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### Environmental Assessment Determinations and Compliance Findings for HUD-assisted Projects 24 CFR Part 58

#### **Project Information**

Project Name: Centro de Actividades Municipales (PR-CRP-000783)

Responsible Entity: Department of Housing – Commonwealth of Puerto Rico

State/Local Identifier: Puerto Rico/Adjuntas

Project Identification Number: PR-CRP-000783

Preparer: William Melendez, PE, Cliff Jarman

Certifying Officer Name and Title: Juan Carlos Perez-Bofill - Director, Disaster Recovery CDBG-DR; Sally Z. Acevedo-Cosme - Permits and Environmental Compliance Specialist; Pedro de León Rodriguez - Permits and Environmental Compliance Specialist; Maria T. Torres-Bregón -Permits and Environmental Compliance Manager; Angel G. López Guzmán - Deputy Director, Permits and Environmental Compliance Specialist; Ivelisse Lorenzo Torres - Permits and Environmental Compliance Specialist; Ivelisse Lorenzo Torres - Permits and Environmental Compliance Specialist; Santa Ramírez Lebrón - Permits and Environmental Compliance Specialist; Janette I. Cambrelen - Permits and Environmental Compliance Specialist; Limary Vélez Marrero - Permits and Environmental Compliance Specialist; Mónica Machuca Ríos - Permits and Environmental Compliance Specialist; Abdul Feliciano-Plaza - Permits and Environmental Compliance Specialist; Javier Mercado-Barrera - Permits and Environmental Compliance Specialist; Priscilla Toro-Rivera - Permits and Environmental Specialist; Aldo Rivera-Vázquez - Director, Permits and Environmental Compliance

**Grant Recipient** (if different than Responsible Entity)

Consultant (if applicable): Ingenium Professional Group, Tetra Tech, Inc.

Direct Comments to: Angel G. López Guzmán at (environmentcdbg@vivienda.pr.gov)

**Project Location:** Pueblo Calle César González Esq. Calle Progreso, Adjuntas PR 00601 Coordenadas: 18.162821, -66.721748 (Parcel ID # 266-075-038-21-001)

**Description of the Proposed Project** [24 CFR 50.12 & 58.32; 40 CFR 1508.25]:

This project proposes the reconstruction of a deteriorated historic building, built in concrete in 1911 and severely impacted by hurricanes Irma and María in 2017. The purpose of this undertaking

is to provide a public building for renting activity rooms at low cost. The building is located on César González Street, at the corner with Progreso Street, at coordinates 18.162821, -66.721748 within the Adjuntas Traditional Urban Center (See Figure 1 in Appendix B). The roof was originally built in wood and zinc and is missing, with remnants still inside of the building. The second story and interior walls were also destroyed by hurricane winds. Each level has an approximate area of 5,744 square feet.

The lower level will be divided into three separate rooms with sliding-wall dividers to adjust the capacity of each room. Each room will have a direct emergency exit. An administration and security office will be located at the main entrance to the building. The second story will include two rooms, one of them an art gallery for local artists and artisans. A rooftop terrace will be built atop the wing structure to the left of the entrance, providing a visual connection with nature and the Adjuntas Traditional Urban Center. The first level of this side structure will be used for storage. A structural evaluation is essential for providing independent support to the new roof, to be built with durable and cost-effective materials. A spacious elevator will be added to the structure.

Access to the building must comply with security laws, including emergency exits. The lighting system must be modern, using LED lights of variable intensity. Both floors will be equipped with accessible bathrooms for people of any age and disability. The doors and windows need to be redesigned without modifying the original design. Air-conditioning split consoles will be added to each room.

The building will use solar energy, including storage space for batteries and renewable energy equipment.

The proposed project will preserve the original architectural design with arch entrances and second-story rectangular windows, each with its own small balcony. The project will preserve the original design in its exterior architectural splendor, including paint color, with a modern touch inside.

No exterior demolition is necessary. Interior wall, floor will be demolished, and doors, windows and roof debris will be removed. The Municipal Government of Adjuntas will administer the new project.

Grant Number	HUD Program	Funding Amount
B-17-DM-72-0001	CDBG-DR	\$1,507,179,000
B-18-DP-72-0001	CPD/CDBG-DR	\$8,220,783,000
B-19-DP-78-0002	CPD/CDBG-DR	\$277,853,230
B-18-DE-72-0001	CPD/CDBG-DR	\$1,932,347,000
	TOTAL	\$11,938,162,230

#### **Funding Information**

#### Estimated Total HUD Funded Amount: <u>\$2,605,748.00</u>

Estimated Total Project Cost (HUD and non-HUD funds) [24 CFR 58.32(d)]: <u>\$2,605,748.00</u>

#### Compliance with 24 CFR 50.4, 58.5, and 58.6 Laws and Authorities

Record below the compliance or conformance determinations for each statute, executive order, or regulation. Provide credible, traceable, and supportive source documentation for each authority. Where applicable, complete the necessary reviews or consultations and obtain or note applicable permits of approvals. Clearly note citations, dates/names/titles of contacts, and page references. Attach additional documentation as appropriate.

Compliance Factors: Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6	Are formal compliance steps or mitigation required?	Compliance determinations
STATUTES, EXECUTIVE ORD	ERS, AND REGU	ULATIONS LISTED AT 24 CFR 50.4 & 58.6
<b>Airport Hazards</b> 24 CFR Part 51 Subpart D	Yes No	The closest airport to the Project site is International Airport Mercedita. This facility is 81,625 feet southeast of the project site. The closest military airport to the Project site is Luis Muñoz Marin International Airport. This facility is 279,000 feet northwest of the project site. The project is not located within 15,000 feet of a military airport, or 2,500 feet of a civilian airport. The project and will not impact any Airport and is in compliance with HUD Airport Hazards regulations. No additional evaluation is required. See worksheet A01 in Appendix A and Figure 2 in Appendix B.
Coastal Barrier Resources Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 [16 USC 3501]	Yes No	The project is not located in a Coastal Barrier Resources System (CBRS) area. The closest CBRS unit is 12.2 miles to the south. This project is in compliance with the Coastal Barrier Resources Act. See worksheet A02 in Appendix A and Figure 3 in Appendix B.
Flood Insurance Flood Disaster Protection Act of 1973 and National Flood Insurance Reform Act of 1994 [42 USC 4001-4128 and 42 USC 5154a]	Yes No	The project site is within FEMA designated Zone X, an area of minimal flood hazard as per Floodplain Insurance Map 72000C1090H, effective date April 19, 2005. The project is in compliance with Flood Insurance requirements. See worksheet A03 in Appendix A and Figure 4 in Appendix B.

STATUTES, EXECUTIVE ORD	ERS, AND REG	ULATIONS LISTED AT 24 CFR 50.4 & 58.5
Clean Air Clean Air Act, as amended, particularly section 176(c) & (d); 40 CFR Parts 6, 51, 93	Yes No	The Project site is not located in a county or air quality management district that is in non- attainment status for any criteria pollutants. The Municipio of Adjuntas is not listed in the EPA Green Book "Puerto Rico Nonattainment/Maintenance Status for Each County by Year for all Criteria Pollutants." The project consists of the reconstruction of an existing building. The Project would have no impact on air quality. The project is in compliance with Clean Air Act. See worksheet A04 and attached EPA table in
Coastal Zone Management Coastal Zone Management Act, sections 307(c) & (d)	Yes No	Appendix A. The closest coastal area is located 54,268 feet from the project. The project does not affect a Coastal Zone as defined in the PR Coastal Zone Management Plan. The project is in compliance with the Coastal Zone Management Act. See worksheet A05 in Appendix A and map B05 in Appendix B.
Contamination and Toxic Substances 24 CFR Part 50.3(i) & 58.5(i)(2)	Yes No	The proposed project is not on any EPA Superfund National Priorities List or any CERCLA list. The building structure is old enough that surveys for asbestos containing materials (ACMs) and lead based paint (LBP) were conducted in January 2023. See Reports in Appendix E No ACMs were found. However, the report recommended that if demolition/remodeling activities were to be performed, these results should be verified by the contractors. Of the 58 LBP samples tested four were found to be positive for LBP. According to DRNA lead regulations, prior to demolition activities, the contaminated surfaces or substrates must be abated or removed. The firm providing the abatement services must be certified as an abatement firm by the DRNA. Site contamination was evaluated through online data searches to determine if toxic sites are located within 3,000-feet of the proposed project. Three RCRA facilities are located within 3,000 feet of the project. 1), Dept of Ed - Jose Emilio Lugo School, Street Francisco Pietri 75, at a distance of 1955 ft. 2) Prasa 101 San Joaquin

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	SRA, at the distance of 1,034 ft. and 3) Adjuntas Wastewater Treatment Plant Canas Street, at the distance of 2570 ft.
	The first two sites had no violations reported within the last three years. The wastewater treatment plant had no RCRA violations within the last three years but had three Clean Water Act violations related to effluent releases.
	One NPDES site was located within 3,000 feet. The Prasa Adjuntas Filter Plant PR-156 KM 1, at the distance of 2139 ft., had no violations within the last three years.
	This project has regulated sites, which pose no threat to the project. The project does not involve residents and will not increase occupancy of any structures. There will be no increased risk associated with the proposed project.
	HUD issued Notice CPD-23-103 on January 11, 2024, regarding Departmental Policy for Addressing Radon in the Environmental Review Process. The Notice intends to clarify that radon must be considered in the Environmental Review analysis for all HUD funded projects.
	The recommended best practices and alternative options for radon testing are infeasible and impracticable in this case due to the reasons listed within the Radon Memorandum and associated agency correspondence found in Appendix E.
	As part of the evaluation for this determination, PRDOH sent information requests to six (6) local agencies at the state and federal levels. We received responses from the following agencies:
	•United States Geological Survey;
	•Centers for Disease Control and Prevention;
	•Puerto Rico Department of Health; and
	•United States Environmental Protection Agency.
	The agencies mentioned above confirmed the lack of scientific data on Radon testing for Puerto Rico and the technical difficulties that we face to comply with HUD's Radon testing requirement. For the above-mentioned reasons, Radon testing is infeasible and impracticable for this property, and no further consideration of
	Radon is needed for the environmental review.

		The project is in compliance with Contamination and Toxic Substances requirements. See worksheet A06 in Appendix A, Figure 6 in Appendix B, and the Radon Memorandum and facility Reports in Appendix E.
Endangered Species Endangered Species Act of 1973, particularly section 7; 50 CFR Part 402	Yes No	The proposed project site is entirely developed located in an urban area of the Municipality of Adjuntas. The Official Species List from the U.S. Fish and Wildlife Service (USFWS) Information for Planning and Consultation (IPaC) website lists the Puerto Rican Broad-winged Hawk, Puerto Rican Parrot, Puerto Rican Sharp-shinned Hawk, and the Puerto Rican Boa as being able to be found in the area, but there are no critical habitats for them at this location.
		The nearest critical habitat is 11.15 miles to the southwest. See Figure 7 in Appendix B.
		The proposed project will be conducted in a developed urban area and thus would have no effect on any natural habitats or federally protected species. A Biological Assessment was prepared, and a No Effect determination was sent to the USFWs through the IPaC system. The USFWS acknowledged the No Effect determination on August 25, 2023 and stated that no further consultation was required for the Puerto Rican Boa.
		Subsequently a site-specific review of endangered species was conducted in accordance with the Fish and Wildlife Act (47 Stat. 401, as amended: 16 U.S.C. 661 et seq.) The proposed project will have No Effect on listed species or habitats. Based on the nature of the project, scope of work, information available, and a careful analysis of the Project Site, and IPaC species list, it was determined that there would be No Effect for any of the listed species.
		Self-Certification was prepared and transmitted to the USFWS on January 30, 2024 and approved by the USFWS on February 6, 2024.
		If a Puerto Rican Boa is encountered, work will cease until it moves off the site or, failing that, the Puerto Rico Department of Natural and

		Environmental Resources (PRDNER) Rangers will be notified for safe capture and relocation of
		the animal, in accordance with the USFWS Puerto Rican Boa Conservation Measures guidelines.
		Based on the above, it is concluded that the proposed project will have no effect on any federally listed species or designated critical habitat. The project is in compliance with the Endangered Species Act requirements.
		See worksheet A07 in Appendix A, Figure 7 in Appendix B, and Reports in Appendix C.
Explosive and Flammable Hazards	Yes No	The project does not include development, construction, or rehabilitation that will increase residential density.
24 CFR Part 51 Subpart C		The project does not involve explosive or flammable materials or operations.
		The project is in compliance with Explosive and Flammable Hazards requirements.
		See worksheet A08 document in Appendix A.
<b>Farmlands Protection</b> Farmland Protection Policy Act of 1981, particularly sections 1504(b) and 1541; 7 CFR Part 658	Yes No	The project to be carried out is on already developed urbanized land. The soil is classified as Urban. It is not classified as prime farmland soil or farmland soil of statewide importance. The project will not require the conversion of agricultural land to non-agricultural uses.
		The project is in compliance with Farmlands Protection requirements.
		See worksheet A09 in Appendix A and soils report in Appendix F.
Floodplain Management Executive Order 11988, as amended by Executive Order 13690, section 2(a); 24 CFR Part 55	Yes No	The proposed project is not located in a Federal Flood Risk Management Standard (FFRMS) floodplain. The presence of the location in a FFRMS floodplain was assessed using the best available data and the FEMA-defined Freeboard Value Approach (FVA) for non-critical actions. The FFRMS floodplain is the area that results from adding two feet to the base flood elevation. According to the ABFE map, the nearest base flood elevation to the project site is 490.024 meters, which is 1,607.69 feet. Using the FVA method, the resulting FFRMS flood elevation is 1,609. 69 feet. Based on the US Geological Survey (USGS) National Map, point elevation query, the elevation at the project site is 1,652.58 feet (503.71 meters), which is well above the FVA level. This map also shows that the contour to which this flood zone would extend is outside the project boundary.

The project is in compliance with Executive Order 11988 as amended by Executive Order 13690 and with Federal Flood Risk Management Standard (FFRMS), as determined by the 0.2-PFA method. Refer to Worksheet A10 and Figures 8 and 9 in Appendix B.

Historic Preservation National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800	Yes No	The site was evaluated on June 2, 2023, October 23, 2023, and January 31, 2024, by an SOI Qualified Architect/Architectural Historian. Additionally, the site was evaluated on March 21, 2023, December 14, 2023, and February 1, 2024, by an SOI Qualified Archaeologist.
		SHPO concurred with a finding of <b>No Adverse</b> <b>Effect</b> within the project's Area of Potential on Effects on February 23, 2024, with the condition that a Phase 2 Archaeological site-testing investigation be conducted before any demolition of the floor. An Archaeological Evaluation and Monitoring Work Plan was submitted to the SHPO on June 12, 2024 and revised on July 25, 2024. The SHPO accepted the Work Plan on August 22, 2024.
		Refer to worksheet A11 in Appendix A and the figures in Section 106 Consultation Package in Appendix D. This project is in compliance with Historic Preservation requirements.
Noise Abatement and Control Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B	Yes No	The project would not create new sources of noise and would not have acoustic impacts. The noise that would be generated during the construction phase of the project is generated by the operation of the construction equipment. Noise levels attributable to construction activities will be temporary in nature and are not expected to exceed 65 dBA. The noise during the period of operation will be that normally produced by pedestrians. The project is in compliance with Noise Abatement and Control requirements. See worksheet A12 in Appendix A.
Sole Source Aquifers	Yes No	There are no EPA single source aquifers in Puerto
Safe Drinking Water Act of 1974, as amended, particularly section		Rico, the project meets the Single Source aquifer requirements.
1424(e); 40 CFR Part 149		The project is in compliance with Sole Source Aquifers requirements.
		See worksheet A13 in Appendix A and Figure 10 in Appendix B.

Wetlands ProtectionExecutiveOrder11990,particularly sections 2 and 5	Yes No	According to the National Wetlands Inventory Map, no wetlands are on the or adjacent to the project site. This project does not impact any on or off-site wetlands and includes no activities that would require further evaluation under this section. The project is in compliance with Executive Order 11990. See worksheet A14 in Appendix A and Figure
		11 in Appendix B.
Wild and Scenic Rivers Wild and Scenic Rivers Act of 1968, particularly section 7(b) and (c)	Yes No	This project is not within proximity of a National Wild and Scenic River (WSR). The distance from the project to the El Yunque National Forest which contains the only Wild and Scenic Rivers in Puerto Rico is approximately 323,379 feet. The project is in compliance with the Wild and Scenic Rivers Act.
		Refer to worksheet A15 in Appendix A and Figure 12 in Appendix B.
		The project is in compliance with Wild and Scenic Rivers requirements.

ENVIRONMENTAL JUSTICE		
Environmental Justice	Yes No	The project does not result in adverse environmental effects on low-income or
Executive Order 12898		minority populations. does not have discriminatory elements that exclude the benefits of people because of their ethnic origin or color, age, gender, religion, income or disability. The project it does not result in a disproportionately adverse environmental impact on low-income or minority populations. Refer to worksheet A16 in Appendix A. The project is in compliance with Executive Order 12898.

**Environmental Assessment Factors** [24 CFR 58.40; Ref. 40 CFR 1508.8 &1508.27] Recorded below is the qualitative and quantitative significance of the effects of the proposal on the character, features and resources of the project area. Each factor has been evaluated and documented, as appropriate and in proportion to its relevance to the proposed action. Verifiable source documentation has been provided and described in support of each determination, as appropriate. Credible, traceable and supportive source documentation for each authority has been provided. Where applicable, the necessary reviews or consultations have been completed and applicable permits of approvals have been obtained or noted. Citations, dates/names/titles of contacts, and page references are clear. Additional documentation is attached, as appropriate. **All conditions, attenuation or mitigation measures have been clearly identified.** 

**Impact Codes**: Use an impact code from the following list to make the determination of impact for each factor.

- (1) Minor beneficial impact
- (2) No impact anticipated
- (3) Minor Adverse Impact May require mitigation
- (4) Significant or potentially significant impact requiring avoidance or modification which may require an Environmental Impact Statement

Environmental Assessment Factor	Impact Code	Impact Evaluation
LAND DEVELO		-
Conformance with Plans / Compatible Land Use and Zoning / Scale and Urban Design	2	The Project area is designated as Dotacional ("Endowment"). The Project proposes the reconstruction of a deteriorated historic building. The proposed project will preserve the original architectural design. including paint color, with a modern touch inside. No changes in zoning, easements, or land use are anticipated.
Soil Suitability/ Slope/ Erosion/ Drainage/ Storm Water Runoff	2	The proposed improvements include interior and exterior renovations to an existing building. An elevator pit will be installed that will require an excavation of up to 4 feet in depth through the floor of the building. New concrete slabs will replace some of the existing slabs. There would be no permanent changes to the site that would affect slope, drainage, or stormwater runoff.
Hazards and Nuisances including Site Safety and Noise	2	The project site is in an urbanized area. The project would involve demolition, minor excavation, and construction. The hazards typically associated with construction activities would be present, temporary site safety issues and noise. The proposed project, once constructed, would not create any additional hazards or nuisances or create any new site safety or noise issues.
		No generators, propane tanks, USTs, or ASTs would be installed on the site as a result of the project, either temporarily or permanently.

		Noise impacts would be addressed by conducting demolition and construction activities in accordance with local noise regulations and proper construction equipment maintenance. Standard BMPs, such as construction fencing, would be applied to protect the public from typical construction hazards. BMPs and signage would warn and protect the public during construction activities.
SOCIOECONON	<b>IIC</b>	
Employment and Income Patterns	2	Temporary employment of construction workers related to construction activities would result. The proposed project would not negatively impact long-term employment or income patterns.
Demographic Character Changes, Displacement	2	The proposed project would not result in demographic character changes or displacement. Due to the nature of the project area, no relocations or demolition of residential structures or businesses would occur as part of this project.
Environmental Justice	2	The project would not alter the Environmental Justice composition of the population in the area surrounding the project area. There are currently no residents at the project site, and the project would not increase the population that could be exposed to environmental hazards. No environmental hazards were identified on or surrounding the project site that could disproportionately environmental justice populations.

Environmental Assessment Factor	Impact Code	Impact Evaluation			
	COMMUNITY FACILITIES AND SERVICES				
Educational and Cultural Facilities	1	The project would not result in any change to regional or local area educational and cultural facilities or increase demand for them. Some of the renovated space may be used an art gallery for local artists and artisans.			
Commercial Facilities	1	Long-term beneficial impacts would result from new space in the traditional center of the town. The project would not increase demand for commercial facilities.			
Health Care and Social Services	2	Health care and social services facilities would not be impacted by the proposed project. It would not increase demand for health care and social services facilities.			
Solid Waste Disposal / Recycling	2	Removing and replacing existing building materials and construction debris would generate solid waste. Project-wide salvaging/recycling of materials would occur as determined feasible with other program requirements. All other materials would be taken to the appropriate landfills.			

		A solid waste management plan would be developed and implemented to ensure that all potentially hazardous solid waste is handled properly, and that daily capacities of landfills and other solid waste facilities are not exceeded.
Waste Water / Sanitary Sewers	2	Upgraded connections would be made to the existing bathrooms. No new connections to municipal sanitary sewer system would be needed. The proposed project would not affect wastewater infrastructure and would not increase demand for service.
Water Supply	2	No new connections to municipal water supply would be needed. The proposed project would not affect water infrastructure and would not increase demand for service. Existing on-site and nearby water connections would be used for construction activities.
Public Safety - Police, Fire and Emergency Medical	2	The proposed project would not increase demand for police, fire, and emergency medical services.
Parks, Open Space and Recreation	1	The proposed project would be beneficial to the existing town center and associated recreational activities. The bathrooms would be renovated to be ADA law compliant.
Transportation and Accessibility	2	The proposed project may result in minor temporary traffic increases and access issues during construction due to material deliveries or use of equipment. Traffic may be rerouted temporarily, or lane closures may be implemented to direct traffic away from construction activities. Emergency services would be notified of traffic control changes ahead of time, and access by emergency vehicles always would be allowed within the work zone. There would be no long-term impacts.
NATURAL FEATU	RES	-
Unique Natural Features, Water Resources	2	No unique natural features or groundwater resources are present in the project area or would be affected by the proposed project.
Vegetation, Wildlife	2	The proposed project activities would be within an existing building. The project would not impact native vegetation. Additionally, the proposed project would not impact wildlife or wildlife habitat.
Other Factors	2	No other factors were identified that would be affected by the proposed project.

CLIMATE AND ENERGY			
Climate Change Impacts	2	Because the project is a rehabilitation of an existing building, there would be no changes to the site configuration or structure	

		that would specifically address the possibility and uncertainty of rising sea levels or the possibility of increases in rainfall intensity.
		The project design would not change the area's urban heat island effects or stormwater runoff.
		The project lighting and utilities would be upgraded with new energy efficient equipment that would result in a lower carbon footprint.
Energy Efficiency	2	The project would result in upgrade to the buildings electrical appliances and lighting. Occupancy of the renovated building would result in a minor increase in the area's energy demand.

#### Additional Studies Performed:

Surveys for asbestos containing materials (ACMs), January 30, 2023 Survey for lead based paint (LBP), January 30, 2023.

#### List of Permits Obtained:

No permits have been obtained.

#### Public Outreach [24 CFR 58.43]:

The project will include a FONSI / NOI-RROF in compliance with NEPA regulations for HUD.

#### Cumulative Impact Analysis [24 CFR 58.32]:

In accordance with 24 CFR 58.32 (Aggregation), there are no cumulative impacts associated with the proposed project. The repair and improvements to the existing building would not change the land use of the building or the adjoining parcels. A slight increase in the availability of commercial space in the town center would result from the building's restoration.

#### Alternatives [24 CFR 58.40(e); 40 CFR 1508.9]

The responsible entity did not identify an alternative site to develop the proposed project, because the main purpose of the project is to improve the existing historical building. Location outside of the project area would not preserve the historical building.

#### No Action Alternative [24 CFR 58.40(e)]:

Under the No Action Alternative, the applicant would not receive federal funding for the project and the proposed improvements will not be implemented, and the historical building would continue to deteriorate. The No-Action alternative would not allow for the repair of the storm damage at this site.

#### **Summary of Findings and Conclusions:**

The proposed activity has been found to not have any adverse effects on the environment provided the mitigation discussed above and in the table below are implemented. The Contamination and Toxics and Historic Preservation environmental review topics addressed above have resulted in the need for additional formal compliance steps with federal agencies or require additional mitigations (discussed below). There may be additional approvals or permits from local agencies. For example, permits may be required from PRDNER for any water or other utility connections and the Office of Permit Management (OGPe) is responsible for granting permits, licenses, certifications, consultations, construction, and any other procedure necessary for business development and land use in Puerto Rico. The appropriate and necessary permits should be obtained by the applicant and/or contractor, from the appropriate Department or concerned agency, prior to construction activities.

In addition, the Project is anticipated to provide overall beneficial social and economic effects to the Municipality of Adjuntas by restoring the commercial space available near the town center and restoring a historical building that adds to the aesthetic value of the town center. This would result in providing new opportunities for economic development as a result of increased tourism activity in the disadvantaged communities where the project is taking place.

#### Mitigation Measures and Conditions [40 CFR 1505.2(c)]

Summarize below all mitigation measures adopted by the Responsible Entity to reduce, avoid, or eliminate adverse environmental impacts and to avoid non-compliance or non-conformance with the above-listed authorities and factors. These measures/conditions must be incorporated into project contracts, development agreements, and other relevant documents. The staff responsible for implementing and monitoring mitigation measures should be clearly identified in the mitigation plan.

The environmental review topics addressed in this environmental review include all formal compliance steps with federal agencies and mitigations (listed in table below) needed for compliance with 24 CFR 58.

Any permits or approvals that have been issued during the preparation of this environmental review have been included in the evaluation of impacts and mitigations. Any special permit conditions or requirements associated with these permits are listed in the Mitigation Measures and Conditions table below.

Law, Authority, or Factor	Mitigation Measure
Endangered Species	Conservation measures for the Puerto Rican Boa need to be implemented if the Boa is encountered during construction.
Noise Abatement	Noise impacts would be addressed by conducting demolition and construction activities in accordance with local noise regulations and proper construction equipment maintenance.
Historic Preservation	The proposed project will preserve the original architectural design. including paint color.

Historic Preservation		
rustoric Preservation	Archaeological site-testing investigation will be conducted	
	before any demolition of the floor as part of the	
	Archaeological Evaluation and Monitoring Work Plan	
	approved by the SHPO.	
Contamination and Toxics		
	No ACMs were found. Results should be verified by the contractors. If found all ACM should be removed in compliance with NESHAP/EQB requirements.	
Contamination and Toxics	Prior to demolition activities, the contaminated surfaces or substrates must be abated or removed. The firm providing the abatement services must be certified as an abatement firm by the DRNA.	
Hazards	Standard DMDs, such as construction family would be	
	Standard BMPs, such as construction fencing, would be	
	applied to protect the public from typical construction	
	hazards. BMPs and signage would warn and protect the	
	public during construction activities.	
Obtained Permit or Approval	Special Permit Conditions	
Potential Permit or Approval Requi	red	
There may be subsequent additional	approvals or permits from agencies required for the project	
	or example, permits may be required the Office of Permit	
	of or granting permits, licenses, certifications, consultations,	
0 1	her procedure necessary for business development and land	
use in Puerto Rico.		
Ground disturbance	Projects whose earthworks are more than 40 m <sup>3</sup> must	
	submit an Incidental Permit.	
Utility Connections	The site already has connections to the local utility	
Curry Connections	services.	

#### **Determination:**

<b>Finding of No Significant Impact</b> [24 CFR 58.40(g)(1); 40 CFR 15 The project will not result in a significant impact on the quality of the human	-
<b>Finding of Significant Impact</b> [24 CFR 58.40(g)(2); 40 CFR 1508.2 The project may significantly affect the quality of the human environment.	27]
Preparer Signature:	_Date: 11/15/24
Name/Title/Organization: <u>Clifford Jarman, Sr. Environmental Scie</u>	entist, Tetra Tech Inc.
Responsible Entity Agency Official Signature:	
Signature: Date:	December 2, 2024
Name/Title: Mónica M. Machuca Ríos / Permits and Environmental Compli	iance Specialist

This original, signed document and related supporting material must be retained on file by the Responsible Entity in an Environmental Review Record (ERR) for the activity/project (ref: 24 CFR Part 58.38) and in accordance with recordkeeping requirements for the HUD program(s).

# Appendix A

#### A01. Airport Hazards (CEST and EA)

General policy	Legislation	Regulation		
It is HUD's policy to apply standards to		24 CFR Part 51 Subpart D		
prevent incompatible development around				
civil airports and military airfields.				
References				
https://www.hudexchange.info/environmental-review/airport-hazards				

1. To ensure compatible land use development, you must determine your site's proximity to civil and military airports. Is your project within 15,000 feet of a military airport or 2,500 feet of a civilian airport?

 $\Box$ Yes  $\rightarrow$  Continue to Question 2.

2. Is your project located within a Runway Potential Zone/Clear Zone (RPZ/CZ) or Accident Potential Zone (APZ)?

 $\Box$ Yes, project is in an APZ  $\rightarrow$  *Continue to Question 3.* 

 $\Box$ Yes, project is an RPZ/CZ  $\rightarrow$  *Project cannot proceed at this location.* 

□No, project is not within an APZ or RPZ/CZ

→ Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide a map showing that the site is not within either zone.

#### 3. Is the project in conformance with DOD guidelines for APZ?

□Yes, project is consistent with DOD guidelines without further action.

Explain how you determined that the project is consistent:

→ Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide any documentation supporting this determination.

 $\Box$ No, the project cannot be brought into conformance with DOD guidelines and has not been approved.  $\rightarrow$  *Project cannot proceed at this location.* 

 $<sup>\</sup>boxtimes$  No  $\rightarrow$  Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide a map showing that the site is not within the applicable distances to a military or civilian airport.

□Project is not consistent with DOD guidelines, but it has been approved by Certifying Officer or HUD Approving Official.

#### Explain approval process:

If mitigation measures have been or will be taken, explain in detail the proposed measures that must be implemented to mitigate for the impact or effect, including the timeline for implementation.

→ Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide any documentation supporting this determination.

#### Worksheet Summary

#### **Compliance Determination**

Provide a clear description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your region

The closest airport to the Project site is International Airport Mercedita. This facility is 81,625 feet southeast of the project site. The closest military airport to the Project site is Luis Muñoz Marin International Airport. This facility is 279,000 feet northwest of the project site.

The project is not located within 15,000 feet of a military airport, or 2,500 feet of a civilian airport.

#### Are formal compliance steps or mitigation required?

□ Yes ⊠ No

A02. Coastal Barrier Resources (CEST and EA)				
General requirements	Legislation	Regulation		
HUD financial assistance may not be	Coastal Barrier Resources Act			
used for most activities in units of the	(CBRA) of 1982, as amended by			
Coastal Barrier Resources System	the Coastal Barrier Improvement			
(CBRS). See 16 USC 3504 for	Act of 1990 (16 USC 3501)			
limitations on federal expenditures				
affecting the CBRS.				
References				
https://www.hudexchange.info/environmental-review/coastal-barrier-resources				

Projects located in the following states must complete this form.

Alabama	Georgia	Massachusetts	New Jersey	Puerto Rico	Virgin Islands
Connecticut	Louisiana	Michigan	New York	Rhode Island	Virginia
Delaware	Maine	Minnesota	North Carolina	South Carolina	Wisconsin
Florida	Maryland	Mississippi	Ohio	Texas	

#### 1. Is the project located in a CBRS Unit?

 $\boxtimes No \rightarrow$ Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide a map showing that the site is not within a CBRS Unit.

 $\Box$ Yes  $\rightarrow$  *Continue to Question 2.* 

Federal assistance for most activities may not be used at this location. You must either choose an alternate site or cancel the project. In very rare cases, federal monies can be spent within CBRS units for certain exempted activities (e.g., a nature trail), after consultation with the Fish and Wildlife Service (FWS) (see 16 USC 3505 for exceptions to limitations on expenditures).

#### 2. Indicate vour selected course of action.

□ After consultation with the FWS the project was given approval to continue

 $\rightarrow$  Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide a map and documentation of a FWS approval.

□ Project was not given approval

Project cannot proceed at this location.

#### Worksheet Summary

#### **Compliance Determination**

Provide a clear description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your region

The project is in compliance with Coastal Barrier Resources requirements.

The project is not located in a coastal barrier resource area. The closest CBRS unit is 12.2 miles to the south of the project area..

Sources documents: https://www.fws.gov/program/coastal-barrier-resources-act/maps-and-data

Are formal compliance steps or mitigation required?

□ Yes ⊠ No

#### A03. Flood Insurance (CEST and EA)

General requirements	Legislation	Regulation			
Certain types of federal financial assistance may not be	Flood Disaster	24 CFR 50.4(b)(1)			
used in floodplains unless the community participates in	Protection Act of 1973	and 24 CFR 58.6(a)			
National Flood Insurance Program and flood insurance	as amended (42 USC	and (b); 24 CFR			
is both obtained and maintained.	4001-4128)	55.1(b).			
Reference					
https://www.hudexchange.info/environmental-review/flood-insurance					

1. Does this project involve mortgage insurance, refinance, acquisition, repairs, construction, or rehabilitation of a structure, mobile home, or insurable personal property?

 $\Box$ No. This project does not require flood insurance or is excepted from flood insurance.  $\rightarrow$  *Continue to the Worksheet Summary.* 

 $\boxtimes$  Yes  $\rightarrow$  *Continue to Question 2.* 

#### 2. Provide a FEMA/FIRM map showing the site.

The Federal Emergency Management Agency (FEMA) designates floodplains. The <u>FEMA Map</u> <u>Service Center</u> provides this information in the form of FEMA Flood Insurance Rate Maps (FIRMs). For projects in areas not mapped by FEMA, use the best available information to determine floodplain information. Include documentation, including a discussion of why this is the best available information for the site. Provide FEMA/FIRM floodplain zone designation, panel number, and date within your documentation.

## Is the structure, part of the structure, or insurable property located in a FEMA-designated Special Flood Hazard Area?

 $\boxtimes$  No  $\rightarrow$  Continue to the Worksheet Summary.

 $\Box$ Yes  $\rightarrow$  *Continue to Question 3.* 

### **3.** Is the community participating in the National Flood Insurance Program *or* has less than one year passed since FEMA notification of Special Flood Hazards?

□Yes, the community is participating in the National Flood Insurance Program.

For loans, loan insurance or loan guarantees, flood insurance coverage must be continued for the term of the loan. For grants and other non-loan forms of financial assistance, flood insurance coverage must be continued for the life of the building irrespective of the transfer of ownership. The amount of coverage must equal the total project cost or the maximum coverage limit of the National Flood Insurance Program, whichever is less

Provide a copy of the flood insurance policy declaration or a paid receipt for the current annual flood insurance premium and a copy of the application for flood insurance.

 $\rightarrow$  Continue to the Worksheet Summary.

□Yes, less than one year has passed since FEMA notification of Special Flood Hazards. If less than one year has passed since notification of Special Flood Hazards, no flood Insurance is required.

 $\rightarrow$  Continue to the Worksheet Summary.

□No. The community is not participating, or its participation has been suspended. Federal assistance may not be used at this location. Cancel the project at this location.

#### Worksheet Summary

#### **Compliance Determination**

Provide a clear description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your region

The project site is within FEMA designated Zone X, an area of minimal flood hazard.

Flood Insurance Rate Map 72000C1090H Effective Date: 4/19/2005

https://msc.fema.gov/portal/home

#### Are formal compliance steps or mitigation required?

□ Yes ⊠ No

#### A04. Air Quality (CEST and EA)

General Requirements	Legislation	Regulation		
The Clean Air Act is administered by the U.S. Environmental Protection Agency (EPA), which sets national standards on ambient pollutants. In addition, the Clean Air Act is administered by States, which must develop State Implementation Plans (SIPs) to regulate their state air quality. Projects funded by HUD must demonstrate that they conform to the appropriate	Clean Air Act (42 USC 7401 et seq.) as amended particularly Section 176(c) and (d) (42 USC 7506(c) and (d))	40 CFR Parts 6, 51 and 93		
SIP.	eference			
https://www.hudexchange.info/environmental-review/air-quality				

Scope of Work

**1.** Does your project include new construction or conversion of land use facilitating the development of public, commercial, or industrial facilities OR five or more dwelling units?

□ Yes

 $\rightarrow$  Continue to Question 2.

🛛 No

Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide any documents used to make your determination.

#### Air Quality Attainment Status of Project's County or Air Quality Management District

- 2. Is your project's air quality management district or county in non-attainment or maintenance status for any criteria pollutants? Follow the link below to determine compliance status of project county or air quality management district: <u>http://www.epa.gov/oaqps001/greenbk/</u>
  - ☑ No, project's county or air quality management district is in attainment status for all criteria pollutants
    - → Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide any documents used to make your determination.
  - Yes, project's management district or county is in non-attainment or maintenance status for one or more criteria pollutants.
     Describe the findings:

 $\rightarrow$  Continue to Question 3.

3. Determine the <u>estimated emissions levels of your project for each of those criteria pollutants</u> that are in non-attainment or maintenance status on your project area. Will your project exceed any of the *de minimis or threshold* emissions levels of non-attainment and maintenance level pollutants or exceed the screening levels established by the state or air quality management district?

 $\Box$  No, the project will not exceed *de minimis* or threshold emissions levels or screening levels

- → Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below. Explain how you determined that the project would not exceed de minimis or threshold emissions.
- □ Yes, the project exceeds *de minimis* emissions levels or screening levels.
  - → Continue to Question 4. Explain how you determined that the project would not exceed de minimis or threshold emissions in the Worksheet Summary.
- 4. For the project to be brought into compliance with this section, all adverse impacts must be mitigated. Explain in detail the exact measures that must be implemented to mitigate for the impact or effect, including the timeline for implementation.

The project consists of the reconstruction of an existing building. The Project site is not located in a county or air quality management district that is non-attainment status for any criteria pollutants.

#### Worksheet Summary

#### **Compliance Determination**

Provide a clear description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your region

The project is in compliance with Clean Air requirements.

See - The air quality nonattainment zone map indicates that the project site is not located in a nonattainment or maintenance zone for any criteria pollutants and is in compliance with the Clean Air Act. No further evaluation is required.

Source: USEPA Nonattainment and Maintenance Area Dashboard

Are formal compliance steps or mitigation required?

□ Yes

🛛 No

https://www3.epa.gov/airquality/greenbook/anayo\_pr.html

#### **€PA** United States Environmental Protection Agency

### **Green Book**

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You are here: EPA Home > Green Book > National Area and County-Level Multi-Pollutant Information > Puerto Rico Nonattainment/Maintenance Status for Each County by Year for All Criteria Pollutants

## Puerto Rico Nonattainment/Maintenance Status for Each County by Year for All Criteria Pollutants

Data is current as of May 31, 2023

Listed by County, NAAQS, Area. The 8-hour Ozone (1997) standard was revoked on April 6, 2015 and the 1-hour Ozone (1979) standard was revoked on June 15, 2005.

\* The 1997 Primary Annual PM-2.5 NAAQS (level of 15 µg/m<sup>3</sup>) is revoked in attainment and maintenance areas for that NAAQS. For additional information see the PM-2.5 NAAQS SIP Requirements Final Rule, effective October 24, 2016. (81 FR 58009)

Change	the	State:	

✓ GO PUERTO RICO

Important Notes	Download National Dataset: dbf   xls   Data dictionary (PDF)						<u>ionary (PDF)</u>	
County	NAAQS	Area Name	Nonattainment in Year		Classification	Whole or/ Part County	Population (2010)	State/ County FIPS Codes
PUERTO RICO								
Arecibo Municipio	Lead (2008)	Arecibo, PR	Image: Sector of the sector	//		Part	32,185	72/013
Bayamon Municipio	Sulfur Dioxide (2010)	San Juan, PR	Image: Sector of the sector	//		Part	22,921	72/021
Catano Municipio	Sulfur Dioxide (2010)	San Juan, PR	Image: Sector of the	//		Whole	28,140	72/033
Guaynabo Municipio	PM-10 (1987)	Mun. of Guaynabo, PR	92 93 94 95 96 97 98 99 00 01 02 03 04 05 06 07 08 09	02/11/2010	Moderate	Part	90,470	72/061
Guaynabo Municipio	Sulfur Dioxide (2010)	San Juan, PR	Image: Constraint of the second sec	11		Part	23,802	72/061
Salinas Municipio	Sulfur Dioxide (2010)	Guayama-Salinas, PR	18         19         20         21         22         23	11		Part	23,401	72/123
San Juan Municipio	Sulfur Dioxide (2010)	San Juan, PR	18         19         20         21         22         23	//		Part	147,963	72/127
Toa Baja Municipio	Sulfur Dioxide (2010)	San Juan, PR	Image: 10 in the second sec	//		Part	52,441	72/137

Important Notes

Contact Us

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General requirements	Legislation	Regulation			
Federal assistance to applicant	Coastal Zone Management Act	15 CFR Part 930			
agencies for activities affecting any	(16 USC 1451-1464),				
coastal use or resource is granted	particularly section 307(c) and				
only when such activities are	(d) (16 USC 1456(c) and (d))				
consistent with federally approved					
State Coastal Zone Management					
Act Plans.					
References					
https://www.onecpd.info/environmental-review/coastal-zone-management					

#### A05. Coastal Zone Management Act (CEST and EA)

Projects located in the following states must complete this form.

Alabama	Florida	Louisiana	Mississippi	Ohio	Texas
Alaska	Georgia	Maine	New Hampshire	Oregon	Virgin Islands
American Samona	Guam	Maryland	New Jersey	Pennsylvania	Virginia
California	Hawaii	Massachusetts	New York	Puerto Rico	Washington
Connecticut	Illinois	Michigan	North Carolina	Rhode Island	Wisconsin
Delaware	Indiana	Minnesota	Northern Mariana Islands	South Carolina	

- 1. Is the project located in, or does it affect, a Coastal Zone as defined in your state Coastal Management Plan?
  - $\Box$ Yes  $\rightarrow$  *Continue to Question 2.*
  - ⊠No → Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide a map showing that the site is not within a Coastal Zone.

#### 2. Does this project include activities that are subject to state review?

- $\Box$ Yes  $\rightarrow$  Continue to Question 3.
- $\square$ No  $\rightarrow$  Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide documentation used to make your determination.
- **3.** Has this project been determined to be consistent with the State Coastal Management Program?

 $\Box$ Yes, with mitigation.  $\rightarrow$  *Continue to Question 4*.

 $\Box$ Yes, without mitigation.  $\rightarrow$  Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide documentation used to make your determination.

 $\Box$ No, project must be canceled.

Project cannot proceed at this location.

- 4. Explain in detail the proposed measures that must be implemented to mitigate for the impact or effect, including the timeline for implementation.
  - → Continue to the Worksheet Summary below. Provide documentation of the consultation (including the State Coastal Management Program letter of consistency) and any other documentation used to make your determination.

#### Worksheet Summary

#### **Compliance Determination**

Provide a clear description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your region

The closest coastal area is 54,268 feet (17.07) km away

Estudios Técnicos, Inc. Puerto Rico Coastal Zone Management Program Revision and Update, September 2009

□ Yes ⊠ No



#### U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT WASHINGTON, DC 20410-1000

A06. Contamination and Toxic Substances (Multifamily and Non-Residential Properties) – PARTNER https://www.hudexchange.info/programs/environmental-review/site-contamination

#### **1.** How was site contamination evaluated?<sup>1</sup> Select all that apply.

□ ASTM Phase I ESA

□ ASTM Phase II ESA

 $\Box$  Remediation or clean-up plan

□ ASTM Vapor Encroachment Screening

 $\boxtimes$  None of the above

 $\rightarrow$  Provide documentation and reports and include an explanation of how site contamination was evaluated in the Worksheet Summary. Continue to Question 2.

2. Were any on-site or nearby toxic, hazardous, or radioactive substances found that could affect the health and safety of project occupants or conflict with the intended use of the property? (Were any recognized environmental conditions or RECs identified in a Phase I ESA and confirmed in a Phase II ESA?)

 $\boxtimes$  No  $\rightarrow$  Explain below.

This project has regulated sites, which pose no threat to the project. The project does not involve residents and will not increase occupancy of any structures. There will be no increased risk associated with the proposed project.

 $\rightarrow$  If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.

 $\Box$  Yes  $\rightarrow$  Describe the findings, including any recognized environmental conditions (*RECs*), in Worksheet Summary below. Continue to Question 3.

#### 3. Can adverse environmental impacts be mitigated?

- $\Box$  Adverse environmental impacts cannot feasibly be mitigated  $\rightarrow$  <u>HUD assistance may not be</u> used for the project at this site. Project cannot proceed at this location.
- □ Yes, adverse environmental impacts can be eliminated through mitigation.

 $\rightarrow$  This project has regulated sites, which pose no threat to the project. The project does not involve residents and will not increase occupancy of any structures. There will be no increased risk associated with the proposed project.

<sup>&</sup>lt;sup>1</sup> HUD regulations at 24 CFR § 58.5(i)(2)(ii) require that the environmental review for multifamily housing with five or more dwelling units or non-residential property include the evaluation of previous uses of the site or other evidence of contamination on or near the site. For acquisition and new construction of multifamily and nonresidential properties HUD strongly advises the review include an ASTM Phase I Environmental Site Assessment (ESA) to meet real estate transaction standards of due diligence and to help ensure compliance with HUD's toxic policy at 24 CFR §58.5(i) and 24 CFR §50.3(i). Also note that some HUD programs require an ASTM Phase I ESA.

4. Describe how compliance was achieved. Include any of the following that apply: State Voluntary Clean-up Program, a No Further Action letter, use of engineering controls<sup>2</sup>, or use of institutional controls<sup>3</sup>.

Click here to enter text.

#### If a remediation plan or clean-up program was necessary, which standard does it follow?

- □ Complete removal
- □ Risk-based corrective action (RBCA)
- $\rightarrow$  Continue to the Worksheet Summary.

#### Worksheet Summary

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

#### Include all documentation supporting your findings in your submission to HUD.

#	EPA Facility	Distance from site (FT)	Description
1	Hazardous Waste (RCRAInfo)	1955 ft	Dept Of Ed - Jose Emilio Lugo Sch Street Francisco Pietri 75 Adjuntas, PR 00601-2252
2	Hazardous Waste (RCRAInfo)	1.034 ft	Prasa 101 San Joaquin SR Adjuntas, PR 00601
3	Water Dischargers (NPDES)	2570 ft	Adjuntas Wastewater Treatment Plant Canas ST – at the end Adjuntas, PR 00601
4	Hazardous Waste (RCRAInfo)	2139 ft	Prasa Adjuntas Filter Plant PR-156 KM 1 Aadjuntas, PR 00601

Sites Identified in the map for EPA Database for Toxic substances.

The Dept Of Ed - Jose Emilio Lugo School facility had no violations reported within the last three years.

<sup>&</sup>lt;sup>2</sup> Engineering controls are any physical mechanism used to contain or stabilize contamination or ensure the effectiveness of a remedial action. Engineering controls may include, without limitation, caps, covers, dikes, trenches, leachate collection systems, signs, fences, physical access controls, ground water monitoring systems and ground water containment systems including, without limitation, slurry walls and ground water pumping systems.

<sup>&</sup>lt;sup>3</sup> Institutional controls are mechanisms used to limit human activities at or near a contaminated site, or to ensure the effectiveness of the remedial action over time, when contaminants remain at a site at levels above the applicable remediation standard which would allow for unrestricted use of the property. Institutional controls may include structure, land, and natural resource use restrictions, well restriction areas, classification exception areas, deed notices, and declarations of environmental restrictions.

The Prasa facility had no violations reported within the last three years.

The Adjuntas Wastewater Treatment Plant facility had no RCRA violations within the last three years, but had three Clean Water Act violations related to effluent releases.

The Prasa Adjuntas Filter Plant had no violations within the last three years.

This project has regulated sites, which pose no threat to the project. The project does not involve residents and will not increase occupancy of any structures. There will be no increased risk associated with the proposed project.

General requirements	ESA Legislation	Regulations			
Section 7 of the Endangered Species Act (ESA)	The Endangered	50 CFR Part			
mandates that federal agencies ensure that	Species Act of 1973 (16	402			
actions that they authorize, fund, or carry out	U.S.C. 1531 et seq.);				
shall not jeopardize the continued existence of	particularly section 7				
federally listed plants and animals or result in	(16 USC 1536).				
the adverse modification or destruction of					
designated critical habitat. Where their actions					
may affect resources protected by the ESA,					
agencies must consult with the Fish and Wildlife					
Service and/or the National Marine Fisheries					
Service ("FWS" and "NMFS" or "the Services").					
References					
https://www.hudexchange.info/environmental-review/endangered-species					

Does the project involve any activities that have the potential to affect species or habitats?
 No, the project will have No Effect due to the nature of the activities involved in the project.
 → Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide any documents used to make your determination.

□No, the project will have No Effect based on a letter of understanding, memorandum of agreement, programmatic agreement, or checklist provided by local HUD office. Explain your determination:

→ Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide any documents used to make your determination.

 $\Box$  Yes, the activities involved in the project have the potential to affect species and/or habitats.  $\rightarrow$  *Continue to Question 2.* 

 Are federally listed species or designated critical habitats present in the action area? Obtain a list of protected species from the Services. This information is available on the <u>FWS</u> <u>Website</u> or you may contact your <u>local FWS</u> and/or <u>NMFS</u> offices directly.

 $\Box$  No, the project will have No Effect due to the absence of federally listed species and designated critical habitat.

→ Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide any documents used to make your determination. Documentation

may include letters from the Services, species lists from the Services' websites, surveys or other documents and analysis showing that there are no species in the action area.

- $\Box$  Yes, there are federally listed species or designated critical habitats present in the action area.  $\rightarrow$  Continue to Question 3.
- 3. What effects, if any, will your project have on federally listed species or designated critical habitat?

□ No Effect: Based on the specifics of both the project and any federally listed species in the action area, you have determined that the project will have absolutely no effect on listed species or critical habitat.

- → Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide any documents used to make your determination. Documentation should include a species list and explanation of your conclusion, and may require maps, photographs, and surveys as appropriate.
- □ May Affect, Not Likely to Adversely Affect: Any effects that the project may have on federally listed species or critical habitats would be beneficial, discountable, or insignificant.

 $\rightarrow$  Continue to Question 4, Informal Consultation.

Likely to Adversely Affect: The project may have negative effects on one or more listed species or critical habitat.

 $\rightarrow$  Continue to Question 5, Formal Consultation.

#### 4. Informal Consultation is required

Section 7 of ESA (16 USC. 1536) mandates consultation to resolve potential impacts to endangered and threatened species and critical habitats. If a HUD-assisted project may affect any federally listed endangered or threatened species or critical habitat, then compliance is required with Section 7. See 50 CFR Part 402 Subpart B Consultation Procedures.

#### Did the Service(s) concur with the finding that the project is Not Likely to Adversely Affect?

 $\Box$  Yes, the Service(s) concurred with the finding.

 $\rightarrow$  Based on the response, the review is in compliance with this section. Continue to Question 6 and provide the following:

- (1) A biological evaluation or equivalent document
- (2) Concurrence(s) from FWS and/or NMFS
- (3) Any other documentation of informal consultation

Exception: If finding was made based on procedures provided by a letter of understanding, memorandum of agreement, programmatic agreement, or checklist provided by local HUD office, provide whatever documentation is mandated by that agreement.

 $\Box$ No, the Service(s) did not concur with the finding.  $\rightarrow$  *Continue to Question 5.* 

#### 5. Formal consultation is required

Section 7 of ESA (16 USC 1536) mandates consultation to resolve potential impacts to federally listed endangered and threatened species and critical habitats. If a HUD assisted project may affect any endangered or threatened species or critical habitat, then compliance is required with Section 7. See 50 CFR Part 402 Subpart B Consultation Procedures.

- $\rightarrow$  Once consultation is complete, the review is in compliance with this section. Continue to Question 6 and provide the following:
  - (1) A biological assessment, evaluation, or equivalent document
  - (2) Biological opinion(s) issued by FWS and/or NMFS
  - (3) Any other documentation of formal consultation
- 6. For the project to be brought into compliance with this section, all adverse impacts must be mitigated. Explain in detail the proposed measures that will be implemented to mitigate for the impact or effect, including the timeline for implementation.

□ Mitigation as follows will be implemented:

No mitigation is necessary.Explain why mitigation will not be made here:

#### Worksheet Summary

#### **Compliance Determination**

Provide a clear description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your region

The proposed project site is entirely developed located in an urban area of the Municipality of Adjuntas. There are no critical habitats within the project site to support habitat requirements. The proposed project will be conducted in a developed urban area and thus would have no effect on any natural habitats or federally protected species. A Biological Assessment was prepared and a No Effect determination was sent to the USFWs through the IPaC system. The USFWS acknowledged the No Effect determination on August 25, 2023 and stated that no further consultation was required for the Puerto Rican Boa.

Subsequently a site-specific review of endangered species was conducted in accordance with the Fish and Wildlife Act (47 Stat. 401, as amended: 16 U.S.C. 661 et seq.) The proposed project will have No Effect on listed species or habitats. Based on the nature of the project, scope of work, information available, and a careful analysis of the Project Site, and IPaC species list, it was determined that there would be No Effect for any of the listed species.

Self Certification was prepared and transmitted to the USFWS on January 30, 2024 and approved by the USFWS on February 6, 2024.

If a Puerto Rican Boa is encountered, work will cease until it moves off the site or, failing that, the Puerto Rico Department of Natural and Environmental Resources (PRDNER) Rangers will be notified for safe capture and relocation of the animal, in accordance with the USFWS Puerto Rican Boa Conservation Measures guidelines.

#### Are formal compliance steps or mitigation required?

🗆 Yes

🗆 No

#### A08. Explosive and Flammable Hazards (CEST and EA)

General requirements	Legislation	Regulation
HUD-assisted projects must meet Acceptable	N/A	24 CFR Part 51
Separation Distance (ASD) requirements to		Subpart C
protect them from explosive and flammable		
hazards.		
Reference		
https://www.hudexchange.info/environmental-review/explosive-and-flammable-facilities		

1. Is the proposed HUD-assisted project itself the development of a hazardous facility (a facility that mainly stores, handles or processes flammable or combustible chemicals such as bulk fuel storage facilities and refineries)?

$\boxtimes \text{No} \\ \rightarrow \text{Continue to Question 2.}$	
□ Yes Explain:	

 $\rightarrow$  Go directly to Question 5.

- 2. Does this project include any of the following activities: development, construction, rehabilitation that will increase residential densities, or conversion?
  - 🛛 No
  - → Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below.

 $\Box$  Yes

 $\rightarrow$  Continue to Question 3.

- 3. Within 1 mile of the project site, are there any current *or planned* stationary aboveground storage containers that are covered by 24 CFR 51C? Containers that are <u>NOT</u> covered under the regulation include:
  - Containers 100 gallons or less in capacity, containing common liquid industrial fuels OR
  - Containers of liquified petroleum gas (LPG) or propane with a water volume capacity of 1,000 gallons or less that meet the requirements of the 2017 version of National Fire Protection Association (NFPA) Code 58.

If all containers within the search area fit the above criteria, answer "no." For any other type of aboveground storage container within the search area that holds one of the flammable or explosive materials listed in Appendix I of 24 CFR part 51 subpart C, answer "yes."

#### $\Box$ No

→ Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide all documents used to make your determination.

 $\Box$  Yes

 $\rightarrow$  Continue to Question 4.

- 4. Visit HUD's website to identify the appropriate tank or tanks to assess and to calculate the required separation distance using the <u>electronic assessment tool</u>. To document this step in the analysis, please attach the following supporting documents to this screen:
  - Map identifying the tank selected for assessment, and showing the distance from the tank to the proposed HUD-assisted project site; and
  - Electronic assessment tool calculation of the required separation distance.

Based on the analysis, is the proposed HUD-assisted project site located at or beyond the required separation distance from all covered tanks?

#### □ Yes

 $\rightarrow$  Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below.

 $\Box$  No

 $\rightarrow$  Go directly to Question 6.

5. Is the hazardous facility located at an acceptable separation distance from residences and any other facility or area where people may congregate or be present?

Please visit HUD's website for information on calculating Acceptable Separation Distance.

□ Yes

 $\rightarrow$  Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide map(s) showing the location of the project site relative to residences and any other facility or area where people congregate or are present and your separation distance calculations.

 $\Box$  No

 $\rightarrow$  Provide map(s) showing the location of the project site relative to residences and any other facility or area where people congregate or are present and your separation distance calculations.

Continue to Question 6.

6. For the project to be brought into compliance with this section, all adverse impacts must be mitigated. Mitigation measures may include both natural and manmade barriers, modification of the project design, burial or removal of the hazard, or other engineered solutions. Describe selected mitigation measures, including the timeline for implementation, and attach an implementation plan. If negative effects cannot be mitigated, cancel the project at this location.

Note that only licensed professional engineers should design and implement blast barriers. If a barrier will be used or the project will be modified to compensate for an unacceptable separation distance, provide approval from a licensed professional engineer.

#### Worksheet Summary

#### **Compliance Determination**

Provide a clear description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your region

The project is in compliance with Explosive and Flammable Hazards requirements

The project will not result in an increase in the number of people exposed to hazardous.

operations by people exposed to hazardous

operations by increasing residential density,

converting the type of use of use of a building to residential or making a vacant building unoccupied. vacant building unoccupied. The project does not involve explosive or flammable materials or operations.

Source documents: USEPA Enviro Mapper: EnviroMapper (epa.gov) https://nepassisttool.epa.gov/nepassist/nepamap.aspx

#### Are formal compliance steps or mitigation required?

□ Yes ⊠ No

General requirements	Legislation	Regulation	
The Farmland Protection Policy Act (FPPA) discourages federal activities that would convert farmland to nonagricultural purposes.	Farmland Protection Policy Act of 1981 (7 U.S.C. 4201 et seq.)	<u>7 CFR Part 658</u>	
Reference			
https://www.hudexchange.info/environmental-review/farmlands-protection			

# A09. Farmlands Protection (CEST and EA)

1. Does your project include any activities, including new construction, acquisition of undeveloped land or conversion, that could convert agricultural land to a non-agricultural use?

 $\Box Yes \rightarrow Continue \ to \ Question \ 2.$ 

Explain how you determined that agricultural land would not be converted:

No, this project consists of a rehabilitation of the existing building

- → Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide any documentation supporting your determination.
- 2. Does "important farmland," including prime farmland, unique farmland, or farmland of statewide or local importance regulated under the Farmland Protection Policy Act, occur on the project site?

You may use the links below to determine important farmland occurs on the project site:

- Utilize USDA Natural Resources Conservation Service's (NRCS) Web Soil Survey <u>http://websoilsurvey.nrcs.usda.gov/app/HomePage.htm</u>
- Check with your city or county's planning department and ask them to document if the project is on land regulated by the FPPA (zoning important farmland as non-agricultural does not exempt it from FPPA requirements)
- Contact NRCS at the local USDA service center <u>http://offices.sc.egov.usda.gov/locator/app?agency=nrcs</u> or your NRCS state soil scientist <u>http://soils.usda.gov/contact/state\_offices/</u> for assistance
- $\boxtimes$ No  $\rightarrow$  Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide any documents used to make your determination.
- $\Box$ Yes  $\rightarrow$  Continue to Question 3.
- **3.** Consider alternatives to completing the project on important farmland and means of avoiding impacts to important farmland.
  - Complete form AD-1006, "Farmland Conversion Impact Rating" <u>http://www.nrcs.usda.gov/Internet/FSE\_DOCUMENTS/stelprdb1045394.pdf</u> and contact the state soil scientist before sending it to the local NRCS District Conservationist.

(NOTE: for corridor type projects, use instead form NRCS-CPA-106, "Farmland Conversion Impact Rating for Corridor Type Projects: http://www.nrcs.usda.gov/Internet/FSE\_DOCUMENTS/stelprdb1045395.pdf.)

• Work with NRCS to minimize the impact of the project on the protected farmland. When you have finished with your analysis, return a copy of form AD-1006 (or form NRCS-CPA-106 if applicable) to the USDA-NRCS State Soil Scientist or his/her designee informing them of your determination.

#### **Document your conclusion:**

□Project will proceed with mitigation.

Explain in detail the proposed measures that must be implemented to mitigate for the impact or effect, including the timeline for implementation.

→ Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide form AD-1006 and all other documents used to make your determination.

□Project will proceed without mitigation.

Explain why mitigation will not be made here:

→ Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide form AD-1006 and all other documents used to make your determination.

#### Worksheet Summary

#### **Compliance Determination**

Provide a clear description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your region

The project is in compliance with Farmlands Protection requirements

The project to be carried out is on urbanized land. The project will not require the conversion of agricultural land to non-agricultural uses.

Source documents:

Web Soil Survey (usda.gov)

#### Are formal compliance steps or mitigation required?

 $\Box$  Yes

🛛 No



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT WASHINGTON, DC 20410-1000

#### A10. Floodplain Management (CEST and EA)

General Requirements	Legislation	Regulation
Executive Order 11988,	Executive Order 11988	24 CFR 55
Floodplain Management,	Executive Order 13690	
requires Federal activities to	42 USC <u>4001-4128</u>	
avoid impacts to floodplains and	42 USC 5154a	
to avoid direct and indirect		
support of floodplain		
development to the extent		
practicable.		
Reference		
https://www.hudexchange.info/environmental-review/floodplain-management		

1. Does this project meet an exemption at <u>24 CFR 55.12</u> from compliance with HUD's floodplain management regulations in Part 55 or utilize the delayed compliance date for certain Office of Housing programs?

🗆 Yes

Select the applicable citation at <u>24 CFR 55.12</u> and provide supporting documentation for the determination if applicable.

- a) 
  HUD-assisted activities described in 24 CFR 58.34 and 58.35(b)
- **b)**  $\Box$  HUD-assisted activities described in 24 CFR 50.19, except as otherwise indicated in § 50.19
- c) 
  The approval of financial assistance for restoring and preserving the natural and beneficial functions and values of floodplains and wetlands, including through acquisition of such floodplain and wetland property, where a permanent covenant or comparable restriction is place on the property's continued use for flood control, wetland projection, open space, or park land, but only if:
  - (1) The property is cleared of all existing buildings and walled structures; and
  - (2) The property is cleared of related improvements except those which:
    - (i) Are directly related to flood control, wetland protection, open space, or park land (including playgrounds and recreation areas);
    - (ii) Do not modify existing wetland areas or involve fill, paving, or other ground disturbance beyond minimal trails or paths; and
    - (iii) Are designed to be compatible with the beneficial floodplain or wetland function of the property.
- **d)**  $\Box$  An action involving a repossession, receivership, foreclosure, or similar acquisition of property to protect or enforce HUD's financial interests under previously approved loans, grants, mortgage insurance, or other HUD assistance
- e) D Policy-level actions described at 24 CFR 50.16 that do not involve site-based decisions
- **f)**  $\Box$  A minor amendment to a previously approved action with no additional adverse impact on or from a floodplain or wetland;

**g)**  $\Box$  HUD's or the responsible entity's approval of a project site, an incidental portion of which is situated in the FFRMS floodplain (not including the floodway, LiMWA, or coastal high hazard area) but only if:

(1) The proposed project site does not include any existing or proposed buildings or improvements that modify or occupy the FFRMS floodplain except de minimis improvements such as recreation areas and trails; and

(2) the proposed project will not result in any new construction in or modifications of a wetland

- h) 
  Issuance or use of Housing Vouchers or other forms of rental subsidy where HUD, the awarding community, or the public housing agency that administers the contract awards rental subsidies that are not project-based (i.e., do not involve site-specific subsidies)

Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below.

□ Yes. Office of Housing programs utilizing the January 1, 2025 compliance date. These reviews must comply with the 2013 version of the Part 55 regulations. Continue to Worksheet Summary for 2013 version to upload supporting documentation.

 $\boxtimes$  No. Continue to Question 2.

#### 2. Does the project include a Critical Action?

□ Yes. Describe the Critical Action. Examples of Critical Actions include projects involving hospitals, fire and police stations, nursing homes, hazardous chemical storage, storage of valuable records, and utility plants. Continue to Question 4.

 $\boxtimes$  No. Continue to Question 3.

3. Determine the extent of the FFRMS floodplain and provide mapping documentation in support of that determination.

The extent of the FFRMS floodplain can be determined using a Climate Informed Science Approach (CISA), 0.2 percent flood approach (0.2 PFA), or freeboard value approach (FVA). For projects in areas without available CISA data or without FEMA Flood Insurance Rate Maps (FIRMs), Flood Insurance Studies (FISs) or Advisory Base Flood Elevations (ABFEs), use the best available information to determine flood elevation. Include documentation and an explanation of why this

is the best available information for the site. Note that newly constructed and substantially improved structures must be elevated to the FFRMS floodplain regardless of the approach chosen to determine the floodplain.

#### Select one of the following three options:

□ CISA for non-critical actions. If using a local tool, data, or resources, ensure that the FFRMS elevation is higher than would have been determined using the 0.2 PFA or the FVA.

 $\Box$  0.2-PFA. Where FEMA has defined the 0.2-percent-annual-chance floodplain, the FFRMS floodplain is the area that FEMA has designated as within the 0.2-percent-annual-chance floodplain.

▶ FVA. If neither CISA nor 0.2-PFA is available, for non-critical actions, the FFRMS floodplain is the area that results from adding two feet to the base flood elevation as established by the effective FIRM or FIS or—if available —a FEMA-provided preliminary or pending FIRM or FIS or advisory base flood elevations, whether regulatory or informational in nature. However, an interim or preliminary FEMA map cannot be used if it is lower than the current FIRM or FIS.

#### a. Does your project occur in the FFRMS floodplain?

□Yes, continue to part b.
 ☑ No. Review for floodplain management is complete.

# b. Is your project located in any of the floodplain categories below? Select all that apply. If none apply, continue to question 7.

□ Floodway: Continue to Question 5. Floodways.

□ Coastal High Hazard Area (V Zone) or Limit of Moderate Wave Action (LiMWA): *Continue* to Question 6. Coastal High Hazard Areas and LiMWAs.

# 4. Determine the extent of the FFRMS floodplain and provide mapping documentation in support of that determination.

The extent of the FFRMS floodplain can be determined using a Climate Informed Science Approach (CISA), or the higher of the 0.2 percent flood approach (0.2 PFA), or freeboard value approach (FVA). For projects in areas without available CISA data or without FEMA Flood Insurance Rate Maps (FIRMs), Flood Insurance Studies (FISs) or Advisory Base Flood Elevations (ABFEs), use the best available information to determine flood elevation. Note that newly constructed and substantially improved structures must be elevated to the FFRMS floodplain regardless of the approach chosen to determine the floodplain.

#### Utilize CISA to determine the FFRMS floodplain for critical actions

□ CISA for Critical Actions. If using a local tool, ensure that the FFRMS elevation provided is higher than the 0.2 PFA or 3' above the base flood elevation.

#### Choose the higher of 0.2 PFA or FVA elevations

 $\Box$  0.2-PFA. Where FEMA has defined the 0.2-percent-annual-chance floodplain, the FFRMS floodplain is the area that FEMA has designated as within the 0.2-percent-annual-chance floodplain.

 $\Box$  FVA. For critical actions, the FFRMS floodplain is the area that results from adding three feet to the base flood elevation as established by the effective FEMA FIRM or FIS or—if available —a FEMA-provided preliminary or pending FIRM or FIS or advisory base flood elevations, whether regulatory or informational in nature. However, an interim or preliminary FEMA map cannot be used if it is lower than the current FIRM or FIS.

#### a. Does your project occur in the FFRMS floodplain?

 $\Box$ Yes, continue to part b.

□No. Review for floodplain management is complete.

# b. Is your project located in any of the floodplain categories below? Select all that apply. If none apply, continue to question 7.

□ Floodway: Continue to Question 5. Floodways.

Coastal High Hazard Area (V Zone) or LiMWA: *Continue to Question 6. Coastal High Hazard Areas and LiMWAs.* 

#### 5. Floodways

#### Do the floodway exemptions at 55.8 or 55.21 apply?

🗆 Yes

<u>The 8-Step Process is required.</u> Document mitigation measures necessary to meet the requirements in 55.8 or 55.21. Provide a completed 8-Step Process, including the early public notice and the final notice.

Continue to Question 7. 8-Step Process.

🗆 No

Federal assistance may not be used at this location. You must either choose an alternate site or cancel the project at this location.

# 6. Coastal High Hazard Area (V Zone) and LiMWAs Do the exemptions at 55.8 or 55.21 apply?

□ Yes

<u>The 8-Step Process is required.</u> Document mitigation measures necessary to mee the requirements in 55.8 or 55.21. Provide a completed 8-Step Process, including the early public notice and the final notice.

Continue to Question 7. 8-Step Process.

**Federal assistance may not be used at this location.** You must either choose an alternate site or cancel the project at this location.

#### 7. 8-Step Process.

#### Does the 8-Step Process apply? Select one of the following options:

□ 8-Step Process is inapplicable per 55.13.

- Select the applicable citation:
  - □ (a) HUD's mortgage insurance actions and other financial assistance for the purchasing, mortgaging, or refinancing of existing one- to four-family properties in communities that are in the Regular Program of the NFIP and in good standing (i.e., not suspended from program eligibility or placed on probation under 44 CFR 59.24), where the action is not a critical action and the property is not located in a floodway, coastal high hazard area, or LiMWA;
  - □ (b) Financial assistance for minor repairs or improvements on one- to four-family properties that do not meet the thresholds for "substantial improvement" under § 55.2(b)(12);
  - □ (c) HUD or a recipient's actions involving the disposition of individual HUD or recipient held, one- to four-family properties;
  - (d) HUD guarantees under the Loan Guarantee Recovery Fund Program (24 CFR part 573), where any new construction or rehabilitation financed by the existing loan or mortgage has been completed prior to the filing of an application under the program, and the refinancing will not allow further construction or rehabilitation, nor result in any physical impacts or changes except for routine maintenance;
  - □ (e) The approval of financial assistance to lease units within an existing structure located within the floodplain, but only if;

(1) The structure is located outside the floodway or coastal high hazard area, and is in a community that is in the Regular Program of the NFIP and in good standing (i.e., not suspended from program eligibility or placed on probation under 44 CFR 59.24); and

- (2) The project is not a critical action; and
- (3) The entire structure is or will be fully insured or insured to the maximum extent available under the NFIP for at least the term of the lease.
- □ (f) Special projects for the purpose of improving efficiency of utilities or installing renewable energy that involve the repair, rehabilitation, modernization, weatherization, or improvement of existing structures or infrastructure, do not meet the thresholds for "substantial improvement" under § 55.2(b)(12), and do not include the installation of equipment below the FFRMS floodplain elevation.

Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below.

□ 5-Step Process is applicable per 55.14.

Provide documentation of 5-Step Process.

- Select the applicable citation:
  - □ (a) HUD actions involving the disposition of HUD-acquired multifamily housing projects or "bulk sales" of HUD-acquired one- to four-family properties in communities that are in the Regular Program of the National Flood Insurance Program (NFIP) and in good

standing (i.e., not suspended from program eligibility or placed on probation under 44 CFR 59.24).

- (b)HUD's actions under the National Housing Act (12 U.S.C. 1701) for the purchase or refinancing of existing multifamily housing projects, hospitals, nursing homes, assisted living facilities, board and care facilities, and intermediate care facilities, in communities that are in good standing under the NFIP.
- □ (c) HUD's or the recipient's actions under any HUD program involving the repair, rehabilitation, modernization, weatherization, or improvement of existing multifamily housing projects, hospitals, nursing homes, assisted living facilities, board and care facilities, intermediate care facilities, and one- to four-family properties, in communities that are in the Regular Program of the National Flood Insurance Program (NFIP) and are in good standing, provided that the number of units is not increased more than 20 percent, the action does not involve a conversion from nonresidential to residential land use, the action does not meet the thresholds for "substantial improvement" under § 55.2(b)(10), and the footprint of the structure and paved areas is not increased by more than 20 percent.
- □ (d) HUD's (or the recipient's) actions under any HUD program involving the repair, rehabilitation, modernization, weatherization, or improvement of existing nonresidential buildings and structures, in communities that are in the Regular Program of the NFIP and are in good standing, provided that the action does not meet the thresholds for "substantial improvement" under § 55.2(b)(10) and that the footprint of the structure and paved areas is not increased by more than 20 percent
- (e) HUD's or the recipient's actions under any HUD program involving the repair, rehabilitation, or replacement of existing nonstructural improvements including streets, curbs and gutters, where any increase of the total impervious surface area of the facility is de minimis. This provision does not include critical actions, levee systems, chemical storage facilities (including any tanks), wastewater facilities, or sewer lagoons.

Continue to Question 8. Mitigation.

□ 8-Step Process applies.

Provide a completed 8-Step Process, including the early public notice and the final notice.

Continue to Question 8. Mitigation.

8. Mitigation

For the project to comply with this section, all adverse impacts must be mitigated. Explain in detail the measures that must be implemented to mitigate the impact or effect, including the timeline for implementation. Note: newly constructed and substantially improved structures within the FFRMS floodplain must be elevated to the FFRMS floodplain elevation or floodproofed, if applicable.

Which of the following if any mitigation/minimization measures have been identified for this project in the 8-Step or 5-Step Process? Select all that apply.

 $\hfill\square$  Buyout and demolition or other supported clearance of floodplain structures

 $\Box$  Insurance purchased in excess of statutory requirement under the Flood Disaster Protection Act of 1973

- □ Permeable surfaces
- □ Natural landscape enhancements that maintain or restore natural hydrology
- □ Planting or restoring native plant species
- □ Bioswales
- □ Stormwater capture and reuse
- □ Green or vegetative roofs with drainage provisions
- □ Natural Resources Conservation Service conservation easements or similar easements
- □ Floodproofing of structures as allowable (e.g. non-residential floors)
- □ Elevating structures (including freeboard above the required base flood elevations)
- $\hfill\square$  Levee or structural protection from flooding
- □ Channelizing or redefining the floodway or floodplain through a Letter of Map Revision (LOMR)

Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below.

#### Worksheet Summary

#### **Compliance Determination**

Provide a clear description of your determination and a synopsis of the information that it was based on, such as:

- FIRM panel numbers
- CISA data or maps
- Information on other data or tools used or accessed
- Names of all consulted parties and relevant consultation dates

The proposed project is not located in a Federal Flood Risk Management Standard (FFRMS) floodplain. The presence of the location in a FFRMS floodplain was assessed using the best available data and the FEMA-defined Freeboard Value Approach (FVA) for non-critical actions. The FFRMS floodplain is the area that results from adding two feet to the base flood elevation. This approach was used because the 0.2 percent chance of flood is not shown on the current Advisory Base Flood Elevation the (ABFE) mapping for the project site, although the 0.2 percent elevation is provided. According to the ABFE map, the nearest base flood elevation to the project site is 490.024 meters, which is 1,607.69 feet. Using the FVA method, the resulting FFRMS flood elevation is 1,609. 69 feet. Based on the US Geological Survey (USGS) National Map, point elevation query, the elevation at the project site is 1,652.58 feet (503.71 meters), which is well above the FVA level. This map also shows that the contour to which this flood zone would extend is outside the project boundary.

The project is in compliance with Executive Order 11988 as amended by Executive Order 13690 and with Federal Flood Risk Management Standard (FFRMS), as determined by the FVA method. Refer to Figure 8 and 9 in Appendix B.

- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your region

#### Include all documentation supporting your findings in your submission to HUD

#### Worksheet Summary for 2013 Version Compliance Determination

Attach 'Floodplain Management Partner Worksheet' (OMB No. 2506-0177), FIRM map indicating project location, and summary of 8-step or 5-step decision making process if applicable.

Provide a clear description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your region

#### Include all documentation supporting your findings in your submission to HUD

## A11. Historic Preservation (CEST and EA)

General requirements	Legislation	Regulation
Regulations under Section 106 of	Section 106 of the	36 CFR 800 "Protection of
the National Historic Preservation	National Historic	Historic Properties"
Act (NHPA) require a consultative	Preservation Act	
process to identify historic	(16 U.S.C. 470f)	
properties, assess project impacts		
on them, and avoid, minimize, or		
mitigate adverse effects		
References		
https://www.hudexchange.info/environmental-review/historic-preservation		

#### Threshold

Is Section 106 review required for your project?

□ No, because the project consists solely of activities listed as exempt in a Programmatic Agreement (PA). (See the <u>PA Database</u> to find applicable PAs.)

Either provide the PA itself or a link to it here. Mark the applicable exemptions or include the text here:

 $\rightarrow$  Continue to the Worksheet Summary.

No, because the project consists solely of activities included in a No Potential to Cause Effects memo or other determination [36 CFR 800.3(a)(1)].
 Either provide the memo itself or a link to it here. Explain and justify the other

determination here:

 $\rightarrow$  Continue to the Worksheet Summary.

 $\boxtimes$  Yes, because the project includes activities with potential to cause effects (direct or indirect).  $\rightarrow$  Continue to Step 1.

#### The Section 106 Process

After determining the need to do a Section 106 review, initiate consultation with regulatory and other interested parties, identify and evaluate historic properties, assess effects of the project on properties listed on or eligible for the National Register of Historic Places, and resolve any adverse effects through project design modifications or mitigation.

Note that consultation continues through all phases of the review.

Step 1: Initiate consultation

Step 2: Identify and evaluate historic properties

Step 3: Assess effects of the project on historic properties

Step 4: Resolve any adverse effects

#### **Step 1 - Initiate Consultation**

The following parties are entitled to participate in Section 106 reviews: Advisory Council on Historic Preservation; State Historic Preservation Officers (SHPOs); federally recognized Indian tribes/Tribal Historic Preservation Officers (THPOs); Native Hawaiian Organizations (NHOs); local governments; and project grantees. The general public and individuals and organizations with a demonstrated interest in a project may participate as consulting parties at the discretion of the RE or HUD official. Participation varies with the nature and scope of a project. Refer to HUD's website for guidance on consultation, including the required timeframes for response. Consultation should begin early to enable full consideration of preservation options.

Use the <u>When To Consult With Tribes checklist</u> within <u>Notice CPD-12-006</u>: <u>Process for Tribal</u> <u>Consultation</u> to determine if you should invite tribes to consult on a particular project. Use the <u>Tribal Directory Assessment Tool (TDAT)</u> to identify tribes that may have an interest in the area where the project is located. Note that consultants may not initiate consultation with Tribes.

#### Select all consulting parties below (check all that apply):

State Historic Preservation Officer (SHPO)

Advisory Council on Historic Preservation

□ Indian Tribes, including Tribal Historic Preservation Officers (THPOs) or Native □ Hawaiian Organizations (NHOs)

List all tribes that were consulted here and their status of consultation:

□ Other Consulting Parties

List all consulting parties that were consulted here and their status of consultation:

#### Describe the process of selecting consulting parties and initiating consultation here:

See Appendix D

*Provide all correspondence, notices, and notes (including comments and objections received) and continue to Step 2.* 

#### **Step 2 - Identify and Evaluate Historic Properties**

Define the Area of Potential Effect (APE), either by entering the address(es) or providing a map depicting the APE. Attach an additional page if necessary.

See Appendix D

Gather information about known historic properties in the APE. Historic buildings, districts and archeological sites may have been identified in local, state, and national surveys and registers, local historic districts, municipal plans, town and county histories, and local history websites. If not already listed on the National Register of Historic Places, identified properties are then evaluated to see if they are eligible for the National Register.

Refer to HUD's website for guidance on identifying and evaluating historic properties.

#### In the space below, list historic properties identified and evaluated in the APE.

Every historic property that may be affected by the project should be listed. For each historic property or district, include the National Register status, whether the SHPO has concurred with the finding, and whether information on the site is sensitive. Attach an additional page if necessary.

See Appendix D

Provide the documentation (survey forms, Register nominations, concurrence(s) and/or objection(s), notes, and photos) that justify your National Register Status determination.

Was a survey of historic buildings and/or archeological sites done as part of the project? If the APE contains previously unsurveyed buildings or structures over 50 years old, or there is a likely presence of previously unsurveyed archeological sites, a survey may be necessary. For Archeological surveys, refer to HP Fact Sheet #6, <u>Guidance on Archeological Investigations in</u> <u>HUD Projects</u>.

□ Yes  $\rightarrow$  Provide survey(s) and report(s) and continue to Step 3. Additional notes:

 $\boxtimes$  No  $\rightarrow$  Continue to Step 3.

#### **Step 3 - Assess Effects of the Project on Historic Properties**

Only properties that are listed on or eligible for the National Register of Historic Places receive further consideration under Section 106. Assess the effect(s) of the project by applying the Criteria of Adverse Effect. (<u>36 CFR 800.5</u>)] Consider direct and indirect effects as applicable as per HUD guidance.

Choose one of the findings below - No Historic Properties Affected, No Adverse Effect, or Adverse Effect; and seek concurrence from consulting parties.

□ <u>No Historic Properties Affected</u>

Document reason for finding:

- $\Box$  No historic properties present.  $\rightarrow$  *Provide concurrence(s) or objection(s) and continue to the Worksheet Summary.*
- □ Historic properties present, but project will have no effect upon them.  $\rightarrow$  *Provide concurrence(s) or objection(s) and continue to the Worksheet Summary.*

If consulting parties concur or fail to respond to user's request for concurrence, project is in compliance with this section. No further review is required. If consulting parties object, refer to (36 CFR 800.4(d)(1)) and consult further to try to resolve objection(s).

#### ⊠ <u>No Adverse Effect</u>

Document reason for finding:

See Appendix D

#### Does the No Adverse Effect finding contain conditions?

🛛 Yes

**Check all that apply:** (check all that apply)

□ Avoidance

□ Modification of project

 $\boxtimes$  Other

Describe conditions here:

A Phase 2 archaeological site-testing before demolition of the floor. See Appendix D.

 $\rightarrow$  Monitor satisfactory implementation of conditions. Provide concurrence(s) or objection(s) and continue to the Worksheet Summary.

 $\square$  No  $\rightarrow$  Provide concurrence(s) or objection(s) and continue to the Worksheet Summary.

If consulting parties concur or fail to respond to user's request for concurrence, project is in compliance with this section. No further review is required. If consulting parties object, refer to (36 CFR 800.5(c)(2)) and consult further to try to resolve objection(s).

□ <u>Adverse Effect</u>

#### **Document reason for finding:**

Copy and paste applicable Criteria into text box with summary and justification. Criteria of Adverse Effect: <u>36 CFR 800.5</u>] Notify the Advisory Council on Historic Preservation of the Adverse Effect and provide the documentation outlined in <u>36 CFR 800.11(e)</u>. The Council has 15 days to decide whether to enter the consultation (Not required for projects covered by a Programmatic Agreement).

 $\rightarrow$  Continue to Step 4.

#### **Step 4 - Resolve Adverse Effects**

Work with consulting parties to try to avoid, minimize or mitigate adverse effects. Refer to HUD guidance and <u>36 CFR 800.6 and 800.7</u>.

#### Were the Adverse Effects resolved?

🗆 Yes

Describe the resolution of Adverse Effects, including consultation efforts and participation by the Advisory Council on Historic Preservation:

For the project to be brought into compliance with this section, all adverse impacts must be mitigated. Explain in detail the exact measures that must be implemented to mitigate for the impact or effect, including the timeline for implementation.

→ Provide signed Memorandum of Agreement (MOA) or Standard Mitigation Measures Agreement (SMMA). Continue to the Worksheet Summary. 🗆 No

The project must be cancelled unless the "Head of Agency" approves it. Either provide approval from the "Head of Agency" or cancel the project at this location. Describe the failure to resolve Adverse Effects, including consultation efforts and participation by the Advisory Council on Historic Preservation and "Head of the Agency":

Explain in detail the exact conditions or measures that must be implemented to mitigate for the impact or effect, including the timeline for implementation.

→ Provide correspondence, comments, documentation of decision, and "Head of Agency" approval. Continue to the Worksheet Summary.

#### Worksheet Summary

### **Compliance Determination**

Provide a clear description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your region

#### Are formal compliance steps or mitigation required?

🛛 Yes

🗆 No



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT WASHINGTON, DC 20410-1000

# A12. Noise (EA Level Reviews) – PARTNER

https://www.hudexchange.info/programs/environmental-review/noise-abatement-and-control

#### 1. What activities does your project involve? Check all that apply:

 $\Box$  New construction for residential use

NOTE: HUD assistance to new construction projects is generally prohibited if they are located in an Unacceptable zone, and HUD discourages assistance for new construction projects in Normally Unacceptable zones. See 24 CFR 51.101(a)(3) for further details.  $\rightarrow$  Continue to Question 2.

□ Rehabilitation of an existing residential property

NOTE: For major or substantial rehabilitation in Normally Unacceptable zones, HUD encourages mitigation to reduce levels to acceptable compliance standards. For major rehabilitation in Unacceptable zones, HUD strongly encourages mitigation to reduce levels to acceptable compliance standards. See 24 CFR 51 Subpart B for further details.  $\rightarrow$  Continue to Question 2.

oxtimes None of the above

 $\rightarrow$  If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.

 Complete the Preliminary Screening to identify potential noise generators in the vicinity (1000' from a major road, 3000' from a railroad, or 15 miles from an airport).
 Indicate the findings of the Preliminary Screening below:

□ There are no noise generators found within the threshold distances above.

 $\rightarrow$  If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide a map showing the location of the project relative to any noise generators.

 $\Box$  Noise generators were found within the threshold distances.

 $\rightarrow$  Continue to Question 3.

3. Complete the Noise Assessment Guidelines to quantify the noise exposure. Indicate the findings of the Noise Assessment below:

 $\Box$  Acceptable (65 decibels or less; the ceiling may be shifted to 70 decibels in circumstances described in §24 CFR 51.105(a))

Indicate noise level here: Click here to enter text.

 $\rightarrow$  If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide noise analysis, including noise level and data used to complete the analysis.

 $\Box$  Normally Unacceptable: (Above 65 decibels but not exceeding 75 decibels; the floor may be shifted to 70 decibels in circumstances described in 24 CFR 51.105(a))

Indicate noise level here: Click here to enter text.

#### If project is rehabilitation:

 $\rightarrow$  Continue to Question 4. Provide noise analysis, including noise level and data used to complete the analysis.

#### If project is new construction:

#### Is the project in a largely undeveloped area<sup>1</sup>?

🗆 No

# $\Box$ Yes $\rightarrow$ The project requires completion of an Environmental Impact Statement (EIS) pursuant to 51.104(b)(1)(i).

 $\rightarrow$  Continue to Question 4. Provide noise analysis, including noise level and data used to complete the analysis.

□ Unacceptable: (Above 75 decibels) Indicate noise level here: Click here to enter text.

#### If project is rehabilitation:

HUD strongly encourages conversion of noise-exposed sites to land uses compatible with high noise levels. Consider converting this property to a non-residential use compatible with high noise levels.

 $\rightarrow$  Continue to Question 4. Provide noise analysis, including noise level and data used to complete the analysis, and any other relevant information.

#### If project is new construction:

The project requires completion of an Environmental Impact Statement (EIS) pursuant to 51.104(b)(1)(i). Work with HUD or the RE to either complete an EIS or obtain a waiver signed by the appropriate authority.  $\rightarrow$  Continue to Question 4.

4. HUD strongly encourages mitigation be used to eliminate adverse noise impacts. Work with the RE/HUD on the development of the mitigation measures that must be implemented to mitigate for the impact or effect, including the timeline for implementation.

□ Mitigation as follows will be implemented:

Click here to enter text.

→ Provide drawings, specifications, and other materials as needed to describe the project's noise mitigation measures. Continue to the Worksheet Summary.

□ No mitigation is necessary.

<sup>&</sup>lt;sup>1</sup> A largely undeveloped area means the area within 2 miles of the project site is less than 50 percent developed with urban uses and does not have water and sewer capacity to serve the project.

#### Explain why mitigation will not be made here:

Click here to enter text.

 $\rightarrow$  Continue to the Worksheet Summary.

#### Worksheet Summary

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

#### Include all documentation supporting your findings in your submission to HUD.

The project would not create new sources of noise and would not have acoustic impacts. The noise that would be generated during the construction phase of the project is generated by the operation of the construction equipment. Noise levels attributable to construction activities will be temporary in nature and are not expected to exceed 65 dBA. The noise during the period of operation will be that normally produced by pedestrians. it will be the one normally produced by pedestrians.

## A13. Sole Source Aquifers (CEST and EA)

General requirements	Legislation	Regulation
The Safe Drinking Water Act of 1974 protects drinking water systems which are the sole or principal drinking water source for an area and which, if contaminated, would create a significant hazard to public health.	Safe Drinking Water Act of 1974 (42 U.S.C. 201, 300f et seq., and 21 U.S.C. 349)	40 CFR Part 149
Reference		
https://www.hudexchange.info/environmental-review/sole-source-aquifers		

- **1.** Does your project consist solely of acquisition, leasing, or rehabilitation of an existing building(s)?
  - ⊠Yes → Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below.
  - $\square$ No  $\rightarrow$  Continue to Question 2.

#### 2. Is the project located on a sole source aquifer (SSA)<sup>1</sup>?

⊠No → Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide documentation used to make your determination, such as a map of your project (or jurisdiction, if appropriate) in relation to the nearest SSA and its source area.

 $\Box$ Yes  $\rightarrow$  Continue to Question 3.

**3.** Does your region have a memorandum of understanding (MOU) or other working agreement with EPA for HUD projects impacting a sole source aquifer?

Contact your Field or Regional Environmental Officer or visit the HUD webpage at the link above to determine if an MOU or agreement exists in your area.

- $\Box$ Yes  $\rightarrow$  *Provide the MOU or agreement as part of your supporting documentation. Continue to Question 4.*
- $\square$ No  $\rightarrow$  Continue to Question 5.

#### 4. Does your MOU or working agreement exclude your project from further review?

- □Yes → Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide documentation used to make your determination and document where your project fits within the MOU or agreement.
- $\Box$ No  $\rightarrow$  Continue to Question 5.

# 5. Will the proposed project contaminate the aquifer and create a significant hazard to public health?

<sup>&</sup>lt;sup>1</sup> A sole source aquifer is defined as an aquifer that supplies at least 50 percent of the drinking water consumed in the area overlying the aquifer. This includes streamflow source areas, which are upstream areas of losing streams that flow into the recharge area.

Consult with your Regional EPA Office. Your consultation request should include detailed information about your proposed project and its relationship to the aquifer and associated streamflow source area. EPA will also want to know about water, storm water and waste water at the proposed project. Follow your MOU or working agreement or contact your Regional EPA office for specific information you may need to provide. EPA may request additional information if impacts to the aquifer are questionable after this information is submitted for review.

- $\boxtimes$ No  $\rightarrow$  Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide your correspondence with the EPA and all documents used to make your determination.
- □Yes → Work with EPA to develop mitigation measures. If mitigation measures are approved, attach correspondence with EPA and include the mitigation measures in your environmental review documents and project contracts. If EPA determines that the project continues to pose a significant risk to the aquifer, federal financial assistance must be denied. Continue to Question 6.
- 6. In order to continue with the project, any threat must be mitigated, and all mitigation must be approved by the EPA. Explain in detail the proposed measures that can be implemented to mitigate for the impact or effect, including the timeline for implementation.
  - → Continue to the Worksheet Summary below. Provide documentation of the consultation (including the Managing Agency's concurrence) and any other documentation used to make your determination.

#### Worksheet Summary

#### **Compliance Determination**

Provide a clear description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your region

The project is in compliance with Sole Source Aquifers requirements

There are no EPA single source aquifers in Puerto Rico, the project meets the Single Source aquifer requirements.

Sources documents

https://epa.maps.arcgis.com/apps/webappviewer/index.html?id=9ebb047ba3ec41ada1877155fe3135 6b

#### Are formal compliance steps or mitigation required?

- □ Yes
- 🛛 No

## A14. Wetlands (CEST and EA)

General requirements	Legislation	Regulation	
Executive Order 11990 discourages that direct or	Executive Order	24 CFR 55.20 can	
indirect support of new construction impacting wetlands	11990	be used for general	
wherever there is a practicable alternative. The Fish and		guidance regarding	
Wildlife Service's National Wetlands Inventory can be		the 8 Step Process.	
used as a primary screening tool, but observed or known			
wetlands not indicated on NWI maps must also be			
processed. Off-site impacts that result in draining,			
impounding, or destroying wetlands must also be			
processed.			
References			
https://www.hudexchange.info/environmental-review/wetlands-protection			

1. Does this project involve new construction as defined in Executive Order 11990, expansion of a building's footprint, or ground disturbance?

The term "new construction" shall include draining, dredging, channelizing, filling, diking, impounding, and related activities and any structures or facilities begun or authorized after the effective date of the Order.

 $\boxtimes$  No  $\rightarrow$  Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below.

 $\Box$  Yes  $\rightarrow$  *Continue to Question 2.* 

2. Will the new construction or other ground disturbance impact an on- or off-site wetland?

The term "wetlands" means those areas that are inundated by surface or ground water with a frequency sufficient to support, and under normal circumstances does or would support, a prevalence of vegetative or aquatic life that requires saturated or seasonally saturated soil conditions for growth and reproduction. Wetlands generally include swamps, marshes, bogs, and similar areas such as sloughs, potholes, wet meadows, river overflows, mud flats, and natural ponds. Wetlands under E.O. 11990 include isolated and non-jurisdictional wetlands.

 $\Box$  No, a wetland will not be impacted in terms of E.O. 11990's definition of new construction.

→ Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide a map or any other relevant documentation to explain your determination.

□ Yes, there is a wetland that be impacted in terms of E.O. 11990's definition of new construction.

 $\rightarrow$  You must determine that there are no practicable alternatives to wetlands development by completing the 8-Step Process.

Provide a completed 8-Step Process as well as all documents used to make your determination, including a map. Be sure to include the early public notice and the final notice with your documentation.

Continue to Question 3.

**3.** For the project to be brought into compliance with this section, all adverse impacts must be mitigated. Explain in detail the exact measures that must be implemented to mitigate for the impact or effect, including the timeline for implementation.

#### Which of the following mitigation actions have been or will be taken? Select all that apply:

- $\Box$  Permeable surfaces
- □ Natural landscape enhancements that maintain or restore natural hydrology through infiltration
- □ Native plant species
- $\Box$  Bioswales
- □ Evapotranspiration
- $\Box$  Stormwater capture and reuse
- □ Green or vegetative roofs with drainage provisions
- $\hfill\square$  Natural Resources Conservation Service conservation easements
- $\Box$  Compensatory mitigation

#### Worksheet Summary

#### **Compliance Determination**

Provide a clear description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your region

The project is in compliance with Wetlands Protection requirements

According to the National Wetlands Inventory Map, the proposed project does not affect wetland areas. Sources documents: https://fwsprimary.wim.usgs.gov/wetlands/apps/ wetlands-mapper/

Are formal compliance steps or mitigation required?

□ Yes

General requirements	Legislation	Regulation
The Wild and Scenic Rivers Act	The Wild and Scenic Rivers Act	36 CFR Part 297
provides federal protection for certain	(16 U.S.C. 1271-1287),	
free-flowing, wild, scenic and	particularly section 7(b) and (c)	
recreational rivers designated as	(16 U.S.C. 1278(b) and (c))	
components or potential components		
of the National Wild and Scenic		
Rivers System (NWSRS) from the		
effects of construction or		
development.		
References		
https://www.hudexchange.info/environmental-review/wild-and-scenic-rivers		

# A15. Wild and Scenic Rivers (CEST and EA)

1. Is your project within proximity of a NWSRS river as defined below?

Wild & Scenic Rivers: These rivers or river segments have been designated by Congress or by states (with the concurrence of the Secretary of the Interior) as wild, scenic, or recreational

<u>Study Rivers:</u> These rivers or river segments are being studied as a potential component of the Wild & Scenic River system.

<u>Nationwide Rivers Inventory (NRI)</u>: The National Park Service has compiled and maintains the NRI, a register of river segments that potentially qualify as national wild, scenic, or recreational river areas

🛛 No

→ Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide documentation used to make your determination, such as a map identifying the project site and its surrounding area or a list of rivers in your region in the Screen Summary at the conclusion of this screen.

□ Yes, the project is in proximity of a Nationwide Rivers Inventory (NRI) River.

 $\rightarrow$  Continue to Question 2.

#### 2. Could the project do *any* of the following?

- Have a direct and adverse effect within Wild and Scenic River Boundaries,
- Invade the area or unreasonably diminish the river outside Wild and Scenic River Boundaries, or
- Have an adverse effect on the natural, cultural, and/or recreational values of a NRI segment.

Consultation with the appropriate federal/state/local/tribal Managing Agency(s) is required, pursuant to Section 7 of the Act, to determine if the proposed project may have an adverse effect on a Wild & Scenic River or a Study River and, if so, to determine the appropriate avoidance or mitigation measures.

<u>Note</u>: Concurrence may be assumed if the Managing Agency does not respond within 30 days; however, you are still obligated to avoid or mitigate adverse effects on the rivers identified in the NWSRS

- □ No, the Managing Agency has concurred that the proposed project will not alter, directly, or indirectly, any of the characteristics that qualifies or potentially qualifies the river for inclusion in the NWSRS.
- → Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide documentation of the consultation (including the Managing Agency's concurrence) and any other documentation used to make your determination.
- □ Yes, the Managing Agency was consulted and the proposed project may alter, directly, or indirectly, any of the characteristics that qualifies or potentially qualifies the river for inclusion in the NWSRS.
- $\rightarrow$  Continue to Question 3.
- 3. For the project to be brought into compliance with this section, all adverse impacts must be mitigated. Explain in detail the proposed measures that must be implemented to mitigate for the impact or effect, including the timeline for implementation.

(including the Managing Agency's concurrence) and any other documentation used to make your determination.

#### **Worksheet Summary**

#### **Compliance Determination**

Provide a clear description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your region

The project is in compliance with Wild and Scenic Rivers requirements.

The only WSRs in Puerto Rico are in the El Yunque National Forest. The project is 323,379 feet west of the western border of the El Yunque National Forest.

No wild and scenic rivers are located within the Municipality Adjuntas, PR.

## Are formal compliance steps or mitigation required?

□ Yes ⊠ No

General requirements	Legislation	Regulation	
Determine if the project creates	Executive Order 12898		
adverse environmental impacts			
upon a low-income or minority			
community. If it does, engage the			
community in meaningful			
participation about mitigating the			
impacts or move the project.			
References			
https://www.hudexchange.info/environmental-review/environmental-justice			

## A16. Environmental Justice (CEST and EA)

HUD strongly encourages starting the Environmental Justice analysis only after all other laws and authorities, including Environmental Assessment factors if necessary, have been completed.

**1.** Were any adverse environmental impacts identified in any other compliance review portion of this project's total environmental review?

 $\Box$ Yes  $\rightarrow$  *Continue to Question 2.* 

2. Were these adverse environmental impacts disproportionately high for low-income and/or minority communities?

□Yes

Explain:

 $\rightarrow$  Continue to Question 3. Provide any supporting documentation.

□No

Explain:

 $\rightarrow$  Continue to the Worksheet Summary and provide any supporting documentation.

3. All adverse impacts should be mitigated. Explain in detail the proposed measures that must be implemented to mitigate for the impact or effect, including the timeline for implementation. □Mitigation as follows will be implemented:

<sup>⊠</sup>No → Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below.

 $\rightarrow$  Continue to Question 4.

 $\Box$  No mitigation is necessary.

Explain why mitigation will not be made here:

 $\rightarrow$  Continue to Question 4.

4. Describe how the affected low-income or minority community was engaged or meaningfully involved in the decision on what mitigation actions, if any, will be taken.

 $\rightarrow$  Continue to the Worksheet Summary and provide any supporting documentation.

#### Worksheet Summary

#### **Compliance Determination**

Provide a clear description of your determination and a synopsis of the information that it was based on, such as:

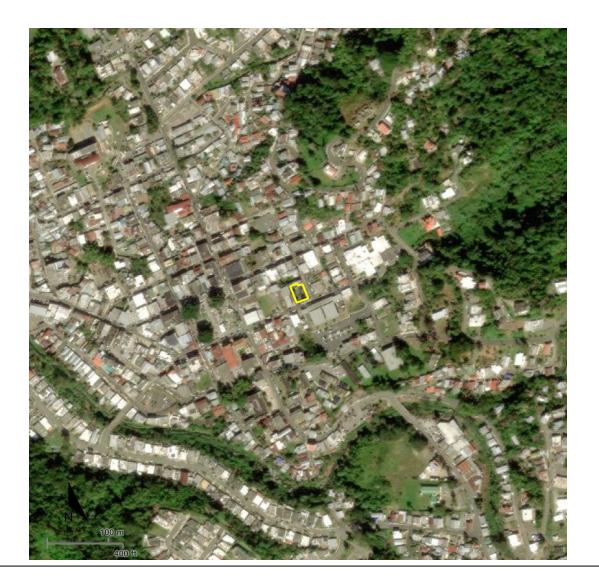
- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your region

The project is in compliance with Executive Order 12898.

The project does not result in adverse environmental effects on low-income or minority populations. does not have discriminatory elements that exclude the benefits of people because of their ethnic origin or color, age, gender, religion, income or disability. The project it does not result in a disproportionately adverse environmental impact on low-income or minority populations.

#### Are formal compliance steps or mitigation required?

# Appendix B



#### Figure 1: Project Location

Project Name: Centro De Actividades (PR-CRP-000783) Location Pueblo Calle Cesar Gonzalez Esq. Calle Progresso, Adjuntas, PR 00601, 18.162821, -66.721748, Source: Google Earth Website: <u>https://www.google.com/maps</u> Author: Tetra Tech Inc.





