



**Environmental Assessment  
Determinations and Compliance Findings for  
HUD-assisted Projects  
24 CFR Part 58**

PR-SIH-00005A: Albergue Alespi

Centro María Mazzarello Alespi, Inc.

Manuel Rodríguez Rodríguez

**Environmental Assessment**  
**Determinations and Compliance Findings for HUD-assisted**  
**Projects**  
**24 CFR Part 58**

**Project Information**

**Project Name:** PR-SIH-00005A - Albergue Alespi

**Responsible Entity:** Puerto Rico Department of Housing

**Grant Recipient** (if different than Responsible Entity): **Centro Maria Mazzarello Alespi, Inc.**

**State/Local Identifier:** Orocovis, Puerto Rico

**Preparer:** Manuel Rodríguez Rodríguez

**Certifying Officer Name and Title:** Sally Z. Acevedo Cosme, Juan Carlos Pérez Bofill, Pedro de León Rodríguez, María T. Torres-Bregón, Angel G. López Guzmán, Ivelisse Lorenzo Torres, Santa D. Ramírez-Lebrón

**Consultant** (if applicable): N/A

**Direct Comments to:** Centro María Mazzarello Alespi, Inc.  
P.O. Box. 1877, Orocovis, P.R., 00720  
Email: centroalespi@gmail.com

**Project Location:** PR-157, Km. 23.7, Orocovis, P.R.  
**Cadastre No.:** 219-000-003-45  
**Latitude:** 18.241625  
**Longitude:** -66.406044

**Description of the Proposed Project** [24 CFR 58.32; 40 CFR 1508.25]:

The proposed undertaking for this project is the construction of a stand-alone two-story concrete building, the Alespi Hostel, on the grounds of the Colegio San Juan Bautista of Orocovis. Ground disturbance is expected, since, the building will be constructed in the southwest section of the campus, directly south of the basketball court with the primary facade facing west. It will be approximately 88' in length, 35' wide, and 24' tall. The main entrance will be flanked by a ramp to the left and a paved patio area to the right. The ground floor of the new building will house a sports education classroom, bathrooms with showers, accessible dormitories, a dining room, a kitchen, and an office. The second floor will be restricted to bathrooms with showers and additional dormitories.



Water will be supplied from a community well system and the sanitary system will be connected into the San Juan Bautista School existing sewer system that discharges to the Puerto Rico Aqueduct and Sewer Authority sewage system. The electrical system will be connected to the San Juan Bautista School existing main electrical panel that is connected to an existing electrical substation which is supplied by the Puerto Rico Electrical Authority. For this purpose, the project will obtain the endorsements from the Puerto Rico Electric Power Authority/LUMA Endorsement, PR Aqueduct Sewer Authority (PRASA) endorsement (for sanitary sewer system), Community Water Supply System (NON-PRASA) endorsement (for water supply) thru a construction permit that is being processed.

The detailed construction plans are included as supporting documents. These include the architectural plan, architectural views, windows and doors schedule, finished schedule, the structural plan and details, plumbing plan and details, luminaries plan, power plan, and electrical details.

**Statement of Purpose and Need for the Proposal [40 CFR 1508.9(b)]:**

San Juan Bautista School has one of the most comprehensive and progressive sports programs in the central area of Puerto Rico. To continue the contribution to sports and live changing of young entrepreneurs, it needs a place to house athletes.

**Existing Conditions and Trends [24 CFR 58.40(a)]:**

The hostel is proposed to be built as a stand-alone structure on a vacant lot with seedless topography and no trees. Earth movement is minimal. The only earthwork will be the removal of the earth's crust. No trees must be cut or remove.

The structure to be build is in an area not susceptible to flooding, ecologically protected, and/or where there are archaeological or historical sites, and/or where there is fauna or flora in danger of extinction, which is why it does not represent risks of environmental character. In addition, it does not affect the daily life of the neighbors and they have not shown any inconvenience with the proposed action.

**Funding Information**

Grant Number	HUD Program	Funding Amount
B-17-DM-72-0001	SIH-CDBG-DR	\$ 1,485,720.00
B-18-DM-72-0001	SIH-CDBG-DR	



**Estimated Total HUD Funded Amount: \$1,485,720.00**

**Estimated Total Project Cost (HUD and non-HUD funds) [24 CFR 58.32(d)]: \$1,485,720.00**

**Compliance with 24 CFR 58.5 and 58.6 Laws and Authorities**

Record below the compliance or conformance determinations for each statute, executive order, or regulation. Provide credible, traceable, and supportive source documentation for each authority. Where applicable, complete the necessary reviews or consultations and obtain or note applicable permits of approvals. Clearly note citations, dates/names/titles of contacts, and page references. Attach additional documentation as appropriate.

<b>Compliance Factors:</b> Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6	Are formal compliance steps or mitigation required?	Compliance determinations
<b>STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 58.6</b>		
<b>Airport Hazards</b>  24 CFR Part 51 Subpart D	Yes    No <input type="checkbox"/> <input checked="" type="checkbox"/>	Project will have no impact on any airport since is not located near or in an airport or a fly zone. The project complies with the HUD's Airport Hazard regulations. The site is located 100,913 feet from the nearest civil airport and 152,257 feet form a military airport. See the attached Airport map Runway Protection Zone (Figure No. 2).
<b>Coastal Barrier Resources</b>  Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 [16 USC 3501]	Yes    No <input type="checkbox"/> <input checked="" type="checkbox"/>	Project has no potential to impact a coastal barrier unit because is not locate near or within the zone define as, so it complies with the Coastal Barrier Resources Act. The site is located 84,175 feet from the nearest coastal barrier unit. See the attached coastal barrier unit map (Figure No. 3).
<b>Flood Insurance</b>  Flood Disaster Protection Act of 1973 and National	Yes    No <input type="checkbox"/> <input checked="" type="checkbox"/>	Project site is located in a Zone X, Panel 7200C1135H, (April 19, 2005). Zone X means the project is located in a non-flood zone, so the project does not

Flood Insurance Reform Act of 1994 [42 USC 4001-4128 and 42 USC 5154a]		require flood insurance or is exempted from flood insurance. See the attached flood map (Figure No. 4).
<b>STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 58.5</b>		
<b>Clean Air</b>  Clean Air Act, as amended, particularly section 176(c) & (d); 40 CFR Parts 6, 51, 93	Yes    No <input type="checkbox"/> <input checked="" type="checkbox"/>	The construction and the operation of the building will have no impact and is in compliance with the Clean Air Act without further evaluation. A per EPA Green Book Orocovis is within an attainment area.
<b>Coastal Zone Management</b>  Coastal Zone Management Act, sections 307(c) & (d)	Yes    No <input type="checkbox"/> <input checked="" type="checkbox"/>	Project has no potential to impact a coastal zone unit because is not locate near or within the zone define as, so it complies with the Coastal Management Act. The site is located 76,735 feet from the nearest coastal zone unit. See the attached coastal zone unit map (Figure No. 5).
<b>Contamination and Toxic Substances</b>  24 CFR Part 58.5(i)(2)	Yes    No <input type="checkbox"/> <input checked="" type="checkbox"/>	Project has no contamination and toxic substances identify in the site and the nearest site with contamination and toxic substances is located 7,763 feet apart from the project. See the attached contamination and toxic substances map (Figure No. 6).
<b>Endangered Species</b>  Endangered Species Act of 1973, particularly section 7; 50 CFR Part 402	Yes    No <input type="checkbox"/> <input checked="" type="checkbox"/>	Based on the reviewed endangered species recovery plans we can determine that the proposed works are not likely to adversely affect the species and its habitat. Project personnel will be oriented to advise and call the agency if an endangered species is found within the area.
<b>Explosive and Flammable Hazards</b>  24 CFR Part 51 Subpart C	Yes    No <input type="checkbox"/> <input checked="" type="checkbox"/>	Project will not increase residential population. Students-athletes from the San Juan Bautista School are already coursing studies at the institution. The construction and the operation of the building will have no use or manage

		explosive or flammable substances that could implicate a hazard.
<p><b>Farmlands Protection</b></p> <p>Farmland Protection Policy Act of 1981, particularly sections 1504(b) and 1541; 7 CFR Part 658</p>	<p>Yes    No</p> <p><input type="checkbox"/>    <input checked="" type="checkbox"/></p>	<p>The project does not include any activities that could potentially convert an agricultural land to non-agricultural use. The project is not located in farmland zone and is in compliance with Farmland Protection Policy Act, and located in an area designated as not prime farmland. Based on the field inspection, the site is maintained as grassland and is not located in Prime Farmland. See the attached farmland location map (Figure No. 7).</p>
<p><b>Floodplain Management</b></p> <p>Executive Order 11988, particularly section 2(a); 24 CFR Part 55</p>	<p>Yes    No</p> <p><input type="checkbox"/>    <input checked="" type="checkbox"/></p>	<p>Project site is located in a Zone X, Panel 7200C1135H, (April 19, 2005). Project is not located in a flood zone and is in compliance with the floodplain management requirements. See the attached flood map (Figure No. 4).</p>
<p><b>Historic Preservation</b></p> <p>National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800</p>	<p>Yes    No</p> <p><input type="checkbox"/>    <input checked="" type="checkbox"/></p>	<p>SHPO sent to PRDOH documentation on October 3, 2022 with a finding of no historic properties affected with or within the project's Area of Potential Effects (See attached). Project has no potential to impact a historic preservation unit because is not locate near or within a zone define as, and ground disturbance for the construction will be minimal, so it complies with the National Historic Preservation Act. The site is located 5,589 feet from the nearest historic unit. See the attached historic preservation unit map (Figure No. 7).</p>
<p><b>Noise Abatement and Control</b></p> <p>Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B</p>	<p>Yes    No</p> <p><input type="checkbox"/>    <input checked="" type="checkbox"/></p>	<p>Project locates in a sparsely populated area zone that is being repaired and/or renovated to recover from the Hurricanes Irma and Maria. The construction and the operation of the building will be no impact to or from the surrounding area from a noise</p>

		perspective. The project is in compliance with this topic without further evaluation.
<b>Sole Source Aquifers</b>  Safe Drinking Water Act of 1974, as amended, particularly section 1424(e); 40 CFR Part 149	Yes    No <input type="checkbox"/> <input checked="" type="checkbox"/>	Project has no potential to impact a sole source aquifer unit because is not locate near or within the zone define as, so it complies with the Safe Drinking Water Act. In Puerto Rico there are not sole source aquifer unit. See the attached sole source aquifer unit map (Figure No. 9).
<b>Wetlands Protection</b>  Executive Order 11990, particularly sections 2 and 5	Yes    No <input type="checkbox"/> <input checked="" type="checkbox"/>	Project has no potential to impact a wetland unit because is not locate near or within the zone define as, so it complies with the Wetland Protection Executive Order 11990. See the attached wetland unit map (Figure No. 10).
<b>Wild and Scenic Rivers</b>  Wild and Scenic Rivers Act of 1968, particularly section 7(b) and (c)	Yes    No <input type="checkbox"/> <input checked="" type="checkbox"/>	Project has no potential to impact a wild and scenic river because is not locate near or within one, so it complies with the Wild and Scenic Rivers Act. The site is located 227,664 feet from the nearest wild and scenic river. See the attached wild and scenic river map (Figure No. 11).
<b>ENVIRONMENTAL JUSTICE</b>		
<b>Environmental Justice</b>  Executive Order 12898	Yes    No <input type="checkbox"/> <input checked="" type="checkbox"/>	As per scope of work the project does not represent any harm or impact to low income and minority residents. The project is located in a sparsely populated rural area and has no negative implications on Environmental Justice. The project is in compliance with environmental justice without further evaluation.

**Environmental Assessment Factors** [24 CFR 58.40; Ref. 40 CFR 1508.8 & 1508.27] Recorded below is the qualitative and quantitative significance of the effects of the proposal on the character, features and resources of the project area. Each factor has been evaluated and documented, as appropriate and in proportion to its relevance to the proposed action. Verifiable source documentation has been provided and described in

support of each determination, as appropriate. Credible, traceable and supportive source documentation for each authority has been provided. Where applicable, the necessary reviews or consultations have been completed and applicable permits of approvals have been obtained or noted. Citations, dates/names/titles of contacts, and page references are clear. Additional documentation is attached, as appropriate. **All conditions, attenuation or mitigation measures have been clearly identified.**

**Impact Codes:** Use an impact code from the following list to make the determination of impact for each factor.

- (1) Minor beneficial impact
- (2) No impact anticipated
- (3) Minor Adverse Impact – May require mitigation
- (4) Significant or potentially significant impact requiring avoidance or modification which may require an Environmental Impact Statement

Environmental Assessment Factor	Impact Code	Impact Evaluation
<b>LAND DEVELOPMENT</b>		
Conformance with Plans / Compatible Land Use and Zoning / Scale and Urban Design	1	The proposed action is related to the San Juan Bautista School and is compatible with the existing land use because will contribute to the education. Based on this the project is in accordance with the site plans, zoning, and use.
Soil Suitability/ Slope/ Erosion/ Drainage/ Storm Water Runoff	2	The project has a bearable topography with stormwater works done previously and moderate susceptibility to landslides. However, stormwater best management practices will be implemented as part of project activities. See the attached landslides susceptibility map (Figure No. 12).
Hazards and Nuisances including Site Safety and Noise	2	The project is not located in high noise level zone, neither its construction nor operation will generate any additional noise or safety issues that could become a hazard and/or nuisance for the neighbors.
Energy Consumption	2	The project will be energized by an existing electrical substation that has enough available power to supply the energy need of the project. However, the project

		will seek the endorsement of PREPA once the final project design is in place, thru the construction permit.
Environmental Assessment Factor	Impact Code	Impact Evaluation
<b>SOCIOECONOMIC</b>		
Employment and Income Patterns	2	The project is not anticipated to have a significant impact on Employment and Income Patterns, since existing employers from the San Juan Bautista School and nuns, will be in charge of the building operation.
Demographic Character Changes, Displacement	2	The project will not alter, displace and/or change the demographic characteristics of the site at Orocovis, PR. The project will house only students at a school site.

Environmental Assessment Factor	Impact Code	Impact Evaluation
<b>COMMUNITY FACILITIES AND SERVICES</b>		
Educational and Cultural Facilities	1	The project will house talented students from the San Juan Bautista School, helping by this way existing students increase their sport abilities.
Commercial Facilities	2	No impact is foreseen because the project will not have commercial facilities, and neither will affect external commercial facilities.
Health Care and Social Services	2	The proposed project will have no impact on health care and social services.
Solid Waste Disposal / Recycling	3	Solid waste will be generated as part of the construction phase and will be managed in accordance with the construction permit. The project is expected to increase solid waste generation in the vicinity due to the activities in the living areas of the building. It is expected to represent minor adverse effects in terms of the solid waste disposal/recycling. It will be mitigated and/or managed through the

		municipal garbage private contractor and the School Recycling Program. The municipal solid waste disposal endorsement will be addressed prior the construction phase.
Wastewater / Sanitary Sewers	2	No impact is foreseen because the project will discharge sanitary and wastewater thru the School existing sewer system that discharges in the Puerto Rico Sewer Authority System. However, the project will seek the endorsement of PRASA once the final project design is in place thru the construction permit.
Water Supply	2	Currently, a private community well will be used to supply water for the new construction project. Community Water Supply System (NON-PRASA) endorsement (for water supply) will be obtained after the final project design completion thru a construction permit.
Public Safety - Police, Fire and Emergency Medical	2	The proposed project will have no impact on public safety.
Parks, Open Space and Recreation	2	The project will have no impact to Parks, Open Space and Recreation. The building will be use as hostel for students-athletes only. For recreation purposes the San Juan Bautista School will provide any needed facility regarding recreation.
Transportation and Accessibility	2	The project will have no impact to Transportation and Accessibility nor any transportation facility of Puerto Rico.

Environmental Assessment Factor	Impact Code	Impact Evaluation
<b>NATURAL FEATURES</b>		
Unique Natural Features, Water Resources	2	The project is not located nor within a unique natural feature or water resource zone.

Vegetation, Wildlife	3	Based on the reviewed endangered species recovery plans we can determine that the proposed works are not likely to adversely affect the species and its habitat. Project personnel will be oriented to advise and call the agency if a Boa is found within the area.
Other Factors	2	Not applicable.

**Additional Studies Performed:**

1. Geotechnical Study

**Field Inspection** (Date and completed by): **August 1, 2022 by Manuel Rodríguez Rodríguez**

**List of Sources, Agencies and Persons Consulted** [40 CFR 1508.9(b)]:

1. Fish and Wildlife Service
2. Puerto Rico Planning Board
3. <https://www3.epa.gov/airquality/greenbook/astate.html>
4. John H. Chafee Coastal Barrier Resources System, Puerto Rico map. [www.fws.gov/CBRA/Maps/Locator/PR](http://www.fws.gov/CBRA/Maps/Locator/PR)
5. National Park Service, National Registry of Natural Landmarks. [www.nature.nps.gov/nnl/docs/NNLRegistry](http://www.nature.nps.gov/nnl/docs/NNLRegistry)
6. Wild and Scenic Rivers
7. [www.epa.gov/environmental-topics/air-topics](http://www.epa.gov/environmental-topics/air-topics)
8. Federal Emergency Management Agency, Flood Mapping Service: <https://msc.fema.gov/portal/home>
9. US Fish and Wildlife Service, National Wetlands Inventory: [www.fws.gov/wetlands/data/mapper.html](http://www.fws.gov/wetlands/data/mapper.html)
10. US Geological Survey, Data Release of May Showing Concentration of Landslides Caused by Hurricane Maria, <https://doi:10.5066/F7JD4VRF>

**List of Permits Obtained:**

- State Construction Permit from Puerto Rico OGPE
- Puerto Rico Electric Power Authority/LUMA Endorsement

- PR Aqueduct Sewer Authority (PRASA) endorsement (for sanitary sewer system)
- Community Water Supply System (NON-PRASA) endorsement - for water supply.
- PR-SHPO concurrence letter for "no historic properties affected" – October 3, 2022.

**Public Outreach** [24 CFR 58.43]: Not required.

**Cumulative Impact Analysis** [24 CFR 58.32]: In accordance with 24 CFR 58.32 (Aggregation), there are no cumulative impacts associated with the construction of a hostel for the students-athletes of San Juan Bautista School.

**Alternatives** [24 CFR 58.40(e); 40 CFR 1508.9]: N/A.

**No Action Alternative** [24 CFR 58.40(e)]: If the project did not occur there will be no impact.

**Summary of Findings and Conclusions:**

The only environmental threat is the existence of Puerto Rican Boa within the area. Nevertheless, based on the reviewed endangered species recovery plans we can determine that the proposed works are not likely to adversely affect the species and its habitat.

In summary there is no risk of potential significant environmental damage.



## **Mitigation Measures and Conditions [40 CFR 1505.2(c)]**

Summarize below all mitigation measures adopted by the Responsible Entity to reduce, avoid, or eliminate adverse environmental impacts and to avoid non-compliance or non-conformance with the above-listed authorities and factors. These measures/conditions must be incorporated into project contracts, development agreements, and other relevant documents. The staff responsible for implementing and monitoring mitigation measures should be clearly identified in the mitigation plan.

Law, Authority, or Factor	Mitigation Measure
Fish and Wildlife Service	<i>General Project Design Guidelines</i>

### **Determination:**

**Finding of No Significant Impact** [24 CFR 58.40(g)(1); 40 CFR 1508.27]

The project will not result in a significant impact on the quality of the human environment.

**Finding of Significant Impact** [24 CFR 58.40(g)(2); 40 CFR 1508.27]

The project may significantly affect the quality of the human environment.

  
Manuel Rodríguez Rodríguez  
Presidente

Preparer Signature:

Date: October 29, 2022

Name/Title/Organization: Manuel Rodríguez Rodríguez / President/ ManRod General Contractors, Corp.

Certifying Officer Signature:  Date: Oct. 31, 2022

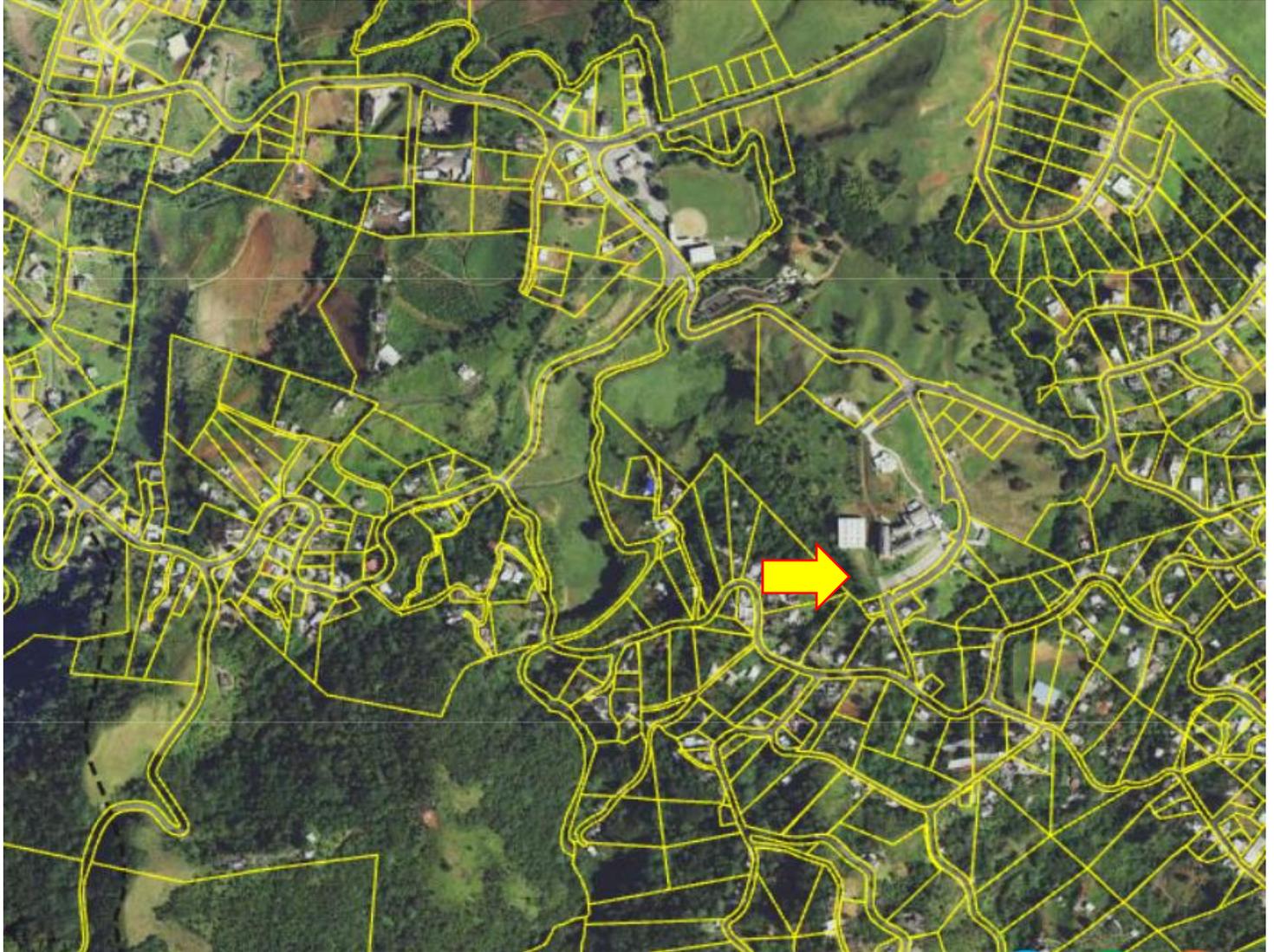
Name/Title: Angel G. López Guzmán / CDBG-DR Permits and Environmental Compliance Specialist

This original, signed document and related supporting material must be retained on file by the Responsible Entity in an Environmental Review Record (ERR) for the activity/project (ref: 24 CFR Part 58.38) and in accordance with recordkeeping requirements for the HUD program(s).



Albergue Alespi  
PR-157, Km. 23.7, Orocovis, P.R., 00720  
Cadastre No.: 219-000-003-45  
Latitude: 3: 0463847  
Longitude: -66.406044  
Figure No. 1

# SITE MAP



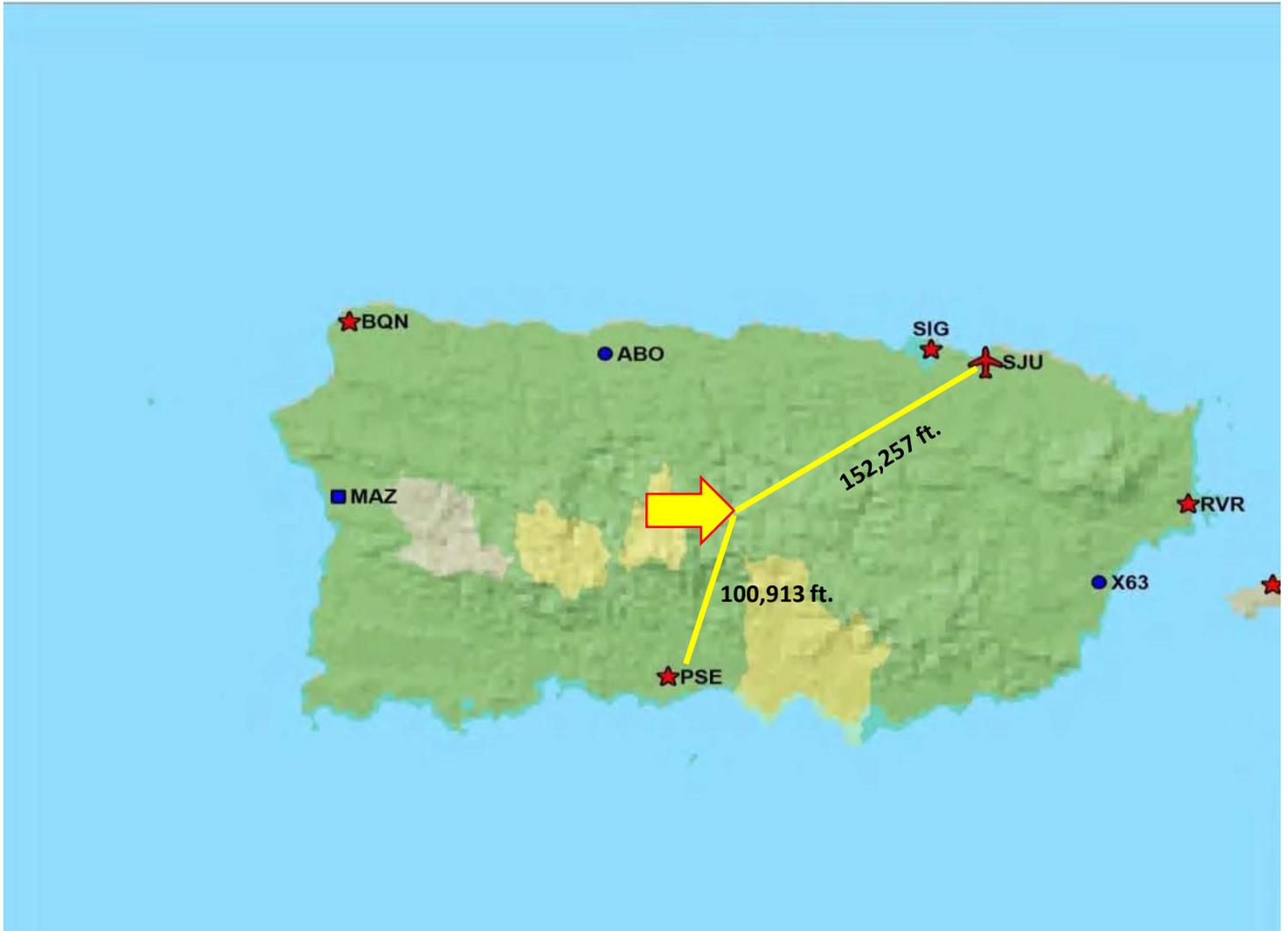
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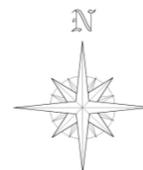
Albergue Alespi  
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 Figure No. 2

# AIRPORTS



Legend:

NPIAS Airports	
	Large/Medium hub
	Small/Nonhub
	National/Regional
	Local/Basic
	Unclassified
	Metro S.A.
	Micro S.A.





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 Figure No. 3

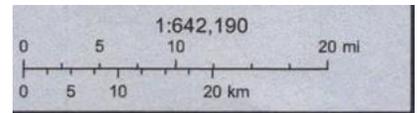
# CBRS MAP



Legend:

### CBRS Units

- Otherwise Protected Area
- System Unit





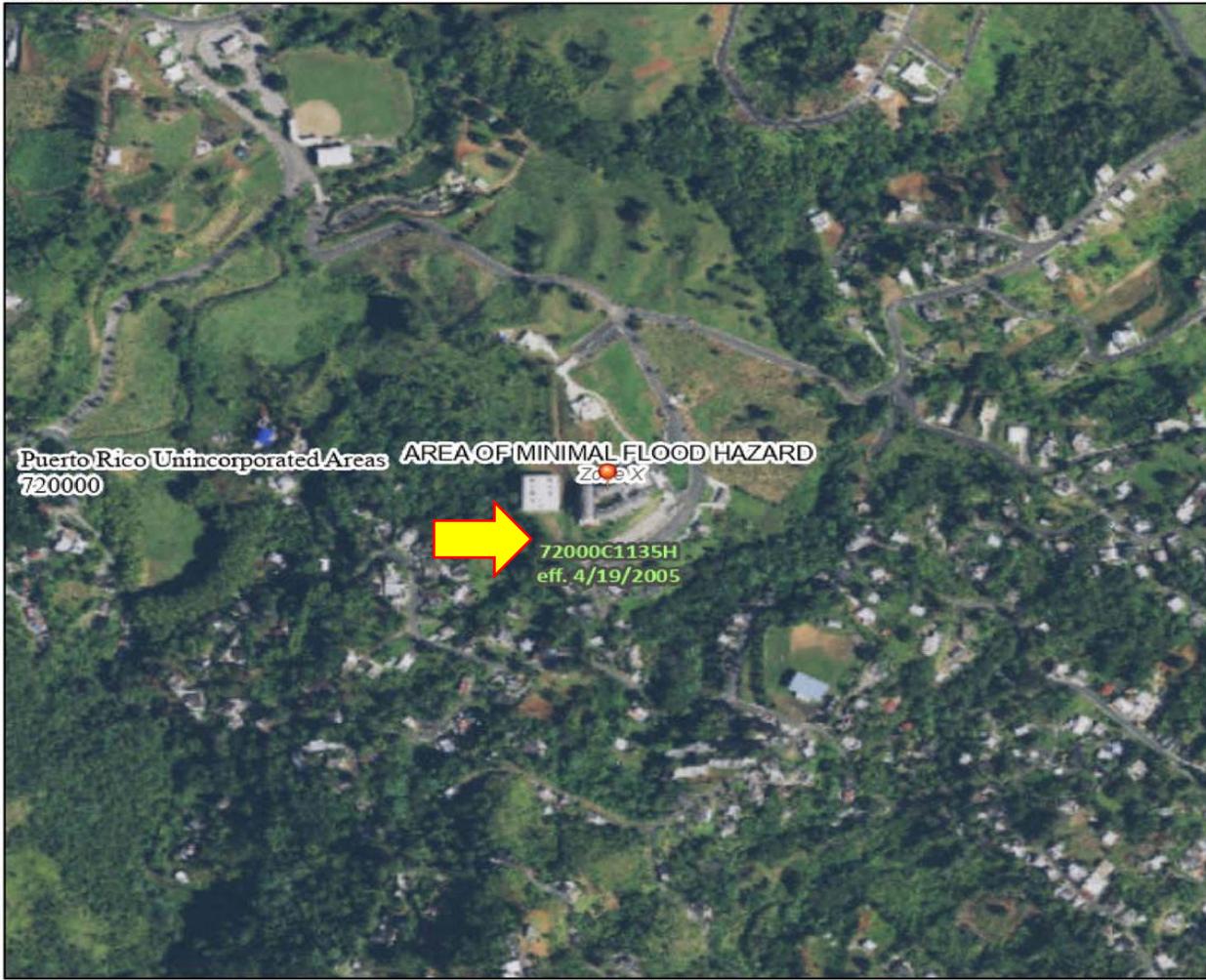
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 Figure No. 4

# FLOOD MAP

National Flood Hazard Layer FIRMette



66°24'39"W 18°14'48"N



0 250 500 1,000 1,500 2,000 Feet 1:6,000 66°24'2"W 18°14'14"N  
 Basemap: USGS National Map: Orthomagery: Data refreshed October, 2020

Legend:

Legend	
SEE FIG REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FINAL LAYOUT	
<b>SPECIAL FLOOD HAZARD AREAS</b>	<ul style="list-style-type: none"> <li>Without Base Flood Elevation (BFE)</li> <li>With BFE or Depth</li> <li>Regulatory Floodway</li> </ul>
<b>OTHER AREAS OF FLOOD HAZARD</b>	<ul style="list-style-type: none"> <li>0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile</li> <li>Future Conditions: 1% Annual Chance Flood Hazard</li> <li>Area with Reduced Flood Risk due to Levees</li> <li>Area with Flood Risk due to Levees</li> <li>Area of Minimal Flood Hazard</li> <li>Effective LOBMs</li> <li>Area of Undetermined Flood Hazard</li> </ul>
<b>OTHER AREAS</b>	<ul style="list-style-type: none"> <li>Channel, Culvert, or Storm Sewer</li> </ul>
<b>GENERAL STRUCTURES</b>	<ul style="list-style-type: none"> <li>Cross Sections with 1% Annual Chance</li> <li>Water Surface Elevation</li> <li>Coastal Tract</li> <li>Base Flood Elevation Line (BFE)</li> <li>Limit of Study</li> <li>Jurisdiction Boundary</li> <li>Coastal Tract Baseline</li> <li>Profile Baseline</li> <li>Hydrographic Feature</li> </ul>
<b>OTHER FEATURES</b>	<ul style="list-style-type: none"> <li>Digital Data Available</li> <li>No Digital Data Available</li> </ul>
<b>MAP PANELS</b>	<ul style="list-style-type: none"> <li>Unmapped</li> </ul>

