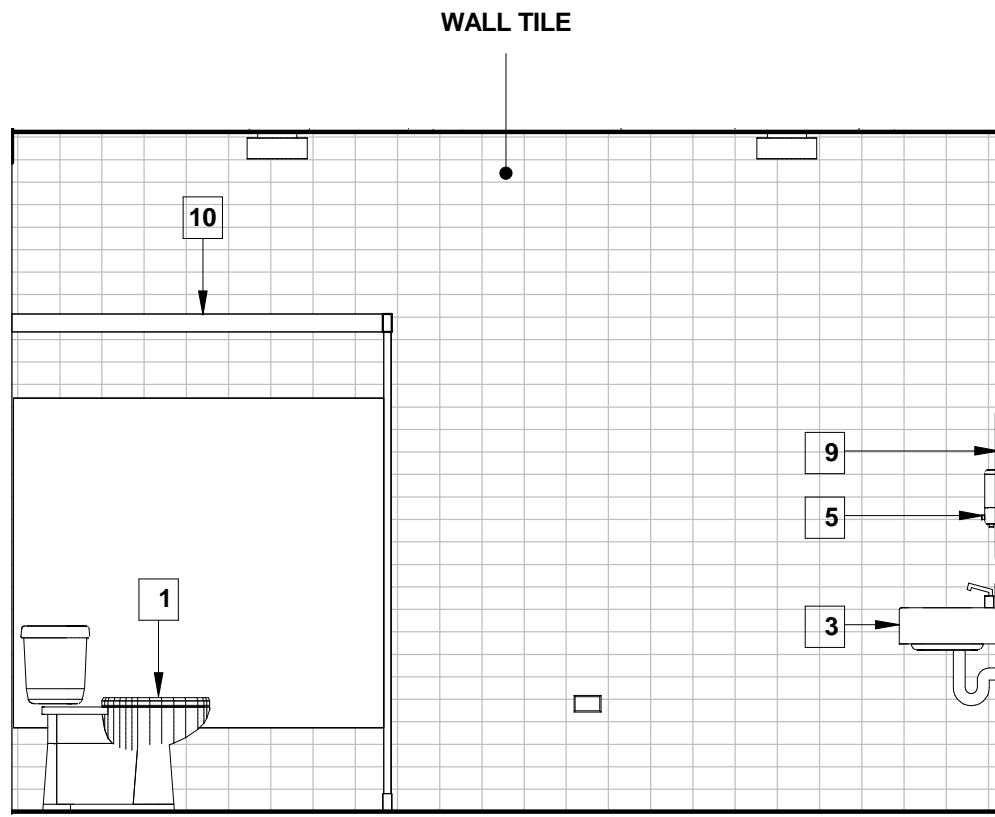
4 ELEVATION - 3 - MEN BATHROOM  
3/8" = 1'-0"



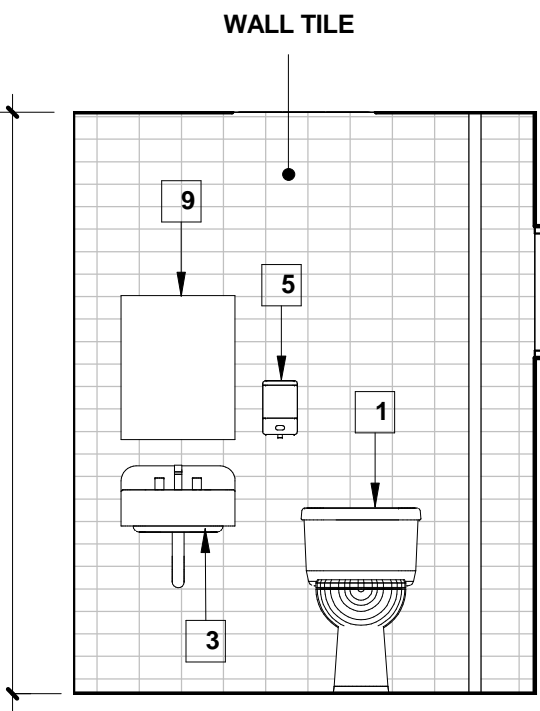
9 ELEVATION - 9 - WOMEN BATHROOM  
3/8" = 1'-0"



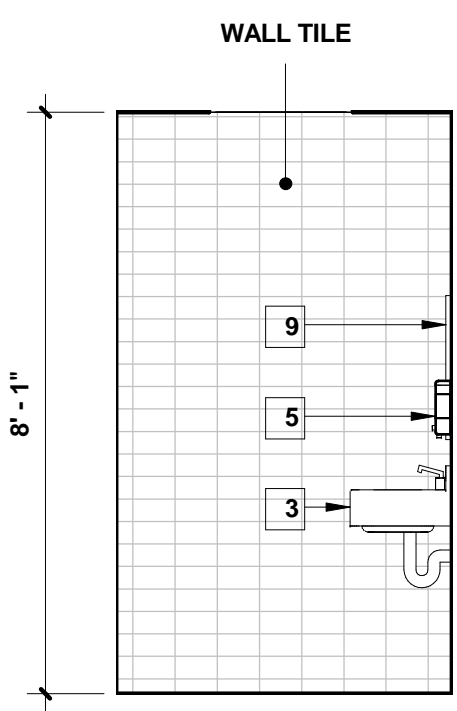
5 ELEVATION - 4 - MEN BATHROOM  
3/8" = 1'-0"



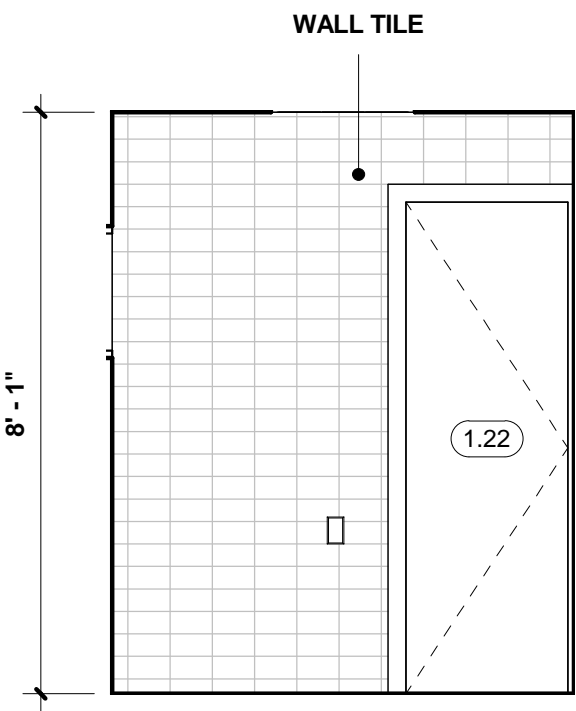
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3/8" = 1'-0"



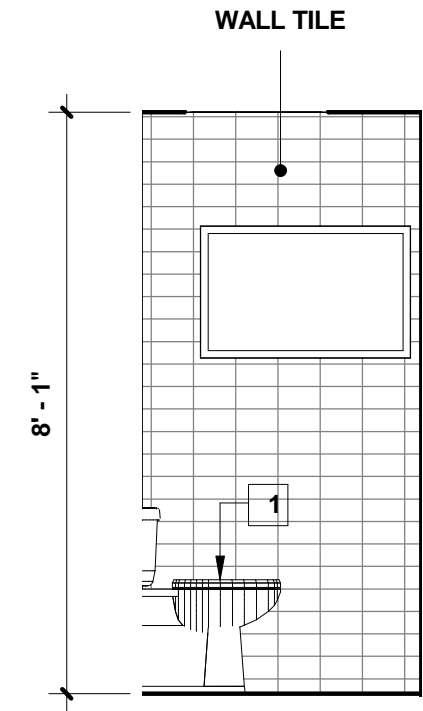
12 ELEVATION - 1 - BATH STAGE -1  
3/8" = 1'-0"



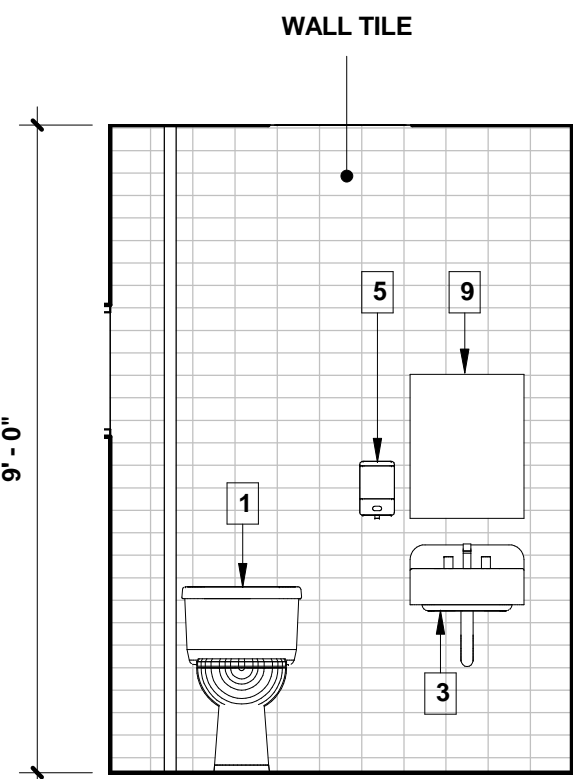
13 ELEVATION - 2 - BATH STAGE -1  
3/8" = 1'-0"



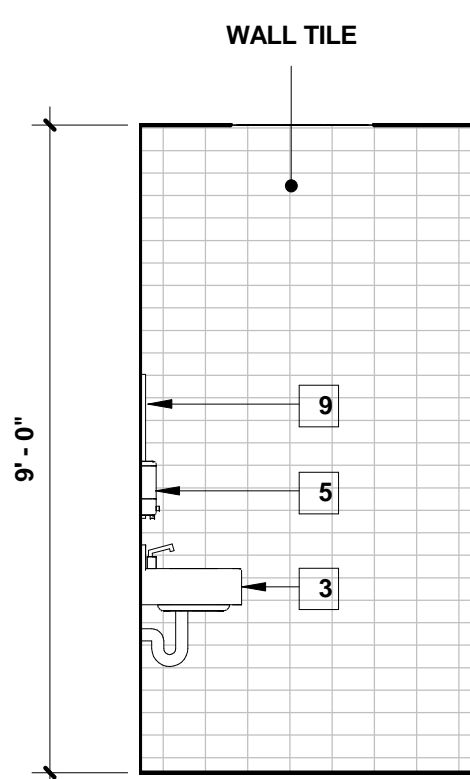
14 ELEVATION - 3 - BATH STAGE -1  
3/8" = 1'-0"



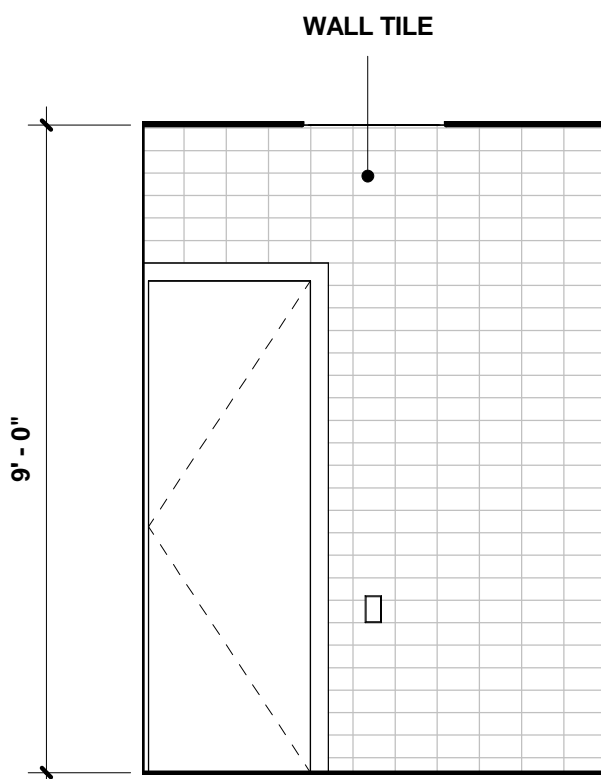
15 ELEVATION - 4 - BATH STAGE -1  
3/8" = 1'-0"



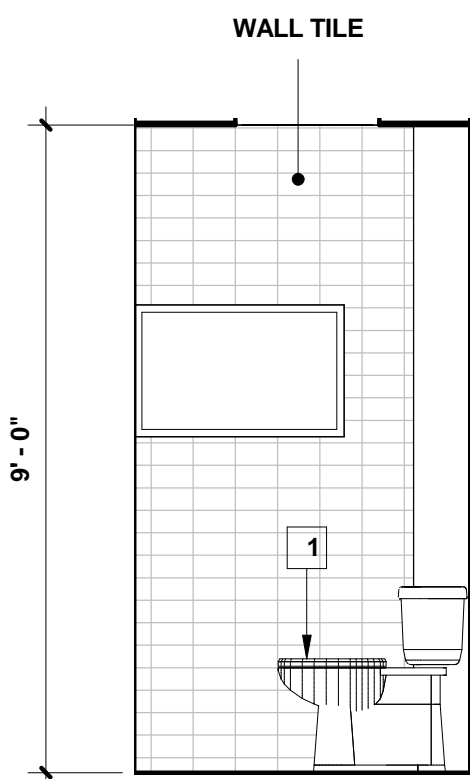
17 ELEVATION - 1 - BATH STAGE -2  
3/8" = 1'-0"



18 ELEVATION - 4 - BATH STAGE -2  
3/8" = 1'-0"



19 ELEVATION - 3 - BATH STAGE -2  
3/8" = 1'-0"



20 ELEVATION - 2 - BATH STAGE -2  
3/8" = 1'-0"

#### NOTES:

- THE GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR THE ARCHITECTS APPROVAL FOR ALL THE EQUIPMENT LISTED ABOVE.

- ALL BATHROOM FIXTURES TO BE REMOVED AND REPLACED. SUBSTITUTIONS MUST BE EQUAL OR SIMILAR TO THE ONES SPECIFIED ABOVE.

- ALL ITEMS SUBMITTED FOR EVALUATION SHALL COMPLY WITH THE BUY AMERICAN ACT

- THE GENERAL CONTRACTOR SHALL SUPPLY AND INSTALL AN ABOVE GROUND, 80 LBS. GREASE TRAP BY ZURN IN SNACK BAR

| FIXTURE & ACCESSORY SCHEDULE |                        |  |          |   |
|------------------------------|------------------------|--|----------|---|
| ITEM                         | DESCRIPTION            | MANUFACTURER / MODEL                                     | QUANTITY | NOTES   |
| 1                            | TOILET                 | AMERICAN STANDARD MODEL 3378.128                         |          |   |
| 2                            | URINAL                 | AMERICAN STANDARD MODEL MAYBROOK 6581.015                |          |   |
| 3                            | LAVATORY               | AMERICAN STANDARD MODEL 9024.004EC                       |          | FAUCET - AMERICAN STANDARD MODEL MONTERREY 7500.175   |
| 4                            | LAVATORY               | AMERICAN STANDARD MODEL 124.024                          |          | FAUCET - AMERICAN STANDARD MODEL MONTERREY 7500.175   |
| 5                            | MIRROR                 | BOBRICK BOB290-1830                                      |          |   |
| 6                            | MIRROR - ADA           | BOBRICK BOB293-1830                                      |          |   |
| 7                            | GRAB BAR 36"           | BOBRICK B-5806 x 36 36"                                  |          |   |
| 8                            | GRAB BAR 42"           | B-5806 x 42  |          |   |
| 9                            | SOAP DISPENSER         | BOBRICK B2111  |          |   |
| 10                           | PARTITION              | BOBRICK DURALINE SERIES MODEL 1182                       |          | OVERHEAD BRACING MOUNTING CONFIGURATION AT 85° A.F.F. / "BRUSHED ALUMINUM 0328 FH (SUBMIT SHOP DWG) |
| 11                           | TOILET PAPER DISPENSER | BOBRICK B7685  |          |   |
| 12                           | TRASH RECEPTACLE       | BOBRICK B277   |          |   |
| 13                           | KITCHEN SINK           | 33X22 Top Mount Quartz Double Bowl - ELKAY SHOCK (BLACK) |          |   |
| 14                           | SINK                   | DELUCA DELTA - BLACK KITCHEN FAUCET W. SOAP DISPENSER    |          |   |
| 18                           | DRINKING FOUNTAIN      | ELKAY  |          |   |

EM ARCHITECTS

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DRAWN BY: Author

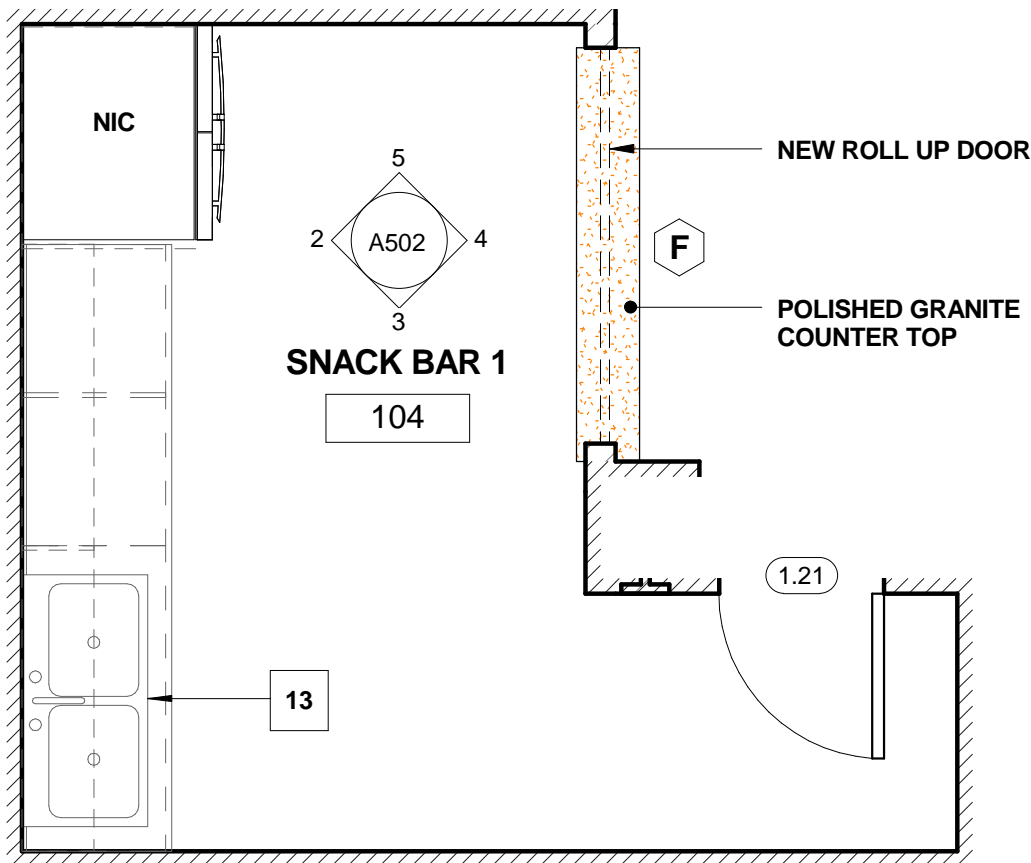
ENLARGED VIEW - BATHROOMS

TITLE

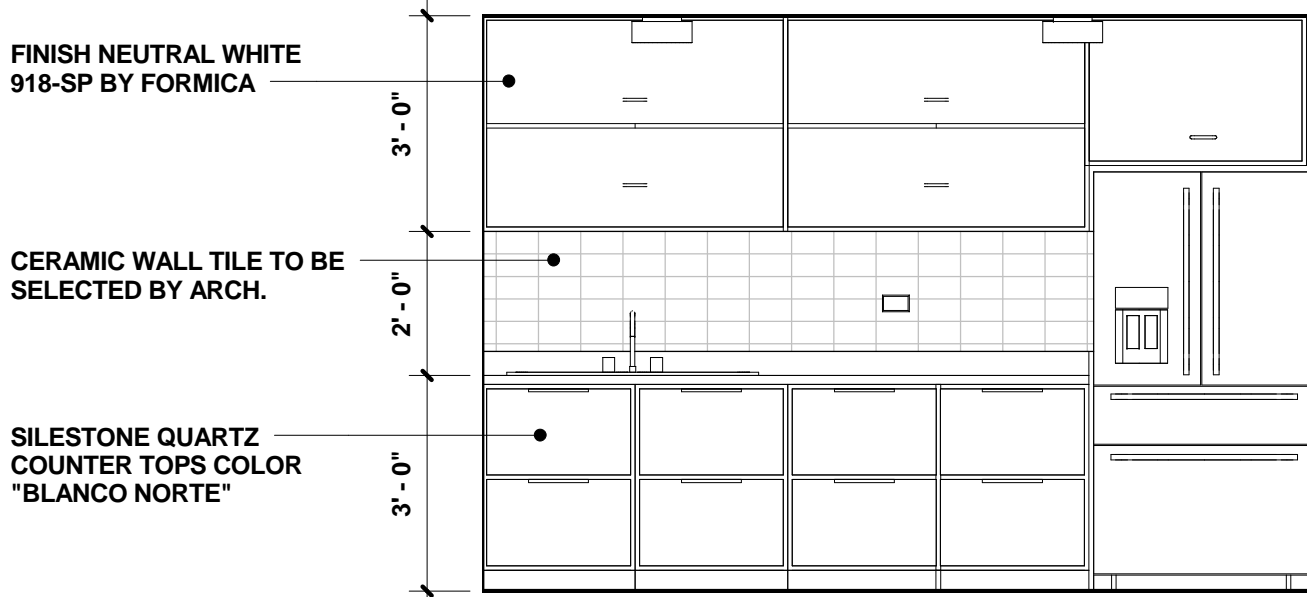
SHEET

A501

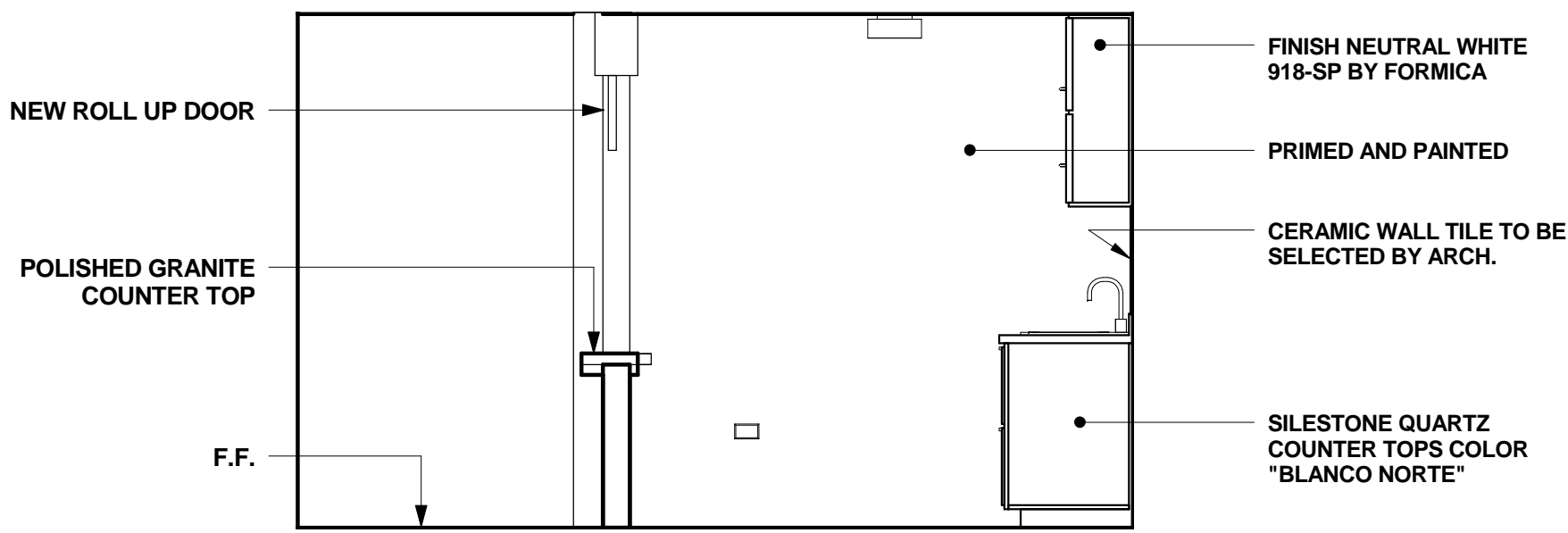




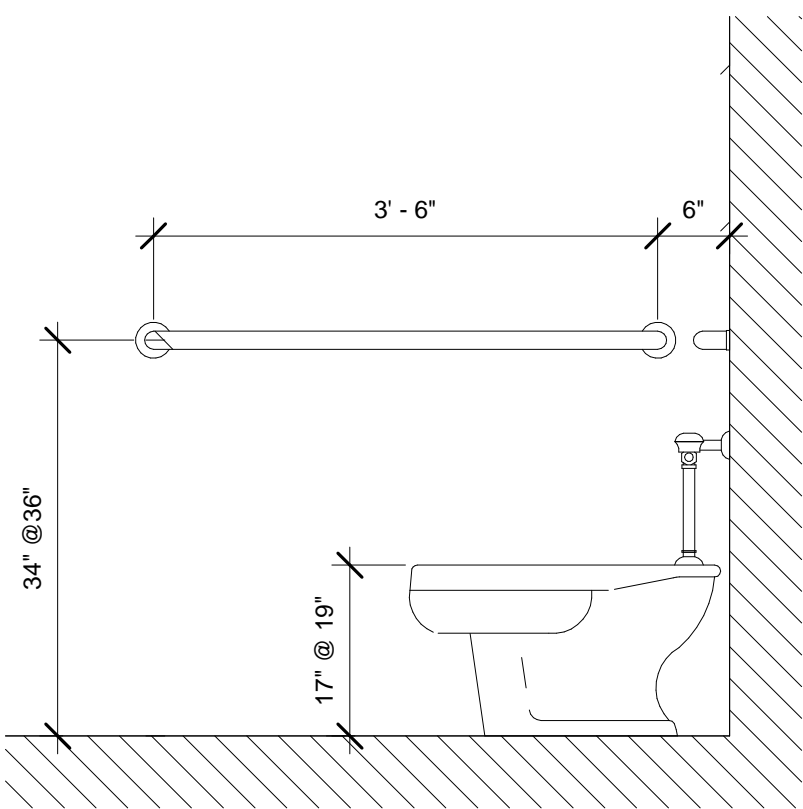
1 ENLARGED VIEW - SNACK BAR  
3/8" = 1'-0"



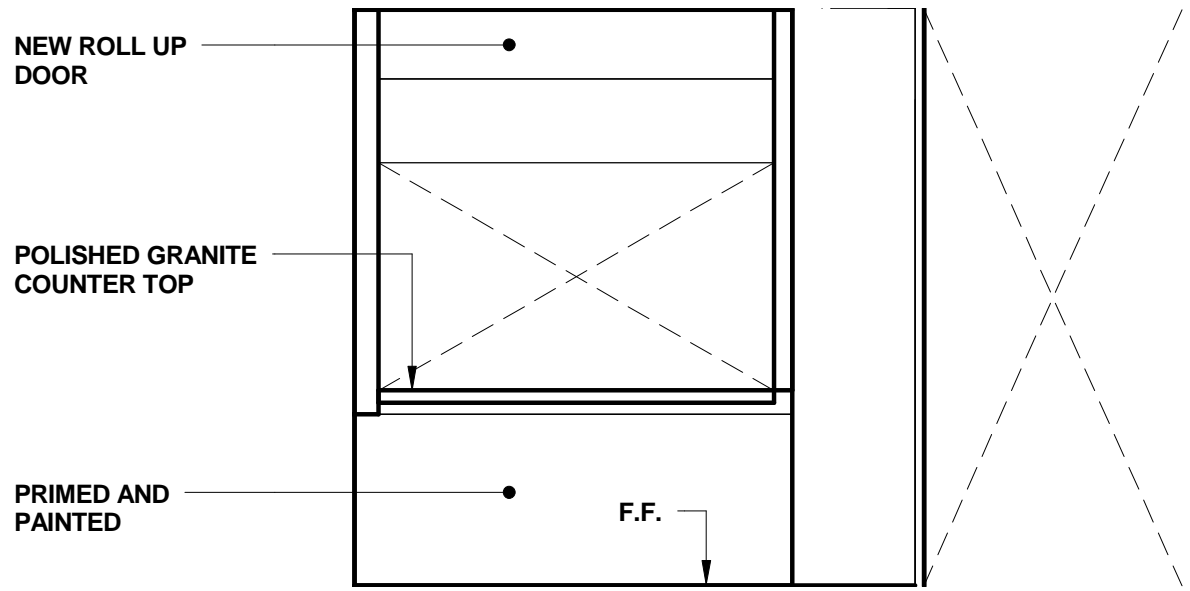
2 ELEVATION - 1 - SNACK BAR  
3/8" = 1'-0"



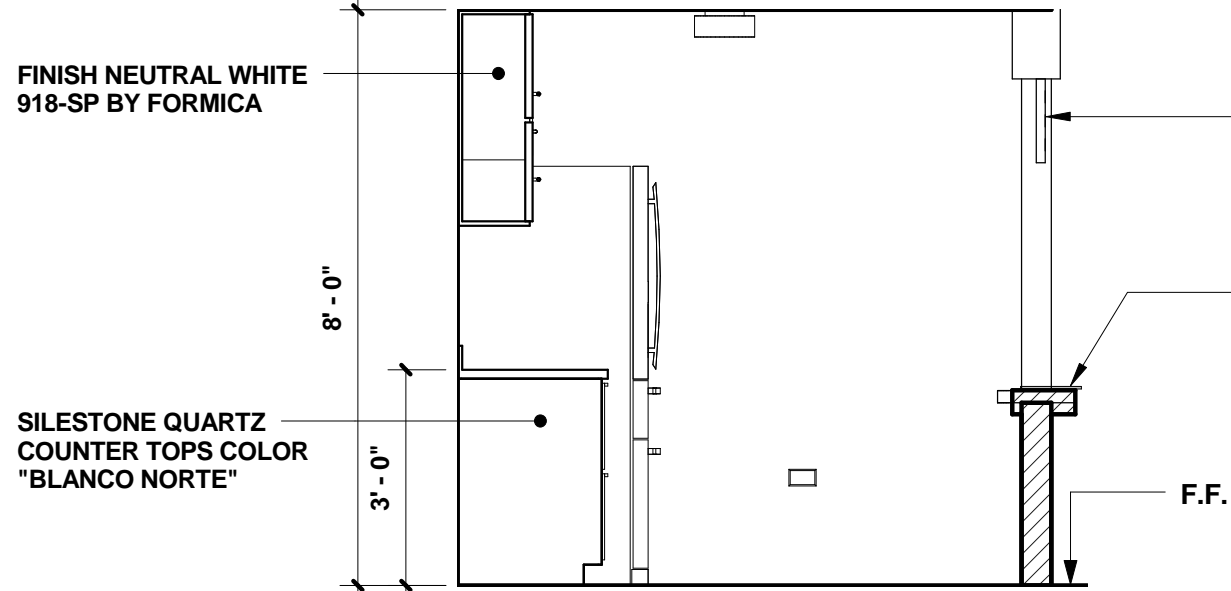
3 ELEVATION - 2 - SNACK BAR  
3/8" = 1'-0"



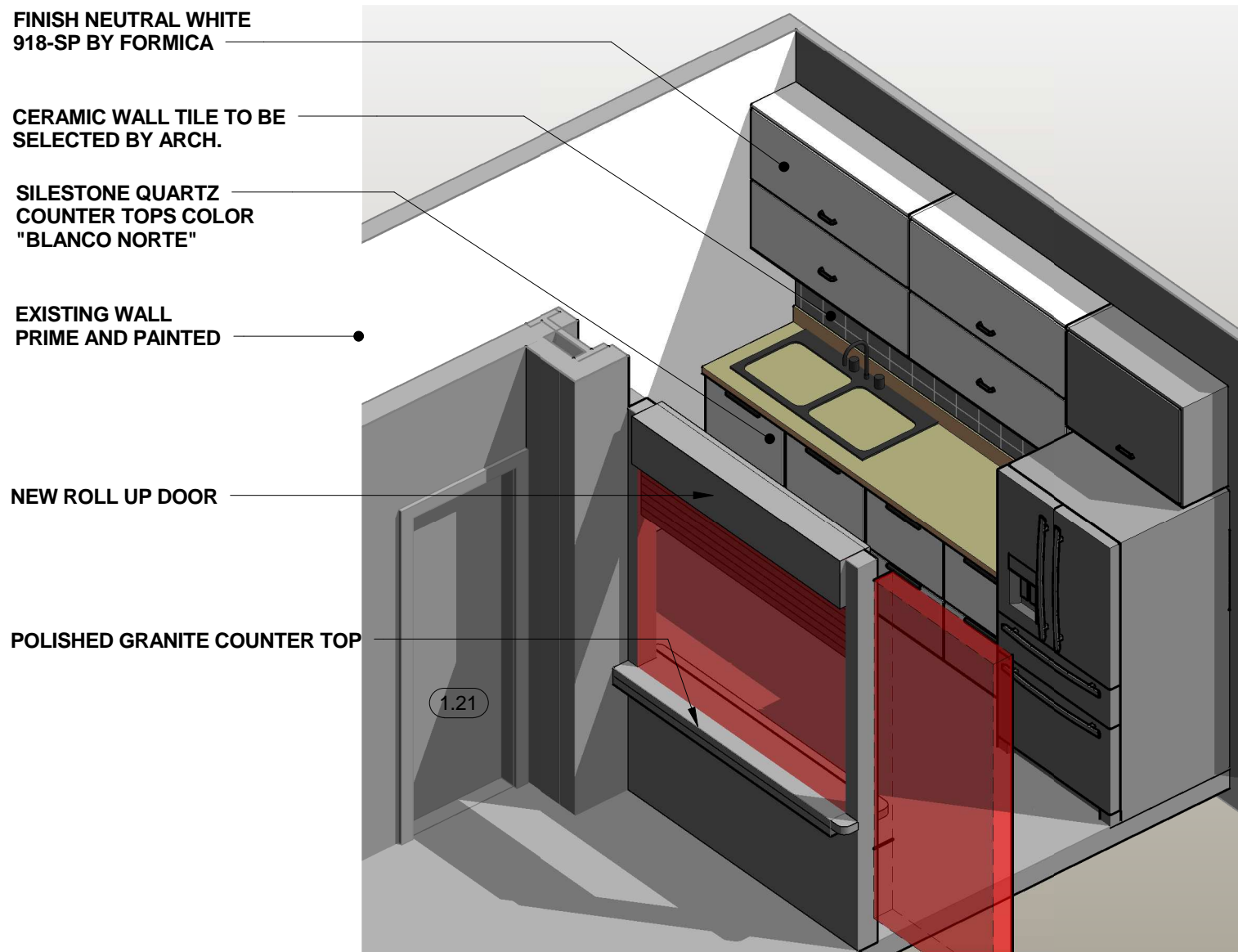
7 GRAB BAR DETAIL  
3/4" = 1'-0"



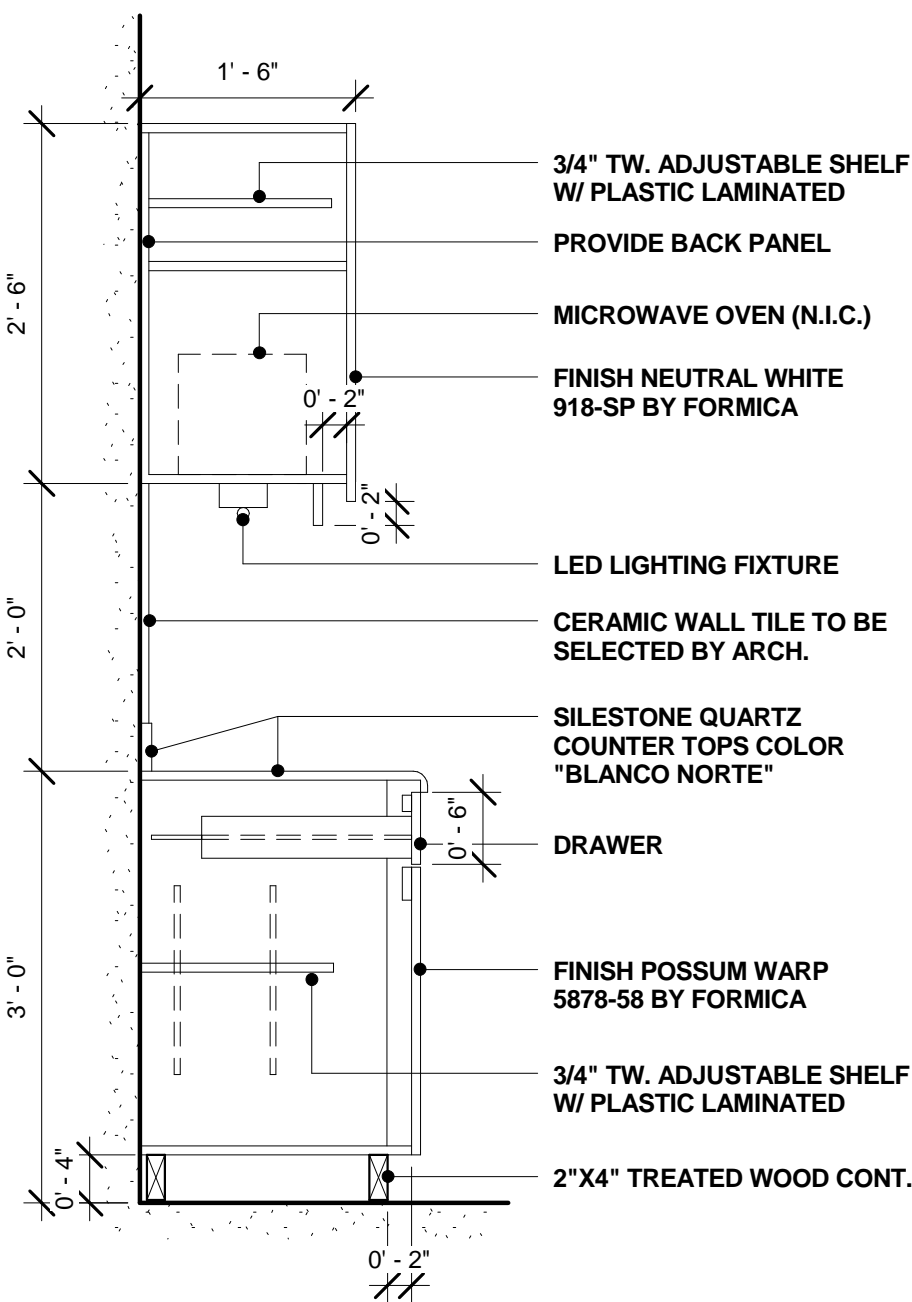
4 ELEVATION - 3 - SNACK BAR  
3/8" = 1'-0"



5 ELEVATION - 4 - SNACK BAR  
3/8" = 1'-0"

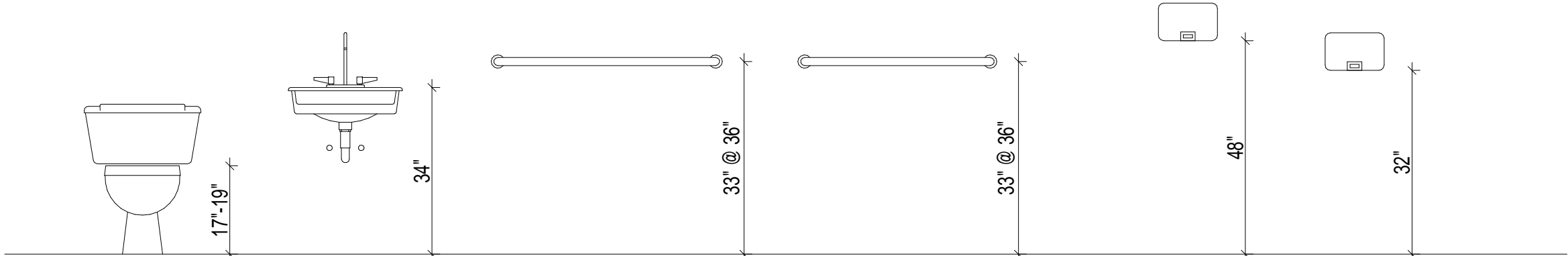


6 3D VIEW - SNACK BAR

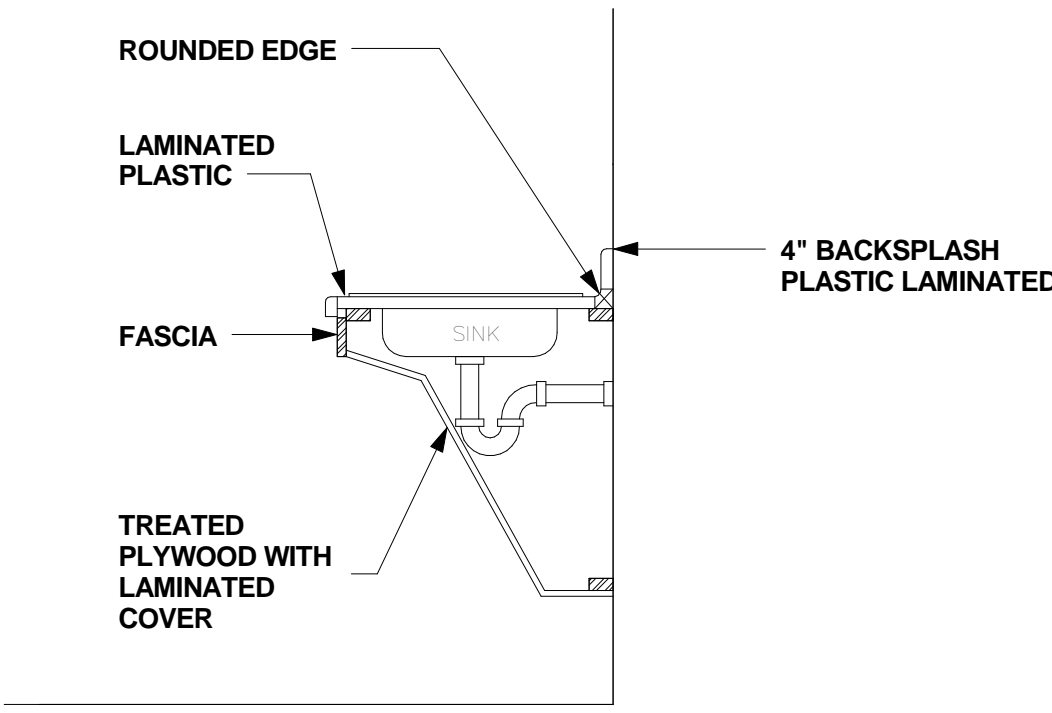


8 KITCHEN CABINET DETAIL  
3/4" = 1'-0"

- CABINET NOTES:
1. THE CABINET WORK SHALL INCLUDE THE CONSTRUCTION AND INSTALLATION OF BASE CABINET, SHELVING AND ACCESSORIES.
  2. ANY CHANGE IN THE CONSTRUCTION AND INSTALLATION CABINET HAS TO BE APPROVED BY PURCHASING OFFICER.
  3. CABINET SHALL COMPLY WITH ANSI A 161.1-1973
  4. THE CONTRACTOR SHALL BE RESPONSIBLE TO SUPPLY ALL ACCESSORIES.
  5. NO SLIDING DOOR SHALL BE USED - SWINGING DOOR SHALL BE USED WITH MAGNETIC CATCHES AND CONCEALED HINGES.
  6. INSTALL METALLIC DRAWER GUIDES ON BOTH SIDES. DO NOT USE SINGLE AND CANTERED GUIDES.
  7. PROVIDE DRAWERS AS SHOWN ON DRAWINGS.
  8. INTERIOR FINISHES SHALL BE OF PLYWOOD GRADE "B" VANNER OR BETTER AS SPECIFIED BY AMERICAN PLYWOOD ASSOCIATION.
  9. ALL INTERIOR CABINET SURFACES SHALL BE FINISHED WITH AT LEAST TWO COAST OF CLEAR LACQUER OR VARNISH, INCLUDING THE INTERIOR SURFACE OF THE DOORS AND THE BOTTOM OF DRAWERS, INSIDE & OUTSIDE. INTERIOR SHALL BE THOSE THAT ARE NOT IN VIEW WHEN CABINET IS CLOSED.
  10. ALL EXTERIOR CABINET SURFACES SHALL BE OF PLASTIC LAMINATED UNLESS OTHERWISE NOTED.
  11. ALL CABINET DOORS SHALL BE LAMINATED ON FRONT AND THE FOUR EDGES. THE INTERIOR SURFACE SHALL BE FINISHED WITH AT LEAST 2 COATS OF CLEAR LACQUER OR VARNISH.
  12. ALL WOOD MATERIAL (SOLID OR PLYWOOD) SHALL BE PRESSURE TREATED AND KILN DRIED IN ACCORDANCE WITH FEDERAL SPECIFICATIONS TT-W-570 AND TT-W-572
  13. THE CONTRACTOR SHALL SUBMIT SHOP DRAWING FOR APPROVAL.
  14. THE CONTRACTOR SHALL SUBMIT MANUFACTURER'S STANDARD COLOR SAMPLES TO MATCH.
  15. CABINET DOOR AND DRAWER'S PULL SHALL BE EQUAL TO CABINET PULLS MODEL HC421-2/1/4 WIDTH, ANODIZED SATIN CLEAR FINISH, AS MANUFACTURED BY "FORM AND SURFACES COMPANY" AND DISTRIBUTED IN P.R. BY "WORLDWIDE IMPEX CORPORATION" (787) 767-2226

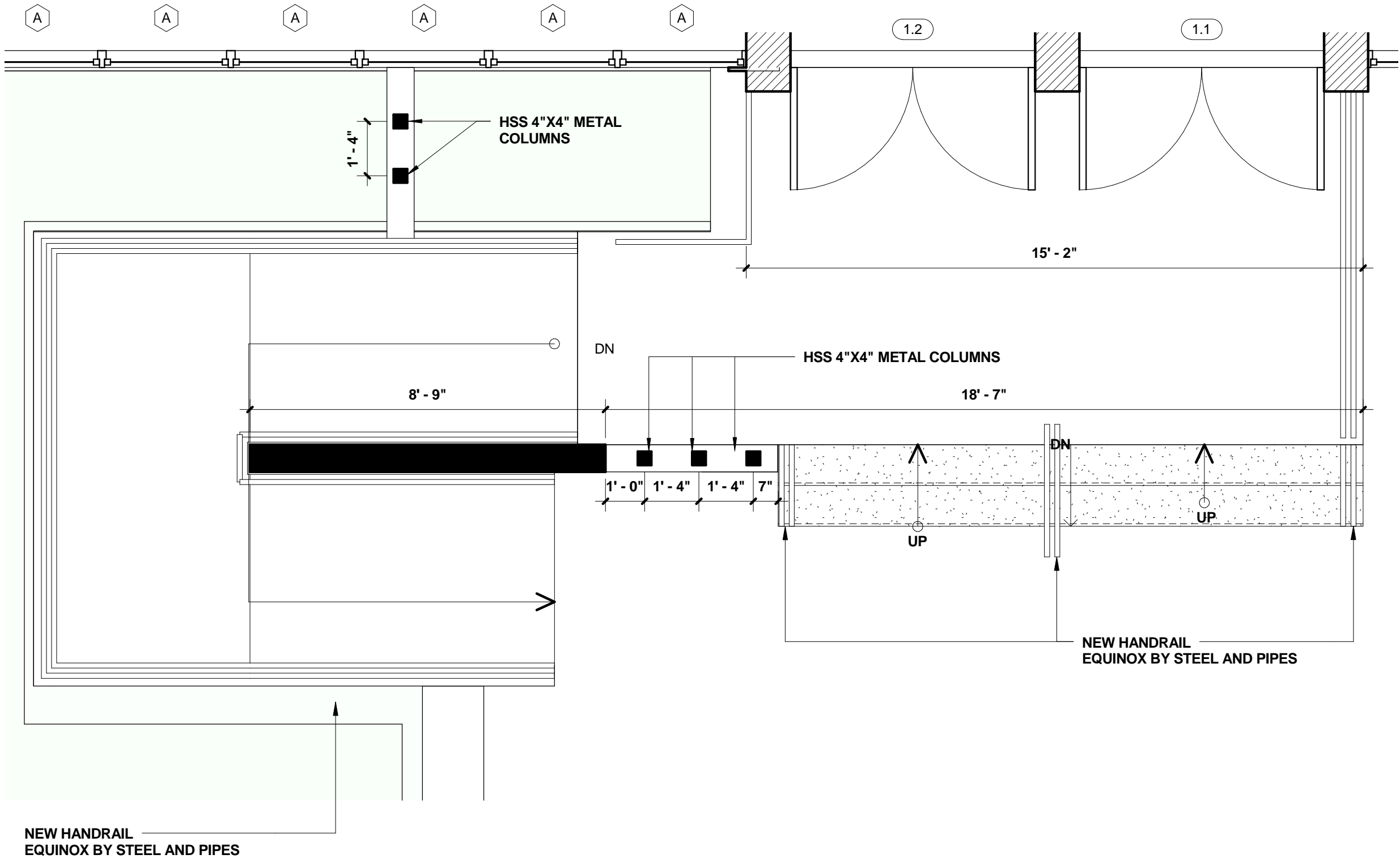


BATHROOM EQUIPMENT INSTALL  
HEIGHTS  
1/2" = 1'-0"

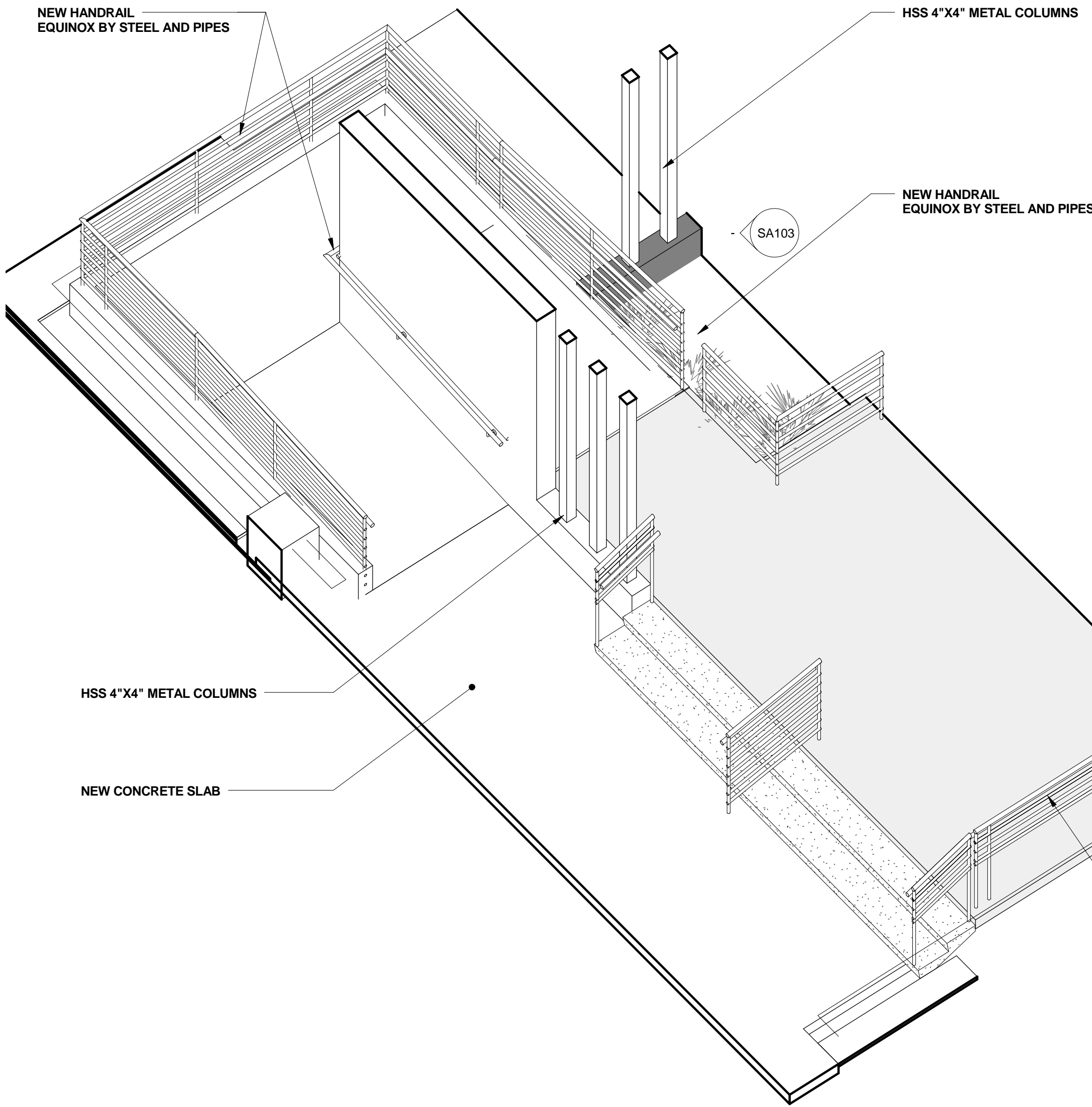


9 ADA CABINET DETAIL  
3/4" = 1'-0"

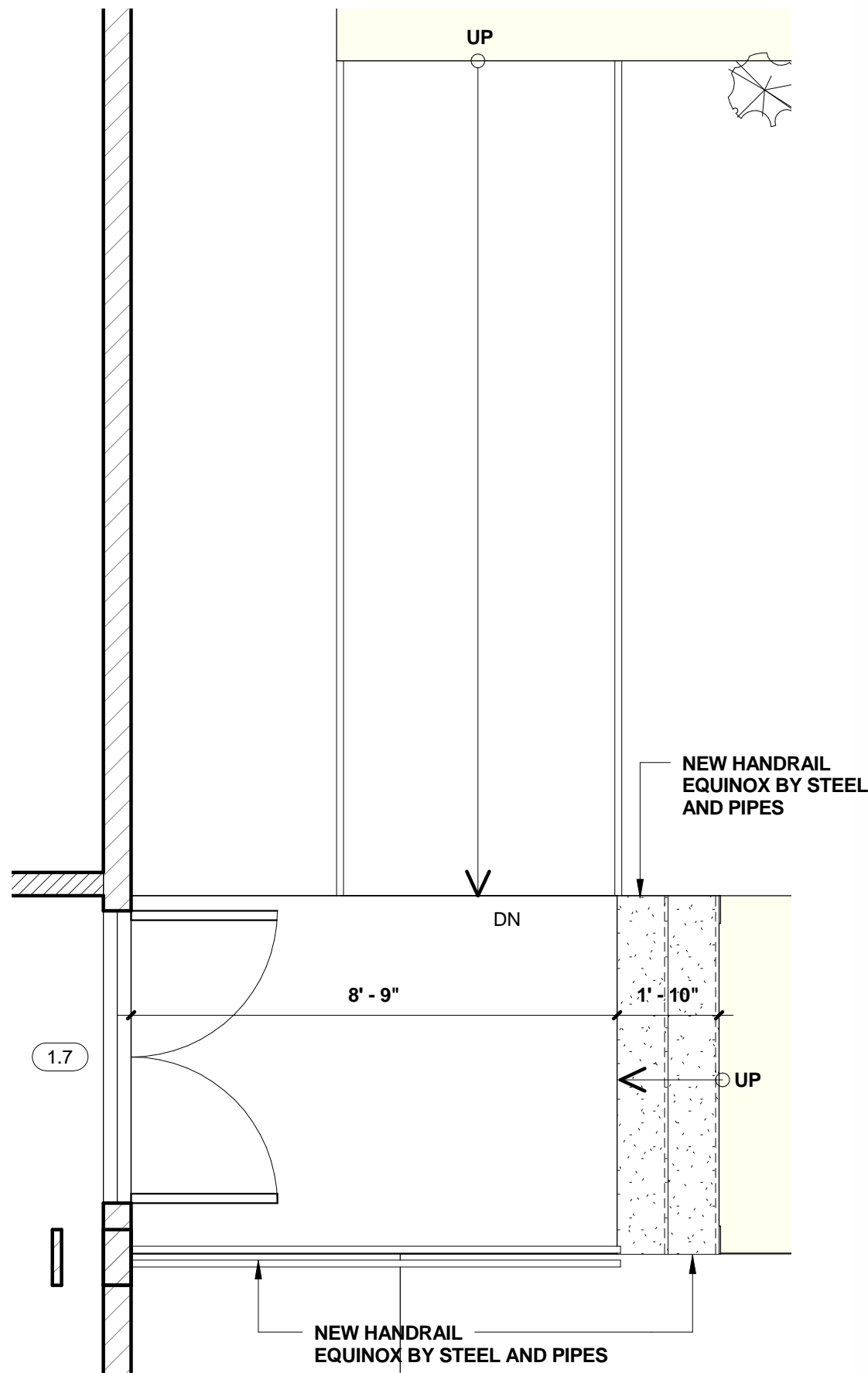




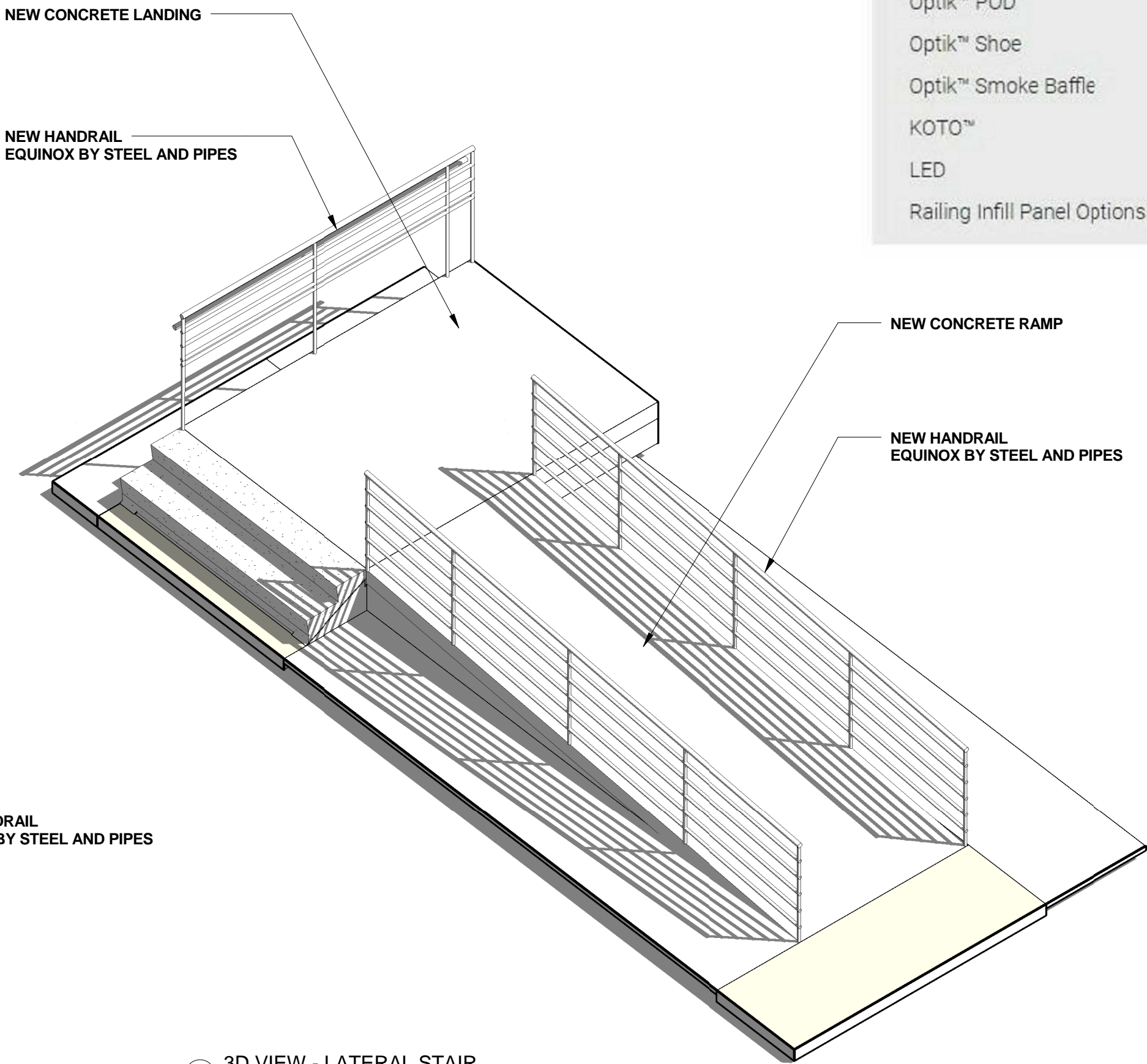
1 ENLARGED VIEW - MAIN ENTRANCE  
3/8" = 1'-0"



2 3D VIEW - MAIN ENTRANCE



3 ENLARGED VIEW - LATERAL STAIR  
3/8" = 1'-0"



4 3D VIEW - LATERAL STAIR



## SUPERGRIT® SAFETY TREADS

### SUPERGRIT® TREADS PROVIDE:

A heat-treated, corrosion resistant, extruded aluminum base with satin lacquered finish. The use of diamond hard aluminum oxide in the filler assures long tread life under heavy pedestrian traffic use. Supergrit® is appropriate for both inside and outside use.

### SUPERGRIT® FEATURES:

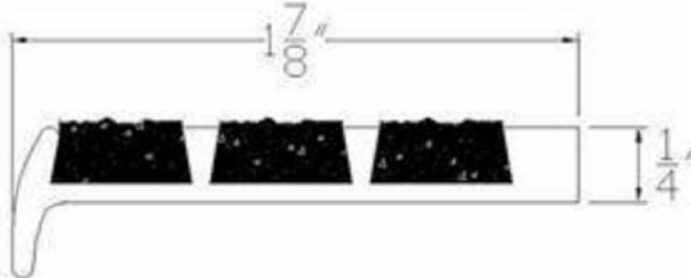
- Extruded aluminum base - abrasive filler
- Lengths to order - up to 12'0" in one piece
- Lengths over maximum to be made in equal sections
- Non-combustible
- High content of aluminum oxide abrasive
- 11 standard colors - colors extend throughout filler
- Protective tape available at additional cost
- Special sealant for wood or saltwater applications available at additional cost

### SUPERGRIT® SPECIFICATION:

- Provide Supergrit® type 121 safety nosings as manufactured by Wooster Products Inc. for interior and exterior stairs.
- Tread base shall be type 6063-T5 extruded aluminum.
- Anti-slip filler shall contain not less than 65% virgin grain Aluminum Oxide (Al<sub>2</sub>O<sub>3</sub>) abrasive.
- Treads shall be nonflammable and noncombustible as tested under Federal Test Method Standard No. 501a. Method 6411.
- Type of anchor shall be specified.
- Treads may terminate 4" from ends of steps for ease of cleaning or may be full length of steps less 1/8" clearance.
- Color shall extend uniformly throughout the filler; black color will be furnished if no other color is specified.
- Protective tape available upon request, at an extra cost. Protective tape should be removed as soon as possible once installed.
- Nosings shall finish flush with the top of the traffic surface.



Type 121



1 7/8" wide, 1/4" thick  
DRAWING NOT TO SCALE  
Maximum length is 12'0".

The type 121 is available with the following types of anchors: Tapcons, Wood Screws, Machine Screws, Screws & Expansion Shields

## Railing Systems

[Back to Railing Systems](#)

## inox™

The inox railing system is constructed with mechanical threaded connections to ensure an exact, precise and secure fitting. All railings are fully assembled in our factory and then deconstructed into fully assembled sections to ensure the most efficient installation.

## inox Railing Materials

High quality stainless steel either AISI 304 or 316 depending on the environmental conditions. Finishes are 240 grain and bead blasted. Railings are 1-1/2" and 2-1/2" stainless steel or wood of your choice with optional LED. Posts are constructed from open pairs of stainless steel true bar.

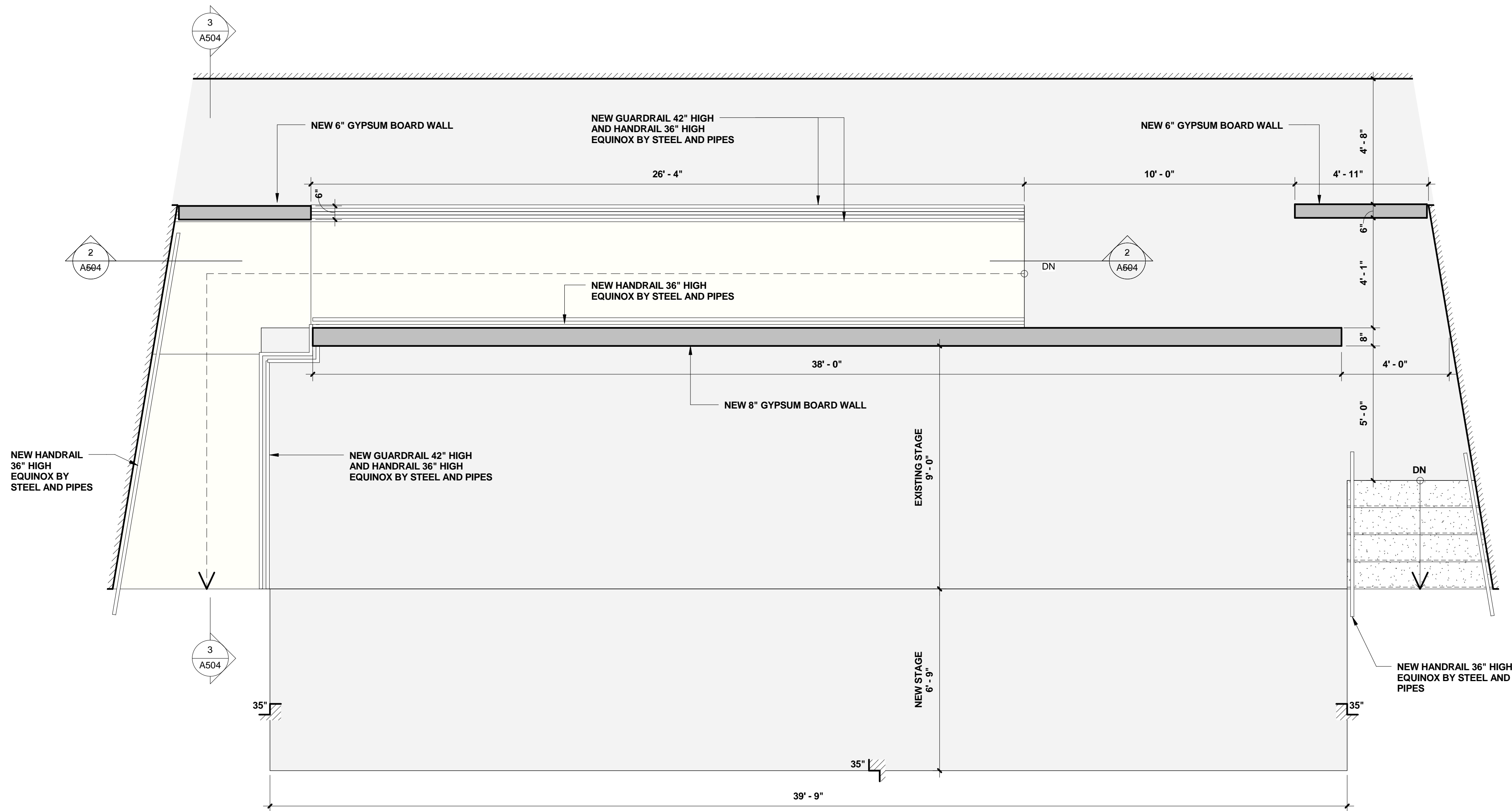
### Infill materials are available in:

- [Railing Infill Options](#)
- [Glass](#)
- [Resin](#)

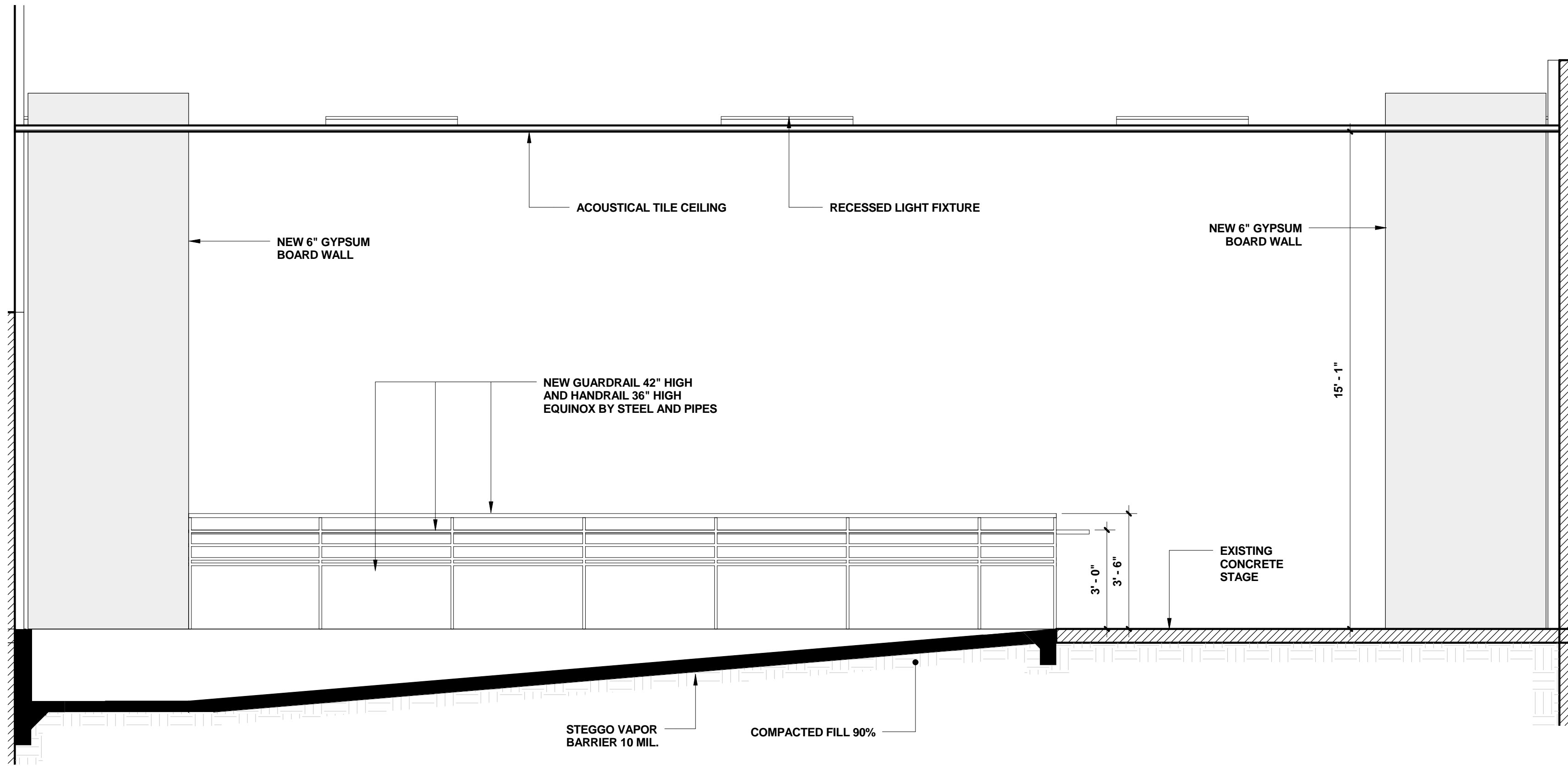


inox guardrail with stainless steel top rail & infill rails

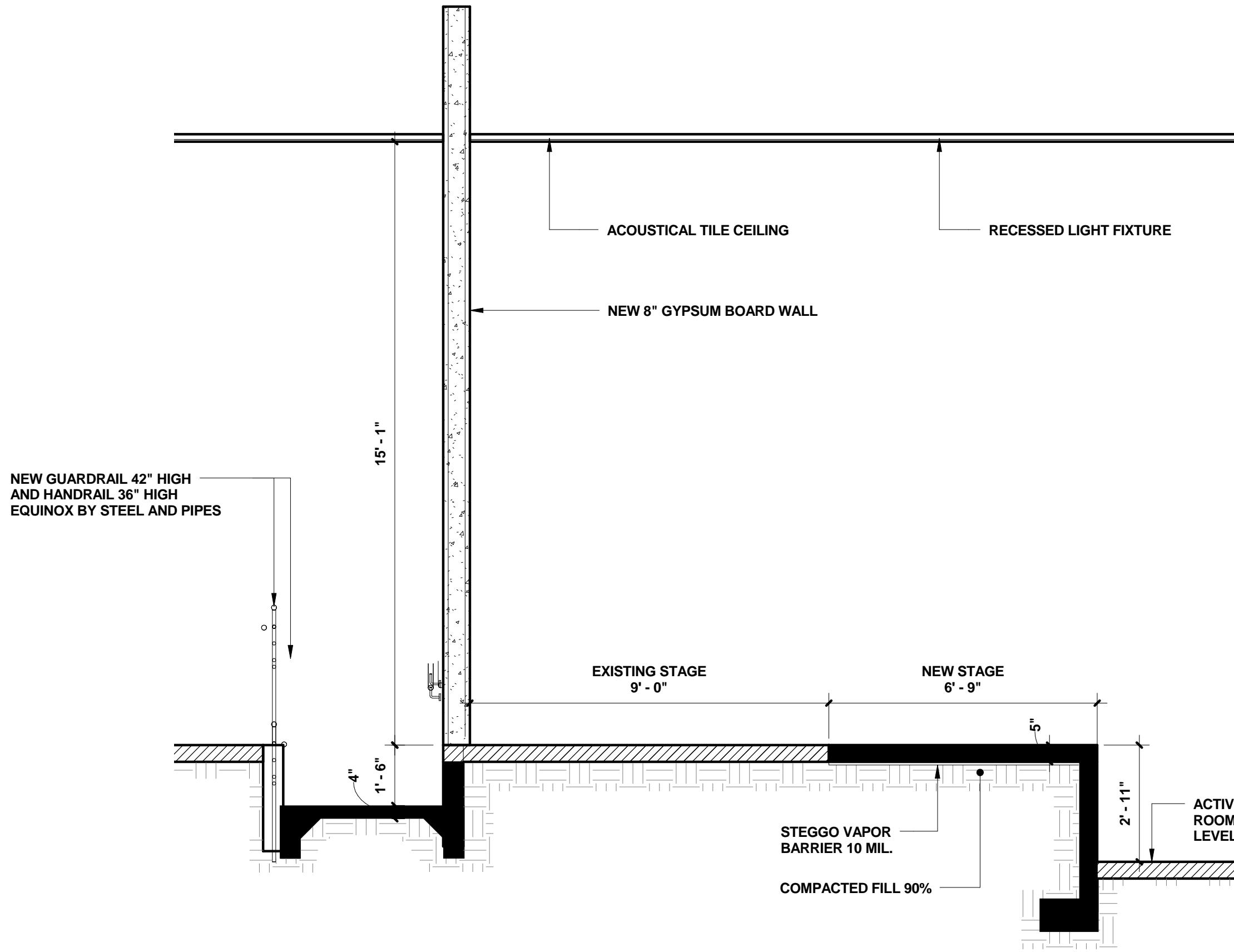




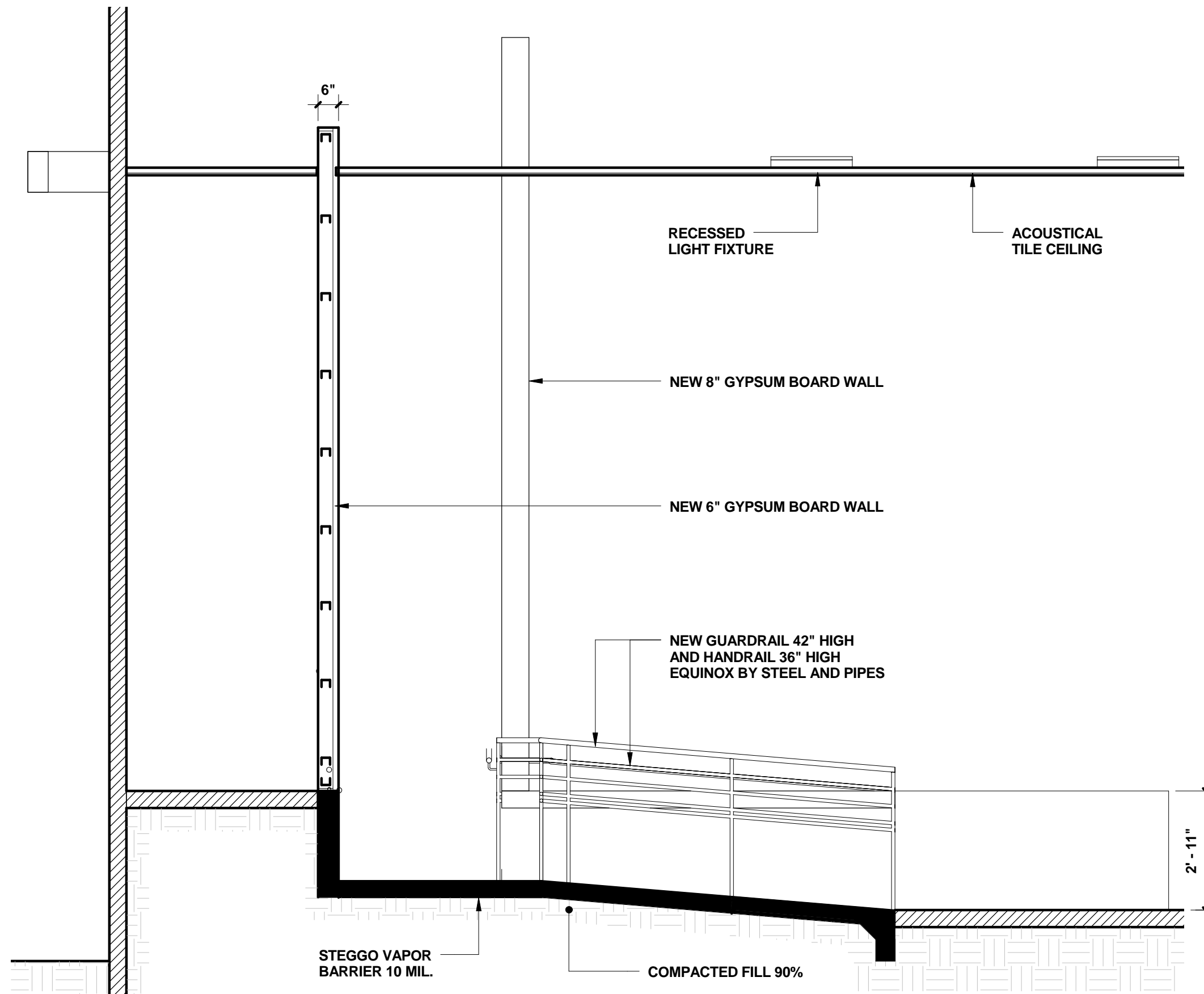
1 ENLARGED VIEW - STAGE PLAN  
3/8" = 1'-0"



2 SECTION 1- INTERIOR RAMP  
3/8" = 1'-0"



4 SECTION 3- INTERIOR RAMP1  
3/8" = 1'-0"



3 SECTION 2- INTERIOR RAMP  
3/8" = 1'-0"

EM ARCHITECTS

ARG. ELI MARIANO MARTÍNEZ BELENDEZ, AIA

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San Juan, PR 00926  
emarchitects@gmail.com  
787.529.8851

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ARCHITECT:

CONSULTANT:

CERTIFIED BY:

REVISION / DATE / DESCRIPTION

PROJECT

SANTA ISABEL MULTIPURPOSE BUILDING  
FRANCISCO ROBLEDO [PR-CRP-001153]  
SANTA ISABEL, PUERTO RICO

CLIENT

MUNICIPIO DE SANTA ISABEL

PROJECT #

SCALE

3/8" = 1'-0"

DRAWN BY

Author

ENLARGED VIEW - STAGE

TITLE

A504

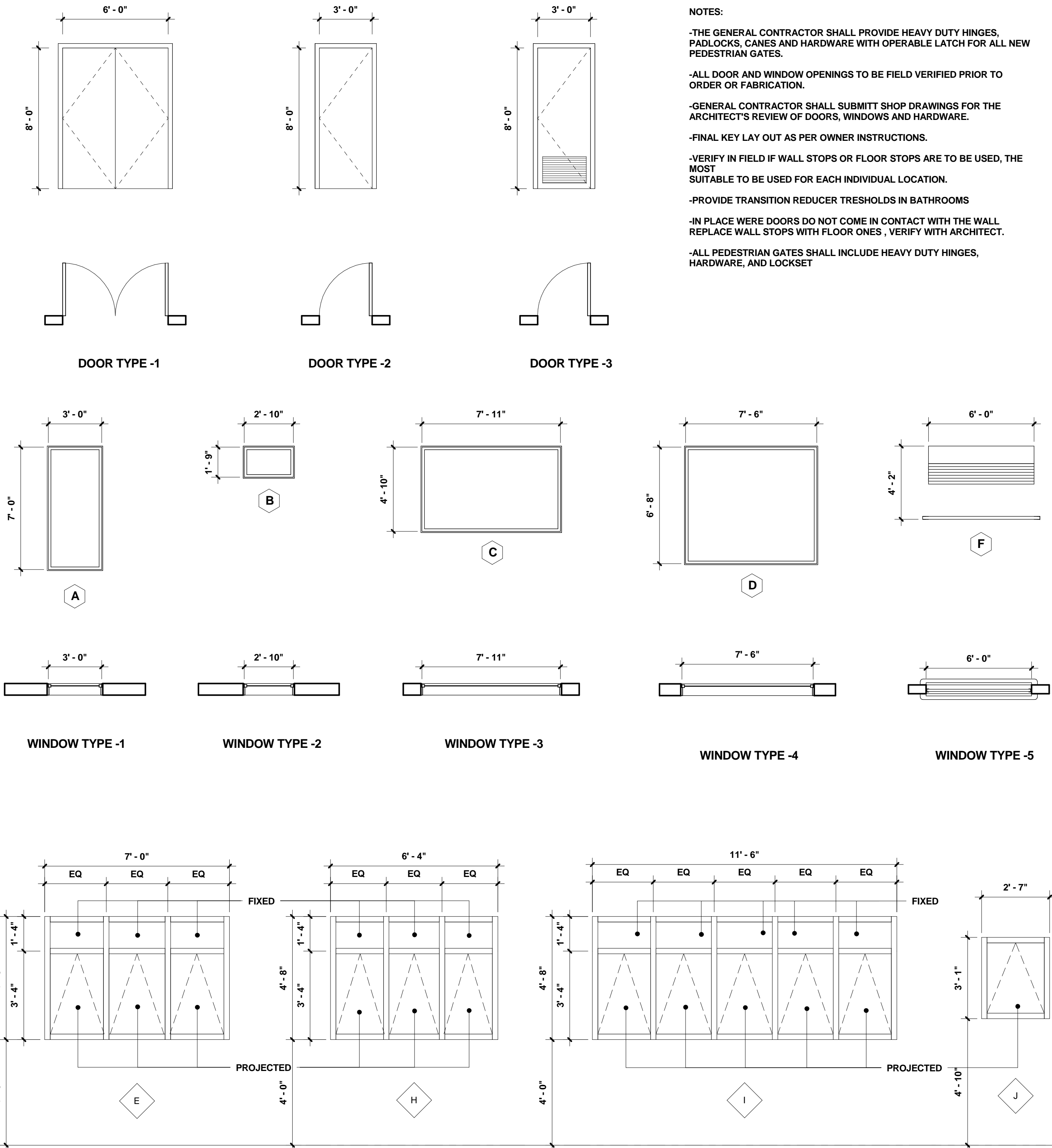
SHEET

| DOOR SCHEDULE 1 |                              |                               |   |   |            |  |                |  |
|-----------------|------------------------------|-------------------------------|---|---|------------|--|----------------|--|
| WT              | FINISHED<br>OPENING<br>WIDTH | FINISHED<br>OPENING<br>HEIGHT | FRAME MATERIAL  | DOOR MATERIAL   | DOOR TYPE  | MANUFACTURER   | HARWARE<br>SET | Comments   |
| 1.1             | 6' - 0"                      | 7' - 10"                      | ANODIZED ALUMINUM                                       | ANODIZED ALUM W<br>LAMINATED 3/8" BLUE<br>GREEN GLASS | FULL GLASS | CONDADO WINDOWS OR<br>APPROVED EQUAL                         |                | SHUTTER INTEGRATED / 3/8<br>LAMINATED BLUE GREEN GLASS |
| 1.2             | 6' - 0"                      | 7' - 10"                      | ANODIZED ALUMINUM                                       | ANODIZED ALUM W<br>LAMINATED 3/8" BLUE<br>GREEN GLASS | FULL GLASS | CONDADO WINDOWS OR<br>APPROVED EQUAL                         |                | SHUTTER INTEGRATED / 3/8<br>LAMINATED BLUE GREEN GLASS |
| 1.3             | 6' - 0"                      | 8' - 0"                       | ANODIZED ALUMINUM                                       | SEMI SOLID WOOD                                       | FLUSH      | MADERAS 3C, EQUAL OR<br>SIMILAR                              |                |  |
| 1.4             | 6' - 0"                      | 8' - 0"                       | ANODIZED ALUMINUM                                       | SEMI SOLID WOOD                                       | FLUSH      | MADERAS 3C, EQUAL OR<br>SIMILAR                              |                |  |
| 1.5             | 6' - 0"                      | 8' - 0"                       | ANODIZED ALUMINUM                                       | SEMI SOLID WOOD                                       | FLUSH      | MADERAS 3C, EQUAL OR<br>SIMILAR                              |                |  |
| 1.6             | 5' - 3"                      | 7' - 1"                       | 16 GA. ME SERIES BY REPLUBIC<br>DOORS, EQUAL OR SIMILAR | A60 GALV.<br>STEEL 18 GA.                             | FLUSH      | MODEL DL SERIES BY<br>REPUBLIC<br>DOORS, EQUAL OR<br>SIMILAR |                |  |
| 1.7             | 5' - 3"                      | 7' - 1"                       | 16 GA. ME SERIES BY REPLUBIC<br>DOORS, EQUAL OR SIMILAR | A60 GALV.<br>STEEL 18 GA.                             | FLUSH      | MODEL DL SERIES BY<br>REPUBLIC<br>DOORS, EQUAL OR<br>SIMILAR |                |  |
| 1.8             | 6' - 0"                      | 8' - 0"                       | ANODIZED ALUMINUM                                       | SEMI SOLID WOOD                                       | FLUSH      | MADERAS 3C, EQUAL OR<br>SIMILAR                              |                |  |
| 1.9             | 6' - 0"                      | 8' - 0"                       | ANODIZED ALUMINUM                                       | SEMI SOLID WOOD                                       | FLUSH      | MADERAS 3C, EQUAL OR<br>SIMILAR                              |                |  |
| 1.10            | 6' - 0"                      | 8' - 0"                       | ANODIZED ALUMINUM                                       | SEMI SOLID WOOD                                       | FLUSH      | MADERAS 3C, EQUAL OR<br>SIMILAR                              |                |  |
| 1.11            | 3' - 4"                      | 6' - 9 1/2"                   | ANODIZED ALUMINUM                                       | SEMI SOLID WOOD                                       | FLUSH      | MADERAS 3C, EQUAL OR<br>SIMILAR                              |                |  |
| 1.12            | 3' - 4"                      | 6' - 9 1/2"                   | ANODIZED ALUMINUM                                       | SEMI SOLID WOOD                                       | FLUSH      | MADERAS 3C, EQUAL OR<br>SIMILAR                              |                |  |
| 1.13            | 3' - 4"                      | 7' - 2"                       | ANODIZED ALUMINUM                                       | SEMI SOLID WOOD                                       | FLUSH      | MADERAS 3C, EQUAL OR<br>SIMILAR                              |                |  |
| 1.14            | 3' - 2"                      | 6' - 9 1/2"                   | ANODIZED ALUMINUM                                       | SEMI SOLID WOOD                                       | FLUSH      | MADERAS 3C, EQUAL OR<br>SIMILAR                              |                |  |
| 1.15            | 3' - 4"                      | 7' - 2"                       | ANODIZED ALUMINUM                                       | SEMI SOLID WOOD                                       | FLUSH      | MADERAS 3C, EQUAL OR<br>SIMILAR                              |                |  |
| 1.16            | 3' - 4"                      | 6' - 9 1/2"                   | ANODIZED ALUMINUM                                       | SEMI SOLID WOOD                                       | FLUSH      | MADERAS 3C, EQUAL OR<br>SIMILAR                              |                |  |
| 1.17            | 2' - 3"                      | 6' - 9"                       | ANODIZED ALUMINUM                                       | SEMI SOLID WOOD                                       | FLUSH      | MADERAS 3C, EQUAL OR<br>SIMILAR                              |                |  |
| 1.18            | 2' - 3"                      | 6' - 9"                       | ANODIZED ALUMINUM                                       | SEMI SOLID WOOD                                       | FLUSH      | MADERAS 3C, EQUAL OR<br>SIMILAR                              |                |  |
| 1.19            | 3' - 4"                      | 7' - 2"                       | ANODIZED ALUMINUM                                       | SEMI SOLID WOOD                                       | FLUSH      | MADERAS 3C, EQUAL OR<br>SIMILAR                              |                |  |
| 1.20            | 3' - 4"                      | 6' - 9 1/2"                   | ANODIZED ALUMINUM                                       | SEMI SOLID WOOD                                       | FLUSH      | MADERAS 3C, EQUAL OR<br>SIMILAR                              |                |  |
| 1.21            | 2' - 3 1/2"                  | 6' - 9"                       | ANODIZED ALUMINUM                                       | SEMI SOLID WOOD                                       | FLUSH      | MADERAS 3C, EQUAL OR<br>SIMILAR                              |                |  |
| 1.22            | 2' - 3"                      | 6' - 10"                      | ANODIZED ALUMINUM                                       | SEMI SOLID WOOD                                       | FLUSH      | MADERAS 3C, EQUAL OR<br>SIMILAR                              |                |  |
| 1.23            | 3' - 11"                     | 6' - 10"                      | ANODIZED ALUMINUM                                       | SEMI SOLID WOOD                                       | FLUSH      | MADERAS 3C, EQUAL OR<br>SIMILAR                              |                |  |
| 1.24            | 3' - 11"                     | 6' - 10"                      | ANODIZED ALUMINUM                                       | SEMI SOLID WOOD                                       | FLUSH      | MADERAS 3C, EQUAL OR<br>SIMILAR                              |                |  |
| 1.25            | 2' - 3"                      | 6' - 10"                      | ANODIZED ALUMINUM                                       | SEMI SOLID WOOD                                       | FLUSH      | MADERAS 3C, EQUAL OR<br>SIMILAR                              |                |  |
| 2.1             | 6' - 0"                      | 6' - 8"                       | ANODIZED ALUMINUM                                       | SEMI SOLID WOOD                                       | FLUSH      | MADERAS 3C, EQUAL OR<br>SIMILAR                              |                |  |
| 2.2             | 6' - 0"                      | 6' - 8"                       | ANODIZED ALUMINUM                                       | SEMI SOLID WOOD                                       | FLUSH      | MADERAS 3C, EQUAL OR<br>SIMILAR                              |                |  |
| 2.3             | 6' - 0"                      | 6' - 8"                       | ANODIZED ALUMINUM                                       | SEMI SOLID WOOD                                       | FLUSH      | MADERAS 3C, EQUAL OR<br>SIMILAR                              |                |  |
| 2.4             | 6' - 0"                      | 6' - 8"                       | ANODIZED ALUMINUM                                       | SEMI SOLID WOOD                                       | FLUSH      | MADERAS 3C, EQUAL OR<br>SIMILAR                              |                |  |
| 2.5             | 6' - 0"                      | 6' - 8"                       | ANODIZED ALUMINUM                                       | SEMI SOLID WOOD                                       | FLUSH      | MADERAS 3C, EQUAL OR<br>SIMILAR                              |                |  |
| 2.6             | 3' - 0"                      | 6' - 9"                       | ANODIZED ALUMINUM                                       | SEMI SOLID WOOD                                       | FLUSH      | MADERAS 3C, EQUAL OR<br>SIMILAR                              |                |  |
| 2.7             | 5' - 8"                      | 6' - 8"                       | ANODIZED ALUMINUM                                       | SEMI SOLID WOOD                                       | FLUSH      | MADERAS 3C, EQUAL OR<br>SIMILAR                              |                |  |
| Grand total: 32 |                              |                               |   |   |            |  |                |  |

| WINDOW SCHEDULE |               |          |   |           |       |                                     |   |
|-----------------|---------------|----------|---|-----------|-------|-------------------------------------|---|
| Type Mark       | Width         | Height   | Description   | Operation | Count | Manufacturer                        | Comments  |
| A               | 3' - 1 29/32" | 7' - 1"  | ANODIZED ALUMINUM FRAME WITH 3/8" BLUE<br>GREEN LAMINATED GLASS | FIXED     | 12    | CONDADO WINDOW, EQUAL<br>OR SIMILAR | 325 SERIE3S PROJECT OUT WITH WITH<br>INTEGRAL<br>SHUTTER HVC IMPACT |
| B               | 2' - 11"      | 1' - 10" | ANODIZED ALUMINUM FRAME WITH 3/8" BLUE<br>GREEN LAMINATED GLASS | PROJECTED | 8     | CONDADO WINDOW, EQUAL               | 325 SERIE3S PROJECT OUT WITH WITH<br>INTEGRAL                       |
| C               | 8' - 0"       | 4' - 11" | ANODIZED ALUMINUM FRAME WITH 3/8" BLUE<br>GREEN LAMINATED GLASS | FIXED     | 1     | CONDADO WINDOW, EQUAL               |   |
| D               | 4' - 6"       | 4' - 9"  | ANODIZED ALUMINUM FRAME WITH 3/8" BLUE<br>GREEN LAMINATED GLASS | FIXED     | 1     | CONDADO WINDOW, EQUAL               |   |
| F               |               |          | ROLL UP DOOR, FLAT SLAT ALUMINUM WHITE                          | MOTORIZED | 1     | SAN MIGUIEL WINDOWS,<br>EQUAL       |   |

23

23



| WINDOW WALL SCHEDULE |              |                            |               |       |       |             |       |              |       |                  |
|----------------------|--------------|----------------------------|---------------|-------|-------|-------------|-------|--------------|-------|------------------|
| Type Mark            | Family       | Family and Type            | Length        | Width | Area  | Description | Count | Type         | Model | Phase Created    |
| E                    | Curtain Wall | Curtain Wall: STOREFRONT G | 7' - 1"       |       | 33 SF | A           | 1     | STOREFRONT G |       | New Construction |
| E                    | Curtain Wall | Curtain Wall: STOREFRONT G | 7' - 5 3/16"  |       | 32 SF | A           | 1     | STOREFRONT G |       | New Construction |
| E                    | Curtain Wall | Curtain Wall: STOREFRONT G | 7' - 6"       |       | 33 SF | A           | 1     | STOREFRONT G |       | New Construction |
| E                    | Curtain Wall | Curtain Wall: STOREFRONT G | 7' - 0"       |       | 33 SF | A           | 1     | STOREFRONT G |       | New Construction |
| E                    | Curtain Wall | Curtain Wall: STOREFRONT G | 7' - 0 13/16" |       | 33 SF | A           | 1     | STOREFRONT G |       | New Construction |
| E                    | Curtain Wall | Curtain Wall: STOREFRONT G | 7' - 1"       |       | 33 SF | A           | 1     | STOREFRONT G |       | New Construction |
| E                    | Curtain Wall | Curtain Wall: STOREFRONT G | 7' - 5 3/16"  |       | 32 SF | A           | 1     | STOREFRONT G |       | New Construction |
| E                    | Curtain Wall | Curtain Wall: STOREFRONT G | 7' - 6"       |       | 33 SF | A           | 1     | STOREFRONT G |       | New Construction |
| E                    | Curtain Wall | Curtain Wall: STOREFRONT G | 7' - 0"       |       | 33 SF | A           | 1     | STOREFRONT G |       | New Construction |
| E                    | Curtain Wall | Curtain Wall: STOREFRONT G | 7' - 5"       |       | 34 SF | A           | 1     | STOREFRONT G |       | New Construction |
| H                    | Curtain Wall | Curtain Wall: STOREFRONT H | 6' - 4 3/32"  |       | 30 SF | A           | 1     | STOREFRONT H |       | New Construction |
| H                    | Curtain Wall | Curtain Wall: STOREFRONT H | 6' - 4 3/32"  |       | 30 SF | A           | 1     | STOREFRONT H |       | New Construction |
| I                    | Curtain Wall | Curtain Wall: STOREFRONT I | 12' - 0 7/16" |       | 54 SF | A           | 1     | STOREFRONT I |       | New Construction |
| I                    | Curtain Wall | Curtain Wall: STOREFRONT I | 12' - 0 7/16" |       | 54 SF | A           | 1     | STOREFRONT I |       | New Construction |
| J                    | Curtain Wall | Curtain Wall: STOREFRONT J | 2' - 7"       |       | 8 SF  | A           | 1     | STOREFRONT J |       | New Construction |
| J                    | Curtain Wall | Curtain Wall: STOREFRONT J | 2' - 7"       |       | 8 SF  | A           | 1     | STOREFRONT J |       | New Construction |

Grand total: 16

NOTES:

- THE GENERAL CONTRACTOR SHALL PROVIDE HEAVY DUTY HINGES, PADLOCKS, CANES AND HARDWARE WITH OPERABLE LATCH FOR ALL NEW PEDESTRIAN GATES.
- ALL DOOR AND WINDOW OPENINGS TO BE FIELD VERIFIED PRIOR TO ORDER OR FABRICATION.
- GENERAL CONTRACTOR SHALL SUBMITT SHOP DRAWINGS FOR THE ARCHITECT'S REVIEW OF DOORS, WINDOWS AND HARDWARE.
- FINAL KEY LAY OUT AS PER OWNER INSTRUCTIONS.
- VERIFY IN FIELD IF WALL STOPS OR FLOOR STOPS ARE TO BE USED, THE MOST SUITABLE TO BE USED FOR EACH INDIVIDUAL LOCATION.
- PROVIDE TRANSITION REDUCER TRESHOLDS IN BATHROOMS
- IN PLACE WERE DOORS DO NOT COME IN CONTACT WITH THE WALL. REPLACE WALL STOPS WITH FLOOR ONES. VERIFY WITH ARCHITECT.
- ALL PEDESTRIAN GATES SHALL INCLUDE HEAVY DUTY HINGES, HARDWARE, AND LOCKSET

ARCHITECT:

CONSULTANT:

CERTIFIED BY:

REVISION / DATE / DESCRIPTION

PROJECT  
SANTA ISABEL MULTIPURPOSE BUILDING  
FRANCISCO ROBLEDO [PR-CRP-001153]  
SANTA ISABEL, PUERTO RICO

CLIENT  
MUNICIPIO DE SANTA ISABEL

PROJECT #:

SCALE: As indicated

DRAWN BY: Author

DOOR AND WINDOW SCHEDULES

TITLE

SHEET

A601



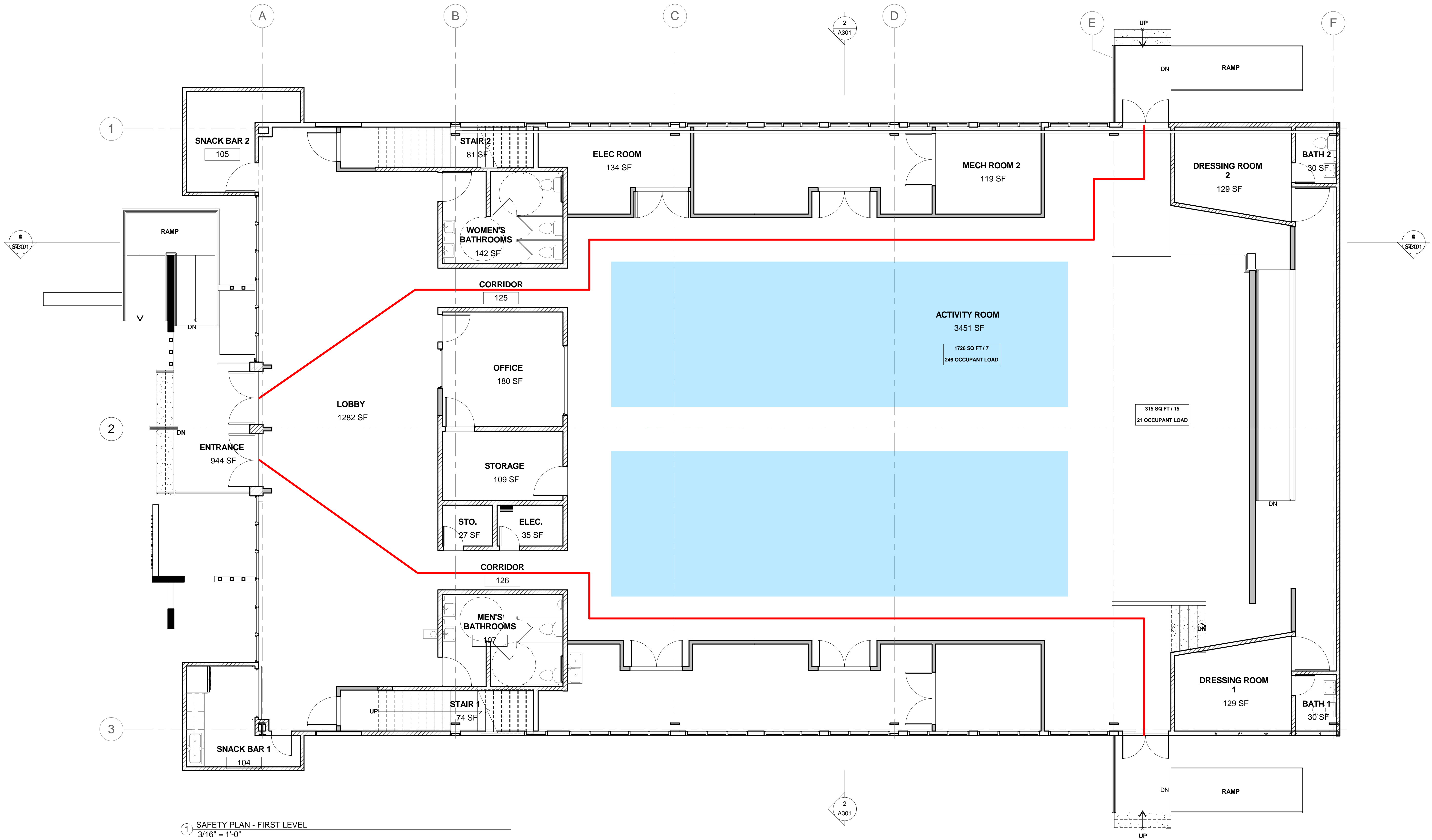
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PROJECT  
SANTA ISABEL MULTIPURPOSE BUILDING  
FRANCISCO ROBLEDO [PR-CRP-001153]  
SANTA ISABEL, PUERTO RICO

CLIENT  
MUNICIPIO DE SANTA ISABEL

PROJECT #:  
SCALE: 3/16" = 1'-0"  
DRAWN BY: Author

SAFETY PLAN - FIRST LEVEL



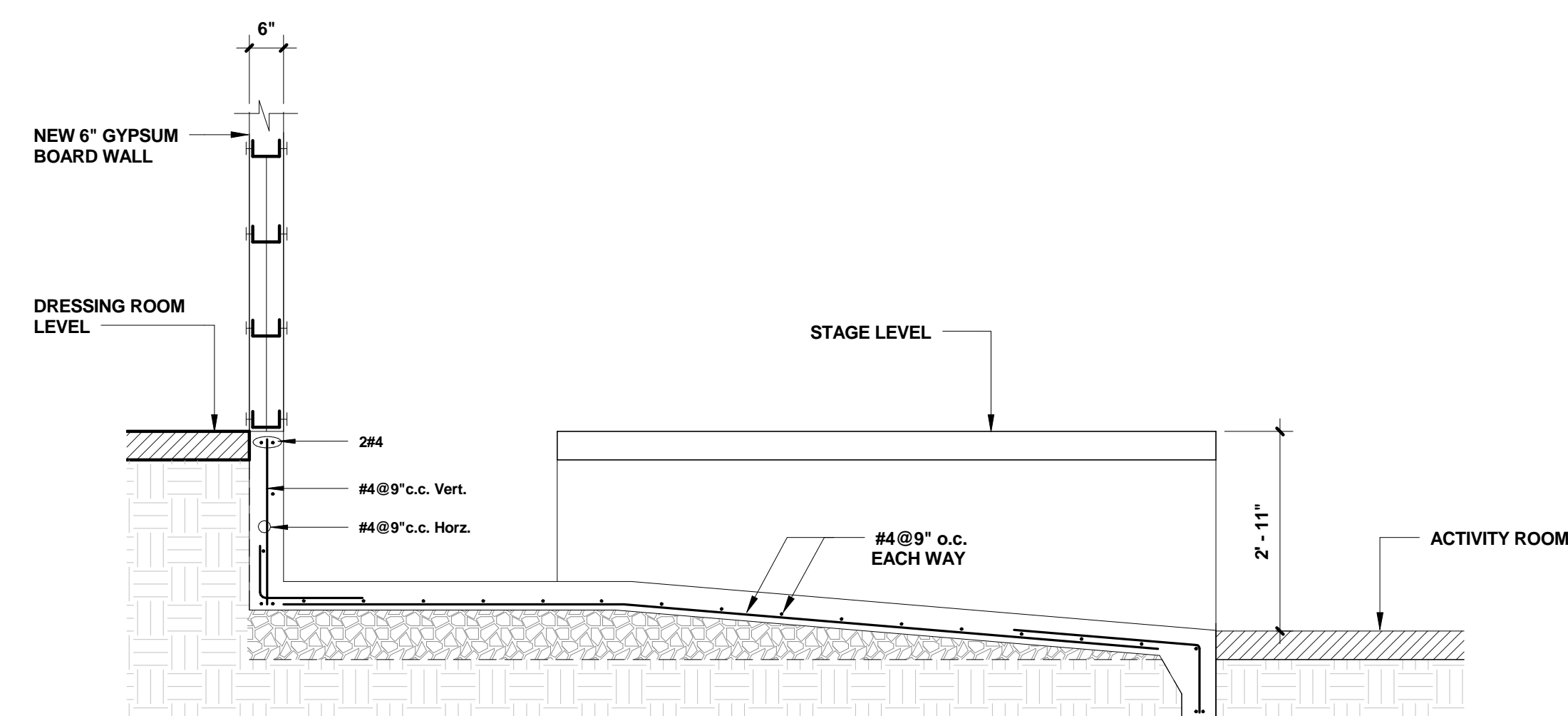
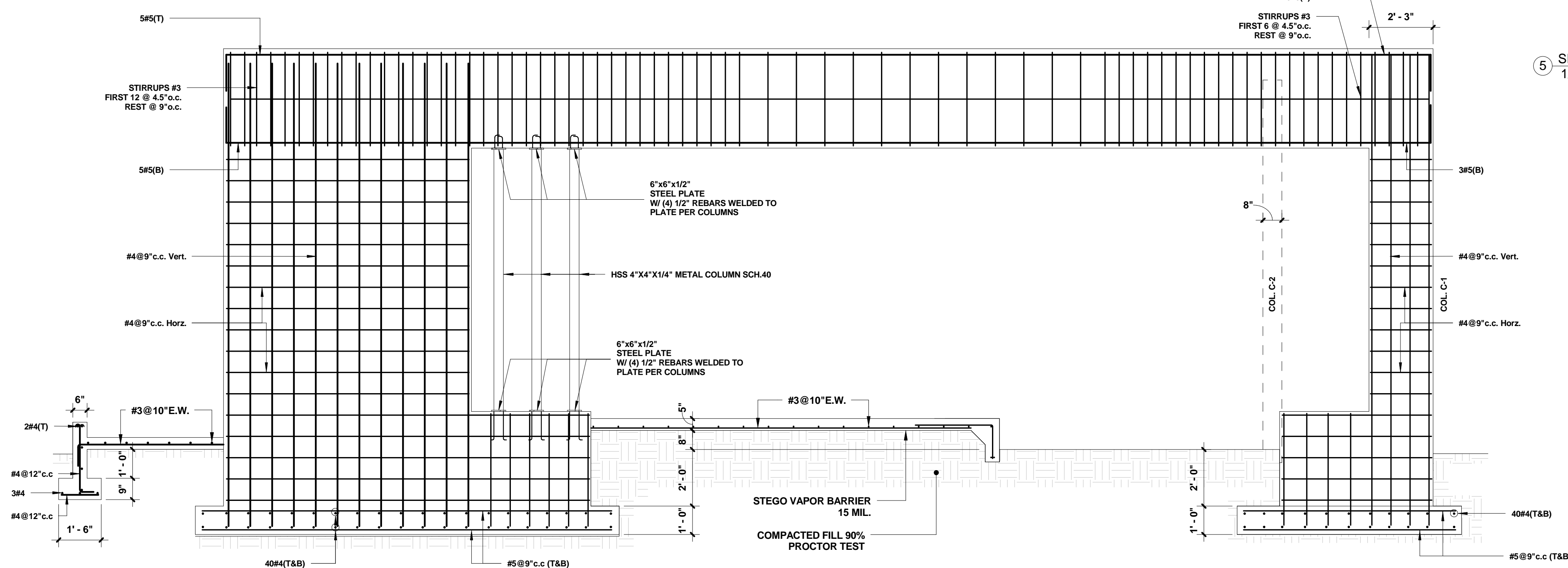
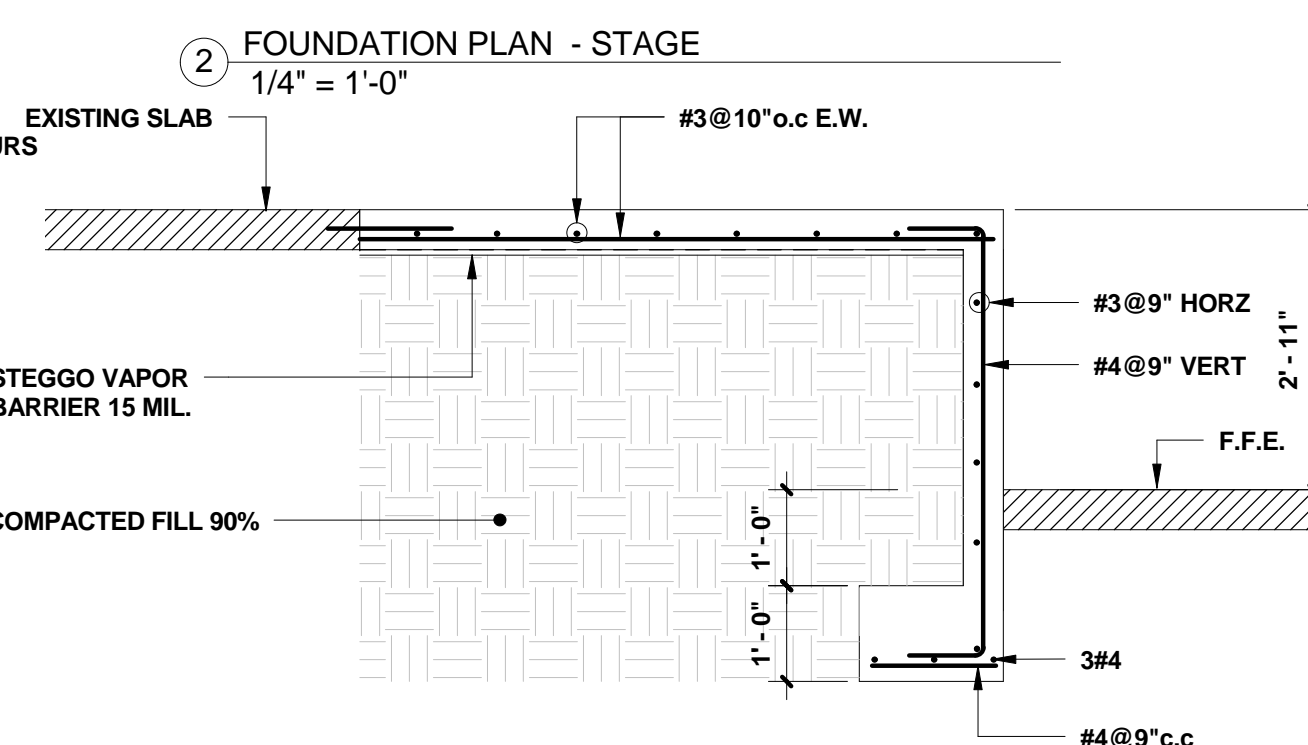
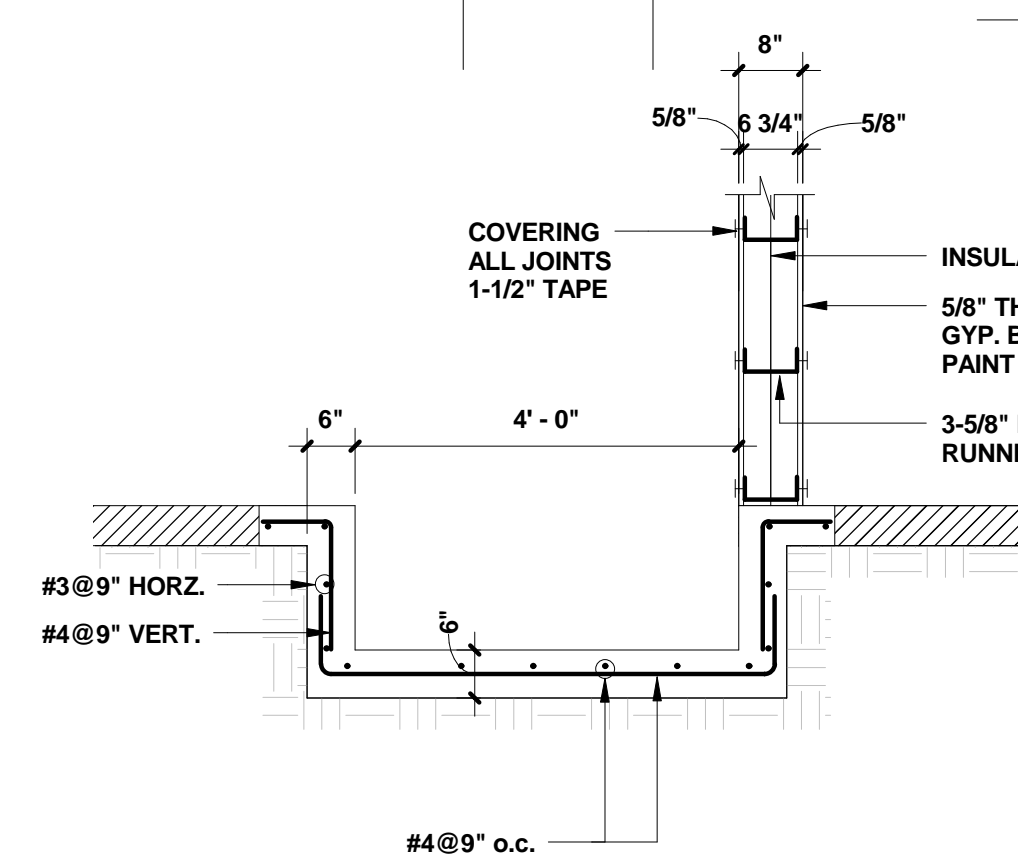
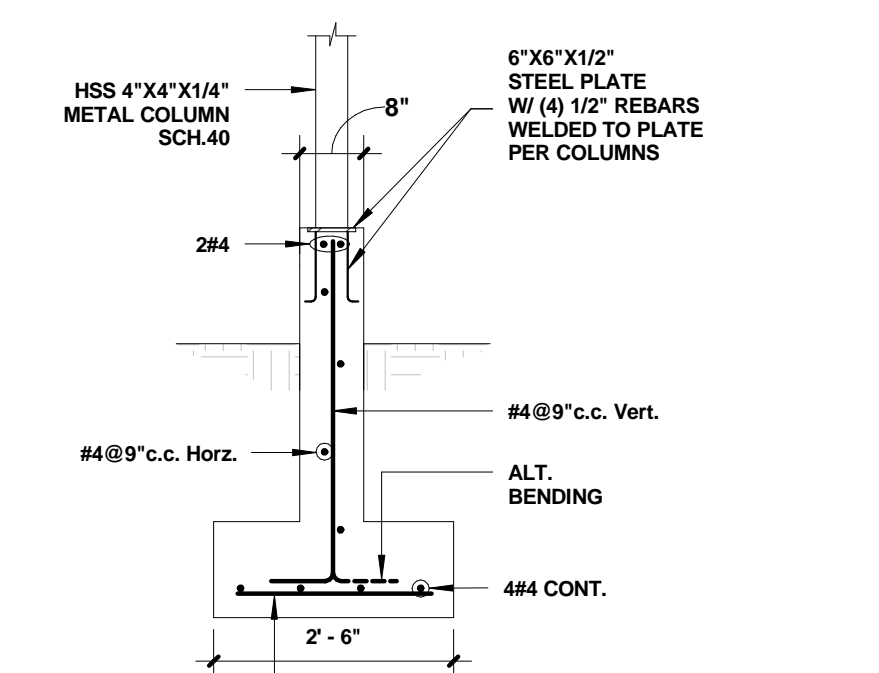
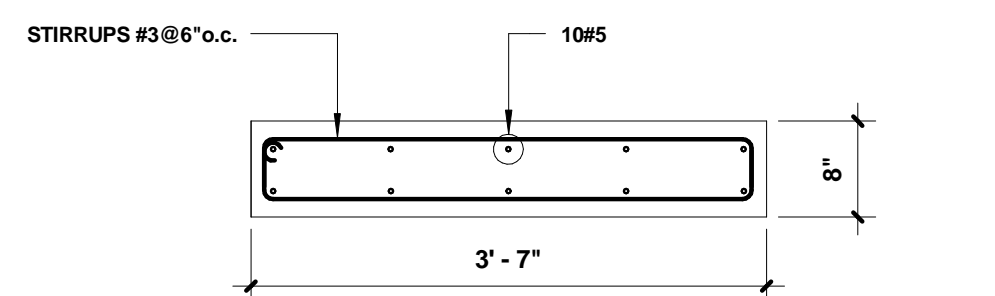
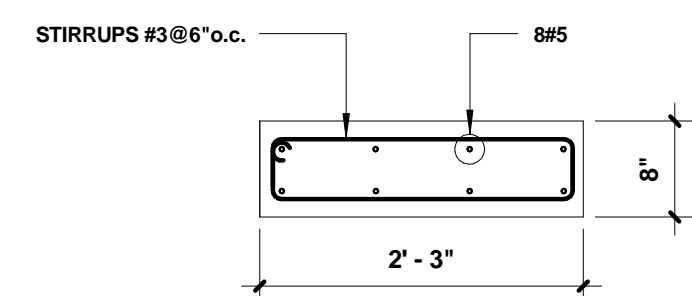
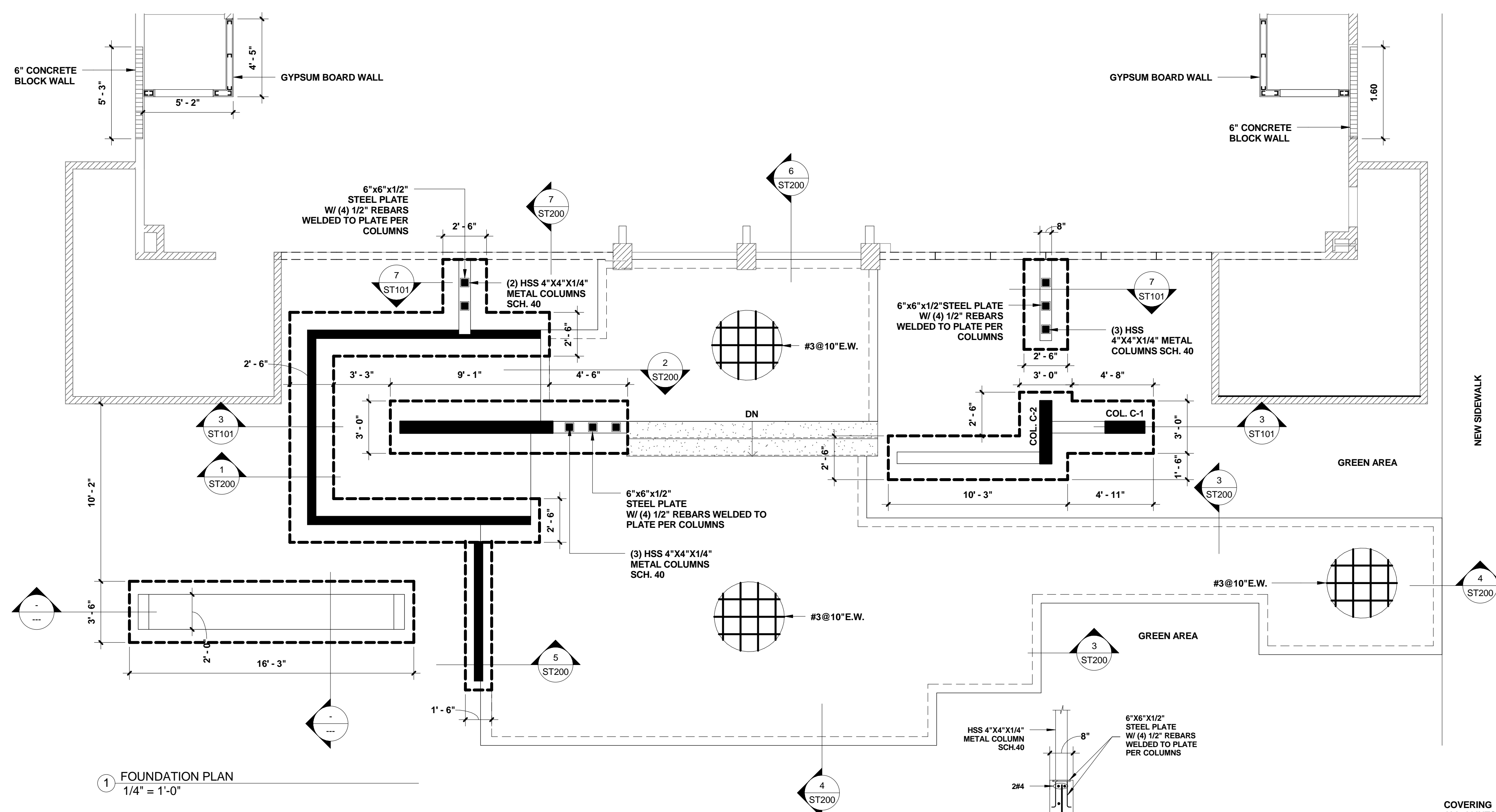


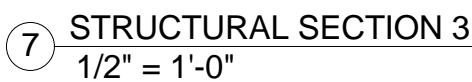
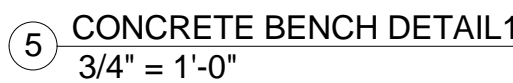
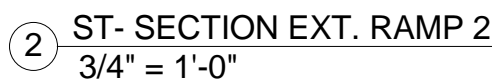
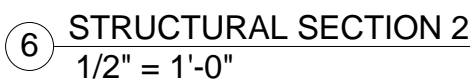
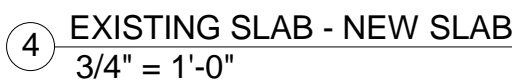
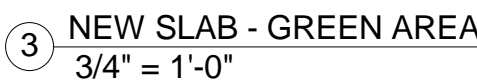
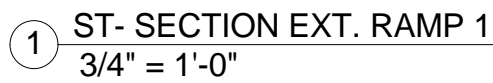
1 SAFETY PLAN - SECOND LEVEL  
3/16" = 1'-0"

| REVISION / DATE / DESCRIPTION |
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PROJECT  
SANTA ISABEL MULTIPURPOSE BUILDING  
FRANCISCO  
ROBLEDO [PR-CRP-001153]  
SANTA ISABEL, PUERTO RICO

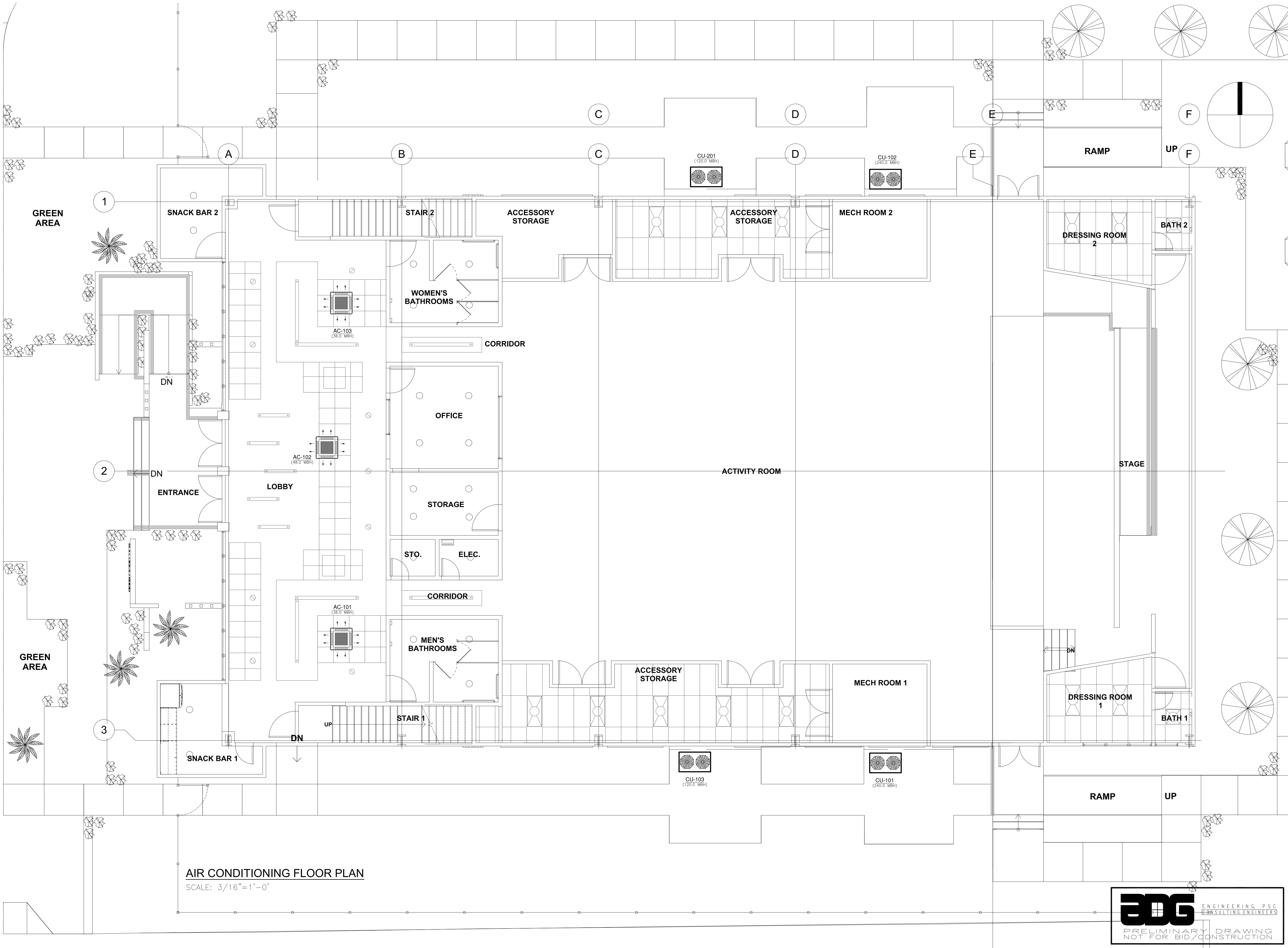
CLIENT  
MUNICIPIO DE SANTA ISABEL







S:\ADG\ENG Drawings\Projects 2023\23-067 Centro Usos Multiples Santa Isabel\23-067 M-101.dwg, Wednesday, October 4, 2023 3:03:51 PM, Adobe PDF



EM ARCHITECTS  
ARO. ELI MARIANO MARTÍNEZ BELÉNDEZ A.I.A.  
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ARCHITECT:

**ADG**

ENGINEERING, P.S.C.  
CONSULTING ENGINEERS  
San Juan, P.R. 00920  
TEL: (787) 749-8747  
EMAIL: adgjer@adgeng.com

CONSULTANT:

Yo, ANTONIO J. DAER GUERRA, número de Licencia 17530, certifico que soy el profesional que diseñó estos planos y especificaciones complementarias, emitidos, revisados, autorizados, sellados y sellados, en conformidad con las disposiciones de la Ley Reglamentaria de la Ley Reglamentaria del Código de Construcción Vigentes de las Agencias, Junta Reglamentaria y Corporación Pública para la Construcción, Certificación, que en la preparación de estos planos y especificaciones se ha cumplido con la Ley Reglamentaria de la Ley 14-2004, según enmendada, conocido como la "Ley para la inversión por la industria puertorriqueña" con la Ley Núm. 139 de 15 de mayo de 1950, según enmendada, Ley Núm. 86 de 24 de julio de 1978, cualquier declaración falsa o falsificación de los hechos que se haya producido por desconocimiento o por negligencia no será por mí, mis agentes o empleados, o por otros personas, con mi consentimiento, me hacen responsable de cualquier acción judicial y disciplinaria por la OGP.