# Figure 2: Airport Hazards Project Name: Centro De Actividades (PR-CRP-000783) Location Pueblo Calle Cesar Gonzalez Esq. Calle Progresso, Adjuntas, PR 00601, 18.162821, -66.721748, Source: Google Earth, CRIM, PR SHPO, NSPS NRIS Website: https://www.google.com/maps Author: Tetra Tech Inc.

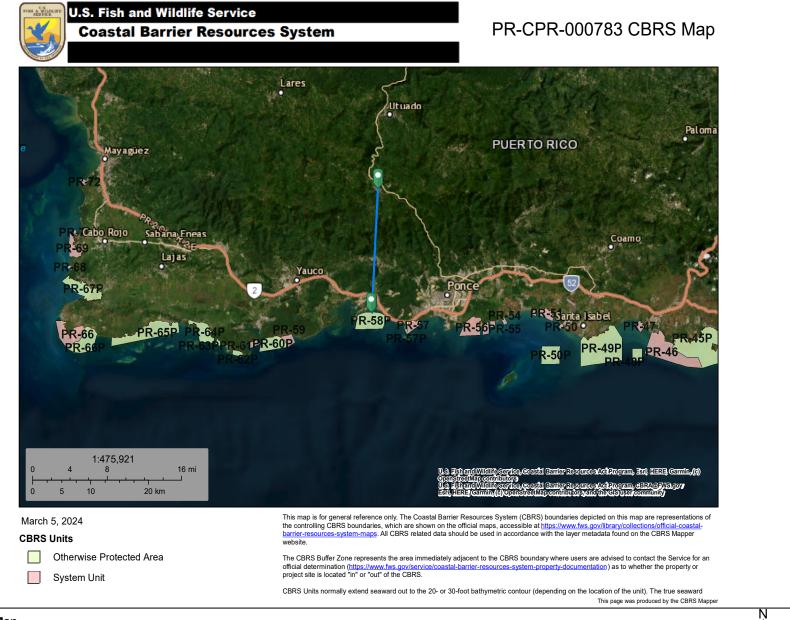
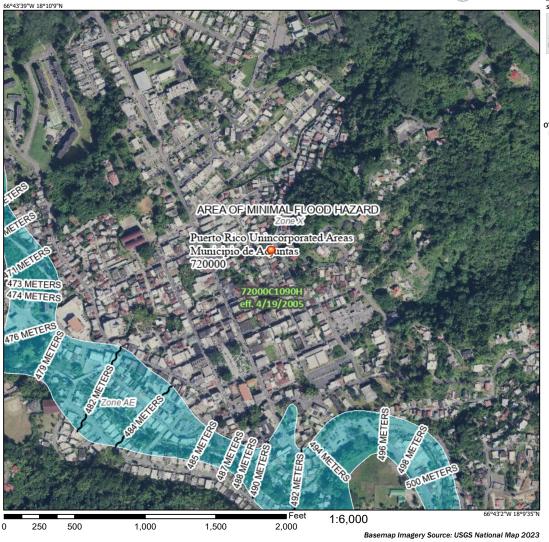


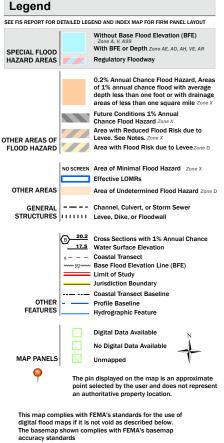
Figure 3: CBRS Map Project Name: Centro De Actividades (PR-CRP-000783) Location Publo Calle Cesar Gonzalez Esq. Calle Progresso, Adjuntas, PR 00601, 18.162821, -66.721748, Source: USFWS Coastal Barrier Resources System Mapper Website: https://www.fws.gov/library/collections/official-coastal-barrier-resources-system-maps Author: Tetra Tech Inc.

\*

#### National Flood Hazard Layer FIRMette

**FEMA** 





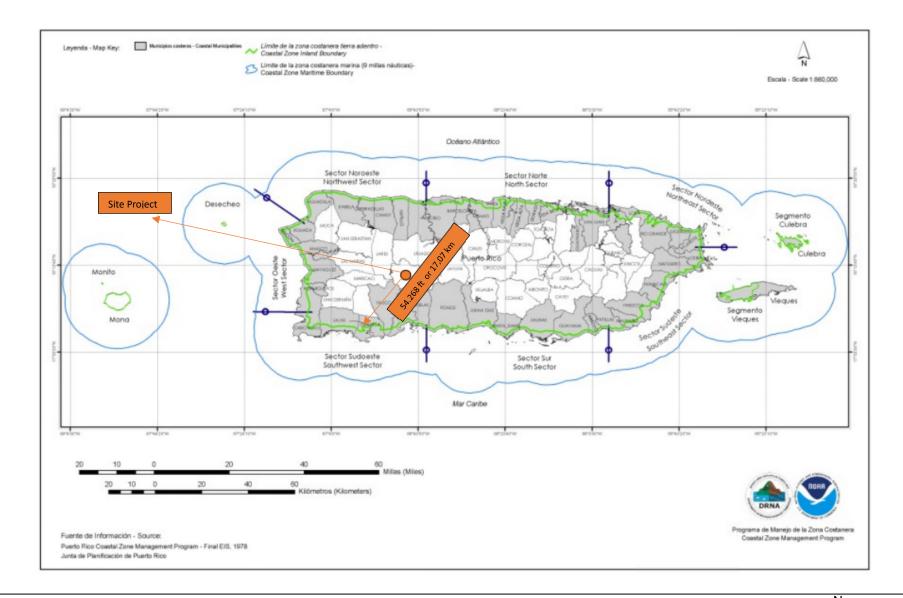
The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 6/26/2023 at 8-42 AW and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

#### Figure 4: FIRM

Project Name: Centro De Actividades (PR-CRP-000783) Location Pueblo Calle Cesar Gonzalez Esq. Calle Progresso, Adjuntas, PR 00601, 18.162821, -66.721748, Source: FEMA Floodplaim Mapper Website: https://msc.fema.gov/portal/home Author: Tetra Tech Inc.





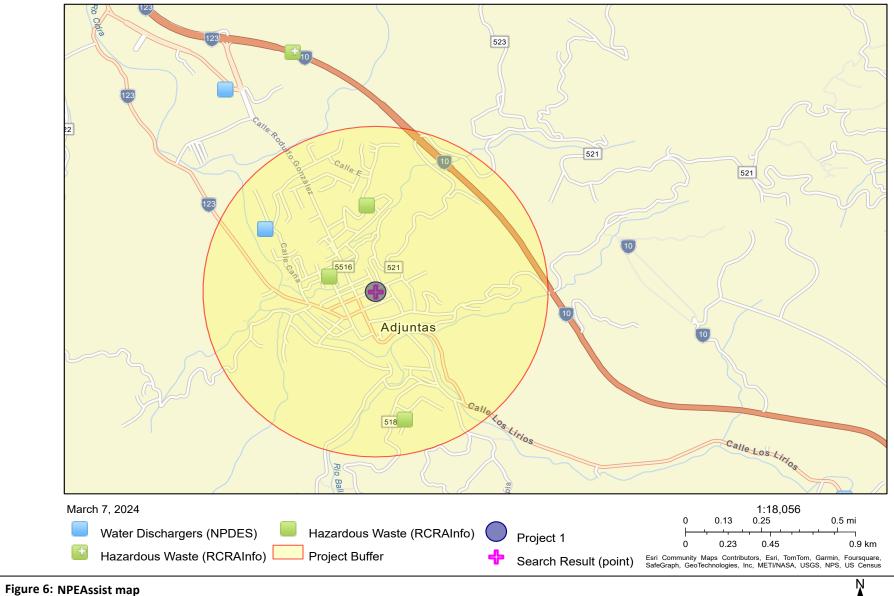
#### Figure 5: Costal Zone Management Act Map

Project Name: Centro De Actividades (PR-CRP-000783)

Location Pueblo Calle Cesar Gonzalez Esq. Calle Progresso, Adjuntas, PR 00601, 18.162821, -66.721748,

Source: Estudios Tecnicos, Inc. Puerto Rico Coastal Zone Management Program

Website: https://www.drna.pr.gov/historico/oficinas/arn/re cursosvivientes/costasreservasrefugios/pmzc/pmzc2009/PMZCPR%20espanol%202009-final.pdf Author: Tetra Tech Inc.



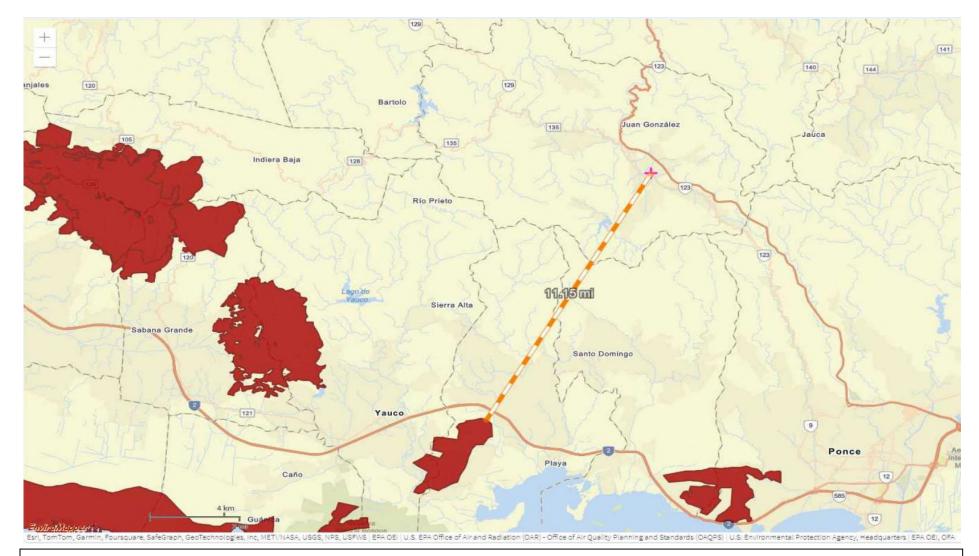
#### Project Name: Centro De Actividades (PR-CRP-000783)

Location Pueblo Calle Cesar Gonzalez Esq. Calle Progresso, Adjuntas, PR 00601, 18.162821, -66.721748,

Source: USEPA Enviro Mapper, NEPAssist Tool

Website: https://nepassisttool.epa.gov/nepassist/nepamap.aspx

Author: Tetra Tech Inc.



#### Figure 7: Critical Habitats Map

Project Name: Centro De Actividades (PR-CRP-000783) Location Pueblo Calle Cesar Gonzalez Esq. Calle Progresso, Adjuntas, PR 00601, 18.162821, -66.721748, Source: Interactive Map of USEPA, NEPAssist Website: https://nepassisttool.epa.gov/nepassist/nepamap.aspx Author: Tetra Tech Inc.

#### 🚺 About 🛛 📑 Content 🚦 Legend

Legend PuertoRico\_ABFE\_1PCT

Advisory Base Flood Elevation (zoom in to make visible)

Flood Hazard Boundary (zoom in to make visible) Limit of Moderate Wave Action (LiMWA)

Flood Hazard Extent

1% Annual Chance Flood

0.2% Annual Chance Flood

Zone/BFE Boundary

Flood Hazard Area (zoom in to make visible)

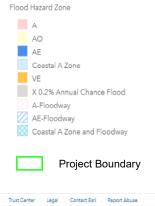


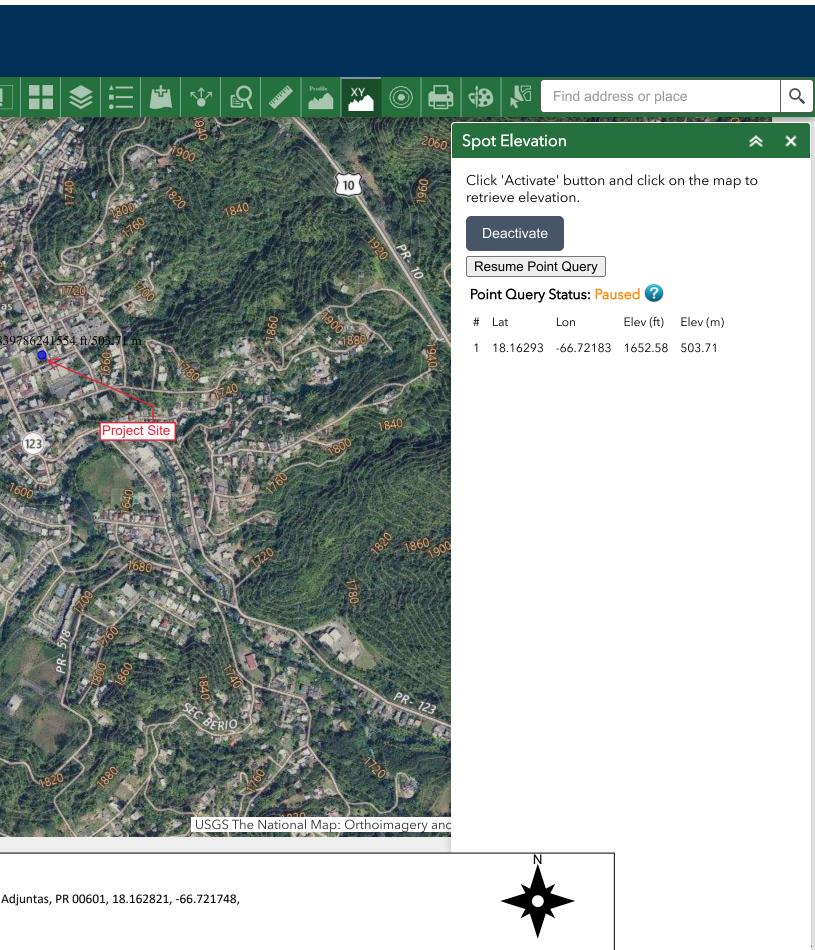


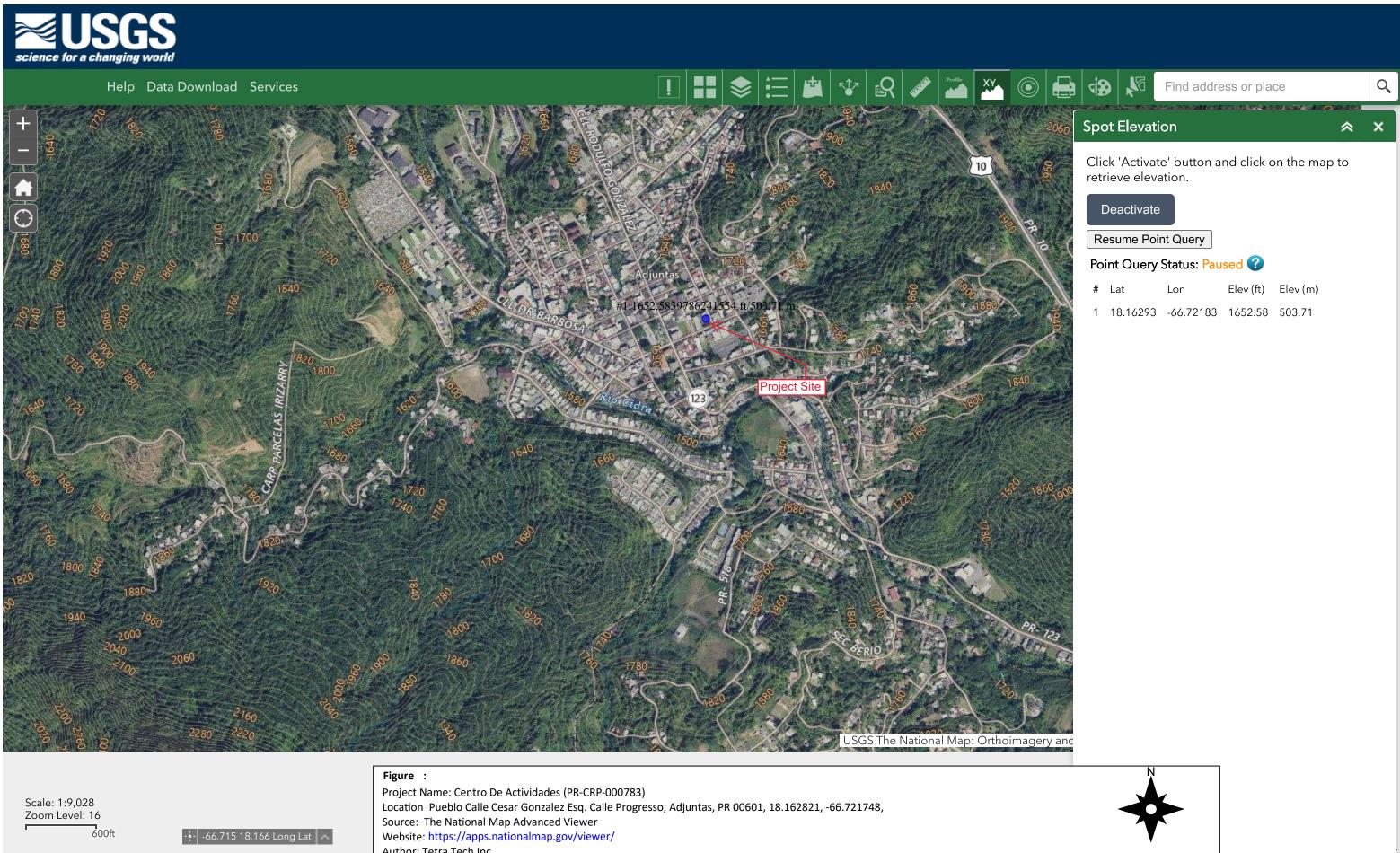
Figure 8: ABFE Map Project Name: Centro De Actividades (PR-CRP-000783) Location Pueblo Calle Cesar Gonzalez Esq. Calle Progresso, Adjuntas, PR 00601, 18.162821, -66.721748, Source: Interactive Map of Floodplains Website: https://www.arcgis.com/home/webmap/viewer.html Author: Tetra Tech Inc.



11/14/24, 2:00 PM

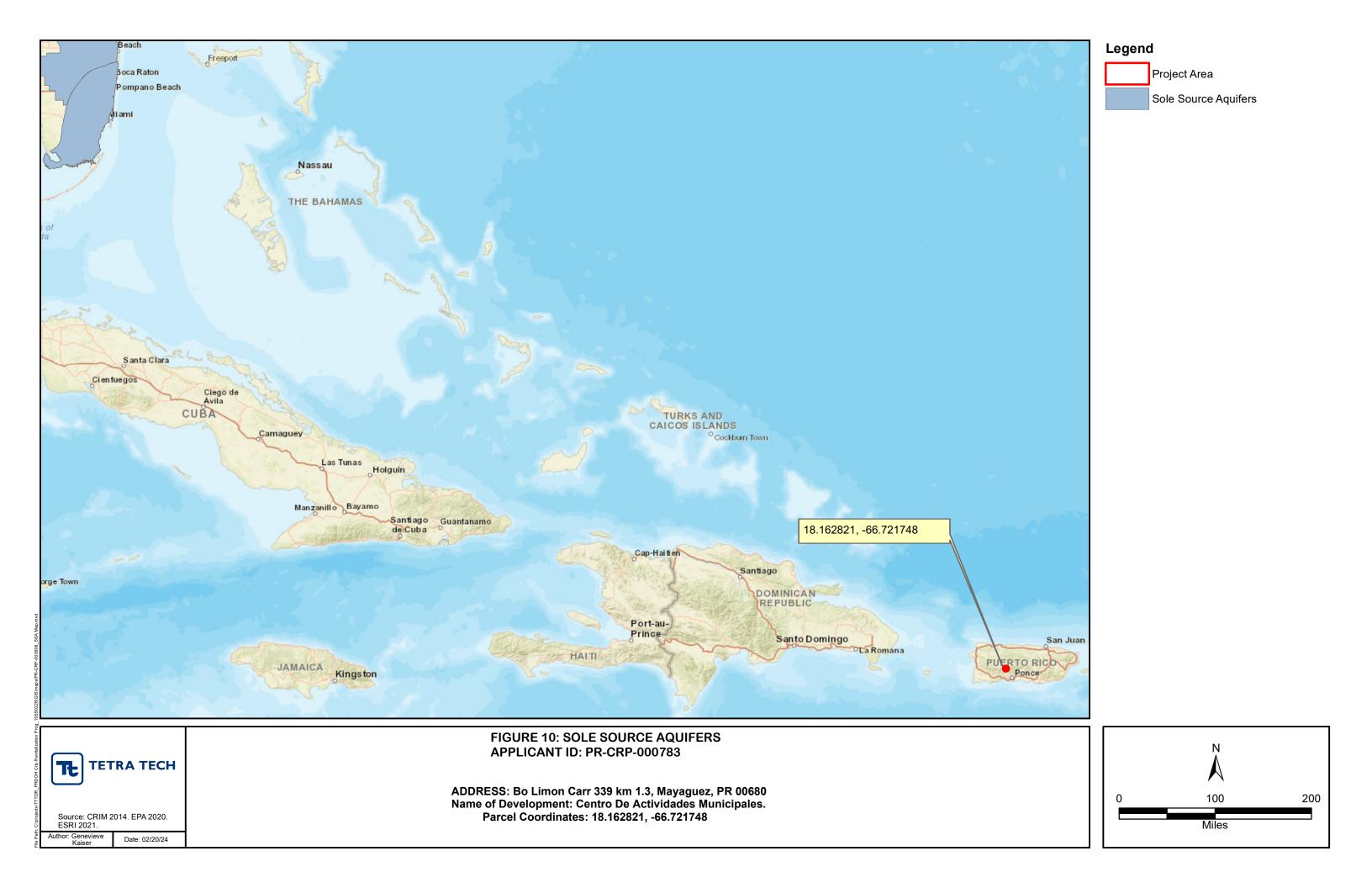


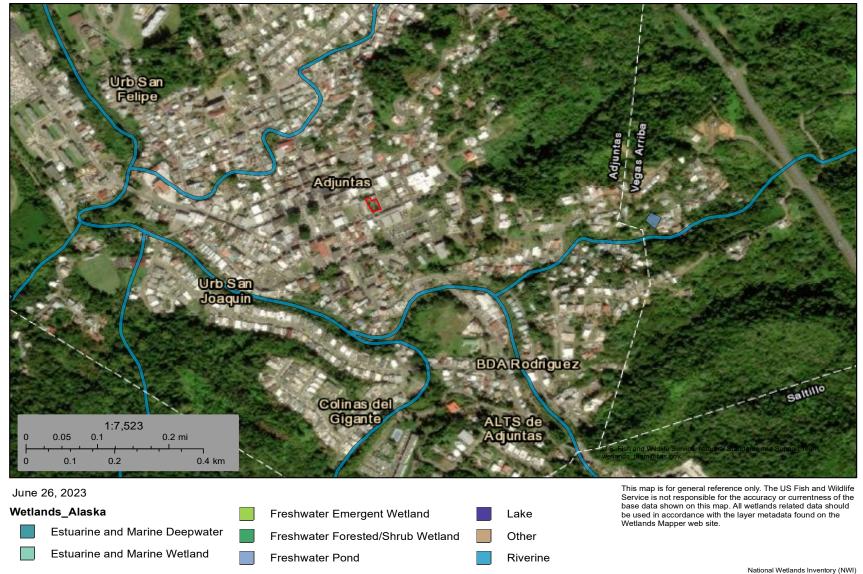




Author: Tetra Tech Inc.

https://apps.nationalmap.gov/viewer/

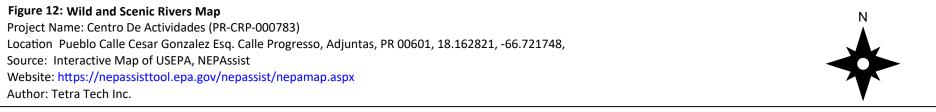




This page was produced by the NWI mapper

# Figure 11: Wetlands Map Project Name: Centro De Actividades (PR-CRP-000783) Location Pueblo Calle Cesar Gonzalez Esq. Calle Progresso, Adjuntas, PR 00601, 18.162821, -66.721748, Source: USFWS Interactive Wetland Mapper Website: https://fwsprimary.wim.usgs.gov/wetlands/apps/ wetlands-mapper/ Author: Tetra Tech Inc.





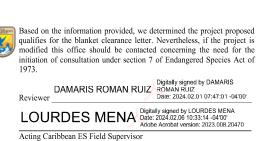
# Appendix C



<u> Transmittal Letter</u>

January 30, 2024

Caribbean Ecological Services Field Office U.S. Fish and Wildlife Service P.O. Box 491 Boquerón, Puerto Rico 00622 Email: <u>caribbean@es@fws.gov</u>



#### RE: USFWS Endangered Species Act Certifications City Revitalization Program January 2024

We are submitting the following Self-Certifications for projects under the CDBG-DR City Revitalization Program. Attached are included the Self-Certifications that certify that the projects are in compliance and are not likely to adversely affect federally-listed species.

The following table includes the projects that are in compliance with the Blanket Clearance Letter for the Endangered Species act of 1973, as amended, and the Fish and Wildlife Coordination Act.

Project Number	Project Name
PR-CRP-000073	Reconstrucción Edificio: Colaboratorio Tecnológico
PR-CRP-000127	Mejoras a la Plaza Pública José Ramón Figueroa Rivera
PR-CRP-000135	Centro Multidisciplinario de Servicios a la Comunidad
PR-CRP-000338	Mejoras a la Plaza de la Identidad
PR-CRP-000783	Centro de Actividades Municipal
PR-CRP-000996	Cine/Teatro Esperanza
PR-CRP-001094	Gimnasio Municipal

For more information, please contact the Permits and Environmental Compliance Division at <u>environmentcdbg@vivienda.pr.gov</u> or at (787)274.2527 ext. 4320.

Sincerely,

Permits and Environmental Compliance Division Office of Disaster Recovery

#### **CDBG-DR** FUNDS



#### **Self-Certification**

CDBG-DR FUND

8G-MIT F

http://www.fws.gov/caribbean/ES/Index.html

#### **Endangered Species Act Certification**

The U.S. Fish and Wildlife Service, Caribbean Ecological Services Field Office developed a Blanket Clearance Letter in compliance with Endangered Species Act of 1973, as amended, and the Fish and Wildlife Coordination Act for federally funded projects.

The Service determined that projects in compliance with the following criteria are not likely to adversely affect federally listed species.

The Puerto Rico Department of Housing (PRDOH) certifies that the following project **Centro de Actividades Municipal (PR-CRP-000783)** consisting of the rehabilitation of the facility, built in year 1911, comprising of demolition of floor and interior walls (exterior walls will be preserved), exterior facades will be restored with the construction of an interior structure to house the new facilities for the activity center, located within the developed urban area at César González Street, corner with Progreso Street; coordinates 18.162821, -66.721748, complies with:

Check	Project Criteria
	1. Street resurfacing.
	2. Construction of gutters and sidewalks along existing roads.
	3. Reconstruction or emergency repairs of existing buildings, facilities, and homes.
	4. Rehabilitation of existing occupied single-family homes, and buildings; provided that equipment storage or staging areas are not located on vacant property harboring a wetland and/or forested vegetation and that the lighting associated to the new facilities is not visible directly or indirectly from a beach.
	5. Demolition of dilapidated single-family homes or buildings; provided that the demolition debris is disposed in certified receiving facilities; equipment storage or staging areas are not located on vacant property harboring a wetland and/or forested vegetation.

#### CDBG-DR FUNDS

USFWS Self-Certification PR-CRP-00783

6. Rebuilding of demolished single-family homes or buildings, provided that the new construction is within the existing footprint of the previous structure and/or within pre- existing grassed or paved areas, and that the lighting associated to the new facilities are not visible directly or indirectly from a beach.
7. Activities within existing Right of Ways (ROWs) of roads, bridges and highways, when limited to actions that do not involve cutting native vegetation or mayor earth moving; and are not located within, or adjacent to, drainages, wetlands, or aquatic systems. These activities include the installation of potable water and sanitary pipelines.
8. Improvements to existing recreational facilities, including the installation of roofs to existing basketball courts, provided that the lighting associated to the facilities are not visible directly or indirectly from the beach.
9. Construction of electric underground systems in existing towns and communities, provided that the property is not a wetland area and the lighting associated to the facilities are not visible directly or indirectly from the beach.
10. Construction of facilities on vacant properties covered with grasses in urban areas, provided that the lighting associated to the facilities are not visible directly or indirectly from the beach.
11. Construction of houses, buildings or acquiring lands in urban areas covered by grass for relocation of low-income families and/or facilities that have been affected by weather conditions.

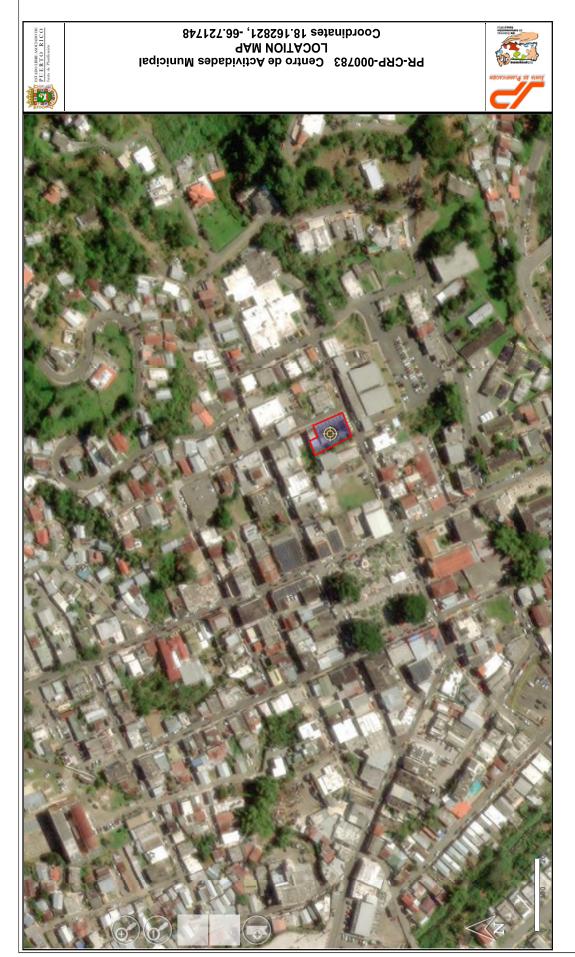
Inselfe

Ángel G. López-Guzmán Deputy Director Permits and Environmental Compliance Division

Office of Disaster Recovery Address: P.O. Box 21365 San Juan, PR 00928 Telephone and Ext: 787-274-2527 ext. 4320 Email: <u>environmentcdbg@vivienda.pr.gov</u>

-an- 24,2024

Date



https://gis.jp.pr.gov/mipr/



# United States Department of the Interior

FISH AND WILDLIFE SERVICE Caribbean Ecological Services Field Office Post Office Box 491 Boqueron, PR 00622-0491 Phone: (787) 834-1600 Fax: (787) 851-7440 Email Address: <u>CARIBBEAN ES@FWS.GOV</u>



August 25, 2023

In Reply Refer To: Project code: 2023-0121292 Project Name: Centro de Actividades Municipales Adjuntas

Subject: Consistency letter for the project named 'Centro de Actividades Municipales Adjuntas' for specified threatened and endangered species, that may occur in your proposed project location, pursuant to the IPaC determination key titled Caribbean Determination Key (DKey).

Dear Applicant:

Thank you for using the assisted evaluation keys in IPaC. This letter is provided pursuant to the Service's authority under the Endangered Species Act of 1973, as amended (ESA) (87 Stat. 884; 16 U.S.C. 1531et seq.). On August 25, 2023, Keyla Pacheco used the Caribbean DKey; dated February 08, 2023, in the U.S. Fish and Wildlife Service's online <u>IPaC application</u> to evaluate potential impacts to federally listed species, from a project named 'Centro de Actividades Municipales Adjuntas'. The project is located in Adjuntas County, Puerto Rico (shown below).

The approximate location of the project can be viewed in Google Maps: <u>https://www.google.com/maps/@18.1629037,-66.72186871360935,14z</u>



The following description was provided for the project 'Centro de Actividades Municipales Adjuntas':

This project proposes the reconstruction of a deteriorated historic building, built in concrete in 1911 and severely impacted by hurricanes Irma and María in 2017. The purpose of this undertaking, called "Centro de Actividades Municipales" (PR-CRP-000793), is to provide a public building for renting activity rooms at low cost. The building is located on César González Street, at the corner with Progreso Street, at coordinates (18.162821, -66.721748) within the Adjuntas Traditional Urban Center. The roof was originally built in wood and zinc and is missing, with remanents still inside of the building. The second story and interior walls were also destroyed by hurricane winds. Each level has an approximate area of 5,744 square feet. The lower level will be divided into three separate rooms with slidingwall dividers to adjust the capacity of each room. Each room will have a direct emergency exit. An administration and security office will be located at the main entrance to the building. The second story will include two rooms, one of them an art gallery for local artists and artisans. A rooftop terrace will be built atop the wing structure to the left of the entrance, providing a visual connection with nature and the Adjuntas Traditional Urban Center. The first level of this side structure will be used for storage. The building will use solar energy, including storage space for batteries and renewable energy equipment. A structural evaluation is essential for providing independent support to the new roof, to be built with durable and cost-effective materials. A spacious elevator will be added to the structure.

Based on your answers and the assistance of the Service's Caribbean DKey, you determined the proposed Action will have "No Effect" on the following species:

Species	Listing Status	Determination
Puerto Rican Boa (Chilabothrus inornatus)	Endangered	No effect

Thank you for informing the Service of your "No Effect" determination(s) for this project. No further consultation/coordination for this project is required for these species. However, be aware that reinitiation of consultation may be necessary if later modifications are made to the project so that it no longer meets the criteria or outcome described above, or if new information reveals effects of the action that could affect listed species or critical habitat in a manner or to an extent not previously considered, or if a new species is listed.

This letter serves as documentation of your consideration of the federally listed species as required under section 7 of the ESA. However, effects to the other federally listed species or critical habitat as listed below from the "IPaC print-out for the project" (see below) should be considered as part of your ESA review for the project.

The Service will notify you within 30 calendar days if we determine that this proposed Action does not meet the criteria for a "No Effect" (NE) determination for Federally listed species in the Caribbean. If we do not notify you within that timeframe, you may proceed with the Action under the terms of the NE concurrence provided here. This verification period allows the

Caribbean Ecological Services Field Office to apply local knowledge to evaluate the Action, as we may identify a small subset of actions having unanticipated impacts. In such instances, the Caribbean Ecological Services Field Office may request additional information to verify the effects determination reached through the DKey.

**Note:** Projects located within the range of the Puerto Rican boa or the Virgin Islands tree boa might encounter these species during project activities. **This letter does not provide take to handle or move these species**. If relocation of the species is needed, please contact either the Puerto Rico Department of Natural Resources (DNER) at 787-724-5700, 787-230-5550, or 787-771-1124 for projects in Puerto Rico, or the Virgin Islands Department of Planning and Natural Resources, Division of Fish and Wildlife (DFW) at 340-775-6762 for projects in the Virgin Islands. Otherwise, contact the Caribbean Ecological Services Field Office (caribbean\_es@fws.gov) to determine whether the consultation needs to be reinitiated.

In addition to the species listed above, the following species and/or critical habitats may also occur in your project area and **are not** covered by this conclusion. Effects to the other federally listed species or critical habitat as listed below should be considered as part of your ESA review for the project.

- Puerto Rican Broad-winged Hawk Buteo platypterus brunnescens Endangered
- Puerto Rican Parrot Amazona vittata Endangered
- Puerto Rican Sharp-shinned Hawk Accipiter striatus venator Endangered

If the proposed project is located within species range where a DKey has not been developed for those species, please follow the established guidance for initiating section 7 consultation Caribbean Ecological Services Field Office.

We appreciate your interest in protecting endangered species and their habitats. It is the Service's mission to work with others to conserve, protect, and enhance fish, wildlife, and plants and their habitats for the continuing benefit of our people. If you have any questions or require additional information, please contact our office at Caribbean\_es@fws.gov.

#### **Action Description**

You provided to IPaC the following name and description for the subject Action.

#### 1. Name

Centro de Actividades Municipales Adjuntas

#### 2. Description

The following description was provided for the project 'Centro de Actividades Municipales Adjuntas':

This project proposes the reconstruction of a deteriorated historic building, built in concrete in 1911 and severely impacted by hurricanes Irma and María in 2017. The purpose of this undertaking, called "Centro de Actividades Municipales" (PR-CRP-000793), is to provide a public building for renting activity rooms at low cost. The building is located on César González Street, at the corner with Progreso Street, at coordinates (18.162821, -66.721748) within the AdjuntasTraditional Urban Center. The roof was originally built in wood and zinc and is missing, with remanents still inside of the building. The second story and interior walls were also destroyed by hurricane winds. Each level has an approximate area of 5,744 square feet. The lower level will be divided into three separate rooms with slidingwall dividers to adjust the capacity of each room. Each room will have a direct emergency exit. An administration and security office will be located at the main entrance to the building. The second story will include two rooms, one of them an art gallery for local artists and artisans. A rooftop terrace will be built atop the wing structure to the left of the entrance, providing a visual connection with nature and the Adjuntas Traditional Urban Center. The first level of this side structure will be used for storage. The building will use solar energy, including storage space for batteries and renewable energy equipment. A structural evaluation is essential for providing independent support to the new roof, to be built with durable and cost-effective materials. A spacious elevator will be added to the structure.

The approximate location of the project can be viewed in Google Maps: <u>https://www.google.com/maps/@18.1629037,-66.72186871360935,14z</u>



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# **QUALIFICATION INTERVIEW**

1. Is the proposed project an EPA Multi-Sector General Permit (MSGP) renewal for an existing project? (MSGP Fact Sheet)

No

- 2. Is the proposed project within an urban developed area? (i.e., cities, downtowns, etc.) *Yes*
- 3. [Hidden Semantic] Does the proposed project intersect the Puerto Rican boa area of influence?

Automatically answered *Yes* 

# **IPAC USER CONTACT INFORMATION**

Agency:ACE EnvironmentalName:Keyla PachecoAddress:ACEnvironmental Inc. - 58 Calle Salvador BrauCity:Cabo RojoState:PRZip:00623Emailkpacheco.ace@gmail.comPhone:7876884945

# LEAD AGENCY CONTACT INFORMATION

Lead Agency: Administracion de Vivienda Publica

# CENTRO DE ACTIVIDADES MUNICIPALES ADJUNTAS

# **BIOLOGICAL ANALYSIS**

Prepared using IPaC Generated by Keyla Pacheco (kpacheco.ace@gmail.com) August 25, 2023

The purpose of this document is to assess the effects of the proposed project and determine whether the project may affect any federally threatened, endangered, proposed, or candidate species. If appropriate for the project, this document may be used as a biological assessment (BA), as it is prepared in accordance with legal requirements set forth under <u>Section 7 of the Endangered Species Act (16 U.S.C. 1536 (c))</u>.

In this document, any data provided by U.S. Fish and Wildlife Service is based on data as of August 25, 2023.

Prepared using IPaC version 6.96.0-rc4

# CENTRO DE ACTIVIDADES MUNICIPALES ADJUNTAS BIOLOGICAL ASSESSMENT

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# **1 DESCRIPTION OF THE ACTION**

# **1.1 PROJECT NAME**

Centro de Actividades Municipales Adjuntas

# **1.2 EXECUTIVE SUMMARY**

This project proposes the reconstruction of a deteriorated historic building, built in concrete in 1911 and severely impacted by hurricanes Irma and María in 2017. The purpose of this undertaking, called Centro de Actividades Municipal, is to provide a public building for renting activity rooms at low cost. The building is located on César González Street, at the corner with Progreso Street, at coordinates (18.162821, -66.721748) within the Adjuntas Traditional Urban Center. The proposed project will be conducted in a developed urban area and thus would have no effect on any natural habitats or federally protected species.

SPECIES (COMMON NAME)	SCIENTIFIC NAME	LISTING STATUS	PRESENT IN ACTION AREA	EFFECT DETERMINATION
Puerto Rican Boa <sup>†</sup> . This species or critical habitat is covered by a DKey.	Chilabothrus inornatus	Endangered		NE
<u>Puerto Rican Broad-</u> winged Hawk	Buteo platypterus brunnescens	Endangered	No	NE
Puerto Rican Parrot	Amazona vittata	Endangered	No	NE
<u>Puerto Rican Sharp-</u> <u>shinned Hawk</u>	Accipiter striatus venator	Endangered	No	NE

# **1.3 EFFECT DETERMINATION SUMMARY**

<sup>†</sup> This species or critical habitat is covered by a DKey.

# **1.4 PROJECT DESCRIPTION**

## 1.4.1 LOCATION



**LOCATION** Adjuntas County, Puerto Rico

# **1.4.2 DESCRIPTION OF PROJECT HABITAT**

No habitat present at sthis site, it is a developed building.

#### **1.4.3 PROJECT PROPONENT INFORMATION**

Provide information regarding who is proposing to conduct the project, and their contact information. Please provide details on whether there is a Federal nexus.

#### **REQUESTING AGENCY**

ACE Environmental

#### FULL NAME Keyla Pacheco

#### STREET ADDRESS

ACEnvironmental Inc. - 58 Calle Salvador Brau

CITY	STATE	ZIP
Cabo Rojo	PR	00623

**PHONE NUMBER** 7876884945 E-MAIL ADDRESS kpacheco.ace@gmail.com

#### LEAD AGENCY

Puerto Rico Department of Housing

Administracion de Vivienda Publica

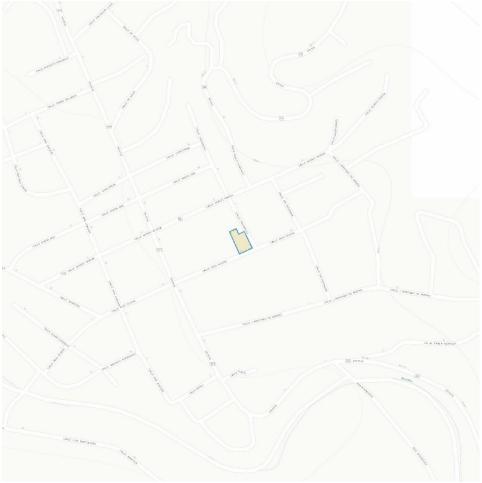
#### **1.4.4 PROJECT PURPOSE**

This project proposes the reconstruction of a deteriorated historic building, built in concrete in 1911 and severely impacted by hurricanes Irma and María in 2017. The purpose of this undertaking, called Centro de Actividades Municipal (PR-CRP-000793), is to provide a public building for renting activity rooms at low cost. The building is located on César González Street, at the corner with Progreso Street, at coordinates (18.162821, -66.721748) within the Adjuntas Traditional Urban Center. The roof was originally built in wood and zinc and is missing, with remnants still inside of the building. The second story and interior walls were also destroyed by hurricane winds. Each level has an approximate area of 5,744square feet. The lower level will be divided into three separate rooms withsliding-wall dividers to adjust the capacity of each room. Each room will have a direct emergency exit. An administration and security office will be located at the main entrance to the building. The second story will include two rooms, one of them an art gallery for local artists and artisans. A rooftop terracewill be built atop the wing structure to the left of the entrance, providing a visual connection with nature and the Adjuntas Traditional Urban Center. The first level of this side structure will be used for storage. The building will use solar energy, including storage space for batteries and renewable energy equipment. A structural evaluation is essential for providing independent support to the new roof, to be built with durable and cost-effective materials. A spacious elevator will be added to the structure. The proposed project will preserve the original architectural design with arch entrances and second-story rectangular windows, each with its own small balcony. The project will preserve the original design in its exterior architectural splendor, including paint color, with a modern touch inside.

### **1.4.5 PROJECT TYPE AND DECONSTRUCTION**

This project is a activity center project.

#### 1.4.5.1 PROJECT MAP



#### LEGEND

Project footprint

Activity Center: Activity center (structure)

#### **1.4.5.2 ACTIVITY CENTER**

#### STRUCTURE COMPLETION DATE

Unspecified

#### **REMOVAL/DECOMMISSION DATE (IF APPLICABLE)**

Not applicable

#### STRESSORS

This activity is not expected to have any impact on the environment.

#### DESCRIPTION

This project proposes the reconstruction of a deteriorated historic building, built in concrete in 1911 and severely impacted by hurricanes Irma and María in 2017. The purpose of this undertaking, called Centro de Actividades Municipal (PR-CRP-000793), is to provide a public building for renting activity rooms at low cost. The building is located on César González Street, at the corner with Progreso Street, at coordinates (18.162821, -66.721748) within the Adjuntas Traditional Urban Center. The roof was originally built in wood and zinc and is missing, with remnants still inside of the building. The second story and interior walls were also destroyed by hurricane winds. Each level has an approximate area of 5,744 square feet.

#### **1.4.6 ANTICIPATED ENVIRONMENTAL STRESSORS**

Describe the anticipated effects of your proposed project on the aspects of the land, air and water that will occur due to the activities above. These should be based on the activity deconstructions done in the previous section and will be used to inform the action area.

# **1.5 ACTION AREA**



#### LEGEND



Project footprint

Stressor location

# **1.6 CONSERVATION MEASURES**

Describe any proposed measures being implemented as part of the project that are designed to reduce the impacts to the environment and their resulting effects to listed species. To avoid extra verbiage, don't list measures that have no relevance to the species being analyzed.

No conservation measures have been selected for this project.

# **1.7 PRIOR CONSULTATION HISTORY**

None

# **1.8 OTHER AGENCY PARTNERS AND INTERESTED PARTIES**

Municipality of Adjuntas

Apartado 1009

Adjuntas, PR 00601

### 1.9 OTHER REPORTS AND HELPFUL INFORMATION None

# **2 SPECIES EFFECTS ANALYSIS**

This section describes, species by species, the effects of the proposed action on listed, proposed, and candidate species, and the habitat on which they depend. In this document, effects are broken down as direct interactions (something happening directly to the species) or indirect interactions (something happening to the environment on which a species depends that could then result in effects to the species).

These interactions encompass effects that occur both during project construction and those which could be ongoing after the project is finished. All effects, however, should be considered, including effects from direct and indirect interactions and cumulative effects.

# 2.1 PUERTO RICAN BROAD-WINGED HAWK

This species has been excluded from analysis in this environmental review document.

#### JUSTIFICATION FOR EXCLUSION

The project site is within a developed area, the new construction will take place within the existing footprint. A site visit was conducted on August 25, 2023 and the Puerto Rican Broad-winged Hawk was not observed within the project area.

# 2.2 PUERTO RICAN PARROT

This species has been excluded from analysis in this environmental review document.

#### JUSTIFICATION FOR EXCLUSION

The project site is within a developed area, the new construction will take place within the existing footprint. A site visit was conducted on August 25, 2023 and the Puerto Rican Parrot was not observed within the project area.

# **2.3 PUERTO RICAN SHARP-SHINNED HAWK**

This species has been excluded from analysis in this environmental review document.

#### JUSTIFICATION FOR EXCLUSION

The project site is within a developed area, the new construction will take place within the existing footprint. A site visit was conducted on August 25, 2023 and the Puerto Rican Sharp-shinned Hawk was not observed within the project area.

# **3 CRITICAL HABITAT EFFECTS ANALYSIS**

No critical habitats intersect with the project action area.

# **4 SUMMARY DISCUSSION AND CONCLUSION**

### **4.1 SUMMARY DISCUSSION**

The proposed project site is entirely developed located in an urban area of the Municipality of Adjuntas. There are no critical habitats within the project site to support habitat requirements for the listed species. The proposed project will be conducted in a developed urban area and thus would have no effect on any natural habitats or federally protected species.

### **4.2 CONCLUSION**

The proposed project site is entirely developed located in an urban area of the Municipality of Adjuntas. There are no critical habitats within the project site to support habitat requirements. The proposed project will be conducted in a developed urban area and thus would have no effect on any natural habitats or federally protected species. Based on the above, it is concluded that the proposed project will have no effect on any federally listed species or designated critical habitat.



In Reply Refer To:

### United States Department of the Interior

FISH AND WILDLIFE SERVICE Caribbean Ecological Services Field Office Post Office Box 491 Boqueron, PR 00622-0491 Phone: (787) 834-1600 Fax: (787) 851-7440 Email Address: <u>CARIBBEAN ES@FWS.GOV</u>



August 24, 2023

Subject: List of threatened and endangered species that may occur in your proposed project location or may be affected by your proposed project

To Whom It May Concern:

Project Code: 2023-0121292

Project Name: Centro de Actividades Municipales Adjuntas

#### \*THE FOLLOWING SPECIES LIST IS NOT A SECTION 7 CONSULTATION. PLEASE CONTACT OUR OFFICE TO COMPLETE THE CONSULTATION PROCESS\*

The purpose of the Endangered Species Act (Act) is to provide a means whereby threatened, and endangered species and the ecosystems upon which they depend may be conserved. Under sections 7(a)(1) and 7(a)(2) of the Act and its implementing regulations (50 CFR 402 et seq.), Federal agencies are required to utilize their authorities to carry out programs for the conservation of threatened and endangered species and to determine whether projects may affect those species and/or their designated critical habitat.

Federal agencies are required to "request of the Secretary of Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action". The enclosed species list provides information to assist with the U.S. Fish and Wildlife Service (Service) consultation process under section 7 of the Act. However, **the enclosed species list does not complete the required consultation process.** The species list identifies threatened, endangered, proposed and candidate species, as well as proposed and designated critical habitats, that may occur within the boundary of your proposed project and/or may be affected by your proposed project. A discussion between the Federal agency and the Service should include what types of listed species may occur in the proposed action area and what effect the proposed action may have on those species. This process initiates informal consultation.

Once a species list is obtained for the proposed project, an effect determination for endangered and threatened species should be made. The applicant could make an effect determination by using available keys on IPaC for specific species. For species with no determination keys, the applicant should request concurrence from the Service by sending a project package to <u>caribbean\_es@fws.gov</u>. To obtain guidance for completing this process and the minimum requirements for project packages, please visit:

#### https://www.fws.gov/sites/default/files/documents/consultation-under-section-7-of-theendangered-species-act-with-the-caribbean-ecological%20Services-field-office-templateletter.pdf

When a federal agency, after discussions with the Service, determines that the proposed action is not likely to adversely affect any listed species, or adversely modify any designated critical habitat, and the Service concurs, the informal consultation is complete, and the proposed project moves ahead. If the proposed action is suspected to affect a listed species or modify designated critical habitat, the Federal agency may then prepare a Biological Assessment (B.A.) to assist in its determination of the project's effects on species and their habitat. However, a B.A. is required for construction projects (or other undertakings having similar physical impacts) that are major Federal actions significantly affecting the quality of the human environment as defined in the National Environmental Policy Act (42 U.S.C. 4332(2) (c)). For projects other than major construction activities, the Service suggests that a biological evaluation similar to a B.A. where the agency provides the Service with an evaluation on the likely effects of the action to determine whether the project may affect listed or proposed species and/or designated or proposed critical habitat. Recommended contents of a B.A. are described at 50 CFR 402.12.

If a federal agency determines, based on its B.A. or biological evaluation, that listed species and/ or designated critical habitat may be affected by the proposed project, the agency is required to further consult with the Service pursuant to 50 CFR 402. In addition, the Service recommends that candidate species, proposed species, and proposed critical habitat be addressed within the consultation process. More information on the regulations and procedures for section 7 consultation, including the role of permit or license applicants, can be found in the "Endangered Species Consultation Handbook" at:

#### https://www.fws.gov/sites/default/files/documents/endangered-species-consultationhandbook.pdf

New information based on updated surveys, changes in the abundance and distribution of species, changed habitat conditions, or other factors could change this list. Please feel free to contact us if you need more current information or assistance regarding the potential impacts to federally proposed, listed, and candidate species.

This list is provided pursuant to Section 7 of the Endangered Species Act and fulfills the requirement for Federal agencies to "request of the Secretary of the Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action". Please use this list to determine whether your project requires consultation and to make your effects determination. For more guidance, use the Guideline for Consultation under Section 7 of the Endangered Species Act with the Caribbean Ecological Services Field Office by clicking here.

This species list is provided by:

Caribbean Ecological Services Field Office caribbean es@fws.gov Post Office Box 491 Boqueron, PR 00622-0491 (786) 244-0081

Attachment(s):

- Official Species List
- USFWS National Wildlife Refuges and Fish Hatcheries
- Migratory Birds
- Wetlands

# **OFFICIAL SPECIES LIST**

This list is provided pursuant to Section 7 of the Endangered Species Act, and fulfills the requirement for Federal agencies to "request of the Secretary of the Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action".

This species list is provided by:

#### **Caribbean Ecological Services Field Office**

Post Office Box 491 Boqueron, PR 00622-0491 (787) 834-1600

### **PROJECT SUMMARY**

Project Code:	2023-0121292
Project Name:	Centro de Actividades Municipales Adjuntas
Project Type:	Government / Municipal (Non-Military) Construction
Project Description:	
5 1	building, built in concrete in 1911 and severely impacted by hurricanes
	Irma and María in 2017. The purpose of this undertaking, called "Centro
	de Actividades Municipales" (PR-CRP-000793), is to provide a public
	building for renting activity rooms at low cost. The building is located on
	César González Street, at the corner with Progreso Street, at coordinates
	(18.162821, -66.721748) within the AdjuntasTraditional Urban Center.
	The roof was originally built in wood and zinc and is missing, with
	remanents still inside of the building. The second story and interior walls
	were also destroyed by hurricane winds. Each level has an approximate
	area of 5,744 square feet. The lower level will be divided into three
	separate rooms with sliding-wall dividers to adjust the capacity of each
	room. Each room will have a direct emergency exit. An administration
	and security office will be located at the main entrance to the building.
	The second story will include two rooms, one of them an art gallery for
	local artists and artisans. A rooftop terrace will be built atop the wing
	structure to the left of the entrance, providing a visual connection with
	nature and the Adjuntas Traditional Urban Center. The first level of this
	side structure will be used for storage. The
	building will use solar energy, including storage space for batteries and
	renewable energy
	equipment. A structural evaluation is essential for providing independent
	support to the new roof, to be built with durable and cost-effective
Project Location:	materials. A spacious elevator will be added to the structure.
0	location of the project can be viewed in Coogle Mans: https://

The approximate location of the project can be viewed in Google Maps: <u>https://www.google.com/maps/@18.1629037,-66.72186871360935,14z</u>



Counties: Adjuntas County, Puerto Rico

### **ENDANGERED SPECIES ACT SPECIES**

There is a total of 4 threatened, endangered, or candidate species on this species list.

Species on this list should be considered in an effects analysis for your project and could include species that exist in another geographic area. For example, certain fish may appear on the species list because a project could affect downstream species.

IPaC does not display listed species or critical habitats under the sole jurisdiction of NOAA Fisheries<sup>1</sup>, as USFWS does not have the authority to speak on behalf of NOAA and the Department of Commerce.

See the "Critical habitats" section below for those critical habitats that lie wholly or partially within your project area under this office's jurisdiction. Please contact the designated FWS office if you have questions.

1. <u>NOAA Fisheries</u>, also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

#### BIRDS

NAME	STATUS
Puerto Rican Broad-winged Hawk <i>Buteo platypterus brunnescens</i> No critical habitat has been designated for this species. Species profile: <u>https://ecos.fws.gov/ecp/species/5512</u>	Endangered
Puerto Rican Parrot <i>Amazona vittata</i> No critical habitat has been designated for this species. Species profile: <u>https://ecos.fws.gov/ecp/species/3067</u>	Endangered
Puerto Rican Sharp-shinned Hawk Accipiter striatus venator No critical habitat has been designated for this species. Species profile: <u>https://ecos.fws.gov/ecp/species/604</u>	Endangered

#### REPTILES

NAME	STATUS
Puerto Rican Boa Chilabothrus inornatus	Endangered
No critical habitat has been designated for this species.	
Species profile: <u>https://ecos.fws.gov/ecp/species/6628</u>	
General project design guidelines:	
https://ipac.ecosphere.fws.gov/project/WK3AL3T3AJHKVEJWUEKP7MT2IY/documents	<u>s/</u>
generated/6941.pdf	

#### **CRITICAL HABITATS**

THERE ARE NO CRITICAL HABITATS WITHIN YOUR PROJECT AREA UNDER THIS OFFICE'S JURISDICTION.

YOU ARE STILL REQUIRED TO DETERMINE IF YOUR PROJECT(S) MAY HAVE EFFECTS ON ALL ABOVE LISTED SPECIES.

# USFWS NATIONAL WILDLIFE REFUGE LANDS AND FISH HATCHERIES

Any activity proposed on lands managed by the <u>National Wildlife Refuge</u> system must undergo a 'Compatibility Determination' conducted by the Refuge. Please contact the individual Refuges to discuss any questions or concerns.

THERE ARE NO REFUGE LANDS OR FISH HATCHERIES WITHIN YOUR PROJECT AREA.

### **MIGRATORY BIRDS**

Certain birds are protected under the Migratory Bird Treaty  $Act^{1}$  and the Bald and Golden Eagle Protection  $Act^{2}$ .

Any person or organization who plans or conducts activities that may result in impacts to migratory birds, eagles, and their habitats should follow appropriate regulations and consider implementing appropriate conservation measures, as described <u>below</u>.

- 1. The Migratory Birds Treaty Act of 1918.
- 2. The <u>Bald and Golden Eagle Protection Act</u> of 1940.
- 3. 50 C.F.R. Sec. 10.12 and 16 U.S.C. Sec. 668(a)

THERE ARE NO FWS MIGRATORY BIRDS OF CONCERN WITHIN THE VICINITY OF YOUR PROJECT AREA.

#### **MIGRATORY BIRDS FAQ**

# Tell me more about conservation measures I can implement to avoid or minimize impacts to migratory birds.

<u>Nationwide Conservation Measures</u> describes measures that can help avoid and minimize impacts to all birds at any location year round. Implementation of these measures is particularly important when birds are most likely to occur in the project area. When birds may be breeding in the area, identifying the locations of any active nests and avoiding their destruction is a very helpful impact minimization measure. To see when birds are most likely to occur and be breeding in your project area, view the Probability of Presence Summary. <u>Additional measures</u> or <u>permits</u> may be advisable depending on the type of activity you are conducting and the type of infrastructure or bird species present on your project site.

# What does IPaC use to generate the list of migratory birds that potentially occur in my specified location?

The Migratory Bird Resource List is comprised of USFWS <u>Birds of Conservation Concern</u> (<u>BCC</u>) and other species that may warrant special attention in your project location.

The migratory bird list generated for your project is derived from data provided by the <u>Avian</u> <u>Knowledge Network (AKN)</u>. The AKN data is based on a growing collection of <u>survey</u>, <u>banding</u>, <u>and citizen science datasets</u> and is queried and filtered to return a list of those birds reported as occurring in the 10km grid cell(s) which your project intersects, and that have been identified as warranting special attention because they are a BCC species in that area, an eagle (<u>Eagle Act</u> requirements may apply), or a species that has a particular vulnerability to offshore activities or development.

Again, the Migratory Bird Resource list includes only a subset of birds that may occur in your project area. It is not representative of all birds that may occur in your project area. To get a list of all birds potentially present in your project area, please visit the <u>Rapid Avian Information</u> <u>Locator (RAIL) Tool</u>.

# What does IPaC use to generate the probability of presence graphs for the migratory birds potentially occurring in my specified location?

The probability of presence graphs associated with your migratory bird list are based on data provided by the <u>Avian Knowledge Network (AKN)</u>. This data is derived from a growing collection of <u>survey, banding, and citizen science datasets</u>.

Probability of presence data is continuously being updated as new and better information becomes available. To learn more about how the probability of presence graphs are produced and how to interpret them, go the Probability of Presence Summary and then click on the "Tell me about these graphs" link.

#### How do I know if a bird is breeding, wintering or migrating in my area?

To see what part of a particular bird's range your project area falls within (i.e. breeding, wintering, migrating or year-round), you may query your location using the <u>RAIL Tool</u> and look at the range maps provided for birds in your area at the bottom of the profiles provided for each bird in your results. If a bird on your migratory bird species list has a breeding season associated with it, if that bird does occur in your project area, there may be nests present at some point within the timeframe specified. If "Breeds elsewhere" is indicated, then the bird likely does not breed in your project area.

#### What are the levels of concern for migratory birds?

Migratory birds delivered through IPaC fall into the following distinct categories of concern:

- 1. "BCC Rangewide" birds are <u>Birds of Conservation Concern</u> (BCC) that are of concern throughout their range anywhere within the USA (including Hawaii, the Pacific Islands, Puerto Rico, and the Virgin Islands);
- 2. "BCC BCR" birds are BCCs that are of concern only in particular Bird Conservation Regions (BCRs) in the continental USA; and
- 3. "Non-BCC Vulnerable" birds are not BCC species in your project area, but appear on your list either because of the <u>Eagle Act</u> requirements (for eagles) or (for non-eagles) potential susceptibilities in offshore areas from certain types of development or activities (e.g. offshore energy development or longline fishing).

Although it is important to try to avoid and minimize impacts to all birds, efforts should be made, in particular, to avoid and minimize impacts to the birds on this list, especially eagles and BCC species of rangewide concern. For more information on conservation measures you can implement to help avoid and minimize migratory bird impacts and requirements for eagles, please see the FAQs for these topics.

#### Details about birds that are potentially affected by offshore projects

For additional details about the relative occurrence and abundance of both individual bird species and groups of bird species within your project area off the Atlantic Coast, please visit the <u>Northeast Ocean Data Portal</u>. The Portal also offers data and information about other taxa besides birds that may be helpful to you in your project review. Alternately, you may download the bird model results files underlying the portal maps through the <u>NOAA NCCOS Integrative Statistical</u> <u>Modeling and Predictive Mapping of Marine Bird Distributions and Abundance on the Atlantic Outer Continental Shelf</u> project webpage.

Bird tracking data can also provide additional details about occurrence and habitat use throughout the year, including migration. Models relying on survey data may not include this information. For additional information on marine bird tracking data, see the <u>Diving Bird Study</u> and the <u>nanotag studies</u> or contact <u>Caleb Spiegel</u> or <u>Pam Loring</u>.

#### What if I have eagles on my list?

If your project has the potential to disturb or kill eagles, you may need to <u>obtain a permit</u> to avoid violating the Eagle Act should such impacts occur.

#### Proper Interpretation and Use of Your Migratory Bird Report

The migratory bird list generated is not a list of all birds in your project area, only a subset of birds of priority concern. To learn more about how your list is generated, and see options for identifying what other birds may be in your project area, please see the FAQ "What does IPaC use to generate the migratory birds potentially occurring in my specified location". Please be aware this report provides the "probability of presence" of birds within the 10 km grid cell(s) that overlap your project; not your exact project footprint. On the graphs provided, please also look carefully at the survey effort (indicated by the black vertical bar) and for the existence of the "no data" indicator (a red horizontal bar). A high survey effort is the key component. If the survey effort is high, then the probability of presence score can be viewed as more dependable. In contrast, a low survey effort bar or no data bar means a lack of data and, therefore, a lack of certainty about presence of the species. This list is not perfect; it is simply a starting point for identifying what birds of concern have the potential to be in your project area, when they might be there, and if they might be breeding (which means nests might be present). The list helps you know what to look for to confirm presence, and helps guide you in knowing when to implement conservation measures to avoid or minimize potential impacts from your project activities, should presence be confirmed. To learn more about conservation measures, visit the FAQ "Tell me about conservation measures I can implement to avoid or minimize impacts to migratory birds" at the bottom of your migratory bird trust resources page.

# WETLANDS

Impacts to <u>NWI wetlands</u> and other aquatic habitats may be subject to regulation under Section 404 of the Clean Water Act, or other State/Federal statutes.

For more information please contact the Regulatory Program of the local <u>U.S. Army Corps of</u> <u>Engineers District</u>.

Please note that the NWI data being shown may be out of date. We are currently working to update our NWI data set. We recommend you verify these results with a site visit to determine the actual extent of wetlands on site.

THERE ARE NO WETLANDS WITHIN YOUR PROJECT AREA.

### **IPAC USER CONTACT INFORMATION**

Agency: ACE Environmental

Name: Keyla Pacheco

Address: ACEnvironmental Inc. - 58 Calle Salvador Brau

City: Cabo Rojo

State: PR

Zip: 00623

Email kpacheco.ace@gmail.com

Phone: 7876884945

### LEAD AGENCY CONTACT INFORMATION

Lead Agency: Administracion de Vivienda Publica

# Appendix D



### GOVERNMENT OF PUERTO RICO

STATE HISTORIC PRESERVATION OFFICE

Executive Director | Carlos A. Rubio Cancela | carubio@prshpo.pr.gov

Thursday, August 22, 2024

### Lauren B Poche

269 Avenida Ponce de León, San Juan, PR, 00917

SHPO-CF-07-25-24-01 PR-CRP-000783 (Adjuntas) - Centro de Actividades Municipal

Dear Ms. Poche,

We have reviewed the revised archaeological evaluation and monitoring work plan (revised July 17, 2024) prepared for the above referenced project. The plan is deemed acceptable.

If you have any questions, please do not hesitate to contact our Office.

Sincerely,

my aparti

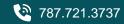
Carlos A. Rubio Cancela State Historic Preservation Officer CARC/GMO/ MB



OFICINA ESTATAL DE CONSERVACIÓN HISTÓRICA OFICINA DEL GOBERNADOR

STATE HISTORIC PRESERVATION OFFICE OFFICE OF THE GOVERNOR

Cuartel de Ballajá (Tercer Piso), Calle Norzagaray, Esq. Beneficencia, Viejo San Juan, PR 00901 | PO Box 9023935, San Juan, PR 00902-3935





GOVERNMENT OF PUERTO RICO DEPARTMENT OF HOUSING

April 30, 2024

#### Arch. Carlos A. Rubio Cancela

Executive Director Puerto Rico State Historic Preservation Office Cuartel de Ballajá, Third Floor San Juan, Puerto Rico 00901

#### Re: Authorization to Submit Documents for Consultation

Dear Arch. Rubio Cancela,

The U.S. Department of Housing (HUD) approved the allocations of Community Development Block Grant (CDBG-DR) funds on February 9, 2018. It also approved the allocation of Community Development Block Grant Mitigation (CDBG-MIT) funds on January 27, 2020. The purpose of these allocations is to address unsatisfied needs as a result of Hurricanes Irma and Maria in September 2017; and to carry out strategic and high-impact activities to mitigate disaster risks and reduce future losses.

To comply with the environmental requirements established by HUD, the Department of Housing of Puerto Rico (PRDOH) contracted Horne Federal LLC to provide environmental review services, among others, that will support the objectives of the agenda for both CDBG-DR and CDBG -MIT Programs.

To expedite the processes, Horne Federal LLC, is authorized to submit to the State Historic Preservation Officer, documentation of projects related to both the CDBG-DR and CDBG-MIT on behalf of PRDOH.

Cordially,

Aldo A. Rivera Vázquez, PE Director Division of Environmental Permitting and Compliance Office of Disaster Recovery



July 25, 2024

Carlos A. Rubio Cancela State Historic Preservation Officer Puerto Rico State Historic Preservation Office Cuartel de Ballajá (Tercer Piso) San Juan, PR 00902-3935

#### Puerto Rico Disaster Recovery, CDBG-DR City Revitalization (City-Rev) Program

Re: SHPO CF-02-22-24-02/06-12-24-03, PR-CRP-000783: Centro de Actividades Municipal Project, Adjuntas, Puerto Rico – Revised Archaeological Evaluation and Monitoring Work Plan

Dear Architect Rubio Cancela,

On behalf of the Puerto Rico Department of Housing (PRDOH), we thank you for your letter dated July 9, 2024, in response to the submission of the proposed *Archaeological Evaluation and Monitoring Work Plan for the Centro de Actividades Municipal Project in Adjuntas, Puerto Rico (PR-CRP-000783/SHPO CF-02-22-24-02)* prepared by Archaeologist Sharon Meléndez-Ortiz, M.A. of HORNE Puerto Rico.

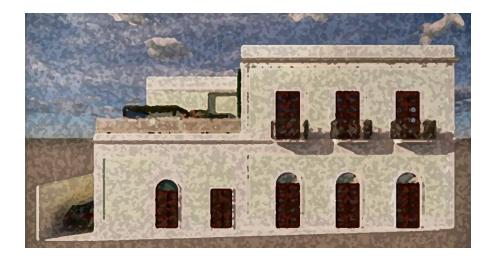
That response noted that the proposed archaeological monitoring during the controlled removal of the floor followed by Phase II archaeological testing was deemed acceptable. It also stated that the results of the testing should be followed by a re-evaluation of the projects effects on if project effects on historic properties. If any of the criteria of adverse effects are met, then the abbreviated consultation process for resolution of adverse effects, as per Stipulation II.C.6.a and Appendix F, Treatment Measure H of the 2016 programmatic agreement, as amended in 2023 should be followed.

Based on your feedback, we have revised the previously submitted plan to reflect those changes and are submitting for your concurrence that the changes are acceptable. We look forward to your response. Please contact me by email at <u>lauren.poche@horne.com</u> or phone at 225-405-7676, or Ms. Sharon Meléndez Ortiz at <u>sharon.melendez@horne.com</u>, with any questions or concerns.

Kindest regards,

**Lauren Bair Poche. M.A.** Architectural Historian, EHP Senior Manager Attachments PRDOH CDBG-DR CRP PROGRAM Centro de Actividades Municipal, Adjuntas Puerto Rico PR-CRP-000783 / SHPO CF-02-22-24-02

# Archaeological Evaluation and Monitoring Work Plan



Prepared by:

Sharon Meléndez Ortiz, M.A. Archaeologist – Horne PR

May 21, 2024 / Revised July 17, 2024

#### I. PREAMBLE

The Municipality of Adjuntas is seeking Community Development Block Grant disaster recovery funds financed by the federal Department of Housing and Urban Development due to damage received by the 2017 Hurricanes Irma and Maria. The Puerto Rico Department of Housing (PRDOH) has established an Agreement between PRDOH and the Municipality of Adjuntas for the City Revitalization Program as part of the Community Development Block Grant for Disaster Recovery (CDBG-DR) Program. The municipality proposes the rehabilitation of a 1911 abandoned two-story Neoclassical building to be used as an activity center. The property is located on César González Street, at the corner with Progreso Street, at coordinates 18.162821, -66.721748, within the Adjuntas Traditional Urban Center (Figures 1 and 2).



Figure 1: Project Location in the Satellite Image

Architect/architectural historian María F. López Schmid and Archaeologists Jesús E. Vega and Roberto G. Muñoz Pando prepared the *Section 106 NHPA Effect Determination Form* for this case on 2023 (revised 2024). The form concluded that the building that will be rehabilitated is eligible to the National Register of Historic Places (NRHP) under Criteria C and D, and that the proposed undertaking will not alter any of the attributes that contribute to the significance of the building. On the contrary, it will have a beneficial effect by providing a new use for the property that will prevent further deterioration of the building thus ensuring its preservation for years to come. The form also concluded that the area under study has a high archaeological potential and recommended that an archaeological evaluation (Phase 2) be carried out.

The SHPO concurred with a determination of No Adverse Effect conditioned to the implementation of a Phase 2 archaeological site-testing in a letter dated February 23, 2024. However, since archaeological work will require securing the building and demolishing part of the concrete floor, it is proposed that the archaeological evaluation be done as part of archaeological monitoring. According to this plan, once the building is secured, demolition of the concrete floor will proceed under archaeological supervision, then the Phase 2 will be implemented, followed by monitoring of the construction work, if so recommended.

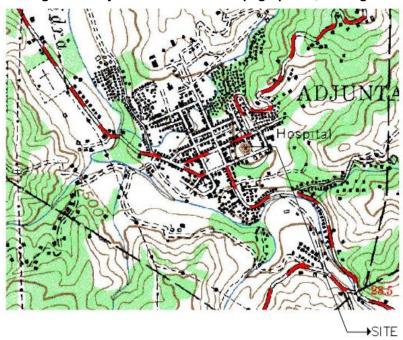


Figure 2: Project Location in the Topographic Quadrangle

This document complies with applicable federal and state laws, regulations, and guidelines, and is consistent with the Secretary of the Interior's (SOI) Guidelines for Archeological Documentation, the Advisory Council on Historic Preservation's (ACHP) recommendations on the recovery of significant information from archaeological sites as updated in 2009, and Regulation #8932 of the Institute of Puerto Rican Culture (ICP).

The objectives of this archaeological evaluation and monitoring plan are: (1) to establish the protocol to be followed in archaeological monitoring; (2) to establish the protocol to be followed if previously unknown resources are identified; (3) to establish the protocol to be followed if there are any unexpected or previously unanticipated adverse effects; and (4) to establish the methodology for the archaeological evaluation. The objectives of archaeological monitoring, according to Regulation #8932 are: (1) locate, evaluate and document archaeological resources during project development; (2) recover as much archaeological information and materials as possible during excavation and construction work; (3) conserve and enhance the value of the archaeological resources located and documented; and (4) in the event that the archaeological resource cannot be conserved in situ, conserve it through documentation.

This plan was prepared by archaeologist Sharon Meléndez Ortiz, who meets the Professional Qualifications Standards set forth in 36 CFR Part 61 and is listed as an archaeologist by the Council for the Protection of Earth Archaeological Heritage (Council) to conduct Phase I, Phase II, and Phase III studies.

#### **II. DESCRIPTION AND HISTORY OF USE OF THE HISTORIC PROPERTY**

The information below is taken from the Section 106 NHPA Effect Determination Form completed by María F. López Schmid, Jesús Vega and Roberto Pando (2023, revised in 2024).

The subject building is located within the Adjuntas Traditional Urban Center, and it is a contributing property to the district. The two-story neo-classical building was built in 1911 for commercial and residential uses. By the mid-20th century, this property was a privately owned supermarket with the upper floor used for residence. Located just one block east of the town plaza, the supermarket had a favorable commercial location within the urban core.

Despite its prime location, the building was abandoned sometime in the late 20th or early 21st century. The building lost its roof around 2013, and the second level floor, doors and windows, interior partitions, were destroyed by hurricanes Irma and María in 2017. Despite this, the exterior elevations remain with sufficient integrity to convey the feeling of an early twenty century historic building in the town of Adjuntas. For this reason, López Schmid (2023: 25) concluded that:

"[...] this building is a good example of its type and is individually eligible for listing in the National Register of Historic Places under Criterion C: Historic Events and Design/Construction of commercial below and family residence above, possessing integrity of location, design, setting, materials, workmanship, feeling and association. The property may also be eligible under Criterion D for the possibility to yield future archaeological information."

This building has façades on César González and Progreso streets. The façade of César González Street has two bays: the corner bay being two stories high and the left bay one story (Photo 1 and Figure 5). There are three doors with arched transoms on the lower level that access the street, and three rectangular doors directly above on the second level that access the front balconies. The concrete balconies have a cornice detail that runs along the wall and the decorative metal railings remain although some have lost pieces. The façade has a concrete parapet with a double corniced overhang on the second level. All the openings and the corners have a simple projecting trim on the concrete that runs continuously and forms a base between the first level doors. A commemorative relief has the building number "914" in a rectangle above the center door. The left side bay contains a one-story wall with an arched transom door opening in the center that is trimmed with simple projecting concrete along the base, top, and corners. The opening has faux stone scoring and a step design around the arch. A commemorative relief above the center opening has the initials "A & S" and the date of construction "1911" below. A door to the right side was added later.

The east-side elevation on Progreso Street has seven arched doors on the first level and rectangular on the second level, both levels with similar trim detail and wood doors (Figure 3 and Photo 1). The center arched door has a relief key detail and on the second level a projecting balcony. The remaining doors on the second level have a ledge railing of similar design to the porch railing.

The building has a reinforced concrete slab on grade foundation and concrete walls. The roof originally had corrugated metal panels over metal beams and trusses supported by a metal structure of round columns and I-beams. The floor in between the levels had metal columns and beams supporting a wood frame. While some of the wood elements remain attached, most of them are on the floor in pieces. Part

of the metal trusses have become loose from the left side wall, and some are on the ground. There is also vegetation growing on the interior walls, floor, and fenestration openings on both levels (Photo 2).

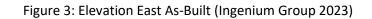


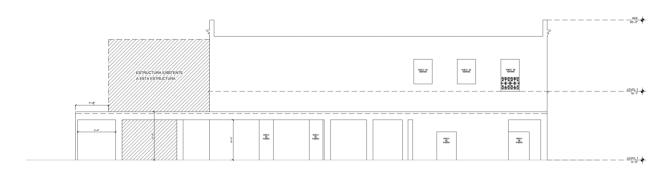
Photo 1: Façades on César González Street (left) and on Progreso Street (right)

Photo 2: Interior views toward the front elevation (left) and rear elevation (right) of the property

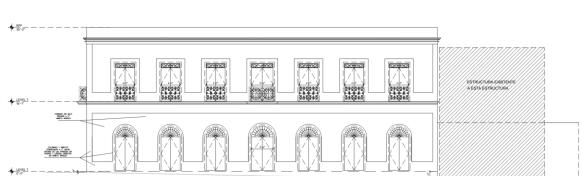


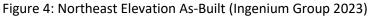
It is unknown what was in the area under study before the construction of this building in 1911. Plans from the late 19th century show the area without buildings. However, these plans typically showed buildings constructed in masonry. Given the location of the property less than 100 m east of the plaza, it is possible that there were bohíos or other types of wooden residences here. According to Vega and Pando (2023: 13 and 28), in the project's area of potential effects is the potential for remnants of nineteenth-century occupations such as foundations, artifactual deposits, cisterns and latrines, as well as architectural and artifactual elements associated with the existing building and the different uses it had over the years.

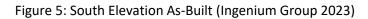


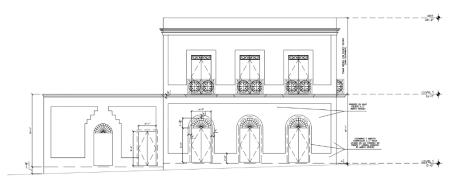


#### 1 ELEVATION EAST AS BUILT SCALE: 3/6" = 7 - 0"









2 SOUTH ELEVATION\_AS BUILT

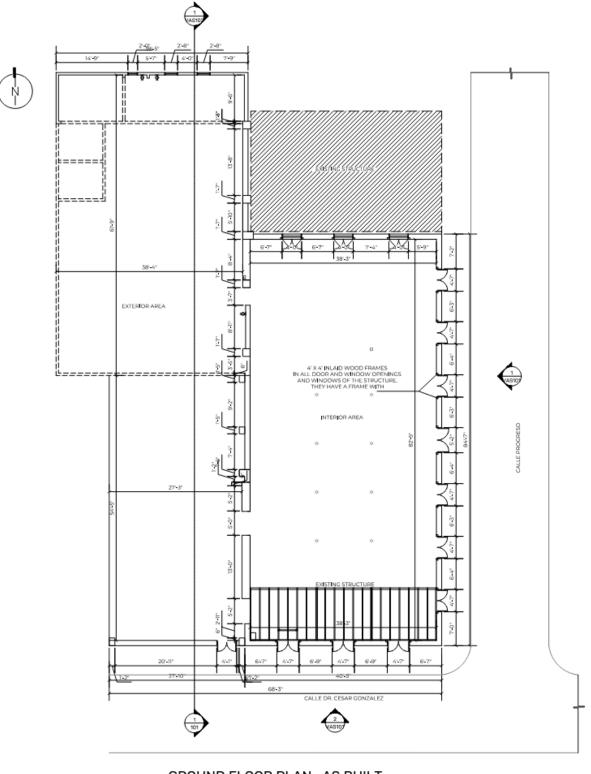


Figure 6: Ground Floor Plan As-Built (Ingenium Group 2023)

GROUND FLOOR PLAN\_AS BUILT SCALE: 1/8" = 1" - 0"

#### **III. DESCRIPTION OF PROPOSED PROJECT**

The information below was also reproduced from the Section 106 NHPA Effect Determination Form (López Schmid et al. 2023).

The proposed undertaking consists of the rehabilitation of a 1911 abandoned two-story building. Currently, only the exterior of the building is extant as the roof has been missing since at least 2013 and the interior walls and floors were destroyed as a result of hurricanes Irma and María. The purpose of this undertaking is to provide a public building for renting activity rooms at a low cost.

Doors, windows, floor slabs, and roof debris will be removed. According to the proposed Demolition Plan (Figure 7), the existing floor concrete slab will be removed with a saw disk, including the exterior area on the west side and the interior on the east side. All the existing doors and windows will be removed, as well as all existing metal and wood structure inside the building. A wall located between the existing structure northeast and the main building, approximately 14 feet long, will be demolished. The depth of impact for this demolition is estimated at 3 feet. All existing debris and vegetation inside the building will be removed, as well as all existing electrical and plumbing works inside.

The proposed project will preserve the original exterior facades with architectural details of arch entrances and second-story rectangular windows, each with its own small balcony or ledge. No demolition of the façade will be required. The interior will be completely redone and will have a contemporary design. The lower level will be divided into three separate rooms with sliding-wall dividers to adjust the capacity of each room (Figure 8). Each room will have a direct emergency exit. An administration and security office will be located at the main entrance. The second story will include two rooms, one of them an art gallery for local artists and artisans (Figure 9). Both levels will be equipped with accessible bathrooms. A rooftop terrace will be built atop the wing structure to the left of the entrance, providing a visual connection with nature and the Adjuntas Traditional Urban Center. This constitutes an addition to the west side of the 1911 building. The first level of this side structure will be used for storage. An elevator will be added towards the rear of the left side of the building, surrounded by a new staircase. The vertical ground disturbance for the elevator pit is 4' 0", with a horizontal disturbance of 8' 10" by 8' 10". In the inner courtyard, two trees will be planted on concrete planters 4' high and a water fountain will be built. Finally, the project will require the installation of new electrical, water and sanitary infrastructure.

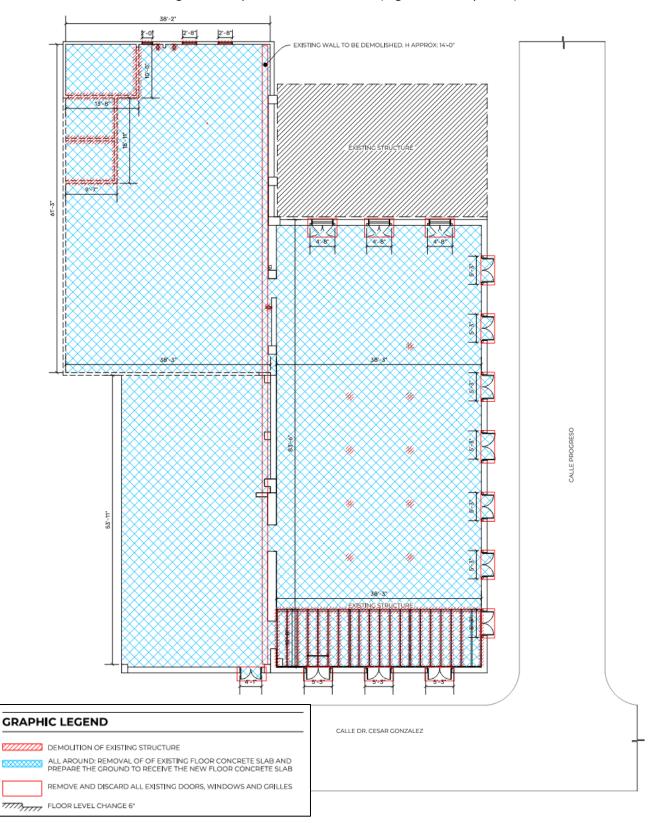


Figure 7: Proposed Demolition Plan (Ingenium Group 2023)

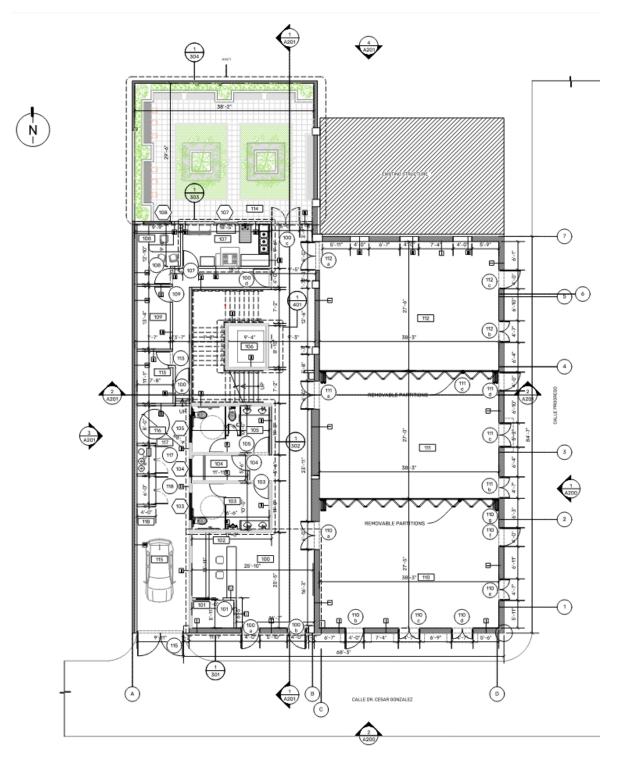


Figure 8: Proposed Ground Floor Plan (Ingenium Group 2023)

PROPOSED GROUND FLOOR PLAN

SCALE: 1/8" = 1' - 0"

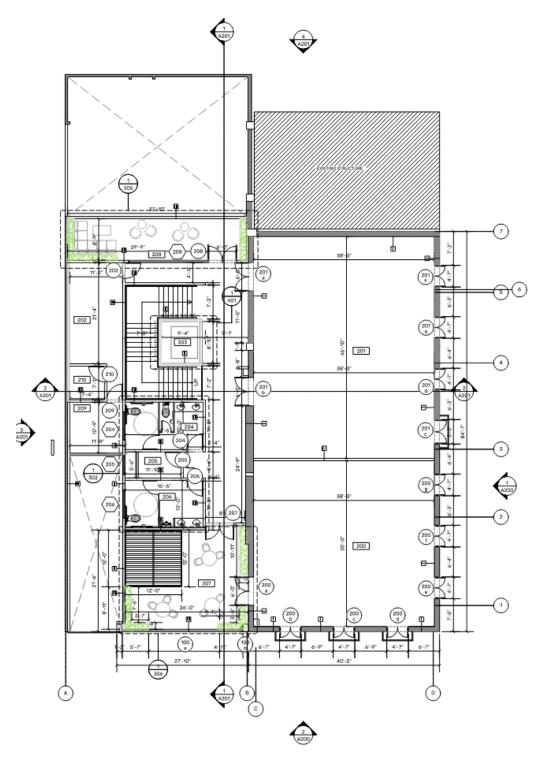


Figure 9: Proposed First Floor Plan (Ingenium 2023)

PROPOSED FIRST FLOOR PLAN SCALE: 1/8" = 1'-0"

#### **IV. ARCHAEOLOGICAL EVALUATION AND MONITORING PROCEDURE**

The evaluation and monitoring activities can be divided into four groups: activities before the project begins, floor demolition and archaeological evaluation, activities during construction, and post-construction activities.

#### A. Before Construction Begins

- The Construction Manager (CM) will notify the Project Manager (PM), Grant Manager (GM), and Archaeologist of the proposed activities' start date. The PM is responsible for coordination between the CM and the SOI-qualified archaeologist (SOI-A) who will oversee the monitoring (Monitor). The GM shall notify the SHPO and the Archaeology and Ethnohistoric Program (PAE) of the ICP/ Council for the Protection of Terrestrial Archaeological Heritage (Council) of the start date of the project and the archaeologist who will be conducting the archaeological monitoring and assessment work.
- Before any demolition or construction begins, the PM, CM, GM, and SOI-A will have a kickoff meeting to discuss the procedure for archaeological monitoring, including the coordination protocol between the SOI-A and the Contractor. The SOI-A will provide an orientation on the area's cultural resources and potential resources and their proper treatment. The SOI-A will also explain which project activities require archaeological monitoring.
- 3. The CM, PM, and construction crew will complete and sign a statement outlining the activities that may not be performed without the SOI-A's presence, demonstrating their understanding and commitment to following the archaeological monitoring procedures.
- 4. Before performing any work inside the building, the CM shall certify that the structure has been properly stabilized and that there is no danger of collapse. The archaeology team shall follow the safety protocol established by the CM.
- 5. Prior to the start of the removal of the debris inside the building, the SOI-A shall document the condition of the historic property with written descriptions, videos, and photographs. Particular attention should be given to the construction stages of the property and any associated structures that may exist. The floor plan drawing should be verified to be correct and to include everything observed. The SOI-A will prepare a report with this information that shall be submitted to the GM along with the first weekly report.

#### B. Floor Demolition and Archaeological Evaluation (Phase 2)

 The SOI-A shall be present during the removal of debris inside the building. He/she shall document by means of photos and descriptions those components that belonged to the original building. The SOI-A shall ensure that the removal of doors and windows, electrical and plumbing infrastructure and vegetation inside the building is done in a controlled manner, without adversely affecting the property.

- 2. The SOI-A shall document the demolition of the existing floor concrete slab and ground preparation. She/he must ensure that the demolition is done in a controlled manner, and without penetrating the soil or fill layers under the concrete slab.
- 3. Following the floor demolition and removal, the SOI-A shall document any feature that is exposed, such as wall foundations, construction trenches, and artifactual deposits. If deemed necessary, the SOI-A shall be supported by the contractor to carry out controlled mechanical scraping in order to properly expose the features. The manual documentation of features shall consist of controlled excavations that will vary in size according to the nature and dimensions of the archaeological find. The purpose of these excavations is to obtain as much information as possible about the archaeological features identified, such as dimensions, shape, extension, content, material, and method of manufacture. After being exposed in plan, the features shall be bisected -if applicable- and shall be documented vertically. They shall be documented by means of verbal descriptions, photos, and scale drawings. The soil removed from the construction trenches or from the interior of the features will be sifted through a ¼ inch mesh and the recovered artifactual material will be bagged and labeled by specific provenience.
- 4. The archaeology team shall excavate at least six (6) 1 x 1 m manual units within the building for the purpose of documenting wall foundations, stratigraphy, and identifying previous occupations and associated features. The location of the units will depend on the conditions observed when the concrete slab is lifted. It is recommended that four (4) units be located at the intersection between walls, one (1) in the center of the interior area and one (1) in the area where the elevator will be placed (see Figure 10). The units shall be excavated by cultural or natural strata, maintaining vertical and horizontal control. The removed soil will be sifted by a ¼ inch mesh, differentiating that which comes from the construction trench from the surrounding ground. The recovered artifactual material will be bagged and labeled by specific provenance. Profiles and any relevant floor plans will be documented by scale drawings and photographs.
- 5. The archaeological team will excavate a minimum of two mechanical trenches in the patio area (see Figure 10). It is recommended that the trenches be 1 m wide and no less than 5 m long. Mechanical trenches are intended to identify archaeological features and cultural strata in patio areas. They are also intended to document stratigraphy, establish stratigraphic integrity, and allow for comparison of stratigraphy between the interior and exterior of the property. Trenches will be excavated in a controlled manner, scraping the ground, and removing a few centimeters at a time. If deemed necessary, a sample of artifactual material will be collected, bagged, and labeled by provenience. The profiles will be documented photographically, and representative segments may be chosen to be drawn to scale. If an archaeological element is found within the trench, it shall be documented manually, as established in section B.3.
- 6. In addition to the excavation work, a site plan shall be prepared to scale, with the location of the findings and the excavations carried out. Stations will be set up for vertical control of the excavations. The work process and the condition of the area under study before, during and after the implementation of the archaeological documentation shall be documented by means of photographs and videos.
- Processing of archaeological artifacts, if any, shall be conducted concurrently with the field work. Artifacts shall be curated and processed in accordance with the standards set forth in 36 CFR Part 79 Curation of Federally-Owned and Administered Archaeological Collections. Artifacts shall be

washed and sorted. Materials such as ceramics, lithics, shell, bone, glass, metal, and others, should be subject to general analysis considering aspects such as material, manufacture, style, function, type, variety, use, and others. Due to their nature, some of these materials require specialized analysis such as studies of malacology, zooarchaeology, bioarchaeology, among others, which should be carried out by specialists. The classification scheme used in the classification will be chosen by the SOI-A according to the context, type of material recovered and previous experience. The classification scheme shall be referenced with available bibliographic references. The materials laboratory shall include a quantitative, qualitative, and comparative analysis of all archaeological materials recovered during archaeological monitoring. An inventory of artifacts by category, and a catalog of artifacts by material type shall be prepared. Photographic documentation shall be made of representative artifacts in the collection. If necessary, documentary research will be conducted for analysis and interpretation of artifacts and other finds. Samples from strata or from particular cultural elements must be properly packaged, labeled, and preserved. The data resulting from their analysis must be included in the final report.

- 8. The SOI-A shall prepare a brief weekly report summarizing the work done during the week and the main findings. The report will be submitted to the PM by e-mail during the following week. The PM will be responsible for immediately sending the report to the GM.
- 9. Once the field work of the Archaeological Evaluation (phase 2) has been completed, a reevaluation of project effects on historic properties, if any, should be carried out. If the project activities have an adverse effect on the NRHP-eligible finding or findings:
  - a. The Municipality, CM and PM should revise the scope of work to avoid the adverse effects. The changes in scope of work will be consulted with the SHPO and PAE/Council prior to implementation. The SHPO and PAE/Council will have 15 days to comment on the proposed changes. If no communication is received within that time frame it will be assumed that the SHPO and PAE/Council has no objection and concurs with the changes outlined.
  - b. If the adverse effect cannot be avoided, a Data Recovery will be implemented as a Treatment Measure per Appendix F-H of the PA. The SOI-A shall develop a data recovery plan with a research design consistent with Regulation #8932, the Secretary of the Interior's Guidelines for Archeological Documentation and the Advisory Council on Historic Preservation's (ACHP) recommendations on the recovery of significant information from archaeological sites as updated in 2009. The data recovery plan shall be submitted via email to the GM for comments. The GM shall be responsible for submitting the data recovery plan to the SHPO for comments and approval. The Municipality, with the assistance of the GM, shall submit the data recovery plan to the PAE/Council for comments and approval.
- 10. The archaeologist shall prepare an End of Field Report. The report shall include a description of the work carried out, a description of the documented stratigraphy, a description of the artifacts and elements identified, and a preliminary interpretation of these. The report should make duly justified recommendations as to whether or not archaeological monitoring of construction activities is necessary. The report shall include representative profiles and plan drawings, as well as a floor plan with the location of excavated units and documented features. This report shall be submitted to the PM and GM via email within 15 calendar days after the field work is

completed. The GM shall evaluate the report and send it to the SHPO and PAE/Council for their comments.

11. During the End of Field Report evaluation period, the contractor shall not carry out construction activities that require ground disturbance. Once approval is received from the regulatory agencies and the GM, the archaeological excavations may be backfilled, and construction activities may continue with any applicable conditions.

#### C. Archaeological Monitoring During Construction Activities

- 1. The Monitor shall be in the field during all project activities involving ground disturbance, like the excavation of trenches for the installation of utilities; access and clear sightlines to all excavation activities and debris removal will be provided to the Monitor.
- 2. The Monitor shall provide instructions directly to the construction field personnel concerning how to proceed when there is a potential to impact an archaeological resource. The construction field personnel will abide by these requests: excavate slowly, stop the excavation work to evaluate a finding, etc. Caution should be exercised when excavating in areas where there may be buried resources. Likewise, if the pavement has to be lifted, this will have to be done slowly and in a controlled manner so as not to affect the cobblestone that may exist underneath it.
- 3. The Monitor shall document all archaeological remains identified during construction activities. The Monitor shall instruct the construction crew to immediately cease work in the vicinity of the discovery and take all reasonable measures to avoid or minimize harm to the remains. The documentation shall include a detailed description of the discovery, context, horizontal and vertical provenience, photos, and a plan drawing. This documentation shall be done within a reasonable amount of time, trying as much as possible, not to impact on the project schedule.
- 4. If human burials are identified, work shall stop immediately, the human remains shall be protected from damage, and the PM and GM shall be notified immediately. The GM will be responsible for notifying the SHPO and the PAE/Council within twenty-four (24) hours of identification of human remains. The services of a physical anthropologist or bioarchaeological specialist will be required.
- 5. If any additional construction activities are added or design changes are made after the project has begun, the CM and PM, prior to performing the work, shall inform the GM and the SOI-A. The SOI-A, in conjunction with GM, shall evaluate these activities and apply the adverse effect criteria. If it is determined that the effect is adverse, the archaeologist will provide recommendations on how to avoid, minimize, or mitigate the adverse effect. These recommendations will be consulted with the SHPO and PAE/Council prior to implementation. The SHPO and PAE/Council will have 15 days to comment on the recommendations. If no communication is received within that time frame it will be assumed that the SHPO has no objection and concurs with the recommendations outlined.
- 6. If during construction activities a historic property is affected in an unanticipated manner, the CM shall stop work immediately, and inform the PM, GM, and SOI-A. The SOI-A, in

conjunction with GM, shall evaluate the unanticipated effects and apply the adverse effect criteria within no more than 24 hours. If the effect is determined to be adverse, the SOI-A and GM will provide recommendations on how to avoid, minimize, or mitigate such adverse effects. The GM shall consult with the SHPO and PAE/Council on the recommendations prior to implementation. The SHPO and PAE/Council will have 48 hours to comment on the recommendations. If no communication is received within that timeframe, it will be understood that the SHPO and PAE/Council has no objection and concurs with the recommendations outlined.

7. The SOI-A shall keep a record of monitored activities. The Monitor shall fill out the Daily Record of Activities Form (see **Error! Reference source not found.**). These forms should be send weekly to the GM for review. The Monitor will prepare a brief monthly report that will include the Daily Record of Activities Forms as an appendix. The report shall be emailed to the PM during the first week of the following month. The PM shall be responsible for submitting the monthly report to the GM, who after review will forward it to SHPO and PAE/Council.

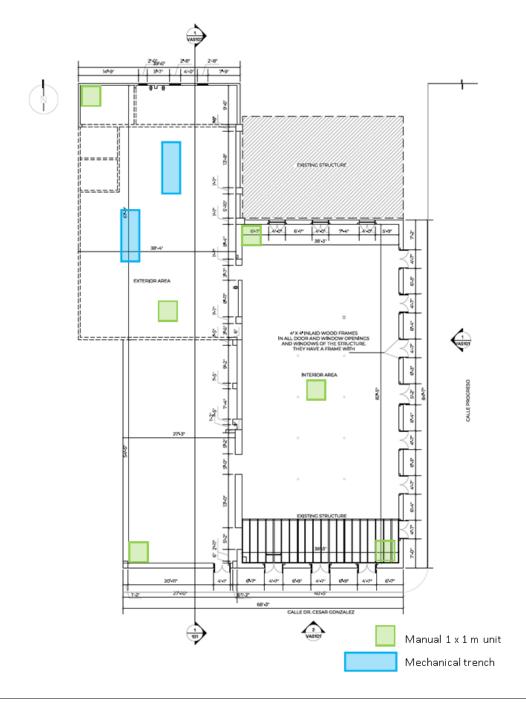
#### D. After Construction Ends

- 1. Upon the completion of archaeological monitoring, the PM and GM shall be notified. The estimated date of delivery of the final report shall be indicated in the said notification. The GM shall convey this information to the SHPO and PAE/Council.
- 2. The Monitor shall prepare an Archaeological Supervision End of Field Report, which shall include the main findings and their location, the methodology used for their excavation and documentation, conclusions on the effectiveness of the archaeological supervision, the integrity and importance of the archaeological resources discovered, and clear recommendations as to the course of action to be followed. It should also include the date of delivery of the Final Report. This report will be delivered via e-mail to the PM and GM within 30 calendar days of the conclusion of the archaeological monitoring. The GM will be responsible for submitting it to the SHPO and the PAE/Council.
- 3. A Final Report of the archaeological evaluation and monitoring shall be prepared and submitted by the date stipulated in the End of Field Report. This report shall include a description of the work carried out in the evaluation and archaeological monitoring, findings, and interpretation. It must include profile drawings and general plan drawings, as a minimum. The report must comply with Article 10 Section 8 of Regulation #8932, which indicates the content and format it must have. The report shall be submitted to the GM no later than ninety (90) days after completing the archaeological monitoring work. The GM shall review the report and submit it to the SHPO no later than two (2) weeks after receiving it. The PM, after receiving the GM's approval, will proceed to prepare a printed and bound copy of the report and file it with the PAE/Council.
- 4. If the report cannot be delivered on the established date, an extension of time will be requested from the Council/PAE, indicating the reasons why the report cannot be delivered. The extension request shall be submitted, to the extent possible, fifteen (15) working days prior to the established date. The Council/PAE shall reply within fifteen (15) working days, in accordance with the provisions of Article 10 Section 7 of Regulation #8932, setting a final deadline for the delivery of the report. The request for extension of time must be copied to the OECH.

5. The SOI-A shall be responsible for preserving her original field notes, digital photographs, expert reports, drawings, maps, and any other documents associated with the study (including digital files) and shall ensure that they are available for future reference by other researchers. If she is unable to retain these documents, she should turn them over to the PAE/Council to relieve them of this responsibility.