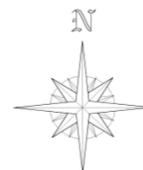


Interactive Map of Air Quality

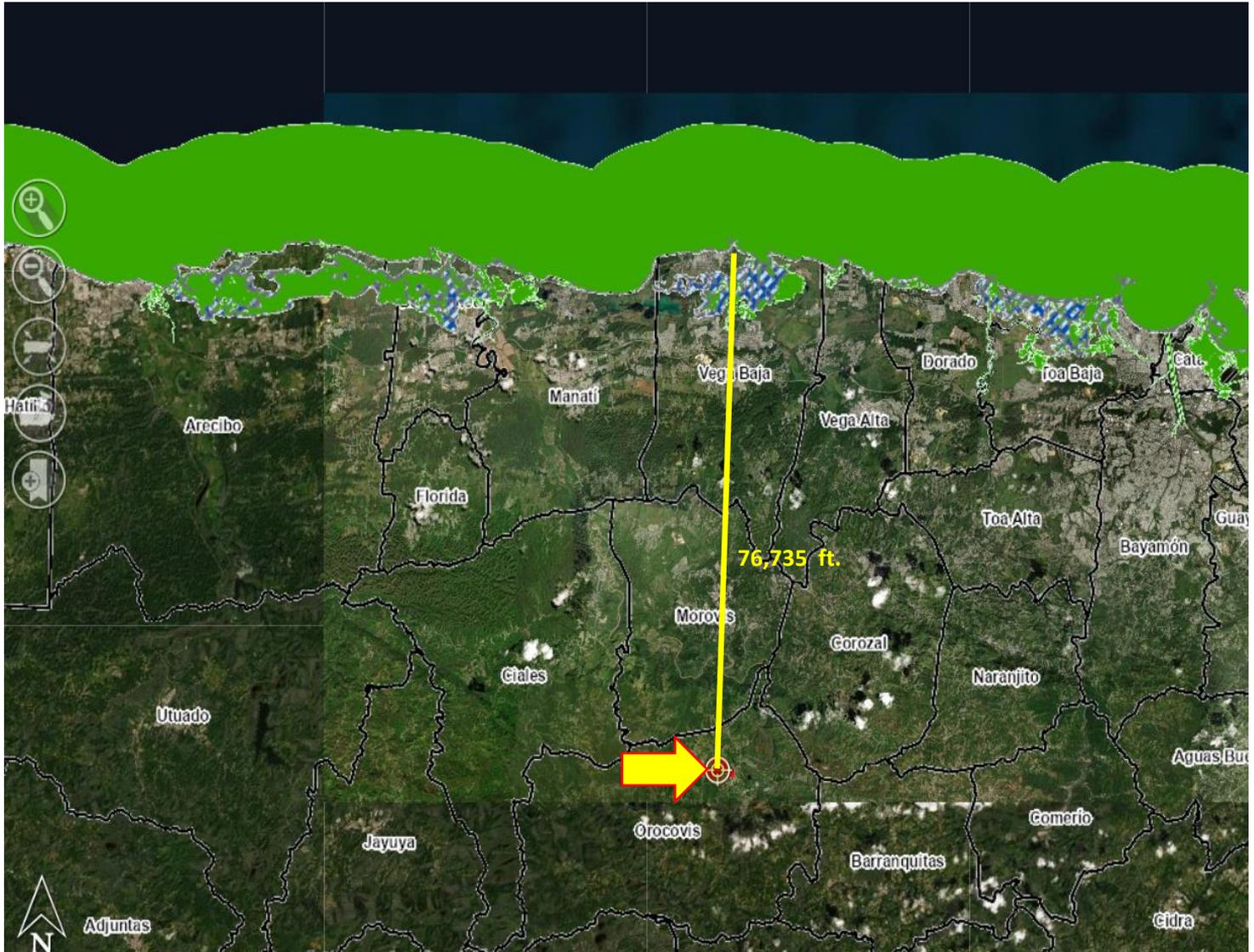


Legend:

- U.S. Air Quality Index
- Good (0-50)
  - Moderate (51-100)
  - Unhealthy for Sensitive Groups (101-150)
  - Unhealthy (151-200)
  - Very Unhealthy (201-300)
  - Hazardous (301-500)
  - No Data



# CZM MAP



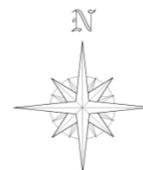
Legend:

Riesgo

Inundación

**Aumento en el Nivel del Mar**

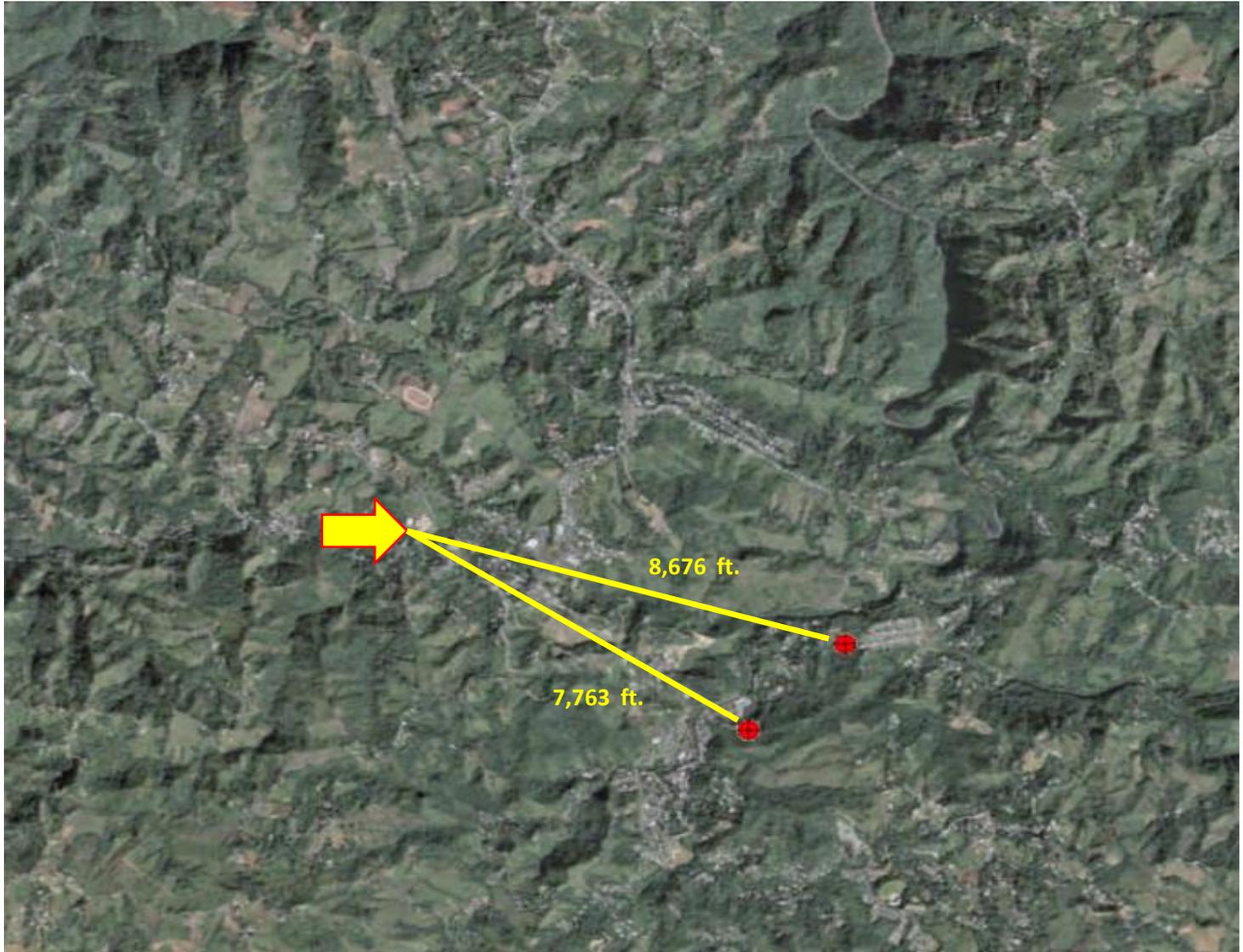
- Aumento en el nivel de Mar a 1 Pie .
- Aumento en el nivel de Mar a 2 Pies .
- Aumento en el nivel de Mar a 3 Pies .
- Aumento en el nivel de Mar a 4 Pies .
- Aumento en el nivel de Mar a 5 Pies .
- Aumento en el nivel de Mar a 6 Pies .





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 Figure No. 7

# TOXIC SUBSTANCES MAP



Legend:

Calidad Ambiente

**Registro de EPA**

- Facilidades de Aire contaminado EPA [\[info\]](#) .
- Facultad con Permiso NPDES .
- Inventario de Liberación de Tóxicos .
- Lista Prioritaria Nacional EPA [\[info\]](#) .

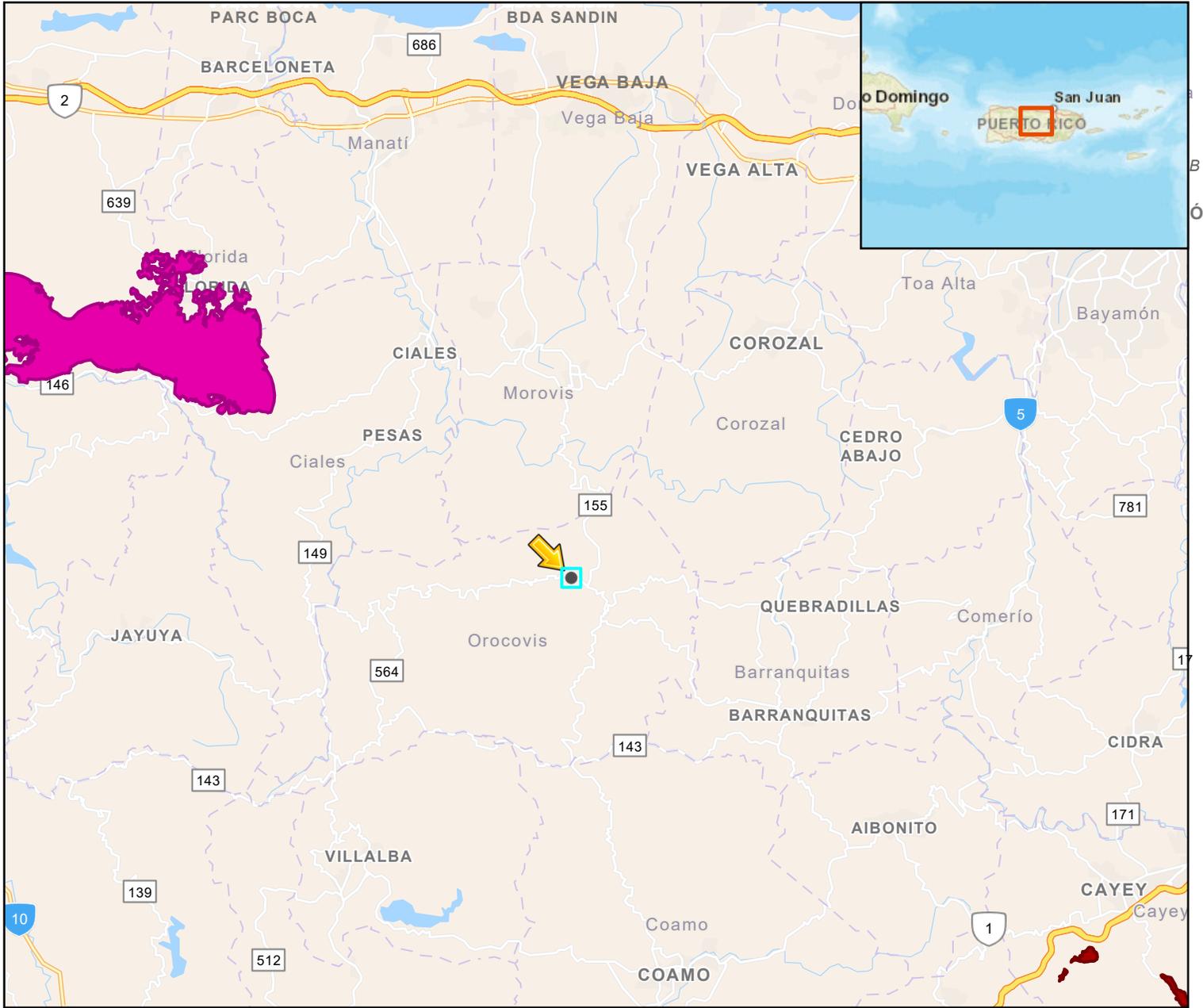
Niveles de información principal mostrados





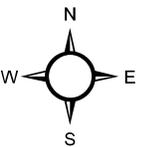
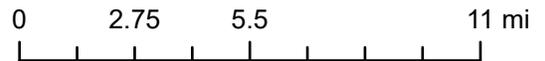
Albergue Alespi  
 PR-157, Km. 23.7, Orocovis, P.R., 00720  
 Cadastre No.: 219-000-003-45  
 Latitude: 18.241625  
 Longitude: - 66.406044  
 Figure No. 8

# Critical Habitat



## Legend

- USFWS Critical Habitat - Polygon Features - Final (agency service)
- USFWS Critical Habitat - Polygon Features (agency service) - Proposed



USFWS

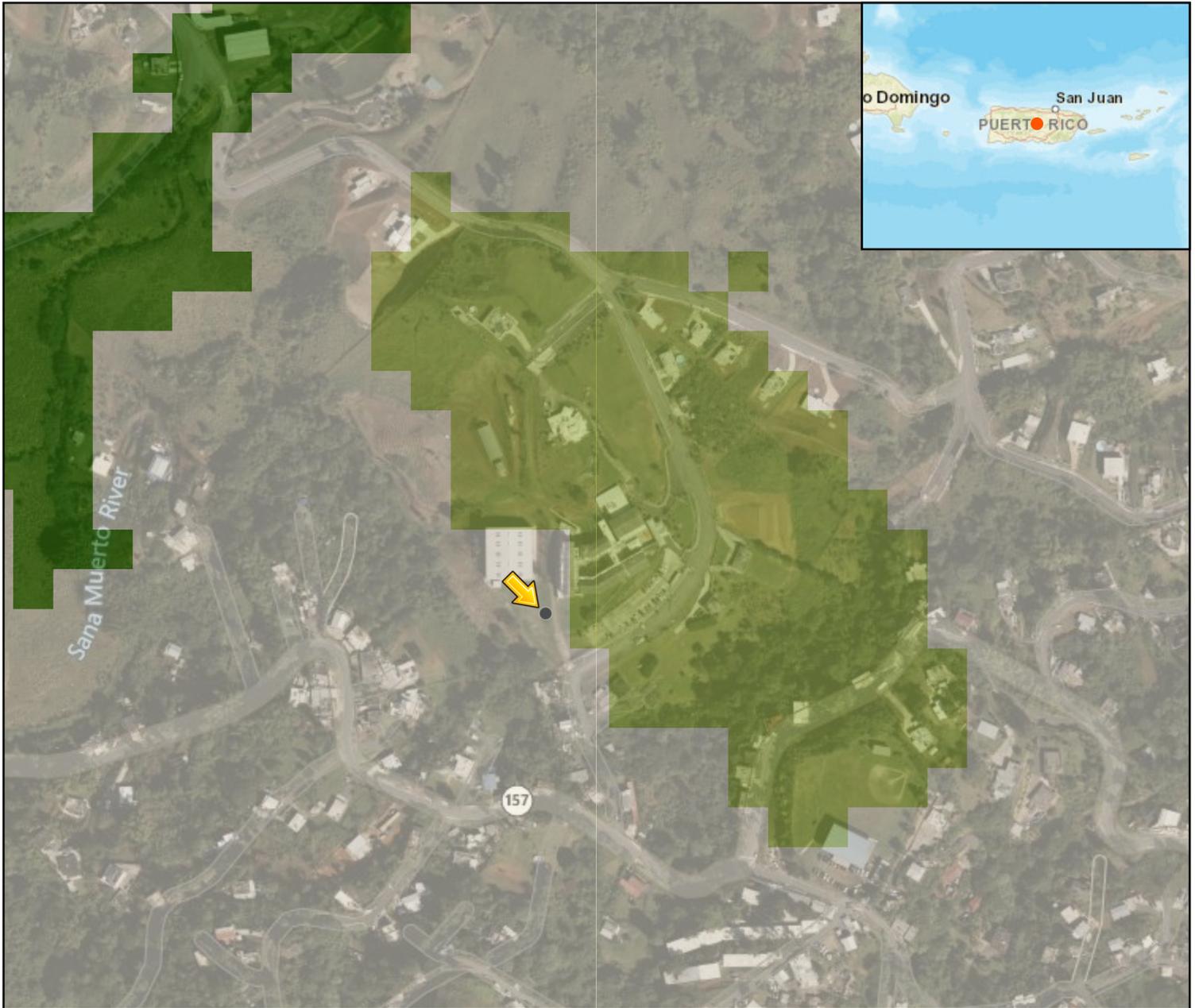
Critical Habitat



Man Rod General Contractors, Corp.  
PO Box 1836 Orocovis, PR 00720  
mamrodgc@hotmail.com  
(787)516-3862 / (787)516-3864

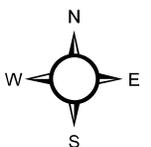
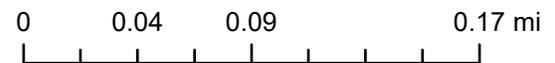
Albergue Alespi  
PR-157, Km. 23.7, Orocovis, P.R.,  
00720 Cadastre No.: 219-000-003-45  
Latitude: 18.241625  
Longitude: - 66.406044  
Figure No. 9

# FARMLANDS MAP



## Legend

-  Prime Farmland
-  Farmland of Local Importance
-  Farmland of Statewide Importance
-  Farmland of Unique Importance
-  Not Prime Farmland



USDA

NRCS



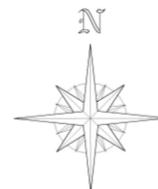
Albergue Alespi  
PR-157, Km. 23.7, Orocovis, P.R.,  
00720 Cadastre No.: 219-000-003-45  
Latitude: 18.241625  
Longitude: - 66.406044  
Figure No. 10

# SOLE SOURCE AQUIFER MAP



## Legend:

- Layers
- Sole\_Source\_Aquifers
  - Counties
  - EPA Tribal Areas: Lower 48 States
  - EPA Regional Boundaries
  - Surface Water Features





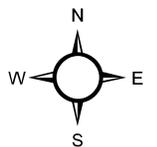
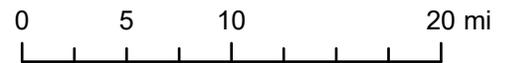
**Albergue Alespi**  
**PR-157, Km. 23.7, Orocovis, P.R., 00720**  
**Cadastre No.: 219-000-003-45**  
**Latitude: 18.241625**  
**Longitude: - 66.406044**  
**Figure No. 11**

# Noise Map



## Legend

- Military Airports 15,000ft Buffer
- Civilian Airports 2,500ft Buffer
- Military Accident Potential Zones APZ 2
- Military Accident Potential Zones APZ 1
- Runway Protection Zones
- Airport Runways
- Major
- Minor Airport



Runway Protection Zones

Major Civil and Military Airports

## DNL Calculator

The Day/Night Noise Level Calculator is an electronic assessment tool that calculates the Day/Night Noise Level (DNL) from roadway and railway traffic. For more information on using the DNL calculator, view the [Day/Night Noise Level Calculator Electronic Assessment Tool Overview \(/programs/environmental-review/daynight-noise-level-electronic-assessment-tool/\)](/programs/environmental-review/daynight-noise-level-electronic-assessment-tool/).

## Guidelines

- To display the Road and/or Rail DNL calculator(s), click on the "Add Road Source" and/or "Add Rail Source" button(s) below.
- All Road and Rail input values must be positive non-decimal numbers.
- All Road and/or Rail DNL value(s) must be calculated separately before calculating the Site DNL.
- All checkboxes that apply must be checked for vehicles and trains in the tables' headers.
- **Note #1:** Tooltips, containing field specific information, have been added in this tool and may be accessed by hovering over all the respective data fields (site identification, roadway and railway assessment, DNL calculation results, roadway and railway input variables) with the mouse.
- **Note #2:** DNL Calculator assumes roadway data is always entered.

## DNL Calculator

---

Site ID	<input type="text" value="PR-SIH-00005A"/>
Record Date	<input type="text" value="10/12/2022"/> 
User's Name	<input type="text" value="Blas Guernica"/>

Road # 1 Name:	<input type="text" value="PR-157"/>
----------------	-------------------------------------

Road #1

Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	408	408	408
Distance to Stop Sign			
Average Speed	45	40	35
Average Daily Trips (ADT)	710	203	101
Night Fraction of ADT	10	5	0
Road Gradient (%)			0
Vehicle DNL	40	42	45
Calculate Road #1 DNL	48	Reset	

Add Road Source

Add Rail Source

Airport Noise Level

0

Loud Impulse Sounds?

Yes  No

Combined DNL for all  
Road and Rail sources

48

Combined DNL including Airport

N/A

Site DNL with Loud Impulse Sound

Calculate

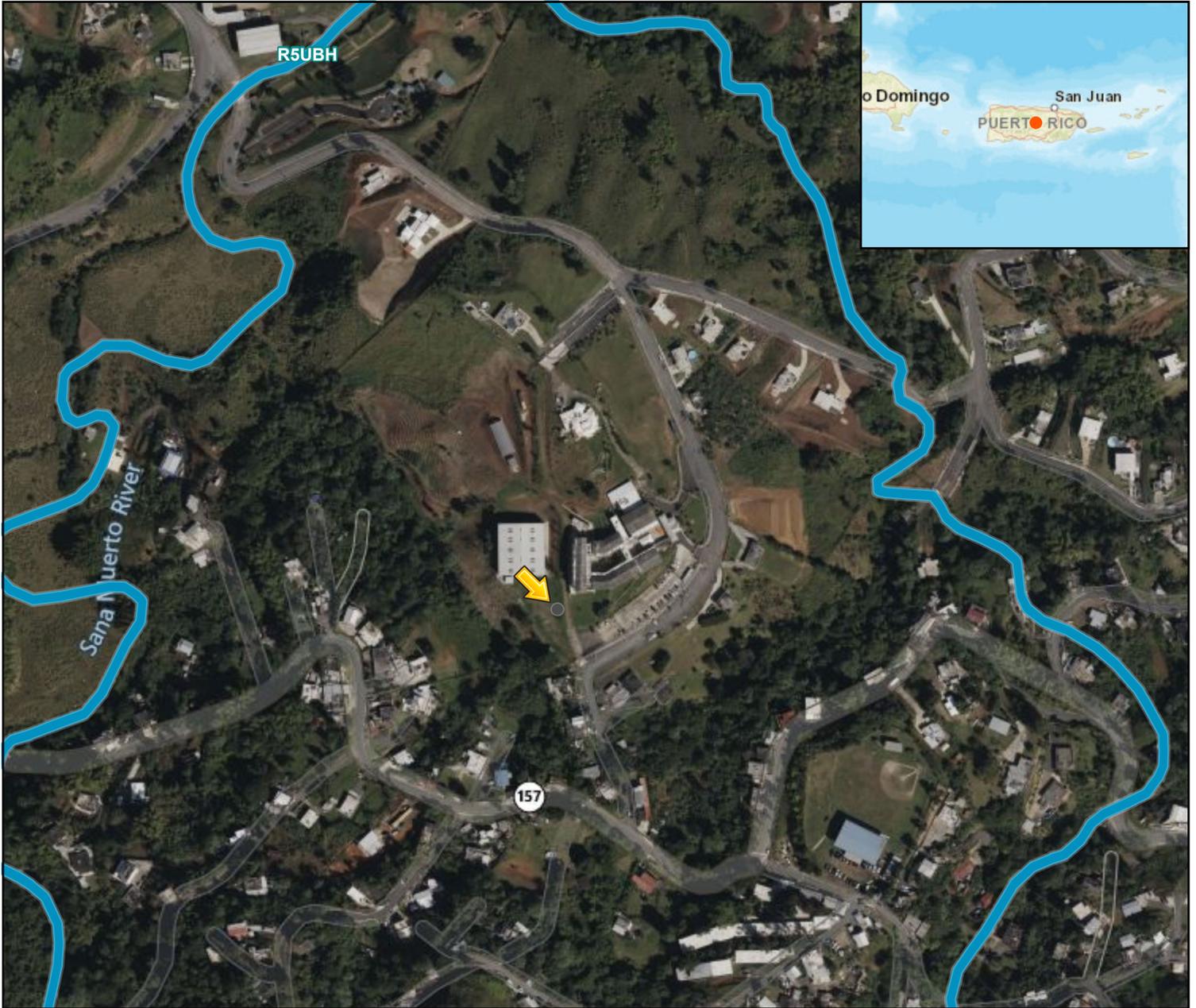
Reset



Man Rod General Contractors, Corp.  
PO Box 1836 Orocovis, PR 00720  
mamrodco@netmail.com  
(787)516-3862 / (787)516-3864

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Cadastre No.: 219-000-003-45  
Latitude: 18.241625  
Longitude: - 66.406044  
Figure No. 12

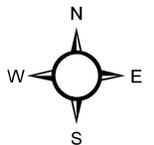
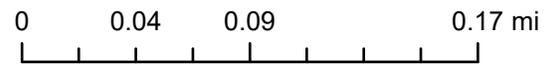
# Wetland



## Legend

 Riverine

<https://www.fws.gov/wetlandsmapservice/rest/services/Wetlands/MapServer>



USFWS

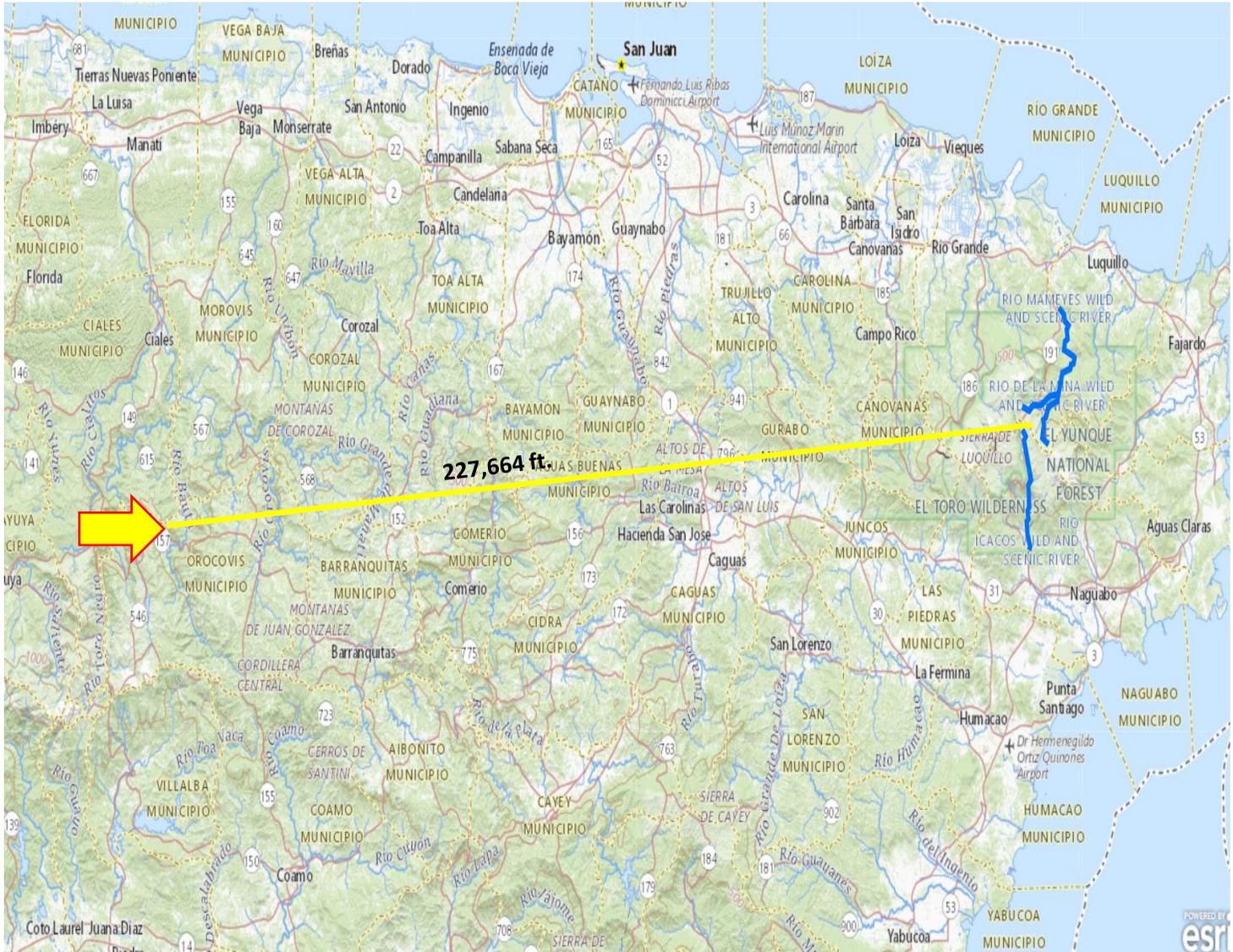
National Wetlands Inventory



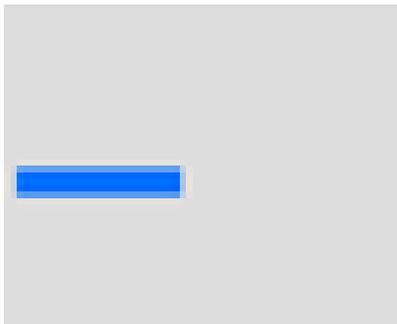
Man Rod General Contractors, Corp.  
 P.O. Box 1836 Orocovis, PR 00720  
 mamadec@hotmail.com  
 (787) 516-3862 / (787) 516-3864

Albergue Alespi  
 PR-157, Km. 23.7, Orocovis, P.R., 00720  
 Cadastre No.: 219-000-003-45  
 Latitude: 18.241625  
 Longitude: -66.406044  
 Figure No. 13

# WILD & SCENIC RIVERS MAP



Legend:

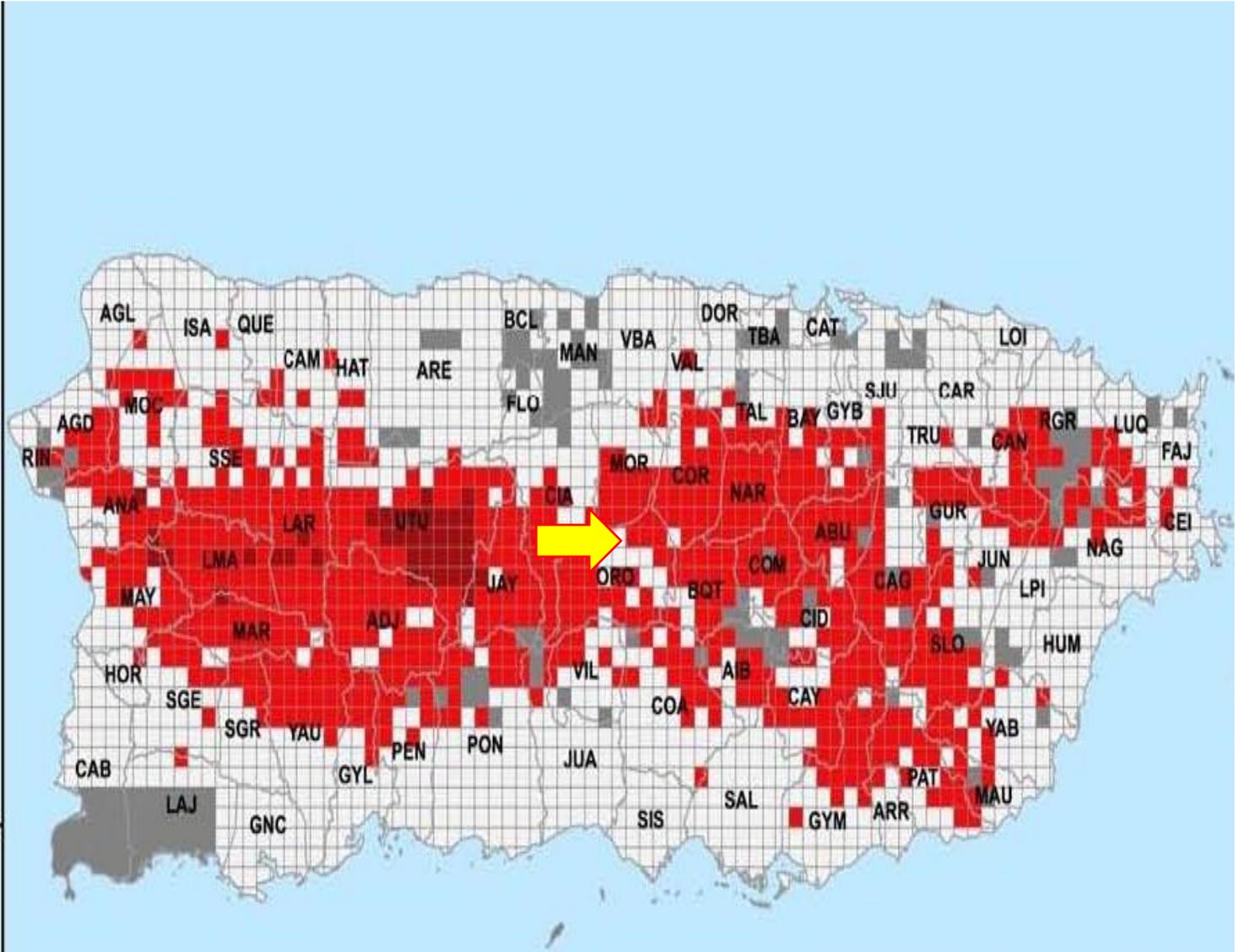




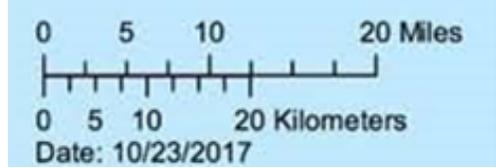
Man Rod General Contractors, Corp.  
PO Box 1836 Orocovis, PR 00720  
manrodgc@hotmail.com  
(787)516-3862 / (787)516-3869

Albergue Alespi  
PR-157, Km. 23.7, Orocovis, P.R., 00720  
Cadastre No.: 219-000-003-45  
Latitude: 18.241625  
Longitude: -66.406044  
Figure No. 14