CERTIFIED BY:

| REVISION | DATE | DESCRIPTION |
|----------|------|-------------|
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PROJECT  
SANTA ISABEL MULTIPURPOSE BUILDING  
FRANCISCO  
ROBLEDO [PR-CRP-001153]  
SANTA ISABEL, PUERTO RICO

CLIENT  
MUNICIPIO DE SANTA ISABEL

PROJECT #:

SCALE: As Shown

DRAWN BY: ADG ENGINEERING

AIR CONDITIONING FLOOR PLAN

**ADG**

ENGINEERING, P.S.C.  
CONSULTING ENGINEERS

PRELIMINARY DRAWING  
NOT FOR BID/CONSTRUCTION

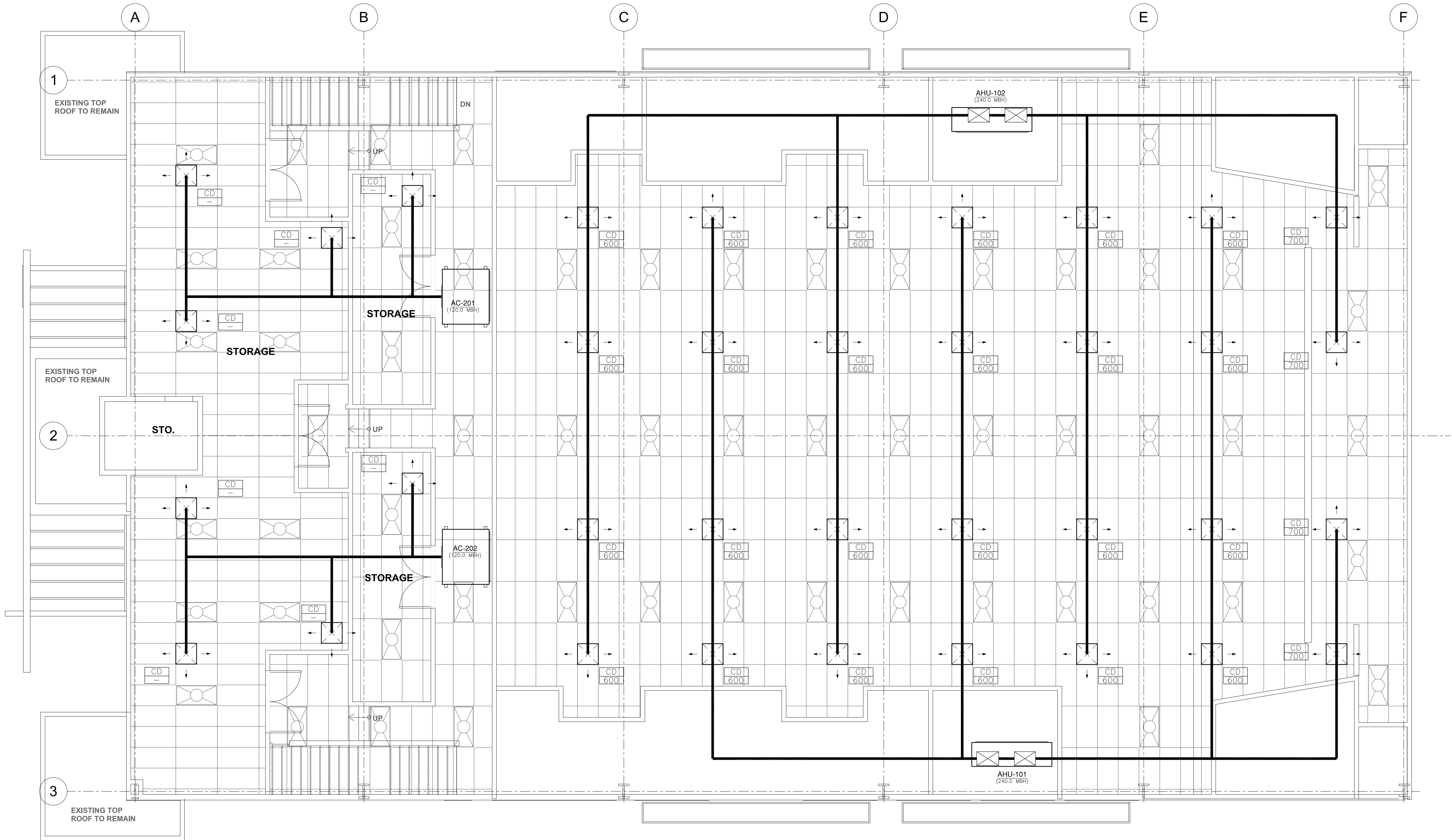
TITLE

M-101

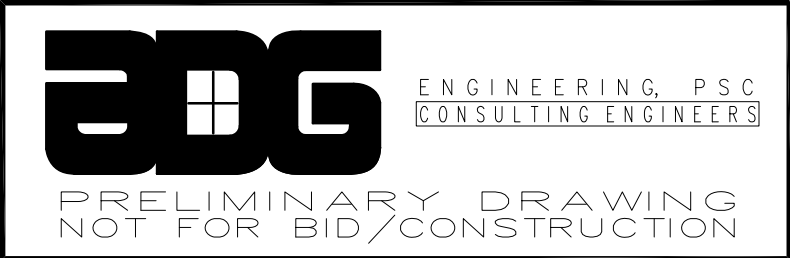
SHEET

OCTOBER, 2023

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AIR CONDITIONING MEZZANINE FLOOR PLAN  
SCALE: 3/16"=1'-0'



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ARCHITECT:



CONSULTANT:

Yo, ANTONIO J. DAER GUERRA, número de Licencia 17530, certifico que soy el profesional que diseñó estos planos y especificaciones complementarias, emitidos, verificados, entendidos, aprobados y sellados, en cumplimiento de la Ley Reguladora del Código de Construcción Vigentes de las Agencias, Junta Reguladora de la Ingeniería Profesional, para la preparación de estos planos y especificaciones se han cumplido con la Ley 14-2004, según enmendada, conocido como la Ley para la inversión por la industria puertorriqueña y con la Ley Núm. 139 de 15 de mayo de 1958, según enmendada, Ley Núm. 86 de 6 de julio de 1978, cualquier declaración falsa o falsificación de los hechos que se haya producido por desconocimiento o por negligencia no será por mí, mis agentes o empleados, o por otros, personas, con mi consentimiento, me hacen responsable de cualquier acción judicial y disciplinaria por la CGP.

CERTIFIED BY:

REVISION / DATE / DESCRIPTION

PROJECT:  
SANTA ISABEL MULTIPURPOSE BUILDING  
FRANCISCO  
ROBLEDO [PR-CRP-001153]  
SANTA ISABEL, PUERTO RICO

CLIENT:  
MUNICIPIO DE SANTA ISABEL

PROJECT #:

SCALE: As Shown

DRAWN BY: ADG ENGINEERING

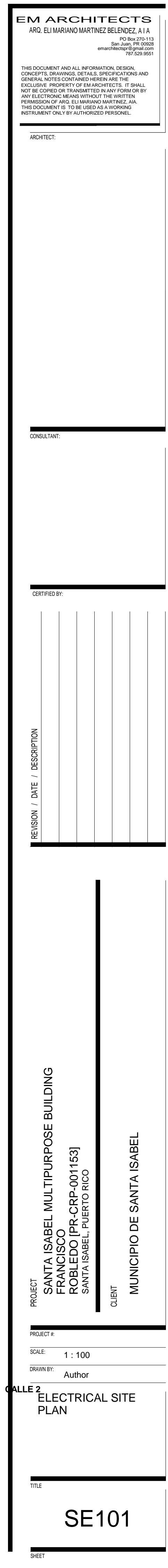
AIR CONDITIONING  
MEZZANINE FLOOR  
PLAN

TITLE

M-102

SHEET

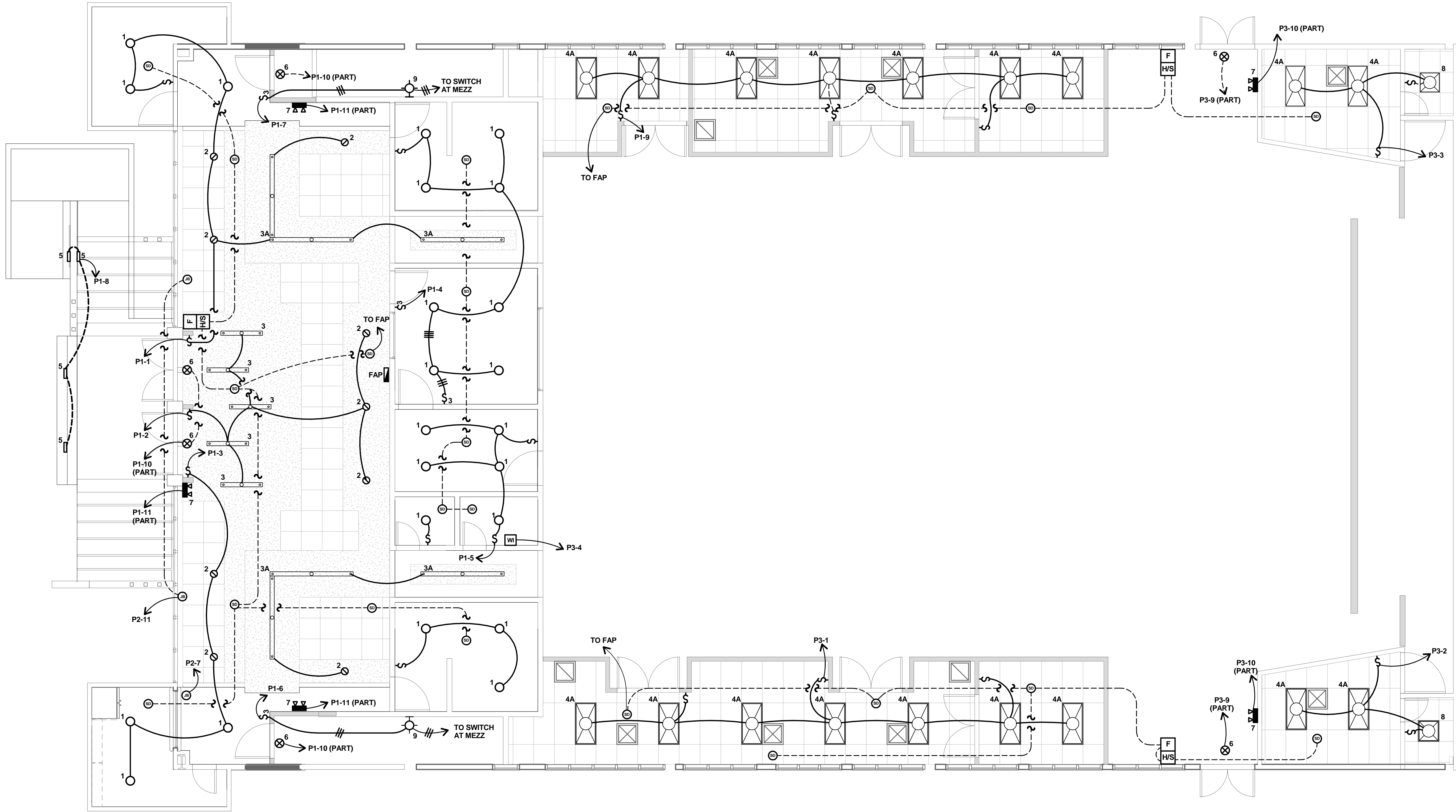
OCTOBER, 2023



TITLE

SE101

SHEET



1 LIGHTING, FIRE ALARM PLAN - 1ST LEVEL  
3/16" = 1'-0"

| LIGHTING FIXTURE SCHEDULE |            |           |            |       |      |     |      |       |               |   |
|---------------------------|------------|-----------|------------|-------|------|-----|------|-------|---------------|---|
| TYPE                      | KIND       | FIXTURE   |            |       | LAMP |     |      |       | MANUFACTURER  |   |
|                           |            | MOUNTING  | ENCLOSURE  | NOTES | TYPE | NO. | SIZE | NOTES | TRADE         | CATALOG NO.   |
| 1                         | COMMERCIAL | SURFACE   |            |       | LED  |     |      |       | G LIGHTING    | GL - 3770 - 24LED40 - WH  |
| 2                         | COMMERCIAL | RECESSED  | 4 IN ROUND |       | LED  |     |      |       | PORTFOLIO     | LDS4C - 30 - 40 - D010 - S - 1 - L1                                       |
| 3                         | COMMERCIAL | RECESSED  | 4 FT       |       | LED  |     |      |       | NEO - RAY     | BAA - S124DR - S - UNV - 1020D - 80 - 40 - GYP - 4FO - 1 - U - DD - F - W |
| 3A                        | COMMERCIAL | RECESSED  | 8 FT       |       | LED  |     |      |       | NEO - RAY     | BAA - S124DR - S - UNV - 1020D - 80 - 40 - GYP - 8FO - 1 - U - DD - F - W |
| 4                         | COMMERCIAL | RECESSED  |            |       | LED  |     |      |       | METALUX       | TAA - 24CZ2 - 80VHE - UNV - L840 - CD - 1 - U                             |
| 4A                        | COMMERCIAL | RECESSED  |            |       | LED  |     |      |       | METALUX       | TAA - 24CZ2 - 40 - UNV - L840 - CD - 1 - U                                |
| 5                         | COMMERCIAL | STEP      |            |       | LED  |     |      |       | ELP           | 14WILS - EX - 40K - 120/277   |
| 6                         | EXIT       | UNIVERSAL |            |       | LED  |     |      |       | AMERICAN LITE | ELXTEU - I - R - C - A - BATTERY BACK UP                                  |
| 7                         | EMERGENCY  | WALL      |            |       | LED  |     |      |       | AMERICAN LITE | LEDR - 5 - WHITE  |
| 8                         | COMMERCIAL | RECESSED  |            |       | LED  |     |      |       | METALUX       | BAA - 22CZ - LD5 - 44 - UNV - L840 - CD - 1 - U                           |
| 9                         | COMMERCIAL | SURFACE   |            |       | LED  |     |      |       | METALUX       | BAA - 4 - 5WLED - 36SL - LC - UNV - L840 - SDI - U                        |

ALL FIXTURES SHALL FULLFILL BAA (BUY AMERICAN ACT)

|  |  |   |      |          |          |   |                 |                  |
|--|--|---|------|----------|----------|---|-----------------|------------------|
| <b>PANEL:</b><br><b>LOCATION:</b><br><b>MOUNTING:</b><br><b>NEMA TYPE:</b> | P1<br>ELECTRIC ROOM<br>SURFACE<br>NEMA 1 | <b>VOLTAGE:</b> 208Y/120V<br><b>AMPS:</b> 125<br><b>PHASES:</b> 3 ∅, 4W<br><b>BUS:</b> COPPER |      |          |          | <b>GROUND BUS BAR:</b> YES<br><b>K.A.I.C:</b> Z2<br><b>REMARKS:</b> MAIN LUGS |                 |                  |
|  | LOAD DESCRIPTION                         | FRAME   | TRIP | CKT. NO. | CKT. NO. | TRIP  | FRAME           | LOAD DESCRIPTION |
|  | FOYER LIGHTING                           | 50  | 20   | 1        | 2        | 20  | 50              | FOYER LIGHTING   |
|  | FOYER LIGHTING                           | 50  | 20   | 3        | 4        | 20  | 50              | FOYER LIGHTING   |
| FOYER LIGHTING   | 50                                       | 20  | 5    | 6        | 20       | 50  | STAIRS LIGHTING |                  |
| STAIRS LIGHTING  | 50                                       | 20  | 7    | 8        | 20       | 50  | STEP LIGHTING   |                  |
| ELECTRIC & MECHANIC ROOM LIGHTING  | 50                                       | 20  | 9    | 10       | 20       | 50  | EXIT LIGHT      |                  |
| EMERGENCY LIGHTING   | 50                                       | 20  | 11   | 12       | 20       | 50  | SPARE           |                  |
| SPARE  | 50                                       | 20  | 13   | 14       | 20       | 50  | SPARE           |                  |
| SPARE  | 50                                       | 20  | 15   | 16       | 20       | 50  | SPARE           |                  |
| SPACE ONLY   | -  | -   | 17   | 18       | -        | -   | SPACE ONLY      |                  |
| SPACE ONLY   | -  | -   | 19   | 20       | -        | -   | SPACE ONLY      |                  |
| SPACE ONLY   | -  | -   | 21   | 22       | -        | -   | SPACE ONLY      |                  |
| SPACE ONLY   | -  | -   | 23   | 24       | -        | -   | SPACE ONLY      |                  |

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ARCHITECT:

CONSULTANT:

CERTIFIED BY:

REVISION / DATE / DESCRIPTION

PROJECT  
SANTA ISABEL MULTIPURPOSE BUILDING  
SANTA ISABEL, PUERTO RICO

CLIENT  
MUNICIPIO DE SANTA ISABEL

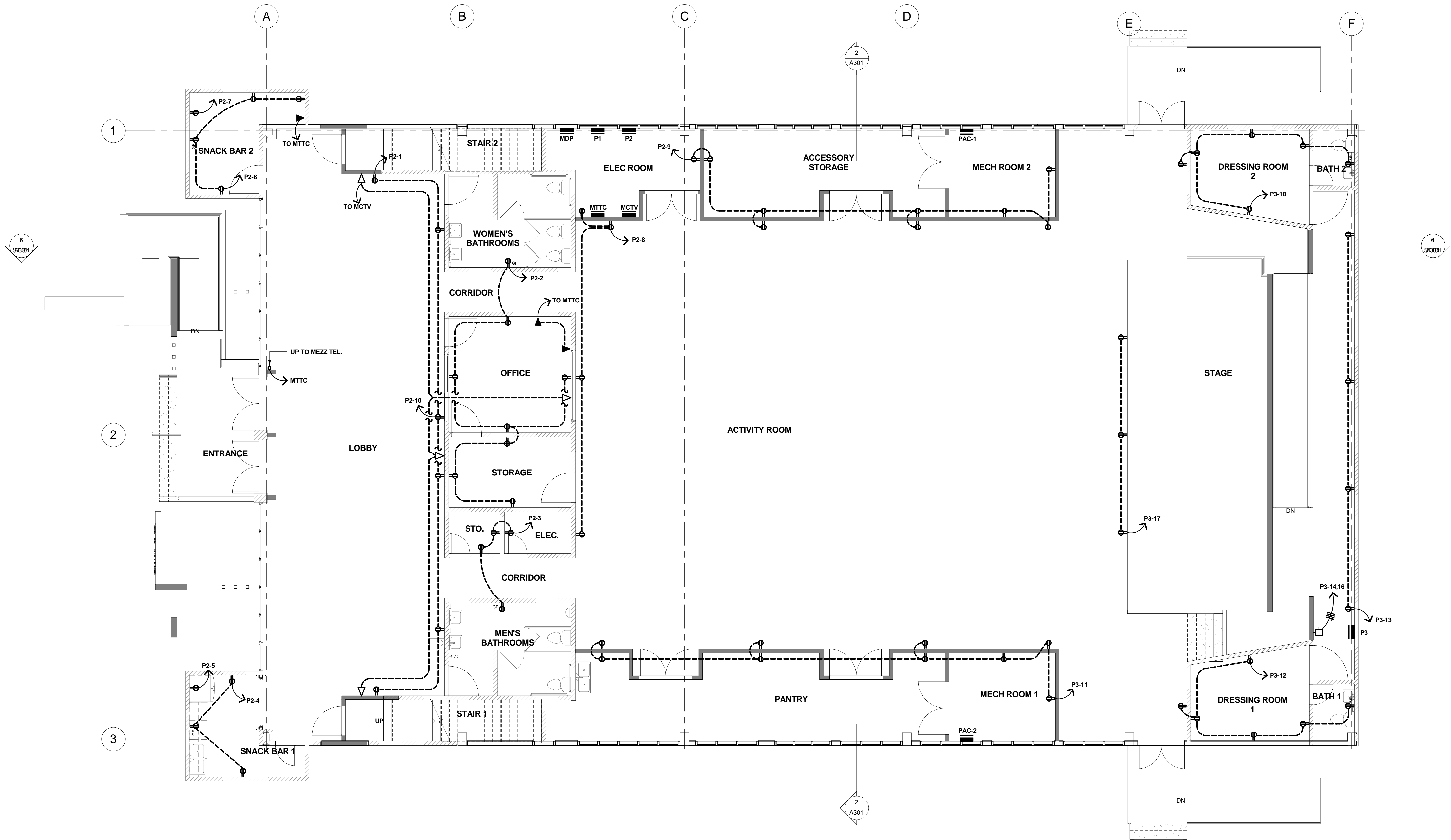
SCALE: As indicated  
DRAWN BY: Author

TITLE  
LIGHTING, FIRE ALARM PLAN - 1ST LEVEL

SHEET  
E101

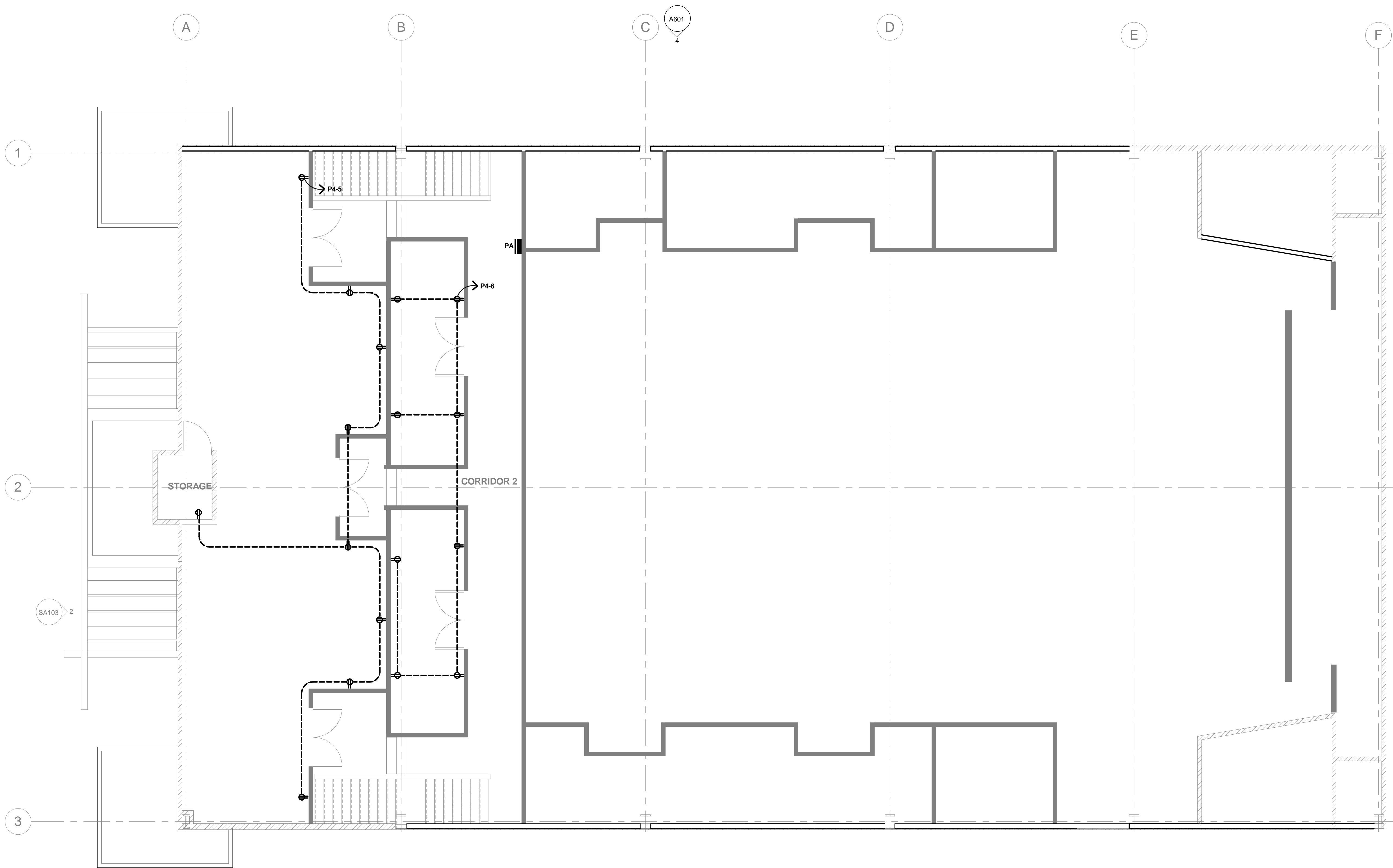






POWER & TELECOMM LAYOUT - FIRST LEVEL  
1  
3/16" = 1'-0"





POWER & TELEPHONE, CABLE TV PLAN -  
2ND LEVEL  
3/16" = 1'-0"

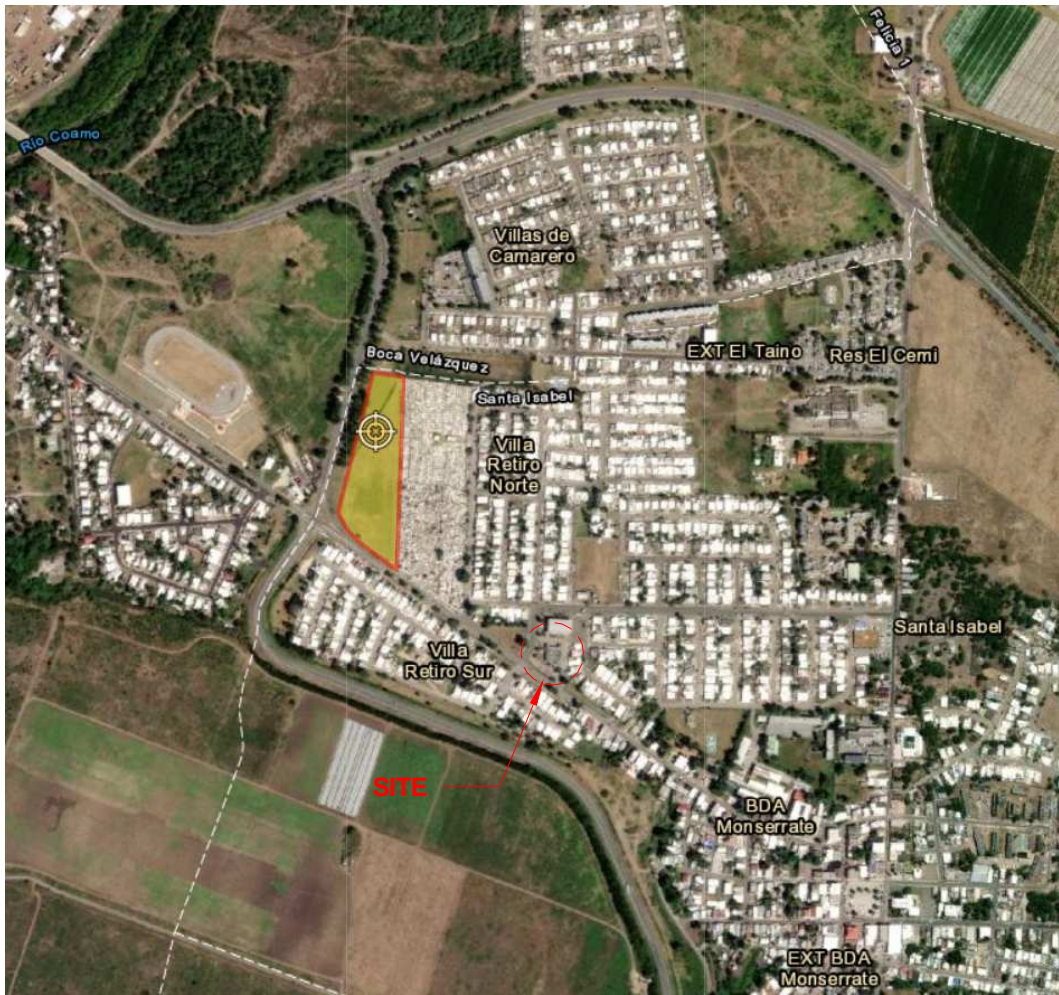
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PROJECT  
SANTA ISABEL MULTIPURPOSE BUILDING  
FRANCISCO  
ROBLEDO [PR-CRP-001153]  
SANTA ISABEL, PUERTO RICO

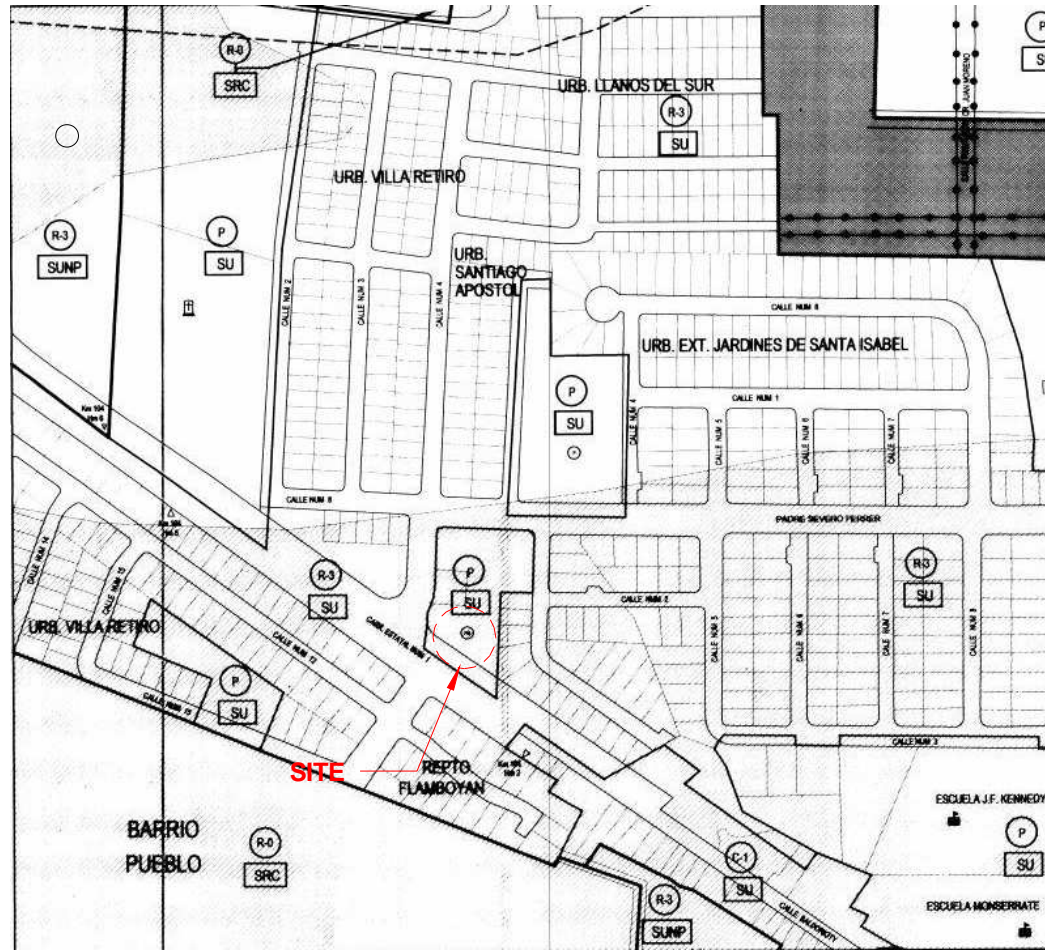
CLIENT  
MUNICIPIO DE SANTA ISABEL

ATTACHMENT 00  
(2) Renovation to Plaza del Mercado in Santa Isabel Urban Center  
CONSTRUCTION PLANS 90%

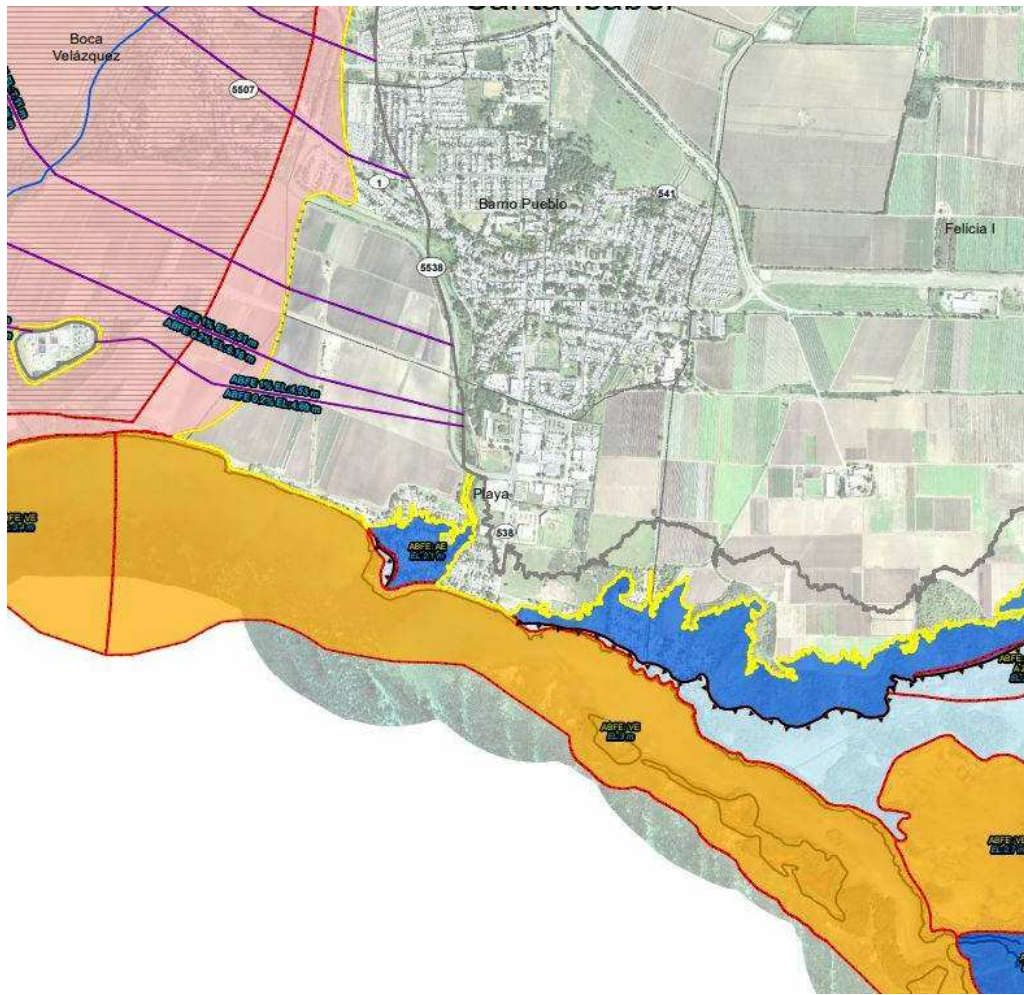




LOCATION PLAN  
x: 202567.4831  
y: 215023.6049



MAPA DE  
ZONIFICACION #4  
VIGENCIA: 18 DE JULIO  
DE 2001



FLOOD PLAN  
ZONE A & ZONE X  
72000C20601  
VIGENCIA: 13 DE  
ABRIL DE 2018



MUNICIPIO DE SANTA ISABEL  
HON. RAFAEL "BILLY" BURGOS SANTIAGO

# RENOVATIONS TO PLAZA DEL MERCADO IN SANTA ISABEL URBAN CENTER

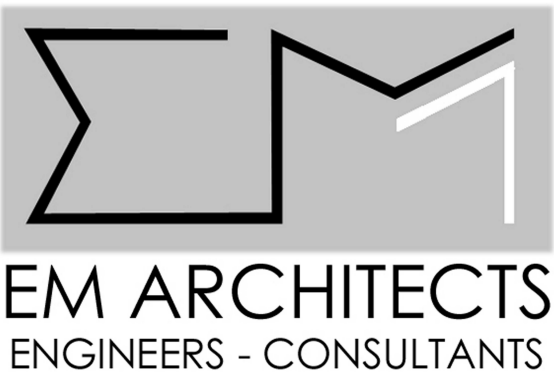
SANTA ISABEL, PUERTO RICO PR-CRP-00759

CONSTRUCTION PLANS  
JANUARY 9, 2024

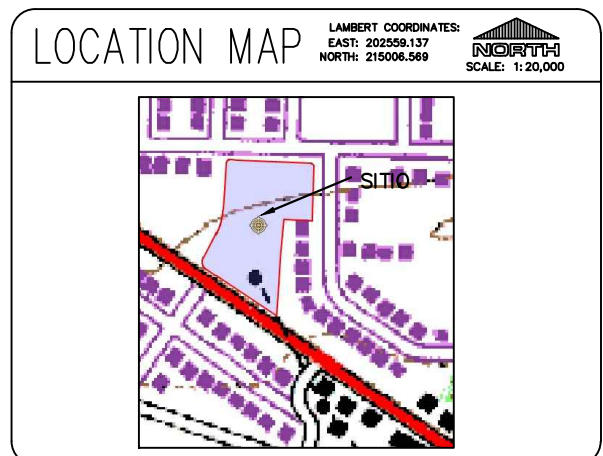
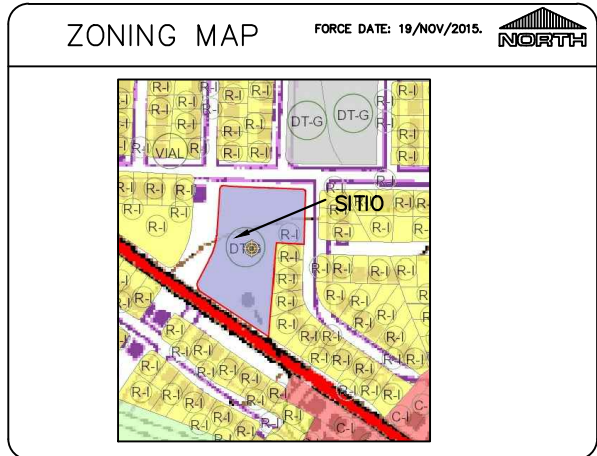
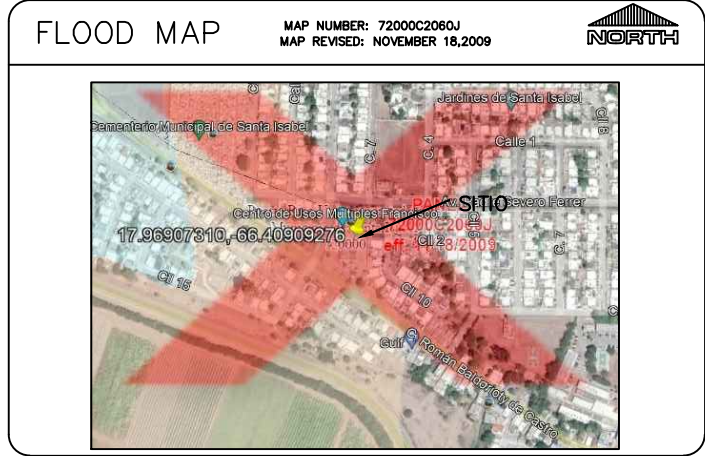
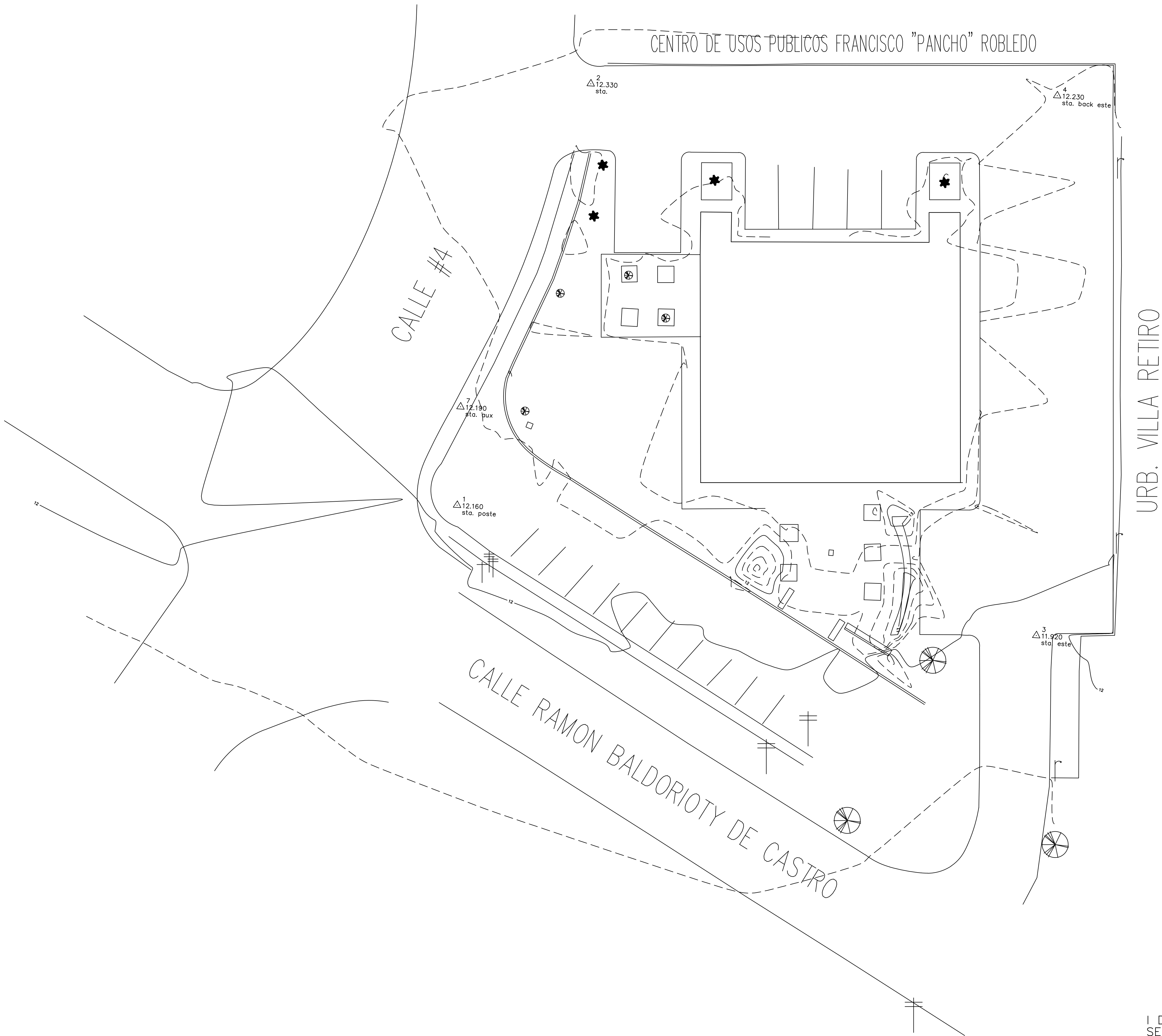
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| SHEET NUMBER  | SHEET NOMENCLATURE | SHEET NAME                                 |
| 01            | T100               | TITLE SHEET                                |
| 02            | C-1                | PLANO ASBUILT                              |
| 03            | DS100              | EXISTING SITE PLAN AND DEMOLITION          |
| 04            | EX101              | EXISTING FLOOR PLAN AND DEMOLITION         |
| 05            | EX102              | EXISTING ROOF PLAN AND DEMOLITION          |
| 06            | EX201              | EXISTING ELEVATIONS AND DEMOLITION         |
| 07            | SA100              | GENERAL SITE PLAN                          |
| 08            | SA101              | ENLARGED VIEW - ARCHITECTURAL SITE PLAN    |
| 09            | SA102              | ENLARGED VIEW - ARCHITECTURAL SITE PLAN    |
| 10            | SA103              | ENLARGED VIEW - ARCHITECTURAL SITE PLAN    |
| 11            | A000               | NOTES & GENERAL LEGEND                     |
| 12            | A001               | PERPESIVES VIEW                            |
| 13            | A002               | AXONOMETRIC VIEW                           |
| 14            | A003               | AXONOMETRIC VIEW                           |
| 15            | A101               | PROPOSED FLOOR PLAN                        |
| 16            | A102               | PROPOSED REFLECTED CEILING                 |
| 17            | A103               | PROPOSED ROOF PLAN                         |
| 18            | A201               | PROPOSED ELEVATIONS                        |
| 19            | A301               | PROPOSED SECTIONS                          |
| 20            | A500               | ENLARGED VIEW - BATHROOMS AND DETAILS      |
| 21            | A600               | DOORS AND WINDOWS SCHEDULES                |
| 22            | A800               | GYPSUM BOARD DETAILS                       |
| 23            | ST100              | FOUNDATION FLOOR PLAN                      |
| 24            | ST200              | STRUCTURAL ROOF PLAN                       |
| 25            | ST301              | STRUCTURAL SECTIONS                        |
| 26            | ST302              | STRUCTURAL SECTIONS                        |
| 27            | ST303              | STRUCTURAL SECTIONS                        |
| 28            | ST304              | STRUCTURAL SECTIONS                        |
| 29            | ACV-101            | AIR CONDITIONING FLOOR PLAN                |
| 30            | ACV-201            | DUCTWORK CONSTRUCTION DETAILS              |
| 31            | ACV-301            | AIR CONDITIONING NOTES, SCHEDULE & DETAILS |
| 32            | P101               | PLUMBING FLOOR PLAN                        |
| 33            | SE100              | ELECTRICAL SITE PLAN                       |
| 34            | E101               | POWER & TELECOMM LAYOUT                    |
| 35            | E102               | LIGHTING LAYOUT                            |

OWNER:  
HON. RAFAEL BURGOS  
SANTIAGO  
MUN. SANTA ISABEL

ADDRESS:  
77 C. Román Baldorioty de Castro,  
Santa Isabel, 00757







| LEGEND: |                      |
|---------|----------------------|
| SYMBOL  | DESCRIPTION          |
| ---     | PROPERTY LINE        |
| ---     | METAL FENCE          |
| ---     | CHAIN LINK FENCE     |
| ---     | BARRED METAL FENCE   |
| ---     | INDEX CONTOUR        |
| ---     | INTERMEDIATE CONTOUR |
| +       | STATION              |
| +       | STATION              |
| +       | BENCH MARK           |
| +       | BENCHMARK POINT      |
| +       | MANHOLE              |
| +       | CATCH BASIN          |
| +       | HEADWALL             |
| +       | LIGHTING POLES       |
| +       | POWER POLES          |
| +       | TELEPHONE POLES      |
| +       | TREE                 |

| ESTACIONES DE CONTROL |             |             |           |                |
|-----------------------|-------------|-------------|-----------|----------------|
| ESTACION              | (Y) NORTE   | (X) ESTE    | ELEVACION | DESCRIPCION    |
| 1                     | 214993.9234 | 202524.6944 | 12.16     | sta. poste     |
| 2                     | 215032.5415 | 202536.9358 | 12.33     | sta.           |
| 3                     | 214981.9826 | 202577.7493 | 11.92     | sta. este      |
| 4                     | 215031.4498 | 202579.6687 | 12.23     | sta. back este |
| 7                     | 215002.9404 | 202525.0071 | 12.19     | sta. aux       |

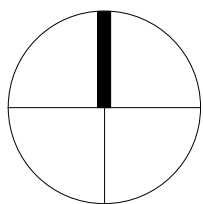
## NOTAS

- ESTE PLANO ESTA REFERIDO AL SISTEMA DE COORDENADAS PLANAS ESTATALES LAMBERT NAD 83 (2011) EPOCH: 2010.0000 Y LAS ELEVACIONES ESTAN REFERIDAS AL PRVD02 UTILIZANDO : ORTHOMETRIC HEIGHT DERIVED BY GPS UTILIZANDO EL GEOID HYBRID MODEL 2018.
- TODAS LAS MEDIDAS ESTAN EXPRESADAS EN METROS, AL MENOS QUE SE INDIQUE LO CONTRARIO.
- LA INFORMACION MOSTRADA EN ESTE PLANO REPRESENTA EL RESULTADO DE LAS MEDICIONES HECHAS PARA LA FECHA INDICADA EN EL PLANO Y SOLO PUEDE SER CONSIDERADA COMO UNA INDICACION DE LAS CONDICIONES EXISTENTES EN EL MOMENTO.
- LA INFORMACION PROVISTA EN ESTE PLANO PUEDE O NO MOSTRAR TODAS LAS ESTRUCTURAS Y UTILIDADES EXISTENTES POR ENCIMA Y POR DEBAJO DEL TERRENO.
- SIMBOLOS SON UNICAMENTE PARA PROPOSITO DE ILUSTRACION, ELLOS NO NECESARIAMENTE SON DEL MISMO TIPO O TAMAÑO DEL OBJETO QUE ELLOS REPRESENTAN.
- SIMBOLOS SON UNICAMENTE PARA PROPOSITO DE ILUSTRACION, ELLOS NO NECESARIAMENTE SON DEL MISMO TIPO O TAMAÑO DEL OBJETO QUE ELLOS REPRESENTAN.

### SURVEY CERTIFICATE:

I DO HEREBY CERTIFY THAT THIS SURVEY WORK WAS PERFORMED DURING THE MONTH OF SEPTEMBER 2022, THAT ELECTRONIC DISTANCES MEASURING INSTRUMENT (TOPCON-GM SERIES) WERE USED FOLLOWING THE STANDARD SURVEY TECHNIQUES FOR THESE CASES.





① EXISTING S  
 $1/16'' = 1'-0''$

### LEGEND

**TO BE DEMOLISHED**

**JRB. VILLA RETIRO**

[illegible][illegible]

PROJECT  
RENOVATIONS TO PLAZA DEL MERCADO IN  
SANTA ISABEL URBAN CENTER

CLIENT  
MUNICIPIO DE SANTA ISABEL

SCALE: As indicated

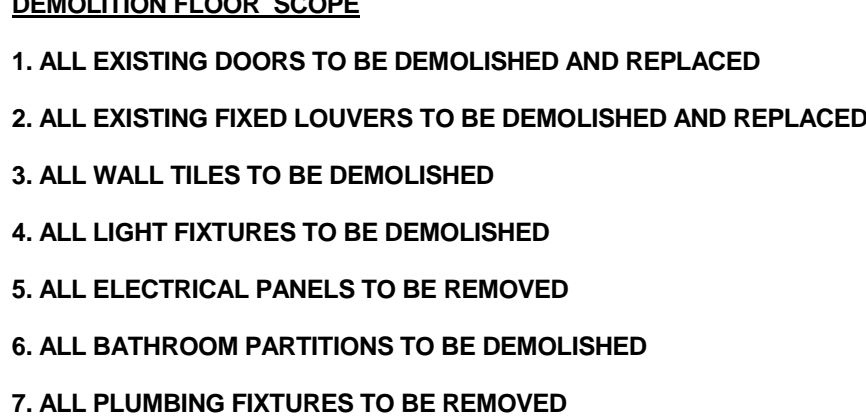
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EXISTING SITE  
PLAN AND  
DEMOLITION

TITLE

DS100

SHE



EXISTING AND DEMOLITION FLOOR  
PLAN  
1  
3/16" = 1'-0"





PROJECT  
RENOVATIONS TO PLAZA DEL MERCADO IN  
SANTA ISABEL URBAN CENTER

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### EXISTING ROOF PLAN AND DEMOLITION

## EXCISE



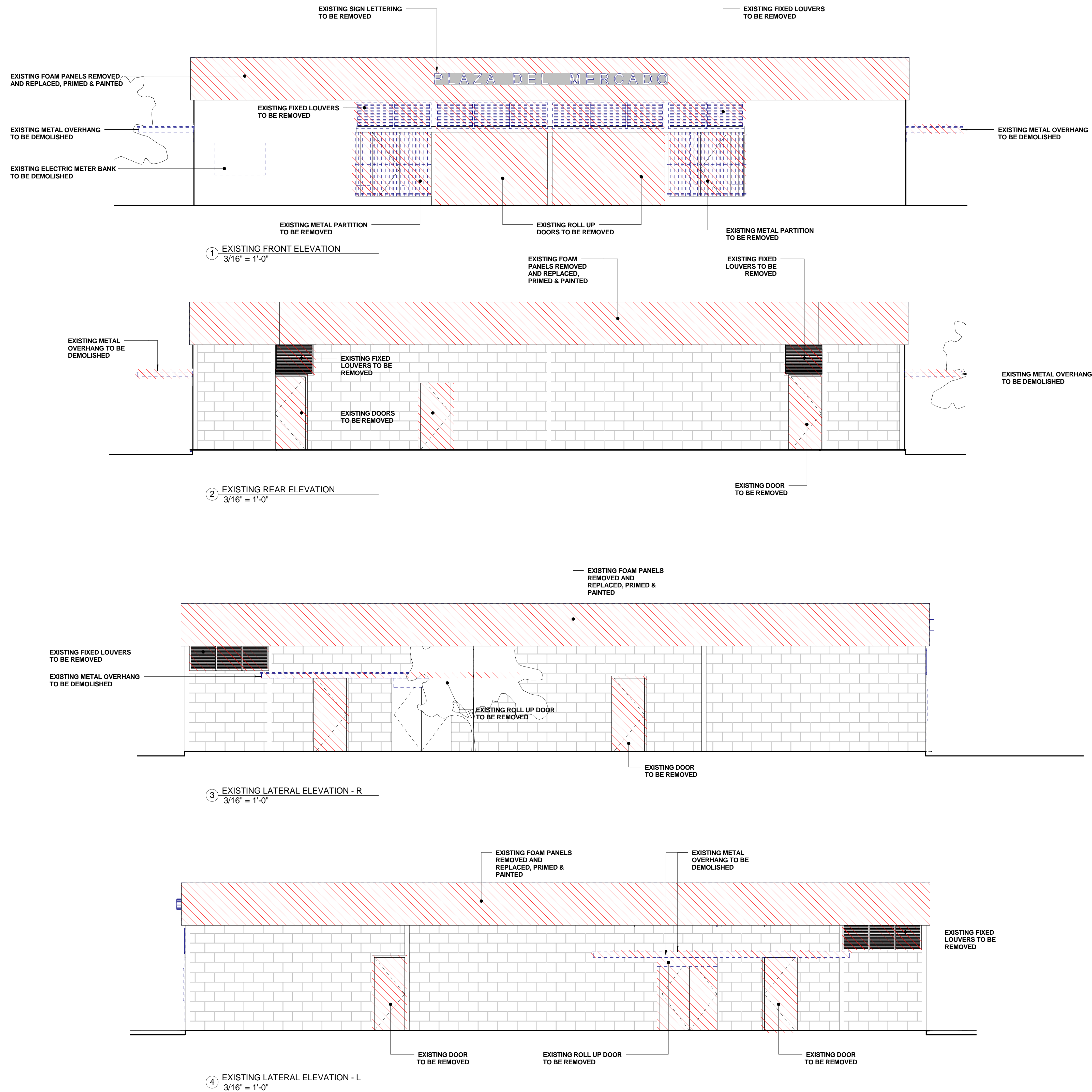
## NOTE

- FLASHING AROUND EXISTING METAL ROOFS TO BE REMOVED AND REPLACED WITH NEW FLASHING. ALL ROOFS, UTILITIES, WIRING, CONDUITS & BOXES SHALL BE REMOVED AND CAPPED IF NECESSARY.
- NEW DOMES SHALL BE INSTALLED OVER ALL ROOFDRAINS.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL DRAINS ARE UNOBSTRUCTED
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING FACILITY AND SHALL RESTORE THE DAMAGE TO WORKING CONDITION WITHOUT ADDITIONAL COST TO THE OWNER
- THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER THE REMOVAL OF ANY ANTENNAS OR SPECIAL EQUIPMENT IN THE ROOF PRIOR TO THE WORKS PROPOSED

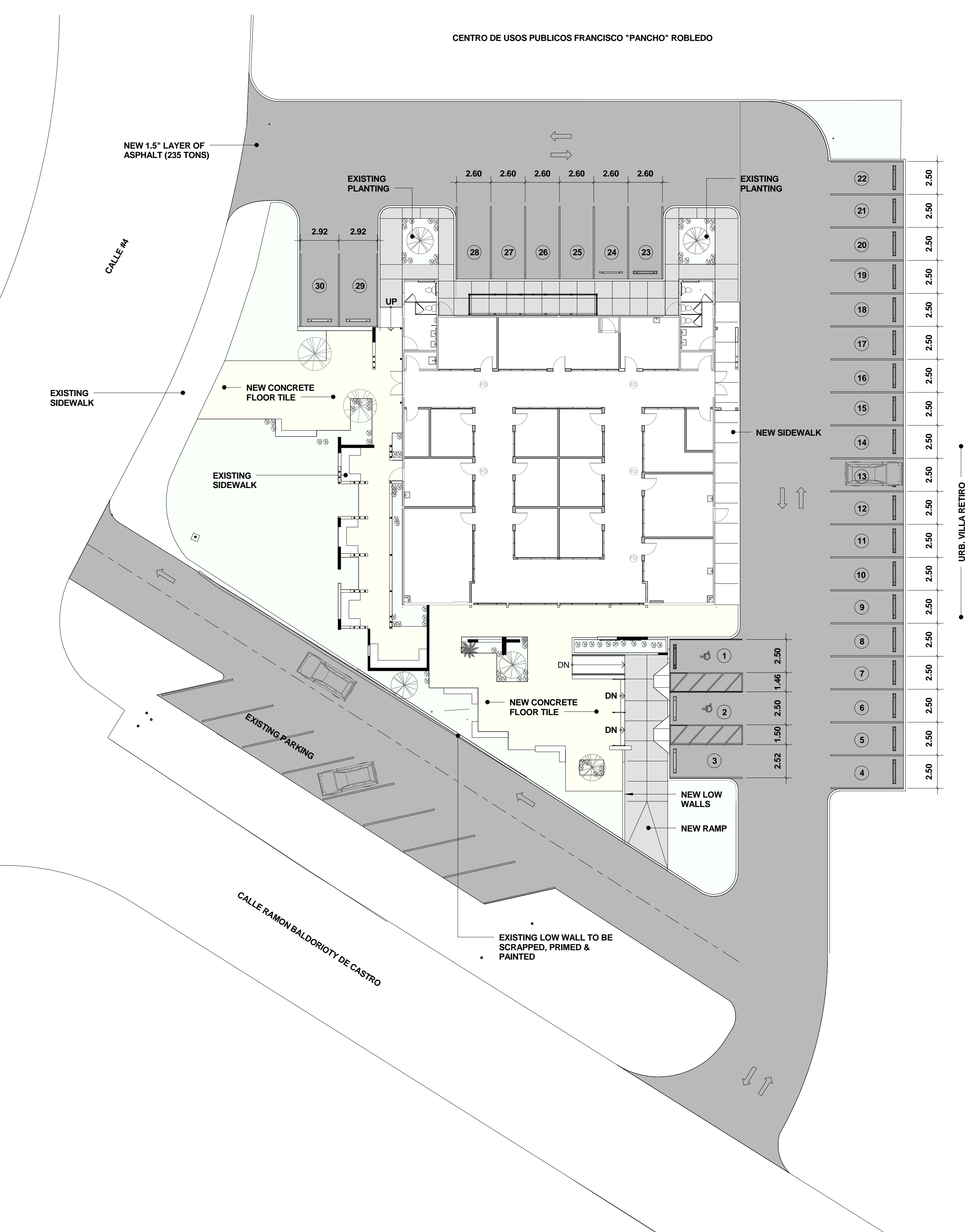




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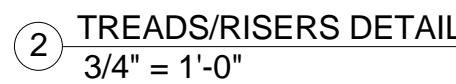




The diagram illustrates a cross-section of a sidewalk and ramp. The sidewalk is shown on the right, labeled "SIDEWALK". A ramp, labeled "RAMP", is shown in the center, with a width of "3'-0" MIN." and a slope of "SLOPE 1:10 MAX.". The ramp is bordered by a "CURB & GUTTER" on the right. A "HANDICAP" symbol is shown on the ramp. The ramp is bordered by a "SIDEWALK" on the left.

3 C-RAMP DETAIL  
12" = 1'-0"



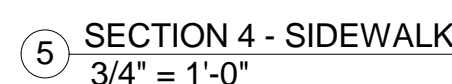
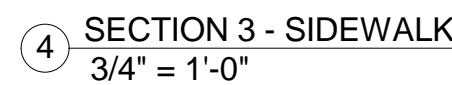
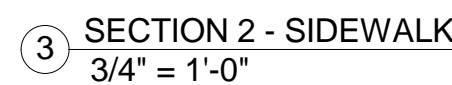
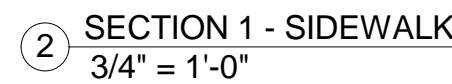
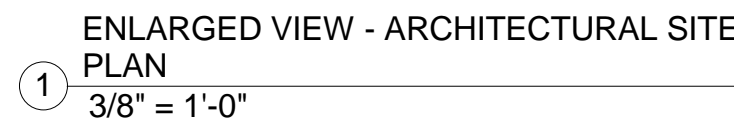
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3 SECTION 3  
3/4" = 1'-0"

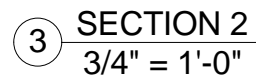
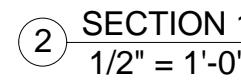
4 SECTION 2 - SIDEWALK  
3/4" = 1'-0"

ENLARGED VIEW - PROPOSED SITE  
PLAN  
1/4" = 1'-0"











GENERAL NOTES:

- ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDES THE DRAWINGS, ALL ADDENDUMS AND MODIFICATIONS ISSUED BY THE ARCHITECT.
- THE GENERAL CONTRACTOR (GC) SHALL REVIEW ALL DOCUMENTS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND SHALL CONFIRM THAT WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS, ETC., SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF ANY WORK IN QUESTION. THE GC SHALL ARRANGE FOR INSPECTIONS NECESSARY TO OBTAIN A CERTIFICATE OF OCCUPANCY.
- IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING MATERIALS/EQUIPMENT, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION.
- ALL WORK SHALL BE PERFORMED DURING DESIGNATED HOURS (8AM-5PM). WORK INVOLVING EXCESSIVE NOISE OR DUST, OR WHICH WOULD OTHERWISE INTERFERE WITH THE NORMAL OPERATION OF THE FACILITY SHALL BE DONE BETWEEN 9AM AND 5PM.
- GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY/EI UTILITIES, NOT COVERED IN THE CONSTRUCTION/DEMOLITION DOCUMENTS, WHICH MAY INTERFERE WITH COMPLETING THEIR SCOPE OF WORK. THE ARCHITECT & GENERAL CONTRACTOR SHALL DISCUSS THE REMOVAL OF THESE UTILITIES. WHEN REMOVAL IS APPROVED BY THE ARCHITECT, THE GENERAL CONTRACTOR SHALL INSPECT, TEST, AND DISCONNECT THE SPECIFIED UTILITY, CUT BACK TO SOURCE (OR PERIMETER OF LEASE SPACE) AND CAP. ALL PENETRATIONS RESULTING FROM THE REMOVAL SHALL BE SEALED WITH NEW CONSTRUCTION TO MATCH (E) ADJACENT BLDG. FINISHES. UTILITY SERVICE SHALL BE DEFINED AS PLUMBING, HVAC, ELECT., AND FIRE PROTECTION SYSTEMS. GC SHALL INDICATE PERMANENTLY ABANDONED UTILITIES ON A RECORD TO SERVE AS PART OF THE "AS-BUILT" SET.
- "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
- "TYPICAL" SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT UNLESS OTHERWISE NOTED. DETAILS ARE USUALLY KEYED AND NOTED "TYP" ONLY ONCE, WHEN THEY FIRST OCCUR.
- "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS.
- WORK AREAS TO REMAIN SECURE AND LOCKABLE DURING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL COORDINATE WITH ARCHITECT AND/OR PROJECT MANAGER TO ENSURE SECURITY.
- THE GC SHALL VERIFY THAT THE EXISTING FLOORS ARE LEVEL AND FREE FROM SCALING. GC TO REPORT ANY VARIATIONS IN FLOOR LEVEL GREATER THAN 1/4" IN 10'-0" (NON-CUMULATIVE) TO ARCHITECT.
- THE CONTRACT DOCUMENTS ARE COMPLEMENTARY. WHAT IS SHOWN OR REFERRED TO AT A GIVEN LOCATION SHALL BE PROVIDED AS THOUGH SHOWN ON ALL (U.O.N.).
- Substitutions, REVISIONS, OR CHANGES MUST BE SUBMITTED TO ARCHITECT FOR REVIEW (IN CONFORMANCE WITH SPECIFIED PROCEDURES) PRIOR TO PURCHASE, FABRICATION OR INSTALLATION. REFER TO SPECIFICATIONS FOR SPECIFIC PROCEDURES.
- ALL WORK SHALL BE COORDINATED BY THE G.C. INCLUDING; SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, BUILDING FACILITATES, ETC.
- THE SCOPE OF WORK AND ADJACENT AREAS SHALL BE PROTECTED FROM ANY DAMAGE THAT OCCURS BECAUSE OF THIS WORK. ANY DAMAGE THAT OCCURS SHALL BE THE FINANCIAL RESPONSIBILITY OF THE GC.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED PER MANUFACTURER'S INSTRUCTIONS. IN CASE OF DIFFERENCES BETWEEN THE MANUFACTURER'S INSTRUCTIONS AND CONTRACT DOCUMENTS, THE GC SHALL NOTIFY THE ARCHITECT BEFORE PROCEEDING.
- ACCESS PANELS, CLEANOUTS, AND THE LIKE SHALL BE MAINTAINED FOR EXISTING BUILDING SYSTEMS. RELOCATE DIFFUSERS AND REGISTERS TO FIT WITH NEW WORK.
- THE GC SHALL HAVE A FULL-TIME REPRESENTATIVE ON SITE AT ALL TIMES WHILE CONSTRUCTION ACTIVITIES ARE OCCURRING ON SITE.
- THE GC SHALL COMPLY WITH ALL CODES, LAWS, ORDINANCES, AND REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK.
- THE GC SHALL OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN PARTITION LOCATIONS, SIZES AND TYPES. DOOR AND WINDOW LOCATIONS SHALL BE AS SHOWN ON CONSTRUCTION PLAN. IN CASE OF CONFLICT, NOTIFY ARCHITECT FOR WRITTEN CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION.
- COMMENCEMENT OF WORK SHALL BE DEEMED AS THE GC'S ACKNOWLEDGMENT OF ALL WORK REQUIRED TO COMPLETE PROJECT IN CONFORMANCE WITH CONTRACT DOCUMENTS AND SCHEDULE. IT IS THE RESPONSIBILITY OF THE GC TO COORDINATE ORDERS, SUBMITTALS AND IMPLEMENTATION OF LONG LEAD ITEMS. THE GC'S FAILURE TO MAKE LONG LEAD ITEM ORDERS IN A TIMELY FASHION SHALL NOT BE GROUND FOR SUBSTITUTIONS.
- ALL NEW CONSTRUCTION INCLUDING CONCRETE, MASONRY, PLASTER, DRYWALL, DOORS, FRAMES, METAL PARTITIONS AND MISCELLANEOUS UNFINISHED METALS (OTHER THAN STAINLESS STEEL SHALL BE PAINTED UNLESS OTHERWISE CLEARLY ON DRAWINGS.
- BIDDERS SHALL VISIT THE BUILDING AND ACQUAINT THEM SELVES WITH THE CONDITIONS AS THEY ACTUALLY EXIST AND VERIFY DIMENSIONS, LOCATIONS AND DETAILS REQUIRED TO COMPLETE THE WORK. FAILURE TO VISIT THE PROJECT AREA WILL IN NO WAY RELIEVE THE SUCCESSFUL BIDDER OF FURNISHING ALL MATERIAL AND PERFORMING ALL WORK REQUIRED FOR THE COMPLETION OF THE CONTRACT. VISITS TO THE PROJECT AREA SHALL BE ARRANGED WITH THE MUNICIPALITY OF JUNCOS.
- WHENEVER AND WHEREVER ON THIS PLANS A REFERENCE IS MADE TO A SPECIFIC PRODUCT OR SUPPLIER, THE GENERAL CONTRACTOR SHALL UNDERSTAND THAT AN EQUAL OR SIMILAR MATERIAL OR COMPONENT CAN BE SUBMITTED FOR EVALUATION AND POSSIBLE APPROVAL OR DISAPPROVAL BY THE ARCHITECT.

CONTRACTOR NOTES:

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED SO THAT PROPER CORRECTIONS ARE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS AND/OR OMISSIONS.
- ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ARCHITECT ARE THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH THEY WERE EXPRESSLY DESIGNED.
- IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THE ARCHITECT, THE PERSON SO DOING WILL BE INDEBTED TO THE ARCHITECT FOR HIS FULL COMMISSION.
- CONTRACTOR SHALL NOT USE FOR CONSTRUCTION PURPOSES ANY DRAWINGS THAT WERE ADVANCED TO HIM PRIOR TO THE START OF CONSTRUCTION. ALL PLANS BEING USED BY CONTRACTOR SHOULD BEAR A STAMP WITH THE LABEL: "FOR CONSTRUCTION ONLY" SIGNED BY ARCHITECT.
- GENERAL CONTRACTOR SHALL FIELD SURVEY LOCATION AND VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE TENANT AND ARCHITECT.
- GENERAL CONTRACTOR SHALL COMPLETE ALL WORK AS INDICATED ON THESE PLANS UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR SHALL OBTAIN PERMITS, APPROVALS, INSPECTIONS, CERTIFICATE FOR COMPLIANCE AND CERTIFICATE OF OCCUPANCY AS REQUIRED, UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR SHALL CHECK IN WITH AND COORDINATE ALL WORK WITH THE LANDLORD'S PROJECT PERSONNEL.
- GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY POWER, LIGHT AND TELEPHONE IN ACCORDANCE WITH LANDLORD'S AND TENANTS REQUIREMENTS.
- GENERAL CONTRACTOR SHALL REMOVE ALL THESE ITEMS AT THE COMPLETION OF WORK OR AS REQUIRED.
- GENERAL CONTRACTOR SHALL HAVE TENANT'S SPACE CLEANED UPON COMPLETION OF WORK BY A PROFESSIONAL CLEANING SERVICE.
- GENERAL CONTRACTOR SHALL MAINTAIN ON SITE AT ALL TIMES, ALL APPROVED DRAWINGS INCLUDING ALL REVISIONS AND ADDENDA.
- GENERAL CONTRACTOR SHALL HAVE AT ALL TIME IN SITE OFFICE COPY OF ALL ENDORSEMENTS AND PERMITS OF THE PROJECT AT A VISIBLE PLACE.

EXISTING BUILDING NOTES

- THE EXISTING CONDITIONS SHOWN IN THE CONSTRUCTION DOCUMENTS ARE FOR ASSISTING CONTRACTORS TO UNDERSTAND THE SCOPE OF WORK. THEY ARE PREPARED BASED ON THE INFORMATION FURNISHED TO THE ENGINEER AND MAY NOT REFLECT THE TRUE AS BUILT CONDITION.
- CONTRACTORS SHALL ASSUME FULL RESPONSIBILITY FOR FIELD VERIFYING ALL EXISTING CONDITIONS, SOUNDNESS OF EXISTING STRUCTURE, ALL PERTINENT DIMENSIONS AND ELEVATIONS. FAILURE TO DO THIS WILL NOT BE A CAUSE FOR ADDITIONAL COSTS. CONTRACTORS SHALL FURNISH THE VERIFIED INFORMATION TO THE ARCHITECT AND ENGINEER PROMPTLY FOR PROJECT COORDINATION.
- CONTRACTORS TO PROVIDE ALL SHORING, BRACING, AND REINFORCING, TEMPORARY AND PERMANENT, AS REQUIRED TO RENDER EXISTING STRUCTURE TO REMAIN SOUND AND SAFE.
- NEW FLOOR ELEVATIONS SHALL MATCH THE EXISTING FLOORS AT ALL LEVELS, UNLESS NOTED OTHERWISE.

DEMOLITION NOTES:

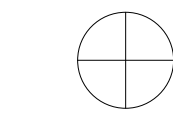
- THE ARCHITECT HAS NO KNOWLEDGE OF AND SHALL NOT BE HELD LIABLE FOR ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS ON THE JOBSITE. IF ASBESTOS OR OTHER HAZARDOUS MATERIALS ARE DISCOVERED DURING CONSTRUCTION, ISOLATE THE AFFECTED AREA AND FOLLOW OWNER REQUIREMENTS FOR REMOVAL & DISPOSAL.
- COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SA FETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
- PROVIDE AND MAINTAIN BARRICADES, LIGHTING AND GUARDRAILS AS REQUIRED BY APPLICABLE CODES AND REGULATIONS TO PROTECT OCCUPANTS OF BUILDING AND WORKERS.
- ERECT AND MAINTAIN DUST PROOF PARTITIONS AS REQUIR EDTO PREVENT SPREAD OF DUST, FUMES AND SMOKE, ETC. TO OTHER PARTS OF THE BUILDING. ON COMPLETION, REMOVE PARTITIONS AND REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES.
- IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE AFFECTED AREAS AT NO COST TO THE OWNER
- EXCEPT WHERE OTHERWISE NOTED, MAINTAIN POSSESSION OF MATERIALS BEING DEMOLISHED. REMOVE FROM SITE DAILY & LEGALLY DISPOSE OF DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
- REMOVE DESIGNATED PARTITIONS, COMPONENTS, BUILDING EQUIPMENT AND FIXTURES AS REQUIRED FOR NEW WORK.
- REMOVE ABANDONED HVAC EQUIPMENT, INCLUDING DUCTWORK, AS REQUIREDFOR NEW WORK.
- REMOVE ABANDONED ELECTRICAL, TELEPHONE AND DATA CABLING BACK TO RISER AND DEVICES , UNLESS OTHERWISE NOTED.
- REMOVE TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE CONTRACT AREAS AND SITE CLEAN, ORDERLY AND ACCEPTABLE FOR NEW CONSUBICTION.
- PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURE(S). PROVIDE AND PLACE BRACING OR SHORING AND BE RESPONSIBLE FOR SAFETY AND SUPPORT OF STRUCTURE. ASSUME LIABILITY FOR SUCH MOVEMENT, SETTLEMENT, DAMAGE OR INJURY.
- CEASE OPERATIONS AND NOTIFY THE OWNER IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGEERD. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESRORED.
- ARRANGE AND PAY FOR DISCONNCETING, REMOVING AND CAPPING UTILITY SERVICES WITHIN AREAS OF DEMOLITION. DISCONNECT AND STUB OFF. NOTIFY THE AFFECTED UTILITY COMPANY AND BUILDING MANAGER IN ADVANCE AND OBTAIN APPROVAL BEFORE STARTING THE WORK.
- HVAC SUBCONTRACTOR TO INSPECT EXISTING CONDITIONS PRIOR TO DEMOLITION. AND DETERMINE WHETHER ANY COMPRESSOR REFRIGERANT LINES ARE PRESENT THAT MUST BE PROPERLY DRAINED (TO E.P.A. STANDARDS PRIORTO DEMOLITION)
- PLACE MARKERS TO INDICATE LOCATION OF DISCONNCETED SERVICES. VERIFY SERVICE LINES AND CAPPING LOCATIONS PROJECT RECORD DOCS.
- CONTRACTOR SHALL BE HELD RESPONSIBLE FOR DAMAGES INFLICTED TO THE OWNERS PROPERTY OR OTHER AREAS OF THE PROJECT. DURING THE EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT ALL SHOP DRAWINGS FOR APPROVAL PRIOR TO COMMENCE OF WORK.
- CONSULTANT DRAWINGS ARE NOT TO BE SCALED: SEE DEMOLITION DRAWINGSFOR EXACT DIMENSIONS.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS & UTILITIES ON SITE WITHIN THE DEMISED SPACE.

DEMOLITION SCOPE

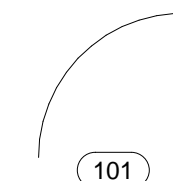
- ALL ACOUSTIC TILE, LIGHT FIXTURES AND GYPSUM BOARD CEILINGS TO BE REMOVED EXCEPT WHERE MARKED. REFER TO FINISH SCHEDULE FOR DETAILS.
- ALL EXISTING WINDOWS TO BE DEMOLISHED
- ALL DOORS TO BE DEMOLISHED
- ALL BATHROOM EQUIPMENT AND ACCESORIES TO BE REMOVED. THE CONCRETE BLOCK WALL PARTITION IN BATHROOMS IS TO BE DEMOLISHED
- ALL WALL TILES, BATHROOM EQUIPMENT AND PARTITIONS IN BATHROOMS TO BE REMOVED
- REMOVE ALL WALL TILES, BATHROOM EQUIPMENT AND PARTITIONS IN BATHROOMS TO BE RENOVATED.
- ALL METAL PARTITIONS (REJAS) AND METAL GATES TO BE REMOVED AND REPLACED
- ALL HANDRAILS AND GUARDRAILS IN STAIRS TO BE REMOVED
- ALL WHEEL STOPS TO BE REMOVED AND DISPOSED
- ALL PAINT FROM EXISTING PARKING LINES TO BE REMOVED
- ALL EXTERIOR WALLS TO BE POWER WASHED, SCRAPPED PRIOR TO THE APPLICATION OF PRIMER AND FINISH COATS
- ALL EXISTING DRAINAGE FIXTURES TO BE REMOVED AND ALL RAIN LEADERS TO BE UNCLOGGED

DOOR AND WINDOW NOTES:

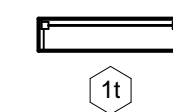
- SUMBIT DOOR AND WINDOW SHOP DRAWINGS FOR ARCHITECT APPROVAL.
- ALL GLASS COLOR TO BE SELECTED BY ARCHITECT.
- FINAL MASONRY, WINDOW AND DOOR DIMENSIONS SHALL BE FIELD VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO PURCHASE.
- THE CONTRACTOR SHALL SUBMIT A SHOP DRAWING FOR WINDOWS CERTIFIED BY A LICENSED ENGINEER TO WITHSTAND WIND SPEEDS AS REQUIRED BY THE IBC 2018 & PUERTO RICO BUILDING CODE.



NORTH ARROW



DOOR



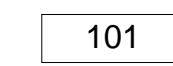
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DOOR

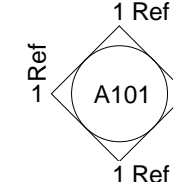
WINDOW ID



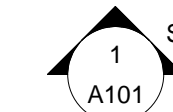
SPOT ELEVATION



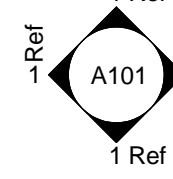
ROOM NUMBER



EXTERIOR ELEVATION SYMBOL



SECTION SYMBOL



INTERIOR ELEVATION SYMBOL

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View Name  
1/8" = 1'-0"

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PAINT NOTE:

- ALL INTERIOR AND EXTERIOR WALLS AND CEILING TO BE SCRAPPED WHERE NEEDED, PRIMED AND PAINTED.
- COLORS TO BE SELECTED BY ARCHITECT.
- PAINT SHALL BE SHERWIN WILLIAMS OR APPROVED EQUAL.

ABBREVIATIONS:

- |        |                          |
|--------|--------------------------|
| A.A.   | ALL AROUND               |
| F.F.E. | FINISHED FLOOR ELEVATION |
| S.C.P. | SMOOTH CEMENT PLASTER    |
| A.F.F. | AFTER FINISHED FLOOR     |
| C.O.   | CLEAN OUT                |
| F.D.   | FLOOR DRAIN              |
| S.D.   | SMOKE DETECTOR           |
| E.F.   | EXHAUST FAN              |
| N.I.C. | NOT IN CONTRACT          |
| W.H.   | WATER HEATER             |

**EM ARCHITECTS**  
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ARCHITECT:  
Yo, Eli M. Martínez Bléndez, con número de licencia 20050 certifico que soy el autor de este proyecto de arquitectura. Este proyecto de arquitectura cumple con las disposiciones aplicables del Reglamento Conjunto y las disposiciones aplicables de Reglamento de Construcción vigentes de las Autoridades competentes de la Corporación de Planificación Urbana y Construcción, además, que en la preparación de estos planos y especificaciones se ha cumplido cabalmente con lo dispuesto en la ley num. 14 de 8 de enero de 2004, según la cual, el profesional de la arquitectura, al preparar los planos y especificaciones, y con la Ley num. 319 de 15 de mayo de 1938, según enmendada, Reconozco y declaro que cualquier declaración falsa o falsificación de los hechos que se haya hecho en este proyecto de arquitectura, o por otras personas con mi conocimiento, me hacen responsable de cualquier acción judicial y disciplinaria por la OCPe.



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PROJECT: **RENOVATIONS TO PLAZA DEL MERCADO IN SANTA ISABEL URBAN CENTER**

CLIENT: **MUNICIPIO DE SANTA ISABEL**

PROJECT: **NOTES & GENERAL LEGEND**

SCALE: As indicated

DRAWN BY: Author

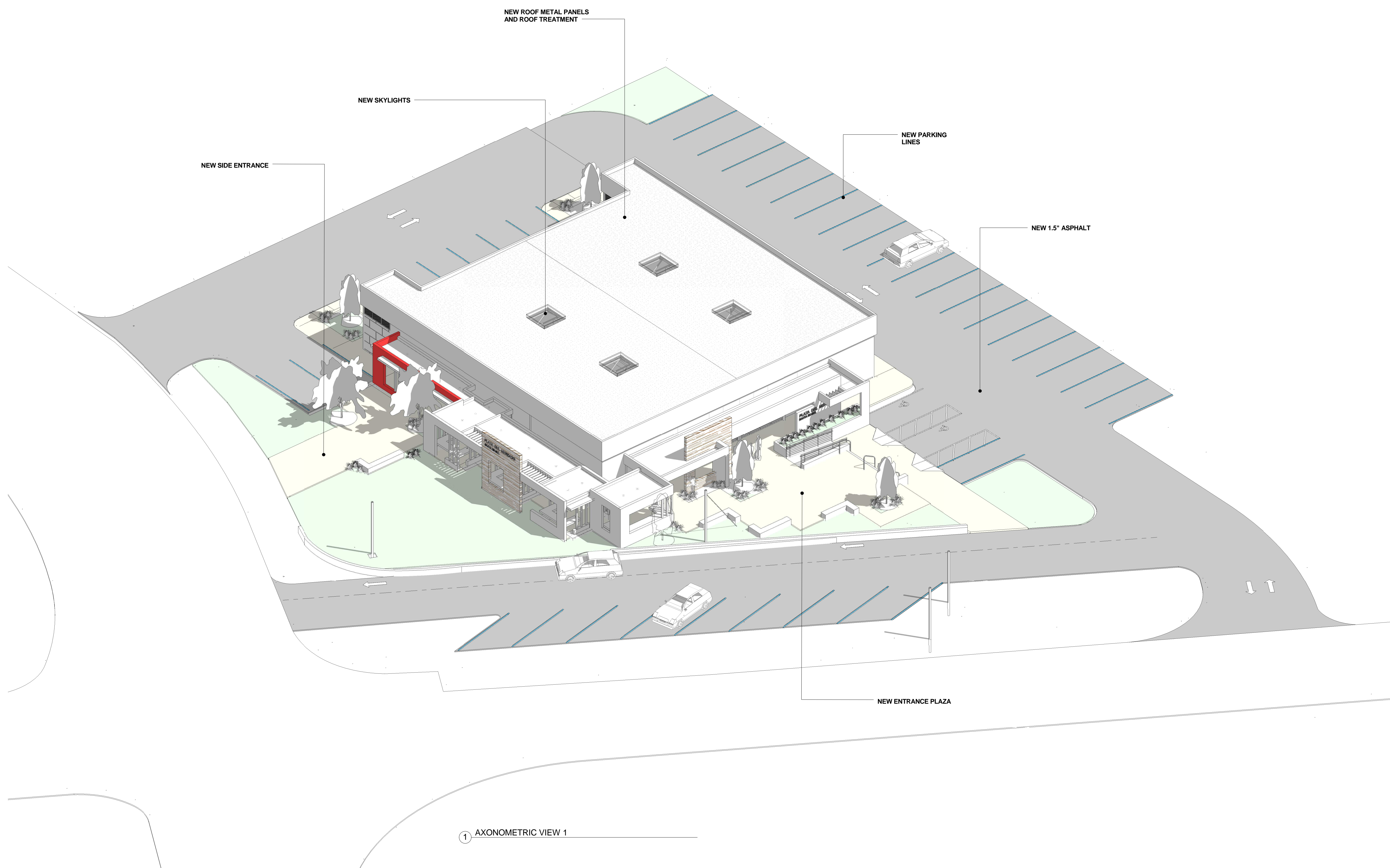
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1 AXONOMETRIC VIEW 1

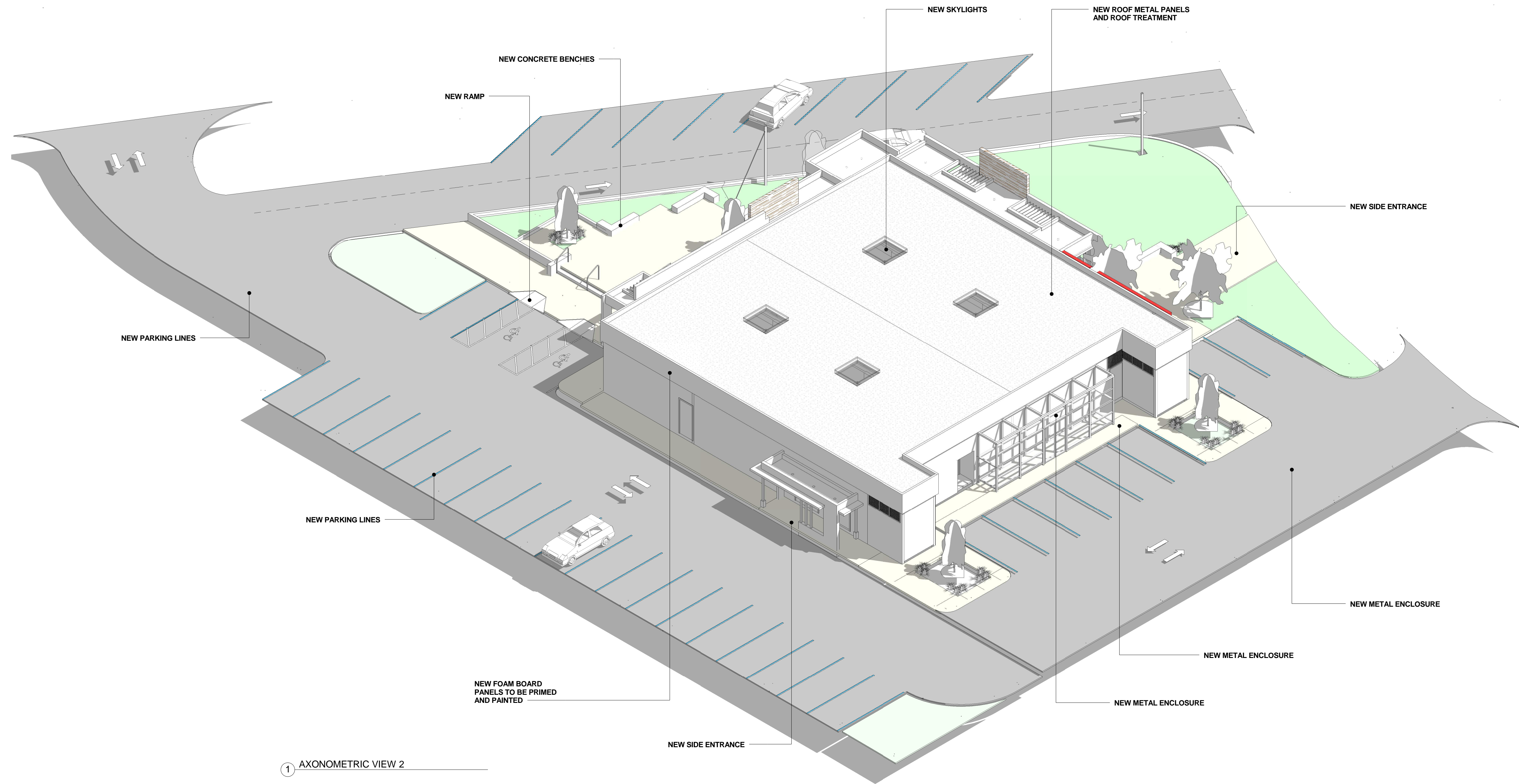


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PROJECT  
**RENOVATIONS TO PLAZA DEL MERCADO IN SANTA ISABEL URBAN CENTER**

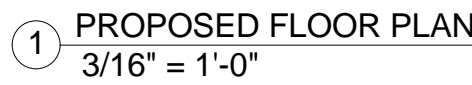
CLIENT  
**MUNICIPIO DE SANTA ISABEL**





1 AXONOMETRIC VIEW 2





**PAINT NOTES:**

2. ALL INTERIOR GYPSUM BOARD CEILINGS SHALL BE PRIMED AND PAINTED. THIS INCLUDES ONE PRIME COAT AND TWO FINISH COATS. PROVIDE 6" X 6" SAMPLE OF GYPSUM BOARD FOR REVIEW. PROVIDE HATCH WHERE REQUIRED BY CODE FOR ACCESS TO DAMPERS.

3. ALL HORIZONTAL FACES OF GYPSUM BOARD SOFFITS SHALL BE PAINTED

SHEET VINYL & VINYL TILE NOTES:

1. CONTRACTOR SHALL VERIFY MODEL OF WELDING ROD REQUIRED WITH MANUFACTURER

2. FLOOR FINISH TRANSITIONS SHALL BE CENTERED UNDER THE DOOR FRAMES WHERE TRANSITIONS OCCUR. THERE SHALL BE NO CHANGE IN LEVEL GREATER THAN 1/4". TRANSITION PIECES SHALL BE INCORPORATED WHEREVER THERE IS A CHANGE IN MATERIAL.

Nichole Santiago, ID  
Sales Representative/Interior Designer  
CUADRADO ALFOMBRAS  
[www.cuadradoalfombras.com](http://www.cuadradoalfombras.com)  
Mobile: (787) 457-8000  
Work: (787) 250-8000

**SUBSTRATE PREPARATION NOTES:**





**SUBSTRATE PREPARATION WITH:**  
 -ARDEX MRF  
 (CORRECTING HOLES AN IMPERFECTIONS)  
 -ARDEX MC RAPID  
 (MOISTURE CONTROL & SEALANT)  
 -ARDEX P 4 (PRIMER)  
 -ARDEX K 10  
 (SELF LEVELING SOLUTION PRIOR TO INSTALLING SHEET VINYL)

INTERIOR / EXTERIOR WALLS  
-ARDEX OVP FOR PATCHING AND REPAIRING EXTERIOR WALLS.

NOTE:  
THE WORK DESCRIBED ABOVE SHALL BE PERFORMED BY A CONTRACTOR  
CERTIFIED BY ARDEX AMERICAS. ALL PRODUCTS TO BE INSTALLED AS PER  
MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.

Carl Roberts  
Sales Professional  
Puerto Rico & The Caribbean  
ARDEX Americas  
Mobile: +1 787-221-0916  
Telephone +1 724-203-5000  
[www.ardexamericas.com](http://www.ardexamericas.com) Facebook: @ARDEXAmericas

### WALL LEGEND

|   |                            |
|---|----------------------------|
|  | EXISTING WALL              |
|  | PROPOSED CONCRETE WALL     |
|  | PROPOSED GYPSUM WALL       |
|  | PROPOSED HSS METAL COLUMNS |

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# PROJECT RENOVATIONS TO PLAZA DEL MERCADO IN SANTA ISABEL URBAN CENTER

MUNICIPIO DE SANTA ISABEL

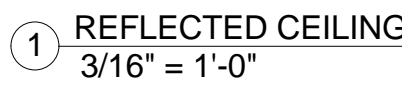
PROJECT #: \_\_\_\_\_

SCALE: **As indicated**

DRAWN BY: **Author**

## PROPOSED FLOOR PLAN





NOTES:

- CONTRACTOR SHALL VERIFY IN FIELD IF DESIGNATED CEILING HEIGHTS IN ROOMS ARE POSSIBLE. IF CONSIDERING THE INSTALLATION OF THE NEW SPRINKLER SYSTEM, IF PROPOSED CEILING HEIGHTS ARE NOT POSSIBLE, NOTIFY ARCHITECT OR PROJECT MANAGER IMMEDIATELY.

- ALL REGISTERS AND DIFFUSERS TO BE REMOVED AND REPLACED.

- THE GENERAL CONTRACTOR SHALL VERIFY THE AMOUNT OF DIFFUSERS AND REGISTERS IN THE AC SUPPLY SYSTEMS. ALL UNUSED REGISTERS AND DIFFUSERS SHALL BE ELIMINATED.

- THE GENERAL CONTRACTOR SHALL FURNISH AND INSTALL THE FLEXIBLE DUCTS NEEDED TO CONNECT NEW DIFFUSERS AND REGISTERS.

- ALL SUPPLY DIFFUSERS SHALL BE EQUAL OR SIMILAR TO MODEL 5800 BY METALAIR. NEW DIFFUSERS AND REGISTERS SHALL BE SATIN SILVER.

- ALL REGISTERS SHALL BE EQUAL OR SIMILAR TO MODEL 4000 BY METALAIR. NEW REGISTERS AND REGISTERS SHALL BE SATIN SILVER.

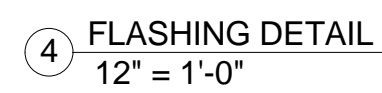
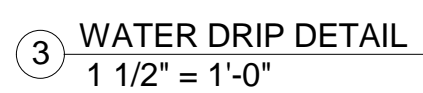
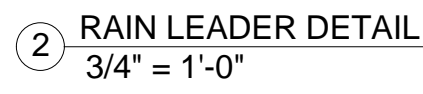
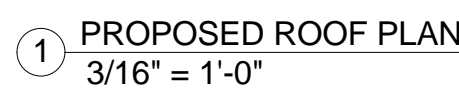
- ALL CEILING ACCESS PANEL SHALL BE 24X24 EQUAL OR SIMILAR TO BEST ACCESS DOORS.

TITLE

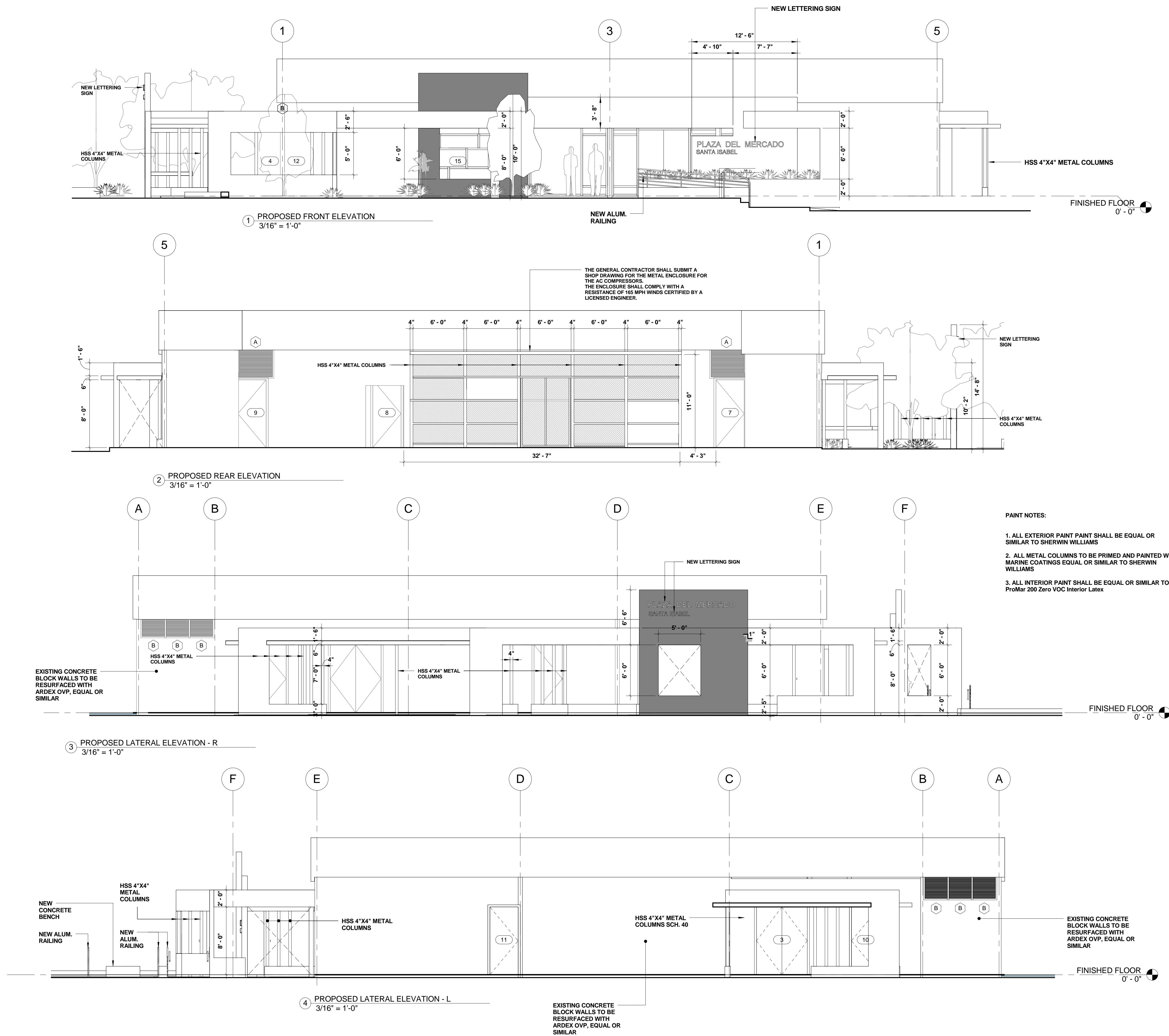
A102

SHEET















CERTIFIED BY

[illegible]

PROJECT  
RENOVATIONS TO PLAZA DEL MERCADO IN  
SANTA ISABEL URBAN CENTER

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CLIENT  
MUNICIPIO DE SANTA ISABEL

PROJECT # \_\_\_\_\_

SCALE: As indicated

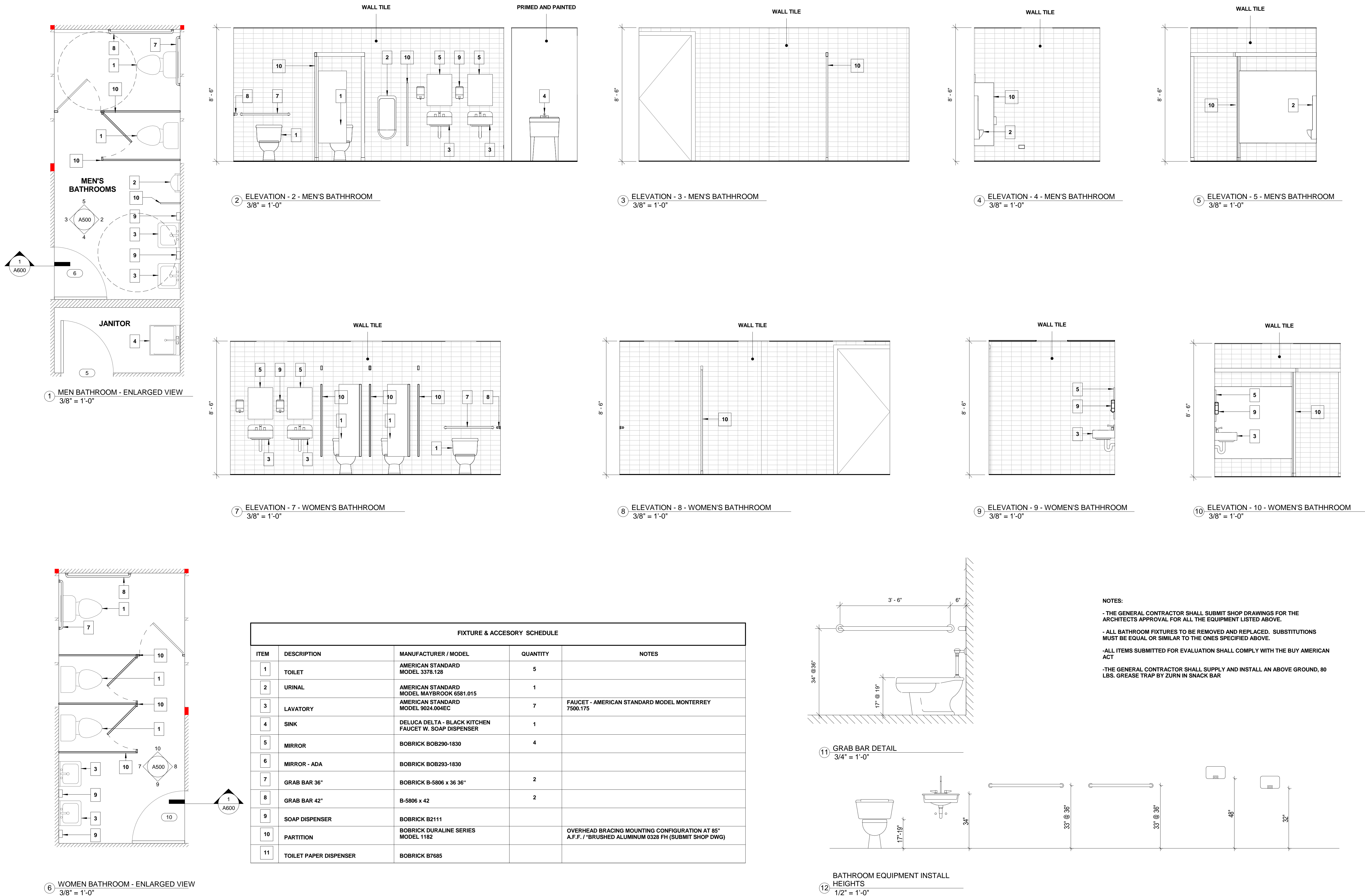
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## ENLARGED VIEW - BATHROOMS AND DETAILS

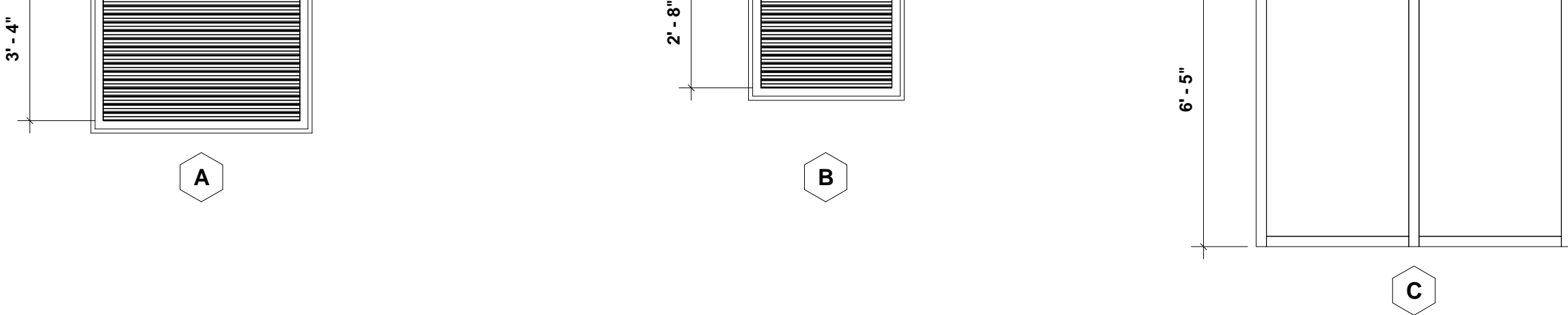
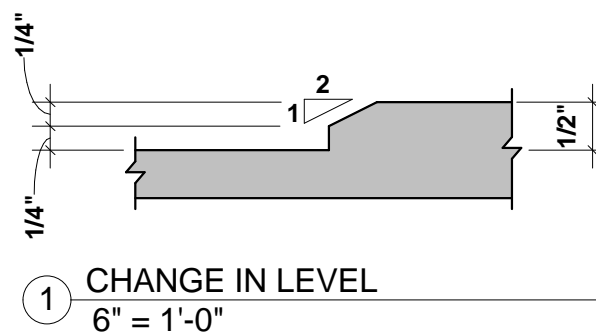
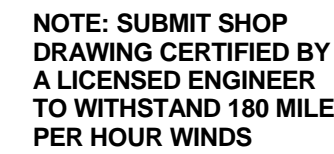
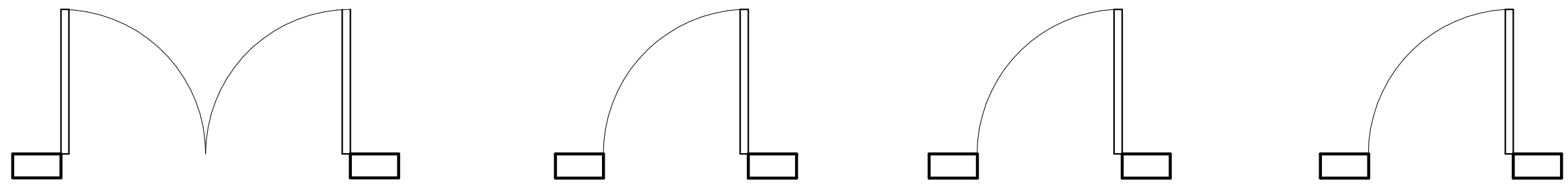
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A500

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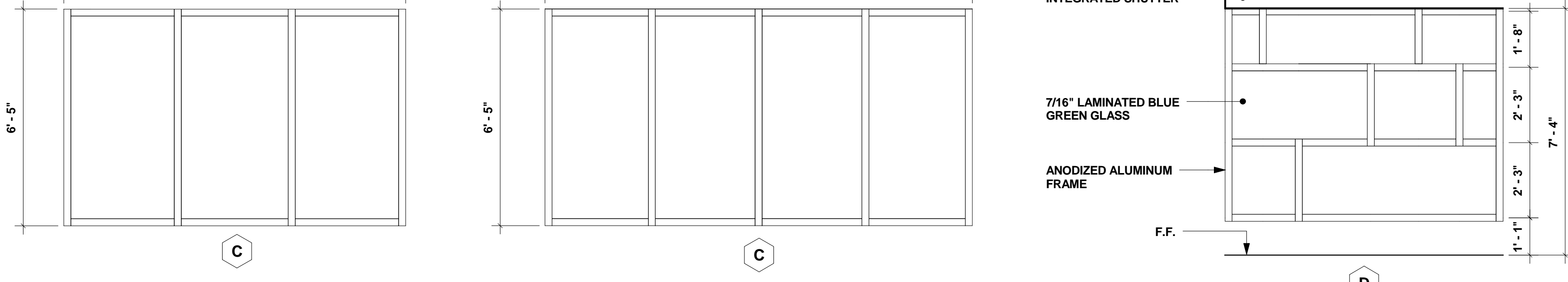




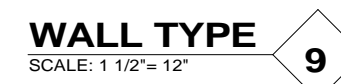
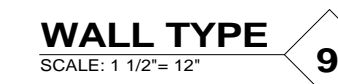
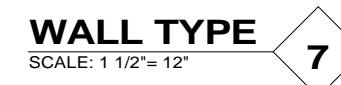
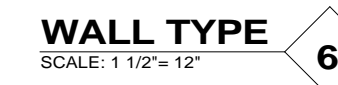
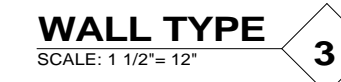
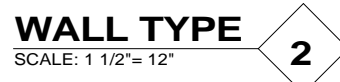
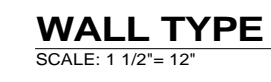
Grand total: 14

Grand total: 28

|   |        |              |  |           |                            |
|---|--------|--------------|--|-----------|----------------------------|
| 2 | 98 SF  | 12' - 2 1/2" |  | DOOR WALL | Curtain Wall: Storefront 4 |
|   | 102 SF | 12' - 8 1/2" |  | DOOR WALL | Curtain Wall: Storefront 4 |
|   | 102 SF | 12' - 8 1/2" |  | DOOR WALL | Curtain Wall: Storefront 4 |

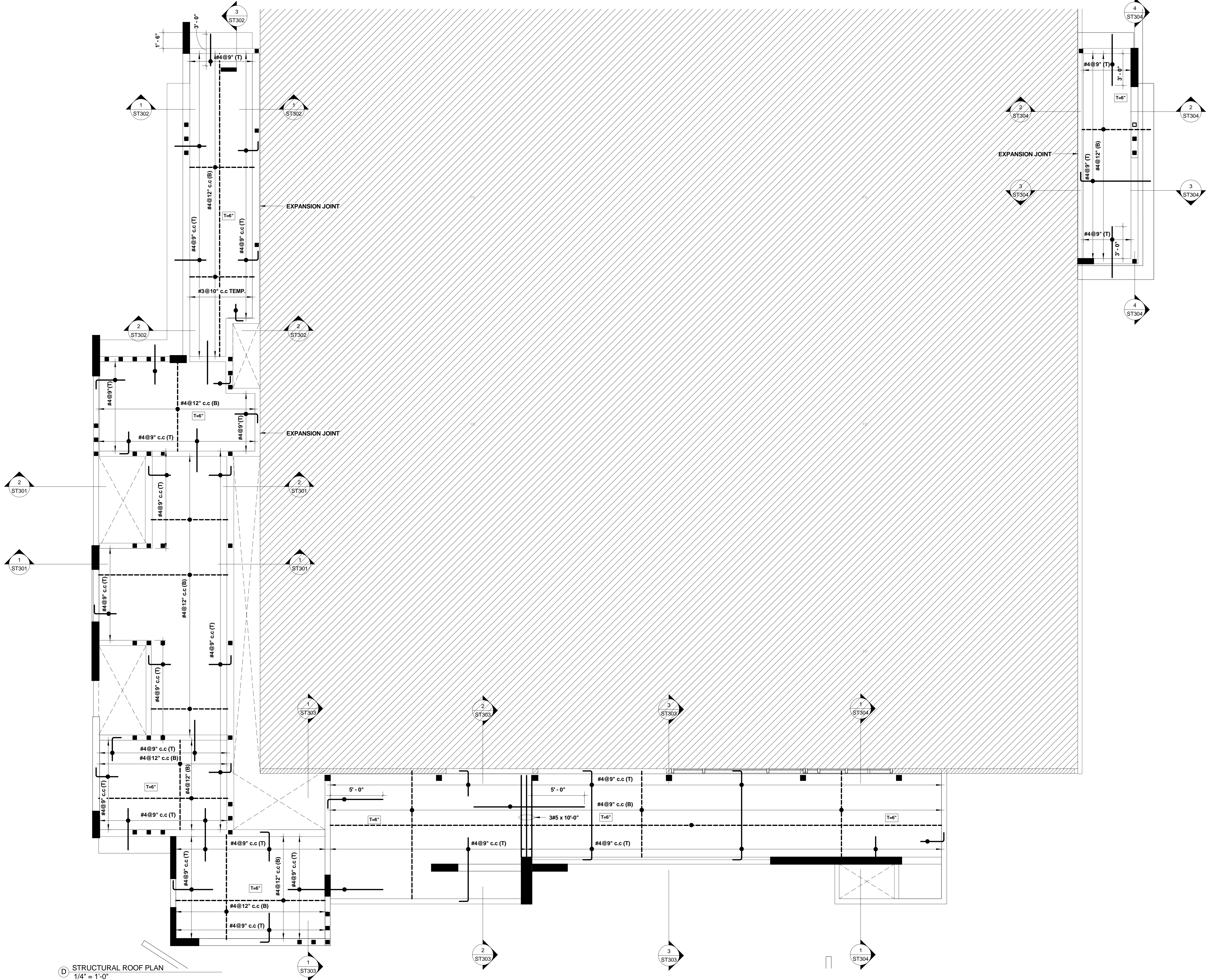




[illegible]







D STRUCTURAL ROOF PLAN  
1/4" = 1'-0"

EM ARCHITECTS  
ARQ. ELI MARIANO MARTÍNEZ BELENÉZ, AIA  
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San Juan, PR 00923  
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787.629.8661

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Yo, Eli M. Martínez Belén, con número de licencia #20050 certifico que soy el autor de este documento y que he revisado y aprobado el mismo. También certifico que entiendo que dichos planos y especificaciones cumplen con las disposiciones aplicables del Reglamento Conjunto y las disposiciones de las disposiciones de la Ley Núm. 14 de 8 de mayo de 2004, según la cual, además, que en la preparación de estos planos y especificaciones se ha cumplido cabalmente con lo dispuesto en la ley num. 14 de 8 de mayo de 2004, según la Ley Núm. 319 de 15 de mayo de 1938, según enmendada. Reconozco y que cualquier declaración falsa o falsificación de los hechos que se haya empleado, o por otras personas con mi consentimiento, me hacen responsable de cualquier acción judicial y disciplinaria por la OCPe.



| REVISION | DATE | DESCRIPTION |
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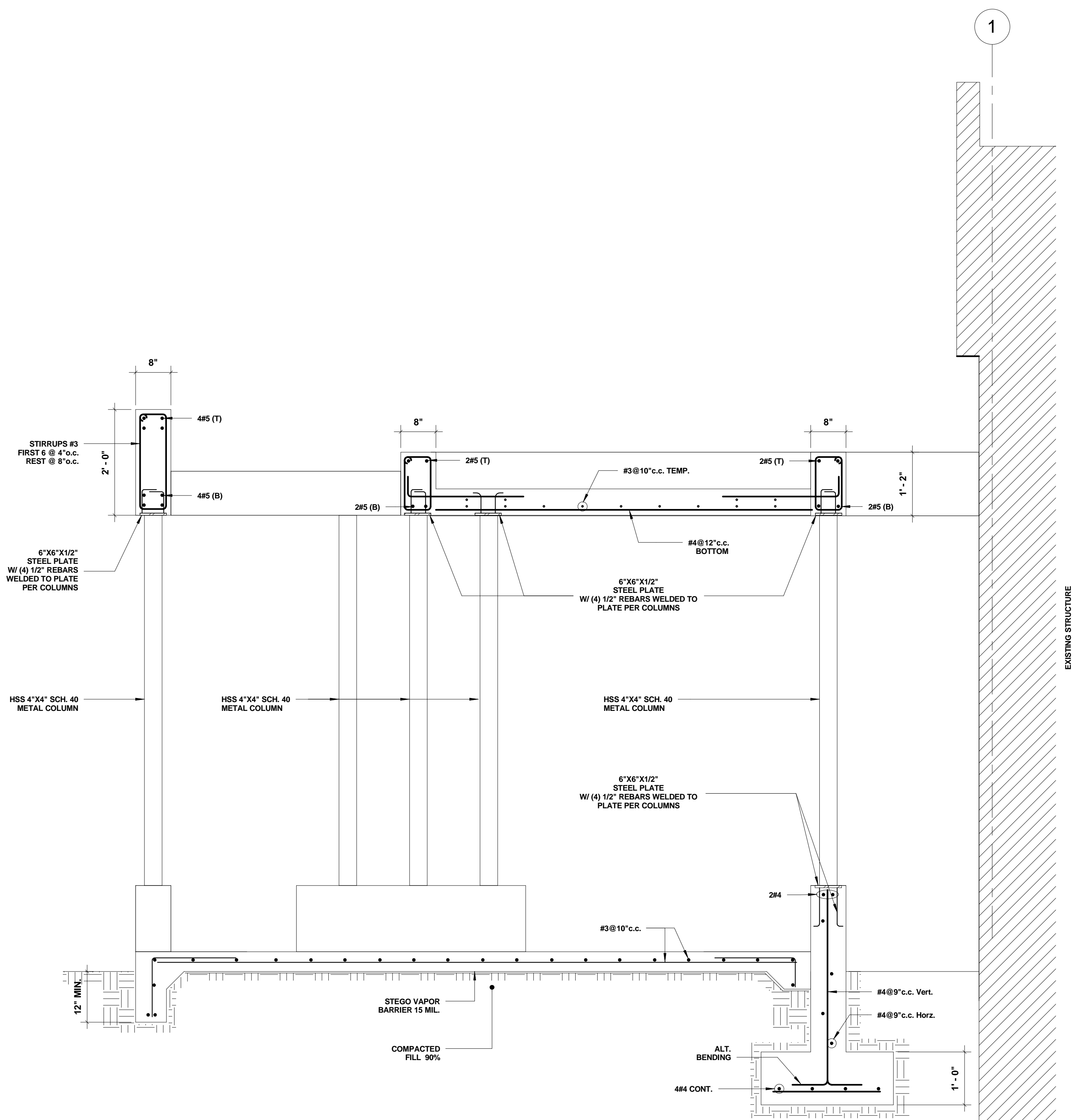
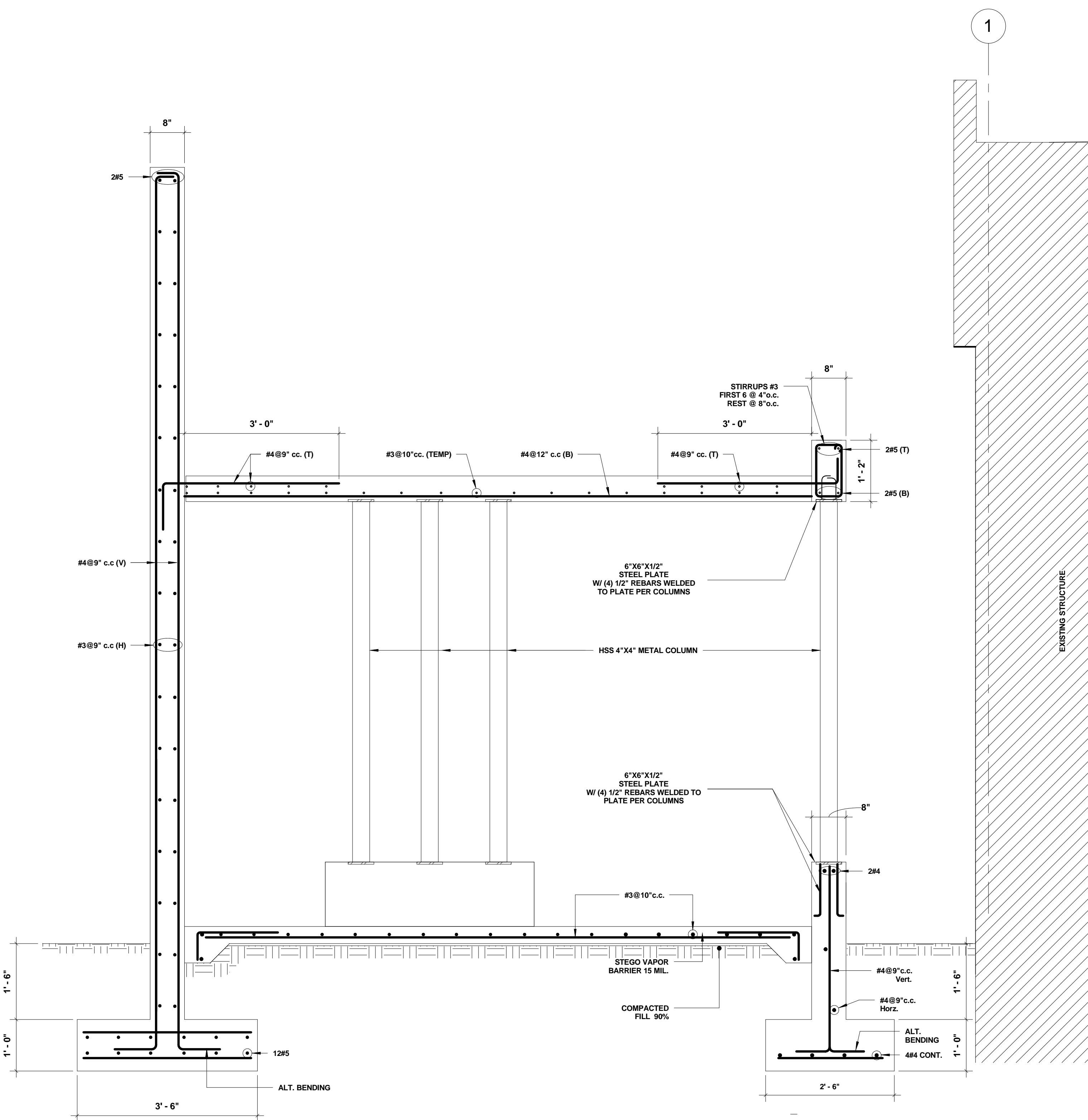
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**RENOVATIONS TO PLAZA DEL MERCADO IN SANTA ISABEL URBAN CENTER**

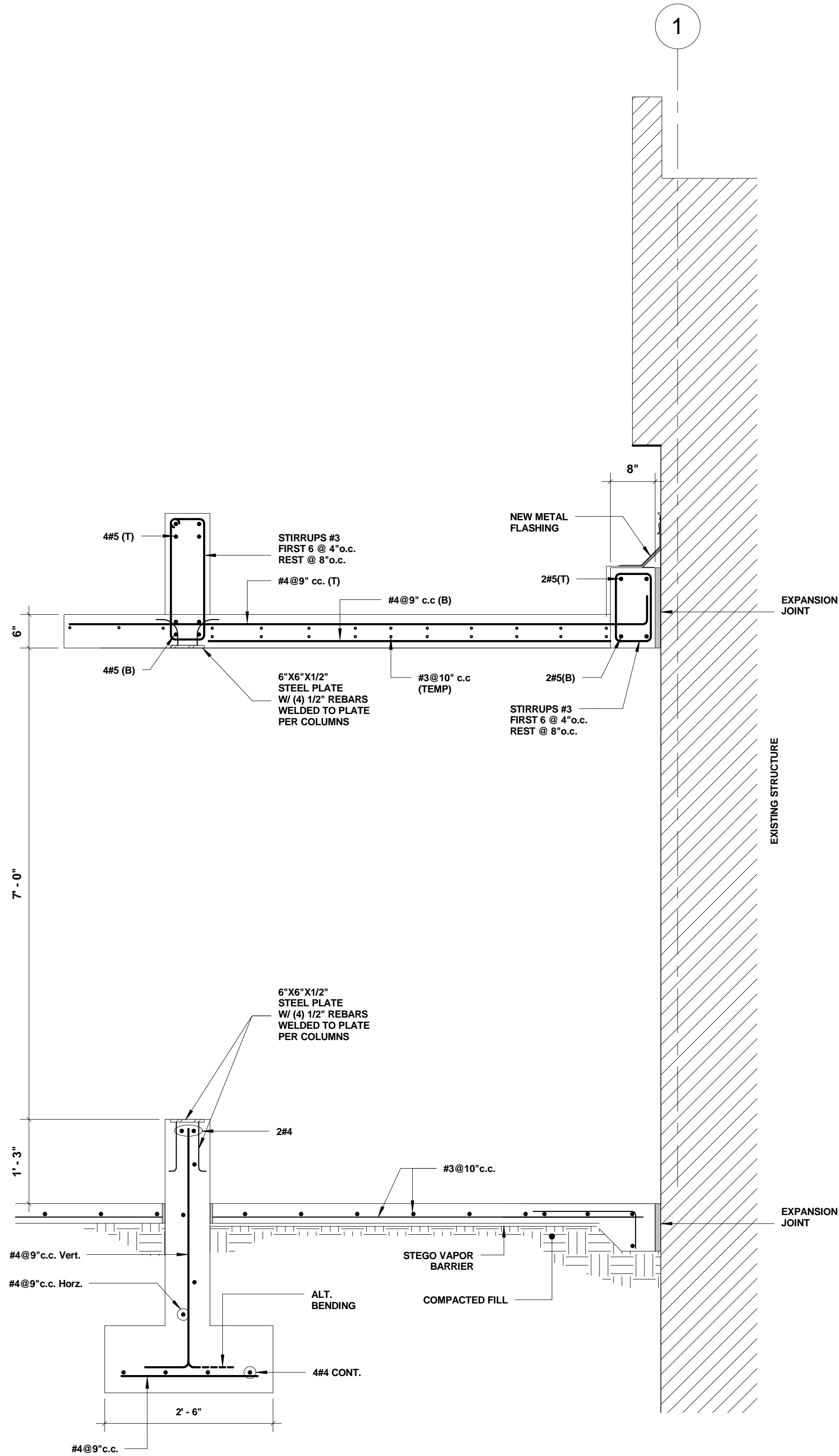
CLIENT  
**MUNICIPIO DE SANTA ISABEL**

PROJECT #  
SCALE: 1/4" = 1'-0"  
DRAWN BY: Author  
**STRUCTURAL ROOF PLAN**

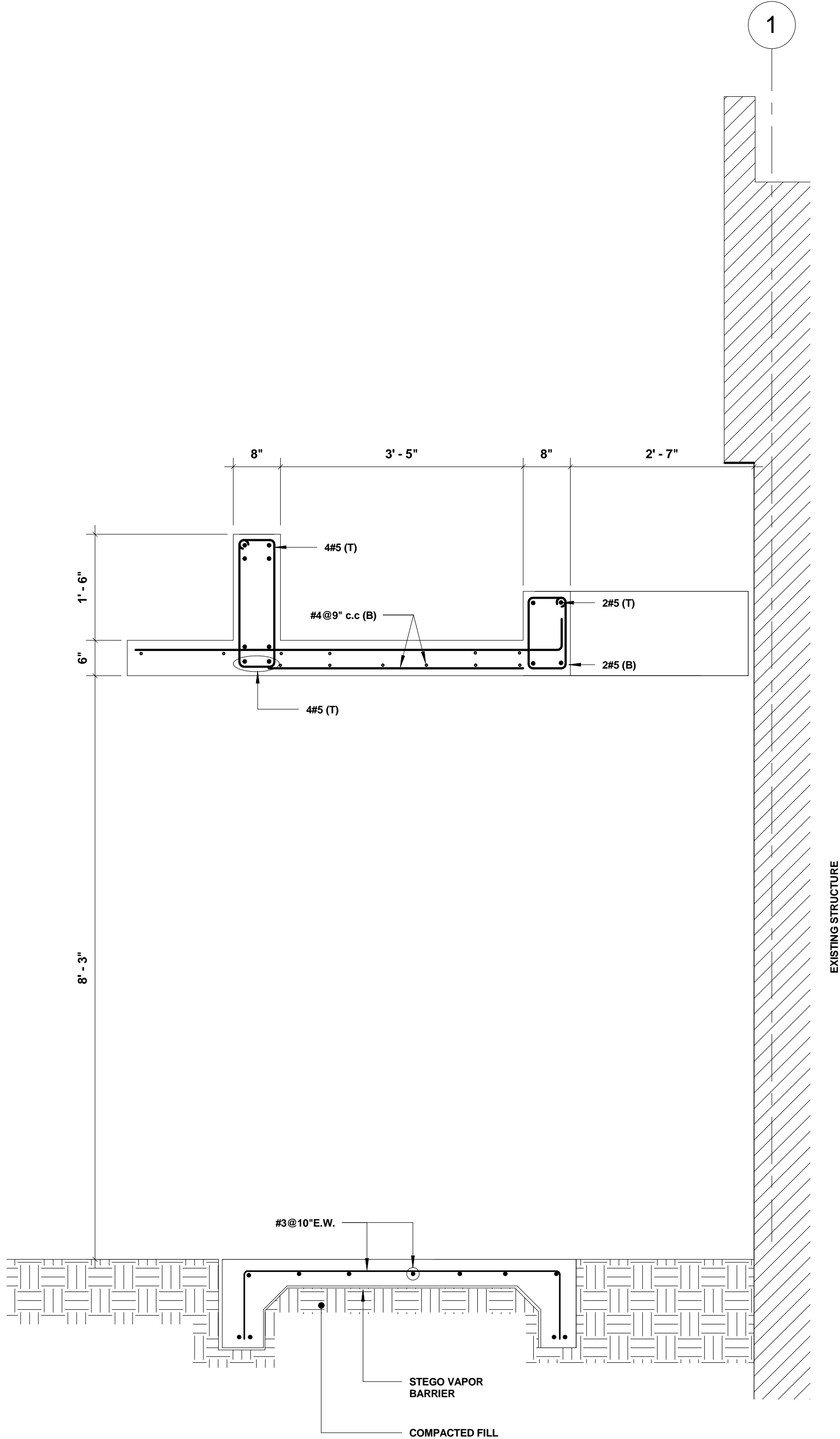
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**ST200**  
SHEET