### Figure 10: Suggested Location of Excavation Units for the Archaeological Evaluation (Phase 2)

(size of units not to scale)



#### **V. SUMMARY OF ANTICIPATED PRODUCTS**

Anticipated products are as follows:

Archaeological Evaluation (Stage 2)- Weekly Reports: shall include a summary of work carried out during the week (including but not limited to removal of the existing debris, concrete slab demolition and debris removal and evaluation work) and the main findings. To be submitted to the PM and GM by e-mail during the following week.

Archaeological Evaluation (Stage 2)- End of Field Report: this report shall summarize the work done during the week and the main findings. To be submitted to the PM and GM via email within 15 calendar days after the field work is completed.

**Monitoring - Daily Record of Activities Form**- this form should be completed daily and submitted weekly to the PM and GM for review.

**Monitoring -Monthly Report:** brief report that shall include the Daily Record of Activities Forms as an appendix. The report shall be emailed to the PM and GM during the first week of the following month.

**Monitoring- End of Field Report:** shall include the main findings and their location, the methodology used for their excavation and documentation, conclusions on the effectiveness of the archaeological supervision, the integrity and importance of the archaeological resources discovered, and clear recommendations as to the course of action to be followed. To be submitted via e-mail to the PM and GM within 30 calendar days of the conclusion of the archaeological monitoring.

**Final Report of the archaeological evaluation (Stage 2) and monitoring:** the report shall be submitted to the GM no later than ninety (90) days after completing the archaeological monitoring work. The GM shall review the report and submit it to the SHPO no later than two (2) weeks after receiving it. The PM, after receiving the GM's approval, shall file a printed and bounded copy to the PAE/Council.

## **VI. PROFESSIONAL QUALIFICATIONS**

The Monitor must meet the minimum Secretary of the Interior Professional Qualifications Standards for Archaeology established in 36CFR Part 61. These are: a graduate degree in archaeology, anthropology, or closely related field, plus at least one (1) year of full-time professional experience or equivalent specialized training in archaeological research, administration, or management; at least four (4) months of supervised field and analytic experience in general Puerto Rican archaeology; the demonstrated ability to carry research to completion; and at least one (1) year of full-time professional experience at a supervisory level in the study of archaeological resources of the pre-Columbian and colonial periods. Please see https://www.nps.gov/history/local-law/arch\_stnds\_9.htm for more information.

The archaeologist serving as principal investigator must be listed to conduct Phase III level studies on the Council's lists or, in the absence of the Council, meet the qualifications in accordance with the current regulations.

Any additional staff to be involved in the implementation efforts of this Plan should have extensive experience in historical archaeology, and in working on evaluation (Phase II), documentation (Phase III), and monitoring projects related to colonial period properties. It is recommended that the team include a specialist in historic preservation.

The SOI-A may not transfer his or her duties, obligations, and responsibilities to subordinates or other technicians who are not professionally trained in archaeology. In the case of hiring archaeologists and trained technicians to assist in archaeological monitoring, the SOI-A must be present for at least 25 percent of the duration of the fieldwork to supervise them.

## VII. REFERENCES

Advisory Council on Historic Preservation

2009 ACHP recommendations on the recovery of significant information from archaeological sites <u>https://www.achp.gov/protectinghistoricproperties/Section\_106\_Archaeology\_Guidance</u>.

Consejo para la Protección del Patrimonio Arqueológico Terrestre de Puerto Rico.

2017 *Reglamento para la radicación y evaluación arqueológica de proyectos de construcción y desarrollo.* San Juan: ICP. Reglamento #8932 del 8 de febrero de 2017.

Ingenium Group

2023 Project Plans. Centro de Actividades Municipales Project (PR-CRP-000783).

López Schmid, María F., Vega, Jesús E., and Muñoz Pando, Roberto

2023 Puerto Rico 2017 Disaster Recovery, CDBG-DR Program. City Revitalization Program (City-Rev). Section 106 NHPA Effect Determination for the Centro de Actividades Municipales Project (PR-CRP-000783). Revised 2024.

National Park Service

- s/f "Archeology and Historic Preservation: Secretary of the Interior's Standards and Guidelines [As Amended and Annotated] Professional Qualification Standards". <u>https://www.nps.gov/history/local-law/arch\_stnds\_9.htm</u>
- s/f "Archeology and Historic Preservation: Secretary of the Interior's Standards and Guidelines for Archeological Documentation". <u>http://www.cr.nps.gov/local-law/arch\_stnds\_7.htm</u>

Puerto Rico State Historic Preservation Office (PRSHPO)

1993 *Guía para hacer investigaciones arqueológicas Fases I, II y III.* San Juan: Oficina del Gobernador.

## APPENDIX A: MONITORING DAILY ACTIVITY SHEET

GRYTINNENT OF PETETO RECO	PUERTO RICO 2017 DISASTER RECOVERY City Revitalization Program ARCHAEOLOGICAL MONITORING DAILY RECORD OF ACTIVITIES	
Case ID:	Project Location:	
Municipality:	Project Coordinates (lat/long):	

## SOI Qualified-Archaeologist:

Date of Monitoring: Click or tap to enter a date. Work Hours:

#### Description of work performed by contractor and supervised by the Monitor:

	YES	NO
Are the project activities conforming to the LIDRS? If not, explain below.		
Was an archaeological remain documented during the day. If yes, include required information below.		
Was an exceptional archaeological remain identified during the day? If yes, explain below.		
Have the construction activities affected a previously unidentified property or a known historic property in an unanticipated manner? If yes, explain below.		
Has there been a change in the scope of work of the project? If yes, explain below.		

CONTINUENT OF PEETO RECO	PUERTO RICO 2017 DISASTER RECOVERY City Revitalization Program ARCHAEOLOGICAL MONITORING DAILY RECORD OF ACTIVITIES	
Case ID:	Project Location:	
Municipality:	Project Coordinates (lat/long):	

Site Photos	
<b>Direction of Photo:</b> Click here to enter text. <b>Description:</b> Click here to enter text.	
<b>Direction of Photo:</b> Click here to enter text. <b>Description:</b> Click here to enter text.	



## **GOVERNMENT OF PUERTO RICO**

STATE HISTORIC PRESERVATION OFFICE

Executive Director | Carlos A. Rubio Cancela | carubio@prshpo.pr.gov

Tuesday, July 9, 2024

## Lauren B Poche

269 Avenida Ponce de León, San Juan, PR, 00917

SHPO-CF-06-12-24-03 PR-CRP-000783 (Adjuntas) - Centro de Actividades Municipal

Dear Ms. Poche,

We have reviewed the archaeology work plan prepared for the above referenced project. In our letter of February 23, 2024, we requested an Phase II archaeology work plan for our review, to be implemented prior to the removal of the existing floor. The plan submitted, dated May 21, 2024, instead, proposes archaeological monitoring during controlled floor removal, followed by Phase II archaeological testing. We deem this change in strategy acceptable, however, the results of this testing should be followed by a reevaluation of project effects on historic properties and, if any of the criteria of adverse effects, as per Stipulation II.C.6.a and Appendix F.H of the 2016 programmatic agreement, as amended in 2023 should be followed.

If you have any questions regarding our comments, do not hesitate to contact our Office.

Sincerely,

mby apartir

Carlos A. Rubio Cancela State Historic Preservation Officer CARC/GMO/ MB



OFICINA ESTATAL DE CONSERVACIÓN HISTÓRICA OFICINA DEL GOBERNADOR

STATE HISTORIC PRESERVATION OFFICE OFFICE OF THE GOVERNOR

Cuartel de Ballajá (Tercer Piso), Calle Norzagaray, Esq. Beneficencia, Viejo San Juan, PR 00901 | PO Box 9023935, San Juan, PR 00902-3935





GOVERNMENT OF PUERTO RICO DEPARTMENT OF HOUSING

April 30, 2024

#### Arch. Carlos A. Rubio Cancela

Executive Director Puerto Rico State Historic Preservation Office Cuartel de Ballajá, Third Floor San Juan, Puerto Rico 00901

#### Re: Authorization to Submit Documents for Consultation

Dear Arch. Rubio Cancela,

The U.S. Department of Housing (HUD) approved the allocations of Community Development Block Grant (CDBG-DR) funds on February 9, 2018. It also approved the allocation of Community Development Block Grant Mitigation (CDBG-MIT) funds on January 27, 2020. The purpose of these allocations is to address unsatisfied needs as a result of Hurricanes Irma and Maria in September 2017; and to carry out strategic and high-impact activities to mitigate disaster risks and reduce future losses.

To comply with the environmental requirements established by HUD, the Department of Housing of Puerto Rico (PRDOH) contracted Horne Federal LLC to provide environmental review services, among others, that will support the objectives of the agenda for both CDBG-DR and CDBG -MIT Programs.

To expedite the processes, Horne Federal LLC, is authorized to submit to the State Historic Preservation Officer, documentation of projects related to both the CDBG-DR and CDBG-MIT on behalf of PRDOH.

Cordially,

Aldo A. Rivera Vázquez, PE Director Division of Environmental Permitting and Compliance Office of Disaster Recovery



June 12, 2024

Carlos A. Rubio Cancela State Historic Preservation Officer Puerto Rico State Historic Preservation Office Cuartel de Ballajá (Tercer Piso) San Juan, PR 00902-3935

Puerto Rico Disaster Recovery, CDBG-DR City Revitalization (City-Rev) Program

Re: SHPO CF-02-22-24-02, PR-CRP-000783: Centro de Actividades Municipal Project, Adjuntas, Puerto Rico – Archaeological Evaluation and Monitoring Work Plan Submission

Dear Architect Rubio Cancela,

On behalf of the Puerto Rico Department of Housing (PRDOH), we thank you for your letter dated February 23, 2024, in response to the submission of documentation for consultation for PR-CRP-000783, the Centro de Actividades Municipal Project in the municipality of Adjuntas. The letter stated your office supported the finding of no adverse effect for the proposed undertaking, pursuant that the condition of a Phase II archaeological site investigation and the preparation and submittal of said plan to the PRSHPO for review and approval.

As such, we are submitting the attached Archaeological Evaluation and Monitoring Work Plan for the Centro de Actividades Municipal Project in Adjuntas, Puerto Rico (PR-CRP-000783/SHPO CF-02-22-24-02) prepared by Archaeologist Sharon Meléndez-Ortiz, M.A. of HORNE Puerto Rico for your review and concurrence that the implementation of this plan is appropriate for this undertaking.

We look forward to your response and feedback. Please contact me by email at <u>lauren.poche@horne.com</u> or phone at 225-405-7676, or Ms. Sharon Meléndez Ortiz at <u>sharon.melendez@horne.com</u>, should you have any questions or concerns.

Kindest regards,

Lauren Bair Poche. M.A. Architectural Historian, EHP Senior Manager Attachments PRDOH CDBG-DR CRP PROGRAM Centro de Actividades Municipal, Adjuntas Puerto Rico PR-CRP-000783 / SHPO CF-02-22-24-02

## Archaeological Evaluation and Monitoring Work Plan



Prepared by:

Sharon Meléndez Ortiz Archaeologists – Horne PR

May 21, 2024

## I. PREAMBLE

The Municipality of Adjuntas is seeking Community Development Block Grant disaster recovery funds financed by the federal Department of Housing and Urban Development due to damage received by the 2017 Hurricanes Irma and Maria. The Puerto Rico Department of Housing (PRDOH) has established an Agreement between PRDOH and the Municipality of Adjuntas for the City Revitalization Program as part of the Community Development Block Grant for Disaster Recovery (CDBG-DR) Program. The municipality proposes the rehabilitation of a 1911 abandoned two-story Neoclassical building to be used as an activity center. The property is located on César González Street, at the corner with Progreso Street, at coordinates 18.162821, -66.721748, within the Adjuntas Traditional Urban Center (Figures 1 and 2).



Figure 1: Project Location in the Satellite Image

Architect/architectural historian María F. López Schmid and Archaeologists Jesús E. Vega and Roberto G. Muñoz Pando prepared the *Section 106 NHPA Effect Determination Form* for this case on 2023 (revised 2024). The form concluded that the building that will be rehabilitated is eligible to the National Register of Historic Places (NRHP) under Criteria C and D, and that the proposed undertaking will not alter any of the attributes that contribute to the significance of the building. On the contrary, it will have a beneficial effect by providing a new use for the property that will prevent further deterioration of the building thus ensuring its preservation for years to come. The form also concluded that the area under study has a high archaeological potential and recommended that an archaeological evaluation (Phase 2) be carried out.

The SHPO concurred with a determination of No Adverse Effect conditioned to the implementation of a Phase 2 archaeological site-testing in a letter dated February 23, 2024. However, since archaeological work will require securing the building and demolishing part of the concrete floor, it is proposed that the archaeological evaluation be done as part of archaeological monitoring. According to this plan, once the building is secured, demolition of the concrete floor will proceed under archaeological supervision, then the Phase 2 will be implemented, followed by monitoring of the construction work, if so recommended.

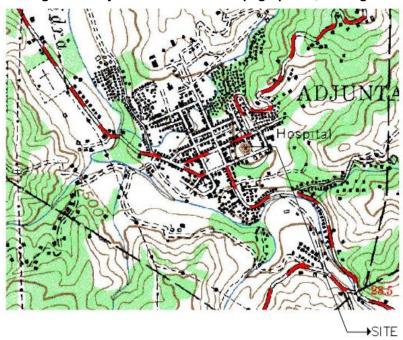


Figure 2: Project Location in the Topographic Quadrangle

This document complies with applicable federal and state laws, regulations, and guidelines, and is consistent with the Secretary of the Interior's (SOI) Guidelines for Archeological Documentation, the Advisory Council on Historic Preservation's (ACHP) recommendations on the recovery of significant information from archaeological sites as updated in 2009, and Regulation #8932 of the Institute of Puerto Rican Culture (ICP).

The objectives of this archaeological evaluation and monitoring plan are: (1) to establish the protocol to be followed in archaeological monitoring; (2) to establish the protocol to be followed if previously unknown resources are identified; (3) to establish the protocol to be followed if there are any unexpected or previously unanticipated adverse effects; and (4) to establish the methodology for the archaeological evaluation. The objectives of archaeological monitoring, according to Regulation #8932 are: (1) locate, evaluate and document archaeological resources during project development; (2) recover as much archaeological information and materials as possible during excavation and construction work; (3) conserve and enhance the value of the archaeological resources located and documented; and (4) in the event that the archaeological resource cannot be conserved in situ, conserve it through documentation.

This plan was prepared by archaeologist Sharon Meléndez Ortiz, who meets the Professional Qualifications Standards set forth in 36 CFR Part 61 and is listed as an archaeologist by the Council for the Protection of Earth Archaeological Heritage (Council) to conduct Phase I, Phase II, and Phase III studies.

## **II. DESCRIPTION AND HISTORY OF USE OF THE HISTORIC PROPERTY**

The information below is taken from the Section 106 NHPA Effect Determination Form completed by María F. López Schmid, Jesús Vega and Roberto Pando (2023, revised in 2024).

The subject building is located within the Adjuntas Traditional Urban Center, and it is a contributing property to the district. The two-story neo-classical building was built in 1911 for commercial and residential uses. By the mid-20th century, this property was a privately owned supermarket with the upper floor used for residence. Located just one block east of the town plaza, the supermarket had a favorable commercial location within the urban core.

Despite its prime location, the building was abandoned sometime in the late 20th or early 21st century. The building lost its roof around 2013, and the second level floor, doors and windows, interior partitions, were destroyed by hurricanes Irma and María in 2017. Despite this, the exterior elevations remain with sufficient integrity to convey the feeling of an early twenty century historic building in the town of Adjuntas. For this reason, López Schmid (2023: 25) concluded that:

"[...] this building is a good example of its type and is individually eligible for listing in the National Register of Historic Places under Criterion C: Historic Events and Design/Construction of commercial below and family residence above, possessing integrity of location, design, setting, materials, workmanship, feeling and association. The property may also be eligible under Criterion D for the possibility to yield future archaeological information."

This building has façades on César González and Progreso streets. The façade of César González Street has two bays: the corner bay being two stories high and the left bay one story (Photo 1 and Figure 5). There are three doors with arched transoms on the lower level that access the street, and three rectangular doors directly above on the second level that access the front balconies. The concrete balconies have a cornice detail that runs along the wall and the decorative metal railings remain although some have lost pieces. The façade has a concrete parapet with a double corniced overhang on the second level. All the openings and the corners have a simple projecting trim on the concrete that runs continuously and forms a base between the first level doors. A commemorative relief has the building number "914" in a rectangle above the center door. The left side bay contains a one-story wall with an arched transom door opening in the center that is trimmed with simple projecting concrete along the base, top, and corners. The opening has faux stone scoring and a step design around the arch. A commemorative relief above the center opening has the initials "A & S" and the date of construction "1911" below. A door to the right side was added later.

The east-side elevation on Progreso Street has seven arched doors on the first level and rectangular on the second level, both levels with similar trim detail and wood doors (Figure 3 and Photo 1). The center arched door has a relief key detail and on the second level a projecting balcony. The remaining doors on the second level have a ledge railing of similar design to the porch railing.

The building has a reinforced concrete slab on grade foundation and concrete walls. The roof originally had corrugated metal panels over metal beams and trusses supported by a metal structure of round columns and I-beams. The floor in between the levels had metal columns and beams supporting a wood frame. While some of the wood elements remain attached, most of them are on the floor in pieces. Part

of the metal trusses have become loose from the left side wall, and some are on the ground. There is also vegetation growing on the interior walls, floor, and fenestration openings on both levels (Photo 2).

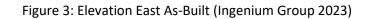


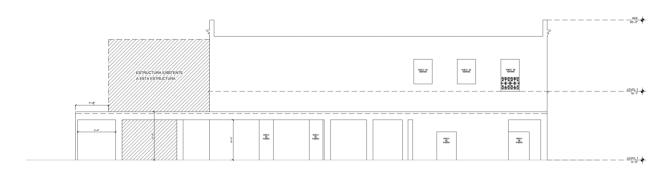
Photo 1: Façades on César González Street (left) and on Progreso Street (right)

Photo 2: Interior views toward the front elevation (left) and rear elevation (right) of the property



It is unknown what was in the area under study before the construction of this building in 1911. Plans from the late 19th century show the area without buildings. However, these plans typically showed buildings constructed in masonry. Given the location of the property less than 100 m east of the plaza, it is possible that there were bohíos or other types of wooden residences here. According to Vega and Pando (2023: 13 and 28), in the project's area of potential effects is the potential for remnants of nineteenth-century occupations such as foundations, artifactual deposits, cisterns and latrines, as well as architectural and artifactual elements associated with the existing building and the different uses it had over the years.





1 ELEVATION EAST AS BUILT SCALE: 3/6" = 7 - 0"

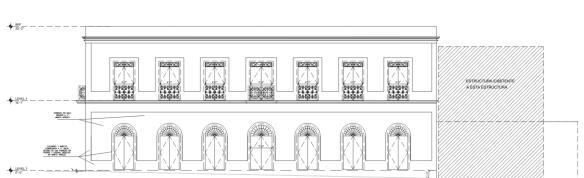
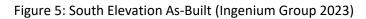
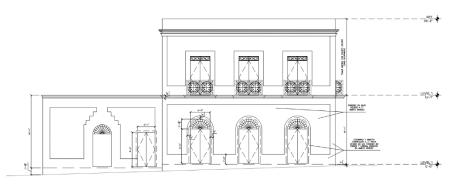


Figure 4: Northeast Elevation As-Built (Ingenium Group 2023)





2 SOUTH ELEVATION\_AS BUILT

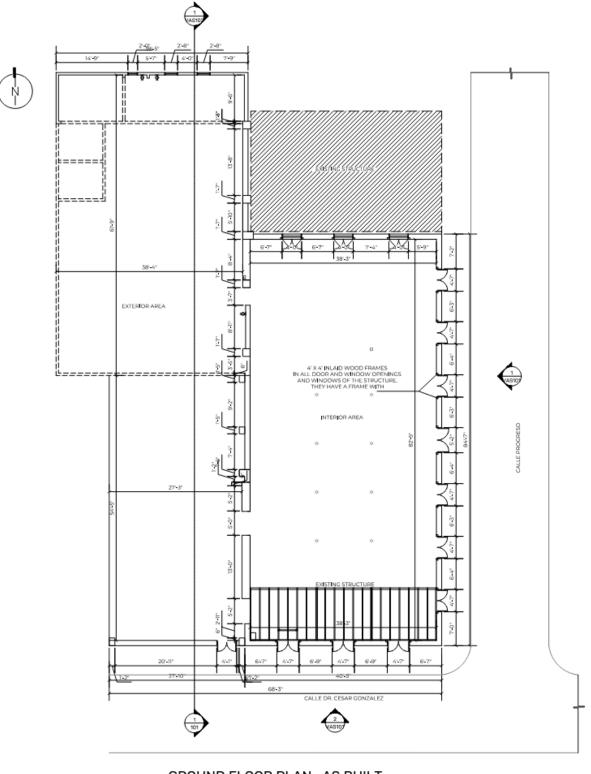


Figure 6: Ground Floor Plan As-Built (Ingenium Group 2023)

GROUND FLOOR PLAN\_AS BUILT SCALE: 1/8" = 1" - 0"

## **III. DESCRIPTION OF PROPOSED PROJECT**

The information below was also reproduced from the Section 106 NHPA Effect Determination Form (López Schmid et al. 2023).

The proposed undertaking consists of the rehabilitation of a 1911 abandoned two-story building. Currently, only the exterior of the building is extant as the roof has been missing since at least 2013 and the interior walls and floors were destroyed as a result of hurricanes Irma and María. The purpose of this undertaking is to provide a public building for renting activity rooms at a low cost.

Doors, windows, floor slabs, and roof debris will be removed. According to the proposed Demolition Plan (Figure 7), the existing floor concrete slab will be removed with a saw disk, including the exterior area on the west side and the interior on the east side. All the existing doors and windows will be removed, as well as all existing metal and wood structure inside the building. A wall located between the existing structure northeast and the main building, approximately 14 feet long, will be demolished. The depth of impact for this demolition is estimated at 3 feet. All existing debris and vegetation inside the building will be removed, as well as all existing electrical and plumbing works inside.

The proposed project will preserve the original exterior facades with architectural details of arch entrances and second-story rectangular windows, each with its own small balcony or ledge. No demolition of the façade will be required. The interior will be completely redone and will have a contemporary design. The lower level will be divided into three separate rooms with sliding-wall dividers to adjust the capacity of each room (Figure 8). Each room will have a direct emergency exit. An administration and security office will be located at the main entrance. The second story will include two rooms, one of them an art gallery for local artists and artisans (Figure 9). Both levels will be equipped with accessible bathrooms. A rooftop terrace will be built atop the wing structure to the left of the entrance, providing a visual connection with nature and the Adjuntas Traditional Urban Center. This constitutes an addition to the west side of the 1911 building. The first level of this side structure will be used for storage. An elevator will be added towards the rear of the left side of the building, surrounded by a new staircase. The vertical ground disturbance for the elevator pit is 4' 0", with a horizontal disturbance of 8' 10" by 8' 10". In the inner courtyard, two trees will be planted on concrete planters 4' high and a water fountain will be built. Finally, the project will require the installation of new electrical, water and sanitary infrastructure.

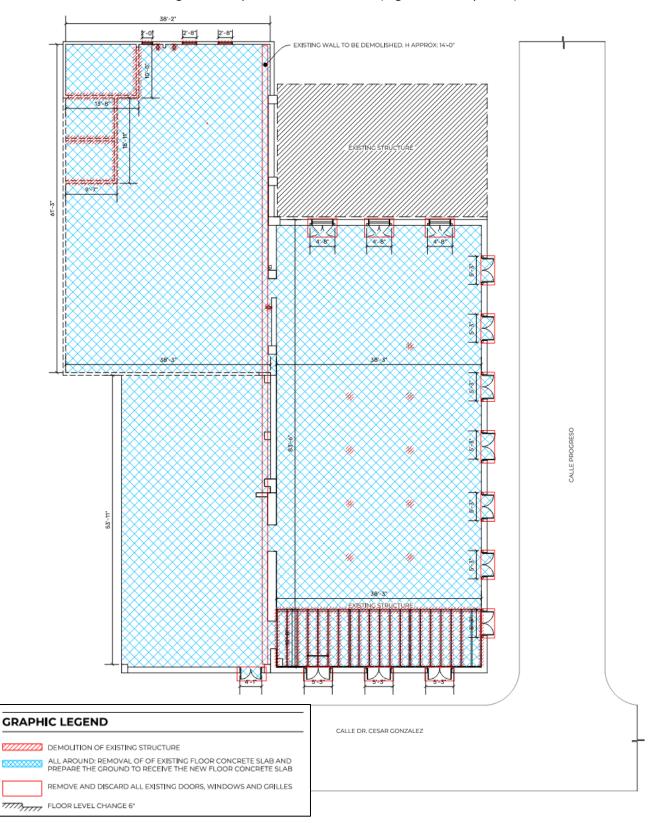


Figure 7: Proposed Demolition Plan (Ingenium Group 2023)

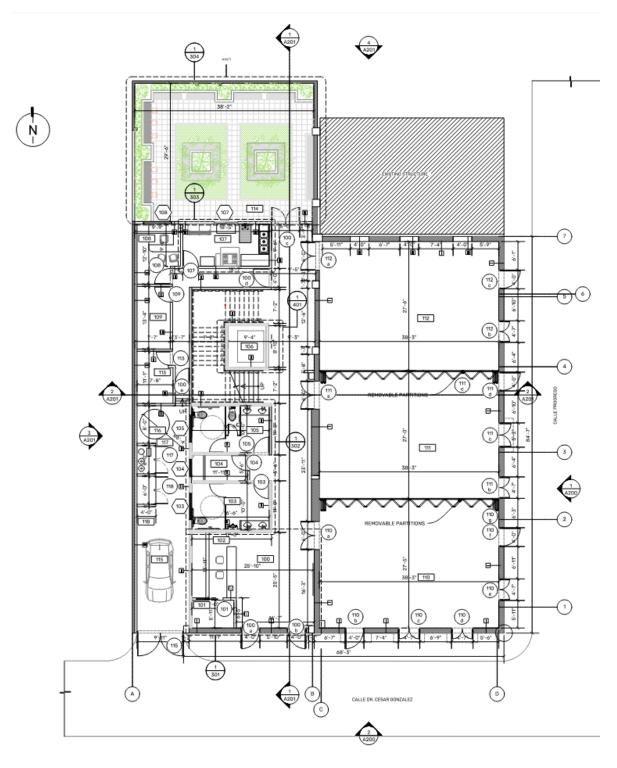


Figure 8: Proposed Ground Floor Plan (Ingenium Group 2023)

PROPOSED GROUND FLOOR PLAN

SCALE: 1/8" = 1' - 0"

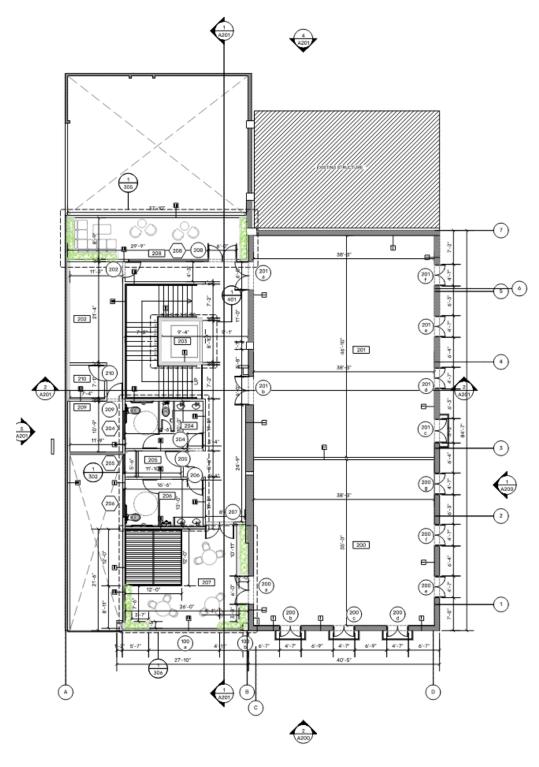


Figure 9: Proposed First Floor Plan (Ingenium 2023)

PROPOSED FIRST FLOOR PLAN SCALE: 1/8" = 1'-0"

## **IV. ARCHAEOLOGICAL EVALUATION AND MONITORING PROCEDURE**

The evaluation and monitoring activities can be divided into four groups: activities before the project begins, floor demolition and archaeological evaluation, activities during construction, and post-construction activities.

#### A. Before Construction Begins

- The Construction Manager (CM) will notify the Project Manager (PM), Grant Manager (GM), and Archaeologist of the proposed activities' start date. The PM is responsible for coordination between the CM and the SOI-qualified archaeologist (SOI-A) who will oversee the monitoring (Monitor). The GM shall notify the SHPO and the Archaeology and Ethnohistoric Program (PAE) of the ICP/ Council for the Protection of Terrestrial Archaeological Heritage (Council) of the start date of the project and the archaeologist who will be conducting the archaeological monitoring and assessment work.
- Before any demolition or construction begins, the PM, CM, GM, and SOI-A will have a kickoff meeting to discuss the procedure for archaeological monitoring, including the coordination protocol between the SOI-A and the Contractor. The SOI-A will provide an orientation on the area's cultural resources and potential resources and their proper treatment. The SOI-A will also explain which project activities require archaeological monitoring.
- 3. The CM, PM, and construction crew will complete and sign a statement outlining the activities that may not be performed without the SOI-A's presence, demonstrating their understanding and commitment to following the archaeological monitoring procedures.
- 4. Before performing any work inside the building, the CM shall certify that the structure has been properly stabilized and that there is no danger of collapse. The archaeology team shall follow the safety protocol established by the CM.
- 5. Prior to the start of the removal of the debris inside the building, the SOI-A shall document the condition of the historic property with written descriptions, videos, and photographs. Particular attention should be given to the construction stages of the property and any associated structures that may exist. The floor plan drawing should be verified to be correct and to include everything observed. The SOI-A will prepare a report with this information that shall be submitted to the GM along with the first weekly report.

#### B. Floor Demolition and Archaeological Evaluation (Phase 2)

 The SOI-A shall be present during the removal of debris inside the building. He/she shall document by means of photos and descriptions those components that belonged to the original building. The SOI-A shall ensure that the removal of doors and windows, electrical and plumbing infrastructure and vegetation inside the building is done in a controlled manner, without adversely affecting the property.

- 2. The SOI-A shall document the demolition of the existing floor concrete slab and ground preparation. She/he must ensure that the demolition is done in a controlled manner, and without penetrating the soil or fill layers under the concrete slab.
- 3. Following the floor demolition and removal, the SOI-A shall document any feature that is exposed, such as wall foundations, construction trenches, and artifactual deposits. If deemed necessary, the SOI-A shall be supported by the contractor to carry out controlled mechanical scraping in order to properly expose the features. The manual documentation of features shall consist of controlled excavations that will vary in size according to the nature and dimensions of the archaeological find. The purpose of these excavations is to obtain as much information as possible about the archaeological features identified, such as dimensions, shape, extension, content, material, and method of manufacture. After being exposed in plan, the features shall be bisected -if applicable- and shall be documented vertically. They shall be documented by means of verbal descriptions, photos, and scale drawings. The soil removed from the construction trenches or from the interior of the features will be sifted through a ¼ inch mesh and the recovered artifactual material will be bagged and labeled by specific provenience.
- 4. The archaeology team shall excavate at least six (6) 1 x 1 m manual units within the building for the purpose of documenting wall foundations, stratigraphy, and identifying previous occupations and associated features. The location of the units will depend on the conditions observed when the concrete slab is lifted. It is recommended that four (4) units be located at the intersection between walls, one (1) in the center of the interior area and one (1) in the area where the elevator will be placed (see Figure 10). The units shall be excavated by cultural or natural strata, maintaining vertical and horizontal control. The removed soil will be sifted by a ¼ inch mesh, differentiating that which comes from the construction trench from the surrounding ground. The recovered artifactual material will be bagged and labeled by specific provenance. Profiles and any relevant floor plans will be documented by scale drawings and photographs.
- 5. The archaeological team will excavate a minimum of two mechanical trenches in the patio area (see Figure 10). It is recommended that the trenches be 1 m wide and no less than 5 m long. Mechanical trenches are intended to identify archaeological features and cultural strata in patio areas. They are also intended to document stratigraphy, establish stratigraphic integrity, and allow for comparison of stratigraphy between the interior and exterior of the property. Trenches will be excavated in a controlled manner, scraping the ground, and removing a few centimeters at a time. If deemed necessary, a sample of artifactual material will be collected, bagged, and labeled by provenience. The profiles will be documented photographically, and representative segments may be chosen to be drawn to scale. If an archaeological element is found within the trench, it shall be documented manually, as established in section B.3.
- 6. In addition to the excavation work, a site plan shall be prepared to scale, with the location of the findings and the excavations carried out. Stations will be set up for vertical control of the excavations. The work process and the condition of the area under study before, during and after the implementation of the archaeological documentation shall be documented by means of photographs and videos.
- Processing of archaeological artifacts, if any, shall be conducted concurrently with the field work. Artifacts shall be curated and processed in accordance with the standards set forth in 36 CFR Part 79 Curation of Federally-Owned and Administered Archaeological Collections. Artifacts shall be

washed and sorted. Materials such as ceramics, lithics, shell, bone, glass, metal, and others, should be subject to general analysis considering aspects such as material, manufacture, style, function, type, variety, use, and others. Due to their nature, some of these materials require specialized analysis such as studies of malacology, zooarchaeology, bioarchaeology, among others, which should be carried out by specialists. The classification scheme used in the classification will be chosen by the SOI-A according to the context, type of material recovered and previous experience. The classification scheme shall be referenced with available bibliographic references. The materials laboratory shall include a quantitative, qualitative, and comparative analysis of all archaeological materials recovered during archaeological monitoring. An inventory of artifacts by category, and a catalog of artifacts by material type shall be prepared. Photographic documentation shall be made of representative artifacts in the collection. If necessary, documentary research will be conducted for analysis and interpretation of artifacts and other finds. Samples from strata or from particular cultural elements must be properly packaged, labeled, and preserved. The data resulting from their analysis must be included in the final report.

- 8. The SOI-A shall prepare a brief weekly report summarizing the work done during the week and the main findings. The report will be submitted to the PM by e-mail during the following week. The PM will be responsible for immediately sending the report to the GM.
- 9. Once the field work of the Archaeological Evaluation (phase 2) has been completed, the archaeologist shall prepare an End of Field Report. The report shall include a description of the work carried out, a description of the documented stratigraphy, a description of the artifacts and elements identified, and a preliminary interpretation of these. The report should make duly justified recommendations as to whether or not archaeological monitoring of construction activities is necessary. The report shall include representative profiles and plan drawings, as well as a floor plan with the location of excavated units and documented features. This report shall be submitted to the PM and GM via email within 15 calendar days after the field work is completed. The GM shall evaluate the report and send it to the SHPO and PAE/Council for their comments.
- 10. During the End of Field Report evaluation period, the contractor shall not carry out construction activities that require ground disturbance. Once approval is received from the regulatory agencies and the GM, the archaeological excavations may be backfilled, and construction activities may continue with any applicable conditions.

# ====: ł EXISTING STRUCTURE iteeeed 9 ż b EXTERIOR AREA Ë 1 CALLE PROGRESO ŝ 2743 20'-11 6X 1

27.10

1-2 68.3

CALLE DR. CESAR GONZALEZ 2 VAS107

Manual 1 x 1 m unit Mechanical trench

#### Figure 10: Suggested Location of Excavation Units for the Archaeological Evaluation (Phase 2) (size of units not to scale)

#### C. Archaeological Monitoring During Construction Activities

- 1. The Monitor shall be in the field during all project activities involving ground disturbance, like the excavation of trenches for the installation of utilities; access and clear sightlines to all excavation activities and debris removal will be provided to the Monitor.
- 2. The Monitor shall provide instructions directly to the construction field personnel concerning how to proceed when there is a potential to impact an archaeological resource. The construction field personnel will abide by these requests: excavate slowly, stop the excavation work to evaluate a finding, etc. Caution should be exercised when excavating in areas where there may be buried resources. Likewise, if the pavement has to be lifted, this will have to be done slowly and in a controlled manner so as not to affect the cobblestone that may exist underneath it.
- 3. The Monitor shall document all archaeological remains identified during construction activities. The Monitor shall instruct the construction crew to immediately cease work in the vicinity of the discovery and take all reasonable measures to avoid or minimize harm to the remains. The documentation shall include a detailed description of the discovery, context, horizontal and vertical provenience, photos, and a plan drawing. This documentation shall be done within a reasonable amount of time, trying as much as possible, not to impact on the project schedule.
- 4. If human burials are identified, work shall stop immediately, the human remains shall be protected from damage, and the PM and GM shall be notified immediately. The GM will be responsible for notifying the SHPO and the PAE/Council within twenty-four (24) hours of identification of human remains. The services of a physical anthropologist or bioarchaeological specialist will be required.
- 5. If any additional construction activities are added or design changes are made after the project has begun, the CM and PM, prior to performing the work, shall inform the GM and the SOI-A. The SOI-A, in conjunction with GM, shall evaluate these activities and apply the adverse effect criteria. If it is determined that the effect is adverse, the archaeologist will provide recommendations on how to avoid, minimize, or mitigate the adverse effect. These recommendations will be consulted with the SHPO and PAE/Council prior to implementation. The SHPO and PAE/Council will have 15 days to comment on the recommendations. If no communication is received within that time frame it will be assumed that the SHPO has no objection and concurs with the recommendations outlined.
- 6. If during construction activities a historic property is affected in an unanticipated manner, the CM shall stop work immediately, and inform the PM, GM, and SOI-A. The SOI-A, in conjunction with GM, shall evaluate the unanticipated effects and apply the adverse effect criteria within no more than 24 hours. If the effect is determined to be adverse, the SOI-A and GM will provide recommendations on how to avoid, minimize, or mitigate such adverse effects. The GM shall consult with the SHPO and PAE/Council on the recommendations prior to implementation. The SHPO and PAE/Council will have 48 hours to comment on the recommendations. If no communication is received within that timeframe, it will be understood that the SHPO and PAE/Council has no objection and concurs with the recommendations outlined.
- 7. The SOI-A shall keep a record of monitored activities. The Monitor shall fill out the Daily Record of Activities Form (see **Error! Reference source not found.**). These forms should be send weekly

to the GM for review. The Monitor will prepare a brief monthly report that will include the Daily Record of Activities Forms as an appendix. The report shall be emailed to the PM during the first week of the following month. The PM shall be responsible for submitting the monthly report to the GM, who after review will forward it to SHPO and PAE/Council.

#### **D. After Construction Ends**

- 1. Upon the completion of archaeological monitoring, the PM and GM shall be notified. The estimated date of delivery of the final report shall be indicated in the said notification. The GM shall convey this information to the SHPO and PAE/Council.
- 2. The Monitor shall prepare an Archaeological Supervision End of Field Report, which shall include the main findings and their location, the methodology used for their excavation and documentation, conclusions on the effectiveness of the archaeological supervision, the integrity and importance of the archaeological resources discovered, and clear recommendations as to the course of action to be followed. It should also include the date of delivery of the Final Report. This report will be delivered via e-mail to the PM and GM within 30 calendar days of the conclusion of the archaeological monitoring. The GM will be responsible for submitting it to the SHPO and the PAE/Council.
- 3. A Final Report of the archaeological evaluation and monitoring shall be prepared and submitted by the date stipulated in the End of Field Report. This report shall include a description of the work carried out in the evaluation and archaeological monitoring, findings, and interpretation. It must include profile drawings and general plan drawings, as a minimum. The report must comply with Article 10 Section 8 of Regulation #8932, which indicates the content and format it must have. The report shall be submitted to the GM no later than ninety (90) days after completing the archaeological monitoring work. The GM shall review the report and submit it to the SHPO no later than two (2) weeks after receiving it. The PM, after receiving the GM's approval, will proceed to prepare a printed and bound copy of the report and file it with the PAE/Council.
- 4. If the report cannot be delivered on the established date, an extension of time will be requested from the Council/PAE, indicating the reasons why the report cannot be delivered. The extension request shall be submitted, to the extent possible, fifteen (15) working days prior to the established date. The Council/PAE shall reply within fifteen (15) working days, in accordance with the provisions of Article 10 Section 7 of Regulation #8932, setting a final deadline for the delivery of the report. The request for extension of time must be copied to the OECH.
- 5. The SOI-A shall be responsible for preserving her original field notes, digital photographs, expert reports, drawings, maps, and any other documents associated with the study (including digital files) and shall ensure that they are available for future reference by other researchers. If she is unable to retain these documents, she should turn them over to the PAE/Council to relieve them of this responsibility.

## **V. SUMMARY OF ANTICIPATED PRODUCTS**

Anticipated products are as follows:

**Archaeological Evaluation (Stage 2)- Weekly Reports:** shall include a summary of work carried out during the week (including but not limited to removal of the existing debris, concrete slab demolition and debris removal and evaluation work) and the main findings. To be submitted to the PM and GM by e-mail during the following week.

Archaeological Evaluation (Stage 2)- End of Field Report: this report shall summarize the work done during the week and the main findings. To be submitted to the PM and GM via email within 15 calendar days after the field work is completed.

**Monitoring - Daily Record of Activities Form**- this form should be completed daily and submitted weekly to the PM and GM for review.

**Monitoring -Monthly Report:** brief report that shall include the Daily Record of Activities Forms as an appendix. The report shall be emailed to the PM and GM during the first week of the following month.

**Monitoring- End of Field Report:** shall include the main findings and their location, the methodology used for their excavation and documentation, conclusions on the effectiveness of the archaeological supervision, the integrity and importance of the archaeological resources discovered, and clear recommendations as to the course of action to be followed. To be submitted via e-mail to the PM and GM within 30 calendar days of the conclusion of the archaeological monitoring.

**Final Report of the archaeological evaluation (Stage 2) and monitoring:** the report shall be submitted to the GM no later than ninety (90) days after completing the archaeological monitoring work. The GM shall review the report and submit it to the SHPO no later than two (2) weeks after receiving it. The PM, after receiving the GM's approval, shall file a printed and bounded copy to the PAE/Council.

## **VI. PROFESSIONAL QUALIFICATIONS**

The Monitor must meet the minimum Secretary of the Interior Professional Qualifications Standards for Archaeology established in 36CFR Part 61. These are: a graduate degree in archaeology, anthropology, or closely related field, plus at least one (1) year of full-time professional experience or equivalent specialized training in archaeological research, administration, or management; at least four (4) months of supervised field and analytic experience in general Puerto Rican archaeology; the demonstrated ability to carry research to completion; and at least one (1) year of full-time professional experience at a supervisory level in the study of archaeological resources of the pre-Columbian and colonial periods. Please see https://www.nps.gov/history/local-law/arch\_stnds\_9.htm for more information.

The archaeologist serving as principal investigator must be listed to conduct Phase III level studies on the Council's lists or, in the absence of the Council, meet the qualifications in accordance with the current regulations.

Any additional staff to be involved in the implementation efforts of this Plan should have extensive experience in historical archaeology, and in working on evaluation (Phase II), documentation (Phase III), and monitoring projects related to colonial period properties. It is recommended that the team include a specialist in historic preservation.

The SOI-A may not transfer his or her duties, obligations, and responsibilities to subordinates or other technicians who are not professionally trained in archaeology. In the case of hiring archaeologists and trained technicians to assist in archaeological monitoring, the SOI-A must be present for at least 25 percent of the duration of the fieldwork to supervise them.

## VII. REFERENCES

Advisory Council on Historic Preservation

2009 ACHP recommendations on the recovery of significant information from archaeological sites <u>https://www.achp.gov/protectinghistoricproperties/Section\_106\_Archaeology\_Guidance</u>.

Consejo para la Protección del Patrimonio Arqueológico Terrestre de Puerto Rico.

2017 *Reglamento para la radicación y evaluación arqueológica de proyectos de construcción y desarrollo.* San Juan: ICP. Reglamento #8932 del 8 de febrero de 2017.

Ingenium Group

2023 Project Plans. Centro de Actividades Municipales Project (PR-CRP-000783).

López Schmid, María F., Vega, Jesús E., and Muñoz Pando, Roberto

2023 Puerto Rico 2017 Disaster Recovery, CDBG-DR Program. City Revitalization Program (City-Rev). Section 106 NHPA Effect Determination for the Centro de Actividades Municipales Project (PR-CRP-000783). Revised 2024.

National Park Service

- s/f "Archeology and Historic Preservation: Secretary of the Interior's Standards and Guidelines [As Amended and Annotated] Professional Qualification Standards". <u>https://www.nps.gov/history/local-law/arch\_stnds\_9.htm</u>
- s/f "Archeology and Historic Preservation: Secretary of the Interior's Standards and Guidelines for Archeological Documentation". <u>http://www.cr.nps.gov/local-law/arch\_stnds\_7.htm</u>

Puerto Rico State Historic Preservation Office (PRSHPO)

1993 *Guía para hacer investigaciones arqueológicas Fases I, II y III.* San Juan: Oficina del Gobernador.

## APPENDIX A: MONITORING DAILY ACTIVITY SHEET

GRYTINNENT OF PETETO RECO	PUERTO RICO 2017 DISASTER RECOVERY City Revitalization Program ARCHAEOLOGICAL MONITORING DAILY RECORD OF ACTIVITIES	
Case ID:	Project Location:	
Municipality:	Project Coordinates (lat/long):	

## SOI Qualified-Archaeologist:

Date of Monitoring: Click or tap to enter a date. Work Hours:

#### Description of work performed by contractor and supervised by the Monitor:

	YES	NO
Are the project activities conforming to the LIDRS? If not, explain below.		
Was an archaeological remain documented during the day. If yes, include required information below.		
Was an exceptional archaeological remain identified during the day? If yes, explain below.		
Have the construction activities affected a previously unidentified property or a known historic property in an unanticipated manner? If yes, explain below.		
Has there been a change in the scope of work of the project? If yes, explain below.		

CONTINUENT OF PEETO RECO	PUERTO RICO 2017 DISASTER RECOVERY City Revitalization Program ARCHAEOLOGICAL MONITORING DAILY RECORD OF ACTIVITIES	
Case ID:	Project Location:	
Municipality:	Project Coordinates (lat/long):	

Site Photos	
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<b>Direction of Photo:</b> Click here to enter text. <b>Description:</b> Click here to enter text.	



## GOVERNMENT OF PUERTO RICO

STATE HISTORIC PRESERVATION OFFICE

Executive Director I Carlos A. Rubio-Cancela I carubio@prshpo.pr.gov

Friday, February 23, 2024

#### Lauren Bair Poche

Historic Preservation Senior Manager HORNE Puerto Rico 10000 Perkins Rowe, Suite 610 Bldg G Baton Rouge, LA 70810

## SHPO-CF-02-22-24-02 PR-CRP-000783 – CENTRO DE ACTIVIDADES MUNICIPAL, ADJUNTAS, PUERTO RICO

Dear Ms. Poche,

The SHPO has received and reviewed the above referenced project in accordance with 54 USC 306108 (commonly known as Section 106 of the National Historic Preservation Act, as amended) and 36 CFR Part 800: *Protection of Historic Properties*. The State Historic Preservation Officer (SHPO) is to advise and assist federal agencies and other responsible entities when identifying historic properties, assessing effects upon them, and considering alternatives to avoid or reduce the project's effects.

Our records support your finding of **no adverse effect** for the proposed undertaking pursuant that the following conditions proposed by the Agency are met:

1. This 1911 Neoclassical commercial structure within the Adjuntas Traditional Urban Center, which will house the proposed Centro de Actividades Municipales, is considered eligible to the National Register of Historic Places under Criteria C and D. Brick features such as a cistern, latrine and previous house constructions of the late 19th and early 20th century, including the original yard on the west side may be present below ground near the APE. A Phase 2 archaeological site-testing investigation by a SOI-Qualified archaeologist is recommended before the controlled demolition of the floor, etc., to avoid or mitigate potential adverse effects to these historic structures. A Phase II work plan will be prepared and submitted to the PRSHPO for review and approval.



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STATE HISTORIC PRESERVATION OFFICE OFFICE OF THE GOVERNOR

Cuartel de Ballajá (Tercer Piso), Calle Norzagaray, Esq. Beneficencia, Viejo San Juan, PR 00901 | PO Box 9023935, San Juan, PR 00902-3935

Lauren Bair Poche SHPO-CF-02-22-24-02 PR-CRP-000783 – CENTRO DE ACTIVIDADES MUNICIPAL, ADJUNTAS, PUERTO RICO Page 2

If you have any questions or comments regarding this matter or require our further assistance, do not hesitate to contact our Office.

Sincerely,

my armin

Carlos A. Rubio-Cancela State Historic Preservation Officer

CARC/GMO/MB/SG



Cuartel de Ballajá (Tercer Piso), Calle Norzagaray, Esq. Beneficiencia, Viejo San Juan, PR 00901 | PO Box 9023935, San Juan, PR 00902-3935

GOVERNMENT OF PUERTO RICO DEPARTMENT OF HOUSING

April 30, 2024

#### Arch. Carlos A. Rubio Cancela

Executive Director Puerto Rico State Historic Preservation Office Cuartel de Ballajá, Third Floor San Juan, Puerto Rico 00901

#### Re: Authorization to Submit Documents for Consultation

Dear Arch. Rubio Cancela,

The U.S. Department of Housing (HUD) approved the allocations of Community Development Block Grant (CDBG-DR) funds on February 9, 2018. It also approved the allocation of Community Development Block Grant Mitigation (CDBG-MIT) funds on January 27, 2020. The purpose of these allocations is to address unsatisfied needs as a result of Hurricanes Irma and Maria in September 2017; and to carry out strategic and high-impact activities to mitigate disaster risks and reduce future losses.

To comply with the environmental requirements established by HUD, the Department of Housing of Puerto Rico (PRDOH) contracted Horne Federal LLC to provide environmental review services, among others, that will support the objectives of the agenda for both CDBG-DR and CDBG -MIT Programs.

To expedite the processes, Horne Federal LLC, is authorized to submit to the State Historic Preservation Officer, documentation of projects related to both the CDBG-DR and CDBG-MIT on behalf of PRDOH.

Cordially,

Aldo A. Rivera Vázquez, PE Director Division of Environmental Permitting and Compliance Office of Disaster Recovery



February 22, 2024

Carlos A. Rubio Cancela State Historic Preservation Officer Puerto Rico State Historic Preservation Office Cuartel de Ballajá (Tercer Piso) San Juan, PR 00902-3935

#### Puerto Rico Disaster Recovery, CDBG-DR City Revitalization (City-Rev) Program

Section 106 NHPA Effect Determination Submittal for PR-CRP-000783, Centro de Actividades Municipal Project, Adjuntas, Puerto Rico – *No Adverse Effect, Conditioned* 

Dear Architect Rubio Cancela,

On February 9, 2018, an allocation of Community Development Block Grant - Disaster Recovery (CDBG-DR) funds was approved by the United States Department of Housing and Urban Development (HUD) under the Federal Register Volume 83, No. 28, 83 FR 5844, to assist the Commonwealth of Puerto Rico in meeting unmet needs in the wake of Hurricanes Irma and Maria. On August 14, 2018, an additional \$8.22 billion recovery allocation was allocated to Puerto Rico under the Federal Register Volume 83, No. 157, 83 FR 40314. With these funding allocations, the Puerto Rico Department of Housing (PRDOH) aims to lead a comprehensive and transparent recovery for the benefit of Puerto Rico residents. To faithfully comply with HUD's environmental requirements, the Puerto Rico Department of Housing contracted Horne Federal, LLC (HORNE) to provide environmental records review services that will support the Department's objectives Puerto Rico Housing (PRDOH) for CDBG-DR.

On behalf of PRDOH and the subrecipient, the Municipality of Adjuntas, we are submitting documentation for the proposed Centro de Actividades Municipal Project. The proposed undertaking consists of the rehabilitation of a 1911 abandoned two-story Neoclassical building. Currently, only the exterior of the building is extant as the roof has been missing since at least 2013 and the interior walls and floors were destroyed as a result of the hurricane winds. The lower level is proposed to be divided into three rooms with wall dividers so that they can be opened to each other, as well as an administration and security office. The second story will be composed of two large rooms, one of which will serve as an art gallery to showcase local artisans. A terrace will be constructed on the top of the single-story portion of the building on its west elevation. This building has been determined to be eligible for the National Register of Historic Places under



Criterion C and D. The full scope of the project is described in the submitted documentation, which includes mapping, photographs, and the 60% construction plans.

Based on the provided documentation, the Program requests a concurrence with a determination that "No Adverse Effect" is appropriate for this undertaking, conditioned to a Phase II investigation conducted by a SOI-qualified archaeologist. A Phase II work plan will be prepared and submitted to the PRSHPO for review and approval.

Please contact me by email at <u>lauren.poche@horne.com</u> or phone at 225-405-7676, or Ms. Sharon Meléndez Ortiz at <u>sharon.melendez@horne.com</u>.

Kindest regards,

fauren D. Yoche

Lauren Bair Poche. M.A. Architectural Historian, EHP Senior Manager Attachments



Subrecipient: Municipality of Adjuntas

Project Name: Centro de Actividades Municipal

Project ID: PR-CRP-000783

Project Location: Bo. Pueblo Calle César González Esq. Calle Progreso, Adjuntas PR 00601						
Property Size (acres): 0.171						

SOI-Qualified Architect/Architectural Historian: Maria F. Lopez Schmid					
Date Reviewed: June 2, 2023 / October 23, 2023, 01/31/2024					
SOI-Qualified Archaeologist: Jesus E. Vega, Ph.D./ Roberto G. Muñoz-Pando, PhD					
Date Reviewed: March 21, 2023 / REVISED December 14, 2023 / February 1, 2024 [RGMP]					

In compliance with Section 106 of the National Historic Preservation Act (NHPA), the Program is responsible for identifying historic properties listed in the NRHP and any properties not listed that would be considered eligible for listing that are located within the geographic area of potential effects (APE) of the proposed project and assessing the potential effects of its undertakings on these historic properties.

#### Project Description (Undertaking)

This project proposes the reconstruction of a historic concrete building that was severely impacted by hurricanes Irma and María in 2017. The purpose of this undertaking, called Centro de Actividades Municipal (PR-CRP-000783), is to provide a public building for renting activity rooms at a low cost. The building is located on César González Street, at the corner with Progreso Street, at coordinates (18.162821, -66.721748) within the Adjuntas Traditional Urban Center. The property belongs to the Municipality of Adjuntas.

The building has a reinforced concrete slab on grade foundation and concrete walls. The roof collapsed around 2013; it first appears on the 2013 aerial image without a roof (shown in Figure 9) and subsequent aerial photos from 2017 and onwards (shown in Figures 10 to 12) show the building was abandoned and has growing vegetation inside. The roof appears to have corrugated metal panels over metal beams and trusses supported by a metal structure of round columns and I-beams. This metal structure appears to have collapsed on the current 2023 assessment photos. The floor in between the levels had metal columns and beams supporting a wood frame. While some of the wood elements remain attached, most of them are on the floor in pieces. Part of the metal trusses have become loose from the left side wall, and some are on the ground. There is also vegetation growing on the interior walls, floor, and fenestration openings on both levels.

The subject building is Neoclassical in its architectural style, with façades on both street corners. The façade from César González Street has two bays: the corner bay being two



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stories high and the left bay one story. There are three doors with arched transoms on the lower level that access the street, and three rectangular doors directly above on the second level that access the front balconies. The metal grilles on the first level do not appear to be original. The wood double doors on the second level, and left side door on the first, do not appear original as they are solid and do not have the typical wood jalousies or integrated glass. The two doors to the right on the second level still retain the original band of carved wood filigree transoms. The concrete balconies have a cornice detail that runs along the wall and the decorative metal railings remain although some have lost pieces. The facade has a concrete parapet with a double corniced overhang on the second level. All the openings and the corners have a simple projecting trim on the concrete that runs continuously and forms a base between the first level doors. A commemorative relief has the building number "914" in a rectangle above the center door. The left side bay contains a one-story wall with an arched transom door opening in the center that is trimmed with simple projecting concrete along the base, top, and corners. The opening has faux stone scoring and a step design around the arch. A commemorative relief above the center opening has the initials "A & S" and the date of construction "1911" below. A door to the right side was added later.

The right-side elevation on Progreso Street has seven arched doors on the first level and rectangular on the second level both levels with similar trim detail and wood doors. The center arched door has a relief key detail and on the second level a projecting balcony as on the façade. The remaining doors on the second level have a ledge railing of similar design to the porch railing. The left elevation is missing the exterior wall, so the interior wall is visible.

The roof was originally built of wood and zinc and is missing, and the remnants are still inside the building. The second story and interior walls were also destroyed by hurricane winds. Each level has an approximate area of 5,744 square feet.

For the proposed project, the lower level will be divided into three separate rooms with sliding-wall dividers to adjust the capacity of each room. Each room will have a direct emergency exit. An administration and security office will be located at the main entrance to the building. The second story will include two rooms, one of them an art gallery for local artists and artisans.

A rooftop terrace will be built atop the wing structure to the left of the entrance, providing a visual connection with nature and the Adjuntas Traditional Urban Center. This constitutes an addition to the west side of the 1911 building. The first level of this side structure will be used for storage. The building will use solar energy, including storage space for batteries and renewable energy equipment. A structural evaluation is essential for providing independent support to the new roof, to be built with durable and cost-effective materials.



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An elevator will be added to the structure towards the rear of the left side of the building, surrounded by a new staircase (Space 203 in Proposed First Floor Plan, Drawing A101). The vertical ground disturbance for the elevator pit is 4' 0", with a horizontal disturbance of 8' 10" by 8' 10" as illustrated in Sections and Details (Drawing S102).

The proposed project will preserve the original exterior facades with architectural details of arch entrances and second-story rectangular windows, each with its own small balcony or ledge. The project will preserve the original design in its exterior architectural splendor, including metal railings, transoms, and paint color. The interiors will be completely redone and will have a contemporary design.

Access to the building must comply with security laws, including emergency exits. The lighting system must be modern, using LED lights of variable intensity. Both levels will be equipped with accessible bathrooms. The doors and windows need to be recreated using the original design. Air-conditioning split consoles will be added to each room. No demolition of the façade will be required; doors, windows, floor slabs, and roof debris will be removed. The final design will be delivered with 3D digital simulation, to the extent possible until final construction, to present the project to residents and stakeholders.

A detailed demolition plan with depth of impact has not been provided for archaeological consideration. The Proposed Demolition Plan (Drawing C100) indicates that the existing floor concrete slab of the building will be removed with a saw disk, including the exterior area on the west side and the interior on the east side. All the existing doors and windows will be removed, as well as all existing metal and wood structure inside the building. The existing structure at the northeast corner of the building will be removed in its entirety, including a wall between the existing structure and the main building, approximately 14 feet long. The new concrete floor slab must maintain the same existing floor levels. The only reported depth of impact is a floor level change of 6 inches at the northwest end of the property (ibid). The General Demolition Notes #7 and 8 indicate that the available plans are "a general guide to the scope of work" and "this information is not a detailed study of existing conditions or the demolition (ibid). The greatest depth of impact is 4 ft. at the elevator pit. The depth of impact for demolishing the existing building at the northeast of the property is estimated at 3 feet. The required depth of undisturbed native soil under the backfill for planting trees is 2 feet, as reported in Tree Planting Detail, LA100).

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# Area of Potential Effects

As defined in 36 CFR §800.16(d), the area of potential effects (APE) is the geographic area or areas within which an undertaking may directly or indirectly cause changes in the character or use of historic properties if any such properties exist. Based on this definition and the nature and scope of the Undertaking, the Program has determined that the direct APE for this project is a single urban parcel defined by the boundaries of the existing concrete structure limited to the south by César González Street and to the east by Progreso Street, with an approximate area of 5,744 square feet. The indirect or visual APE is the viewshed of the proposed project, which is the Adjuntas Traditional Urban Center.

# Identification of Historic Properties - Archaeology

Existing information on previously identified historic properties has been reviewed to determine if any such properties are located within the APE of this undertaking. The review of this existing information, by a Program contracted Historic Preservation Specialist meeting the Secretary of the Interior's Professional Qualification Standards (36 CFR Part 61), shows that the project area is within a quarter-mile radius of twenty-eight recorded archaeological sites and/or NRHP listed/eligible historic properties pertaining to the Adjuntas Traditional Urban Center, described below, and highlighted in the aerial and topographic maps included. "No data" denotes no corresponding Institute of Puerto Rican Culture (IPRC), State Historic Preservation Office (SHPO), or National Register of Historic Places (NRHP) identification was found.

Table 1. Archaeological Sites and/or NRHP Listed/Eligible Historic Properties Within Quarter-Mile Radius of Project Area

#	Name	SHPO ID	IPRC ID	Location	Description	NRHP
1	Residencia Histórica # 1	No data	No data	0.04 mi SW	Historic, 20 <sup>th</sup> century, two- story concrete residence; located east of the public plaza, on the junction of PR-123 Road and César González Street.	No data
2	Residencia Histórica #2	No data	No data	0.05 mi SW	Historic, 20 <sup>th</sup> century, two- story concrete residence; located southeast of the public plaza, on the junction of PR-123 Road and César González Street.	No data



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Sub	recipient: Munic	ipality of Adjunt	as				
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3	Comercio Histórico #1	No data	No data	0.05 mi NW	Historic, 20 <sup>#</sup> one-story co structure; cu by AGAVE, Mexican res located on Rivera Stree	ommercial urrently used a local staurant; Luis Muñoz	No data
4	Comercio Histórico #2	No data	No data	0.06 mi NW	in used by F Adjunteña, bakery; loc junction of l	uilding 1922; currently Panadería La a local ated on the	No data
5	Plaza Pública Arístides Moll Boscana	No data	No data	0.06 mi SW	the town of limited by L Rivera Stree San Joaquíi	•	No data

					Luis Muñoz Rivera Street.	
5	Plaza Pública Arístides Moll Boscana	No data	No data	0.06 mi SW	Historic, public plaza of the town of Adjuntas; limited by Luis Muñoz Rivera Street to the north, San Joaquín Street to the west, PR-123 Road to the east, and César González Street to the south.	No data
6	Cine Esperanza	No data	No data	0.07 mi NW	Historic, movie theater with a 300-seat capacity built in 1923; owned by don Juan Aparicio Rivera, who named it after his wife Esperanza Bosch; preceded by Juan Viguié's 1911 movie theater which used projectors bought from a circus in Ponce and Cine Patria in 1921; the façade sports four frontal columns, a stylistic design shared only with Teatro Fénix in Vega Baja; it also hosted local high school graduations, theater plays, concerts, and magic shows; closed operations on April 30 <sup>th</sup> , 1986; located on PR-123 Road.	No data



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7	La Granja	AD0100001	No data	0.07 mi SW	Prehistoric, carved stone with sixteen petroglyphs in total; first reported by American archaeologist Irving Rouse in 1938; removed from the archaeological site by a collector in 1980, then retrieved and relocated to the southeast corner of the public plaza; located on the junction of PR-123 Road and César González Street.	No data
8	Respetable Logia Luz de la Montaña #25	No data	No data	0.08 mi NW	Historic, 20 <sup>th</sup> century masonic lodge; the masonic chapter itself was established in 1892; located on PR-123 Road.	No data
9	Edificio Art Deco	No data	No data	0.08 mi SW	Historic, 20 <sup>th</sup> century, two- story concrete apartment and commercial building in Art Deco style; first floor is used by El Estudiantil, a local school supply shop; located on PR-123 Road.	No data



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10	Escuela Washington Irving	No data	No data	0.08 mi SW	Historic, concrete school building erected in 1903; designed by Charles G. Post, it is considered an example of Aarly 20 <sup>th</sup> Century School Buildings architecture; located on PR-123 Road.	Listed
11	Comercio Histórico #3	No data	No data	0.08 mi NW	Historic, 20 <sup>th</sup> century, one-story concrete commercial structure; currently in use by La Feria Gift Shop, Optometry World, and Súper Mueblería Abreu; located north of the public plaza, on the junction of PR-123 Road and Luis Muñoz Rivera Street.	No data
12	Parroquia San Joaquín y Santa Ana	No data	No data	0.09 mi SW	Historic, Catholic parish built in the 1960s; original 1914 construction was demolished in the 1970s; located south of the public plaza, on César González Street.	No data
13	Comercio Histórico #4	No data	No data	0.09 mi NW	Historic, 20 <sup>th</sup> century, two- story concrete commercial and residential structure; first floor is currently used by Tiendas Limar; located north of the public plaza, on Luis Muñoz Rivera Street.	No data
14	Residencia Histórica #3	No data	No data	0.09 mi NW	Historic, 20 <sup>th</sup> century, one-story wooden residence with concrete base and zinc roof; located on Concordia Street.	No data
15	Residencia Histórica #4	No data	No data	0.10 mi NW	Historic, 20 <sup>th</sup> century, one-story, wood and concrete residence with zinc roof turned into a	No data



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					commorcial structures	[]
					commercial structure; previously used by Advance Accounting and Tax Advisor, now abandoned; located on Santa Ana Street.	
16	Escuela José Julián Acosta	No data	No data	0.10 mi SW	Historic, 20 <sup>th</sup> century, concrete school building in Art Deco style; located on PR-123 Road.	No data
17	Residencia Histórica #5	No data	No data	0.10 mi SW	Historic, 20 <sup>th</sup> century, one-story wood and concrete residence; located south of the public plaza, on César González Street.	No data
18	Casa Pueblo	No data	No data	0.10 mi SW	Historic, 20 <sup>th</sup> century, one-story concrete residence; currently in use as the cede for the Casa Pueblo community project since 1980; located on PR-123 Road.	No data
19	Comercio Histórico #5	No data	No data	0.11 mi NW	Historic, two-story concrete commercial and residential structure built in 1925; first floor is currently used by Cafetería Miriam #2 and Tattoo Bar; located on the junction of PR-123 Road and Concordia Street.	No data
20	Oficina de Cultura y Turismo	No data	No data	0.11 mi SW	Historic, 20 <sup>th</sup> century, one-story concrete residence with zinc roof; currently used as the cede for the municipal Office of Culture and Tourism; located south of the public plaza, on the junction of César González and San Joaquín Streets.	No data



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21	Primera Iglesia Bautista	No data	No data	0.11 mi W	Historic, concrete Baptist church inaugurated in 1900, first in the town of Adjuntas; located north of the public plaza, on the junction of Luis Muñoz Rivera and San Joaquín Streets.	No data
22	Comercio Histórico #6	No data	No data	0.12 mi NW	Historic, 20 <sup>th</sup> century, one-story concrete commercial structure with three entrances; located on PR-123 Road.	No data
23	Comercio Histórico #7	No data	No data	0.12 mi SW	Historic, two-story concrete commercial building erected in 1916; first floor is currently used by Coco's Pizza, a local food establishment; its façade was painted over with the Puerto Rican flag; located west of the public plaza, on San Joaquín Street.	No data
24	Casa de Ayuntamie nto	No data	No data	0.12 mi SW	Historic, town hall building erected in 1927 by order of then-mayor don José Víctor Bosch; designed by famed Puerto Rican architect Rafael Carmoega and civil engineer Fernando Caso, while Antonio Moll Boscana served as the contractor; the two original wooden town hall buildings burned down in 1849 and then in 1923, respectively; located on the junction of César González and San Joaquín Streets.	No data
25	Estación de Bombero	No data	No data	0.12 mi SW	Historic, two-story firehouse station built in concrete between 1946 and 1947, one of seven	No data



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					firehouse stations built at time, after World War II; located on San Joaquín Street.	
26	Residencia Histórica #6	No data	No data	0.13 mi SW	Historic, 20 <sup>th</sup> century, one-story concrete residence; located on San Joaquín Street.	No data
27	Residencia Histórica #7	No data	No data	0.14 mi NW	Historic, 20 <sup>th</sup> century, one-story wooden residence with zinc roof; located on the junction of Concordia and San Joaquín Streets.	No data
28	Comercio Histórico #8	No data	No data	0.15 mi SE	Historic, early 20 <sup>th</sup> century, two-story concrete commercial and residential structure with a basement; first floor is currently used by Sastrería La Conquista; located on PR-123 Road.	No data

# Table 2. Cultural Resource Studies Conducted Within Quarter-Mile Radius of Project Area

Author	Title	Year	SHPO/IPRC ID	Results	Location
Adalberto Maurás Casillas	Phase 1 A, Remodelación Plaza Arístides Moll Boscana	2007	CAT-AD-07-04-05	Positive	0.06 mi SW
Marisol Martínez Garayalde	Phase 1A-1B, Mejoras Al Sistema Sanitario Comunidades Barriada Rodríguez, Olimpia y Calle Martínez Andino	1997	CAT-AD-97-02-05	Negative	0.06 mi SE
José A. Hernández Mayoral	Los Viejos Cines de Puerto Rico	2020	No data	Positive	0.07 mi NW
Juan Llanes Santos	Nomination of Washington Irving Graded School to the National Register of Historic Places	2015	15000274	Positive	0.08 mi SW
Marisol Rodríguez Miranda	Phase 1A-1B, Urbanización Villa Carmení	1995	CAT-AD-95-02-02	Negative	0.25 mi SW

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# Cultural Setting

The Adjuntas Traditional Urban Center is located on a highland valley north of Guayanilla and Yauco and northwest of Ponce, surrounded by the western mountains of the Cordillera Central. This is a fertile region watered by three small rivers: Río Cidra, Río Saltillo, and Río Vacas. Río Cidra is named for the local production of cider. This river runs along the west flank of the Adjuntas Traditional Urban Center, with a tributary running southwest through the urban center. Adjuntas is relatively close to the south coast, to which it is linked historically, primarily to the city of Ponce. However, its rivers run north. From a hydrological perspective, Adjuntas is connected to the north coast. From a prehistoric or aboriginal perspective, Adjuntas may be connected to the north-center, particularly Utuado.

The name of Adjuntas derives from "attached" in Spanish, probably a shortened version of *tierras adjuntas* to Coamo, as the region originally belonged to the early 16<sup>th</sup> century town of San Blas de Illescas de Coamo, one of the three earliest Spanish settlements in Puerto Rico along with Caparra and San Juan. Adjuntas became a *barrio* of Ponce and then Utuado, becoming a separate municipality in 1815 under the leadership of don Diego Maldonado, on land donated by don Juan de Jesús La Torre. Adjuntas is known as "the Switzerland of Puerto Rico" for its cool weather, apparently after President Theodore Roosevelt visited Adjuntas and was pleased with the cool weather, "like a tropical Switzerland." Adjuntas is also known as "the city of the sleeping giant" for the mountains surrounding the town in every direction, and "the land of lakes" for its numerous natural pools or *charcas*. In his visit to Puerto Rico, French artist Auguste Plée produced two sketches of Adjuntas in 1821. Far more informative are two maps produced in the 1880s, including the 1880 *Plano del Pueblo de Adjuntas*, drawn by Manuel Hernaíz Vidal (Figure 1), located at the Archivo General de Puerto Rico, and the circa 1885 Croquis de Adjuntas by the *Cuerpo de Ingenieros Militares* (Figure 2).

The Spanish conquistador and interpreter Juan González may have explored and settled in Adjuntas during the early 16<sup>th</sup> century. This has yet to be corroborated archaeologically. Prior to the town's foundation, a small chapel was built in 1805. By 1828, the town had eight houses and four *bohíos* or thatched huts. By 1878, as reported by Manuel Ubeda y Delgado, Adjuntas had grown to eighty houses and seventy-five *bohíos*. Adjuntas' wealth increased during the late 19<sup>th</sup> century primarily to coffee production. Through the 19<sup>th</sup> century, particularly with the participation Corsican immigrants, Adjuntas was a leader in coffee production and exports to Europe, receiving the title of *villa* by the Spanish government in 1884.

Adjuntas was also known for its cider which exported to Europe, particularly by "Citron Exports," owned and operated by Dutch immigrants. In 1910, William H. Armstrong described Adjuntas as a "coffee town on the main road between Ponce and Arecibo" and "a popular summer resort for a few people who live in Ponce" due to its cool weather.



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At the time, Adjuntas lacked a regular hospital, most houses were built of wood, including the town hall building, and charcoal was the only available fuel. The urban population at that time included 1,406 inhabitants. According to Armstrong, the urban aqueduct system in Adjuntas was "piped in a crude way from the mountains." A 1937 aerial photograph reveals the extension of Adjuntas toward the beginning of the 20<sup>th</sup> century (Figure 3).

Adjuntas and other neighboring mountain municipalities are known to contain gold, silver, and copper. The initial interest in gold in the 16<sup>th</sup> century was short-lived; there was gold, but in insufficient quantities. In the 1980s, the government of Puerto Rico proposed to operate a large-scale copper mining enterprise in Adjuntas, Utuado, Lares, and Jayuya. This project required open mines with enormous artificial terraces and large-scale environmental impact. Opposition to this project led to the creation of the *Taller de Arte y Cultura de Adjuntas*, more commonly known as *Casa Pueblo*, with headquarters located in a historic house within the Adjuntas Traditional Urban Center.

# Potential for Intact Cultural Deposits

A total of eleven prehistoric sites have been reported for the Municipality of Adjuntas, mostly bateyes or ball courts and petroglyphs associated with rivers and creeks, created by potterymaking people of the Ostiones tradition during 1200 AD to 1500 AD. The closest archaeological site to the Area of Potential Effects (APE) is La Granja (AD0100001), a large rock with sixteen petroglyphs initially reported by Irving Rouse in 1938 and studied by Pedro Alvarado in 1998 after it was removed circa 1980 by a collector, more precisely a looter. It was eventually recovered and relocated to the southeast corner of the Plaza Pública Arístides Moll Boscana. No prehistoric sites or 16<sup>th</sup> century Spanish sites have been detected within the Adjuntas Traditional Urban Center. Therefore, the potential for intact prehistoric archaeological deposits is considered low.

The building itself built is eligible to the National Register of Historic Places under Criteria C and D. The building was constructed in 1911 and is within the Adjuntas Traditional Urban Center. Buried structures of the 19<sup>th</sup> century, such as a cistern, latrine and foundations of prior brick and masonry structures may be detected during demolition of the floor and excavation for the new elevator. Additionally, the west side of the building may have been an open yard with a garden. There is a possibility of previous structures made of brick or wood in the west side of the building, built after the city maps of 1880 and 1885 and before 1911, considering the proximity of the site to the town center with the church and the plaza.

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#### History of Use

The two-story concrete structure at the APE was built in 1911 for a commercial enterprise, or *tienda*, in early 20<sup>th</sup> century Criollo style. At the time, it was common practice to operate a commercial business on the first floor, with residential space for the owners and administrators on the second floor. This is reflected in the traditional balconies on the second floor, where residents could watch any activity on the street below.

The structure appears in the 1947, 1952, and 1960 topographic maps of the town of Adjuntas produced by the United States Geological Survey (Figures 4, 5, and 6). By the mid-20th century, this property was a privately owned supermarket. Located just one block east of the town plaza, the supermarket had a favorable commercial location within the Adjuntas Traditional Urban Center. This concrete structure has been abandoned for decades; its roof collapsed for unknown reasons between 2012 and 2013, as seen on satellite images provided by Google Earth Pro (Figures 7 and 8), previous to the passing of hurricanes Irma and María in 2017.

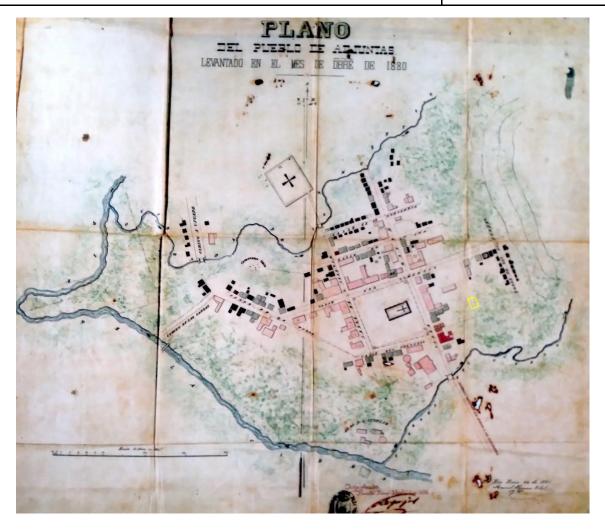
Adjuntas' central bus station is located immediately south, across César González Street, but did not exist until the late 1990s. Analysis of historic aerial photographs depict the bus station and municipal parking lot behind it as the only significant change to the overall configuration of the visual APE during the second half of the 20<sup>th</sup> century and beginning of the 21<sup>st</sup> century. The immediate surroundings have remained relatively unchanged after the passing of hurricanes Irma and María (Figures 9, 10, and 11). Aside from the early to mid-20<sup>th</sup> century supermarket, with the upper floor used for residence, no other formal uses have been identified for this property.



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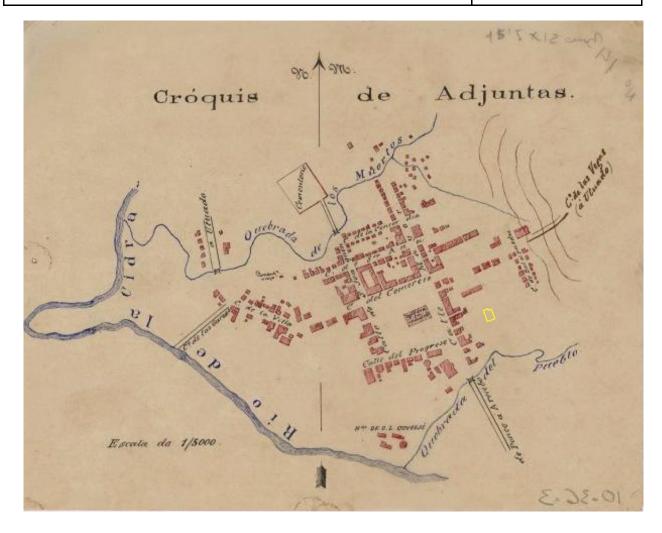
**Figure 1.** 1880 sketch of the town of Adjuntas drawn by Manuel Hernaíz Vidal. Project APE is highlighted in yellow. (Aníbal Sepúlveda Rivera, Puerto Rico urbano: Atlas histórico de la ciudad puertorriqueña, Vol. 3: Entre siglos (1880s-1910s), 2004, pp. 47)



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**Figure 2.** Circa 1885 sketch of the town of Adjuntas by the Cuerpo de Ingenieros Militares. Project APE is highlighted in yellow. (Aníbal Sepúlveda Rivera, Puerto Rico urbano: Atlas histórico de la ciudad puertorriqueña, Vol. 3: Entre siglos (1880s-1910s), 2004, pp. 58)



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**Figure 3.** 1937 aerial photograph of the town of Adjuntas. Project APE is highlighted in yellow. (Office of Photogrammetry, Puerto Rico Highway and Transportation Authority)



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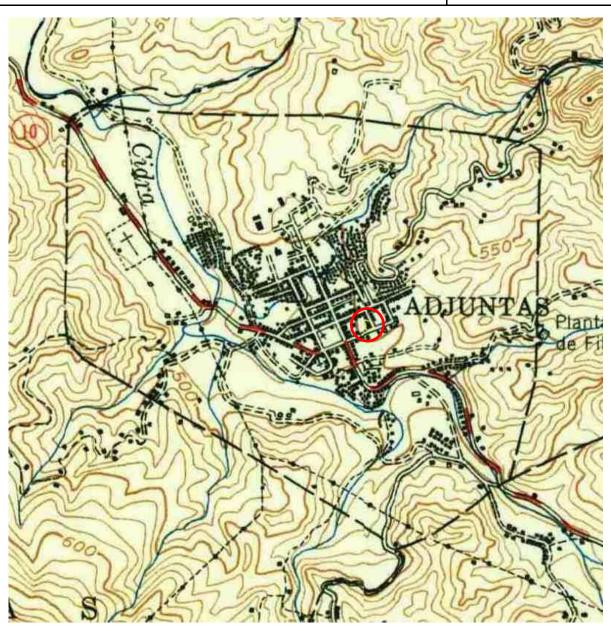
**Figure 4.** 1947 topographic map of the town of Adjuntas, scale 1:10,000. Project APE is highlighted in yellow. (United States Geological Survey)



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**Figure 5.** 1952 topographic map of the town of Adjuntas, scale 1:30,000. Project APE is highlighted in yellow. (United States Geological Survey)



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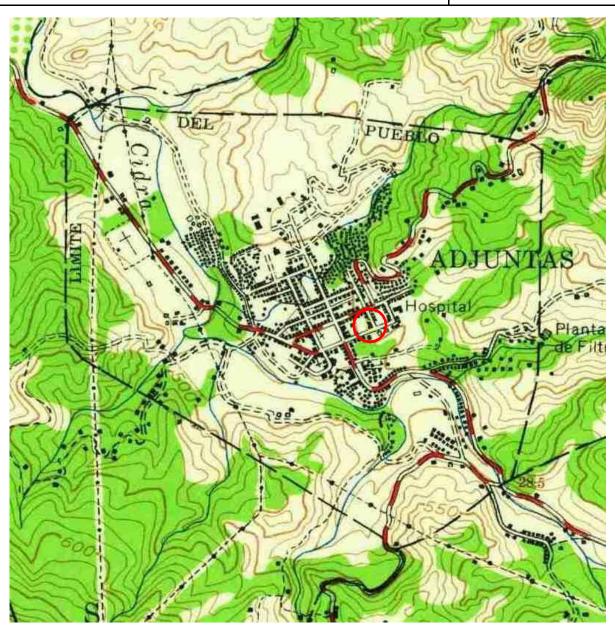


Figure 6. 1960 topographic map of the town of Adjuntas, scale 1:20,000. Project APE is highlighted in yellow. (United States Geological Survey)



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**Figure 7.** 2012 satellite image of the property. Taken previous to roof collapse. Project APE is highlighted in yellow. (Google Earth Pro)



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Figure 8. 2013 satellite image of the property. Roof appears to have collapsed. Project APE is highlighted in yellow. (Google Earth Pro)



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**Figure 9.** November 2017 satellite image of the property. Taken two months after the passing of hurricanes Irma and María. Project APE is highlighted in yellow. (Google Earth Pro)



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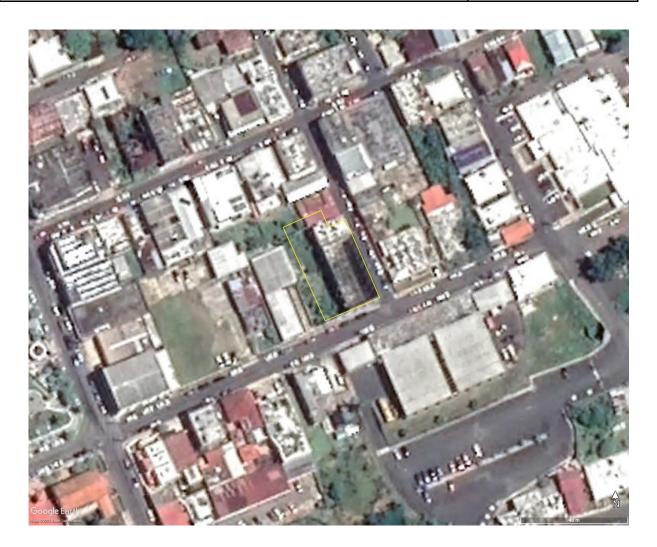
**Figure 10.** 2018 satellite image of the property. Parcel appears overgrown with vegetation and is evidently abandoned. Project APE is highlighted in yellow. (Google Earth Pro)



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**Figure 11.** 2020 satellite image of the property. Parcel has remained relatively the same. Project APE is highlighted in yellow. (Google Earth Pro)

#### Identification of Historic Properties - Architecture

Existing information on previously identified historic properties has been reviewed to determine if any such properties are located within the APE of this undertaking. The review of this existing information, by a Program contracted Historic Preservation Specialist meeting the Secretary of the Interior's Professional Qualification Standards (36 CFR Part 61), shows that the project area is within the boundaries of the National Register of Historic Places (NRHP)-eligible Traditional Urban Center of Adjuntas.

The subject building is located inside the Adjuntas Traditional Urban Center, and it is a contributing to the district. The two-story neo-classical building lies on the corner of César González Street and Progresso Street. The two-story, concrete commercial structure, or

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*tienda*, built in 1911, was used as a supermarket in the early to mid-20th century. Following Carol F. Jopling 1988 typology of Puerto Rican houses, the property within the direct APE may be formally defined as Vernacular Criollo Pueblerino Two-Story, Three-Opening Traditional House and *Tienda* with a lateral extension within the Adjuntas Traditional Urban Center.

The building has lost the roof, second level floor, doors and windows, interior partitions, and the interior structure that was destroyed by hurricanes Irma and María in 2017. Despite this, the exterior elevations remain with sufficient integrity to convey the feeling of an early twentycentury historic building in the town of Adjuntas. The building retains seven aspects of integrity. The building lies in the same location as where it was originally constructed and the urban setting of the town of Adjuntas retains sufficient historic buildings surrounding this property to convey historic integrity. Although the interior has been lost for the most part, sufficient original materials form the exterior elevation walls are still in place to understand how the structure was constructed and all design elements of the façade and side elevation to the street remain, such as cornices, parapet, openings, base, and reliefs. Enough material remains, at least in some places, to be able to reconstruct the rest in the renovation project. The exterior concrete walls still have all the design elements, the doors, railings, and the filigree transom above remain in at least one fenestration, and the metal grilles also remain in some openings. The craftsmanship of the building is evident on the exterior walls and from the inside enough that they provide clues as to how the lost portions of the interior were constructed. Since the main exterior elevations to the street remain complete, this building still conveys the feeling and association of an early twenty-century neoclassical commercial / residential building in a small town of Puerto Rico.

For these reasons, this building is a good example of its type and is individually eligible for listing in the National Register of Historic Places under Criterion C: Historic Events and Design/Construction of commercial below and family residence above, possessing integrity of location, design, setting, materials, workmanship, feeling and association. The property may also be eligible under Criterion D for the possibility to yield future archaeological information.

The purpose of the undertaking is to preserve and renovate this historic property. Because the remodeling of this building plans to retain or recreate all possible original architectural details including doors, windows, railings, and transoms, the rehabilitation will improve the existing building and the historic district of Adjuntas Traditional Urban Center.

One NRHP-listed building is within a quarter-mile buffer zone: the Washington Irving Graded School [10] is located 0.08 mi southwest of the project area on the corner of Rodolfo González and Martínez de Andino Streets. The school was listed on the National Register on May 26, 2015. Designed by Charles G. Post, this historic concrete school building from 1903 is considered a good example of Early Twentieth Century Schools in Puerto Rico architecture. The Washington Irving Graded School is a one story, four-classroom, brick, and masonry building with a flat concrete roof and parapet in the Neoclassical style. The symmetrical façade contains two projecting volumes on the exterior corners that have corniced pediments on the roof level. A centered main entrance door is emphasized by a pediment and pilasters below. The property sits in a 1,529 square meter lot, located one block southeast

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of the main town square in the municipality of Adjuntas. It is the oldest school building in Adjuntas and one of the earliest schoolhouses on the island, built under the United States authority. With some minor changes in its design, the resource retains a high level of integrity.

Seven National Register-eligible properties are within a quarter-mile buffer zone from the project area, and are listed below using the same numbering as the archaeology section:

[5] Plaza Púlica de Adjuntas Arístides Moll Boscana – (0.06 mi southwest of the project area) Historic, public plaza of the town of Adjuntas that is limited by Luis Muñoz Rivera Street to the north, San Joaquín Street to the west, PR-123 Road to the east, and César González Street to the south.

[6] Cine Esperanza - (0.07 mi northwest of the project area) Historic, 1923 movie theater with a 300-seat capacity originally owned by don Juan Aparicio Rivera, who named it after his wife Esperanza Bosch. Cine Esperanza was preceded by Juan Viguié's 1911 movie theater which used projectors bought from a circus in Ponce and Cine Patria in 1921. located on PR-123 Road. The façade of Cine Esperanza contains four frontal columns on the first level portico entrance that support curved corner walls on the two levels above. The concrete wall and front gabled theater closed operations in 1986.

[8] Respetable Logia Luz de la Montaña #25 - (0.08 mi northwest of the project area) This historic, 20th Century Masonic Lodge located on PR-123 Road, established its masonic chapter in 1892.

[16] Escuela José Julián Acosta - (0.10 mi southwest of the project area) This historic 20th century concrete school building in Art Deco style is located on PR-123 Road. The façade is characterized by projecting volumes with vertical lines that emphasize the window openings.

[21] Primera Iglesia Bautista - (0.11 mi west of the project area) This Baptist church inaugurated in 1900, was the first in the town of Adjuntas. The concrete church is located north of the public plaza, on the junction of Luis Muñoz Rivera and San Joaquín Streets.

[24] Ayuntamiento de Adjuntas (Casa Alcaldía) – (0.12 mi southwest of the project area) This 1927 Art Nouveau building is the town hall building created by order of then-mayor don José Víctor Bosch and built by civil engineer Fernando Caso and contractor Antonio Moll Boscana. Designed by famed Puerto Rican architect Rafael Carmoega, two-story imposing corner building on César González and San Joaquín Streets boasts projecting volumes, interrupted ceramic roof tile parapets, corbelled balconies, and delicate tile details above the doors. Two original wooden town hall buildings had burned in 1849 and then in 1923 respectively prior to the construction of the 1927 Carmoega building.

[25] Estación de Bomberos - (0.12 mi southwest of the project area) This historic, two-story concrete firehouse station built between 1946 and 1947 is one of seven firehouse stations built after World War II. The building is located on San Joaquín Street.

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# Determination

The following historic properties have been identified within the APE:

 Direct Effect: The proposed Centro de Actividades Municipal will be housed within the historic, two-story concrete commercial structure of Neoclassical style built in 1911 on the junction of César González and Progreso Streets of the Adjuntas Traditional Urban Center (TUC). This historic property is eligible to the National Register of Historic Places (NRHP) under Criteria C and D, considered significant as a contributing property to the Adjuntas Traditional Urban Center and as an individual historic property. The proposed undertaking has a positive effect on the current ruinous structure. The design and layout of the proposed activity center will not alter the historic and aesthetic character of the property.

There is a potential presence of a cistern, a latrine, and underground other brick structures and historic artifacts, typical of late 19<sup>th</sup> century buildings, on or near the project area. It is unlikely that the 1911 building was the first construction in the direct APE. Given the proximity of the direct APE to the center of the Adjuntas Traditional Urban Center and the other reasons mentioned above, a Phase 2 archaeological sitetesting investigation would confirm the presence or absence of buried historic structures of the late 19<sup>th</sup> and early 20<sup>th</sup> century within the APE.

Indirect Effect: The undertaking will have a positive indirect effect within the visual Area
of Potential Effect. Based on the results of our historic property identification efforts, the
Program has determined that project actions will positively impact the Adjuntas
Traditional Urban Center, with at least twenty-eight historic properties within a quartermile radius, mostly of the early 20<sup>th</sup> century.

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### Recommendation

The Puerto Rico Department of Housing requests that the Puerto Rico SHPO concur that the following determination is appropriate for the undertaking (Choose One):

- $\Box$  No Historic Properties Affected
- ⊠ No Adverse Effect

Condition: This 1911 Neoclassical commercial structure within the Adjuntas Traditional Urban Center, which will house the proposed Centro de Actividades Municipales, is considered eligible to the National Register of Historic Places under Criteria C and D. Brick features such as a cistern, latrine and previous house constructions of the late 19th and early 20th century, including the original yard on the west side may be present below ground near the APE. A Phase 2 archaeological site-testing investigation SOI-Qualified by а archaeologist is recommended before the controlled demolition of the floor, etc., to avoid or mitigate potential adverse effects to these historic structures. A Phase II work plan will be prepared and submitted to the PRSHPO for review and approval.

□ Adverse Effect

## This Section is to be Completed by SHPO Staff Only

The Puerto Rico State Historic Preservation Office has reviewed the above information and:

- □ **Concurs** with the information provided.
- **Does not concur** with the information provided.

Comments:	
Carlos Rubio-Cancela State Historic Preservation Officer	Date:

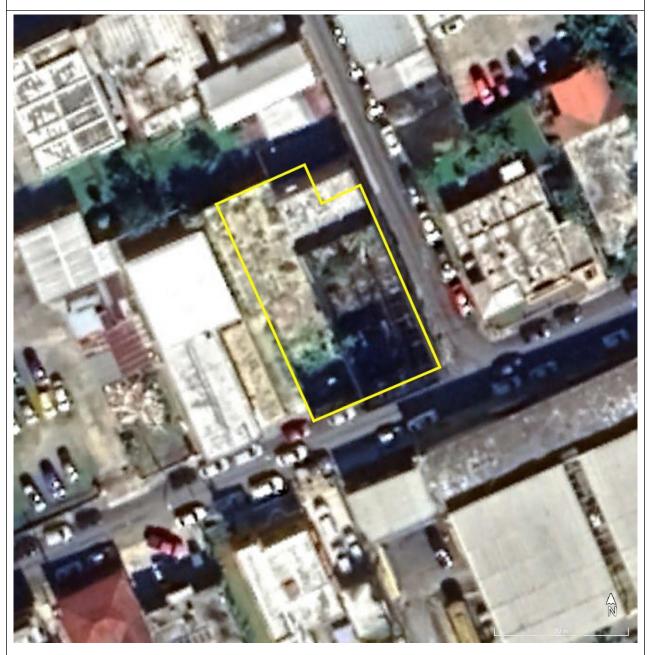


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## Project (Parcel) Location – Area of Potential Effect Map (Aerial)



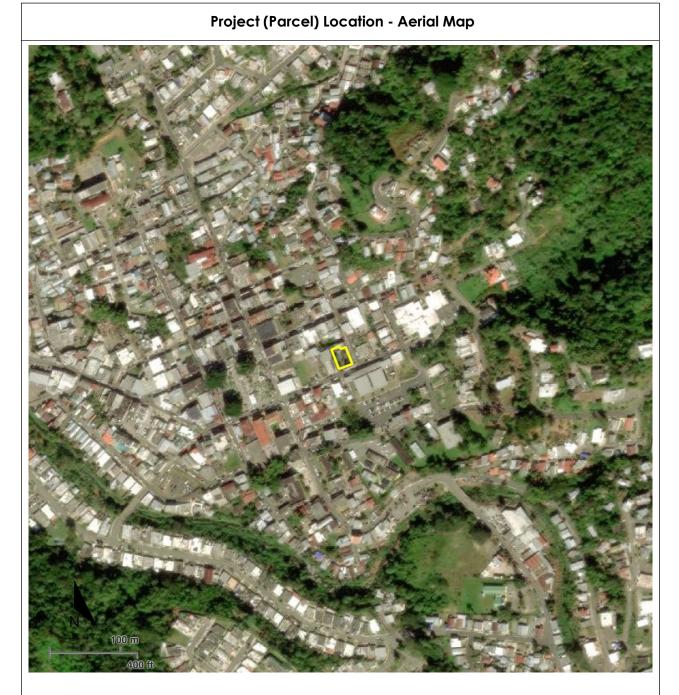
Source: Google Earth Pro 7.3.4.8642 (https://www.google.com/intl/es-419/earth/versions/)



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Source: Interactive Map of United States Environmental Protection Agency, NEPAssist (<u>https://nepassisttool.epa.gov/nepassist/nepamap.aspx</u>)



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# Project (Parcel) Location - USGS Topographic Map 00 n 400 ft

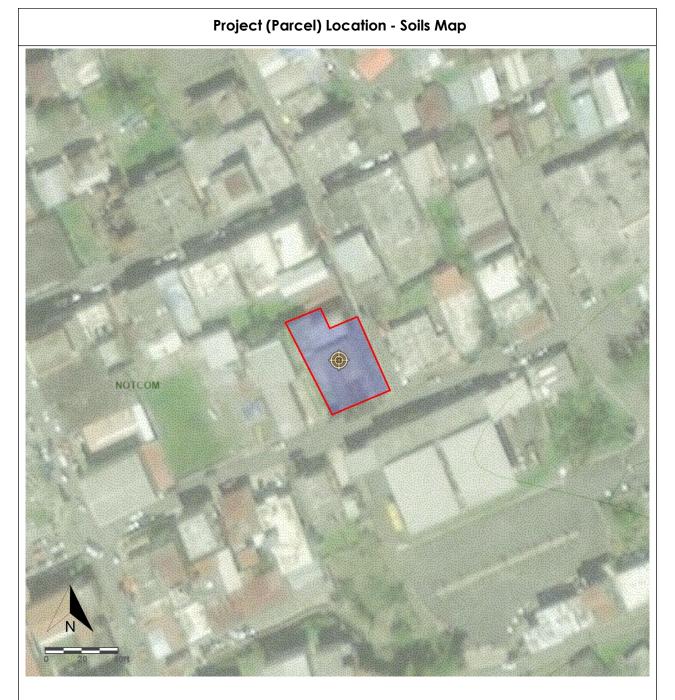
Source: Interactive Map of United States Environmental Protection Agency, NEPAssist (<u>https://nepassisttool.epa.gov/nepassist/nepamap.aspx</u>)



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Source: Interactive Map of Planning Board, MIPR (<u>http://gis.jp.pr.gov/mipr/</u>)

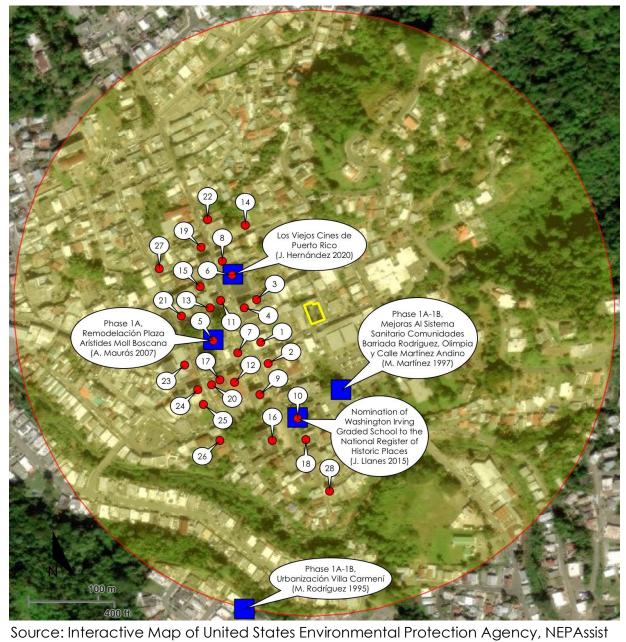


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# Project (Parcel) Location with Previous Investigations and Recorded Historic Properties Within a Quarter-Mile Radius - Aerial Map



(https://nepassisttool.epa.gov/nepassist/nepamap.aspx)

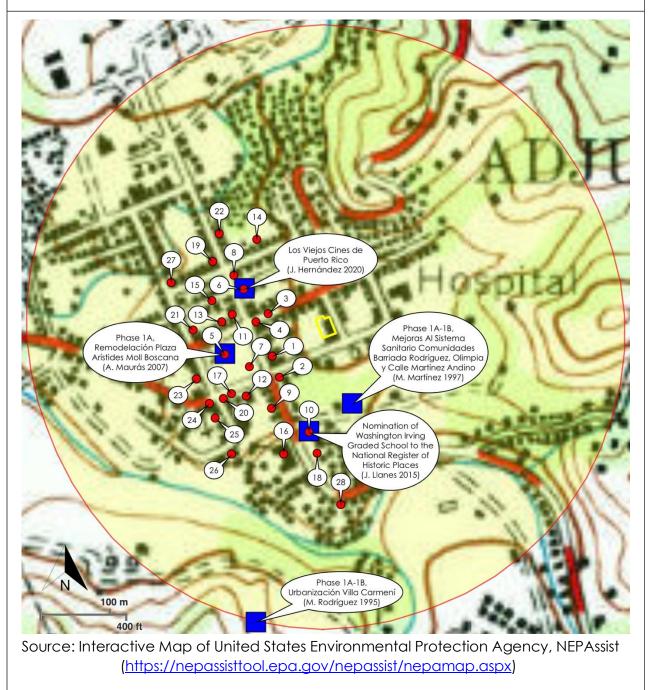


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# Project (Parcel) Location with Previous Investigations and Recorded Historic Properties Within a Quarter-Mile Radius - USGS Topographic Map

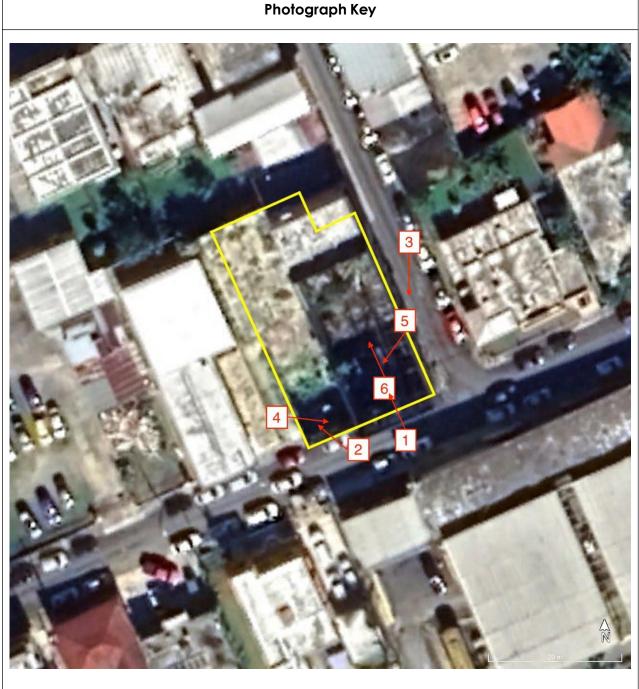




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Project ID: PR-CRP-000783



Source: Google Earth Pro 7.3.4.8642 (https://www.google.com/intl/es-419/earth/versions/)



Project ID: PR-CRP-000783

Subrecipient: Municipality of Adjuntas

Project Name: Centro de Actividades Municipal

Photo #: 1 Description: Front elevation of property, from César González Stree
Date: 3/4/2023 Direction: NW
<b>Photo #:</b> 2 <b>Description:</b> Detail of commemorative date and initials on façade.
Date: 3/4/2023 Direction: NW

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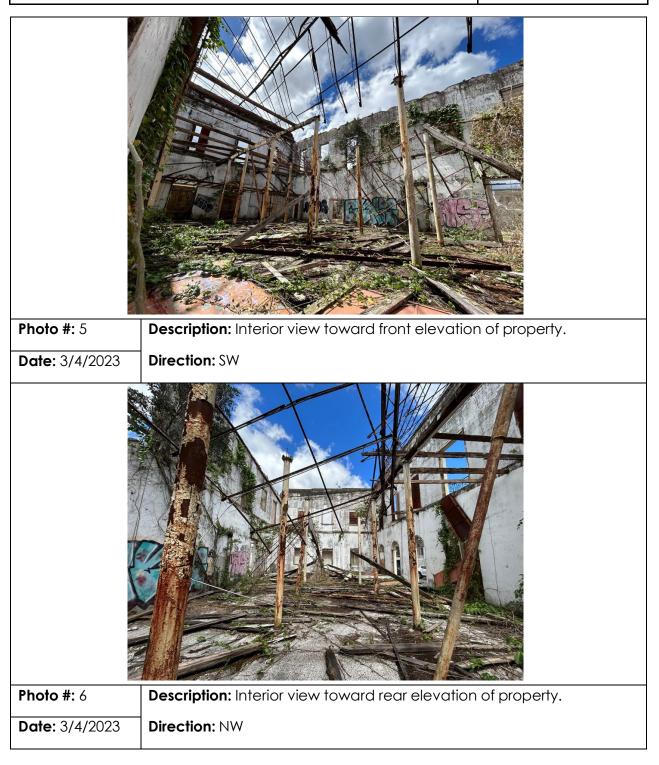
	<image/>
<b>Photo #:</b> 3	<b>Description:</b> Right elevation of property, from Progreso Street.
Date: 3/4/2023	Direction: S
Photo #: 4	<b>Description:</b> Left elevation of property, from adjacent parcel.
Date: 3/4/2023	Direction: SE



Subrecipient: Municipality of Adjuntas

Project Name: Centro de Actividades Municipal

Project ID: PR-CRP-000783



# PR-CRP-000783 RECONSTRUCCION TO CENTRO DE ACTIVIDAD MUNICIPAL, ADJUNTAS. PUERTO RICO



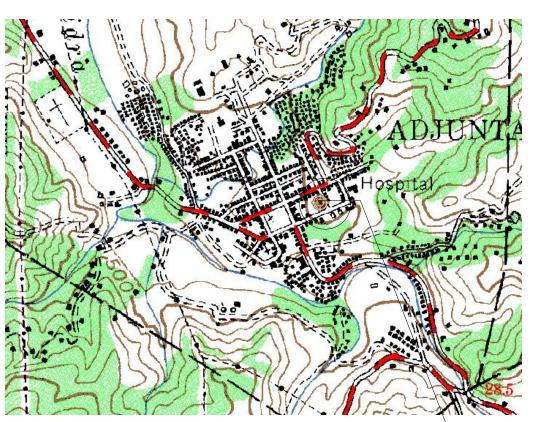


LOCATION

OBTAINED FROM: JUNTA DE PLANIFICACIÓN DE PUERTO RICO | GEOLOCALIZADOR- MIPR

JUNTA DE PLANIFICACIÓN. PROGRAMA DE SISTEMA DE INFOROOMACIÓN GEOGRÁFICA | ESRI, HERE, GAROOMIN, INCREMENT P, NGA, USGS

CATASTRO: 266-075-038-21 Coordenadas Nad83 x: 169470.5203, y: 236502.5660 (Lat: 18.16291924, Lon: -66.72187193)



# TOPOGRAPHY

OBTAINED FROM: JUNTA DE PLANIFICACIÓN DE PUERTO RICO | GEOLOCALIZADOR- MIPR

JUNTA DE PLANIFICACIÓN. PROGRAMA DE SISTEMA DE INFOROOMACIÓN GEOGRÁFICA | ESRI, HERE, GAROOMIN, INCREMENT P, NGA, USGS.