# LANDSLIDES MAP



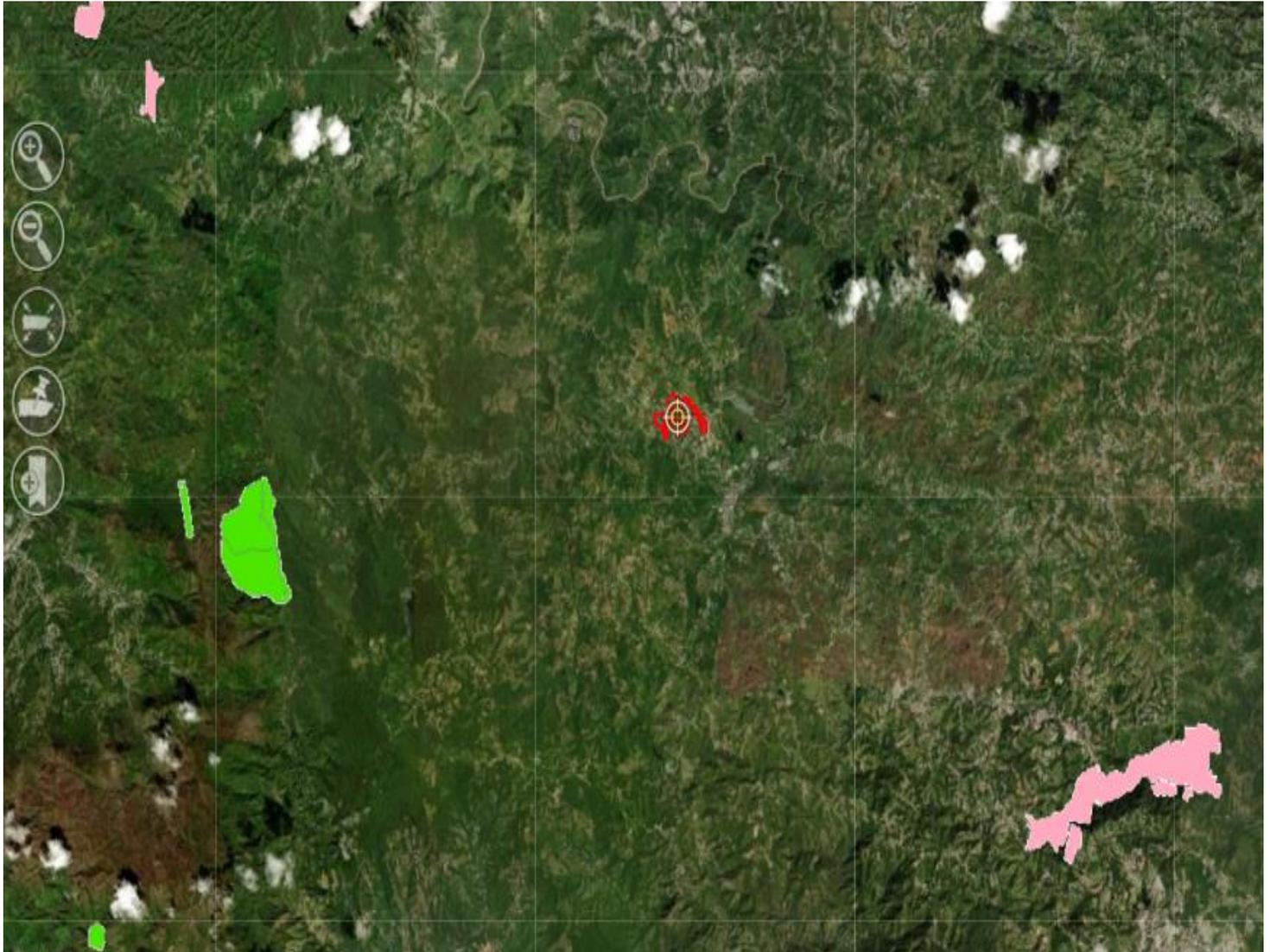
Legend:





Albergue Alespi  
PR-157, Km. 23.7, Orocovis, P.R., 00720  
Cadastre No.: 219-000-003-45  
Latitude: 18.241625  
Longitude: -66.406044  
Figure No. 15

# Propiedades Protegidas



Legend:

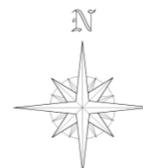
Salvar Cortina Remover

Valor Ecológico

**Propiedades Protegidas**

- Propiedad del Fideicomiso de Conservación
- Propiedades Parques Nacionales
- Refugios de Vida Silvestre FWS
- Departamento de Recursos Naturales

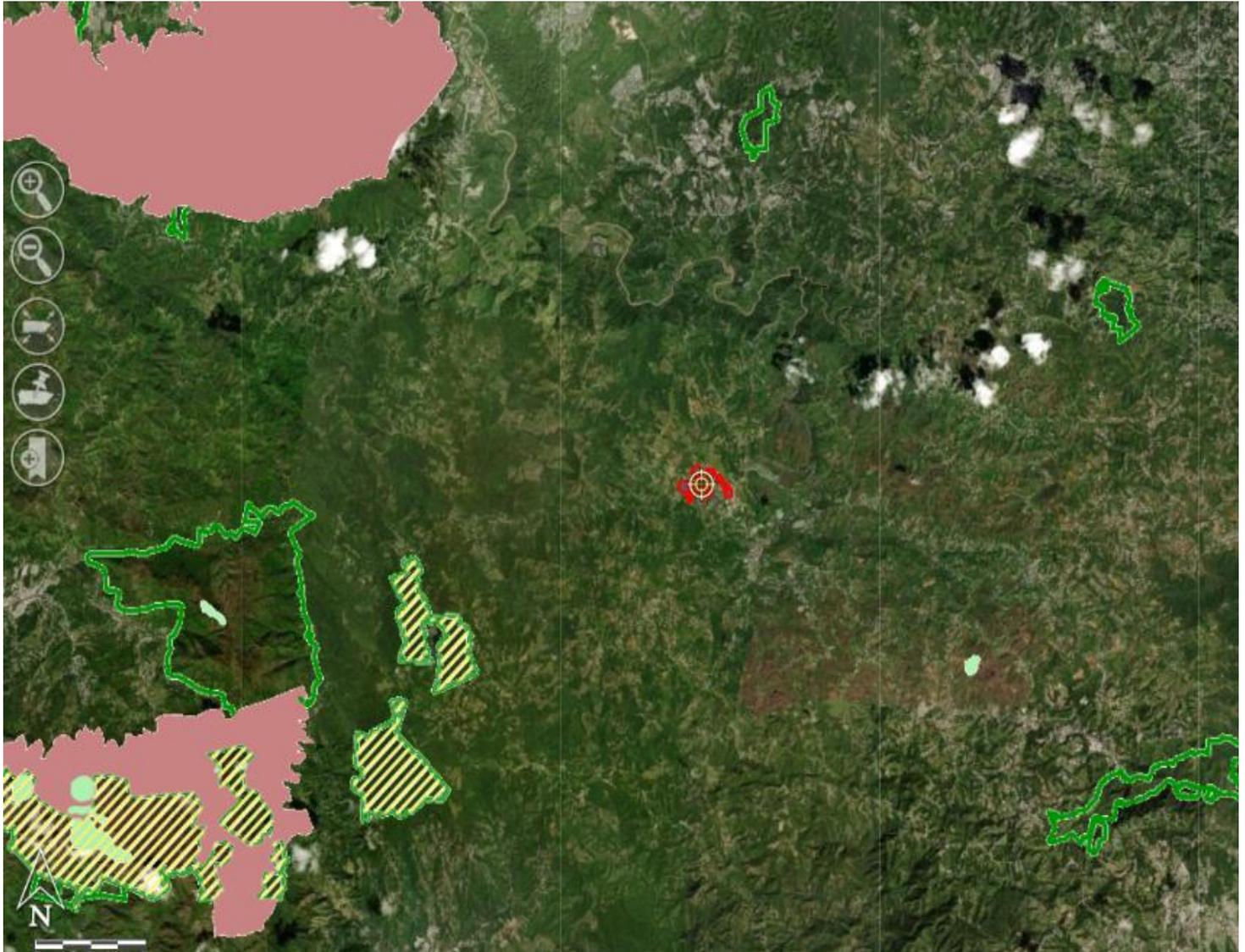
Información incorporada





Albergue Alespi  
 PR-157, Km. 23.7, Orocovis, P.R., 00720  
 Cadastre No.: 219-000-003-45  
 Latitude: 18.241625  
 Longitude: -66.406044  
 Figure No. 16

# SITE MAP



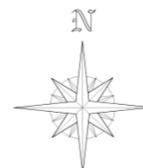
Legend:

Vista Ecologica

**Habitat**

- Coqueo lanero .
- Cuevas .
- Elementos Criticos .
- Habitat Critico .
- Habitat .
- Habitat Monense .
- Sistema de Cuevas Rio Camuy .
- Area Prioritaria de Conservacion .
- Areas Naturales Protegidas .

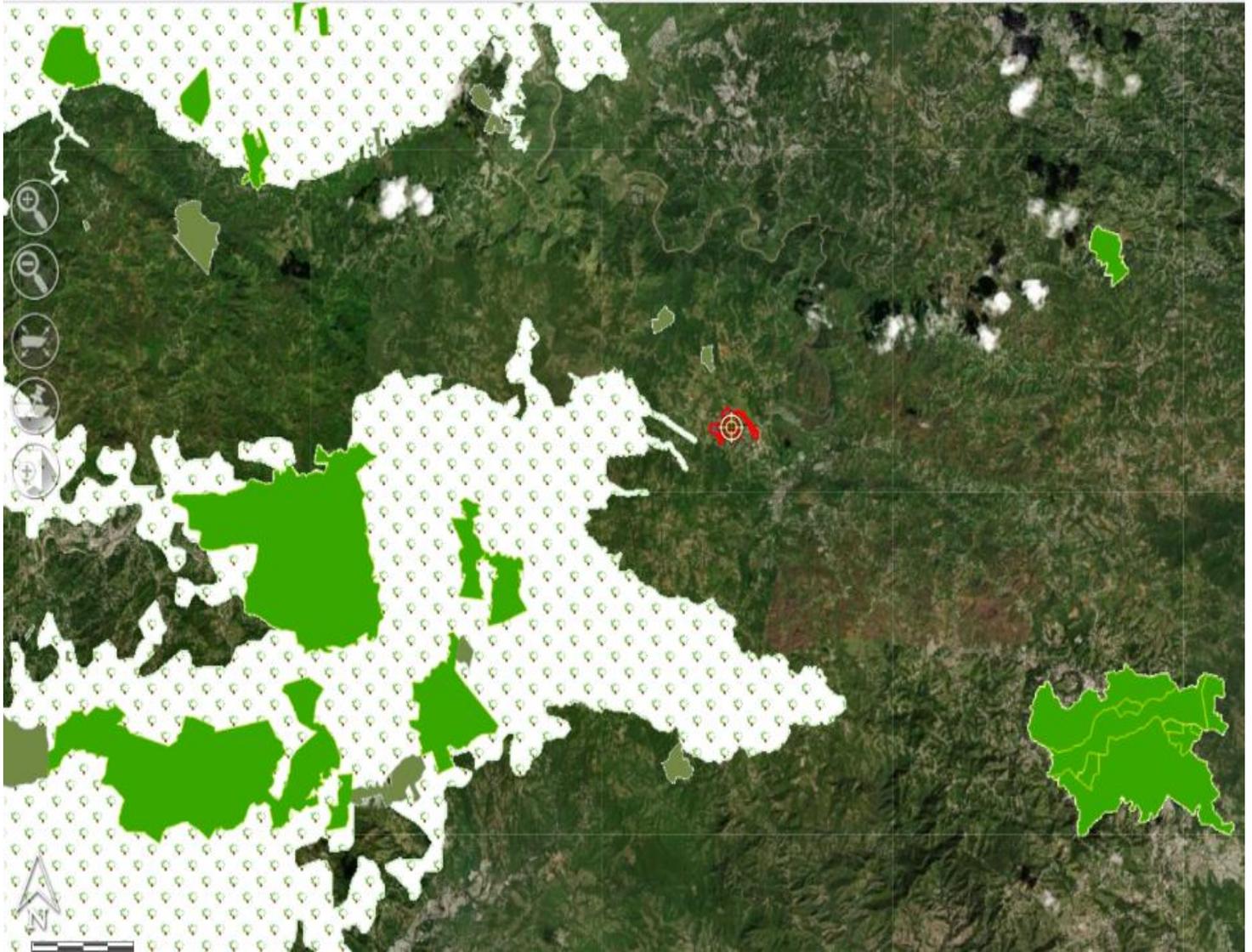
[Informacion: icogovale](#)





Albergue Alespi  
PR-157, Km. 23.7, Orocovis, P.R., 00720  
Cadastre No.: 219-000-003-45  
Latitude: 18.241625  
Longitude: -66.406044  
Figure No. 17

# Valor Ecologico



## Legend:

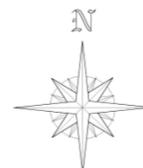
Salvar Cortina Remove

Valor Ecológico

**Bosques y Reservas**

- Proclama del Yunque .
- Barreras Costaneras .
- Bosque Auxiliar .
- Bosques Naturales .
- Bosques Naturales
- Reserva Natural Propuesta
- Delimitación Propuesta Bosque Modelo .
- Tipo de Bosque .

Información incorporada

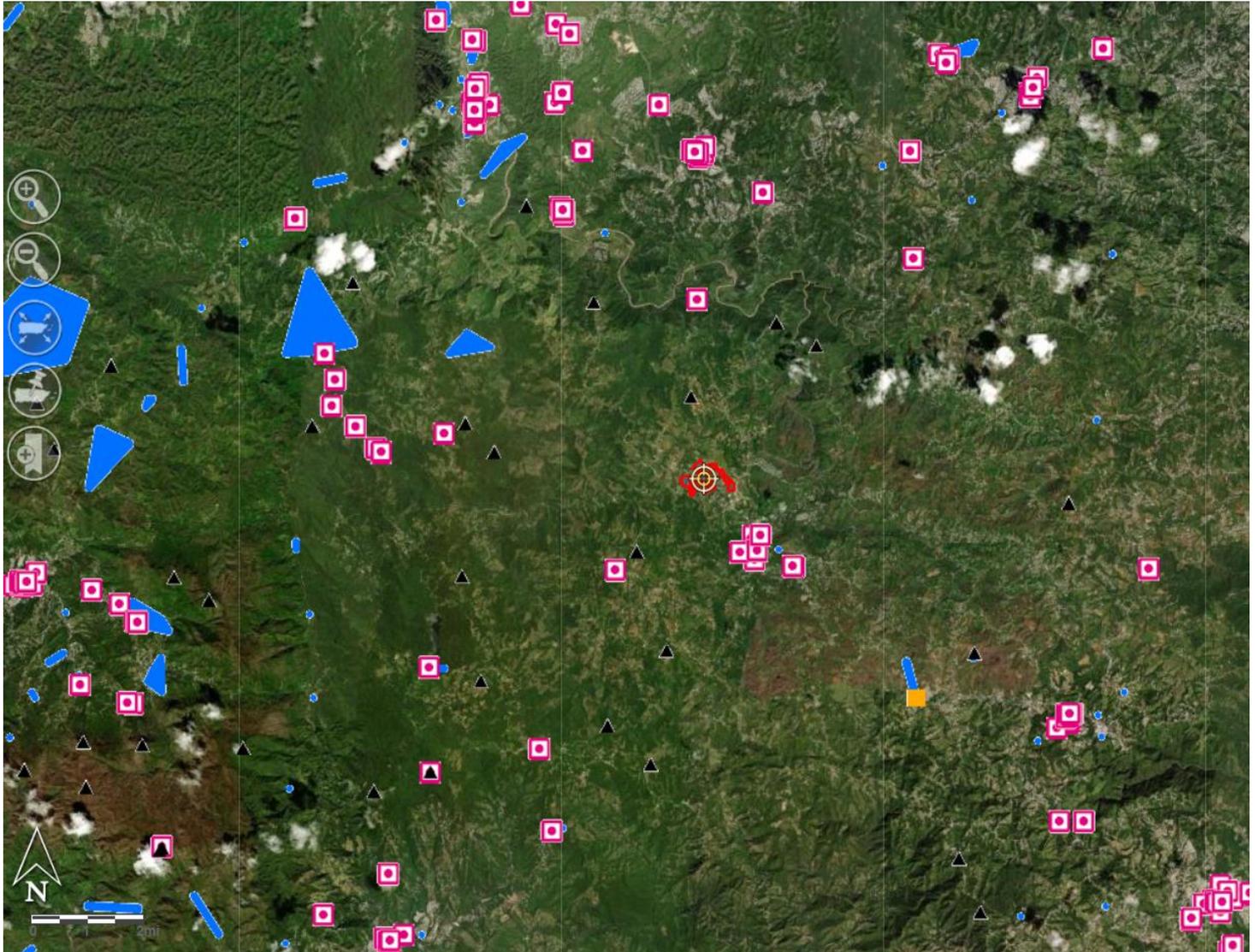




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PO Box 1836 Orocovis, PR 00720  
mamrodgc@hotmail.com  
(787)516-3662 / (787)516-3864

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PR-157, Km. 23.7, Orocovis, P.R., 00720  
Cadastre No.: 219-000-003-45  
Latitude: 18.142988  
Longitude: -66.242193  
Figure No. 18

# Cultural



Legend:

Salvar Cortina Remove

Cultural

- Lugares con Valor Escénico . ▲
- Lugares con Valor Cultural .
- Plaza Pública . P
- Sitios Históricos
- Arqueología Sensitivo . ■
- Recursos Arqueológicos . ■

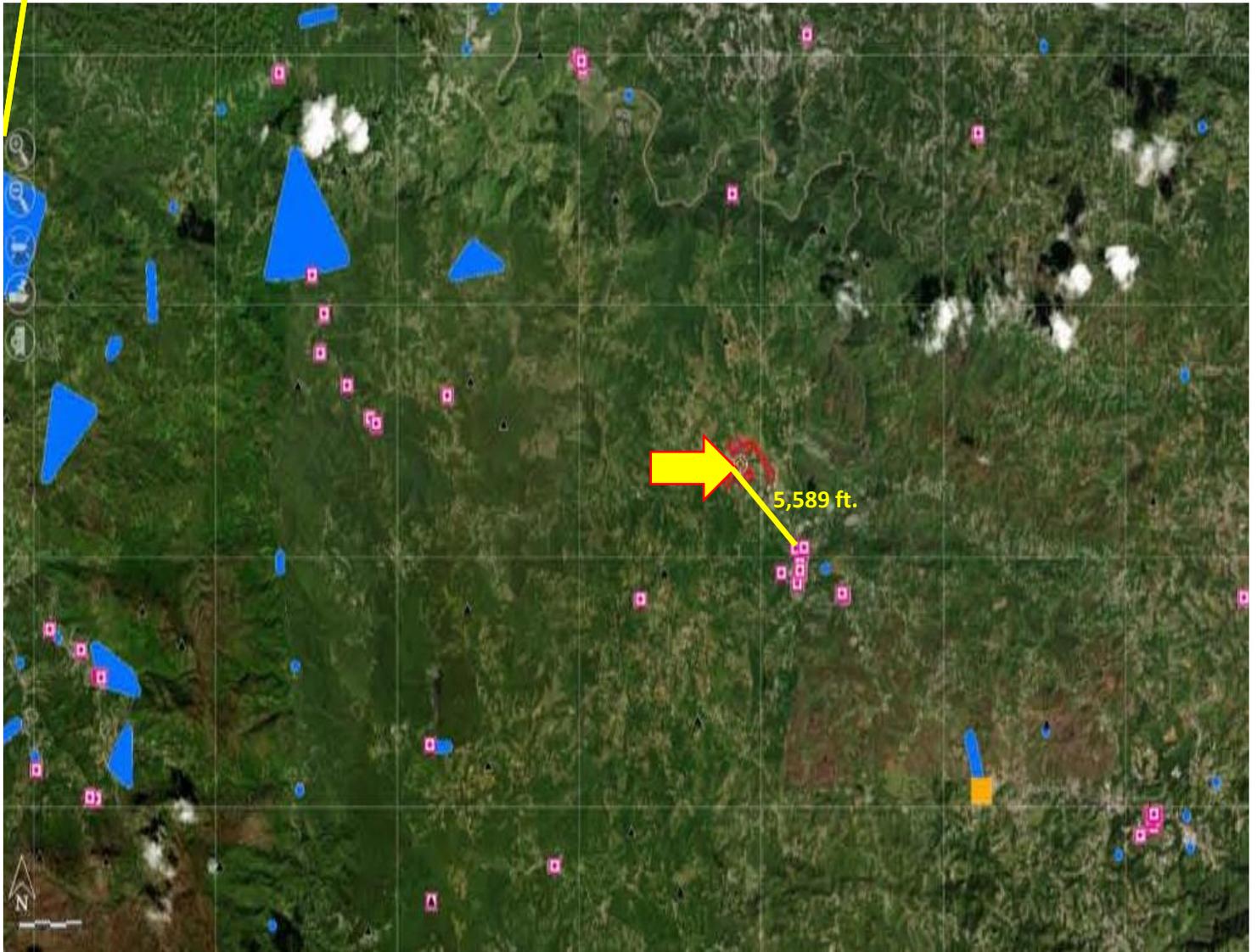
Niveles de información principal mostrados.



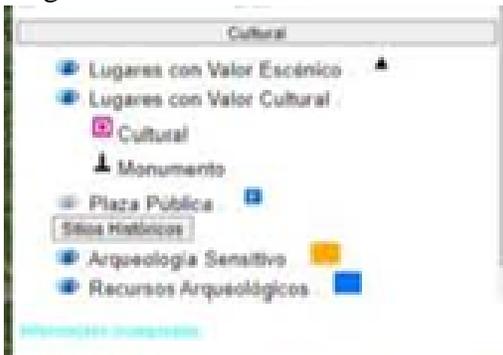


Albergue Alespi  
PR-157, Km. 23.7, Orocovis, P.R.,  
00720 Cadastre No.: 219-000-003-45  
Latitude: 18.241625  
Longitude: - 66.406044  
Figure No. 19

# HISTORICAL MAP



Legend:





**GOVERNMENT OF PUERTO RICO**  
STATE HISTORIC PRESERVATION OFFICE

Executive Director | Carlos A. Rubio-Cancela | [carubio@prshpo.pr.gov](mailto:carubio@prshpo.pr.gov)

Monday, October 3, 2022

**Lauren Bair Poche**

HORNE- Architectural Historian Manager  
10000 Perkins Rowe, Suite 610 Bldg. G  
Baton Rouge, LA 70810

SHPO: 09-06-22-02 OROCOVIS, PUERTO RICO DISASTER RECOVERY, CDBG-DR SOCIAL INTEREST HOUSING (SIH) PROGRAM, ALBERGUE ALESPI PROJECT, COLEGIO SAN JUAN BAUTISTA DE OROCOVIS CAMPUS, PR-157, KM. 23.7 INTERIOR, BO. BARROS, SECTOR LA VAQUERIA, OROCOVIS, PUERTO RICO (PR-SIH-00005A)

Dear Ms. Poche,

Our Office has received and reviewed the above referenced project in accordance with 54 USC 306108 (commonly known as Section 106 of the *National Historic Preservation Act, as amended*) and 36 CFR Part 800: *Protection of Historic Properties* from the Advisory Council on Historic Preservation. The State Historic Preservation Officer (SHPO) is to advise and assist federal agencies and other responsible entities when identifying historic properties, assessing effects upon them, and considering alternatives to avoid or reduce the project's effects.

Our records support your finding of **no historic properties affected** within the project's area of potential effects.

Please note that should the Agency discover other historic properties at any point during project implementation, you should notify the SHPO immediately. If you have any questions concerning our comments, do not hesitate to contact our Office.

Sincerely,

Carlos A. Rubio-Cancela  
State Historic Preservation Officer  
CARC/GMO/EVR/LGC



September 6, 2022

Carlos A. Rubio Cancela  
Director Ejecutivo  
Oficina Estatal de Conservación Histórica  
Cuartel de Ballajá (Tercer Piso)

## Puerto Rico Disaster Recovery, CDBG-DR Social Interest Housing (SIH) Program

### **Section 106 NHPA Effect Determination Submittal: Albergue Alespi Project, Colegio San Juan Bautista de Orocovis Campus, PR-157, Km. 23.7 Interior, Bo. Barros, Sector La Vaqueria, Orocovis, Puerto Rico 00720 (PR-SIH-00005A) – *No Historic Properties Affected***

Dear Architect Rubio Cancela,

On February 9, 2018, an allocation of Community Development Block Grant - Disaster Recovery (CDBG-DR) funds was approved by the United States Department of Housing and Urban Development (HUD) under the Federal Register Volume 83, No. 28, 83 FR 5844, to assist the Commonwealth of Puerto Rico in meeting unmet needs in the wake of Hurricanes Irma and Maria. On August 14, 2018, an additional \$8.22 billion recovery allocation was allocated to Puerto Rico under the Federal Register Volume 83, No. 157, 83 FR 40314. With these funding allocations, the Puerto Rico Department of Housing (PRDOH) aims to lead a comprehensive and transparent recovery for the benefit of Puerto Rico residents. To faithfully comply with HUD's environmental requirements, the Puerto Rico Department of Housing contracted Horne Federal, LLC (HORNE) to provide environmental records review services that will support the Department's objectives for Puerto Rico Housing (PRDOH) regarding CDBG-DR.

On behalf of PRDOH, and the subrecipient for this project, Centro Maria Mazzarello Alespi, Inc., we are submitting documentation for the construction of the Albergue Alespi building for the purpose of housing student athletes on the Colegio San Juan Bautista de Orocovis campus in the municipality of Orocovis (PR-SIH-00005A). The full scope of work is described in the submitted documentation, which includes mapping, photographs, and 60% Construction Drawings of the project. Based on the provided documentation, the Program requests a concurrence that a determination of *No Historic Properties Affected* is appropriate for this undertaking.

Please contact me by email at [lauren.poche@horne.com](mailto:lauren.poche@horne.com) or phone at 225-405-7676, or Ms. Sharon Meléndez Ortiz at [sharon.melendez@hornepr.com](mailto:sharon.melendez@hornepr.com) with any questions or concerns.

Kindest regards,



**Lauren Bair Poche**

Architectural Historian, Historic Preservation Senior Manager  
Enclosures

<b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b> <b>SOCIAL INTEREST HOUSING PROGRAM (SIH)</b> <b>Section 106 NHPA Effect Determination</b>	
<b>Subrecipient:</b> Centro Maria Mazzarello Alespi, Inc.	
<b>Program ID Number:</b> PR-SIH-00005A	
<b>Project Name:</b> Albergue Alespi	

<b>Project Location:</b> PR-157, Km. 23.7 Interior, Bo. Barros, Sector La Vaqueria, Orocovis, P.R., 00720	
<b>Project Coordinates:</b> 18.241625, -66.406044	
<b>TPID (Número de Catastro):</b> 219-000-003-45	
<b>Type of Undertaking:</b> <input type="checkbox"/> Substantial Repair/Improvements <input checked="" type="checkbox"/> New Construction	
<b>Construction Date (AH est.):</b> n/a	<b>Property Size (acres):</b> 0.32 acres

<b>SOI-Qualified Architect/Architectural Historian:</b> Lauren B. Poche, M.A.
<b>Date Reviewed:</b> 09/02/2022
<b>SOI-Qualified Archaeologist:</b> Sharon Meléndez Ortiz, M.A.
<b>Date Reviewed:</b> 09/06/2022

In compliance with Section 106 of the National Historic Preservation Act (NHPA), the Program is responsible for identifying historic properties listed in the National Register of Historic Places (NRHP) and any properties not listed that would be considered eligible for listing that are located within the geographic area of potential effects (APE) of the proposed project and assessing the potential effects of its undertakings on these historic properties.

### Project Description (Undertaking)

The proposed undertaking for this project is the construction of a stand-alone two-story concrete building, the Alespi Hostel, on the grounds of the Colegio San Bautista De Orocovis to house school athletes. The building will be constructed in the southwest section of the campus, directly south of the basketball court with the primary façade facing west. It will be approximately 88' in length, 35' wide, and 24' tall. The main entrance will be flanked by a ramp to the left and a paved patio area to the right. The ground floor of the new building will house a sports education classroom, bathrooms with showers, accessible dormitories, a dining room, a kitchen, and an office. The second floor will be restricted to bathrooms with showers and additional dormitories.

Water will be supplied from a community well system and the sanitary system will be connected into the Puerto Rico Aqueduct and Sewer Authority sewage system. The electrical system will be connected to the school's existing substation which is supplied by the Puerto Rico Electrical Authority.

The detailed construction plans are included as supporting documents for this form. These include the architectural plan, architectural views, windows and doors schedule, finished

<b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b> <b>SOCIAL INTEREST HOUSING PROGRAM (SIH)</b> <b>Section 106 NHPA Effect Determination</b>	
<b>Subrecipient:</b> Centro Maria Mazzarello Alespi, Inc.	
<b>Program ID Number:</b> PR-SIH-00005A	
<b>Project Name:</b> Albergue Alespi	

schedule, the structural plan and details, plumbing plan and details, luminaries plan, power plan, and electrical details.

### **Area of Potential Effects**

As defined in 36 CFR §800.16(d), the area of potential effects (APE) is the geographic area or areas within which an undertaking may directly or indirectly cause changes in the character or use of historic properties if any such properties exist. Based on this definition and the nature and scope of the Undertaking, the Program has determined that the Direct APE for this project is the vacant lot of approximately 16,660 square feet where the building will be constructed. The APE includes the footprint of the new building of approximately 3,080 square feet, the connections to existing utilities and to the existing electrical substation, staging area, and access road. The Indirect/Visual APE is defined as the viewshed of the proposed project.

The vacant lot where the proposed activities will take place is south of an indoor basketball court, west of the school facilities and a concrete parking lot. The land is completely flat and is at the same level as the court, but at a lower level than the school and parking lot. In fact, to access the court it is necessary to go down some concrete stairs. There are several exposed profiles, suggesting that the area was cut, graded, and leveled. It is therefore understood that the area has been disturbed. Also, according to the proponent, stormwater works have been done previously within the APE, which entails land movement.

The area is currently covered with grass, with some patches of exposed reddish soil. According to the USDA Web Soil Survey, the soil in the project area consists of Maricao clay, 20 to 60 percent slopes (MoF). This is a steep to very steep, well-drained soil on side slopes and narrow hilltops of the strongly dissected uplands. Typically, the surface layer is reddish brown, about 6 inches thick. The subsoil is about 16 inches thick; it is red, friable clay in the upper part and silty clay in the lower part. It is understood that previous impacts may have removed the original soil layer, exposing the subsoil. This area is not susceptible to flooding. The nearest body of water is the Sana Muerto River, located 0.24 mi west.

### **Identification of Historic Properties**

Existing information on previously identified historic properties has been reviewed to determine if any such properties are located within the APE of this undertaking. The review of this existing information was completed by a Program contracted Historic Preservation

<b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b> <b>SOCIAL INTEREST HOUSING PROGRAM (SIH)</b> <b>Section 106 NHPA Effect Determination</b>	
<b>Subrecipient:</b> Centro Maria Mazzarello Alespi, Inc.	
<b>Program ID Number:</b> PR-SIH-00005A	
<b>Project Name:</b> Albergue Alespi	

Specialist meeting the Secretary of the Interior's Professional Qualification Standards for Archaeology (36 CFR Part 61) and a Program contracted Historic Preservation Specialist meeting the Secretary of the Interior's Professional Qualification Standards for Architectural History (36 CFR Part 61), shows that no known archaeologist sites are within the project area. Additionally, the project is not situated within an eligible nor recorded historic district and has been determined Not Eligible for listing in the National Register of Historic Places (NRHP), neither individually nor as part of a historic district. An examination of the surrounding properties has determined it is not located in a potential historic district.

The municipality of Orocovis has been distinguished by the numerous archaeological remains from pre-colonial times that have been found within its boundaries. Among the many sites are multiple petroglyphs and settlements with bateyes, some of which were studied in the early 20th century. However, within the project area and its immediate periphery there are no reported archaeological sites. The closest is OR0100025, located approximately one-half mile south of the proposed project. Another group of resources are in the vicinity of the traditional urban center of Orocovis, located more than 1.4 mile southeast of the area of interest.

Despite the archaeological richness of Orocovis, the potential for previously unknown resources to exist within the APE is practically nil. The history of use of the project area provides evidence that it has been significantly altered during the 21st century. In the 1946 topographic quadrangle no structures appeared in the area under study, only the now PR-157 road was visible to the south. In the area, there was a hill that went from 600 m above sea level where the road is located to 630 m above sea level, where the school was later built. The 1952 topographic quadrangle shows a dirt path or trail crossing the hill to the south and east of the area where the existing facilities were built, about 135 feet east of the project area, but still no structures were depicted. To the south and west, along the roadside - and outside the project area - new structures are visible. In the next available quadrangle, 1957 (1960 edition), the dirt path is still depicted, and some new structures are shown at the beginning to the south of it. This remains similar in the 1982 photo revision of the quadrangle. The 1995 aerial photo shows that the project area is vacant, and the road shown in the topographic quadrangles is clearly visible. By 2004 the school facilities under construction are visible. Cuttings are evident at the top of the hill, but not yet in the proposed project area. By November 2006, the basketball court was already built, and the entire proposed project area appears to have been leveled, exposing the sub-surface. The parking lot was subsequently built, being present in the June 2012 image. During this time, the project area was probably used as a staging area, as suggested by the presence of two large containers. Later photos

<b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b> <b>SOCIAL INTEREST HOUSING PROGRAM (SIH)</b> <b>Section 106 NHPA Effect Determination</b>	
<b>Subrecipient:</b> Centro Maria Mazzarello Alespi, Inc.	
<b>Program ID Number:</b> PR-SIH-00005A	
<b>Project Name:</b> Albergue Alespi	

show that the project area was used as a dirt road to get from the concrete parking lot to the basketball court. However, the most notable change can be seen in the satellite image of July 2018, when the lot seems to have been prepared for construction. It is evident that considerable earthworks were made. The lot under study appears as the top of an embankment, whose western profile has been cut. The entire surface of the area has subsoil exposed.

### Determination

The following historic properties have been identified within the APE:

- Direct Effect:
  - No historic properties are present within the Direct APE.
- Indirect Effect:
  - No historic properties are present within the Indirect/Visual APE.

Based on the results of historic property identification efforts, no previously identified historic properties are present within the Direct APE or the Indirect/Visual APE. The project area has a low probability for the presence of intact cultural deposits because it has been significantly disturbed. It is understood that the topsoil layer has been removed on more than one occasion, exposing the subsoil throughout the area. The Program has determined that no historic properties will be affected by the proposed activities.

