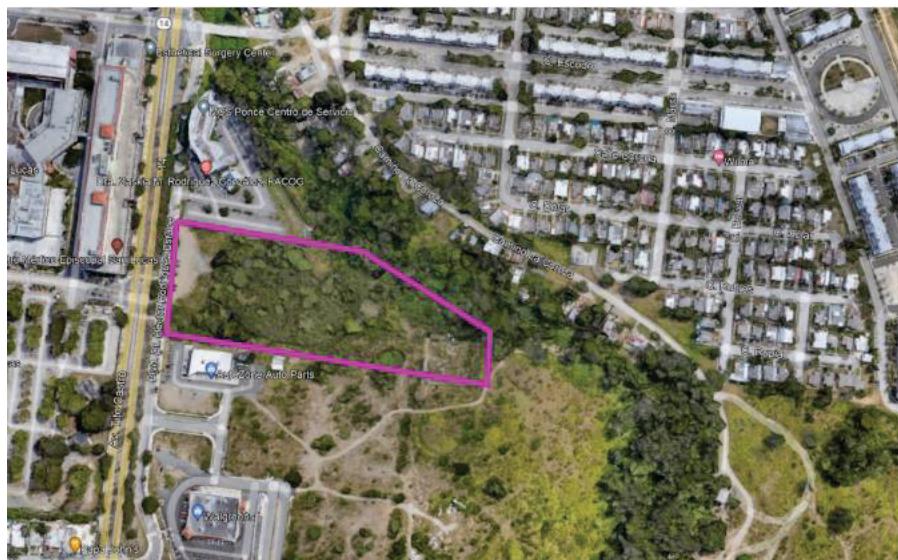


# **Environmental Assessment Determinations and Compliance Findings for HUD-assisted Projects 24 CFR Part 58**



# FLEMING HOTEL LLC PONCE, PUERTO RICO

August 30, 2023  
CMA 22111  
Rev. 07

CMA  
ARCHITECTS &  
ENGINEERS LLC

## TABLE OF CONTENTS

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TABLE OF CONTENTS .....	2
LIST OF APPENDICES .....	3
1.0 Project Information .....	4
1.1    Description of the Proposed Project [24 CFR 58.32; 40 CFR 1508.25]:.....	4
1.2    Statement of Purpose and Need for the Proposal [40 CFR 1508.9(b)]:.....	6
1.3    Existing Conditions and Trends [24 CFR 58.40(a)]:.....	6
1.4    Funding Information .....	7
1.5    Estimated Total HUD Funded Amount:.....	7
2.0 Compliance with 24 CFR 58.5 and 58.6 Laws and Authorities .....	8
2.1    Environmental Assessment Factors .....	12
2.2    Additional Studies Performed.....	15
2.3    Field Inspection .....	15
2.4    List of Sources, Agencies and Persons Consulted [40 CFR 1508.9(b)]:.....	15
2.5    List of Permits Obtained .....	16
2.6    Public Outreach [24 CFR 58.43] .....	16
2.7    Cumulative Impact Analysis [24 CFR 58.32]: .....	17
2.8    Alternatives [24 CFR 58.40(e); 40 CFR 1508.9].....	17
2.8.1        Preferred Alternative .....	17
2.8.2        Alternative 1 .....	18
2.8.3        No Action Alternative [24 CFR 58.40(e)]:.....	18
3.0 Summary of Findings and Conclusions .....	19
3.1    Mitigation Measures and Conditions [40 CFR 1505.2(c)] .....	19
4.0 Determination.....	20

## **LIST OF APPENDICES**

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Appendix A – PRASA Endorsement

Appendix B – LUMA Endorsement

Appendix C – HUD Worksheets

Appendix D – Sign Installation Letter

Appendix E – State Historic Preservation Office Programmatic Agreement

## 1.0 Project Information

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**Project Name:** Hampton Inn Hotel (PR-IPG-000581)

**Responsible Entity:** Puerto Rico Department of Housing

**Grant Recipient** (if different than Responsible Entity):

**State/Local Identifier:** Ponce, Puerto Rico

**Preparer:** Fleming Hotel LLC

**Certifying Officer Name and Title:**

Juan Carlos Pérez-Bofill  
Sally Z. Acevedo-Cosme  
Pedro de León Rodriguez  
María T. Torres-Bregón  
Angel G. López Guzmán  
Ivelisse Lorenzo Torres  
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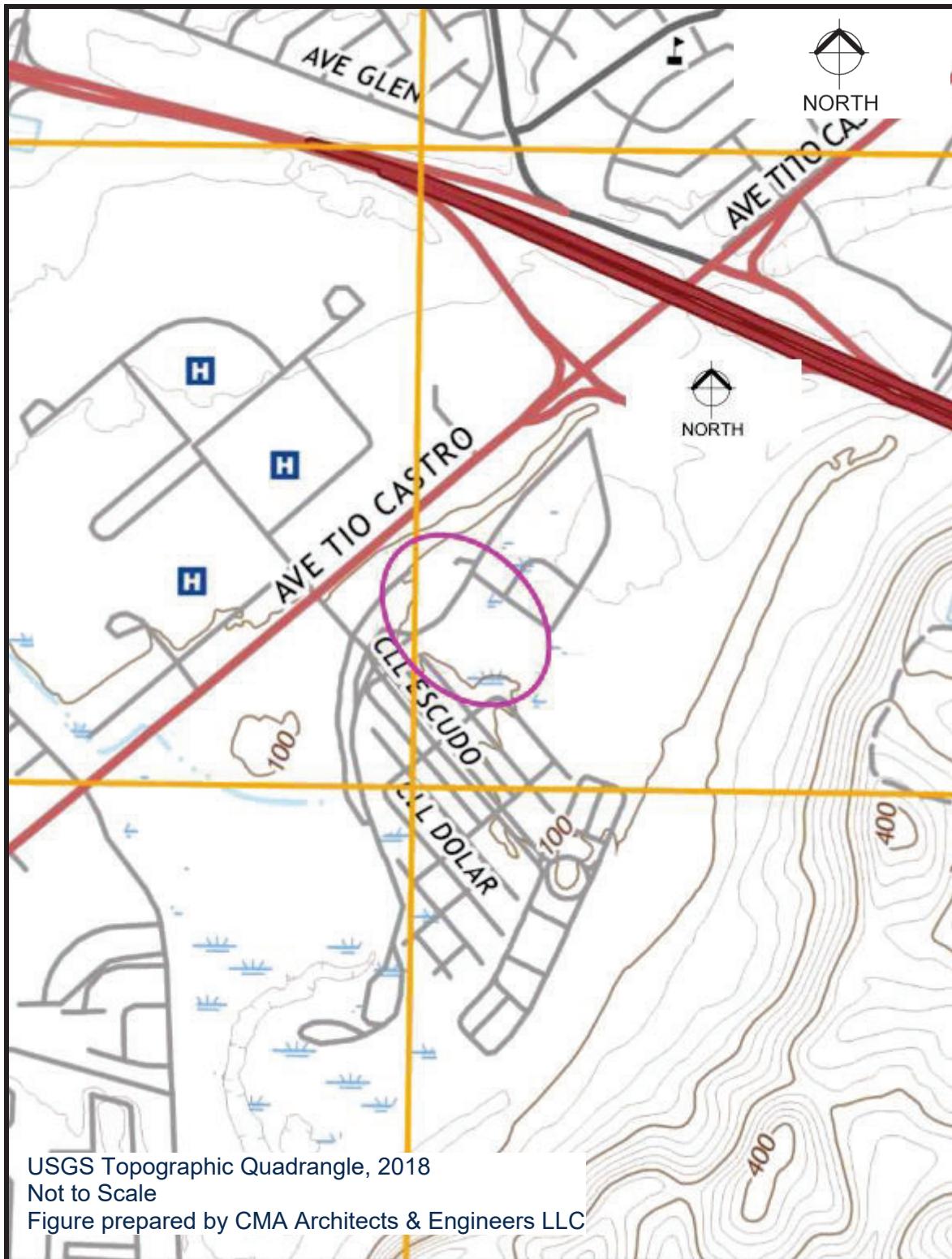
**Consultant** (if applicable): CMA Architects & Engineers LLC

**Direct Comments to:** Angel G. López-Guzmán  
(environmentalcdbg@vivienda.pr.gov)

**Project Location:** Tito Castro Ave. km 3.7 Machuelo Abajo Ward  
Ponce, PR 00617  
Cadastral Number: 365-000-008-45-000  
Coordinates: 18.030; -66.594

### 1.1 Description of the Proposed Project [24 CFR 58.32; 40 CFR 1508.25]:

Fleming Hotel LLC proposes to develop a 21,255,360 square meter plot of land located at kilometer 3.7 of highway PR-14 (Ave. Tito Castro), Barrio Machuelo Abajo in the municipality of Ponce. The construction of a commercial and tourist project called One Plaza Business Center is proposed on said property. The project comprises a 130-room Hampton by Hilton flag hotel on 8 levels and approximately 83,000 square feet of construction. It will have the following amenities: a restaurant, activity rooms, a swimming pool, and a gym. A 4,000-foot one-story retail and restaurant building. Plus, a 52,000-foot office building on 5 levels. Ample parking will be built for all operations. A location plan is included in the following page.



Location Plan

It will be adjacent to MCS Plaza Building (formerly known as Millennium Tower building) and near to several retail stores and the Hospital San Lucas, the largest hospital in the Southern Puerto Rico and adjacent to the largest Veterans Clinic in the Caribbean currently under construction.

The proposed hotel will be flagged with Hampton by Hilton brand.

The project potable water will be connected to the system operated by the Puerto Rico Aqueduct and Sewer Authority (PRASA). The potable water connection will be allowed after carrying out some infrastructure works on the PR-14 state highway. A water well will be dug on the project premises to obtain drinking water while the infrastructure is being built.

Sanitary sewer will be connected to the system operated by the Puerto Rico Aqueduct and Sewer Authority (PRASA). Recommendations for this connection has been provided by PRASA in their letter dated April 19, 2021. Copy of this letter is included as **Appendix A**.

Electric power will be provided by a connection to the public system operated by LUMA. On March 24, 2022, LUMA issued their recommendations to provide the electric service to the project. **Appendix B** shows copy of their recommendations. The project will be accessed through State Road PR-14 located to the north of the site.

The proposed hotel and office building area apart of a larger development that will include a free-standing building reserved for future development.

### **1.2 Statement of Purpose and Need for the Proposal [40 CFR 1508.9(b)]:**

The area where the project will be developed is surrounded by several clinics, doctor's offices and one of the principal hospitals in the south region. Family members of patients receiving treatment at area clinics and hospitals need a place to stay. This project contemplates providing adequate spaces for the night and will also provide additional spaces for medical offices.

Agencies consulted for the proposed project are provided in the List of Sources, Agencies, and Persons Consulted section of this EA. Further discussion of the environmental impacts of the proposed action and alternatives is provided in the Cumulative Impact Analysis, Alternatives/No Action Alternative, and Summary of Findings and Conclusions sections of this EA.

### **1.3 Existing Conditions and Trends [24 CFR 58.40(a)]:**

The area where the project will be developed is a commercial area with professional office buildings, hospitals, and retail stores. The construction of the proposed hotel will add value to the area by providing an adequate facility for medical tourism and visitors to the area's professional offices.

The boundaries of the property are the following:

- ✓ North – Centro Médico Episcopal San Lucas
- ✓ South – Veterans Administration Hospital (Under Construction)

- ✓ East – MCS Classic Care Office Building
- ✓ West – Auto Zone

#### **1.4 Funding Information**

<b>Grant Number</b>	<b>HUD Program</b>	<b>Funding Amount</b>
B-17-DM-72-0001 B-18-DP-72-0001 B-19-DP-78-0002 B-18-DE-72-0001	Community Development Block Grant – Disaster Recovery (CDBG-DR) Investment Portfolio for Growth	\$11,938,162,230.00

**1.5 Estimated Total HUD Funded Amount:** \$22,700,000.00

**Estimated Total Project Cost** (HUD and non-HUD funds) [24 CFR 58.32(d)]: \$48,139,000.00

## 2.0 Compliance with 24 CFR 58.5 and 58.6 Laws and Authorities

Record below the compliance or conformance determinations for each statute, executive order, or regulation. Provide credible, traceable, and supportive source documentation for each authority. Where applicable, complete the necessary reviews or consultations and obtain or note applicable permits of approvals. Clearly note citations, dates/names/titles of contacts, and page references. Attach additional documentation as appropriate.

Compliance Factors: Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6	Are formal compliance steps or mitigation required?	Compliance Determinations <sup>1</sup>
<b>STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 58.6</b>		
Airport Hazards 24 CFR Part 51 Subpart D	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Mercedita airport is located 8,500 feet to the southeast of the project. Luis Muñoz Marin International Airport is a Civil-Military airport and is located 47.19 miles northeast of the project. <b>Appendix C</b> shows an aerial photo with the nearest airport locations. This project is in compliance with Airport Hazards Requirements.
Coastal Barrier Resources Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 [16 USC 3501]	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	The nearest Coastal Barrier Resource System is Punta Cucharas Unit. It is located 34,375 ft to the southwest of the site. <b>Appendix C</b> shows a figure with the location of the nearest CBRS Units. This project complies with Coastal Barrier Resources Act.
Flood Insurance Flood Disaster Protection Act of 1973 and National Flood Insurance Reform Act of 1994 [42 USC 4001-4128 and 42 USC 5154a]	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	FEMA Flood Maps, Panel 72000C1665J (revised on November 18, 2009), shows that the project site is in Zone X. Flood Insurance is not required for this project. <b>Appendix C</b> shows a copy of this panel depicting the project area. This project is in compliance with Flood Insurance.
<b>STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 58.5</b>		
Clean Air Clean Air Act, as amended, particularly section 176(c) & (d); 40 CFR Parts 6, 51, 93	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	The project is in the municipality of Ponce, which complies with the Puerto Rico State Implementation Plan as per EPA Green Book. The project is not located within a U.S. Environmental Protection Agency (USEPA) designated attainment area. Emissions associated with the proposed action are temporary and limited to the use of

<sup>1</sup> **Appendix C** shows the worksheets used to complete this section.

<b>Compliance Factors: Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6</b>	<b>Are formal compliance steps or mitigation required?</b>	<b>Compliance Determinations<sup>1</sup></b>
		construction equipment and will be well below the Federal General Conformity Rule the minimis thresholds. This project is in compliance with Clean Air Act.
Coastal Zone Management Coastal Zone Management Act, sections 307(c) & (d)	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	The project site is located more than a kilometer from the southern coast. <b>Appendix C</b> shows a figure with the location of the Coastal Zone. This project is in compliance with Coastal Zone Management Act.
Contamination and Toxic Substances 24 CFR Part 58.5(i)(2)	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	The Environmental Professional carried out a site visit. During the site visit, no evidence of toxic or contamination issues was observed. No sites were found that would have an adverse effect to the usage of the project activity, namely the Hotel. As per NEPAssist, five sites manage hazardous waste. These sites are shown in a table in <b>Appendix C</b> . This project is in compliance with Contamination and Toxic Substances Requirements.
Endangered Species Endangered Species Act of 1973, particularly section 7; 50 CFR Part 402	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	A species list from the Fish and Wildlife Service (FWS) was requested through the iPAC system. The list only included the Puerto Rican Boa. The FWS has prepared design guidelines that will be followed at the site to minimize any impact to the specie. If a Puerto Rican Boa is found in the project activity site, work shall cease until the Boa moves off on its own. If the Boa does not move off, the Contractor shall contact the DNER and ask for them to relocate the Boa. This project is in compliance with Endangered Species. A Blanket Letter certifying that no endangered species are located at the site is included in <b>Appendix C</b> .
Explosive and Flammable Hazards 24 CFR Part 51 Subpart C	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	The proposed project consists of the construction of a hotel. It will not increase residential units' densities at the area. The project includes the installation of fuel tanks to feed the emergency generator and fire pump. A Spill Prevention Control and countermeasures (SPCC) will be prepared during the project occupancy phase. The project will not include a bulk fuel storage facilities and refineries. This

<b>Compliance Factors: Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6</b>	<b>Are formal compliance steps or mitigation required?</b>	<b>Compliance Determinations<sup>1</sup></b>
Farmlands Protection Farmland Protection Policy Act of 1981, particularly sections 1504(b) and 1541; 7 CFR Part 658	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	<p>project is in compliance with Explosive and Flammable Hazards Requirements.</p> <p>The project area is undeveloped and is located at the Ponce Urban area. The Land Use Plan for the municipality of Ponce classifies the area as Urban Land. A copy of the Ponce Zoning Map is included. The farmlands map provided by the Puerto Rico Department of Housing shows that the area is in a prime farmland. See <b>Appendix C</b>. The area is located in an urban area and adjoins several developments like a Hospital, stores, medical offices, and clinics. As mentioned, the area is classified by the Municipality of Ponce as urban land. The site is "considered to be in Urban Development in accordance with 7 CFR 658.2(a) and is therefore exempt. This project is in compliance with Farmlands Protection Act.</p>
Floodplain Management Executive Order 11988, particularly section 2(a); 24 CFR Part 55	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	<p>The Advisory Base Flood Elevation (ABFE) map for the project area shows flood elevations that vary from 29.43 to 30.83 meters MSL. The site topographic map shows that the site elevations vary from 28.13 to 31.08 meters MSL. Sections to the northeast and to the southwest of the site are located at the 100 years floodplain. Puerto Rico Planning Board states that buildings located at floodplains could be constructed at the 100 years flood plain if the structures are located above the ABFE. The buildings of the proposed project will be constructed above ABFE. Copy of the ABFE map and topographic plan are included. The FEMA 8-steps decision-making process has been completed. See <b>Appendix C</b>. Public Notice required by Step 7 was published on August 18, 2023 by the Puerto Rico Housing Department. No comments were received as stated on DOH Certification included in <b>Appendix C</b>. This project complies with the Floodplain Management Executive Order.</p>

<b>Compliance Factors: Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6</b>	<b>Are formal compliance steps or mitigation required?</b>	<b>Compliance Determinations<sup>1</sup></b>
Historic Preservation National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	The State Historic Preservation Office (SHIPO) has evaluated the project and has determined that nevertheless two historic buildings exists at the area, the project will not cause any impact to them. <b>Appendix C</b> shows a copy of this determination. The project complies with the Historic Preservation National Historic Preservation Act.
Noise Abatement and Control Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	The project consists of constructing a 132 keys hotel in an urban area. No residential units are contemplated. This project is in compliance with Noise Abatement and Control Act.
Sole Source Aquifers Safe Drinking Water Act of 1974, as amended, particularly section 1424(e); 40 CFR Part 149	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	The Interactive map of the Sole Source Aquifer (SSA) provided through the EPA Webpage ( <a href="https://www.epa.gov/dwssa">https://www.epa.gov/dwssa</a> ) indicates that no SSA exists in Puerto Rico. Copy of the map section depicting the project area is included in <b>Appendix C</b> .  This project is in compliance with Sole Source Aquifers Act.
Wetlands Protection Executive Order 11990, particularly sections 2 and 5	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	The National Wetlands Inventory shows that the project is not located in areas classified as wetlands. <b>Appendix C</b> shows the wetlands map. The project is in compliance with Executive Order 11990.
Wild and Scenic Rivers Wild and Scenic Rivers Act of 1968, particularly section 7(b) and (c)	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	The National Wild and Scenic Rivers System map for Puerto Rico does not have any scenic or wild rivers in the project area. Copy of this map is included in <b>Appendix C</b> .  This project is in compliance with Wild and Scenic Rivers.

#### ENVIRONMENTAL JUSTICE

Compliance Factors: Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6	Are formal compliance steps or mitigation required?	Compliance Determinations <sup>1</sup>
Environmental Justice Executive Order 12898	<p style="text-align: center;">Yes    <input type="checkbox"/>    No    <input checked="" type="checkbox"/></p>	<p>The project site is in a low income or minority population area (according to the EPA's Environmental Justice Screening and Mapping Tool), but the project would not have any adverse impact or effect on the population. The project area is classified as Residential-Commercial. The proposed project is compatible with the site zoning and is surrounded by other commercial developments. No adverse environmental items have been identified with regards to the project activities. This project complies with Executive Order 12898.</p>

## 2.1 Environmental Assessment Factors

[24 CFR 58.40; Ref. 40 CFR 1508.8 &1508.27] Recorded below is the qualitative and quantitative significance of the effects of the proposal on the character, features and resources of the project area. Each factor has been evaluated and documented as appropriate and in proportion to its relevance to the proposed action. Verifiable source documentation has been provided and described in support of each determination, as appropriate. Credible, traceable and supportive source documentation for each authority has been provided. Where applicable, the necessary reviews or consultations have been completed and applicable permits of approvals have been obtained or noted. Citations, dates/names/titles of contacts, and page references are clear. Additional documentation is attached, as appropriate. **All conditions, attenuation or mitigation measures have been clearly identified.**

**Impact Codes:** Use an impact code from the following list to make the determination of impact for each factor.

- (1) Minor beneficial impact
- (2) No impact anticipated
- (3) Minor Adverse Impact – May require mitigation
- (4) Significant or potentially significant impact requiring avoidance or modification which may require an Environmental Impact Statement

<b>Environmental Assessment Factor</b>	<b>Impact Code</b>	<b>Impact Evaluation</b>
<b>LAND DEVELOPMENT</b>		
Conformance with Plans / Compatible Land Use and Zoning / Scale and Urban Design	2	The Puerto Rico Planning Board has classified the site under evaluation as R-C (Residential-Commercial). This classification allows the construction of a hotel. Construction permits should be obtained by the applicant and/or contractor from the appropriate department prior to construction activities.
Soil Suitability/ Slope/ Erosion/ Drainage/ Storm Water Runoff	2	The site has a flat topography discharging into the municipal separate storm sewer that discharges into de Bucaná river. The after-construction storm water run-off volume will be equal to the current in compliance with the standing regulations.
Hazards and Nuisances including Site Safety and Noise	2	<p>The proposed project consists of a 132 rooms hotel. This type of operation does not generate noise above the regulatory levels issued by the Department of Natural and Environmental Resources (DNER).</p> <p>Contractors will be required to provide health and safety plans and monitoring during construction. Noise levels will temporarily increase during construction; however, program activities will not elevate ambient noise levels long-term. Contractors will be required to comply with the applicable local noise ordinances. Noise impacts will be mitigated by restricting construction activities to daylight hours.</p> <p>Additionally, the project does not include housing to where inhabitants would be affected.</p>
Energy Consumption	2	As part of the project design low energy consumption equipment will be installed at the project. This includes LED illumination at the common areas and hotel rooms and solar panels. LUMA, the entity in charge of the electric distribution system has endorsed the project and provide the connection point. <b>Appendix B</b> includes copy of this letter.
<b>SOCIOECONOMIC</b>		
Employment and Income Patterns	1	The construction and operation of the proposed project will create hundreds of new employments. The commercial activity of the area will be positively benefited by the flow of the people staying at the hotel.
Demographic Character Changes, Displacement	2	For the development of the proposed project is not necessary to displace people. The project area is an undeveloped site surrounded by commercial, professional offices and a hospital.

<b>Environmental Assessment Factor</b>	<b>Impact Code</b>	<b>Impact Evaluation</b>
<b>COMMUNITY FACILITIES AND SERVICES</b>		
Educational and Cultural Facilities	1	The proposed project is a tourist development. Educational facilities at the municipality of Ponce and its adjoining municipalities will not be impacted by the project. The existing cultural facilities will be positively impacted with the visit of the tourists that will be staying at the new hotel.
Commercial Facilities	1	The existing commercial facilities will be positively impacted with the visit of the tourists that will be staying at the new hotel.
Health Care and Social Services	2	The project consists of the reconstruction of existing hotel facilities. Impact to the existing health care facilities and social services is not expected.
Solid Waste Disposal / Recycling	2	The operation of the proposed hotel will include the implementation of a recycling program. This program will reduce the quantity of solid wastes that can reach the sanitary landfills.  The proposed project may cause an increase in short term generation of solid waste during construction. All construction debris will be disposed of at the proper facilities for the debris type (i.e., construction waste).
Wastewater / Sanitary Sewers	2	The wastewater to be generated by the project will be directed to the existing wastewater treatment plant operated by PRASA. Copy of the project endorsement letters are included as <a href="#"><b>Appendix B</b></a> .
Water Supply	2	The potable water will be provided by a well authorized by the Department of Natural and Environmental Resources.
Public Safety - Police, Fire and Emergency Medical	2	The project consists of the construction of hotel facilities. It is not expected impact to these facilities.
Parks, Open Space and Recreation	2	These facilities could be positively impacted by the visit of the people staying at the proposed hotel.
Transportation and Accessibility	2	The access of the project is through a frontage road that runs parallel to State Road PR-14. PR-14 has two lanes in each direction road with enough capacity to manage the expected traffic increase.

<b>Environmental Assessment Factor</b>	<b>Impact Code</b>	<b>Impact Evaluation</b>
<b>NATURAL FEATURES</b>		
Unique Natural Features, Water Resources	2	The project site is an undeveloped tract of land surrounded by commercial developments. Bucaná river is located approximately 600 meters to the east.
Vegetation, Wildlife	2	The project area is covered by grass.
Climate Change	2	Based upon the NEPA and HUD assessments, the construction should not be affected by or have no effect on Climate Change.

## **2.2 Additional Studies Performed**

During the planning phase of the project, the following studies were carried out:

- ✓ Soil Study

## **2.3 Field Inspection**

Field inspection was carried out by CMA Architects & Engineers LLC Environmental Professional on April 25, 2022,

## **2.4 List of Sources, Agencies and Persons Consulted [40 CFR 1508.9(b)]**

The following agencies has been contacted:

- ✓ Puerto Rico Institute of Culture
- ✓ Permits Management Office
- ✓ Department of Natural and Environmental Department
- ✓ Puerto Rico Electric Power Authority
- ✓ Puerto Rico Aqueduct and Sewer Authority
- ✓ Puerto Rico Telecommunications Bureau
- ✓ Puerto Rico Solid Waste Management Authority
- ✓ Municipality of Ponce

**Appendix B** shows copy of these communications.

Other sources consulted includes:

- ✓ State Historic Preservation Office (SHPO). 2023. San Juan, Puerto Rico. Data collection conducted on March 13, 2023
- ✓ USEPA. 2022b. Sole Source Aquifer Map. Accessed March 1, 2023. Available at: <https://epa.maps.arcgis.com/apps/webappviewer/index.html?id=9ebb047ba3ec41ada1877155fe31356b>.

- ✓ USEPA. 2023a. Puerto Rico Nonattainment/Maintenance Status for Each County by Year for All Criteria Pollutants. USEPA Green Book. Accessed January 31, 2023. Available at: [https://www3.epa.gov/airquality/greenbook/anayo\\_pr.html](https://www3.epa.gov/airquality/greenbook/anayo_pr.html).
- ✓ USEPA. 2023b. EJScreen: Environmental Justice Screening and Mapping Tool. Accessed April 3, 2023. Available at: <https://www.epa.gov/ejscreen/download-ejscreen-data>.
- ✓ U.S. Fish and Wildlife Service (USFWS). 2019. Coastal Barrier Resources System. Accessed January 31, 2023. Available at: <https://www.fws.gov/CBRA/Maps/Mapper.html>.
- ✓ USFWS. 2023a. Information for Planning and Consultation (IPaC). Accessed April 3, 2023. Available at: <https://ipac.ecosphere.fws.gov/location/index>.
- ✓ USFWS. 2023b. Critical Habitat for Threatened & Endangered Species. Accessed April 3, 2023. Available at: <https://fws.maps.arcgis.com/home/webmap/viewer.html?webmap=9d8de5e265ad4fe09893cf75b8dbfb77>.
- ✓ USFWS. 2023c. National Wetlands Inventory Surface Waters and Wetlands Mapper. Accessed April 6, 2023. Available at: <https://fwsprimary.wim.usgs.gov/wetlands/apps/wetlands-mapper/>.
- ✓ U.S. Forest Service. 2022. National Wild and Scenic River Segments. Accessed January 31, 2023. Available at: <https://www.rivers.gov/mapping-gis.php>; Wild & Scenic Rivers | US Forest Service (usda.gov).
- ✓ U.S. Geological Survey (USGS). 2022. Concentration of Landslides caused by Hurricane Maria, Puerto Rico. Accessed March 1, 2023. Available at: U.S. Landslide Inventory (arcgis.com).

## **2.5 List of Permits Obtained**

The project is under the planning phase. No construction permits have been submitted nor approved.

## **2.6 Public Outreach [24 CFR 58.43]**

As part of the planning phase, a Construction Consultation was submitted to the Permits Management Office (OGPe, per its acronym in Spanish). The Construction Consultation evaluation process includes a Public Outreach element. A sign was installed at the project site to inform the public about the project and providing contact information if any comment arises. Copy of the sign installation certification is included as **Appendix D**.

Project owner will disseminate or publish a FONSI notice at the same time it disseminates or publishes the NOI/RROF required by § 58.70. If the notices are released as a combined notice, the combined notice shall:

- ✓ Clearly indicate that it is intended to meet two separate procedural requirements; and
- ✓ Advise the public to specify in their comments which “notice” their comments address.

## **2.7 Cumulative Impact Analysis [24 CFR 58.32]:**

Cumulative impacts result from the incremental impact of the proposed action when added to other past, present and reasonably foreseeable future actions, regardless of what entity (government or private) undertakes such other actions. The analysis if cumulative impacts include:

- ✓ Topography
- ✓ Geology
- ✓ Soils
- ✓ Air quality
- ✓ Archaeology
- ✓ FEMA flood zones
- ✓ Infrastructure

Cumulative impacts to those factors is not expected to be significant. The following accumulative impacts are expected.

- ✓ The project will impermeabilize the area and could generate an increase of the storm water flow that will reach the Bucaná river. To minimize this impact, the project design will be in compliance with Planning Board Regulation 13 to maintain the current storm water flow into the river.
- ✓ The construction activities should increase that current number of sediments that reach the Bucaná River. To minimize this impact, erosion and sedimentation control measures will be implemented during the construction phase. The areas that will be exposed will be seeded with grass and, landscape treatment.
- ✓ The construction and location of the project are not expected to have a negative impact on environmental resources. None of the environmental assessment factors or the regulations reviewed in the checklist above resulted in negative environmental impacts or the need for mitigation. No other plan or ongoing projects were identified in the immediate vicinity of the project that could contribute to cumulative impacts of environmental resources.

## **2.8 Alternatives [24 CFR 58.40(e); 40 CFR 1508.9]**

### **2.8.1 Preferred Alternative**

The proposed project will provide an adequate place for medical tourism for people who has family members at the hospital and need a place to stay near them. Currently, there are no place that can provide that service for the San Lucas Hospital, Veterans Hospital (under construction) Cancer Clinic and Ophthalmic Clinic located adjacent to the project. Also, there are several offices buildings that can use the proposed hotel to carry out their meetings in a place near their offices.

Also, the people staying at the hotel will sponsor the retail stores and restaurants at the area increasing the commercial activity. The hotel operation will provide additional jobs for the residents of Ponce. Based on the uses that surrounds the project area, we understand that the construction of an Hotel is the best option for the site.

## 2.8.2 Alternative 1

Project site is an area where different types of projects could be developed. The area could be developed for the construction of a residential development (single family or multi-family). This type of development would have in their surroundings medical offices, hospitals and commercial areas that could be used is surrounded by residential and commercial projects.

The site could also be used for the development of a commercial building. Due to the uses of its surroundings, the area could be used for the construction of medical services offices such as therapists, pharmacies and medical offices that can provide supplementary services to the surrounding hospitals and clinics.

These alternatives could provide an adequate use of the property under evaluation but were discarded due to the government benefits that could be received for the development of an Hotel. As stated before, the proposed Hotel will provide a supplementary service to the existing development at the area such as meeting areas, and an adequate area for medical tourism.

## 2.8.3 No Action Alternative [24 CFR 58.40(e)]:

The hospitals and clinics at the property under study surroundings needs the supplementary services that will be provided by the proposed project. Patients' relatives could stay in an adequate place during their stay at the hospital. This will bring tranquility to them and will help to their recovery. Also, the meeting rooms that will be part of the Hotel will provide another adequate area for conferences, meetings and medical conventions and the local doctors will not need to abandon their practices for long terms.

These benefits will not be obtained if the proposed project is not developed.

## 3.0 Summary of Findings and Conclusions

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### 3.1 Mitigation Measures and Conditions [40 CFR 1505.2(c)]

Agency	Mitigation Measure
Department of Natural and Environmental Resources / Environmental Protection Agency	Implement control measures to prevent erosion of the land that is exposed. Obtain approval of the Unique Incidental Permit and implement the measures established in the Plan for the Control of Erosion and Sedimentation according to the requirements of the DNER, as well as in the Plan for the Control of Pollution of Runoff Waters according to the requirements of the EPA.
Department of Natural and Environmental Resources	During the design phase, the corresponding soil/geotechnical studies will be carried out to determine their conditions and present recommendations, if any, to prevent landslides and settlement during the construction and operation phase of the project.
Department of Natural and Environmental Resources	Use plastic or canvas covers on vehicles transporting material from the earth's crust to avoid fugitive dust emissions. In addition to sprinkling water with the necessary regularity on taxiways that are not paved. Obtain from the DNER an Emission Sources Permit.
Department of Natural and Environmental Resources	During construction, contractors must implement a Reuse and Recycling Plan approved by the DNER.
<b>Endangered Species Endangered Species Act of 1973, particularly section 7; 50 CFR Part 402</b>	The Mitigation Measures or Conditions for Compliance Factor: Endangered Species will be tied to the adoption of the Programmatic Biological Opinion (PBO) by the Department of Housing and what that implies
Water Supply	As established in HUD's regulations, grant recipients and their partners are prohibited from committing or spending HUD or non-HUD funds on any activity that could have an adverse environmental impact.  Although some activities of the project will be built using private funds as elements of the project, the landowner and/or the contractor will contact the DNER before constructing these elements to determine the required permits and authorizations.

## 4.0 Determination

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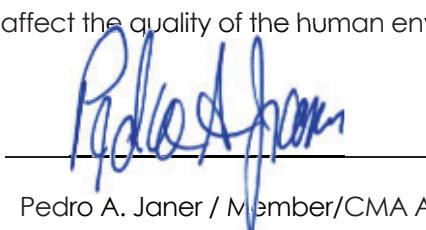
**Finding of No Significant Impact** [24 CFR 58.40(g)(1); 40 CFR 1508.27]

The project will not result in a significant impact on the quality of the human environment.

**Finding of Significant Impact** [24 CFR 58.40(g)(2); 40 CFR 1508.27]

The project may significantly affect the quality of the human environment.

Preparer Signature:



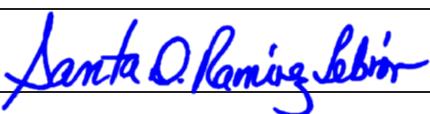
August 30, 2023

Date:

Name/Title/Organization:

Pedro A. Janer / Member/CMA Architects & Engineers LLC

Certifying Officer Signature



Date: September 12, 2023

Name/Title:

Santa D. Ramírez Lebrón / Permits and Environmental Compliance Specialist

This original, signed document and related supporting material must be retained on file by the Responsible Entity in an Environmental Review Record (ERR) for the activity/project (ref: 24 CFR Part 58.38) and in accordance with recordkeeping requirements for the HUD program(s).

## **Appendix A – PRASA Recommendations**



## Recomendaciones

One Plaza Business Center

### Datos de Localización

De acuerdo a la información suministrada se propone una actividad: Privada en:

#### Dirección Física

KM.HM 3.7 CARR 14 BO MACHUELO  
ABAJO

Ponce Puerto Rico, 00716

#### Número(s) de Catastro

365-000-008-45

#### Calificación

Distrito(s) de Calificación: EV.4 (83%), SREP.N (8%),

Distrito en el Mapa de Inundabilidad: X

Tipo de Suelo: CyB (52.0%), Sa (48.0%)

#### Dueño

Fleming Hotel LLC

#### Certificado por

Arquitecto: Edgardo Perez, Lic. No. 12081

#### Cabida

Cabida según escritura: 21255 metros cuadrados

### Casos de Referencia

2020-349264-SRI-039932

### Infraestructura

La Autoridad de Acueductos y Alcantarillado mediante carta del 19 de abril de 2021 emite sus recomendaciones y/o requerimientos para el Proyecto propuesto.

### Condiciones Especiales

NINGUNA

### Condiciones Generales

Esta recomendación es solamente aplicable a la situación de hechos y los datos según presentados y evaluados en el caso. La OGPe se reserva el derecho de reevaluar, variar o modificar el mismo en cualquier momento anterior a la emisión del permiso o la acción administrativa correspondiente por parte de la agencia solicitante o proponente cuando surja nueva información oficial específica estableciendo que el derecho aplicable o las condiciones ambientales en el predio han cambiado sustancialmente, o cuando la recomendación original se emitió bajo premisas falsas o fraudulentas.

Las vigencias de las diferentes agencias del proceso de recomendación serán las establecidas en los comunicados que estas emiten conforme a sus reglamentos.

### Firma / Sellos

#### Fecha de Expedición:

19/APR/2021



*Ing. Gabriel Hernández Rodríguez*





GOBIERNO DE PUERTO RICO

Departamento de Desarrollo Económico y Comercio  
Oficina de Gerencia de Permisos

Número de Caso:

2020-349264-SRI-041072

## Recomendaciones

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One Plaza Business Center

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***Secretario Auxiliar***





# GOBIERNO DE PUERTO RICO

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## Autoridad de Acueductos y Alcantarillados

19 de abril de 2021

Ing. Gabriel Hernández Rodríguez  
Secretario Auxiliar  
Oficina de Gerencia de Permisos (OGPe)  
PO BOX 41179  
San Juan, Puerto Rico 00940-1179

Ingeniero Hernández Rodríguez:

**AAA-RS-21-58-0003; PONCE– ONE PLAZA BUSINESS CENTER  
CARR. PR 14 KM. 3.7  
220 UNIDADES EQUIVALENTES  
OGPE: 2020-349264-SRI-041072**

Nos referimos al proyecto de epígrafe, sometido ante nuestra consideración para que se informe en cuanto a las facilidades de agua y alcantarillado sanitario existentes, que puedan servir al mismo. De acuerdo al memorial explicativo la solicitud consiste en la petición de reconsideración a la comunicación del 12 de febrero de 2021. El proponente presenta alternativas para dividir el desarrollo en etapas e incluir varios mecanismos para de esta forma minimizar el impacto del desarrollo al sistema de agua potable.

### **Sistema de Acueductos**

De acuerdo a la evaluación realizada por esta Autoridad, el desarrollo propuesto está localizado en el área de servicio correspondiente a la Sistema Ponce Urbano final Carr. PR 14 y el Pozo Arjona. Actualmente este sistema opera a su máxima capacidad, tiene problemas de intermitencia y bajas presiones lo que limita añadir nuevas unidades al mismo. Dentro de esa área de servicio la AAA se encuentra realizando análisis, estudios del sistema y ajustes operacionales para optimización del mismo, así como a la espera de la construcción de mejoras requeridas a desarrollos en el área del proyecto. Una vez concluidos este análisis que se espera sea para principios del mes de mayo se podrá indicar que alternativas de conexión para el proyecto

### **Sistema de Alcantarillado Sanitario**

El servicio para el alcantarillado sanitario podrá ser prestado mediante conexión en la troncal de 24" localizada en la Carr. PR 14 frente al desarrollo.

Será necesario que el desarrollador del proyecto pague a esta Autoridad, la cantidad de quinientos (\$500.00) dólares por cada unidad de vivienda o su equivalente a conectarse, para hacer uso del sistema de alcantarillado sanitario existente.

Antes de iniciar el proceso de construcción, deberán radicar a través de la Oficina de Gerencia de Permisos (OGPe) los planos de las obras de alcantarillado sanitario para la aprobación de la AAA, los cuales deberán estar sellados y firmados por el profesional responsable de los mismos.

Estos incluyen, según aplique al caso, planos que contemplen:

- Sistemas de distribución de agua y su conexión a los sistemas de la AAA



**Proyectos Públicos y Privados SUR:** Edificio Centro Caribe #2053 Ave. Ponce By Pass, Suite 105, Ponce, PR 00717-1308

- Relocalización o extensión de obras de acueducto
- Obras Extramuros e Instalaciones para ser transferidas a la AAA para su operación

Deberá cumplirse con los requisitos establecidos en el *Reglamento Conjunto de Permisos para Obras de Construcción y Usos de Terrenos*.

Los planos deberán ser sometidos y aprobados por esta Autoridad, de acuerdo al Reglamento para la Certificación de Planos de Construcción, antes de proceder con la construcción de las obras.

Al someter el plano final para aprobación, se deberá cumplir también con los siguientes requisitos:

1. Someter los documentos de certificación del ingeniero o arquitecto debidamente cumplimentados
  - a. AAA-972 (Solicitud de Aprobación de Planos de Construcción)
  - b. AAA-1294 (Certificación de Ingeniero o Arquitecto)
2. Someter un estimado desglosado y por partida de las obras de acueducto y alcantarillado sanitario a instalarse en el proyecto.

*El cómputo final de las unidades equivalentes estará basado en lo que, al presentar los planos hidráulicos, resulte ser la demanda requerida para el proyecto propuesto. Si las unidades equivalentes, resultan ser diferente a lo contemplado para fines de esta evaluación, esta Autoridad se reserva el derecho de modificar los términos de esta recomendación.*

Estas recomendaciones estarán vigentes por el término de dos (2) años, a partir de la fecha de esta comunicación, al cabo del cual, de no haberse sometido planos de construcción de las obras de acueducto y alcantarillado sanitario , el proyecto deberá someterse nuevamente ante la consideración de esta Autoridad.

Cordialmente,



Ing. Ausberto Santisteban Rodríguez, PE  
Gerente Técnico

ASR

c: expediente, Archivo de Lectura, Director de Área, Agencia Comercial, Desarrollador

## **Appendix B – LUMA Recommendations**



## UTILITY TRANSFORMATION - DISTRIBUTION ENGINEERING REPORT

24 de marzo de 2022

Gerente Iliana Garay Oh  
 Gerente Interina de Edificabilidad  
 Y Códigos e Infraestructura  
 PO Box 41118  
 Santurce, PR 00940

Estimada gerente Garay:

<b>PROYECTO</b>	:	<b>ONE PLAZA BUSINESS CENTER</b>
<b>DUEÑO</b>	:	<b>FLEMING HOTEL LLC</b>
<b>CARRETERA</b>	:	<b>CARR 14 KM.HM 3.7</b>
<b>BARRIO</b>	:	<b>MACHUELO ABAJO</b>
<b>PUEBLO</b>	:	<b>PONCE</b>
<b>CASO OGPE</b>	:	<b>2020-349264-SRI-048332</b>
<b>CASO LUMA</b>	:	<b>02-3-244A</b>
<b>WR</b>	:	<b>5948858</b>
<b>CARGA</b>	:	<b>2050 KVA</b>

Nos referimos a su solicitud de información, con la cual nos incluía el plano de situación y localización del proyecto de referencia. Para punto de conexión y condiciones para los planos de diseño requeridos, refiérase al croquis y a las notas que se incluyen en este informe:

1. Esta evaluación cancela y sustituye cualquier otra evaluación anterior.
2. Deberá presentar plano de diseño para endoso por certificación y la Certificación de Planos de Construcción Eléctrica para la distribución eléctrica correspondiente firmados digitalmente mediante OGPe. Ver Comunicado Técnico 18-01 de la Autoridad de Energía Eléctrica (AEE) del 29 de junio de 2018 para más detalles al respecto. En adición, los documentos a radicarse deben estar acompañados por la Estampilla Digital Especial según se describe en el Comunicado Técnico 17-01 del 31 de enero de 2017.
3. El diseñador deberá leer y entender este informe; de haber dudas relacionadas al mismo, debe aclararlas con el Ingeniero Supervisor de la Oficina de Ingeniería de Distribución y Diseño de la Región de Ponce antes de radicar el plano para endoso. En adición, debe analizar y estudiar este informe e incluir y conformar parte del plano las notas pertinentes que se especifican como "Incluir nota al efecto en los planos de diseño".
4. El diseñador debe presentar cómputo de carga, tensión y flecha para los sistemas aéreos, y cómputos de caída de voltaje para diseños de sistemas soterrados.

5. En el sector existen líneas eléctricas soterradas trifásicas a un voltaje de **13.2 KV, 3 conductores calibre número 4/0 CU XLPE 15 KV.**
6. El voltaje de alimentación será de **13.2 KV. (Alimentador Núm. 5004-07).**
7. El dueño del proyecto aportará la cantidad de **\$ 45,100.00**; el pago será mediante efectivo, cheque certificado o giro en la Oficina Comercial de la LUMA más cercana, para realizar mejoras al sistema eléctrico. Deberá solicitar un referido de pago, y una vez realizado el pago, deberá someter copia de la evidencia de este a la Oficina de Ingeniería de la Región Ponce con tres meses de anticipación al comienzo de los trabajos. Incluir nota al efecto en los planos de diseño.
8. La aportación antes indicada está basada en 2050 KVA de carga total propuesta de acuerdo con la Solicitud de Recomendación sometida el 12 de octubre de 2021. La aportación económica aplicable y el costo estimado por concepto de trabajos a realizarse por LUMA especificados en este informe se acreditarán a las cuentas **CIG-419.06 y CIS-419.05** respectivamente. El pago deberá realizarse en la oficina comercial más cercana con tres meses de anticipación al comienzo del proyecto y podrá ser en efectivo, giro o cheque certificado. Incluir nota al efecto en los planos de diseño.
9. El proyecto

- a. se conectará del “manhole” MH-4 ubicado en la marginal de la carretera #14 según se indica en el croquis anejado con esta evaluación.

Las Coordenadas NAD 83 (en metros) correspondientes al punto de conexión para el proyecto son: **X: 183106.45, Y: 221882.73.** Coordinar punto exacto con el Gerente de Distrito de Ponce, y detalles y costos de conexión con la Oficina de Ingeniería de Distribución y Diseño de la Región de Ponce.

10. Deberá identificar el “Punto de Entrega” en los planos de diseño, según el reglamento complementario al Código Eléctrico Nacional y en el Manual de Términos y Condiciones Generales para el suministro de energía eléctrica. El punto de entrega es el punto donde se unen los conductores de la instalación a las líneas o sistema de LUMA. No se trasferirá a LUMA la infraestructura eléctrica desde ese punto. El servicio que se deriva del mismo es considerado como exclusivo y privado, por lo que el mantenimiento, reparación o reemplazo del sistema es responsabilidad del dueño o administrador del proyecto.
11. Toda construcción de líneas de distribución en el desarrollo de nuevas urbanizaciones, centros y áreas comerciales, industriales y toda lotificación

deberá realizarse de forma SOTERRADA. Detalles sobre el particular se estipulan en el COMUNICADO 12-01. Cualquier excepción a esta regla deberá ser solicitada por escrito.

12. Todas las tomas de servicio derivadas del sistema de distribución primaria y secundaria se tienen que realizar de forma soterrada.
13. Para servir el proyecto, el dueño realizará los siguientes trabajos:
  - a. Será responsable de extender la toma trifásica soterrada requerida desde el punto de conexión hasta el proyecto y de conseguir los permisos y servidumbres correspondientes, de parte de los propietarios o agencias afectadas.

Incluir nota al efecto en los planos de diseño.

14. El dueño deberá tomar las debidas precauciones, utilizar equipo protector y seguir las reglas de seguridad necesarias al trabajar cerca de líneas eléctricas energizadas. Deberá coordinar con el Gerente de Distrito de Ponce la desconexión de energía en las líneas vivas cuando la proximidad de los trabajos a éstas sea de alto riesgo y exposición. Deberá coordinar con la LUMA la instalación de cubierta aislante en conductores energizados cuando sea necesario.
15. Para servir el proyecto, LUMA realizará los siguientes trabajos con cargos al dueño. Incluir nota al efecto en los planos de diseño:
  - a. Realizará las operaciones que sean necesarias, tales como desenergizar el “manhole”, instalar barrerar protectores aislativas dentro del “manhole”, etc. para que el dueño del proyecto puede extender su toma de servicio primario desde el “manhole” hasta la subestación privada.
  - b. Conectará el proyecto en el punto de conexión asignado.

Deberá coordinar detalles y costos de estos trabajos con la Oficina de Ingeniería de Distribución y Diseño de la Región de Ponce por lo que, en su momento, deberá formalizar la solicitud del estimado.

16. El dueño del proyecto, una vez sea endosado el plano de diseño, solicitará la preparación del estimado de los trabajos descritos en el inciso anterior. Deberá solicitar un referido de pago, para realizar las mejoras. Una vez realizado el pago, deberá someter copia de la evidencia de este a la Oficina de Ingeniería de Distribución y Diseño de la Región de Ponce, con tres meses

de anticipación al comienzo de los trabajos. Incluir nota al efecto en los planos de diseño.

17. Si este proyecto contempla instalar una subestación en la azotea del edificio u otro nivel sobre alguna estructura distinta al suelo, deberá someter una certificación estructural del edificio o estructura donde indique que éste puede sostener dicha subestación. Para más detalles refiérase al Reglamento Complementario al Código Eléctrico Nacional de la AEE en su Sección IX, Artículo B, inciso 1-t.
18. Para todo servicio secundario de uso exclusivo y lotificaciones, el dueño del proyecto proveerá todos los materiales incluyendo el transformador. Incluir nota a tales efectos en los planos de diseño. Coordinar detalles y costos de estos trabajos con la Oficina de Ingeniería de Distribución y Diseño de la Región de Ponce.
19. Todo transformador de distribución a ser conectado al sistema de LUMA deberá ser diseñado y construido con características de pérdidas mejoradas, y los niveles de eficiencia mínimos que establece el Departamento de Energía de Estados Unidos (DOE, por sus siglas en inglés), y descritos en el Comunicado 15-03, "Revisión de parámetros para transformadores según reglamentación del Departamento de Energía Federal (DOE)", del 30 de septiembre de 2015.
20. El diseñador debe asegurarse que las especificaciones de la base del metro contador cumplan con el Reglamento Complementario al Código Eléctrico Nacional de la AEE en su Sección IV, Artículo K y los comunicados vigentes. LUMA seleccionará el tipo de metro o contador a ser instalado en este proyecto de acuerdo con el servicio solicitado y a su disponibilidad en los almacenes. El contratista deberá entregar al Inspector designado por LUMA las especificaciones y literatura de la base del metro contador antes de iniciar los trabajos de construcción. Incluir nota a tales efectos en los planos de diseño.
21. Si este proyecto requiere la instalación de medición secundaria o primaria para uno o más servicios con tarifa al por mayor, el diseñador del sistema eléctrico previo al endoso de los planos se tiene que comunicar con el Ing. Jesús M López Argüello [[Jesus.LopezArguello@lumapr.com](mailto:Jesus.LopezArguello@lumapr.com)], Gerente de Estándares y Procedimiento de LUMA para coordinar el tipo de medición y los equipos que utilizarán así como la ubicación de estos, según Comunicado 13-05. Además, tienen que incluir una nota en los planos de diseño que indique lo siguiente:

*Este proyecto requiere contrato de cuentas al por mayor, el cual es requisito que se firme previo a la energización del proyecto. El tipo de medición, los*

*equipos a utilizarse y la ubicación del equipo de medición fue coordinada con el Gerente de Estándares y Procedimiento / Medición AMI de LUMA.*

22. Será responsabilidad del diseñador del proyecto indicar la localización exacta del proyecto, ilustrar las líneas eléctricas existentes y coordinar la reubicación de líneas eléctricas.
23. El diseño deberá mostrar las líneas eléctricas de distribución y/o transmisión georeferenciadas y respetar las servidumbres de paso de aquellas que pasen por el proyecto. En caso de la construcción de nuevas líneas eléctricas que requieran servidumbre deberá incluir en el plano de diseño la ubicación exacta, su ancho y una leyenda que describa la misma en conjunto con la tabla de mensura certificada por un agrimensor o ingeniero licenciado inscrito en el registro permanente de agrimensura (RPA), autorizado a ejercer la profesión de la agrimensura en Puerto Rico (Secc. IV, Art. C – 1j del Reglamento de Servidumbres). En adición, deberá indicar claramente los límites del proyecto, los colindantes y propietarios afectados.
24. Será responsabilidad del dueño del proyecto obtener y gestionar todos los endosos de las agencias reguladoras tales como:
  - a. Departamento de Recursos Naturales y Ambientales (DRNA) - Declaración de Impacto Ambiental (DIA),
  - b. Instituto de Cultura Puertorriqueña - División de Permisos Arqueológicos,
  - c. Cuerpo de Ingenieros de Estados Unidos,
  - d. Departamento de Transportación y Obras Públicas Estatal o Municipal,
  - e. Junta de Planificación,
  - f. Oficina de Gerencia y Permisos (OGPe),
  - g. Otras agencias gubernamentales, federales y privadas requeridos para el desarrollo del proyecto.
25. Es responsabilidad del diseñador y el desarrollador cumplir con los siguientes Reglamentos y Comunicados Técnicos de la AEE / LUMA:
  - a. Reglamento conjunto: "Reglamento conjunto para la evaluación y expedición de permisos relacionados al desarrollo y uso de terrenos" del 24 de marzo de 2015.
  - b. 07-02 "Pruebas a cables soterrados nuevos y sus accesorios en proyectos privados" del 29 de junio de 2007

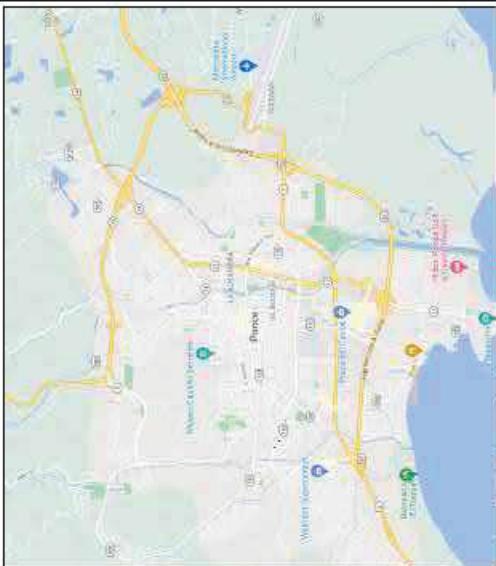
- c. 08-09 "Documentos requeridos por la AEE para el desarrollo de proyectos de construcción eléctrica" del 8 de diciembre de 2008
  - d. 09-03 "Sello y notas generales para planos a presentarse para endoso de la AEE" del 4 de mayo de 2009
  - e. 12-01 "Política pública para la construcción de sistemas eléctricos" del 8 de junio de 2012
  - f. 13-02 "Criterios de diseño para sistemas eléctricos aéreos de transmisión y distribución" del 22 de agosto de 2013
  - g. 13-03 "Bases de hormigón para postes de líneas eléctricas" del 22 de agosto de 2013
  - h. 15-01 "Documentos requeridos para la evaluación y endoso de proyectos de construcción eléctrica" del 18 de junio de 2015
  - i. 15-02 "Postes para sistemas de distribución eléctrica primaria" del 2 de septiembre de 2015
  - j. 15-04 "Instalaciones bajo líneas de distribución eléctrica" del 13 de octubre de 2015 (Revisado por Comunicado 16-02)
  - k. 18-01 "Revisión del proceso para la evaluación y endoso de proyectos de construcción eléctrica" del 29 de junio de 2018
26. Esta evaluación del punto de conexión no constituye una revisión del plano de diseño. El diseñador es responsable de cumplir con los códigos, reglamentos, manuales, estándares y normas aplicables vigentes para los sistemas eléctricos en Puerto Rico. Además, deberá cumplir con los reglamentos de ordenación de la infraestructura en el espacio público (Reglamento de Planificación Número 22), según exige la Oficina de Gerencia de Permisos (OGPe). Los sistemas de distribución y transmisión a desarrollarse en estas zonas deberán seguir las guías establecidas por este reglamento. Incluir nota al efecto en los planos de diseño.
27. El dueño del proyecto o su representante deberá notificarle a la Oficina de Ingeniería de Distribución y Diseño de la Región de Ponce el comienzo de la obra posterior al endoso de los planos y previo a los trabajos eléctricos del proyecto para la requerida inspección, aprobación y coordinación necesaria. Incluir nota al efecto en los planos de diseño.

28. Las aportaciones y pagos por concepto de trabajos a realizarse por LUMA, especificados en este informe, deberán realizarse con tres meses de anticipación al comienzo del proyecto.
29. Incluimos como parte de esta evaluación croquis con información gráfica sobre facilidades eléctricas.
30. Esta evaluación caduca a los dos años de su fecha de emisión.

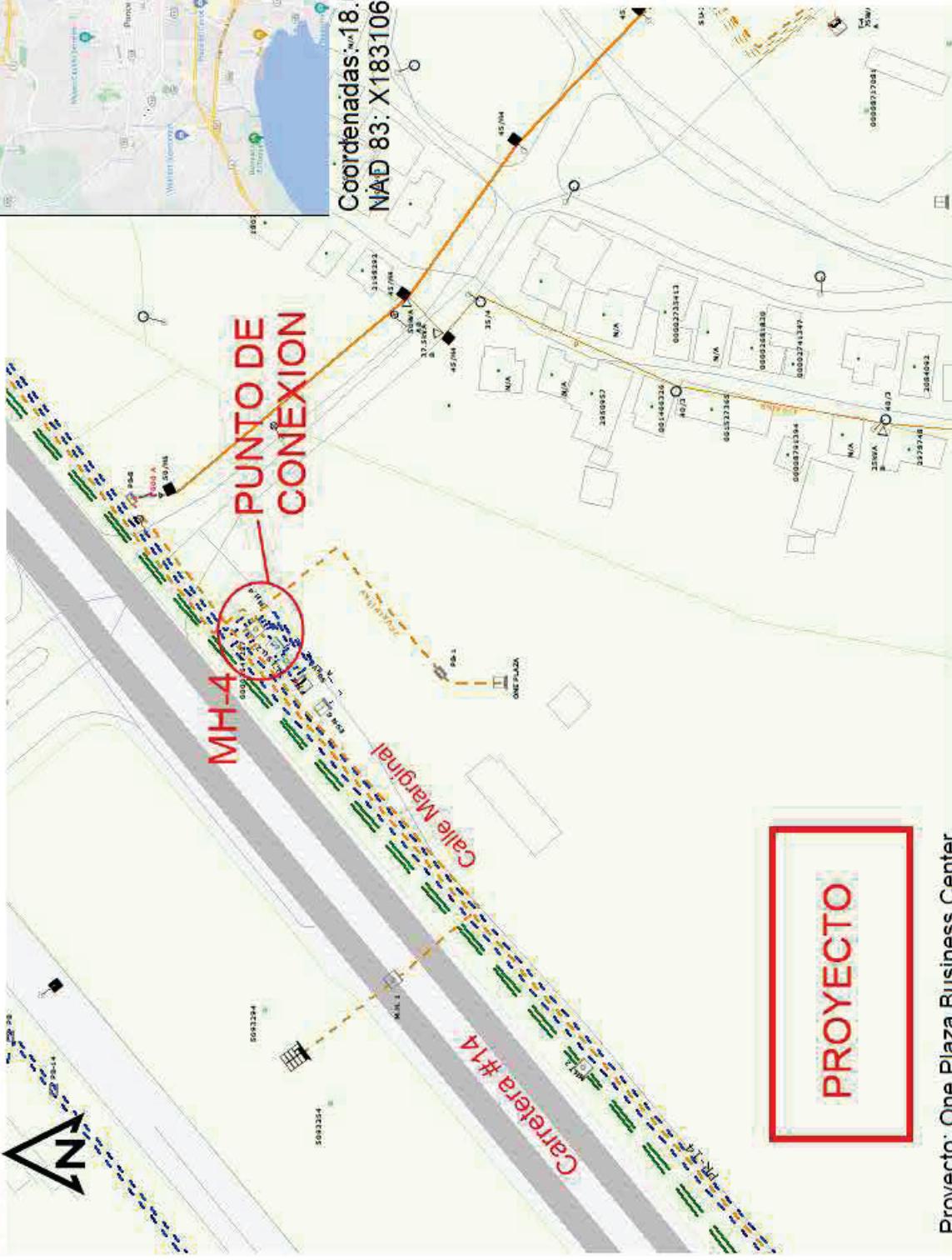
Cordialmente,



Ing. Carlos A. Ramos Robles  
Ingeniería de Distribución y Diseño – Región Ponce



Coordenadas: 18.030978, -66.592876  
NAD 83: X183106.45, Y221882.73



Proyecto: One Plaza Business Center  
Localización: Carr 14 KM.HM 3.7, Bo. Machuelo Abajo, Ponce  
AEE Número: 02-3-244A Carga: 2050kVA  
Caso: 2020-349264-SRI-048332

## **Appendix C – HUD Worksheets**



**U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT**  
WASHINGTON, DC 20410-1000

This Worksheet was designed to be used by those “Partners” (including Public Housing Authorities, consultants, contractors, and nonprofits) who assist Responsible Entities and HUD in preparing environmental reviews, but legally cannot take full responsibilities for these reviews themselves. Responsible Entities and HUD should use the RE/HUD version of the Worksheet.

## Airport Hazards (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/airport-hazards>

- 1. To ensure compatible land use development, you must determine your site’s proximity to civil and military airports. Is your project within 15,000 feet of a military airport or 2,500 feet of a civilian airport?**

No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide a map showing that the site is not within the applicable distances to a military or civilian airport.*

Yes → *Continue to Question 2.*

- 2. Is your project located within a Runway Potential Zone/Clear Zone (RPZ/CZ) or Accident Potential Zone (APZ)?**

Yes, project is in an APZ → *Continue to Question 3.*

Yes, project is an RPZ/CZ → *Project cannot proceed at this location.*

No, project is not within an APZ or RPZ/CZ

*→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Continue to the Worksheet Summary below. Provide a map showing that the site is not within either zone.*

- 3. Is the project in conformance with DOD guidelines for APZ?**

Yes, project is consistent with DOD guidelines without further action.

*→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide any documentation supporting this determination.*

No, the project cannot be brought into conformance with DOD guidelines and has not been approved. → *Project cannot proceed at this location.*

**If mitigation measures have been or will be taken, explain in detail the proposed measures that must be implemented to mitigate for the impact or effect, including the timeline for implementation.**

Click here to enter text.

→ Work with the RE/HUD to develop mitigation measures. Continue to the Worksheet Summary below. Provide any documentation supporting this determination.

### **Worksheet Summary**

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

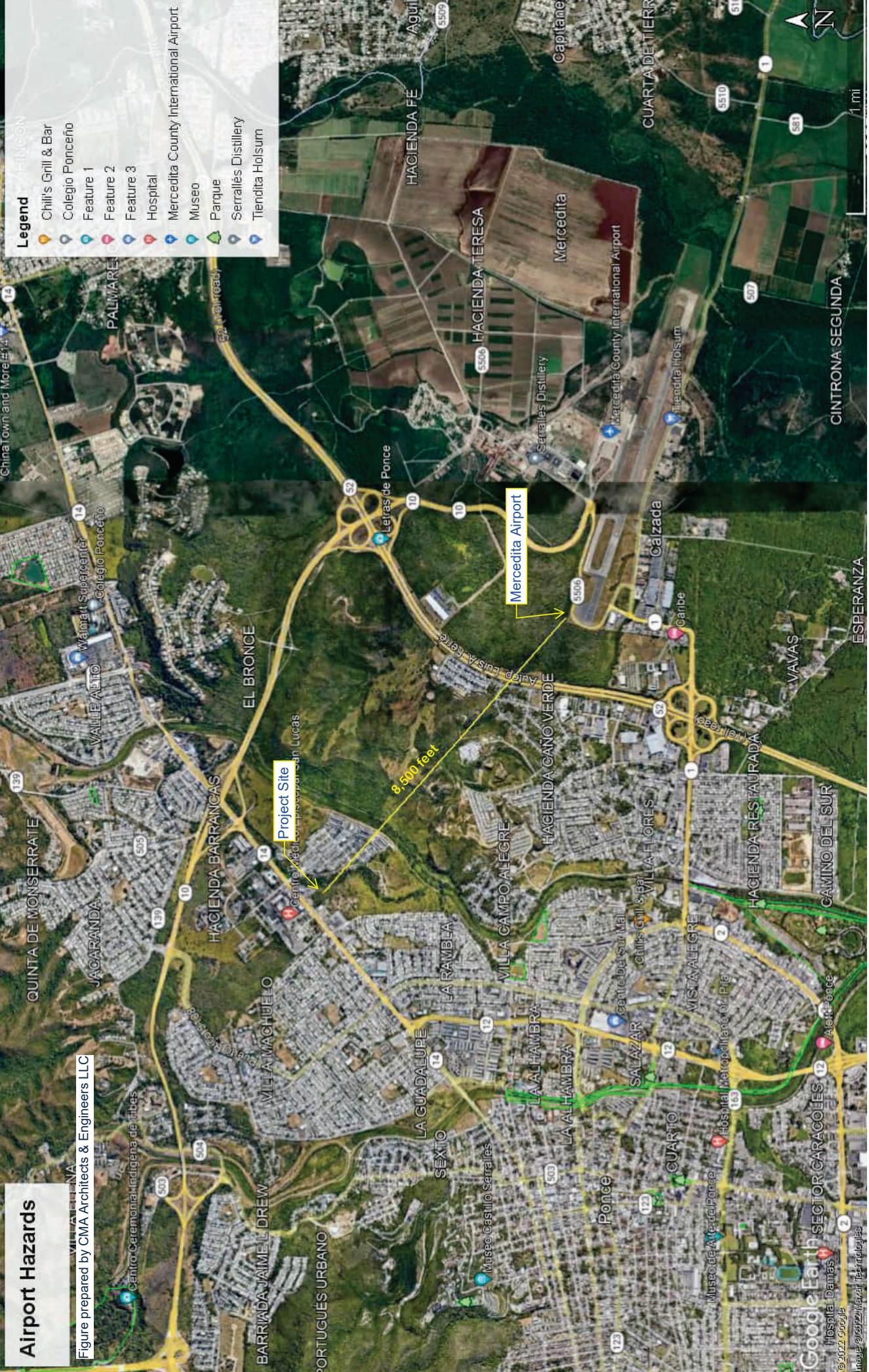
- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

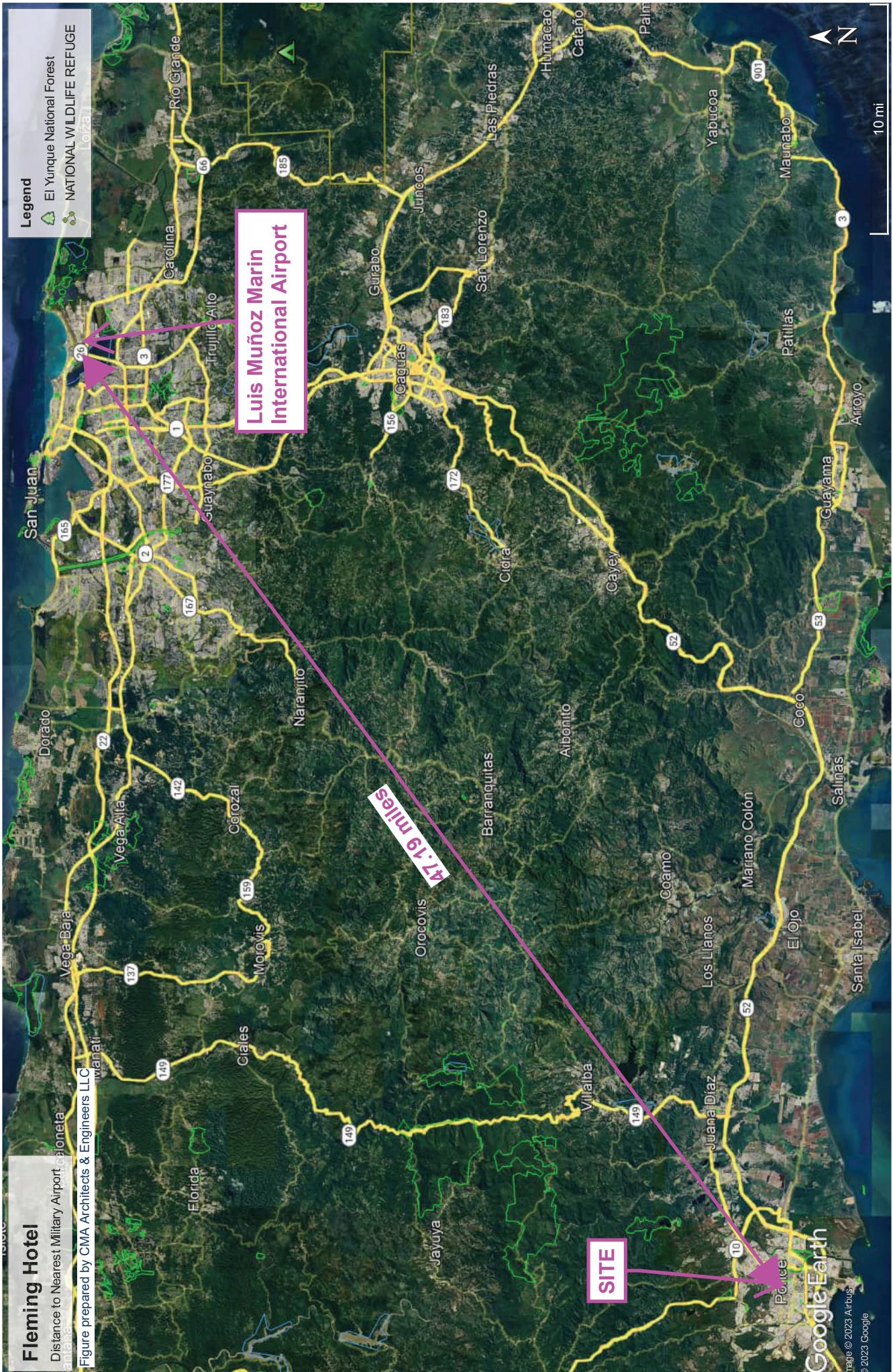
### **Include all documentation supporting your findings in your submission to HUD.**

The nearest airport to the project area is the Mercedita Airport. It is a commercial airport located 8,500 feet to the southeast. The nearest military airport is located 47.19 miles northeast of the project site. It is known as Luis Muñoz Marin International Airport. We include aerial photos depicting the project area and the distance between the project and these airports.

## Airport Hazards

Figure prepared by CMA Architects & Engineers LLC







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## **Coastal Barrier Resources (CEST and EA) – PARTNER**

<https://www.hudexchange.info/environmental-review/coastal-barrier-resources>

Projects located in the following states must complete this form.

Alabama	Georgia	Massachusetts	New Jersey	Puerto Rico	Virgin Islands
Connecticut	Louisiana	Michigan	New York	Rhode Island	Virginia
Delaware	Maine	Minnesota	North Carolina	South Carolina	Wisconsin
Florida	Maryland	Mississippi	Ohio	Texas	

### **1. Is the project located in a CBRS Unit?**

No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide a map showing that the site is not within a CBRS Unit.*

Yes → *Continue to 2.*

Federal assistance for most activities may not be used at this location. You must either choose an alternate site or cancel the project. In very rare cases, federal monies can be spent within CBRS units for certain exempted activities (e.g., a nature trail), after consultation with the Fish and Wildlife Service (FWS) (see [16 USC 3505](#) for exceptions to limitations on expenditures).

### **2. Indicate your recommended course of action for the RE/HUD**

- Consultation with the FWS  
 Cancel the project

### **Worksheet Summary**

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

**Include all documentation supporting your findings in your submission to HUD.**



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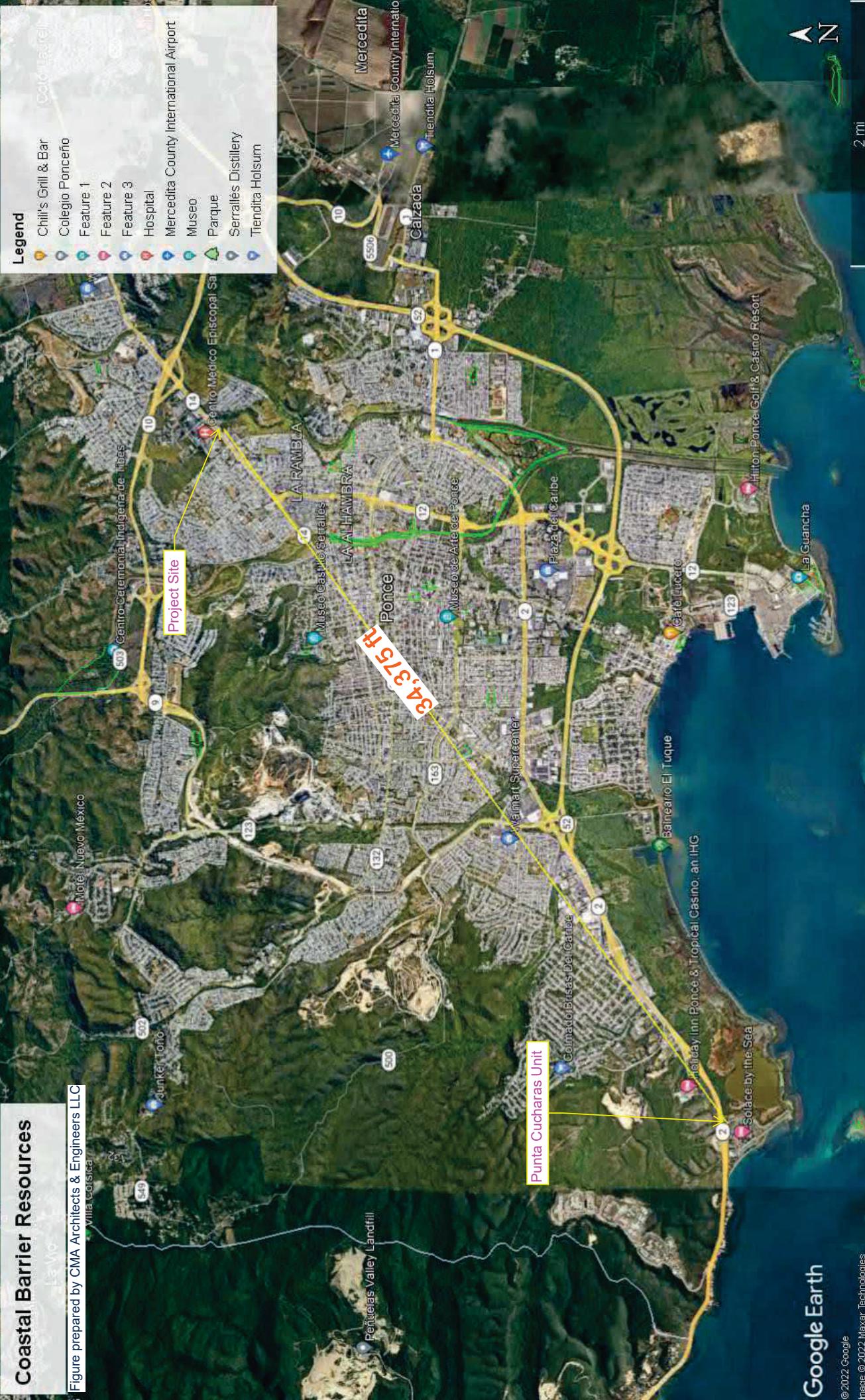
The CBRS map prepared by the Fish and Wildlife Service shows that the nearest coastal barrier is located 10.5 kilometers to the southwest of the project. The system is known as Bahia de Tallaboa, Unit PR-58P. Copy of this map is included (Map 72-015A, dated: November 15, 2016).

## Coastal Barrier Resources

Figure prepared by CMA Architects & Engineers LLC

La Pava

Villa Colonial



Google Earth

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Image © 2022 Maxar Technologies



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## Flood Insurance (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/flood-insurance>

1. Does this project involve mortgage insurance, refinance, acquisition, repairs, rehabilitation, or construction of a structure, mobile home, or insurable personal property?

No. This project does not require flood insurance or is excepted from flood insurance.

→ Continue to the Worksheet Summary.

Yes → Continue to Question 2.

2. Provide a FEMA/FIRM map showing the site.

The Federal Emergency Management Agency (FEMA) designates floodplains. The [FEMA Map Service Center](#) provides this information in the form of FEMA Flood Insurance Rate Maps (FIRMs).

**Is the structure, part of the structure, or insurable property located in a FEMA-designated Special Flood Hazard Area?**

No → Continue to the Worksheet Summary.

Yes → Continue to Question 3.

3. Is the community participating in the National Flood Insurance Program or has less than one year passed since FEMA notification of Special Flood Hazards?

Yes, the community is participating in the National Flood Insurance Program.

Flood insurance is required. Provide a copy of the flood insurance policy declaration or a paid receipt for the current annual flood insurance premium and a copy of the application for flood insurance.

→ Continue to the Worksheet Summary.

Yes, less than one year has passed since FEMA notification of Special Flood Hazards.

If less than one year has passed since notification of Special Flood Hazards, no flood insurance is required.

→ Continue to the Worksheet Summary.

No. The community is not participating, or its participation has been suspended.

Federal assistance may not be used at this location. Cancel the project at this location.

### **Worksheet Summary**

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

**Include all documentation supporting your findings in your submission to HUD.**

Panel 72000C1665J, dated November 18, 2009, from FEMA, shows that the project area is located outside flood zones.





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## Air Quality (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/air-quality>

- 1. Does your project include new construction or conversion of land use facilitating the development of public, commercial, or industrial facilities OR five or more dwelling units?**

- Yes → *Continue to Question 2.*
- No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Provide any documents used to make your determination.*

- 2. Is your project’s air quality management district or county in non-attainment or maintenance status for any criteria pollutants?**

Follow the link below to determine compliance status of project county or air quality management district:

<http://www.epa.gov/oaqps001/greenbk/>

- No, project’s county or air quality management district is in attainment status for all criteria pollutants  
→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide any documents used to make your determination.*
- Yes, project’s management district or county is in non-attainment or maintenance status for one or more criteria pollutants. → *Continue to Question 3.*

- 3. Determine the estimated emissions levels of your project for each of those criteria pollutants that are in non-attainment or maintenance status on your project area. Will your project exceed any of the *de minimis* or *threshold* emissions levels of non-attainment and maintenance level pollutants or exceed the screening levels established by the state or air quality management district?**

- No, the project will not exceed *de minimis* or threshold emissions levels or screening levels  
→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Explain how you determined that the project would not exceed de minimis or threshold emissions.*

Yes, the project exceeds *de minimis* emissions levels or screening levels.

→ Continue to Question 4. Explain how you determined that the project would not exceed *de minimis* or threshold emissions in the Worksheet Summary.

4. For the project to be brought into compliance with this section, all adverse impacts must be mitigated. Explain in detail the exact measures that must be implemented to mitigate for the impact or effect, including the timeline for implementation.

[Click here to enter text.](#)

### **Worksheet Summary**

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

**Include all documentation supporting your findings in your submission to HUD.**

The Puerto Rico Nonattainment/Maintenance Status for Each County by Year for All Criteria Pollutants prepared by the Environmental Protection Agency shows the municipalities that are not in compliance with the Puerto Rico State Implementation Plan. The municipality of Ponce is in an attainment area. Copy of the status table is included.



You are here: EPA Home > Green Book > National Area and County-Level Multi-Pollutant Information > Puerto Rico Nonattainment/Maintenance Status for Each County by Year for All Criteria Pollutants

## Puerto Rico Nonattainment/Maintenance Status for Each County by Year for All Criteria Pollutants

Data is current as of March 31, 2022

Listed by County, NAAQS, Area. The 8-hour Ozone (1997) standard was revoked on April 6, 2015 and the 1-hour Ozone (1979) standard was revoked on June 15, 2005.

\* The 1997 Primary Annual PM-2.5 NAAQS (level of 15 µg/m<sup>3</sup>) is revoked in attainment and maintenance areas for that NAAQS. For additional information see the PM-2.5 NAAQS SIP Requirements Final Rule, effective October 24, 2016. (81 FR 58009)

**Change the State:**

PUERTO RICO ▾ GO

Important Notes	County	NAAQS	Area Name	Nonattainment in Year			Redesignation to Maintenance	Classification	Whole or/ Part County	Population (2010)	State/ County FIPS Codes
				Download	National Dataset: dbf	xls					
<b>PUERTO RICO</b>											
Arecibo Lead Municipio (2008)	Arecibo, PR			111213141516171819202122	//				Part	32,185	72013
Bayamon Sulfur Dioxide Municipio (2010)	San Juan, PR			1819202122	//				Part	22,921	72021
Catano Sulfur Dioxide Municipio (2010)	San Juan, PR			1819202122	//				Whole	28,140	72033
Guaynabo PM-10 Municipio (1987)	Mun. of Guaynabo, PR			02/11/2010		Moderate			Part	90,470	72061
Guaynabo Sulfur Dioxide Municipio (2010)	San Juan, PR			1819202122	//				Part	23,802	72061
Salinas-Salinas Sulfur Dioxide Municipio (2010)	Guayama-Salinas, PR			1819202122	//				Part	23,401	72123
San Juan Sulfur Dioxide Municipio (2010)	San Juan, PR			1819202122	//				Part	147,963	72127
Toa Baja Sulfur Dioxide Municipio (2010)	San Juan, PR			1819202122	//				Part	52,441	72137

## Important Notes

Discover.

Connect.

Ask.

Follow.

2022-03-31



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## **Coastal Zone Management Act (CEST and EA) – PARTNER**

<https://www.onecpd.info/environmental-review/coastal-zone-management>

Projects located in the following states must complete this form.

Alabama	Florida	Louisiana	Mississippi	Ohio	Texas
Alaska	Georgia	Maine	New Hampshire	Oregon	Virgin Islands
American Samoa	Guam	Maryland	New Jersey	Pennsylvania	Virginia
California	Hawaii	Massachusetts	New York	Puerto Rico	Washington
Connecticut	Illinois	Michigan	North Carolina	Rhode Island	Wisconsin
Delaware	Indiana	Minnesota	Northern Mariana Islands	South Carolina	

**1. Is the project located in, or does it affect, a Coastal Zone as defined in your state Coastal Management Plan?**

Yes → Continue to Question 2.

No → If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide a map showing that the site is not within a Coastal Zone.

**2. Does this project include activities that are subject to state review?**

Yes → Continue to Question 3.

No → If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide documentation used to make your determination.

**3. Has this project been determined to be consistent with the State Coastal Management Program?**

Yes, with mitigation. → The RE/HUD must work with the State Coastal Management Program to develop mitigation measures to mitigate the impact or effect of the project.

Yes, without mitigation. → If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide documentation used to make your determination.

No → Project cannot proceed at this location.

### **Worksheet Summary**

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

**Include all documentation supporting your findings in your submission to HUD.**

The Coastal zone is the area located approximately one kilometer from the coast. The project is located 6.45 km from the coast of Ponce.

## Distance to Coastal Zone

Figure prepared by CMA Architects & Engineers LLC





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## **Contamination and Toxic Substances (Single Family Properties) – PARTNER**

<https://www.hudexchange.info/programs/environmental-review/site-contamination>

- 1. Evaluate the site for contamination. Were any on-site or nearby toxic, hazardous, or radioactive substances found that could affect the health and safety of project occupants or conflict with the intended use of the property?**

Provide a map or other documentation of absence or presence of contamination<sup>1</sup> and explain evaluation of site contamination in the Worksheet below.

No → **Explain below.**

The Environmental Professional carried out a site visit as per ASTM E1527-21. During the site visit no Recognized Environmental Conditions (REC) were observed.

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.*

Yes → *Describe the findings, including any recognized environmental conditions (RECs), in Worksheet Summary below. Continue to Question 2.*

Check here if an ASTM Phase I Environmental Site Assessment (ESA) report was utilized.  
[Note: HUD regulations does not require an ASTM Phase I ESA report for single family homes]

- 2. Can adverse environmental impacts be mitigated?**

- Adverse environmental impacts cannot feasibly be mitigated → HUD assistance may not be used for the project at this site. Project cannot proceed at this location.
- Yes, adverse environmental impacts can be eliminated through mitigation.  
→ *Provide all mitigation requirements<sup>2</sup> and documents. Continue to Question 3.*

<sup>1</sup> Utilize EPA's Enviromapper and state/tribal databases to identify nearby dumps, junk yards, landfills, hazardous waste sites, and industrial sites, including EPA National Priorities List Sites (Superfund sites), CERCLA or state-equivalent sites, RCRA Corrective Action sites with release(s) or suspected release(s) requiring clean-up action and/or further investigation. Additional supporting documentation may include other inspections and reports.

<sup>2</sup> Mitigation requirements include all clean-up actions required by applicable federal, state, tribal, or local law. Additionally, provide, as applicable, the long-term operations and maintenance plan, Remedial Action Work Plan, and other equivalent documents.

- 3. Describe how compliance was achieved. Include any of the following that apply: State Voluntary Clean-up Program, a No Further Action letter, use of engineering controls<sup>3</sup>, or use of institutional controls<sup>4</sup>.**

[Click here to enter text.](#)

**If a remediation plan or clean-up program was necessary, which standard does it follow?**

- Complete removal
  - Risk-based corrective action (RBCA)
- *Continue to the Worksheet Summary.*

### **Worksheet Summary**

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

**Include all documentation supporting your findings in your submission to HUD.**

The Environmental Professional carried out a site visit. No evidence of toxic substances or contamination was observed during the site visit. No sites were found that would have an adverse effect on the usage of the project activity, namely the Hotel.

As per NEPAssist, five sites manage hazardous waste. The following table shows information regarding these sites. These sites are shown in the following figures.

Site Name	Distance [ft]	Type	Releases
San Lucas Memorial Hospital	100.55	Very Small Quantity Generator	No info available
SHELL CO PR LTD SS 804983 LA RAMBLA	2683.2	No info available	No info available
CENTRO DE ADIEST Y TRANS A TRABAJO	1804.31	Very Small Quantity Generator	No info available

---

<sup>3</sup> Engineering controls are any physical mechanism used to contain or stabilize contamination or ensure the effectiveness of a remedial action. Engineering controls may include, without limitation, caps, covers, dikes, trenches, leachate collection systems, signs, fences, physical access controls, ground water monitoring systems and ground water containment systems including, without limitation, slurry walls and ground water pumping systems.

<sup>4</sup> Institutional controls are mechanisms used to limit human activities at or near a contaminated site, or to ensure the effectiveness of the remedial action over time, when contaminants remain at a site at levels above the applicable remediation standard which would allow for unrestricted use of the property. Institutional controls may include structure, land, and natural resource use restrictions, well restriction areas, classification exception areas, deed notices, and declarations of environmental restrictions.

Site Name	Distance [ft]	Type	Releases
TEXACO PR INC LESLIE FLEMING SS	1807.56	No info available	No info available
DEPT OF HEALTH - LAB PROGRAM	96.02	No info available	No info available

# NEPAssist Report

## Fleming Site



Input Coordinates: 18.029484,-66.594708,18.030075,-66.593947,18.029331,-66.593400,18.029075,-66.593056,18.029065,-66.593035,18.028484,-66.593013,18.028463,-66.593046,18.028157,-66.593518,18.028147,-66.593539,18.029484,-66.594687,18.029484,-66.594708

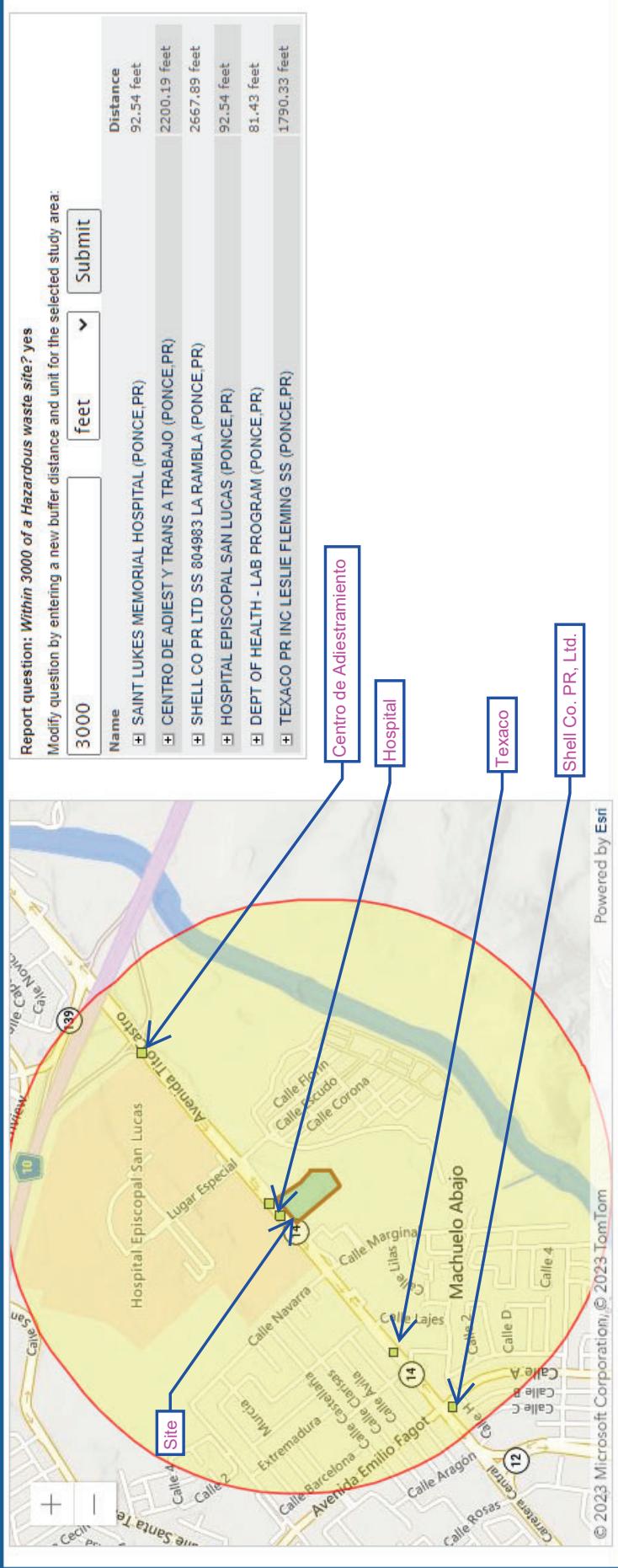
Project Area	0.01 sq mi
Within 3000 feet of an Ozone 8-hr (1997 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of an Ozone 8-hr (2008 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a Lead (2008 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a SO2 1-hr (2010 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a PM2.5 24hr (2006 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a PM2.5 Annual (1997 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a PM2.5 Annual (2012 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a PM10 (1987 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a Federal Land?	no
Within 3000 feet of an impaired stream?	no
Within 3000 feet of an impaired waterbody?	yes
Within 3000 feet of a waterbody?	yes
Within 3000 feet of a stream?	yes
Within 3000 feet of an NWI wetland?	Available Online
Within 3000 feet of a Brownfields site?	no
Within 3000 feet of a Superfund site?	no
Within 3000 feet of a Toxic Release Inventory (TRI) site?	no
Within 3000 feet of a water discharger (NPDES)?	yes

Within 3000 feet of a hazardous waste (RCRA) facility?	yes
Within 3000 feet of an air emission facility?	no
Within 3000 feet of a school?	no
Within 3000 feet of an airport?	no
Within 3000 feet of a hospital?	yes
Within 3000 feet of a designated sole source aquifer?	no
Within 3000 feet of a historic property on the National Register of Historic Places?	no
Within 3000 feet of a Toxic Substances Control Act (TSCA) site?	no
Within 3000 feet of a Land Cession Boundary?	no
Within 3000 feet of a tribal area (lower 48 states)?	no
Within 3000 feet of the service area of a mitigation or conservation bank?	no
Within 3000 feet of the service area of an In-Lieu-Fee Program?	no
Within 3000 feet of a Public Property Boundary of the Formerly Used Defense Sites?	no
Within 3000 feet of a Munitions Response Site?	no
Within 3000 feet of an Essential Fish Habitat (EFH)?	no
Within 3000 feet of a Habitat Area of Particular Concern (HAPC)?	no
Within 3000 feet of an EFH Area Protected from Fishing (EFHA)?	yes
Within 3000 feet of a Bureau of Land Management Area of Critical Environmental Concern?	no
Within 3000 feet of an ESA-designated Critical Habitat Area per U.S. Fish & Wildlife Service?	no
Within 3000 feet of an ESA-designated Critical Habitat river, stream or water feature per U.S. Fish & Wildlife Service?	no

Created on: 3/31/2023 4:45:04 PM

NEPAssist

Figure prepared by CMA Architects & Engineers LLC





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## Endangered Species Act (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/endangered-species>

### 1. Does the project involve any activities that have the potential to affect species or habitats?

No, the project will have No Effect due to the nature of the activities involved in the project.

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section.  
Continue to the Worksheet Summary below. Provide any documents used to make your determination.

No, the project will have No Effect based on a letter of understanding, memorandum of agreement, programmatic agreement, or checklist provided by local HUD office.

#### Explain your determination:

[Click here to enter text.](#)

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section.  
Continue to the Worksheet Summary below. Provide any documents used to make your determination.

Yes, the activities involved in the project have the potential to affect species and/or habitats. →  
*Continue to Question 2.*

### 2. Are federally listed species or designated critical habitats present in the action area?

Obtain a list of protected species from the Services. This information is available on the [FWS Website](#).

No, the project will have No Effect due to the absence of federally listed species and designated critical habitat.

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section.  
Continue to the Worksheet Summary below. Provide any documents used to make your determination. Documentation may include letters from the Services, species lists from the Services' websites, surveys or other documents and analysis showing that there are no species in the action area.

Yes, there are federally listed species or designated critical habitats present in the action area. →  
*Continue to Question 3.*

**3. Recommend one of the following effects that the project will have on federally listed species or designated critical habitat:**

No Effect: Based on the specifics of both the project and any federally listed species in the action area, you have determined that the project will have absolutely no effect on listed species or critical habitat.

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section.*

*Continue to the Worksheet Summary below. Provide any documents used to make your determination. Documentation should include a species list and explanation of your conclusion, and may require maps, photographs, and surveys as appropriate.*

May Affect, Not Likely to Adversely Affect: Any effects that the project may have on federally listed species or critical habitats would be beneficial, discountable, or insignificant.

→ *Partner entities should not contact the Services directly. If the RE/HUD agrees with this recommendation, they will have to complete Informal Consultation. Provide the RE/HUD with a biological evaluation or equivalent document. They may request additional information, including surveys and professional analysis, to complete their consultation.*

Likely to Adversely Affect: The project may have negative effects on one or more listed species or critical habitat.

→ *Partner entities should not contact the Services directly. If the RE/HUD agrees with this recommendation, they will have to complete Formal Consultation. Provide the RE/HUD with a biological evaluation or equivalent document. They may request additional information, including surveys and professional analysis, to complete their consultation.*

### **Worksheet Summary**

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

### **Include all documentation supporting your findings in your submission to HUD.**

A species list from the Fish and Wildlife Service (FWS) was requested through the iPAC system. The list only included the Puerto Rican Boa. The FWS has prepared design guidelines that will be followed at the site to minimize any impact on the species. Copy of the Species List and the design guidelines are included. A blanket letter certifying that no endangered species are present at the site is included.



## Self-Certification

<http://www.fws.gov/caribbean/ES/Index.html>

### Endangered Species Act Certification

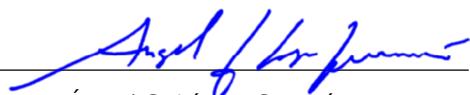
The U.S. Fish and Wildlife Service, Caribbean Ecological Services Field Office developed a Blanket Clearance Letter in compliance with Endangered Species Act of 1973, as amended, and the Fish and Wildlife Coordination Act for federally funded projects.

The Service determined that projects in compliance with the following criteria are not likely to adversely affect federally-listed species.

Puerto Rico Department of Housing (PRDOH) certifies that the following project **Fleming/Hampton Inn Hotel (PR-IPG-000581)** consisting of construction of a commercial and tourist project called One Plaza Business Center, 130-room Hampton by Hilton flag hotel on 8 levels, following amenities: a restaurant, activity rooms, a swimming pool, a gym, a 4,000-foot one-story retail and a restaurant building plus a 52,000-foot office building located at kilometer 3.7 of highway PR-14 (Ave. Tito Castro), Machuelo Abajo Ward in the municipality of Ponce, complies with:

Check	Project Criteria
<input type="checkbox"/>	1. Street resurfacing.
<input type="checkbox"/>	2. Construction of gutters and sidewalks along existing roads.
<input type="checkbox"/>	3. Reconstruction or emergency repairs of existing buildings, facilities and homes.
<input type="checkbox"/>	4. Rehabilitation of existing occupied single-family homes, and buildings; provided that equipment storage or staging areas are not located on vacant property harboring a wetland and/or forested vegetation and that the lighting associated to the new facilities is not visible directly or indirectly from a beach.
<input type="checkbox"/>	5. Demolition of dilapidated single-family homes or buildings; provided that the demolition debris is disposed in certified receiving facilities; equipment storage or staging areas are not located on vacant property harboring a wetland and/or forested vegetation.

<input type="checkbox"/>	6. Rebuilding of demolished single-family homes or buildings, provided that the new construction is within the existing footprint of the previous structure and/or within pre-existing grassed or paved areas, and that the lighting associated to the new facilities are not visible directly or indirectly from a beach.
<input type="checkbox"/>	7. Activities within existing Right of Ways (ROWs) of roads, bridges and highways, when limited to actions that do not involve cutting native vegetation or major earth moving; and are not located within, or adjacent to, drainages, wetlands, or aquatic systems. These activities include the installation of potable water and sanitary pipelines.
<input type="checkbox"/>	8. Improvements to existing recreational facilities, including the installation of roofs to existing basketball courts, provided that the lighting associated to the facilities are not visible directly or indirectly from the beach.
<input type="checkbox"/>	9. Construction of electric underground systems in existing towns and communities, provided that the property is not a wetland area and the lighting associated to the facilities are not visible directly or indirectly from the beach.
<input checked="" type="checkbox"/>	10. Construction of facilities on vacant properties covered with grasses in urban areas, provided that the lighting associated to the facilities are not visible directly or indirectly from the beach.
<input type="checkbox"/>	11. Construction of houses, buildings or acquiring lands in urban areas covered by grass for relocation of low-income families and/or facilities that have been affected by weather conditions.



Ángel G. López-Guzmán  
Deputy Director

Permits and Environmental Compliance Division

Office of Disaster Recovery

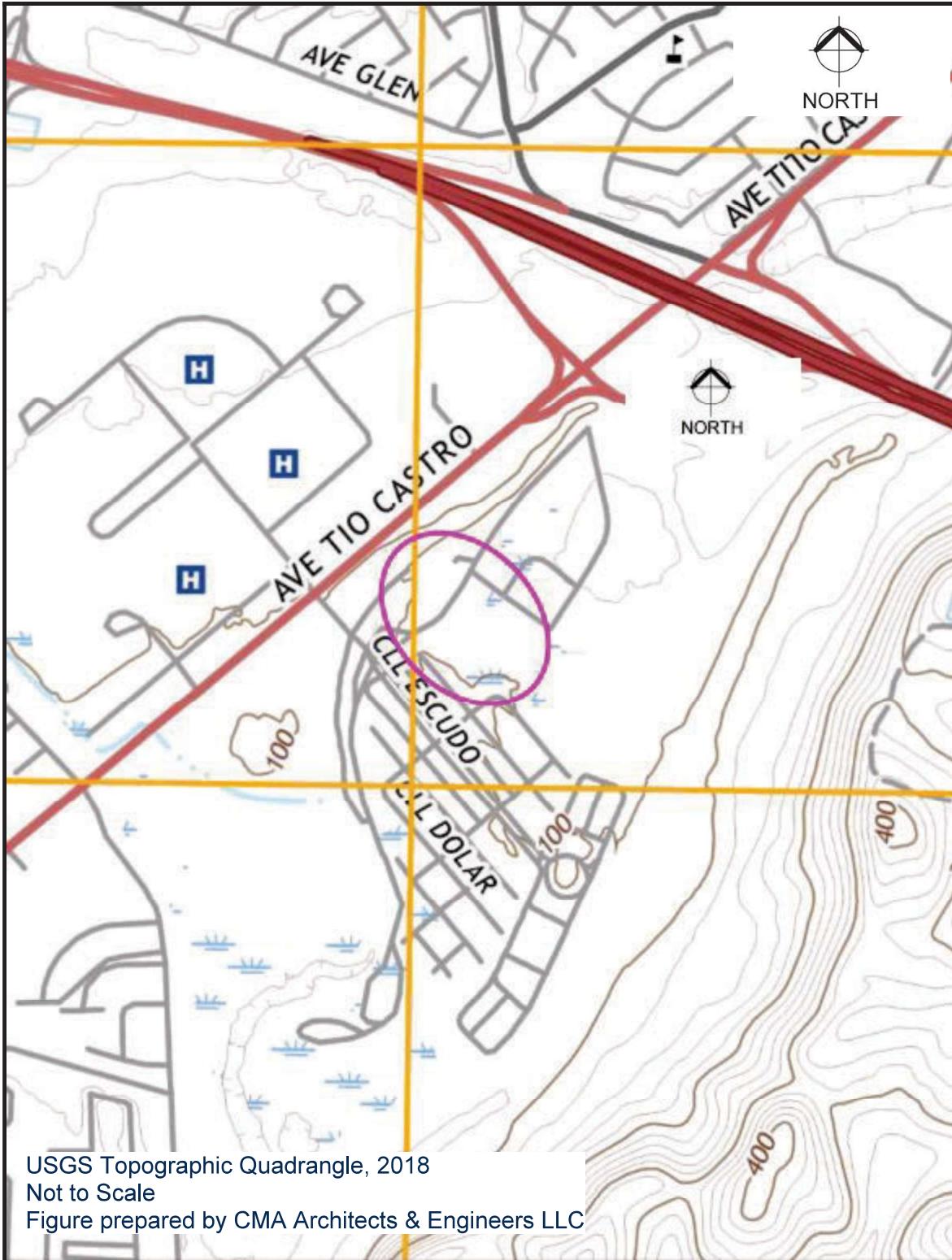
**Address:** P.O. Box 21365 San Juan, PR 00928

**Telephone and Ext:** 787-274-2527 ext. 4320

**Email:** [environmentcdbg@vivienda.pr.gov](mailto:environmentcdbg@vivienda.pr.gov)

Sept. 12, 2023

Date



Location Plan



ARCHITECTS &  
ENGINEERS LLC

Since 1959

June 28, 2023

**Via e-mail: Caribbean\_es@fws.gov**

Eng. Edwin E. Muñiz  
Field Office Supervisor  
Fish and Wildlife Service  
Caribbean Ecological Service Field Service  
P.O. Box 491  
Boquerón, PR 00622

**BLANKET LETTER  
PR-IPG-000581  
HAMPTON INN HOTEL  
PONCE, PUERTO RICO**

Dear Engineer Muñiz:

The project proposed by Fleming Hotel, LLC. consist of developing a 132-room hotel and a 52,761ft<sup>2</sup> office building in the municipality of Ponce with a total investment of \$48.1 million. The project is located south of the PR-14 road adjacent to State Road PR-10 exit, in an important commercial corridor. The Department of Housing and Urban Development (HUD) will finance the construction project.

The proposed hotel will be flagged as Hampton by the Hilton brand. Facing the hotel will be a 4,000 ft<sup>2</sup> building that will accommodate light food restaurants (health-oriented dining) and coffee shops for guests and by-passers. The Office Building is a 5-story building with a 65,000 ft<sup>2</sup> construction area, of which 52,761 ft<sup>2</sup> is a gross leasable area (GLA) and a surface parking lot with 220 spaces.



A species list was requested from the Fish and Wildlife Service (FWS) through the iPac service. The species list indicated that one species could be observed in the project area: Puerto Rican Boa (*Chilabothrus inornatus*). No critical habitats within the project action area and under the FWS jurisdiction exist in the area. A copy of the species list is included in **Appendix A**.

CMA Architects & Engineers LLC professional biologists have developed site visits to determine the presence of the above-mentioned species. None of them were observed at the site.

In representation of Fleming Hotel LLC, we certify that the Hampton Inn Hotel project, funded by the Department of Housing Urban Development and located at State Road PR-14, Ponce, Puerto Rico, complies with the following:



Fleming Hotel LLC  
Blanket Letter  
June 28, 2023

*Construction of facilities on vacant properties covered with grasses in urban areas provided that the lighting associated with the facilities is not visible directly or indirectly from the beach.*

If you need additional information, please contact the undersigned at your earliest convenience.

Cordially,

A handwritten signature in blue ink, appearing to read "Pedro A. Jane".

Pedro A. Jane

enclosures



# United States Department of the Interior



FISH AND WILDLIFE SERVICE  
Caribbean Ecological Services Field Office  
Post Office Box 491  
Boqueron, PR 00622-0491  
Phone: (787) 851-7297 Fax: (787) 851-7440  
<http://www.fws.gov/caribbean/es>

In Reply Refer To:

April 12, 2022

Project Code: 2022-0030996

Project Name: Fleming Hotel

Subject: List of threatened and endangered species that may occur in your proposed project location or may be affected by your proposed project

To Whom It May Concern:

**\*THE FOLLOWING SPECIES LIST IS NOT A SECTION 7 CONSULTATION. PLEASE CONTACT OUR OFFICE TO COMPLETE THE CONSULTATION PROCESS\***

The purpose of the Endangered Species Act (Act) is to provide a means whereby threatened, and endangered species and the ecosystems upon which they depend may be conserved. Under sections 7(a)(1) and 7(a)(2) of the Act and its implementing regulations (50 CFR 402 et seq.), Federal agencies are required to utilize their authorities to carry out programs for the conservation of threatened and endangered species and to determine whether projects may affect those species and/or their designated critical habitat.

Federal agencies are required to "request of the Secretary of Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action". The enclosed species list provides information to assist with the U.S. Fish and Wildlife Service (Service) consultation process under section 7 of the Act. However, **the enclosed species list does not complete the required consultation process**. The species list identifies threatened, endangered, proposed and candidate species, as well as proposed and designated critical habitats, that may occur within the boundary of your proposed project and/or may be affected by your proposed project. A discussion between the Federal agency and the Service should include what types of listed species may occur in the proposed action area and what effect the proposed action may have on those species. This process initiates informal consultation.

Once a species list is obtained for the proposed project, an effect determination for endangered and threatened species should be made. The applicant could make an effect determination by using available keys on IPaC for specific species. For species with no determination keys, the applicant should request concurrence from the Service by sending a project package

to [caribbean\\_es@fws.gov](mailto:caribbean_es@fws.gov). To obtain guidance for completing this process and the minimum requirements for project packages, please visit:

<https://www.fws.gov/southeast/pdf/letter/consultation-under-section-7-of-the-endangered-species-act-with-the-caribbean-ecological%20Services-field-office-template-letter.pdf>

When a federal agency, after discussions with the Service, determines that the proposed action is not likely to adversely affect any listed species, or adversely modify any designated critical habitat, and the Service concurs, the informal consultation is complete, and the proposed project moves ahead. If the proposed action is suspected to affect a listed species or modify designated critical habitat, the Federal agency may then prepare a Biological Assessment (B.A.) to assist in its determination of the project's effects on species and their habitat. However, a B.A. is required for construction projects (or other undertakings having similar physical impacts) that are major Federal actions significantly affecting the quality of the human environment as defined in the National Environmental Policy Act (42 U.S.C. 4332(2) (c)). For projects other than major construction activities, the Service suggests that a biological evaluation similar to a B.A. where the agency provides the Service with an evaluation on the likely effects of the action to determine whether the project may affect listed or proposed species and/or designated or proposed critical habitat. Recommended contents of a B.A. are described at 50 CFR 402.12.

If a federal agency determines, based on its B.A. or biological evaluation, that listed species and/or designated critical habitat may be affected by the proposed project, the agency is required to further consult with the Service pursuant to 50 CFR 402. In addition, the Service recommends that candidate species, proposed species, and proposed critical habitat be addressed within the consultation process. More information on the regulations and procedures for section 7 consultation, including the role of permit or license applicants, can be found in the "Endangered Species Consultation Handbook" at:

<http://www.fws.gov/endangered/esa-library/pdf/TOC-GLOS.PDF>

New information based on updated surveys, changes in the abundance and distribution of species, changed habitat conditions, or other factors could change this list. Please feel free to contact us if you need more current information or assistance regarding the potential impacts to federally proposed, listed, and candidate species.

This list is provided pursuant to Section 7 of the Endangered Species Act and fulfills the requirement for Federal agencies to "request of the Secretary of the Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action". Please use this list to determine whether your project requires consultation and to make your effects determination. For more guidance, use the Guideline for Consultation under Section 7 of the Endangered Species Act with the Caribbean Ecological Services Field Office by clicking [here](#).

This species list is provided by:

Caribbean Ecological Services Field Office  
[caribbean\\_es@fws.gov](mailto:caribbean_es@fws.gov)

Post Office Box 491  
Boqueron, PR 00622-0491  
(786) 244-0081

Attachment(s):

- Official Species List
- USFWS National Wildlife Refuges and Fish Hatcheries
- Migratory Birds
- Wetlands

# **Official Species List**

This list is provided pursuant to Section 7 of the Endangered Species Act, and fulfills the requirement for Federal agencies to "request of the Secretary of the Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action".

This species list is provided by:

**Caribbean Ecological Services Field Office**

Post Office Box 491  
Boqueron, PR 00622-0491  
(787) 851-7297

## Project Summary

Project Code: 2022-0030996  
Event Code: None  
Project Name: Fleming Hotel  
Project Type: Mixed-Use Construction  
Project Description: The project was proposed by Fleming Hotel, LLC. consist in the development of a 132-room hotel and a 52,761 sq. ft. office building in the municipality of Ponce. The project is located south of the PR-14 road adjacent to State Road PR-10 exit, in an important commercial corridor.

Project Location:

Approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/@18.02928835,-66.59383273513433,14z>



Counties: Ponce County, Puerto Rico

## Endangered Species Act Species

There is a total of 1 threatened, endangered, or candidate species on this species list.

Species on this list should be considered in an effects analysis for your project and could include species that exist in another geographic area. For example, certain fish may appear on the species list because a project could affect downstream species.

IPaC does not display listed species or critical habitats under the sole jurisdiction of NOAA Fisheries<sup>1</sup>, as USFWS does not have the authority to speak on behalf of NOAA and the Department of Commerce.

See the "Critical habitats" section below for those critical habitats that lie wholly or partially within your project area under this office's jurisdiction. Please contact the designated FWS office if you have questions.

- 
1. [NOAA Fisheries](#), also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

## Reptiles

NAME	STATUS
Puerto Rican Boa <i>Epicrates inornatus</i>	Endangered

No critical habitat has been designated for this species.  
Species profile: <https://ecos.fws.gov/ecp/species/6628>  
General project design guidelines:  
<https://ipac.ecosphere.fws.gov/project/2R22HEBPZVBX7ED4TVRC222P4I/documents/generated/6941.pdf>

## Critical habitats

THERE ARE NO CRITICAL HABITATS WITHIN YOUR PROJECT AREA UNDER THIS OFFICE'S JURISDICTION.

## **USFWS National Wildlife Refuge Lands And Fish Hatcheries**

Any activity proposed on lands managed by the [National Wildlife Refuge](#) system must undergo a 'Compatibility Determination' conducted by the Refuge. Please contact the individual Refuges to discuss any questions or concerns.

THERE ARE NO REFUGE LANDS OR FISH HATCHERIES WITHIN YOUR PROJECT AREA.

# Migratory Birds

Certain birds are protected under the Migratory Bird Treaty Act<sup>1</sup> and the Bald and Golden Eagle Protection Act<sup>2</sup>.

Any person or organization who plans or conducts activities that may result in impacts to migratory birds, eagles, and their habitats should follow appropriate regulations and consider implementing appropriate conservation measures, as described [below](#).

- 
1. The [Migratory Birds Treaty Act](#) of 1918.
  2. The [Bald and Golden Eagle Protection Act](#) of 1940.
  3. 50 C.F.R. Sec. 10.12 and 16 U.S.C. Sec. 668(a)

THERE ARE NO FWS MIGRATORY BIRDS OF CONCERN WITHIN THE VICINITY OF YOUR PROJECT AREA.

## Migratory Birds FAQ

**Tell me more about conservation measures I can implement to avoid or minimize impacts to migratory birds.**

[Nationwide Conservation Measures](#) describes measures that can help avoid and minimize impacts to all birds at any location year round. Implementation of these measures is particularly important when birds are most likely to occur in the project area. When birds may be breeding in the area, identifying the locations of any active nests and avoiding their destruction is a very helpful impact minimization measure. To see when birds are most likely to occur and be breeding in your project area, view the Probability of Presence Summary. [Additional measures](#) or [permits](#) may be advisable depending on the type of activity you are conducting and the type of infrastructure or bird species present on your project site.

**What does IPaC use to generate the migratory birds potentially occurring in my specified location?**

The Migratory Bird Resource List is comprised of USFWS [Birds of Conservation Concern \(BCC\)](#) and other species that may warrant special attention in your project location.

The migratory bird list generated for your project is derived from data provided by the [Avian Knowledge Network \(AKN\)](#). The AKN data is based on a growing collection of [survey, banding, and citizen science datasets](#) and is queried and filtered to return a list of those birds reported as occurring in the 10km grid cell(s) which your project intersects, and that have been identified as warranting special attention because they are a BCC species in that area, an eagle ([Eagle Act](#) requirements may apply), or a species that has a particular vulnerability to offshore activities or development.

Again, the Migratory Bird Resource list includes only a subset of birds that may occur in your project area. It is not representative of all birds that may occur in your project area. To get a list of all birds potentially present in your project area, please visit the [AKN Phenology Tool](#).

## **What does IPaC use to generate the probability of presence graphs for the migratory birds potentially occurring in my specified location?**

The probability of presence graphs associated with your migratory bird list are based on data provided by the [Avian Knowledge Network \(AKN\)](#). This data is derived from a growing collection of [survey, banding, and citizen science datasets](#).

Probability of presence data is continuously being updated as new and better information becomes available. To learn more about how the probability of presence graphs are produced and how to interpret them, go the Probability of Presence Summary and then click on the "Tell me about these graphs" link.

## **How do I know if a bird is breeding, wintering, migrating or present year-round in my project area?**

To see what part of a particular bird's range your project area falls within (i.e. breeding, wintering, migrating or year-round), you may refer to the following resources: [The Cornell Lab of Ornithology All About Birds Bird Guide](#), or (if you are unsuccessful in locating the bird of interest there), the [Cornell Lab of Ornithology Neotropical Birds guide](#). If a bird on your migratory bird species list has a breeding season associated with it, if that bird does occur in your project area, there may be nests present at some point within the timeframe specified. If "Breeds elsewhere" is indicated, then the bird likely does not breed in your project area.

## **What are the levels of concern for migratory birds?**

Migratory birds delivered through IPaC fall into the following distinct categories of concern:

1. "BCC Rangewide" birds are [Birds of Conservation Concern](#) (BCC) that are of concern throughout their range anywhere within the USA (including Hawaii, the Pacific Islands, Puerto Rico, and the Virgin Islands);
2. "BCC - BCR" birds are BCCs that are of concern only in particular Bird Conservation Regions (BCRs) in the continental USA; and
3. "Non-BCC - Vulnerable" birds are not BCC species in your project area, but appear on your list either because of the [Eagle Act](#) requirements (for eagles) or (for non-eagles) potential susceptibilities in offshore areas from certain types of development or activities (e.g. offshore energy development or longline fishing).

Although it is important to try to avoid and minimize impacts to all birds, efforts should be made, in particular, to avoid and minimize impacts to the birds on this list, especially eagles and BCC species of rangewide concern. For more information on conservation measures you can implement to help avoid and minimize migratory bird impacts and requirements for eagles, please see the FAQs for these topics.

## **Details about birds that are potentially affected by offshore projects**

For additional details about the relative occurrence and abundance of both individual bird species and groups of bird species within your project area off the Atlantic Coast, please visit the [Northeast Ocean Data Portal](#). The Portal also offers data and information about other taxa besides birds that may be helpful to you in your project review. Alternately, you may download the bird model results files underlying the portal maps through the [NOAA NCCOS Integrative Statistical](#)

## [Modeling and Predictive Mapping of Marine Bird Distributions and Abundance on the Atlantic Outer Continental Shelf](#) project webpage.

Bird tracking data can also provide additional details about occurrence and habitat use throughout the year, including migration. Models relying on survey data may not include this information. For additional information on marine bird tracking data, see the [Diving Bird Study](#) and the [nanotag studies](#) or contact [Caleb Spiegel](#) or [Pam Loring](#).

### **What if I have eagles on my list?**

If your project has the potential to disturb or kill eagles, you may need to [obtain a permit](#) to avoid violating the Eagle Act should such impacts occur.

### **Proper Interpretation and Use of Your Migratory Bird Report**

The migratory bird list generated is not a list of all birds in your project area, only a subset of birds of priority concern. To learn more about how your list is generated, and see options for identifying what other birds may be in your project area, please see the FAQ "What does IPaC use to generate the migratory birds potentially occurring in my specified location". Please be aware this report provides the "probability of presence" of birds within the 10 km grid cell(s) that overlap your project; not your exact project footprint. On the graphs provided, please also look carefully at the survey effort (indicated by the black vertical bar) and for the existence of the "no data" indicator (a red horizontal bar). A high survey effort is the key component. If the survey effort is high, then the probability of presence score can be viewed as more dependable. In contrast, a low survey effort bar or no data bar means a lack of data and, therefore, a lack of certainty about presence of the species. This list is not perfect; it is simply a starting point for identifying what birds of concern have the potential to be in your project area, when they might be there, and if they might be breeding (which means nests might be present). The list helps you know what to look for to confirm presence, and helps guide you in knowing when to implement conservation measures to avoid or minimize potential impacts from your project activities, should presence be confirmed. To learn more about conservation measures, visit the FAQ "Tell me about conservation measures I can implement to avoid or minimize impacts to migratory birds" at the bottom of your migratory bird trust resources page.

## Wetlands

Impacts to [NWI wetlands](#) and other aquatic habitats may be subject to regulation under Section 404 of the Clean Water Act, or other State/Federal statutes.

For more information please contact the Regulatory Program of the local [U.S. Army Corps of Engineers District](#).

Please note that the NWI data being shown may be out of date. We are currently working to update our NWI data set. We recommend you verify these results with a site visit to determine the actual extent of wetlands on site.

WETLAND INFORMATION WAS NOT AVAILABLE WHEN THIS SPECIES LIST WAS GENERATED.  
PLEASE VISIT [HTTPS://WWW.FWS.GOV/WETLANDS/DATA/MAPPER.HTML](https://www.fws.gov/wetlands/data/mapper.html) OR CONTACT THE FIELD OFFICE FOR FURTHER INFORMATION.

## **IPaC User Contact Information**

Agency: CMA Architects and Engineers, LLC

Name: Pedro Janer

Address: 1509 F.D. Roosevelt Avenue

City: Guaynabo

State: PR

Zip: 00968

Email: pjaner@cmapr.com

Phone: 7877921509



**U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT**  
WASHINGTON, DC 20410-1000

This Worksheet was designed to be used by those “Partners” (including Public Housing Authorities, consultants, contractors, and nonprofits) who assist Responsible Entities and HUD in preparing environmental reviews, but legally cannot take full responsibilities for these reviews themselves. Responsible Entities and HUD should use the RE/HUD version of the Worksheet.

**Explosive and Flammable Hazards (CEST and EA) – PARTNER**

<https://www.hudexchange.info/environmental-review/explosive-and-flammable-facilities>

**1. Does the proposed HUD-assisted project include a hazardous facility (a facility that mainly stores, handles or processes flammable or combustible chemicals such as bulk fuel storage facilities and refineries)?**

No

→ Continue to Question 2.

Yes

**Explain:**

Click here to enter text.

→ Continue to Question 5.

**2. Does this project include any of the following activities: development, construction, rehabilitation that will increase residential densities, or conversion?**

No → If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.

Yes → Continue to Question 3.

**3. Within 1 mile of the project site, are there any current or planned stationary aboveground storage containers:**

- Of more than 100-gallon capacity, containing common liquid industrial fuels OR
- Of any capacity, containing hazardous liquids or gases that are not common liquid industrial fuels?

No → If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide all documents used to make your determination.

Yes → Continue to Question 4.

**4. Is the Separation Distance from the project acceptable based on standards in the Regulation?**

Please visit HUD’s website for information on calculating Acceptable Separation Distance.

Yes

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.

*Provide map(s) showing the location of the project site relative to any tanks and your separation distance calculations. If the map identifies more than one tank, please identify the tank you have chosen as the "assessed tank."*

No

→ Continue to Question 6.

*Provide map(s) showing the location of the project site relative to any tanks and your separation distance calculations. If the map identifies more than one tank, please identify the tank you have chosen as the "assessed tank."*

**5. Is the hazardous facility located at an acceptable separation distance from residences and any other facility or area where people may congregate or be present?**

Please visit HUD's website for information on calculating Acceptable Separation Distance.

Yes

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.

*Provide map(s) showing the location of the project site relative to residences and any other facility or area where people congregate or are present and your separation distance calculations.*

No

→ Continue to Question 6.

*Provide map(s) showing the location of the project site relative to residences and any other facility or area where people congregate or are present and your separation distance calculations.*

**6. For the project to be brought into compliance with this section, all adverse impacts must be mitigated. Explain in detail the exact measures that must be implemented to make the Separation Distance acceptable, including the timeline for implementation. If negative effects cannot be mitigated, cancel the project at this location.**

Note that only licensed professional engineers should design and implement blast barriers. If a barrier will be used or the project will be modified to compensate for an unacceptable separation distance, provide approval from a licensed professional engineer.

[Click here to enter text.](#)

### **Worksheet Summary**

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

### **Include all documentation supporting your findings in your submission to HUD.**

The proposed project consists of the construction of a hotel. It will not increase residential units' densities at the area. The project includes the installation of fuel tanks to feed the emergency generator and fire pump. The project will not include a bulk fuel storage facilities and refineries.



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT  
WASHINGTON, DC 20410-1000

This Worksheet was designed to be used by those “Partners” (including Public Housing Authorities, consultants, contractors, and nonprofits) who assist Responsible Entities and HUD in preparing environmental reviews, but legally cannot take full responsibilities for these reviews themselves. Responsible Entities and HUD should use the RE/HUD version of the Worksheet.

## Farmlands Protection (CEST and EA) - PARTNER

<https://www.hudexchange.info/environmental-review/farmlands-protection>

**1. Does your project include any activities, including new construction, acquisition of undeveloped land or conversion, that could convert agricultural land to a non-agricultural use?**

- Yes → Continue to Question 2.  
 No

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.

**2. Does “important farmland,” including prime farmland, unique farmland, or farmland of statewide or local importance regulated under the Farmland Protection Policy Act, occur on the project site?**

You may use the links below to determine important farmland occurs on the project site:

- Utilize USDA Natural Resources Conservation Service’s (NRCS) Web Soil Survey <http://websoilsurvey.nrcs.usda.gov/app/HomePage.htm>
- Check with your city or county’s planning department and ask them to document if the project is on land regulated by the FPPA (zoning important farmland as non-agricultural does not exempt it from FPPA requirements)
- Contact NRCS at the local USDA service center <http://offices.sc.egov.usda.gov/locator/app?agency=nrcs> or your NRCS state soil scientist [http://soils.usda.gov/contact/state\\_offices/](http://soils.usda.gov/contact/state_offices/) for assistance

No → If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide any documents used to make your determination.

Yes → Continue to Question 3.

**3. Consider alternatives to completing the project on important farmland and means of avoiding impacts to important farmland.**

- Complete form [AD-1006, “Farmland Conversion Impact Rating”](#) and contact the state soil scientist before sending it to the local NRCS District Conservationist.
- Work with NRCS to minimize the impact of the project on the protected farmland. When you have finished with your analysis, return a copy of form AD-1006 to the USDA-NRCS State Soil Scientist or his/her designee informing them of your determination.

**Work with the RE/HUD to determine how the project will proceed. Document the conclusion:**

Project will proceed with mitigation.

**Explain in detail the proposed measures that must be implemented to mitigate for the impact or effect, including the timeline for implementation.**

[Click here to enter text.](#)

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide form AD-1006 and all other documents used to make your determination.

Project will proceed without mitigation.

**Explain why mitigation will not be made here:**

[Click here to enter text.](#)

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide form AD-1006 and all other documents used to make your determination.

### **Worksheet Summary**

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

### **Include all documentation supporting your findings in your submission to HUD.**

The project area is undeveloped and is located at the Ponce Urban area. The Land Use Plan for the municipality of Ponce classifies the area as Urban Land. A copy of the Ponce Zoning Map is included. The farmlands map provided by the Puerto Rico Department of Housing shows that the area is in a prime farmland. See attached map. The area is located in an urban area and adjoins several developments like a Hospital, stores, medical offices, and clinics. As mentioned, the area is classified by the Municipality of Ponce as urban land.





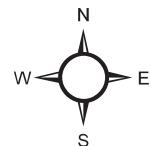
# Farmlands



## Legend

- Prime Farmland
- Farmland of Local Importance
- Farmland of Statewide Importance
- Farmland of Unique Importance
- Not Prime Farmland

0 0.04 0.09 0.17 mi





U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT  
WASHINGTON, DC 20410-1000

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## Floodplain Management (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/floodplain-management>

**1. Does 24 CFR 55.12(c) exempt this project from compliance with HUD’s floodplain management regulations in Part 55?**

Yes

Provide the applicable citation at 24 CFR 55.12(c) here. If the project is exempt under 55.12(c)(6) or (8), provide supporting documentation.

[Click here to enter text.](#)

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Continue to the Worksheet Summary.

No → Continue to Question 2.

**2. Provide a FEMA/FIRM map showing the site.**

The Federal Emergency Management Agency (FEMA) designates floodplains. The [FEMA Map Service Center](#) provides this information in the form of FEMA Flood Insurance Rate Maps (FIRMs).

**Does your project occur in a floodplain?**

No → Continue to the Worksheet Summary below.

Yes

Select the applicable floodplain using the FEMA map or the best available information:

Floodway → Continue to Question 3, Floodways

Coastal High Hazard Area (V Zone) → Continue to Question 4, Coastal High Hazard Areas

500-year floodplain (B Zone or shaded X Zone) → Continue to Question 5, 500-year Floodplains

100-year floodplain (A Zone) → The 8-Step Process is required. Continue to Question 6, 8-Step Process

**3. Floodways**

**Is this a functionally dependent use?**

Yes

The 8-Step Process is required. Work with HUD or the RE to assist with the 8-Step Process.  
→ Continue to Worksheet Summary.

No → *Federal assistance may not be used at this location unless an exception in 55.12(c) applies. You must either choose an alternate site or cancel the project.*

#### 4. Coastal High Hazard Area

**Is this a critical action such as a hospital, nursing home, fire station, or police station?**

Yes → *Critical actions are prohibited in coastal high hazard areas unless an exception in 55.12(c) applies. You must either choose an alternate site or cancel the project.*

No

**Does this action include new construction that is not a functionally dependent use, existing construction (including improvements), or reconstruction following destruction caused by a disaster?**

Yes, there is new construction of something that is not a functionally dependent use.  
New construction must be designed to FEMA standards for V Zones at 44 CFR 60.3(e)  
(24 CFR 55.1(c)(3)(i)).  
→ Continue to Question 6, 8-Step Process

No, this action concerns only existing construction.

Existing construction must have met FEMA elevation and construction standards for a coastal high hazard area or other standards applicable at the time of construction.

→ Continue to Question 6, 8-Step Process

#### 5. 500-year Floodplain

**Is this a critical action?**

No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Continue to the Worksheet Summary below.*

Yes → Continue to Question 6, 8-Step Process

#### 6. 8-Step Process.

**Is this 8-Step Process required? Select one of the following options:**

8-Step Process applies.

This project will require mitigation and may require elevating structures or structures. See the link to the HUD Exchange above for information on HUD's elevation requirements.

→ *Work with the RE/HUD to assist with the 8-Step Process. Continue to Worksheet Summary.*

5-Step Process is applicable per 55.12(a)(1-3).

**Provide the applicable citation at 24 CFR 55.12(a) here.**

[Click here to enter text.](#)

→ *Work with the RE/HUD to assist with the 5-Step Process. Continue to Worksheet Summary.*

8-Step Process is inapplicable per 55.12(b)(1-4).

**Provide the applicable citation at 24 CFR 55.12(b) here.**

Click here to enter text.

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.