CALIFICACIÓN: OFICIALIZACION DEL GEODATO EN PROCESO, FAVOR DE REFERIRSE AL MAPA DE CALIFICACION VIGENTE.

CLASIFICACIÓN PT: OFICIALIZACION DEL GEODATO EN PROCESO, FAVOR DE REFERIRSE AL MAPA DE CALIFICACION VIGENTE.

CLASIFICACIÓN PUT: SU (SUELO URBANO) MAPAS DE CLASIFICACION: HOJA 022 DE ADJUNTAS



—→SITE



## FLOOD MAP OBTAINED FROM: JUNTA DE PLANIFICACIÓN DE

PUERTO RICO | MAPA NIVELES DE INUNDACIÓN BASE RECOMENDADOS

JUNTA DE PLANIFICACIÓN. PROGRAMA DE SISTEMA DE INFOROOMACIÓN GEOGRÁFICA | ESRI, HERE, GAROOMIN, INCREMENT P, NGA, USGS

- ZONA INUND. ADVISORY: X
- ZONA INUNDABILIDAD (FIRM): X

PANEL INUNDABILIDAD (ADVISORY): 72000C1090H

FLOODWAY: NO SE UBICA EN FLOODWAY

SUELO (NRCS): SNS (SOIL NOT SURVEYED)

REVIEW AND/OR APPROVAL NEITHER EXTENDS NOR ALTERS CONTRACTUAL ANY OBLIGATIONS OF THF ARCHITECT OR CONTRACTOR. REFER TO THE GENERAL CONDITIONS OF THE CONTRACT AND/OR DIVISION 1 OF THE SPECIFICATION FOR A DESCRIPTION OF THIS SUBMITTAL RESPONSE AND THE CONTRACTUAL SIGNIFICANCE.

SUBMITTAL REVIEW

**APPROVED** 

## SUBMITTAL REVIEW APPROVED AS NOTED REVIEW AND/OR APPROVAL

NEITHER EXTENDS NOR ALTERS CONTRACTUAL ANY OBLIGATIONS OF THE ARCHITECT OR CONTRACTOR. REFER TO THE GENERAL CONDITIONS OF THE CONTRACT AND/OR DIVISION 1 OF THE SPECIFICATION FOR A DESCRIPTION OF THIS SUBMITTAL RESPONSE AND THE CONTRACTUAL SIGNIFICANCE.

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23	A305	INNER COURTYARD_BLOW UP
24	A306	TERRACE_BLOW UP

# **GENERAL NOTES**

1. THE PRECISE LOCATION OF ALL POWER, GAS, TELEPHONE, WATER AND DRAIN SHALL BE VERIFY IN FIELD. CONTRACTOR SHALL CONTRACT UTILITIES, LOCATE SHUT OFF VALVES AND PROCEED SAFELY ACCORDING TO THE RECOMMENDATION OF EACH UTILITY. CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED BY INTERRUPTION OF THESE LINES AT NO COST TO THE OWNER.

2. CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL CONDITIONS AND DIMENSIONS AND REPORT ALL DISCREPANCIES TO THE ARCHITECT, PROJECT MANAGER OR INSPECTOR PRIOR TO THE COMMENCEMENT OF WORK.

3. WHERE DIMENSIONS ARE UNCLEAR, CONSULT THE ARCHITECT, PROJECT MANAGER OR INSPECTOR. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR HIS WORK. ALL DIMENSIONS SHALL BE FIELD VERIFIED WHERE POSSIBLE. ALL DIMENSIONS ARE FINISHES DIMENSIONS UNLESS OTHERWISE INDICATED. ALL NEW WINDOW AND DOOR OPENINGS MUST BE VERIFIED ON SITE FOR DIMENSIONS ACCURACY BEFORE ORDERING MATERIAL.

4. THE CONSTRUCTION DRAWINGS AND THE TECHNICAL SPECIFICATIONS ARE COMPLEMENTARY TO EACH OTHER. THE CONTRACTOR MUST ASSUME INFOROOMATION PRESENT IN EITHER AND IN BOTH DOCUMENTS.

THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY TO COMPLETE THE BUILDING AS SHOWN. MATERIALS AND WORKMANSHIP SHALL BE OF THE HIGHEST QUALITY EMPLOYED BY THE RESPECTIVE TRADES. EACH SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, REFINISHING ANY AND ALL EXISTING WORK ALTERED BY EITHER OPERATION.

CONTRACTOR AND HIS SUB-CONTRACTORS SHALL TURN THE PROJECT OVER TO OWNER FREE FROM ALL CONSTRUCTION DEBRIS AND CLEAN

7. CONTRACTOR SHALL REPLACE AND/OR REPAIR PAVEMENT, STRUCTURES OR



ESQ CALLE PROGRESO RUIS RIVERA ADJUNTAS, PUERTO RICO.

PROJECT ADDRESS

ADJUNTAS MUNICIPALITY

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A308	PROPOSED ELEVATOR _ BLOW UP
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A402	WINDOWS SCHEDULE
R100	PROPOSED VIEWS - AERIAL VIEW
R101	PROPOSED VIEWS - ROOF TOP PROPOSED
R102	PROPOSED VIEWS - INNER COURTYARD
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E101	PROPOSED ELECTRICAL DISTRIBUTION PLAN_FIRST LEVEL
E102	PROPOSED LIGHTING PLAN_GROUND LEVEL
E103	PROPOSED LIGHTING PLAN_FIRST LEVEL

EOUIPMENT DETERIORATED OR DAMAGED IN ANY WAY BY THE CONSTRUCTION PROCESS WETHER OR NOT SPECIFICALLY STATED IN THE DRAWINGS.

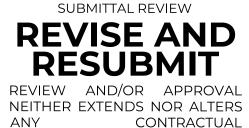
8. CONTRACTOR SHALL TAKE MAXIMUM PRECAUTIONS IN ORDER TO PREVENT DAMAGE TO EQUIPMENT OR ADJACENT PROPERTY AND AVOID INJURIES TO PERSONNEL AND PEOPLE.

9. IT IS UNDERSTOOD THAT WHILE NOT EVERY DETAIL OF THE WORK IS SHOWN ON THE DRAWINGS OR SPECIFICATIONS, THE WORK INCLUDES ITEM INFERABLE FROM THE CONTRACTOR DOCUMENT. THE OWNER SHALL NOT BE HOLD RESPONSIBLE FOR THE ABSENCE OF ANY DETAIL THE CONTRACTOR MAY REQUIRE FOR ANY CONSTRUCTION WHICH MAY BE FOUND NECESSARY AS THE WORK PROGRESS. IF ANY ITEM OR SYSTEM IS EITHER SHOWN OR SPECIFIED, ALL MATERIAL AND EQUIPMENT NOROOMALLY FURNISHED WITH SUCH ITEMS AND/OR NEED TO MAKE A COMPLETE OPERATION INSTALLATION, SHALL BE PROVIDED WETHER MENTIONED OR NOT, OMITTING ONLY SUCH PARTS AS ARE SPECIFICALLY EXCEPTED.

10. THE DRAWINGS HAVE BEEN PREPARED ON THE BASIS OF OBSERVATION OF EXISTING CONDITIONS. THE ARCHITECT ACCEPTS NO RESPONSIBILITY FOR CONCEALED SITE CONDITIONS.

11. PAINT: ALL SURFACE MUST BE SCRAPES, CLEANED, PRIMED BEFORE PAINTED. PAINT COLOR SCHEME TO BE SELECTED BY DESIGN AND CONSTRUCTION OFFICE COORDINATOR.

12. FURNISH GRAPHICS ON DRAWINGS ARE FOR SPACE DISTRIBUTION AND PLANNING PURPOSE, NOT PART OF PROJECT CONSTRUCTION, UNLESS IT IS MENTIONED TO BE REQUIRED.



OBLIGATIONS OF THE ARCHITECT OR CONTRACTOR. REFER TO THE GENERAL CONDITIONS OF THE CONTRACT AND/OR DIVISION 1 OF THE SPECIFICATION FOR A DESCRIPTION OF THIS SUBMITTAL RESPONSE AND THE CONTRACTUAL SIGNIFICANCE.

SUBMITTAL REVIEW

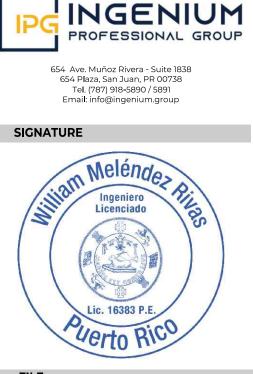


REVIEW AND/OR APPROVAL NEITHER EXTENDS NOR ALTERS CONTRACTUAL ANY OBLIGATIONS OF THE ARCHITECT OR CONTRACTOR. REFER TO THE GENERAL CONDITIONS OF THE CONTRACT AND/OR DIVISION 1 OF THE SPECIFICATION FOR A DESCRIPTION OF THIS SUBMITTAL RESPONSE AND THE CONTRACTUAL SIGNIFICANCE.

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CONTRACTOR SHALL VERIFY ALL DIMENSION AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED O LANS. CONTRACTOR SHALL NOTIFY TH ENGINEER BEFORE ANY PART OF THE WORK I ARTED SO THAT PROPER CORRECTIONS AR ADE. IF ENGINEER IS NOT NOTIFIED PRIOR T MMENCING OF THE WORK. ALL DESIGNS A RAWINGS HEREIN AND PRINTS ISSUED BY TH ENGINEER ARE THE PROPERTY OF TH ENGINEER AND SHALL NOT BE REUSED ON AN THER LOCATION EXCEPT THE ONE FOR WHICH EXPRESSLY DESIGNED. AWINGS OR ANY PART THEREOF EPRODUCED WITHOUT THE CONSENT OF T ENGINEER. THE PERSON WHO IS DOING WILL BE NDEBTED TO THE ENGINEER FOR HIS FUL IMISSION CONTRACTOR SHALL NOT U OR CONSTRUCTION PURPOSES ANY DRAWIN HAT WERE ADVANCE TO HIM PRIOR TO TH BEGINNING OF CONSTRUCTION. ALL PLANS BEING USED BY CONTRACTOR SHOULD HAVE A ABEL SAYING "FOR CONSTRUCTION ONLY" GNED AND SEALED BY THE ENGINEER.

I. WILLIAM MELENDEZ RIVAS. LIC. 16383. CERTIFY THAT I AM THE PROFESSIONAL WHO IMADE ESIGNED OR PREPARED] THESE PLA COMPLEMENTARY SPECIFICATIONS. I ALSO CERTIFY THAT I UNDERSTAND THAT SAID PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE PROVISIONS OF THE JOINT REGULATIONS AND THE APPLICABLE PROVISIONS OF THE REGULATIONS AND BUILDING CODES IN FORCE OF THE AGENCIES, REGULATORY BOARDS OR PUBLIC CORPORATIONS WITH JURISDICTION. I FURTHER CERTIFY THAT THE PREPARATION OF THESE PLANS AND SPECIFICATIONS HAS FULLY COMPLIED WITH THE PROVISIONS OF LAW 4-2004, AS AMENDED, KNOWN AS THE "LAW FOR INVESTMENT BY THE PUERTO RICAN INDUSTRY" AND WITH THE [LAW NO. 319 OF MAY 15, 1938, AS AMENDED ACT NO 96 OF JULY 6 1978 AS AMENDED: AS APPLICABLE]. I ACKNOWLEDGE THAT ANY FALSE STATEMENT OR MISREPRESENTATION OF FACTS THAT HAS BEEN PRODUCED BY IGNORANCE OR NEGLIGENCE EITHER BY ME, MY AGENTS OR EMPLOYEES, OR BY OTHERS WITH MY KNOWLEDGE, MAKES ME RESPONSIBLE FOR ANY JUDICIAL AND DISCIPLINARY ACTION BY THE OGPE.



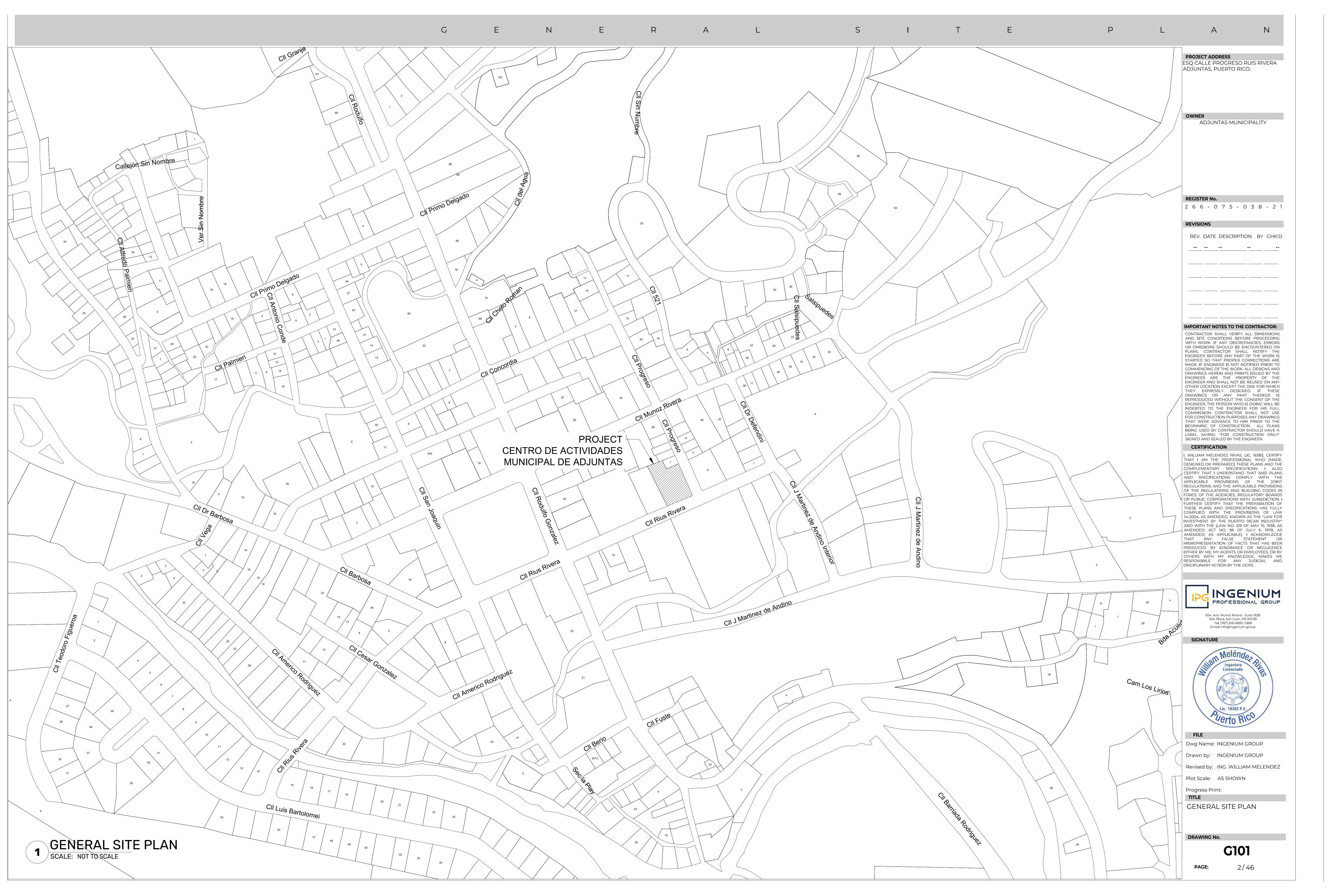
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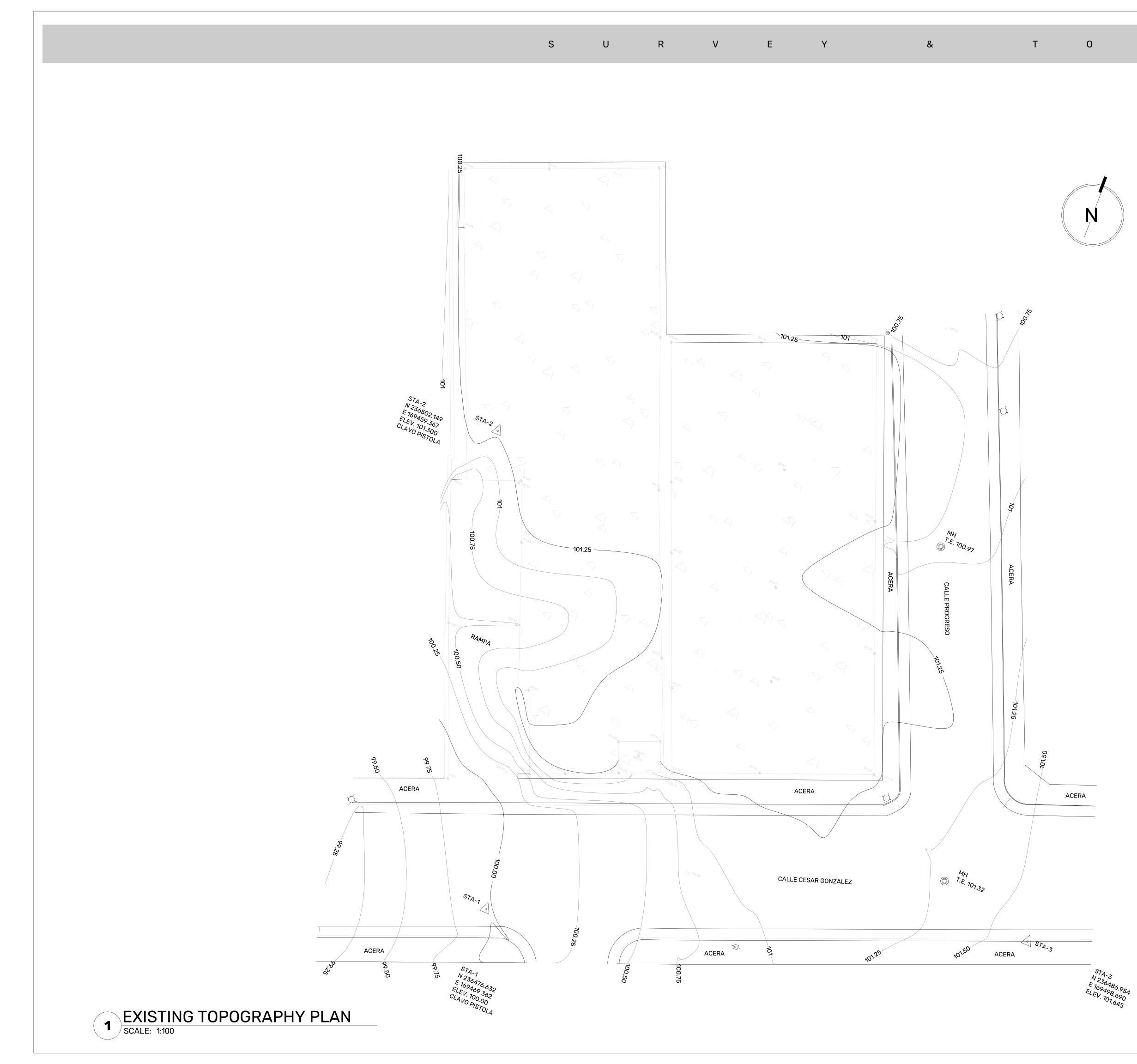
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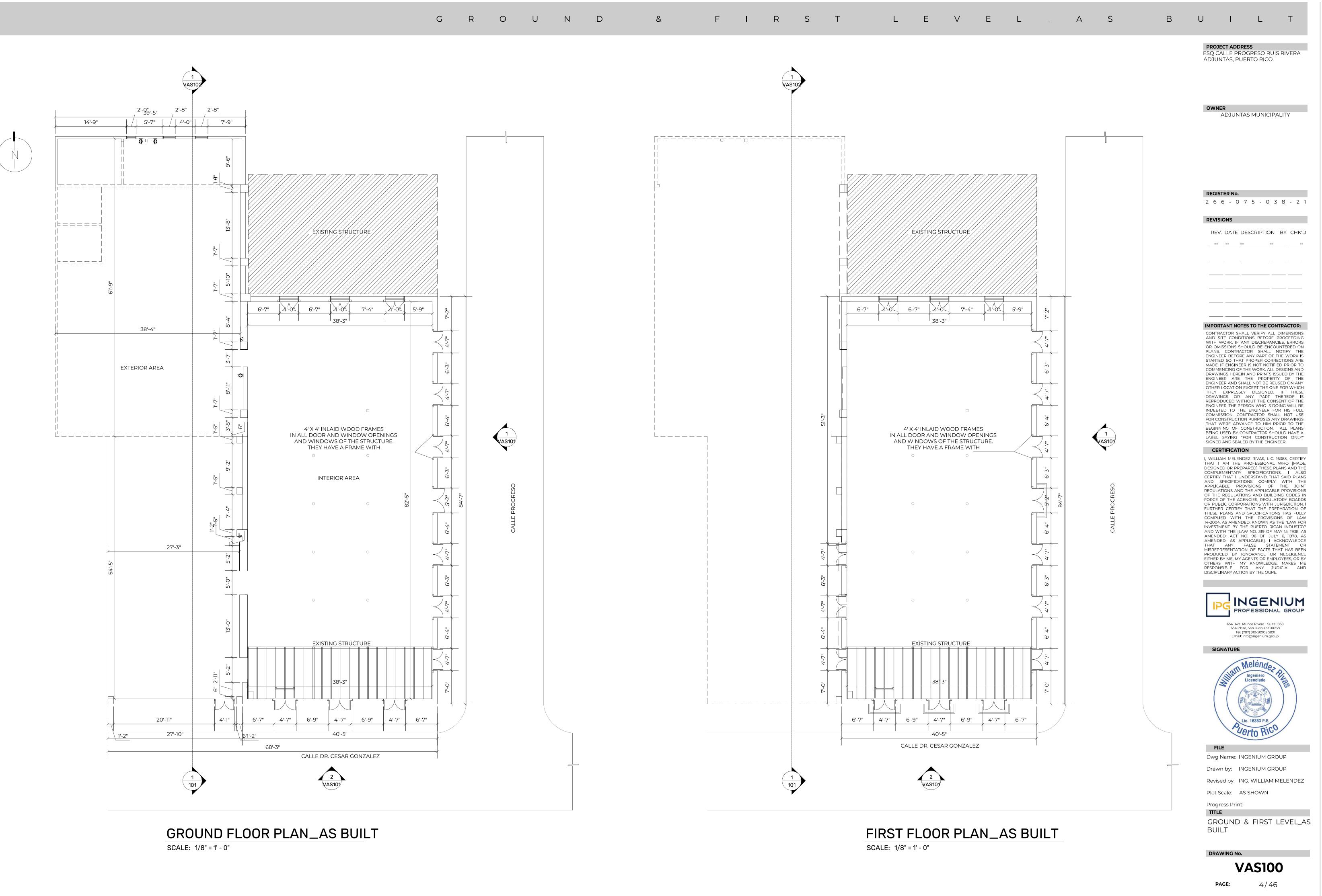
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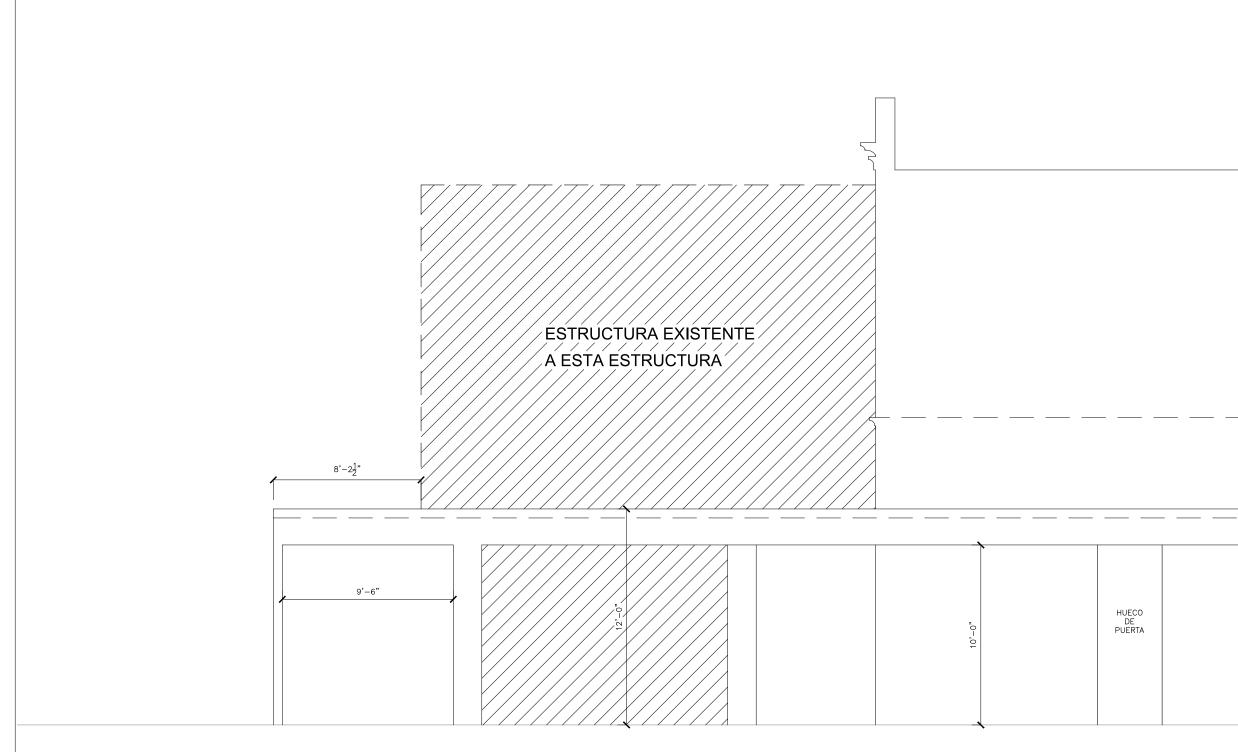






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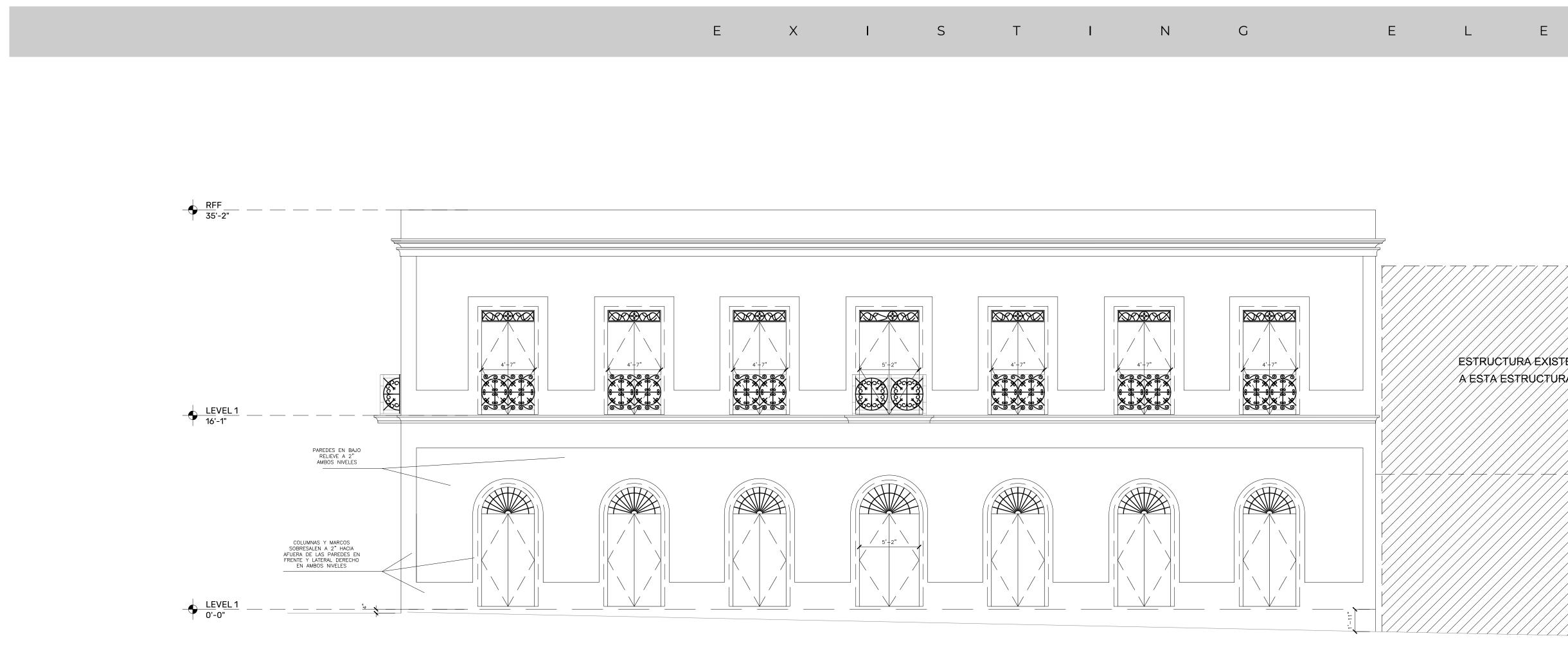




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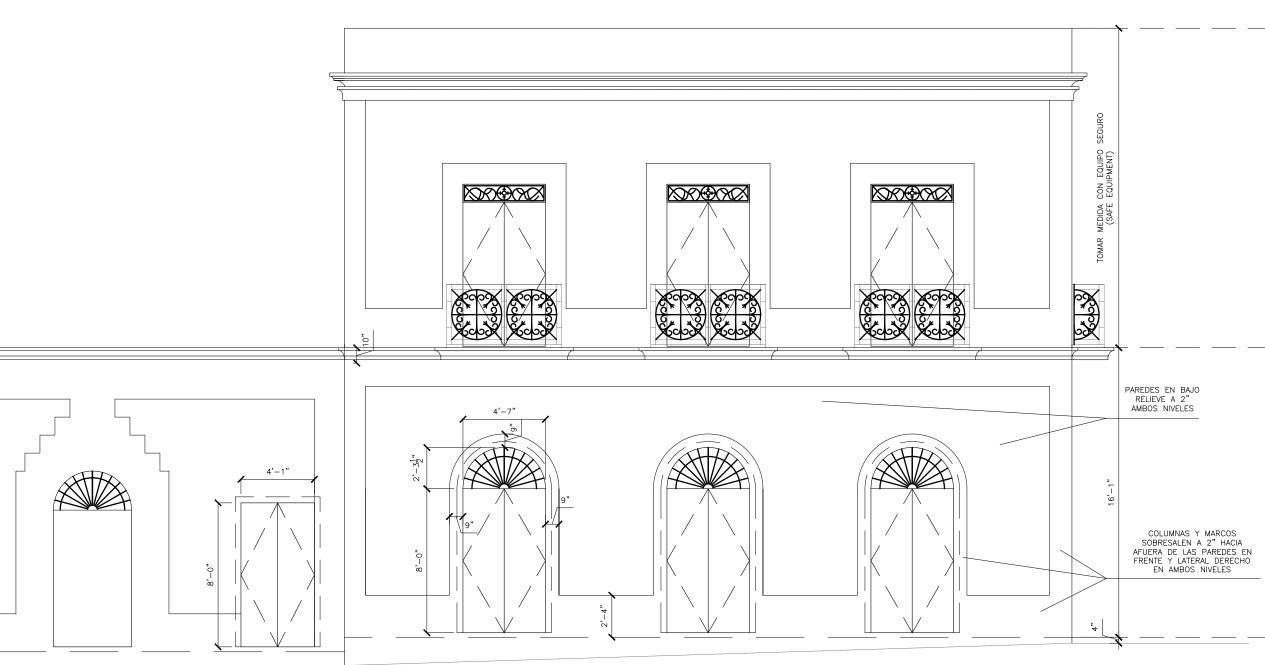
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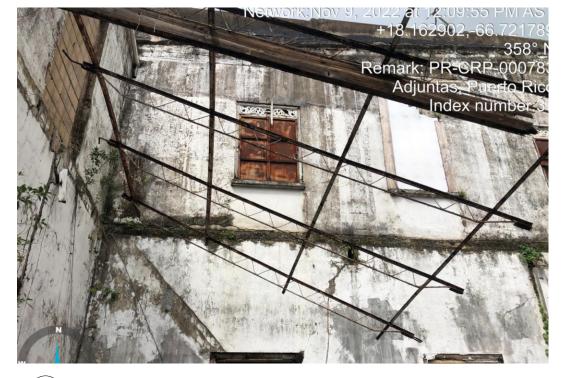
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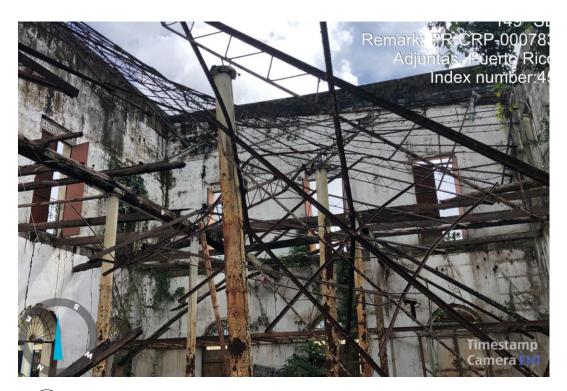




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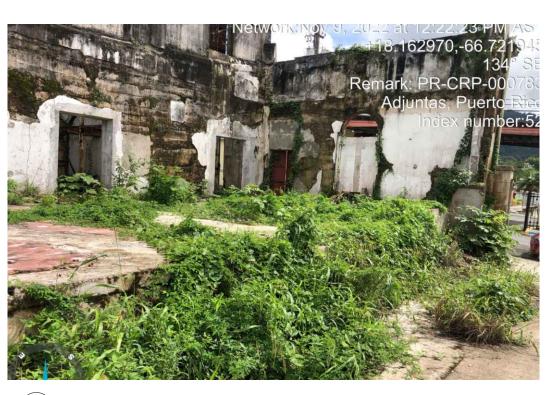
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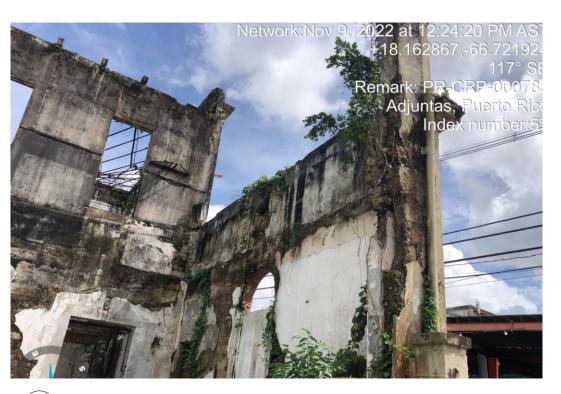
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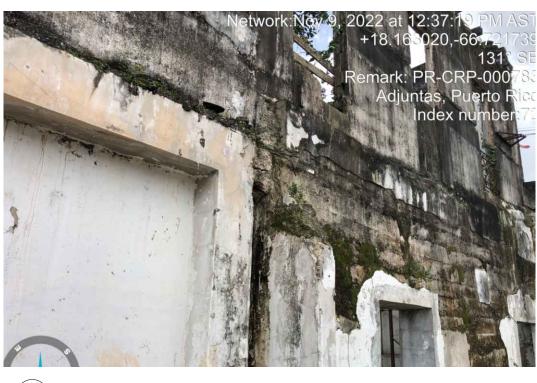
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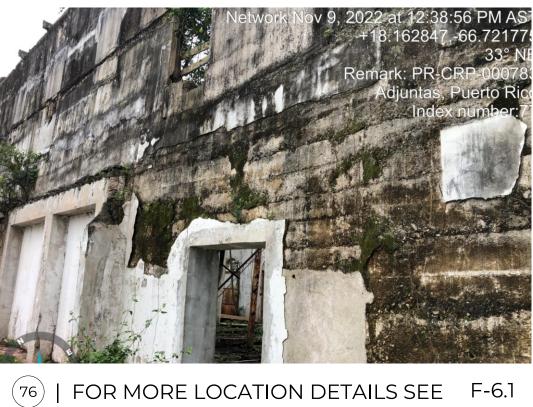
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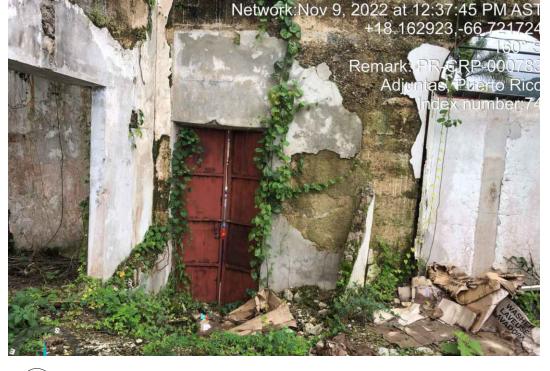
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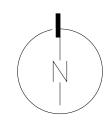


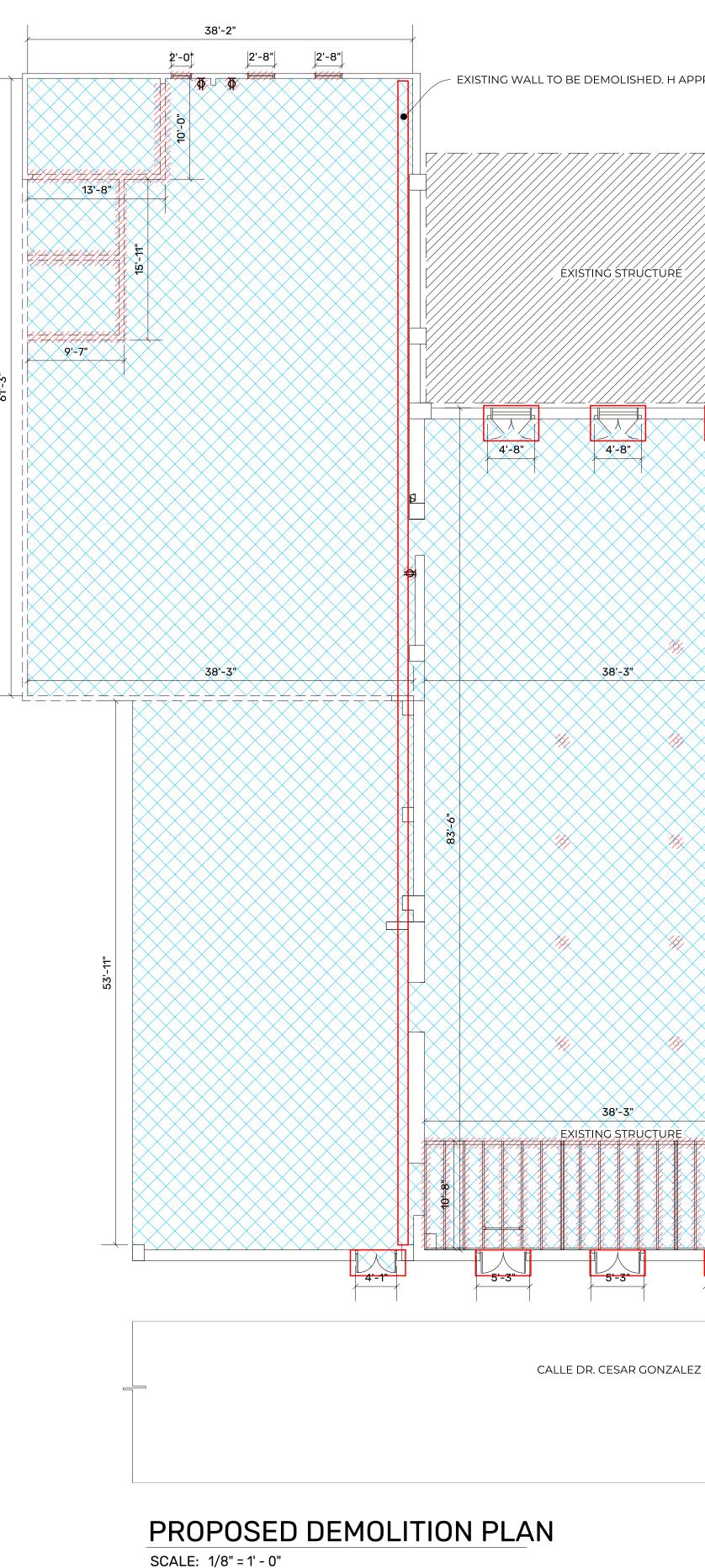
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22.ALL NEW CUTS ON EXISTING CONCRETE SURFACE MUST BE DONE CAREFULLY WITH A SAW CUT AND PROPER DISC.

## **GRAPHIC LEGEND**

DEMOLITION OF EXISTING STRUCTURE

ALL AROUND: REMOVAL OF OF EXISTING FLOOR CONCRETE SLAB AND PREPARE THE GROUND TO RECEIVE THE NEW FLOOR CONCRETE SLAB

REMOVE AND DISCARD ALL EXISTING DOORS, WINDOWS AND GRILLES

FLOOR LEVEL CHANGE 6"

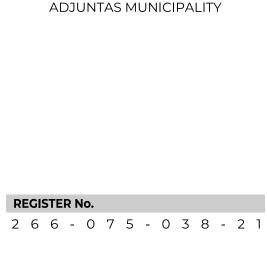
## TO BE REMOVED OR DEMOLISHED (GENERAL LIST)

- 1 EXISTING FLOOR CONCRETE SLAB. THE NEW CONCRETE FLOOR SLAB MUST MAINTAIN THE SAME EXISTING FLOOR LEVELS, WHICH ARE SHOWN ON THE SURVEY AND TOPOGRAPHY SHEET.
- 2 ALL ARROUND: REMOVE ALL EXISTING METAL AND WOOD STRUCTURES INSIDE THE BUILDING 3 ALL ARROUND: REMOVE ALL EXISTING DEBRIS AND VEGETATION INSIDE THE
- BUILDING 4 ALL ARROUND: REMOVE ALL EXISTING ELECTRICAL AND PLUMBING WORKS INSIDE THE BUILDING

## **TO REMAIN**

EXISTING PERIMETER WALLS (FACADES) TO REMAIN. CONSIDER STRUCTURAL IMPROVEMENTS, PLASTERING AND PAINTING. AS INDICATED ON THE PROPOSAL DRAWINGS.

# E CLEAN OF DEBRIS BEFORE THE TERRAIN REMAIN IN ITS NATURAL IT IS THE SAME OR SIMILAR TO THE



## REVISIONS

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PROJECT ADDRESS

ADJUNTAS, PUERTO RICO.

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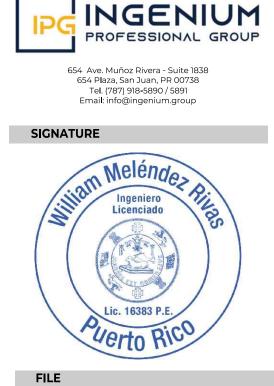
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**IMPORTANT NOTES TO THE CONTRACTOR:** CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY THE ENGINEER BEFORE ANY PART OF THE WORK IS STARTED SO THAT PROPER CORRECTIONS ARE MADE. IF ENGINEER IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK. ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ENGINEER ARE THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH THEY EXPRESSLY DESIGNED. IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THE ENGINEER, THE PERSON WHO IS DOING WILL BE INDEBTED TO THE ENGINEER FOR HIS FULL COMMISSION. CONTRACTOR SHALL NOT USE FOR CONSTRUCTION PURPOSES ANY DRAWINGS THAT WERE ADVANCE TO HIM PRIOR TO THE BEGINNING OF CONSTRUCTION. ALL PLANS BEING USED BY CONTRACTOR SHOULD HAVE A LABEL SAYING "FOR CONSTRUCTION ONLY" SIGNED AND SEALED BY THE ENGINEER.

\_\_\_\_\_

## CERTIFICATION

I, WILLIAM MELENDEZ RIVAS, LIC. 16383, CERTIFY THAT I AM THE PROFESSIONAL WHO [MADE, DESIGNED OR PREPARED THESE PLANS AND THE COMPLEMENTARY SPECIFICATIONS. I ALSO CERTIFY THAT I UNDERSTAND THAT SAID PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE PROVISIONS OF THE JOINT REGULATIONS AND THE APPLICABLE PROVISIONS OF THE REGULATIONS AND BUILDING CODES IN FORCE OF THE AGENCIES, REGULATORY BOARDS OR PUBLIC CORPORATIONS WITH JURISDICTION. I FURTHER CERTIFY THAT THE PREPARATION OF THESE PLANS AND SPECIFICATIONS HAS FULLY COMPLIED WITH THE PROVISIONS OF LAW 14-2004, AS AMENDED, KNOWN AS THE "LAW FOR INVESTMENT BY THE PUERTO RICAN INDUSTRY" AND WITH THE [LAW NO. 319 OF MAY 15, 1938, AS AMENDED; ACT NO. 96 OF JULY 6, 1978, AS AMENDED; AS APPLICABLE]. I ACKNOWLEDGE THAT ANY FALSE STATEMENT OR MISREPRESENTATION OF FACTS THAT HAS BEEN PRODUCED BY IGNORANCE OR NEGLIGENCE EITHER BY ME, MY AGENTS OR EMPLOYEES, OR BY OTHERS WITH MY KNOWLEDGE, MAKES ME RESPONSIBLE FOR ANY JUDICIAL AND DISCIPLINARY ACTION BY THE OGPE.



## Dwg Name: INGENIUM GROUP

Drawn by: INGENIUM GROUP Revised by: ING. WILLIAM MELENDEZ Plot Scale: AS SHOWN

### Progress Print:

TITLE PROPOSED DEMOLITION PLAN

### DRAWING No.



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## **GENERAL NOTES**

- 1. CONTRACTOR SHALL COMPLY WITH CODES, LAWS, ORDINANCES, RULES, AND **REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK.**
- 2. OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK.
- 3. REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND REPORT ANY CONFLICTS OR OMISSIONS TO THE DESIGNER FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN QUESTION.
- 4. SUBMIT REQUESTS FOR SUBSTITUTIONS, REVISIONS, OR CHANGES TO THE DESIGNER FOR REVIEW PRIOR TO PURCHASE, FABRICATION OR INSTALLATION.
- 5. OWNER WILL PROVIDE WORK NOTED "BY OTHERS" OR "NIC" UNDER SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION
- 6. COORDINATE TELECOMMUNICATIONS. DATA AND SECURITY SYSTEM INSTALLATIONS
- MAINTAIN EXITS. EXIT LIGHTING. FIRE PROTECTIVE DEVICES. AND ALARMS IN CONFORMANCE WITH CODES AND ORDINANCES
- 8. PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.
- 9. MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING CONSTRUCTION. COORDINATE WITH OWNER OR REPRESENTATIVE TO ENSURE SECURITY.
- 10. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT CONSULT THE DESIGNER.
- 11. PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNLESS OTHERWISE NOTED. MAINTAIN DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESS OF FINISHES.
- 12. COORDINATE AND PROVIDE BACKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS.
- 13. WHERE EXISTING ACCESS PANELS CONFLICT WITH CONSTRUCTION, RELOCATE PANELS TO ALIGN WITH AND FIT WITHIN NEW CONSTRUCTION.
- 14. UNDERCUT DOORS TO CLEAR TOP OF FLOOR FINISHES BY 1/4 INCH, UNLESS OTHERWISE NOTED.

# FIRE DEPARTMENT NOTES

- PROVIDE AS PER CODES PORTABLE FIRE EXTINGUISHER TO COMPLY WITH TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING ON EACH FLOOR, AND ADDITIONAL EXTINGUISHERS AS REQUIRED BY FIRE DEPARTMENT FIELD INSPECTOR OR BUILDING DEPARTMENT INSPECTOR.
- 2. PROVIDE EXIT SIGN WITH 6" LETTERS OVER REQUIRED EXITS, WHERE SHOWN ON DRAWINGS, AND ADDITIONAL SIGNS AS REQUIRED BY BUILDING DEPARTMENT INSPECTOR OR FIRE DEPARTMENT FIELD INSPECTOR. CONNECT EXIT SIGNS TO EMERGENCY POWER CIRCUITS. COMPLY WITH BUILDING CODES.
- 3. PROVIDE EMERGENCY LIGHTING AT FLOOR LEVEL TO COMPLY WITH BUILDING CODES.
- 4. MAINTAIN AISLES AT LEAST 44" WIDE AT PUBLIC AREAS.
- 5. EVERY EXIT DOOR SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. SPECIAL LOCKING DEVICES SHALL BE OF AN APPROVED TYPE. ALL NEW DOORS SHALL HAVE APPROVED LEVER HANDLES.
- 6. DOORS OPENING INTO REQUIRED 1-HOUR, FIRE-RESISTIVE CORRIDORS SHALL BE PROTECTED WITH A SMOKE OR DRAFT STOP ASSEMBLY HAVING A 20-MINUTE RATING AND SHALL BE SELF-CLOSING.
- 7. AS REQUIRED, DOOR JAMBS TO BE TIGHT-FITTING, SMOKE AND DRAFT CONTROLLED.
- 8. EXIT DOORS SHALL SWING IN THE DIRECTION OF TRAVEL IN ANY HAZARDOUS AREA.
- 9. INTERIOR WALL AND CEILING FINISHES FOR EXIT CORRIDOR SHALL NOT EXCEED AN END POINT FLAME SPREAD RATING:
- A. CLASS I, FLAME SPREAD 0-25, SMOKE DENSITY 150, FOR MATERIALS INSTALLED IN VERTICAL EXITS.
- B. CLASS II, FLAME SPREAD 26-75, SMOKE DENSITY 300, FOR MATERIALS INSTALLED IN HORIZONTAL EXITS. C. CLASS III, FLAME SPREAD 76-200, SMOKE DENSITY 450, FOR MATERIALS
- INSTALLED IN ANY OTHER LOCATION.
- 10. DECORATIONS (CURTAINS, DRAPES, SHADES, HANGINGS, ETC.) SHALL BE NON-COMBUSTIBLE OR BE FLAMEPROOFED IN AN APPROVED MANNER.
- 11. PROVIDE FIRE DAMPERS OR DOORS WHERE AIR DUCTS PENETRATE FIRE-RATED WALLS OR CEILINGS.
- 12. STORAGE, DISPENSING OR USE OF ANY FLAMMABLE OR COMBUSTIBLE LIQUIDS. FLAMMABLE GAS AND HAZARDOUS SUBSTANCES SHALL COMPLY WITH UNIFORM FIRE CODE REGULATIONS.
- 13. WOOD BLOCKING SHALL BE FIRE TREATED IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS.
- 14. EXTEND OR MODIFY EXISTING FIRE/LIFE SAFETY SYSTEM AS REQUIRED TO PROVIDE AN APPROVED FIRE/ LIFE SAFETY SYSTEM. SUBMIT PLANS TO FIRE DEPARTMENT WITH COMPLETE DESCRIPTION OF SEQUENCE OF OPERATION, AND **OBTAIN APPROVAL PRIOR TO INSTALLATION.**

- 15. LOCATE THE CENTER OF FIRE ALARM INITIATING OF THE FLOOR, WORKING PLATFORM, GROUND SU
- 16. EMERGENCY WARNING SYSTEMS SHALL ACTIV HEARING IMPAIRED. FLASHING VISUAL WARNING FLASHES PER MINUTE AS REQUIRED.
- 17. EXTEND OR MODIFY EXISTING AUTOMATIC FI REQUIRED TO PROVIDE AN APPROVED AUTOMA SUBMIT PLANS TO FIRE DEPARTMENT AND INSTALLATION.
- 18. AUTOMATIC SPRINKLER SYSTEMS SHALL BE CENTRAL, PROPRIETARY OR REMOTE STATION WHICH WILL GIVE AN AUDIBLE SIGNAL AT A CONS

## REFLECTED CEILING NOT

- DESIGN SUSPENDED CEILING FRAMING SYSTEMS 20 % OF THE WEIGHT OF THE CEILING ASSEMBL THE SYSTEM. USE A MINIMUM CEILING WEIGHT TO DETERMINE THE LATERAL FORCE.
- 2. WHERE CEILING LOADS DO NOT EXCEED 5 PC WHERE PARTITIONS ARE NOT CONNECTED FOLLOWING BRACING METHODS MAY BE EMPLOY
- A. PROVIDE LATERAL SUPPORT BY FOUR WIRES OF IN FOUR DIRECTIONS 90 DEGREES APART, AND C WITHIN 2" OF THE CROSS RUNNER AND TO THE NOT EXCEEDING 45 DEGREES FROM THE PLANE LATERAL SUPPORT POINTS 12 FEET ON CENTE FIRST POINT WITHIN 4' FROM EACH WALL.
- ALLOW FOR LATERAL MOVEMENT OF THE SYST CROSS RUNNERS AT TWO ADJACENT WALLS;
- THE WALL AND THE RUNNERS AT THE OTHER TW PROVIDE VERTICAL SUPPORT AS REQUIRED IN VERTICALLY SUPPORT ENDS OF RUNNERS WITH AS MAY OCCUR WHERE THE CEILING IS INTER ABOVE.
- LOCATE REGISTERS AND LIGHTING FIXTURES .3 SPRINKLER HEADS, SPEAKERS, RECESSED FI ELEMENTS IN ACOUSTICAL UNITS, UNLESS OTHE
- 4. FINISH HVAC DIFFUSERS, DRAPERY POCKETS, A ADJACENT FINISH, UNLESS OTHERWISE NOTED.

## **POWER & COMMUNICATIO**

- PRIOR TO CORING SLAB, REVIEW LOCATION COORDINATE LOCATIONS WITH OWNER.
- COORDINATE INSTALLATION OF TELECOMMUN 2. SYSTEMS.
- VERIFY EQUIPMENT SPECIFICATIONS, POWER AN WITH MANUFACTURER TO ENSURE PROPER FIT A
- 4. VERIFY MOUNTING REQUIREMENTS OF ELECT EOUIPMENT.
- PROVIDE LIGHT SWITCHING IN CONFORMANCE FOR ROOMS OR AREAS GREATER THAN 100 SWITCHES WITH EACH SWITCH CONTROLLING 509
- MOUNT STANDARD WALL OUTLETS, SWITCHES 6. REQUIRED BY TITLE 24 AND ADA GUIDELINES, U THERMOSTATS AND LIGHT SWITCH OCCUR TOG HORIZONTALLY WITH CENTER LINE AT +3'-2" ABOVE FINISHED FLOOR
- 7. INDICATED DIMENSIONS ARE TO THE CENTER LINE OF OUTLET OR SWITCH, OR CLUSTER OF OUTLETS OR SWITCHES, UNLESS OTHERWISE NOTED.
- 8. INSTALL OUTLETS ON OPPOSITE SIDES OF PARTITIONS IN SEPARATE STUD CAVITIES. DO NOT INSTALL BACK-TO-BACK.
- 9. PROVIDE MATCHING COVER PLATES, RECEPTACLES AND RELATED ITEMS. PROVIDE ONE-PIECE TYPE GANG COVER PLATES, UNLESS OTHERWISE NOTED.
- 10. IDENTIFY DEDICATED OR ISOLATED GROUND ELECTRICAL OUTLETS WITH A RED DOT.

## **FINISH NOTES**

- 1. ENSURE SURFACES TO RECEIVE FINISHES ARE CLEAN, TRUE, AND FREE OF IRREGULARITIES. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.
- 2. REPAIR EXISTING SURFACES TO REMAIN AS REQUIRED FOR APPLICATION OF NEW FINISHES.
- 3. PROVIDE STRAIGHT, FLUSH RESILIENT BASE AT CARPETED AREAS. AND COVED. TOP SET RESILIENT BASE AT RESILIENT FLOORING, UNLESS OTHERWISE NOTED.

R	С	Н	1	т	E	С	Т	U	R	А	L	Ν	0	Т	E	S
NG DEVICES 48" ABO SURFACE OR SIDEWA IVATE A MEANS OF ING SHALL HAVE A F	ALK. WARNING THE	D 1.	LEVEL THROUG	DACCES ND FACILITIES, F SHOUT, OR SHA EVATORS OR SPEC ES SHALL BE SLIF	LOORS OF A LL BE CON CIAL ACCESS	GIVEN STORY INECTED BY LIFTS.		UMMUN		TOILET WITH TH	ONTROL NO MORE THA E GREATEST SEPARAT		•		<b>ADDRESS</b> E PROGRESO R S, PUERTO RICC	
FIRE EXTINGUISHIN IATIC FIRE EXTINGUIS ID OBTAIN APPROV E SUPERVISED BY ON SERVICE OR A INSTANTLY ATTENDE	SHING SYSTEM. /AL PRIOR TO AN APPROVED LOCAL ALARM	4.	EVERY CORRIDO BE NOT LESS TH ABRUPT CHANC 1/2" IN HEIGHT. OTHERS WITH A LATCHING AND PATH OF TRAVI	OR AND AISLE SEF IAN 44" IN WIDTH GES IN LEVEL ALC LEVEL CHANGES SLOPE NO GREA <sup>-</sup>	RVING AN OCO ONG ANY ACC S NOT EXCEE FER THAN 1:2 THAT ARE HA ERABLE WITH	CUPANT LOAD ESSIBLE ROU DING 1/4" MA AND ACTIVATE I A SINGLE E	JTE SHALL NOT I Y BE VERTICAL ED AND WHICH A FFORT BY LEVE	E SHALL	<ul> <li>A. GRAB B.</li> <li>B. SIDE BA</li> <li>GRAB B.</li> <li>C. DIAMET</li> <li>D. PROVID</li> <li>E. GRAB B</li> <li>SUPPOF</li> <li>F. GRAB B.</li> </ul>	ARS TO BE 33" AE RS TO BE 42" LO AR AT BACK TO B ER OF GRAB BAR E 1-1/2" CLEARAN ARS (INCLUDING RT A 250 POUND I ARS SHALL NOT F ARS AND ANY AI	S TO BE 1-1/4" TO 1-1/2 ICE BETWEEN GRAB BA CONNECTORS, FASTE	O THE FLOOR. " IN FRONT OF WATEF ". NRS AND WALL. NERS, SUPPORT BACK FITTINGS.	R CLOSET STOOL. ING, ETC.) SHALL	OWNER AD:	JUNTAS MUNIC	IPALITY
TES MS TO RESIST A LATE BLY AND ANY LOADS T OF 5 POUNDS PER	TRIBUTARY TO	6.	DESIGNED TO P OPENING HARD ABOVE FLOOR F	ROVIDE PASSAGE WARE. MOUNT DO INISH AS INDICAT ACTIVATED DOO	WITHOUT RE DOR OPENING TED.	QUIRING THE HARDWARE	ABILITY TO GRA BETWEEN 30" A	ASP THE H AND 44" 2	23. MOUNT BOTTOM EXTEND MINIMUI	LAVATORIES WIT OF THE APRO ING A MINIMUM 1 OF 9" HIGH FRO	NIMUM RADIUS OF 1/8 H A MINIMUM CLEARA ON. PROVIDE KNEE OF 30" IN WIDTH WITH OM THE FLOOR A MINI	NCE OF 29" FROM TH CLEARANCE UNDER 8" MINIMUM WIDTH, 7	THE FRONT LIP AND SHALL BE A	REVISION	- 0 7 5 - 0 <b>s</b>	
POUNDS PER SQUA TO THE CEILING OYED: OF MINIMUM NO. 12 GA CONNECTED TO THE E STRUCTURE ABOVE	SYSTEM, THE AUGE SPLAYED MAIN RUNNER	7.	POUNDS FOR EX AT RIGHT ANG FOLDING DOOR MAY BE UTILIZ	OR PUSH EFFO (TERIOR DOORS A LES TO HINGED S. CORRESPOND (ED TO MEET T IRED FIRE DOORS	AND 5 POUNE DOORS AND NG DEVICES HE ABOVE S	DS FOR INTER AT CENTER OR AUTOMA STANDARDS.	NOR DOORS, MEA PLANE OF SLID TIC DOOR OPER MAXIMUM EFF(	ASURED DING OR RATORS ORT TO	HAND A WRIST. POUNDS MECHAN	CONTROLS AND ND SHALL NOT THE FORCE REQU S. LEVER OPER NISMS ARE EXA	OPERATING MECHAN REQUIRE TIGHT GRAS IRED TO ACTIVATE CO ATED, PUSH TYPE MPLES OF ACCEPT, REMAINS OPEN FOR A	PING, PINCHING OR T NTROLS SHALL BE NO AND ELECTRONICALL ABLE DESIGNS. SELF	WISTING OF THE GREATER THAN 5 Y CONTROLLED CLOSING ARE	REV. D/	ATE DESCRIPTIC	
NE OF THE CEILING. P FER IN EACH DIRECT STEM. ATTACH MAIN S; MAINTAIN CLEARA	PROVIDE THESE TION, WITH THE RUNNERS AND	8.	A SMOOTH UNII WHEELCHAIR F	" OF ALL DOORS NTERRUPTED SUF DOTREST WITHOU HIGH SMOOTH I	RFACE TO AL	LOW THE DOO A TRAP OR H	OR TO BE OPENE IAZARDOUS CON	ED BY A	26. THERE		E COVER HOT WATER A ARP OR ABRASIVE SUF				T NOTES TO THE C	
WO WALLS. IN BUILDING CODES THIN 8" OF DISCONT ERRUPTED BY A WAI	INUITIES SUCH	9.	IN WIDTH AND OPENING AT LE	D ENTRANCE OR NOT LESS THAN AST 90 DEGREES DOORWAY IS NOT	6'-8" IN HEIO S AND SHALL	GHT. DOORS S BE SO MOU	SHALL BE CAPA	ABLE OF	AIR C	ONDITIO	NS GENER	AL NOTES		WITH WOR OR OMISSIC PLANS, CC ENGINEER E STARTED SC MADE. IF EN COMMENCII DRAWINGS	CONDITIONS BEFOR K. IF ANY DISCREP, DNS SHOULD BE EN DNTRACTOR SHALL BEFORE ANY PART ( D THAT PROPER CC NGINEER IS NOT NO NG OF THE WORK. A HEREIN AND PRINTS	ANCIES, ERRORS COUNTERED ON NOTIFY THE OF THE WORK IS RRECTIONS ARE IFIED PRIOR TO LL DESIGNS AND S ISSUED BY THE
ES WITHIN GRID L FIXTURES, AND SIN IERWISE NOTED.		10.		OF DOORS IS U EAR, UNOBSTRU AN ANGLE OF 90	CTED OPENII	NG WIDTH O	F 32" WITH TH	SHALL	PROJECT. 1. THE ME	CHANICAL CONT	BMIT SHOP DRAWINGS RACTOR SHALL SUPPL FCHES AND ACCESSOF	Y AND INSTALL ALL EL	ECTRICAL	ENGINEER A OTHER LOC THEY EXF DRAWINGS REPRODUCI ENGINEER, INDEBTED	ARE THE PROP IND SHALL NOT BE I ATION EXCEPT THE ( PRESSLY DESIGNE OR ANY PART ED WITHOUT THE C I'HE PERSON WHO IS TO THE ENGINEER N. CONTRACTOR S	REUSED ON ANY DNE FOR WHICH D. IF THESE THEREOF IS DNSENT OF THE DOING WILL BE FOR HIS FULL
, AND SPEAKER GRIL ).	LES TO MATCH	11.		SSIBLE ENTRANG NAL DIRECTION PEDESTRIAN WAY	IAL SIGNS,			FROM	ELECTR MANUF 2. THE ME	ICAL DRAWINGS ACTURES RECOM CHANICAL CONT	AND NECESSARY FOR MENDATIONS AND THE RACTOR SHALL PERFO IN THE ELECTRICAL D	THE MECHANICAL EQU NATIONAL ELECTRIC RM ALL WIRING AND CO	IPMENT CODE. ONNECTION	FOR CONST THAT WERE BEGINNING BEING USEE LABEL SAY SIGNED AND	RUCTION PURPOSES ADVANCE TO HIM OF CONSTRUCTIO D BY CONTRACTOR S ING "FOR CONSTR D SEALED BY THE EN	ANY DRAWINGS PRIOR TO THE N. ALL PLANS HOULD HAVE A RUCTION ONLY"
ON NOTES	-	12.	LENGTH IN THE OPPOSITE THE	LANDING ON EA EL AND CLEAR. DIRECTION OF E DIRECTION OF PLANE OF THE D	THE LEVEL DOOR SWING DOOR SWING	AND CLEAR OF AT LEAST GF 44" AS	AREA SHALL F 60" AND THE I MEASURED AT	HAVE A LENGTH	THE RU 3. AIR CON EXPANS	LES OF THE NATI IDITIONING EQUII SION VALVES, FIL	THE MECHANICAL EQU ONAL ELECTRIC CODE. PMENT MANUFACTURE TER DRYER SIGHT GLA ALVES. FOR FIELD INS <sup>-</sup>	R SHALL SUPPLY THE SS PACK LESS GLOVE	RMOSTATIC VALVE AND	I, WILLIAM N THAT I AM DESIGNED O COMPLEMEN CERTIFY THA AND SPEC APPLICABLE	ICATION MELENDEZ RIVAS, LI THE PROFESSION IR PREPARED] THESI NTARY SPECIFICAT AT I UNDERSTAND T IFICATIONS COMP PROVISIONS C	AL WHO [MADE, E PLANS AND THE IONS. I ALSO HAT SAID PLANS LY WITH THE F THE JOINT
JNICATIONS, DATA A		13.		ANDINGS SHALL THE DOORWAY. ( TH A SLOPE NO GI	CHANGE IN L	EVEL BETWEE		AN THE	4. THE EN ACCOR ENERG AIR CON	TIRE AIR CONDITI DANCE WITH THE CONSERVATION	ONING INSTALLATION STANDARDS AND REC CODE. AMERICAN SOC NEERS AIR CONDITION	SHALL BE PERFORMED OMMENDATIONS OF TH IETY OR HEATING REF	IN STRICT E PUERTO RICO RIGERATING AND	OF THE REC FORCE OF T OR PUBLIC ( FURTHER CI THESE PLAN COMPLIED 14-2004, AS /	IS AND THE APPLIC/ GULATIONS AND BU HE AGENCIES, REGU CORPORATIONS WIT ERTIFY THAT THE F IS AND SPECIFICAT WITH THE PROVI AMENDED, KNOWN BY THE PUERTO	ILDING CODES IN JLATORY BOARDS H JURISDICTION. I PREPARATION OF IONS HAS FULLY SIONS OF LAW AS THE "LAW FOR
AND FUNCTION.		14.	AT LEAST 2" WII OF THE STEP OF	I INTERIOR STAIR DE, PLACED PARA R LANDING. THE S	WITH A STRI LLEL TO AND TRIP SHALL I	P OF CLEARL D NOT MORE T BE OF A MATE	Y CONTRASTING HAN 1" FROM TH	COLOR	5. ALL EQUINDICAT RECOMINICAT	ED IN ACCORDAN MENDATION FURI	BE INSTALLED AND CO NCE WITH THE MANUF NISH AND INSTALL AU NS, AND SIMILAR ITEM	CTURER'S INSTRUCTION (ILIARY PIPING, WATER S, NOT INDICATED OR S	ON AND SEALS, VALVES. SPECIFIED BUT	AND WITH T AMENDED; AMENDED; THAT AN MISREPRESE PRODUCED EITHER BY M OTHERS WI	THE [LAW NO. 319 OI ACT NO. 96 OF J AS APPLICABLE]. I NY FALSE ST NTATION OF FACTS BY IGNORANCE IE, MY AGENTS OR EI ITH MY KNOWLEE	MAY 15, 1938, AS ULY 6, 1978, AS ACKNOWLEDGE ATEMENT OR THAT HAS BEEN OR NEGLIGENCE MPLOYEES, OR BY OGE, MAKES ME
CE WITH TITLE 24 R D SQUARE FEET PRO 50% OF LAMPS PER F	OVIDE DOUBLE IXTURE.	15.	AS SLIP RESIST. CENTER ELECT FLOOR OR WORK				THAN 15" ABO	VE THE	OPERAT 6. AFTER NECESS	ION. COMPLETION OF ARY TESTS. ADJ	OMMENDED BY THE MA	E CONTRACTOR SHALL NCE THE SYSTEM TO P	MAKE ALL ROVIDE	RESPONSIBL	E FOR ANY Y ACTION BY THE OC	JUDICIAL AND PE.
S AND THERMOSTAT , UNLESS OTHERWISE OGETHER, INSTALL   BOVE FINISHED FLOO	E NOTED. WHEN BOTH ALIGNED	16.	SANITARY FACI BE ACCESSIBLE	LITIES LOCATED ( TO THE PHYSICA			R OF A BUILDING	G SHALL	AND TE FURNIS	ST NECESSARY T H ALL LABOR AN	OUGHOUT. APPARATUS O SHOW IT IS CAPABLE D INSTRUMENTS FOR T NTRACTOR SHALL MAK	OF MEETING SPECIFIE	ED CONDITIONS NTS. AS PART OF	IPG	Ave. Muñoz Rivera - Si 654 Plaza San Juan PP	NAL GROUP

OWNER.

DRAIN LINES

- 17. ENTRY TO SANITARY FACILITIES:
  - A. 44" CLEAR AISLES OR CORRIDORS WHERE OCCUPANT LOAD IS 10 OR MORE.
  - B. DOORWAYS TO HAVE A 32" CLEAR OPENING C. ON APPROACH SIDE, PROVIDE A 60" CLEAR LEVEL SPACE WHEN DOOR SWINGS TOWARD APPROACH AND 44" SPACE WHEN DOOR SWINGS AWAY FROM APPROACH.
  - 18. TOILET ROOM ACCESSORIES AS INDICATED ON PLANS:
  - A. MOUNT BOTTOM EDGE OF MIRRORS NO HIGHER THAN 40" FROM THE FLOOR. B. MOUNT TOILET TISSUE DISPENSERS WITHIN 12" FROM THE FRONT EDGE OF THE TOILET SEAT.
  - C. MOUNT DISPENSING AND DISPOSAL FIXTURES (TOWEL, SANITARY NAPKINS WASTE, COIN SLOTS, ETC.) WITH OPERATING PARTS NO HIGHER THAN 40" FROM THE FLOOR.
  - 19. SINGLE ACCOMMODATION TOILET FACILITY
  - A. WATER CLOSET TO HAVE A 28" CLEARANCE FROM A FIXTURE AND 32" FROM A WALL
  - B. MINIMUM CLEAR SPACE IN FRONT OF WATER CLOSET TO BE 48".
  - C. A SPACE 36" X 48" IS PERMITTED IN FRONT OF EXISTING WATER CLOSET ACCESSIBLE TO THE HANDICAPPED.
  - 20. THE HEIGHT OF THE WATER CLOSET (TOP OF SEAT) SHALL BE BETWEEN 17" AND 19".

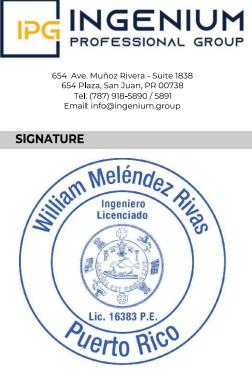
THIS CONTRACT THE CONTRACTOR SHALL MAKE ANY CHANGES IN THE PULLEYS BELTS AND DAMPERS OR THE ADDITION OF DAMPERS CORRECT BALANCE AS RECOMMENDED BY BALANCING CONTRACTOR AT NO ADDITIONAL COST TO THE

7. THE CONTRACTOR SHALL VERIFY AVAILABLE ELECTRICAL POWER (V. PH) BEFORE PURCHASING EQUIPMENT.

1. THE AIR CONDITIONING DRAIN LINE FROM EQUIPMENT TO AN OPEN DRAIN CONNECTION SHALL BE PLASTIC PVC (1120) PIPE. SCHEDULE 40, TYPE 1. WITH WELDED JOINT AND FITTINGS MINIMUM SLOPE 1/4\* FIR. PROVIDE CLEAN OUTS AND SUPPORTS ALONG LINE

2. INSULATE DRAIN LINE. AT POINTS WHERE CONDENSATION MAY OCCUR WITH THE SAME INSULATION USED FOR THE REFRIGERANT SUCTION LINES

PROJECT ADDRESS
ESQ CALLE PROGRESO RUIS RIVERA
ADJUNTAS, PUERTO RICO.
OWNER
ADJUNTAS MUNICIPALITY
REGISTER No.
266-075-038-21
REVISIONS
REV. DATE DESCRIPTION BY CHK'D
IMPORTANT NOTES TO THE CONTRACTOR:
CONTRACTOR SHALL VERIFY ALL DIMENSIONS
AND SITE CONDITIONS BEFORE PROCEEDING
WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON
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OTHER LOCATION EXCEPT THE ONE FOR WHICH THEY EXPRESSLY DESIGNED. IF THESE



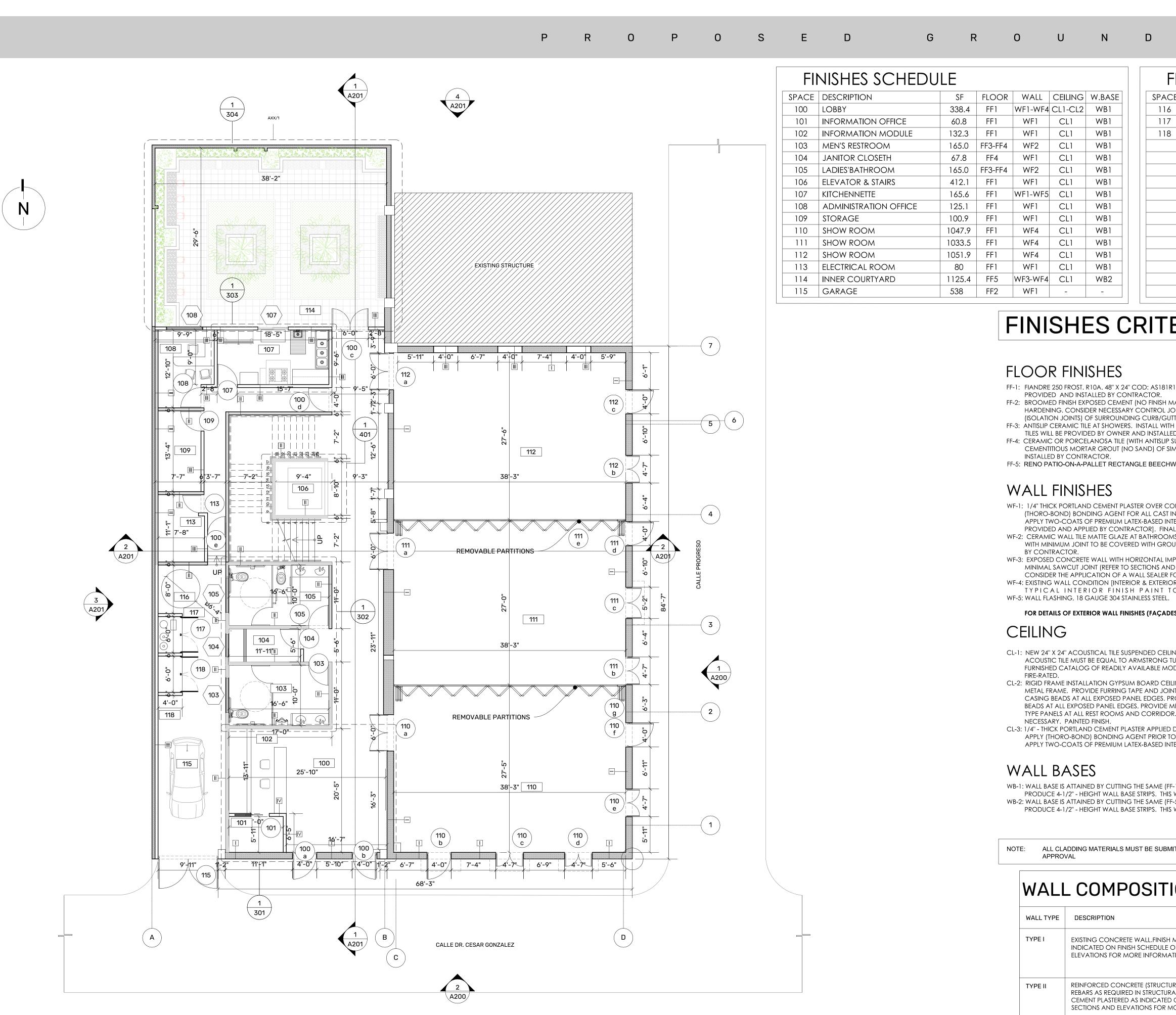
FILE Dwg Name: INGENIUM GROUP Drawn by: INGENIUM GROUP Revised by: ING. WILLIAM MELENDEZ Plot Scale: AS SHOWN

Progress Print: TITLE

**ARCHITECTURAL NOTES** 

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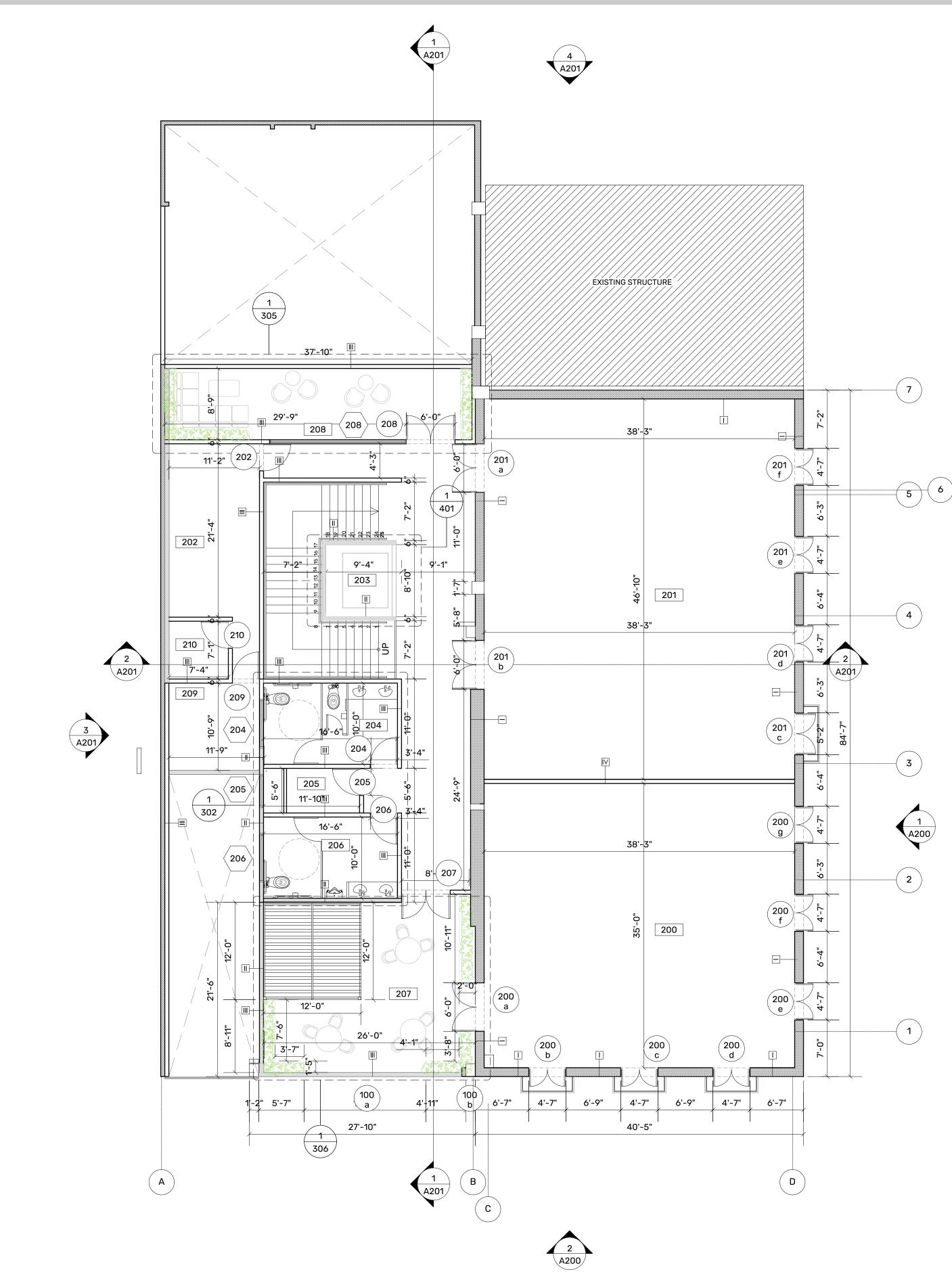




## PROPOSED GROUND FLOOR PLAN

SCALE: 1/8" = 1' - 0"

0 ι	J N	D	FL	0	0	R		Ρ	L A N
WF1-WF4 CL WF1 (	EILING W.BASE 1-CL2 WB1 CL1 WB1 CL1 WB1	SPACE DESCRI 116 CISTERN 117 GAS AF	N AREA	DULE SF 66 24 24	FLOOR FF2 FF2 FF2	WALL WF1 WF1 WF1	CEILING - -	W.BASE - -	<b>PROJECT ADDRESS</b> ESQ CALLE PROGRESO RUIS RIVERA ADJUNTAS, PUERTO RICO.
4         WF2         C           WF1         C           4         WF2         C           WF1         C           WF1-WF5         C           WF1         C           WF4         C	CL1     WB1								OWNER ADJUNTAS MUNICIPALITY
WF4         C           WF1         C           WF3-WF4         C           WF1         C	CL1     WB1       CL1     WB1       CL1     WB1       CL1     WB2       -     -								REGISTER No.         2       6       6       -       0       7       5       -       0       3       8       -       2       1         REVISIONS         REV. DATE DESCRIPTION BY CHK'D
Floor	FINISHES	4" COD: AS181R10X864 CERA							
FF-2: BROOMED F HARDENING (ISOLATION . FF-3: ANTISLIP CER TILES WILL BE FF-4: CERAMIC OF CEMENTITIO INSTALLED B' FF-5: RENO PATIC WF-1: 1/4" THICK F (THORO-BON APPLY TWO- PROVIDED A WF-2: CERAMIC W WF-2: CERAMIC W WF-2: CERAMIC W WF-3: EXPOSED C MINIMAL SA CONSIDER T WF-4: EXISTING W T Y P I C A L WF-5: WALL FLASH FOR DETAILS CEILINC CL-1: NEW 24" X 2 ACOUSTIC T FURNISHED C FIRE-RATED. CL-2: RIGID FRAM METAL FRAM CASING BEA BEADS AT AL TYPE PANELS NECESSARY. CL-3: 1/4" - THICK F APPLY (THOI	CONSIDER NECESSA JOINTS) OF SURROUNI AMIC TILE AT SHOWER PROVIDED BY OWNE PROVIDED BY OWNE PORCELANOSA TILE US MORTAR GROUT (N Y CONTRACTOR. D-ON-A-PALLET RECT INISHED BY CONT COATS OF PREMIUM I ND APPLIED BY CONT VALL TILE MATTE GLAZ UM JOINT TO BE COVE CTOR. ONCRETE WALL WITH WCUT JOINT (REFER TO HE APPLICATION OF A ALL CONDITION [INTE INTERIOR FINI ING, 18 GAUGE 304 ST OF EXTERIOR WALL FIN ING, 18 GAUGE 304 ST OF EXTERIOR WALL FINI ING, 18 GAUGE 304 ST OF EXTERIOR WALL FINI ING AT ALL EXPOSED PANEL ED S AT ALL REST ROOMS PAINTED FINISH. PORTLAND CEMENT PI RO-BOND) BONDING	NT (NO FINISH MATERIAL.) APF RY CONTROL JOINT PATTERN DING CURB/GUTTER RS. INSTALL WITH MINIMUM JC R AND INSTALLED BY CONTRA (WITH ANTISLIP SURFACE) INST NO SAND) OF SIMILAR COLOR ANGLE BEECHWOOD CONCF ANGLE BEECHWOOD CONCF ANGLE BEECHWOOD CONCF CATER OVER CONCRETE OR N FOR ALL CAST IN PLACE WAL LATEX-BASED INTERIOR PAINT OF IRACTOR]. FINAL COLOR TO F E AT BATHROOMS AND BETWE ERED WITH GROUT. TILES WILL HORIZONTAL IMPRINTED PATTE O SECTIONS AND ELEVATIONS A WALL SEALER FOR ALL EXPOS RIOR & EXTERIOR] TO BE PATO S H PAINT TO PREVIO	WITH REGARD TO THE C INT TO BE COVERED W ACTOR ALLED WITH MINIMAL J . TILES WILL BE PROVIDI RETE PAVER AASONRY WALLS. (PRIM LS. ONCE THE PLASTER DVER PRIMER [PRIMER / BE SELECTED EN CABINETS AT THE KIT BE PROVIDED BY OWN ERN [4" PATTERN] OR PA FOR EXACT LOCATION SED CONCRETE WALLS. CHED AND REPAIRED U S L Y R E F U R B I S H A-202 & A-203 E WITH SUPPORTING FR 9/ 16 WHITE FROM CO S SHALL BE. SAG-RESIST. THICK PANELS ON GA. D AT ALL PANEL JOINTS . CORNER BEADS AT ALL R BEADS AT ALL CONS. ALV. METAL ACCESS D EXPOSED SURFACE OF 1. ONCE THE PLASTER IS	CONSTRUCTION (ITH GROUT. (OINT USING ED AND (ID AND AND PAINT WILL BE (ICHEN. INSTALL ER AND INSTALLED ANEL PATTERN WITH INFORMATION). (ITO REMAIN) APPL 1 E D S U R F A C E (ITO REMAIN) APPL 1 E D S U R F A C E (ITO REMAIN) APPL 20 GALV. SHEET . PROVIDE METAL L METAL CASING CORNERS. USE M.R OORS (24" X 24") AS CONCRETE SLAB. 5 DRY AND HARD,	Y .				<section-header><section-header><section-header><section-header><text></text></section-header></section-header></section-header></section-header>
PRODUCE 4- WB-2: WALL BASE I	IS ATTAINED BY CUTTIN -1/2" - HEIGHT WALL B, IS ATTAINED BY CUTTIN	IG THE SAME (FF-1) FLOOR MA ASE STRIPS. THIS WALLBASE IS , IG THE SAME (FF-5) FLOOR MA ASE STRIPS. THIS WALLBASE IS ,	ALWAYS USED IN COMI TERIAL IN FOUR (4) EQI	BINATION WITH FF-1 JAL SEGMENTS TO					CONTRACTOR OF CO
	DVAL LCOMF DESCRIPTION EXISTING CONCRE INDICATED ON FIN	MUST BE SUBMITTED TO THE POSITION S ETE WALL.FINISH MAY BE EXPO	SCHEDU	LE PLASTERED AS					Lic. 16383 P.E.
TYPE II	REINFORCED CON REBARS AS REQUIR CEMENT PLASTEREI	MORE INFORMATION. CRETE (STRUCTURAL PURPOSE) ED IN STRUCTURAL DRAWINGS D AS INDICATED ON FINISH SCI EVATIONS FOR MORE INFORMA	. FINISH MAY BE EXPOSE HEDULE ON THIS SHEET.	d or else,					FILEDwg Name: INGENIUM GROUPDrawn by:INGENIUM GROUPRevised by:ING. WILLIAM MELENDEZPlot Scale:AS SHOWN
TYPE III	COURSE AND # 3 COURSES. CONSIE	IFORCED CONCRETE MASON @ 16" VERTICAL REBARS WITH DER CONCRETE REINFORCEME NDS AND AROUND ALL OPENII	NO SPLICE FOR THE FIR ENT COLUMNS AT ALL C	ST TWO CONNECTING					Progress Print: TITLE PROPOSED GROUND FLOOR PLAN
TYPE IV	BUILDING STRUCT TO 3-1/2" WIDE LIC	RYWALL PARTITION. EXTENDS FURE. SINGLE SHEETS OF 5/8 GHTWEIGHT GALV. SHEETMET FRACK ONTO STRUCTURAL SI	' THICK TYPE X GYP.BI TAL STUDS @ 16" C.C. I	D PANELS FIXED					DRAWING No. A100
NOTE:	ALL EXISTING WA	LLS ARE TYPE I, UNLESS OTH	ERWISE NOTED						PAGE: 12/46



## PROPOSED FIRST FLOOR PLAN

SCALE: 1/8" = 1' - 0"

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									FII	VISHES	SCHE	DULE					
									SPACE	DESCRIPTION		SF	FLOOR	WALL	CEILING	W.BASE	
									200	ACTIVITY RO	ОМ	1339.3	FF1	WF1-WF4		WB1	
									201	GALLERY ML	ISEUM	1792.4	FF1	WF1-WF4	CL1	WB1	
									202	STORAGE		354.6	FF1	WF1	CL1	WB1	
									203	ELEVATOR &	STAIRS	412.1	FF1	WF1	CL1	WB1	
									204	LADIES'BATHI	ROOM	165.0	FF3-FF4	WF2	CL1	WB1	
									205	JANITOR CLO	DSETH	65.1	FF4	WF1	CL1	WB1	
									206	MEN'S RESTR	ООМ	165.0	FF3-FF4	WF2	CL1	WB1	
///////////////////////////////////////									207	ROOF TOP		534.4	FF1	WF3-WF4	CL1	WB1	
									208	TERRACE		331.9	FF5	WF1	-	WB2	
									209	GENERATOR	AREA	43	FF1	WF1	CL3	WB1	
									210	ELECTRIC RC	MOM	52	FF1	WF1	CL1	WB1	
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	201	<u>ا</u>								IDED AND INSTAL		RACTOR. NO FINISH MATERIA			ISH WHILE C		
	(201 f	4		$\frown$					HARD	DENING. CONSIDE	R NECESSARY (	CONTROL JOINT PA					
			(5)(	6)						ATION JOINTS) OF LIP CERAMIC TILE .		G CURB/GUTTER INSTALL WITH MININ	NUM JOINT TO	) BE COVERFI		OUT.	

- FF-3: ANTISLIP CERAMIC TILE AT SHOWERS. INSTALL WITH MINIMUM JOINT TO BE COVERED WITH GROUT. TILES WILL BE PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR FF-4: CERAMIC OR PORCELANOSA TILE (WITH ANTISLIP SURFACE) INSTALLED WITH MINIMAL JOINT USING CEMENTITIOUS MORTAR GROUT (NO SAND) OF SIMILAR COLOR. TILES WILL BE PROVIDED AND
- INSTALLED BY CONTRACTOR. FF-5: RENO PATIO-ON-A-PALLET RECTANGLE BEECHWOOD CONCRETE PAVER

## WALL FINISHES

- WF-1: 1/4" THICK PORTLAND CEMENT PLASTER OVER CONCRETE OR MASONRY WALLS. (PRIME WALL WITH PROVIDED AND APPLIED BY CONTRACTOR]. FINAL COLOR TO BE SELECTED
- WITH MINIMUM JOINT TO BE COVERED WITH GROUT. TILES WILL BE PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR. WF-3: EXPOSED CONCRETE WALL WITH HORIZONTAL IMPRINTED PATTERN [4" PATTERN] OR PANEL PATTERN WITH
- CONSIDER THE APPLICATION OF A WALL SEALER FOR ALL EXPOSED CONCRETE WALLS. WF-4: EXISTING WALL CONDITION [INTERIOR & EXTERIOR] TO BE PATCHED AND REPAIRED (TO REMAIN) APPLY
- WF-5: WALL FLASHING, 18 GAUGE 304 STAINLESS STEEL.

FOR DETAILS OF EXTERIOR WALL FINISHES (FAÇADES) SEE SHEETS A-202 & A-203

## CEILING

- CL-1: NEW 24" X 24" ACOUSTICAL TILE SUSPENDED CEILING. COMPLETE WITH SUPPORTING FRAME ACOUSTIC TILE MUST BE EQUAL TO ARMSTRONG TUNDRA #304/ 9/ 16 WHITE FROM CONTRACTOR'S FURNISHED CATALOG OF READILY AVAILABLE MODELS. ALL TILES SHALL BE. SAG-RESISTANT AND FIRE-RATED.
- CL-2: RIGID FRAME INSTALLATION GYPSUM BOARD CEILING. USE 1/2" THICK PANELS ON GA. 20 GALV. SHEET NECESSARY. PAINTED FINISH.
- CL-3: 1/4" THICK PORTLAND CEMENT PLASTER APPLIED DIRECTLY ON EXPOSED SURFACE OF CONCRETE SLAB. APPLY (THORO-BOND) BONDING AGENT PRIOR TO APPLY FINISH. ONCE THE PLASTER IS DRY AND HARD, APPLY TWO-COATS OF PREMIUM LATEX-BASED INTERIOR PAINT OVER PRIMER WHITE COLOR.

## WALL BASES

WB-1: WALL BASE IS ATTAINED BY CUTTING THE SAME (FF-1) FLOOR MATERIAL IN FOUR (4) EQUAL SEGMENTS TO WB-2: WALL BASE IS ATTAINED BY CUTTING THE SAME (FF-5) FLOOR MATERIAL IN FOUR (4) EQUAL SEGMENTS TO PRODUCE 4-1/2" - HEIGHT WALL BASE STRIPS. THIS WALLBASE IS ALWAYS USED IN COMBINATION WITH FF-5.

ΝΟΤ	E: ALL CLA APPRO	ADDING MATERIALS MUST BE SUBMITT VAL
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	WALL TYPE	DESCRIPTION
	TYPE I	EXISTING CONCRETE WALL.FINISH MA INDICATED ON FINISH SCHEDULE ON ELEVATIONS FOR MORE INFORMATIOI
	ΤΥΡΕ ΙΙ	REINFORCED CONCRETE (STRUCTURAL REBARS AS REQUIRED IN STRUCTURAL E

	SECTIONS AND ELEVATIONS FOR MORE INFORMATION
TYPE III	PROPOSED 6" REINFORCED CONCRETE MASONRY W COURSE AND # 3 @ 16" VERTICAL REBARS WITH NO S COURSES. CONSIDER CONCRETE REINFORCEMENT C CORNERS, BUTT ENDS AND AROUND ALL OPENINGS. PAINT
TYPE IV	NON-BEARING DRYWALL PARTITION. EXTENDS THF BUILDING STRUCTURE. SINGLE SHEETS OF 5/8" THI TO 3-1/2" WIDE LIGHTWEIGHT GALV. SHEETMETAL S TRACK AND TOP TRACK ONTO STRUCTURAL SLAB.

NOTE: ALL EXISTING WALLS ARE TYPE I, UNLESS OTHERWISE NOTED

(THORO-BOND) BONDING AGENT FOR ALL CAST IN PLACE WALLS. ONCE THE PLASTER IS DRY AND HARD, APPLY TWO-COATS OF PREMIUM LATEX-BASED INTERIOR PAINT OVER PRIMER [PRIMER AND PAINT WILL BE WF-2: CERAMIC WALL TILE MATTE GLAZE AT BATHROOMS AND BETWEEN CABINETS AT THE KITCHEN. INSTALL

MINIMAL SAWCUT JOINT (REFER TO SECTIONS AND ELEVATIONS FOR EXACT LOCATION INFORMATION).

TYPICAL INTERIOR FINISH PAINT TO PREVIOUSLY REFURBISHED SURFACE.

METAL FRAME. PROVIDE FURRING TAPE AND JOINT COMPOUND AT ALL PANEL JOINTS. PROVIDE METAL CASING BEADS AT ALL EXPOSED PANEL EDGES. PROVIDE METAL CORNER BEADS AT ALL METAL CASING BEADS AT ALL EXPOSED PANEL EDGES. PROVIDE METAL CORNER BEADS AT ALL CONS. CORNERS. USE M.R. TYPE PANELS AT ALL REST ROOMS AND CORRIDOR. PROVIDE GALV. METAL ACCESS DOORS (24" X 24") AS

PRODUCE 4-1/2" - HEIGHT WALL BASE STRIPS. THIS WALLBASE IS ALWAYS USED IN COMBINATION WITH FF-1.

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# ON SCHEDULE

AY BE EXPOSED OR ELSE, CEMENT PLASTERED AS THIS SHEET. REFER TO SECTIONS AND

L PURPOSE) WALL/COLUMN. APPLY INTERNAL REBARS AS REQUIRED IN STRUCTURAL DRAWINGS. FINISH MAY BE EXPOSED OR ELSE, CEMENT PLASTERED AS INDICATED ON FINISH SCHEDULE ON THIS SHEET. REFER TO ORE INFORMATION.