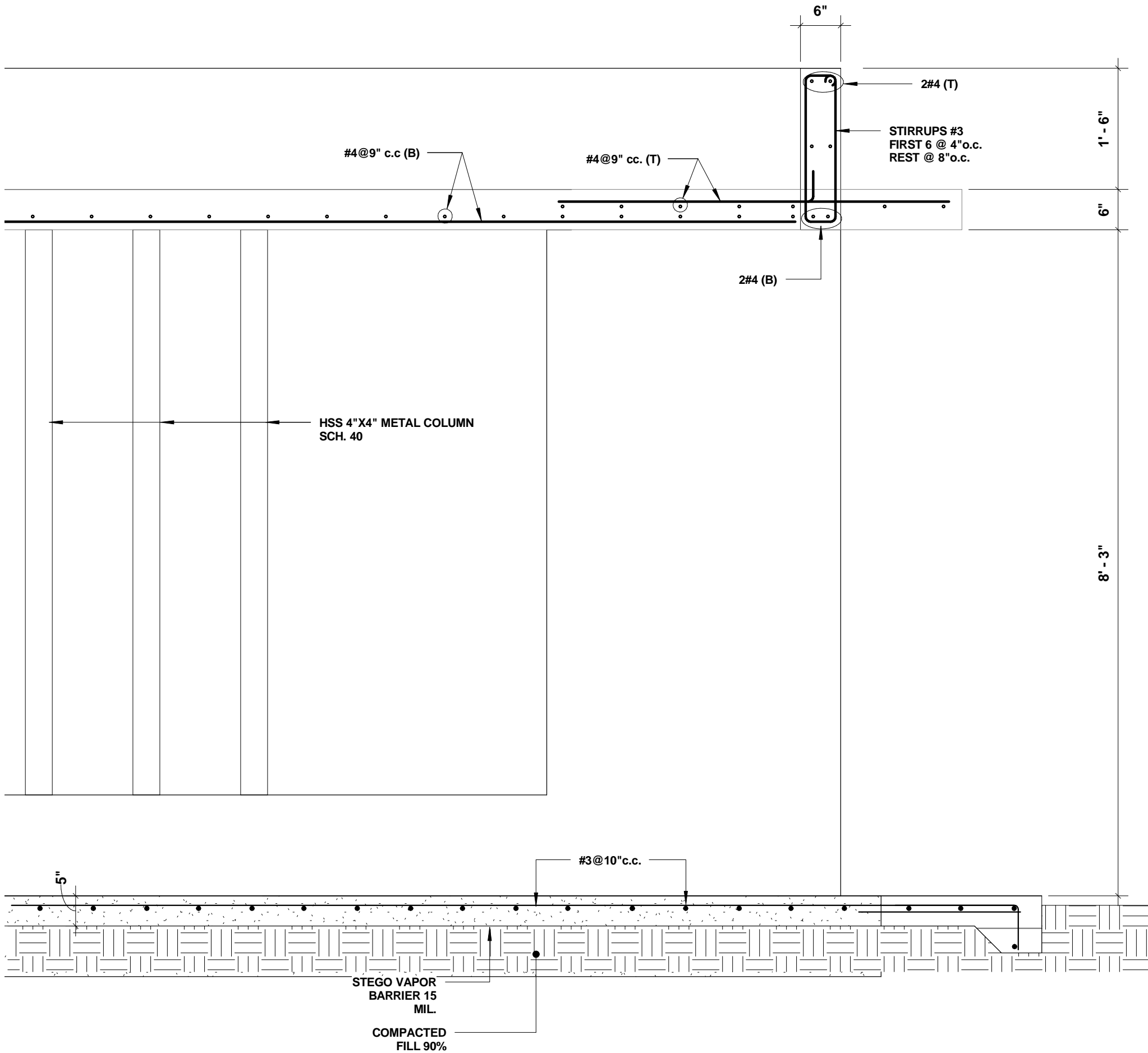




1 STRUCTURAL SECTION C  
3/4" = 1'-0"



2 STRUCTURAL SECTION D  
3/4" = 1'-0"



3 STRUCTURAL SECTION E  
3/4" = 1'-0"



| REVISION | DATE | DESCRIPTION |
|----------|------|-------------|
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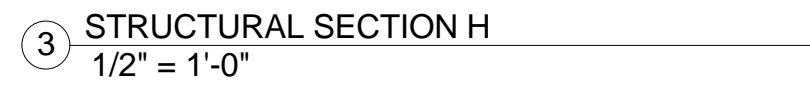
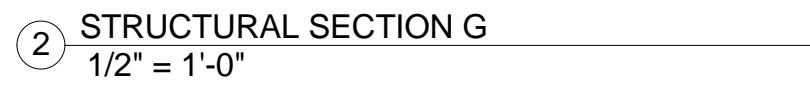
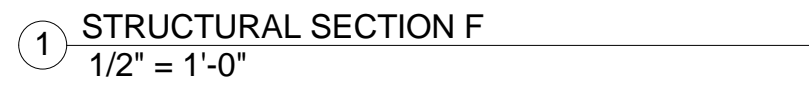
PROJECT  
RENOVATIONS TO PLAZA DEL MERCADO IN  
SANTA ISABEL URBAN CENTER

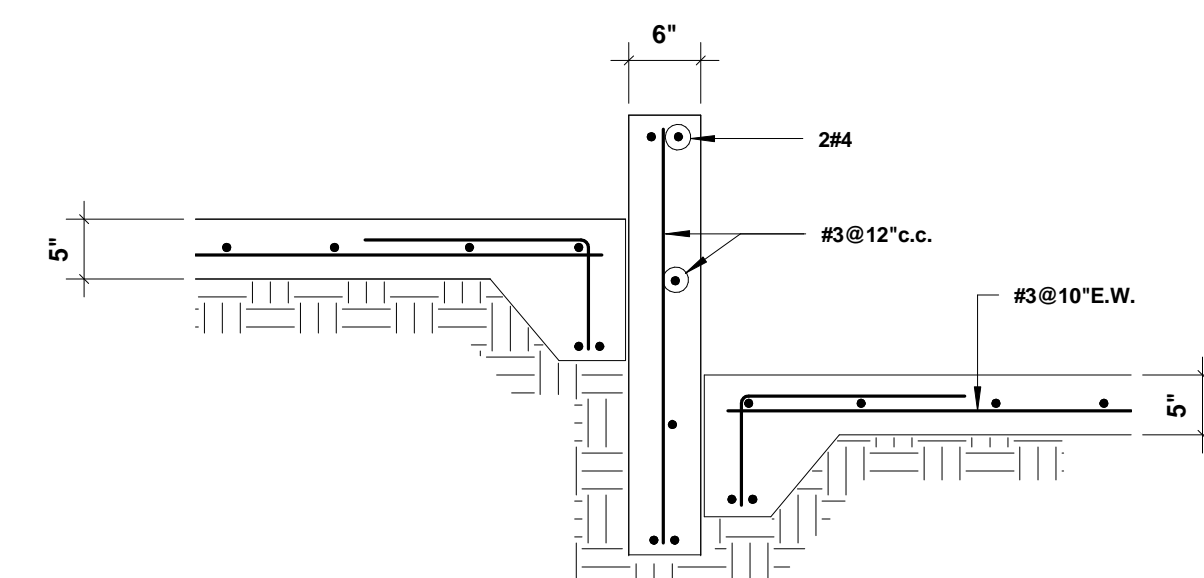
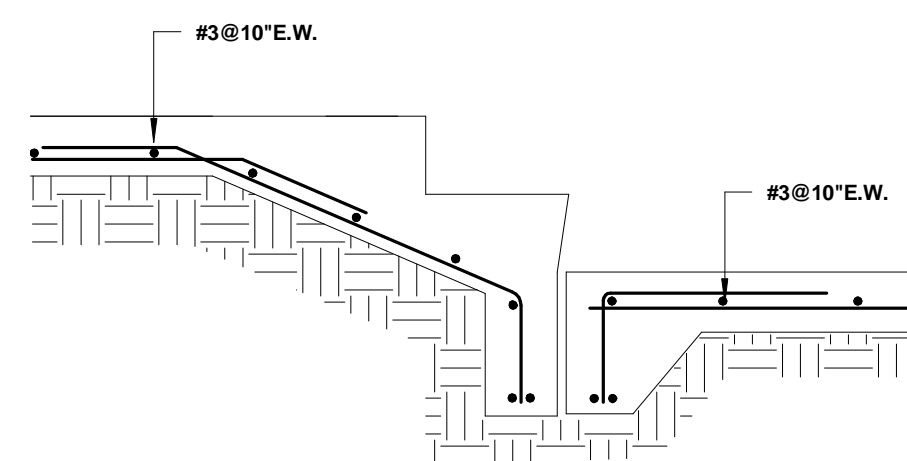
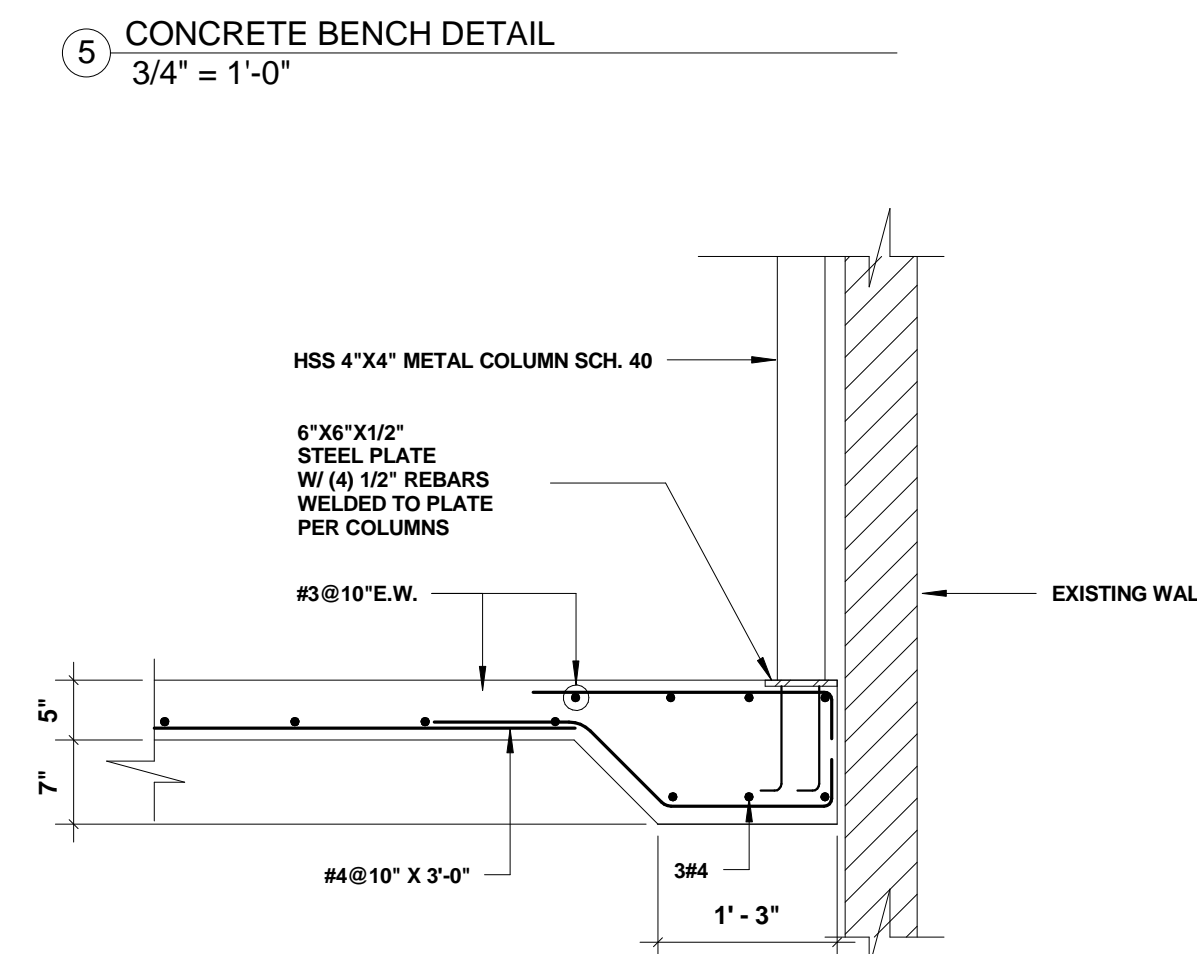
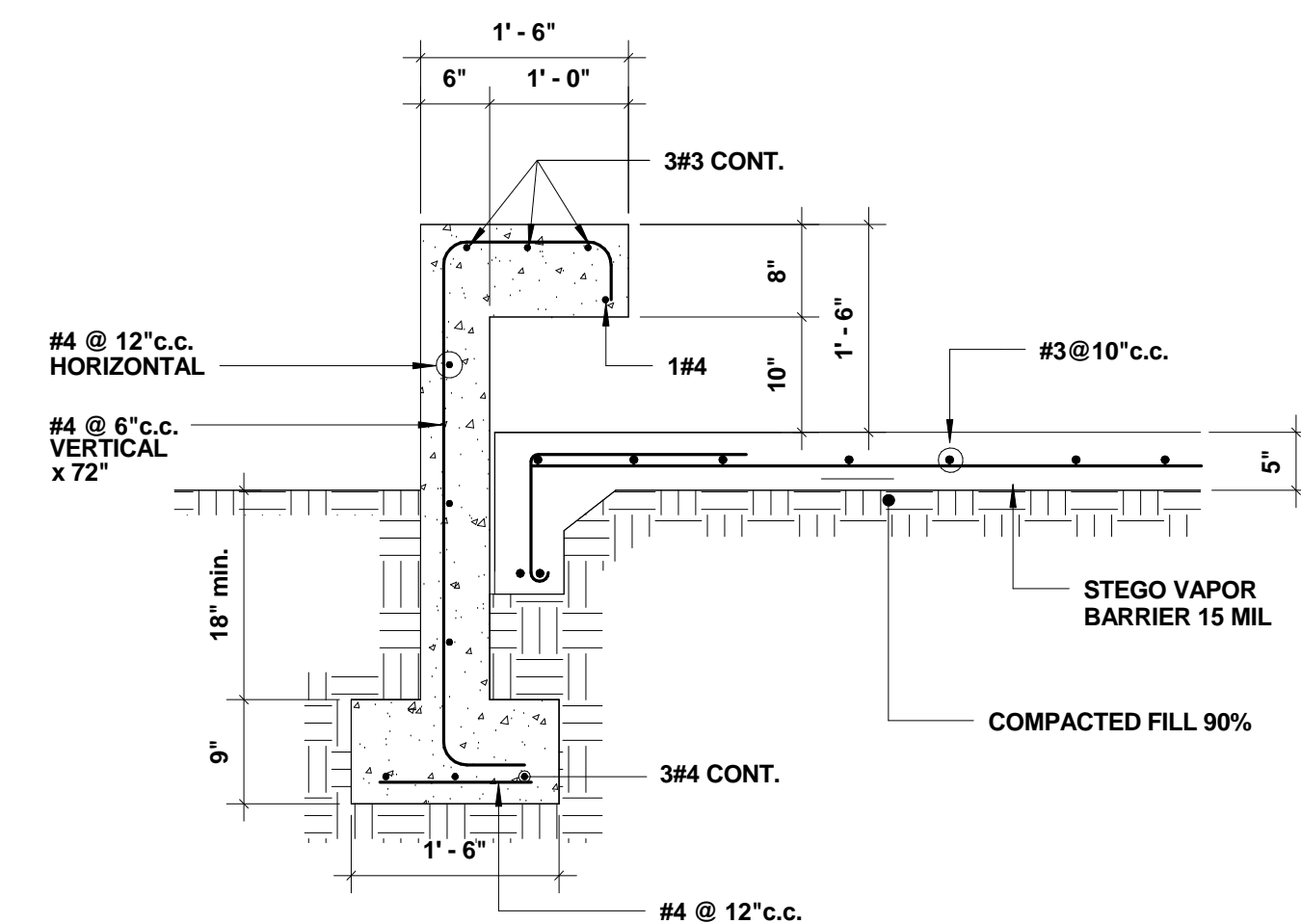
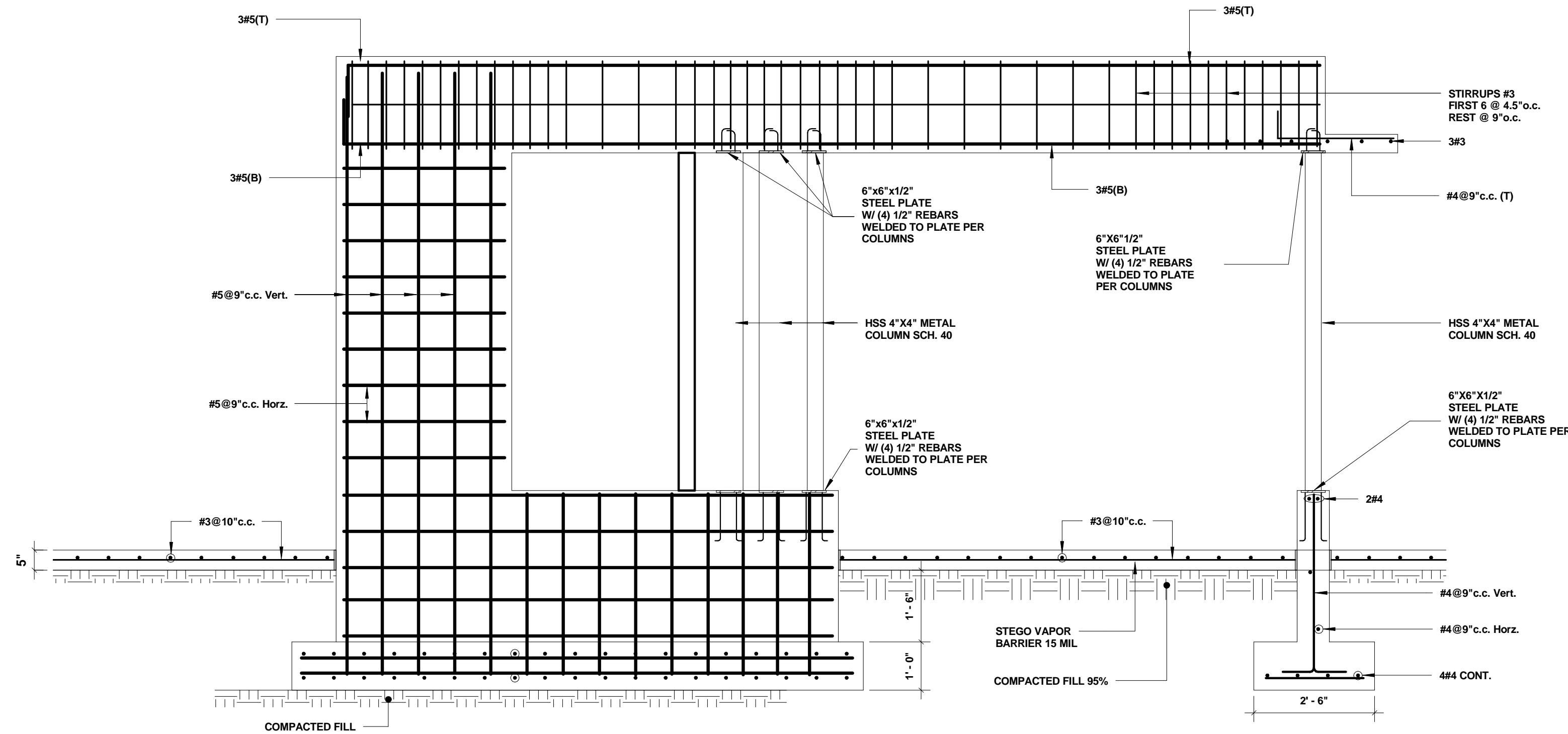
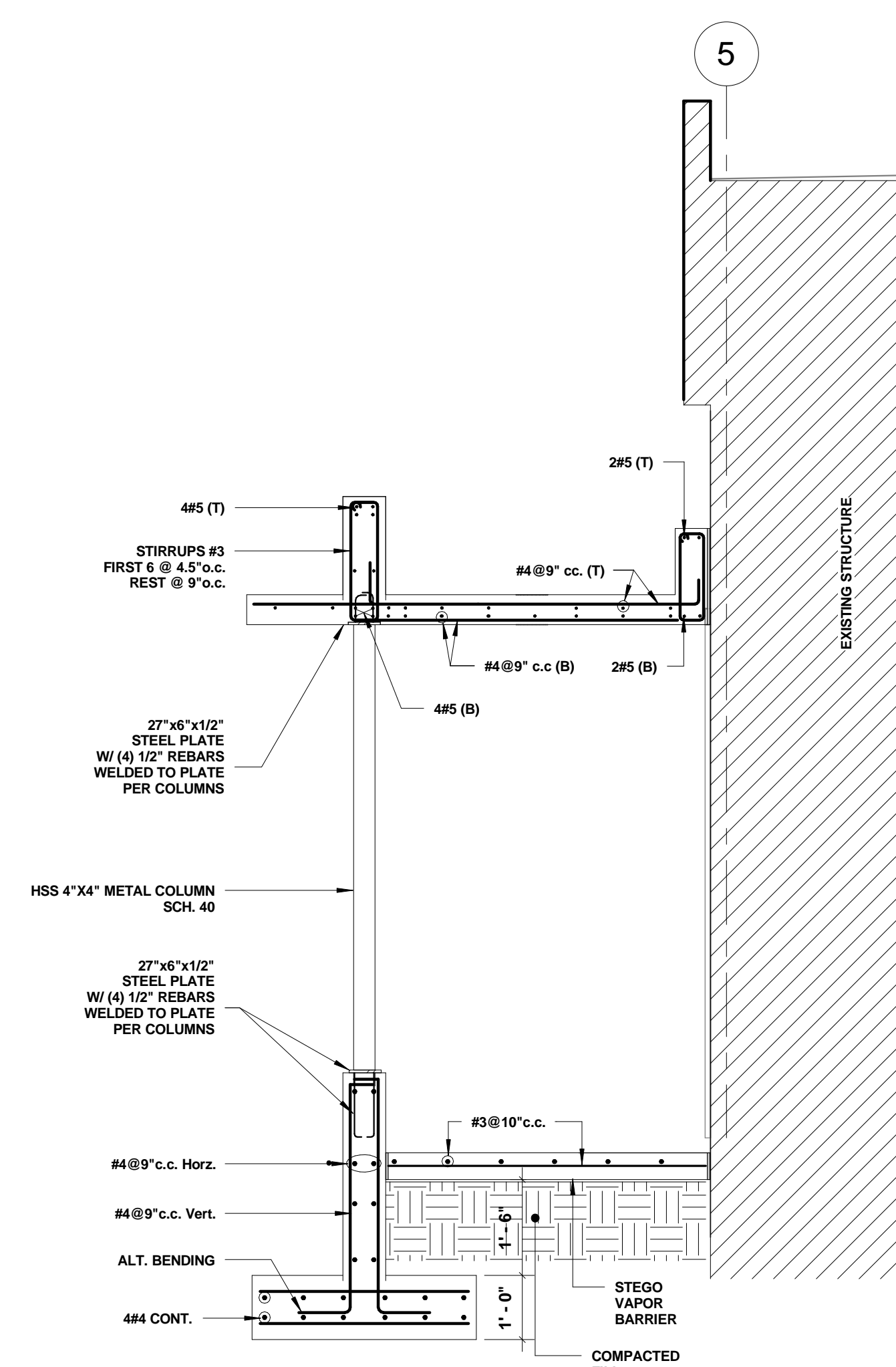
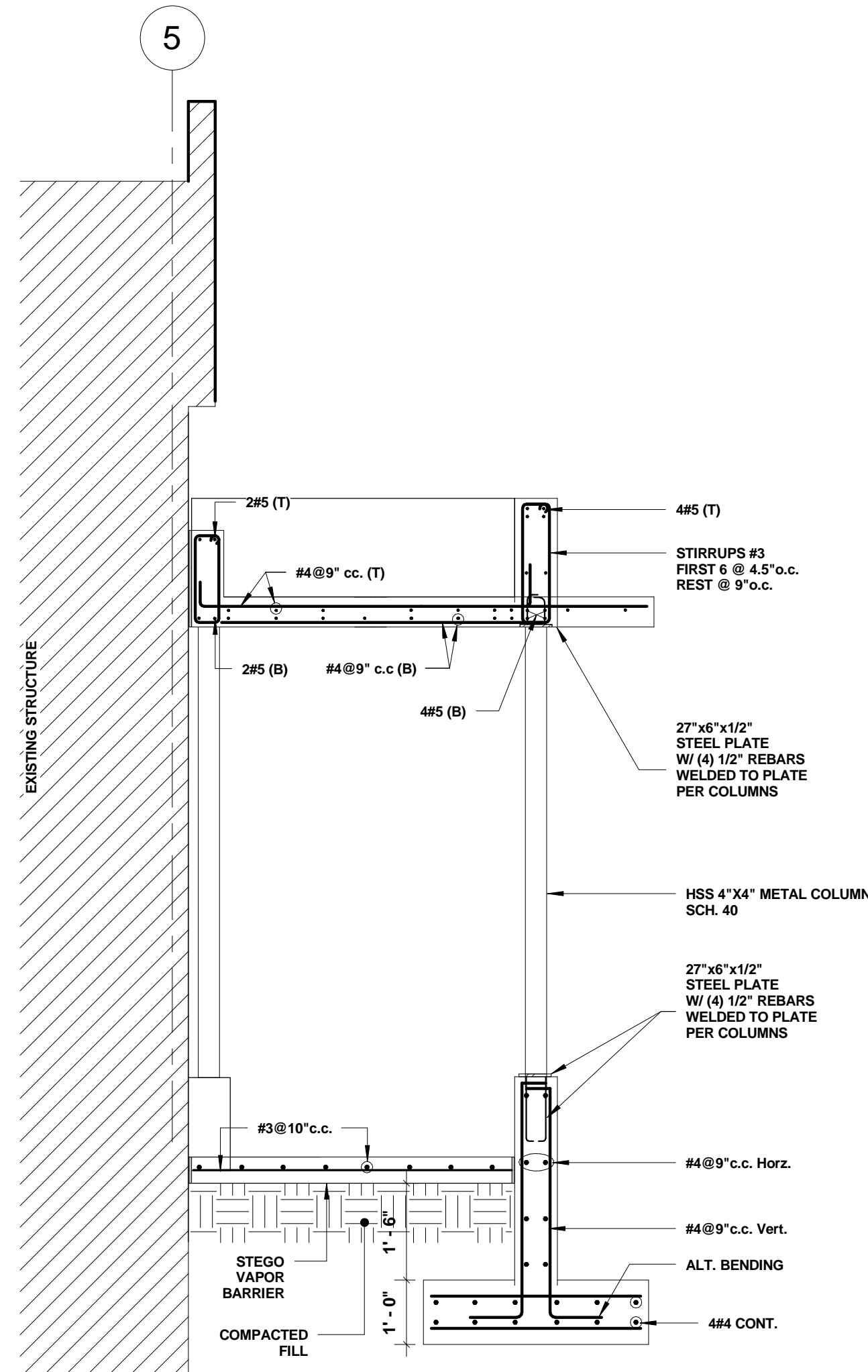
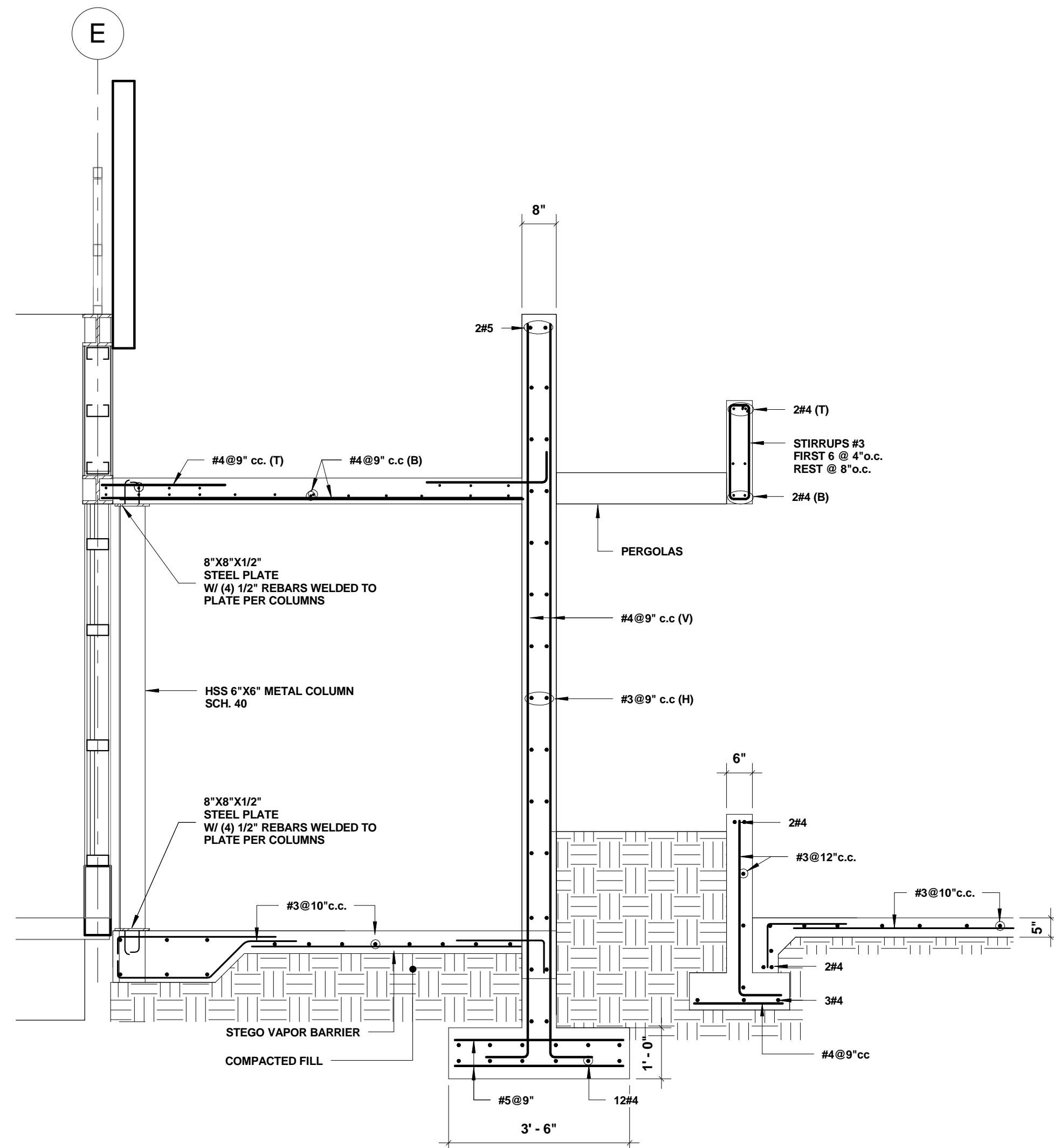
CLIENT  
MUNICIPIO DE SANTA ISABEL

PROJECT #  
SCALE: 3/4" = 1'-0"  
DRAWN BY: Author

STRUCTURAL  
SECTIONS











**CERTIFIED BY:**

NO

MUNICIPIO DE SANTA ISABEL

OWN BY: **ADG ENGINEERING**

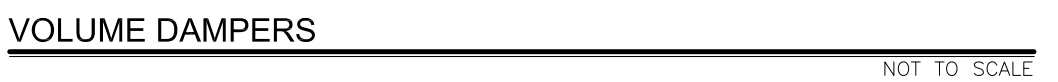
## AIR CONDITIONING FLOOR PLAN

TITLE

# ACV-101

SHEE



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PROJECT

RENOVATIONS TO PLAZA DEL MERCADO IN  
 SANTA ISABEL URBAN CENTER  
 SANTA ISABEL, PUERTO RICO

CLIENT

MUNICIPIO DE SANTA ISABEL



CODES, LAWS AND REGULATIONS

1. WORK TO BE PERFORMED UNDER THIS CONTRACT SHALL BE IN FULL ACCORDANCE WITH THE PUERTO RICO BUILDING CODE (2018 EDITION), MECHANICAL INTERNATIONAL CODE (2018 EDITION), LAWS AND REGULATIONS AND ANY OTHER STANDARD PERTINENT TO SUCH WORK, IN CASE OF ANY CONFLICT HEREIN IN THE METHODS OR STANDARDS OF INSTALLATION OR THE MATERIALS SPECIFIED DO NOT EQUAL OR EXCEED THE SPECIFICATIONS OF THE CODES, LAWS AND REGULATIONS, LOCAL CODES OR LAWS SHALL GOVERN, ANY ITEMS REQUIRED BY THE CODES OR LAWS, BUT NOT SPECIFIED OR SHOWN ON THE DRAWINGS SHALL BE FURNISHED WITHOUT EXTRA CHARGE AS IF SHOWN OR SPECIFIED. THE CODES, LAWS AND REGULATIONS AS USED HEREIN SHALL MEAN ALL LOCAL AND FEDERAL CODES, LAWS, ORDINANCES, STANDARDS, RULES, OR REGULATIONS OF ANY NATURE WHICH ARE IN ANY WAY PERTINENT TO, OR REGULATORY OVER THE WORK COVERED BY THIS SECTION OF THE SPECIFICATIONS.

2. SCOPE

THE WORK UNDER THIS SECTION INCLUDES THE FURNISHING OF ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES NECESSARY FOR PROVIDING, INSTALLING AND PUTTING INTO OPERATION THE VENTILATION AND AIR CONDITIONING SYSTEM AS SHOWN ON DRAWINGS AND SPECIFIED HEREIN.

3. GENERAL

ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE ACCOMPLISHED BY EXPERIENCED PERSONNEL IN ACCORDANCE WITH THE RECOMMENDED PRACTICE OF THE INDUSTRY, FOLLOWING THE APPROVED STATE AND FEDERAL STANDARDS. THE CONTRACTOR SHALL FOLLOW THE INSTRUCTIONS FROM THE EQUIPMENT AND PRODUCTS MANUFACTURER. ALL WORK SHALL BE DONE IN A NEAT AND WORKMANLIKE MANNER AND THE PREMISES SHALL BE LEFT CLEAN AND FREE FROM DEBRIS.

4. GENERAL CONDITIONS

THE GENERAL CONDITIONS OF THE ARCHITECT ARE HEREBY MADE PART OF THESE SPECIFICATIONS AND THE CONTRACTOR SHALL ASSUME ALL OBLIGATION CONTAINED THEREIN WHEN APPLICABLE TO THE WORK. THE WORDS "CONTRACTOR" AND "CONTRACT" "CONTRACTOR" SHALL MEAN THE AIR CONDITIONING AND VENTILATION CONTRACTOR.

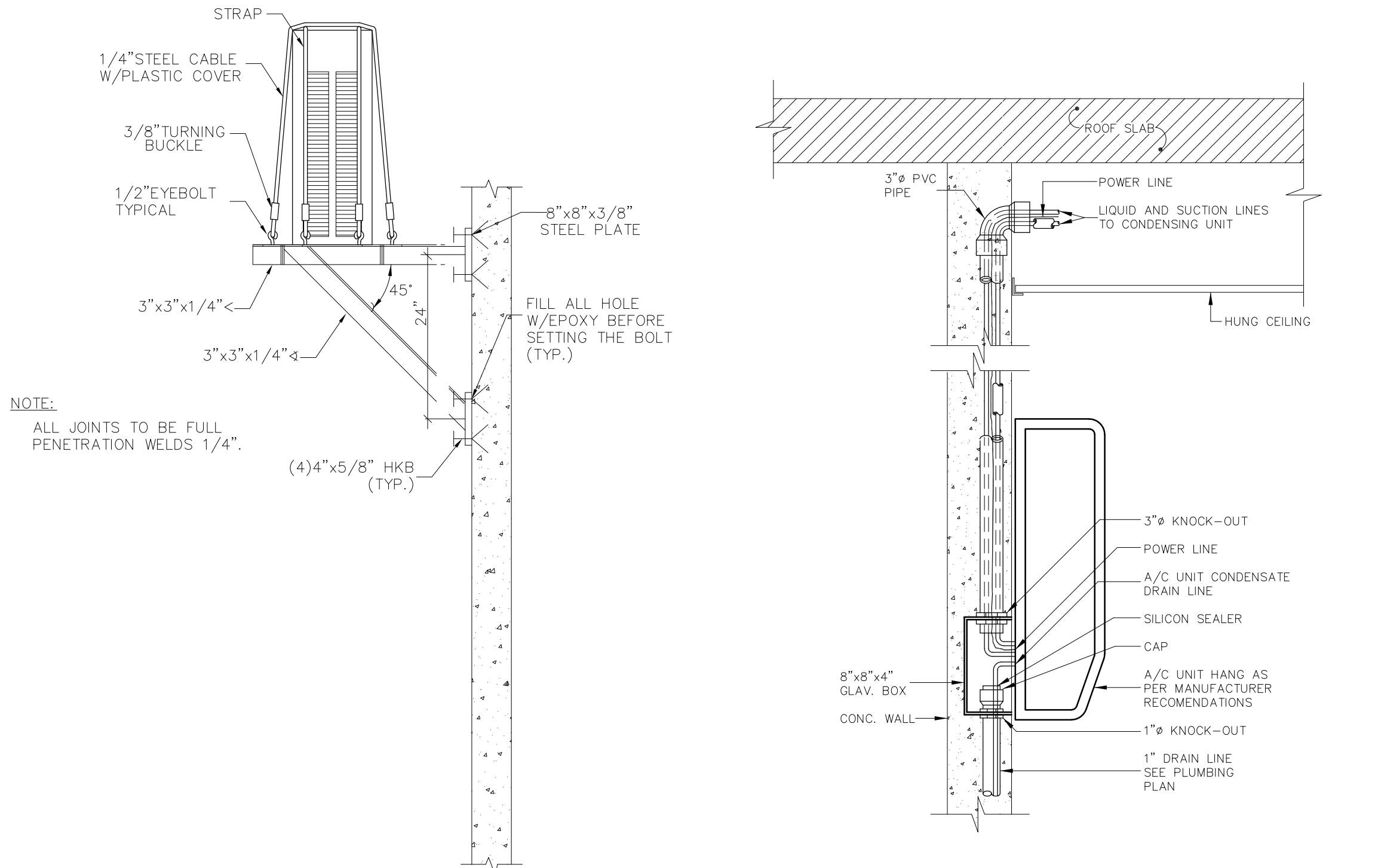
5. PERMITS AND FEES

THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS OR LICENSES TO CARRY OUT THIS WORK, AND HE SHALL PAY ALL LAWFUL FEES, TAXES, ETC., IN CONNECTION WITH THE WORK. HE SHALL ARRANGE FOR ALL TESTS AND INSPECTIONS ON ANY OR ALL PARTS REQUIRED BY THE PERMITS AND ALL ORGANIZATIONS HAVING JURISDICTION AND HE SHALL PAY ALL CHARGES FOR SAME.

6. EXAMINATION OF EXISTING CONDITIONS

| TAG     | SERVICE  | TYPE          | CAPACITY | SUPPLY | O.A. | ESP IN WG | V-PH-C       | POWER | MFG   | INDOOR MODEL       | TAG    | CAPACITY MBH | OUTDOOR MODEL      | V-PH-C            | MCA | MOCP | POWER  | COMMENTS                  |
|---------|----------|---------------|----------|--------|------|-----------|--------------|-------|-------|--------------------|--------|--------------|--------------------|-------------------|-----|------|--------|---------------------------|
| AC-101  | STORE 1  | FLOOR/CEILING | 36.0     | —      | —    | —         | —            | —     | MIDEA | MUE-36HRFN1-M(C)   | CU-101 | 36.0         | MO30UO-36HFN1-M    | 208-230V/1PH/60HZ | 30  | 50   | 2600 W | PROVIDE DISCONNECT SWITCH |
| AC-102  | STORE 2  | HI-WALL       | 24.0     | —      | —    | —         | —            | —     | MIDEA | MSABE-23CRDN1-MPOW | CU-102 | 24.0         | MOCA30-23CFN1-MPOW | 208-230V/1PH/60HZ | 25  | 40   | 2014 W | PROVIDE DISCONNECT SWITCH |
| AC-103  | STORE 3  | HI-WALL       | 24.0     | —      | —    | —         | —            | —     | MIDEA | MSABE-23CRDN1-MPOW | CU-103 | 24.0         | MOCA30-23CFN1-MPOW | 208-230V/1PH/60HZ | 25  | 40   | 2014 W | PROVIDE DISCONNECT SWITCH |
| AC-104  | STORE 4  | FLOOR/CEILING | 36.0     | —      | —    | —         | —            | —     | MIDEA | MUE-36HRFN1-M(C)   | CU-104 | 36.0         | MO30UO-36HFN1-M    | 208-230V/1PH/60HZ | 30  | 50   | 2600 W | PROVIDE DISCONNECT SWITCH |
| AC-105  | STORE 5  | HI-WALL       | 24.0     | —      | —    | —         | —            | —     | MIDEA | MSABE-23CRDN1-MPOW | CU-105 | 24.0         | MOCA30-23CFN1-MPOW | 208-230V/1PH/60HZ | 25  | 40   | 2014 W | PROVIDE DISCONNECT SWITCH |
| AC-106  | STORE 6  | HI-WALL       | 24.0     | —      | —    | —         | —            | —     | MIDEA | MSABE-23CRDN1-MPOW | CU-106 | 24.0         | MOCA30-23CFN1-MPOW | 208-230V/1PH/60HZ | 25  | 40   | 2014 W | PROVIDE DISCONNECT SWITCH |
| AC-107  | STORE 7  | HI-WALL       | 24.0     | —      | —    | —         | —            | —     | MIDEA | MSABE-23CRDN1-MPOW | CU-107 | 24.0         | MOCA30-23CFN1-MPOW | 208-230V/1PH/60HZ | 25  | 40   | 2014 W | PROVIDE DISCONNECT SWITCH |
| AC-108  | STORE 8  | HI-WALL       | 24.0     | —      | —    | —         | —            | —     | MIDEA | MSABE-23CRDN1-MPOW | CU-108 | 24.0         | MOCA30-23CFN1-MPOW | 208-230V/1PH/60HZ | 25  | 40   | 2014 W | PROVIDE DISCONNECT SWITCH |
| AC-109  | STORE 9  | HI-WALL       | 18.0     | —      | —    | —         | —            | —     | MIDEA | MSABE-18CRDN1-MPOW | CU-109 | 18.0         | MOCA30-18CFN1-MPOW | 208-230V/1PH/60HZ | 11  | 20   | 1533 W | PROVIDE DISCONNECT SWITCH |
| AC-110  | STORE 10 | HI-WALL       | 18.0     | —      | —    | —         | —            | —     | MIDEA | MSABE-18CRDN1-MPOW | CU-110 | 18.0         | MOCA30-18CFN1-MPOW | 208-230V/1PH/60HZ | 11  | 20   | 1533 W | PROVIDE DISCONNECT SWITCH |
| AC-111  | STORE 11 | HI-WALL       | 18.0     | —      | —    | —         | —            | —     | MIDEA | MSABE-18CRDN1-MPOW | CU-111 | 18.0         | MOCA30-18CFN1-MPOW | 208-230V/1PH/60HZ | 11  | 20   | 1533 W | PROVIDE DISCONNECT SWITCH |
| AC-112  | STORE 12 | HI-WALL       | 18.0     | —      | —    | —         | —            | —     | MIDEA | MSABE-18CRDN1-MPOW | CU-112 | 18.0         | MOCA30-18CFN1-MPOW | 208-230V/1PH/60HZ | 11  | 20   | 1533 W | PROVIDE DISCONNECT SWITCH |
| AC-113  | STORE 13 | HI-WALL       | 18.0     | —      | —    | —         | —            | —     | MIDEA | MSABE-18CRDN1-MPOW | CU-113 | 18.0         | MOCA30-18CFN1-MPOW | 208-230V/1PH/60HZ | 11  | 20   | 1533 W | PROVIDE DISCONNECT SWITCH |
| AC-114  | STORE 14 | HI-WALL       | 18.0     | —      | —    | —         | —            | —     | MIDEA | MSABE-18CRDN1-MPOW | CU-114 | 18.0         | MOCA30-18CFN1-MPOW | 208-230V/1PH/60HZ | 11  | 20   | 1533 W | PROVIDE DISCONNECT SWITCH |
| AC-115  | STORE 8  | ADM. OFFICE   | 18.0     | —      | —    | —         | —            | —     | MIDEA | MSABE-18CRDN1-MPOW | CU-115 | 18.0         | MOCA30-18CFN1-MPOW | 208-230V/1PH/60HZ | 11  | 20   | 1533 W | PROVIDE DISCONNECT SWITCH |
| AHU-101 | CORRIDOR | BLOWER        | 48.0     | 1400   | —    | —         | 208/230V 1PH | 590 W | MIDEA | MDV-D48V/WT1-A     | CU-201 | 48.0         | MDV-V160W/DV1      | 208-230V/1PH/60HZ | 40  | 50   | —      | PROVIDE DISCONNECT SWITCH |
| AHU-102 | CORRIDOR | BLOWER        | 48.0     | 1400   | —    | —         | 208/230V 1PH | 590 W | MIDEA | MDV-D48V/WT1-A     | CU-202 | 48.0         | MDV-V160W/DV1      | 208-230V/1PH/60HZ | 40  | 50   | —      | PROVIDE DISCONNECT SWITCH |

## REFRIGERANT PIPING INSTALLATION NOTES



## HIGH WALL TYPE MINI-SPLIT FAN COIL INSTALLATION DETAIL

### VERTICAL AIR HANDLING UNIT INSTALLATION DETAIL (AHU-101 & 102)

1. CLEANING

ALL DIRT, RUBBISH, GREASE, OR STAIN DUE TO THE OPERATION OF THE CONTRACTOR SHALL BE REMOVED FROM ALL FLOORS, WALLS, FIXTURES, EQUIPMENT, ETC. BY HIM AND THE PREMISES LEFT IN PERFECT CONDITION AS FAR AS HIS WORK IS CONCERNED. UNLESS OTHERWISE SPECIFIED, ALL MATERIALS AND EQUIPMENT TO BE FURNISHED BY THE CONTRACTOR SHALL SET AND CONNECTED, READY FOR OPERATION, AND SUCH EQUIPMENT SHALL BE KEPT CLEANED, LEAVING THE BUILDING READY FOR OCCUPANCY. ANY EQUIPMENT THAT CANNOT BE RESTORED TO ITS ORIGINAL APPEARANCE BY CLEANING, SHALL BE PAINTED AT THE EXPENSE OF THE CONTRACTOR.

14. ELECTRICAL WIRING AND MOTORS

A. CONTROL WIRING AND CONDUIT SHALL BE INCLUDED AS A PART OF THIS CONTRACT EXCEPT THAT WHICH IS PART OF THE INTERNAL WIRING OF THE MOTOR CONTROL CENTERS.

B. THE ELECTRICAL CONTRACTOR SHALL TERMINATE HIS WORK AT THE POINT INDICATED ON THE PLANS OF ALL MECHANICAL EQUIPMENT TO ONLY THOSE ITEMS INDICATED ON THE ELECTRICAL DRAWINGS, THE AIR CONDITIONING CONTRACTOR SHALL SUPPLY AND INSTALL THOSE PARTS OF THE ELECTRICAL WIRING INDICATED IN THE AIR CONDITIONING PLANS AND SPECIFICATIONS.

C. THE AIR CONDITIONING CONTRACTOR SHALL BE VERIFY THE MECHANICAL EQUIPMENT ELECTRICAL VOLTAGE AVAILABLE PRIOR TO ORDER THE EQUIPMENT.

D. THE AIR CONDITIONING CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL CONNECTION OF ALL MECHANICAL EQUIPMENT TO THE POWER SOURCE SUPPLIED BY THE ELECTRICAL CONTRACTOR. THE ELECTRICAL CONTRACTOR SHALL BRING POWER WIRING ORIGINATING AT A DISCONNECT SWITCHES OR JUNCTION BOXES SHOWN ON THE ELECTRICAL DRAWINGS AND RUNNING TO THE EQUIPMENT.

E. THE AIR CONDITIONING CONTRACTOR CAN REQUEST FROM THE ELECTRICAL CONTRACTOR THE CONNECTION OF THE EQUIPMENT AND CONTROL WIRING AND CONDUIT AND SHALL SUPERVISE THEM. THE START UP OF ANY MECHANICAL EQUIPMENT SHALL BE RESPONSIBILITY OF THE AIR CONDITIONING CONTRACTOR AND SHALL ALWAYS BE DONE BY HIM.

15. FILTERS

A. ALL AIR FILTERS SHALL HAVE A UL 900 RATING OF CLASS 2, TESTED AS PER ISO 16890 AND COMPLY WITH THE ASHRAE 52.2-2017 TESTING METHODS.

B. DO NOT OPERATE ANY AIR HANDLING SYSTEM WITHOUT FILTERS IN PLACE DURING THE CONSTRUCTION PERIOD, ON SYSTEM WITH HI-EFFICIENCY FILTERS, PRE-FILTERS DURING CONSTRUCTION.

C. REMOVE ALL FILTERS USED DURING THE CONSTRUCTION PERIOD AND REPLACE WITH NEW FILTERS PRIOR TO FINAL ACCEPTANCE BY THE OWNER.

1. ALL PIPING SHALL BE TYPE ACR, CROWDER FLOW DRAIN ASTM B 280. USE SILVER TO SOLDERING JOINTS AND COPPER OF DRY NITROGEN THROUGH THE PIPING SYSTEM TO PREVENT OXIDATION FORMATION OF COPPER OXIDE. ALL ELBOWS SHALL BE LONG RADIUS TYPE.
2. FOR UNDERGROUND INSTALLATION, THE REFRIGERANT LINES SHALL RUN INSIDE OF A PVC PIPE WITH THE PROPER DRAINAGE. SEALED BOTH ENDS AND PREVENT ANY CONTACT WITH THE GROUND OR EACH RISER.
3. UNIT MANUFACTURER WILL SUPPLY THERMOSTATIC EXPANSION VALVE AND THE LIQUID LINE SOLENOID VALVE FOR FIELD INSTALLATION.
4. AIR CONDITIONING CONTRACTOR SHALL SUPPLY AND INSTALL THE SIGHTGLASS / MOISTURE INDICATORS AND FILTER DRYERS OF LINE WITH SOLDERED CONNECTIONS.
5. PROVIDE A CONDENSATE DRAIN FROM EACH ROOF EACH RISER.
6. SUCTION REFRIGERANT LINE SHALL BE INSULATED WITH 3/4" CLOSED CELL FLEXIBLE FOAM INSULATION, EQUAL TO K-FLEX OR ARMAFLEX. FOR OUTDOOR LINES, SHALL BE COVERED WITH 16 GAUGE ALUMINUM JACKET.
7. ALL REF. LINES SHALL RUN OVER UN-STRUCTURED ELEMENTS (EVERY 4'-0") TO PREVENT ANY CONTACT WITH THE ROOF OR EACH RISER.
8. PROVIDE PIPS PIPE TO ENCLOSE THE REF. LINES WHEN PASS THRU A WALL OR FLOOR TO AVOID DIRECT CONTACT.
9. THE REFRIGERATION LINES INSTALLATION SHALL COMPLY WITH ALL FEDERAL AND STATE REGULATIONS.
10. ALL OUTDOOR CONTROL WIRING SHALL BE RUN IN A PVC PIPE.
11. ALL CONDENSING UNITS SHALL BE ANCHORED TO AVOID THE BENDING CAUSED BY WIND SPEED. IN COMPLIANCE OF THE INTERNATIONAL MECHANICAL CODE - 2018 EDITION.
12. ALL CONDENSING UNITS SHALL BE HANGED SEISMICALLY FROM THE ROOF SLAB OR STEEL JOISTS. IN COMPLIANCE OF INTERNATIONAL MECHANICAL CODE - 2018 EDITION.
13. FOR VRF SYSTEMS, THE CONTRACTOR SHALL FOLLOW AND COMPLY WITH ALL MANUFACTURER INSTALLATION INSTRUCTIONS AND SHALL BE DONE BY CERTIFIED INSTALLERS. PROVIDE THE SYSTEM'S PERFORMANCE ANALYSIS PRIOR TO ORDER THE EQUIPMENT AND THE SUPPLIER EQUIPMENT START-UP REPORT AT THE END OF THE PROJECT. PROVIDE THE SUPPLIER EQUIPMENT START-UP REPORT TO THE OWNER.
14. FOR VRF SYSTEMS, PROVIDE SHUT-OFF VALVES TO EACH EVAPORATOR UNIT.
15. VRF SYSTEMS FOR NON-RESIDENTIAL PROJECTS, PROVIDE A TOGGLE SWITCH TO EACH EVAPORATOR UNIT TO SHUT-OFF FOR SERVICE.

ALL EQUIPMENT MOUNTED ON THE ROOF OR EXPOSED TO THE EXTERIOR SHALL BE WIND BRACED AGAINST OVERTURNING FROM WINDS OF 170 MPH AND AS PER THE INTERNATIONAL BUILDING CODE - 2018 EDITION AND THE INTERNATIONAL MECHANICAL CODE - 2018 EDITION.

ALL DUCTWORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE HVAC DUCT CONSTRUCTION STANDARDS – METAL AND FLEXIBLE 1995 EDITION, AS PUBLISHED BY THE SHEET METAL AND AIR CONDITIONING CONTRACTORS' NATIONAL ASSOCIATION – SMACNA, THE INTERNATIONAL BUILDING CODE – 2018 EDITION AND THE INTERNATIONAL MECHANICAL CODE – 2018 EDITION.

ALL AIR CASING AND PLENUM SHALL BE CONSTRUCTED OF NO. 16 GAUGE GALVANIZED IRON, BRACED AND STIFFED ON OUTSIDE BY MEANS OF 2"x2"x1/4" GALVANIZED STEEL ANGLES, OR WITH 16 GAUGE STANDING SEAM PANEL, NOT TO EXCEED 26" IN WIDTH. STANDING SEAMS ARE TO HAVE ADDITIONAL RIGHT ANGLE BEND AND SHALL BE CAPPED WITH NO. 18 GAUGE GALVANIZED "U" CAP OVER ENTIRE LENGTH OF SEAM. ALL JOINTS SHALL BE CAULKED TO MAKE THEM AIR TIGHT. THE BOTTOM OF ALL AIR CHAMBERS AT THE FLOOR SHALL BE GASKETED TO PREVENT AIR LEAKAGE.

12" HIGH BASE

### VERTICAL AIR HANDLING UNIT INSTALLATION DETAIL (AHU-101 & 102)

| REVISION / DATE | DESCRIPTION |
|-----------------|-------------|
|                 |             |
|                 |             |
|                 |             |
|                 |             |
|                 |             |
|                 |             |

JECT  
RENOVATIONS TO PLAZA DEL MERCADO IN  
SANTA ISABEL URBAN CENTER  
SANTA ISABEL, PUERTO RICO

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NT  
MUNICIPIO DE SANTA ISABEL

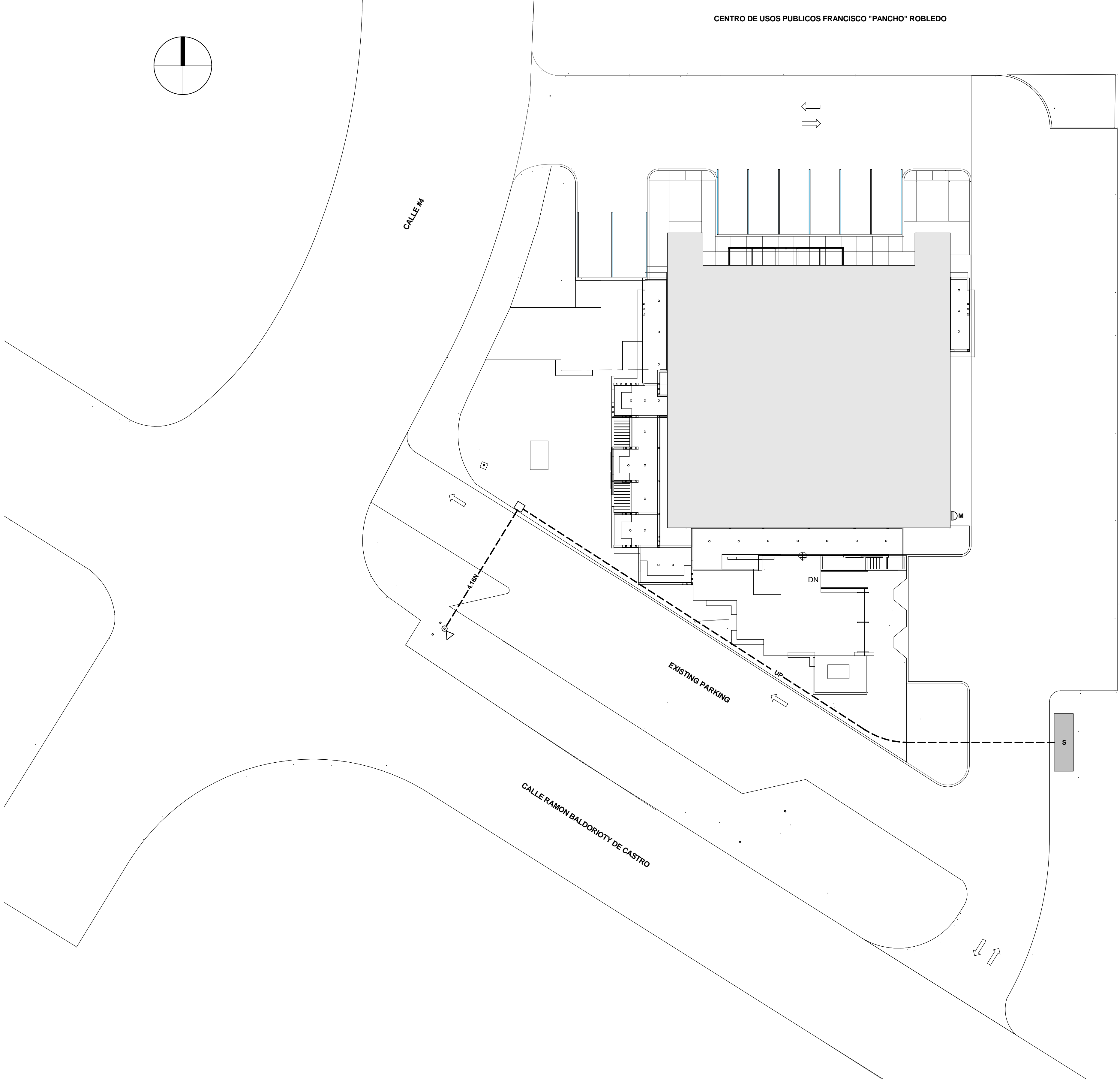
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DRAWN BY: ADG ENGINEERING

AIR CONDITIONING  
NOTES, SCHEDULE  
DETAILS

III

ACV-301



1 ELECTRICAL SITE PLAN  
1/16" = 1'-0"

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ARCHITECT:

CONSULTANT:

CERTIFIED BY:

REVISION / DATE / DESCRIPTION

PROJECT  
RENOVATIONS TO PLAZA DEL MERCADO IN  
SANTA ISABEL URBAN CENTER  
SANTA ISABEL, PUERTO RICO

CLIENT  
MUNICIPIO DE SANTA ISABEL

PROJECT #:

SCALE: 1/16" = 1'-0"

DRAWN BY: Author

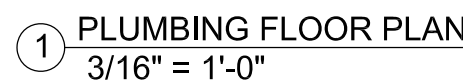
ELECTRICAL SITE PLAN

TITLE

SE100

SHEET





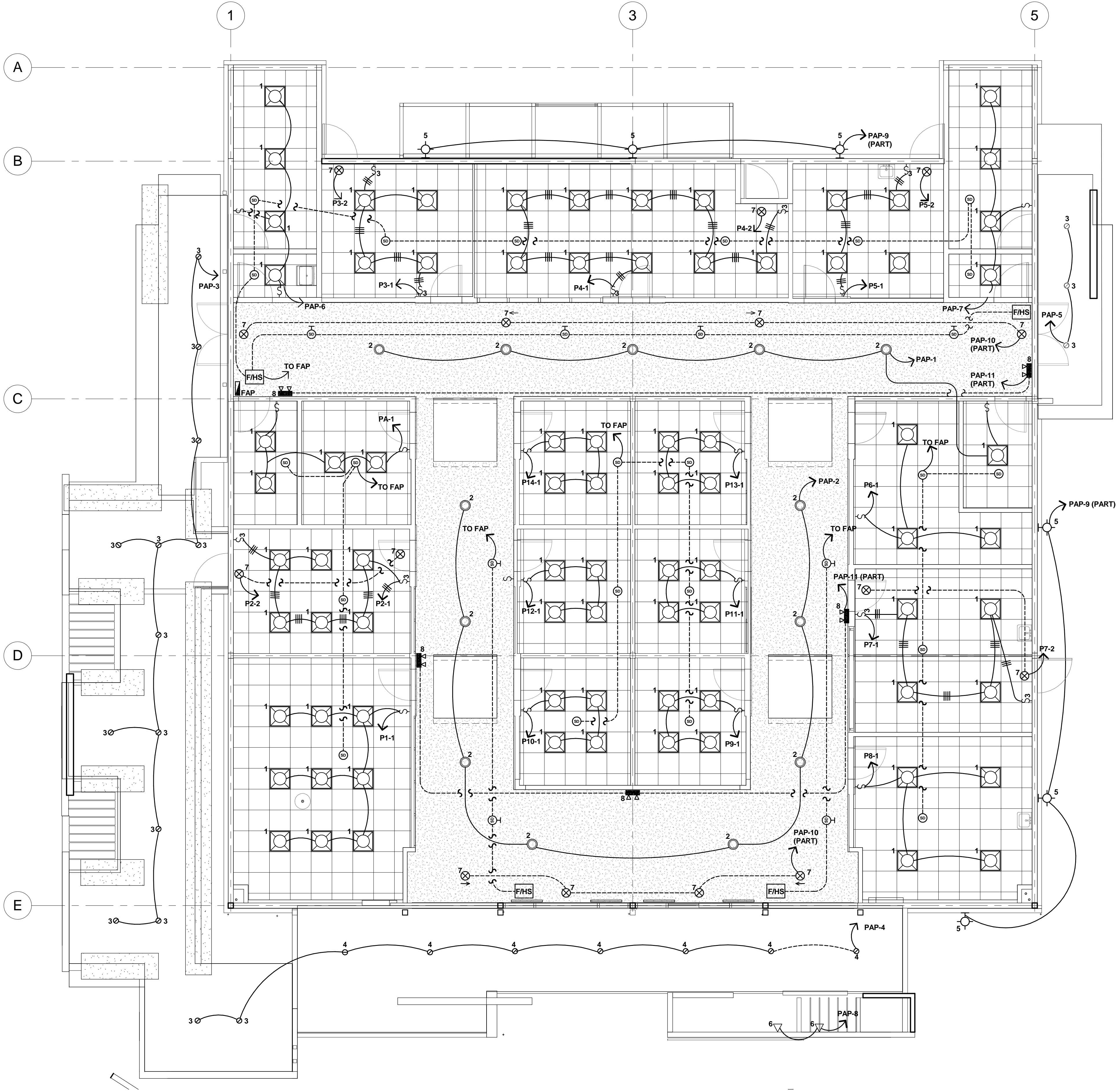
1. ALL PLUMBING WORK SHALL BE IN STRICT ACCORDANCE WITH THE DEPARTMENT OF HEALTH OF P.R., THE LOCAL BUILDING CODE, THE INTERNATIONAL PLUMBING CODE (2018 EDITION) AND THE SPECIFICATIONS ISSUED FOR THIS PROJECT.
2. SIZES SHOWN IN FIXTURE SCHEDULE ARE MINIMUM AND SHALL BE INCREASED AS NECESSARY, TO COMPLY WITH CODES REQUIREMENTS OR AS SHOWN ON THESE DRAWINGS.
3. ALL HORIZONTAL PORTIONS OF SOIL WASTE STACKS & BRANCHES SHALL SLOPE 1/8" PER FEET, EXCEPT FOR SIZES 3" & SMALLER THAT SHALL BE 1/4" PER FEET.
4. CLEANOUTS SHALL BE OF THE SAME NOMINAL SIZE AS THE PIPE DIAMETER UP TO 4".
5. THE CONTRACTOR SHALL FURNISH AND SET IN PLACE BEFORE CONCRETE POURING ALL NECESSARY SLEEVES FOR WASTE OR SOIL, COLD OR HOT WATER LINES. THESE SLEEVES SHALL BE AS PER THE SPECIFICATIONS.
6. THE PLUMBING CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF THE PIPING TO AVOID ANY INTERFERENCE WITH PIPING AND/OR EQUIPMENT BEING INSTALLED BY OTHER CONTRACTORS.
7. FOR FIXTURES AND/OR EQUIPMENT NOT LISTED IN THE SCHEDULE, SEE THE SPECIFICATIONS.
8. ALL ABOVE GROUND WATER PIPING SHALL BE TYPE "L" HARD DRAWN COPPER, SOLDER JOINTS.
9. CLEANOUTS SHALL BE PLACED AS SHOWN ON DRAWINGS.
10. ALL DRAINS TO BE CAST IRON UNDER AND ABOVE FLOOR SLABS AND VENTILATION LINES AT WALLS.
11. THE CONTRACTOR SHALL VERIFY IN FIELD ALL INVERT ELEVATIONS AND SHALL MAKE ANY NECESSARY ADJUSTMENT AS REQUIRED BY FIELD CONDITIONS AND AS REQUIRED, TO OBTAIN THE PROPER SLOPES.
12. IT IS THE INTENTION OF THE DRAWINGS TO CALL FOR FINISHED WORK, COMPLETE, TESTED AND READY FOR OPERATION. MINOR DETAILS NOT SHOWN OR SPECIFIED, BUT NECESSARY FOR THE PROPER INSTALLATION AND FOR FUNCTIONING AND OPERATION OF THE SYSTEM SHALL FORM PART OF THE WORK TO BE DONE BY THE CONTRACTOR.
13. BIDDERS SHALL VISIT THE BUILDING AND ACQUAINT THEMSELVES WITH THE CONDITIONS AS THEY ACTUALLY EXIST AND VERIFY DIMENSIONS, LOCATIONS AND DETAILS REQUIRED TO COMPLETE THE WORK, WHICH WILL BE THE ONLY OPPORTUNITY FOR POTENTIAL CONTRACTOR TO SEE THE SITE. FAILURE TO VISIT THE PROJECT AREA WILL IN NO WAY RELIEVE THE SUCCESSFUL BIDDER OF FURNISHING ALL MATERIAL AND PERFORMING ALL WORK REQUIRED FOR THE COMPLETION OF THE CONTRACT. VISITS TO THE PROJECT AREA SHALL BE ARRANGED THROUGH THE CONTRACTING OFFICER.
14. CONTRACTOR SHALL DISPOSE OF THE REMOVED ITEMS SELECTED BY OWNER FOR DISPOSAL, AND SHALL STORE THE ITEMS SELECTED FOR SALVAGE IN THE PLACE INDICATED BY OWNER. DISPOSAL SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT LAWS AND REGULATIONS.
15. THE CONTRACTOR SHALL USE MATERIALS FOR CUTTING AND PATCHING THAT ARE IDENTICAL TO EXISTING MATERIALS. BEFORE CUTTING, EXAMINE THE SURFACES TO BE CUT AND PATCHED AND THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. IF UNSAFE OR OTHERWISE UNSATISFACTORY CONDITIONS ARE ENCOUNTERED, TAKE CORRECTIVE ACTION BEFORE PROCEEDING WITH THE WORK. CUT THE WORK USING SMALL POWER TOOLS DESIGNED FOR SAWING OR GRINDING, NOT HAMMERING AND CHOPPING. CUT THROUGH CONCRETE USING CUTTING MACHINE SUCH AS CARBOURUNDUM SAW OR CORE DRILL TO INSURE NEAT HOLE. RESTORE EXPOSED FINISHED OF PATCHED AREAS AND, WHERE NECESSARY, EXTEND FINISH RESTORATION INTO RETAINED ADJOINING AND FINISHING. WHERE PATCHED OCCURS IN A SMOOTH PAINT SURFACES, EXTEND FINAL PAINT COAT OVER ENTIRE UNBROKEN SURFACE CONTAINING PATCH, AFTER PATCHED ARE HAS RECEIVED PRIME AND BASE COAT.
16. CONTRACTOR SHALL CONSULT THE OWNER AS TO WORKING SPACE AND AREA FOR THE LOCATION OF STORING SHACK OR TRAILER. STORAGE SPACE IN LIMITED AND POSSIBLE NONE EXISTANT. CONTRACTOR SHALL PROVIDE A TRAILER OR CONSTRUCT A STORAGE SHACK FOR SAFE KEEPING OF HIS MATERIAL AND TOOLS.
17. THE CONTRACTOR SHALL, WITHOUT EXTRA CHARGE, MAKE REASONABLE MODIFICATIONS IN THE LAYOUT, AS NEEDED, TO PREVENT CONFLICT WITH WORK OF OTHER TRADES OR FOR PROPER EXECUTION OF THE WORK.
18. ALL EQUIPMENT AND MATERIAL SHALL BE INSTALLED WITH THE APPROVAL OF THE OWNER IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE MANUFACTURER.
19. CONTRACTOR SHALL LOCATE IN FULLY ACCESSIBLE POSITIONS ALL EQUIPMENT WHICH MUST BE SERVICED, OPERATED, OR MAINTAINED.
20. WITH RESPECT TO THE EQUIPMENT AND PIPING, THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AT THE SITE AND SHALL VERIFY ALL MEASUREMENTS. NO ALLOWANCES SHALL BE GRANTED BECAUSE OF DIFFERENCES BETWEEN ACTUAL DIMENSIONS AND THOSE INDICATED ON DRAWINGS. THE MECHANICAL WORK SHALL BE COORDINATED WITH THE WORK OF OTHER TRADES.
21. CONTRACTOR SHALL VERIFY ON FIELD THE EXISTING COLD WATER AND SANITARY FACILITIES PRIOR TO START THE WORK.
22. CONTRACTOR SHALL INSTALL A GATE VALVE IN EACH COLD WATER LINE BEFORE ENTER TO THE BUILDING TO ISOLATE THE THAT AREA FROM THE OTHERS.



APRIL 2023







PANEL:

PA

LOCATION:

ADMINISTRATION OFFICE

MOUNTING:

RECESSED

NEMA TYPE:

NEMA 1

VOLTAGE:

208Y/120V

AMPS:

70

MOUNTING:

1", 3W

NEMA TYPE:

COPPER

GROUND BUS BAR:

YES

K.A.I.C.:

22

REMARKS:

MAIN LUGS

| LOAD DESCRIPTION | FRAME | TRIP | CKT. NO. | CKT. NO. | TRIP | FRAME | LOAD DESCRIPTION |
|------------------|-------|------|----------|----------|------|-------|------------------|
| LIGHTING         | 50    | 20   | 1        | 2        | 20   | 50    | EXIT LIGHTS      |
| COPY MACHINE     | 50    | 20   | 3        | 4        | 20   | 50    | SPARE            |
| SPARE            | 50    | 20   | 5        | 6        | 20   | 50    | SPARE            |
| SPARE            | 50    | 20   | 7        | 8        | 20   | 50    | SPARE            |
| SPARE            | 50    | 20   | 9        | 10       | 20   | 50    | SPARE            |
| SPACE ONLY       | -     | -    | 11       | 12       | -    | -     | SPACE ONLY       |
| SPACE ONLY       | -     | -    | 13       | 14       | -    | -     | SPACE ONLY       |
| SPACE ONLY       | -     | -    | 15       | 16       | -    | -     | SPACE ONLY       |
| SPACE ONLY       | -     | -    | 17       | 18       | -    | -     | SPACE ONLY       |

| <b>PANEL:</b> PAC (A/C PANEL)    |       | <b>VOLTAGE:</b> 208Y/120V |          | <b>GROUND BUS BAR:</b> YES |      |       |                  |
|----------------------------------|-------|---------------------------|----------|----------------------------|------|-------|------------------|
| <b>LOCATION:</b> ELECTRIC CLOSET |       | <b>AMPS:</b> 225          |          | <b>K.A.I.C.:</b> 22        |      |       |                  |
| <b>MOUNTING:</b> RECESSED        |       | <b>MOUNTING:</b> 3", 4W   |          | <b>REMARKS:</b> MAIN BRK.  |      |       |                  |
| <b>NEMA TYPE:</b> NEMA 1         |       | <b>NEMA TYPE:</b> COPPER  |          |                            |      |       |                  |
| LOAD DESCRIPTION                 | FRAME | TRIP                      | CKT. NO. | CKT. NO.                   | TRIP | FRAME | LOAD DESCRIPTION |
| CU-101                           | 50    | 40                        | 1<br>3   | 2<br>4                     | 40   | 50    | CU-104           |
| CU-102                           | 50    | 30                        | 5<br>7   | 6<br>8                     | 30   | 50    | CU-103           |
| CU-105                           | 50    | 30                        | 9<br>11  | 10<br>12                   | 30   | 50    | CU-106           |
| CU-107                           | 50    | 30                        | 13<br>15 | 14<br>16                   | 30   | 50    | CU-108           |
| CU-109                           | 50    | 20                        | 17<br>19 | 18<br>20                   | 20   | 50    | CU-110           |
| CU-111                           | 50    | 20                        | 21<br>23 | 22<br>24                   | 20   | 50    | CU-112           |
| CU-113                           | 50    | 20                        | 25<br>27 | 26<br>28                   | 20   | 50    | CU-114           |
| CU-115                           | 50    | 20                        | 29<br>31 | 30<br>32                   | 50   | 50    | CU-201           |
| CU-202                           | 50    | 50                        | 33<br>35 | 34<br>36                   | -    | -     | SPACE ONLY       |
| SPACE ONLY                       | -     | -                         | 37<br>39 | 38<br>40                   | -    | -     | SPACE ONLY       |
| SPACE ONLY                       | -     | -                         | 41       | 42                         | -    | -     | SPACE ONLY       |

| LIGHTING FIXTURE SCHEDULE |            |             |           |       |      |     |      |       |              |  |
|---------------------------|------------|-------------|-----------|-------|------|-----|------|-------|--------------|--|
| TYPE                      | KIND       | FIXTURE     |           |       | LAMP |     |      |       | MANUFACTURER |  |
|                           |            | MOUNTING    | ENCLOSURE | NOTES | TYPE | NO. | SIZE | NOTES | TRADE        | CATALOG NO.  |
| 1                         | COMMERCIAL | RECESSED    |           |       | LED  |     |      |       | METALUX      | BAA - 22CZ - LD5 - 44 - UNV - L840 - CD - 1 - U                  |
| 2                         | COMMERCIAL | RECESSED    | DOWNLIGHT |       | LED  |     |      |       | PORTFOLIO    | BAA - LD88 - 70 - DO10TE - ER88 - 5070 - 8040 - 8LB - W - 1 - L1 |
| 3                         | COMMERCIAL | SURFACE     | 9"X9"     |       | LED  |     |      |       | FAIL-SAFE    | BAA - FW - LD2 - 99 - 1500 - 40 - UNV - CP - R4 - EDD1 - BK      |
| 4                         | COMMERCIAL | SURFACE     |           |       | LED  |     |      |       | PORTFOLIO    | LESA4B - 15 - DO10 - MB - ECB4 - 1020 - 8040 - 4LB - SS3 - L1    |
| 5                         | COMMERCIAL | WALL        |           |       | LED  |     |      |       | LUMARK       | BAA - AXCS5A - BK - PC   |
| 6                         | COMMERCIAL | FLOOD LIGHT |           |       | LED  |     |      |       | -            | -  |
| 7                         | EXIT       | CEILING     |           |       | LED  |     |      |       | SURE-LITES   | APXH7 - R - 2 - WHITE  |
| 8                         | EMERGENCY  | WALL        |           |       | LED  |     |      |       | SURE-LITES   | SEL - 50 - SD  |

ALL FIXTURES SHALL BE BAA APPROVED (BY AMERICAN ACT)

1 LIGHTING LAYOUT PLAN  
3/16" = 1'-0"

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ARCHITECT:  
Yo, El M. Martínez Beléndez, con número de licencia #20050 certifico que soy el autor de este proyecto de arquitectura. También certifico que entiendo que dichos planos y especificaciones cumplen con las disposiciones aplicables del Reglamento Conjunto y las disposiciones aplicables de Reglamento del Consejo de Construcción vigente de las Ordenanzas, además, que en la preparación de estos planos y especificaciones se ha cumplido cabalmente con lo dispuesto en la ley num. 14 de 8 de enero de 2004, según la Ley num. 319 de 15 de mayo de 1938, según enmendada. Reconozco y con la Ley num. 319 de 15 de mayo de 1938, según enmendada. Reconozco que cualquier declaración falsa o falsificación de los hechos que se haya en este documento, o por otras personas con mi consentimiento, me hacen responsable de cualquier acción judicial y disciplinaria por la OCPe.

CONSULTANT:  

EL MARIANO MARTÍNEZ BELENDEZ  
ARQUITECTO  
LIC. #20050  
PUERTO RICO

REVISION / DATE / DESCRIPTION  

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PROJECT  
RENOVATIONS TO PLAZA DEL MERCADO IN  
SANTA ISABEL URBAN CENTER  
CLIENT  
MUNICIPIO DE SANTA ISABEL

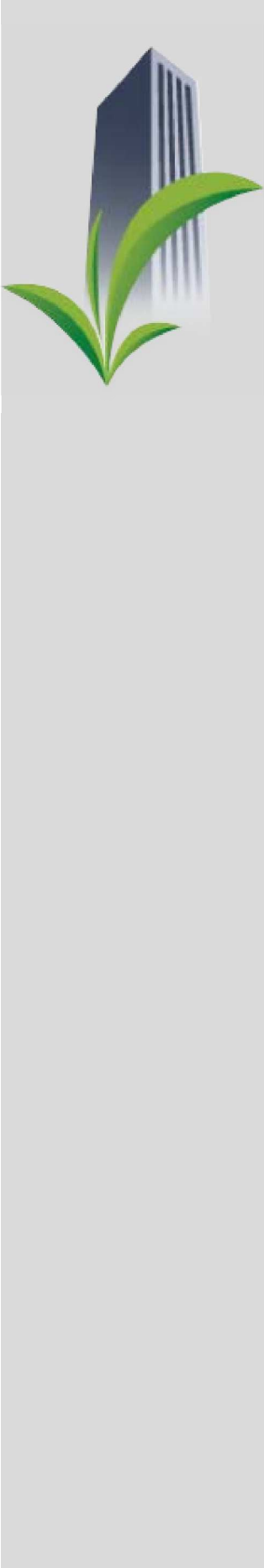
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SCALE: As indicated  
DRAWN BY: Author  
LIGHTING LAYOUT  
TITLE  
E102  
SHEET

ATTACHMENT 000

(1) Santa Isabel Multipurpose Building Francisco Robledo

LEAD BASED PAINT INSPECTION REPORT  
&  
ASBESTOS CONTAINING MATERIAL REPORT





# Lead Based Paint Inspection Report

Project:

Selective Areas of  
Centro Servicios Multiples Francisco  
(Pancho) Robledo, Santa Isabel, PR



Client:  
EM Architects

***ZEM-23096***  
May 2022

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Prepared By:

*Zimmetry Environmental Management, Corp.*  
*www.zimmetry.com*  
*info@zimmetry.com*

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## SECTION 1: EXECUTIVE SUMMARY

---

### 1.1 INTRODUCTION

A Lead-Based Paint inspection was conducted on April 13, 2023 at Selective Areas of Centro Servicios Múltiples Francisco (Pancho) Robledo at Santa Isabel, Puerto Rico. Refer to *Appendix F: Demolition Plans* for specific project locations provided by the client. The lead-based paint inspection was performed to identify paint that contains lead above allowable levels and to assist with the compliance of local, state and federal regulations.

### 1.2 SUMMARY OF PROPERTY EVALUATION

The project consisted of the evaluation of selective interior and exterior areas of the aforementioned project (refer to *Appendix F: Demolition Plans* for specific project locations). The evaluation found that lead based paint was present in selective components and surfaces through the project on the date of the inspection. Table 1-1 identifies the components positive for lead. Table 2-1 identifies lead-based paint as defined by the U.S. Environmental Protection Agency (EPA) and the Department of Natural and Environmental Resources (DRNA) of Puerto Rico. For specific locations and additional detail on the location of lead- reference Sections 2 and 3.

### 1.3 PROPERTY LOCATIONS OF BUILDING COMPONENTS WITH LEAD-BASED PAINT

Table 1-1 summarizes the site components and surfaces coated with lead-based paint. Details that identify positive lead-based paint findings within specific areas and on surfaces were provided in the lead-based paint inspection report. The “substrate” is the building component material directly beneath the painted surface. Photographic documentation is for reference purposes and doesn't necessarily include all the surfaces with lead based paint and/or components containing lead. The quantification of positives materials presented in this table is only an estimate. If an abatement of the materials will be conducted, the Contractors shall estimate the amount of materials to be abated.

If homogeneous materials that were not accounted for are identified in areas that are not describe in this report or inaccessible areas described in Section 2.3.3, they shall be managed as containing lead. If suspected components that could contain lead are encountered underneath current installed tiles or other construction material, they shall be managed as containing lead until the appropriate test is performed. Refer to Appendix E: Location of Positive Materials for specific location.

| <b>Table 1-1: Summary of Components Containing Lead</b> |                  |              |                  |                                |
|---|------------------|--------------|------------------|--------------------------------|
| <b>Area</b>   | <b>Component</b> | <b>Color</b> | <b>Substrate</b> | <b>Approximate Amount</b>      |
| 1-1 & 1-2   | Wall Surface     | Cream        | Wood             | 66 Ft <sup>2</sup> – Up to 3ft |
|   | Door             | Cream        | Wood             | 2 Units – Up to 3ft            |

Note:

1. The quantification of positives materials presented in this table is only an estimate. If an abatement of the materials will be conducted, the Contractors shall estimate the amount of materials to be abated.



## SECTION 2: LEAD-BASED PAINT INSPECTION REPORT

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### 2.1 OVERVIEW OF THE EVALUATION

This lead-based paint inspection was a selective investigation to identify all lead-based paint on a surface-by-surface basis (refer to *Appendix F: Demolition Plans* for specific project locations provided by the client). A lead-based paint inspection conforming to HUD guidelines was performed at the aforementioned project.

Averages of 46 samples were taken at identified surfaces of the evaluated areas using X-ray fluorescence (XRF) analyzer. The evaluation found that lead-based paint was present in selective components and surfaces through the project on the date of the assessment (See Table 1-1).

Some of the remaining XRF test locations exhibited lead-in-paint levels below the level that EPA identifies as lead-based paint, namely 1.0 mg/cm<sup>2</sup>. Such surfaces could create dust-lead or soil-lead hazards if the paint is turned into dust by abrasion, scraping, or sanding. Should these or any lead containing components or surfaces be disturbed in any manner that generates dust, care should be taken to limit its spread.

Testing was performed by Dilia Rosado, state-certified risk assessor LBPRA-20322-195, using the Niton XLp-300A XRF, SN-101222. The credentials are provided in Section 3, Appendix C: Certifications, Licenses, and Accreditations. The XRF analyzer is designed to measure the lead content of surface coatings on a variety of building surfaces, substrates, and components. The measurement is rapid and nondestructive and, according to the manufacturer, is capable of detecting lead concentrations that occur within numerous layers of various surface coatings.

Please refer to the XRF Testing Results Section 3, Appendix A: XRF Sampling Data for the detailed analytical testing results for each distinct area inspected. The reports provide a complete testing data.

### 2.2 SAMPLING PROCEDURE

The Lead Based Paint Sampling Procedure was design to evaluate and document all the data obtained form the inspection in a sequential method that provided confidence at the moment of the results presentation.

The survey was performed following the methodology established in the HUD Guidelines for the Evaluation and Control of Lead Based Paint in Housing (2012 revision) and the Department of Natural and Environmental Resources (DRNA) of Puerto Rico Regulation 9098: Regulation for Proper Management of Lead-Based Paint Activities. The surfaces evaluation was performed as follows:

- If the lead concentration measured by the XRF Spectrum Analyzer is less than 1.0 mg/cm<sup>2</sup> it is considered negative.

- If the lead concentration measured by the XRF Spectrum Analyzer is equal or greater than 1.0 mg/cm<sup>2</sup> it is considered positive.

To each functional space of the project a name was assigned according to the use of that space. If no name could be assigned then a code letter or number was assigned.

Each wall surface was named with letters beginning with wall A the wall facing the main entrance direction. The wall at your left will be wall B, the wall at front wall C and the wall at you right will be wall D.

## **2.3 RESULTS PRESENTATION**

This section describes the project components and surfaces coated with lead-based paint (LBP), which were observed in the inspection. Please note that the recommendations given are always the minimum action, which in our professional judgment should be taken.

According to the DRNA lead regulations, prior to the demolishing of a structure containing lead based paint, the contaminated surfaces or substrates must be abated or removed. The firm providing the abatement services must be certified as an abatement firm by the DRNA.

### **2.3.1 SPECIFIC FINDINGS**

The following LBP were found to contain more than 1.0 mg/cm<sup>2</sup> for what Department of Natural and Environmental Resources (DRNA) of Puerto Rico identifies as lead-based paint or materials containing lead:

- Doors
- Wall Surfaces

### **2.3.2 HOMOGENEOUS AREAS WITH SPECIAL CONSIDERATIONS**

NONE

### **2.3.3 INACCESSIBLE AREAS PRESUMED TO BE LEAD-BASED PAINTED**

NONE

## **2.4 LEAD REGULATORY LEVELS**

The lead regulatory levels provided below are those used when preparing this lead-based paint evaluation or when evaluating data collected. The EPA regulatory levels are the same as the state regulatory levels provided in the following table.



| TABLE 2-1: LEAD REGULATORY LEVELS |   |
|-----------------------------------|---|
|                                   | EPA/DRNA Levels   |
| Lead-Based Paint                  | 1.0 mg/cm <sup>2</sup><br>or<br>0.5% by weight (or 5,000 ppm) |

## 2.5 CONDITIONS AND LIMITATIONS—DISCLAIMER

Zimmetry Environmental Management Corp. has performed this lead-based paint inspection in a thorough and professional manner consistent with commonly accepted industry standards. The Preparer cannot guarantee and does not warrant that this evaluation has identified all adverse environmental factors and/or conditions affecting this project on the date of the evaluation.

The results reported and conclusions reached by the Preparer are solely for the benefit of the Owner. The results and opinions in this report, based solely on the conditions found at the project on the date of the evaluation, are valid only on that date. The Preparer assumes no obligation to advise the client of any changes in any real or potential lead-based paint hazards at this project beyond the date of the evaluation.

The lead inspection was performed to ready accessible components and surfaces. If suspected components that could contain lead are encountered underneath current installed tiles or other construction material, they shall be managed as containing lead until the appropriate test is performed. According to the DRNA on the “Regulation for the Proper Management of Lead-Based Paint Activities” Rule 139 (Section E, Part 17) all lead-based paint reports have a validity period of five (5) years.

## 2.6 ABATEMENT CONDITIONS

Abatement, as defined by HUD and the Department of Natural and Environmental Resources (DRNA) of Puerto Rico, means any set of measures designed to eliminate lead-based paint and/or lead-based paint hazards permanently. The people providing these services must be trained in accordance with the DRNA licensing/certification requirements. The product manufacturer and/or contractor must warrant abatement methods to last a minimum of 20 years, or these methods must have a design life of at least 20 years.

- onsite or offsite removal of lead-based paint from substrates and components
- replacement of components or fixtures painted with lead-based paint
- permanent enclosure of lead-based paint with construction materials mechanically-fastened to the substrate
- encapsulation of lead-based paint with specially designed encapsulant products
- removal or permanent covering (concrete or asphalt) of soil-lead-based paint hazards

If enclosure or encapsulation is conducted as an abatement method, the lead-based paint remains on the property, so ongoing lead-based paint maintenance is required.

## **2.7 RECOMMENDATIONS**

According to the DRNA lead regulations, prior to the demolishing of a structure containing lead-based paint, the contaminated surfaces or substrates must be abated or removed. The waste generated has to be characterized to determine if the waste generated is hazardous or non-hazardous waste. The firm providing the abatement services must be certified as an abatement firm by the DRNA. Workers conducting abatement must be trained and certified as abatement workers by a training provider accredited by the DRNA.

## **2.8 ENVIRONMENTAL ASSESSMENT REPORT CERTIFICATION**

Zimmetry Environmental Management Corp. has performed this lead-based paint inspection in a thorough and professional manner consistent with commonly accepted industry standards. The inspection was conducted on April 13, 2023 by Dilia Rosado, state-certified risk assessor LBPR-20322-195, qualified by experience, education and training in the recognition of lead based paint and approved sampling techniques using the Niton XLP-300A XRF, SN-101222.



---

Dilia Rosado, MEM  
Environmental Risk Assessor



## **SECTION 3: APPENDICES**

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**Appendix A: Certifications, Licenses, and Accreditations**

**Appendix B: XRF Sampling Data**

**Appendix C: XRF's Performance Characteristics Sheet**

**Appendix D: Photographic Record**

**Appendix E: Location of Positive Materials**

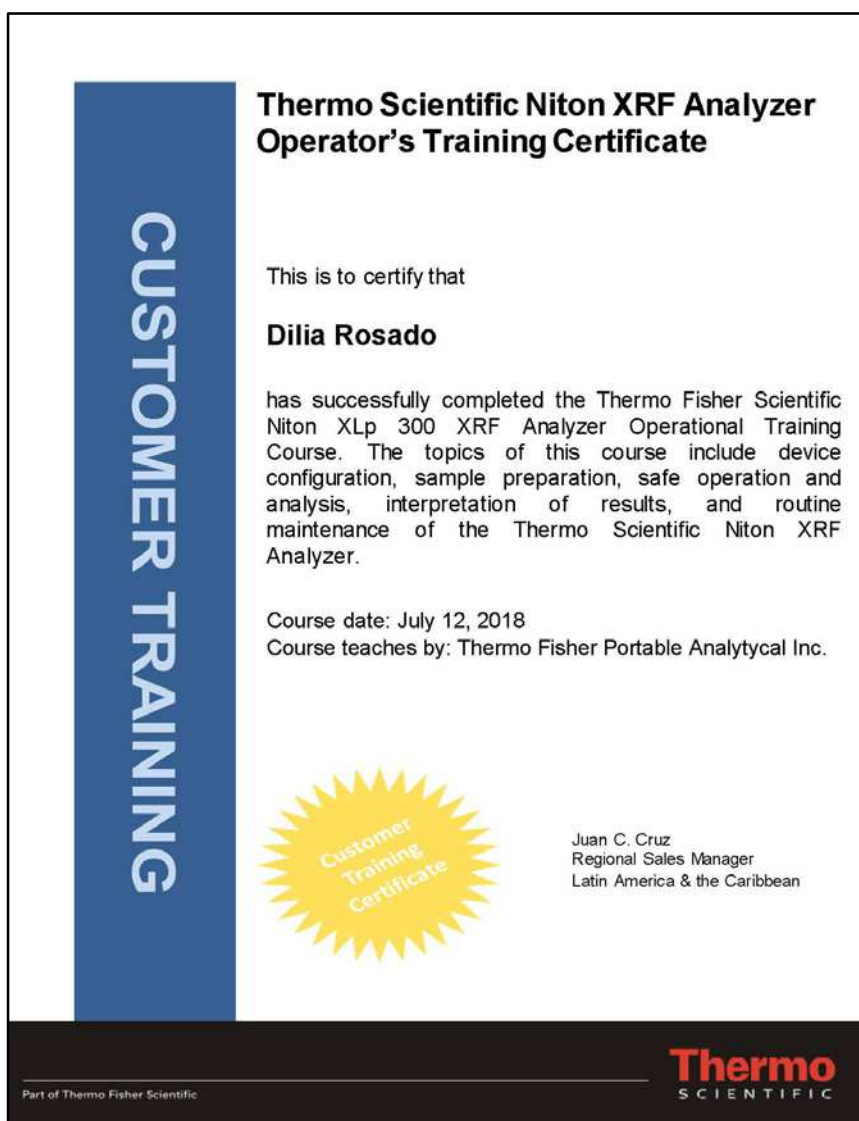
**Appendix F: Demolition Plans**

## APPENDIX A: CERTIFICATIONS, LICENSES, AND ACCREDITATIONS





## APPENDIX A: CERTIFICATIONS, LICENSES, AND ACCREDITATIONS



## **APPENDIX B: XRF SAMPLING DATA**

---



[illegible]

## **APPENDIX C: XRF's PERFORMANCE CHARACTERISTICS SHEET**

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## Performance Characteristic Sheet

EFFECTIVE DATE: September 24, 2004

EDITION NO.: 1

### MANUFACTURER AND MODEL:

Make: Niton LLC

Tested Model: XLp 300

Source:  $^{109}\text{Cd}$ 

Note: This PCS is also applicable to the equivalent model variations indicated below, for the Lead-in-Paint K+L variable reading time mode, in the XLi and XLp series:

XLi 300A, XLi 301A, XLi 302A and XLi 303A.

XLp 300A, XLp 301A, XLp 302A and XLp 303A.

XLi 700A, XLi 701A, XLi 702A and XLi 703A.

XLp 700A, XLp 701A, XLp 702A, and XLp 703A.

Note: The XLi and XLp versions refer to the shape of the handle part of the instrument. The differences in the model numbers reflect other modes available, in addition to Lead-in-Paint modes. The manufacturer states that specifications for these instruments are identical for the source, detector, and detector electronics relative to the Lead-in-Paint mode.

## FIELD OPERATION GUIDANCE

### OPERATING PARAMETERS:

Lead-in-Paint K+L variable reading time mode.

### XRF CALIBRATION CHECK LIMITS:

0.8 to 1.2 mg/cm<sup>2</sup> (inclusive)

The calibration of the XRF instrument should be checked using the paint film nearest 1.0 mg/cm<sup>2</sup> in the NIST Standard Reference Material (SRM) used (e.g., for NIST SRM 2579, use the 1.02 mg/cm<sup>2</sup> film).

If readings are outside the acceptable calibration check range, follow the manufacturer's instructions to bring the instruments into control before XRF testing proceeds.

### SUBSTRATE CORRECTION:

For XRF results using Lead-in-Paint K+L variable reading time mode, substrate correction is not needed for:

Brick, Concrete, Drywall, Metal, Plaster, and Wood

### INCONCLUSIVE RANGE OR THRESHOLD:

| K+L MODE<br>READING DESCRIPTION                           | SUBSTRATE | THRESHOLD<br>(mg/cm <sup>2</sup> ) |
|---|-----------|------------------------------------|
| Results not corrected for substrate bias on any substrate | Brick     | 1.0                                |
|   | Concrete  | 1.0                                |
|   | Drywall   | 1.0                                |
|   | Metal     | 1.0                                |
|   | Plaster   | 1.0                                |
|   | Wood      | 1.0                                |

## BACKGROUND INFORMATION

### EVALUATION DATA SOURCE AND DATE:

This sheet is supplemental information to be used in conjunction with Chapter 7 of the HUD *Guidelines for the Evaluation and Control of Lead-Based Paint Hazards in Housing* ("HUD Guidelines"). Performance parameters shown on this sheet are calculated from the EPA/HUD evaluation using archived building components. Testing was conducted in August 2004 on 133 testing combinations. The instruments that were used to perform the testing had new sources; one instrument's was installed in November 2003 with 40 mCi initial strength, and the other's was installed June 2004 with 40 mCi initial strength.

### OPERATING PARAMETERS:

Performance parameters shown in this sheet are applicable only when properly operating the instrument using the manufacturer's instructions and procedures described in Chapter 7 of the HUD Guidelines.

### SUBSTRATE CORRECTION VALUE COMPUTATION:

Substrate correction is not needed for brick, concrete, drywall, metal, plaster or wood when using Lead-in-Paint K+L variable reading time mode, the normal operating mode for these instruments. If substrate correction is desired, refer to Chapter 7 of the HUD Guidelines for guidance on correcting XRF results for substrate bias.

### EVALUATING THE QUALITY OF XRF TESTING:

Randomly select ten testing combinations for retesting from each house or from two randomly selected units in multifamily housing. Use the K+L variable time mode readings.

Conduct XRF retesting at the ten testing combinations selected for retesting.

Determine if the XRF testing in the units or house passed or failed the test by applying the steps below.

Compute the Retest Tolerance Limit by the following steps:

Determine XRF results for the original and retest XRF readings. Do not correct the original or retest results for substrate bias. In single-family housing a result is defined as the average of three readings. In multifamily housing, a result is a single reading. Therefore, there will be ten original and ten retest XRF results for each house or for the two selected units.

Calculate the average of the original XRF result and retest XRF result for each testing combination.

Square the average for each testing combination.

Add the ten squared averages together. Call this quantity C.

Multiply the number C by 0.0072. Call this quantity D.

Add the number 0.032 to D. Call this quantity E.

Take the square root of E. Call this quantity F.

Multiply F by 1.645. The result is the Retest Tolerance Limit.

Compute the average of all ten original XRF results.

Compute the average of all ten re-test XRF results.

Find the absolute difference of the two averages.



If the difference is less than the Retest Tolerance Limit, the inspection has passed the retest. If the difference of the overall averages equals or exceeds the Retest Tolerance Limit, this procedure should be repeated with ten new testing combinations. If the difference of the overall averages is equal to or greater than the Retest Tolerance Limit a second time, then the inspection should be considered deficient.

Use of this procedure is estimated to produce a spurious result approximately 1% of the time. That is, results of this procedure will call for further examination when no examination is warranted in approximately 1 out of 100 dwelling units tested.

#### TESTING TIMES:

For the Lead-in-Paint K+L variable reading time mode, the instrument continues to read until it is moved away from the testing surface, terminated by the user, or the instrument software indicates the reading is complete. The following table provides testing time information for this testing mode. The times have been adjusted for source decay, normalized to the initial source strengths as noted above. Source strength and type of substrate will affect actual testing times. At the time of testing, the instruments had source strengths of 26.6 and 36.6 mCi.

| Testing Times Using K+L Reading Mode (Seconds) |                                |        |                                |  |                 |          |
|--|--------------------------------|--------|--------------------------------|--|-----------------|----------|
|  | All Data                       |        |                                | Median for laboratory-measured lead levels (mg/cm <sup>2</sup> ) |                 |          |
| Substrate                                      | 25 <sup>th</sup><br>Percentile | Median | 75 <sup>th</sup><br>Percentile | Pb < 0.25  | 0.25 ≤ Pb < 1.0 | 1.0 ≤ Pb |
| Wood<br>Drywall                                | 4                              | 11     | 19                             | 11   | 15              | 11       |
| Metal  | 4                              | 12     | 18                             | 9  | 12              | 14       |
| Brick<br>Concrete<br>Plaster                   | 8                              | 16     | 22                             | 15   | 18              | 16       |

#### CLASSIFICATION RESULTS:



XRF results are classified as positive if they are greater than or equal to the threshold, and negative if they are less than the threshold.

#### DOCUMENTATION:

A document titled *Methodology for XRF Performance Characteristic Sheets* provides an explanation of the statistical methodology used to construct the data in the sheets, and provides empirical results from using the recommended inconclusive ranges or thresholds for specific XRF instruments. For a copy of this document call the National Lead Information Center Clearinghouse at 1-800-424-LEAD.

This XRF Performance Characteristic Sheet was developed by the Midwest Research Institute (MRI) and QuanTech, Inc., under a contract between MRI and the XRF manufacturer. HUD has determined that the information provided here is acceptable when used as guidance in conjunction with Chapter 7, Lead-Based Paint Inspection, of HUD's *Guidelines for the Evaluation and Control of Lead-Based Paint Hazards in Housing*.


## APPENDIX D: PHOTOGRAPHIC RECORD

|                          |                           |   |
|--------------------------|---------------------------|---|
| <b>Photo No.</b><br>7090 | <b>Date:</b><br>4/13/2023 | <div data-bbox="203 535 349 567"><b>Description:</b></div> <div data-bbox="203 630 535 724"><b>Area 1-1</b><br/>Lead-based painted wood door and wall surface (up to 3 feet).</div>  |
| <b>Photo No.</b><br>7091 | <b>Date:</b><br>4/13/2023 | <div data-bbox="203 1270 349 1302"><b>Description:</b></div> <div data-bbox="203 1386 535 1480"><b>Area 1-1</b><br/>Lead-based painted wood wall surface (up to 3 feet).</div>      |

Photographic Documentation is for reference purposes and doesn't necessarily include all the surfaces with lead based paint and/or components containing lead.



## APPENDIX D: PHOTOGRAPHIC RECORD

| Photo No.  | Date:   |  |
|--|---|--|
| 7094   | 4/13/2023   |  |
| <b>Description:</b><br><br><b>Area 1-2</b><br>Lead-based painted wood door<br>and wall surface (up to 3 feet). |  A photograph showing a white-painted wooden door and the adjacent wall. The door is closed and has several horizontal and vertical red lines drawn on it, likely for inspection purposes. To the left of the door, there is a small window with a brown paper bag hanging from the frame. Below the window, a green bag is hanging on the wall. In the foreground, there is a white plastic table and a blue and white cooler. The floor is made of light-colored concrete tiles. |  |

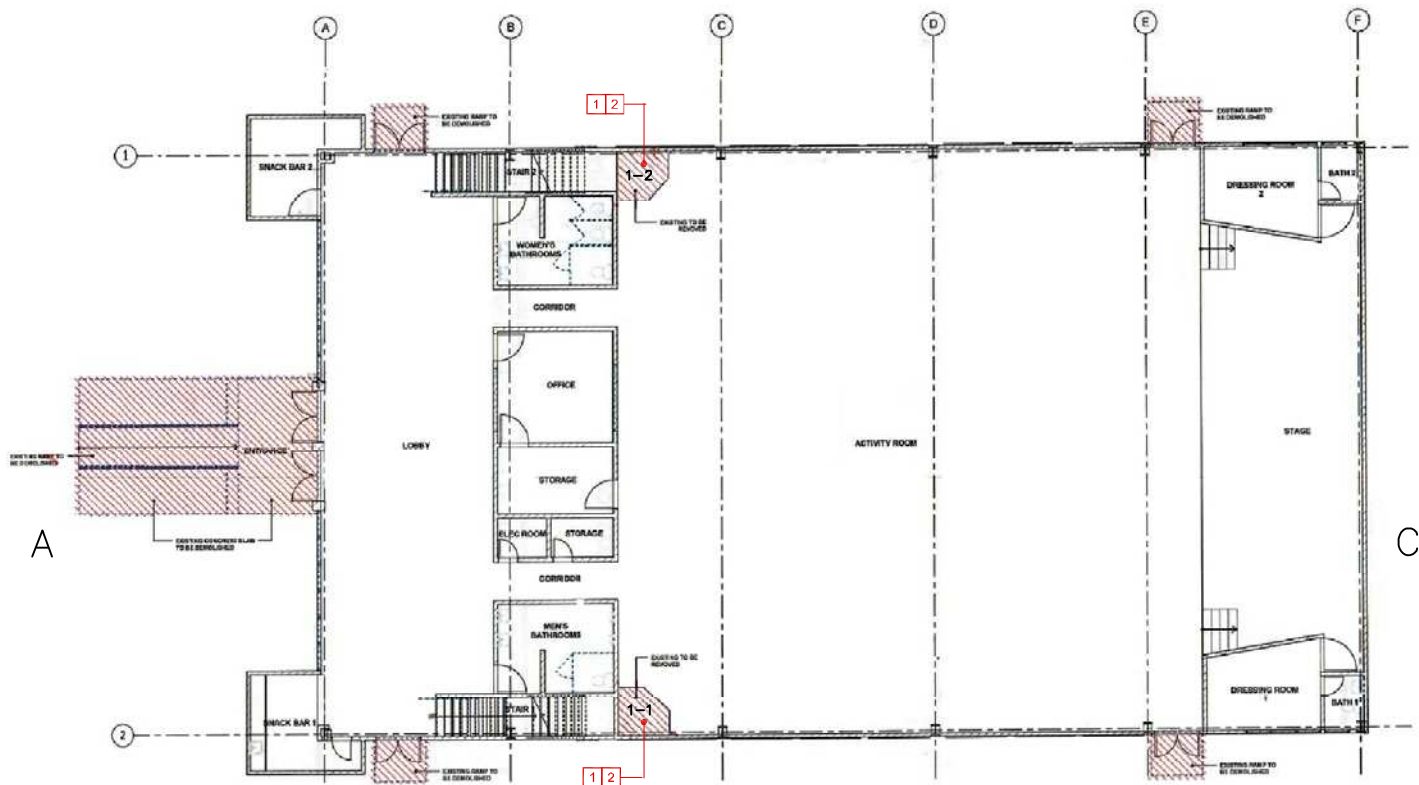
Photographic Documentation is for reference purposes and doesn't necessarily include all the surfaces with lead based paint and/or components containing lead.

## **APPENDIX E: LOCATION OF POSITIVE MATERIALS**

---



B



## FLOOR PLAN

NTS

D

### LBP Legend:

- 1 Wood Wall
- 2 Wood Door

#### Note:

The layout of materials shown in this figure is for illustrative purposes only. For actual location and quantity of materials refer to the Lead Based Paint survey report dated April 2023.

### Zimmetry Environmental Environmental Building Inspectors

Indoor Environmental Quality / Mold Assessments, Asbestos,  
Lead Base Paint Consulting - Phone - Fax (787) 995-0005

Project: Centro de Servicios Múltiples Francisco (Pancho) Robledo  
Santa Isabel, PR

Date: April 2023

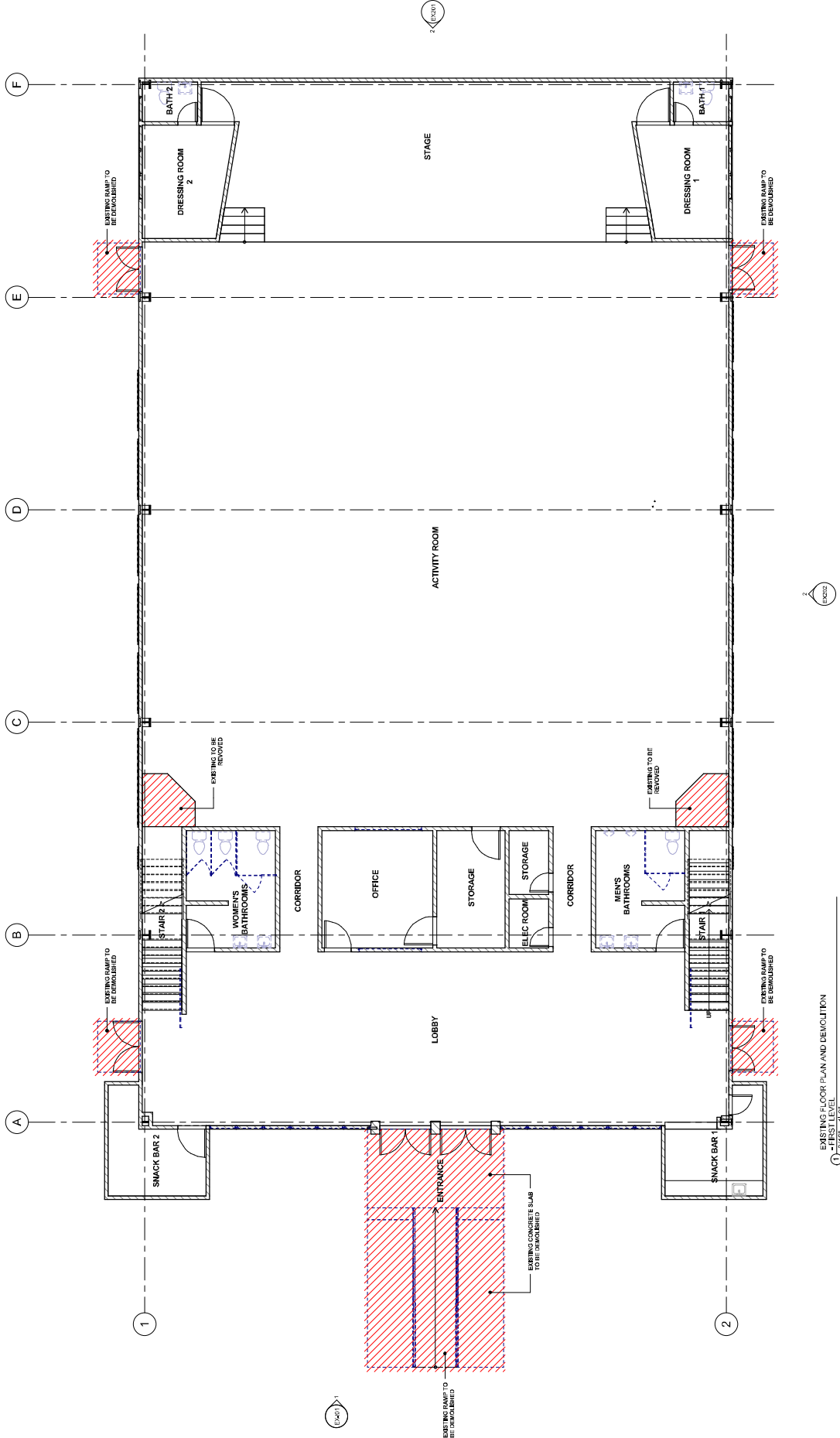
Project No. ZEM-23096

Drawing:

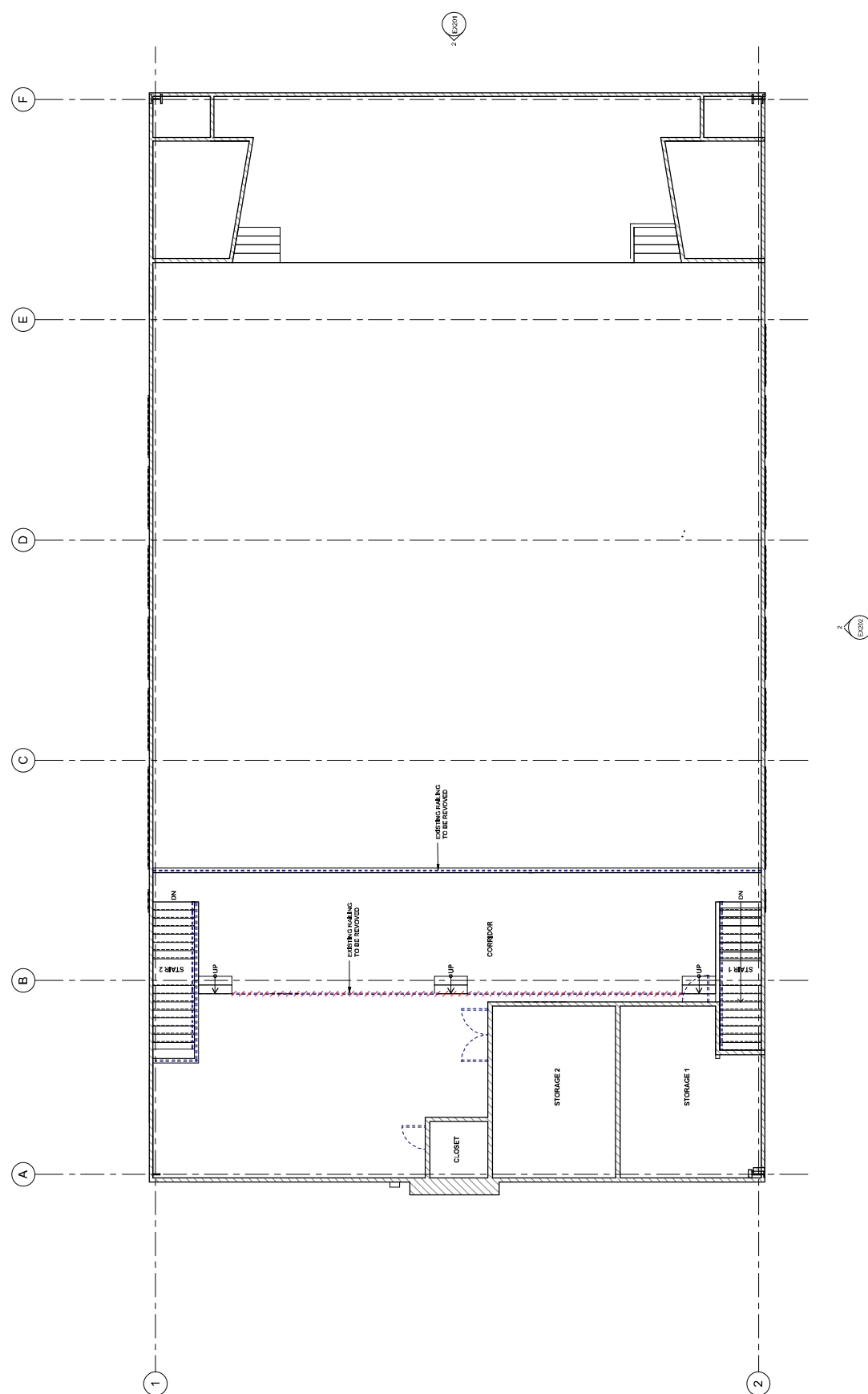
## **APPENDIX F: DEMOLITION PLANS**

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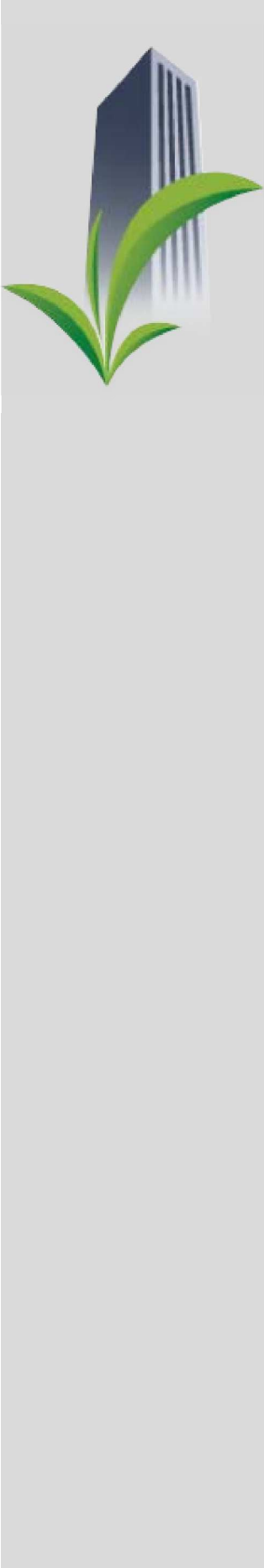


EXISTING FLOOR PLAN AND DEMOLITION  
 1 - FIRST LEVEL  
 3/16" = 1'-0"



EXISTING FLOOR PLAN AND DEMOLITION  
1 - 2ND LEVEL  
1/8" = 1'-0"





# Asbestos Containing Building Materials Inspection Report

Project:

Selective Areas of  
Centro Servicios Multiples Francisco  
(Pancho) Robledo, Santa Isabel, PR



Client:  
EM Architects

**ZEM-23096**  
May 2022

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Prepared By:

*Zimmetry Environmental Management, Corp.*  
*www.zimmetry.com*  
*info@zimmetry.com*

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## SECTION 1: EXECUTIVE SUMMARY

---

### 1.1 INTRODUCTION

An Asbestos Containing Building Materials (ACBM) inspection was conducted on April 13, 2023 at Selective Areas of Centro Servicios Múltiples Francisco (Pancho) Robledo at Santa Isabel, Puerto Rico. Refer to *Appendix D: Demolition Plans* for specific project locations provided by the client. The asbestos containing building materials sampling was performed to identify materials that contain asbestos fibers above allowable levels and to assist with the compliance of local, state and federal regulations.

### 1.2 SUMMARY OF PROPERTY EVALUATION

The project consisted of the evaluation of selective interior and exterior areas of the aforementioned project (refer to *Appendix D: Demolition Plans* for specific project locations). The results obtained reflect that there were **no** asbestos fibers above the regulatory limits on the analyzed samples from the inspected areas.

## **SECTION 2: ASBESTOS CONTAINING MATERIALS INSPECTION REPORT**

---

### **2.1 OVERVIEW OF THE EVALUATION**

This ACBM inspection was a selective evaluation to identify the location of material containing asbestos that exist within. Our scope of work services for this project consisted of the following tasks.

- A walk-through and observation of the site was performed.
- Bulk sampling of Suspected ACBM within the structure.
- Polarized Light Microscopy (PLM) Analysis of bulk samples.
- Final Inspection Report.

Throughout the inspection the following suspected ACBM were observed and sampled:

- Roofing Material
- Spray On Ceiling

The sampling was conducted by the Department of Natural and Environmental Resources (DRNA) of Puerto Rico and United States Environmental Protection Agency (USEPA) accredited Inspectors qualified by experience, education and training in the recognition of potential ACBM and approved bulk sampling techniques. Some areas may not have been directly accessible due to the physical hazards encountered within. In these areas assumptions based on findings in other areas were made whenever possible. These assumptions are duly noted as such in this report.

The inspection was performed in accordance with Environmental Protection Agency recommended procedures found in EPA-450/2-78-014 (Parts I and II), EPA 560/5-85-024, and 40 CFR 763. These procedures call for the visual inspection of the building for suspect friable material and collection and analysis of representative samples of suspect material.

### **2.2 SAMPLING PROCEDURE AND RESULTS PRESENTATION**

The bulk sampling procedures utilized for the collection of the ACBM, required the establishment of homogeneous sampling areas. A homogeneous sampling area is defined as an area of friable or non-friable material of similar type that appears to be applied or constructed during the same time period.

Samples collected from these predetermined homogeneous sampling areas were labeled and transported for analysis. Sample locations were identified by their current use or functional space name. Each type of asbestos displays a unique property when subject to PLM. Properties are unique to crystalline asbestos form and; therefore, can be used to identify the type of asbestos mineral as chrysotile, amosite, crocidolite, anthophyllite, tremolite and actinolite.

Percentage of each asbestos mineral type is determined by visual estimation, by mixing the sample thoroughly to provide a more accurate percentage. Any material containing over one percentage (>1%) by weight of any type of asbestos mineral forms is considered by the USEPA to be asbestos containing material; and if disturbed, it must be handled according to specific State and Federal Regulations.



Five (5) samples of suspected material were collected. It is our opinion that an acceptable minimum number of critical areas were sampled in keeping with the homogeneous nature of much of the material that was observed. Non-destructive sampling techniques were used. If they exist, walls, ceilings, columns and other inaccessible areas were not broken into. It should be noted that these inaccessible areas may contain ACBM which was not observed during the inspection. Any future construction or renovation should anticipate the presence of these materials.

The samples were received and analyzed by Analytical Environmental Services, Inc. in Atlanta GA (Certified Proficient by the National Institute of Science and Technology NVLAP program for bulk sample asbestos analysis; Laboratory Id 102082-0). The method of analysis was polarized light microscopy with dispersion staining, as recommended by the US EPA. This survey focused on the building materials, which are present throughout the interior and exterior of the building structure.

## **2.3 SURVEY RESULTS**

### **2.3.1 INTRODUCTION**

During the inspection the results obtained reflect that there were **no** asbestos fibers on the analyzed samples from the evaluated selective areas (refer to *Appendix D: Demolition Plans* for specific project locations provided by the client).

### **2.3.2 HOMOGENEOUS AREAS WITH SPECIAL CONSIDERATIONS**

NONE

### **2.3.3 SUSPECT MATERIALS PRESUMED TO BE ASBESTOS-CONTAINING MATERIALS WITHOUT LABORATORY ANALYSIS**

NONE

### **2.3.4 INACCESSIBLE AREAS**

NONE

## **2.4 CONDITIONS AND LIMITATIONS—DISCLAIMER**

Zimmetry Environmental Management Corp. has performed this asbestos containing building materials inspection in a thorough and professional manner consistent with commonly accepted industry standards. The Preparer cannot guarantee and does not warrant that this evaluation has identified all adverse environmental factors and/or conditions affecting this project on the date of the evaluation.

The results reported and conclusions reached by the Preparer are solely for the benefit of the Owner and occupants. The results and opinions in this report, based solely on the conditions found at the project on the date of the evaluation, are valid only on that date. The Preparer assumes no obligation to advise the client of any changes in any real or potential asbestos hazards at this project beyond the date of the project evaluation.

## **2.5 ENVIRONMENTAL ASSESSMENT REPORT CERTIFICATION**

Zimmetry Environmental Management Corp. has performed this asbestos containing building materials inspection in a thorough and professional manner consistent with commonly accepted industry standards. The inspection was conducted on April 13, 2023 by Harry Peña, state-certified inspector ASB-0223-0093-SI, qualified by experience, education and training in the recognition of asbestos containing materials and approved sampling techniques.



---

Harry Peña, MSEM  
Environmental Building Consultant



## **SECTION 3: APPENDICES**

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**Appendix A: Certifications, Licenses, and Accreditations**

**Appendix B: Certification of No Presence of Asbestos (Form PGC-009)**

**Appendix C: Laboratory Results and Chain of Custody**

**Appendix D: Demolition Plans**

## APPENDIX A: CERTIFICATIONS, LICENSES, AND ACCREDITATIONS

|  |   |
|--|---|
|                         | <p>TARJETA DE REGISTRO<br/>PARA LA REMOCION DE ASBESTO</p> <p>Esta tarjeta autoriza a:</p> <p><b>Harry Peña Ruiz</b><br/><b>Inspector</b></p> <p>A trabajar en la remoción de asbesto en<br/>Puerto Rico. Esta persona <b>NO</b> es un<br/>empleado del DRNA.</p> <p><br/>Firma Autorizada - Departamento<br/>Recursos Naturales y Ambientales</p> |
| <p><b>ASB-0223-0093-SI</b><br/>Número de Registro</p> <p><b>16-feb-2024</b><br/>Fecha de vencimiento</p> |   |



## APPENDIX A: CERTIFICATIONS, LICENSES, AND ACCREDITATIONS

|  |  |
|--|--|
| <p>United States Department of Commerce<br/>National Institute of Standards and Technology</p> <p><b>NVLAP</b><sup>®</sup> </p> <hr/> <p><b>Certificate of Accreditation to ISO/IEC 17025:2017</b></p> <hr/>                                     |  |
| <p>NVLAP LAB CODE: 102082-0</p>  |  |
| <p><b>Analytical Environmental Services, Inc.</b><br/>Atlanta, GA</p>  |  |
| <p><i>is accredited by the National Voluntary Laboratory Accreditation Program for specific services,<br/>listed on the Scope of Accreditation, for:</i></p>   |  |
| <p><b>Asbestos Fiber Analysis</b></p>  |  |
| <p><i>This laboratory is accredited in accordance with the recognized International Standard ISO/IEC 17025:2017.<br/>This accreditation demonstrates technical competence for a defined scope and the operation of a laboratory quality<br/>management system (refer to joint ISO-ILAC-IAF Communique dated January 2009).</i></p> |  |
| <p>2022-10-01 through 2023-09-30<br/>Effective Dates</p>   | <div><p>For the National Voluntary Laboratory Accreditation Program</p></div> |

**APPENDIX B: CERTIFICATION OF NO PRESENCE OF ASBESTOS**  
**(FORM PGC-009)**

---





## CERTIFICACION DE NO PRESENCIA DE ASBESTO EN ESTRUCTURAS A DEMOLERSE

(Deberá completarse en letra de molde o impresa)

PGC-\_\_\_\_\_  
PARA USO OFICIAL

Yo, Harry Peña, mayor de edad, casado, y vecino de Bayamón  
(Nombre) (Estado Civil) (Municipio)

Dirección Postal PO Box 3545 Bayamón 00958  
(Pueblo) (Zip Code)

Teléfonos: Residencial ( 787 ) 550 - 2061 Oficina ( 787 ) 995 - 0005 Ext. \_\_\_\_\_  
Fax ( 787 ) 995 - 0005

### Certifico que:

1. La estructura localizada en Selective Areas of Centro Servicios Multiples Francisco, la cual será objeto de una demolición se encuentra libre de asbesto.  
(Pancho) Robledo at Santa Isabel, Puerto Rico
2. La información antes indicada es cierta y correcta.
3. Afirmo y reconozco las consecuencias de incluir y someter información falsa en este documento.
4. Para que así conste, firmo la presente certificación en Bayamón de Puerto Rico,  
(Municipio)  
hoy día 8 de Mayo de 2023

\_\_\_\_\_  
Firma y Sello del Profesional o  
Firma del Inspector de Asbesto registrado por la JCA (Original)

**Nota: Ingenieros o Arquitectos deberán someter evidencia de que se encuentra al día en el pago de sus cuotas de colegiación e Inspectores de Asbesto deberán someter evidencia de la tarjeta de registro provista por la JCA.**

# CERTIFICATION

|  |  |
|--|--|
|                         | <p>TARJETA DE REGISTRO<br/>PARA LA REMOCION DE ASBESTO</p> <p>Esta tarjeta autoriza a:</p> <p><b>Harry Peña Ruiz</b><br/><b>Inspector</b></p> <p>A trabajar en la remoción de asbesto en<br/>Puerto Rico. Esta persona <b>NO</b> es un<br/>empleado del DRNA.</p> <p></p> <p>Firma Autorizada - Departamento<br/>Recursos Naturales y Ambientales</p> |
| <p><b>ASB-0223-0093-SI</b><br/>Número de Registro</p> <p><b>16-feb-2024</b><br/>Fecha de vencimiento</p> |  |



## **APPENDIX C: LABORATORY RESULTS AND CHAIN OF CUSTODY**

---

**ZIMMETRY ENVIRONMENTAL MANAGEMENT CORP.**

PO BOX 3545 BAYAMÓN, PR 00958

(787)376-9010 Phone (787)995-0005 Fax

email: hpena@zimmetry.com Web: www.zimmetry.com

Analytical Environmental Services, Inc.

Accounts Receivable

3080 Presidential Drive, Atlanta GA 30340-3704

Phone (770) 457-8177 Fax (770) 457-8188

**CHAIN OF CUSTODY**

**BULK ASBESTOS SAMPLE**

2304187

Project Name: Centro Servicios Multiples Francisco (Pancho) Robledo

Contact: Harry Peña

Project Location: Santa Isabel, PR

Samplers Name: Harry Peña

Project Number: ZEM-23096

Sampling Date: 4/13/2023

|    | Sample ID | Sample Description | Sample Location | Analysis Requested | Turnaround Time | Comments | For AES Use Only |
|----|-----------|--------------------|-----------------|--------------------|-----------------|----------|------------------|
| 1  | 23096-01  | Spray On Ceiling   | Area 1-1        | PLM                | Regular         | 5 Days   |                  |
| 2  | 23096-02  | Spray On Ceiling   | Area 1-1        | PLM                | Regular         | 5 Days   |                  |
| 3  | 23096-03  | Roofing Material   | Area 1-1        | PLM                | Regular         | 5 Days   |                  |
| 4  | 23096-04  | Roofing Material   | Area 1-2        | PLM                | Regular         | 5 Days   |                  |
| 5  | 23096-05  | Spray On Ceiling   | Area 1-2        | PLM                | Regular         | 5 Days   |                  |
| 6  |           |                    |                 |                    |                 |          |                  |
| 7  |           |                    |                 |                    |                 |          |                  |
| 8  |           |                    |                 |                    |                 |          |                  |
| 9  |           |                    |                 |                    |                 |          |                  |
| 10 |           |                    |                 |                    |                 |          |                  |
| 11 |           |                    |                 |                    |                 |          |                  |
| 12 |           |                    |                 |                    |                 |          |                  |
| 13 |           |                    |                 |                    |                 |          |                  |
| 14 |           |                    |                 |                    |                 |          |                  |
| 15 |           |                    |                 |                    |                 |          |                  |
| 16 |           |                    |                 |                    |                 |          |                  |
| 17 |           |                    |                 |                    |                 |          |                  |
| 18 |           |                    |                 |                    |                 |          |                  |
| 19 |           |                    |                 |                    |                 |          |                  |
| 20 |           |                    |                 |                    |                 |          |                  |

Relinquished by: Melanie Bermudez E.