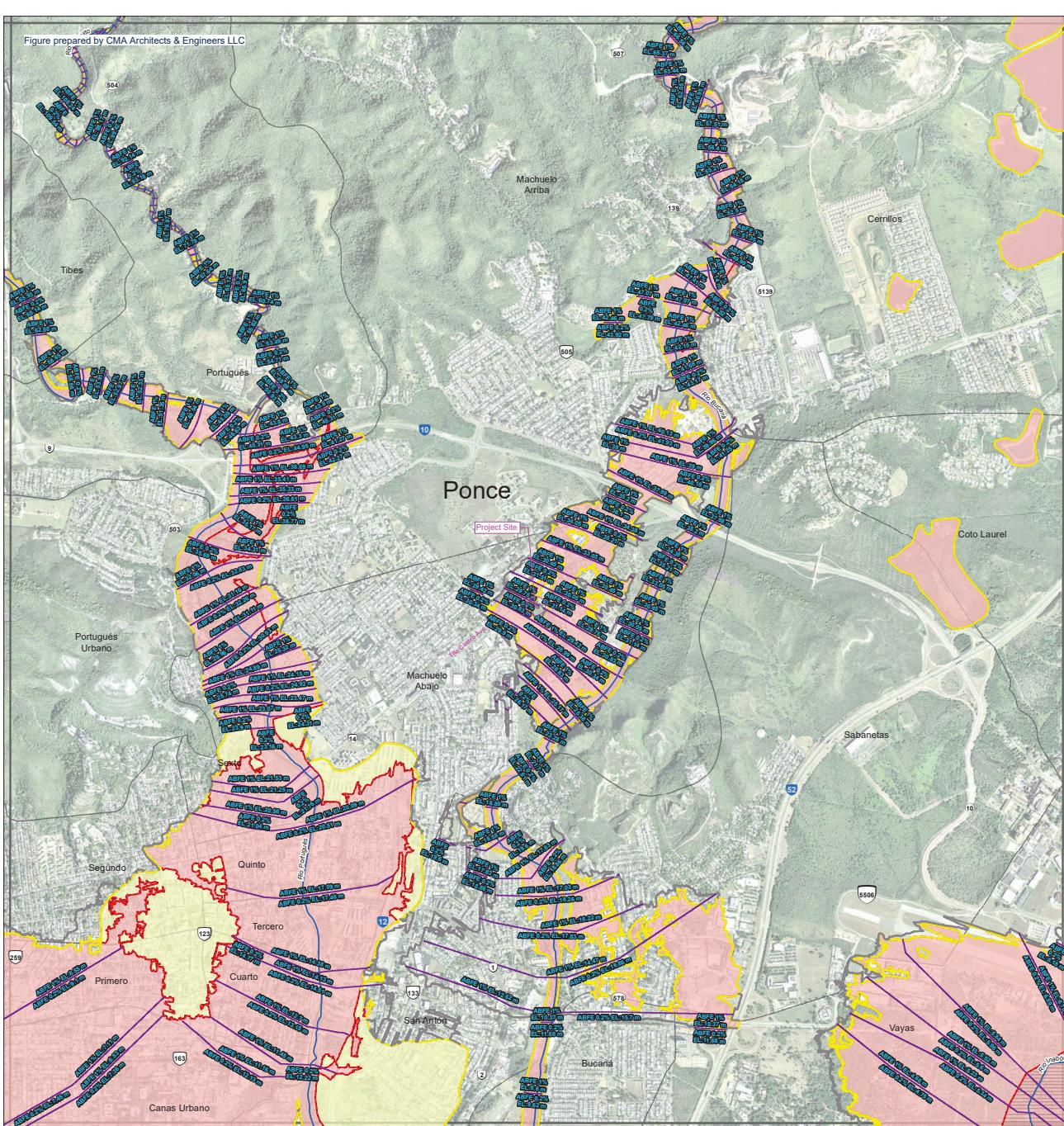
### **Worksheet Summary**

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

### **Include all documentation supporting your findings in your submission to HUD.**

The Advisory Base Flood Elevation (ABFE) map for the project area shows flood elevations that vary from 29.43 to 30.83 meters MSL. The site topographic map shows that the site elevations vary from 28.13 to 31.08 meters MSL. Sections to the northeast and to the southwest of the site are located at the 100 years floodplain. Puerto Rico Planning Board regulations state that buildings located at floodplains could be constructed at the 100-year floodplain if the structures are located above the ABFE. The buildings of the proposed project will be constructed above ABFE. Copy of the ABFE map and topographic plan are included.



### MAPAS DE NIVELES DE INUNDACIÓN BASE RECOMENDADOS

Estos mapas de niveles de inundación base recomendados (Advisory Maps) desarrollados por FEMA para Puerto Rico identifican que áreas se encuentran en nuevas zonas inundables recomendadas del 1% y 0.2% de probabilidad, así como niveles de inundación base recomendados (ABFE, por sus siglas en inglés) que pueden afectar las prácticas de construcción.

Como parte del esfuerzo de recuperación de la Isla, estos mapas son una herramienta para las agencias, los desarrolladores, diseñadores, técnicos de permisos de construcción, oficiales federales, estatales y municipales y dueños de propiedad, para tomar decisiones informadas de manera que se mitigue por eventos de inundación, se proteja la vida y propiedad, así como la inversión pública y privada.

El propósito de estos mapas es asesorar sobre como las nuevas construcciones, reconstrucciones y mejoras sustanciales deben ser elevadas o diseñadas para minimizar los daños por inundaciones futuras, en base a la mejor información disponible. Además, busca orientar a la ciudadanía sobre el riesgo a inundación al que pudiera estar expuesto.

Para información sobre cómo estos mapas fueron desarrollados y sus limitaciones, puede acceder al documento "Puerto Rico Advisory Data and Products" disponible en la página web de la Junta de Planificación.

Recuerde que antes de una construcción, usted debe consultar con los funcionarios de las oficinas municipales de permiso, las oficinas regionales de permisos (OGPe) o con la Junta de Planificación para determinar las elevaciones obligatorias para su hogar, negocio u otra propiedad.

### NOTAS

1. Elevaciones medidas en metros relativos al Puerto Rico Vertical Datum de 2002 (PRVD02)

2. Zonas identificadas como A costera o áreas afectadas por acción moderada de las olas (MoWA, por sus siglas en inglés) muestran las áreas donde la altura de la ola fluctúa entre 1.5 a 3 pies. Nueva construcción o mejora sustancial en estas zonas debe utilizar los parámetros establecidos para las zonas VE en el Reglamento de Planificación Núm. 13, vigente, Reglamento sobre Áreas Especiales de Riesgo a Inundación. Puede accederlo en el siguiente enlace <http://jpr.gov/Reglamentos/Relamentos-Planificación>.

### UTILIZACIÓN

Las elevaciones mostradas en estos mapas son consideradas la mejor información disponible hasta que se desarrollen Mapas de Tasas del Seguro de Inundación (FIRM, por sus siglas en inglés) actualizados.

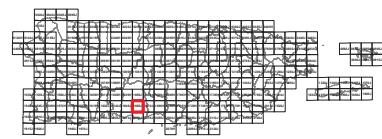
Estos mapas NO han sido desarrollados para tomar

determinaciones respecto al seguro de inundación del Programa Nacional del Seguro de Inundación (NFIP, por sus siglas en inglés). Para propósitos del seguro de inundación, se debe hacer referencia a los FIRMs vigentes para Puerto Rico y disponibles en <http://msc.fema.gov> o en la herramienta MIPR de la Junta de Planificación (<http://gis.pr.gov/mipr/>)

### LEYENDA

	Hidrografía
	Nivel de Inundación Base Recomendado
	Límite de Acción Moderada de la Ola (LIMWA)
	1% Probabilidad Anual de Inundación
	0.2% Probabilidad Anual de Inundación
	Límite ABFE
<b>Zona Inundable</b>	
	0.2% Probabilidad Anual de Inundación
	A
	AE
	AO
	A Costera
	VE
	Cauce Mayor
	Panel
	Límite Municipal
	Límite de Barrio

### MAPA DE REFERENCIA



Fecha de mapa (pdf): 25 mayo/2018



0 20 40 60 80 100 120 140 160 Kilómetros



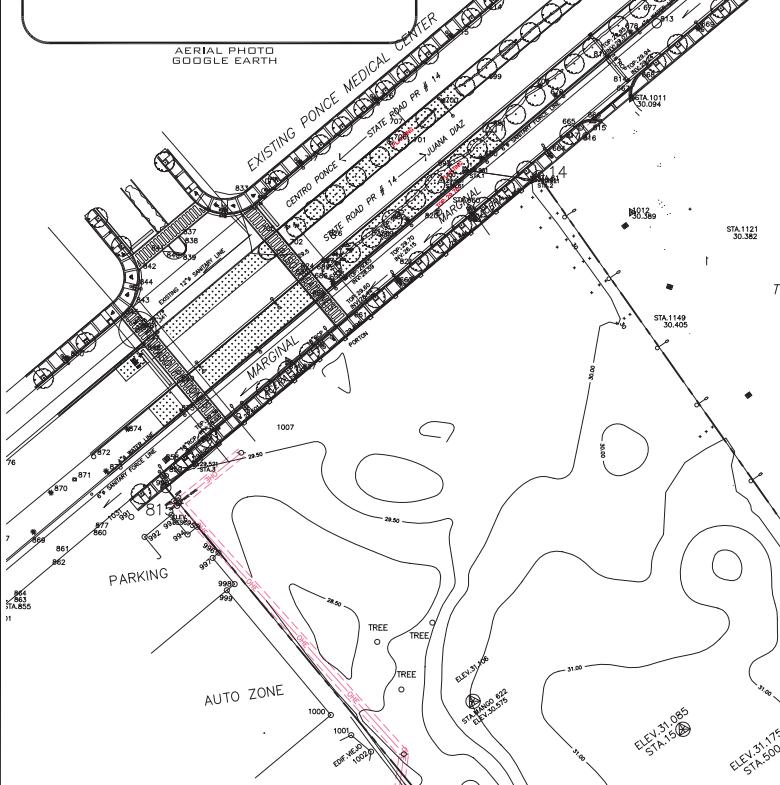


LOCATION PLAN  
SCALE: 1:20,000  
TOPOGRAPHIC QUADRANGLE  
PONCE, P.R.

ADVISORY MAP  
MAP NUMBER: 7200001665J  
PONCE, PUERTO RICO  
NOT TO SCALE

\OneDrive\Documents\victorio\western\_bank\FotoAerea.  
SITE

AERIAL PHOTO  
GOOGLE EARTH



SURVEY DATA					
POINT	LINE	(Y) NORTH	(X) EAST	DISTANCE	BEARINGS
815	---	221716.8189	182917.9305	---	---
14	815-14	221784.3384	182998.5656	105.171	N 50°03'32" E
17	14-17	221684.3822	183066.1496	117.368	S 35°09'28" E
19	17-19	221695.9008	183077.6922	13.251	N 59°50'05" E
802	19-802	221695.9008	183077.6922	13.251	N 59°50'05" E
3	802-3	221699.0663	183086.5237	8.854	N 66°19'24" E
1	3-1	221660.7944	183096.9941	39.678	S 15°18'02" E
2	1-2	221639.8996	183106.9359	23.148	S 25°26'05" E
106	2-106	221629.8896	183109.9376	99.851	S 50°27'49" E
805	106-805	221716.5619	182910.3200	99.851	S 50°27'49" E
815	805-815	221716.8189	182917.9305	192.237	N 39°32'12" D

AREA = 19671.7541 sq mt. =D= 5.0050 coos.

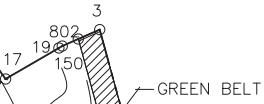
MILLENIUM  
TOWER CORP.

CONTROL STATIONS			
STATION	(Y) NORTH	(X) EAST	ELEVATION
3	217171.9602	182924.3234	29.581 STA CLAVD
61	217183.3242	182977.5774	29.921 STA CLAVD

#### SURVEY DATA GREEN BELT

POINT	LINE	(Y) NORTH	(X) EAST	DISTANCE	BEARINGS	DESCRIPTION
153	---	221622.1242	183105.1943	---	---	To be established
106	153-106	221625.7587	183109.5976	5.710	N 50°27'48" E	METAL RRD
2	106-2	221639.8896	183106.9359	14.379	N 10°40'02" D	EXISTING TREE
1	2-1	221640.8896	183106.9359	14.379	N 10°40'02" D	EXISTING TREE
3	1-3	221699.0663	183086.5237	39.678	N 15°18'02" D	METAL RRD
150	3-150	221697.0368	183081.8952	5.054	S 66°19'24" D	To be established
829	150-829	221659.0474	183096.2984	39.385	S 15°18'02" D	To be established
152	829-152	221638.3274	183108.1423	22.944	S 25°26'05" E	To be established
153	152-153	221622.1242	183105.1943	16.488	S 10°40'02" E	To be established

AREA = 390.0589 sq mt. =D= 0.0992 cdo.



**PUERTO RICO DEPARTMENT OF HOUSING CDBG-DR PROGRAM  
INVESTMENT PORTFOLIO FOR GROWTH PROGRAM**

**HOTEL FLEMING FLOODPLAIN MANAGEMENT 8-STEP DECISION-MAKING PROCESS**

**Hotel Fleming - Ponce, Puerto Rico, USA**

- Carr PR#14 (Tito Castro Avenue), Km 3.7 Machuelo Abajo Ward, Ponce (Cadastral #365-000-008-45) Coordinates: X = 182999.162m, Y = 221682.388m
- Decision Process for E.O. 11988 as Provided by 24 CFR §55.20
- 24 CFR § 55.12 - Inapplicability of 24 CFR part 55
- CDBG-DR Program (Project No. PR-IPG-000581)

***Step 1: Determine whether the action is in a 100-year floodplain (or a 500-year floodplain for critical activities) or wetland.***

According to FEMA FIRM, 72000C1665J eff. 11/18/2009, the project is located in the Flood Plain in zone X (100%). In 2018, after Hurricane María, the Puerto Rico Planning Board revised the maps for the ABFE (effective 13/03/2018 and designated the area as X zone with 2.73 acres within zone A. The Advisory Base Flood Elevation (ABFE) map for the project area shows flood elevations that vary from 29.43 to 30.83 meters MSL. The site topographic map shows that the elevations range from 28.13 to 31.08 meters MSL. Sections to the site's northeast and southwest are located at the 100 years floodplain. Puerto Rico Planning Board states that buildings located at floodplains could be constructed at the 100-year floodplain if the structures are located above the ABFE. The buildings of the proposed project will be built above ABFE. Copy of the ABFE map and topographic plan are included; also, the FIRM is attached to this document. No wetland areas are within or near the proposed site, as stated in the United States Fish and Wildlife Wetland Mapper Tool (accessed May 8, 2023 - <https://fwsprimary.wim.usgs.gov/wetlands/apps/wetlands-mapper/>). The existing vegetation in the area is typical of a highly impacted urban setting where the planting of exotic species is common.

This project proposes Fleming Hotel LLC proposes to develop a 21,255,360 square meter plot of land located at kilometer 3.7 of highway PR-14 (Ave. Tito Castro), Barrio Machuelo Abajo, in the municipality of Ponce. A commercial and tourist project called One Plaza Business Center is proposed on said property. The project comprises a 130-room Hampton by Hilton flag hotel on eight levels and approximately 83,000 square feet of construction. It will have the following amenities: a restaurant, activity rooms, a swimming pool, and a gym. A 4,000-foot one-story retail and restaurant building. Plus, a 52,000-foot office building on five levels. Ample parking will be built for all operations. The total area disturbed by the proposed improvements (remove and replace) will be approximately 5.25 acres.

This project is (a) demolition, (b) improvement, and (c) new construction of an affordable urban boutique hotel, and for these reasons, E.O. 11988- Floodplain Management and E.O. 11990- Wetlands Protection apply to the proposed project. This project meets some of the exceptions at 24 CFR 55.12. It, therefore, requires an 8-step analysis of the direct and indirect impacts associated with the construction, occupancy, and modification of the floodplain and wetland.

The project will provide vital business opportunities for the economically challenged city of Ponce. There has been an increase in the demand for hotel room alternatives within the southern region. The proposed project fits the objectives of Ponce's Territorial Plan of urban redevelopment to address the lack of urban space for new business opportunities. The coastal zona is located approximately one kilometer from the

coast, and the project is located 6.45 km from the coast of Ponce. The goal of the project is to provide tourists with an experience of the culture, history, and architecture of the urban environment where it is located; simultaneously, a synergy is created to revitalize the old urban centers economically. It also preserves the stock of hotel rooms in the region. The Río Bucaná Portugues system has been a natural floodplain for many years. Therefore, this analysis will consider impacts on the floodway and concerns for loss of life and property.

**Step 2: Notify the public for early proposal review and involve the affected and interested people in decision-making.**

On June 02, 2021, the project was presented to the Municipal Permit Committee for review and consideration under the existing state regulations delegated to the city. On June 09, 2021, the owner received a Resolution from Ponce's Office of Permits (case# 2020-349264-CCO-005879) as part of a Construction Consultation Process to obtain comments for the proposed project.

Also, a public notice describing the project was published in the Primera Hora, a major distribution newspaper, on April 19, 2023. The ad targeted residents, including those in the floodplain. A copy of the published notification was kept in the project's environmental review records and attached to this document. The required 15 calendar days were allowed for public comment. As required by regulation, the notice also included the name, proposed location and description of the activity, the total number of floodplain acres involved, and the HUD official or responsible entity contact for information as well as the location and hours of the office at which a complete description of the proposed action can be viewed.

**Step 3: Identify and evaluate practicable alternatives.**

The Hotel Fleming project site selection criteria are:

The project cannot cause residents from downtown Ponce to become displaced.

- a. The project must comply with the PRTC and PRDH Guidelines;
- b. All rooms provide affordable rates;
- c. The site has access to public transportation and infrastructure for people with disabilities.

The proponent considered several alternative sites and actions believed to satisfy these requirements:

A. Locate the Project as planned:

The project site has an idle property that is considered blighted property. This site meets the requirements of the state Department of Housing to provide affordable hotel rooms and does not displace residents. The project also meets the community's needs for hotel rooms. Due to its location, the Municipality of Ponce has unique planning considerations and territorial limitations. The activity as proposed will not cause damage to the floodplain and its natural functions due to the existing environmental conditions of the area. To address the need to construct an AE Zone, the design incorporates improvements to increase the base flood elevation (BFE), protecting human life and local and federal investment. The cost of elevation and maintaining flood insurance for the building in the AE Zone is practicable. This plan will not require filling wetlands or modifying the watershed.

This site is convenient for metro buses and provides excellent access to government buildings, retail, and services, a desirable asset for the potential occupants. There are also medical services within walking distance.

**B. Obtain a Letter of Map Amendment (LOMA) or Letter of Map Revision (LOMR)**

Although Hotel Fleming has not applied for a LOMA, the elevation information certified by a Licensed Land Surveyor/Registered Professional Engineer indicated that the lowest adjacent grade (the lowest ground touching the structure) was not at or above the BFE, so the site was not eligible. A LOMR-F request was also considered but not pursued due to a local policy forbidding filling in the floodplain due to its impact on other property owners.

**C. Locate the Project south of Emilio Fargot Avenue**

The proponent had considered alternative sites north of Tito Castro Avenue. The town of Ponce was established over 200 years ago in a flooding-prone area. When searching the Planning Board and DNER databases, there are almost no alternatives to locate the proposed action. Surrounding the urban Centre of Ponce are the Bayagán and Bucaná-Portugués rivers, with watersheds expanding more than 1,000 acres. The cost of the mitigating measures for these environmental impacts and endangered species habitat made the site prohibitively expensive to develop. The required fill and soil stabilization would nearly double the development cost.

**D. No Action or Alternative Actions that Serve the Same Purpose**

A no-action alternative was considered and rejected because the Puerto Rico Department of Tourism and US Census data found the area in dire need of affordable hotel alternatives. In the last two years, the property market in Puerto Rico has increased exponentially, aggravating the lack of reasonable alternatives in many cities, including Ponce, forcing residents to relocate to the countryside far from job opportunities. Having hotel alternatives is critical to serving low and medium-income families city-wide. The current property inventory around the Ponce area does not provide better acquisition opportunities. Other sites were also considered within the city limits. All of the sites would have either displaced residents who were unwilling to sell within the acquisition budget or would have placed the project on areas encumbered by wetlands, soil contamination, or other more significant development costs.

Also, during the project's planning phase, the need to serve the health services market was identified by opening the largest clinic in the Caribbean at the Ponce School of Medicine. Said health school is investing some 70 million dollars in expanding its facilities to provide more doctors and health specialties. The Hotel Fleming project is aimed at supporting this medicine and science corridor. A lot was identified in front of the San Lucas Hospital and adjacent to the Veterans Clinic. The hotel will help create synergy between these components. Locating the proposed project in another area would have a different effect due to the distances and conditions of other properties that would not make it feasible.

***Step 4: Identify Potential Direct and Indirect Impacts Associated with Floodplain Development.***

Leaving the project at PR#14 (Tito Castro Avenue) Km 3.7 will have minimal impacts on the floodplain. A hydrological and Hydraulic Study (H-H) was completed as part of the design for the new hotel. The H-H Study included the design and construction of detention structures to reduce the amount of discharge to a level that impacts downstream are minimized. The design also reduces potential damage to the

property due to flooding. The flood-control project for the Bucaná-Portugués River was completed, and the area is unlikely to be flooded by storm surges. No structures or improvements will be in the floodway.

The highest priority of this review is to prevent the loss of life. FEMA estimates that it would take a warning time of between five and seven hours to evacuate people from the area safely. The additional elevation will also help to protect the financial investment.

The city of Ponce is a member of the National Flood Insurance Program, and structures in the flood zone must comply with the local flood ordinance. HUD requires projects in the floodplain to maintain flood insurance for the life of the property. Besides concerns for life and property, the city considered the natural and beneficial values of the floodplain. The natural resources of the floodplain include coastal water, wetland, and biological and societal resources.

The construction will have minimal effects on water resources by managing stormwater runoff in and around the floodplain. The design contains runoff water from the project to avoid causing nearby flooding properties.

On April 12, 2022, the United States Fish and Wildlife Service issued a concurrence letter that the construction of the Fleming Hotel will have no quantifiable impact on plant and animal life. Only native plants will be used in the floodplain and on the site. Due to the distance of the project to the Río Bucaná Portugués Estuary Wetland Area, there will be no costs because fill and compensatory mitigation are not required.

Societal resources were also considered during the design process. The designs complement the area's natural features and offer an aesthetically pleasing structure. The site will not affect agricultural lands, and efforts have been made to add proper landscape according to the US Building and state code.

***Step 5: Where practicable, design or modify the proposed action to minimize the potential adverse impacts to lives, property, and natural values within the floodplain and to restore and preserve the importance of the floodplain.***

(a) Preserving Lives: To maintain lives, Ponce's Office of Municipal Emergency Management and Municipal Police and the Emergency Broadcast System has implemented an early warning system should flooding conditions arise. In addition to the warning system, Ponce has an emergency evacuation and relocation plan. The existing structures will also be marked with past and estimated flooding identification marks, and the common interior areas will display an evacuation plan. All residents will also be briefed on the location of the flood hazard area and evacuation plans upon placement.

(b) Preserving Property: To protect property, flood insurance will also be acquired and maintained to mitigate possible flood damage. The structures have been designed to withstand floods, and all construction will use flood-resistant materials consistent with FEMA bulletins (see <https://www.fema.gov/media-library/assets/documents/2655?id=1580>).

(c) They are preserving Natural Values and Minimizing Impacts: The site condition described in Step 3 reduced floodplain impacts and prevented new construction from occurring in the floodplain. The structure will have minimal water resources by modifying the site's stormwater and runoff management system. The floodplain's impact will also be limited due to construction within the previously developed area. In addition to prohibiting impervious surfaces in and directly around the floodplain, the floodplain

was preserved by avoiding additional construction. Ponce is a coastal town, and implementation activities will occur within the project area to educate residents on the importance of conservation practices to prevent solid waste and other sources of pollution from reaching the neighboring Ponce Bay. Additionally, the city works with local organizations to educate the residents on protecting Ponce's coastal environment.

#### **Step 6: Reevaluate the Alternatives.**

Although the Southern Section site is considered AE, the project has been adapted to minimize floodplain values. Additionally, steps were taken to reduce human life and property risks, including evacuation plans, construction methods, and flood insurance. This new building complex has room for increasing BFE elevations within the new construction. The firm in charge of the design reviewed the alternatives to address potential flooding scenarios. The Hydraulic and Hydrology study addressed the most critical flooding scenarios; the state government allows the hotel's structure. Due to state regulation, the developer alone will bear the costs of maintaining the statutorily required flood insurance premiums for the structure's life following the Flood Disaster Protection Act of 1973.

The costs of considering other alternatives around the area are problematic mainly due to the high price of available properties and the scarcity of land suitable for development. Many regions within Ponce have flooding problems and poor stormwater infrastructure. The stormwater runoff costs here are worse than those of the Southern Section of PR#14 (Avenida Tito Castro km 3.7). For more than three decades, communities around the Fleming Hotel site have been experiencing severe flooding due to construction near the banks of the Bucaná-Portugués and the coastal estuary. The Puerto Rico Department of Natural and Environmental Resources worked extensively with the US Army Corps of Engineers for over 30 years to design and acquire lands to construct the Río Bucaná-Portugués Flood Control Project. This project provides much-needed relief for the local communities. The cost of the mitigating measures for these environmental impacts and endangered species habitat made other sites prohibitively expensive to develop. The amount of fill and soil stabilization required would cost dozens of millions of dollars, which significantly exceeds the cost of the Fleming Hotel site.

Historically, new hotel rooms in southern Puerto Rico have been needed, and the Ponce – Yauco Corridor lacks affordable hotel alternatives. Due to the lack of available land and properties, contamination, wetland, financial costs, and other concerns, as well as the requirement that the project is constructed within city limits due to state regulations, the Fleming Hotel site is the only location that satisfies these needs and concerns without displacing residents, businesses or severely impacting the environment. The no-action alternative is also impracticable because it will not fulfill the need to provide affordable hotel options inside the urban setting of Ponce.

#### **Step 7: Determination of No Practicable Alternative**

Hotel Fleming determines that there is no practicable alternative for locating the project outside the proposed area. This is due to 1) the need to provide affordable hotel rooms and services to low and medium-income working families; 2) the state requirements to construct within city limits; 3) the desire to not displace residents; 4) the need to construct an economically feasible project; 5) the site's access to public transportation and schools; and 6) the ability to mitigate and minimize impacts on human health, public property, and floodplain values.

The approved site construction consultation based on guidance documents, planning documents, and required studies support the decision of why the project must be located in zone X and AE, offers a list

of alternatives considered in Steps 3 and 6, and describes all mitigation measures at Step 5 taken to minimize adverse impacts and preserve natural and beneficial floodplain values. The site construction consultation approval is included as a support document. The public expressed no concerns concerning this site construction consultation.

**Step 8: *Implement the Proposed Action***

Fleming Hotel will ensure that this plan, as described above, is executed, and necessary language will be included in all agreements with participating parties. The Office of Permit Management for the Municipality of Ponce will also actively monitor the construction process to ensure no unnecessary impacts or risks are taken. Ponce will monitor the flood insurance requirement for the life of the property by listing the city as an interested party of the flood insurance application and placing a covenant on the property that lasts for the useful life of the structure.

**ESTADO LIBRE ASOCIADO DE PUERTO RICO  
MUNICIPIO AUTÓNOMO DE JUNCOS  
APARTADO  
JUNCOS, PUERTO RICO 00777**



Tel. (787) 333-6085  
Ext. 210,212,213,299

**ORDENANZA NÚMERO 20 SERIE 2022-2023**

**PRESENTADA POR: ADMINISTRACIÓN  
UNDÉCIMA REUNIÓN DE LA PRIMERA SESIÓN ORDINARIA**

\*\*\*\*\*

**ORDENANZA DE LA ADMINISTRACIÓN MUNICIPAL DE JUNCOS, PUERTO RICO PARA AUTORIZAR AL ALCALDE, HONORABLE ALFREDO ALEJANDRO CARRIÓN A IMPLANTAR EL REGLAMENTO DE COMPRAS, BIENES Y SUMINISTROS DEL MUNICIPIO DE JUNCOS; Y PARA OTROS FINES:**

\*\*\*\*\*

**Si alguna persona desea copia de esta podrá pasar por la oficina de la Legislatura Municipal del Municipio Autónomo de Juncos en horarios laborables.**

**aviso público**

Aviso Preliminar y Revisión Pública de una Actividad Propuesta en una Llanura de Inundación de 100 años

Hampton Inn/Fleming Hotel  
PR-IPG-000581

A: Todas las partes interesadas, grupos e individuos

Este aviso notifica que el Departamento de la Vivienda de Puerto Rico (Vivienda) ha determinado que la siguiente acción propuesta bajo el Programa de Cartera de Inversión en Desarrollo Económico (IPC, por sus siglas en inglés), Subvención en Bloque para el Desarrollo Comunitario – Recuperación ante Desastres (CDBG-DR), números de subvención B-17-DM-72-0001 y B-18-DR-72-0001, se encuentra en una llanura de inundación de 100 años. Vivienda estará evaluando e identificando alternativas prácticas para realizar la acción propuesta y el impacto potencial en la llanura de inundación debido a la acción propuesta, según establecido por la Orden Ejecutiva 11988, de acuerdo con las regulaciones de HUD en 24 CFR 55.20 Subparte C - Procedimientos para tomar determinaciones sobre el manejo de las llanuras aluviales y la protección de humedales. El proyecto propuesto, PR-IPG-000581, se encuentra dentro de un municipio que sufrió daños debido a los huracanes Irma y María, y está localizado en la carretera PR-14, km 3.7, bo. Machuelo Abajo, Ponce, PR 00617. La actividad propuesta está situada en una zona de inundación A con cabida de aproximadamente 2.73 acres. El área del proyecto se encuentra en el Flood Insurance Rate Map (FIRM) 72000C1665J, revisado el 18 de noviembre de 2009, como se indica en el Centro de Servicio de Mapas de Inundaciones de FEMA en <https://msc.fema.gov/portal/home>.

El objetivo del proyecto consiste en desarrollar un predio de terreno y la construcción de un proyecto comercial y turístico denominado One Plaza Business Center. El proyecto comprende de un hotel de la marca Hampton by Hilton de 130 habitaciones con 8 niveles y aproximadamente 83,000 pies cuadrados de construcción. Contará con las siguientes amenidades: restaurante, salones de actividades, piscina, gimnasio, entre otros. Además, contará con un edificio de un nivel de 4,000 pies para locales comerciales y restaurantes, y un edificio de oficinas de 52,000 pies con 5 niveles. Se construirá un amplio estacionamiento para todas las operaciones. El área total alterada por las mejoras propuestas (eliminar y reemplazar) será de aproximadamente 5.25 acres. El proyecto propuesto ofrecerá servicios complementarios a los ya ofrecidos en el sector. Se proponen utilizar un predio ya preparado que está vacante para el desarrollo dentro de un sector urbano, un bodega entre dos usos comerciales. El edificio de oficinas ofrecerá espacios para la ubicación de empresas de servicios en una localidad céntrica que ya cuenta con excelentes accesos e infraestructura. El hotel servirá tanto a visitantes de la ciudad de Ponce y sus pueblos aledaños como a personas que necesiten pernoctar cerca del hospital San Lucas. El proyecto se llevará a cabo por etapas. En total, se proponen 134,675 pies cuadrados de construcción.

Este aviso tiene tres propósitos principales. En primer lugar, las personas que puedan verse afectadas por las actividades en las llanuras aluviales y aquellos que tengan interés en la protección del ambiente natural deben tener la oportunidad de expresar sus inquietudes y proveer información sobre estas áreas. Se exhorta a la comunidad a ofrecer ubicaciones alternas fuera de las llanuras aluviales, métodos alternos para cumplir el mismo propósito del proyecto y métodos para minimizar y mitigar los impactos. Segundo, un programa adecuado de avisos públicos puede ser una herramienta importante para la educación pública. La divulgación de información sobre las llanuras aluviales puede facilitar y mejorar los esfuerzos federales por reducir los riesgos e impactos asociados con la ocupación y alteración de estas zonas especiales. Tercero, como materia de justicia, cuando el gobierno federal determine participar en acciones ubicadas en las llanuras aluviales, debe informárselo a quienes puedan ser expuestos a un riesgo mayor o similar al presente.

Vivienda considerará todos los comentarios recibidos en o antes del 15 de julio de 2023. Pueden enviar los comentarios de forma impresa a la siguiente dirección: Departamento de la Vivienda de Puerto Rico, edificio Juan C. Cordero Dávila, 606 avenida Barbosa, Rio Piedras, PR 00918-8461, Atención: Santa D. Ramírez-Lebrón, Especialista en Permisos y Cumplimiento Ambiental. Una descripción completa del proyecto está disponible al público para revisión de 8:30 a. m. a 4:00 p. m. en el Departamento de la Vivienda de Puerto Rico, edificio Juan C. Cordero Dávila, 606 avenida Barbosa, Rio Piedras, PR 00918. El número para obtener información es (787) 274-2527, ext. 6654. Como alternativa, también pueden enviar los comentarios a Vivienda por medio electrónico a [environmentcdbg@vivienda.pr.gov](mailto:environmentcdbg@vivienda.pr.gov).

Fecha: 30 de junio de 2023

  
Lcdo. William O. Rodríguez Rodríguez  
Secretario del Departamento de la Vivienda

DEPARTAMENTO DE LA VIVIENDA |  vivienda.pr.gov

To: All Interested Parties, Groups, and Individuals

Early Notice and Public Review of a Proposed Activity in the 100-Year Floodplain

Hampton Inn/Fleming Hotel  
PR-IPG-000581

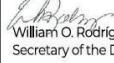
This is to give notice that the Puerto Rico Department of Housing (PRDOH) has determined that the following proposed action under the PRDOH Community Development Block Grant – Disaster Recovery (CDBG-DR), Investment Portfolio for Growth Program, grant numbers B-17-DM-72-0001 and B-18-DR-72-0001, is located in the 100-year floodplain. PRDOH will be identifying and evaluating practicable alternatives to locate the action in the floodway and the potential impacts on the floodplain from the proposed action, as required by Executive Order 11988, in accordance with HUD regulations in 24 CFR 55.20 Subpart C - Procedures for Making Determinations on Floodplain Management and Protection of Wetlands. The proposed project, PR-IPG-000581, is within a municipality with structures damaged by hurricanes Irma and María and is located on Road PR-14, km 3.7, Machuelo Abajo Ward, Ponce, PR 00617. The proposed activity is situated in flood zone A with dimensions of approximately 2.73 acres. The floodplains in the project area can be found in the Flood Insurance Rate Map (FIRM) 72000C1665J, revised on November 18, 2009, as shown in the FEMA Flood Map Service Center on <https://msc.fema.gov/portal/home>.

The objective of the project consists in the development of a plot of land and the construction of a commercial and tourist project called One Plaza Business Center. The project comprises a 130-room Hampton by Hilton flag hotel with 8 levels and approximately 83,000 square feet of construction. It will have the following amenities: a restaurant, activity rooms, a swimming pool, and a gym. Also, it will have a 4,000-foot one-story retail and restaurant building, and a 52,000-foot office building with 5 levels. Ample parking will be built for all operations. The total area disturbed by the proposed improvements (remove and replace) will be approximately 5.25 acres. The proposed project will offer complementary services to those already provided in the sector. It is proposed to use a property already prepared for development that is vacant within an urban sector, a pocket between two commercial uses. The office building will offer spaces for the location of service companies in a central location that already has excellent access and infrastructure. The hotel will serve visitors from Ponce and its surrounding towns and people who must stay overnight near the San Lucas Hospital. The project will be carried out in stages. In total, 134,675 square feet of construction are proposed.

There are three primary purposes for this notice. First, people who may be affected by activities in floodplains and those who have an interest in the protection of the natural environment should be given an opportunity to express their concerns and provide information about these areas. Commenters are encouraged to offer alternative sites outside of the floodplains, alternative methods to serve the same project purpose, and methods to minimize and mitigate impacts. Second, an adequate public notice program can be an important public education tool. The dissemination of information and request for public comment about floodplains can facilitate and enhance federal efforts to reduce the risks and impacts associated with the occupancy and modification of these special areas. Third, as a matter of fairness, when the federal government determines it will participate in actions taking place in floodplains, it must inform those who may be put at greater or continued risk.

PRDOH will consider all comments received on or before July 15, 2023. Written comments can be sent to the following address: Puerto Rico Department of Housing, 606 Barbosa Avenue, Juan C. Cordero Dávila Building, Rio Piedras, PR 00918-8461, Attention: Santa D. Ramírez-Lebrón, Permits and Environmental Compliance Specialist. A complete description of the project is available to the public for review from 8:30 a. m. to 4:00 p. m. at the Puerto Rico Department of Housing, 606 Barbosa Avenue, Juan C. Cordero Dávila Building, Rio Piedras, PR 00918. The number to get information is (787) 274-2527, ext. 6654. In the alternative, comments may also be sent to PRDOH by email to [environmentcdbg@vivienda.pr.gov](mailto:environmentcdbg@vivienda.pr.gov).

Date: June 30, 2023

  
William O. Rodríguez Rodríguez, Esq.  
Secretary of the Department of Housing

 DEPARTMENT OF HOUSING

## ORGANIZA TUS COMPRAS



Visita [shop.pr](http://shop.pr) y crea listas basadas en tu presupuesto

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- ✓ Regístrate
- ✓ Crea tu lista (aquí colocarás tu límite de presupuesto)
- ✓ Añade todos los productos que necesitas





## **Andrea Curbelo-Marty**

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**From:** environmentcdbg <environmentcdbg@vivienda.pr.gov>  
**Sent:** Wednesday, July 5, 2023 9:55 AM  
**To:** Jose.A.CedenoMaldonado@hud.gov; Caribbean\_es@fws.gov; Edwin\_muniz@fws.gov; Rodriguez.elias@epa.gov; Guerrero.carmen@epa.gov; PublicMail.CESAJ-CC@usace.army.mil; Rich.Okulski@noaa.gov; Noah.Silverman@noaa.gov; nmfs.ser.esa.consultations@noaa.gov; FEMA-R4EHP@fema.dhs.gov; carubio@prshpo.pr.gov; comunicaciones@ddec.pr.gov; secretario@ddec.pr.gov; jannira.colon@ddec.pr.gov; Rivera\_r1@jp.pr.gov; comentarios@jp.pr.gov; pmzc@drna.pr.gov; eortega@drna.pr.gov; ayudaciudadano@drna.pr.gov; anais.rodriguez@drna.pr.gov  
**Subject:** Public Notice – Early Notice and Public Review of a Proposed Activity in the 100-Year Floodplain\_PRDOH Case PR-IPG-000581  
**Attachments:** Early Notice\_Primera Hora\_PR-IPG-000581.pdf

Concerned agencies,

Enclosed please find a **Public Notice – Early Notice and Public Review of a Proposed Activity in the 100-Year Floodplain** the Puerto Rico Department of Housing (as the Responsible Entity) published as part of HUD's requirements for the release of CDBG-DR funds to undertake the project Hampton Inn/Fleming Hotel (PR-IPG-000581). The Early Notice was published in the *Primera Hora* newspaper of Puerto Rico on June 30, 2023.

Respectfully,

### **Permits and Environmental Compliance Division**

Office of Disaster Recovery

[environmentcdbg@vivienda.pr.gov](mailto:environmentcdbg@vivienda.pr.gov) | 787.274.2527

Visit us: [www.cdbg-dr.pr.gov](http://www.cdbg-dr.pr.gov)

**DEPARTAMENTO DE LA  
VIVIENDA**



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## **Andrea Curbelo-Marty**

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**From:** Kenneth M. Garcia-De Leon  
**Sent:** Monday, July 17, 2023 12:10 PM  
**To:** environmentcdbg  
**Subject:** RE: Comentarios PR-IPG-000581

Saludos

Por correo postal no llegaron comentarios para mencionado proyecto.

Atentamente

### **Kenneth M. García De León**

Oficial de Radicación de Informes de Operaciones

Oficina Recuperación de Desastres

[kgarcia@vivienda.pr.gov](mailto:kgarcia@vivienda.pr.gov) | 787.274.2527 Ext. 6602

Visit us: [www.cdbg-dr.pr.gov](http://www.cdbg-dr.pr.gov)

Write us: [infocdbg@vivienda.pr.gov](mailto:infocdbg@vivienda.pr.gov)

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**From:** environmentcdbg <environmentcdbg@vivienda.pr.gov>

**Sent:** Monday, July 17, 2023 12:03 PM

**To:** Kenneth M. Garcia-De Leon <kgarcia@vivienda.pr.gov>

**Subject:** Comentarios PR-IPG-000581

Saludos Kenneth,

Con respecto a la publicación del proyecto Hampton Inn/Fleming Hotel (PR-IPG-000581) ¿habrá llegado algún comentario a través del correo postal? De ser así, por favor nos lo hace llegar.

Cordialmente,

**Permits and Environmental Compliance Division**

Office of Disaster Recovery

[environmentcdbg@vivienda.pr.gov](mailto:environmentcdbg@vivienda.pr.gov) | 787.274.2527

Visit us: [www.cdbg-dr.pr.gov](http://www.cdbg-dr.pr.gov)

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GOVERNMENT OF PUERTO RICO  
DEPARTMENT OF HOUSING

August 28, 2023

To whom it may concern,

This letter is to validate that no comments were received in the Permits and Environmental Compliance Division e-mail: [environmentcdbg@vivienda.pr.gov](mailto:environmentcdbg@vivienda.pr.gov), for the project Hampton Inn/Fleming Hotel (PR-IPG-000581), as part of the CDBG-DR Economic Development Investment Portfolio for Growth Program. The Final Notice and Public Explanation of a Proposed Activity in the 100-Year Floodplain was published in the *Primera Hora* newspaper of Puerto Rico on August 18, 2023 to August 26, 2023.

Cordially,

Permits and Environmental Compliance Division  
CDBG-DR/MIT Program  
[environmentcdbg@vivienda.pr.gov](mailto:environmentcdbg@vivienda.pr.gov) | 787.274.2527 ext. 4320



**U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT**  
WASHINGTON, DC 20410-1000

This Worksheet was designed to be used by those “Partners” (including Public Housing Authorities, consultants, contractors, and nonprofits) who assist Responsible Entities and HUD in preparing environmental reviews, but legally cannot take full responsibilities for these reviews themselves. Responsible Entities and HUD should use the RE/HUD version of the Worksheet.

## **Historic Preservation (CEST and EA) – PARTNER**

<https://www.hudexchange.info/environmental-review/historic-preservation>

### **Threshold**

#### **Is Section 106 review required for your project?**

- No, because a Programmatic Agreement states that all activities included in this project are exempt. (See the [PA Database](#) to find applicable PAs.)

**Either provide the PA itself or a link to it here. Mark the applicable exemptions or include the text here:**

The PA is included in Appendix E. Also, the Puerto Rico Institute of Culture has evaluated the project site and indicated in a letter dated February 22, 2021 that it has no objection to the project development. Copy of this letter is included.

→ *Continue to the Worksheet Summary.*

- No, because the project consists solely of activities included in a No Potential to Cause Effects memo or other determination [36 CFR 800.3(a)(1)].

**Either provide the memo itself or a link to it here. Explain and justify the other determination here:**

→ *Continue to the Worksheet Summary.*

- Yes, because the project includes activities with potential to cause effects (direct or indirect). → *Continue to Step 1.*

#### **The Section 106 Process**

After determining the need to do a Section 106 review, HUD or the RE will initiate consultation with regulatory and other interested parties, identify and evaluate historic properties, assess effects of the project on properties listed on or eligible for the National Register of Historic Places, and resolve any adverse effects through project design modifications or mitigation.

Step 1: Initiate consultation

Step 2: Identify and evaluate historic properties

Step 3: Assess effects of the project on historic properties

Step 4: Resolve any adverse effects

**Only RE or HUD staff may initiate the Section 106 consultation process. Partner entities may gather information, including from SHPO records, identify and evaluate historic properties, and make initial assessments of effects of the project on properties listed in or eligible for the National Register of Historic Place. Partners should then provide their RE or HUD with all of their analysis and documentation so that they may initiate consultation.**

## **Step 1 - Initiate Consultation**

The following parties are entitled to participate in Section 106 reviews: Advisory Council on Historic Preservation; State Historic Preservation Officers (SHPOs); federally recognized Indian tribes/Tribal Historic Preservation Officers (THPOs); Native Hawaiian Organizations (NHOs); local governments; and project grantees. The general public and individuals and organizations with a demonstrated interest in a project may participate as consulting parties at the discretion of the RE or HUD official. Participation varies with the nature and scope of a project. Refer to HUD's website for guidance on consultation, including the required timeframes for response. Consultation should begin early to enable full consideration of preservation options.

Use the [When To Consult With Tribes checklist](#) within [Notice CPD-12-006: Process for Tribal Consultation](#) to determine if the RE or HUD should invite tribes to consult on a particular project. Use the [Tribal Directory Assessment Tool \(TDAT\)](#) to identify tribes that may have an interest in the area where the project is located. Note that only HUD or the RE may initiate consultation with Tribes. Partner entities may prepare a draft letter for the RE or HUD to use to initiate consultation with tribes, but may not send the letter themselves.

**List all organizations and individuals that you believe may have an interest in the project here:**  
Click here to enter text.

→ *Continue to Step 2.*

## **Step 2 - Identify and Evaluate Historic Properties**

**Provide a preliminary definition of the Area of Potential Effect (APE), either by entering the address(es) or providing a map depicting the APE.** Attach an additional page if necessary.

Click here to enter text.

Gather information about known historic properties in the APE. Historic buildings, districts and archeological sites may have been identified in local, state, and national surveys and registers, local historic districts, municipal plans, town and county histories, and local history websites. If not already listed on the National Register of Historic Places, identified properties are then evaluated to see if they are eligible for the National Register. Refer to HUD's website for guidance on identifying and evaluating historic properties.

### **In the space below, list historic properties identified and evaluated in the APE.**

Every historic property that may be affected by the project should be listed. For each historic property or district, include the National Register status, whether the SHPO has concurred with the finding, and whether information on the site is sensitive. Attach an additional page if necessary.

Click here to enter text.

*Provide the documentation (survey forms, Register nominations, concurrence(s) and/or objection(s), notes, and photos) that justify your National Register Status determination.*

**Was a survey of historic buildings and/or archeological sites done as part of the project?**

If the APE contains previously unsurveyed buildings or structures over 50 years old, or there is a likely presence of previously unsurveyed archeological sites, a survey may be necessary. For Archeological surveys, refer to HP Fact Sheet #6, [Guidance on Archeological Investigations in HUD Projects](#).

Yes → *Provide survey(s) and report(s) and continue to Step 3.*

Additional notes:

[Click here to enter text.](#)

No → *Continue to Step 3.*

### **Step 3 - Assess Effects of the Project on Historic Properties**

Only properties that are listed on or eligible for the National Register of Historic Places receive further consideration under Section 106. Assess the effect(s) of the project by applying the Criteria of Adverse Effect. ([36 CFR 800.5](#)) Consider direct and indirect effects as applicable as per HUD guidance.

**Choose one of the findings below to recommend to the RE or HUD.**

Please note: this is a recommendation only. It is **not** the official finding, which will be made by the RE or HUD, but only your suggestion as a Partner entity.

No Historic Properties Affected

**Document reason for finding:**

No historic properties present.

Historic properties present, but project will have no effect upon them.

No Adverse Effect

**Document reason for finding and provide any comments below.**

Comments may include recommendations for mitigation, monitoring, a plan for unanticipated discoveries, etc.

[Click here to enter text.](#)

Adverse Effect

**Document reason for finding:**

Copy and paste applicable Criteria into text box with summary and justification.

Criteria of Adverse Effect: [36 CFR 800.5](#)

[Click here to enter text.](#)

**Provide any comments below:**

Comments may include recommendations for avoidance, minimization, and/or mitigation.

[Click here to enter text.](#)

*Remember to provide all documentation that justifies your National Register Status determination and recommendations along with this worksheet.*



# GOVERNMENT OF PUERTO RICO

## STATE HISTORIC PRESERVATION OFFICE

Executive Director | Carlos A. Rubio-Cancela | carubio@prshpo.pr.gov

July 6, 2023

**Lauren Bair Poche**

HORNE- Architectural Historian Manager  
10000 Perkins Rowe, Suite 610 Bldg G  
Baton Rouge, LA 70810

SHPO: 06-02-23-03 PUERTO RICO DISASTER RECOVERY, CDBG-DR INVESTMENT PORTFOLIO FOR GROWTH (IPG) PROGRAM, PR-IPG-000581, FLEMING/HAMPTON INN HOTEL, BO. MACHUELO ABAJO, TITO CASTRO AVE. (PR-14), KM 3.7, PONCE, PUERTO RICO

Dear Ms. Poche,

Our Office has received and reviewed the above referenced project in accordance with 54 USC 306108 (commonly known as Section 106 of the *National Historic Preservation Act, as amended*) and 36 CFR Part 800: *Protection of Historic Properties* from the Advisory Council on Historic Preservation.

While we concur that *Carretera Central* and the *Casilla de Caminero* are both historic properties listed and eligible for listing on the National Register of Historic Places (NRHP), respectively; we believe the project, as proposed, will have no effect on them. For that reason, a finding of **no historic properties affected**, within the project's area of potential effects, would be appropriate for this undertaking.

Please note that should the Agency discover other historic properties at any point during project implementation, you should notify the SHPO immediately. If you have any questions concerning our comments, do not hesitate to contact our Office.

Sincerely,

Carlos A. Rubio-Cancela  
State Historic Preservation Officer  
CARC/GMO/LGC



June 2, 2023

Carlos A. Rubio Cancela  
State Historic Preservation Officer  
Puerto Rico State Historic Preservation Office  
Cuartel de Ballajá (Tercer Piso)  
San Juan, PR 00902-3935

## Puerto Rico Disaster Recovery, CDBG-DR Investment Portfolio for Growth (IPG) Program

### **Section 106 NHPA Effect Determination Submittal for PR-IPG-000581, Fleming / Hampton Inn Hotel, Tito Castro Ave. (PR-14), Km 3.7, Machuelo Abajo Ward, Ponce, Puerto Rico – No Adverse Effect**

Dear Architect Rubio Cancela,

On February 9, 2018, an allocation of Community Development Block Grant - Disaster Recovery (CDBG-DR) funds was approved by the United States Department of Housing and Urban Development (HUD) under the Federal Register Volume 83, No. 28, 83 FR 5844, to assist the Commonwealth of Puerto Rico in meeting unmet needs in the wake of Hurricanes Irma and Maria. On August 14, 2018, an additional \$8.22 billion recovery allocation was allocated to Puerto Rico under the Federal Register Volume 83, No. 157, 83 FR 40314. With these funding allocations, the Puerto Rico Department of Housing (PRDOH) aims to lead a comprehensive and transparent recovery for the benefit of Puerto Rico residents. To faithfully comply with HUD's environmental requirements, the Puerto Rico Department of Housing contracted Horne Federal, LLC (HORNE) to provide environmental records review services that will support the Department's objectives for Puerto Rico Housing (PRDOH) regarding CDBG-DR.

The Investment Portfolio for Growth (IPG) Program seeks to alleviate the exacerbated economic effects of hurricanes Irma and Maria through large-scale development projects that are transformative in nature and create or retain Low-to-Moderate Income (LMI) jobs and cascading economic impacts. The IPG Program intends to award gap funding for large-scale commercial and industrial development for a broad-ranging set of economic revitalization initiatives. This may include but is not limited to the development or redevelopment of commercial, mixed-use and infrastructure projects through a significant investment to support local economy.

On behalf of PRDOH, and the subrecipient for this project, Derek Fleming, we are submitting documentation for the proposed construction of a seven-story Hampton Inn Hotel, five-story office building, and one-story retail building. The full scope is described in the NHPA Effect Determination Form, which includes mapping and photographs. We are also providing the plans for the Hampton Inn and retail building, as well as the office building as supporting documentation. It has been identified that the project area is just south of the Carretera Central, listed on the National Register of Historic Places (NRHP), and is approximately 200 meters east of a Casilla de Camineros, which is eligible for listing in the NRHP, however the prepared Effect Determination Form outlines the determination that these historic properties will not be adversely affected by the proposed project. Therefore,

based on the provided documentation, the Program requests concurrence that a determination that "No Adverse Effect" is appropriate for this undertaking.

Please contact me by email at [lauren.poche@horne.com](mailto:lauren.poche@horne.com) or phone at 225-405-7676 with any questions or concerns.

Kindest regards,



**Lauren Bair Poche, M.A.**

Architectural Historian, Historic Preservation Senior Manager

Attachments

**Subrecipient:** Derek Fleming

**Project Name:** Fleming/Hampton Inn Hotel

**Project Number:** PR-IPG-000581

**Project Location:** Tito Castro Ave. (PR-14), km 3.7 Machuelo Abajo Ward, Ponce, PR 00617

**Project Coordinates:** 18.029599, -66.593958

**TPID** (Cadastral Number): 365-000-008-45-000

**Type of Undertaking:**

- Substantial Repair  
 New Construction

**Construction Date (AH est.):** N/A

**Property Size (acres):** 4.5 acres

**SOI-Qualified Architect/Architectural Historian:** Ariel Vera, AIA

**Date Reviewed:** January 18, 2023

**SOI-Qualified Archaeologist:** Fernando Alvarado

**Date Reviewed:** May 15, 2023

In compliance with Section 106 of the National Historic Preservation Act (NHPA), the Program is responsible for identifying historic properties listed in the NRHP and any properties not listed that would be considered eligible for listing that are located within the geographic area of potential effects (APE) of the proposed project and assessing the potential effects of its undertakings on these historic properties.

### **Project Description (Undertaking)**

The project proposed by Fleming Hotel, LLC. consists in the development of three buildings:

- A 130-room hotel
- A 52,761ft<sup>2</sup> office building, and
- A Commercial building

The project is located south of the PR-14 road next to the state road PR-10 exit. The site is adjacent to the MCS Plaza Building (formerly known as the Millennium Tower building), across from the San Lucas Hospital, and near the Veterans Affairs outpatient clinic.

The proposed hotel will be flagged as Hampton by Hilton brand. Facing the hotel will be a 4,000 ft<sup>2</sup> building that will accommodate light food restaurants (health-oriented dining) and coffee shops for guests and bypasses. The Office Building is a 5-story building with 65,000 construction area, of which 52,761 ft<sup>2</sup> is a gross leasable area (GLA), and a surface parking lot with 220 spaces.

The project's potable water will be connected to the Puerto Rico Aqueduct and Sewer Authority (PRASA) system. The potable water connection will be allowed after carrying out some infrastructure works on the PR-14 state highway.

A water well will be dug on the project premises to obtain drinking water while the infrastructure is being built. Sanitary sewers will be connected to the system operated by the

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**Subrecipient:** Derek Fleming

**Project Name:** Fleming/Hampton Inn Hotel

**Project Number:** PR-IPG-000581

Puerto Rico Aqueduct and Sewer Authority (PRASA). PRASA has provided recommendations for this connection in their letter dated April 19, 2022. Electric power will be provided by a connection to the public system operated by LUMA. On March 24, 2022, LUMA issued its recommendations to provide electric service to the project. The project will be accessed through State Road PR-14, located to the north of the site. The proposed hotel and office building is part of the project decomposition of a larger development that will include a free-standing building reserved for future development.

### **Area of Potential Effects**

As defined in 36 CFR §800.16(d), the area of potential effects (APE) is the geographic area or areas within which an undertaking may directly or indirectly cause changes in the character or use of historic properties if any such properties exist. Based on this definition and the nature and scope of the Undertaking, the Program has determined that the direct APE for this project is **4.5 acres**, (0.11 mil length x 0.064 miles width) and the visual APE is the viewshed of the proposed project. It limits to the north with the Boulevard Dr. Hector Rodriguez Estape (PR 14 state highway marginal lane), to the south with the Bucana River and the current Veterans Hospital. To the east and west with offices and commercial spaces.

### **Identification of Historic Properties - Archaeology**

The project area is not located within a historical zone. However, within the APE, approximately 300 meters west of the project parcel, was identified a “casilla de caminero”, or “walkers shed”, placed alongside the PR-14 and adjacent to the Ana G. Mendez University. The “walkers sheds”, are recognizable structures protected by the Institute of Culture of Puerto Rico (ICPR), because of their historical value. These structures were constructed in the 19th century, placed every six kilometers close to the road. They were constructed along the main roads all around Puerto Rico serving as residences for those and their families who were responsible for maintaining their six kilometers of road.

The project parcel is located at 0.01 miles south of the PR-14 road (NRHP), it is considered an important urban corridor. The PR-14 previously known as, “Carretera Central”, is one of the main highways with direct access to the east entrance of Ponce’s Traditional Center. Furthermore, the project is located within a developed suburban zone, surrounded by healthcare, educational, and residential structures. The road section (PR 14 KM. 3.7) in the APE has been remodeled and expanded, building four lanes and one marginal lane named Boulevard Dr. Hector Rodriguez Estape. Removing part of the scenic importance of the road, compared to its original use. The project under study is located next to this marginal street, not necessarily adjacent to PR #14. The area surrounding the proposed project is highly active, mainly caused by the San Lucas Hospital and the surrounding healthcare buildings. The hospital is considered one of the largest healthcare districts in southern Puerto Rico. In addition, within reach, is placed the recently constructed Veterans Outpatient Clinic, increasing the urban growth of the area.

**Subrecipient:** Derek Fleming

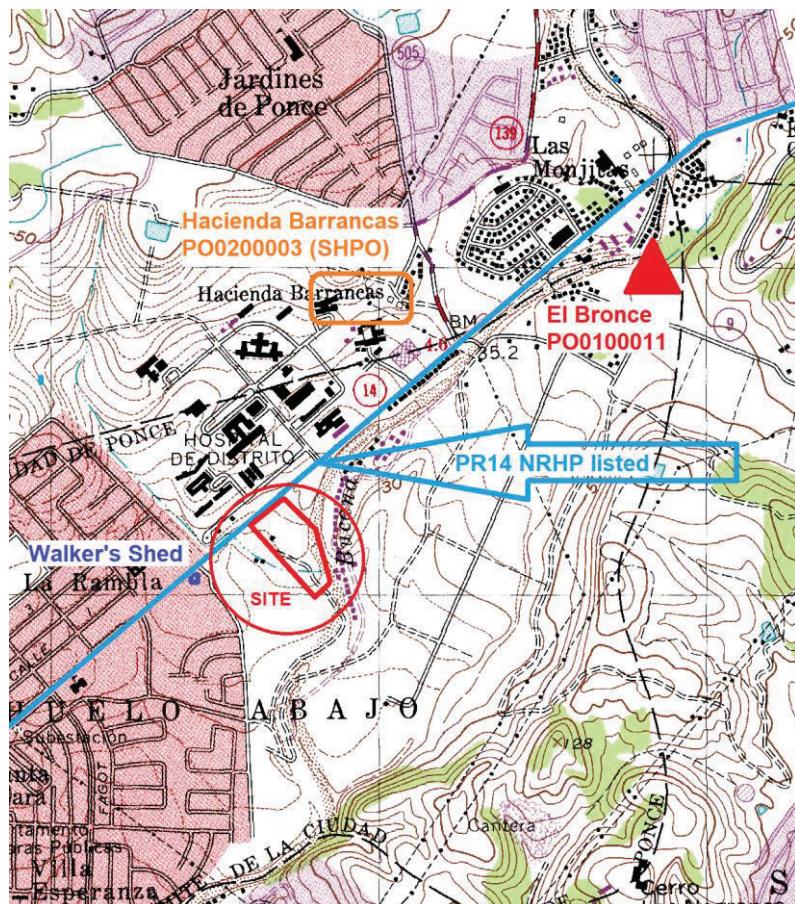
**Project Name:** Fleming/Hampton Inn Hotel

**Project Number:** PR-IPG-000581

An Archaeological Evaluation Phases 1A-1B was prepared by archaeologist Jaime Velez at Walmart PR #14 located in the project's footprint. (See figure #2) This evaluation indicates that all samples of bricks was obtained on surface, but were not present in the subsoil. The report mentions the Hacienda Siboa (1900 century) located to the northwest, adjacent to the hospital. No historical structures were present, during the investigation. He recommend an archaeological monitoring in the northwest area and an endorsement to the rest of the parcel.

This monitoring was done by the archaeologist Adalberto Maurás, findings some bricks, porcelain and coal, no other studies was performed. The proposed Fleming Hotel is located at north east of the parcel, an area released from archaeological studies.

Figure 1: Historical and prehistorical archaeological sites closest to the project.  
On USGS Topographic map, 1983.



**Subrecipient:** Derek Fleming

**Project Name:** Fleming/Hampton Inn Hotel

**Project Number:** PR-IPG-000581

The closest archaeological historical site to the APE of the project is a Walker's shed located on the PR 14 at 0.12 miles to the southwest of the Project Site. And the Hacienda Barrancas (PO200003), located in Machuelo Arriba ward at 0.40 miles to the north of the Project Site.

The closest archaeological prehistorical site to the APE of the project is PO0100011(El Bronce). This prehistoric site is in Barrio Machuelo Abajo, 0.86 miles to the northeast of the Project Site. In "El Bronce ceramic, shell and an alignment of stones were identified in which six of them had petroglyphs". The ceramics recovered at the site show cultural association with the pre-Taína and Taino cultures.

The archaeological report made in 1991 by archaeologist Pedro Alvarado Zayas for the project "Improvements to PR-14 from Ave. Betances to PR 505" in Machuelo Abajo ward, reveals three important places associated with this section of the PR-14: Hacienda Barrancas (0.40 miles from project's site), El Bronce (0.86 miles) and Casilla de Peones Camineros Archaeologist P. Alvarado recommends protection for these three cultural resources. Other archaeological studies carried out in the Machuelo Abajo neighborhood reflect positive results, such as Phase II conducted by archaeologist Eugenio Barnes Espanol, in 1991 at Hacienda Barrancas. "The ruins belong to a building of considerable dimensions with tanks at both ends." (ICP/CAT/DIGITAL FILES).

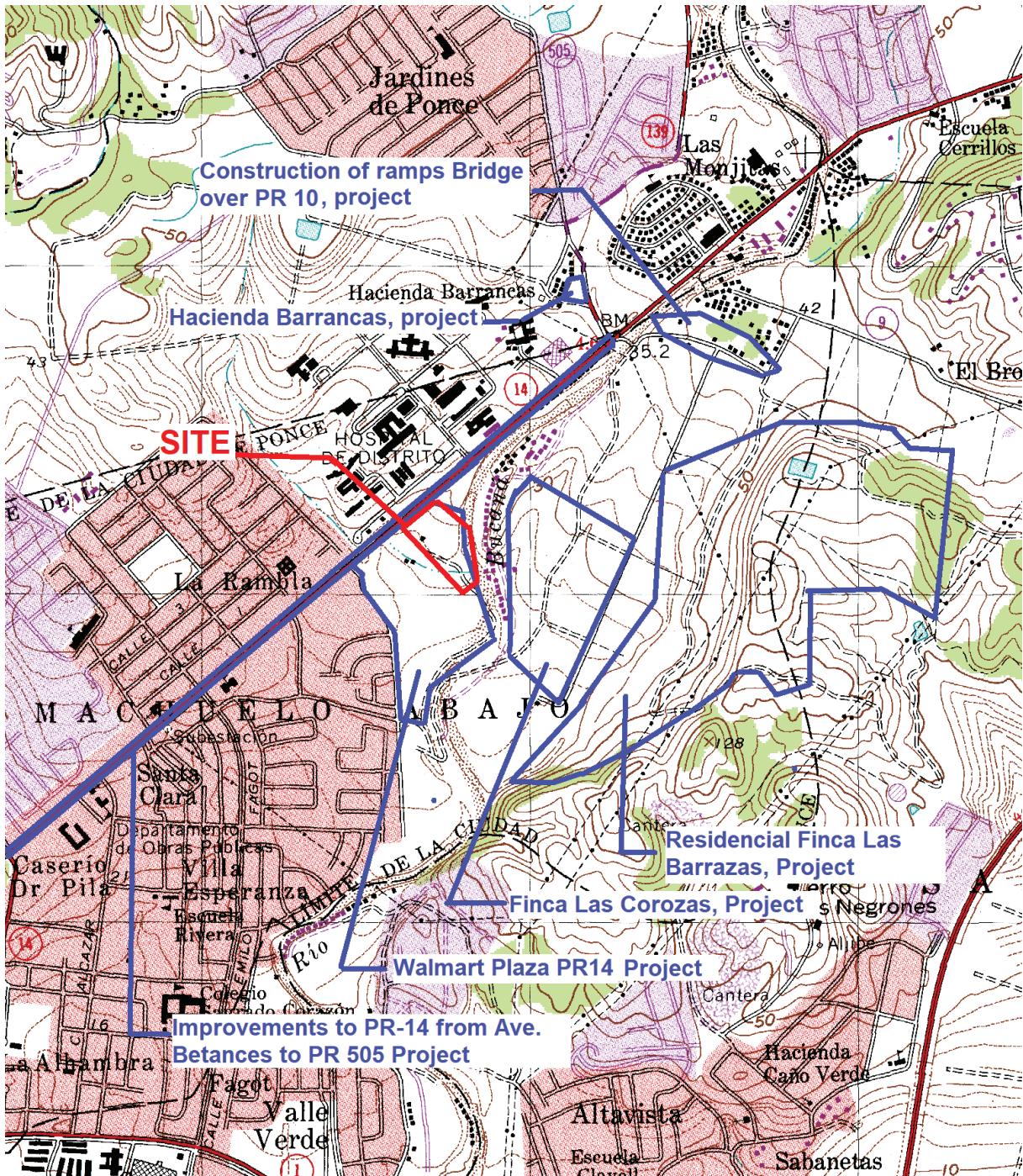
The development proposed for the Fleming Hotel will not directly affect any resources in the project. All the resources located in the project's surroundings area are outside of the footprint, such as the PR 14, the Casillas de Camineros or others mentioned, and can't be affected indirectly. With all the modern constructions that have been carried out in the area where the project is proposed, the expansion of PR14, among other factors, the visual adverse effect on PR14 has been minimized.

**Subrecipient:** Derek Fleming

**Project Name:** Fleming/Hampton Inn Hotel

**Project Number:** PR-IPG-000581

Figure 2: Location of archaeological studies close to the project.



**Subrecipient:** Derek Fleming

**Project Name:** Fleming/Hampton Inn Hotel

**Project Number:** PR-IPG-000581

Figure 3: Casilla de Caminero (walkers shed) on PR-14, on Ave. Tito Castro in Ponce near km 3.5. It was designed by Manuel Maese and built by Edward Armstrong in 1886.



Table 1: Archaeological reports close to the project under evaluation.

<b>Project name</b>	<b>Year</b>	<b>Phase</b>	<b>Archaeologist</b>	<b>Results</b>	<b>Distance</b>
1. Walmart Plaza PR 14	2000	Phase IA	Jaime Vélez	Positive Scattered Bricks	On site
2. Walmart Plaza PR 14	2000	Phase IB	Jaime Vélez	Positive Scattered Bricks	On site
3. Barrancas Hacienda ICP/CAT-PO-91-10-01	1991	Phase II	Eugenio Barnes	Positive Ruins XIX century	0.51 miles northeast
4. Construction of ramps Bridge over PR-10	2002	Phase IA/IB	María Cashion	Negative	0.61 miles northeast
5. Finca Las Corozas	1999	Phase IA/IB	Miguel Rodriguez	Negative	0.1 southeast
6. Residencial Finca Barrancas	2005	Phase IB	Aramis Font	Negative	0.39 miles south
7. Improvements to PR-14 from Ave. Betances to PR 505	1991	Phase I	Pedro Alvarado	Positive Historical Structure	0.01 north

**Subrecipient:** Derek Fleming

**Project Name:** Fleming/Hampton Inn Hotel

**Project Number:** PR-IPG-000581

### Analysis of Historic Topographic Quadrangles and aerial photographs.

Figure 4: Historical, US Geological Service, 1945, 1:30000.

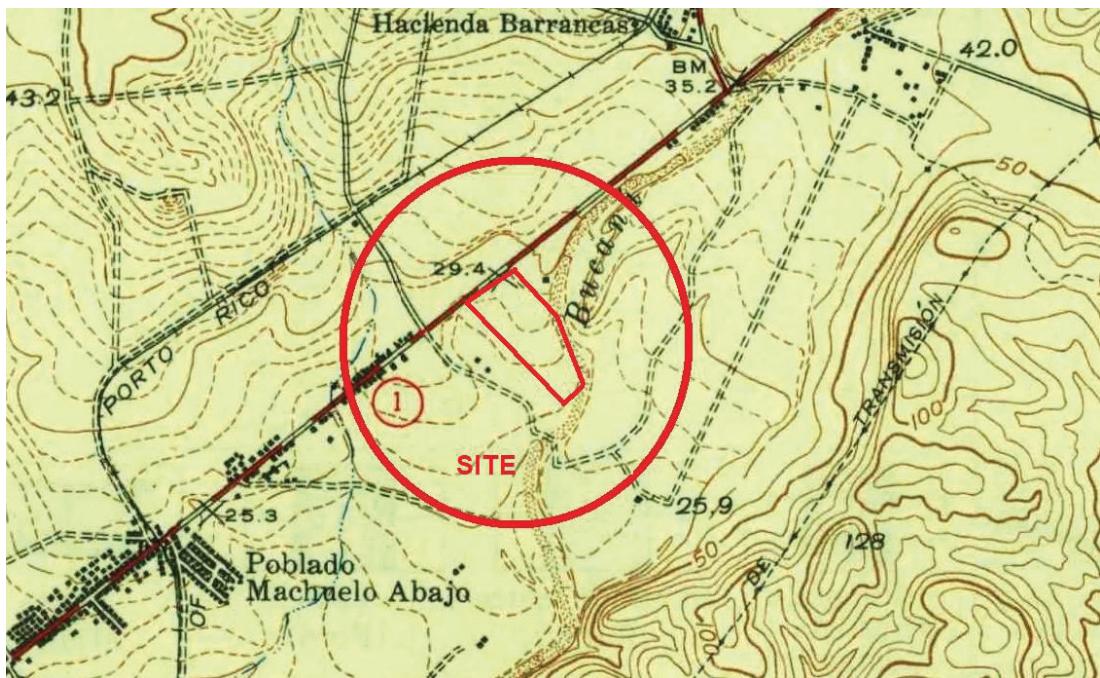


Figure 5: Historical, US Geological Service, 1958, 1:20000.

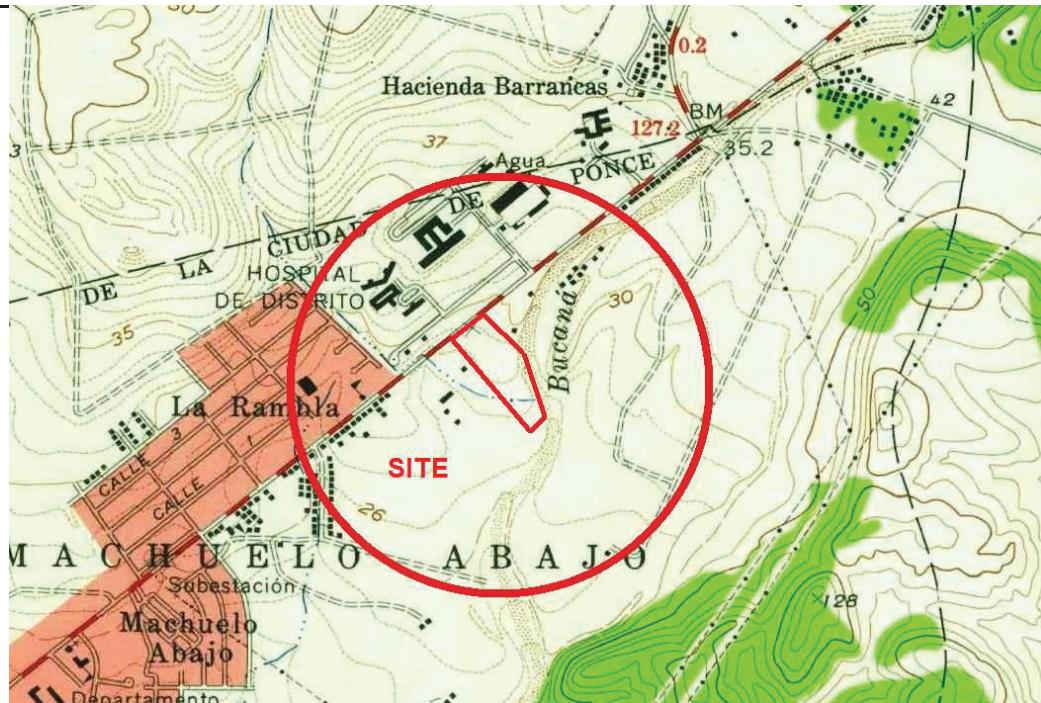
**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  
INVESTMENT PORTFOLIO FOR GROWTH PROGRAM (IPG)  
Section 106 NHPA Effect Determination**



**Subrecipient:** Derek Fleming

**Project Name:** Fleming/Hampton Inn Hotel

**Project Number:** PR-IPG-000581

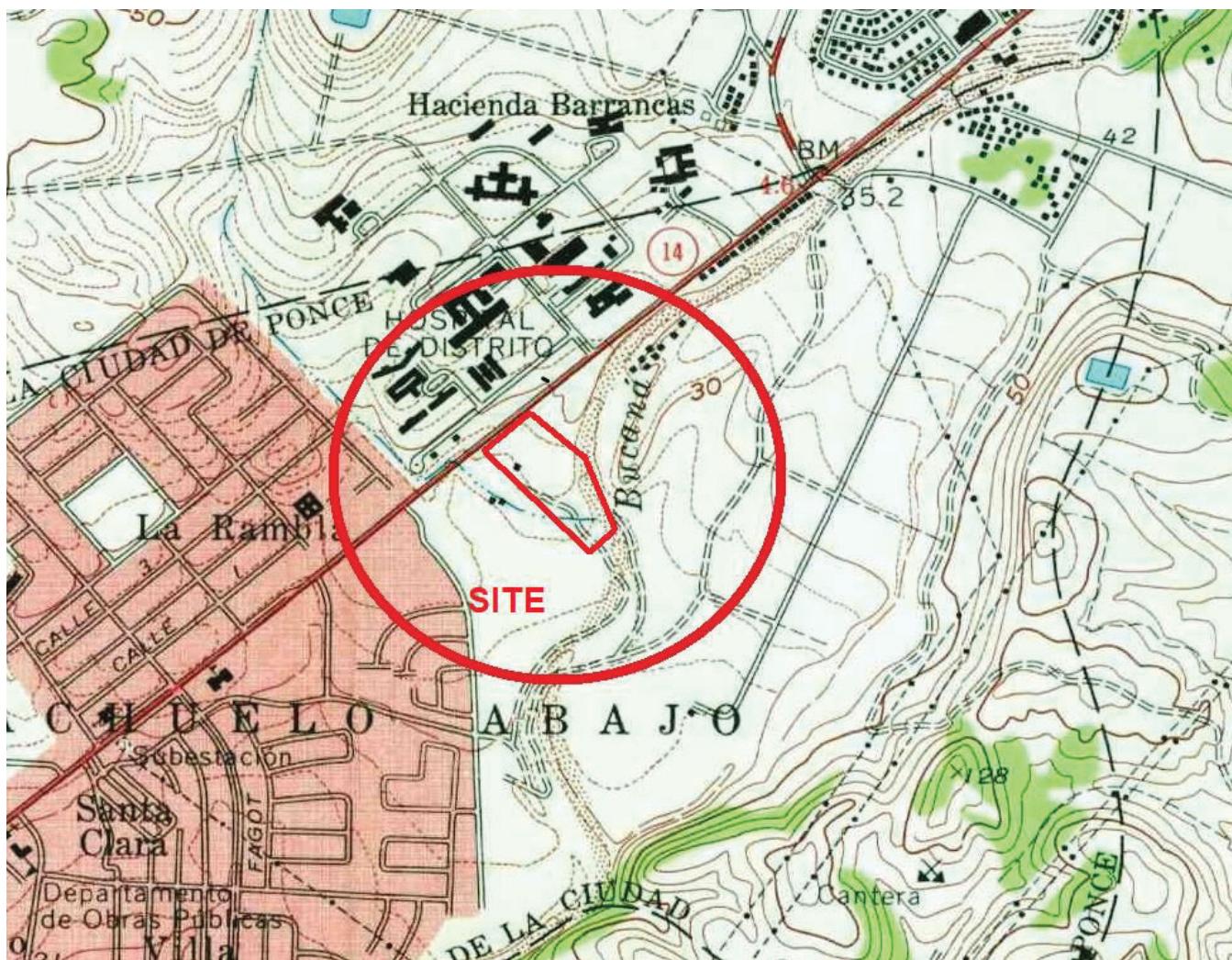


**Subrecipient:** Derek Fleming

**Project Name:** Fleming/Hampton Inn Hotel

**Project Number:** PR-IPG-000581

Figure 6: Historical, US Geological Service, 1970, 1:20000



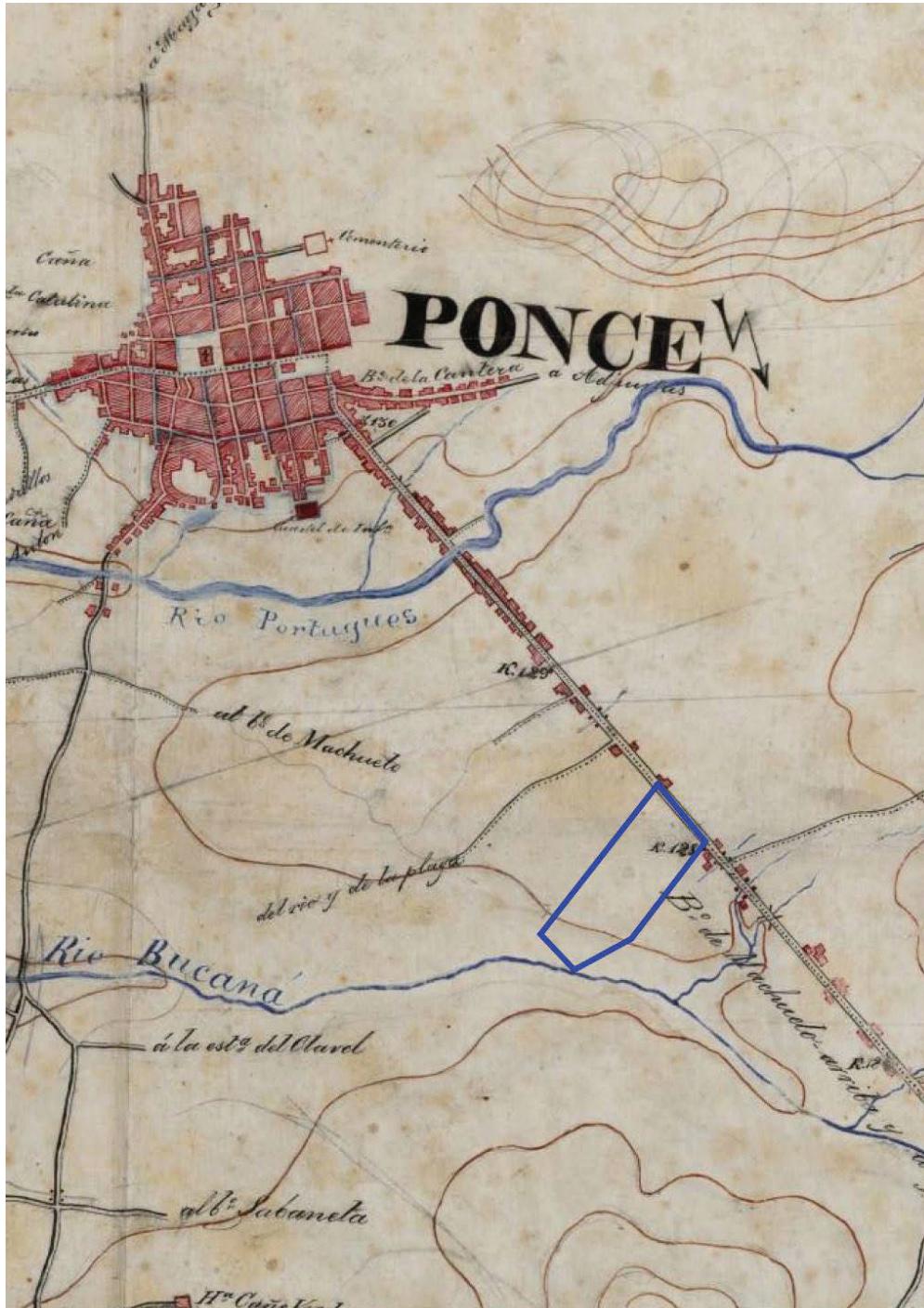
The topographic quadrangles of 1945, 1958, and 1970 show that the property where the project is located was not yet developed (Figures 4, 5, and 6). The aerial photographs from 1993 and 2003 show that the project site was still underdeveloped. In the Itinerary from Santa Isabel to Ponce, from Juana Díaz to Santa Isabel, and from Juana Díaz to the Arús ward, no structure is present in 1889 (figure 7). Meanwhile, the aerial photographs of 2012 and 2019 show some commercial construction near the property (Figures 8, 9,10, and 11). (small shopping center)

**Subrecipient:** Derek Fleming

**Project Name:** Fleming/Hampton Inn Hotel

**Project Number:** PR-IPG-000581

Figure 7: Itinerary from Santa Isabel to Ponce, from Juana Díaz to Santa Isabel and from Juana Díaz to the Arús ward.



**Subrecipient:** Derek Fleming

**Project Name:** Fleming/Hampton Inn Hotel

**Project Number:** PR-IPG-000581

Figure 8: Project Site in Aerial Photo of 1993, Google Earth.



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**Project Name:** Fleming/Hampton Inn Hotel

**Project Number:** PR-IPG-000581

Figure 9: Project Site in Aerial Photo of 2003, Google Earth.



Google Earth

Image © 2023 Maxar Technologies

**Subrecipient:** Derek Fleming

**Project Name:** Fleming/Hampton Inn Hotel

**Project Number:** PR-IPG-000581

Figure 10: Project Site in Aerial Photo of 2012, Google Earth.



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**Project Name:** Fleming/Hampton Inn Hotel

**Project Number:** PR-IPG-000581

Figure 11: Project Site in Aerial Photo of 2019, Google Earth.



**Subrecipient:** Derek Fleming

**Project Name:** Fleming/Hampton Inn Hotel

**Project Number:** PR-IPG-000581

## Identification of Historic Properties – Architecture

Existing information on previously identified historic properties has been reviewed to determine if any such properties are located within the APE of this undertaking. The review of this existing information, by a Program contracted Historic Preservation Specialist meeting the Secretary of the Interior's Professional Qualification Standards (36 CFR Part 61), shows that the project area **is** near (0.01 miles at south) of the PR#14 (previous PR#1 or Carretera Central), street included in the National Register of Historic Places (NRHP). Other structures as the walker's shed (Casilla de Camineros) located on the PR 14 are eligible to the inclusion in the National Register of Historic Places.

The project is located adjacent to the marginal street (Boulevard Dr. Hector Rodriguez Estape), and any installation or connection services (utilities) will be carried out on the marginal street and not on PR 14. Therefore, any excavation carried out for the project's construction will not directly or indirectly negatively affect PR 14 or any other resource.

## Determination

The following historic properties have been identified within the APE:

- Direct Effect:
  - No historic properties are present within the project Direct APE.
- Indirect Effect:
  - “Casilla de caminero”, or “walkers shed” located alongside the PR-14 at kilometer 3.5 km., the project parcel is in PR-14 at kilometer 3.7. The distance of the project parcel is 0.186411miles (200 meters) from the Casilla de Caminero historic building. From the proposed project, the Casilla de Caminero isn’t be visible and nor does it have indirect effect.
  - The development proposed for the Fleming Hotel will not indirectly affect any resources in the surrounding’s project, such as the PR 14, the Casillas de Camineros or others mentioned. With all the modern constructions that have been carried out in the area where the project is proposed, the expansion of PR14, among other factors, the visual adverse effect on PR14 has been minimized.

Based on the results of our historic property identification efforts, the Program has determined that project actions **will not** affect historic properties in the Area of Potential Effect.

**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  
INVESTMENT PORTFOLIO FOR GROWTH PROGRAM (IPG)  
Section 106 NHPA Effect Determination**



**Subrecipient:** Derek Fleming

**Project Name:** Fleming/Hampton Inn Hotel

**Project Number:** PR-IPG-000581

### **Recommendation**

The Puerto Rico Department of Housing requests that the Puerto Rico SHPO concur that the following determination is appropriate for the undertaking (Choose One):

- No Historic Properties Affected
- No Adverse Effect  
Condition (if applicable):  
 Adverse Effect  
Proposed Resolution (if applicable)

### **This Section is to be Completed by SHPO Staff Only**

The Puerto Rico State Historic Preservation Office has reviewed the above information and:

- Concurs** with the information provided.  
 **Does not concur** with the information provided.

#### **Comments:**

Carlos Rubio-Cancela  
State Historic Preservation Officer

Date:

**Subrecipient:** Derek Fleming

**Project Name:** Fleming/Hampton Inn Hotel

**Project Number:** PR-IPG-000581

**Project (Parcel) Location - Aerial Map, Google Earth aerial photo.**



**Subrecipient:** Derek Fleming

**Project Name:** Fleming/Hampton Inn Hotel

**Project Number:** PR-IPG-000581

**Project (Parcel) Location – Area of Potential Effect and Visual APE Map**

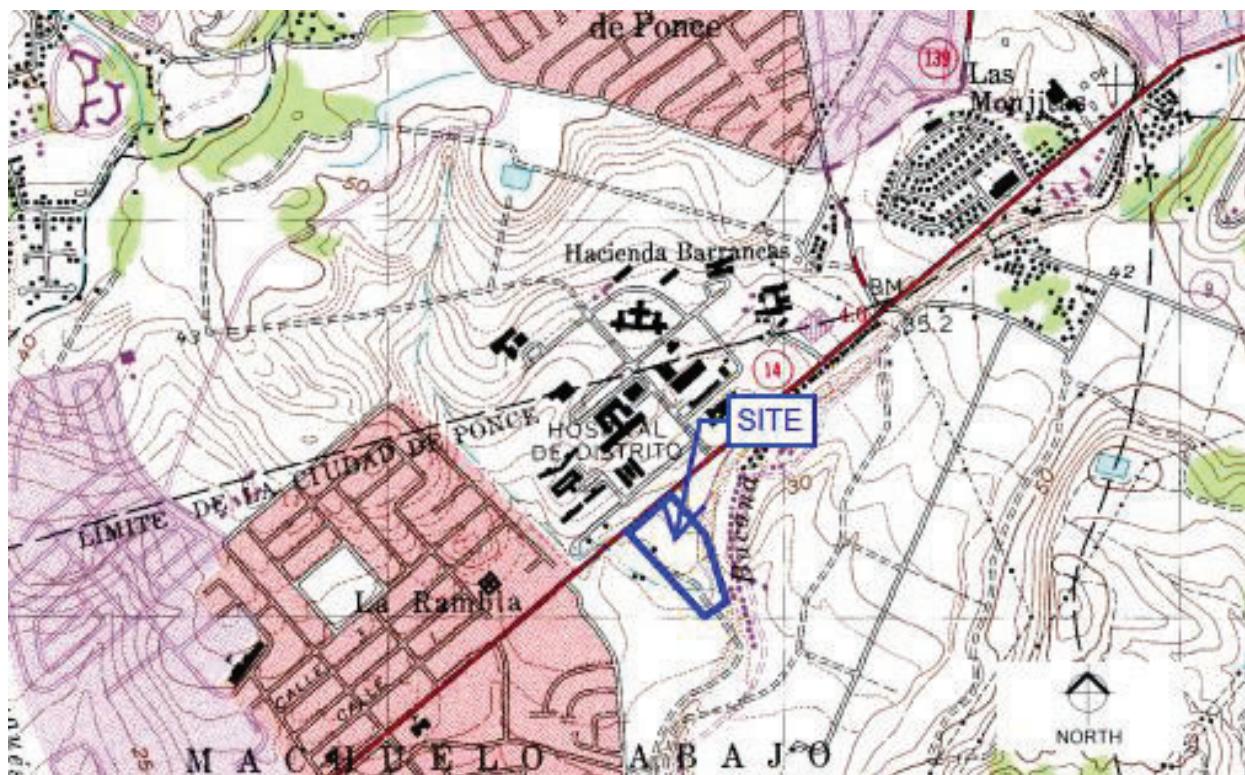


**Subrecipient:** Derek Fleming

**Project Name:** Fleming/Hampton Inn Hotel

**Project Number:** PR-IPG-000581

### Project (Parcel) Location – USGS Topographic Map

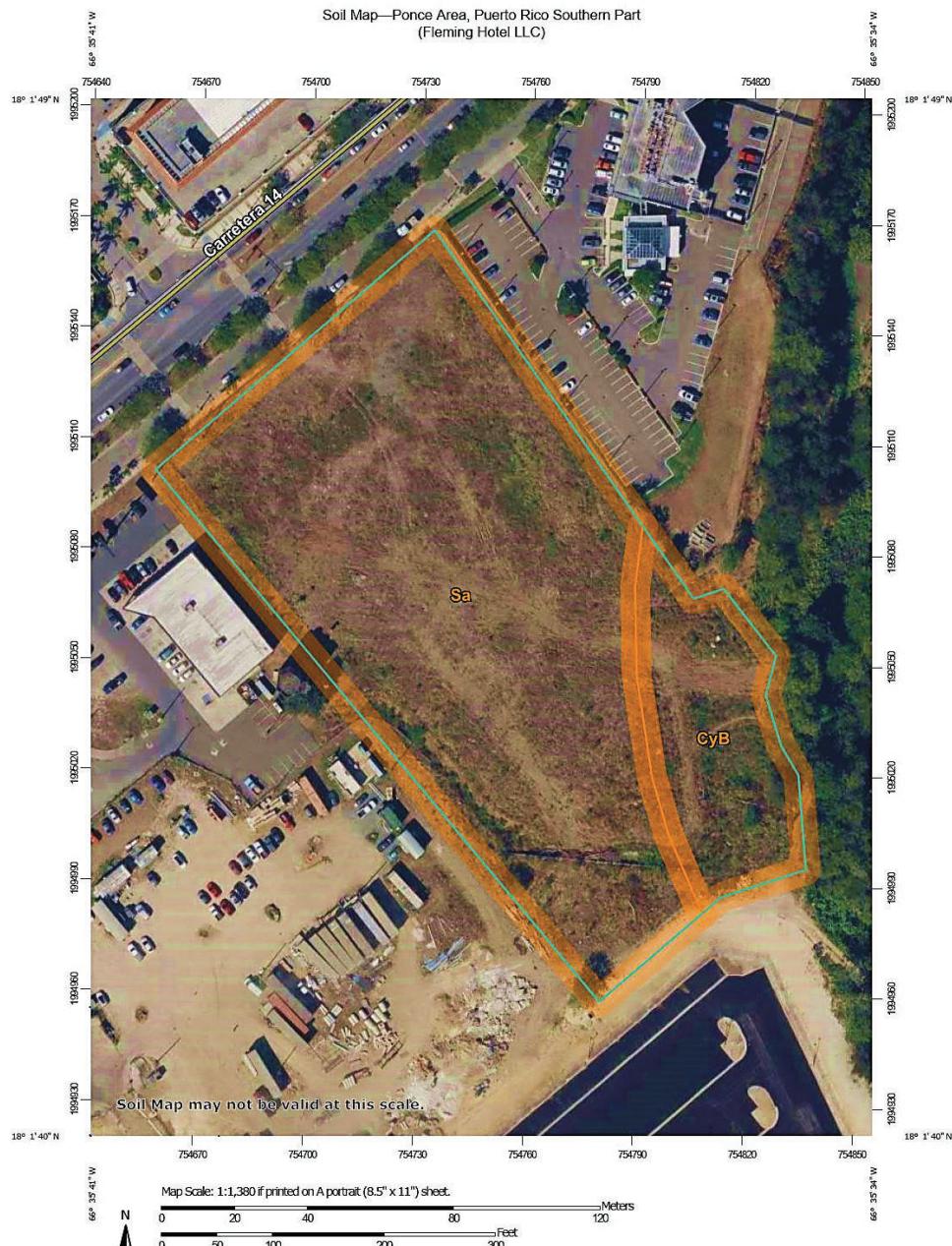


**Subrecipient:** Derek Fleming

**Project Name:** Fleming/Hampton Inn Hotel

**Project Number:** PR-IPG-000581

### Project (Parcel) Location – Soils Map



**Natural Resources  
Conservation Service**

Web Soil Survey  
National Cooperative Soil Survey

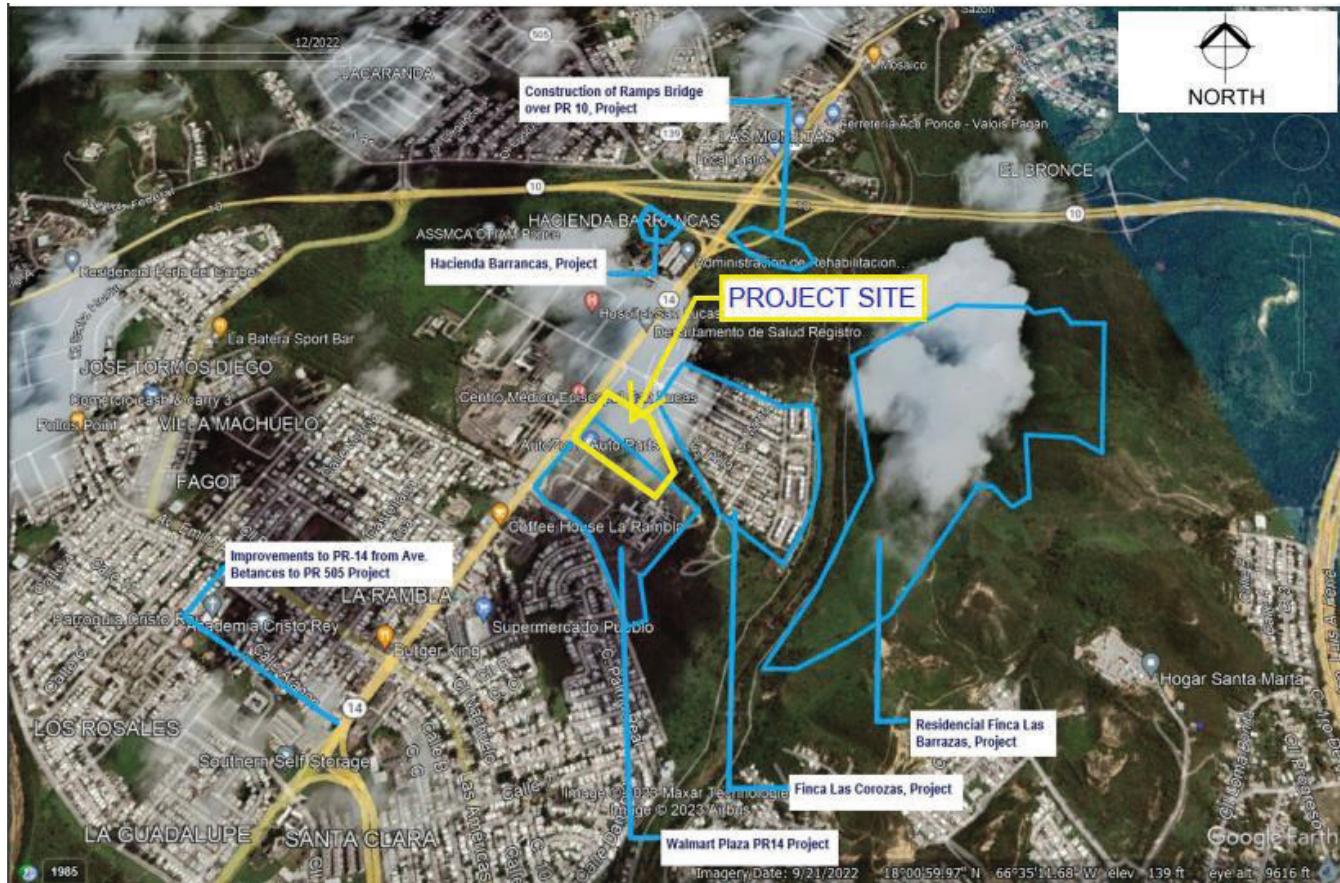
1/20/2023  
Page 1 of 3

**Subrecipient:** Derek Fleming

**Project Name:** Fleming/Hampton Inn Hotel

**Project Number:** PR-IPG-000581

**Project (Parcel) – Location with Previous Investigations – Aerial Map**

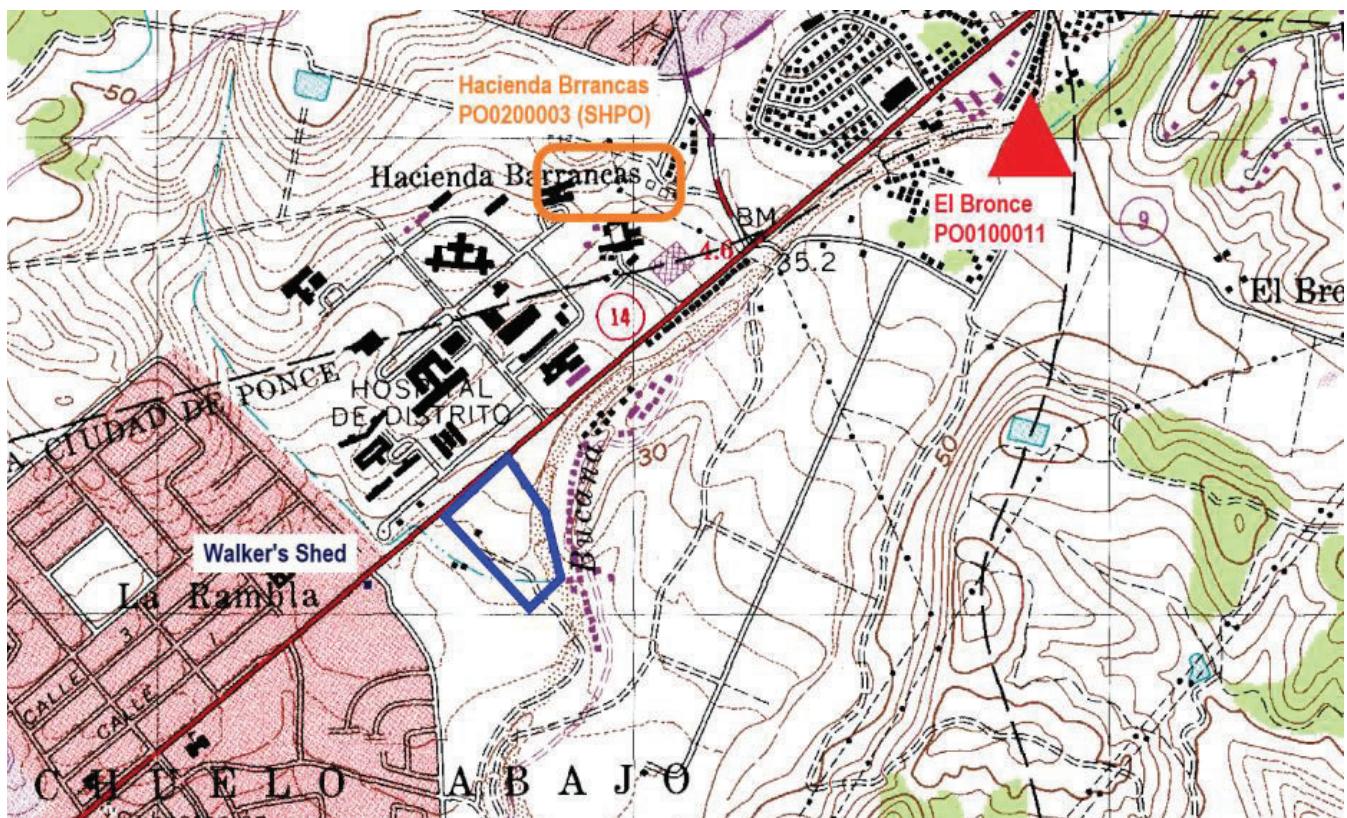


**Subrecipient:** Derek Fleming

**Project Name:** Fleming/Hampton Inn Hotel

**Project Number:** PR-IPG-000581

**Project (Parcel) Location with Previously Recorded Cultural Resources  
USGS Topographic Map, 1982**



**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  
INVESTMENT PORTFOLIO FOR GROWTH PROGRAM (IPG)  
Section 106 NHPA Effect Determination**



**Subrecipient:** Derek Fleming

**Project Name:** Fleming/Hampton Inn Hotel

**Project Number:** PR-IPG-000581



**Photograph Key**

**Subrecipient:** Derek Fleming

**Project Name:** Fleming/Hampton Inn Hotel

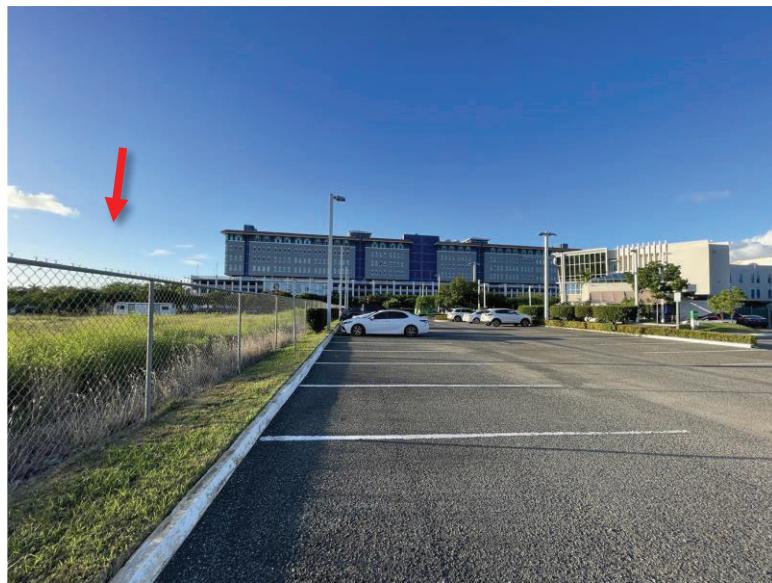
**Project Number:** PR-IPG-000581



**Photo #:1**

**Description:** Photo taken from the public sidewalk along the PR-14 with view to the north entrance of the project's parcel and the Millennium Tower.

**Date: 01/13/2023**



**Photo #:2**

**Description:** Photo taken from the Millennium Tower parking area, view oriented to the PR-14 and San Lucas Hospital. A fence link is identified between the project parcels limit and the Millennium Tower.

**Date: 01/13/2023**

**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  
INVESTMENT PORTFOLIO FOR GROWTH PROGRAM (IPG)  
Section 106 NHPA Effect Determination**



**Subrecipient:** Derek Fleming

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**Project Number:** PR-IPG-000581



<b>Photo #:</b> 3	<b>Description:</b> Photo taken from the intersection between Ave. Centro Medico and PR-14, with view to the east. Traffic is moderate to high because of the healthcare buildings in the area along the PR-14. Moderate vegetation can be seen obstructing the project's parcel.
<b>Date:</b> 01/13/2023	



<b>Photo #:</b> 4	<b>Description:</b> Photo taken within the San Lucas District Hospital premises with direction to the project parcel. The view is obstructed by the hospital utility systems.
<b>Date</b> 01/13/2023	

**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  
INVESTMENT PORTFOLIO FOR GROWTH PROGRAM (IPG)  
Section 106 NHPA Effect Determination**



**Subrecipient:** Derek Fleming

**Project Name:** Fleming/Hampton Inn Hotel

**Project Number:** PR-IPG-000581



**Photo #: 5**

**Description:** Photo taken from PR-14 road with view to the west. Subject's Property is located to the right, overlooked by vegetation.

**Date 01/13/2023**



**Photo #: 6**

**Description:** Photo taken by the PR-14 south sidewalk with view to the east. The project parcel is visible with the retail store at side.

**Date 01/13/2023**

**PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  
INVESTMENT PORTFOLIO FOR GROWTH PROGRAM (IPG)  
Section 106 NHPA Effect Determination**



**Subrecipient:** Derek Fleming

**Project Name:** Fleming/Hampton Inn Hotel

**Project Number:** PR-IPG-000581



**Photo #: 7**

**Description:** Photo taken within the project premises with view to the PR-14 and the San Lucas Hospital.

**Date 01/13/2023**



**Photo #: 8**

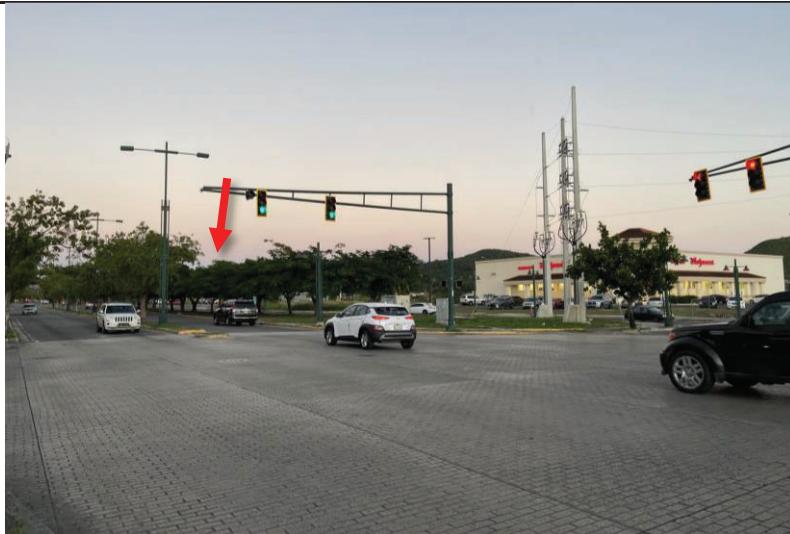
**Description:** Photo taken further to the south, from the V/A Outpatient Clinic. A chain link fence divides the Subject's Property and the parking area of the V/A clinic.

**Date 01/13/2023**

**Subrecipient:** Derek Fleming

**Project Name:** Fleming/Hampton Inn Hotel

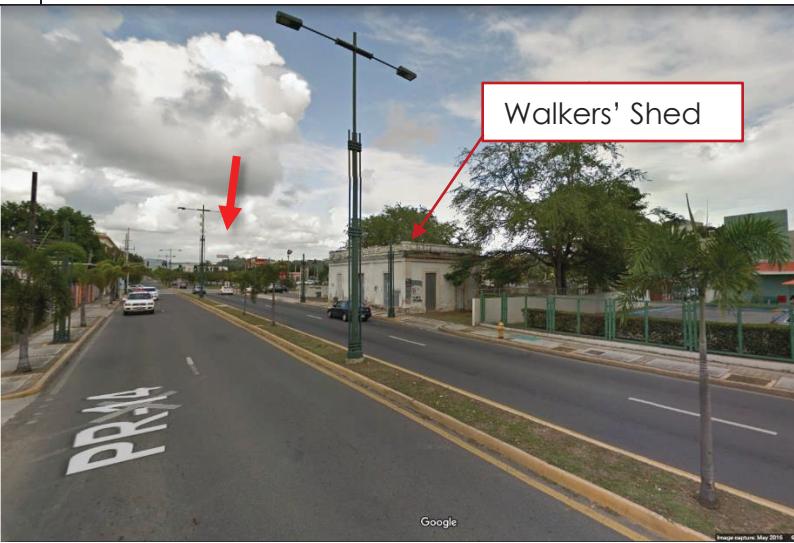
**Project Number:** PR-IPG-000581



**Photo #:** 9

**Description:** Photo taken from the intersection of calle Navarra and PR-14. No visibility of the Subject's Property in the distance due to height of the trees along the road.

**Date 01/13/2023**



**Photo #:** 10

**Description:** View from the walkers' shed alongside the PR-14, adjacent to the Ana G. Mendez University fence. The Subject's Property Facility is not visible considering the actual landscape of moderate vegetation and heights of the edifications in the area.

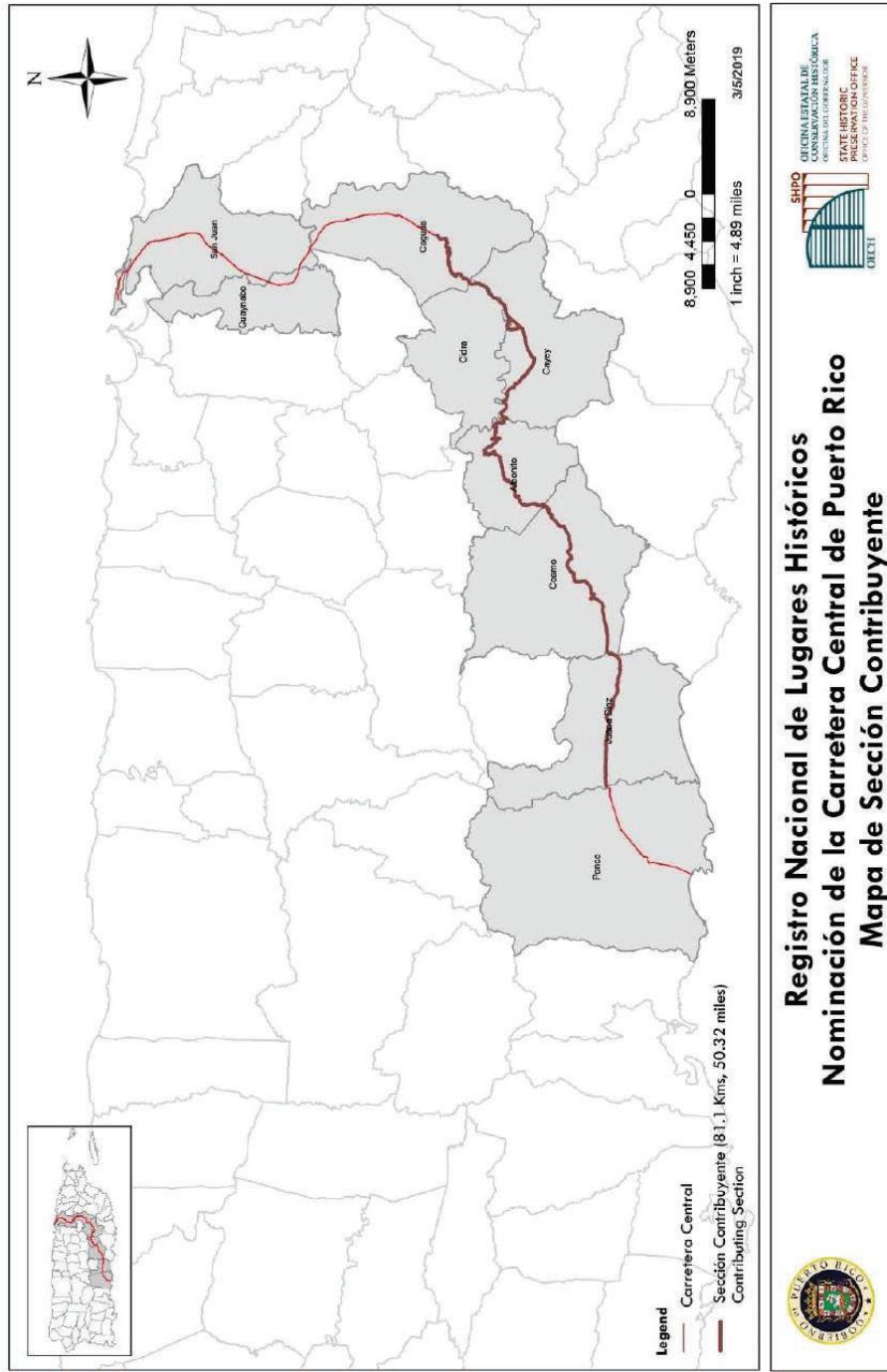
**Date 01/13/2023**

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM  
INVESTMENT PORTFOLIO FOR GROWTH PROGRAM (IPG)  
Section 106 NHPA Effect Determination

Subrecipient: Derek Fleming

Project Name: Fleming/Hampton Inn Hotel

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Hampton Inn by Hilton

Ponce, Puerto Rico

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EMAIL: contact@mepgreendesigns.com  
LIC. # 28476

SHEET INDEX - ARCHITECTURAL

Sheet Name	Sheet Number
Sheet Index	A/16
Data	A/16
Group 1	A/17
Group 2	A/18
Group 3	A/19
Group 4	A/20
Group 5	A/21
Group 6	A/22
Group 7	A/23
Group 8	A/24
Group 9	A/25
Group 10	A/26
Group 11	A/27
Group 12	A/28
Group 13	A/29
Group 14	A/30
Group 15	A/31
Group 16	A/32
Group 17	A/33
Group 18	A/34
Group 19	A/35
Group 20	A/36

SHEET INDEX - ARCHITECTURAL

Item	Sheet Name
402	BUILDING ELEVATIONS
411	BUILDING SECTIONS
421	BUILDING DETAILS
431	DOOR AND WINDOW SCHEDULES
441	FLOOR PLANS
451	GENERAL NOTES
461	GENERAL SPECIFICATIONS
471	ASSEMBLY SCHEDULES
481	WALL SYSTEMS
491	DOOR AND WINDOW SCHEDULES
501	DOOR, WINDOW & STOREFRONT SCHEDULES
511	WALL SYSTEMS
521	DOOR, WINDOW & STOREFRONT SCHEDULES

CLINICAL

5

LIGHTING LEVEL 1 FLOOR PLAN	FRA 2	FIRE PROTECTION HYDRAULIC CALCULATION
POWER LEVEL 1 FLOOR PLAN	FRA 3	FIRE PROTECTION HYDRAULIC CALCULATION

SHEET INDEX - PLUMBING	
Sheet Name	Sheet Name
Number	Sheet Name
FPS-1	PIPE FITTING CALCULATION
FPS-2	PIPE FITTING CALCULATION
FPS-3	PIPE FITTING CALCULATION
FPS-4	PIPE FITTING CALCULATION
<b>SHEET INDEX - EXTRA LOW VOLTAGE</b>	
Sheet Name	Sheet Name
1. CIRCUIT LAYOUT	
2. CIRCUIT LAYOUT NOTES & LEGEND OF SYMBOL	
3. DATA LINE DIAGRAM	
4. DATA LINE DIAGRAM	
5. DATA LINE DIAGRAM	
6. DATA LINE DIAGRAM	
7. DATA LINE DIAGRAM	
8. DATA LINE DIAGRAM	
9. DATA LINE DIAGRAM	
10. DATA LINE DIAGRAM	

5

**P1 2** GAS SCHEMATIC DAGRAM  
**P2 0** SANITARY SEWER LEVEL 1 FLOOR PLAN



architects  
5442 Douglas Avenue  
Dunedin, FL 34698  
727.736.6000  
[www.dharchitects.com](http://www.dharchitects.com)  
established 1981  
DRAWN

XX  
PROTOTYPE VERSION

XU ISSUE DATE 02/20/20

SCALE

JOB NUMBER  
21-016

PROJECT STATUS  
00 SET

SHEET NAME  
Cover & Sheet Index

LOCATION / INN CODE  
PSEPO

SHEET NUMBER

Hampton Inn by Hilton  
Ponce, Puerto Rico  
Derek Fleming

NO. DESCRIPTION DATE















NO.	DESCRIPTION	DATE
1	Hammonton Lin by Hitachi Ponce, Puerto Rico	04/07/2015

407.1 Landings. Ramps shall have landings at the top and the bottom of each ramp run. Landings shall comply with 407.7.

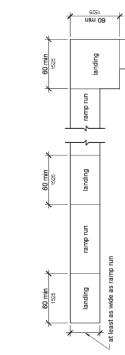


Figure 407.6  
Diagram or Corner Type Curb Ramp

407.6.1 Bands. Ramps installed in corners shall be so designed with a curve or a curve and a straight section that the distance between the two outer edges will be no more than 36 inches (914 mm) apart and shall be centered in the minimum of the top of the curb in the part of the visual field immediately to the outside of the corner. Each 48 inch (1220 mm) minimum run in the ramp shall be divided into two 24 inch (610 mm) segments by a 12 inch (305 mm) minimum run in the middle of the ramp run. The two 24 inch (610 mm) segments shall be connected to the 12 inch (305 mm) minimum run in the middle of the ramp run by a 45 degree angle. The 12 inch (305 mm) minimum run in the middle of the ramp run and the associated area shall be permitted to overlap by 12 inches (305 mm) minimum.

407.6.1.1 Size. Clearance shall be 12 inches (305 mm) minimum. The distance between the two outer edges of the ramp run and the associated area and the accessible area shall be permitted to overlap by 12 inches (305 mm) minimum.

407.6.1.2 Floor Area. As the user passes a floor and when a user stops a floor served by the elevator, the corresponding change shall be indicated by a change in the floor level indicator.

EXCEPTION: Destination oriented elevators shall not be required to comply with 407.6.1.2 provided that all the visual indicators are shown in a manner that is clear to the user and the user is informed.

407.6.2 Keypads. Keypads shall be located in the car control panel or above the elevator.

407.6.3 Distribution Indicator. The signal shall be an automatic visual or audiovisual indicator in the floor at which the user is about to stop in a manner that is clear to the user and the user is informed.

407.6.3.1 Stop Top. The signal shall be a visual or audiovisual indicator that indicates the floor at which the user is about to stop in a manner that is clear to the user and the user is informed.

407.6.3.2 Signal Level. The verbal indicator shall be 10dB minimum above ambient, 1.6 feet (0.48 m) and exceed 90 dB measured at the ear receiver.

407.6.3.3 Frequency. The verbal announcement shall have a frequency of 3.001 Hz minimum to 30.000 Hz maximum.

407.6.3.4 Emergency Communication. Emergency message communication systems shall comply with 303.2. Tactile symbols and hazard symbols shall be provided adjacent to the elevator and shall comply with 303.2.

407.6.4 Illumination. The illumination in the car control platform, on the platform and on the platform and car control platform, shall be provided in accordance with 303.2.

407.6.5 Labels. Labels shall be provided adjacent to the elevator and shall comply with 303.2.

407.6.6 Emergency Call Controls. Where provided, controls shall comply with 407.6.6 and 304.

EXCEPTION: To users of elevators, where a user is operating panel complying with 407.6.6, provided, existing car control panels shall be permitted to remain in place.

407.6.7 Protection in Heavy Duty Areas. The clearance between the platform and the edge of any heavy-duty equipment shall be located within one of the reach ranges specified in 308.

EXCEPTIONS:

1. Where the elevator panel serves more than one platform and the parallel approach is about 18 inches (457 mm) or less, the clearance may be reduced to 12 inches (305 mm) minimum.

2. Where the platform is located in a heavy-duty area, the clearance may be reduced to 12 inches (305 mm) minimum measured from the block of the car on the ramp surface.

407.6.8 Illuminating. Illuminating shall be provided in accordance with 303.2.

407.6.9 Illumination. The illumination in the car control platform, on the platform and car control platform, shall be provided in accordance with 303.2.

407.6.10 Labels. Labels shall be provided adjacent to the elevator and shall comply with 303.2.

407.6.11 Emergency Control. Emergency control buttons shall have recessed areas 30 inches (800 mm) minimum above the floor.

407.6.12 Location. Emergency control buttons, including the emergency alarm, shall be grouped at the bottom of the car control panel.

407.6.13 Designations and Indicators of Car Controls. Designations and indicators of car controls shall comply with 407.6.13.

407.6.14 Emergency Control. Emergency control buttons shall have recessed areas 30 inches (800 mm) minimum above the floor.

407.6.15 Labels. Labels shall be located in the car control panel.

407.6.16 Location. Emergency control buttons shall be grouped immediately to the left of the control panel.

EXCEPTION: Where placed on an existing car control panel, recessed tactile markings to the left of the control panel shall be located in front of the control panel.

407.6.17 Symbols. The control buttons for emergency stop, alarm, door, close, main entry floor, and phone, shall be identified with the symbols shown in Table 407.6.17.

407.6.18 Labels. Labels shall be located in the car control panel.

407.6.19 Control Buttons. Control buttons shall comply with 407.6.19.

407.6.20 Labels. Labels shall be located in the car control panel.

407.6.21 Location. Labels shall be located in the car control panel.

407.6.22 Designations and Indicators of Car Controls. Designations and indicators of car controls shall comply with 407.6.22.

407.6.23 Labels. Labels shall be located in the car control panel.

407.6.24 Location. Labels shall be located in the car control panel.

407.6.25 Designations and Indicators of Car Controls. Designations and indicators of car controls shall comply with 407.6.25.

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Hampton Inn by Hilton  
Ponce, Puerto Rico  
Derek Fleming











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Ponce, Puerto Rico  
Derek Fleming

PARKING MATRIX

**Building Type**

Unshaded Parking Spaces	8'-3" x 18'	Hotel - Accessible	33	57
Unshaded Parking Space	8'-3" x 18'	Hotel - Accessible	2	2
Unshaded Parking Space	8'-3" x 18'	Retail	21	21
Inaccessible Parking Space		Retail - Accessible	2	2
			53	82
		total		

Guestroom Schedule		Name	Area	Count
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Level 6	Count	Row No.
King A	4	
King B w/ C.F.	418 SF	1
King C w/ C.F.	381 SF	
King D	2	
King w/ M.F.	368 SF	1
QQQ	11	
QQW/C.F.	1	
QQW/M.F.	316 SF	1
QQW/M.F.	419 SF	1

Level /

King D      327 SF      1  
King Suite A      714 SF      1

King Suite B/w C.F.	422 SF	1
King w/M.F.	368 SF	
QQ	12	
QQ w/M.F.	419 SF	1

Room Total: 130

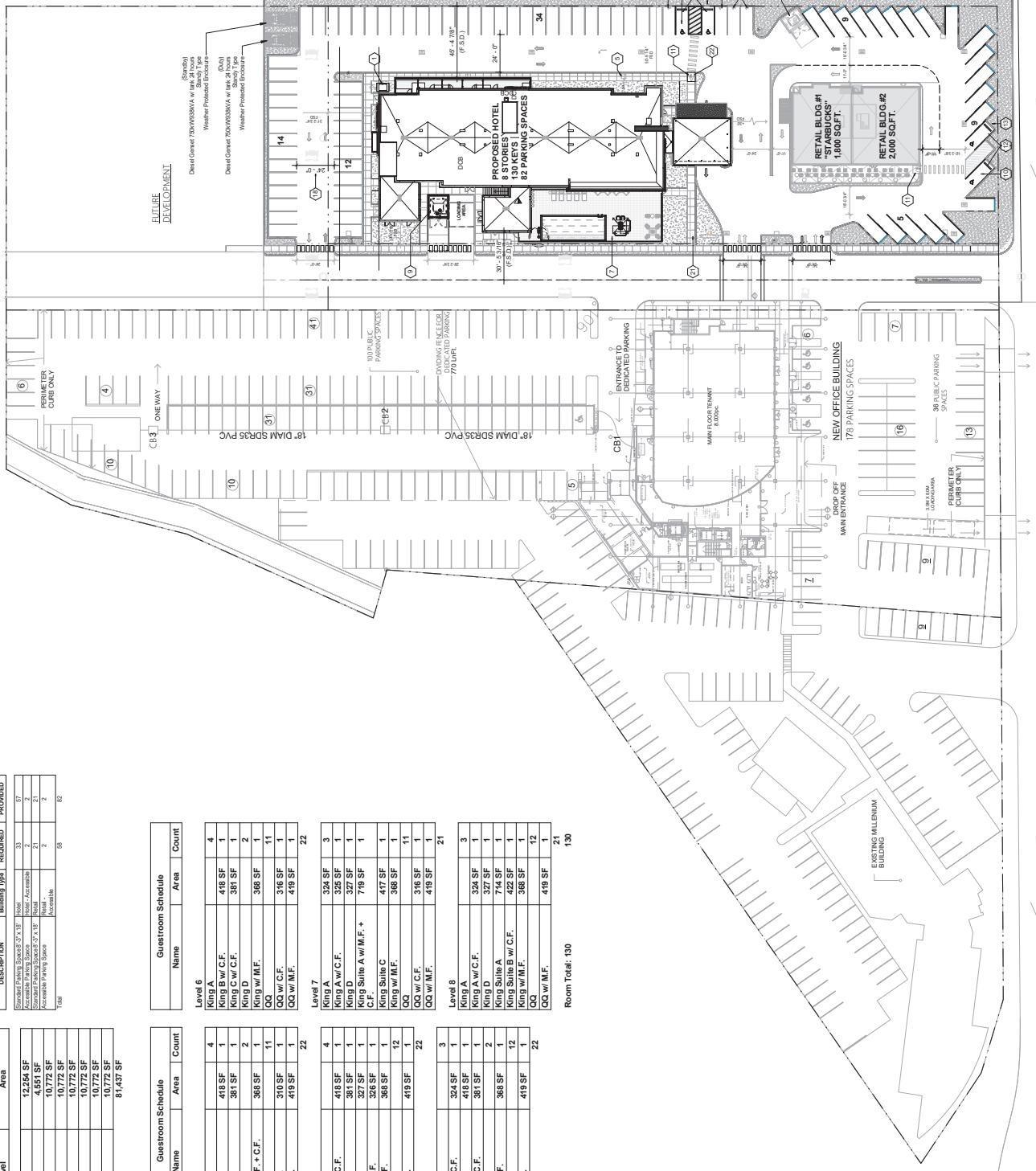
Gross Building SF - Hotel

**Level**      **Area**

1			12.264 SF	
2			4.561 SF	
3			10.772 SF	
4			10.772 SF	
5			10.772 SF	
6			10.772 SF	
7			10.772 SF	
8			10.772 SF	
			64.427 SF	

#### GENERAL SITE NOTES

1. THE INFORMATION INDICATED ON THE SITE BANNER IS BASED UPON OWNER-PROVIDED INFORMATION.
  2. DIFFERENTIATED PLACEMENT OF WORKERS AND EQUIPMENT AS CALLED FOR ON THE CONTRACT DOCUMENTS AND DRAWINGS IS NOT A VIOLATION OF THIS STANDARD.
  3. REFER TO THE CONTRACT DOCUMENTS FOR THE LOCATION AND DURATION OF WORK. THE CONTRACTOR SHALL COORDINATE PRIOR TO COMMENCEMENT OF SITE WORK THE FLOW OF TRAFFIC IN AND OUT OF THE WORK AREA WITH THE ENGINEER.
  4. CONTRACTORS SHALL NOT USE THE CONTRACT DOCUMENTS AS A GUIDE TO THE LOCATION OF ALL UTILITIES. CONTRACTORS MUST TAKE ALL REASONABLE CARE TO LOCATE ALL UTILITIES THAT MAY BE IN THE WORK AREA OR ON THE PROPERTY.
  5. PRECAUTIONS TO PROTECT THE OWNER'S PROPERTY FROM DAMAGE DUE TO CONSTRUCTION ACTIVITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE PROPERTY OF THE OWNER AND FOR MAINTAINING THE PROPERTY OF THE CONTRACTOR.
  6. AGREED TO IN CONFORMITY WITH OWNERSHIP DOCUMENTS, CONTRACTORS SHALL NOT USE THE CONTRACT DOCUMENTS AS A GUIDE TO THE LOCATION OF ALL UTILITIES THAT MAY BE IN THE WORK AREA OR ON THE PROPERTY.
  7. CONTRACTORS SHALL NOT USE THE CONTRACT DOCUMENTS AS A GUIDE TO THE LOCATION OF ALL UTILITIES THAT MAY BE IN THE WORK AREA OR ON THE PROPERTY.
  8. REFER TO THE CONTRACT DOCUMENTS FOR THE LOCATION AND DURATION OF WORK. THE CONTRACTOR SHALL NOT USE THE CONTRACT DOCUMENTS AS A GUIDE TO THE LOCATION OF ALL UTILITIES THAT MAY BE IN THE WORK AREA OR ON THE PROPERTY.
  9. REFER TO THE CONTRACT DOCUMENTS FOR THE LOCATION AND DURATION OF WORK. THE CONTRACTOR SHALL NOT USE THE CONTRACT DOCUMENTS AS A GUIDE TO THE LOCATION OF ALL UTILITIES THAT MAY BE IN THE WORK AREA OR ON THE PROPERTY.
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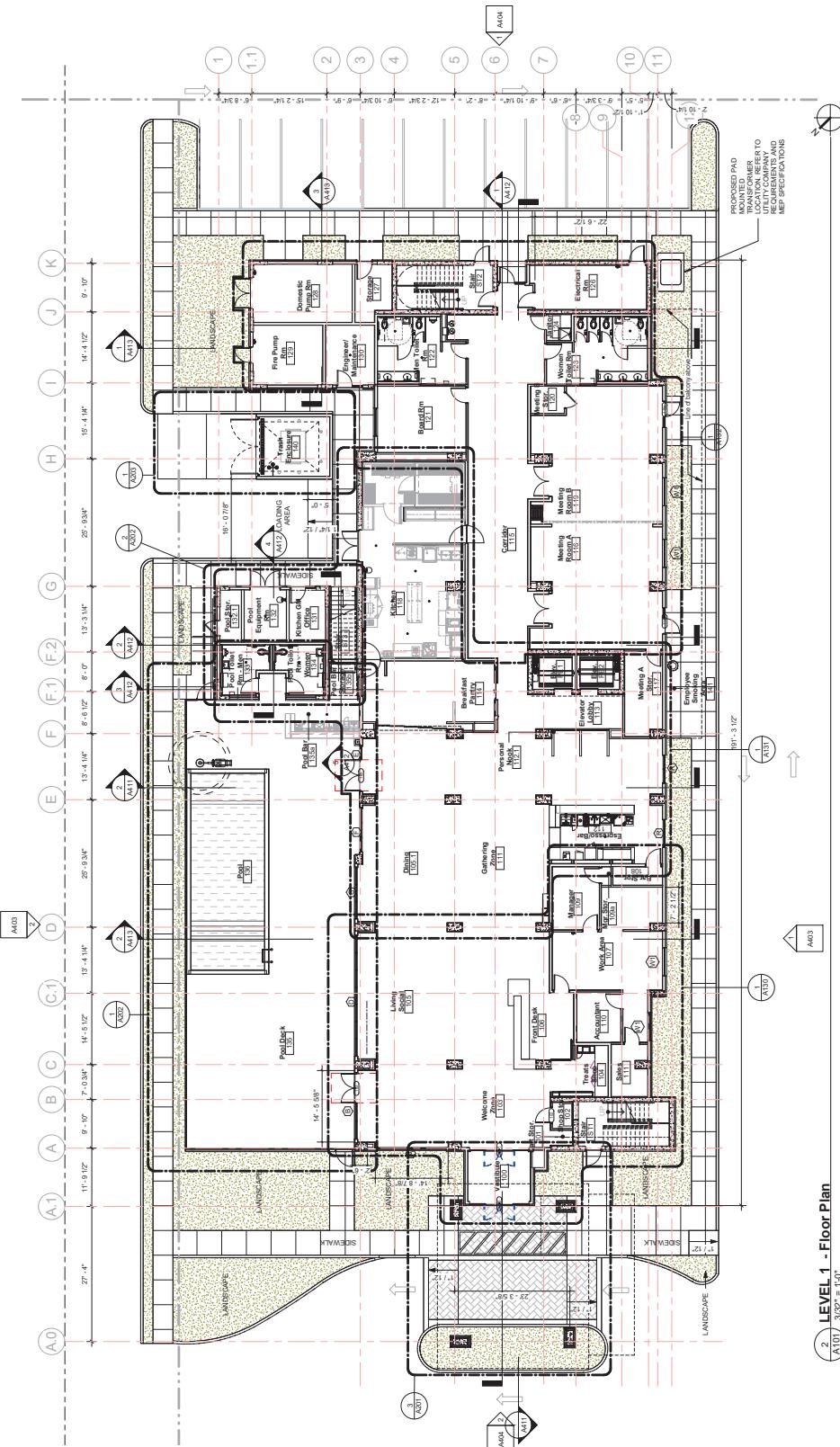
A091



Hampton Inn by Hilton  
Ponce, Puerto Rico  
Derek Fleming



A101



NO. DESCRIPTION DATE

Hamppton Linn by Hilton  
Ponce, Puerto Rico  
Derek Fleming



CEILING FIXTURE LEGEND:	
Symbol	Description

Type	Manufacturer	Color	Size	Time / Points	Grid
ACT1	USG	White	2' x 4' x 8"	Ruler/Ceiling points. Item No: 2310	Dowel/Band/DIA= .15" - .16" Intermediate Dowel/Fit: white 500
ACT2	USG	White	2' x 4' x 12"	Sheetrock/Blended Edge/Ceiling Panels Item No: 2310 Liner Panel Liner Panel (Fit as need)	Dowel/Band/DIA= .15" - .16" Intermediate Dowel/Fit: white 500
ACT3	USG	White	2' x 2' x 34"	Sheetrock/Blended Edge/Ceiling Panels Item No: 2310 (Fit as need)	Dowel/Band/Ceramic DXT™ Intermediate Dowel/Fit: white 500
DSS-1	USG	White	5x7%	1 Layer Gypsum Board Suspended shelling month. Fit as planned	MSG Dowel/Band/Ceramic DXT™ Intermediate Dowel/Fit: white 500
DSS-2	USG	White	5x7%	1 Layer Medium Density Gypsum Board suspended shelling month	MSG Dowel/Band/Ceramic DXT™ Intermediate Dowel/Fit: white 500
DSS-3	USG	Top White/Bottom White SP-1772/SP-1772C	5x7%	1 Layer Gypsum Board Suspended shelling month. Fit as planned	MSG Dowel/Band/Ceramic DXT™ Intermediate Dowel/Fit: white 500
DSS-4	USG	Black Fox/SV-1200	5x7%	1 Layer Exterior Gypsum Board Suspended shelling month. Fit as planned	MSG Dowel/Band/Ceramic DXT™ Intermediate Dowel/Fit: white 500
KOT-1	SIV	White	-	Ultimate to underside of concrete slab (interior Grade)	Ultimate to underside of concrete slab (interior Grade)
KOT-2	SIV	White	-	Ultimate to underside of concrete slab (interior Grade)	Ultimate to underside of concrete slab (interior Grade)
WC-1	(By) C	American Royal or similar	For all tiles 2"	1 layer of expanded panel (interior application)	Welded Modular Mortarless Created With All Tiles.
WC-2	(By) C	American Royal or similar	For all tiles 4"	M/L Wood look (porcelain) - square pavers	Part of exterior structural setting (S)
SC	(By) SC	-	-	-	Part of exterior structural setting (S)
					→ Ceiling Type CEILING →

This architectural floor plan illustrates the layout of a building across three levels. The vertical axis on the left shows height dimensions from 11'-0" to 27'-4". The horizontal axis at the top shows width dimensions from 2'-0" to 27'-4". The plan includes several rooms and areas:

- Ground Floor (Bottom Level):** Features a large open area labeled "OPEN TO ABOVE" with dimensions 13'-4" x 27'-4". This area contains "Gathering Area", "Front Desk", "Shop Staff", "Retail Area", and "Customer Area".
- Second Floor (Top Level):** Contains a "Reception", "Waiting Room", "Meeting Room", "Board Room", "Kitchen", "Storage", "Public Restroom", and "Private Restroom".
- Mezzanine Level:** Located between the ground and second floors, it includes a "Press Room", "Public Restroom", "Private Restroom", and "Storage".
- Basement Level:** Features a "Generator", "Storage", "Waste Area", and "Service Area".