> ETE MASONRY WALL WITH DUR-O WALL AT EVERY REBARS WITH NO SPLICE FOR THE FIRST TWO EINFORCEMENT COLUMNS AT ALL CONNECTING ALL OPENINGS. FINISH IN CEMENT PLASTER AND

ON. EXTENDS THROUGH CEILING PLANE UP TO EETS OF 5/8" THICK TYPE X GYP.BD PANELS FIXED . SHEETMETAL STUDS @ 16" C.C. FIXED TO FLOOR

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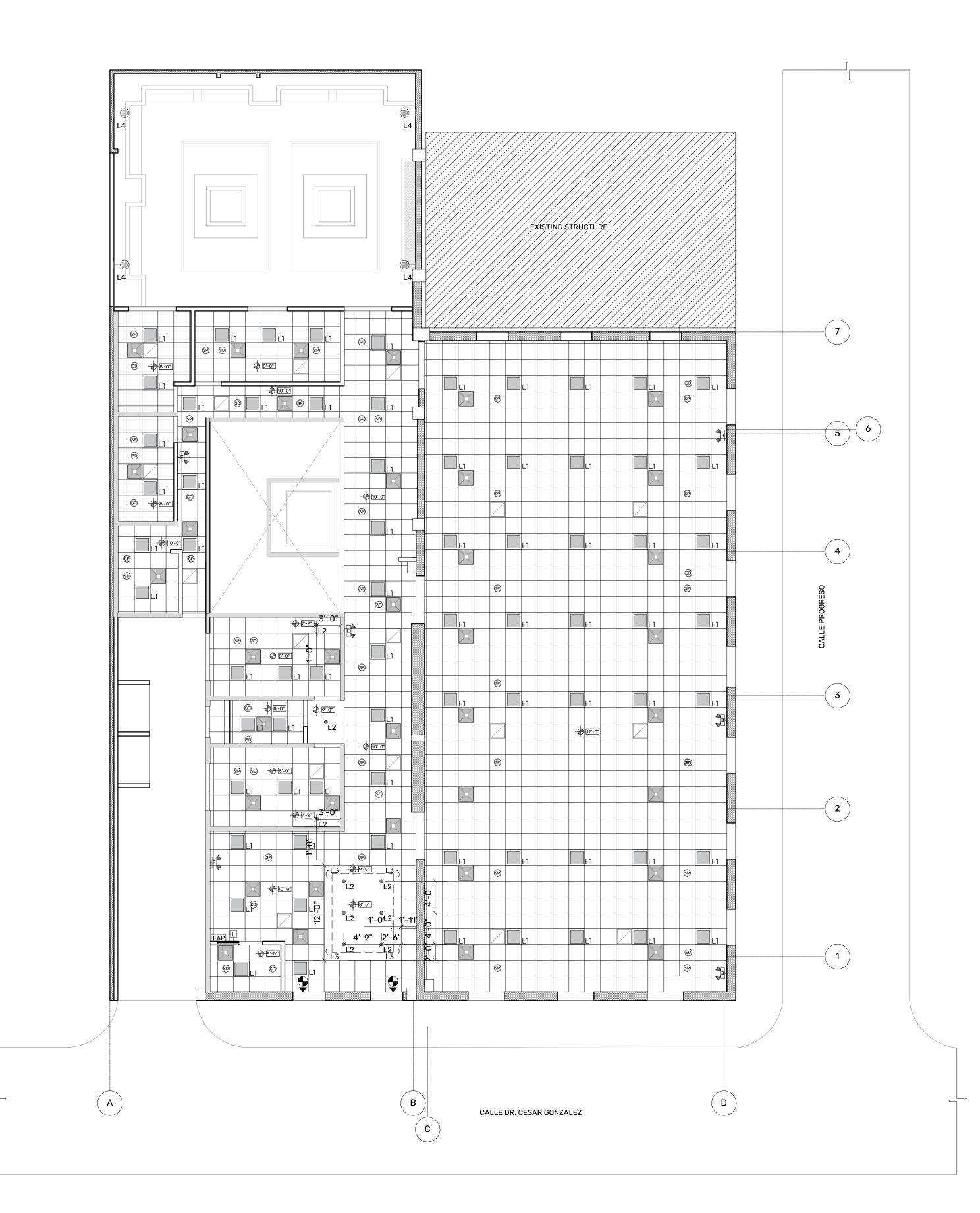
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TITLE PROPOSED FIRST FLOOR PLAN

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PROPOSED REFLECTED CEILING AT GROUND LEVEL

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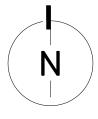
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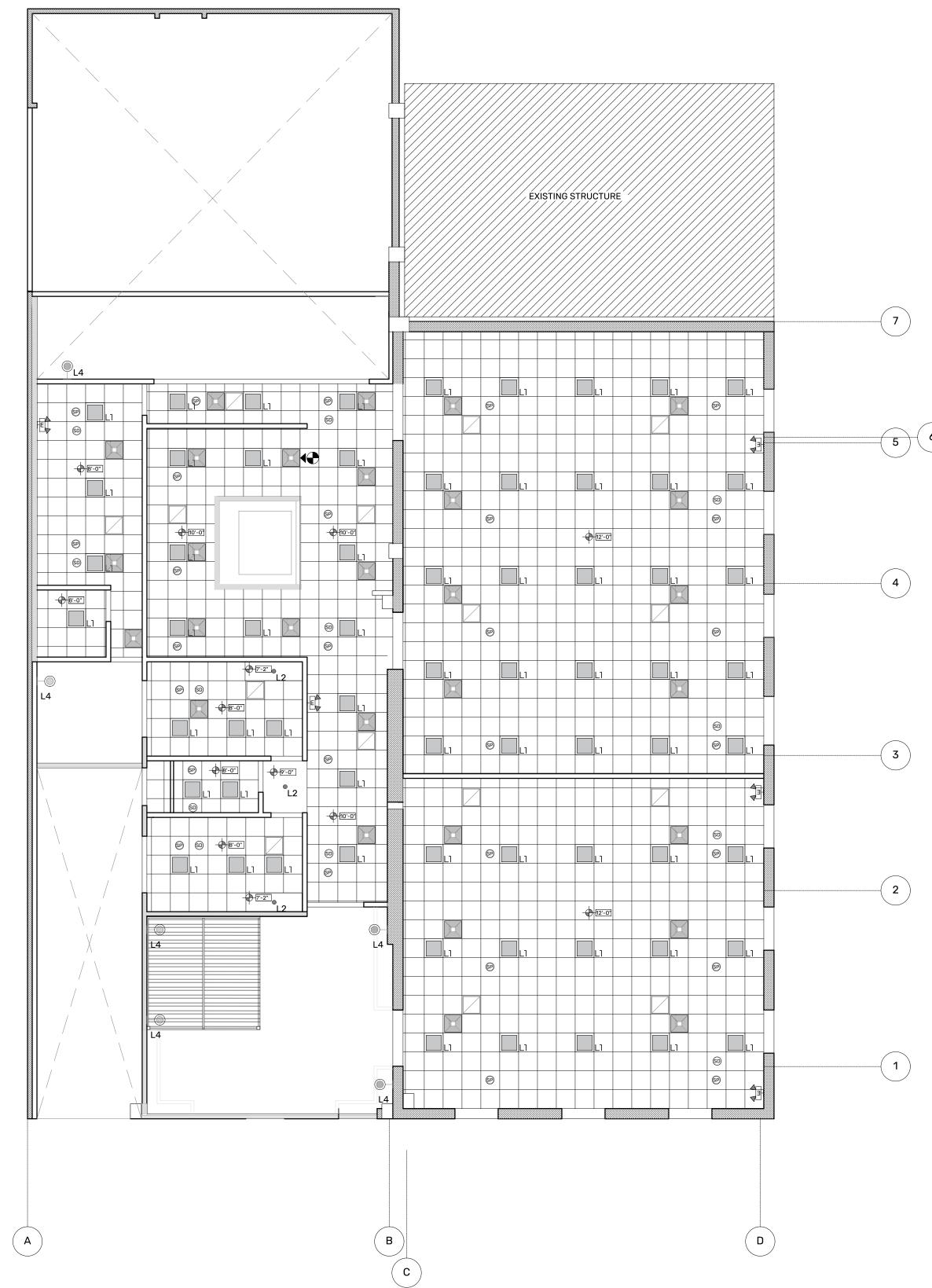
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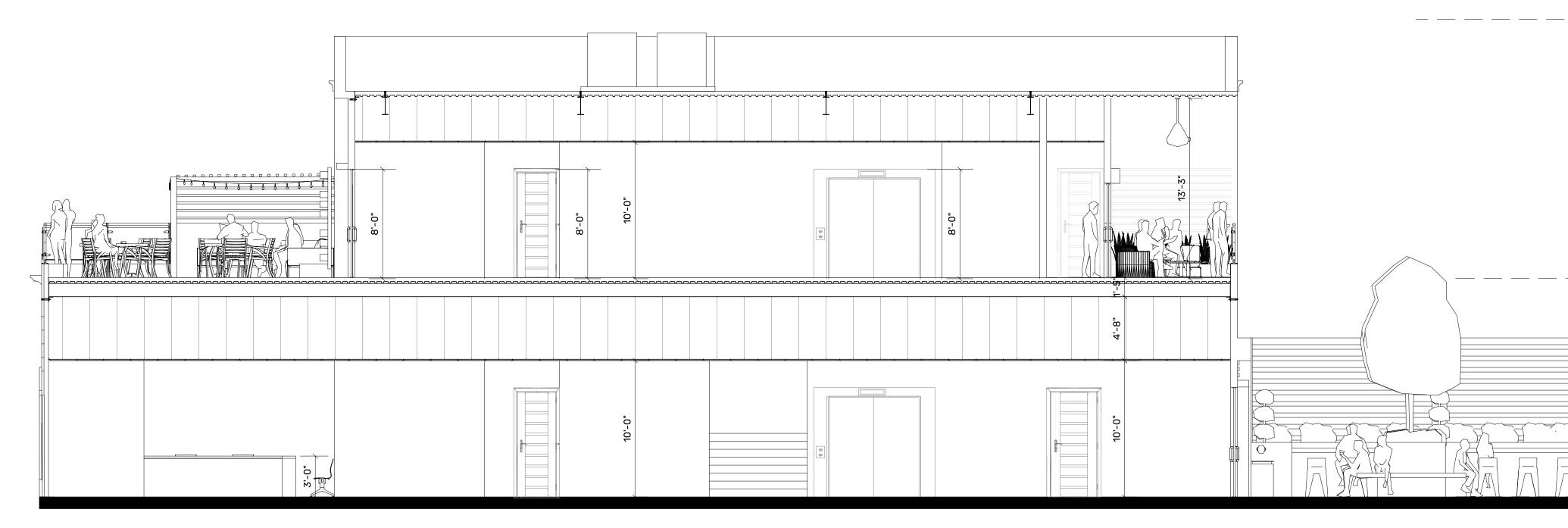
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XISTING STRUCTURE				TALOG NUMBER:] 132V G4 LED36S/84 D W60L60 OC ELB3	0 [REFLECTOR FINISH:] STEEL	0.6" x 23.4" x WHITE 23.4"	REVISIONS REV. DATE DESCRIPTION BY CHK'D
		L2		TALOG NUMBER:] R6 VT21 SC R262U/WAC LTG.	[REFLECTOR FINISH:]	6" Ø SPECULAR CLEAR BAFFLE WHITE TRIM	
		L3	LED STRIP LIGHT	TALOG NUMBER:] SKU: 152260	[REFLECTOR FINISH:] PLASTIC	98' WHITE	
	7			TALOG NUMBER:]           36V 28S_34S_40S/830 PSC           0L120 OC W5	[REFLECTOR FINISH:] STEEL	24" × 24" WHITE	
		NOTE: ALL THE LIGH CATALOG-7TH EDIT	-	ATION INDICATE ON T	THE UPPER SCHEDULE IS OBTA	INED THROUGH THE LIGHTOLIER	IMPORTANT NOTES TO THE CONTRACTOR:
	5 6	0'-0'	ELEVATION OF THE CEILI	IG, FROM THE FLOOF	R FINISH		CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY THE ENGINEER BEFORE ANY PART OF THE WORK IS
					PLY DIFFUSER CLEAR ANODIZE		STARTED SO THAT PROPER CORRECTIONS ARE MADE. IF ENGINEER IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK. ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ENGINEER ARE THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH
					URN GRILLE CLEAR ANODIZED I ME ARE ELECTROSTATICALLY P		THEY EXPRESSLY DESIGNED. IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THE ENGINEER, THE PERSON WHO IS DOING WILL BE INDEBTED TO THE ENGINEER FOR HIS FULL
			NING OUTLETS ARE SUGGE		NER. CONTRACTOR MUST SUBM	IT FINAL MECHANICAL SYSTEM	COMMISSION. CONTRACTOR SHALL NOT USE FOR CONSTRUCTION PURPOSES ANY DRAWINGS THAT WERE ADVANCE TO HIM PRIOR TO THE BEGINNING OF CONSTRUCTION. ALL PLANS BEING USED BY CONTRACTOR SHOULD HAVE A LABEL SAYING "FOR CONSTRUCTION ONLY"
		LEGEN	ID -FIRE ALAF		1ENT		SIGNED AND SEALED BY THE ENGINEER. CERTIFICATION I, WILLIAM MELENDEZ RIVAS, LIC. 16383, CERTIFY
		SYMBOL	DESCRIPTION	EQUIPMENT /			THAT I AM THE PROFESSIONAL WHO [MADE, DESIGNED OR PREPARED] THESE PLANS AND THE COMPLEMENTARY SPECIFICATIONS. I ALSO CERTIFY THAT I UNDERSTAND THAT SAID PLANS
		FAP	FIRE ALARM PANEL		RE ALARM PANEL NFW-50. COOF FIRE ALARM COMPANY	RDINATE WITH	AND SPECIFICATIONS COMPLY WITH THE APPLICABLE PROVISIONS OF THE JOINT REGULATIONS AND THE APPLICABLE PROVISIONS OF THE REGULATIONS AND BUILDING CODES IN FORCE OF THE AGENCIES, REGULATORY BOARDS OR PUBLIC CORPORATIONS WITH JURISDICTION. I FURTHER CERTIFY THAT THE PREPARATION OF
	(3)	⊢ <b>F</b>	FIRE ALARM PULL STATION	COORDINATE	E WITH BUILDING'S FIRE ALARM	COMPANY	THESE PLANS AND SPECIFICATIONS HAS FULLY COMPLIED WITH THE PROVISIONS OF LAW 14-2004, AS AMENDED, KNOWN AS THE "LAW FOR INVESTMENT BY THE PUERTO RICAN INDUSTRY" AND WITH THE [LAW NO. 319 OF MAY 15, 1938, AS
		E	EMERGENCY BATTERY LIGHTING	EX2 OUTLOO	K SERIE, EX2-1-R-3-SC-C-SD2	Γ-Α	AMENDED; ACT NO. 96 OF JULY 6, 1978, AS AMENDED; AS APPLICABLE]. I ACKNOWLEDGE THAT ANY FALSE STATEMENT OR MISREPRESENTATION OF FACTS THAT HAS BEEN PRODUCED BY IGNORANCE OR NEGLIGENCE EITHER BY ME, MY AGENTS OR EMPLOYEES, OR BY
	2	SD	SMOKE DETECTION	PHOTOELEC	TRIC SMOKE DETECTOR NP-100	CEILING MOUNTED	OTHERS WITH MY KNOWLEDGE, MAKES ME RESPONSIBLE FOR ANY JUDICIAL AND DISCIPLINARY ACTION BY THE OGPE.
			EXIT SIGN	EXIT SIGN RC	YAL PACIFIC LTG. RXL 17 RW		
		SP	SPRINKLER HEAD	SEE FP-1.1 P	ROPOSED FIRE PROTECTION PL	AN	654 Ave. Muñoz Rivera - Suite 1838 654 Plaza, San Juan, PR 00738 Tel. (787) 918-5890 / 5891 Email: info@ingenium.group
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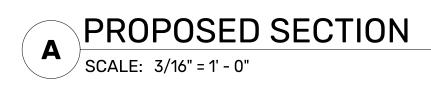
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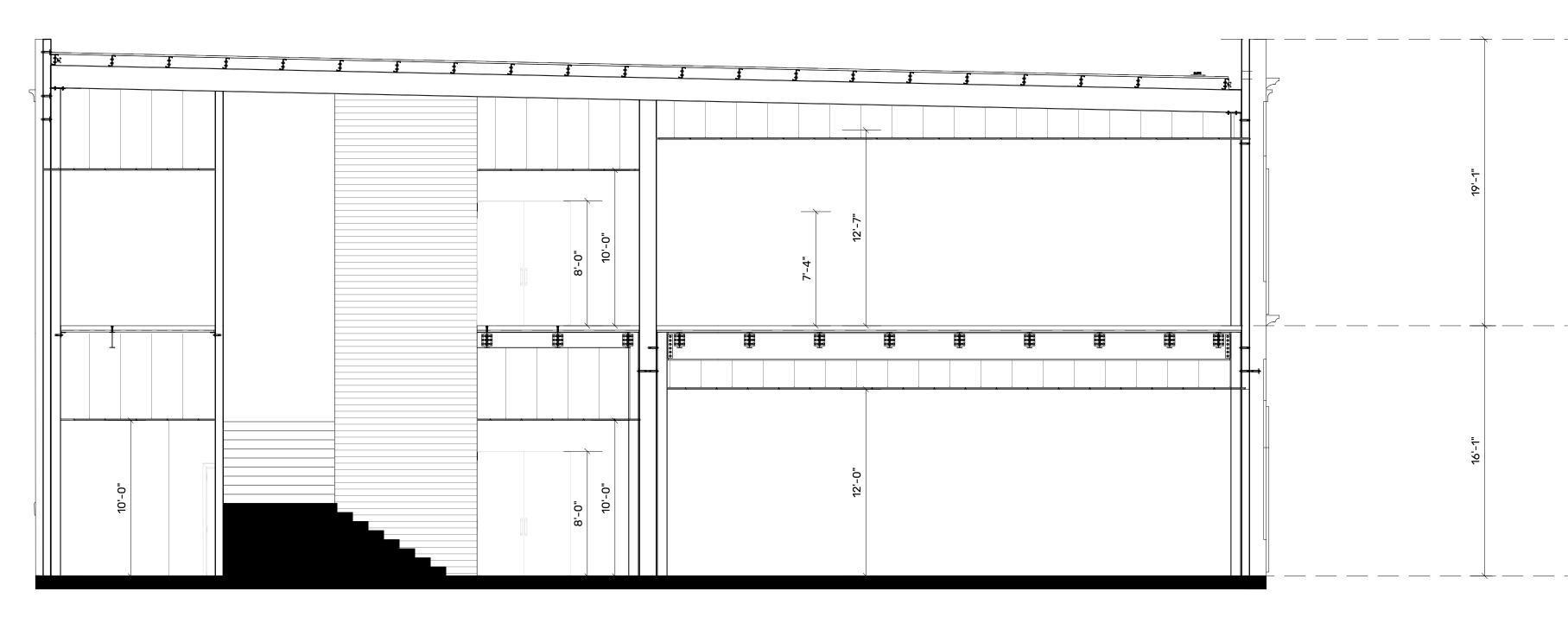
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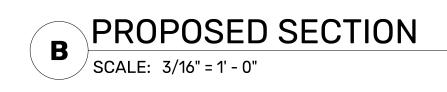
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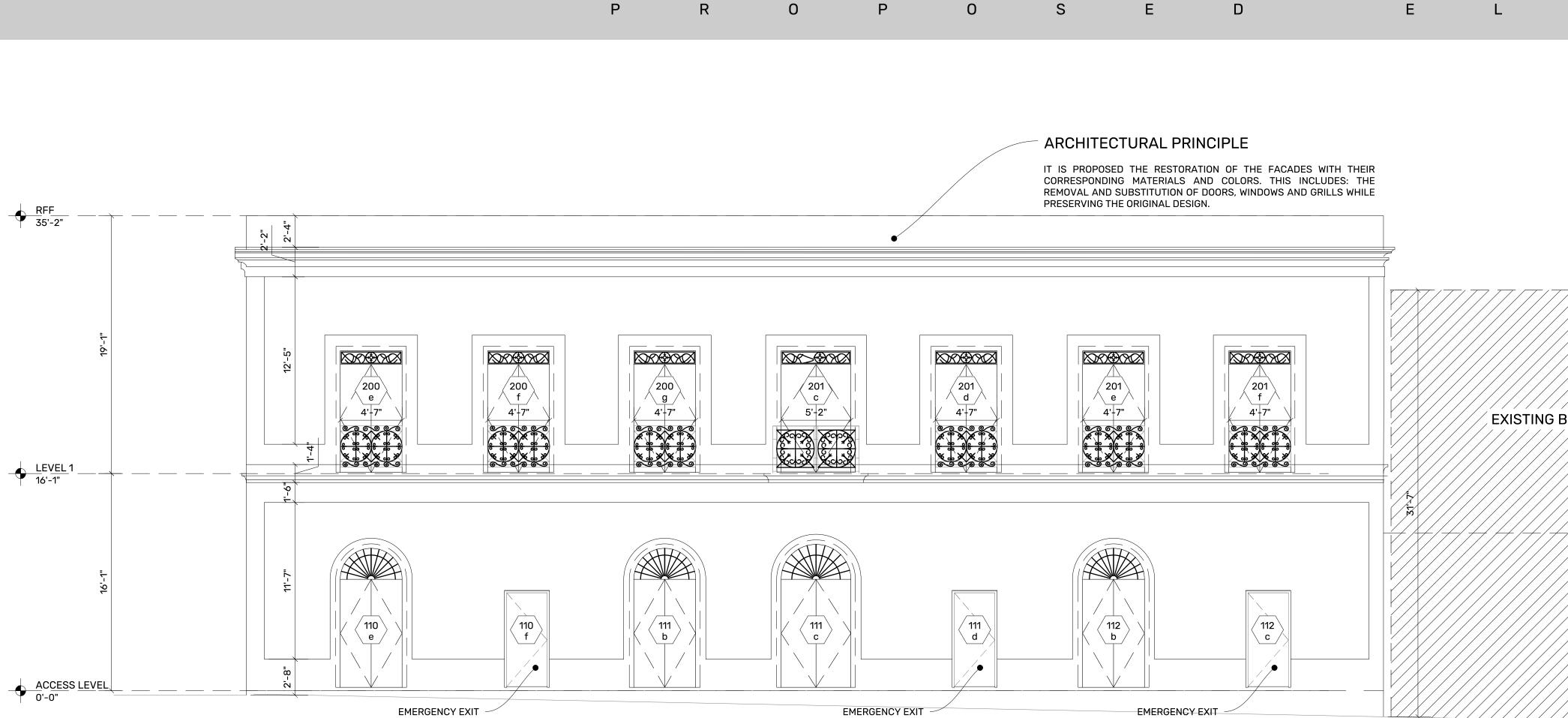


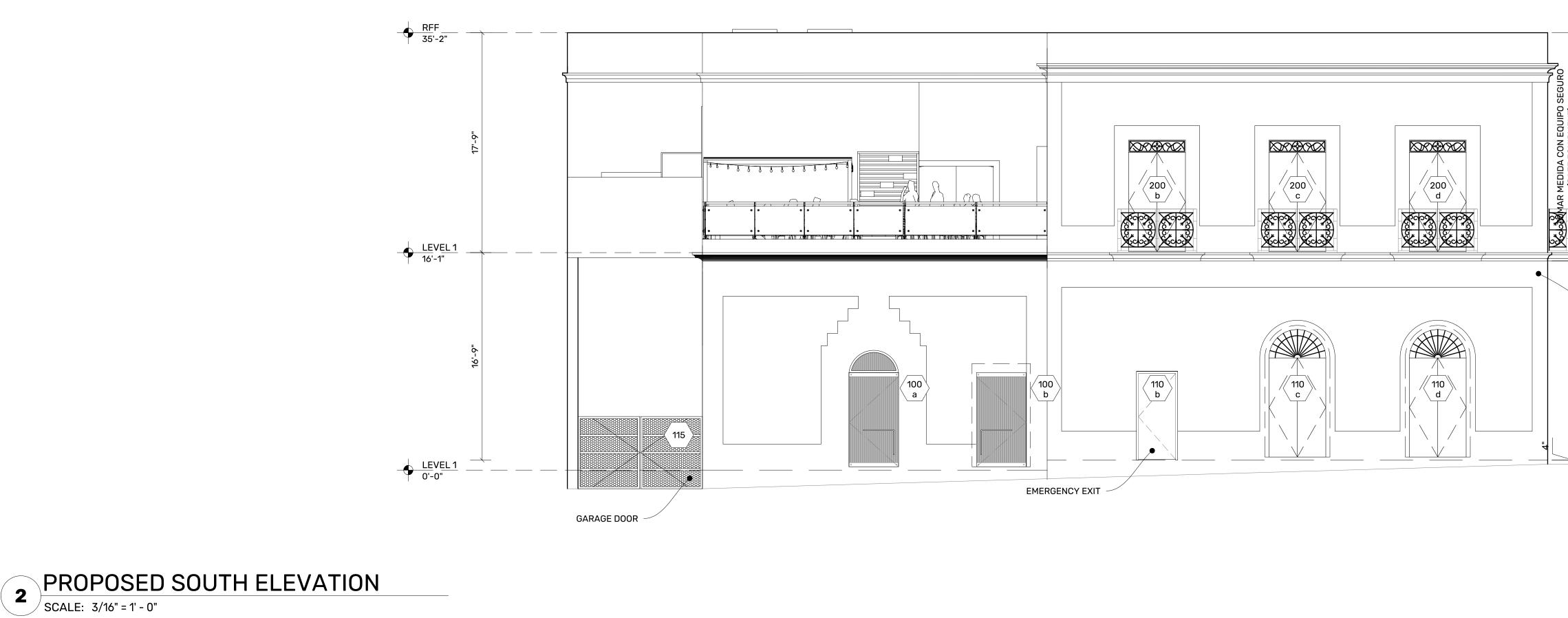






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	16'-1"	ACCESS LEVEL 0'-0"	-	IMPORTANT NOTES TO THE CONTRACTOR: CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY THE ENGINEER BEFORE ANY PART OF THE WORK IS STARTED SO THAT PROPER CORRECTIONS ARE MADE. IF ENGINEER IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK. ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ENGINEER ARE THE PROPERTY OF THE ENGINEER ARE THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH THEY EXPRESSLY DESIGNED. IF THESE DRAWINGS OR ANY PART THEREOF IS
				REPRODUCED WITHOUT THE CONSENT OF THE ENGINEER, THE PERSON WHO IS DOING WILL BE INDEBTED TO THE ENGINEER FOR HIS FULL COMMISSION. CONTRACTOR SHALL NOT USE FOR CONSTRUCTION PURPOSES ANY DRAWINGS THAT WERE ADVANCE TO HIM PRIOR TO THE BEGINNING OF CONSTRUCTION. ALL PLANS BEING USED BY CONTRACTOR SHOULD HAVE A LABEL SAYING "FOR CONSTRUCTION ONLY" SIGNED AND SEALED BY THE ENGINEER. <b>CERTIFICATION</b> I, WILLIAM MELENDEZ RIVAS, LIC. 16383, CERTIFY THAT I AM THE PROFESSIONAL WHO [MADE, DESIGNED OR PREPARED] THESE PLANS AND THE COMPLEMENTARY SPECIFICATIONS. I ALSO CERTIFY THAT I UNDERSTAND THAT SAID PLANS
				AND SPECIFICATIONS COMPLY WITH THE APPLICABLE PROVISIONS OF THE JOINT REGULATIONS AND THE APPLICABLE PROVISIONS OF THE REGULATIONS AND BUILDING CODES IN FORCE OF THE AGENCIES, REGULATORY BOARDS OR PUBLIC CORPORATIONS WITH JURISDICTION. I FURTHER CERTIFY THAT THE PREPARATION OF THESE PLANS AND SPECIFICATIONS HAS FULLY COMPLIED WITH THE PROVISIONS OF LAW 14-2004, AS AMENDED, KNOWN AS THE "LAW FOR INVESTMENT BY THE PUERTO RICAN INDUSTRY" AND WITH THE [LAW NO. 319 OF MAY 15, 1938, AS AMENDED; ACT NO. 96 OF JULY 6, 1978, AS AMENDED; AS APPLICABLE]. I ACKNOWLEDGE THAT ANY FALSE STATEMENT OR MISREPRESENTATION OF FACTS THAT HAS BEEN PRODUCED BY IGNORANCE OR NEGLIGENCE EITHER BY ME, MY AGENTS OR EMPLOYEES, OR BY OTHERS WITH MY KNOWLEDGE, MAKES ME RESPONSIBLE FOR ANY JUDICIAL AND DISCIPLINARY ACTION BY THE OGPE.
<u>LEVEL 1</u>				ENGESSIONAL GROUP           654 Ave. Muñoz Rivera - Suite 1838           654 Plaza, San Juan, PR 00738           Tel. (787) 918-5890 / 5891           Email: info@ingenium.group
16'-1"   ♥				Lic. 16383 P.E.
ACCESS LEVEL 0'-0"				FILEDwg Name: INGENIUM GROUPDrawn by:INGENIUM GROUPRevised by:ING. WILLIAM MELENDEZPlot Scale:AS SHOWNProgress Print:IIILEPROPOSED SECTIONS
				DRAWING No. A201 PAGE: 16/46







# **1** PROPOSED NORTHEAST ELEVATION SCALE: 3/16" = 1' - 0"

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						_	654 Plaza, San Jua Tel. (787) 918-58 Email: info@inger	n, PR 00738 190 / 5891
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## ARCHITECTURAL PRINCIPLE

IT IS PROPOSED THE RESTORATION OF THE FACADES WITH THEIR CORRESPONDING MATERIALS AND COLORS. THIS INCLUDES: THE REMOVAL AND SUBSTITUTION OF DOORS, WINDOWS AND GRILLS WHILE PRESERVING THE ORIGINAL DESIGN.

DRAWING No.

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A202 17/46 PAGE:

PROPOSED ELEVATIONS

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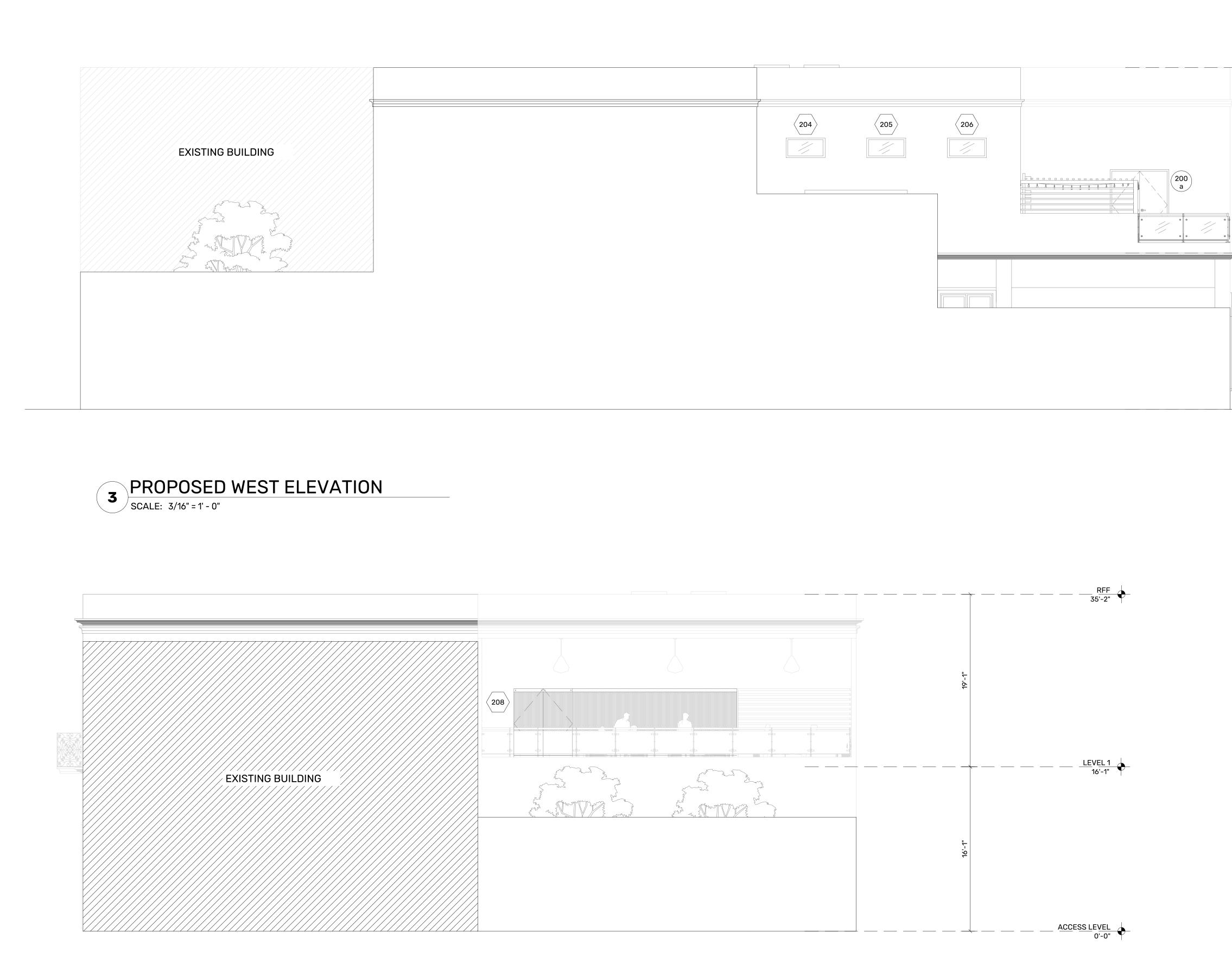
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Revised by: ING. WILLIAM MELENDEZ

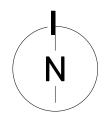


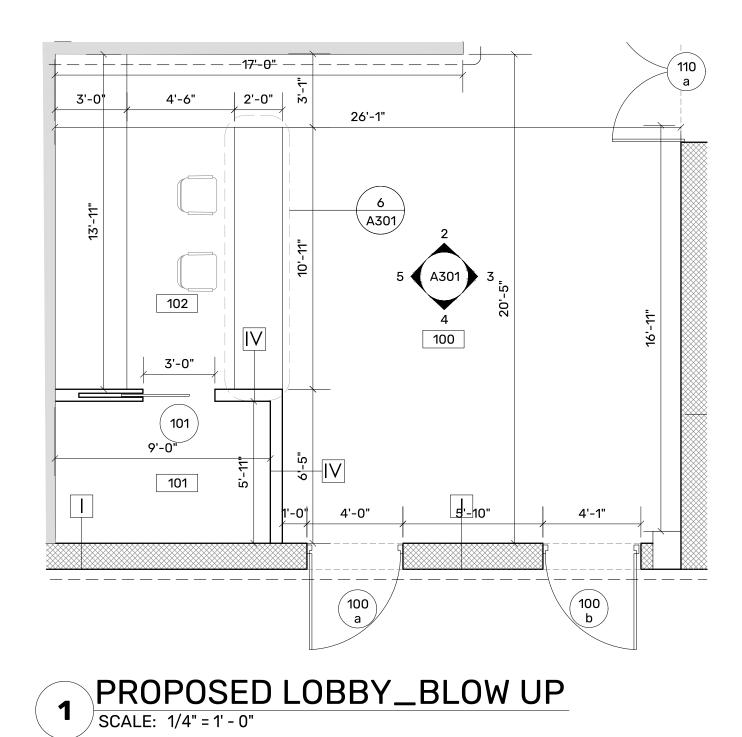


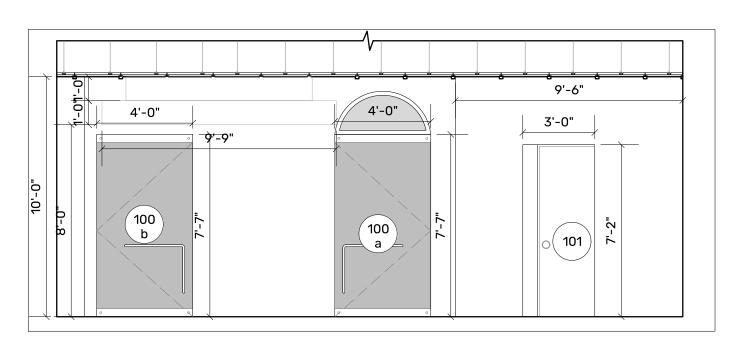
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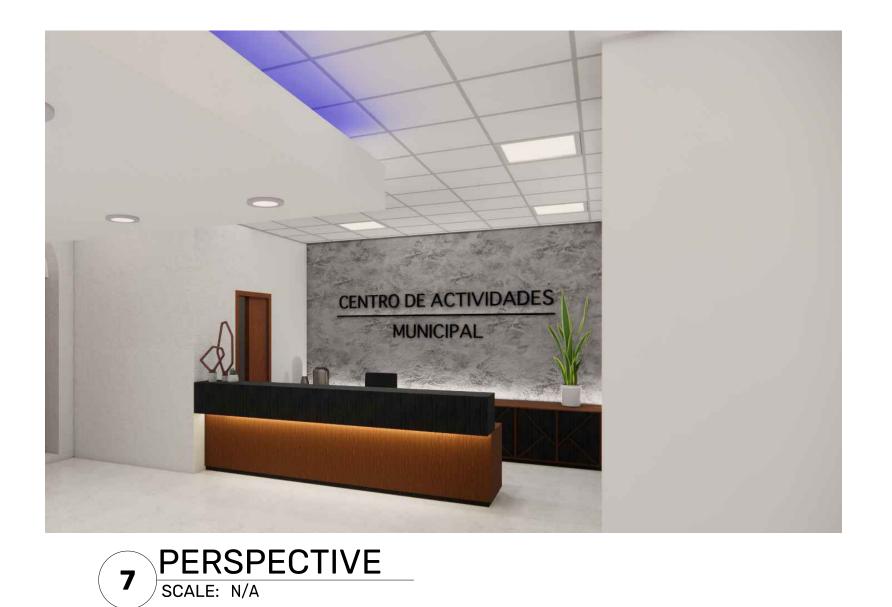
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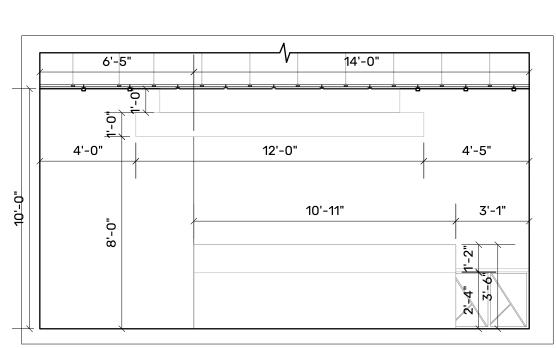




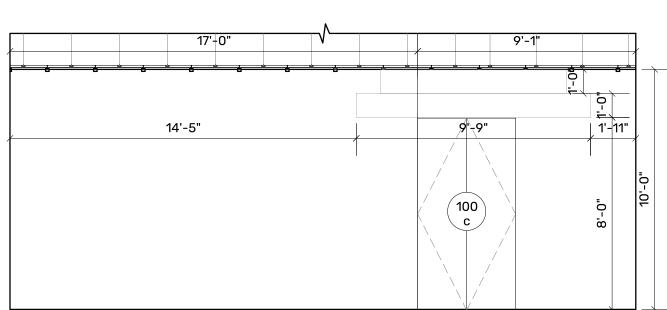
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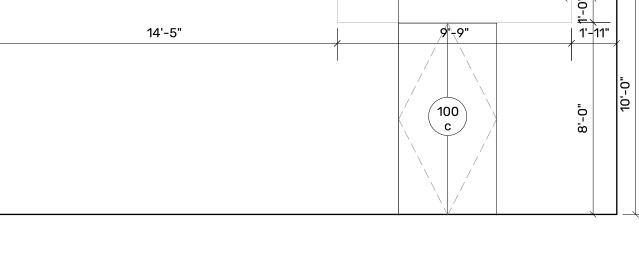
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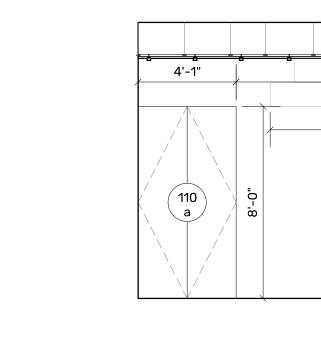


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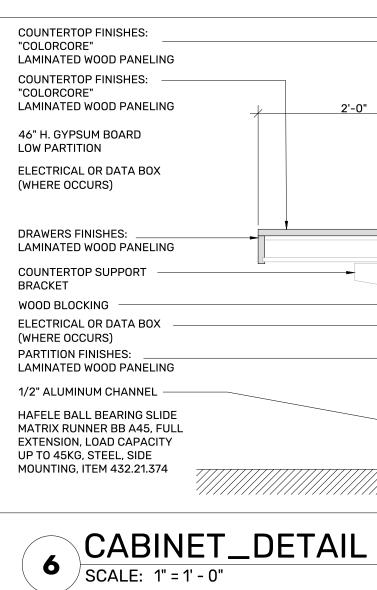
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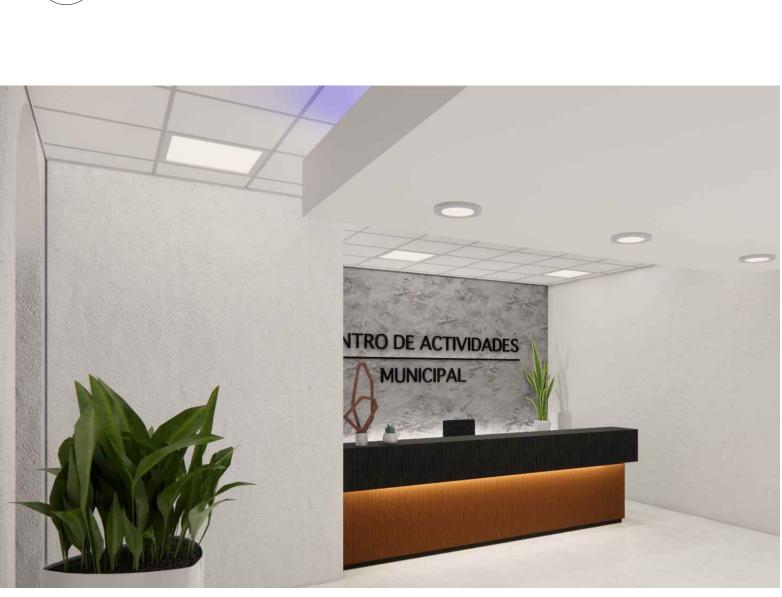
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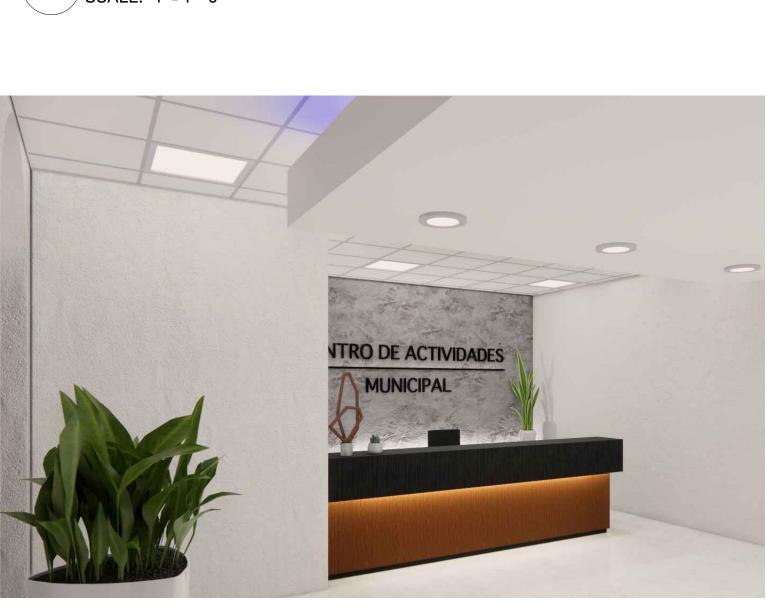














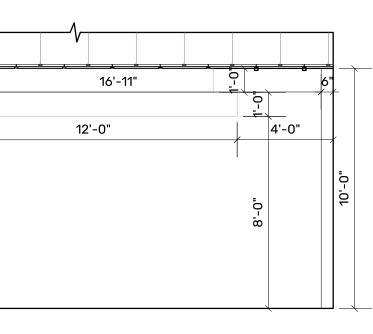


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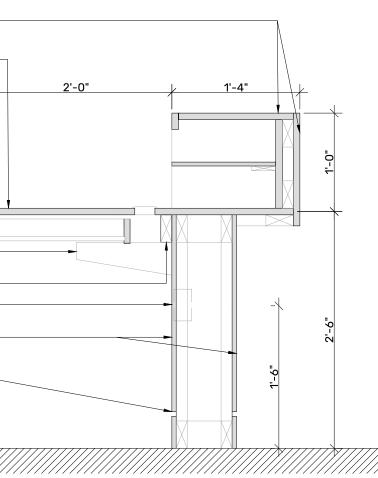
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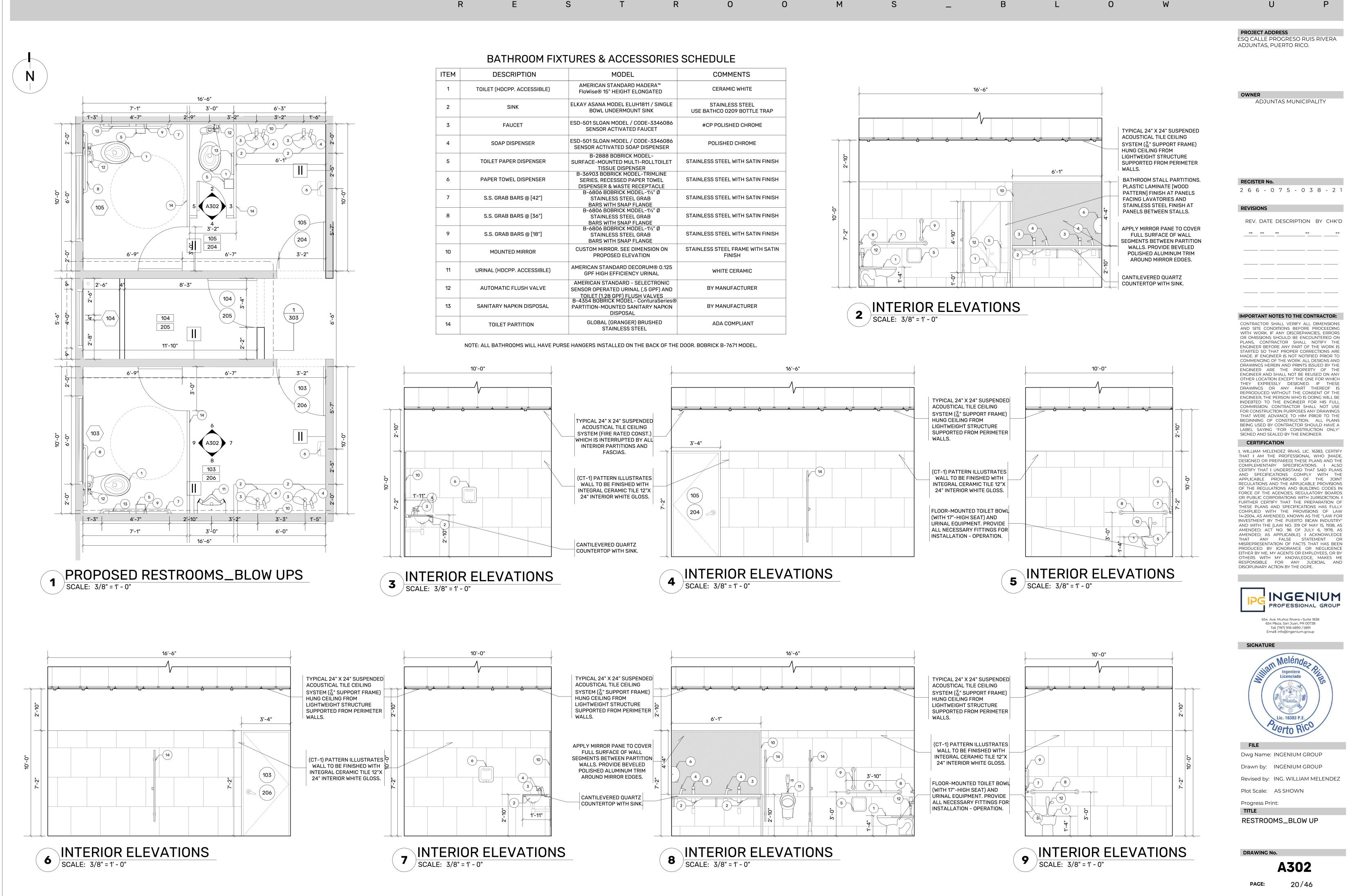
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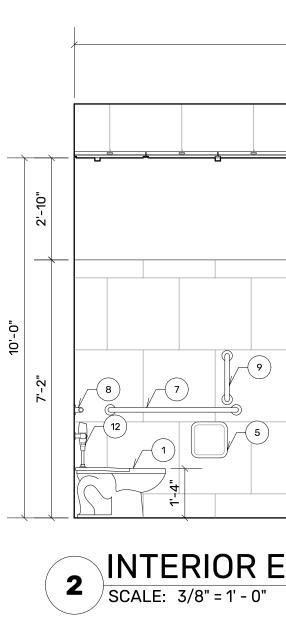
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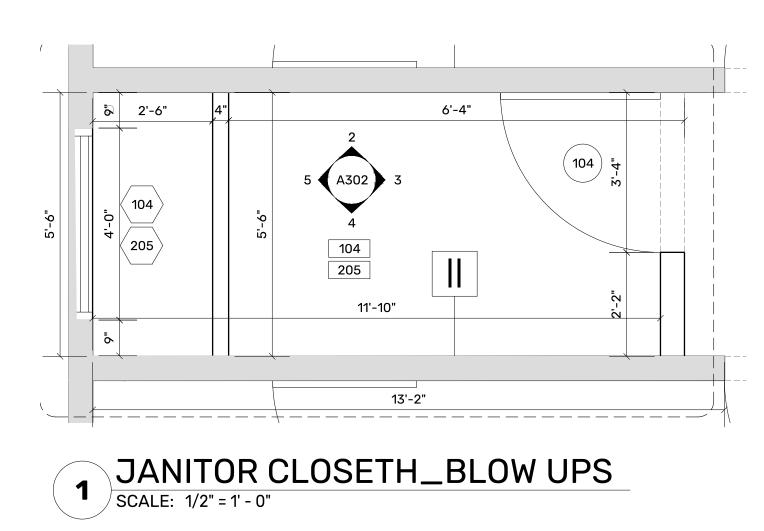
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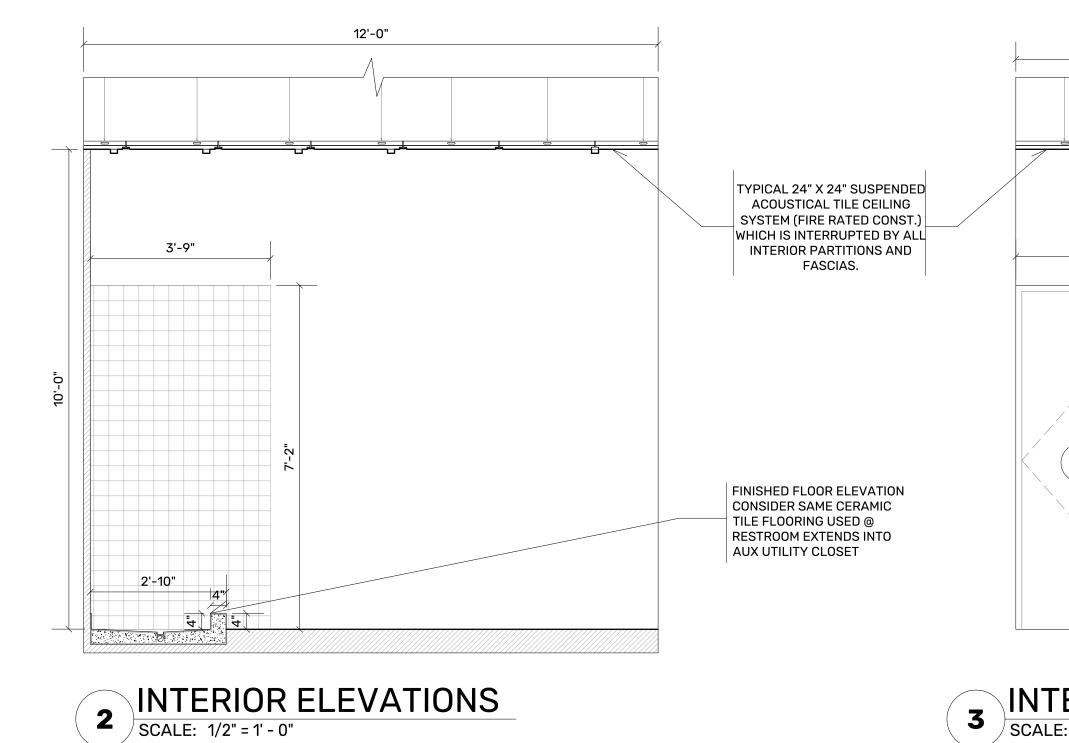
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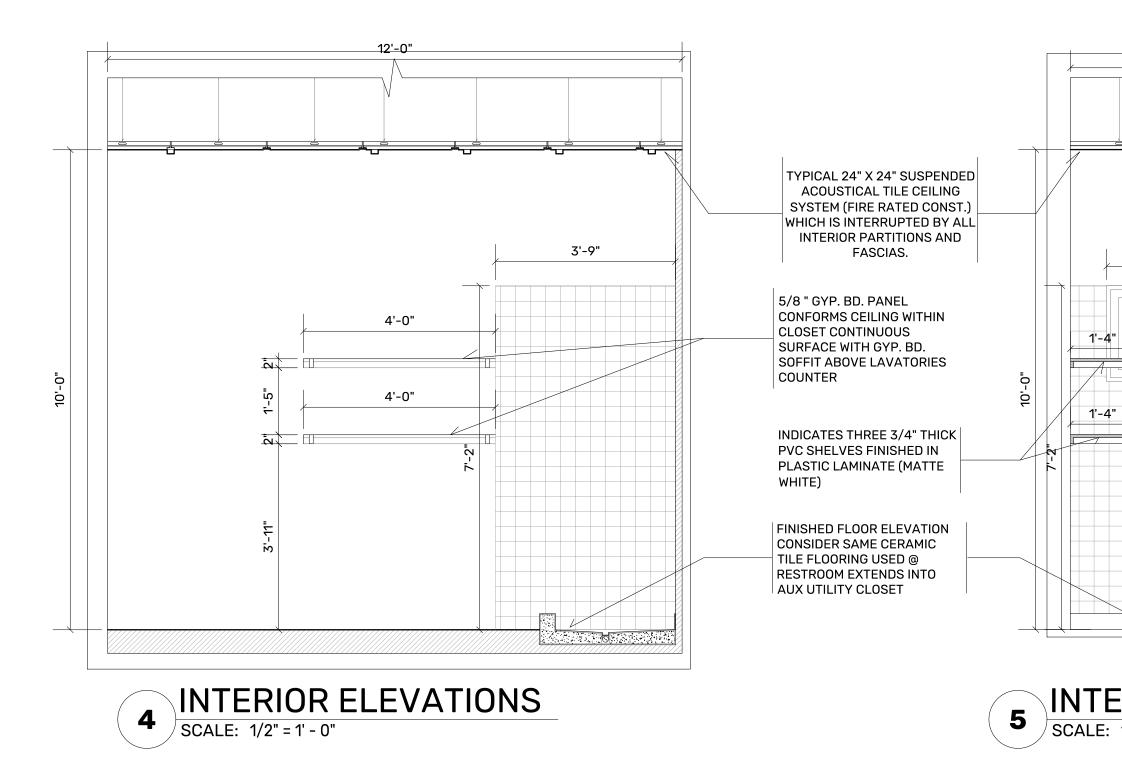
	DESCRIPTION	MODEL	COMMENTS
	TOILET (HDCPP. ACCESSIBLE)	AMERICAN STANDARD MADERA™ FloWise® 15" HEIGHT ELONGATED	CERAMIC WHITE
	SINK	ELKAY ASANA MODEL ELUH1811 / SINGLE BOWL UNDERMOUNT SINK	STAINLESS STEEL USE BATHCO 0209 BOTTLE TRAP
	FAUCET	ESD-501 SLOAN MODEL / CODE-3346086 SENSOR ACTIVATED FAUCET	#CP POLISHED CHROME
	SOAP DISPENSER	ESD-501 SLOAN MODEL / CODE-3346086 SENSOR ACTIVATED SOAP DISPENSER	POLISHED CHROME
	TOILET PAPER DISPENSER	B-2888 BOBRICK MODEL- SURFACE-MOUNTED MULTI-ROLLTOILET TISSUE DISPENSER	STAINLESS STEEL WITH SATIN FINISH
	PAPER TOWEL DISPENSER	B-36903 BOBRICK MODEL-TRIMLINE SERIES, RECESSED PAPER TOWEL DISPENSER & WASTE RECEPTACLE	STAINLESS STEEL WITH SATIN FINISH
	S.S. GRAB BARS @ [42"]	B-6806 BOBRICK MODEL-1½" Ø STAINLESS STEEL GRAB BARS WITH SNAP FLANGE	STAINLESS STEEL WITH SATIN FINISH
	S.S. GRAB BARS @ [36"]	B-6806 BOBRICK MODEL-1½" Ø STAINLESS STEEL GRAB BARS WITH SNAP FLANGE	STAINLESS STEEL WITH SATIN FINISH
	S.S. GRAB BARS @ [18"]	B-6806 BOBRICK MODEL-1½" Ø STAINLESS STEEL GRAB BARS WITH SNAP FLANGE	STAINLESS STEEL WITH SATIN FINISH
	MOUNTED MIRROR	CUSTOM MIRROR. SEE DIMENSION ON PROPOSED ELEVATION	STAINLESS STEEL FRAME WITH SATIN FINISH
	URINAL (HDCPP. ACCESSIBLE)	AMERICAN STANDARD DECORUM® 0.125 GPF HIGH EFFICIENCY URINAL	WHITE CERAMIC
	AUTOMATIC FLUSH VALVE	AMERICAN STANDARD - SELECTRONIC SENSOR OPERATED URINAL (.5 GPF) AND TOILET (1.28 GPF) FLUSH VALVES	BY MANUFACTURER
	SANITARY NAPKIN DISPOSAL	TOILET (1.28 GPF) FLUSH VALVES B-4354 BOBRICK MODEL- ConturaSeries® PARTITION-MOUNTED SANITARY NAPKIN DISPOSAL	BY MANUFACTURER
	TOILET PARTITION	GLOBAL (GRANGER) BRUSHED STAINLESS STEEL	ADA COMPLIANT

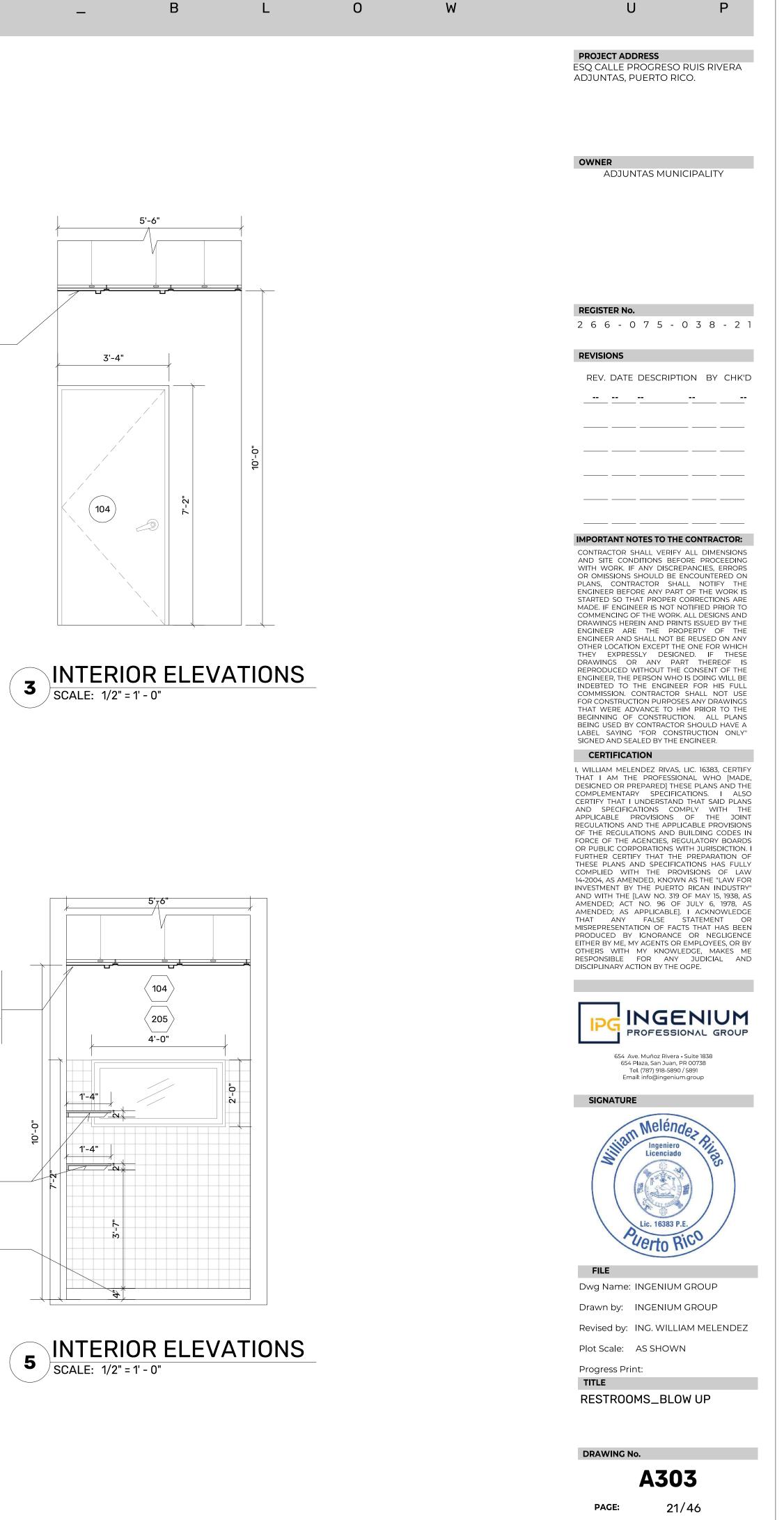


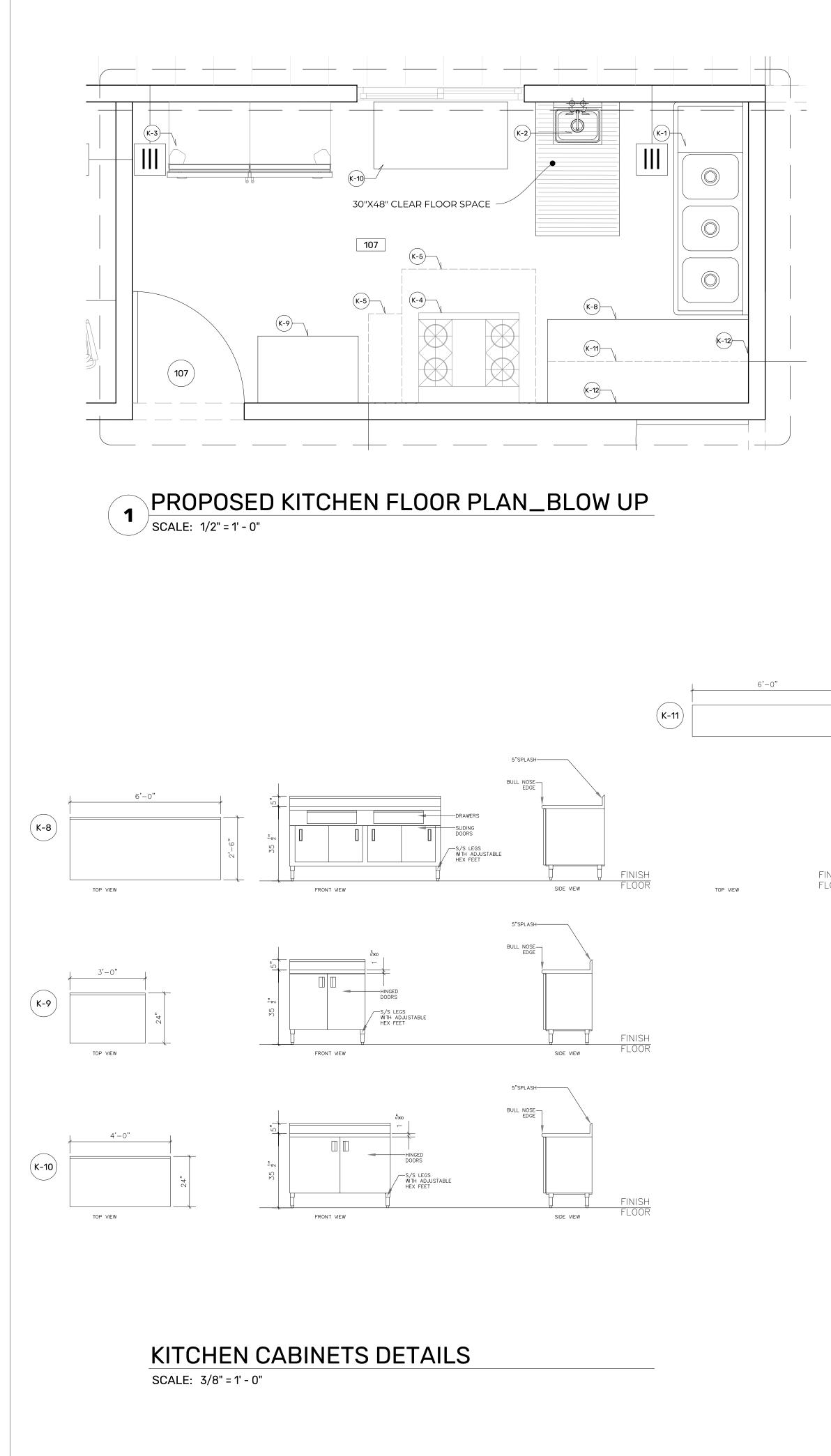








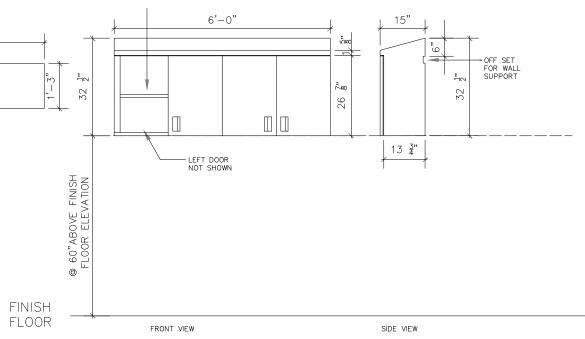




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## KITCHEN A/C UNIT IMPORTANT NOTE:

1- A 12K BTU A/C MINI SPLIT WITH 16+ SEER FOR THE KITCHEN IS REQUIRED. LOCATION TO BE DETERMINED ON SITE.



		KITCHEN EQUIPMENT SCHEDULE		
MKD	ITEM	QTY.	DESCRIPTION	COMMENTS & REMARKS
К1	KITCHEN SINK (3 COMPARTMENTS) / FAUCET	1	ONE-PIECE SINK, 3-COMPARTMENTS, WITH LEFT-HAND INTEGRAL DRAINBOARD AND BACKSPLASH, OVERALL 27" F/B X 77" L/R, 20" FRONT-TO-BACK X 16"W SINK COMPARTMENTS, 12" DEEP, WITH 11"H BACKSPLASH, STAINLESS STEEL OPEN FRAME BASE, SIDE CROSSRAILS, 18" DRAINBOARD, 1" ADJUSTABLE BULLET FEET, FAUCET HOLES ON 8" O.C. WATER SUPPLY, 1 1/2" IPS S/S BASKET TYPE WASTE DRAINS, LOCATED IN CENTER OF SINK BOWL, 14-GAUGE TYPE 304 STAINLESS STEEL HEAVY DUTY FAUCET, 8" OC SPLASH-MOUNTED, WITH SPRAY VALVE & HOSE, RISER, WALL MOUNT BRACKET, OVERHEAD SPRING, LEAD FREE	N.I.C
			HAND SINK, ADA COMPLIANT, TAPERED BOWL DESIGN, WALL MOUNTED, 14"	
K2	WALL MOUNTED HAND SINK / FAUCET		WIDE X 16" FRONT-TO-BACK X 5" DEEP BOWL, 18 GAUGE 304 STAINLESS STEEL, SPLASH MOUNT FAUCET WITH WRIST HANDLES, DECK MOUNTED SOAP DISPENSER (PUMP), UNDERMOUNTED FRONT-LOADING PAPER TOWEL DISPENSER, STAINLESS STEEL SKIRT WITH REMOVABLE ACCESS PANEL & ENCLOSED BOTTOM, BASKET DRAIN, WALL BRACKETS, 18-GAUGE TYPE FAUCET, SPLASH MOUNTED, 4" OC, 6" EXTENDED D SPOUT, WITH WRIST HANDLES	N.I.C
K3	COMMERCIAL REFRIGERATOR/FREEZER			N.I.C
K4	GAS RANGE (36")			N.I.C
K5	GAS RANGE HOOD (48")			N.I.C
K6	COMMERCIAL DISHWASHER (NOT USED)			N.I.C
K7	MICROWAVE OVEN (NOT USED)			N.I.C
K8	ST. STEEL (FREE STANDING)72"W X 30"D ENCLOSED BASE CABINET WITH DRAWERS		ENCLOSED CABINET BASE 72"W X 30"D WITH (4) SLIDING DOORS AND (2) FULLY ENCLOSED DRAWERS, MID SHELF, 5" SPLASH, STAINLESS STEEL LEGS BOLTED TO TABLE BASE-WITH 1 1/2" ADJUSTABLE HEX FOOT, TOP (BULL NOSE EDGE, 14-GAUGE STAINLESS STEEL TYPE "304" SERIES WITH GALVANIZED UNDERSTRUCTURE), BODY (18-GAUGE STAINLESS STEEL TYPE "430" SERIES)	N.I.C
К9	ST. STEEL (FREE STANDING)36"W X 24"D ENCLOSED BASE CABINET		ENCLOSED CABINET BASE, 36"W X 24"D, WITH MID-SHELF & (2) HINGED DOORS, 5" SPLASH, STAINLESS STEEL LEGS BOLTED TO TABLE BASE-WITH 1 $\frac{1}{2}$ " ADJUSTABLE HEX FOOT, 14-GAUGE 304 STAINLESS STEEL TOP WITH 5"H BACKSPLASH, STAINLESS STEEL LEGS WITH ADJUSTABLE HEX FEET, TOP (BULL NOSE EDGE, 14-GAUGE STAINLESS STEEL TYPE "304" SERIES WITH GALVANIZED UNDERSTRUCTURE), BODY (18-GAUGE STAINLESS STEEL TYPE "430" SERIES)	N.I.C
K10	ST. STEEL (FREE STANDING)48"W X 24"D ENCLOSED BASE CABINET	1	ENCLOSED CABINET BASE, 48"W X 24"D, WITH MID-SHELF & (2) HINGED DOORS, 5" SPLASH, STAINLESS STEEL LEGS BOLTED TO TABLE BASE-WITH 1 <sup>1</sup> / <sub>2</sub> " ADJUSTABLE HEX FOOT, 14-GAUGE 304 STAINLESS STEEL TOP WITH 5"H BACKSPLASH, STAINLESS STEEL LEGS WITH ADJUSTABLE HEX FEET, TOP (BULL NOSE EDGE, 14-GAUGE STAINLESS STEEL TYPE "304" SERIES WITH GALVANIZED UNDERSTRUCTURE), BODY (18-GAUGE STAINLESS STEEL TYPE "430" SERIES)	N.I.C
K11	ST. STEEL 72"W X 15"D ENCLOSED WALL CABINET	1	WALL MOUNT CABINET 72"W X 15"D, ENCLOSED DESIGN WITH (4) HINGED DOORS, WITH SINGLE INTERMEDIATE SHELF, SLOPING TOP, 18-GAUGE 304 STAINLESS STEEL, STAINLESS STEEL HINGES, PLASTIC HANDLES	N.I.C
K12		AS NEEDEI	WALL FLASHING, 18-GAUGE 304 STAINLESS STEEL / WALL FLASHING EDGE CAP (TYPICAL USE WOULD BE ONE PIECE FOR EACH EXPOSED).LAYOUT & NUMBER OF PIECES TO BE SUPPLIED SHALL BE DETERMINED BY MANUFACTURER	N.I.C

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NOTES: 1. WALL CABINETS SHALL BE INSTALLED @ 60" IN. ABOVE FINISHED FLOOR ELEVATION. 2. KITCHEN SHALL BE EQUIPPED BY CONSESSIONAIRE.

3. ALL FINISHES AT KITCHEN ARE SUGGESTED AND ARE NOT INCLUDED IN CONTRACT (N.I.C)

CONSESSIONAIRE SHALL PROVIDE FINAL FINISHES ACCORDING TO BEST SANITARY PRACTICES IN ORDER TO COMPLY WITH PUERTO RICO HEALTH DEPARTMENT STANDARDS.

ESQ CALLE PROGRESO RUIS RIVERA ADJUNTAS, PUERTO RICO.

**PROJECT ADDRESS** 

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OWNER ADJUNTAS MUNICIPALITY

**REGISTER No.** 266-075-038-21

REVISIONS

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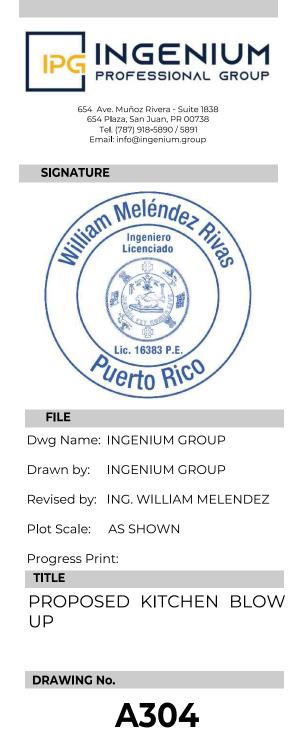
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IMPORTANT NOTES TO THE CONTRACTOR: CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY THE ENGINEER BEFORE ANY PART OF THE WORK IS STARTED SO THAT PROPER CORRECTIONS ARE MADE. IF ENGINEER IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK. ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ENGINEER ARE THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH THEY EXPRESSLY DESIGNED. IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THE ENGINEER, THE PERSON WHO IS DOING WILL BE INDEBTED TO THE ENGINEER FOR HIS FULL COMMISSION. CONTRACTOR SHALL NOT USE FOR CONSTRUCTION PURPOSES ANY DRAWINGS THAT WERE ADVANCE TO HIM PRIOR TO THE BEGINNING OF CONSTRUCTION. ALL PLANS BEING USED BY CONTRACTOR SHOULD HAVE A LABEL SAVING "FOR CONSTRUCTION ONLY" SIGNED AND SEALED BY THE ENGINEER.

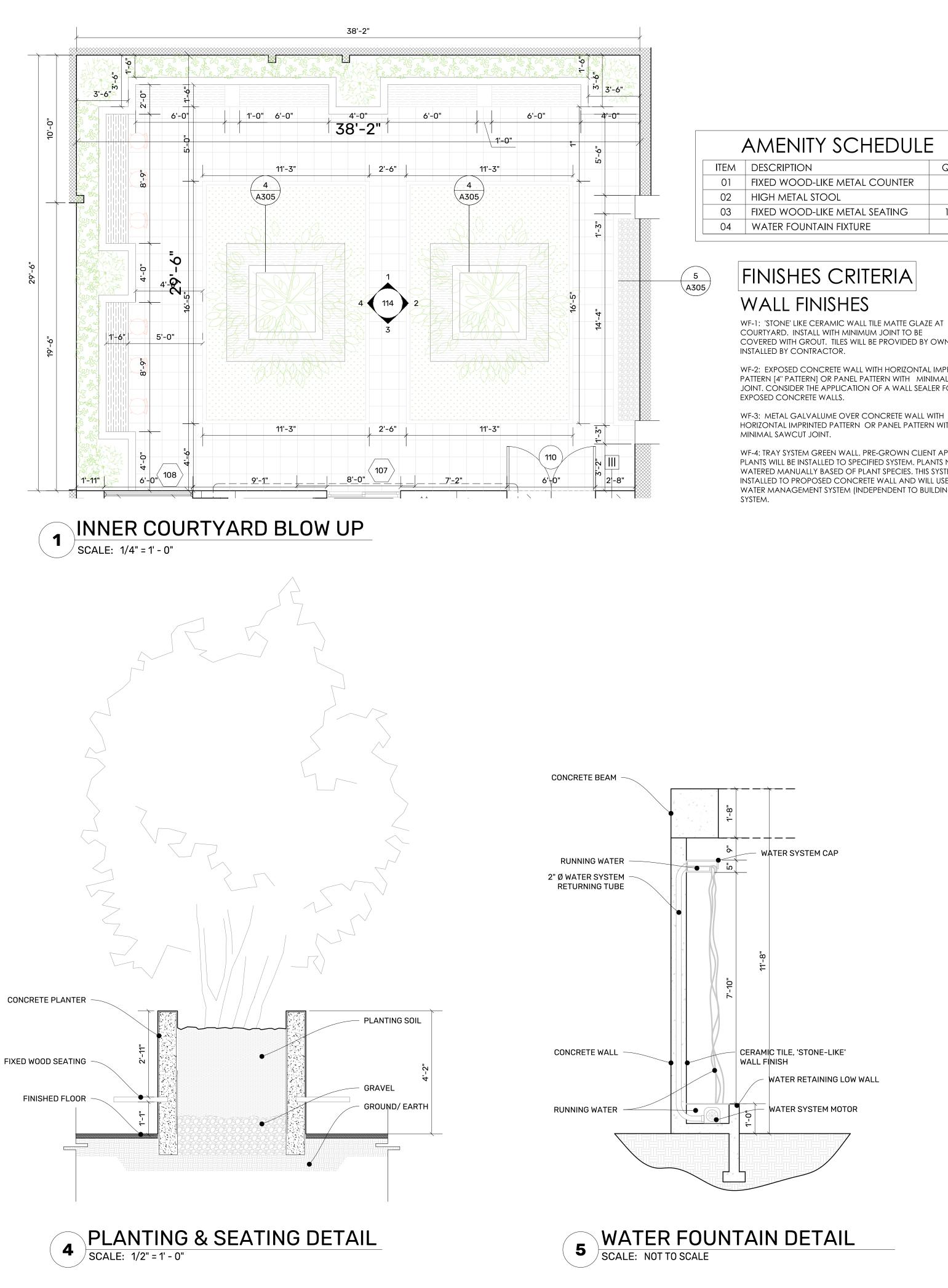
CERTIFICATION

I, WILLIAM MELENDEZ RIVAS, LIC. 16383, CERTIFY THAT I AM THE PROFESSIONAL WHO [MADE, DESIGNED OR PREPARED THESE PLANS AND THE COMPLEMENTARY SPECIFICATIONS. I ALSO CERTIFY THAT I UNDERSTAND THAT SAID PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE PROVISIONS OF THE JOINT REGULATIONS AND THE APPLICABLE PROVISIONS OF THE REGULATIONS AND BUILDING CODES IN FORCE OF THE AGENCIES, REGULATORY BOARDS OR PUBLIC CORPORATIONS WITH JURISDICTION. I FURTHER CERTIFY THAT THE PREPARATION OF THESE PLANS AND SPECIFICATIONS HAS FULLY COMPLIED WITH THE PROVISIONS OF LAW 14-2004, AS AMENDED, KNOWN AS THE "LAW FOR INVESTMENT BY THE PUERTO RICAN INDUSTRY" AND WITH THE [LAW NO. 319 OF MAY 15, 1938, AS AMENDED; ACT NO. 96 OF JULY 6, 1978, AS AMENDED; AS APPLICABLE]. I ACKNOWLEDGE THAT ANY FALSE STATEMENT OR MISREPRESENTATION OF FACTS THAT HAS BEEN PRODUCED BY IGNORANCE OR NEGLIGENCE EITHER BY ME, MY AGENTS OR EMPLOYEES, OR BY OTHERS WITH MY KNOWLEDGE, MAKES ME RESPONSIBLE FOR ANY JUDICIAL AND DISCIPLINARY ACTION BY THE OGPE.



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EM	DESCRIPTION	QTY
01	FIXED WOOD-LIKE METAL COUNTER	2
02	HIGH METAL STOOL	6
03	FIXED WOOD-LIKE METAL SEATING	12
04	WATER FOUNTAIN FIXTURE	1

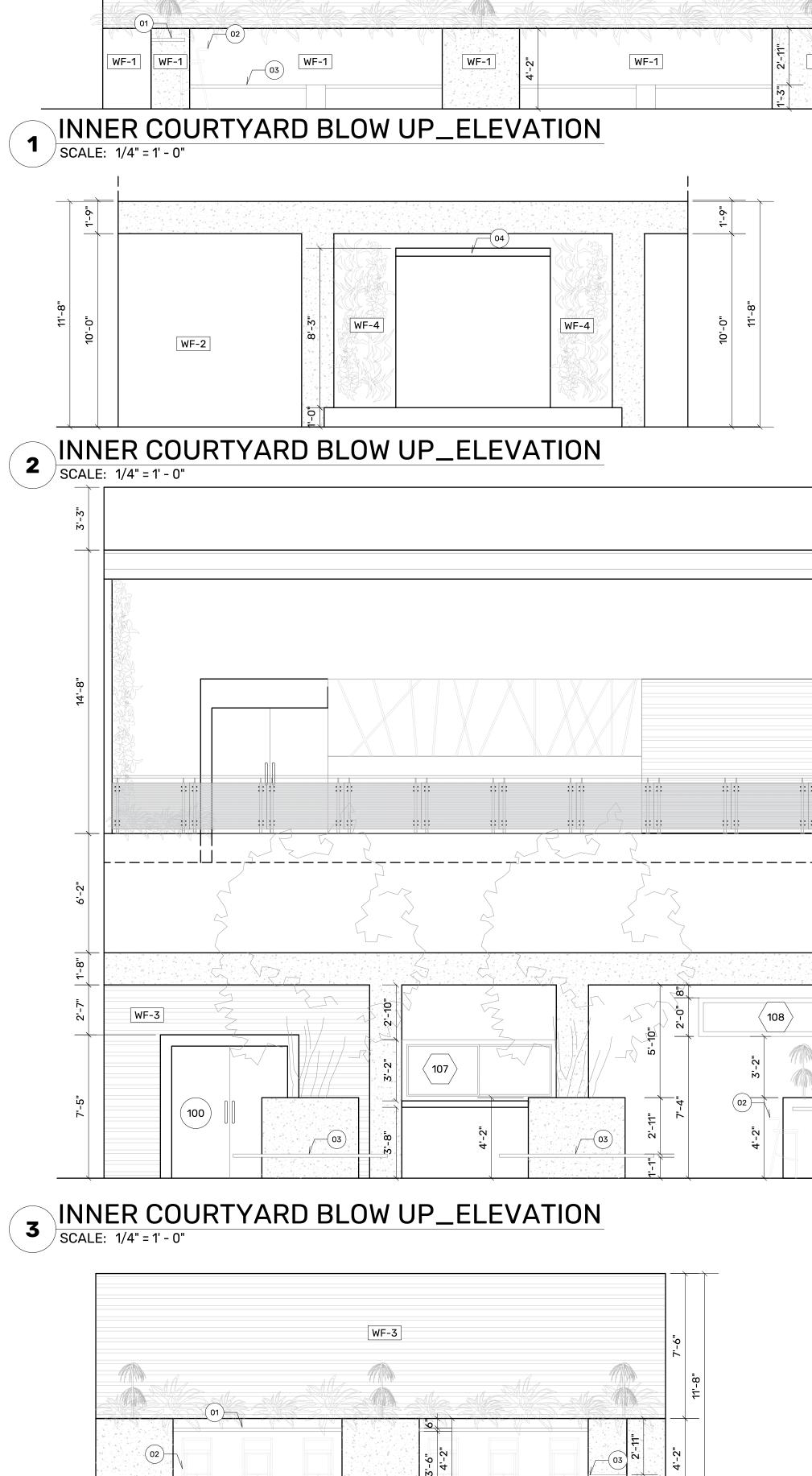
# FINISHES CRITERIA

COURTYARD. INSTALL WITH MINIMUM JOINT TO BE COVERED WITH GROUT. TILES WILL BE PROVIDED BY OWNER AND

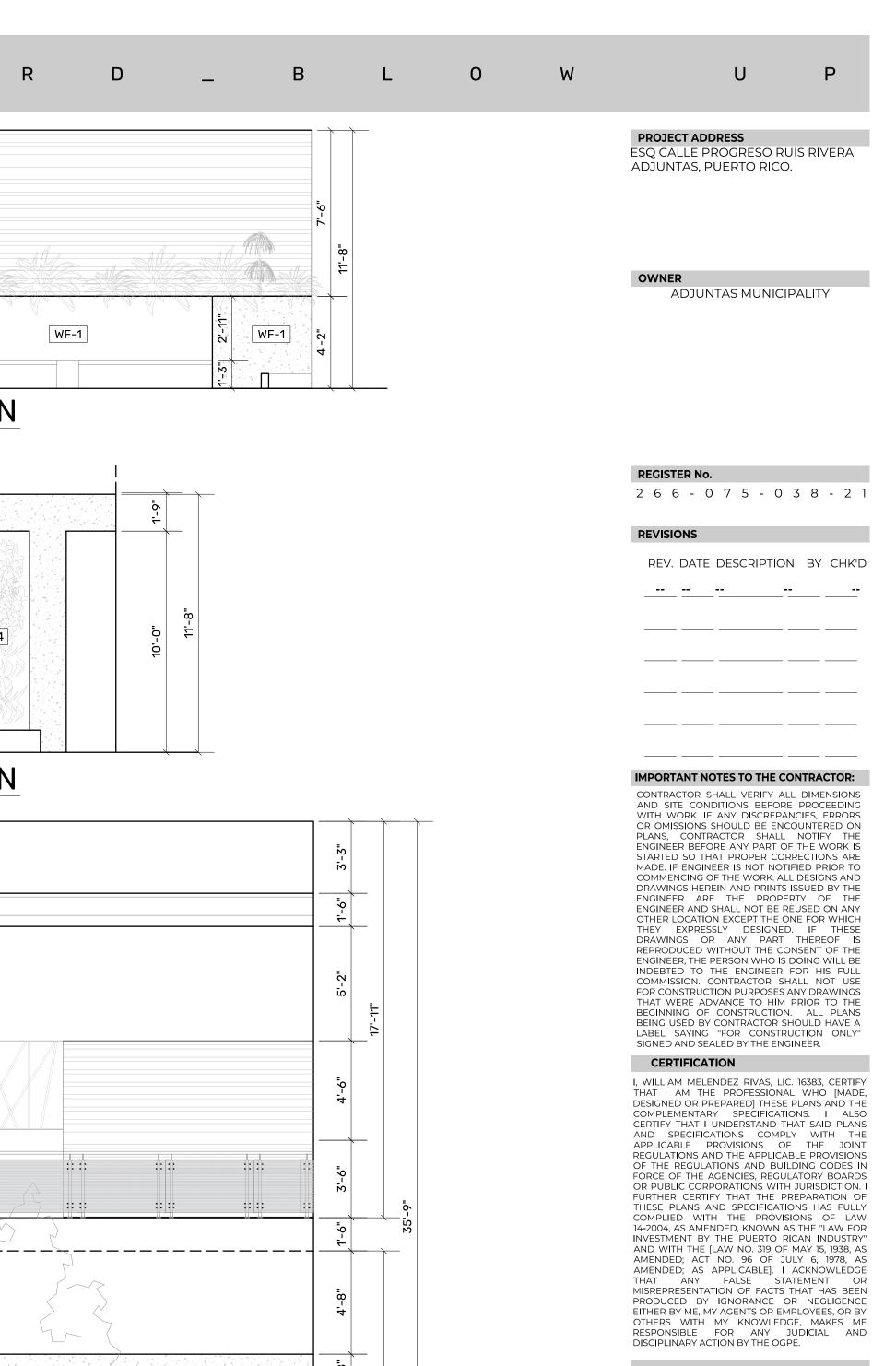
WF-2: EXPOSED CONCRETE WALL WITH HORIZONTAL IMPRINTED PATTERN [4" PATTERN] OR PANEL PATTERN WITH MINIMAL SAWCUT JOINT. CONSIDER THE APPLICATION OF A WALL SEALER FOR ALL

WF-3: METAL GALVALUME OVER CONCRETE WALL WITH HORIZONTAL IMPRINTED PATTERN OR PANEL PATTERN WITH

WF-4: TRAY SYSTEM GREEN WALL. PRE-GROWN CLIENT APPROVED PLANTS WILL BE INSTALLED TO SPECIFIED SYSTEM. PLANTS NEED TO BE WATERED MANUALLY BASED OF PLANT SPECIES. THIS SYSTEM WILL BE INSTALLED TO PROPOSED CONCRETE WALL AND WILL USE TANK WATER MANAGEMENT SYSTEM (INDEPENDENT TO BUILDING'S WATER



### INNER COURTYARD BLOW UP\_ELEVATION 4 SCALE: 1/4" = 1' - 0"

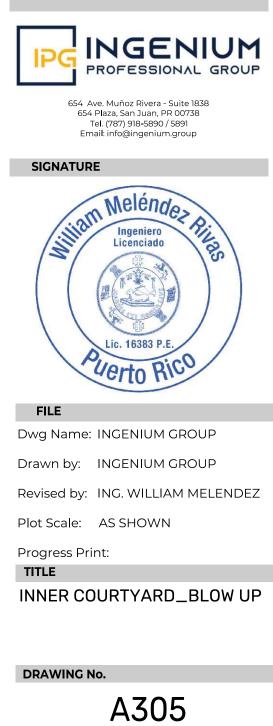


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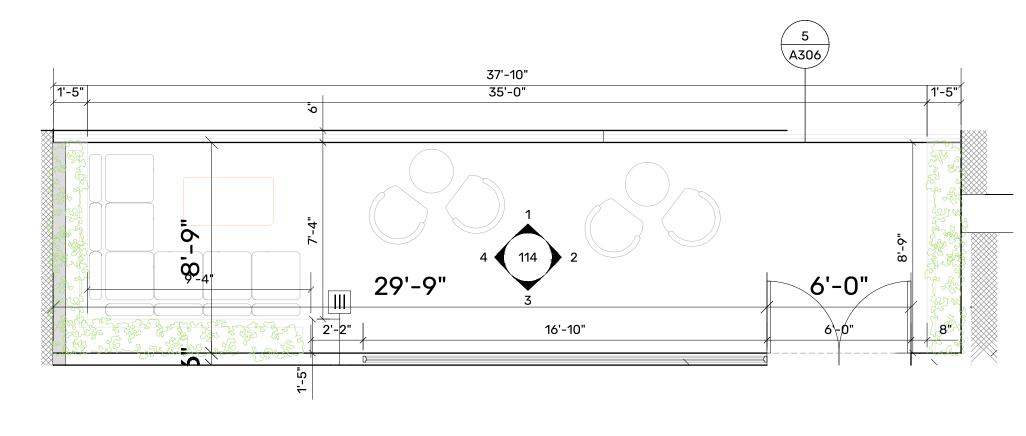


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## AMENITY SCHEDULE

ITEM	DESCRIPTION	QTY
01	PENDANT DECORATION LIGHTING	3
02	RAILING SYSTEM	1
03	EXTERIOR LOUNGE SOFA	1
04	2 ROUND, 1 RECTANGLE METAL COFFEE TABLE	3
05	INDIVIDUAL COUCH	2

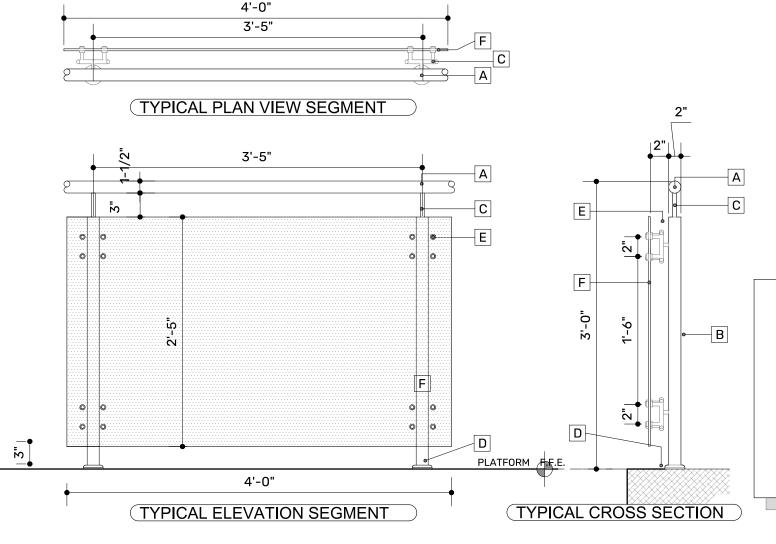
# FINISHES CRITERIA

## WALL FINISHES

WF-1: EXPOSED CONCRETE WALL WITH HORIZONTAL IMPRINTED PATTERN [4" PATTERN] OR PANEL PATTERN WITH MINIMAL SAWCUT JOINT. CONSIDER THE APPLICATION OF A WALL SEALER FOR ALL EXPOSED CONCRETE WALLS.

WF-2: WOOD SLAT OVER CONCRETE WALL WITH HORIZONTAL IMPRINTED PATTERN OR PANEL PATTERN WITH MINIMAL SAWCUT JOINT.

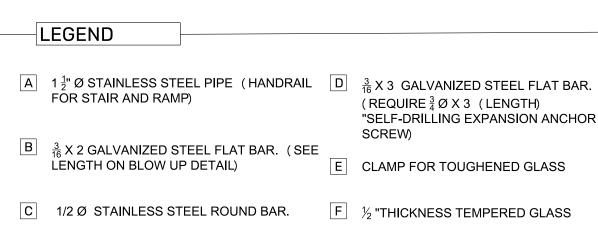
WF-3: TRAY SYSTEM GREEN WALL. PRE-GROWN CLIENT APPROVED PLANTS WILL BE INSTALLED TO SPECIFIED SYSTEM. PLANTS NEED TO BE WATERED MANUALLY BASED OF PLANT SPECIES. THIS SYSTEM WILL BE INSTALLED TO PROPOSED CONCRETE WALL AND WILL USE TANK WATER MANAGEMENT SYSTEM (INDEPENDENT TO BUILDING'S WATER SYSTEM.



PRIOR TO INSTALLATION OF GUARDRAIL, CONTRACTOR MUST REPAIR EXPOSED (PREVIOUS LOADING DOCK) EDGE AND VERTICAL SURFACE (UPON REMOVAL OF DOCK LEVELERS, SECURING A CONTINUOUS, SMOOTH AND LEVELED SURFACE AND EDGE.

GUARD RAIL ALONG EDGE OF EXISTING GALLERY OVERLOOKING CONTEMPLATION GARDEN MUST BE SET @ 3"RECESSED FROM EXISTING EDGE OF GALLERY.