<b>PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM</b> <b>SOCIAL INTEREST HOUSING PROGRAM (SIH)</b> <b>Section 106 NHPA Effect Determination</b>	 GOVERNMENT OF PUERTO RICO DEPARTMENT OF HOUSING
<b>Subrecipient:</b> Centro Maria Mazzarello Alespi, Inc.	
<b>Program ID Number:</b> PR-SIH-00005A	
<b>Project Name:</b> Albergue Alespi	

**Recommendation**

The Puerto Rico Department of Housing requests that the Puerto Rico SHPO concur that the following determination is appropriate for the undertaking (Choose One):

- No Historic Properties Affected
- No Adverse Effect  
     Condition (if applicable):
- Adverse Effect  
     Proposed Resolution (if applicable)

**This Section is to be Completed by SHPO Staff Only**

The Puerto Rico State Historic Preservation Office has reviewed the above information and:  <input type="checkbox"/> <b>Concurs</b> with the information provided. <input type="checkbox"/> <b>Does not concur</b> with the information provided.	
<b>Comments:</b>  	
Carlos Rubio-Cancela State Historic Preservation Officer	Date:

**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  
 SOCIAL INTEREST HOUSING PROGRAM (SIH)  
 Section 106 NHPA Effect Determination**



GOVERNMENT OF PUERTO RICO  
 DEPARTMENT OF HOUSING

**Subrecipient:** Centro Maria Mazzarello Alespi, Inc.

**Program ID Number:** PR-SIH-00005A

**Project Name:** Albergue Alespi

**Project Location - Aerial Base  
 Puerto Rico Department of Housing  
 Social Interest Housing**

Latitude: 18.2416  
 Longitude: -66.4060



**Application ID#:** PR-SIH-00005A

**Address:** PR-157, Km. 23.7 Interior, No. Barros, Sector La Vaqueria, Orocovis, PR



**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  
SOCIAL INTEREST HOUSING PROGRAM (SIH)  
Section 106 NHPA Effect Determination**



GOVERNMENT OF PUERTO RICO  
DEPARTMENT OF HOUSING

**Subrecipient:** Centro Maria Mazzarello Alespi, Inc.

**Program ID Number:** PR-SIH-00005A

**Project Name:** Albergue Alespi

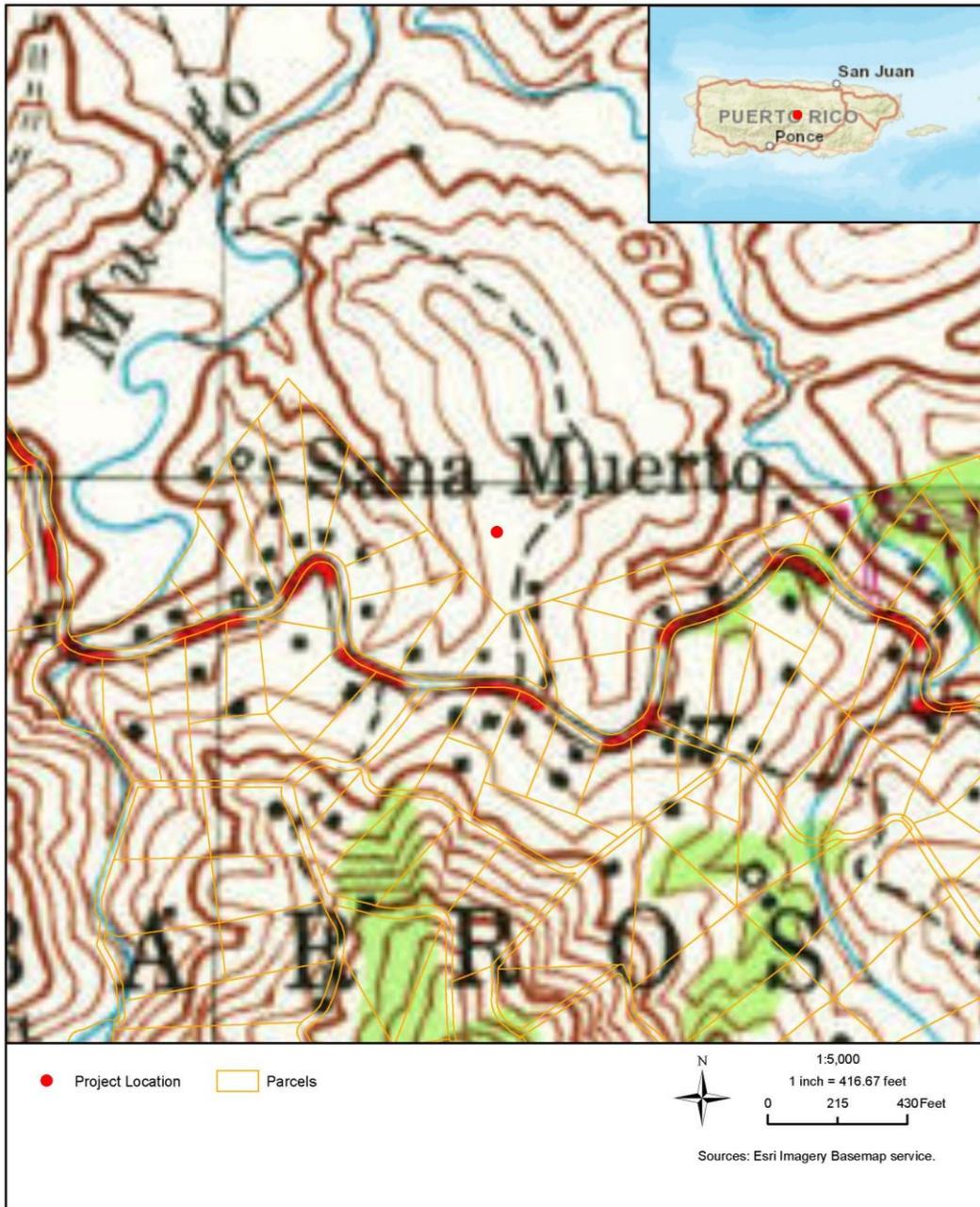
**Project Location - Topographic Base  
Puerto Rico Department of Housing  
Social Interest Housing**

Latitude: 18.2416  
Longitude: -66.4060



Application ID#: PR-SIH-00005A

Address: PR-157, Km. 23.7 Interior, No. Barros, Sector La Vaqueria, Orocovis, PR



**Subrecipient:** Centro Maria Mazzarello Alespi, Inc.

**Program ID Number:** PR-SIH-00005A

**Project Name:** Albergue Alespi

### Area of Potential Effects



Google Earth

Image © 2022 CNES / Airbus

90 m

 **Area of Potential Effect**

**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM**  
**SOCIAL INTEREST HOUSING PROGRAM (SIH)**  
**Section 106 NHPA Effect Determination**



**Subrecipient:** Centro Maria Mazzarello Alespi, Inc.

**Program ID Number:** PR-SIH-00005A

**Project Name:** Albergue Alespi

### Soils Map



According to the USDA Web Soil Survey, the soil in the project area consists of Maricao clay, 20 to 60 percent slopes (MoF). This is a steep to very steep, well-drained soil on side slopes and narrow hilltops of the strongly dissected uplands. Typically, the surface layer is reddish brown, about 6 inches thick. The subsoil is about 16 inches thick; it is red, friable clay in the upper part and silty clay in the lower part. It is understood that previous impacts may have removed the original soil layer, exposing the subsoil. This area is not susceptible to flooding.

**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM**  
**SOCIAL INTEREST HOUSING PROGRAM (SIH)**  
**Section 106 NHPA Effect Determination**



**Subrecipient:** Centro Maria Mazzarello Alespi, Inc.

**Program ID Number:** PR-SIH-00005A

**Project Name:** Albergue Alespi

### Recorded Archaeological Sites - Aerial Map



**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM**  
**SOCIAL INTEREST HOUSING PROGRAM (SIH)**  
**Section 106 NHPA Effect Determination**



**Subrecipient:** Centro Maria Mazzarello Alespi, Inc.

**Program ID Number:** PR-SIH-00005A

**Project Name:** Albergue Alespi

### 2018 Satellite Photo of the Project Area



**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  
SOCIAL INTEREST HOUSING PROGRAM (SIH)  
Section 106 NHPA Effect Determination**



**Subrecipient:** Centro Maria Mazzarello Alespi, Inc.

**Program ID Number:** PR-SIH-00005A

**Project Name:** Albergue Alespi

**Photograph Key**



**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  
 SOCIAL INTEREST HOUSING PROGRAM (SIH)  
 Section 106 NHPA Effect Determination**



**Subrecipient:** Centro Maria Mazzarello Alespi, Inc.

**Program ID Number:** PR-SIH-00005A

**Project Name:** Albergue Alespi



**Photo #:** 1

**Description (include direction):**

**Date:**  
August 2022

Overview of the direct Area of Potential Effects, facing north from the southern end of the project area.

**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM**  
**SOCIAL INTEREST HOUSING PROGRAM (SIH)**  
**Section 106 NHPA Effect Determination**



**Subrecipient:** Centro Maria Mazzarello Alespi, Inc.

**Program ID Number:** PR-SIH-00005A

**Project Name:** Albergue Alespi



**Photo #:** 2

**Description (include direction):**

**Date:**  
August 2022

Overview of the direct Area of Potential Effects, facing north-northwest from the southern end of the project area.

**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  
 SOCIAL INTEREST HOUSING PROGRAM (SIH)  
 Section 106 NHPA Effect Determination**



**Subrecipient:** Centro Maria Mazzarello Alespi, Inc.

**Program ID Number:** PR-SIH-00005A

**Project Name:** Albergue Alespi



**Photo #:** 3

**Description (include direction):**

**Date:**  
August 2022

Overview of the direct Area of Potential Effects, facing north from the southern end of the project area.

**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  
 SOCIAL INTEREST HOUSING PROGRAM (SIH)  
 Section 106 NHPA Effect Determination**



**Subrecipient:** Centro Maria Mazzarello Alespi, Inc.

**Program ID Number:** PR-SIH-00005A

**Project Name:** Albergue Alespi



**Photo #:** 4

**Description (include direction):**

**Date:**  
 August 2022

Overview of the northern portion of the direct Area of Potential Effects, facing east-northeast from the western side of the project area.

**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  
 SOCIAL INTEREST HOUSING PROGRAM (SIH)  
 Section 106 NHPA Effect Determination**



**Subrecipient:** Centro Maria Mazzarello Alespi, Inc.

**Program ID Number:** PR-SIH-00005A

**Project Name:** Albergue Alespi



**Photo #:** 5

**Description (include direction):**

**Date:**  
August 2022

Overview of the northern portion of the direct Area of Potential Effects, facing northeast from the western side of the project area.

**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  
 SOCIAL INTEREST HOUSING PROGRAM (SIH)  
 Section 106 NHPA Effect Determination**



**Subrecipient:** Centro Maria Mazzarello Alespi, Inc.

**Program ID Number:** PR-SIH-00005A

**Project Name:** Albergue Alespi



**Photo #:** 6

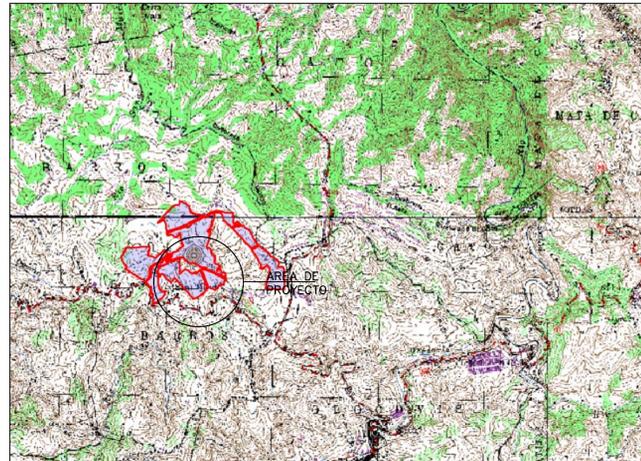
**Description (include direction):**

**Date:**  
August 2022

Overview of the direct Area of Potential Effects, facing north from the southwestern part of the project area.

# PLANO DE CONSTRUCCION PARA EL CENTRO MARIA MAZZARELLO

LOCALIZADO EN CARR. 157 Km 26.7 Bo. BARROS DEL TERMINO MUNICIPAL DE OROCOVIS, P.R.

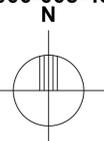


COORDENADAS DEL PROYECTO:  
NAD 83  
X: 202,879.7603 Y: 245,544.5476

NUMERO DE CATASTRO:  
219-000-003-45

MAPA TOPOGRAFICO

ESCALA : 1 : 20,000



Panel: 72000C1135H Fecha de efectividad: 13/abril/2018  
Fecha de revisión del geodato: 12/mayo/2018

MAPA DE INUNDACIONES

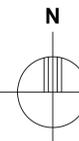
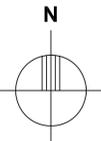


FOTO AEREA



## HOJA DE TITULO

HOJA SE SITE.....	SITE
PLANTA DE PISO PROPUESTA.....	A-1
VISTAS PROPUESTAS.....	A-2
DETALLES DE VENTANAS.....	A-3
DETALLES DE PUETAS.....	A-4
HOJA DE TERMINACIONES.....	A-5
ESTRUCTURAL.....	S-1
DETALLES ESTRUCTURALES.....	S-2
PLOMERIA.....	P-1
DETALLES PLOMERIA .....	P-2
ELECTRICO .....	E-1
ELECTRICO.....	E-2
DETALLES ELECTRICO.....	E-3



1055 MARGINAL KENNEDY  
I.L.A. BUILDING - SUITE 706  
SAN JUAN, P.R. 00920  
TEL.(787) 707-6100  
EMAIL: gpassoc@gmail.com

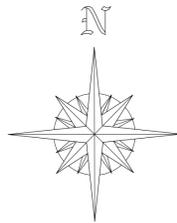
TITULO DE DIBUJO:

HOJA DE TITULO

PROYECTO:	HOJA NUM.:
<b>DISEÑO</b>	<b>1</b>
DISEÑADO POR:	DIBUJO NUM.:
DIBUJADO POR:	<b>T-1</b>
FECHA:	<b>JUL. 2022</b>

# PLANO DE CONSTRUCCION DE PARA EL CENTRO MARIA MAZZARELLO

LOCALIZADA EN LA CARR. 157 Km. 26.7 (INTERIOR) Bo. BARROS DEL TERMINO MUNICIPAL DE OROCOVIS, P.R.

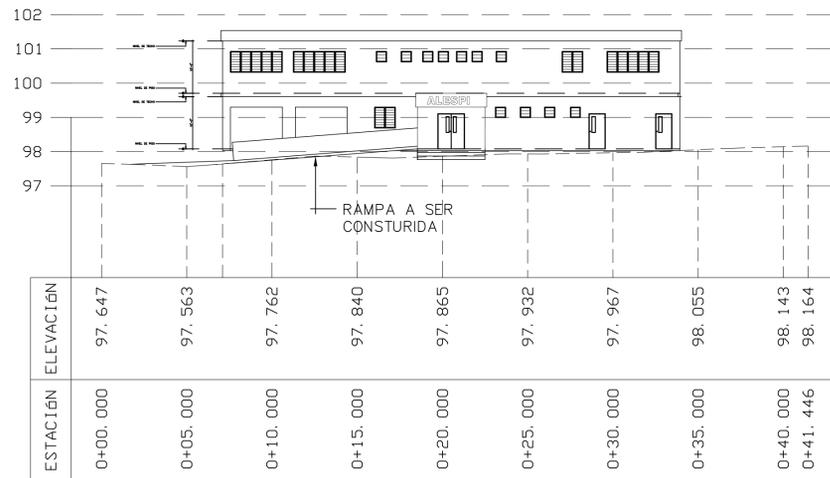


ESCALA: 1:300

**DATOS REGISTRALES:**  
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 TOMO:  
 FOLIO:  
 NUM. FINCA:  
 COORDENADAS LAMBERT  
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 Y=245,543,2455

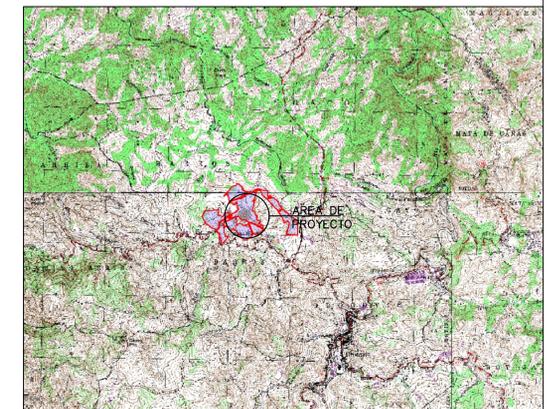
**LEYENDA:**

SIMBOLO	DESCRIPCION
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[Linea con cuadrados]	VERJA DE METAL
[Linea con triángulos]	VERJA DE ALAMBRE ESLABONADO
[Linea con cruces]	VERJA DE ALAMBRE DE PÓAS
[Linea con puntos]	CONTORNO INDICE
[Linea con cruces]	CONTORNO INTERMEDIO
[Punto con elevación]	PUNTO DE ELEVACION
[Circulo con elevación]	ESTACION DE CONTROL
[Circulo con elevación]	MARCA DE CONTROL OFICIAL
[Circulo con elevación]	PUNTOS DE COLINDANCIA
[Circulo con elevación]	REGISTROS
[Rectangulo con elevación]	ALCANTARILLA FLUYVAL
[Rectangulo con elevación]	TERMINACION DE TUBO FLUYVAL
[Poste con elevación]	POSTE CON LUMINARIA
[Poste con elevación]	POSTE ELECTRICO
[Poste con elevación]	POSTE TELEFONICO
[Circulo con elevación]	ARBOLES



PERFIL LONGITUDINAL: A

ESCALA HORIZONTAL=1: 250.00  
 ESCALA VERTICAL=1: 125.00



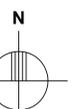
COORDENADAS DEL PROYECTO:  
 NAD 83  
 X=233,841.0639 Y=266,200.1661

**MAPA TOPOGRAFICO**

ESCALA : 1 : 20,000



**MAPA DE INUNDACIONES**



1055 MARGINAL KENNEDY  
 I.L.A. BUILDING - SUITE 706  
 SAN JUAN, P.R. 00920  
 TEL.(787) 707-6100  
 EMAIL: gpassoc@gmail.com

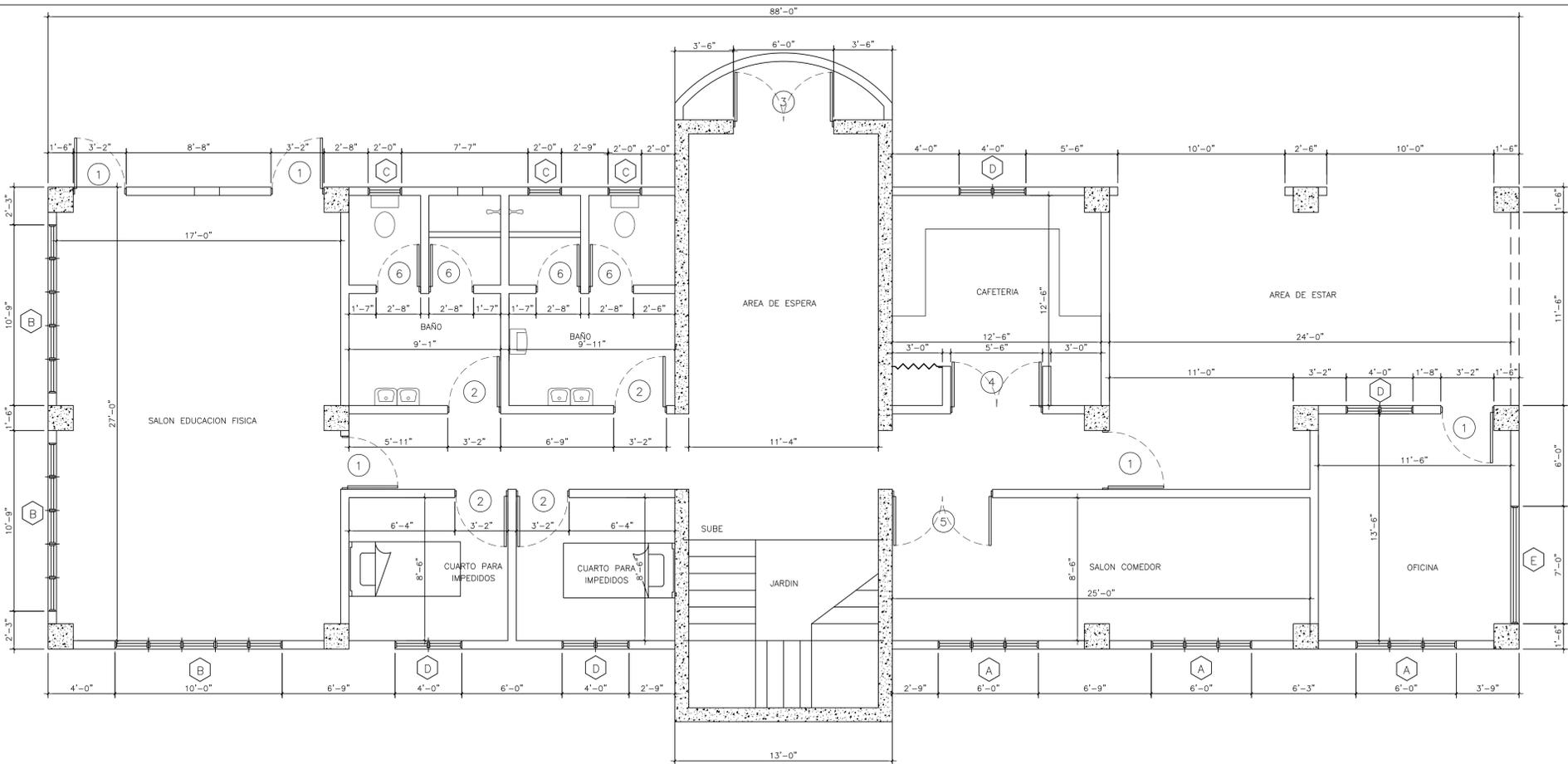
TITULO DE DIBUJO:  
 PLANO DE SITE

PROYECTO:  
 ALESPI

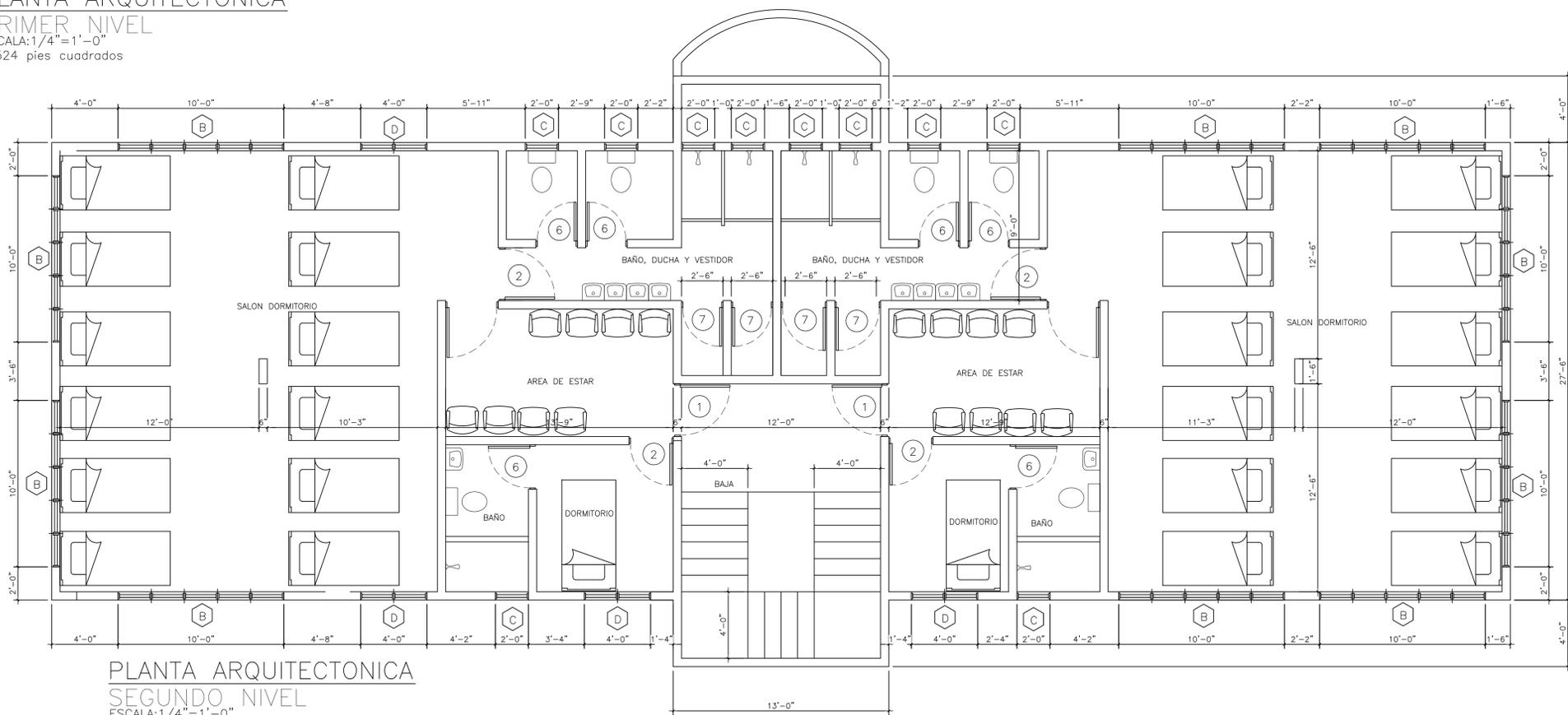
DISEÑADO POR:  
 DIBUJADO POR:  
 FECHA:  
 JUL. 2022

HOJA NUM.:  
 2

DIBUJO NUM.:  
 2-14



PLANTA ARQUITECTONICA  
PRIMER NIVEL  
ESCALA: 1/4" = 1'-0"  
2,524 pies cuadrados



PLANTA ARQUITECTONICA  
SEGUNDO NIVEL  
ESCALA: 1/4" = 1'-0"  
2,524 pies cuadrados

LEYENDA:

- PAREDES EXISTENTES
- PAREDES O COLUMNAS DE HORMIGON REFORZADO
- PAREDES DE BLOQUES DE HORMIGON
- MECHONES DE HORMIGON
- VENTANAS
- PUERTAS

LEYENDA:

- PAREDES O COLUMNAS DE HORMIGON REFORZADO
- PAREDES DE BLOQUES DE HORMIGON
- MECHONES DE HORMIGON
- IDENTIFICA VENTANA
- IDENTIFICA PUERTA
- LETRA DE SECCION  
NUMERO DE DIBUJO
- NUMERO DE DETALLE  
NUMERO DE DIBUJO
- NUMERO DE ELEVACION  
NUMERO DE DIBUJO
- IDENTIFICA TERMINACION
- DRENAJE DE PISO



1055 MARGINAL KENNEDY  
I.L.A. BUILDING - SUITE 706  
SAN JUAN, P.R. 00920  
TEL. (787) 707-6100  
EMAIL: gpasoc@gmail.com

CENTRO MARIA MAZZARELLO  
CARR. 157, KM. 23.0 INTERIOR  
BO. BARROS  
OROCOVIS, PUERTO RICO

All drawings and copies thereof are instruments of service and as such remain the property of the designer. They are to be used only with respect to the project. With the exception of one complete set for each party to the contract, all copies are to be returned or suitably accounted for to the designer upon completion of the work.

PROJECT NUMBER: EDIFICO CANCHA  
PROJECT TITLE: CENTRO MARIA MAZZARELLO  
OROCOVIS, P.R.

CERTIFICACION  
Yo, DANIEL GOMEZ MARRERO Ingeiero con licencia numero 7782 y vecino de SAN JUAN, certifico que:  
Soy el profesional que diseño estos planos para la construcción y las especificaciones complementarias. También certifico que estando que dichos planos y especificaciones cumplen con las disposiciones aplicables del Reglamento Construido y las disposiciones aplicables de los Reglamentos y códigos de las Agencias, Jurisdicciones Reglamentarias y Corporaciones Públicas con jurisdicción.  
Reconozco que cualquier declaración falsa o falsificación de los hechos que se haya producido sin consentimiento o por negligencia yo así por mí, mis agentes o mandatarios, o por otras personas con mi consentimiento, me hacen responsable de cualquier acción judicial y disciplinaria por la ODC y otras autoridades competentes, incluyendo, pero no limitado a, la denuncia de la participación en los procedimientos de certificación profesional en la ODC.

CERTIFICO CORRECTO

DESING BY:  
ING. DANIEL GOMEZ MARRERO  
LIC. NO.  
7782

Revisions	By	Date

SHEET TITLE: DISEÑO  
CENTRO MARIA MAZZARELLO

Design by: XXXX  
Drawn by: XXXX  
Checked by: ING. GOMEZ  
Plot Date: JUNE 2022

All drawings and copies thereof are instruments of service and as such remain the property of the designer. They are to be used only with respect to the project. With the exception of one complete set for each party to the contract, all copies are to be returned or suitably accounted for to the designer upon completion of the work.

PROJECT NUMBER  
**EDIFICO CANCHA**

PROJECT TITLE  
**CENTRO MARIA MAZZARELLO**  
OROCOVIS, P.R.

CERTIFICACION

Yo, DANIEL GOMES MARRERO Ingeiero con licencia numero 7782 y vecino de CAROLINA, certifico que:

Soy el profesional que diseño estos planos para la construcción y las especificaciones complementarias. Tambien certifico que estando que dichos planos y especificaciones cumplen con las disposiciones aplicables del Reglamento Conjunto y las disposiciones aplicables de los Reglamentos y códigos de las Agencias, Jurisdicciones Reglamentarias o Corporaciones Publicas, sin perjuicio de:

Reconocer que cualquier declaración falsa o falsificación de los hechos que se haya producido sin consentimiento o por negligencia yo sea por mi, mis agentes o empleados, o por otras personas con mi consentimiento, me hacen responsable de cualquier acción judicial y disciplinaria por la OCPH y otras autoridades competentes, incluyendo pero no limitado, la suspensión de la participación en los procedimientos de certificación profesional en la OCPH.

**CERTIFICO CORRECTO**

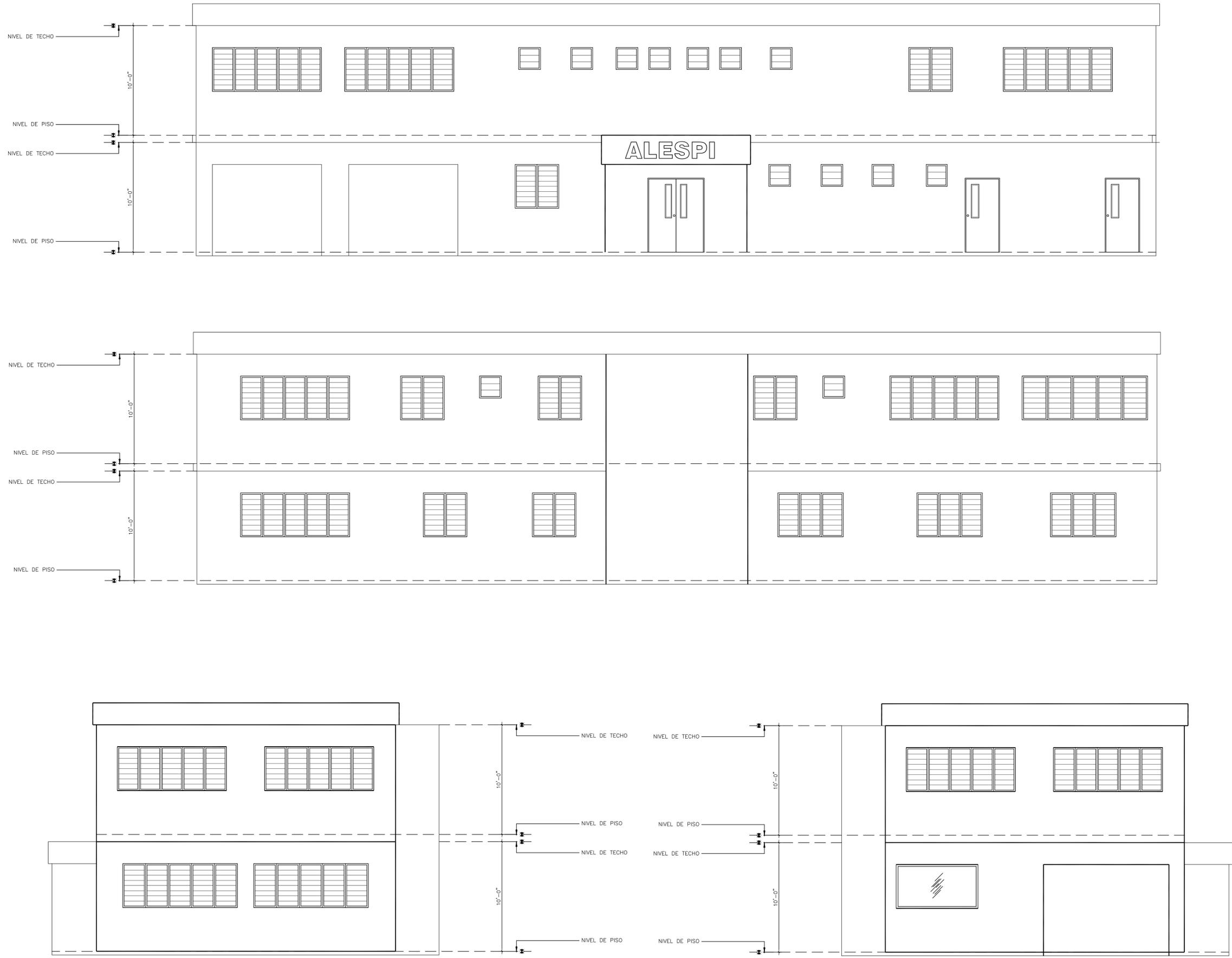
DESIGN BY:  
ING. DANIEL GOMES MARRERO

LIC. NO.  
7782

Revisions	By	Date

SHEET TITLE  
**DISEÑO**  
**CENTRO**  
**MARIA**  
**MAZZARELLO**

Design by : XXXX  
Drawn by : XXXX  
Checked by : ING. GOMES  
Plot Date : JUNE 2022



1055 MARGINAL KENNEDY  
I.L.A. BUILDING - SUITE 706  
SAN JUAN, P.R. 00920  
TEL. (787) 707-6100  
EMAIL: gpassoc@gmail.com

**CENTRO MARIA MAZZARELLO**  
CARR. 157, KM. 23.0 INTERIOR  
BO. BARROS  
OROCOVIS, PUERTO RICO

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PROJECT NUMBER: **EDIFICO CANCHA**  
PROJECT TITLE: **CENTRO MARIA MAZZARELLO**  
OROCOVIS, P.R.

**CERTIFICACION**  
Yo, DANIEL GOMEZ MAZZARELLO Ingeiero con licencia numero 7782 y miembro de CIATES, certifico que:  
Soy el profesional que diseño estos planos para la construcción y las especificaciones complementarias. También certifico que estando que dichos planos y especificaciones cumplen con las disposiciones aplicables del Reglamento Construcción y las disposiciones aplicables de los Reglamentos y códigos de las Agencias, Jurisdicciones y Corporaciones Públicas.  
Reconozco que cualquier declaración falsa o falsificación de los hechos que se haya producido sin consentimiento o por negligencia yo sea por mí, mis agentes o empleados, o por otras personas con mi consentimiento, me hacen responsable de cualquier acción judicial y disciplinaria por la ODEPA y otras autoridades competentes, incluyendo, pero no limitado a, la suspensión de la participación en los procedimientos de certificación profesional en la ODEPA.