Key dimensions include:

- Ground Floor: 13'-4" x 27'-4", 13'-4" x 14', 14'-5 1/2" x 7'-0", 11'-0" x 10'.
- Second Floor: 25'-4 1/2" x 27'-4", 25'-4 1/2" x 14', 25'-4 1/2" x 9'.
- Mezzanine: 25'-4 1/2" x 14', 25'-4 1/2" x 9'.
- Basement: 27'-4" x 27'-4", 27'-4" x 14', 27'-4" x 9'.

Other features include a "Pump Room" with "Pump", "Water Filter", and "Control Panel", and a "Storage" area with "Generator" and "Fuel Tank". Various rooms are labeled with letters A through K and numbers 1 through 12, along with specific room names like "Reception", "Waiting Room", "Meeting Room", "Board Room", "Kitchen", "Storage", "Public Restroom", "Private Restroom", "Generator", "Storage", "Waste Area", "Service Area", "Press Room", "Public Restroom", "Private Restroom", and "Storage".

AUDIO EQUIPMENT LEGEND:	
Symbol	Description

LEVEL 1 - Reflected Ceiling Plan  
3/32" = 1'-0"  
A102

LEVEL 1 -  
3/32" = 1'-0"

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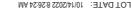
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Ponce, Puerto Rico  
Derek Fleming

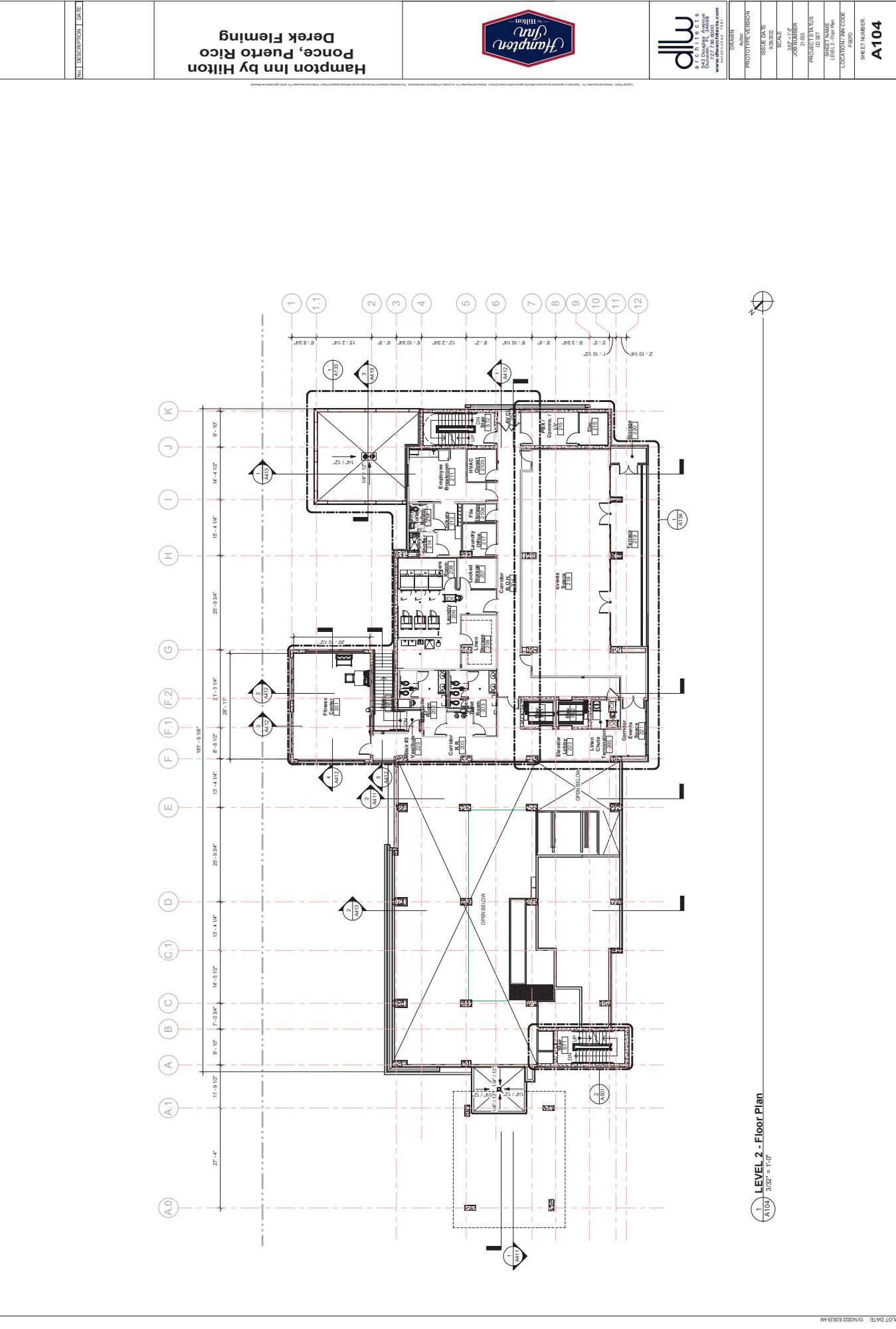
DESCRIPTION	MAXIMUM ALLOWABLE TRAVEL DISTANCES (in feet)								
	OCCUPANCY								
COMMON PATH OF TRAVEL	A	B	C	I-1	I-2	M	R-1	R-2	S
DEAD END:	75	100	100	75	75	75	125	100	100
EXIT ACCESS TRAVEL DISTANCE:	20	50	50	50	50	50	50	20	20
	200	300	200	200	200	200	200	200	200

(1) The maximum distance between the centerline of the travel path and the nearest edge of the building or structure shall not exceed 100 feet.



## LEVEL 1- Life Safety Plan









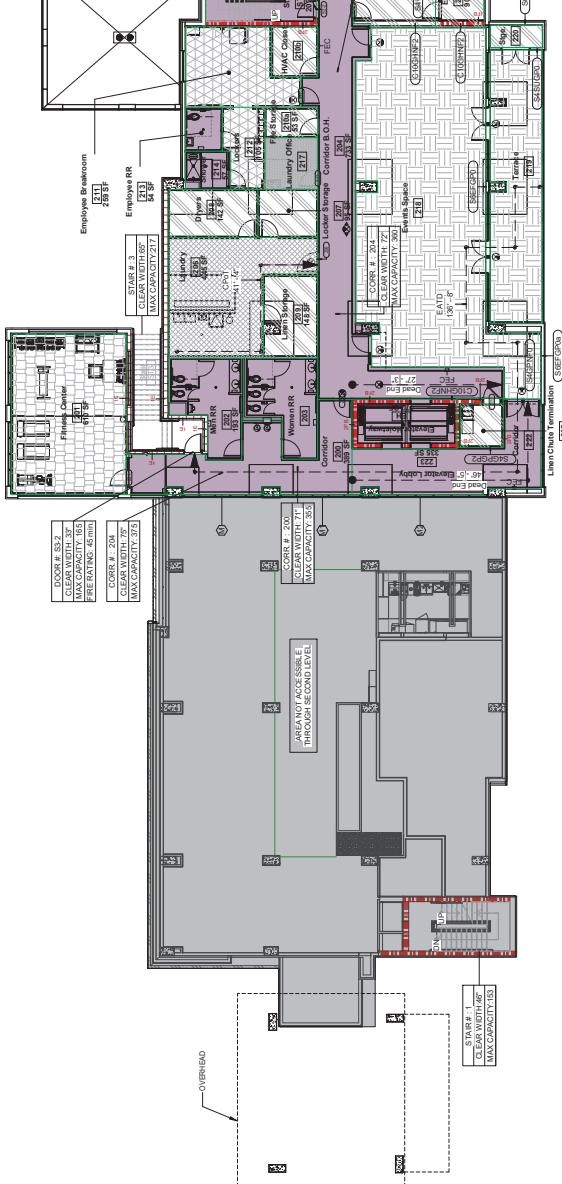
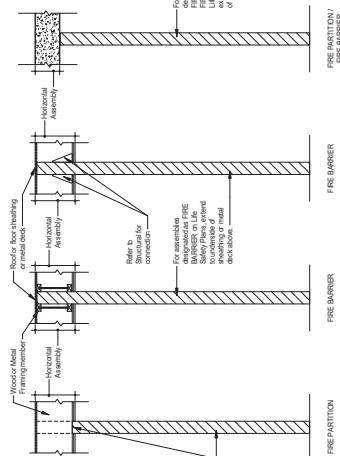
Hampton Inn by Hilton  
Ponce, Puerto Rico  
Derek Fleming

MAXIMUM ALLOWABLE TRAVEL DISTANCES (in Feet)							
DESCRIPTION	A	B	C	D-1	D-2	E	F
COMMON PATH OF TRAVEL	75	100	100	75	75	75	75
DEAD END	20	30	50	60	20	50	50
EXIT ACCESS TRAVEL DISTANCE	250	300	250	250	250	250	250

Travel distance from any point in a sleeping room to an exit access door shall not exceed 21' 0" overall shell and not be limited when the location is less than 2' 6" from the nearest window.

## **AREAS, OCCUPANCIES, OCCUPANT LOADS - Level 2**

FIRE SEPARATIONS - Continuity Diagrams



EVEI 2 - Life Safety Plan

4

LOT DATE: 10/14/2022 8:26:42 AM

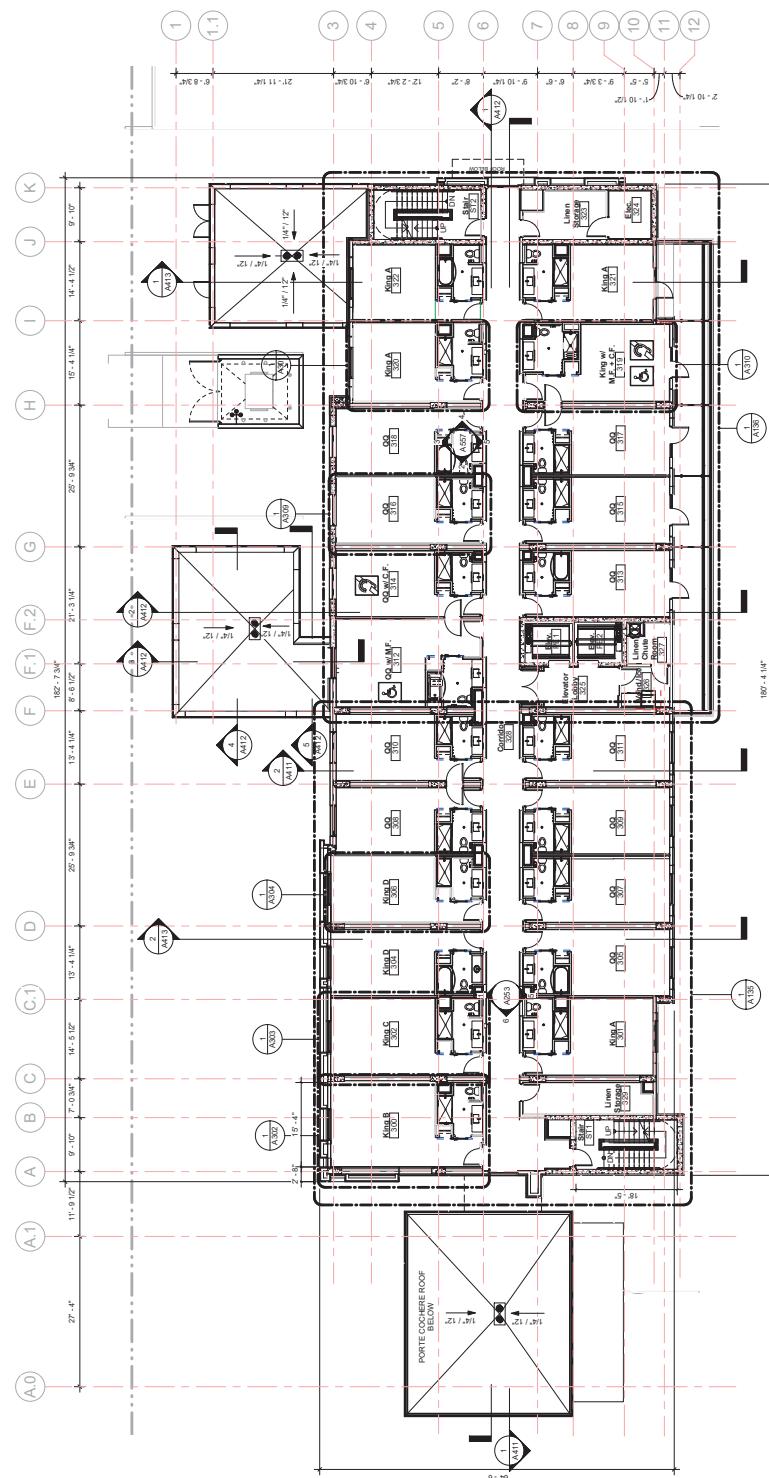
Hamppton Inn by Hilton  
Ponce, Puerto Rico



NO. DESCRIPTION / DATE



Room Name	Count	M	H
King	4	0	0
King B	1	0	0
King C	2	0	0
King M + CF	1	0	1
Queen C	11	0	0
Queen CF	1	0	1
Queen M	2	0	2
Total	23	2	2



Hamppton Linn by Hilton  
Ponce, Puerto Rico  
Derek Fleming



-  
-  
=

CEILING FIXTURE LEGEND:

Type	Manufacturer	Color	Size	Thickness	Grid
ACT1	USG	White	Z 14 x 48"	Radius Celling panels.	Dove®Brand(DOXA-15) UF (Intermezzo Dove-15) white (00)
ACT2	USG	White	Z 4 x 17"	Stucco & Stipple Edge Celling Panels Lay-In Celling Panels Recessed Edge Celling Panels	USG Dove®Brand(DOXA-15) (Intermezzo Dove-15) white (00)
ACT3	USG	White	Z 2 x 24"	Edge Celling Panels	USG Dove®Brand(COREX DOX-9) (Intermezzo Dove-9) white (00)
DSS-1	USG	White	-	-	-
DSS-2	USG	White	-	-	-
DSS-3	USG	Heb Red/White	55/16"	1 Layer Gypsum Board Suspended steering around from panel	-
DSS-3	USG	Heb Red/White	55/16"	Board Suspended steering smooth	-
DSS-4	USG	Black/SV/T202	55/16"	1 Layer Gypsum Board Suspended steering around from panel	-
KOT-1	SW	White	-	-	Untreated or untreated concrete brick (white, grey)
KOT-2	SW	White	-	-	Untreated or treated concrete concrete block (white, grey)
WC-1	(By)C	American/Mogul or similar	Parallel lines 2"	1 layer of expanded metal filter application	Welded Iron horizontal Grid Line Lattice
WC-2	(By)C	American/Mogul or similar	Parallel lines 4"	MTL (wood board) 1/4" groove panels	Pan underlay of structural ceiling (S1)
SC	(By)CQ	-	-	-	Ceiling Type 

<u>AUDIO EQUIPMENT LEGEND:</u>	
Symbol	Description

The floor plan illustrates a residential building with 12 distinct units, labeled A through L. Each unit contains a unique arrangement of rooms, such as bedrooms, living rooms, and kitchens. The plan also features a central entrance hall and a staircase. Red dashed lines delineate the boundaries between units and rooms. Unit numbers are circled at the top left of the plan.

LEVEL 3 - Reflected Ceiling Plan

2

## LEVEL 3 - Reflected Ceiling Plan

**A108**



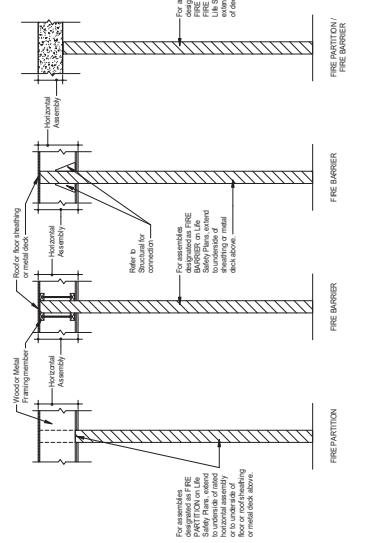
Hampton Inn by Hilton  
Ponce, Puerto Rico  
Derek Fleming

DESCRIPTION	MAXIMUM ALLOWABLE TRAVEL DISTANCES (in Feet)					
	A	B	C	D	E	F
COMMON PATH OF TRAVEL	75	100	100	75	75	75
DEAD END	20	50	50	20	50	50
EXIT ACCESS TRAVEL DISTANCE	250	300	280	200	200	200

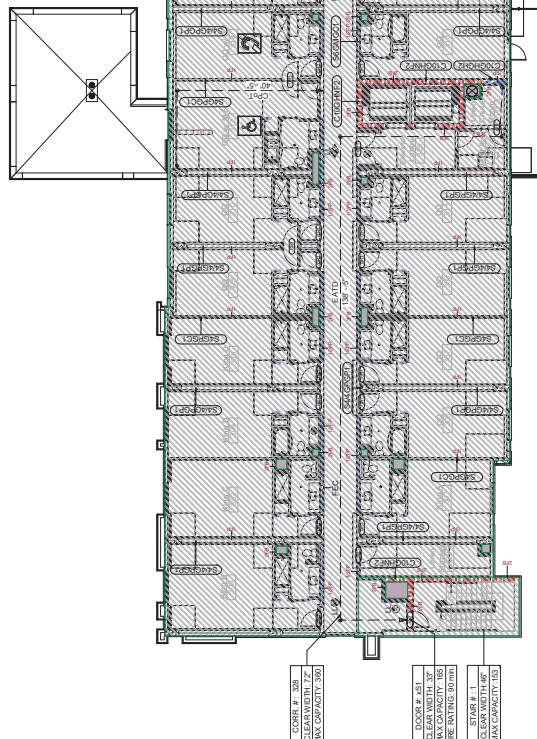
<sup>2</sup> Length shall not be limited where the length is less than 2.5 times its least width.

AREAS, OCCUPANCIES, OCCUPANT LOADS - Level 3

RAMP	ROOM NAME	OCCUPANCY CLASSIFICATION	OCCUPANT LOAD	FACTOR	AREA	OCCUPANT LOAD	EXTINCTION NUTRITION INCHES	STAINLESS WIDTH IN INCHES
Residential - 0.075 SF/ft <sup>2</sup>	Bedroom	R-1	200	0.250 SF	50	12,500	10,000	16,270.68
Not included in total area calculations (contours, stairs, ramps, etc.)	Storage	R-1	0	0.250 SF	50	12,500	10,000	16,270.68
Total					100	12,500	10,000	16,270.68



FIRE SEPARATIONS - Continuity Diagrams



LEVEL 3 - Life Safety Plan

2

2

A109  
SHEET NUMBER  
PSEPO  
LOCATION/IN CO

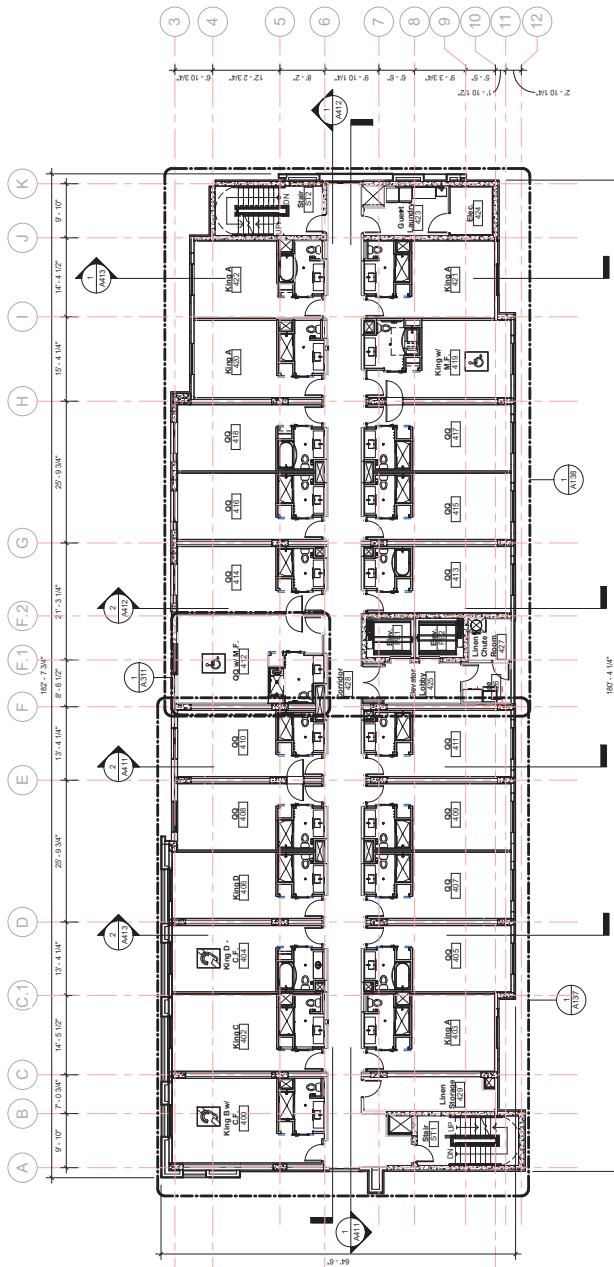
Hammpton Inn by Hilton  
Ponce, Puerto Rico



NO. DESCRIPTION DATE



	Count	M	H
Level 4	4	0	0
K10 (w/C)	1	0	0
K10 (C)	1	0	0
K10 (C/F)	1	0	0
K10 (M/F)	1	0	0
K10 (M/F)	12	0	0
Total	22	2	2



1 LEVEL 4 - Floor Plan  
A110 3/32 = 1'-0"



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Ponce, Puerto Rico

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New York, NY 10036  
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DRAWN  
PC  
PROTOTYPE VERSION  
REVISION 2.4  
08/08/2022  
SCALE  
3/32 = 1'-0"  
JOB NUMBER  
2081000000  
PROJECT STATUS  
CD SET  
SHEET NAME  
LEVEL 4 - Floor Plan  
LOCATION/FILE CODE  
P000  
SHEET NUMBER  
A110







Hammpton Inn by Hilton  
Ponce, Puerto Rico

No. DESCRIPTION DATE



Room Name	Count	M	H
Total	22	2	2
King w/C	3	0	0
King w/F	1	0	0
King w/C/F	1	0	1
King w/C/F	2	0	0
King w/M/F	1	0	0
Queen w/C	12	1	0
Queen w/M/F	1	0	0
Double w/C	2	0	0



M.H.P.  
MANAGEMENT  
HOTELS  
PROPERTIES

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Ponce, Puerto Rico  
Derek Fleming

Digitized by srujanika@gmail.com

CEILING FIXTURE LEGEND:

S U P P L Y I N S T R U C T U R E					
Type	Manufacturer	Color	Size	Time Panels	Grid
ACT1	USG	White	Z-4' x 4"	Ruler Ceiling Panels, Item#N210	Dove@Bend D/DA-15'x16' (Intramuros) Duct -Flat file #000
ACT2	USG	White	Z-4' x 12"	Spectra Blaster Eclipse ClimaPanels Item#N210	USG Dorrie's Brand D/DA-15'x16' (Intramuros) Duct -Flat file #000
ACT3	USG	White	Z-7' x 34"	(For a Walk-in Closet)	USG Dorrie's Brand ClimaPanels Item#N210
DS5-1	USG	White	5x7%	1 Layer Gypsum Board Suspended in smooth or firerated studs in smooth or firerated board suspended system smooth	USG 5x7% Intramuros Duct -Flat file #000
DS5-2	USG	White	5x7%	1 Layer Gypsum Board Suspended system smooth	USG 5x7% Intramuros Duct -Flat file #000
DS5-3	USG	White	5x7%	1 Layer Gypsum Board Suspended in smooth or firerated studs in smooth or firerated board suspended system smooth	USG 5x7% Intramuros Duct -Flat file #000
DS5-4	USG	White	5x7%	1 Layer Gypsum Board Suspended in smooth or firerated studs in smooth or firerated board suspended system smooth	USG 5x7% Intramuros Duct -Flat file #000
KOT1	S/W	White	-	Ultimate or ultimate of concrete substrate (Metal Grid)	Ultimate or ultimate of concrete substrate (Metal Grid)
KOT2	S/W	White	-	Ultimate or ultimate of concrete substrate (Metal Grid)	Ultimate or ultimate of concrete substrate (Metal Grid)
WC1	(By)C	American Mogul or similar	Parallel Lines 2"	1 line of drop-in gypsum panels (Interior Appliances)	Ward Ultra-Molded horizontal Gated Leaf Baffles
WC2	(By)C	American Mogul or similar	Parallel Lines 4"	M/L, hook and loop or groove panels	Part number of an optional setting (St)
SC	(By)C	-	-	-	Ceiling Type (C-T)

AUDIO EQUIPMENT LEGEND:	
Symbol	Description

This architectural floor plan illustrates the layout of a building across two wings. The left wing contains units labeled A through C1, while the right wing contains units D through K. Each unit includes a room number, dimensions, and specific features such as accessible (ADA) symbols. The plan also shows common areas like a central hallway and a staircase.

- Unit A:** Room A [3.00] x [3.00]
- Unit B:** Room B [3.00] x [3.00]
- Unit C1:** Room C1 [3.00] x [3.00]
- Unit D:** Room D [3.00] x [3.00]
- Unit E:** Room E [3.00] x [3.00]
- Unit F:** Room F [3.00] x [3.00]
- Unit F1:** Room F1 [3.00] x [3.00]
- Unit F2:** Room F2 [3.00] x [3.00]
- Unit G:** Room G [3.00] x [3.00]
- Unit H:** Room H [3.00] x [3.00]
- Unit I:** Room I [3.00] x [3.00]
- Unit J:** Room J [3.00] x [3.00]
- Unit K:** Room K [3.00] x [3.00]
- Common Areas:** Staircase, Central Hallway, Laundry Room, Kitchenette, and a room labeled "Chancery".

Dimensions are indicated in meters (m) and centimeters (cm). Accessible (ADA) features are marked with icons in several rooms.

LEVEL 5 - Reflected Ceiling Plan

LOT DATE: 10M4/2022 8.27.35 AM

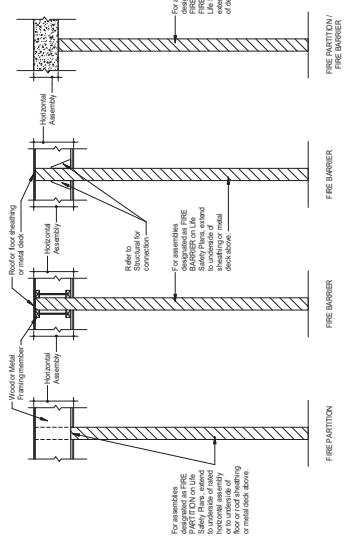


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Ponce, Puerto Rico  
Derek Fleming

LIFE SAFETY - Symbols Legend and Notes

RM #	ROOM NAME	OCCUPANCY CLASSIFICATION	OCCUPANT LOAD	FACTOR	AREA	OCCUPANT LOAD	EXT MIN. WIDTH IN INCHES
Residential - C10/200 [2015]	Bedrooms	I-1	100	10.0 SF	14.04661	152.0000	9,237.688
Not included in the area of all exterior corners, stairs, temporary walls, mechanical rooms and levels 1-10 if 10 ft. or less in width.	Kitchens	I-1	0	10.0 SF	5.41665	152.0000	9,237.688
	Bathrooms	I-1	0	10.0 SF	8.83333	0	0
Total			100	10.0 SF	54.04661	152.0000	9,237.688

AREAS, OCCUPANCIES, OCCUPANT LOADS - Level 5



IEEE SAFETY - Standard and Notes

For assemblies that require a FIRE  
STOPPING rating, refer to the  
Safety Data Sheets, and  
the Fire Protection Manual  
for specific details.

## MAXIMUM ALLOWABLE TRAVEL DISTANCES (in Feet)

DESCRIPTION	INFORMATION FOR OFFICIAL TRAVELERS ONLY (DO NOT USE)						OCCUPANCY	R1	R2	\$
	A	B	C	D	E	F				
COMMON PATH OF TRAVEL	75	100	100	75	75	75	75	125	100	
DEAD END	20	50	50	50	20	50	50	50	20	
EXIT ACCESS TRAVEL DISTANCE	250	300	250	250	200	250	250	250	400	

1 Travel distance from any point in a sleeping room to an exit access door shall not exceed  
2 Length shall not be limited where the length is less than 2.5 times its least width.



Not included in net floor areas calculations (corridors, stairways, ramps, to let rooms, mechanical rooms and closets) - (QLF 0) net



LEVEL 5 - Life Safety Plan  
A115 3/32" = 1'-0"



PROJECT STATUS	CD SET
SHEET NAME	LEVEL 5-6 Safety Plan
LOCATION/ INN CODE	PSERO



Hampton Inn by Hilton  
Ponce, Puerto Rico

NO. DESCRIPTION / DATE



Room Name	Count	M	F
King B w/C	4	0	0
King C w/C	1	0	1
King D	2	0	0
King E	1	0	0
Queen F	11	0	1
Queen G	1	0	1
Queen H	22	2	3



1 LEVEL 6 - Floor Plan  
A116  
332' = 1'-0"



PLOT DATE: 10/16/2022 8:27:52 AM  
SHEET NUMBER: A116  
SCALE: 332' = 1'-0"  
LOCATION/FILE CODE: F100  
SHEET NAME: LEVEL 6 - Floor Plan  
DRAWN BY: G. L. C. I. S.  
REVIEWED BY: J. L. C.  
CHECKED BY: J. L. C.  
DATE: 10/16/2022  
PROJECT STATUS:  
01 SET  
332' X 100' B  
2005  
PC





**Derek Fleming**

LIFE SAFETY - Symbols Legend and Notes

FIRE BARRIERS (See FIRE SEPARATIONS - Continuity Diagrams)		SYMBOLS	
1 HR RATED FIRE BARRIER			
2 HR RATED FIRE BARRIER			
3 HR RATED FIRE BARRIER			
4 HR RATED FIRE BARRIER			
5 HR RATED FIRE BARRIER			
6 HR RATED FIRE BARRIER			
7 HR RATED FIRE BARRIER			
8 HR RATED FIRE BARRIER			
9 HR RATED FIRE BARRIER			
10 HR RATED FIRE BARRIER			
11 HR RATED FIRE BARRIER			
12 HR RATED FIRE PARTITION			
1 HR RATED FIRE PARTITION			
2 HR RATED FIRE PARTITION			
3 HR RATED FIRE PARTITION			
4 HR RATED FIRE PARTITION			
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6 HR RATED FIRE PARTITION			
7 HR RATED FIRE PARTITION			
8 HR RATED FIRE PARTITION			
9 HR RATED FIRE PARTITION			
10 HR RATED FIRE PARTITION			
11 HR RATED FIRE PARTITION			
12 HR RATED FIRE PARTITION			
FIRE RATED EXTERIOR WALL			
1 HR RATED EXTERIOR WALL			
2 HR RATED EXTERIOR WALL			
3 HR RATED EXTERIOR WALL			
4 HR RATED EXTERIOR WALL			
5 HR RATED EXTERIOR WALL			
6 HR RATED EXTERIOR WALL			
7 HR RATED EXTERIOR WALL			
8 HR RATED EXTERIOR WALL			
9 HR RATED EXTERIOR WALL			
10 HR RATED EXTERIOR WALL			
11 HR RATED EXTERIOR WALL			
12 HR RATED EXTERIOR WALL			

**Derek Fleming**

AREAS, OCCUPANCIES, OCCUPANT LOADS - Level 6

RM#	ROOM NAME	OCCUPANCY CLASSIFICATION	OCCUPANCY	OCCUPANT LOAD FACTOR	AREA	OCCUPANT LOAD	EXT MIN WIDTH IN INCHES	STAR MIN WIDTH IN INCHES
Residentiel - QLM 200 guests	Residential			1.0	10,930 SF	52,936 SF	10,930 SF	10,930 SF
Noncluded in room calculations (motor, service, telephone, mechanical room and elevator)					10,930 SF	52,936 SF	10,930 SF	10,930 SF
Total					87 SF	0	0	0

**Derek Fleming**

LIFE SAFETY - Symbols Legend and Notes

FIRE PARTITIONS (See FIRE SEPARATIONS - Continuity Diagrams)		SYMBOLS	
1 HR RATED FIRE PARTITION			
2 HR RATED FIRE PARTITION			
3 HR RATED FIRE PARTITION			
4 HR RATED FIRE PARTITION			
5 HR RATED FIRE PARTITION			
6 HR RATED FIRE PARTITION			
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9 HR RATED FIRE PARTITION			
10 HR RATED FIRE PARTITION			
11 HR RATED FIRE PARTITION			
12 HR RATED FIRE PARTITION			

FIRE SEPARATIONS - Continuity Diagrams

FIRE SEPARATIONS - Continuity Diagrams		SYMBOLS	
1 HR RATED FIRE BARRIER			
2 HR RATED FIRE BARRIER			
3 HR RATED FIRE BARRIER			
4 HR RATED FIRE BARRIER			
5 HR RATED FIRE BARRIER			
6 HR RATED FIRE BARRIER			
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9 HR RATED FIRE BARRIER			
10 HR RATED FIRE BARRIER			
11 HR RATED FIRE BARRIER			
12 HR RATED FIRE BARRIER			

FIRE SEPARATIONS - Continuity Diagrams

FIRE SEPARATIONS - Continuity Diagrams		SYMBOLS	
1 HR RATED FIRE BARRIER			
2 HR RATED FIRE BARRIER			
3 HR RATED FIRE BARRIER			
4 HR RATED FIRE BARRIER			
5 HR RATED FIRE BARRIER			
6 HR RATED FIRE BARRIER			
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8 HR RATED FIRE BARRIER			
9 HR RATED FIRE BARRIER			
10 HR RATED FIRE BARRIER			
11 HR RATED FIRE BARRIER			
12 HR RATED FIRE BARRIER			

FIRE SEPARATIONS - Continuity Diagrams

FIRE SEPARATIONS - Continuity Diagrams		SYMBOLS	
1 HR RATED FIRE BARRIER			
2 HR RATED FIRE BARRIER			
3 HR RATED FIRE BARRIER			
4 HR RATED FIRE BARRIER			
5 HR RATED FIRE BARRIER			
6 HR RATED FIRE BARRIER			
7 HR RATED FIRE BARRIER			
8 HR RATED FIRE BARRIER			
9 HR RATED FIRE BARRIER			
10 HR RATED FIRE BARRIER			
11 HR RATED FIRE BARRIER			
12 HR RATED FIRE BARRIER			

FIRE SEPARATIONS - Continuity Diagrams

FIRE SEPARATIONS - Continuity Diagrams		SYMBOLS	
1 HR RATED FIRE BARRIER			
2 HR RATED FIRE BARRIER			
3 HR RATED FIRE BARRIER			
4 HR RATED FIRE BARRIER			
5 HR RATED FIRE BARRIER			
6 HR RATED FIRE BARRIER			
7 HR RATED FIRE BARRIER			
8 HR RATED FIRE BARRIER			
9 HR RATED FIRE BARRIER			
10 HR RATED FIRE BARRIER			
11 HR RATED FIRE BARRIER			
12 HR RATED FIRE BARRIER			

FIRE SEPARATIONS - Continuity Diagrams

FIRE SEPARATIONS - Continuity Diagrams		SYMBOLS	
1 HR RATED FIRE BARRIER			
2 HR RATED FIRE BARRIER			
3 HR RATED FIRE BARRIER			
4 HR RATED FIRE BARRIER			
5 HR RATED FIRE BARRIER			
6 HR RATED FIRE BARRIER			
7 HR RATED FIRE BARRIER			
8 HR RATED FIRE BARRIER			
9 HR RATED FIRE BARRIER			
10 HR RATED FIRE BARRIER			
11 HR RATED FIRE BARRIER			
12 HR RATED FIRE BARRIER			

FIRE SEPARATIONS - Continuity Diagrams

FIRE SEPARATIONS - Continuity Diagrams		SYMBOLS	
1 HR RATED FIRE BARRIER			

Hampton Inn by Hilton  
Ponce, Puerto Rico



NO. DESCRIPTION / DATE



Accessible Guestroom Beds - Level 7

Room Name	Court	MR	FLR
King A	3	0	0
King W.C.	1	0	0
King Suite AW.M.F.	1	1	0
King Suite C	1	0	0
King W.F.	1	0	0
Queen F.	1	0	0
Queen C.F.	1	0	0
Queen M.F.	1	0	0
Total	26	3	0



1 LEVEL 7 - Floor Plan

A119

3000 = 1'-0"



189'-4" x 14'



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2022

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www.hilton.com

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A119

PLOT DATE: 10/16/2022 8:26:11 AM

PROTOTYPE VERSION

REVISION: 4.2

SCALE: 3000 = 1'-0"

LOCATION: 1st Flr Pan

SET: 1

SHEET NAME: LEVEL 7 - Floor Plan

PAGE: 1

DRAWN: PC

REVIEWED: 9/20/2022

APPROVED: 9/20/2022

Hamppton Linn by Hilton  
Ponce, Puerto Rico  
Derek Fleming



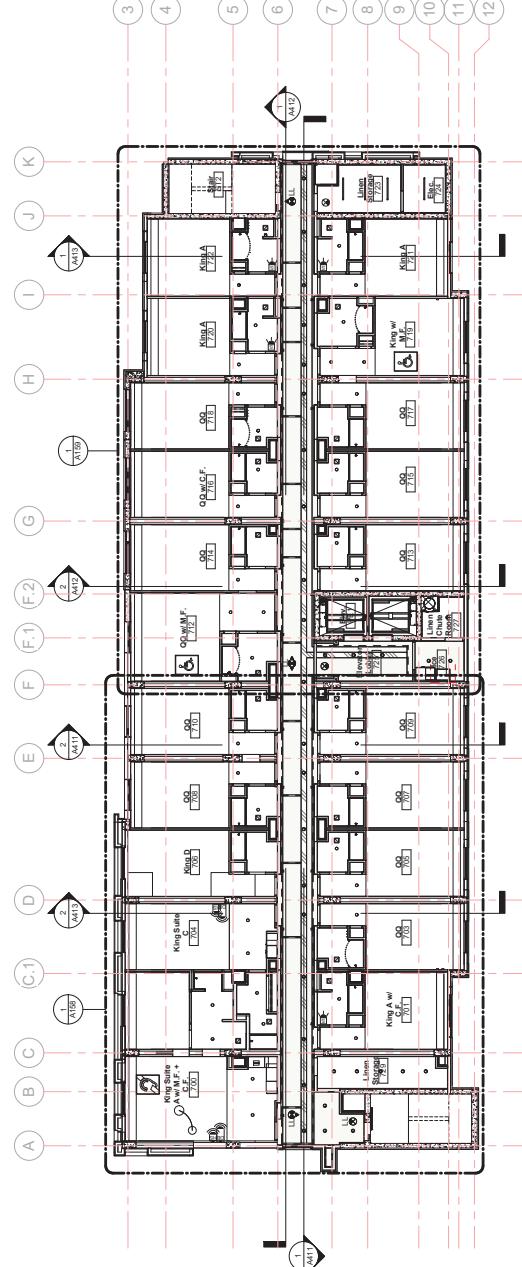
三

CEILING FIXTURE LEGEND:

Type	Manufacturer	Color	Size	Thickness	Grid
ACT1	USG	White	Z 14 x 8"	Radius Casing panels.	Dove®Brand/DOXA - 15' U/P (Interlocking Dove - File #003)
ACT2	USG	White	Z 14 x 17"	Smooth & Smooth Edge Panels Liner Panel	USG Dove®Brand/DOXA - 16' U/P (Interlocking Dove - File #004)
ACT3	USG	White	Z 22 x 34"	Edge Reinforced Casing Panels	USG Dove®Brand/DOXA - 9 1/2' (Interlocking Dove - File #005)
DS5-1	USG	White	55 1/4"	1 Layer Gypsum Board Suspended steaming around the panel	
DS5-2	USG	White	55 1/4"	Board Suspended steaming smooth	
DS5-3	USG	Light Red/White	55 1/4"	1 Layer Gypsum Board Suspended steaming around the panel	
DS5-4	USG	Black/SV/T202	24x27	1 Layer Edge Gypsum Board Suspended steaming around the panel	
KOT-1	SIV	White	-	U-shaped or u-shape of concrete slab (interlock Grid)	
KOT-2	SIV	White	-	U-shaped or u-shape of concrete office (interlock Grid)	
NC-1	(B)10	American Mogul or similar	Parallel lines <sup>a</sup>	1 Line of spaced parallel (Interior application)	Welded/Welded Horizontal Cross Line Lattice
WC-2	(B)10	American Mogul or similar	Parallel lines <sup>a</sup>	MTL (wood board) - groove panels	Pearl vertical or stud wall (S1)
SC	(B)10	-	-	-	Ceilng Type C-T-C

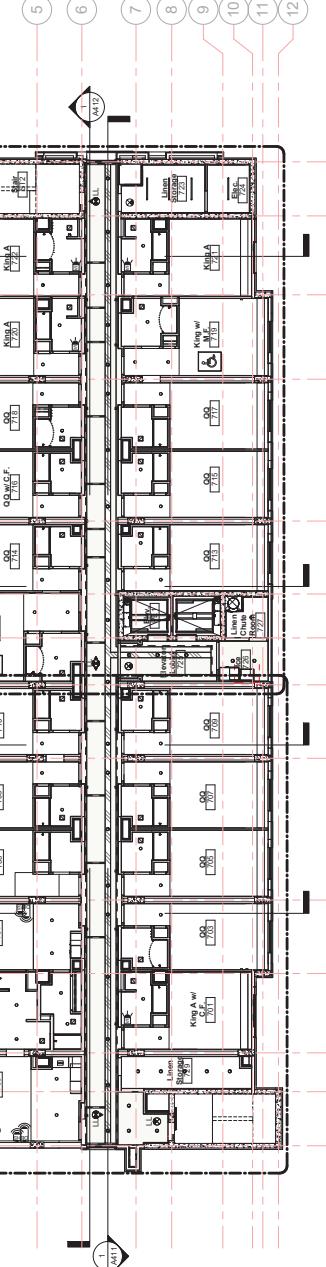
AUDIO EQUIPMENT LEGEND:

卷之三



AUDIO EQUIPMENT LEGEND:

© 1972 W.M. Electronics  
Speaker wire



**LEVEL 7 - Reflected Ceiling Plan**

LOT DATE: 10/14/2022 8:28:18 AM



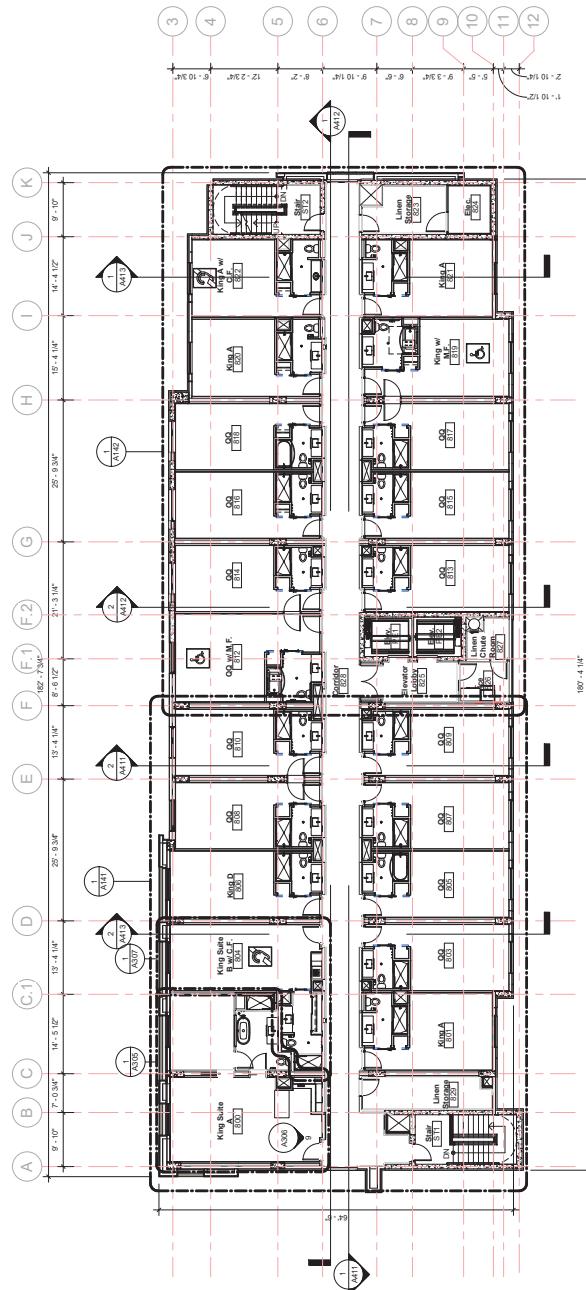
Hampton Inn by Hilton  
Ponce, Puerto Rico



NO. DESCRIPTION DATE



Room Name	Count	M	H
King B	3	0	0
King w/C	1	0	1
King D	1	0	0
King E	1	0	0
King w/E	1	1	0
King w/M	1	1	0
Q	12	0	0
Q w/M	0	0	0
Total	21	2	2



LEVEL 8 - Floor Plan  
A122 3/32" x 1'-0"



DRAWN  
PC  
PROTOTYPE VERSION  
REVISION 2.4  
08/08/2022  
SCALE  
3/32" x 1'-0"  
208 X 104MM  
PROJECT STATUS  
CD SET  
SHEET NAME  
LEVEL 8 - Floor Plan  
LOCATION/IN CODE  
PERIOD  
SHEET NUMBER  
**A122**

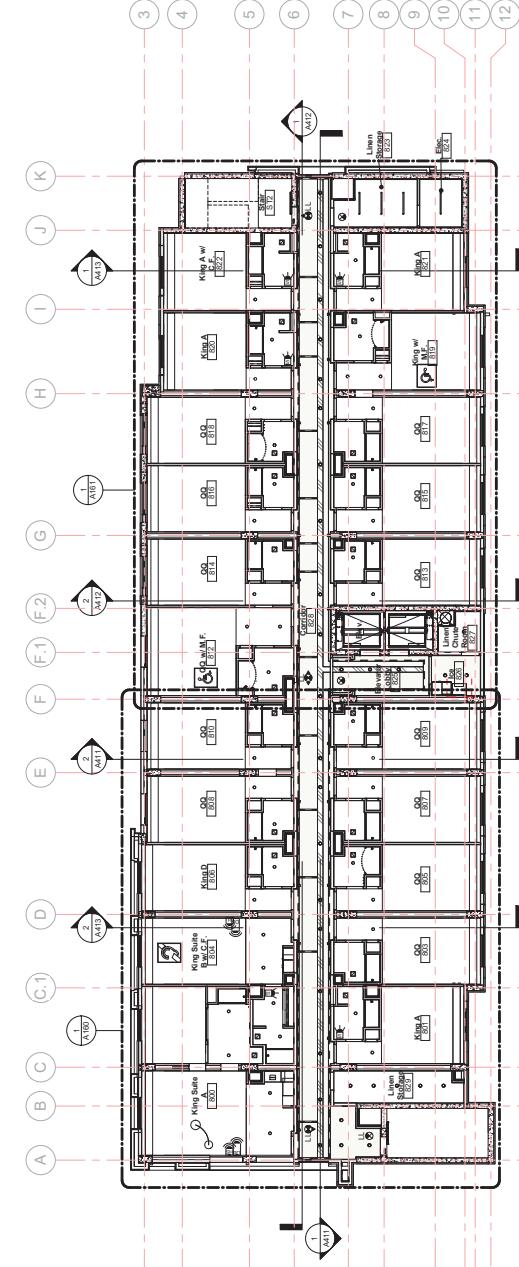
**Hammpton Inn by Hilton Puerto Rico  
Ponce, Puerto Rico**



**CEILING FIXTURE LEGEND:**

Type	Manufacturer	Color	Size	Thick Panels	Grid
ACT1	USG	White	2' x 4' x .05"	Recessed Can Light	○
ACT2	USG	White	2' x 4' x .12"	Compact Fluorescent Down Light Dimmable	●
ACT3	USG	White	2' x 4' x .12"	LED Down Light	■
DSS.1	USG	White	.50' x .18"	USG Direct Board On Metal - 1x16"	-
DSS.2	USG	White	.50' x .18"	USG Direct Board On Metal - 1x16"	-
DSS.3	USG	High Reflective/White	.50' x .18"	USG Direct Board On Metal - 1x16"	-
DSS.4	USG	High Reflective/White	.50' x .18"	USG Direct Board On Metal - 1x16"	-
KOT.1	SIV	White	.50' x .18"	USG Direct Board On Metal - 1x16"	-
KOT.2	SIV	White	.50' x .18"	USG Direct Board On Metal - 1x16"	-
WC-1	(9) 0	American Mogul or similar	Parallel Lines 2"	1 Line of suspended panel (Interior application)	△
WC-2	(9) 0	American Mogul or similar	Parallel Lines 4"	1 Line of suspended panel (Interior application)	◆
SC	(8) 0	-	-	Pair of units of suspended ceiling (S)N	□

**CEILING EQUIPMENT LEGEND:**



**EQUIPMENT LEGEND:**

Symbol	Description
A	Audio Headend staff management office
B	Two floor ceiling speakers w/ 16W/2.5"
C	16W/2.5" surface speakers mounted to ceiling grid
D	Concealed speaker wire
E	Volume control - 1x16"
F	Speaker wire
G	MC Twin cable 1x16" - Microphone height
H	4P A/F w/ 16W/G 2/Cer w/ Power Web
I	Linear Supply Ducts
J	Recessed Fluorescent Light
K	Linear Supply Ducts
L	Recessed Fluorescent Light
M	Recessed Fluorescent Light
N	Recessed Fluorescent Light
O	Recessed Fluorescent Light
P	Recessed Fluorescent Light
Q	Recessed Fluorescent Light
R	Recessed Fluorescent Light
S	Recessed Fluorescent Light
T	Recessed Fluorescent Light
U	Recessed Fluorescent Light
V	Recessed Fluorescent Light
W	Recessed Fluorescent Light
X	Recessed Fluorescent Light
Y	Recessed Fluorescent Light
Z	Recessed Fluorescent Light

1. Level 8 Reflected Ceiling Plan







Hampton Inn by Hilton  
Ponce, Puerto Rico  
Derek Fleming



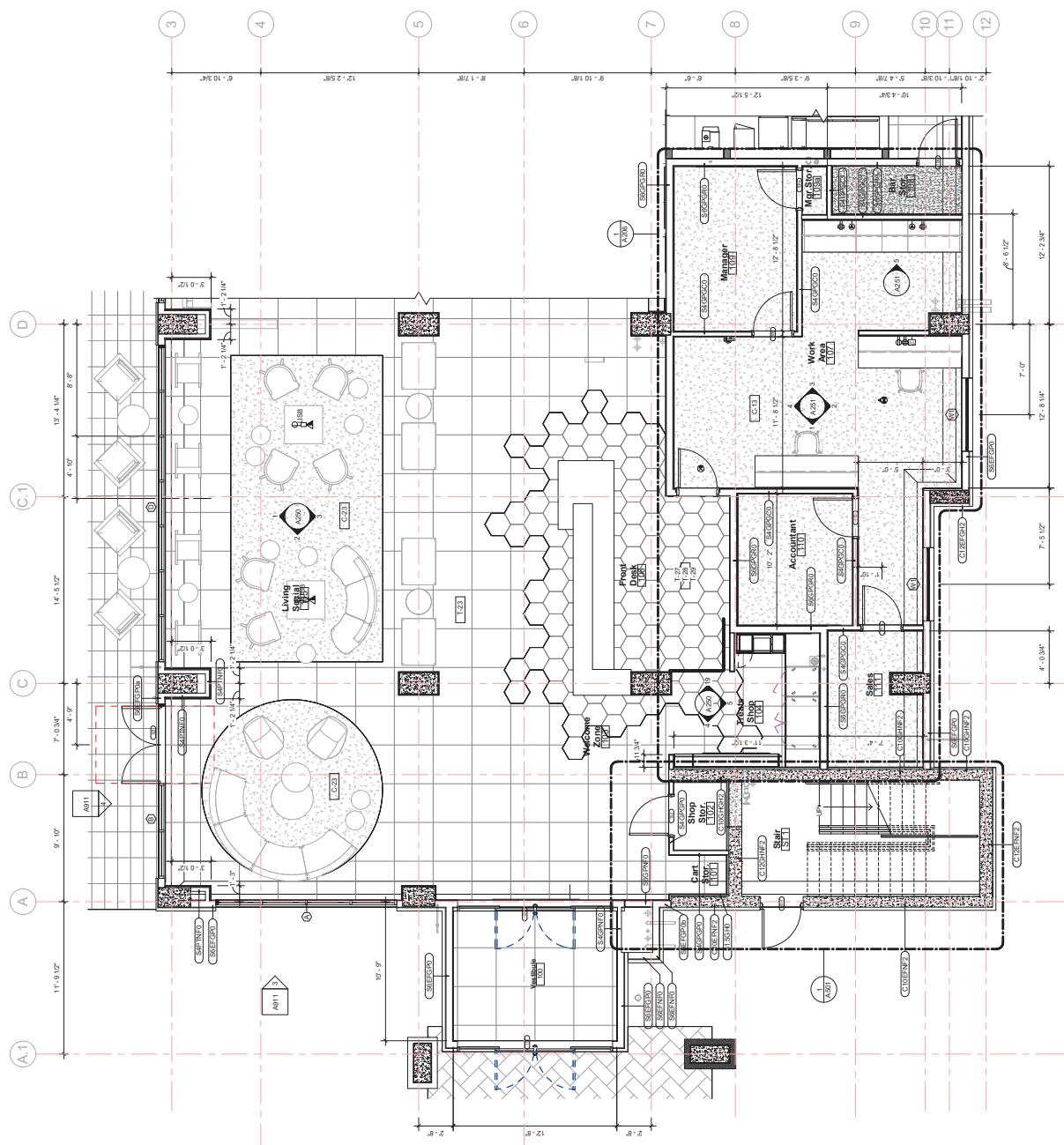
二

 dwarchitects.com  
 542 Douglas Avenue  
 Dunedin, FL 34698  
 727-736-6000  
[www.dwarchitects.com](http://www.dwarchitects.com)  
established 1981

ISSUE DATE	9/29/2022
SCALE	1W = 1'0"
JOB NUMBER	21-035
PROJECT STATUS	

W SEE SHEET NAME  
LEVEL 1 - Partial Floor Plan A  
LOCATION / INN CODE  
P SERO  
SHEET NUMBER

A130 | KEY PLAN



## LEVEL 1 - Partial Floor Plan A



Hampton Inn by Hilton  
Ponce, Puerto Rico  
Derek Fleming



1

**dw** architects  
542 Douglas Avenue  
Dunedin, FL 34698  
727.736.0000  
[www.dwarchitects.com](http://www.dwarchitects.com)  
established 1981  
DRAWN  
*Author*  
PROTOTYPE VERSION

ISSUE DATE  
9/23/2022

SCALE

21-035

158

LOCATION / AND CODE

ANSWER

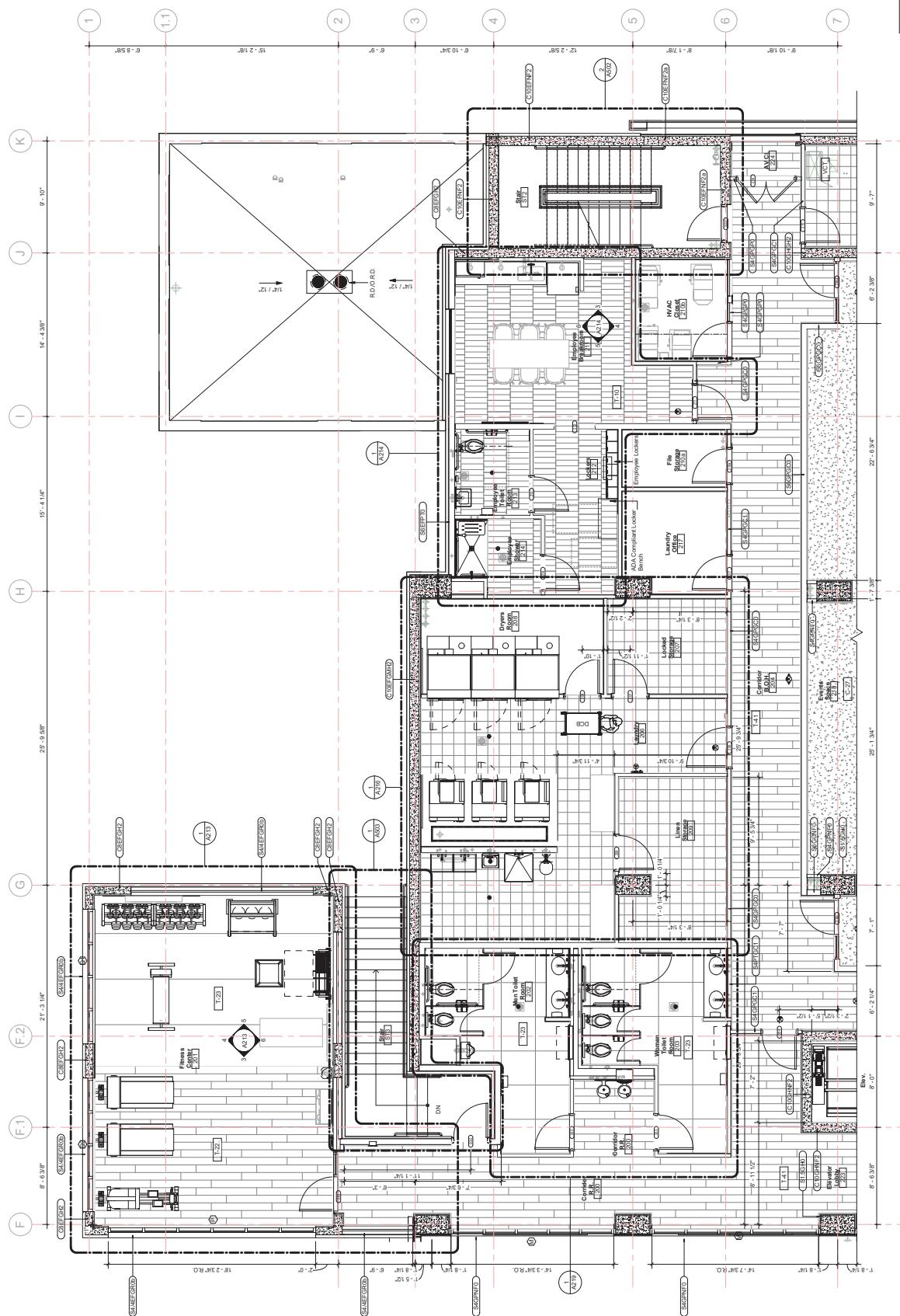
A132

A132

**LEVEL 1 - Partial Floor Plan C**

PLOT DATE: 10/14/2022 8:29:22 AM

A133 KEY PLAN



**LEVEL 2 - Partial Floor Plan A**

PLOT DATE: 10/14/2022 8:29:31 AM

Hampton Inn by Hilton  
Ponce, Puerto Rico  
Derek Fleming



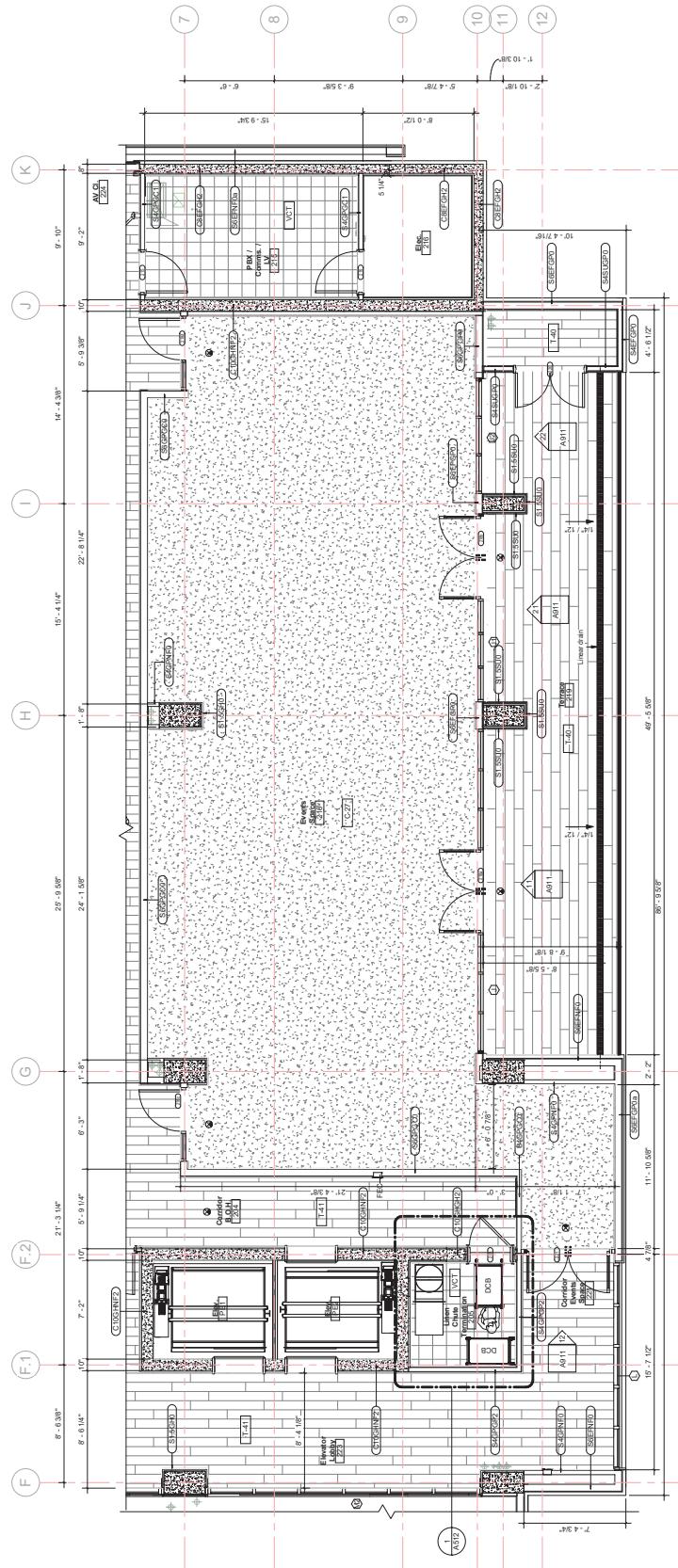
—

architects  
542 Douglas Avenue  
Dunedin, FL 34698  
727.37.8000  
[www.dunedinarchitects.com](http://www.dunedinarchitects.com)  
established 1981  
DRAWN  
Author  
PROTOTYPE VERSION  
ISSUE DATE

9/20/2022  
SCALE  
 $1\frac{1}{4}^{\prime \prime} = 1'-0^{\prime \prime}$   
JOB NUMBER  
21-036  
PROJECT STATUS

SHEET NAME  
LEVEL 2 - Partial Floor Plan B  
LOCATION/ INN CODE  
P SEP0  
SHEET NUMBER

A134



 LEVEL 2 - Partial Floor Plan B  
A134 1/4" = 1'-0"

**LEVEL 2 - Partial Floor Plan B**

PLOT DATE: 10/14/2022 8:29:37 AM

Hampton Inn by Hilton  
Ponce, Puerto Rico



NO. DESCRIPTION DATE

M&L  
Globe  
A.C.N. 1-11-1-1  
S. 54, Daguise Avenue  
El Rio, 7273, 00600  
www.mlglobe.com  
www.mlglobe.com

DRAWN

Author

PROTOTYPE VERSION

ISSUE DATE

SCALE

VIEW

JOB NUMBER

PROJ. STATUS

CD SET

SHEET NAME

LEVEL

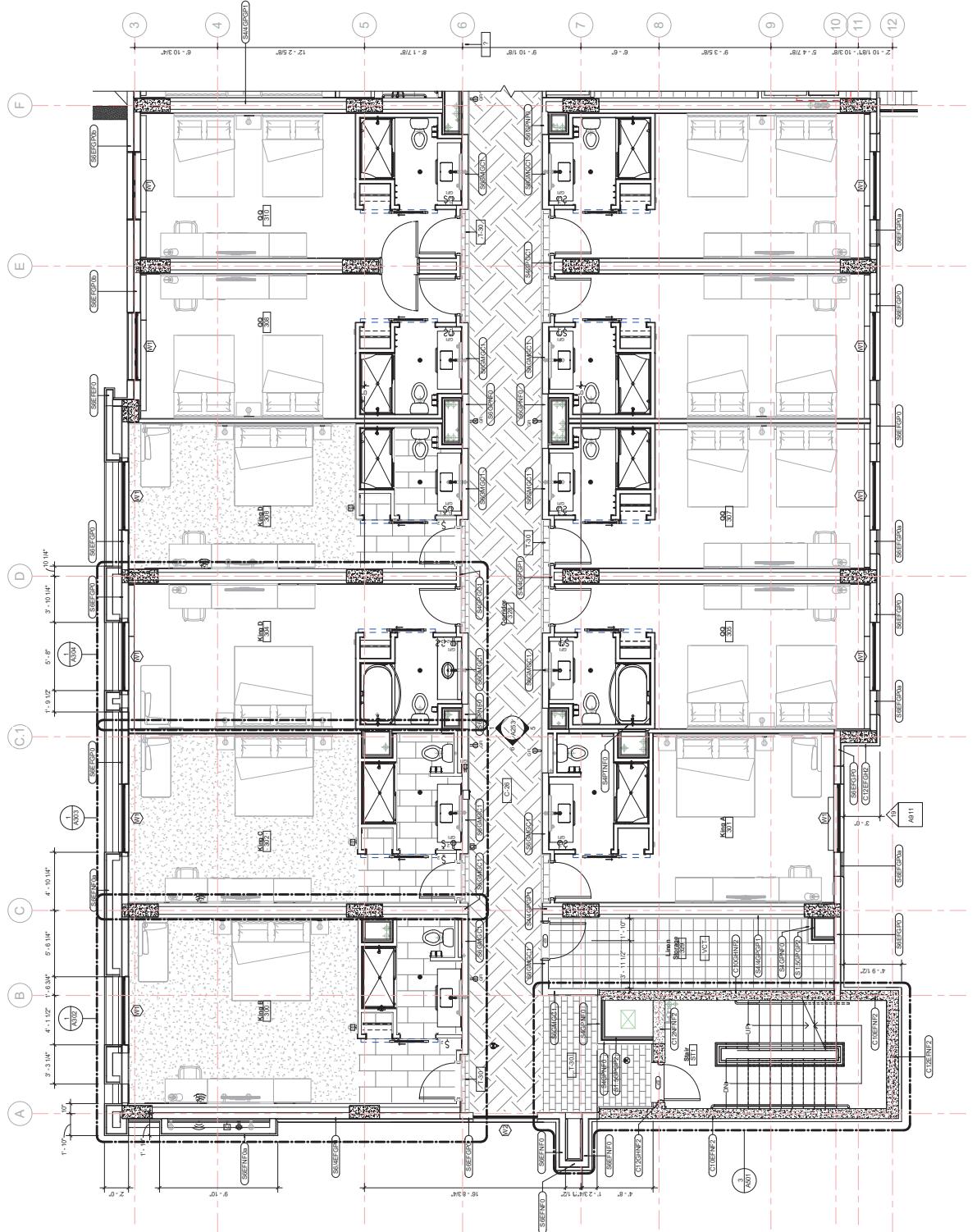
LOCATION/IN CODE

PERIOD

SHEET NUMBER

A135

**KEY PLAN**



Holiday Inn by Hilton  
Ponce, Puerto Rico



NO. DESCRIPTION DATE

M&P

A.C.N. 1-1-1 C.I.S.  
54-Duplex Avenue  
Box 7277, P.R. 00603  
www.mandp.com

DRAWN  
Autodesk

PROTOTYPE VERSION  
0.00.000

SCALE  
1/4" = 1'-0"

JOB NUMBER  
2022-000000000000

PAGE  
1 OF 1

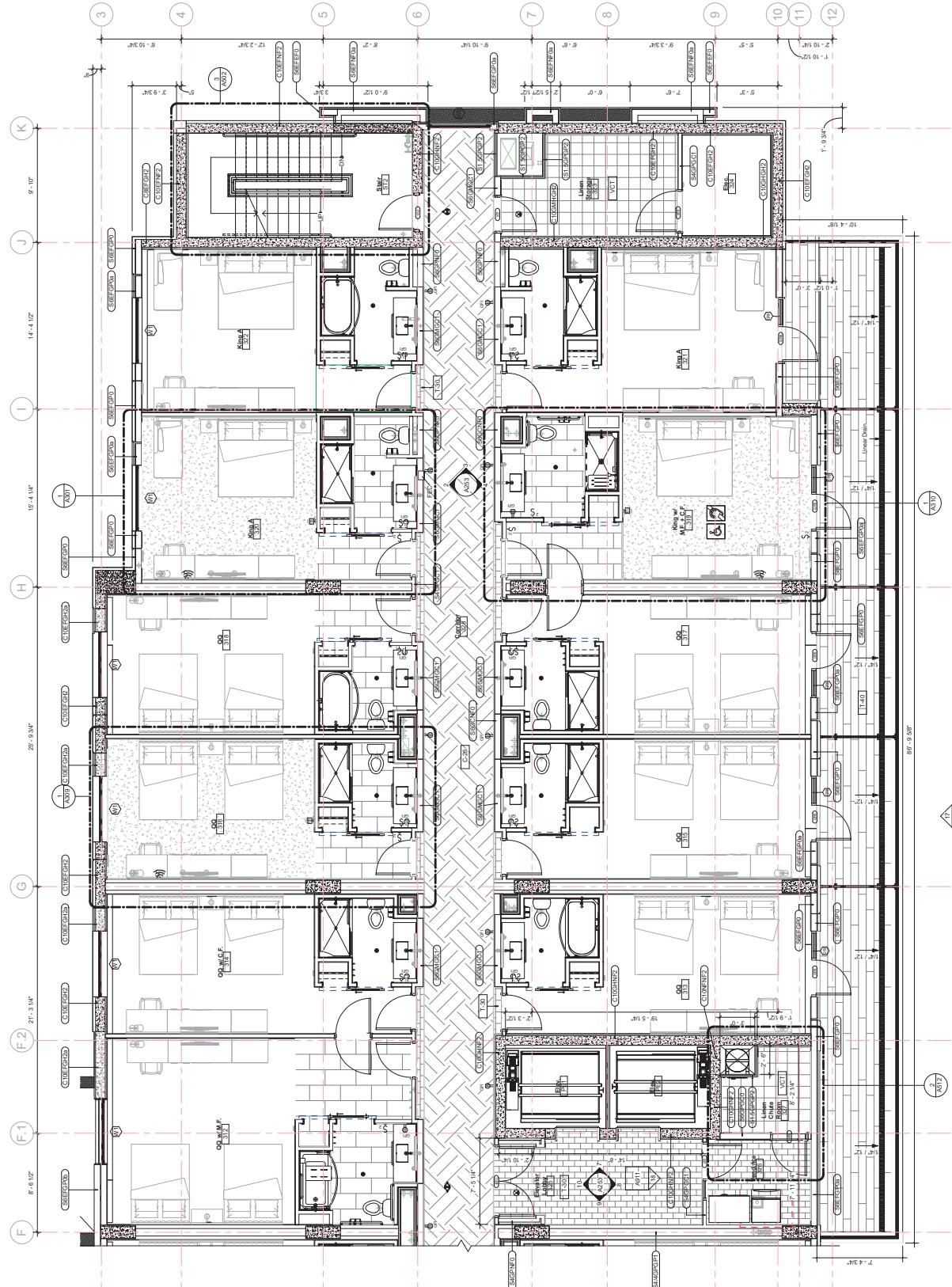
STATUS  
LEVEL 1 - Partial Plan B

LOCATION/PLAN CODE  
A136

SHEET NUMBER  
A136

**B**

**KEY PLAN**



**A137**

**KEY PLAN**

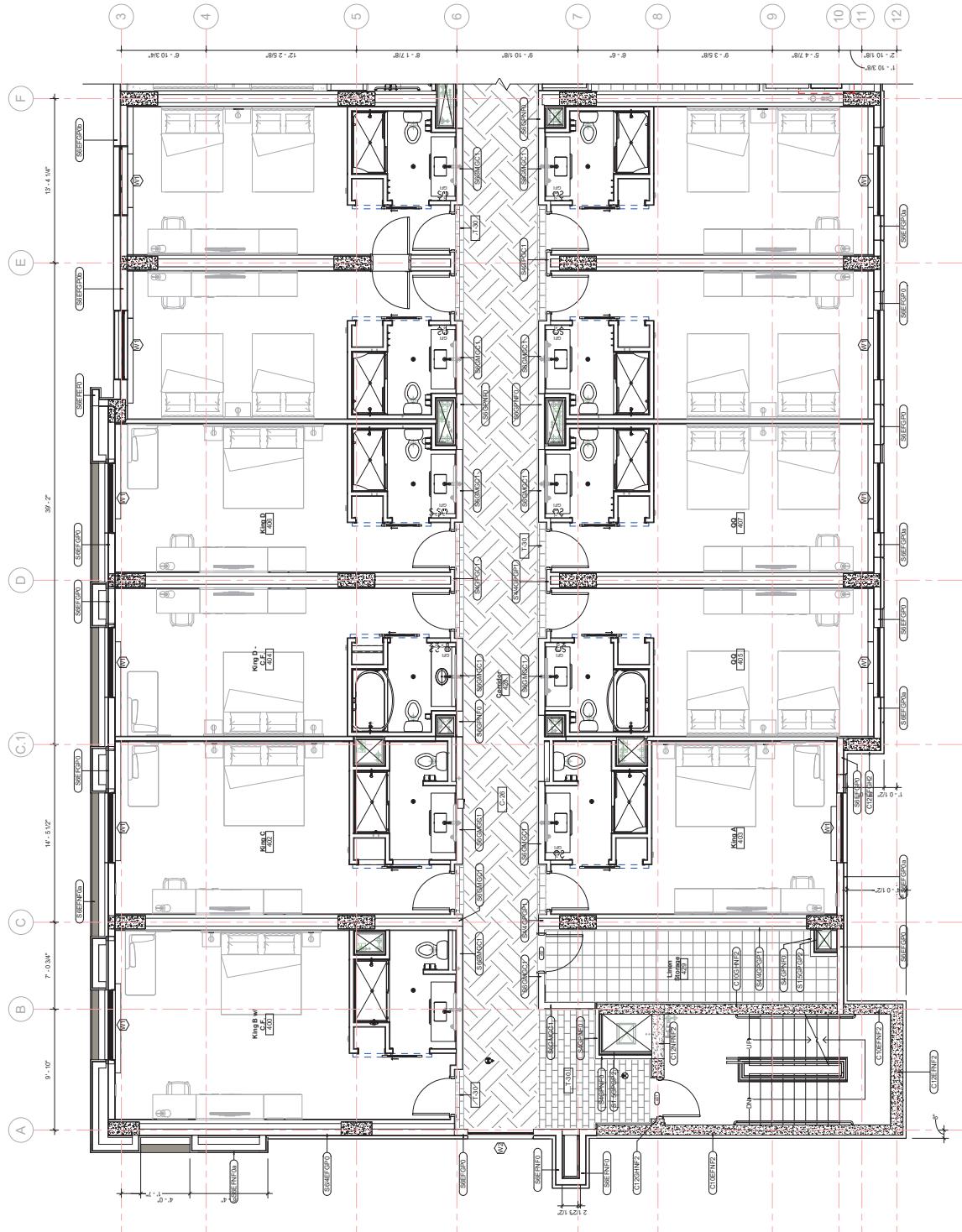


LEVELS 4 TO 6-Typ. Partial Floor Plan A  
A137 14' = 1'-0"

PLOT DATE: 10/16/2022 8:29:25 AM



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Ponce, Puerto Rico  
Derek Fleming



NO. DESCRIPTION DATE

DRAWN  
Autodesk  
PROTOTYPE BY PERSON  
ISSUE DATE  
08/20/22  
SCALE  
1/4" = 1'-0"  
JOB NUMBER  
20210000000000000000  
PROJECT STATUS  
ON SET  
SHEET NAME  
LEVELS 4 TO 6-Partial Floor Plan A  
LOCATION BY CODE  
PLOT DATE  
10/16/2022 8:29:25 AM

SHEET NUMBER  
**A137**





**A140**

**KEY PLAN**



**B**

1 LEVEL 7 - Partial Floor Plan B  
A140 14' = 1'-0" 1/4"

PLOT DATE: 10/16/2022 8:30:07 AM



Hampton Inn by Hilton  
Ponce, Puerto Rico  
Derek Fleming



AutoCAD

C.G.N.L.C. Inc.  
54-D Double Avenue  
Edo. 72773, 6000  
www.cgnl.com  
info@cgnl.com

DRAWN

Prototyperson

ISSUE DATE

9/20/2022

SCALE

1/4" = 1'-0"

JOB NUMBER

2023

PROGRESS

0%

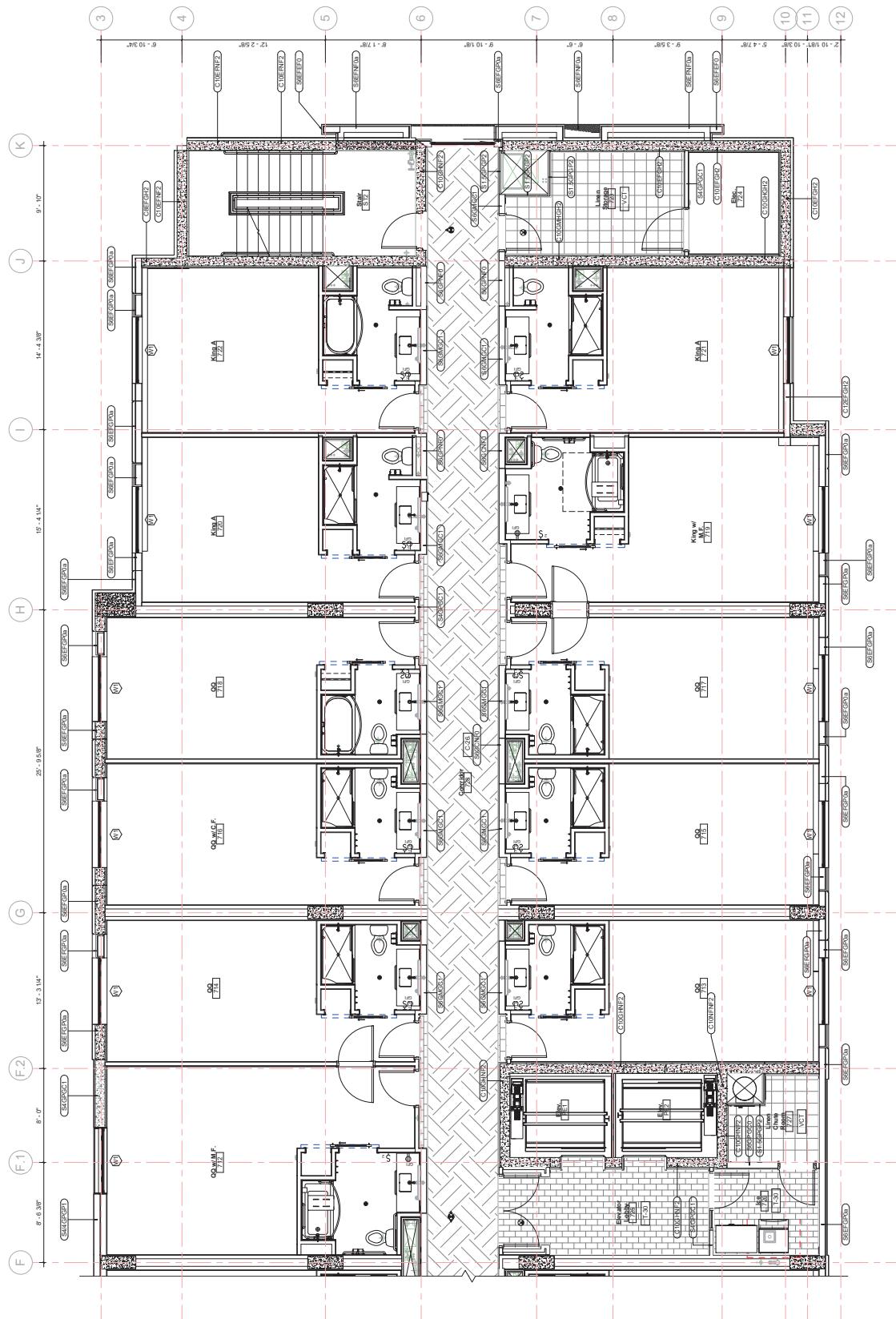
SHEET NAME

LEVEL 7 - Partial Plan B

LOCATION / IN CODE

PERIOD

SHEET NUMBER





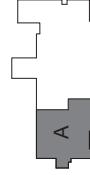




Hamppton Inn by Hilton  
Ponce, Puerto Rico  
Derek Fleming

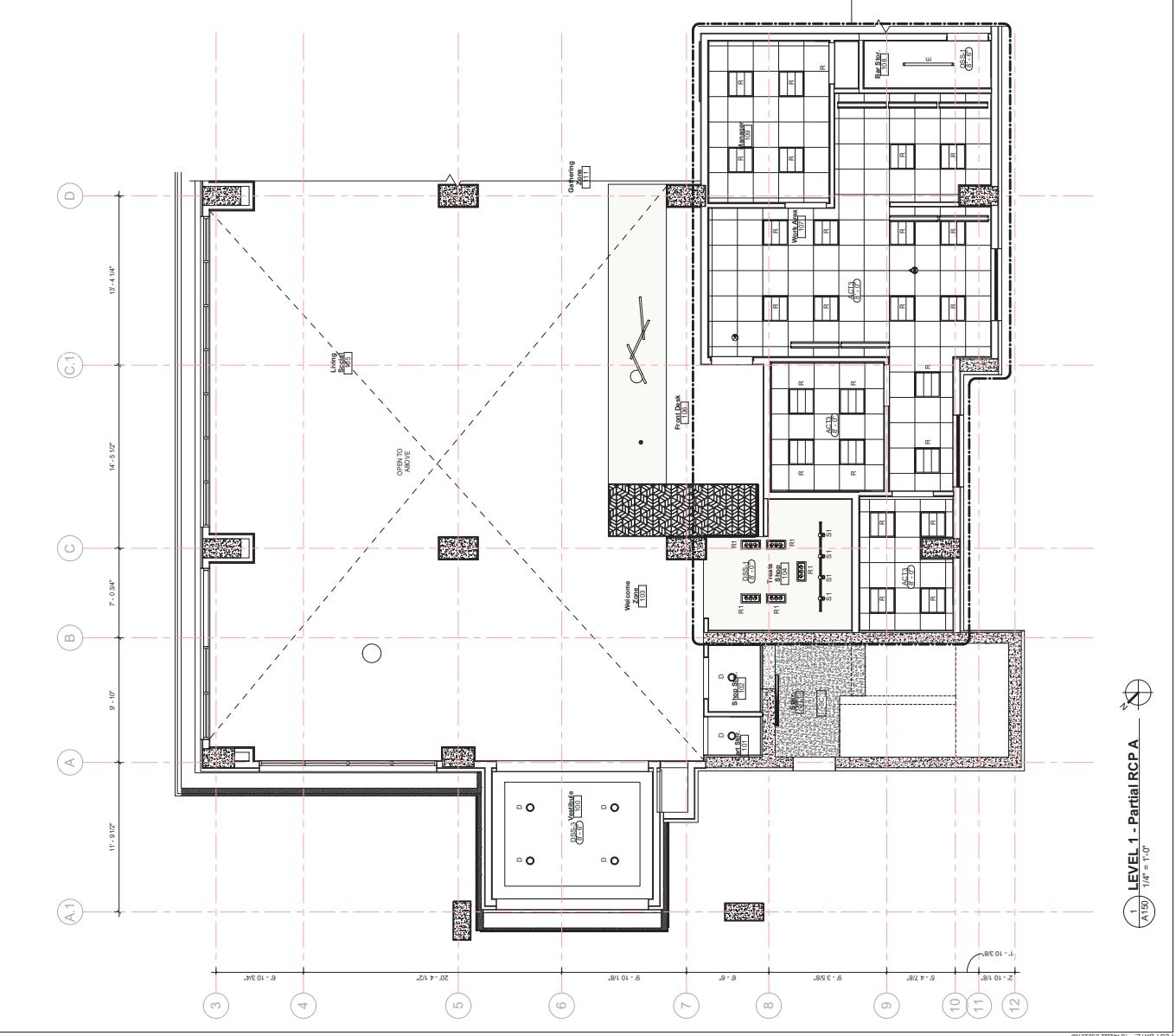
S E L L I N G   L E G E N D :		Type	Manufacturer	Color	Size	Time / Pmt with Order	Old
	ACT 1	USG	White	2' x 4' x .05"	Ruler Ceiling panels, Reinforced.	Do It Yourself (DIY) - 1st & 2nd Installments Only - All USG Products	
	ACT 2	USG	White	2' x 4' x .12"	Lay-In Ceiling Panels For Reinforced	USG Do It Yourself (DIY) - 1st & 2nd Installments Only - All USG Products	
	ACT 3	USG	White	2' x 2' x .34"	Edge-to-Clip™ Ceiling Panels For Reinforced	USG Do It Yourself (DIY) - 1st & 2nd Installments Only - All USG Products	
	DSS 1	USG	White	5x57%	11' x 4' Modular Box Standard System	Welded Metal Insulated Gypsum Board Suspended ceiling system for painted	
	DSS 2	USG	White	5x57%	11' x 4' Modular Box Standard System	1-layer gypsum board suspended in a frame system	
	DSS 3	USG	Top White/Bottom White	5x57%	11' x 4' Modular Box Standard System	1-layer gypsum board suspended in a frame system	
	DSS 4	USG	Black Fox SW / 7200	2x4 GT	1x4'x4'x.12"	1x4'x4'x.12"	
	KO1	SIV	White	-	Utilized as underside of concrete surfaces (under roof)	-	
	KO2	SIV	White	-	Utilized as underside of concrete surfaces (under roof)	-	
	WC 1	(b) D	American Roger	Panel 1'x6'	1x6' x .12"	1x6' x .12"	Welded Metal Insulated Gypsum Board Suspended
	WC 2	(b) D	American Roger	Panel 1'x6' or smaller	MIL 1x6'x1x6' x .12"	MIL 1x6'x1x6' x .12"	Welded Metal Insulated Gypsum Board Suspended
	SC	(b) CC	-	-	-	-	Pant under side of structural ceiling (Side Trim)

ID	Description
A1	Audio Headset in manager's office
A2	7.0 Surround sound speaker w/ SWING 2-cylinder speaker wire
A3	7.0 Surround sound speaker mounted to exterior wall at 14' F.F. w/ 18QW 2-cylinder speaker wire
A4	Volume control - 1-Gang 4-Mounting Height @ 18WV 2-cylinder speaker wire
A5	Microphone - 1-Gang 4-Mounting Height @ 18WV 2-cylinder speaker wire



KEY PLAN

A150



Hampton Inn by Hilton  
Ponce, Puerto Rico  
Derek Fleming



Impact Fluorescent Down Light Dimmable,  
Horiz Housing to match standard down light  
horiz LED Downlight equivalent to Graham Lighting  
S9Q 30/30 1544RBarlk L5/Mvkt E210  
horiz LED Can light equivalent to Graham Lighting  
S9Q 30/1544RBarlk L5/Mvkt E210  
selected round downlight/wall washer

The diagram illustrates a Trolley Light fixture. It consists of a rectangular frame with a translucent diffuser panel at the top. A single fluorescent tube is positioned horizontally across the center of the frame. The fixture is mounted on a vertical support arm, which is attached to a horizontal trolley track. A power cord is visible, extending from the side of the fixture.

- Ship Light equivalent to a calm model.
- 3rd and 5th order occulting light system.
- mounted deck alive source
- recessed adjustable double retail lighting

Sign  
Gangway Light fixture  
Turn Register 12" x 12"  
Turn Register 24" x 24"  
Turn Register 24" x 24"

(Exhaust Fan)  
- recessive pendant lighting fixture @ Dining Area -  
or to ID drawings for specs and final location.  
  
(Exhaust Fan)  
- recessive pendant lighting fixture @ Espresso Bar  
or to ID drawings for specs and final location.

- Refer to ID drawings for species and final location

I - Refer to ID drawings for specs and final location  
I - creative chandelier lighting fixture @ Lobby Corner  
I - Refer to ID drawings for specs and final location

Front desk  
Recessed Fluorescent Light  
Supply Diffuser

MENT LEGEND:  
— Description

- o headend shelf in manager's office
- o flush ceiling speaker w/ 180W/G 2-  
in. surface speaker - mounted to  
interior wall @ 12' A.F. w/ BAWG 2-

the control, 1-Gang -Mounting height  
5' A.F. w/ 18AWG 2-conductor  
Kerf wire

wall plates, 1-Gang -Mounting height @  
5' A.F. w/ 18AWG 2-Con w/ shield wire

10

KEY PLATE

PRINT DATE: 10/16/2022 8:30 AM

Hampston Inn by Hilton  
Ponce, Puerto Rico  
Derek Fleming



LEVEL 1 - Partial RCP C

## KEY PLAN

## KEY PLAN

Hampton Inn by Hilton  
Ponce, Puerto Rico  
Derek Fleming

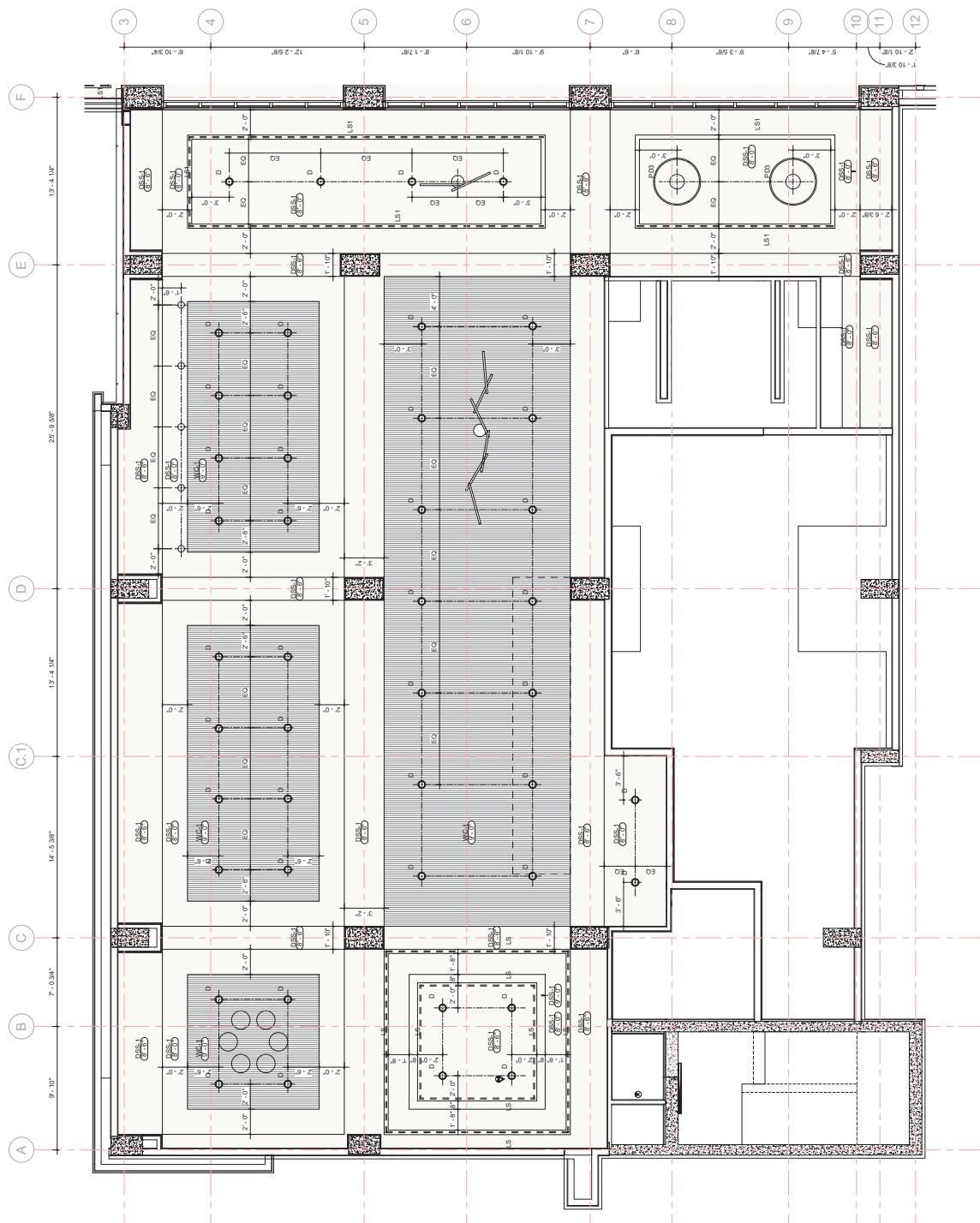


CEILING FIXTURE LEGEND:

Symbol	Description
	Audio headend in manager's office
	75Ω flat distribution w/ 18WG 2-conductor speaker wire
	75Ω coaxial conductor, matched to exterior wall at F, B, W, B/W, 2-conductor speaker wire
	Voice card - Long - Mounting height 80' - 48" - AWG 2-conductor speaker wire
	MC voice line, 1-Gauge - Mounting height 80' - 48"

A153 KEY PLAN

KEY PLAN



**LEVEL 2 - Partial RCP A**

PLOT DATE: 10/14/2022 8:30:30 AM







Hamppton Linn by Hilton  
Ponce, Puerto Rico  
Derek Fleming



CEILING FIXTURE LEGEND:

No.	DESCRIPTION	DATE
6	Lighting	8/20/01

```

graph TD
    A[Will Informed Decisional Source?] --> B[LED Step Light calculated to accommodate Prehook in FLEXOL Link cable at 300K]
    B --> C[Emergency Light fixture]
    C --> D[Exit Sign]
    C --> E[Emergency Light fixture]
    E --> F[Rear Register 12°x12°]
    E --> G[Rear Register 24°x24°]
    E --> H[Supply Diffuser 12°x12°]
    E --> I[EF (Bauhaus)]
    I --> J[Linear Supply Diffractor]
  
```

AUDIO EQUIPMENT LEGEND	
Symbol	Description
A	Audio headend shelf manager's office
S	75' floor ceiling speaker w/ 840 G-2 conductors, speaker wire
S	75' floor ceiling speaker - mounted to exterior wall @ 12' FFL w/ B&W G-2 conductors, speaker wire
V	Volume control - 1-Gang, Meaning height
G	Speaker grille
W	Speaker wire
L	Speaker wire - 2-Gang, Meaning height
M	Microphone
W	Speaker wire - 2-Gang, Meaning height

—

KEY I

卷之三

卷之三

This architectural floor plan illustrates a residential building layout across four floors (F-1 to K). The plan features several units, each with its own unique layout. Key rooms include large living areas, bedrooms, and bathrooms. The plan is annotated with numerous dimensions, labels, and symbols. A vertical column on the left lists floor levels from F-1 at the bottom to K at the top. A horizontal row at the top lists specific room names such as 'Sala', 'Sala', 'Kitch', 'Bed', 'Bed', 'Bed', 'Bed', 'Bath', 'Bath', 'Bath', 'Bath', and 'Bath'. The plan also includes a legend for symbols like 'E.S.S.O.', 'Linen Chats', and 'W.C.'. Dimensions are provided in feet and inches, such as '12'-0" x 12'-0", '10'-0" x 10'-0", and '10'-0" x 10'-0". Labels for 'Sala', 'Bed', 'Bath', and 'Kitch' are repeated multiple times across the different units.

**LEVELS 3 TO 6 - Typ. Partial RCP B**

PLLOT DATE: 10/14/2022 8:30:43 AM

KEY PLAN

A158



LEVEL 7 - Partial RCP A

1/4" = 1'-0"

PLOT DATE: 10/25/2022 8:30 AM

A158  
1/4" = 1'-0"



N

S

E

W

NE

NW

SE

SW



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Ponce, Puerto Rico  
Derek Fleming



CEILING FIXTURE LEGEND:

A. L. GOLDBECK AND J. R. HARRIS

ISSUE DATE  
01/01/00  
PROTOTYPE VERSION

SYNTHETIC  
SCALE

As Initiated  
JOB NUMBER

PROJECT STATUS

SHEET NAME \_\_\_\_\_  
PAGE \_\_\_\_\_

LEVEL 8 - partial REG A  
LOCATION / INN CODE

P SERO

**KEY BI AN** A160 SPEEL NUMBER

A.1.33

卷之三

卷之三

**LEVELS 7 TO 8 - Typ. Partial RCP A**

PLOT DATE: 10/14/2022 8:30:55



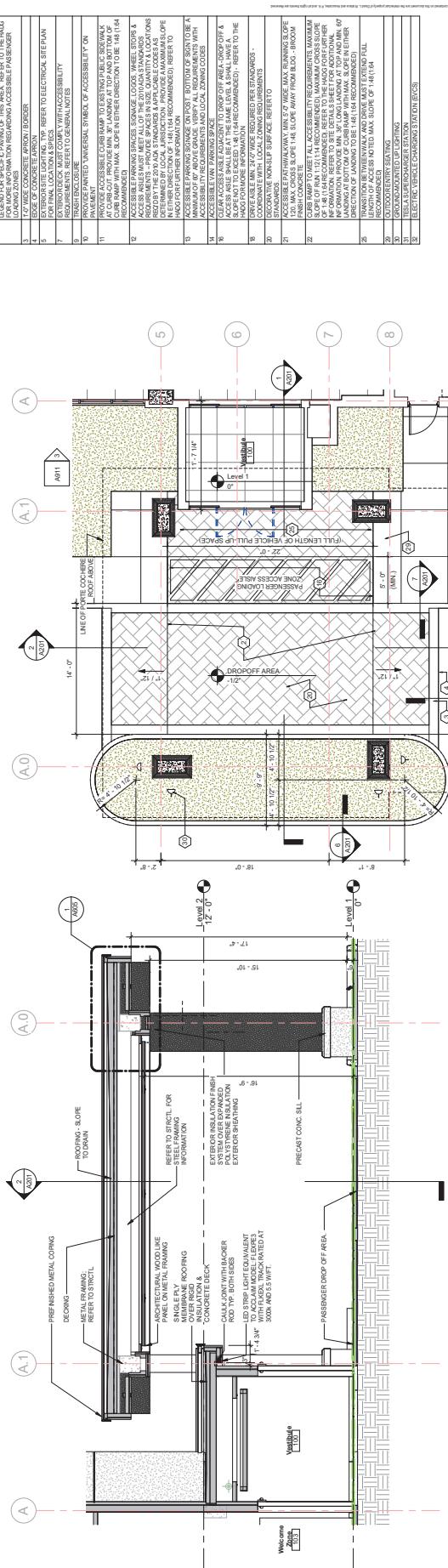
Hampton Inn by Hilton  
Ponce, Puerto Rico  
Derek Fleming



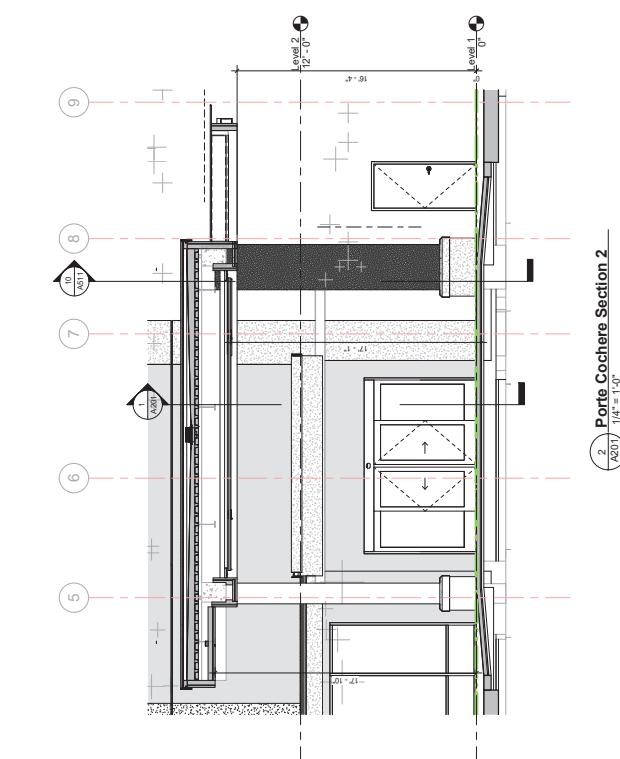
KEY NOTES - SITE PLAN

RECEPTION

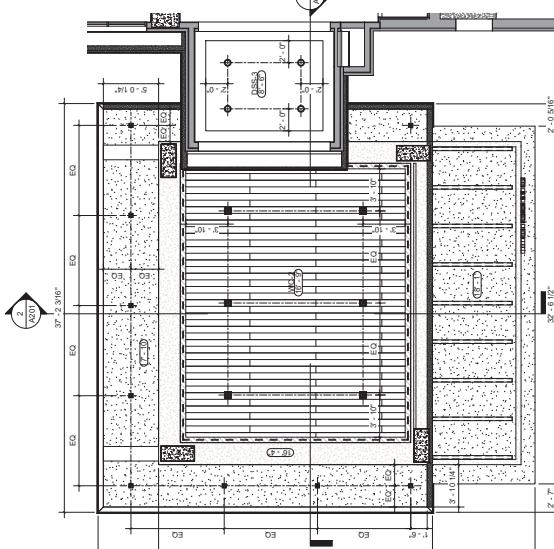
**PRIMARY STRUCTURAL FRAME OF THE PORTE COCHERE TO BE PROTECTED  
WITH 1 HOUR RATED SPRAY APPLIED FIRE PROOFING**



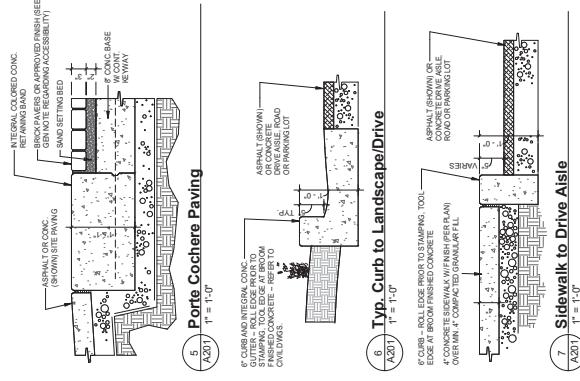
Porte Cochere Section 1



Porte Cochere Section 2



Parte Cochere Plan



**Sidewalk to Drive Aisle**



Porte Cochere RCP



Porte Cochere RCP

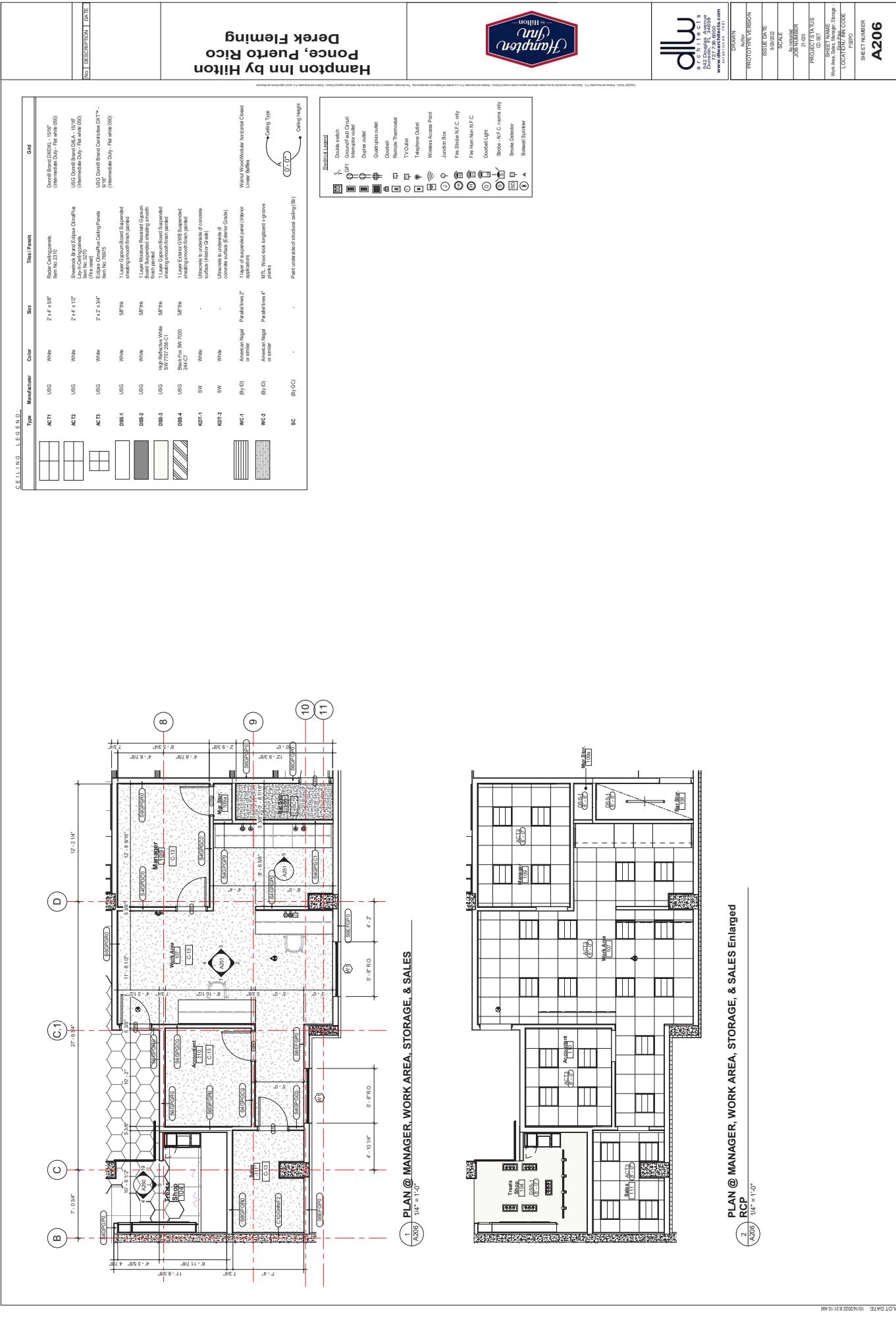
Porte Cochere Section 2





Hampton Inn by Hilton  
Ponce, Puerto Rico  
Derek Fleming

LOT DATE: 10/14/2022 8:31:11 AM



Hampton Inn by Hilton  
Ponce, Puerto Rico  
Derek Fleming



NO. DESCRIPTION DATE

S E I L I N G   L E G E N D :						
Gold	Type	Material & Color	Color	Size	Thickness	Panel Type
	AC1	USG	White	2' x 4' 5/8"	1/2"	Ruler-CeilingsPanels Item No. 2100
	AC2	USG	White	2' x 4' 1 1/2"	1/2"	Ruler-CeilingsPanels Item No. 2100
	AC3	USG	White	2' x 2' 3/4"	1/2"	Ruler-CeilingsPanels Item No. 76975
	DBS-1	USG	White	-	5/8"	Liner-CeilingsPanels Item No. 76975
	DBS-2	USG	White	-	5/8"	Liner-CeilingsPanels Item No. 76975
	DBS-3	USG	H.B. White/White 5/8" x 17'5 1/2" x 1"	-	5/8"	Liner-CeilingsPanels Item No. 76975
	DBS-4	USG	Black cov. 89' x 7200' 24xC7	-	5/8"	Liner-CeilingsPanels Item No. 76975
	KOT-1	S/Wh	-	-	-	Unpainted underside of concrete surface (8' x 8')
	KOT-2	S/Wh	-	-	-	Unpainted underside of concrete surface (8' x 8')
	WC-1	(By) D	American Walnut or similar	parallel lines 1/2"	1/2"	Liner-CeilingsPanels Item No. 76975
	WC-2	(By) D	American Walnut or similar	parallel lines 1/4"	1/4"	M.T. Woodcock longwood/grove panels
	SC	(By) G/C	-	-	-	Panels under side of structural ceiling (8')
						Ceilings Height A B C

The image displays a 4x4 grid of numbered icons, each representing a different electronic component or function:

- 1** Electrical Layout
- 2** Double switch
- 3** GFI/GFCI
- 4** Ground Fault Circuit Interrupter
- 5** Duplex outlet
- 6** Quadplex outlet
- 7** Decoupler
- 8** Remote Thermostat
- 9** TV Outlet
- 10** Telephone Outlet
- 11** Wireless Access Point
- 12** Junction Box
- 13** Strike N.F.C. only
- 14** File N.F.C. only
- 15** Fire N.F.C.
- 16** Dorelled Light
- 17** Stroke N.F.C. or move only
- 18** Smoke Detector
- 19** Sidewall Sprinkler
- 20**



542 Douglas Avenue  
Dunedin, FL 34698  
727.738.0000  
[www.dwarchitects.com](http://www.dwarchitects.com)  
Established 1981  
DRAWN

ISSUE DATE  
00/00/00

SCALE  
As indicated  
JOB NUMBER  
21-016

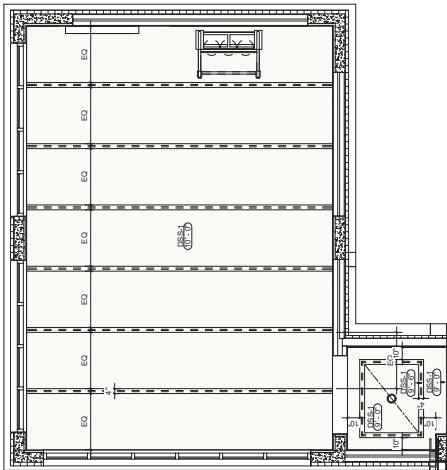
PROJECT STATUS  
OD SET SHEET NAME  
Fitness Center Floor Plan, RCP &

LOCATION/INN CODE  
PSEPO  
SHEET NUMBER

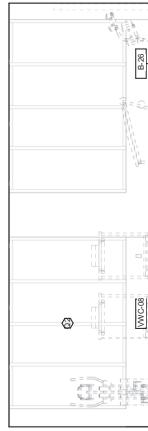
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**ENTER LEGEND**

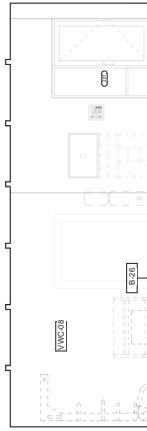
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Printed Mirror	C-C4
Welded Mirror	C-C6
Welded Mirror	C-C8
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Welded Mirror	C-C14
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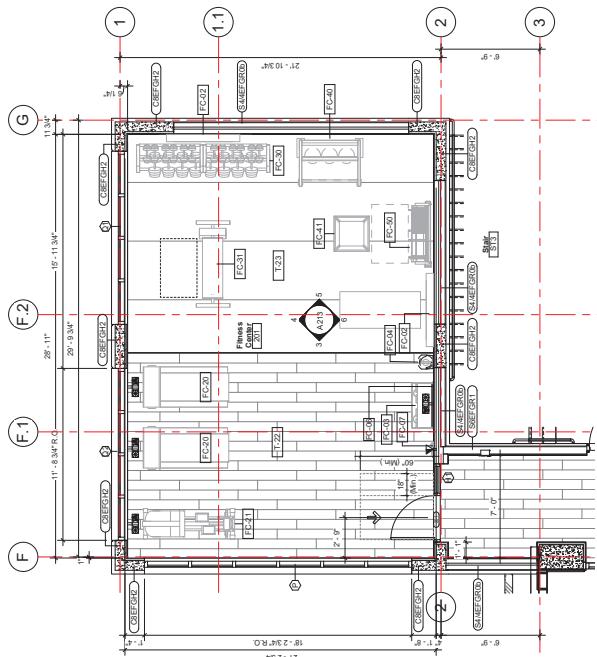
**Fitness Center RCP**



**4** INTERIOR ELEVATION - East Storefront Wall



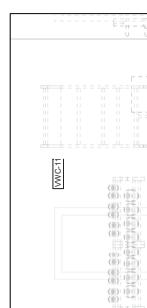
**INTERIOR ELEVATION - Door Wall**



**Fitness Center Floor Plan**



3) INTERIOR ELEVATION - North Storefront Wall

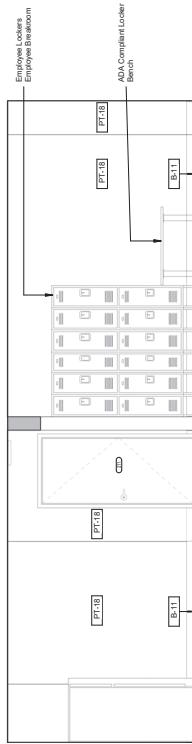
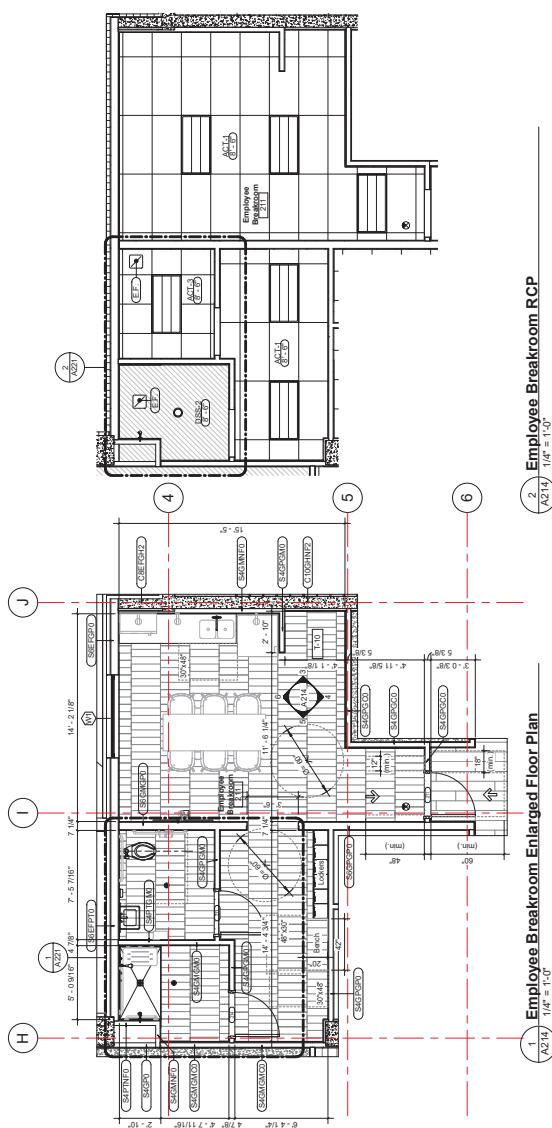


**5** **INTERIOR ELEVATION - Accent Wall**

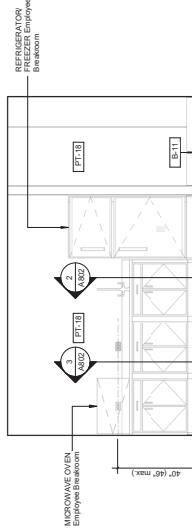
Hamppton Inn by Hilton  
Ponce, Puerto Rico  
Derek Fleming



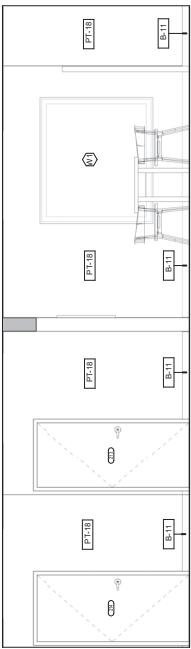
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Type	Manufacturer	Color	Size	Panel	Panel	
AC11	USG	White	2' x 4' x 5/8"	Ruler-Cut Sheetrock® Item No. 2310	Dove® Brand D100® - 15/16" (Interlace Drywall) (50)	
AC12	USG	White	2' x 4' x 1/2"	Shiplap Board Edge Chip-Plus® Item No. 2310	Dove® Brand D100® - 15/16" (Interlace Drywall) (50)	
AC13	USG	White	2' x 2' x 5/8"	(For east) Item No. 2310	Dove® Brand Chip-Plus® (Interlace Drywall) (50)	
DSB-1	USG	White	5x5%	Layer Gypsum Board Suspended sheathing for smooth drywall panel	USG-Domed Board-Certified DX™ - (Interlace Drywall) (50)	
DSB-2	USG	White	5x7%	Layer Gypsum Board Suspended sheathing for smooth drywall panel	USG-Domed Board-Certified DX™ - (Interlace Drywall) (50)	
DSB-3	USG	White	5x9%	Board Suspended sheathing smooth drywall panel	USG-Domed Board-Certified DX™ - (Interlace Drywall) (50)	
DSB-4	USG	Black or White	5x7%	1 Layer Edge DX® Suspended sheathing for smooth drywall panel	USG-Domed Board-Certified DX™ - (Interlace Drywall) (50)	
KD1-1	SW	White	-	Unpainted underside of concrete surfaces (white) (50)	Unpainted underside of concrete surfaces (white) (50)	
KD1-2	SW	White	-	Unpainted underside of concrete (white) (50)	Unpainted underside of concrete surfaces (white) (50)	
WC-1	(By GC)	American Royal or similar	Parallel lines 2' application	1 layer of a papered panel (interior walls)	Weld-A-Mold Interior/Closed Liner Baffles	
WC-2	(By GC)	American Royal or similar	Parallel lines 4'	MTC Wood-Block board 1/4" over plaster	Ceiling Type 	
SC	(By GC)	-	-	Paper underneath structural ceiling (50)		



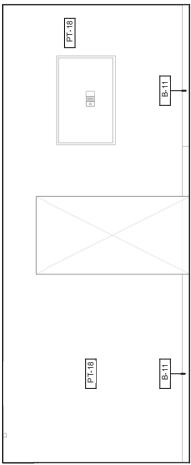
**ELEVATION @ BREAKROOM - Entrance Wall**



**ELEVATION @ BREAKROOM - Kitchenette Wall**



**ELEVATION @ BREAKROOM - Window Wall**



ELEVATION @ BREAKROOM - Bath Wall

**Refer to Hampton's Public Space Finish Specs for finishes not included in the scope of the interior designer.**

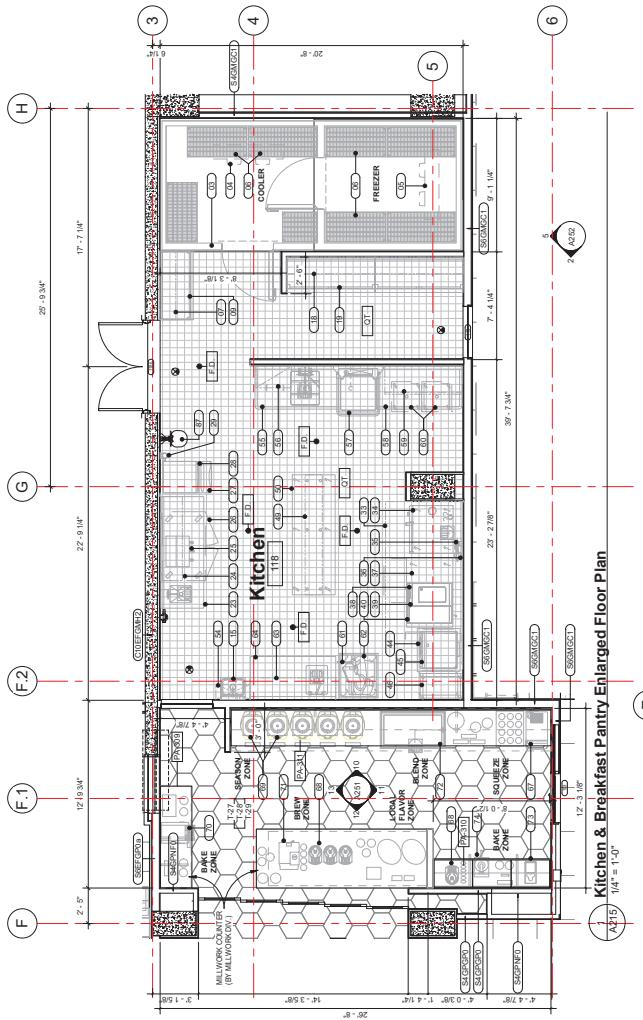
Sheets  
A21  
SHEET NUMBER  
P SERO



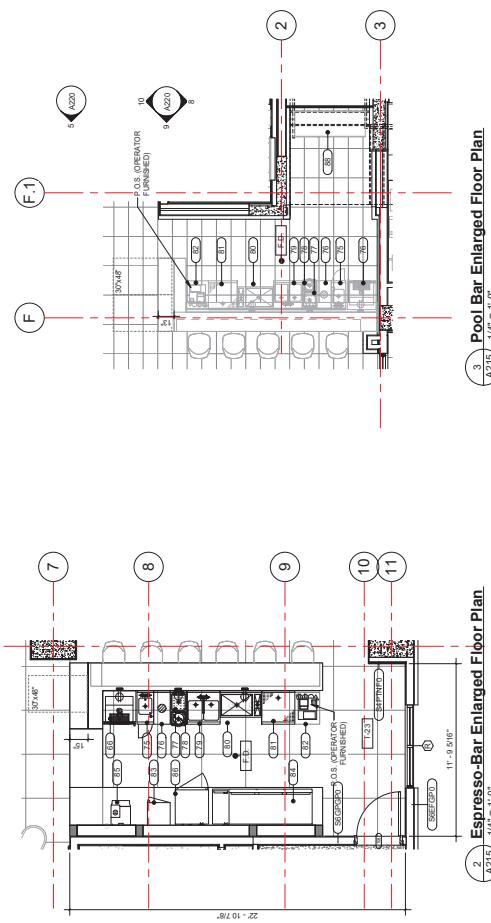
Hampton Inn by Hilton  
Ponce, Puerto Rico  
Derek Fleming

KITCHEN, BREAKFAST & BAR EQUIPMENT SCHEDULE		
ITEM NO.	QTY	DESCRIPTION

\* Encountered in [not in context](#)!