DISTANCE BETWEEN SUPPORTS POSTS SHALL BE 3'-5", TO ALLOW FOR 48" WIDE TEMPERED GLASS PANELS. CONSIDER A 3"GAP BETWEEN GLASS PANELS EQUALLY SPACE ALL POST/PANELS ALONG EDGE, ADJUST ANY DIFFERENCE WITH MODULAR LENGTH AT BOTH ENDS. SEE ELEVATION SHEET A-3.1



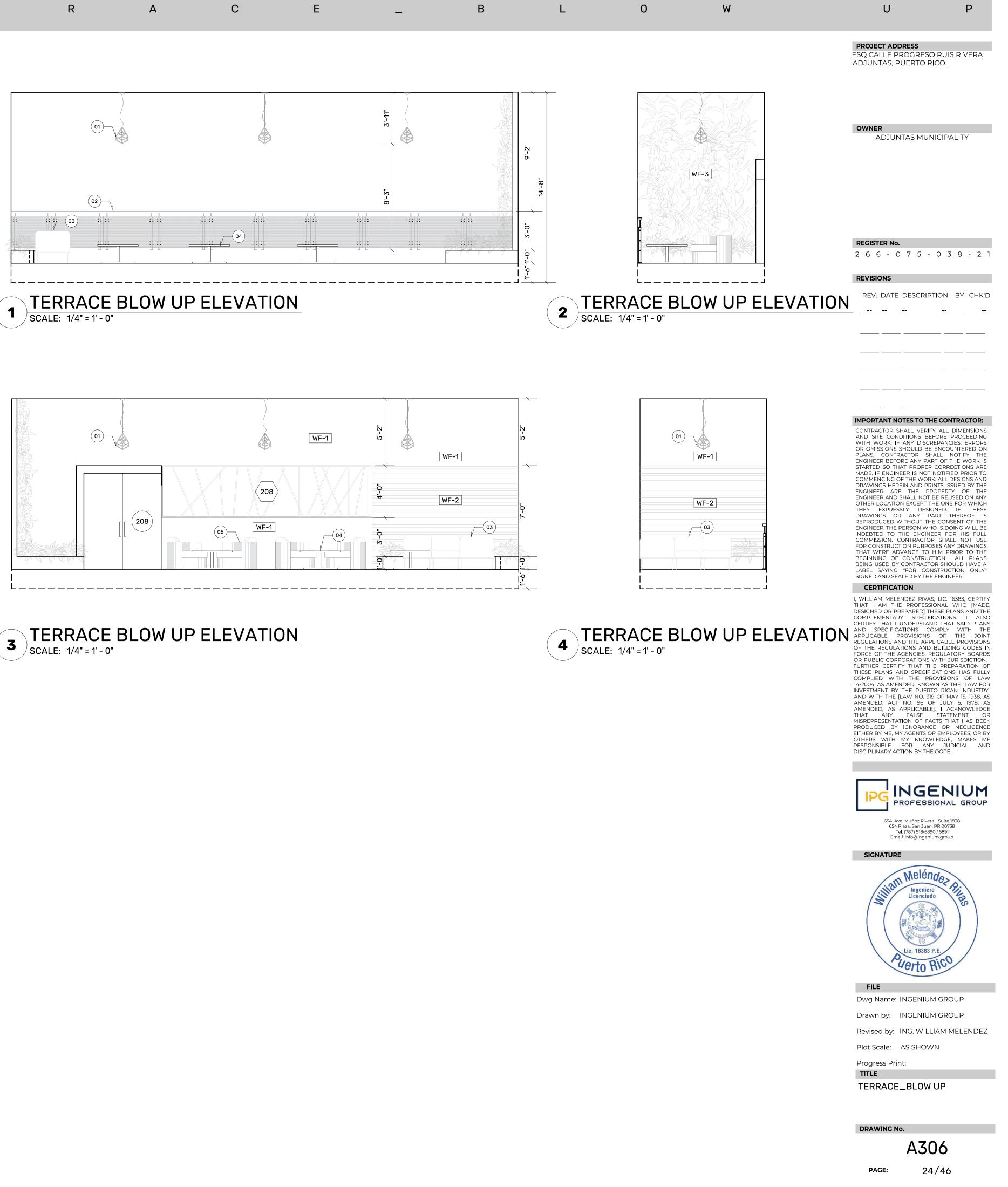
# **5** TERRACE BLOW UP ELEVATION SCALE: 1" = 1' - 0"

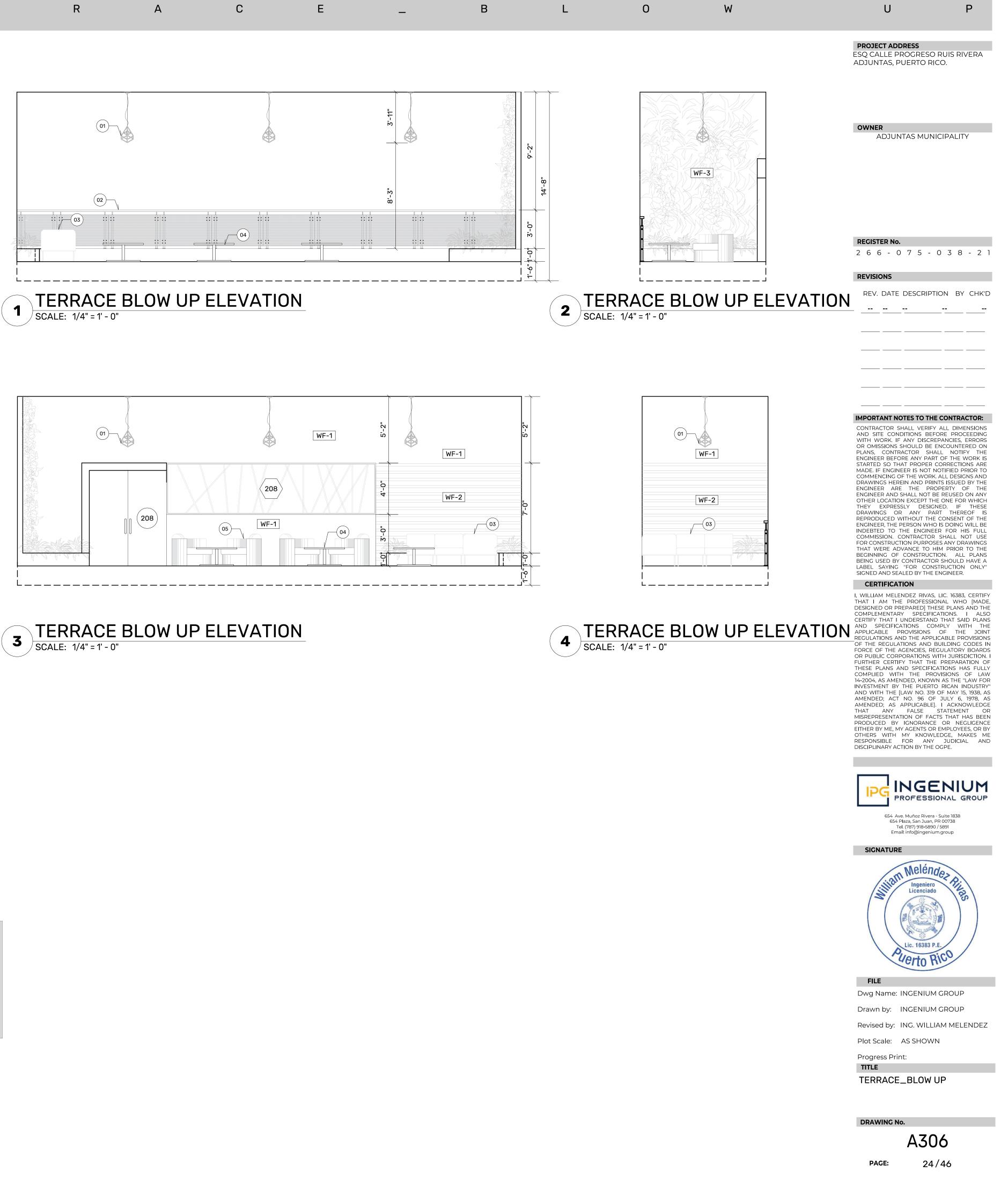
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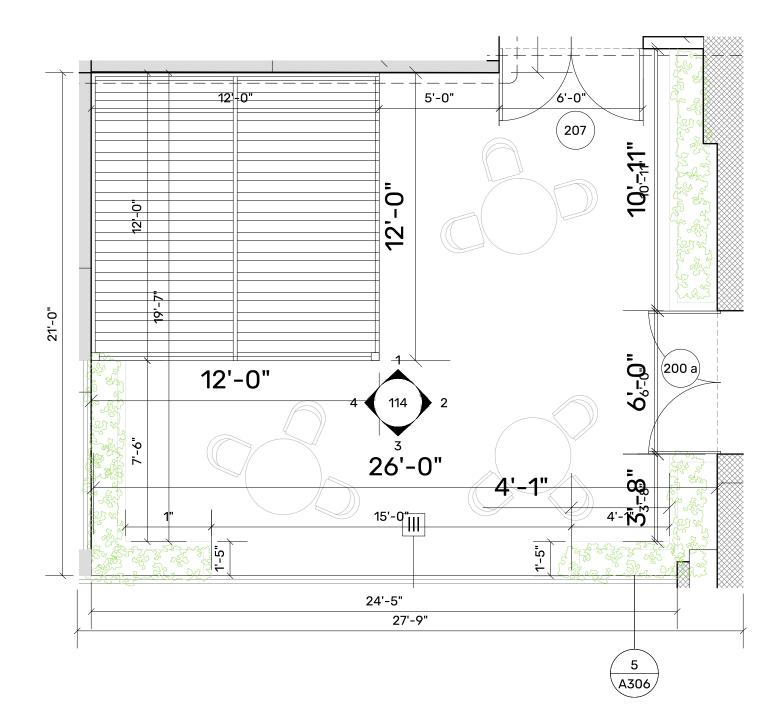
SCREW)

E CLAMP FOR TOUGHENED GLASS

( REQUIRE  $\frac{3}{4}$  Ø X 3 ( LENGTH) "SELF-DRILLING EXPANSION ANCHOR







QTY

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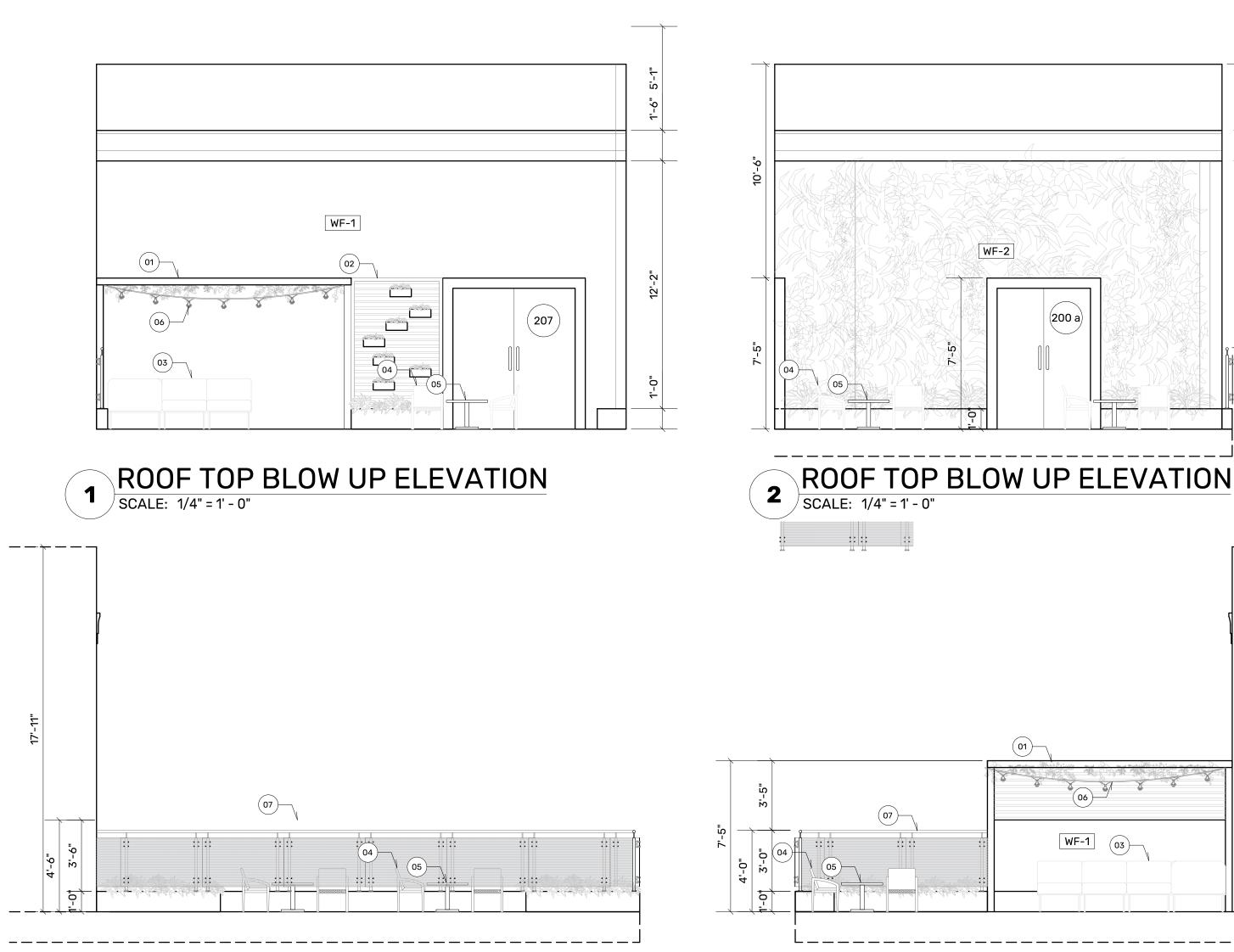
## AMENITY SCHEDULE

- ITEM DESCRIPTION
- TRELLIS FOR VINE PLANTS 01
- 02 INDEPENDANT MODULAR GREEN
- WALL
- 03 EXTERIOR LOUNGE SOFA
- 04 METAL CHAIRS
- 05 METAL COFFEE TABLE
- 06 HANGING LIGHTING FOR EXTERIOR
- 07 RAILING SYSTEM

# FINISHES CRITERIA WALL FINISHES

WF-1: EXPOSED CONCRETE WALL WITH HORIZONTAL IMPRINTED PATTERN [4" PATTERN] OR PANEL PATTERN WITH MINIMAL SAWCUT JOINT. CONSIDER THE APPLICATION OF A WALL SEALER FOR ALL EXPOSED CONCRETE WALLS.

WF-2: TRAY SYSTEM INDEPENDENT GREEN WALL. PRE-GROWN CLIENT APPROVED PLANTS WILL BE INSTALLED TO SPECIFIED SYSTEM. PLANTS NEED TO BE WATERED MANUALLY BASED OF PLANT SPECIES. THIS SYSTEM WILL BE INSTALLED INDEPENDENTLY AS SPECIFIED IN BLOW UPS AND WILL USE TANK WATER MANAGEMENT SYSTEM (INDEPENDENT TO BUILDING'S WATER SYSTEM).



# **3** ROOF TOP BLOW UP ELEVATION SCALE: 1/4" = 1' - 0"

ROOF TOP BLOW UP ELEVATION SCALE: 1/4" = 1' - 0" 4

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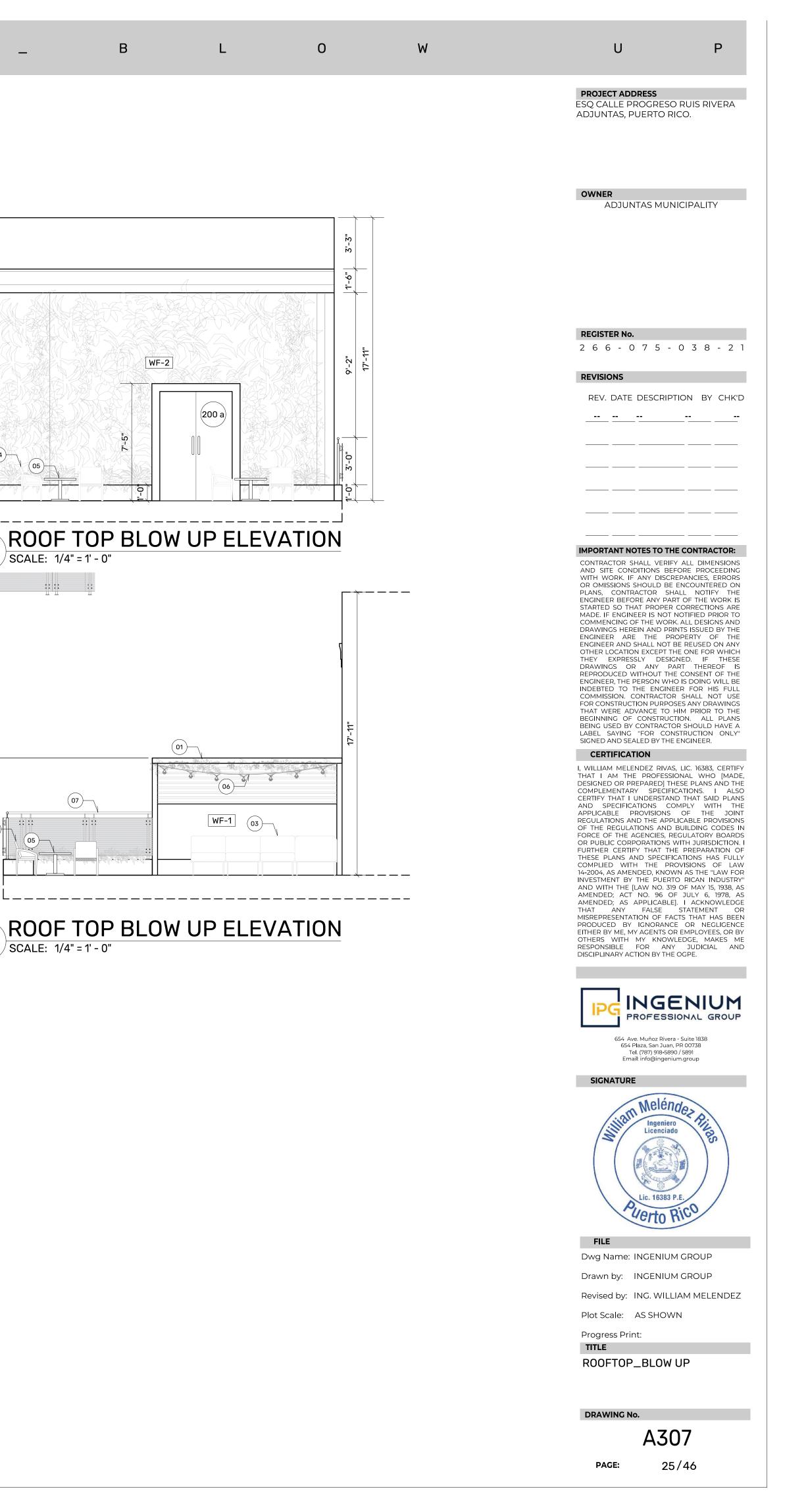
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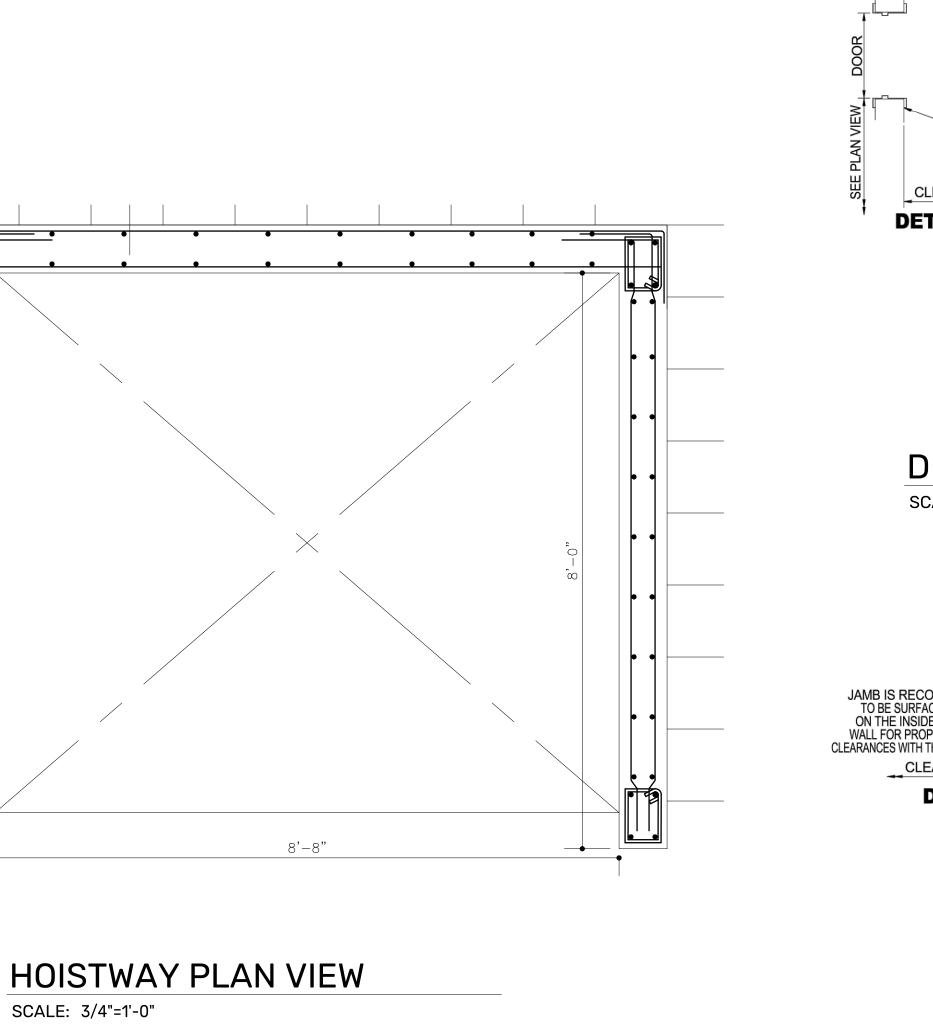
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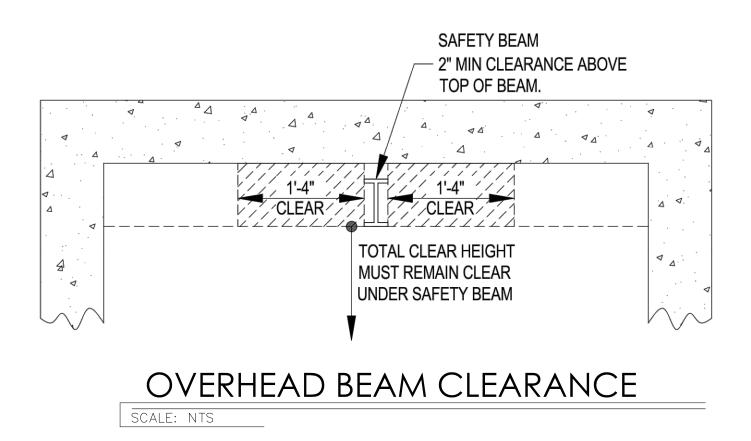
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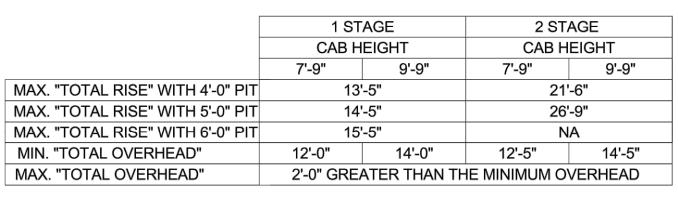
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STANDARD WORKING RANGES





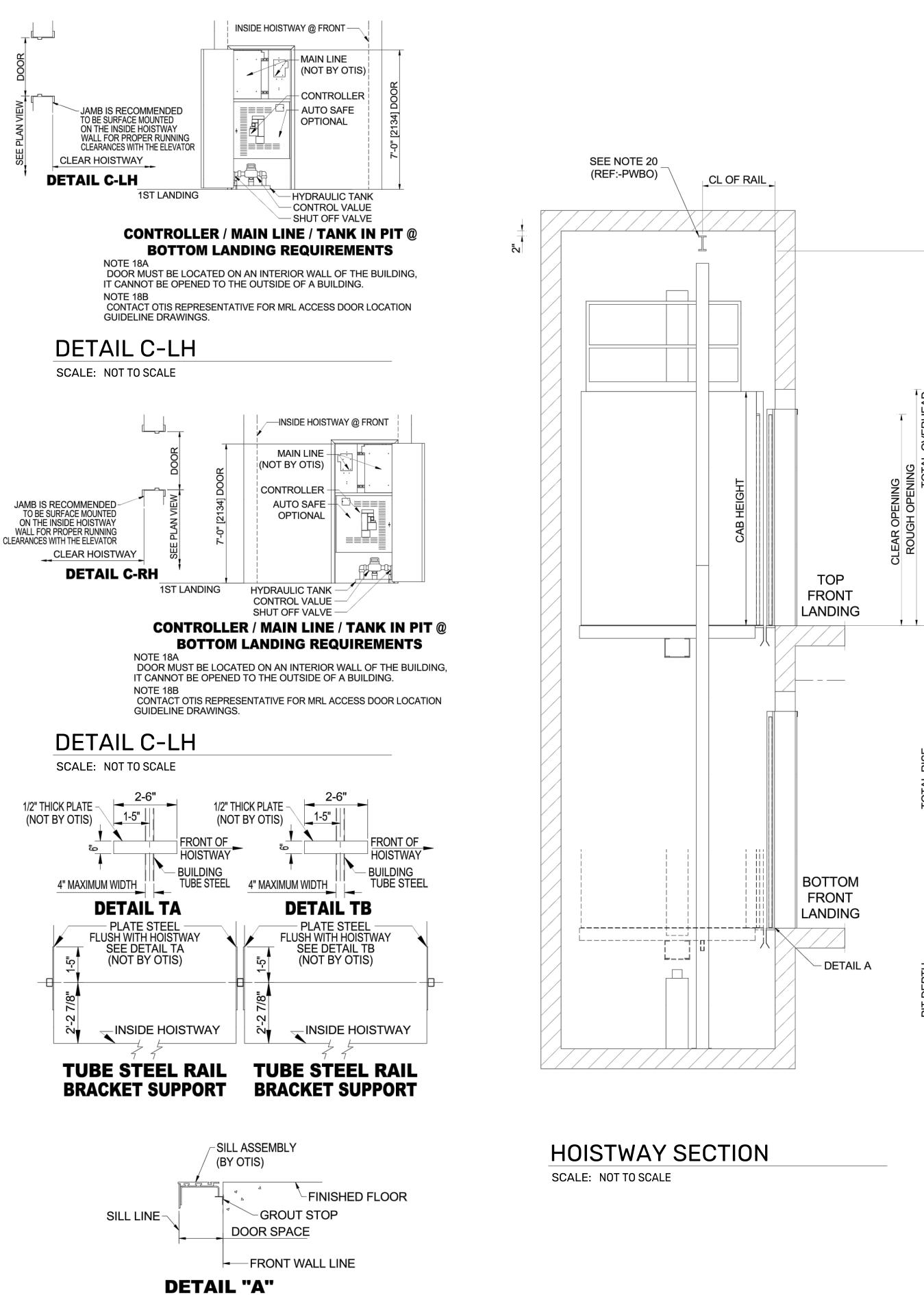
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SILL SUPPORT

ADEQUATE SUPPORT AT ALL FASTENING POINTS OF ENTRANCE ASSEMBLY REQUIRED. MUST WITHSTAND A HORIZONTAL PULL-OUT FORCE OF 140 LBS. @ EA. FASTENING POINT (8 @ EA. ENTRANCE) INCLUDING SUPPORT FOR CENTER SILL SUPPORT BRACKET (NOT BY OTIS).

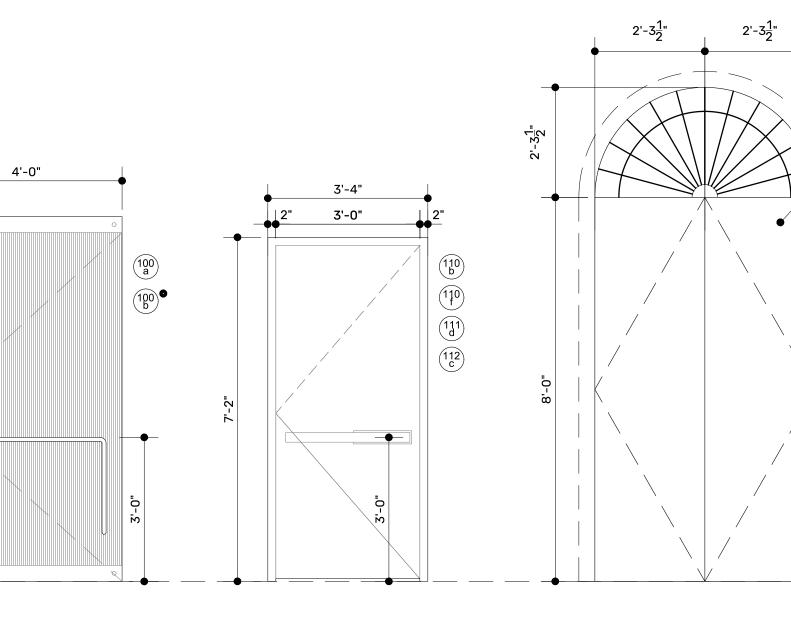
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					<b>PROJECT ADDRESS</b> ESQ CALLE PROGRESO RUIS RIVERA ADJUNTAS, PUERTO RICO.
PROVISION	S BY C	DTHE	RS		OWNER ADJUNTAS MUNICIPALITY
HOISTWAY- THE HOISTWAY MUST BE IN ACCO ELEVATORS AND ESCALATOR (AS CODES. PLUMB HOISTWAY- DUE TO CLOSE RUNNING CLEAR/ THAT HOISTWAY AND PIT (WHER SQUARE AND ARE IN ACCORDAN DRAWINGS. MINIMUM OVERHEAD	ANCES OWNER/A E PROVIDED) ARI CE WITH THE DII	GENT MUST E LEVEL, PL MENSIONS C E-	T ENSURE UMB AND DN THESE		<b>REGISTER No.</b> 2         6         6         -         0         7         5         -         0         3         8         -         2         1
OWNER/AGENT MUST ENSURE M COMPLIANCE WITH CODES. CONSTRUCTION SITE OWNER/AGENT TO PROVIDE ALL WORK AS REQUIRED AND SHALL FINISH PAINTING) ALL AREAS WH BE CUT, DRILLED OR ALTERED IN INSTALLATION OF THE LIFT. DIMENSIONS- CONTRACTOR/CUSTOMER TO VE DISCREPANCIES TO OUR OFFICE	- MASONRY, CARI PATCH AND MAI ERE WALLS/FLO ANY WAY TO PE RIFY ALL DIMENS	PENTRY ANI KE GOOD (IN ORS MAY RI ERMIT THE F	D DRYWALL ICLUDING EQUIRE TO PROPER		REVISIONS         REV. DATE DESCRIPTION BY CHK'D
<b>PIT-</b> WHERE REQUIRED PER, 2.2.2.5 IN FIREFIGHTERS EMERGENCY OPE BE REQUIRED BY OTHERS, CHEC	RATION, A DRAIN	N OR SUMP F			
• STRUCTURAL FLOOR/SUPPORT WAI STRUCTURAL TO ANCHOR A CRA WHERE APPLICABLE/NEEDED, TO CONTRACTOR TO ASSURE THAT SUPPORT ALL LOADS IMPOSED E TABLES ON THIS DRAWING FOR	NK SHAFT AND S ) BE PROVIDED B BUILDING AND SI Y THE LIFT EQUI	Y CONTRAC HAFT WILL S PMENT. REF	TOR. AFELY ER TO THE		CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY THE ENGINEER BEFORE ANY PART OF THE WORK IS STARTED SO THAT PROPER CORRECTIONS ARE MADE. IF ENGINEER IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK. ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ENGINEER ARE THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH THEY EXPRESSLY DESIGNED. IF THESE DRAWINGS OR ANY PART THEREOF IS
WHERE DOORS ARE F SUITABLE LINTELS MUST BE PRO FRAMES ARE NOT DESIGNED TO	REQUIRED- VIDED BY OWNE	R/AGENT. D	OOR		REPRODUCED WITHOUT THE CONSENT OF THE ENGINEER, THE PERSON WHO IS DOING WILL BE INDEBTED TO THE ENGINEER FOR HIS FULL COMMISSION. CONTRACTOR SHALL NOT USE FOR CONSTRUCTION PURPOSES ANY DRAWINGS THAT WERE ADVANCE TO HIM PRIOR TO THE BEGINNING OF CONSTRUCTION. ALL PLANS BEING USED BY CONTRACTOR SHOULD HAVE A LABEL SAYING "FOR CONSTRUCTION ONLY" SIGNED AND SEALED BY THE ENGINEER. <b>CERTIFICATION</b>
POWER SUPPLY- (SEE SPECIFICATIONS) LOCKABL CONTACT TO BRAKE THE BATTER 3-POLE BREAKER FOR BATTERY ELECTRICAL CODE, AS FOLLOWS SIDE OF MACHINE ROOM DOOR)	RY FEED, OR CIR	CUIT BREAK , IN COMPLI	KERS WITH A ANCE WITH		I, WILLIAM MELENDEZ RIVAS, LIC. 16383, CERTIFY THAT I AM THE PROFESSIONAL WHO [MADE, DESIGNED OR PREPARED] THESE PLANS AND THE COMPLEMENTARY SPECIFICATIONS. I ALSO CERTIFY THAT I UNDERSTAND THAT SAID PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE PROVISIONS OF THE JOINT REGULATIONS AND THE APPLICABLE PROVISIONS OF THE REGULATIONS AND BUILDING CODES IN FORCE OF THE AGENCIES, REGULATORY BOARDS
PERMANENT POWER- BEFORE INSTALLATION CAN BEG SUPPLIED. LIGHTING- THE ILLUMINATION SHALL BE NO FLOOR LEVEL IN ALL MACHINE RE ENSURE AT LEAST 100 LX (10 FC)	IN, PERMANENT T LESS THAN 200 DOMS AND MACH	LX (19 FC) A	AT THE CES.		OR PUBLIC CORPORATIONS WITH JURISDICTION. I FURTHER CERTIFY THAT THE PREPARATION OF THESE PLANS AND SPECIFICATIONS HAS FULLY COMPLIED WITH THE PROVISIONS OF LAW 14-2004, AS AMENDED, KNOWN AS THE "LAW FOR INVESTMENT BY THE PUERTO RICAN INDUSTRY" AND WITH THE [LAW NO. 319 OF MAY 15, 1938, AS AMENDED; ACT NO. 96 OF JULY 6, 1978, AS AMENDED; AS APPLICABLE]. I ACKNOWLEDGE THAT ANY FALSE STATEMENT OR MISREPRESENTATION OF FACTS THAT HAS BEEN PRODUCED BY IGNORANCE OR NEGLIGENCE
PHONE- NEED A DEDICATED PHONE LANE WHERE APPLICABLE. FOR VoIP P			HONE,		EITHER BY ME, MY AGENTS OR EMPLOYEES, OR BY OTHERS WITH MY KNOWLEDGE, MAKES ME RESPONSIBLE FOR ANY JUDICIAL AND DISCIPLINARY ACTION BY THE OGPE.
• ENTRANCES FASCIA PANEL BELOV WHERE REQUIRED, FASCIA PAN AND BE PERPENDICULAR TO TH IS NOT SELF-SUPPORTING FOR L ENTRANCES. ADEQUATE SUPPOR BY OTHERS.	EL MUST BE FAS <sup>-</sup> E FLOOR AND WA ONG, CONTINUO	TENED TO A ALLS. HOIST US RUNS VO	SOLID WALL WAY FASCIA DID OF		654 Ave. Muñoz Rivera - Suite 1838 654 Plaza, San Juan, PR 00738 Tel. (787) 918-5890 / 5891 Email: info@ingenium.group
ENTRANCE ASSEMBLI ENTRANCE ASSEMBLIES MUST B AND INTERLOCK EQUIPMENT. O OPENING. RETURN WALLS-	E ADJUSTED TO				Ingeniero Licenciado
RETURN WALLS- RETURN WALLS AT ENTRANCES ENTRANCE ASSEMBLIES ARE IN F SECURELY FASTENED TO WALLS	PLACE. ENTRANG	CE ASSEMB	LY MUST BE		Lic. 16383 P.E. Puerto Rico FILE
I <mark>OTE:</mark> OR MORE DETAILS SEE T	ECHNICAL S	SPECIFIC	ATIONS		Dwg Name: INGENIUM GROUP Drawn by: INGENIUM GROUP
HydroFit <sup>®</sup>	3500 # 100 F.F IE LOCATION = MI BACK CAR = N	Р.М.			Revised by: ING. WILLIAM MELENDEZ Plot Scale: AS SHOWN Progress Print: TITLE
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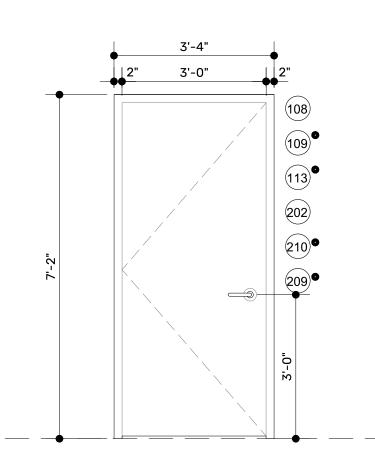
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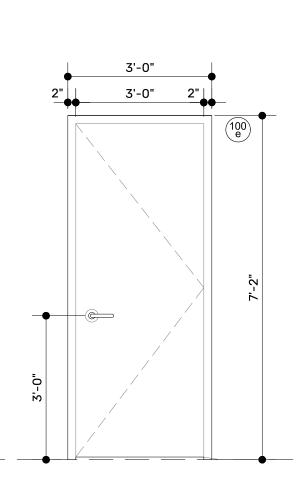
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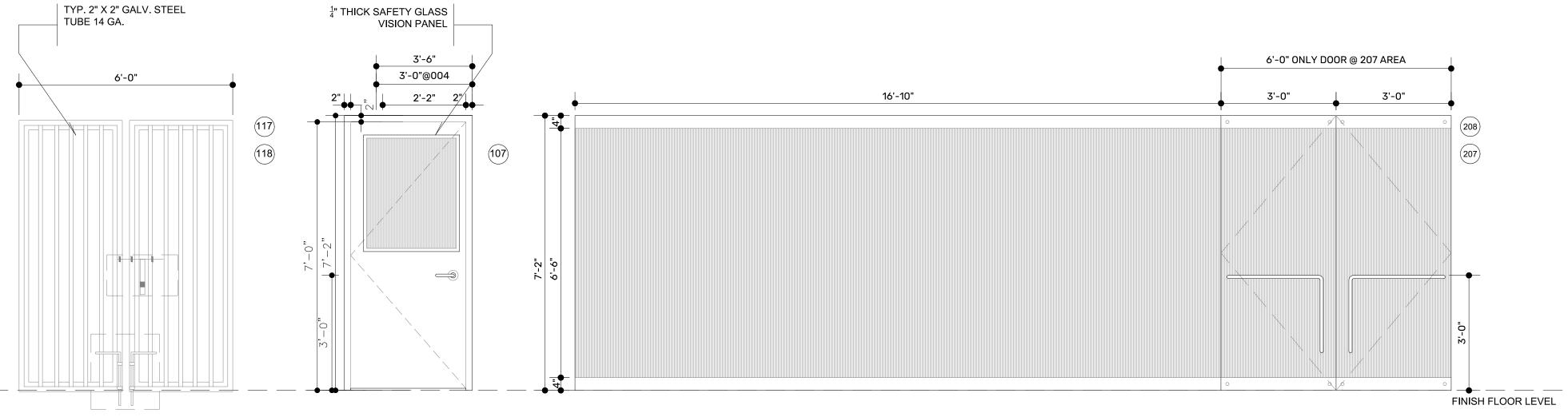


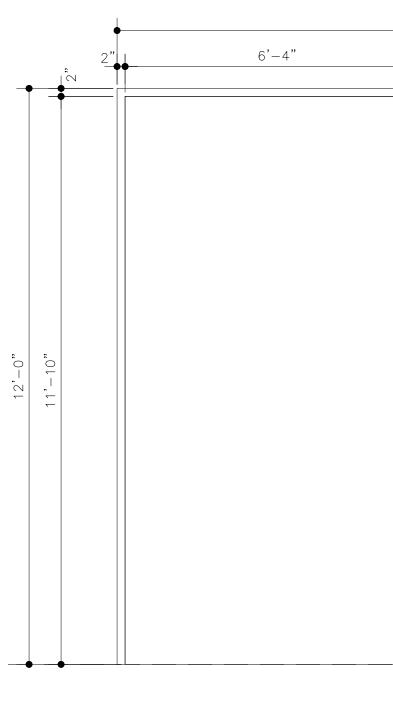
TYP. 2" X 2" GALV. STEEL TUBE 14 GA.

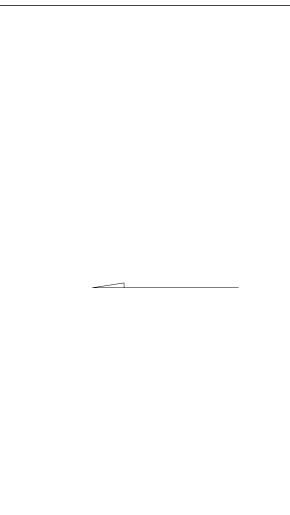


7'-2" 6'-6"









6'-4"

6'-4"

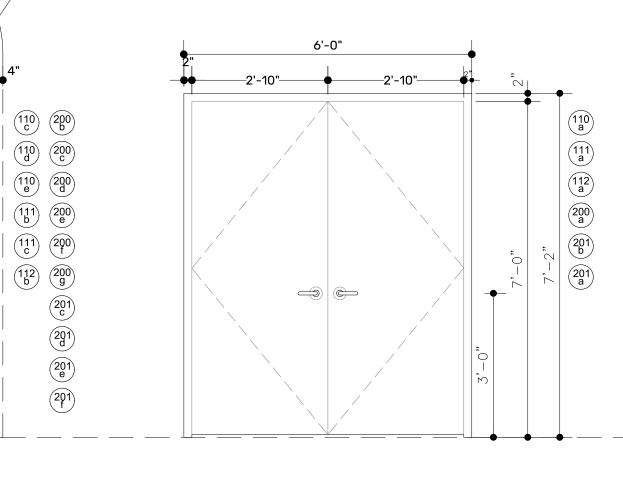
DOORS SCHEDULE SCALE: 1/2" = 1' - 0"

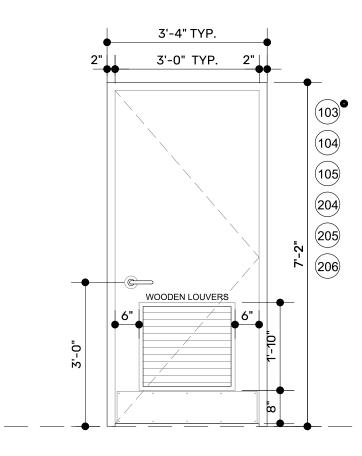
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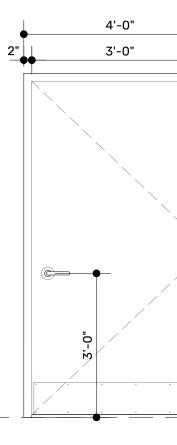
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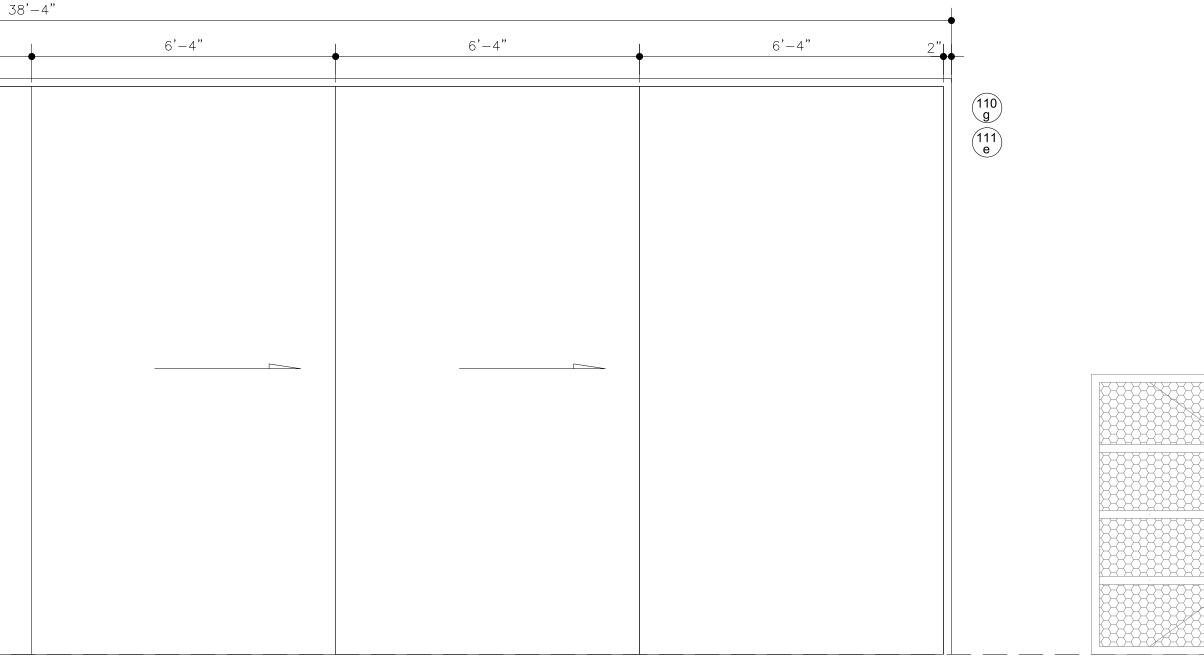
ALL EXISTING DOOR SHALL BE REMOVE AND REPLACE WITH SIMILAR FEATURES

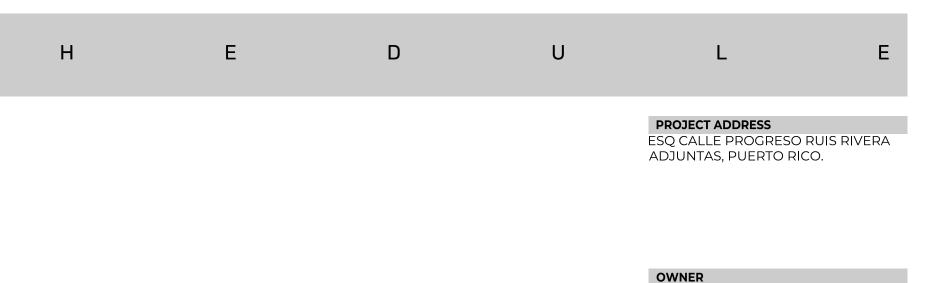




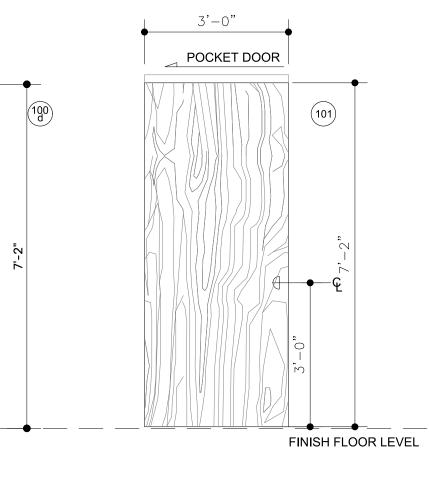


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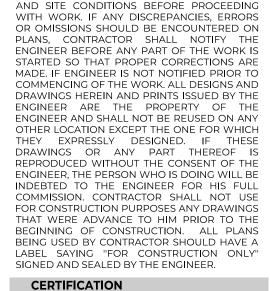
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IMPORTANT NOTES TO THE CONTRACTOR: CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING

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Revised by: ING. WILLIAM MELENDEZ Plot Scale: AS SHOWN

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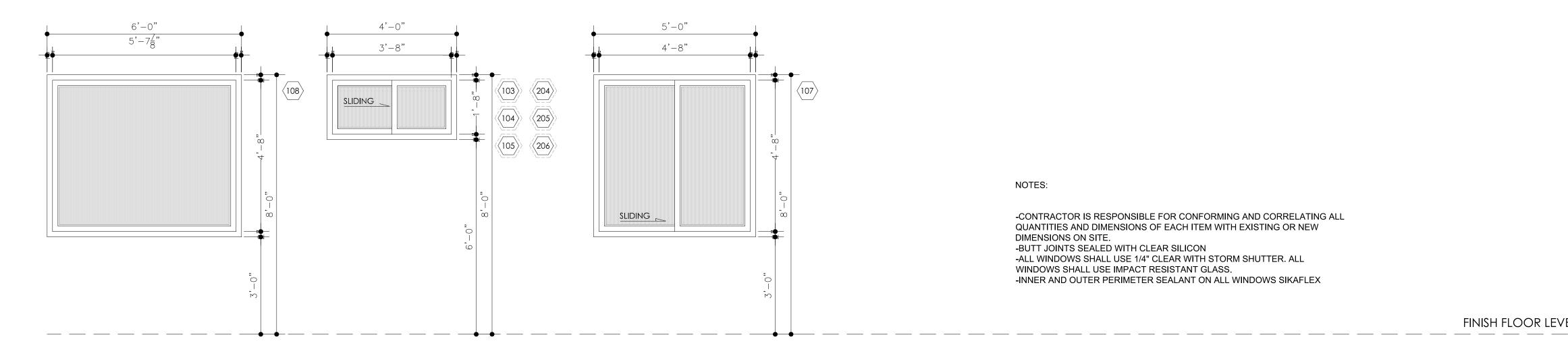
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# WINDOWS SCHEDULE

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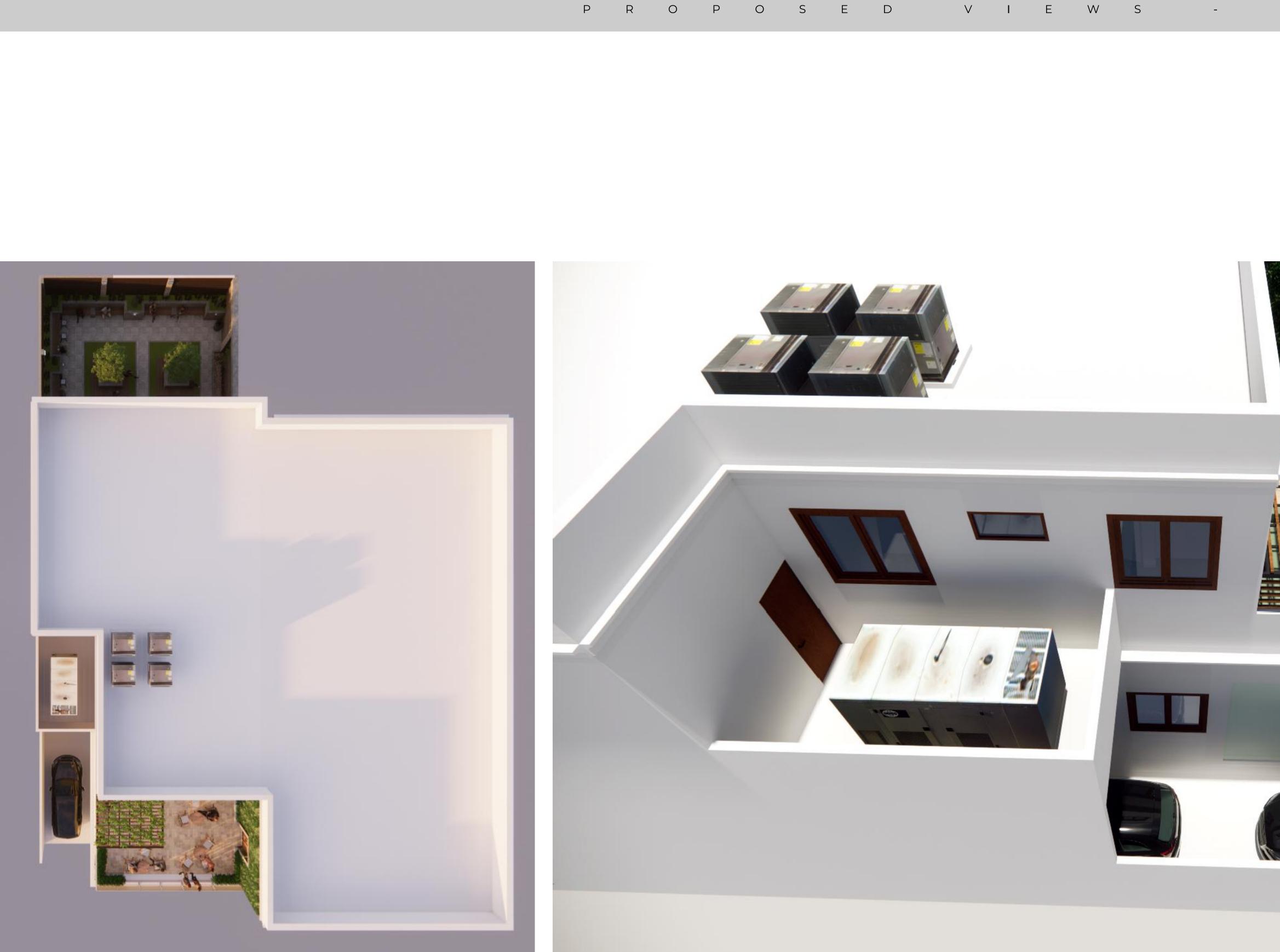
NOTES:

-CONTRACTOR IS RESPONSIBLE FOR CONFORMING AND CORRELATING ALL QUANTITIES AND DIMENSIONS OF EACH ITEM WITH EXISTING OR NEW DIMENSIONS ON SITE. -BUTT JOINTS SEALED WITH CLEAR SILICON -ALL WINDOWS SHALL USE 1/4" CLEAR WITH STORM SHUTTER. ALL WINDOWS SHALL USE IMPACT RESISTANT GLASS. -INNER AND OUTER PERIMETER SEALANT ON ALL WINDOWS SIKAFLEX

FINISH FLOOR LEVE

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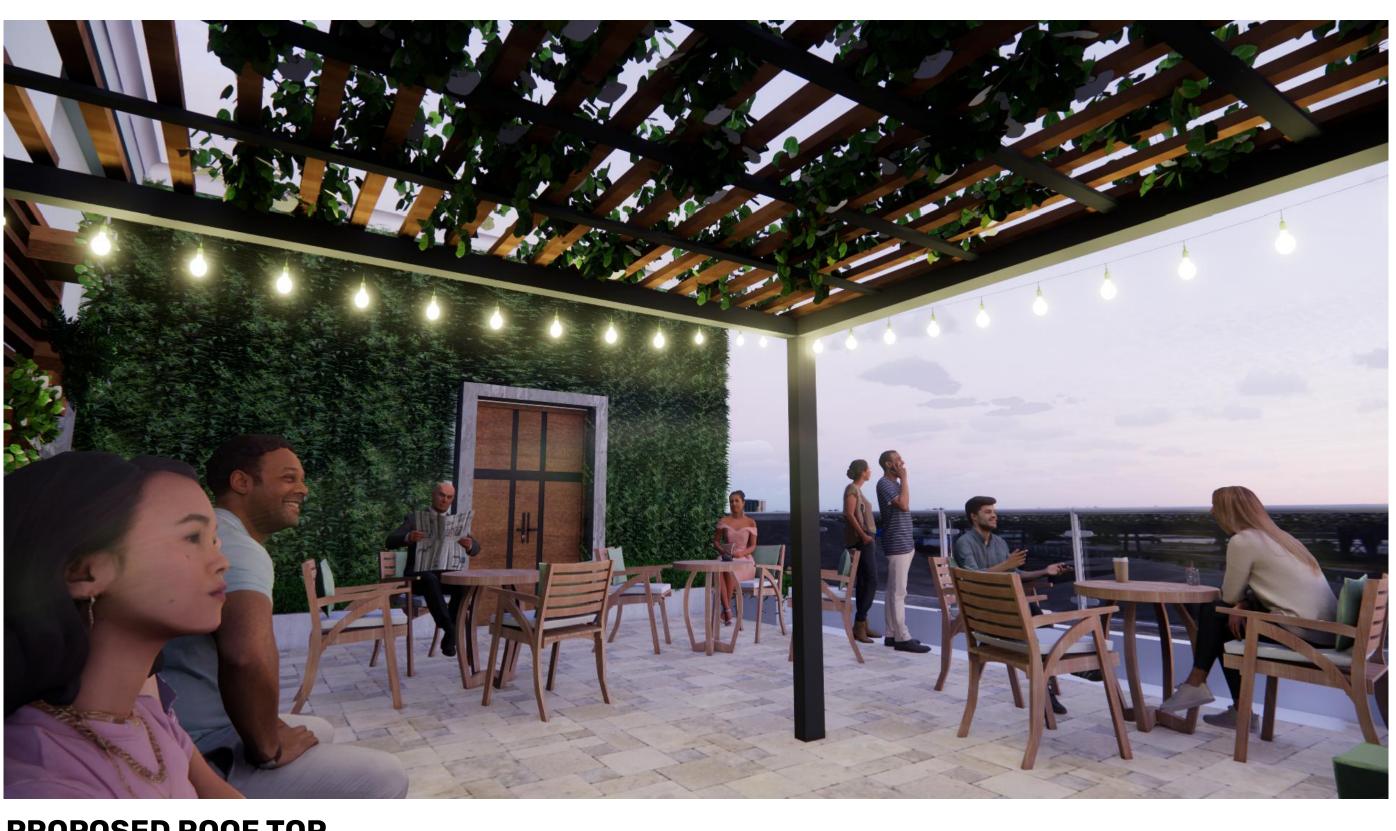
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### DRAWING No.



# **PROPOSED ROOF TOP**



## **PROPOSED ROOF TOP**



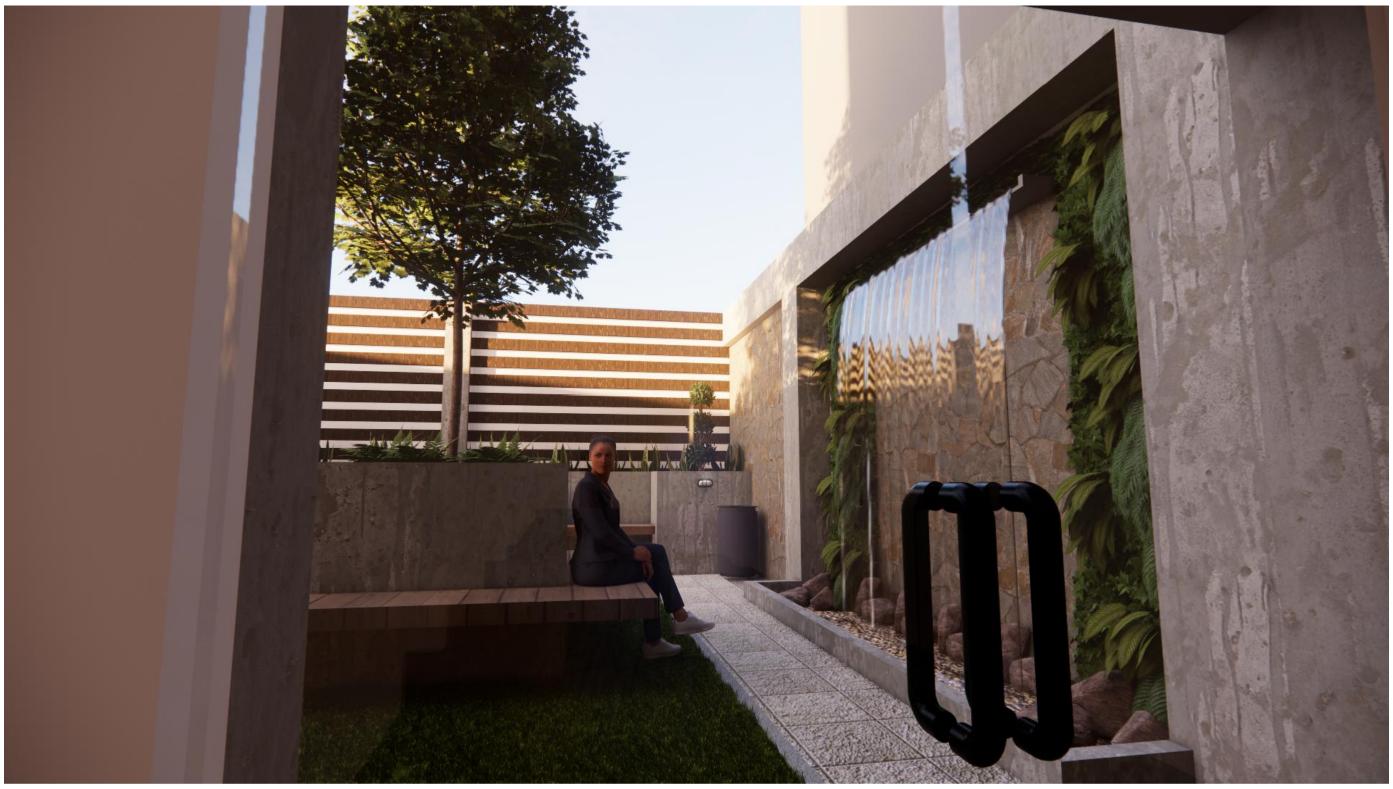
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		IMPORTANT NOTES TO THE CONTRACTOR: CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK, IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERD ON PLANS, CONTRACTOR SHALL NOTIFY THE ENGINEER BEFORE ANY PART OF THE WORK IS STARTED SO THAT PROPER CORRECTIONS ARE MADE. IF ENGINEER IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ENGINEER ARE THE PROPERTY OF THE ENGINEER ARE THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH THEY EXPRESSLY DESIGNED. IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THE ENGINEER, THE PERSON WHO IS DOING WILL BE INDEBTED TO THE ENGINEER FOR HIS FULL COMMISSION, CONTRACTOR SHALL NOT USE FOR CONSTRUCTION PURPOSES ANY DRAWINGS THAT WERE ADVANCE TO HIM PRIOR TO THE BEGINNING OF CONSTRUCTION. ALL PLANS BEING USED BY CONTRACTOR SHOULD HAVE A LABEL SAYING "FOR CONSTRUCTION ONLY" SIGNED AND SEALED BY THE ENGINEER.
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# **PROPOSED INNER COURTYARD**



# **PROPOSED INNER COURTYARD**



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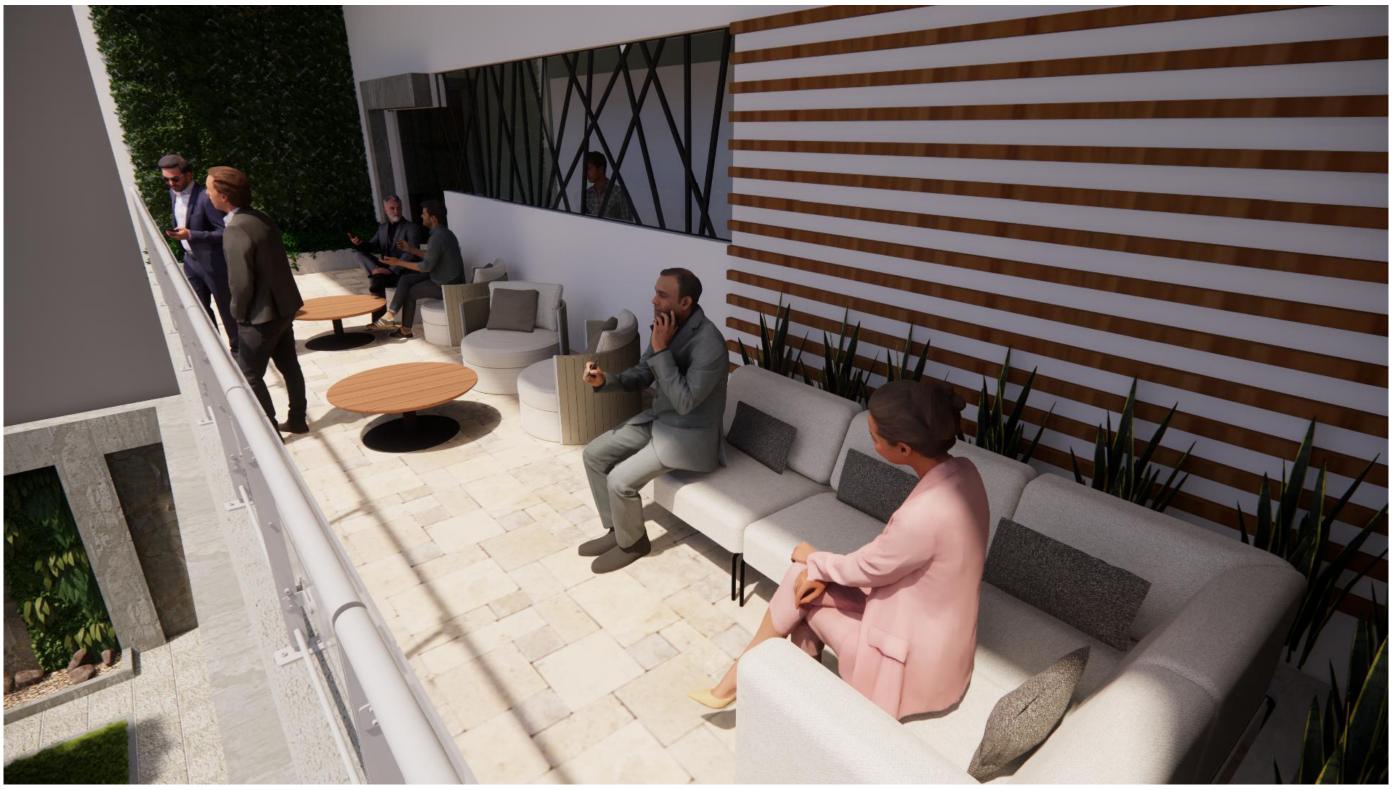




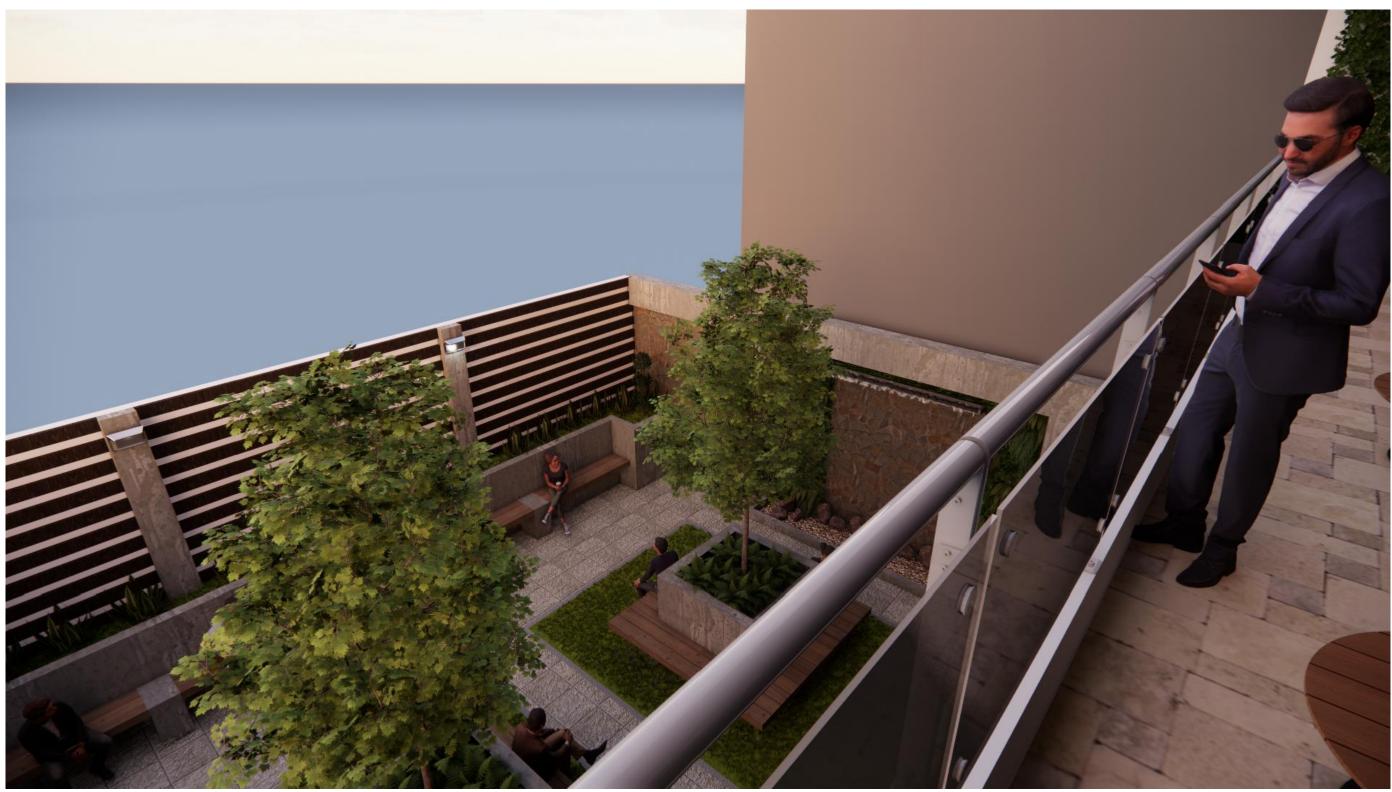
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## **PROPOSED TERRACE**



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## 1.0 GENERAL NOTES:

### 1.1 GOVERNING BUILDING CODES:

- A. PUERTO RICO BUILDING CODE, 2011 EDITION B. INTERNATIONAL BUILDING CODE, 2009 EDITION
- 1.2 DESIGN LOADS: A. DEAD LOADS:
  - 1. STRUCTURE SELF-WEIGHT
  - 2. COLLATERAL LOAD = 10 psf B. LIVE LOADS:
  - 1. SLAB-ON-GRADE = 100 psf 2. ROOF = 40 psf
  - C. WIND LOADS:
  - 1. ASCE 7-05, BASIC WIND SPEED (3 SECOND GUST) = 145 mph, EXPOSURE C.
- 1.3 EARTHQUAKE DESIGN DATA:
- A. RESPONSE MODIFICATION FACTOR R=5 (SHEAR WALLS) R=8 (MOMENT FRAMES) B. OCCUPANCY CATEGORY II C. SEISMIC DESIGN CATEGORY D
- D. SEISMIC IMPORTANCE FACTOR 1.0
- E. SITE CLASS D F. SRA (SS) SS=0.95
- G. SRA (S1) S1=0.35
- 1.4 SYSTEM AND COMPONENTS REQUIRING SPECIAL INSPECTIONS FOR SEISMIC RESISTANCE: (SEE SPECIFICATIONS).
- 1.5 CONTRACTOR SHALL VERIFY ALL EXISTING ELEVATIONS AND DIMENSIONS PRIOR TO CONSTRUCTION AND/OR FABRICATION. 1.6 CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE TO EXISTING FEATURES WHICH ARE NOT PART OF THE CONSTRUCTION. IN THE EVENT OF ANY DAMAGE, CONTRACTOR SHALL RESTORE OR REPLACE THE DAMAGED FEATURES TO THE SATISFACTION OF THE CLIENT REPRESENTATIVE AT NO COST. 1.7 ROUGH AND FINISHED GRADE ELEVATIONS MAY BE ADJUSTED IN THE FIELD BY THE ENGINEER/ARCHITECT AS REQUIRED TO MEET FIELD CONDITIONS. 1.8 PRIOR TO COMMENCING ANY EXCAVATION, COORDINATE WITH THE CLIENT REPRESENTATIVE AND ALL APPROPRIATE UTILITY COMPANIES FOR INFORMATION ON ALL UTILITIES TO BE REMOVED, ABANDONED OR TO REMAIN IN PLACE.
- 1.9 FOR GROUNDING REQUIREMENTS, SEE ELECTRICAL DRAWINGS.

## 2.0 SOIL NOTES:

2.1 ALLOWABLE BEARING CAPACITY = 2,500PSF

## 3.0 CONCRETE NOTES: 3.1 IN THE EVENT OF A CONFLICT BETWEEN THE SPECIFICATIONS AND THE CONTRACT DRAWINGS, CONTACT THE ENGINEER OF RECORD FOR CLARIFICATION. 3.2 ALL DIMENSIONS PERTAINING TO EXISTING CONSTRUCTION SHALL BE FIELD VERIFIED BY THE CONTRACTOR BEFORE STARTING ANY WORK OR FABRICATION. 3.3 SEE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR BELOW SLAB AND EMBEDDED ITEMS NOT SHOWN ON THE STRUCTURAL DRAWINGS. 3.4 ALL UNDERGROUND PIPING, ELECTRICAL CONDUIT, GROUND WIRING, ETC., SHALL BE IN PLACE BEFORE CONCRETE FOUNDATIONS AND/OR GRADE SLABS ARE PLACED. THEM SHALL NOT BE LESS THAN 1 1/2". 3.5 ALL CONCRETE HAS BEEN DESIGNED AND THE DETAILING, FABRICATION AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING: A. ACI 318-05 BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE B. ACI 315-99 DETAILS AND DETAILING OF CONCRETE REINFORCING C. ACI 301-99 SPECIFICATIONS FOR STRUCTURAL CONCRETE D. CRSI-97 MANUAL OF STANDARD PRACTICE 3.6 UNLESS NOTED OTHERWISE, ALL CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF ASTM C150 AND SHALL BE NORMAL WEIGHT, TYPE I OR TYPE II CEMENT. CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI, UNLESS NOTED OTHERWISE IN THE SPECIFICATIONS. 3.7 ALL CONCRETE EXPOSED TO WEATHER SHALL BE AIR ENTRAINED. 3.8 ALL EXPOSED VERTICAL AND HORIZONTAL EDGES OF CONCRETE FOUNDATIONS, SLABS, PADS, PIERS, CURBS, ETC., SHALL HAVE A 3/4" X 45 DEGREE CHAMFER, UNLESS NOTED OTHERWISE.

- 3.9 CONCRETE PLACED DURING HOT WEATHER SHALL CONFORM TO THE REQUIREMENTS OF ACI 305R-99 "HOT WEATHER CONCRETING". 3.10 ALL REINFORCING STEEL SHALL BE DEFORMED REINFORCING BARS CONFORMING TO THE REQUIREMENTS OF ASTM A706 (Fy=60,000 PSI). BILLET STEEL ASTM A615, GRADE 60 MAY BE USED IF THE MILL TEST REPORT IS PROVIDED AND SATISFIES THE REQUIREMENTS LISTED IN SECTION 1921.2.5.2 OF THE UNIFORM BUILDING CODE, 1997.
- 3.11 ALL BAR SPLICES AND EMBEDMENT LENGTHS SHALL CONFORM TO THE FOLLOWING TABLE, UNLESS NOTED OTHERWISE ON THE DESIGN DRAWINGS:

4.1

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BAR IUMBER	(DEVELOP	DMENT	BENT BAR EMBEDMENT (STD. 90 DEGREE HOOK) (DEVELOP. IN TENSION)	STRAIGHT BAR EMBEDMENT (DEVELOPMENT IN COMPRESSION)	TENSION LA CLA	IP SPLICE SS B	COMPRESSION LAP SPLICE		
	(INCHES)		(INCHES)	(INCHES)	(INC	HES)	(INCHES)		
	TOP BAR	OTHER BAR			TOP BAR	OTHER BAR			
3	19	15	8 9		25	20	12		
4	25	19	10	10	33	26	16		
5	31	24	12	12	41	32	19		
6	37	29	15	15	49	38	23		
7	54	42	17	17	71	55	27		
8	62	48	19	19	81	63	31		
9	70	54	22	22	91	71	34		
10	78	60	24	24	101	78	38		
11	85	66	27	27	111	86	42		

A. TOP BAR IS DEFINED AS: CONCRETE BELOW BAR IS GREATER THAN 12"

B. OTHER BAR IS DEFINED AS: CONCRETE BELOW BAR IS LESS THAN 12" C. THE ABOVE TABLE WAS DEVELOPED BASED ON ACI 318-95, SECTION 12.2.2, ASSUMING CLEAR SPACING OF BARS BEING DEVELOPED OR SPLICED NOT LESS THAN TWICE THE BAR DIAMETER, AND THE CLEAR COVER NOT LESS THAN THE BAR DIAMETER.

3.12 ANY DRILLING THROUGH FOUNDATION PIERS, GRADE BEAMS AND GRADE WALLS SHALL NOT BE PERMITTED WITHOUT PRIOR APPROVAL OF THE ENGINEER OF RECORD.

3.13 WELDED WIRE FABRIC, WHERE SPECIFIED ON THE DESIGN DRAWINGS, SHALL CONFORM TO THE REQUIREMENTS OF

ASTM A185 COLD DRAWN STEEL. LAP SPLICE SHALL BE TWO GRID SPACES WITH 8 INCHES AT A MINIMUM.

3.14 EPOXY ANCHORS SHALL BE HILTI HIT RE 500 (OR EQUAL). EXPANSION ANCHORS ARE NOT ALLOWED. UNLESS NOTED OTHERWISE ON THE DESIGN DRAWINGS.

3.15 COLUMN ANCHOR RODS SHALL BE PLAIN CARBON STEEL UNLESS NOTED GALVANIZED ON THE FOUNDATION PLAN. GALVANIZED ANCHOR RODS SHALL MEET ASTM A153-98, STANDARD SPECIFICATION FOR ZINC COATING (HOT DIPPED) ON IRON AND STEEL HARDWARE.

3.16 UNLESS NOTED OTHERWISE, REINFORCING BARS SHALL HAVE MINIMUM CONCRETE COVER AS FOLLOWS:

A. CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: 3 INCHES B. CONCRETE EXPOSED TO EARTH OR WEATHER:

#5 BARS AND SMALLER:	1 1/2 INCHES
OTHERS:	2 INCHES
C. CONCRETE NOT EXPOSED	TO EARTH OR WEATHER:
WALLS AND SLABS:	
#11 BAR AND SMALLER	3/4 INCHES
OTHERS	1 1/2 INCHES

BOTTOM OF BASE PLATE ELEVATIONS FOR GROUT.

3.17 CONTRACTOR SHALL PROVIDE ALL CONSTRUCTION JOINTS AS SHOWN ON THE DRAWINGS.

3.18 MODIFICATIONS TO CONSTRUCTION JOINTS MUST BE SUBMITTED TO THE ENGINEER OF RECORD FOR APPROVAL WRITTEN APPROVAL OF MODIFICATIONS MUST BE OBTAINED FROM THE ENGINEER OF RECORD PRIOR TO ANY JOINT FABRICATION AND/OR INSTALLATION.

3.19 CONCRETE CONTRACTOR SHALL PROVIDE ALL ANCHOR ROD ASSEMBLIES AS DETAILED ON THE DRAWINGS. 3.20 CONCRETE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL GROUTING UNDER COLUMN BASE PLATES AND SHEAR LUG BLOCKOUTS IN COLUMN PIERS. TOP OF PIER ELEVATION SHOWN ON PLANS AND DETAILS ARE 1 1/2" BELOW

## MASONRY

3.21 ALL MASONRY WORK SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIOS 4200 CONCRETE MASONRY UNITS

3.22 MASONRY PRISM STRENGTH. I'm SHALL BE A MINIMUM OF 1500 PSI.

- ALL CELLS WITH VERTICAL REINFORCING AND ALL BOND BEAMS SHALL BE FILLED WITH GROUT HAVING A MINIMUM 28 DAY COMPRESSIVE STRENGTH, fc =3,000 PSI.
- 3.23 ALL MORTAR SHALL BE TYPE M OR TYPE S IN ACCORDANCE WITH SPECIFICATION 220.04100

3.24 HORIZONTAL REINFORCING IN WALLS AND BOND BEAMS SHALL BE CONTINUOUS AROUND CORNERS. ALL REINFORCING SPLICES SHALL BE LAPPED FOR A MINIMUM OF 48 BAR DIAMETERS. SEE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR DETAILS OF REINFORCING

3.25 PRIOR TO AND DURING CONSTRUCTION, MASONRY PRISM TESTS SHALL BE TAKEN IN ACCORDANCE WITH UBC SECTION 2405(C)1 OR, AS AN ALTERNATE, MASONRY UNITS AND GROUT SPECIMENS SHALL BE TESTED IN ACCORDANCE WITH UBC SECTION 2405(C)3.

3.26 PERIODIC SPECIAL INSPECTION SHALL BE PERFORMED FOR ALL EXTERIOR (STRUCTURAL) MASONRY WORK IN ACCORDANCE WITH UBC SECTIONS 306(A)7 AND 306(E)

3.27 MAXIMUM HEIGHT OF GROUT POURS SHALL BE 4'-0"

## 4.0 STEEL NOTES:

ALL STRUCTURAL AND MISCELLANEOUS STEEL HAS BEEN DESIGNED AND SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE FOLLOWING:

- A. ANSI/AISC 360-05 SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS
- B. AISC 303-05 CODE OF STANDARD PRACTICE FOR STRUCTURAL STEEL BUILDINGS
- C. ANSI/AISC 341-05 SEISMIC PROVISIONS FOR STRUCTURAL STEEL BUILDINGS D. RCSC SPECIFICATIONS FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS - 2004

ASTM A325-N U.N.O.

E. AWS D1.1/D1.1M STRUCTURAL WELDING CODE - 2008

4.2 MATERIALS:

- A. WIDE-FLANGE SHAPES ASTM A992-00, Fy=50 ksi
- B. BARS, PLATES AND CHANNELS ASTM A572-00, GRADE 36, Fy=36 ksi C. ANGLES AND RODS ASTM A36-00, Fy=36 ksi
- D. HIGH-STRENGTH BOLTS
- E. WELDING ELECTRODES E70XX F. STRUCTURAL HOLLOW STEEL SECTIONS ASTM A500, GRADE B, Fy=46 KSI
- G. STRUCTURAL PIPES ASTM A53, GRADE B, Fy=35 KSI

		<b>PROJECT ADDRESS</b> ESQ CALLE PROGRESO RUIS RIVERA ADJUNTAS, PUERTO RICO.
4.3	ALL BOLTS SHALL BE 3/4" WITH THREADS INCLUDED IN THE SHEAR PLANE, UNLESS NOTED OTHERWISE. ALL CONNECTIONS ARE BEARING TYPE, UNLESS NOTED OTHERWISE.	OWNER ADJUNTAS MUNICIPALITY
4.4	HOLES SHALL BE 1/16" LARGER THAN THE BOLT DIAMETER, UNLESS NOTED OTHERWISE. ALL BEAM CONNECTIONS, UNLESS DETAILED ON THE DRAWINGS, SHALL BE DOUBLE ANGLE TYPE, (SEE SPEC.) AND SHALL HAVE A MINIMUM ROW OF BOLTS AS SHOWN BELOW:	
	BEAM DEPTH 8-10 12-14 16-18 21 24 27 30 33 36	
	ROWS OF BOLTS 2 3 4 5 6 7 8 9 10	
	ALL BOLTS SHALL BE SNUG-TIGHT U.N.O.	
4.5	ALL FIELD CONNECTIONS TO EXISTING STEEL ARE TO BE WELDED, UNLESS NOTED OTHERWISE, AND SHALL BE DETAILED SUCH THAT THE ERECTION CAN COMPLY WITH OSHA 29 CFR PART 1926 "SAFETY STANDARDS FOR STEEL ERECTION".	REGISTER No.
4.6	SHOP CONNECTIONS MAY BE BOLTED OR WELDED. WELDS ARE TO BE EQUAL IN STRENGTH TO THE MINIMUM NUMBER OF BOLTS.	2 6 6 - 0 7 5 - 0 3 8 - 2 1
4.7	ENDS OF ALL COLUMNS AND ALL MEMBERS IN DIRECT BEARING SHALL HAVE THE BEARING SURFACES PREPARED TO A COMMON PLANE BY FINISHING.	
4.8	ALL GROUT UNDER STEEL COLUMN BASE PLATES, BEAM BEARING PLATES AND EQUIPMENT BASES SHALL BE NON-SHRINK, NON-METALLIC TYPE.	REV. DATE DESCRIPTION BY CHK'D
4.9	CONNECTIONS TO EXISTING SRUCTURE TO BE WELDED UNO.	
4.10	EXPOSED STEEL SHALL BE KEPT FREE AND CLEAN OF ALL FOREIGN MATTER SUCH AS GREASE, OIL, CONCRETE SPATTER, CHALK MARKS, DIRT, ETC.	
4 <u>.</u> 11	ALL EXPOSED WELDS SHALL BE CLEANED BY POWER GRINDING OR BY BLAST CLEANING ACCORDING TO SSPC-SP3 OR SSPC-SP5 TO REMOVE WELDING FLUX, SLAG AND SPATTER.	
4 <u>.</u> 12	ALL FLOOR AND ROOF DECKS SHALL BE 1 1/2" DEEP X 18/18 GA. GALVANIZED CELLULAR METAL DECK WITH MINIMUM Fy=40,000 PSI, UNLESS NOTED OTHERWISE ON THE PLANS. FASTEN DECK AS SHOWN ON THE DRAWINGS OR SPECIFICATIONS.	
4.13	ALL STRUCTURAL STEEL SHALL BE PAINTED PER SPECIFICATION, 09900.	IMPORTANT NOTES TO THE CONTRACTOR:
		CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY THE ENGINEER BEFORE ANY PART OF THE WORK IS STARTED SO THAT PROPER CORRECTIONS ARE MADE. IF ENGINEER IS NOT NOTIFIED PRIOR TO
MIS	SCELLANEOUS STEEL	COMMENCING OF THE WORK. ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ENGINEER ARE THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REUSED ON ANY
4.14 F	OR MATERIALS, FABRICATION AND CONNECTIONS, SEE STRUCTURAL STEEL.	OTHER LOCATION EXCEPT THE ONE FOR WHICH THEY EXPRESSLY DESIGNED. IF THESE DRAWINGS OR ANY PART THEREOF IS
6.16 C	LEAN ALL STEEL BY	REPRODUCED WITHOUT THE CONSENT OF THE ENGINEER, THE PERSON WHO IS DOING WILL BE INDEBTED TO THE ENGINEER FOR HIS FULL
	COMMERCIAL BLAST CLEANING IN ACCORDANCE WITH SSPC SP6	COMMISSION. CONTRACTOR SHALL NOT USE FOR CONSTRUCTION PURPOSES ANY DRAWINGS
	<ul> <li>PAINT WITH ONE COAT OF RUST INHIBITIVE UNLEADED UNIVERSAL PRIMER TOUCH UP WELDS AND BOLTED CONNECTIONS IN THE FIELD WITH</li> </ul>	THAT WERE ADVANCE TO HIM PRIOR TO THE BEGINNING OF CONSTRUCTION. ALL PLANS BEING USED BY CONTRACTOR SHOULD HAVE A LABEL SAYING "FOR CONSTRUCTION ONLY" SIGNED AND SEALED BY THE ENGINEER.

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- TOUCH UP WELDS AND BOLTED CONNECTIONS IN THE FIELD WITH
- SAME OR COMPATIBLE PAINT

OR CONCRETE ENCASEMENT.

FOR APPROVAL

OF EXISTING EALLS AND FRAMING.

6.19 VERIFY DIMENSIONS OF EQUIPMENT SUPPORTS WITH SHOP DRAWINGS OF PURCHASED EQUIPMENT.

## **EXCAVATIONS AND FOUNDATIONS**

1. STRIP AND STOCKPILE TOPSOIOL AS DIRECTED BY THE OWNER'S REPRESENTATIVE. 2. EXCAVATE TO LINE AND GRADE AS NOTED ON THE DRAWINGS.

- 3. COMPACT FILL MATERIAL
- \* AS DIRECTED IN THE SPECIFICATIONS
- ENGINEER BEFORE PLACING CONCRETE.
- SHALL BE REMOVED BEFORE PLACING CONCRETE.
- STANDARD DRY DENSITY IN ACCORDANCE WITH ASTM D698.

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DELETE PAINT ON ALL STEEL TO RECEIVE SPRAYED ON FIREPROFFING

6.17 PREPARE AND SUBMIT COMPLETE ERECTION AND DETAILS SHOP DRAWINGS TO THE ENGINEER

6.18 VERIFY EXISTING CONDITIONS INCLUDING THE LOCATION, ELEVATION, AND DIMENSIONS

\* TO 95% MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D 1557

4. IF CONDITIONS ARE NOT AS ANTICIPATED FROM THE SOIL BORINGS, LEAVE EXCAVATION OPEN FOR INSPECTION BY THE

5. PLACE FOOTING CONCRETE WITHIN 30 HOURS OF EXCAVATION. THE FOOTING SUBGRADE SHALL BE INSPECTED IMMEDIATELY BEFORE CONCRETING. ANY SOFT, LOOSE, STURATED, FROZEN, OR OTHER UNACCEPTABLE MATERIAL THUS DISCOVERED

6. BACKFILL ADJACENT TO FOOTING, PADS, GRADEBEAMS, WALLS, ETC. SHALL BE COMPACTED TO AT LEAST 92% OF



SIGNED AND SEALED BY THE ENGINEER.

I, WILLIAM MELENDEZ RIVAS, LIC. 16383, CERTIFY

THAT I AM THE PROFESSIONAL WHO [MADE,

COMPLEMENTARY SPECIFICATIONS. I ALSO

CERTIFY THAT I UNDERSTAND THAT SAID PLANS

AND SPECIFICATIONS COMPLY WITH THE APPLICABLE PROVISIONS OF THE JOINT

REGULATIONS AND THE APPLICABLE PROVISIONS

OF THE REGULATIONS AND BUILDING CODES IN

FORCE OF THE AGENCIES, REGULATORY BOARDS

OR PUBLIC CORPORATIONS WITH JURISDICTION. I FURTHER CERTIFY THAT THE PREPARATION OF

THESE PLANS AND SPECIFICATIONS HAS FULLY COMPLIED WITH THE PROVISIONS OF LAW

14-2004, AS AMENDED, KNOWN AS THE "LAW FOR

INVESTMENT BY THE PUERTO RICAN INDUSTRY"

AND WITH THE LAW NO. 319 OF MAY 15, 1938, AS AMENDED; ACT NO. 96 OF JULY 6, 1978, AS AMENDED; AS APPLICABLE]. I ACKNOWLEDGE THAT ANY FALSE STATEMENT OR

MISREPRESENTATION OF FACTS THAT HAS BEEN

PRODUCED BY IGNORANCE OR NEGLIGENCE

EITHER BY ME, MY AGENTS OR EMPLOYEES, OR BY

OTHERS WITH MY KNOWLEDGE, MAKES ME

RESPONSIBLE FOR ANY JUDICIAL AND

DISCIPLINARY ACTION BY THE OGPE.

DESIGNED OR PREPARED] THESE PLANS AND TH

CERTIFICATION

SIGNATURE



FILE

Dwg Name: INGENIUM GROUP

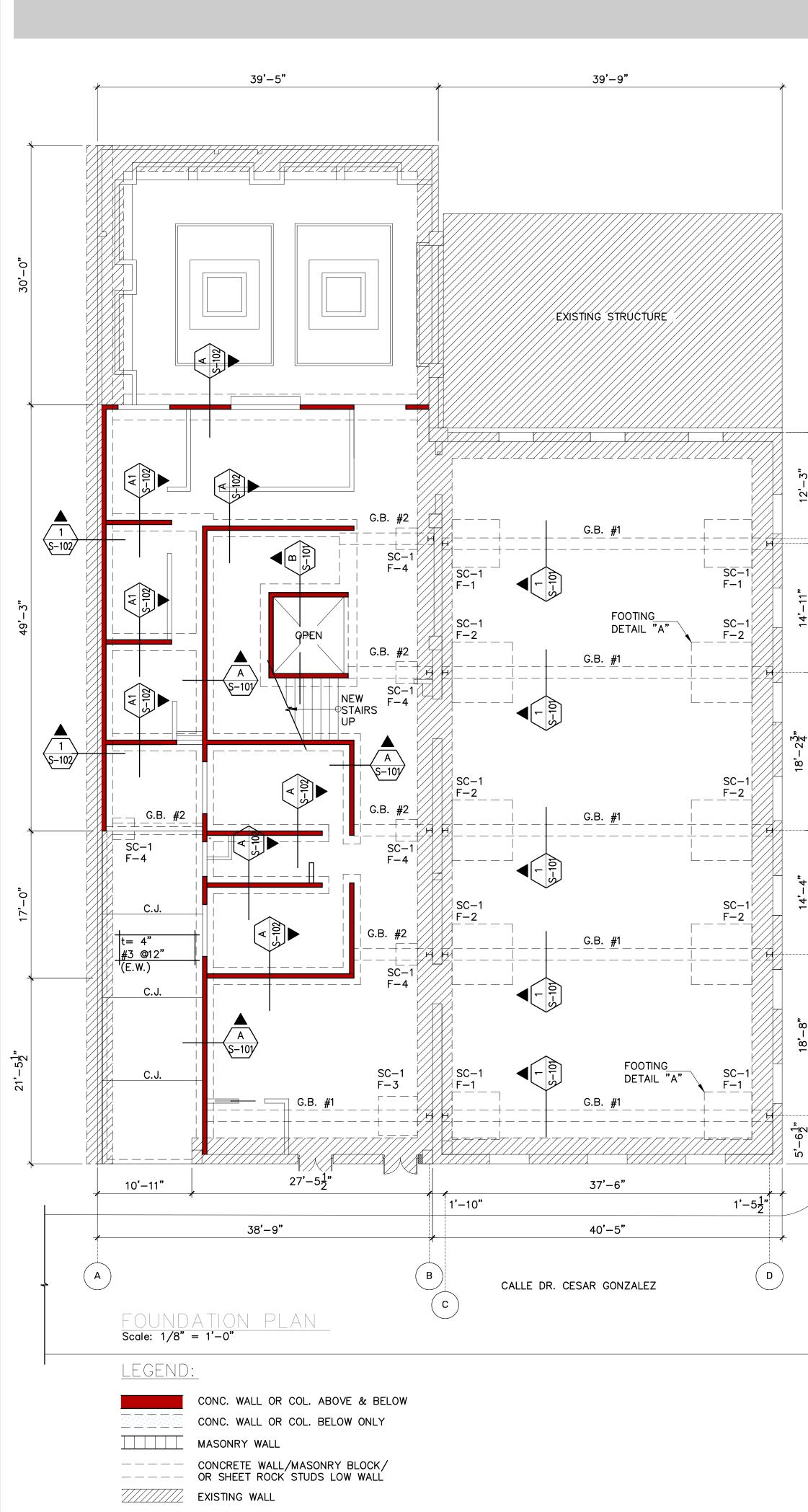
Drawn by: INGENIUM GROUP Revised by: ING. WILLIAM MELENDEZ Plot Scale: AS SHOWN

Progress Print:

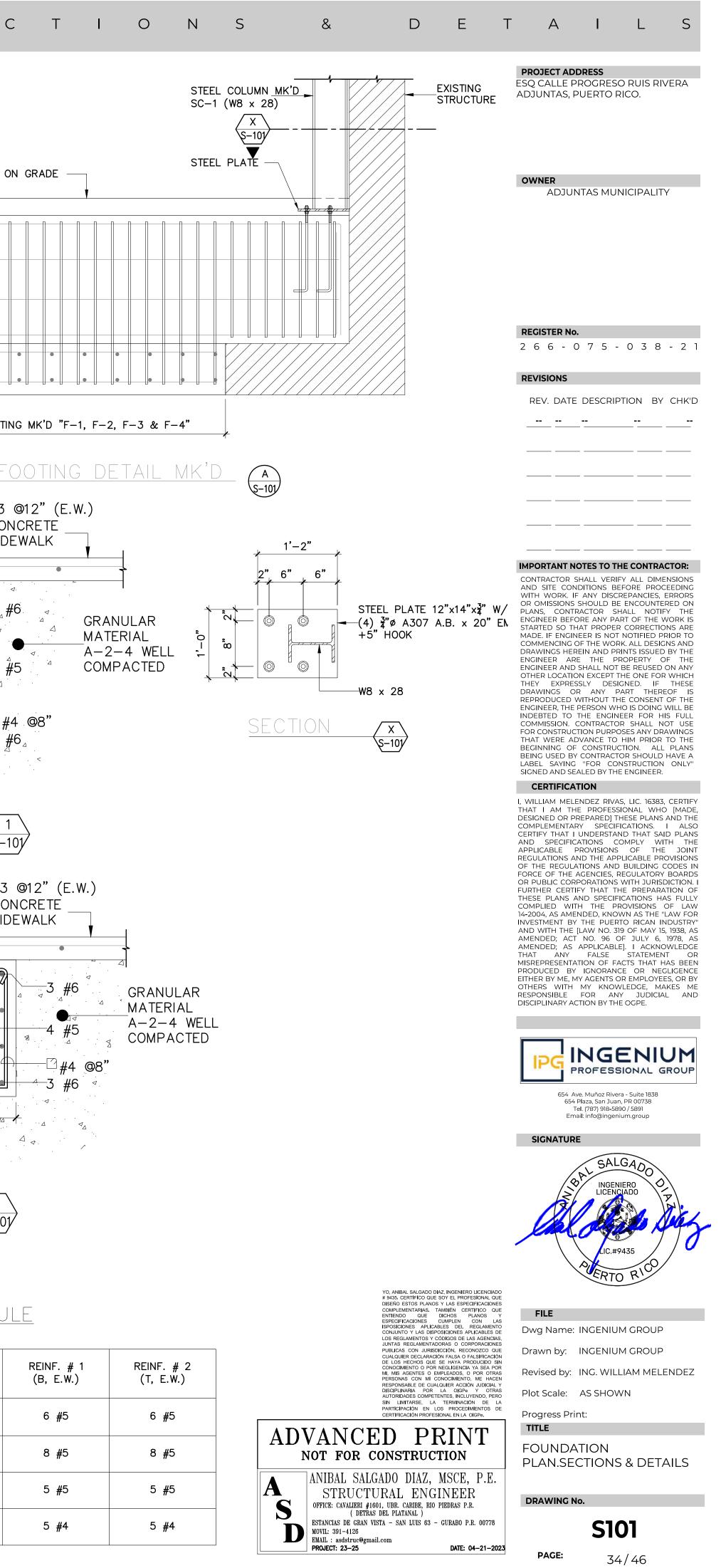
TITLE GENERAL STRUCTURAL NOTES

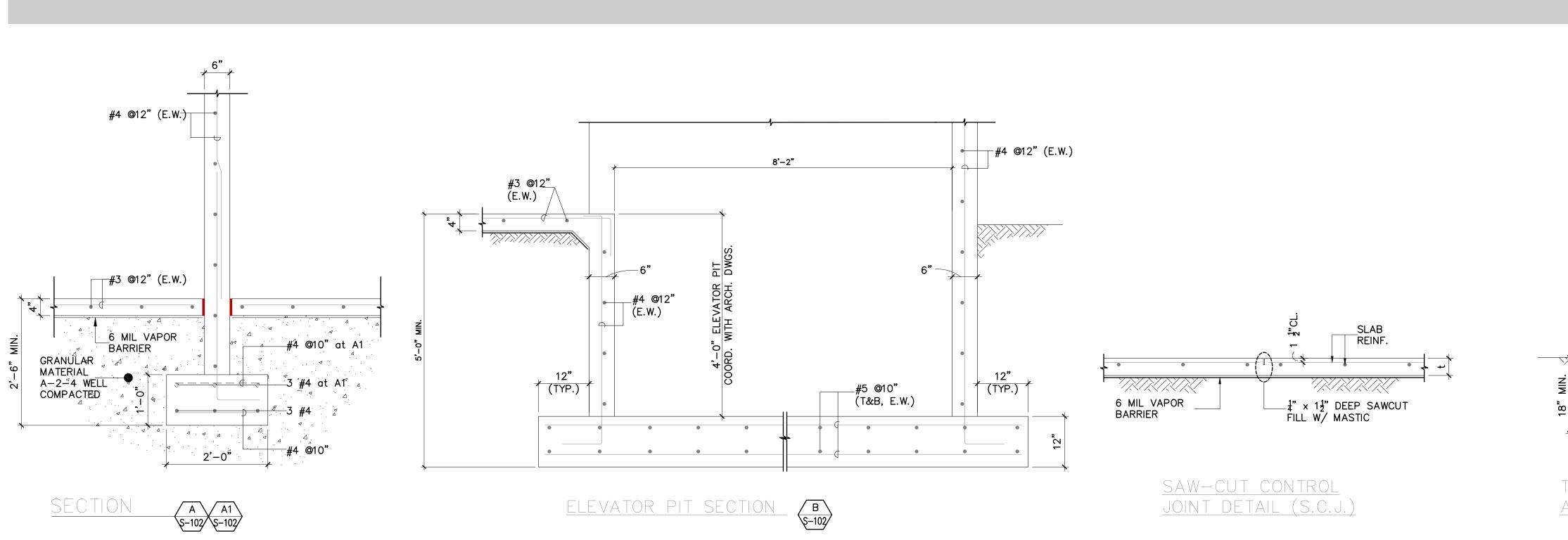
DRAWING No.