**CERTIFICO CORRECTO**

DESIGNED BY:  
ING. DANIEL GOMEZ MAZZARELLO  
LIC. NO.  
7782

Revisions	By	Date

SHEET TITLE: **DISEÑO CENTRO MARIA MAZZARELLO**

Design by: XXXX  
Drawn by: XXXX  
Checked by: ING. GOMEZ  
Plot Date: JUNE 2022



MCDO.	TAMAÑO HUECO		TAMAÑO VENTANA		CANTIDAD HUECOS	OBSERVACIONES
	ANCHO	ALTO	ANCHO	ALTO		
A	6'-0"	4'-0"	2'-0"	4'-0"	3	ALUMINIO Y CRISTAL, CELOCIAS DE CRISTAL CON BARRA DE SEG. LAMA 3", COLOR ESCOGIDO POR DUEÑO.
B	10'-0"	4'-0"	2'-0"	4'-0"	13	ALUMINIO Y CRISTAL, CELOCIAS DE CRISTAL CON BARRA DE SEG. LAMA 3", COLOR ESCOGIDO POR DUEÑO.
C	2'-0"	2'-0"	2'-0"	2'-0"	13	ALUMINIO Y CRISTAL, CELOCIAS DE CRISTAL CON BARRA DE SEG. LAMA 3", COLOR ESCOGIDO POR DUEÑO.
D	2'-0"	4'-0"	2'-0"	4'-0"	8	ALUMINIO Y CRISTAL, CELOCIAS DE CRISTAL CON BARRA DE SEG. LAMA 3", COLOR ESCOGIDO POR DUEÑO.
E	7'-0"	4'-0"	7'-0"	4'-0"	1	ALUMINIO Y CRISTAL, COLOR ESCOGIDO POR DUEÑO.

**NOTA PARA HUECOS DE VENTANAS:**

- 1-EL CONTRATISTA COORDINARA CON EL FABRICANTE DE LAS VENTANAS EL TAMAÑO EXACTO DE CADA VENTANA.
- 2-EL CONTRATISTA AJUSTARA EL TAMAÑO DEL HUECO PARA CADA VENTANA SEGUN LA MEDIDA PROPUESTA POR EL FABRICANTE Y APROBADA POR EL DISEÑADOR.

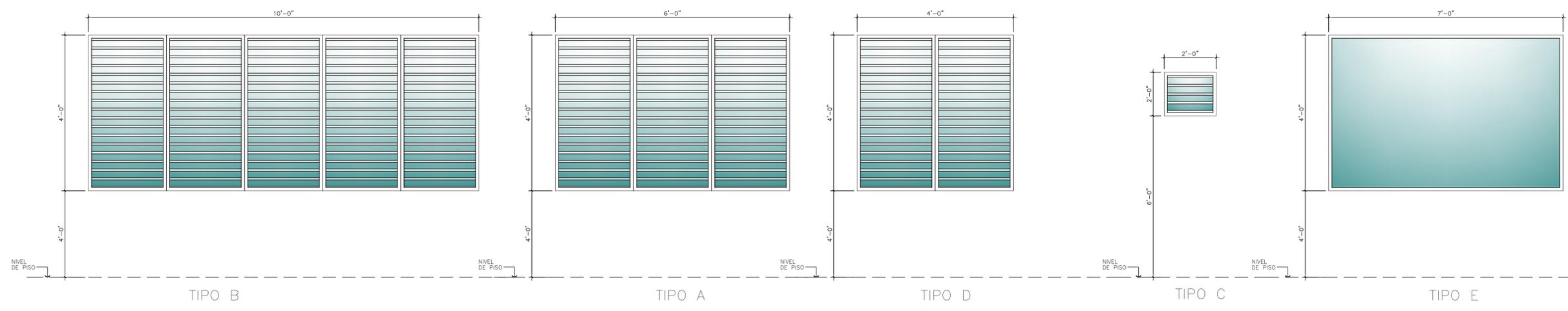
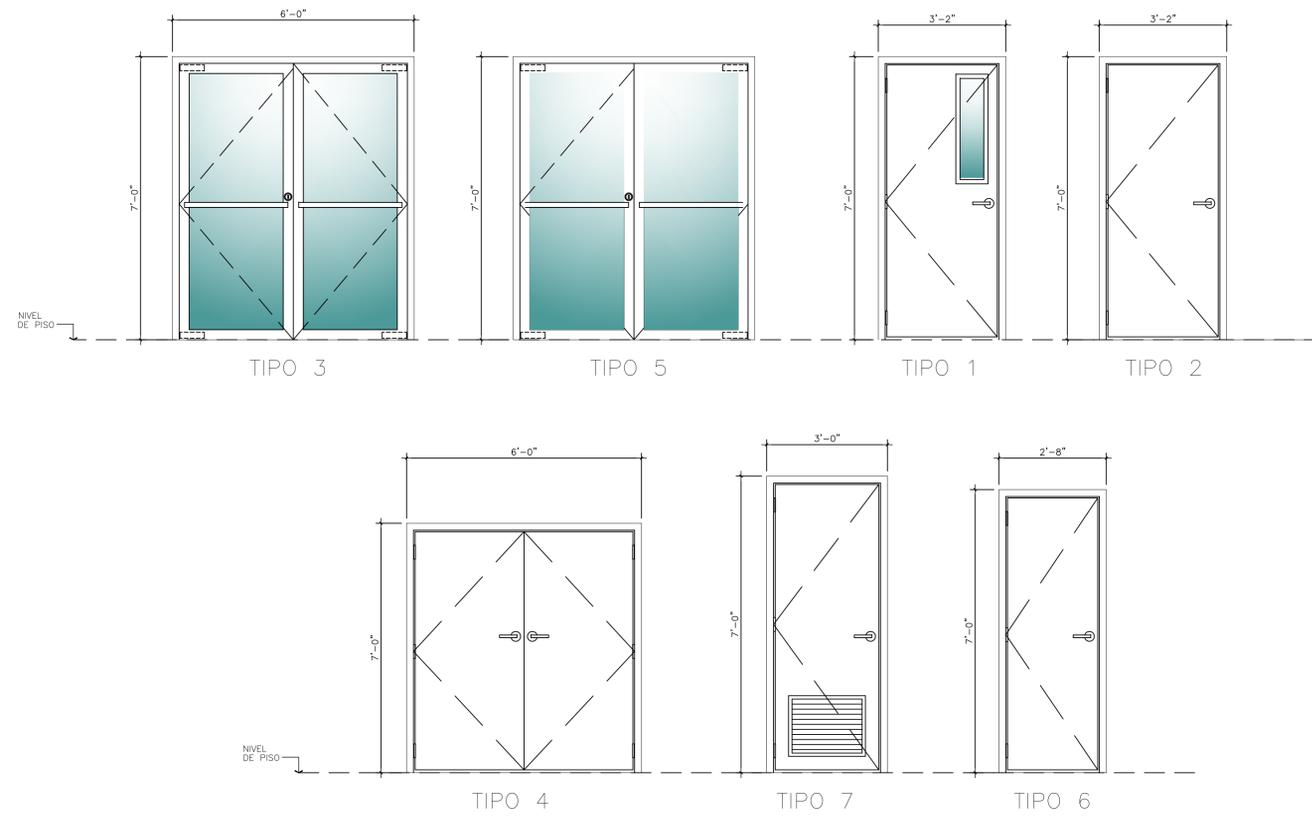


TABLA DE PUERTAS								
M.CDO.	TAMAÑO HUECO		TAMAÑO PUERTA		GROSOR	MATERIAL	TIPO HERRAJES	OBSERVACIONES
	ANCHO	ALTO	ANCHO	ALTO				
1	3'-2"	7'-0"	3'-0"	6'-10"	2"	ALUMINIO	H-2	PUERTA ALUMINIO. INTERIOR, ALUMINIO FULL CON FRANJA DE CRISTAL VERTICAL, UBICACION EN ENTRADAS, EN TODOS LOS NIVELES, TERMINACION A SER ESCOGIDA POR DISEÑADOR
2	3'-2"	7'-0"	3'-0"	6'-10"	2"	ALUMINIO	H-2	PUERTA ALUMINIO. INTERIOR, ALUMINIO FULL, UBICACION EN ENTRADA DE BAÑOS TODOS LOS NIELES Y BAÑO IMPEDIDOS, TERMINACION A SER ESCOGIDA POR DISEÑADOR
3	6'-0"	7'-0"	5'-8"	6'-10"	2"	ALUMINIO	H-1	PUERTA ALUM. PARA EXT. DOBLE HOJA, CRISTAL FIJO LAMINADO/DOBLE ACCION-PIVOTE, UBICACION EN ENTRADA PRINCIPAL PRIMER NIVEL, TERMINACION A SER ESCOGIDA POR DISEÑADOR
4	5'-6"	7'-0"	5'-6"	7'-0"	2"	ALUMINIO	H-2	PUERTA ALUMINIO. INTERIOR, ALUMINIO FULL CON VENTANILLAS, UBICACION EN CAFETERIA PRIMER NIVEL, TERMINACION A SER ESCOGIDA POR DISEÑADOR
5	6'-0"	7'-0"	6'-0"	7'-0"	2"	ALUMINIO	H-1	PUERTA ALUM. PARA INTERIOR DOBLE HOJA, CRISTAL FIJO LAMINADO/DOBLE ACCION-PIVOTE, UBICACION EN SALON COMEDOR, TERMINACION A SER ESCOGIDA POR DISEÑADOR
6	2'-8"	7'-0"	2'-6"	6'-10"	2"	ALUMINIO	H-2	PUERTA ALUMINIO. INTERIOR, ALUMINIO FULL, UBICACION EN BAÑOS PRIMER NIVEL Y SEGUNDO NIVEL, TERMINACION A SER ESCOGIDA POR DISEÑADOR
7	2'-6"	7'-0"	3'-0"	7'-2"	2"	ALUMINIO	H-2	PUERTA ALUMINIO. INTERIOR, ALUMINIO CON VENTANILLAS PARA VENTILACION, UBICACION EN CLOSET DE COCINA, TERMINACION A SER ESCOGIDA POR DISEÑADOR

**NOTAS PARA PUERTAS Y VENTANAS:**

- 1-EL CONTRATISTA DEBERA PONERLE CAULKING SEALANT A TODOS LOS MARCOS DE PUERTAS Y VENTANAS.
- 2-HARDWARE POR HAGER COMPANIES O SIMILAR.
- 3-LOS HERRAJES SE ESPECIFICAN EN LA TABLA DE HERRAJES.
- 4-AMAESTRAMIENTO DE CERRADURAS DE PUERTAS SERA COORDINADO CON EL ARO. Y DUEÑO.
- 5-EL CONTRATISTA DEBERA SOMETER SHOP DRAWINGS DE PUERTAS, VENTANAS, CRISTALES Y HERRAJES PARA SU APROBACION.
- 6-TODAS LAS PUERTAS EXCEPTO LAS EXTERIORES DEBERAN LLEVAR "FLOOR STOPS". EL MISMO DEBERA SER INCLUIDO EN EL SHOP DRAWING DE PUERTAS Y HERRAJES PARA SU APROBACION.
- 7-LOS ESTILOS DE LAS PUERTAS Y VENTANAS VARIAN DE ACUERDO AL FABRICANTE POR LO QUE EL CONTRATISTA DEBE HACER LOS AJUSTES NECESARIOS A LAS DIMENSIONES FINALES DE LOS HUECOS.

DESCRIPTION & QTY.	MODEL NO.	MFR.
H-1		
3 EA BUTTS	ECBB1100 4.5 x 4.5	HAG
1 EA LOCKSET	3800 SERIES-MORTISE-GRADE1	HAG
1 EA DOOR CLOSER	300 PBF COV	TRI
H-2		
3 EA BUTTS	ECBB1101 4.5 x 4.5 NRP	HAG
1 EA LOCKSET	3400-SERIES-CYLINDRICAL-GRADE1	HAG
1 EA WALL STOP	1278 CX	HAG
H-3		
3 EA BUTTS	ECBB1101 4.5 x 4.5 NRP	HAG
1 EA LOCKSET	3753 ENTRY/DOUBLE LOCK INTERCONNECTED SERIES	HAG
1 EA WALL STOP	1278 CX	HAG
H-4		
3 EA BUTTS	ECBB1101 4.5 x 4.5 NRP	HAG
1 EA LOCKSET	3200-SERIES-DEADLOCK-GRADE2	HAG



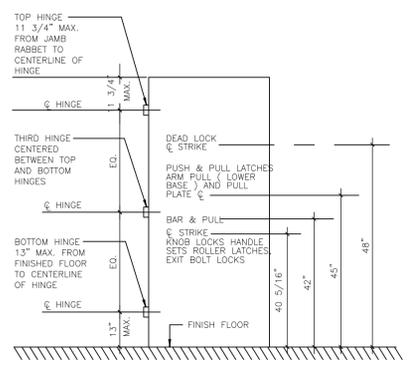
**HARDWARE NOTES:**

- A MEETING SHALL TAKE PLACE BETWEEN ARCHITECT, OWNER, SUPPLIER, CONTRACTOR & INSTALLER BEFORE ORDERING HARDWARE AND DOOR'S.
- VERIFY IN FIELD IF WALL STOP OR FLOOR STOPS AREA TO BE USE, AND THE MOST SUITABLE ONE FOR EACH INDIVIDUAL LOCATION.
- VERIFY WITH OWNER KEYING SYSTEM.
- ALL LOCKS MASTER KEY & CONSTRUCTION KEY
  - 3 KEYS PER LOCK
  - 2 MASTER KEYS
  - 10 CONSTRUCTION KEYS
- ALL KEYS STAMPED "DO NOT DUPLICATED"
- FINAL KEY LAY OUT AS PER ARCHITECT AND/OR OWNER INSTRUCTIONS

**MANUFACTURES REFERENCE:**

- HAG - HAGER MFG
- CAL - CAL ROYAL
- TRI - TRIMCO MFG
- SEC - SECURITRON MFG
- HES - HANCHETT ENTRY SYS

- REGULATORY REQUIREMENTS:**
- CONFORM TO ALL APPLICABLE CODES FOR FIRE RATED DOORS AND FRAMES.
  - CONFORM TO THE APPLICABLE SECTIONS OF CHAPTER 5 OF NFPA 101.
  - CONFORM TO ANSI A117.1 FOR HARDWARE LOCATIONS AND REQUIREMENTS TO MEET ALL HANDICAPPED CODES AND MEET TITLE III PROVISIONS OF THE AMERICAN WITH DISABILITIES ACT.
  - QUANTITIES SHOWN ON THE SCHEDULED ARE FOR REFERENCE ONLY. FINAL COUNT IS BIDDER'S RESPONSIBILITY. BIDDERS SHOULD VERIFY FLOOR PLANS AND DOORS SCHEDULE TO



**NOTES:**  
 1. REFER TO SCHEDULE IF VARIED TO MEET SPECIFIC INSTALLATION REQUIREMENTS.  
**DOOR HARDWARE LOCATIONS**  
 N.T.S.

**CENTRO MARIA MAZZARELLO**  
 CARR. 157, KM. 23.0 INTERIOR  
 BO. BARROS  
 OROCOVIS, PUERTO RICO

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**PROJECT NUMBER:**  
 EDIFICO CANCHA  
**PROJECT TITLE:**  
 CENTRO MARIA MAZZARELLO  
 OROCOVIS, P.R.

**CERTIFICACION**  
 Yo, DANIEL GOMEZ MARRERO Ingeiero con licencia numero 7782 y miembro de CAIPIÑERO, certifico que:  
 Soy el profesional que diseño estos planos para la construcción y las especificaciones complementarias. También certifico que estando que dichos planos y especificaciones cumplen con las disposiciones aplicables del Reglamento Construido y las disposiciones aplicables de los Reglamentos y códigos de las Agencias, Junta Reglamentaria y Corporación Pública con jurisdicción.  
 Reconozco que cualquier declaración falsa o falsificación de los hechos que se haya producido sin consentimiento o por negligencia ya sea por mí, mis agentes o empleados, o por otras personas con mi consentimiento, me hacen responsable de cualquier acción judicial y disciplinaria por la OCPH y otras autoridades competentes, incluyendo, pero no limitado, la suspensión de la participación en los procedimientos de certificación profesional en la OCPH.

**CERTIFICO CORRECTO**

**DESING BY:**  
 ING. DANIEL GOMEZ MARRERO  
**LIC. NO.**  
 7782

Revisions	By	Date

**SHEET TITLE**  
**DISEÑO**  
**CENTRO**  
**MARIA**  
**MAZZARELLO**

Design by : XXXX  
 Drawn by : XXXX  
 Checked by : ING. GOMES  
 Plot Date : JUNE 2022

C U A D R O   D E   T E R M I N A C I O N E S						
ESPACIO	LOCAL NO.	PISO	ZOCALO	PAREDES	PLAFON	OBSERVACIONES
ENTRADA	000(A)	TILE: 24"x24", ANTIRESBALADIZA MODEL: ESCOGIDO POR DUEÑO	TILE: 3"x24" MODEL: ESCOGIDO POR DUEÑO	PINTURA	PINTURA	BARANDAL EN ACERO INOXIDABLE INSTALAR LOSA SOBRE LOSA DE TERRAZO EXISTENTE
"LOBIE"	000(B)	TILE: 24"x24", ANTIRESBALADIZA MODEL: ESCOGIDO POR DUEÑO	TILE: 3"x24" MODEL: ESCOGIDO POR DUEÑO	PINTURA	PINTURA	INSTALAR LOSA SOBRE LOSA DE TERRAZO EXISTENTE
ESCALERA	000(C)	TILE: 24"x24", ANTIRESBALADIZA MODEL: ESCOGIDO POR DUEÑO	TILE: 3"x24" MODEL: ESCOGIDO POR DUEÑO	PINTURA	PINTURA	INSTALAR LOSA SOBRE LOSA DE TERRAZO EXISTENTE INSTALAR BARANDAL EN ACERO GALVANIZADO 
RECEPCION GENERAL	001(A)	TILE: 24"x24", ANTIRESBALADIZA MODEL: ESCOGIDO POR DUEÑO	TILE: 3"x24" MODEL: ESCOGIDO POR DUEÑO	PINTURA	PINTURA	INSTALAR LOSA SOBRE LOSA DE TERRAZO EXISTENTE
BAÑO PARA IMPEDIDOS	001(B)	TILE: 24"x24", ANTIRESBALADIZA MODEL: ESCOGIDO POR DUEÑO		TILE: 12"x24" MODEL: ESCOGIDO POR DUEÑO	PINTURA	INSTALAR LOSA SOBRE LOSA DE TERRAZO EXISTENTE
OFICINA AYUDA AL CIUDADANO	002	TILE: 24"x24", ANTIRESBALADIZA MODEL: ESCOGIDO POR DUEÑO	TILE: 3"x24" MODEL: ESCOGIDO POR DUEÑO	PINTURA	PINTURA	INSTALAR LOSA SOBRE LOSA DE TERRAZO EXISTENTE
OFICINA AYUDA AL CIUDADANO	003	TILE: 24"x24", ANTIRESBALADIZA MODEL: ESCOGIDO POR DUEÑO	TILE: 3"x24" MODEL: ESCOGIDO POR DUEÑO	PINTURA	PINTURA	REMOVER LOSA DE VINIL EXISTENTE
OFICINA ASAMBLEA	004(A)	TILE: 24"x24", ANTIRESBALADIZA MODEL: ESCOGIDO POR DUEÑO	TILE: 3"x24" MODEL: ESCOGIDO POR DUEÑO	PINTURA	PINTURA	INSTALAR LOSA SOBRE LOSA DE TERRAZO EXISTENTE
ALMACEN	004(B)	TILE: 24"x24", ANTIRESBALADIZA MODEL: ESCOGIDO POR DUEÑO	TILE: 3"x24" MODEL: ESCOGIDO POR DUEÑO	PINTURA	PINTURA	INSTALAR LOSA SOBRE LOSA DE TERRAZO EXISTENTE
PASILLO	004(C)	TILE: 24"x24", ANTIRESBALADIZA MODEL: ESCOGIDO POR DUEÑO	TILE: 3"x24" MODEL: ESCOGIDO POR DUEÑO	PINTURA	PINTURA	INSTALAR LOSA SOBRE LOSA DE TERRAZO EXISTENTE
OFICINA ASAMBLEA	005	TILE: 24"x24", ANTIRESBALADIZA MODEL: ESCOGIDO POR DUEÑO	TILE: 3"x24" MODEL: ESCOGIDO POR DUEÑO	PINTURA	PINTURA	REMOVER LOSA DE VINIL EXISTENTE
PRESENTACION DE PROYECTOS	006	TILE: 24"x24", ANTIRESBALADIZA MODEL: ESCOGIDO POR DUEÑO	TILE: 3"x24" MODEL: ESCOGIDO POR DUEÑO	PINTURA	PINTURA	REMOVER LOSA DE CERAMICA EXISTENTE
PRESIDENCIA	007	TILE: 24"x24", ANTIRESBALADIZA MODEL: ESCOGIDO POR DUEÑO	TILE: 3"x24" MODEL: ESCOGIDO POR DUEÑO	PINTURA	PINTURA	REMOVER ESTRUCTURA DE MADERA EXISTENTE (PISO, PAREDES Y TECHO) Y RECONSTRUIR PISO Y ESCALERA EN HORMIGON
ASAMBLEA	008	TILE: 24"x24", ANTIRESBALADIZA MODEL: ESCOGIDO POR DUEÑO	TILE: 3"x24" MODEL: ESCOGIDO POR DUEÑO	PINTURA	PINTURA	INSTALAR LOSA SOBRE LOSA DE TERRAZO EXISTENTE
PUBLICO	009	TILE: 24"x24", ANTIRESBALADIZA MODEL: ESCOGIDO POR DUEÑO	TILE: 3"x24" MODEL: ESCOGIDO POR DUEÑO	PINTURA	PINTURA	INSTALAR LOSA SOBRE LOSA DE TERRAZO EXISTENTE
COCINA-COMEDOR	010	TILE: 24"x24", ANTIRESBALADIZA MODEL: ESCOGIDO POR DUEÑO	TILE: 3"x24" MODEL: ESCOGIDO POR DUEÑO	PINTURA	PINTURA	
BAÑO CABALLEROS	011	TILE: 24"x24", ANTIRESBALADIZA MODEL: ESCOGIDO POR DUEÑO	TILE: 3"x24" MODEL: ESCOGIDO POR DUEÑO	PINTURA	PINTURA	INSTALAR LOSA SOBRE LOSA DE TERRAZO EXISTENTE
BAÑO DAMAS	012	TILE: 24"x24", ANTIRESBALADIZA MODEL: ESCOGIDO POR DUEÑO	TILE: 3"x24" MODEL: ESCOGIDO POR DUEÑO	PINTURA	PINTURA	INSTALAR LOSA SOBRE LOSA DE TERRAZO EXISTENTE
TRABAJADORA SOCIAL	013	TILE: 24"x24", ANTIRESBALADIZA MODEL: ESCOGIDO POR DUEÑO	TILE: 3"x24" MODEL: ESCOGIDO POR DUEÑO	PINTURA	PINTURA	REMOVER LOSA DE VINIL EXISTENTE
TRANSPORTACION ESCOLAR	014	TILE: 24"x24", ANTIRESBALADIZA MODEL: ESCOGIDO POR DUEÑO	TILE: 3"x24" MODEL: ESCOGIDO POR DUEÑO	PINTURA	PINTURA	REMOVER LOSA DE VINIL EXISTENTE
GRADAS (PUBLICO EN GENERAL)	015	EXISTENTE A PERMANECER	EXISTENTE A PERMANECER	PINTURA	PINTURA	
RECEPCION FINANAZAS CRIM	016(A)	TILE: 24"x24", ANTIRESBALADIZA MODEL: ESCOGIDO POR DUEÑO	TILE: 3"x24" MODEL: ESCOGIDO POR DUEÑO	PINTURA	PLAFON ACUSTICO	INSTALAR LOSA SOBRE LOSA DE TERRAZO EXISTENTE
OFICINAS CRIM	016(B)	TILE: 24"x24", ANTIRESBALADIZA MODEL: ESCOGIDO POR DUEÑO	TILE: 3"x24" MODEL: ESCOGIDO POR DUEÑO	PINTURA	PLAFON ACUSTICO	INSTALAR LOSA SOBRE LOSA DE TERRAZO EXISTENTE
PASILLO	016(C)	TILE: 24"x24", ANTIRESBALADIZA MODEL: ESCOGIDO POR DUEÑO	TILE: 3"x24" MODEL: ESCOGIDO POR DUEÑO	PINTURA	PINTURA/PLAFON ACUSTICO	INSTALAR LOSA SOBRE LOSA DE TERRAZO EXISTENTE
BALCON	016(D)	TILE: 24"x24", ANTIRESBALADIZA MODEL: ESCOGIDO POR DUEÑO	TILE: 3"x24" MODEL: ESCOGIDO POR DUEÑO	PINTURA	PINTURA	
TECNICOS CRIM	017(A)	TILE: 24"x24", ANTIRESBALADIZA MODEL: ESCOGIDO POR DUEÑO	TILE: 3"x24" MODEL: ESCOGIDO POR DUEÑO	PINTURA	PLAFON ACUSTICO	REMOVER LOSA DE VINIL EXISTENTE
ARCHIVO CRIM	017(B)	TILE: 24"x24", ANTIRESBALADIZA MODEL: ESCOGIDO POR DUEÑO	TILE: 3"x24" MODEL: ESCOGIDO POR DUEÑO	PINTURA	PLAFON ACUSTICO	REMOVER LOSA DE VINIL EXISTENTE
OFICINA JEANNETE	017(C)	TILE: 24"x24", ANTIRESBALADIZA MODEL: ESCOGIDO POR DUEÑO	TILE: 3"x24" MODEL: ESCOGIDO POR DUEÑO	PINTURA	PLAFON ACUSTICO	REMOVER LOSA DE VINIL EXISTENTE
SALON CONFERENCIA	018(A)	TILE: 24"x24", ANTIRESBALADIZA MODEL: ESCOGIDO POR DUEÑO	TILE: 3"x24" MODEL: ESCOGIDO POR DUEÑO	PINTURA	PLAFON ACUSTICO	REMOVER LOSA DE VINIL EXISTENTE
PASILLO	018(B)	TILE: 24"x24", ANTIRESBALADIZA MODEL: ESCOGIDO POR DUEÑO	TILE: 3"x24" MODEL: ESCOGIDO POR DUEÑO	PINTURA	PLAFON ACUSTICO	REMOVER LOSA DE VINIL EXISTENTE
TERRAZA	019(A)	TILE: 18"x18", RUSTICA MODEL: ESCOGIDO POR DUEÑO	TILE: 3"x24" MODEL: ESCOGIDO POR DUEÑO	PINTURA	ACERO EXPUESTO PINTADO	APLICAR "TOPPING" PARA CREAR DECLIVE EN EL PISO Y LLEVAR AGUAS A DRENAJES EXISTENTES
TARIMA	019(B)	TILE: 18"x18", RUSTICA MODEL: ESCOGIDO POR DUEÑO	TILE: 3"x24" MODEL: ESCOGIDO POR DUEÑO	PINTURA	ACERO EXPUESTO PINTADO	AREA DE TARIMA @ 12" S.N.P.T., CONSTRUCCION EN MADERA TRATADA, NIC.
RAMPA	020	HORMIGON CEPILLADO		PINTURA		BARANDAL EN ACERO GALVANIZADO
PATIO	021	TILE: 18"x18", RUSTICA MODEL: ESCOGIDO POR DUEÑO	TILE: 3"x24" MODEL: ESCOGIDO POR DUEÑO	PINTURA		REMOVER PALMA EXISTENTE
ESCALERA PATIO	022	TILE: 18"x18", RUSTICA MODEL: ESCOGIDO POR DUEÑO	TILE: 3"x24" MODEL: ESCOGIDO POR DUEÑO	PINTURA		BARANDAL EN ACERO GALVANIZADO

**NOTAS GENERALES:**

- EL CONTRATISTA DEBERA CUMPLIR CON TODOS LOS CODIGOS, REGULACIONES Y ORDENANZAS DE A.R.P.E.
- EL CONTRATISTA DEBERA VERIFICAR TODAS LAS CONDICIONES EXISTENTES Y NOTIFICAR AL INGENIERO CIVIL TODAS LAS DISCREPANCIAS QUE SE ENCUENTREN EN EL PLANO DE CONSTRUCCION ANTES DE COMENZAR EL TRABAJO.
- ES RESPONSABILIDAD DEL CONTRATISTA DE COORDINAR LA CONSTRUCCION CON EL INGENIERO CIVIL O CON EL DISEÑADOR.
- EL CONTRATISTA DEBERA PROTEGER TODA ESTRUCTURA, AREA DE JARDINERIA, EQUIPO Y UTILIDADES QUE ESTEN ALREDEDOR DEL AREA DEL PROYECTO Y EL ACCESO AL MISMO. EL CONTRATISTA DEBERA REPARAR O REEMPLAZAR CUALQUIER DAÑO O DEFECTO CAUSADO POR LA CONSTRUCCION, SIN COSTO ALGUNO PARA EL DUEÑO DE LA CONSTRUCCION.
- ALMACENAR HERRAMIENTAS Y MATERIALES DE CONSTRUCCION ORDENADAMENTE SIN INTERRUMPIR EL ACCESO, TRAFICO, Y DRENAJE DE LA CARRETERA.
- ANTES DE COMENZAR LA CONSTRUCCION, EL CONTRATISTA DEBERA PONER EN UN AREA VISIBLE UN LETRERO CON EL NOMBRE DE LA COMPANIA, OBRA A CONSTRUIRSE Y NUMERO DE PROYECTO OTORGADO POR A.R.P.E.
- TODAS LAS ELEVACIONES DE LOS GABINETES SON ESQUEMATICAS. EL DISEÑO DE LOS GABINETES SERA ESCOGIDO POR EL DUEÑO.
- EL CONTRATISTA DEJARA TODA EL AREA DE CONSTRUCCION LIMPIA DE ESCOMBRO DE MADERA, CEMENTO, TIERRA, ETC. AL FINALIZAR LA CONSTRUCCION.

**NOTAS GENERALES DE PINTURA**

**SUPERFICIE DE CEMENTO:**

- LA SUPERFICIE DE ESTAR SECA, LIMPIA Y LIBRE DE CONTAMINANTES. REMUEVA EL POLVO CON UN CEPILLO DURO O CON UN CEPILLO DE ALAMBRE Y CON AIRE DE COMPRESOR. REMUEVA TODO ACEITE O GRASA CON SOLVENTE COMO (MINERAL SPIRITS O XYLENE) SEGUN LAS REGULACIONES - "SS-PC SPI-B2 SOLVENT CLEANING."
- APLICAR UNA CAPA DE PRIMER QUE RESISTA LA ALCALINIDAD DEL CEMENTO. SE RECOMIENDA EL PRIMER 1-2-3 DE GLIDDEN.
- APLICAR 2 CAPAS DE PINTURA ACRYLICA MATE PARA EXTERIOR ULTRA HOUSE DE GLIDDEN (FORMULA 65xx.) Y PARA INTERIOR SATINADA SPRED ULTRA (FORMULA 41xx). COLOR A SER ESCOJIDO POR EL DUEÑO DE LA OBRA.

**SUPERFICIE DE METAL**

- LA SUPERFICIE DE ESTAR SECA, LIMPIA Y LIBRE DE CONTAMINANTES. REMUEVA EL POLVO CON UN CEPILLO DURO O CON UN CEPILLO DE ALAMBRE Y CON AIRE DE COMPRESOR. REMUEVA TODO ACEITE O GRASA CON SOLVENTE COMO (MINERAL SPIRITS O XYLENE) SEGUN LAS REGULACIONES - "SS-PC SPI-B2 SOLVENT CLEANING."
- APLICAR UNA CAPA DE GLID-GUARD RUSTMASTER ALKYD METAL PRIMER No. 590 SERIES.
- APLICAR 2 CAPAS DE GLID GUARD ALKYD INDUSTRIAL ENAMEL No. 4550 O 500 SERIES.

**SUPERFICIE DE MADERA:**

- LA SUPERFICIE DE ESTAR SECA, LIMPIA Y LIBRE DE CONTAMINANTES. REMUEVA CON TACK-CLOTH Y AIRE DE COMPRESOR.
- APLIQUE 2 CAPAS DE SANDING SEALER, LUJAR DESPUES O POR LO MENOS 1 HORA UNA VEZ APLICADO.
- APLIQUE 2 CAPAS DE (LADDER FINISH), LUEGO ESPERE POR LO MENOS 2 HORAS DESPUES DE APLICADO.

**NOTA SOBRE AREAS A PINTAR:**

- EL AREA A PINTAR SERA TODO LO PROPUESTO Y EXISTENTE DENTRO DEL AREA MARCADA A IMPACTAR Y TODA SUPERFICIE QUE POR ALGUNA RAZON SE AFECTE CON LA CONSTRUCCION.

**NOTAS DE TERMINACIONES:**

- LOSA DE CERAMICA Y EN VINIL EXISTENTE SERA REMOVIDA Y CONTRATISTA DEBERA CONSIDERAR NIVELACION DE PISO DE SER NECESARIO.
- TODAS LAS TERMINACIONES DE PISO Y PLAFON PODRAN SER VARIADAS SEGUN LOS ACUERDOS ENTRE SUPLIDOR, CONTRATISTA Y DESARROLLADOR.
- LOS ESTILOS DE LAS PUERTAS Y VENTANAS VARIAN DE ACUERDO AL FABRICANTE POR LO QUE EL CONTRATISTA DEBE HACER LOS AJUSTES NECESARIOS A LAS DIMENSIONES FINALES DE LOS HUECOS.
- EL CONTRATISTA REPARARA TODA IMPERFECCION EXISTENTE EN PAREDES TALES COMO EMPAÑETADO DESPRENDIDO, BORDES ROTOS, PERFORACIONES, HUECOS DE AC, IMPERFECCIONES POR DESPRENDIMIENTO DE LA PINTURA, GRIETAS U OTROS.



1055 MARGINAL KENNEDY  
I.L.A. BUILDING - SUITE 706  
SAN JUAN, P.R. 00920  
TEL. (787) 707-6100  
EMAIL: gpassoc@gmail.com

**CENTRO MARIA MAZZARELLO**  
CARR. 157, KM. 23.0 INTERIOR  
BO. BARROS  
OROCOVIS, PUERTO RICO

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PROJECT NUMBER  
**EDIFICIO CANCHA**

PROJECT TITLE  
**CENTRO MARIA MEZZARELLO**  
OROCOVIS, P.R.