## Kitchen & Breakfast Pantry Enlarged Floor Plan



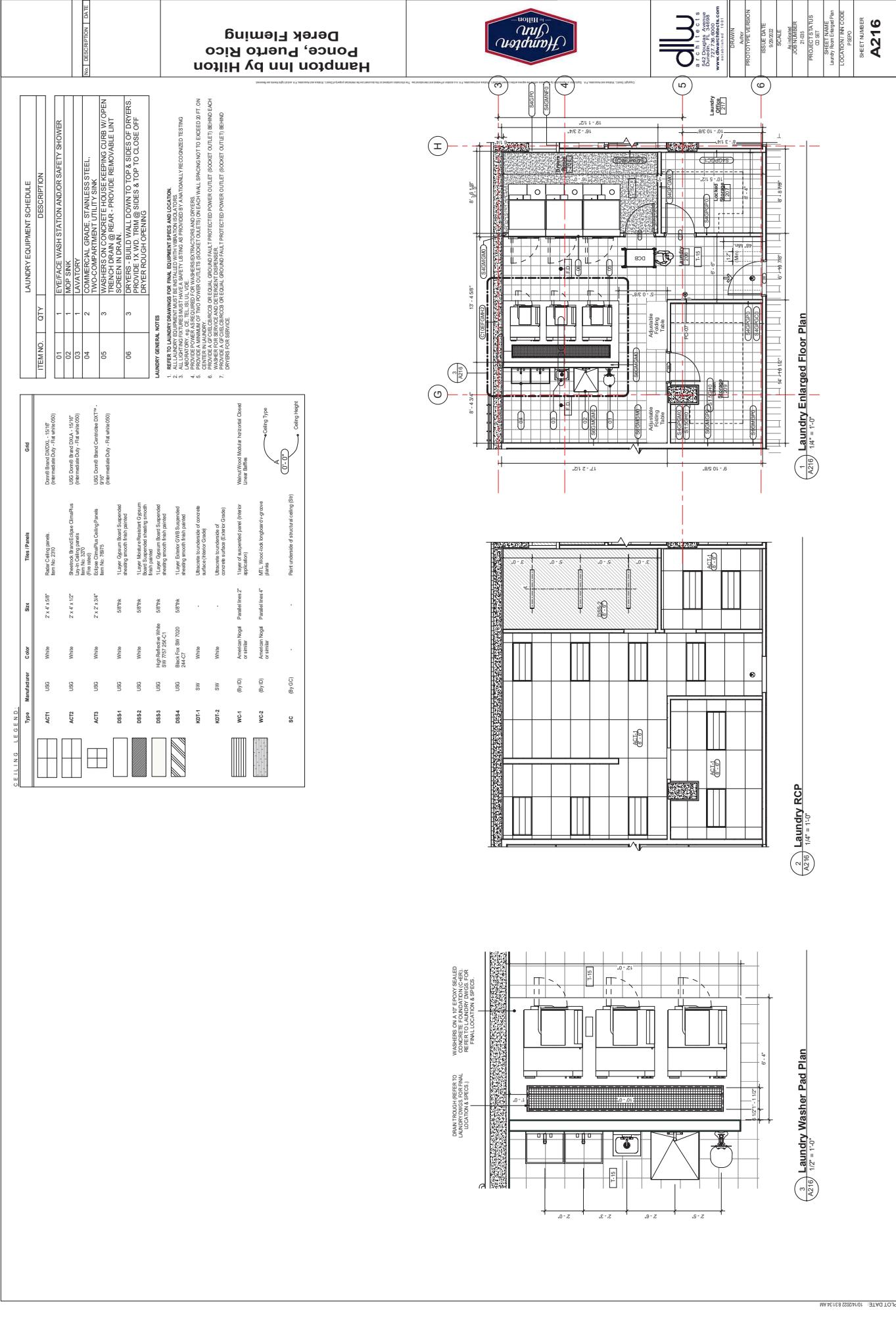
Espresso-Bar Enlarged Floor Plan

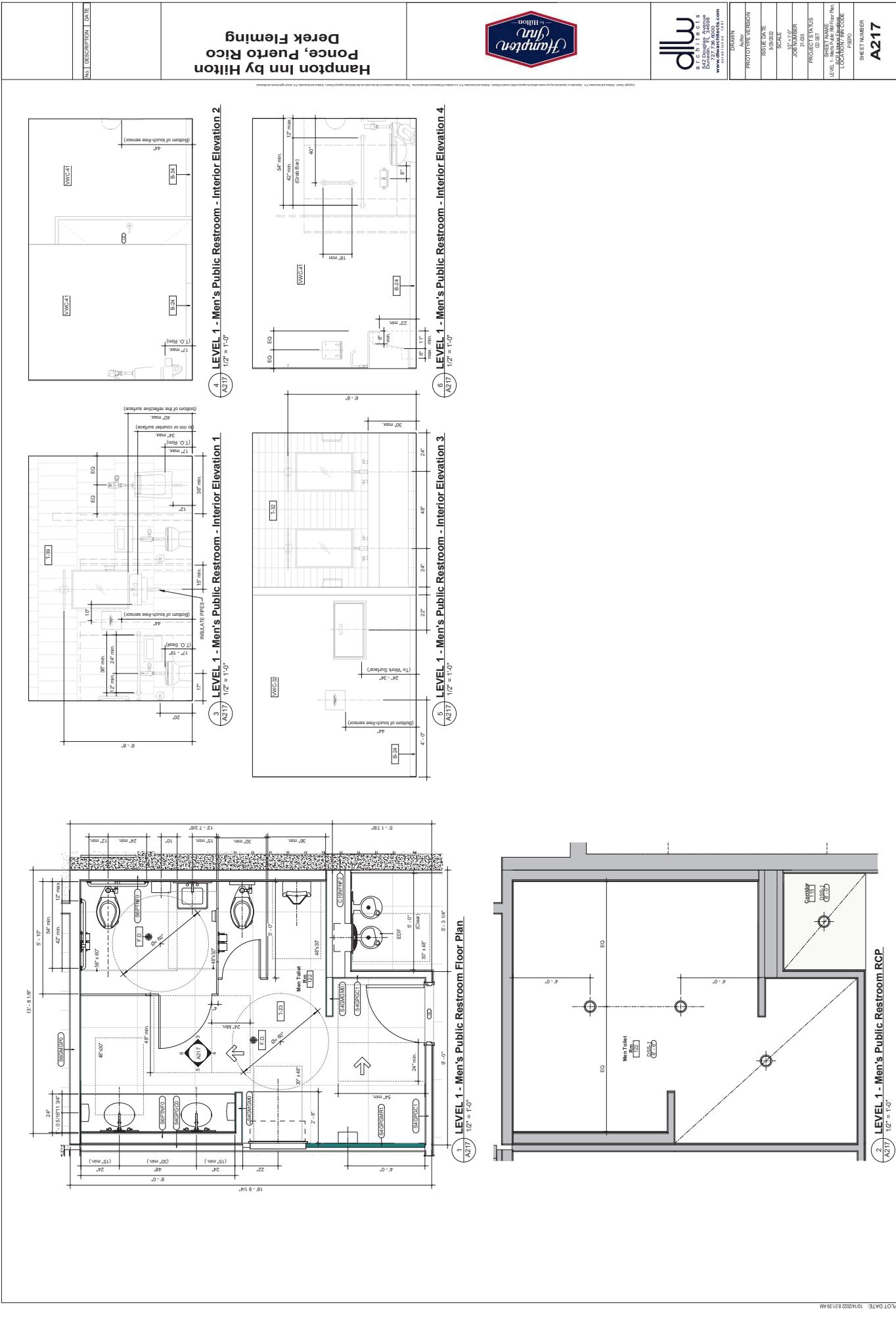


DRAWN  
by  
KUBIK  
PROTOTYPE VERSION N  
ISSUE DATE  
03/2000  
www.dwarfworks.com  
established 1981

SCALE	
W4' = 1'-0"	
JOB NUMBER	
21-036	
PROJECT STATUS	CD SET
SHEET NAME	Kitchen/BreakfastPantry, Escalator/ElevatorPlus LOCATION / INN CODE
FS/PO	P/S/PO

A215

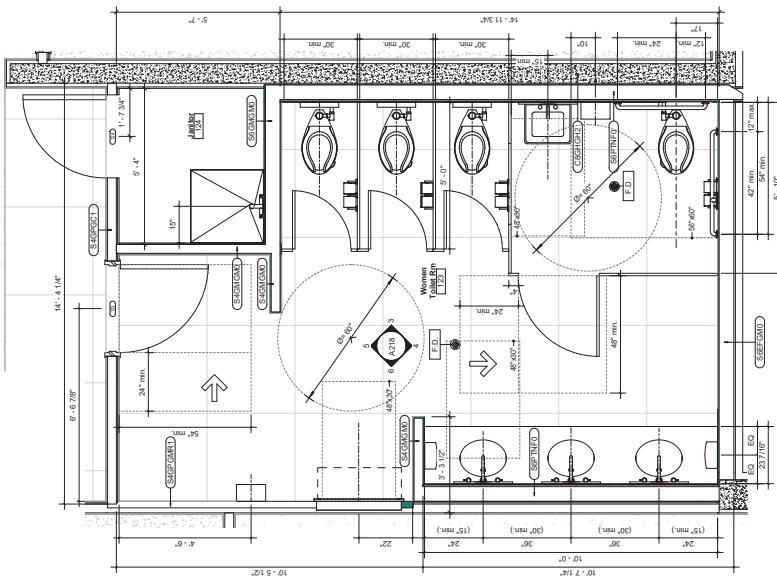




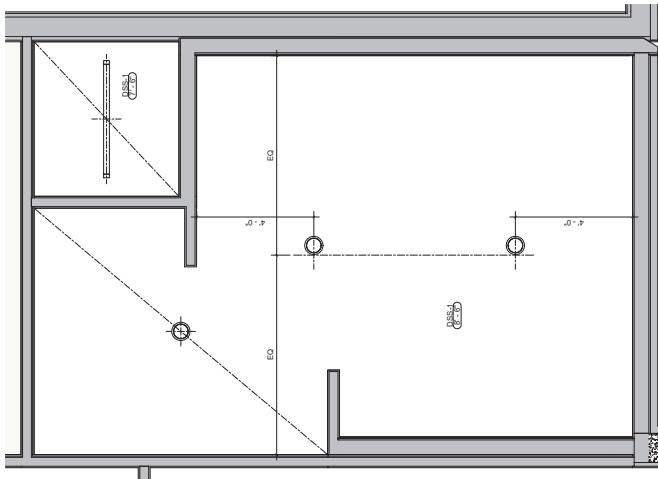
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Derek Fleming



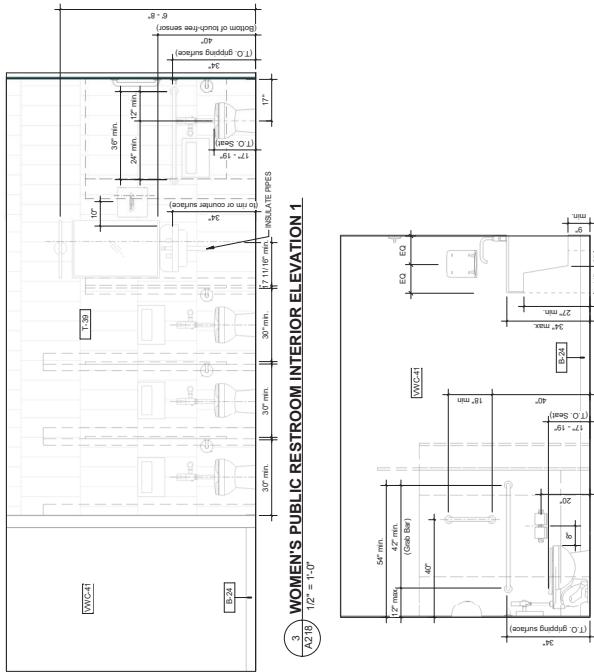
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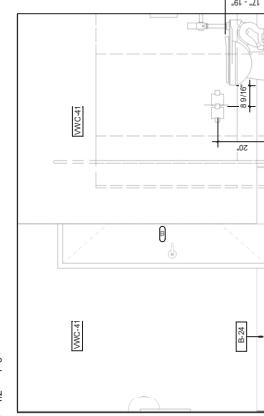
**LEVEL 1 - Women's Public Restroom Floor Plan**



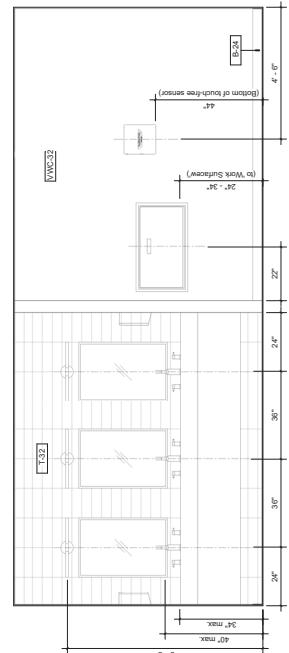
**LEVEL 1 - Women's Public Restroom RCP**



**WOMEN'S PUBLIC RESTROOM INTERIOR ELEVATION 2**



**WOMEN'S PUBLIC RESTROOM INTERIOR ELEVATION 4**



**WOMEN'S PUBLIC RESTROOM INTERIOR ELEVATION 3**

PLOT DATE: 10/14/2022 8:31:44 AM

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A219

10

LEVEL 2

This architectural floor plan illustrates a layout with various rooms and associated dimensions:

- Top Room:** A large rectangular room with a dashed diagonal line from the top-left corner to the bottom-right corner. It features a small rectangular opening near the top center.
- Left Wall:** Labeled "W.W.21" at the top and "W.W.21" at the bottom.
- Right Wall:** Labeled "B.24" at the top and "B.24" at the bottom.
- Bottom Room:** A rectangular room divided into two sections by a vertical wall. Each section contains a diagonal hatch pattern.
- Central Area:** A rectangular room with a diagonal hatch pattern.
- Dimensions:** Horizontal dimensions include "6'-8"" and "24'-3&frac12;" (likely referring to 24 feet and 3 and a half inches). Vertical dimensions include "6'-8"" and "10'-0" (likely referring to 10 feet and 0 inches).
- Annotations:** Labels like "Door of the relative surface" and "Door of counter surface" point to specific door locations.

LEVEL 2 - Public Restroom Int. Elevation

**LEVEL 2 - Public Restroom Int. Elevation**

LEVEL 2 : Public Restroom Int. Elevation

This architectural floor plan illustrates a building section with the following details:

- Men's Restroom:** Located on the left side, it includes a stall and a sink area. Its width is indicated as 6'-3 1/4".
- Women's Restroom:** Located on the right side, it includes a stall and a sink area. Its width is indicated as 6'-3 1/4".
- Corridor:** A central corridor connects the two restroom areas.
- Rooms:** There are several other rooms shown, each with specific dimensions and door locations. One room has a width of 3'-6", another has a width of 3'-10", and one has a width of 6'-0".
- Dimensions:** Horizontal dimensions include 6'-0", 6'-3 1/4", 6'-3 1/4", and 6'-0". Vertical dimensions include 3'-6", 3'-10", 3'-6", and 2'-6".
- Doors:** Each room features a central door indicated by a circle with a crosshair symbol.

LEVEL 2 : Public Restroom BCP

The figure shows a detailed architectural floor plan of a men's restroom facility. The plan is divided into two main sections. The left section has a width of 17'-11 3/8" and a depth of 7'-11 7/8". It contains three urinals and one toilet. The right section has a width of 15'-0 3/4" and a depth of 7'-11 7/8". It contains two urinals and one toilet. Both sections include various fixtures like sinks, mirrors, and trash cans. Arrows indicate the flow of traffic between sections.

LEVEL 2 : Public Restroom Plan

## LEVEL 2: Public Restroom Int: Elevation

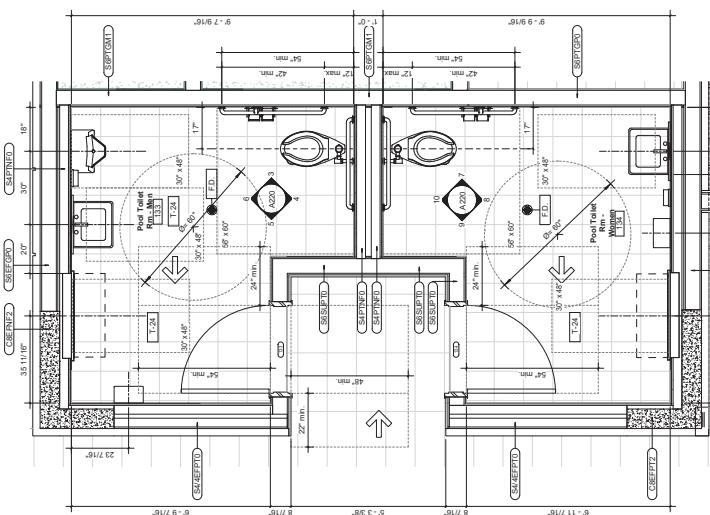
LEVEL 2 - Public Restroom Int. Elevation

## 7 LEVEL 2 : Public Restroom Int. Elevation

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Ponce, Puerto Rico  
Derek Fleming



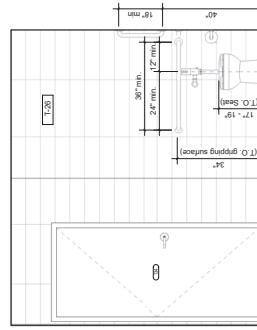
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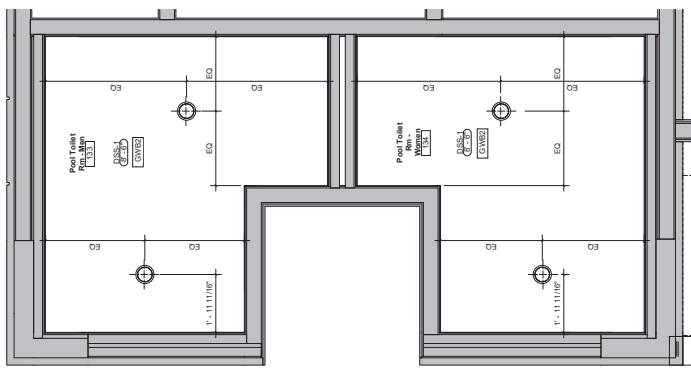
10 - 11/16

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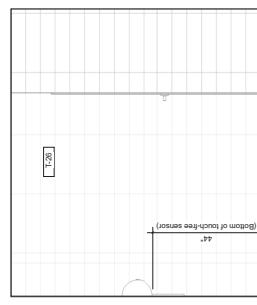
**1 Pool Toilet Rooms Floor Plan**



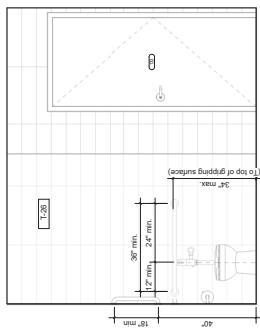
**10** Pool Women's Room Int. Elevation 4  
A220 1/2" = 1'-0"



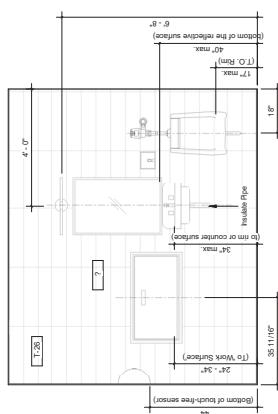
**2** Pool Toilet Rooms RCP  
A220 1/2" = 1'-0"



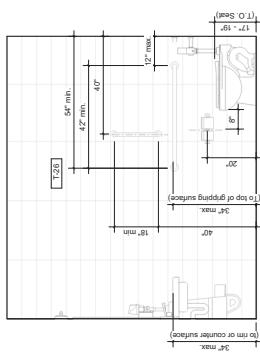
9 **Pool Women's Room Int. Elevation 3**



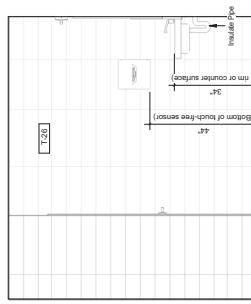
4 **Pool Men's Room Int. Elevation 2**  
A220 1/2' = 1'-0"



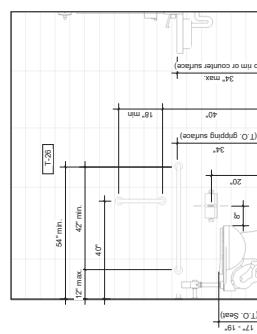
6 Pool Men's Room Int. Elevation 4



3 Pool Men's Room Int. Elevation 1



5 Pool Men's Room Int. Elevation 3  
A220  $\frac{1'2''}{1'0''} = 1:0$



7 Pool Women's Room Int. Elevation 1

**dwu**  
architects

Burnedn, FL 34698  
727.736.8000  
[www.dhwarchitects.com](http://www.dhwarchitects.com)  
Established 1981

DRAWN  
BY HER

ISSUE DATE

SCALE

21-036  
JOS NUEMBER

SHEET NAME

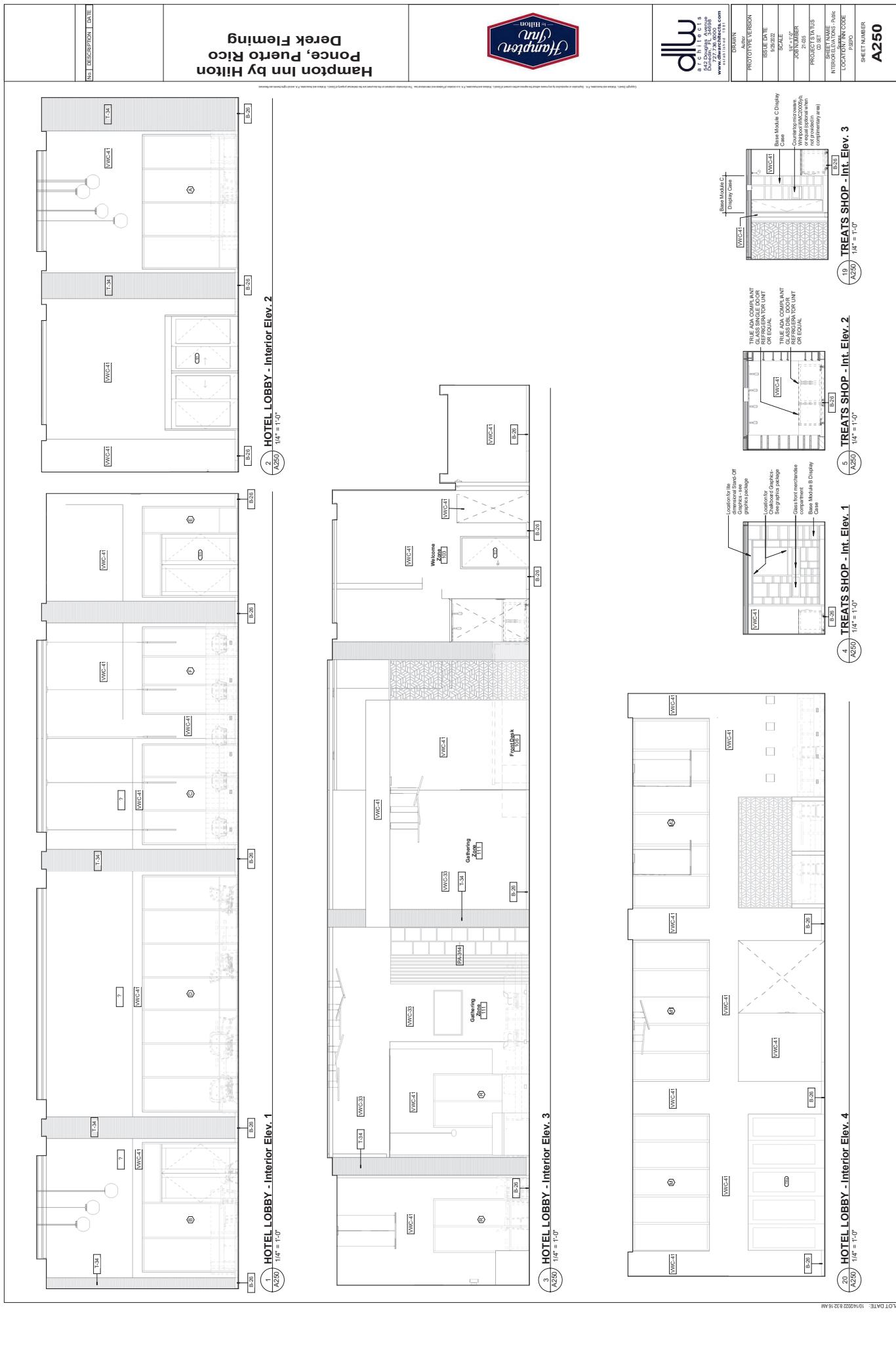
Intoxicating Liquors  
LOCATION / INN CODE  
PSEP0

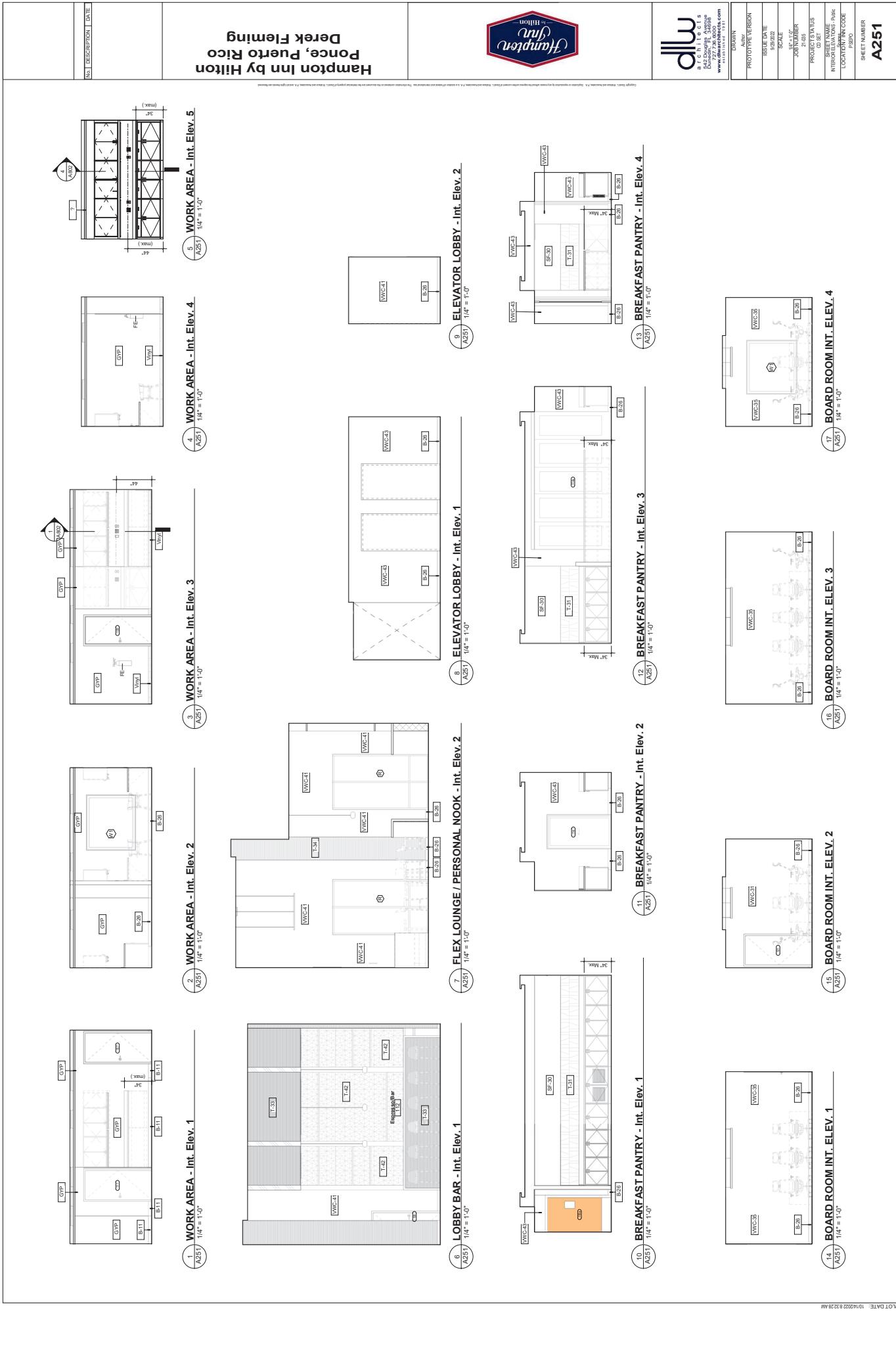
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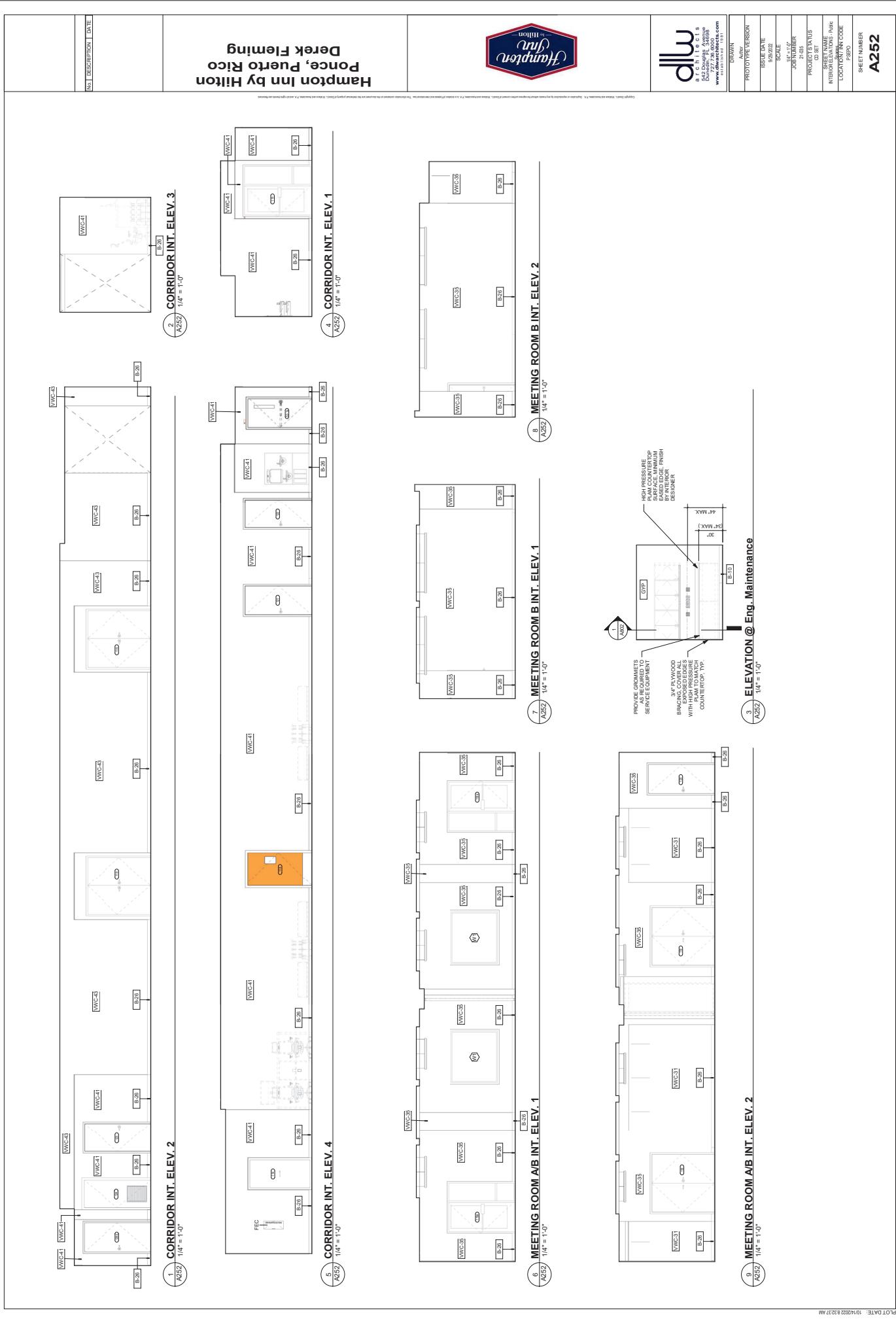
175

LOT DATE: 10/14/2022 8:31:55 AM













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Ponce, Puerto Rico  
Derek Fleming



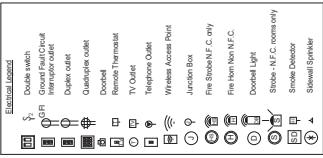


Hamppton Inn by Hilton  
Ponce, Puerto Rico  
Derek Fleming

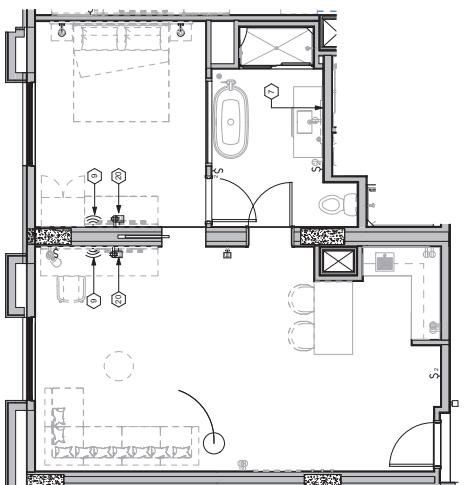
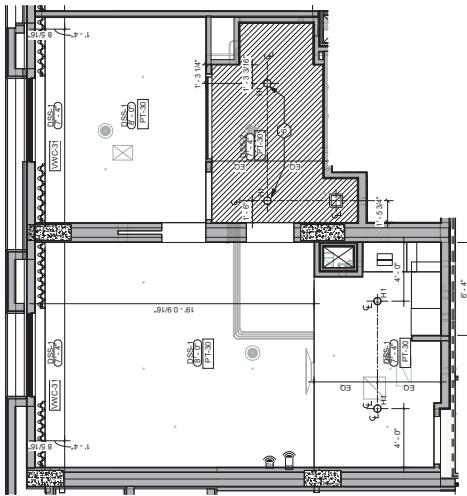
C E I L I N G   L E G E D :				Size	Trim / Panels
Type	Panel	Manufacturer	Color		
DBS-1	USG	USG	White	5'x9' 1 layer gypsum board suspended sheeting on metal frame	1 layer USG board suspended on metal frame
DBS-2	USG	USG	White	5'x9' 1 layer gypsum board suspended sheeting on metal frame	1 layer USG board suspended on metal frame



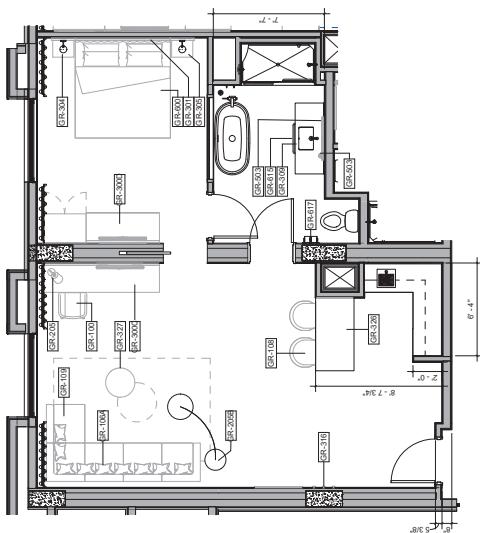
Hamppton Inn by Hilton  
Ponce, Puerto Rico  
Derek Fleming



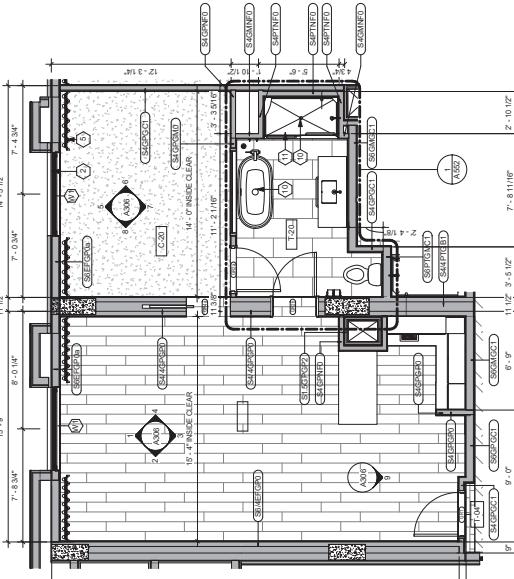
General Notes - Enriched Guestroom Plans	
Number	Comments
1	Electrical to provide power and location for all ADA, HC, AND HI room type equipment.
2	Threshold - Refer to door schedule.
3	Stalls between adjacent rooms - Electrical outlet locations, including TV and telephone outlets, shall be offset 6" min. horizontally - Back to back units are not allowed.
4	Communication feature rooms shall be equipped with visible fire alarms and notification devices for fire knock-down and telephone.
5	Communication feature room must have a visible notification device for the telephone.
6	Accessible rooms shall be equipped with Tanglefree switches.



**Electrical Plan - King Suite A**



Ceiling Plan - King Suite A



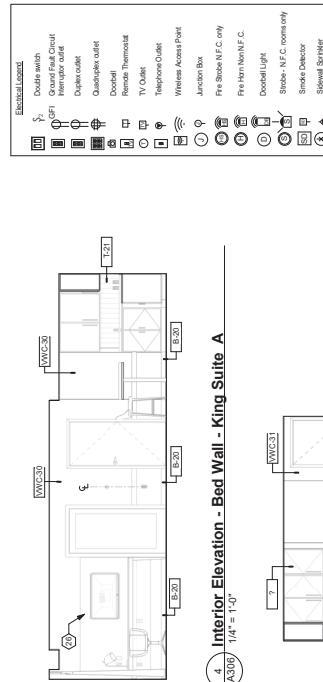
A305 1/4" = 1'-0"

A305 14" = 1-0"

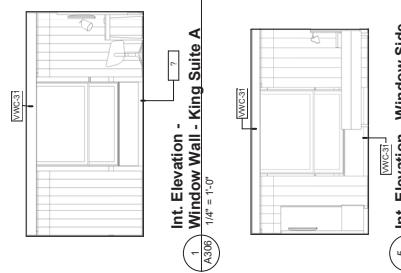
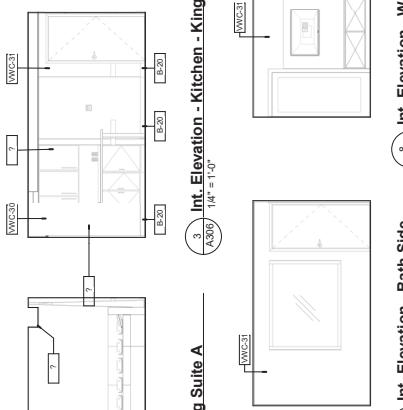
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An architectural drawing showing a decorative border or frieze. The border consists of a repeating pattern of stylized letters and symbols, possibly representing a specific architectural style or a brand. The drawing is done in a technical, line-art style.

KEY	Key Notes - Enhanced Guestroom Plans
	DESCRIPTION
1	Exterior windows and exterior light fixtures.
2	Brick door or door with glass panels.
3	Accessories include bell pull, door mat, and a decorative doormat.
4	Brick door or door with glass panels.
5	Light at the entrance to drop cabinet and at the water meter areas.
6	Wall mounted recessed lighting fixture with three per 6' x 12' area.
7	Wall mounted recessed lighting fixture with three per 6' x 12' area.
8	Light fixture with two recessed lighting fixtures.
9	Light fixture with two recessed lighting fixtures.
10	Recessed lighting fixture with two recessed lighting fixtures.
11	No recessed lighting fixture.
12	Porches decorated in rustic style for each outdoor staircase.
13	Decorated porch with corner beam, 6' x 12' single story as outlined.
14	Accessories include bell pull, door mat, and a decorative doormat.
15	Decorated porch with corner beam, 6' x 12' double story as outlined.
16	Decorated porch with corner beam, 6' x 12' double story as outlined.
17	Decorated porch with corner beam, 6' x 12' double story as outlined.
18	Decorated porch with corner beam, 6' x 12' double story as outlined.
19	Decorated porch with corner beam, 6' x 12' double story as outlined.
20	Front Porch.
21	Front Porch.
22	Porchs or verandas located off other rooms to be located around or at ceiling. Sheet solar panels to be located around when possible.
23	Cover over concrete.
24	Sheet solar panels to be located.
25	Sheet solar panels to be located.



General Notes - Enlarged Guestroom Plans	
Number	Comments
1	Electric to provide power and location for all ADA, HC, and Hi-Com type equipment.
2	Threshold Refers to door schedules.
3	Walk-in shower rooms. Exterior office locations, including TV and telephone outlets, shall be located in the exterior areas. Back to back doors are not to be used as walk-in shower rooms. Walk-in shower rooms shall be equipped with smoke alarms and notification devices for fire detection and response.
4	Communication feature room shall be equipped for door knockers and telephones.
5	Communication feature room must have a visible communication device for the telephone.



architects  
542 Douglas Avenue  
Dunedin, FL 34698  
727.738.6000

[www.dwgarchitects.com](http://www.dwgarchitects.com)  
Established 1981

Author

PROTOTYPE VERSION

ISSUE DATE  
9/23/2022

SCALE

JOB NUMBER 21016

PROJECT STATUS

**STREET NAME**

RESRCCM - Ring Sub A 17  
Edition: 2  
LOCATION / INN CODE

PSEAO

SHEET NUMBER

A306



Hamppton Inn by Hilton  
Ponce, Puerto Rico  
Derek Fleming

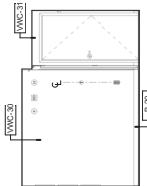




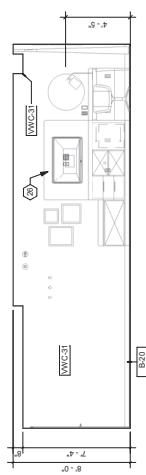
Hamppton Inn by Hilton  
Ponce, Puerto Rico  
Derek Fleming

General Notes - Enlarged Guestroom Plans	Comments
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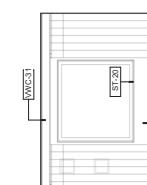
NUMBER	COMMENTS
1	Electrical to provide power and location for all ADA, HC, AND H to R
2	Threshold - Refer to door schedule
3	Was between adjacent rooms - Electrical outlet locations, including shall be offset 6 inches. - Back to back outlets are not allowed.
4	Communication feature rooms shall be equipped with visible fire alarm (for local knock) and telephone.
5	Communication feature room must have visual connection devices.
6	Accessible rooms shall be equipped with single-pole switches.



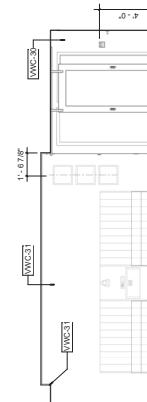
4 A309 Int. Elevation - Bath Wall - QQ



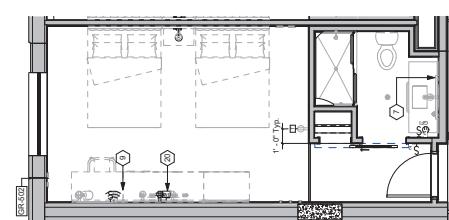
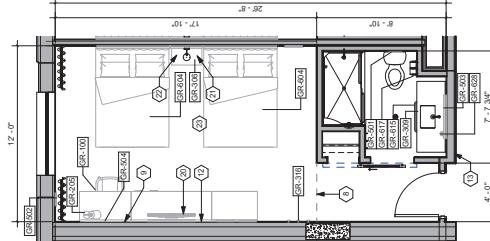
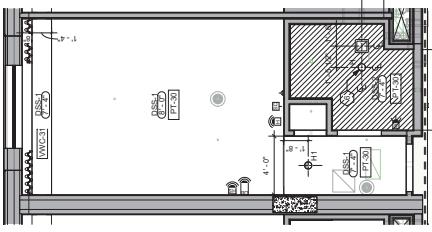
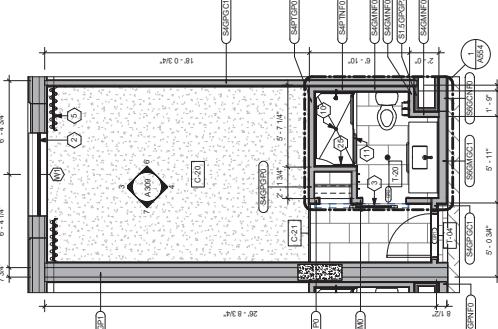
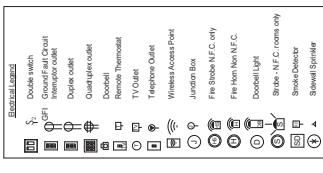
Interior Elevation - Desk Wall - QQ



Int. Elevation - Window Wall - QQ



Interior Elevation - Bed Wall - QQ



Construction Plan - Double Queen

Ceiling Plan - Double Queen

FF&E - Double Queen

**8** Electrical Plan - Double Queen  
A309  $1/4^{\prime \prime} = 1\text{-}0^{\prime \prime}$

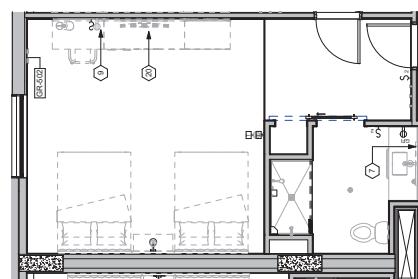
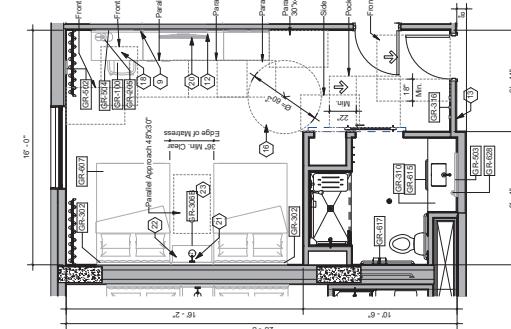
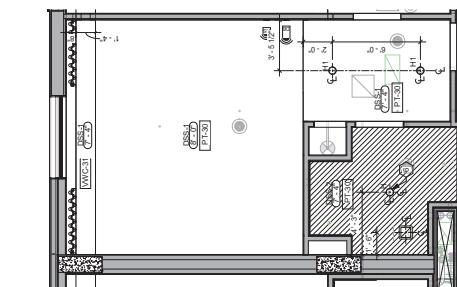
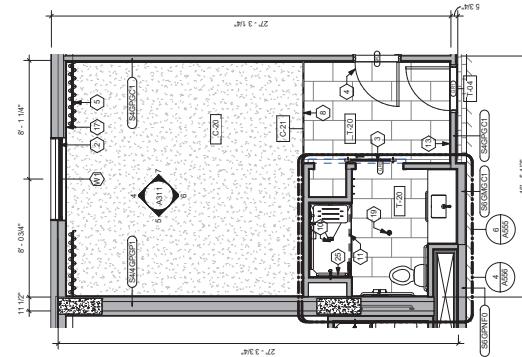
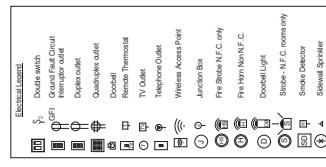
SHEET NUMBER  
**A309**





Hamppton Inn by Hilton  
Ponce, Puerto Rico  
Derek Fleming

## General Notes - Enlarged Guestroom Plans



## Construction Plan - QQ w/ M.F.

**Ceiling Plan - QQ w/ M.F.**

(3) FF&E - QQ w/ M.F.

8 Electrical Plan- w/ M.F.  
A311 1/4" = 1'-0"

OUTDATE

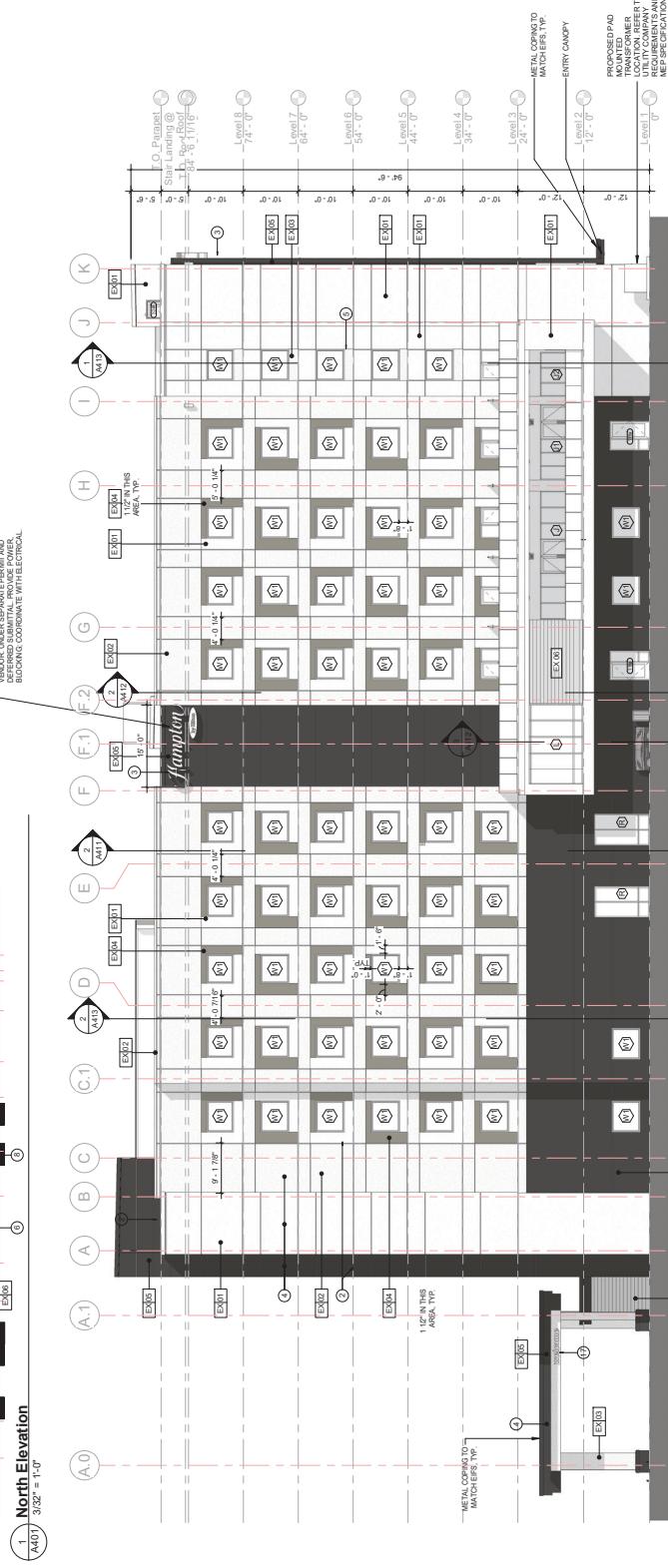






Hamppton Inn by Hilton  
Ponce, Puerto Rico  
Derek Fleming

The image shows a detailed architectural floor plan of a building. The plan includes various rooms, windows, and doors. A legend in the bottom right corner identifies symbols for walls, windows, doors, and other features. The plan is divided into several levels, with labels for Level 1, Level 2, Level 3, Level 4, Level 5, Level 6, Level 7, Level 8, and Level 9. A vertical column on the left side contains numbers 1 through 12, likely representing room or section identifiers. A large rectangular area in the center is labeled 'Hazardous Area'. Numerous electrical symbols, such as 'EX01' and 'EX02', are scattered throughout the plan, indicating specific locations for explosion-proof equipment. A note at the top right states: 'ALL BRANDS SHOWN IN OWNER, TDO CONSULT TRADE APPROVED REGS AND DEFERRED SIGHTS TO PROVE POWER AND SAFETY.'



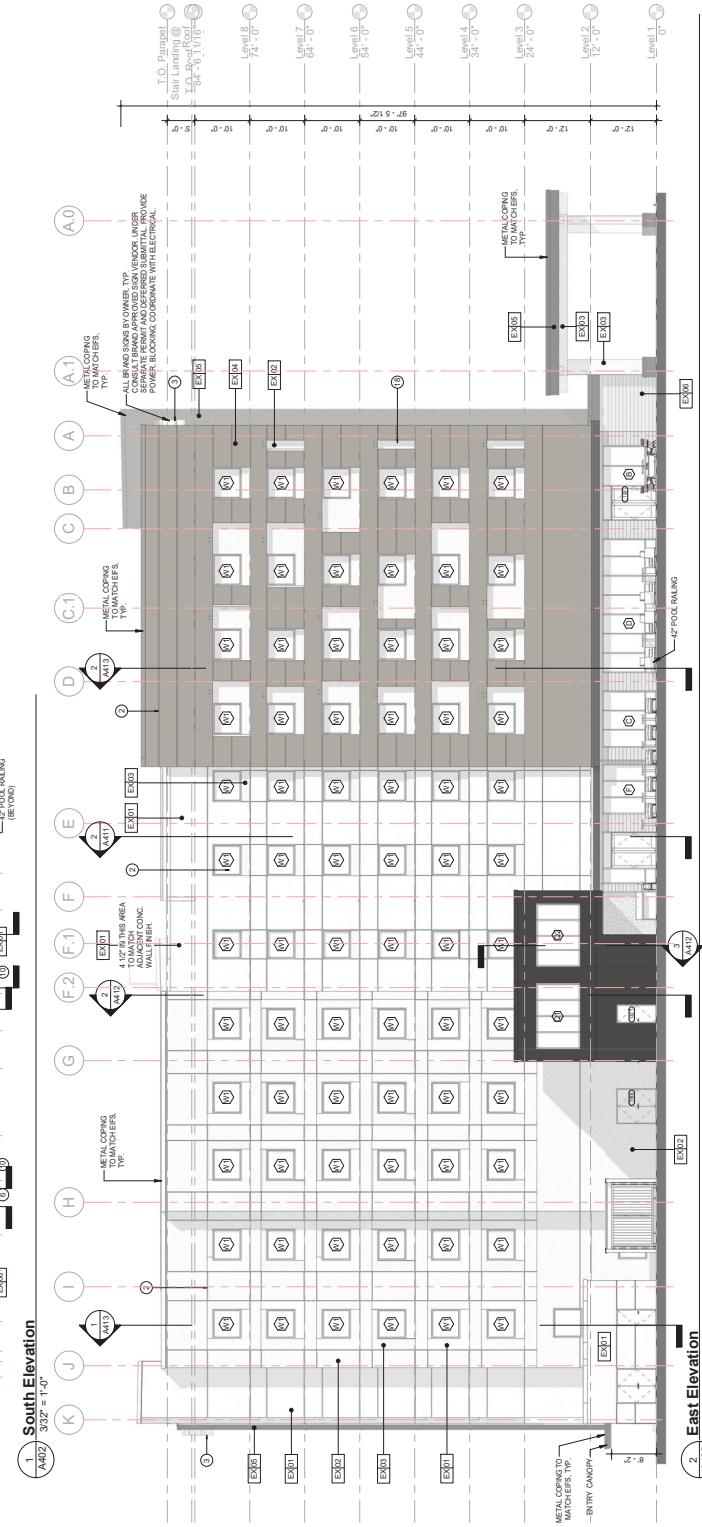
**West Elevation**

SHEET NUMBER  
**A401**

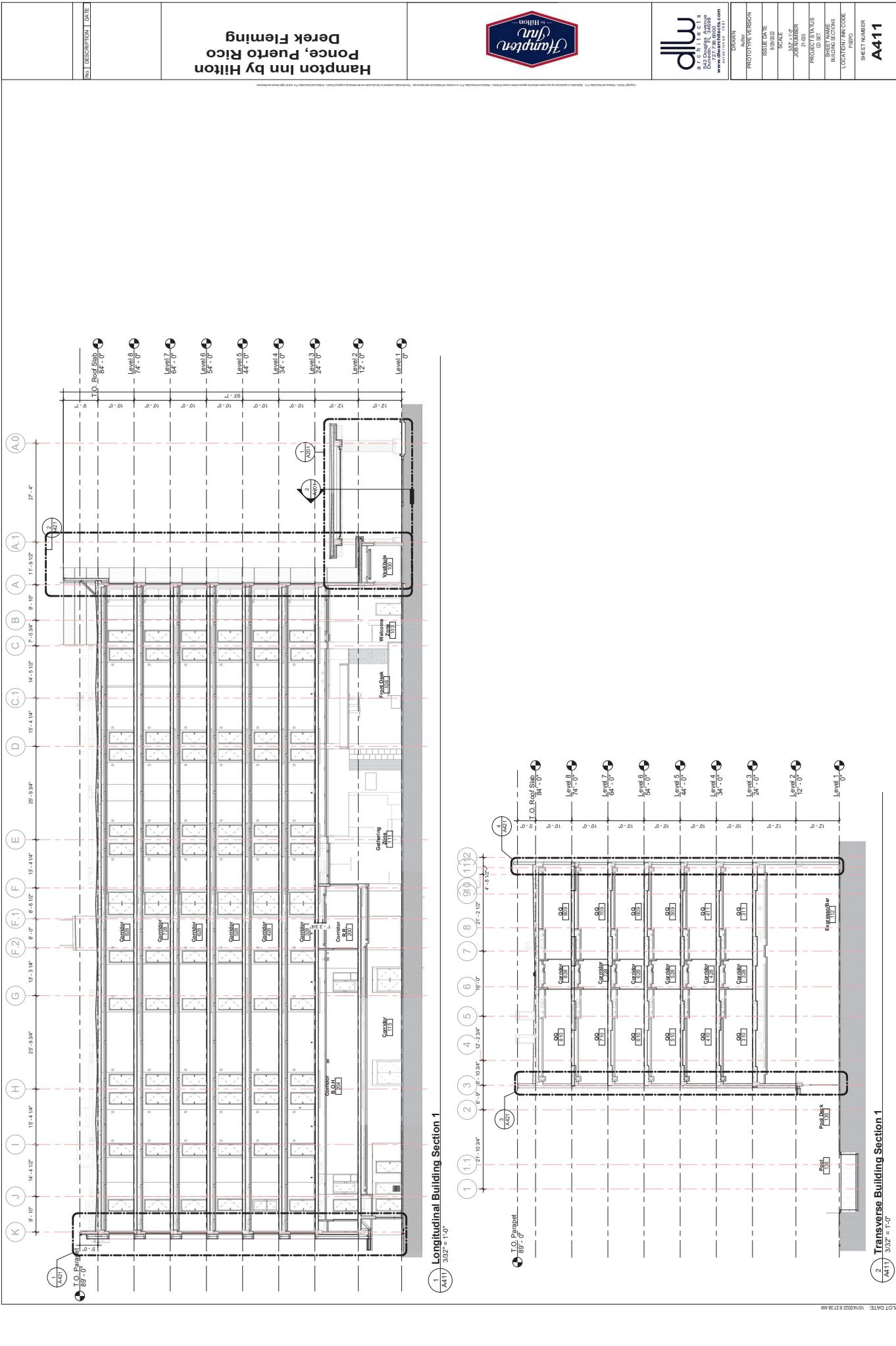


Hampton Inn by Hilton  
Ponce, Puerto Rico  
Derek Fleming

MARK	MANUFACTURER	DESCRIPTION	STYLE	EXTERIOR FINISH SCHEDULE		FINISH NOTES
				COAT	COAT	
EV01	STO	EPS Extrusion	THICKNESS NOTED ONE-PIECE	COLOR: 01-BEIGE/MOORE	COLOR: 02-BEIGE/MOORE	
EV02	STO	EPS Extrusion	THICKNESS NOTED ONE-PIECE	COLOR: 01-BEIGE/MOORE	COLOR: 02-BEIGE/MOORE	
EV03	STO	EPS Extrusion	THICKNESS NOTED ONE-PIECE	COLOR: 01-BEIGE/MOORE	COLOR: 02-BEIGE/MOORE	
EV04	STO	EPS Extrusion	THICKNESS NOTED ONE-PIECE	COLOR: 01-BEIGE/MOORE	COLOR: 02-BEIGE/MOORE	
EV05	STO	EPS Extrusion	THICKNESS NOTED ONE-PIECE	COLOR: 01-BEIGE/MOORE	COLOR: 02-BEIGE/MOORE	
EV06	STO	EPS Extrusion	THICKNESS NOTED ONE-PIECE	COLOR: 01-BEIGE/MOORE	COLOR: 02-BEIGE/MOORE	



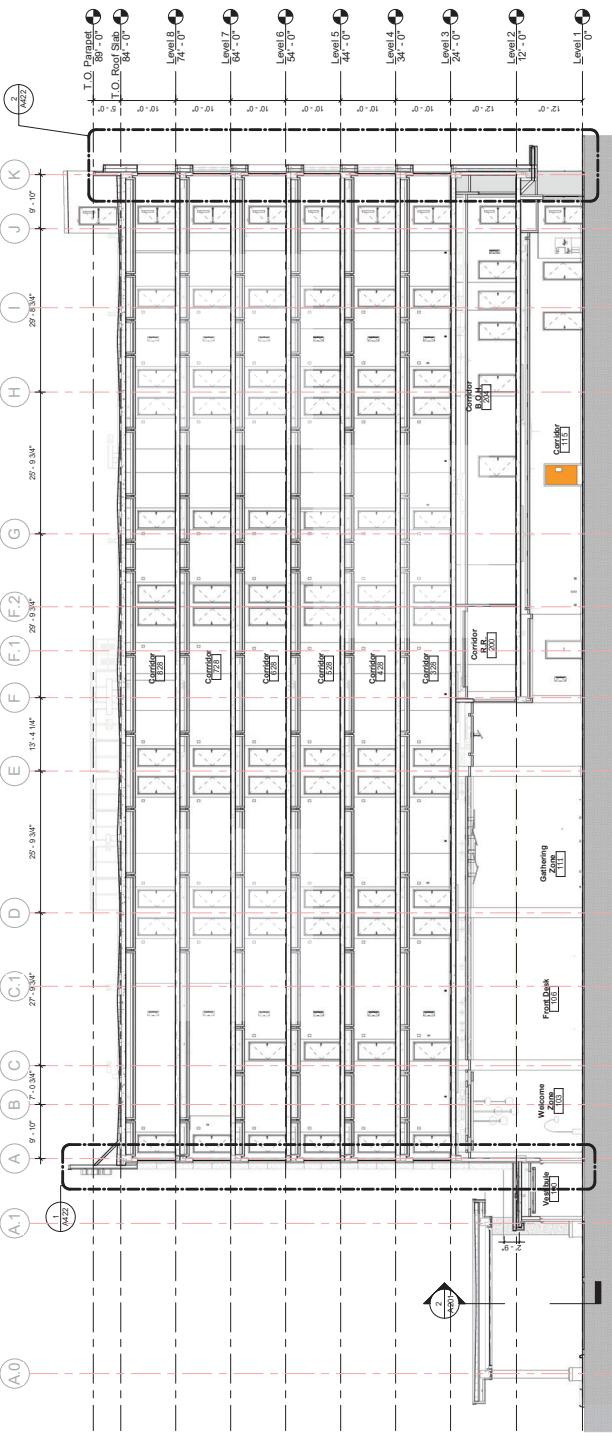
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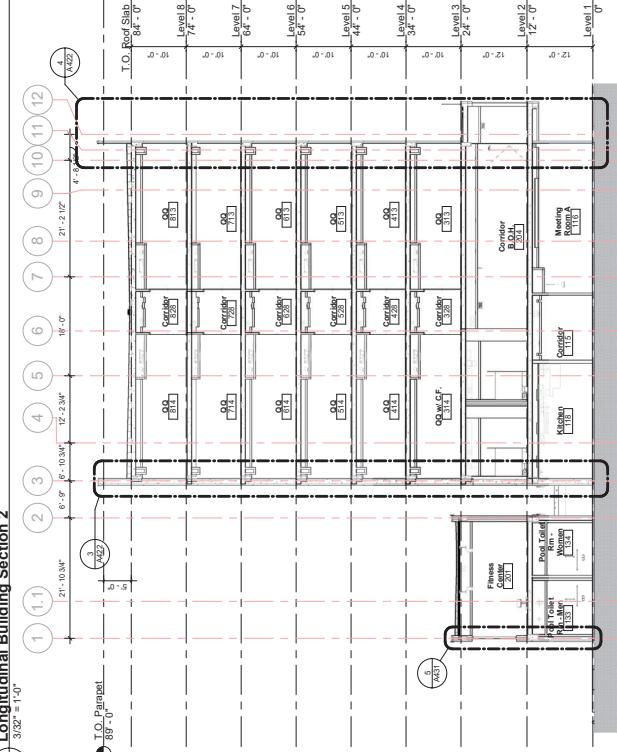


Hampton Inn by Hilton  
Ponce, Puerto Rico  
Derek Fleming

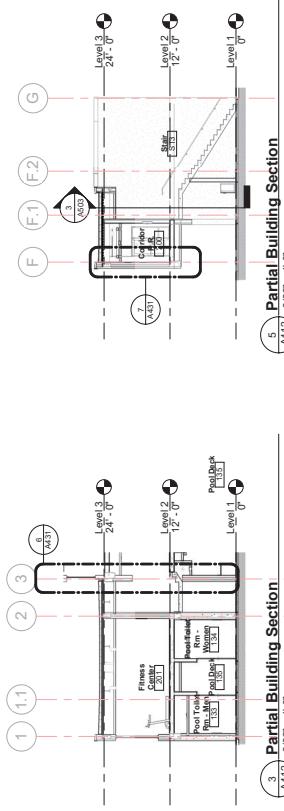
NO.	DESCRIPTION	DATE	



Longitudinal Building Section 2



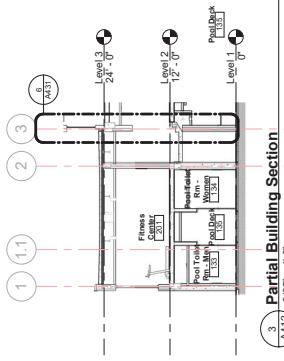
**Transversal Building Section 2**



**Partial Building Section**



Partial Building Section

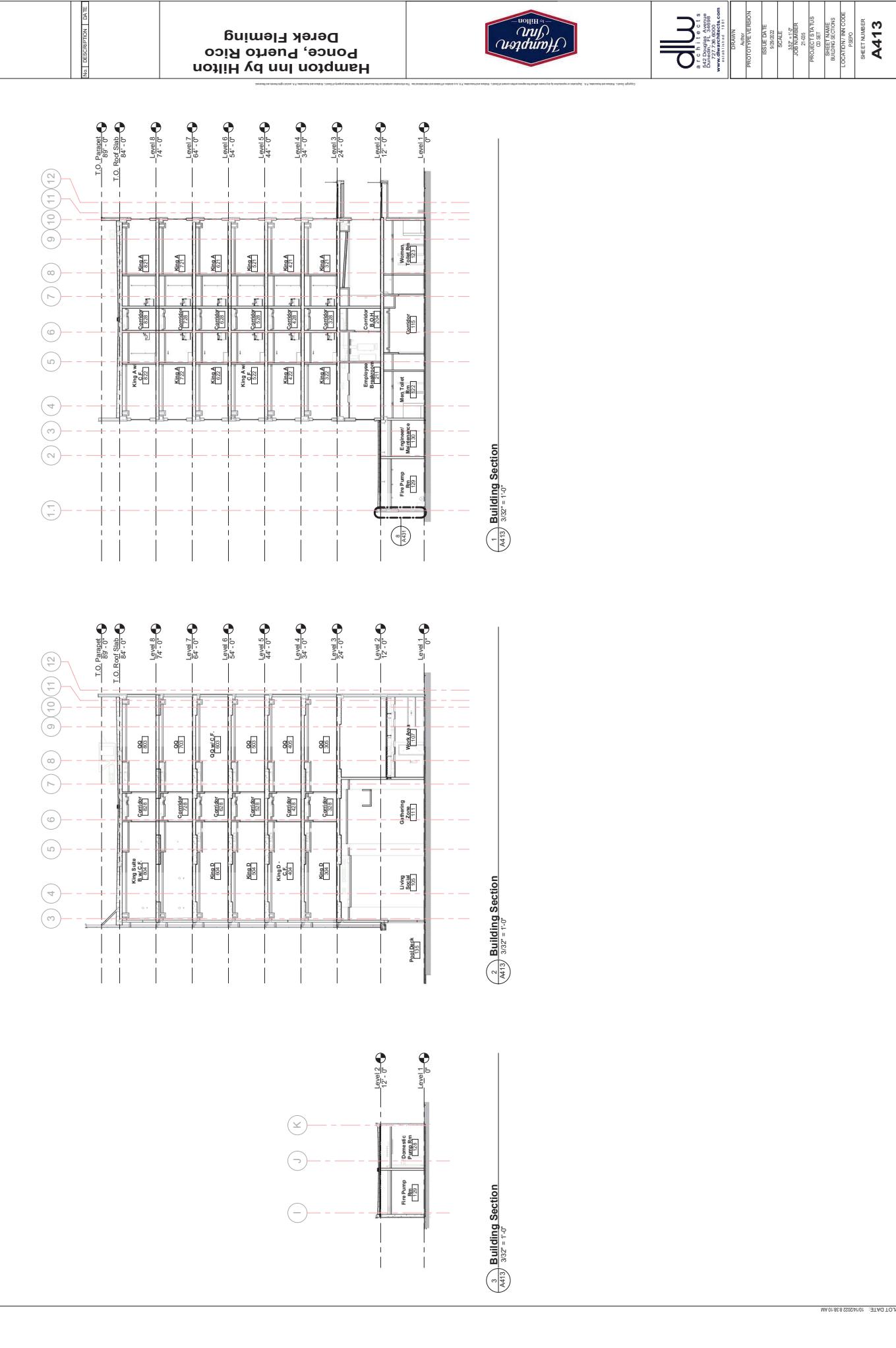


Partial Build



Page  
4  
A412  
3/32

DATE: 10/10/2023 8:38:00 AM



Hampton Inn by Hilton  
Ponce, Puerto Rico  
Derek Fleming



**alluv** architects  
5442 Douglas Avenue  
Dunedin, FL 34698  
727.738.8000

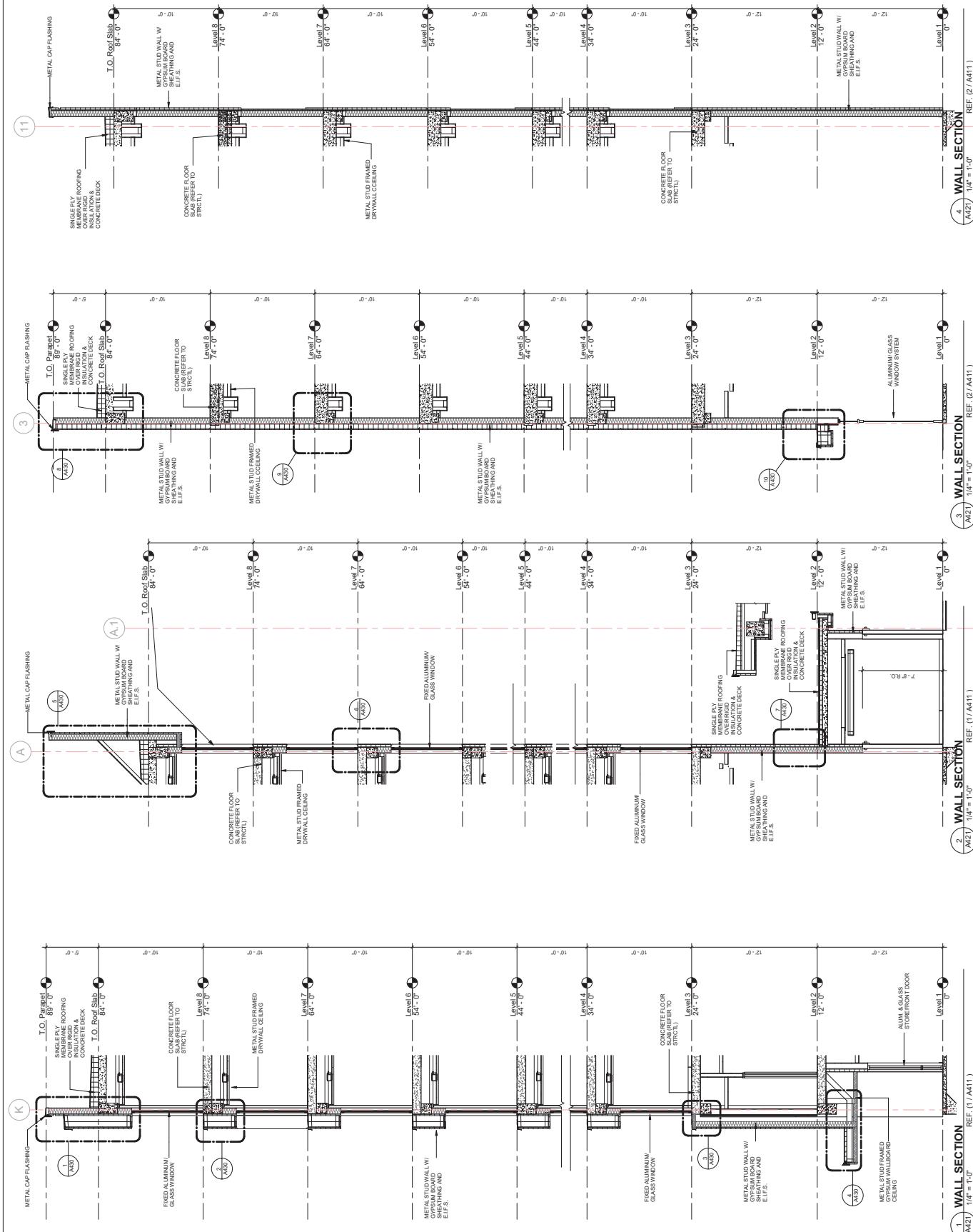
[www.urnimoc.ucl.ac.be](http://www.urnimoc.ucl.ac.be)  
established 1981  
**DRAWN**  
Author  
**PROTOTYPE VERSION**

ISSUE DATE	9/28/2022
SCALE	1/4" = 1'-0"
JOB NUMBER	21-016

PROJECT STATUS  
00 SET  
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WALL SECTIONS  
LOCATION / INN CODE

PSEPO  
SHEET NUMBER  
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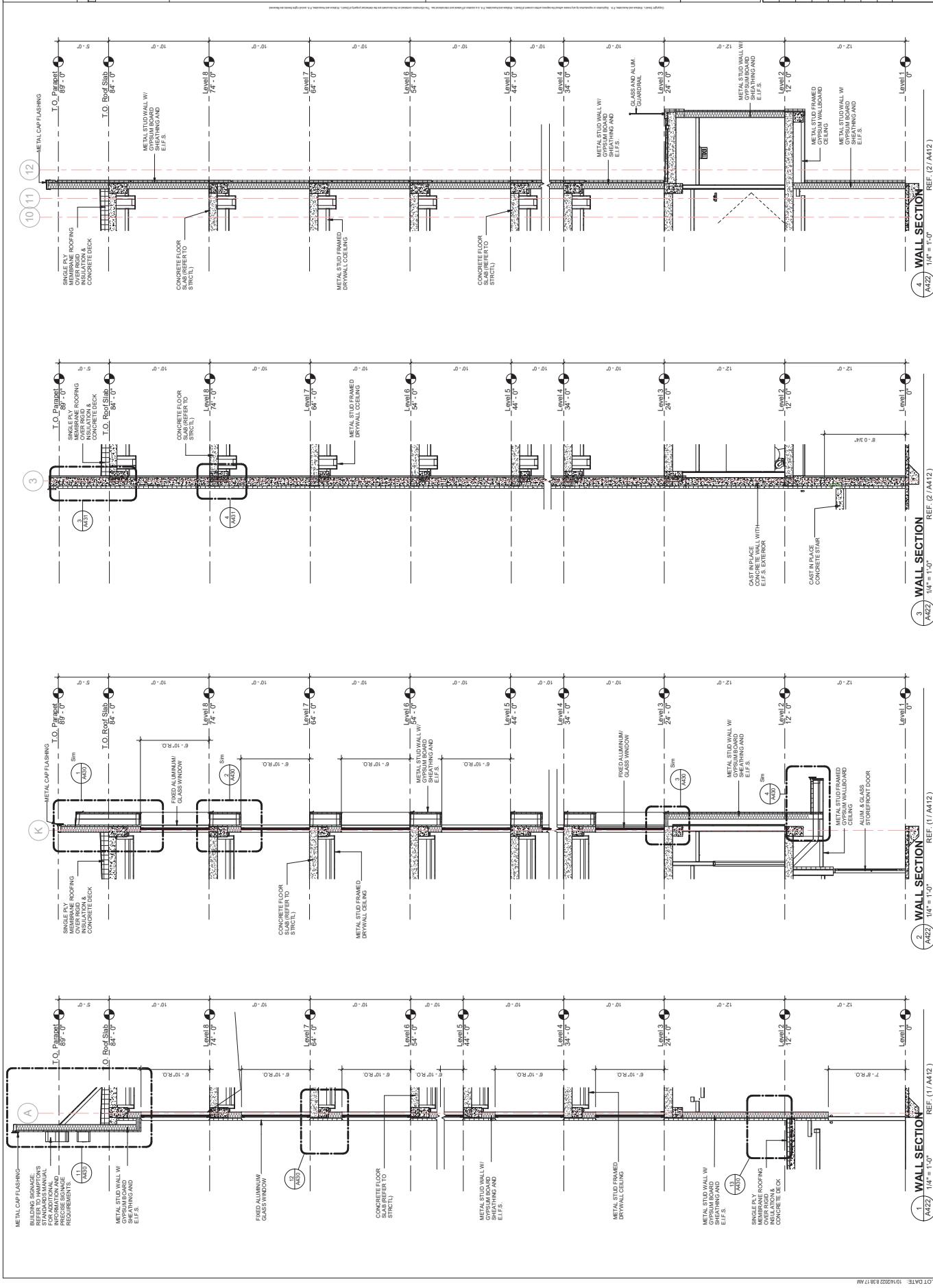
421



Hampton Linn by Hilton  
Ponce, Puerto Rico  
Derek Fleming



Hamppton inn by Hilton





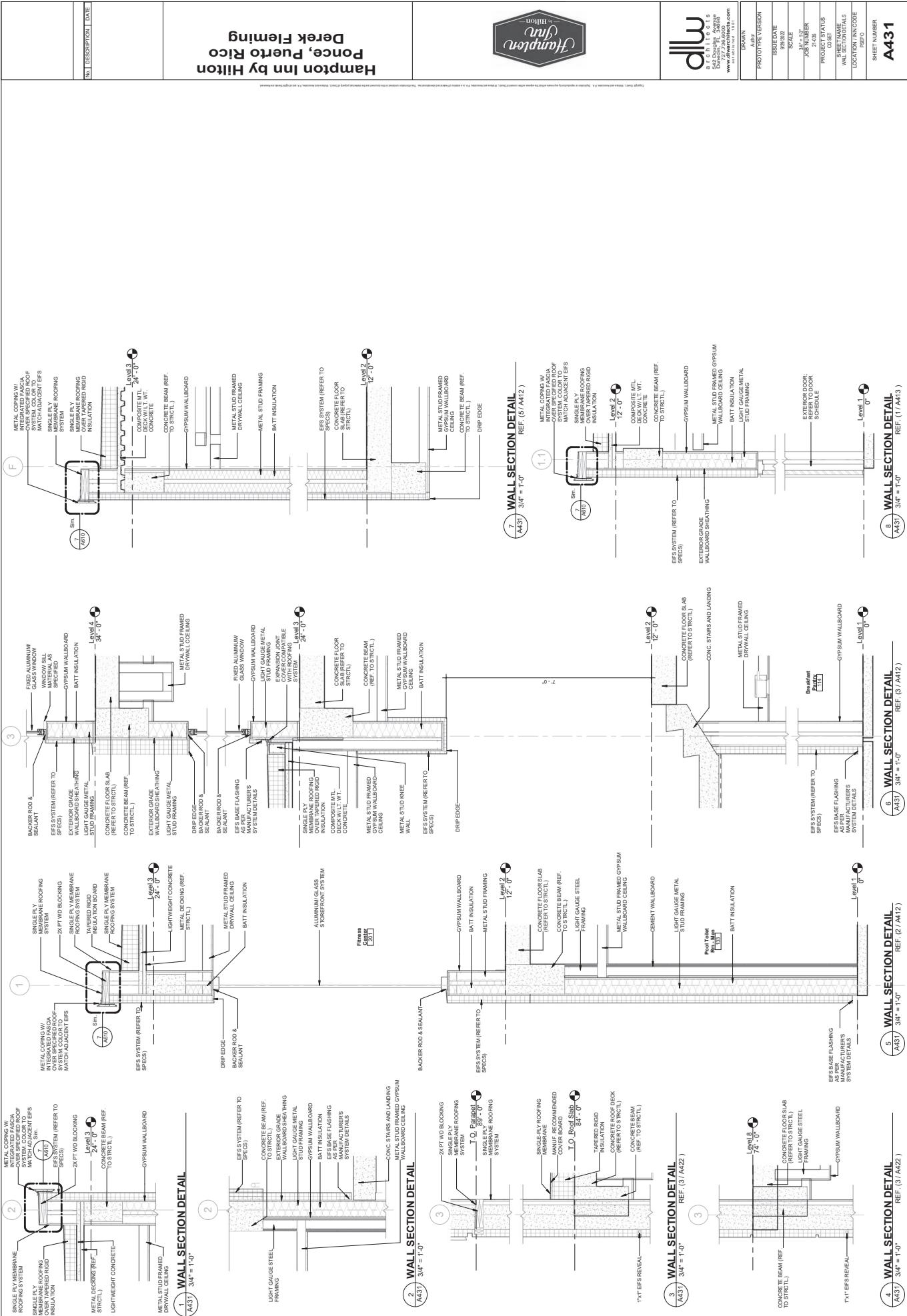
Hampton Inn by Hilton  
Ponce, Puerto Rico  
Derek Fleming

The image displays a series of architectural cross-section details for a building's exterior envelope, specifically focusing on walls and roofs. The details are labeled A through K and provide a detailed look at the construction of various components. Each detail includes a callout circle with a reference number and a corresponding callout line pointing to the specific section. The sections show various materials and construction techniques, such as metal cap flashing, integrated fascia, single-ply roofing, gypsum wallboard, light gauge metal stud framing, batt insulation, and concrete beams. The details also include dimensions, such as 34" = 1'-0" and 84" = 7'-0", and specific construction requirements like 'TAPERED RIDGE' and 'FLASHING & COUNTER FLASHING'. The overall diagram is a complex technical drawing intended for construction professionals.

Hampton Inn by Hilton  
Ponce, Puerto Rico  
Derek Fleming

The logo for Hilton Inn is a dark brown hexagonal badge. The word "Hilton" is written vertically in a white serif font along the top edge. The word "Inn" is written vertically in a larger, stylized white serif font along the bottom edge. A thin white horizontal line connects the two words.

A431





Hampston Inn by Hilton  
Ponce, Puerto Rico

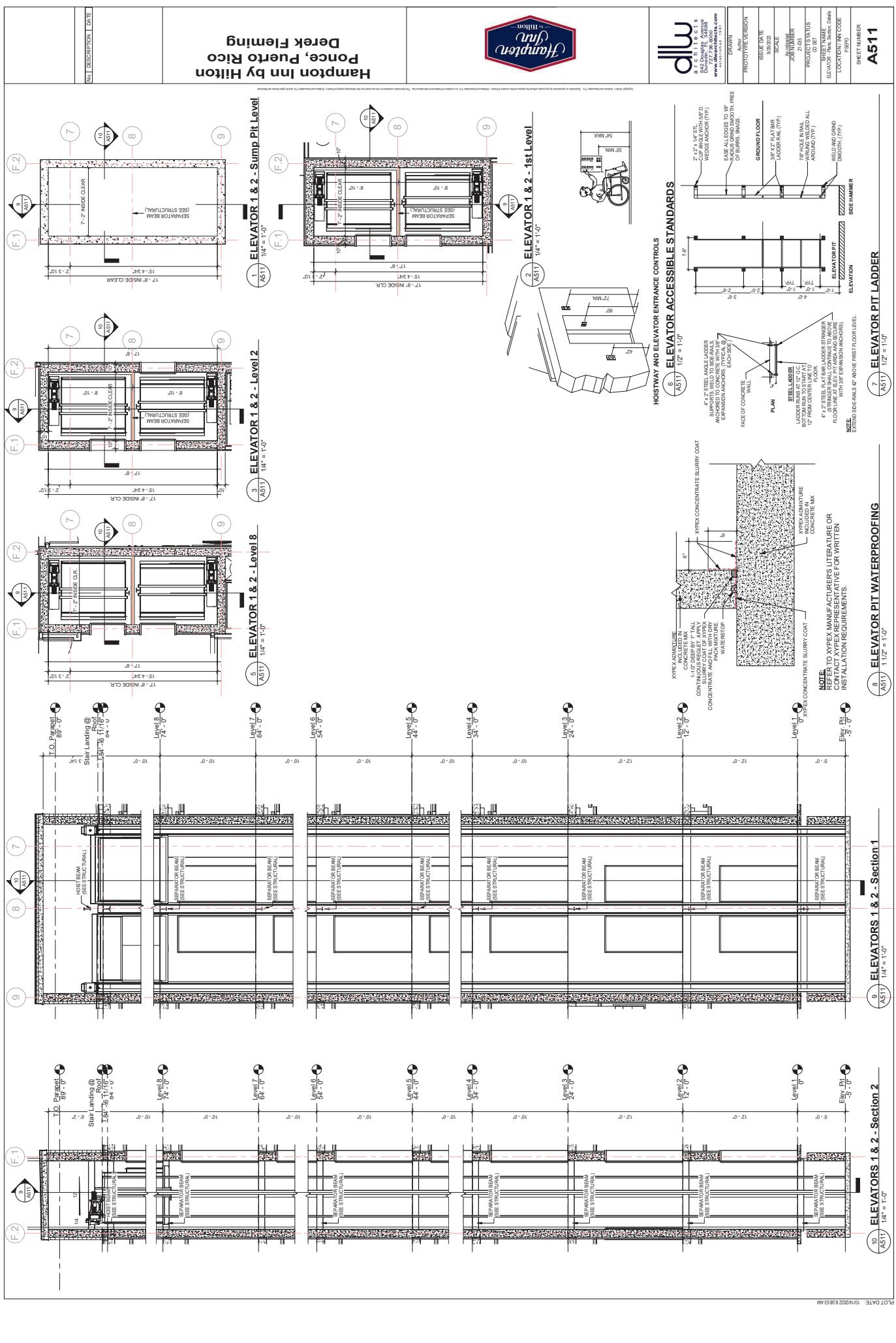


NO. DESCRIPTION DATE

**GENERAL NOTES - STAIRS**

NUMBER	COMMENTS
1.	WHERE NOT INDICATED OTHERWISE IN THE DRAWINGS, TREADS AND LANDINGS SHALL CONSIST OF 10" DECKING AND 10" CONCRETE Treads. ALL Treads TO BE PAINTED DARK GREY. LANDINGS TO BE PAINTED WHITE. PAINT COLOR IS TO BE DETERMINED BY THE OWNER. A COAT OF FLAME SPRAY COATING IS REQUIRED FOR ALL FINISHES. REFER TO WALL TYPES FOR MORE INFORMATION.
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Key Name	Comments
1	Light fixture(s) & outlet(s) must be installed in a manner to allow for future maintenance. Substitutes on fixtures or outlets are not allowed.
2	The base of all exterior outlets must be at least 18 inches above grade. Substitutes on fixtures or outlets are not allowed.
3	Exterior light fixture(s) must be coordinated with neighboring structures. Depending on the size of the residence, certain light fixture(s) will require a permit from the city.
4	Camouflaged light fixture(s) are not allowed.
5	Shoe boxes, drywall, and other materials shall not be allowed except as shown by plan.
6	Shoe boxes, drywall, and other materials shall not be allowed except as shown by plan.
7	Concealed soffit areas shall not be allowed.
8	Rain screen in roof shall be minimum of 12 inches from soffit screen or soffit area above soffit.
9	All windows shall be recessed at least 12 inches from ceiling height, and shall measure at least 36 inches wide by 36 inches high.
10	Windows shall be recessed at least 12 inches from ceiling height, and shall measure at least 36 inches wide by 36 inches high.
11	Accessories shall not be included in these drawings as it is the responsibility of the designer to coordinate with accessibility requirements per local and state codes.
12	There are no local codes for the design conditions. The code is set by state. If there are no local codes, then accessibility standards may apply to each major.
13	Alcove shower shall be required to be built in accordance with IBC 2018. If a local jurisdiction controls the design, then the design shall be in accordance with the applicable local jurisdiction's rules or laws of the world. Refer to the WAC.

Notes - Enlarged Guestroom Bathrooms

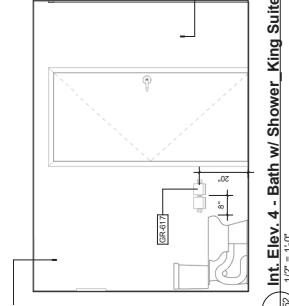
Wardrobes - Enlarged Guestroom Bathrooms



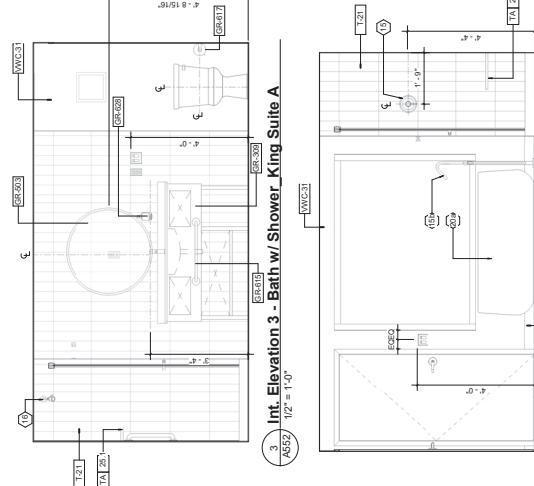
General Notes - Enlarged Bathrooms and Restrooms

General Notes - Enlarged Bathrooms and Restrooms

- Comments**  
The following table lists the distribution of total fixed assets by industry across the 100 largest companies in each of the four years from 1995 to 1998. The table also shows the percentage change in total fixed assets over the period. The figures are expressed as percentages of the total fixed assets of all 100 companies in each year. The data is taken from the annual reports of the companies and has been converted into percentages. The data is presented in a table format with columns for industry, percentage share of total fixed assets, and percentage change in total fixed assets.



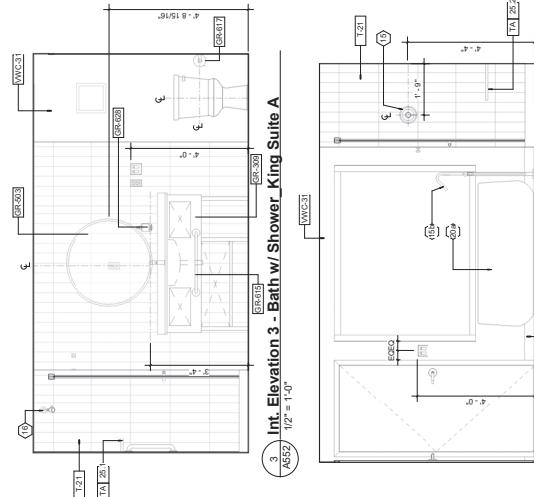
Int. Elev. 4 - Bath w/ Shower King Suite A



3 Int. Elevation 3 - Bath w/ Shower King Suite A

Restroom Accessories Schedule

Restroom Accessories Schedule

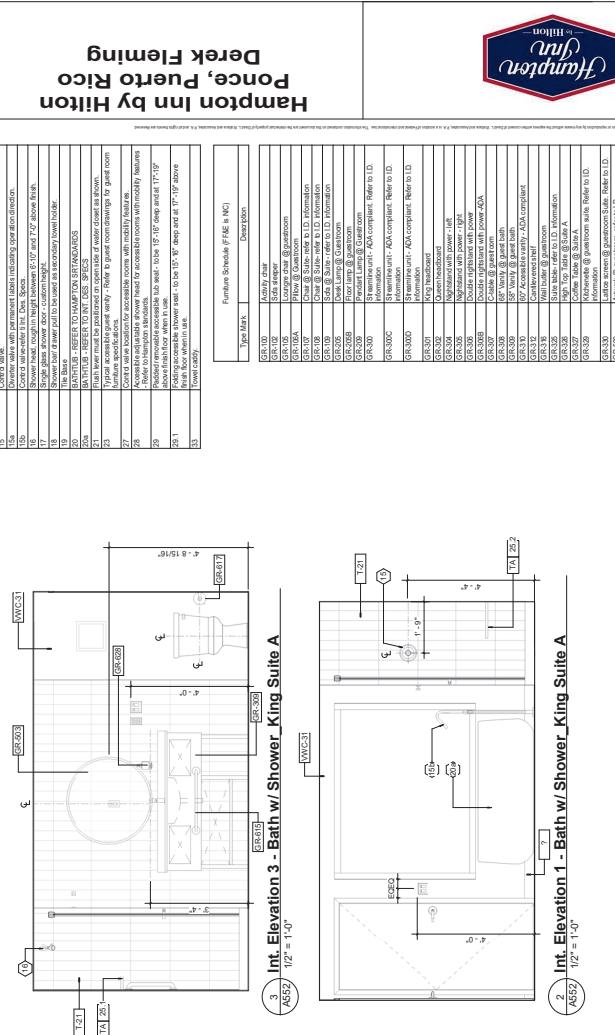


Int. Elevation 3 - Bath w/ Shower King Suite A

Key Notes - Extended Customer Barometers	
KEY	DESCRIPTION
1	Ex. Higher customer count = increased traffic. Could indicate growth in overall market.
2	Customer count = same
3	Customer count = lower
4	Order backlog up by 10% - Large range of products manufactured by Krause and Associates. Order backlog up by 10% indicates that Krause and Associates is experiencing significant growth in sales. This is reflected in the order backlog @ Krause and Associates. Order backlog up by 10% indicates that Krause and Associates is experiencing significant growth in sales. This is reflected in the order backlog @ Krause and Associates.
5	Order backlog up by 10% - Large range of products manufactured by Krause and Associates. Order backlog up by 10% indicates that Krause and Associates is experiencing significant growth in sales. This is reflected in the order backlog @ Krause and Associates. Order backlog up by 10% indicates that Krause and Associates is experiencing significant growth in sales. This is reflected in the order backlog @ Krause and Associates.
6	Order backlog up by 10% - Large range of products manufactured by Krause and Associates. Order backlog up by 10% indicates that Krause and Associates is experiencing significant growth in sales. This is reflected in the order backlog @ Krause and Associates. Order backlog up by 10% indicates that Krause and Associates is experiencing significant growth in sales. This is reflected in the order backlog @ Krause and Associates.
7	Order backlog up by 10% - Large range of products manufactured by Krause and Associates. Order backlog up by 10% indicates that Krause and Associates is experiencing significant growth in sales. This is reflected in the order backlog @ Krause and Associates. Order backlog up by 10% indicates that Krause and Associates is experiencing significant growth in sales. This is reflected in the order backlog @ Krause and Associates.
8	Order backlog up by 10% - Large range of products manufactured by Krause and Associates. Order backlog up by 10% indicates that Krause and Associates is experiencing significant growth in sales. This is reflected in the order backlog @ Krause and Associates. Order backlog up by 10% indicates that Krause and Associates is experiencing significant growth in sales. This is reflected in the order backlog @ Krause and Associates.
9	Rising power tariff.
10	Water/methane gas leak from:
11	Order backlog up by 10% - Large range of products manufactured by Krause and Associates. Order backlog up by 10% indicates that Krause and Associates is experiencing significant growth in sales. This is reflected in the order backlog @ Krause and Associates. Order backlog up by 10% indicates that Krause and Associates is experiencing significant growth in sales. This is reflected in the order backlog @ Krause and Associates.

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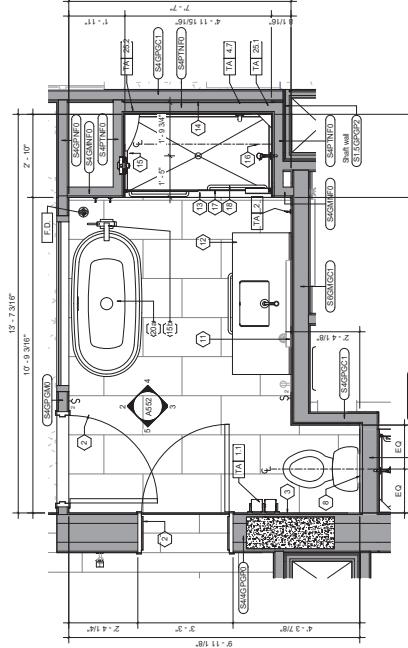


PC-  
Bath w/ Shower\_King Suite A

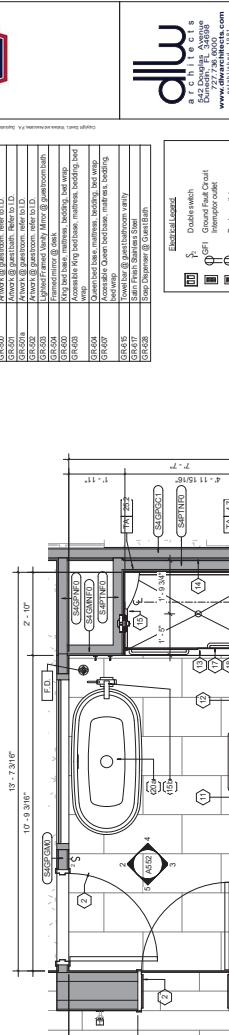
All Fire Sprinkler and Seal			
<p><b>ALLIANCE</b></p> <p><b>ARCHITECTS</b> Engineering Services Building Envelope Fire Protection <a href="http://www.alliancearchitects.com">www.alliancearchitects.com</a></p> <p><b>URBAN</b></p> <p><b>PROJECT TEAM</b></p> <p><b>ISSUE DATE</b> 8/29/2022</p> <p><b>SCALE</b> 1/4" = 1'-0"</p> <p><b>JOHN W. KERKELA</b> 707.445.2116</p> <p><b>PROJECT STATUS</b> CD SET</p> <p><b>SHEET NAME</b> Questionnaire</p> <p><b>LOCATION</b> 1000 N. Main Street, Suite 1000, Salt Lake City, UT 84101</p> <p><b>PAGE</b> 1</p> <p><b>SHEET NUMBER</b> <b>A552</b></p>			
<p><b>Electrical Legend:</b></p>			
<p><b>1000 N. Main Street, Suite 1000</b></p>			

OPTEC INNOVATION  
OPT-E 1000 Series  
Optical Smoke Detector

Environ Biol Fish (2007) 80:29–34  
DOI 10.1007/s10641-007-9300-2



**Int. Elevation 1 - Bath w/ Shower\_King Suite A**



Elevation 1 - Bath w/ Shower\_King Suite A





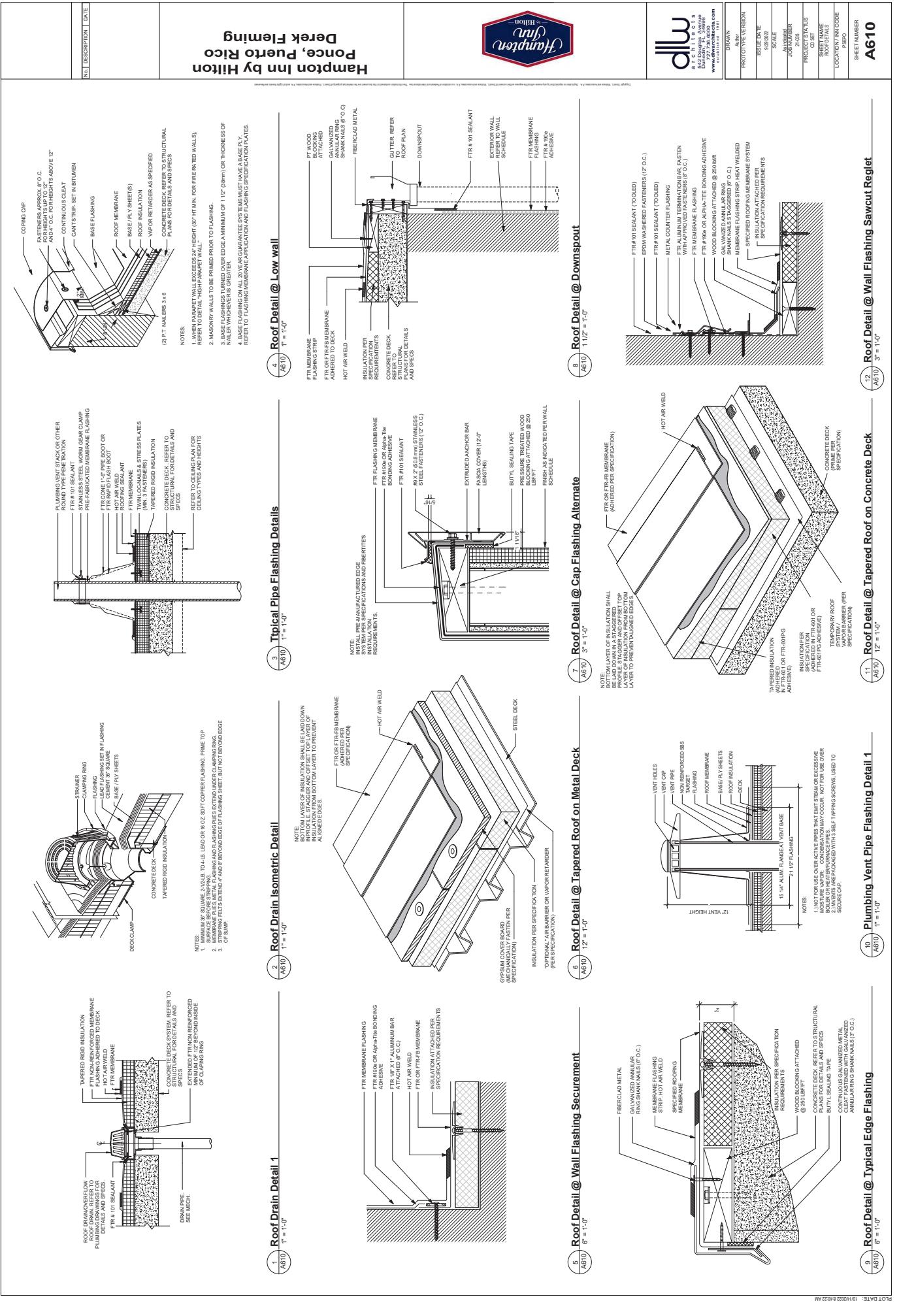






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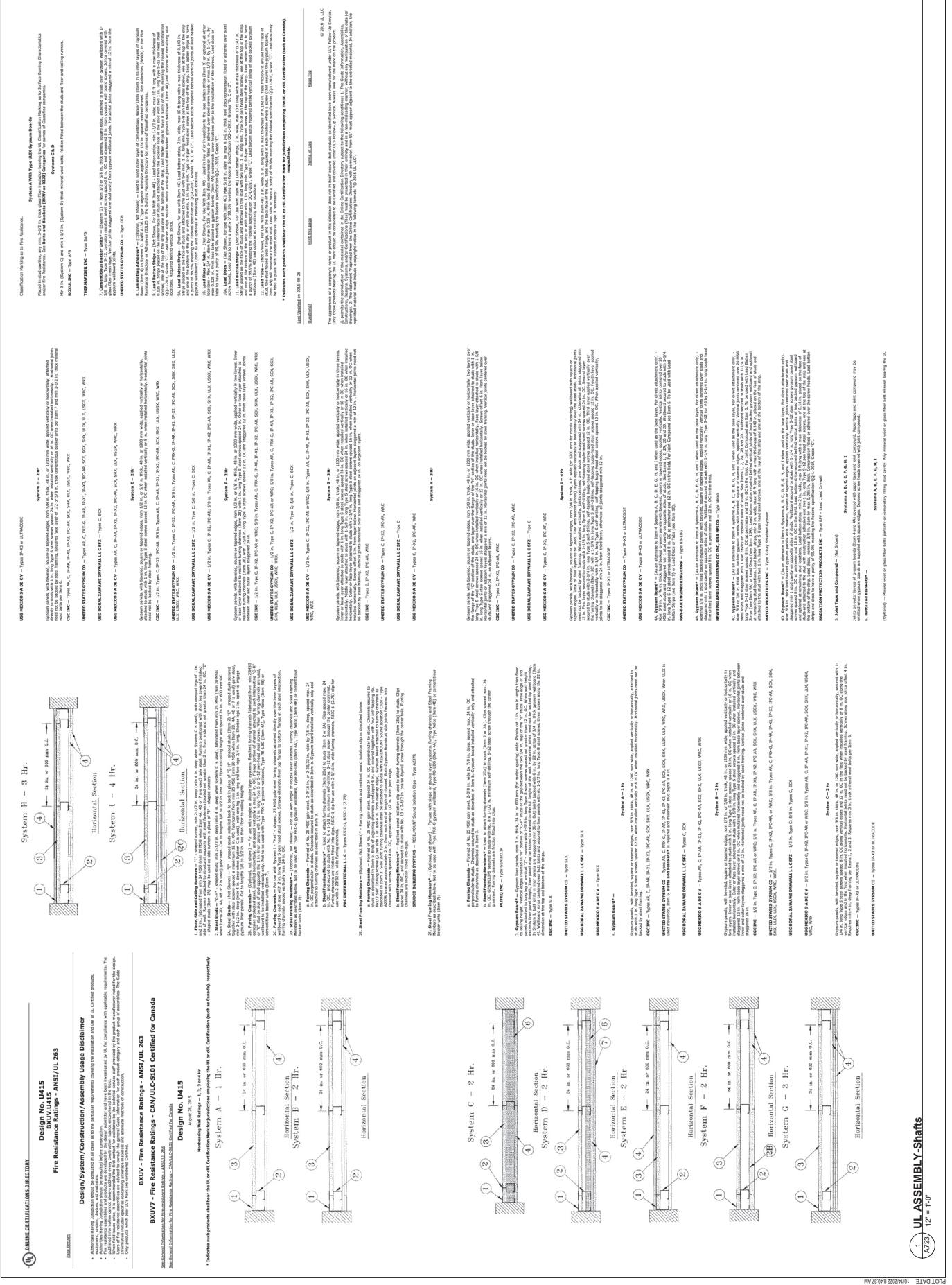
Hampton Inn by Hilton  
Ponce, Puerto Rico  
Derek Fleming

Hampton Inn by Hilton  
Ponce, Puerto Rico  
Derek Fleming



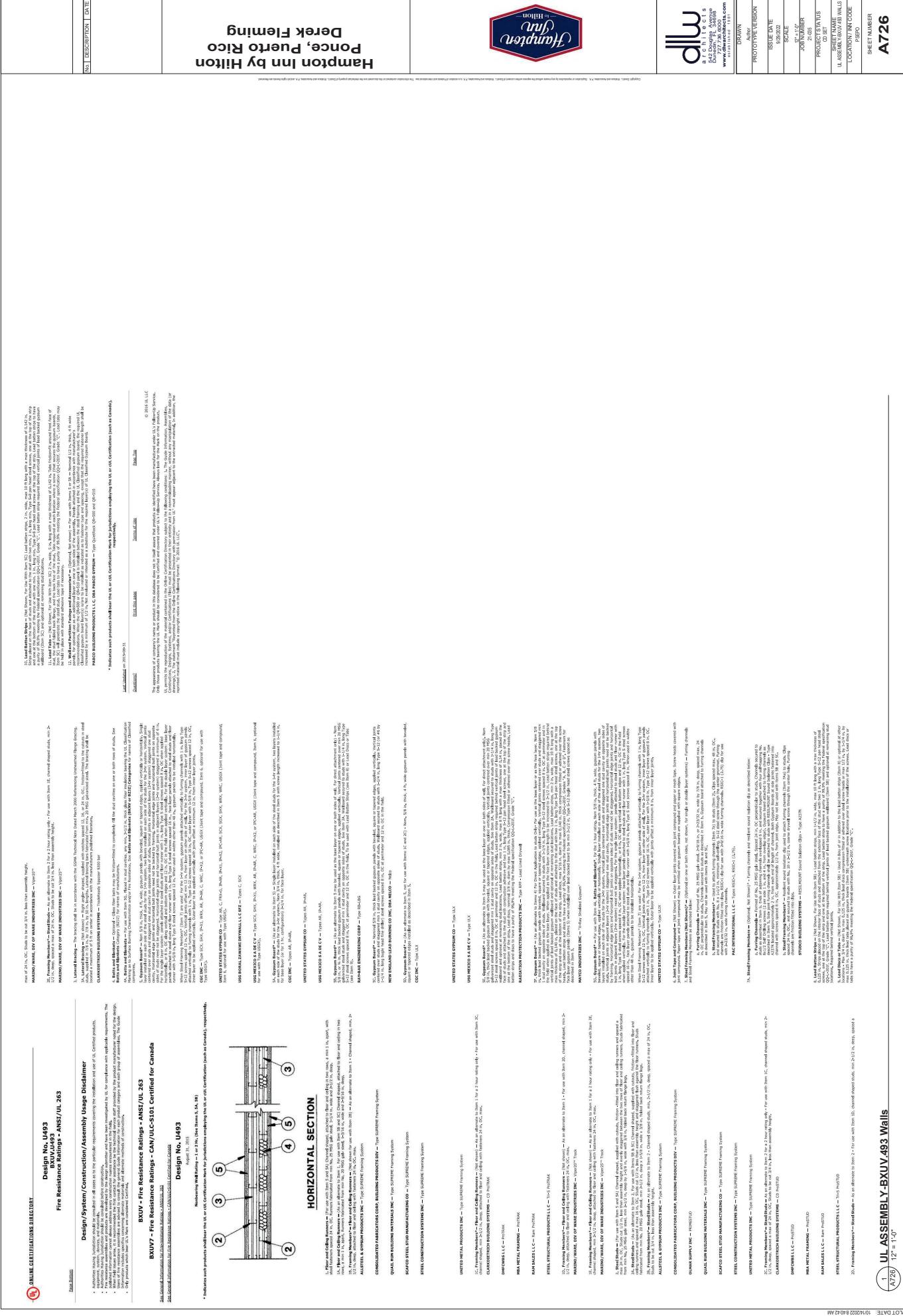






















Hampton Inn by Hilton  
Ponce, Puerto Rico  
Derek Fleming





Hampton Inn by Hilton  
Ponce, Puerto Rico  
Derek Fleming

**EMPLOYEE BREAKROOM MILLWORK DETAIL**

The diagram illustrates a cabinet assembly with the following labeled parts:

- FRT SIDE WOOD BLOCKING AS**: Front side wood blocking assembly.
- MILWORX CABINETRY, STAIN: DIVWOOD**: Cabinet brand and finish.
- FINISH BY INTERIOR DESIGNER OF REEDCAB**: Finish designer information.
- ADJUSTABLE SHELVES ON 1" HEAVY DUTY STAINLESS STEEL PINS**: Adjustable shelves and pins.
- LOCKABLE CABINET DOORS**: Lockable cabinet doors.
- STRIP LIGHTING FIXTURE**: Strip lighting fixture.

**MAINTENANCE & WORK AREA MILLWORK DETAIL**

WORK AREA MILL WORK DETAIL

**WORK AREA MILLWORK DETAIL**

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**EMPLOYEE BREAKROOM MILLWORK DETAIL**

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SHEET NUMBER  
**A802**





Hampton Inn by Hilton  
Ponce, Puerto Rico  
Derek Fleming





**Retail Center  
Ponce, Puerto Rico**

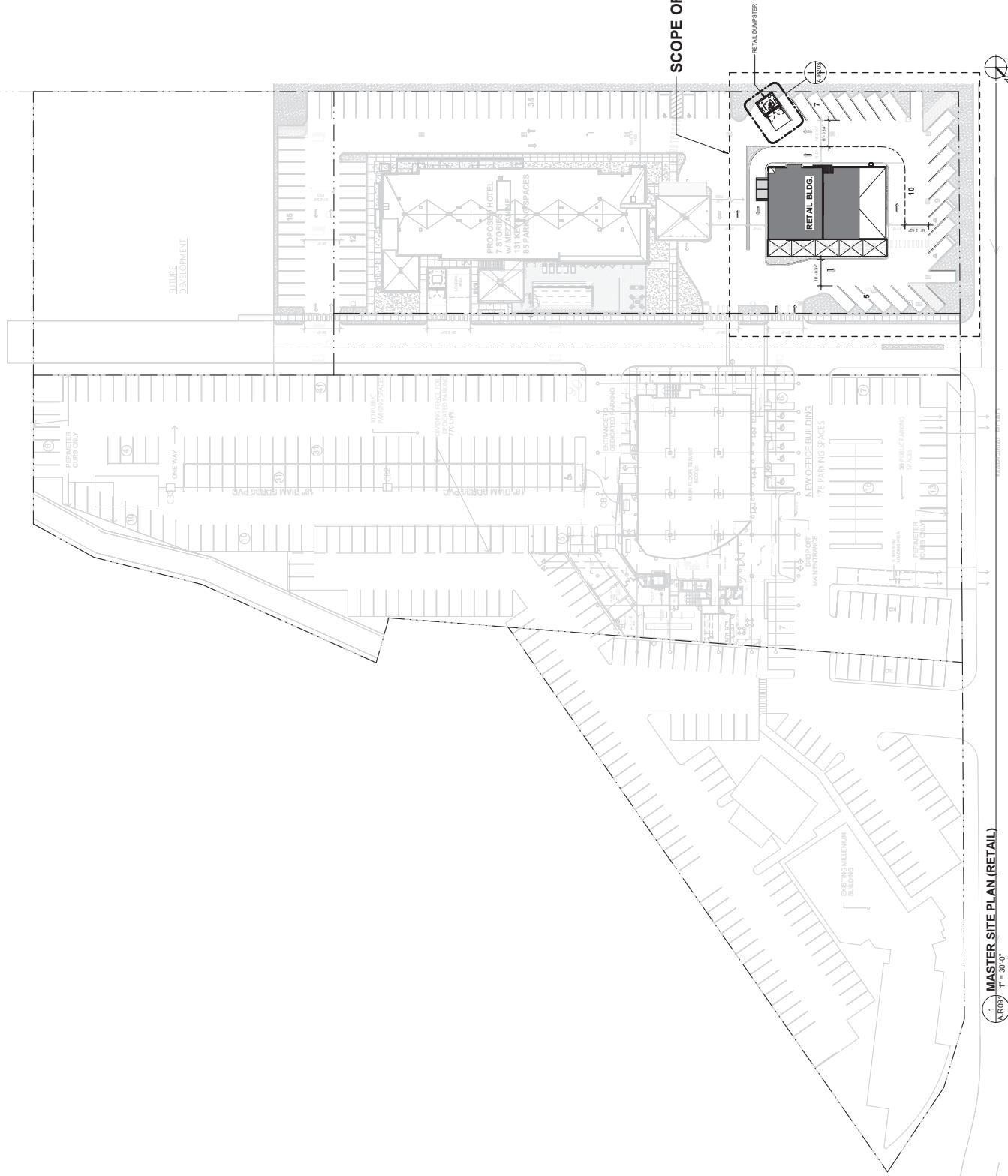


No. DESCRIPTION DATE

Gross Building SF	Area
Level 1 12,254 SF	12,254 SF

A.091

**SCOPE OF WORK**



1 A.091 1' = 30'-0"

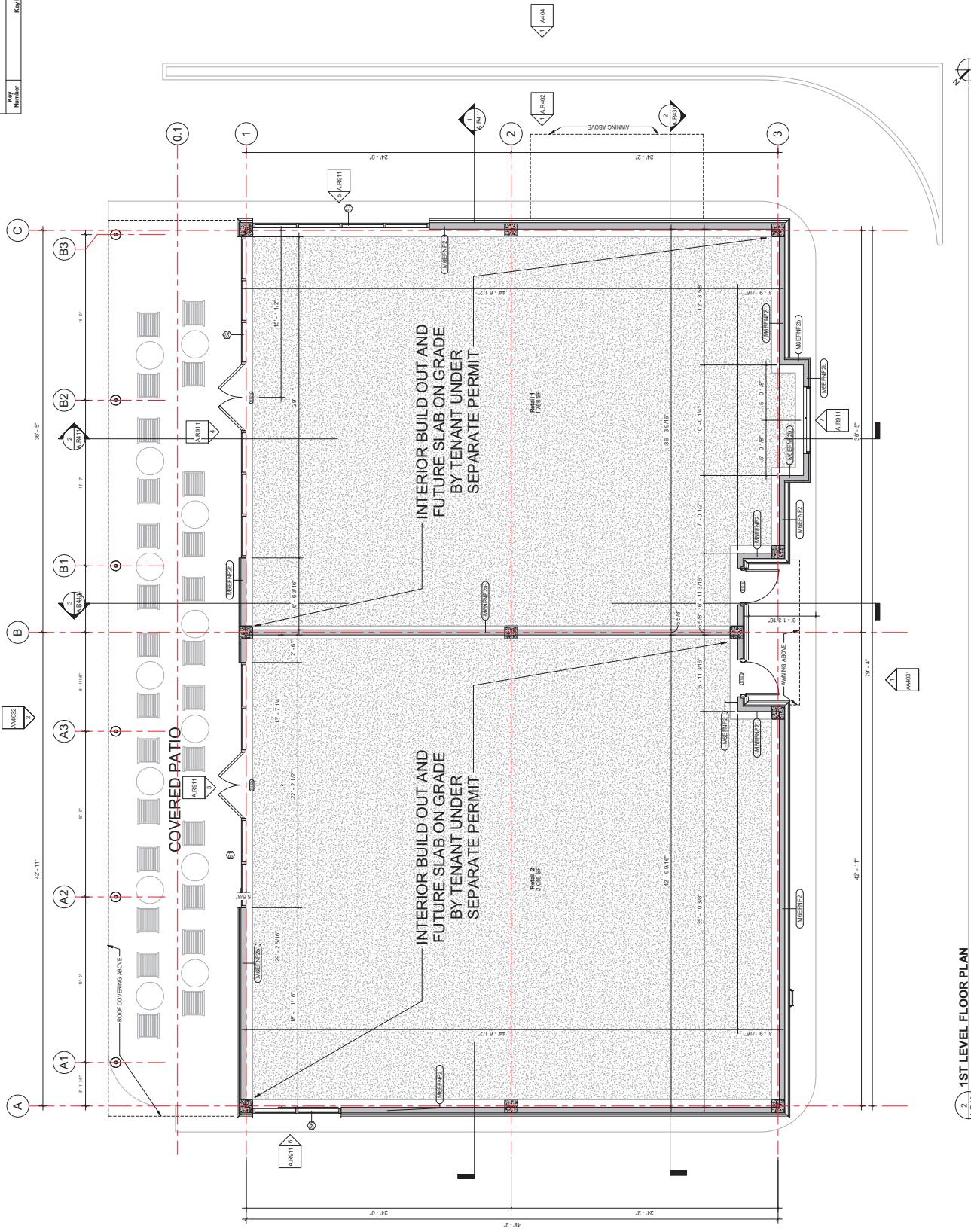
Derek Fleming  
Ponce, Puerto Rico  
Retail Center



二

**KEYNOTES - LEVEL 1 FLOOR PLANS**

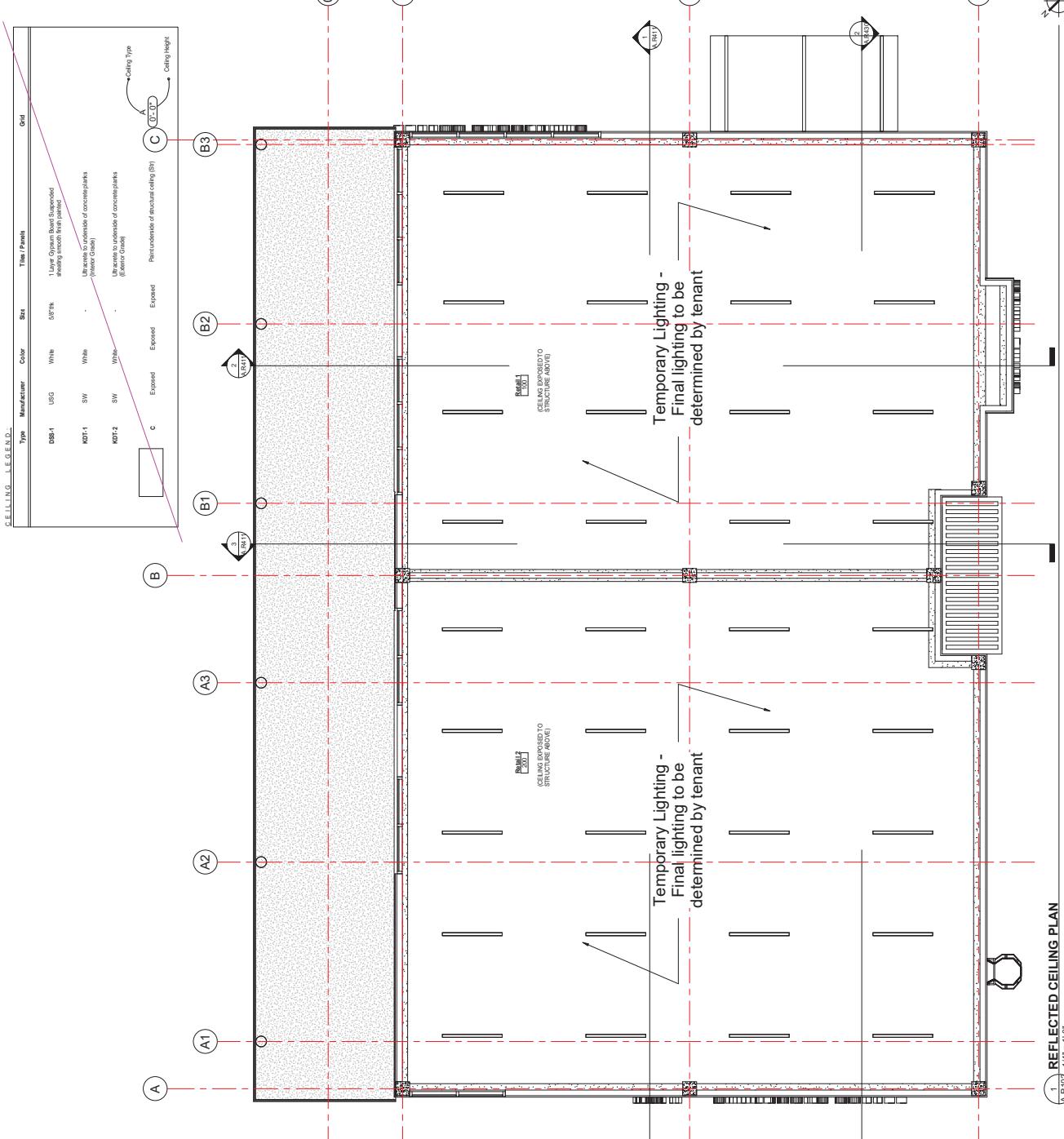
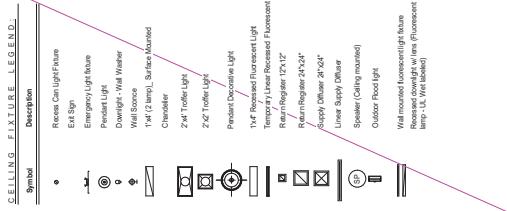
REYNOLDS - LEVEL 1 FLUR PLANS



1ST LEVEL FLOOR PLAN

PLOT DATE: 10/14/2022 8:56:08 AM

**Ponce, Puerto Rico**  
**Derek Fleming**  
**Detail Center**



MHI  
Manufacturing  
Holding  
International

DRAWN  
Author  
PROTOTYPE VERSION  
RELEASER DATE  
9/20/22  
SCALE  
Architect  
3-D WORKBOOK  
2-D WORKBOOK  
CROSS REFERENCE  
CROSS REFERENCE SET  
SHEET NAME  
LEVEL 1 - REFLECTED CEILING  
LOCATION PLAN CODE  
SUSA  
SHEET NUMBER  
A.R102

PLOT DATE: 10/16/2022 8:56:09 AM  
1/4" = 1'-0"



Derek Flemming  
Ponce, Puerto Rico  
Retail Center



Digitized by srujanika@gmail.com

**4** **Trash Enclosure Section**  
A.R203  $1\frac{1}{2}'' = 1'-0''$

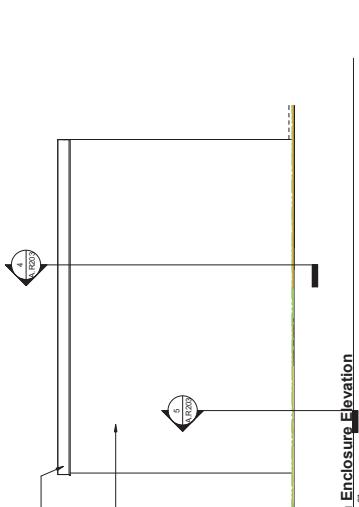
Trash Enclosure Plan  
1/4" = 1'-0"  
A.R203

2 Trash Enclosure Elevation  
A.R203 1/2" = 1'-0"

METAL COPING TO  
MATCH ADJACENT  
WALL COLOR

EXTERIOR  
INSULATION FINISH  
SYSTEM (EIFS) AT  
EXTERIOR BLOCK  
WALL

Section @ Bolland



3 **Trash Enclosure Elevation**  
A.R203 1/2" = 1'-0"

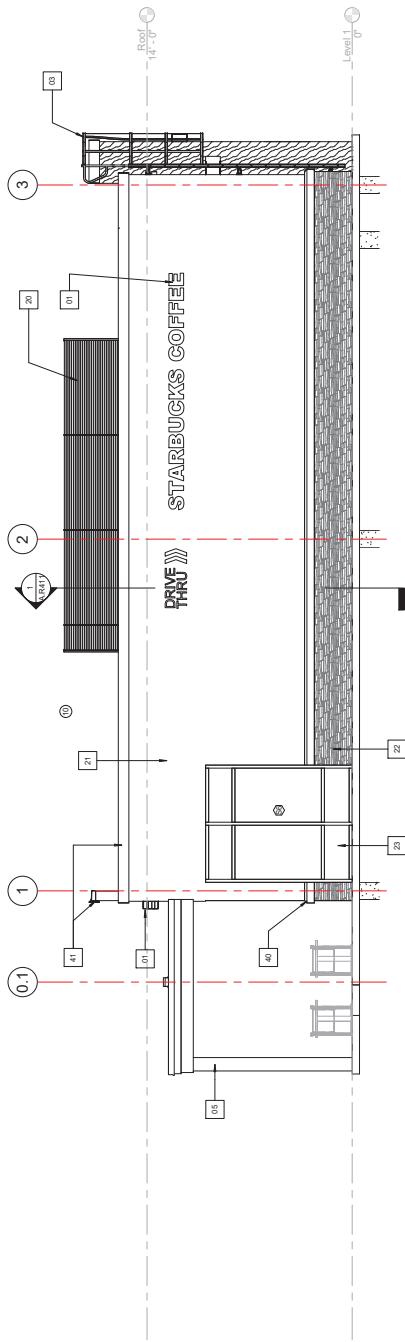
PLOT DATE: 10/14/2022 8:56:14 AM

**Retail Center**  
Ponce, Puerto Rico



**ELEVATION KEY NOTES**

KEY #	DESCRIPTION
01	BLINDING SCAFFOLDING SYSTEM BY STANCO (UNDER EXTERIOR DOOR REFER TO DOOR SCHEDULE)
02	WELD DOOR ACCESS TOWER
03	WELD DOOR TRANSACTION WINDOW
04	SUSPENDED WALKING
11	PRE-FABRICATED METAL WALKING
20	BREATHABLE METAL OUTDOOR SCREEN SYSTEM
21	STONE FENDER/ROOF SCENE SYSTEM
23	ALUMINUM GLASS STOREFRONT SYSTEM
40	HIGH DEENSITY FRAMING
41	ALUMINUM CAP/FRAMING



Derek Flemming  
Ponce, Puerto Rico  
Retail Center



1

三

**3** architects  
542 Douglas Avenue  
Dunedin, FL 34698  
727-736-0000

[www.unwatched.co](http://www.unwatched.co)  
established 1981  
DRAWN  
Author

ISSUE DATE  
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92822  
SCALE  
 $1^{\prime\prime} = 1'$   
JOB NUMBER

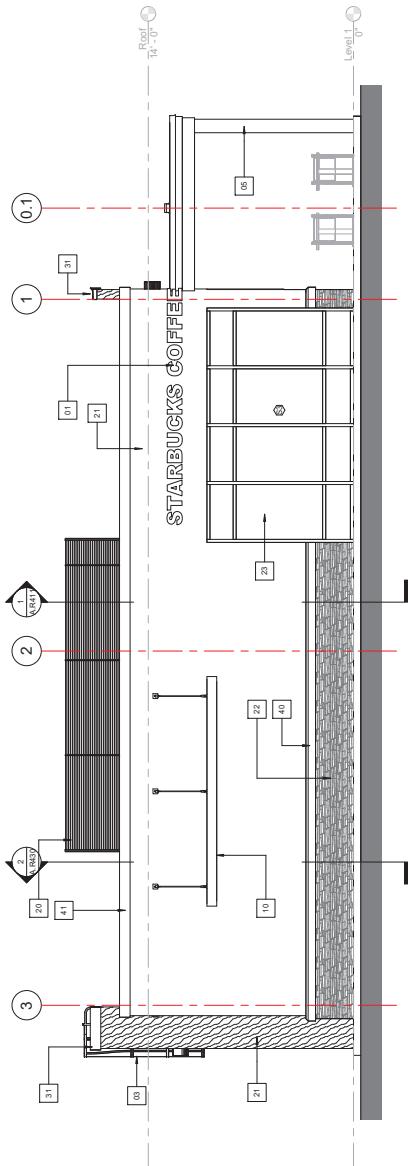
PROJECT STATUS  
CD 50% PROGRESS SET

SHEET NAME  
BUILDING ELEVATIONS  
LOCATION / INN CODE  
SHSM

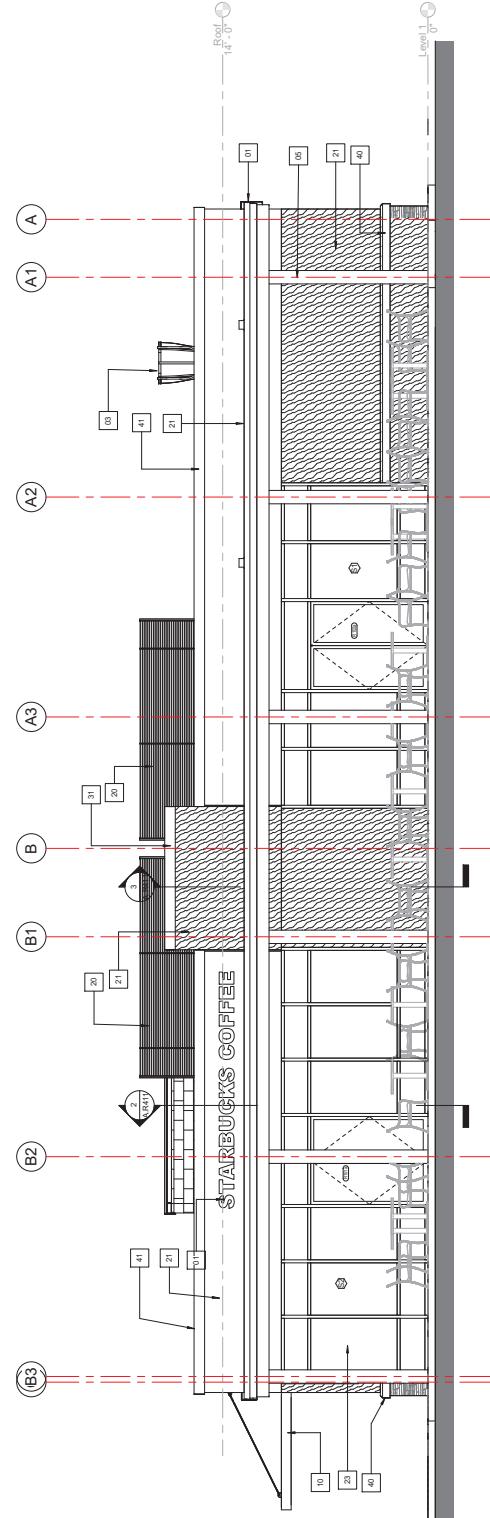
SHEET NUMBER  
**A B402**

ELEVATION KEY NOTES	
KEY #	DESCRIPTION
01	BUILDING SIGNAGE BY TENANT (UNDER SEPARATE PERMIT)
02	EXTERIOR DOOR REFER TO DOOR SCHEDULE
03	ME-1 ROOMS AGGRESSIVE
04	DRIVE THRU TRANSACTION WINDOW
05	
10	SUSPENDED/WINNING

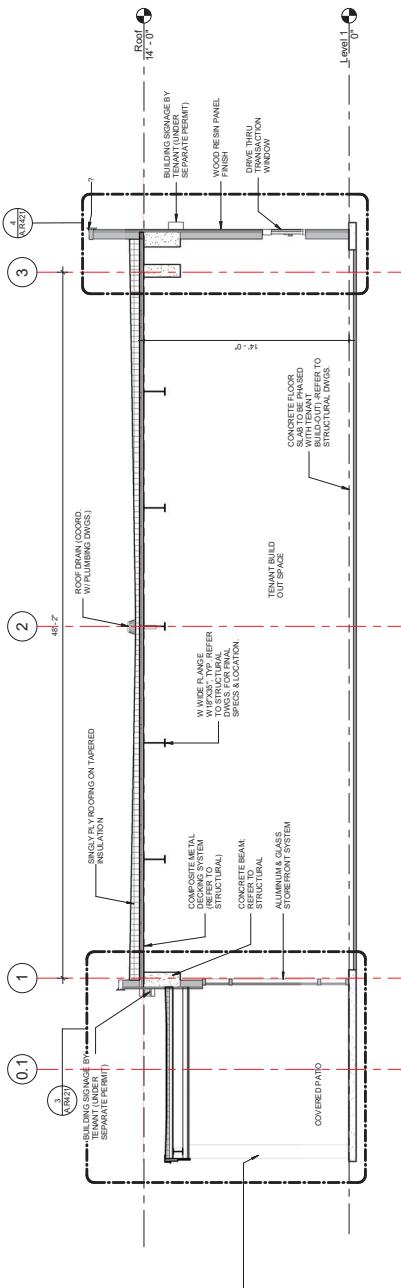
20	PREFINISHED METAL LOUVERED SCREEN SYSTEM
21	
22	STONE VENEER OR CAST STONE EYES FINISH
23	ALUMINUM & GLASS STOREFRONT SYSTEM
40	HIGH DENSITY FOAMCLADDING
41	ALUMINUM CAP FLASHING



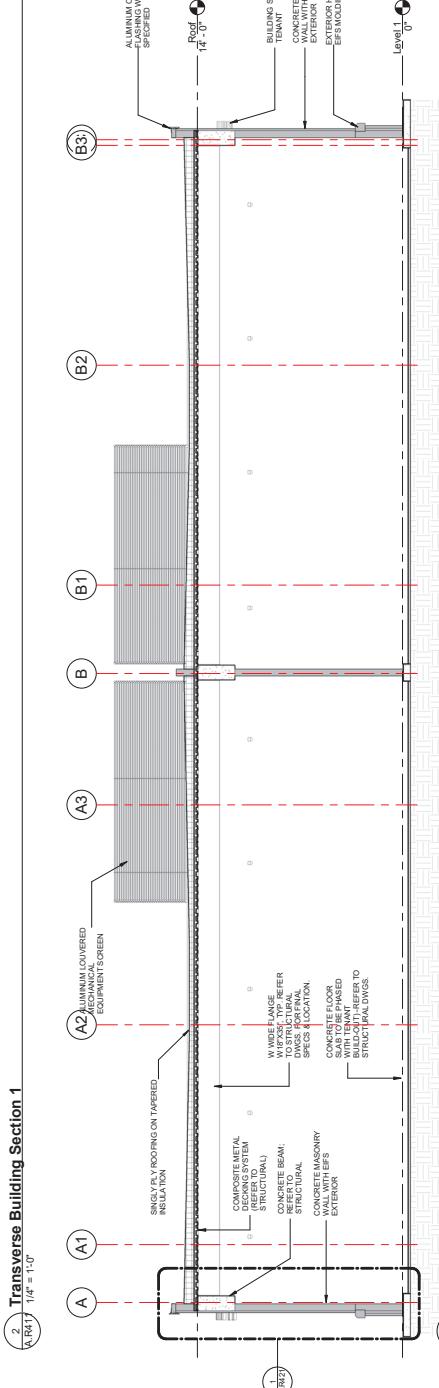
**South Elevation**  
1/4" = 1'-0"  

East Elevation  
A.R402 1/4" = 1'-0"



**(A) Transverse Building Section 1**



**(B) Longitudinal Building Section 2**

**(C) Building Section**



Derek Fleming  
Ponce, Puerto Rico  
Retail Center

This detailed architectural cross-section diagram illustrates the construction of a building's exterior and roof. The diagram is labeled with various sections and components:

- Section A-A:** Shows the base of the building. Labels include: ALUMINUM COPING CAP FLASHING W/ FINISH AS SPECIFIED; SINGLEPLY FLY ROOFING INSULATION ON TAPERED COMPOSITE METAL DECK (REFER TO STRUCTURAL); CONCRETE MASONRY EXTERIOR WALLS; PRE-FABRICATED METAL MASONRY; EXTERIOR BUILDING SIGNAGE BY TENANT.
- Section 1-1:** Shows the roof deck. Labels include: ALUMINUM COPING CAP FLASHING W/ FINISH AS SPECIFIED; SINGLEPLY FLY ROOFING INSULATION SYSTEM; WOOD DECK DADED; SINGLE PLATE ROOFING; COMPOSITE METAL MEMBRANE SYSTEM (REFER TO STRUCTURAL).
- Section 3-3:** Shows the roof edge. Labels include: ALUMINUM COPING CAP FLASHING W/ FINISH AS SPECIFIED; WOOD DECK DADED; SINGLE PLATE ROOFING; COMPOSITE METAL MEMBRANE SYSTEM (REFER TO STRUCTURAL); ROOF.
- Section 6-1:** Shows the building sign. Labels include: BUILDING SIGNAGE BY TENANT (UNLESS STATED OTHERWISE); ALUMINUM COPING CAP FLASHING W/ FINISH AS SPECIFIED; SINGLEPLY FLY ROOFING OVER POLYURETHANE FOAM INSULATION BOARD ON METAL DECK; SLOP TO DRAIN 1/4" PER FT. MIN.
- Section 8-8:** Shows the interior wall. Labels include: CONCRETE MASONRY EXTERIOR WALL; STEEL STUD FRAMED STEEL INDOOR FANGE BEAM (REFER TO STRUCTURAL); METAL C-COLUMN COVER; GLASS & ALUMINUM STOREFRONT.
- Section 9-9:** Shows the interior floor slab. Labels include: CONCRETE FLOOR SLAB (REFER TO STRUCTURAL); CONCRETE FLOOR SUB TO BE RAISED IN AN AMOUNT REFER TO STRUCTURAL DWGS; LEVEL 1.
- Section 10-10:** Shows the exterior wall. Labels include: CONCRETE MASONRY EXTERIOR WALL; STEEL STUD FRAMED STEEL INDOOR FANGE BEAM (REFER TO STRUCTURAL); CONCRETE BEAM (REFER TO STRUCTURAL); CONCRETE MASONRY EXTERIOR WALL; PRE-FABRICATED METAL MASONRY; EXTERIOR DOOR (REFER TO DOOR SYSTEM SHEET); CONCRETE FLOOR; CONCRETE FLOOR WITH TENANT BUILD OUT REFER TO STRUCTURAL DWGS; LEVEL 1.
- Section 14-14:** Shows the roof insulation. Labels include: BATT INSULATION; CONCRETE BEAM (REFER TO STRUCTURAL); CONCRETE FLOOR; CONCRETE FLOOR WITH TENANT BUILD OUT REFER TO STRUCTURAL DWGS; LEVEL 1.
- Section 14'-0":** Shows the roof edge. Labels include: CONCRETE BEAM (REFER TO STRUCTURAL); CONCRETE FLOOR; CONCRETE FLOOR WITH TENANT BUILD OUT REFER TO STRUCTURAL DWGS; LEVEL 1.