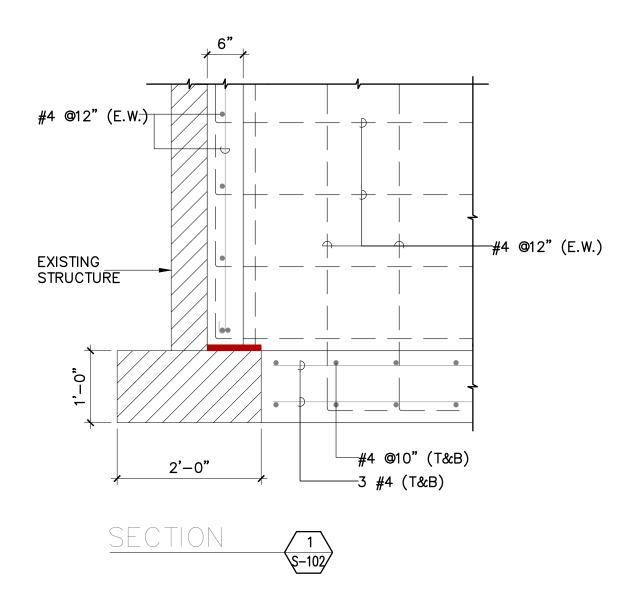




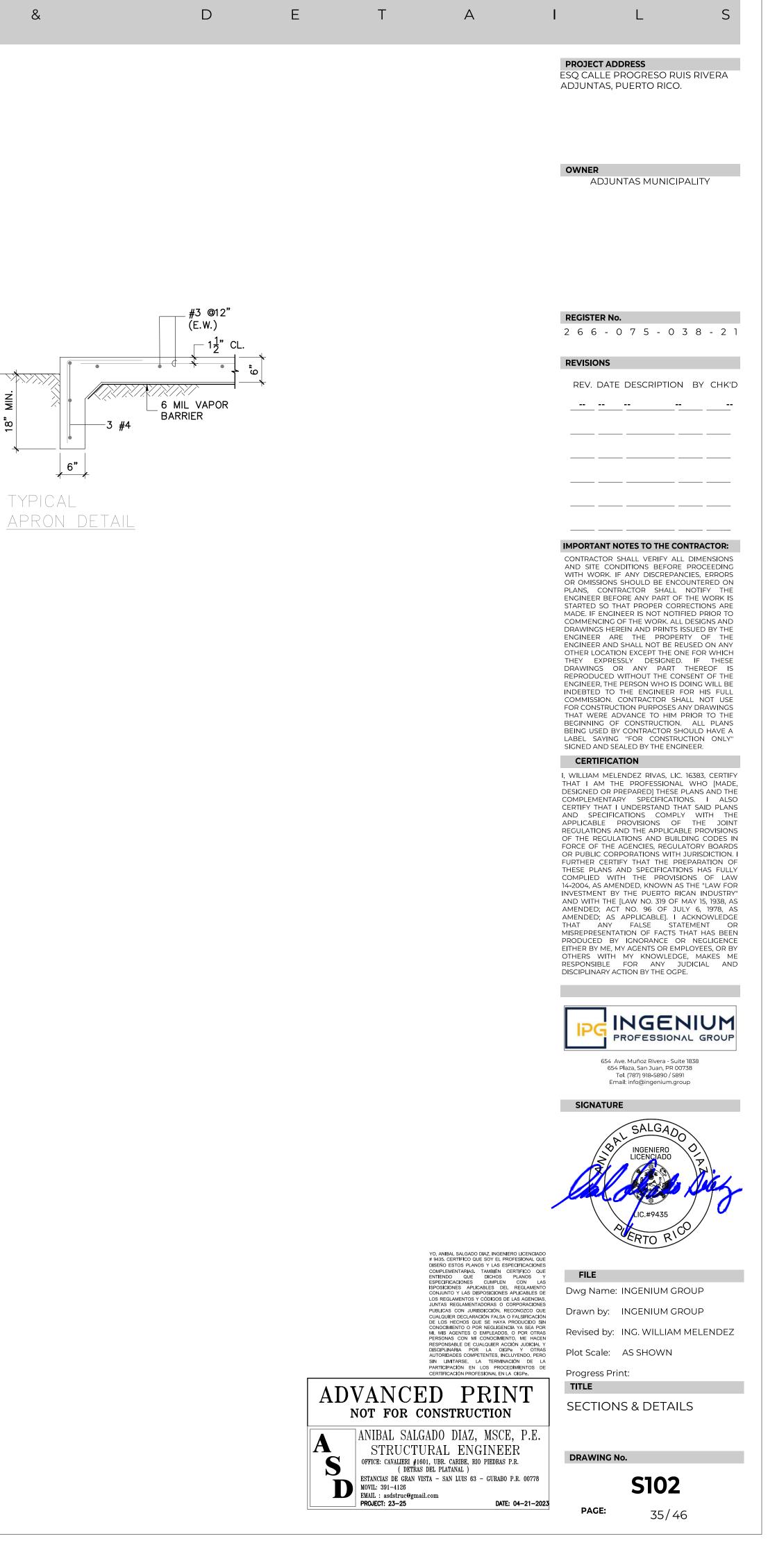
F	-	0 U	N D A	ТІ	O N	1	P L	A	Ν	·	S	E	С
			<u>ST</u> A. Special	RUCTURAL Notes	<u>NOTE</u>	<u>S</u>							
			architectur	to coordinate all d al and mechanical c s are to be called	rawings. All co	onflicts or	:						
			disruption.	<u>D</u> Engineer in timely ngs shall not be rep						4 #6		7	
			drawings p ————————————————————————————————————	repared by <u>ASD</u> but rer, fabricator or ins rings. All shop drawi	shall be prepo taller based o	ared entirely by n information w	vithin		* <b>4</b>	4 #5 ──_		SL/	AB ON
			Contractor 3. All test for	to <u>ASD</u> Engineer. construction mater esting laboratory and	ials must be s	supervised by			4				
			<b>by General</b> B. Foundat	Contractor to <u>ASD</u> ions			-		2'-6"		C I		
			Engineer	ure f was assumed for shall verify the soil tion, if different from	pressure assu	umed prior to			2,-				
			contact C. Reinford	the <u>ASD</u> Engineer for ed Concrete &	<b>r revisions of</b> Reinforce	foundation desi ed steel			×				
			of 3,000 p 2. Maximum w	vater/cement ratio (	W/C) shall no	t exceed .65.	aar		÷	REINF			
			than:	aximum size of coar rrowest dimensions			gei		*	REINF	#1	F(	οοτινα
_		7	bars or w 4. All reinforc	nimum clear spacing vires, bundles of bar ing steel bars shall	s, or prestress be new billet (	sing tendons or deformed high	ducts.					, ו	
2'-3"			(Fy=60,000 78,000 psi	rade steel conformir D psi), except (1) th and (2) the tensile	e maximum yi strength shal	ield strength sh	all be			•		J	<u> </u>
7"			5. Steel prote a) Footings			3"							₩3 © CON SIDE
		5 6	ii. Ta b) Walls	le and Bottom p ur against earth	7	2" 3"		4			•		•
-11:				posed to earth or v		1 <mark>1</mark> " to #5 2" for #6 larger	and		Δ.		- 17		⊲ -4#6
14,			iii. N	ot exposed to earth	or weather	<sup>3</sup> 7 up to #11 1 <sup>1</sup> 2" for #1 large			<ul> <li>✓</li> <li>Δ</li> </ul>				
		4	c) Slabs a	nd joists	3	<sup>3</sup> " up to #11 1 <sup>1</sup> 2" for #1 and la	14	2'-6"			$\times$		- <b>4</b>
		PROGRESO		and Columns ral Slab on Grade or	· Mat foundati	1 <mark>1</mark> "					L		-🖸 #4
47		CALLE PRO	6. Dowels sha vertical	por barrier (bottom II be same size and reinforcement embed	number as wo Ided 42 diame		g and	<b>\</b>		 1'	<u> </u>		<b>4 </b> #6
2	-6 <u>1</u> "	CAL	7. Lap all spli use tensio	ters above it. (Unles ces in walls and fou on splice; all horizor	ndation wall 5				× A		₹ 		√ √
	84'-	3		l be bent at least 2 oncrete walls as fol	ows (Unless N		Noted)		SEC				$\sqrt{\frac{1}{1}}$
			8" Wa		#4	• <b>@8" (E.W.)</b>	SS		(GRAD	E BEA	M #1)		\ <u>S</u> _10
14′-4″			10. All opening 2 #5 bars	gs in concrete walls placed 2" from the nless Noted).									-#3 ( CON
			11. All slab or 12. All one wo	n grade shall be 4" ay slabs shall have t preat (including integ	emp. reinf. As	s follows: 0.18%	of	" <del>4</del>	<u> </u>		•		SIDE
		2	t=6," use 1. All plate to ASTM	#3 @10" and t=7" u s and structural ste A—50 Standard (Fy	se #3 @8". el sections sh = 50,000 psi)	all be in accord and erected ir	dance					•	
			Design F Buildings	cordance with the la abrication and Erect " of the American l shop drawings for a	ion of Structu nstitute of Ste	ıral Steel for		.0	⊿ .	Δ	<		
18,-0			2. Structurc Grade B	al tubular sections s (Fy=46,000 psi). ng electrodes shall c	nall comply wi		)	2,-					
			4. All steel dipped g A-446 v	deck type "B" shall jalvanized steel G-9 with a minimum yield	be rolled—forr D coating conf J strength of	med from hot forming to ASTN 33,000 psi.	М	<b>_</b>	4	 ₹		•	
20		1	dipped g A-446 v	deck type "D" shall Jalvanized steel G-9 with a minimum yield	) coating conf d strength of	forming to ASTN 36,000 psi.				∠ 		<b>1'-4</b> "	
		*	Noted) 7. All expan	bolts shall conform isions and expansion Watilety according to	bolts shall be	e Hilti and				<u>ک</u> . <	αΔ	· · · · · · · · · · · · · · · · · · ·	· ·
			1. Concrete	masonry units shall of 1,350 psi and sh	be Type N-I	with compressiv			SEC				2
			ASTM C27 3. Grout sha	Il be meet the requi	rements of AS	STM C476-83		(	GRADE	BEAM	#2)	\ <u>S</u> -	_101⁄
			4. All cells w 5. Horizontal	ump of 9" with a co ith vertical reinforce reinforcement shall nerwise noted reinfor	ment shall be be Truss Type	filled with grou e.							
			4" 6"	Vertical Reinf. #3 @16" or #4 @32 #3 @16" or #4 @32	." Dur-0-1	Wal STD E.O. Co			FO		<u>GS</u>	CHEE	JUL
			F. Design Lo. <b>1. Live Load</b>	ls	-		FOOTING		A .				
				tairs torage	20 psf 100 psf 125 psf 00 psf		MK'D		A x A			1	
			e) M 2. Wind Loa	echanical Room 2	00 psf 50 psf •2016		F-1		6" x 5'-6			4"	
			3. Seismic I a) A	_oads s per IBC−2018			F-2		•0" × 7'-(			6"	
			G. Applicabl <b>1. ACI 318–</b> <b>2. IBC–2018</b> <b>3. ANSI /AS</b>	2016 3			F-3		·6" × 4'-6			2"	
			3. ANSI/AS( 4. AISC 5. AWS	J⊑ /-ZUI0			F-4	2'-	6" x 2'-6	6"	1	2"	

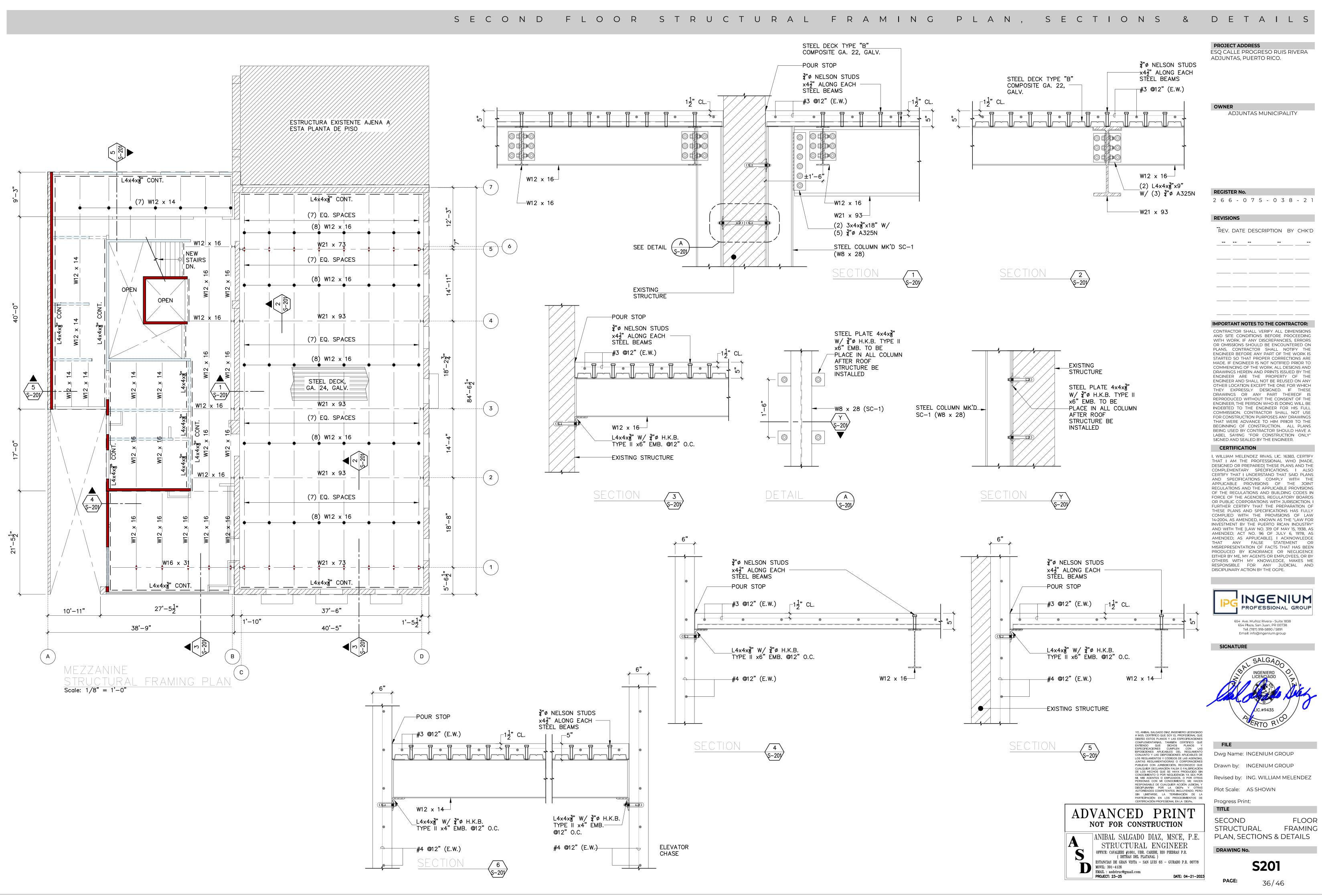


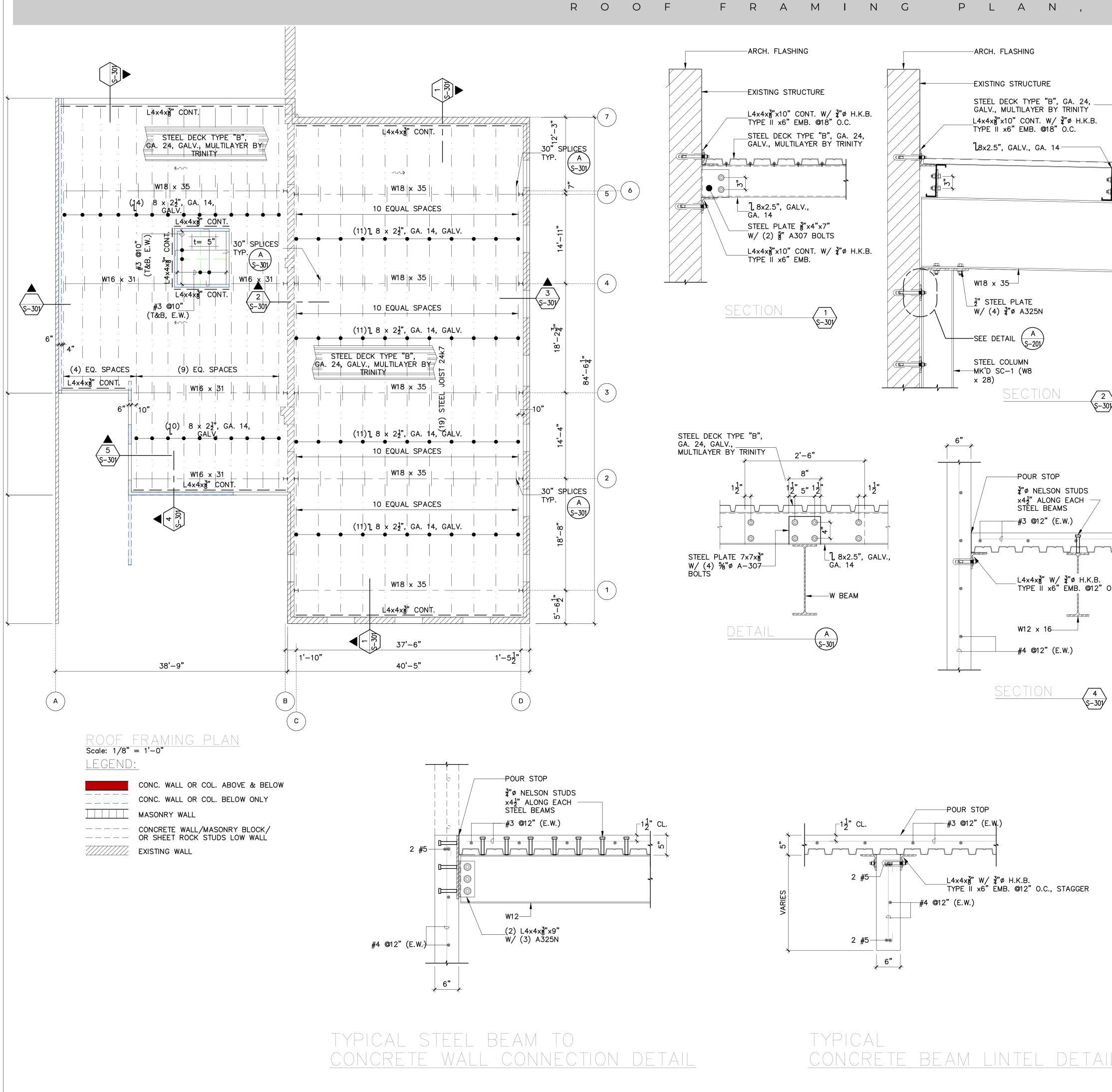




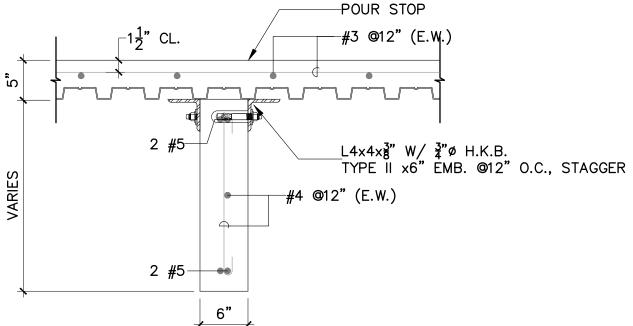
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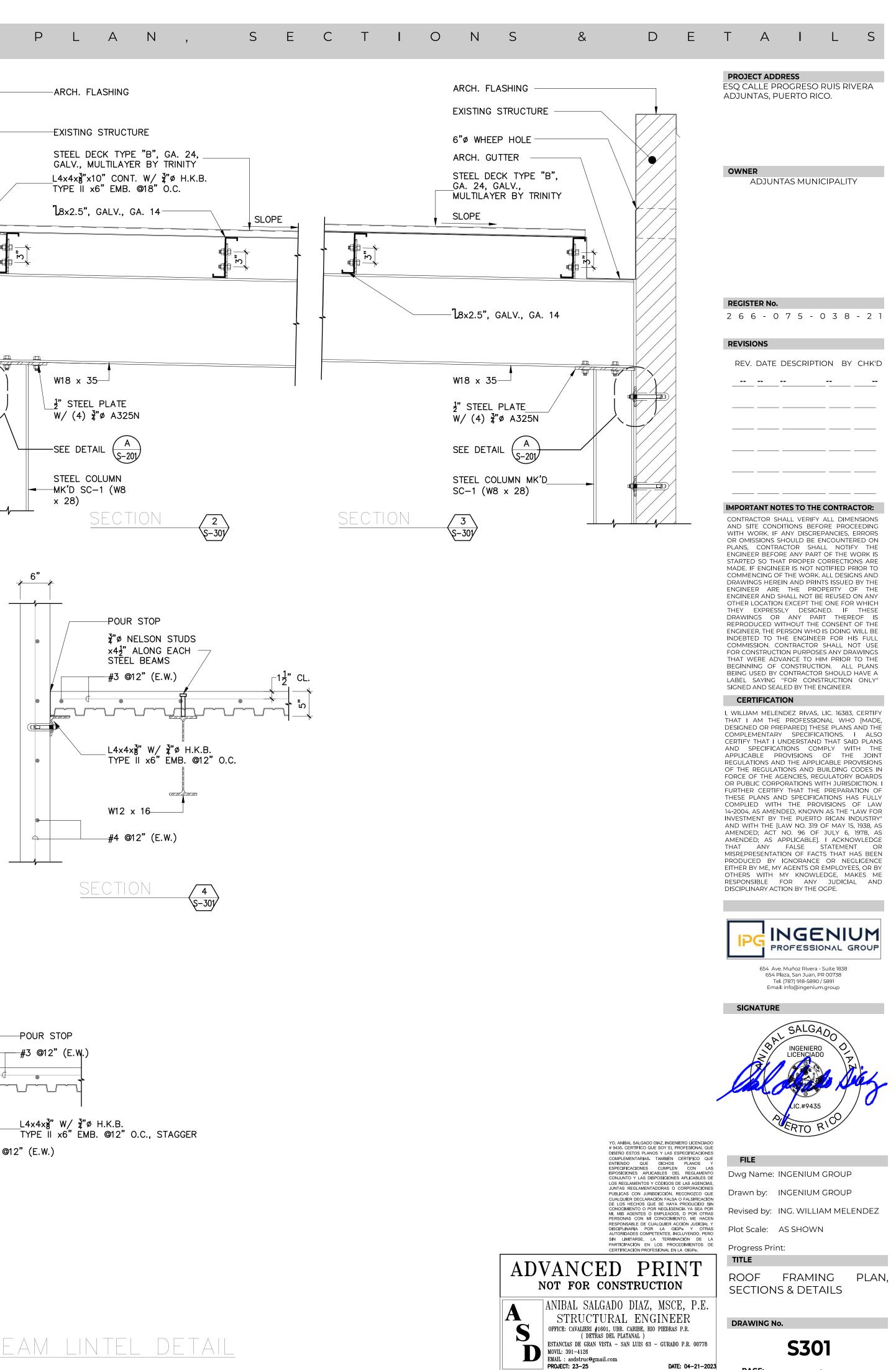






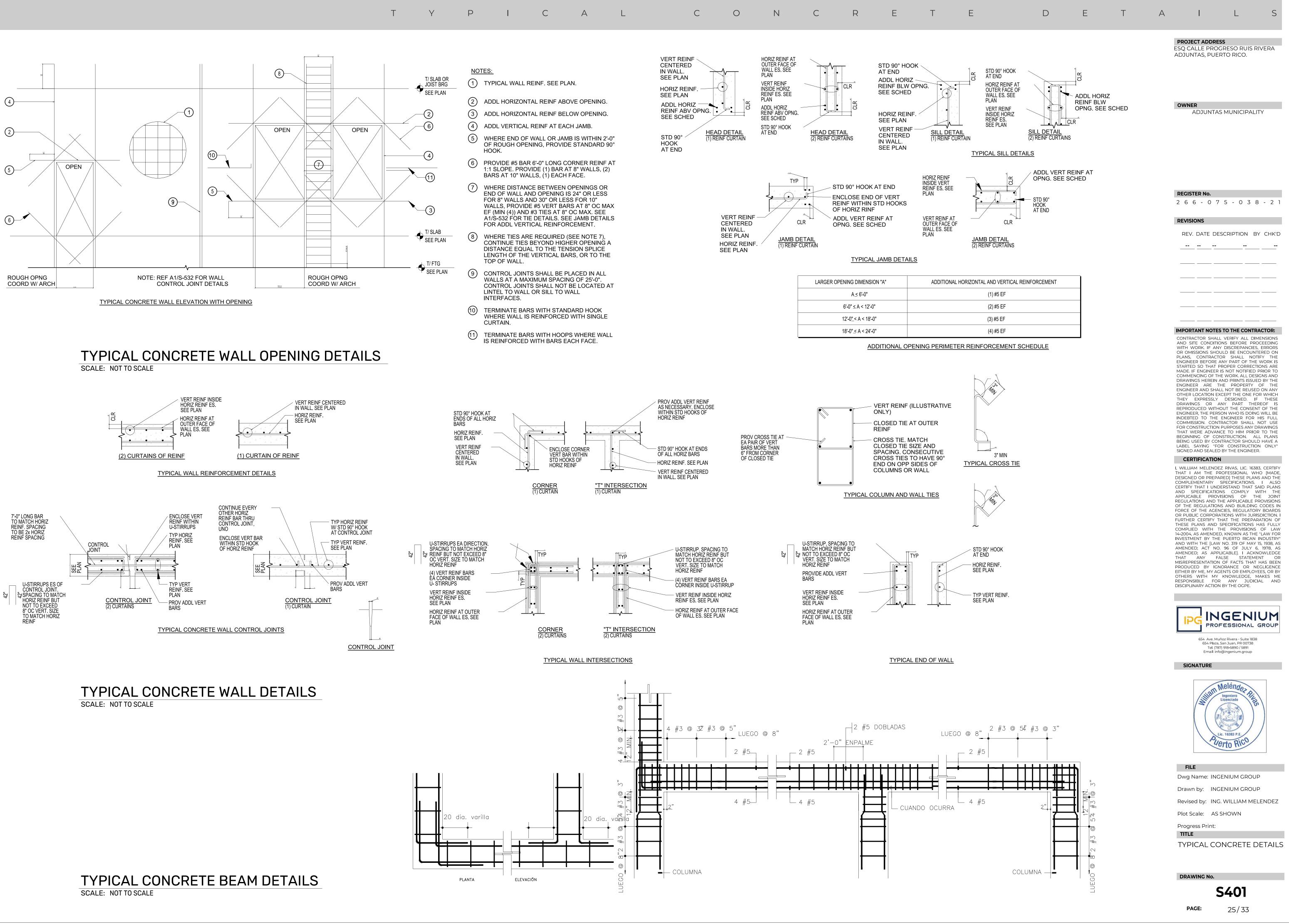
# CONCRETE BEAM LINTEL DETAIL

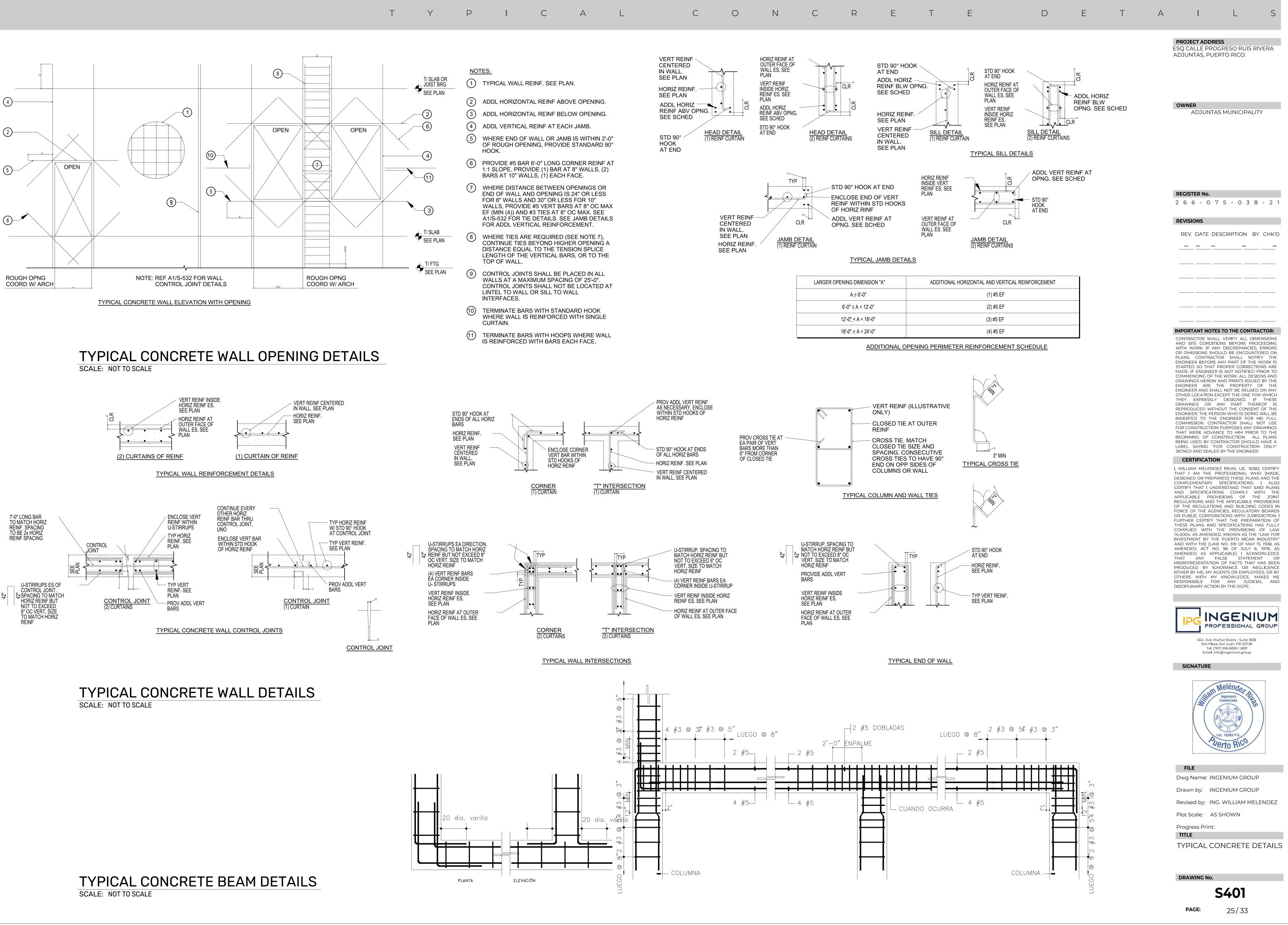




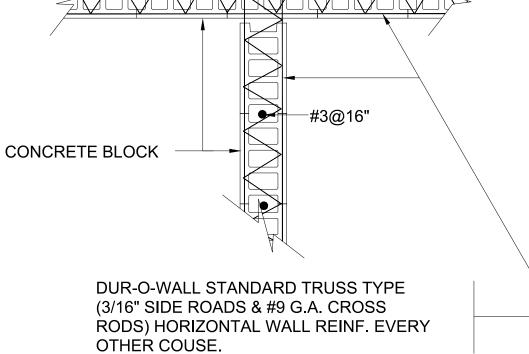
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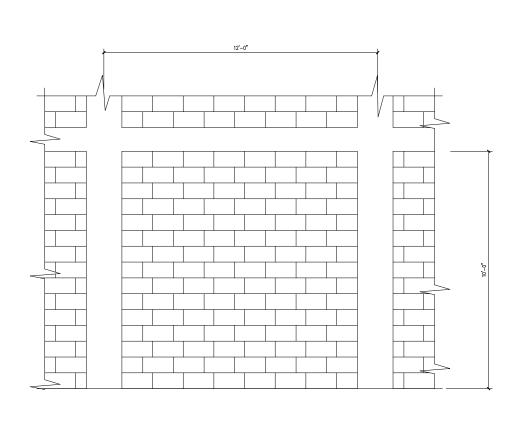




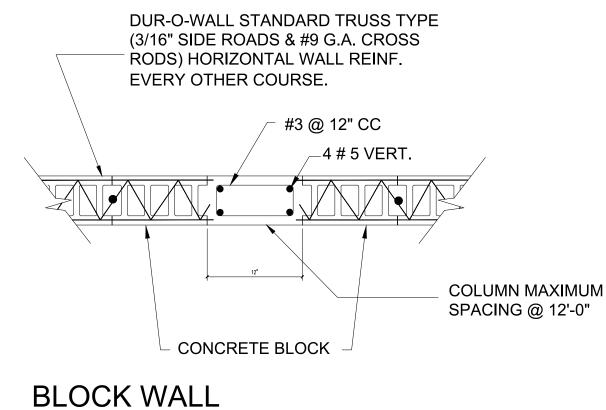
## **EXTERIOR & INTERIOR MANSORY** WALLS REINFORCEMENT



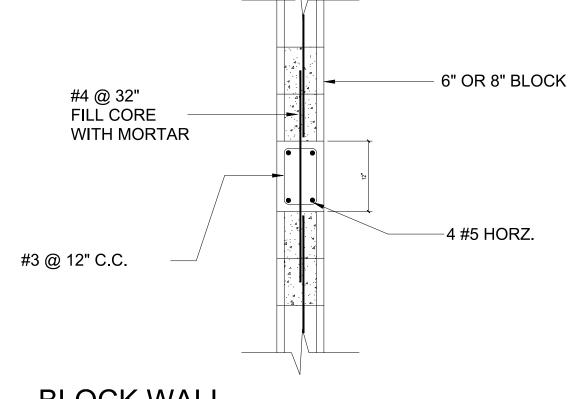
### TYP. COLUMN & BEAM STIFFENER IN HOLLOW BLOCK WALL



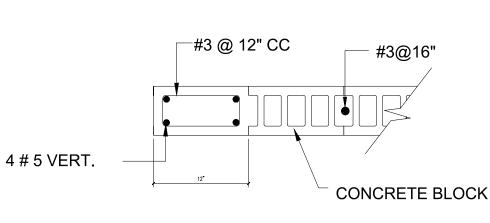
## **BLOCK WALL** INTERMEDIATE TIE BEAM



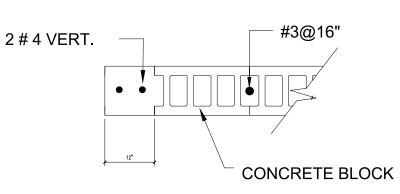
INTERMEDIATE TIE COLUMN



## TYP. LINTEL FOR BLOCK WALL



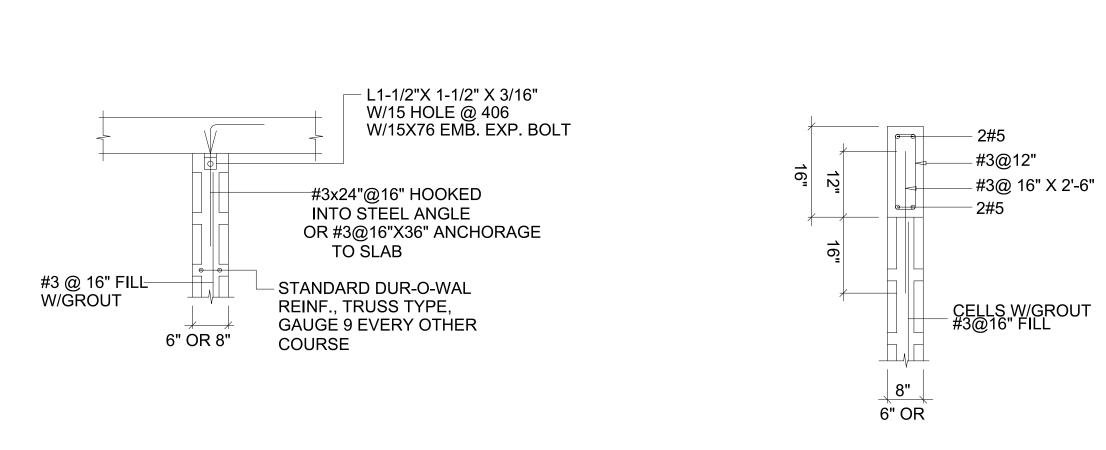
## TYP. END OF BLOCK WALL



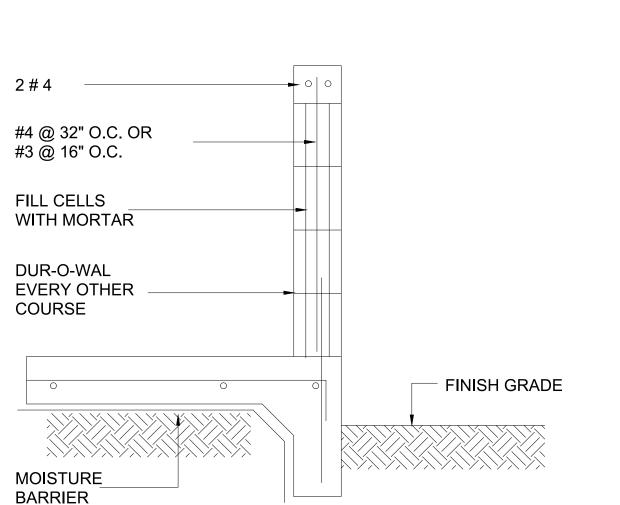
TYP. JAMB OF BLOCK WALL

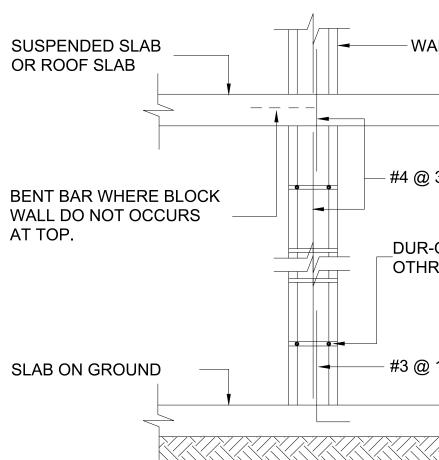
## **BLOCK WALL ANCHORING AT SLABS**

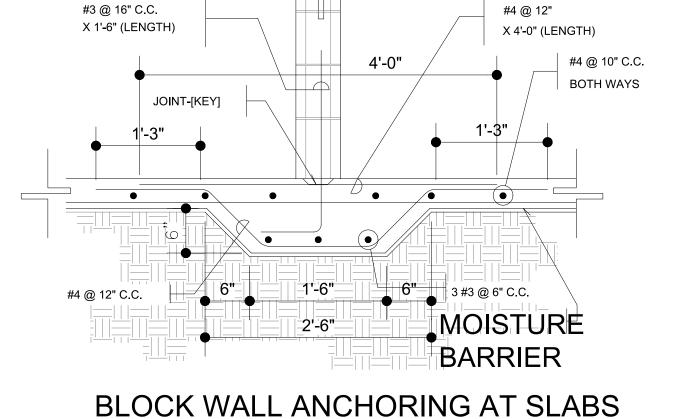
## **BLOCK WALL TOP BEAM**



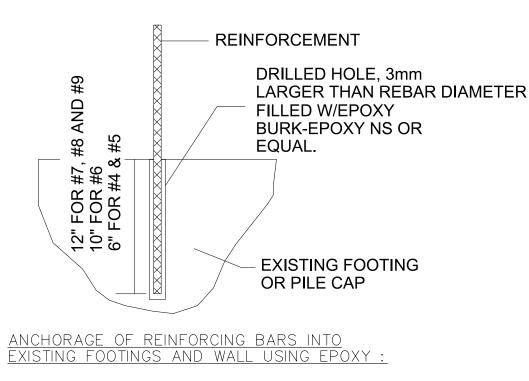
## EXTERIOR BLOCK WALL ANCHORING

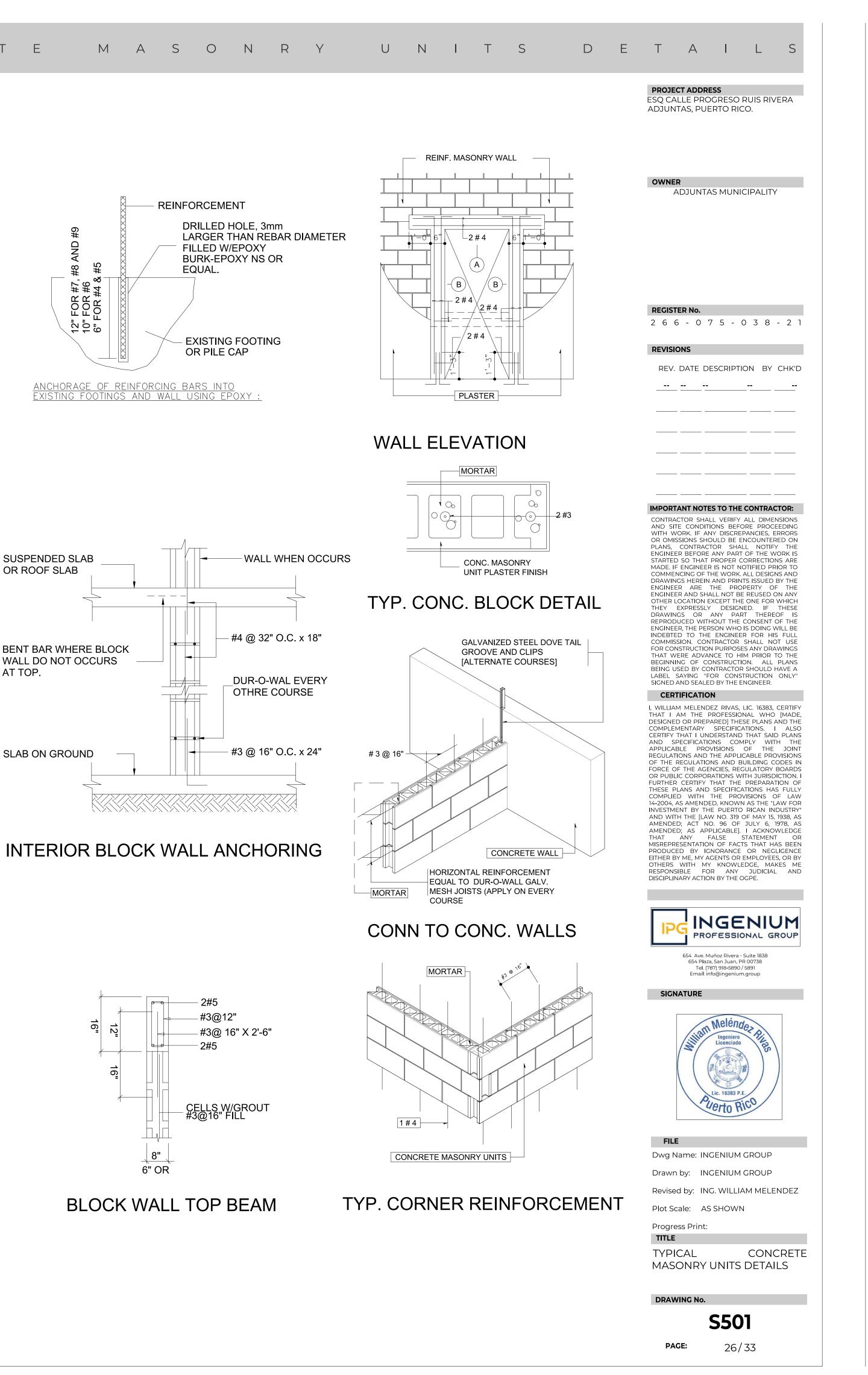






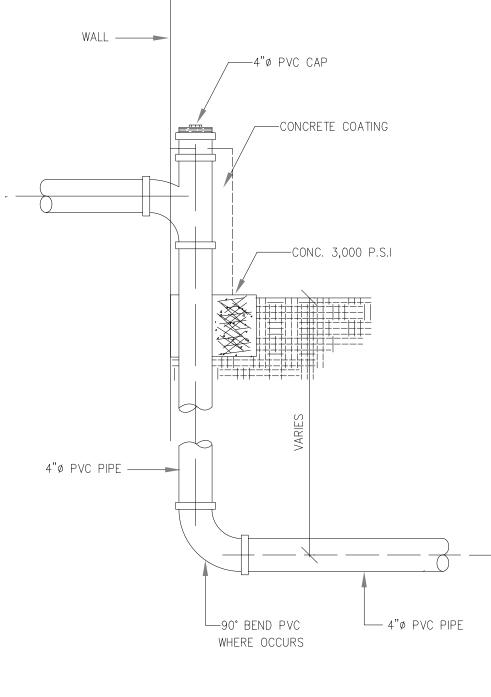
6"



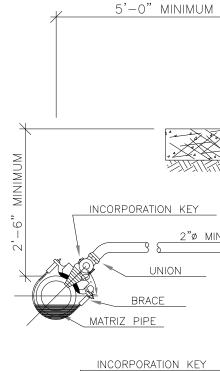


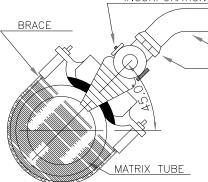
### PLUMBING GENERAL NOTES:

- 1. ALL PLUMBING WORK SHALL BE IN STRICT ACCORDANCE WITH THE DEPARTMENT OF HEALTH OF P.R., THE LOCAL BUILDING CODE, THE NATIONAL PLUMBING CODE (A.S.A. A 40 8–1955) AND THE SPECIFICATIONS ISSUED FOR THIS PROJECT.
- 2. CLEANOUTS SHALL BE OF THE SAME NOMINAL SIZE AS THE PIPE DIAMETER UP TO 4".
- 3. THE CONTRACTOR SHALL FURNISH AND SET IN PLACE BEFORE CONCRETE POURING ALL NECESSARY SLEEVES FOR WASTE OR SOIL, COLD WATER LINES. THESE SLEEVES SHALL BE AS PER THE SPECIFICATIONS.
- 4. THE PLUMBING CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF THE PIPING TO AVOID ANY INTERFERENCE WITH PIPING AND/OR EQUIPMENT BEING INSTALLED BY OTHER CONTRACTORS.
- 5. FOR FIXTURES AND/OR EQUIPMENT NOT LISTED IN THE SCHEDULE, SEE THE SPECIFICATIONS.
- 6. CLEANOUTS SHALL BE PLACED AS SHOWN ON DRAWINGS.
- 7. THE CONTRACTOR SHALL VERIFY IN FIELD ALL INVERT ELEVATIONS AND SHALL MAKE ANY NECESSARY ADJUSTMENT AS REQUIRED BY FIELD CONDITIONS AND AS REQUIRED, TO OBTAIN THE PROPER SLOPES.
- 8. IT IS THE INTENTION OF THE DRAWINGS TO CALL FOR FINISHED WORK, COMPLETE, TESTED AND READY FOR OPERATION. MINOR DETAILS NOT SHOWN OR SPECIFIED, BUT NECESSARY FOR THE PROPER INSTALLATION AND FOR FUNCTIONING AND OPERATION OF THE SYSTEM SHALL FORM PART OF THE WORK TO BE DONE BY THE CONTRACTOR.
- 9. BIDDERS SHALL VISIT THE SITE AND ACQUAINT THEMSELVES WITH THE CONDITIONS AS THEY ACTUALLY EXIST AND VERIFY DIMENSIONS, LOCATIONS AND DETAILS REQUIRED TO COMPLETE THE WORK. WHICH WILL BE THE ONLY OPPORTUNITY FOR POTENTIAL CONTRACTORS TO SEE THE SITE. FAILURE TO VISIT THE PROJECT AREA WILL IN NO WAY RELIEVE THE SUCCESSFUL BIDDER OF FURNISHING ALL MATERIAL AND PERFORMING ALL WORK REQUIRED FOR THE COMPLETION OF THE CONTRACT. VISITS TO THE PROJECT AREA SHALL BE ARRANGED THROUGH THE OWNER.
- 10. PROVIDE ACCESS FOR OPERATION AND MAINTENANCE TO EVERY PLUMBING VALVE. ACCESS SHALL BE AS REQUIRED BY ARCHITECT.
- 11. THE CONTRACTOR SHALL, WITHOUT EXTRA CHARGE, MAKE REASONABLE MODIFICATIONS IN THE LAYOUT, AS NEEDED, TO PREVENT CONFLICT WITH WORK OF OTHER TRADES OR FOR PROPER EXECUTION OF THE WORK.
- 12. CONTRACTOR SHALL LOCATE IN FULLY ACCESSIBLE POSITIONS ALL EQUIPMENT WHICH MUST BE SERVICED, OPERATED, OR MAINTAINED.
- 13. ALL UNDERGROUND COPPER PIPING SHALL BE TYPE "K", DIAMETER AS INDICATED.
- 14. ALL COPPER PIPING ABOVE FINISH FLOOR ELEVATION SHALL BE TYPE "L", DIAMETER AS INDICATED.
- 15. ALL WASTE, SANITARY AND STORM DRAINAGE LINES SHALL BE PVC SCH-40.
- 16. ALL PIPING SHALL BE CONCEALED IN FLOOR TOPPINGS, WALL OR CHASES UNLESS OTHERWISE NOTED.
- 17. LONG SWEEP BENDS OR LONG SWEEP FITTINGS SHALL BE PROVIDED AT THE BASE OF ALL STACKS.
- 18. CLEANOUTS SHALL NOT BE MORE THAN 100 FEET APART
- 19. THE PLUMBING CONTRACTOR SHALL COORDINATE HIS/HER PORTION OF THE WORK WITH THE GENERAL CONTRACTOR AND SHALL PROVIDE SLEEVES AT SLABS OR BEAMS FOR PIPING LAYOUT AND FIXTURES INSTALLATION.
- 20. ALL FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER SPECIFICATIONS.
- 21. SIZES SHOWN IN FIXTURES SCHEDULE ARE MINIMUM AND SHALL BE INCREASED AS NECESSARY TO COMPLY WITH CODE REQUIREMENTS OR AS SHOWN ON DRAWINGS.
- 22. SINGLE AND DOUBLE TEES AND QUARTER BENDS SHALL BE USED IN LINES ONLY WHERE THE DIRECTION OF FLOW IS FROM THE HORIZONTAL TO THE VERTICAL.
- 23. ALL HORIZONTAL PORTIONS OF SOIL STACKS AND BRANCHES SHALL HAVE MINIMUM SLOPE OF 1/4" PER FOOT FOR PIPES 3" DIAMETER OR LESS. 1/8" PER FOÓT FOR PIPES 4" OR LARGER IN DIAMETER.
- 24. THE PLUMBING CONTRACTOR SHALL COORDINATE HIS/HER WORK IN ORDER TO AVOID ANY INTERFERENCE WITH THE WORK OF OTHER CONTRACTORS AND THE INSTALLATION OF FIXTURES AND OR EQUIPMENT BY OTHERS.
- 25. GATE VALVES LOCATED UNDERGROUND OR BELOW FLOOR SLABS SHALL BE INSTALLED WITHIN A CAST IRON OR CONCRETE BOX WITH 9 X 9 J.R. SMITH ACCESS COVER FIG. 4915-U.
- 26. PLUMBING CONTRACTOR SHALL PROVIDE ALL NECESSARY SERVICES AND/OR CONNECTIONS REQUIRED FOR THE PLUMBING FIXTURES AND/OR EQUIPMENT SHOWN ON THE FIXTURES PLANS.
- 27. PLUMBING CONTRACTOR SHALL PROVIDE ALL NECESSARY ROUGHING-IN AND SHALL INSTALL THE PLUMBING FIXTURES INDICATED ON THESE DRAWINGS.
- 28. WHENEVER REQUIRED OR NEEDED. THE PLUMBING CONTRACTOR SHALL PREPARE AND SUBMIT THE NECESSARY SHOP DRAWINGS FOR THE APPROVAL OF THE ARCHITECT.
- 29. BEFORE STARTING CONSTRUCTION, THE PLUMBING CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND ELEVATIONS OF EXISTING PIPE LINES TO REMAIN IN USE ANY SIGNIFICANT DISCREPANCY WITH THE INFORMATION SHOWN ON THESE DRAWINGS SHALL BE NOTIFIED TO THE ARCHITECT FOR REVISION AND/OR CLARIFICATION.
- 30. FIXTURES, FITTINGS, ACCESSORIES, MATERIAL AND ALL PLUMBING PRODUCTS SHALL BE AS PER SPECIFICATIONS ON THESE DRAWINGS AND CONTRACT SPECIFICATIONS. EQUAL OR SIMILAR SHALL BE ONLY ACCEPTED IF PREVIOUSLY APPROVED BY THE ARCHITECT.







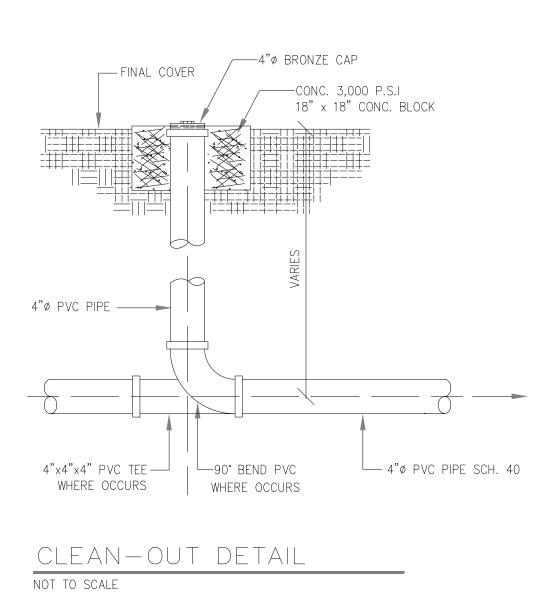


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LOCATION LOW EARTH WATER

TUBING
WATER TUBING ON EARTH OR EXPOSED
SANITARY PIPE OUTSIDE THE BUILDING
SANITARY PIPE INSIDE THE BUILDING

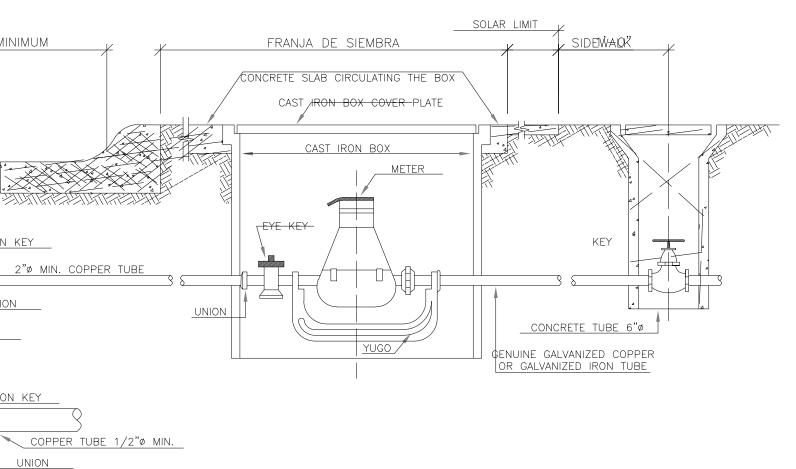
VENTILATION PIPING





### PLUMBING NOTES:

- 1. FOR FIXTURE SPECS. CONTRACTOR
- 2. COLD WATER PIPING SHALL BE 3/4
- 3. COLD WATER PIPING WITHIN STRUCT COPPER TYPE "L" RIGID.
- 4. ALL VENT LINES WITHIN THE STRUCT EXCEPT OTHERWISE INDICATED.
- 5. ALL PIPING SHALL BE CONCEALED CHASES UNLESS OTHERWISE INDICAT
- 6. LONG SWEEP BENDS OR LONG SWE BASE OF ALL STACKS.
- 7. CLEAN OUTS NOT MORE THAN 50'-SANITARY LINES.
- 8. THE PLUMBING CONTRACTOR SHALL FOR LEAVING SLEEVES AT SLABS OF INSTALLATIONS.
- 9. ALL FIXTURES SHALL BE INSTALLED SPECIFICATIONS.
- 10. THE PLUMBING WORK SHALL BE IN CODE, THE NATIONAL PLUMBING CO SPECIFICATIONS ISSUED FOR THIS F
- 11. SIZES SHOWN IN FIXTURE SCHEDUL NECESSARY TO COMPLY WITH CODES
- 12. ALL VALVES NOT EXPOSED SHALL FOR OPERATION AND MAINTENANCE REQUIRED BY THE ENGINEER.
- 13. SINGLE AND DOUBLE TEES AND QU, ONLY WHERE THE DIRECTION OF FL
- 14. THE PLUMBING CONTRACTOR SHALL PIPING TO AVOID INTERFERENCE WIT BY THE GENERAL CONTRACTOR.

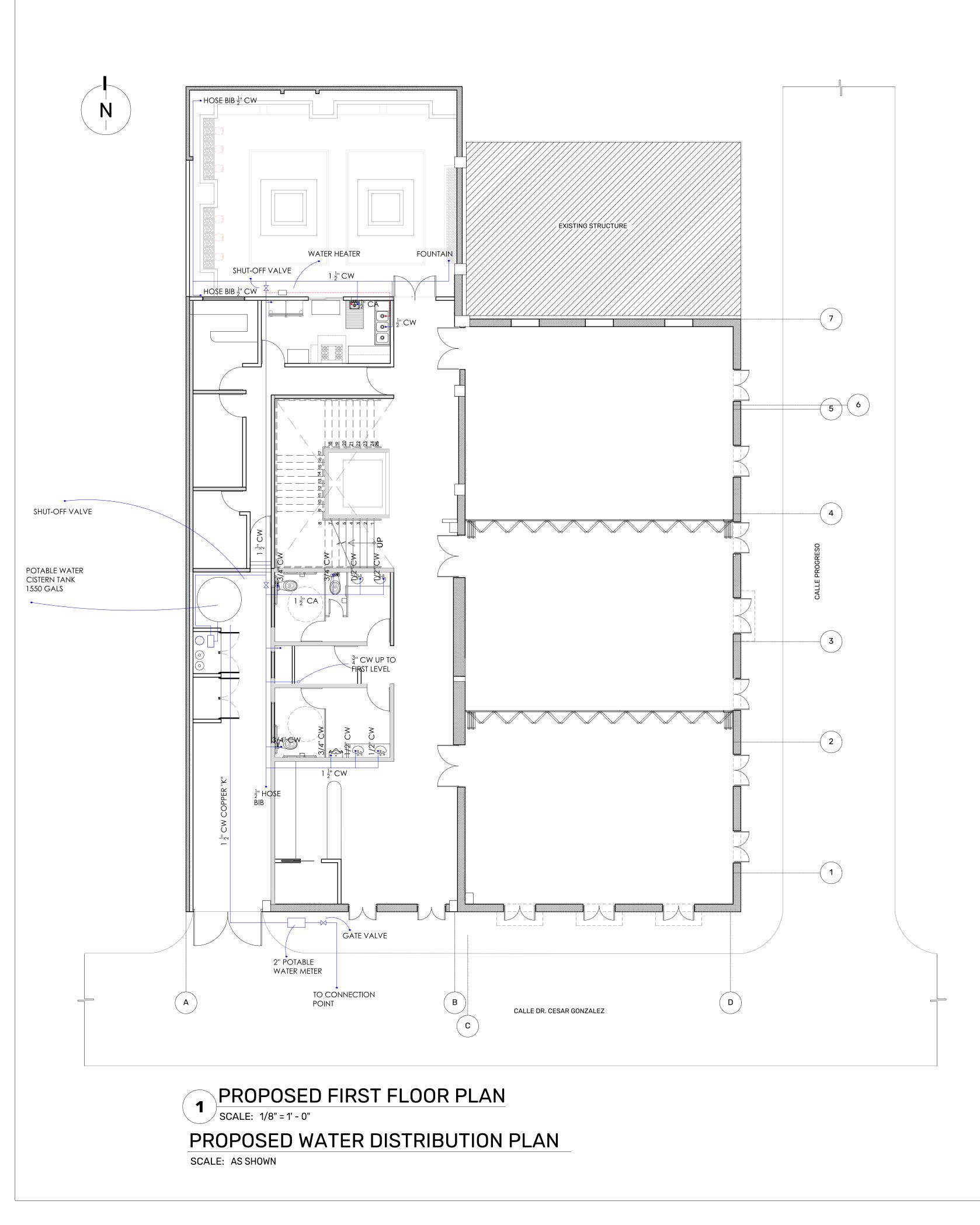


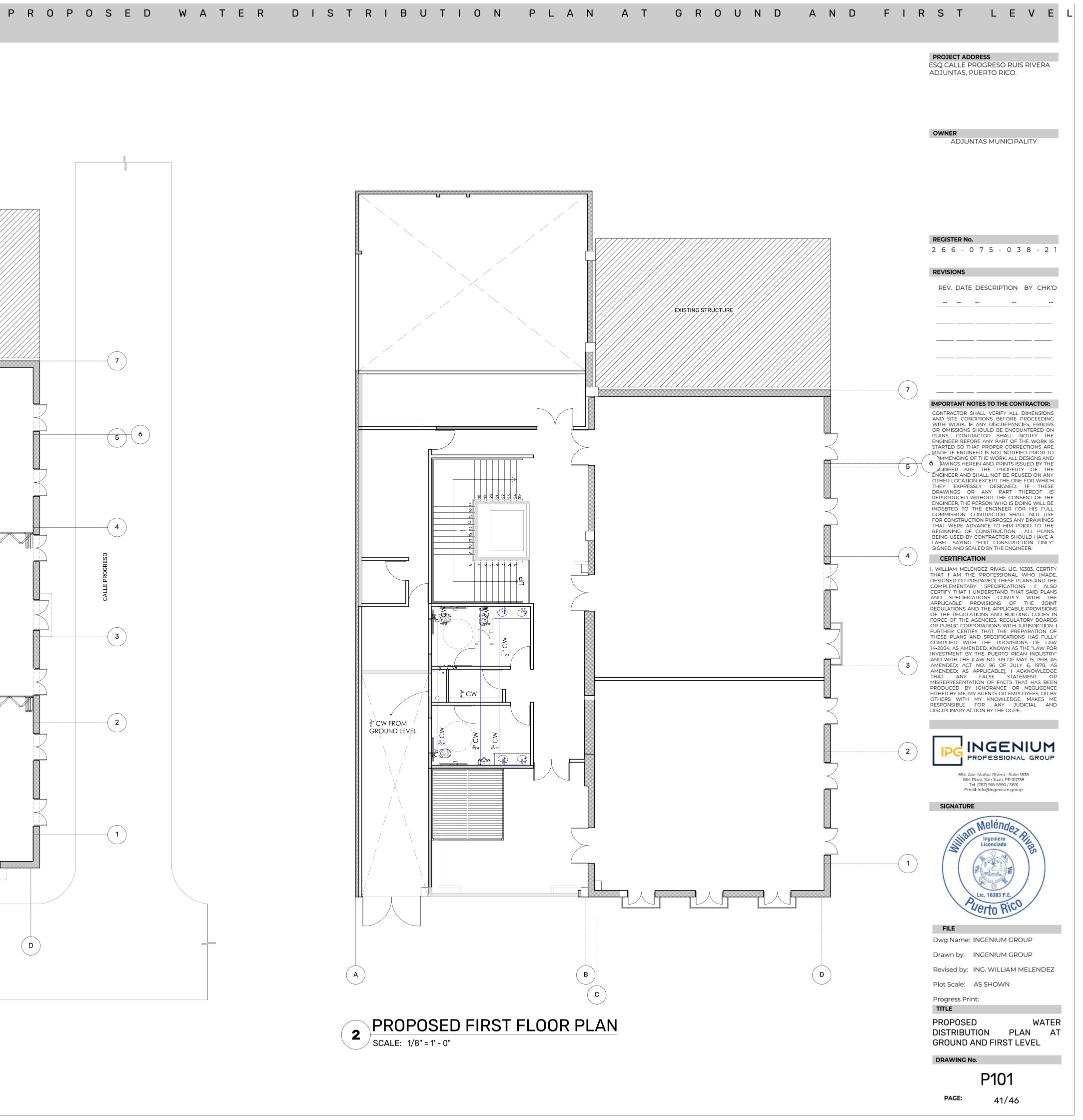
DETAIL OF WATER METER & SHUTOFF VALVE

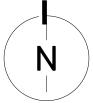
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				<b>PROJECT ADE</b> ESQ CALLE PI ADJUNTAS, P	ROGRESO RU	
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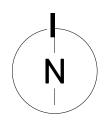
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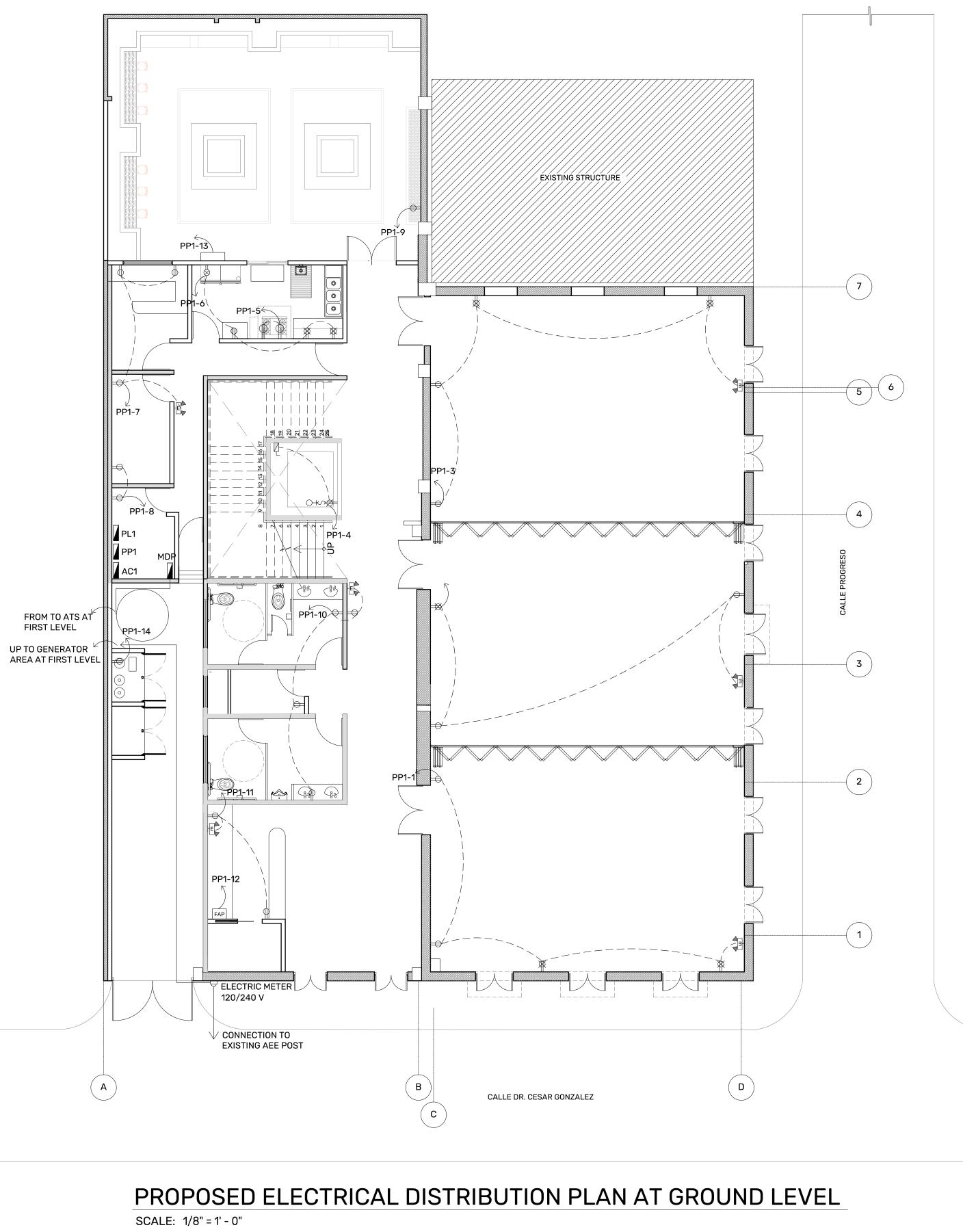








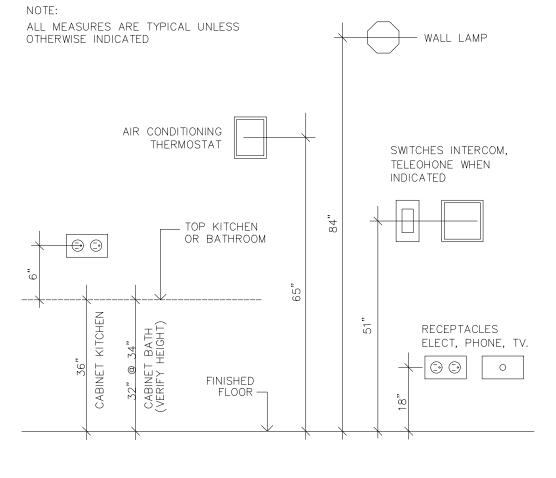








- SINGLE SWITCH GROUNDING TYPE 14 AMPS. 120/277 VOLTS, 4 INCH BOX WITH RAISER COVER CAT. NO. 770 RACO OR SIMILAR, 48" A.F.F. -<>>-LETTER INDICATES OUTLET TO BE CONTROLLED, 48" A.F.F
- a.b SAME AS ABOVE EXCEPT DUPLEX LETTER INDICATES OUTLET TO BE CONTROLLED.
- DUPLEX GROUNDING CONV. RECEPTACLE 15 AMPS, 125 VOLTS, 4  $\Rightarrow$ INCH SQ. BOX WITH RAISER COVER CAT. NO. 770 RACO OR SIMILAR 18"
- A.F.F DUPLEX GROUNDING CONV. RECEPTACLE 15 AMPS, 125 VOLTS, 4  $\Rightarrow$ INCH SQ. BOX WITH RAISER COVER CAT. NO. 770 RACO OR SIMILAR 42" A.F.F
- $\exists \bigotimes$ SINGLE GROUNDING CONV. RECEPTACLE FOR REFRIGERATOR [20A-125V]
- KITCHEN HOOD POINT OF CONNECTION [20A-125V @ CEILING]  $\Rightarrow$
- SINGLE GROUNDING CONV. RECEPTACLE FOR MICROWAVE OVEN [20A-125V]
- DOUBLE GROUND FAULT INTERRUPTED OUTLET WITH WATER PROOF COVER AND ANTI-ELECTROCUTION [20A-125V @ 18"] PB-#
- NEW PANEL BOARD TO BE INSTALLED
- EMERGENCY LIGHT 4 INCH OCTAGONAL BOX



#### 4. THE CONTRACTOR SHALL BE CONNECT TO THE EXISTING METER. VERIFY CONDITIONS ON FIELD.

- 3. THE DISTRIBUTION OF THE WIRES FOR SMOKE DETECTORS, EXIST LIGHTS AN EMERGENCY LIGHT WILL BE DETERMINED ON FIELD.
- 2. THE ELECTRICAL CONDUIT DISTRIBUTION SHALL BE COORDINATED AT FIELD.
- ALL ELECTRICAL SMOKE DETECTOR SHALL BE TANDEN CIRCUIT CONNECTION (PLUG TAP) AT EACH SPACE. (WIRING PER MANUF. SPECS.)

### IMPORTANT NOTES:

- 25- USE "LIQUID TIGHT" FLEXIBLE MATALIC CONDUIT FOR ALL MOTOR AND/ OR GENERATOR CONNECTION. 26- EXPANSION FITTINGS SHALL BE USED FOR EVERY CONDUIT CROSSING BUILDING EXPANSIC JOINTS.
- 24- ALL PANELS, METERS, SAFETY SWITCHES, ETC., SHALL BE LA BELED SO AS TO IDENTIFY THEIR USE AND VOLTAGE, IN AN ACCEPTED AND APPROVED MANNER.
- 22- CONTRACTOR SHALL BALANCE ALL LOADS. 23- ALL EXPOSED CONDUIT SHALL BE RIGID GALVANIZED STEEL.
- 21- FURNISHED AND INSTALL ALL TELEPHONE CONDUITS AS SHOWN ON DRAWINGS. PROVIDE PULL STING IN ALL CONDUITS (FISH WIRE).
- 20- ALL PANELS SWITCHES, STARTERS, CONTROL DEVICES AND MICS ELECTRICAL APPARATUS SHALL BE CLEARLY MARKED WITH ENGRAVED PLASTIC NAMEPLATES FOR EASY IDENTIFICATION AND SAFETY. ALL PANELBOARD CIRCUITS SHALL BE PROPERLY IDENTIFIED WITH TYPE WRITTEN PLASTIC PROTECTED DIRECTORIES ON SUITABLE CARDS WHICH SHALL BE MOUNTED INTO CORRESPONDING PANELBOARD DOORS.
- 19- PROVIDE #10 WIRE ON ALL 20 AMP CIRCUIT 75 FEET OR LONGER, UNLESS OTHERWISE INDICATED.
- AND REGULATIONS OF PREPA. 18– PROVIDE ELECTRICAL 6" WIDE YELLOW IDENTITY TAPE FOR UNDERGROUND CABLES THE TAPE SHALL BE PERMANENTLY PRINTED WITH CONTINUOS BLACK LETTERS 1 1/4"x5/8" WITH THE WORDS "PELIGRO-PELIGRO-PELIGRO" ON THE EDITION.
- 16- ALL SWITCHES AND RECEPTACLE SHALL BE IVORY COLORED WITH IVORY BAKELITE PLATES. 17- THE DIMENSIONS OF THE ELECTRICAL CABINET WILL BE SUBJECT TO THE RULES
- EXISTING FIELD CONDITIONS. IF SHALL BE THE DIRECT RESPONSIBILITY OF THE CONTRACTOR TO BRING PROMPTLY TO THE ATTENTION OF THE ENGINEER ANY DISCREPANCIES BETWEEN THE EXISTING FIELD CONDITIONS AND THOSE THAT WERE USED FOR DESIGN PURPOSE. THIS SHALL BE DONE BEFORE THE CONTRACTOR SUBMITS HIS BID, SO THAT THE ENGINEER CAN RENDER A DECISION ON THE MATTER BEFORE THE BIDS ARE RECEIVED. THE SUBMITTAL OF THE BID BY THE CONTRACTOR WILL BE HELD AS PROOF THAT THE CONTRACTOR UNDERSTANDS THOROUGHLY AND COMPLETELY AS THE SCOPE THE WORK INVOLVED. HAS THOROUGHLY AND COMPLETELY AS THE SCOPE THE WORK INVOLVED. HAS FAMILIARIZED HIMSELF WITH THE EXISTING FIELD CONDITIONS AND HAS INCLUDED ON HIS ALL THE NECESSARY ITEMS TO CARRY OUR THE ELECTRICAL WORK. NO ALLOWANCE WILL BE PERMITTED ON THIS MATTER AFTER THE BIDS ARE RECEIVED.
- 14- ALL OUTLETS SHALL HAVE ITS OWN INDEPENDENT OUTLET BOX MINIMUM SIZE OF OUTLET BOX TO BE 4" SQUARE BY 1 1/2" DEEP EXACT SIZE OF OUTLET BOX TO BE DETERMINED ACCORDING TO THE MAXIMUM NUMBER OF CONDUCTORS IN THE BOX PER N.E.C. ARTICLE 370-SECTION 16.

15- THE CONTRACTOR SHALL VISIT THE JOB SITE AND BECOME ACQUAINTED WITH THE

- CONTINUITY. 13- ALL THE ELECTRICAL INSTALLATION SHALL BE DONE IN A NEAT AND WORKMANLIKE MANNER, ACCORDING TO THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE, THE PUERTO RICO ELECTRICAL POWER AUTHORITY LATEST STANDARDS AND PUERTO RICO TELEPHONE COMPANY OR COMMUNICATIONS AUTHORITY LATEST PRACTICES.
- 11- PROVIDE CONDUIT PLASTIC DIVIDERS IN ALL UNDERGROUND CONDUIT RUNS. MAXIMUM DISTANCE BETWEEN DIVIDERS TO BE 4'-0". 12- CONTRACTOR MUST MAKE SURE THAT THE ENTIRE ELECTRICAL SYSTEM HAS GROUND
- 10- PROVIDE EXPANSION JOINT COUPLINGS OF THE REQUIRED TYPE AND SIZE WHENEVER A CONDUIT CROSSES AN EXPANSION JOINT.
- 9- ALL UNDERGROUND CONDUIT COUPLINGS SHALL BE WATERTIGHT.
- 7- UNLESS OTHERWISE INDICATED (IN THE PANELBOARD) ALL CONDUITS SHALL BE EMT PER CEILING, FOR UNDERGROUND, CONCRETE SLAB, AND WALL CONDUIT USE PVC SCHEDULE 40. 8- UNLESS OTHERWISE INDICATED ALL CONDUITS SHALL BE 3/4" DIAMETER MINIMUM.
- 6- PROVIDE #12 AWG GREEN JUMPER BETWEEN RECEPTACLE GROUNDING SCREW AND OUTLET BOX GROUNDING SCREW.
- 5- PROVIDE GROUND WIRE IN ALL THE CONDUITS THAT ARE INDICATED TO BE PVC. SCHEDULE 40.
- 4- UNLESS OTHERWISE INDICATED, ALL WIRES AND CABLES SHALL BE COPPER.
- 2- UP TO #10 AWG USE WIRE, ALL LARGER SIZES BE CABLE. 3- ALL WIRE SHALL BE 600 VOLTS INSULATION THWN-STRANDED WIRES.
- 1- UNLESS OTHERWISE INDICATED ALL WIRES AND CABLES SHALL BE #12 AWG.
- <u>GENERAL NOTES:</u>

### PROJECT ADDRESS ESQ CALLE PROGRESO RUIS RIVERA ADJUNTAS, PUERTO RICO.

ADJUNTAS MUNICIPALITY

266-075-038-21

REV. DATE DESCRIPTION BY CHK'D

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IMPORTANT NOTES TO THE CONTRACTOR:

CONTRACTOR SHALL VERIFY ALL DIMENSIONS

AND SITE CONDITIONS BEFORE PROCEEDING

WITH WORK. IF ANY DISCREPANCIES, ERRORS

OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY THE

ENGINEER BEFORE ANY PART OF THE WORK IS

STARTED SO THAT PROPER CORRECTIONS ARE

MADE. IF ENGINEER IS NOT NOTIFIED PRIOR TO

COMMENCING OF THE WORK. ALL DESIGNS AND

ENGINEER ARE THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REUSED ON ANY

OTHER LOCATION EXCEPT THE ONE FOR WHICH

REPRODUCED WITHOUT THE CONSENT OF THE ENGINEER, THE PERSON WHO IS DOING WILL BE

INDEBTED TO THE ENGINEER FOR HIS FULL COMMISSION. CONTRACTOR SHALL NOT USE

FOR CONSTRUCTION PURPOSES ANY DRAWINGS

THAT WERE ADVANCE TO HIM PRIOR TO THE

BEGINNING OF CONSTRUCTION. ALL PLANS

BEING USED BY CONTRACTOR SHOULD HAVE A LABEL SAYING "FOR CONSTRUCTION ONLY"

I. WILLIAM MELENDEZ RIVAS, LIC. 16383, CERTIFY

DESIGNED OR PREPARED THESE PLANS AND THE COMPLEMENTARY SPECIFICATIONS. I ALSO

CERTIFY THAT I UNDERSTAND THAT SAID PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE PROVISIONS OF THE JOINT

REGULATIONS AND THE APPLICABLE PROVISIONS

OF THE REGULATIONS AND BUILDING CODES IN

FORCE OF THE AGENCIES, REGULATORY BOARDS

OR PUBLIC CORPORATIONS WITH JURISDICTION. I FURTHER CERTIFY THAT THE PREPARATION OF

THESE PLANS AND SPECIFICATIONS HAS FULLY

COMPLIED WITH THE PROVISIONS OF LAW

14-2004, AS AMENDED, KNOWN AS THE "LAW FOR INVESTMENT BY THE PUERTO RICAN INDUSTRY"

AND WITH THE [LAW NO. 319 OF MAY 15, 1938, AS AMENDED: ACT NO. 96 OF JULY 6, 1978, AS

AMENDED; AS APPLICABLE]. I ACKNOWLEDGE

THAT ANY FALSE STATEMENT OR MISREPRESENTATION OF FACTS THAT HAS BEEN PRODUCED BY IGNORANCE OR NEGLIGENCE

EITHER BY ME, MY AGENTS OR EMPLOYEES, OR BY

OTHERS WITH MY KNOWLEDGE, MAKES ME RESPONSIBLE FOR ANY JUDICIAL AND

> 654 Ave. Muñoz Rivera - Suite 1838 654 Plaza, San Juan, PR 00738 Tel. (787) 918-5890 / 5891 Email: info@ingenium.group

> > Melénd

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c. 16383 P

INGENIUM PROFESSIONAL GROUP

DISCIPLINARY ACTION BY THE OGPE.

THAT I AM THE PROFESSIONAL WHO [MADE,

SIGNED AND SEALED BY THE ENGINEER.

CERTIFICATION

THEY EXPRESSLY DESIGNED. IF THESE DRAWINGS OR ANY PART THEREOF IS

DRAWINGS HEREIN AND PRINTS ISSUED BY THE

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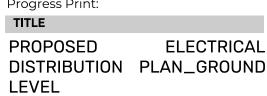
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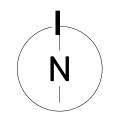
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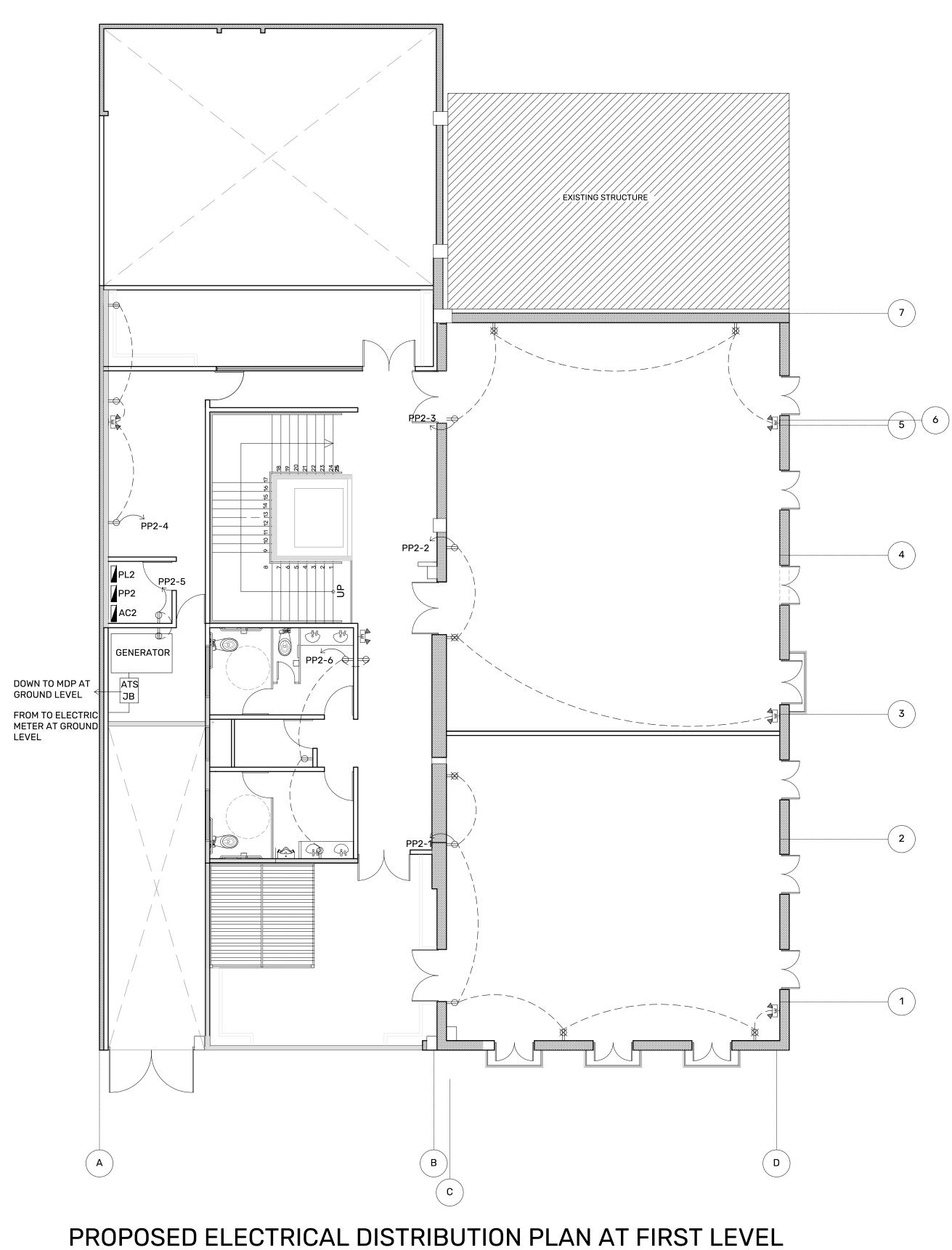
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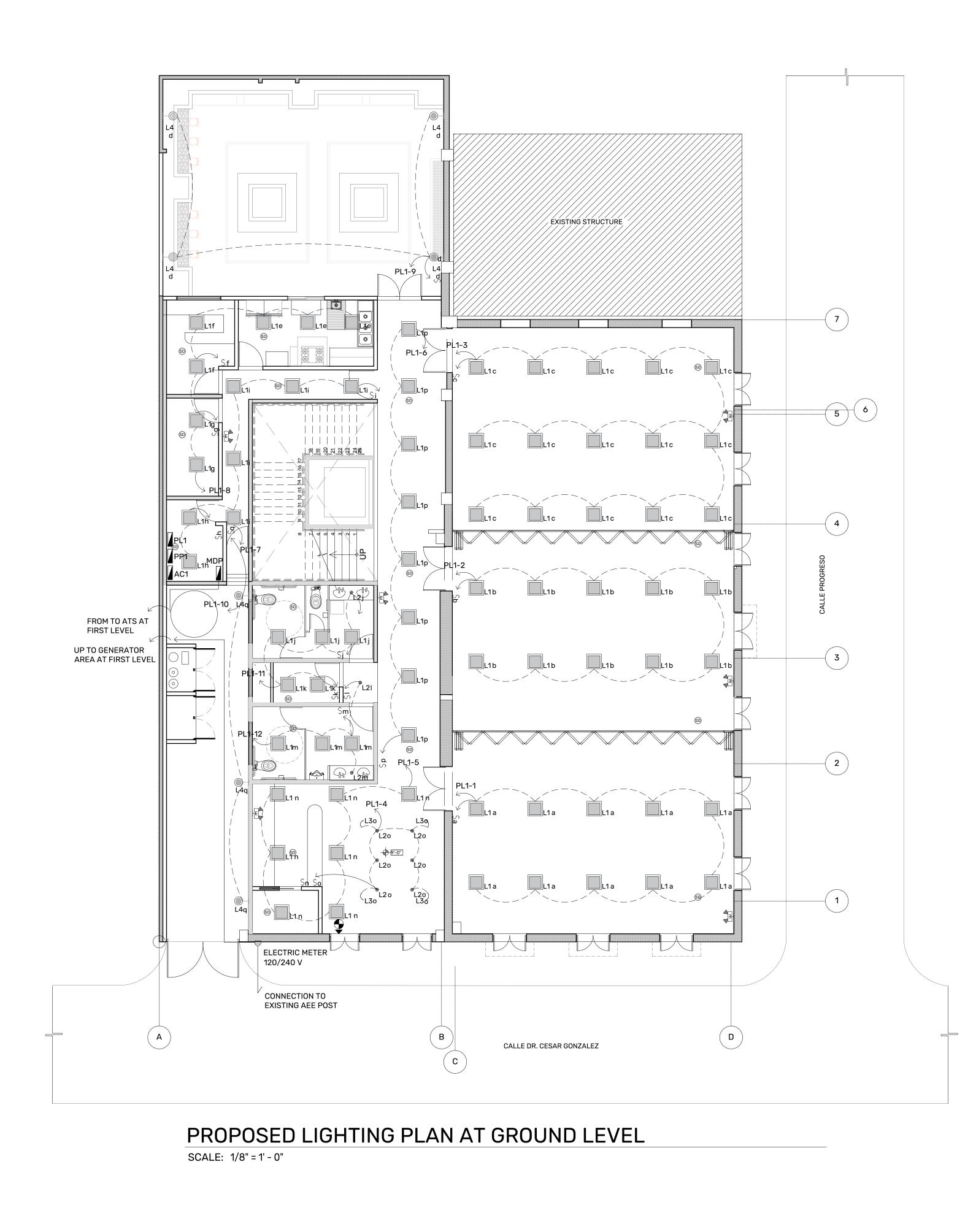
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### LEGEND:

SINGLE SWITCH GROUNDING TYPE 14 AMPS. 120/277 VOLTS, 4 INCH BOX WITH RAISER COVER CAT. NO. 770 RACO OR SIMILAR, 48" A.F.F. LETTER INDICATES OUTLET TO BE CONTROLLED, 48" A.F.F -<>>-

- SAME AS ABOVE EXCEPT DUPLEX LETTER INDICATES OUTLET TO BE CONTROLLED. a,b -<⁄>-
- DUPLEX GROUNDING CONV. RECEPTACLE 15 AMPS, 125 VOLTS, 4 INCH SQ. BOX WITH RAISER COVER CAT. NO. 770 RACO OR SIMILAR 18"  $\Rightarrow$
- A.F.F DUPLEX GROUNDING CONV. RECEPTACLE 15 AMPS, 125 VOLTS, 4 INCH SQ. BOX WITH RAISER COVER CAT. NO. 770 RACO OR SIMILAR  $= \bigotimes$ 42" A.F.F
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- =SINGLE GROUNDING CONV. RECEPTACLE FOR MICROWAVE OVEN [20A-125V]
- DOUBLE GROUND FAULT INTERRUPTED OUTLET WITH WATER PROOF COVER AND ANTI-ELECTROCUTION =
- [20A-125V @ 18"] 
   PB-#
   NEW PANEL BOARD TO BE INSTALLED
- EMERGENCY LIGHT 4 INCH OCTAGONAL BOX

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						L	654 Ave. Muñoz	Rivera - Suite 1838
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## LEGEND - LIGHTING SCHEDULE

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Leans A	L3 \	LED STRIP LIGHT	SKU: 152260	
		RODHAM BLACK LED	[CATALOG NUMBER:]	[REFLE
	L4	OUTDOOR WALL LANTERN SCONCE	SM136V 28S_34S_40S/830 PSD W20L120 OC W5	

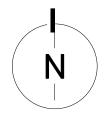
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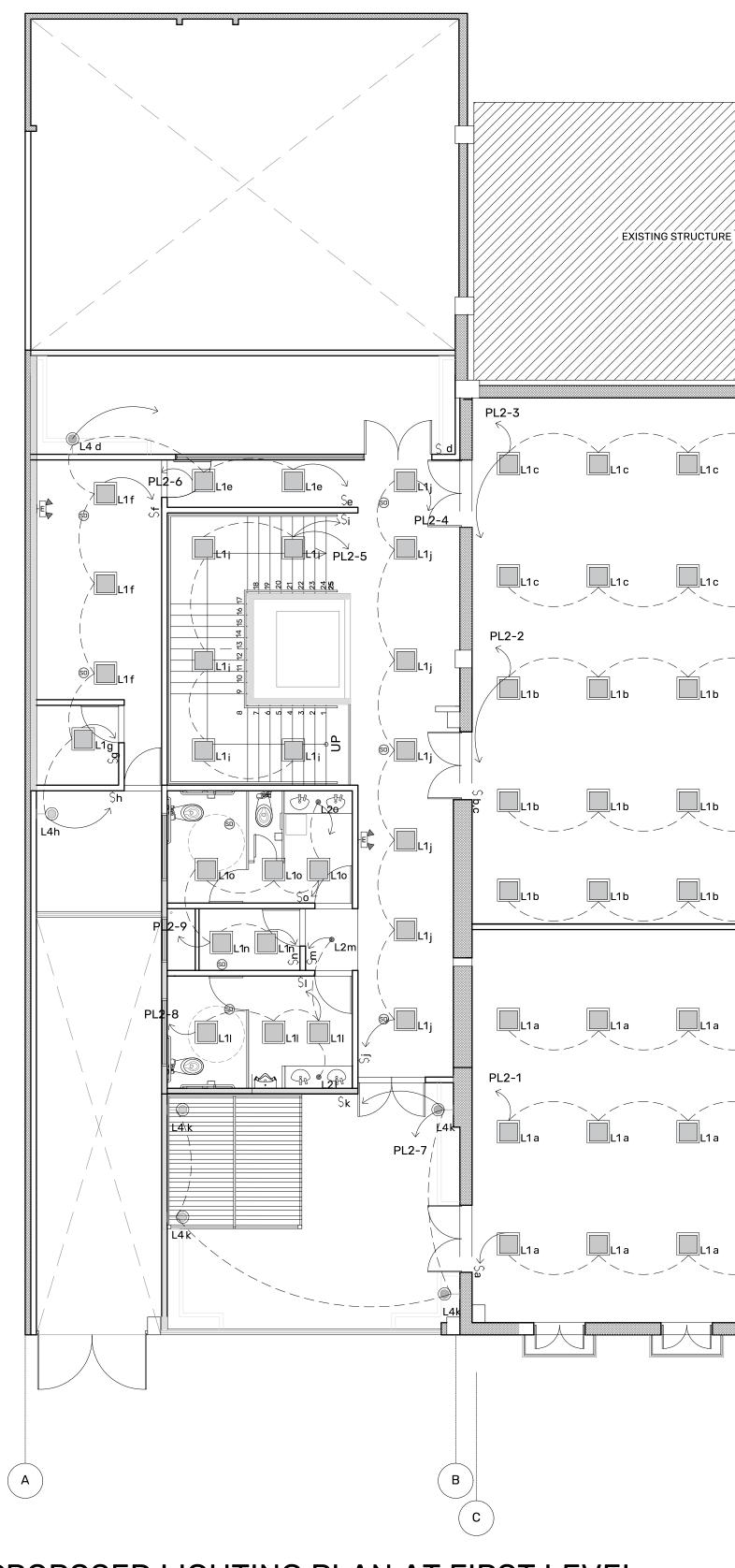
## LEGEND:

-(/)-	SINGLE SWITCH GROUNDING TYPE 14 AMPS. 120/277 VOLTS, 4 INCH BOX WITH RAISER COVER CAT. NO. 770 RACO OR SIMILAR, 48" A.F.F. LETTER INDICATES OUTLET TO BE CONTROLLED, 48" A.F.F
a,b -<⁄/>-	SAME AS ABOVE EXCEPT DUPLEX LETTER INDICATES OUTLET TO BE CONTROLLED.
	DUPLEX GROUNDING CONV. RECEPTACLE 15 AMPS, 125 VOLTS, 4 INCH SQ. BOX WITH RAISER COVER CAT. NO. 770 RACO OR SIMILAR 18" A.F.F
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$= \bigotimes$	SINGLE GROUNDING CONV. RECEPTACLE FOR REFRIGERATOR [20A-125V]
	KITCHEN HOOD POINT OF CONNECTION [20A-125V @ CEILING]
	SINGLE GROUNDING CONV. RECEPTACLE FOR MICROWAVE OVEN [20A-125V]
	DOUBLE GROUND FAULT INTERRUPTED OUTLET WITH WATER PROOF COVER AND ANTI-ELECTROCUTION [20A-125V @ 18"]
PB-#	NEW PANEL BOARD TO BE INSTALLED
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EMERGENCY LIGHT 4 INCH OCTAGONAL BOX

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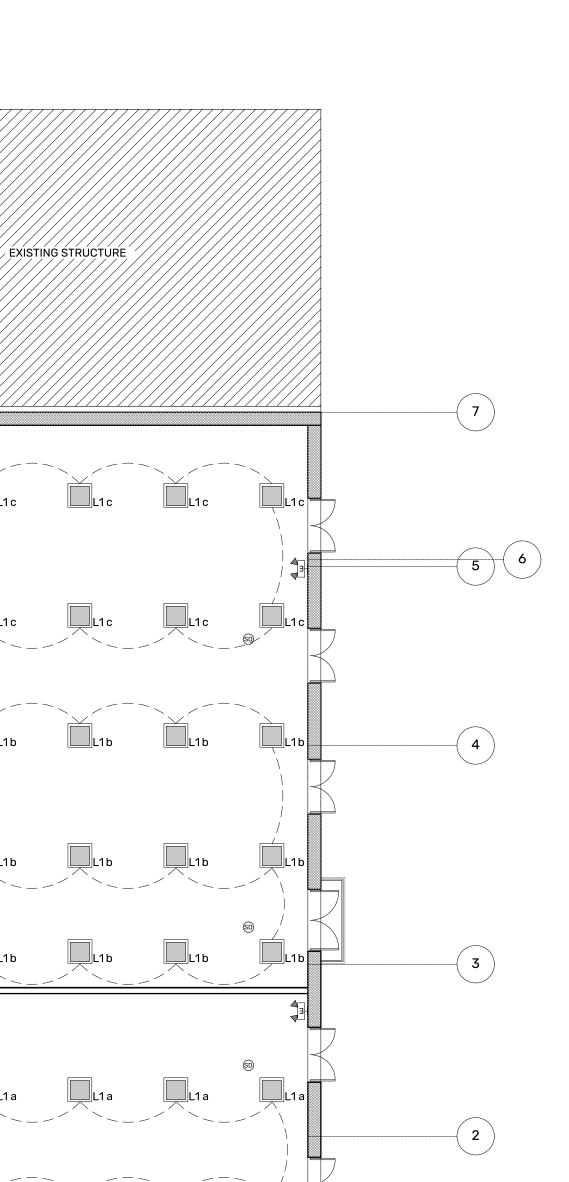




PROPOSED LIGHTING PLAN AT FIRST LEVEL

SCALE: 1/8" = 1' - 0"

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## LEGEND - LIGHTING SCHEDULE

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	IMAGE	SYMBOL	SERIE	DESCRIPTION	
				[CATALOG NUMBER:]	
_	$\gg$	L1	CORELINE PANEL	RC132V G4 LED36S/840 PSD W60L60 OC ELB3	
	-		PREMIUM	[CATALOG NUMBER:]	
		L2	DOWNLIGHT TRIM	R6 VT21 SC 1101FR262U/WAC LTG.	
	0			[CATALOG NUMBER:]	Ī
	and a	L3 \	LED STRIP LIGHT	SKU: 152260	
			RODHAM BLACK LED	[CATALOG NUMBER:]	I
_		L4	OUTDOOR WALL LANTERN SCONCE	SM136V 28S_34S_40S/830 PSD W20L120 OC W5	

NOTE: ALL THE LIGHTING EQUIPMENT INFORMATION INDICATE ON THE CATALOG-7TH EDITION".

### LEGEND:

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EMERGENCY LIGHT 4 INCH OCTAGONAL BOX

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## Appendix E



### Memorandum to File

Date: November 15, 2024

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From: Clifford Jarman Senior Environmental Scientist CDBG-DR CDBG Program City Revitalization Program Puerto Rico Department of Housing Puerto Rico Department of Housing

### Application Number: PR-CRP-000783 Project: Centro de Actividades Municipal

### Re: Justification for the Infeasibility and Impracticability of Radon Testing

After reviewing Application Number PR-CRP-000783 under the City Revitalization Program, administered by the Puerto Rico Department of Housing (PRDOH), to complete the property's contamination analysis in accordance with 24 C.F.R. § 50.3(i) and 24 C.F.R. § 58.5(i), we have determined that testing the property's radon levels is infeasible and impracticable.

Per the U.S. Department of Housing and Urban Development's (HUD) CPD Notice 23-103, the recommended best practices and alternative options for radon testing are infeasible and impracticable in this case due to the following reasons:

- As required by the CPD Notice 23-103, the scientific data reviewed in lieu of testing must consist of a minimum of ten documented test results over the previous ten years. If there are less than ten documented results over this period, it is understood that there is a lack of scientific data. The latest report for radon testing in Puerto Rico was prepared in 1995 by the U.S. Department of the Interior in Cooperation with the U.S. Environmental Protection Agency. No other completed studies and reports on radon testing are available in Puerto Rico.
- There is no available science-based or state-generated information for Puerto Rico for the last ten years that can be used to determine whether the project site is in a high-risk area. The Department of Health and Human Services, Centers for Disease Control and Prevention (**CDC**), National Environmental Public Health Tracking, and Radon Testing map do not include Puerto Rico data.

- There are only two (2) licensed professionals in Puerto Rico who can conduct radon testing using the American National Standards Institute/American Association of Radon Scientists and Technologists (ANSI/AARST) testing standards, which makes it difficult, time-consuming, and highly expensive to coordinate and secure a site visit for the contamination evaluation.
- Do-it-yourself (**DIY**) radon test kits are known to be unreliable in assuring and controlling the quality of the test results; they are not readily available in Puerto Rico, and the cost and time required for purchasing and sending them for analysis are unreasonable when weighed against the results' reliability and the need for prompt results.
- Local authorities in Puerto Rico do not have the specialized radon monitoring equipment or trained staff needed to conduct the radon testing analysis and ensure proper quality control and quality assurance practices are adhered to. We also do not have a radiation laboratory certified for radon testing.

As part of the evaluation for this determination, PRDOH sent information requests to six (6) local agencies at the state and federal levels. We received responses from the following agencies:

- United States Geological Survey
- Centers for Disease Control and Prevention
- Puerto Rico Department of Health; and
- United States Environmental Protection Agency

The agencies mentioned above confirmed the lack of scientific data on Radon testing for Puerto Rico and the technical difficulties that we face to comply with HUD's Radon testing requirement. For the above-mentioned reasons, Radon testing is infeasible and impracticable for this property, and no further consideration of Radon is needed for the environmental review. Radon Attachments GOVERNMENT OF PUERTO RICO

August 20, 2024

Mrs. Carmen R. Guerrero Pérez Director

Caribbean Environmental Protection Division City View Plaza II – Suite 7000 #48 Rd. 165 km 1.2 Guaynabo, PR 00968-8069

Vía email: <u>guerrero.carmen@epa.gov</u>

RE: Request for Information regarding available data on radon testing and levels within Puerto Rico

The Puerlo Rico Department of Housing (PRDOH) kindly requests your assistance in gathering data, information, or reports related to radon testing in Puerlo Rico, as this information is crucial for our compliance with the U.S. Department of Housing and Urban Development (HUD) Community Planning and Development (CPD) Notice CDP-23-103.

Community Planning and Development (CPD) Notice CDP-32-103. This Notice emphasizes the importance of radion testing and miligation in ensuring safe living environments, particularly in HUD-assitted properties. PRDOH, as the grantee of the Community Development Black Grant for Disaster Recovery and Miligation (CDB-DR/MIT), is responsible for ensuring compliance with environmental requirements under CDBG-DR/MIT programs. To fulfill our obligations under this Notice, we must complie comprehensive and up-to-date information on radion levels, testing practices, and any miligation efforts within the Islands of Puerto Rico.

Specifically, we are seeking for possible availability of the following information:

Radon testing data – Results from radon testing conducted within your agency's purview, including details on location, testing methods, and recorded radon levels.

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August 20, 2024

Dr. Silvina Cancelos Professor College of Engineering University of Puerto Rico – Mayagüez Campus 259 Norte Blvd, Alfonso Valdés Cobián Mayagüez, Puerto Rico

#### Via email: <u>silvina.cancelos@upr.edu</u> RE: Request for Information regarding available data on radon testing and levels within Puerto Rico

The Puerto Rico Department of Housing (PRDOH) kindly requests your assistance in gathering data, information, or reports related to radon testing in Puerto Rico, as this information is crucial for our compliance with the U.S. Department of Housing and Urban Development (HUD) Community Planning and Development (CPD) Notice CDP-23-103.

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Barbosa Ave. #606 , Building Juan C. Cordero Dávila, Rio Piedras, PR 00918 | PO Box 21365 San Juan, PR 00928-1365 Tel. (767) 274-2527 | www.viviendia.or.gov <u>Reports and assessments</u> – Any reports, studies, or assessments your agency has produced or commissioned that address radon testing or miligation.

Policies and auidelines – Information or any policy, guideline, or protocol your agency follows concerning radon testing, exposure limits, or mitigation.

<u>Historical data</u> – if available, historical data or trends in radon levels within the regions you monitor that may impact HUD-assisted housing.

This information is vital to ensure that our radon management strategies are practical and compliant with federal requirements. If some of this information may be sensitive or confidential, we are prepared to discuss any necessary agreements or protocols for sharing this data securely.

Please let us know if you require additional details or have any questions regarding this request. We would greatly appreciate your response by September 15, 2024, so we can incorporate this data into our ongoing compliance efforts.

Thank you in advance for your cooperation and support. We look forward to working together on this crifical initiative.

Sincerel Imm and iguez, Esq. Wille

Cc:

Mr. Oleg Povetko. <u>Povetko.Oleg@epa.gov</u> Mr. Matthew Laurita. <u>Jaurita.matthew@epa.gov</u>

> CD8G-DR/MIT Program Request for Information in relation with HUD CPD-23-103 for Puerto Rico Page 2 / 2

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Thank you in advance for your cooperation and support. We look forward to working together on this critical initiative. Sincerely.

Manuez Robriguez, Esq. William O. Secretary

Cc: Dr. Carlos Marín, <u>carlos.marin3@upr.edu</u>

CDBG-DR/MIT Program Request for Information in relation with HUD CPD-23-103 for Puerto Ric Page 2 /

GOVERNMENT OF PUERTO RICO

August 20, 2024

#### Dr. Jessica Irizarry

Director Office of Island Affairs U.S. Centers for Disease Control and Prevention 1324 Cll Canada, San Juan, 00920 Guaynabo, PR 00968-8069

Via email: <u>OIA@cdc.gov</u>

### RE: Request for Information regarding available data on radon testing and levels within Puerto Rico

The Puerto Rico Department of Housing (PRDOH) kindly requests your assistance in gathering data, information, or reports related to radon testing in Puerto Rico, as this information is crucial for our compliance with the U.S. Department of Housing and Urban Development (HUD) Community Planning and Development (CPD) Notice CDP-23-103.

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August 20, 2024

#### Mrs. Anaís Rodríguez

Secretary Puerto Rico Department of Natural Resources Carretera 8838, km. 6.3, Sector El Cinco, Río Piedras San Juan, PR 00926

Vía email: anais.rodriguez@dma.pr.gov

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Thank you in advance for your cooperation and support. We look forward to working together on this critical initiative.

Sincerely

D. Rodríguez, Esq

CD8G-DR/MIT Program Request for Information in relation with HUD CPD-23-103 for Puerto Rico Page 2 / 2

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William O. Rodríguez, Esq. Secretary

Secretary

Cc: Mr. Luis Márquez, <u>secretariaaire@drna.pr.gov</u> Eng. Amarilys Rosario, <u>aire@drna.pr.gov</u> Mrs. Elid Ortega, <u>eortega@drna.pr.gov</u>

#### August 20, 2024

Dr. Carlos R. Mellado López Secretary Puerto Rico Department of Health PO Box 70184 San Juan, PR 00936-8184

Vía email: drcarlos.mellado@salud.pr.gov

#### RE: Request for Information regarding available data on radon testing and levels within Puerto Rico

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August 20, 2024

Mrs. Holly Weyers Regional Director, Southeast – Puerto Rico US Geological Survey 3916 Sunset Ridge Road Raleigh, NC 27607

#### Vía email: <u>hsweyers@usgs.gov</u>

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<u>Historical data</u> – If available, historical data or trends in radon levels within the regions you monitor that may impact HUD-assisted housing.

This information is vital to ensure that our radon management strategies are practical and compliant with federal requirements. It some of this information may be sensitive or confidential, we are prepared to discuss any necessary agreements or protocols for sharing this data securely.

Please let us know if you require additional details or have any questions regarding this request. We would greatly appreciate your response by September 15, 2024, so we can incorporate this data into our ongoing compliance efforts.