**CERTIFICACION**

Yo, DANIEL GOMES MARRERO Ingeiero con licencia numero 7782 y miembro de CANTORREL, certifico que:  
Soy el profesional que diseño estos planos para la construcción y las especificaciones complementarias. También certifico que elabore los planos y especificaciones con arreglo a las disposiciones aplicables del Reglamento Construido y las disposiciones aplicables de los Reglamentos y códigos de mi Agencia, Junta Reglamentaria o Corporación Pública con jurisdicción.  
Reconozco que cualquier declaración falsa o falsificación de los hechos que se haya producido sin consentimiento o por negligencia ya sea por mí, mis agentes o empleados, o por otras personas con mi consentimiento, me hacen responsable de cualquier acción judicial y disciplinaria por la ODEP y otras autoridades competentes, incluyendo, pero no limitado a, la suspensión de la participación en los procedimientos de certificación profesional en la ODEP.

**CERTIFICACION CORRECTA**

**DESIGNED BY:**

ING. DANIEL GOMES MARRERO

**LIC. NO.**

7782

Revisions	By	Date

SHEET TITLE  
**DISEÑO**  
**CENTRO**  
**MARIA**  
**MAZZARELLO**

Design by :	XXX
Drawn by :	XXX
Checked by :	ING. GOMES
Plot Date :	JUNE 2022

1055 MARGINAL KENNEDY  
I.L.A. BUILDING - SUITE 706  
SAN JUAN, P.R. 00920  
TEL. (787) 707-6100  
EMAIL: gpasoc@gmail.com

**CENTRO MARIA MAZZARELLO**  
CARR. 157, KM. 23.0 INTERIOR  
BO. BARROS  
OROCOVIS, PUERTO RICO

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PROJECT NUMBER: **EDIFICIO CANCHA**  
PROJECT TITLE: **CENTRO MARIA MAZZARELLO**  
OROCOVIS, P.R.

**CERTIFICACION**  
Yo, DANIEL GOMES MARRERO Ingeiero con licencia numero 7782 y miembro de CIATES, certifico que:  
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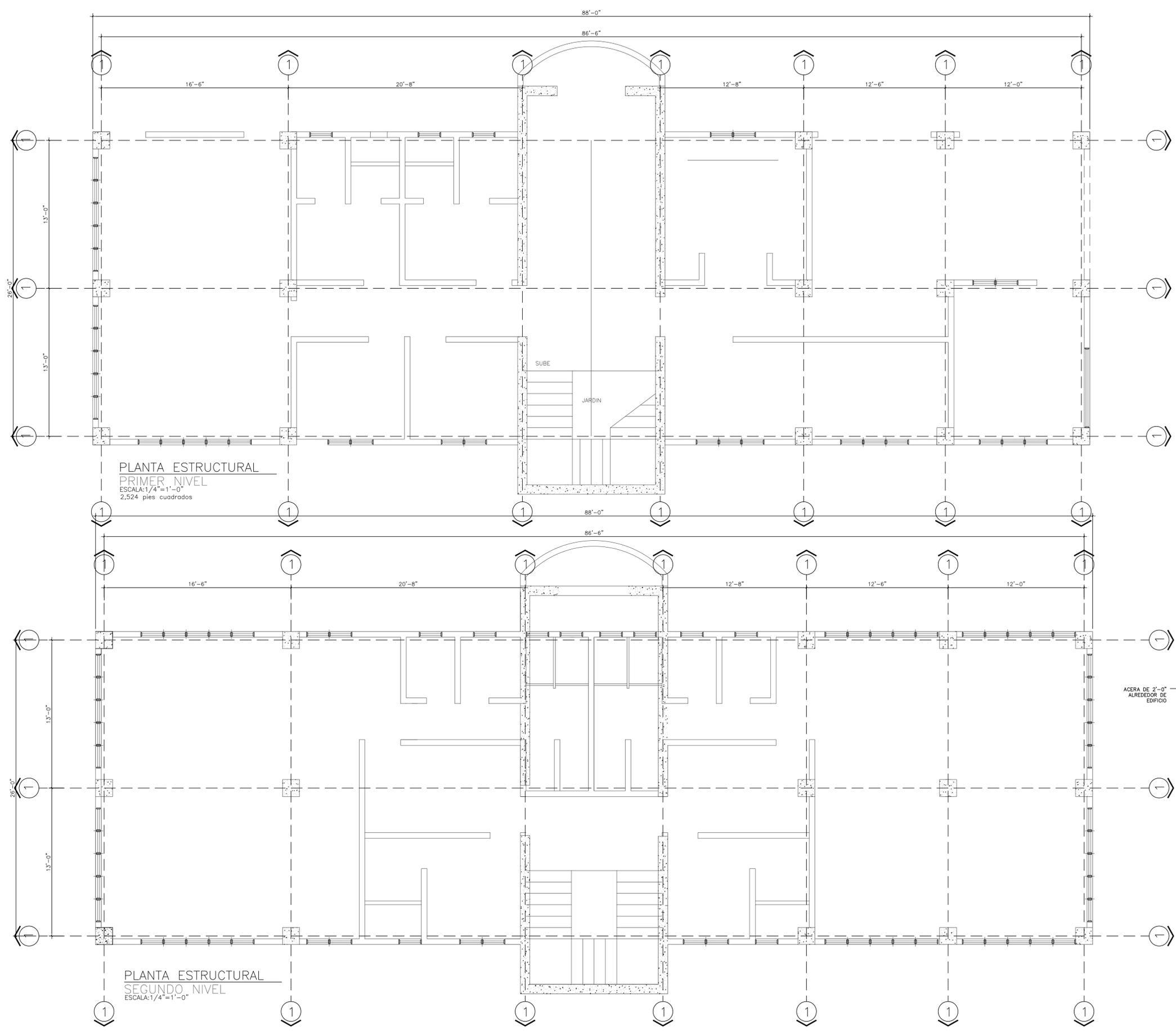
**CERTIFICO CORRECTO**

DESIGNED BY:  
ING. DANIEL GOMES MARRERO  
LIC. NO.  
7782

Revisions	By	Date

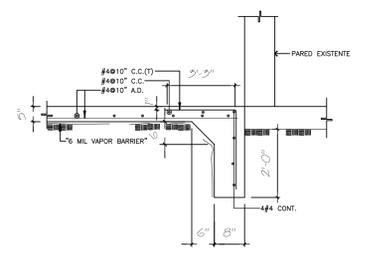
SHEET TITLE: **DISEÑO CENTRO MARIA MAZZARELLO**

Design by : XXXX  
Drawn by : XXXX  
Checked by : ING. GOMES  
Plot Date : JUNE 2022

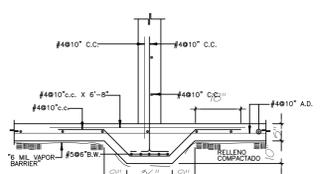


PLANTA ESTRUCTURAL  
PRIMER NIVEL  
ESCALA: 1/4"=1'-0"  
2,524 pies cuadrados

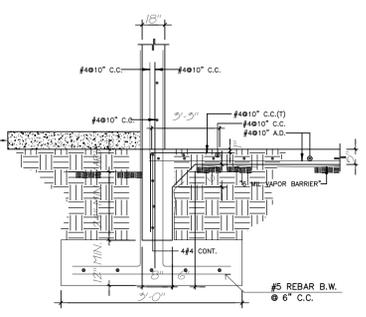
PLANTA ESTRUCTURAL  
SEGUNDO NIVEL  
ESCALA: 1/4"=1'-0"



SECCION C  
NO A ESCALA



SECCION B  
NO A ESCALA



SECCION A  
NO A ESCALA

ACERA DE 2'-0" ALREDEDOR DE EDIFICIO

1055 MARGINAL KENNEDY  
I.L.A. BUILDING - SUITE 706  
SAN JUAN, P.R. 00920  
TEL. (787) 707-6100  
EMAIL: gpassoc@gmail.com

**CENTRO MARIA MAZZARELLO**  
CARR. 157, KM. 23.0 INTERIOR  
BO. BARROS  
OROCOVIS, PUERTO RICO

PROYECTO: EDIFICIO CANCHA  
PROYECTO: CENTRO MARIA MAZZARELLO  
OROCOVIS, P.R.

**CERTIFICACION**

Yo, DANIEL GOMEZ MAZZARELLO Ingeiero con licencia numero 7782 y miembro de CIATES, certifico que:

Soy el profesional que diseño estos planos para la construcción y las especificaciones complementarias. También certifico que entiendo que dichos planos y especificaciones cumplen con las disposiciones técnicas del Reglamento Construido y las disposiciones aplicables de los Reglamentos y códigos de las Agencias, Juntas Regulatorias y Corporaciones Públicas con jurisdicción.

Reconozco que cualquier declaración falsa o falsificación de los hechos que se haya producido en el contenido o por negligencia yo soy por mí, mis agentes o empleados, y por otros terceros con mi consentimiento, me hacen responsable de cualquier acción judicial y disciplinaria por la OCE y otros organismos competentes, incluyendo, pero no limitado a, la suspensión de la participación en los procedimientos de certificación profesional en la OCE.

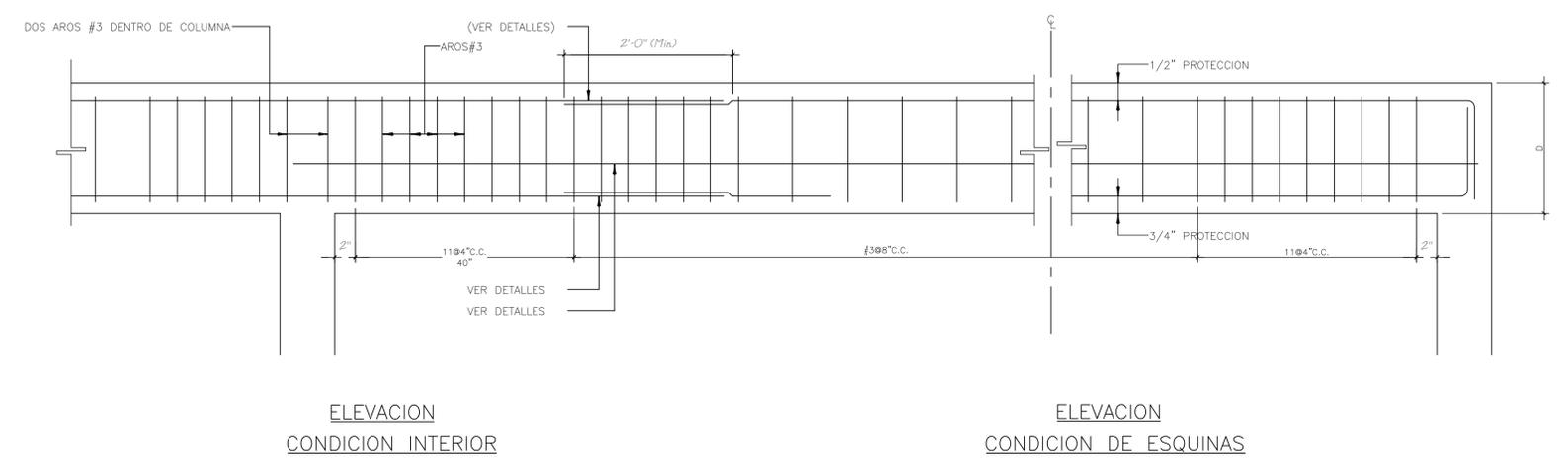
**CERTIFICO CORRECTO**

DESIGN BY: ING. DANIEL GOMEZ MAZZARELLO  
LIC. NO. 7782

Revisions	By	Date

SHEET TITLE: **DISEÑO CENTRO MARIA MAZZARELLO**

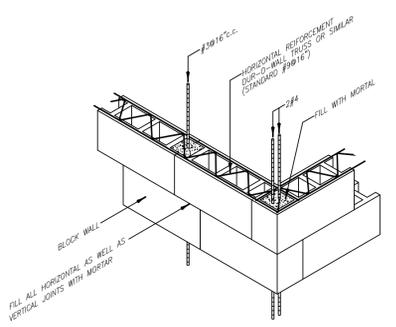
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Drawn by: XXXX  
Checked by: ING. GOMEZ  
Plot date: JUNE 2022



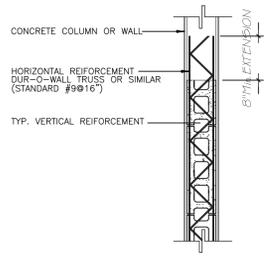
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CONDICION INTERIOR

ELEVACION  
CONDICION DE ESQUINAS

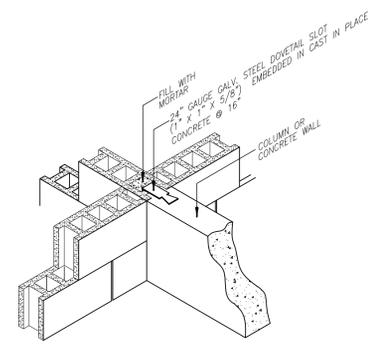
DET. TIPICO DE VIGAS  
NO A ESCALA



DETALLE DE REFUERZO EN LAS  
ESQUINAS DE PAREDES DE BLOQUES



REFUERZO HORIZONTAL DE PAREDES  
DE BLOQUES A COLUMNAS O PEREDES  
DE HORMIGON

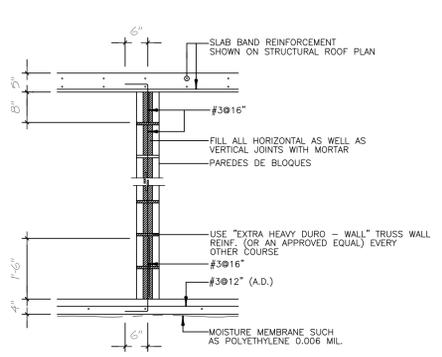


DET. TIPICO PARA INTERSECCION  
ENTRE PAREDES DE BLOQUES CON  
COLUMNAS O PAREDES DE HORMIGON  
NO TO SCALE

**NOTAS:**

LA PROTECCION DE ACERO SERA LA SIGUIENTE:  
CIMENTOS 3", LOSAS 3/4", COLUMNAS Y VIGAS 1 1/2",  
LOSA TERRERA 2"  
ACERO DE TEMPERATURA #3 @ 10" c.c.  
Fy = 60,000 PSI  
Fc = 3,000 PSI  
LAS VIGAS SE FUNDIRAN MONOLITICAMENTE CON LAS LOSAS  
CARGA VIVA = 40 Lbs./FT

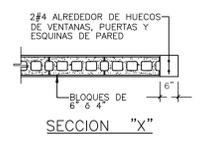
EN CASO DE DOBLE INTERPRETACION O DUDA EN ALGUN  
ASPECTO DE LOS PLANOS O ESPECIFICACIONES SE  
CONSULTARA CON EL DISEÑADOR



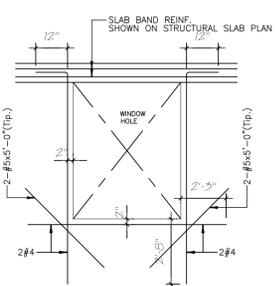
DETALLE DE ANCLAJE DE  
PAREDES DE BLOQUES  
NOT TO SCALE



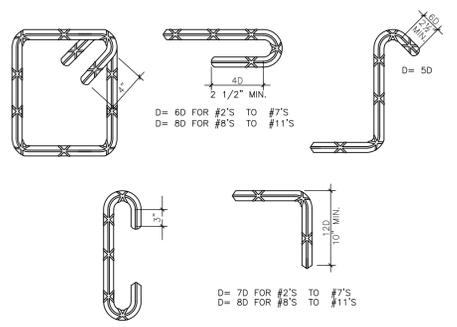
REFUERZO EN LOS HUECOS  
DE LAS PAREDES DE BLOQUES



SECCION "X"



REFUERZO EN LOS HUECOS DE  
PAREDES DE HORMIGON REFORZADO  
NO TO SCALE



DETALLES DE AROS  
NO A ESCALA

**NOTES :**

- ALL BLOCK WALLS SHALL BE ANCHORED TO THE STRUCTURE BY MEANS OF NO. 3 DOWELS EXTENDING 18 INCHES INTO THE BLOCK WALL AND STRUCTURE, AND SPACED AT LEAST 16 INCHES IN THE HORIZONTAL DIRECTION. THE CELLS WITH CONTAIN DOWELS SHALL BE FILLED WITH AN APPROVED MORTAR. DURO-O-WALL REINFORCEMENT EXTENSION SHOULD BE USED TO ANCHOR THE STRUCTURE TO CONCRETE WALLS OR COLUMNS.
- ALL BLOCK WALLS SHALL BE REINFORCED WITH STANDARD DURO - WALL OR EQUIVALENT, PLACED HORIZONTALLY EVERY COURSE AND SPLICED 12 INCHES WITH CORRESPONDING DOWELS INTO THE STRUCTURE.
- ALL REINFORCING BARS AND STIRRUPS SHALL BE ACCURATELY PLACED AND SECURELY WIRED TO PREVENT DISLOCATION FROM PROPER POSITION.
- TO SECURE THE PROPER LOCATION FOR A SLIGHTLY MISPLACED DOWEL, THE BAR MAY BE BENT AT A SLOPE, WHICH IS NOT TO EXCEED A RATIO OF 1 (HORIZONTAL) AND 6 (VERTICAL). THE BAR SHALL NOT BE BENT AGAINST THE CAST CONCRETE NOR HEATED TO EASE BENDING.
- ALL DIMENSIONS AND ELEVATIONS SHOULD BE THE SAME IN THE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND SITE IMPROVEMENT DRAWINGS. ANY DISCREPANCIES WITH THE STRUCTURAL PLANS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONSULTING ENGINEER.
- ALL DETAILS, SECTIONS AND NOTES SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHOULD APPLY TO SIMILAR SITUATIONS UNLESS OTHERWISE NOTED.
- ALL DETAILING AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" (ACI-315), "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE " (ACI-318-95), AND ALL OTHER AMERICAN CONCRETE INSTITUTE STANDARDS AND RECOMMENDATIONS FOR ACCEPTABLE PRACTICE WITH THE ENGINEER.
- PROVISIONS FOR DETAILS NOT SPECIFICALLY DRAWN SHALL BE MADE BY THE CONTRACTOR ACCORDING TO THE ACI-318-05 BUILDING CODES AFTER PREVIOUS VERIFICATION WITH THE ENGINEER.
- PRIOR TO THE CONSTRUCTION PHASE THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS. ANY DOUBT CONCERNING THE CONDITIONS SHOWN ON THE PLANS SHOULD BE BROUGHT TO THE ATTENTION OF THE CONSULTING ENGINEER AND CLARIFIED IMMEDIATELY.
- IF THERE IS ANY DOUBT CONCERNING STRUCTURAL DRAWINGS AND /OR SPECIFICATIONS, THE CONTRACTOR SHALL BE CONSULTED IMMEDIATELY FOR CLARIFICATIONS.
- ALL FORM WORK FOR FLEXURAL MEMBERS SHALL BE BUILT WITH A CAMBER CORRESPONDING TO ITS OWN DEFORMATIONS PLUS THE DEFORMATIONS CAUSED STRUCTURAL DEAD WEIGHT. TO SELECT THE REQUIRED CAMBER, THE CONTRACTOR SHALL BE HELPED BY THE ENGINEER WHENEVER DEEMED NECESSARY.
- COLUMNS, BEAMS CONCRETE JOISTS AND STRUCTURAL SLABS, THEIR CONCRETE COMPRESSIVE STRENGTH (AT 28 DAYS) SHALL BE 3,000 PSI.
- BLOCKS SHALL BE PLACED IN RUNNING BOND, WITH MORTAR PLACED IN BOTH HORIZONTAL AND VERTICAL JOINTS.
- ALL BEAM REINFORCEMENTS SHALL END WITH STANDARD HOOK IN ACCORDANCE WITH ACI 318-05, UNLESS OTHERWISE SHOWN ON DRAWINGS.
- DEFECTIVE CONCRETE SHALL NOT BE COVERED OR CORRECTED (WITH MORTAR, PLASTER, ETC.) WITHOUT THE INSPECTOR'S APPROVAL.
- THE CONSTRUCTION METHODS USED (FORM WORK REMOVAL, LOCATION OF CONSTRUCTION JOINTS, ETC.) SHALL NOT IMPAIR THE DESIGN STRENGTH OF THE MATERIAL.
- HORIZONTAL MOVEMENT OF ANY EQUIPMENT OVER STRUCTURAL FLOORS OR ROOFS, TO TEMPORARY OR DEFINITE LOCATIONS MUST BE APPROVED BY THE ENGINEER AND IS NOT TO OVERLOAD NOR IMPAIR THE STRENGTH OF THE STRUCTURE. THE SAME PROCEDURE SHALL BE FOLLOWED FOR THE PILING OR STORAGE OF MATERIALS USED DURING THE CONSTRUCTION PHASE.
- IN ALL WALL OR COLUMN HORIZONTAL JOINTS, THE LOWER SURFACE SHALL BE THOROUGHLY CLEANED THEN ALL WEAK OR LOOSE CONCRETE SHALL BE REMOVED BEFORE POURING THE UPPER CONCRETE.
- THE SIZE OF NAILS AND/OR SIMILAR FASTENERS DRIVEN INTO THE CONCRETE SHALL NOT CRACK NOR IMPAIR ITS STRENGTH. NEVERTHELESS, IF THE CONCRETE IS DAMAGED, SUITABLE PORTION. THE CONTRACTOR SHALL SUBMIT APPROVAL FROM THE ENGINEER FOR THE PROPOSED REPAIR TECHNIQUE.
- ALL REINFORCEMENT ARE TO BE HIGH STRENGTH DEFORMED NEW BILLET STEEL BARS MEETING A.S.T.M. SPECIFICATIONS A 615, 800 GRADE.
- ALL SLABS SHALL HAVE A MINIMUM TEMPERATURE REINFORCEMENT AREA NORMAL TO THE MAIN REINFORCEMENT EQUIVALENT TO 0.002 OF THE GROSS SECTIONS AREA OF THE CONCRETE.
- OPENINGS WHICH INTERRUPT REINFORCEMENT AND THAT ARE NOT SHOWN IN THE STRUCTURAL PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE CONSULTING ENGINEER FOR PERTINENT CONSIDERATION.
- THE CONTRACTOR SHALL PROVIDE, SET AND VERIFY DIMENSIONS AND LOCATIONS OF ALL ANCHORS, INSERTS, BOLTS, SLEEVES, CONDUITS, AND ALL OTHER MECHANICAL OR ELECTRICAL DEVICES SHOWN ON NOTES AND SPECIFICATIONS, BEFORE ANY CONCRETE IS POURED. ANY DISCREPANCIES WITH ANY OF THESE ITEMS OR THE STRUCTURAL PLANS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONSULTING ENGINEER.
- MAINS OPENINGS ARE SHOWN IN THE STRUCTURAL PLANS. HOWEVER, FOR EXACT SIZE AND LOCATIONS OF ALL REQUIRED DRAWINGS, REFER TO RESPECTIVE PLANS, DRAWINGS, OR SPECIFICATIONS. OPENINGS, SLOTS, OR GROOVES SHALL NOT BE MADE IN ANY STRUCTURAL MEMBER WITHOUT PREVIOUS APPROVAL FROM THE CONSULTING ENGINEER.
- CONCRETE SHALL NOT BE DROPPED THROUGH REINFORCED STEEL (AS IN WALLS) SO AS TO CAUSE SEGREGATION OF AGGREGATES. IN SUCH CASES, HOPPERS OF VERTICAL CHUTES OR TRUNKS SHALL BE USED. THE FREE UNCONFINED FALL OF CONCRETE SHALL NOT EXCEED 6 FEET.
- CONTINUOUS INSPECTIONS OF ALL CONCRETE AND WELDING SHALL BE MADE BY A LICENSED ENGINEER. CONCRETE TEST CYLINDERS SHALL BE MADE FOR ALL CONCRETE AS SPECIFIED IN THE ACI-318-05 STANDARD.
- ALL TEST MATERIALS SHALL BE MADE BY AN APPROVED LABORATORY AND THE RESULTS SHALL BE SUBMITTED TO THE OWNER, ARCHITECT, AND ENGINEER.
- LATERAL LOADS USED IN THE ANALYSIS AND DESIGN ARE AS ESTABLISHED BY THE U.B.C. 1997 EDITION.
- WHERE BEAMS OR WALLS OCCUR, PROVIDE NO. 4 REINFORCING BARS SPACED AT 10" INCHES ON THE TOP OF THE SLAB AND NORMAL TO THE BEAM OR WALL. THE BAR IS TO EXTEND 24 INCHES BEYOND THE FACE OF THE BEAM OR WALL. WHEN THE SLAB IS CONTINUOUS ON ONE SIDES ONLY, THE BAR SHALL END WITH A STANDARD HOOK ANCHORED INTO THE BEAM OR SLAB.
- IN LAPPED SPLICES, THE LENGTH OF EACH LAP SHALL NOT BE LESS THAN 36 BAR DIAMETERS. DO NOT LAP SPLICES AT POINTS OF MAXIMUM STREETS. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS APPROVED BY THE ENGINEER, WHICH ILLUSTRATE THE LOCATION AND STREETS OF SPLICES TO BE PERFORMED IN COLUMNS, BEAMS, SLABS, WALLS, FOOTINGS, AND ANY OTHER STRUCTURAL MEMBERS.
- SPLICES ON THE TOP SIDE OF BEAMS SHOULD OCCUR AT A DISTANCE GREATER THAN OR EQUAL TO 1/3 OF ITS SPAN TO THE ADJACENT JOINT.
- SPLICES ON THE BOTTOM SIDE OF BEAMS SHOULD OCCUR AT A DISTANCE LESS THAN 1/3 OF ITS SPAN BUT GREATER THAN 1/6 OF THE SPAN TO THE ADJACENT JOINT.
- EFFECTIVE CURING METHOD SUCH AS THE USE OF CURING COMPOUND IS REQUIRED TO AVOID TYPICAL SHRINKAGE CRACKS ALONG SLABS.
- STEEL PROTECTION SHALL BE AS FOLLOWS: A) FOOTINGS, 3" BOTTOM & SIDE (SLAB ON GROUND (ABOVE VAPOR BARRIER) 2" C) WALLS 3/4" INTERIOR FACE, 1-1/2" EXT. FACE, BEAMS & COLUMNS 1-1/2" C.L., STRUCTURAL SLABS, 3/4" C.L.
- ALL CONSTRUCTION WORK SHALL COMPLY WITH THE REQUIREMENT AND PROVISION OF THE FOLLOWING CODES AND SOCIETIES :  
A) AMERICAN CONCRETE INSTITUTE 318-05  
B) AMERICAN SOCIETY FOR TESTING AND MATERIALS  
C) PUERTO RICO PLANNING BOARD BUILDING CODE - LAST REVISION
- MASONRY BLOCK WALL MEET THE ASTM C-90

1055 MARGINAL KENNEDY  
I.L.A. BUILDING - SUITE 706  
SAN JUAN, P.R. 00920  
TEL. (787) 707-6100  
EMAIL: gpassoc@gmail.com

**CENTRO MARIA MAZZARELLO**  
CARR. 157, KM. 23.0 INTERIOR  
BO. BARROS  
OROCOVIS, PUERTO RICO

All drawings and copies thereof are instruments of service and as such remain the property of the designer. They are to be used only with respect to the project. With the exception of one complete set for each party to the contract, all copies are to be returned or suitably accounted for to the designer upon completion of the work.

PROJECT NUMBER: **EDIFICIO CANCHA**  
PROJECT TITLE: **CENTRO MARIA MAZZARELLO**  
OROCOVIS, P.R.

**CERTIFICACION**

Yo, DANIEL GÓMEZ MARRERO Ingeiero con licencia número 7782 y miembro de C.I.P.A.E., certifico que:  
Soy el profesional que diseñó estos planos para la construcción y las especificaciones complementarias. También certifico que dichos planos y especificaciones cumplen con las disposiciones técnicas del Reglamento Construido y las disposiciones aplicables de los Reglamentos y códigos de los Ayuntamientos, Juntas Regulatorias y Corporaciones Públicas con jurisdicción.  
Reconozco que cualquier declaración falsa o falsificación de los hechos que se haya producido sea constitutivo o por negligencia ya sea por mí, mis agentes o empleados, o por otra persona con mi consentimiento, me hacen responsable de cualquier acción judicial y disciplinaria por la ODEP y otras autoridades competentes, incluyendo, pero no limitado a, sanciones de la participación en los procedimientos de certificación profesional en la ODEP.

**CERTIFICO CORRECTO**

DESIGN BY: ING. DANIEL GÓMEZ MARRERO  
LIC. NO. 7782

Revisions	By	Date

SHEET TITLE: **DISEÑO CENTRO MARIA MAZZARELLO**

Design by: XXXX  
Drawn by: XXXX  
Checked by: ING. GÓMEZ  
Plot Date: JUNE 2022

SHEET NO. **P-1** TOTAL PAGE **10 14**

- LEYENDA:**
- TUBERIA DE DESCARGA SANITARIA 3"Ø (PVC SCHEDULE 40)
  - - - TUBERIA DE VENTILACION 2"Ø (PVC SCH 40)
  - - - TUBERIA DE AGUA FRIA 1/2" (COBRE TIPO "K")
  - R.V. REGISTRO A NIVEL DE PARED (VERTICAL)
  - R. REGISTRO A NIVEL DE PISO (HORIZONTAL)

- PLUMBING GENERAL NOTES:**
- ALL PLUMBING WORK SHALL BE IN STRICT ACCORDANCE WITH THE DEPARTMENT OF HEALTH OF P.R. THE LOCAL BUILDING CODE, THE NATIONAL PLUMBING CODE (1995-1997) AND THE SPECIFICATIONS ISSUED FOR THIS PROJECT.
  - SIZES SHOWN IN FUTURE SCHEDULE ARE MINIMUM AND SHALL BE INCREASED AS NECESSARY TO COMPLY WITH CODES REQUIREMENTS OR AS SHOWN ON THESE DRAWINGS.
  - ALL HORIZONTAL PORTIONS OF SOIL WASTE STACKS & BRANCHES SHALL SLOPE AS 1/8" PER FEET, EXCEPT FOR SIZE 3" & SMALLER THAT SHALL BE 1/4" PER FEET.
  - CLEANOUTS SHALL BE OF THE SAME NOMINAL SIZE AS THE PIPE DIAMETER UP TO 4", AS 1/8" PER FEET, EXCEPT FOR SIZE 3" & SMALLER THAT SHALL BE 1/4" PER FEET.
  - THE CONTRACTOR SHALL FURNISH AND SET IN PLACE BEFORE CONCRETE POURING ALL NECESSARY FITTINGS FOR WASTE OR SOIL WASTE OR HOT WATER LINES THESE SLEEVES SHALL BE AS PER THE SPECIFICATIONS.
  - THE PLUMBING CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF THE PIPING TOP AND ANY INTERFERING WITH PIPING AND/OR EQUIPMENT BEING INSTALLED BY OTHER CONTRACTOR.
  - FOR FIXTURES AND/OR EQUIPMENT NOT LISTED IN THE SCHEDULE, SEE THE SPECIFICATIONS.
  - ALL ABOVE GROUND WATER PIPING SHALL BE TYPE "L" HARD DRAWN COPPER, SOLDER JOINTS.
  - CLEANOUTS SHALL BE PLACED AS SHOWN ON DRAWINGS.
  - ALL BRANS TO BE PVC UNDER AND ABOVE FLOOR SLABS AND VENTILATION LINES AT WALLS.
  - THE CONTRACTOR SHALL VERIFY IN FIELD ALL INVERT ELEVATIONS AND SHALL MAKE ANY NECESSARY ADJUSTMENT AS REQUIRED BY FIELD CONDITIONS AND AS REQUIRED TO OBTAIN THE PROPER SLOPE.
  - IT IS THE INTENTION OF THE DRAWINGS TO CALL FOR FINISHED WORK. COMPLETE, TESTED AND READY FOR OPERATION. MINOR DETAILS NOT SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER INSTALLATION AND FOR FUNCTIONING AND OPERATION OF THE SYSTEM SHALL FORM PART OF THE WORK TO BE DONE BY THE CONTRACTOR.
  - BIDDERS SHALL VISIT THE BUILDING AND ACQUANT THEMSELVES WITH THE CONDITIONS AS THEY ACTUALLY EXIST AND VERIFY DIMENSIONS, LOCATIONS AND DETAILS REQUIRED TO COMPLETE THE WORK. WHICH WILL BE THE ONLY OPPORTUNITY FOR POTENTIAL CONTRACTORS TO SEE THE SITE. FAILURE TO VISIT THE PROJECT AREA WILL IN NO WAY RELIEVE THE SUCCESSFUL BIDDER OF FURNISHING ALL MATERIAL AND PERSONNEL AS REQUIRED FOR THE COMPLETION OF THE CONTRACT. VISITS TO THE PROJECT AREA SHALL BE ARRANGED THROUGH THE CONTRACTING OFFICER.
  - CONTRACTOR SHALL DISPOSE OF THE REMOVED ITEMS SELECTED BY OWNER FOR DISPOSAL AND SHALL STORE THE ITEMS SELECTED FOR SALVAGE IN THE PLACE INDICATED BY OWNER. DISPOSAL SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT LAWS AND REGULATIONS.
  - THE CONTRACTOR SHALL USE MATERIALS FOR CUTTING AND PATCHING THAT ARE IDENTICAL TO EXISTING MATERIALS. BEFORE CUTTING, EXAMINE THE SURFACES TO BE CUT AND PATCHED AND THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. IF ANY OF THE EXISTING UNSATISFACTORY CONDITIONS ARE ENCOUNTERED, TAKE CORRECTIVE ACTION BEFORE PROCEEDING WITH THE WORK. CUT THE WORK USING SMALL POWER TOOLS DESIGNED FOR SANDING OR GRINDING, NOT HAMMERS AND CHIPPING. CUT THROUGH CONCRETE USING CUTTING MACHINE SUCH AS A CARBORUNDUM SAW OR CORE DRILL TO INJURED NEAT HOLE. RESTORE EXPOSED FINISHED OF PATCHES AND JOINTS. WHERE NECESSARY, EXTEND FINISH RESTORATION INTO FURNISHED ADJACENT SURFACES. WHERE PATCHES OCCUR IN FINISHED SURFACE FINISHES, EXTEND FINAL PAINT COAT OVER ENTIRE UNBROKEN SURFACE CONTAINING PATCH. AFTER PATCHED ARE HAS RECEIVED PRIME AND BASE COAT.
  - CONTRACTOR SHALL CONSULT THE OWNER AS TO WORKING SPACE AND AREA FOR THE LOCATION OF STORAGE SHACK OR TRAILER. STORAGE SPACE IN LIMITED AND POSSIBLE NONE EXISTENT. CONTRACTOR SHALL PROVIDE A TRAILER OR CONSTRUCT A STORAGE SHACK FOR SAFE KEEPING OF HIS MATERIAL AND TOOLS.
  - THE CONTRACTOR SHALL, WITHOUT EXTRA CHARGE, MAKE REASONABLE MODIFICATIONS IN THE LAYOUT AS NEEDED TO PREVENT CONFLICT WITH WORK OF OTHER TRADES OR FOR PROPER EXECUTION OF THE WORK.
  - ALL EQUIPMENT AND MATERIAL SHALL BE INSTALLED WITH THE APPROVAL OF THE OWNER IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE MANUFACTURER.
  - CONTRACTOR SHALL LOCATE IN FULLY ACCESSIBLE POSITIONS ALL EQUIPMENT WHICH MUST BE SERVICED, OPERATED, OR MAINTAINED.
  - WITH RESPECT TO THE EQUIPMENT AND PIPING, THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AT THE SITE AND SHALL VERIFY ALL MEASUREMENTS AND ALL DIMENSIONS. WHERE PATCHES OCCUR IN DIFFERENCES BETWEEN ACTUAL DIMENSIONS AND THOSE INDICATED ON DRAWINGS THE MECHANICAL WORK SHALL BE COORDINATED WITH THE WORK OF OTHER TRADES.
  - CONTRACTOR SHALL VERIFY ON FIELD THE EXISTING COLD WATER AND SANITARY FACILITIES PRIOR TO START THE WORK.