The diagram also includes a legend for symbols: (3) indicates a dimension of 3'; (1) indicates a dimension of 1'; (6-1) indicates a dimension of 6'-1"; (8-8) indicates a dimension of 8'-8"; (9-9) indicates a dimension of 9'-9"; (10-10) indicates a dimension of 10'-10"; (14-14) indicates a dimension of 14'-0"; (14'-0") indicates a dimension of 14'-0".

**WALL SECTION**  
A.R427 4 1/2" = 1'-0"

WALL SECTION

WALL SECTION

WALL SECTION

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DRAWN BY	Author	PROTOTYPE VERSION
ISSUE DATE	9/29/22	PROJECT STATUS
SCALE	1/4" = 1'-0"	CD/DVD PROCESS SET
DOC NUMBER	21-045	SHEET NAME
		WALL SECTIONS
		LOCATION / INN CODE
		SUSA

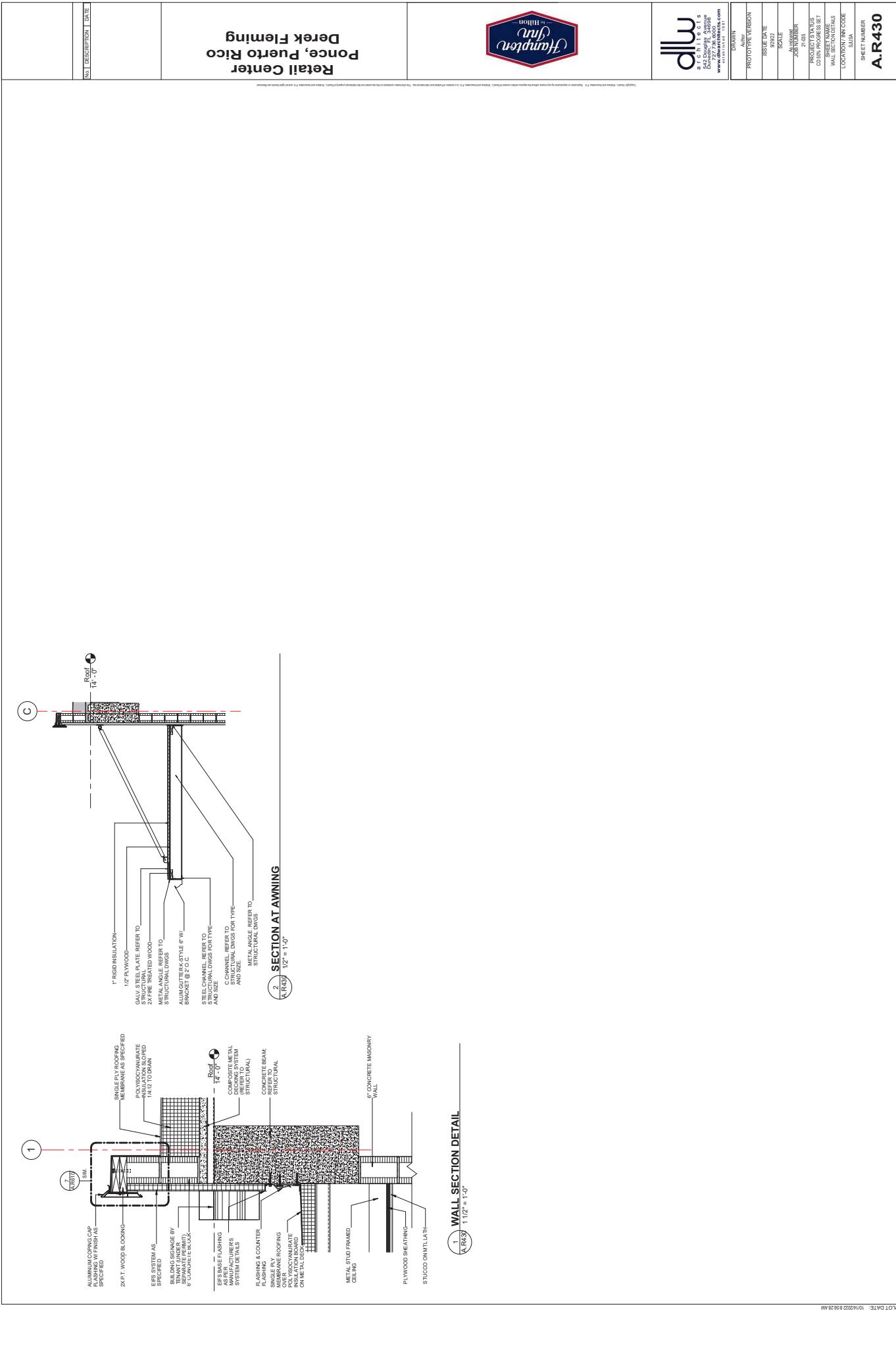
**DRAWN**

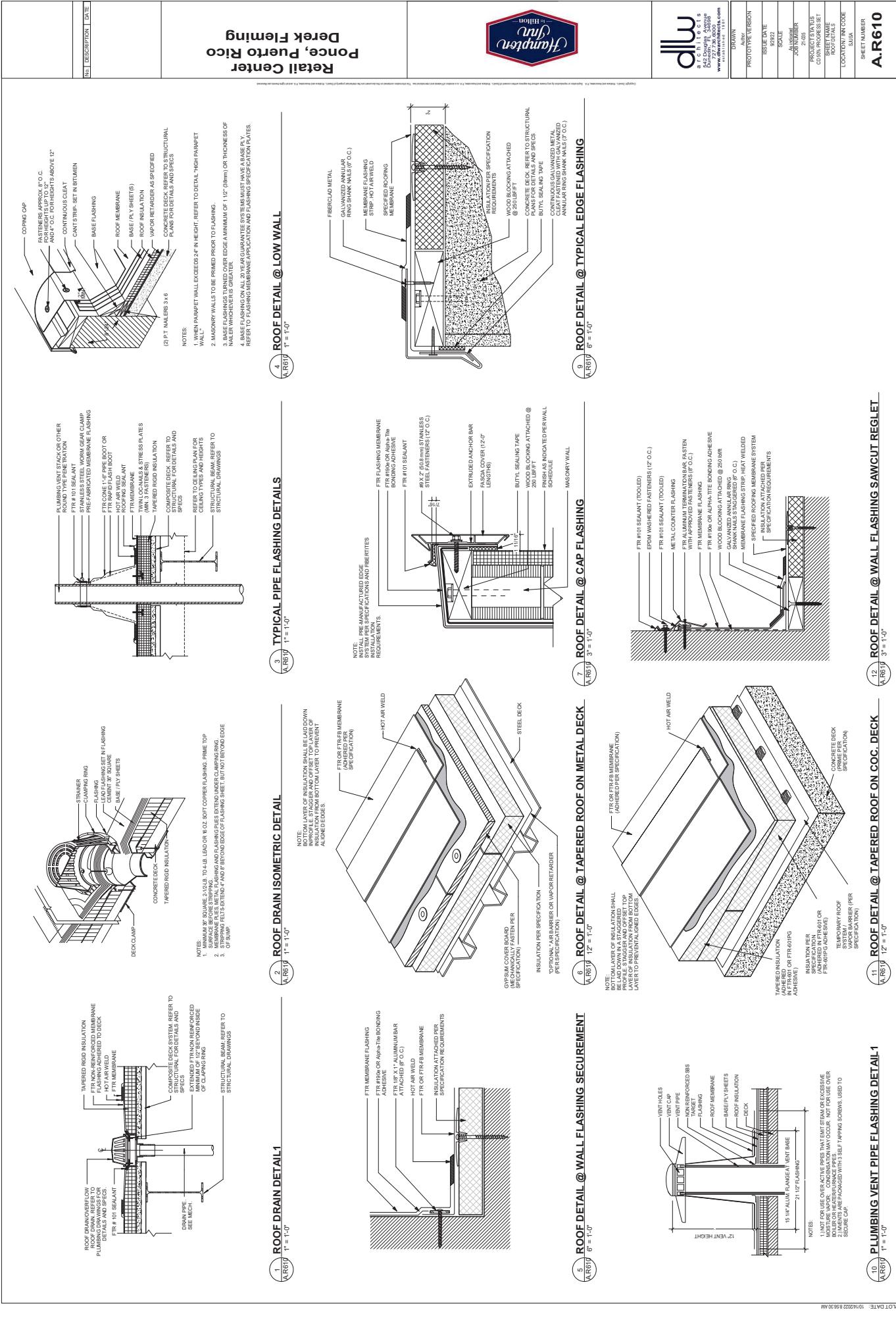
**www.dwgarchitects.com**

6515 N.W. 63rd Street • Suite 101 • Miami, FL 33166 • (305) 727-7300 • (800) 727-7300

**A.R421**

LOT DATE: 10/14/2022 8:56:27 AM

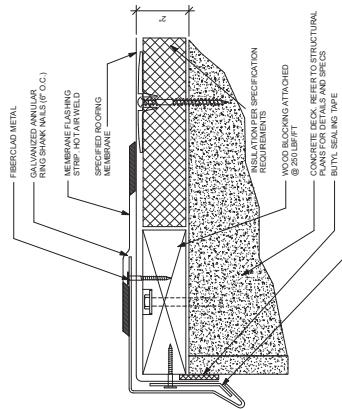



**3 TYPICAL PIPE FLASHING DETAILS**

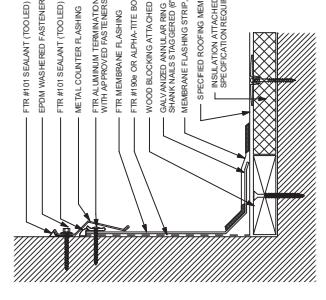
A.R610 1'-0" = 1'-0"

**4 ROOF DETAIL @ LOW WALL**

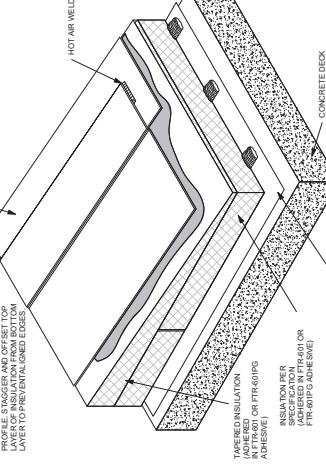
A.R610 1'-0" = 1'-0"


**5 ROOF DETAIL @ TYPICAL EDGE FLASHING**

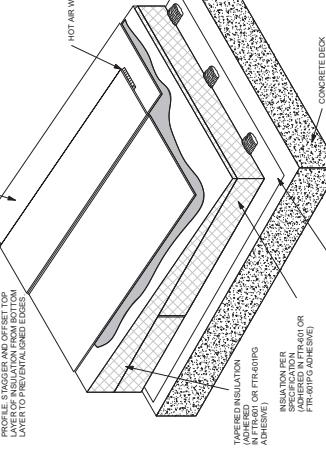
A.R610 1'-0" = 1'-0"


**6 ROOF DETAIL @ CAP FLASHING**

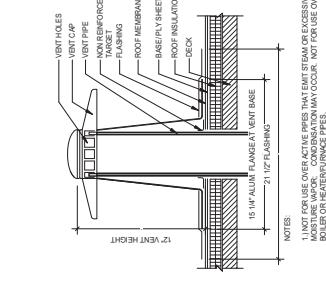
A.R610 1'-0" = 1'-0"


**7 ROOF DETAIL @ TAPERED ROOF ON METAL DECK**

A.R610 1'-0" = 1'-0"


**8 ROOF DETAIL @ WALL FLASHING SECUREMENT**

A.R610 1'-0" = 1'-0"


**9 ROOF DETAIL @ TAPERED ROOF ON COC. DECK**

A.R610 1'-0" = 1'-0"


**10 PLUMBING VENT PIPE FLASHING DETAIL 1**

A.R610 1'-0" = 1'-0"

DRAWN	Author	PROTOTYPE PERSON
REVIEWED	DATE	9/20/2022
SPECIFIED	SCALE	1:20
APPROVED	LOCATION	DOVER, DE
SHEET NUMBER	ITEM NUMBER	A.R610







Derek Fleming  
Ponce, Puerto Rico  
Retail Center



**Derek Fleming**  
**Ponce, Puerto Rico**  
**Detail Center**

**STOREFRONT SCHEDULE**

MARK	LENGTH	HEIGHT	FRAME FINISH	MATERIAL	OPERATION	GLAZING TYPE	Comments
S1	22'-2 1/2"	10'-0"	ALUM.	KYNAR	DOOR SWING	G1	
S2	29'-1"	10'-0"	ALUM.	KYNAR	DOOR SWING	G1	
S3	10'-0"	10'-0"	ALUM.	KYNAR	DOORS	G1	
S4	9'-0"	10'-0"	ALUM.	KYNAR	DOORS	G1	

**WINDOW SCHEDULE**

MARK	WIDTH	HEIGHT	FRAME FINISH	MATERIAL	GLAZING TYPE	Comments
WT1	6'-0"	9'-0"	ALUM.	W/SG/TCX		

**SCHEDULE OF DOOR W/ SIDE LITE**

MARK	LENGTH	HEIGHT	FRAME FINISH	MATERIAL	OPERATION	GLAZING TYPE	Comments
GLAZING	9'-0"	ANNUAL = 1/8" PROPS SURROUND DOOR. COVE & EZ. TO CLEAR. TBS. TIC. GEAR. U. FACTOR .35. SHAC. TIC.					

**GLAZING TYPE SCHEDULE**

GLAZING	TYPE
G1	W/SG/TCX

**STOREFRONT S2 ELEV.**  
A1891 3/8" = 1'-0"

**STOREFRONT S1 ELEV.**  
A1891 3/8" = 1'-0"

**STOREFRONT S3 ELEV.**  
A1891 3/8" = 1'-0"

**TRANSACTION WINDOW WI ELEV.**  
A1891 3/8" = 1'-0"

**STOREFRONT S6 ELEV.**  
A1891 3/8" = 1'-0"

**DOOR SCHEDULE**

Mark	Room Name	Width	Height	Thickness	Door	Finish	Type	Hardware	Remarks
Level 1									
No. 1		5'-0"	7'-0"	1/4"	HOLLOW METAL	PAINT	D		
No. 2		5'-0"	7'-0"	1/4"	HOLLOW METAL	PAINT	D		
FR02a	Rear 2	8'-0"	8'-0"	1/4"	ALUM. GLASS	PAINT	D		
FR02	Rear 2	2'-0"	7'-0"	1/4"	HOLLOW METAL	PAINT	A		

**DOOR TYPES**

**EXTERIOR SIDE:**

**A HOLLOW METAL**  
SOLID SURFACE OR STONE  
SEALANT FULL  
HOLLOW METAL  
DOOR JAMB GROUT  
SYSTEM

**B SOLID GLASS & ALUMINUM**  
SOLID SURFACE OR STONE  
SEALANT FULL  
HOLLOW METAL  
DOOR JAMB GROUT  
SYSTEM

**INTERIOR SIDE:**

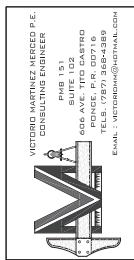
**C EXPOSED OR BLOCK**  
COMPATIBLE CONT.  
SEALANT AND  
SCREWS  
SEALED & PAINTED  
NOTE: ON FRAMES UNDER  
SPECIFIC SCOPE OF WORK  
NOT INCLUDED

**TYP. DOOR HEAD DETAIL - Exposed Int/Ext**

**9 @ CMU Wall w/EIFS**  
A1891 3" = 1'-0"

**2 TYP EXT WINDOW HEAD & SILL DETAIL**

**11 TYP EXT WINDOW HEAD & SILL DETAIL**  
A1891 3" = 1'-0"



Hampton Inn by Hilton  
Ponce, Puerto Rico  
Derek Fleming

This architectural site plan illustrates a ramp transition between a sidewalk and a curb and gutter. The ramp has a slope of MAX SLOPE = 1:12 and a RAMP FLARES SLOPE 1:10. The total width of the ramp is 6'-0". The distance from the ramp's end to the curb and gutter is 3'-0". The total length of the curb and gutter is 13'-0". The height of the curb and gutter is 5'-0". A vertical dimension line indicates a height of 5'-0" from the sidewalk level to the top of the curb and gutter. Labels include "SIDEWALK", "RAMP FLARES SLOPE 1:10", "MAX SLOPE = 1:12", "CURB & GUTTER", and "5'-0"".

TYPICAL CONC. CURB  
SCALE: 1 1/2" = 1'-0"

PARKING SECTION MRKD  
SCALE: 1" = 1'-0"

The diagram illustrates a cross-section of a geocemented base construction. At the top, a 4" thick concrete sidewalk is shown above a 6" thick C.B.C. B.W. layer. Below this is a 2" asphalt wear surface (S-1). The main base consists of a 3" black base (B-1) and a 6" granular coarse material (A-1 or better). A vertical line labeled "SLOPE AS PER GRADING PLAN" indicates the slope of the base layers. To the right, a legend shows a hatched pattern for "GEOCEMENTED BASE" and a solid pattern for "COMPACTED GRADE". A note states "90% M.A., REFER TO GEOTEXTILE CONTRACTOR FOR CURE".

PARKING SECTION MRKD

This technical drawing illustrates a section of a chain link fence. The overall height is 1'-0". The top rail is labeled "TOP RAIL AS SPECIFIED". Below it is a "GRADE". The bottom rail is labeled "BOTTOM RAIL AS SPECIFIED". A "POST" is shown at the center, with a "DA OF POST AS SPECIFIED" dimension. The fence panels are labeled "STANDARD PIPE GALV. PAINTED TO MATCH MESH". A "GATE No. 9 WITH P.V.C. COATING" is shown on the left. The top of the fence is labeled "EXTERIOR CHAIN LINK FENCE GATE No. 9 WITH P.V.C. COATING". The bottom is labeled "BOTTOM RAIL CHAIN LINK FENCE GATE No. 9 WITH P.V.C. COATING". A "NOTES" section on the right specifies: 1- TERMINAL POSTS INCLUDE END, CORNER, AND TAIL POSTS. 2- CONTRACTOR SHALL FURNISH THE CHAIN LINK FENCE SECTION, MESH, AND POSTS. REFER TO MANUFACTURER'S SPECIFICATIONS FOR DETAILS. 3- CONTRACTORS SHALL BE SUBMITTED SHOP DRAWINGS FOR ARCHITECT APPROVAL.

This technical cross-section diagram illustrates the dimensions and materials for a reserved parking space. The overall width is 18' (MIN) to 3'-7" (MAX). A signpost is located at the left end, with a height of 12'. The sign itself is 7'-0" (MAX) tall. The ground surface is labeled 'CONCRETE GRADE'. The base layer is 'CALCIUM SULFATE'. The main structure is made of 'GALVANIZED STEEL SECTION'. The top surface is 'ASPHALT'. A hatched area indicates the 'DRAINAGE' system.

HANDICAPPED RAMP N.T.S.  
PLAN VIEW

\*FOR CURB HEIGHT NOT EXCEEDING 6"

HANDICAPPED RAMP N.T.S.  
ISOMETRIC VIEW

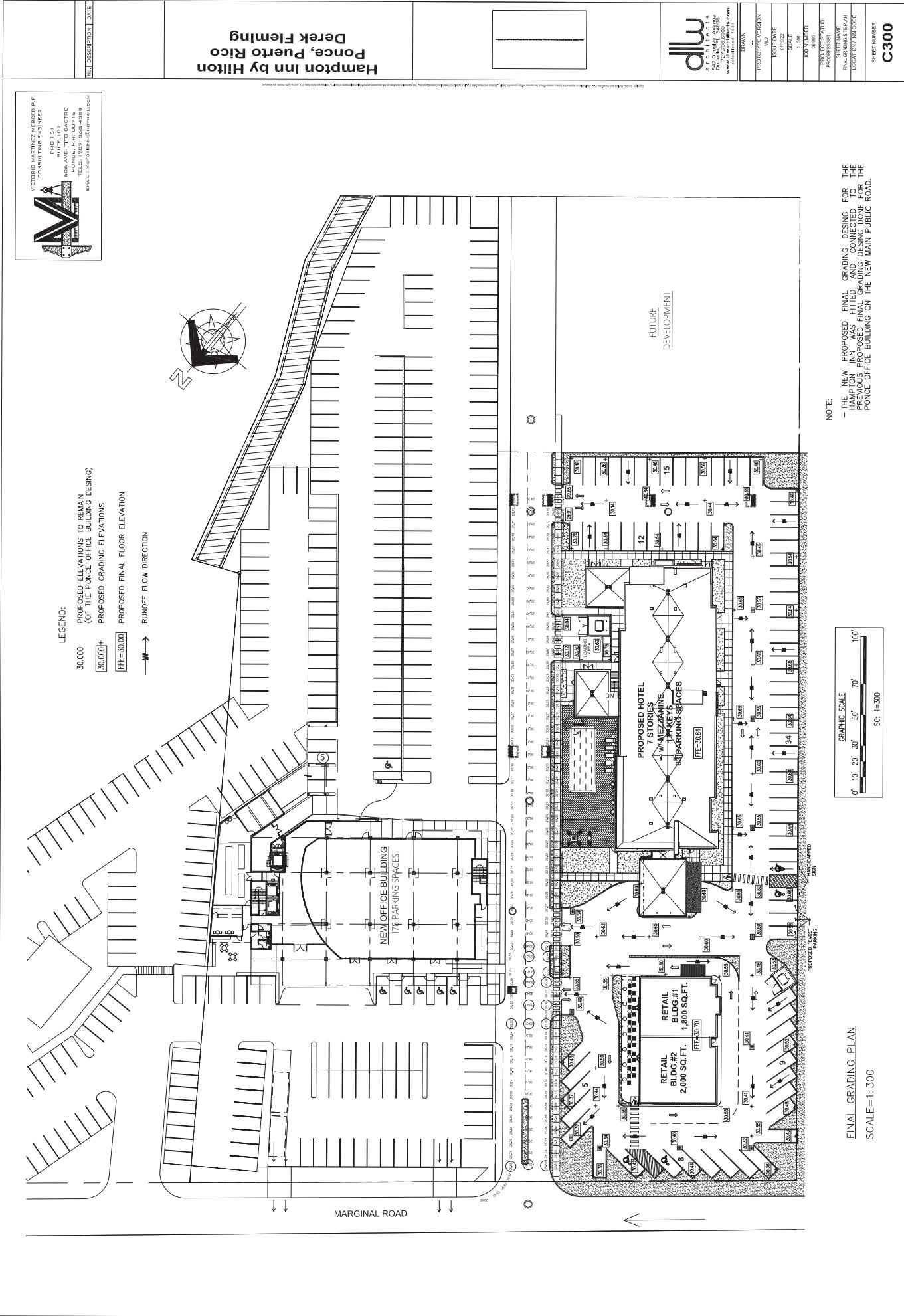
DETAIL FOR HANDICAPPED SYMBOL      SCALE: 1/2" = 1'-0"

GUARD POST DETAIL

HANDICAPPED SIGN

ARCHITECT APPROVED.

C201



NOTE: — THE NEW WATER DISTRIBUTION SYSTEM DESIGNED FOR THE HAMPTON INN WAS FITTED AND CONNECTED TO THE PREVIOUS SANITARY SYSTEM DESIGN DONE FOR THE PONCE OFFICE BUILDING ON THE NEW MAIN PUBLIC ROAD.

NOTE:

- THE NEW WATER DISTRIBUTION SYSTEM DESING FOR THE HAMPTON INN WAS FITTED AND CONNECTED TO THE PREVIOUS SANITARY SYSTEM DESING DONE FOR THE PONCE OFFICE BUILDING ON THE NEW MAIN PUBLIC ROAD.

WATER DISTRIBUTION PLAN

WATER

WATER



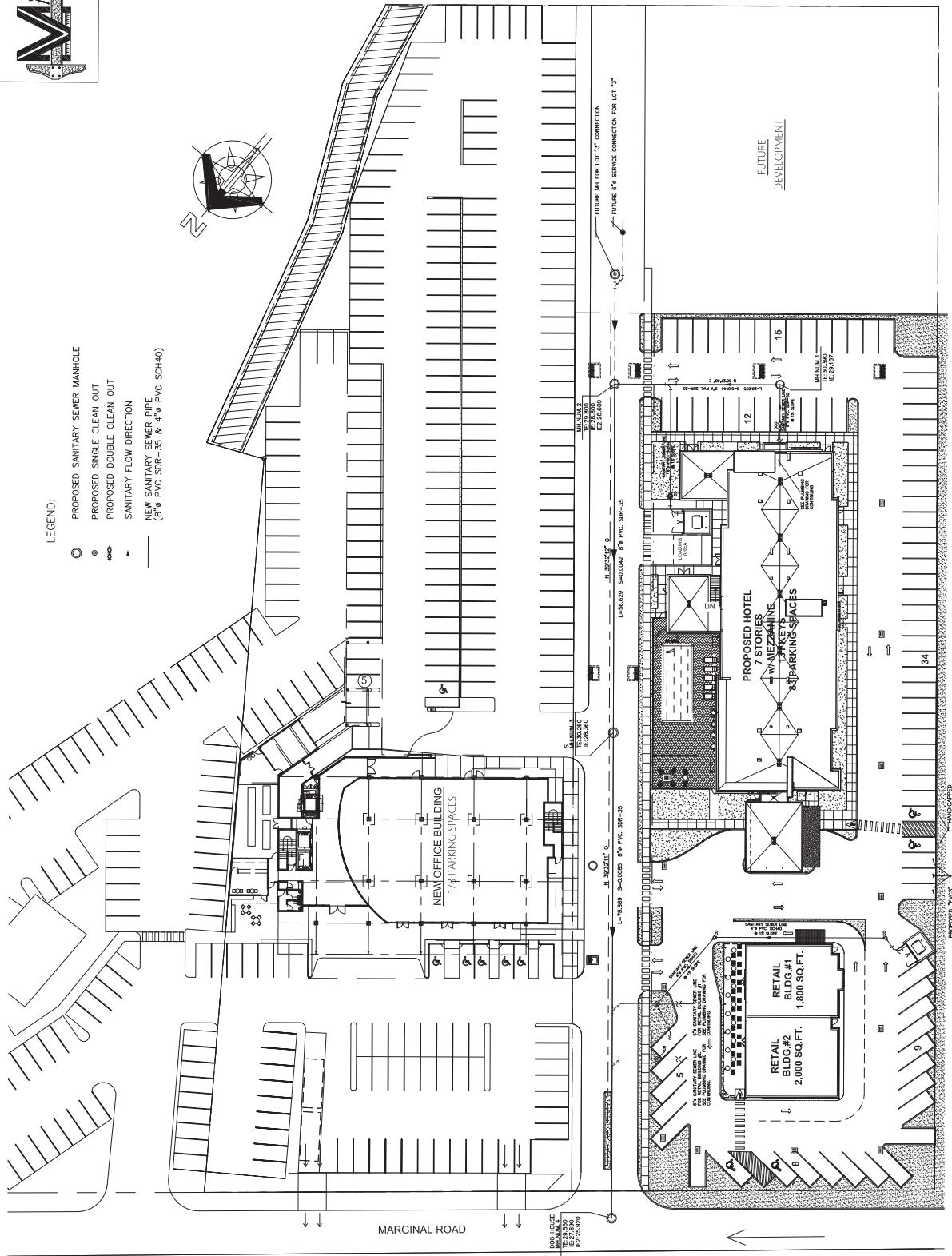


No. 1 DESCRIPTION DATE

# Hamperton Inn by Hilton Ponce, Puerto Rico

**LEGEND:**

- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED SINGLE CLEAN OUT
- PROPOSED DOUBLE CLEAN OUT
- SANITARY FLOW DIRECTION
- NEW SANITARY SEWER PIPE (8" PVC SDR-35 & 4" PVC SCH40)



SANITARY SEWER PLAN  
SCALE=1:300

GRAPHIC SCALE  
SC: 1:300  
0' 10' 20' 30' 50' 70' 100'



CONSULTING ENGINEERS  
S.A. C.I.S.  
542 Dúplex, 34368  
Dúplex, 34368  
www.dlnconsulting.com

PROTOTYPE VERSION  
VR2  
ISSUE DATE  
01/19/22  
1:300  
JOB NUMBER  
00000  
PROJECT STATUS  
PROCESSED  
SHEET NUMBER  
SANITARY SEWER PLAN  
LOCATION: HAMPTON INN  
SHEET NUMBER  
**C500**

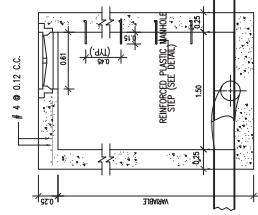
**NOTE:**  
- THE NEW SANITARY SYSTEM DESING FOR THE HAMPTON INN  
WAS FITTED AND CONNECTED TO THE PREVIOUS SANITARY  
SYSTEM DESING DONE FOR THE PREVIOUS OFFICE BUILDING ON  
THE NEW MAIN PUBLIC ROAD.

Hampton Inn by Hilton  
Ponce, Puerto Rico  
Derek Flemming

**VICTOR MARTINZ MERED P.E.**  
 CONSULTING ENGINEER  
  
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 TEL.: (787) 368-4389  
 E-MAIL: VICTORMARTINZ@HOTMAIL.COM

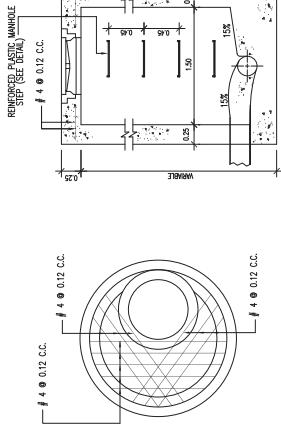
The figure consists of three parts: a side view cross-section labeled "SIDE VIEW" at the top right, a plan view labeled "SECTION A." at the bottom right, and a reinforcement detail labeled "REINFORCEMENT" at the bottom left. The side view shows a rectangular pier with a square base. The base has a height of 1.00 m, a width of 1.00 m, and a thickness of 0.250 m. The main body of the pier has a height of 1.00 m and a thickness of 0.250 m. The reinforcement detail shows a circular hole with a diameter of 1.00 m and a thickness of 0.250 m. The reinforcement itself is a single bar with a diameter of 1/2". The plan view shows a circle with a radius of 0.50 m.

FRONT VIEW      ANCHOR DETAIL  
**PLASTIC LADDER RUNGS DETAIL**      **NOT TO SCALE**

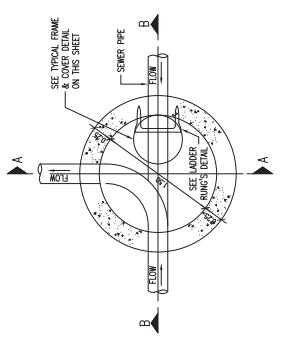


SECTION B-B

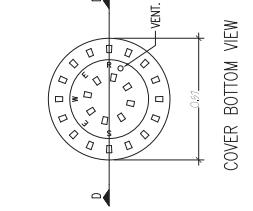
SECTION A-A  
TYPICAL MANHOLE DETAILS



STRUCTURAL MANHOLE



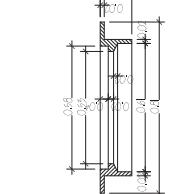
MANHOLE PLAN



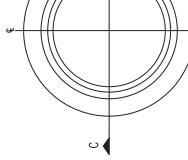
COVER BOTTOM VIEW



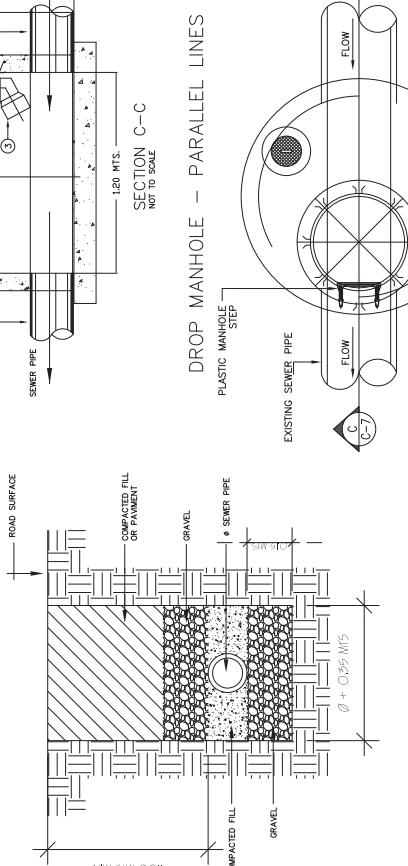
SECTION C-C      COVER TOP VIEW  
NOT TO SCALE  
TYPICAL FRAME & COVER DETAILS



11



TYPICAL DETAIL FOR CONNECTION TO MAIN SEWER LINE



## DROP MANHOLE – PARALLEL LINES



PLAN  
NOT TO CONC



**EDDING DETAIL**



PROTOTYPE VERSION

Q&A22

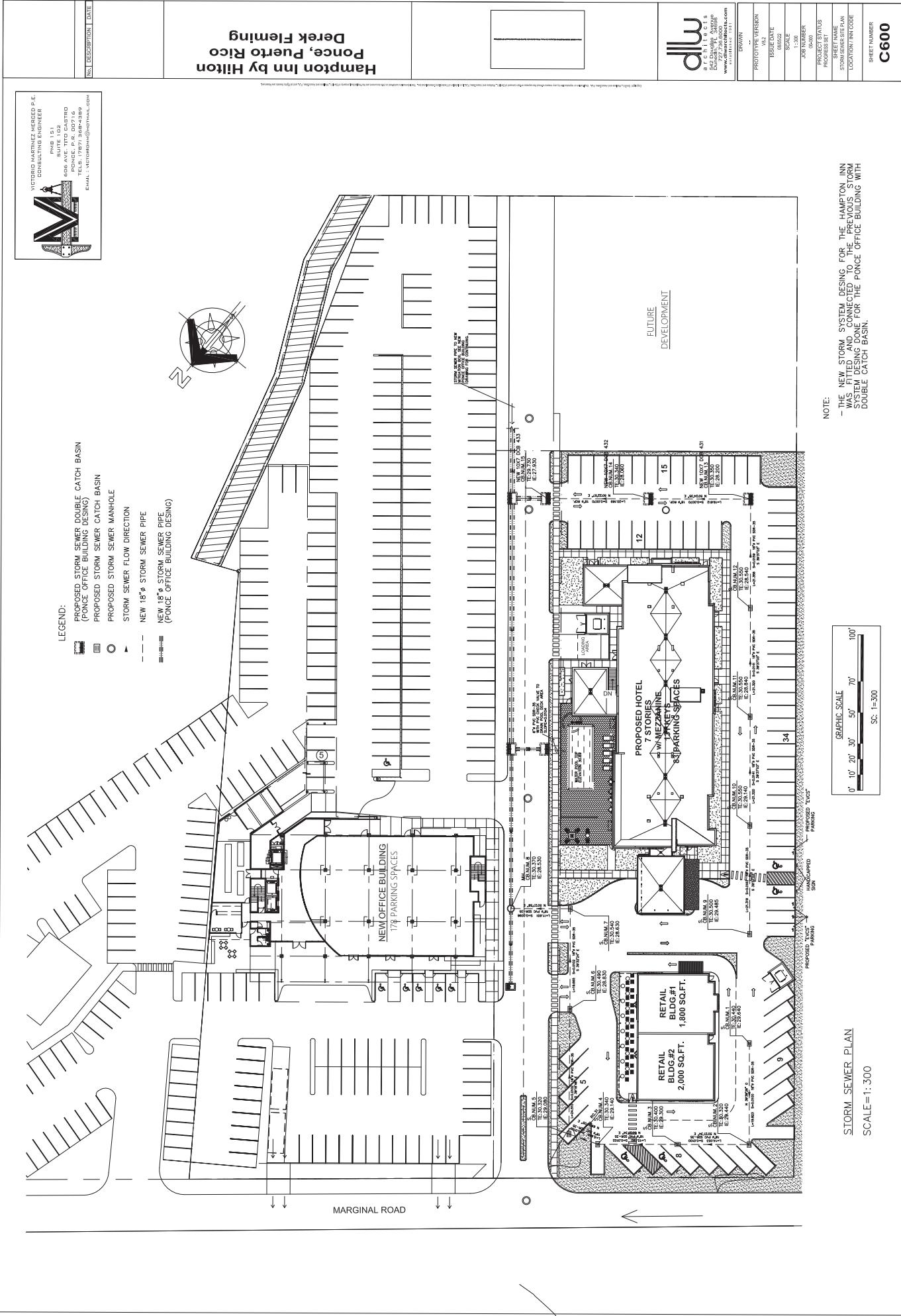
JOB NUMBER

PROJECT STATUS  
PROGRESS SET

#### SANITARY SEWER DETAILS

CONTINUOUS

C501





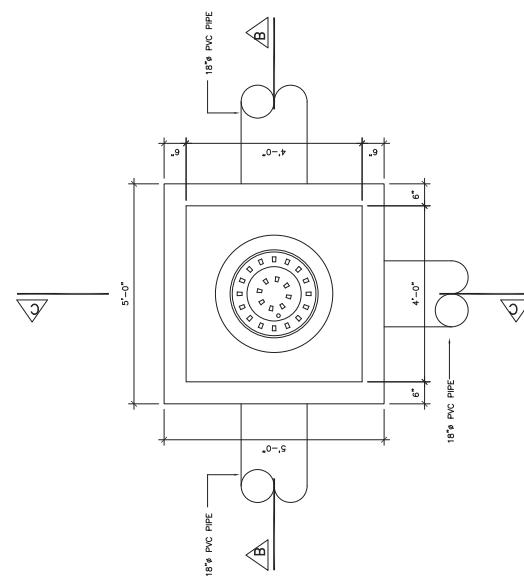
Hamppton Linn by Hilton  
Ponce, Puerto Rico  
Derek Fleming

TYPICAL CATCH BASIN DETAIL      SCALE:  $3/4'' = 1'-0''$

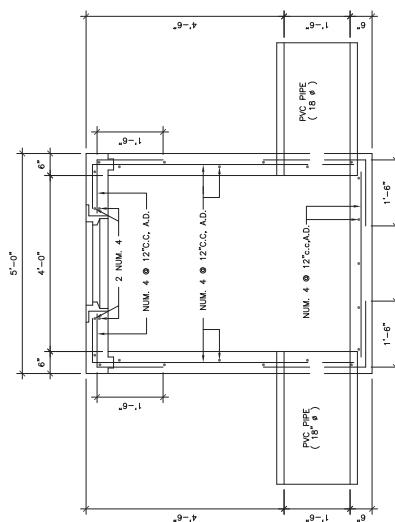
**STEEL CRATING DETAIL**

SECTION F-F

SCALE: 1 1/2"=1'-0"

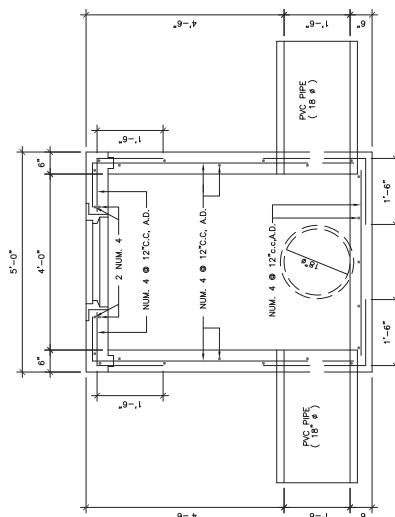


PLAN



SECTION B-B

SECTION C-C



S T O R M S E W E R   M A N H O L E   D E T A I L   #8  
SECTION B-B  
SCALE: 1/2"=1'-0"

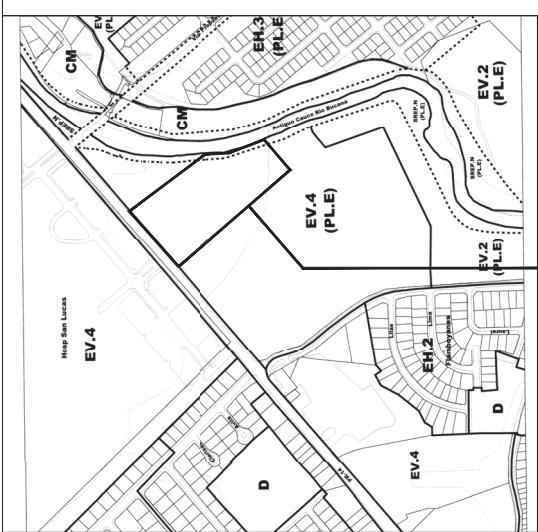
SHEET NUMBER  
**C601**

NOT DATE:

Index



Flood Map — Occitan Map — FEMA ADVISORY MAP



Zoning Map

# PONCE OFFICE BUILDING

BO. MACHUELO ABAJO, KM-3.7, PR-14, PONCE, Puerto Rico

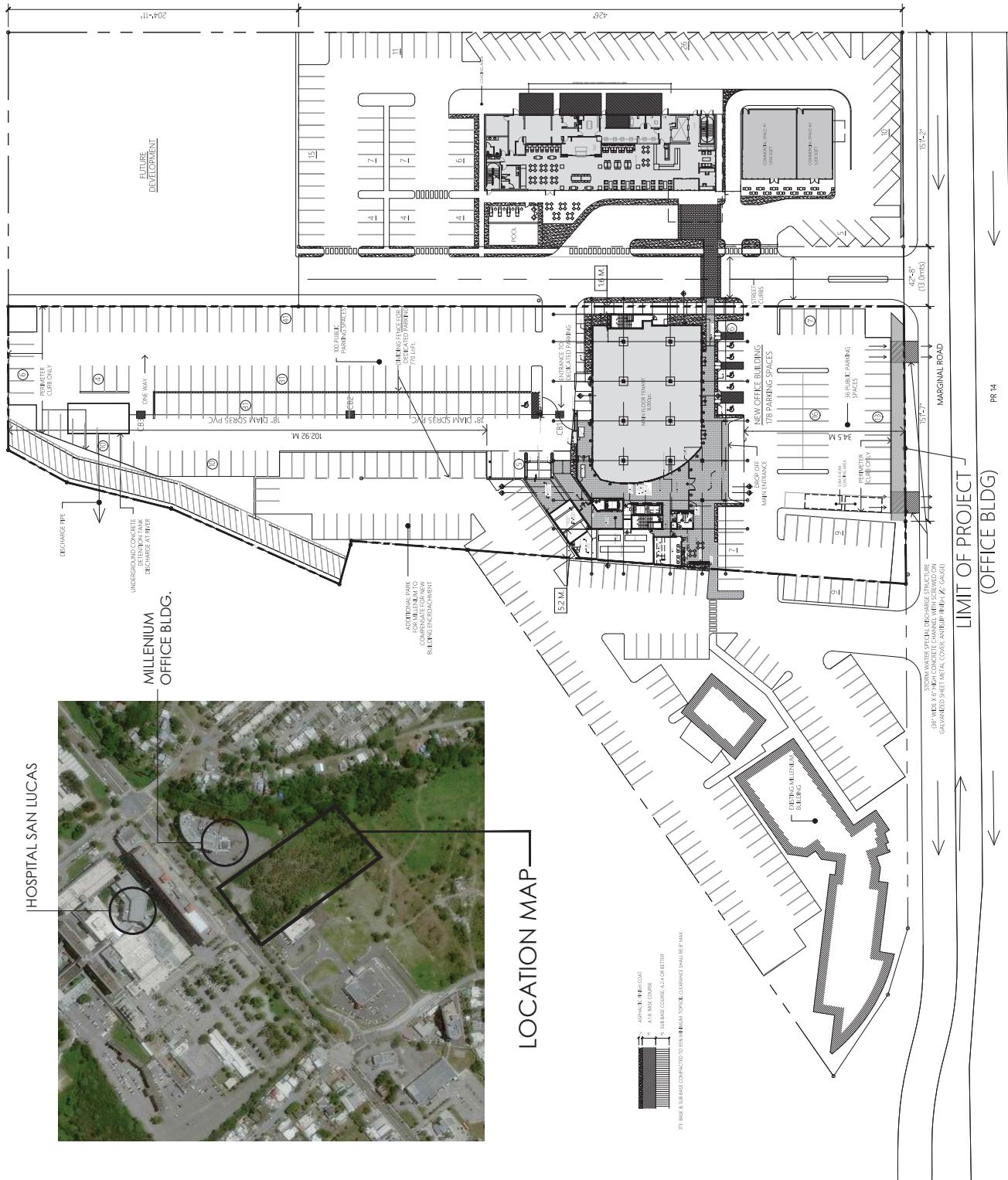
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JOB: ..... PERSONS: BY: .....

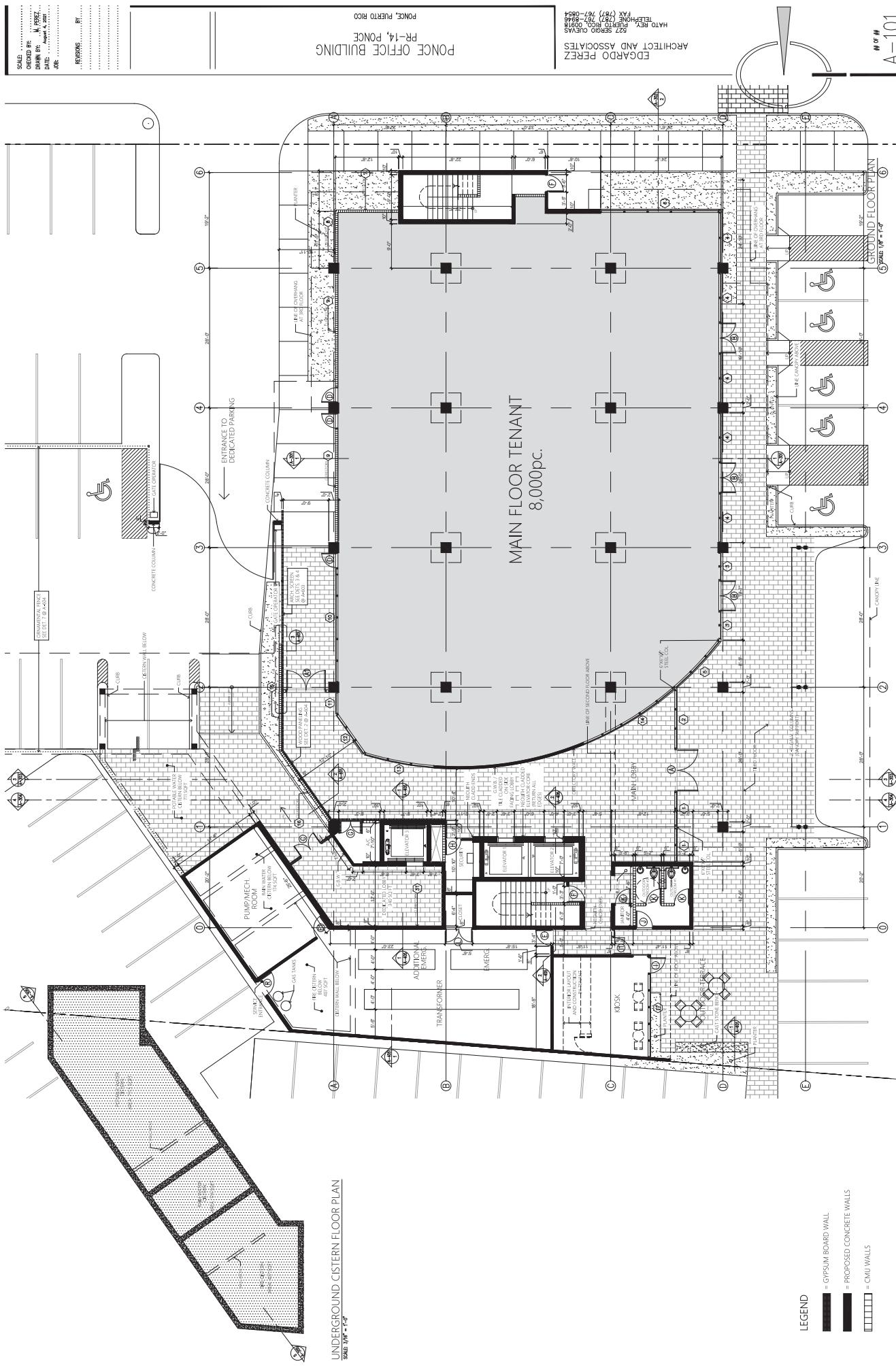
PR-14, PONCE OFFICE BUILDING  
PONCE, PUERTO RICO

EDGARDO PEREZ  
RCHITECT AND ASSOCIATES  
527 SERGIO OUEVAS  
HATO REY, PUERTO RICO 00918  
TELEFON 787-762-8946  
FAX 787-762-0684

A diagram showing a circle with a vertical line passing through its center. The top half of the circle has a thick black border, while the bottom half is thin. A horizontal line segment extends from the right side of the circle.

**SITE PLAN**  
SCALE 1" = 1'-0"  
**A-100**





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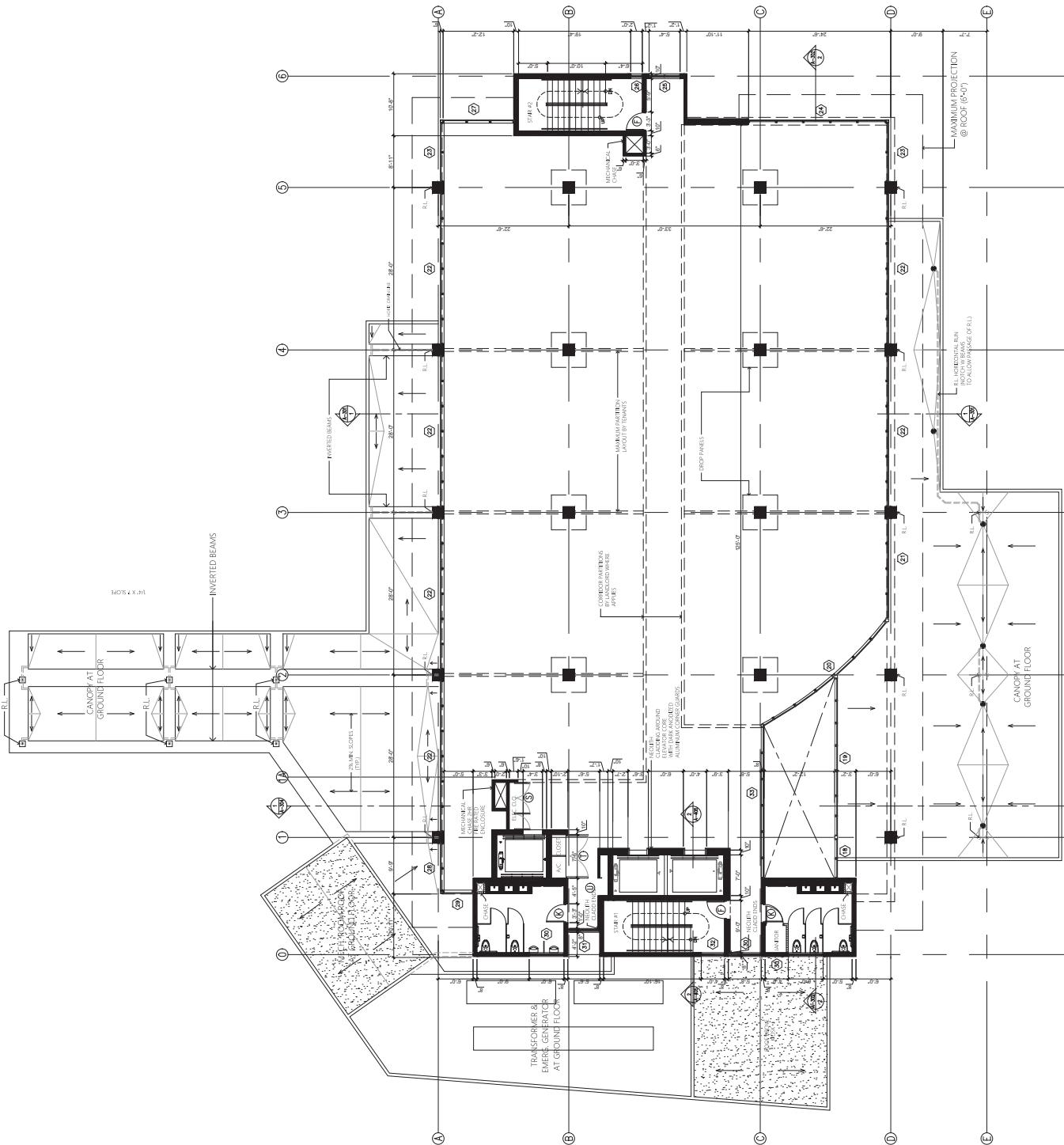
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A-101

SCALE .....  
CHECKED BY .....  
DRAWN BY .....  
DATE .....  
JRC .....  
REVISIONS .....  
BY .....  
APRIL 4, 2021

ARCHITECT AND ASSOCIATES  
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227 ESTATE DRIVE, NO. 00198  
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A-102  
# OF #



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CAD FILE

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POINC, PURERI RIOO

TYPICAL FLOOR PLAN

This architectural floor plan illustrates a cross-section of a building, likely a multi-story structure, showing various levels and their relationships. The plan includes:

- Vertical Levels:** The vertical axis is defined by levels 1 through 6, with specific floor heights indicated: Level 1 is 8'-0"; Level 2 is 17'-0"; Level 3 is 25'-0"; Level 4 is 33'-0"; Level 5 is 41'-0"; and Level 6 is 49'-0".
- Structural Components:** The plan shows a central staircase labeled "STAIR R2" and "STAIR R1" at the top level. Other structural elements include "MAX. PROJECTION @ ROOF (6'-0")", "PERIMETER BEAM AT FLOORS 3 & 4", and "LEDGE AT 3RD FLOOR ONLY".
- Annotations:** Several annotations provide specific instructions:
  - "ROOF LEVEL MAX. PROJECTION (6'-0")" is shown near the top edge.
  - "MAX. PARTITION BY TENANT" is indicated above the third floor.
  - "SUGGESTED DOOR LAYOUT" is shown on the third floor.
  - "DROP PANELS" are indicated on the fourth floor.
  - "CROSS PERTHES BY VARIOUS OWNERS APARTS" is noted on the fifth floor.
  - "4' GEM FISHING CONSTRUCTION AT 1ST FLOOR" is mentioned on the first floor.
  - "NORTH COATING AROUND COATING AROUND COATING AROUND" is repeated multiple times across the plan.
  - "NORTH COATING AROUND COATING AROUND COATING AROUND" is also present.
- Legend:** A legend in the top right corner defines symbols: a horizontal line with a circle at each end is labeled "= Gyp%", and a horizontal line with a square at each end is labeled "= PRO".

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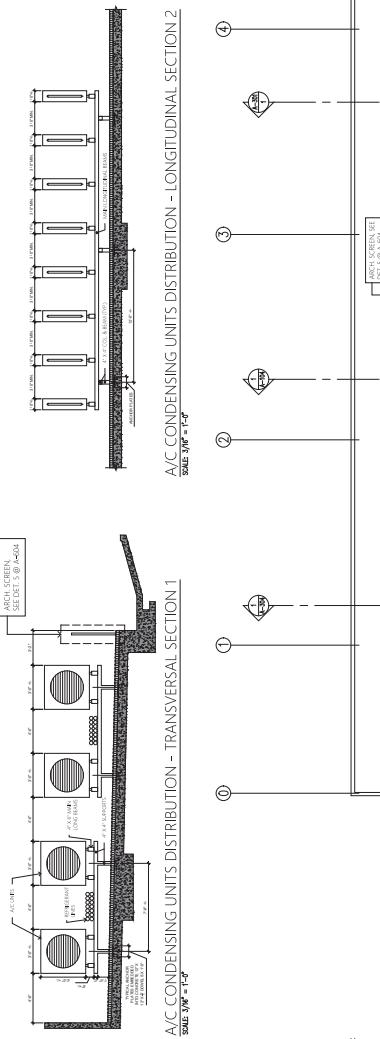
SCALE ..... DRAWN BY .....  
CHECKED BY ..... M. PEPEZ  
DATE ..... August 4, 2021  
JRC .....  
REVISIONS ..... BY .....  
.....  
.....  
.....

PONCE, PUERTO RICO

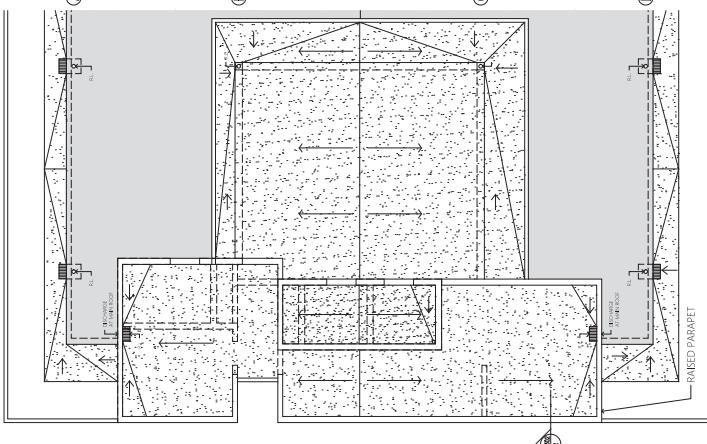
EDGAR DU PEREZ  
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# OF #  
A=104

## A/C CONDENSING UNITS DISTRIBUTION - LONGITUDINAL SECTION 2



A/C CONDENSING UNITS DISTRIBUTION - TRANSVERSAL SECTION 1

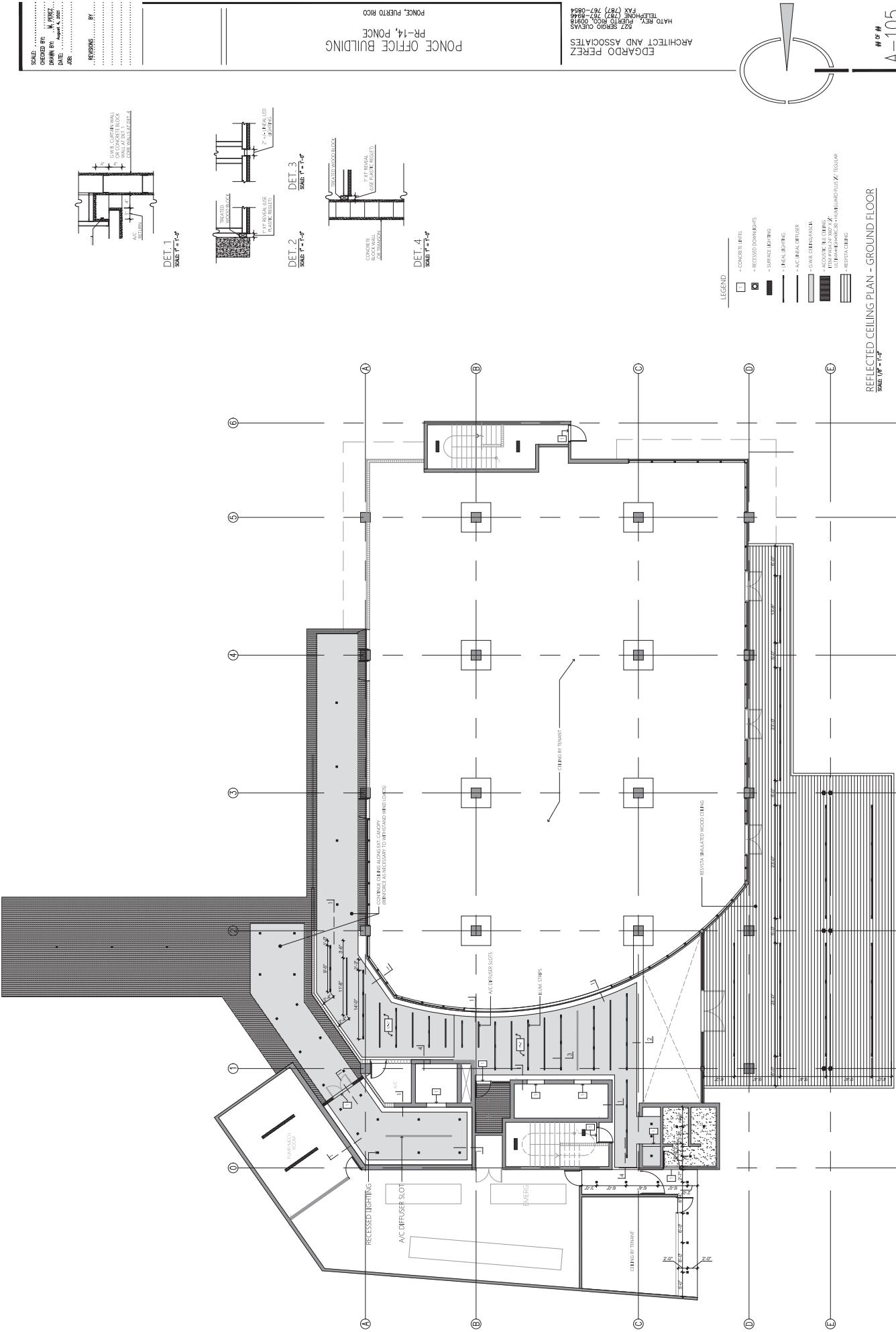


## PART II ROOF PLATE ELEVATOR SHAFT AND STAIR

**LEGEND**

- = GYPSUM BOARD WALL
- = PROPOSED CONCRETE WALLS
- = CMU WALLS
- = OTHER





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OD RE

SCALE: ..... CHECKED BY: .....  
DAWN BIR: M. 10557  
DATE: November 4, 2002  
REASON: ..... BY: .....  
JRC: .....  
.....

PONCE, PUERTO RICO

**EDGAR DU PEREZ**  
ARCHITECT AND ASSOCIATES  
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TELEPHONE (787) 767-0946  
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A circular icon with a vertical bar extending upwards from its center, resembling a stylized needle or a menu pointer.

四〇六

100

## TYPICAL MULTITENANT BFFECTED CEILING PLAN

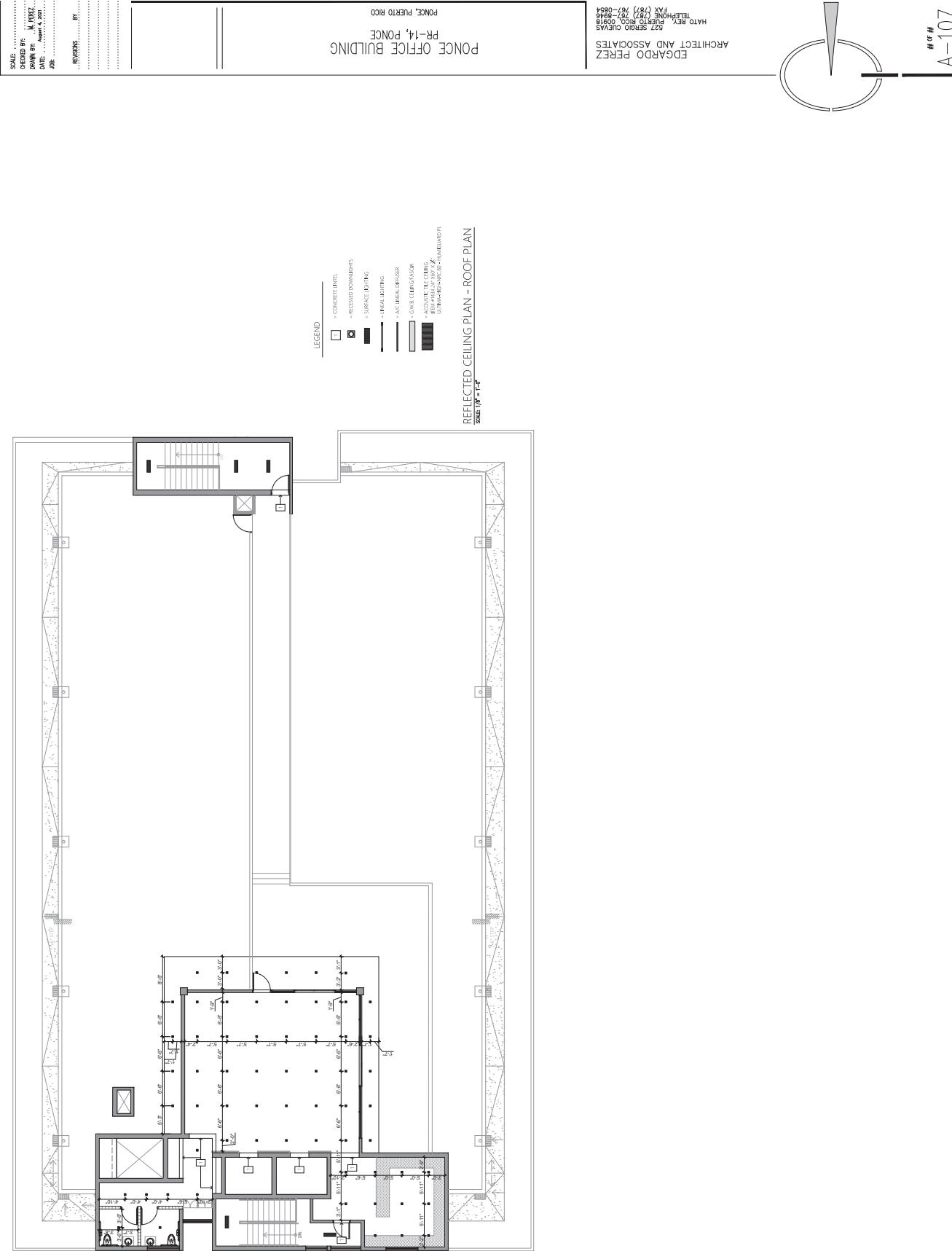
卷之三

DET. 6 - TYPICAL ELEVATOR LOBBY & CORRIDOR HUNG CEILING PERIMETER DETAIL

The legend includes the following entries:

- LEGEND**
- CONCRETE**: Represented by a square with a vertical line.
- RECESSED**: Represented by a square with a horizontal line.
- SURFACE**: Represented by a rectangle with a diagonal line.
- LINEAL**: Represented by a horizontal line.
- AC. LINE**: Represented by a thick horizontal line.
- G.W. CIR.**: Represented by a rectangle with a diagonal line.
- ACOUSTIC**: Represented by a thick rectangle.
- ITEM #143**: Represented by a thick rectangle.
- ULTRASOUND**: Represented by a thick rectangle.
- RESISTANT**: Represented by a thick rectangle.

卷之三



The architect and engineer herein represented shall not be liable for any damage resulting from errors or omissions in the plans or specifications due to carelessness or negligence.

ODT FILE

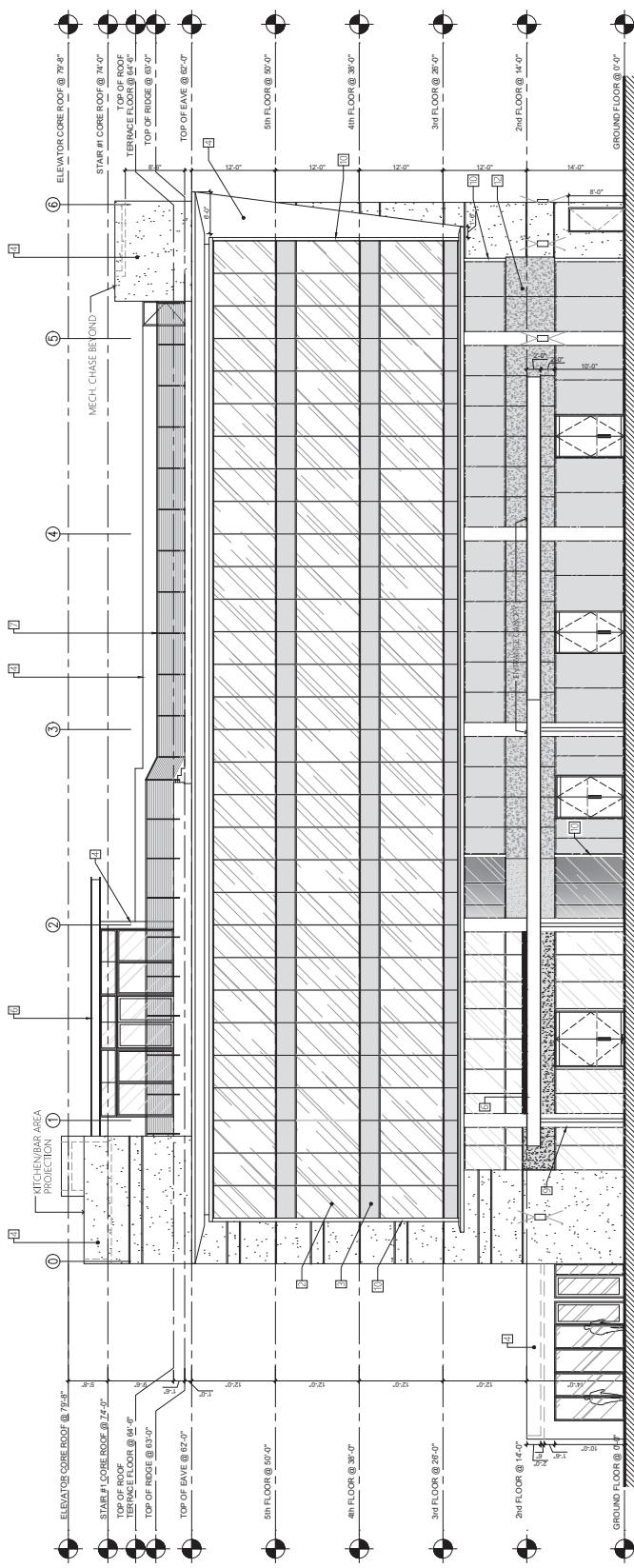
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SCALE ..... CHECKED BY ..... M. F. PINE  
DRAWN BY ..... DATE ..... August 4, 2000  
REASONS ..... BY .....  
ACR:

PONCE, PUERTO RICO

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FAX (787) 767-8945

A-201



卷之三

- |  |  |  |
|--|--|--|
| <input checked="" type="checkbox"/> MATERIAL LEGEND  | <input type="checkbox"/> SMOOTH CONCRETE PLASTER PRIMED & PAINTED<br><input type="checkbox"/> SMOOTH CONCRETE PLASTER PRIMED & PAINTED<br><input type="checkbox"/> EXPOSED SMOOTH CONCRETE<br><input type="checkbox"/> EXPOSED SMOOTH CONCRETE<br><input type="checkbox"/> STEEL COLUMNS PRIMED AND EPOXY PAINTED<br><input type="checkbox"/> STEEL COLUMNS PRIMED AND EPOXY PAINTED<br><input type="checkbox"/> STEEL BEAMS PRIMED AND EPOXY PAINTED<br><input type="checkbox"/> STEEL BEAMS PRIMED AND EPOXY PAINTED | <input type="checkbox"/> SMOOTH CONCRETE PREFAB & PANEL, PRIMED & PAINTED<br><input type="checkbox"/> SMOOTH CONCRETE PREFAB & PANEL, PRIMED & PAINTED<br><input type="checkbox"/> SMOOTH CONCRETE PREFAB & PANEL, PRIMED & PAINTED<br><input type="checkbox"/> SMOOTH CONCRETE PREFAB & PANEL, PRIMED & PAINTED<br><input type="checkbox"/> SMOOTH CONCRETE PREFAB & PANEL, PRIMED & PAINTED<br><input type="checkbox"/> SMOOTH CONCRETE PREFAB & PANEL, PRIMED & PAINTED<br><input type="checkbox"/> SMOOTH CONCRETE PREFAB & PANEL, PRIMED & PAINTED<br><input type="checkbox"/> SMOOTH CONCRETE PREFAB & PANEL, PRIMED & PAINTED |
| <input type="checkbox"/> GALV STEEL COLUMN GLAZED IN ALUMINUM TO MATCH WINDOW FRAME FINISH   |  | <input type="checkbox"/> GALV STEEL COLUMN GLAZED IN ALUMINUM TO MATCH WINDOW FRAME FINISH   |
| <input type="checkbox"/> HEAVY DUTY ANCHORS TO BE SELECTED AND MORTOPOSED CONCRETE ALTERNATE |  | <input type="checkbox"/> HEAVY DUTY ANCHORS TO BE SELECTED AND MORTOPOSED CONCRETE ALTERNATE   |
| <input type="checkbox"/> DEPOSED SMOTH CONCRETE W/ VERTICAL AND HORIZONTAL JOINTS            |  | <input type="checkbox"/> DEPOSED SMOTH CONCRETE W/ VERTICAL AND HORIZONTAL JOINTS  |
| <input type="checkbox"/> ARCHITECTURAL GRILLE  |  | <input type="checkbox"/> ARCHITECTURAL GRILLE  |
| <input type="checkbox"/> METAL RAILING SEE DET 6 @ A-048                                     |  | <input type="checkbox"/> METAL RAILING SEE DET 6 @ A-048   |
| <input type="checkbox"/> METAL GRILLE SEE DET 5 @ A-004                                      |  | <input type="checkbox"/> METAL GRILLE SEE DET 5 @ A-004  |

NORTH ELEVATION

THE DESIGNERS HEREBY EXPRESSLY RESERVE THEIR COPYRIGHT AND PROPERTY RIGHTS IN THESE PLANS. DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING WRITTEN PERMISSION AND CONSENT FROM EDGARDO PEREZ ARCHITECT AND ASSOCIATES, NOR ARE THEY TO BE ASSIGNED TO ANY PARTY WITHOUT FIRST OBTAINING WRITTEN PERMISSION AND CONSENT.

SCALE .....  
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DRAWN BY .....  
DATE .....  
JAN 2018

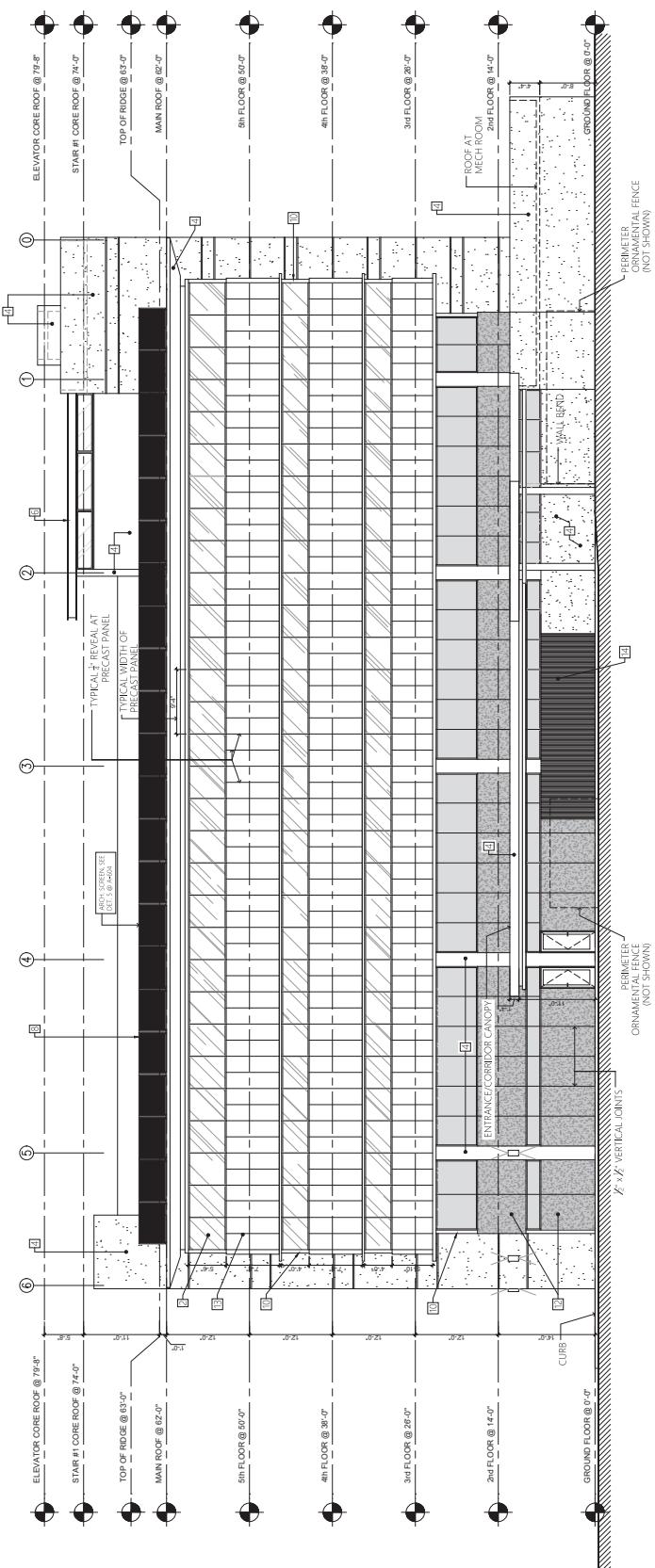
REVISIONS

BY

POINC OFFICE BUILDING  
RR-14, PONCE

ARCHITECT AND ASSOCIATES  
EDGARDO PEREZ

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E-MAIL (787) 767-0684



MATERIAL LEGEND:

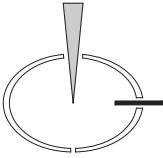
- [ ] EXPOSED SMOOTH CONCRETE
- [ ] GLASS ENCLOSURE "CURTAIN WALL TYPE ASSEMBLY"
- [ ] OPAQUE GLASS "CURTAIN WALL TYPE CONSTRUCTION"
- [ ] SMOOTH CEMENT PLASTER, PRIMED & PAINTED
- [ ] ALUM. COLUMNS/BEAMS
- [ ] STEEL BEAMS, PRIMED AND EPOXY PAINTED
- [ ] METAL RAILING SEE DET 6 @ A-604
- [ ] METAL ARCH. GRILLE SEE DET 5 @ A-604
- [ ] STEEL COLUMNS PRIMED AND EPOXY PAINTED
- [ ] SMOOTH CONCRETE PREFAB PANEL, PRIMED & PAINTED
- [ ] NEOLITH CLADDING GLAZING TO BE SELECTED SMOOTH/EXPOSED CONCRETE ALTERNATE
- [ ] EXPOSED SMOOTH CONCRETE W. VERTICAL AND/OR HORIZONTAL JOINTS
- [ ] ARCHITECTURAL GRILLE

SOUTH ELEVATION  
SCALE 1/8" = 2'-0"

1 GALV. STEEL COLUMN CLADDED IN ALUMINUM TO MATCH WINDOW FRAME FINISH  
2 NEOLITH CLADDING GLAZING TO BE SELECTED SMOOTH/EXPOSED CONCRETE ALTERNATE  
3 EXPOSED SMOOTH CONCRETE W. VERTICAL AND/OR HORIZONTAL JOINTS

4 METAL RAILING SEE DET 6 @ A-604  
5 METAL ARCH. GRILLE SEE DET 5 @ A-604  
6 STEEL COLUMNS PRIMED AND EPOXY PAINTED

SOUTH ELEVATION  
SCALE 1/8" = 2'-0"

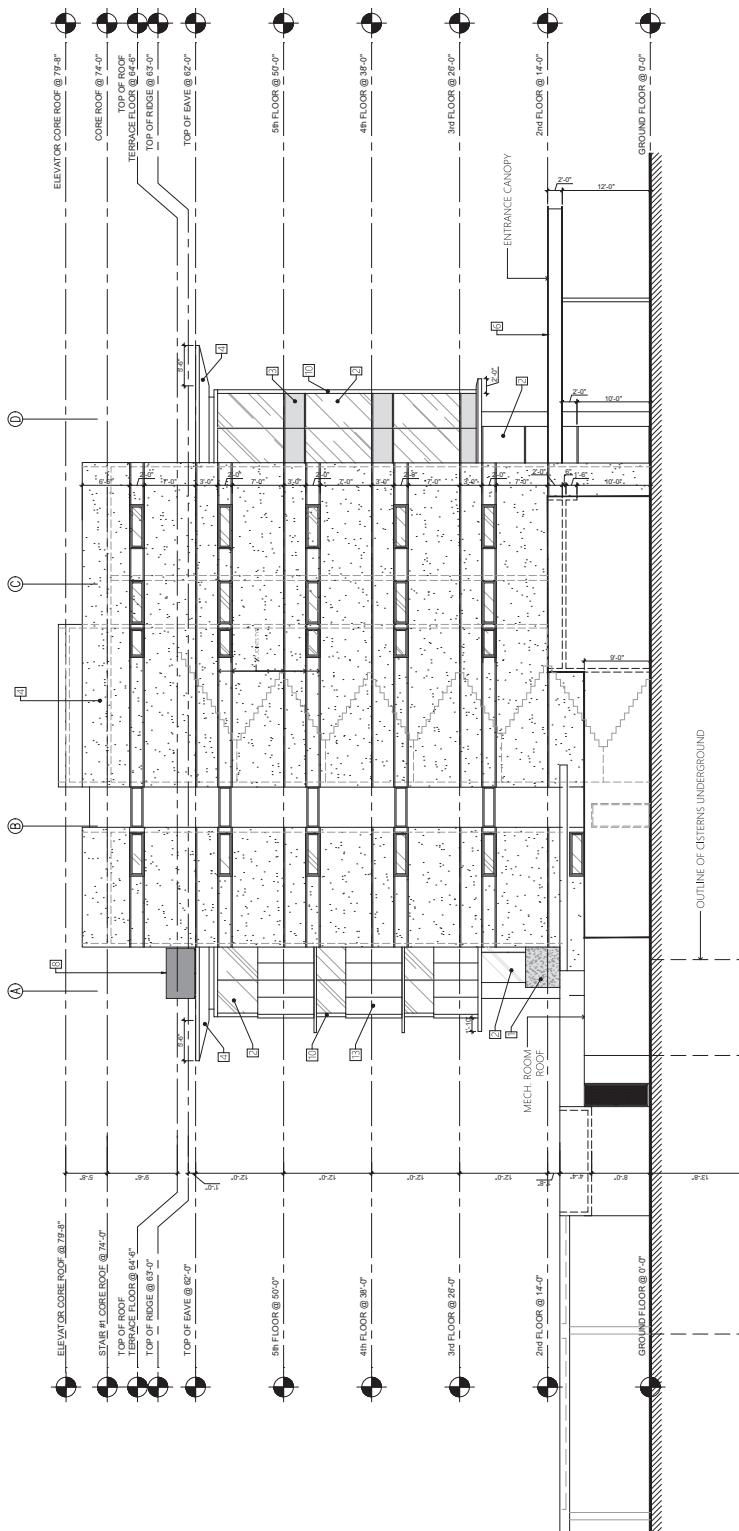


A-202

SCALE ..... CHECKED BY ..... M. F. PINE  
DRAINED BY ..... DATE ..... August 4, 2000  
REASONS ..... BY .....  
ACR:

ARCHITECT AND ASSOCIATES  
EDGARDO PEREZ  
227 SE 2ND AVENUE  
HAZEL PARK, NC 27084-0091  
TEL: (919) 549-0554  
FAX: (919) 549-0554  
E-MAIL: PEREZ@PCB.COM  
PR-14, PONCE

A-203



**MATERIAL LEGEND:**

<input type="checkbox"/>	EXPOSED SMOOTH CONCRETE
<input type="checkbox"/>	GLASS ENCLOSURE "CURTAIN WALL"

- METAL RAILING SEE DET. @ A-604
- METAL ARCH GRILLE SEE DET. 5 @ A-604
- SMOOTH CEMENT PLASTER; PRIMED & PAINTED
- ALUM. COLUMNS/BEAMS

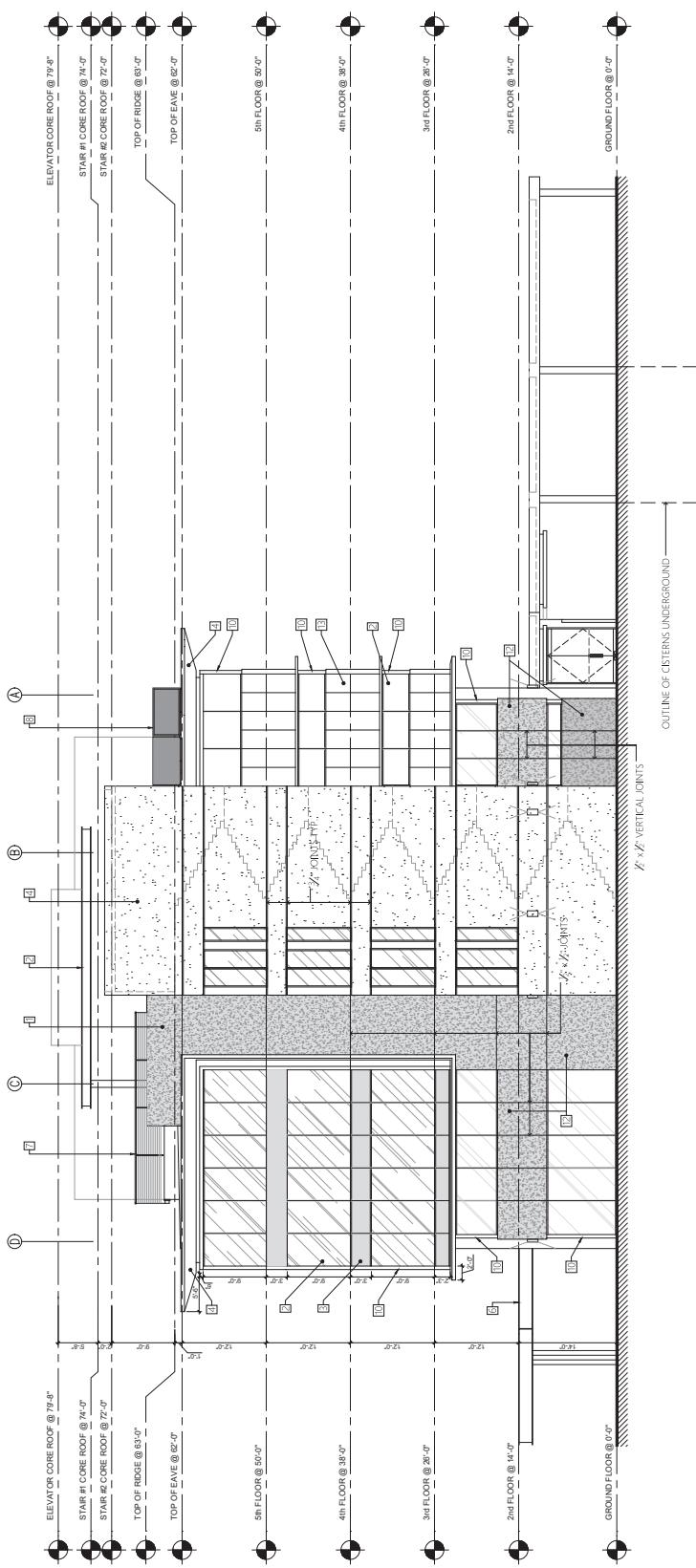
**GALV. STEEL COLUMN CLADDE IN ALUMINUM TO MATCH WINDOW FRAME FINISH** **NEOLITH GLAZING (CLADDING TO BE SELECTED BY SMOTH) EXPOSED CONCRETE ALTERNATE** **SMOOTH CONCRETE PIRE/PAB PANEL; PRIMED & PAINTED** **ARCHITECTURAL GRILLE**

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DRAWN BY .....  
DATE .....  
JAN 18

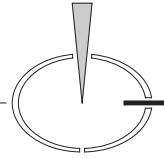
REVISIONS ..... BY .....  
PONCE OFFICE BUILDING  
PR-14, PONCE

ARCHITECT AND ASSOCIATES  
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527 SESTI CLOSER, 9016  
HATO REY, P.R. 00701  
P.O.B. 1400  
E-mail: [edgaro@intercon.com](mailto:edgaro@intercon.com)



WEST ELEVATION  
SCALE 1/8" = 1'-0"

OD FILE

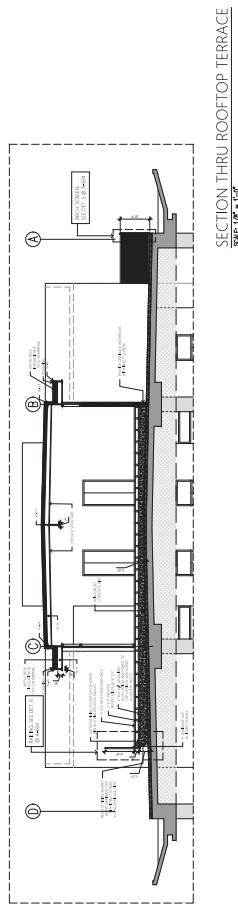
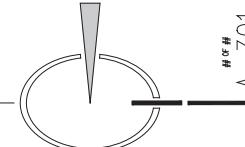


H-204

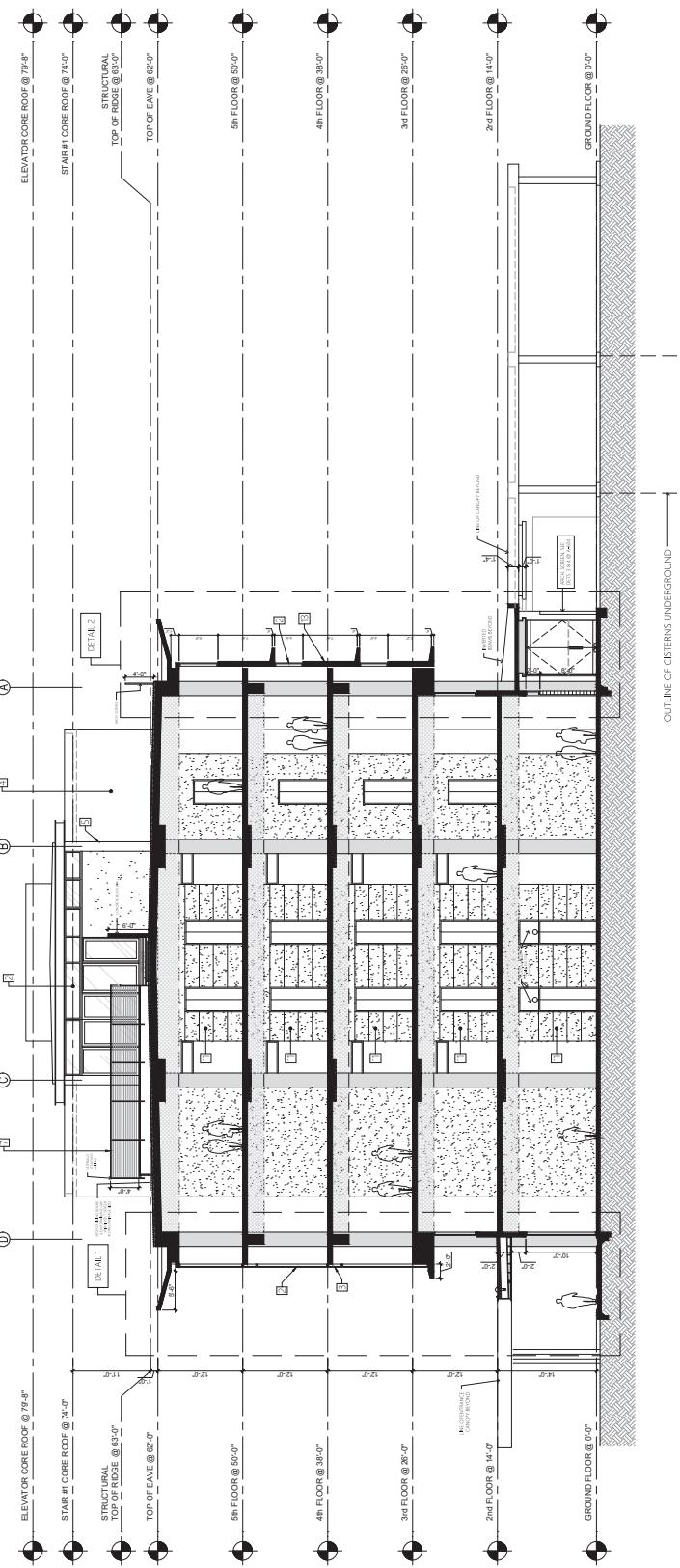
SCALE .....  
CHECKED BY .....  
DRAWN BY .....  
DATE .....  
4/08

REVISIONS .....  
PR-14, PONCE  
POunce OFFICE BUILDING

POnce, PEREZ  
RR-14, PONCE  
ARCHITECT AND ASSOCIATES  
EDGARDO PEREZ  
TELEF. 02-267-0684  
MAYO 02-267-0684  
527 SEASIDE CLIFFS, CAGUAS  
P.R. 00787-0684



SECTION THRU ROOFTOP TERRACE  
SCALE: 1'-0" = 1'-0"



MATERIAL LEGEND:  
 EXPOSED SMOOTH CONCRETE  
 EXPOSED SMOOTH CONCRETE, CURTAIN WALL TYPE ASSEMBLY  
 GLASS ENCLOSURE, CURTAIN WALL CONSTRUCTION  
 AQUEOUS GLASS, CURTAIN WALL TYPE CONSTRUCTION  
 METAL DRAINING SHEET METAL @ 4x604  
 METAL GRILLE SHEET 8x10x1/8  
 ALUM. COLUMNS BEAMS  
 STEEL BEAMS, PRIMED AND EPOXY PAINTED  
 SMOOTH CONCRETE PRECAST PANEL  
 ARCHITECTURAL GRILLE

SECTION 1  
SECTION 1  
SECTION 1

OD FILE

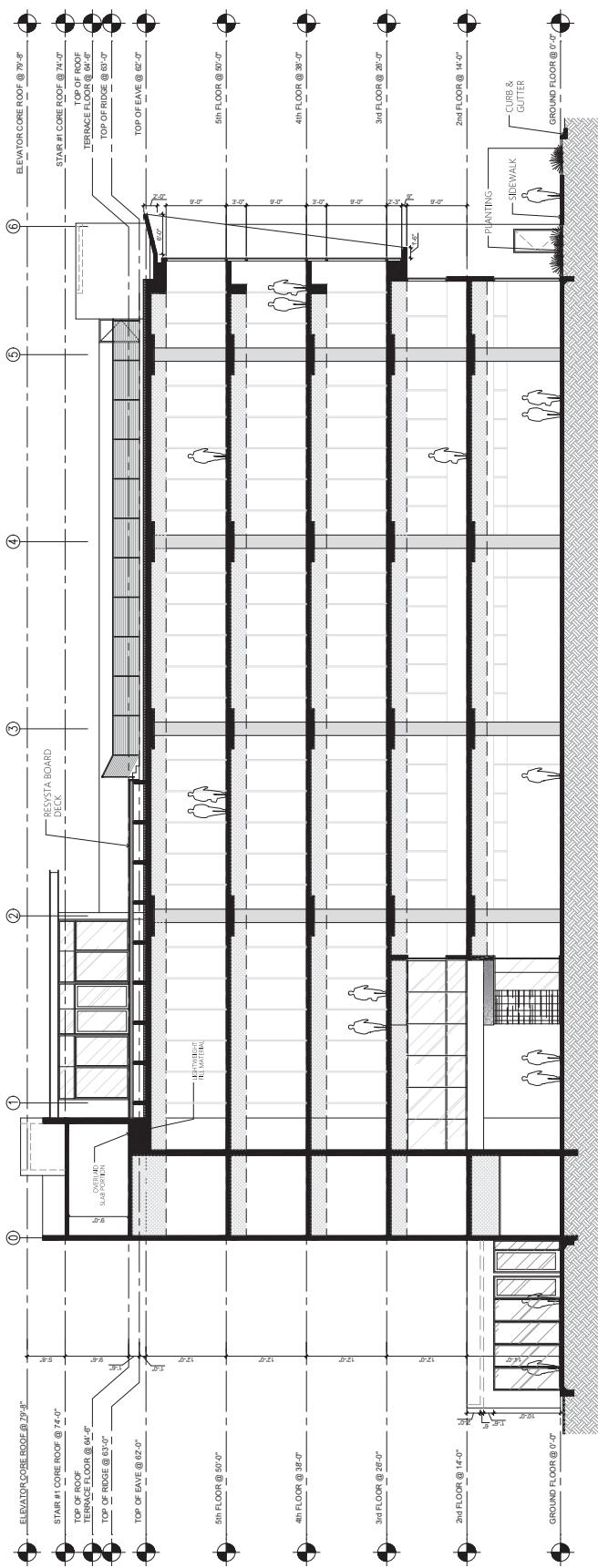
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CHECKED BY: J. PEREZ  
DRAWN BY: J. PEREZ  
DATE: 4/26/2016  
REVISIONS: BY: \_\_\_\_\_

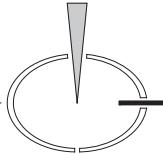
POUCE OFFICE BUILDING  
PR-14, PONCE

ARCHITECT AND ASSOCIATES  
EDGARDO PEREZ

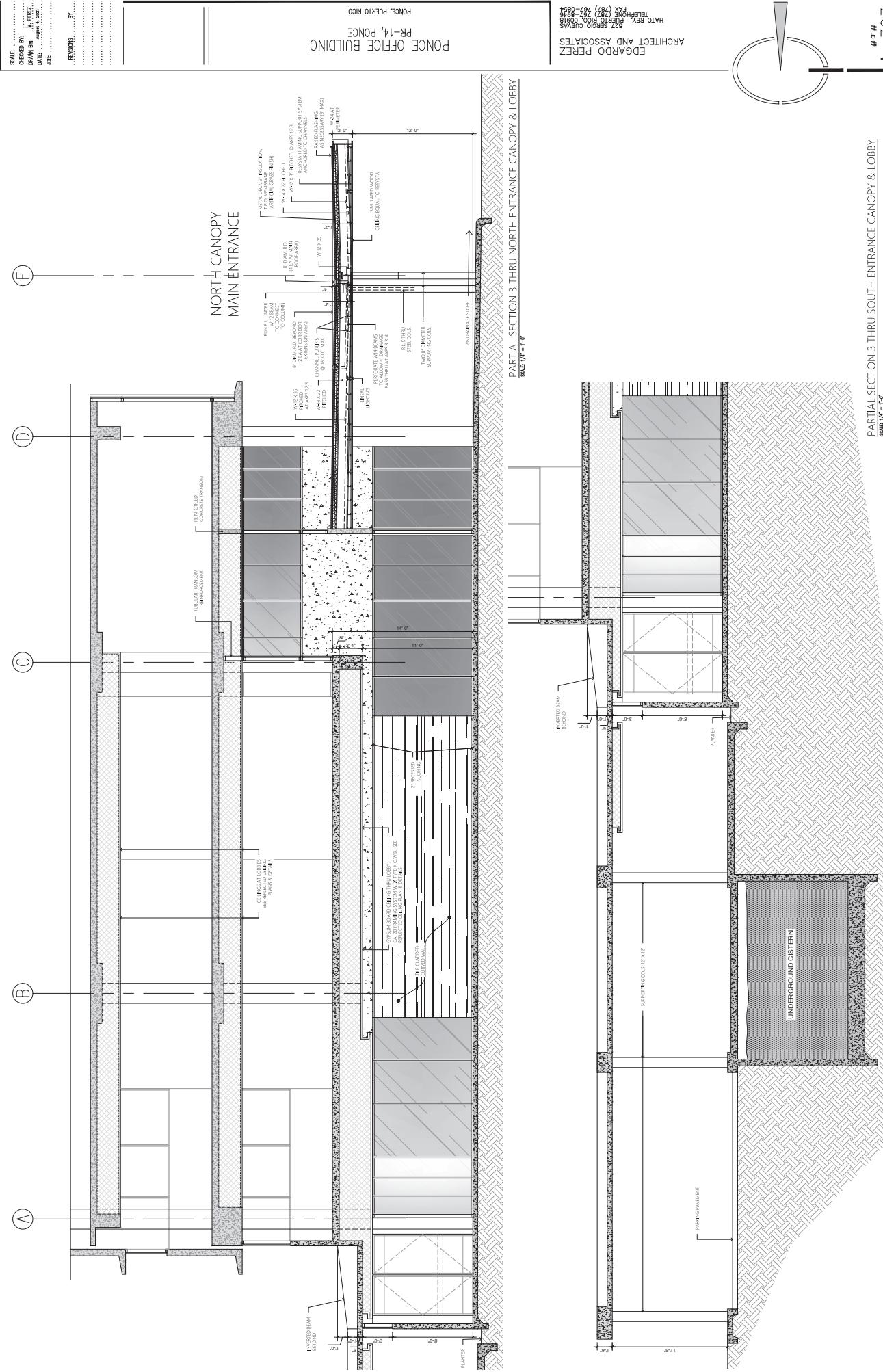
PHONE: (787) 767-0684  
TELEFAX: (787) 767-0916  
HATO REY, P.R. 00756, U.S.A.  
527 SEASIDE DRIVE, C.P.O.



SECTION 2  
SCALE 1/8" = 1'-0"



A-302



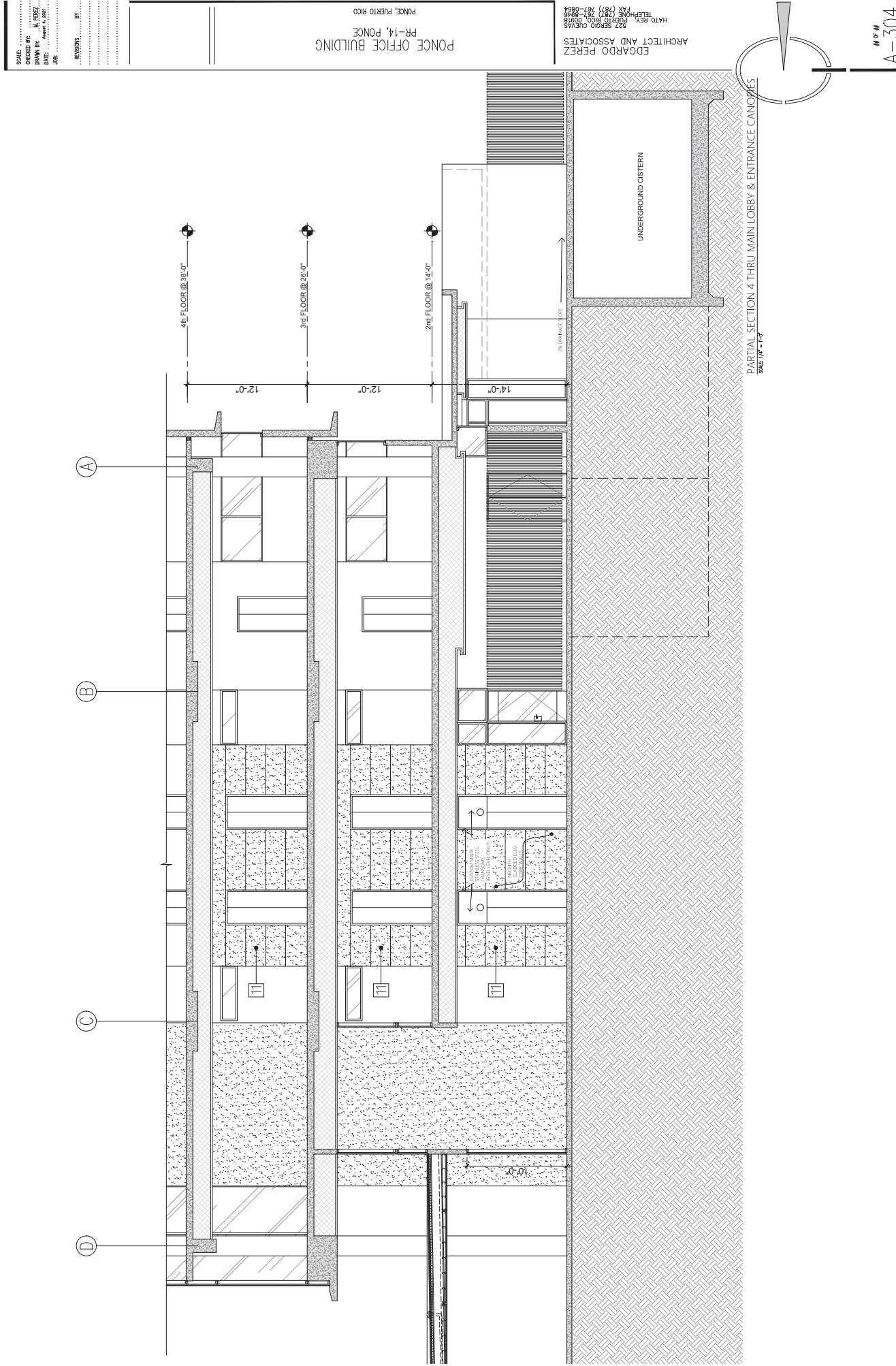
PARTIAL SECTION 3 THRU SOUTH ENTRANCE CANOPY & LOBBY

OD RE

Scale: 1/4" = 1'-0"

PL

A-303



CD FILE

THE INFORMATION CONTAINED HEREIN IS CONFIDENTIAL, RESTRICTED TO THE PROPRIETARY CHANNEL OF PONCE OFFICE BUILDING, AND IS NOT TO BE REPRODUCED, COPIED OR DISCLOSED, EXCEPT AS AUTHORIZED IN WRITING BY PONCE OFFICE BUILDING. PONCE OFFICE BUILDING IS NOT RESPONSIBLE FOR ANY DAMAGES, LOSSES OR EXPENSES INCURRED AS A RESULT OF UNAUTHORIZED USE.

H-#

A-304

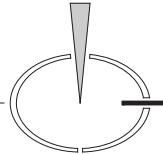
SCALE .....  
CHECKED BY .....  
DRAWN BY .....  
DATE .....  
JAS

REVISIONS .....  
BY .....

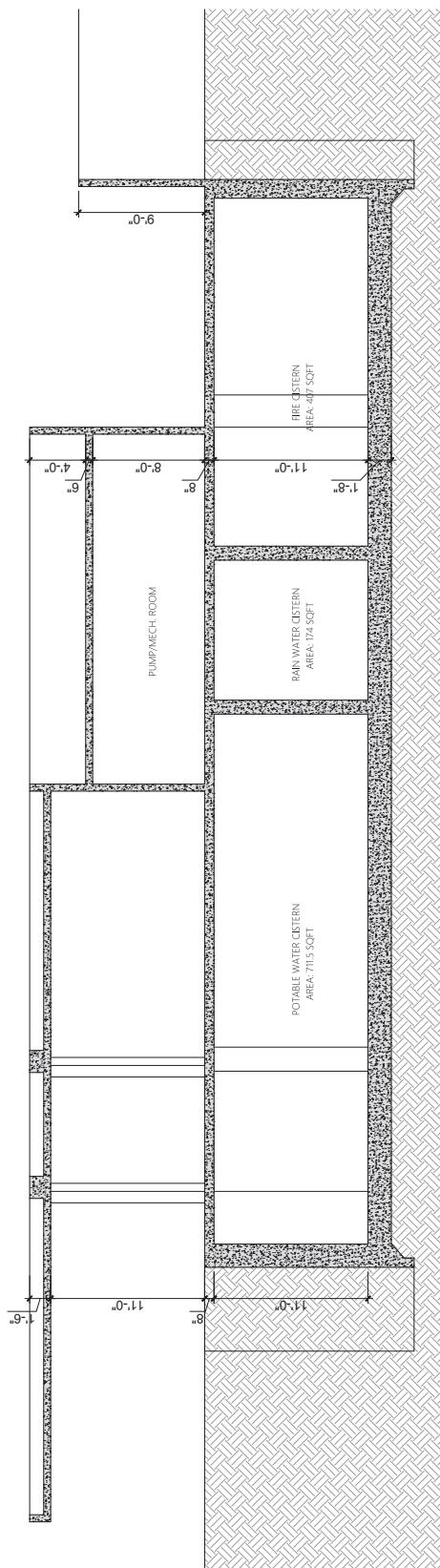
PONCE OFFICE BUILDING  
RR-14, PONCE

POINC, PERETO RIO

ARCHITECT AND ASSOCIATES  
EDGARDO PEREZ  
TELEPHONE (877) 767-0641  
HATO REY, P.R.  
527 BESIDE CLEA'S  
MAIL BOX (877) 767-0641



# 305

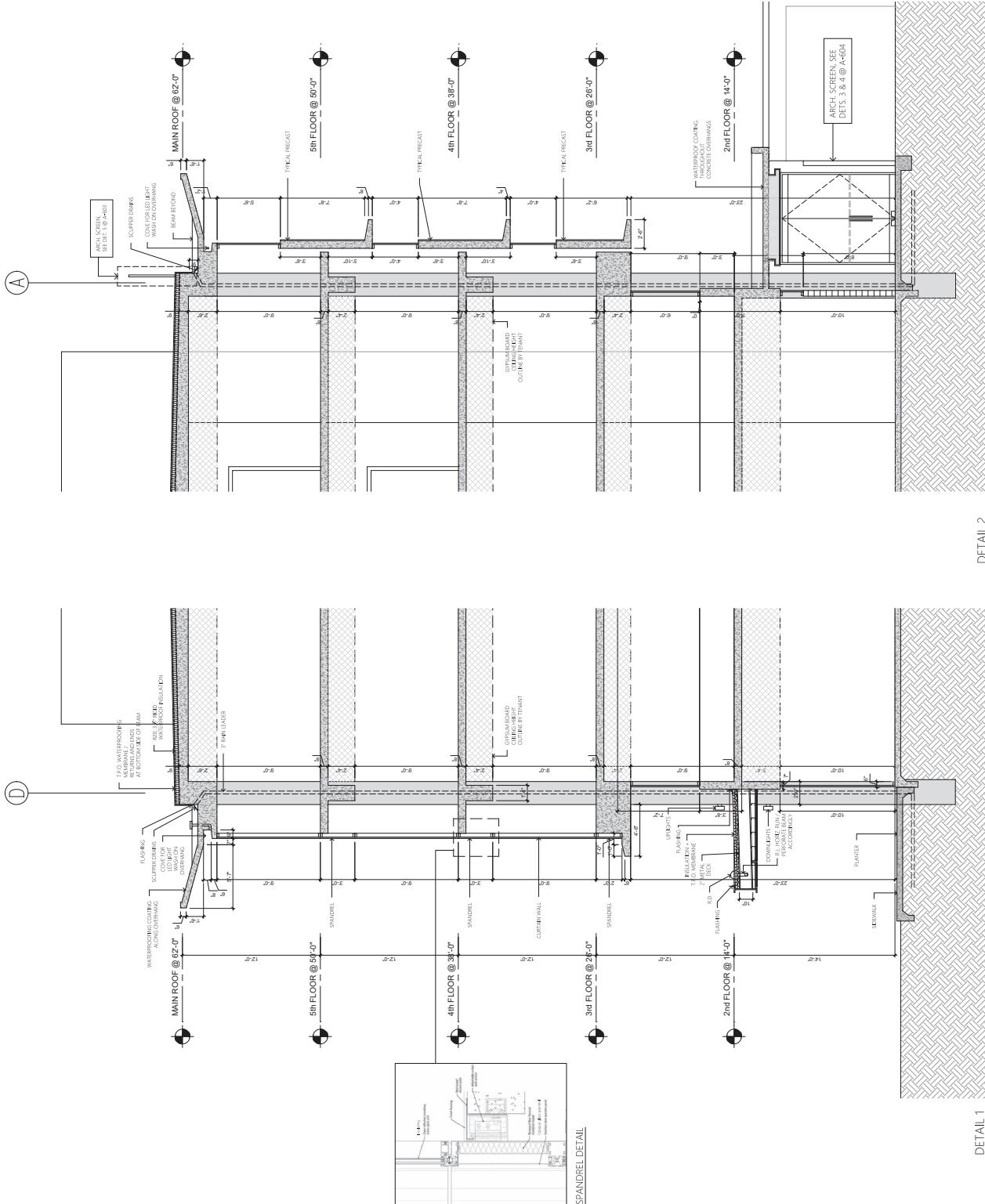


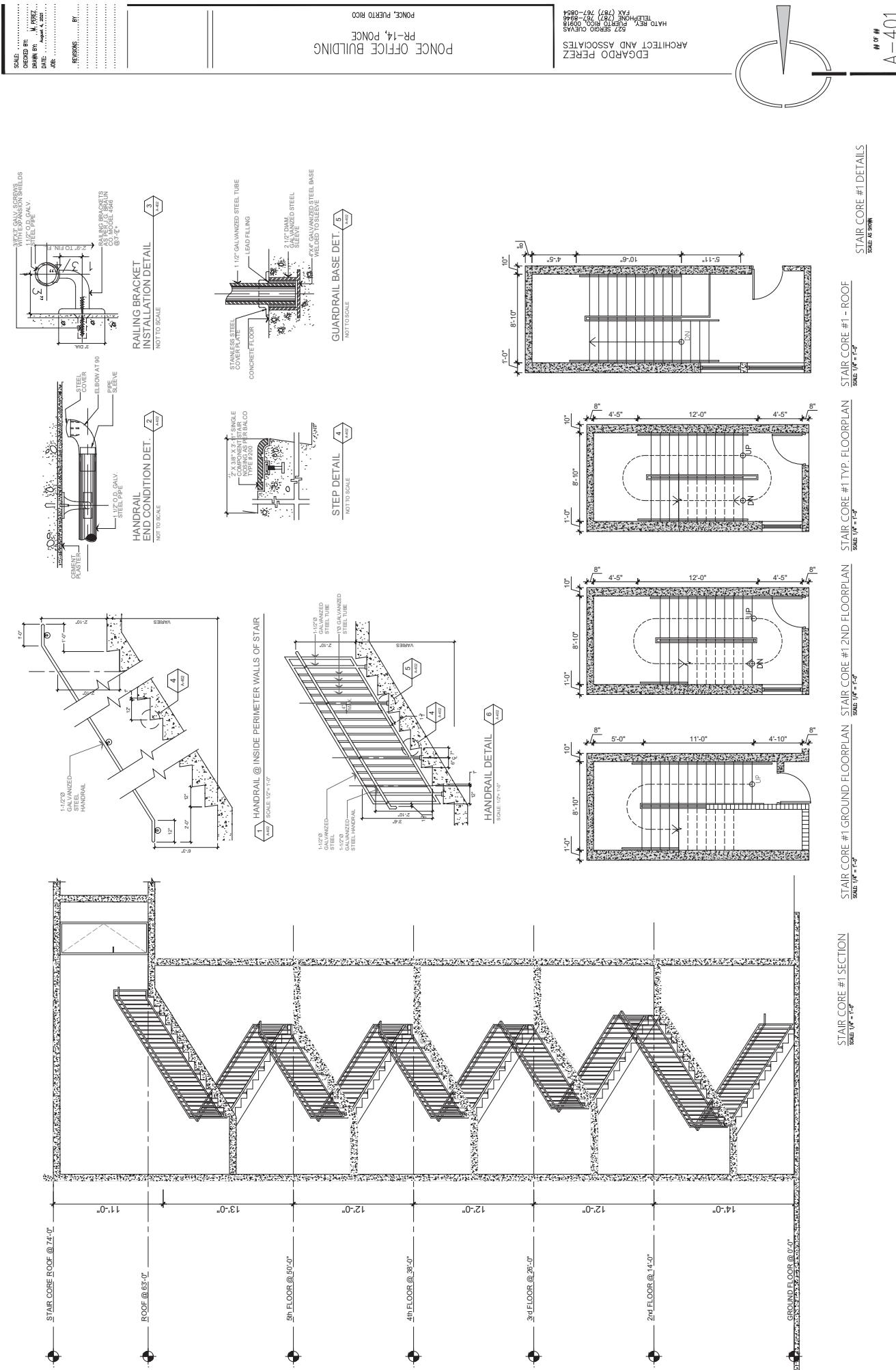
SCALE:	1/4 INCH = 1'-0"
CHECKED BY:	<u>M. PEREZ</u>
DATE:	August 4, 2002
JOB:	
REVISIONS:	
PONCE OFFICE BUILDING	
PR-14, PONCE	
PONCE CITY AND ASSOCIATES	
EDGARDO PEREZ	
HATO REY, URGENT 1000, 0938	
TELEPHONE (787) 767-8984	
FAX (787) 767-8984	

# OF #  
A-306

DETAIL 2

DETAIL 1





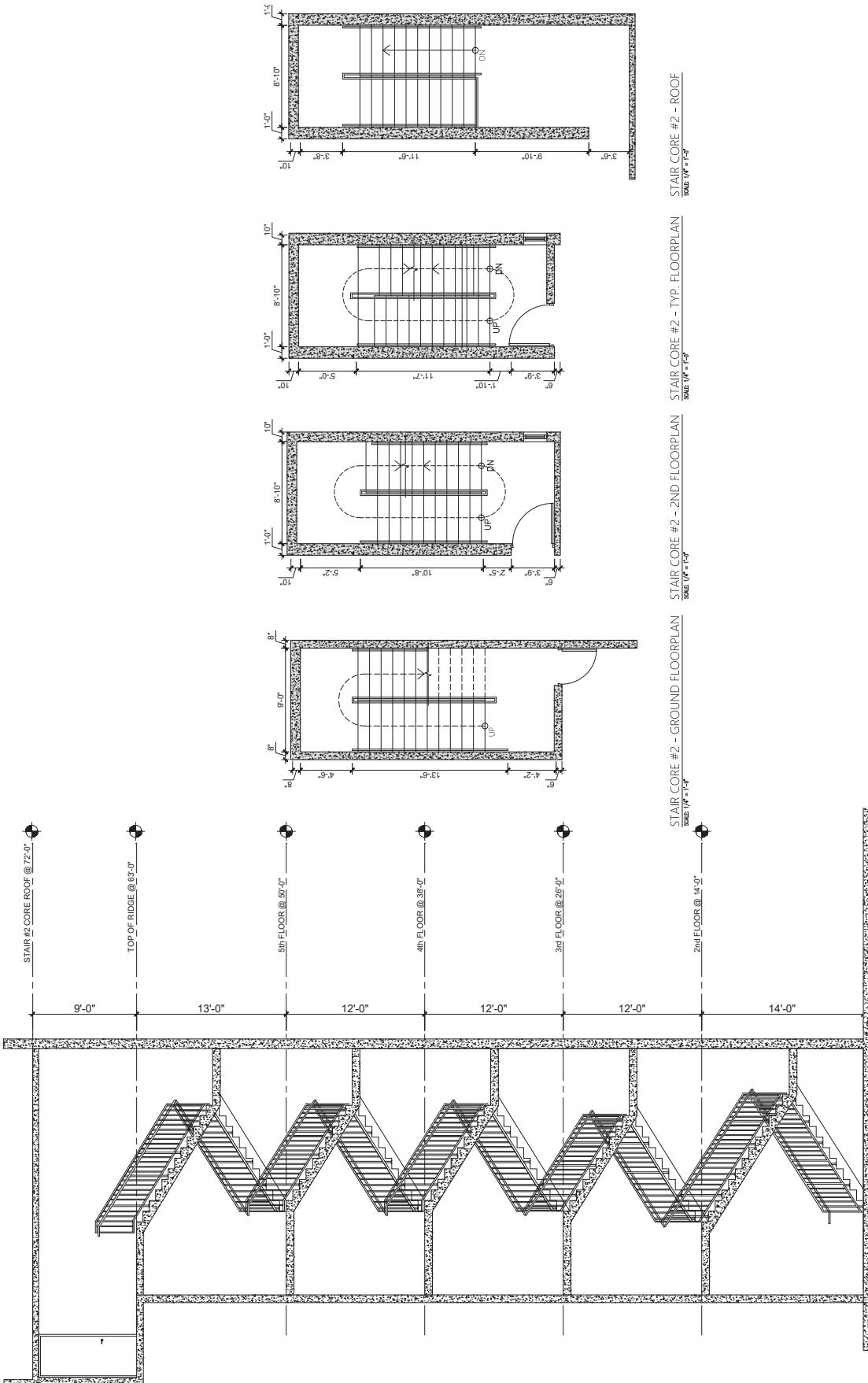
SCALE .....  
CHECKED BY .....  
DRAWN BY .....  
DATE .....  
JRC .....  
REVISIONS .....  
BY .....  
APRIL 4, 2021

EDGARD PEREZ  
ARCHITECT AND ASSOCIATES  
POINCE OFFICE BUILDING  
PR-14, PONCE

TECHNICAL ASSOCIATES  
EDWARD L. REY  
527 SERGIO CUEVAS  
ATO REY  
PURERECO 00918  
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FAX (787) 767-0954

A diagram showing a circle with a vertical line passing through its center. The top half of the circle has a thick black border, while the bottom half is thin. A vertical line extends from the center upwards, representing a dipole moment.