Date/Time: 4/13/2023 15:00

FOR LAB USE ONLY

Lab Recipient:

LEILA DYE

Date/Time:

4.17.23 9:05

Method of Shipment:

FED Ex





3080 Presidential Drive  
Atlanta, GA 30340  
Tel : (770) 457-8177  
Fax: (770) 457-8188

# ANALYTICAL ENVIRONMENTAL SERVICES, INC.

## Bulk Sample Summary Report



Report Date: 24-Apr-23

Client Name: **Zimmetry Environmental Mgmt Corp.**

AES Job Number: **2304187**

Project Name: **CENTRO SERVICIOS MULTIPLES FRANCISCO**

Project Number: **ZEM-23096**

| Client ID            | AES ID       | Location         | Asbestos Mineral Percentage |    |    |    |    |    | Comments                 |
|----------------------|--------------|------------------|-----------------------------|----|----|----|----|----|--------------------------|
|                      |              |                  | CH                          | AM | CR | AN | TR | AC |                          |
| 23096-01<br>Layer: 1 | 2304187-001A | SPRAY ON CEILING | ND                          | ND | ND | ND | ND | ND | Paint included as binder |
| 23096-02<br>Layer: 1 | 2304187-002A | SPRAY ON CEILING | ND                          | ND | ND | ND | ND | ND | Paint included as binder |
| 23096-03<br>Layer: 1 | 2304187-003A | ROOFING MATERIAL | ND                          | ND | ND | ND | ND | ND | Paint included as binder |
| 23096-04<br>Layer: 1 | 2304187-004A | ROOFING MATERIAL | ND                          | ND | ND | ND | ND | ND | Paint included as binder |
| 23096-05<br>Layer: 1 | 2304187-005A | SPRAY ON CEILING | ND                          | ND | ND | ND | ND | ND | Paint included as binder |

Note: CH=chrysotile, AM=amosite, CR=crocidolite, AC=actinolite, TR=tremolite, AN=anthophyllite

For comments on the samples, see the individual analysis sheets.

ND = None Detected

AES, Inc. is accredited by NIST's National Voluntary Laboratory Accreditation Program (NVLAP) for Polarized Light Microscopy (PLM) analysis, Lab Code 102082-0. All analyses performed in accordance with EPA "Interim Method for the Determination of Asbestos in Bulk Insulation Samples" (EPA 600/M4-82-020), 1982 as found in 40 CFR, Part 763, Appendix E to Subpart E and "Method for the Determination of Asbestos in Bulk Building Materials" (EPA/600/R-93/116), 1993. These test results apply only to those samples actually tested, as submitted by the client. All percentages are reported by visually estimated volume. PLM is not consistently reliable in detecting small concentrations of asbestos in floor tiles and similar nonfriable materials, quantitative TEM is currently the only method that can be used to determine conclusive asbestos content.

This report must not be reproduced except in full without written approval of Analytical Environmental Services, Inc.

Microanalyst:

Yelena Khanina

QC Analyst:

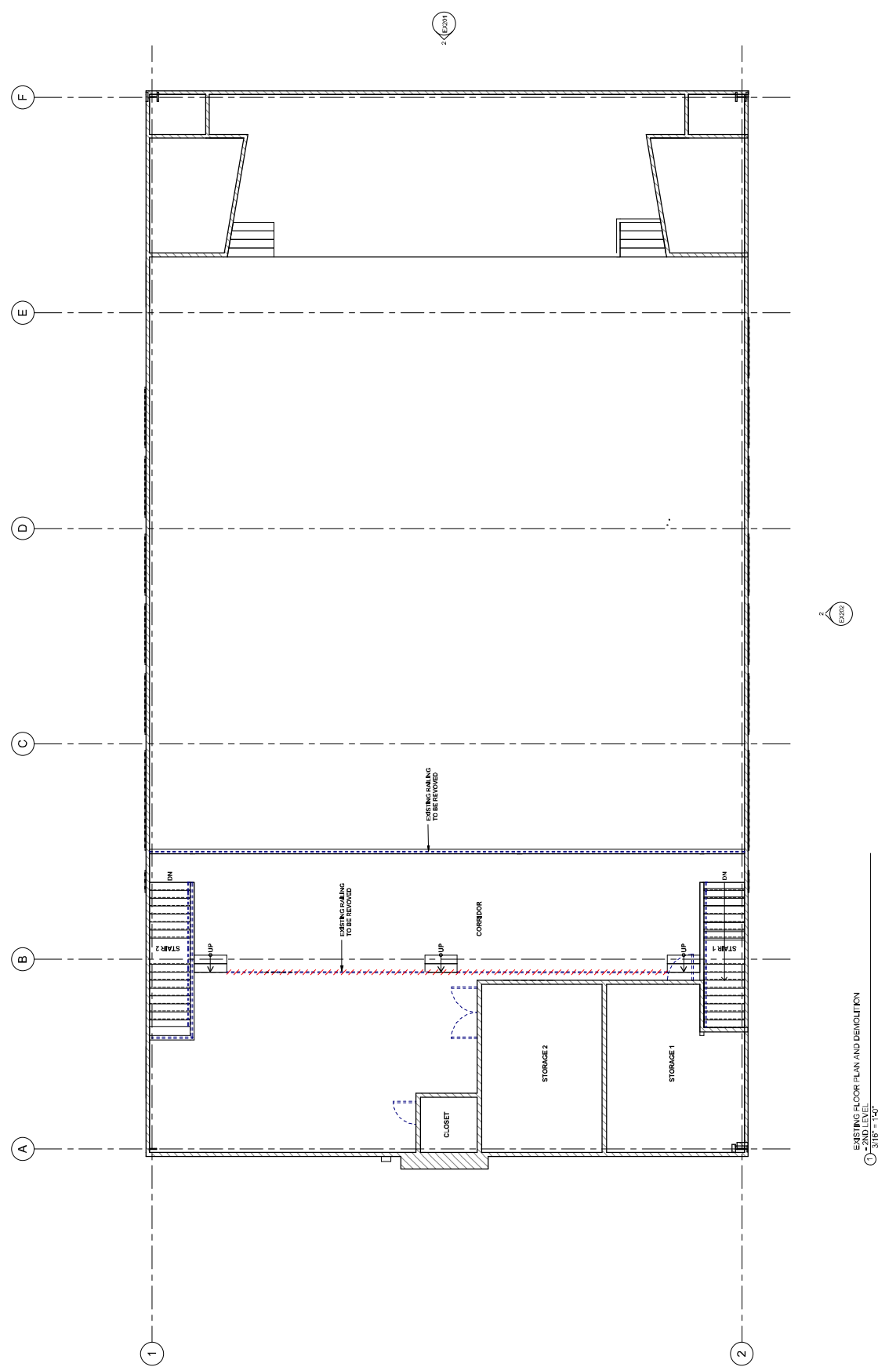
Svetlana Arkhipov

## **APPENDIX D: DEMOLITION PLANS**

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EXISTING FLOOR PLAN AND DEMOLITION  
1 - 2ND LEVEL  
3/16" = 1'-0"



ATTACHMENT 0000  
(2) Renovation to Plaza del Mercado in Santa Isabel Urban Center

LEAD BASED PAINT INSPECTION REPORT  
&  
ASBESTOS CONTAINING MATERIAL REPORT



# Asbestos Containing Building Materials Inspection Report

Project:

Plaza del Mercado  
Santa Isabel, Puerto Rico



Client:  
EM Achitects

**ZEM-22301**  
February 2023

---

Prepared By:

*Zimmetry Environmental Management, Corp.*  
*[www.zimmetry.com](http://www.zimmetry.com)*  
*[info@zimmetry.com](mailto:info@zimmetry.com)*

---



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## SECTION 1: EXECUTIVE SUMMARY

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### 1.1 INTRODUCTION

An Asbestos Containing Building Materials (ACBM) Inspection was conducted on January 25, 2023 at Plaza del Mercado in Santa Isabel, Puerto Rico. The asbestos containing building materials sampling was performed to identify material that contains asbestos fibers above allowable levels and to assist with the compliance of local, state and federal regulations.

### 1.2 SUMMARY OF PROPERTY EVALUATION

The project consisted of the evaluation of the interior and exterior of the aforementioned project. The evaluation found that asbestos fibers were present at the selective materials. For specific locations and additional details on the location of ACBM reference Sections 2 and 3. If suspected components and surfaces that were not previously evaluated are identified in the facilities they shall be considered as containing asbestos until the appropriate analysis is performed.

### 1.3 PROPERTY LOCATIONS OF BUILDING COMPONENTS WITH ASBESTOS

Table 1-1 summarizes the project components containing asbestos fibers. Details that identify positive asbestos findings within specific areas and on surfaces were provided in the Asbestos Sampling inspection report, Section 2. The quantification of positives materials presented in Table 1-1 is only an estimate. If an abatement of the materials will be conducted the Contractors shall estimate the amount of materials to be abated. If homogeneous materials that were not accounted for are identified in areas that are not described they shall be managed as asbestos containing material.

| Table 1-1: Summary of Building Components Containing Asbestos |                  |                       |
|---|------------------|-----------------------|
| Location (Area)   | Component        | Amount (Approx.)      |
| Roof Area   | Roofing Material | 5,700 Ft <sup>2</sup> |

Note:

1. The quantification of positives materials presented in this table is only an estimate. If an abatement of the materials will be conducted, the Contractors shall estimate the amount of materials to be abated.



## **SECTION 2: ASBESTOS CONTAINING BUILDING MATERIALS INSPECTION REPORT**

---

### **2.1 OVERVIEW OF THE EVALUATION**

This ACBM inspection is an evaluation to identify the location of material containing asbestos that exist within. Our scope of work services for this project consisted of the following tasks.

- A walk-through and observation of the site was performed.
- Bulk sampling of Suspected ACBM within the structure.
- Polarized Light Microscopy (PLM) Analysis of bulk samples.
- Final Inspection Report.

Throughout the inspection the following suspected ACBM were observed and sampled:

- Flashing
- Spray on Wall
- Roofing Material
- Vinyl Tile (12x12)

The sampling was conducted by the Department of Natural and Environmental Resources (DRNA) of Puerto Rico and United States Environmental Protection Agency (USEPA) accredited Inspectors qualified by experience, education and training in the recognition of potential ACBM and approved bulk sampling techniques. Some areas may not have been directly accessible due to the physical hazards encountered within. In these areas, if any, assumptions based on findings in other areas were made whenever possible. These assumptions, if any, are duly noted as such in this report.

The inspection was performed in accordance with Environmental Protection Agency recommended procedures found in EPA-450/2-78-014 (Parts I and II), EPA 560/5-85-024, and 40 CFR 763. These procedures call for the visual inspection of the building for suspect friable material and collection and analysis of representative samples of suspect material.

### **2.2 SAMPLING PROCEDURE AND RESULTS PRESENTATION**

The bulk sampling procedures utilized for the collection of the ACBM, required the establishment of homogeneous sampling areas. A homogeneous sampling area is defined as an area of friable or non-friable material of similar type that appears to be applied or constructed during the same time period.

Samples collected from these predetermined homogeneous sampling areas were labeled and transported for analysis. Sample locations were identified by their current use or functional space name. Each type of asbestos displays a unique property when subject to PLM. Properties are unique to crystalline asbestos form and; therefore, can be used to identify the type of asbestos mineral as chrysotile, amosite, crocidolite, anthophyllite, tremolite and actinolite.

Percentage of each asbestos mineral type is determined by visual estimation, by mixing the sample thoroughly to provide a more accurate percentage. Any material containing over one percentage (>1%) by weight of any type of asbestos mineral forms is considered by the USEPA to be asbestos containing material; and if disturbed, it must be handled according to specific State and Federal Regulations.

Twelve (12) samples of suspected materials were collected. It is our opinion that an acceptable minimum number of critical areas were sampled in keeping with the homogeneous nature of much of the material that was observed. Non-destructive sampling techniques were used. If they exist, walls, ceilings, columns and other inaccessible areas were not broken into. It should be noted that these inaccessible areas may contain ACBM which was not observed during the inspection. Any future construction or renovation should anticipate the presence of these materials.

The samples were received and analyzed by Analytical Environmental Services, Inc. in Atlanta GA (Certified Proficient by the National Institute of Science and Technology NVLAP program for bulk sample asbestos analysis; Laboratory Id 102082-0). The method of analysis was polarized light microscopy with dispersion staining, as recommended by the US EPA. This survey focused on the building materials, which are present throughout the interior and exterior of the building structure.

## **2.3 FINDINGS AND RECOMMENDATIONS**

### **2.3.1 INTRODUCTION**

This section describes the asbestos containing building materials (ACBM), which were observed in the inspection. Please note that the recommendations given are always the minimum action, which in our professional judgment should be taken.

There was one type of Asbestos Containing Building Materials found within the evaluated project:

- Roofing Material

If these materials are to be removed they should be managed and disposed by a licensed asbestos contractor and disposed of as contaminated waste in as approved asbestos landfill site.

### **2.3.2 SPECIFIC FINDINGS**

The following ACBM were found to contain more than one percent (1%) of asbestos by weight and are listed according to their homogeneous area:

#### **1. Roofing Material Samples: 22301-01, 22301-02 and 22301-03**

These materials are in a non-friable condition and the analytical result was 30% Chrysotile asbestos.

### **2.3.3 HOMOGENEOUS AREAS WITH SPECIAL CONSIDERATIONS**

NONE

### **2.3.4 SUSPECT MATERIALS PRESUMED TO BE ASBESTOS-CONTAINING MATERIALS WITHOUT LABORATORY ANALYSIS**

NONE



### **2.3.5 INACCESSIBLE AREAS**

NONE

### **2.4 CONDITIONS AND LIMITATIONS—DISCLAIMER**

Zimmetry Environmental Management Corp. has performed this asbestos containing building materials inspection in a thorough and professional manner consistent with commonly accepted industry standards. The Preparer cannot guarantee and does not warrant that this evaluation has identified all adverse environmental factors and/or conditions affecting this project on the date of the evaluation. If suspected materials are identified they shall be managed as containing asbestos until the appropriated laboratory analysis is performed. The quantification of positives materials presented in the table 1-1 is only an estimate. If an abatement of the materials will be conducted the Contractors shall estimate the amount of the materials to be abated.

The results reported and conclusions reached by the Preparer are solely for the benefit of the Owner and occupants. The results and opinions in this report, based solely on the conditions found at the project on the date of the evaluation, are valid only on that date. The Preparer assumes no obligation to advise the client of any changes in any real or potential asbestos hazards at this structure beyond the date of the project evaluation.

### **2.5 ABATEMENT CONDITIONS**

The US Environmental Protection Agency rules concerning the application, removal, and disposal of Asbestos Containing Building Materials (ACBM) were issued under the asbestos NESHAP (U.S. EPA National Emission Standards of Hazardous Air Pollutants, 40 CFR 61 Subpart M, October 30, 1987). The asbestos **N.E.S.H.A.P.** regulation governs asbestos demolition and renovation projects in all facilities. The NESHAP rule usually requires owners or operators to have all friable ACBM removed before a building is demolished, and may require its removal before a renovation. The Department of Natural and Environmental Resources (DRNA) of Puerto Rico requires inspecting the presence of Asbestos Containing Materials prior to buildings demolitions.

If the identified materials are to be removed, they should be managed following the work practices and procedures for the removal and disposal of asbestos containing materials by a licensed asbestos contractor and disposed of as contaminated waste in as approved asbestos landfill site. The Contractor shall comply with all the Department of Natural and Environmental Resources (DRNA) of Puerto Rico requirements. The Contractor has to submit to the DRNA the abatement work plan for its approval. The asbestos abatement is classified Class II for the miscellaneous materials by OSHA, which includes the abatement, packing and storage of asbestos. The abatement has to be performed without damaging any structure or adjacent area and protecting the safety and health of the employees and the general public.

## **2.6 ENVIRONMENTAL ASSESSMENT REPORT CERTIFICATION**

Zimmetry Environmental Management Corp. has performed this asbestos containing building materials inspection in a thorough and professional manner consistent with commonly accepted industry standards. The ACBM inspection was performed on January 25, 2023 by Miguel Peña, ASB-1122-0402-SI, qualified by experience, education and training in the recognition of asbestos containing materials and approved sampling techniques.



---

Miguel Peña  
Environmental Building Consultant

## **SECTION 3: APPENDICES**

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**Appendix A: Certifications, Licenses and Accreditations**

**Appendix B: Laboratory Results & Chain of Custody**

**Appendix C: Photographic Record**

**Appendix D: Location of Positive Materials**



## APPENDIX A: CERTIFICATIONS, LICENSES, AND ACCREDITATIONS

|   |  |
|---|--|
|  | <p>TARJETA DE REGISTRO<br/>PARA LA REMOCION DE ASBESTO</p> <p>Esta tarjeta autoriza a:</p> <p><b><i>Miguel A. Peña Ruiz</i></b><br/><b>Inspector</b></p> <p>A trabajar en la remoción de asbesto en<br/>Puerto Rico. Esta persona <b>NO</b> es un<br/>empleado del DRNA.</p> <p><br/>Firma Autorizada - Departamento<br/>Recursos Naturales y Ambientales</p> |
| <p><b>ASB-1122-0402-SI</b><br/>Número de Registro</p>                             |  |
| <p><b>30-oct-2023</b><br/>Fecha de vencimiento</p>                                |  |

## APPENDIX A: CERTIFICATIONS, LICENSES, AND ACCREDITATIONS

|  |  |
|--|--|
| <p>United States Department of Commerce<br/>National Institute of Standards and Technology</p> <p><b>NVLAP</b><sup>®</sup> </p> <hr/> <p><b>Certificate of Accreditation to ISO/IEC 17025:2017</b></p> <hr/>                                     |  |
| <p>NVLAP LAB CODE: 102082-0</p>  |  |
| <p><b>Analytical Environmental Services, Inc.</b><br/>Atlanta, GA</p>  |  |
| <p><i>is accredited by the National Voluntary Laboratory Accreditation Program for specific services,<br/>listed on the Scope of Accreditation, for:</i></p>   |  |
| <p><b>Asbestos Fiber Analysis</b></p>  |  |
| <p><i>This laboratory is accredited in accordance with the recognized International Standard ISO/IEC 17025:2017.<br/>This accreditation demonstrates technical competence for a defined scope and the operation of a laboratory quality<br/>management system (refer to joint ISO-ILAC-IAF Communique dated January 2009).</i></p> |  |
| <p>2022-10-01 through 2023-09-30<br/>Effective Dates</p>   | <div><p>For the National Voluntary Laboratory Accreditation Program</p></div> |

## **APPENDIX B: LABORATORY RESULTS AND CHAIN OF CUSTODY**

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2301V63

## ZIMMETRY ENVIRONMENTAL MANAGEMENT CORP.

PO BOX 3545 BAYAMÓN, PR 00958

(787)376-9010 Phone (787)995-0005 Fax

email: hpena@zimmetry.com Web: www.zimmetry.com

Analytical Environmental Services, Inc.

Accounts Receivable

3080 Presidential Drive, Atlanta GA 30340-3704

Phone (770) 457-8177 Fax (770) 457-8188

**CHAIN OF CUSTODY  
BULK ASBESTOS SAMPLE**Project Name: Plaza del MercadoContact: Harry PeñaProject Location: Santa Isabel, Puerto RicoSamplers Name: Miguel PeñaProject Number: ZEM-22301Sampling Date: 1/25/2023

|    | Sample ID | Sample Description       | Sample Location | Analysis Requested | Turnaround Time | Comments | For AES Use Only |
|----|-----------|--------------------------|-----------------|--------------------|-----------------|----------|------------------|
| 1  | 22301-01  | Roofing Material         | Roof Area       | PLM                | Regular         | 5 Days   |                  |
| 2  | 22301-02  | Roofing Material         | Roof Area       | PLM                | Regular         | 5 Days   |                  |
| 3  | 22301-03  | Roofing Material         | Roof Area       | PLM                | Regular         | 5 Days   |                  |
| 4  | 22301-04  | Flashing                 | Roof Area       | PLM                | Regular         | 5 Days   |                  |
| 5  | 22301-05  | Flashing                 | Roof Area       | PLM                | Regular         | 5 Days   |                  |
| 6  | 22301-06  | Spray On Wall            | Exterior Wall B | PLM                | Regular         | 5 Days   |                  |
| 7  | 22301-07  | Spray On Wall            | Exterior Wall C | PLM                | Regular         | 5 Days   |                  |
| 8  | 22301-08  | Spray On Wall            | Exterior Wall D | PLM                | Regular         | 5 Days   |                  |
| 9  | 22301-09  | Black Vinyl Tile (12x12) | Area 1-5        | PLM                | Regular         | 5 Days   |                  |
| 10 | 22301-10  | Black Vinyl Tile (12x12) | Area 1-5        | PLM                | Regular         | 5 Days   |                  |
| 11 | 22301-11  | White Vinyl Tile (12x12) | Area 1-5        | PLM                | Regular         | 5 Days   |                  |
| 12 | 22301-12  | White Vinyl Tile (12x12) | Area 1-5        | PLM                | Regular         | 5 Days   |                  |
| 13 |           |                          |                 |                    |                 |          |                  |
| 14 |           |                          |                 |                    |                 |          |                  |
| 15 |           |                          |                 |                    |                 |          |                  |
| 16 |           |                          |                 |                    |                 |          |                  |
| 17 |           |                          |                 |                    |                 |          |                  |
| 18 |           |                          |                 |                    |                 |          |                  |
| 19 |           |                          |                 |                    |                 |          |                  |
| 20 |           |                          |                 |                    |                 |          |                  |

Relinquished by: Alicia García

Date/Time: 1/25/2023 15:00

## FOR LAB USE ONLY

Lab Recipient: OC OPDate/Time: 1.27.23Method of Shipment: Fedex



3080 Presidential Drive  
Atlanta, GA 30340  
Tel : (770) 457-8177  
Fax: (770) 457-8188

# ANALYTICAL ENVIRONMENTAL SERVICES, INC.

## Bulk Sample Summary Report



Report Date: 2-Feb-23

Client Name: **Zimmetry Environmental Mgmt Corp.**

AES Job Number: **2301V63**

Project Name: **PLAZA DEL MERCADO**

Project Number: **ZEM-22301**

| Client ID            | AES ID           | Location         | Asbestos Mineral Percentage |    |    |    |    |    | Comments |
|----------------------|------------------|------------------|-----------------------------|----|----|----|----|----|----------|
|                      |                  |                  | CH                          | AM | CR | AN | TR | AC |          |
| 22301-01<br>Layer: 1 | 2301V63<br>-001A | ROOFING MATERIAL | ND                          | ND | ND | ND | ND | ND |          |
| 22301-01<br>Layer: 2 | 2301V63<br>-001A | ROOFING MATERIAL | ND                          | ND | ND | ND | ND | ND |          |
| 22301-01<br>Layer: 3 | 2301V63<br>-001A | ROOFING MATERIAL | ND                          | ND | ND | ND | ND | ND |          |
| 22301-01<br>Layer: 4 | 2301V63<br>-001A | ROOFING MATERIAL | 30                          | ND | ND | ND | ND | ND |          |
| 22301-02<br>Layer: 1 | 2301V63<br>-002A | ROOFING MATERIAL | ND                          | ND | ND | ND | ND | ND |          |
| 22301-02<br>Layer: 2 | 2301V63<br>-002A | ROOFING MATERIAL | ND                          | ND | ND | ND | ND | ND |          |

Note: CH=chrysotile, AM=amosite, CR=crocidolite, AC=actinolite, TR=tremolite, AN=anthophyllite

For comments on the samples, see the individual analysis sheets.

ND = None Detected

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These test results apply only to those samples actually tested, as submitted by the client. All percentages are reported by visually estimated volume.

PLM is not consistently reliable in detecting small concentrations of asbestos in floor tiles and similar nonfriable materials, quantitative TEM is currently the only method that can be used to determine conclusive asbestos content.

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Microanalyst:

Elena Ivanova

QC Analyst:

Yelena Khanina



3080 Presidential Drive  
Atlanta, GA 30340  
Tel : (770) 457-8177  
Fax: (770) 457-8188

# ANALYTICAL ENVIRONMENTAL SERVICES, INC.

## Bulk Sample Summary Report



Report Date: 2-Feb-23

Client Name: **Zimmetry Environmental Mgmt Corp.**

AES Job Number: **2301V63**

Project Name: **PLAZA DEL MERCADO**

Project Number: **ZEM-22301**

| Client ID            | AES ID           | Location         | Asbestos Mineral Percentage |    |    |    |    |    | Comments |
|----------------------|------------------|------------------|-----------------------------|----|----|----|----|----|----------|
|                      |                  |                  | CH                          | AM | CR | AN | TR | AC |          |
| 22301-02<br>Layer: 3 | 2301V63<br>-002A | ROOFING MATERIAL | ND                          | ND | ND | ND | ND | ND |          |
| 22301-02<br>Layer: 4 | 2301V63<br>-002A | ROOFING MATERIAL | 30                          | ND | ND | ND | ND | ND |          |
| 22301-03<br>Layer: 1 | 2301V63<br>-003A | ROOFING MATERIAL | ND                          | ND | ND | ND | ND | ND |          |
| 22301-03<br>Layer: 2 | 2301V63<br>-003A | ROOFING MATERIAL | ND                          | ND | ND | ND | ND | ND |          |
| 22301-03<br>Layer: 3 | 2301V63<br>-003A | ROOFING MATERIAL | ND                          | ND | ND | ND | ND | ND |          |
| 22301-03<br>Layer: 4 | 2301V63<br>-003A | ROOFING MATERIAL | 30                          | ND | ND | ND | ND | ND |          |

Note: CH=chrysotile, AM=amosite, CR=crocidolite, AC=actinolite, TR=tremolite, AN=anthophyllite

For comments on the samples, see the individual analysis sheets.

ND = None Detected

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## Bulk Sample Summary Report



Report Date: 2-Feb-23

Client Name: **Zimmetry Environmental Mgmt Corp.**

AES Job Number: **2301V63**

Project Name: **PLAZA DEL MERCADO**

Project Number: **ZEM-22301**

| Client ID            | AES ID           | Location      | Asbestos Mineral Percentage |    |    |    |    |    | Comments                 |
|----------------------|------------------|---------------|-----------------------------|----|----|----|----|----|--------------------------|
|                      |                  |               | CH                          | AM | CR | AN | TR | AC |                          |
| 22301-04<br>Layer: 1 | 2301V63<br>-004A | FLASHING      | ND                          | ND | ND | ND | ND | ND |                          |
| 22301-05<br>Layer: 1 | 2301V63<br>-005A | FLASHING      | ND                          | ND | ND | ND | ND | ND |                          |
| 22301-06<br>Layer: 1 | 2301V63<br>-006A | SPRAY ON WALL | ND                          | ND | ND | ND | ND | ND | Paint included as binder |
| 22301-06<br>Layer: 2 | 2301V63<br>-006A | SPRAY ON WALL | ND                          | ND | ND | ND | ND | ND |                          |
| 22301-07<br>Layer: 1 | 2301V63<br>-007A | SPRAY ON WALL | ND                          | ND | ND | ND | ND | ND | Paint included as binder |
| 22301-07<br>Layer: 2 | 2301V63<br>-007A | SPRAY ON WALL | ND                          | ND | ND | ND | ND | ND |                          |

Note: CH=chrysotile, AM=amosite, CR=crocidolite, AC=actinolite, TR=tremolite, AN=anthophyllite

For comments on the samples, see the individual analysis sheets.

ND = None Detected

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# ANALYTICAL ENVIRONMENTAL SERVICES, INC.

## Bulk Sample Summary Report



Report Date: 2-Feb-23

Client Name: **Zimmetry Environmental Mgmt Corp.**

AES Job Number: **2301V63**

Project Name: **PLAZA DEL MERCADO**

Project Number: **ZEM-22301**

| Client ID            | AES ID           | Location                 | Asbestos Mineral Percentage |    |    |    |    |    | Comments                                       |
|----------------------|------------------|--------------------------|-----------------------------|----|----|----|----|----|--|
|                      |                  |                          | CH                          | AM | CR | AN | TR | AC |  |
| 22301-08<br>Layer: 1 | 2301V63<br>-008A | SPRAY ON WALL            | ND                          | ND | ND | ND | ND | ND | Paint included as binder                       |
| 22301-08<br>Layer: 2 | 2301V63<br>-008A | SPRAY ON WALL            | ND                          | ND | ND | ND | ND | ND |  |
| 22301-09<br>Layer: 1 | 2301V63<br>-009A | BLACK VINYL TILE (12x12) | ND                          | ND | ND | ND | ND | ND | Floor tile. Paint included as binder           |
| 22301-10<br>Layer: 1 | 2301V63<br>-010A | BLACK VINYL TILE (12x12) | ND                          | ND | ND | ND | ND | ND | Floor tile. Paint included as binder           |
| 22301-11<br>Layer: 1 | 2301V63<br>-011A | WHITE VINYL TILE (12x12) | ND                          | ND | ND | ND | ND | ND | Floor tile with glue. Paint included as binder |
| 22301-12<br>Layer: 1 | 2301V63<br>-012A | WHITE VINYL TILE (12x12) | ND                          | ND | ND | ND | ND | ND | Floor tile with glue. Paint included as binder |

Note: CH=chrysotile, AM=amosite, CR=crocidolite, AC=actinolite, TR=tremolite, AN=anthophyllite

For comments on the samples, see the individual analysis sheets.

ND = None Detected

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## APPENDIX C: PHOTOGRAPHIC RECORD

|  |                           |  |
|--|---------------------------|--|
| <b>Photo No.</b><br>9237   | <b>Date:</b><br>1/25/2023 |  |
| <b>Description:</b><br><br><b>Roof Area</b><br>Asbestos containing roofing material. |                           |    |
| <b>Photo No.</b><br>9238   | <b>Date:</b><br>1/25/2023 |  |
| <b>Description:</b><br><br><b>Roof Area</b><br>Asbestos containing roofing material. |                           |  |

Photographic Documentation is for reference purposes and doesn't necessarily include all the surfaces with asbestos.



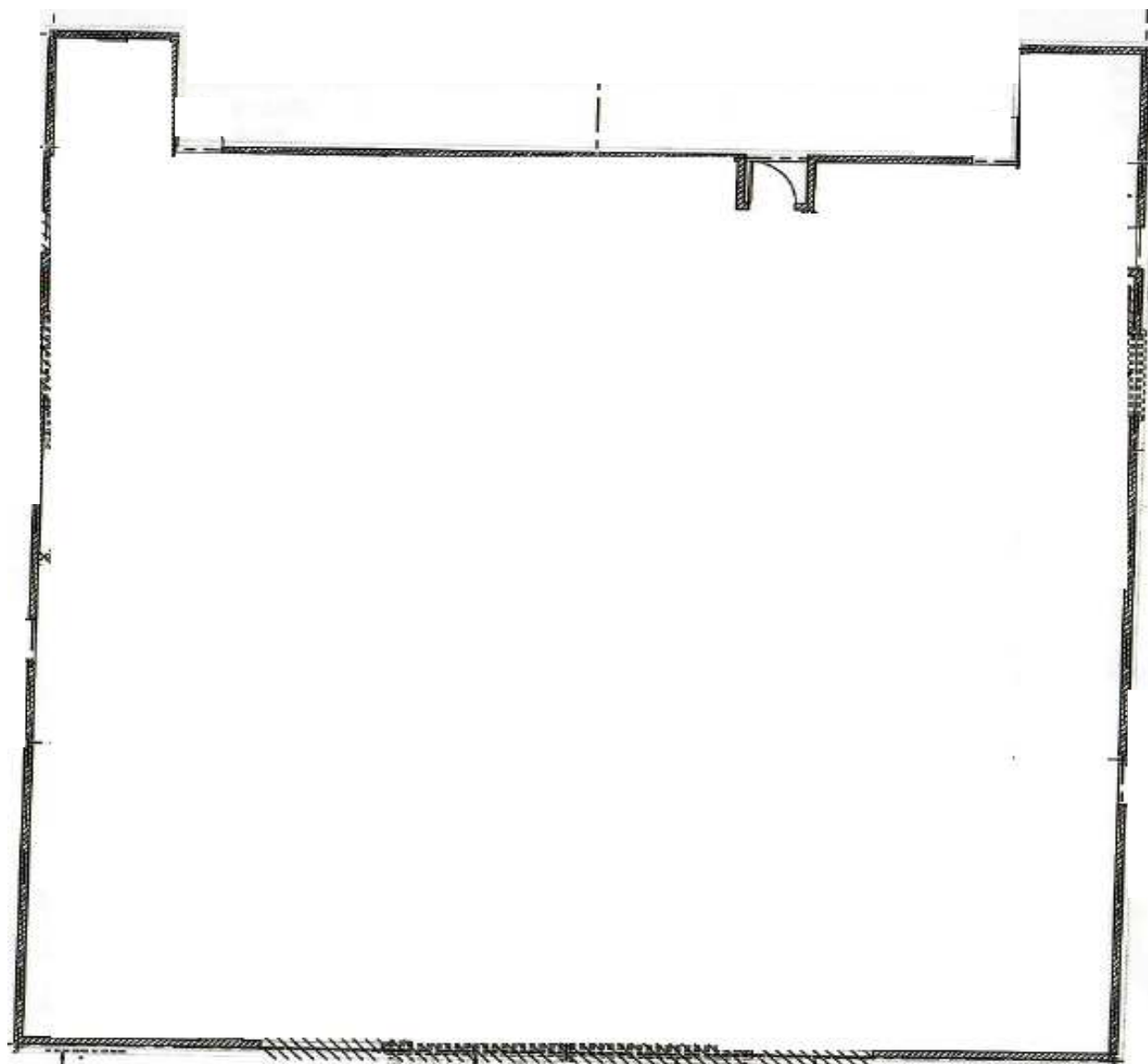
## **APPENDIX D: LOCATION OF POSITIVE MATERIALS**

---

C

B

D



## Asbestos Legend:

1 Roofing Material

### Note:

The layout of materials shown in this figure is for illustrative purposes only. For actual location and quantity of materials refer to the asbestos survey report dated February 2023

A

## Zimmetry Environmental Environmental Building Inspectors

Indoor Environmental Quality / Mold Assessments, Asbestos,  
Lead Base Paint Consulting – Phone – Fax (787) 995-0005

Project: Plaza del Mercado, Santa Isabel, Puerto Rico

Date: February, 2023

Project No: ZEM-22301

ATTACHMENT A

LOCATION MAP





PR-CRP-00759

PR-CRP-01153

ATTACHMENT B

**Airport Hazards**

24 CFR Part 51 Subpart D



(1) PR-CRP-001153 Padre Severo Ferrer Ave., Urb. Santiago Apóstol, Santa Isabel PR (17.969282°, -66.40927°)  
(2) PR-CRP-000759 Padre Severo Ferrer Ave., Urb. San Juan Apóstol, Santa Isabel PR (17.968903°, -66.409195°)

# Airport Hazards

Attachment B



February 11, 2024



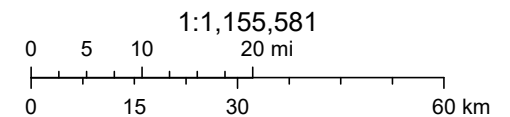
## Airport Points

Mercedita International Airport located at 55,508.9 feet

LMM International Airport located 224,211.20 feet away



PR-CRP-000759  
PR-CRP-001153



Earthstar Geographics, EPA OEI

<https://www.google.com/maps>





## ATTACHMENT C

### **Coastal Barrier Resources**

Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 [16 USC  
3501]



# U.S. Fish and Wildlife Service Coastal Barrier Resources System


Attachment C

Lat: 17.968965, Lon: -66.409165

- (1) Santa Isabel Multipurpose Building Francisco Robledo (PR-CRP-001153)
- (2) Renovations to Plaza del Mercado in Santa Isabel Urban Center (PR-CRP-000759)



April 17, 2023

 CBRS Buffer Zone  System Unit

## CBRS Units

 Otherwise Protected Area

 Project Area



This map is for general reference only. The Coastal Barrier Resources System (CBRS) boundaries depicted on this map are representations of the controlling CBRS boundaries, which are shown on the official maps, accessible at <https://www.fws.gov/library/collections/official-coastal-barrier-resources-system-maps>. All CBRS related data should be used in accordance with the layer metadata found on the CBRS Mapper website.

The CBRS Buffer Zone represents the area immediately adjacent to the CBRS boundary where users are advised to contact the Service for an official determination (<https://www.fws.gov/service/coastal-barrier-resources-system-property-documentation>) as to whether the property or project site is located "in" or "out" of the CBRS.

CBRS Units normally extend seaward out to the 20- or 30-foot bathymetric contour (depending on the location of the unit). The true seaward

This page was produced by the CBRS Mapper



U.S. Fish and Wildlife Service

Coastal Barrier Resources System Mapper Documentation



**CBRS Units**

|                          |                       |
|--------------------------|-----------------------|
| Otherwise Protected Area | CBRS Buffer Zone      |
| System Unit              | -66.409135, 17.968944 |

0 30 60 120 180 ft 1:2,257

The pin location displayed on the map is a point selected by the user. Failure of the user to ensure that the pin location displayed on this map correctly corresponds with the user supplied address/location description below may result in an invalid federal flood insurance policy. **The U.S. Fish and Wildlife Service (Service) has not validated the pin location with respect to the user supplied address/location description below. The Service recommends that all pin locations be verified by federal agencies prior to use of this map for the provision or denial of federal funding or financial assistance .** Please note that a structure bisected by the Coastal Barrier Resources System (CBRS) boundary (i.e., both "partially in" and "partially out") is within the CBRS and therefore affected by CBRA's restrictions on federal flood insurance. A pin placed on a bisected structure must be placed on the portion of the structure within the unit (including any attached features such as a deck or stairs).

**User Name:** PR-CRP-0759  
**User Organization:** Municipio de Santa Isabel  
**User Supplied Address/Location Description:** Santa Isabel PR  
**Pin Location:** Outside CBRS  
**Pin Flood Insurance Prohibition Date:** N/A  
**Pin System Unit Establishment Date:** N/A

The user placed pin location is not within the CBRS. For the nearest official CBRS map depicting this area, please see the map numbered 72-012A, dated 11/15/2016. The official CBRS maps are accessible at <https://www.fws.gov/library/collections/official-coastal-barrier-resources-system-maps>.

The CBRS information is derived directly from the CBRS web service provided by the Service. This map was exported on 4/16/2023 and does not reflect changes or amendments subsequent to this date. The CBRS boundaries on this map may become superseded by new boundaries over time.

This map image may be void if one or more of the following map elements do not appear: basemap imagery, CBRS unit labels, prohibition date labels, legend, scale bar, map creation date. For additional information about flood insurance and the CBRS, visit: <https://www.fws.gov/node/263838> .





## ATTACHMENT D

### **Flood Insurance**

Flood Disaster Protection Act of 1973 and National Flood Insurance Reform Act of 1994 [42 USC 4001-4128 and 42 USC 5154a]

# National Flood Hazard Layer FIRMeTte



## Legend Attachment D

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

|                             |  |   |
|-----------------------------|--|---|
| SPECIAL FLOOD HAZARD AREAS  |  | Without Base Flood Elevation (BFE)<br>Zone A, V, A99  |
|                             |  | With BFE or Depth Zone AE, AO, AH, VE, AR   |
|                             |  | Regulatory Floodway   |
| OTHER AREAS OF FLOOD HAZARD |  | 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X |
|                             |  | Future Conditions 1% Annual Chance Flood Hazard Zone X  |
|                             |  | Area with Reduced Flood Risk due to Levee. See Notes. Zone X  |
|                             |  | Area with Flood Risk due to Levee Zone D  |
| OTHER AREAS                 |  | NO SCREEN Area of Minimal Flood Hazard Zone X   |
|                             |  | Effective LOMRs   |
| GENERAL STRUCTURES          |  | Area of Undetermined Flood Hazard Zone D  |
|                             |  | Channel, Culvert, or Storm Sewer  |
|                             |  | Levee, Dike, or Floodwall   |
| OTHER FEATURES              |  | 20.2 Cross Sections with 1% Annual Chance Water Surface Elevation   |
|                             |  | 17.5  |
|                             |  | Coastal Transect  |
|                             |  | Base Flood Elevation Line (BFE)   |
|                             |  | Limit of Study  |
|                             |  | Jurisdiction Boundary   |
|                             |  | Coastal Transect Baseline   |
| MAP PANELS                  |  | Digital Data Available  |
|                             |  | No Digital Data Available   |
|                             |  | Unmapped  |



The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

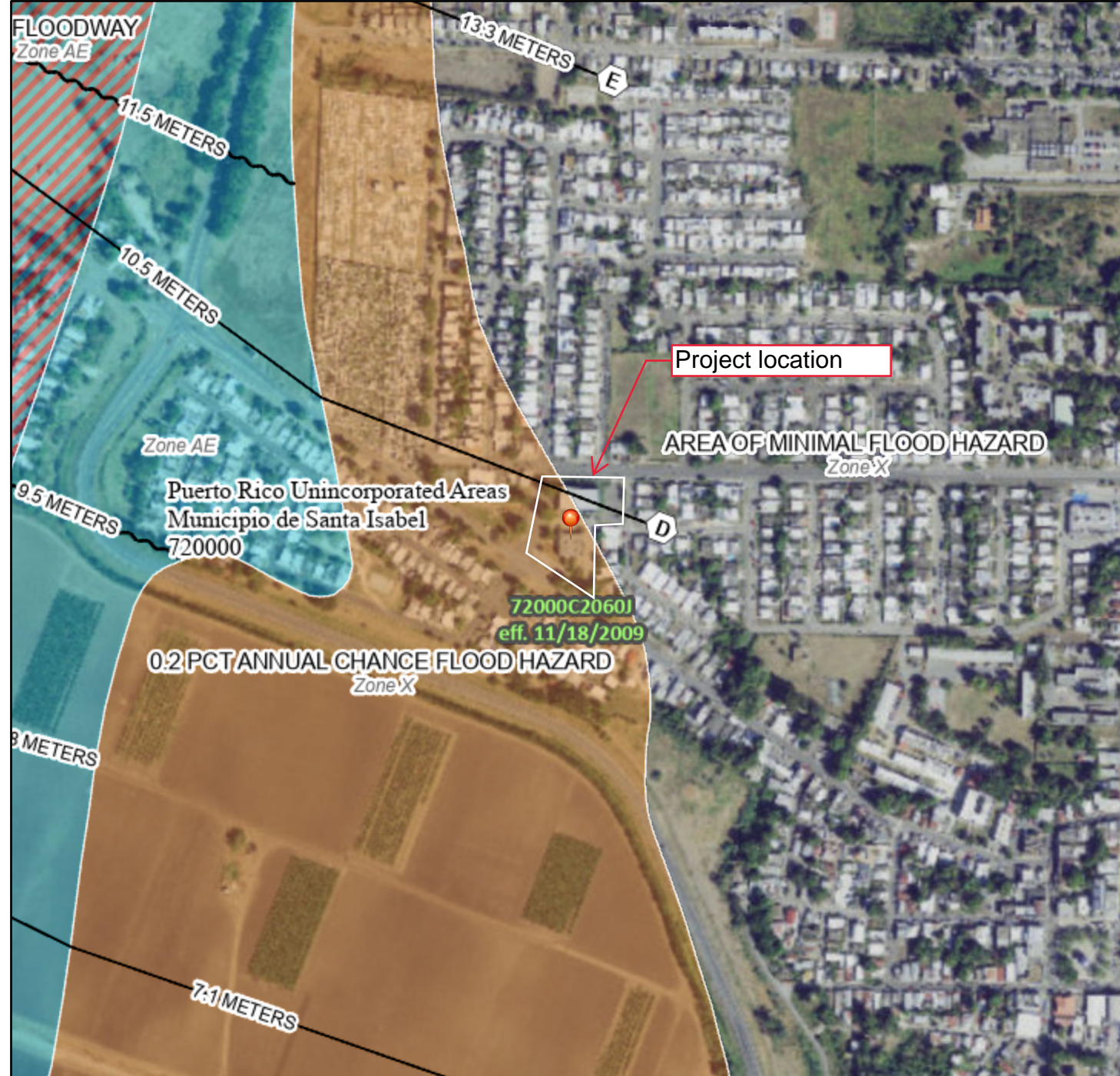
This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 4/16/2023 at 11:39 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

<https://msc.fema.gov/portal/home>

66°24'52"W 17°58'25"N



0 250 500 1,000 1,500 2,000 Feet 1:6,000 Lat: 17.968965, Lon: -66.409165  
Basemap: USGS National Map: Orthoimagery: Data refreshed October, 2020

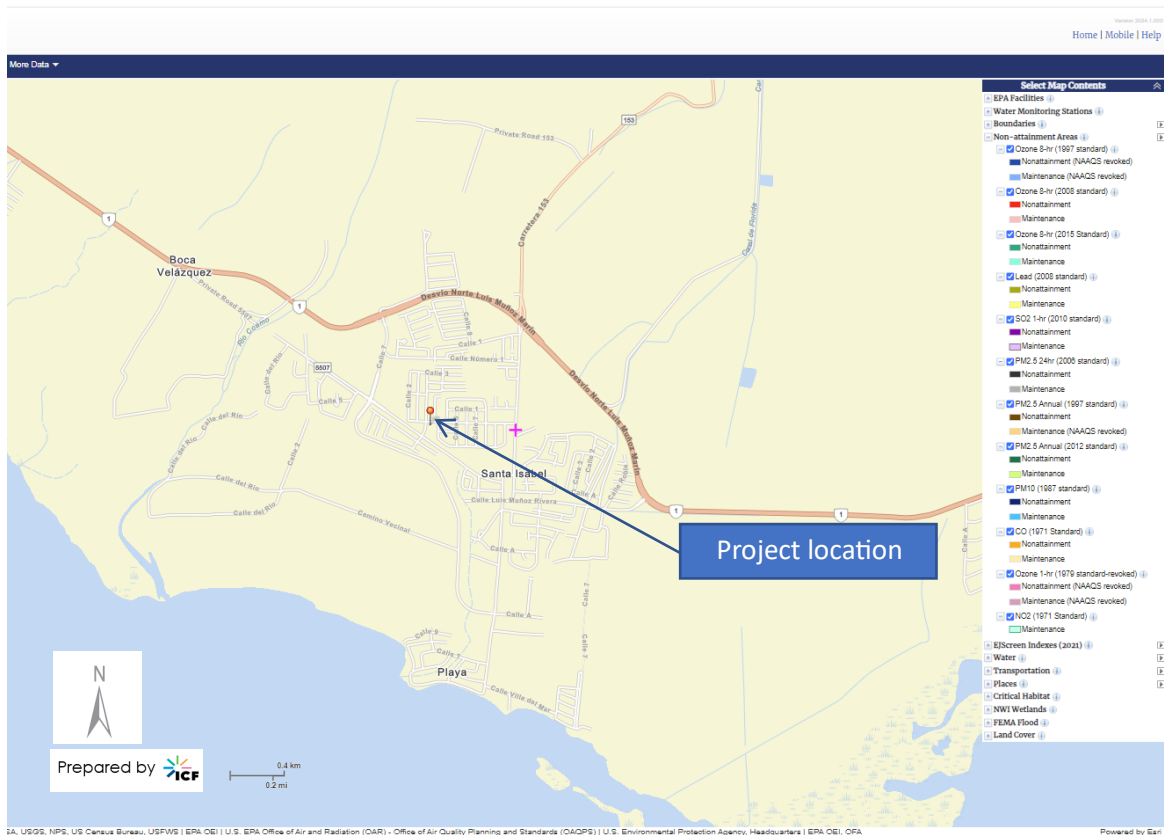
## ATTACHMENT E

### **Clean Air**

Clean Air Act, as amended, particularly section 176(c) & (d); 40 CFR Parts 6, 51, 93



# NON-ATTAINMENT AREA MAP



<https://www.epa.gov/nepa/nepassist>

Lat: 17.968965, Lon: -66.409165

- (1) Santa Isabel Multipurpose Building Francisco Robledo (PR-CRP-001153)
- (2) Renovations to Plaza del Mercado in Santa Isabel Urban Center (PR-CRP-000759)

Lat: 17.968965, Lon: -66.409165

(1) Santa Isabel Multipurpose Building Francisco Robledo (PR-CRP-001153)

(2) Renovations to Plaza del Mercado in Santa Isabel Urban Center (PR-CRP-000759)

You are here: EPA Home > Green Book > >National Area and County-Level Multi-Pollutant Information >Puerto Rico Nonattainment/Maintenance Status for Each County by Year for All Criteria Pollutants

## Puerto Rico Nonattainment/Maintenance Status for Each County by Year for All Criteria Pollutants

Data is current as of March 31, 2023. [https://www3.epa.gov/airquality/greenbook/anayo\\_pr.html](https://www3.epa.gov/airquality/greenbook/anayo_pr.html)

Listed by County, NAAQS, Area. The 8-hour Ozone (1997) standard was revoked on April 6, 2015 and the 1-hour Ozone (1979) standard was revoked on June 15, 2005.

\* The 1997 Primary Annual PM-2.5 NAAQS (level of 15  $\mu\text{g}/\text{m}^3$ ) is revoked in attainment and maintenance areas for that NAAQS. For additional information see the PM-2.5 NAAQS SIP Requirements Final Rule, effective October 24, 2016. (81 FR 58009)

Change the State:

PUERTO RICO

Important Notes

Download National Dataset: [dbf](#) | [xls](#) | [Data dictionary \(PDF\)](#)

| County             | NAAQS                 | Area Name            | Nonattainment in Year   | Redesignation to Maintenance | Classification | Whole or/Part County | Population (2010) | State/County FIPS Codes |
|--------------------|-----------------------|----------------------|---|------------------------------|----------------|----------------------|-------------------|-------------------------|
| <b>PUERTO RICO</b> |                       |                      |   |                              |                |                      |                   |                         |
| Arecibo Municipio  | Lead (2008)           | Arecibo, PR          | <input type="text"/> 1 <input type="text"/> 1 <input type="text"/> 12 <input type="text"/> 13 <input type="text"/> 14 <input type="text"/> 15 <input type="text"/> 16 <input type="text"/> 17 <input type="text"/> 18 <input type="text"/> 19 <input type="text"/> 20 <input type="text"/> 21 <input type="text"/> 22 <input type="text"/> 23   | //                           |                | Part                 | 32,185            | 72/013                  |
| Bayamon Municipio  | Sulfur Dioxide (2010) | San Juan, PR         | <input type="text"/> 18 <input type="text"/> 19 <input type="text"/> 20 <input type="text"/> 21 <input type="text"/> 22 <input type="text"/> 23   | //                           |                | Part                 | 22,921            | 72/021                  |
| Catano Municipio   | Sulfur Dioxide (2010) | San Juan, PR         | <input type="text"/> 18 <input type="text"/> 19 <input type="text"/> 20 <input type="text"/> 21 <input type="text"/> 22 <input type="text"/> 23   | //                           |                | Whole                | 28,140            | 72/033                  |
| Guaynabo Municipio | PM-10 (1987)          | Mun. of Guaynabo, PR | <input type="text"/> 92 <input type="text"/> 93 <input type="text"/> 94 <input type="text"/> 95 <input type="text"/> 96 <input type="text"/> 97 <input type="text"/> 98 <input type="text"/> 99 <input type="text"/> 00 <input type="text"/> 01 <input type="text"/> 02 <input type="text"/> 03 <input type="text"/> 04 <input type="text"/> 05 <input type="text"/> 06 <input type="text"/> 07 <input type="text"/> 08 <input type="text"/> 09 | 02/11/2010                   | Moderate       | Part                 | 90,470            | 72/061                  |
| Guaynabo Municipio | Sulfur Dioxide (2010) | San Juan, PR         | <input type="text"/> 18 <input type="text"/> 19 <input type="text"/> 20 <input type="text"/> 21 <input type="text"/> 22 <input type="text"/> 23   | //                           |                | Part                 | 23,802            | 72/061                  |
| Salinas Municipio  | Sulfur Dioxide (2010) | Guayama-Salinas, PR  | <input type="text"/> 18 <input type="text"/> 19 <input type="text"/> 20 <input type="text"/> 21 <input type="text"/> 22 <input type="text"/> 23   | //                           |                | Part                 | 23,401            | 72/123                  |
| San Juan Municipio | Sulfur Dioxide (2010) | San Juan, PR         | <input type="text"/> 18 <input type="text"/> 19 <input type="text"/> 20 <input type="text"/> 21 <input type="text"/> 22 <input type="text"/> 23   | //                           |                | Part                 | 147,963           | 72/127                  |
| Toa Baja Municipio | Sulfur Dioxide (2010) | San Juan, PR         | <input type="text"/> 18 <input type="text"/> 19 <input type="text"/> 20 <input type="text"/> 21 <input type="text"/> 22 <input type="text"/> 23   | //                           |                | Part                 | 52,441            | 72/137                  |

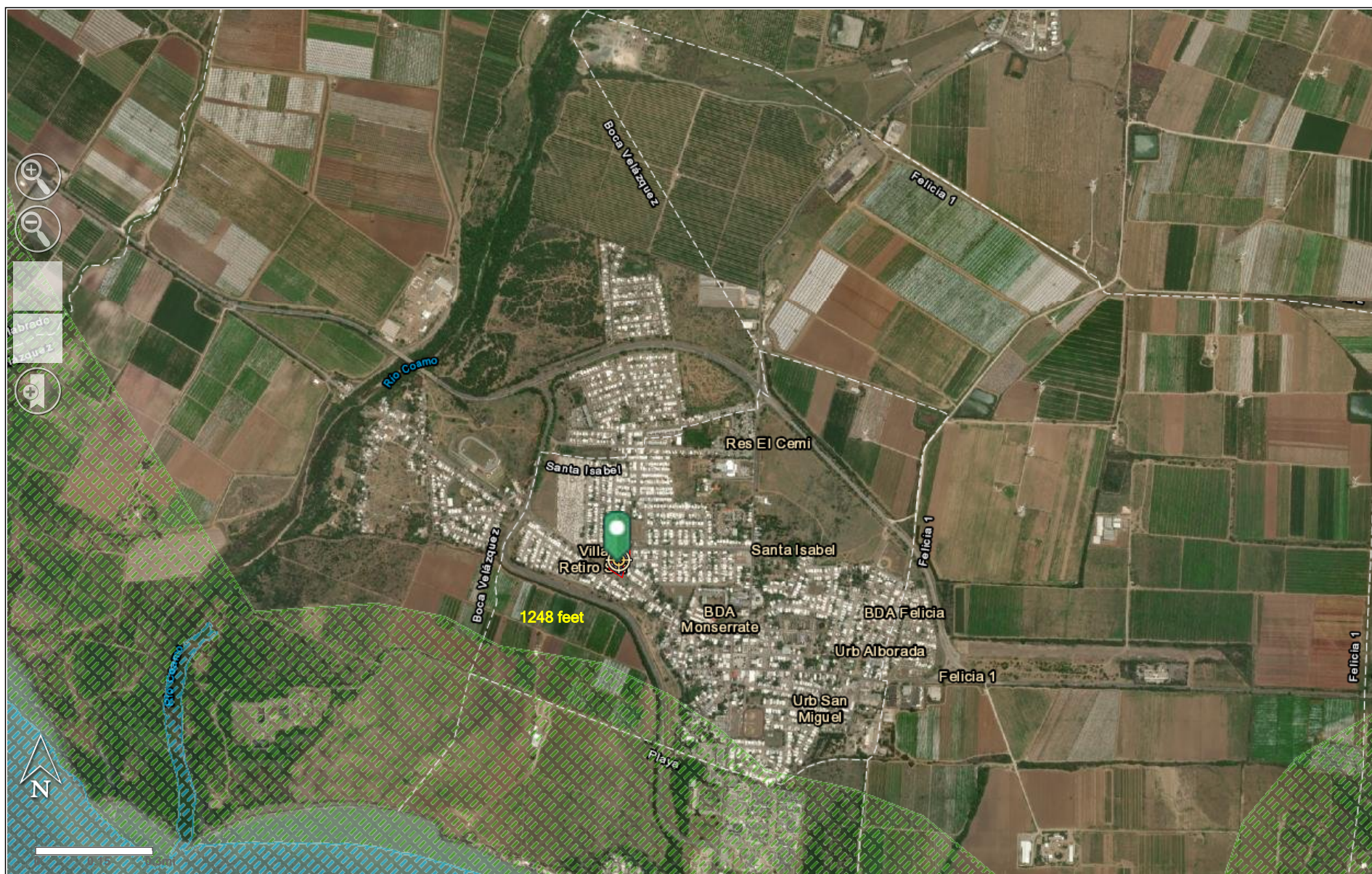
Important Notes

ATTACHMENT F

**Coastal Zone Management**

Coastal Zone Management Act, sections 307(c) & (d)





## Coastal Zone Management



- (1) Santa Isabel Multipurpose Building Francisco Robledo (PR-CRP-001153)
- (2) Renovations to Plaza del Mercado in Santa Isabel Urban Center (PR-CRP-000759)



Attachment F

Lat: 17.968965, Lon: -66.409165

ATTACHMENT G

**Contamination and Toxic Substances**

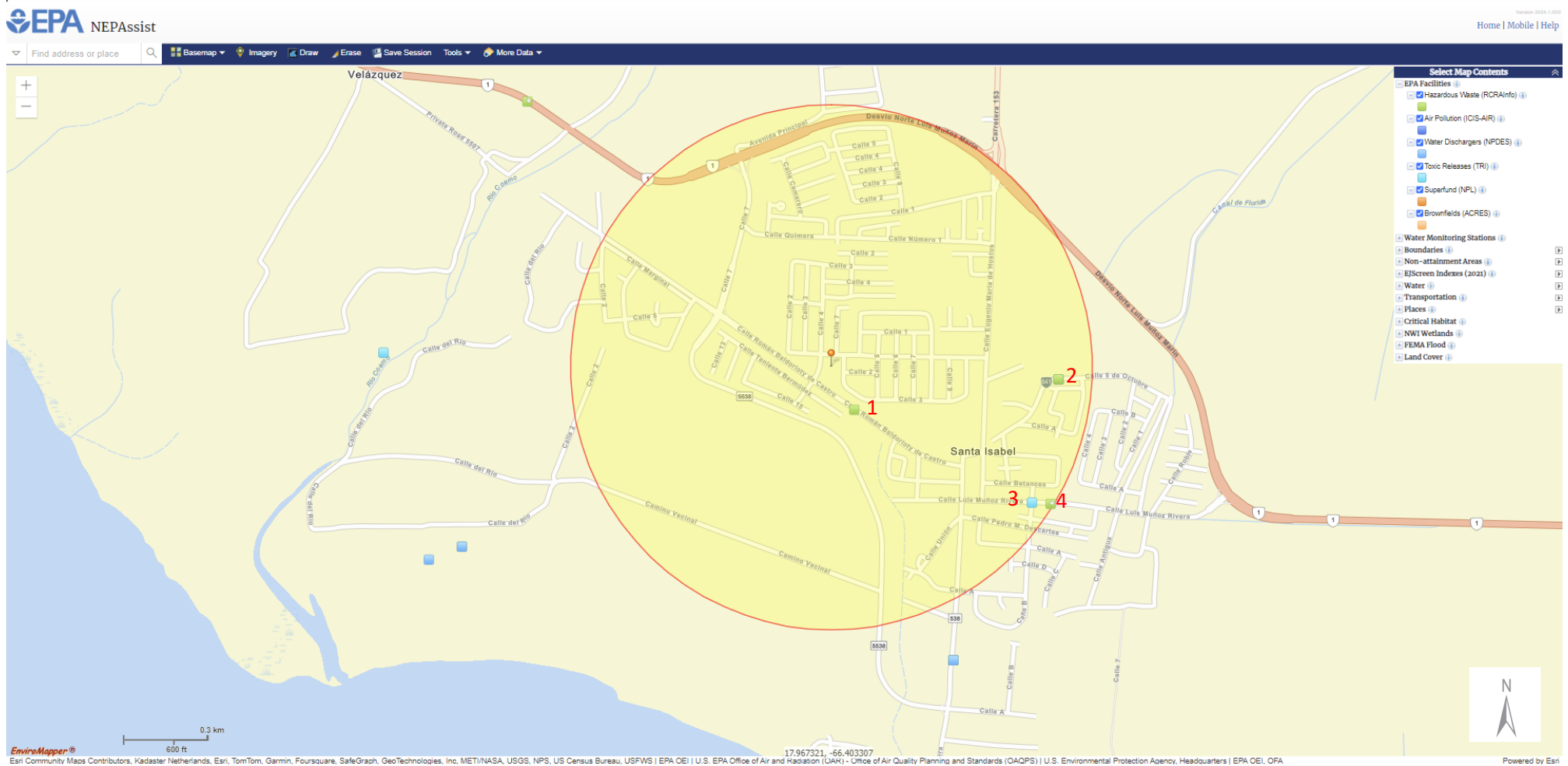
24 CFR Part 50.3(i) & 58.5(i)(2)



Lat: 17.968965, Lon: -66.409165

## Contamination and Hazardous Substances

- (1) Santa Isabel Multipurpose Building Francisco Robledo (PR-CRP-001153)
- (2) Renovations to Plaza del Mercado in Santa Isabel Urban Center (PR-CRP-000759)




<https://nepassisttool.epa.gov/nepassist/nepamap.aspx> accessed February 27, 2024

Prepared by  ICF



## Contamination and Hazardous Sites on Map

| ID | EPA Facility               | Distance and Direction From Project Site | Description  |
|----|----------------------------|--|--|
| 1  | Hazardous Waste (RCRAInfo) | 0.1 miles southeast                      | Esso Standard Oil Co Pr Co-429<br>71 BALDORIOTY CALLE<br>SANTA ISABEL, PR 00757              |
| 2  | Air Pollution (ICIS-AIR)   | 0.5 miles east                           | Dyetex Pr, Inc.<br>CARR 538 & CALLE A<br>SANTA ISABEL, PR 00757                              |
|    | Hazardous Waste (RCRAInfo) | 0.5 miles east                           | Dyetex Pr, Inc.<br>CARR 538 & CALLE A<br>SANTA ISABEL, PR 00757                              |
| 3  | Toxic Releases (TRI)       | 0.5 miles southeast                      | Northrop Grumman Pei Site 1<br>CALLE MUNOZ RIVERA #112<br>SANTA ISABEL, PR 007572662         |
|    | Hazardous Waste (RCRAInfo) | 0.5 miles southeast                      | Northrop Grumman Pei Site 1<br>CALLE MUNOZ RIVERA #112<br>SANTA ISABEL, PR 007572662         |
| 4  | Hazardous Waste (RCRAInfo) | 0.6 miles southeast                      | LUMA - SANTA ISABEL DISTRICT OFFICE – LINES<br>100 MUNOZ RIVERA ST<br>SANTA ISABEL, PR 00757 |
|    | Hazardous Waste (RCRAInfo) | 0.6 miles southeast                      | FONTANEZ SERVICE STATION<br>104 MUNOZ RIVERA<br>SANTA ISABEL, PR 00757                       |

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## Facility Information

**ESSO STANDARD OIL CO PR CO-429**

**Handler ID: PRR000017939**

**71 BALDORIOTY CALLE**

**SANTA ISABEL, PR 00757**

**County Name: SANTA ISABEL**

**Latitude: 17.96792**

**Longitude: -66.40833**

**Hazardous Waste Generator:**

**Owner Name: ESSO STANDARD OIL CO**

**PR**

# BIENNIAL REPORT SUMMARY

No Biennial Report data is available for the facility listed above.

## LIST OF FACILITY CONTACTS

| NAME         | STREET        | CITY     | STATE | ZIP CODE |
|--------------|---------------|----------|-------|----------|
| MELIZA PEREZ | PO BOX 364269 | GUAYNABO | PR    | 00936-42 |
| MELIZA PEREZ | PO BOX 364269 | GUAYNABO | PR    | 00936-42 |



## HANDLER / FACILITY CLASSIFICATION

Unspecified Universe for the facility listed above.

| HANDLER TYPE      |
|-------------------|
| Not in a universe |

## LIST OF PROCESS UNIT INFORMATION FOR GROUP

<[https://epa.gov/envirofacts/metadata/table/rcra/rcr\\_pm\\_unit](https://epa.gov/envirofacts/metadata/table/rcra/rcr_pm_unit)>

No Process Information is available for the facility listed above.


## LIST OF NAICS CODES AND DESCRIPTIONS

No NAICS Codes are available for the facility listed above.

## LIST OF WASTE CODES AND DESCRIPTIONS

No Waste Codes are available for the facility listed above.



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## Facility Information

**DYE TEX PUERTO RICO INC**

**Handler ID: PRN008003451**

**RD 558 A ST**

**SANTA ISABEL, PR 00757**

**County Name: SANTA ISABEL**

**Latitude: 17.968882**

**Longitude: -66.401556**

**Hazardous Waste Generator:**

**Owner Name: UNKNOWN**

# BIENNIAL REPORT SUMMARY

No Biennial Report data is available for the facility listed above.

## LIST OF FACILITY CONTACTS

| NAME         | STREET      | CITY         | STATE | ZIP CODE |
|--------------|-------------|--------------|-------|----------|
| FELIX TORRES | RD 558 A ST | SANTA ISABEL | PR    | 00757    |
| FELIX TORRES | RD 558 A ST | SANTA ISABEL | PR    | 00757    |



## HANDLER / FACILITY CLASSIFICATION

Unspecified Universe for the facility listed above.

| HANDLER TYPE      |
|-------------------|
| Not in a universe |

## LIST OF PROCESS UNIT INFORMATION FOR GROUP

<[https://epa.gov/envirofacts/metadata/table/rcra/rcr\\_pm\\_unit](https://epa.gov/envirofacts/metadata/table/rcra/rcr_pm_unit)>

No Process Information is available for the facility listed above.

## LIST OF NAICS CODES AND DESCRIPTIONS

No NAICS Codes are available for the facility listed above.

## LIST OF WASTE CODES AND DESCRIPTIONS

No Waste Codes are available for the facility listed above.

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Plant Information

DYETEX PR, INC.  
SANTA ISABEL INDUSTRIAL PARK  
SANTA ISABEL, PR 00757  
EPA Plant ID: 110038775251

|                                 |                     |                                       |   |
|---------------------------------|---------------------|---------------------------------------|---|
| Operating Status:               | O                   | HPV Flag:                             |   |
| Operating Status Description:   | OPERATING           | State Registration Number:            | PFE68-0499-0467   |
| State County Compliance Source: | 7213300019          | Government Facility Code Description: | PRIVATELY OWNED/OPERATED  |
| Region Code:                    | 02                  | Class Code:                           | <div><div>B</div><div></div></div>               |
| Primary SIC Code:               | 2259                | Class Code Description:               | <div>POTENTIAL UNCONTROLLED EM</div> <div></div> |
| Primary SIC Description:        | KNITTING MILLS, NEC | Compliance Status:                    | <div>9</div> <div></div>                         |
| NAICS Code:                     |                     | Compliance Status Description:        | <div>IN COMPLIANCE - SHUT DOWN</div> <div></div> |
| NAICS Code Description:         |                     | Date Plant Information Last Updated:  | 03/19/2010  |



## Air Program Information

| Air Program Code | Air Program Description | Air Program Status | Air Program Status Description | Air Program Subpart | Air Program Subpart Description | Class Code   | Class Code Description               |
|------------------|-------------------------|--------------------|--------------------------------|---------------------|---------------------------------|--------------|--------------------------------------|
| 0                | SIP                     | O                  | OPERATING                      |                     |                                 | <div>B</div> | <div>POTENTIAL UNCONTROLLED EM</div> |
| 9                | NSPS                    | X                  | PERMANENTLY CLOSED             |                     |                                 | <div>B</div> | <div>POTENTIAL UNCONTROLLED EM</div> |

## Pollutant Data

| Air Program Code | Pollutant Code / CAS Number | Pollutant / CAS Description | Attain Indicator | Attain Indicator Description | Pollutant Compliance Status | ES Pollutant Compliance Description | Pollutant Class Code | Pollutant Description     |
|------------------|-----------------------------|-----------------------------|------------------|------------------------------|-----------------------------|-------------------------------------|----------------------|---------------------------|
| 0                | CO                          | CARBON MONOXIDE             | A                | ATTAINMENT AREA FOR A GIV    | 9                           | IN COMPLIANCE - SHUT DOWN           | B                    | POTENTIAL UNCONTROLLED EM |
| 0                | NO2                         | NITROGEN DIOXIDE            | A                | ATTAINMENT AREA FOR A GIV    | 9                           | IN COMPLIANCE - SHUT DOWN           | B                    | POTENTIAL UNCONTROLLED EM |
| 0                | OD                          | ODORS                       | A                | ATTAINMENT AREA FOR A GIV    | 9                           | IN COMPLIANCE - SHUT DOWN           | B                    | POTENTIAL UNCONTROLLED EM |
| 0                | PM10                        | PARTICULATE MATTER < 10 UM  | A                | ATTAINMENT AREA FOR A GIV    | 9                           | IN COMPLIANCE - SHUT DOWN           | B                    | POTENTIAL UNCONTROLLED EM |

| Air Program Code | Pollutant Code / CAS Number | Pollutant / CAS Description | Attain Indicator | Attain Indicator Description | Pollutant Compliance Status | ES Pollutant Compliance Description | Pollutant Class Code | Pollutant Description  |
|------------------|-----------------------------|-----------------------------|------------------|------------------------------|-----------------------------|-------------------------------------|----------------------|------------------------|
| 0                | PT                          | TOTAL PARTICULATE MATTER    | A                | ATTAINMENT AREA FOR A GIV    | 9                           | IN COMPLIANCE - SHUT DOWN           | B                    | POTENTIAL UNCOMPLIANCE |
| 0                | SO2                         | SULFUR DIOXIDE              | A                | ATTAINMENT AREA FOR A GIV    | 9                           | IN COMPLIANCE - SHUT DOWN           | B                    | POTENTIAL UNCOMPLIANCE |
| 0                | VE                          | VISIBLE EMISSIONS           | A                | ATTAINMENT AREA FOR A GIV    | 9                           | IN COMPLIANCE - SHUT DOWN           | B                    | POTENTIAL UNCOMPLIANCE |
| 0                | VOC                         | VOLATILE ORGANIC COMPOUNDS  | A                | ATTAINMENT AREA FOR A GIV    | 9                           | IN COMPLIANCE - SHUT DOWN           | B                    | POTENTIAL UNCOMPLIANCE |
| 9                | PM10                        | PARTICULATE MATTER < 10 UM  | A                | ATTAINMENT AREA FOR A GIV    | 9                           | IN COMPLIANCE - SHUT DOWN           | B                    | POTENTIAL UNCOMPLIANCE |
| 9                | PT                          | TOTAL PARTICULATE MATTER    | A                | ATTAINMENT AREA FOR A GIV    | 9                           | IN COMPLIANCE - SHUT DOWN           | B                    | POTENTIAL UNCOMPLIANCE |
| 9                | SO2                         | SULFUR DIOXIDE              | A                | ATTAINMENT AREA FOR A GIV    | 9                           | IN COMPLIANCE - SHUT DOWN           | B                    | POTENTIAL UNCOMPLIANCE |
| 9                | VE                          | VISIBLE EMISSIONS           | A                | ATTAINMENT AREA FOR A GIV    | 9                           | IN COMPLIANCE - SHUT DOWN           | B                    | POTENTIAL UNCOMPLIANCE |

#### Compliance Monitoring Strategy

| CMS Start Date | FY2008 CMS Indicator | FY2008 CMS Indicator Description | FY2009 CMS Indicator | FY2009 CMS Indicator Description |
|----------------|----------------------|----------------------------------|----------------------|----------------------------------|
|                |                      |                                  |                      |                                  |

## Plant Actions

| Action Number | Key Action Numbers | Air Program Codes | National Action Type | National Action Description | Action Type | Action Description                       | Date Achieved | Penalty Amount | Result Code |
|---------------|--------------------|-------------------|----------------------|-----------------------------|-------------|--|---------------|----------------|-------------|
| 00004         |                    | 0                 | PS                   | STATE/LOCAL PCE/ON-SITE     | S8          | INSPECTION BY STATE - LEVEL 2 OR GREATER | 13-SEP-02     |                | 06          |
| 00004         |                    | 9                 | PS                   | STATE/LOCAL PCE/ON-SITE     | S8          | INSPECTION BY STATE - LEVEL 2 OR GREATER | 13-SEP-02     |                | 06          |
| 00003         |                    | 0                 | PS                   | STATE/LOCAL PCE/ON-SITE     | S8          | INSPECTION BY STATE - LEVEL 2 OR GREATER | 13-SEP-02     |                | 06          |
| 00003         |                    | 9                 | PS                   | STATE/LOCAL PCE/ON-SITE     | S8          | INSPECTION BY STATE - LEVEL 2 OR GREATER | 13-SEP-02     |                | 06          |
| 00002         |                    | 0                 | PS                   | STATE/LOCAL PCE/ON-SITE     | S8          | INSPECTION BY STATE - LEVEL 2 OR GREATER | 28-SEP-01     |                | 06          |
| 00001         |                    | 0                 | 7C                   | STATE/LOCAL NOV ISSUED      | L1          | NOV ISSUED BY STATE                      | 11-MAY-01     |                | MV          |



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## TRI Facility Report: WESTINGHOUSE ELECTRIC CORP PRODUCTOS ELECTRONICOS/PEI #1 (00757PRDCTCALLE)

### Facility Information

---

|                                      |                           |   |                           |
|--------------------------------------|---------------------------|---|---------------------------|
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| <a href="#">MANAGEMENT</a>           | <a href="#">RELEASES</a>  | <a href="#">WATER RELEASES</a>            | <a href="#">TRANSFERS</a> |
| <a href="#">CLASSIC VIEW</a>         |                           |   |                           |

---

|                 |   |                |                 |
|-----------------|---|----------------|-----------------|
| Facility Name   | WESTINGHOUSE ELECTRIC CORP PRODUCTOS ELECTRONICOS/PEI #1  | TRI ID         | 00757PRDCTCALLE |
| Address         | CALLE MUNOZ RIVERA 112 SANTA ISABEL, PR, 00757            | FRS ID         | 110009436413    |
| Mailing Name    | WESTINGHOUSE ELECTRIC CORP. PRODUCTOS ELECTRONICOS/PEI #1 | DUNS Number    | 001343953       |
| Mailing Address | P.O. BOX 2802 SANTA ISABEL, PR, 00757                     | Parent Company |                 |
| County          | SANTA ISABEL MUNICIPIO                                    | Public Contact | ELIEZER RIVERA  |
| EPA Region      | 2   | Phone          | (809) 845-3590  |

Information is for the most recent reporting year

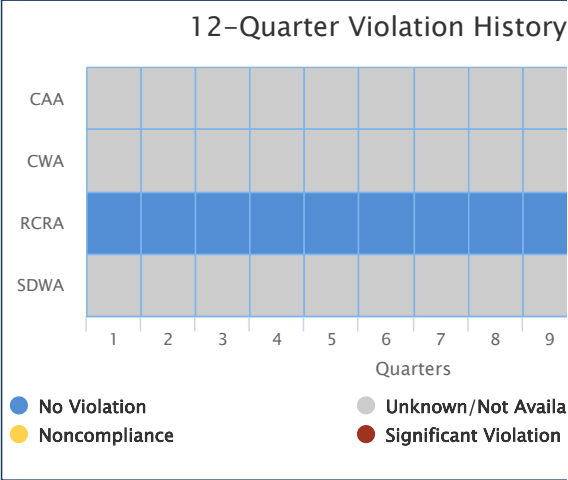
*\*You can navigate within the map with your mouse.*

Other Regulatory Data


No data to display

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## Facility Information

**FONTANEZ SERVICE STATION**

**Handler ID: PRO007001589**

**104 MUNOZ RIVERA**

**SANTA ISABEL, PR 00757**

**County Name: SANTA ISABEL**

**Latitude: 17.964845**

**Longitude: -66.400527**

**Hazardous Waste Generator:**

**Owner Name: NON REGULATED**



# BIENNIAL REPORT SUMMARY

No Biennial Report data is available for the facility listed above.

## LIST OF FACILITY CONTACTS

| NAME | STREET       | CITY         | STATE | ZIP CODE |
|------|--------------|--------------|-------|----------|
|      | MUNOZ RIVERA | SANTA ISABEL | PR    | 00757    |
|      | MUNOZ RIVERA | SANTA ISABEL | PR    | 00757    |



## HANDLER / FACILITY CLASSIFICATION

Unspecified Universe for the facility listed above.

| HANDLER TYPE      |
|-------------------|
| Not in a universe |

## LIST OF PROCESS UNIT INFORMATION FOR GROUP

<[https://epa.gov/envirofacts/metadata/table/rcra/rcr\\_pm\\_unit](https://epa.gov/envirofacts/metadata/table/rcra/rcr_pm_unit)>

No Process Information is available for the facility listed above.

## LIST OF NAICS CODES AND DESCRIPTIONS

No NAICS Codes are available for the facility listed above.

## LIST OF WASTE CODES AND DESCRIPTIONS

No Waste Codes are available for the facility listed above.

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## Facility Information

**NORTHROP GRUMMAN PEI SITE 1****Handler ID: PRD105815013****CALLE MUNOZ RIVERA #112****SANTA ISABEL, PR 00757-2662****County Name: SANTA ISABEL****Latitude: 17.965006****Longitude: -66.402443****Hazardous Waste Generator:****Owner Name:**

## BIENNIAL REPORT SUMMARY

| REPORT YEAR | GENERATION<br>(Tons) | MANAGEMENT<br>(Tons) | WASTE<br>RECEIVED<br>(Tons) | WASTE<br>SHIPPEI<br>(Tons) |
|-------------|----------------------|----------------------|-----------------------------|----------------------------|
| 2007 <>     | 3.2                  |                      |                             | 3.2                        |



## LIST OF FACILITY CONTACTS

| NAME | STREET      | CITY         | STATE | ZIP CODE |
|------|-------------|--------------|-------|----------|
|      | PO BOX 2802 | SANTA ISABEL | PR    | 00757-28 |
|      | PO BOX 2802 | SANTA ISABEL | PR    | 00757-28 |



## HANDLER / FACILITY CLASSIFICATION

Unspecified Universe for the facility listed above.

| HANDLER TYPE      |
|-------------------|
| Not in a universe |

## LIST OF PROCESS UNIT INFORMATION FOR GROUP

<[https://epa.gov/envirofacts/metadata/table/rcra/rcr\\_pm\\_unit](https://epa.gov/envirofacts/metadata/table/rcra/rcr_pm_unit)>

No Process Information is available for the facility listed above.

## LIST OF NAICS CODES AND DESCRIPTIONS

No NAICS Codes are available for the facility listed above.

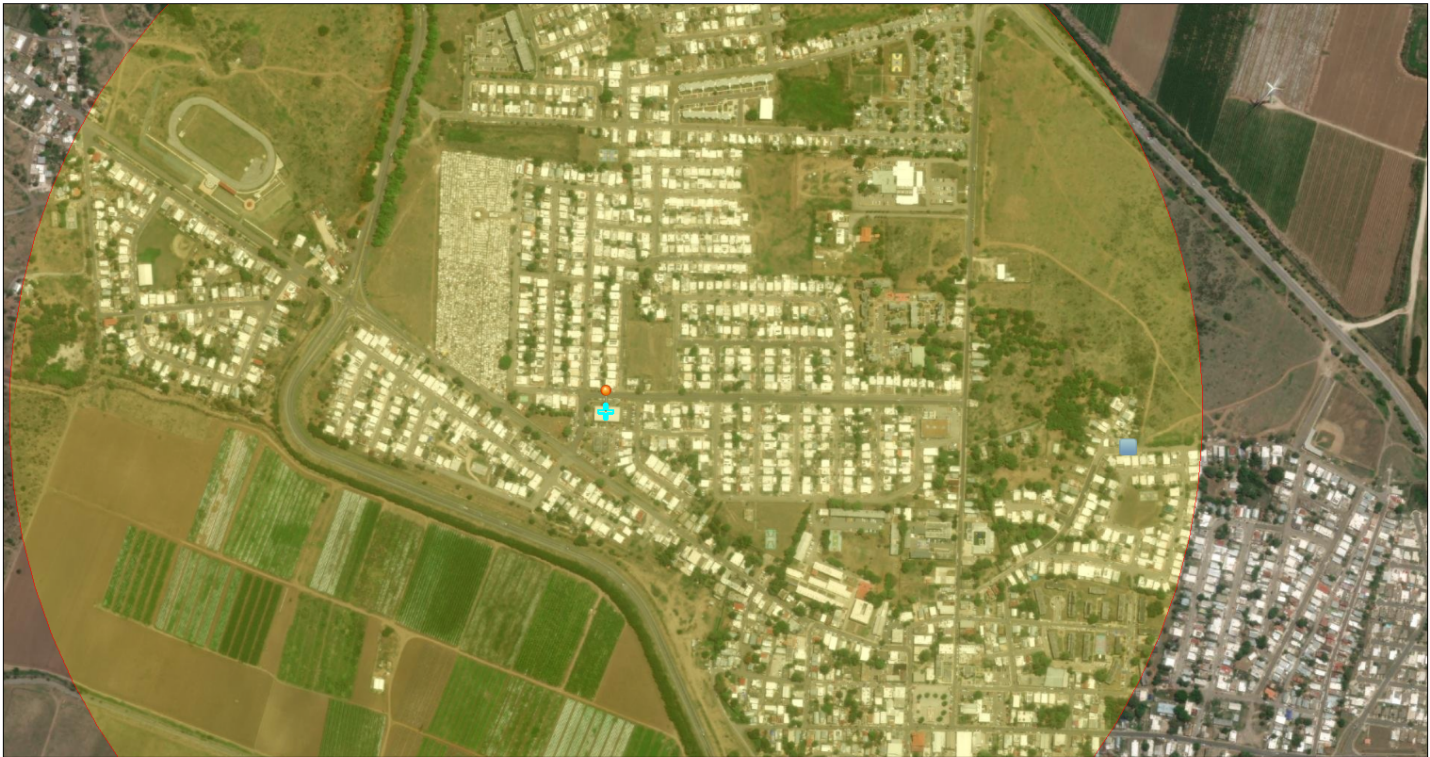


- (1) Santa Isabel Multipurpose Building Francisco Robledo (PR-CRP-001153)
- (2) Renovations to Plaza del Mercado in Santa Isabel Urban Center (PR-CRP-000759)

# NEPAssist Report

## PR-CRP-0759

### A3 Landscape

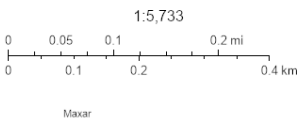


January 29, 2024 <https://nepassisttool.epa.gov/>

Project Buffer

PR-CRP-0759 & PR-CRP-001153

Air Pollution (ICIS-AIR)



| Project Location  | 17.969366,-66.40911 |
|---|---------------------|
| Within 3000 feet of an Ozone 1-hr (1979 standard) Non-Attainment/Maintenance Area?  | no                  |
| Within 3000 feet of an Ozone 8-hr (1997 standard) Non-Attainment/Maintenance Area?  | no                  |
| Within 3000 feet of an Ozone 8-hr (2008 standard) Non-Attainment/Maintenance Area?  | no                  |
| Within 3000 feet of an Ozone 8-hr (2015 standard) Non-Attainment/Maintenance Area?  | no                  |
| Within 3000 feet of a Lead (2008 standard) Non-Attainment/Maintenance Area?         | no                  |
| Within 3000 feet of a SO2 1-hr (2010 standard) Non-Attainment/Maintenance Area?     | no                  |
| Within 3000 feet of a PM2.5 24hr (2006 standard) Non-Attainment/Maintenance Area?   | no                  |
| Within 3000 feet of a PM2.5 Annual (1997 standard) Non-Attainment/Maintenance Area? | no                  |
| Within 3000 feet of a PM2.5 Annual (2012 standard) Non-Attainment/Maintenance Area? | no                  |
| Within 3000 feet of a PM10 (1987 standard) Non-Attainment/Maintenance Area?         | no                  |
| Within 3000 feet of a CO Annual (1971 standard) Non-Attainment/Maintenance Area?    | no                  |
| Within 3000 feet of a NO2 Annual (1971 standard) Non-Attainment/Maintenance Area?   | no                  |
| Within 3000 feet of a Federal Land?   | no                  |
| Within 3000 feet of an impaired stream?   | no                  |
| Within 3000 feet of an impaired waterbody?  | yes                 |
| Within 3000 feet of a waterbody?  | yes                 |
| Within 3000 feet of a stream?   | yes                 |
| Within 3000 feet of an NWI wetland?   | Available Online    |
| Within 3000 feet of a Brownfields site?   | no                  |
| Within 3000 feet of a Superfund site?   | no                  |

|   |     |
|---|-----|
| Within 3000 feet of a Toxic Release Inventory (TRI) site?   | yes |
| Within 3000 feet of a water discharger (NPDES)?   | no  |
| Within 3000 feet of a hazardous waste (RCRA) facility?  | yes |
| Within 3000 feet of an air emission facility?   | yes |
| Within 3000 feet of a school?   | no  |
| Within 3000 feet of an airport?   | no  |
| Within 3000 feet of a hospital?   | no  |
| Within 3000 feet of a designated sole source aquifer?   | no  |
| Within 3000 feet of a historic property on the National Register of Historic Places?                                    | yes |
| Within 3000 feet of a Land Cession Boundary?  | no  |
| Within 3000 feet of a tribal area (lower 48 states)?  | no  |
| Within 3000 feet of the service area of a mitigation or conservation bank?  | no  |
| Within 3000 feet of the service area of an In-Lieu-Fee Program?   | no  |
| Within 3000 feet of a Public Property Boundary of the Formerly Used Defense Sites?                                      | no  |
| Within 3000 feet of a Munitions Response Site?  | no  |
| Within 3000 feet of an Essential Fish Habitat (EFH)?  | yes |
| Within 3000 feet of a Habitat Area of Particular Concern (HAPC)?  | no  |
| Within 3000 feet of an EFH Area Protected from Fishing (EFHA)?  | no  |
| Within 3000 feet of a Bureau of Land Management Area of Critical Environmental Concern?                                 | no  |
| Within 3000 feet of an ESA-designated Critical Habitat Area per U.S. Fish & Wildlife Service?                           | no  |
| Within 3000 feet of an ESA-designated Critical Habitat river, stream or water feature per U.S. Fish & Wildlife Service? | no  |

Created on: 1/29/2024 1:59:50 PM

## ATTACHMENT H

### **Endangered Species**

Endangered Species Act of 1973, particularly section 7; 50 CFR Part 402





## Transmittal Letter

April 23, 2024

Caribbean Ecological Services Field Office  
U.S. Fish and Wildlife Service  
P.O. Box 491  
Boquerón, Puerto Rico 00622  
Email: [caribbean@es@fws.gov](mailto:caribbean@es@fws.gov)



Based on the information provided, we determined the project proposed qualifies for the blanket clearance letter. Nevertheless, if the project is modified this office should be contacted concerning the need for the initiation of consultation under section 7 of Endangered Species Act of 1973.

Reviewer **DAMARIS ROMAN  
RUIZ**

Digitally signed by DAMARIS  
ROMAN RUIZ  
Date: 2024.04.24 14:29:43 -04'00'

**ROBERT TAWES**

Acting Caribbean ES Field Supervisor

Digitally signed by ROBERT TAWES  
Date: 2024.04.29 06:57:02 -04'00'

### **Subject: USFWS Endangered Species Act Certifications – April 2024**

We are submitting the following Self-Certifications for projects under the CDBG-DR City Revitalization Program. Attached are included the Self-Certifications that certify that the projects are in compliance and are not likely to adversely affect federally-listed species.

The following table includes the projects that are in compliance with the Blanket Clearance Letter for the Endangered Species act of 1973, as amended, and the Fish and Wildlife Coordination Act.

| Project Number                   | Project Name   |
|----------------------------------|--|
| PR-CRP-000009                    | Ponce – Urban Aesthetic Project  |
| PR-CRP-000337                    | Rehabilitación de Aceras y Mejoras a Calles en Casco Urbano y Comunidades Aledañas                                   |
| PR-CRP-000759 /<br>PR-CRP-001153 | Renovations to Plaza del Mercado in Santa Isabel Urban Center / Santa Isabel Multipurpose Building Francisco Robledo |
| PR-CRP-000991                    | Rotonda PR-867 entradas Urbs. Campanillas y Pabellones, Sabana Seca  |
| PR-CRP-000993                    | Rotonda PR-865 int. Ave. Campanilla, Campanilla  |
| PR-CRP-001001                    | Estacionamiento y áreas circundantes a la Plaza del Mercado  |
| PR-CRP-001072                    | Plaza Recreacional en el Casco Urbano (Plaza del Obrero)   |

For more information, please contact the Permits and Environmental Compliance Division at [environmentcdbg@vivienda.pr.gov](mailto:environmentcdbg@vivienda.pr.gov) or at (787)274.2527 ext. 4320.

Sincerely,

Permits and Environmental Compliance Division  
Office of Disaster Recovery



## Self-Certification

<http://www.fws.gov/caribbean/ES/Index.html>

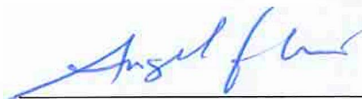
### Endangered Species Act Certification

The U.S. Fish and Wildlife Service, Caribbean Ecological Services Field Office developed a Blanket Clearance Letter in compliance with Endangered Species Act of 1973, as amended, and the Fish and Wildlife Coordination Act for federally funded projects. The Service determined that projects in compliance with the following criteria are not likely to adversely affect federally listed species.

The Puerto Rico Department of Housing (PRDOH) certifies that the following projects **Santa Isabel Multipurpose Building Francisco Robledo (PR-CRP-001153)** and **Renovations to Plaza del Mercado in Santa Isabel Urban Center (PR-CRP-000759)**, consisting of the rehabilitation of two buildings and located outside the traditional urban center located at Municipality of Santa Isabel. These are two projects that are in adjacent properties and are being evaluated as an aggregated project. The buildings are located at Román Baldorioty De Castro Street, PR-1 Road Km 104 in Santa Isabel PR and the projects comply with:

| Check                               | Project Criteria   |
|-------------------------------------|--|
| <input type="checkbox"/>            | 1. Street resurfacing.   |
| <input type="checkbox"/>            | 2. Construction of gutters and sidewalks along existing roads.   |
| <input type="checkbox"/>            | 3. Reconstruction or emergency repairs of existing buildings, facilities and homes.  |
| <input checked="" type="checkbox"/> | 4. Rehabilitation of existing occupied single-family homes, and buildings; provided that equipment storage or staging areas are not located on vacant property harboring a wetland and/or forested vegetation and that the lighting associated to the new facilities is not visible directly or indirectly from a beach. |
| <input type="checkbox"/>            | 5. Demolition of dilapidated single-family homes or buildings; provided that the demolition debris is disposed in certified receiving facilities; equipment storage or staging areas are not located on vacant property harboring a wetland and/or forested vegetation.  |

|                          |   |
|--------------------------|---|
| <input type="checkbox"/> | 6. Rebuilding of demolished single-family homes or buildings, provided that the new construction is within the existing footprint of the previous structure and/or within pre-existing grassed or paved areas, and that the lighting associated to the new facilities are not visible directly or indirectly from a beach.                              |
| <input type="checkbox"/> | 7. Activities within existing Right of Ways (ROWs) of roads, bridges and highways, when limited to actions that do not involve cutting native vegetation or mayor earth moving; and are not located within, or adjacent to, drainages, wetlands, or aquatic systems. These activities include the installation of potable water and sanitary pipelines. |
| <input type="checkbox"/> | 8. Improvements to existing recreational facilities, including the installation of roofs to existing basketball courts, provided that the lighting associated to the facilities are not visible directly or indirectly from the beach.  |
| <input type="checkbox"/> | 9. Construction of electric underground systems in existing towns and communities, provided that the property is not a wetland area and the lighting associated to the facilities are not visible directly or indirectly from the beach.  |
| <input type="checkbox"/> | 10. Construction of facilities on vacant properties covered with grasses in urban areas, provided that the lighting associated to the facilities are not visible directly or indirectly from the beach.   |
| <input type="checkbox"/> | 11. Construction of houses, buildings or acquiring lands in urban areas covered by grass for relocation of low-income families and/or facilities that have been affected by weather conditions.   |



Ángel G. López-Guzmán  
Deputy Director

Permits and Environmental Compliance Division

Office of Disaster Recovery

**Address:** P.O. Box 21365 San Juan, PR 00928

**Telephone and Ext:** 787-274-2527 ext. 4320

**Email:** [environmentcdbg@vivienda.pr.gov](mailto:environmentcdbg@vivienda.pr.gov)

*April 4, 2024*

Date



## Project Description Checklist for Environmental Review Records Puerto Rico Department of Housing CDBG-DR

Mandatory Information (include multiple parcels, where applicable)

- **Application ID:** PR-CRP 000759
- **Project Name:** Renovations to Plaza del Mercado in Santa Isabel Urban Center
- **Address:** Román Baldorioty De Castro St PR-1 Km 104 in Santa Isabel PR.
- **Cadastral or Parcel ID:** 415-095-121-14
- **Coordinates:** Lat: 17.968965, Lon: -66.409165
- **Project Funding Amount:** \$1,500,000

General Information:

The municipality of Santa Isabel owns the Public Market structure which was built in the 1980s and renovated in the early 1990s with various Use Permits submitted between 2003 and 2006. The structure is located within the urban sector of the Municipality on the corner of Roman Baldorioty de Castro Street and #4 Street which is the entrance of a housing complex called Jardines de Santa Isabel. The existing structure is one level and is approximately 5,796 square feet. It has two bathrooms, a small administrative office, janitor's closet, and a large open space where the commercial spaces used to be. Most of the interior partitions were removed. The structure has parking areas on the North, East, and South with a capacity for 39 parking spaces. It has entrances on the West, South, and East and emergency exits on the North and East. There is a Community Center to the North of the lot, a small community park to the West, Baldorioty Street located to the South, and four houses to the East.

The existing structure is composed of a grid of steel columns with a steel trussed roof, a reinforced concrete floor slab, concrete block walls, and a metal deck roof. The structure's exterior walls are 16ft high. The lower part of the exterior walls is made out of concrete block and the parapet, which is approximately 4ft high, is constructed of metal deck with foam insulation panels plastered and painted. These foam panels took the heaviest damage by projectile impacts during hurricane Maria. The waterproofing membranes were also damaged causing the roof to leak water inside the structure. In the interior, there is damage related to water infiltration but the overall main structure is in good condition and can be restored.

The scope of work consists of the construction and renovation of new and existing entrances on the South, East, and West. We are proposing the construction of new partitions to create fourteen spaces for commercial use in the interior of the structure and the construction of a new roofed outdoor area for an additional four spaces for vendors on the West side of the structure. All

bathroom equipment and partitions are to be replaced. Wall tiles in the bathrooms are to be removed and replaced. All exterior and interior doors are to be replaced. New air conditioning units shall be installed for each of the interior spaces and one for the common areas. Louvers and skylights shall be replaced and new waterproof membranes shall be installed in the roof. All existing roof drains shall be replaced. The exterior foam cladding and cement plaster shall be replaced or repaired where ever possible. A new hung ceiling will be constructed to conceal the new electrical distribution in the corridors and the commercial spaces. All existing interior and exterior light fixtures are to be removed and replaced with new light fixtures. New emergency exit lights and emergency lighting will be installed.

Parking lines shall be repainted and the concrete slab in the exterior areas in front of the entrances shall be repaired and finished with concrete tiles. New ramps, railings and stairs shall be constructed in the South entrance where the handicapped-accessible parking is located.

Ground disturbances shall be limited to the entrances proposed on the South, East, and West side of the parcel. The existing building footprint is 5,796 square feet. With the addition of 900 square feet for the new spaces for outdoor vendors, the building footprint will increase by 15%. The exterior areas for vendors are roofed but not enclosed and can operate independently from the interior spaces. There are no solar panels, greenhouses, wells, electrical generators, water cisterns, perimeter fences or other structures proposed in the scope of work.

Submitted by:



Arq. Elí Mariano Martínez Beléndez, AIA  
EM Architects  
P.O. Box 270-113  
San Juan, PR 00928  
787.529.9551

## **Project Description Checklist for Environmental Review Records Puerto Rico Department of Housing CDBG-DR**

Mandatory Information (include multiple parcels, where applicable)

- **Application ID:** PR-CRP 001153
- **Project Name:** Santa Isabel Multipurpose Building Francisco Robledo
- **Address:** Román Baldorioty De Castro St PR-1 Km 104 in Santa Isabel PR.
- **Cadastre or Parcel ID:** 415-095-121-14
- **Coordinates:** Lat: 17.969282°, Lon: -66.40927°
- **Project Funding Amount:** \$950,000

### General Information:

The Multipurpose Building Francisco Robledo in Santa Isabel is owned by the municipality. It was constructed in the 1980s and is situated in the urban sector of the municipality at the intersection of Roman Baldorioty de Castro Street and #4 Street. This location serves as the entrance to a housing complex known as Jardines de Santa Isabel. The structure itself consists of a single level with a mezzanine overlooking the multipurpose room. The structure is approximately 9,225 square feet and features a lobby with two bathrooms, an administrative office, a janitor's closet, various storage spaces, the multipurpose room with a fixed concrete stage and two dressing rooms with bathrooms. The site includes parking areas on the east side with a capacity for 26 parking spaces 2 of which are designated for handicapped use. The main entrance is situated on the west side, while emergency exits are located on the north east and south east sides of the structure. Adjacent to the lot, there is a small community park to the west, private residences to the north and east, and the Plaza del Mercado structure to the south.

The existing structure comprises a grid of steel columns and beams which span approximately 67 feet, a reinforced concrete floor slab, concrete block walls, and a metal deck roof. The exterior walls reach a height of 27 feet, with the lower portion being made of concrete block and a metal panel parapet approximately 4 feet 6 inches high. The structure exhibits some damage in the exterior walls but overall is in good condition and is suitable for restoration.

The proposed scope of work entails renovating the entrance on the east side of the Community Center. This involves constructing a new ramp to ensure wheelchair accessibility, as well as constructing new stairs. Exterior walls are to be primed and painted. The existing metal panels in the exterior walls are to be replaced. Inside the structure, all doors, windows, hung ceilings, light fixtures, and floors will be replaced. New electrical panels and a distribution system for the air conditioning will be installed, and one of the four existing air conditioning units will be replaced. The bathrooms will undergo complete renovation,



including the replacement of all equipment and partitions in order to comply with ADA guidelines. The existing wall tiles in the bathrooms will be removed and replaced. Additionally, new spaces for food preparation and additional storage areas are planned for the main hall. The existing stage will be enlarged and will incorporate a new ramp and stairs. New exit doors, stairs, and sidewalks will be installed. The parking lot will have its lines repainted and a new ornamental fence will enclose the building perimeter.

It's important to note that all ground disturbance will be limited to the proposed entrance on the east side of the parcel. The existing building footprint will not be expanded. There are no plans to introduce solar panels, greenhouses, wells, electrical generators, water cisterns or any other structures as part of this project.

Submitted by:

A handwritten signature in blue ink, appearing to be 'Elí' followed by a stylized surname.

Arch. Elí Mariano Martínez Beléndez, AIA  
EM Architects

## PR-CRP-000759 &amp; PR-CRP-001153 Santa Isabel



6/21/2023, 9:59:58 AM

Flood Hazard Area (zoom in to make visible)

 A

AO

AE

 Coastal A Zone

 VE

0.2% Annual Chance Flood Zone

 A-Floodway AE-Floodway

1:2,257

0      0.02      0.04      0.07 mi

0      0.03      0.06      0.11 km

Esri Community Maps Contributors, Kadaster Netherlands, Esri, HERE, Garmin, Foursquare, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS,

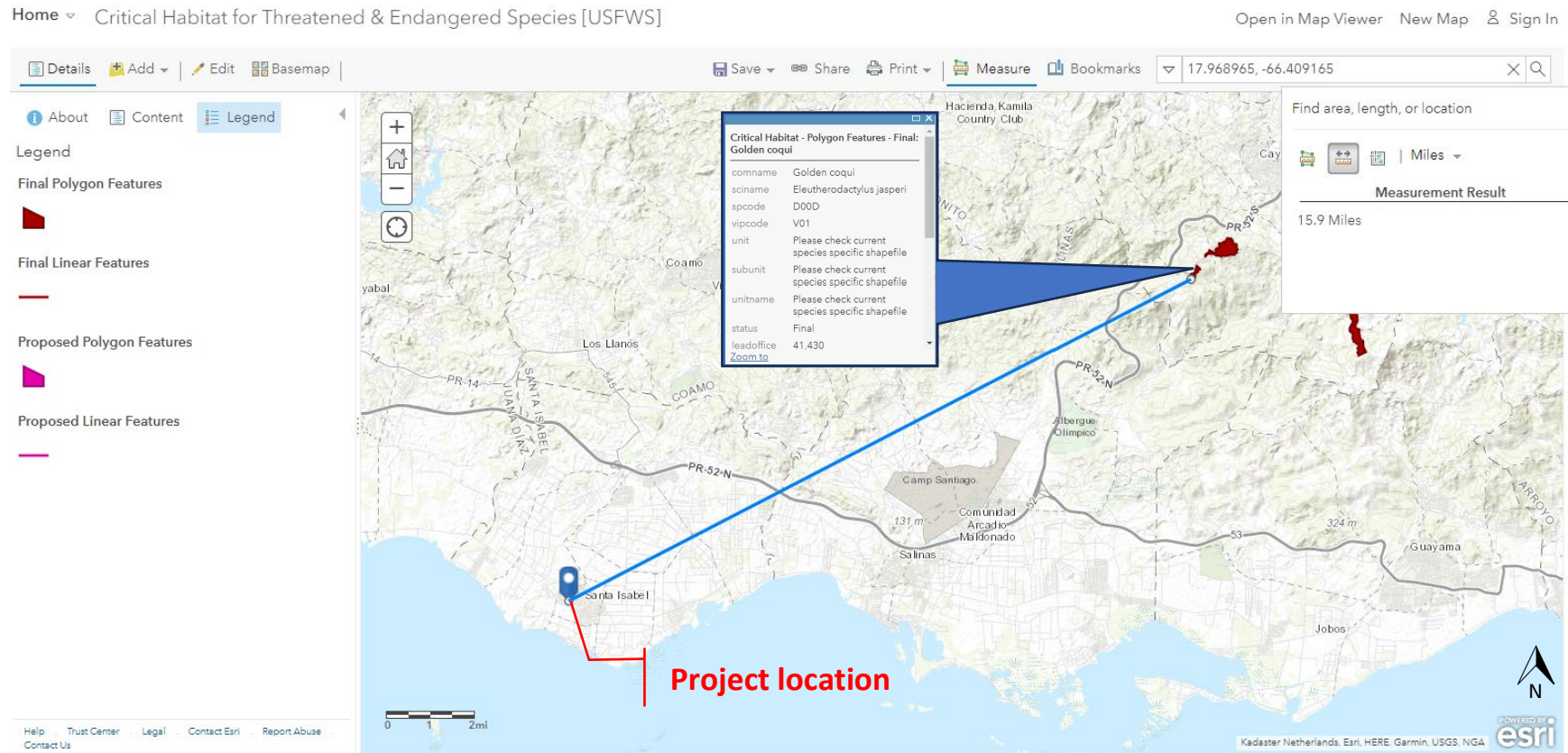
## ArcGIS Web AppBuilder



## Critical Habitat Map

Renovations to Plaza del Mercado in Santa Isabel Urban Center (PR-CRP-000759)  
Santa Isabel Multipurpose Building Francisco Robledo (PR-CRP-001153)

PR-CRP-000759 Coord: 17.968965°, -66.409165°  
PR-CRP-001153 Coord: 17.969282°, -66.40927°  
Santa Isabel, Puerto Rico



Source: US Fish and Wildlife Service <https://ecos.fws.gov/ecp/report/critical-habitat>



This report is an automatically generated list of species and other resources such as critical habitat (collectively referred to as *trust resources*) under the U.S. Fish and Wildlife Service's (USFWS) jurisdiction that are known or expected to be on or near the project area referenced below. The list may also include trust resources that occur outside of the project area, but that could potentially be directly or indirectly affected by activities in the project area. However, determining the likelihood and extent of effects a project may have on trust resources typically requires gathering additional site-specific (e.g., vegetation/species surveys) and project-specific (e.g., magnitude and timing of proposed activities) information.

Below is a summary of the project information you provided and contact information for the USFWS office(s) with jurisdiction in the defined project area. Please read the introduction to each section that follows (Endangered Species, Migratory Birds, USFWS Facilities, and NWI Wetlands) for additional information applicable to the trust resources addressed in that section.

## NAME \_\_\_\_\_

Multipurpose Building Francisco Robledo (PR-CRP-001153) & Plaza del Mercado (PR-CRP-000759)

## LOCATION

Santa Isabel County, Puerto Rico



## DESCRIPTION

Some(Rehabilitation of buildings for City Revitalization Program)

# Local office

## Caribbean Ecological Services Field Office

☎ (787) 834-1600

📠 (787) 851-7440

✉ [CARIBBEAN\\_ES@FWS.GOV](mailto:CARIBBEAN_ES@FWS.GOV)

### MAILING ADDRESS

Post Office Box 491

Boqueron, PR 00622-0491

### PHYSICAL ADDRESS

Office Park I

State Road #2 Km 156.5, Suite 303}

Mayaguez, PR 00680

NOT FOR CONSULTATION

# Endangered species

**This resource list is for informational purposes only and does not constitute an analysis of project level impacts.**

The primary information used to generate this list is the known or expected range of each species. Additional areas of influence (AOI) for species are also considered. An AOI includes areas outside of the species range if the species could be indirectly affected by activities in that area (e.g., placing a dam upstream of a fish population even if that fish does not occur at the dam site, may indirectly impact the species by reducing or eliminating water flow downstream). Because species can move, and site conditions can change, the species on this list are not guaranteed to be found on or near the project area. To fully determine any potential effects to species, additional site-specific and project-specific information is often required.

Section 7 of the Endangered Species Act **requires** Federal agencies to "request of the Secretary information whether any species which is listed or proposed to be listed may be present in the area of such proposed action" for any project that is conducted, permitted, funded, or licensed by any Federal agency. A letter from the local office and a species list which fulfills this requirement can **only** be obtained by requesting an official species list from either the Regulatory Review section in IPaC (see directions below) or from the local field office directly.

For project evaluations that require USFWS concurrence/review, please return to the IPaC website and request an official species list by doing the following:

1. Log in to IPaC.
2. Go to your My Projects list.
3. Click PROJECT HOME for this project.
4. Click REQUEST SPECIES LIST.

Listed species<sup>1</sup> and their critical habitats are managed by the [Ecological Services Program](#) of the U.S. Fish and Wildlife Service (USFWS) and the fisheries division of the National Oceanic and Atmospheric Administration (NOAA Fisheries<sup>2</sup>).

Species and critical habitats under the sole responsibility of NOAA Fisheries are **not** shown on this list. Please contact [NOAA Fisheries](#) for [species under their jurisdiction](#).

- 
1. Species listed under the Endangered Species Act are threatened or endangered; IPaC also shows species that are candidates, or proposed, for listing. See the [listing status page](#) for more information. IPaC only shows species that are regulated by USFWS (see FAQ).
  2. [NOAA Fisheries](#), also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of



Commerce.

The following species are potentially affected by activities in this location:

## Reptiles

| NAME   | STATUS     |
|--|------------|
| Puerto Rican Boa <i>Chilabothrus inornatus</i><br>Wherever found<br>No critical habitat has been designated for this species.<br><a href="https://ecos.fws.gov/ecp/species/6628">https://ecos.fws.gov/ecp/species/6628</a> | Endangered |

## Critical habitats

Potential effects to critical habitat(s) in this location must be analyzed along with the endangered species themselves.

There are no critical habitats at this location.

You are still required to determine if your project(s) may have effects on all above listed species.

## Bald & Golden Eagles

There are no documented cases of eagles being present at this location. However, if you believe eagles may be using your site, please reach out to the local Fish and Wildlife Service office.

Additional information can be found using the following links:

- Eagle Management <https://www.fws.gov/program/eagle-management>
- Measures for avoiding and minimizing impacts to birds  
<https://www.fws.gov/library/collections/avoiding-and-minimizing-incidental-take-migratory-birds>
- Nationwide conservation measures for birds  
<https://www.fws.gov/sites/default/files/documents/nationwide-standard-conservation-measures.pdf>
- Supplemental Information for Migratory Birds and Eagles in IPaC  
<https://www.fws.gov/media/supplemental-information-migratory-birds-and-bald-and-golden-eagles-may-occur-project-action>

### What does IPaC use to generate the potential presence of bald and golden eagles in my specified location?

The potential for eagle presence is derived from data provided by the [Avian Knowledge Network \(AKN\)](#). The AKN data is based on a growing collection of [survey, banding, and citizen science datasets](#) and is queried and filtered to return a list of those birds reported as occurring in the 10km grid cell(s) which your project intersects, and that have been identified as warranting special attention because they are a BCC species in that area, an eagle ([Eagle Act](#) requirements may apply). To see a list of all birds potentially present in your project area, please visit the [Rapid Avian Information Locator \(RAIL\) Tool](#).

### What does IPaC use to generate the probability of presence graphs of bald and golden eagles in my specified location?

The Migratory Bird Resource List is comprised of USFWS [Birds of Conservation Concern \(BCC\)](#) and other species that may warrant special attention in your project location.

The migratory bird list generated for your project is derived from data provided by the [Avian Knowledge Network \(AKN\)](#). The AKN data is based on a growing collection of [survey, banding, and citizen science datasets](#) and is queried and filtered to return a list of those birds reported as occurring in the 10km grid cell(s) which your project intersects, and that have been identified as warranting special attention because they are a BCC species in that area, an eagle ([Eagle Act](#) requirements may apply), or a species that has a particular vulnerability to offshore activities or development.

Again, the Migratory Bird Resource list includes only a subset of birds that may occur in your project area. It is not representative of all birds that may occur in your project area. To get a list of all birds potentially present in your project area, please visit the [Rapid Avian Information Locator \(RAIL\) Tool](#).

### What if I have eagles on my list?

If your project has the potential to disturb or kill eagles, you may need to obtain a permit to avoid violating the [Eagle Act](#) should such impacts occur. Please contact your local Fish and Wildlife Service Field Office if you have questions.

## Migratory birds

Certain birds are protected under the Migratory Bird Treaty Act<sup>1</sup> and the Bald and Golden Eagle Protection Act<sup>2</sup>.

Any person or organization who plans or conducts activities that may result in impacts to migratory birds, eagles, and their habitats should follow appropriate regulations and consider implementing appropriate conservation measures, as described below.

1. The [Migratory Birds Treaty Act](#) of 1918.
2. The [Bald and Golden Eagle Protection Act](#) of 1940.

Additional information can be found using the following links:

- Eagle Management <https://www.fws.gov/program/eagle-management>
- Measures for avoiding and minimizing impacts to birds  
<https://www.fws.gov/library/collections/avoiding-and-minimizing-incident-take-migratory-birds>
- Nationwide conservation measures for birds <https://www.fws.gov/sites/default/files/documents/nationwide-standard-conservation-measures.pdf>
- Supplemental Information for Migratory Birds and Eagles in IPaC  
<https://www.fws.gov/media/supplemental-information-migratory-birds-and-bald-and-golden-eagles-may-occur-project-action>

The [data](#) in this location indicates there are no migratory [birds of conservation concern](#) expected to occur in this area.

There may be migratory birds in your project area, but we don't have any survey data available to provide further direction. For additional information, please refer to the links above for recommendations to minimize impacts to migratory birds or contact your local FWS office.

**Tell me more about conservation measures I can implement to avoid or minimize impacts to migratory birds.**

[Nationwide Conservation Measures](#) describes measures that can help avoid and minimize impacts to all birds at any location year round. Implementation of these measures is particularly important when birds are most likely to occur in the project area. When birds may be breeding in the area, identifying the locations of any active nests and avoiding their destruction is a very helpful impact minimization measure. To see when birds are most likely to occur and be breeding in your project area, view the Probability of Presence Summary. [Additional measures](#) or [permits](#) may be advisable depending on the type of activity you are conducting and the type of infrastructure or bird species present on your project site.

**What does IPaC use to generate the list of migratory birds that potentially occur in my specified location?**

The Migratory Bird Resource List is comprised of USFWS [Birds of Conservation Concern \(BCC\)](#) and other species that may warrant special attention in your project location.

The migratory bird list generated for your project is derived from data provided by the [Avian Knowledge Network \(AKN\)](#). The AKN data is based on a growing collection of [survey, banding, and citizen science datasets](#) and is queried and filtered to return a list of those birds reported as occurring in the 10km grid cell(s) which your project intersects, and that have been identified as warranting special attention because they are a BCC species in that area, an eagle ([Eagle Act](#) requirements may apply), or a species that has a particular vulnerability to offshore activities or development.

Again, the Migratory Bird Resource list includes only a subset of birds that may occur in your project area. It is not representative of all birds that may occur in your project area. To get a list of all birds potentially present in your project area, please visit the [Rapid Avian Information Locator \(RAIL\) Tool](#).



## What does IPaC use to generate the probability of presence graphs for the migratory birds potentially occurring in my specified location?

The probability of presence graphs associated with your migratory bird list are based on data provided by the [Avian Knowledge Network \(AKN\)](#). This data is derived from a growing collection of [survey, banding, and citizen science datasets](#).

Probability of presence data is continuously being updated as new and better information becomes available. To learn more about how the probability of presence graphs are produced and how to interpret them, go to the Probability of Presence Summary and then click on the "Tell me about these graphs" link.

## How do I know if a bird is breeding, wintering or migrating in my area?

To see what part of a particular bird's range your project area falls within (i.e. breeding, wintering, migrating or year-round), you may query your location using the [RAIL Tool](#) and look at the range maps provided for birds in your area at the bottom of the profiles provided for each bird in your results. If a bird on your migratory bird species list has a breeding season associated with it, if that bird does occur in your project area, there may be nests present at some point within the timeframe specified. If "Breeds elsewhere" is indicated, then the bird likely does not breed in your project area.

## What are the levels of concern for migratory birds?

Migratory birds delivered through IPaC fall into the following distinct categories of concern:

1. "BCC Rangewide" birds are [Birds of Conservation Concern](#) (BCC) that are of concern throughout their range anywhere within the USA (including Hawaii, the Pacific Islands, Puerto Rico, and the Virgin Islands);
2. "BCC - BCR" birds are BCCs that are of concern only in particular Bird Conservation Regions (BCRs) in the continental USA; and
3. "Non-BCC - Vulnerable" birds are not BCC species in your project area, but appear on your list either because of the [Eagle Act](#) requirements (for eagles) or (for non-eagles) potential susceptibilities in offshore areas from certain types of development or activities (e.g. offshore energy development or longline fishing).

Although it is important to try to avoid and minimize impacts to all birds, efforts should be made, in particular, to avoid and minimize impacts to the birds on this list, especially eagles and BCC species of rangewide concern. For more information on conservation measures you can implement to help avoid and minimize migratory bird impacts and requirements for eagles, please see the FAQs for these topics.

## Details about birds that are potentially affected by offshore projects

For additional details about the relative occurrence and abundance of both individual bird species and groups of bird species within your project area off the Atlantic Coast, please visit the [Northeast Ocean Data Portal](#). The Portal also offers data and information about other taxa besides birds that may be helpful to you in your project review. Alternately, you may download the bird model results files underlying the portal maps through the [NOAA NCCOS Integrative Statistical Modeling and Predictive Mapping of Marine Bird Distributions and Abundance on the Atlantic Outer Continental Shelf](#) project webpage.

Bird tracking data can also provide additional details about occurrence and habitat use throughout the year, including migration. Models relying on survey data may not include this information. For additional information on marine bird tracking data, see the [Diving Bird Study](#) and the [nanotag studies](#) or contact

[Caleb Spiegel](#) or [Pam Loring](#).

### What if I have eagles on my list?

If your project has the potential to disturb or kill eagles, you may need to [obtain a permit](#) to avoid violating the Eagle Act should such impacts occur.

### Proper Interpretation and Use of Your Migratory Bird Report

The migratory bird list generated is not a list of all birds in your project area, only a subset of birds of priority concern. To learn more about how your list is generated, and see options for identifying what other birds may be in your project area, please see the FAQ "What does IPaC use to generate the migratory birds potentially occurring in my specified location". Please be aware this report provides the "probability of presence" of birds within the 10 km grid cell(s) that overlap your project; not your exact project footprint. On the graphs provided, please also look carefully at the survey effort (indicated by the black vertical bar) and for the existence of the "no data" indicator (a red horizontal bar). A high survey effort is the key component. If the survey effort is high, then the probability of presence score can be viewed as more dependable. In contrast, a low survey effort bar or no data bar means a lack of data and, therefore, a lack of certainty about presence of the species. This list is not perfect; it is simply a starting point for identifying what birds of concern have the potential to be in your project area, when they might be there, and if they might be breeding (which means nests might be present). The list helps you know what to look for to confirm presence, and helps guide you in knowing when to implement conservation measures to avoid or minimize potential impacts from your project activities, should presence be confirmed. To learn more about conservation measures, visit the FAQ "Tell me about conservation measures I can implement to avoid or minimize impacts to migratory birds" at the bottom of your migratory bird trust resources page.

## Facilities

### National Wildlife Refuge lands

Any activity proposed on lands managed by the [National Wildlife Refuge](#) system must undergo a 'Compatibility Determination' conducted by the Refuge. Please contact the individual Refuges to discuss any questions or concerns.

There are no refuge lands at this location.

### Fish hatcheries

There are no fish hatcheries at this location.

# Wetlands in the National Wetlands Inventory (NWI)

Impacts to [NWI wetlands](#) and other aquatic habitats may be subject to regulation under Section 404 of the Clean Water Act, or other State/Federal statutes.

For more information please contact the Regulatory Program of the local [U.S. Army Corps of Engineers District](#).

This location did not intersect any wetlands mapped by NWI.

**NOTE:** This initial screening does **not** replace an on-site delineation to determine whether wetlands occur. Additional information on the NWI data is provided below.

## Data limitations

The Service's objective of mapping wetlands and deepwater habitats is to produce reconnaissance level information on the location, type and size of these resources. The maps are prepared from the analysis of high altitude imagery. Wetlands are identified based on vegetation, visible hydrology and geography. A margin of error is inherent in the use of imagery; thus, detailed on-the-ground inspection of any particular site may result in revision of the wetland boundaries or classification established through image analysis.

The accuracy of image interpretation depends on the quality of the imagery, the experience of the image analysts, the amount and quality of the collateral data and the amount of ground truth verification work conducted. Metadata should be consulted to determine the date of the source imagery used and any mapping problems.

Wetlands or other mapped features may have changed since the date of the imagery or field work. There may be occasional differences in polygon boundaries or classifications between the information depicted on the map and the actual conditions on site.

## Data exclusions

Certain wetland habitats are excluded from the National mapping program because of the limitations of aerial imagery as the primary data source used to detect wetlands. These habitats include seagrasses or submerged aquatic vegetation that are found in the intertidal and subtidal zones of estuaries and nearshore coastal waters. Some deepwater reef communities (coral or tubercid worm reefs) have also been excluded from the inventory. These habitats, because of their depth, go undetected by aerial imagery.

## Data precautions

Federal, state, and local regulatory agencies with jurisdiction over wetlands may define and describe wetlands in a different manner than that used in this inventory. There is no attempt, in either the design or products of this inventory, to define the limits of proprietary jurisdiction of any Federal, state, or local government or to establish the geographical scope of the regulatory programs of government agencies.



Persons intending to engage in activities involving modifications within or adjacent to wetland areas should seek the advice of appropriate Federal, state, or local agencies concerning specified agency regulatory programs and proprietary jurisdictions that may affect such activities.

NOT FOR CONSULTATION



# United States Department of the Interior



## FISH AND WILDLIFE SERVICE

Caribbean Ecological Services

Field Office

P.O. Box 491

Boqueron, PR 00622

**JAN 14 2013**

In Reply Refer To:  
FWS/R4/CESFO/BKT/HUD

Mr. Efrain Maldonado  
Field Office Director  
U.S. Department of Housing and Urban Development  
235 Federico Costa Street, Suite 200  
San Juan, Puerto Rico 00918

Re: Blanket Clearance Letter for Federally  
sponsored projects, Housing and Urban  
Development

Dear Mr. Maldonado:

The U.S. Fish and Wildlife Service (USFWS) is one of two lead Federal Agencies responsible for the protection and conservation of Federal Trust Resources, including threatened or endangered species listed under the Endangered Species Act of 1973 (16 U.S.C. 1531 et seq.) (ESA). In the U.S. Caribbean, the USFWS has jurisdiction over terrestrial plants and animals, the Antillean manatee and sea turtles when nesting. The National Marine Fisheries Service has jurisdiction over marine species, except for the manatee. The ESA directs all Federal agencies to participate in conserving these species. Specially, section 7 of the ESA requires Federal agencies to consult with the USFWS to ensure that actions they fund authorize, permit, or otherwise carry out will not jeopardize the continued existence of any listed species or adversely modify designated critical habitat. The USFWS issued regulations in 1986 detailing the consultation process. As part of this consultation process, the USFWS review development projects to assist Federal agencies on the compliance of the ESA.

The U.S. Department of Housing and Urban Development (HUD) typically allocate grant funds for rural and urban development projects. Obligations under the ESA, as well as the National Environmental Policy Act (NEPA), require HUD to perform consultation and an environmental impact review prior to the project's authorization. Primarily, these projects involve repair or reconstruction of existing facilities associated with developed land.

In order to expedite the consultation process, the Caribbean Ecological Services Field Office has developed this Blanket Clearance Letter (BCL) to cover for activities and projects that typically result in no adverse effects to federally-listed species under our jurisdiction. If projects comply with the project criteria discussed below, no further consultation with the USFWS is needed.

Project Criteria

1. Street resurfacing.
2. Construction of gutters and sidewalks along existing roads.
3. Reconstruction or emergency repairs of existing buildings, facilities and homes.
4. Rehabilitation of existing occupied single family homes, and buildings; provided that equipment storage or staging areas are not located on vacant property harboring a wetland and/or forested vegetation and that the lighting associated to the new facilities is not visible directly or indirectly from a beach.
5. Demolition of dilapidated single family homes or buildings; provided that the demolition debris is disposed in certified receiving facilities; equipment storage or staging areas are not located on vacant property harboring a wetland and/or forested vegetation.
6. Rebuilding of demolished single family homes or buildings, provided that the new construction is within the existing footprint of the previous structure and/or within pre-existing grassed or paved areas, and that the lighting associated to the new facilities are not visible directly or indirectly from a beach.
7. Activities within existing Right of Ways (ROWs) of roads, bridges and highways, when limited to actions that do not involve cutting native vegetation or mayor earth moving; and are not located within, or adjacent to, drainages, wetlands, or aquatic systems. These activities include the installation of potable water and sanitary pipelines.
8. Improvements to existing recreational facilities, including the installation of roofs to existing basketball courts, provided that the lighting associated to the facilities are not visible directly or indirectly from the beach.
9. Construction of electric underground systems in existing towns and communities, provided that the property is not a wetland area and the lighting associated to the facilities are not visible directly or indirectly from the beach.
10. Construction of facilities on vacant properties covered with grasses in urban areas, provided that the lighting associated to the facilities are not visible directly or indirectly from the beach.
11. Construction of houses, buildings or acquiring lands in urban areas covered by grass for relocation of low income families and/or facilities that have been affected by weather conditions.

Determination:

Based on the nature of the projects described above and habitat characteristics described on project criteria, we have determined that the actions and type of projects described above may be conducted within this BCL without adversely affecting federally-listed



species under our jurisdiction. Thus, consultation under Section 7 of the Endangered Species Act is not required.

In all situations, HUD, and the municipalities are expected to implement Best Management Practices, where applicable, to ensure that impacts from erosion and stream sedimentation are appropriately minimized.

The Service encourages your agency to enhance the conservation of our trust resources (i.e.; listed species, wetlands, aquatic habitats, migratory birds and marine mammals). We therefore, provide the following recommendations that have proven to help in this way.

Water Crossing Structures:

1. Use of bottomless culverts or single span bridges instead of traditional box or RCP culverts or any other water crossing structure that impacts the stream bottom, particularly in streams which support native fish. The use of bottomless culverts or a short span bridge would provide a more stable crossing and would not alter the stream habitat. However, if bottomless structures or bridges are not feasible due to cost or engineering constraints, we recommend the following criteria be used to maintain good habitat in the streams:
  - a. The stream should not be widened to fit the bridge since this can lead to sedimentation during low flows and possible bank erosion during high flows. Rather, the bridge should be designed to fit the stream channel at the point of crossing. Culverts should be sized to carry natural bank full flow. Additional flow can be captured by culverts placed at a higher elevation so as not to impact bank full flows.
  - b. Bridge abutments, wing walls or any other structures should not intrude into the active stream channel.
  - c. All culvert footings must be countersunk into the stream channel at both the invert and outlet ends at a minimum of 10% of the culvert height. This will align the water crossing structure with the slope of the stream.
  - d. Waterways must not be blocked as to impede the free movement of water and fish. Materials moved during construction, such as grubbing, earth fills, and earth cut materials must not be piled where they can fall back into the stream and block the drainage courses.
  - e. Appropriate erosion and/or sedimentation control measures are to be undertaken to protect water quality until riverbanks are re-vegetated. It has been our experience that appropriate erosion and/or sedimentation control measures are not implemented properly by project contractors. In order to function properly, silt fences need to be buried 6" (proper depth is marked by a line on the silt fence) and supported at regular intervals by wood stakes. For that reason we are recommending that

the enclosed drawing of proper silt fence installation is included in all final project construction plans.

- f. Upon completion of a water crossing construction, any temporary fill, must be removed from the construction area and disposed in a landfill.

Limitations:

Actions that do not meet the above project criteria, such as actions requiring placement of fill, disturbance, or modification to land outside of an existing access road or ROW; actions that occur on vacant property harboring a wetland and/or forest vegetation; actions requiring excavation, clearing of native vegetation, or alteration of storm water drainage patterns; or actions that require lighting which can be directly or indirectly seen from a beach, must be individually coordinated through the Caribbean Ecological Services Field Office and will be evaluated on a case by case basis.

**The Service reserves the right to revoke or modify this BCL if:**

1. New information reveals that the categories of work covered in this BCL may affect listed or designated critical habitat in a manner, or to an extent, not previously considered.
2. The categories of work included in this BCL are subsequently modified to include activities not considered in this review.
3. New species are listed or critical habitat designated that may be affected.

It is our mission to work with others, to conserve, protect and enhance fish wildlife and plants and their habitats for the continuing benefit of our people.

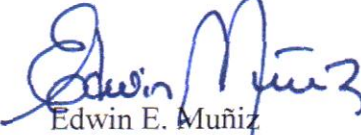
To obtain additional information on threatened and endangered species, you may visit our website <http://www.fws.gov/caribbean/ES> where you will also find the Map of the Species by Municipality and the Map of Critical Habitat. The USFWS has also developed a web based tool called IPac. Please visit <http://www.ecos.fws.gov/ipac> and familiarize yourself with the features we offer. We encourage you to begin your project planning process by requesting an **Official Species List** for your individual project that will include all species that may occur in the vicinity of the action area and includes a map of the action area. The site will also identify designated critical habitat, or other natural resources of concern that may be affected by your proposed project. At this time, best management practices or conservation measures are not available at the site but we expect the site to continue growing in its offering.

These maps provide information on the species/habitat relations within a municipality and could provide the applicants an insight if the proposed action is covered under this BCL or may affect a species, thus requiring individual review.



If you have any additional question regarding this BCL, please do not hesitate to contact Marelisa Rivera, Deputy Field Supervisor, at 787-851-7297 extension 206.

Sincerely yours,



Edwin E. Muñiz  
Field Supervisor

Enclosures (Fact Sheets)

cc: OCAM, San Juan  
Office of Federal Funds, 78 Municipalities of Puerto Rico  
AAA  
PRFAA  
DNER





## Ecological Services in the Caribbean

Caribbean Field Office

# Project evaluation



**Our mission** is to conserve, protect and enhance fish and wildlife and their habitats through consultation, cooperation and communication for the continuing benefit of the American people.