**PIPING MATERIALS**

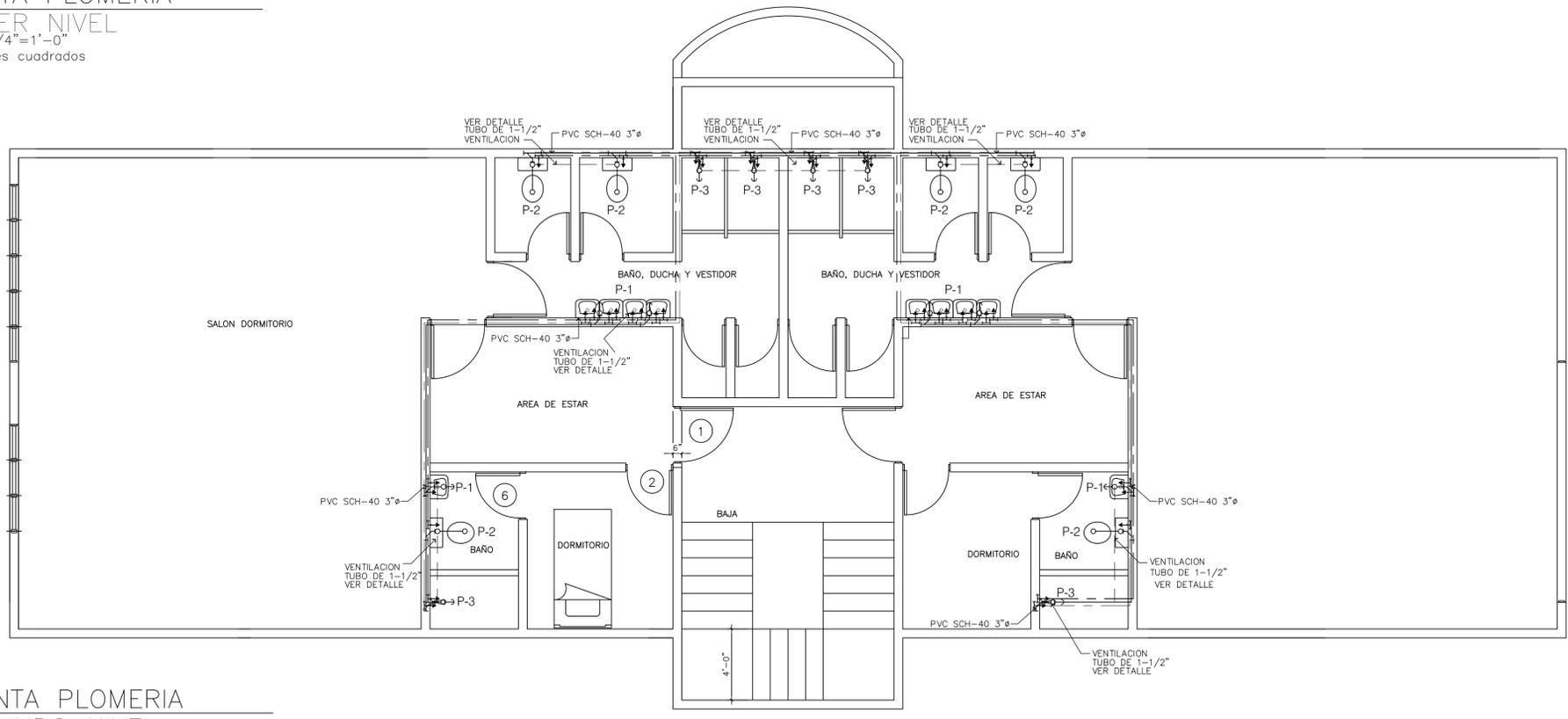
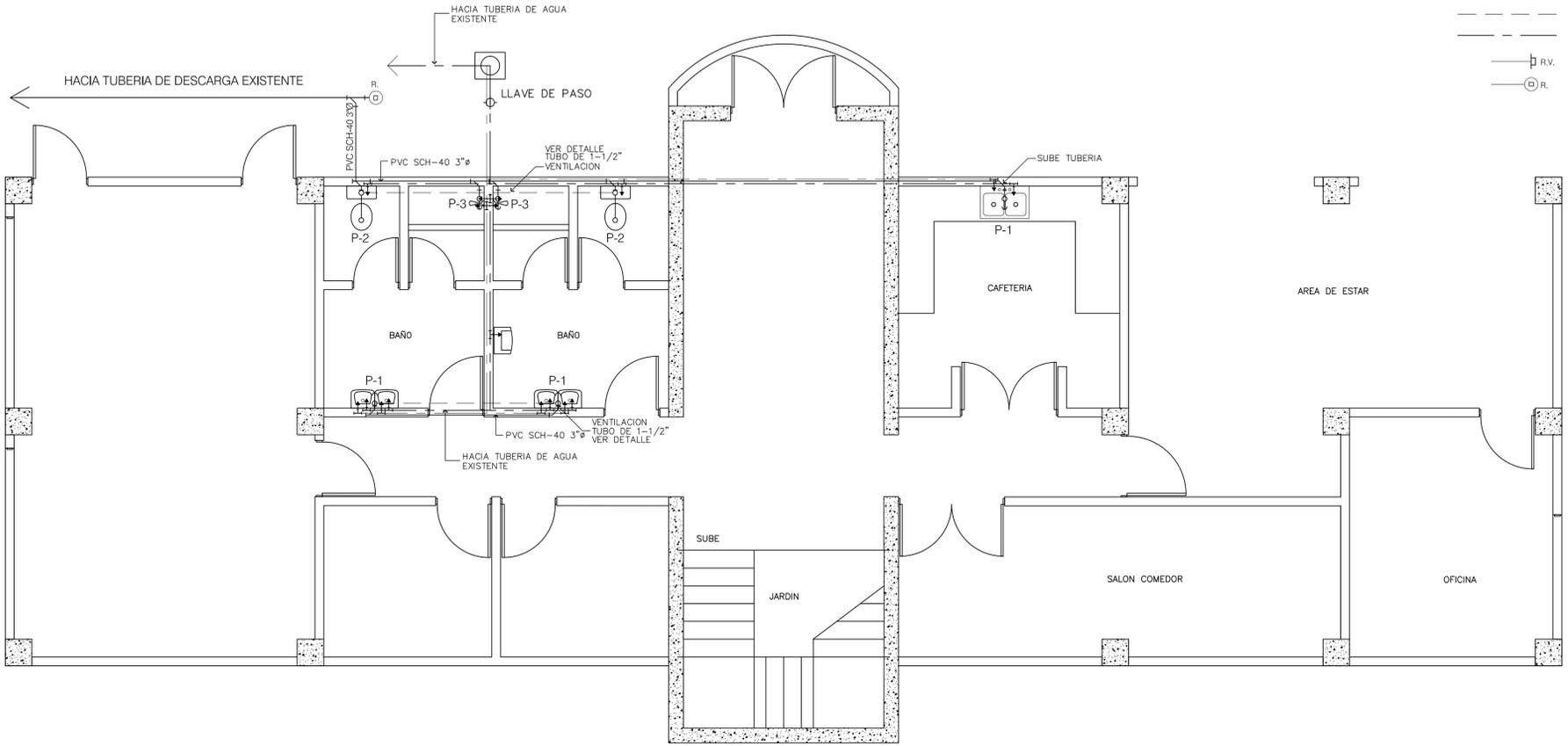
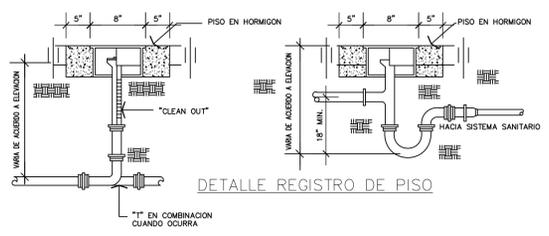
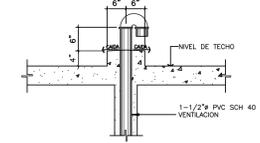
- A - BUILDING DRAIN UNDER GROUND - P.V.C. SCHEDULE 40
- B - STACKS & BRANCHES ABOVE GROUND FLOOR P.V.C. TYPE 1, ASTM D266568 PIPE SCHEDULE 40 ACCEPTABLE
- C - PIPING: P.V.C. TYPE 1 GRADE 1 SCHEDULE 40 PIPE & FITTINGS (ASTM) D 2665-68
- D - POTABLE WATER UNDER GROUND COPPER TYPE "K" HARD DRAWN ALL OTHER PIPING COPPER TYPE "L" WITH WROUGHT COPPER FITTINGS

**NOTES**

- CLEAN OUT WILL BE INSTAL ON THE SIDEWALK, GROUND, FLOOR AND WALL.
- ALL PLUMBING WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF:
  - A - THE NATIONAL PLUMBING CODE (AS/A-40-8)
- THE PLUMBING CONTRACTOR SHALL PROVIDE ROUGHING IN FOR ALL PLUMBING FIXTURES.
- PIPES INSIDE STRUCTURAL CONCRETE SHALL COMPLY WITH A.C.I. BUILDING CODE INT. 703 LATER EDITION.
- ALL UNDERGROUND WATER PIPING TO BE TYPE "K" COPPER WITH COMPRESSION FLARE FITTINGS.

**TABLA DE NUEVOS APARATOS SANITARIOS**

MKDS	DESCRIPCION	CANT.	ACOMETIDA		DESAGUE	OBSERVACIONES
			FRIA	CALIENTE		
P-1	LAVAMANOS	1	1/2"	1/2"	2"	ESCOUER POR DUEÑO
P-2	W.C/DUCHO	1	1/2"	-	2"	ESCOUER POR DUEÑO
P-3	DUCHA	1	1/2"	-	2"	ESCOUER POR DUEÑO



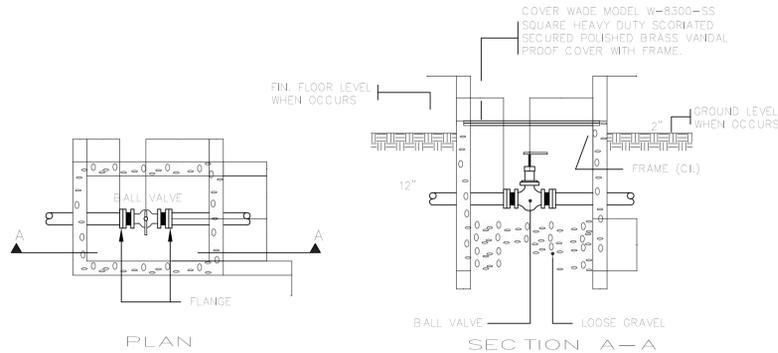
**PLANTA PLOMERIA**  
**PRIMER NIVEL**  
ESCALA: 1/4" = 1'-0"  
2,524 pies cuadrados

**PLANTA PLOMERIA**  
**SEGUNDO NIVEL**  
ESCALA: 1/4" = 1'-0"  
2,524 pies cuadrados

**PLUMBING GENERAL NOTES:**

- ALL PLUMBING WORK SHALL BE IN STRICT ACCORDANCE WITH THE DEPARTMENT OF HEALTH OF P.R., THE LOCAL BUILDING CODE, THE NATIONAL PLUMBING CODE (A.S.A. A 40 8-1955) AND THE SPECIFICATIONS ISSUED FOR THIS PROJECT.
- CLEANOUTS SHALL BE OF THE SAME NOMINAL SIZE AS THE PIPE DIAMETER UP TO 4".
- THE CONTRACTOR SHALL FURNISH AND SET IN PLACE BEFORE CONCRETE POURING ALL NECESSARY SLEEVES FOR WASTE OR SOIL, COLD WATER LINES. THESE SLEEVES SHALL BE AS PER THE SPECIFICATIONS.
- THE PLUMBING CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF THE PIPING TO AVOID ANY INTERFERENCE WITH PIPING AND/OR EQUIPMENT BEING INSTALLED BY OTHER CONTRACTORS.
- FOR FIXTURES AND/OR EQUIPMENT NOT LISTED IN THE SCHEDULE, SEE THE SPECIFICATIONS.
- CLEANOUTS SHALL BE PLACED AS SHOWN ON DRAWINGS.
- THE CONTRACTOR SHALL VERIFY IN FIELD ALL INVERT ELEVATIONS AND SHALL MAKE ANY NECESSARY ADJUSTMENT AS REQUIRED BY FIELD CONDITIONS AND AS REQUIRED, TO OBTAIN THE PROPER SLOPES.
- IT IS THE INTENTION OF THE DRAWINGS TO CALL FOR FINISHED WORK, COMPLETE, TESTED AND READY FOR OPERATION. MINOR DETAILS NOT SHOWN OR SPECIFIED BUT NECESSARY FOR THE PROPER INSTALLATION AND FOR FUNCTIONING AND OPERATION OF THE SYSTEM SHALL FORM PART OF THE WORK TO BE DONE BY THE CONTRACTOR.
- BIDDERS SHALL VISIT THE SITE AND ACQUAINT THEMSELVES WITH THE CONDITIONS AS THEY ACTUALLY EXIST AND VERIFY DIMENSIONS, LOCATIONS AND DETAILS REQUIRED TO COMPLETE THE WORK. FAILURE TO VISIT THE PROJECT AREA WILL IN NO WAY RELIEVE THE SUCCESSFUL BIDDER OF FURNISHING ALL MATERIAL AND PERFORMING ALL WORK REQUIRED FOR THE COMPLETION OF THE CONTRACT. VISITS TO THE PROJECT AREA SHALL BE ARRANGED THROUGH THE OWNER.
- PROVIDE ACCESS FOR OPERATION AND MAINTENANCE TO EVERY PLUMBING VALVE. ACCESS SHALL BE AS REQUIRED BY ARCHITECT.
- THE CONTRACTOR SHALL, WITHOUT EXTRA CHARGE, MAKE REASONABLE MODIFICATIONS IN THE LAYOUT, AS NEEDED, TO PREVENT CONFLICT WITH WORK OF OTHER TRADES OR FOR PROPER EXECUTION OF THE WORK.
- CONTRACTOR SHALL LOCATE IN FULLY ACCESSIBLE POSITIONS ALL EQUIPMENT WHICH MUST BE SERVICED, OPERATED, OR MAINTAINED.
- ALL UNDERGROUND COPPER PIPING SHALL BE TYPE "K", DIAMETER AS INDICATED.
- ALL COPPER PIPING ABOVE FINISH FLOOR ELEVATION SHALL BE TYPE "L", DIAMETER AS INDICATED.
- ALL WASTE, SANITARY AND STORM DRAINAGE LINES SHALL BE PVC 40. OR AS SPECIFIED ON DRAWINGS.
- ALL PIPING SHALL BE CONCEALED IN FLOOR TOPPING, WALL OR CHASES UNLESS OTHERWISE NOTED.
- LONG SWEEP BENDS OR LONG SWEEP FITTINGS SHALL BE PROVIDED AT THE BASE OF ALL STACKS.
- CLEANOUTS SHALL NOT BE MORE THAN 100 FEET APART
- THE PLUMBING CONTRACTOR SHALL COORDINATE HIS/HER PORTION OF THE WORK WITH THE GENERAL CONTRACTOR AND SHALL PROVIDE SLEEVES AT SLABS OR BEAMS FOR PIPING LAYOUT AND FIXTURES INSTALLATION.
- ALL FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER SPECIFICATIONS.
- SIZES SHOWN IN FIXTURES SCHEDULE ARE MINIMUM AND SHALL BE INCREASED AS NECESSARY TO COMPLY WITH CODE REQUIREMENTS OR AS SHOWN ON DRAWINGS.
- SINGLE AND DOUBLE TEES AND QUATER BENDS SHALL BE USED IN LINES ONLY WHERE THE DIRECTION OF FLOW IS FROM THE HORIZONTAL TO THE VERTICAL.
- ALL HORIZONTAL PORTIONS OF SOIL STACKS AND BRANCHES SHALL HAVE MINIMUM SLOPE OF 1/4" PER FOOT FOR PIPES 3" DIAMETER OR LESS. 1/8" PER FOOT FOR PIPES 4" OR LARGER IN DIAMETER.
- THE PLUMBING CONTRACTOR SHALL COORDINATE HIS/HER WORK IN ORDER TO AVOID ANY INTERFERENCE WITH THE WORK OF OTHER CONTRACTORS AND THE INSTALLATION OF FIXTURES AND OR EQUIPMENT BY OTHERS.
- GATE VALVES LOCATED UNDERGROUND OR BELOW FLOOR SLABS SHALL BE INSTALLED WITHIN A CAST IRON OR CONCRETE BOX WITH 9 X 9 J.R. SMITH ACCESS COVER FIG. 4915-U.
- PLUMBING CONTRACTOR SHALL PROVIDE ALL NECESSARY SERVICES AND/OR CONNECTIONS REQUIRED FOR THE PLUMBING FIXTURES AND/OR EQUIPMENT SHOWN ON THE FIXTURES PLANS.
- PLUMBING CONTRACTOR SHALL PROVIDE ALL NECESSARY ROUGHING-IN AND SHALL INSTALL THE PLUMBING FIXTURES INDICATED ON THESE DRAWINGS.

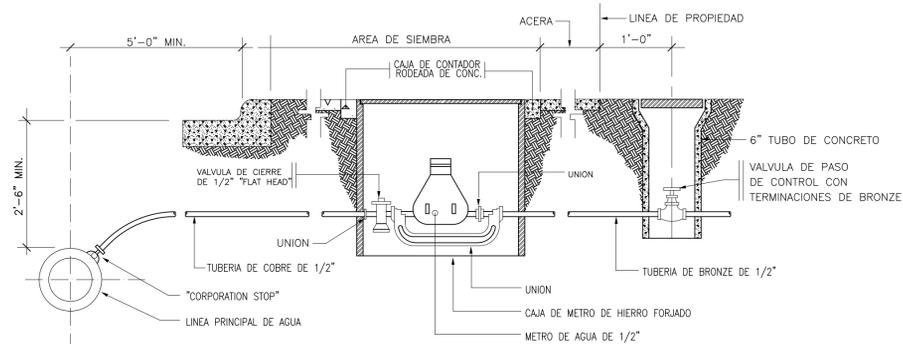
- WHENEVER REQUIRED OR NEEDED, THE PLUMBING CONTRACTOR SHALL PREPARE AND SUBMIT THE NECESSARY SHOP DRAWINGS FOR THE APPROVAL OF THE ARCHITECT.
- BEFORE STARTING CONSTRUCTION, THE PLUMBING CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND ELEVATIONS OF EXISTING PIPE LINES TO REMAIN IN USE. ANY SIGNIFICANT DISCREPANCY WITH THE INFORMATION SHOWN ON THESE DRAWINGS SHALL BE NOTIFIED TO THE ARCHITECT FOR REVISION AND/OR CLARIFICATION.
- ALL EXPOSED HOT WATER LINES SHALL BE INSULATED WITH 1-1/2" THICK MATERIAL WITH A THERMAL CONDUCTIVITY NOT TO EXCEED 0.22BTU PER SQ INCH PER HOUR AT MEAN TEMPERATURE OF 75°F
- FIXTURES, FITTINGS, ACCESSORIES, MATERIAL AND ALL PLUMBING PRODUCTS SHALL BE AS PER SPECIFICATIONS ON THESE DRAWINGS AND CONTRACT SPECIFICATIONS. EQUAL OR SIMILAR SHALL BE ONLY ACCEPTED IF PREVIOUSLY APPROVED BY THE ARCHITECT.



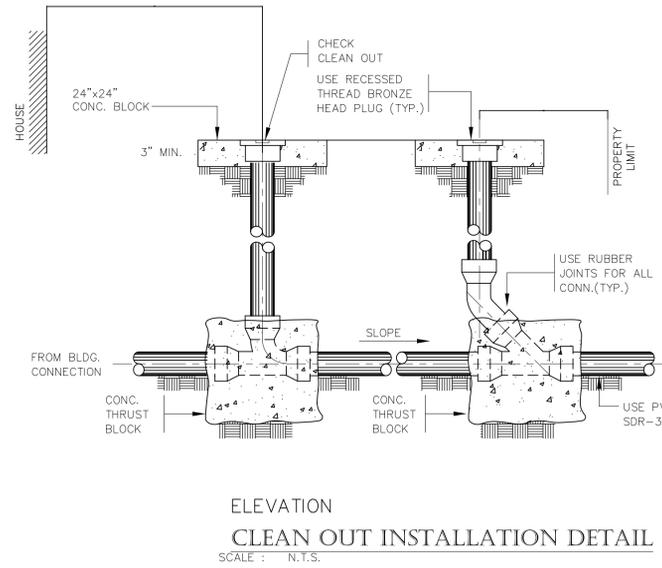
DIMENSIONS MARKED	VALVE BOX SCHEDULE							
	VALVE SIZE (IN INCHES)							
A	3"	2 1/2"	2"	1 1/2"	1 1/4"	1"	3/4"	1/2"
B	13"	13"	11"	11"	11"	8"	8"	8"
C	6"	6"	5"	5"	5"	4"	4"	4"
ACCESS COVER SIZE	AS REQUIRED							

NOTE: VALVES 2 1/2" & SMALLER SHALL BE EQUAL TO NIBCO MODEL 595-Y-66. FOR 3" VALVE USE NIBCO MODEL 590-Y-66 OR APPROVED EQUAL.

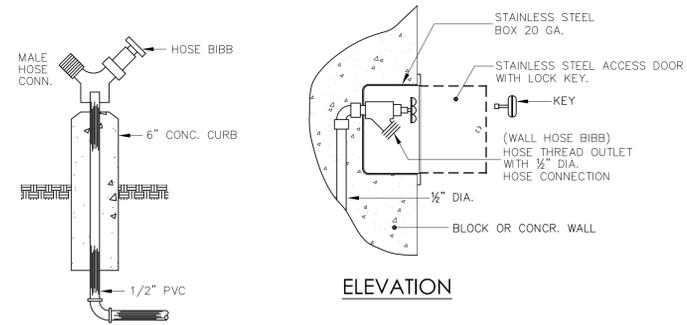
**VALVE BOX DETAIL**  
N.T.S.



**DETALLE TIPICO DE CONECCION DE AGUA A METRO DE AGUA**  
ESCALA: NO A ESCALA

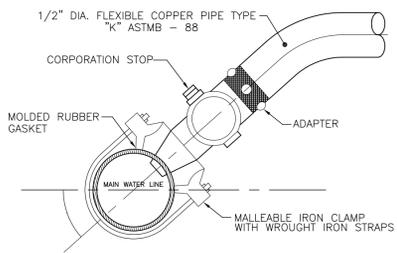


**ELEVATION CLEAN OUT INSTALLATION DETAIL**  
SCALE : N.T.S.



**HOSE BIBB DETAIL**  
N.T.S.

**RECESSED IN WALL HOSE BIBB INSTALLATION DETAIL**  
N.T.S.



**DETALLE TIPICO DE CONECCION DE AGUA A FACILIDADES DE A.A.**  
ESCALA: NO A ESCALA

1055 MARGINAL KENNEDY  
I.L.A. BUILDING - SUITE 706  
SAN JUAN, P.R. 00920  
TEL. (787) 707-6100  
EMAIL: gpassoc@gmail.com

**CENTRO MARIA MAZZARELLO**  
CARR. 157, KM. 23.0 INTERIOR  
BO. BARROS  
OROCOVIS, PUERTO RICO

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PROJECT NUMBER: **EDIFICIO CANCHA**  
PROJECT TITLE: **CENTRO MARIA MAZZARELLO**  
OROCOVIS, P.R.

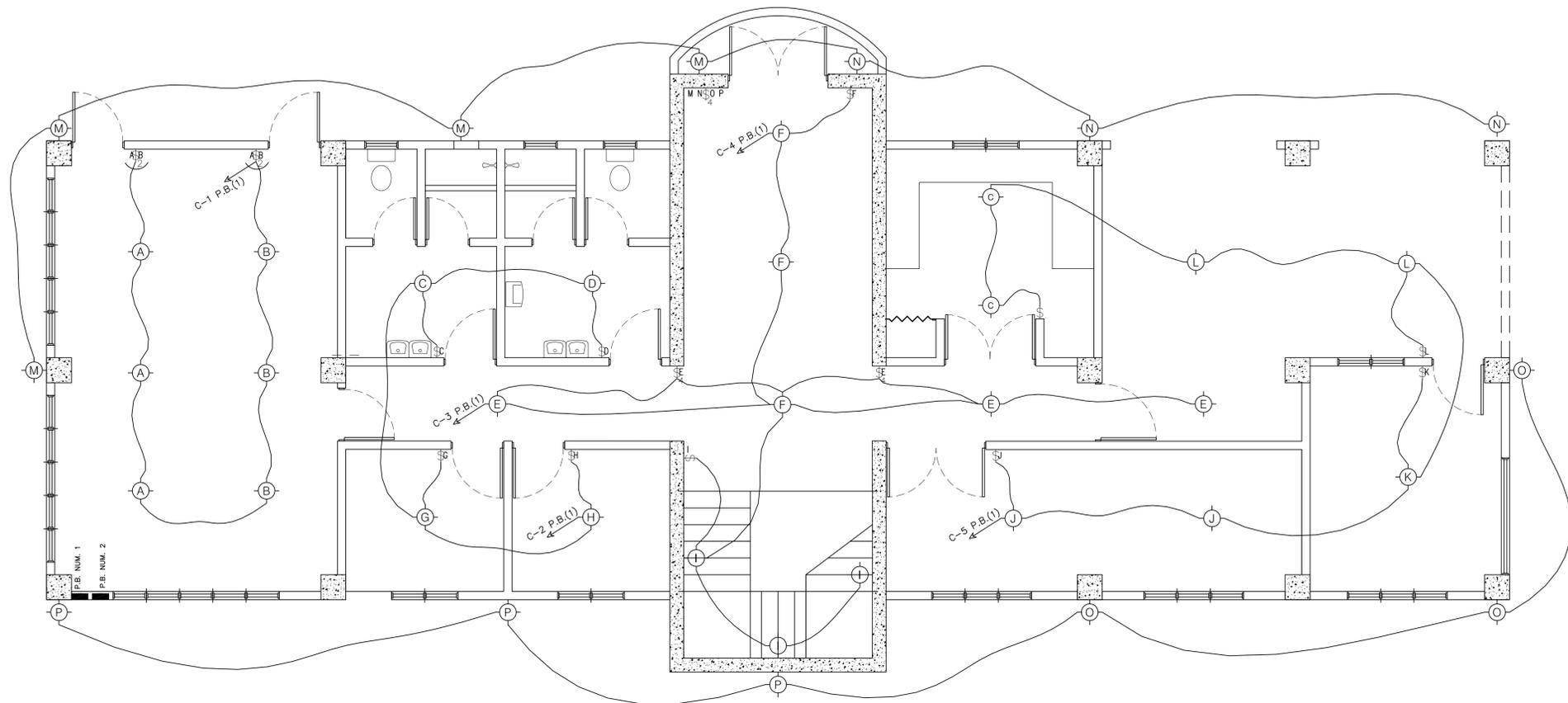
**CERTIFICACION**  
Yo, DANIEL GOMES MARRERO Ingeiero con licencia numero 7782 y socio de G.P.I.N.E.R.O., certifico que:  
Soy el profesional que diseño estos planos para la construcción y las especificaciones complementarias. Tambien certifico que estando que dichos planos y especificaciones cumplen con las disposiciones aplicables del Reglamento Construido y las disposiciones aplicables de los Reglamentos y códigos de los Municipios, Juntas Regulatorias o Corporaciones Publicas.  
Reconozco que cualquier declaración falsa o falsificación de los hechos que se haya producido sin consentimiento o por negligencia ya sea por mí, mis agentes o intermediarios, o por otras personas con mi consentimiento, me hacen responsable de cualquier acción judicial y disciplinaria por la O.C.P. y otros organismos competentes, incluyendo, pero no limitado, la denuncia de la participación en los procedimientos de certificación profesional en la O.C.P.

**CERTIFICACION CORRECTA**  
DESIGN BY: ING. DANIEL GOMES MARRERO  
LIC. NO. 7782

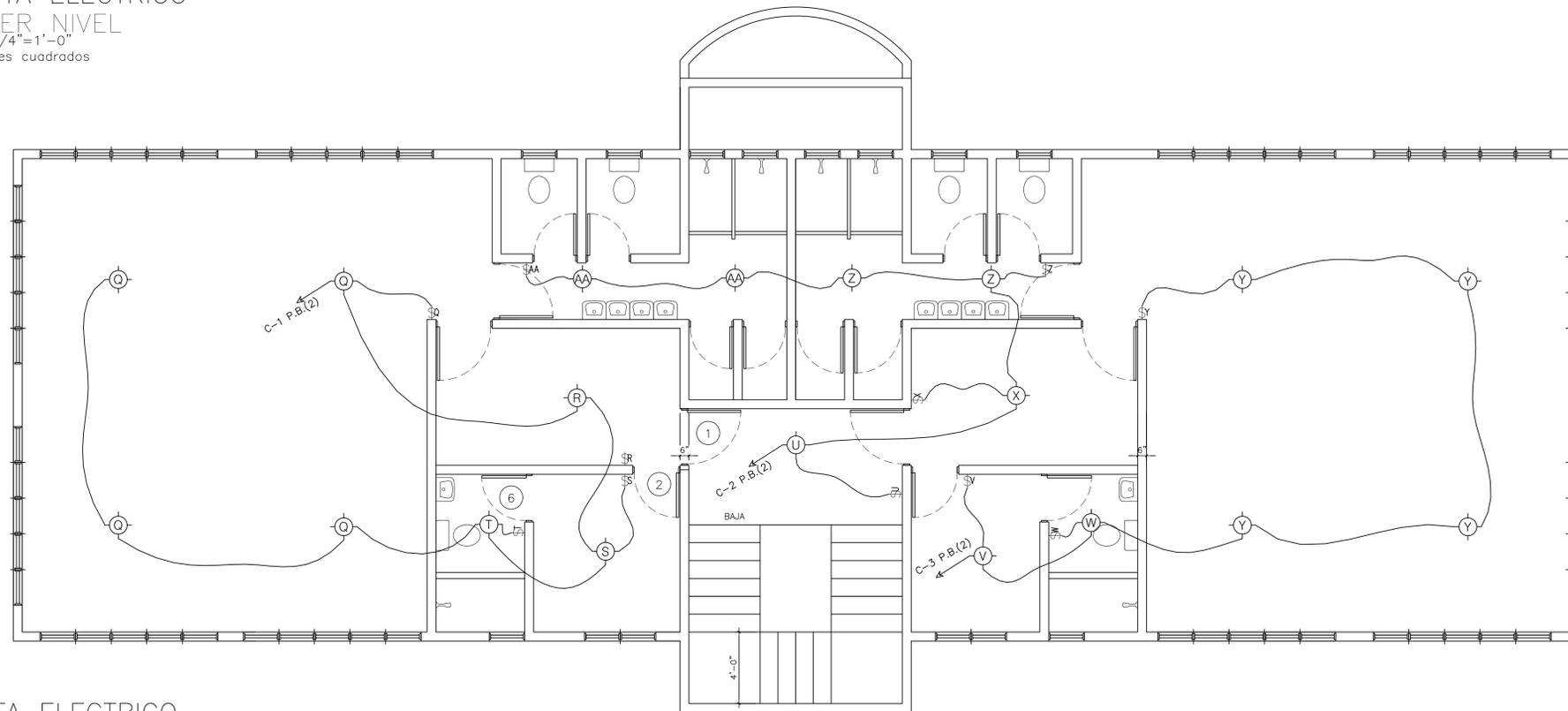
Revisions	By	Date

SHEET TITLE: **DISEÑO CENTRO MARIA MAZZARELLO**

Design by: XXXX  
Drawn by: XXXX  
Checked by: **ING. GOMES**  
Plot Date: **JUNE 2022**



PLANTA ELECTRICO  
PRIMER NIVEL  
ESCALA: 1/4" = 1'-0"  
2,524 pies cuadrados



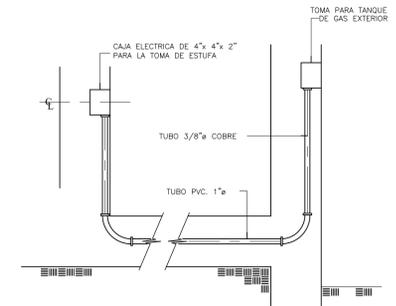
PLANTA ELECTRICO  
SEGUNDO NIVEL  
ESCALA: 1/4" = 1'-0"  
2,524 pies cuadrados

LEYENDA:

SIMBOLO	DESCRIPCION
---	CONDUCTO EN PARED O PLAFON
---	CONDUCTO EN PISO
---	3 ALAMBRES
---	4 ALAMBRES
□	AL PANEL
○	CIRCUITO
○	IDENTIFICACION DE CIRCUITO
○	INTERRUPTOR SENCILLO
○	INTERRUPTOR CON LUZ PILOTO
○	INTERRUPTOR DOBLE
○	INTERRUPTOR FUNDADO
○	RECEPTACULO SENCILLO
○	RECEPTACULO DOBLE
○	RECEPTACULO TRIPLE
○	RECEPTACULO CUADRUPLE
○	RECEPTACULO QUADRUPLE DE PISO
○	RECEPTACULO DE ESTUFA
○	RECEPTACULO DOBLE FUNDADO
○	RECEPTACULO ESPECIAL
○	CAJA DE EMPATES
○	DETECTOR DE HUMO
○	LUZ DE EMERGENCIA
○	CONTADOR DE ELECTRICIDAD
○	PANEL ELECTRICO
○	PANEL DE CONTROLES

NOTES:

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- 11-LAUNDRY & WATER HEATER RECEPTACLE SHALL BE INSTALLED 6" ABOVE WATER FAUCETS SERVING THIS APPLIANCES.
- 12-PROVIDE KEYLESS PORCELAIN LAMPHOLDER AT ALL LIGHTING OUTLETS.