A-402  
OF THE  
AS SHOWN



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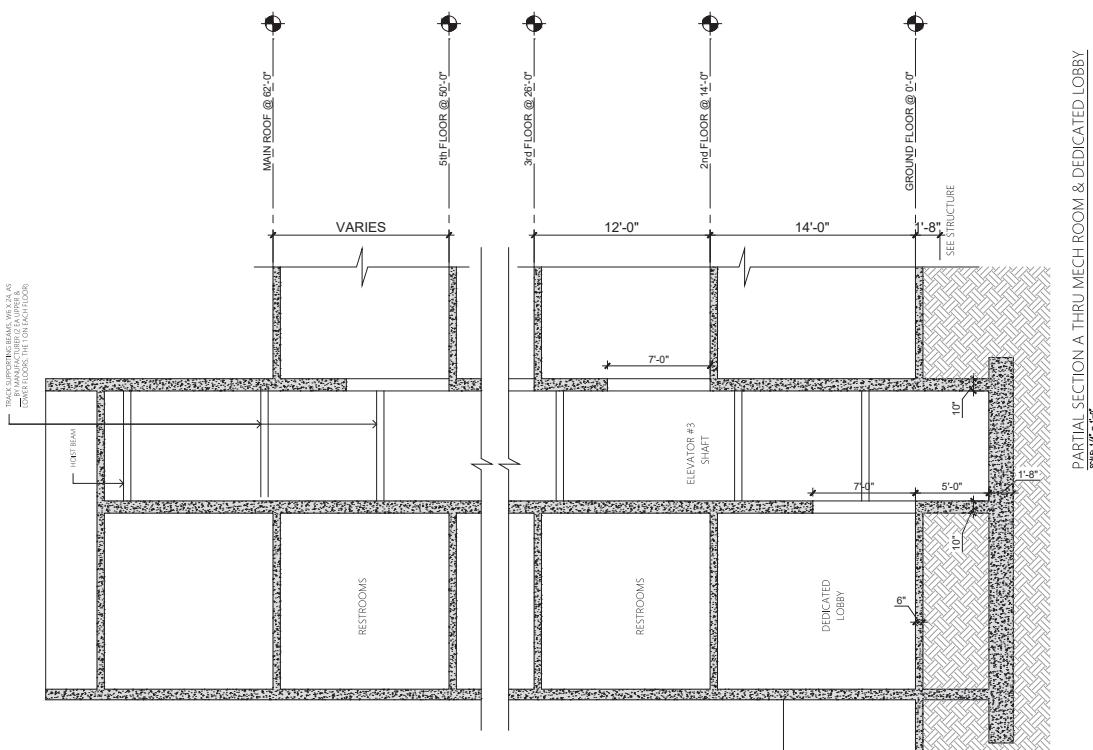
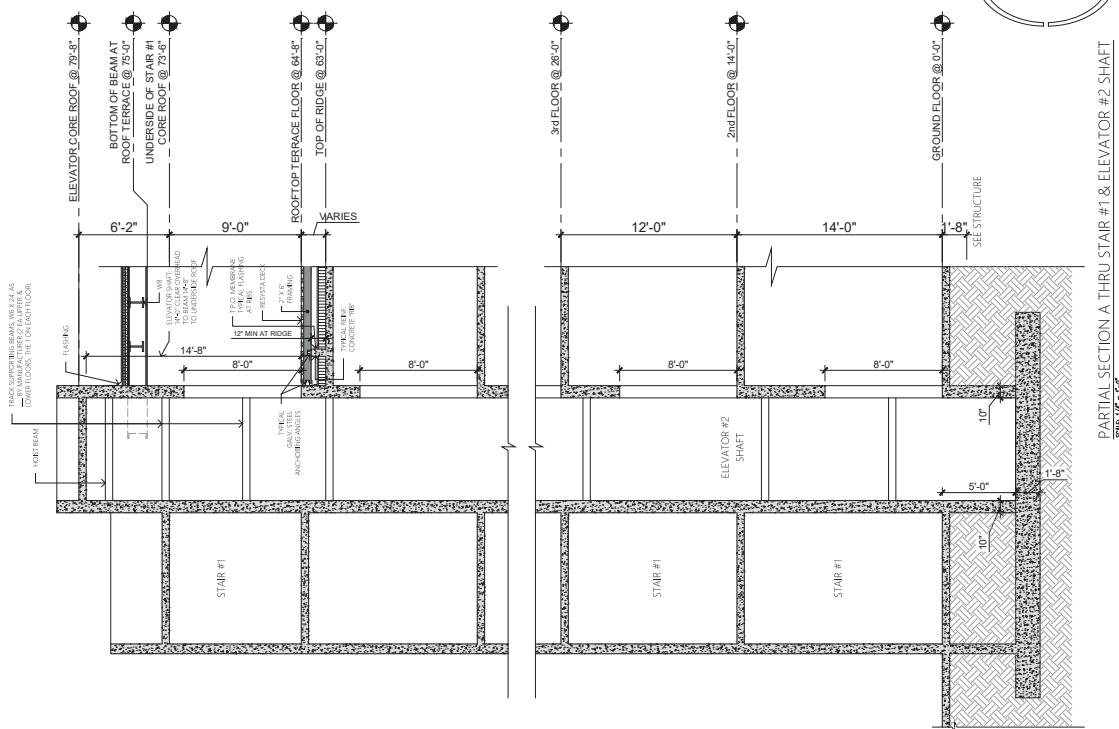
SCALE: .....  
CHECKED BY: M. PEREZ  
DRAWN BY: .....  
DATE: August 4, 2021  
JOB: .....

REVISIONS BY

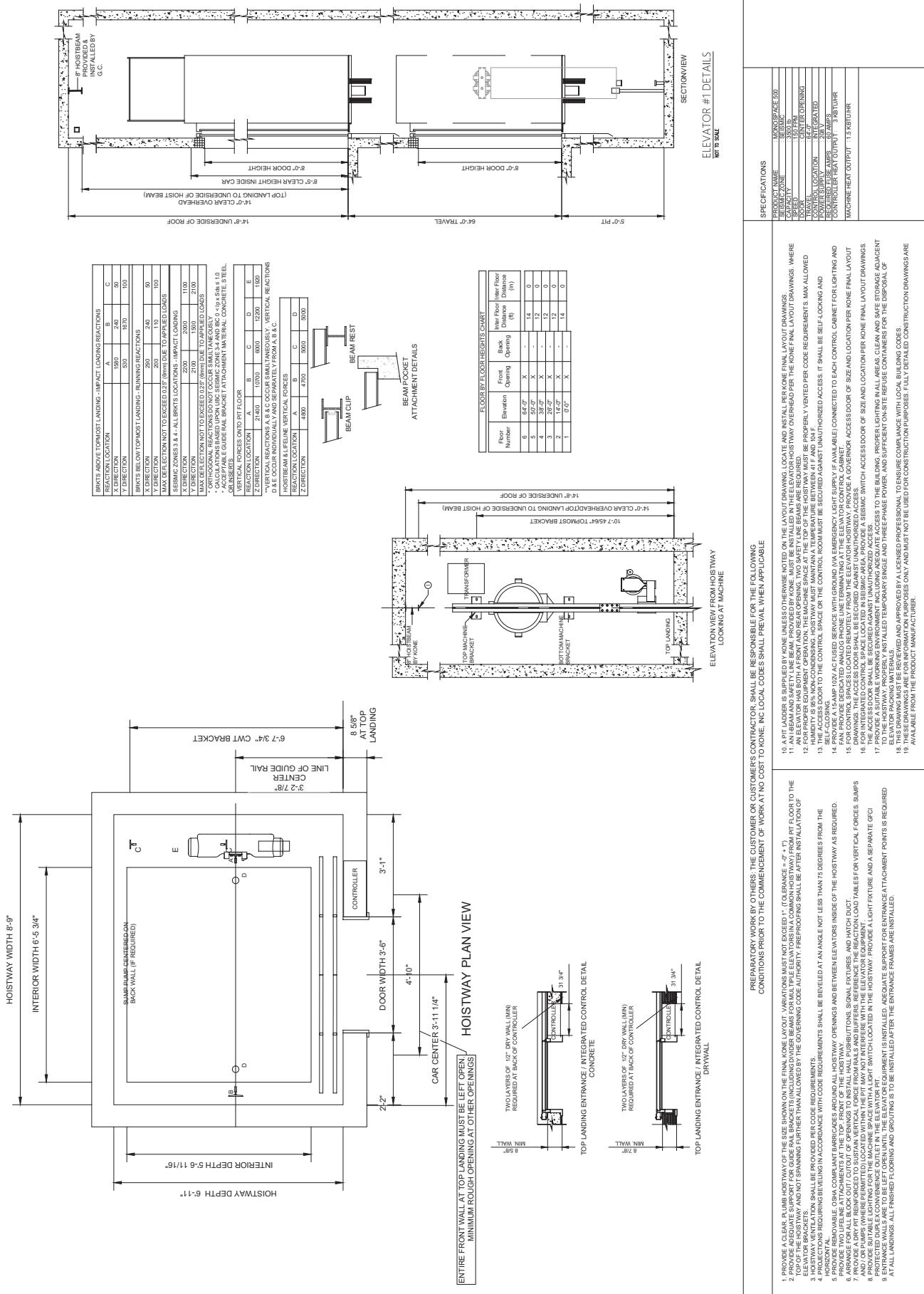
PR-14, PONCE

HATO REY  
SERGIO CUVEAS  
527 SERGIO CUVEAS  
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FAX (787) 767-0654

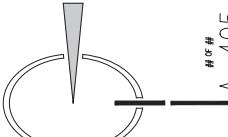
A-403



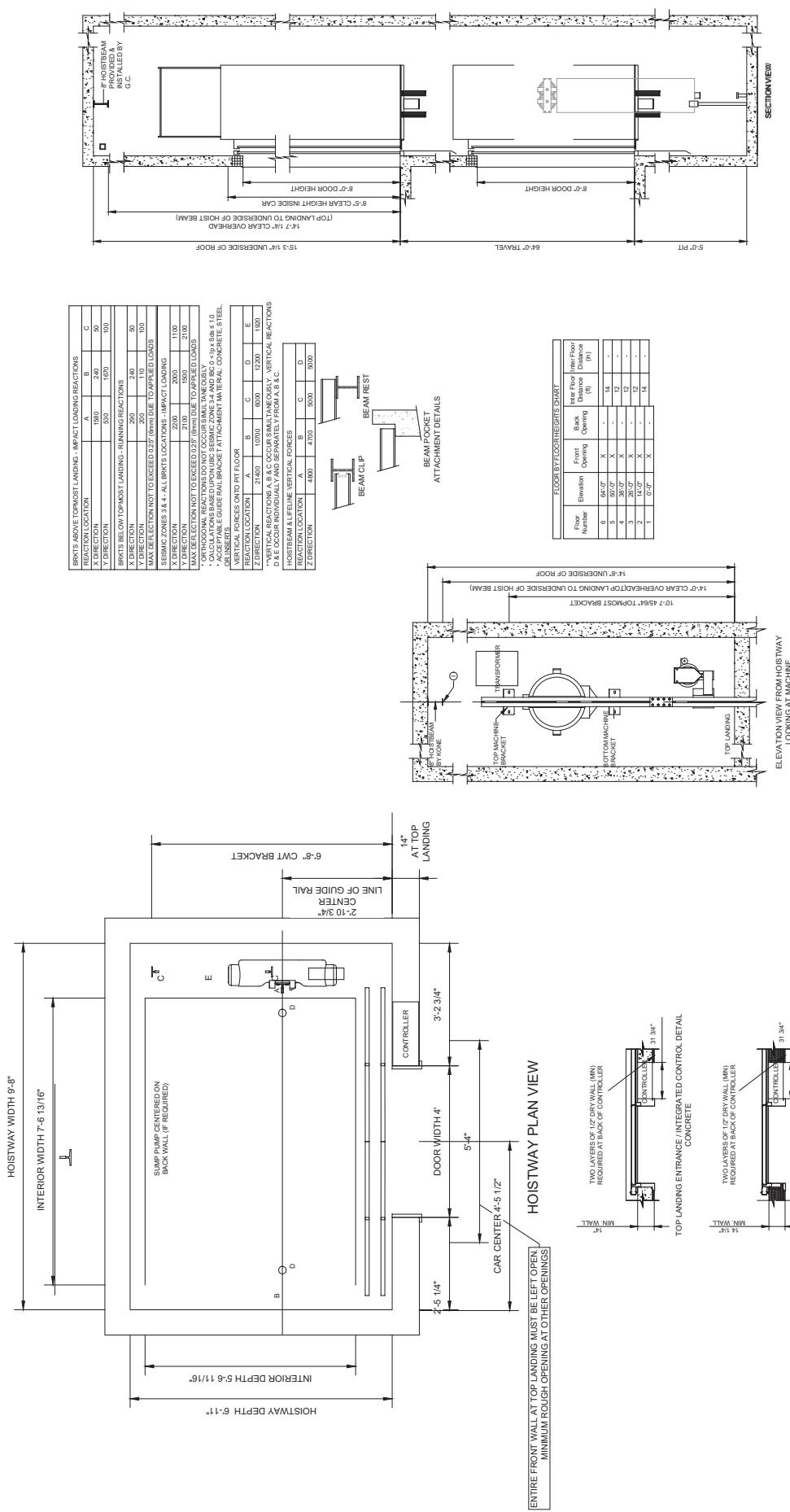
404



EDGAR DU PEREZ  
ECT AND ASSOCIATES  
527 SERGIO CUENAVAS  
TO REY, PEFETO RIO, 00918  
TELEPHONE (787) 767-0946  
FAX (787) 767-0954



-403



PREPARATORY WORK BY OTHERS, THE CUSTOMER OR CUSTOMER'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING

1. PROVIDE A CLEAR PLUMBING ON THE SITE, SHOWN IN THE FINAL, ONE OF THE VARIATIONS MUST NOT exceed 1" (DEBRANCHE, 1/2", 1")  
 2. PROVIDE NECESSARY SUPPORT FOR THE RAIL BRACKETS INCLUDING FOR ALL ELEVATORS FROM A COMMON CONCRETE PITH TO THE  
 TOP OF THE HOSTWAY AND NOT SPANNING FURTHER THAN ALLOWED BY THE GOVERNING CODE AUTHORITY.  
 3. ELEVATOR BRACKETS.

4. ELEVATOR VENTILATION SYSTEM SHALL BE PROVIDED PER CODE REQUIREMENTS.

5. ELEVATOR IS GUARDED IN ACCORDANCE WITH CODE REQUIREMENTS.

6. PROVIDE REMOVABLE, OSBA COMPLIANT BARRICADES AROUND ALL HOSTWAY OPENINGS AND BETWEEN ELEVATORS AS REQUIRED.

7. PROVIDE TWO LEVELS OF ALIGNMENTS AT THE BOTTOM OF THE HOSTWAY, SIGNAL FIXTURES, AND HATCH DUCT

8. PROVIDE PIT REINFORCED TO SUSTAIN AN EQUAL FORCE AS THE RAILS AND BUMPS REFERENCE FOR VERTICAL FORCES. SUMPS AND GURPS ARE TO BE PLACED LOCATED WITHIN THE PIT, MAY NOT INTERFERE WITH THE ELEVATOR EQUIPMENT.

9. ENTRANCE WALLS SHOT TO LEFT OPEN, UNTIL THE ELEVATOR EQUIPMENT IS INSTALLED, APPROPRIATE SUPPORT FOR ENTRANCE ATTACHMENT POINTS IS REQUIRED

10. PROVIDE A CLEAR PLUMBING ON THE SITE, SHOWN IN THE FINAL, ONE OF THE VARIATIONS MUST NOT exceed 1" (DEBRANCHE, 1/2", 1")  
 11. AN ELEVATOR HAS BEEN PROVIDED, ONE CAGE HAS BEEN INSTALLED IN THE ELEVATOR, TWO SETS OF LEADS ARE REQUIRED PER THE PITH, LAY-OUT DRAWINGS. WHERE  
 12. FOR PROPER EQUIPMENT OPERATION, THE MACHINE SPACE AT THE TOP OF THE HOSTWAY MUST BE PROPERLY VENTED PER CODE REQUIREMENTS. LAY-OUT DRAWINGS

13. TOLERANCE 35% CONCERNING HOSTWAY DIMENSIONS, A TOLERANCE BETWEEN 4' 0" AND 4' 11"

14. SELF-CLOSING DOORS

15. AN ELEVATOR CONTROL CABINET IS PROVIDED, ONE PER ELEVATOR, LOCATED IN THE ELEVATOR CONTROL CABINET. AN ELEVATOR ACCESS DOOR, SIZE AND LOCATION PER ONE FINAL LAYOUT DRAWINGS. THE ACCESS DOOR SHALL BE SECURED AGAINST UNAUTHORIZED ACCESS.

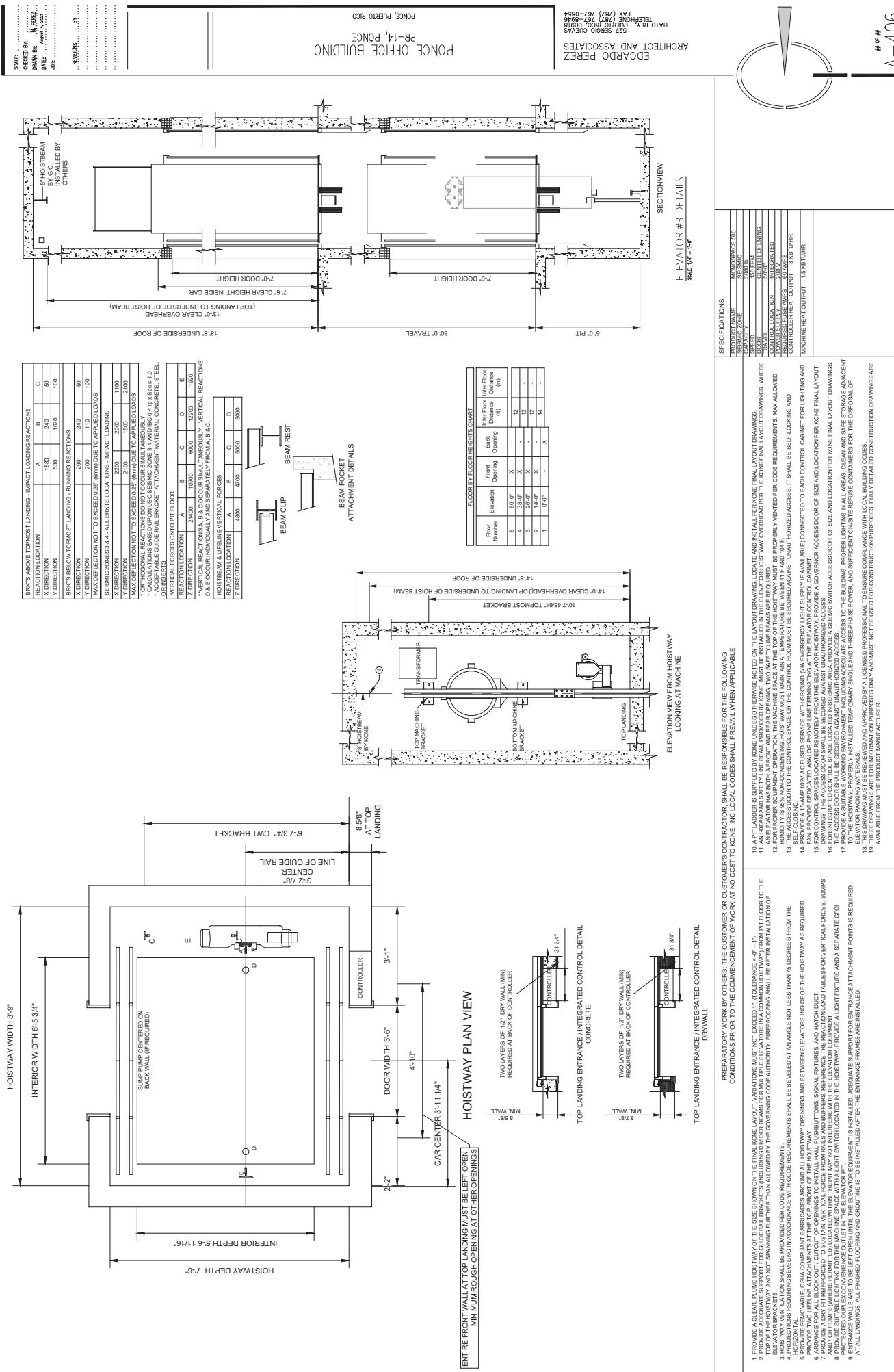
16. FOR INTEGRATED CONTROL SPACE LOCATED IN SEMICIRCULAR FORM, AN ELEVATOR ACCESS DOOR, SIZE AND LOCATION PER ONE FINAL LAYOUT DRAWINGS.

17. THE ACCESS DOORS SHALL BE SECURED AGAINST UNAUTHORIZED ACCESS.

18. ELEVATOR PACKING MATERIALS.

19. THIS DRAWING MUST BE REVIEWED AND APPROVED BY A LICENSED PROFESSIONAL ENGINEER FOR LOCAL BUILDING CODES. AVAILABLE FROM THE PRODUCT MANUFACTURER.

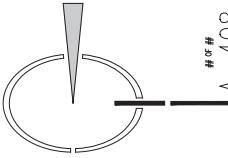
20. ALL LANDINGS, ALL FINISHED FLOORING AND GROUTING IS TO BE INSTALLED AFTER THE ENTRANCE FRAMES ARE INSTALLED.

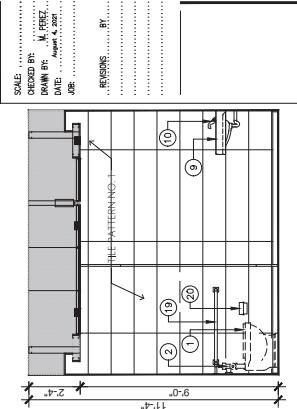


SECTION 142100		N	Operation:	Elevators #1-2 - Double Elevator # 3 - Single	C.	Controller Location: Located controller(s) in the front wall integrated with the top landing frame side, machine side of the elevator. A separate control space should not be required.
<b>PART 1 GENERAL</b>						
1.1 SUMMARY	Section includes: Electric Traction Elevators.	P:	Mobile Location: Inside the hoistway mounted on car guide rail			
A.	Products Supplied But Not Installed Under this Section:	Q:	Control Space Locations: Integrated to elevator door frame at top landing only			
B.	1. Hand Barn 2. P/L Ladder	R:	Elevator Equipment shall conform to the requirements of seismic zone: Seismic 3			
		S.	Maintenance Service Period: (3) Three Months			
143 PERFORMANCE REQUIREMENTS						
144 SUBMITTALS		A.	Product Data: Submit manufacturer's product literature for each proposed system.			
		B.	1. Car Guide Rail Assembly and Layout. 2. Hand Barns and Ladders. 3. Control Panels and Attachments. 4. Other selection charts for cars and entrances.			
		C.	Clearances and Travel of car: 1. Clear inside hoistway and pit dimensions. 2. Clear guides and doors for safe and reliable operation in hoistway. 3. Maximum rail track spacing. 4. Maximum load imposed on building structure. 5. Location and details of access doors. 6. Location and details of entrance doors. 7. Electrical characteristics and connection requirements.			
		D.	1. Provide manufacturer's standard maintenance and operation manual. 2. Provide inspection and test results.			
145 QUALITY ASSURANCE		A.	Manufacturer: Minimum of ten years experience in the fabrication, installation and service of elevators or lifts and performance of the specified. The manufacturer shall have a documented quality assurance program.			
		B.	Insaller: The equipment manufacturer shall install the elevator.			
		C.	Inspection and Testing: In accordance with requirements of local jurisdiction, obtain required permits, inspections and tests.			
		D.	Relief Sections: 1. Section 015000 - Temporary Facilities and Controls 2. Section 033000 - Cast Stone Concrete 3. Section 055000 - Metal Fabrications 4. Section 055000 - Metal Fabrications 5. Section 071600 - Commercial Waterproofing 6. Section 230000 - Heated Ventilating, Air Conditioning 7. Section 265000 - Electric Power Generating and Storage Equipment 8. Section 273000 - Voice Communications 10. Section 2800 - Fire Detection and Alarm 11. Section 310000 - Earthwork			
		E.	Industry and government standards: 1. ICC AS 17.1 - Accessible and Usable Buildings and Facilities 2. ASCE 7-16 - Minimum Design Loads on Buildings and Structures 3. ANSI/NFPA 70 National Electrical Code 4. ANSI/NFPA 80 Standard for Fire Domes and Fire Windows 5. ASME/ANSI A17.1, Safety Code for Elevators and Escalators.			
		F.	Industry and government standards: 1. ICC AS 17.1 - Accessible and Usable Buildings and Facilities 2. ASCE 7-16 - Minimum Design Loads on Buildings and Structures 3. ANSI/NFPA 70 National Electrical Code 4. ANSI/NFPA 80 Standard for Fire Domes and Fire Windows 5. ASME/ANSI A17.1, Safety Code for Elevators and Escalators.			
		G.				
		H.				
		I.				
		J.				
		K.				
		L.				
		M.				
142 DESCRIPTION OF ELEVATORS :		A.	Elevator Equipment: KONE Monospace 500 gearless Machine Room Less Traction Elevator			
		B.	Equipment Control: KCM331			
		C.	Quantity of Elevators: (3) Three			
		D.	Landings: #1-2 - (6) stops Elev # 3 - (5) stops			
		E.	Openings: Travel: Elev # 1-2 - 64'0" Elev # 3 - 65'0"			
		F.	Rated Capacity: Elevator 1 - 3,500 lbs. Passenger Type Elevator 2 - 4,000 lbs. Passenger Type Elevator 3 - 3,500 lbs. Passenger Type			
		G.	Rated Speed: 150 fpm			
		H.	Hoistway Inside Dimensions: Elev # 1-2 18'9" wide x 6'11" deep Elev # 3 8'9" wide x 7'6" deep			
		I.	Car Height Dimensions : Elev # 1 8'5" wide x 6'7" deep Elev # 2 6'5" wide x 5'6" deep			
		J.	Overhead Required			
		K.	Entrance Width/ Height & Type:			
		L.				
		M.				
143 PERFORMANCE REQUIREMENTS		A.	Product Data: Submit manufacturer's product literature for each proposed system.			
		B.	1. Car Guide Rail Assembly and Layout. 2. Hand Barns and Ladders. 3. Control Panels and Attachments. 4. Other selection charts for cars and entrances.			
		C.	Clearances and Travel of car: 1. Clear inside hoistway and pit dimensions. 2. Clear guides and doors for safe and reliable operation in hoistway. 3. Maximum rail track spacing. 4. Maximum load imposed on building structure. 5. Location and details of access doors. 6. Location and details of entrance doors. 7. Electrical characteristics and connection requirements.			
		D.	1. Provide manufacturer's standard maintenance and operation manual. 2. Provide inspection and test results.			
144 SUBMITTALS		A.	Product Data: Submit manufacturer's product literature for each proposed system.			
		B.	1. Car Guide Rail Assembly and Layout. 2. Hand Barns and Ladders. 3. Control Panels and Attachments. 4. Other selection charts for cars and entrances.			
		C.	Clearances and Travel of car: 1. Clear inside hoistway and pit dimensions. 2. Clear guides and doors for safe and reliable operation in hoistway. 3. Maximum rail track spacing. 4. Maximum load imposed on building structure. 5. Location and details of access doors. 6. Location and details of entrance doors. 7. Electrical characteristics and connection requirements.			
		D.	1. Provide manufacturer's standard maintenance and operation manual. 2. Provide inspection and test results.			
145 QUALITY ASSURANCE		A.	Manufacturer: Minimum of ten years experience in the fabrication, installation and service of elevators or lifts and performance of the specified. The manufacturer shall have a documented quality assurance program.			
		B.	Insaller: The equipment manufacturer shall install the elevator.			
		C.	Inspection and Testing: In accordance with requirements of local jurisdiction, obtain required permits, inspections and tests.			
		D.	Relief Sections: 1. Section 015000 - Temporary Facilities and Controls 2. Section 033000 - Cast Stone Concrete 3. Section 055000 - Metal Fabrications 4. Section 055000 - Metal Fabrications 5. Section 071600 - Commercial Waterproofing 6. Section 230000 - Heated Ventilating, Air Conditioning 7. Section 265000 - Electric Power Generating and Storage Equipment 8. Section 273000 - Voice Communications 10. Section 2800 - Fire Detection and Alarm 11. Section 310000 - Earthwork			
		E.	Industry and government standards: 1. ICC AS 17.1 - Accessible and Usable Buildings and Facilities 2. ASCE 7-16 - Minimum Design Loads on Buildings and Structures 3. ANSI/NFPA 70 National Electrical Code 4. ANSI/NFPA 80 Standard for Fire Domes and Fire Windows 5. ASME/ANSI A17.1, Safety Code for Elevators and Escalators.			
		F.	Industry and government standards: 1. ICC AS 17.1 - Accessible and Usable Buildings and Facilities 2. ASCE 7-16 - Minimum Design Loads on Buildings and Structures 3. ANSI/NFPA 70 National Electrical Code 4. ANSI/NFPA 80 Standard for Fire Domes and Fire Windows 5. ASME/ANSI A17.1, Safety Code for Elevators and Escalators.			
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146 MAINTENANCE SERVICE		A.	The elevator manufacturer shall provide maintenance service consisting of regular examinations and adjustments of the elevator equipment for a period of 12 months. This service will be performed during regular working hours or regular working days of 24-hour call back service.			
		B.	Maintenance service to be performed during regular working hours or regular working days of 24-hour call back service.			
		C.	Maintenance service shall not include adjustments, repairs or replacement of parts due to negligence, misuse, abuse or accidents.			
PART 2 PRODUCTS		A.	Delivered elevator materials shall be stored in a protected environment in accordance with manufacturer recommendations. A minimum storage area of 10 feet by 20 feet is required adjacent to the hoistway.			
		B.	Delivered elevator materials shall be stored in a protected environment in accordance with manufacturer recommendations. A minimum storage area of 10 feet by 20 feet is required adjacent to the hoistway.			
		C.				
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147 WARRANTY		A.	Provide manufacturer's warranty for a period of one year. The warranty period is to begin upon substantial completion of the contract. Warranty covers defects in materials and workmanship, unless otherwise specified. Any repair or replacement of defective material or workmanship, maintenance, misuse, or negligence do not constitute defective material or workmanship.			
		B.				
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148 MAINTENANCE SERVICE		A.	The elevator manufacturer shall provide maintenance service consisting of regular examinations and adjustments of the elevator equipment for a period of 12 months. This service will be performed during regular working hours or regular working days of 24-hour call back service.			
		B.	Maintenance service to be performed during regular working hours or regular working days of 24-hour call back service.			
		C.	Maintenance service shall not include adjustments, repairs or replacement of parts due to negligence, misuse, abuse or accidents.			
PART 2 PRODUCTS		A.	Contractor: Provide actuators to be used on cars to perform all of the functions. 1. At high voltage (110V or above) contact points inside the controller cabinet shall be protected from accidental contact in a situation where the controller doors are open. 2. Contact shall be separated from the heat reflector tubes. Motor Drive side and physically signified from the rest of the controller. 3. Provide a series of contacts, and main GPO contacts containing a non-reversible variable field programmable and adjustments shall be contained in a no-volt module. 4. Drive: Provide Variable Voltage Variable Frequency AC drive system to develop high starting torque with low starting current.			
		B.	Police Office PR 14Bldg Police PR Elevator Specifications-Section 142100 July 2021			
242 EQUIPMENT: CONTROL COMPONENTS AND CONTROL SPACE		A.	Contractor: Provide actuators to be used on cars to perform all of the functions. 1. At high voltage (110V or above) contact points inside the controller cabinet shall be protected from accidental contact in a situation where the controller doors are open. 2. Contact shall be separated from the heat reflector tubes. Motor Drive side and physically signified from the rest of the controller. 3. Provide a series of contacts, and main GPO contacts containing a non-reversible variable field programmable and adjustments shall be contained in a no-volt module. 4. Drive: Provide Variable Voltage Variable Frequency AC drive system to develop high starting torque with low starting current.			
		B.	Police Office PR 14Bldg Police PR Elevator Specifications-Section 142100 July 2021			
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243 EQUIPMENT: SIGNAL DEVICES AND FIXTURES (KSS140-VANDAL TYPE)		A.	Car Position Indicator: Provide car operating panel with push buttons, key switches, and indicator lights. Set on car panel a set of round, mechanical illuminated buttons marked to correspond to landings served, emergency call button, door open/close buttons, door close switch for light inspection, door open/close switch for emergency exit contact, and floor indicator buttons. All buttons shall be made of hard plastic and have DO-5 matrix contacts. Call Panel: Call Buttons, Emergency Call Buttons, Emergency Exit Contact, Call Indicator, Call Position Indicator, Call Position Indicator Relays, Call Position Indicator Panel (amber).			
		B.	Elevator Data Panel marked with elevator capacity and car number on car operating panel. With raised markings.			
		C.	In car stop switch per floor code.			
		D.	Emergency Stop Switches.			
		E.	Firefighter's Chair.			
		F.	Call Panel Button.			
		G.	Pre-Programmed (negative ADA phone complete description of krm features included as standard) relays which will allow two-way communication between car and location inside the building switching over to alternate location if car is unanswered, where personnel are available to take the appropriate action. Visual indicators are provided for firefighter's chair emergency fire-call operating instructions.			
		H.	Firefighter's Chair Emergency Fire-Call operating instructions.			
		I.	Police Office PR 14Bldg Police PR Elevator Specifications-Section 142100 July 2021			
		J.				
		K.				
		L.				
		M.				
244 EQUIPMENT: CAR COMPONENTS		A.	Car Frame: Provide car frame with adequate bracing to support the platform and car enclosure.			
		B.	Platform: Platform shall be per manufacturer's standard.			
		C.	Car Guides: Provide guide-sheets mounted to top and bottom of both car and counterweight frame. Each guide-sheets shall be arranged to maintain requirements of the rail surfaces.			
		D.	Load Rating Device: Load rating device mounted to dead-end hitch attached to the hoistway guideway.			
		E.	Cab: Cab Finish.			
		F.	Car Door Finish.			
		G.	Car Position Indicator Panel (amber).			
		H.	Elevator Data Panel marked with elevator capacity and car number on car operating panel.			
		I.	Emergency Stop Switches.			
		J.	Firefighter's Chair.			
		K.	Call Panel Button.			
		L.	Pre-Programmed (negative ADA phone complete description of krm features included as standard) relays which will allow two-way communication between car and location inside the building switching over to alternate location if car is unanswered, where personnel are available to take the appropriate action. Visual indicators are provided for firefighter's chair emergency fire-call operating instructions.			
		M.	Firefighter's Chair Emergency Fire-Call operating instructions.			
		N.	Police Office PR 14Bldg Police PR Elevator Specifications-Section 142100 July 2021			
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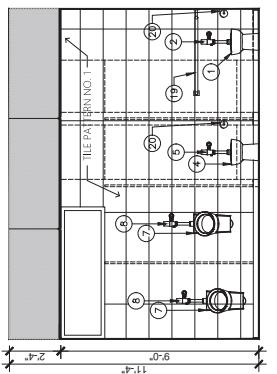
# #

<p>SCALE: ..... DRAWN BY: M. PEREZ DATE: August 1, 2021 JOB: ..... REVISIONS: RY</p>	<p>PONCE, PUERTO RICO PONCE EDGARDO PEREZ ARQUITECTO Y ASOCIADOS 527 PASEO DE LA BANDERA, KM. 1 HATO REY, P.R. 00651-0001 TELÉFONO: (787) 767-0651 FAX: (787) 767-0651 E-MAIL: <a href="mailto:edgaro@edgaro.com">edgaro@edgaro.com</a></p>	
<p><b>PONCE OFFICE BUILDING</b> PR-1A, Ponce PRC</p>		
<p><b>EDGARDO PEREZ ARQUITECTO Y ASOCIADOS</b> PONCE OFFICE BUILDING PR-1A, Ponce PRC</p>		
<p><b>PART 3 EXECUTION</b></p>		
<p><b>3.01 EXAMINATION</b></p>		
<p>E. Electronic Door Safety Device: The elevator car shall be equipped with an electronic safety device extending the full height of the car. When activated, this sensor shall prevent the doors from closing or cause them to stop and reverse if they are in the process of closing or opening. The doors shall remain open as long as the flow of traffic continues and shall close shortly after the last person passes through the door opening.</p>		
<p>F. Hall Features: Hall lighting shall be provided with necessary path buttons and controls for elevator operation. Hall features shall have a polished brass finish. Hall fixtures shall correspond to those used in the lobby. All fixtures shall be unbreakable. Hall fixtures shall feature remote illumination.</p>		
<p>G. Call Letters and Chairs: A fire alarm call station shall be located at the entrance to each car. Call letters and chairs shall be located in the corridor shall be provided to indicate the direction in which the car is to travel and a phone will sound. This chime will sound once for up and twice for down.</p>		
<p>H. Combination Hall Protection and Hall: Handrails located in Lobby, Hall and other areas shall feature end-of-illumination, all numbers to be 7-segment digital displays.</p>		
<p><b>207 EQUIPMENT: ELEVATOR OPERATION AND CONTROLLER</b></p>		
<p>A. Elevator Operation</p>		
<p>B. 1. Elevators # 1-2 : Diplex Collective Operation (two cars). Using a microprocessor-based controller, the operation shall be automatic by means of the car and hall buttons. The system shall provide for diplex collective operation for two pre-selected main landing. The other car shall remain at the last landing served. Only one car shall respond to a hall call if either car is removed from service, the other car shall immediately answer all hall calls, as well as its own calls.</p>		
<p>2. Emergency Power: In the event of a power failure, the system shall be automatic by means of the car and hall buttons. All car calls in the system have been answered, the car shall park at the last landing served.</p>		
<p>3. Fire Alarm System Response: Dispatching</p>		
<p>B. Standard Operating Features to include:</p> <ul style="list-style-type: none"> <li>1. Fan and Light Control</li> <li>2. Load Weight Bypass.</li> <li>3. Ascending Call Uncontrolled Movement Protection</li> <li>4. Trip of Car Inspection Station.</li> </ul>		
<p>C. Additional Operating Features to include:</p> <ul style="list-style-type: none"> <li>1. Independent Service.</li> <li>2. Emergency Power.</li> <li>3. Heavy Access To Landing</li> <li>4. Safe Secure Access.</li> </ul>		
<p>D. Emergency Stop: Permanent magnet VVVF high-performance door operator shall be provided to open and close the car and heavy doors. The mechanical interlock shall be provided at each heavy entrance to prevent operation of the elevator unless all doors are closed and locked. An electric contact shall be provided in the car at each car entrance to prevent the operation of the elevator unless the car door is closed.</p>		
<p>E. Elevator Control System for Inspections and Emergency Operation:</p> <ul style="list-style-type: none"> <li>a. This operation shall return each car automatically to a designated landing when the system is initially switched to standby power. Preference is given to loadless cars.</li> <li>b. Input of Standby Power. Operation is achieved by a manual switch for each car or a rotary selector. Individual key switch for each car designated landing or in normal operation. Standby power, if a car will perform its function first, then immediately go into normal operation.</li> </ul>		
<p>F. Intercom Providers</p>		
<p>Car Reader options for control/ Car Reader by others</p>		
<p>G. Door Operator:</p> <ul style="list-style-type: none"> <li>1. Provide a closed loop permanent magnet VVVF high-performance door operator shall be provided to open and close the car and heavy doors.</li> <li>2. Provide a device on car to run the elevator in inspection operation.</li> <li>3. Provide an emergency stop switch to disconnect power from the car and prevent it from moving, mechanically lift and control the elevator.</li> <li>4. Provide safety belt for each car to prevent falling when power is interrupted.</li> <li>5. Provide the means for the governor to reset the governor over speed switch and also for the governor controller to reset the emergency brake when set because of an unanticipated car movement or bending of car over speed.</li> <li>6. Provide the means for the control to reset elevator earthquake operation.</li> </ul>		
<p><b>208 EQUIPMENT: DOOR OPERATOR</b></p>		
<p>A. 1. Hangers and tracks shall be crowded for each car and heavy door. Tracks shall be contoured to match the sheer edges. Hangers shall be designed for power operation with provisions for vertical and lateral adjustment. Hanger sheaves shall have polyurethane tires and pre-lubricated sealed-for-life bearings.</p>		
<p>2. Provide a closed loop permanent magnet VVVF high-performance door operator shall be provided to open and close the car and heavy doors. The mechanical interlock shall be provided at each heavy entrance to prevent operation of the elevator unless all doors are closed and locked. An electric contact shall be provided in the car at each car entrance to prevent the operation of the elevator unless the car door is closed.</p>		
<p>3. Provide an emergency stop switch to disconnect power from the car and prevent it from moving, mechanically lift and control the elevator.</p>		
<p>4. Provide safety belt for each car to prevent falling when power is interrupted.</p>		
<p>5. Provide the means for the governor to reset the governor over speed switch and also for the governor controller to reset the emergency brake when set because of an unanticipated car movement or bending of car over speed.</p>		
<p>6. Provide the means for the control to reset elevator earthquake operation.</p>		
<p><b>3.02 PREPARATION</b></p>		
<p>A. Coordinate installation of anchors, bearing plates, brackets and other related accessories.</p>		
<p><b>3.03 INSTALLATION</b></p>		
<p>A. Install equipment, guides, car and accessories in accordance with manufacturer's installation methods and recommended practices.</p>		
<p>B. Place car and hall calls and related supports at locations in accordance with manufacturer's recommendations and approved shop drawings. Anchor to building structure using isolation system to minimize transmission of vibration to structure.</p>		
<p>C. All heavy frames shall be securely fastened to floor angles mounted in the hallway.</p>		
<p>Ponce Office PR-1A Bldg. Ponce PR Elevator Specifications-Section 142(100) July 2021</p>		
<p><b>3.04 CONSTRUCTION</b></p>		
<p>A. Interface with Other Work.</p> <ul style="list-style-type: none"> <li>1. Grade rail brackets attached to steel shall be installed prior to application of striping.</li> <li>2. Coordinate construction of entrance reveals with installation of door frames and glass panels.</li> <li>3. Ensure adequate support for entrance attachment points at all landings.</li> </ul>		
<p>D. Lubricate operating system components in accordance with manufacturer recommendations.</p>		
<p>E. Perform final adjustments, arc necessary service prior to substantial completion.</p>		
<p><b>3.05 TESTING AND INSPECTIONS</b></p>		
<p>A. Prior recommended and required testing in accordance with authority having jurisdiction.</p>		
<p>B. Obtain required permits and provide original to Owner's Representative.</p>		
<p><b>3.06 DEMONSTRATION</b></p>		
<p>A. Prior to substantial completion, instruct Owner's Representative on the proper function and required maintenance of elevators. Instruct personnel on emergency procedures.</p>		
<p><b>END OF SECTION</b></p>		
<p>Ponce Office PR-1A Bldg. Ponce PR Elevator Specifications-Section 142(100) July 2021</p>		

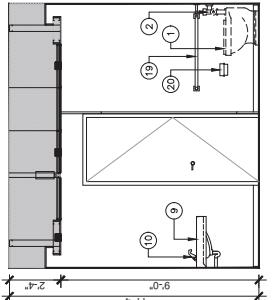




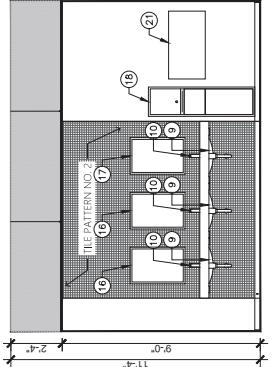
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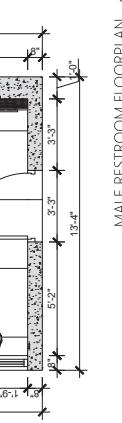
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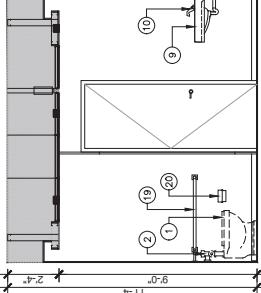
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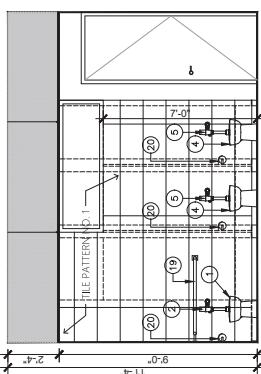
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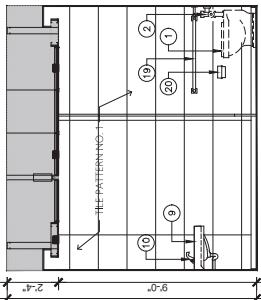
MALE RESTROOM FLOORPLAN  
SCALE: 3/8" = 1'-0"



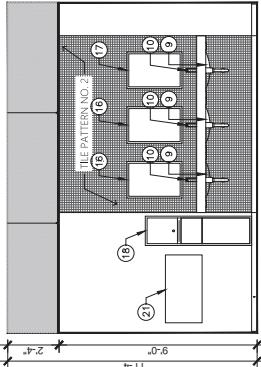
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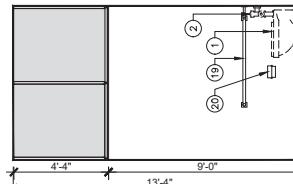
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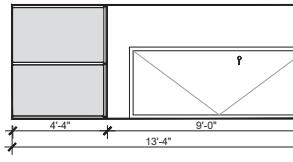
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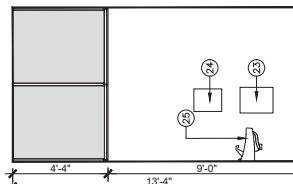
FEMALE RESTROOM ELEVATION 5  
SCALE: 3/8" = 1'-0"



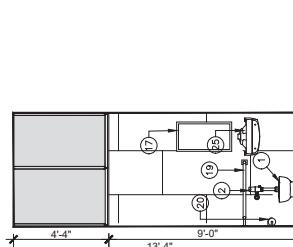
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OUTDOOR RESTROOM #2 (MIRRORED IMAGE)  
SCALE: 3/8" = 1'-0"



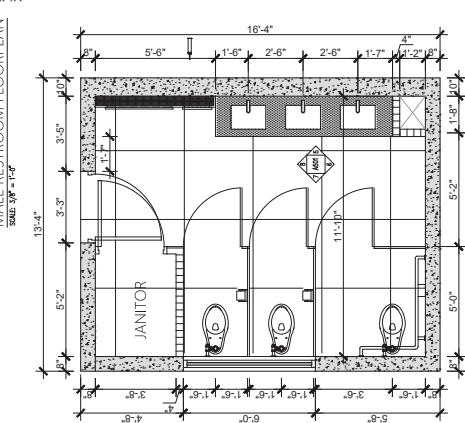
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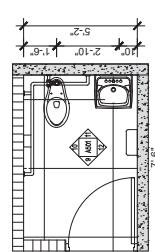
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OUTDOOR RESTROOM #2 (MIRRORED IMAGE)  
SCALE: 3/8" = 1'-0"



OUTDOOR RESTROOM #1 & #2 (MIRRORED IMAGE) FLOORPLAN  
SCALE: 3/8" = 1'-0"



FEMALE RESTROOM FLOORPLAN  
SCALE: 3/8" = 1'-0"



OUTDOOR RESTROOM #1 & #2 (MIRRORED IMAGE) FLOORPLAN  
SCALE: 3/8" = 1'-0"

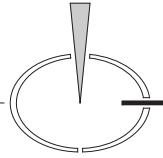
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DRAWN BY .....  
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4/08 .....  
REVISIONS .....  
BY .....  
.....

PONCE OFFICE BUILDING  
RR-14, PONCE

ARCHITECT AND ASSOCIATES  
EDGARDO PEREZ  
TELEPHONE (809) 767-0654  
FAX (809) 767-0916  
HATO REY, PUERTO RICO  
507 SEASIDE CLOSER

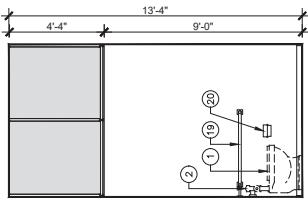


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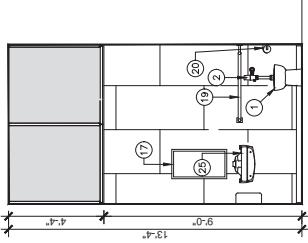
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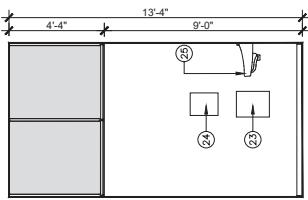
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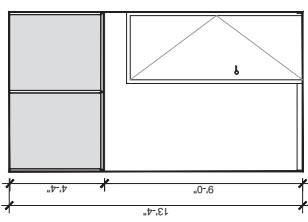
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SCALE: 3/8" = 1'-0"



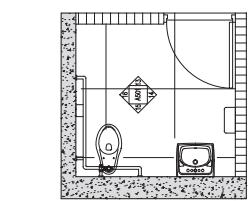
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ROOFTOP RESTROOM #2 (MIRRORED IMAGE)  
SCALE: 3/8" = 1'-0"



ROOFTOP RESTROOM #1 - ELEVATION 14  
ROOFTOP RESTROOM #2 (MIRRORED IMAGE)  
SCALE: 3/8" = 1'-0"



ROOFTOP RESTROOM #1 - ELEVATION 13  
ROOFTOP RESTROOM #2 (MIRRORED IMAGE)  
SCALE: 3/8" = 1'-0"



ROOFTOP RESTROOM #1 & #2 (MIRRORED IMAGE) FLOORPLAN  
SCALE: 3/8" = 1'-0"

Material/Finish	Manufacturer	Description	Color
A Counter Tops (Female & Male Restrooms)	TO BE SELECTED	17 mm Quartz	To be Selected
B Wall Tile Pattern #1 (Female & Male Restrooms)	*	12" x 48" CERAMIC TILE	*
C Wall Tile Pattern #2 (Female & Male Restrooms)	*	Mosaic Pattern to be Selected	*
D Wall Finish & Trim (Female & Male Restrooms)	*	Smooth Concrete Finish Surface	*
E Wall Tiles (Outdoor Restrooms)	*	Smooth Concrete Finish Surface	*
F Floor Tile (Female & Male Restrooms)	*	24" x 48" CERAMIC TILE	*
G Floor Tile (Outdoor & Rooftop Restrooms)	*	24" x 24" CERAMIC TILE	*

SCAB .....  
CHECKED BY: **J. PREZ**  
DRAWN BY: **J. PREZ**  
DATE: **10/10/14**  
REV: **4A**

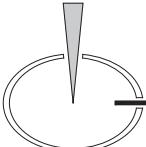
REVISIONS: BY:

Item	Ref.	Model	Manufacturer	Fixtures	Description	Color	Accessories
ADA Water Closet							
1	ADA Toilet	5455.001	American Standard	Modern Toilet - 16-5/8" Height Hinged Bidet - Height Hinged Bidet - Height	White		16 Mirror PF-595-830 Bosnick
2	Toilet Flush Valve	6055.021.002	American Standard	Solentone Sensor-Operated Toilet Flush Valve, 1.28 gpf Battery Powered			17 Mirror PF-291-830 Bosnick
3	Commercial Toilet Seats	5901.0055 Same as 5901.000 with self-suspending hinge	American Standard		White		18 Paper Towel Dispenser & Waste Receptacle PF-58054 Bosnick
4	Toilet	3410.001	American Standard	Modern Toilet - 16" Height Hinged Bidet - Height	White		19 Grab Bars PF-68137 Bosnick
5	Toilet Flush Valve	6055.021.002	American Standard	Solentone Sensor-Operated Toilet Flush Valve, 1.28 gpf Powered			20 Tissue Dispenser PF-4388 Bosnick
6	Commercial Toilet Seats	5901.0055 Same as 5901.000 with self-suspending hinge	American Standard		White		21 Baby Changing Station PF-6105-SR Bosnick
Urinal							
7	Urinal	602.001C	American Standard	Decorum 0.125 gpf High efficiency urinal	White		22 Restroom Partitions Stainless Steel - Series 400 - Sentinel Bradley Corp Door Mounted Overhead-Bowed Restroom partitions
8	Urinal Flush Valve	6055.031.002	American Standard	Solentone Sensor-Operated Urinal Flush Valve, 0.128 gpf Battery Operated			23 Waste Receptacle SS7 Surface Mounted Bradley Corp
Undermount Laundry							
9	Under Counter Sinks	1654.000	American Standard	Studio Counter Sinks	White		24 Towel Dispenser 2245 Surface Mounted with Sensor Activation Bradley Corp
10	Laundry Faucet	7705.005	American Standard	Nemco Self-Rinse Integrated Laundry Faucet Battery Powered	Polished Chrome .002		25 ADA Bathroom Sink 1055-10-020 American Standard Laurene Wall Hung Laundry White
11	Open Grid P.O. Plug	154E0	McGuire Manufacturing	McGuire Manufacturing colic Grid O/P Plug with 17 gauge •14" x 6" serrated cross-alloy-ecce brass lock nut and lock washer goes with the other two other			
12	Bed-Trap	03170030Door	DNV Modules				
13	Sink Connection	48975	Eastman	Sandless Steel Braided Comp Comp 10	POLISHED CHROME		
14	Napkin-1 IPS	25867	Eastman	Unit Order 10 InnMas 10/100 Puck Bulk	Chrome-plated brass		
15	Angle Supply Stop	175701K	McGuire Manufacturing colic	•7" IPS x ¾" OD, Loose Key	Chrome plated brass supply stop valve with full turn brass		

POINC OFFICE AND ASSOCIATES  
PR-14, POINC

ARCHITECT AND ASSOCIATES  
EDGARDO PEREZ

HATO REY, PEREZ & CO., INC.  
527 SEASIDE CIRCEAS  
TELEPHONE (305) 767-0641  
FAX (305) 767-0641



RESTROOMS SCHEDULES

SAME AS SPEC

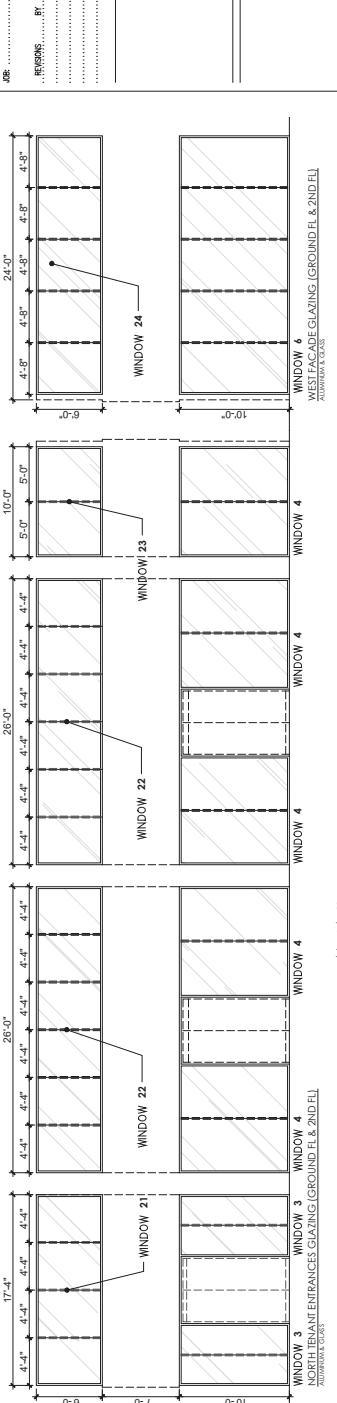
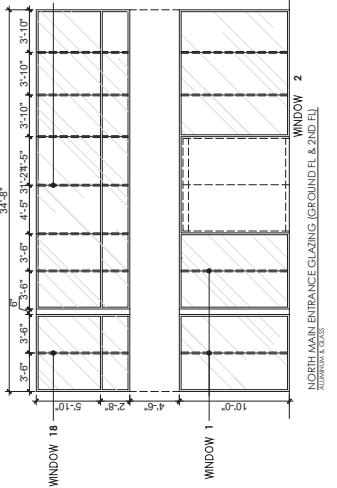
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OD RE

# 503

## WINDOW SCHEDULE - GROUND FLOOR

SCALE:  $1/4'' = 1'-0''$



PR-14, PONCE OFFICE BUILDING

EDGARDO PEREZ  
ARCHITECT AND ASSOCIATES  
527 SERGIO CUEVAS  
HATO REY, P.R. 00781-9846

HURRICANE RESISTANT  
ODIZED (INTERMEDIATE  
FACE CAP PAINTED TO

— 601 —

WINDOW WALL SYSTEM

- WING: 1-5/16" ARCTIC BLUE LOW-E  
GLASS COLOR)  
OR VERTICAL FACE CAP PAINTED TO  
CLEAR ANODIZED (INTERMEDIATE  
RESISTANCE) - HURRICANE RESISTANT

## CURTAIN WALL SYSTEM

- DEREK'S RELIANCE WALL - HURRICANE IMPACT RESISTANT FINISH: CLEAR ANODIZED GLAZING: 1-5/16" ARCTIC BLUE LOW-E GLASS

CAD DATE

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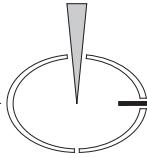
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## ARCHITECTURAL DETAILS

SCALE: AS SHOWN

ARCHITECTURAL DETAILS

SCALE: AS SHOWN

DET. 6 - ROOFTOP TERRACE HANDRAIL

SCALE ..... CHECKED BY: .....	DRAWN BY: ....., C. 2020 DATE: August 3, 2020	REASON BY: .....
JOB: .....	.....	.....

PR-14, PONCE OFFICE BUILDING

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A diagram showing a circle with a vertical line passing through its center. The top half of the circle is shaded black, representing a positive charge distribution, while the bottom half is white, representing a negative charge distribution. A horizontal line extends from the right side of the circle, representing a dipole moment vector.

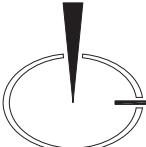
S-101  
OF THE

**STRUCTURAL  
ENGINEER**  
P.O. BOX 770  
701 N. 1st Street  
Tucson, AZ 85701  
(520) 721-1338  
E-Mail: gpmc@prodigy.net

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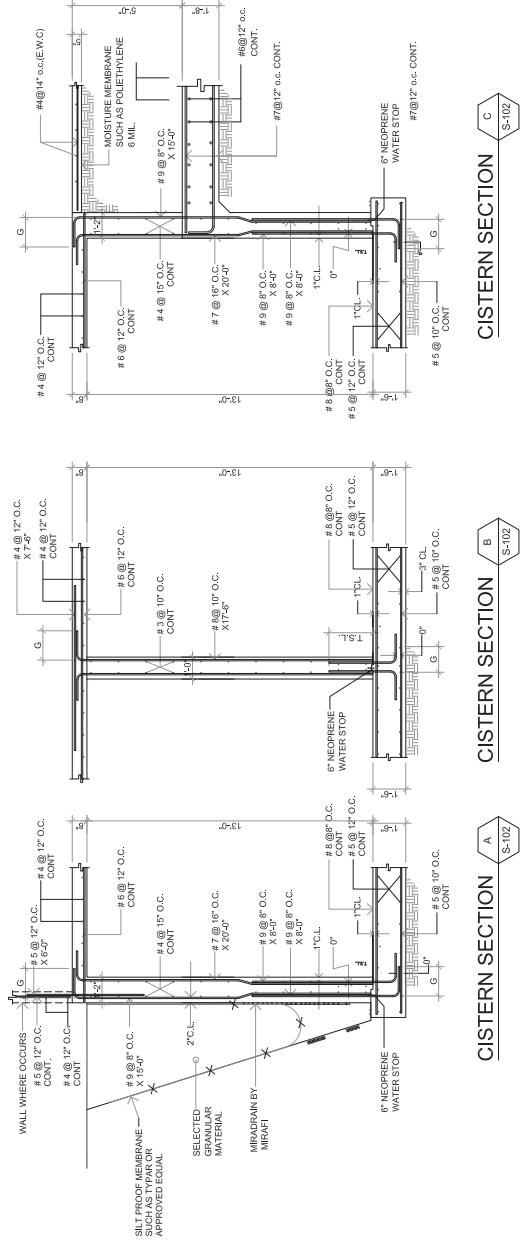
SCALE			
CHECKED BY	J. DUNN		
DRAWN BY	J. DUNN		
DATE	January 3, 2020		
ASB			
REVISIONS	BT		
PONCE, PHILBERT INC			
PR-14, PONCE			
PONCE OFFICE BUILDING			

TECCT AND ASSOCIAATES  
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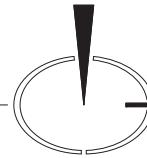


SCALE: .....  
CHECKED BY: .....  
DRAWN BY: ..... L. COLON  
DATE: July 11, 2021  
JOB: .....  
REVISIONS BY: .....

EDGARDO PEREZ  
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WCF W



SLAB ON GROUND PLAN

**Globe & Pencil**  
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(800) 448-4673  
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FAX: (206) 467-1224  
E-mail: [globeandpencil@compuserve.com](mailto:globeandpencil@compuserve.com)

can etc.

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**PLANER**

**CROSS**

**SECTION**

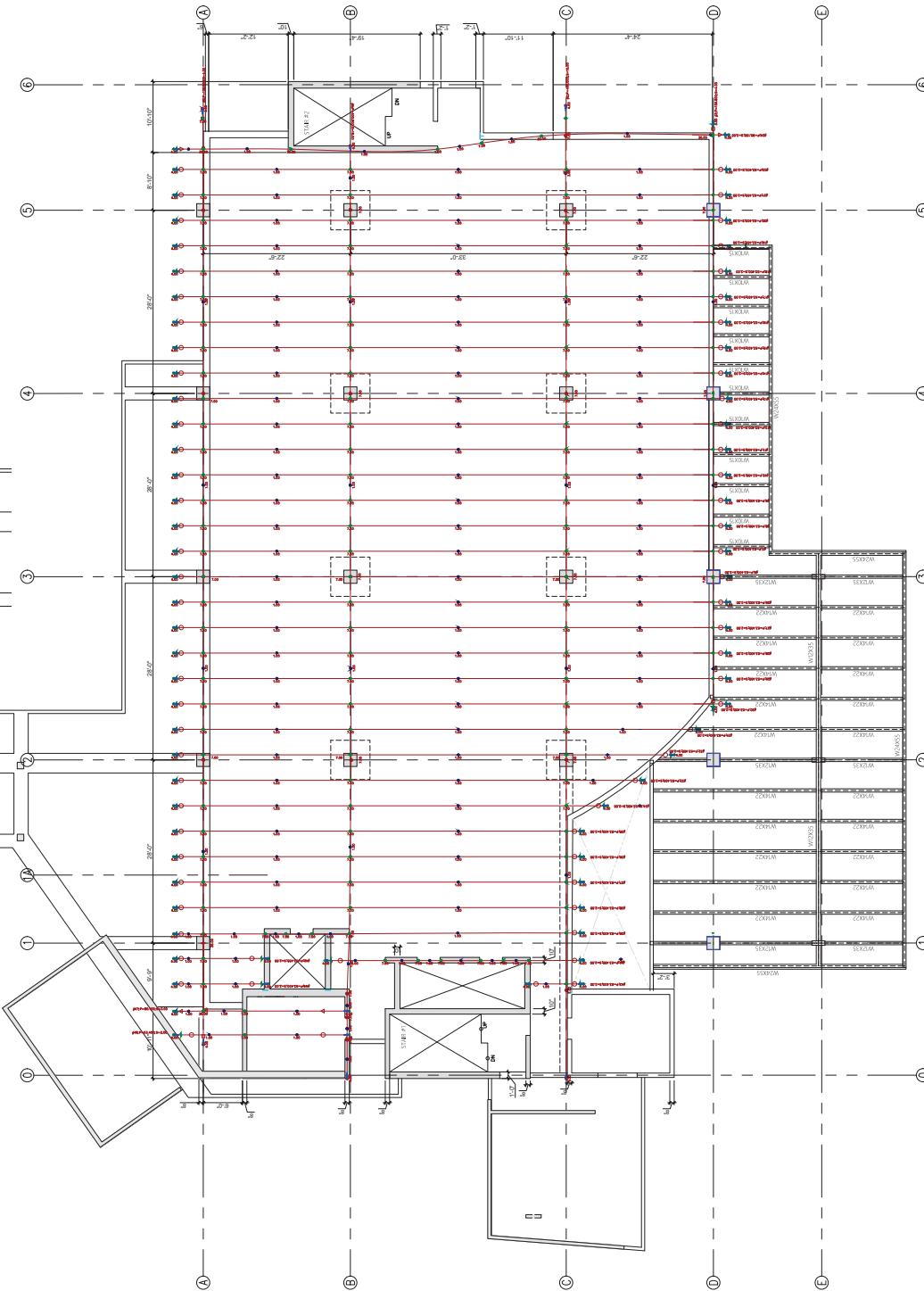
**TYPICAL CONSTRUCTION JOINT SECT.**

SCALE: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_ J. COLON  
DRAWN BY: \_\_\_\_\_ DATE: July 28, 2021  
JOB: \_\_\_\_\_  
REVISIONS: \_\_\_\_\_ BY: \_\_\_\_\_

PR-14, PONCE

EDGARDO PEREZ  
RCHTECT AND ASSOCIATES  
527 SERGIO CUVEAS  
HATO REY, P.R. 00918  
TELEPHONE (787) 767-8946  
FAX (787) 767-0854

ABBREVIATIONS:	
CONCRETE	TOP BOTTOM C.G. TENSION T.S.L. L.I. E.I.
REINFORCEMENT	DETONS REINFORCED CONCRETE WALL BELOW ONLY. DETONS REINFORCED CONCRETE WALL ABOVE ONLY. DETONS REINFORCED CONCRETE WALL ABOVE AND BELOW DETONS LAB FOR METAL REINFORCEMENT. DETONS LAB INITION POINT REINFORCEMENT. DETONS TEST TENSILE TEST ETC. DETONS TEST TENSILE TEST ETC.



## SECOND FLOOR TENDON LAYOUT PLAN

**GP** General Project Partners, INC., PC  
 1000 University Street, Suite 1000, Seattle, WA 98101-3120  
 (206) 467-1200 • Fax: (206) 467-1201  
 E-mail: [gpp@pacifier.com](mailto:gpp@pacifier.com)

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OCCUPIED BY .....  
DRAWN BY .....  
PENSNS .....  
JDE .....  
DATE .....  
MAY 26, 2003

POUCE OFFICE BUILDING  
PR-14, POUNCE  
ARCHITECT AND ASSOCIATES  
EDGARDO PEREZ

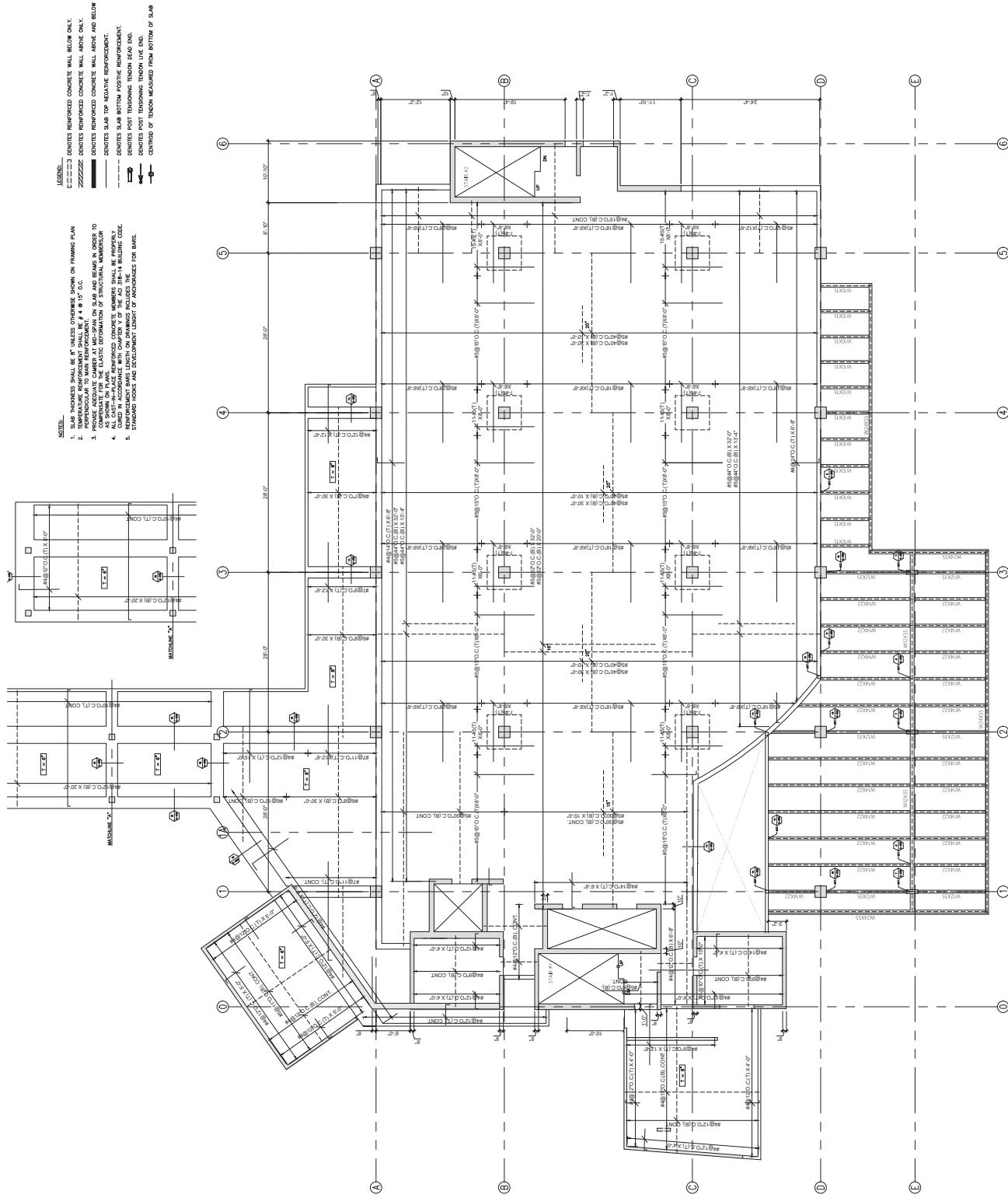
297 E. BEECHWOOD AVENUE  
HATO REEF, PHILIPPINES  
TELEPHONE (63) 767-7654  
FAX (63) 767-7654  
E-MAIL: [edgaro@msn.com](mailto:edgaro@msn.com)

H x H  
S - 201



SECOND FLOOR REBARS LAYOUT PLAN  
SCALE: 1/8" = 1'-0"

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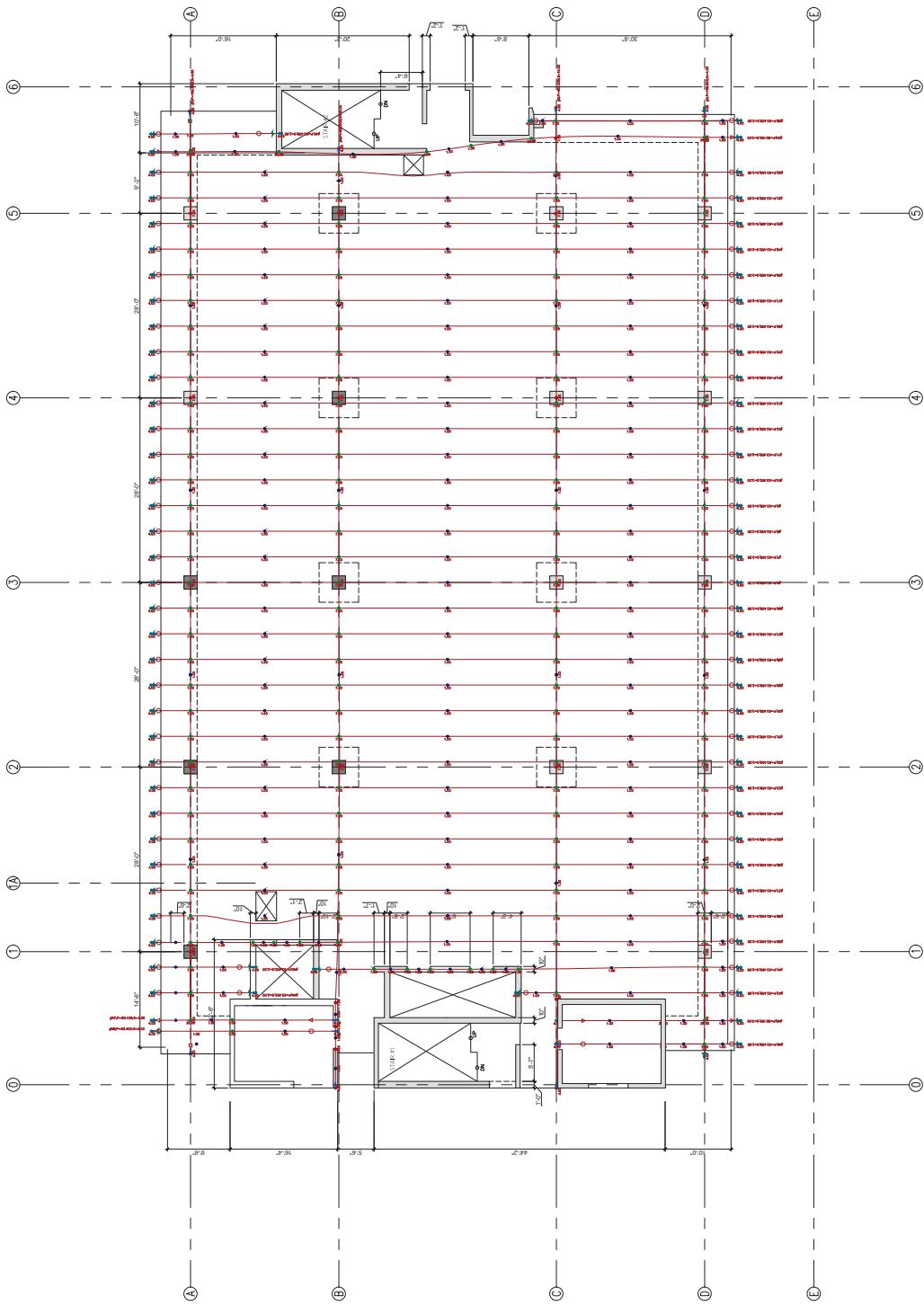
CAD NO:

SCALE .....  
DRAWN BY: J. COLON  
DATE: May 15, 2009  
PENSONS BY: J. DE  
JDE

POÑCE OFFICE BUILDING  
PR-14, POÑCE  
EDGARDO PEREZ  
ARCHITECT AND ASSOCIATES  
S27 PEPESIS OVERVAS  
HATO REYES, PUERTO RICO 00777  
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POÑCE, PUERTO RICO  
767-0654  
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FAX (787) 767-0654

THIRD FLOOR TENDON LAYOUT PLAN  
SCALE 1/8" = 1'-0"



- NOTES:**
1. SLAB THICKNESS SHALL BE 8" UNLESS OTHERWISE SHOWN ON FRAMING PLAN.
  2. TUMBLEWEED REINFORCEMENT SHALL BE # 6 @ 15° O.C.
  3. REINFORCEMENT FOR CONCRETE SLABS SHALL BE PLACED ON THE TOP OF THE SLAB AND BEAMS IN ORDER TO COMPENSATE FOR THE ELASTIC DEFORMATION OF STRUCTURAL MEMBERS OR ALL CAST-IN-PLACE REINFORCED CONCRETE MEMBERS SHALL BE PROPERTY CHANCED IN ACCORDANCE WITH CHAPTER 12 OF THE 1994 ACI-ASCE-IRC.
  4. ALL CAST-IN-PLACE REINFORCED CONCRETE MEMBERS SHALL BE PROVIDED WITH ANCHORS FOR TENDONS AND DEVELOPMENT LENGTH OF ANCHORS FOR BARS.
  5. STANDARD JOINTS AND EXPANSION JOINTS ARE TO BE PROVIDED AS SHOWN ON THE FRAMING PLAN.

- LEGEND:**
- denotes reinforced concrete wall below only.
  - denotes reinforced concrete wall above only.
  - denotes reinforced concrete wall above and below.
  - denotes slab top header reinforcement.
  - denotes slab bottom positive reinforcement.
  - denotes post tensioning tendon line.
  - denotes tendon anchored bottom fiber.
  - denotes tendon anchored top fiber.

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S-202



CAD FILE:

SCALE .....  
DRAWN BY: J. COLON  
DATE: May 15, 2009  
VERSIONS: BY:.....

POUCE OFFICE BUILDING  
PR-14, POURCE

ARCHITECT AND ASSOCIATES  
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POUCE, POURCE R.C.C.  
HATO DE PECES, P.R. 00701  
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TELEFONO (787) 767-7654  
FAX (787) 767-0918  
E-MAIL: EDGARDO@POURCE.RC.C.P.R



H or H

1/4" = 1'-0"

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DRAWN BY: .....  
DATE: July 15, 2021  
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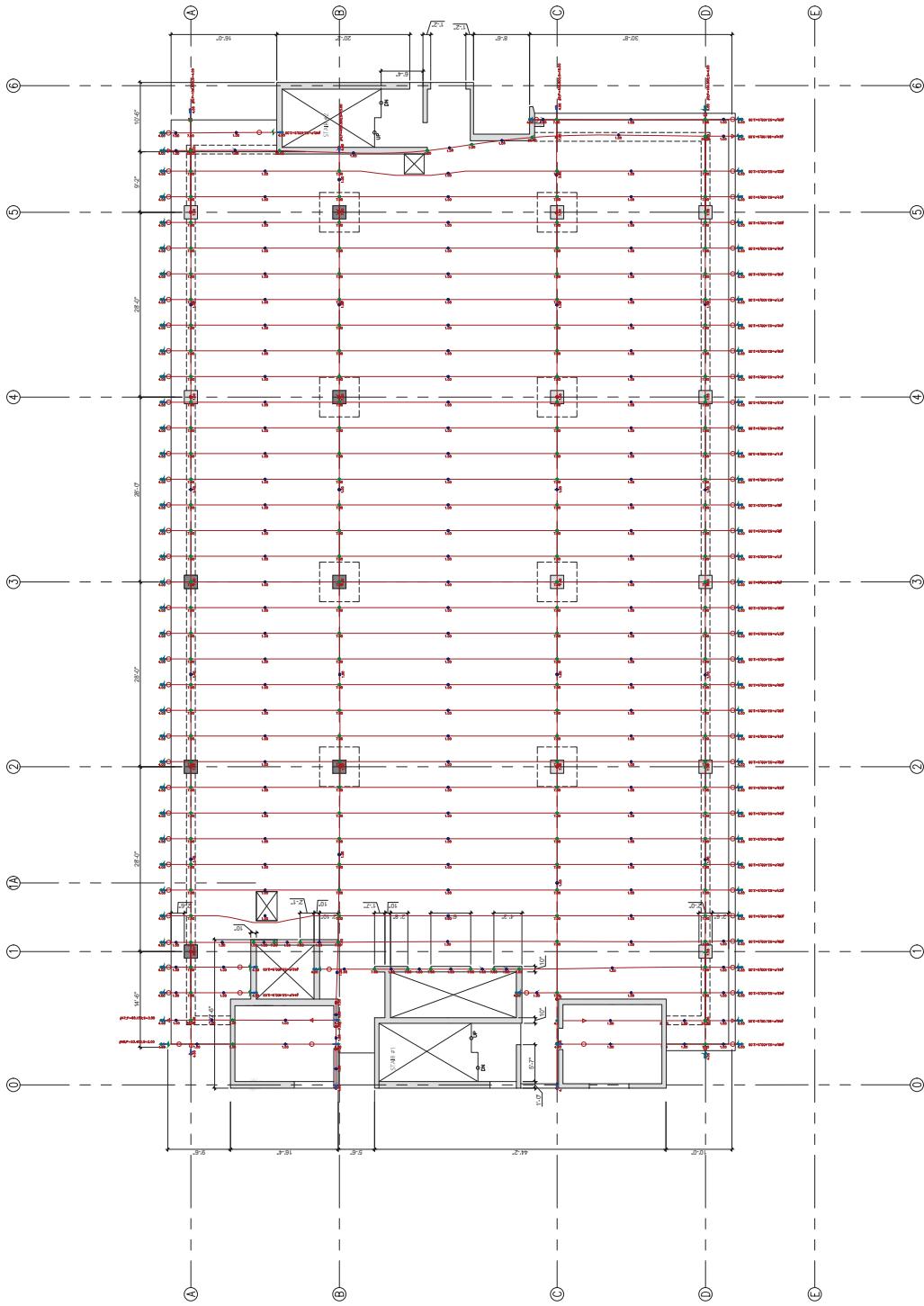
PONCE, PUERTO RICO

EDGARDO FREIREZ  
RCCHIECT AND ASSOCIATES  
527 SERGIO CUENAVAS  
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# OF #  
S-204

GFP	Custom Letter Prints, INC., PE
	STRUCTURAL ENGINEER
	DANIEL A. GALLAGHER, P.E., S.E.C.
	TEL: 704-549-0222
	FAX: 704-549-0222
	E-MAIL: gpm@optonline.net

TYPICAL FLOOR TENDON LAYOUT PLAN



NOTES.—  
1. TUBULAR MEMBERS SHALL BE 4" INCHES DIAMETER, SHOWN IN FRAMING PLAN  
TUBULAR BENDINGS SHALL BE 4" x 15' I.C.  
PERPENDICULAR TO MAIN REINFORCEMENT.  
PROVIDE ADEQUATE CANTER AND SPAN ON SLAB AND BEAMS IN ORDER  
TO COMPENSATE FOR THE ELASTIC REDUCTION OF STRUCTURAL MEMBER  
REINFORCED CONCRETE. NUMBERS SHALL BE PROPERLY  
CALLED OUT IN PLACE WITH CHART V OF THE ACI 318-14 BUILDING CODE.  
REINFORCING BARS LENGTH ON DRAWINGS INCLUDES AN INCHAGE FOR BARS.  
STANDARD HOURS AND DEVELOPMENT LENGTH OF INCHAGES FOR BARS.

**Annotations:**

- DRAWS REINFORCED CONCRETE WALL BELOW ONLY.
- DRAWS REINFORCED CONCRETE WALL ABOVE ONLY.
- DRAWS REINFORCED CONCRETE WALL ABOVE AND BELOW
- DRAWS SLAB TOP NEUTRAL ENFORCEMENT.
- DRAWS SLAB BOTTOM NEUTRAL ENFORCEMENT.
- DRAWS FLOOR TRUSSES, ROOF TRUSSES, ROOF DRAWS.
- DRAWS FLOOR TRUSSES, ROOF TRUSSES, ROOF DRAWS.

**Annotations:**

- (1) ON CE  
C.C.  
T.S.L.  
T.L.  
E.I.
- STANDBY  
HIGH  
EPAR

ABBRIVIATIONS:	
(1)	TOP
(B)	BOTTOM
C.C.	ON CENTER
K.T.	KEYED TO
T.S.A.	TRANSVERSE SPACE LENGTH
G.	STANDARD HOOK, VERTICAL LEG LENGTH
T.L.	BAR TOTAL LENGTH, INCLUDING STD.
	HOOK ANCHORED LENGTH
E.J.	EXPANSION JOINT

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SCALE: .....  
CHECKED BY: .....  
DRAWN BY: .....  
DATE: July 15, 2021  
JOB: .....  
REVISIONS: ..... BY: .....

PONCE OFFICE BUILDING  
PR-14, PONCE

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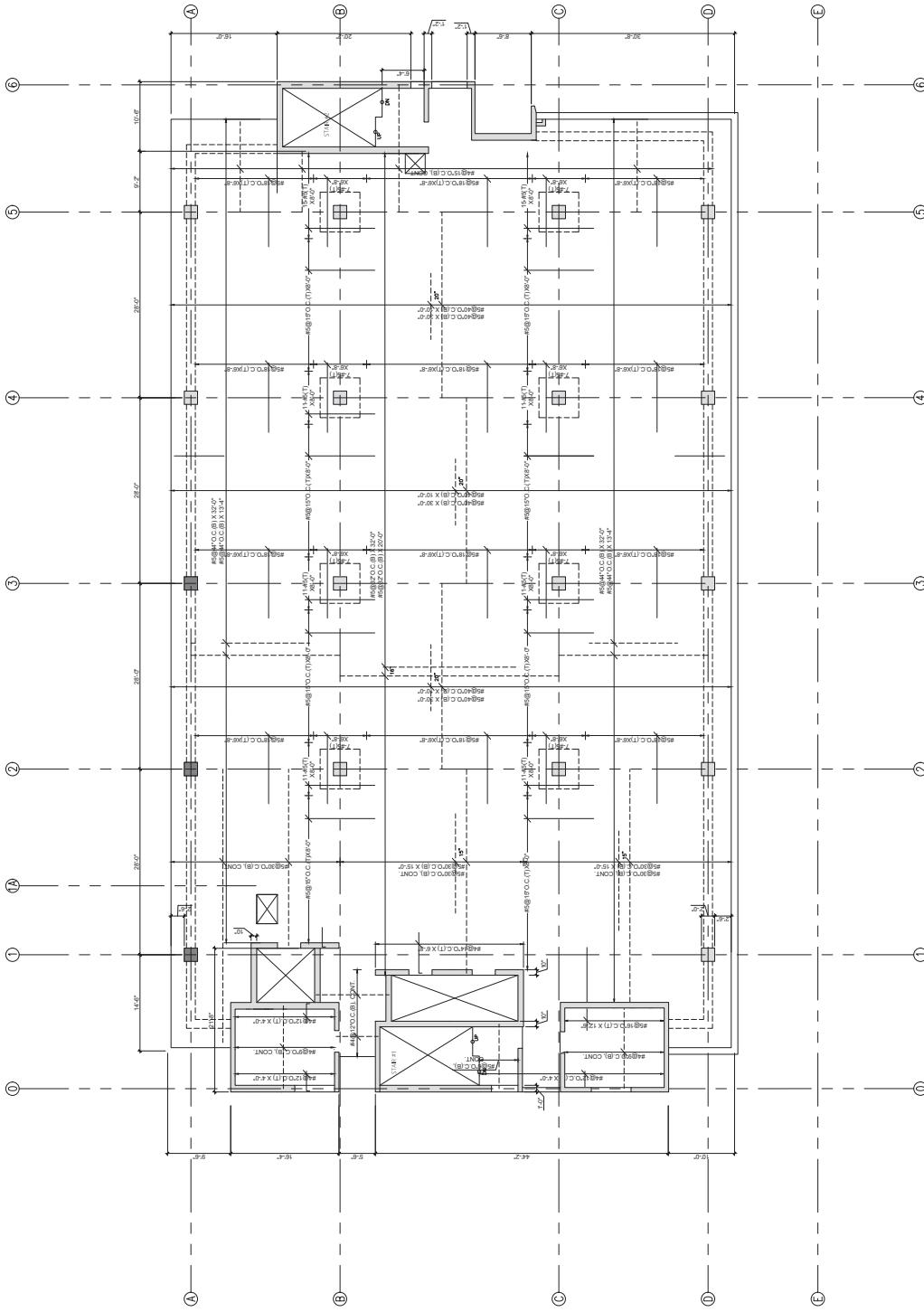
TYPICAL FLOOR REBARS LAYOUT PLAN

**Gulfport Engineers, Inc.**  
STRUCTURAL  
ENGINEER

P.O. BOX 702  
1000 N. Main Street  
Tulsa, OK 74101-7022  
Phone: (918) 661-5222  
Fax: (918) 661-5226  
E-mail: gpe@juno.com

卷之三

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**NOTES:**

1. SUB THICKNESS SHALL BE  $6''$  UNLESS OTHERWISE SHOWN ON FRAMING PLAN.
2. THERMOPANE GLASS SHALL BE  $1/8''$  OR  $1/16''$  O.C.
3. REINFORCING BARS SHALL BE PLACED AT MAXIMUM SPACING OF  $12''$  IN ORDER TO COMPENSATE FOR THE ELASTIC DEFORMATION OF STRUCTURAL MEMBERS.
4. AS SHOWN ON PLANS, ALL CONCRETE COLUMNS ARE TO BE CONSIDERED STIFFENED BY THE USE OF REINFORCING BARS. THE USE OF REINFORCING BARS IS NOT REQUIRED IF DESIGN CURVED IN ACCORDANCE WITH DRAWINGS Y OF THE ACI 318-14 BUILDING CODE.
5. REINFORCEMENT BARS LENGTH ON DRAWINGS Y OF THE ACI 318-14 BUILDING CODE, THE STANDARD HOOKS AND DEVELOPMENT LENGTH OF ANCHORAGES FOR BARS.

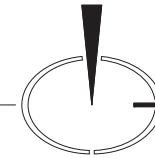
<u>Abbreviations:</u>	TOP	BOTTOM
	ON CEN.	
	CONTINUOUS	
	TENS.	
	STAND.	
	BAR †	
	HOOK	
	EXPAN.	
(1)	O.C.	
(B)	T.S.L.	
	G	
	T.L.	
	E.I.	

AYOUT PLAN

SCALE .....  
DRAWN BY: J. COLON  
DATE: May 16, 2007  
PENSONS BY: J. COLON

PR-14, PONCE  
PONCE OFFICE BUILDING  
EDGARDO PEREZ  
ARCHITECT AND ASSOCIATES  
PONCE, PUERTO RICO  
HATO RECREATIONAL AREA  
TELEFONO (787) 767-0654  
FAX (787) 767-0654  
225 PERRIS OVERS  
MAY 16, 2007

767-0654  
FAX (787) 767-0654  
TELEFONO (787) 767-0654  
HATO RECREATIONAL AREA  
PONCE, PUERTO RICO  
225 PERRIS OVERS  
MAY 16, 2007

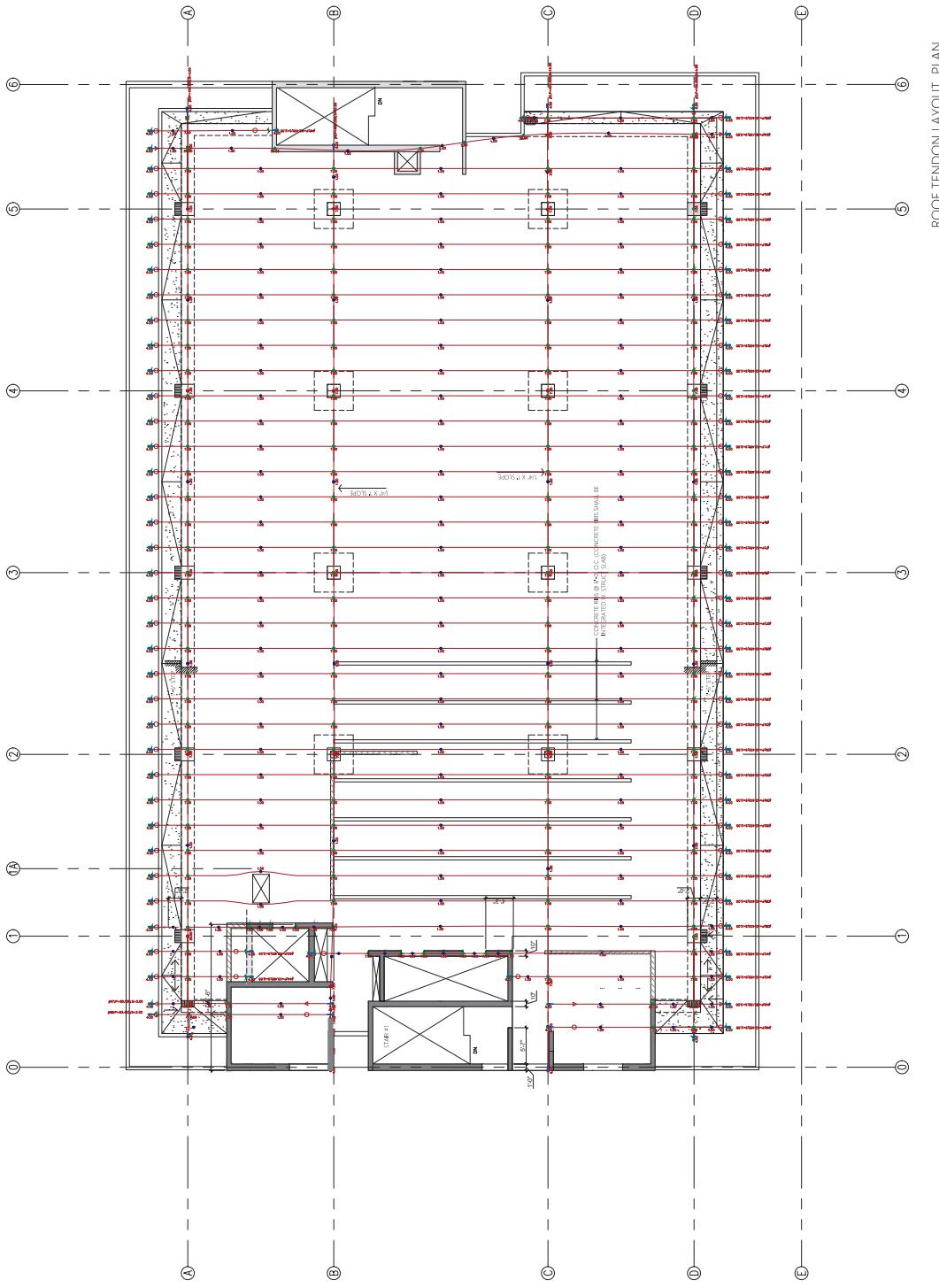


GP  
Engineering Services Inc.  
GENERAL CONTRACTOR  
DESIGNER  
CONTRACTOR  
MANUFACTURER  
SUPPLIER  
DISTRIBUTOR  
MANUFACTURER  
SUPPLIER  
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H x H  
S-206

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CAD FILE:



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OCCUPIED BY .....  
DRAWN BY .....  
DATE .....  
PENSONS .....  
JAE

PONCE OFFICE BUILDING  
PR-14, PONCE

ARCHITECT AND ASSOCIATES  
EDGARDO PEREZ  
S27 PEREZ & OUEVAS  
HATO DE CECILIA, P.R. 00777  
TELEPHONE (787) 767-4654  
FAX (787) 767-4654

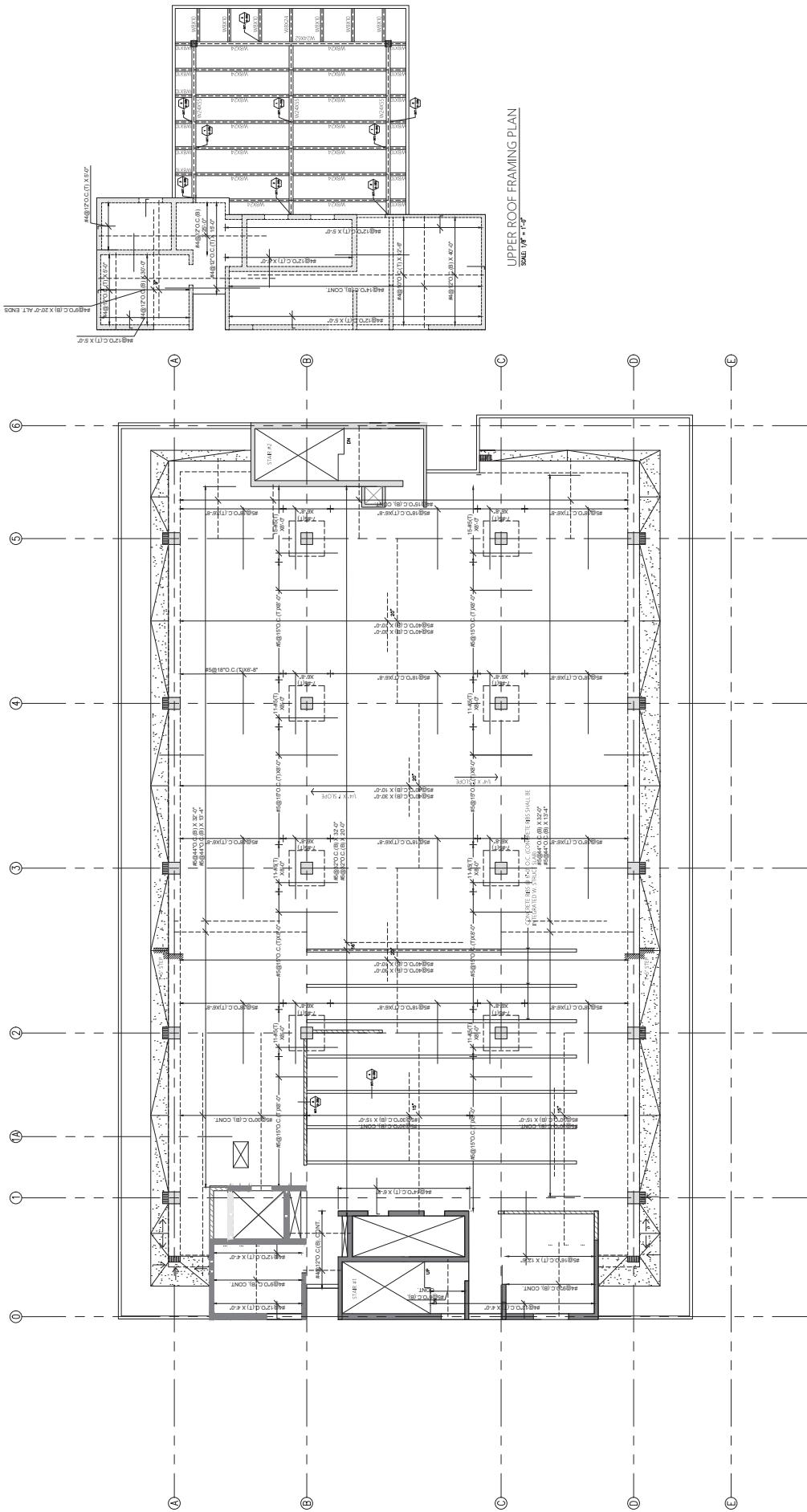
H or H



THE REGISTERED TRADEMARK OF THE GOVERNMENT OF PUERTO RICO FOR THE DESIGNATION OF THE OFFICIAL LANGUAGE OF THE GOVERNMENT OF PUERTO RICO.

CAD RE:

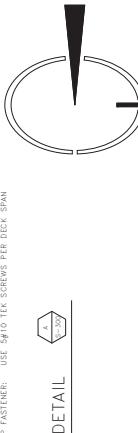
S-207



SCALE: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
DRAWN BY: J. COLON  
DATE: July 26, 2020  
JOB #: \_\_\_\_\_  
REVISIONS: \_\_\_\_\_ BY: \_\_\_\_\_

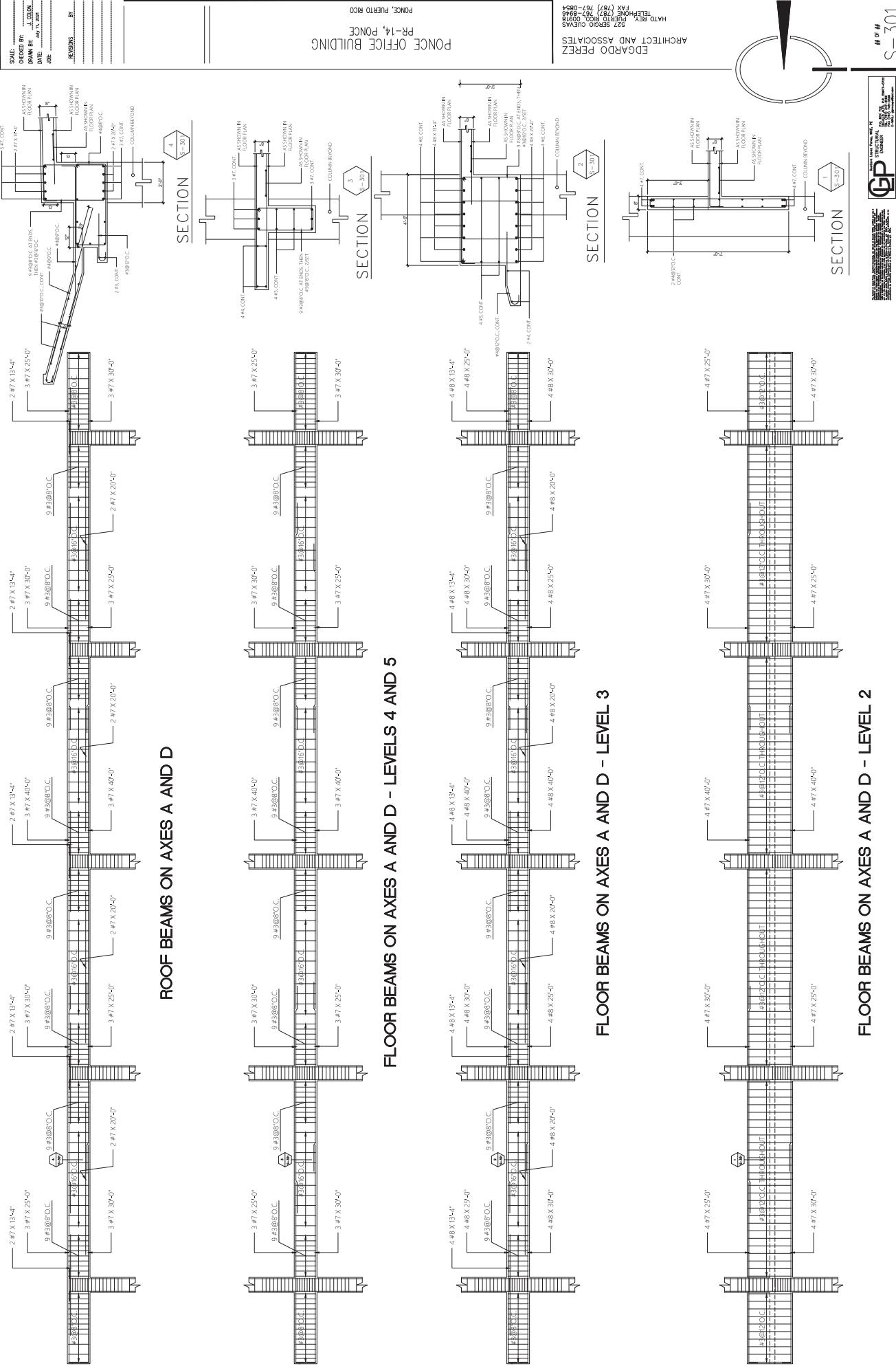
PONCE OFFICE BUILDING  
PR-14, PONCE  
PONCE PLAZA BLDG

HATO REY, PURITO RICO 00918  
527 SERGIO CUVEAS  
EDGARDO PEREZ  
ARCHITECT AND ASSOCIATES  
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FAX (787) 767-0854



# OF #  
300

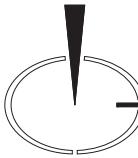
**Gulfport Lumber Products, Inc.**, PE  
STRUCTURAL ENGINEER  
P.O. BOX 723, MS 39007-0723  
FAX: (662) 232-1330



SCALE: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_ J. COLON  
DATE: \_\_\_\_\_ July 16, 2020  
JOB: \_\_\_\_\_  
REVISIONS: \_\_\_\_\_ BY: \_\_\_\_\_

PONCE, PUERTO RICO

ARCHITECT AND ASSOCIATES  
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527 SERGIO CUEVAS  
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TELEPHONE (787) 767-8946  
FAX (787) 767-0654



**W OF #**  
**S-302**

**Gulfport Engineers, Inc.**  
STRUCTURAL  
ENGINEERS  
P.O. BOX 702  
1000 N. Main Street  
Tulsa, OK 74101-7022  
Phone: (918) 661-5222  
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E-mail: gpe@worldnet.att.net

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OCCUPIED BY .....  
DRAWN BY .....  
DATE .....  
JDE .....  
COLON

#### GENERAL POST TENSIONING NOTES

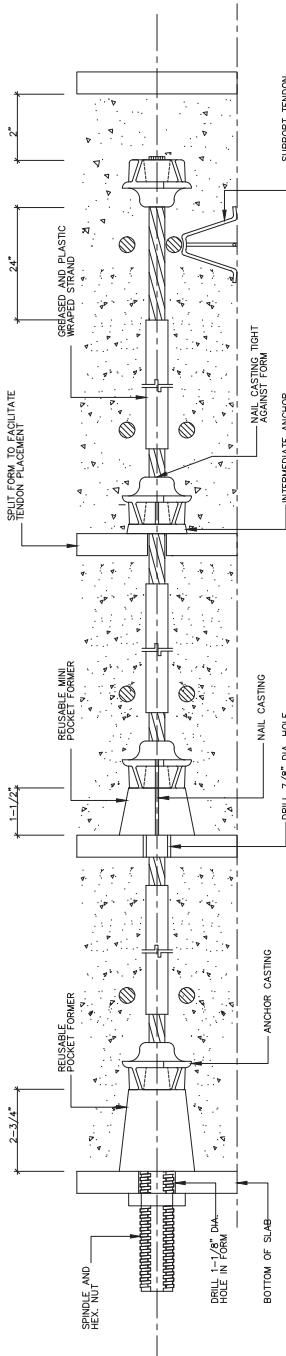
- MATERIALS :  
STRAND : 270K-1/2" DIAMETER 7 WIRE, PER ASTM-A-416  
ANCHORAGES : LAST DUCTILE IRON, GRADE 80-55-06 PER ASTM-A-416
- TENDONS SHALL BE STRESSED TO 28-KSI (80°-4) AND WEDGES  
(#0-6) CONTINENTAL, W/W-RM GRADE PRESSURE = 240-LBS.
- CONCRETE STRENGTH AT TRANSFER OF PRETENSION FORCE, AS VERIFIED  
BY TESTS, IS 3000 LBS/SQ IN. A 100% ALLOWABLE W/W-RM GRADE PRESSURE = 5260-LBS.
- ELONGATION :  
LTH X 1.2 X 1000-LBS
- FIELD RECORDINGS OF ELONGATION AND FORCES SHALL NOT EXCEED  
MORE THAN 7 % FROM THE REQUIRED VALUES.
- IN THE EVENT CONFLICT OCCURS BETWEEN TENDONS AND REINFORCING  
STEEL, THE LOCATION OF TENDONS SHALL TAKE PREDENCE.
- COUPLES SHALL BE PLACED AT LEAST 12" FROM ALL TENDONS.
- ELONGATION :

- 26,000 KG (58,000 LBS) (ISSUED)
2. TENDONS SHALL BE STRESSED TO A MAXIMUM ANCHORAGE STRESS OF 198-KSI  
(#0-6) CONTINENTAL, W/W-RM GRADE PRESSURE = 240-LBS.
3. CONCRETE STRENGTH AT TRANSFER OF PRETENSION FORCE, AS VERIFIED  
BY TESTS, IS 3000 LBS/SQ IN. A 100% ALLOWABLE W/W-RM GRADE PRESSURE = 5260-LBS.
4. ELONGATION :

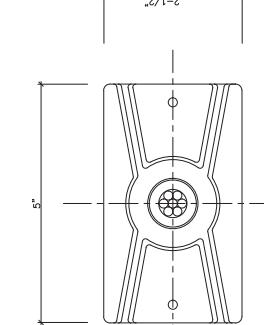
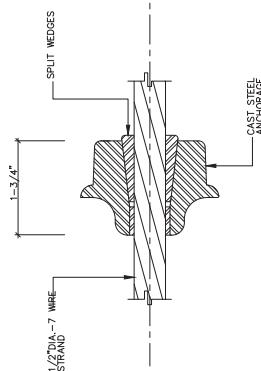
SUPPORT TENDON  
OF SLAB AT FIXED END.

**FIXED END**

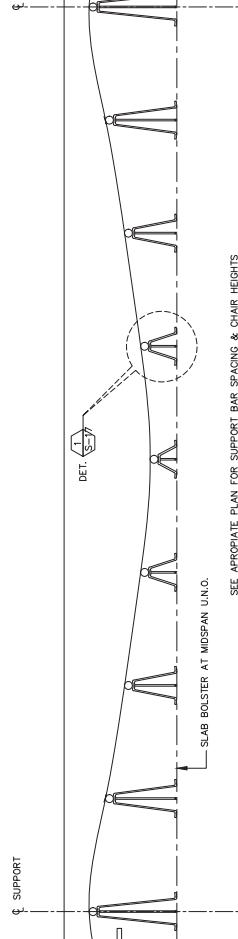
INTERMEDIATE ANCHOR AT  
CONSTRUCTION JOINT



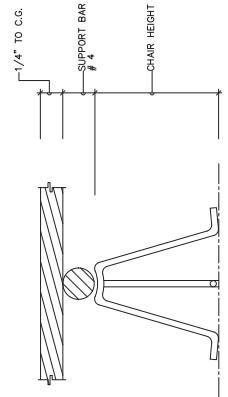
#### TYPICAL STRESSING DETAIL



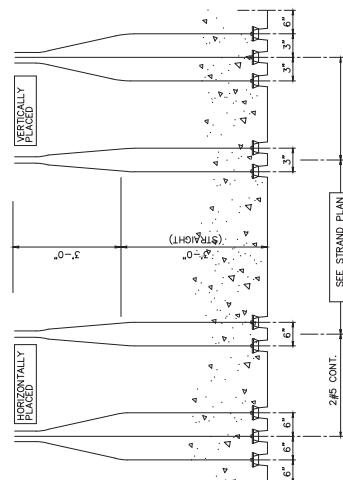
#### ANCHORAGE HARDWARE DETAIL



#### DETAIL



#### DETAIL



#### MULTI-STRAIN TENDON DETAIL



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CAD: RE:

H or H

S-400

POINCE OFFICE AND ASSOCIATES  
ARCHITECT AND ASSOCIATE  
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POINCE, PUERTO RICO  
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TELEFAX (787) 767-0654  
HATO DE LA PRIMA, KM 0.5  
P.O. BOX 1000  
787-765-0018  
TELEFAX (787) 767-0654

SCALE .....  
ORDERED BY: .....  
DRAWN BY: .....  
DATE: May 2, 2001  
JES: .....  
PENSONS: .....  
BY: .....

PONCE, PURERTO RICO

ARCHITECT AND ASSOCIATES

EDGARDO PEREZ

STRUCTURAL ENGINEERS

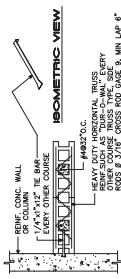
252 PENSON ST., Caguas, PR 00725-1000

TEL: (787) 767-0654

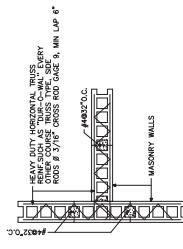
FAX: (787) 767-0654

PONCE OFFICE BUILDING

PR-14 PONCE



MASONRY WALL TO REINF CONC.  
WALL ANCHORAGE DETAIL



MASONRY WALLS HORIZONTAL REINF.

Tension Development Length ( $l_d$ ), (inches)  
(Minimum Strength Condition, length)

$f_c = 3,000 \text{ psi}$

$f_c = 3,500 \text{ psi}$

$f_c = 4,000 \text{ psi}$

$f_c = 6,000 \text{ psi}$

$f_c = 8,000 \text{ psi}$

$f_c = 10,000 \text{ psi}$

$f_c = 12,000 \text{ psi}$

$f_c = 14,000 \text{ psi}$

$f_c = 16,000 \text{ psi}$

$f_c = 18,000 \text{ psi}$

$f_c = 20,000 \text{ psi}$

$f_c = 22,000 \text{ psi}$

$f_c = 24,000 \text{ psi}$

$f_c = 26,000 \text{ psi}$

$f_c = 28,000 \text{ psi}$

$f_c = 30,000 \text{ psi}$

$f_c = 35,000 \text{ psi}$

$f_c = 40,000 \text{ psi}$

$f_c = 45,000 \text{ psi}$

$f_c = 50,000 \text{ psi}$

$f_c = 55,000 \text{ psi}$

$f_c = 60,000 \text{ psi}$

$f_c = 65,000 \text{ psi}$

$f_c = 70,000 \text{ psi}$

$f_c = 75,000 \text{ psi}$

$f_c = 80,000 \text{ psi}$

$f_c = 85,000 \text{ psi}$

$f_c = 90,000 \text{ psi}$

$f_c = 95,000 \text{ psi}$

$f_c = 100,000 \text{ psi}$

$f_c = 105,000 \text{ psi}$

$f_c = 110,000 \text{ psi}$

$f_c = 115,000 \text{ psi}$

$f_c = 120,000 \text{ psi}$

$f_c = 125,000 \text{ psi}$

$f_c = 130,000 \text{ psi}$

$f_c = 135,000 \text{ psi}$

$f_c = 140,000 \text{ psi}$

$f_c = 145,000 \text{ psi}$

$f_c = 150,000 \text{ psi}$

$f_c = 155,000 \text{ psi}$

$f_c = 160,000 \text{ psi}$

$f_c = 165,000 \text{ psi}$

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$f_c = 180,000 \text{ psi}$

$f_c = 185,000 \text{ psi}$

$f_c = 190,000 \text{ psi}$

$f_c = 195,000 \text{ psi}$

$f_c = 200,000 \text{ psi}$

$f_c = 205,000 \text{ psi}$

$f_c = 210,000 \text{ psi}$

$f_c = 215,000 \text{ psi}$

$f_c = 220,000 \text{ psi}$

$f_c = 225,000 \text{ psi}$

$f_c = 230,000 \text{ psi}$

$f_c = 235,000 \text{ psi}$

$f_c = 240,000 \text{ psi}$

$f_c = 245,000 \text{ psi}$

$f_c = 250,000 \text{ psi}$

$f_c = 255,000 \text{ psi}$

$f_c = 260,000 \text{ psi}$

$f_c = 265,000 \text{ psi}$

$f_c = 270,000 \text{ psi}$

$f_c = 275,000 \text{ psi}$

$f_c = 280,000 \text{ psi}$

$f_c = 285,000 \text{ psi}$

$f_c = 290,000 \text{ psi}$

$f_c = 295,000 \text{ psi}$

$f_c = 300,000 \text{ psi}$

$f_c = 305,000 \text{ psi}$

$f_c = 310,000 \text{ psi}$

$f_c = 315,000 \text{ psi}$

$f_c = 320,000 \text{ psi}$

$f_c = 325,000 \text{ psi}$

$f_c = 330,000 \text{ psi}$

$f_c = 335,000 \text{ psi}$

$f_c = 340,000 \text{ psi}$

$f_c = 345,000 \text{ psi}$

$f_c = 350,000 \text{ psi}$

$f_c = 355,000 \text{ psi}$

$f_c = 360,000 \text{ psi}$

$f_c = 365,000 \text{ psi}$

$f_c = 370,000 \text{ psi}$

$f_c = 375,000 \text{ psi}$

$f_c = 380,000 \text{ psi}$

$f_c = 385,000 \text{ psi}$

$f_c = 390,000 \text{ psi}$

$f_c = 395,000 \text{ psi}$

$f_c = 400,000 \text{ psi}$

$f_c = 405,000 \text{ psi}$

$f_c = 410,000 \text{ psi}$

$f_c = 415,000 \text{ psi}$

$f_c = 420,000 \text{ psi}$

$f_c = 425,000 \text{ psi}$

$f_c = 430,000 \text{ psi}$

$f_c = 435,000 \text{ psi}$

$f_c = 440,000 \text{ psi}$

$f_c = 445,000 \text{ psi}$

$f_c = 450,000 \text{ psi}$

$f_c = 455,000 \text{ psi}$

$f_c = 460,000 \text{ psi}$

$f_c = 465,000 \text{ psi}$

$f_c = 470,000 \text{ psi}$

$f_c = 475,000 \text{ psi}$

$f_c = 480,000 \text{ psi}$

$f_c = 490,000 \text{ psi}$

$f_c = 500,000 \text{ psi}$

ACI STANDARD HOOKS

Basic Tension Splices For Grade 60 Bars

Bar Size A

B

C

A

B

C

A

B

C

A

B

C

A

B

C

A

B

C

A

B

C

A

B

C

A

B

C

A

B

C

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C

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C

A

B

C

A

B

C

A

B

C

A

B

C

STIRRUPS HOOKS DET.

RECOMMENDED STIRRUP NO. IN WOOD CHAMFER

Grade 40-50-60, 1/2" dia.

A = 10° G = 10° H = 10°

A = 15° G = 15° H = 15°

A = 20° G = 20° H = 20°

A = 25° G = 25° H = 25°

A = 30° G = 30° H = 30°

A = 35° G = 35° H = 35°

A = 40° G = 40° H = 40°

A = 45° G = 45° H = 45°

A = 50° G = 50° H = 50°

A = 55° G = 55° H = 55°

A = 60° G = 60° H = 60°

A = 65° G = 65° H = 65°

A = 70° G = 70° H = 70°

A = 75° G = 75° H = 75°

A = 80° G = 80° H = 80°

A = 85° G = 85° H = 85°

A = 90° G = 90° H = 90°

A = 95° G = 95° H = 95°

A = 100° G = 100° H = 100°

A = 105° G = 105° H = 105°

A = 110° G = 110° H = 110°

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A = 255° G = 255° H = 255°

A = 260° G = 260° H = 260°

A = 265° G = 265° H = 265°

A = 270° G = 270° H = 270°

A = 275° G = 275° H = 275°

A = 280° G = 280° H = 280°

A = 285° G = 285° H = 285°

A = 290° G = 290° H = 290°

A = 295° G = 295° H = 295°



SCALE ..... CHECKED BY ..... DRAWN BY ..... M. PEREZ DATE ..... August 3, 2021 JOB# ..... REVISIONS ..... BY ..... ..... .....
---

EGARDO PEREZ  
ARCHITECT AND ASSOCIATES  
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PR-14, PONCE  
527 3600 CUEVAS  
HATO REY, P.R. 00765  
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FAX: (787) 852-0646

A diagram showing a circular loop with a red arrow pointing upwards from its center.

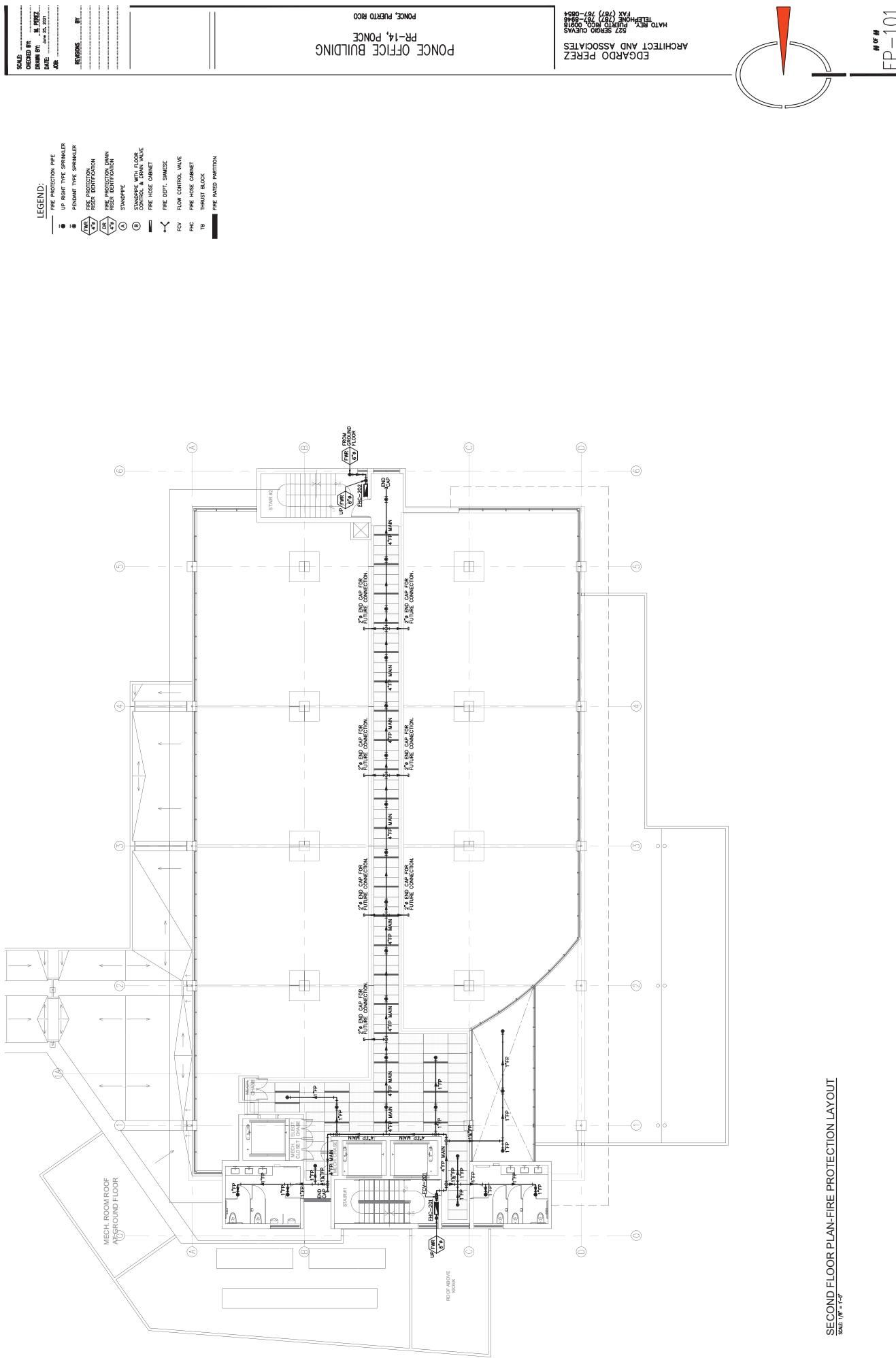
100

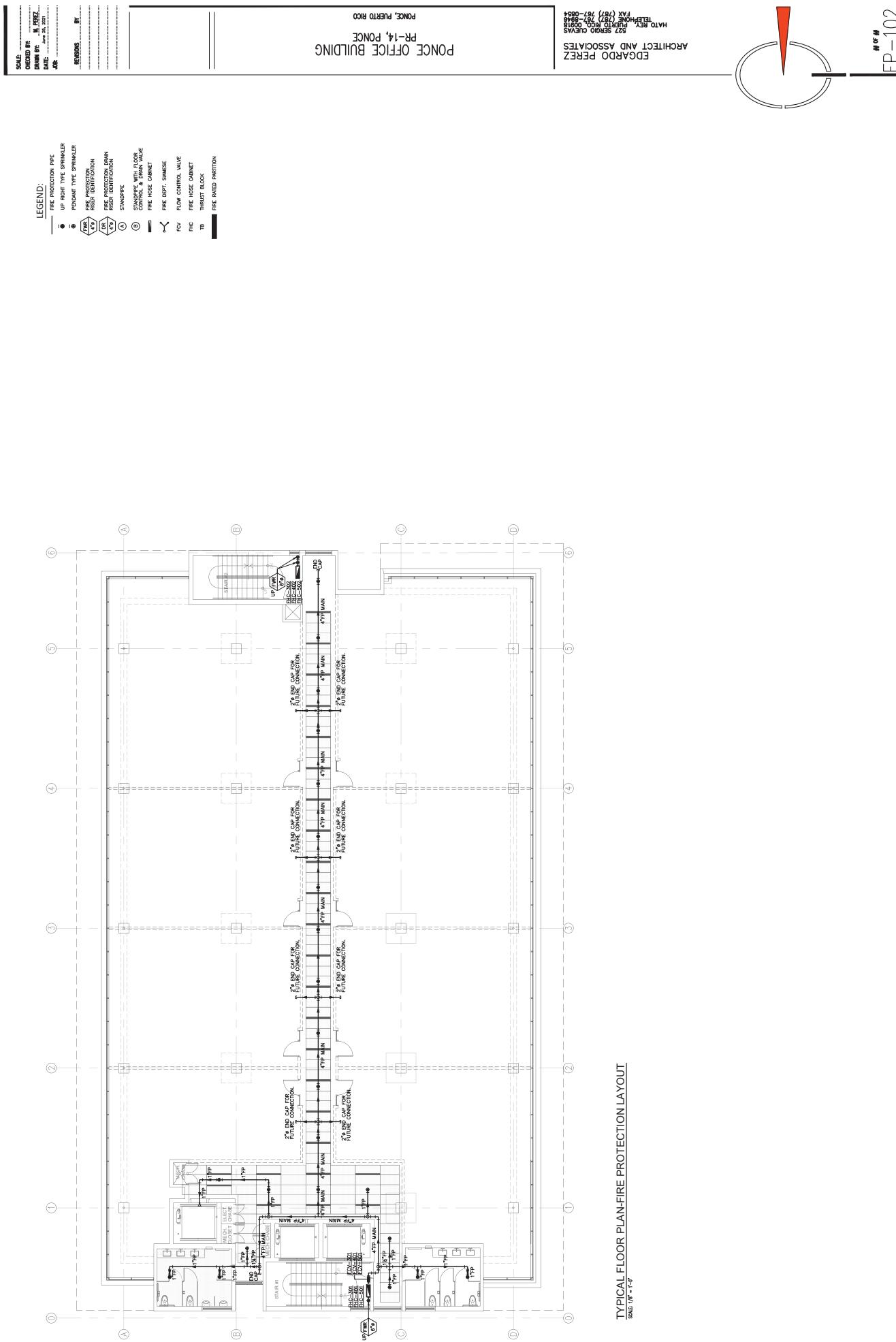
## LEGEND:

- 

This detailed architectural electrical plan shows the main floor tenant area (8,000pc) and surrounding underground and terrace areas. The plan includes various electrical systems such as power distribution, lighting, and communication. Key features include:

- MAIN FLOOR TENANT:** 8,000pc.
- POWER DISTRIBUTION:** Includes multiple 6TP MAIN and 4TP MAIN circuits, with labels like "END CAP FOR FUTURE CONNECTION" and "274 END CAP FOR FUTURE CONNECTION".
- COMMUNICATION:** A large area labeled "FOR PING OF THIS AREA SEE OR DRAW. PL-105" is indicated.
- ELEVATORS:** Two elevators are shown, one labeled "ELEVATOR" and another "ELEVATOR".
- TRANSFORMERS:** An additional transformer is located in the "CLOSET" area.
- EMERGENCY POWER:** Emergency power is provided via "EMERG. TRANSFORMER" and "EMERG. POWER" outlets.
- WATER SYSTEMS:** A "WATER LINE" is shown with a "VALVE CHECK" and "21% - 25% + 1%".
- ACCESSIBILITY:** Handicap accessible symbols are present throughout the plan.
- OUTDOOR TERRACE:** An outdoor terrace area is shown at the bottom right.