### Legal authorities:

- Endangered Species Act (ESA)
- Fish and Wildlife Coordination Act
- Migratory Bird Treaty Act
- Coastal Barriers Act

### Roles and Responsibilities:

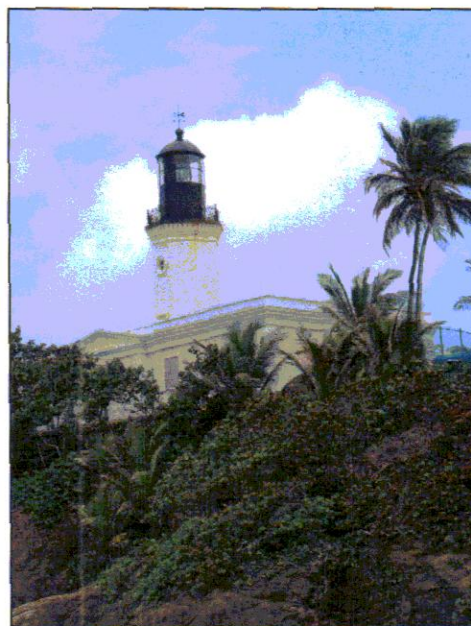
- Provide technical assistance to Federal and Commonwealth agencies to minimize possible impacts of land and water projects to our trust resources
  - \*Wetlands and other aquatic habitats
  - \*Endangered Species and their habitats
  - \*Migratory Birds
  - \*Critical Wildlife Areas
  - \*Coastal Barriers
- Assist with ESA Section 7 compliance through informal and formal consultation processes

### How do we assist others?

- Determine presence / absence of wetland resources, threatened and endangered species habitat, coastal barriers, important wildlife areas within the action area
- Evaluate possible direct, indirect and cumulative impacts
- Provide conservation recommendations to avoid, minimize and/or mitigate impacts
- General recommendations for habitat enhancement

### Minimum requirements for the evaluation of projects:

- An 8.5 by 11 inch copy of the specific site location on a USGS topographic map (1:20,000) marked with an arrow (➡)
- Project description
- Aerial photo of the project site
- Latitude and Longitude (degrees, minutes and seconds or decimal degrees)
- Environmental Documents (EA and EIS)
- Specific studies (by qualified personnel)



### For more information:

US Fish and Wildlife Service  
Caribbean Field Office  
Raod 301, Km. 5.1  
Bo. Corozo

Boquerón, PR 00622

<http://www.fws.gov>

<http://www.fws.gov/caribbean/es>





## Endangered Species Lists Using Web-based Tools

The U.S. Fish and Wildlife Service's Caribbean Ecological Services Field Office (CESFO) provides technical assistance to private individuals and organizations, as well as Federal, state, and local agencies pursuant to the Endangered Species Act of 1973 (ESA) (87 Stat. 884, as amended; 16 U.S.C. 1531 et seq.). To assist project sponsors or applicants with the process of determining whether a Federally-listed species and/or "critical habitat" may occur within their proposed project area, we have developed Web-based tools. These tools were developed primarily to assist Federal agencies that are consulting with us under Section 7(a)(2) of the Endangered Species Act (ESA) (87 Stat. 884, as amended; 16 U.S.C. 1531 et seq.).

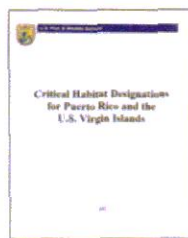
**IPaC.** The US Fish & Wildlife Service (USFWS) has a tool named IPaC. IPaC stands for Information, Planning, and Conservation. This system is designed for easy, public access to the natural resources information for which the USFWS has trust or regulatory responsibility. Examples include Threatened and Endangered species, migratory birds, National Refuge lands, Coastal Barrier Resource Units, and the management of invasive species. One of the primary goals of the IPaC system is to provide information in a manner that assists individuals in planning their activities within the context of natural resource conservation. The IPaC system also assists people through the various regulatory consultation, permitting and approval processes administered by the USFWS, helping achieve more effective and efficient results for both the project proponents and natural resources. Through IPaC, you can get a preliminary USFWS species list in addition to links to species life history information, the USFWS Migratory Bird program, and more. You can access IPaC at: <http://ecos.fws.gov/ipac>

**CESFO List of Threatened & Endangered Species and Critical Habitat Designations:** CESFO has developed another tool (Species Map) that can be used as a quick reference to find out where the Federally-listed species

U.S. Virgin islands. It identifies general areas where the species may be located. However, it does not represent the absolute distribution of the species and does not constitute a recommendation or comment issued by our agency in reference to a proposed project. This list represents the best available information regarding known or likely occurrences of Federally-listed species and is subject to change as new information becomes available. You can access this database at <http://www.fws.gov/caribbean/es/PDF/Map/pdf>



Be aware that Section 9 of the ESA prohibits unauthorized taking of listed species and applies to Federal and non-Federal activities. Under the Act, it is illegal for any person subject to the jurisdiction of the United States to take (includes harass, harm, pursue, hunt, shoot, wound, kill, trap, capture, or collect; or to attempt any of these), import or export, ship in interstate or foreign commerce in the course of commercial activity, or sell or offer for sale in interstate or foreign commerce any endangered fish or wildlife species and most threatened fish and wildlife species. It is also illegal to possess, sell, deliver, carry, transport, or ship any such wildlife that has been taken illegally. "Harm" includes any act which actually kills or injures fish or wildlife, and case law has clarified that such acts may include significant habitat modification or degradation that significantly impairs



are known to occur, as well as those likely to occur, in any given municipality in Puerto Rico and island in the

essential behavioral patterns of fish or wildlife. For projects not authorized, funded, or carried out by a Federal agency, consultation with the Service pursuant to Section 7(a)(2) of the ESA is not required. However, no person is authorized to "take" any listed species without appropriate authorizations from the Service. Therefore, we provide technical assistance to individuals and agencies to assist with project planning to avoid the potential for "take," or when appropriate, to provide assistance with their application for an incidental take permit pursuant to Section 10(a)(1)(B) of the ESA.

If the project is within the distribution of the species, additional information may be needed to determine the presence of habitat. In some cases, specialized surveys may be needed to determine the presence or absence of the species in a particular area.

For additional information on fish and wildlife resources or State-listed species, we suggest contacting the Puerto Rico Department of Natural and Environmental Resources and the U.S. Virgin Islands Department of Planning and Natural Resources.

For further assistance, please feel free to contact us at (787) 851-7297 or visit our Web page at [www.fws.gov/caribbean/es](http://www.fws.gov/caribbean/es) if you need further assistance.

For further information visit our national websites at:

<http://www.fws.gov>

<http://ecos.fws.gov>





## U.S. Fish & Wildlife Service

# Consultations with Federal Agencies

## *Section 7 of the Endangered Species Act*

The purposes of the Endangered Species Act are to provide a means for conserving the ecosystems upon which endangered and threatened species depend and a program for the conservation of such species. The ESA directs all Federal agencies to participate in conserving these species. Specifically, section 7 (a)(1) of the ESA charges Federal agencies to aid in the conservation of listed species, and section 7 (a)(2) requires the agencies to ensure that their activities are not likely to jeopardize the continued existence of listed species or adversely modify designated critical habitats.

### **How does the consultation process support the recovery of species and their ecosystems?**

The Endangered Species Program of the U.S. Fish and Wildlife Service uses section 7 tools in partnership with other Service programs and other Federal agencies to collaboratively solve conservation challenges, as well as create opportunities, using section 7 consultations, to recover the ecosystems of listed species. Consultations also provide ways to implement recovery tasks by addressing threats to listed species that may result from Federal agency programs and activities.

### **What is the consultation process that occurs under section 7(a)(2)?**

The provision under section 7 that is most often associated with the Service and other Federal agencies is section 7(a)(2). It requires Federal agencies to consult with the Service to ensure that actions they fund, authorize, permit, or otherwise carry out will not jeopardize the continued existence of any listed species or adversely modify designated critical habitats. The



Photo Credit: USGS - Sargassum Project

*In response to requests for consultations from the U. S. Coast Guard with regard to manatees and sea turtles, the South Florida Office of the U. S. Fish and Wildlife Service has provided guidance about events such as firework displays, regattas, boat parades and races, and fishing tournaments.*

Service issued regulations in 1986 detailing the consultation process, and we have since completed a handbook describing the process in detail. The handbook is available on our web site at [http://www.fws.gov/endangered/esa-library/pdf/esa\\_section7\\_handbook.pdf](http://www.fws.gov/endangered/esa-library/pdf/esa_section7_handbook.pdf).

### **What is the Service doing to facilitate the consultation process?**

Designing projects in ways that are compatible with the conservation needs of listed species and their ecosystems is among the most effective methods of ensuring a more rapid and efficient section 7 consultation process, as well as species' recovery. The Information, Planning, and Conservation System is an emerging tool for action agencies, their applicants, and other project proponents to use

during the initial phases of project development and assessment. The system will allow for more effective integration of listed resource conservation needs and the eventual streamlining of section 7(a)(2) consultation.

### **How does a consultation get started?**

Early coordination is one of the most effective methods of (1) streamlining section 7 consultation, (2) reducing the need to make project modifications during the consultation process, and (3) improving the ability of section 7 to fulfill its role as a recovery tool. Federal agencies, applicants, and the Service engage in early coordination to develop methods of integrating proposed activities with the conservation needs of listed resources before the proposed actions are fully designed.

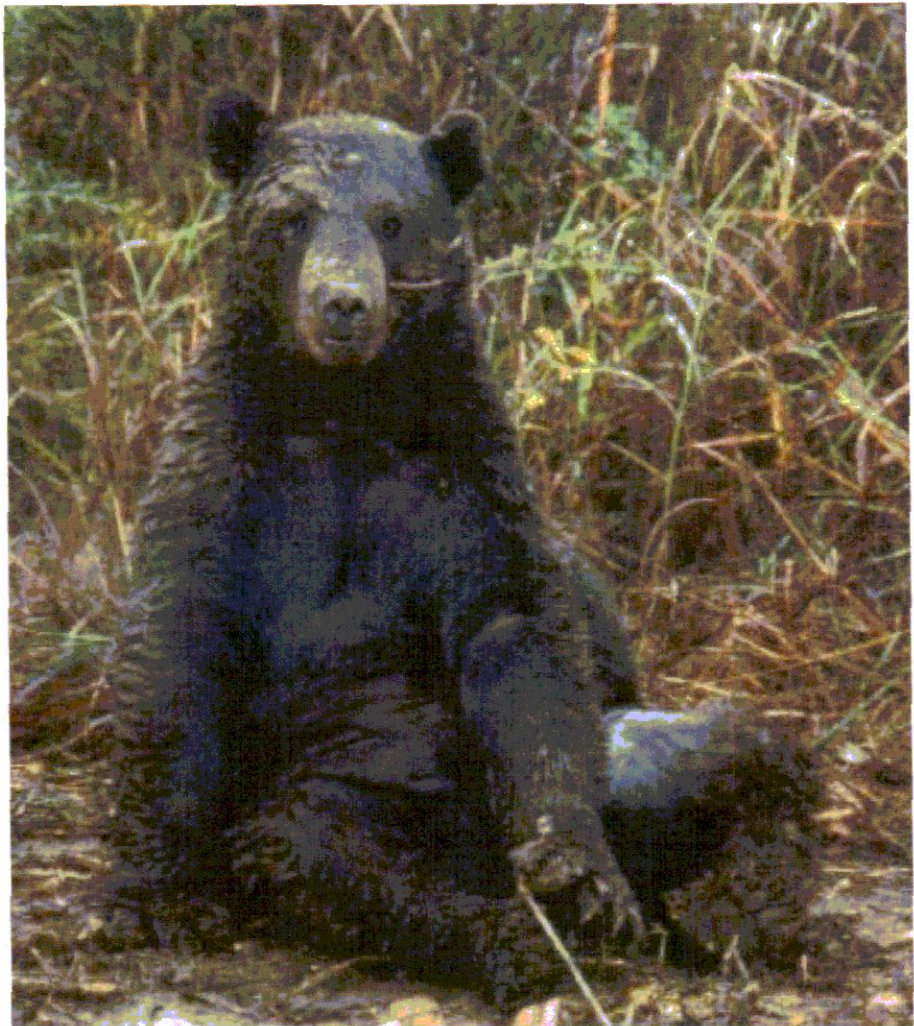


Before initiating an action, the Federal agency or its non-Federal permit applicant should coordinate with the Service as to the species that may be within their action area. If a listed species is present, the Federal agency must determine whether the project may affect it. If so, consultation may be required. If the action agency determines (and the Service agrees) that the project is not likely to adversely affect a listed species or designated critical habitat, and the Service concurs in writing, then the consultation (informal to this point) is concluded.

#### **What happens if a Federal project may adversely affect a listed species?**

If the Federal agency determines that a project is likely to adversely affect a listed species or designated critical habitat, the agency initiates formal consultation by providing information with regard to the nature of the anticipated effects. The ESA requires that consultation be completed within 90 days, and the regulations allow an additional 45 days for the Service to prepare a biological opinion. The analysis of whether or not the proposed action is likely to jeopardize the continued existence of the species or adversely modify designated critical habitat is contained in a biological opinion. If a jeopardy or adverse modification determination is made, the biological opinion must identify any reasonable and prudent alternatives that could allow the project to move forward.

The Service must anticipate any incidental take that may result from the proposed project and, provided that such take will not jeopardize the continued existence of the listed species, authorize that take in an incidental take statement. The latter contains clear terms and conditions designed to reduce the impact of the anticipated take to the species involved. The authorization of incidental take is contingent upon the Federal agency carrying out the terms and conditions. If the Service issues either a non-jeopardy opinion or a jeopardy opinion that contains reasonable and prudent alternatives, it may include an incidental take statement.



Dan Anderson/USFWS

*This Louisiana black bear was one of the largest ever captured on Tensas River National Wildlife Refuge, weighing in at over 400 pounds. The bear was trapped using a leg-hold cable snare that does not injure the animal. The biological information obtained, including weight, sex, a tooth for aging, and other measurements, is part of the Service's ongoing research efforts to aid in the recovery of this threatened subspecies. Afterwards, the bear was released on site.*

#### **What is the consultation workload?**

In Fiscal Year 2010, the Service assisted Federal agencies in carrying out their responsibilities under section 7 on more than 30,000 occasions. The vast majority of the workload was technical assistance to Federal agencies and informal consultations on actions that were not likely to adversely affect listed species or their designated critical habitat. A large percentage of projects, as initially planned, would have had adverse impacts to listed species, but were dealt with through informal consultation. In these situations, the Federal agency made changes to the project design so that adverse impacts to listed species were avoided.

#### **What type of guidance is available for other Federal agencies?**

Guidance is available on our section 7 web site at <http://www.fws.gov/endangered/what-we-do/consultations-overview.html>. Please call us at 703-358-2171 if you have any questions, or see our Endangered Species Program Contacts at <http://www.fws.gov/endangered/regions/index.html> to locate a Service office in your area.

**U. S. Fish and Wildlife Service  
Endangered Species Program  
4401 N. Fairfax Drive, Room 420  
Arlington, VA 22203  
703-358-2171**

<http://www.fws.gov/endangered/>

April 2011

ATTACHMENT I

**Field Visit Checklist & Site Evaluation**

24 CFR Part 51 Subpart C



| Field Visit Checklist & Site Evaluation   |  |            |                           |              |   |      |       |
|---|--|------------|---------------------------|--------------|---|------|-------|
| Project Name:   | Case ID: (1) CRP 001153 Multipurpose Building Francisco Robledo<br>(2) CRP 000759 Renovation to Plaza del Mercado                              |            |                           | Latitude:    | (1)17.969282°, -66.40927°<br>(2)17.968903°, -66.409195° |      |       |
| First Name:   | ELI  | Last Name: | MARTINEZ                  | Longitude:   |   |      |       |
| Street Address:   | (1) Ave. Padre Severo Ferrer Urb. Santiago Apóstol, Santa Isabel PR<br>(2) Padre Severo Ferrer Avenues, Urb, San Juan Apostol, Santa Isabel PR |            |                           | Apt/Suite:   | N/A   |      |       |
| City:   | SANTA ISABEL   |            |                           | State:       | PR  | Zip: | 00718 |
| Date of Visit:  | March 13, 2023   |            | Field Visit Conducted By: | ELI MARTINEZ |   |      |       |
|   |  |            |                           |              |   |      |       |
| EXISTING ENVIRONMENTAL CONDITIONS ON & AROUND SITE  |  |            |                           |              |   |      |       |
| Levee/Flood Control Structures (Levees, T-walls, pumping stations, etc.)  |  |            |                           |              |   |      |       |
|   | Site Specific  |            |                           | Area         |   |      |       |
| Observations  | (1)(2) N/A   |            |                           |              |   |      |       |
| Toxic Chemicals & Radioactive Materials   |  |            |                           |              |   |      |       |
| Petroleum or Chemical Storage   |  |            |                           |              |   |      |       |
|   | Site Specific  |            |                           | Area         |   |      |       |
| Is there any evidence or indication of an underground storage tank (UST) may be located on site?  | (1)(2) NO  |            |                           |              |   |      |       |
| If yes, are they in use?  | N/A  |            |                           |              |   |      |       |
| Are there any out-of-service underground fuel tanks?  | (1)(2) NO  |            |                           |              |   |      |       |
| Is there any evidence that any AST on the property are leaking?   | (1)(2) NO  |            |                           |              |   |      |       |
| Polychlorinated Biphenyls (PCB):  |  |            |                           |              |   |      |       |
|   | Site Specific  |            |                           | Area         |   |      |       |
| Is there any evidence or indication of leaking electrical equipment (transformer - ground or pole mounted, capacitor, or hydraulic equipment) present on site?  | (1)(2) NO  |            |                           |              |   |      |       |
| Hazardous Operations  |  |            |                           |              |   |      |       |
|   | Site Specific  |            |                           | Area         |   |      |       |
| Is there any evidence of manufacturing operations utilizing or producing hazardous substances at or in close proximity to the site?   | (1)(2) NO  |            |                           |              |   |      |       |
| Is there any evidence or indication that past operations located on or in close proximity to the property used hazardous substances or radiological materials that may have been released into the environment?   | (1)(2) NO  |            |                           |              |   |      |       |
| Notes/Observations:   |  |            |                           |              |   |      |       |
| <p>The project will not result in an increased number of people being exposed to hazardous operations by increasing residential densities, converting the type of use of a building to habitation, or making a vacant building habitable. The project does not involve explosive or flammable materials or operations. The project is in compliance with explosive and flammable hazard requirements.</p> |  |            |                           |              |   |      |       |

**Photograph 1**



**Photograph 2**



**Photograph 3**





**Photograph 4**



**Photograph 5**



**Photograph 6**





**Photograph 7**



**Photograph 8**



**Photograph 9**





**Photograph 10**



**Photograph 11**



**Photograph 12**





**Photograph 13**



**Photograph 14**



**Photograph 15**





ATTACHMENT J

**Farmlands Protection**

Farmland Protection Policy Act of 1981, particularly sections 1504(b) and 1541; 7 CFR Part 658


Farmland Classification—Ponce Area, Puerto Rico Southern Part  
Lat: 17.968965, Lon: -66.409165



Farmland Classification—Ponce Area, Puerto Rico Southern Part  
(PR-CRP-000759-PR-CRP-001153)









## MAP LEGEND








### Area of Interest (AOI)






 Area of Interest (AOI)








### Soils



#### Soil Rating Polygons

-  Not prime farmland
-  All areas are prime farmland
-  Prime farmland if drained
-  Prime farmland if protected from flooding or not frequently flooded during the growing season
-  Prime farmland if irrigated
-  Prime farmland if drained and either protected from flooding or not frequently flooded during the growing season
-  Prime farmland if irrigated and drained
-  Prime farmland if irrigated and either protected from flooding or not frequently flooded during the growing season









-  Prime farmland if subsoiled, completely removing the root inhibiting soil layer
-  Prime farmland if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60
-  Prime farmland if irrigated and reclaimed of excess salts and sodium
-  Farmland of statewide importance
-  Farmland of statewide importance, if drained
-  Farmland of statewide importance, if protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if irrigated

-  Farmland of statewide importance, if drained and either protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if irrigated and drained
-  Farmland of statewide importance, if irrigated and either protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if subsoiled, completely removing the root inhibiting soil layer
-  Farmland of statewide importance, if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60

-  Farmland of statewide importance, if irrigated and reclaimed of excess salts and sodium
-  Farmland of statewide importance, if drained or either protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if warm enough, and either drained or either protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if warm enough
-  Farmland of statewide importance, if thawed
-  Farmland of local importance
-  Farmland of local importance, if irrigated



































-  Farmland of unique importance
-  Not rated or not available

### Soil Rating Lines

-  Not prime farmland
-  All areas are prime farmland
-  Prime farmland if drained
-  Prime farmland if protected from flooding or not frequently flooded during the growing season
-  Prime farmland if irrigated
-  Prime farmland if drained and either protected from flooding or not frequently flooded during the growing season
-  Prime farmland if irrigated and drained
-  Prime farmland if irrigated and either protected from flooding or not frequently flooded during the growing season



Farmland Classification—Ponce Area, Puerto Rico Southern Part  
(PR-CRP-000759-PR-001153)

|   |  |   |   |   |  |   |  |   |  |
|---|--|---|---|---|--|---|--|---|--|
|  | Prime farmland if subsoiled, completely removing the root inhibiting soil layer                                  |  | Farmland of statewide importance, if drained and either protected from flooding or not frequently flooded during the growing season   |  | Farmland of statewide importance, if irrigated and reclaimed of excess salts and sodium  |  | Farmland of unique importance  |  | Prime farmland if subsoiled, completely removing the root inhibiting soil layer                                  |
|  | Prime farmland if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60      |  | Farmland of statewide importance, if irrigated and drained  |  | Farmland of statewide importance, if drained or either protected from flooding or not frequently flooded during the growing season                         |  | Not rated or not available   |  | Prime farmland if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60      |
|  | Prime farmland if irrigated and reclaimed of excess salts and sodium   |  | Farmland of statewide importance, if irrigated and either protected from flooding or not frequently flooded during the growing season |  | Farmland of statewide importance, if warm enough, and either drained or either protected from flooding or not frequently flooded during the growing season |  | <b>Soil Rating Points</b>  |  | Prime farmland if irrigated and reclaimed of excess salts and sodium   |
|  | Farmland of statewide importance   |   |   |   |  |  | Prime farmland if drained  |  | Farmland of statewide importance   |
|  | Farmland of statewide importance, if drained   |  | Farmland of statewide importance, if subsoiled, completely removing the root inhibiting soil layer                                    |   |  |  | Prime farmland if irrigated  |  | Farmland of statewide importance, if drained   |
|  | Farmland of statewide importance, if protected from flooding or not frequently flooded during the growing season |  | Farmland of statewide importance, if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60        |  | Farmland of statewide importance, if warm enough   |  | Prime farmland if drained and either protected from flooding or not frequently flooded during the growing season   |  | Farmland of statewide importance, if protected from flooding or not frequently flooded during the growing season |
|  | Farmland of statewide importance, if irrigated   |   |   |  | Farmland of statewide importance, if thawed  |  | Prime farmland if irrigated and drained  |  | Farmland of statewide importance, if irrigated   |
|   |  |   |   |  | Farmland of local importance   |   |                                 |   |  |
|   |  |   |   |  | Farmland of local importance, if irrigated   |   | Prime farmland if irrigated and either protected from flooding or not frequently flooded during the growing season |   |  |

Farmland Classification—Ponce Area, Puerto Rico Southern Part  
(PR-CRP-000759-PR-CRP-001153)

|   |   |  |  |
|---|---|--|--|
| <p> Farmland of statewide importance, if drained and either protected from flooding or not frequently flooded during the growing season</p> <p> Farmland of statewide importance, if irrigated and drained</p> <p> Farmland of statewide importance, if irrigated and either protected from flooding or not frequently flooded during the growing season</p> <p> Farmland of statewide importance, if subsoiled, completely removing the root inhibiting soil layer</p> <p> Farmland of statewide importance, if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60</p> | <p> Farmland of statewide importance, if irrigated and reclaimed of excess salts and sodium</p> <p> Farmland of statewide importance, if drained or either protected from flooding or not frequently flooded during the growing season</p> <p> Farmland of statewide importance, if warm enough, and either drained or either protected from flooding or not frequently flooded during the growing season</p> <p> Farmland of statewide importance, if warm enough</p> <p> Farmland of statewide importance, if thawed</p> <p> Farmland of local importance</p> <p> Farmland of local importance, if irrigated</p> | <p> Farmland of unique importance</p> <p> Not rated or not available</p> <p><b>Water Features</b></p> <p> Streams and Canals</p> <p><b>Transportation</b></p> <p> Rails</p> <p> Interstate Highways</p> <p> US Routes</p> <p> Major Roads</p> <p> Local Roads</p> <p><b>Background</b></p> <p> Aerial Photography</p> | <p>The soil surveys that comprise your AOI were mapped at 1:20,000.</p> <p>Please rely on the bar scale on each map sheet for map measurements.</p> <p>Source of Map: Natural Resources Conservation Service<br/>Web Soil Survey URL:<br/>Coordinate System: Web Mercator (EPSG:3857)</p> <p>Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.</p> <p>This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.</p> <p>Soil Survey Area: Ponce Area, Puerto Rico Southern Part<br/>Survey Area Data: Version 17, Sep 13, 2022</p> <p>Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.</p> <p>Date(s) aerial images were photographed: Jan 23, 2022—Mar 1, 2022</p> <p>The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.</p> |
|---|---|--|--|

## Farmland Classification

| Map unit symbol                    | Map unit name   | Rating             | Acres in AOI | Percent of AOI |
|------------------------------------|---|--------------------|--------------|----------------|
| Us                                 | Urban land-San Anton complex, 0 to 2 percent slopes, occasionally flooded | Not prime farmland | 0.8          | 100.0%         |
| <b>Totals for Area of Interest</b> |   |                    | <b>0.8</b>   | <b>100.0%</b>  |

## Description

Farmland classification identifies map units as prime farmland, farmland of statewide importance, farmland of local importance, or unique farmland. It identifies the location and extent of the soils that are best suited to food, feed, fiber, forage, and oilseed crops. NRCS policy and procedures on prime and unique farmlands are published in the "Federal Register," Vol. 43, No. 21, January 31, 1978.

## Rating Options

*Aggregation Method:* No Aggregation Necessary

Aggregation is the process by which a set of component attribute values is reduced to a single value that represents the map unit as a whole.

A map unit is typically composed of one or more "components". A component is either some type of soil or some nonsoil entity, e.g., rock outcrop. For the attribute being aggregated, the first step of the aggregation process is to derive one attribute value for each of a map unit's components. From this set of component attributes, the next step of the aggregation process derives a single value that represents the map unit as a whole. Once a single value for each map unit is derived, a thematic map for soil map units can be rendered. Aggregation must be done because, on any soil map, map units are delineated but components are not.

For each of a map unit's components, a corresponding percent composition is recorded. A percent composition of 60 indicates that the corresponding component typically makes up approximately 60% of the map unit. Percent composition is a critical factor in some, but not all, aggregation methods.

The majority of soil attributes are associated with a component of a map unit, and such an attribute has to be aggregated to the map unit level before a thematic map can be rendered. Map units, however, also have their own attributes. An attribute of a map unit does not have to be aggregated in order to render a corresponding thematic map. Therefore, the "aggregation method" for any attribute of a map unit is referred to as "No Aggregation Necessary".

*Tie-break Rule:* Lower



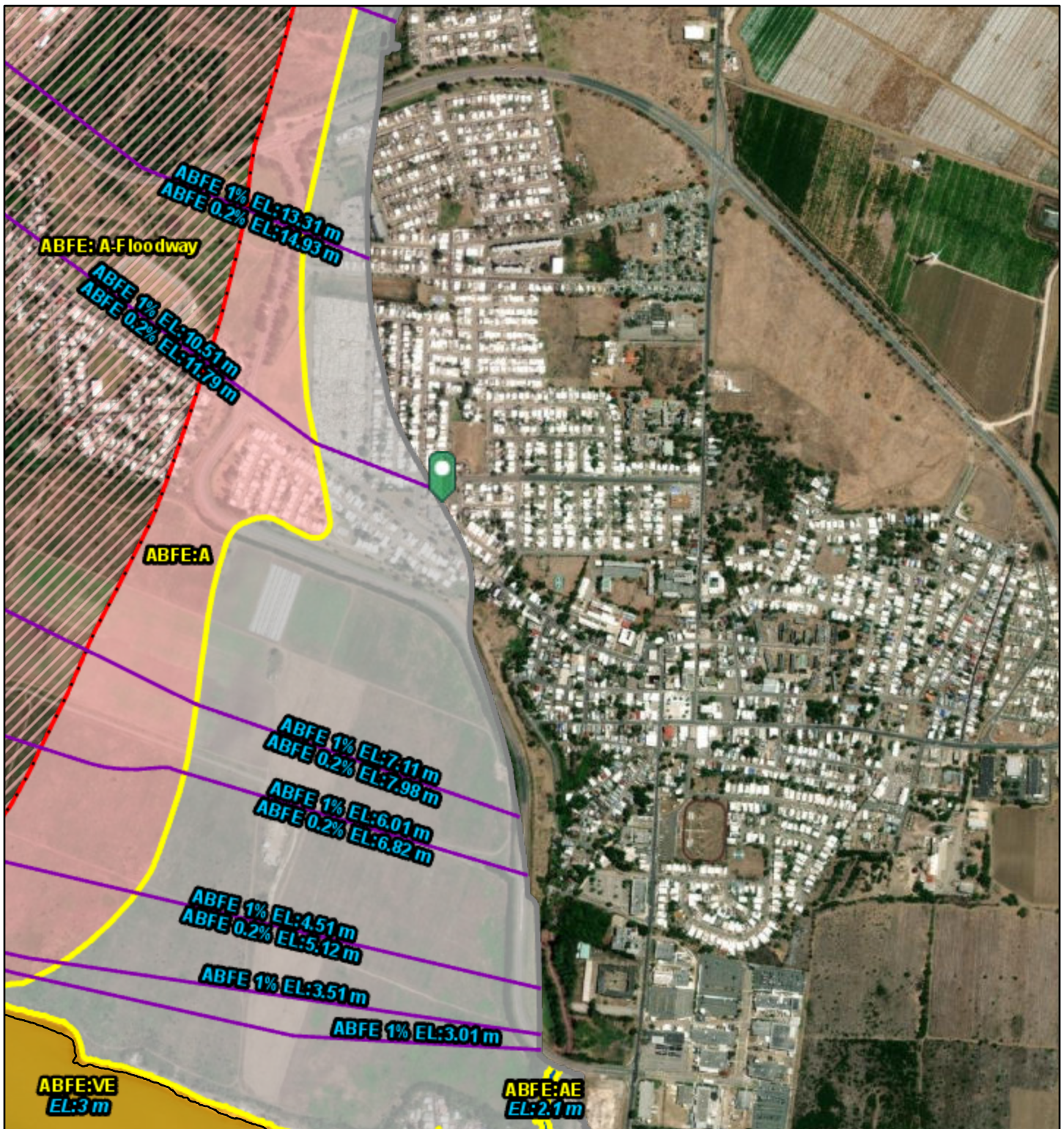
The tie-break rule indicates which value should be selected from a set of multiple candidate values, or which value should be selected in the event of a percent composition tie.

ATTACHMENT K

**Floodplain Management**

Executive Order 11988, particularly section 2(a); 24 CFR Part 55

# Floodplain Management



4/17/2023, 10:54:12 AM

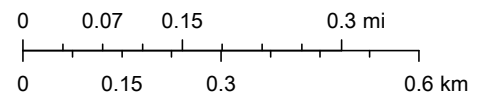
Lat: 17.968965, Lon: -66.409165

1:12,037

- Municipios
- Advisory Base Flood Elevation (zoom in to make visible)
- Streamline (zoom in to make visible)
- Flood Hazard Area (zoom in to make visible)
  - A
  - AO
  - AE
- Coastal A Zone
- VE



PR-CRP-000759  
 PR-CRP-001153



<https://www.fema.gov/flood-maps>

FEMA, Maxar





ATTACHMENT L

**Historic Preservation**

National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800



## GOVERNMENT OF PUERTO RICO

### STATE HISTORIC PRESERVATION OFFICE

Executive Director | Carlos A. Rubio-Cancela | [carubio@prshpo.pr.gov](mailto:carubio@prshpo.pr.gov)

Thursday, January 11, 2024

#### Lauren Bair Poche

HORNE- Architectural Historian Manager  
10000 Perkins Rowe, Suite 610 Bldg. G  
Baton Rouge, LA 70810

SHPO: 12-15-23-04 PR-CRP-001153 SANTA ISABEL MULTIPURPOSE BUILDING FRANCISCO RABLEDO AND PR-CRP-000759 RENOVATION TO PLAZA DEL MERCADO IN SANTA ISABEL URBAN CENTER, SANTA ISABEL, PUERTO RICO

Dear Ms. Poche,

Our Office has received and reviewed the information submitted for the above referenced project in accordance with 54 USC 306108 (commonly known as Section 106 of the *National Historic Preservation Act, as amended*) and 36 CFR Part 800: *Protection of Historic Properties* from the Advisory Council on Historic Preservation.

Our records support your finding of no historic properties affected within the project's area of potential effects.

Please note that should the Agency discover other historic properties at any point during project implementation, you should notify the SHPO immediately. If you have any questions concerning our comments, do not hesitate to contact our Office.

Sincerely,

Carlos A. Rubio-Cancela  
State Historic Preservation Officer

CARC/GMO/MDT





October 20, 2022

**Arch. Carlos A. Rubio Cancela**

Executive Director

State Historic Preservation Officer

Cuartel de Ballajá Bldg.

San Juan, Puerto Rico

**Re: Authorization to Submit Documents**


Dear Arch. Rubio Cancela:

The U.S. Department of Housing (HUD) approved the allocations of Community Development Block Grant (CDBG-DR) funds on February 9, 2018. It also approved the allocation of Community Development Block Grant Mitigation (CDBG-MIT) funds on January 27, 2020. The purpose of these allocations is to address unsatisfied needs as a result of Hurricanes Irma and Maria in September 2017; and to carry out strategic and high-impact activities to mitigate disaster risks and reduce future losses.

To comply with the environmental requirements established by HUD, the Department of Housing of Puerto Rico (PRDOH) contracted Horne Federal LLC to provide environmental registry review services, among others, that will support the objectives of the agenda for both CDBG-DR and CDBG -MIT Programs.

In line to expedite the processes, Horne Federal LLC, is authorized to submit to the State Historic Preservation Officer, documentation of projects related to both the CDBG-DR and CDBG-MIT on behalf of PRDOH.

Cordially,

  
Juan C. Pérez Bofill, P.E. M.Eng  
Director of Disaster Recovery  
CDBG DR-MIT



December 15, 2023

Carlos A. Rubio Cancela  
State Historic Preservation Officer  
Puerto Rico State Historic Preservation Office  
Cuartel de Ballajá (Tercer Piso)  
San Juan, PR 00902-3935

### **Puerto Rico Disaster Recovery, CDBG-DR City Revitalization (City-Rev) Program**

#### **Section 106 NHPA Effect Determination Submittal for PR-CRP-000759 and PR-CRP-001153: Renovations to Plaza del Mercado and the Santa Isabel Multipurpose Building Francisco Robledo Projects, Santa Isabel, Puerto Rico – *No Historic Properties Affected***

Dear Architect Rubio Cancela,


On February 9, 2018, an allocation of Community Development Block Grant - Disaster Recovery (CDBG-DR) funds was approved by the United States Department of Housing and Urban Development (HUD) under the Federal Register Volume 83, No. 28, 83 FR 5844, to assist the Commonwealth of Puerto Rico in meeting unmet needs in the wake of Hurricanes Irma and Maria. On August 14, 2018, an additional \$8.22 billion recovery allocation was allocated to Puerto Rico under the Federal Register Volume 83, No. 157, 83 FR 40314. With these funding allocations, the Puerto Rico Department of Housing (PRDOH) aims to lead a comprehensive and transparent recovery for the benefit of Puerto Rico residents. To faithfully comply with HUD's environmental requirements, the Puerto Rico Department of Housing contracted Horne Federal, LLC (HORNE) to provide environmental records review services that will support the Department's objectives Puerto Rico Housing (PRDOH) for CDBG-DR.

On behalf of PRDOH and the subrecipient, the Municipality of Santa Isabel, we are submitting documentation for the proposed Renovation to the Plaza Mercado and the Santa Isabel Multipurpose Building Francisco Robledo Projects in the municipality of San Sebastián; the Plaza Mercado was constructed circa 1977 and the multipurpose building was constructed circa 1985. The project area is west of the National Register of Historic Places eligible Santa Isabel Traditional Urban Center. Improvements will be made to the exterior and interiors of both buildings. Exterior improvements to the area around the circa 1985 multipurpose building include new ramp construction, new stairs for both emergency exits and perimeter fence construction around the multipurpose building, parking lot reconditioning and potential excavations for a new electrical connection. Exterior improvements to the area around the circa 1977 Plaza Mercado will include the renovations of all four entrances, existing paving will be replaced at the east and south entrances, new ramps, railings and stairs will be constructed on the south entrance. The parking lot will be reconditioned, and the sidewalk will be expanded.

The full scope of the project is described in detail within the submitted documentation, which includes mapping, photographs, and the 60% design plans. Based on the provided documentation, the Program requests a concurrence with a determination that no historic properties affected is appropriate for this combined undertaking.


Please contact me with any questions or concerns by email at [lauren.poche@horne.com](mailto:lauren.poche@horne.com) or phone at 225-405-7676.

Kindest regards,



**Lauren Bair Poche. M.A.**

Architectural Historian, EHP Senior Manager  
Attachments


|  |  |   |
|--|--|---|
| <b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b><br><b>CITY REVITALIZATION PROGRAM (CITY-REV)</b><br><b>Section 106 NHPA Effect Determination</b>                |  | <br><small>GOVERNMENT OF PUERTO RICO<br/>DEPARTMENT OF HOUSING</small> |
| <b>Subrecipient: Municipality of Santa Isabel</b>  |  |   |
| <b>Project Name:</b><br>(1) Santa Isabel Multipurpose Building Francisco Robledo<br>(2) Renovation to Plaza del Mercado in Santa Isabel Urban Center                       |  | <b>Project ID:</b><br>(1) CRP 001153<br>(2) CRP 000759  |
| <b>Project Location:</b><br>(1) Ave. Padre Severo Ferrer Urb. Santiago Apóstol, Santa Isabel PR<br>(2) Padre Severo Ferrer Avenues, Urb, San Juan Apostol, Santa Isabel PR |  |   |
| <b>Project Coordinates:</b><br>(1) 17.969282°, -66.40927°<br>(2) 17.968903°, -66.409195°   |  |   |
| <b>TPID (Número de Catastro):</b> 415-095-121-14   |  |   |
| <b>Type of Undertaking:</b><br><input checked="" type="checkbox"/> Substantial Repair<br><input type="checkbox"/> New Construction   |  |   |
| <b>Construction Date (AH est.):</b><br>(1) ca. 1985<br>(2) ca. 1977  | <b>Property Size (acres):</b> 1.531589 acreage |   |
| <b>SOI-Qualified Archaeologist:</b> José Rivera Meléndez   |  |   |
| <b>Date Reviewed:</b> December 6, 2023   |  |   |
| <b>SOI-Qualified Architect:</b> Elí M. Martínez Beléndez   |  |   |
| <b>Date Reviewed:</b> December 6, 2023   |  |   |

In compliance with Section 106 of the National Historic Preservation Act (NHPA), the Program is responsible for identifying historic properties listed in the NRHP and any properties not listed that would be considered eligible for listing that are located within the geographic area of potential effects (APE) of the proposed project and assessing the potential effects of its undertakings on these historic properties.

### **Introduction:**

The following consultation for two projects, (1) Santa Isabel Multipurpose Building Francisco Robledo and the (2) Renovation to Plaza del Mercado in Santa Isabel Urban Center, has been consolidated into a single document in accordance with City Revitalization Program (CRP) requirements. The request for this combined consultation was initiated in June 2023 and subsequently approved in August 2023. The consolidation became feasible and practical due to the geographical proximity of both projects which are situated on the same site, as depicted in Figure 0. Both projects share additional common considerations. The participation of the same designer, SOI Qualified Architect, and SOI Qualified Archaeologist in both projects created an opportunity for the aggregation or consolidation of both consultations.




|   |  |  |
|---|--|--|
| <b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b><br><b>CITY REVITALIZATION PROGRAM (CITY-REV)</b><br><b>Section 106 NHPA Effect Determination</b> |  | <br>GOVERNMENT OF PUERTO RICO<br>DEPARTMENT OF HOUSING |
| <b>Subrecipient: Municipality of Santa Isabel</b>   |  |  |
| <b>Project Name:</b><br>(1) Santa Isabel Multipurpose Building Francisco Robledo<br>(2) Renovation to Plaza del Mercado in Santa Isabel Urban Center        |  | <b>Project ID:</b><br>(1) CRP 001153<br>(2) CRP 000759   |

**Project Description (Undertaking) - (1) Santa Isabel Multipurpose Building Francisco Robledo**

The Multipurpose Building Francisco Robledo in Santa Isabel is owned by the Municipality of Santa Isabel. It was constructed circa 1985 and is situated in the urban sector of the municipality at the intersection of Roman Baldorioty de Castro Street and #4 Street. The Multipurpose Building is located in the same lot (415-095-121-14) as the Plaza del Mercado. The lot is located approximately 33 meters outside of the edge of Santa Isabel's traditional urban center as defined per SHPO (refer to Figure 2). This location serves as the entrance to a housing complex known as Jardines de Santa Isabel. The structure itself consists of a single level with a mezzanine overlooking the multipurpose room. The structure is approximately 9,225 square feet and features a lobby with two bathrooms, an administrative office, a janitor's closet, various storage spaces, the multipurpose room with a fixed concrete stage and two dressing rooms with bathrooms. The site includes parking areas on the east side with a capacity for twenty six (26) parking spaces, two (2) of which are designated for handicapped use. New light posts will be installed in the parking area along with a new accessible ramp. The main entrance is situated on the west side, while emergency exits are located on the northeast and southeast sides of the structure. Adjacent to the lot, there is a small community park to the west, private residences to the north and east, and the Plaza del Mercado structure to the south.

The existing structure comprises a grid of steel columns and beams that span approximately 67 feet, a reinforced concrete floor slab, concrete block walls, and a metal deck roof. The exterior walls reach a height of twenty seven (27) feet, with the lower portion being made of concrete block and a metal panel parapet approximately four (4) feet six (6) inches high. The structure exhibits some damage in the exterior walls but overall is in good condition and is suitable for restoration.

The proposed scope of work entails renovating the entrance on the east side of the Community Center. This involves constructing a new ramp to ensure wheelchair accessibility, as well as constructing new stairs in the entrance area. Exterior walls are to be primed and painted. The existing metal panels in the exterior walls are to be replaced. Inside the structure, all doors, windows, hung ceilings, light fixtures, and floors will be replaced. New electrical panels and a distribution system for the air conditioning will be installed. All existing air conditioning units will be replaced. The bathrooms will undergo complete renovation, including the replacement of all equipment and partitions to comply with ADA guidelines. The existing wall tiles in the bathrooms will be removed and replaced. Additionally, new spaces for food preparation and additional storage areas are proposed for the


|   |  |  |
|---|--|--|
| <b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b><br><b>CITY REVITALIZATION PROGRAM (CITY-REV)</b><br><b>Section 106 NHPA Effect Determination</b> |  | <br>GOVERNMENT OF PUERTO RICO<br>DEPARTMENT OF HOUSING |
| <b>Subrecipient: Municipality of Santa Isabel</b>   |  |  |
| <b>Project Name:</b><br>(1) Santa Isabel Multipurpose Building Francisco Robledo<br>(2) Renovation to Plaza del Mercado in Santa Isabel Urban Center        |  | <b>Project ID:</b><br>(1) CRP 001153<br>(2) CRP 000759   |

main hall. The existing stage will be enlarged and will incorporate a new handicapped-accessible ramp and stairs. New exit doors, stairs, and sidewalks will be installed. All light fixtures will be replaced in the new suspended ceiling. All exterior ducts will be eliminated. New ducts will be installed along with registers and diffusers. The air distribution systems will be concealed by the new hung ceiling in the main hall. The existing building footprint will not be expanded. New interior spaces will be added to maintain an occupancy of less than three hundred (300) occupants. New air mechanical rooms are proposed along with a new electrical room. New stairs are proposed at both emergency exits along with new ramps for easier loading and offloading equipment to and from the stage area.

The parking lot will have its lines repainted and a new ornamental fence will enclose the building perimeter. Ground disturbance will be limited to the proposed entrance on the west side, the discharge areas of the exit at the northeast and southeast. Some excavations will be required for the new electrical connection.

**Project Description (Undertaking) - (2) Renovations to Plaza del Mercado in Santa Isabel Urban Center**

The Municipality of Santa Isabel owns the Plaza del Mercado, a public market structure built circa 1977. The structure is located outside the traditional urban sector of the Municipality on the corner of Roman Baldorioty de Castro Street and #4 Street which is the entrance of a housing complex called Jardines de Santa Isabel. The Plaza del Mercado is located in the same lot as the Multipurpose Building project described above. The lot is located outside of Santa Isabel's traditional urban center as defined per SHPO. The existing structure is one level and is approximately five thousand seven hundred and ninety six (5,796) square feet. The existing structure has undergone various interior renovations in the 1990s from different tenants. It has two bathrooms, a small administrative office, a janitor's closet, and a large open space where the commercial spaces used to be. Most of the interior partitions were removed. The structure has parking areas in the North, East, and South with a capacity for thirty nine (39) parking spaces. Parking areas could be used as staging areas during construction. It has entrances in the West, South, and East and emergency exits on the North and East. The Multipurpose Building is located to the North of the Plaza del Mercado, a small community park to the West, Baldorioty Street located to the South, and the posterior side four residences to the East.


|  |  |  |
|--|--|--|
| <b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b><br><b>CITY REVITALIZATION PROGRAM (CITY-REV)</b><br><b>Section 106 NHPA Effect Determination</b>        |  | <br>GOVERNMENT OF PUERTO RICO<br>DEPARTMENT OF HOUSING |
| <b>Subrecipient: Municipality of Santa Isabel</b>  |  |  |
| <b>Project Name:</b><br><b>(1) Santa Isabel Multipurpose Building Francisco Robledo</b><br><b>(2) Renovation to Plaza del Mercado in Santa Isabel Urban Center</b> |  | <b>Project ID:</b><br><b>(1) CRP 001153</b><br><b>(2) CRP 000759</b>   |

The existing structure is composed of a grid of steel columns with a steel trussed roof, a reinforced concrete floor slab, concrete block walls, and a metal deck roof. The structure's exterior walls are sixteen (16) feet high. The lower part of the exterior walls is made from concrete block and the parapet, which is approximately four (4) feet high, is constructed of metal deck with foam insulation panels plastered and painted. These foam panels took the heaviest damage from projectile impacts during Hurricane Maria. The waterproofing membranes were also damaged causing the roof to leak water inside the structure. In the interior, there is damage related to water infiltration, but the overall main structure is in good condition and can be restored.

The scope of work consists of the construction and renovation of new and existing entrances in the South, East, and West. We are proposing the construction of new interior layout to create fourteen (14) spaces for commercial use in the interior of the structure and the construction of a new roofed outdoor area for an additional four (4) spaces for vendors on the West side of the structure. All bathroom equipment and partitions are to be replaced. Wall tiles in the bathrooms are to be removed and replaced. All exterior and interior doors are to be replaced. New air conditioning units shall be installed for each of the interior spaces and one for the common areas. A new meter bank will be installed which will allow individual spaces to have separate electric meters. Louvers and skylights shall be replaced, and new waterproof membranes shall be installed on the roof. All existing roof drains shall be replaced. The exterior foam cladding and cement plaster shall be replaced or repaired wherever possible. A new hung ceiling will be constructed to conceal the new electrical distribution in the corridors and the commercial spaces. All existing interior and exterior light fixtures are to be removed and replaced with new light fixtures. New emergency exit lights and emergency lighting will be installed.

The cobblestones in front of the entrances in the east and south exterior areas are to be demolished. A new slab will be constructed and finished with concrete tiles. New ramps, railings and stairs shall be constructed in the south entrance where the handicapped-accessible parking is located. Ground disturbances shall be limited to these areas in front of the entrances located on the south, east, and west sides of the building. The existing building footprint is 5,796 square feet. With the addition of nine hundred (900) square feet for the new spaces for outdoor vendors, the building footprint will increase by 15%. The exterior areas for vendors are roofed but not enclosed and can



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operate independently from the interior spaces. In the parking lot, the proposed improvements include the installation of a new asphalt layer, new wheel-stops and parking lines will be painted. The sidewalk located on the north side will be expanded to create space for new mechanical equipment. All existing trees will remain.

### **Area of Potential Effects**


As defined in 36 CFR §800.16(d), the area of potential effects (APE) is the geographic area or areas within which an undertaking may directly or indirectly cause changes in the character or use of historic properties if any such properties exist. Based on this definition and the nature and scope of the Undertaking, the Program has determined that the direct APE for this project is 1.531589 acreage, and the visual APE is the viewshed of the proposed project. All works proposed are within the property limit lines. There are no adjacent areas to be affected by the proposed scope of work.

Refer to Figure 1 for the aerial map illustrating the area of potential effects. The project is outside the boundaries of Santa Isabel's Traditional Urban Center as defined by the Puerto Rico State Historic Preservation Office. Refer to Figure 2 for the aerial map illustrating the limits of Santa Isabel's Traditional Urban Center in relation to the Project. The soil at the project site belongs to the San Anton series, which is primarily found in floodplain areas. These soils are known for their substantial depth, effective drainage, and moderate permeability. Refer to Figure 5 for the soils map.

The boundary of the APE is as follows: On the North side, the APE borders Ave. Padre Severo Ferrer which is in a residential area. On the east side of the lot, the APE borders Street #10 and four private residences. On the South side the lot borders with Roman Baldorioty de Castro Street which is one of the roads that access the urban traditional center of the Municipality. On the west side, the lot borders with Street #4 which is the entrance to the residential area Jardines de Santa Isabel. Staging areas will be located within the project APE, on the parking lot between the structures.

### **Identification of Historic Properties – Archaeology**

Existing information on previously identified historic properties has been reviewed to determine if any such properties are located within the APE of this undertaking. The review of this existing information,

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by a Program contracted Historic Preservation Specialist meeting the Secretary of the Interior's Professional Qualification Standards (36 CFR Part 61), shows that the Multipurpose Building and the Plaza del Mercado are not within a NRHP listed or eligible historic district or traditional urban center.

A search for archeological studies performed around the Area of Potential Effects was carried out. The table below lists three (3) archeological studies that were identified within the ¼ mile radius of the proposed projects. The first recorded study was performed in 2002 for the installation of a new sewer system. Subsequently, in 2003 and 2011, archeological studies were carried out in different phases prior to the construction of a new road connecting the south side of the municipality. Refer to Figure 3 for an aerial map view illustrating the locations of the previous investigations in relation to the APE.


Archeological studies performed within the ¼ mile radius of the proposed projects:

| Author                        | Title   | Year | SHPO/IPRC ID                          | Results              | Distance From APE |
|-------------------------------|---|------|---------------------------------------|----------------------|-------------------|
| 1. Harry E Alemán Crespo      | Fase: IB "Sistema de Alcantarillado Sanitario, BDA. Monserrate, Centro Urbano, Santa Isabel, Puerto Rico" | 2002 | SHPO: 02-14-02-01                     | Negative             | 0.35 miles SE     |
| 2. Agamenon Gus Pantel Tekaki | Fase: II Yacimientos Y1, Y2, Y3, Y4, Y5, Conector Sur De Santa Isabel Parte II de II                      | 2003 | ICP: SI-11-14-04                      | Positive Prehistoric | 0.12 miles S      |
| 3. Agamenon Gus Pantel Tekaki | Fase: III Conector Sur de Santa Isabel Informe Final Vol.1/2  | 2011 | SHPO: 06-12-03-10<br>ICP: SI-03-08-03 | Positive             | 0.03 miles W      |

The table below lists sites where culturally sensitive material has been found within a ¼ mile radius from the APE. Refer to Figure 4 for an aerial map view illustrating the location of the site previously identified as containing culturally sensitive material in relation to the APE.

| Author                | SHPO Tag  | ICP Code | Description                       | Distance From APE |
|-----------------------|-----------|----------|-----------------------------------|-------------------|
| 1. Conchero Velázquez | SI0100011 | SI-11    | Prehistoric "Residuario/Conchero" | 0.22 miles W      |

Within the radius of 0.25 miles around the project area, only one archaeological site named Conchero Velázquez (SI0100011/SI-11) was identified at approximately 0.22 miles from the project. The projects proposed will have no impact on this site.

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### **Archaeological potential to precolonial and colonial resources**

The purpose of this analysis is to obtain information such as: confirming or establishing previous land uses and determining dates or possible dates of use or construction of structures on the site, among other things. This can help us determine the archaeological sensitivity of the project area.

As a result of the analysis of the aerial photographs taken and supplied by the Autoridad de Carreteras, we can establish the following timeline:

From 1931 to 1971, the project area was part of a large agricultural land, likely planted with sugarcane. In 1972, urban growth began around the project area, while it remained free of any visible development. By 1977, the structure of the Plaza del Mercado was already built. In 1985, the Multi-Purpose Center had been built on the north side of the Market Plaza. Refer to Figures 6 -13.


The space where the Multipurpose Building and the Plaza del Mercado are located was used for agricultural purposes. No previous structures were identified in the study area. Agricultural activity can have an impact on the soil as the surface layer is often modified as part of plowing activities. This can directly affect historical or prehistoric deposits near the earth's surface. On the other hand, the urban growth reflected in the analysis also affects these same sites. We can conclude that the project area is a site previously impacted by agriculture and urban development. It is important to mention that all proposed improvements are in areas where construction activities such as excavations for new footings and utilities have already been carried out. Excavations for the proposed improvements are limited to a depth of three (3) feet.

In summary, the project area is located in an area of low archaeological sensitivity, and the Multiuse Building and the Plaza del Mercado improvement projects will not affect any of the identified archaeological sites. The potential for impacting intact deposits or archeological remains is low.

### **Identification of Historic Properties – Architecture**

Existing information on previously identified historic properties has been reviewed to determine if any such properties are located within the APE of this undertaking. The review of this information by a Program contracted Historic Preservation Specialist meeting the Secretary of Interior's Qualification Standards (36 CFR Part 61) shows that the project area is not within nor adjacent to the traditional urban center of Santa Isabel. Refer to Figure 2 for an aerial map illustrating the limits of the Santa Isabel Traditional Urban Center as defined by the State Historical Preservation Office.



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A search of the U.S. Department of the Interior's National Register of Historic Places was conducted for the architectural evaluation. The search revealed that, within the study area, there are no known historic properties listed within the ¼ mile radius of the proposed project.

### **Visual APE**

After documenting views from to and from the APE, we can confirm that historically important places are within the visual APE. Refer to Figure 9 for views to and from the site.

### **Surrounding Buildings – Architecture**

An inventory was created of all structures surrounding the proposed project. Refer to Figure X & Y for the individual analysis of the surrounding buildings and their evaluation. The National Register of Historic Places (NRHP) inclusion criteria 36 CFR Part 63, established by the National Park Service, was used as a reference to evaluate the buildings surrounding the Multiuse Building and the Plaza del Mercado.


### **Evaluation Criteria**

The inclusion criteria of the National Register of Historic Places (NRHP), established by the National Park Service, was used as a reference. The criteria were designed 'to guide local and state governments, federal agencies, tribal governments, and others in evaluating properties that have the potential to be included in the National Register.'<sup>1</sup>

(1) The Multipurpose Building has a documented existence of 38 years. This is supported by photographic records dating to 1985. These records are included in this document to substantiate the historical context. Refer to Figures 6 through 12 for the aerial photos taken in 1931, 1937, 1950, 1972, 1977 & 1985. The Multipurpose Building structure does not meet standards for inclusion in the NRHP under any criterion. The structure lacks the distinctive characteristics that would render it eligible for historic designation.

(2) The Plaza del Mercado structure has a documented existence of 46 years. This is supported by photographic records dating to 1977 (Figures 11 & 12). These records are included in this document to substantiate the historical context. The structure is older than 45 years but lacks distinctive characteristics that would render it eligible for historic designation and has undergone various

<sup>1</sup> Information obtained in webpage of the *Oficina Estatal de Conservación Histórica (OECHO)*  
<https://oech.pr.gov/ProgramaConservacionHistorica/Pages/Registro-nacional-de-Lugares-Historicos.aspx>


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alterations throughout the years. The structure does not exhibit any elements that can be considered high artistic value. The Plaza del Mercado structure does not meet standards for inclusion in the NRHP.

### **Determinations**

No historic properties have been identified within the APE:

- Direct Effect:
  - **Architecture** - None of the elements to be replaced or repaired in the structure Plaza del Mercado or the Multipurpose Building have any historical value. These buildings are not eligible to be included in the NRHP. No view of historic sites or buildings will be affected. No historic properties are within the direct or indirect/visual APE.
  - **Archaeology** - After analysis and consideration of the available information, it is evident that the project area was used for large scale agriculture. Starting from 1972, we observed the emergence of urban growth in the vicinity of the project area, while the area itself remained devoid of any visible development. In 1977, the Plaza del Mercado structure was visible in aerial photographs, and by 1985, the Multipurpose Building had been constructed on the north side of the Plaza del Mercado.  
 The space where the Plaza del Mercado and the Multipurpose Building are located was used for agricultural purposes. No previous structures were identified at the study site. Agricultural activity can have an impact on the soil, as plowing, as part of its activities, often modifies the surface layer. This can directly affect historical or prehistoric deposits near the earth's surface. In addition, the site was impacted by construction activity caused by the urban growth reflected in the aerial photographs. We can conclude that the project area is a site previously impacted by agriculture and urban development and the probability of affecting unknown deposits is low. Therefore, no known archaeological resources/historic properties will be affected by the project.
- Indirect Effect:
  - **Architecture** – No historic properties are present.
  - **Archaeological** - No historic properties are present.

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### Recommendation

The Puerto Rico Department of Housing requests that the Puerto Rico SHPO concur that the following determination is appropriate for the undertaking (Choose One):

- ☒ No Historic Properties Affected  
☐ No Adverse Effect  
     Condition (if applicable):  
☐ Adverse Effect  
     Proposed Resolution (if applicable)

### This Section is to be Completed by SHPO Staff Only

|  |       |
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| The Puerto Rico State Historic Preservation Office has reviewed the above information and:   |       |
| <input type="checkbox"/> <b>Concurs</b> with the information provided.<br><input type="checkbox"/> <b>Does not concur</b> with the information provided. |       |
| <b>Comments:</b>   |       |
| Carlos Rubio-Cancela<br>State Historic Preservation Officer  | Date: |



**Subrecipient: Municipality of Santa Isabel**

**Project Name:**

- (1) Santa Isabel Multipurpose Building Francisco Robledo  
 (2) Renovation to Plaza del Mercado in Santa Isabel Urban Center

**Project ID:**

- (1) CRP 001153  
 (2) CRP 000759

**Figure 0. Projects Located on single lot – MIPR <https://gis.jp.pr.gov/mipr/>**



Subrecipient: Municipality of Santa Isabel

Project Name:

(1) Santa Isabel Multipurpose Building Francisco Robledo

(2) Renovation to Plaza del Mercado in Santa Isabel Urban Center

Project ID:

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(2) CRP 000759

Figure 1. Project (Parcel) Location – Area of Potential Effect Map (Aerial)



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- (2) Renovation to Plaza del Mercado in Santa Isabel Urban Center

Project ID:

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- (2) CRP 000759

Figure 2. Project (Parcel) Location - Aerial Map



Survey area acreage: 95

Total parcels within survey area: 607

PR State Historic Preservation Office  
December 16, 2020



Subrecipient: Municipality of Santa Isabel

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(2) Renovation to Plaza del Mercado in Santa Isabel Urban Center

Project ID:

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Figure 3. Project Location with Previous Investigations - Aerial Map .25 mile radius



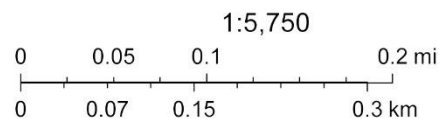
LEGEND:

1 - SHPO: 02-14-02-01

2 - ICP: SI-11-14-04

3 - SHPO: 06-12-03-10 /

ICP: SI-03-08-03



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**Figure 5. Project (Parcel) Location – Soils Map**

Soils Map for the Santa Isabel area and location of the project. Map obtained from the Soil Survey of Ponce Area of Southern Puerto Rico (1982: pages 40-42), prepared by the USDA Soil Conservation Service. Roberto E. Gierbolini (Scale 1:20000)






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**Figure 6. AERIAL VIEW OF THE SITE TAKEN IN 1931**

PHOTO FROM THE ARCHIVES OF THE PHOTOGRAMETRY AUTORIDAD DE CARRETERAS




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**Figure 7. AERIAL VIEW OF THE SITE TAKEN IN 1937**

PHOTO FROM THE ARCHIVES OF THE PHOTOGRAMETRY AUTORIDAD DE CARRETERAS




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**Figure 8. AERIAL VIEW OF THE SITE TAKEN IN 1950**

PHOTO FROM THE ARCHIVES OF THE PHOTOGRAMETRY AUTORIDAD DE CARRETERAS






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**Figure 9. AERIAL VIEW OF THE SITE TAKEN IN 1963**

PHOTO FROM THE ARCHIVES OF THE PHOTOGRAMMETRY AUTORIDAD DE CARRETERAS




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**Figure 10. AERIAL VIEW OF THE SITE TAKEN IN 1971**

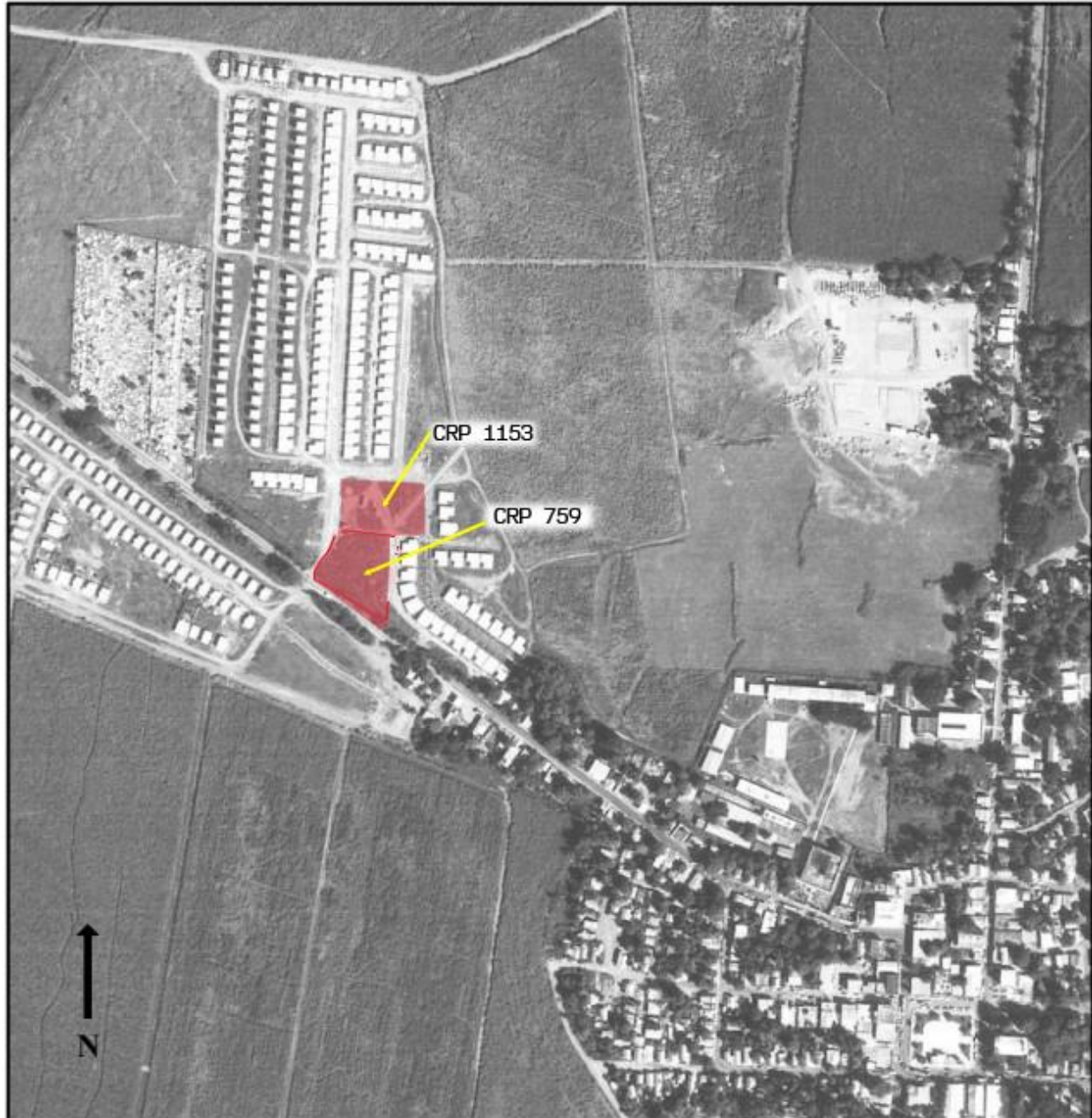
PHOTO FROM THE ARCHIVES OF THE PHOTOGRAMETRY AUTORIDAD DE CARRETERAS




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**Figure 11. AERIAL VIEW OF THE SITE TAKEN IN 1972**

PHOTO FROM THE ARCHIVES OF THE PHOTOGRAMETRY AUTORIDAD DE CARRETERAS






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**Figure 12. AERIAL VIEW OF THE STRUCTURE TAKEN IN 1977**

PHOTO FROM THE ARCHIVES OF THE PHOTOGRAMETRY AUTORIDAD DE CARRETERAS



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| <b>Project Name:</b><br>(1) Santa Isabel Multipurpose Building Francisco Robledo<br>(2) Renovation to Plaza del Mercado in Santa Isabel Urban Center        |  | <b>Project ID:</b><br>(1) CRP 001153<br>(2) CRP 000759   |

**Figure 13. AERIAL VIEW OF THE STRUCTURES TAKEN IN 1985**

PHOTO FROM THE ARCHIVES OF THE PHOTOGRAMMETRY AUTORIDAD DE CARRETERAS





Subrecipient: Municipality of Santa Isabel

Project Name:

(1) Santa Isabel Multipurpose Building Francisco Robledo

(2) Renovation to Plaza del Mercado in Santa Isabel Urban Center

Project ID:

(1) CRP 001153


(2) CRP 000759

Figure 14. Key Plan of Property Inventory around APE (Indirect/Visual APE)






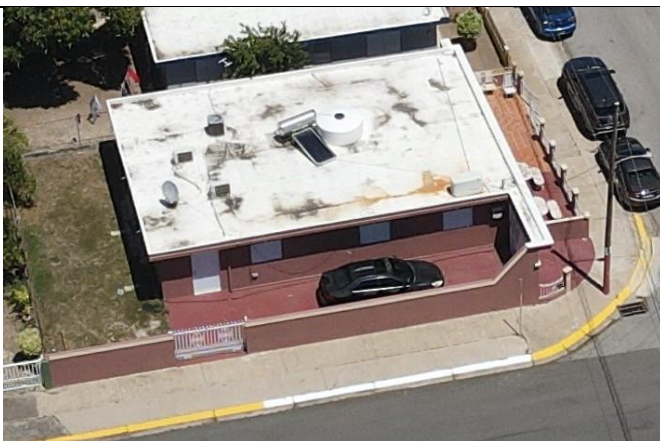
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**Figure 14A. Property Inventory of around APE**



|   |   |  |
|---|---|--|
| 1 | <p>COMUNITY PARK</p> <p><b>415-095-120-06</b></p> <p>Lat: 17.96931199, Lon: -66.40998961</p> <p>USE: RECREATIONAL</p> <p>No historic properties affected.</p>                         |   |
| 2 | <p>RESIDENCE</p> <p><b>415-095-120-05</b></p> <p>Lat: 17.96949256, Lon: -66.40959446</p> <p>USE: RESIDENCE</p> <p>No historic properties affected.</p> <p>Construction date: 1972</p> |  |




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| <b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b><br><b>CITY REVITALIZATION PROGRAM (CITY-REV)</b><br><b>Section 106 NHPA Effect Determination</b>        |  |   |
| <b>Subrecipient: Municipality of Santa Isabel</b>  |  |  |
| <b>Project Name:</b><br><b>(1) Santa Isabel Multipurpose Building Francisco Robledo</b><br><b>(2) Renovation to Plaza del Mercado in Santa Isabel Urban Center</b> |  | <b>Project ID:</b><br><b>(1) CRP 001153</b><br><b>(2) CRP 000759</b>                 |
| 3  | RESIDENCE<br><br><b>415-095-117-14</b><br><br>Lat: 17.96979684, Lon: -66.40959396<br><br>USE: RESIDENCE<br>No historic properties affected.<br><br>Construction date: 1972 |    |
| 4  | RESIDENCE<br><br><b>415-095-114-20</b><br><br>Lat: 17.96976166, Lon: -66.40923587<br><br>USE: RESIDENCE<br>No historic properties affected.<br><br>Construction date: 1972 |   |
| 5  | RESIDENCE<br><br><b>415-095-114-21</b><br><br>Lat: 17.96976612, Lon: -66.40903316<br><br>USE: RESIDENCE<br>No historic properties affected.<br><br>Construction date: 1972 |  |







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| <b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b><br><b>CITY REVITALIZATION PROGRAM (CITY-REV)</b><br><b>Section 106 NHPA Effect Determination</b>        |  |  |
| <b>Subrecipient: Municipality of Santa Isabel</b>  |  |   |
| <b>Project Name:</b><br><b>(1) Santa Isabel Multipurpose Building Francisco Robledo</b><br><b>(2) Renovation to Plaza del Mercado in Santa Isabel Urban Center</b> |  | <b>Project ID:</b><br><b>(1) CRP 001153</b><br><b>(2) CRP 000759</b>                |
| 6  | <b>Organization of War Veterans</b><br><br><b>415-085-119-01</b><br><br>Lat: 17.97010777, Lon: -66.40867521<br><br>USE: CIVIC<br>No historic properties affected.<br><br>Construction date: 1972 |   |
| 7  | <b>RESIDENCE</b><br><br><b>415-095-122-01</b><br><br>Lat: 17.96942504, Lon: -66.40846461<br><br>USE: RESIDENCE<br>No historic properties affected.<br><br>Construction date: 1972                |  |




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| <b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b><br><b>CITY REVITALIZATION PROGRAM (CITY-REV)</b><br><b>Section 106 NHPA Effect Determination</b>        |  | <br><small>GOVERNMENT OF PUERTO RICO<br/>DEPARTMENT OF HOUSING</small> |
| <b>Subrecipient: Municipality of Santa Isabel</b>  |  |   |
| <b>Project Name:</b><br><b>(1) Santa Isabel Multipurpose Building Francisco Robledo</b><br><b>(2) Renovation to Plaza del Mercado in Santa Isabel Urban Center</b> |  | <b>Project ID:</b><br><b>(1) CRP 001153</b><br><b>(2) CRP 000759</b>  |
| 8  | RESIDENCE<br><br><b>415-095-122-02</b><br><br>Lat: 17.96930653, Lon: -66.40843770<br><br>USE: RESIDENCE<br>No historic properties affected.<br><br>Construction date: 1972 |    |


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| <b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b><br><b>CITY REVITALIZATION PROGRAM (CITY-REV)</b><br><b>Section 106 NHPA Effect Determination</b>        |  |   |
| <b>Subrecipient: Municipality of Santa Isabel</b>  |  |  |
| <b>Project Name:</b><br><b>(1) Santa Isabel Multipurpose Building Francisco Robledo</b><br><b>(2) Renovation to Plaza del Mercado in Santa Isabel Urban Center</b> |  | <b>Project ID:</b><br><b>(1) CRP 001153</b><br><b>(2) CRP 000759</b>                 |
| 9  | RESIDENCE<br><br><b>415-095-122-03</b><br><br>Lat: 17.96919016, Lon: -66.40840332<br><br>USE: RESIDENCE<br>No historic properties affected.<br><br>Construction date: 1972 |   |
| 10   | RESIDENCE<br><br><b>415-095-121-01</b><br><br>Lat: 17.96905454, Lon: -66.40880688<br><br>USE: RESIDENCE<br>No historic properties affected.<br><br>Construction date: 1972 |  |




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| <b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b><br><b>CITY REVITALIZATION PROGRAM (CITY-REV)</b><br><b>Section 106 NHPA Effect Determination</b>        |  |   |
| <b>Subrecipient: Municipality of Santa Isabel</b>  |  |  |
| <b>Project Name:</b><br><b>(1) Santa Isabel Multipurpose Building Francisco Robledo</b><br><b>(2) Renovation to Plaza del Mercado in Santa Isabel Urban Center</b> |  | <b>Project ID:</b><br><b>(1) CRP 001153</b><br><b>(2) CRP 000759</b>                 |
| 11   | RESIDENCE<br><br><b>415-095-121-02</b><br><br>Lat: 17.96894642, Lon: -66.40881358<br><br>USE: RESIDENCE<br>No historic properties affected.<br><br>Construction date: 1972 |    |
| 12   | RESIDENCE<br><br><b>415-095-121-03</b><br><br>Lat: 17.96882925, Lon: -66.40882622<br><br>USE: RESIDENCE<br>No historic properties affected.<br><br>Construction date: 1972 |   |
| 13   | RESIDENCE<br><br><b>415-095-121-04</b><br><br>Lat: 17.96869488, Lon: -66.40883159<br><br>USE: RESIDENCE<br>No historic properties affected.<br><br>Construction date: 1972 |  |






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| <b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b><br><b>CITY REVITALIZATION PROGRAM (CITY-REV)</b><br><b>Section 106 NHPA Effect Determination</b>        |  | <br><small>GOVERNMENT OF PUERTO RICO<br/>DEPARTMENT OF HOUSING</small> |
| <b>Subrecipient: Municipality of Santa Isabel</b>  |  |   |
| <b>Project Name:</b><br><b>(1) Santa Isabel Multipurpose Building Francisco Robledo</b><br><b>(2) Renovation to Plaza del Mercado in Santa Isabel Urban Center</b> |  | <b>Project ID:</b><br><b>(1) CRP 001153</b><br><b>(2) CRP 000759</b>  |
| 14   | RESIDENCE<br><br><b>415-095-121-05</b><br><br>Lat: 17.96853230, Lon: -66.40881655<br><br>USE: RESIDENCE<br>No historic properties affected.<br><br>Construction date: 1972 |   |
| 15   | RESIDENCE<br><br><b>415-095-165-06</b><br><br>Lat: 17.96813934, Lon: -66.40916318<br><br>USE: RESIDENCE<br>No historic properties affected.<br><br>Construction date: 1972 |    |
| 16   | RESIDENCE<br><br><b>415-095-165-05</b><br><br>Lat: 17.96820043, Lon: -66.40926884<br><br>USE: RESIDENCE<br>No historic properties affected.<br><br>Construction date: 1972 |   |

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| <b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b><br><b>CITY REVITALIZATION PROGRAM (CITY-REV)</b><br><b>Section 106 NHPA Effect Determination</b>        |  | <br><small>GOVERNMENT OF PUERTO RICO<br/>DEPARTMENT OF HOUSING</small> |
| <b>Subrecipient: Municipality of Santa Isabel</b>  |  |   |
| <b>Project Name:</b><br><b>(1) Santa Isabel Multipurpose Building Francisco Robledo</b><br><b>(2) Renovation to Plaza del Mercado in Santa Isabel Urban Center</b> |  | <b>Project ID:</b><br><b>(1) CRP 001153</b><br><b>(2) CRP 000759</b>  |

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| 17 | RESIDENCE<br><br><b>415-095-165-04</b><br><br>Lat: 17.96826957, Lon: -66.40936642<br><br>USE: RESIDENCE<br>No historic properties affected.<br><br>Construction date: 1977 |  |
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| <b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b><br><b>CITY REVITALIZATION PROGRAM (CITY-REV)</b><br><b>Section 106 NHPA Effect Determination</b>        |  |   |
| <b>Subrecipient: Municipality of Santa Isabel</b>  |  |  |
| <b>Project Name:</b><br><b>(1) Santa Isabel Multipurpose Building Francisco Robledo</b><br><b>(2) Renovation to Plaza del Mercado in Santa Isabel Urban Center</b> |  | <b>Project ID:</b><br><b>(1) CRP 001153</b><br><b>(2) CRP 000759</b>                 |
| 18   | <p>RESIDENCE</p> <p><b>415-095-165-03</b></p> <p>Lat: 17.96834296, Lon: -66.40946119</p> <p>USE: RESIDENCE<br/>No historic properties affected.</p> <p>Construction date: 1977</p> |   |
| 19   | <p>RESIDENCE</p> <p><b>415-095-165-02</b></p> <p>Lat: 17.96841455, Lon: -66.40956037</p> <p>USE: RESIDENCE<br/>No historic properties affected.</p> <p>Construction date: 1977</p> |  |



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| <b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b><br><b>CITY REVITALIZATION PROGRAM (CITY-REV)</b><br><b>Section 106 NHPA Effect Determination</b>        |  |   |
| <b>Subrecipient: Municipality of Santa Isabel</b>  |  |  |
| <b>Project Name:</b><br><b>(1) Santa Isabel Multipurpose Building Francisco Robledo</b><br><b>(2) Renovation to Plaza del Mercado in Santa Isabel Urban Center</b> |  | <b>Project ID:</b><br><b>(1) CRP 001153</b><br><b>(2) CRP 000759</b>                 |
| 20   | RESIDENCE<br><br><b>415-095-165-01</b><br><br>Lat: 17.96848967, Lon: -66.40966891<br><br>USE: RESIDENCE<br>No historic properties affected.<br><br>Construction date: 1977 |   |
| 21   | RESIDENCE<br><br><b>415-095-124-31</b><br><br>Lat: 17.96872063, Lon: -66.40990703<br><br>USE: RESIDENCE<br>No historic properties affected.<br><br>Construction date: 1977 |  |

Subrecipient: Municipality of Santa Isabel

Project Name:

(1) Santa Isabel Multipurpose Building Francisco Robledo

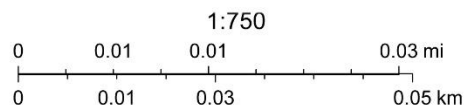
(2) Renovation to Plaza del Mercado in Santa Isabel Urban Center

Project ID:

(1) CRP 001153


(2) CRP 000759

Figure 9. Photograph Key of views of the Direct APE



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Distribution Airbus DS © 2023 TomTom



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| <p><b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b></p> <p><b>CITY REVITALIZATION PROGRAM (CITY-REV)</b></p> <p><b>Section 106 NHPA Effect Determination</b></p>        |   |
| <p><b>Subrecipient: Municipality of Santa Isabel</b></p>  |   |
| <p><b>Project Name:</b></p> <p><b>(1) Santa Isabel Multipurpose Building Francisco Robledo</b></p> <p><b>(2) Renovation to Plaza del Mercado in Santa Isabel Urban Center</b></p> | <p><b>Project ID:</b></p> <p><b>(1) CRP 001153</b></p> <p><b>(2) CRP 000759</b></p> |




|                        |  |
|------------------------|--|
| <b>Photo #: 1</b>      | <b>Description:</b> View of the south façade of the <i>Plaza del Mercado</i> |
| <b>Date:</b> 3/13/2023 |  |



|                        |   |
|------------------------|---|
| <b>Photo #: 2</b>      | <b>Description:</b> View of the exterior space in the south of the <i>Plaza del Mercado</i> |
| <b>Date:</b> 3/13/2023 |   |



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| <b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b><br><b>CITY REVITALIZATION PROGRAM (CITY-REV)</b><br><b>Section 106 NHPA Effect Determination</b> |  |  |
| <b>Subrecipient: Municipality of Santa Isabel</b>   |  |   |
| <b>Project Name:</b><br>(1) Santa Isabel Multipurpose Building Francisco Robledo<br>(2) Renovation to Plaza del Mercado in Santa Isabel Urban Center        |  | <b>Project ID:</b><br>(1) CRP 001153<br>(2) CRP 000759                              |




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|------------------------|--|
| <b>Photo #: 3</b>      | <b>Description:</b> View of the handicapped parking spaces in the south of the Plaza del Mercado |
| <b>Date: 3/13/2023</b> |  |



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| <b>Photo #: 4</b>      | <b>Description:</b> Close view of the south entrance of the Plaza del Mercado |
| <b>Date: 3/13/2023</b> |   |



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| <b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b><br><b>CITY REVITALIZATION PROGRAM (CITY-REV)</b><br><b>Section 106 NHPA Effect Determination</b> |  |  |
| <b>Subrecipient: Municipality of Santa Isabel</b>   |  |   |
| <b>Project Name:</b><br>(1) Santa Isabel Multipurpose Building Francisco Robledo<br>(2) Renovation to Plaza del Mercado in Santa Isabel Urban Center        |  | <b>Project ID:</b><br>(1) CRP 001153<br>(2) CRP 000759                              |




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| <b>Photo #: 5</b>      | <b>Description:</b> View of the parking lot located to the south of the Plaza del Mercado |
| <b>Date: 3/13/2023</b> |   |



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| <b>Photo #: 6</b>      | <b>Description:</b> View of the parking lot located to the south of the Plaza del Mercado |
| <b>Date: 3/13/2023</b> |   |



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| <b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b><br><b>CITY REVITALIZATION PROGRAM (CITY-REV)</b><br><b>Section 106 NHPA Effect Determination</b> |  | <br>GOVERNMENT OF PUERTO RICO<br>DEPARTMENT OF HOUSING |
| <b>Subrecipient: Municipality of Santa Isabel</b>   |  |  |
| <b>Project Name:</b><br>(1) Santa Isabel Multipurpose Building Francisco Robledo<br>(2) Renovation to Plaza del Mercado in Santa Isabel Urban Center        | <b>Project ID:</b><br>(1) CRP 001153<br>(2) CRP 000759 |  |




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| <b>Photo #: 7</b>      | <b>Description:</b> View of the south façade of the Plaza del Mercado |
| <b>Date: 3/13/2023</b> |   |



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|------------------------|--|
| <b>Photo #: 8</b>      | <b>Description:</b> View of the east side of the Plaza del Mercado |
| <b>Date: 3/13/2023</b> |  |




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| <b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b><br><b>CITY REVITALIZATION PROGRAM (CITY-REV)</b><br><b>Section 106 NHPA Effect Determination</b> |  |  |
| <b>Subrecipient: Municipality of Santa Isabel</b>   |  |   |
| <b>Project Name:</b><br>(1) Santa Isabel Multipurpose Building Francisco Robledo<br>(2) Renovation to Plaza del Mercado in Santa Isabel Urban Center        |  | <b>Project ID:</b><br>(1) CRP 001153<br>(2) CRP 000759                              |



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| <b>Photo #: 9</b>      | <b>Description:</b> View of the east entrance of the Plaza del Mercado |
| <b>Date:</b> 3/13/2023 |  |



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| <b>Photo #: 10</b>     | <b>Description:</b> View of the east entrance of the Plaza del Mercado |
| <b>Date:</b> 3/13/2023 |  |

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| <b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b><br><b>CITY REVITALIZATION PROGRAM (CITY-REV)</b><br><b>Section 106 NHPA Effect Determination</b> |  |  |
| <b>Subrecipient: Municipality of Santa Isabel</b>   |  |   |
| <b>Project Name:</b><br>(1) Santa Isabel Multipurpose Building Francisco Robledo<br>(2) Renovation to Plaza del Mercado in Santa Isabel Urban Center        |  | <b>Project ID:</b><br>(1) CRP 001153<br>(2) CRP 000759                              |




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| <b>Photo #: 11</b>     | <b>Description:</b> View of the entrance located on the east side of the Plaza del Mercado |
| <b>Date: 3/13/2023</b> |  |



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| <b>Photo #: 12</b>     | <b>Description:</b> View of the north side of the Plaza del Mercado |
| <b>Date: 3/13/2023</b> |   |



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| <b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b><br><b>CITY REVITALIZATION PROGRAM (CITY-REV)</b><br><b>Section 106 NHPA Effect Determination</b> | <br>GOVERNMENT OF PUERTO RICO<br>DEPARTMENT OF HOUSING |
| <b>Subrecipient: Municipality of Santa Isabel</b>   |  |
| <b>Project Name:</b><br>(1) Santa Isabel Multipurpose Building Francisco Robledo<br>(2) Renovation to Plaza del Mercado in Santa Isabel Urban Center        | <b>Project ID:</b><br>(1) CRP 001153<br>(2) CRP 000759   |




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|------------------------|--|
| <b>Photo #: 13</b>     | <b>Description:</b> View of the south side of the Multipurpose Building from the parking lot located to the north of the Plaza del Mercado |
| <b>Date: 3/13/2023</b> |  |



|                        |   |
|------------------------|---|
| <b>Photo #: 14</b>     | <b>Description:</b> View of the parking lot located on the east side of the Plaza del Mercado |
| <b>Date: 3/13/2023</b> |   |




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| <b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b><br><b>CITY REVITALIZATION PROGRAM (CITY-REV)</b><br><b>Section 106 NHPA Effect Determination</b> |  |  |
| <b>Subrecipient: Municipality of Santa Isabel</b>   |  |   |
| <b>Project Name:</b><br>(1) Santa Isabel Multipurpose Building Francisco Robledo<br>(2) Renovation to Plaza del Mercado in Santa Isabel Urban Center        |  | <b>Project ID:</b><br>(1) CRP 001153<br>(2) CRP 000759                              |



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|------------------------|--|
| <b>Photo #: 15</b>     | <b>Description:</b> View of the entrance located on the east side of the Plaza del Mercado |
| <b>Date: 3/13/2023</b> |  |



|                        |   |
|------------------------|---|
| <b>Photo #: 16</b>     | <b>Description:</b> View of the parking lot located on the east side of the Plaza del Mercado |
| <b>Date: 3/13/2023</b> |   |

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|---|--|--|
| <b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b><br><b>CITY REVITALIZATION PROGRAM (CITY-REV)</b><br><b>Section 106 NHPA Effect Determination</b> |  |  GOVERNMENT OF PUERTO RICO<br>DEPARTMENT OF HOUSING |
| <b>Subrecipient: Municipality of Santa Isabel</b>   |  |  |
| <b>Project Name:</b><br>(1) Santa Isabel Multipurpose Building Francisco Robledo<br>(2) Renovation to Plaza del Mercado in Santa Isabel Urban Center        |  | <b>Project ID:</b><br>(1) CRP 001153<br>(2) CRP 000759   |




|                        |  |
|------------------------|--|
| <b>Photo #: 17</b>     | <b>Description:</b> View of the Multipurpose Building's main façade on the east side |
| <b>Date: 3/13/2023</b> |  |



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| <b>Photo #: 18</b>     | <b>Description:</b> View of the southeast side of the Multipurpose Building |
| <b>Date: 3/13/2023</b> |   |



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| <b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b><br><b>CITY REVITALIZATION PROGRAM (CITY-REV)</b><br><b>Section 106 NHPA Effect Determination</b> |  |  |
| <b>Subrecipient: Municipality of Santa Isabel</b>   |  |   |
| <b>Project Name:</b><br>(1) Santa Isabel Multipurpose Building Francisco Robledo<br>(2) Renovation to Plaza del Mercado in Santa Isabel Urban Center        |  | <b>Project ID:</b><br>(1) CRP 001153<br>(2) CRP 000759                              |



|                        |   |
|------------------------|---|
| <b>Photo #: 19</b>     | <b>Description:</b> View of the northwest side of the Multipurpose Building |
| <b>Date:</b> 3/13/2023 |   |



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|------------------------|---|
| <b>Photo #: 20</b>     | <b>Description:</b> View of the south side of the Multipurpose Building |
| <b>Date:</b> 3/13/2023 |   |



**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM**  
**CITY REVITALIZATION PROGRAM (CITY-REV)**  
**Section 106 NHPA Effect Determination**



**Subrecipient: Municipality of Santa Isabel**

**Project Name:**

- (1) Santa Isabel Multipurpose Building Francisco Robledo
- (2) Renovation to Plaza del Mercado in Santa Isabel Urban Center

**Project ID:**

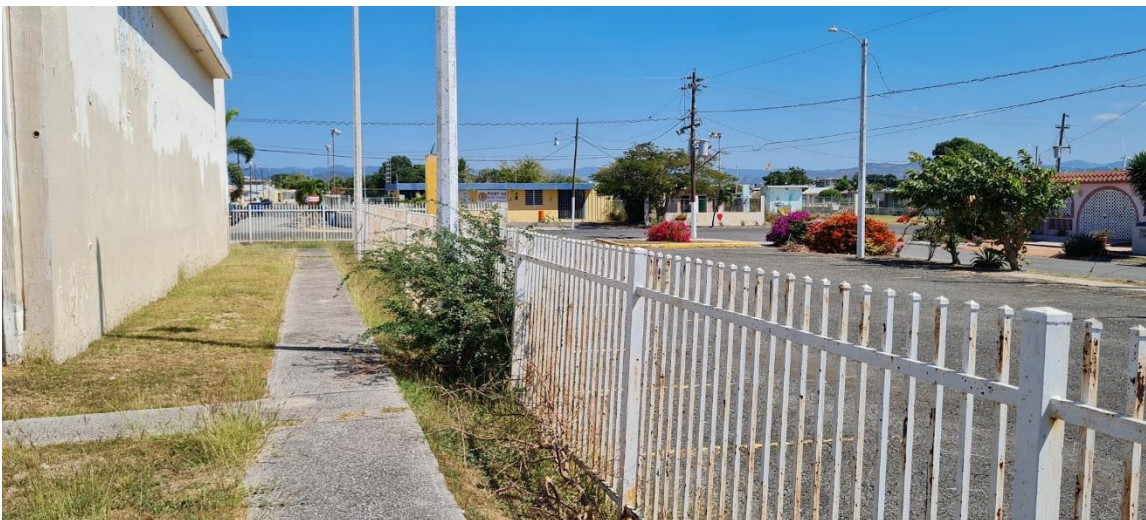
- (1) CRP 001153
- (2) CRP 000759



**Photo #: 21**

**Description:** View of the east side of the Plaza del Mercado

**Date: 3/13/2023**



**Photo #: 22**

**Description:** View of the east side of the Multipurpose Building

**Date: 3/13/2023**



**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM**  
**CITY REVITALIZATION PROGRAM (CITY-REV)**  
**Section 106 NHPA Effect Determination**



**Subrecipient: Municipality of Santa Isabel**

**Project Name:**

- (1) Santa Isabel Multipurpose Building Francisco Robledo
- (2) Renovation to Plaza del Mercado in Santa Isabel Urban Center

**Project ID:**

- (1) CRP 001153
- (2) CRP 000759



**Photo #: 23**

**Description:** View of the east side of the Multipurpose Building

**Date: 3/13/2023**




**Photo #: 24**

**Description:** View of the northeast side of the Multipurpose Building's parking lot

**Date: 3/13/2023**



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| <b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b><br><b>CITY REVITALIZATION PROGRAM (CITY-REV)</b><br><b>Section 106 NHPA Effect Determination</b> |  | <br><small>GOVERNMENT OF PUERTO RICO<br/>DEPARTMENT OF HOUSING</small> |
| <b>Subrecipient: Municipality of Santa Isabel</b>   |  |   |
| <b>Project Name:</b><br>(1) Santa Isabel Multipurpose Building Francisco Robledo<br>(2) Renovation to Plaza del Mercado in Santa Isabel Urban Center        |  | <b>Project ID:</b><br>(1) CRP 001153<br>(2) CRP 000759  |




|                        |   |
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| <b>Photo #: 25</b>     | <b>Description:</b> View of the northwest side of the Multipurpose Building |
| <b>Date: 3/13/2023</b> |   |



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| <b>Photo #: 26</b>     | <b>Description:</b> View of the north side of the Multipurpose Building |
| <b>Date: 3/13/2023</b> |   |



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|---|--|--|
| <b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b><br><b>CITY REVITALIZATION PROGRAM (CITY-REV)</b><br><b>Section 106 NHPA Effect Determination</b> |  | <br>GOVERNMENT OF PUERTO RICO<br>DEPARTMENT OF HOUSING |
| <b>Subrecipient: Municipality of Santa Isabel</b>   |  |  |
| <b>Project Name:</b><br>(1) Santa Isabel Multipurpose Building Francisco Robledo<br>(2) Renovation to Plaza del Mercado in Santa Isabel Urban Center        | <b>Project ID:</b><br>(1) CRP 001153<br>(2) CRP 000759 |  |



|                        |  |
|------------------------|--|
| <b>Photo #: 27</b>     | <b>Description:</b> View of the entrance located on the east side of the Multipurpose Building |
| <b>Date: 3/13/2023</b> |  |



|                        |   |
|------------------------|---|
| <b>Photo #: 28</b>     | <b>Description:</b> View of the northwest side of the Multipurpose Building |
| <b>Date: 3/13/2023</b> |   |



**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM**  
**CITY REVITALIZATION PROGRAM (CITY-REV)**  
**Section 106 NHPA Effect Determination**



**Subrecipient: Municipality of Santa Isabel**

**Project Name:**

- (1) Santa Isabel Multipurpose Building Francisco Robledo
- (2) Renovation to Plaza del Mercado in Santa Isabel Urban Center

**Project ID:**

- (1) CRP 001153
- (2) CRP 000759



**Photo #: 29**

**Description:** View of the residential structures located southeast of the Plaza del Mercado

**Date: 3/13/2023**




**Photo #: 30**

**Description:** View of the residential structures located southwest of the Plaza del Mercado

**Date: 3/13/2023**



|   |  |   |
|---|--|---|
| <b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b><br><b>CITY REVITALIZATION PROGRAM (CITY-REV)</b><br><b>Section 106 NHPA Effect Determination</b> |  |  |
| <b>Subrecipient: Municipality of Santa Isabel</b>   |  |   |
| <b>Project Name:</b><br>(1) Santa Isabel Multipurpose Building Francisco Robledo<br>(2) Renovation to Plaza del Mercado in Santa Isabel Urban Center        |  | <b>Project ID:</b><br>(1) CRP 001153<br>(2) CRP 000759                              |



|                        |   |
|------------------------|---|
| <b>Photo #: 31</b>     | <b>Description:</b> View of the residential structures located southeast of the Plaza del Mercado |
| <b>Date: 3/13/2023</b> |   |



|                        |   |
|------------------------|---|
| <b>Photo #: 32</b>     | <b>Description:</b> View of the residential structures located southwest of the Plaza del Mercado |
| <b>Date: 3/13/2023</b> |   |



**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM**  
**CITY REVITALIZATION PROGRAM (CITY-REV)**  
**Section 106 NHPA Effect Determination**



**Subrecipient: Municipality of Santa Isabel**

**Project Name:**

- (1) Santa Isabel Multipurpose Building Francisco Robledo
- (2) Renovation to Plaza del Mercado in Santa Isabel Urban Center

**Project ID:**

- (1) CRP 001153
- (2) CRP 000759



**Photo #: 33**

**Description:** View of the community park located to west of the APE

**Date: 3/13/2023**




**Photo #: 34**

**Description:** View of the residential structures located south of the Plaza del Mercado

**Date: 3/13/2023**



|   |  |   |
|---|--|---|
| <b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b><br><b>CITY REVITALIZATION PROGRAM (CITY-REV)</b><br><b>Section 106 NHPA Effect Determination</b> |  | <br><small>GOVERNMENT OF PUERTO RICO<br/>DEPARTMENT OF HOUSING</small> |
| <b>Subrecipient: Municipality of Santa Isabel</b>   |  |   |
| <b>Project Name:</b><br>(1) Santa Isabel Multipurpose Building Francisco Robledo<br>(2) Renovation to Plaza del Mercado in Santa Isabel Urban Center        |  | <b>Project ID:</b><br>(1) CRP 001153<br>(2) CRP 000759  |



|                        |   |
|------------------------|---|
| <b>Photo #: 35</b>     | <b>Description:</b> View of the community park located to west of the APE |
| <b>Date: 3/13/2023</b> |   |



|                        |   |
|------------------------|---|
| <b>Photo #: 36</b>     | <b>Description:</b> View of the residences and community park located west of the APE |
| <b>Date: 3/13/2023</b> |   |



**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM**  
**CITY REVITALIZATION PROGRAM (CITY-REV)**  
**Section 106 NHPA Effect Determination**



**Subrecipient: Municipality of Santa Isabel**

**Project Name:**

- (1) Santa Isabel Multipurpose Building Francisco Robledo
- (2) Renovation to Plaza del Mercado in Santa Isabel Urban Center

**Project ID:**

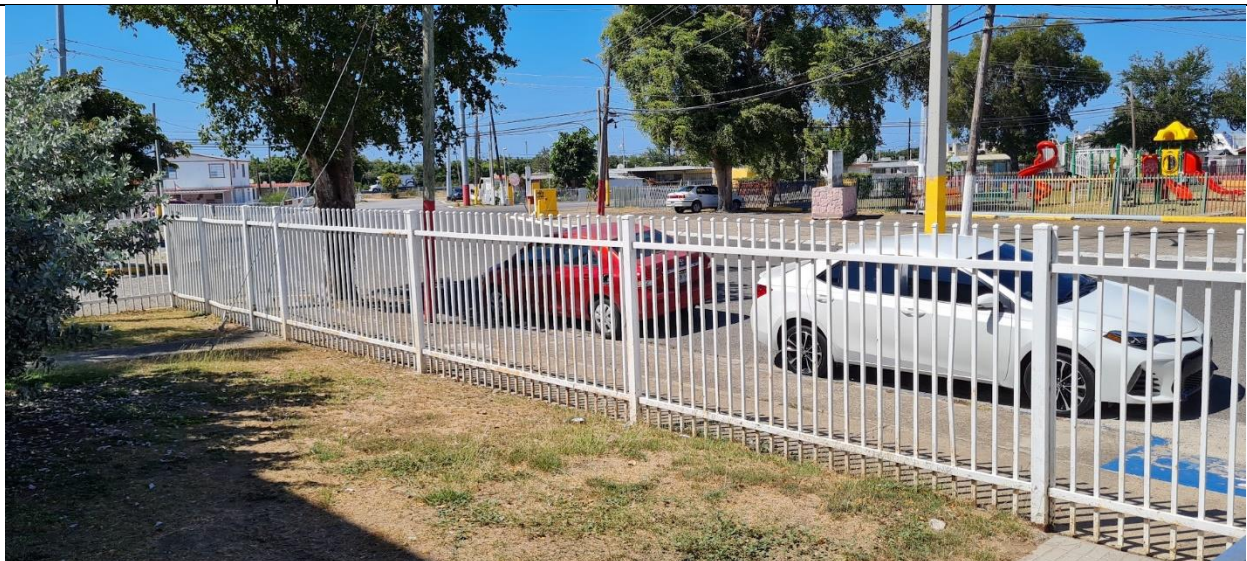
- (1) CRP 001153
- (2) CRP 000759



**Photo #: 37**

**Description:** View of the residences located west of the Multipurpose Building from the entrance

**Date: 9/14/2022**



**Photo #: 38**

**Description:** View of the communal park on the west side of the APE

**Date: 3/13/2023**



**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM**  
**CITY REVITALIZATION PROGRAM (CITY-REV)**  
**Section 106 NHPA Effect Determination**



**Subrecipient: Municipality of Santa Isabel**

**Project Name:**

- (1) Santa Isabel Multipurpose Building Francisco Robledo
- (2) Renovation to Plaza del Mercado in Santa Isabel Urban Center

**Project ID:**

- (1) CRP 001153
- (2) CRP 000759



**Photo #: 39**

**Description:** View of the residence located on the south side of the Multipurpose Building's parking lot

**Date: 3/13/2023**



**Photo #: 40**

**Description:** View of the residences on the east side of the APE on the Multipurpose Building side

**Date: 3/13/2023**



**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM**  
**CITY REVITALIZATION PROGRAM (CITY-REV)**  
**Section 106 NHPA Effect Determination**



**Subrecipient: Municipality of Santa Isabel**

**Project Name:**

- (1) Santa Isabel Multipurpose Building Francisco Robledo
- (2) Renovation to Plaza del Mercado in Santa Isabel Urban Center

**Project ID:**

- (1) CRP 001153
- (2) CRP 000759



**Photo #: 41**

**Description:** View of the residences on the east side of the APE on the Multipurpose Building side

**Date: 3/13/2023**



**Photo #: 42**

**Description:** View of the buildings to the north of the APE

**Date: 3/13/2023**



**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM**  
**CITY REVITALIZATION PROGRAM (CITY-REV)**  
**Section 106 NHPA Effect Determination**



**Subrecipient: Municipality of Santa Isabel**

**Project Name:**

- (1) Santa Isabel Multipurpose Building Francisco Robledo
- (2) Renovation to Plaza del Mercado in Santa Isabel Urban Center

**Project ID:**

- (1) CRP 001153
- (2) CRP 000759



**Photo #: 43**

**Description:** View of the residences on the east side of the APE on the Multipurpose Building side

**Date: 3/13/2023**




**Photo #: 44**

**Description:** View of the northwest side of the APE

**Date: 3/13/2023**



|   |  |  |
|---|--|--|
| <b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b><br><b>CITY REVITALIZATION PROGRAM (CITY-REV)</b><br><b>Section 106 NHPA Effect Determination</b> |  | <br>GOVERNMENT OF PUERTO RICO<br>DEPARTMENT OF HOUSING |
| <b>Subrecipient: Municipality of Santa Isabel</b>   |  |  |
| <b>Project Name:</b><br>(1) Santa Isabel Multipurpose Building Francisco Robledo<br>(2) Renovation to Plaza del Mercado in Santa Isabel Urban Center        | <b>Project ID:</b><br>(1) CRP 001153<br>(2) CRP 000759 |  |



|                        |  |
|------------------------|--|
| <b>Photo #: 45</b>     | <b>Description:</b> Interior view of the Plaza del Mercado |
| <b>Date:</b> 3/13/2023 |  |



|                        |  |
|------------------------|--|
| <b>Photo #: 46</b>     | <b>Description:</b> Interior view of the Plaza del Mercado |
| <b>Date:</b> 3/13/2023 |  |

**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM**  
**CITY REVITALIZATION PROGRAM (CITY-REV)**  
**Section 106 NHPA Effect Determination**



**Subrecipient: Municipality of Santa Isabel**

**Project Name:**

- (1) Santa Isabel Multipurpose Building Francisco Robledo
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**Project ID:**

- (1) CRP 001153
- (2) CRP 000759



**Photo #: 47**

**Description:** Interior view of the Plaza del Mercado

**Date:** 3/13/2023




**Photo #: 48**

**Description:** Interior view of the lobby of the Multipurpose Building

**Date:** 3/13/2023



|   |  |   |
|---|--|---|
| <b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b><br><b>CITY REVITALIZATION PROGRAM (CITY-REV)</b><br><b>Section 106 NHPA Effect Determination</b> |  | <br><small>GOVERNMENT OF PUERTO RICO<br/>DEPARTMENT OF HOUSING</small> |
| <b>Subrecipient: Municipality of Santa Isabel</b>   |  |   |
| <b>Project Name:</b><br>(1) Santa Isabel Multipurpose Building Francisco Robledo<br>(2) Renovation to Plaza del Mercado in Santa Isabel Urban Center        |  | <b>Project ID:</b><br>(1) CRP 001153<br>(2) CRP 000759  |




|                        |   |
|------------------------|---|
| <b>Photo #: 49</b>     | <b>Description:</b> Interior view of the stage of the Multipurpose Building |
| <b>Date:</b> 3/13/2023 |   |



|                        |   |
|------------------------|---|
| <b>Photo #: 50</b>     | <b>Description:</b> Interior view of the mezzanine of the Multipurpose Building |
| <b>Date:</b> 3/13/2023 |   |



|   |  |   |
|---|--|---|
| <b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b><br><b>CITY REVITALIZATION PROGRAM (CITY-REV)</b><br><b>Section 106 NHPA Effect Determination</b> |  |  |
| <b>Subrecipient: Municipality of Santa Isabel</b>   |  |   |
| <b>Project Name:</b><br>(1) Santa Isabel Multipurpose Building Francisco Robledo<br>(2) Renovation to Plaza del Mercado in Santa Isabel Urban Center        |  | <b>Project ID:</b><br>(1) CRP 001153<br>(2) CRP 000759                              |

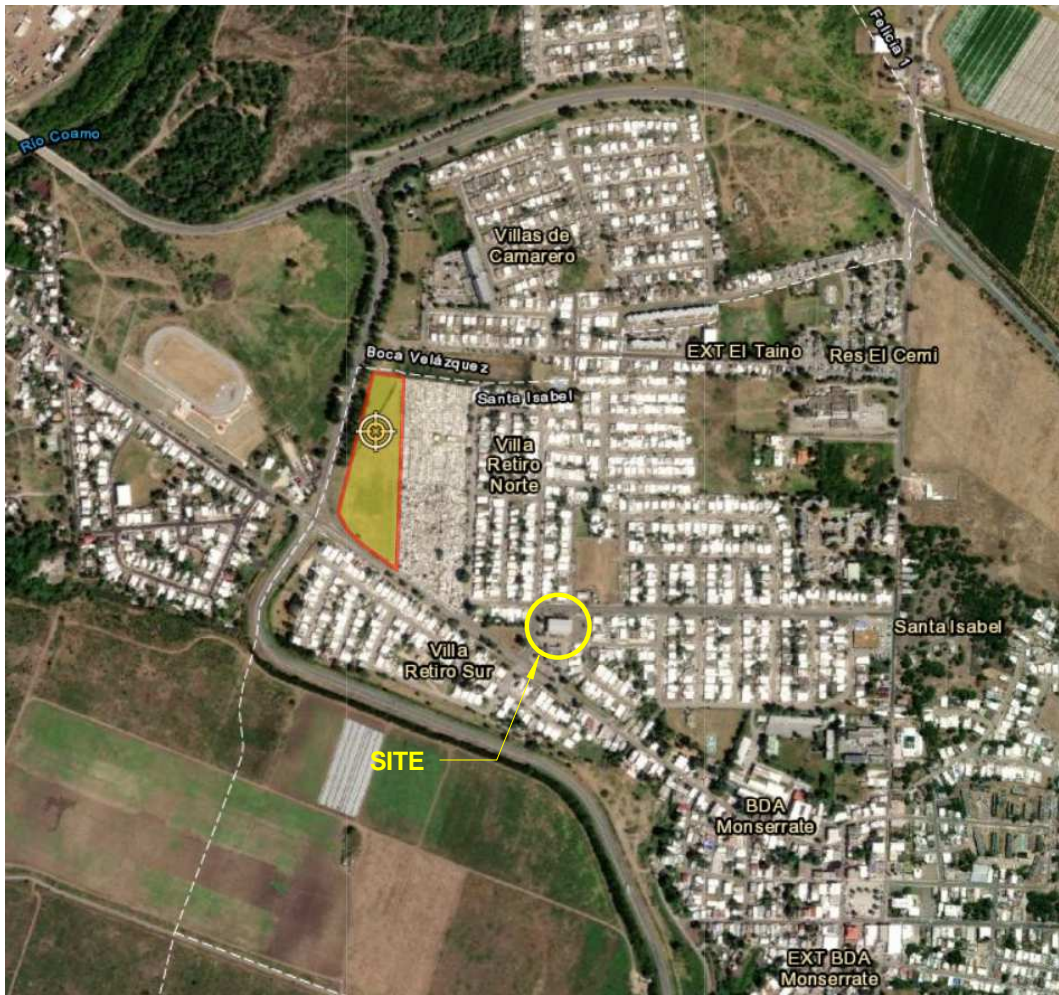


|                        |   |
|------------------------|---|
| <b>Photo #: 51</b>     | <b>Description:</b> Interior view of the north wall in the main hall of the Multipurpose Building |
| <b>Date: 3/13/2023</b> |   |

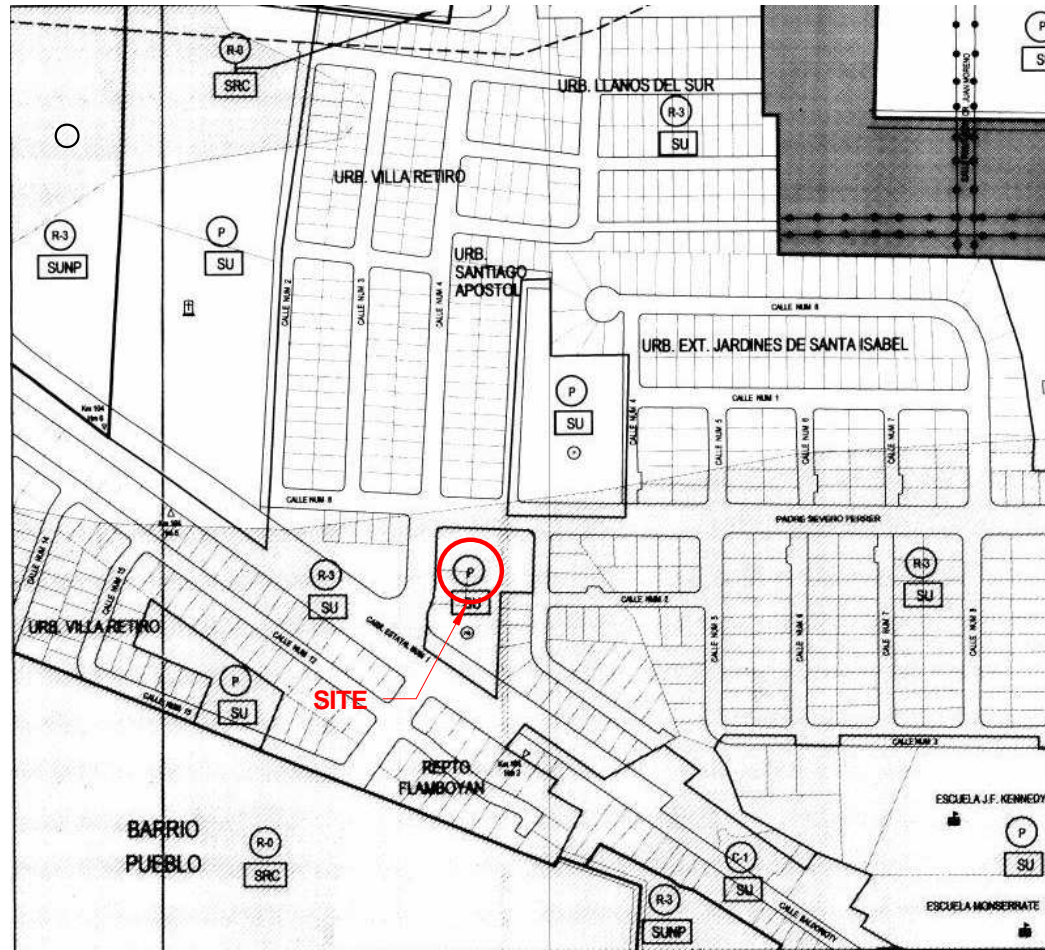


|                        |   |
|------------------------|---|
| <b>Photo #: 52</b>     | <b>Description:</b> Interior view of the south wall of the main hall of the Multipurpose Building |
| <b>Date: 3/13/2023</b> |   |

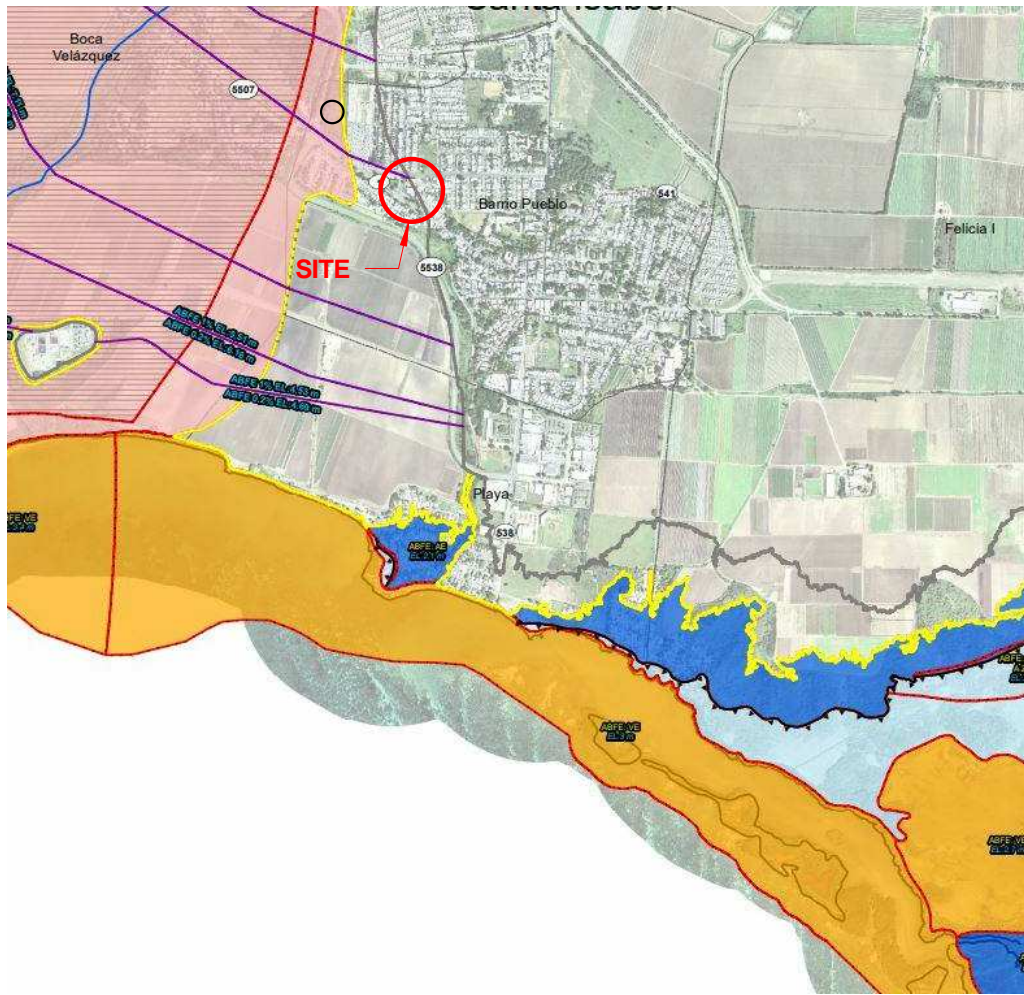




LOCATION PLAN  
x: 202567.4831  
y: 215023.6049



MAPA DE  
ZONIFICACION #4  
VIGENCIA: 18 DE JULIO  
DE 2001



FLOOD PLAN  
ZONE A & ZONE X  
72000C20601  
VIGENCIA: 13 DE  
ABRIL DE 2018



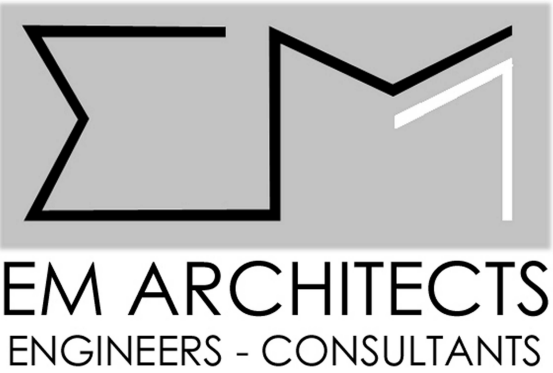
MUNICIPIO DE SANTA ISABEL  
HON. RAFAEL "BILLY" BURGOS SANTIAGO

# SANTA ISABEL MULTIPURPOSE BUILDING FRANCISCO ROBLEDO [PR-CRP-001153]

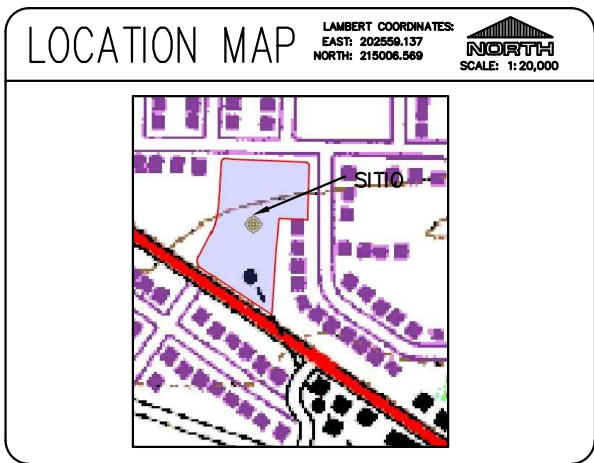
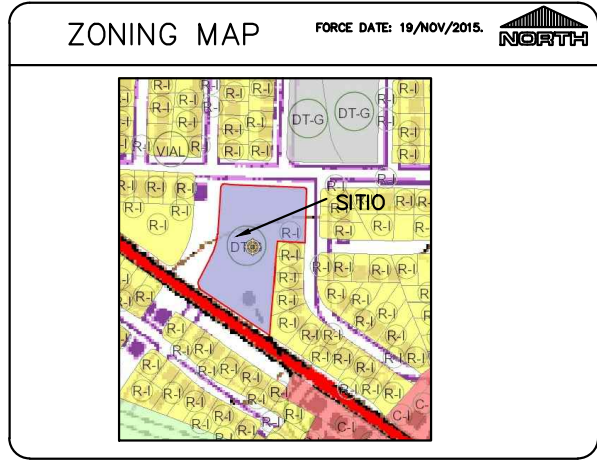
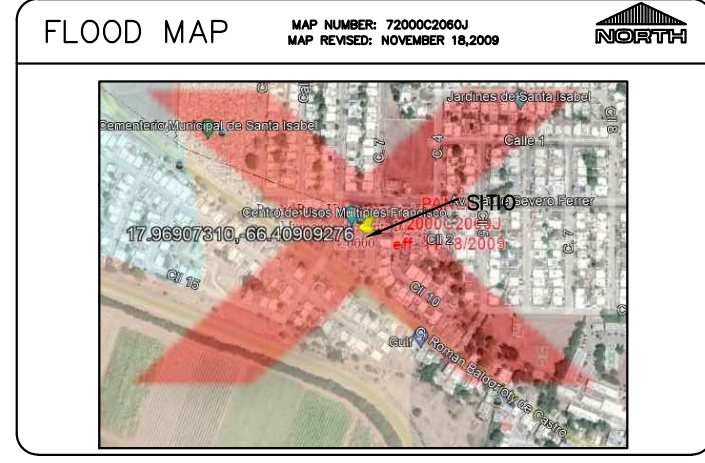
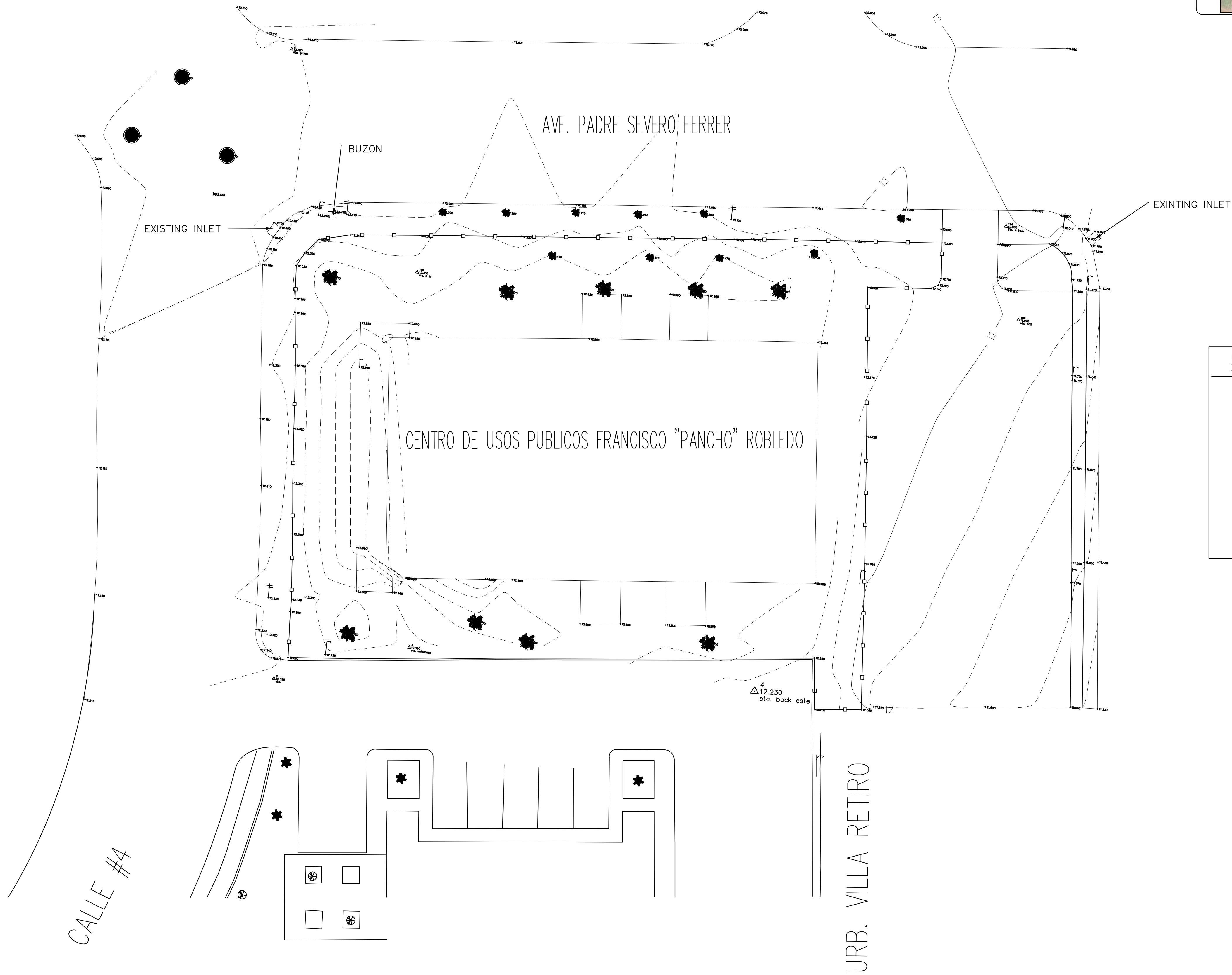
SANTA ISABEL, PUERTO RICO

60% PRELIMINARY CONSTRUCTION PLANS  
OCTOBER/5/2023

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|---------------|--------------------|---|
| SHEET NUMBER  | SHEET NOMENCLATURE | SHEET NAME  |
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| 02            | C-1                | PLANO ASBUILT   |
| 03            | DS101              | DEMOLITION SITE PLAN                                  |
| 04            | EX101              | EXISTING & DEMOLITION PLAN - 1ST LEVEL                |
| 05            | EX102              | EXISTING FLOOR PLAN AND DEMOLITION - 2ND LEVEL        |
| 06            | EX103              | EXISTING REFLECTED CEILING AND DEMOLITION - 1ST LEVEL |
| 07            | EX104              | EXISTING REFLECTED CEILING AND DEMOLITION - 2ND LEVEL |
| 08            | EX201              | EXISTING ELEVATIONS AND DEMOLITION                    |
| 09            | EX202              | EXISTING ELEVATIONS AND DEMOLITION                    |
| 10            | EX301              | EXISTING SECTIONS                                     |
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| 12            | SA101              | ENLARGED VIEW - ARCHITECTURAL SITE PLAN               |
| 13            | SA102              | ENLARGED VIEW - ARCHITECTURAL SITE PLAN               |
| 14            | SA103              | ARCHITECTURAL SITE DETAILS                            |
| 15            | A000               | NOTES & GENERAL LEGEND                                |
| 16            | A001               | PERSPECTIVE VIEW                                      |
| 17            | A101               | PROPOSED FLOOR PLAN - 1ST LEVEL                       |
| 18            | A102               | PROPOSED FLOOR PLAN - 2ND LEVEL                       |
| 20            | A103               | FLOOR PATTERN - 1ST LEVEL                             |
| 21            | A104               | FLOOR PATTERN - 2ND LEVEL                             |
| 22            | A105               | PROPOSED REFLECTED CEILING - 1ST LEVEL                |
| 23            | A106               | PROPOSED REFLECTED CEILING - 2ND LEVEL                |
| 24            | A107               | ARCHITECTURAL ROOF PLAN                               |
| 25            | A201               | PROPOSED ELEVATIONS                                   |
| 26            | A202               | PROPOSED ELEVATIONS                                   |
| 27            | A203               | ELEVATIONS - ENLARGED VIEW                            |
| 28            | A301               | PROPOSED SECTIONS                                     |
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| 30            | A502               | ENLARGED VIEW - SNACK BAR                             |
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| 33            | A504               | ENLARGED VIEW - STAGE                                 |
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| 35            | A701               | SAFETY PLAN - FIRST LEVEL                             |
| 36            | A702               | SAFETY PLAN - SECOND LEVEL                            |
| 37            | ST101              | FOUNDATION PLAN AND STRUCTURAL DETAILS                |
| 38            | ST200              | FOUNDATION DETAILS                                    |
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| 40            | VAC102             | AC - 2ND LEVEL  |
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| 43            | M-102              | AIR CONDITIONING MEZZANINE FLOOR PLAN                 |
| 44            | SE101              | ELECTRICAL SITE PLAN                                  |
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| 46            | E102               | LIGHTING, FIRE ALARM PLAN - 2ND LEVEL                 |
| 47            | E103               | POWER & TELEPHONE, CABLE TV PLAN - 1ST LEVEL          |
| 48            | E104               | POWER & TELEPHONE, CABLE TV PLAN - 2ND LEVEL          |







| ESTACIONES DE CONTROL |             |             |           |                |
|-----------------------|-------------|-------------|-----------|----------------|
| ESTACION              | (Y) NORTE   | (X) ESTE    | ELEVACION | DESCRIPCION    |
| 4                     | 215031.4498 | 202579.6687 | 12.23     | sta. back este |
| 1                     | 215002.9404 | 202525.0071 | 12.19     | sta. 1         |
| 2                     | 215032.5747 | 202536.9492 | 12.33     | sta.           |
| 3                     | 215088.5122 | 202538.5328 | 12.18     | sta. buzón     |
| 4                     | 215035.3325 | 202548.9785 | 12.39     | sta. safacones |
| 110                   | 215068.6861 | 202549.6829 | 12.35     | sta. 6 in      |
| 114                   | 215072.7584 | 202602.0172 | 12.03     | Sta. 4 back    |
| 169                   | 215064.4215 | 202603.1158 | 11.97     | sta. 505       |

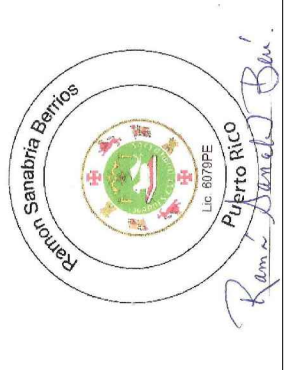
| LEGEND: |                         |
|---------|-------------------------|
| SYMBOL  | DESCRIPTION             |
|         | PROPERTY LINES          |
|         | METAL FENCE             |
|         | CHAIN LINK FENCE        |
|         | BOUNDARY FENCE          |
|         | ROAD CENTERLINE         |
|         | INTERMEDIATE CENTERLINE |
|         | POINTS                  |
|         | STATIONS                |
|         | ROAD MARK               |
|         | BOUNDARY POINTS         |
|         | VEHICLES                |
|         | CATCH BASINS            |
|         | HEADWALLS               |
|         | LIGHTING POLES          |
|         | POWER POLES             |
|         | TELEPHONE POLES         |
|         | TREES                   |

## NOTAS

- ESTE PLANO ESTA REFERIDO AL SISTEMA DE COORDENADAS PLANAS ESTATALES LAMBERT NAD 83 (2011) EPOCH: 2010.0000 Y LAS ELEVACIONES ESTAN REFERIDAS AL PRVD02 UTILIZANDO :ORTHOMRTRIC HEIGHT DERIVED BY GPS UTILIZANDO EL GEIOD HYBRID MODEL 2018.
- TODAS LAS MEDIDAS ESTAN EXPRESADAS EN METROS, AL MENOS QUE SE INDIQUE LO CONTRARIO.
- LA INFORMACION MOSTRADA EN ESTE PLANO REPRESENTA EL RESULTADO DE LAS MEDICIONES HECHAS PARA LA FECHA INDICADA EN EL PLANO Y SOLO PUEDE SER CONSIDERADA COMO UNA INDICACION DE LAS CONDICIONES EXISTENTES EN EL MOMENTO.
- LA INFORMACION PROVISTA EN ESTE PLANO PUEDE O NO MOSTRAR TODAS LAS ESTRUCTURAS Y UTILIDADES EXISTENTES POR ENCIMA Y POR DEBAJO DEL TERRENO.
- SIMBOLOS SON UNICAMENTE PARA PROPOSITO DE ILUSTRACION, ELLOS NO NECESARIAMENTE SON DEL MISMO TIPO O TAMAÑO DEL OBJETO QUE ELLOS REPRESENTAN.
- SIMBOLOS SON UNICAMENTE PARA PROPOSITO DE ILUSTRACION, ELLOS NO NECESARIAMENTE SON DEL MISMO TIPO O TAMAÑO DEL OBJETO QUE ELLOS REPRESENTAN.