DETALLE DE LINEA DE GAS

NOTA:  
CONSULTAR CON EL DUEÑO PARA LA LOCALIZACION DEL TANQUE DE GAS.

LEYENDA:

○	SAIDA DE PARED, CAJA 4"x4"x1-1/2", LETRA INDICA LOCALIZACION DEL INTERRUPTOR
○	SAIDA DE TECHO, CAJA 4"x4"x1-1/2", LETRA INDICA LOCALIZACION DEL INTERRUPTOR
○	INTERRUPTOR DOBLE, 15A - 125 V. - A 54" DEL P.T., LETRA INDICA SALIDA DE LUZ
○	INTERRUPTOR SIMPLE, 15A - 125 V. - A 54" DEL P.T., LETRA INDICA SALIDA DE LUZ
○	INTERRUPTOR SIMPLE, 15A - 125 V. - A 54" DEL P.T., NUMERO INDICA THREE WAY SWITCH
○	LETRA INDICA SALIDA DE LUZ
○	RECEPTACULO DOBLE EXISTENTE 18" DEL PISO TERMINADO A UBICARSE A 54"
○	RECEPTACULO DOBLE CON "GROUND", 15 AMP., 125 V. A 54" DEL PISO TERMINADO
○	RECEPTACULO DOBLE EXISTENTE 18" DEL PISO TERMINADO A NO SER AJUSTADO
---	TUBERIA POR LOSA DE TECHO Y/O PAREDES
---	TUBERIA POR LOSA DE PISO Y/O PAREDES
---	CORRIDA AL PANEL, NUMERO INDICA CIRCUITO
□	PANEL DE DISTRIBUCION A 5'-0" DEL PISO TERMINADO
○	GROUND FAULT

1055 MARGINAL KENNEDY  
I.L.A. BUILDING - SUITE 706  
SAN JUAN, P.R. 00920  
TEL. (787) 707-6100  
EMAIL: gpassoc@gmail.com

CENTRO MARIA MAZZARELLO  
CARR. 157, KM. 23.0 INTERIOR  
BO. BARROS  
OROCOVIS, PUERTO RICO

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PROJECT NUMBER  
**EDIFICIO CANCHA**

PROJECT TITLE  
**CENTRO MARIA MAZZARELLO**  
OROCOVIS, P.R.

CERTIFICACION

Yo, DANIEL GOMEZ MAZZARELLO Ingeiero con licencia numero 7782 y miembro de C.A.M.B.E.L., certifico que:  
Soy el profesional que diseño estos planos para la construcción y las especificaciones complementarias. También certifico que relacio que dichos planos y especificaciones cumplen con las disposiciones aplicables del Reglamento Construido y las disposiciones aplicables de los Reglamentos y códigos de las Agencias, Junta Reglamentaria y Corporaciones Públicas, sin perjuicio de:  
Reconocer que cualquier declaración falsa o falsificación de los hechos que se haya producido sin consentimiento o por negligencia ya sea por mí, mis agentes o empleados, o por otras personas con mi consentimiento, me hacen responsable de cualquier acción judicial y disciplinaria por la ODEP y otras autoridades competentes, incluyendo, pero no limitado a, la suspensión de la participación en los procedimientos de certificación profesional en la ODEP.

CERTIFICO CORRECTO

DESIGN BY:

ING. DANIEL GOMEZ MAZZARELLO

LIC. NO.

7782

Revisions	By	Date

SHEET TITLE  
**DISEÑO  
CENTRO  
MARIA  
MAZZARELLO**

Design by : XXXX  
Drawn by : XXXX  
Checked by : ING. GOMEZ  
Plot Date : JUNE 2022

SHEET NO. TOTAL PAGE  
**E-1 12 14**

1055 MARGINAL KENNEDY  
I.L.A. BUILDING - SUITE 706  
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CARR. 157, KM. 23.0 INTERIOR  
BO. BARROS  
OROCOVIS, PUERTO RICO

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PROJECT NUMBER: **EDIFICIO CANCHA**  
PROJECT TITLE: **CENTRO MARIA MAZZARELLO**  
OROCOVIS, P.R.

**CERTIFICACION**  
Yo, DANIEL GOMEZ MARRERO Ingeiero con licencia numero 7782 y vecino de CAROLINA, certifico que:  
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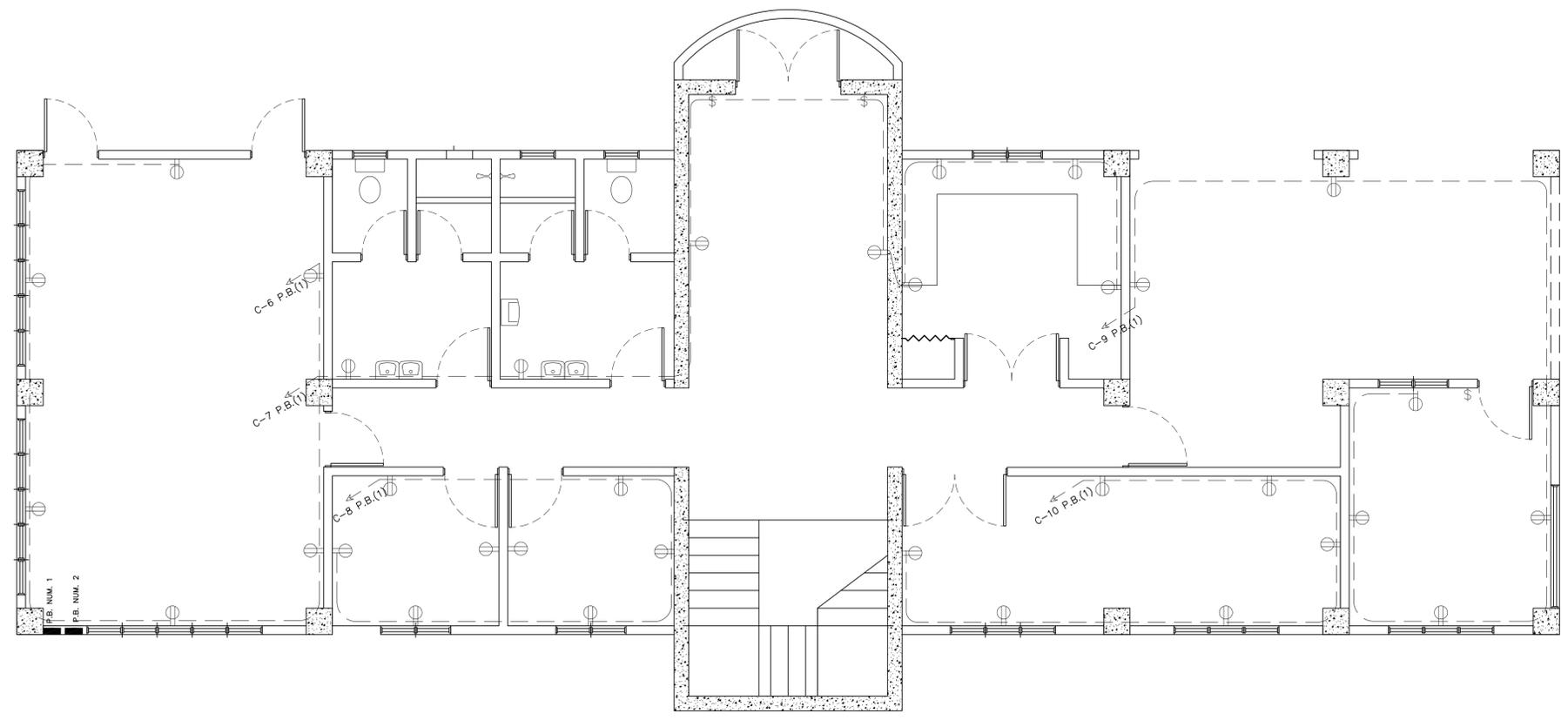
**CERTIFICO CORRECTO**

DESIGN BY: ING. DANIEL GOMEZ MARRERO  
LIC. NO. 7782

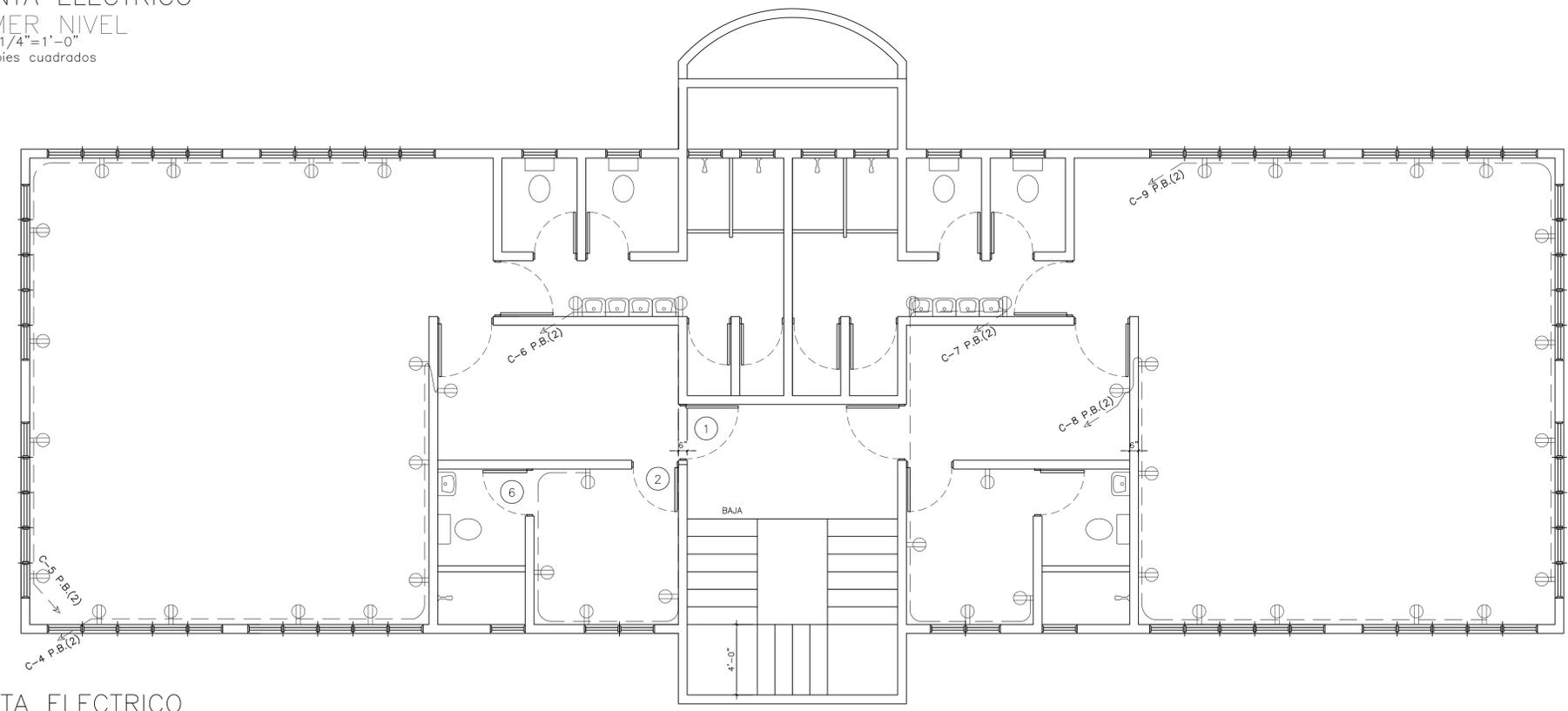
Revisions	By	Date

SHEET TITLE: **DISEÑO CENTRO MARIA MAZZARELLO**

Design by: XXXX  
Drawn by: XXXX  
Checked by: ING. GOMEZ  
Plot Date: JUNE 2022



**PLANTA ELECTRICO**  
**PRIMER NIVEL**  
ESCALA: 1/4" = 1'-0"  
2,524 pies cuadrados



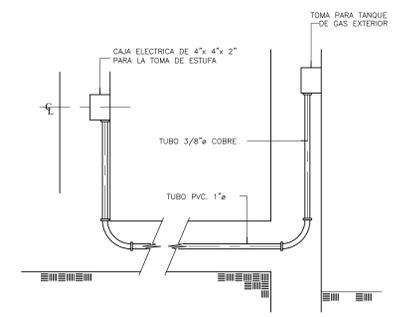
**PLANTA ELECTRICO**  
**SEGUNDO NIVEL**  
ESCALA: 1/4" = 1'-0"  
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**LEYENDA:**

SIMBOLO	DESCRIPCION
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○	RECEPTACULO DOBLE
○	RECEPTACULO TRIPLE
○	RECEPTACULO CUADRUPLA
○	RECEPTACULO CUADRUPLA DE PISO
○	RECEPTACULO DE ESTUFA
○	RECEPTACULO DOBLE FUNDADO
○	RECEPTACULO ESPECIAL
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**DETALLE DE LINEA DE GAS**

NOTA:  
CONSULTAR CON EL DUEÑO PARA LA LOCALIZACION DEL TANQUE DE GAS.

**LEYENDA:**

○	SALIDA DE PARED, CAJA 4"x4"x1-1/2", LETRA INDICA LOCALIZACION DEL INTERRUPTOR
○	SALIDA DE TECHO, CAJA 4"x4"x1-1/2", LETRA INDICA LOCALIZACION DEL INTERRUPTOR
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■	PANEL DE DISTRIBUCION A 5'-0" DEL PISO TERMINADO
GF	GROUND FAULT

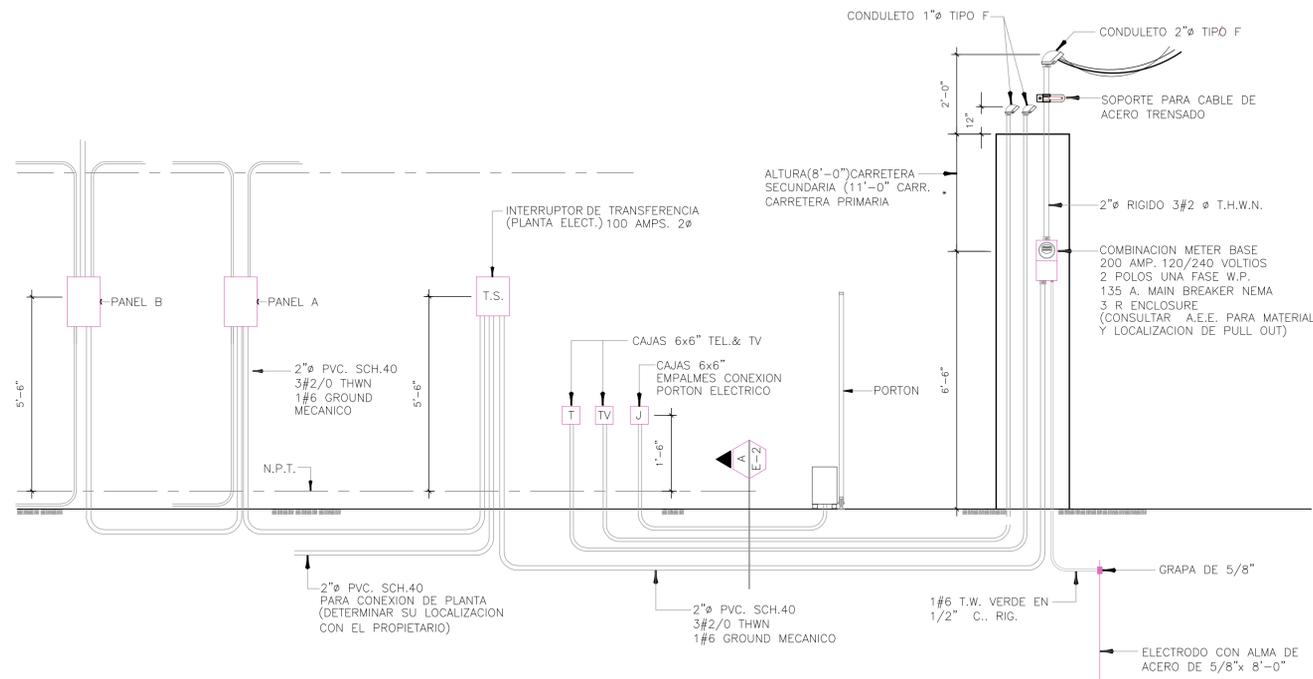
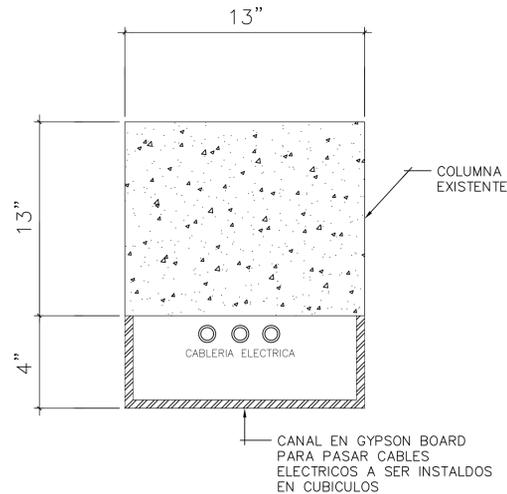
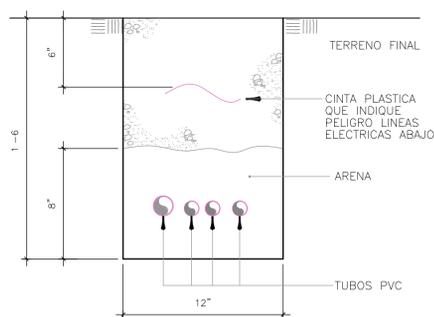


DIAGRAMA MONOFILAR



DETALLE CANAL PARA CABLERIA ELECTRICA



SECCION

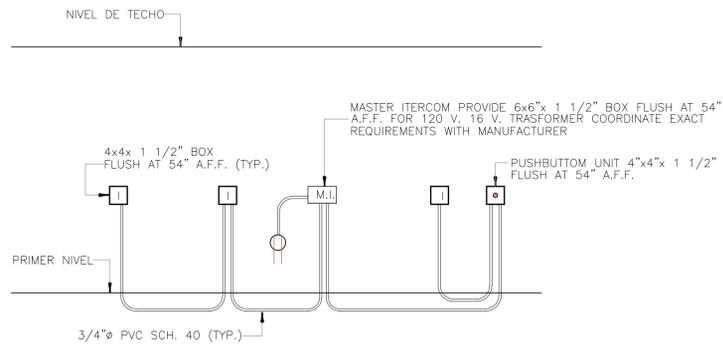


DIAGRAMA PARA INTERCOMUNICADOR

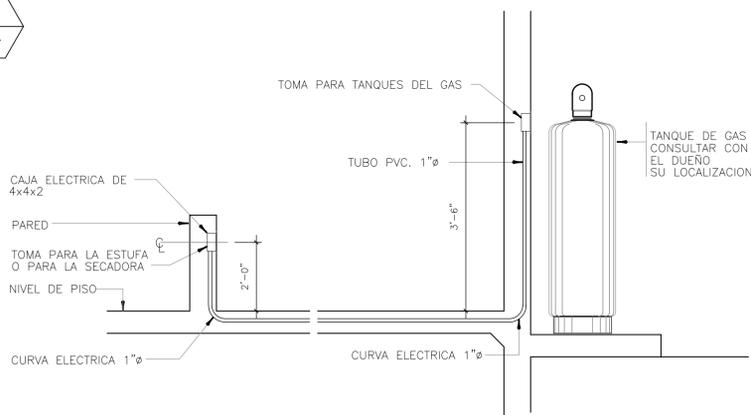


DIAGRAMA PARA GAS FLUIDO

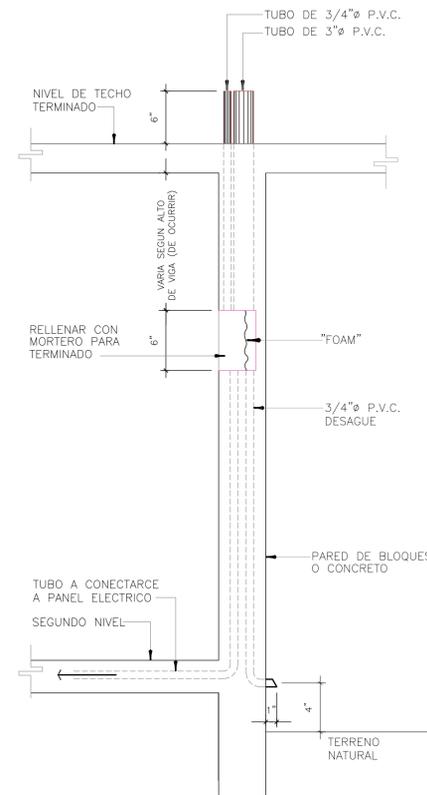


DIAGRAMA DE CONEXION DE AIRE ACONDICIONADO

NO A ESCALA  
NOTA: COTEJAR LOCALIZACION EXACTA CON EL SUPLIDOR

GENERAL NOTES:

- UNLESS OTHERWISE INDICATED ALL WIRES AND CABLES SHALL BE # 12 AWG.
- UP TO # 10 - WAG USE WIRE, ALL LARGER SIZES BE CABLE.
- ALL WIRES SHALL BE 600 VOLTS INSULATION THWN-STRANDED WIRES.
- UNLESS OTHERWISE INDICATED , ALL WIRES AND CABLES SHALL BE COPPER.
- PROVIDE GROUND WIRE IN ALL THE CONDUITS THAT ARE INDICATED TO BE PVC. SCHEDULE 40.
- PROVIDE # 12-AWG GREEN JUMPER BETWEEN RECEPTACLE GROUNDING SCREW AND OUTLET BOX GROUNDING SCREW.
- UNLESS OTHERWISE INDICATED (IN THE PANEL BOARD) ALL CONDUITS SHALL BE EMT PER CEILING PVC SCHEDULE 40. FOR UNDERGROUND CONCRETE SLAB AND WALL CONDUIT USE PVC SCHEDULE 40.
- UNLESS OTHERWISE INDICATED ALL CONDUITS SHALL BE 3/4" DIAMETER MINIM.
- ALL UNDERGROUND CONDUIT COUPLINGS SHALL BE WATERTIGHT.
- PROVIDE EXPANSION JOINT COUPLINGS OF THE REQUIRED TYPE AND SIZE WHENEVER A CONDUIT CROSSES AN EXPANSION JOINT.
- PROVIDE CONDUIT PLASTIC DIVIDERS IN ALL UNDERGROUND CONDUIT RUNS MAXIMUM DISTANCE BETWEEN DIVIDERS TO BE 4'-0".
- CONTRACTOR MUST MAKE SURE THAT THE ENTIRE ELECTRICAL SYSTEM HAS GROUND CONTINUITY.
- ALL THE ELECTRICAL INSTALLATION SHALL BE DONE IN A NEAT AND WORKMANLIKE MANNER, ACCORDING TO THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE, THE PUERTO RICO ELECTRICAL POWER AUTHORITY LATEST STANDARDS AND PUERTO RICO TELEPHONE COMPANY OR COMMUNICATIONS AUTHORITY LATEST PRACTICES.
- ALL OUTLET SHALL HAVE ITS OWN INDEPENDENT OUTLET BOX MINIMUM SIZE OF OUTLET BOX TO BE 4" SQUARE BY 1 1/2" DEEP EXACT SIZE OF OUTLET BOX TO BE DETERMINED ACCORDING TO THE MAXIMUM NUMBER OF CONDUCTORS IN THE BOX PER N.E.C., ARTICLE 370 - SECTION 16.
- THE CONTRACTOR SHALL VISIT THE JOB SITE AND BECOME ACQUAINTED WITH THE EXISTING FIELD CONDITIONS, IF SHALL BE THE DIRECT RESPONSIBILITY OF THE CONTRACTOR TO BRING PROMPTLY TO THE ATTENTION OF THE ENGINEER ANY DISCREPANCIES BETWEEN THE EXISTING FIELD CONDITIONS AND THOSE THAT WERE USED FOR DESIGN PURPOSE. THIS SHALL BE DONE BEFORE THE CONTRACTOR SUBMITS HIS BID, SO THAT THE ENGINEER CAN RENDER A DECISION ON THE BY THE CONTRACTOR WILL BE HE AS PROOF THAT THE CONTRACTOR UNDERSTANDS THOROUGHLY AND COMPLETELY AS THE SCOPE OF THE WORK INVOLVED, HAS FAMILIARIZED HIMSELF WITH THE EXISTING FIELD CONDITIONS AND HAS INCLUDED ON HIS BID ALL THE NECESSARY ITEMS TO CARRY OUR THE ELECTRICAL WORK. NO ALLOWANCE WILL BE PERMITTED ON THIS MATTER AFTER THE BIDS ARE RECEIVED.
- ALL SWITCHES AND RECEPTACLE SHALL BE IVORY COLORED WITH IVORY BAKELITE PLATES.
- THE DIMENSIONS OF THE ELECTRICAL CABINET WILL BE SUBJECT TO THE RULES AND REGULATIONS OF PREPA.
- PROVIDE ELECTRICAL 6" WIDE YELLOW IDENTITY TAPE FOR UNDERGROUND CABLES THE TAPE SHALL BE PERMANENTLY PRINTED WITH CONTINUOUS BLACK LETTERS 1/4"x5/8" WITH THE WORDS "PELIGRO- PELIGRO" ON THE EDIION.
- PROVIDE #10 WIRE ON ALL 20 AMP CIRCUIT 75 FEET OR LONGER.
- ALL PANELS SWITCHES, STARTERS, CONTROL DIVICES AND MICS ELECTRICAL APPARATUS SHALL BE CLEARLY MARKED WITH ENGRAVED PLASTIC NAMEPLATE FOR EASY IDENTIFICATION AND SAFETY. ALL PANELBOARD CIRCUITS SHALL BE PROPERLY IDENTIFIED WITH TYPE WRITTEN PLASTIC PROTECTED DIRECTORIES ON SUITABLE CARDS WHICH SHALL BE MOUNTED INTO CORRESPONDING PANELBOARD DOORS.
- FURNISHED AND INSTALL ALL TELEPHONE CONDUIT AS SHOWN ON DRAWINGS. PROVIDE PULL STING IN ALL CONDUITS (FISH WIRE).
- CONTRACTOR SHALL BALANCE ALL LOADS.
- ALL EXPOSED CONDUIT SHALL BE RIGID GALVANIZED STEEL.
- ALL PANELS METERS SAFETY SWITCHES ETC. SHALL BE IA BELLED SO AS TO IDENTIFY THEIR USE AND VOLTAGE, IN AN ACCEPTED MANNER.
- USE LIQUID TIGHT FLEXIBLE METALLIC CONDUIT FOR ALL MOTOR AND/OR GENERATOR THEIR USE AND VOLTAGE, IN AN ACCEPTED MANNER.
- EXPANSION FITTING SHALL BE USED FOR EVERY CONDUIT CROSSING BUILDING EXPANSION THEIR USE AND VOLTAGE, IN AN ACCEPTED MANNER.

LEYENDA:

○	SALIDA DE TECHO, CAJA OCTAGONAL DE 4", LETRA INDICA INTERRUPTOR QUE LA CONTROLA	▶	SALIDA PARA TELEFONO , CAJA 4"x 4" a 18" S.P.T.
○	SALIDA DE PARED, CAJA OCTAGONAL DE 4" a 6'-6" S.P.T., LETRA INDICA INTERRUPTOR QUE LA CONTROLA	▷	SALIDA PARA TELEVISION, CAJA 4"x 4" a 18" S.P.T.
⊕	SALIDA DE PARED PARA INSTALACION DE LUZ DE BOTQUIN CAJA OCTAGONAL DE 4" a 6'-0" S.P.T.	—	TUBERIA POR LOSA DE TECHO Y/O PAREDES PARA CIRCUITOS DE LUCES
⊕	DETECTOR DE HUMO 120 VOLTS, 60 HZ. a 6'-6" S.P.T.	—	TUBERIA POR LOSA DE PISO Y/O PAREDES PARA CIRCUITOS DE RECEPTACULOS
⊕	INTERRUPTOR SIMPLE "GROUNDING TYPE", 15 AMPS, 125 VOLTS, CAJA 4"x4" A 48" S.P.T. LETRA INDICA SALIDA QUE CONTROLA	C-1A	CORRIDA AL PANEL NUMERO INDICA CIRCUITO LETRA A PANEL QUE CORRESPONDE
⊕	SIMILAR A ANTERIOR EXCEPTO "THREE WAY" 48" S.P.T.	—	CONDUCTOS CRUZANDO
⊕	SIMILAR A ANTERIOR EXCEPTO "FOUR WAY" 48" S.P.T.	---	CONDUCTO POR PISO O PARED PARA USO DE LINEA TV
⊕	SIMILAR A ANTERIOR EXCEPTO LUZ PILOTO, 42" S.P.T.	---	CONDUCTO POR PISO O PARED PARA USO DE LINEA TELEFONICA
⊕	SIMILAR A ANTERIOR EXCEPTO DOS POLOS, 30 AMPS, 240 VOLTS, 48" S.P.T. PARA CONTROLAR EL CALENTADOR DE AGUA	---	CONDUCTO POR TECHO O PARED PARA USO DE CIRCUITO DETECTORES DE HUMO
⊕	RECEPTACULO DOBLE DE CONVENIENCIA "GROUNDING TYPE" 15 AMPS. 125 VOLTS, CAJA 4"x4" a 18" S.P.T.	PB	PANEL DE DISTRIBUCION A 5'-0" DEL PISO TERMINADO
⊕	SIMILAR A ANTERIOR EXCEPTO 60" S.P.T.	T.S.	INTERRUPTOR DE TRANSFERENCIA PARA PLANTA ELECTRICA (COORDINAR CON DUEÑO SALIDA PARA CONEXION DE GENERADOR ELECTRICICO)
GFCI	SIMILAR A ANTERIOR EXCEPTO "GFCI" 42" S.P.T.	⊕	PEDESTAL ELECTRICICO CON METRO CANTADOR
WP/GFCI	SIMILAR A ANTERIOR EXCEPTO "WATER PROOF"/"GFCI"	T+	CAJA DE CONEXIONES 6"x 6" PARA TELEFONO A 18" S.P.T.
⊕	RECEPTACULO SENCILLO DE CONVENIENCIA "GROUNDING TYPE" 15 AMPS. 125 VOLTS, CAJA OCTAGONAL DE 4" a 18" S.P.T. CON JUNTA Y TAPA DE ALUM. O STAINLESS STEEL	TV+	CAJA DE CONEXIONES 6"x 6" PARA TELEVISION A 18" S.P.T.
⊕	RECEPTACULO DE ESTUFA "GROUNDING TYPE" 1 PH, 50 AMPS, 250 VOLTS A 18" S.P.T.	⊕	CAJA DE CONEXIONES 6"x 6" PARA PORTON ELECTRICICO A 18" S.P.T.
⊕	RECEPTACULO SENCILLO "GROUNDING TYPE" 30 AMPS. 2P, 250 VOLTS.	⊕	CAJA DE CONEXIONES 6"x 6" PARA LUCES DE PATIO A 18" S.P.T.
⊕	SIMILAR A ANTERIOR EXCEPTO 20 AMPS. 2P 250 VOLTS.	⊕	SALIDA DE TECHO PARA INSTALACION DE PUERTA DE GARAJE CAJA OCTAGONAL DE 4" CONSULTAR CON FABRICANTE PARA DISTANCIA DE INSTALACION

1055 MARGINAL KENNEDY  
I.L.A. BUILDING - SUITE 706  
SAN JUAN, P.R. 00920  
TEL. (787) 707-6100  
EMAIL: gpassoc@gmail.com

**CENTRO MARIA MAZZARELLO**  
CARR. 157, KM. 23.0 INTERIOR  
BO. BARROS  
OROCOVIS, PUERTO RICO

All drawings and copies thereof are instruments of service and as such remain the property of the designer. They are to be used only with respect to the project. With the exception of one complete set for each party to the contract, all copies are to be returned or suitably accounted for to the designer upon completion of the work.

PROJECT NUMBER: **EDIFICIO CANCHA**  
PROJECT TITLE: **CENTRO MARIA MEZZARELLO**  
OROCOVIS, P.R.

CERTIFICACION  
Yo, DANIEL GOMEZ MARRERO Ingeiero con licencia numero 7782 y miembro de CAIBRETEL, certifico que:  
Soy el profesional que diseño estos planos para la construccion y las especificaciones complementarias. Tambien certifico que estubo presente en el sitio y verifique que las disposiciones especificadas del Reglamento Comunitario y las disposiciones aplicables de los Reglamentos y codigos de las Agencias, Junta Reglamentaria y Corporacion Publica son cumplidas.  
Reconozco que cualquier declaracion falsa o falsificacion de los hechos que se haya producido sin consentimiento o por negligencia yo soy por mi, mis agentes o empleados, o por otras personas con mi consentimiento, me hacen responsable de cualquier accion judicial y disciplinaria por la ODEPA y otras autoridades competentes, incluyendo, pero no limitado, la terminacion de la participacion en los procedimientos de certificacion profesional en la ODEPA.

CERTIFICO CORRECTO

DESIGN BY:  
ING. DANIEL GOMEZ MARRERO  
LIC. NO.  
7782

Revisions	By	Date

SHEET TITLE: **DISEÑO**  
**CENTRO**  
**MARIA**  
**MAZZARELLO**

Design by: XXXX  
Drawn by: XXXX  
Checked by: ING. GOMEZ  
Plot Date: JUNE 2022



13 de enero de 2020

Arq. Carlos A. Rubio Cancela  
Director Ejecutivo  
Oficina Estatal de Conservación Histórica  
Cuartel de Ballajá (Tercer Piso)  
Calle Norzagaray, Esquina Beneficiencia  
San Juan, Puerto Rico

**Re: Autorización para Someter Documentos**

Estimado Arq. Rubio Cancela:

El Departamento de Vivienda y Desarrollo Urbano (HUD, por sus siglas en inglés) de los Estados Unidos aprobó una asignación de fondos tipo Subvención en Bloque para el Desarrollo Comunitario (CDBG-DR, por sus siglas en inglés) el 9 de febrero de 2018. El objetivo de esta asignación es atender necesidades insatisfechas a consecuencia del paso de los huracanes Irma y María ocurrido en septiembre de 2017.

Para cumplir con los requisitos ambientales que establece HUD, el Departamento de Vivienda de Puerto Rico contrató a Horne Federal, LLC para proporcionar servicios de revisión de registros ambientales, entre otros, que respaldarán los objetivos de la agencia para el Programa CDBG-DR.

En el ánimo de agilizar los procesos se autoriza a Horne Federal, LLC, a presentar ante la Oficina Estatal de Preservación Histórica, documentación de los casos relacionada al Programa CDBG-DR en representación del Departamento de Vivienda.

Cordialmente,



Dennis G. González Ramos, PE MEM  
Subsecretario  
Programa CDBG-DR