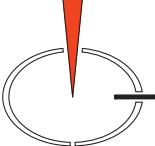


DRAWN BY: M. PEREZ  
 DATE: 4/08  
 REVISIONS: BY:  
 SCALE: 1/8" = 1'-0"

PONCE OFFICE BUILDING  
 PR-14, PONCE  
 PONCE, PUERTO RICO

ARCHITECT AND ASSOCIATES  
 EDGARDO PEREZ

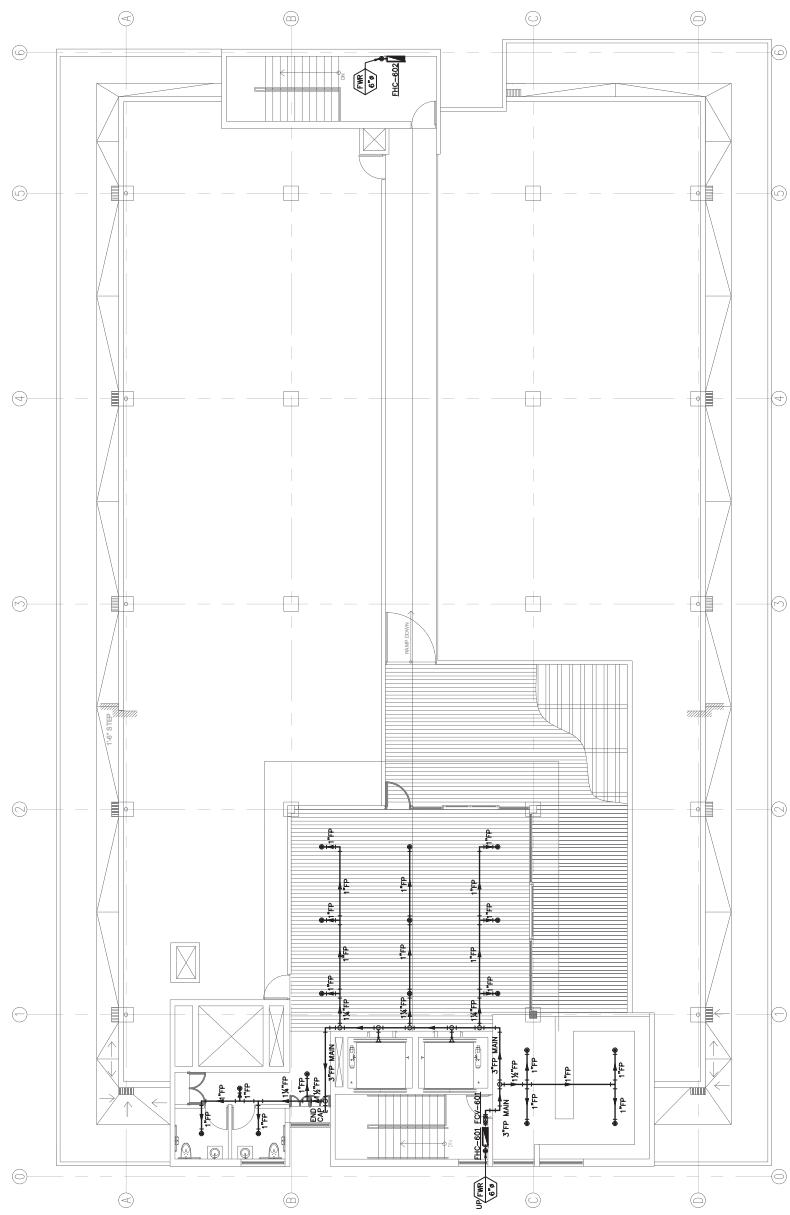
HATO REY, PUERTO RICO, 00776  
 TEL: (787) 767-6644  
 FAX: (787) 767-6645  
 E-MAIL: EDGARDO@HATOREY.COM.PW



# of  
 FP-103

**LEGEND:**

- UP RIGHT TYPE SPRINKLER
- PLUNGE TYPE SPRINKLER
- ◆ FREE PROTECTION PIPE
- FREE PROTECTION RISER IDENTIFICATION
- △ FREE PROTECTION RISER BODY COLOR
- ◎ SPRINKLER
- STANDPIPE WITH FLOOR CONTROL VALVE
- FREE HOSE CABINET
- Y FREE DEPT. SNAKE
- FCV FLOW CONTROL VALVE
- FHC FREE HOSE CABINET
- TB THRUST BLOCK
- FREE RATED PARTITION



ROOF PLAN FIRE PROTECTION LAYOUT





SCALE ..... CHECKED BY ..... M. PIREZ  
DRAWN BY ..... DATE ..... AUGUST 3, 2001  
JOB # ..... REVISIONS BY .....

PR-14, PONCE OFFICE BUILDING

EDGARDO PEREZ  
RCHITECT AND ASSOCIATES

P1 - 100

PLUMBING LEGEND:

- |        |   |   |
|--------|---|---|
| - - -  | NON POTABLE WATER LINE                              |   |
| - - -  | COLD POTABLE WATER LINE                             |   |
| - - -  | HOT POTABLE WATER LINE (INSULATED)                  |   |
| - - -  | SANITARY WASTE LINE                                 |   |
| - - -  | STORM SEWER LINE                                    |   |
| - - -  | INDICATES COAL WATER RISER DESIGNATION AND SIZE     |   |
| - - -  | INDICATES COAL WATER RISER DESIGNATION AND SIZE     |   |
| - - -  | INDICATES SANITARY STACK DESIGNATION AND SIZE       |   |
| - - -  | INDICATES SANITARY STACK DESIGNATION AND SIZE       |   |
| - - -  | INDICATES WASTE STACK DESIGNATION AND SIZE          |   |
| - - -  | INDICATES MAIN LEADER STACK DESIGNATION AND SIZE    |   |
| - - -  | INDICATES SANITARY VENTILATION DESIGNATION AND SIZE |   |
| - - -  | INDICATES SANITARY VENTILATION DESIGNATION AND SIZE |   |
| P-1    | P-1   | NOTES: A BREVING, IN THE<br>P-1 SECTION, IS TO BE SERVED<br>BY THE PLUMBER. |
|        |   | PLUMBING<br>ABBREVIATIONS:  |
| C.W.   | COLD WATER  | SUPPLY (INSULATED)  |
| H.P.S. | HOT WATER   | RETURN (INSULATED)  |
| H.A.R. | HOT AIR   | VENT STACK  |
| (1H)   |   | MCO   |
| F.G.C. | FLOOR   | CLEAN OUT   |
| G.C.O. | GROUND  | CLEAN OUT   |
| W.H.   | WATER   | HEATER  |
| F.D.   | FLOOR   | DRAIN   |
| V      | VENTILATION   |   |
| VSD    | VARIABLE SPEED DRIVE                                |   |
| H.S.   | HIGH SPEED  |   |
| H.S.B. | HIGH SPEED<br>BLOWERS                               |   |
| R.L.   | RAIN LEADER   |   |
| (E)    | EXISTING  |   |
| (C)    | CHASE NUMBER  |   |
|        |   | POINT OF CONNECTION   |
|        |   | TOP   |

This detailed architectural floor plan illustrates the layout and plumbing distribution for a building. The plan includes several rooms such as a KIOSK, TRANSFORMER ROOM, CLOSET, ELEVATOR, and multiple BATHrooms. Key features include:

- Plumbing Systems:** The plan shows a network of pipes, including 4" F.P. MAIN PIPE, 1" G.S. MANUAL COLLECTION PIPE, and 1" S.S. MANUAL COLLECTION PIPE.
- Drainage:** It includes provisions for DRAIN OVERFLOW, BROWN OVERFLOW, and CIVIL SITE DRAINAGE.
- Electrical:** Transformer, additional emergency power, and lighting fixtures are indicated.
- Structural and Other:** A Vortex Rainwater Filter, a dedicated copy room, and an outdoor terrace area are shown.
- Annotations:** Numerous annotations provide specific details for certain fixtures and connections, such as "FOR PIPING OF M/S AREA SEE ON PLG. PL-105.", "FOR CON. SEE CIVIL SITE PLAN.", and "FOR CON. SEE CIVIL SITE PLAN." for various fixtures.

GROUNDFLOOR PLAN-PLUMBING LAYOUT

SOLE	.....	REASONS	.....
CHECKED BY:	M. F. PERRY Date: May 22, 2001	BY	.....
JOBS	.....	.....	.....

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PONCE OFFICE BUILDING

EDGARDO FREIRE  
RCHITECT AND ASSOCIATES  
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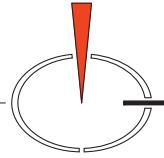
<b>PLUMBING LEGEND:</b>	<b>NON POTABLE WATER LINE</b>	<b>COLD POTABLE WATER LINE</b>	<b>HOT POTABLE WATER LINE (INSULATED)</b>	<b>SANITARY SEWER LINE</b>	<b>SANITARY VENTILATION LINE</b>	<b>STORM SEWER LINE</b>
—	—	—	—	—	—	—
—	—	—	—	—	—	—
—	—	—	—	—	—	—
—	—	—	—	—	—	—

PLUMBING ABBREVIATIONS

POINT OF CONNECTION  
TYPICAL

10

SECOND FLOOR PLAN-PLUMBING LAYOUT



P1-10

SALE.....	CHARGED BY.....	PR-14, PONCE	PONCE PREMIER PRO
CHARGED IN.....	DATE.....	PRONCE OFFICE BUILDING	
DRUM RT.....	AMOUNT.....		
400	400		

EDGARD PEREZ ARCHITECT AND ASSOCIATES

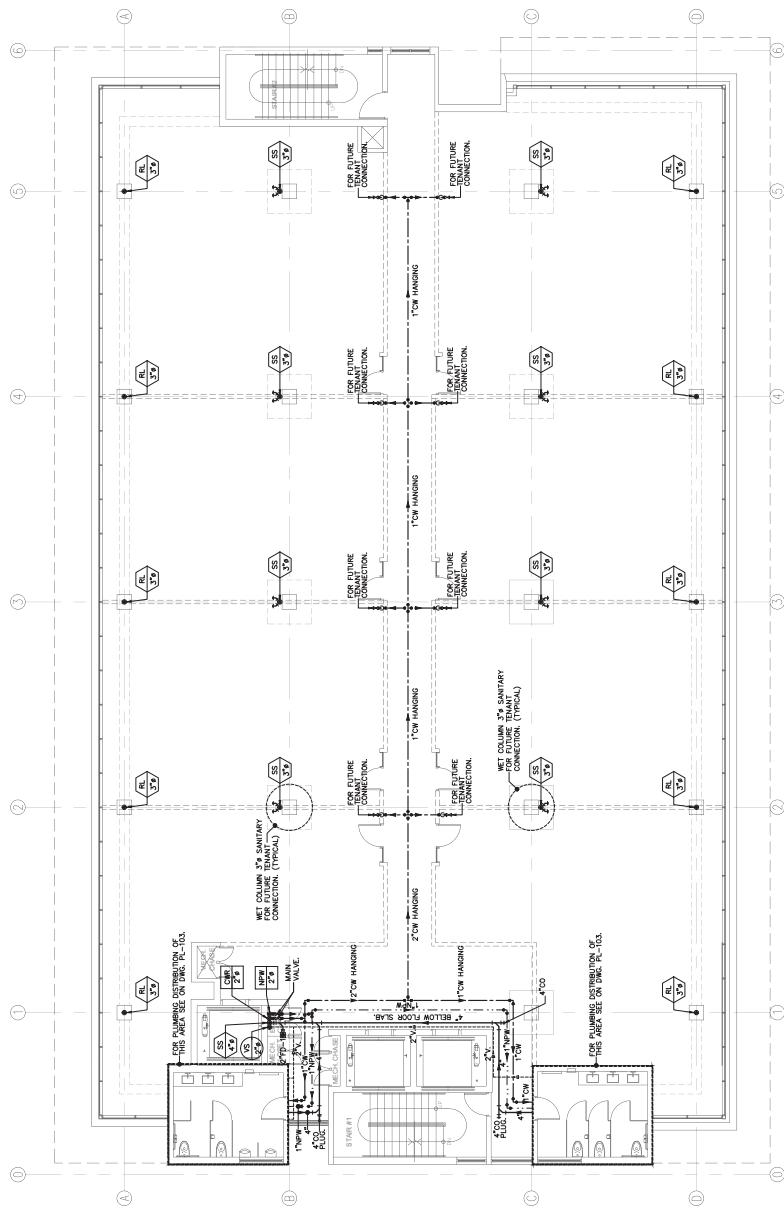
BIMMING LEGEND

— — — — —	NON POTABLE WATER LINE	CW	INDICATES COOL WATER RISER
— — — — —	COLD POTABLE WATER LINE	SW	SANITARY WASTE
— — — — —	HOT POTABLE WATER LINE	SW	STORM SEWER LINE
— — — — —	SANITARY SEWER LINE	—	INDICATION FOR DRAINAGE
— — — — —	SANITARY VENTILATION LINE	—	INDICATION FOR VENTILATION
— — — — —	STORM SEWER LINE	—	INDICATION FOR STORM

#### LUMBER ABBREVIATIONS:

<b>COL. A</b>	<b>COL. B</b>	<b>COL. C</b>
Q. S.	Q. R.	Q. S.
COL. D	COL. E	COL. F
WATER SUPPLY (INSULATED)	WATER RETURN (INSULATED)	
VENT TICK	MALE CLEAN OUT	
0	GROUND 0	GROUNDED 10"
	WATER DRAIN	WATER DRAIN
	VENTILATION	
	VARIABLE SPEED DRIVE	
	RATE SWEEP	
	ROOF LEADER	
	EXISTING	CHASE NUMBER
		PONT OF CONNECTION

1142

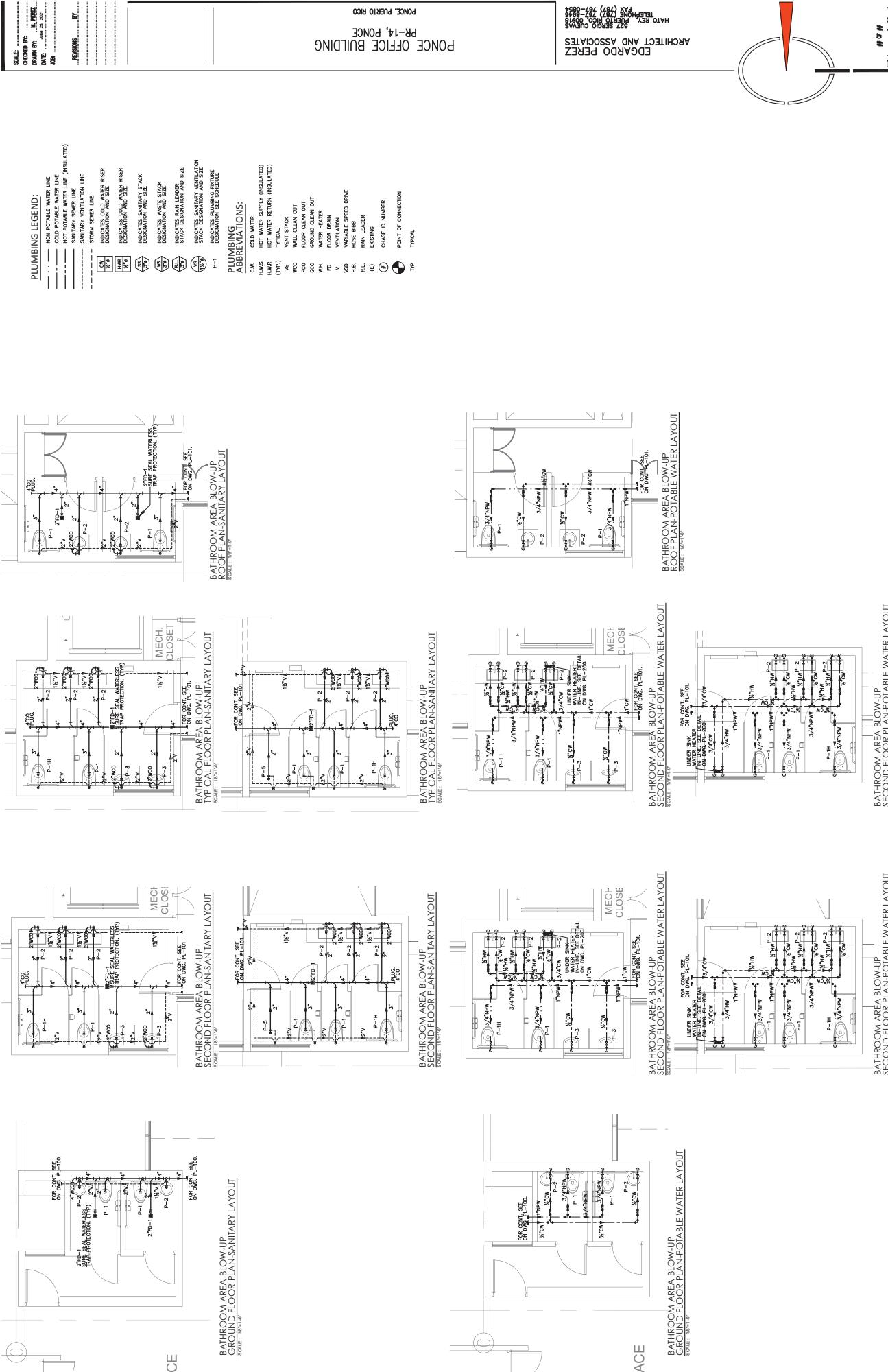


## TYPICAL FLOOR PLAN-PLUMBING LAYOUT

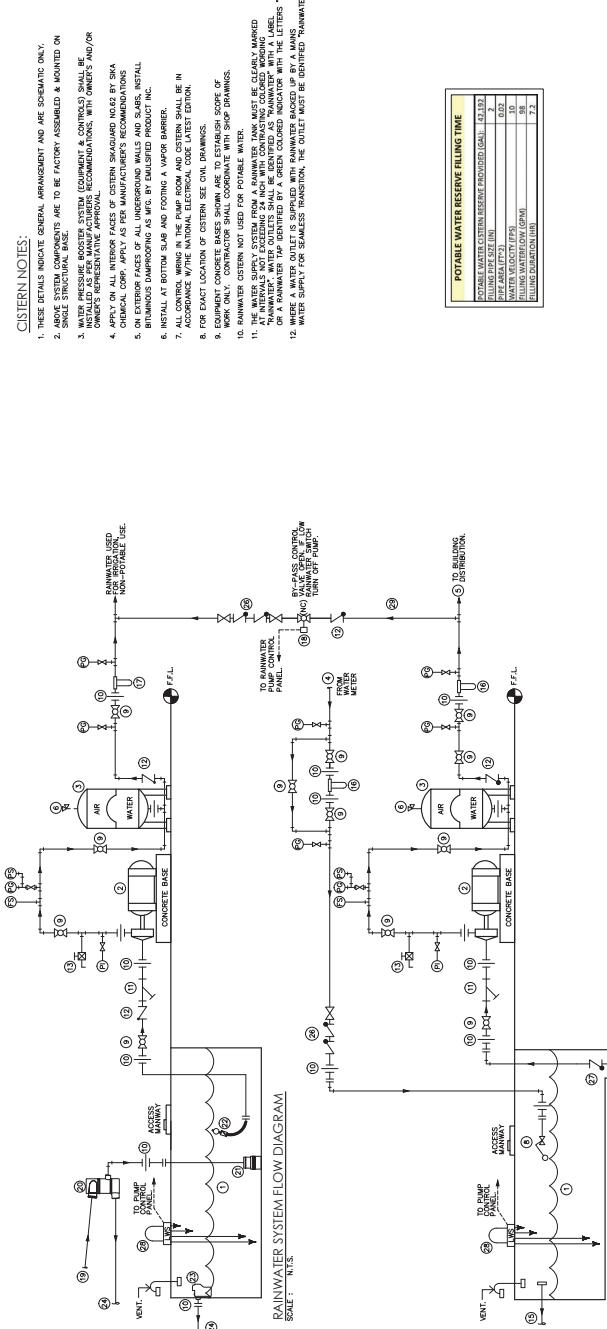
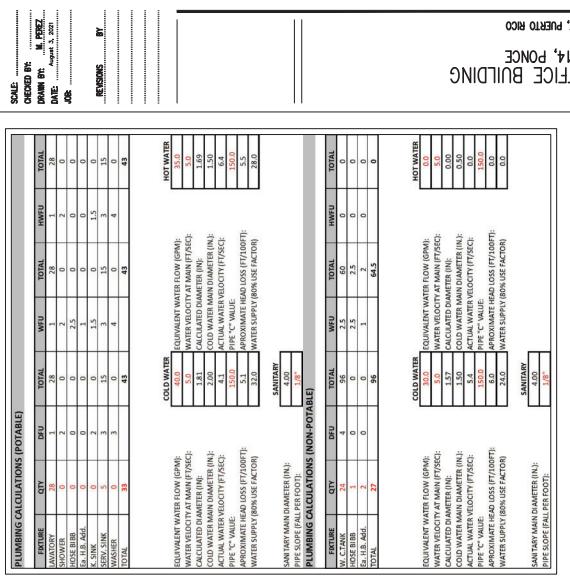
310

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BRAKIN BY.....	J. MARRERO.....
DATE.....	August 3, 2021.....
AMOUNT.....	\$20.00.....
REASONS.....	
BY.....	

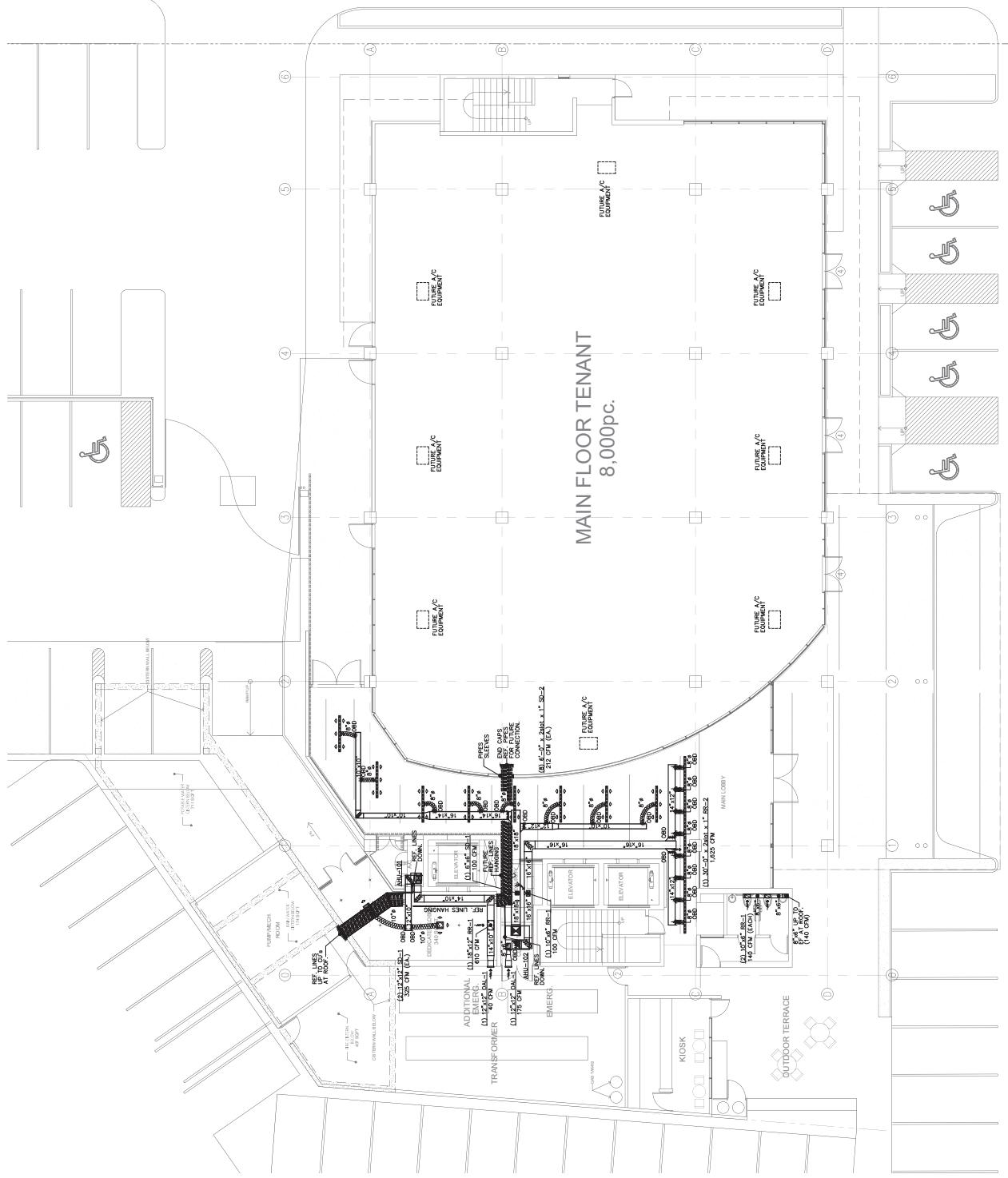
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267 SEDEGO CUEVAS  
HATO REY, P.R. 00916  
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A diagram showing a circular loop with a red arrow pointing upwards from its center.

VAC-100

ABBREVIATIONS:

E/F	EF	EXHAUST FAN
S/A	SA	SUPPLY AIR PER MINUTE
R/A	RA	RETURN AIR
O/A	OA	OUTSIDE AIR
P/A	PA	PACKAGED UNIT
D/P	PD	SUPER DUCT REGISTER
R/R	RR	RETURN REGISTER
O/A	OA	OUTSIDE AIR LOVER
L/D	LD	LOCAL CONTROL MODULE
G/M	GM	GENERAL CONTROL MODULE
T/P	TP	TEMPERATURE SENSOR
F/U	FU	FAN COIL UNIT
D/W	DW	DRAWING
F/L	FL	FLEXIBLE
C/U	CU	CONDENSING UNIT
CONN.	CONN.	CONNECTION
A/H	AH	AC HANDLING UNIT
O/D	OD	OPPOSED DUCT DAMPER
T/C	TC	TEMPERATURE CONTROL
E/S	ES	EXTENDING
(N)	(N)	NEW
R/R	RR	RETURN REGISTER
N	N	NECK
C/CONCRETE	C/CONCRETE	CONCRETE
(TYP.)	(TYP.)	TYPE
S/D	SD	SURFACE DETECTOR
D/P	DP	DUCT PIPE DAMPER
P/TAC	P/TAC	PACKAGED TERMINAL AIR CONDITIONERS
M/C	M/C	MASTER CONTROL
F/T	F/T	FRONT OF CONNECTION
DAMPER	DAMPER	DAMPER

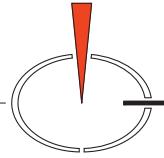


GROUND FLOOR PLAN-VAC LAYOUT

SCALE 1/4" = 1'-0"  
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DRAWN BY: J. ALVAREZ  
DATE: 10/20/04  
JOB #: 20-0004

REVISIONS BY:

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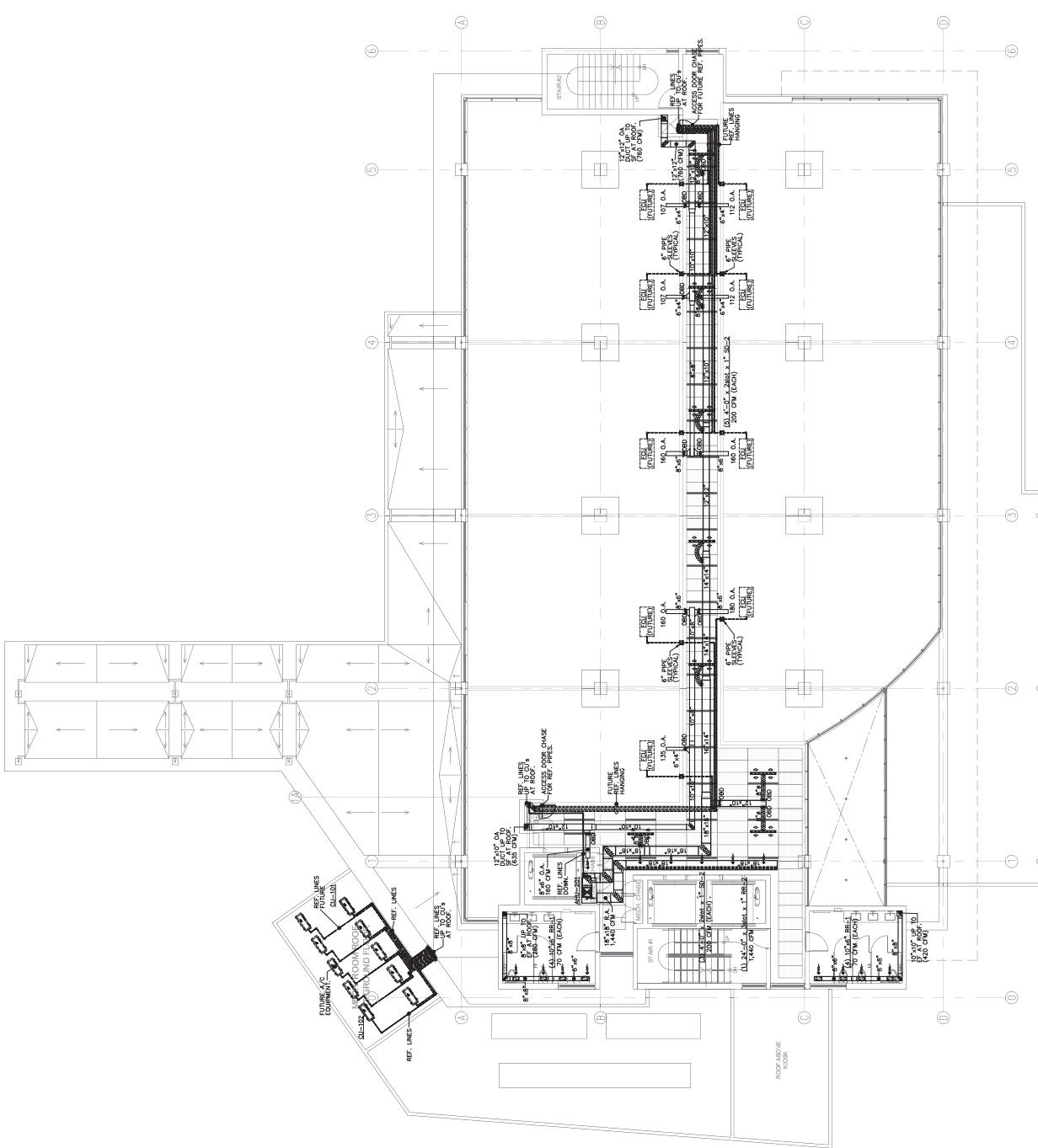
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SECOND FLOOR PLAN-VAC LAYOUT  
Scale 1/4" = 1'-0"

VAC-101

**ABBREVIATIONS:**

E.F.	EXHAUST FAN
CFM	CUBIC FEET PER MINUTE
S.A.	SUPPLY AIR
R.A.	RETURN AIR
O.A.	OUTSIDE AIR
PCU	PACKAGE UNIT
SD	SUPPLY DIFFUSER
RR	RETURN REGISTER
OAL	OUTSIDE AIR LOVER
LCM	LOCAL CONTROL MODULE
GCM	GENERAL CONTROL MODULE
TYP.	TYPICAL
FCU	FAN COIL UNIT
DRAWING	DRAWING
FLEX	FLEXIBLE
CONN.	CONNECTION
AHU	AMBIENT HANDLING UNIT
OHD	OPPOSED LOAD DAMPER
TC	TEMPERATURE CONTROL
TD	TEMPERATURE SENSOR
TS	TEMPERATURE SENSOR
EXIST	EXISTING
(N)	NEW
CU	CONDENSING UNIT
RR	RETURN REGISTER
N	NECK
CONC.	CONCRETE
TD	TEMPERATURE DETECTOR
FD	DUCT FIRE DAMPER
PFAC	PACKAGED TERMINAL AIR CONDITIONERS
MC	MASTER CONTROL
TC	TEMPERATURE CONTROLLER
POC	POINT OF CONNECTION
FD	FIRE DAMPER



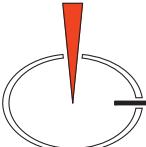
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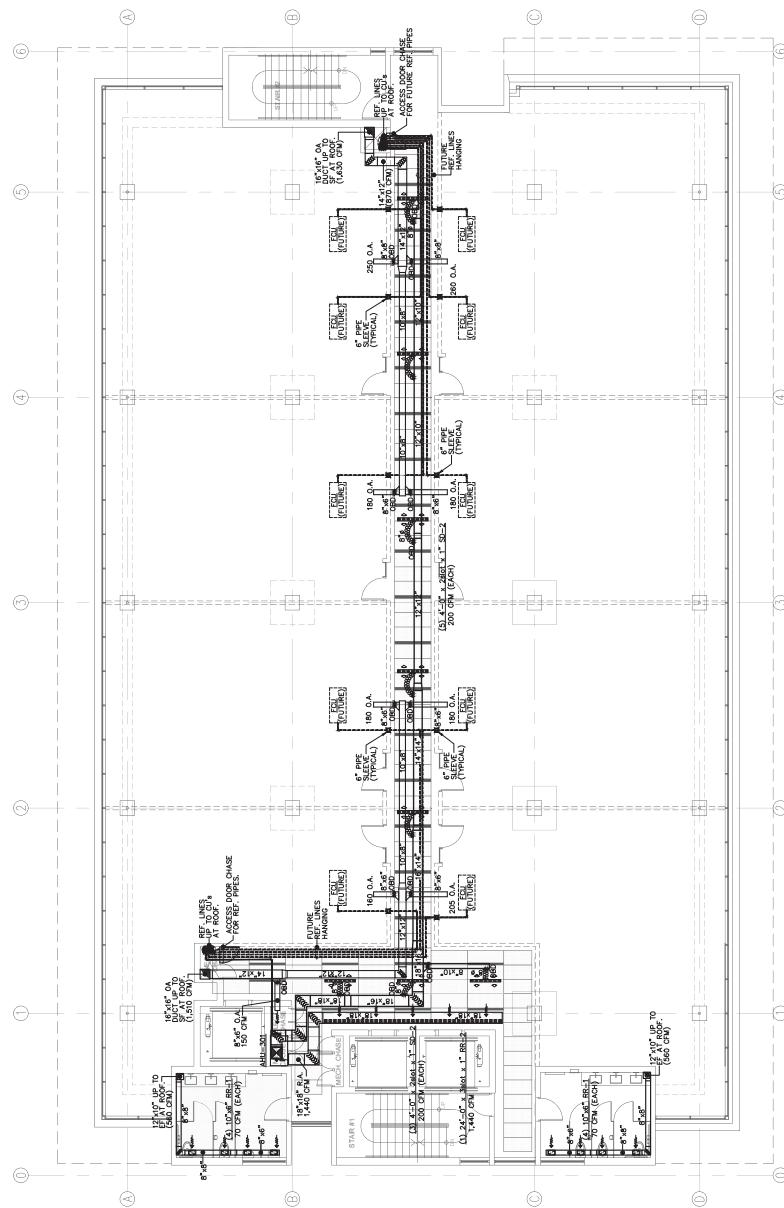
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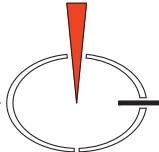
ABBREVIATIONS:

E.F.	EXHAUST FAN
CFM	CUBIC FEET PER MINUTE
S.A.	SUPPLY AIR
R.A.	RETURN AIR
O.A.	OUTSIDE AIR
PCU	PACKAGE UNIT
SD	SUPPLY DIFFUSER
RR	RETURN REGISTER
OR	OUTSIDE AIR LOVER
LCM	LOCAL CONTROL MODULE
GCM	GENERAL CONTROL MODULE
TYP.	TYPICAL
FCU	FAN COIL UNIT
DWG	DRAWING
FLEX.	FLEXIBLE
CONN.	CONNECTION
AHU	AMBIENT HANDLING UNIT
ODD	OPPOSED LOAD DAMPER
TC	TEMPERATURE CONTROL
TS	TEMPERATURE SENSOR
RD	DUCT FIRE DAMPER
PTAC	PACKAGED TERMINAL AIR CONDITIONERS
MC	MASTER CONTROL
OTC	TEMPERATURE CONTROLLER
POC	POINT OF CONNECTION
FD	FIRE DAMPER
N	NECK
CONC.	CONCRETE
(TYP.)	(TYPICAL)
DET.	DETENTION
RD	DUCT FIRE DAMPER
PTAC	PACKAGED TERMINAL AIR CONDITIONERS
MC	MASTER CONTROL
OTC	TEMPERATURE CONTROLLER
POC	POINT OF CONNECTION
FD	FIRE DAMPER

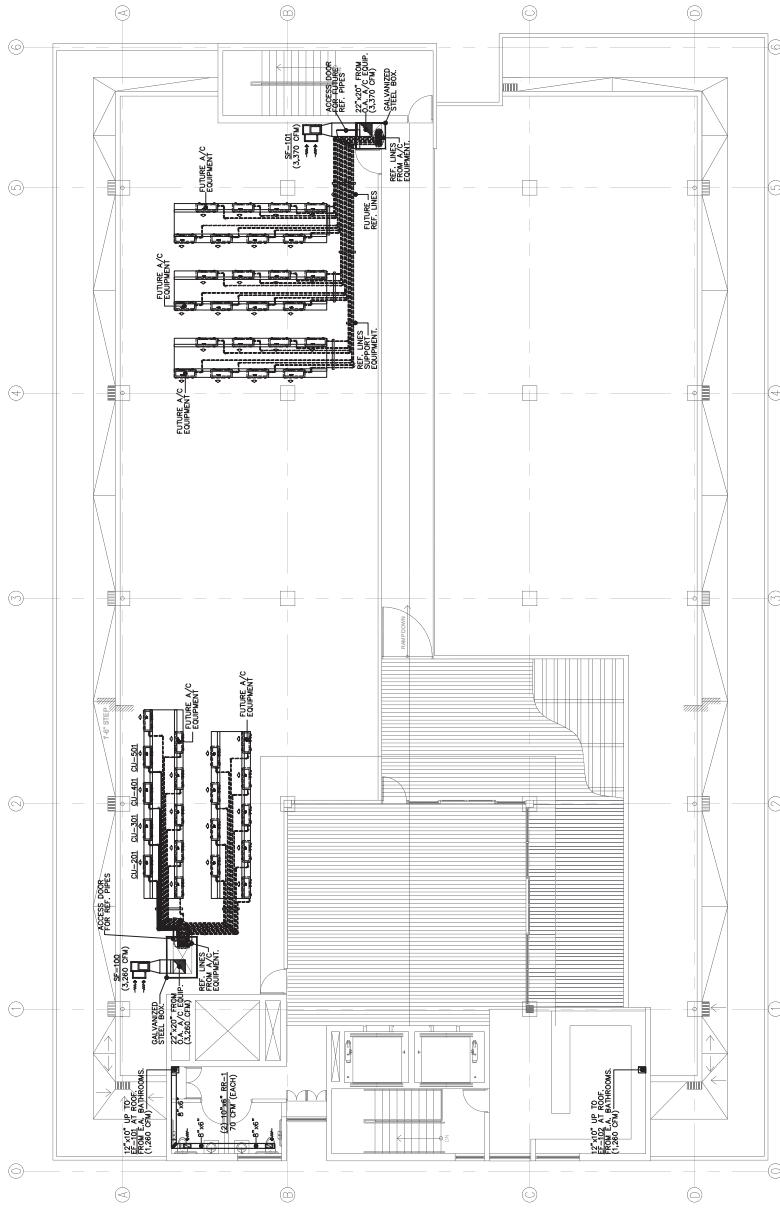


TYPICAL FLOOR PLAN-VAC LAYOUT  
SCALE 1/8" = 1'-0"

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 DRAWN BY A. MURDO  
 DATE 10-20-08  
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VAC-103



LOWER ROOF PLAN-VAC LAYOUT

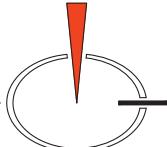
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CO REC

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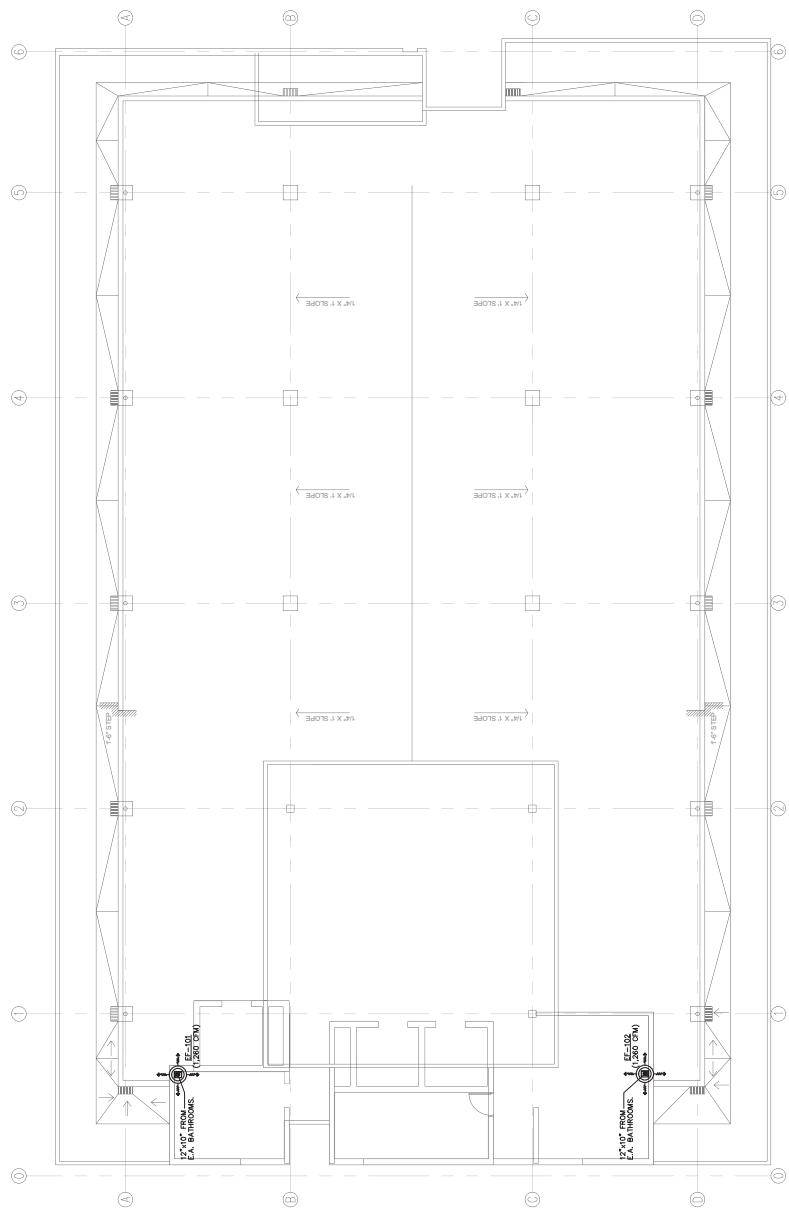
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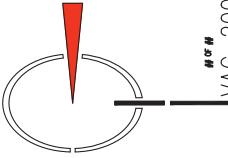
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ROOF PLAN-VAC LAYOUT



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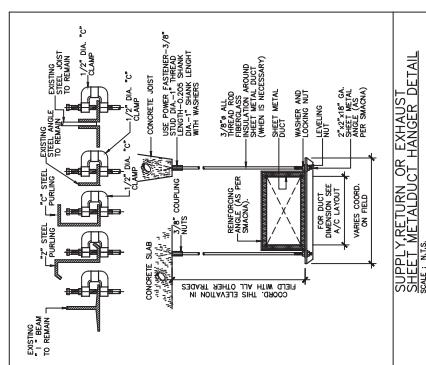
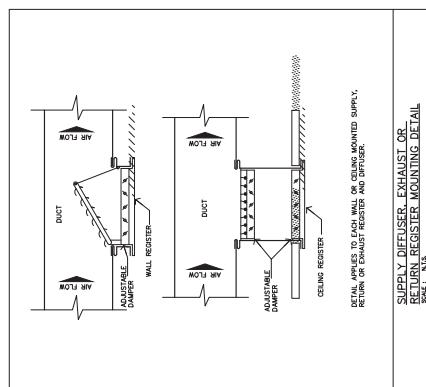
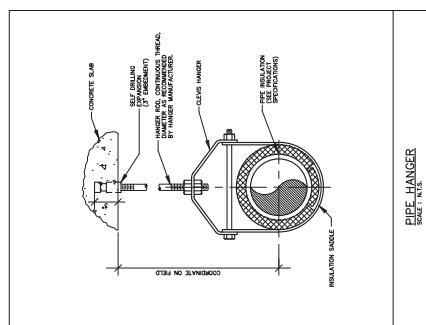
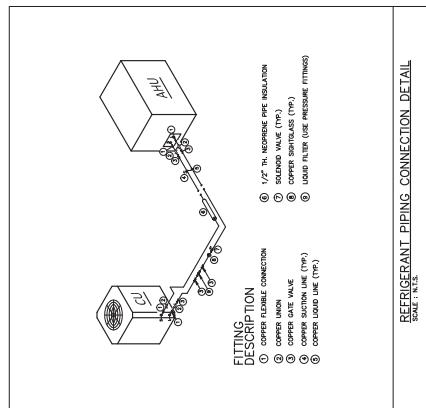
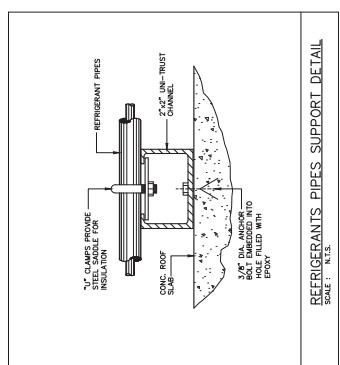
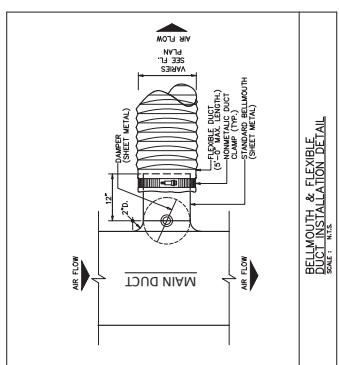
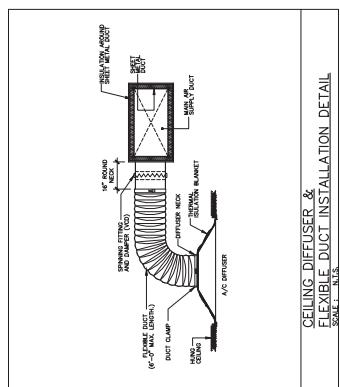
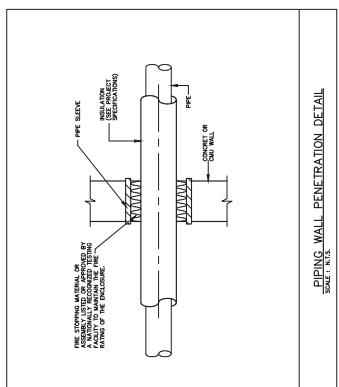
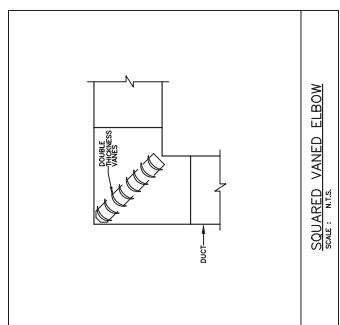
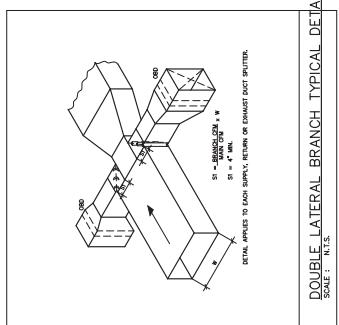
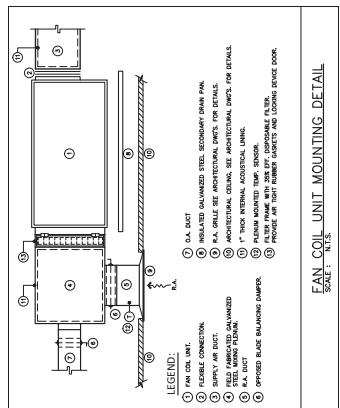
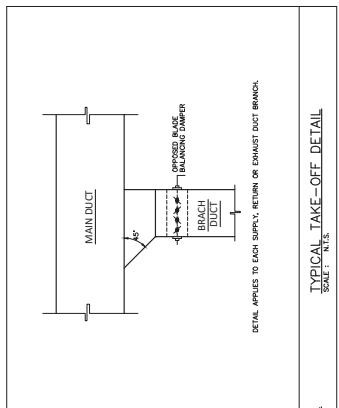
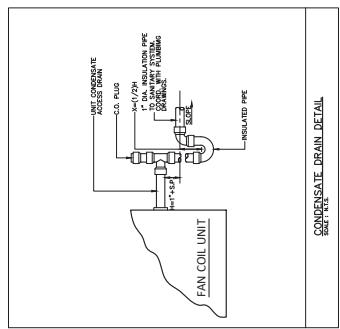
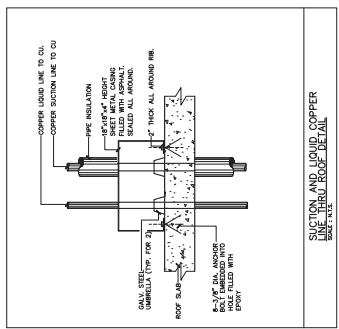
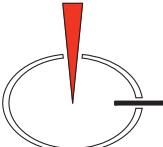
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CHECKED BY: A. MIRRO  
DRAWN BY: L. MIRRO  
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JOB #: 408

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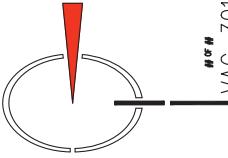
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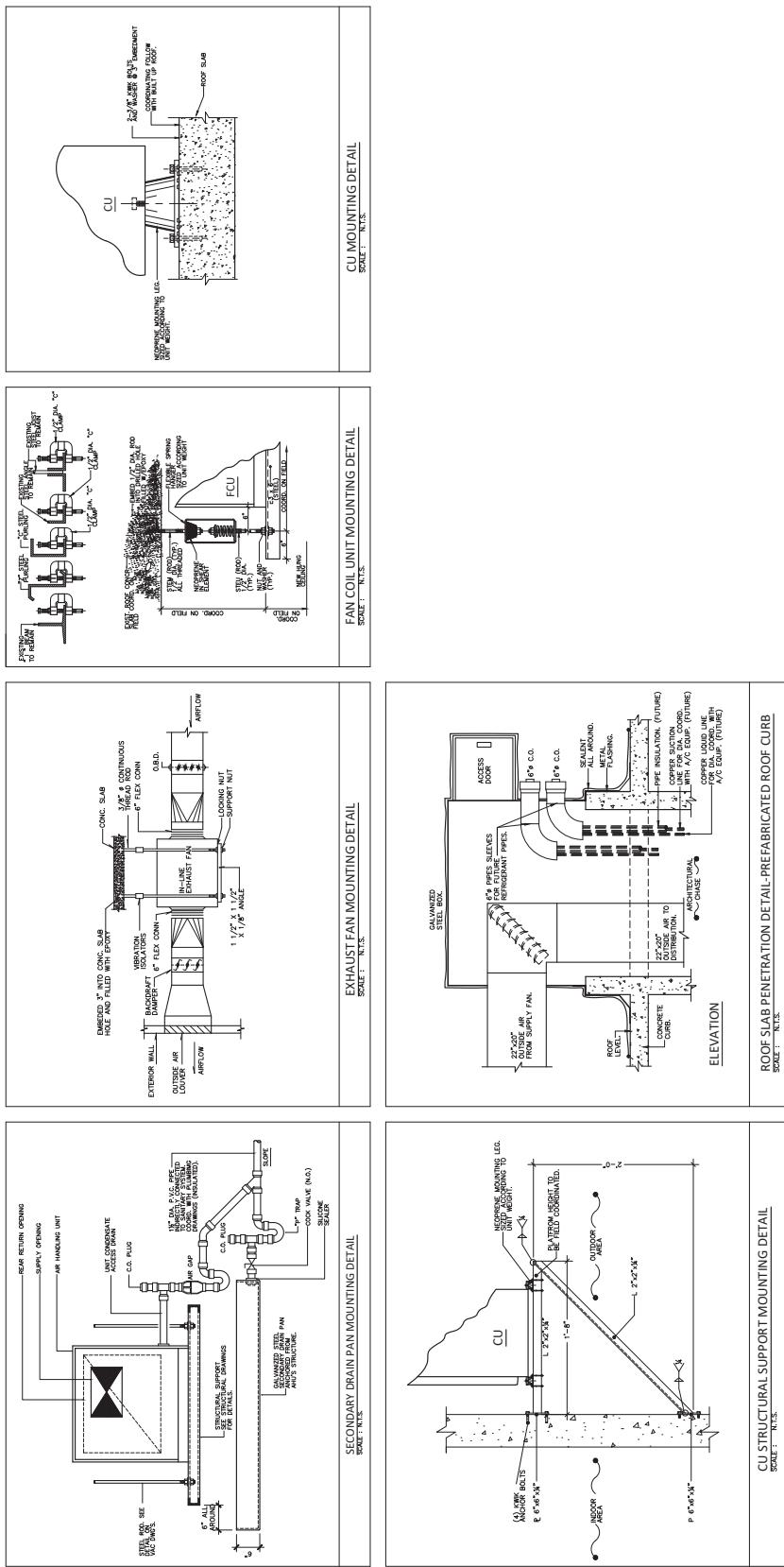
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CHECKED BY	A. MARRERO				
DRIVING BY	S. ALDAMA				
DATE	August 5, 2001				
TIME	20:45				
REASONS	BY.....				

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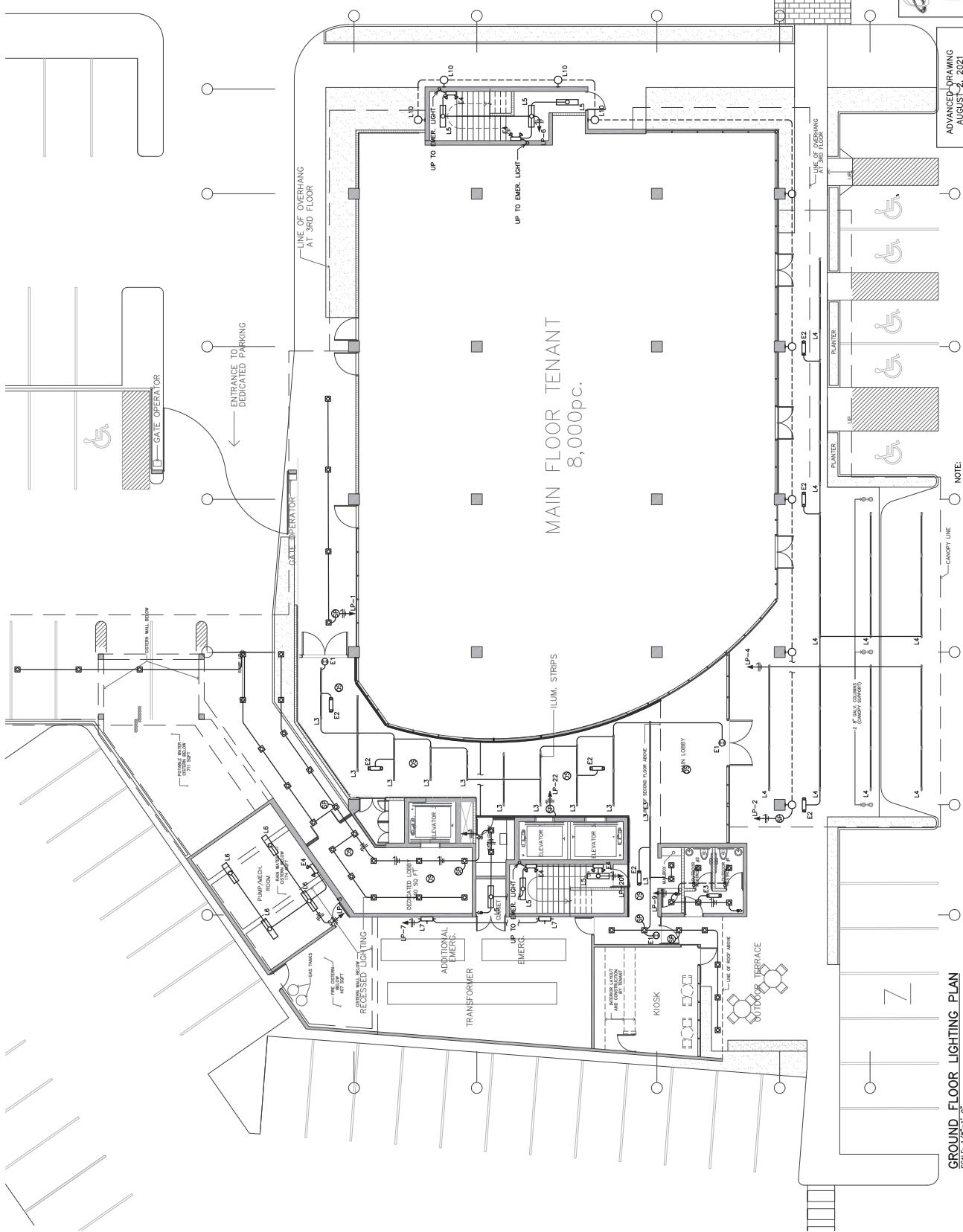


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REVISIONS BY:  
DATE: 04/06/2021

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E-101



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DATE: .....  
JOB: .....

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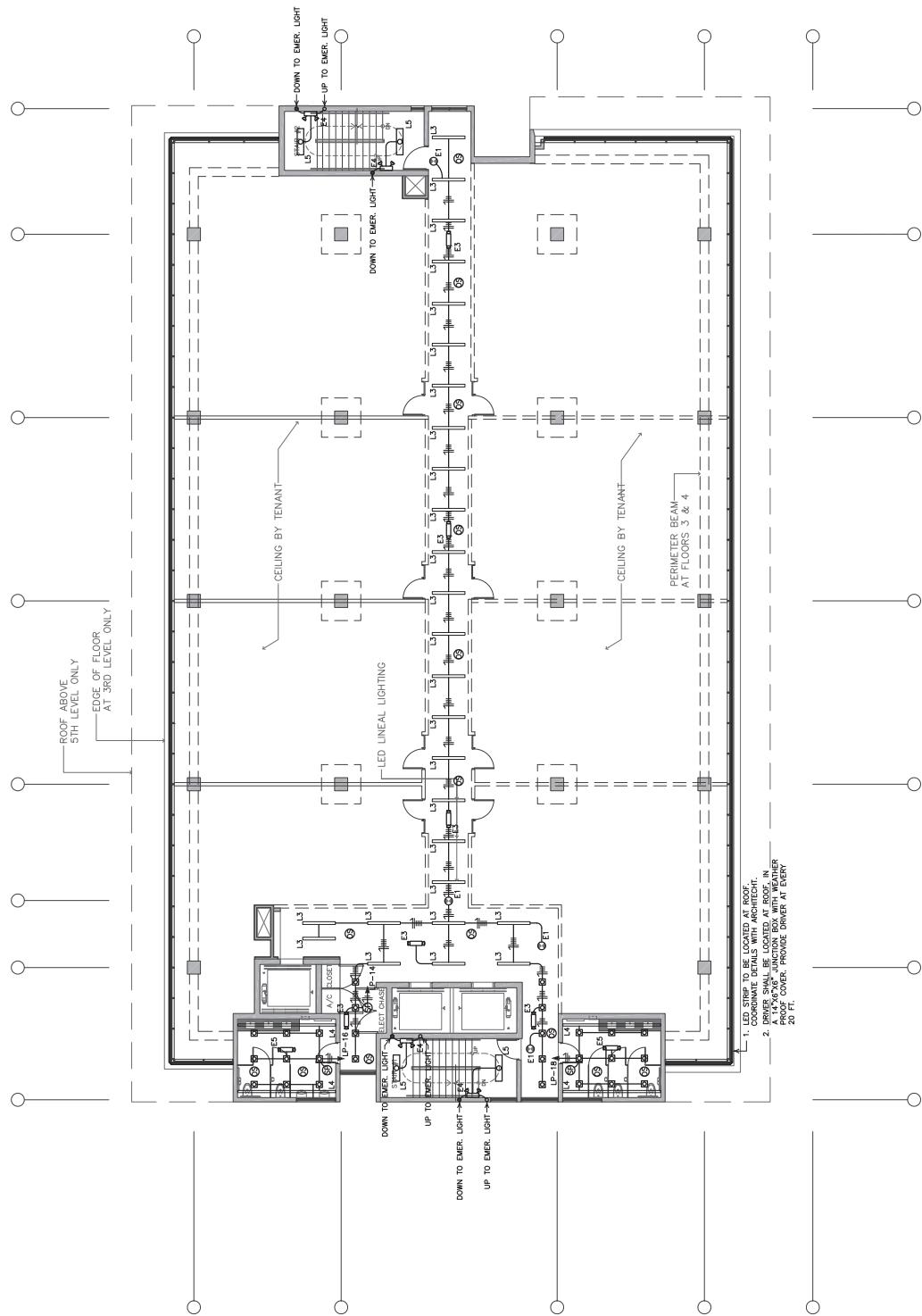
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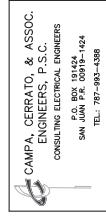
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HATO REY, PUERTO RICO 00776  
DATE: AUGUST 2, 2021  
PDR: PDR-14, PONCE

104 OF 105  
E-103



TYPICAL FLOOR LIGHTING PLAN  
SCALE: 1/8"=1'-0"



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AUGUST 2, 2021

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SCALE: .....  
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DATE: 08/06  
REVISIONS: By

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PR-14, POÑCE

EDGARDO PEREZ  
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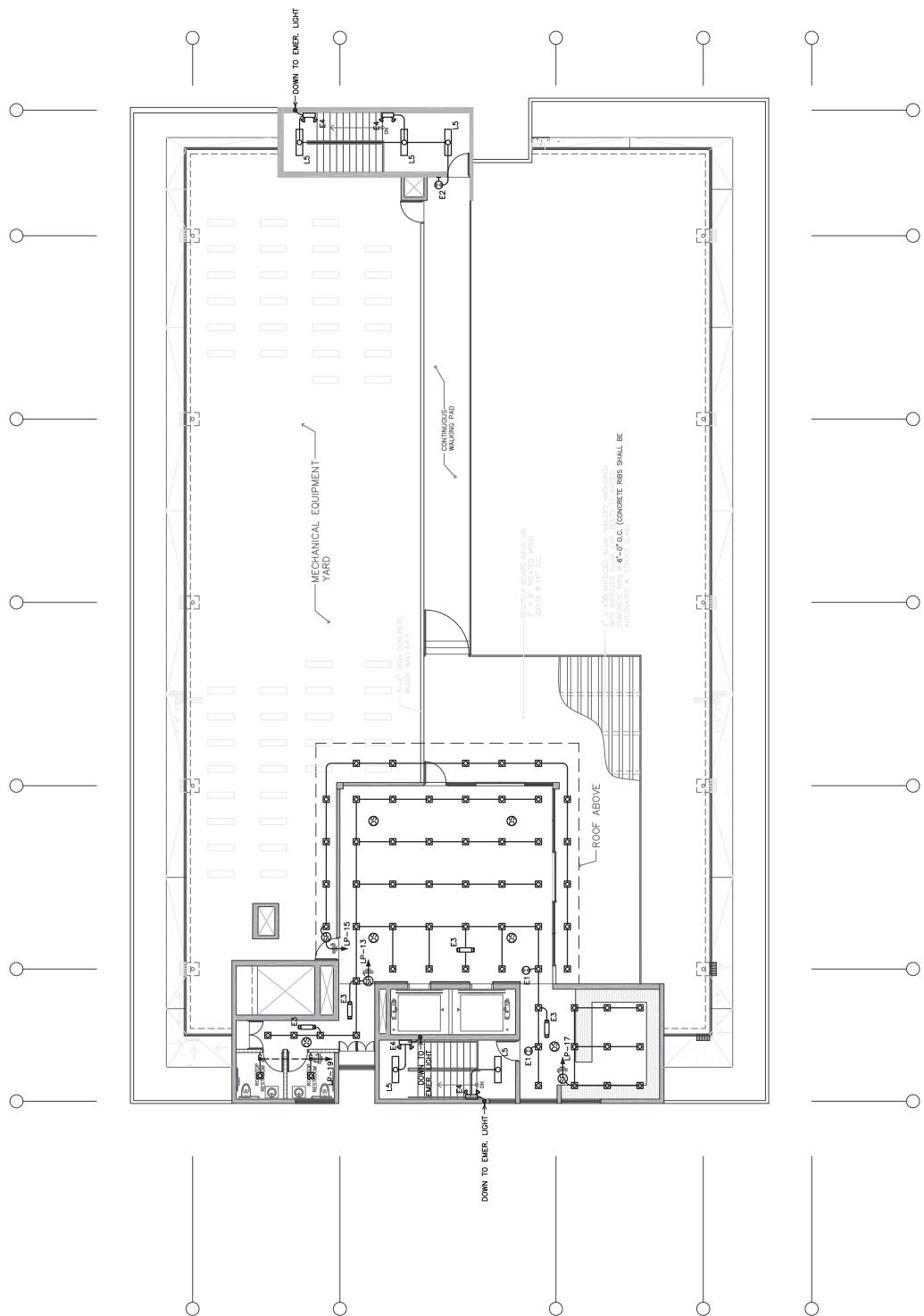
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ROOF LIGHTING PLAN  
SCALE: 1/8" = 1'-0"



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201 OF 205

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GROUND FLOOR POWER PLAN

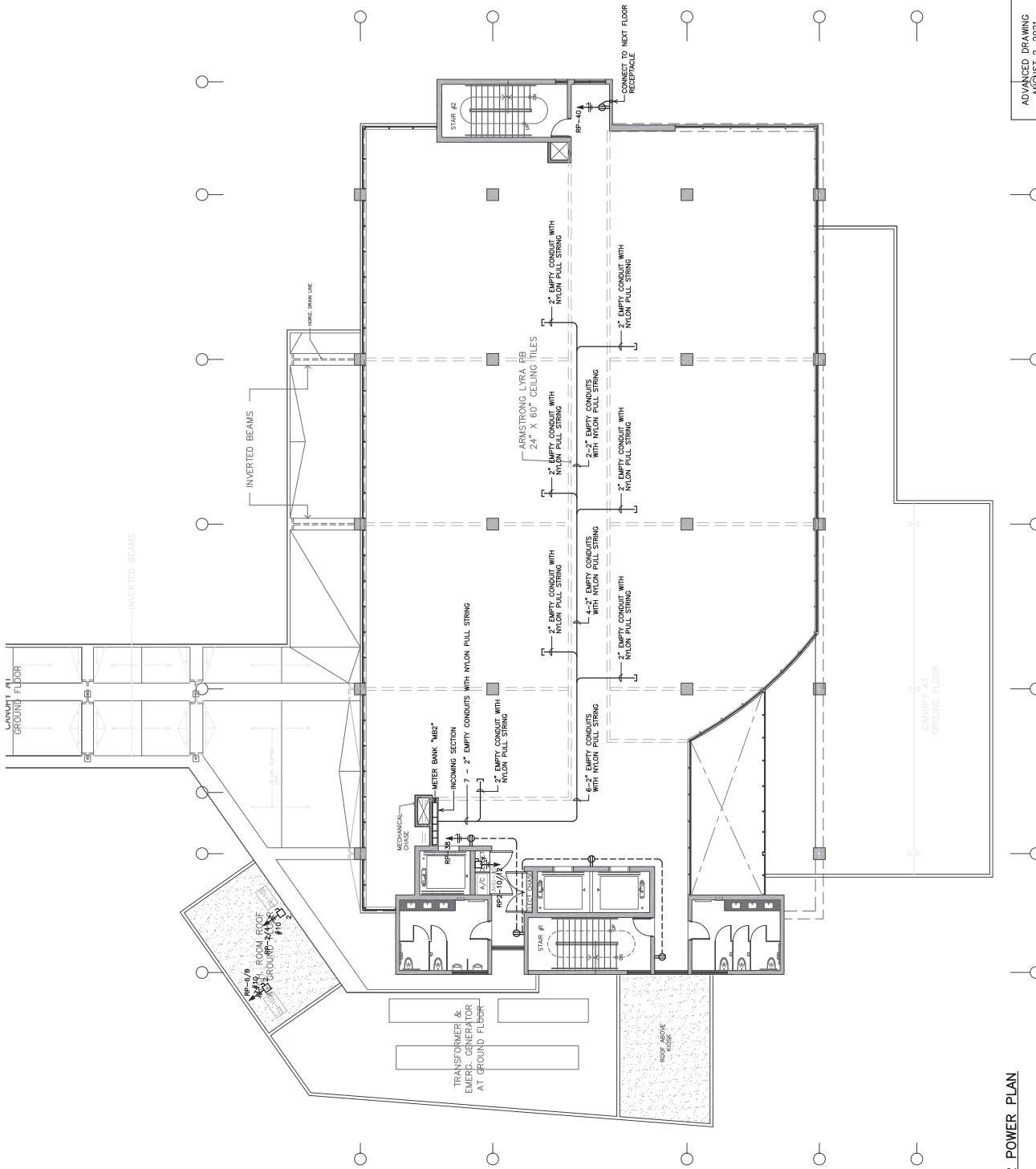
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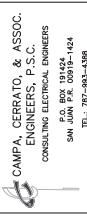
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ARCHITECT AND ASSOCIATE  
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202 OF 202  
E-202



SECOND FLOOR POWER PLAN  
SCALE: 1/8" = 1'-0"



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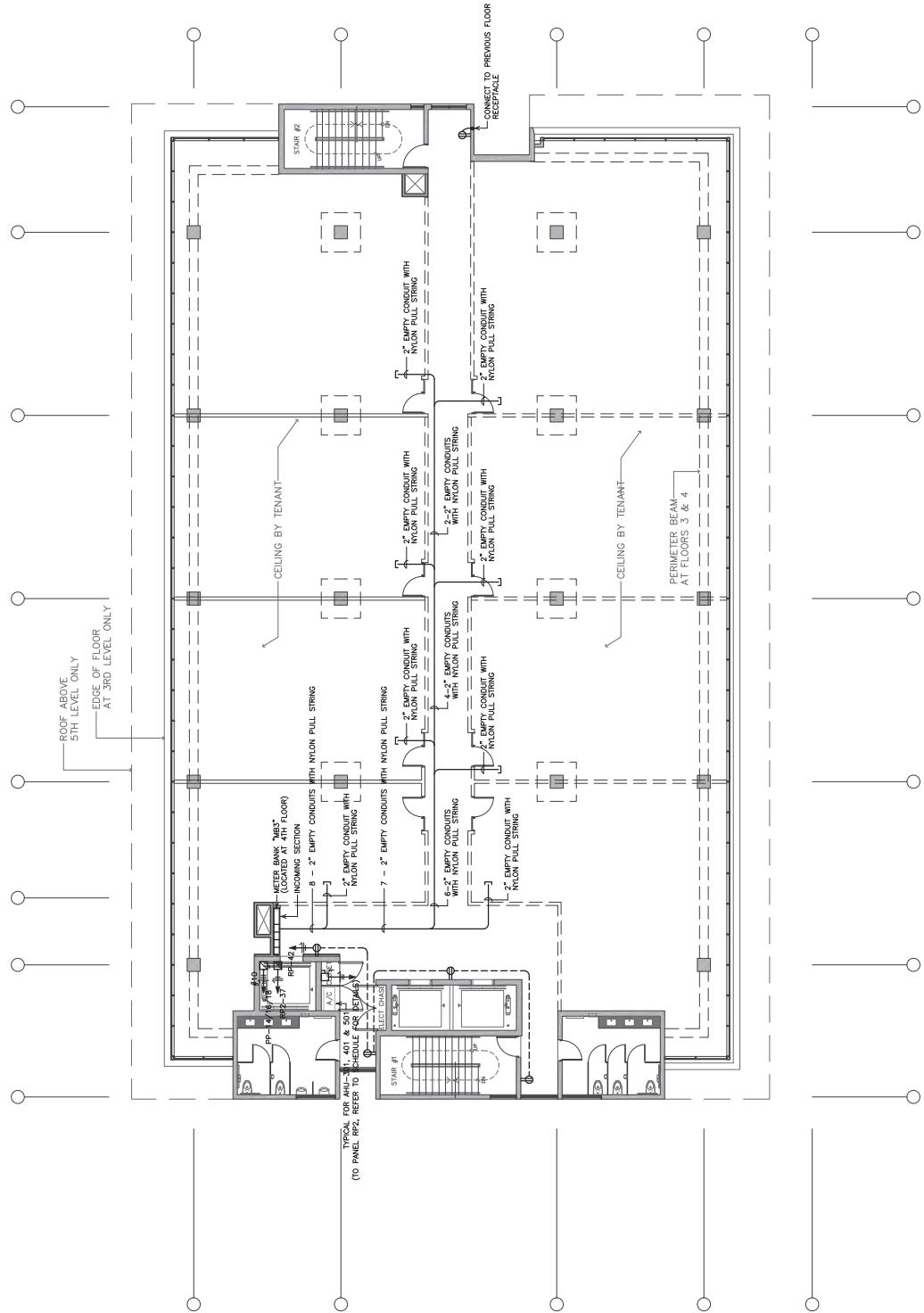
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E-203  
203 OF 205



TYPICAL FLOOR POWER PLAN  
SCALE: 1/8" = 1'-0"

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RCHITECT AND ASSOCIATES

**ELEVATOR PIT POWER PLAN**

**WALL MOUNTED LUMINAIRE**

RP2-5/7      RP2-1/3  
RP2-32      RP2-1/2

DISCONNECT SWITCH FOR SLUMP PUMP FOR THE EXACT LOCATION REFER TO THE MECH DWGS

**ELEVATOR PIT POWER PLAN**  
SCALE: 1/8" = 1'-0"

This architectural floor plan illustrates the layout of a building section, specifically focusing on equipment locations and structural details. The plan shows a main rectangular room with various equipment units labeled with callouts:

- MECHANICAL EQUIPMENT**: Located in the upper left corner, consisting of multiple rectangular units.
- REFRIGERATION UNITS**: Located in the lower left corner, with labels including RP-1/4, RP-1/6, RP-1/10, RP-1/12, RP-1/16, RP-1/20, RP-2/25, RP-2/26, RP-2/27, RP-2/28, and RP-2/30.
- TO BE LOCATED NEXT TO EQUIPMENT (A) ROOF**: Located in the lower left corner, near the refrigeration units.
- RESTROOM #1**: Located in the lower center area.
- RESTROOM #2**: Located in the lower center area, adjacent to Restroom #1.
- STAIRS**: Located in the lower right corner.

Annotations and notes include:

- REFER TO NOTE #1**: Points to a note located in the top right corner of the main room.
- WP**: A label indicating a water point or fixture.
- CONTINUOUS WALKING PAD**: A dashed line indicating a continuous walking path along the exterior wall.
- ROOF ABOVE**: A dashed line indicating the roof level above the equipment area.
- NOTES READING ACROSS ON 2" X 4" REINFORCED WOOD JOISTS @ 16' O.C.**: A note specifying the construction details for the roof joists.
- RP2-19/21/723**: A reference code at the bottom right.

**NOTES:**

1. THE ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTALL TWO 1" GND IN " CONDUITS FROM THE DISCONNECT SWITCH TO THE CONTROL EQUIPMENT. THE CONTROL EQUIPMENT SHALL BE SUPPLIED AND INSTALLED BY THE MECHANICAL CONTRACTOR.
2. THE ELECTRICAL CONTRACTOR SHALL PROVIDE A 1" EMPTY CONDUIT WITH NYLON PULL STRING FROM THE CONTROL EQUIPMENT TO THE FIRE ALARM PANEL.

## NOTES.

ROOF POWER PLAN

## ROOF POWER PLAN

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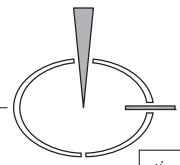


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302 OF 304



1

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**SECOND FLOOR FIRE ALARM PLAN**

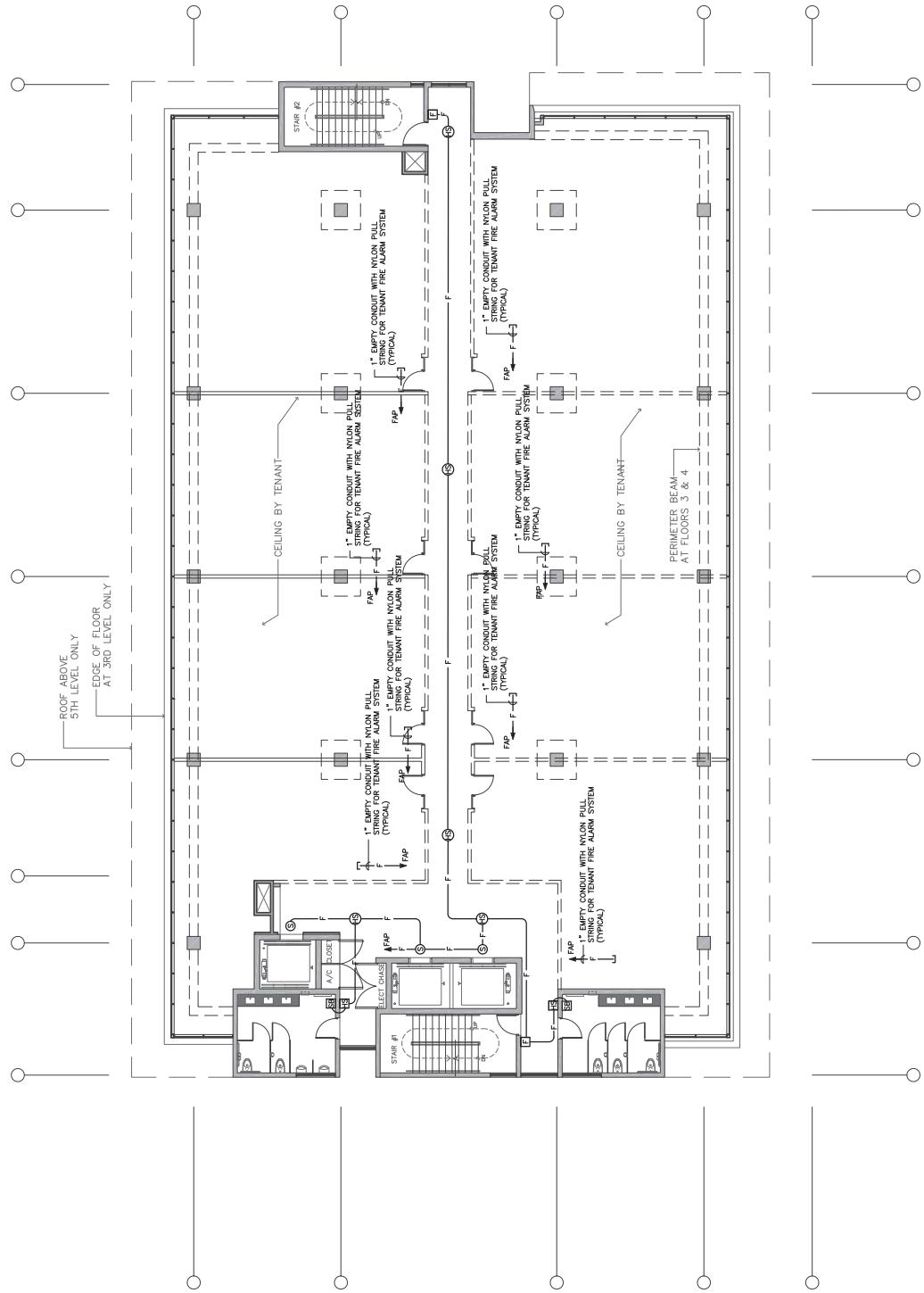
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REVISIONS: BY:

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E-303



TYPICAL FLOOR FIRE ALARM PLAN  
SCALE: 1/8 = 1'-0"

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AUGUST 2, 2021

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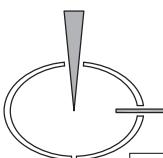
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304 OF 304

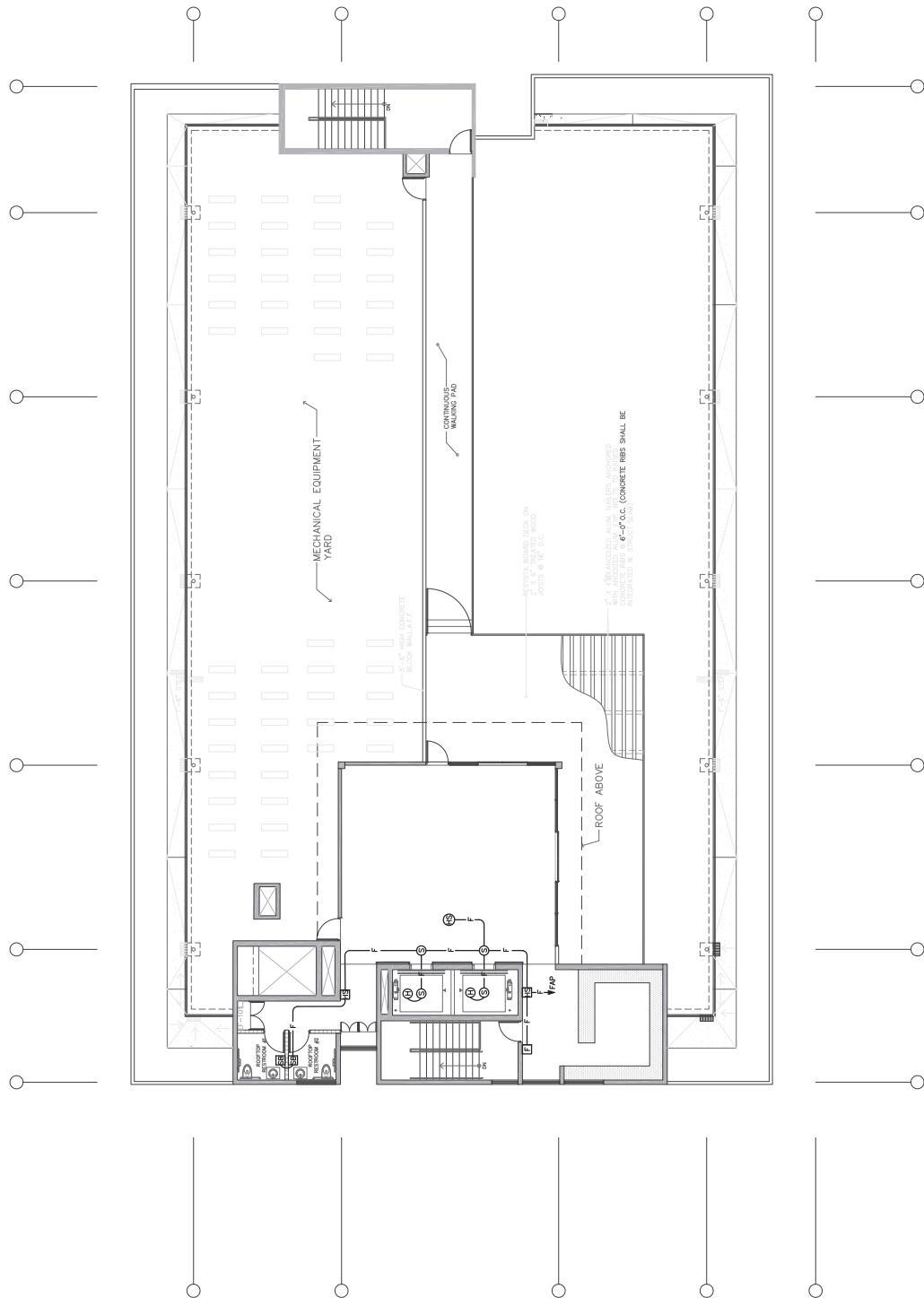


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ROOF FIRE ALARM PLAN  
SCALE: 1/8" = 1'-0"

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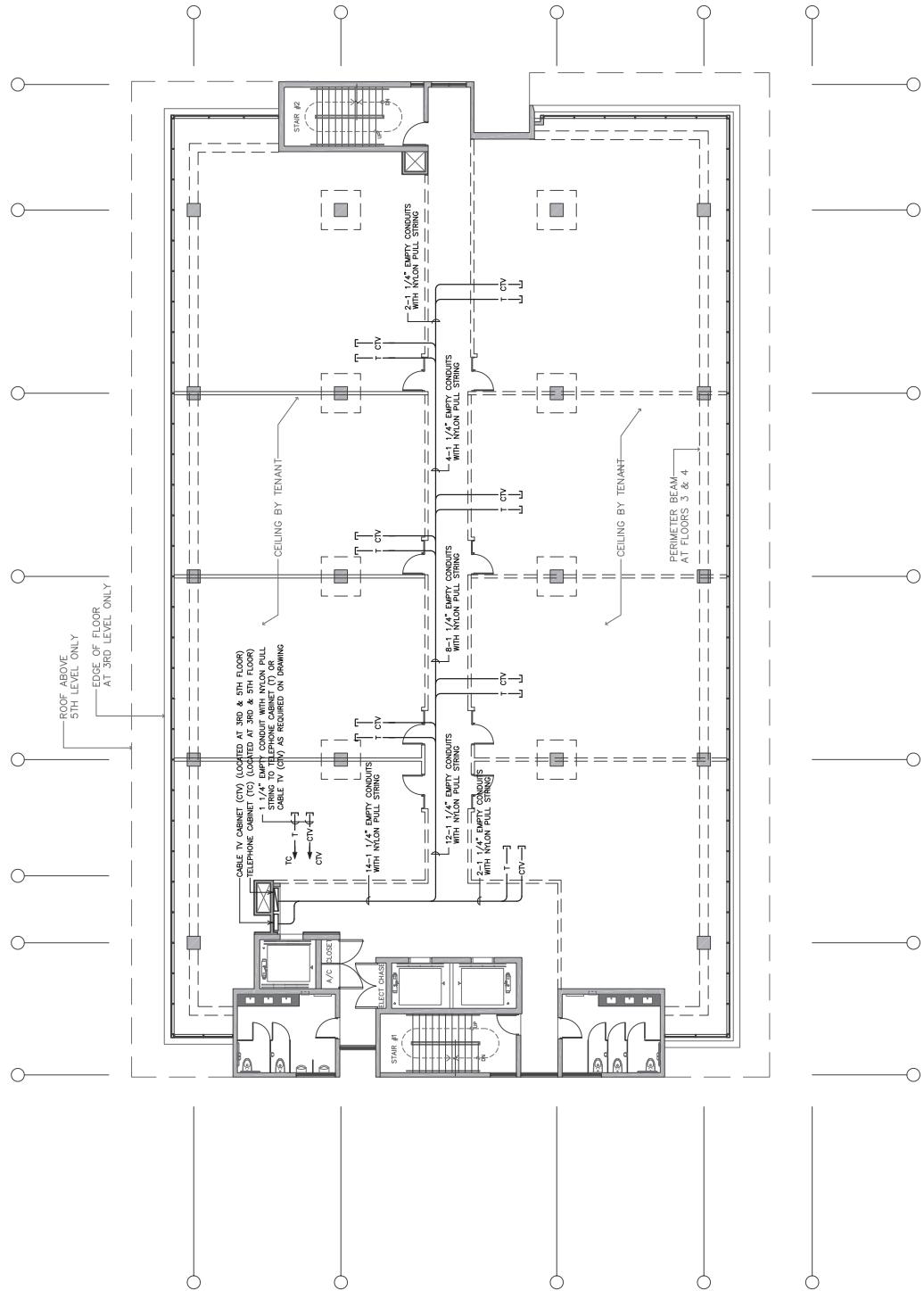


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TEL. 787-2982-4098

403 OF 404  
E-403



TYPICAL FLOOR TELECOM PLAN  
SCALE: 1/8" = 1'-0"

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AUGUST 2, 2021

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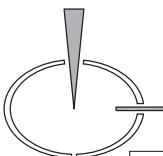
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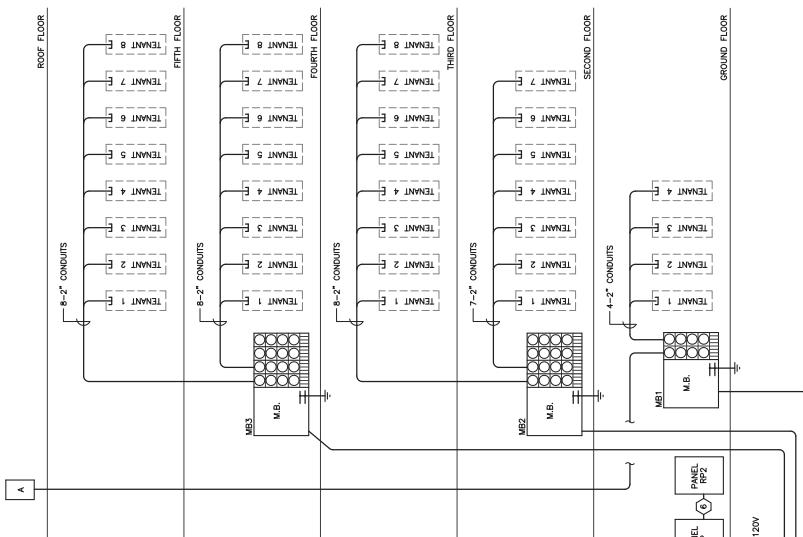
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ROOF TELECOM PLAN

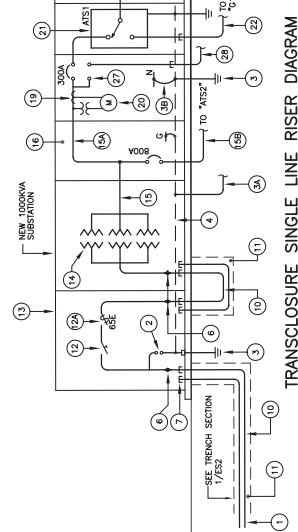
ROOF TELECOM PLAN

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LIGHTING FIXTURES SCHEDULE						
DESIGN-SYMBOL	DESCRIPTION	TYPE	MANUFACTURER	SERIES/MODEL	VOLTS	LAMPS/TUBES
E1	EXT. LIGHT. WITH POWER PACK, CEILING MTD.	AMERICANITE	EXTELU-C-G EN-USA	120V- 277	GREEN LTRIS, WHITE PANEL & HOUSING SINGLE OR DOUBLE, AS REQUIRED, SEE NOTE BELOW.	
E2	EXT. LIGHT. WITH POWER PACK, CEILING MTD.	AMERICANITE	EXTELU-C-G EN-USA	120V- 277	GREEN LTRIS, WHITE PANEL & HOUSING SINGLE OR DOUBLE, AS REQUIRED, SEE NOTE BELOW.	
E3	FLUSH MOUNTED ENERGY LIGHT	AMERICANITE	R-1—USA	120V- 277	WHITE HOUSING, SURFACE MTD. 7'-0" A.F.T.—PROVIDE RECESSED OUTLET BOX FOR CONNECTION.	
E4	CEILING MOUNTED LIGHT	AMERICANITE	R-1—USA	120V- 277	WHITE HOUSING, CEILING MTD., PROVIDE RECESSED MOUNTED, PROVIDE MOUNTING ACCESSORIES AS REQUIRED PROVIDE OUTLET BOX FOR CONNECTION	
L1	LED 4" SQUARE RECESSED MOUNTED	FORTRESS	LED4RBF404040	120V- 277	4 LED'S	1
L2	LED 4" SQUARE RECESSED MOUNTED, LTD. DOWNLIGHT	FORTRESS	LED4RBLD404040	120V- 277	4 LED'S	1
L3	LED (TOP) FLLOOR, RECESSED MOUNTED	MEVALUX	ZEREL-TR- 400-B65-40	120V- 277	4 LED'S, LIGHTING	1
L4	LEAD GLASS LIGHTING, RECESSED MOUNTED	MEVALUX	ZEREL-TR- 405-B65-40	120V- 277	4 LED'S, LIGHTING	1
L5	LED 4" SURFACE MOUNTED	MEVALUX	485LED-405L- COT (N-045)	120V- 277	4 LED'S	1
L6	LED X 4" SURFACE MOUNTED	MEVALUX	41SLNLED-D5- L440-D1-U	120V- 277	4 LED'S	1
L7	LED WALL LUMINAIRE	LUMARK	ACCSA	120V- 277	120V	1
L8	LED COIL, LINEAR DIODE	LUMARK	D1-24-BUS1	120V- 277	120V	1
LP1	LED PL. MOUNTED, III MTD.	LUMARK	PWV14-SL200- III	120V- 277	120V	1



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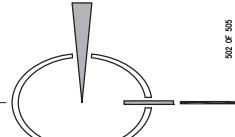
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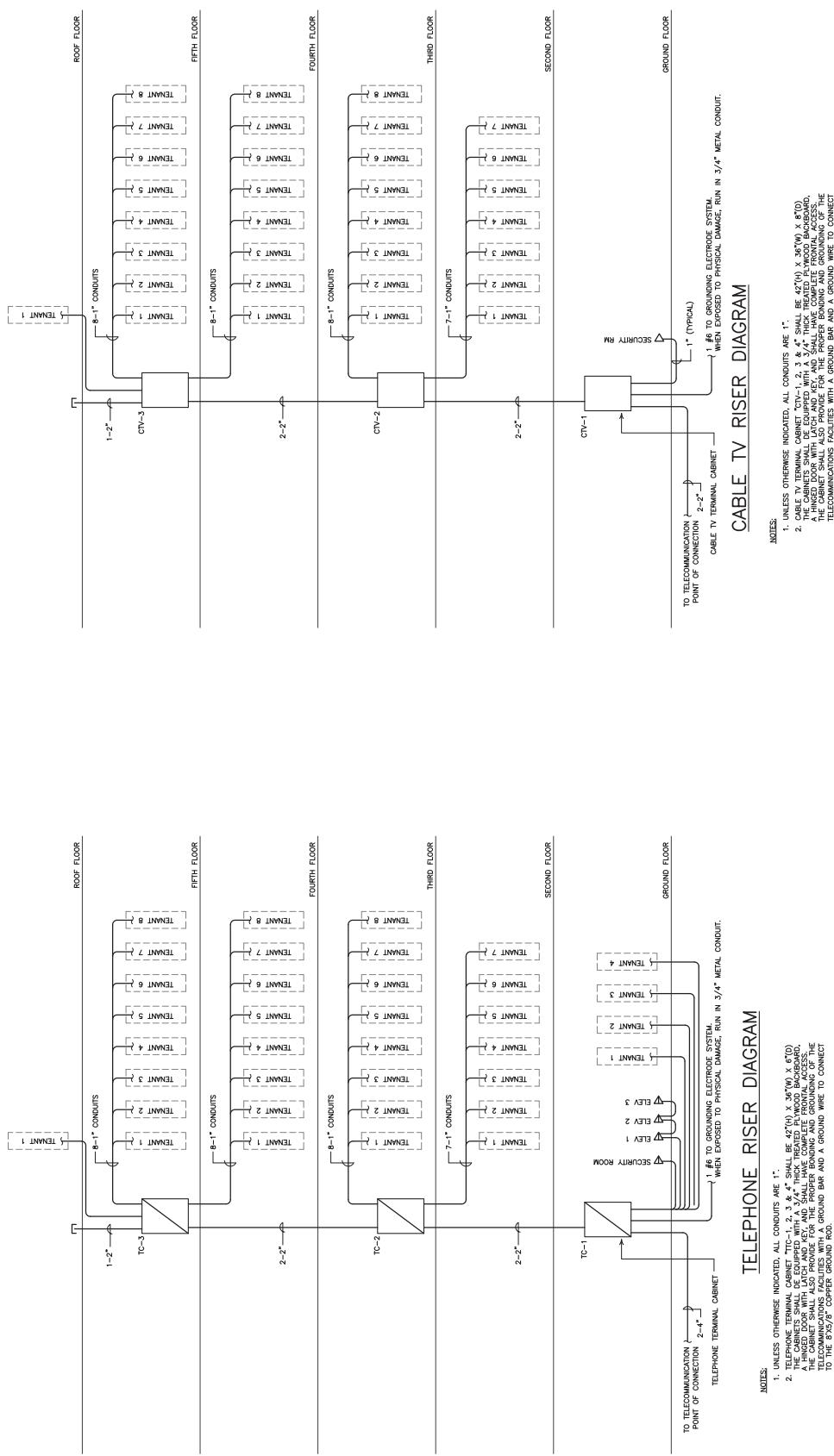
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EDGARDO PEREZ  
ARCHITECT AND ASSOCIATES

504 OF 505  
F-504



## CABLE TV RISER DIAGRAM

- NOTES

  1. UNLESS OTHERWISE INDICATED, ALL CONDUCTORS ARE 1".
  2. CABLE TV TERMINAL CABINET CTV-1, 2, 3 & 4", SHALL BE 42" (W) X .36" (H) X 8" (D). THICK, TREATED PINE BACKBOARD.
  3. THE CABINETS SHALL BE EQUIPPED WITH A 1/4" THICK MDF BACKBOARD.
  4. THE CABINETS SHALL BE EQUIPPED WITH A 1/4" THICK MDF BACKBOARD.
  5. THE CABINETS SHALL ALSO PROVIDE FOR THE PROPER BONDING AND GROUNDING OF THE TELECOMMUNICATIONS FACILITIES WITH A GROUND BAR AND A GROUND WIRE TO CONNECT THE GROUND WIRE AND A GROUND WIRE TO CONNECT THE GROUND WIRE.

TELEPHONE BISER DIAGRAM

6

- UNLESS OTHERWISE INDICATED, ALL CONDUITS ARE 1".  
TELEPHONE TERMINAL CABINET TTC-1, 2, 3 & 4 SHALL BE 42" (H) X 36" (W) X 6' (D)  
THE CABINETS SHALL BE EQUIPPED WITH A 3/4" THICK PLYWOOD BACKBOARD.  
A HINGED DOOR WITH LATCH AND KEY AND SHALL HAVE COMPLETE FRONT ACCESS.  
THE CABINET SHALL ALSO PROVIDE FOR THE PROPER BONDING AND GROUNDING OF THE  
TELECOMMUNICATIONS FACILITIES WITH A GROUND BAR AND A GROUND WIRE TO CONNECT

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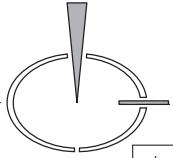
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10 RE<sup>Y</sup>, PUERTO RICO, 00911  
TELEPHONE (787) 767-8941  
FAX (787) 767-0845

DESIGNATION: LP		TYPE: ELECTRICAL CLOSET		LOCATION: 1000 MARKET CENTER 10,000 S.F. 10,000 A.L.C.		MATERIALS: 10' X 20' X 10' FL W/ DOOR		MODIFICATIONS: NEUTRAL ENCLosURE		LOAD: 120 VOLTS 30A BOUND TO BOX	
Q#	LOAD DESCRIPTION	BMR	PHASES	BMR	AMPS	LOAD	DESCRIPTION	BMR	PHASES	AMPS	LOAD
1	LIGHTS	-	1	A.M.C.	~	20	EXTERIOR LIGHTS	-	1	~	2
3	LIGHTS	-	1	A.M.C.	~	20	EXTERIOR LIGHTS	-	1	~	4
5	LIGHTS	-	1	A.M.C.	~	20	STAR LIGHTS	-	1	~	6
7	LIGHTS	-	1	A.M.C.	~	20	2ND FL. CORRIDOR LIGHTS	-	1	~	8
9	LIGHTS	-	1	A.M.C.	~	20	2ND FL. BATH LIGHTS	-	1	~	10
11	LIGHTS	-	1	A.M.C.	~	20	2ND FL. BATH LIGHTS	-	1	~	12
13	ROOF LIGHTS	-	1	A.M.C.	~	20	THERMAL FLOOR LIGHTS	-	1	~	14
15	ROOF LIGHTS	-	1	A.M.C.	~	20	THERMAL FLOOR LIGHTS	-	1	~	16
17	ROOF LIGHTS	-	1	A.M.C.	~	20	THERMAL FLOOR LIGHTS	-	1	~	18
19	ROOF BAR LIGHTS	-	1	A.M.C.	~	20	STAR LIGHTS	-	1	~	20
21	SPACE	-	1	A.M.C.	~	20	Cove LIGHTS	-	1	~	24
23	SPACE	-	1	A.M.C.	~	20	SPACE	-	1	~	24
25	SPACE	-	1	A.M.C.	~	20	SPACE	-	1	~	26
27	SPACE	-	1	A.M.C.	~	20	SPACE	-	1	~	28
29	SPACE	-	1	A.M.C.	~	20	SPACE	-	1	~	30
31	SPACE	-	1	A.M.C.	~	20	SPACE	-	1	~	32
33	SPACE	-	1	A.M.C.	~	20	SPACE	-	1	~	34
35	SPACE	-	1	A.M.C.	~	20	SPACE	-	1	~	36
37	SPACE	-	1	A.M.C.	~	20	SPACE	-	1	~	38
39	SPACE	-	1	A.M.C.	~	20	SPACE	-	1	~	40
41	SPACE	-	1	A.M.C.	~	20	SPACE	-	1	~	42



505 OF 505

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AUGUST 2, 2021

1

CIRCUIT	LOAD DESCRIPTION	BMR			LOAD	DESCRIPTION
		PHASES	BMR	AMPS		
1	ELEVATOR SUMP PUMP	-	~	15	-	AHU-101
3	-	20	~	15	-	AHU-101
5	ELEVATOR SUMP PUMP	-	~	15	-	AHU-102
7	-	20	~	15	-	AHU-102
9	ELEVATOR SUMP PUMP	-	~	15	-	AHU-201
11	-	20	~	15	-	AHU-201
13	-	20	~	15	-	AHU-301
15	EF-101	-	~	15	-	AHU-301
17	-	20	~	15	-	AHU-401
19	-	20	~	15	-	AHU-501
21	EF-102	-	~	15	-	AHU-501
23	-	20	~	15	-	RECEPABLES
25	-	20	~	15	-	RECEPABLES
27	SF-100	-	~	20	-	RECEPABLES
29	-	20	~	20	-	ELEVATOR PIT RECEPTACLE
31	-	20	~	20	-	ELEVATOR PIT RECEPTACLE
33	SF-101	-	~	20	-	SPACE
35	-	20	~	20	-	SPACE
37	ELEVATOR CIRCUIT BMR	-	~	20	-	SPACE
39	ELEVATOR CIRCUIT BMR	-	~	20	-	SPACE
41	ELEVATOR CIRCUIT BMR	-	~	20	-	SPACE

C2	LOAD DESCRIPTION	BBR/R PHASES	BBR/R A.C. E.L.	BBR/R E.L.	LOAD ON CIR	DESCRIPTION
1	3. RAIN WATER PUMP	-	30	-	CU-101	2
5		-	40	-	CU-102	4
7	9. RAIN WATER PUMP	-	30	40	CU-201	6
11		-	40	-	CU-201	8
13	15. POTABLE WATER PUMP	-	30	40	CU-301	10
17		-	40	-	CU-401	12
19	21. POTABLE WATER PUMP	-	30	40	CU-501	14
23		-	21	-	CU-501	16
25	27. JOCKEY PUMP CONTROL PANEL	-	30	-	BATHROOM HAND DRYER	18
29		-	30	-	BATHROOM HAND DRYER	20
31	33. FIRE PUMP CONTROL PANEL	-	30	-	BATHROOM HAND DRYER	22
35	PANEL RP2	-	125	-	RECEPABLES	24
37		-	20	-	RECEPABLES	26
39	41. RECEPABLES	-	20	-	RECEPABLES	28
41		-	20	-	RECEPABLES	30

## PANELBOARD SCHEDULE

C2	LOAD DESCRIPTION	BMR			LOAD DESCRIPTION
		PHASES	BMR	AMPS	
1	PANEL, LP	-	100	~	ELEVATOR 1
5		-	~	~	
7		-	~	~	
9	PANEL, RP	-	250	~	ELEVATOR 2
11		-	~	~	
13	SPACE	-	~	~	
15	SPACE	-	~	~	
17	SPACE	-	~	~	
19	SPACE	-	~	~	SPACE
21	SPACE	-	~	~	SPACE
23	SPACE	-	~	~	SPACE
25	SPACE	-	~	~	SPACE
27	SPACE	-	~	~	SPACE
29	SPACE	-	~	~	SPACE
31	SPACE	-	~	~	SPACE
33	SPACE	-	~	~	SPACE
35	SPACE	-	~	~	SPACE
37	SPACE	-	~	~	SPACE
39	SPACE	-	~	~	SPACE
41	SPACE	-	~	~	SPACE

**CAMPA, CERRATO, & ASSOC.  
ENGINEERS, P.S.C.  
CONSULTING ELECTRICAL ENGINEERS**

P.O. BOX 19124  
SAN JUAN P.R. 00919-1424  
TEL: 787-993-4388

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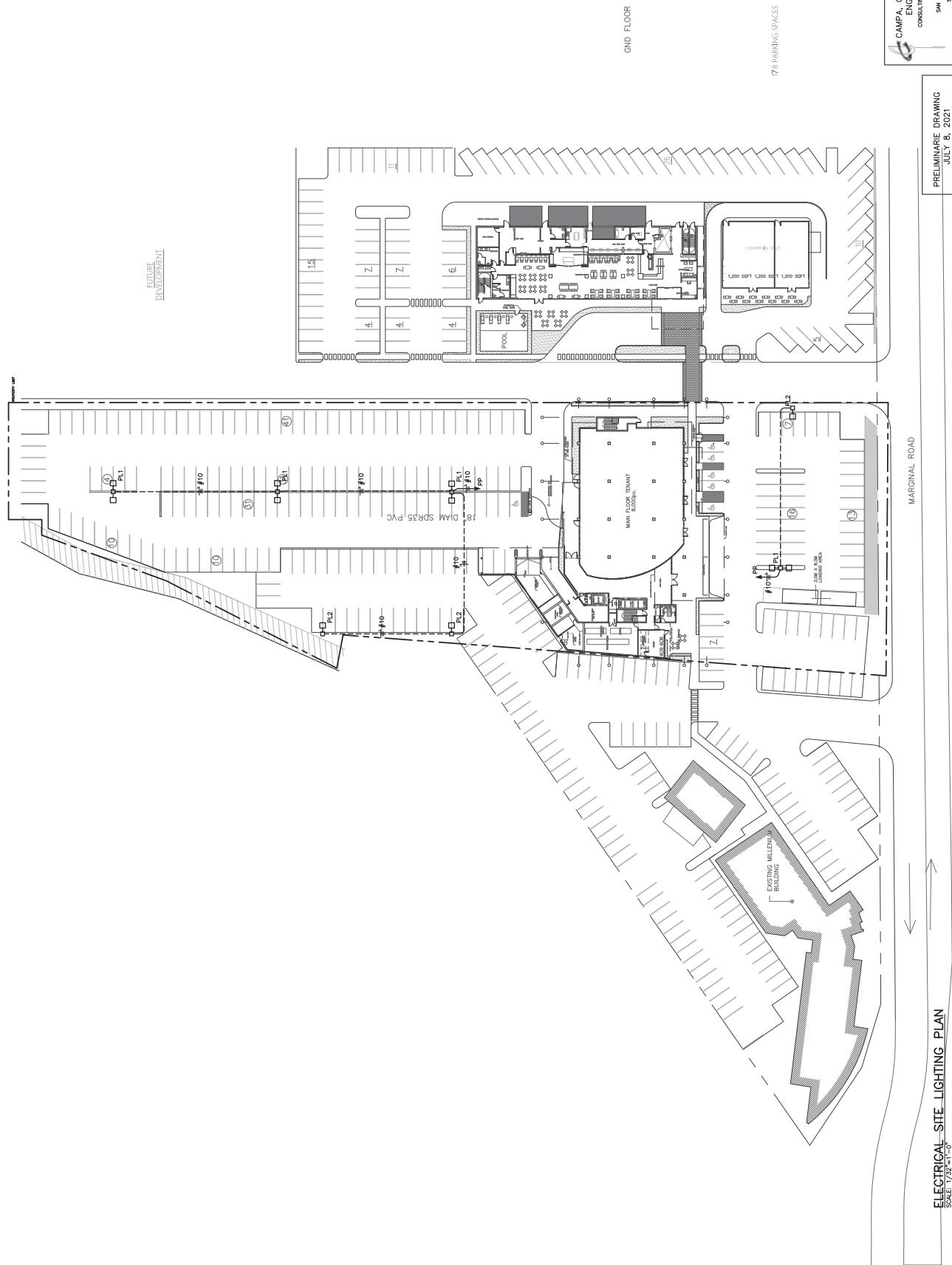
SCALE .....  
CHECKED BY: P. PEREZ

REVISIONS ..... BY: .....  
NAME: .....  
DATE: .....  
4/08

POUCE OFFICE BUILDING  
PR-14, PONCE

ARCHITECT AND ASSOCIATES  
EDGARDO PEREZ  
P.O.C. #14, PONCE, PR 007-684  
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527 SEESO CIEAS  
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101 OF 105

E-100





October 20, 2022

**Arch. Carlos A. Rubio Cancela**

Executive Director

State Historic Preservation Officer  
Cuartel de Ballajá Bldg.  
San Juan, Puerto Rico

**Re: Authorization to Submit Documents**

Dear Arch. Rubio Cancela:

The U.S. Department of Housing (HUD) approved the allocations of Community Development Block Grant (CDBG-DR) funds on February 9, 2018. It also approved the allocation of Community Development Block Grant Mitigation (CDBG-MIT) funds on January 27, 2020. The purpose of these allocations is to address unsatisfied needs as a result of Hurricanes Irma and Maria in September 2017; and to carry out strategic and high-impact activities to mitigate disaster risks and reduce future losses.

To comply with the environmental requirements established by HUD, the Department of Housing of Puerto Rico (PRDOH) contracted Horne Federal LLC to provide environmental registry review services, among others, that will support the objectives of the agenda for both CDBG-DR and CDBG -MIT Programs.

In line to expedite the processes, Horne Federal LLC, is authorized to submit to the State Historic Preservation Officer, documentation of projects related to both the CDBG-DR and CDBG-MIT on behalf of PRDOH.

Cordially,

  
Juan C. Pérez Bofill, P.E. M.Eng  
Director of Disaster Recovery  
CDBG DR-MIT



**U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT**  
WASHINGTON, DC 20410-1000

This Worksheet was designed to be used by those “Partners” (including Public Housing Authorities, consultants, contractors, and nonprofits) who assist Responsible Entities and HUD in preparing environmental reviews, but legally cannot take full responsibilities for these reviews themselves. Responsible Entities and HUD should use the RE/HUD version of the Worksheet.

## **Noise (EA Level Reviews) – PARTNER**

<https://www.hudexchange.info/programs/environmental-review/noise-abatement-and-control>

**1. What activities does your project involve? Check all that apply:**

- New construction for residential use

NOTE: HUD assistance to new construction projects is generally prohibited if they are located in an Unacceptable zone, and HUD discourages assistance for new construction projects in Normally Unacceptable zones. See 24 CFR 51.101(a)(3) for further details.

→ Continue to Question 2.

- Rehabilitation of an existing residential property

NOTE: For major or substantial rehabilitation in Normally Unacceptable zones, HUD encourages mitigation to reduce levels to acceptable compliance standards. For major rehabilitation in Unacceptable zones, HUD strongly encourages mitigation to reduce levels to acceptable compliance standards. See 24 CFR 51 Subpart B for further details.

→ Continue to Question 2.

- None of the above

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.

**2. Complete the Preliminary Screening to identify potential noise generators in the vicinity (1000' from a major road, 3000' from a railroad, or 15 miles from an airport).**

**Indicate the findings of the Preliminary Screening below:**

- There are no noise generators found within the threshold distances above.

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide a map showing the location of the project relative to any noise generators.

- Noise generators were found within the threshold distances.

→ Continue to Question 3.

**3. Complete the Noise Assessment Guidelines to quantify the noise exposure. Indicate the findings of the Noise Assessment below:**

- Acceptable (65 decibels or less; the ceiling may be shifted to 70 decibels in circumstances described in §24 CFR 51.105(a))

**Indicate noise level here:** Click here to enter text.

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide noise analysis, including noise level and data used to complete the analysis.

- Normally Unacceptable: (Above 65 decibels but not exceeding 75 decibels; the floor may be shifted to 70 decibels in circumstances described in 24 CFR 51.105(a))

**Indicate noise level here:** Click here to enter text.

If project is rehabilitation:

→ Continue to Question 4. Provide noise analysis, including noise level and data used to complete the analysis.

If project is new construction:

**Is the project in a largely undeveloped area<sup>1</sup>?**

- No

Yes → **The project requires completion of an Environmental Impact Statement (EIS) pursuant to 51.104(b)(1)(i).**

→ Continue to Question 4. Provide noise analysis, including noise level and data used to complete the analysis.

- Unacceptable: (Above 75 decibels)

**Indicate noise level here:** Click here to enter text.

If project is rehabilitation:

*HUD strongly encourages conversion of noise-exposed sites to land uses compatible with high noise levels. Consider converting this property to a non-residential use compatible with high noise levels.*

→ Continue to Question 4. Provide noise analysis, including noise level and data used to complete the analysis, and any other relevant information.

If project is new construction:

***The project requires completion of an Environmental Impact Statement (EIS) pursuant to 51.104(b)(1)(i).*** Work with HUD or the RE to either complete an EIS or obtain a waiver signed by the appropriate authority.

→ Continue to Question 4.

4. **HUD strongly encourages mitigation be used to eliminate adverse noise impacts. Work with the RE/HUD on the development of the mitigation measures that must be implemented to mitigate for the impact or effect, including the timeline for implementation.**

- Mitigation as follows will be implemented:

Click here to enter text.

---

<sup>1</sup> A largely undeveloped area means the area within 2 miles of the project site is less than 50 percent developed with urban uses and does not have water and sewer capacity to serve the project.

→ Provide drawings, specifications, and other materials as needed to describe the project's noise mitigation measures.

*Continue to the Worksheet Summary.*

No mitigation is necessary.

**Explain why mitigation will not be made here:**

Click here to enter text.

*→ Continue to the Worksheet Summary.*

### **Worksheet Summary**

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

**Include all documentation supporting your findings in your submission to HUD.**

The project consists of the construction of a 132 keys hotel located at an urban area. No residential units are contemplated.



**U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT**  
WASHINGTON, DC 20410-1000

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## **Sole Source Aquifers (CEST and EA) - PARTNER**

<https://www.hudexchange.info/environmental-review/sole-source-aquifers>

### **1. Is the project located on a sole source aquifer (SSA)<sup>1</sup>?**

No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section.*

*Continue to the Worksheet Summary below. Provide documentation used to make your determination, such as a map of your project or jurisdiction in relation to the nearest SSA.*

Yes → *Continue to Question 2.*

### **2. Does the project consist solely of acquisition, leasing, or rehabilitation of an existing building(s)?**

Yes → *The review is in compliance with this section. Continue to the Worksheet Summary below.*

No → *Continue to Question 3.*

### **3. Does your region have a memorandum of understanding (MOU) or other working agreement with EPA for HUD projects impacting a sole source aquifer?**

Contact your Field or Regional Environmental Officer or visit the HUD webpage at the link above to determine if an MOU or agreement exists in your area.

Yes → *Continue to Question 4.*

No → *Continue to Question 5.*

### **4. Does your MOU or working agreement exclude your project from further review?**

Yes → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section.*

*Continue to the Worksheet Summary below. Provide documentation used to make your determination and document where your project fits within the MOU or agreement.*

No → *Continue to Question 5.*

### **5. Will the proposed project contaminate the aquifer and create a significant hazard to public health?**

Consult with your Regional EPA Office. Your consultation request should include detailed information about your proposed project and its relationship to the aquifer and associated streamflow source area. EPA will also want to know about water, storm water and waste water at the proposed project. Follow

<sup>1</sup> A sole source aquifer is defined as an aquifer that supplies at least 50 percent of the drinking water consumed in the area overlying the aquifer. This includes streamflow source areas, which are upstream areas of losing streams that flow into the recharge area.

your MOU or working agreement or contact your Regional EPA office for specific information you may need to provide. EPA may request additional information if impacts to the aquifer are questionable after this information is submitted for review.

No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide your correspondence with the EPA and all documents used to make your determination.*

Yes → *The RE/HUD will work with EPA to develop mitigation measures. If mitigation measures are approved, attach correspondence with EPA and include the mitigation measures in your environmental review documents and project contracts. If EPA determines that the project continues to pose a significant risk to the aquifer, federal financial assistance must be denied. Continue to Question 6.*

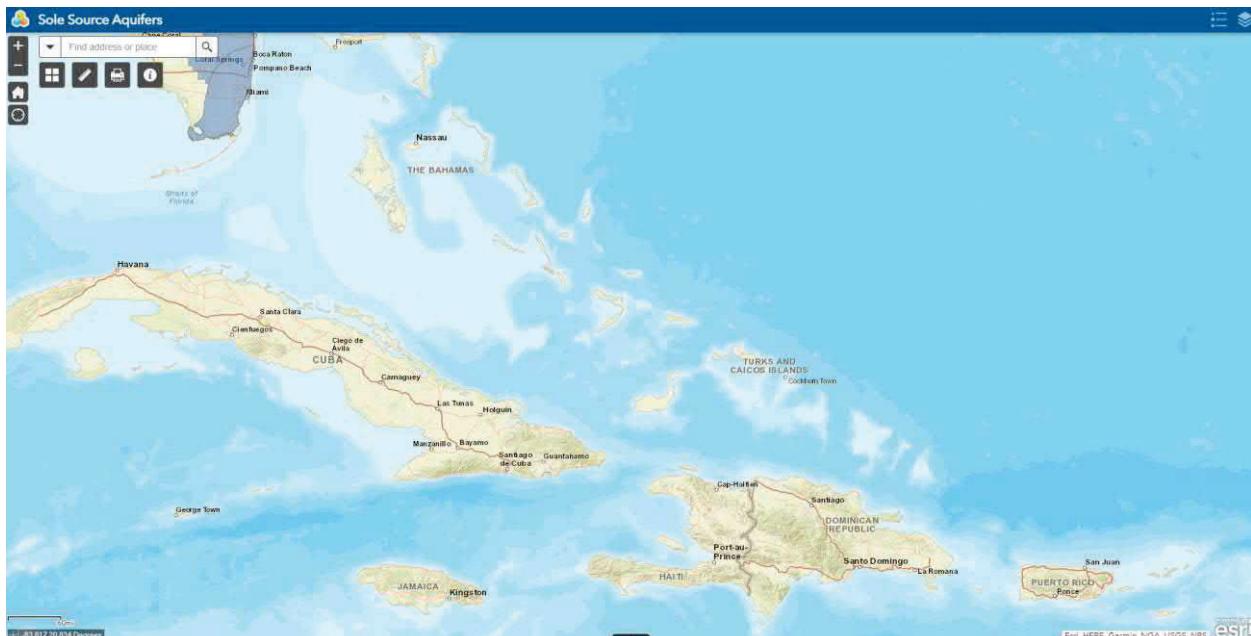
### **Worksheet Summary**

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

**Include all documentation supporting your findings in your submission to HUD.**

The Interactive map of the Sole Source Aquifer (SSA) provided through the EPA Webpage (<https://www.epa.gov/dwssa>) indicates that no SSA exists in Puerto Rico.



Obtained from:

<https://epa.maps.arcgis.com/apps/webappviewer/index.html?id=9ebb047ba3ec41ada1877155fe31356b>



**U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT**  
WASHINGTON, DC 20410-1000

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## **Wetlands (CEST and EA) – Partner**

<https://www.hudexchange.info/environmental-review/wetlands-protection>

**1. Does this project involve new construction as defined in Executive Order 11990, expansion of a building's footprint, or ground disturbance?**

The term "new construction" includes draining, dredging, channelizing, filling, diking, impounding, and related activities and construction of any structures or facilities.

No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.*

Yes → *Continue to Question 2.*

**2. Will the new construction or other ground disturbance impact a wetland as defined in E.O. 11990?**

No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide a map or any other relevant documentation to explain your determination.*

Yes → *Work with HUD or the RE to assist with the 8-Step Process. Continue to Question 3.*

**3. Does Section 55.12 state that the 8-Step Process is not required?**

No, the 8-Step Process applies.

This project will require mitigation and may require elevating structure or structures. See the link to the HUD Exchange above for information on HUD’s elevation requirements.

→ *Work with the RE/HUD to assist with the 8-Step Process. Continue to Worksheet Summary.*

5-Step Process is applicable per 55.12(a).

**Provide the applicable citation at 24 CFR 55.12(a) here.**

*Click here to enter text.*

→ *Work with the RE/HUD to assist with the 5-Step Process. This project may require mitigation or alterations. Continue to Worksheet Summary.*

8-Step Process is inapplicable per 55.12(b).

**Provide the applicable citation at 24 CFR 55.12(b) here.**

*Click here to enter text.*

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to Worksheet Summary.

8-Step Process is inapplicable per 55.12(c).

**Provide the applicable citation at 24 CFR 55.12(c) here.**

[Click here to enter text.](#)

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to Worksheet Summary.

### **Worksheet Summary**

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

**Include all documentation supporting your findings in your submission to HUD.**

The National Wetlands Inventory shows that the project is not located in areas classified as wetlands. A copy of the area map is included.



## U.S. Fish and Wildlife Service National Wetlands Inventory

Figure prepared by CMA Architects & Engineers LLC

## Fleming Hotel



November 22, 2022

### Wetlands

Estuarine and Marine Deepwater	■
Estuarine and Marine Wetland	■
Freshwater Emergent Wetland	■
Freshwater Forested/Shrub Wetland	■
Freshwater Pond	■
Lake	■
Other	■
Riverine	■

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currency of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

U.S. Fish and Wildlife Service National Standards and Support Team, wetlands\_team@fws.gov

This page was produced by the NWI mapper



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT  
WASHINGTON, DC 20410-1000

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## Wild and Scenic Rivers (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/wild-and-scenic-rivers>

**1. Is your project within proximity of a Wild and Scenic River, Study River, or Nationwide Rivers Inventory River?**

- No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Provide documentation used to make your determination.*
- Yes → *Continue to Question 2.*

**2. Could the project do *any* of the following?**

- Have a direct and adverse effect within Wild and Scenic River Boundaries,
- Invade the area or unreasonably diminish the river outside Wild and Scenic River Boundaries, or
- Have an adverse effect on the natural, cultural, and/or recreational values of a NRI segment.

Consult with the appropriate federal/state/local/tribal Managing Agency(s), pursuant to Section 7 of the Act, to determine if the proposed project may have an adverse effect on a Wild & Scenic River or a Study River and, if so, to determine the appropriate avoidance or mitigation measures.

**Select one:**

- The Managing Agency has concurred that the proposed project will not alter, directly, or indirectly, any of the characteristics that qualifies or potentially qualifies the river for inclusion in the NWSRS.  
→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Provide documentation of the consultation (including the Managing Agency's concurrence) and any other documentation used to make your determination.*
- The Managing Agency was consulted and the proposed project may alter, directly, or indirectly, any of the characteristics that qualifies or potentially qualifies the river for inclusion in the NWSRS.  
→ *The RE/HUD must work with the Managing Agency to identify mitigation measures to mitigate the impact or effect of the project on the river.*

### **Worksheet Summary**

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

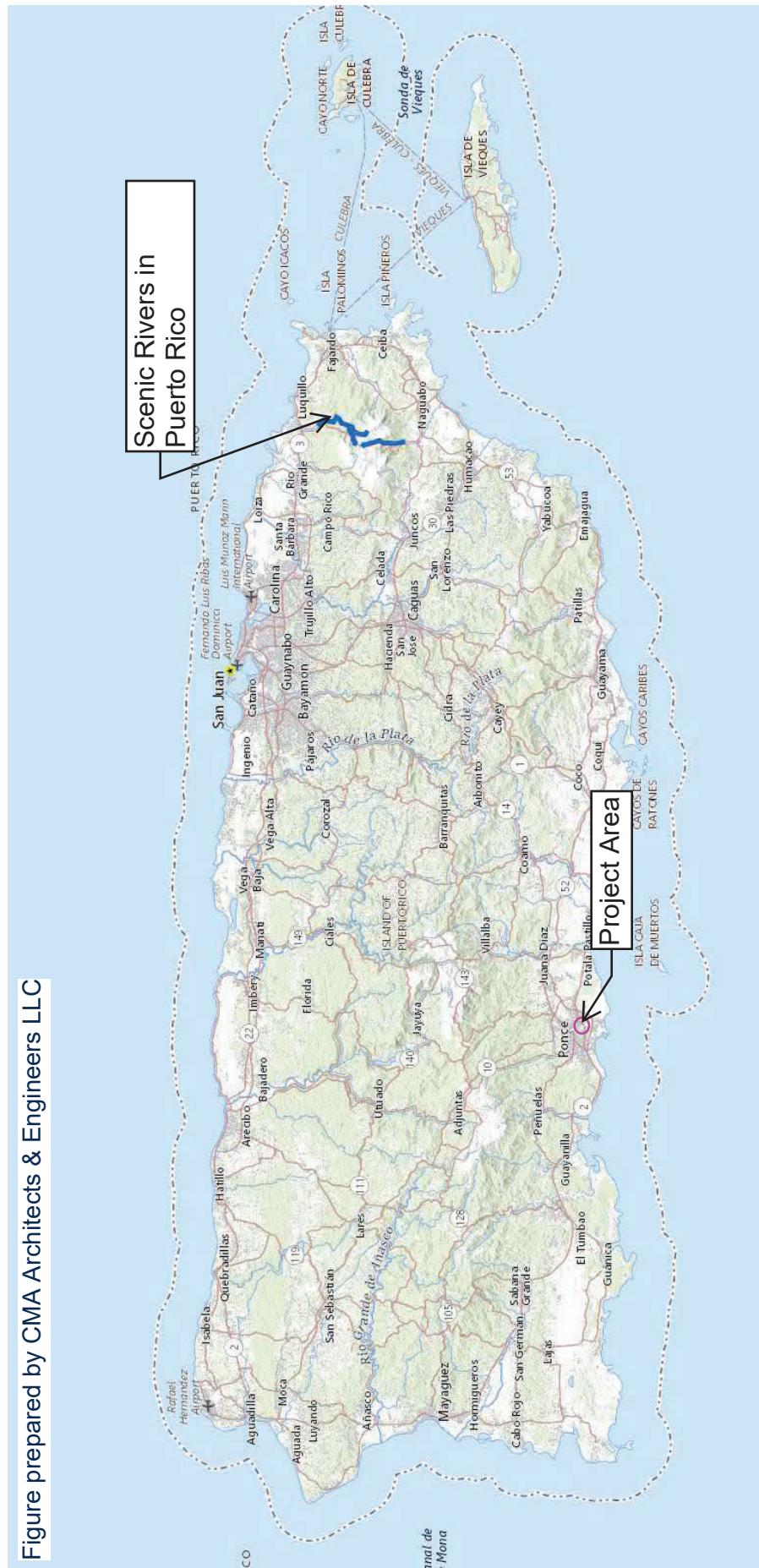
- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

**Include all documentation supporting your findings in your submission to HUD.**

The National Wild and Scenic Rivers System map for Puerto Rico does not have any scenic or wild river at the project area. Copy of the Wild and Scenic Map for Puerto Rico is attached.

# Wild and Scenic Rivers Map

Figure prepared by CMA Architects & Engineers LLC



Source: <https://www.rivers.gov/puerto-rico.php>  
April 13, 2022



**U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT**  
WASHINGTON, DC 20410-1000

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## **Environmental Justice (CEST and EA) – PARTNER**

<https://www.hudexchange.info/environmental-review/environmental-justice>

**HUD strongly encourages starting the Environmental Justice analysis only after all other laws and authorities, including Environmental Assessment factors if necessary, have been completed.**

**1. Were any adverse environmental impacts identified in any other compliance review portion of this project’s total environmental review?**

Yes → *Continue to Question 2.*

No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.*

**2. Were these adverse environmental impacts disproportionately high for low-income and/or minority communities?**

Yes

**Explain:**

Click here to enter text.

→ *The RE/HUD must work with the affected low-income or minority community to decide what mitigation actions, if any, will be taken. Provide any supporting documentation.*

No

**Explain:**

Click here to enter text.

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.*

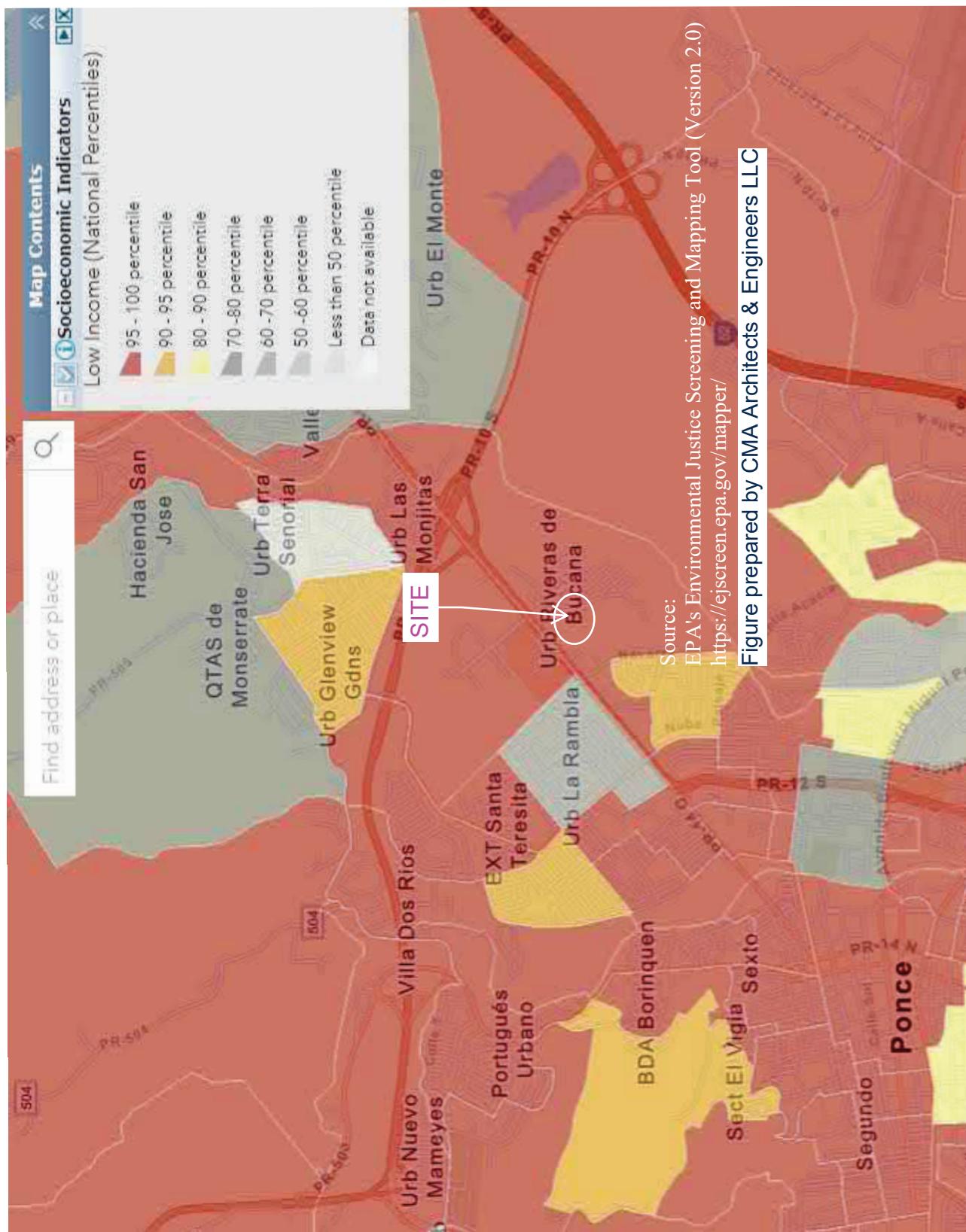
### **Worksheet Summary**

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

**Include all documentation supporting your findings in your submission to HUD.**

The project site is in a low income or minority population area (according to the EPA's Environmental Justice Screening and Mapping Tool), but the project would not have any adverse impact or effect on the population. The project area is classified as Residential-Commercial. The proposed project is compatible with the site zoning and is surrounded by other commercial developments. Copy of the Environmental Justice map is included as appendix.