### SURVEY CERTIFICATE:

I DO HEREBY CERTIFY THAT THIS SURVEY WORK WAS PERFORMED DURING THE MONTH OF APRIL 2023, THAT ELECTRONIC DISTANCES MEASURING INSTRUMENT (TOPCON-GM SERIES) WERE USED FOLLOWING THE STANDARD SURVEY TECHNIQUES FOR THESE CASES.







| REVISION / DATE / DESCRIPTION |
|-------------------------------|
|                               |
|                               |
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|                               |
|                               |
|                               |
|                               |
|                               |
|                               |

PROJECT  
SANTA ISABEL MULTIPURPOSE BUILDING  
FRANCISCO ROBLEDO [PR-CRP-001153]  
SANTA ISABEL, PUERTO RICO

CLIENT  
MUNICIPIO DE SANTA ISABEL

PROJECT #:

SCALE: As indicated

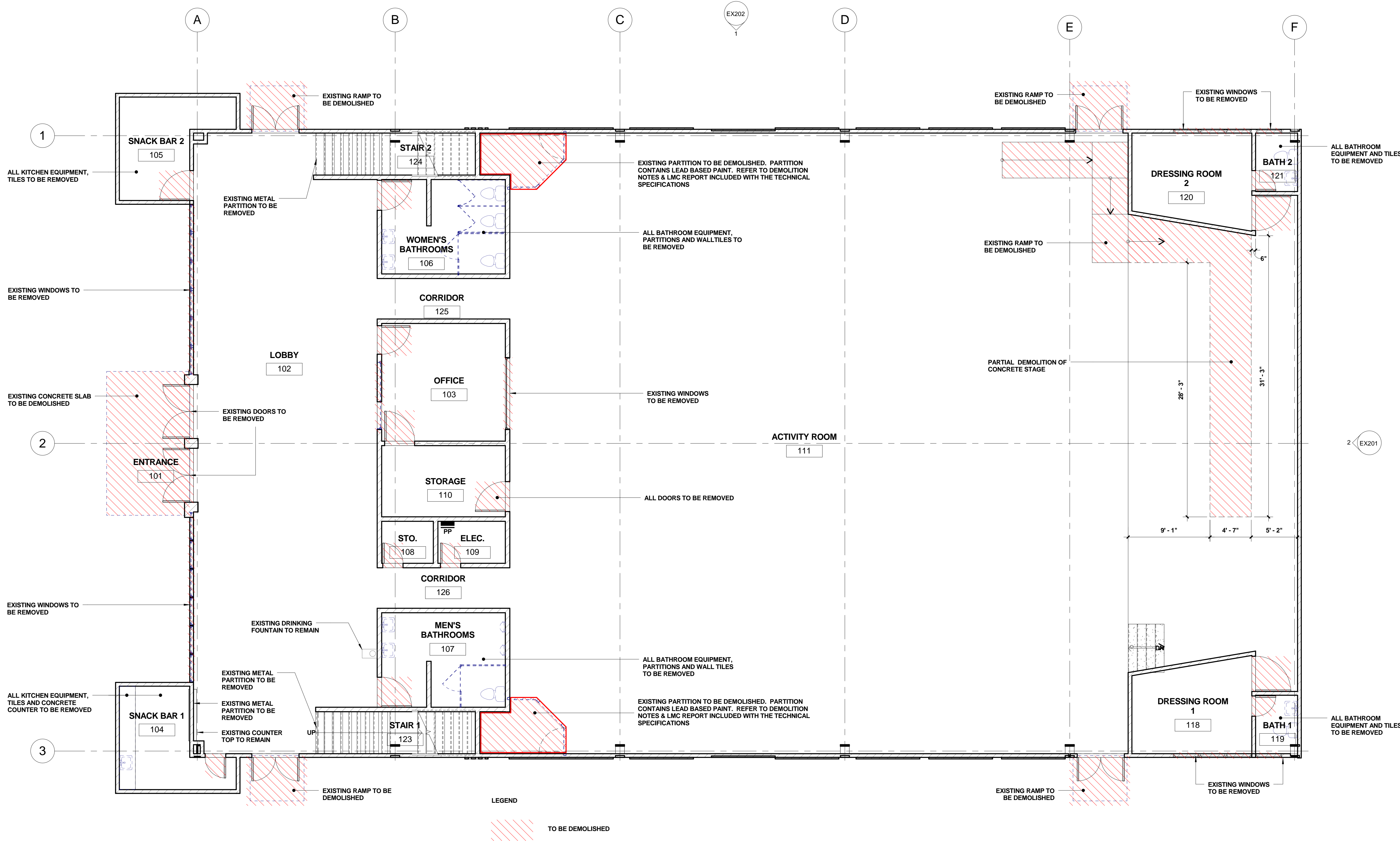
DRAWN BY: Author

EXISTING & DEMOLITION PLAN  
- 1ST LEVEL

TITLE

EX101

SHEET



1 DEMOLITION PLAN- 1ST LEVEL  
3/16" = 1'-0"

LEGEND  
 TO BE DEMOLISHED

DEMOLITION SCOPE

1. ALL ACOUSTIC TILE, LIGHT FIXTURES AND GYPSUM BOARD CEILINGS TO BE REMOVED EXCEPT WHERE MARKED. REFER TO FINISH SCHEDULE FOR DETAILS.
2. ALL EXISTING WINDOWS TO BE DEMOLISHED AND REPLACED
3. EXISTING PARTITIONS CONTAINING LEAD PAINT TO BE REMOVED AND DISPOSED BY A CERTIFIED COMPANY IN COMPLIANCE WITH LOCAL AND FEDERAL REGULATIONS

NOTE: REFER TO LCM REPORT INCLUDED WITH THE TECHNICAL SPECIFICATIONS

4. ALL EXISTING DOORS TO BE DEMOLISHED
5. ALL BATHROOMS TO BE RENOVATED AND NEW EQUIPMENT TO BE INSTALLED.
6. REMOVE ALL WALL TILES, BATHROOM EQUIPMENT AND PARTITIONS



EM ARCHITECTS  
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ARCHITECT:

CONSULTANT:

CERTIFIED BY:

REVISION / DATE / DESCRIPTION

PROJECT  
SANTA ISABEL MULTIPURPOSE BUILDING  
SAN FRANCISCO  
ROBLEDO [PR-CRP-001153]  
SANTA ISABEL, PUERTO RICO

CLIENT  
MUNICIPIO DE SANTA ISABEL

PROJECT #:

SCALE: As indicated

DRAWN BY: Author

EXISTING FLOOR PLAN AND DEMOLITION - 2ND LEVEL

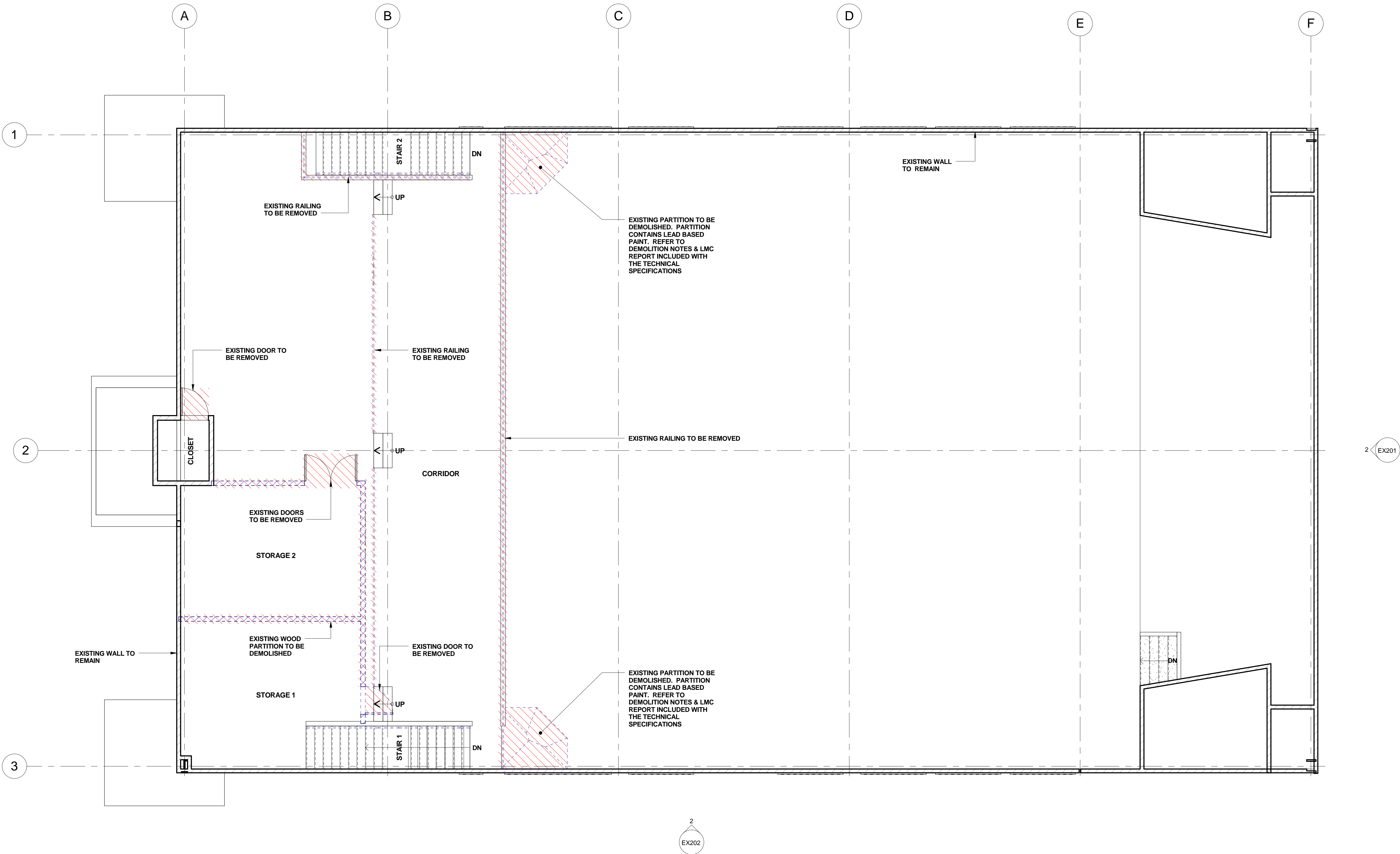
TITLE

EX102

SHEET

LEGEND

 TO BE DEMOLISHED



EXISTING FLOOR PLAN AND DEMOLITION  
- 2ND LEVEL  
1 3/16" = 1'-0"



EM ARCHITECTS  
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CONSULTANT:

CERTIFIED BY:

REVISION / DATE / DESCRIPTION

PROJECT  
SANTA ISABEL MULTIPURPOSE BUILDING  
FRANCISCO ROBLEDO [PR-CRP-001153]  
SANTA ISABEL, PUERTO RICO

CLIENT  
MUNICIPIO DE SANTA ISABEL

PROJECT #:

SCALE: As indicated

DRAWN BY: Author

EXISTING REFLECTED CEILING AND DEMOLITION - 1ST LEVEL

TITLE

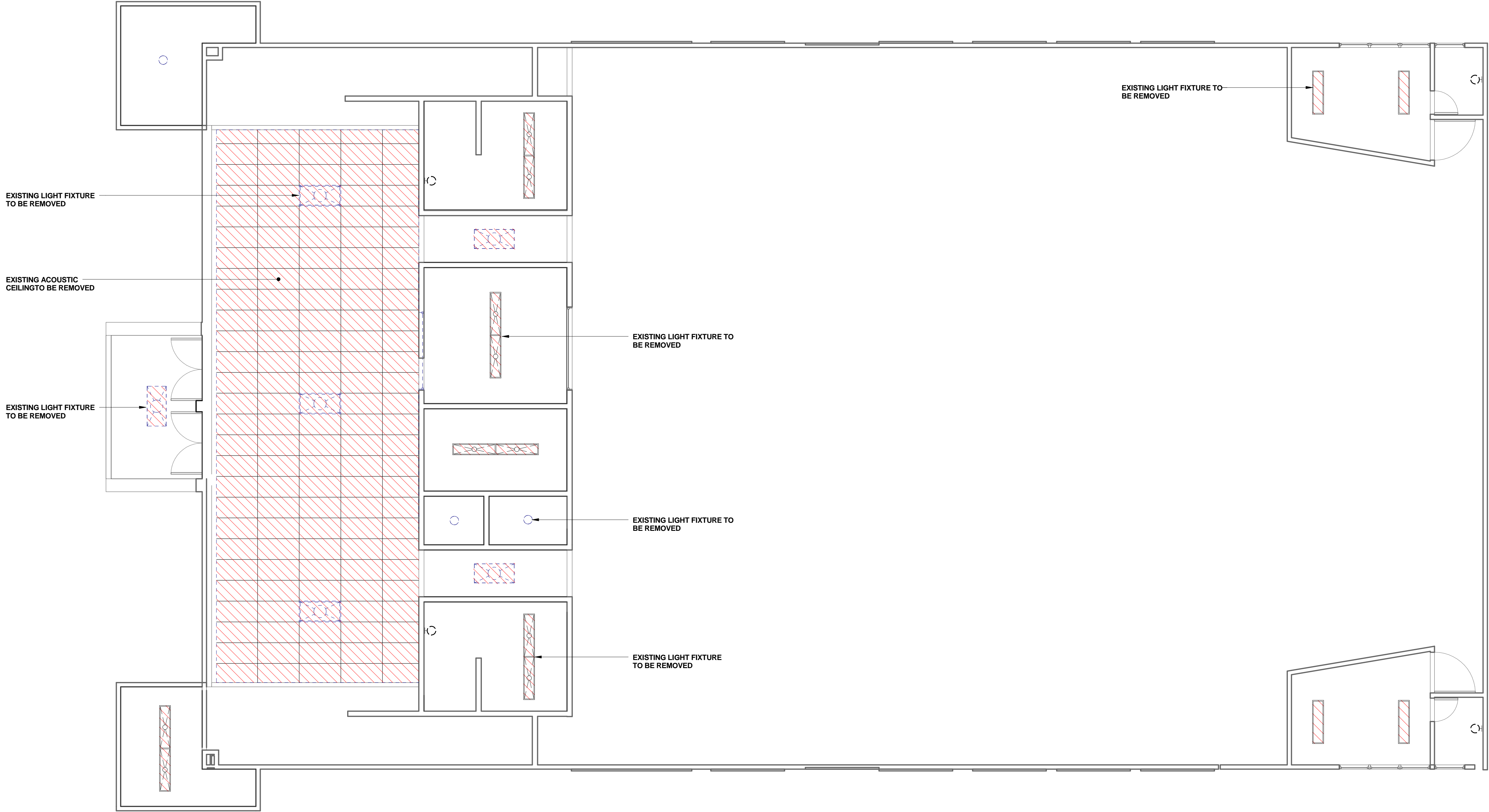
EX103

SHEET

LEGEND

 TO BE DEMOLISHED

- DEMOLITION NOTES:
1. ALL ACOUSTIC CEILINGS TO BE DEMOLISHED
  2. ALL LIGHT FIXTURES TO BE REMOVED AND RETURNED TO THE OWNER
  3. REFER TO ELECTRICAL PLANS FOR SMOKE DETECTORS
  4. ALL SUPPLY GRILLS AND RETURN REGISTERS TO BE REMOVED AND REPLACED.



EXISTING REFLECTED CEILING - FIRST LEVEL  
1 3/16" = 1'-0"

ARCHITECT:

CONSULTANT:

RTIFIED BY:

|  |  |  |  |  |  |  |
|--|--|--|--|--|--|--|
|  |  |  |  |  |  |  |
|--|--|--|--|--|--|--|

SANTA ISABEL MULTIPURPOSE BUILDING  
FRANCISCO  
ROBLEDO [PR-CRP-001153]  
SANTA ISABEL, PUERTO RICO

MUNICIPIO DE SANTA ISABEL

CONNECT #:

As indicated

OWN BY: **Author**

EXISTING  
REFLECTED  
CEILING AND  
DEMOLITION - 2ND  
LEVEL

E

EX104

ET



TO BE DEMOLISHED

1. ALL ACOUSTIC CEILINGS TO BE DEMOLISHED
2. ALL LIGHT FIXTURES TO BE REMOVED AND RETURNED TO THE OWNER
3. REFER TO ELECTRICAL PLANS FOR SMOKE DETECTORS
4. ALL SUPPLY GRILLS AND RETURN REGISTERS TO BE REMOVED AND REPLACED.

**EXISTING ACOUSTIC CEILING  
TO BE REMOVED**

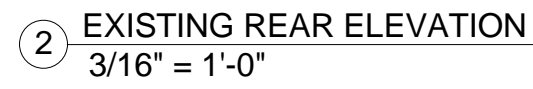
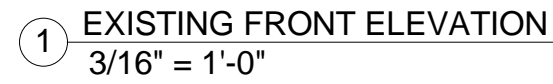
**EXISTING LIGHT FIXTURE  
TO BE REMOVED**

**EXISTING ACOUSTIC CEILING  
TO BE REMOVED**

**EXISTING LIGHT FIXTURE  
TO BE REMOVED**

EXISTING REFLECTED CEILING - 2ND  
LEVEL

① LEVEL  
3/16" = 1'-0"





**TO BE DEMOLISHED**

**EXISTING RAILING TO BE REMOVED**

**EXISTING AIR DUCTS  
TO BE REMOVED**

EXISTING DOORS  
TO BE REMOVED

EXISTING AIR DUE  
TO BE REMOVED

**EXISTING A/C UNITS TO BE REMOVED**

**EXISTING DOORS  
TO BE REMOVED**

**EXISTING WINDOWS  
TO BE REMOVED**

**EXISTING OPENINGS IN EXTERIOR WALLS  
TO BE CLOSED WITH CONCRETE BLOCK  
PRIME AND PAINTED**

② EXISTING RIGHT ELEVATION  
3/16" = 1'-0"

**EXISTING METAL SIDING TO BE  
REMOVED AND REPLACED**

**EXISTING WINDOW:  
TO BE REMOVED**

**EXISTING AIR DUCT  
TO BE REMOVED**

EXISTING RAILING  
TO BE REMOVED

EXISTING FENCE  
TO BE REMOVED

**EXISTING DOORS  
TO BE REMOVED**

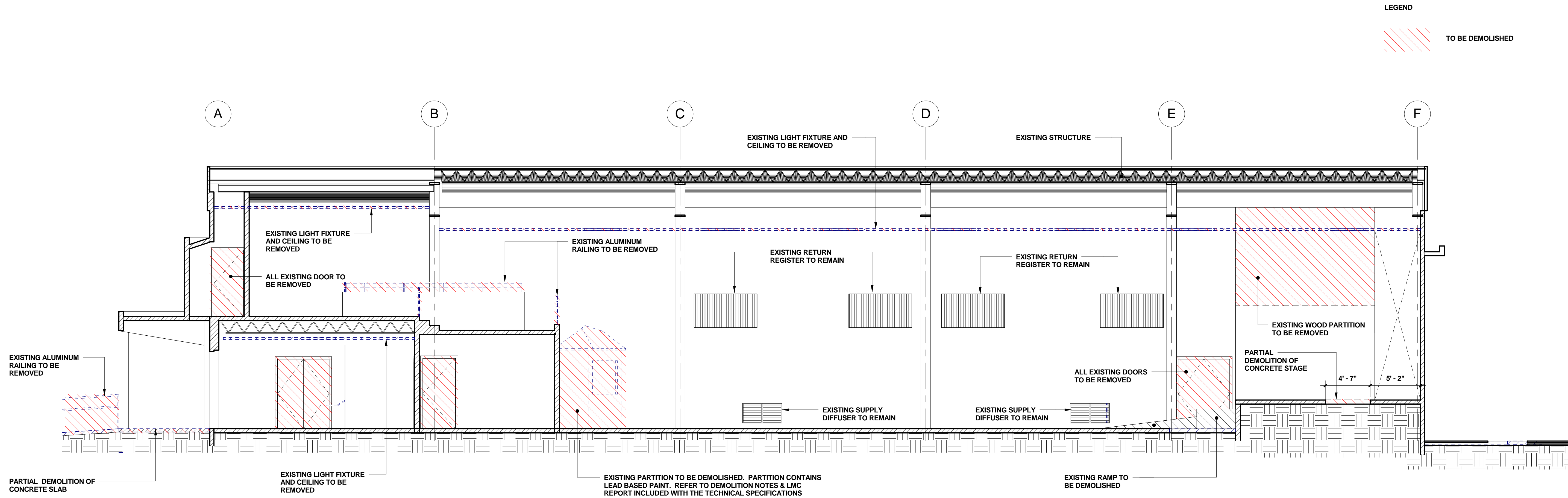
EXISTING A/C UNIT TO BE  
REMOVED

**EXISTING OPENINGS IN EXTERIOR  
WALLS TO BE CLOSED WITH CONCRETE  
BLOCK PRIME AND PAINTED**

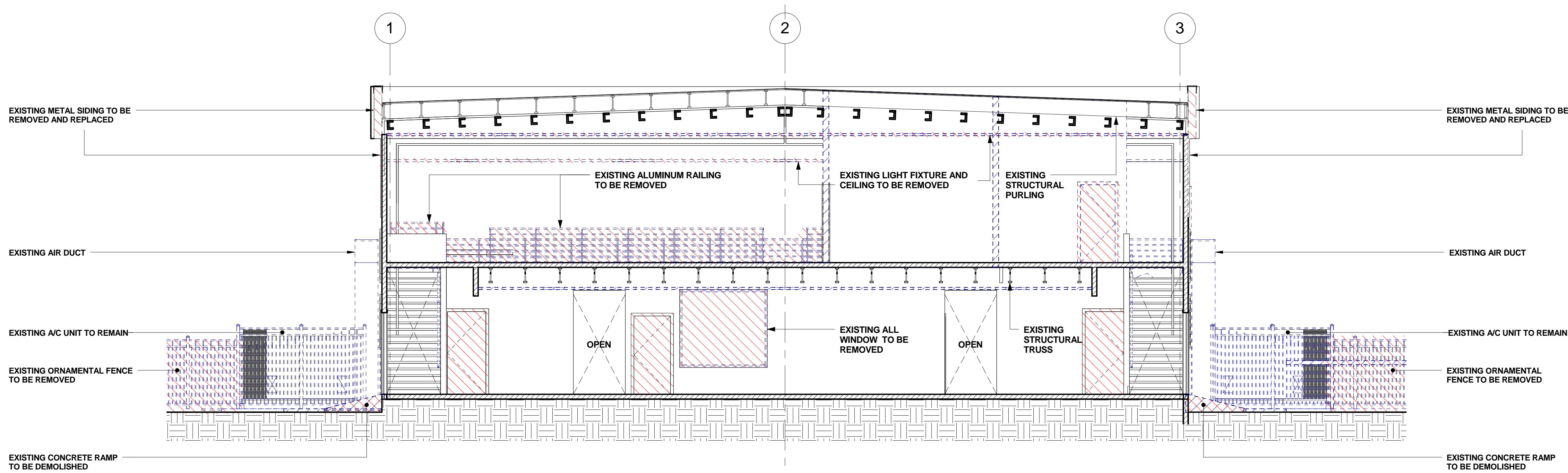
EXISTING DOOR  
TO BE REMOVED

① EXISTING LEFT ELEVATION  
3/16" = 1'-0"

EX202

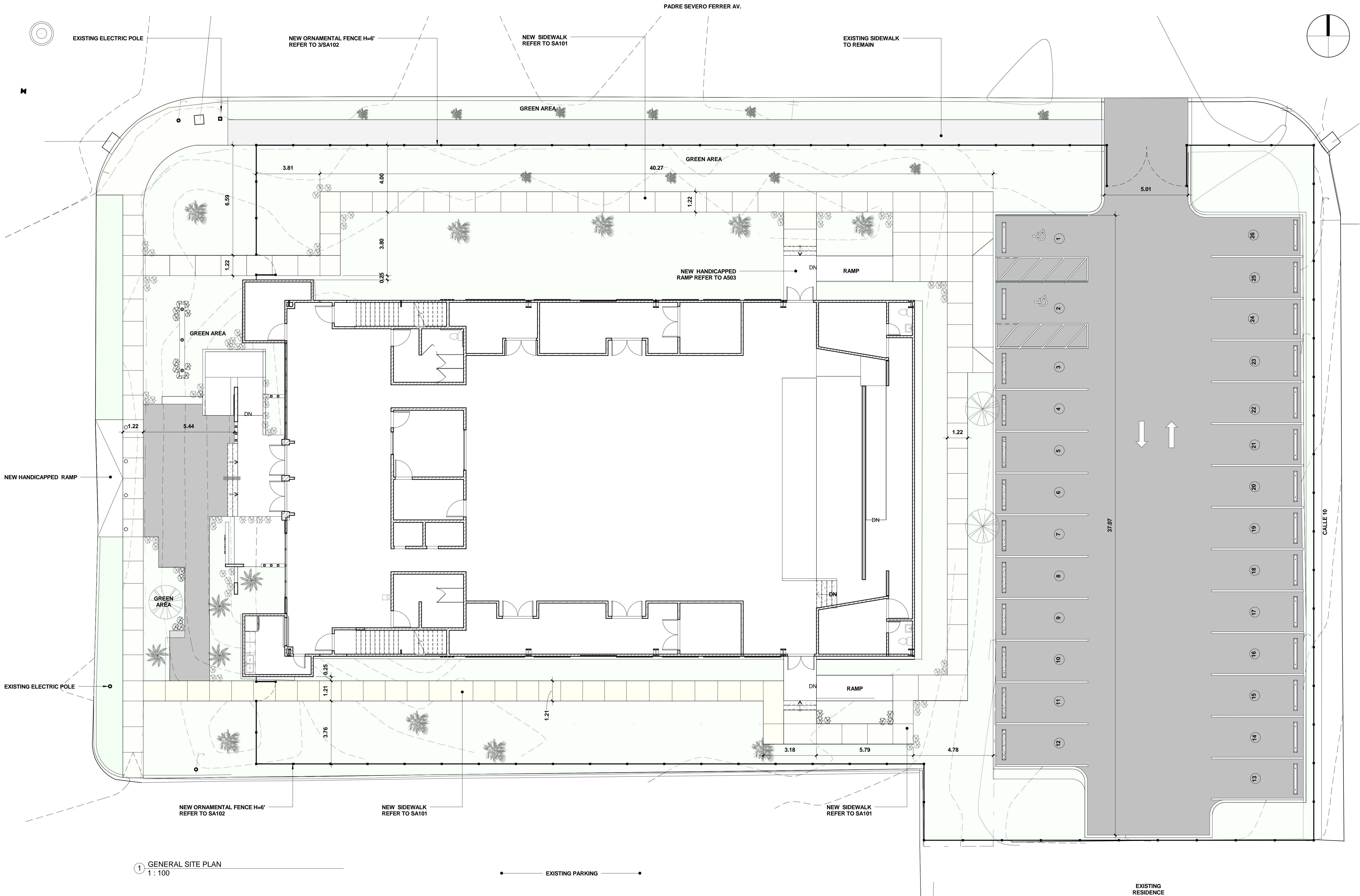


① EXISTING SECTION  
3/16" = 1'-0"



② EXISTING SECTION 2  
3/16" = 1'-0"





1 GENERAL SITE PLAN  
1:100

EXISTING PARKING

EXISTING  
RESIDENCE

ARCHITECT:

CONSULTANT:

CERTIFIED BY:

REVISION / DATE / DESCRIPTION

PROJECT  
SANTA ISABEL MULTIPURPOSE BUILDING  
FRANCISCO  
ROBLEDO [PR-CRP-001153]  
SANTA ISABEL, PUERTO RICO

CLIENT  
MUNICIPIO DE SANTA ISABEL

PROJECT #:  
SCALE: 1:100  
DRAWN BY: Author

GENERAL SITE PLAN

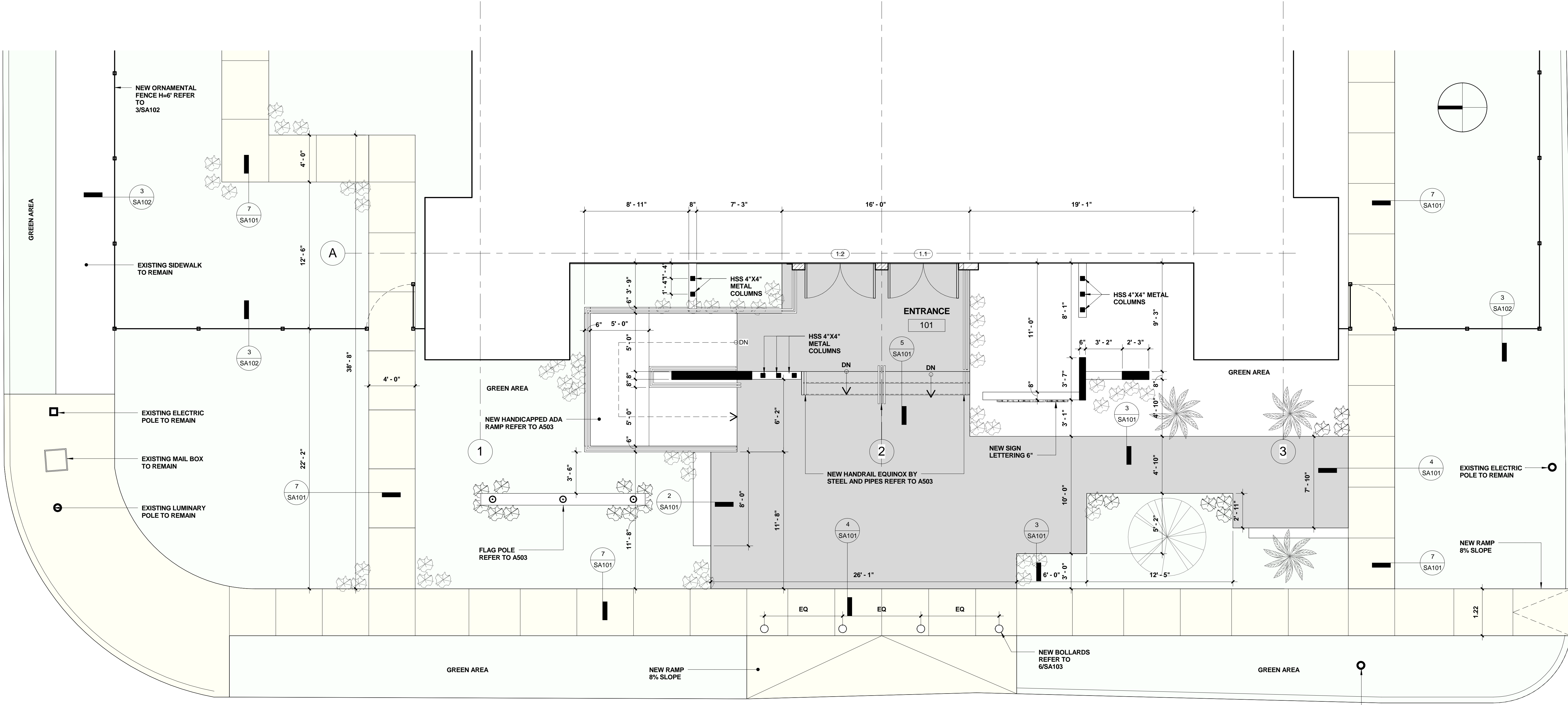
CALLE 2

TITLE

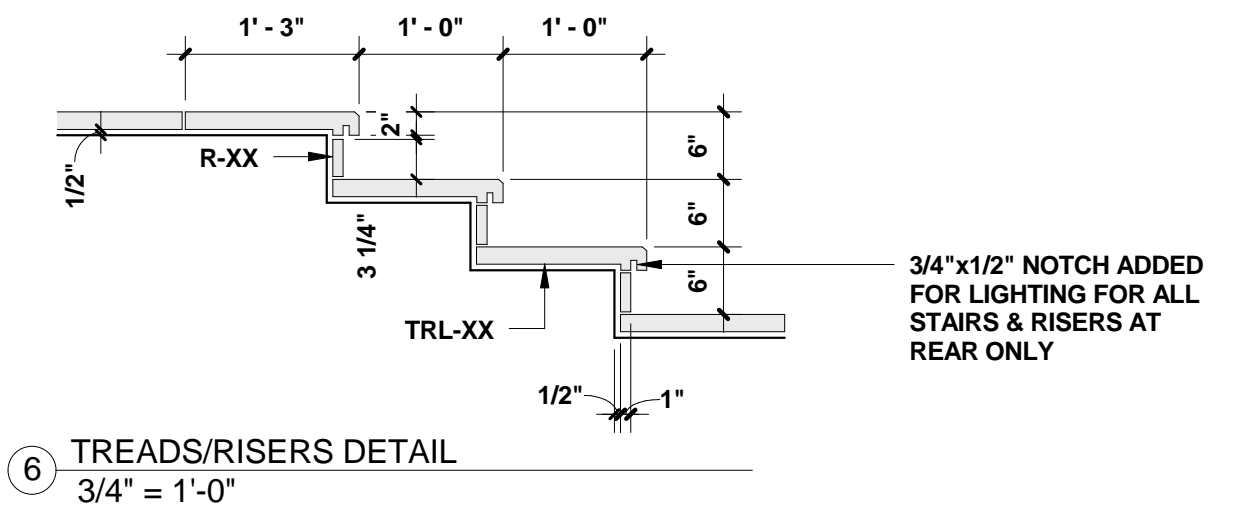
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SHEET

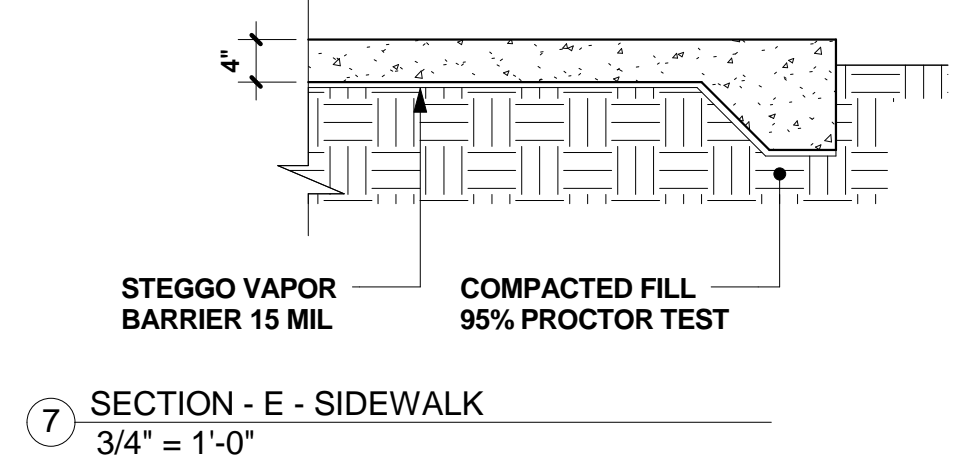




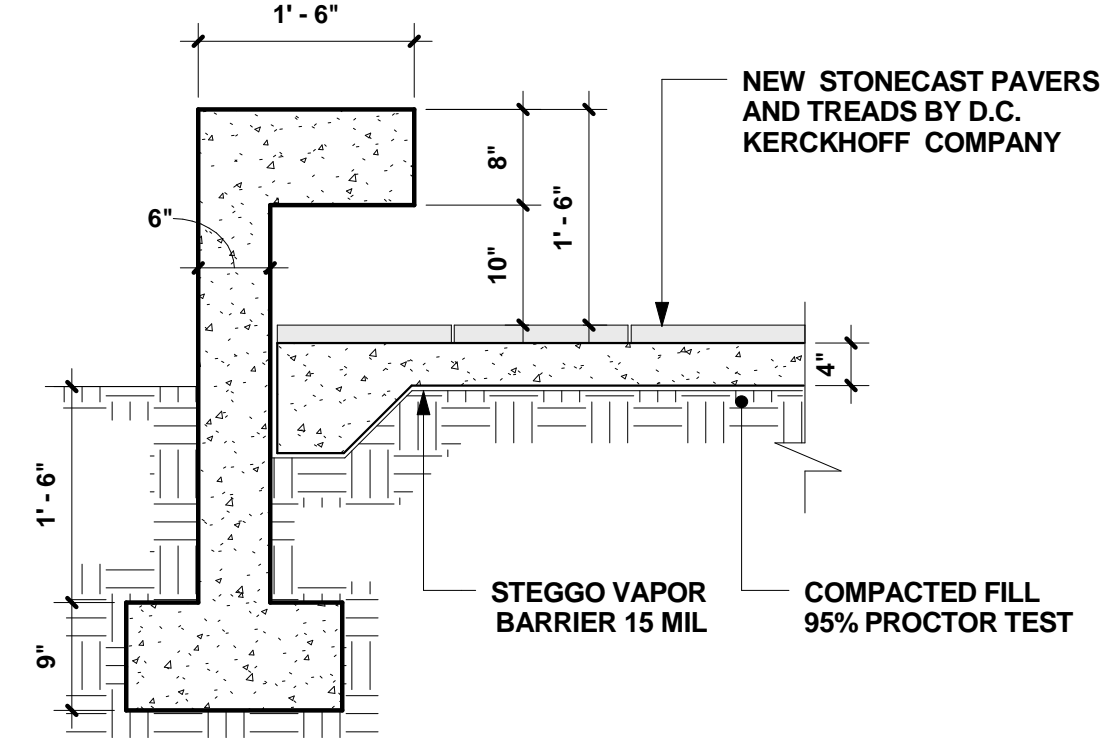
1 ENLARGED VIEW - PROPOSED SITE PLAN  
1 : 50



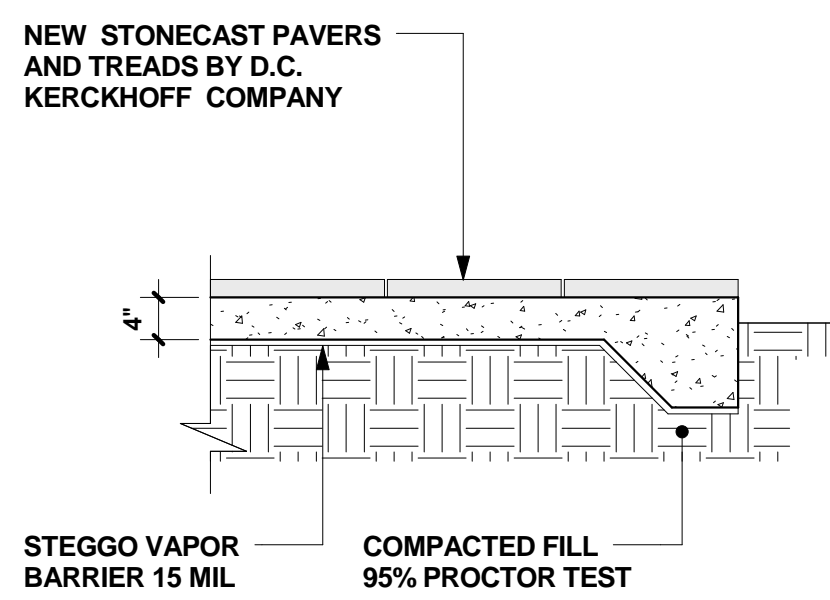
6 TREADS/RISERS DETAIL  
3/4" = 1'-0"



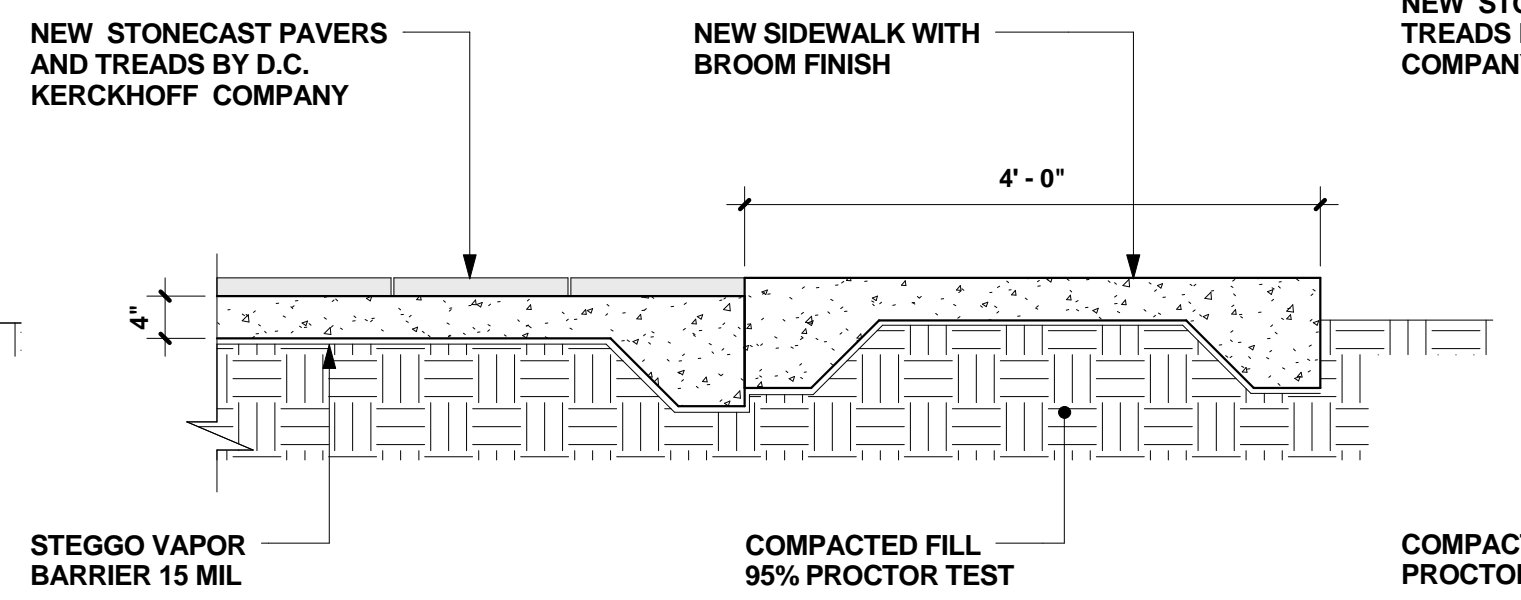
7 SECTION - E - SIDEWALK  
3/4" = 1'-0"



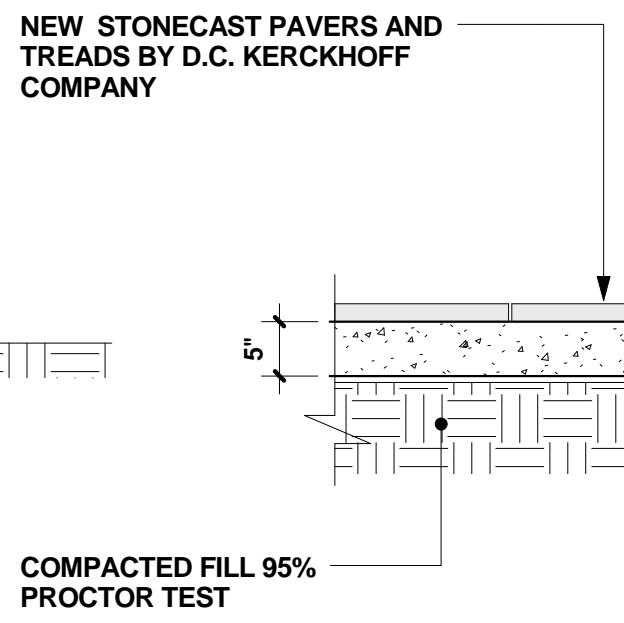
2 SECTION - A - SIDEWALK  
3/4" = 1'-0"



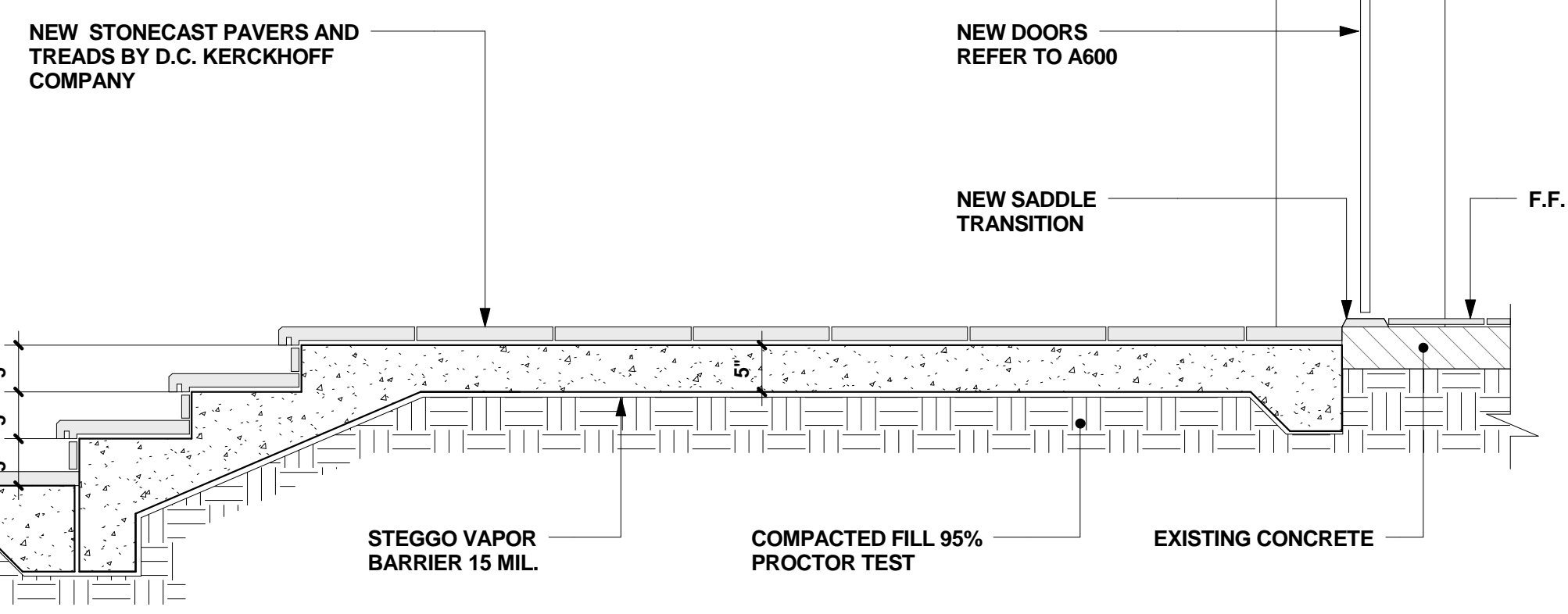
3 SECTION - B - SIDEWALK  
3/4" = 1'-0"



4 SECTION - C - SIDEWALK  
3/4" = 1'-0"



5 SECTION - D - SIDEWALK  
3/4" = 1'-0"



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ARCHITECT:

CONSULTANT:

CERTIFIED BY:

REVISION / DATE / DESCRIPTION

PROJECT  
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FRANCISCO ROBLEDO [PR-CRP-001153]  
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CLIENT  
MUNICIPIO DE SANTA ISABEL

PROJECT #

SCALE: As indicated

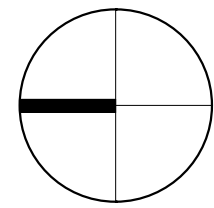
DRAWN BY: Author

ENLARGED VIEW - ARCHITECTURAL SITE PLAN

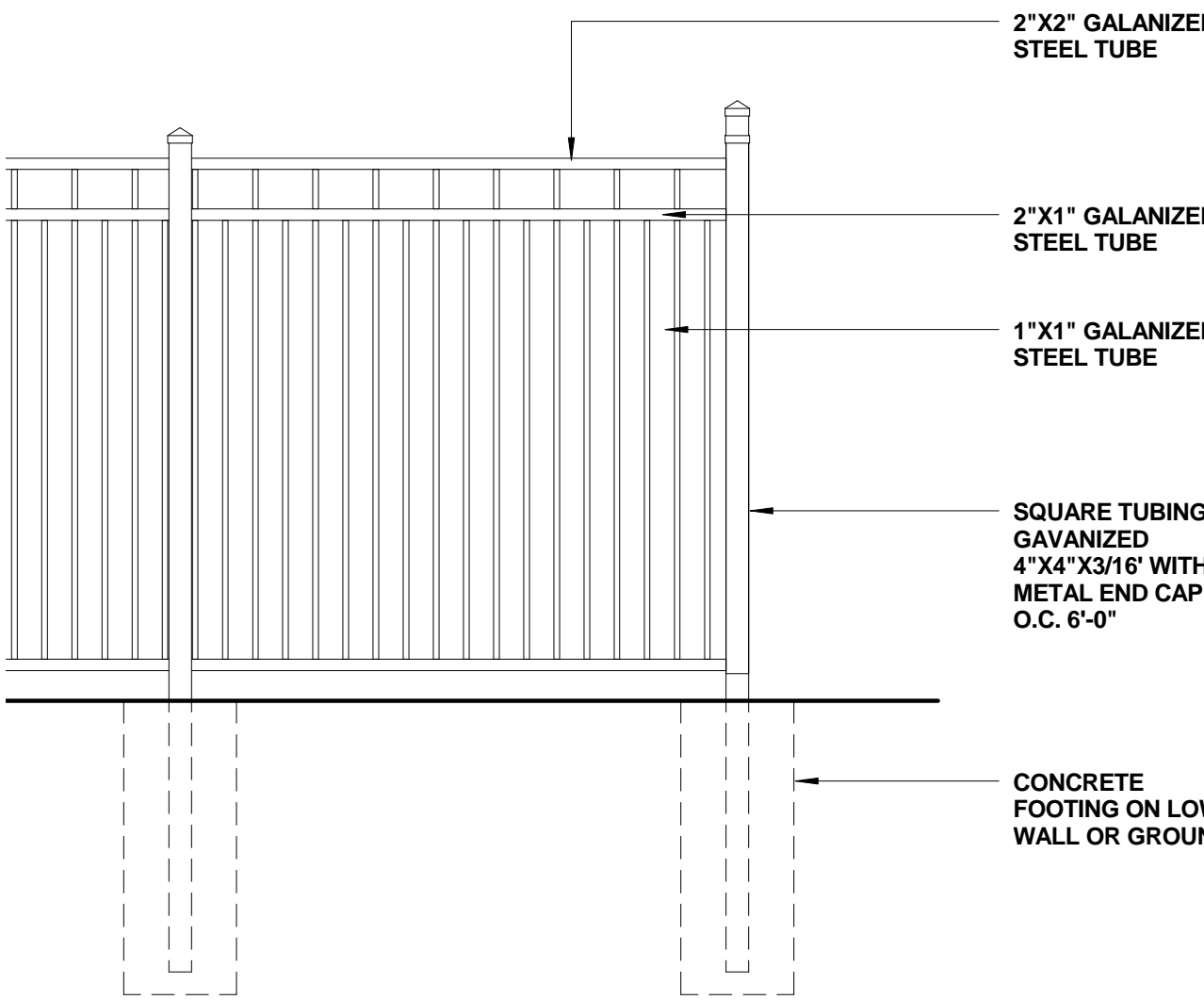
TITLE

SA101

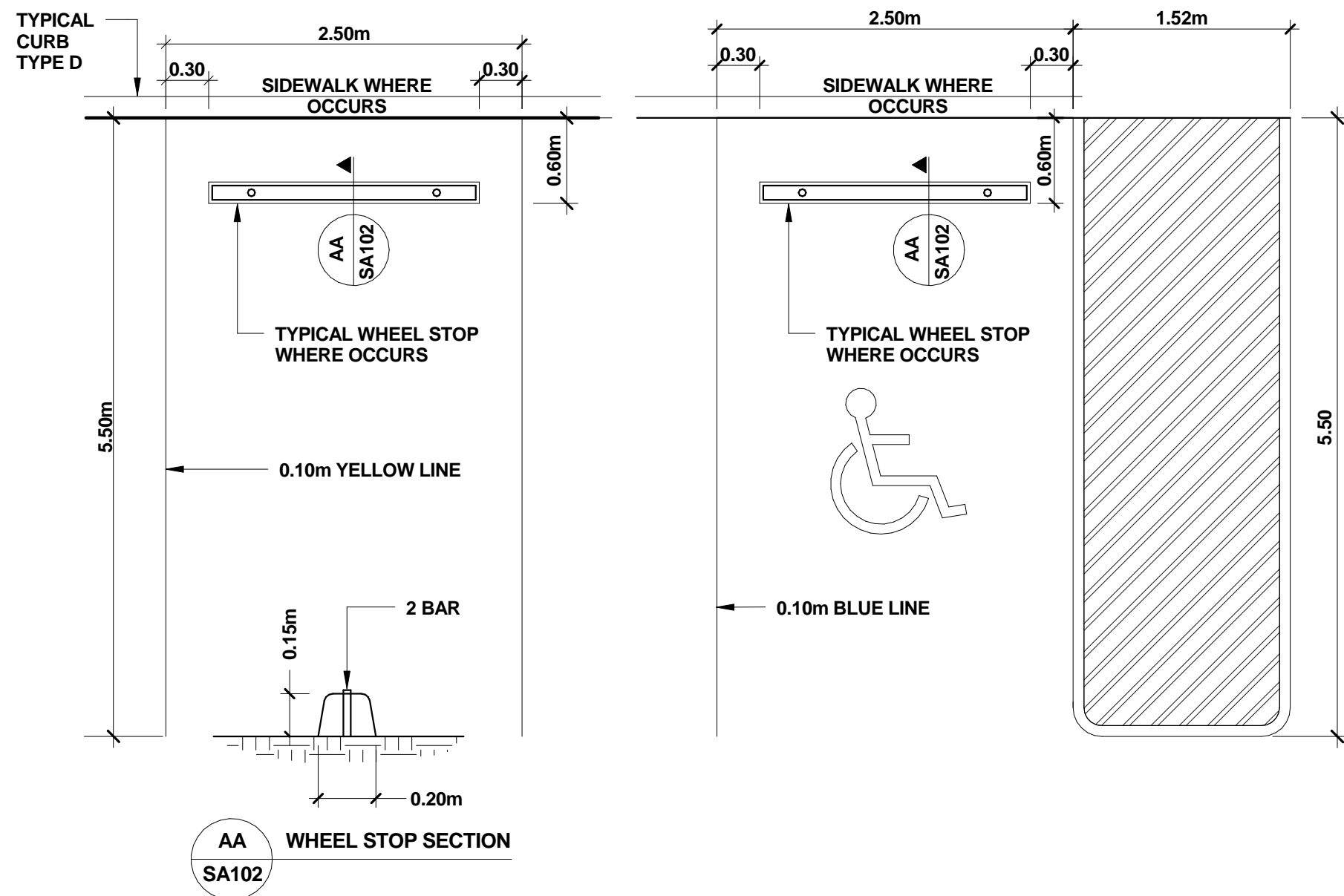
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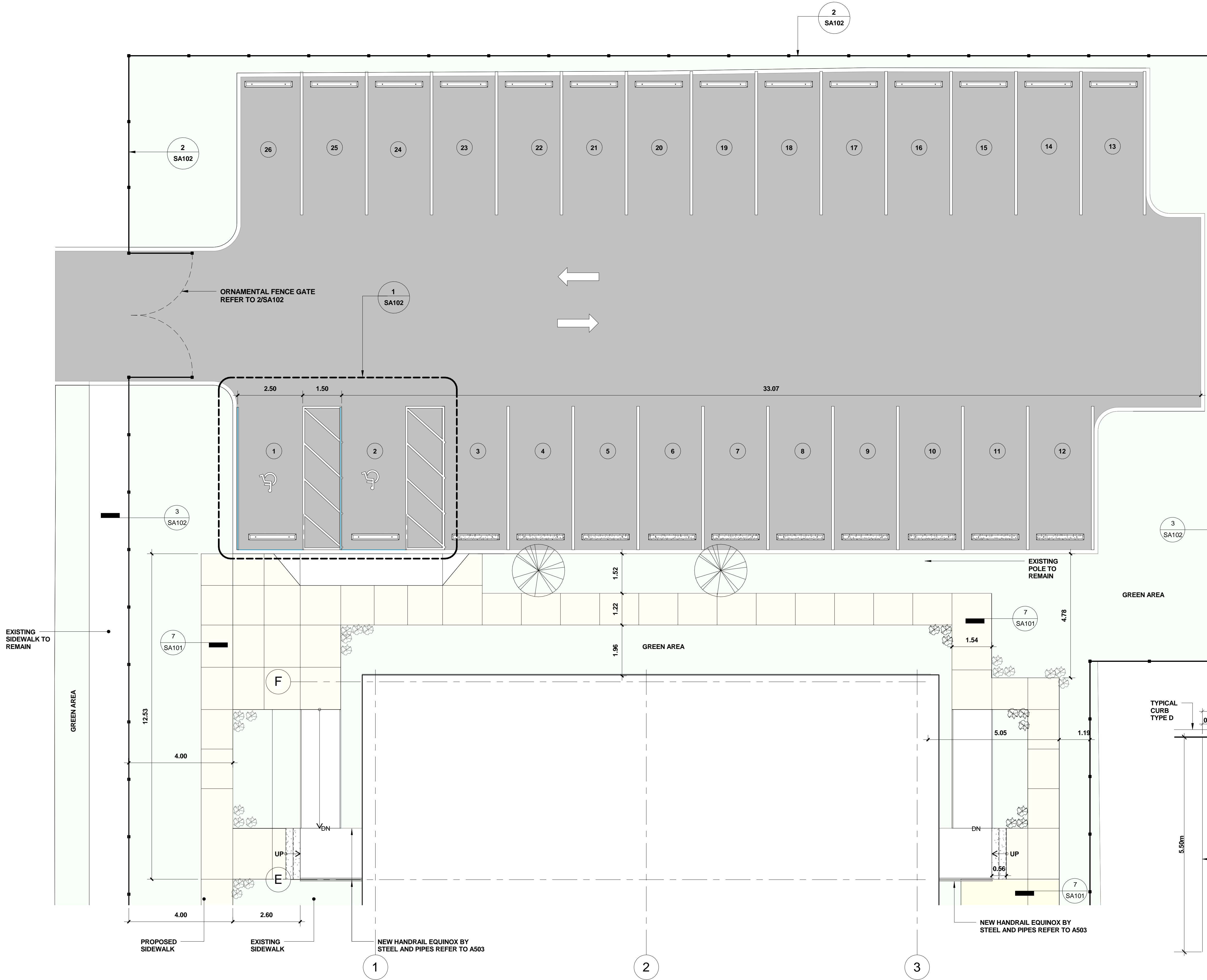
| ESTACIONAMIENTOS |    |
|------------------|----|
| REGULARES        | 24 |
| IMPEDIDOS        | 2  |
| TOTAL            | 26 |



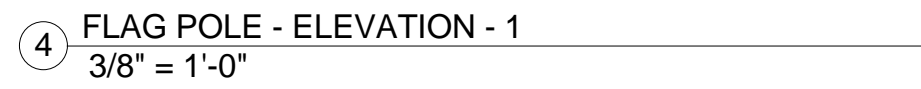
3 ORNAMENTAL FENCES DETAILS  
1/2" = 1'-0"



4 HC PARKING DETAIL  
12" = 1'-0"



1 ENLARGED VIEW -ARCHITECTURAL SITE PLAN  
1 : 75





GENERAL NOTES:

- ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDES THE DRAWINGS, ALL ADDENDUMS AND MODIFICATIONS ISSUED BY THE ARCHITECT.
- THE GENERAL CONTRACTOR (GC) SHALL REVIEW ALL DOCUMENTS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND SHALL CONFIRM THAT WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS, ETC., SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF ANY WORK IN QUESTION. THE GC SHALL ARRANGE FOR INSPECTIONS NECESSARY TO OBTAIN A CERTIFICATE OF OCCUPANCY.
- IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING MATERIALS/EQUIPMENT, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION.
- ALL WORK SHALL BE PERFORMED DURING DESIGNATED HOURS (8AM-5PM). WORK INVOLVING EXCESSIVE NOISE OR DUST, OR WHICH WOULD OTHERWISE INTERFERE WITH THE NORMAL OPERATION OF THE FACILITY SHALL BE DONE BETWEEN 9AM AND 5PM.
- GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY(IE) UTILITIES, NOT COVERED IN THE CONSTRUCTION/DEMOLITION DOCUMENTS, WHICH MAY INTERFERE WITH COMPLETING THEIR SCOPE OF WORK. THE ARCHITECT & GENERAL CONTRACTOR SHALL DISCUSS THE REMOVAL OF THESE UTILITIES. WHEN REMOVAL IS APPROVED BY THE ARCHITECT, THE GENERAL CONTRACTOR SHALL INSPECT, TEST, AND DISCONNECT THE SPECIFIED UTILITY, CUT BACK TO SOURCE (OR PERIMETER OF LEASE SPACE) AND CAP. ALL PENETRATIONS RESULTING FROM THE REMOVAL SHALL BE SEALED WITH NEW CONSTRUCTION TO MATCH (E) ADJACENT BLDG. FINISHES. UTILITY SERVICE SHALL BE DEFINED AS PLUMBING, HVAC, ELECT., AND FIRE PROTECTION SYSTEMS. GC SHALL INDICATE PERMANENTLY ABANDONED UTILITIES ON A RECORD TO SERVE AS PART OF THE "AS-BUILT" SET.
- "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
- "TYPICAL" SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT UNLESS OTHERWISE NOTED. DETAILS ARE USUALLY KEYED AND NOTED "TYP" ONLY ONCE, WHEN THEY FIRST OCCUR.
- "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS.
- WORK AREAS TO REMAIN SECURE AND LOCKABLE DURING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL COORDINATE WITH ARCHITECT AND/OR PROJECT MANAGER TO ENSURE SECURITY.
- THE GC SHALL VERIFY THAT THE EXISTING FLOORS ARE LEVEL AND FREE FROM SCALING. GC TO REPORT ANY VARIATIONS IN FLOOR LEVEL GREATER THAN 1/4" IN 10'-0" (NON-CUMULATIVE) TO ARCHITECT.
- THE CONTRACT DOCUMENTS ARE COMPLEMENTARY. WHAT IS SHOWN OR REFERRED TO AT A GIVEN LOCATION SHALL BE PROVIDED AS THOUGH SHOWN ON ALL (U.O.N.).
- Substitutions, REVISIONS, OR CHANGES MUST BE SUBMITTED TO ARCHITECT FOR REVIEW (IN CONFORMANCE WITH SPECIFIED PROCEDURES) PRIOR TO PURCHASE, FABRICATION OR INSTALLATION. REFER TO SPECIFICATIONS FOR SPECIFIC PROCEDURES.
- ALL WORK SHALL BE COORDINATED BY THE G.C. INCLUDING; SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, BUILDING FACILITATES, ETC. '
- THE SCOPE OF WORK AND ADJACENT AREAS SHALL BE PROTECTED FROM ANY DAMAGE THAT OCCURS BECAUSE OF THIS WORK. ANY DAMAGE THAT OCCURS SHALL BE THE FINANCIAL RESPONSIBILITY OF THE GC.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED PER MANUFACTURER'S INSTRUCTIONS. IN CASE OF DIFFERENCES BETWEEN THE MANUFACTURER'S INSTRUCTIONS AND CONTRACT DOCUMENTS, THE GC SHALL NOTIFY THE ARCHITECT BEFORE PROCEEDING.
- ACCESS PANELS, CLEANOUTS, AND THE LIKE SHALL BE MAINTAINED FOR EXISTING BUILDING SYSTEMS. RELOCATE DIFFUSERS AND REGISTERS TO FIT WITH NEW WORK.
- THE GC SHALL HAVE A FULL-TIME REPRESENTATIVE ON SITE AT ALL TIMES WHILE CONSTRUCTION ACTIVITIES ARE OCCURRING ON SITE.
- THE GC SHALL COMPLY WITH ALL CODES, LAWS, ORDINANCES, AND REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK.
- THE GC SHALL OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN PARTITION LOCATIONS, SIZES AND TYPES. DOOR AND WINDOW LOCATIONS SHALL BE AS SHOWN ON CONSTRUCTION PLAN. IN CASE OF CONFLICT, NOTIFY ARCHITECT FOR WRITTEN CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION.
- COMMENCEMENT OF WORK SHALL BE DEEMED AS THE GC'S ACKNOWLEDGMENT OF ALL WORK REQUIRED TO COMPLETE PROJECT IN CONFORMANCE WITH CONTRACT DOCUMENTS AND SCHEDULE. IT IS THE RESPONSIBILITY OF THE GC TO COORDINATE ORDERS, SUBMITTALS AND IMPLEMENTATION OF LONG LEAD ITEMS. THE GC'S FAILURE TO MAKE LONG LEAD ITEM ORDERS IN A TIMELY FASHION SHALL NOT BE GROUND FOR SUBSTITUTIONS.
- ALL NEW CONSTRUCTION INCLUDING CONCRETE, MASONRY, PLASTER, DRYWALL, DOORS, FRAMES, METAL PARTITIONS AND MISCELLANEOUS UNFINISHED METALS (OTHER THAN STAINLESS STEEL SHALL BE PAINTED UNLESS OTHERWISE CLEARLY ON DRAWINGS.
- BIDDERS SHALL VISIT THE BUILDING AND ACQUAINT THEM SELVES WITH THE CONDITIONS AS THEY ACTUALLY EXIST AND VERIFY DIMENSIONS, LOCATIONS AND DETAILS REQUIRED TO COMPLETE THE WORK. FAILURE TO VISIT THE PROJECT AREA WILL IN NO WAY RELIEVE THE SUCCESSFUL BIDDER OF FURNISHING ALL MATERIAL AND PERFORMING ALL WORK REQUIRED FOR THE COMPLETION OF THE CONTRACT. VISITS TO THE PROJECT AREA SHALL BE ARRANGED WITH THE MUNICIPALITY OF JUNCOS.
- WHENEVER AND WHEREVER ON THIS PLANS A REFERENCE IS MADE TO A SPECIFIC PRODUCT OR SUPPLIER, THE GENERAL CONTRACTOR SHALL UNDERSTAND THAT AN EQUAL OR SIMILAR MATERIAL OR COMPONENT CAN BE SUBMITTED FOR EVALUATION AND POSSIBLE APPROVAL OR DISAPPROVAL BY THE ARCHITECT.

CONTRACTOR NOTES:

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED SO THAT PROPER CORRECTIONS ARE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS AND/OR OMISSIONS.
- ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ARCHITECT ARE THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH THEY WERE EXPRESSLY DESIGNED.
- IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THE ARCHITECT, THE PERSON SO DOING WILL BE INDEBTED TO THE ARCHITECT FOR HIS FULL COMMISSION.
- CONTRACTOR SHALL NOT USE FOR CONSTRUCTION PURPOSES ANY DRAWINGS THAT WERE ADVANCED TO HIM PRIOR TO THE START OF CONSTRUCTION. ALL PLANS BEING USED BY CONTRACTOR SHOULD BEAR A STAMP WITH THE LABEL: "FOR CONSTRUCTION ONLY," SIGNED BY ARCHITECT.
- GENERAL CONTRACTOR SHALL FIELD SURVEY LOCATION AND VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE TENANT AND ARCHITECT.
- GENERAL CONTRACTOR SHALL COMPLETE ALL WORK AS INDICATED ON THESE PLANS UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR SHALL OBTAIN PERMITS, APPROVALS, INSPECTIONS, CERTIFICATE FOR COMPLIANCE AND CERTIFICATE OF OCCUPANCY AS REQUIRED, UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR SHALL CHECK IN WITH AND COORDINATE ALL WORK WITH THE LANDLORD'S PROJECT PERSONNEL.
- GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY POWER, LIGHT AND TELEPHONE IN ACCORDANCE WITH LANDLORD'S AND TENANTS REQUIREMENTS.
- GENERAL CONTRACTOR SHALL REMOVE ALL THESE ITEMS AT THE COMPLETION OF WORK OR AS REQUIRED.
- GENERAL CONTRACTOR SHALL HAVE TENANT'S SPACE CLEANED UPON COMPLETION OF WORK BY A PROFESSIONAL CLEANING SERVICE.
- GENERAL CONTRACTOR SHALL MAINTAIN ON SITE AT ALL TIMES, ALL APPROVED DRAWINGS INCLUDING ALL REVISIONS AND ADDENDA.
- GENERAL CONTRACTOR SHALL HAVE AT ALL TIME IN SITE OFFICE COPY OF ALL ENDORSEMENTS AND PERMITS OF THE PROJECT AT A VISIBLE PLACE.

EXISTING BUILDING NOTES

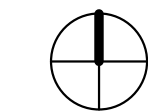
- THE EXISTING CONDITIONS SHOWN IN THE CONSTRUCTION DOCUMENTS ARE FOR ASSISTING CONTRACTORS TO UNDERSTAND THE SCOPE OF WORK. THEY ARE PREPARED BASED ON THE INFORMATION FURNISHED TO THE ENGINEER AND MAY NOT REFLECT THE TRUE AS BUILT CONDITION.
  - CONTRACTORS SHALL ASSUME FULL RESPONSIBILITY FOR FIELD VERIFYING ALL EXISTING CONDITIONS, SOUNDNESS OF EXISTING STRUCTURE, ALL PERTINENT DIMENSIONS AND ELEVATIONS. FAILURE TO DO THIS WILL NOT BE A CAUSE FOR ADDITIONAL COSTS. CONTRACTORS SHALL FURNISH THE VERIFIED INFORMATION TO THE ARCHITECT AND ENGINEER PROMPTLY FOR PROJECT COORDINATION.
  - CONTRACTORS TO PROVIDE ALL SHORING, BRACING, AND REINFORCING, TEMPORARY AND PERMANENT, AS REQUIRED TO RENDER EXISTING STRUCTURE TO REMAIN SOUND AND SAFE.
  - NEW FLOOR ELEVATIONS SHALL MATCH THE EXISTING FLOORS AT ALL LEVELS, UNLESS NOTED OTHERWISE.
- DEMOLITION NOTES:**
- THE ARCHITECT HAS NO KNOWLEDGE OF AND SHALL NOT BE HELD LIABLE FOR ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS ON THE JOBSITE. IF ASBESTOS OR OTHER HAZARDOUS MATERIALS ARE DISCOVERED DURING CONSTRUCTION, ISOLATE THE AFFECTED AREA AND FOLLOW OWNER REQUIREMENTS FOR REMOVAL & DISPOSAL.
  - COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SA FETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
  - PROVIDE AND MAINTAIN BARRICADES, LIGHTING AND GUARDRAILS AS REQUIRED BY APPLICABLE CODES AND REGULATIONS TO PROTECT OCCUPANTS OF BUILDING AND WORKERS.
  - ERECT AND MAINTAIN DUST PROOF PARTITIONS AS REQUIRED TO PREVENT SPREAD OF DUST, FUMES AND SMOKE, ETC. TO OTHER PARTS OF THE BUILDING. ON COMPLETION, REMOVE PARTITIONS AND REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES.
  - IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE AFFECTED AREAS AT NO COST TO THE OWNER
  - EXCEPT WHERE OTHERWISE NOTED, MAINTAIN POSSESSION OF MATERIALS BEING DEMOLISHED. REMOVE FROM SITE DAILY & LEGALLY DISPOSE OF DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
  - REMOVE DESIGNATED PARTITIONS, COMPONENTS, BUILDING EQUIPMENT AND FIXTURES AS REQUIRED FOR NEW WORK.
  - REMOVE ABANDONED HVAC EQUIPMENT, INCLUDING DUCTWORK, AS REQUIRED FOR NEW WORK.
  - REMOVE ABANDONED ELECTRICAL, TELEPHONE AND DATA CABLING BACK TO RISER AND DEVICES, UNLESS OTHERWISE NOTED.
  - REMOVE TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE CONTRACT AREAS AND SITE CLEAN, ORDERLY AND ACCEPTABLE FOR NEW CONSTRUCTION.
  - PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURE(S). PROVIDE AND PLACE BRACING OR SHORING AND BE RESPONSIBLE FOR SAFETY AND SUPPORT OF STRUCTURE. ASSUME LIABILITY FOR SUCH MOVEMENT, SETTLEMENT, DAMAGE OR INJURY.
  - CEASE OPERATIONS AND NOTIFY THE OWNER IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESORED.
  - ARRANGE AND PAY FOR DISCONNECTING, REMOVING AND CAPPING UTILITY SERVICES WITHIN AREAS OF DEMOLITION. DISCONNECT AND STUB OFF. NOTIFY THE AFFECTED UTILITY COMPANY AND BUILDING MANAGER IN ADVANCE AND OBTAIN APPROVAL BEFORE STARTING THE WORK.
  - HVAC SUBCONTRACTOR TO INSPECT EXISTING CONDITIONS PRIOR TO DEMOLITION. AND DETERMINE WHETHER ANY COMPRESSOR REFRIGERANT LINES ARE PRESENT THAT MUST BE PROPERLY DRAINED (TO E.P.A. STANDARDS PRIOR TO DEMOLITION)
  - PLACE MARKERS TO INDICATE LOCATION OF DISCONNECTED SERVICES. VERIFY SERVICE LINES AND CAPPING LOCATIONS PROJECT RECORD DOCS.
  - CONTRACTOR SHALL BE HELD RESPONSIBLE FOR DAMAGES INFLICTED TO THE OWNERS PROPERTY OR OTHER AREAS OF THE PROJECT. DURING THE EXECUTION OF THE WORK.
  - THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT ALL SHOP DRAWINGS FOR APPROVAL PRIOR TO COMMENCE OF WORK.
  - CONSULTANT DRAWINGS ARE NOT TO BE SCALED: SEE DEMOLITION DRAWINGS FOR EXACT DIMENSIONS.
  - CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS & UTILITIES ON SITE WITHIN THE DEMISED SPACE.

ABBREVIATIONS:

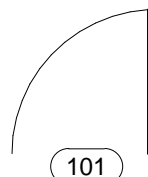
- A.A. ALL AROUND
- F.F.E. FINISHED FLOOR ELEVATION
- S.C.P. SMOOTH CEMENT PLASTER
- A.F.F. AFTER FINISHED FLOOR
- C.O. CLEAN OUT
- F.D. FLOOR DRAIN
- S.D. SMOKE DETECTOR
- E.F. EXHAUST FAN
- N.I.C. NOT IN CONTRACT
- W.H. WATER HEATER

PAINT NOTE:

- ALL INTERIOR AND EXTERIOR WALLS AND CEILING TO BE SCRAPPED WHERE NEEDED, PRIMED AND PAINTED.
- COLORS TO BE SELECTED BY ARCHITECT.
- PAINT SHALL BE SHERWIN WILLIAMS OR APPROVED EQUAL.

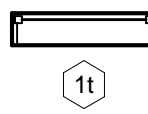


NORTH ARROW



DOOR

DOOR ID NUMBER

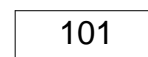


DOOR

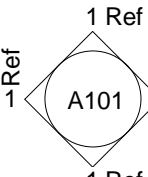
WINDOW ID



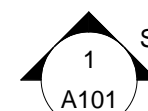
SPOT ELEVATION



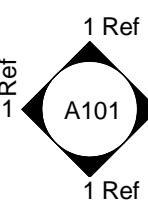
ROOM NUMBER



EXTERIOR ELEVATION SYMBOL



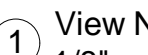
SECTION SYMBOL



INTERIOR ELEVATION SYMBOL

1 / A101

DRAWING / PAGE NUMBER



View Name  
1/8" = 1'-0"

DRAWING NUMBER / VIEW NAME / SCALE

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ARCHITECT:

CONSULTANT:

CERTIFIED BY:

REVISION / DATE / DESCRIPTION

PROJECT  
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FRANCISCO  
ROBLEDO [PR-CRP-001153]  
SANTA ISABEL, PUERTO RICO

CLIENT  
MUNICIPIO DE SANTA ISABEL

PROJECT #:

SCALE: As indicated

DRAWN BY: Author

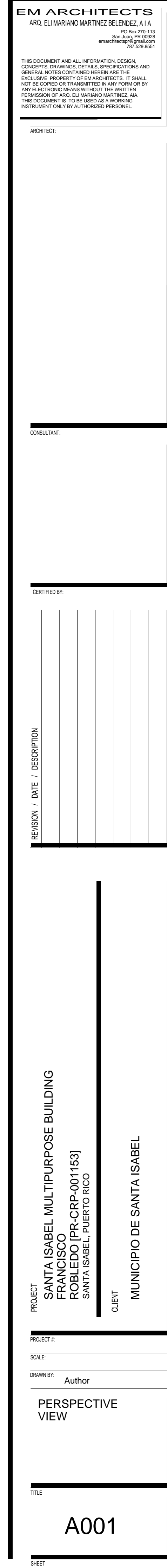
NOTES &  
GENERAL LEGEND

TITLE

SHEET

A000

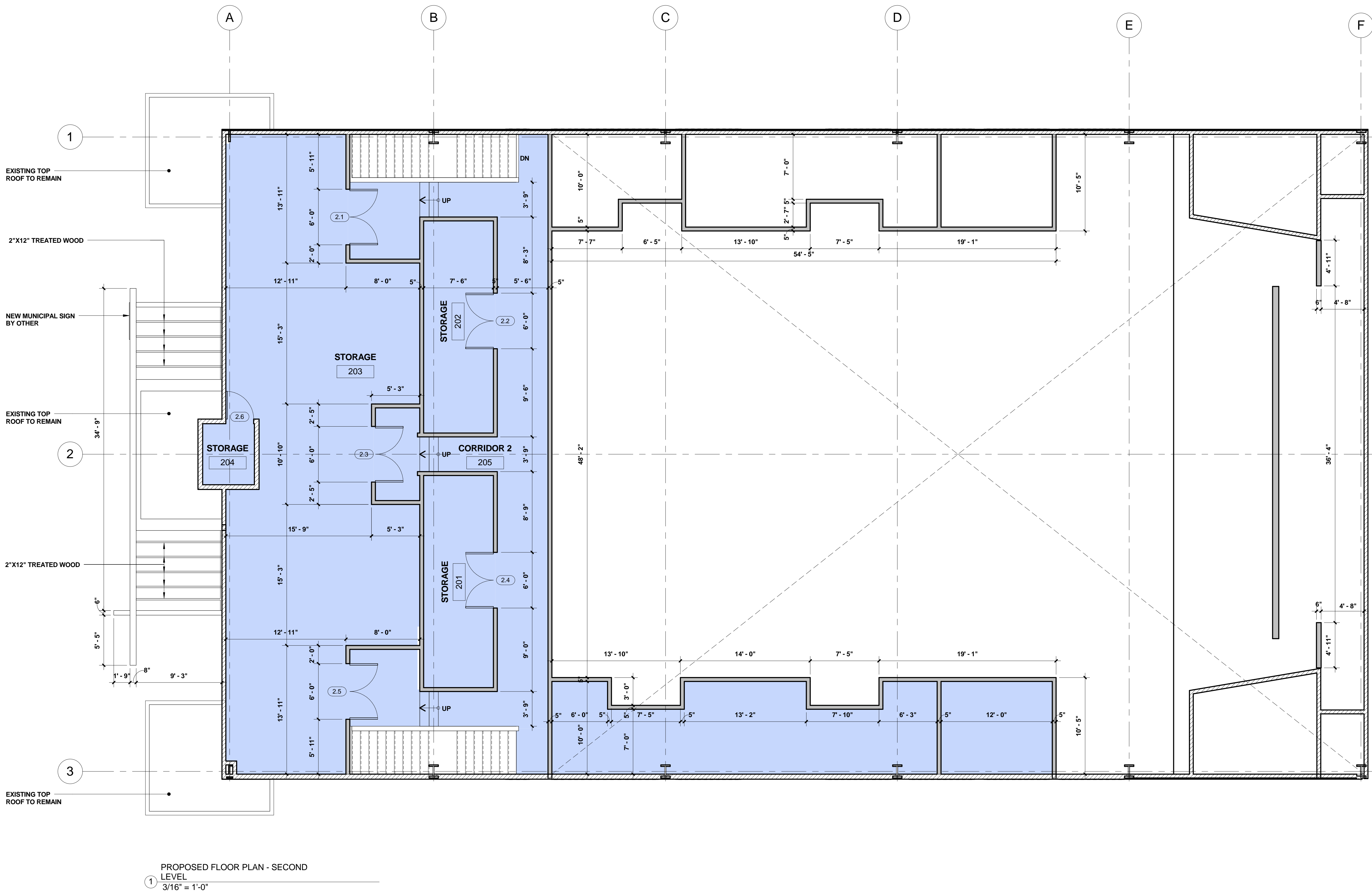




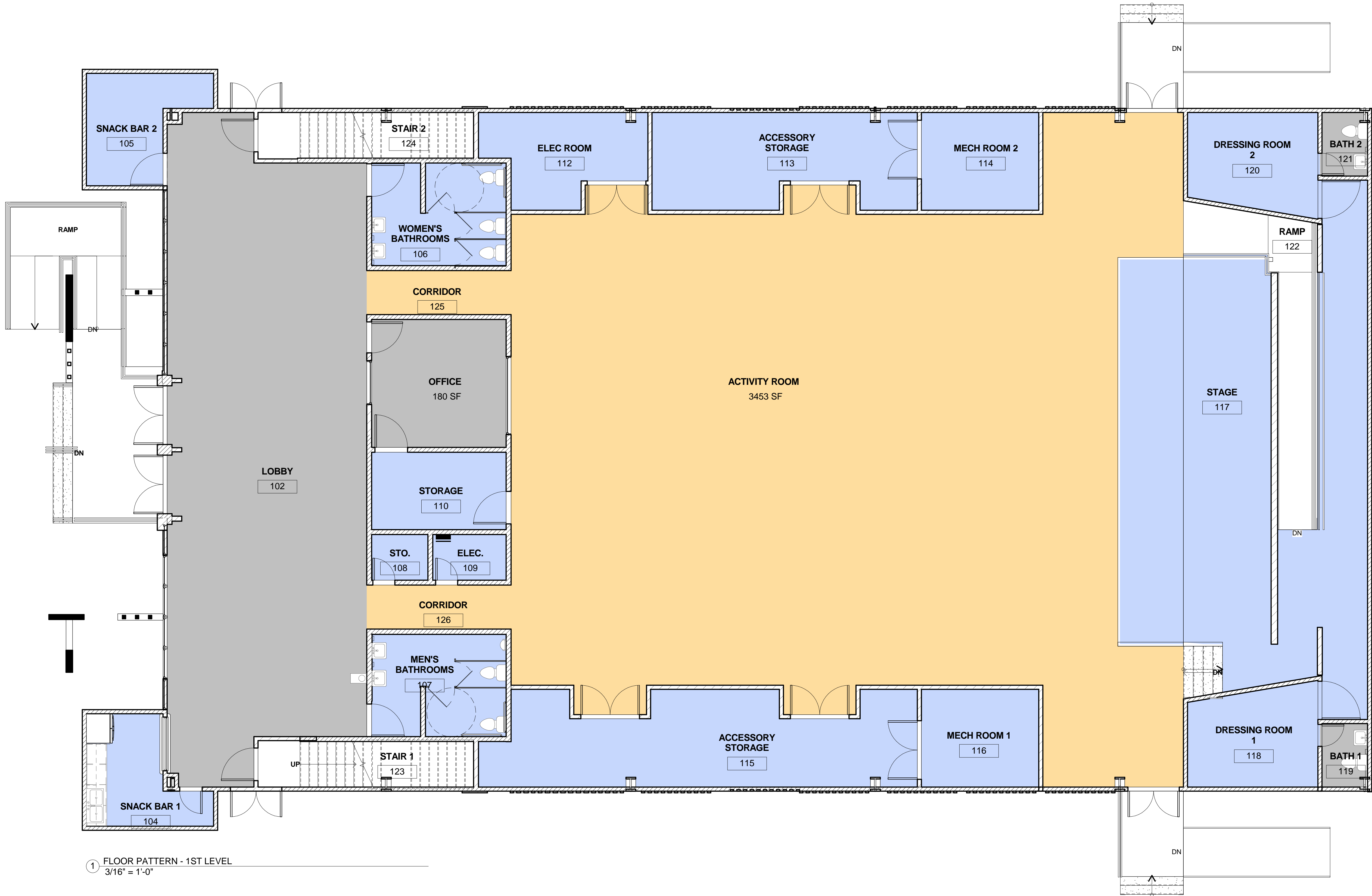








PROPOSED FLOOR PLAN - SECOND LEVEL  
1 3/16" = 1'-0"



1 FLOOR PATTERN - 1ST LEVEL  
3/16" = 1'-0"

| Room Schedule |                   |         |             |                |              |                             |
|---------------|-------------------|---------|-------------|----------------|--------------|-----------------------------|
|               | Name              | Area    | Base Finish | Ceiling Finish | Floor Finish | Wall Finish                 |
| 101           | ENTRANCE          | 946 SF  |             |                | CT-1         | PLASTERED, PRIMED & PAINTED |
| 102           | LOBBY             | 1283 SF | VB-1        | ACT-1          | VT-1         |                             |
| 103           | OFFICE            | 180 SF  | VB-1        | ACT-1          | VT-1         |                             |
| 104           | SNACK BAR 1       | 108 SF  | VB-1        | ACT-1          | PC-1         |                             |
| 105           | SNACK BAR 2       | 109 SF  | VB-1        | ACT-1          | PC-1         |                             |
| 106           | WOMEN'S BATHROOMS | 142 SF  | VB-1        | ACT-1          | PC-1         |                             |
| 107           | MEN'S BATHROOMS   | 140 SF  | VB-1        | ACT-1          | PC-1         |                             |
| 108           | STO.              | 27 SF   | VB-1        | ACT-1          | PC-1         |                             |
| 109           | ELEC.             | 35 SF   | VB-1        | ACT-1          | PC-1         |                             |
| 110           | STORAGE           | 109 SF  | VB-1        | ACT-1          | PC-1         |                             |
| 111           | ACTIVITY ROOM     | 3453 SF | VB-1        | ACT-1          | VT-3         |                             |
| 112           | ELEC ROOM         | 135 SF  | VB-1        | ACT-1          | PC-1         |                             |
| 113           | ACCESSORY STORAGE | 246 SF  |             |                | PC-1         |                             |
| 114           | MECH ROOM 2       | 120 SF  |             |                | PC-1         |                             |
| 115           | ACCESSORY STORAGE | 381 SF  |             |                | PC-1         |                             |
| 116           | MECH ROOM 1       | 120 SF  |             |                | PC-1         |                             |
| 117           | STAGE             | 977 SF  | VB-1        | ACT-1          | PC-1         |                             |

| Room Schedule |                 |         |             |                |              |             |
|---------------|-----------------|---------|-------------|----------------|--------------|-------------|
|               | Name            | Area    | Base Finish | Ceiling Finish | Floor Finish | Wall Finish |
| 118           | DRESSING ROOM 1 | 131 SF  | VB-1        | ACT-1          | PC-1         |             |
| 119           | BATH 1          | 30 SF   | VB-1        | ACT-1          | VT-1         |             |
| 120           | DRESSING ROOM 2 | 131 SF  | VB-1        | ACT-1          | PC-1         |             |
| 121           | BATH 2          | 30 SF   | VB-1        | ACT-1          | VT-1         |             |
| 122           | RAMP            | 162 SF  | VB-1        | ACT-1          | PC-1         |             |
| 123           | STAIR 1         | 75 SF   | VB-1        | ACT-1          |              |             |
| 124           | STAIR 2         | 82 SF   | VB-1        | ACT-1          |              |             |
| 125           | CORRIDOR        | 65 SF   | VB-1        | ACT-1          | VT-3         |             |
| 126           | CORRIDOR        | 65 SF   | VB-1        | ACT-1          | VT-3         |             |
| 201           | STORAGE         | 172 SF  |             |                | PC-1         |             |
| 202           | STORAGE         | 172 SF  |             |                | PC-1         |             |
| 203           | STORAGE         | 1290 SF |             |                | PC-1         |             |
| 204           | STORAGE         | 37 SF   | VB-1        | ACT-1          | PC-1         |             |
| 205           | CORRIDOR 2      | 560 SF  | VB-1        | ACT-1          | PC-1         |             |

FINISH LEGEND

| FLOOR FINISH |  |
|--------------|--|
| EX-FT        | EXISTING FLOOR TILES TO REMAIN   |
| VT-1         | VINYL TILE: WAKE P219 COLLECTION: PORTLAND PROJECT<br>TIMBERLAND TRACE BY MANNINGTON                                   |
| VT-2         | VINYL TILE: ILLUSION WONDER NW204<br>INSTALL 1/4" SELF LEVELING CONCRETE   |
|              |  |
|              |  |
|              |  |
|              |  |
|              |  |
| PC           | POLISHED CONCETE   |
| CSTR         | CONCRETE SURFACE TO BE REPAIRED  |
| FLOOR BASE   |  |
| EX-FB        | EXISTING FLOOR BASE TO REMAIN  |
| RB-1         | RUBBER BASE - Burkebase<br>Type TP PROFILE 603 ASH<br>6" HIGH  |
| RB-2         | RUBBER BASE - PREMIUM EDGE<br>TYPE TP PLATINUM METALIC 117<br>4" HIGH  |
| VB-1         | IDEAL BASE TP RUBBER<br>204 GRAY 6.25 HIGH, 2: TOE   |
| CEILING      |  |
| ACT-1        | ACOUSTIC CEILING TILE<br>USG MARS™ HEALTHCARE ACOUSTICAL PANELS<br>EDGE: SQ. GRID PROFILE: USG DX®                     |
| GWB          | GP TUFF ROCK MOLD GUARD WALLBOARD -<br>MOISTURE RESISTANT TYPE   |
| EXCS         | EXPOSED CONCRETE SURFACE TO BE PRIMED<br>AND PAINTED   |
| EX-CF        | EXISTING CEILING AND LIGHT FIXTURES TO BE<br>CAREFULLY REMOVED AND REINSTALLED AFTER<br>SPRINKLER SYSTEM INSTALLATION. |

| WALL FINISH |                                |
|-------------|--------------------------------|
| EX-WF       | EXISTING WALL FINISH TO REMAIN |
| WP-1        | SW 6196 FROSTY WHITE           |
| WP-2        | SW 6197 ALOOF GRAY             |
| WP-3        | SW 6956 BLUE REFRAIN           |
| WP-4        | SW 6888 PIZAZZ PEACH           |

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ARCHITECT:

CONSULTANT:

CERTIFIED BY:

REVISION / DATE / DESCRIPTION

PROJECT  
SANTA ISABEL MULTIPURPOSE BUILDING  
FRANCISCO ROBLEDO [PR-CRP-001153]  
SANTA ISABEL, PUERTO RICO

CLIENT  
MUNICIPIO DE SANTA ISABEL

PROJECT #

SCALE: As indicated

DRAWN BY: Author

FLOOR PATTERN - 1ST LEVEL

TITLE

A103

SHEET



1 FLOOR PATTERN - 2ND LEVEL  
3/16" = 1'-0"

**SUBSTRATE PREPARATION NOTES:**

**WHERE EXISTING VINYL FLOORING IS REMOVED AND SHEET VINYL WILL BE INSTALLED:**

SUBSTRATE PREPARATION WITH:  
-ARDEX MRF  
(CORRECTING HOLES AN IMPERFECTIONS AFTER VINYL REMOVAL)  
-ARDEX MC RAPID  
(MOISTURE CONTROL & SEALANT)  
-ARDEX P 4 (PRIMER)  
-ARDEX K 10  
(SELF LEVELING SOLUTION PRIOR TO INSTALLING SHEET VINYL)

**WHERE EXISTING FLOOR TILES WILL REMAIN NEW VINYL TILES OR SHEET VINYL WILL BE INTALLED:**

SUBSTRATE PREPARATION WITH:  
-ARDEX K 10  
(SELF LEVELING)  
-ARDEX MRF  
(CORRECTING HOLES AN IMPERFECTIONS AFTER VINYL REMOVAL)

**CONCRETE SURFACE REPAIRS:**

-ARDEX MRF  
(CORRECTING HOLES AN IMPERFECTIONS AFTER VINYL REMOVAL)

**INTERIOR / EXTERIOR WALLS**

-ARDEX OVP FOR PATCHING AND REPAIRING EXTERIOR AND INTERIOR WALLS.

NOTE:  
THE WORK DESCRIBED ABOVE SHALL BE PERFORMED BY A CONTRACTOR CERTIFIED BY ARDEX AMERICAS  
ALL PRODUCTS TO BE INSTALLED AS PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.

Carl Roberts  
Sales Professional  
Puerto Rico & The Caribbean  
ARDEX Americas  
Mobile: +1 787-221-0916  
Telephone +1 724-203-5000  
www.ardexamericas.comFacebook: @ARDEXAmericas

**VINYL TILE NOTES:**

1. FLOOR FINISH TRANSITIONS SHALL BE CENTERED UNDER THE DOOR FRAMES  
WHERE TRANSITIONS OCCUR. THERE SHALL BE NO CHANGE IN LEVEL GREATER  
THAN 1/4". TRANSITION PIECES SHALL BE INCORPORATED WHEREVER THERE IS A  
CHANGE IN MATERIAL.

Nichole Santiago, ID  
Sales Representative/Interior Designer  
CUADRADO ALFOMBRAS  
www.cuadradoalfombras.com  
Mobile: (787) 457-8000  
Work: (787) 250-8000

**PAINT NOTES:**

- ALL INTERIOR PAINT SHALL BE EQUAL OR SIMILAR TO ProMar 200 Zero  
VOC Interior Latex
- ALL INTERIOR GYPSUM BOARD CEILINGS SHALL BE PRIMED AND  
PAINTED. THIS INCLUDES ONE PRIME COAT AND TWO FINISH COATS.  
PROVIDE 6" X 6" SAMPLE OF GYPSUM BOARD FOR REVIEW. PROVIDE HATCH  
WHERE REQUIRED BY CODE FOR ACCESS TO DAMPERS.
- ALL HORIZONTAL FACES OF GYPSUM BOARD SOFFITS SHALL BE PAINTED

**EM ARCHITECTS**

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SANTA ISABEL, PUERTO RICO

CLIENT  
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PROJECT #:

SCALE: 3/16" = 1'-0"

DRAWN BY: Author

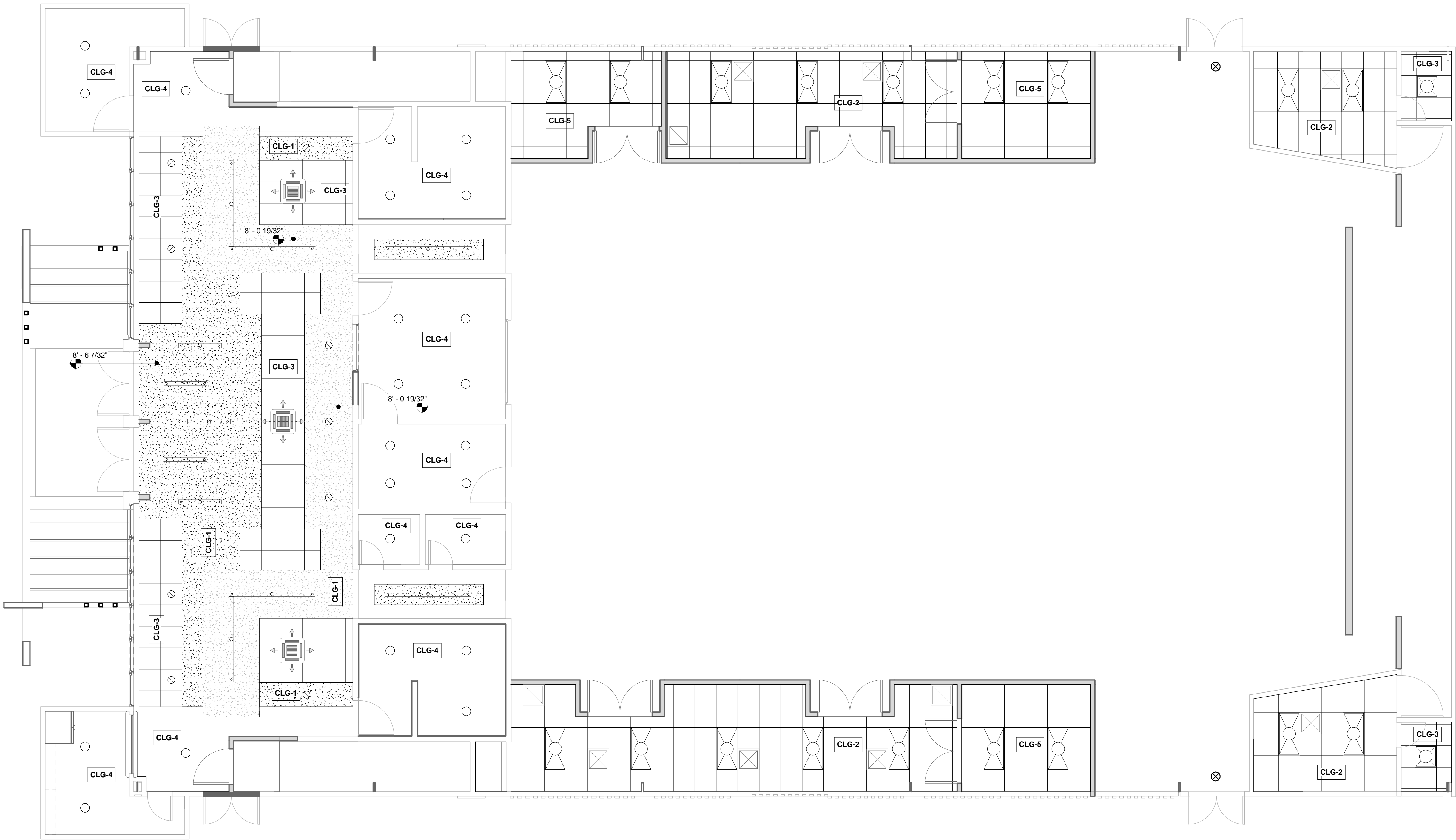
FLOOR PATTERN -  
2ND LEVEL

TITLE

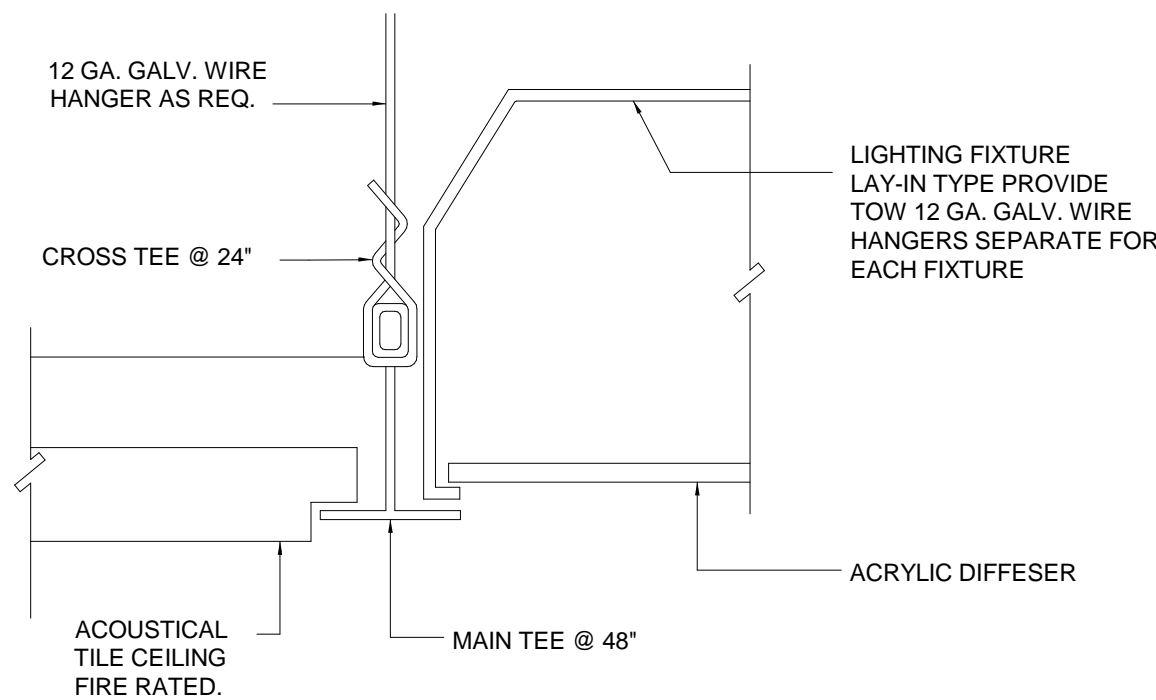
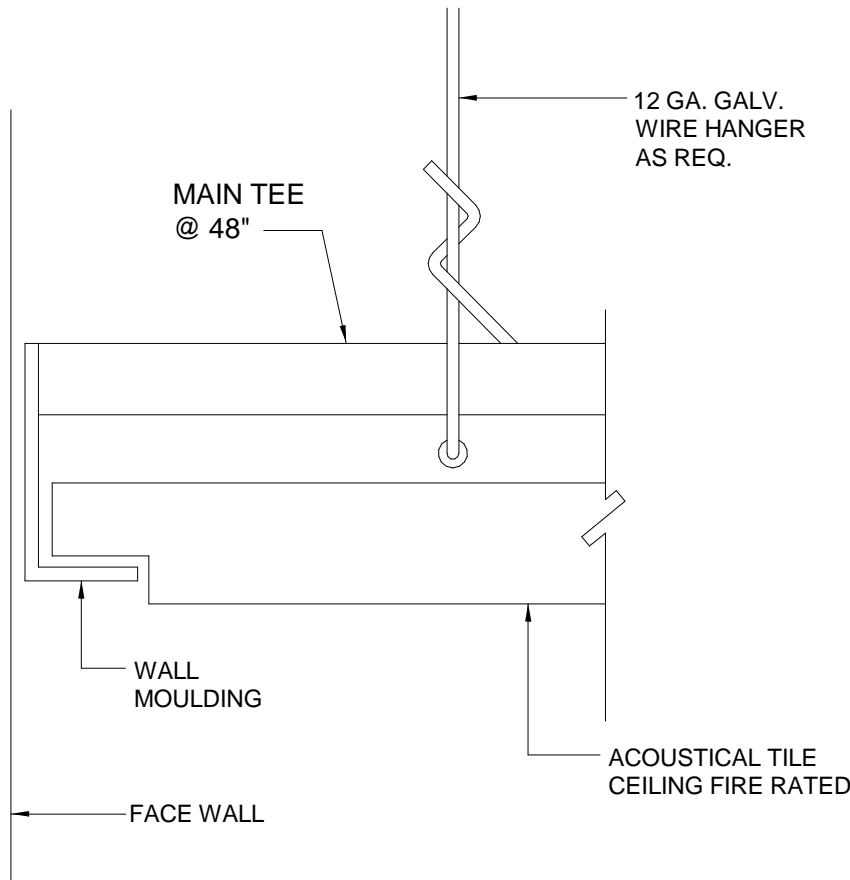
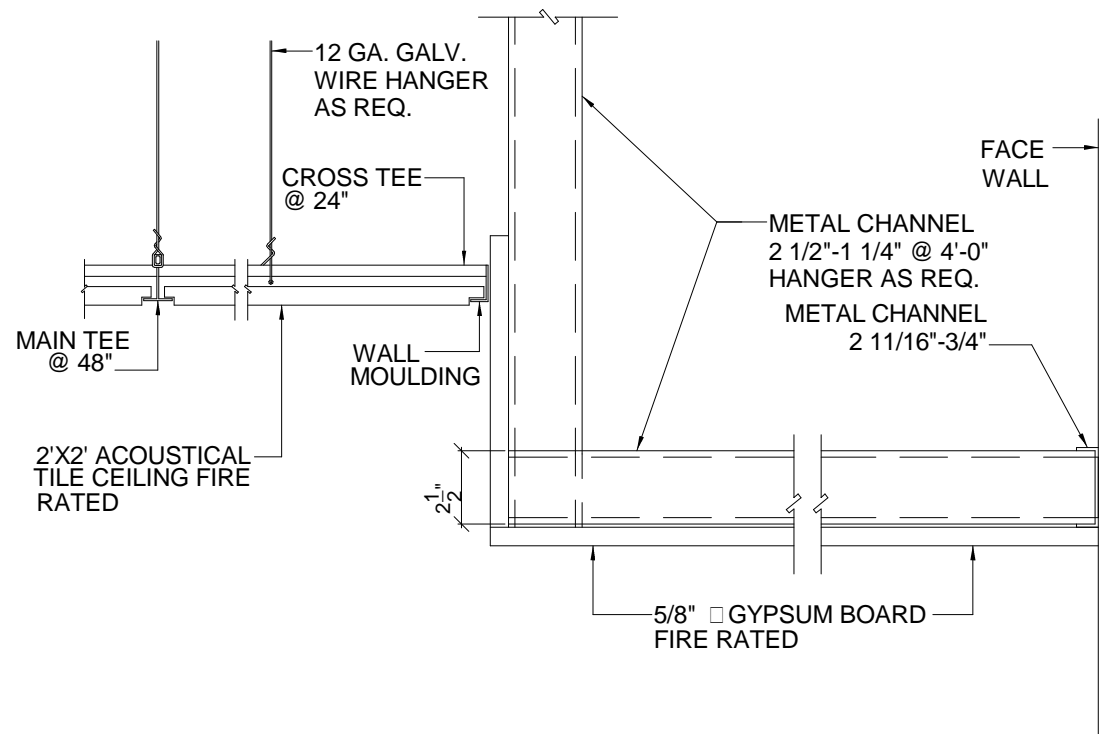
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SHEET



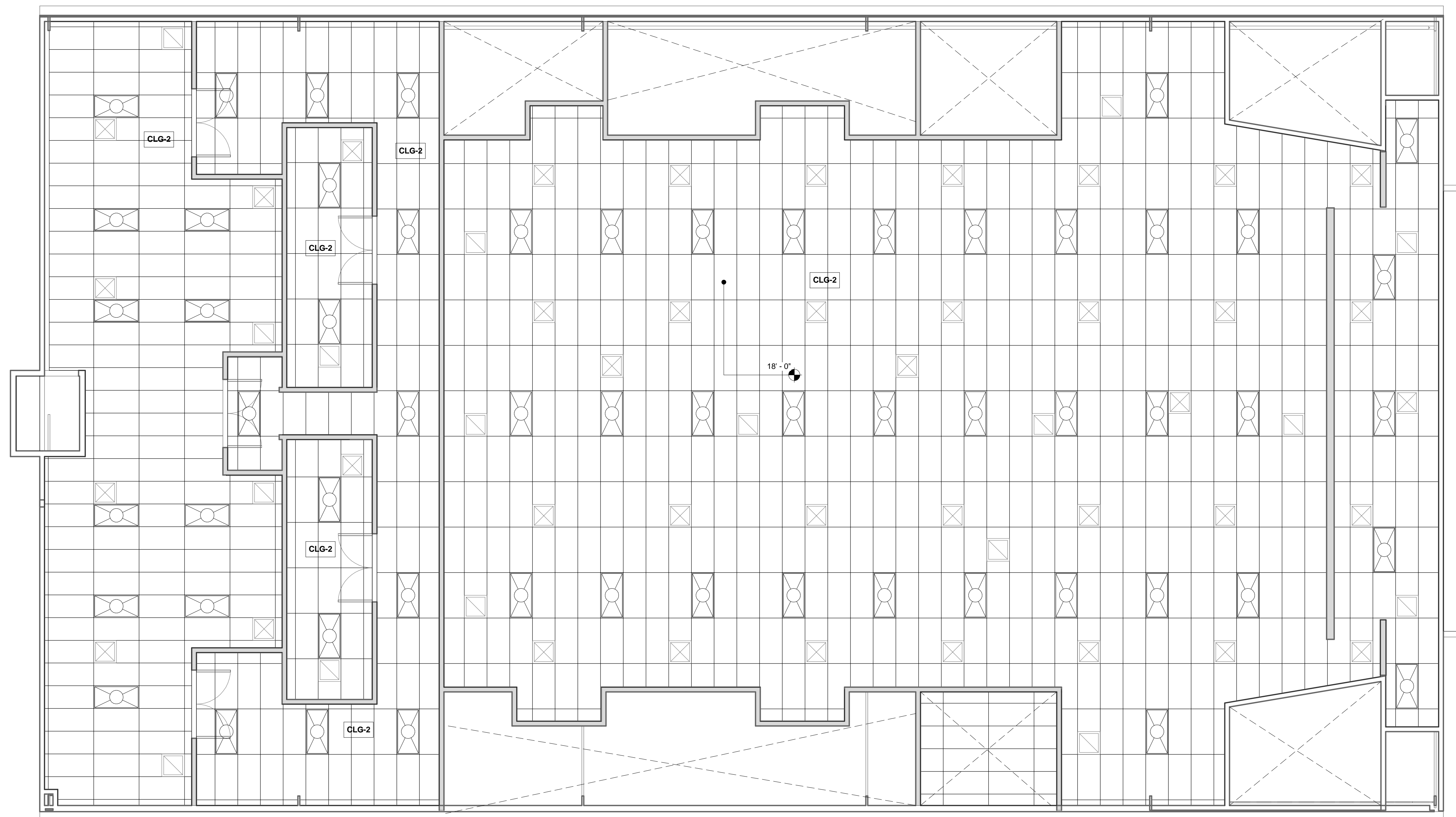


1 PROPOSED REFLECTED CEILING - FIRST LEVEL  
3/16" = 1'-0"



2 REFLECTED CEILING DETAILS  
12" = 1'-0"

| LEGEND | DESCRIPTION  |
|--------|--|
|        | RECESSED LINEAR LIGHT FIXTURE 96"                              |
|        | RECESSED LINEAR LIGHT FIXTURE 48"                              |
|        | RECESSED LIGHT FIXTURE   |
|        | RECESSED LIGHT FIXTURE   |
|        | SURFACE MOUNTED LIGHT FIXTURE                                  |
|        | RECESSED CAN: DOWNLIGHT 6"<br>LITHONIA 6HF 2/6DTT F602A MVOLT  |
|        | RECESSED CAN: DOWNLIGHT 3"                                     |
|        | EXIT LIGHT   |
|        | CLG-1 GYPSUM BOARD FASCIA TYPE X                               |
|        | CLG-2 2 X 4 ACOUSTIC TILE: FINE DUNE TEXTURE                   |
|        | CLG-3 2 X 2 ACOUSTIC TILE: FINE DUNE TEXTURE                   |
|        | CLG-4 NO CEILING INSTALLED - CONCRETE TO BE PRIMED AND PAINTED |
|        | CLG-5 OPEN TO LEVEL ABOVE                                      |
|        | RETURN REGISTER<br>LAMINARIE MODEL L-RA-OB-24X24-W             |
|        | SUPPLY DIFFUSER<br>LAMINARIE MODEL L-AV-4-OB-P-24X24-W         |

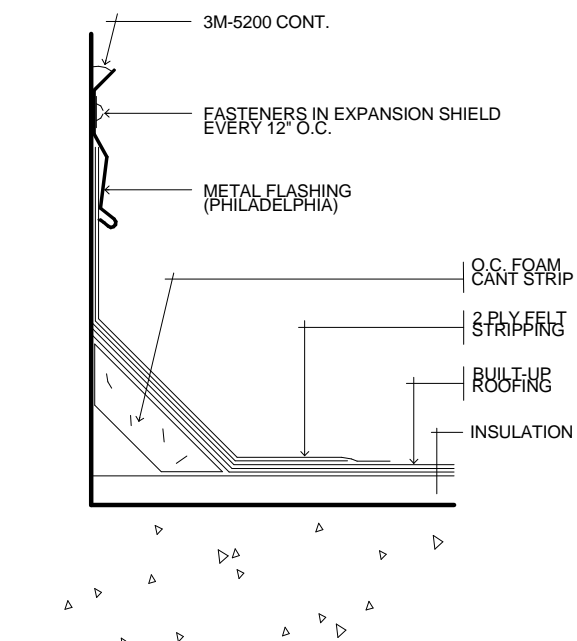


PROPOSED REFLECTED CEILING - 2ND LEVEL

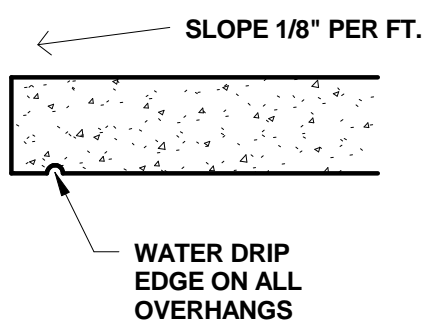
1  $3/16" = 1'-0"$



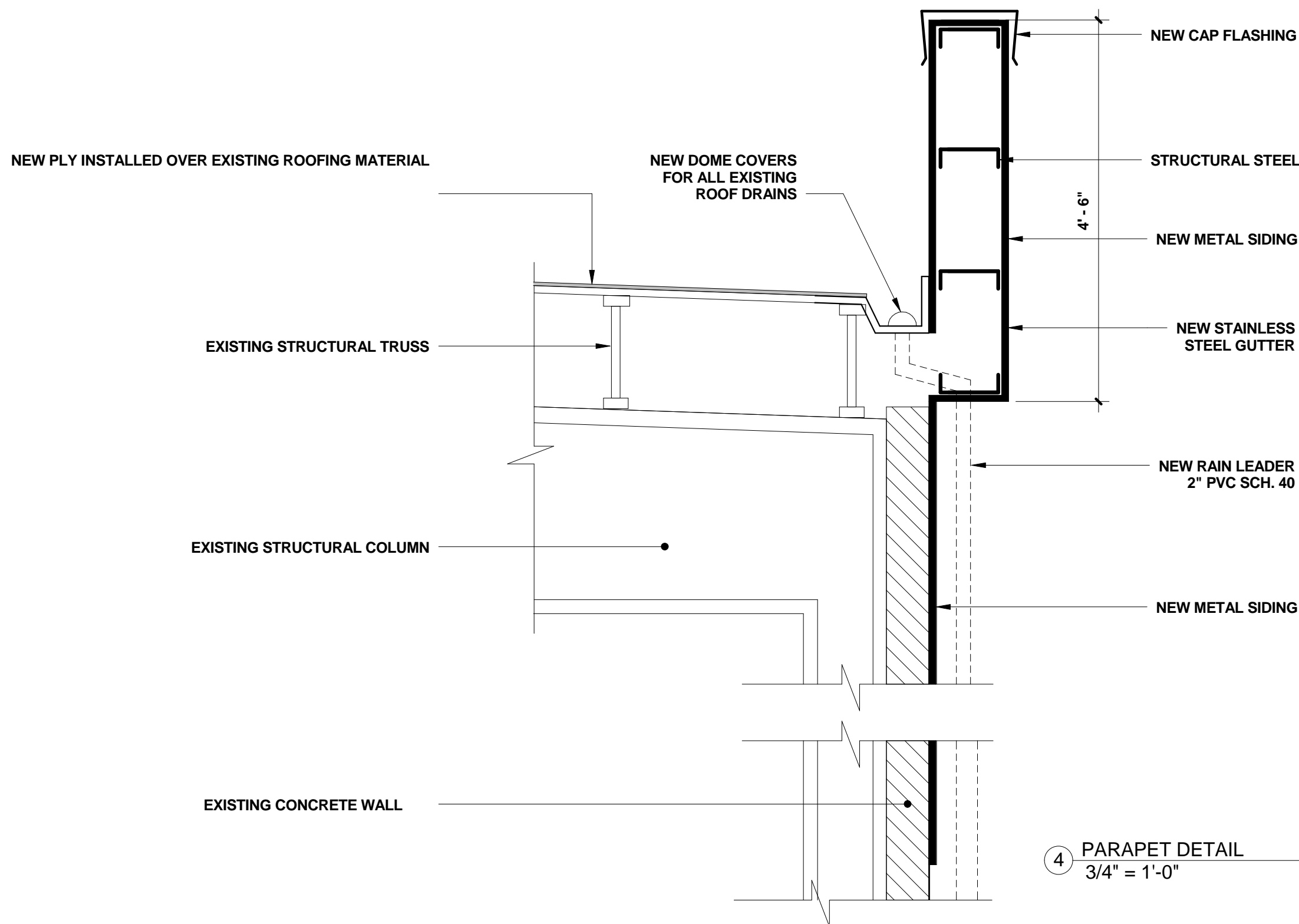
1 PROPOSED ROOF PLAN  
3/16" = 1'-0"



2 FLASHING DETAIL  
12" = 1'-0"



3 WATER DRIP DETAIL  
1" = 1'-0"



4 PARAPET DETAIL  
3/4" = 1'-0"

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FRANCISCO ROBLEDO [PR-CRP-001153]  
SANTA ISABEL, PUERTO RICO

CLIENT  
MUNICIPIO DE SANTA ISABEL

PROJECT #:

SCALE: As indicated

DRAWN BY: Author

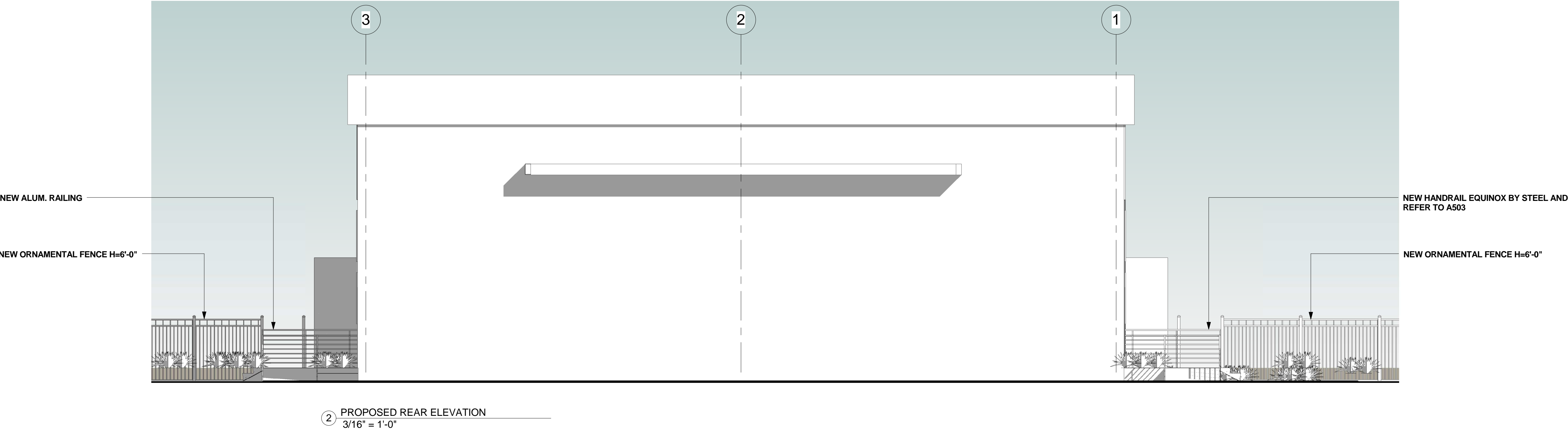
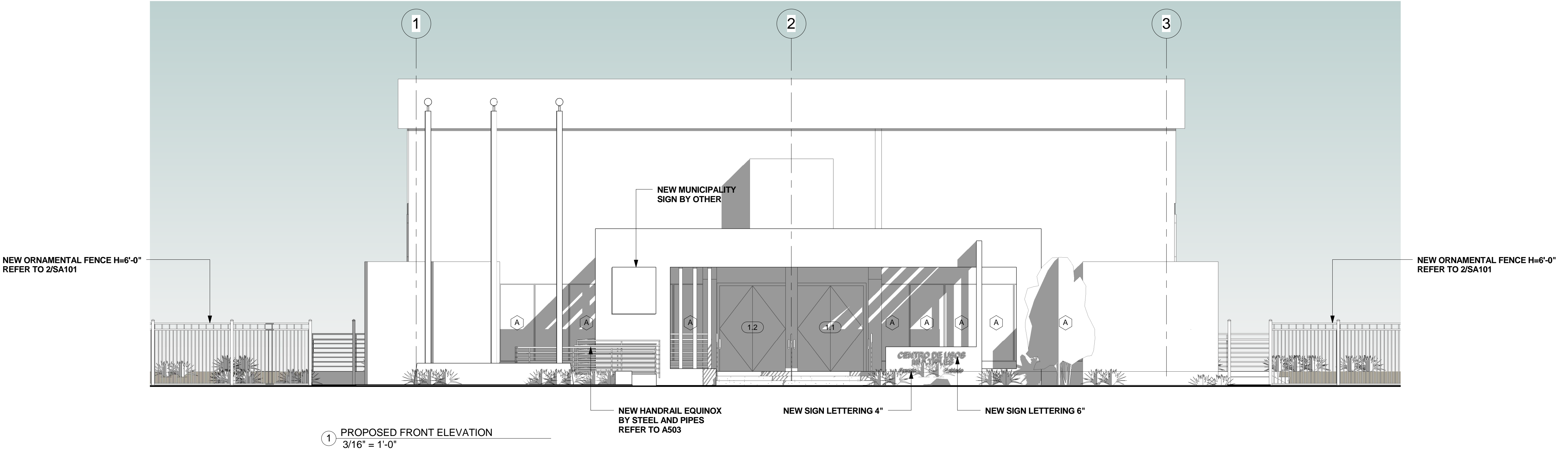
ARCHITECTURAL ROOF PLAN

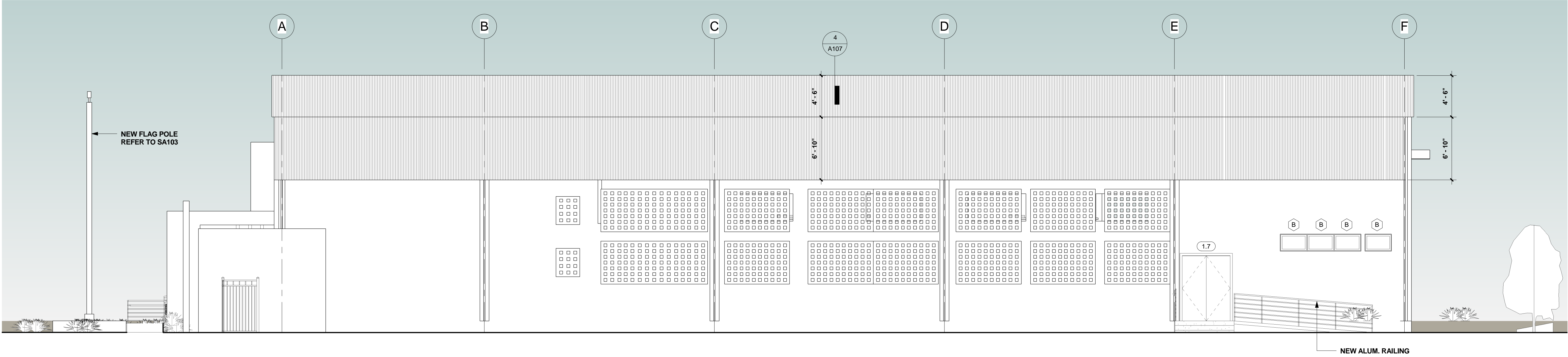
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A107

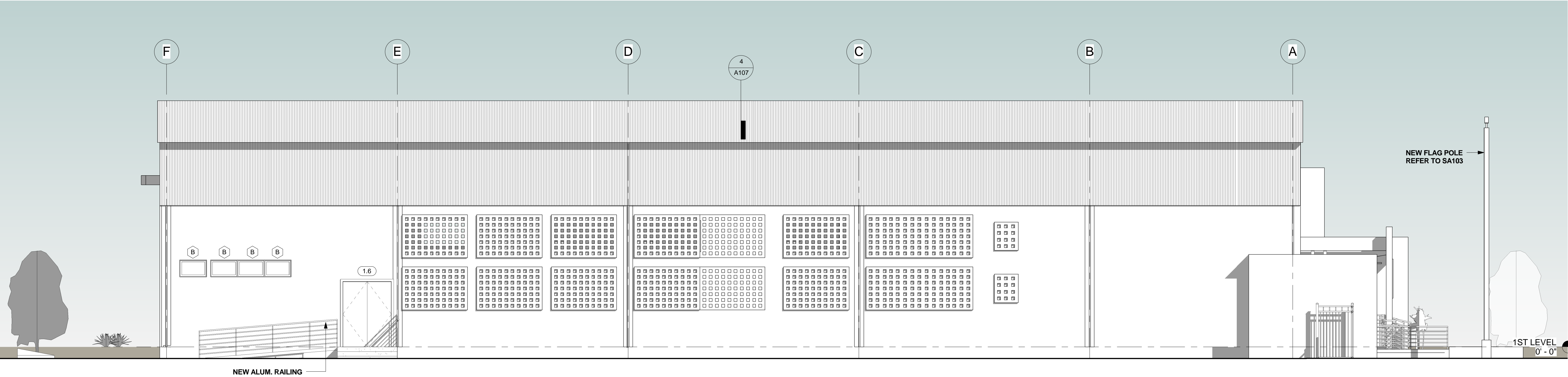
SHEET







1 PROPOSED RIGHT ELEVATION  
3/16" = 1'-0"



2 PROPOSED LEFT ELEVATION  
3/16" = 1'-0"

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CLIENT  
MUNICIPIO DE SANTA ISABEL

PROJECT #

SCALE: 3/16" = 1'-0"