## **Appendix D – Sign Installation Certification**



EDGARDO  
L. PÉREZ  
ARCHITECT  
ASSOCIATES  
[EDGARDOLPERZARQUITECTO.COM](http://edgardolperzarquitecto.com)

## CERTIFICACIÓN SOBRE INSTALACIÓN DE RÓTULO

Yo, Edgardo L. Pérez Morales, casado, vecino de Guaynabo, soy el proponente del proyecto "One Plaza Business Center" localizado en el municipio de Ponce. Para este proyecto se sometió a la Oficina de Gerencia de Permisos (OGPe) la consulta de construcción número 2020-349264-CCO-005879.

En cumplimiento de los requisitos para el rótulo de presentación establecidos por el Reglamento Conjunto para Evaluación y Expedición de Permisos Relacionados al Desarrollo, Uso de Terrenos y Operación de Negocios (RC-2019), con vigencia del 7 de junio de 2019, Sección 2.1.9.12, CERTIFICO QUE:

- a. Se instaló un rótulo en la entrada vehicular del predio, en dirección paralela a la vía pública (PR-14) que da acceso al lote, dentro de los límites de la propiedad.
- b. El rótulo contiene la información requerida de nombre del proyecto, número de solicitud, tipo de solicitud presentada, dueño de la obra, proponente de la obra, dirección postal de la OGPe, dirección de correo electrónico de la OGPe.
- c. El rótulo es de cuatro (4') pies de alto por ocho (8') pies de ancho, con letras negras sobre un fondo blanco, legible desde la vía pública.

Se acompaña la foto del rótulo instalado.

Y para que así conste, firmo y sello la presente certificación en Guaynabo, Puerto Rico, a 30 de diciembre de 2020.

Arq. Edgardo L. Pérez Morales  
Lic. Núm. 12081



## **Consulta de Construcción**

Número de Solicitud : 2020-349264-CCO-005879

Proyecto Propuesto : Proyecto Comercial Turístico One Plaza Business Center

Dueño : Fleming Hotel LLC

Proponente : Arq. Edgardo L. Pérez

Comentarios : Oficina de Permisos de Ponce  
Apdo. Postal 331709, Ponce, PR 00733  
[oficina.permisos@ponce.pr.gov](mailto:oficina.permisos@ponce.pr.gov)

**CONSULTA DE CONSTRUCCIÓN**

Número de Solicitud: 2020-340264-CCO-005879

Proyecto Propuesto: Proyecto Comercial Turístico  
Dueño: Fleming Hotel LLC  
Propietario: Arq. Edgardo L. Pérez

Clementina Oliva de Remíndez de Prince  
Avda. Príncipe 33100, Ponce PR 00733  
*Para ver más información: [www.sedaterrae.pr.gov](http://www.sedaterrae.pr.gov)*

## **CONSULTA DE CONSTRUCCIÓN**

**Número de Solicitud:** 2020-349264-CCO-005879

**Proyecto Propuesto:** Proyecto Comercial Turístico  
One Plaza Business Center

**Dueño:** Fleming Hotel LLC

**Proponente:** Arq. Edgardo L. Pérez

**Comentarios:** Oficina de Permisos de Ponce  
Apdo. Postal 331709, Ponce PR 00733  
[oficina.permisos@ponce.pr.gov](mailto:oficina.permisos@ponce.pr.gov)

## **Appendix E – SHIPO Programmatic Agreement**



**GOVERNMENT OF PUERTO RICO**  
**Department of Housing**

Date: November 1<sup>st</sup>, 2018

**MEMORANDUM**

To: Interested Parties

From: Fernando A. Gil-Enseñat, Esq.  
Secretary  
606 Barbosa Ave.  
Juan C. Cordero Davila Blvd.  
Rio Piedras, P.R. 00918

**Subject:** **ADDENDUM TO THE PROGRAMMATIC AGREEMENT BETWEEN THE FEDERAL EMERGENCY MANAGEMENT AGENCY, THE PUERTO RICO STATE HISTORIC PRESERVATION OFFICE, AND THE CENTRAL OFFICE FOR RECOVERY, RECONSTRUCTION, AND RESILIENCE TO INCLUDE THE PUERTO RICO DEPARTMENT OF HOUSING**

On February 9, 2018, the U.S. Department of Housing and Urban Development (HUD) allocated \$1,507,179,000.00 to the Government of Puerto Rico from Community Development Block Grant for Disaster Recovery (CDBG-DR) funds, as per the Supplemental Appropriations for Disaster Relief Requirements Act, 2017 (Public Law 115-56). The Puerto Rico Department of Housing (PRDOH) has been designated by the governor of Puerto Rico, Hon. Ricardo Rosselló-Nevares, as the grantee and administrator for this allocation. As grantee, PRDOH is the responsible entity acting as the federal agency that will carry out the environmental reviews required for CDBG-DR programs. These programs are authorized under PRDOH's Action Plan for Disaster Recovery, as approved by HUD on July 29, 2018, in compliance with 83 FR 5844 requirements.

PRDOH, in coordination with the Puerto Rico State Historic Preservation Office (SHPO), the Central Office for Recovery, Reconstruction, and Resilience (COR3, in lieu of the Puerto Rico Emergency Management Agency [PREMA]), and the Federal Emergency Management Agency (FEMA), agreed to adopt, through the attached **Addendum<sup>1</sup>**, FEMA's Prototype Agreement for its Programs in Puerto Rico and the Puerto Rico specific Programmatic Agreement (PA) executed on May 6, 2016 and amended on May 31, 2018. Such adoption will facilitate the implementation of those CDBG-DR projects subject to environmental review under HUD's corresponding regulations at 24 CFR Part 58, as well as Section 106 of the National Historic Preservation Act, and regulations at 36 CFR Part 800, Protection of Historic and Cultural Properties. For the review of all Second Tier projects and the completion of corresponding Standard Project Reviews, in accordance

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<sup>1</sup> Addendum to The Programmatic Agreement Between The Federal Emergency Management Agency, The Puerto Rico State Historic Preservation Office and The Central Office for Recovery, Reconstruction, And Resilience To Include The Puerto Rico Department Of Housing

with the PA, PRDOH will utilise specialized personnel meeting the Secretary of the Interior's Professional Qualification Standards.

The approved CDBG-DR Action Plan contemplates programs in four main categories as follows: Planning, Housing, Economic Development and Infrastructure. For more information about programs included in the approved Action Plan see the attached exhibit "Attachment 1 - CDBG-DR Program Summaries".

Planning Programs: Currently, these programs do not involve construction activities, therefore are exempt from the submission of environmental reviews.

Housing Programs: PRDOH expects to receive hundreds of thousands of requests for housing repairs and reconstruction all over the Island. According to data gathered by FEMA's Individual Assistance Program, hurricanes Irma and Maria inflicted damages to an estimated 1,067,6184 homes distributed across all 78 Municipalities in Puerto Rico. These construction activities will be subject to Environmental Review, as required by HUD 24 part 58 regulations.

Economic Development Programs: will be providing loans and grants to eligible micro, small, medium and large businesses distributed throughout Puerto Rico which may involve construction work. In those instances, PRDOH will require compliance with applicable HUD environmental review regulations.

Infrastructure Programs: PRDOH may combine funding from FEMA's Hazard Mitigation Grant Program (HMGP) with CDBG-DR funds to complete resilience projects in the future. Using a Global Match, the non-federal share for FEMA-4339-DR projects, under Categories C to G (as defined by the FEMA Public Assistance Program), does not need to be 10%, as long as the combined value of all eligible projects submitted equals or exceeds 10% for the overall disaster. The PRDOH will work closely with FEMA and COR3 while both agencies develop and complete the corresponding project worksheets. Evidence of compliance with environmental reviews will be required for all infrastructure projects performed islandwide under this program category.

PRDOH foresees that all repair, reconstruction and relocation activities within the aforementioned CDBG-DR Programs have the potential to include demolition, rehabilitation, new construction and/or ground disturbance activities. For this reason, PRDOH plans on establishing a comprehensive workplan to address HUD's pertinent regulations at 24 CFR Part 58, as well as Section 106 of the National Historic Preservation Act, and regulations at 36 CFR Part 800, Protection of Historic and Cultural Properties.

**ADDENDUM  
to  
THE PROGRAMMATIC AGREEMENT AMONG  
THE FEDERAL EMERGENCY MANAGEMENT AGENCY,  
THE PUERTO RICO STATE HISTORIC PRESERVATION OFFICER,  
and THE CENTRAL OFFICE OF RECOVERY, RECONSTRUCTION, AND RESILIENCY  
TO INCLUDE  
THE PUERTO RICO DEPARTMENT OF HOUSING**

**WHEREAS**, FEMA makes assistance available to States, Commonwealths, communities, Federally recognized Indian Tribes (Tribes) and other eligible entities through programs set forth in Appendix A (Programs), pursuant to the Homeland Security Act of 2002, Pub. L. No. 107-296 (2002) (codified as amended at 6 U.S.C. § 101 *et seq.*); Robert T. Stafford Disaster Relief and Emergency Assistance Act, Pub. L. No. 93-288 (1974) (codified as amended at 42 U.S.C. § 5121 *et seq.*, (Stafford Act); the National Flood Insurance Act of 1968, Pub. L. No. 90-448 (1968) (as amended); the National Flood Insurance Reform Act of 1994, Pub. L. No. 103-325 (1994) (as amended); the Post-Katrina Emergency Management Reform Act of 2006, Pub. L. No. 109-295 (2006) (as amended); implementing regulations contained in Title 44 of the Code of Federal Regulations (CFR), Executive Order 13407 (2006); the Sandy Recovery Improvement Act, Pub. L. No. 113-2 (2013); and such other acts, executive orders, implementing regulations, or Congressionally authorized programs as are enacted from time to time; and

**WHEREAS**, FEMA has developed a Prototype Programmatic Agreement (FEMA Prototype Agreement) pursuant to 36 CFR § 800.14(b)(4) in consultation with the Advisory Council on Historic Preservation and National Conference of State Historic Preservation Officers to serve as a basis for negotiation of a State/Tribal specific Programmatic Agreement with the State Historic Preservation Officer, State/Tribal Emergency Management Agency, and/or participating Tribe(s); and

**WHEREAS**, FEMA consulted with the Puerto Rico State Historic Preservation Officer (SHPO), and Puerto Rico Emergency Management Agency (PREMA) to adopt and execute the FEMA Prototype Agreement for its Programs in Puerto Rico, and the Puerto Rico specific Agreement (Agreement) was executed on May 6, 2016 and amended on May 31, 2018; and

**WHEREAS**, subsequent to the execution of the amended FEMA Prototype Agreement, the emergency management responsibilities of the Commonwealth were transferred from PREMA to the Central Office of Recovery, Reconstruction, and Resiliency (COR3) and COR3 will be a signatory to this Addendum in lieu of PREMA; and

**WHEREAS**, there are no Federal Tribes recognized in the Commonwealth of Puerto Rico, and no known Tribal interests in the Commonwealth of Puerto Rico by non-resident Tribes, and therefore no Tribes were invited to execute the Prototype Agreement or this Addendum; and

**WHEREAS**, under the Disaster Relief Appropriations Act of 2013 (Public Law 113-2, January 29, 2013); Further Continuing and Security Assistance Appropriations Act, 2017 (Public Law 114-254, December 10, 2016); Consolidated Appropriations Act, 2017 (Public Law 115-31, May 5, 2017); Continuing Appropriations Act, 2018 and Supplemental Appropriations for Disaster Relief Requirements Act, 2017 (Public Law 115-56, September 8, 2017), Additional Supplemental Appropriations For Disaster Relief Requirements Act, 2017 (Public Law 115-123, February 9, 2018) and other Congressionally authorized programs as are enacted from time to time, the U.S. Department of Housing and Urban Development (HUD) allocates Community Development Block Grant- Disaster Recovery (CDBG-DR) funds for disaster recovery activities similar to the activities covered by the Agreement; and

**WHEREAS**, the Puerto Rico Department of Housing intends to use its CDBG-DR funds as summarized in Attachment 1 to this Addendum; and

**WHEREAS**, the Puerto Rico Department of Housing has assumed HUD's environmental review responsibilities as Responsible Entity and is responsible for environmental review, decision-making and action, pursuant to Section 104(g) of the Housing and Community Development Act of 1974 (42 USC 5304(g)) and 24 CFR Part 58, and proposes to administer CDBG-DR funds pursuant to the Transportation, Housing and Urban Development, and Related Agencies Appropriations Act, 2016 and other Congressionally authorized programs as are enacted from time to time;

**WHEREAS**, Stipulation I.A.6. of the Agreement allows other Federal agencies, including state and local governments acting as Responsible Entities for CDBG-DR funds, to fulfill their Section 106 responsibilities for those types of activities covered under the terms of the Agreement by accepting and complying with the terms of the Agreement and executing this Addendum; and

**WHEREAS**, the Puerto Rico Department of Housing will ensure that staff who meet the Secretary of the Interior's Professional Qualification Standards will review all Second Tier projects in accordance with Appendix B of the Agreement and complete Standard Project Reviews in accordance with Stipulation II.C of the Agreement and the Puerto Rico Department of Housing will provide resumes of such staff to the signatories to this Addendum; and

**NOW, THEREFORE**, the Puerto Rico Department of Housing agrees to assume the federal agency role and accept the terms and conditions of the Agreement and subsequent amendments as appropriate under HUD's authorizing legislation and regulations, and thereby take into account

the effect of its undertakings and satisfy its Section 106 responsibilities for the CDBG-DR program for activities in Puerto Rico.

**DURATION AND EXTENSION,** This Addendum to the Agreement will remain in effect for currently open disaster declarations and subsequent disaster declarations in the Commonwealth of Puerto Rico; however, the Addendum will not exceed the expiration date of the Agreement. Signatories may collectively agree to extend this Addendum to cover additional calendar years provided that the Agreement is also extended; and

**DISPUTE RESOLUTION,** Should any signatory object in writing to the manner in which Puerto Rico Department of Housing implements the terms of the Agreement, the Puerto Rico Department of Housing shall follow the dispute resolution procedures found in Stipulation IV.B of the Agreement.

**EXECUTION AND IMPLEMENTATION,** of this Addendum to the Agreement evidences that the Puerto Rico Department of Housing has taken into account the effects of its undertakings on historic properties, and that through the execution of this Addendum and implementation of the Agreement will satisfy its responsibilities under Section 106 of the National Historic Preservation Act and its implementing regulations for the referenced CDBG-DR program for activities in Puerto Rico. This Addendum may be executed in counterparts, with separate signature pages.

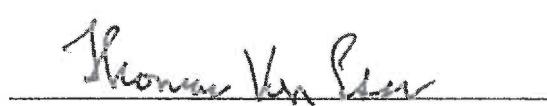
ADDENDUM  
to  
**THE PROGRAMMATIC AGREEMENT AMONG**  
**THE FEDERAL EMERGENCY MANAGEMENT AGENCY,**  
**THE PUERTO RICO STATE HISTORIC PRESERVATION OFFICER,**  
**and THE CENTRAL OFFICE OF RECOVERY, RECONSTRUCTION, AND RESILIENCY**  
**TO INCLUDE**  
**THE PUERTO RICO DEPARTMENT OF HOUSING**

**SIGNATORY PARTIES:**

**FEDERAL EMERGENCY MANAGEMENT AGENCY**

  
John McKee  
Regional Environmental Officer  
FEMA Region II

Date: 18 DEC 2018

  
Thomas Von Essen  
Regional Administrator  
FEMA Region II

Date: Dec. 15, 2018

**ADDENDUM  
to  
THE PROGRAMMATIC AGREEMENT AMONG  
THE FEDERAL EMERGENCY MANAGEMENT AGENCY,  
THE PUERTO RICO STATE HISTORIC PRESERVATION OFFICER,  
and THE CENTRAL OFFICE OF RECOVERY, RECONSTRUCTION, AND RESILIENCY  
TO INCLUDE  
THE PUERTO RICO DEPARTMENT OF HOUSING**

**SIGNATORY PARTIES:**

**PUERTO RICO STATE HISTORIC PRESERVATION OFFICER**



Date: 11/14/18

Carlos Rubio-Cancela  
State Historic Preservation Officer

**ADDENDUM  
to  
THE PROGRAMMATIC AGREEMENT AMONG  
THE FEDERAL EMERGENCY MANAGEMENT AGENCY,  
THE PUERTO RICO STATE HISTORIC PRESERVATION OFFICER,  
And THE CENTRAL OFFICE OF RECOVERY, RECONSTRUCTION, AND RESILIENCY  
TO INCLUDE  
THE PUERTO RICO DEPARTMENT OF HOUSING**

**SIGNATORY PARTIES:**

**THE CENTRAL OFFICE OF RECOVERY, RECONSTRUCTION, AND RESILIENCY**



Date: \_\_\_\_\_

Mr. Omar J. Marrero, Esq.  
Governor's Authorized Representative  
Executive Director

**ADDENDUM  
to  
THE PROGRAMMATIC AGREEMENT AMONG  
THE FEDERAL EMERGENCY MANAGEMENT AGENCY,  
THE PUERTO RICO STATE HISTORIC PRESERVATION OFFICER,  
And THE CENTRAL OFFICE OF RECOVERY, RECONSTRUCTION, AND RESILIENCY  
TO INCLUDE  
THE PUERTO RICO DEPARTMENT OF HOUSING**

**SIGNATORY PARTIES**

**PUERTO RICO DEPARTMENT OF HOUSING**

fgl a sv

Date:

11/1 /18

Fernando Gil Enseñat  
Secretary of the Puerto Rico Department of Housing

## Attachment 1

### CDBG-DR Programs Summaries

The following programs are authorized under the Puerto Rico Department of Housing's (PRDOH) Action Plan for Disaster Recovery, approved by the US Department of Housing and Urban Development (HUD) on July 29, 2018, in conformance with the Community Development Block Grant for Disaster Recovery (CDBG-DR) allocation of \$1,507,179,000, awarded under Public Law 115-56 and announced through Federal Register 83 FR 5844. Additional programs created with future CDBG-DR allocations, including Public Law 115-123, will be described in updates to PRDOH's Action Plan and will be eligible for review under this Addendum.

#### **Planning Programs**

##### **Whole Community Resilience Program** *Eligible under Section 105(a) (12) of the HCDA*

Phase I of the Whole Community Resilience Program each municipio will be eligible to receive reimbursement for documented staff time related to conducting community planning associated with the initial phase, up to \$20,000. The tasks in phase one may include, but are not limited to, data collection and initial analysis, technical training, and outreach to communities within the municipio.

In Phase 2, communities may apply openly based on selection criteria developed by PRDOH and the Foundation for Puerto Rico. The selection criteria for Phase 2 funding will be published in the 4<sup>th</sup> quarter of 2018 as part of the program guidelines. Selected communities may receive a planning award of up to \$500,000 per community plan. Plans will lay the groundwork for effective and expedient housing, infrastructure and social investments as long-term recovery programs are funded.

##### **Agency Planning Initiatives (GIS, Planning Integration) Program** *Eligible under Section 105(a) (12) of the HCDA*

Through a direct allocation to the Puerto Rico Planning Board, the Agency Planning Initiative will be undertaken to build the data sets for property across the island to ensure land use is correctly permitted, planned, inspected, insured, and viewable to the municipios. The objective of this initiative will not provide title to unregistered properties; however it will identify which properties do not have title and which structures are informal or unregistered. This will set the stage for proper title transfers to take place.

##### **Economic Recovery Planning Program** *Eligible under Section 105(a) (12) of the HCDA*

PRDOH, in partnership with the Department of Economic Development and Commerce (DDEC for its Spanish acronym) will lead an overarching planning effort to create strategies for job creation through promotion and communication (implemented apart from the planning initiative), efficient public service delivery, business creation, and public investments. Through the economic planning program, PRDOH and DDEC will determine priorities, resources, and actions that will guide economic stability and growth. Guiding principles will focus on the well-being of low- and moderate-income workers and how larger economic planning efforts should enhance future job opportunities and inclusion in a recovering and expanding economy.

## **Housing Programs**

### *Home Repair, Reconstruction, or Relocation Program*

*Eligible under Section 105(a)(4) of HCDA and Section 105(a)(15)*

This program provides funding to homeowners to repair damaged homes or rebuild substantially damaged homes in place in non-hazard areas. Reconstruction activity returns otherwise displaced families to their homes in their same community. Substantially damaged homes in the floodplain and homes that may not be rebuilt in place due to legal, engineering or environmental constraints (permitting, extraordinary site conditions, etc.) will not be reconstructed and the homeowner will be provided relocation options.

Relocation options include providing eligible homeowners the choice between purchasing an existing home or constructing a new home on a vacant lot identified outside of the floodplain. Existing homes may be bank-foreclosed properties, on a PRDOH certified development roster, a market-listed unit, or a home in a condominium or co-op.

### *Title Clearance Program*

*Eligible under HCDA Section 105(a)(8)*

The Title Clearance Program aims to provide clear title to homeowners throughout the hurricane-impacted area, therefore resulting in long-term sustainability and security for residents. Applicants who are otherwise eligible for rehabilitation or reconstruction assistance under the housing program who need remedial and curative title/ownership actions will be prioritized for limited legal services assistance. Limited legal services to resolve title issues will be performed under the direction or supervision of one or more attorneys duly licensed and authorized to practice law within the Commonwealth of Puerto Rico under rates that are subject to program approval. Homeowners unable to resolve title issues with the assistance of the legal service providers may be recommended for longer-term assistance, separate and apart from the services provided under this program.

### *Mortgage Catch-Up Program*

*Eligible under Section 105(a)(24) of the HCDA; pending a waiver from HUD*

This program will provide mortgage payment assistance for up to 100% of the principal, interest, tax, and insurance on arrears for up to 12 months (dating back to the time of hurricane impact) as indicated in the monthly mortgage statement. All participants in the mortgage catch-up program will be partnered with a housing counselor, who will provide homeownership counseling and financial management guidance. PRDOH has chosen to partner with the Housing Finance Authority (AFV, for its Spanish acronym) to administer this program. Program funds will not be used to pay late fees or legal fees, and mortgagees will be encouraged to restructure or modify the terms of the loans to ease repayment in the long term.

Note: The Mortgage Catch-Up program may not begin until HUD approves a waiver authorizing the program.

### *Social Interest Housing Program*

*Eligible under Section 105(a)(4) and (Section 105(a)(15) of HCDA*

This project provides funding to non-governmental organizations (NGO) or non-profit entities for the creation or rehabilitation of social interest housing projects. NGOs with projects approved by PRDOH will

be responsible for execution of the project under the guidance of PRDOH. Facilities may be overseen by HUD Continuum of Care Program providers and may supplement Emergency Solutions Grants (ESG) programs for a coordinated impact to:

- Provide essential services to shelter residents;
- Rapid re-housing of homeless individuals and families; and
- Prevention of families and individuals from becoming homeless.

Submissions may include proposals for more than one project. PRDOH estimates that 500 housing units will be created under this program. Public services provided as part of a proposed project may not supplant other funds and must be part of a new service or quantifiable increase in the level of a service previously provided.

**Housing Counseling Program**

*Eligible under Section 105(a)(8) of the HCDA and Public Services 105(a)(20)*

This program will provide recovering residents with wrap-around educational services to promote understanding of housing and financial options such as: financial literacy education, homebuyer counseling, credit repair counseling, mitigate default/foreclosure proceedings, etc. Housing Counselors will be equipped to connect program participants with resources including, but not limited to Voluntary Organizations Active in Disaster (VOAD), and other federally funded programs like COC and section 8, and rental subsidy programs.

**CDBG-DR Gap to Low Income Housing Tax Credit (LIHTC) Program**

*Eligible under Section 105(a)(4) of HCDA and IRC §42, Low-Income Housing Credit*

Puerto Rico receives millions of dollars each year in Low Income Housing Tax Credits (LIHTC) and currently has more than \$1 billion in LIHTC 4% projects available to be leveraged. Additionally, at least eleven (11) projects under the 9% tax-credit program are shovel-ready and awaiting gap financing. PRDOH will provide gap funding, using CDBG-DR dollars, for properties being developed with LIHTC, thus maximizing the benefit provided by both federal funding streams. Properties developed under this program are multi-family structures; which are evaluated based on cost reasonableness, developer capacity, number of beneficiaries and shovel-readiness.

**Rental Assistance Program**

*Eligible under Section 105(a) (8)/570.201(e)*

Grant funds will provide temporary rental assistance to residents of storm-impacted areas (pursuant to Federal Register Notice of allocation) who are experiencing homelessness or are at risk of becoming homeless. Rental assistance provided by the program utilized to reduce the monthly lease payment for a period of up to 24 months and will be used to make up the difference between the amount a household can afford for housing under local rent standards and can include an option to assist tenants with utility costs and security deposits.

**Home Energy Resilience Program**

*Eligible as a Public Service under 24 CFR Part 570.201*

The Home Energy Resilience program will provide homeowners or renters a voucher for a gas or solar powered water heater, and/or gas-powered stove, installation and related appurtenances so that residents can perform basic functions such as showering and preparing meals at home in the event of a power outage. Vouchers may be used at PRDOH pre-qualified vendors and installers. The cap in value per applicant is

\$6,000, with only one system installation per home. Equipment will be installed and affixed to the residence. Priority will be given to the elderly and limited to low-income residents. Priority for the elderly does not preclude assistance to other eligible applicants. PRDOH anticipates providing home energy resilience improvements to at least 6,000 families under this program.

### **Economic Development Planning Programs**

#### **Construction and Commercial Revolving Loan Program**

*Eligible under Section 105 (a) (17) of HCDA)*

The Construction and Commercial Revolving Loan Program provides local contractors access to start-up and mobilization capital will build local reconstruction capacity and maximize the amount of funds recirculated into the island's economy.

#### **Small Business Financing Program**

*Eligible under Section 105 (a) (17) of HCDA)*

The Small Business Financing Program provides loans, very small grants, or forgivable loans, to start-up, newly established, or growing small businesses for economic development purposes. Eligible businesses also receive technical assistance throughout the life of the loan by connecting them to any additional tools needed to operate successfully.

#### **Small Business Incubators and Accelerators Program**

*Eligible under Section 105 (a)(15) and Section 105 (a) (17) of HCDA; 105(a)(22)*

The Small Business Incubators and Accelerators program will provide funding to non-profit organizations, units of local government, private, governmental and/or for-profit organizations to repair existing Small Business Incubators or build new ones. Business incubators and accelerators will be encouraged to incorporate resilience measures to allow for continuity of business operations in the event of power outages, natural disasters, or other disruptive events. This will provide the added benefit of creating business shelters during future events.

#### **Workforce Training Program**

*Eligible under Section 105 (a) (17) of HCDA); Public Service Section 105(a)(8) of HCDA*

This program will help unemployed and underemployed residents find employment by providing job training in skill areas related to recovery efforts. Training curriculum offered will depend on the industries and areas with the greatest lack of capacity based on community unmet need in those industries and areas. Units of local government, non-profit organizations, and governmental and quasi-governmental agencies will be invited to propose workforce training programs to DDEC under program guidelines as approved by PRDOH.

#### **Tourism and Business Marketing Program**

*Eligible under Section 105 (a)(15) and Section 105 (a) (17) of HCDA; 105(a)(22); and under 84 FR 40314*

This program will fund subrecipients to develop a comprehensive marketing effort to promote outside the Island that the area is open for business. The projected use of funds for marketing and outreach efforts will be focused on advertising creation and media placement (television/radio/digital and out-of-home advertising) outside of Puerto Rico, as well as promoting Puerto Rico as an ideal place to do business. No elected officials or political candidates will be featured or included in promotional marketing funded through this program. Per CDBG regulation, CDBG-DR funds shall not be used to engage in partisan political activities, such as candidate forums.

**Strategic Projects and Commercial Development Program**

*Eligible under Section 101(c), Section 104(b), Section 105(c), Section 105(a)(4), Section 105(a)(15) of the HCDA*

Commercial rehabilitation activities are designed to bring commercial structures up to code or improve their facades. If the commercial structure is owned by a private, for-profit entity, the following limitations apply: Rehabilitation is limited to the exterior of the building and the correction of code violations; Any other improvements are carried out under the special economic development activities category.

Special economic activities provide for the acquiring, constructing, reconstructing, rehabilitating, or installing commercial or industrial buildings, structures, and other real property equipment and improvements, including railroad spurs or similar extensions. These are economic development projects undertaken by nonprofit entities and grantees (public entities).

**Infrastructure Programs**

**FEMA Coordination**

*Eligible under Section 105(a)(9) of the HCDA*

PRDOH may combine funding from FEMA's Hazard Mitigation Grant Program (HMGP) with CDBG-DR funds to complete resilience projects.

Amendment five of the notice FEMA-4339-DR, authorizes a 90% federal share for permanent work under FEMA categories C - G. It is allowable that CDBG-DR funds be used as part of a coordinated match or global match to provide all or a portion of the non-federal share. Using a Global Match, the non-federal share for each project need not be 10%, so long as the combined value of all eligible projects submitted equals or exceeds 10% for the overall disaster. Puerto Rico will co-ordinate with FEMA and HUD to ensure all eligibility requirements are met for all project applications submitted for Global Match.

**AMENDMENT TO  
PROGRAMMATIC AGREEMENT AMONG  
THE FEDERAL EMERGENCY MANAGEMENT AGENCY,  
THE PUERTO RICO STATE HISTORIC PRESERVATION OFFICER,  
AND THE PUERTO RICO EMERGENCY MANAGEMENT AGENCY**

**WHEREAS**, the Agreement was executed on May 6, 2016; and

**WHEREAS**, to minimize delays in the delivery of assistance by the Federal Emergency Management Agency (FEMA) in the aftermath of Hurricane Irma (DR-4336-PR) and Hurricane Maria (DR-4339-PR), the Agreement will be amended to include additional Programmatic Allowances under Appendix B for FEMA-funded activities which FEMA and SHPO have agreed will have no or minimal effect on historic properties if implemented as specified in this Appendix and will not require review by the State Historic Preservation Officer (SHPO); and

**WHEREAS**, in response to SHPO concerns regarding the anticipated new permanent housing construction program proposed in the aftermath of Hurricane Maria, SHPO and FEMA have agreed to remove “home replacement” from the list of actions exempted from Section 106 review as described in Stipulation I.A.7.a; and

**WHEREAS**, to ensure the appropriate application of the Programmatic Allowances (Appendix B), an expanded definition of “in-kind” as referenced in the Programmatic Allowances has been added to the introduction to Appendix B; and

**WHEREAS**, to ensure appropriate application of the Programmatic Allowances to ground disturbing activities, additional language has been added to the introduction of Appendix B regarding methods of identifying soil disturbance, types of projects that will likely disturb the soil horizon, and providing greater clarity on soil disturbance, especially as applicable to roads and parking area; and

**WHEREAS**, to address SHPO concerns resulting from the extensive FEMA-funded private property demolition that is anticipated in the aftermath of Hurricane Maria, **Appendix C: Criteria for Identification of Collapsed Structures** has been added to create common criteria for identifying collapsed structures; and

**WHEREAS**, to address SHPO concerns regarding the identification of buildings eligible for FEMA’s Private Property Debris Removal program **Appendix D: Private Property Debris Removal Program Process** has been added to ensure that only buildings meeting FEMA’s Public Assistance program eligibility guidelines will be reviewed for compliance with Section 106; and

**WHEREAS**, to address SHPO concerns regarding potential impacts to archaeological resources, **Appendix E: Low Impact Debris Removal Stipulations** has been added in order to provide Best Management Practices that will protect potential archaeological resources; and

**WHEREAS**, Appendix C: Treatment Measures has been retitled **Appendix F**.

**NOW THEREFORE**, in accordance with Stipulation IV.A.1 of the Agreement, the signatories and invited signatories agree to amend the Agreement, complete with all the Appendices below, as follows:

**PROGRAMMATIC AGREEMENT AMONG  
THE FEDERAL EMERGENCY MANAGEMENT AGENCY,  
THE PUERTO RICO STATE HISTORIC PRESERVATION OFFICER,  
AND THE PUERTO RICO EMERGENCY MANAGEMENT AGENCY**

**WHEREAS**, the mission of the Federal Emergency Management Agency (FEMA) of the Department of Homeland Security is to support our citizens and first responders to ensure that as a nation we work together to build, sustain, and improve our capability to prepare for, protect against, respond to, recover from, and mitigate all hazards; and

**WHEREAS**, FEMA makes assistance available to States, Territories, Commonwealths, communities, Federally recognized Indian Tribes (Tribes) and other eligible entities through programs (Programs) set forth in Appendix A, pursuant to the Homeland Security Act of 2002, Pub. L. No. 107-296 (2002) (codified as amended at 6 U.S.C. § 101 *et seq.*); Robert T. Stafford Disaster Relief and Emergency Assistance Act, Pub. L. No. 93-288 (1974) (codified as amended at 42 U.S.C. § 5121 *et seq.*, (Stafford Act); the National Flood Insurance Act of 1968, Pub. L. No. 90-448 (1968) (as amended); the National Flood Insurance Reform Act of 1994, Pub. L. No. 103-325 (1994) (as amended); the Post-Katrina Emergency Management Reform Act of 2006, Pub. L. No. 109-295 (2006) (as amended); implementing regulations contained in Title 44 of the Code of Federal Regulations (CFR), Executive Order 13407 (2006); the Sandy Recovery Improvement Act, Pub. L. No. 113-2 (2013); and such other acts, Executive Orders, implementing regulations, or Congressionally authorized programs as are enacted from time to time; and

**WHEREAS**, FEMA has determined that implementing its Programs may result in Undertakings (as defined by 54 U.S.C. § 300301 and 36 CFR § 800.16(y)) that may affect properties listed in or eligible for listing in the National Register of Historic Places (National Register) pursuant to 36 CFR Part 60 (historic properties), and FEMA has consulted with the Puerto Rico State Historic Preservation Officer (SHPO) pursuant to Section 106 of the National Historic Preservation Act (NHPA), Pub. L. No. 89-665 (1966) (codified at 54 U.S.C. § 306108 (as amended by Pub. Law No. 96-515 of December 14, 2014)), and the regulations implementing Section 106 of the NHPA (Section 106) at 36 CFR Part 800; and

**WHEREAS**, FEMA, the Advisory Council on Historic Preservation (ACHP), and the National Conference of State Historic Preservation Officers (NCSHPO) have determined that FEMA's Section 106 requirements can be more effectively and efficiently implemented and delays to the

delivery of FEMA assistance minimized if a programmatic approach is used to stipulate roles and responsibilities, exempt certain Undertakings from Section 106 review, establish protocols for consultation, facilitate identification and evaluation of historic properties, and streamline the assessment and resolution of adverse effects; and

**WHEREAS**, FEMA has developed a Prototype Programmatic Agreement (FEMA Prototype Agreement) pursuant to 36 CFR § 800.14(b)(4) in consultation with the ACHP and NCSHPO to serve as a basis for negotiation of a State specific Programmatic Agreement (Agreement) with the SHPO, State/Tribal Emergency Management Agency, and/or participating Tribe(s) or Native Hawaiian organization(s); and

**WHEREAS**, this Agreement conforms to the FEMA Prototype Agreement as designated by the ACHP on December 13, 2013, and therefore does not require the participation or signature of the ACHP; and

**WHEREAS**, in order to implement its Programs, FEMA will provide assistance to the Commonwealth of Puerto Rico that may provide monies and other assistance to eligible sub-recipients, and as such, the Puerto Rico Emergency Management Agency (Recipient) that is typically responsible for administering funds provided under these Programs, has participated in this consultation, and FEMA has invited them to execute this Agreement as an Invited Signatory; and

**WHEREAS**, FEMA also may directly perform its own Undertakings pursuant to this Agreement; and

**WHEREAS**, there are no Federal Tribes recognized in the Commonwealth of Puerto Rico, and no known Tribal interests in the Commonwealth of Puerto Rico by non-resident Tribes, and therefore no Tribes were invited to execute this Agreement; and

**WHEREAS**, in anticipation or in the immediate aftermath of an event, impacted communities and the Commonwealth of Puerto Rico may conduct critical preparedness, response and recovery activities to safeguard public health and safety and/or to restore vital community services and functions before, during, and or following an event. Some of these activities may become Undertakings requiring Section 106 review subject to the terms of this Agreement, and FEMA shall coordinate the appropriate review as warranted; and

**WHEREAS**, for the review of specific Undertakings under this Agreement, FEMA may invite other agencies, organizations, and individuals to participate as consulting parties; and

**NOW, THEREFORE**, FEMA and SHPO as Signatories and the Recipient as Invited Signatory (collectively referenced hereafter as Signatories) agree that FEMA Programs in the Commonwealth of Puerto Rico shall be administered in accordance with the following Stipulations to satisfy FEMA's Section 106 and Section 110 responsibilities for all resulting Undertakings and effectively integrate historic preservation compliance considerations into the delivery of FEMA assistance.

FEMA will not authorize implementation of an individual Undertaking until Section 106 review is completed pursuant to this Agreement.

## **STIPULATIONS**

To the extent of its legal authority, and in coordination with other Signatories, FEMA shall ensure that the following measures are implemented:

### **I. GENERAL**

#### **A. Applicability**

1. The execution of this Agreement supersedes the terms of the Programmatic Agreement among FEMA, SHPO, the Puerto Rico Emergency Management Agency, and the Puerto Rico Office of Management and Budget dated May 9, 2011, and the subsequent letter from the SHPO dated July 11, 2011, approving additional Allowances.
2. For FEMA Undertakings that also are within the jurisdiction of the Federal Communications Commission (FCC) and within the scope of its Section 106 Programmatic Agreements for communication facilities, FEMA defers Section 106 review in accordance with the ACHP Program Comment of October 23, 2009, amended September 24, 2015 (<http://www.ach.gov/docs/pc-wireless-communication.pdf>). The approval of funding for the FEMA Undertaking shall be conditioned upon the compliance of the sub-recipient with FCC's applicable Section 106 review. FEMA shall notify the SHPO when it applies the ACHP Program Comment to an Undertaking. FEMA remains responsible for any FEMA Undertakings it determines are outside the jurisdiction of FCC.
3. In the event of a Stafford Act major disaster or emergency declaration (Declaration), State, and local governments may lack the capability to perform or to contract for emergency work, and instead request that the work be accomplished by a Federal agency. Through a mission assignment (MA), FEMA may direct appropriate Federal agencies to perform the work. This Agreement shall apply to such Federal assistance undertaken by or funded by FEMA pursuant to Titles IV and V of the Stafford Act and 44 CFR Part 206.
4. FEMA may utilize this Agreement to fulfill its Section 106 responsibilities and those of other Federal agencies that designate FEMA, or another Federal agency, as the lead Federal agency pursuant to 36 CFR § 800.2(a)(2) with appropriate notification to the other Signatories and the ACHP regarding Undertakings that fall within the scope of this Agreement. When FEMA is not designated as the lead Federal agency, all Federal agencies, including FEMA, remain individually responsible for their compliance with Section 106. FEMA may also recognize another Federal agency as lead Federal agency for specific Undertakings as appropriate.

5. If another Federal program or Federal agency has concluded Section 106 consultation review and approved an Undertaking within the past five (5) years, FEMA has no further requirement for Section 106 review regarding that Undertaking provided that FEMA:

- a. confirms that the scope and effect [as defined by 36 CFR § 800.16(i)] of its Undertaking are the same as that of the Undertaking reviewed by the previous agency;
- b. determines that the previous agency complied with Section 106 appropriately, and;
- c. adopts the findings and determinations of the previous agency.

FEMA shall document these findings in its project file in order to confirm that the requirements of Section 106 have been satisfied. Should FEMA, in consultation with SHPO determine that the previous Section 106 review was insufficient or involved interagency disagreements about eligibility, effect, and/or treatment measures, FEMA shall conduct additional Section 106 consultation in accordance with the terms of this Agreement.

6. With the written concurrence of the Signatories, other Federal agencies providing financial assistance for the same type of activities covered under the terms of this Agreement as outlined in Appendix A may satisfy their Section 106 responsibilities for such activities by accepting and complying in writing with the terms of this Agreement.
  - a. Other Federal agencies may include States and units of local government who have assumed environmental responsibilities of the U.S. Department of Housing and Urban Development and, acting as the Responsible Entity pursuant to 24 CFR Part 58, are responsible for environmental review, decision-making and action.
  - b. In such situations, the other Federal agency shall notify the Signatories in writing of its intent to use this Agreement to achieve compliance with its Section 106 requirements, and consult with the Signatories regarding its Section 106 compliance responsibilities. Resumes of staff who meet the Secretary of the Interior Professional Qualification Standard(s) and will review Second Tier projects in accordance with Appendix B of this Agreement shall be provided to the SHPO.
  - c. When amendments are made to the body of this Agreement, the other Federal Agencies utilizing the Agreement shall notify the Signatories in writing of its intent to use the Agreement as amended. Written notification by the other Federal agencies is not required when amendments are made to Appendices A, B C, D, E and F.

7. FEMA has determined that the following types of activities have limited or no potential to affect historic properties and FEMA has no further Section 106 responsibilities with regards to them, pursuant to 36 CFR § 800.3(a)(1):
  - a. Pursuant to 44 CFR § 206.110(m), assistance to individuals and households provided under 44 CFR Part 206, Subpart D and Section 408 of the Stafford Act, including funding for owner occupied home repair, content replacement, personal property, transportation and healthcare expenses, is exempt from the provisions of Section 106. For ground disturbing activities, and construction related to 44 CFR §§ 206.117(b)(1)(ii) (temporary housing), 206.117(b)(3) (replacement housing), 206.117(b)(4) (permanent housing construction), 206.117(c)(1)(vi) (repair or replacement of privately owned access routes), and repair of multi-family housing units, FEMA shall conduct Section 106 review.
  - b. Administrative actions such as personnel actions, travel, procurement of services, supplies (including vehicles and equipment) for the support of day-to-day and emergency operational activities, and the temporary storage of goods provided storage occurs within existing facilities or on previously disturbed soils.
  - c. Granting of variances, and actions to enforce Federal, State, or local codes, standards or regulations.
  - d. Monitoring, data gathering, and reporting in support of emergency and disaster planning, response and recovery, and hazard activities.
  - e. Research and development of hazard warning systems, hazard mitigation plans, codes and standards, and education/public awareness programs.
  - f. Assistance provided for planning, studies, design and engineering costs that involve no commitment of resources other than staffing and associated funding.
  - g. Assistance provided for training, management and administration, exercises, and mobile/portable equipment purchases; with the exception of potential ground-disturbing activities and modification of existing structures.
  - h. Community Disaster Loans for funding to perform governmental functions for any eligible jurisdiction in a designated disaster area that has suffered a substantial loss of tax and other revenue.
    - i. Funding the administrative action of acquisition or lease of existing facilities where planned uses conform to past use or local land use requirements.
    - j. Funding the administrative action of acquiring properties in acquisition projects, including the real estate transaction.

- k. Labor, equipment and materials used to provide security in the Declaration area, including lease, rental, purchase or repair of equipment or vehicles and payment for staff and contract labor.
  - l. Application of pesticides to reduce adverse public health effects, including aerial and truck-mounted spraying.
  - m. Unemployment assistance.
  - n. Distribution of food coupons.
  - o. Legal services.
  - p. Crisis counseling.
8. Any FEMA Programs authorized by the United States Congress in the future may be included in this Agreement in accordance with Stipulation IV.A, Amendments. Any change in the FEMA name, Programs, or organizational structure shall not affect this Agreement.

## B. Roles and Responsibilities of the Signatories

- 1. FEMA:
  - a. FEMA shall use Federal, State, sub-recipient, or contractor staff whose qualifications meet the Secretary of the Interior's (Secretary's) Professional Qualifications Standards (Professional Qualifications) set forth in the Federal Register at 48 Fed. Reg. 44716-01 (September 29, 1983), as amended (Qualified), in applying Second Tier Programmatic Allowances listed in Appendix B, completing identification and evaluation of historic properties and in making determinations of effects. FEMA shall review any National Register eligibility determination and make its own findings of effect resulting from the performance of these activities prior to submitting such determinations to the SHPO.
  - b. In accordance with 36 CFR § 800.2(c)(4), FEMA may authorize the Recipient, or a sub-recipient through the Recipient, to initiate the Section 106 process with the SHPO and other consulting parties, assist in identifying other consulting parties with a demonstrated interest in the Undertaking, and prepare any necessary analyses and documentation, but FEMA shall remain responsible for determinations of National Register eligibility and findings of effect recommended by the authorized party. FEMA shall follow the process set forth in Stipulation I.B.1.a, FEMA Roles and Responsibilities, and notify the SHPO in writing when a Recipient or sub-recipient has been authorized to initiate consultation on FEMA's behalf.

- c. Prior to authorizing the release of funds for individual Undertakings requiring grant conditions pursuant to this Agreement, FEMA shall inform the Recipient of all stipulations and conditions and ensure that they are understood so they can be adequately conveyed to the sub-recipient. FEMA shall work in partnership with the Recipient to provide sub-recipient(s) with guidance on in-kind repair pursuant to *The Secretary of the Interior's Standards for the Treatment of Historic Properties 1995 (Standards)*, 36 CFR Part 68, or the most updated version, and techniques to avoid or minimize adverse effects to historic properties.
- d. FEMA shall provide the Signatories and the ACHP with an annual report for actions taking place between November 1<sup>st</sup> and October 31<sup>st</sup> the previous year and will be made available to Signatories and Invited Signatory by December 31<sup>st</sup> of each year this Agreement is in effect. This annual report will summarize the actions taken to implement the terms of this Agreement, statistics on Undertakings reviewed, and recommend any actions or revisions to be considered, including updates to the appendices.
- e. FEMA shall confer annually and as necessary with the other Signatories within thirty (30) days after issuance of the annual report, to review the report and/or discuss issues and concerns in greater detail. This review shall occur in person or by telephone as determined by FEMA.
- f. FEMA shall notify the SHPO, as soon as practicable, following a Declaration to provide specific points of contact and other pertinent information about the Declaration.
- g. FEMA may convene an initial scoping meeting with the Signatories and other interested parties as soon as practicable after each Declaration to address Declaration-specific issues and procedures.
- h. FEMA shall ensure that all documentation resulting from Undertakings reviewed pursuant to this Agreement is consistent with applicable SHPO guidelines and the confidentiality provisions of 54 U.S.C. § 300301 and 36 CFR § 800.11(c).
- i. FEMA will notify in writing the Federal Preservation Officer(s) of other Federal agency(s) utilizing the Agreement in accordance with Stipulation I.A.6. of any proposed amendments to the Agreement.

2. SHPO:

- a. SHPO shall review FEMA's determination of the Areas of Potential Effects (APE), National Register eligibility determinations, and FEMA's effect findings and respond within timeframes required by this Agreement.

- b. Upon request, the SHPO shall provide FEMA and/or its designee(s) with available information about historic properties (such as access to online systems or site files, GIS data, survey information, geographic areas of concern). Such data sharing may be memorialized in an agreement. Only Qualified FEMA staff and/or designee(s) shall be afforded access to protected historic property information.
- c. The SHPO shall identify staff or consultants to assist FEMA staff with their Section 106 responsibilities, and identify, in coordination with FEMA, those activities within the Section 106 review process that SHPO may perform for specific Undertakings as agreed in writing with FEMA.
- d. As requested, SHPO staff shall be reasonably available as a resource and for consultation through site visits, written requests, telephone conversations or electronic media (can only accept documents on a CD). In those instances where consultation with SHPO has occurred, FEMA shall provide a written summary via regular mail to SHPO, including any decisions that were reached.
- e. The SHPO may delegate some or all of its responsibilities under this Agreement to one or more Liaisons to serve as a dedicated point of contact for consultation with FEMA. The SHPO shall confer with FEMA about the selection of any Liaisons, the scope of responsibilities delegated and related implementing procedures. SHPO shall formally document these decisions for concurrence by FEMA. Liaisons are not required to be members of the SHPO staff.
- f. The SHPO shall participate in an initial scoping meeting in response to a Declaration.
- g. The SHPO may assist local jurisdictions and/or the Recipient in the Commonwealth of Puerto Rico with advance planning efforts to consider historic properties in the context of homeland security considerations, including disaster preparedness, response, recovery, and mitigation programs for which FEMA funding may be requested.
- h. The SHPO shall coordinate with FEMA, to identify consulting parties, including any communities, organizations, or individuals that may have an interest in a specific Undertaking and its effects on historic properties.
- i. The SHPO shall participate in annual reviews convened by FEMA to review the effectiveness of this Agreement in accordance with Stipulation I.B.1.e.

3. Recipient(s):

- a. The Recipient(s) shall ensure that their sub-recipient(s) understand and acknowledge conditions and potential requirements that may be placed upon Undertakings as a result of Section 106 consultation and the provisions of this Agreement.

- b. The Recipient(s) shall participate in an initial scoping meeting in response to a Declaration.
- c. The Recipient(s) shall ensure that their sub-recipient(s) understand that failure to comply with any project-specific conditions that have been placed on their grants could jeopardize FEMA funding.
- d. The Recipient(s) shall notify FEMA as soon as possible of any proposed change to the approved scope of work. The Recipient(s) shall direct their sub-recipient(s) not to implement the changes to the proposed scope of work until any additional review required by this Agreement is complete.
- e. The Recipient(s) shall ensure that its sub-recipient(s) are made aware that in the event of an unexpected discovery involving an Undertaking that has affected a previously unidentified historic property or human remains, or affected a known historic property in an unanticipated manner, the sub-recipient(s) will comply with Stipulation III.B, Unexpected Discoveries, Previously Unidentified Properties, or Unexpected Effects.
- f. The Recipient(s) shall ensure that in its sub-recipient(s) agreements, any scope of work involving ground disturbance, and resultant contracts to execute said work, provide for the protection of and notification protocols for unexpected discoveries or unexpected effects to historic properties and human remains.

#### C. Public Participation

1. FEMA recognizes that the views of the public are essential to informed decision making throughout the Section 106 consultation process. FEMA shall notify the public of proposed Undertakings in a manner that reflects the nature, complexity, significance of historic properties likely affected by the Undertaking, the likely public interest given FEMA's specific involvement, and any confidentiality concerns.
2. FEMA may consult with the Recipient(s), sub-recipient(s), SHPO, and other consulting parties to determine if there are individuals or organizations with a demonstrated interest in historic properties that should be included as a consulting party for the Undertaking in accordance with 36 CFR § 800.2(c)(5). If such parties are identified or identify themselves to FEMA, FEMA shall provide them with information regarding the Undertaking and its effects on historic properties, consistent with the confidentiality provisions of 36 CFR § 800.11(c).
3. In accordance with the outreach strategy developed for an Undertaking in consultation with the SHPO for involving the public, FEMA shall identify the appropriate stages for seeking public input during the Section 106 consultation process. FEMA shall consider all views provided by the public regarding an Undertaking.

4. FEMA may also provide public notices and the opportunity for public comment or participation in an Undertaking through the public participation process of the National Environmental Policy Act (NEPA) and its implementing regulations set out at 44 CFR Part 10, and/or Executive Orders 11988 and 11990 relating to floodplains and wetlands as set out in 44 CFR Part 9, and as appropriate, Executive Order 12898, Environmental Justice, provided such notices specifically reference Section 106 as a basis for public involvement.
5. Should a member of the public object in writing to implementation of the Agreement's terms, FEMA will notify the other Signatories in writing and take the objection into consideration. FEMA shall consult with the objecting party and, if that party so requests, the other Signatories, for not more than thirty (30) days. In reaching its decision regarding the objection, FEMA shall take into consideration all comments from these parties. Within fifteen (15) days after closure of this consultation period, FEMA shall provide the other parties with its final decision in writing.

#### D. Timeframes and Communications

1. All time designations shall be in calendar days unless otherwise stipulated. If any Signatory does not object to FEMA's finding or determination related to an Undertaking within an agreed upon timeframe, FEMA may proceed to the next step in the consultation process as described in Stipulation II, Project Review.
2. Due to the varied nature of Undertakings, the individual response times to FEMA's requests for comment/concurrence will vary. These response times are contingent upon FEMA ensuring that its findings and determinations are made by Qualified staff and supported by documentation as required by 36 CFR § 800.11(d) and 36 CFR § 800.11(e), and consistent with FEMA guidance.
  - a. For Emergency Undertakings as outlined in Stipulation II.B, Expedited Review of Emergency Undertakings, the SHPO shall respond to any FEMA request for comments within three (3) days after receipt, unless FEMA determines the nature of the emergency action warrants a shorter time period.
  - b. For Undertakings associated with the Individual Assistance (IA) and Public Assistance (PA) programs, the response time for each request for concurrence shall be a maximum of fifteen (15) days, or in accordance with temporary timelines established by FEMA on a Declaration by Declaration basis.
  - c. For the Hazard Mitigation Grant Program (HMGP) and all non-disaster programs, the response time for each request for concurrence shall be a maximum of thirty (30) days.

3. The consulting parties may send and accept official notices, comments, requests for further information and documentation, and other communications required by this Agreement by e-mail.

## **II. PROJECT REVIEW**

### A. Programmatic Allowances

1. If FEMA determines an Undertaking conforms to one or more allowances in Appendix B of this Agreement, FEMA shall complete the Section 106 review process by documenting this determination in the project file, without SHPO review or notification.
2. If the Undertaking involves a National Historic Landmark (NHL) (<http://www.nps.gov/nhl/find/statelist/pr/PR.pdf>), FEMA shall notify the SHPO and the NPS NHL Program Manager of the NPS Southeast Regional Office (Atlanta Federal Center, 1924 Building, 100 Alabama Street SW, Atlanta, GA 30303. Phone: 404-507-5792; FAX: 404-562-3202 Email: [SER\\_NHL@nps.gov](mailto:SER_NHL@nps.gov)) that the Undertaking conforms to one or more allowances. FEMA shall provide information about the proposed scope of work for the Undertaking and the allowance(s) enabling FEMA's determination.
3. If FEMA determines any portion of an Undertaking's scope of work does not conform to one or more allowances listed in Appendix B, FEMA shall conduct expedited or standard Section 106 review, as appropriate, for the entire Undertaking in accordance with Stipulation II.B, Expedited Review for Emergency Undertakings, or Stipulation II.C, Standard Project Review.
4. Allowances may be revised and new allowances may be added to this Agreement in accordance with Stipulation IV.A.3, Amendments.

### B. Expedited Review for Emergency Undertakings

#### 1. Determine Expedited Review

- a. As part of the Declaration process, FEMA shall define the time interval during which the disaster causing incident occurs (the incident period, as defined in 44 CFR § 206.32(f)). FEMA may approve direct Federal assistance and/or funding for emergency work (as defined in 44 CFR § 206.201(b)) that occurs during the incident period, including work already completed, in response to an immediate threat to human health and safety or property. Pursuant to 36 CFR § 800.12(d), FEMA may conduct expedited review of emergency Undertakings for thirty (30) days from the beginning of the incident period.

- b. Should FEMA determine that it is necessary to extend the expedited review period for emergency Undertakings beyond the initial thirty (30) days, FEMA shall, in thirty (30)-day increments, as needed, notify in writing the Recipient, SHPO and ACHP.

## 2. Conduct Expedited Reviews

- a. If the emergency Undertaking is an immediate rescue and salvage operation conducted in response to an event to preserve life and property, FEMA has no Section 106 consultation responsibilities in accordance with 36 CFR § 800.12(d); or
- b. If the emergency Undertaking meets one or more of the Allowances in Appendix B of this Agreement, FEMA shall complete the Section 106 review process pursuant to Stipulation II.A.1, Programmatic Allowances.
- c. If FEMA determines that the emergency Undertaking would adversely affect a historic property during this expedited review period:
  - i. To the extent practicable, FEMA will propose treatment measures that would address adverse effects during implementation, and request the comments of the SHPO within three (3) days of receipt of this information unless FEMA determines the nature of the emergency warrants a shorter time period.
  - ii. FEMA may provide this information through written requests, telephone conversations, meetings, or electronic media (CD's only). In all cases, FEMA shall clarify that an "expedited review" is being requested for the Undertaking.
  - iii. FEMA shall take into account any timely comments provided by SHPO in making a decision on how to proceed.
  - iv. Should the SHPO not comment within three (3) days, FEMA shall complete Section 106 consultation for the Undertaking based on the available information.
  - v. FEMA shall notify the SHPO of the final decision, indicating how any comments received were considered in reaching that decision.

## C. Standard Project Review: For Undertakings not exempt from further Section 106 review, FEMA shall ensure that the following standard project review steps are implemented. In the interest of streamlining, FEMA may combine some or all of these steps during consultation in accordance with 36 CFR § 800.3(g).

1. Consulting Parties: FEMA shall consider all written requests of individuals and organizations to participate as consulting parties, and consult with the SHPO to identify any other parties that meet the criteria to be consulting parties and invite them to

participate in the Section 106 process. FEMA may invite others to participate as consulting parties as the Section 106 consultation proceeds. FEMA shall invite any individual or organization that will assume a specific role or responsibility outlined in a Memorandum of Agreement (MOA) or Programmatic Agreement to participate as an invited signatory to the agreement.

2. Area of Potential Effects:

- a. For standing structures or buildings not adjacent to or located within the boundaries of a National Register listed or eligible district, Qualified staff may define the (Area of Potential Effect (APE) as the individual structure or building when the proposed Undertaking is limited to its repair or rehabilitation (as defined in 36 CFR § 68.2(b)).
  - b. For all other Undertakings, Qualified staff shall determine the APE in consultation with the SHPO. FEMA may consider information provided by other parties, such as local governments and the public, when establishing the APE.
3. Identification and Evaluation: Qualified staff shall determine in consultation with the SHPO if the APE contains historic properties, including properties of religious and cultural significance. This may include the review of documentation provided by the Recipient or sub-recipient in coordination with the SHPO.
- a. Level of Effort: FEMA shall make a reasonable and good faith effort to identify historic properties in accordance with 36 CFR § 800.4(b)(1). FEMA may consult with the SHPO to determine the level of effort and methodology necessary to identify and evaluate a variety of historic property types.
  - b. National Historic Landmarks: When FEMA identifies an Undertaking with the potential to affect an NHL, FEMA shall contact the NPS NHL Program Manager of the NPS Southeast Regional Office (Atlanta Federal Center, 1924 Building, 100 Alabama Street SW, Atlanta, GA 30303. Phone: 404-507-5792; FAX: 404-562-3202 Email: [SER\\_NHL@nps.gov](mailto:SER_NHL@nps.gov)) in addition to the SHPO, and other consulting parties. The purpose of this notification is to ensure early coordination for the Undertaking which FEMA later may determine adversely affects the NHL as outlined in Stipulation II.C.8.
  - c. Determinations of Eligibility: FEMA shall review or determine National Register eligibility based on identification and evaluation efforts and consult with SHPO and other consulting parties regarding these determinations. Should the SHPO or another consulting party disagree with the determination of eligibility, FEMA shall either:
    - i. Elect to consult further with the objecting party until the objection is resolved;
    - ii. Treat the property as eligible for the National Register; or

- iii. Obtain a determination of eligibility from the Keeper of the National Register in accordance with 36 CFR § 63.2(d)-(e) and 36 CFR § 800.4(c)(2).
- 4. Findings of No Historic Properties Affected: FEMA shall make a finding of “no historic properties affected” under the following circumstances:
  - a. If no historic properties are present in the APE; or
  - b. The Undertaking is designed to avoid effects to historic properties; or
  - c. The Undertaking does not affect the character defining features of a historic property.
  - d. FEMA shall notify the SHPO and any other consulting parties of this finding and provide supporting documentation in accordance with 36 CFR § 800.11(d). Unless the SHPO objects to the finding within the applicable timeframe outlined in Stipulation I.D, Timeframes and Communications, the Section 106 review of the Undertaking will have concluded.
  - e. If the SHPO objects to a finding of “no historic properties affected,” FEMA shall consult with the SHPO to resolve the disagreement.
    - i. If the objection is resolved, FEMA either may proceed with the Undertaking in accordance with the resolution or reconsider effects on the historic property by applying the criteria of adverse effect pursuant to Stipulation II.C.5, Application of the Criteria of Adverse Effect, below.
    - ii. If FEMA is unable to resolve the disagreement, it will forward the finding and supporting documentation to the ACHP and request that the ACHP review FEMA’s finding in accordance with 36 CFR § 800.4(d)(1)(iv)(A) through 36 CFR § 800.4(d)(1)(iv)(C). FEMA shall consider the ACHP’s recommendation in making its final determination. If FEMA’s final determination is to reaffirm its “no historic properties affected” finding, the Section 106 review of the Undertaking will have concluded. Otherwise, FEMA will proceed to Stipulation II.C.5., below.
- 5. Application of the Criteria of Adverse Effect: If FEMA finds an Undertaking may affect historic properties in the APE, FEMA shall apply the criteria of adverse effect to historic properties within the APE(s), taking into account the views of the consulting parties and the public concerning effects in accordance with 36 CFR § 800.5(a).
  - a. If FEMA determines that an Undertaking does not meet the adverse effect criteria, FEMA shall propose a finding of “no adverse effect” in accordance with 36 CFR § 800.5(b).

- i. FEMA shall notify the SHPO, and all other consulting parties of its finding and provide supporting documentation pursuant to 36 CFR §800.11(e).
  - ii. Unless a consulting party objects within the applicable timeframe outlined in Stipulation I.D, Timeframes and Communications, FEMA will proceed with its “no adverse effect” determination and conclude the Section 106 review.
  - iii. If a consulting party objects to a finding of “no adverse effect,” FEMA will consult with the objecting party to resolve the disagreement.
    - 1) If the objection is resolved, FEMA shall proceed with the Undertaking in accordance with the resolution, or;
    - 2) If the objection cannot be resolved, FEMA shall request that the ACHP review the findings in accordance with 36 CFR § 800.5(c)(3)(i)-(ii) and submit the required supporting documentation. FEMA shall consider the ACHP’s comments in making its final determination.
- b. If FEMA finds the Undertaking may adversely affect historic properties, FEMA shall request through the Recipient that the sub-recipient revise the scope of work to substantially conform to the *Standards* for standing structures or buildings, or avoid or minimize adverse effects for National Register listed or eligible historic properties.
  - i. If the sub-recipient modifies the scope of work to avoid the adverse effect(s), FEMA shall notify the SHPO and all other consulting parties, and provide supporting documentation. Unless a consulting party makes a timely objection in accordance with the applicable timeframe outlined in Stipulation I.D, Timeframes and Communications, FEMA shall proceed with its “no adverse effect” determination, including any conditions, and conclude the Section 106 review.
  - ii. If an Undertaking is not modified to avoid the adverse effect(s), FEMA shall initiate consultation to resolve the adverse effect(s) in accordance with Stipulation II.C.6, Resolution of Adverse Effects.
6. **Resolution of Adverse Effects:** If FEMA determines that an Undertaking may adversely affect a historic property, it shall resolve the effect(s) of the Undertaking in consultation with the SHPO, Recipient, sub-recipient, the ACHP, if participating, and other consulting parties, by one of the following methods depending upon the severity of the adverse effect(s) as well as determination of the historic property’s significance on a local, state or national level. When FEMA determines an Undertaking will adversely affect an NHL, FEMA shall notify and invite the Secretary and ACHP to participate in consultation in accordance with 36 CFR § 800.10. When the ACHP participates in

consultation related to an NHL, the ACHP shall report the outcome of the consultation to the Secretary and the FEMA Administrator.

- a. Abbreviated Consultation Process: After taking into consideration the significance of the historic properties affected, the severity of the adverse effect(s) and avoidance or minimization of the adverse effect(s), FEMA may propose in writing to the consulting parties to resolve the adverse effect(s) of the Undertaking through the application of one or more Treatment Measures outlined in Appendix F as negotiated with the SHPO and other consulting parties. The use of these Treatment Measures shall not require the execution of an MOA or Programmatic Agreement.
  - i. In consultation with the SHPO and other consulting parties, FEMA shall propose in writing the implementation of a specific Treatment Measure, or combination of Treatment Measures, with the intent of expediting the resolution of adverse effects, and provide documentation as required by 36 CFR § 800.11(e) and subject to the confidentiality provisions of 36 CFR § 800.11(c)). Unless a consulting party or the ACHP objects within fifteen (15) days of receipt of FEMA's proposal, FEMA shall proceed with the implementation of the Treatment Measure(s) and will conclude the Section 106 review.
  - ii. If any of the consulting parties or the ACHP objects within the fifteen (15) day review and comment period to the resolution of adverse effects through the application of the Abbreviated Consultation Process, FEMA shall resolve the adverse effect(s) using procedures outlined below in Stipulation II.C.6(b), MOA or Stipulation II.C.6.(c), Programmatic Agreement.
  - iii. Because funding and implementation details of Treatment Measures for specific Undertakings may vary by program, FEMA shall provide written notice to the consulting parties within sixty (60) days of the completion of the Treatment Measure(s). This written notice will serve as confirmation that the Treatment Measure(s) for a specific Undertaking have been implemented. FEMA also shall include information pertaining to the completion of Treatment Measures in the annual report pursuant to Stipulation I.B.1.d, FEMA Roles and Responsibilities.
- b. Memorandum of Agreement: FEMA shall provide the ACHP with an adverse effect notice in accordance with 36 CFR § 800.6(a)(1) if it has not already provided such under the Abbreviated Consultation Process of this Agreement, if a consulting party or the ACHP objects in accordance with Stipulation II.C.6(a)(ii), or if FEMA in consultation with the SHPO and other consulting parties has determined that an MOA would be more appropriate to resolve the adverse effect(s). In consultation with the SHPO and other consulting parties, including the ACHP (if participating), FEMA shall develop an MOA in accordance with 36 CFR § 800.6(c) to agree upon treatment measures to avoid, minimize, and/or mitigate adverse effect(s) on historic properties. The MOA may also include treatment measures that serve an equal or

greater public benefit in promoting the preservation of historic properties in lieu of more traditional treatment measures.

- c. Programmatic Agreement: Should the execution of an MOA be inappropriate given the similar nature of effects on historic properties, the inability to determine effects prior to approval of an Undertaking, or where other circumstances warrant, FEMA, shall consult with the SHPO and the ACHP, if participating, and any other consulting parties to develop a Programmatic Agreement in accordance with 36 CFR § 800.14(b) and identify programmatic conditions or treatment measures to govern the resolution of potential or anticipated adverse effects from certain complex project situations for an Undertaking or for multiple but similar Undertakings by a single sub-recipient.
- d. Objections: Should any signatory or consulting party object within the timeframes established by this Agreement to any plans, specifications, or actions taken pursuant to resolving an adverse effect, FEMA shall consult further with the objecting party to seek resolution. If FEMA determines the objection cannot be resolved, FEMA shall address the objection in accordance with Stipulation IV.B, Dispute Resolution.

### **III. OTHER CONSIDERATIONS**

- A. Changes to an Approved Scope of Work: The Recipient shall notify FEMA and shall require a sub-recipient to notify it immediately when a sub-recipient proposes changes to an approved scope of work for an Undertaking.
  - 1. If FEMA determines the change meets a Programmatic Allowance or has no effect on the property, FEMA shall approve the change.
  - 2. If the change can be modified to meet a Programmatic Allowance, or conform to any applicable SOI Standards, FEMA shall conclude its Section 106 review responsibilities.
  - 3. If FEMA determines that the change does not meet an Allowance, FEMA shall initiate consultation pursuant to Stipulation II.C, Standard Project Review.
- B. Unexpected Discoveries, Previously Unidentified Properties, or Unexpected Effects:
  - 1. Upon notification by a sub-recipient of an unexpected discovery, or if it appears that a Undertaking has affected a previously unidentified property or affected a known historic property in an unanticipated manner, in accordance with Stipulation I.B.3(e), Recipient Roles and Responsibilities, the Recipient shall immediately notify FEMA and require the sub-recipient to:
    - a. Stop construction activities in the vicinity of the discovery.

- b. Take all reasonable measures to avoid or minimize harm to the property until FEMA has completed consultation with the SHPO, and any other consulting parties. Upon notification by the Recipient of a discovery, FEMA shall immediately notify the SHPO, and other consulting parties that may have an interest in the discovery, previously unidentified property or unexpected effects, and consult to evaluate the discovery for National Register eligibility and/or the effects of the Undertaking on historic properties.
  - c. If human remains are discovered, notify the local law enforcement office and coroner/medical examiner in accordance with applicable Commonwealth statute(s), and protect the remains from any harm. Notify the SHPO within twenty-four (24) hours of identifying human remains.
  - d. Assist FEMA in completing the following actions, as required:
    - i. FEMA shall consult with the SHPO and other consulting parties in accordance with the consultation process outlined in Stipulation II, Project Review, to develop a mutually agreeable action plan with timeframes to identify the discovery or previously unidentified property, take into account the effect(s) of the Undertaking, resolve adverse effect(s) if necessary, and ensure compliance with applicable Federal, State, and local statutes.
    - ii. FEMA shall coordinate with the Recipient and the sub-recipient regarding any needed modification to the scope of work for the Undertaking necessary to implement recommendations of the consultation and facilitate proceeding with the Undertaking.
    - iii. In cases where discovered human remains are determined to be native to Puerto Rico, FEMA shall follow the guidelines outlined in the ACHP's *Policy Statement Regarding the Treatment of Burial Sites, Human Remains, and Funerary Objects* (2007) and any state-specific policies that may be in force.

### C. Curation

1. FEMA and the Recipient shall ensure that recovered artifacts and related documentation are curated in a suitable repository as agreed to by FEMA and SHPO, following applicable federal guidelines (36 CFR Part 79).
2. When an Undertaking will adversely affect a National Register listed or eligible archaeological site, FEMA may treat the adverse effect by providing for the recovery of significant information through archaeological data recovery. FEMA shall consult with the SHPO and other consulting parties to prepare a research design (data recovery plan), including a specific plan for curation. This plan will incorporate any relevant curation provisions contained in ACHP's "*Recommended Approach for Consultation on Recovery of Significant Information from Archaeological Sites*" published in the Federal Register (64 Federal Register 27085-27087 (May 18, 1999)), or other provisions agreed

to by the consulting parties. No excavation should be initiated before FEMA acceptance and approval of the curation plan.

- a. As stipulated in the curation plan, artifacts, as well as field and laboratory records sufficient to document the collection, shall be curated at a facility that meets the standards of, and in accordance with the provisions of 36 CFR Part 79, "Curation of Federally Owned and Administered Archaeological Collections," and applicable State requirements.

#### D. Review of Undertakings Initiated Before Initiation or Completion of Section 106 Review

1. In accordance with Section 110(k) of the NHPA, FEMA shall not grant assistance to a sub-recipient who, with intent to avoid the requirements of this Agreement or Section 106 of the NHPA, has intentionally significantly and adversely affected a historic property to which the assistance would relate, or having legal power to prevent it, allowed an adverse effect to occur. However, if after consultation with the SHPO and ACHP, FEMA determines that extraordinary circumstances justify granting assistance despite the adverse effect created or permitted by the sub-recipient, FEMA shall complete consultation for the Undertaking pursuant to the terms of this Agreement.
2. FEMA shall specifically advise the Recipient and shall require that the Recipient advise its sub-recipient in writing that they may jeopardize Federal funding if work is performed without all required local, State, and Federal licenses, permits, and/or approvals, including the completion of the Section 106 process. FEMA also shall document this requirement in its Record of Environmental Consideration, as applicable, as well as all project approval documents specifying the project scope and limits, and containing all conditions and caveats.
3. In circumstances where FEMA determines a sub-recipient has initiated an Undertaking without willful intent to avoid the requirements of this Agreement or Section 106 of NHPA, FEMA shall proceed as follows:
  - a. Determine if the Undertaking is of a type for which FEMA has no further Section 106 responsibilities, namely:
    - i. An Undertaking listed in Stipulation I.A.7; or
    - ii. An immediate rescue and salvage operation in accordance with 36 CFR § 800.12(d); or
    - iii. A Programmatic Allowance as described under Stipulation II.A.
  - b. In any such cases listed in Stipulation III.D.3.a., above, FEMA shall document this determination in the project files, and consider the Undertaking Section 106 compliant.

- c. If FEMA determines the Undertaking would have required Section 106 review, FEMA shall coordinate with the SHPO to determine if consultation is feasible.
    - i. If after coordination with the SHPO, FEMA determines that consultation is feasible, FEMA shall review the Undertaking in accordance with Stipulation II.C, Standard Project Review.
    - ii. If after coordination with the SHPO, FEMA determines that review is infeasible, FEMA shall document the outcome to the Section 106 review process, and the applicable FEMA program shall take the outcome into account before making a decision whether to fund the Undertaking. FEMA shall provide written notification of its funding decision to the Recipient, SHPO and ACHP.
  4. FEMA shall ensure that all Undertakings considered for after the fact review in accordance with this stipulation are included in the annual report.

## **IV. IMPLEMENTATION OF AGREEMENT**

### **A. Amendments**

1. If any Signatory determines that an amendment to the terms of this Agreement must be made, the Signatories shall consult for no more than thirty (30) days to seek amendment of the Agreement.
2. An amendment to this Agreement, exclusive of the appendices, shall be effective only when it has been signed by all the Signatories.
3. Appendix A (FEMA Program Summaries), Appendix B (Programmatic Allowances), Appendix C (Criteria for Identification of Collapsed Structures), Appendix D (Private Property Debris Removal Program Process), Appendix E (Low Impact Debris Removal Stipulation), and Appendix F (Treatment Measures) may be amended at the request of FEMA or another Signatory in the following manner:
  - a. FEMA, on its own behalf or on behalf of another Signatory, shall notify the other Signatories of the intent to modify the current Appendix or Appendices and shall provide the Signatories a draft of the updated Appendix or Appendices.
  - b. If no other Signatory objects in writing within thirty (30) days of receipt of FEMA's proposed modification, FEMA shall date and sign the amended Appendix and provide a copy of the amended Appendix to the other Signatories. Such an amendment shall go into effect on the date FEMA transmits the amendment to the other Signatories.

### **B. Dispute Resolution**

1. Should any Signatory object in writing to the terms of this Agreement, FEMA shall consult with the objecting party for not more than thirty (30) days to resolve the objection.
2. If the objection is resolved within thirty (30) days, FEMA shall proceed in accordance with the resolution.
3. If FEMA determines within thirty (30) days that the objection cannot be resolved, FEMA shall forward to ACHP all documentation relevant to the objection, including FEMA's proposed resolution. Within thirty (30) days of receipt, ACHP will:
  - a. Concur in FEMA's proposed resolution; or
  - b. Provide FEMA with recommendations, which FEMA shall take into account in reaching a final decision regarding the objection; or
  - c. Notify FEMA that the objection will be referred for comment in accordance with 36 CFR § 800.7(a)(4), and proceed to do so.
4. FEMA shall take into account any ACHP recommendations or comments, and any comments from the other Signatories, in reaching a final decision regarding the objection. FEMA shall provide in writing to the ACHP and Signatories a summary of its final decision before authorizing any disputed action to proceed. The Signatories shall continue to implement all other terms of this Agreement that are not subject to objection.
5. Should ACHP not respond within thirty (30) days, FEMA may assume ACHP has no comment and proceed with its proposed resolution to the objection after providing the ACHP and Signatories a written summary of its final decision.

#### C. Severability and Termination

1. In the event any provision of this Agreement is deemed by a Federal court to be contrary to, or in violation of, any applicable existing law or regulation of the United States of America, only the conflicting provision(s) shall be deemed null and void, and the remaining provisions of the Agreement shall remain in effect.
2. FEMA, the SHPO, ACHP, or Recipient may terminate this Agreement by providing thirty (30) days written notice to the other Signatories, provided that the Signatories consult during this period to seek amendments or other actions that would prevent termination. If this Agreement is terminated, FEMA shall comply with Section 106 through other applicable means pursuant to 36 CFR Part 800. Upon such determination, FEMA shall provide all other Signatories and the ACHP with written notice of the termination of this Agreement.

3. This Agreement may be terminated by the implementation of a subsequent Agreement, pursuant to 36 CFR § 800.14(b), that explicitly terminates or supersedes this Agreement, or by FEMA's implementation of Alternate Procedures, pursuant to 36 CFR § 800.14(a).

#### D. Duration and Extension

1. This Agreement shall remain in effect from the date of execution for a period not to exceed seven (7) years unless otherwise extended pursuant to Stipulation IV.D.2 below, or terminated pursuant to Stipulation IV.C.2 or IV.C.3, Severability and Termination. The Agreement shall remain in effect for Declarations made prior to expiration of the Agreement in order to minimize delays in delivery of FEMA assistance.
2. The Signatories may collectively agree to extend this Agreement to cover additional calendar years, or portions thereof, through an amendment per Stipulation IV.A., provided that the original Agreement has not expired.

#### E. Execution and Implementation

1. This Agreement may be executed in counterparts, with a separate page for each Signatory, and shall become effective on the date of the final signature of FEMA and the SHPO.
2. FEMA shall ensure that each Signatory is provided with a complete copy of the Agreement, including an original set of signatures.
4. Execution and implementation of this Agreement evidence that FEMA has afforded ACHP a reasonable opportunity to comment on FEMA's administration of all referenced Programs, and that FEMA has satisfied its Section 106 responsibilities for all individual Undertakings of its referenced Programs.

**PROGRAMMATIC AGREEMENT AMONG  
THE FEDERAL EMERGENCY MANAGEMENT AGENCY,  
THE PUERTO RICO STATE HISTORIC PRESERVATION OFFICER,  
AND THE PUERTO RICO EMERGENCY MANAGEMENT AGENCY**

**SIGNATORY PARTY**

**FEDERAL EMERGENCY MANAGEMENT AGENCY**

By: J M McKee  
John McKee  
Regional Environmental Officer  
FEMA Region 2

Date: 22 May 2018

By: Thomas Von Essen  
Thomas Von Essen  
Regional Administrator  
FEMA Region II

Date: 31 May 2018

**PROGRAMMATIC AGREEMENT AMONG  
THE FEDERAL EMERGENCY MANAGEMENT AGENCY,  
THE PUERTO RICO STATE HISTORIC PRESERVATION OFFICER,  
AND THE PUERTO RICO EMERGENCY MANAGEMENT AGENCY**

**SIGNATORY PARTY**

PUERTO RICO STATE HISTORIC PRESERVATION OFFICER

By:   
Carlos Rubio Cancela  
State Historic Preservation Officer

Date: April 19, 2018

**PROGRAMMATIC AGREEMENT AMONG  
THE FEDERAL EMERGENCY MANAGEMENT AGENCY,  
THE PUERTO RICO STATE HISTORIC PRESERVATION OFFICER,  
AND THE PUERTO RICO EMERGENCY MANAGEMENT AGENCY**

**SIGNATORY PARTY**

**PUERTO RICO EMERGENCY MANAGEMENT AGENCY**

By: C - JG

Date: 9/5/18

Carlos Acevedo

Deputy Director

Puerto Rico Emergency Management Agency

## **Appendix A**

### **FEMA Program Summaries**

#### **Disaster Response and Recovery Programs**

The following programs are authorized under Titles IV and V of the Stafford Act.

##### *Public Assistance Program (PA)*

This program assists States, Tribal and local governments, and certain types of private nonprofit organizations quickly respond to and recover from major disasters or emergencies declared by the President. Grants are provided for debris removal (Category A), emergency protective measures (Category B), and the repair, replacement, or restoration of disaster-damaged, publicly owned and certain private non-profit facilities (Categories C-G).

##### *Individual Assistance Programs (IA)*

These programs help to ensure that individuals and families that have been affected by disasters have access to the full range of FEMA assistance including: crisis counseling (Section 416), disaster legal services (Section 415), essential assistance (Section 403), emergency sheltering assistance (Section 403), transportation (Section 419), funeral services, minor home repairs (Section 408), and temporary housing assistance (Section 408). It should be noted that other Federal agencies provide disaster assistance programs, services, and activities to individuals as well, including the U.S. Small Business Administration, U.S. Department of Agriculture, and U.S. Department of Labor, but these other assistance programs are not subject to the terms of this Agreement.

##### *Fire Management Assistance Grant Program (FMAG)*

The FMAG is available to State, Tribal, and local governments for the mitigation, management, and control of fires on publicly or privately owned lands. Eligible costs may include expenses for field camps, equipment use, repair and replacement, materials and supplies, and mobilization and demobilization activities.

##### *Hazard Mitigation Grant Program (HMGP)*

The HMGP provides grants to States, Territories, Tribes, and local governments to implement long-term hazard mitigation measures after a Declaration. Activities may include buyouts, retrofits, relocations, elevations, and minor flood control projects.

#### **Non-Disaster Programs**

##### *Pre-Disaster Mitigation Program (PDM)*

The PDM program provides competitive grants to States, Territories, Tribes, and local governments for hazard mitigation planning and the implementation of mitigation projects prior to a disaster event. Activities may include planning, buyouts, retrofits, relocations, elevations, minor flood control projects, and vegetative fuels reduction.

*Flood Mitigation Assistance Program (FMA)*

The FMA program provides grants to States, Territories, Tribal entities, and communities to assist in their efforts to reduce or eliminate the risk of repetitive flood damage to buildings and structures insurable under the National Flood Insurance Program (NFIP).

*Assistance to Firefighters Grant Program*

The AFG program provides funding for purchase of equipment and retrofit or construction of fire stations to improve first responder capabilities.

*Homeland Security Grant Program (HSGP)*

The HSGP plays an important role in the implementation of the National Preparedness System (NPS) by supporting the building, sustainment, and delivery of core capabilities essential to achieving the National Preparedness Goal (NPG) of a secure and resilient Nation. HSGP is comprised of three interconnected grant programs including (1) the State Homeland Security Program (SHSP), (2) the Urban Areas Security Initiative (UASI) and the Operation Stonegarden (OPSG). Together, these grant programs and other future projects that may be included under the HSGP fund a range of preparedness activities, including planning, organization, equipment purchase, training, exercises, and management and administration.

*State Homeland Security Program (SHSP)*

This core assistance program provides funds to build capabilities at the state and local levels and to implement the goals and objectives included in state homeland security strategies and initiatives in the State Preparedness Report.

*Urban Areas Security Initiative (UASI) Program*

The Urban Areas Security Initiative (UASI) program focuses on enhancing regional preparedness in major metropolitan areas. The UASI program directly supports the National Priority on expanding regional collaboration in the National Preparedness Guidelines and is intended to assist participating jurisdictions in developing integrated regional systems for prevention, protection, response and recovery.

*Metropolitan Medical Response System (MMRS) Program*

The MMRS program supports the integration of emergency management, health, and medical systems into a coordinated response to mass casualty incidents caused by any hazard. Successful MMRS recipients reduce the consequences of a mass casualty incident during the initial period of a response by having augmented existing local operational response systems before the incident occurs.

*Citizen Corps Program (CCP)*

The Citizen Corps mission is to bring community and government leaders together to coordinate community involvement in emergency preparedness, planning, mitigation, response and recovery.

*State Homeland Security Program Tribal (SHSP Tribal)*

To provide supplemental funding to directly eligible tribes to help strengthen the nation against risks associated with potential terrorist attacks. Pursuant to the 9/11 Act, “a directly eligible tribe

applying for a grant under section 2004 [SHSP] shall designate an individual to serve as a tribal liaison with [DHS] and other Federal, state, local, and regional government officials concerning preventing, preparing for, protecting against and responding to acts of terrorism.”

*Nonprofit Security Grant Program (NSGP)*

NSGP provides funding support for target-hardening activities to nonprofit organizations that are at high risk of a terrorist attack and are located within one of the specific UASI-eligible urban areas.

*Operation Stonegarden (OPSG)*

The intent of OPSG is to enhance cooperation and coordination among local, State and Federal law enforcement agencies in a joint mission to secure the United States borders along routes of ingress from international borders to include travel corridors in States bordering Mexico and Canada, as well as States and territories with international water borders.

*Transit Security Grant Program (TSGP)*

The TSGP provides grant funding to the nation’s key high-threat urban areas to enhance security measures for their critical transit infrastructure including bus, ferry and rail systems.

*Freight Rail Security Grant Program (FRSGP)*

The FRSGP funds security training for frontline employees, the completion of vulnerability assessments, the development of security plans within the freight rail industry and GPS tracking systems for railroad cars transporting toxic inhalation materials.

*Intercity Passenger Rail (Amtrak)*

The purpose of the Intercity Passenger Rail (IPR) is to create a sustainable, risk-based effort to protect critical surface transportation infrastructure and the traveling public from acts of terrorism, major disasters and other emergencies within the Amtrak rail system.

*Port Security Grant Program (PSGP)*

The PSGP provides grant funding to port areas for the protection of critical port infrastructure from terrorism. PSGP funds are primarily intended to assist ports in enhancing maritime domain awareness, enhancing risk management capabilities to prevent, detect, respond to and recover from attacks involving improvised explosive devices (IEDs), weapons of mass destruction (WMDs) and other non-conventional weapons, as well as training and exercises and Transportation Worker Identification Credential (TWIC) implementation.

*Intercity Bus Security Grant Program (IBSGP)*

The IBSGP provides funding to create a sustainable program for the protection of intercity bus systems and the traveling public from terrorism. The program seeks to assist operators of fixed-route intercity and charter bus services in obtaining the resources required to support security measures such as enhanced planning, facility security upgrades and vehicle and driver protection.

*Trucking Security Program (TSP)*

TSP funding will be awarded to eligible sub-recipients to implement security improvement measures and policies deemed valuable by DHS as indicated in the *Security Action Items*

publication of June 26, 2008. These items are primarily focused on the purchase and installation or enhancement of equipment and systems related to tractor and trailer tracking systems. Additionally, the TSP will provide funding to develop a system for DHS to monitor, collect and analyze tracking information; and develop plans to improve the effectiveness of transportation and distribution of supplies and commodities during catastrophic events.

*Buffer Zone Protection Program (BZPP)*

The BZPP provides funding to increase the preparedness capabilities of jurisdictions responsible for the safety and security of communities surrounding high-priority pre-designated Tier 1 and Tier 2 critical infrastructure and key resource (CIKR) assets, including chemical facilities, financial institutions, nuclear and electric power plants, dams, stadiums and other high-risk/high-consequence facilities, through allowable planning and equipment acquisition.

*Emergency Management Performance Grants (EMPG)*

The purpose of the EMPG program is to assist State and local governments in enhancing and sustaining all-hazards emergency management capabilities.

*Emergency Operations Center (EOC) Grant Program*

The EOC grant program is intended to improve emergency management and preparedness capabilities by supporting flexible, sustainable, secure, and interoperable Emergency Operations Centers (EOCs) with a focus on addressing identified deficiencies and needs. This program provides funding for construction or renovation of a State, local, or tribal governments' principal EOC. Fully capable emergency operations facilities at the State and local levels are an essential element of a comprehensive national emergency management system and are necessary to ensure continuity of operations and continuity of government in major disasters caused by any hazard.

*Driver's License Security Grant Program*

The purpose of the Driver's License Security Grant Program is to prevent terrorism, reduce fraud, and improve the reliability and accuracy of personal identification documents that States and territories issue.

*Integrated Public Alert and Warning System (IPAWS)*

The Integrated Public Alert and Warning System (IPAWS) was established by Executive Order 13407 in 2006. In the event of a national emergency, the President may use IPAWS to send a message to the American people quickly and simultaneously through multiple communications pathways. FEMA has identified several radio transmission sites across the nation with significantly powerful signals for this purpose, and FEMA is responsible for upgrading, maintaining, and managing the agency installed and owned auxiliary fuel systems at each of these radio transmission sites.

## Appendix B

### Programmatic Allowances

This list of Programmatic Allowances enumerates FEMA funded activities that based on FEMA experience have no or minimal effect on historic properties if implemented as specified in this Appendix and will not require review by the SHPO.

The Programmatic Allowances consist of two tiers – First Tier and Second Tier. Staff may apply First Tier allowances whether or not they meet professional historic preservation qualification standards, while only staff meeting the applicable SOI Professional Qualifications Standards in accordance with Stipulation I.B(1)(a) of this Agreement may apply Second Tier allowances.

When referenced in the Programmatic Allowances, “in-kind” shall mean that it is either the same or a similar material, and the result shall match all physical and visual aspects, including form, color, and workmanship. When severity of deterioration requires replacement of a character-defining feature, the new feature will match the old in design, color, texture and, where possible, materials. *“Character-defining” refers to all those visual aspects and physical features that comprise the appearance of every historic building. Character-defining elements include the overall shape of the building, its materials, craftsmanship, decorative details, interior spaces and features, as well as the various aspects of its site and environment.<sup>1</sup>* The in-kind repair provided for in both First and Second Tier allowances in Appendix B should be limited to pre-existing architectural features and physical components of buildings and structures.

When referenced in the allowances, “previously disturbed soils” shall refer to soils that are not likely to possess intact and distinct soil horizons and have the reduced likelihood of possessing historic properties within their original depositional contexts in the area and to the depth to be excavated.

Specifically, disturbed ground is defined for purposes of this document as the modification of natural landscapes or landforms through removal of natural soils through ground-disturbing activities such as cuts, grading and excavation and/or the deposition of non-native soils or materials to existing or original ground surface such as fill. In the case of the deposition of fill, disturbance is only considered for the depth of the fill layer. Intact soils could exist underneath the fill layer. Note that activities such as agricultural plowing and disking is not considered disturbance. In addition, in some areas, particular historic urban areas, construction activities associated with early utilities, creation of roadways and or parking lots, may constitute a “disturbed” context but may be of historic significance and will need to be evaluated. Therefore, context is important. Guides to assist in identifying prior disturbed ground may come from the following: historic maps, soil borings, soil reports, utility records, pavement core records, etc.

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<sup>1</sup> Nelson, Lee H. *Architectural Character – Identifying the Visual Aspects of Historic Buildings as an Aid to Preserving their Character*, Preservation Brief 17, Department of the Interior, September 1988.

Soil disturbance can be established through cultural resource surveys, site inspections, or construction drawings that clearly depict the depth of prior ground disturbance. Examples of activities that would create disturbed soil horizons include: the installation of culverts, foundations, and below ground utilities; excavation for footings; and the construction of dams, bridge abutments, and other structures.

Soil disturbance under a parking lot or road is limited to the depth of prior construction. Soils beneath the depth of prior construction may be undisturbed. Undisturbed soils may exist under areas where additional material (e.g. soil or gravel) has been placed in order to raise land surface (e.g. road beds, railroad alignments, and building paths). The addition of soil may not constitute significant disturbed ground beyond the added soil layer.

## I. First Tier Allowances

### A. GROUND DISTURBING ACTIVITIES AND SITE MODIFICATION, when proposed activities described below substantially conform to the original footprint and/or are performed in previously disturbed soils, including the area where the activity is staged.

1. Debris Removal
  - a. Debris removal and collection, including removal of uprooted trees, limbs and branches from public rights of way and public areas and areas as well as the transport and disposal of such waste to existing licensed waste facilities or landfills. This includes the temporary establishment and expansion of non-hazardous debris staging, reduction, and disposal areas at licensed transfer stations, or existing hard-topped or graveled surfaces (e.g. parking lots, roads, athletic courts) but not the creation of new or temporary access roads. This does not include partially uproot trees in archeologically sensitive areas such as cemeteries, battlegrounds, historic landscapes, historic parks, and historic districts.
  - b. Removal of debris from private property provided that buildings are not affected, ground disturbance is minimal and in-ground elements, such as driveways, walkways or swimming pools are left in place.
  - c. Chipping and disposal of woody debris by broadcasting within existing rights-of-way.
  - d. Sediment removal from man-made drainage facilities, including retention/detention basins, ponds, ditches, and canals, in order to restore the facility to its pre-disaster condition. The sediment may be used to repair eroded banks or disposed of at an existing licensed or permitted spoil site.
  - e. Dewatering flooded developed areas by pumping.

2. Temporary Structures and Housing

- a. Staging, installation and removal of temporary structures for use as school classrooms, offices, or temporary shelters for essential public service agencies, such as police, fire, rescue and medical care, as well as temporary housing for disaster personnel and survivors at the following types of locations:
  - i. Single units on private residential sites when all utilities are installed above ground or tie into pre-existing utility lines.
  - ii. Existing RV/Mobile Home Parks and campgrounds with pre-existing utility hookups;
  - iii. Paved areas, such as parking lots and paved areas at such facilities as conference centers, shopping malls, airports, industrial port facilities business parks, and military bases when all utilities are installed above ground or tie into pre-existing utility lines.
  - iv. Sites that have been previously prepared for planned construction, such as land being developed for public housing, office buildings, city parks, ball fields, schools, etc. when all utilities are installed above-ground or tie into pre-existing utility lines.
  - v. Areas previously filled to depths of at least six feet so that subsurface utilities can be installed.
- b. Temporary repair to single-family, residential properties to ensure safe shelter with access to essential electrical supply, solar panels, HVAC, hot water, natural gas and potable water, and protection from elements such as weatherproofing, and securing broken doors and windows. Temporary repairs must be reversible.

3. Recreation and Landscaping

- a. Installation of temporary removable barriers.
- b. In-kind repairs, installation, or replacement, and minor upgrades/mitigation of bollards and associated protective barriers when in previously disturbed areas.
- c. Repair or replacement of existing driveways, parking areas and walkways with materials of similar appearance in a manner that does not disturb historic landscape materials or features.

4. Borrow material

- a. Borrow material if it is derived from a commercial source, a stock tank berm, dug-outs, or a reclaimed ditch provided the original surface of the ground is not impacted by the removal method from the ditch.

## B. BUILDINGS AND STRUCTURES

1. Repair in-kind of buildings and structures less than 45 years old.
2. Removal of water, soil, muck or mud by physical or mechanical means.
3. Installation of exterior security features and early warning devices on existing light poles or other permanent utilities.
4. Installation of grab bars in buildings less than 45 years old as required for compliance with the Americans with Disabilities Act (ADA). This allowance applies only to the actual installation; any other work that may be required to allow for the installation of grab bars are not covered under this allowance.
5. Dry vacuuming for mold removal.
6. Repair of existing wheelchair ramps.

## C. TRANSPORTATION FACILITIES, when proposed activities substantially conform to the original footprint and/or performed in previously disturbed soils, including any staging areas.

1. Roads and Roadways
  - a. Paving and repair of roads to pre-disaster geometric design standards and conditions using in-kind materials, shoulders medians, clearances, curbs, and side slopes. This allowance does not include improvement to existing roadways and appurtenances.
  - b. Repair and replacement of metal and concrete culverts no greater than 42" in diameter, with no headwalls or concrete headwalls, when culverts are returned to predisaster size and location. This allowance does not allow for upgrades.
  - c. Construction of temporary emergency access roads in previously disturbed soils to allow for passage of emergency vehicles.
  - d. Repairs to road slips and landslides that do not require grading of undisturbed soils on the up-hill side of the slip.
  - e. Re-establishment, armoring and/or upgrading of existing roadway ditches.

- f. In-kind repair or replacement of traffic control devices such as traffic signs and signals, delineators, pavement markings, traffic surveillance systems.
- g. Installation and removal of temporary traffic control devices, including pre-formed concrete barriers and fencings.
- h. In-kind repair or replacement of roadway safety elements such as barriers, guardrails, and impact-attenuation devices. In the case of guardrails, the addition of safety end treatments is permitted.
- i. Replacement of vehicles.

2. Airports

- a. In-kind repair or replacement of existing runway surfaces and features (e.g. asphalt, concrete, gravel, and dirt) and associated air transportation safety components and systems (e.g. lighting bars, beacons, signage and weather sensors).

3. Rail Systems

- a. In-kind repair or replacement of safety components.
- b. In-kind repair or replacement of existing track system and passenger loading areas.

**D. FEES AND SERVICES**

- 1. Reimbursement of a sub-recipient's insurance deductible, not to exceed \$2,500.

**II. Second Tier Allowances**

**A. GROUND DISTURBING ACTIVITIES AND SITE WORK**, when proposed activities described below substantially conform to the original footprint and/or are performed in previously disturbed soils, including the area where the activity is staged.

1. Footings, Foundations, Retaining Walls, Slopes, and Slope Stabilization Systems

- a. In-kind repair, replacement, reinforcement and minor hardening of footings, foundations, retaining walls, slopes, riprap, and slope stabilization systems (e.g., gabion baskets, crib walls, soldier pile and lag walls) if related ground disturbing activities are within the boundary of previously disturbed soils.
- b. Installation of perimeter drainage (e.g. French drains) when performed in previously disturbed soils.

2. Recreation and Landscaping

- a. In-kind repairs or replacement, and minor upgrades to recreational facilities and features (e.g. playgrounds, campgrounds, fire pits, dump stations and utility hook-ups, swimming pools, athletic fields and signage, batting cages, basketball courts, swing sets, pathways, simple wooden/wire stream crossings).
- b. In-kind repair, replacements, and minor upgrades to landscaping elements (e.g., fencing, security gates, free standing walls, paving, existing parking lots, parking meters, planters, irrigation systems, lighting elements, signs, flag poles, ramps, steps).

3. Piers, Docks, Boardwalks, Boat Ramps, and Dune Crossovers

- a. In-kind repair and replacement and minor upgrades to existing piers, docks, boardwalks, boat ramps, boarding bridges, gate arms (and associated features) and dune crossovers in areas of previously disturbed soils.

4. Cemeteries

- a. Removal of woody debris such as branches and limbs, from cemeteries, provided that heavy equipment and other machinery are not operated or staged on areas potentially containing human remains.

**B. BUILDINGS AND STRUCTURES**

1. Interior Work: Floors, Walls, Stairs, Ceilings and Trim

- a. Retrofit of buildings and structures less than 45 years old, unless the property is of exceptional importance under National Register criterion consideration “G” of 36 CFR § 60.4.
- b. In-kind repair and replacement of floors, walls, stairs, ceilings, and/or trim, lighting and/or built-in appurtenances (e.g., bookcases and auditorium seating). The allowance does not apply to decorative finishes, including murals, glazed paint, gold leaf, or ornamental plaster.
- c. Replacement of damaged vinyl or linoleum floor tile or rolls (including floor tile containing asbestos) with contemporary floor tile of the same dimension and thickness, and similar texture or pattern.
- d. Painting and surface preparation provided color and finish are matched to pre-existing finish, and the coating and preparation is limited to material repaired or replaced or immediately adjacent thereto.

- e. Interior cleaning of surfaces using a weak solution of household bleach and water solutions. The allowance applies to interior finishes, including plaster and wallboard, provided the cleaning is restricted to damaged areas and does not affect adjacent materials.
- f. Use of portable de-humidification systems provided no changes are made to character-defining features (specifically for mold remediation).
- g. Non-destructive or concealed testing for hazardous materials (e.g., lead paint, asbestos) or for assessment of hidden damages.
- h. Installation of interior handicapped accessibility provided that the installation does not affect character defining features.
- i. The removal of asbestos tiles (floor, ceilings, or walls) and replacement with materials of similar appearance.

## 2. Building Contents

- a. Repair or replacement of building contents including furniture, movable partitions, computers, cabinetry, supplies, and equipment and any other moveable items which are not character defining features of a historic property.

## 3. Utilities and Mechanical, Electrical, and Security Systems

- a. In-kind repair or replacement, or limited upgrading of interior or exterior utility systems, including mechanical (e.g., heating, ventilation, air conditioning), electrical, and plumbing systems (water tanks, freshwater and drainage). This allowance does not provide for the installation of new exposed ductwork.
- b. Elevation of heating, ventilation, and air conditioning system (HVAC) and mechanical equipment as long as it is placed or located where it is not visible from the street.
- c. Installation or replacement of interior fire detection, fire suppression, or security alarm systems. The allowance does not apply to surface mounted wiring, conduits, piping, etc., unless previously existing, provided that installation of the system hardware does not damage or cause the removal of character-defining architectural features and can be easily removed in the future.
- d. Installation of building communication and surveillance security systems, such as cameras, closed-circuit television, lighting, alarm systems, and public address systems, provided that installation of the system hardware does not damage or cause the removal of character defining architectural features and can be easily removed in the future.

- e. Installation of exterior security features and early warning devices on existing light poles or other permanent utilities. New wiring will be sub-surface to the greatest extent possible or, where exposed, will be enclosed in conduit that is painted to match the existing surface.
- f. Installation of building access security devices, such as card readers, enhanced locks, door alarms, and security scanners (e.g., metal detectors), provided the device does not damage or cause the removal of character-defining architectural features and can be removed in the future without impacts to significant architectural features.
- g. Installation of mechanical equipment within existing mechanical closets, chases, and unfinished attics or basements when ducts are not visible in occupied spaces of the building and access to the ducts does not require demolition of walls or ceilings in occupied spaces of the building.

#### 4. Windows and Doors

- a. In-kind repair of damaged or severely deteriorated windows and window frames, shutters, storm shutters (use models already reviewed by SHPO), doors and door frames, and associated hardware, where profiles, elevations, details and materials match those of the originals.
- b. In-kind replacement of window panes. Clear plate, double, laminated or triple insulating glazing can be used, provided it does not result in altering the existing window material, tint, form, muntin profiles, or number of divided lights. This allowance does not apply to the replacement of intact decorative glass.
- c. Replacement of windows and doors, where the existing windows and doors are beyond repair. Replacement windows and doors must match the appearance, size, design, materials, proportions, and profiles of the existing windows/doors. In order to ensure the proposed windows/doors meet the Standards, detailed dimensional drawings of both the existing and any proposed windows/doors, showing them in relationship to the wall assembly, must be reviewed.
- d. Replacement of exterior, utilitarian, non-character-defining metal doors and frames leading into non character-defining spaces with metal blast resistant doors and frames.
- d. Installation or application of safety and/or security window film on **existing** window panes, provided that it does not result in altering the existing tint or appearance of the pane. This allowance does not apply to the application of film on existing intact or decorative glass.

- e. Installation of interior storm windows or doors, exterior storm or wood screen doors, on residential buildings, in a manner that does not harm or obscure the historic windows or trim.
- 5. Exterior Walls, Cornices, Porches, and Foundations
  - a. In-kind repainting of surfaces, provided that destructive surface preparation treatments are not used, such as water blasting, sandblasting, power sanding and chemical cleaning.
  - b. In-kind repair of walls, porches, foundations, columns, cornices, siding, balustrades, stairs, dormers, brackets, trim, lighting, and their ancillary components or in-kind replacement of severely deteriorated or missing or lost features, as long as the replacement pieces match the original in detail and material. Any ground disturbance will be limited to previously disturbed soils.
  - c. In-kind repair or replacement of signs or awnings.
  - d. Installation of temporary stabilization bracing or shoring, provided such work does not result in additional damage, significant loss of historic fabric, or irreversible alteration, and does not affect known archaeological sites or features or is located in an area with high potential for significant archaeological sites.
  - e. Anchoring of walls to floor systems, provided the anchors are embedded and concealed from exterior view.
  - f. In-kind repair of concrete and masonry walls, columns, parapets, chimneys, or cornices or limited in-kind replacement of damaged components including comparable brick, and mortar that matches the color, strength, content, rake, and joint width.
  - g. Bracing and reinforcing of walls, chimneys and fireplaces, provided the bracing and reinforcing are either concealed from exterior view or reversible in the future.
  - h. Strengthening of foundations and the addition of foundation bolts, provided that visible new work is in-kind, including mortar that matches the color, content, strength, rake, and joint width where occurring.
  - i. Repairs to and in-kind replacement of elements of curtain wall assemblies or exterior cladding that is hung on the building structure, usually from floor to floor, and when the color, size reflectivity, materials, and visual patterns are unaltered.

6. Roofing
  - a. Installation of scaffolding, polyethylene sheeting, or tarps, provided such work will not result in additional damage or irreversible alterations to character defining features or significant loss of historic fabric.
  - b. In-kind repair, replacement, or strengthening of roofing, rafters, fascia, soffits, gutters, verge boards, leader boxes, downspouts, or other damaged roof system components.
  - c. Repairs to flat roof cladding, including changes in roofing materials, where the repairs are not highly visible from the ground level.
7. Weatherproofing and Insulation
  - a. Caulking and weather-stripping to complement the color of adjacent surfaces or sealant materials.
  - b. In-kind repair or replacement of insulation systems, provided that existing interior plaster, woodwork, exterior siding, or exterior architectural detail is not altered.
8. Structural Retrofits
  - a. The installation of the following retrofits/upgrades, provided that such upgrades are not visible on the exterior: attic bracing, cross bracing on pier and post foundations; fasteners; collar ties; gussets; tie downs; strapping and anchoring of mechanical, electrical, and plumbing equipment; concealed anchoring of furniture; installation of plywood diaphragms beneath first floor joists, above top floor ceiling rafters, and on roofs; and automatic gas shut off valves.
  - b. Replacement, repair or installation of lightning rods.
  - c. Earthquake bracing used on refrigerators and against-the-wall shelving in schools and other public buildings.
9. Demolition and Reconstruction
  - a. Activities related to the demolition and/or reconstruction of buildings or structures provided proposed activities substantially conform to the original footprint. Activities will follow the **Criteria for a Collapsed Structure/Building Demolition Stipulations in Appendix C** and the **Low Impact Debris Removal Stipulations in Appendix E**, and/or are performed in previously disturbed soils (including staging areas) as identified by an SOI-qualified archaeologist, and:

- 1) The proposed undertaking is located within a designated “green area” from a prior agreed-upon joint survey. A “green area” is defined as an area that has been formally determined to contain no above ground historic properties in accordance with 36 CFR § 800.4 (d) (1) and is not located within or adjacent to a historic district listed in or eligible for listing in the National Register; or
- 2) The building/structure subject to demolition or reconstruction was formally determined not eligible for listing in the National Register within the past (10) years and is not located within or adjacent to a historic district listed in or eligible for listing in the National Register.
- 3) Any demolition and/or reconstruction occurring within or adjacent to a historic district listed in or eligible for listing in the National Register shall be reviewed in accordance with Stipulation II.C, Standard Project Review of this Agreement.

## 10. Americans with Disabilities Act (ADA) Compliance

- a. Installation of new wheelchair ramp on the front or other entrance of a structure visible from a public right-of-way, in a manner that does not remove, compromise or damage the existing historic materials or features and would be completely reversible without damage to historic fabric. This Allowance only applies to residential structures.
- b. Installation of new wheelchair ramp on side or rear entrance of a structure, when not visible from any public right-of-way. This Allowance only applies to residential structures.
- c. Installation of grab bars and other small-scale interior modifications required for compliance with the Americans with Disabilities Act (ADA). This does not include relocation or demolition of interior walls or modification of openings on interior and exterior walls.

## 11. Safe Rooms

- a. Installation of individual safe rooms within the property limits of a residence where the installation would occur within the existing building or structure or in previously disturbed soils.

## 12. Flood Proofing on Secondary Façades

- a. Activities related to flood proofing and minor upgrades on secondary façades. A secondary façade is an elevation that does not face a public thoroughfare, mews or court and that does not possess historically significant architectural features. Minor upgrades include replacement of exterior utilitarian, non-character-defining doors or windows with new doors or windows, the addition of new elements (such as storm

panels or flood panels) to exterior doors or windows, and the installation of metal grating at basement window wells.

### 13. Previously Determined Ineligible

- a. Repair or retrofit of buildings/structures that have been previously determined ineligible for listing in the National Register within the last five (5) years.

## C. TRANSPORTATION FACILITIES, when proposed activities substantially conform to the original footprint and/or performed in previously disturbed soils, including the area where the activity is staged.

### 1. Roads and Roadways

- a. Repair of roads to pre-disaster geometric design standards and conditions using in-kind materials, shoulders, medians, clearances, curbs, and side slopes. This allowance permits minor improvement to meet current code and standards or hazard mitigation measures, such as those designed to harden exposed surfaces, including the application of gravel armoring to side slopes and ditches.
- b. In kind repair to historic paving materials for roads and walkways.
- c. In-kind repair or replacement, or minor upgrade of culvert systems and arches beneath roads or within associated drainage systems, including provision of headwalls, riprap and any modest increase in capacity for the purposes of hazard mitigation or to meet current codes and standards, provided that the work substantially conforms to the existing footprint, or falls within the footprint of the washed out location, and does not involve an increase in roadway width. For stone or brick culverts or arches beneath roadways, this allowance only applies to in-kind repair.
- d. In-kind repair or replacement of road lighting systems, including period lighting fixture styles.
- e. In-kind repair or replacement of road appurtenances such as curbs, berms, fences, parking lots, storm drains, catch basins, fire hydrants and sidewalks.
- f. Stabilization of hazardous slopes within transportation rights-of-way. Stabilization methods include the installation of retaining walls and systems such as gabion baskets, crib walls, and soldier pile and lag walls. Work will not exceed the limits of the previously disturbed rights-of-way and will not take place within the APE of any historic property listed or eligible for listing in the National Register. This allowance does not apply to any work in historic districts listed or eligible for listing in the National Register.

2. Bridges

- a. Installation of a temporary (Bailey-type) bridge at a previously disturbed location, such as a former bridge location, to allow passage of emergency vehicles.
- b. In-kind repair or replacement of bridges and bridge components (e.g. abutments, wing walls, piers, decks, and fenders) in previously disturbed soils.

**D. UTILITIES, COMMUNICATIONS SYSTEMS AND TOWERS**, when proposed activities substantially conform to the original footprint and/or performed in previously disturbed soils, including the area where the activity is staged.

1. General

- a. In-kind repair or replacement, or minor upgrading, small scale realignment, and elevation of utilities and associated features and structures within previously disturbed soils of rights-of-way or utility corridors.
- b. Installation of new utilities and associated features within existing rights-of-way.
- c. Directional boring of new/replacement service lines and related appurtenances involving boring or trenching for silt fencing within previously disturbed soils of rights-of-way or utility corridors.
- d. In-kind repair or replacement, or minor upgrade of water towers provided activities take place within previously disturbed soils. Ground-level facilities may be added or expanded in previously disturbed areas. This allowance does not apply to masonry water towers.
- e. Temporary storage of supplies and equipment (poles, cables spools, pedestals, etc.) where no ground disturbance will occur; this does not include construction of temporary access routes.
- f. Repair in-kind or replacement of metal utilitarian structures to house or protect utilities, such as pump houses and electrical transformer houses, as well as related elements, such as oil tanks and exposed pipelines, except when located within a historic district.
- g. Repair or replacement of utility lines (e.g. sewer, gas, and water) located within the property boundary of the structure, when performed in previously disturbed soils.
- h. Repair or replacement of septic tanks, drain fields, and well pumps in previously disturbed soils.

## 2. Generators and Utilities

- a. In-kind repair or replacement, or minor upgrades, elevation, and/or installation of generators, HVAC systems, and similar equipment provided that activities occur within previously disturbed soils and/or any roof mounted equipment is not visible from the ground level.
- b. Underground cable replacements of any length when the replacement cable is placed within three feet of the same trench as an existing or failed cable except when in proximity (one-hundred (100) meters or three-hundred (300) feet) to a known archeological site.
- c. Replacement of power poles in pre-existing locations is allowed including increase in the pole diameter. Relocation or construction of new poles are allowed in (1) urban or suburban settings between the edge of roadway and the sidewalk, and (2) rural settings along roadway shoulders.
- d. New construction of a single pole overhead line is permissible when the auguring, pole placement, and line placement is conducted from within the previously disturbed public or private right-of-ways, or when the lines will not pass within or through any areas known or has the potential to contain human remains, archeological resources, or any other historic properties except when in close proximity (one-hundred (100) meters or three-hundred (300) feet) to a known archaeological site or within the view shed of historic districts listed or eligible for listing on the National Register.
- e. Replacement, relocation or installation of solar panels on the roof of buildings less than forty-five (45) years of age, except when located within a historic district.
- f. Directional boring for replacement or installation of new service lines and related appurtenances, where ground disturbance would involve no greater than ten (10) square foot excavation units for directional boring equipment to be placed. These units would be placed in areas for directional drill to begin and end where needed to complete boring.

## 3. Communication Equipment/Systems and Towers

- a. Acquisition, installation, or operation of communication and security equipment/systems that use existing distribution systems, facilities, or existing infrastructure right-of-way.
- b. The collocation of communication and security equipment on existing towers and buildings/structures less than forty-five (45) years in age, provided that the work does not increase existing tower height or footprint by more than 10% and occurs within previously disturbed soils.

- c. Enhancement, repair or replacement of existing communication towers and antenna structures provided the work does not increase existing tower height or footprint by more than 10% and occurs within previously disturbed soils.
- d. Installation of new temporary (not to exceed twelve (12) months) communications towers and antenna structures provided that the work occurs does not require modification of buildings/structures forty-five (45) years or older and occurs within previously disturbed soils.
- g. Installation of new communication towers, less than two-hundred (200) feet tall, in previously developed urban complexes when the work does not require modification of buildings/structures forty-five (45) years or older, occurs within previously disturbed soil, and is not within one-half mile of the boundaries of a historic property.
- h. Substantially in-kind repair or replacement of antenna towers.
- i. Ground disturbing activities related to new poles for tsunami warning sirens provided the excavation will only affect previously disturbed soils and there are no properties listed on the National Register of Historic Places within two-hundred and fifty (250) feet of the proposed location.

**E. WATER RESOURCE MANAGEMENT AND CONTROLS**, when proposed activities substantially conform to the original footprint and/or performed in previously disturbed soils, including the area where the activity is staged.

- 1. Canal Systems
  - a. In-kind repairs or replacement to canal systems and associated elements.
- 2. Bulkheads, Breakwaters, Seawalls, Revetments, and Berms
  - a. In-kind repair or replacement of bulkheads, breakwaters, seawalls, and revetments, provided the work occurs in previously disturbed soils.
- 3. Dams, Levees, Locks, and Floodwalls
  - a. In-kind repair of dams, levees, locks, floodwalls and related features, including spillways, tide gates, and fuse plugs, provided the work occurs in previously disturbed soils.
- 4. Fish Hatcheries

- a. In-kind repair or replacement of fish hatcheries and fish ladders.
- 5. Waste-Water Treatment Lagoon Systems
  - a. In-kind repair or replacement, or minor upgrades of waste-water treatment lagoon systems.
- 6. Outfall Systems
  - a. In-kind repair, replacement, or minor upgrades to outfall pipes along beaches or inland waterways.

## **Appendix C**

### **Criteria for Identification of Collapsed Structures**

The following criteria for determining whether a structure is collapsed will be applied by FEMA to support identification of buildings eligible for the Private Property Debris Removal (PPDR) program. Any structure/building that meets one or more of the identified criteria below is considered to lack integrity and will not be considered eligible for listing in the National Register of Historic Places:

- The structure is collapsed forming a pile of debris and rubble, or rubble has already been removed from property (Unable to identify as a structure/building).
- The structure has been displaced from its original block/lot parcel.
- The structure is certified as an imminent threat, structurally unstable and unsafe for human habitation by building code officials in the municipality (decreed by municipal ordinance).
- The structure demonstrates the following characteristics listed below (porches should not be considered).
  - Minimally wracked or canted. Wracked or canted is defined as “moved by forces in multiple dimensions which have distorted what was a rectangular shape into a parallelogram; twisted, not merely shifted or tilted”.
  - Missing two or more full elevations and/or stories (second or third floor).

## **Appendix D**

### **Private Property Debris Removal Program Process**

The following process for PPDR will be followed by FEMA to ensure that only buildings meeting program eligibility will be reviewed for compliance with Section 106.

- Local building authorities will be responsible for submitting properties to FEMA for inclusion in the PPDR program. Each property must be declared to be an imminent threat; that it, it must pose a life-safety issue or be in imminent danger of collapsing and causing damage to an adjacent property.
- The local building authority must submit five photographs of each property, including one of each elevation and one of the streetscape.
- Accurate GPS coordinates will be submitted for each property.
- Public Assistance (Program) will review each application (including photos) to ensure that each program meets program eligibility.
- Only properties that the Program has reviewed and found eligible will be submitted to EHP for review.

- Demolition will not include removal of slabs or driveways.
- The contractor will be required to test for asbestos and to abate the nuisance appropriately.
- Properties in the PPDR program will be reviewed by a team composed of a SHPO staff member and a FEMA historic preservation specialist who meets the Secretary of the Interior's Professional Qualifications.

## Appendix E

### **Low Impact Debris Removal Stipulations**

**Desktop Review:** Prior to any soil disturbing activities all properties will be reviewed in order to identify known historic properties and archaeologically sensitive areas.

**Low Impact Debris Removal Stipulations (LIDRS) will be applied as a Best Management Practice to protect potential archaeological resources.**

1. General Approach to Minimize Impact to Soil:

- a. When using heavy equipment, work from hard or firm surfaces to the fullest extent possible, to avoid sinking into soft soils.
- b. The sub-recipient will, to the fullest extent possible, ensure that its contractors minimize soil disturbance when operating heavy equipment on wet soils (6 inches or less).
- c. Excavation and burial of debris on-site is not permitted.

2. Activity-Specific Guidelines:

a. *Woody Debris Removal (including Rootballs)*

The sub-recipient will ensure to the fullest extent possible that all prior Public Assistance Program guidance regarding woody debris removal is followed.

b. *Filling Voids*

Any voids which require filling because they are a “health and safety issue” will be filled with suitable fill from an approved source.

c. *Surface Grading and Site Clean-Up*

The sub-recipient will ensure to the fullest extent possible that its contractor limits site grading to within six (6) inches of the existing surface elevation (e.g., sidewalk level, driveway level, slab level, etc.).

- d. *If the building or structure has been destroyed by the event and there are remaining structural features or utilities that require removal, then:*
  - 1) Utility lines will be disconnected and capped. In cases where there are no shut-off valves, limited excavation within the utility rights-of-way will be required to cap these service lines.
  - 2) Shearing off of utilities or other structure features is strongly encouraged so that further soil disturbance is minimized.
- e. Demolition: *If the building or structure has been destroyed by the event and there are remaining structural features that require removal, then the following applies for the removal of the features listed below:*
  - 1) *Foundation Removal*  
The sub-recipient will ensure, to the fullest extent possible, that the contractors will limit excavation to within two (2) feet of the foundation perimeter and will not excavate more than six (6) inches below the depth of the foundation to minimize soil disturbance.
  - 2) *Slab/Driveway/Sidewalk Removal*  
The sub-recipient will ensure, to the fullest extent possible, that the contractor will limit excavation to within one (1) foot of the slab/driveway/sidewalk perimeter and will not excavate more than six (6) inches below the depth of the asphalt/concrete to minimize soil disturbance.
  - 3) *Oil Tank Relocation/Removal*
    - a) The sub-recipient will ensure, to the fullest extent possible, that approved methods will be used in locating an underground oil tank. Approved methods include using a magnetometer, probe, or GPR system. Trenches are not permitted.
    - b) The sub-recipient will inform landowners, to the fullest extent possible, of best practice guidelines for oil tank removal and will ensure that they are made aware of state regulations for contamination remediation. Best practices for tank removal would be to use smaller machines with approximately two (2) foot wide buckets for excavation to reduce potential soil disturbance.
  - 4) *Septic Tanks*
    - a) The sub-recipient will ensure, to the fullest extent possible, that fill required by the decommissioning of septic tanks is from an approved, established borrow source.

- b) Utility lines will be disconnected and capped. In cases where there are no shut-off valves, limited excavation within the utility right-of-way will be required to cap these service lines.
- c) Shearing off of utility lines at the ground surface is strongly encouraged so that further soil disturbance is minimized.

### 3. Treatment of Unanticipated Discoveries

#### a. *Archaeological Materials/Human Remains*

- 1) If debris removal activities disturb archaeological artifacts (e.g. old bricks, ceramic pieces, historic bottle glass or cans, coins, beads, stones in the form of tools, pieces of crude clay pottery, etc.), archaeological features (e.g. grave markers, house foundations, cisterns, etc.), or human remains, the sub-recipient will ensure, to the fullest extent possible, that the Contractor immediately stops work in the vicinity of the discovery and takes all reasonable measures to avoid or minimize harm to the finds. In such cases, the sub-recipient will immediately inform SHPO and FEMA (also in accordance with state guidelines, the local law enforcement medical examiner for human remains) of the discovery for further guidance. The sub-recipient will ensure that the Contractor does not proceed with work in the area of concern until FEMA staff has completed consultation with the SHPO and other interested parties, as necessary.
  - 2) To ensure compliance with all applicable state and local laws, and permission from all appropriate parties is obtained to remove remains, the sub-recipient is responsible to determine appropriate legal measures under Puerto Rico law.
4. FEMA reserves the right to conduct unannounced field inspections and observe debris removal activities to verify compliance with LIDRS. Failure to comply with these stipulations may jeopardize the sub-recipient's receipt of federal funding.
5. FEMA and the SHPO have agreed that the sub-recipient is responsible for ensuring that their demolition Contractor adheres to these work restrictions for FEMA-funded undertakings.

## **Appendix F**

### **Treatment Measures**

When avoidance or minimization of adverse effects is not appropriate, the following Treatment Measures are suggested for the resolution of adverse effects:

If Undertakings may or will result in adverse effects, FEMA, the Recipient, sub-recipient, and SHPO, may develop a treatment measure plan that includes one or more of the following Treatment Measures, depending on the nature of historic properties affected and the severity of adverse effects.

#### **A. Recordation**

1. **Digital Photography Package:** Prior to project implementation, the designated responsible party shall oversee the successful delivery of a digital photography package prepared by staff or contractors meeting the Secretary's Professional Qualifications for Architectural History, History, Architecture, or Historic Architecture, as appropriate. The digital photography package will meet the standards cited in the NPS' *National Register of Historic Places Photographic Policy May 2013* or subsequent revisions (<http://www.nps.gov/nr/publications/bulletins/photopolicy/index.htm>).
  - a. The digital photography package shall include a comprehensive collection of photographs of both interior and exterior views showing representative spaces and details of significant architectural features and typical building materials. However, interior photographs will only be subject to this if a request for access is approved by the property owner and/or lessee. Exterior photographs shall include full oblique and contextual images of each elevation. Exterior views shall be keyed to a site plan while interior views shall be keyed to a floor plan of the building/structure. The photographs shall be indexed according to the date photographed, site number, site name, site address, direction, frame number, subject matter and photographer's name recorded on the reverse side in pencil.
  - a. The digital photography package shall include printed color copies of the digital photographs (on appropriate paper, per *NPS Photographic Policy*), a CD/DVD of the digital photographs, a completed state architectural inventory form, and a written site history of the historic property.
  - d. The designated responsible party shall submit the digital photography package to the SHPO, or review and approval. Once approved by the SHPO the designated responsible party shall submit a copy of the approved documentation to a state or local historical society, archive, and/or library for permanent retention.
2. **35mm Black and White Photography Package:** Prior to project implementation, the designated responsible party shall oversee the successful delivery of a 35 mm film black

and white film photography package prepared by staff or contractors meeting the Professional Qualifications for Architectural History, History, Architecture, or Historic Architecture, as appropriate.

- a. The 35 mm film black and white film photography package shall include a comprehensive collection of photographs of both interior and exterior views showing representative spaces and details of significant architectural features and typical building materials. However, interior photographs will only be subject to this if a request for access is approved by the property owner and/or lessee. Exterior photographs shall include full oblique and contextual images of each elevation. Exterior views shall be keyed to a site plan while interior views shall be keyed to a floor plan of the building/structure. The photographs shall be indexed according to the date photographed, site number, site name, site address, direction, frame number, subject matter and photographer's name recorded on the reverse side in pencil.
  - b. The 35 mm film black and white film photography package shall include one (1) full set of 35mm film black and white photographs printed on acid free paper, the corresponding 35mm film negatives in acid free sleeves, a completed state architectural inventory form, and a written site history of the historic property.
  - c. The designated responsible party shall submit the 35 mm black and white film photography package the SHPO for review and approval. Once approved by the SHPO, the designated responsible party shall submit a copy of the approved documentation to a state or local historical society, archive, and/or library for permanent retention.
3. Large Format Photography Package: Prior to project implementation, the designated responsible party shall oversee the successful delivery of a large format photography package prepared by staff or contractors meeting the Professional Qualifications for Architectural History, History, Architecture, or Historic Architecture, as appropriate.
    - a. The large format photography package shall include a comprehensive collection of photographs of both interior and exterior views showing representative spaces and details of significant architectural features and typical building materials. However, interior photographs will only be subject to this if a request for access is approved by the property owner and/or lessee. Exterior photographs shall include full oblique and contextual images of each elevation. Exterior views shall be keyed to a site plan while interior views shall be keyed to a floor plan of the building/structure. The photographs shall be indexed according to the date photographed, site number, site name, site address, direction, frame number, subject matter and photographer's name recorded on the reverse side in pencil.
    - b. The large format film photography package shall include one (1) full set of 4 x 5 or 5 x 7-inch photographs printed on acid free paper, the corresponding 4 x 5 or 5 x 7-

inch negatives in acid free sleeves, a completed state architectural inventory form, and a written site history of the historic property.

- c. The designated responsible party shall submit the large format film photography package to the SHPO for review and approval. Once approved by the SHPO, and/or participating the designated responsible party shall submit a copies of the approved documentation to a state or local historical society, archive, and/or library for permanent retention.

#### B. Public Interpretation

Prior to project implementation, FEMA, the Recipient, and sub-recipient shall work with the SHPO to design an educational interpretive plan. The plan may include signs, displays, educational pamphlets, websites, workshops and other similar mechanisms to educate the public on historic properties within the local community, state, or region. Once an interpretive plan has been agreed to by the parties, SHPO and the designated responsible party shall continue to consult throughout implementation of the plan until all agreed upon actions have been completed by the designated responsible party.

#### C. Historical Context Statements and Narratives

Prior to project implementation, FEMA, the Recipient, and sub-recipient shall work with the SHPO to determine the topic and framework of a historic context statement or narrative the designated responsible party shall be responsible for completing. The statement or narrative may focus on an individual property, a historic district, a set of related properties, or relevant themes as identified in the statewide preservation plan. Once the topic of the historic context statement or narrative has been agreed to, the designated responsible party shall continue to coordinate with the SHPO through the drafting of the document and delivery of a final product. The designated responsible party shall use staff or contractors that meet the Secretary's Professional Qualifications for the appropriate discipline.

#### D. Oral History Documentation

Prior to project implementation, FEMA, the Recipient, and sub-recipient shall work with the SHPO to identify oral history documentation needs and agree upon a topic and list of interview candidates. Once the parameters of the oral history project have been agreed upon, the designated responsible party shall continue to coordinate with the SHPO through the data collection, drafting of the document, and delivery of a final product. The designated responsible party shall use staff or contractors that meet the Secretary's Professional Qualifications for the appropriate discipline.

#### E. Historic Property Inventory

Prior to project implementation, FEMA, the Recipient, and sub-recipient shall work with the SHPO to establish the appropriate level of effort to accomplish a historic property inventory. Efforts may be directed toward the resurvey of previously designated historic properties and/or districts which have undergone change or lack sufficient documentation, or the survey of new historic properties and/or districts that lack formal designation. Once the boundaries of the survey area have been agreed upon, the designated responsible party shall continue to coordinate with the SHPO through the data collection process. The designated responsible party shall use SHPO standards for the survey of historic properties and SHPO forms as appropriate. The designated responsible party shall prepare a draft inventory report, according to SHPO templates and guidelines, and work with the SHPO until a final property inventory is approved. The designated responsible party shall use staff or contractors that meet the Secretary's Professional Qualifications for the appropriate discipline.

#### F. National Register and National Historic Landmark Nominations

Prior to project implementation, FEMA, the Recipient, and sub-recipient shall work with the SHPO to identify the individual properties that would benefit from a completed National Register or National Historic Landmark nomination form. Once the parties have agreed to a property, the designated responsible party shall continue to coordinate with the SHPO through the drafting of the nomination form. The SHPO shall provide adequate guidance to the designated responsible party during the preparation of the nomination form and shall formally submit the final nomination to the Keeper for inclusion in the National Register. The designated responsible party shall use staff or contractors that meet the Secretary's Professional Qualifications for the appropriate discipline.

#### G. Geo-References of Historic Maps and Aerial Photographs

Prior to project implementation, FEMA, the Recipient, and sub-recipient shall work with the SHPO to identify the historic maps and/or aerial photographs for scanning and geo-referencing. Once a list of maps and/or aerial photographs have been agreed upon, the designated responsible party shall continue to coordinate with the SHPO through the scanning and geo-referencing process and shall submit drafts of paper maps and electronic files to the SHPO, for review. The SHPO shall have final approval on the quality of the documentation provided by the designated responsible party. The final deliverable produced by the designated responsible party shall include a paper copy of each scanned image, a geo-referenced copy of each scanned image, and the metadata relating to both the original creation of the paper maps and the digitization process.