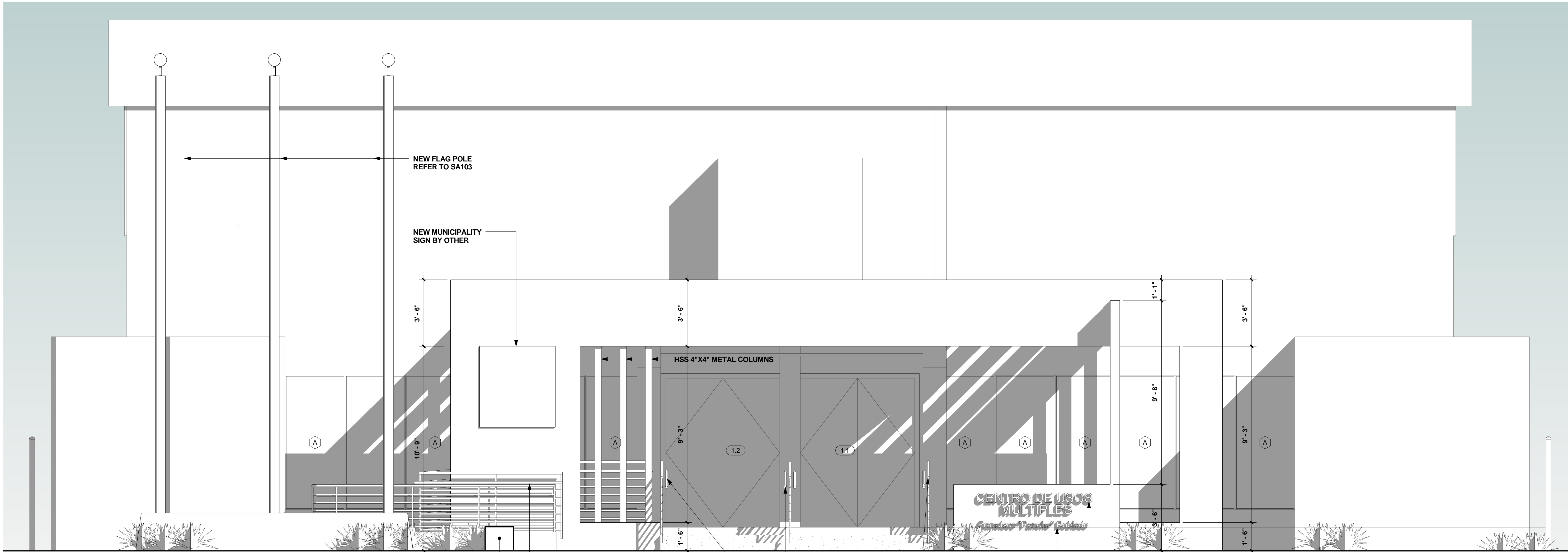
DRAWN BY: Author

PROPOSED ELEVATIONS

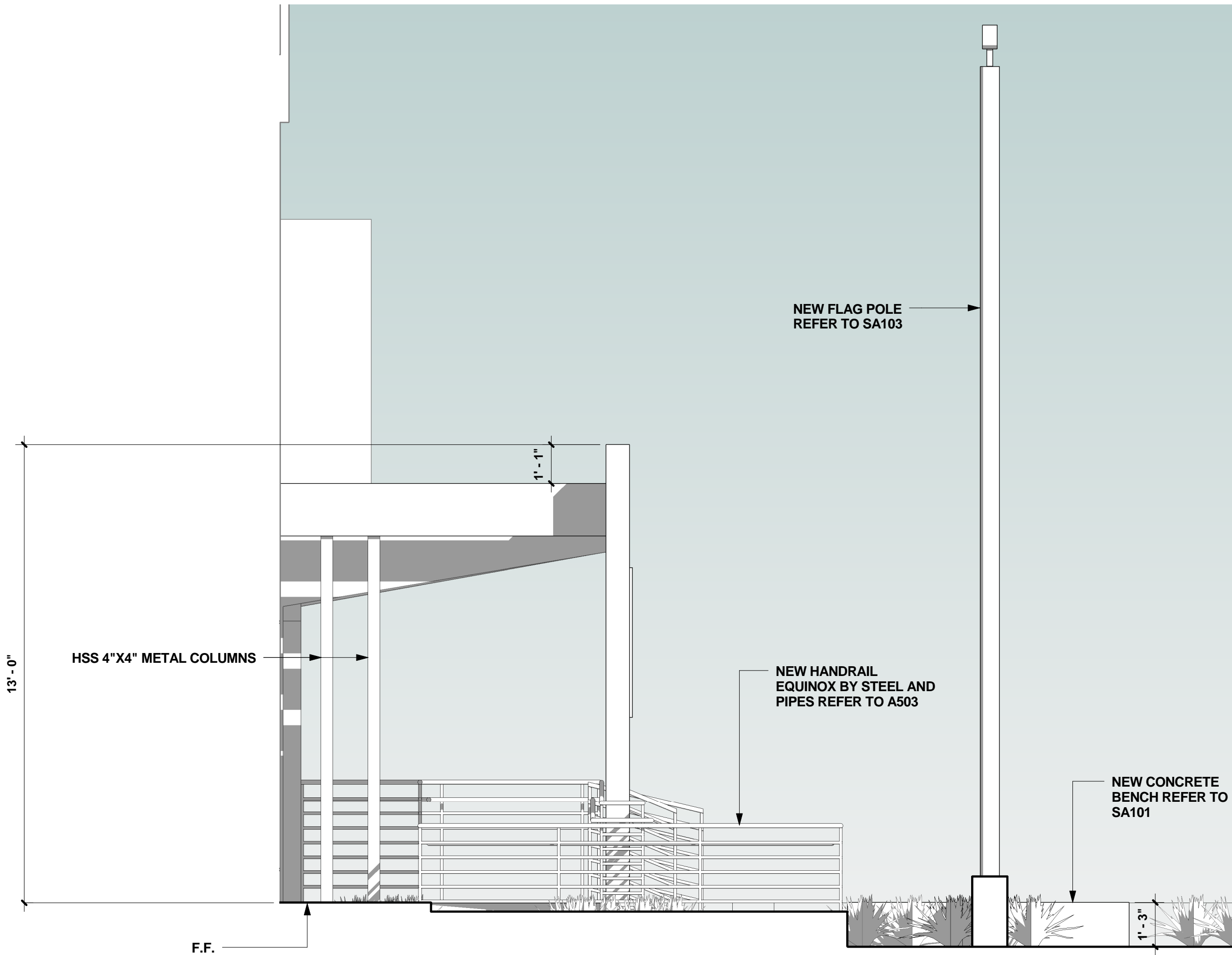
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A202

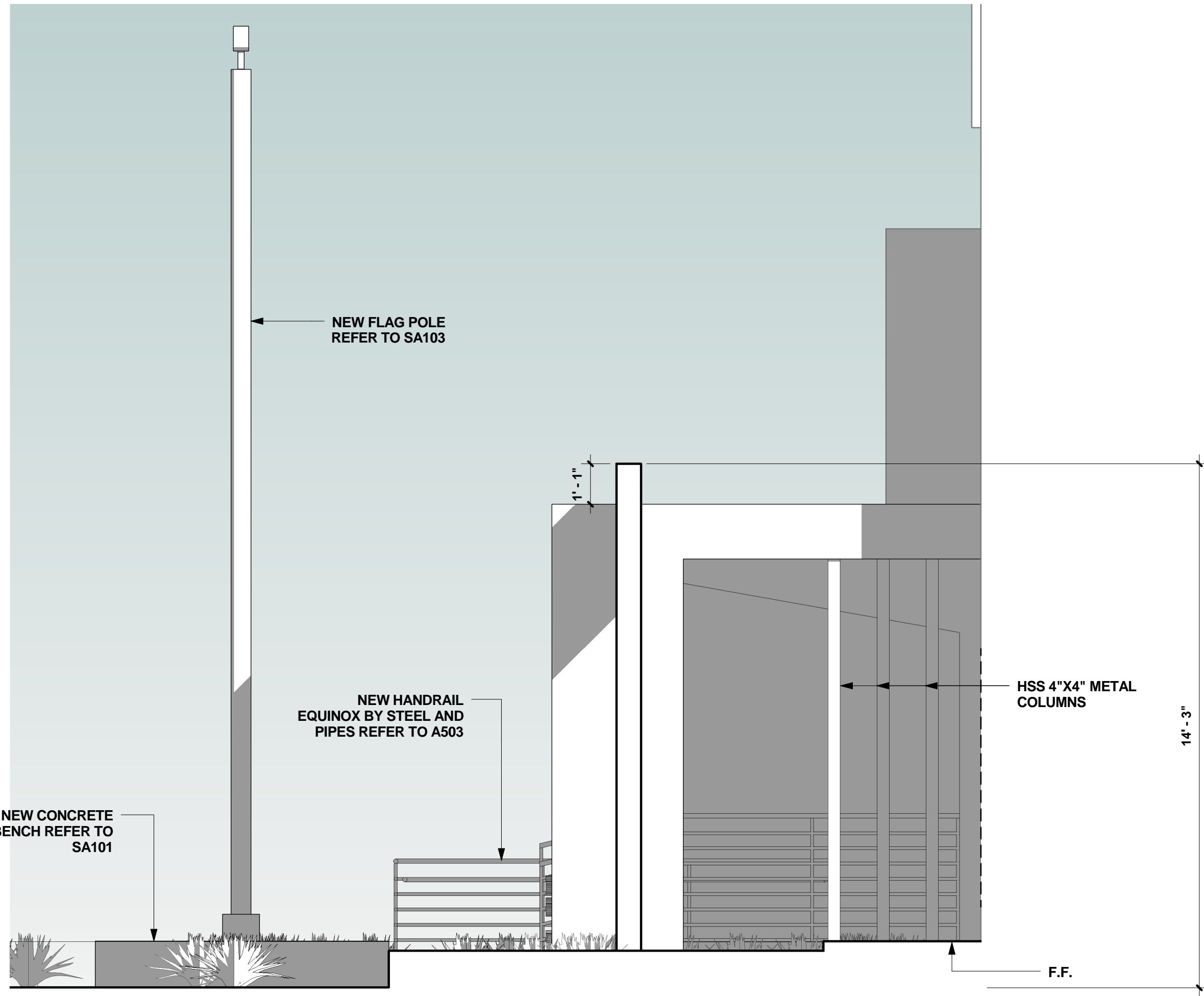
SHEET



① FRONT ELEVATION - ENLARGED VIEW  
3/8" = 1'-0"



② LEFT ELEVATION - ENLARGED VIEW  
3/8" = 1'-0"



③ RIGHT ELEVATION - ENLARGED VIEW  
3/8" = 1'-0"

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FRANCISCO  
ROBLEDO [PR-CRP-001153]  
SANTA ISABEL, PUERTO RICO

CLIENT  
MUNICIPIO DE SANTA ISABEL

PROJECT #:

SCALE: 3/8" = 1'-0"

DRAWN BY: Author

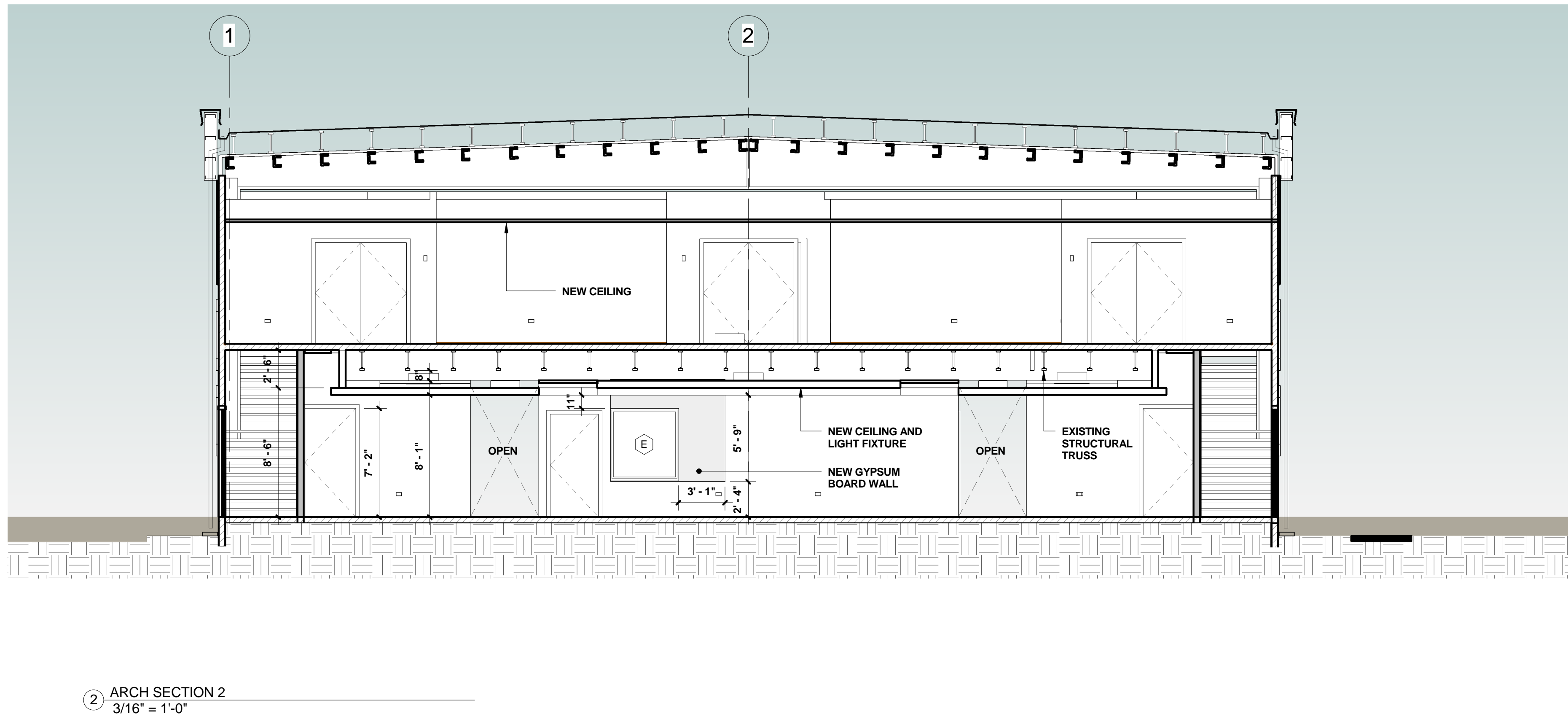
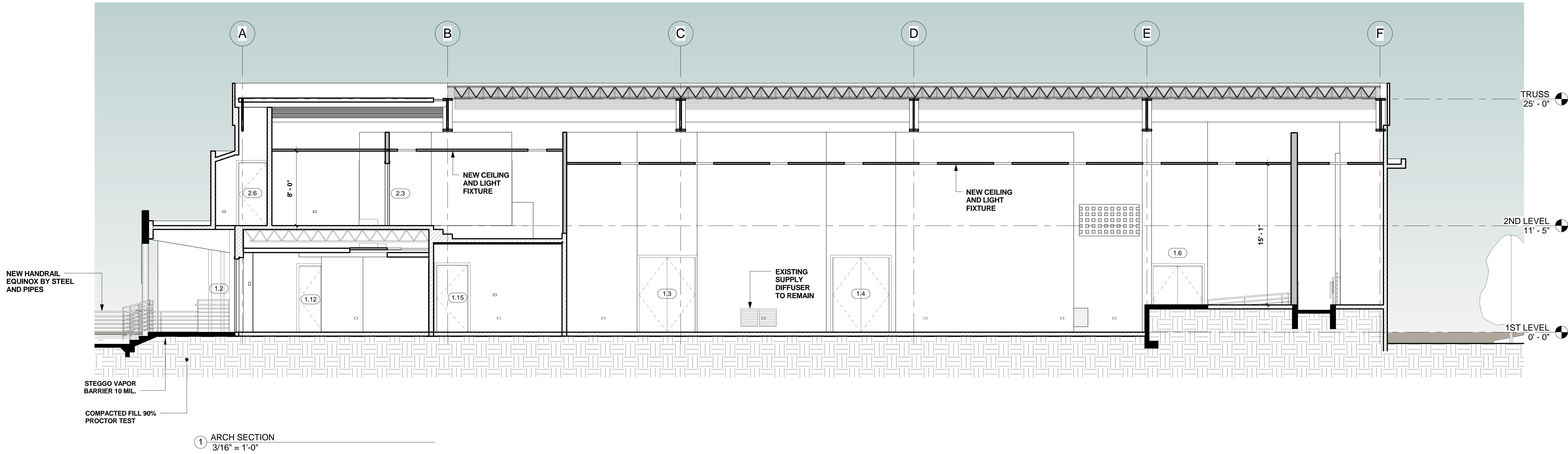
ELEVATIONS -  
ENLARGED VIEW

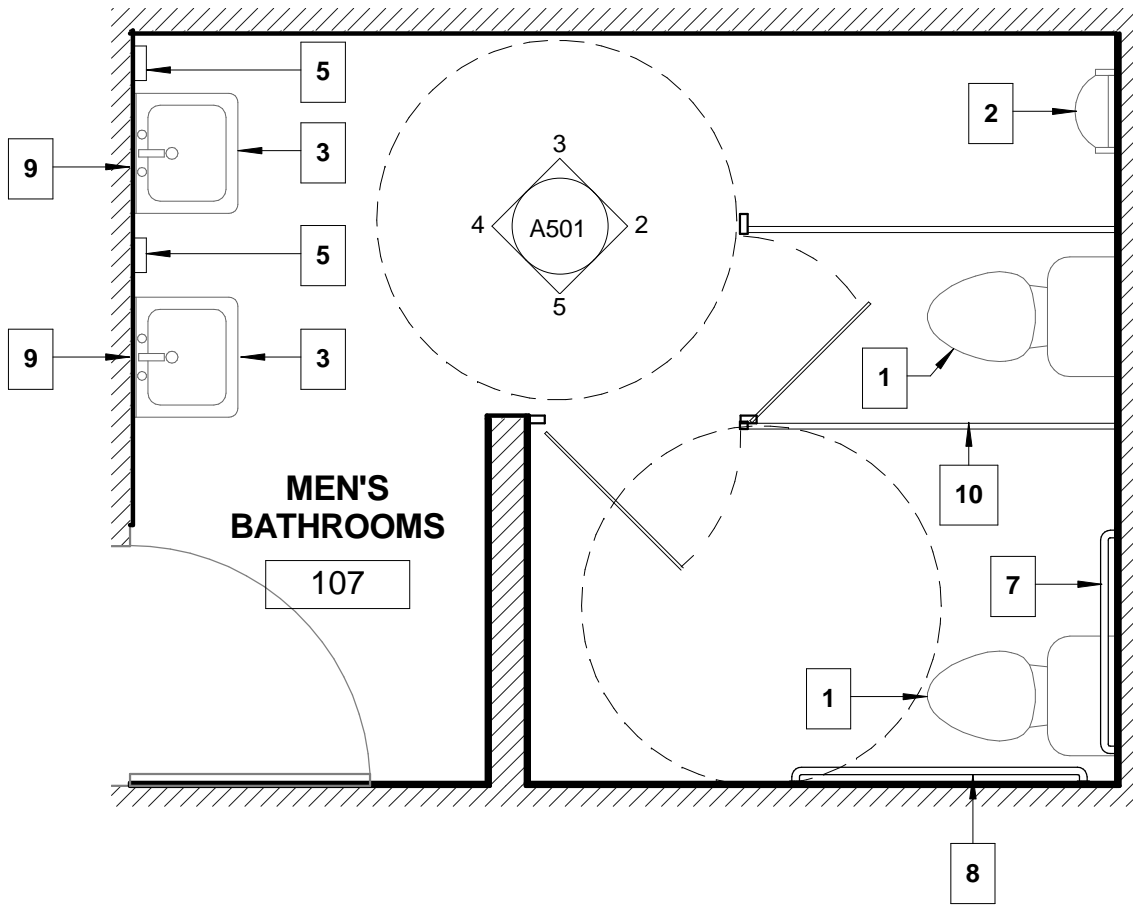
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A203

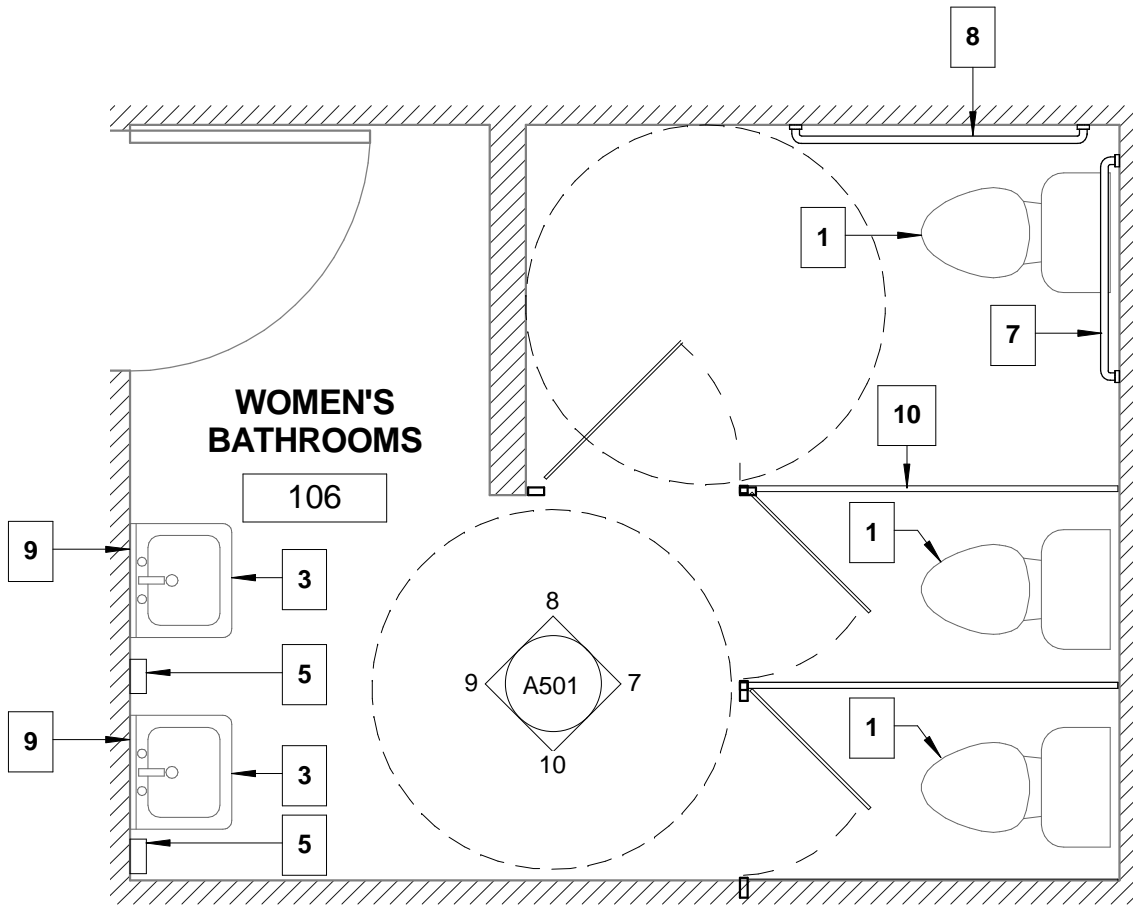
SHEET



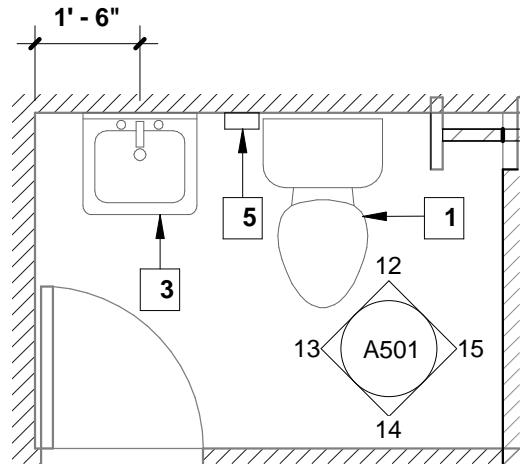




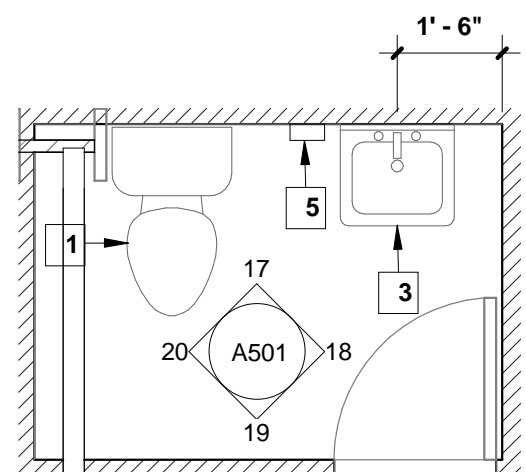
1 ENLARGED VIEW - MEN'S BATHROOMS  
3/8" = 1'-0"



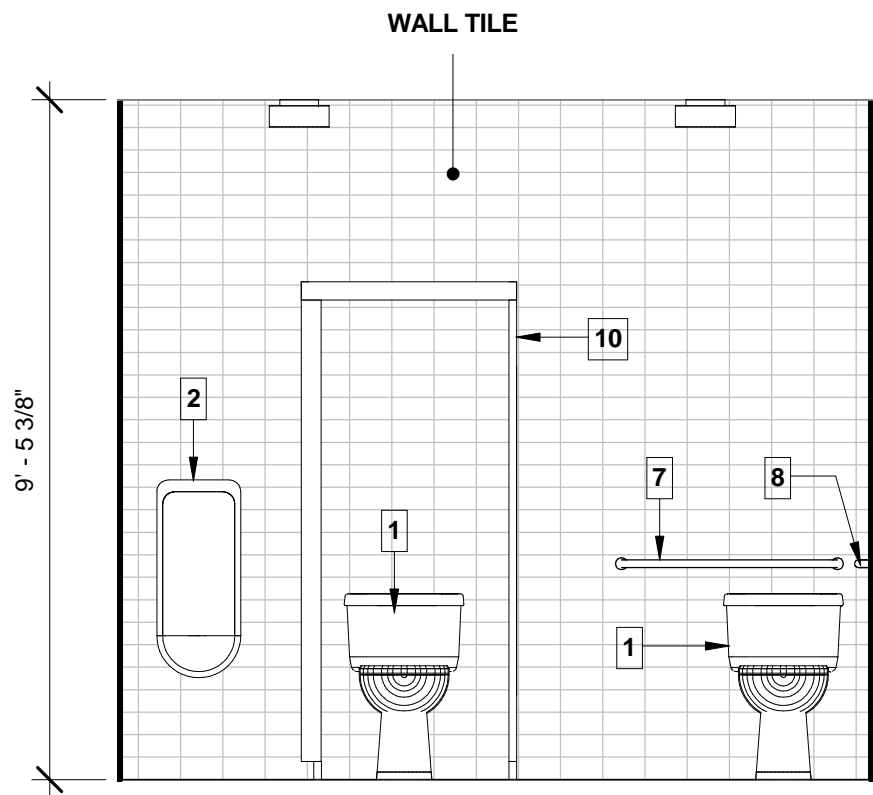
6 ENLARGED VIEW - WOMEN'S BATHROOMS  
3/8" = 1'-0"



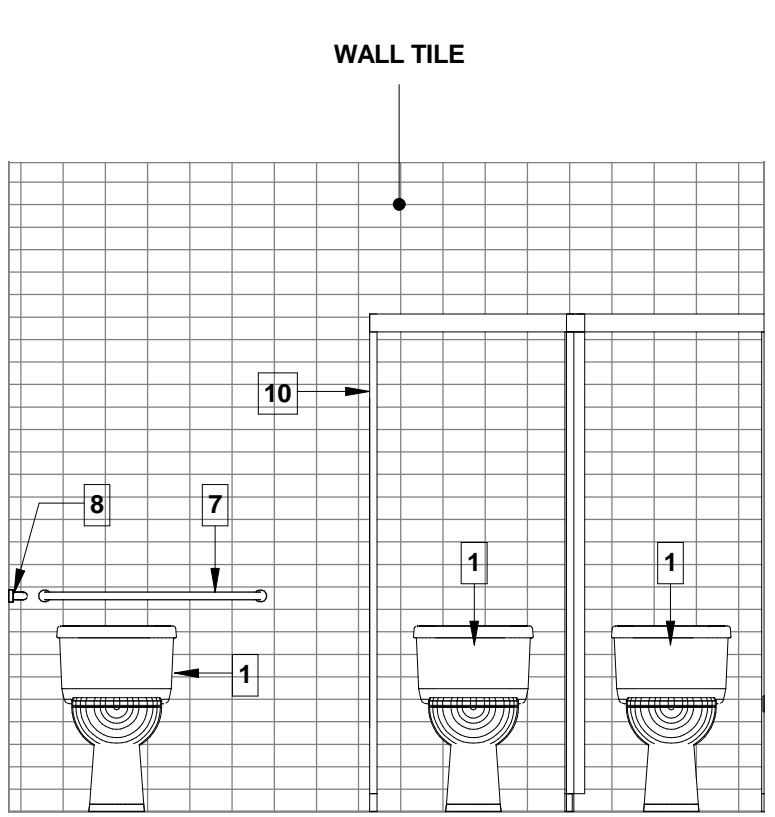
11 ENLARGED VIEW - MEN'S STAGE BATHROOMS  
3/8" = 1'-0"



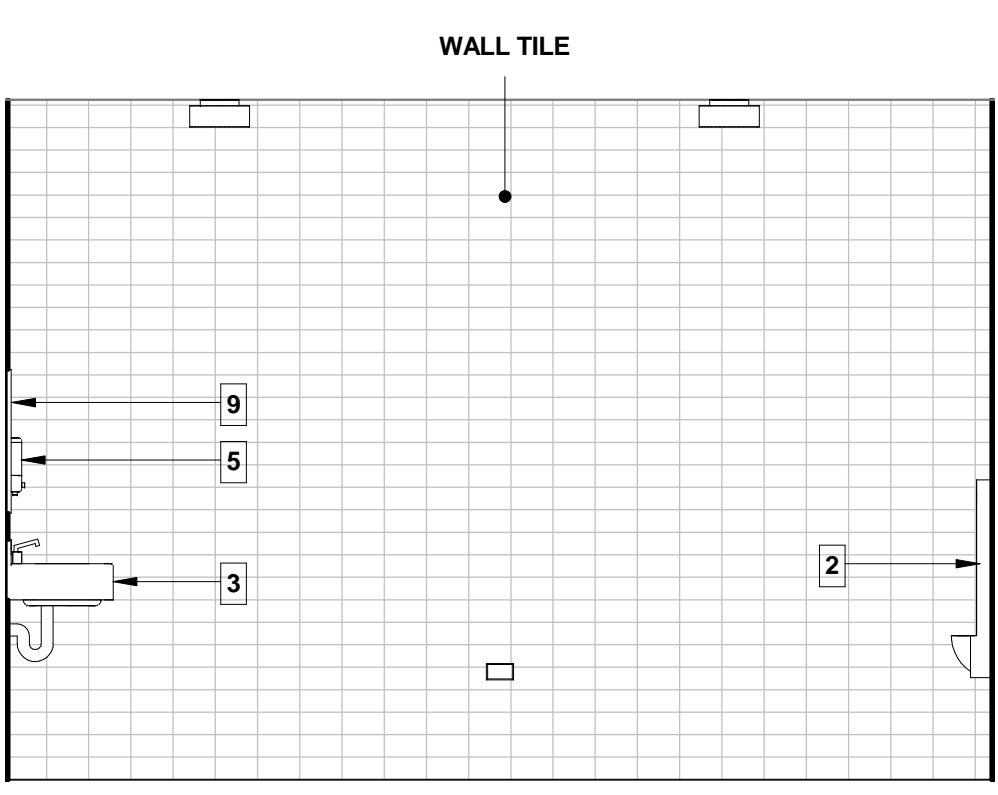
16 ENLARGED VIEW - WOMEN'S STAGE BATHROOMS  
3/8" = 1'-0"



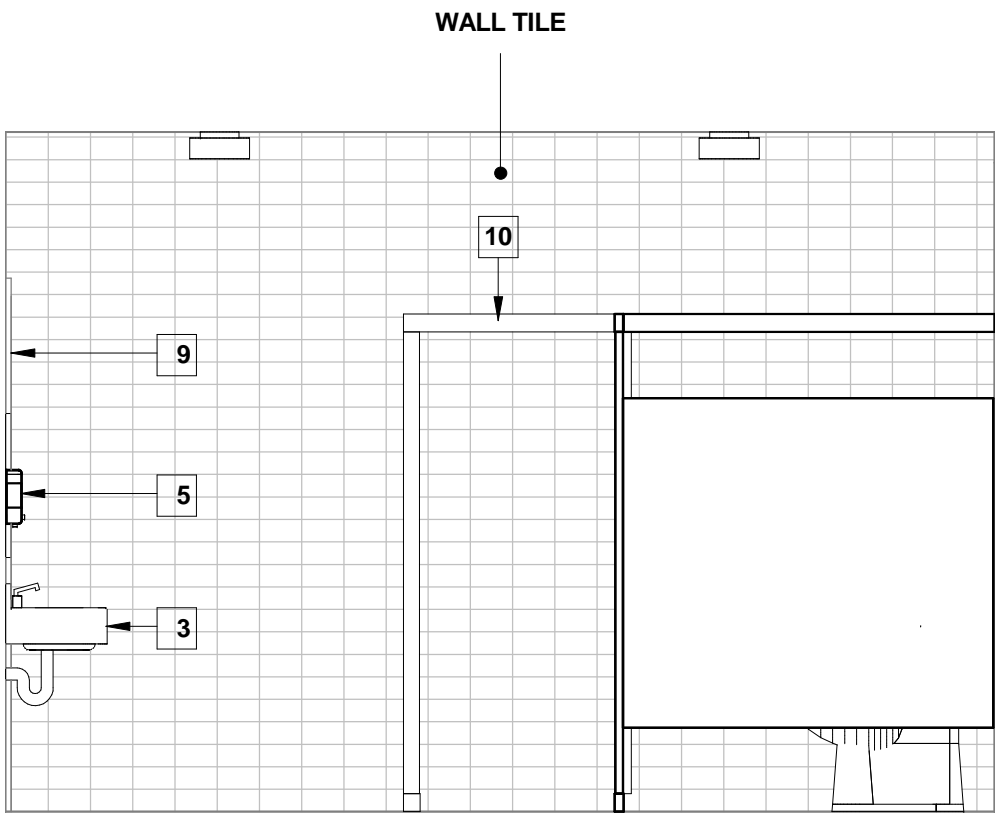
2 ELEVATION - 1 - MEN BATHROOM  
3/8" = 1'-0"



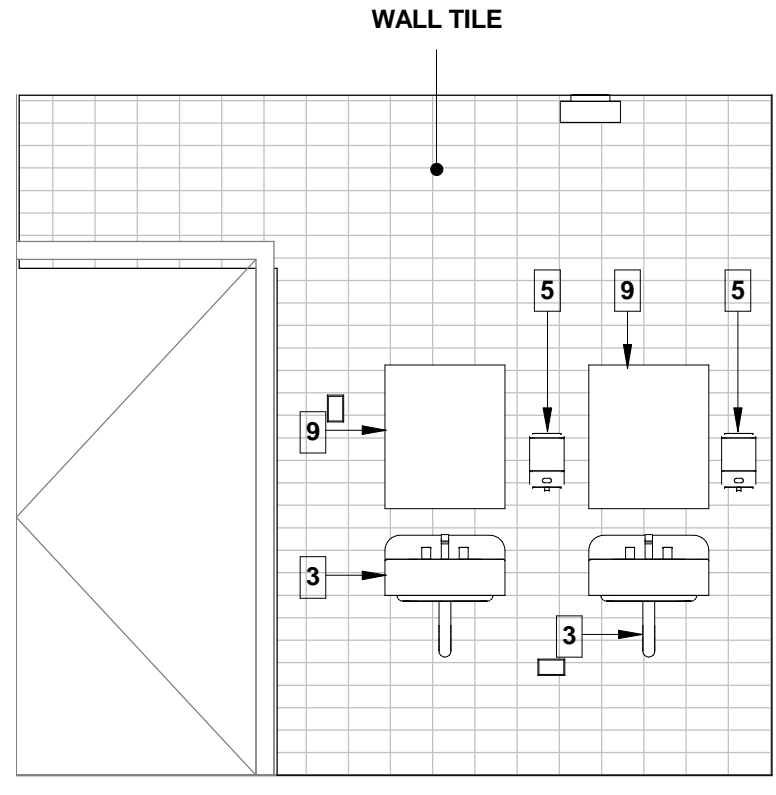
7 ELEVATION - 7 - WOMEN BATHROOM  
3/8" = 1'-0"



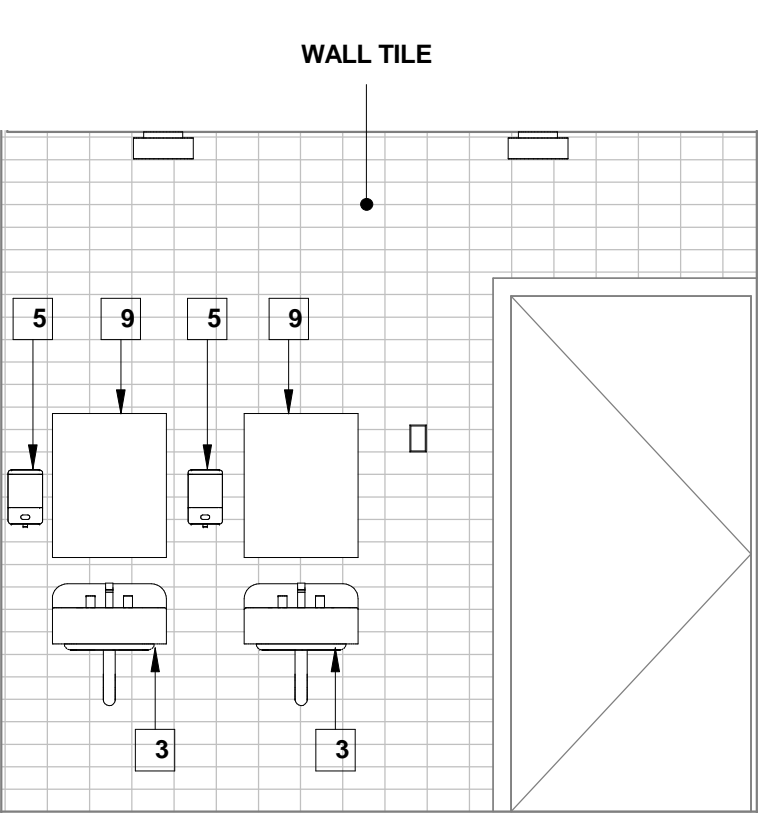
3 ELEVATION - 2 - MEN BATHROOM  
3/8" = 1'-0"



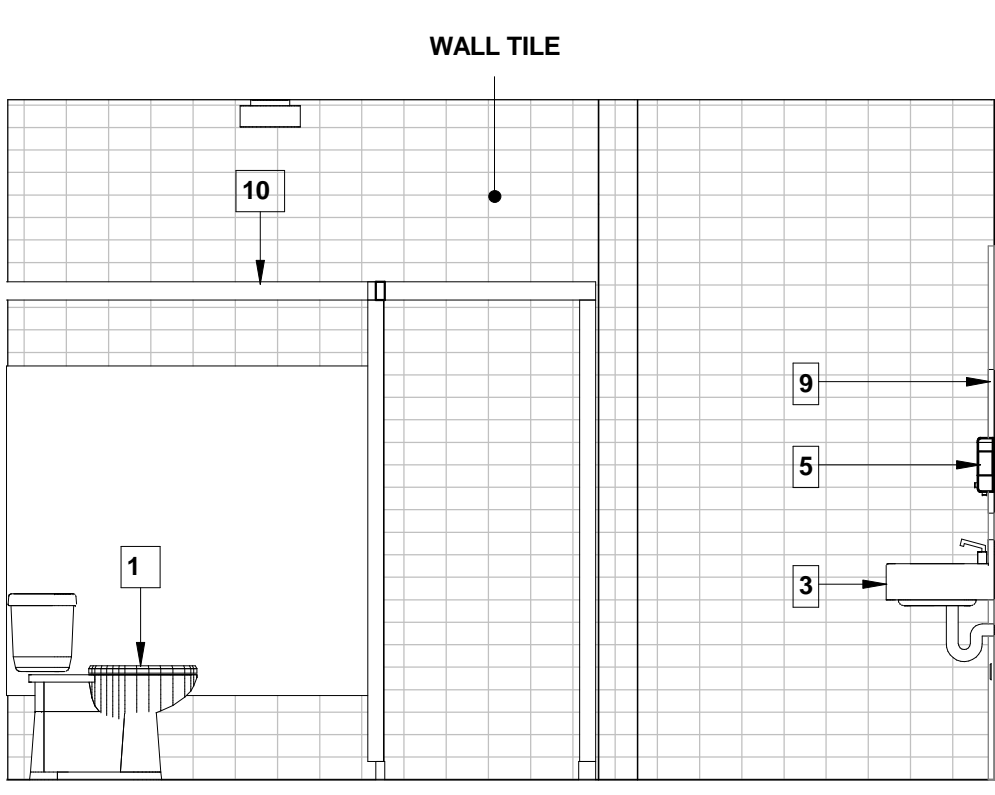
8 ELEVATION - 8 - WOMEN BATHROOM  
3/8" = 1'-0"



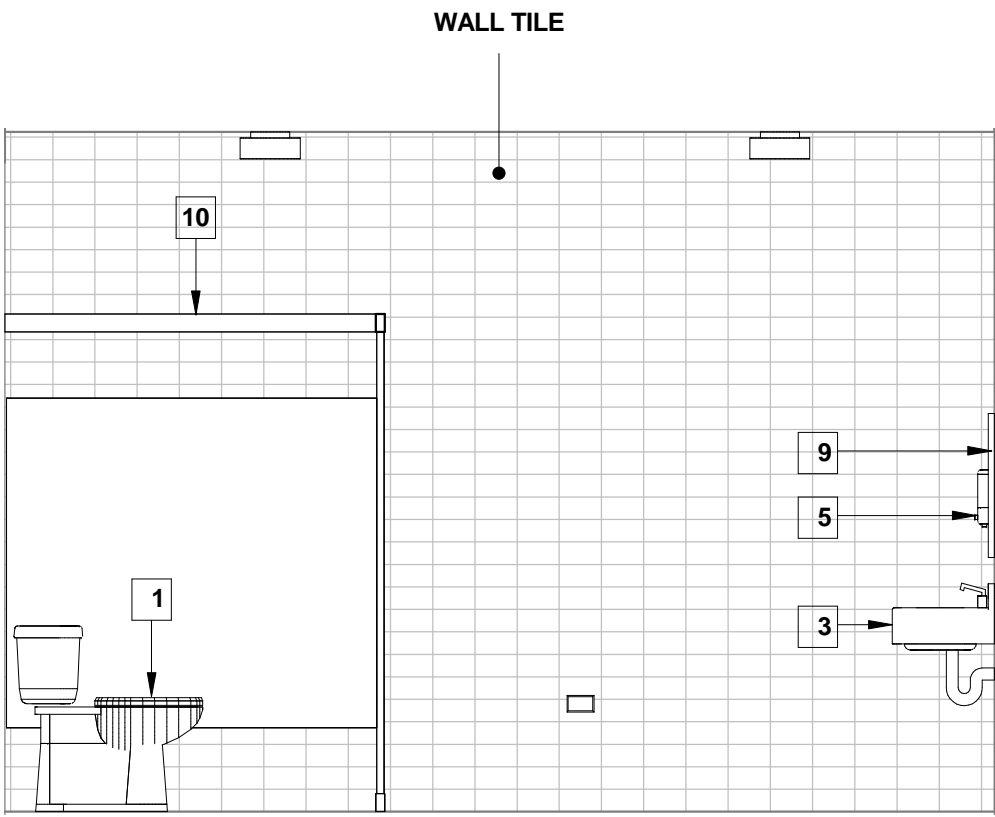
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3/8" = 1'-0"



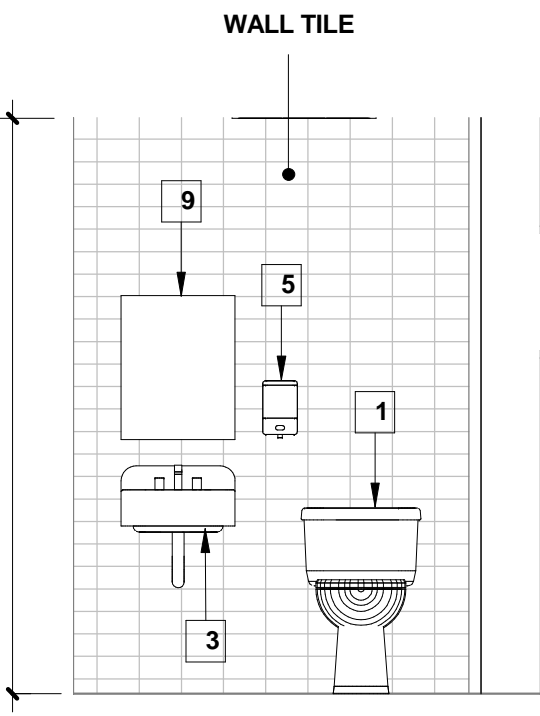
9 ELEVATION - 9 - WOMEN BATHROOM  
3/8" = 1'-0"



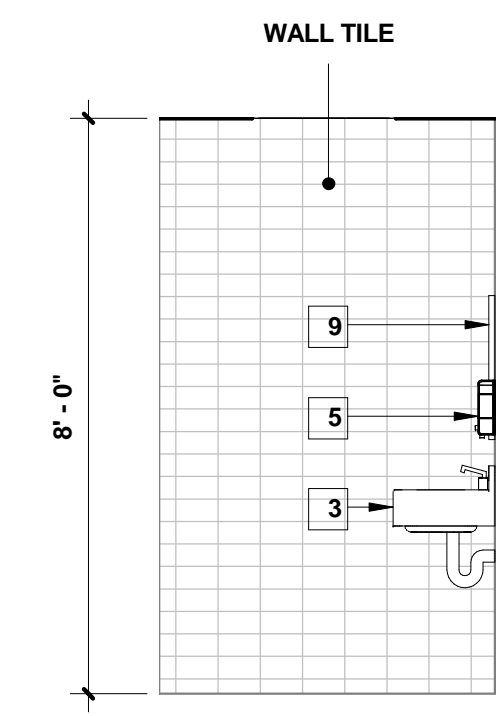
5 ELEVATION - 4 - MEN BATHROOM  
3/8" = 1'-0"



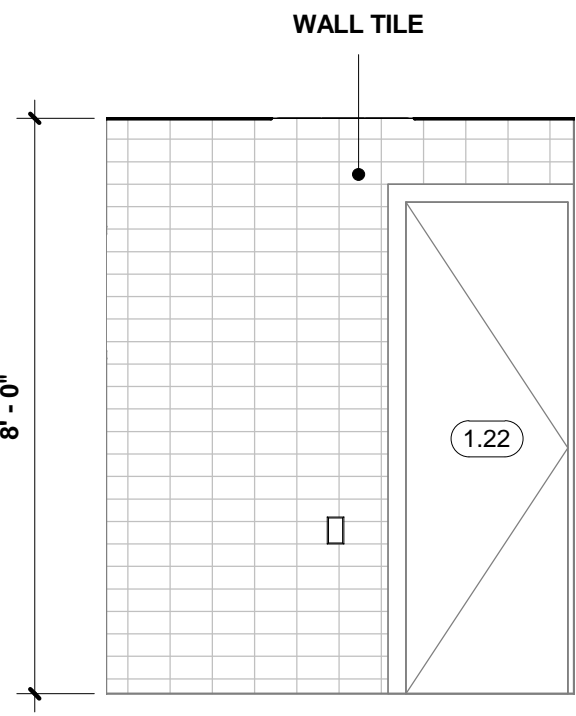
10 ELEVATION - 10 - WOMEN BATHROOM  
3/8" = 1'-0"



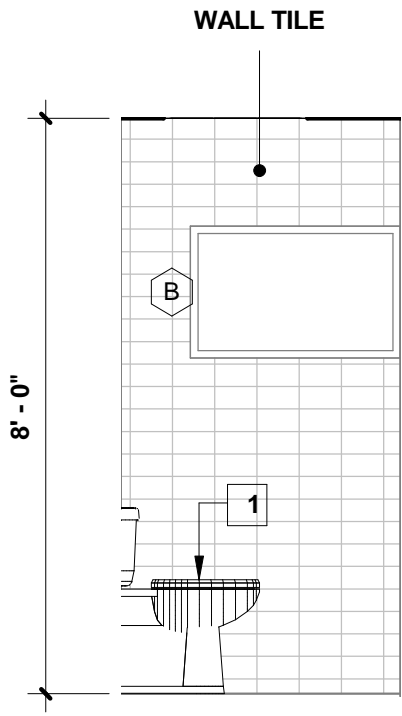
12 ELEVATION - 1 - BATH STAGE -1  
3/8" = 1'-0"



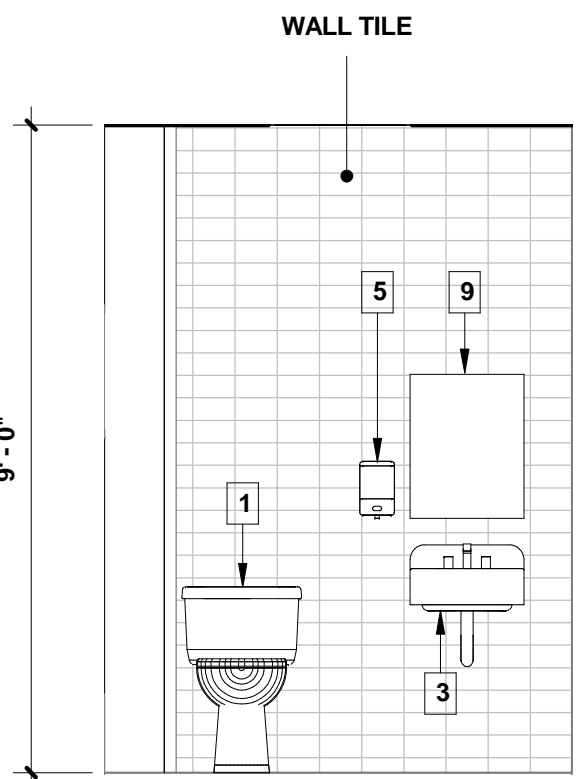
13 ELEVATION - 2 - BATH STAGE -1  
3/8" = 1'-0"



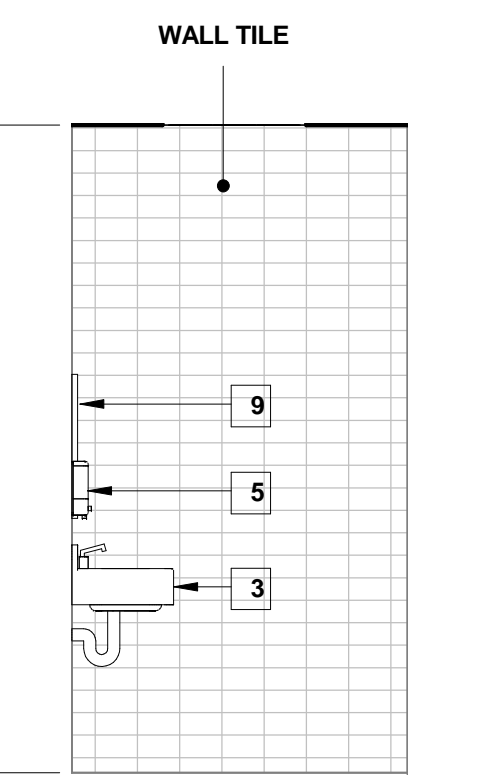
14 ELEVATION - 3 - BATH STAGE -1  
3/8" = 1'-0"



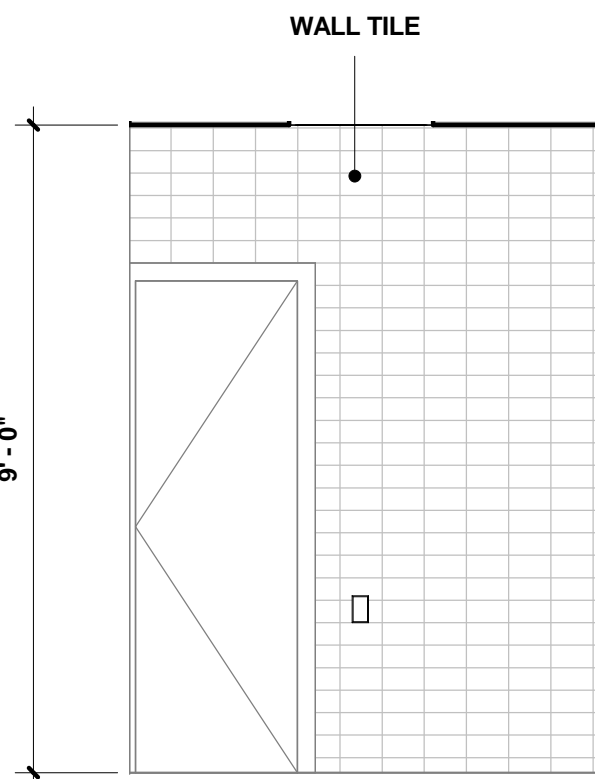
15 ELEVATION - 4 - BATH STAGE -1  
3/8" = 1'-0"



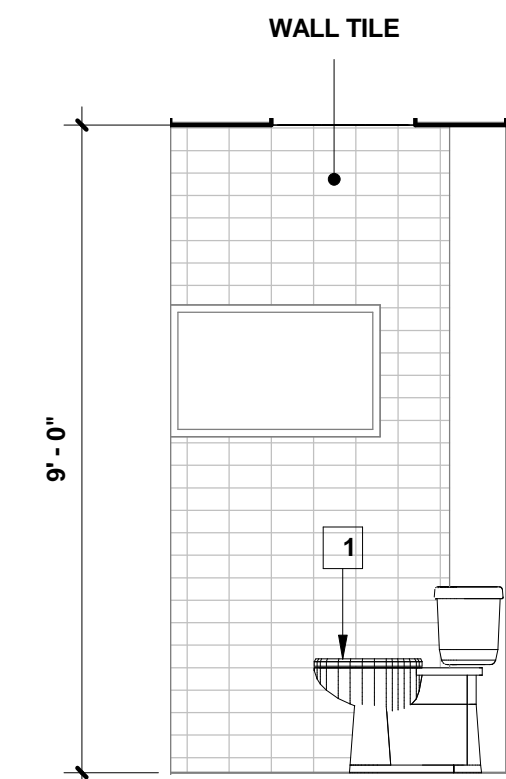
17 ELEVATION - 1 - BATH STAGE -2  
3/8" = 1'-0"



18 ELEVATION - 4 - BATH STAGE -2  
3/8" = 1'-0"



19 ELEVATION - 3 - BATH STAGE -2  
3/8" = 1'-0"



20 ELEVATION - 2 - BATH STAGE -2  
3/8" = 1'-0"

NOTES:

- THE GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR THE ARCHITECTS APPROVAL FOR ALL THE EQUIPMENT LISTED ABOVE.
- ALL BATHROOM FIXTURES TO BE REMOVED AND REPLACED. SUBSTITUTIONS MUST BE EQUAL OR SIMILAR TO THE ONES SPECIFIED ABOVE.
- ALL ITEMS SUBMITTED FOR EVALUATION SHALL COMPLY WITH THE BUY AMERICAN ACT
- THE GENERAL CONTRACTOR SHALL SUPPLY AND INSTALL AN ABOVE GROUND, 80 LBS. GREASE TRAP BY ZURN IN SNACK BAR

| FIXTURE & ACCESORY SCHEDULE |                        |  |          |   |
|-----------------------------|------------------------|--|----------|---|
| ITEM                        | DESCRIPTION            | MANUFACTURER / MODEL   | QUANTITY | NOTES   |
| 1                           | TOILET                 | AMERICAN STANDARD MODEL 3378.128   |          |   |
| 2                           | URINAL                 | AMERICAN STANDARD MODEL MAYBROOK 6581.015                                |          |   |
| 3                           | LAVATORY               | AMERICAN STANDARD MODEL 9024.004EC                                       |          | FAUCET - AMERICAN STANDARD MODEL MONTERREY 7500.175   |
| 4                           | LAVATORY               | AMERICAN STANDARD MODEL 124.024  |          | FAUCET - AMERICAN STANDARD MODEL MONTERREY 7500.175   |
| 5                           | MIRROR                 | BOBRICK BOB290-1830  |          |   |
| 6                           | MIRROR - ADA           | BOBRICK BOB293-1830  |          |   |
| 7                           | GRAB BAR 36"           | BOBRICK B-5806 x 36 36"  |          |   |
| 8                           | GRAB BAR 42"           | B-5806 x 42  |          |   |
| 9                           | SOAP DISPENSER         | BOBRICK B2111  |          |   |
| 10                          | PARTITION              | BOBRICK DURALINE SERIES MODEL 1182                                       |          | OVERHEAD BRACING MOUNTING CONFIGURATION AT 85° A.F.F. / "BRUSHED ALUMINUM 0328 FH (SUBMIT SHOP DWG) |
| 11                          | TOILET PAPER DISPENSER | BOBRICK B7685  |          |   |
| 12                          | TRASH RECEPTACLE       | BOBRICK B277   |          |   |
| 13                          | KITCHEN SINK           | 33X22 Top Mount Quartz Double Bowl - ELKAY SHOCK (BLACK)                 |          |   |
| 14                          | SINK                   | DELUCA DELTA - BLACK KITCHEN FAUCET W. SOAP DISPENSER                    |          |   |
| 15                          | SHOWER HEAD            | MEDITERRANO MESSINA SHOWER   |          |   |
| 16                          | LOCKERS                | BRADLEY LENOX LOCKER 1 TIER 12X12X72 STD DOOR CHARCOAL GRAY (1 PER COL.) |          |   |
| 17                          | FLOOR DRAIN            | BRADLEY LENOX LOCKER 1 TIER 12X12X72 STD DOOR CHARCOAL GRAY (1 PER COL.) |          |   |
| 18                          | BENCH                  | LYON LOCKER BENCH HARDWOOD TOP W. STANDARD GRAY PEDESTALS 60X9.5X18H     |          |   |

EM ARCHITECTS

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ARCHITECT:

CONSULTANT:

CERTIFIED BY:

REVISION / DATE / DESCRIPTION

PROJECT

SANTA ISABEL MULTIPURPOSE BUILDING  
SAN FRANCISCO  
ROBLEDO (PR-CRP-001153)  
SANTA ISABEL, PUERTO RICO

CLIENT

MUNICIPIO DE SANTA ISABEL

PROJECT #:

SCALE: As indicated

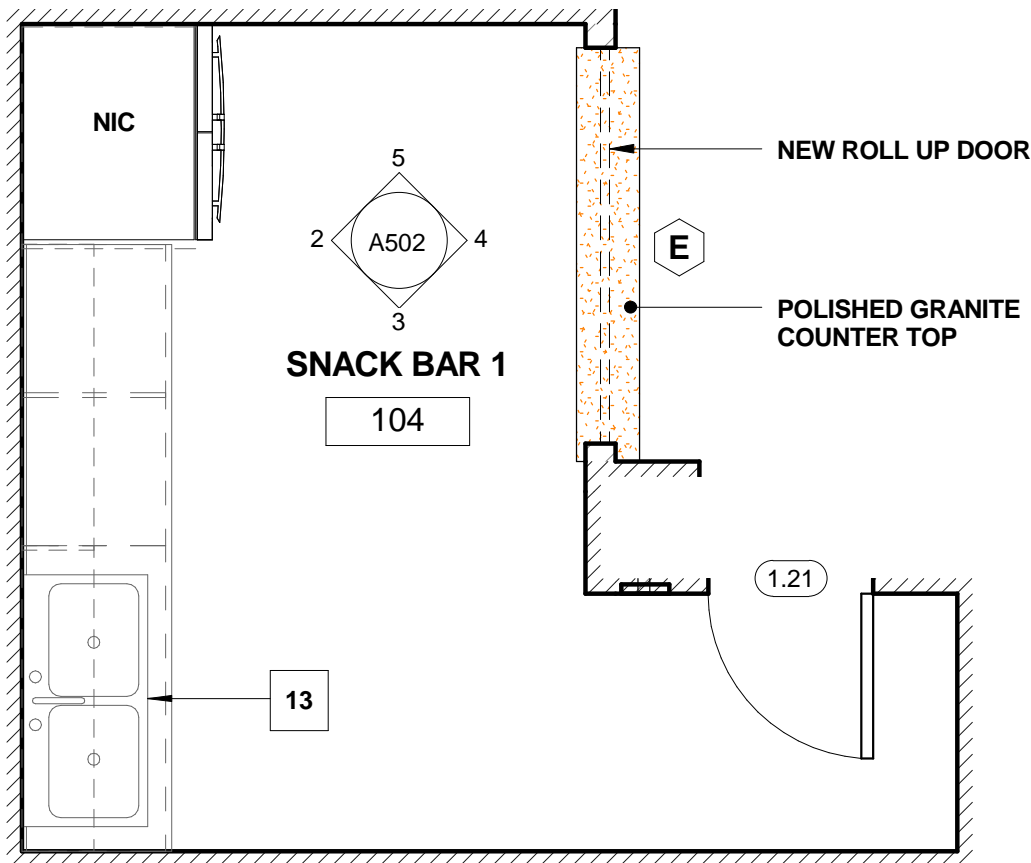
DRAWN BY: Author

ENLARGED VIEW - BATHROOMS

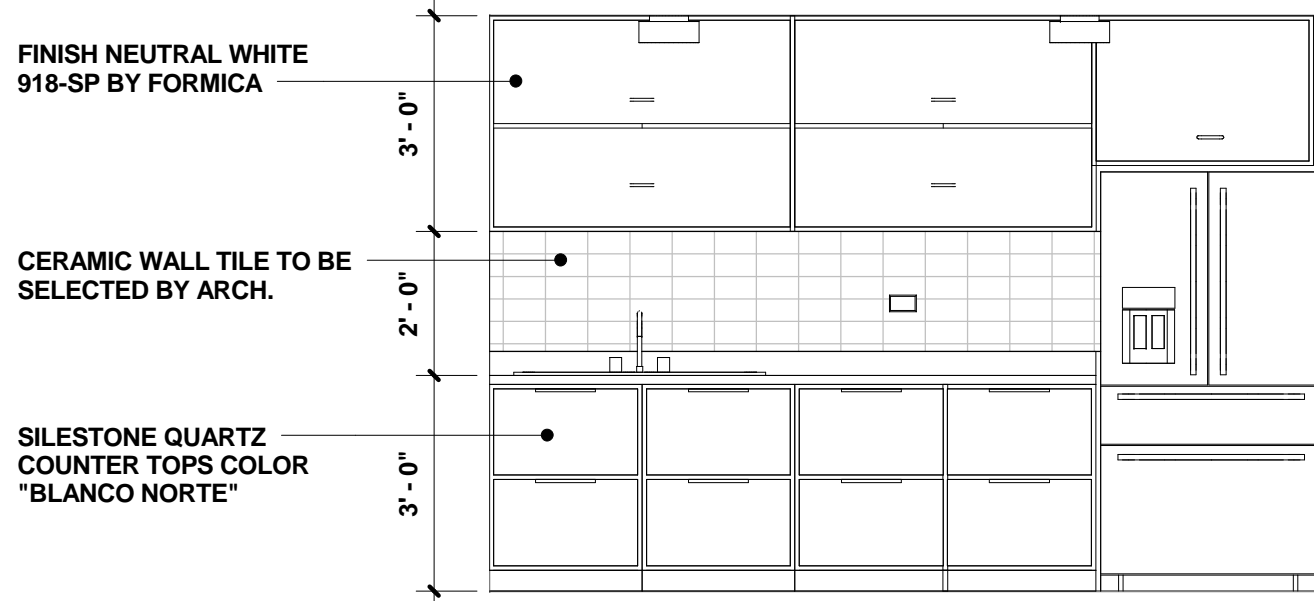
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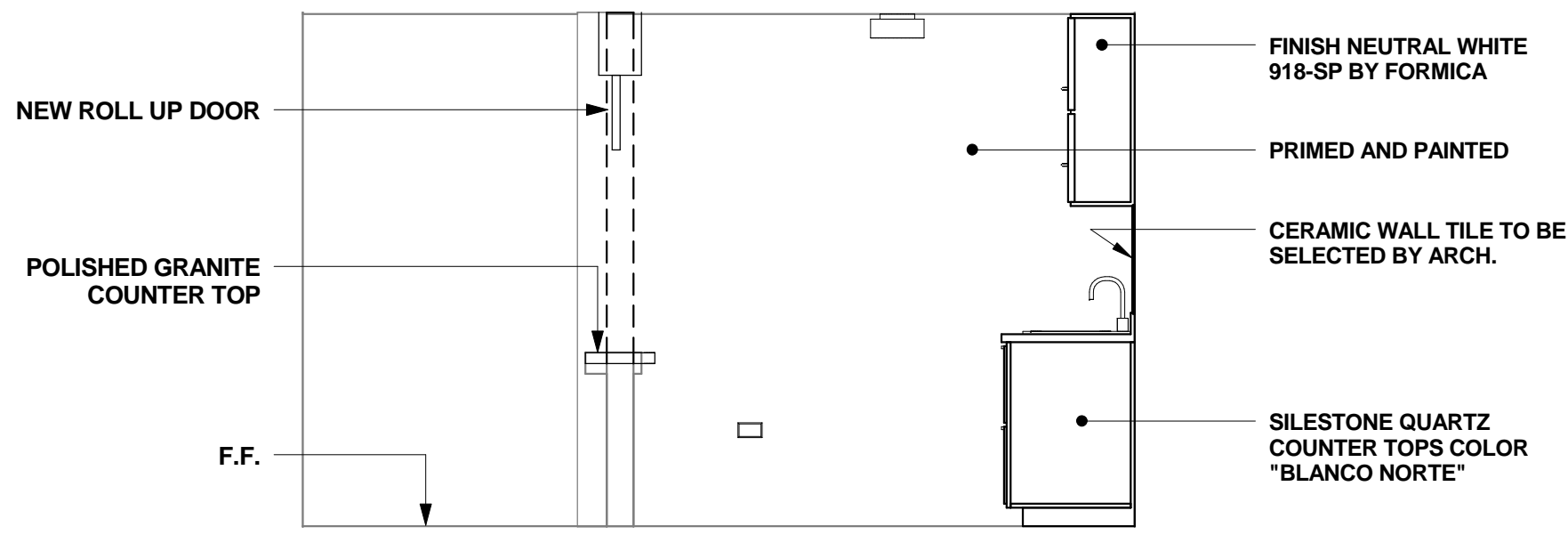
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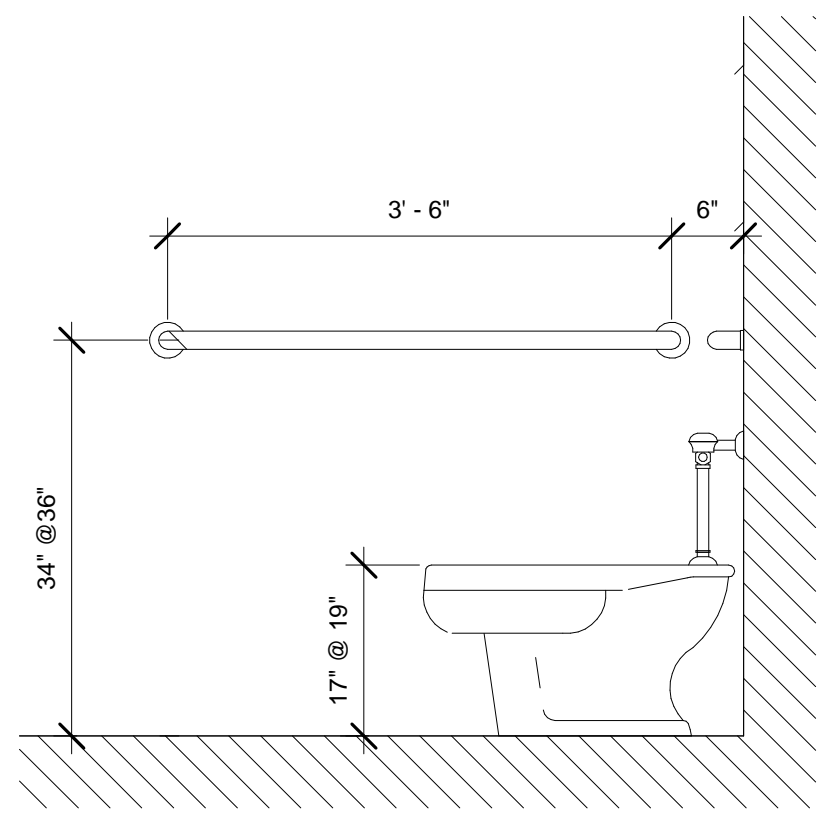
1 ENLARGED VIEW - SNACK BAR  
3/8" = 1'-0"



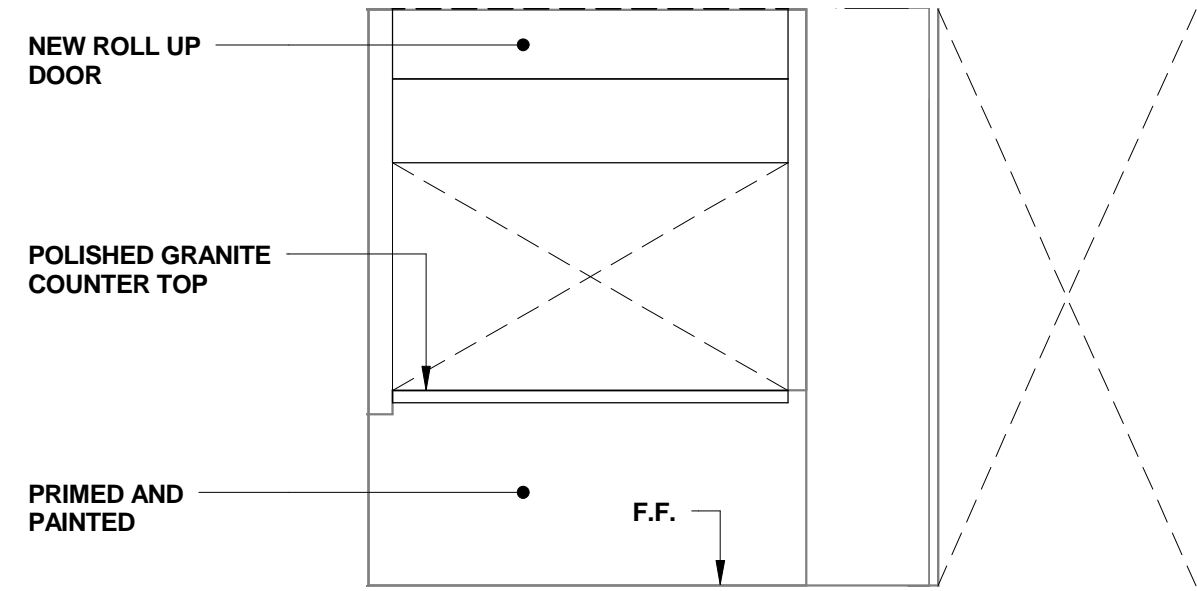
2 ELEVATION - 1 - SNACK BAR  
3/8" = 1'-0"



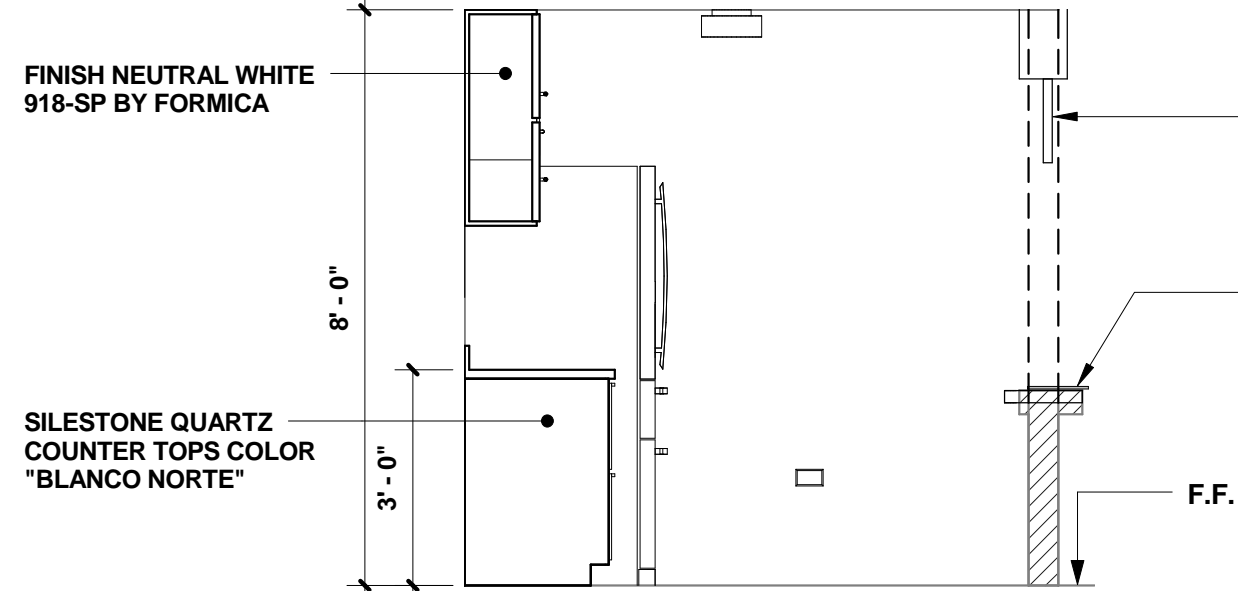
3 ELEVATION - 2 - SNACK BAR  
3/8" = 1'-0"



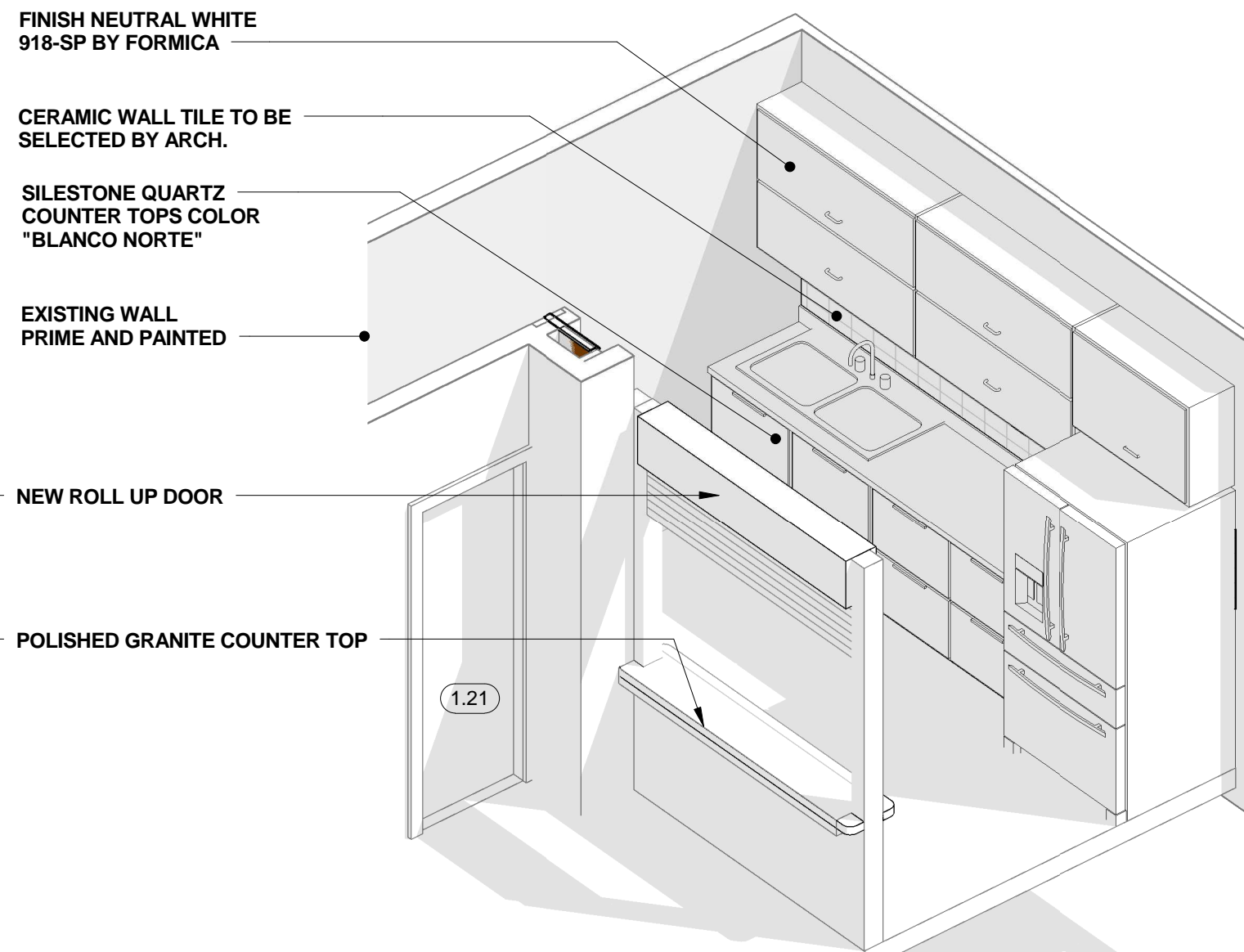
7 GRAB BAR DETAIL  
3/4" = 1'-0"



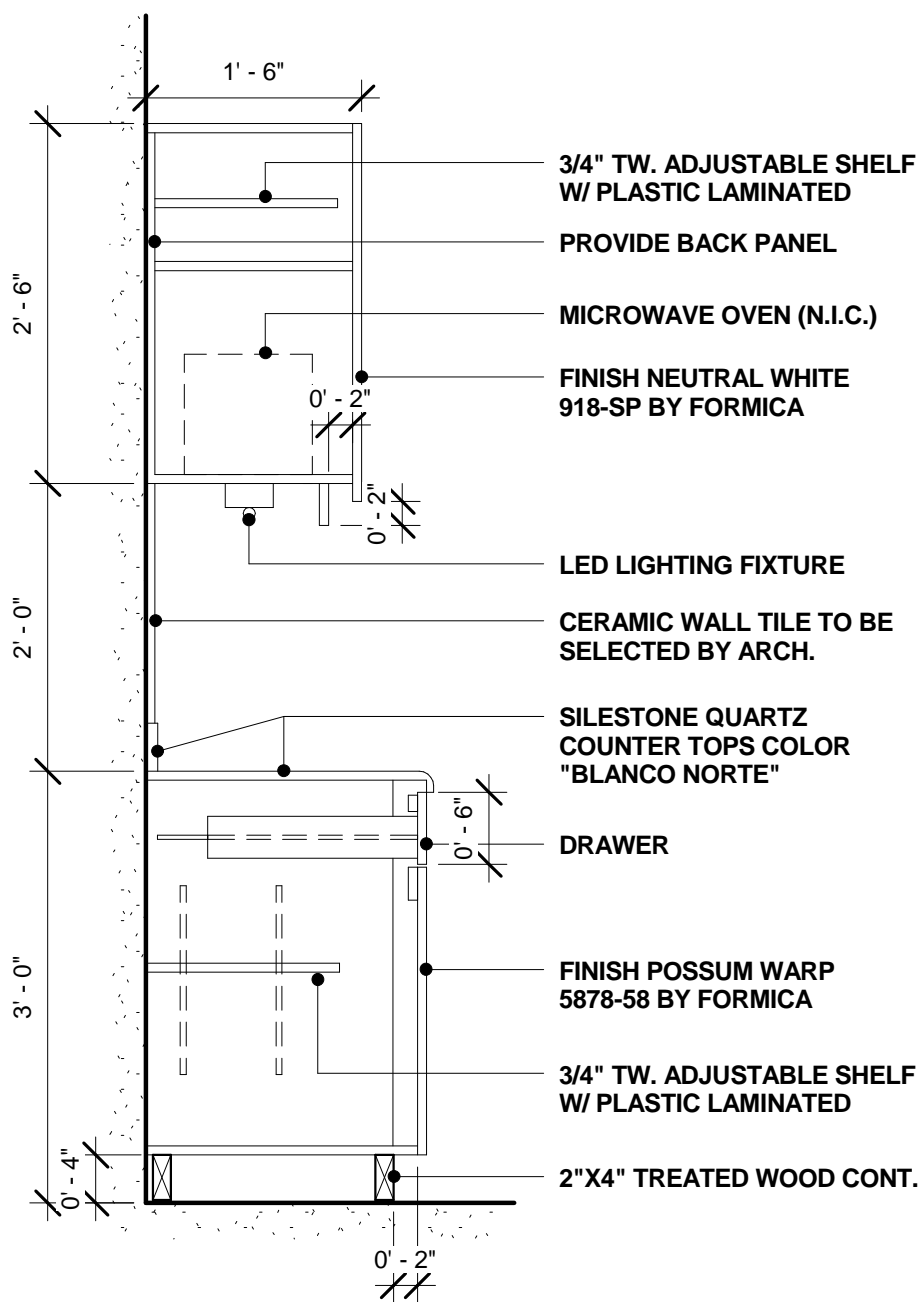
4 ELEVATION - 3 - SNACK BAR  
3/8" = 1'-0"



5 ELEVATION - 4 - SNACK BAR  
3/8" = 1'-0"

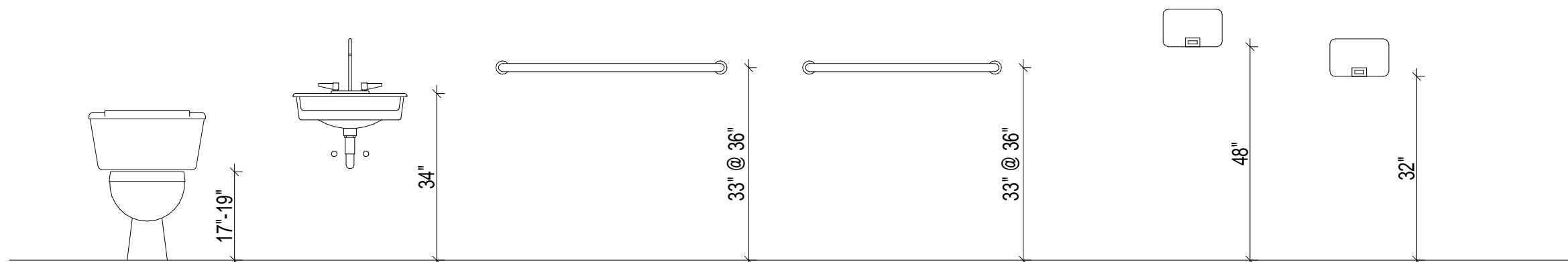


6 3D VIEW - SNACK BAR

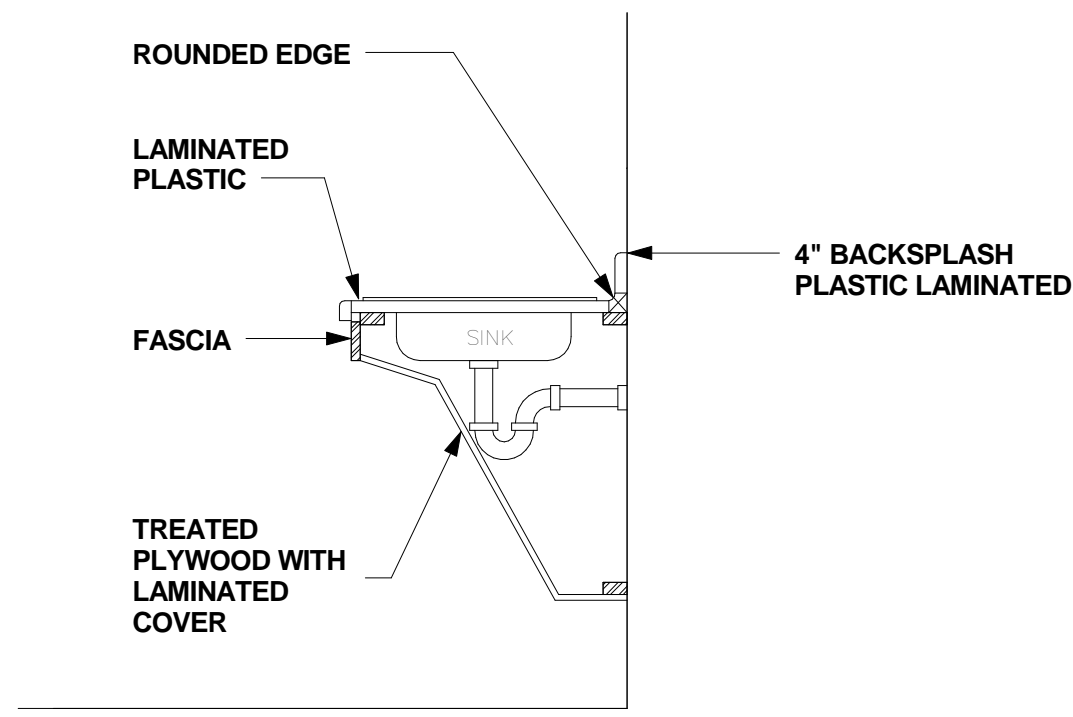


8 KITCHEN CABINET DETAIL  
3/4" = 1'-0"

- CABINET NOTES:
1. THE CABINET WORK SHALL INCLUDE THE CONSTRUCTION AND INSTALLATION OF BASE CABINET, SHELVING AND ACCESSORIES.
  2. ANY CHANGE IN THE CONSTRUCTION AND INSTALLATION CABINET HAS TO BE APPROVED BY PURCHASING OFFICER.
  3. CABINET SHALL COMPLY WITH ANSI A 161.1-1973
  4. THE CONTRACTOR SHALL BE RESPONSIBLE TO SUPPLY ALL ACCESSORIES.
  5. NO SLIDING DOOR SHALL BE USED - SWINGING DOOR SHALL BE USED WITH MAGNETIC CATCHES AND CONCEALED HINGES.
  6. INSTALL METALLIC DRAWER GUIDES ON BOTH SIDES. DO NOT USE SINGLE AND CANTERED GUIDES.
  7. PROVIDE DRAWERS AS SHOWN ON DRAWINGS.
  8. INTERIOR FINISHES SHALL BE OF PLYWOOD GRADE "B" VANNER OR BETTER AS SPECIFIED BY AMERICAN PLYWOOD ASSOCIATION.
  9. ALL INTERIOR CABINET SURFACES SHALL BE FINISHED WITH AT LEAST TWO COAST OF CLEAR LACQUER OR VARNISH, INCLUDING THE INTERIOR SURFACE OF THE DOORS AND THE BOTTOM OF DRAWERS, INSIDE & OUTSIDE. INTERIOR SHALL BE THOSE THAT ARE NOT IN VIEW WHEN CABINET IS CLOSED.
  10. ALL EXTERIOR CABINET SURFACES SHALL BE OF PLASTIC LAMINATED UNLESS OTHERWISE NOTED.
  11. ALL CABINET DOORS SHALL BE LAMINATED ON FRONT AND THE FOUR EDGES. THE INTERIOR SURFACE SHALL BE FINISHED WITH AT LEAST 2 COATS OF CLEAR LACQUER OR VARNISH.
  12. ALL WOOD MATERIAL (SOLID OR PLYWOOD) SHALL BE PRESSURE TREATED AND KILN DRIED IN ACCORDANCE WITH FEDERAL SPECIFICATIONS TT-W-570 AND TT-W-572
  13. THE CONTRACTOR SHALL SUBMIT SHOP DRAWING FOR APPROVAL.
  14. THE CONTRACTOR SHALL SUBMIT MANUFACTURER'S STANDARD COLOR SAMPLES TO MATCH.
  15. CABINET DOOR AND DRAWER'S PULL SHALL BE EQUAL TO CABINET PULLS MODEL HC421-2/1/4 WIDTH, ANODIZED SATIN CLEAR FINISH, AS MANUFACTURED BY "FORM AND SURFACES COMPANY" AND DISTRIBUTED IN P.R. BY "WORLDWIDE IMPEX CORPORATION" (787) 767-2226



BATHROOM EQUIPMENT INSTALL  
HEIGHTS  
1/2" = 1'-0"



9 ADA CABINET DETAIL  
3/4" = 1'-0"

ARCHITECT:

CONSULTANT:

CERTIFIED BY:

REVISION / DATE / DESCRIPTION

PROJECT  
SANTA ISABEL MULTIPURPOSE BUILDING  
SAN FRANCISCO  
ROBLEDO (PR-CRP-001153)  
SANTA ISABEL, PUERTO RICO

CLIENT  
MUNICIPIO DE SANTA ISABEL

PROJECT #  
SCALE: As indicated  
DRAWN BY: Author

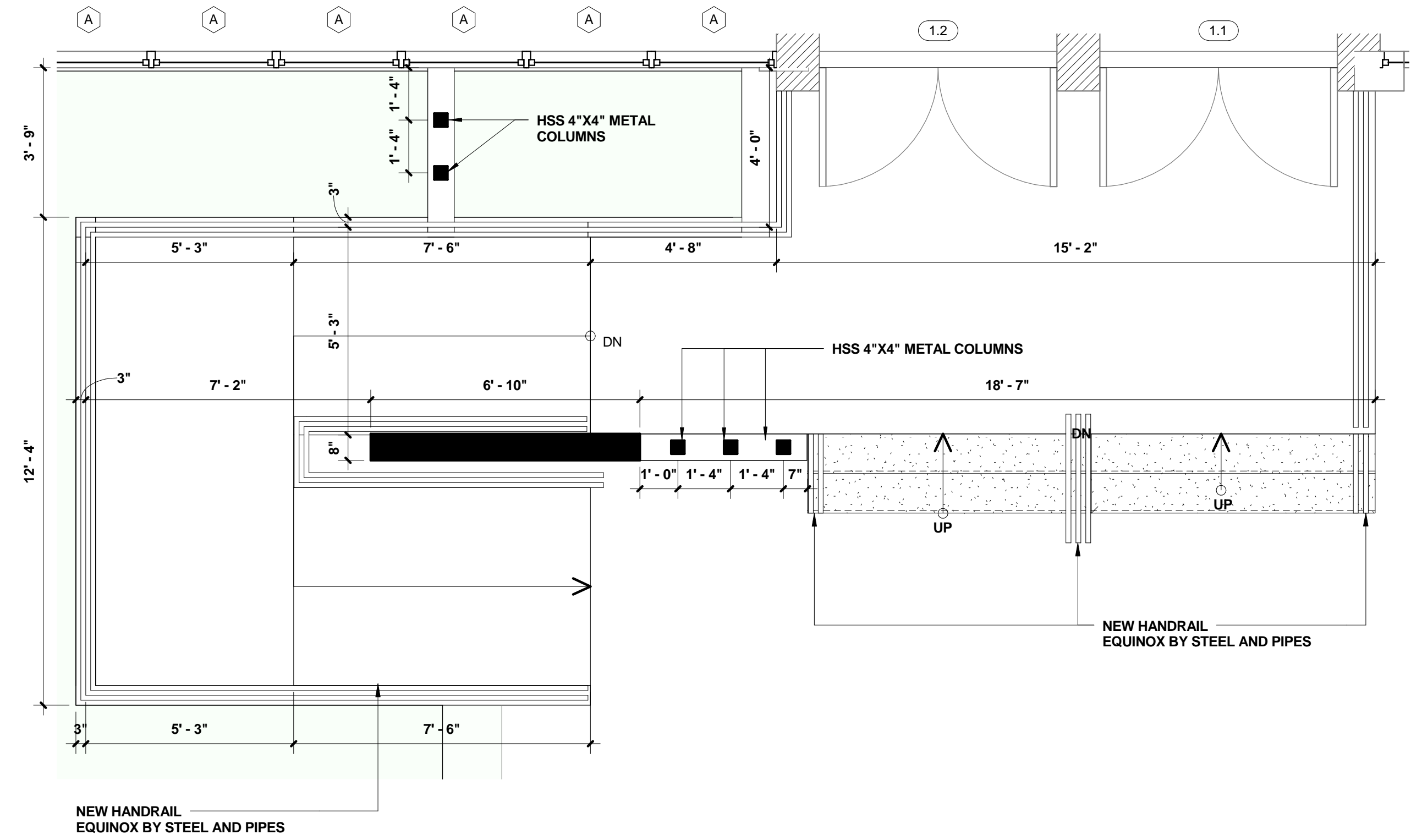
ENLARGED VIEW -  
SNACK BAR

TITLE

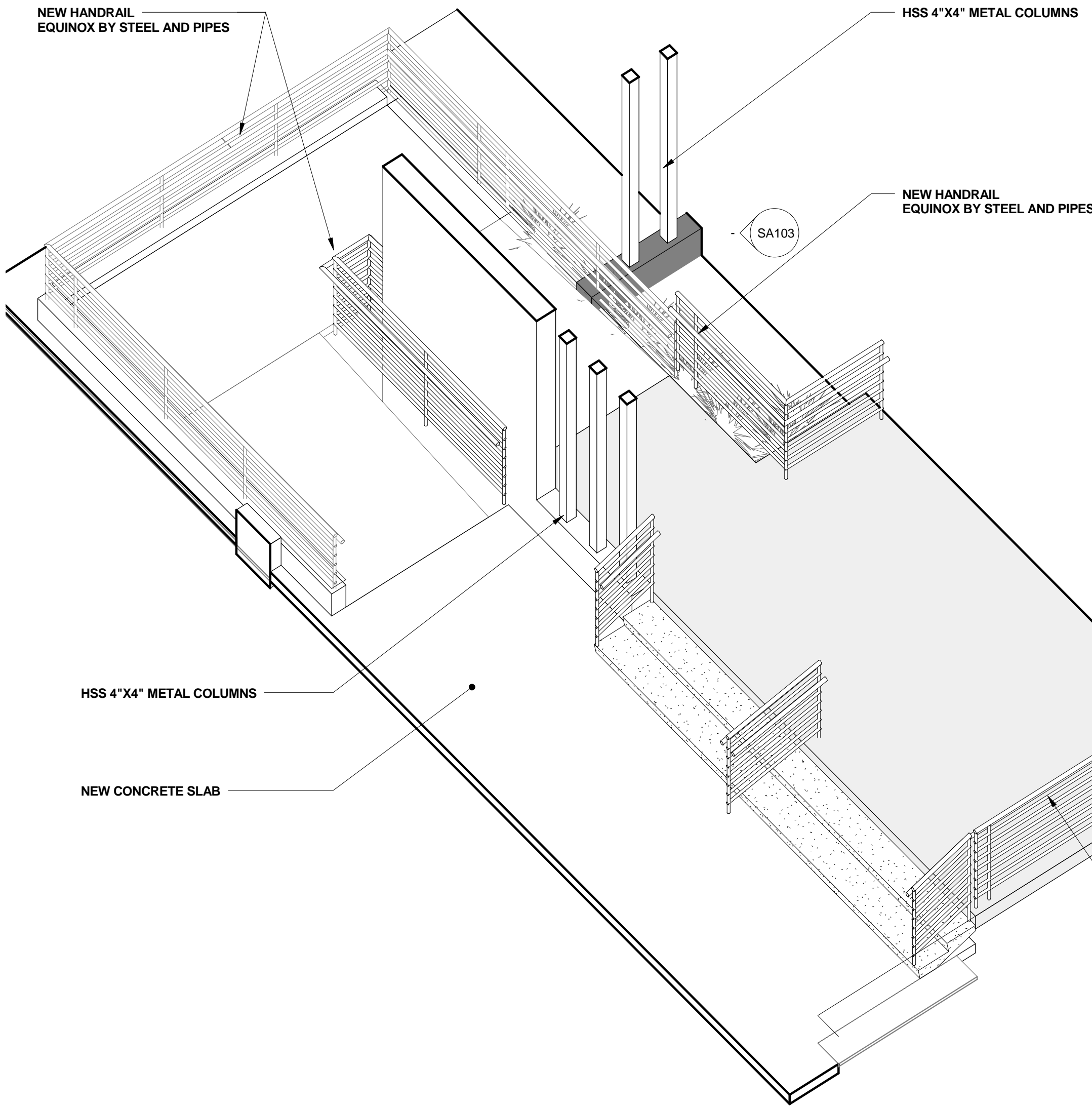
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SHEET

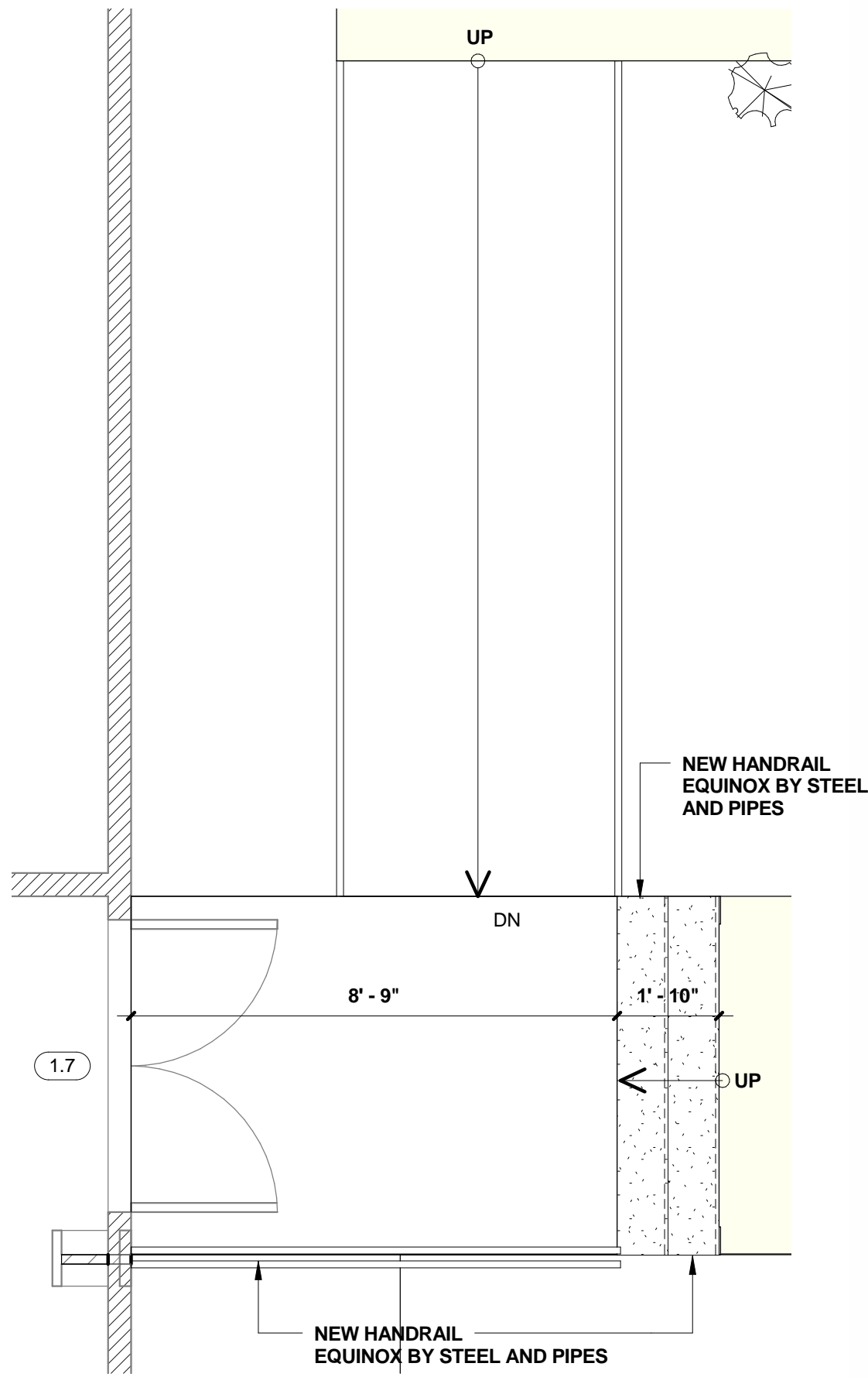




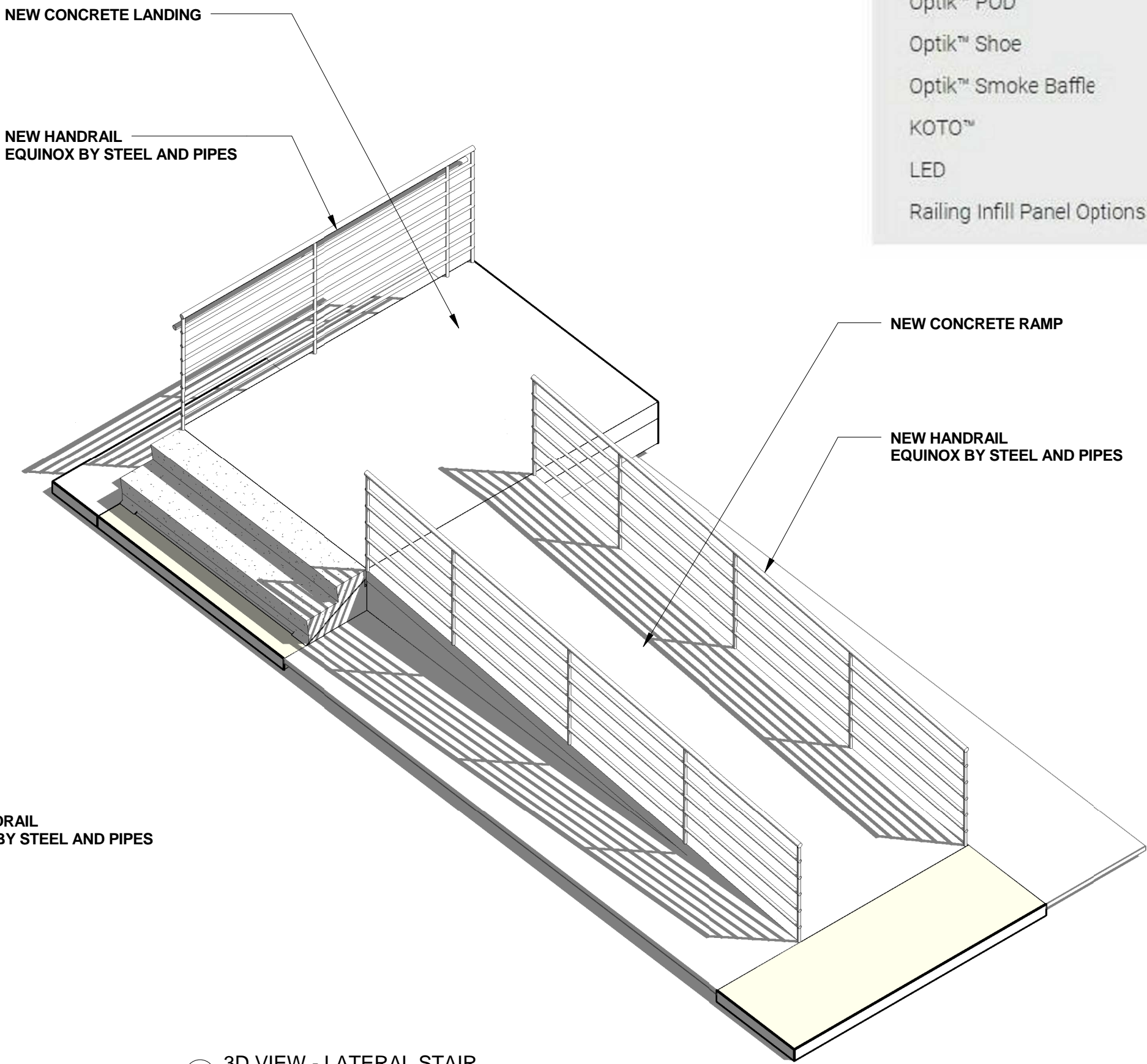
1 ENLARGED VIEW - MAIN ENTRANCE  
3/8" = 1'-0"



2 3D VIEW - MAIN ENTRANCE



3 ENLARGED VIEW - LATERAL STAIR  
3/8" = 1'-0"



4 3D VIEW - LATERAL STAIR



## SUPERGRIT® SAFETY TREADS

### SUPERGRIT® TREADS PROVIDE:

A heat-treated, corrosion resistant, extruded aluminum base with satin lacquered finish. The use of diamond hard aluminum oxide in the filler assures long tread life under heavy pedestrian traffic use. Supergrit® is appropriate for both inside and outside use.

### SUPERGRIT® FEATURES:

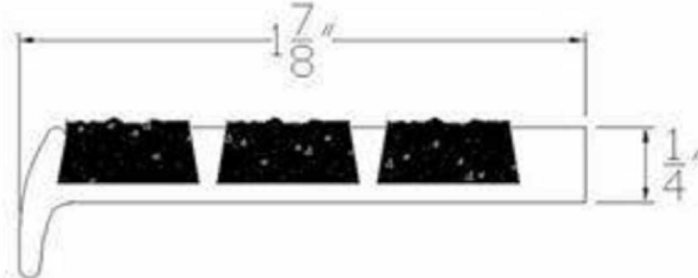
- Extruded aluminum base - abrasive filler
- Lengths to order - up to 12'0" in one piece
- Lengths over maximum to be made in equal sections
- Non-combustible
- High content of aluminum oxide abrasive
- 11 standard colors - colors extend throughout filler
- Protective tape available at additional cost
- Special sealant for wood or saltwater applications available at additional cost

### SUPERGRIT® SPECIFICATION:

- Provide Supergrit® type 121 safety nosings as manufactured by Wooster Products Inc. for interior and exterior stairs.
- Tread base shall be type 6063-T5 extruded aluminum.
- Anti-slip filler shall contain not less than 65% virgin grain Aluminum Oxide (Al<sub>2</sub>O<sub>3</sub>) abrasive.
- Treads shall be nonflammable and noncombustible as tested under Federal Test Method Standard No. 501a. Method 6411.
- Type of anchor shall be specified.
- Treads may terminate 4" from ends of steps for ease of cleaning or may be full length of steps less 1/8" clearance.
- Color shall extend uniformly throughout the filler; black color will be furnished if no other color is specified.
- Protective tape available upon request, at an extra cost. Protective tape should be removed as soon as possible once installed.
- Nosings shall finish flush with the top of the traffic surface.



Type 121



1 7/8" wide, 1/4" thick  
DRAWING NOT TO SCALE  
Maximum length is 12'0".

The type 121 is available with the following types of anchors: Tapcons, Wood Screws, Machine Screws, Screws & Expansion Shields

## Railing Systems

[Back to Railing Systems](#)

## inox™

The inox railing system is constructed with mechanical threaded connections to ensure an exact, precise and secure fitting. All railings are fully assembled in our factory and then deconstructed into fully assembled sections to ensure the most efficient installation.

## inox Railing Materials

High quality stainless steel either AISI 304 or 316 depending on the environmental conditions. Finishes are 240 grain and bead blasted. Railings are 1-1/2" and 2-1/2" stainless steel or wood of your choice with optional LED. Posts are constructed from open pairs of stainless steel true bar.

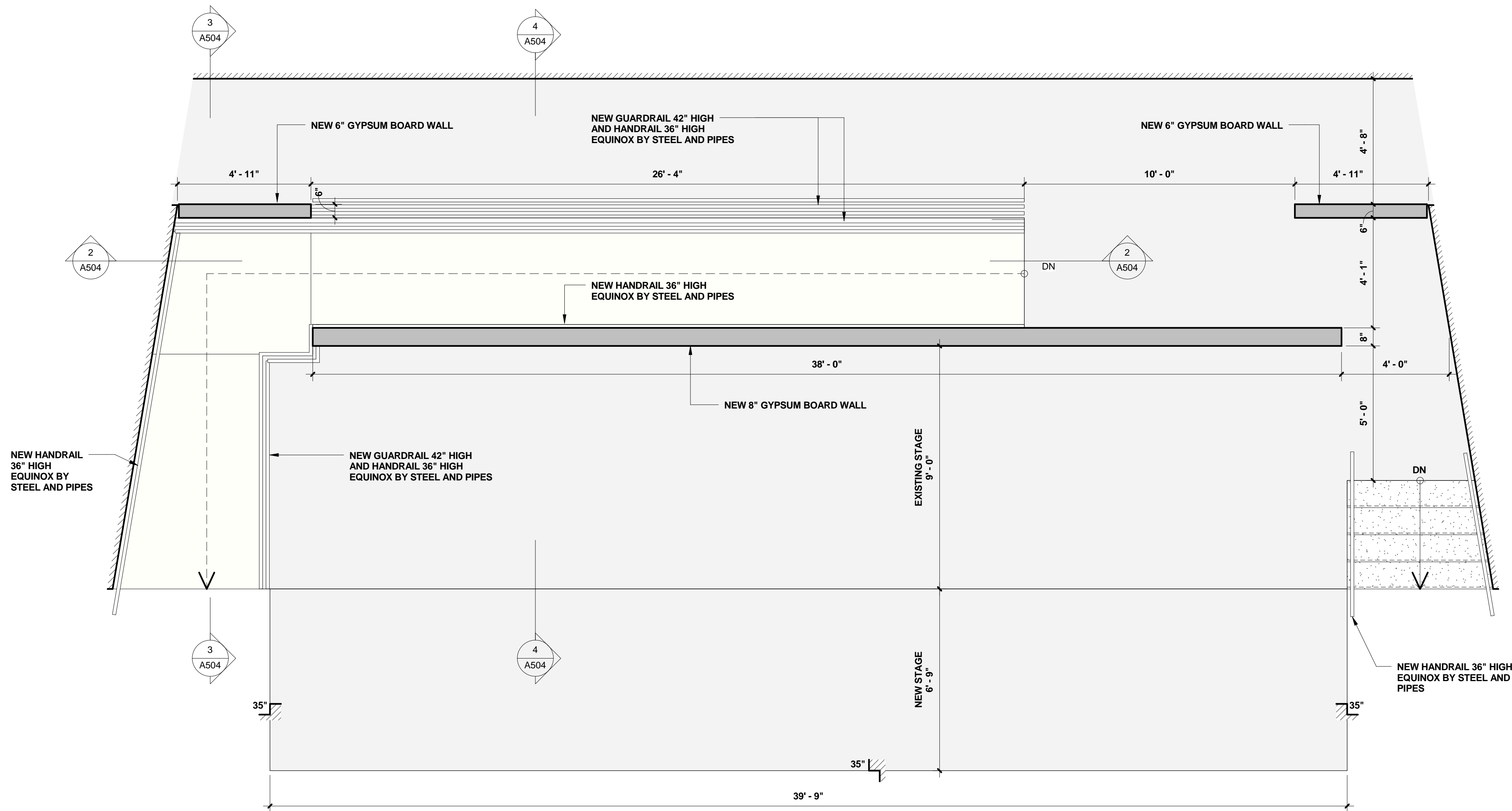
### Infill materials are available in:

- [Railing Infill Options](#)
- [Glass](#)
- [Resin](#)

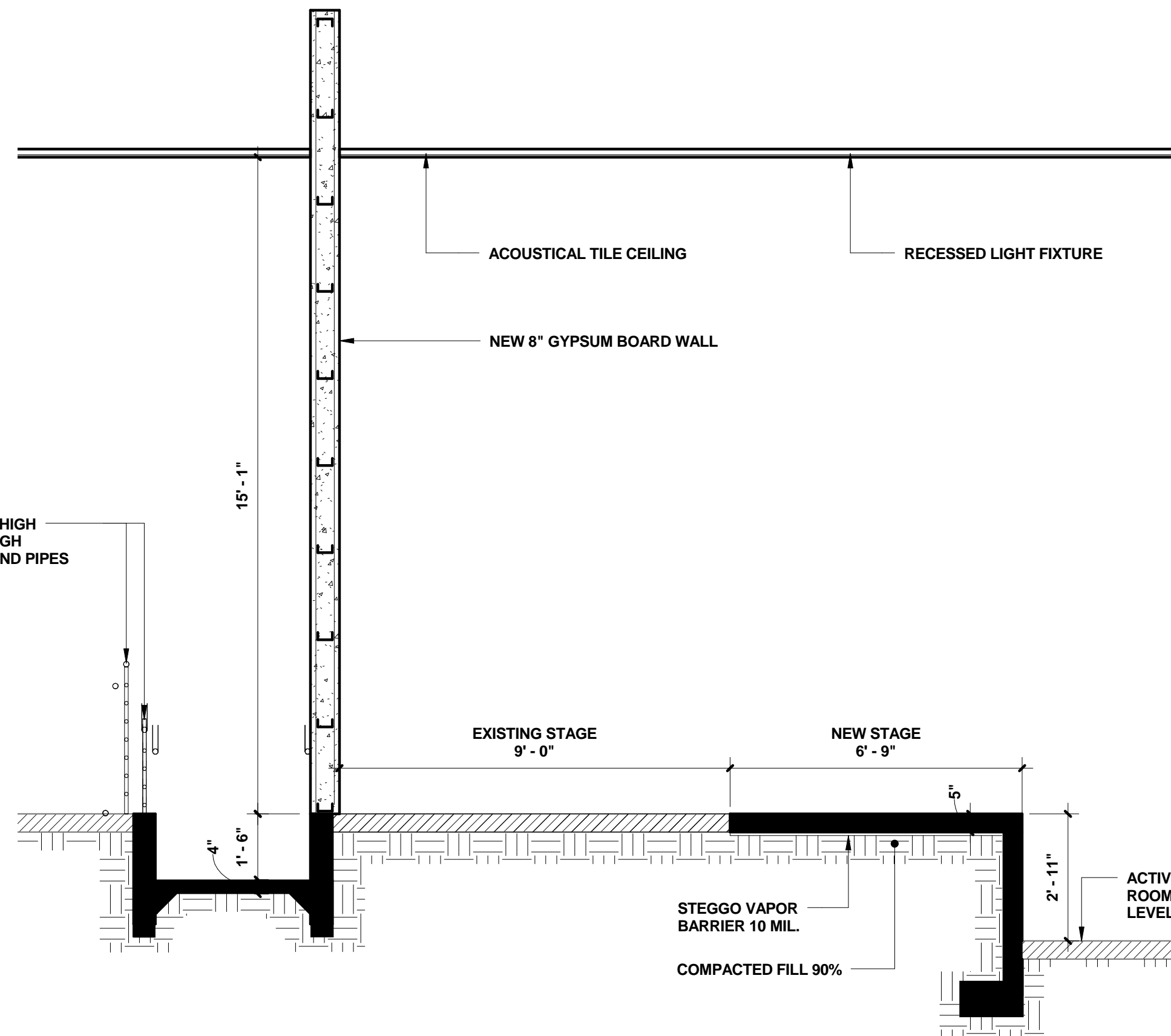


inox guardrail with stainless steel top rail & infill rails

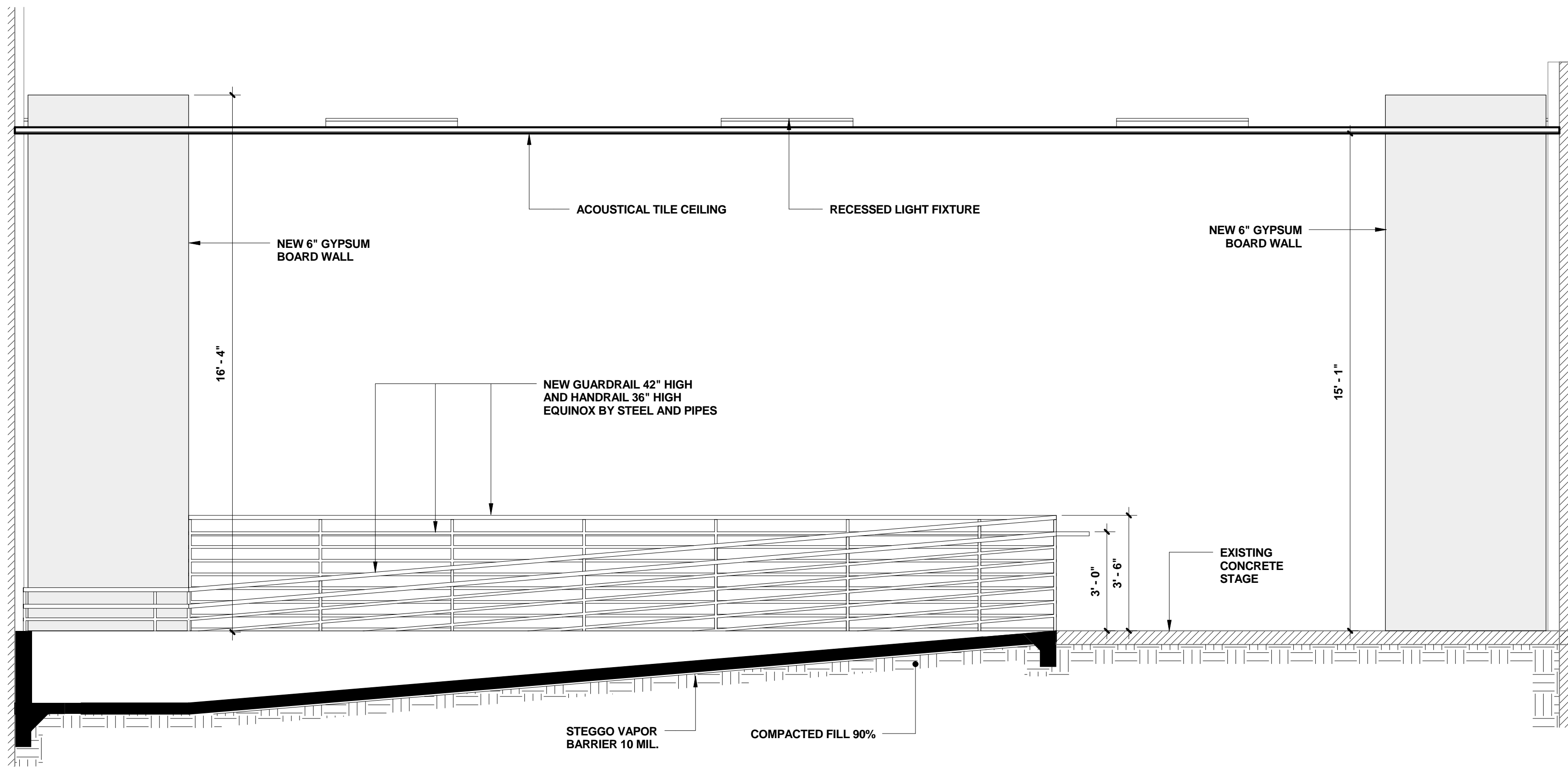




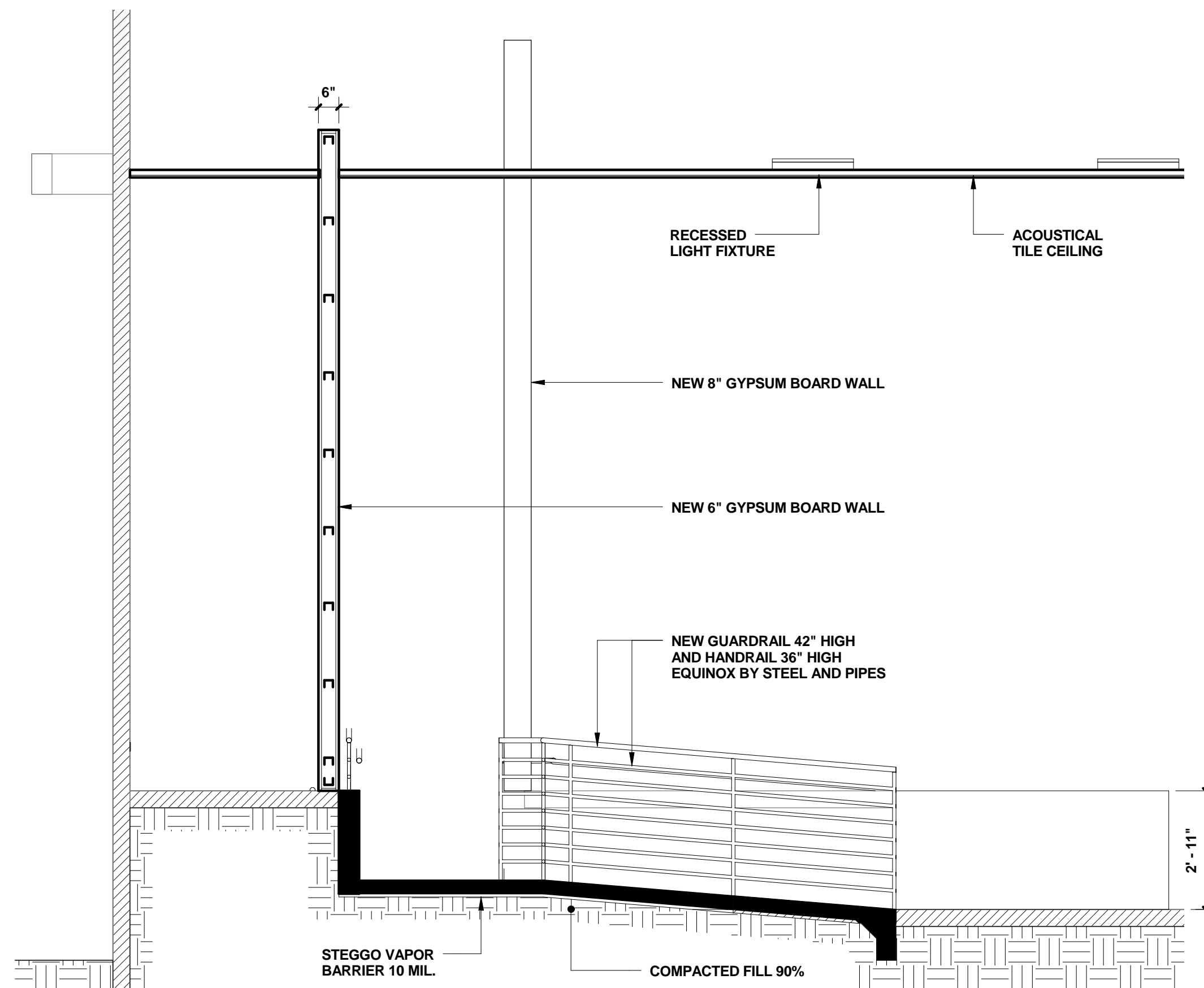
1 ENLARGED VIEW - STAGE PLAN  
3/8" = 1'-0"



4 SECTION 3- INTERIOR RAMP1  
3/8" = 1'-0"



2 SECTION 1- INTERIOR RAMP  
3/8" = 1'-0"



3 SECTION 2- INTERIOR RAMP  
3/8" = 1'-0"

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ARCHITECT:

CONSULTANT:

CERTIFIED BY:

REVISION / DATE / DESCRIPTION

PROJECT  
SANTA ISABEL MULTIPURPOSE BUILDING  
FRANCISCO ROBLEDO [PR-CRP-001153]  
SANTA ISABEL, PUERTO RICO

CLIENT  
MUNICIPIO DE SANTA ISABEL

PROJECT #

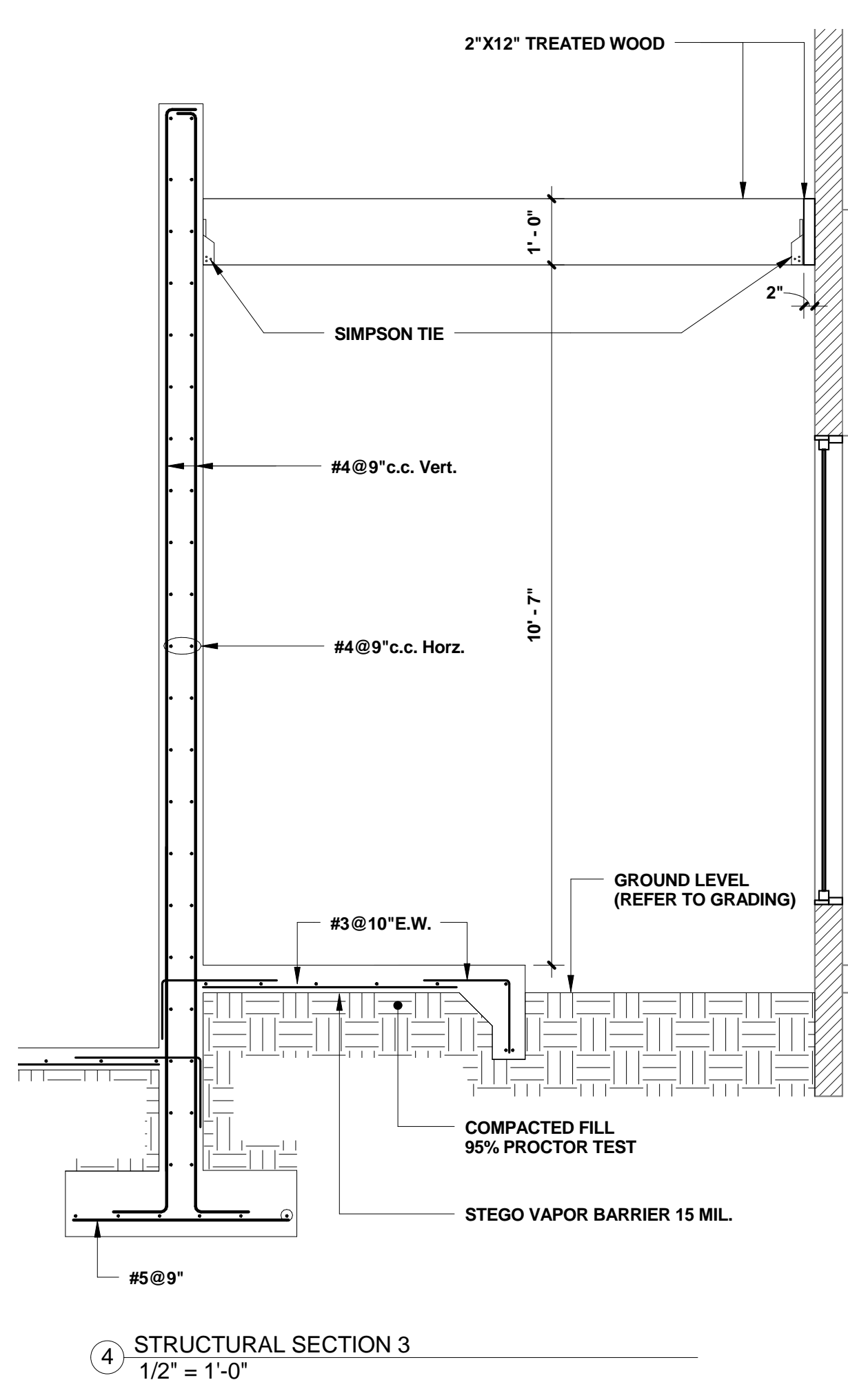
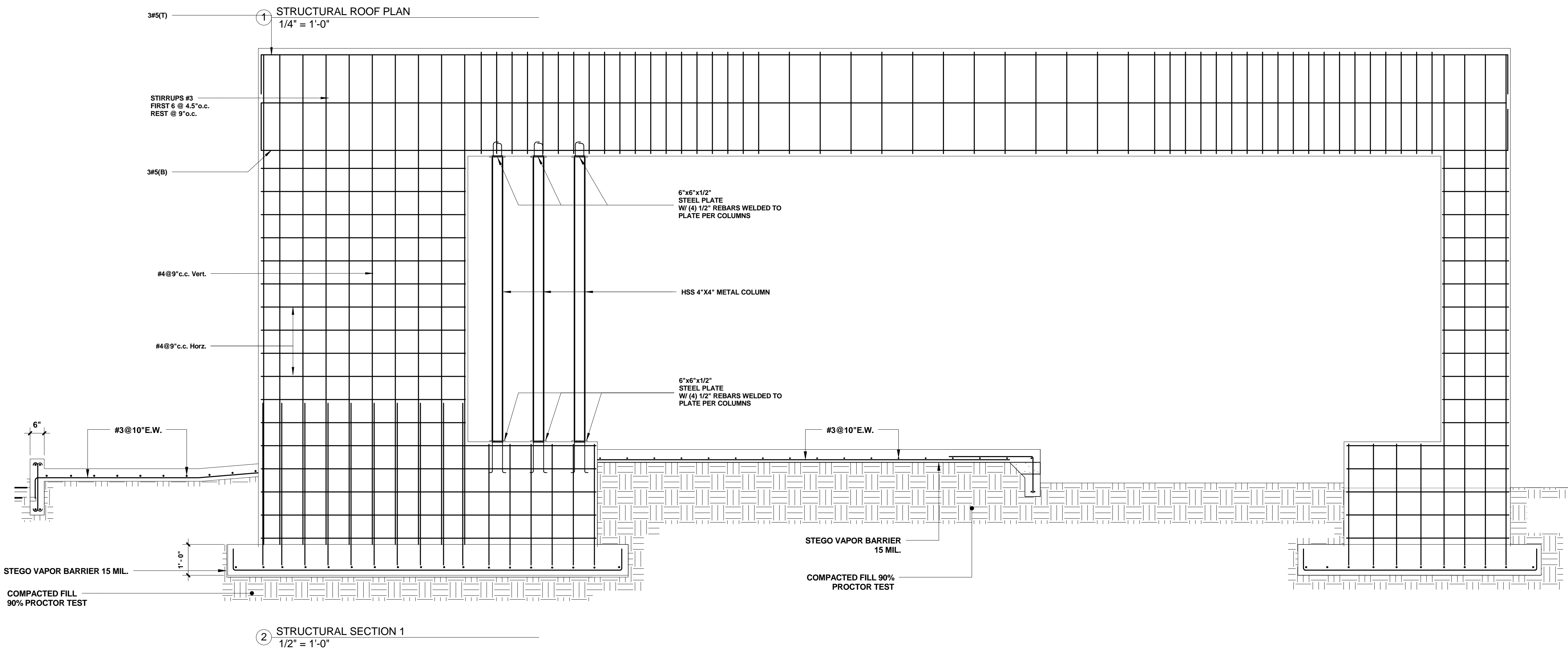
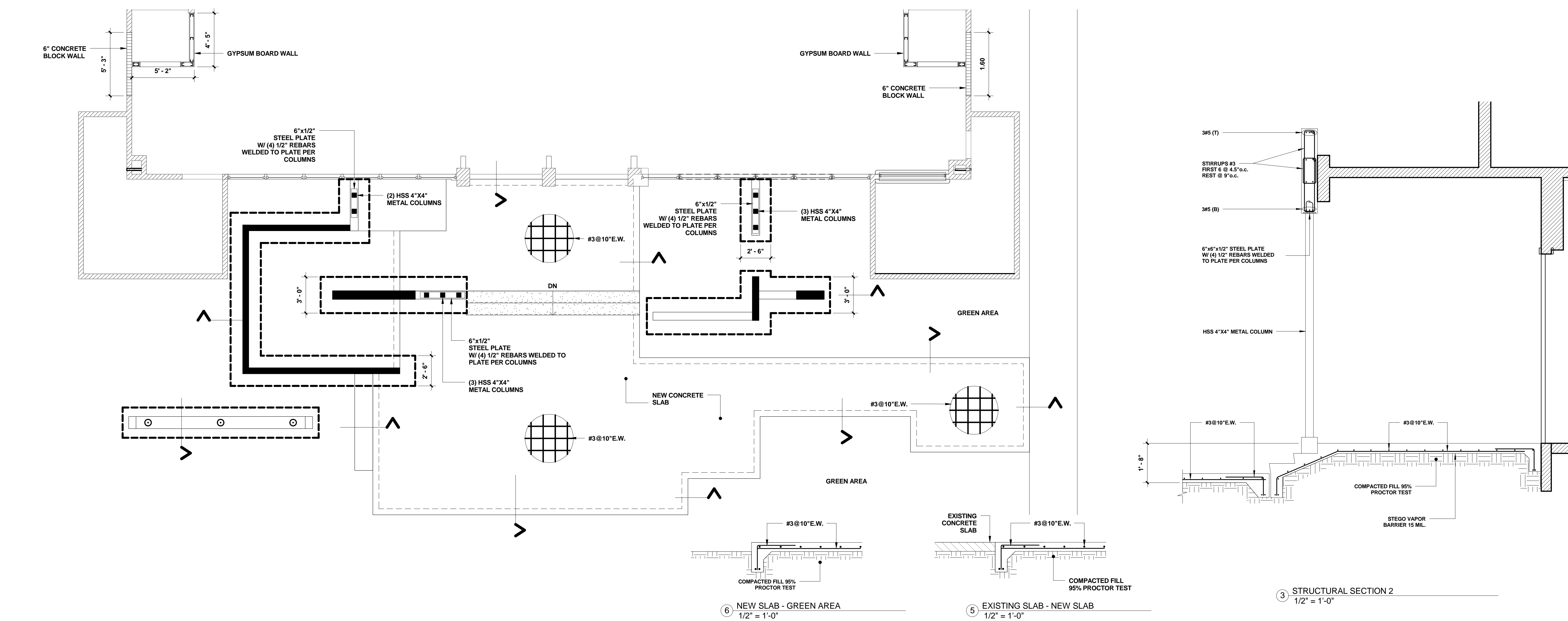
SCALE: 3/8" = 1'-0"

DRAWN BY: Author

ENLARGED VIEW - STAGE

TITLE  
A504

SHEET



EM ARCHITECTS

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PROJECT  
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SAN FRANCISCO  
ROBLEDO [PR-CRP-001153]  
SANTA ISABEL, PUERTO RICO

CLIENT  
MUNICIPIO DE SANTA ISABEL

PROJECT #

SCALE: As indicated

DRAWN BY: Author

FOUNDATION  
PLAN AND  
STRUCTURAL  
DETAILS

TITLE

ST101

SHEET



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ARCHITECT:



CONSULTANT:

Yo, ANTONIO DAJER GUERRA, número de Licencia 11530 certifico que soy el profesional que diseñó estos planos y especificaciones complementarias. Asimismo certifico que las especificaciones y especificaciones cumplen con las disposiciones aplicables del Reglamento Conjunto y las disposiciones de la Ley 139 de mayo de 1938, y los Decretos y Códigos de Construcción Vigentes de las Agencias, Juntas Reglamentadoras o Corporaciones Públicas. Asimismo, certifico que he supervisado la preparación de estos planos y especificaciones se ha cumplido cabalmente con lo dispuesto en la Ley 139 de mayo de 1938, y los Decretos y Códigos de Construcción Vigentes de la Ley N.º 139 de 15 de mayo de 1938, según enmendada; según aplique. Reconozco que cualquier declaración falsa o falsificación de los datos o cualquier otro acto de fraude cometido o por negligencia ya sea por mí, mis agentes o empleados, o por otras personas con mi consentimiento me hace responsable de cualquier acción judicial y disciplinaria por la ODEPE.

CERTIFIED BY:

[illegible]

PROJECT  
SANTA ISABEL MULTIPURPOSE BUILDING  
FRANCISCO  
ROBLEDO [PR-CRP-001153]  
SANTA ISABEL, PUERTO RICO

MUNICIPIO DE SANTA ISABEL

PROJECT #:

SCALE: As Shown

DRAWN BY: **ADG ENGINEERING**

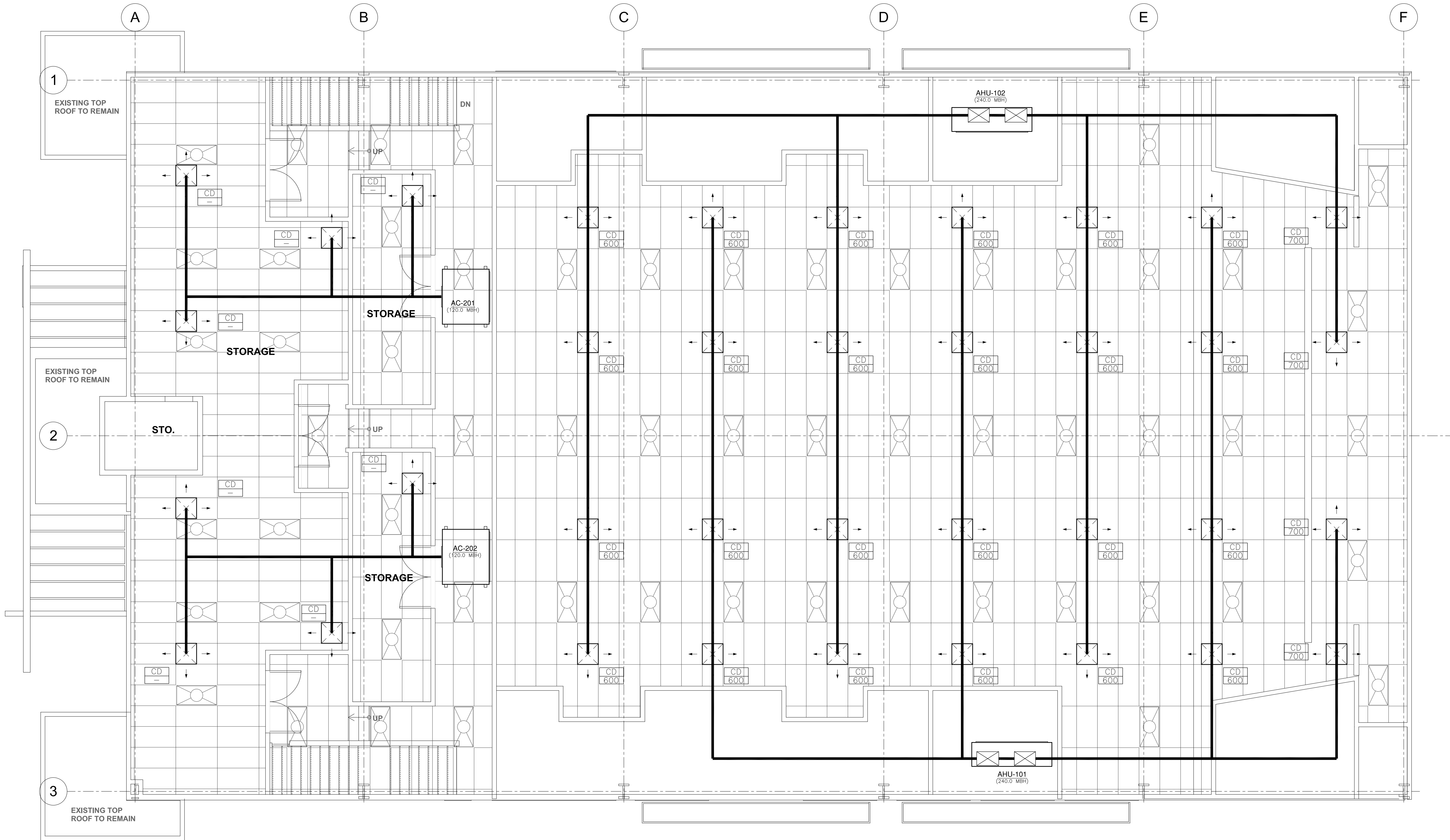
## AIR CONDITIONING FLOOR PLAN

TITLE

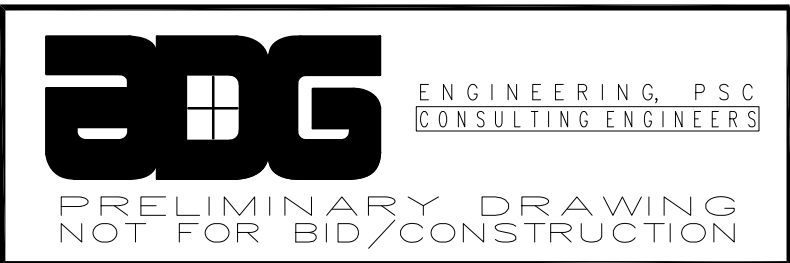
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SHEET

S:\ADG\ENG Drawings\Projects 2023\23-067 Centro Usos Multiples Santa Isabel\23-067 M-102.dwg, Wednesday, October 4, 2023 3:04:44 PM, Adobe PDF



AIR CONDITIONING MEZZANINE FLOOR PLAN  
SCALE: 3/16"=1'-0"



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ARCHITECT:



CONSULTANT:

Yo, ANTONIO J. DAER GUERRA, número de Licencia 17530, certifico que soy el profesional que diseñó estos planos y especificaciones complementarias, emitidos, verificados, entendidos, aprobados y sellados, en cumplimiento de la Ley Reguladora del Ejercicio de la Profesión de Arquitectos, y las disposiciones del Código de Construcción Vigentes de las Agencias, Juntas, Reglamentaciones o Corporaciones Públicas de esta jurisdicción. Certifico, además, que en la elaboración de estos planos y especificaciones se han cumplido con la Ley 14-2004, según enmendada, conocida como la Ley para la Inversión por la Industria Puertorriqueña y con la Ley Núm. 139 de 15 de mayo de 1958, según enmendada, Ley Núm. 86 de 6 de julio de 1978, que prohíben cualquier declaración falsa o falsificación de los hechos que se haya producido por desconocimiento o por negligencia por parte del profesional, así como, en consecuencia, me hacen responsable de cualquier acción judicial y disciplinaria por la OGE.

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REVISION / DATE / DESCRIPTION

PROJECT: SANTA ISABEL MULTIPURPOSE BUILDING  
FRANCISCO ROBLEDO [PR-CRP-001153]  
SANTA ISABEL, PUERTO RICO

CLIENT: MUNICIPIO DE SANTA ISABEL

PROJECT #:

SCALE: As Shown

DRAWN BY: ADG ENGINEERING

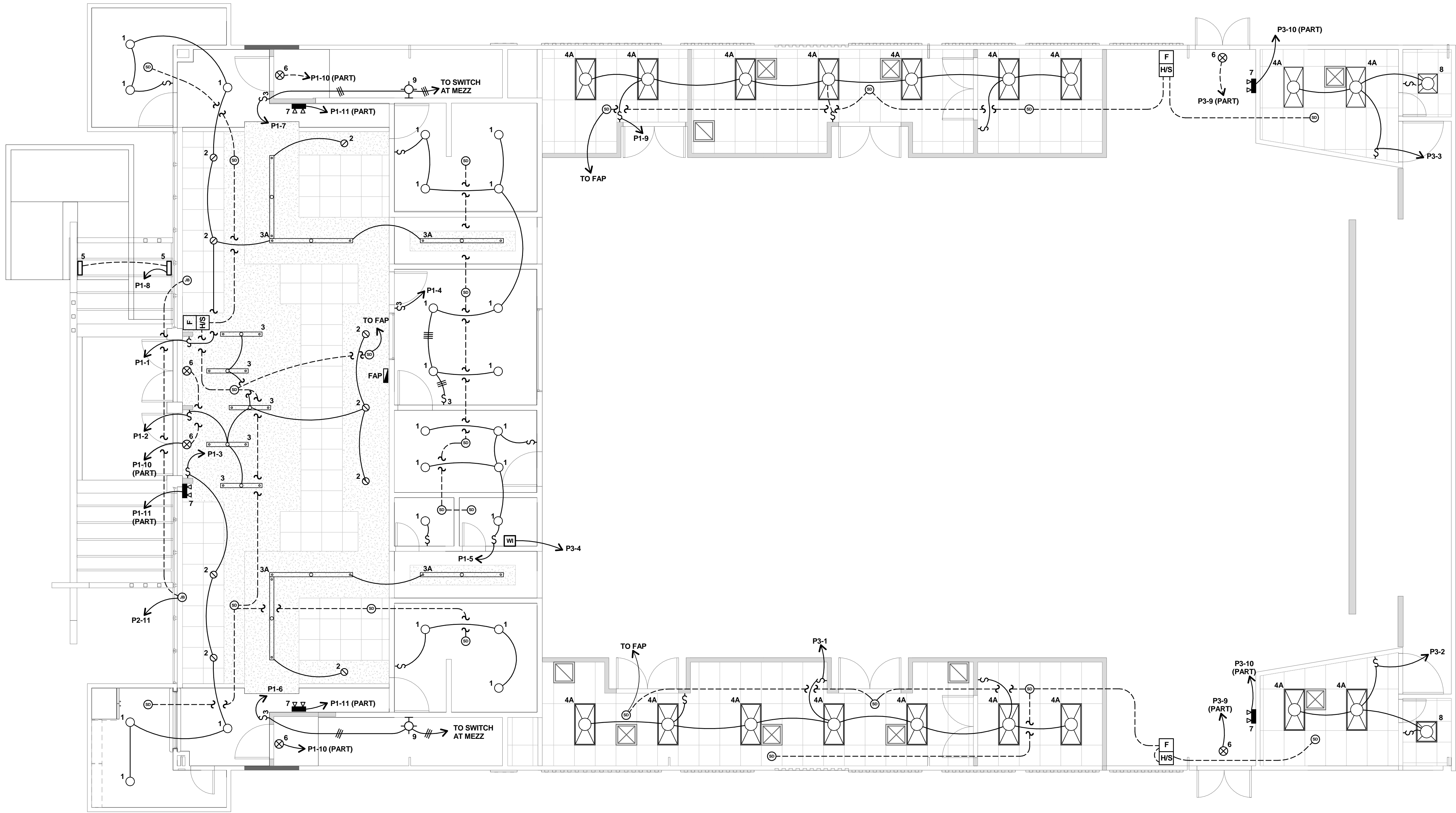
AIR CONDITIONING MEZZANINE FLOOR PLAN

TITLE

M-102

SHEET

OCTOBER, 2023



LIGHTING, FIRE ALARM PLAN - 1ST  
LEVEL  
① 3/16" = 1'-0"

| LIGHTING FIXTURE SCHEDULE |            |           |            |       |      |     |      |       |               |   |
|---------------------------|------------|-----------|------------|-------|------|-----|------|-------|---------------|---|
| TYPE                      | KIND       | FIXTURE   |            |       | LAMP |     |      |       | MANUFACTURER  |   |
|                           |            | MOUNTING  | ENCLOSURE  | NOTES | TYPE | NO. | SIZE | NOTES | TRADE         | CATALOG NO.   |
| 1                         | COMMERCIAL | SURFACE   |            |       | LED  |     |      |       | G LIGHTING    | GL - 3770 - 24LED40 - WH  |
| 2                         | COMMERCIAL | RECESSED  | 4 IN ROUND |       | LED  |     |      |       | PORTFOLIO     | LDS4C - 30 - 40 - D010 - S - 1 - L1                                       |
| 3                         | COMMERCIAL | RECESSED  | 4 FT       |       | LED  |     |      |       | NEO - RAY     | BAA - S124DR - S - UNV - 1020D - 80 - 40 - GYP - 4FO - 1 - U - DD - F - W |
| 3A                        | COMMERCIAL | RECESSED  | 8 FT       |       | LED  |     |      |       | NEO - RAY     | BAA - S124DR - S - UNV - 1020D - 80 - 40 - GYP - 8FO - 1 - U - DD - F - W |
| 4                         | COMMERCIAL | RECESSED  |            |       | LED  |     |      |       | METALUX       | TAA - 24CZZ - 80VHE - UNV - L840 - CD - 1 - U                             |
| 4A                        | COMMERCIAL | RECESSED  |            |       | LED  |     |      |       | METALUX       | TAA - 24CZZ - 40 - UNV - L840 - CD - 1 - U                                |
| 5                         | COMMERCIAL | STEP      |            |       | LED  |     |      |       | ELP           | 14WLS - EX - 40K - 120/277  |
| 6                         | EXIT       | UNIVERSAL |            |       | LED  |     |      |       | AMERICAN LITE | ELXTEU - 1 - R - C - A - BATTERY BACK UP                                  |
| 7                         | EMERGENCY  | WALL      |            |       | LED  |     |      |       | AMERICAN LITE | LEDR - 5 - WHITE  |
| 8                         | COMMERCIAL | RECESSED  |            |       | LED  |     |      |       | METALUX       | BAA - 22CZ - LD5 - 44 - UNV - L840 - CD - 1 - U                           |
| 9                         | COMMERCIAL | SURFACE   |            |       | LED  |     |      |       | METALUX       | BAA - 4 - SWLED - 36SL - LC - UNV - L840 - SDI - U                        |

ALL FIXTURES SHALL FULLFILL BAA (BUY AMERICAN ACT)

EM ARCHITECTS  
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ARCHITECT:

CONSULTANT:

CERTIFIED BY:

REVISION / DATE / DESCRIPTION

PROJECT  
SANTA ISABEL MULTIPURPOSE BUILDING  
FRANCISCO ROBLEDO [PR-CRP-001153]  
SANTA ISABEL, PUERTO RICO

CLIENT  
MUNICIPIO DE SANTA ISABEL

PROJECT #

SCALE: As indicated

DRAWN BY: Author

LIGHTING, FIRE ALARM PLAN - 1ST LEVEL

TITLE

E101

SHEET



[illegible]

| REVISION | DATE | DESCRIPTION |
|----------|------|-------------|
|----------|------|-------------|

PROJECT  
SANTA ISABEL MULTIPURPOSE BUILDING  
FRANCISCO  
ROBLEDO [PR-CRP-001153]  
SANTA ISABEL, PUERTO RICO

ENT  
MUNICIPIO DE SANTA ISABEL

DIRECT

PROJECT #:

DRAWN BY: **Author**

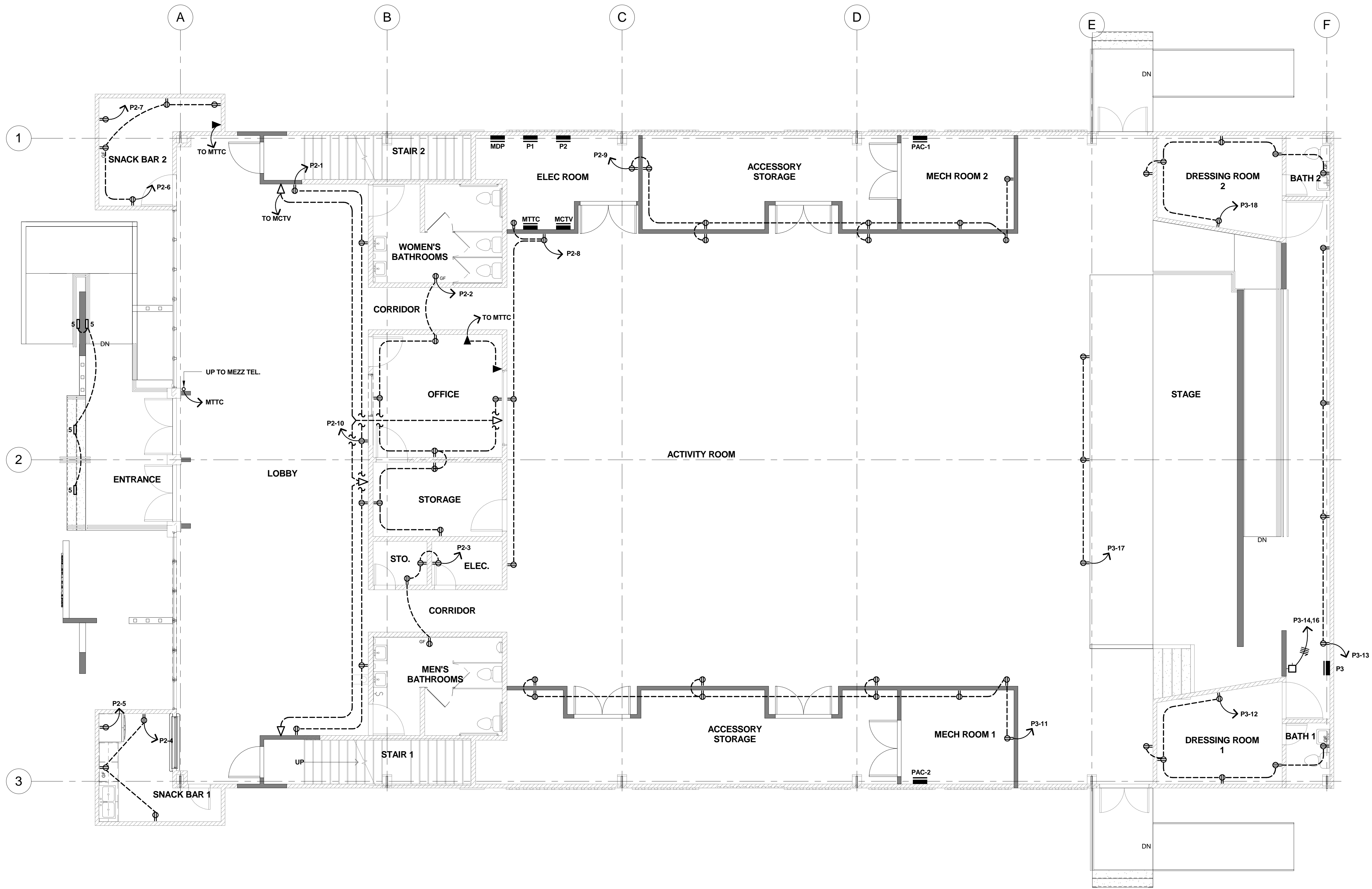
LIGHTING, FIRE  
ALARM PLAN - 2ND  
LEVEL

TITLE

E102

SHEET





POWER & TELECOMM LAYOUT - FIRST LEVEL  
1 3/16" = 1'-0"

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ARCHITECT:

CONSULTANT:

CERTIFIED BY:

REVISION / DATE / DESCRIPTION

PROJECT  
SANTA ISABEL MULTIPURPOSE BUILDING  
FRANCISCO ROBLEDO [PR-CRP-001153]  
SANTA ISABEL, PUERTO RICO

CLIENT  
MUNICIPIO DE SANTA ISABEL

PROJECT #:

SCALE: 3/16" = 1'-0"

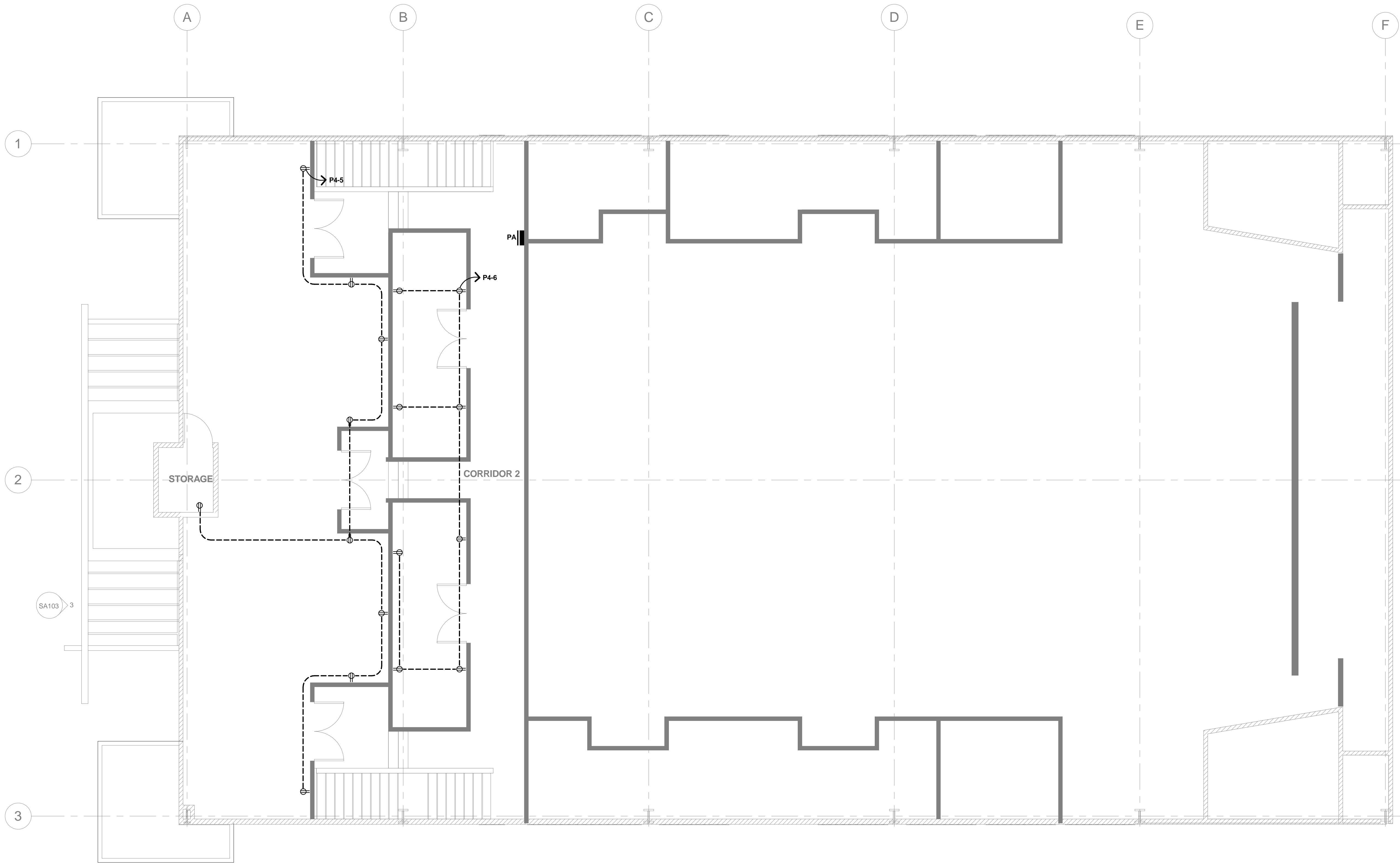
DRAWN BY: Author

POWER & TELEPHONE, CABLE TV PLAN - 2ND LEVEL

TITLE

E104

SHEET



POWER & TELEPHONE, CABLE TV PLAN -  
2ND LEVEL  
1 3/16" = 1'-0"



## ATTACHMENT M

### **Sole Source Aquifers**

Safe Drinking Water Act of 1974, as amended, particularly section 1424(e); 40 CFR Part 149

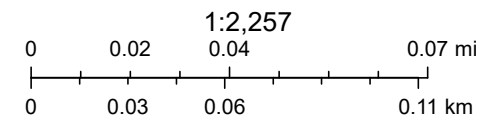
## Sole Source Aquifers



4/17/2023, 10:59:43 AM



PR-CRP-000759  
PR-CRP-001153



Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community, Esri, HERE, Garmin, iPC

<https://epa.aps.arcgis.co/apps/webappviewer/index.html?id=9ebb047ba3ec41ada1877155e31356b>

ATTACHMENT N

**Wetlands Protection**

Executive Order 11990, particularly sections 2 and 5





U.S. Fish and Wildlife Service

# National Wetlands Inventory

PR-CRP-000759 Renovations to Plaza del Mercado in Santa Isabel Urban Center

PR-CRP-001153 Santa Isabel Multipurpose Building

## Wetlands Protection

Attachment

Lat: 17.968965, Lon: -66.409165



U.S. Fish and Wildlife Service, National Standards and Support Team,  
wetlands\_team@fws.gov

April 17, 2023



PR-CRP-000759 (BOTTOM)

PR-CRP-001153 (TOP)

### Wetlands



Estuarine and Marine Deepwater



Estuarine and Marine Wetland



Freshwater Emergent Wetland



Freshwater Forested/Shrub Wetland



Freshwater Pond



Lake



Other



Riverine



This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

<https://wspr.ar.wi.usgs.gov/wetlands/apps/wetlands-apper/>

National Wetlands Inventory (NWI)  
This page was produced by the NWI mapper

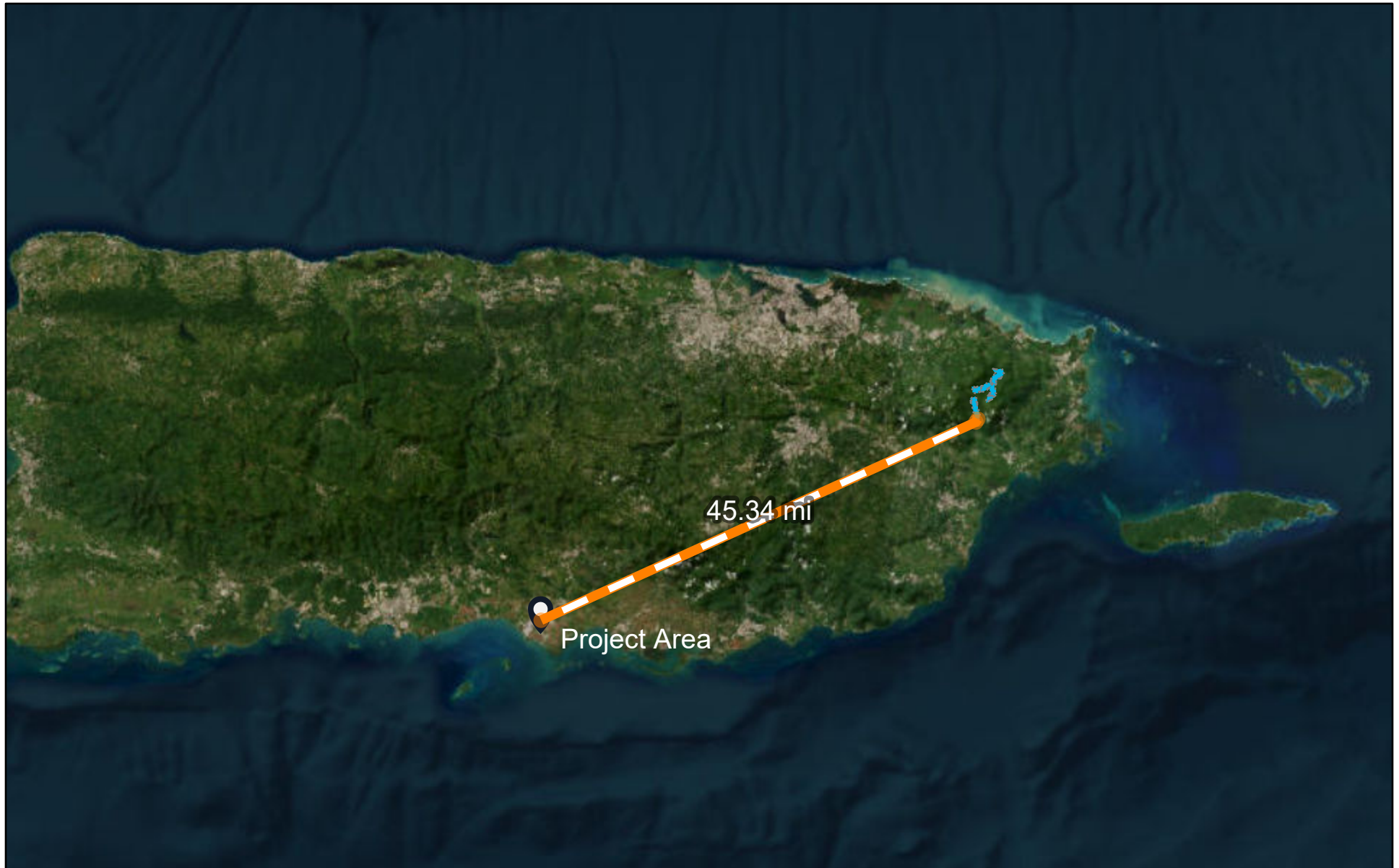
ATTACHMENT O

**Wild and Scenic Rivers**

Wild and Scenic Rivers Act of 1968, particularly section 7(b) and (c)



## Wild and Scenic Rivers



4/17/2023

 National Wild and Scenic Rivers (Feature Layer) - National Wild and Scenic Rivers

World Imagery

Low Resolution 15m Imagery

High Resolution 60cm Imagery

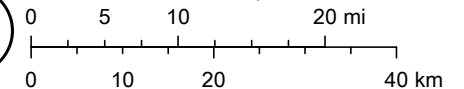
High Resolution 30cm Imagery

Citations



Earthstar Geographics

1:871,502



EM ARCHITECTS  
ENGINEERS - CONSULTANTS

<https://data-usfs.hub.arcgis.com/datasets/national-wild-and-scenic-rivers-feature-layer/explore?location=18.020703%2C-66.427862%2C10.21>



Attachment P  
FEMA REC and Project Reports

## Department of Homeland Security Federal Emergency Management Agency

### General Info

|                         |  |             |      |                            |   |
|-------------------------|--|-------------|------|----------------------------|---|
| <b>Project #</b>        | 80738  | <b>PW #</b> | 2407 | <b>Project Type</b>        | Standard                                |
| <b>Project Category</b> | E - Buildings and Equipment                          |             |      | <b>Applicant</b>           | Santa Isabel (Municipio) (133-99133-00) |
| <b>Project Title</b>    | MSAN121-Santa Isabel Market Place<br>(Plaza Mercado) |             |      | <b>Event</b>               | 4339DR-PR (4339DR)                      |
| <b>Project Size</b>     | Small  |             |      | <b>Declaration Date</b>    | 9/21/2017                               |
| <b>Activity</b>         | 9/20/2022  |             |      | <b>Incident Start Date</b> | 9/17/2017                               |
| <b>Completion Date</b>  |  |             |      | <b>Incident End Date</b>   | 11/15/2017                              |
| <b>Process Step</b>     | Obligated  |             |      |                            |   |

### Damage Description and Dimensions

The Disaster # 4339DR, which occurred between **09/17/2017** and **11/15/2017**, caused:

#### Damage #186180; Market Place

This Project/PW is a PA Alternative Procedures Project and funding is capped based on the fixed-cost estimate agreements for each project, in accordance with the Public Assistance Alternative Procedures (Section 428) Guide for Permanent Work, FEMA4339-DR-PR.

#### General Facility Information:

- **Facility Type:** Building
- **Building Type:** Other: Not Listed
- **Facility:** Marketplace
- **Facility Description:** The Marketplace is a 81 FT L x 82 FT W x 17 FT H concrete building with galvalume roof and galvalume siding cover with styrofoam, located at GPS: 17.969349, -66.408897. There are metal rolling-doors that give access and not divisions inside the facility. The facility was being used by the community and visitors as a food and vegetables market and household products. This facility was in operation since before the disaster.
- **Approx. Year Built:** 1990
- **Location Description:** Urb. Santiago Apostol, Ave. Padre Severo Ferrer calle 1, Santa Isabel
- **GPS Latitude/Longitude:** 17.96935, -66.40890
- **Number of Stories:** 1

#### General Damage Information:

- **Date Damaged:** 9/20/2017
- **Cause of Damage:** Hurricane

#### Building Damage:

##### Administrative Office:

- Building Interior, 96 SF of Acoustic Ceiling Tiles, 12 FT long x 8 FT wide, collapsed by water roof filtration caused by wind driven rain and high winds, 0% work completed.
- Building Interior, 1 each of Carrier, Model No. 42K88014303, Serial No. 2800Y41042 A/C

Unit 60 Hz 13500 BTU, fell when ceiling collapsed by water roof filtration caused by wind driven rain and high winds, 0% work completed.

**Bathroom:**

- Building Interior, 256 SF of Two (2) Gypsum board Ceiling , 16 FT long x 8 FT wide, collapsed by roof filtration caused by wind driven rain and high winds, 0% work completed.

**Ceiling:**

- Building Interior, 2 each of Metal Four blades fans, fell when the ceiling collapsed caused by wind driven rain, high winds and roof filtration, 0% work completed.
- Building Interior, 5 each of Metal Recessed Troffer, 4 FT long x 1 FT wide, fell and malfunction by roof filtration caused by wind driven rain and high winds, 0% work completed.
- Building Interior, 20 each of Fluorescent and high intensity discharge lamps T5 T bulb for Recessed Troffer, fell and malfunction by roof filtration caused by wind driven rain and high winds, 0% work completed.

**Exterior building:**

- Building Exterior, 5,848 SF of Paint, 344 FT long x 17 FT high, peeling by wind driven rain and high winds, 0% work completed.

**Exterior lighting:**

- Building Exterior, 6 each of Litonia M90, 100 Watts Luminaires, luminaire broke by wind driven rain and high wind, 0% work completed.
- Building Exterior, 1 each of Metal Halide, 1500 Watts Luminaire in Ornamental Pole, Light ripped off by wind driven rain and high winds, 0% work completed.

**Interior building:**

- Building Interior, 6,358 SF of Paint, 374 FT long x 17 FT high, stained and peeling by roof filtration caused by wind driven rain and high winds, 0% work completed.

**Interior Lighting:**

- Building Interior, 12 each of Metal halide 1500 Watts Luminaires, damage by change of voltage caused by wind driven rain, high winds and roof filtration, 0% work completed.

**Porch:**

- Building Exterior, 720 SF of Metal Galvalume roof, 24 FT long x 30 FT wide, was detached and ripped off by wind driven rain and high winds, 0% work completed.
- Building Exterior, 150 SF of Metal Galvalum roof, 25 FT long x 6 FT wide, detached and ripped off by wind driven rain and high winds, 0% work completed.

**Roof:**

- Building Exterior, 65 SF of Galvalume Siding covered with Styrofoam, 13 FT long x 5 FT high, Wind driven rain and high winds, 0% work completed.
- Building Exterior, 3,608 SF of Roof Waterproofing System, 82 FT long x 44 FT wide, Thewaterproofing system was detached by wind driven rain and high winds, 0% work completed.

**Roof deck:**

- Building Exterior, 4 each of Acrylic Skylights, 6 FT long x 6 FT wide, Skylights were detached by wind driven rain and high winds, 0% work completed.

**South Side Building:**

- Building Exterior, 1 each of Metal Exit Door, 3 FT wide x 7 FT high, detached by high winds, 0% work completed.

## **Damage #186181; Market Place Contents**

This is the DI for the contents of the Market Place DI186180. During the SI no contents were find.

**General Facility Information:**

- **Facility Type:** Building Contents Only
- **Facility:** Marketplace Urb. Santiago Apostol Santa Isabel PR
- **Facility Description:** Marketplace is a facilities was being used by residents and visitors for buy and sell



different vegetables, foods and household products, measures 81Ft(L) X 82Ft(W) X17Ft(H)

- **Approx. Year Built:** 1990
- **Location Description:** Urb. Santiago Apostol, Ave. Padre Severo Ferrer St.1, Santa Isabel PR. 00757.
- **GPS Latitude/Longitude:** 17.96935, -66.40890
- **Number of Stories:** 1

#### General Damage Information:

- **Date Damaged:** 9/20/2017
- **Cause of Damage:** Heavy rains, strong winds, and rushing flood waters

## Final Scope

### 186180 Market Place

#### Work to be completed

The applicant will utilize contracts and (or) force accounts for repairs to the building to restore facilities back to pre-disaster design, capacity and function and capacity (in-kind) within the existing footprint.

#### Administrative Office:

- A. Remove and replace, 96 SF of Acoustic Ceiling Tiles, 12 FT long x 8 FT wide.
- B. Remove and replace, 1 each of Carrier, Model No. 42K88014303, Serial No. 2800Y41042 A/C Unit 60 Hz 13500 BTU.

#### Bathroom:

- A. Remove and replace, 256 SF of Two (2) Gypsum board Ceiling, 16 FT long x 8 FT wide.

#### Ceiling:

- A. Remove and replace, 2 each of Metal Four blades fans.
- B. Remove and replace, 5 each of Metal Recessed Troffer, 4 FT long x 1 FT wide.
- C. Building Interior, 20 each of Fluorescent and high intensity discharge lamps T5 T bulb for Recessed Troffer, fell and malfunction by roof filtration caused by wind driven rain and high winds, 0% work completed.

#### Exterior Building:

- A. Prepare and paint, 5,848 SF of Paint, 344 FT long x 17 FT high.

#### Exterior Lighting:

- A. Remove and replace, 6 each of Lithonia M90, 100 Watts Luminaires.
- B. Remove and replace, 1 each of Metal Halide, 1500 Watts Luminaire in Ornamental Pole.

#### Interior Building:

- A. Prepare and paint, 6,358 SF of Paint, 374 FT long x 17 FT high.

#### Interior Lighting:

- A. Remove and replace, 12 each of Metal halide 1500 Watts Luminaires.

Porch:

- A. Remove and replace, 720 SF of Metal Galvalume roof, 24 FT long x 30 FT wide.
- B. Remove and replace, 150 SF of Metal Galvalume roof, 25 FT long x 6 FT wide.

Roof:

- A. Remove and replace, 65 SF of Galvalume Siding covered with Styrofoam, 13 FT long x 5 FT high.
- B. Remove and replace, 3,608 SF of Roof Waterproofing System, 82 FT long x 44 FT wide.

Roof Deck:

- A. Remove and replace, 4 each of Acrylic Skylights, 6 FT long x 6 FT wide.

South Side Building:

- A. Remove and replace, 1 each of Metal Exit Door, 3 FT wide x 7 FT high.

**Work to be Completed Total: \$90,875.47**

Project Notes:

1. All site estimates for work to be completed were generated using RS means. See attachment labeled *ST80738-DR4339PR-Cost Estimate*.
2. GPS coordinates have been checked for accuracy.
3. Please look for Maintenance Records in project section. See document labeled: *DI186180-DR4339PR-Plaza Mercado- Cert Maintenance.pdf*
4. Applicant will comply with local, commonwealth, federal procurement laws, regulations and procedures.

\*\*\*\*\* Version 1 \*\*\*\*\*

Project versioned from amendment for Insurance Completion

## 406 HMP Scope

The project originally contemplated mitigation opportunities. However, and upon review of the final DDD, repair SOW and repair Cost Estimate, the anticipated mitigation opportunities are now inherent in the cost item description of the repair cost. The following items are included in the repair cost estimate and are presented as part of the HM SOW in order to incorporate them in the final PW SOW:

Remove and replace 3608 SF of Membrane Waterproofing, on slabs, 3 ply, mopped (Cost Item #071213200600)

**186181 Market Place Contents**

**Work to be completed**

The applicant will utilize contracts and (or) force accounts for repairs to the contents to restore facilities back to pre-disaster design, capacity and function and capacity (in-kind) within the existing footprint.

**Scope Notes:**

1- "This is the DI for the contents of the Market Place DI186180. During the SI no contents were found."

**Work to be Completed Total: \$00,000.00**



Cost

| Code            | Quantity | Unit     | Total Cost  | Section     |
|-----------------|----------|----------|-------------|-------------|
| 9001 (Contract) | 1.00     | Lump Sum | \$90,875.47 | Uncompleted |

|                            |               |
|----------------------------|---------------|
| CRC Gross Cost             | \$90,875.47   |
| Total 406 HMP Cost         | \$0.00        |
| Total Insurance Reductions | (\$43,932.10) |
| CRC Net Cost               | \$46,943.37   |
| Federal Share (90.00%)     | \$42,249.04   |
| Non-Federal Share (10.00%) | \$4,694.33    |

## Award Information

### Version Information

| Version # | Eligibility Status | Current Location | Bundle Number                | Project Amount | Cost Share | Federal Share Obligated | Date Obligated |
|-----------|--------------------|------------------|------------------------------|----------------|------------|-------------------------|----------------|
| 0         | Eligible           | Awarded          | PA-02-PR-4339-PW-02407(3183) | \$5,875.47     | 90 %       | \$5,287.92              | 4/13/2020      |
| 1         | Eligible           | Awarded          | PA-02-PR-4339-PW-02407(9176) | \$41,067.90    | 90 %       | \$36,961.11             | 6/30/2021      |

### Drawdown History

| EMMIE Drawdown Status As of Date | Obligation Number | Expenditure Number | Expended Date | Expended Amount |
|----------------------------------|-------------------|--------------------|---------------|-----------------|
| 8/18/2021                        | 4339DRPRP00024071 | 20171UL2-04272020  | 4/24/2020     | \$5,287.92      |

## Subgrant Conditions

- As described in 2 CFR, Part 200 § 200.333, financial records, supporting documents, statistical records and all other non-Federal entity records pertinent to a Federal award must be retained for a period of three (3) years from the date of submission of the final expenditure report or, for Federal awards that are renewed quarterly or annually, from the date of the submission of the quarterly or annual financial report, respectively, as reported to the Federal awarding agency or pass-through entity in the case of a sub-recipient. Federal awarding agencies and pass-through entities must not impose any other record retention requirements upon non-Federal entities. Exceptions, Part 200.333, (a) – (f), (1), (2). All records relative to this Project Worksheet are subject to examination and audit by the State, FEMA and the Comptroller General of the United States and must reflect work related to disaster-specific costs.
- In the seeking of proposals and letting of contracts for eligible work, the Applicant/Subrecipient must comply with its Local, State (provided that the procurements conform to applicable Federal law) and Federal procurement laws, regulations, and procedures as required by FEMA Policy 2 CFR Part 200, Procurement Standards, §§ 317-326.
- The Recipient must submit its certification of the applicant's completion of all of its small projects and compliance with all environmental and historic preservation requirements within 180 days of the applicant's completion of its last small project.
- When any individual item of equipment purchased with PA funding is no longer needed, or a residual inventory of unused supplies exceeding \$5,000 remains, the subrecipient must follow the disposition requirements in Title 2 Code of Federal Regulations (C.F.R.) § 200.313-314.
- The terms of the FEMA-State Agreement are incorporated by reference into this project award under the Public Assistance grant and the applicant must comply with all applicable laws, regulations, policy, and guidance. This includes, among others, the Robert T. Stafford Disaster Relief and Emergency Assistance Act; Title 44 of the Code of Federal Regulations; FEMA Policy No. 104-009-2, Public Assistance Policy and Program Guide; and other FEMA policy and guidance.
- The DHS Standard Terms and Conditions in effect as of the date of the declaration of this major disaster are incorporated by reference into this project award under the Public Assistance grant, which flow down from the Recipient to subrecipients unless a particular term or condition indicates otherwise.
- The Uniform Administrative Requirements, Cost Principles, and Audit Requirements set forth at 2 C.F.R. pt. 200 apply to this project award under the Public Assistance grant, which flow down from the Recipient to all subrecipients unless a particular section of 2 C.F.R. pt. 200, the FEMA-State Agreement, or the terms and conditions of this project award indicate otherwise. See 2 C.F.R. §§ 200.101 and 110.
- The applicant must submit a written request through the Recipient to FEMA before it makes a change to the approved scope of work in this project. If the applicant commences work associated with a change before FEMA approves the change, it will jeopardize financial assistance for this project. See FEMA Policy No. 104-009-2, Public Assistance Program and Policy Guide.
- Pursuant to section 312 of the Stafford Act, 42 U.S.C. 5155, FEMA is prohibited from providing financial assistance to any entity that receives assistance from another program, insurance, or any other source for the same work. The subrecipient agrees to repay all duplicated assistance to FEMA if they receive assistance for the same work from another Federal agency, insurance, or any other source. If an subrecipient receives funding from another federal program for the same purpose, it must notify FEMA through the Recipient and return any duplicated funding.

## Insurance

### Additional Information

6/11/2021

#### GENERAL INFORMATION

Event: 4339DR-PR



Project: ST-80738

Category of Work: Cat E - Buildings & Equipment

Applicant: Santa Isabel Municipio

Event Type: Hurricane / Maria

Cause of Loss: Wind / Wind Driven Rain

Incident Period: 9/17/2017 to 11/15/2017

Total Public Assistance Amount: Repair amount \$90,875.47

**COMMERCIAL INSURANCE INFORMATION**

Does the Applicant have a Commercial Policy: Yes

Policyholder per Policy Documents: Municipio Santa Isabel

Policy Issued by: Triple -S Propiedad

Policy Number: 30-CP-81092099

Policy Period: From: 6/30/2017 To: 6/30/2018

Policy Valuation: Scheduled Policy

Policy Limits: \$39,916,974.00

RCV or ACV: Replacement Cost Value

Deductible Type: Select One : 2%

Does the Applicant's Commercial Policy extend coverage for the damage described in this project: Yes

Final Insurance Settlement Status: Actual Insurance proceeds have been received

The amount of Actual Insurance Proceeds for Project: \$43,932.10.

The amount of Actual Insurance Reduction applied for Project: \$43,932.10.

**NUMBER OF DAMAGED INVENTORIES INCLUDED IN THIS PROJECT: (1)**

**Damaged Inventory (DI) #186180:**

**Market Place**

Number of damaged locations included in this DI: (1)

Location Description: Urb. Santiago Apostol, Ave. Padre Severo Ferrer calle 1, Santa Isabel.

GPS Coordinates: 17.96935, -66.40890

Cause of Loss: Wind / Wind Driven Rain

SOV / Schedule #: 57- Plaza Del Mercado

SOV / Schedule Amount: \$85,000.00

Applicable Deductible Amount: \$1,700.00

Damage Inventory Amount: (Repair amount \$90,875.47)

Prior Obtain and Maintain Requirement:

No prior insurance requirements were found for this facility.

Reduction(s):

A reduction is being made for actual insurance proceeds in the amount of \$43,932.10. The applicant provided a final settlement allocation with actual insurance proceeds assigned to this facility in the amount of \$43,932.10; see: "*Santa Isabel Insurance Agreement - Signed.pdf*". No deductible will be considered for funding as it was not incurred by the applicant.

Obtain and Maintain Requirement:

An Obtain & Maintain Requirement is being required for Building, for the peril of Wind (all wind associated losses including "wind driven rain" for (*Market Place* ) in the amount of \$88,826.67 (Repair Amount \$90,875.47 - Uninsurable amount \$2,048.80). ST- 80738-DR4339PR-Cost Estimates-Insurance.

**Insurance Proceeds Statement:**

FEMA's Recovery Policy FP 206-086-1, Public Assistance Policy on Insurance (June 29, 2015), requires applicants to take reasonable efforts to recover insurance proceeds that it is entitled to receive from its insurers. FEMA will consider final insurance settlements that may be less than the insurance policy limits when an applicant demonstrates that it has taken reasonable efforts to recover insurance proceeds that it is entitled to on a case-by-case basis.

**Standard Insurance Comments**

**FEMA Policy 206-086-1**

**PART 2: Other Insurance-Related Provisions. (Sections 312 and 406(d) of the Stafford Act)**

**A. Duplication of Benefits.** FEMA cannot provide assistance for disaster-related losses that duplicate benefits available to an applicant from another source, including insurance.

1. Before FEMA approves assistance for a property, an applicant must provide FEMA with information about any actual or anticipated insurance settlement or recovery it is entitled to for that property.
2. FEMA will reduce assistance to an applicant by the amount of its actual or anticipated insurance proceeds.
3. Applicants must take reasonable efforts to recover insurance proceeds that they are entitled to receive from their insurer(s).

**FEMA Policy 206-086-1**

**H. Subsequent Assistance.** When a facility that received assistance is damaged by the same hazard in a subsequent disaster:

1. If the applicant failed to maintain the required insurance from the previous disaster, then the facility is not eligible for assistance in any subsequent disaster.
2. Upon proof that the applicant maintained its required insurance, FEMA will reduce assistance in the subsequent disaster by the amount of insurance required in the previous disaster regardless of:
  - a. The amount of any deductible or self-insured retention the applicant assumed (i.e., "retained risk").

**Obtain and Maintain Requirements:**

**44 CFR § 206.253 Insurance requirements for facilities damaged by disasters other than flood.**

(a) Prior to approval of a Federal grant for the restoration of a facility and its contents which were damaged by a disaster other than flood, the recipient shall notify the Regional Administrator of any entitlement to insurance settlement or recovery for such facility and its contents. The Regional Administrator shall reduce the eligible costs by the actual amount of insurance proceeds relating to the eligible costs.

(b)

- (1) Assistance under section 406 of the Stafford Act will be approved only on the condition that the recipient obtain and maintain such types and amounts

of insurance as are reasonable and necessary to protect against future loss to such property from the types of hazard which caused the major disaster. The extent of insurance to be required will be based on the eligible damage that was incurred to the damaged facility as a result of the major disaster. The Regional Administrator shall not require greater types and extent of insurance than are certified as reasonable by the State Insurance Commissioner.

(2) Due to the high cost of insurance, some applicants may request to insure the damaged facilities under a blanket insurance policy covering all their facilities, an insurance pool arrangement, or some combination of these options. Such an arrangement may be accepted for other than flood damages. However, if the same facility is damaged in a similar future disaster, eligible costs will be reduced by the amount of eligible damage sustained on the previous disaster.

(c) The Regional Administrator shall notify the recipient of the type and amount of insurance required. The recipient may request that the State Insurance Commissioner review the type and extent of insurance required to protect against future loss to a disaster-damaged facility, the Regional Administrator shall not require greater types and extent of insurance than are certified as reasonable by the State Insurance Commissioner.

(d) The requirements of section 311 of the Stafford Act are waived when eligible costs for an insurable facility do not exceed \$5,000. The Regional Administrator may establish a higher waiver amount based on hazard mitigation initiatives which reduce the risk of future damages by a disaster similar to the one which resulted in the major disaster declaration which is the basis for the application for disaster assistance.

(e) The recipient shall provide assurances that the required insurance coverage will be maintained for the anticipated life of the restorative work or the insured facility, whichever is the lesser.

(f) No assistance shall be provided under section 406 of the Stafford Act for any facility for which assistance was provided as a result of a previous major disaster unless all insurance required by FEMA as a condition of the previous assistance has been obtained and maintained.

#### **FEMA Policy 206-086-1**

**F. Timeframes for Obtaining Insurance.** FEMA will only approve assistance under the condition that an applicant obtains and maintains the required insurance.

The applicant must document its commitment to comply with the insurance requirement with proof of insurance.

If an applicant cannot insure a facility prior to grant approval (for example, if a building is being reconstructed), the applicant may provide a letter of commitment stating that they agree to the insurance requirement and will obtain the types and extent of insurance required, followed at a later date by proof of insurance once it is obtained. In these cases, the applicant should insure the property:

- a. When the applicant resumes use of or legal responsibility for the property (for example, per terms of construction contract or at beneficial use of the property); or
- b. When the scope of work is complete.

FEMA and the recipient will verify proof of insurance prior to grant closeout to ensure the applicant has complied with the insurance requirement.

An applicant should notify FEMA—in writing through the recipient—of changes to their insurance which impact their ability to satisfy the insurance requirement after it provides proof of insurance to FEMA. This includes changes related to self-insurance. If an applicant fails to do this, FEMA may deobligate assistance and not provide assistance in a future disaster.

Virginia Hernandez Rivera, PA Insurance Specialist

CRC Atlantic, Guaynabo, PR

## **O&M Requirements**

| <b>Insured Peril</b> | <b>Item Type</b> | <b>Description</b>   | <b>Required Coverage Amount</b> |
|----------------------|------------------|--|---------------------------------|
| Wind                 | Building         | An Obtain & Maintain Requirement is being required for Building, for the peril of Wind (all wind associated losses including "wind driven rain" for (Market Place ) in the amount of \$88,826.67 | \$88,826.67                     |

## **406 Mitigation**



There is no additional mitigation information on **MSAN121-Santa Isabel Market Place (Plaza Mercado)**.

## Environmental Historical Preservation

Is this project compliant with EHP laws, regulations, and executive orders?

Yes

### EHP Conditions

- Any change to the approved scope of work will require re-evaluation for compliance with NEPA and other Laws and Executive Orders.
- This review does not address all federal, state and local requirements. Acceptance of federal funding requires recipient to comply with all federal, state and local laws. Failure to obtain all appropriate federal, state and local environmental permits and clearances may jeopardize funding.
- If ground disturbing activities occur during construction, applicant will monitor ground disturbance and if any potential archaeological resources are discovered, will immediately cease construction in that area and notify the State and FEMA.
- Resource Conservation Recovery Act (RCRA): 1. The Applicant shall handle, manage, and dispose of all types of hazardous waste in accordance with requirements of local, state, and federal laws, regulations, and ordinances. In addition, the Applicant shall ensure that all debris is separated and disposed of in a manner consistent with the PR DNER guidelines at a permitted site or landfill. 2. All construction material and debris deposited in eroded embankments must be removed before start of work. Final disposal of bituminous and any non-recyclable debris materials resulting from the restoration and demolition activities must take place at an authorized sanitary landfill. Noncompliance with these requirements may jeopardize receipt of federal funds. 3. Unusable equipment, debris, white goods, scrap metal any other material shall be disposed in approved manner and location. In the event significant items are discovered during the implementation or development of the project the Applicant shall handle, manage and dispose petroleum products, hazardous materials and toxic waste in accordance to the requirements of the local and federal agencies. Noncompliance with these requirements may jeopardize receipt of federal funds.

### EHP Additional Info

There is no additional environmental historical preservation on **MSAN121-Santa Isabel Market Place (Plaza Mercado)**.

## Final Reviews

### Final Review

**Reviewed By** ASENCIO LUCIANO, JAVIER O.

**Reviewed On** 06/23/2021 9:27 AM AST

#### Review Comments

Insurance amendment for actual insurance proceeds. Project is recommended for Final Recipient Review.

### Recipient Review

**Reviewed By** Aponte, Omar

**Reviewed On** 06/23/2021 12:47 PM AST

#### Review Comments

Recipient review limited to; spot-checking the DDD, SOW, HMP, costs and factors, codes/standards; review for post-award or closeout challenges; review of concerns communicated by the Subrecipient. The Subrecipient is responsible to fully review the project to ensure all aspects of project formulation are accurate and properly captured, including but not limited to: DDD; SOW necessary for repair/replacement of the disaster-caused damages; proper application of codes and standards including the consensus-based codes and standards, if applicable; 406 mitigation and BCA; cost estimate, or actual costs for work completed, necessary to complete the eligible scope of work, including all necessary costs such as engineering design services when appropriate; 50% repair versus replacement calculation including necessary back up documentation; insurance reductions based on actual or anticipated insurance proceeds; insurance obtain and maintain requirements; EHP reviews and conditions

## Project Signatures

**Signed By** Negron Aponte, Angel

**Signed On** 06/29/2021

## RECORD OF ENVIRONMENTAL CONSIDERATION (REC)

Project PA-02-PR-4339-PW-02407

Title: 80738 - MSAN121-Santa Isabel Market Place (Plaza Mercad)

## NEPA DETERMINATION

|                               |                       |                       |
|-------------------------------|-----------------------|-----------------------|
| <b>Non Compliant Flag:</b> No | <b>EA Draft Date:</b> | <b>EA Final Date:</b> |
| <b>EA Public Notice Date:</b> | <b>EA Fonsi</b>       | <b>Level:</b> CATEX   |
| <b>EIS Notice of Intent</b>   | <b>EIS ROD Date:</b>  |                       |

**Comment** Municipality of Santa Isabel, Puerto Rico (17.96935 -66.4089) Cat E, 0% completed. Applicant will be utilizing contractor services and/or force account to complete the repairs of Market Place building. All Repairs will be made using in-kind materials to restore the facility to pre-disaster conditions within the existing footprint.

## Administrative Office:

Remove and replace Acoustic Ceiling Tiles, A/C 13500 BTU.

## Bathroom:

Remove and replace Gypsum board Ceilings.

## Ceiling:

Remove and replace, Metal Four blades fans, Metal Recessed Troffer, Fluorescent lamps.

## Interior Building:

Prepare and Repaint

Remove and replace Metal halide Luminaires.

## Exterior Building:

Prepare and Repaint

Remove and replace Lithonia Luminaires, Metal Halides, Luminaire in Ornamental Pole, Metal Galvalume roofing, Galvalume Siding covered with Styrofoam, Roof Waterproofing System, Acrylic Skylights, Metal Exit Door.

No hazzard mitigation proposal was established on the scope of work.

Applicant must provide all required documentation for compliance purposes. Any amendment or version to the scope of work must be reviewed by EHP.

- msanti22 - 11/21/2019 20:48:51 GMT

\*\*\*Version (0) is for change in costs only, previous review/comment applies.\*\*\* - msanti22 - 01/09/2020 15:15:20 GMT

\*\*\*Version (0) does not affect previous determination, previous review/comment applies.\*\*\* - msanti22 - 02/21/2020 12:34:35 GMT

\*\*\*Version (1) does not affect previous determination, previous review applies. Amended to include the following mitigation measure: Remove and replace 3608 SF of Membrane Waterproofing, on slabs, 3 ply, mopped.\*\*\* - gbenitez - 06/14/2021 17:35:51 GMT

## CATEX CATEGORIES

| Catex Category Code | Description  | Selected |
|---------------------|--|----------|
| *n7                 | (*n7) Federal Assistance for Structure and Facility Upgrades. Federal assistance for the reconstruction, elevation, retrofitting, upgrading to current codes and standards, and improvements of pre-existing facilities in existing developed areas with substantially completed infrastructure, when the immediate project area has already been disturbed, and when those actions do not alter basic functions, do not exceed capacity of other system components, or modify intended land use. This category does not include actions within or affecting streams or stream banks or actions seaward of the limit of moderate wave action (or V zone when the limit of moderate wave action has not been identified). | Yes      |

## EXTRAORDINARY

| Extraordinary Circumstance Code | Description | Selected ? |
|---------------------------------|-------------|------------|
|---------------------------------|-------------|------------|



18:23:19

## RECORD OF ENVIRONMENTAL CONSIDERATION (REC)

Project PA-02-PR-4339-PW-02407

Title: 80738 - MSAN121-Santa Isabel Market Place (Plaza Mercad)

No Extraordinary Circumstances were selected

## ENVIRONMENTAL LAW / EXECUTIVE ORDER

| Environmental Law/<br>Executive Order   | Status    | Description   | Comment   |
|---|-----------|---|---|
| Clean Air Act (CAA)   | Completed | Project will not result in permanent air emissions - Review concluded                                     |   |
| Coastal Barrier Resources Act (CBRA)  | Completed | Project is not on or connected to CBRA Unit or otherwise protected area - Review concluded                |   |
| Clean Water Act (CWA)   | Completed | Project would not affect any water of the U.S. - Review concluded   |   |
| Coastal Zone Management Act (CZMA)  | Completed | Project is not located in a coastal zone area and does not affect a coastal zone area - Review concluded  |   |
| Executive Order 11988 - Floodplains   | Completed | No effect on floodplain/flood levels and project outside floodplain - Review concluded                    | Based on the ABFE available at <a href="https://gis.fema.gov/PuertoRicoABFEs/">https://gis.fema.gov/PuertoRicoABFEs/</a> accessed on 11/21/19, the project is outside the floodplain and has no effect on the floodplain values. - msanti22 - 11/26/2019 13:31:18 GMT***Version (0) is for change in costs only, previous review/comment applies.*** - msanti22 - 01/09/2020 15:16:13 GMT***Version (1) does not affect previous determination, previous review applies.**** - gbenitez - 06/14/2021 17:42:47 GMT |
| Executive Order 11990 - Wetlands  | Completed | No effects on wetlands and project outside wetlands - Review concluded                                    | Wetlands: Per the USFWS Wetlands Inventory Mapper, accessed on 11/21/19, the proposed scope of work is not located in a wetland. - msanti22 - 11/21/2019 20:56:27 GMT***Version (0) is for change in costs only, previous review/comment applies.*** - msanti22 - 01/09/2020 15:16:19 GMT***Version (1) does not affect previous determination, previous review applies.**** - gbenitez - 06/14/2021 17:42:54 GMT   |
| Executive Order 12898 - Environmental Justice for Low Income and Minority Populations | Completed | Low income or minority population in or near project area   |   |
|   | Completed | No disproportionately high and adverse impact on low income or minority population - Review concluded     |   |
| Endangered Species Act (ESA)  | Completed | Listed species and/or designated critical habitat present in areas affected directly or indirectly by the | Per the (PR/USVI) ESA Matrix, FEMA has made a determination of no effect to the listed species (PR BOA). US Fish and  |

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## RECORD OF ENVIRONMENTAL CONSIDERATION (REC)

Project PA-02-PR-4339-PW-02407

Title: 80738 - MSAN121-Santa Isabel Market Place (Plaza Mercad)

| Environmental Law/<br>Executive Order                          | Status         | Description<br>federal action   | Comment   |
|--|----------------|---|---|
|  |                |   | Wildlife Service (USFWS) concurrence received on 19 July 2019. See attached correspondence. - msanti22 - 11/21/2019 20:54:05 GMT**PLEASE DISREGARD PREVIOUS COMMENTS** Per review of U.S. Fish and Wildlife Service's Geospatial Data received on March 20, 2018, threatened/endangered species and/or critical/suitable habitat are present at project site (17.96935, -66.40890). Based on the project location and the proposed scope of work, FEMA finds there will be no effect on species or designated critical habitat. - msanti22 - 12/03/2019 20:17:43 GMT***Version (#) is for change in costs only, previous review/comment applies.*** - msanti22 - 01/09/2020 15:15:44 GMT****Please, disregard previous comment.****Per review of U.S. Fish and Wildlife Service's Geospatial Data received on March 20, 2018 and the PR ESA Matrix, FEMA has determined that there will be no effect on species or designated critical habitat, for the following listed species: <i>Epicrates inornatus</i> .**** - gbenitez - 06/14/2021 17:55:54 GMT |
|  | Completed      | No effect to species or designated critical habitat (See comments for justification) - Review concluded                             |   |
| Farmland Protection Policy Act (FPPA)                          | Completed      | Project does not affect designated prime or unique farmland - Review concluded  |   |
| Fish and Wildlife Coordination Act (FWCA)                      | Not Applicable | Project does not affect, control, or modify a waterway/body of water - Review concluded   |   |
| Migratory Bird Treaty Act (MBTA)                               | Completed      | Project located within a flyway zone  |   |
|  | Completed      | Project does not have potential to take migratory birds - Review concluded  |   |
| Magnuson-Stevens Fishery Conservation and Management Act (MSA) | Completed      | Project not located in or near Essential Fish Habitat - Review concluded  |   |
| National Historic Preservation Act (NHPA)                      | Completed      | Applicable executed Programmatic Agreement. Activity meets Programmatic Allowance (enter date and # in comments) - Review concluded | The proposed activity complies with programmatic allowances: Tier I Allowances B.1. and Tier II Allowances A.2.b. and B.3.a. identified in the Programmatic Agreement as amended on November 13, 2019, among the FEMA, the PRSHPO, and the PREMA. This determination was made by Olga Torres Rios who meets the applicable SOI  |

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## RECORD OF ENVIRONMENTAL CONSIDERATION (REC)

Project PA-02-PR-4339-PW-02407

Title: 80738 - MSAN121-Santa Isabel Market Place (Plaza Mercad)

| Environmental Law/<br>Executive Order                                       | Status    | Description   | Comment   |
|---|-----------|---|---|
|   |           |   | qualifications, pursuant to Stipulation I.B.1.a of the Agreement. - otorres4 - 11/20/2019 11:58:58 GMT...Correction in previous comment; Programmatic Agreement as amended on November 13, 2019, among the FEMA, the PRSHPO, and the COR3. Construction date was verified by Google Earth. - otorres4 - 11/26/2019 20:47:35 GMT...Previous comment applies. - otorres4 - 01/07/2020 17:08:54 GMT...Previous comment applies. - otorres4 - 02/13/2020 12:33:04 GMT***Please previous comment applies*** - gfelici2 - 06/17/2021 19:25:20 GMT |
| Resource Conservation and Recovery Act, aka Solid Waste Disposal Act (RCRA) | Completed | Review concluded  | The applicant is responsible to ensure potentially hazardous materials, if any, shall be removed and disposed of in accordance with all applicable federal and state laws and local compliance requirements. - gbenitez - 06/14/2021 17:59:39 GMT   |
| Wild and Scenic Rivers Act (WSR)  | Completed | Project is not along and does not affect Wild and Scenic River - Review concluded |   |

## CONDITIONS

**Special Conditions required on implementation of Projects:**

The Applicant shall handle, manage, and dispose of all solid and hazardous waste in accordance with requirements of local, state, and federal laws, regulations, and ordinances. In addition, the Applicant shall ensure that all debris is separated and disposed of in a manner consistent with the PR DNER guidelines at a permitted site or landfill.

All construction material and debris deposited in eroded embankments must be removed before start of work. Final disposal of bituminous and any non-recyclable debris materials resulting from the restoration and demolition activities must take place at an authorized sanitary landfill. Any changes to the approved scope of work will require resubmission through the State to FEMA for re-evaluation for compliance with the National Environmental Policy Act. Noncompliance with these requirements may jeopardize receipt of federal funds.

Unusable equipment, debris, white goods, scrap metal any other material shall be disposed in approved manner and location. In the event significant items are discovered during the implementation or development of the project the Applicant shall handle, manage, and dispose petroleum products, hazardous materials and toxic waste in accordance to the requirements of the local and federal agencies. Noncompliance with these requirements may jeopardize receipt of federal funds.

Source of condition: Resource Conservation and Recovery Act, aka Solid Waste Disposal Act (RCRA)

Monitoring Required: No

**Standard Conditions:**

Any change to the approved scope of work will require re-evaluation for compliance with NEPA and other Laws and Executive Orders.



## RECORD OF ENVIRONMENTAL CONSIDERATION (REC)

**Project** PA-02-PR-4339-PW-02407

**Title:** 80738 - MSAN121-Santa Isabel Market Place (Plaza Mercad

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This review does not address all federal, state and local requirements. Acceptance of federal funding requires recipient to comply with all federal, state and local laws. Failure to obtain all appropriate federal, state and local environmental permits and clearances may jeopardize federal funding.

If ground disturbing activities occur during construction, applicant will monitor ground disturbance and if any potential archeological resources are discovered, will immediately cease construction in that area and notify the State and FEMA.

## Department of Homeland Security Federal Emergency Management Agency

### General Info

|                                 |   |             |      |                            |   |
|---------------------------------|---|-------------|------|----------------------------|---|
| <b>Project #</b>                | 94425   | <b>PW #</b> | 3983 | <b>Project Type</b>        | Standard                                |
| <b>Project Category</b>         | E - Buildings and Equipment                                   |             |      | <b>Applicant</b>           | Santa Isabel (Municipio) (133-99133-00) |
| <b>Project Title</b>            | MSAN103- Santa Isabel Multipurpose Building Francisco Robledo |             |      | <b>Event</b>               | 4339DR-PR (4339DR)                      |
| <b>Project Size</b>             | Large   |             |      | <b>Declaration Date</b>    | 9/20/2017                               |
| <b>Activity Completion Date</b> | 9/20/2024   |             |      | <b>Incident Start Date</b> | 9/17/2017                               |
| <b>Process Step</b>             | Obligated   |             |      | <b>Incident End Date</b>   | 11/15/2017                              |

### Damage Description and Dimensions

The Disaster # 4339DR, which occurred between **09/17/2017** and **11/15/2017**, caused:

#### Damage #186123; Multipurpose Building Francisco Robledo

This Project/PW is a PA Alternative Procedures Project and funding is capped based on the fixed-cost estimate agreements for each project, in accordance with the Public Assistance Alternative Procedures (Section 428) Guide for Permanent Work, FEMA-4339-DR-PR.

#### General Facility Information:

- **Facility Type:** Building
- **Building Type:** Community Center
- **Facility:** Multipurpose Building Francisco Robledo
- **Facility Description:** The multipurpose building is a facility that was being used by residents and visitors for socio-cultural activities, meeting, conferences, concerts, trainings and other similar activities, measures are 135ft(L) x 69ft(W) x 27ft(H), and had a lobby area of 47ft(L) x 75ft(W).
- **Approx. Year Built:** 1980
- **Location Description:** Padre Ferrer Avenue, Urb Jardines de Santa Isabel, Santa Isabel, PR 00757.
- **GPS Latitude/Longitude:** 17.96871, -66.40972
- **Number of Stories:** 1

#### General Damage Information:

- **Date Damaged:** 9/20/2017
- **Cause of Damage:** The heavy rains, strong winds and rushing flood waters

#### Building Damage:

##### Building Exterior:

##### Concrete slabs:

- Building Exterior, 4 each of Concrete Concrete slabs in the back of the building damaged by hurricane high winds and wind driven rain, 10 FT long x 3 FT wide x 0.33 FT deep, Partially washed out due to the hurricane Wind driven rain, high winds and flooding., 0% work completed.

**Down Spouts:**

- Building Exterior, 4 each of Steel Down Spout Down Spout, 22 FT long x 0.33 FT wide x 0.25 FT deep, Collapsed by the the hurricane strong winds., 0% work completed.

**Exterior Fence:**

- Building Exterior, 2,100 SF of Steel Tube Fence Ornamental Steel Fence, 420 FT long x 5 FT high, Collapsed due to the hurricane strong winds and wind blown debris., 0% work completed.

**Glass Transom:**

- Building Exterior, 6 each of Glass Glass Transom, 6.33 FT long x 1 FT wide, Expanded and broken due to the wind driven rain and strong winds., 0% work completed.

**Paint:****Concrete Walls:**

- Building Exterior, 11,016 SF of Concrete Walls Walls Paint, 408 FT long x 27 FT high, Cracked and detached by the hurricane wind driven rain and strong winds., 0% work completed.

**Parking Lot:****Scoured Asphalt:**

- Building Exterior, 4.33 CY of Asphalt Scoured Asphalt, 122 FT long x 61 FT wide x 0.16 FT deep, Expanded, cracked and washed out due to the hurricane Wind driven rain and flooding., 0% work completed.

**Traffic Paint:****Blue Paint:**

- Building Exterior, Traffic Paint Yellow and blue traffic paint 3 Handicapped parking spaces, 27 regular parking spaces, 50 FT long, Partially washed out due to the hurricane Wind driven rain and flooding., 0% work completed.

**Concrete Curb:**

- Building Exterior, 225 SF of Traffic Paint Concrete curb Traffic Paint, Sq Ft, Partially washed out due to the hurricane Wind driven rain and flooding., 0% work completed.

**Yellow Paint:**

- Building Exterior, Traffic Paint Yellow and blue traffic paint 3 Handicapped parking spaces, 27 regular parking spaces, 432 FT long, Partially washed out due to the hurricane Wind driven rain and flooding., 0% work completed.

**Roof:**

- Building Exterior, 9,315 SF of Galvalume Waterproofing Roof, 135 FT long x 69 FT wide, Expanded and detached by the hurricane wind driven rain and strong winds, 0% work completed.

**Siding:**

- Building Exterior, 40 SF of Corrugate galvanized steel siding Galvalume Siding, 10 FT long x 4 FT high, Detached and bent by the hurricane strong winds., 0% work completed.



## **Building Interior:**

### **Acoustical Ceiling:**

#### **Lobby Area:**

- Building Interior, 1,220 SF of Ceiling 4FT x 2FT Acoustical Ceiling, 16 FT long x 20 FT wide, Expended and broken by the hurricane heavy rain and strong winds., 0% work completed.

#### **Mezzanine Area:**

- Building Interior, 7,935 SF of Ceiling 4FT x 2FT Acoustical Ceiling, 115 FT long x 69 FT wide, Expended and broken by the hurricane heavy rain and strong winds., 0% work completed.

### **Cement Plaster:**

- Building Interior, 5 SY of Cement Plaster Cement Plaster, 6 FT long x 7.5 FT high, Detached by the hurricane heavy rains and strong winds., 0% work completed.

### **Ceramic Floor Tiles:**

- Building Interior, 294 SF of 1FT x 1FT Ceramic Floor tiles Ceramic Floor Tiles, 21 FT long x 14 FT wide, Damaged due to the hurricane heavy rain and flooding., 0% work completed.

### **Contents:**

- Contents, 4 each of A/C units Carrier Model 50TC-D16A1A0A0A0A A/C ducts of 24in. x 27in. Air Conditioner, detached and broken due to the hurricane strong winds., 0% work completed.
- Contents, 1 each of A/C return grid vents A/C System Return Grid Vents, Damaged due to the hurricane heavy rains and strong wind., 0% work completed.

### **Door:**

#### **Aluminum:**

- Building Interior, 45 SF of Aluminum Double Aluminum Metal Door, 6 FT wide x 7.5 FT high, Detached and broken due to the hurricane strong winds., 0% work completed.

#### **Aluminum Frame:**

- Building Interior, 1 each of Aluminum Frame Double Aluminum Metal Door Aluminum Frame, 6 FT wide x 7.5 FT high, Broken due to the hurricane strong winds., 0% work completed.

#### **Hardware set:**

- Building Interior, 1 each of Hardware set Double Aluminum Metal Door Hardware set, Each, Detached and broken due to the hurricane strong winds., 0% work completed.

#### **Glass:**

- Building Interior, 48 SF of Glass door with aluminum frame Glass Door with Aluminum Frame, 6 FT wide x 8 FT high, Detached and broken due to the hurricane strong winds., 0% work completed.

#### **Aluminum Frame:**

- Building Interior, 48 SF of Aluminum frame Aluminum Frame, 6 FT wide x 8 FT high, Detached and broken due to the hurricane

strong winds., 0% work completed.

**Hardware set:**

- Building Interior, 1 each of Hardware set Hardware set, Each, Detached and broken due to the hurricane strong winds., 0% work completed.

**Electrical:**

**Wall receptacles:**

- Contents, 31 each of Duplex wall receptacles 120 V 15 amps Duplex wall receptacles 120 V 15 amps , Damaged due to the hurricane wind driven rain and strong winds, water penetration , 0% work completed.

**Gypsum Board wall Lateral:**

- Building Interior, 360 SF of Gypsum Board Gypsum Board on Lateral Wall, 72 FT long x 5 FT high, Damaged and expended by the the hurricane heavy rains and flooding., 0% work completed.

**Lighting:**

- Building Interior, 37 each of Recessed troffer lamps(4ft x 2ft) Recessed Troffer Lamps, Detached and broken due to the hurricane heavy rains and strong winds., 0% work completed.

**Paint:**

**Lobby Area:**

- Building Interior, 1,620 SF of Concrete Paint Concrete wall Paint, 162 FT long x 10 FT high, Cracked and detached by the hurricane heavy rain, flooding and strong winds., 0% work completed.

**Mezzanine:**

- Building Interior, 4,620 SF of Paint Mezzanine Wall Paint, 210 FT long x 22 FT high, Cracked and detached by the hurricane heavy rain and strong winds., 0% work completed.

## Final Scope

### 186123 Multipurpose Building Francisco Robledo

**Work completed**

The applicant utilized forced account labor, equipment, materials, and contracts for the repairs to **Plaza de Gobierno Municipal** to restore this facility back to its pre-disaster design, function and capacity (in-kind) within the existing footprint.

**Building Exterior**

**Concrete slabs:**

- A. Replaced 4 each of Concrete slabs in the back of the building (10 FT long x 3 FT wide x 0.33 FT deep)

**Contents:**

- B. Remove and replace 4 each of A/C units Carrier Model 50TC-D16A1A0A0A0A A/C ducts of 24in. x 27in.

Estimated Work to be Completed total: **\$6,104.44**

## **Work to be completed**

The applicant will utilize contract and/or force account for repairs **Multipurpose Building Francisco Robledo** to restore this facility back to its pre-disaster design, function and capacity within the existing footprint.

### **Building Exterior**

#### Down Spouts:

- A. Remove and replace 4 each of Steel Down Spout, 22 FT long x 0.33 FT wide x 0.25 FT deep.

#### Exterior Fence:

- B. Remove and replace, 2,100 SF of Steel Tube Fence Ornamental Steel Fence, 420 FT long x 5 FT high.

#### Glass Transom:

- C. Remove and replace 6 each of Glass Transom, 6.33 FT long x 1 FT wide.

#### Paint:

- D. Prep and paint 11,016 SF of Concrete Walls surface.

#### Parking Lot:

- E. Scour and replace 4.33 CY of Asphalt.
- F. Paint Blue traffic lines 3 Handicapped parking spaces.
- G. Paint 225 SF of Traffic Paint Concrete curb.
- H. Paint Traffic Paint Yellow, 27 regular parking spaces.

#### Roof:

- I. Remove and replace 9,315 SF of Galvalume Waterproofing Roof.
- J. Remove and replace 40 SF of Corrugate galvanized steel siding.

### **Building Interior**

#### Lobby Area:

- K. Remove and replace 1,220 SF of Ceiling 4FT x 2FT Acoustical Ceiling.

#### Mezzanine Area:

- L. Remove and replace 7,935 SF of Ceiling 4FT x 2FT Acoustical Ceiling.

#### Cement Plaster:

- M. Remove, replace and paint 5 SY of Cement Plaster, 6 FT long x 7.5 FT high.

#### Ceramic Floor Tiles:

- N. Remove and replace 294 SF of 1FT x 1FT Ceramic Floor tiles.

#### Contents:

- O. Remove and replace 1 each of A/C return grid vents.

#### Door:

- P. Remove and replace 45 SF of Aluminum Double Metal Door, 6 FT wide x 7.5 FT high.
- Q. Remove and replace 1 each of Double Aluminum Door Frame, 6 FT wide x 7.5 FT high.



- R. Remove and replace 1 each of Hardware set Double Aluminum Metal Door Hardware set.
- S. Remove and replace 48 SF of Glass door with aluminum frame, 6 FT wide x 8 FT high.
- T. Remove and replace 48 SF of Aluminum frame, 6 FT wide x 8 FT high.
- U. Remove and replace 1 each of Hardware set.

Electrical: Wall receptacles:

- V. Remove and replace 31 each of Duplex wall receptacles 120 V 15 amps.

Gypsum Board wall Lateral:

- W. Remove and replace 360 SF of Gypsum Board Wall.

Lighting:

- X. Remove and replace 37 each of Recessed troffer lamps (4ft x 2ft)

Paint: Lobby Area:

- Y. Prep and paint 1,620 SF of Concrete wall.

Paint: Mezzanine:

- Z. Prep and paint 4,620 SF of Mezzanine Wall Paint.

Work to be Completed total: **\$292,969.70**

**CEF Total: \$515,341.51**

**Total Damage Inventory: \$521,445.95**

Project Notes:

1. All costs associated with this project have been validated by the FEMA CRC, see attachment *ST 94425 - DR4339PR – CEF.xlsx*.
2. All procurement documents have been provided. See attachment labeled *76533-DR4339PR-Sta\_Isabel\_OT\_Procurement.pdf*
3. GPS coordinates have been checked for accuracy. PDMG confirms that coordinates are 17.969522, -66.408730 as per Location Plan. See 94425 - PDMG clarifications 2019.12.17.pdf in Grants Manager.
4. Please look for Maintenance Records in project section. See document labeled: *94425-DR4339PR-DI186123 Maintenance Record.pdf*
5. Applicant will comply with its local, state, federal procurement laws, regulations and procedures.
6. If funding from other federal grants is applied to, the subrecipient must report it to the recipient. FEMA will adjust the total funding for the project based on duplicated funding. The amount of FEMA funding will be determined after the adjustment. Alternate Federal funding can not be used to offset the non-Federal cost share of the work.
7. Completed work was estimated. See document 94425 - PDMG clarifications 2019.12.17.pdf in Grants Manager.
8. For clarifications in items F and H, see document 94425 - PDMG clarifications 2019.12.17.pdf in Grants Manager.

## 406 HMP Scope

### Hazard Mitigation Proposal (HMP) Scope of Work

For Roof:

Increase gauge for steel roofing panels of 9315 SF from 26 to 24.

For Siding:

Increase gauge for corrugated galvanized steel siding of 40 SF from 26 to 24.

For Down Spouts:

Replace 88 LF of aluminum downspouts for 88 LF of PVC downspouts. 4 X 22 (feet) (length) X .333 (feet) (width) X .25 (feet) (thick).

For Scoured Asphalt:

Install a grid reinforcement system for asphalt overlay, 122 (feet) (length) x 61 (feet) (Width) = 7,442 SF, to resist the migration of reflective cracks. (See Attachment #14: GM Project #99796 HMP product available on the market).

For Exterior Fence:

Add bracing to support perimeter fencing. Add 420 (feet) (length) of bracing for an ornamental fence of 420 (feet) (length) X 5 (feet) (height)

Cost Effectiveness Summary:

The total cost of this Hazard Mitigation Proposal is \$23,148.93, which accounts for 19.8 % of the eligible repair and restoration costs (prior to any insurance reductions) of the facility or facilities being protected. This project is considered cost-effective because the measure is specifically listed in Appendix J of the PAPPG v3.1 and is within 100% of the eligible repair costs.

**The Total mitigation cost with the required factoring (WTBC & CEF) is \$68,517.48**

**This project's Hazard Mitigation costing / soft cost / factor methodologies followed the same procedures provided in the cost estimates of the PA portion of the project.**

| Summary of Net Hazard Mitigation Cost  |            |                              |   |                                     |              |                             |                    |   |                                     |             |                 |
|--|------------|------------------------------|---|-------------------------------------|--------------|-----------------------------|--------------------|---|-------------------------------------|-------------|-----------------|
| MSAN103- Santa Isabel Multipurpose Building Francisco Robledo, Santa Isabel, P.R. - Project #94425 |            |                              |   |                                     |              |                             |                    |   |                                     |             |                 |
| DI   | WC         | WTBC - PA RS Means Base Cost | WTBC - PA Cost with City Factors and Material Tax | WTBC - PA with Soft Cost and/or CEF | Total - PA   | WTBC- HM RS Means Base Cost | WTBC - Net HM Cost | WTBC - HM Cost with City Factors and Material Tax | WTBC - HM with Soft Cost and/or CEF | Total - HM  | Total (PA + HM) |
| #186123  | \$6,104.44 | \$137,936.61                 | \$292,969.70                                      | \$515,341.51                        | \$521,445.95 | \$55,433.29                 | \$23,148.93        | \$39,048.21                                       | \$68,517.48                         | \$68,517.48 | \$589,963.43    |
| Sub total  | \$6,104.44 |                              |   |                                     | \$521,445.95 |                             |                    |   |                                     | \$68,517.48 | \$589,963.43    |
| Project Total  |            |                              |   |                                     |              |                             |                    |   |                                     |             | \$589,963.43    |
| Note: WC = Work Completed  |            |                              |   |                                     |              |                             |                    |   |                                     |             |                 |
| WTBC = Work to be Completed  |            |                              |   |                                     |              |                             |                    |   |                                     |             |                 |

HMP Notes:

Note 1: HMP SOW: Per the Public Assistance Alternative Procedures (PAAP) (Section 428), Guide for Permanent Work, April 2018, "FEMA will evaluate each mitigation opportunity to first determine what measures or portions of solutions could be funded through Section 406 mitigation" (Page 7) and "FEMA, the Applicant, Recipient, and Sub-recipients will develop and agree to scopes of work (SOW) and cost estimates to repair, restore, or replace eligible facilities including 406 hazard mitigation" (Page 6).

Note 2: TIMEFRAME: Per PAAP (Section 428), Guide for Permanent Work, April 2018, "In order to expedite assistance, agreement on the cost estimate of each project must be reached (by October 11, 2019) within 18 months of the date of publication of this guide (April 11, 2018)" (Page 12).

Note 3: HMP SOW CHANGE: Per PAAP (Section 428), Guide for Permanent Work, April 2018, "After the project is obligated, the SOW for the HMP can be changed only once and the change must occur within the 18-month period" (Page 14).

Note 4: PERMITS: Per PAAP (Section 428), Guide for Permanent Work, April 2018, "Once the project is obligated, FEMA's EHP review process is complete for that obligated project and the Recipient or Subrecipient is responsible for complying with all grant conditions, including obtaining all necessary permits prior to start of construction" (Page 15).

Note 5: H & H STUDY: Public Assistance Program and Policy Guide (PAPPG), published April 26, 2018, Appendix J, Cost-Effective Hazard Mitigation Measures, Sections I.A.1 and C.1 requires a watershed hydrology and hydraulics (H&H) study, with an emphasis on downstream effects, for projects involving replacing or upsizing drainage structures or culverts, page 190. Projects located outside the special flood hazard area (SFHA) may not require an H & H Study per the July 9, 2018 policy clarification letter from Keith Turi, Assistant Administrator Recovery Directorate.

Note 6: This project's Hazard Mitigation costing / soft cost / factor methodologies followed the same procedures provided in the cost estimates of the PA portion of the project.



## Cost

| Code   | Quantity | Unit     | Total Cost   | Section     |
|--|----------|----------|--------------|-------------|
| 9201 (PAAP Fixed Estimate (No Value - Tracking Purposes Only)) | 1.00     | Lump Sum | \$0.00       | Completed   |
| 9001 (Contract)  | 1.00     | Lump Sum | \$6,104.44   | Completed   |
| 9000 (CEF Cost Estimate)                                       | 1.00     | Lump Sum | \$515,341.51 | Uncompleted |

CRC Gross Cost \$521,445.95

Total 406 HMP Cost \$68,517.48

Total Insurance Reductions (\$47,675.06)

CRC Net Cost \$542,288.37

Federal Share (90.00%) \$488,059.54

Non-Federal Share (10.00%) \$54,228.83

## Award Information

### Version Information

| Version # | Eligibility Status | Current Location | Bundle Number                | Project Amount | Cost Share | Federal Share Obligated | Date Obligated |
|-----------|--------------------|------------------|------------------------------|----------------|------------|-------------------------|----------------|
| 0         | Eligible           | Awarded          | PA-02-PR-4339-PW-03983(3383) | \$211,566.95   | 90%        | \$190,410.26            | 4/27/2020      |
| 1         | Eligible           | Awarded          | PA-02-PR-4339-PW-03983(9190) | \$330,721.42   | 90%        | \$297,649.28            | 6/30/2021      |

### Drawdown History

| EMMIE Drawdown Status As of Date | IFMIS Obligation # | Expenditure Number | Expended Date | Expended Amount |
|----------------------------------|--------------------|--------------------|---------------|-----------------|
| No Records                       |                    |                    |               |                 |

### Obligation History

| Version # | Date Obligated | Obligated Cost | Cost Share | IFMIS Status | IFMIS Obligation # |
|-----------|----------------|----------------|------------|--------------|--------------------|
|-----------|----------------|----------------|------------|--------------|--------------------|

## Subgrant Conditions

- As described in 2 CFR, Part 200 § 200.333, financial records, supporting documents, statistical records and all other non-Federal entity records pertinent to a Federal award must be retained for a period of three (3) years from the date of submission of the final expenditure report or, for Federal awards that are renewed quarterly or annually, from the date of the submission of the quarterly or annual financial report, respectively, as reported to the Federal awarding agency or pass-through entity in the case of a sub-recipient. Federal awarding agencies and pass-through entities must not impose any other record retention requirements upon non-Federal entities. Exceptions, Part 200.333, (a) – (f), (1), (2). All records relative to this Project Worksheet are subject to examination and audit by the State, FEMA and the Comptroller General of the United States and must reflect work related to disaster-specific costs.
- In the seeking of proposals and letting of contracts for eligible work, the Applicant/Subrecipient must comply with its Local, State (provided that the procurements conform to applicable Federal law) and Federal procurement laws, regulations, and procedures as required by FEMA Policy 2 CFR Part 200, Procurement Standards, §§ 317-326.
- The Recipient must submit its certification of the applicant's completion of this project, the final claim for payment, and supporting documentation within 180 days from the date that the applicant completes the scope of work. Project Worksheets written as large projects (costs above the large project threshold) are reimbursed based on the actual eligible final project costs. Therefore, during the final project reconciliation (closeout), the project may be amended to reflect the reconciliation of actual eligible costs.
- When any individual item of equipment purchased with PA funding is no longer needed, or a residual inventory of unused supplies exceeding \$5,000 remains, the subrecipient must follow the disposition requirements in Title 2 Code of Federal Regulations (C.F.R.) § 200.313-314.
- The terms of the FEMA-State Agreement are incorporated by reference into this project award under the Public Assistance grant and the applicant must comply with all applicable laws, regulations, policy, and guidance. This includes, among others, the Robert T. Stafford Disaster Relief and Emergency Assistance Act; Title 44 of the Code of Federal Regulations; FEMA Policy No. 104-009-2, Public Assistance Policy and Program Guide; and other FEMA policy and guidance.
- The DHS Standard Terms and Conditions in effect as of the date of the declaration of this major disaster are incorporated by reference into this project award under the Public Assistance grant, which flow down from the Recipient to subrecipients unless a particular term or condition indicates otherwise.
- The Uniform Administrative Requirements, Cost Principles, and Audit Requirements set forth at 2 C.F.R. pt. 200 apply to this project award under the Public Assistance grant, which flow down from the Recipient to all subrecipients unless a particular section of 2 C.F.R. pt. 200, the FEMA-State Agreement, or the terms and conditions of this project award indicate otherwise. See 2 C.F.R. §§ 200.101 and 110.
- The applicant must submit a written request through the Recipient to FEMA before it makes a change to the approved scope of work in this project. If the applicant commences work associated with a change before FEMA approves the change, it will jeopardize financial assistance for this project. See FEMA Policy No. 104-009-2, Public Assistance Program and Policy Guide.
- Pursuant to section 312 of the Stafford Act, 42 U.S.C. 5155, FEMA is prohibited from providing financial assistance to any entity that receives assistance from another program, insurance, or any other source for the same work. The subrecipient agrees to repay all duplicated assistance to FEMA if they receive assistance for the same work from another Federal agency, insurance, or any other source. If an subrecipient receives funding from another federal program for the same purpose, it must notify FEMA through the Recipient and return any duplicated funding.

## Insurance

### Additional Information

6/15/2021



## **GENERAL INFORMATION**

Event: 4339DR-PR

Project: ST 94425

Category of Work: Cat G - Parks, Recreation, Misc

Applicant: Santa Isabel (Municipio)

Event Type: Hurricane / Maria

Cause of Loss: Wind / Wind Driven Rain

Incident Period: 9/17/2017 to 11/15/2017

Total Public Assistance Amount: \$589,963.43 (Repair Amount \$521,445.95 + HMP Amount \$68,517.48)

## **COMMERCIAL INSURANCE INFORMATION**

Does the Applicant have a Commercial Policy: Yes

Policyholder per Policy Documents: Municipio de Santa Isabel

Policy Issued by: Triple S

Policy Number: 30-CP-81092099-0

Policy Period: From: 6/30/2017 To: 6/30/2018

Policy Valuation: Blanket Policy

Policy Limits: (Building \$39,916,974.00 + Business Personal Property \$894,339.00)

RCV or ACV: Replacement Cost Value

Deductible Type: Per Occurrence : 2%

Does the Applicant's Commercial Policy extend coverage for the damage described in this project: Yes

The amount of the deductible being funded in this project is \$0.00.

The amount of the deductible previously funded in other projects is \$0.00. Those projects are [name projects].

Final Insurance Settlement Status: Actual Insurance proceeds have been received

The amount of Actual Insurance Proceeds for Project: \$47,675.06.

The amount of Actual Insurance Reduction applied for Project: \$47,675.06.

## **NUMBER OF DAMAGED INVENTORIES INCLUDED IN THIS PROJECT: (1)**

### **Damaged Inventory (DI) #186123:**

#### ***Multipurpose Building Francisco Robledo***

Number of damaged locations included in this DI: (1)

Location Description: Padre Ferrer Avenue, Urb Jardines de Santa Isabel, Santa Isabel, PR 00757.

GPS Coordinates: 17.96871, -66.40972

Cause of Loss: Wind / Wind Driven Rain

SOV / Schedule #: 36 "*Centro de Usos Multiples Francisco Robledo*"

SOV / Schedule Amount: \$1,300,000.00

Applicable Deductible Amount: \$26,000.00

Damage Inventory Amount: \$589,963.43 (Repair Amount \$521,445.95 + HMP Amount \$68,517.48)

Prior Obtain and Maintain Requirement:

No prior insurance requirements were found for this facility.

Reduction(s):

A reduction is being made for actual insurance proceeds in the amount of \$47,675.06. The applicant provided a final settlement allocation with actual insurance proceeds assigned to this facility in the amount of \$47,675.06; see: "*Santa Isabel Insurance Agreement - Signed.pdf*". No deductible will be considered for funding as it was not incurred by the applicant.

Obtain and Maintain Requirement:

An Obtain & Maintain Requirement is being required for Building, for the peril of Wind (all wind associated losses including "wind driven rain" for *Multipurpose Building Francisco Robledo* in the amount of \$445,011.23 (Insurable Repair Amount \$521,445.95 – Uninsurable Amount \$117,049.47 + Insurable HMP Amount \$40,614.75). Please see "94425 cost estimate insurance.pdf" and "ST94425 - HM COST – Ins" files.

Insurance Proceeds Statement:

FEMA's Recovery Policy FP 206-086-1, Public Assistance Policy on Insurance (June 29, 2015), requires applicants to take reasonable efforts to recover insurance proceeds that it is entitled to receive from its insurers. FEMA will consider final insurance settlements that may be less than the insurance policy limits when an applicant demonstrates that it has taken reasonable efforts to recover insurance proceeds that it is entitled to on a case-by-case basis.

Standard Insurance Comments

FEMA Policy 206-086-1

**PART 2: Other Insurance-Related Provisions. (Sections 312 and 406(d) of the Stafford Act)**

**A. Duplication of Benefits.** FEMA cannot provide assistance for disaster-related losses that duplicate benefits available to an applicant from another source, including insurance.

1. Before FEMA approves assistance for a property, an applicant must provide FEMA with information about any actual or anticipated insurance settlement or recovery it is entitled to for that property.
2. FEMA will reduce assistance to an applicant by the amount of its actual or anticipated insurance proceeds.
3. Applicants must take reasonable efforts to recover insurance proceeds that they are entitled to receive from their insurer(s).

FEMA Policy 206-086-1

**H. Subsequent Assistance.** When a facility that received assistance is damaged by the same hazard in a subsequent disaster:

1. If the applicant failed to maintain the required insurance from the previous disaster, then the facility is not eligible for assistance in any subsequent disaster.
2. Upon proof that the applicant maintained its required insurance, FEMA will reduce assistance in the subsequent disaster by the amount of insurance required in the previous disaster regardless of:
  - a. The amount of any deductible or self-insured retention the applicant assumed.

Obtain and Maintain Requirements:

**44 CFR § 206.253 Insurance requirements for facilities damaged by disasters other than flood.**

(a) Prior to approval of a Federal grant for the restoration of a facility and its contents which were damaged by a disaster other than flood, the recipient shall notify the Regional Administrator of any entitlement to insurance settlement or recovery for such facility and its contents. The Regional Administrator shall reduce the eligible costs by the actual amount of insurance proceeds relating to the eligible costs.

(b)

(1) Assistance under section 406 of the Stafford Act will be approved only on the condition that the recipient obtain and maintain such types and amounts of insurance as are reasonable and necessary to protect against future loss to such property from the types of hazard which caused the major disaster. The extent of insurance to be required will be based on the eligible damage that was incurred to the damaged facility as a result of the major disaster. The Regional Administrator shall not require greater types and extent of insurance than are certified as reasonable by the State Insurance Commissioner.

(2) Due to the high cost of insurance, some applicants may request to insure the damaged facilities under a blanket insurance policy covering all their facilities, an insurance pool arrangement, or some combination of these options. Such an arrangement may be accepted for other than flood damages. However, if the same facility is damaged in a similar future disaster, eligible costs will be reduced by the amount of eligible damage sustained on the previous disaster.

(c) The Regional Administrator shall notify the recipient of the type and amount of insurance required. The recipient may request that the State Insurance Commissioner review the type and extent of insurance required to protect against future loss to a disaster-damaged facility, the Regional Administrator shall not require greater types and extent of insurance than are certified as reasonable by the State Insurance Commissioner.

(d) The requirements of section 311 of the Stafford Act are waived when eligible costs for an insurable facility do not exceed \$5,000. The Regional Administrator may establish a higher waiver amount based on hazard mitigation initiatives which reduce the risk of future damages by a disaster similar to the one which resulted in the major disaster declaration which is the basis for the application for disaster assistance.

(e) The recipient shall provide assurances that the required insurance coverage will be maintained for the anticipated life of the restorative work or the insured facility, whichever is the lesser.

(f) No assistance shall be provided under section 406 of the Stafford Act for any facility for which assistance was provided as a result of a previous major disaster unless all insurance required by FEMA as a condition of the previous assistance has been obtained and maintained.

Final Obtain and Maintain requirement amount will be determined during the closeout process after the final actual eligible costs to repair or replace the insurable facility have been determined.

#### **FEMA Policy 206-086-1**

**F. Timeframes for Obtaining Insurance.** FEMA will only approve assistance under the condition that an applicant obtains and maintains the required insurance.

The applicant must document its commitment to comply with the insurance requirement with proof of insurance.

If an applicant cannot insure a facility prior to grant approval (for example, if a building is being reconstructed), the applicant may provide a letter of commitment stating that they agree to the insurance requirement and will obtain the types and extent of insurance required, followed at a later date by proof of insurance once it is obtained. In these cases, the applicant should insure the property:

- a. When the applicant resumes use of or legal responsibility for the property (for example, per terms of construction contract or at beneficial use of the property); or
- b. When the scope of work is complete.

FEMA and the recipient will verify proof of insurance prior to grant closeout to ensure the applicant has complied with the insurance requirement.

An applicant should notify FEMA—in writing through the recipient—of changes to their insurance which impact their ability to satisfy the insurance requirement after it provides proof of insurance to FEMA. This includes changes related to self-insurance. If an applicant fails to do this, FEMA may de-obligate assistance and not provide assistance in a future disaster.

David A. Ramos, PA Insurance Specialist

CRC Atlantic, Guaynabo, PR

#### **O&M Requirements**



| Insured Peril | Item Type | Description   | Required Coverage Amount |
|---------------|-----------|---|--------------------------|
| Wind          | Building  | An Obtain & Maintain Requirement is being required for Building, for the peril of Wind (all wind associated losses including "wind driven rain" for Multipurpose Building Francisco Robledo in the amount of \$445,011.23 | \$445,011.23             |

## 406 Mitigation

There is no additional mitigation information on **MSAN103-Santa Isabel Multipurpose Building Francisco Robledo**.

## Environmental Historical Preservation

Is this project compliant with EHP laws, regulations, and executive orders?

Yes

### EHP Conditions

- Any change to the approved scope of work will require re-evaluation for compliance with NEPA and other Laws and Executive Orders.
- This review does not address all federal, state and local requirements. Acceptance of federal funding requires recipient to comply with all federal, state and local laws. Failure to obtain all appropriate federal, state and local environmental permits and clearances may jeopardize funding.
- If ground disturbing activities occur during construction, applicant will monitor ground disturbance and if any potential archaeological resources are discovered, will immediately cease construction in that area and notify the State and FEMA.
- Endanger Species Act (ESA) PR & USVI BOA: \*\*\*The Applicant must provide documentation at close-out that proves completion of required Conservation Measures. Puerto Rican and Virgins Island Boas 1. Inform all personnel about the potential presence of the PR boa and the VI boa in areas where the proposed work will be conducted. Photographs of the PR and VI Boa are to be prominently displayed at the site. The recipient must ensure that project personnel is able to correctly identify a PR or VI boa. For information on PR boa, please visit: <https://ecos.fws.gov/ecp/species/6628>. 2. Prior to any construction activity, including removal of vegetation and earth movement, the boundaries of the project area must be delineated, buffer zones, and areas to be excluded and protected, should be clearly marked in the project plan and in the field to avoid further habitat degradation into forested areas. Once areas are clearly marked, and prior to any construction activity, including site preparation, project personnel able to correctly identify a PR or VI boa must survey the areas to be cleared to ensure that no boas are present within the work area. Vehicle and equipment operation must remain on designated access roads/paths and within rights-of way. 3. If a PR boa is found within any of the working or construction areas, activities should stop in the area where the boa was found. Do not capture the boa. If boas need to be moved out of harm's way, project personnel designated by the recipient shall immediately contact the Puerto Rico Department of Natural and Environmental Resources (PRDNER) Rangers for safe capture and relocation of the animal (PRDNER phone #s: 787-724-5700, 787-230-5550, 787-771-1124). If immediate relocation is not an option, project-related activities at this area must stop until the boa moves out of harm's way on its own. Activities at other work sites, where no boas have been found after surveying the area, may continue. 4. Measures should be taken to avoid and minimize PR boa casualties by heavy machinery or motor vehicles being used on site. Any heavy machinery left on site (staging) or near potential PR boa habitat (within 50 meters of potential boa habitat), needs to be thoroughly inspected each morning before work starts to ensure that no boas have sheltered within engine compartments or other areas of the equipment. If PR boas are found within vehicles or equipment, do not capture the animal and let it move on its own or call PRDNER Rangers for safe capture and relocation of the boa (PRDNER phone #s: 787-724-5700, 787-230-5550, 787-771-1124). If not possible, the animal should be left alone until it leaves the vehicle on its own. 5. PR boas may seek shelter in debris piles. Measures should be taken to avoid and minimize boa casualties associated with sheltering in debris piles as a result of project activities. Debris piles should be placed far away from forested areas. Prior to moving, disposing or shredding, debris piles should be carefully inspected for the presence of boas. If PR boas are, found within debris piles, do not capture the animal and let it move on its own or call PRDNER Rangers for safe capture and relocation of the animal. If debris piles will be left on site, we recommend they be

placed in areas that will not be disturbed in the future. 6. For all boa sightings (dead or alive), personnel designated by the recipient must record the time and date of the sighting and the specific location where the boa was found. Data should also include a photo of the animal dead or alive, and site GPS coordinates, and comments on how the animal was detected and its behavior. If the PR boa was accidentally killed as part of the project actions, please include information on what conservation measures had been implemented and what actions will be taken to avoid further killings. All boasighting reports should be sent to the USFWS Caribbean Ecological Services Field Office, Marelisa Rivera - Deputy Field Supervisor, 787- 851-7297 extension 206, 787-510-5207, marelisa\_rivera@fws.gov. For Virgin Islands Boas in St. Thomas and Steven's Cay US Virgin Islands (VI boas have not been reported on St. Croix or St. John): 7. Follow the same guidance above but contact the VI Division of Fish and Wildlife (VIDFW), for technical assistance (340-775-6762) and capture of any VI boas. For information on USVI boa, please visit: <https://ecos.fws.gov/ecp/species/3247>. The VIDFW has developed site-specific VI boa protocol; Applicants will be responsible for executing conservation measures recommended by VIDFW. Final project report to be submitted to USFWS.

- Resource Conservation and Recovery Act, aka Solid Waste Disposal Act (RCRA): 1. The Applicant shall handle, manage, and dispose of all types of hazardous waste in accordance with requirements of local, state, and federal laws, regulations, and ordinances. In addition, the Applicant shall ensure that all debris is separated and disposed of in a manner consistent with the PR DNER guidelines at a permitted site or landfill. 2. For asbestos containing material and lead base paint the Applicant shall handle, manage, and dispose of all types of hazardous waste in accordance with requirements of local, state, and federal laws, regulations, and ordinances. In addition, the Applicant shall ensure that all debris is separated and disposed of in a manner consistent with the PR-DNER guidelines at a permitted site or landfill or provide evidence of the close out permit from PR-DNER for activities of remediation, abatement or removal of those materials. 3. If roads/embankments: All construction material and debris deposited in eroded embankments must be removed before start of work. Final disposal of bituminous and any non-recyclable debris materials resulting from the restoration and demolition activities must take place at an authorized sanitary landfill. Noncompliance with these requirements may jeopardize receipt of federal funds.

#### EHP Additional Info

There is no additional environmental historical preservation on **MSAN103- Santa Isabel Multipurpose Building Francisco Robledo**.

## Final Reviews

### Final Review

**Reviewed By** ASENCIO LUCIANO, JAVIER O.

**Reviewed On** 06/23/2021 4:40 PM GMT 4

#### Review Comments

Insurance proceed amendment. Project recommended for Final Recipient Review.

### Recipient Review

**Reviewed By** Aponte, Omar

**Reviewed On** 06/23/2021 4:54 PM GMT 4

#### Review Comments

Recipient review limited to; spot-checking the DDD, SOW, HMP, costs and factors, codes/standards; review for post-award or closeout challenges; review of concerns communicated by the Subrecipient. The Subrecipient is responsible to fully review the project to ensure all aspects of project formulation are accurate and properly captured, including but not limited to: DDD; SOW necessary for repair/replacement of the disaster-caused damages; proper application of codes and standards including the consensus-based codes and standards, if applicable; 406 mitigation and BCA; cost estimate, or actual costs for work completed, necessary to complete the eligible scope of work, including all necessary costs such as engineering design services when appropriate; 50% repair versus replacement calculation including necessary back up documentation; insurance reductions based on actual or anticipated insurance proceeds; insurance obtain and maintain requirements; EHP reviews and conditions

## Fixed Cost Offer

As a Public Assistance (PA) Subrecipient Santa Isabel (Municipio) (133-99133-00), in accordance with Section 428 of the Robert T. Stafford Disaster Relief and Emergency Assistance Act, the Applicant agrees to accept a permanent work subaward based on a Fixed Cost Offer in the amount of \$542,288.37 for subaward number 3983 under Disaster # 4339. The Applicant accepts responsibility for all costs above the Fixed Cost Offer.

The Applicant understands that by participating in this pilot program they will be reimbursed for allowable costs in accordance with 2 CFR Part 200, and the reimbursement will not exceed the Fixed Cost Offer. The Applicant also understands that by agreeing to this Fixed Cost Offer, they will not receive additional funding related to the facilities or sites included in the subaward. The Applicant also acknowledges that failure to comply with the requirements of applicable laws and regulations governing assistance provided by FEMA and the PA Alternative Procedures Pilot Program Guidance (such as procurement and contracting; environmental and historic preservation compliance; and audit and financial accountability) may lead to loss of federal funding.

## Project Signatures

**Signed By** Negron Aponte, Angel

**Signed On** 06/29/2021



## RECORD OF ENVIRONMENTAL CONSIDERATION (REC)

Project PA-02-PR-4339-PW-03983

Title: 94425 - MSAN103- Santa Isabel Multipurpose Building Fra

## NEPA DETERMINATION

Non Compliant Flag: No      EA Draft Date:      EA Final Date:  
 EA Public Notice Date:      EA Fonsi      Level: CATEx  
 EIS Notice of Intent      EIS ROD Date:

**Comment** Santa Isabel (Municipio), GPS coordinates:17.968710,-66.409722, Category E, Work completed (0%), Applicant will use force account and contracts for the repairs Plaza de Gobierno Municipal, GPS 17.968710,-66.409722 to restore this facility back to its pre-disaster design, function and capacity (in-kind) within the existing footprint. Work to include: Building exterior: remove/replace concrete slabs, 4 a/c units, downspouts, ornamental steel fence, glass transom, paint concrete walls, replace asphalt in parking lot, remove/replace ceiling acoustical ceiling, ceramic floor tiles, aluminum door, electrical wall receptacles and recessed troffer lamps.; HAZARD MITIGATION PROPOSAL: Applicant proposes the following mitigation measures:(i) Replace 88 LF of aluminum downspouts for 88 LF of PVC downspouts. 4 X 22 (feet) (length) X .333 (feet) (width) X .25 (feet) (thick); (ii) Install a grid reinforcement system for asphalt overlay; (iii) Add bracing to support perimeter fencing. Add 420 (feet) (length) of bracing for an ornamental fence of 420 (feet) (length) X 5 (feet) (height).  
 - jsinski - 02/20/2020 14:31:45 GMT

## \*\*\*PLEASE DISREGARD PREVIOUS COMMENT\*\*\*

Multipurpose Building Francisco Robledo, Municipality of Santa Isabel, Corrected GPS coordinates: 17.9693, -66.4091, Category E, PW 3983, work completed (0%). Applicant will use force account and contracts for the repairs to restore this facility back to its pre-disaster design, function and capacity within the existing footprint. WORK COMPLETED: replaced concrete slabs, A/C units (4). WORK TO BE COMPLETED: remove and replace exterior building's downspouts, ornamental steel fence, glass transom, asphalt in parking lot, galvalume waterproofing roof, corrugate galvanized steel siding; paint handicapped parking spaces, traffic concrete curb, regular parking spaces; interior building's acoustical ceiling, cement plaster, ceramic floor tiles, return grid vents, aluminum and glass door, frame and hardware set, electrical wall receptacles and recessed troffer lamps, gypsum board wall, paint concrete and mezzanine wall. MITIGATION: increase gauge for steel roofing panels, increase gauge for corrugated galvanized steel siding, replace aluminum downspouts, install a grid reinforcement system for asphalt overlay, add bracing to support perimeter fencing. Any additional and/or amendment to the scope of work must be reviewed by EHP.  
 - mramir25 - 06/21/2021 19:01:47 GMT  
 ¿\*\*\*Version (1), previous review applies.\*\*\* - mramir25 - 06/23/2021 17:13:10 GMT

## CATEx CATEGORIES

| Catex Category Code | Description  | Selected |
|---------------------|--|----------|
| *n7                 | (*n7) Federal Assistance for Structure and Facility Upgrades. Federal assistance for the reconstruction, elevation, retrofitting, upgrading to current codes and standards, and improvements of pre-existing facilities in existing developed areas with substantially completed infrastructure, when the immediate project area has already been disturbed, and when those actions do not alter basic functions, do not exceed capacity of other system components, or modify intended land use. This category does not include actions within or affecting streams or stream banks or actions seaward of the limit of moderate wave action (or V zone when the limit of moderate wave action has not been identified). | Yes      |

## EXTRAORDINARY

| Extraordinary Circumstance Code | Description                                  | Selected ? |
|---------------------------------|--|------------|
|                                 | No Extraordinary Circumstances were selected |            |

## RECORD OF ENVIRONMENTAL CONSIDERATION (REC)

Project PA-02-PR-4339-PW-03983

Title: 94425 - MSAN103- Santa Isabel Multipurpose Building Fra

## ENVIRONMENTAL LAW / EXECUTIVE ORDER

| Environmental Law/<br>Executive Order   | Status    | Description  | Comment   |
|---|-----------|--|---|
| Clean Air Act (CAA)   | Completed | Project will not result in permanent air emissions - Review concluded  |   |
| Coastal Barrier Resources Act (CBRA)  | Completed | Project is not on or connected to CBRA Unit or otherwise protected area - Review concluded                               |   |
| Clean Water Act (CWA)   | Completed | Project would not affect any water of the U.S. - Review concluded  |   |
| Coastal Zone Management Act (CZMA)  | Completed | Project is not located in a coastal zone area and does not affect a coastal zone area - Review concluded                 |   |
| Executive Order 11988 - Floodplains   | Completed | No effect on floodplain/flood levels and project outside floodplain - Review concluded                                   | Based on the ABFE available at <a href="https://gis.fema.gov/PuertoRicoABFEs/">https://gis.fema.gov/PuertoRicoABFEs/</a> accessed on 2/20/2020, the project is outside the floodplain and has no effect on the floodplain values. - jslinski - 02/20/2020 14:10:01 GMT***Previous comment applies*** - mramir25 - 06/21/2021 18:59:39 GMT   |
| Executive Order 11990 - Wetlands  | Completed | No effects on wetlands and project outside wetlands - Review concluded   | Per the USFWS Wetlands Inventory Mapper, accessed on 2/20/2020, the proposed scope of work is not located in a wetland. - jslinski - 02/20/2020 13:53:03 GMT***Previous comment applies*** - mramir25 - 06/21/2021 18:59:49 GMT   |
| Executive Order 12898 - Environmental Justice for Low Income and Minority Populations | Completed | Low income or minority population in or near project area  |   |
|   | Completed | No disproportionately high and adverse impact on low income or minority population - Review concluded                    |   |
| Endangered Species Act (ESA)  | Completed | Listed species and/or designated critical habitat present in areas affected directly or indirectly by the federal action | Per review of U.S. Fish and Wildlife Service's Geospatial Data received on March 20, 2018 and the PR ESA Matrix, FEMA has determined that threatened/endangered species and/or critical habitat are present at the project site(s) (GPS Coordinates 17.96871,-66.40972 ). Based on the project location and the proposed scope of work, FEMA has made a determination of ¿may affect, but not likely to adversely affect species or designated critical habitat¿ for the following listed species: Puerto Rican boa (Epicrates inornatus). - jslinski - 02/20/2020 13:40:05 GMT***PLEASE DISREGARD PREVIOUS COMMENT***Per review of the U.S. Fish and Wildlife Service's Information, Planning, and |

## RECORD OF ENVIRONMENTAL CONSIDERATION (REC)

Project PA-02-PR-4339-PW-03983

Title: 94425 - MSAN103- Santa Isabel Multipurpose Building Fra

| Environmental Law/<br>Executive Order                                       | Status    | Description   | Comment   |
|---|-----------|---|---|
|   |           |   | Consultation System (IPaC), dated <<6/21/2021>>, FEMA has determined that threatened/endangered species and/or critical habitat are present at the project site(s): (17.9693, -66.4091). Based on the project location and scope of work, FEMA has made the following determinations using the PR ESA Matrix in accordance with the agreement between FEMA and the USFWS PR Field Office, dated November 17, 2020: NLAA- Epicrates inornatus (Puerto Rican boa). - mramir25 - 06/21/2021 18:53:28 GMT   |
|   | Completed | May affect, but not likely to adversely affect species or designated critical habitat (FEMA determination/USFWS/NMFS concurrence attached) - Review concluded |   |
| Farmland Protection Policy Act (FPPA)                                       | Completed | Project does not affect designated prime or unique farmland - Review concluded  |   |
| Migratory Bird Treaty Act (MBTA)  | Completed | Project located within a flyway zone  |   |
|   | Completed | Project does not have potential to take migratory birds - Review concluded  |   |
| Magnuson-Stevens Fishery Conservation and Management Act (MSA)              | Completed | Project not located in or near Essential Fish Habitat - Review concluded  |   |
| National Historic Preservation Act (NHPA)                                   | Completed | Applicable executed Programmatic Agreement. Activity meets Programmatic Allowance (enter date and # in comments) - Review concluded                           | The proposed activity complies with programmatic allowance Tier I, B.1. Allowance, and Tier II Allowance A.2.b., as identified in Appendix B of the Puerto Rico Programmatic Agreement among FEMA, PRSHPO, and the COR3, as amended November 13, 2019. This determination was made by Marielle A. Santiago Pabon (Structures) who meets the applicable SOI qualifications, pursuant to Stipulation I.B.1.a of the Agreement. Construction date verified by USGS Historical Topographic Map Explorer. - msanti33 - 02/20/2020 18:47:08 GMT***Previous review applies*** - ecalvit - 06/17/2021 20:27:05 GMT***Version 1 is for change in cost only, previous review applies*** - ecalvit - 06/22/2021 21:57:51 GMT |
| Resource Conservation and Recovery Act, aka Solid Waste Disposal Act (RCRA) | Completed | Review concluded  | The applicant is responsible to ensure potentially hazardous materials, if any, shall be removed and disposed of in accordance with all applicable federal and  |



## RECORD OF ENVIRONMENTAL CONSIDERATION (REC)

Project PA-02-PR-4339-PW-03983

Title: 94425 - MSAN103- Santa Isabel Multipurpose Building Fra

Environmental Law/  
Executive Order

## Status

## Description

## Comment

state laws and local compliance requirements. At time of closeout, all final disposition areas must be identified, and permit numbers must be provided. - mramir25 - 06/21/2021 18:59:03 GMT

Wild and Scenic Rivers Act  
(WSR)

Completed

Project is not along and does not affect Wild and Scenic River - Review concluded

## CONDITIONS

## Special Conditions required on implementation of Projects:

The Applicant must provide documentation at close-out that proves completion of required Conservation Measures.

USFWS Required Conservation Measures (FEMA Project Conditions)

The below Conservation Measures are to be used in concert with the Puerto Rico and US Virgin Islands ESA Compliance Determination Matrix and shall serve as required project conditions to avoid and reduce adverse effects to threatened and endangered species when applied to FEMA grant projects. Reptiles Puerto Rican Boas in Puerto Rico.

1. Inform all personnel about the potential presence of the PR boa in areas where the proposed work will be conducted. Photographs of the PR Boa are to be prominently displayed at the site. This measure will be conducted in accordance with the FEMA/USFWS/DNER-approved SOP for employee boa awareness training and project site preparation.
2. Train project personnel on the identification and handling of snakes so they can be available to respond to sightings and as necessary safely handle boas found at project sites. Verify with the Puerto Rico DNER if a permit is needed for snake handling and/or relocation activities. This measure will be conducted in accordance with the FEMA/USFWS/DNER-approved SOP for employee boa awareness training and project site preparation. Alternatively, biological professionals can be hired for this task.
3. Prior to any construction activity, including removal of vegetation and earth movement, the contractor-delineated boundaries of the project area, the buffer zones, and areas to be excluded and protected should be clearly marked in the project plan and in the field to avoid further habitat degradation into forested areas. Once areas are clearly marked, and prior to any construction activity, including site preparation, personnel trained in boa identification must survey the areas to be cleared to ensure that no boas are present within the work area. Vehicle and equipment operation must remain on designated access roads/paths and within rights-of way. This measure will be conducted in accordance with the FEMA/USFWS/DNER-approved SOP for employee boa awareness training and project site preparation. Alternatively, biological professionals can be hired for this task.
4. If boas are found within any of the working or construction areas, activities shall stop in the area where boas are found. Boas must be safely captured and relocated at least 1 km from project, within suitable forested habitat, and away from construction areas and roads. Relocation of boas shall be done by trained and designated personnel, and shall not harm or injure captured boas. Activities at other work sites, where no boas have been found after surveying the area, may continue. If immediate relocation is not an option, project-related activities at this area must stop until the boa moves out of harm's way on its own. Another option is to call DNER Rangers for safe capture and relocation (DNER phone #s: 787-724-5700, 787-230-5550, 787-771-1124). This measure will be conducted in accordance with the FEMA/USFWS/DNER-approved SOP for employee boa awareness training and project site preparation. Alternatively, biological professionals can be hired for this task.

Source of condition: Endangered Species Act (ESA)

Monitoring Required: No

5. Any heavy machinery left on site (in staging) within 50 meters of forest vegetation needs to be thoroughly inspected each morning before work starts to ensure that no boas are sheltered within engine compartments or other areas of the equipment. If boas are found within vehicles or equipment, boas need to be safely captured and relocated. This measure will be conducted in accordance with the FEMA/USFWS/DNER-approved SOP for employee boa awareness training and project site preparation. Alternatively, biological professionals can be hired for this task.

6. Prior to moving, disposing or shredding, debris piles shall be carefully inspected for the presence of boas. If boas are found in debris piles, contractors shall wait for boas to move away on their own; if this does not occur, boas need to be safely captured and relocated. This measure will be conducted in accordance with the FEMA/USFWS/DNER-approved SOP for employee boa awareness training and project site preparation. Alternatively, biological professionals can be hired for this task.

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7. For all boa sightings (dead or alive), the Applicant must record the time and date of the sighting and the specific location where it was found. Boa data should also include a photo of the animal (dead or alive), relocation site GPS coordinates, and the time and date of the relocation. All boa sightings and relocation reports should be sent to the USFWS Caribbean Ecological Services Field Office, Marelisa Rivera - Deputy Field Supervisor, 787-851-7297 extension 206, 787-510-5207, marelisa\_rivera@fws.gov. This measure will be conducted in accordance with the FEMA/USFWS/DNER-approved SOP for employee boa awareness training and project site preparation. Alternatively, biological professionals can be hired for this task.

Source of condition: Endangered Species Act (ESA)

Monitoring Required: No

### PLEASE DISREGARD PREVIOUS CONDITIONS

Source of condition: Endangered Species Act (ESA)

Monitoring Required: No

The Applicant must provide documentation at close-out that proves completion of required Conservation Measures.

Source of condition: Endangered Species Act (ESA)

Monitoring Required: No

### Reptiles

#### Puerto Rican and Virgins Island Boas

1. Inform all personnel about the potential presence of the PR boa and the VI boa in areas where the proposed work will be conducted. Photographs of the PR and VI Boa are to be prominently displayed at the site. The recipient must ensure that project personnel is able to correctly identify a PR or VI boa. For information on PR boa, please visit: <https://ecos.fws.gov/ecp/species/6628>.

2. Prior to any construction activity, including removal of vegetation and earth movement, the boundaries of the project area must be delineated, buffer zones, and areas to be excluded and protected, should be clearly marked in the project plan and in the field to avoid further habitat degradation into forested areas. Once areas are clearly marked, and prior to any construction activity, including site preparation, project personnel able to correctly identify a PR or VI boa must survey the areas to be cleared to ensure that no boas are present within the work area. Vehicle and equipment operation must remain on designated access roads/paths and within rights-of way.

3. If a PR boa is found within any of the working or construction areas, activities should stop in the area where the boa was found. Do not capture the boa. If boas need to be moved out of harm's way, project personnel designated by the recipient shall immediately contact the Puerto Rico Department of Natural and Environmental Resources (PRDNER) Rangers for safe capture and relocation of the animal (PRDNER phone #s: 787-724-5700, 787-230-5550, 787-771-1124). If immediate relocation is not an option, project-related activities at this area must stop until the boa moves out of harm's way on its own. Activities at other work sites, where no boas have been found after surveying the area, may continue.

Source of condition: Endangered Species Act (ESA)

Monitoring Required: No

4. Measures should be taken to avoid and minimize PR boa casualties by heavy machinery or motor vehicles being used on site. Any heavy machinery left on site (staging) or near potential PR boa habitat (within 50 meters of potential boa habitat), needs to be thoroughly inspected each morning before work starts to ensure that no boas have sheltered within engine compartments or other areas of the equipment. If PR boas are found within vehicles or equipment, do not capture the animal and let it move on its own or call PRDNER Rangers for safe capture and relocation of the boa (PRDNER phone #s: 787-724-5700, 787-230-5550, 787-771-1124). If not possible, the animal should be left alone until it leaves the vehicle on its own.

5. PR boas may seek shelter in debris piles. Measures should be taken to avoid and minimize boa casualties associated with sheltering in debris piles as a result of project activities. Debris piles should be placed far away from forested areas. Prior to moving, disposing or shredding, debris piles should be carefully inspected for the presence of boas. If PR boas are, found within debris piles, do not capture the animal and let it move on its own or call PRDNER Rangers for safe capture and relocation of the animal. If debris piles will be left on site, we recommend they be placed in areas that will not be disturbed in the future.

6. For all boa sightings (dead or alive), personnel designated by the recipient must record the time and date of the sighting and the specific location where the boa was found. Data should also include a photo of the animal dead or alive, and site GPS coordinates, and comments on how the animal was detected and its behavior. If the PR boa was accidentally killed as part of the project actions, please include information on what conservation measures had been implemented and what actions will be taken to avoid further killings. All boa-sighting reports should be sent to the USFWS Caribbean Ecological Services Field Office, Marelisa Rivera - Deputy Field Supervisor, 787-851-7297 extension 206, 787-510-5207, marelisa\_rivera@fws.gov.

For Virgin Islands Boas in St. Thomas and Steven's Cay US Virgin Islands (VI boas have not been reported on St. Croix or St. John):

7. Follow the same guidance above but contact the VI Division of Fish and Wildlife (VIDFW), for technical assistance (340-775-6762) and capture of any VI boas. For information on USVI boa, please visit: <https://ecos.fws.gov/ecp/species/3247>.

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Title: 94425 - MSAN103- Santa Isabel Multipurpose Building Fra

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The VIDFW has developed site-specific VI bo protocol; Applicants will be responsible for executing conservation measures recommended by VIDFW. Final project report to be submitted to USFWS.

Source of condition: Endangered Species Act (ESA) Monitoring Required: No

¿ The Applicant shall handle, manage, and dispose of all types of hazardous waste in accordance with requirements of local, state, and federal laws, regulations, and ordinances. In addition, the Applicant shall ensure that all debris is separated and disposed of in a manner consistent with the PR DNER guidelines at a permitted site or landfill.

¿ For asbestos containing material and lead base paint the Applicant shall handle, manage, and dispose of all types of hazardous waste in accordance with requirements of local, state, and federal laws, regulations, and ordinances. In addition, the Applicant shall ensure that all debris is separated and disposed of in a manner consistent with the PR-DNER guidelines at a permitted site or landfill or provide evidence of the close out permit from PR-DNER for activities of remediation, abetment or removal of those materials.

¿ If roads/embankments: All construction material and debris deposited in eroded embankments must be removed before start of work. Final disposal of bituminous and any non-recyclable debris materials resulting from the restoration and demolition activities must take place at an authorized sanitary landfill. Noncompliance with these requirements may jeopardize receipt of federal funds.

Source of condition: Resource Conservation and Recovery Act, aka Solid Waste Disposal Act (RCRA) Monitoring Required: No

Standard Conditions:

Any change to the approved scope of work will require re-evaluation for compliance with NEPA and other Laws and Executive Orders.

This review does not address all federal, state and local requirements. Acceptance of federal funding requires recipient to comply with all federal, state and local laws. Failure to obtain all appropriate federal, state and local environmental permits and clearances may jeopardize federal funding.

If ground disturbing activities occur during construction, applicant will monitor ground disturbance and if any potential archeological resources are discovered, will immediately cease construction in that area and notify the State and FEMA.