Thank you in advance for your cooperation and support. We look forward to working together on this critical initiative. Sincerely.

bodríguez Rodríguez, Esq. Willa atary

ourorury

Cc: Mr. Raúl Hernández Doble, rhernandez2@salud.pr.gov

> CDBG-DR/MIT Program Request for Information in relation with HUD CPD-23-103 for Puerto Rico Page 2 / 2

Policies and guidelines – Information or any policy, guideline, or protocol your agency follows concerning radon testing, exposure limits, or mitigation.

<u>Historical data</u> – if available, historical data or trends in radon levels within the regions you monitor that may impact HUD-assisted housing.

This information is vital to ensure that our radon management strategies are practical and compliant with federal requirements. If some of this information may be sensitive or confidential, we are prepared to discuss any necessary agreements or protocols for sharing this data securely.

Please let us know if you require additional details or have any questions regarding this request. We would greatly appreciate your response by September 15, 2024, so we can incorporate this data into our ongoing compliance efforts.

Thank you in advance for your cooperation and support. We look forward to working together on this critical initiative. Sincerely,

dríquez, Esq. William Ø. Secretary

Mr. R. Randall Schumann, rschumann@usgs.gov

From:	Charp, Paul (CDC/NCEH/DEHSP) <pac4@cdc.gov></pac4@cdc.gov>
Sent:	Tuesday, September 3, 2024 6:36 AM
To:	Miranda, Sandra (CDC/PHIC/DPS); Irizarry, Jessica (CDC/PHIC/DPS); Rzeszotarski, Peter
	(CDC/NCEH/DEHSP); Vinson, D. Aaron (CDC/NCEH/DEHSP)
Cc:	Kostak, Liana (CDC/PHIC/DPS); Vazquez, Germaine (CDC/NCEH/DEHSP)
Subject:	RE: REHi: Puerto Rico Request for Information- Randon testing and levels

Good morning, Sandra and others,

In response to the request from Mr. William Rodriguez of the Department of Housing, Government of Puerto Rico, I have reviewed all the available data within the CDC National Environmental Public Health Tracking Network system for data related to radon in Puerto Rico. In addition to the tracking data available on the internet, I also reached out to Mr. Aaron Vinson of the NCEH Tracking Branch.

I was not able to find any data in the CDC systems and this was confirmed by Mr. Vinson. We also reached out the US Environmental Protection Agency who indicated they had no radon data in their systems. Please relay this information to Mr. Rodríguez in your response to his requests

If you have any additional questions, please contact me.

Thank you and best regards,

Paul A. Charp, Ph.D., Fellow, HPS Senior Health Physicist Emerging Environmental Hazards and Health Effects Branch (EEHHEB) Division of Environmental Health Science and Practice (DEHSP) National Center for Environmental Health (NCEH) Centers for Disease Control and Prevention (CDC) pcharp@cdc.gov 770-488-0723 office 404.388.0614 Cell



From: Schumann, R. Randall <rschumann@usgs.gov> Sent: Wednesday, August 21, 2024 4:39 PM To: Melanie Medina Smaine <mmedina@vivienda.pr.gov>; Weyers, Holly S <hsweyers@usgs.gov> Cc: Elaine Dume Mejia <Edume@vivienda.pr.gov>; Luz S Colon Ortiz <Lcolon@vivienda.pr.gov>; Aldo A. Rivera-Vazquez <aarivera@vivienda.pr.gov> Subject: RE: Request for Information- Radon testing and levels

Dear Ms. Medina Smaine,

In the early 1990s the U.S. Geological Survey (USGS) conducted geologic assessments of radon potential for all 50 states and the territories of Guam and Puerto Rico, in collaboration with the U.S. EPA. I conducted the geologic radon potential assessment for Puerto Rico. The PDF file of the report is too large to attach to this message but it can be obtained at <a href="https://pubs.usgs.gov/of/1993/0292k/report.pdf">https://pubs.usgs.gov/of/1993/0292k/report.pdf</a>. The USGS did not conduct indoor radon testing and we did not conduct field studies associated with this assessment; it was based on existing data. Mr. David Saldana of the Puerto Rico Department of Health kindly provided us with data for 610 homes that were tested for indoor radon by his agency between 1993 and 1995, which are summarized in the report. I am not aware of any other radon-related geologic studies conducted in the Commonwealth of Puerto Rico by the U.S. Geological Survey.

Best regards,

R. Randall Schumann Scientist Emeritus U.S. Geological Survey Geociences and Environmental Change Science Center Denver, Colorado, USA <u>rschumann@usgs.gov</u> <u>https://www.usgs.gov/staff-profiles/r-randall-schumann</u>

From: Raul Hernandez Doble <rhernandez2@salud.pr.gov> Sent: Wednesday, August 21, 2024 2:13:31 PM To: Melanie Medina Smaine <mmedina@vivienda.pr.gov>; Dr. Carlos Mellado <drcarlos.mellado@salud.pr.gov> Cc: Elaine Dume Mejia <Edume@vivienda.pr.gov>; Luz S Colon Ortiz <Lcolon@vivienda.pr.gov>; Aldo A. Rivera-Vazquez <aarivera@vivienda.pr.gov>; Mayra Toro Tirado <mtoro@salud.pr.gov> Subject: RE: [EXTERNAL]Request for Information- Randon testing and levels

\_\_\_\_

Good afternoon. Ms. Medina

I regret to inform that we do not have any recent information on radon testing, since we do not have a certified radiation laboratory certified for radon testing. There are companies that sell test kits available online that can be done and mailed to a testing laboratory. There are also lists of radon contractors and these companies that process radon testing cartridges with instructions, on the Environmental Protection Agency Indoor air Quality web page. The last radon study in Puerto Rico done by the PR Department of Health was done on the year 1993.

Raul Hernandez Doble Director, Seccion Salud Radiologica Division de Salud Ambiental Secretaria Auxiliar para la Vigilancia y la Proteccion de la Salud Publica <u>rhernandez2@salud.gov.pr</u> Phone: (787)765-2929 ext. 3210 From: Reyes, Brenda <Reyes.Brenda@epa.gov>
Sent: Wednesday, September 18, 2024 11:48 AM
To: Cesar O Rodriguez Santos <cesarrodriguez@drna.pr.gov>; Maritza Rosa Olivares <maritzarosaolivares@drna.pr.gov>; Silvina Cancelos Mancini <silvina.cancelos@upr.edu>; Melanie Medina Smaine <mmedina@vivienda.pr.gov>
Cc: Elaine Dume Mejia <Edume@vivienda.pr.gov>; Luz S Colon Ortiz <Lcolon@vivienda.pr.gov>; Aldo A. Rivera-Vazquez <aarivera@vivienda.pr.gov>; Povetko, Oleg (he/him/his) <Povetko.Oleg@epa.gov>
Subject: RE: Request for Information- Randon testing and levels

Saludos.

La EPA esta trabajando una respuesta a su petición. Se sometió borrador a la directora y el subdirector para su aprobación y firma.

Brenda Reyes Tomassini Public Affairs U.S. EPA Region 2 Caribbean Environmental Protection Division (787) 977-5869/(787) 977-5865 Mobile: 202-834-1290

\_\_\_

 From: Silvina Cancelos Mancini <silvina.cancelos@upr.edu>

 Sent: Friday, September 6, 2024 15:04

 To: Melanie Medina Smaine <mmedina@vivienda.pr.gov>

 Cc: Elaine Dume Mejia <Edume@vivienda.pr.gov>; Luz S Colon Ortiz <Lcolon@vivienda.pr.gov>; Aldo A. Rivera-Vazquez

 <aarivera@vivienda.pr.gov>; Maritza Rosa Olivares <maritzarosaolivares@drna.pr.gov>; Reyes, Brenda

 <Reves.Brenda@epa.gov>; Povetko, Oleg <Povetko.Oleg@epa.gov>

 Subject: Re: Request for Information- Randon testing and levels

#### Estimada Melanie Medina

Quería dejarle saber que recibimos su correo el 21 de agosto al igual que el de Maritza Rosa el pasado 4 de septiembre. Ya las personas involucradas de EPA, junto conmigo y el Dr. Marín estamos al tanto del asunto y estamos trabajando para poder enviarles la información.

Atentamente

Silvina Cancelos Professor Associate Director Mechanical Engineering Department University of Puerto Rico - Mayaguez Call BOX 9000 Mayaguez PR 00680 Tel: 787-832-4040 ext 5956 email: <u>silvina.cancelos@upr.edu</u>



Bubble Dynamics Lab University of Puerto Rico - Mayaguez



September 23, 2024

William O. Rodríguez Rodríguez, Esq. Secretary Puerto Rico Department of Housing Barbosa Ave. 606 Building Juan C. Cordero San Juan, PR 00917 Email: W.Rodriguez@vivienda.pr.gov

EPA Response to August 20, 2024 request for information of data on radon testing and levels in Puerto Rico RE:

Dear Honorable Secretary Rodríguez Rodríguez

This communication is in response to your letter of August 20, 2024 addressed to the Puerto Rico Department of Natural and Environmental Resources (DNER) and referred to the U.S. Environmental Protection Agency (EPA) regarding available data on radon testing and levels within Puerto Rico

EPA's National Radon Action Plan 2021–2025 sets a goal for the nation to find, fix and prevent high indoor radon levels in 8 million buildings by 2025 and prevent 3,500 lung cancer deaths per year. Under this Plan, leaders from across multiple sectors are working together to plan, guide, and sustain nationwide action to prevent exposure to radon.

Due to the lack of data in Puerto Rico, EPA undertook an investigation in collaboration with the University of Puerto Rico-Mayaguez (UPRM) Campus, Departments of Civil Engineering and Surveying and Mechanical Engineering, to find out if radon presented a problem in Puerto Rico. Up until 2021, the only data we had for Puerto Rico was a 1993-1995 mail-in radon screening study referred to by the U.S. Geological Survey report (USGS, 1995) in which the USGS concluded that several areas of Puetor Rico have the geologic potential to generate indoor radio Heel's exceeding the EPA Action Level of 4 pC/L (piccouries per liter), perhaps locally reaching very high levels above 50 pC/L, if a house construction and

CITY VIEW PLAZA II BUILDING, 7<sup>TH</sup> FLOOR ROUTE 165 GUAYNABO, PR 00968

ventilation allow for soil-gas radon to enter and concentrate within the structure.<sup>1</sup> According to the USGS report, most of these areas are located in the northwest part of the island. Please note that the actual 1993-1995 study documentation is not available to the EPA.

Typical radon testing technology used in mainland United States (charcal canisters or electric-powered devices) are impractical in Puerto Rico because of high humidity and power outages. The recovery and rebuilding of communities following the aftermath of 2017 Hurricanes Irma and Maria presented an opportunity to develop radon prevention and mitigation strategies in 2019. Initially, EPA sampled indoor radon air in over 170 single-family residences in the municipalities of San Sebastian. Lares, Cales, Arecibo, Moroxis, Camuy, and Hatillo and later expanded the project to other municipalities such as Rincon, Aguada, Ruadalla, Isabela, Querbardilas, Barceloneta and Vega Baja. The quality assurance protocols were anchored in American National Standards institute/American Association of Radon Scientists and technologist; (ANS/JAARS) Tsathadrads of practice (ANS/JAARS, 2019). The sampling was designed in two stages: scoping and confirmatory sampling. The scoping sampling was conducted using Correntium Home (CH) electronic monitors and Ferm systems. Locations measuring above the EPA Action Level of 4 pC/L with CH were measured at the second stage of the sampling using RAD7 and Corentium Pro Continuous Radon Monitors (CRMS). Nationally certified radon sampling in the second stage. Also, during the study, the nationally certified radon mitigation professionals led by one such professional levels. Typical radon testing technology used in mainland United States (charcoal canisters or electric-powered levels.

Mapping radon in Puerto Rico proved to be a complicated endeavor given the COVID-19 pandemic in Mapping Takon in Planto Nico proves to obe a complexicate encessive given use ComPlantemic tim 2020. EPA and UPAK continue to work on the project, however, results have not been finalized, and no scientific report has been published yet. Unfortunately, EPA cannot share preliminary data this time because it contains privileged information. Nevertheless, preliminary data from the study does show homes with levels over 4 pCr/L (EPA Action Level) that might need mitigation to protect the health of their inhabitants.

Although many states have developed laws and regulations governing radon disclosure, certification, and mitigation, Puerto Rico lacks legislation or mandatory radon testing provisions for new construction, remodeling, setuing or bunying bomes. Given this loophole and aiming to answer your request, the EPA can provide information on Best Management Practices for sampling indoor radon in Puerto Rico.

<sup>1</sup> Reference: USGS. Geologic Radon Potential of Guam and Puerto Rico, Report 93-292-K. Washington, DC: USGS. Retrieved 9/11/2024, from https://pubs.usgs.gov/of/1993/0292k/report.pdf. 2

If you have any questions or need any additional information, please contact me at 787-977-5865 or guerrero.carmen@epa.gov or have your staff contact Reyes, Brenda at reves.brenda@epa.gov or (787) 977-5869.

Sincerely,
CARMEN
GUERRERO
PEREZ
Carmen R. Guerrero I

Digitally signed by CARMEN GUERRERO PEREZ Date: 2024.09.23 09:41:39 -04'00' Pérez Director

Roberto Mendez, Esq (Acting Secretary, PR Department of Natural and Env. Resources) cc: Melany Medina: mmedina@vivienda.pr.gov Elaine Dume Mejia: Edume@vivienda.pr.gov Luz S Colon Ortiz: <u>Lcolon@vivienda.pr.gov</u> Aldo A. Rivera-Vazquez: <u>aarivera@vivienda.pr.gov</u>

cesar o. nounguez.	esarrounguez@urna.pr.gov	
Marita Rosa Olivares:	maritzarosaolivares@drna.pr	r.gov



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## **APPENDIX II – Certification**

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ASB-0622-0202-SI Número de Registro

21-jun-2023 Fecha de vencimiento TARJETA DE REGISTRO PARA LA REMOCION DE ASBESTO

Esta tarjeta autoriza a:

Anthony Robinson Santana Inspector

A trabajar en la remoción de asbesto en Puerto Rico. Esta persona NO es un empleado del DRNA.

Firma Autorizada - Departamento Recursos Naturales y Ambientales

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### GOBIERNO DE PUERTO RICO OFICINA DEL GOBERNADOR JUNTA DE CALIDAD AMBIENTAL



Área de Calidad de Agua

Forma PGC-009

### CERTIFICACION DE NO PRESENCIA DE ASBESTO EN ESTRUCTURAS A DEMOLERSE

(Deberá completarse en letra de molde o impresa)

NUM.	PERMISO:
------	----------

(Nombre) (Estado Civil) (Municipio)						
Dirección Postal P. O. Box 1393 Naguabo 00718 (Pueblo) (Zip Code)	-					
Teléfonos: Residencial (787)       637       7267       Oficina ()        Ext         Fax       ()         Oficina ()        Ext						
Certifico que:						
1. La estructura localizada en Esquina Calle Progreso con Calle Cesar Gonzalez, Adjuntas, PR , la cual será ob	jeto de una					
demolición se encuentra libre de asbesto.						
2. La información antes indicada es cierta y correcta.						
3. Afirmo y reconozco las consecuencias de incluir y someter información falsa en este documento.						
<ol> <li>Para que así conste, firmo la presente certificación en <u>Naguabo</u> Rico,</li> </ol>	de Puerto					
hoy día <u>30</u> de <u>enero</u> de <u>2023</u> (Municipio)						
ASB Inspector       ASB-0622-0202-SI         ASB-0622-0202-SI       Exp. 21-Jun-2023         Firma y Sello del Profesional o       Firma del Inspector de Asbesto registrado por la JCA (Original)						
Nota: Ingenieros o Arquitectos deberán someter evidencia de que se encuentra al día en el pago de sus cuo colegiación e Inspectores de Asbesto deberán someter evidencia de la tarjeta de registro provista por	tas de la JCA.					

Dirección Física: Ave. Ponce de León 1308, Carr. Estatal 8838, Sector el Cinco, Río Piedras, PR 00926 Dirección Postal: Apartado 11488, Santurce, PR 00910-1488 Tel. (787) 767-8181 • Fax (787) 767-1962



### **APPENDIX III - Photos**

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a.















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### ASBESTOS CONTAINING MATERIALS SURVEY REPORT

<u>Sampling at Centro de Actividades, corner Progreso Street with</u> <u>Cesar González Street, Adjuntas, Puerto Rico, 00601</u>



Submitted To:lng. William Melendez Rivas INGENIUM Professional Group, PSC. Prepared By: Anthony Robinson Santana R & S Professional Equipment, Inc. PO Box 1393, Naguabo, P.R. 00718 Phone: (787) 637-7267 Email. rsprofessionalequipment@gmail.com

January 2023

R & S Professional Equipment, Inc. LEAD BASED PAINT SURVEY REPORT, At corner Progreso Street with Cesar González Street, Adjuntas, P.R. Submitted to: Ingenium Professional Group, PSC.

### **TABLE OF CONTENTS**

- 1.0 SUMMARY
- 2.0 INTRODUCTION
- 3.0 SAMPLING METHOD
- 4.0 LEAD BASED PAINT METHODOLOGY
- 5.0 RESULTS
- 6.0 CONCLUSION
- 7.0 DISCLOSURE
- APPENDIX I Certifications.
- APPENDIX II XRF Data.
- APPENDIX III Location for Lead Based Paint Survey
- APPENDIX IV Photos (LBP) Positive

# **1.0** Summary

R & S Professional Equipment, Inc., conducted a study of Lead Based Painted (LBP) inspection at Centro de Actividades located at corner Progreso Street with Cesar González Street, Adjuntas, Puerto Rico. Two historical structures, one, as a main building dated "1914" and other where only remains the facade dated "1911". The main building "1914", which is located on the corner of Progreso Street with Cesar González Street, only the perimeter walls are standing; the second floors, structural system and roof are collapsed or do not exist.

The inspection performance with Thermo Niton XLp 300A XRF Analyzer was conducted using H.U.D. Standard for Lead Based Paint as defined by Title X of Housing and Community Department Act of 1992 (unless HUD and EPA have lowered the standard) & Guidelines for the Evaluation and Control of Lead Based Paint in Housing of 1997, revised in 2012 and DRNA EQB Lead Based Paint Abatement Controls Regulation.

The Lead Based Paint inspection was conducted on January 30, 2023, by Anthony Robinson Santana certified lead-based paint inspector #LBPI-06222-082.

Fifty-eight (58) XRF samples were taken during the inspection, four (4) were **positive**. During the evaluation **we found positive components with Lead Based Paint** (see table 1.1). The positive components identified are, concrete wall A in exterior, low wall trim (see Table 1.1).

# 2.0 INTRODUCTION

R & S Professional Equipment, Inc., conducted a study of Lead Based Painted LBP) inspection at Centro de Actividades located at corner Progreso Street with Cesar González Street, Adjuntas, Puerto Rico. LBP inspection was performed in the area and lead was identified on the exterior of the building. The positive area is identified in the attached photos. These are the moldings projecting from the bottom of the arch of the oldest façade (1911) which has a date stamped on the top of the door arch. Only four areas of the lower molding are identified as marked in the photos.

The Lead Based Paint inspection was conducted on January 30, 2023, by Anthony Robinson Santana certified lead-based paint inspector #LBPI-06222-082 with enough experience.

**Negative Definition**= If the lead concentration measured by the XRF Spectrum Analyzer is less than 1.0 mg/cm2 it is considered negative.

**Positive Definition**= If the concentration measured by the XRF Spectrum Analyzer is equal or greater than 1.0 mg/cm2 it is considered **Positive**.

Fifty-eight (58) XRF sample was taken during the inspection, four (4) were **positive**. During the evaluation **we found positive components with Lead Based Paint** (see table 1.1).

# **2.0 TESTING PROCEDURES**

The test was performed with a Niton XLp 300A XRF Analyzer, an X-ray fluorescence (XRF) instrument manufactured by Thermo Fisher Scientific (SN: 109930). The instrument operates in two modes. The mode selected was the fast

mode, which allows reference to the reduction level set at 1.0 mg / cm<sup>2</sup>. Results are reported at 95% confidence levels.

# **3.0 LEAD BASED PAINT TESTING METHODOLOGY**

The Department of Housing and Urban Development (HUD) has determined that the hazard level for lead in paint is 1.0 mg / cm2, as measured by XRF or AAS (Atomic Absorption Spectroscopy), or 0.5% by weight (or 5000 ppm) as measured by AAS, or inductively coupled plasma (ICP). The same level was adopted by EPA regulations published in 1992, under Title X.

The only lead-based paint testing protocol officially available at this time was published by HUD initially in 1990, revised in 1991 and finalized in 1995 (see above HUD reference). A revised Chapter 7 was published in 1997 and finalized in 2012. According to the new protocol, almost all surfaces present in the units should be tested. The above guidelines were used to perform lead-based paint testing for this project.

The main steps involved in a multifamily inspection are:

1. Take inventory of all test combinations 2.

2. Select the painted area to test

3. Perform XRF testing (including calibration checks).

4. Collect and analyze paint chip samples for inconclusive results.

5. Classify XRF and paint chip results.

6. Review and evaluate the data.

7. Report results

R & S Professional Equipment, Inc. personnel classify each XRF derivative reading as positive, negative, or inconclusive. This classification is based on the

manufacturer's XRF Performance Characteristics Sheet (PCS) for each substrate. Additional samples and/or readings are taken from inconclusive areas.

Verification of instrument calibration was performed before the start of the daily task, when the instrument was turned on and at the end of the day. The verification was performed on a NIST standard of 1.0 mg / cm2. The acceptance criteria used were + -0.3 mg / cm2. The data for the calibration verification are in the results.

The structure was divided into room equivalents and labeled accordingly (see Appendix II). A test combination of similar components and four walls was tested for each room equivalent. Identification of the walls tested was based on HUD guidelines as follows:

	SIDE B (LEFT SIDE)	
SIDE A (ENTRANCE)		Side C (opposite side of entrance)
	SIDE D (RIGHT SIDF)	

Wall A-entry wall, walls B, C, and D-sequential walls, clockwise from A.

# **4.0 RESULTS**

The results of the components tested are shown at Appendix II. Fifty-eight (58) XRF sample was taken during the inspection, four (4) were **positive**. During the evaluation **we found positive components with Lead Based Paint** (see table

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1.1). The positive components identified are, concrete wall in exterior wall A, low wall trim (see Table 1.1).

Table 1.1

Areas	Substrate	Color	Components	Approxima te Area
		er av og fra	desi fi ma tiread b	ריייני היינייי ר
Exterior Building	Concrete	Yellow	Wall A, Low Wall Trim	
Exterior Building	Concrete	Yellow	Wall A, Low Wall Trim	_ 30 sq.ft
Exterior Building	Concrete	Yellow	Wall A, Low Wall Trim	
Exterior Building	Concrete	Yellow	Wall A, Low Wall Trim	

# **5.0 CONCLUSION**

R & S Professional Equipment, Inc., conducted a study of Lead Based Painted (LBP) inspection at Centro de Actividades located at corner Progreso Street with Cesar González Street, Adjuntas, Puerto Rico. The Lead Based Paint inspection was conducted on January 30, 2023, by Anthony Robinson Santana certified lead-based paint inspector #LBPI-06222-082 with enough experience. Fifty eight (58) XRF sample was taken during the inspection, four (4) were **positive**. During the evaluation **we found positive components with Lead Based Paint** (see table 1.1). The positive components identified are, concrete walls in exterior wall A, low wall trim (see Table 1.1). If you need additional information, please call (787)637-7267.

# 6.0 DISCLOSURE

A copy of this summary must be provided to new lessees (tenants) and purchasers of this property under Federal law (24 CFR part 35 and 40 CFR part 745) before they become obligated under a lease or sales contract. The complete report must also be provided to new purchasers, and it must be made available to new tenants. Landlords (lessors) and sellers are also required to distribute an educational pamphlet and include standard warning language in their leases or sales contracts to ensure that parents have the information they need to protect their children from lead-based paint hazards.

ANDA

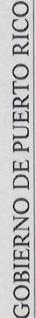
Anthony Robinson, EQB Lead Inspector LBPI-06222-082

# APPENDIX I. Certification

# CERTIFICACIÓN PLOMO PUERTO RICO



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Departamento de Recursos Naturales y Ambientales

IEK

Este certificado es otorgado a:

# R & S Professional Equipment, Inc.

Actividades de Pintura con Base de Plomo. Se le otorga esta certificación como Firma para llevar a cabo actividades relacionadas a Por haber cumplido con los requisitos establecidos en el Capítulo VI, Regla 127 del Reglamento para el Manejo Adecuado de Mittigación de Pintura con base de plomo en la jurisdicción de Puerto Rico.

Número de Certificado

# LBPF-30122-047

Fecha de emisión: Octubre 28, 2022 Fecha de Expiración: Octubre 27, 2023

José Roque Juliá Jefe División Desperdicios Tóxicos





# **Certificate of Manufacture and Calibration**

Instrument Serial number:	109930
Instrument Model Number:	XLP 300A
Tube Serial Number:	TR4662
Manufacture Date:	10/7/2019
Callbration Date:	10/11/2019
Original Ship Date:	11/14/2019

The above referenced instrument has been calibrated and checked on all Niton XRF calibration

standards and is certified as "Passed" by

Mechal Contreis

**Michael Courtois** 

Thermo Scientific Portable Analytical Inst. Inc 2 Radcliff Road Tewksbury, MA 01876

> 2 Radcliff Road ~ Tewksbury, MA 01876 Toll-Free 800-875-1578 x310 ~ Phone 978-670-7460 ~ Fax 978-670-7430 Website: www.thermo.com/niton

			$\bigcirc$	
		i		-
Thermo Fisher	васк	SAVE CERT	CLEAR FORM	The world leader in serving science

# **Thermo Scientific Portable XRF Analyzers**

Instrument Model:	XLp 300A	Detector Model:	RADEYE
Instrument S/N:	109930	Detector S/N:	0251
		Calibration Date:	8/3/2019



Dose rate (µ	ırem/hr)*
(100.0 µrem = 0.1	mrem = 1.0µSv)
Background	5 cm
11	13

\*All recorded measurements are net above background.

• Dose rate measurements taken at 360° perpendicular to instrument with the shutter closed (i.e., sources in the shielded position.

\*\* The survey results indicate that the dose rate does not exceed 0.05 milirem per hour at any point 5 cm [< 50  $\mu$ rem/hr at 5 cm] from the surface of the device.

Conducted by: Eric Dextradeur

Survey Date:

10/10/2019

2 Radcliff Road Tewksbury MA 01876 Thermo Scientific Portable Analytical Instruments USA

+1 978-670-7460 +1 978-670-7430 fax www.thermoscientific.com/pai 800-875-1578 (toll free)

Document # 140-00063 Rev B

#### **Certificate of Calibration**

Serial Number:	109930	Model: Ni	ton XLp-300A	Software:	5.2F-Dual	Date of Q.C.:	10/11/2019	
Resolution:	396	Escale:	4.41	Source:	Cd-109	Inspector:	AP	_

#### K+L 20 Sec Readings

Std	L	Lerr	к	Kerr	DI	L Status	K Status
1.0 Surface Wood-1	1.00	0.10	1.20	0.40	1.1	OK	OK
1.0 Surface Wood-2	1.00	0.10	1.20	0.40	1.0	OK	OK
1.0 Buried Wood-1	1.20	0.10	1.20	0.40	2.5	OK	OK
1.0 Buried Wood-2	1.10	0.10	1.20	0.40	2.4	OK	OK
Blank Wood-1	0.00	0.02	0.26	0.36	1.3	OK	OK
Blank Wood-2	0.01	0.02	0.30	0.36	3.2	OK	OK
3.5 Surface Wood-1	3.70	0.20	3.50	0.50	1.3	OK	OK
3.5 Surface Wood-1	3.60	0.20	3.30	0.50	1.3	OK	OK
0.3 Surface Concrete-1	0.30	0.03	0.60	0.50	1.0	OK	OK
0.3 Surface Concrete-2	0.30	0.03	0.40	0.50	1.0	OK	OK
Steel-1	0.01	0.02	0.10	0.54	4.2	OK	OK
Steel-2	0.05	0.08	0.24	0.55	10.0	OK	OK
Pure Pb-1	10.10	2.50	83.00	2.50	1.7	OK	OK
Pure Pb-2	10.10	2.10	83.00	2.50	1.7	OK	OK
1.0 Surface Drywall-1	1.00	0.10	1.20	0.40	1.1	OK	OK
1.0 Surface Drywall-2	1.00	0.10	1.30	0.40	1.1	OK	OK

·K+L 20 Sec Readings

Std	Time	Result	
Drywall-1	2.38	0.00	OK
Drywall-2	1.77	0.00	OK
French Plaster-1	2.96	0.00	OK
French Plaster-2	3.53	0.00	OK

This certificate is issued in accordance with Thermo Fisher Scientific factory specifications. The measurements were found to be within specification limits at the time of manufacture and calibration.

Standards are traceable to National Institute of Standards & Technology (NIST) standards.

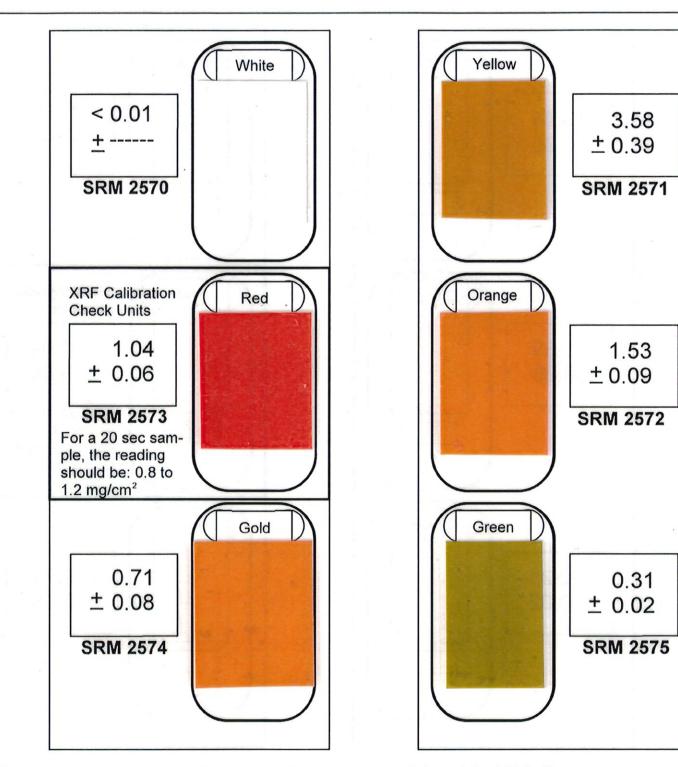
Signed:

Bat

Lee Graham Quality Director

# Lead Paint Standard

Surface Lead mg/cm<sup>2</sup> PN 500-934



#### Americas

Thermo Fisher s c i e N t i f i c

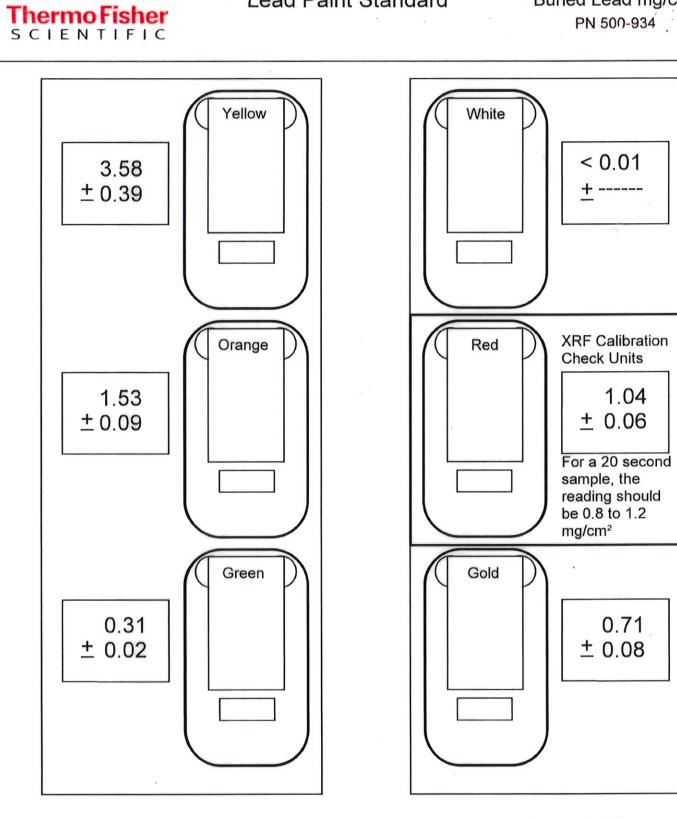
> Thermo Scientific 2 Radcliff Road Tewksbury, MA 01876 USA Tel USA: 800-875-1578 Tel: +1 978-670-7460 Fax: +1 978-670-7430 niton@thermofisher.com

Europe and Africa

Thermo Scientific Joseph-Dollinger-Bogen 9 80807 Munich Germany Office: +49 89 3681 380 Fax: +49 89 3681 3830 niton.eur@thermofisher.com Asia and the Middle East

Thermo Scientific Unit 23, 5/F, Corporation Park, 11 On Lai Street, Siu Lek Yuen, Shatin, NT, Hong Kong. Office: +852 2869 6669 Fax: +852 2567 4447 niton.asia@thermofisher.com

# Lead Paint Standard



#### Americas

**Thermo Scientific** 2 Radcliff Road Tewksbury, MA 01876 USA Tel USA: 800-875-1578 Tel: +1 978-670-7460 Fax: +1 978-670-7430 niton@thermofisher.com

#### Europe and Africa

**Thermo Scientific** Joseph-Dollinger-Bogen 9 80807 Munich Germany Office: +49 89 3681 380 Fax: +49 89 3681 3830 niton.eur@thermofisher.com

#### Asia and the Middle East

Thermo Scientific Unit 23, 5/F, Corporation Park, 11 On Lai Street, Siu Lek Yuen, Shatin, NT, Hong Kong. Office: +852 2869 6669 Fax: +852 2567 4447 niton.asia@thermofisher.com

# APPENDIX II XRF Data

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R & S Professional Equipment, inc.	-	LEAD BASE	D PAINT T	ED PAINT TESTING DATA SHEET	Ŀ		
9. Naguabo F 87) 874-5195	RO. Box 289, Naguabo P.R. 00718 Teléfono (787) 874-5195 • Fax (787) 874-8910						
Client Name:	Ingenium Professional Group, PSC	roup, PSC			Date:	Date: 1/30/23	
Project Name:	Centro de Actividades				Inspector:	Inspector: Anthony Robinson	obinson
	Progreso Street, Adjuntas, Puerto Ric	as, Puerto Rico		XRI	- Serial No.:	XRF Serial No.: Niton XLp 300A	300A
Reading #	Building	Substrate	Color	Component & Location	XRF Reading	Paint Condition	Comments
				Calibration I PS Blank	00		
				Calibration LPS Yellow	6.0		
				Calibration LPS Red	3.5		
	Exterior Building	Concrete	Yellow	Wall A/ Column / Trim	0.0	Fair	
	Exterior Building	Concrete	Yellow	Wall A, Low Wall Trim	0.0	Fair	
	Exterior Building	Concrete	Cream	Wall A	0.0	Fair	
	Exterior Building	Concrete	Yellow	Wall A, Arch Term	0.0	Fair	
	Exterior Building	Metal	Cream	Wall A	0.0	Fair	
	Exterior Building	Metal	Red	Wall A, Door	0.0	Fair	
	Exterior Building	Concrete	Red	Wall A, Door Frame	0.0	Fair	
	Exterior Building	Concrete	Yellow	Wall A, Low Wall Trim	1.3	Fair	Positive
	Exterior Building	Concrete	Yellow	Wall A, Low Wall Trim	3.4	Fair	Positive
	Exterior Building	Concrete	Cream	Wall A	0.0	Fair	
	<b>Exterior Building</b>	Concrete	Yellow	Wall A, Arch Term	0.0	Fair	
	<b>Exterior Building</b>	Concrete	Yellow	Wall A, Balcony Ceiling	0.0	Fair	
16	<b>Exterior Building</b>	Concrete	Yellow	Balcony Trim	0.0	Fair	
	Exterior Building	Metal	Black	Balcony Gate	0.0	Fair	
	Exterior Building	Metal	Red	Balcony Door	0.0	Fair	
	Exterior Building	Wood	Yellow	Balcony Door Frame	0.0	Fair	
	Exterior Building	Wood	Yellow	Balcony Header Door	0.0	Fair	
	<b>Exterior Building</b>	Metal	Black	Header Door	0.0	Fair	

Paint Condition: Fair (F)

Substrate: Concrete (C), Metal (M), Wood (W), Gypsum (G)

R & S PROFESSIONAL EQUIPMENT, INC.		-EAD BASEI	D PAINT T	ED PAINT TESTING DATA SHEET	t		
Client Name: Ingeniation (787) 874-5195 - Fax (787) 874-8910 Client Name: Ingenium	в. 00718 15 - Fax (787) 874-8910 Ingenium Professional Group, PSC	DSC DSC			Date.	<b>Date:</b> 1/30/23	
Project Name:	Centro de Actividades	00.000			Inspector:	Inspector: Anthony Robinson	obinson
Address:	Progreso Street, Adjuntas, Puerto Ric	s, Puerto Rico		XRF	XRF Serial No.: Niton XLp 300A	Niton XLp	300A
- 1							
Reading #	Building	Substrate	Color	Component & Location	XRF Reading	Paint Condition	Comments
43	Interior Building	Concrete	Yellow	Wall C, Window Trim	0.0	Fair	
44	Interior Building	Concrete	White	Wall D	0.0	Fair	
45	Interior Building	Metal	Cream	Column Pipe	0.0	Fair	
46	Interior Building	Metal	Cream	Column Pipe	0.0	Fair	
47	Interior Building	Metal	Cream	Column Pipe	0.0	Fair	
48	Interior Building	Metal	Cream	Column Pipe	0.0	Fair	
49	Interior Building	Metal	Cream	Column Pipe	0.0	Fair	
50	Interior Building	Metal	Cream	<b>Cranel Metal Frame</b>	0.0	Fair	
51	Interior Building	Terrazo	White	Floor	0.0	Fair	
52	Exterior Building	Concrete	Red	Wall A	0.0	Fair	
53	<b>Retesting Exterior Building</b>	Concrete	Yellow	Wall A, Lower	1.5	Fair	Positive
54	<b>Retesting Exterior Building</b>	Concrete	Yellow	Wall A, Lower	3.2	Fair	Positive
55	<b>Retesting Exterior Building</b>	Concrete	Yellow	Wall A, Lower	3.2	Fair	Positive
56	<b>Retesting Exterior Building</b>	Concrete	Yellow	Wall A, Lower	3.1	Fair	Positive
57	<b>Retesting Exterior Building</b>	Concrete	Yellow	Wall A, Arch	0.0	Fair	
28	<b>Retesting Exterior Building</b>	Concrete	Yellow	Wall A., Column	0.0	Fair	
59	<b>Retesting Exterior Building</b>	Concrete	Yellow	Wall A, Column	0.0	Fair	
60	<b>Retesting Exterior Building</b>	Concrete	Cream	Wall A	0.0	Fair	
61	<b>Retesting Exterior Building</b>	Concrete	Cream	Wall A	0.0	Fair	
62	<b>Retesting Exterior Building</b>	Concrete	Cream	Wall A	0.0	Fair	
63				Calibration	1.0		

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Paint Condition: Fair (F)

Substrate: Concrete (C), Metal (M), Wood (W), Gypsum (G)

R & S PROFESSIONAL EQUIPMENT, INC.	_	LEAD BASEI	D PAINT T	BASED PAINT TESTING DATA SHEET	t		
R.O. Box 289, Naguabo P.R. 00718 Teléfono (787) 874-5195 • Fax (787) 874-8910	P.R. 00718 5 - Fax (787) 874-8910						
<b>Client Name:</b>	Ingenium Professional Group, PSC	roup, PSC			Date:	Date: 1/30/23	
Project Name:	Centro de Actividades				Inspector:	Inspector: Anthony Robinson	binson
Address:	Progreso Street, Adjuntas,	is, Puerto Rico		XRF	XRF Serial No.: Niton XLp 300A	Niton XLp 3	00A
Reading #	Building	Substrate	Color	Component & Location	XRF Reading	Paint Condition	Comments
22	Exterior Building	Concrete	Yellow	Wall A, Low Wall Trim	3.2	Fair	Positive
23	Exterior Building	Concrete	Yellow	Wall A, Low Wall Trim	3.4	Fair	Positive
24	Exterior Building	Concrete	Cream	Wall A	0.0	Fair	
25	Exterior Building	Concrete	Yellow	Wall A , Arch	0.0	Fair	
26	Exterior Building	Concrete	Yellow	Wall A , Column	0.0	Fair	
27	Exterior Building	Concrete	Yellow	Wall A, Upper Trim	0.0	Fair	
28	Exterior Building	Concrete	White	Wall B	0.0	Fair	
29	Exterior Building	Concrete	White	Wall B	0.0	Fair	
30	Exterior Building	Ceramic	White	Wall C	0.0	Fair	
31	Exterior Building	Concrete	Yellow	Wall D	0.0	Fair	
32	Exterior Building	Concrete	Cream	Wall D	0.0	Fair	
33	Exterior Building	Concrete	Yellow	Wall D	0.0	Fair	
34	Exterior Building	Concrete	Yellow	Wall D, Balcony Ceiling	0.0	Fair	
35	Exterior Building	Concrete	Yellow	Wall D, Balcony Trim	0.0	Fair	
36	Exterior Building	Metal	Gray	Wall D, Balcony Door	0.0	Fair	
37	Exterior Building	Metal	Black	Wall D, Balcony Gate	0.0	Fair	
38	Exterior Building	Concrete	Yellow	Wall D, Balcony Trim	0.0	Fair	
39	Exterior Building	Concrete	Cream	Wall D, Balcony Trim	0.0	Fair	
40	Interior Building	Concrete	White	Wall A	0.0	Fair	
41	Interior Building	Concrete	White	Wall B	0.0	Fair	
47	Interior Building	Concrete	White	Wall C	0.0	Fair	

Paint Condition: Fair (F)

Substrate: Concrete (C), Metal (M), Wood (W), Gypsum (G)

# **APPENDIX III**

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# Location for Lead Based Paint Survey

		binson	DOA		Comments																				
	Date: 1/30/23	Inspector: Anthony Robinson	Niton XLp 3(		Paint Condition																				
	Date:	Inspector:	XRF Serial No.: Niton XLp 300A		XRF Reading	1.0	1.0																		
ED PAINT TESTING DATA SHEET			XRF	-	Component & Location	Calibration	Calibration																		
PAINT TE					Color																				
LEAD BASED	oup, PSC		, Puerto Rico	-	Substrate																				
	Ingenium Professional Group, PSC	Centro de Actividades	Progreso Street, Adjuntas,		Building																				
R & S Professional Equipment, INC. P.O. Box 289, Naguabo PR, 00718 P.O. Box 289, Naguabo PR, 00718	<b>Client Name:</b>	Project Name:	Address:		Reading #	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83

Paint Condition: Fair (F)

Substrate: Concrete (C), Metal (M), Wood (W), Gypsum (G)

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# **APPENDIX IV**

# Photo of Positive Components

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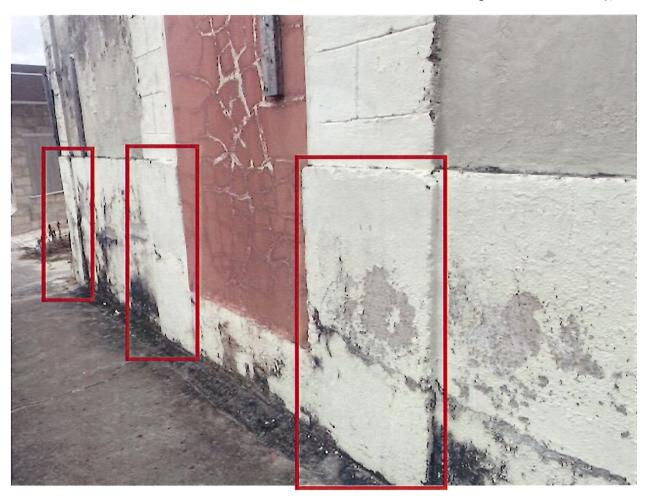
Positive LBP component at concrete yellow color Exterior Wall A, low wall trim.



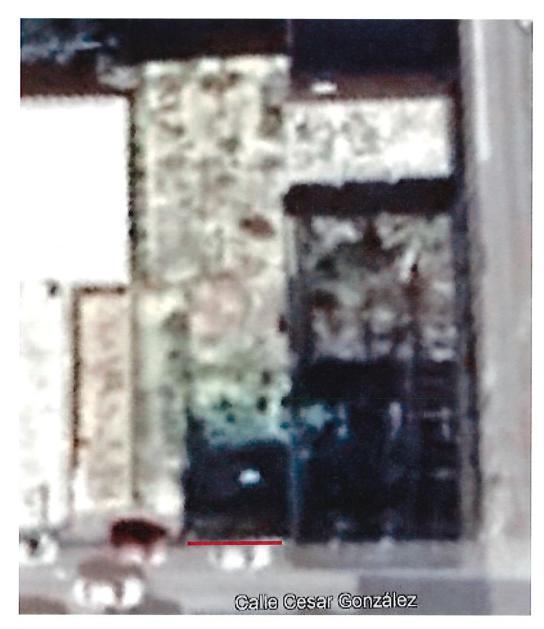
Positive LBP component at concrete yellow color Exterior Wall A, low wall trim.

Positive LBP component at concrete yellow color Exterior Wall A, low wall trim.

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Positive LBP component at concrete yellow color Exterior Wall A, low wall trim.



Positive LBP component at concrete yellow color Exterior Wall A, low wall trim.



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# **Detailed Facility Report**



#### **Detailed Facility Report**

# **Facility Summary**

#### DEPT OF ED - JOSE EMILIO LUGO SCH

#### CALLE FRANCISCO PIETRI 75, ADJUNTAS, PR 00601

FRS (Facility Re	egistry Service) II	<b>D</b> :	110004888275
EPA Region:	02		
Latitude:	18.16764		
Longitude:	-66.72247		
Locational Dat	a Source:	FRS	
Industries:			
Indian Country	": N		

#### **Enforcement and Compliance Summary**

Statute	RCRA
Compliance Monitoring Activities (5 years)	
Date of Last Compliance Monitoring Activity	-
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	
Formal Enforcement Actions (5 years)	
Penalties from Formal Enforcement Actions (5 years)	-
EPA Cases (5 years)	
Penalties from EPA Cases (5 years)	

#### **Regulatory Information Other Regulatory Reports** Clean Air Act (CAA): No Information Air Emissions Inventory (EIS): No Information Clean Water Act (CWA): No Information Greenhouse Gas Emissions (eGGRT): No Information Resource Conservation and Recovery Act (RCRA): Inactive Toxic Releases (TRI): No Information Other, (PR0000622555) Compliance and Emissions Data Reporting Interface (CEDRI): Safe Drinking Water Act (SDWA): No Information No Information Go To Enforcement/Compliance Details Known Data Problems

Facility NAICS (North American Industry Classification

# Facility/System Characteristics

#### Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110004888275					N	18.16764	-66.72247
RCRAInfo	RCRA	PR0000622555	Other	Inactive ( )			N		

#### **Facility Address**

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110004888275	DEPT OF ED - JOSE EMILIO LUGO SCH	CALLE FRANCISCO PIETRI 75, ADJUNTAS, PR 00601	Adjuntas Municipio
RCRAInfo	RCRA	PR0000622555	DEPT OF ED - JOSE EMILIO LUGO SCH	CALLE FRANCISCO PIETRI 75, ADJUNTAS, PR 00601-2252	Adjuntas Municipio

#### Facility SIC (Standard Industrial Classification) Codes

#### System) Codes System Identifier SIC Code SIC Description Identifier NAICS Code **NAICS** Description System No data records returned No data records returned **Facility Tribe Information Reservation Name** Tribe Name EPA Tribal ID Distance to Tribe (miles) No data records returned **Enforcement and Compliance Compliance Monitoring History** Last 5 Years V Statute Source ID System Activity Type **Compliance Monitoring Type** Lead Agency Date Finding (if applicable)

No data records returned

Entries in italics are not counted as EPA official inspections.

#### **Compliance Summary Data**

Statute	Source ID	Current <u>SNC (Significant Noncompliance)/HPV (High Priority</u> <u>Violation</u> )	Current As Of	Qtrs with <u>NC (Noncompliance</u> ) (of 12)	Data Last Refreshed
RCRA	PR0000622555	No	08/19/2023	0	08/18/2023

#### Three-Year Compliance History by Quarter

Statute	Program/Pollut Typ		QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (S	Source ID: PR00	000622555)	10/01- 12/31/20	01/01- 03/31/21	04/01- 06/30/21	07/01- 09/30/21	10/01- 12/31/21	01/01- 03/31/22	04/01- 06/30/22	07/01- 09/30/22	10/01- 12/31/22	01/01- 03/31/23	04/01- 06/30/23	07/01- 09/30/23
	Facility-Lev	vel Status	No Violation Identified											
	Violation	Agency												

Informal Enfor	cement Actions	Last 5 Years 🗸			
Statute	System	Source ID	Type of Action	Lead Agency	Date

No data records returned

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

Forma	al Enfo	orcement	Actio	ns La	ast 5	Years	~								
Statute	System	Law/Section	Source ID		Case No.	Lead Agency	Case Name	Issued/Filed Date	Settlements/Actions	Settlement/Action Date	Federal Penalty Assessed	State/Local Penalty Assessed	-	SEP Value	Comp Action Cost
								No data re	ecords returned						

# **Environmental Conditions**

Watersheds

	12-Digit <u>WBD (Watershed</u> <u>Boundary Dataset</u> ) HUC ( <u>RAD (Reach Address</u> Database))	<u>WBD (Watershed Boundary</u> <u>Dataset)</u> Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with <u>ESA</u> ( <u>Endangered Species Act</u> )- listed Aquatic Species?
--	--	---	--	--	--	--	--

No data records returned

#### Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Aquatic Life	Fish Consumption Use	Recreation Use	Other Use	
-------	-----------------	-----------------------	-------------------------	--------------------	--------------------------	-----------------------	-----------------	-------------------------	-------------------	--------------	--

No data records returned

#### Air Quality Nonattainment Areas

Pollutant Within Nonattainment Status Area? Nonattainment Status Applicable Standard(s) Within Maintenance Status Area? Maintenance Status Applicable Standard(s)

No data records returned

#### Pollutants

#### Toxics Release Inventory History of Reported Chemicals Released in Pounds per Year at Site

TRI Facility ID	Year	Total Air Emissions	Surface Water Discharges	Off-Site Transfers to <u>POTWs (Publicly</u> <u>Owned Treatment Works</u> )	Underground Injections	Releases to Land	Total On-Site Releases	Total Off-Site Transfers				
				No data records returne	ed							
Toxics R	oxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year											
	Chemical Name											
	No data records returned <u>DMR and TRI Multi-Year Loading Report</u> <u>CWA (Clean Water Act)</u> Discharge Monitoring Report (DMR) Pollutant											
Loading	oadings											

No data records returned

# Community

#### **Environmental Justice**

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the EJScreen home page.

#### **EJScreen Indexes Shown**



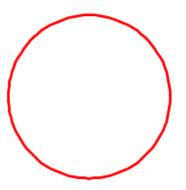
#### Download Data

Census Block Group ID: 720019566001	US (Percentile)	
Supplemental Indexes	Facility Census Block Group	1-mile Max
Count of Indexes At or Above 80th Percentile	6	6
Particulate Matter 2.5	0	
Ozone	0	
Diesel Particulate Matter	0	
Air Toxics Cancer Risk	37	39
Air Toxics Respiratory Hazard Index	39	42
Toxic Releases to Air	82	99
Traffic Proximity	99	99
Lead Paint	94	98
Risk Management Plan (RMP) Facility Proximity	65	75
Hazardous Waste Proximity	66	71
Superfund Proximity	99	99
Underground Storage Tanks (UST)	99	99
Wastewater Discharge	97	98

#### **Related Reports**

EJScreen Community Report

O Facility 1-mile Radius D Facility Census Block Group



Earthstar Geographics | Esri, HERE, Garmin, Foursquare, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, NPS

1 mi

+

Powered by Esri

#### Demographic Profile of Surrounding Area (1 mile)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2017 - 2021 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the <u>DFR Data Dictionary</u>.

General Statistics (U.S. Census)		Age Breakdown (U.S. Census) - Persons (%)	
Total Persons	5,432	Children 5 years and younger	326 (6%)
Population Density	1,732/sq.mi.	Minors 17 years and younger	1,354 (25%)
Housing Units in Area	2,382	Adults 18 years and older	4,078 (75%)
		Seniors 65 years and older	849 (16%)
General Statistics (ACS (American Community Surve	<u>ey))</u>		
Total Persons	4,636	Race Breakdown (U.S. Census) - Persons (%)	
Percent People of Color	98%	White	5,079 (94%)
Households in Area	1,415	African-American	142 (3%)
Households on Public Assistance	642	Hispanic-Origin	5,406 (100%)
Persons With Low Income	4,194	Asian/Pacific Islander	2 (0%)
Percent With Low Income	91%	American Indian	28 (1%)
		Other/Multiracial	181 (3%)
Geography			
Radius of Selected Area	1 mi.	Education Level (Persons 25 & older) (ACS (American Com	<u>munity Survey)</u> ) - Persons
Center Latitude	18.16764	(%)	
Center Longitude	-66.72247	Less than 9th Grade	563 (17.1%)
Land Area	100%	9th through 12th Grade	327 (9.93%)
Water Area	0%	High School Diploma	916 (27.82%)
		Some College/2-year	396 (12.03%)
Income Breakdown (ACS (American Community Sur	rvey)) - Households (%)	B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	676 (20.53%)
Less than \$15,000	754 (53.32%)		
\$15,000 - \$25,000	294 (20.79%)		
\$25,000 - \$50,000	300 (21.22%)		
\$50,000 - \$75,000	48 (3.39%)		

LAST UPDATED ON SEPTEMBER 21, 2022

DATA REFRESH INFORMATION

# **Detailed Facility Report**



#### **Detailed Facility Report**

# **Facility Summary**

PRASA

#### 101 SAN JOAQUIN ST, ADJUNTAS, PR 00601

FRS (Facility Regi	RS (Facility Registry Service) ID:										
EPA Region:	02										
Latitude: 1	8.16409										
Longitude:	-66.72436										
Locational Data S	ource:	FRS									
Industries:											
Indian Country:	Ν										

#### **Enforcement and Compliance Summary**

Statute	RCRA
Compliance Monitoring Activities (5 years)	
Date of Last Compliance Monitoring Activity	-
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	-
Formal Enforcement Actions (5 years)	-
Penalties from Formal Enforcement Actions (5 years)	
EPA Cases (5 years)	-
Penalties from EPA Cases (5 years)	

#### **Regulatory Information Other Regulatory Reports** Clean Air Act (CAA): No Information Air Emissions Inventory (EIS): No Information Clean Water Act (CWA): No Information Greenhouse Gas Emissions (eGGRT): No Information Resource Conservation and Recovery Act (RCRA): Inactive Toxic Releases (TRI): No Information Other, (PRR000010710) Compliance and Emissions Data Reporting Interface (CEDRI): Safe Drinking Water Act (SDWA): No Information No Information Go To Enforcement/Compliance Details Known Data Problems

Facility NAICS (North American Industry Classification

# Facility/System Characteristics

#### Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110004894785					N	18.16409	-66.72436
RCRAInfo	RCRA	PRR000010710	Other	Inactive ( )			N	18.163152	-66.723862

#### **Facility Address**

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110004894785	PRASA	101 SAN JOAQUIN ST, ADJUNTAS, PR 00601	Adjuntas Municipio
RCRAInfo	RCRA	PRR000010710	PR AQUEDUCT & SEWER AUTH	101 SAN JOAQUIN ST, ADJUNTAS, PR 00601	Adjuntas Municipio

#### Facility SIC (Standard Industrial Classification) Codes

				System) (	Codes				
System	Identifier	SIC Code	SIC Description						
	No do	ta records returr	a d	System	Identifie	r NAI	CS Code	NAICS Description	
	No da	ta records return	lea	No data records returned Facility Tribe Information					
				Reservatio	n Name T	ribe Name	EPA Tribal ID	Distance to Tribe (miles)	
						No data re	cords returr	ned	
Enforce	ement and	Complian	се						
Complian	ice Monitoring	History Las	5 Years 👻						
Statute	Source ID Sy	stem Activity	Type Compliance I	Monitoring Type	L	ead Agency	Date	Finding (if applicable)	

No data records returned

Entries in italics are not counted as EPA official inspections.

#### **Compliance Summary Data**

Statute	Source ID	Current <u>SNC (Significant Noncompliance)/HPV (High Priority</u> <u>Violation</u> )	Current As Of	Qtrs with <u>NC (Noncompliance</u> ) (of 12)	Data Last Refreshed
RCRA	PRR000010710	No	08/19/2023	0	08/18/2023

#### Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: PRR000010710)		10/01- 12/31/20	01/01- 03/31/21	04/01- 06/30/21	07/01- 09/30/21	10/01- 12/31/21	01/01- 03/31/22	04/01- 06/30/22	07/01- 09/30/22	10/01- 12/31/22	01/01- 03/31/23	04/01- 06/30/23	07/01- 09/30/23
	Facility-Level Status	No Violation Identified											
	Violation Agency												

Informal Enforc	ement Actions	Last 5 Years 🛛 🗸			
Statute	System	Source ID	Type of Action	Lead Agency	Date

No data records returned

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

Form	al Enfo	orcement	Actio	ns L	ast 5	Years	~							
Statute	System	Law/Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/Filed Date	Settlements/Actions	Settlement/Action Date	Federal Penalty Assessed	State/Local Penalty Assessed	Value	Comp Action Cost
								No data re	ecords returned					

# **Environmental Conditions**

Watersheds

	12-Digit <u>WBD (Watershed</u> <u>Boundary Dataset</u> ) HUC ( <u>RAD (Reach Address</u> Database))	<u>WBD (Watershed Boundary</u> <u>Dataset)</u> Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with <u>ESA</u> ( <u>Endangered Species Act</u> )- listed Aquatic Species?
--	--	---	--	--	--	--	--

No data records returned

#### Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Aquatic Life	Fish Consumption Use	Recreation Use	Other Use	
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No data records returned

#### Air Quality Nonattainment Areas

Pollutant Within Nonattainment Status Area? Nonattainment Status Applicable Standard(s) Within Maintenance Status Area? Maintenance Status Applicable Standard(s)

No data records returned

#### Pollutants

#### Toxics Release Inventory History of Reported Chemicals Released in Pounds per Year at Site

TRI Facility ID	Year	Total Air Emissions	Surface Water Discharges	Off-Site Transfers to <u>POTWs (Publicly</u> <u>Owned Treatment Works</u> )	Underground Injections	Releases to Land	Total On-Site Releases	Total Off-Site Transfers		
No data records returned										
Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year										
Chemical Name										
No data records returned										
CWA (Clean Water Act) Discharge Monitoring Report (DMR) Pollutant										

No data records returned

# Community

#### **Environmental Justice**

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the EJScreen home page.

#### **EJScreen Indexes Shown**



#### Download Data

Census Block Group ID: 720019566002	US (Percentile)						
Supplemental Indexes	Facility Census Block Group	1-mile Max					
Count of Indexes At or Above 80th Percentile	4	6					
Particulate Matter 2.5	0						
Ozone	0						
Diesel Particulate Matter	0						
Air Toxics Cancer Risk	37	39					
Air Toxics Respiratory Hazard Index	39	42					
Toxic Releases to Air	79	99					
Traffic Proximity	99	99					
Lead Paint	98	98					
Risk Management Plan (RMP) Facility Proximity	67	75					
Hazardous Waste Proximity	62	71					
Superfund Proximity	99	99					
Underground Storage Tanks (UST)	0	<b>9</b> 99					
Wastewater Discharge	98	98					

#### **Related Reports**

EJScreen Community Report

# O Facility 1-mile Radius

□ Facility Census Block Group



#### Demographic Profile of Surrounding Area (1 mile)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2017 - 2021 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the <u>DFR Data Dictionary</u>.

Construction       1,796/sq.mi.         Housing Units in Area       2,429         Adults 18 years and younger       1,331 (25%)         Adults 18 years and younger       4,312 (25%)         Adults 18 years and younger       4,312 (25%)         Adults 18 years and younger       4,312 (25%)         Adults 18 years and older       863 (16%)         Seniors 65 years and older       863 (16%)         White       5,187 (93%)         Adults 18 years and older       96 (11)         Seniors 65 years and older       5,187 (93%)         Adults 18 years and older       5,187 (93%)         Senore Conget       113 (26%)	General Statistics (U.S. Census)		Age Breakdown (U.S. Census) - Persons (%)				
Jousing Units in Area       2,429         Jeneral Statistics (ACS (American Community Survey))       Adults 18 years and older       4,175 (75%)         Jouseholds in Area       4,532         Jouseholds in Area       1,385         Jouseholds on Public Assistance       639         Versons With Low Income       91%         Jeography       4,173 (75%)         Jadius of Selected Area       1 mi.         Jenter Latitude       18,16409         Center Longitude       -66,72436         and Area       100%         Vater Area       0%         Insome Breakdown (ACS (American Community Survey)) - Households (%)       Est than \$15,000         est shan \$15,000       744 (53,72%)         J15,000       286 (20,65%)         25,000       291 (21,01%)         J50,000       291 (21,01%)	Total Persons	5,557	Children 5 years and younger	331 (6%)			
Seniors 65 years and older         Senior 65 years and older <ths< td=""><td>Population Density</td><td>1,796/sq.mi.</td><td>Minors 17 years and younger</td><td>1,381 (25%)</td></ths<>	Population Density	1,796/sq.mi.	Minors 17 years and younger	1,381 (25%)			
Seneral Statistics (ACS (American Community Survey))         And the seneral Statistics (Act Sta	Housing Units in Area	2,429	Adults 18 years and older	4,175 (75%)			
Kace Breakdown (U.S. Census) - Persons (%)           Vercent People of Color         98%           Ausscholds in Area         1,385           Ausscholds on Public Assistance         639           Vercent With Low Income         4,113           Vercent With Low Income         91%           Ausscholds on Public Assistance         639           Vercent With Low Income         91%           Ausscholds on Public Assistance         639           Vercent With Low Income         91%           Ausscholds on Public Assistance         639           Vercent With Low Income         91%           Ausscholds on Public Assistance         101%           Assian/Pacific Islander         2 (0%)           Assian/Pacific Islander         2 (0%)           Assian/Pacific Islander         2 (0%)           Center Latitude         18.16409           Center Longitude         -66.72436           and Area         100%           Vater Area         0%           ess than \$15,000         744 (53.72%)           115,000         286 (20.65%)           125,000         291 (21.01%)           150,000         291 (21.01%)           150,000         291 (21.01%)			Seniors 65 years and older	863 (16%)			
Percent People of Color       98%         Households in Area       1,385         Households on Public Assistance       639         Percent With Low Income       4,113         Percent With Low Income       91%         Asian/Pacific Islander       2 (0%)         American Indian       28 (1%)         Other/Multiracial       192 (3%)         Education Level (Persons 25 & older) (ACS (American Community Survey)) - Percent With Low Income       18.16409         Center Latitude       18.16409         Center Longitude       -66.72436         and Area       100%         Water Area       0%         Hisp School Diploma       886 (27.40         Some College/2-year       397 (12.3)         B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More       658 (20.39)         115,000 - \$25,000       291 (21.01%)         150,000 - \$75,000       47 (3.39%)	General Statistics (ACS (American Community S	<u>urvey)</u> )					
Ausseholds in Area       1,385         Abuseholds on Public Assistance       639         Abuseholds on Public Assistance       91%         Center Latitude       18.16409         Vater Area       00%         Public Assistance       550 (17.04%         High School Diploma	Total Persons	4,532	Race Breakdown (U.S. Census) - Persons (%)				
Aligned and Area       10%         Area       100%         Vater Area       0%         Income Breakdown (ACS (American Community Survey)) - Households (%)       Ess than \$15,000         ess than \$15,000       744 (53.72%)         115,000 - \$25,000       291 (21.01%)         250,000 - \$75,000       47 (3.39%)	Percent People of Color	98%	White	5,187 (93%)			
Vith Low Income       4,113         Vercent With Low Income       91%         Seography       American Indian       28 (1%)         Geography       0         Ladius of Selected Area       1 mi.         Center Latitude       18.16409         Center Longitude       -66.72436         and Area       100%         Vater Area       0%         mcome Breakdown (ACS (American Community Survey)) - Households (%)       Ess than \$15,000         ess than \$15,000       744 (53.72%)         115,000 - \$25,000       291 (21.01%)         250,000 - \$75,000       47 (3.39%)	Households in Area	1,385	African-American	147 (3%)			
Percent With Low Income       91%         Geography       American Indian       28 (1%)         Geography       1mi.         Center Latitude       18.16409         Center Longitude       -66.72436         and Area       100%         Vater Area       00%         meme Breakdown (ACS (American Community Survey)) - Households (%)       Ess than 9th Grade       321 (9.95         High School Diploma       886 (27.44         Some College/2-year       397 (12.3)         B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More       658 (20.35%)         25,000 - \$50,000       291 (21.01%)         550,000 - \$75,000       47 (3.39%)	Households on Public Assistance	639	Hispanic-Origin	5,529 (100%)			
Geography       1 mi.       192 (3%)         Center Latitude       1 mi.       192 (3%)         Center Latitude       18.16409       100%         Center Longitude       -66.72436       3100%         and Area       100%       192 (3%)         Vater Area       0%       100%         mome Breakdown (ACS (American Community Survey)) - Households (%)       286 (20.65%)         sess than \$15,000       744 (53.72%)         115,000 - \$25,000       291 (21.01%)         250,000 - \$75,000       47 (3.39%)	Persons With Low Income	4,113	Asian/Pacific Islander	2 (0%)			
Geography         Imi.         Imi.           Center Latitude         1 mi.         Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons 25 & older) (ACS (American Community Survey)) - Persons 25 & older)         Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons 25 & older)           Center Latitude         18.16409         (%)           Center Longitude         -66.72436         321 (9.95           and Area         100%         9th through 12th Grade         321 (9.95           Vater Area         0%         886 (27.46           Some College/2-year         397 (12.3)           ess than \$15,000         744 (53.72%)           115,000 - \$25,000         286 (20.65%)           25,000 - \$50,000         291 (21.01%)           550,000 - \$75,000         47 (3.39%)	Percent With Low Income	91%	American Indian	28 (1%)			
tadius of Selected Area       1 mi.         tadius of Selected Area       1 mi.         Center Latitude       18.16409         Center Longitude       -66.72436         and Area       100%         Vater Area       0%         mome Breakdown (ACS (American Community Survey)) - Households (%)       Less than 9th Grade       321 (9.95         ess than \$15,000       744 (53.72%)       397 (12.3         15,000 - \$25,000       286 (20.65%)       25,000 - \$50,000       291 (21.01%)         25,000 - \$75,000       47 (3.39%)       47 (3.39%)			Other/Multiracial	192 (3%)			
Center Latitude       18.16409         Center Longitude       -66.72436         and Area       100%         Vater Area       0%         mcome Breakdown (ACS (American Community Survey)) - Households (%)       Ess than 9th Grade         ess than \$15,000       744 (53.72%)         115,000 - \$25,000       286 (20.65%)         225,000 - \$50,000       291 (21.01%)         iso,000 - \$75,000       47 (3.39%)	Geography						
Center Longitude         -66.72436         Less than 9th Grade         550 (17.04           and Area         100%         9th through 12th Grade         321 (9.95           Vater Area         0%         118.18407         118.18407           ncome Breakdown (ACS (American Community Survey)) - Households (%)         Some College/2-year         397 (12.3           ncome Breakdown (ACS (American Community Survey)) - Households (%)         B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More         658 (20.39           115,000 - \$25,000         286 (20.65%)         250,000 - \$50,000         291 (21.01%)           125,000 - \$75,000         47 (3.39%)         47 (3.39%)         47 (3.39%)	Radius of Selected Area	1 mi.		<u>imunity Survey)</u> ) - Pers			
Lenter Longitude       -66.72436       100%         and Area       100%       9th through 12th Grade       321 (9.95         Vater Area       0%       1160 Science/Bachelor of Arts) or More       886 (27.46         ncome Breakdown (ACS (American Community Survey)) - Households (%)       85./B.A. (Bachelor of Science/Bachelor of Arts) or More       658 (20.35         115,000 - \$25,000       286 (20.65%)       291 (21.01%)       658 (20.35%)         125,000 - \$75,000       47 (3.39%)       47 (3.39%)       1100 Science/Bachelor of Arts)	Center Latitude	18.16409					
Name       100%       High School Diploma       886 (27.40         Vater Area       0%       High School Diploma       886 (27.40         Income Breakdown (ACS (American Community Survey)) - Households (%)       B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More       658 (20.39         ist5,000 - \$25,000       286 (20.65%)       B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More       658 (20.39         ist5,000 - \$75,000       291 (21.01%)       High School Diploma       886 (27.40	Center Longitude	-66.72436		550 (17.04			
Valuer Area         0.%           order Area         0.%           Some College/2-year         397 (12.3           Some College/2-year         397 (12.3           B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More         658 (20.39)           115,000 - \$25,000         286 (20.65%)           25,000 - \$50,000         291 (21.01%)           150,000 - \$75,000         47 (3.39%)	Land Area	100%	9th through 12th Grade	321 (9.959			
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More         658 (20.39)           15,000 - \$25,000         286 (20.65%)           25,000 - \$50,000         291 (21.01%)           150,000 - \$75,000         47 (3.39%)	Water Area	0%	High School Diploma	886 (27.46			
ess than \$15,000     744 (53.72%)       \$15,000 - \$25,000     286 (20.65%)       \$25,000 - \$50,000     291 (21.01%)       \$50,000 - \$75,000     47 (3.39%)			Some College/2-year				
115,000 - \$25,000     286 (20.65%)       125,000 - \$50,000     291 (21.01%)       150,000 - \$75,000     47 (3.39%)	Income Breakdown (ACS (American Community	<u>( Survey)</u> ) - Households (%)	B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	658 (20.39			
25,000 - \$50,000 291 (21.01%) 550,000 - \$75,000 47 (3.39%)	Less than \$15,000	744 (53.72%)					
50,000 - \$75,000 47 (3.39%)	\$15,000 - \$25,000	286 (20.65%)					
	\$25,000 - \$50,000	291 (21.01%)					
Greater than \$75,000 17 (1.23%)	\$50,000 - \$75,000	47 (3.39%)					
	Greater than \$75,000	17 (1.23%)					

LAST UPDATED ON SEPTEMBER 21, 2022

DATA REFRESH INFORMATION

# **ECH** Detailed Facility Report

# **Facility Summary**

ADJUNTAS WASTEWATER TREATMENT PLANT

#### CANAS ST - AT THE END, ADJUNTAS, PR 00601

FRS (Facility Registry Service) ID: 110013695983 EPA Region: 02 Latitude: 18.166461 Longitude: -66.727561 Locational Data Source: FRS Industries: Utilities Indian Country: N

#### **Enforcement and Compliance Summary**

Statute	CWA
Compliance Monitoring Activities (5 years)	3
Date of Last Compliance Monitoring Activity	02/05/2020
Compliance Status	Violation Identified
Qtrs in Noncompliance (of 12)	3
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	-
Formal Enforcement Actions (5 years)	-
Penalties from Formal Enforcement Actions (5 years)	-
EPA Cases (5 years)	_
Penalties from EPA Cases (5 years)	_
Statute	RCRA
Statute Compliance Monitoring Activities (5 years)	RCRA
Compliance Monitoring Activities (5 years)	-
Compliance Monitoring Activities (5 years) Date of Last Compliance Monitoring Activity	-
Compliance Monitoring Activities (5 years) Date of Last Compliance Monitoring Activity Compliance Status	- - No Violation Identified
Compliance Monitoring Activities (5 years) Date of Last Compliance Monitoring Activity Compliance Status Qtrs in Noncompliance (of 12)	No Violation Identified 0
Compliance Monitoring Activities (5 years) Date of Last Compliance Monitoring Activity Compliance Status Qtrs in Noncompliance (of 12) Qtrs with Significant Violation	No Violation Identified 0 0
Compliance Monitoring Activities (5 years)         Date of Last Compliance Monitoring Activity         Compliance Status         Qtrs in Noncompliance (of 12)         Qtrs with Significant Violation         Informal Enforcement Actions (5 years)	- No Violation Identified 0 0
Compliance Monitoring Activities (5 years)         Date of Last Compliance Monitoring Activity         Compliance Status         Qtrs in Noncompliance (of 12)         Qtrs with Significant Violation         Informal Enforcement Actions (5 years)         Formal Enforcement Actions (5 years)	No Violation Identified 0

#### **Regulatory Information**

**Other Regulatory Reports** 

Clean Air Act (CAA): No Information

#### Air Emissions Inventory (EIS): No Information

Clean Water Act (CWA): Non-Major, Permit Admin Continued (PR0020214)

Resource Conservation and Recovery Act (RCRA): Inactive Other, (PRD000689224)

Safe Drinking Water Act (SDWA): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Go To Enforcement/Compliance Details

Known Data Problems <a href="https://epa.gov/resources/echo-data/known-data-problems">https://epa.gov/resources/echo-data/known-data-problems</a>

# **Facility/System Characteristics**

#### **Facility/System Characteristics**

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110013695983					Ν	18.166461	-66.727561
ICIS		32001					N	18.166347	-66.72823
ICIS		2655223					N	18.166347	-66.72823
ICIS-NPDES	CWA	PR0020214	Non-Major: NPDES Individual Permit	Admin Continued	POTW	01/31/2024	N	18.166347	-66.72823
RCRAInfo	RCRA	PRD000689224	Other	Inactive ( )			N		

#### **Facility Address**

System	Statute	Identifier	Facility Name	Facility Address	Facility County		
FRS		110013695983	ADJUNTAS WASTEWATER TREATMENT PLANT	CANAS ST - AT THE END, ADJUNTAS, PR 00601	Adjuntas Municipio		
ICIS		32001	ADJUNTAS STP	CANAS ST AT THE END, ADJUNTAS, PR 00601	Adjuntas Municipio		
ICIS		2655223	PRASA ADJUNTAS STP	CANSAS ST AT THE END, ADJUNTAS, PR 00601	Adjuntas Municipio		
ICIS-NPDES	CWA	PR0020214	PRASA ADJUNTAS WWTP	END OF CANAS STREET /FIN DE CALLE CANAS, PONCE, PR 00601	Adjuntas Municipio		
RCRAInfo	RCRA	PRD000689224	ADJUNTAS STP	CANAS ST AT THE END, ADJUNTAS, PR 00601	Adjuntas Municipio		

# Facility SIC (Standard Industrial Classification) Codes

i) Coae	S		Classif	ication Sys	stem) Co	aes	
Identifier	SIC Code	SIC Description	System	Identifier	NAICS Code	NAICS Description	
00000014	4050	Courses an Contones	DCDALafa	DDD000680334	22122	Courses Transferrent Condition	

System	dentifier	SIC Code	SIC Description	System	dentifier	NAICS Code	NAICS Description	
ICIS-NPDES	PR0020214	4952	Sewerage Systems	RCRAInfo	PRD000689224	22132	Sewage Treatment Facilities	

#### **Facility Industrial Effluent Guidelines**

**Facility NAICS (North American Industry** 

	No data records ret	urned		No data	records returned	
Identifier	Effluent Guideline (40 CFR Part)	Effluent Guideline Description	<b>Reservation Name</b>	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)

# **Enforcement and Compliance**

#### **Compliance Monitoring History** Last 5 Years

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
CWA	PR0020214	ICIS-NPDES	Offsite Record Review	Base Program - Desk Audit	EPA	02/16/2022	
CWA	PR0020214	ICIS-NPDES	Offsite Record Review	Base Program - Desk Audit	EPA	02/24/2021	
CWA	PR0020214	ICIS-NPDES	Inspection/Evaluation	Base Program - Evaluation	EPA	02/05/2020	
CWA	PR0020214	ICIS-NPDES	Inspection/Evaluation	Base Program - Evaluation	EPA	08/15/2019	
CWA	PR0020214	ICIS-NPDES	Inspection/Evaluation	Base Program - Evaluation	EPA	03/28/2019	

Entries in italics are not included in ECHO's Compliance Monitoring Activity counts because they are not compliance monitoring strategy <https://www.epa.gov/compliance/compliance-monitoring-programs> activities or because they are not counted as inspections within EPA's Annual Results <https://www.epa.gov/enforcement/enforcement-data-and-results>.

#### **Compliance Summary Data**

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
CWA	PR0020214	No	09/30/2023	3	03/01/2024
RCRA	PRD000689224	No	03/02/2024	0	03/01/2024

#### **Three-Year Compliance History by Quarter**

Statute	Program/Pollutant/Vi	iolatior	1 Туре		QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12	QTR 13+
	CWA (Source ID: PR002	0214)			10/01- 12/31/20	01/01- 03/31/21	04/01- 06/30/21	07/01- 09/30/21	10/01- 12/31/21	01/01- 03/31/22	04/01- 06/30/22	07/01- 09/30/22	10/01- 12/31/22	01/01- 03/31/23	04/01- 06/30/23	07/01- 09/30/23	10/01- 03/01/24
	Facility-Level S	Status			Violation Identified	Violation Identified	No Violation Identified			No Violation Identified	Violation Identified						
	Quarterly Noncomplianc	e Repo	rt History		Reportable Noncompliance	Reportable Noncompliance	Resolved - Pending		Resolved - Pending	Resolved - Pending	Resolved - Pending	Resolved - Pending	Resolved - Pending	Resolved - Pending	Resolved - Pending	Resolved - Pending	
	Pollutant	Disch Point	Mon Loc	Freq			1		1	1				1	1	1	1
CWA	BOD, 5-day, 20 deg. c <effluent- charts#pr0020214/00310&gt; <https: effluent-<br="" epa.gov="">charts#pr0020214/00310&gt;</https:></effluent- 	001 - A	Effluent Gross	Mthly									120%	163%	90%		
CWA	BOD, 5-day, 20 deg. C <effluent- charts#pr0020214/00310&gt; <https: effluent-<br="" epa.gov="">charts#pr0020214/00310&gt;</https:></effluent- 	001 - A	Effluent Gross	NMth				16%					113%	102%	31%		
CWA	BOD, 5-day, percent removal <effluent- charts#pr0020214/81010&gt; <https: effluent-<br="" epa.gov="">charts#pr0020214/81010&gt;</https:></effluent- 	001 - A	Percent Removal	Neither				80%					200%	340%	153%	13%	
CWA	Chlorine, total residual <effluent- charts#pr0020214/50060&gt; <https: effluent-<br="" epa.gov="">charts#pr0020214/50060&gt;</https:></effluent- 	001 - A	Effluent Gross	NMth							991%						
CWA	Cyanide, free available <effluent- charts#pr0020214/51173&gt; <https: effluent-<br="" epa.gov="">charts#pr0020214/51173&gt;</https:></effluent- 	001 - Q	Effluent Gross	NMth													377%
CWA	Oxygen, dissolved [DO] <effluent- charts#pr0020214/00300&gt; <https: effluent-<br="" epa.gov="">charts#pr0020214/00300&gt;</https:></effluent- 	001 - A	Effluent Gross	Neither		11%											
CWA	Phosphorus, total [as P] <effluent- charts#pr0020214/00665&gt; <https: effluent-<br="" epa.gov="">charts#pr0020214/00665&gt;</https:></effluent- 	001 - A	Effluent Gross	NMth													1%

Statute	Pro	gram/Pollutant/	Violation	Туре		QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12	QTR 1
CWA	Solids, suspende <effluent- charts#pr002 <https: epa.<br="">charts#pr002</https:></effluent- 	20214/81011> gov/effluent-	001 - A	Percent Removal	Neither				140%					80%	580%	293%	20%	
CWA	Solids, total susp <effluent- charts#pr002 <https: epa.<br="">charts#pr002</https:></effluent- 	20214/00530> gov/effluent-	001 - A	Effluent Gross	Mthly				23%					33%	333%	153%		
CWA	Solids, total susp <effluent- charts#pr002 <https: epa.<br="">charts#pr002</https:></effluent- 	20214/00530> gov/effluent-	001 - A	Effluent Gross	NMth				49%					47%	233%	89%	16%	
CWA	Surfactants [MBA charts#pr002 <https: epa.<br="">charts#pr002</https:>	20214/38260> gov/effluent-	001 - A	Effluent Gross	NMth				219%			106%		1800%	1240%	1610%		
itatute	Program/Pollut Typ		QTR		QTR 2	QTR 3	QTR 4	QTR 5	QTR 6		QTR 7	QTR 8	QTR	9	QTR 10	QTR 11	QTR	12+
RCRA	(Source ID: PRD)	000689224)	04/01 06/30/:	21 09	07/01- 9/30/21	10/01- 12/31/21	01/01- 03/31/22	04/01- 06/30/22	07/01- 09/30/2	2 12	.0/01- :/31/22	01/01- 03/31/23	04/0 06/30	/23 0	07/01- 9/30/23	10/01- 12/31/23	01/ 03/3	1/24
	Facility-Lev	vel Status	No Viola Identifi		Violation entified	No Violation Identified	No Violation Identified	No Violation Identified	No Violat Identifie		/iolation entified	No Violation Identified	No Viola Identi		Violation lentified	No Violatio Identified	n No Vio Ident	

# Statute System Source ID Type of Action Lead Agency Date

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

# Formal Enforcement Actions Last 5 Years

No data records returned													
Statute System Law/	Source	Type of	Case	Lead	Case	Issued/ Filed	Settlements/	Settlement/	Federal Penalty	State/ Local	Penalty Amount	SEP	Comp
Section	ID	Action	No.	Agency	Name	Date	Actions	Action Date	Assessed	Penalty Assessed	Collected	Value	Action Cost

# **Environmental Conditions**

#### Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)- listed Aquatic Species?
210100020402	Rio Grande de Arecibo at Lago Adjuntas Dam	CIDRA RIVER, RIO CIDRA	No	No	Copper, total (as Cu)   Enterococci   Solids, suspended percent removal   Solids, total suspended   Turbidity	Yes

#### Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
PR	2020	PRNR7A3	TÚNEL	Impaired - 303(d) Listed - With Restoration Plan	METALS (OTHER THAN MERCURY)   PATHOGENS   TURBIDITY	Not Supporting	Not Supporting	-	Not Supporting	-

#### Air Quality Nonattainment Areas

	No data records returned									
Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)						

## Pollutants

Toxics Release Inventory History of Reported Chemicals Released or Transferred in Pounds per Year at Site

				No data records returned				
TRI Facility	'ear	Air	Surface Water	Off-Site Transfers to POTWs (Publicly Owned Treatment	Underground	Disposal to	Total On-Site	Total Off-Site
ID		Emissions	Discharges	Works)	Injections	Land	Releases	Transfers

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

No data records returned

Chemical Name	
CWA (Clean Water Act) Discharge Monitoring Report (DMR) Pollutant Loadings	

DMR and TRI Multi-Year Loading Report

NPDES ID	Description		2020	2021	2022	2023
PR0020214	DMR Pollutant Loadings (lb/year)		104,094	43,411	64,058	83,419
PR0020214	DMR Pollutant Loadings - Load Over Limit (lb/year)		0.0069	14.62	206	12,426
PR0020214	DMR Conventional Loadings (lb/year)			-	25,380	
PR0020214	DMR Conventional Loadings - Load Over Limit (lb/year)			-	0	
PR0020214	DMR Toxic-Weighted Loadings (Ib-eq/year)		6.57	2.36	10.06	4.44
PR0020214	DMR Toxic-Weighted Loadings - Load Over Limit (Ib-eq/year)		0.7571	0	3.90	0

# Community

#### **Environmental Justice**

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the EJScreen home page.

#### **EJScreen Indexes Shown**

#### **Related Reports**



EJScreen Community Report

○ Facility 1-mile Radius □ Facility Census Block Group

23

	Download Data				
Census Block Group ID: 720019566002	US (Percentile)				
Supplemental Indexes	Facility Census Block Group	1-mile Max			
Count of Indexes At or Above 80th Percentile	4	6			
Particulate Matter 2.5	0				
Ozone	0				
Diesel Particulate Matter	0				
Air Toxics Cancer Risk	37	39			
Air Toxics Respiratory Hazard Index	39	42			
Toxic Releases to Air	79	99			
Traffic Proximity	9 99	<b>9</b> 99			

Census Block Group ID: 720019566002	US (Percentile)					
Supplemental Indexes	Facility Census Block Group	1-m	ile Max			
Lead Paint	98	Ð	98			
Risk Management Plan (RMP) Facility Proximity	67		75			
Hazardous Waste Proximity	62		71			
Superfund Proximity	99	Ø	99			
Underground Storage Tanks (UST)	0	0	99			
Wastewater Discharge	98	0	98			



#### Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2017 - 2021 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <a href="https://epa.gov/help/reports/dfr-data-dictionary#demographics">https://epa.gov/help/reports/dfr-data-dictionary#demographics</a>.

General Statistics (U.S. Census)		Age Breakdown (U.S. Census) - Persons (%)	
Total Persons	5,199	Children 5 years and younger	313 (6%)
Population Density	1,665/sq.mi.	Minors 17 years and younger	1,295 (25%)
Housing Units in Area	2,295	Adults 18 years and older	3,905 (75%)
General Statistics (ACS (American Community Survey))		Seniors 65 years and older	826 (16%)
Total Persons	4,456	Race Breakdown (U.S. Census) - Persons (%)	
Percent People of Color	98%	White	4,862 (94%)
Households in Area	1,357	African-American	142 (3%)
Households on Public Assistance	627	Hispanic-Origin	5,174 (100%)
Persons With Low Income	4,060	Asian/Pacific Islander	2 (0%)
Percent With Low Income	91%	American Indian	28 (1%)
		Other/Multiracial	166 (3%)
Geography			
Radius of Selected Area	1 mi.	Education Level (Persons 25 & older) (ACS (American Community	Survey)) - Persons (%)
Center Latitude	18.166461	Less than 9th Grade	546 (17.26%)
Center Longitude	-66.727561	9th through 12th Grade	320 (10.12%)
Land Area	100%	High School Diploma	858 (27.13%)
Water Area	0%	Some College/2-year	397 (12.55%)
Income Breakdown (ACS (American Community Survey)) - Househo	lds (%)	B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	636 (20.11%)
Less than \$15,000	742 (54.64%)		
\$15,000 - \$25,000	273 (20.1%)		
\$25,000 - \$50,000	282 (20.77%)		
\$50,000 - \$75,000	44 (3.24%)		
Greater than \$75,000	17 (1.25%)		



# **Detailed Facility Report**

# **Facility Summary**

PRASA ADJUNTAS FILTER PLANT

PR-156 KM 1, ADJUNTAS, PR 00601
FRS (Facility Registry Service) ID: 110004887908
EPA Region: 02
Latitude: 18.15694
Longitude: -66.720578
Locational Data Source: RCRAINFO
Industries:
Indian Country: N

## **Enforcement and Compliance Summary**

Statute	RCRA
Compliance Monitoring Activities (5 years)	-
Date of Last Compliance Monitoring Activity	-
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	-
Formal Enforcement Actions (5 years)	-
Penalties from Formal Enforcement Actions (5 years)	-
EPA Cases (5 years)	-
Penalties from EPA Cases (5 years)	-

# **Regulatory Information**

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

**Resource Conservation and Recovery Act (RCRA):** Inactive **Toxic Releases (TRI):** No Information Other, (PR0000049130)

# **Other Regulatory Reports**

Air Emissions Inventory (EIS): No Information Greenhouse Gas Emissions (eGGRT): No Information Toxic Releases (TRI): No Information Safe Drinking Water Act (SDWA): No Information

#### Go To Enforcement/Compliance Details

Known Data Problems < https://epa.gov/resources/echo-data/known-data-problems>

# **Facility/System Characteristics**

# **Facility/System Characteristics**

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110004887908					Ν	18.15694	-66.720578
RCRAInfo	RCRA	PR0000049130	Other	Inactive ( )			Ν	18.15694	-66.720578

## **Facility Address**

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110004887908	PRASA ADJUNTAS FILTER PLANT	PR-156 KM 1, ADJUNTAS, PR 00601	Adjuntas Municipio
RCRAInfo	RCRA	PR0000049130	PRASA ADJUNTAS FILTER PLANT	CARR 156 KM 1, ADJUNTAS, PR 00601	Adjuntas Municipio

# Facility SIC (Standard Industrial<br/>Classification) CodesFacility NAICS (North American<br/>Industry Classification System)

	No data	records retur	ned	Codes						
System	Identifier	SIC Code	SIC Description		No data	a records retur	rned			
				System	Identifier	NAICS Code	NAICS Description			
				Facility Tribe Information						
					No data	a records retur	ned			
				Reservation	Name Tribe Nam	e EPA Tribal ID	Distance to Tribe (miles)			

# **Enforcement and Compliance**

Com	pliance	e Mon	itoring l	History	Last 5 Years						
	No data records returned										
Statute	Source ID	System	Activity Type	Compliance	Monitoring Type	Lead Agency	Date	Finding (if applicable)			

Entries in italics are not included in ECHO's Compliance Monitoring Activity counts because they are not compliance monitoring strategy <a href="https://www.epa.gov/compliance/compliance-monitoring-programs">https://www.epa.gov/compliance/compliance-monitoring-programs</a> activities or because they are not counted as inspections within EPA's Annual Results <a href="https://www.epa.gov/enforcement/enforcement-data-and-results">https://www.epa.gov/enforcement/enforcement/enforcement/enforcement/enforcement-data-and-results</a>.

# **Compliance Summary Data**

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
RCRA	PR0000049130	No	03/02/2024	0	03/01/2024

# **Three-Year Compliance History by Quarter**

Statute	Program/Pollutant/Violatio Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA	(Source ID: PR0000049130)	04/01- 06/30/21	07/01- 09/30/21	10/01- 12/31/21	01/01- 03/31/22	04/01- 06/30/22	07/01- 09/30/22	10/01- 12/31/22	01/01- 03/31/23	04/01- 06/30/23	07/01- 09/30/23	10/01- 12/31/23	01/01- 03/31/24
	Facility-Level Status	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified		No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified
	Violation Agency												

## Informal Enforcement Actions Last 5 Years

		No da	ata records returned		
Statute	System	Source ID	Type of Action	Lead Agency	Date

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

# Formal Enforcement Actions Last 5 Years

	No data records returned														
Statute	System	Law/ Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	lssued/ Filed Date	Settlements/ Actions	Settlement/ Action Date	Federal Penalty Assessed	State/ Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost

# **Environmental Conditions**

# Watersheds

No data records returned											
12-Digit WBD (WatershedWBD (Watershed BoundaryBoundary Dataset) HUCDataset) Subwatershed Name(RAD (Reach Address(RAD (Reach AddressDatabase))Database))	State Water Body Name	Beach	Beach	Pollutants	Watershed with ESA						
	(ICIS (Integrated	Closures	Closures	Potentially	(Endangered Species						
	Compliance Information	Within Last	Within Last	Related to	Act)-listed Aquatic						
	System))	Year	Two Years	Impairment	Species?						

. . . . .

# Assessed Waters From Latest State Submission (ATTAINS)

	No data records returned													
State	te Report Cycle Assessment Unit ID Name Condition Impaired Durinking Ecological Fish Consumption Recreation Use													
Air	Cycle Unit ID Name Condition Impaired Water Use													

Within Nonattainment Status Area?         Nonattainment Status Applicable Standard(s)         Within Maintenance Status Area?         Maintenance Status Standard(s)		No data records returned								
	Pollutant		••		••					

# Pollutants

**Toxics Release Inventory History of Reported Chemicals Released** 

# or Transferred in Pounds per Year at Site

	No data records returned								
TRI Facility ID	Year	Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Disposal to Land	Total On-Site Releases	Total Off-Site Transfers	
Toxics Release Inventory Total Releases and Transfers in Pounds									

#### Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

No data records returned

**Chemical Name** 

# Community

# **Environmental Justice**

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the EJScreen home page.

**Related Reports** 

**EJScreen Community Report** 

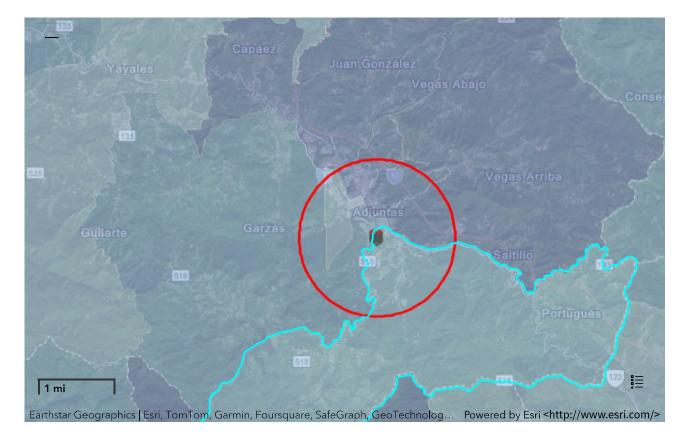
#### **EJScreen Indexes Shown**

# Compare to Image: US State Index Type Environmental Justice Supplemental

	Dowinte	bad Data		
Census Block Group ID: 720019568002	US (Percentile)			
Supplemental Indexes	Facility Census Block Group	1-mile Max		
Count of Indexes At or Above 80th Percentile	4	6		
Particulate Matter 2.5	0			
Ozone	0			
Diesel Particulate Matter	0			
Air Toxics Cancer Risk	37	39		
Air Toxics Respiratory Hazard Index	20	42		
Toxic Releases to Air	99	99		
Traffic Proximity	74	99		
Lead Paint	95	98		
Risk Management Plan (RMP) Facility Proximity	75	75		
Hazardous Waste Proximity	66	71		
Superfund Proximity	99	99		
Underground Storage Tanks (UST)	0	99		
Wastewater Discharge	95	98		

#### Download Data

○ Facility 1-mile Radius □ Facility Census Block Group



# Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2017 - 2021 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <a href="https://epa.gov/help/reports/dfr-data-dictionary#demographics">https://epa.gov/help/reports/dfr-data-dictionary#demographic></a>.

General Statistics (U.S. Census)	
Total Persons	5,995
Population Density	1,892/sq.mi.
Housing Units in Area	2,614
General Statistics (ACS (American Community Survey))	
Total Persons	3,814
Percent People of Color	98%
Households in Area	1,187
Households on Public Assistance	575
Persons With Low Income	3,453
Percent With Low Income	91%
Geography	
Radius of Selected Area	1 mi.
Center Latitude	18.15694

Age Breakdown (U.S. Census) - Persons (%)	
Children 5 years and younger	349 (6%)
Minors 17 years and younger	1,471 (25%)
Adults 18 years and older	4,523 (75%)
Seniors 65 years and older	919 (15%)
Race Breakdown (U.S. Census) - Persons (%)	
White	5,581 (93%)
African-American	159 (3%)
Hispanic-Origin	5,963 (99%)
Asian/Pacific Islander	2 (0%)
American Indian	30 (1%)
Other/Multiracial	223 (4%)

Geography						
Center Longitude	-66.720578					
Land Area	100%					
Water Area	0%					
Income Breakdown (ACS (American Community Survey)) - Households (%)						
Less than \$15,000	643 (54.12%)					
\$15,000 - \$25,000	249 (20.96%)					
\$25,000 - \$50,000	236 (19.87%)					
\$50,000 - \$75,000	44 (3.7%)					
Greater than \$75,000	16 (1.35%)					

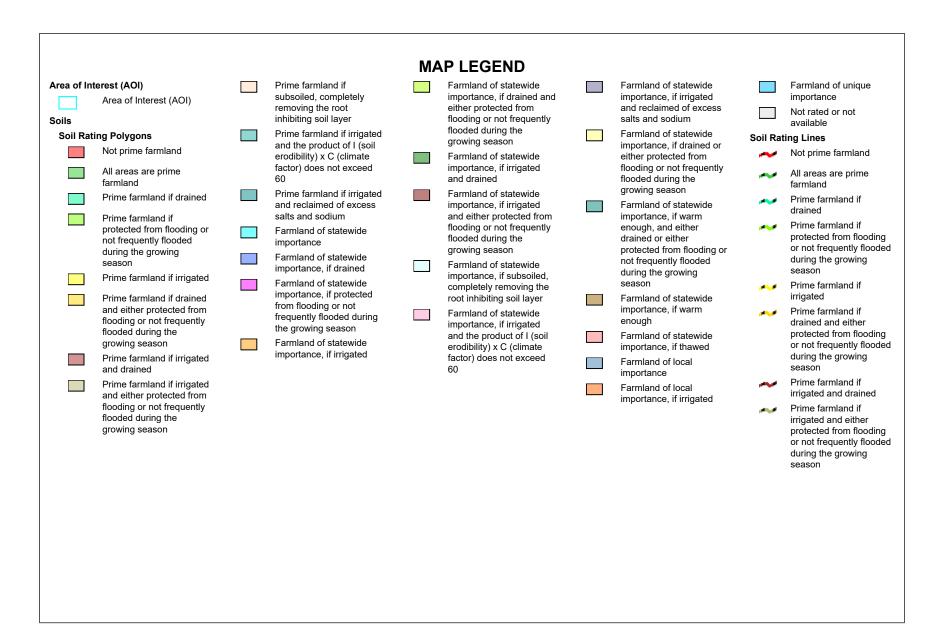
Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)						
Less than 9th Grade	438 (15.86%)					
9th through 12th Grade	261 (9.45%)					
High School Diploma	773 (28%)					
Some College/2-year	349 (12.64%)					
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	568 (20.57%)					

# Appendix F



National Cooperative Soil Survey

**Conservation Service** 



- Prime farmland if subsoiled, completely removing the root inhibiting soil layer
- Prime farmland if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60
- Prime farmland if irrigated and reclaimed of excess salts and sodium
- Farmland of statewide importance
- Farmland of statewide importance, if drained
- Farmland of statewide importance, if protected from flooding or not frequently flooded during the growing season
- Farmland of statewide importance, if irrigated

- Farmland of statewide importance, if drained and either protected from flooding or not frequently flooded during the
- growing season Farmland of statewide importance, if irrigated and drained

100

- Farmland of statewide importance, if irrigated and either protected from flooding or not frequently flooded during the growing season
   Farmland of statewide importance, if subsoiled.
- completely removing the root inhibiting soil layer Farmland of statewide importance, if irrigated

and the product of I (soil erodibility) x C (climate factor) does not exceed 60

- Farmland of statewide importance, if irrigated and reclaimed of excess salts and sodium
- Farmland of statewide importance, if drained or either protected from flooding or not frequently flooded during the growing season
- Farmland of statewide importance, if warm enough, and either drained or either protected from flooding or not frequently flooded during the growing season
- Farmland of statewide importance, if warm enough
- Farmland of statewide importance, if thawed
- Farmland of local importance
- Farmland of local importance, if irrigated

- Farmland of unique importance Not rated or not available Soil Rating Points
  - Not prime farmland
  - All areas are prime farmland
  - Prime farmland if drained
  - Prime farmland if protected from flooding or not frequently flooded during the growing season
  - Prime farmland if irrigated
  - Prime farmland if drained and either protected from flooding or not frequently flooded during the growing season
  - Prime farmland if irrigated and drained
  - Prime farmland if irrigated and either protected from flooding or not frequently flooded during the growing season

- Prime farmland if subsoiled, completely removing the root inhibiting soil layer
- Prime farmland if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60
- Prime farmland if irrigated and reclaimed of excess salts and sodium
- Farmland of statewide importance
- Farmland of statewide importance, if drained
- Farmland of statewide importance, if protected from flooding or not frequently flooded during the growing season
- Farmland of statewide importance, if irrigated



	Farmland of statewide importance, if drained and either protected from		Farmland of statewide importance, if irrigated and reclaimed of excess		Farmland of unique importance Not rated or not available	The soil surveys that comprise your AOI were mapped at 1:20,000.	
	flooding or not frequently flooded during the	_	salts and sodium	⊔ Water Fea		Warning: Soil Map may not be valid at this scale.	
	growing season		Farmland of statewide importance, if drained or		Streams and Canals	Enlargement of maps beyond the scale of mapping can cause	
	Farmland of statewide importance, if irrigated		either protected from flooding or not frequently	Transport	ation	misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of	
	and drained		flooded during the growing season	+++	Rails	contrasting soils that could have been shown at a more detailed	
	Farmland of statewide importance, if irrigated		Farmland of statewide	~	Interstate Highways	scale.	
	and either protected from flooding or not frequently		importance, if warm enough, and either drained or either	importance, if warm	~	US Routes	Please rely on the bar scale on each map sheet for map
	flooded during the			~	Major Roads	measurements.	
_	growing season Farmland of statewide		protected from flooding or not frequently flooded	~	Local Roads	Source of Map: Natural Resources Conservation Service	
	importance, if subsoiled,		during the growing season			Web Soil Survey URL: Coordinate System: Web Mercator (EPSG:3857)	
	completely removing the root inhibiting soil layer		Farmland of statewide	Backgrou	Aerial Photography	Maps from the Web Soil Survey are based on the Web Mercato	
F ir a e fa	Farmland of statewide importance, if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60	-	importance, if warm enough			projection, which preserves direction and shape but distorts	
			Farmland of statewide			distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more	
		_	importance, if thawed			accurate calculations of distance or area are required.	
			Farmland of local importance			This product is generated from the USDA-NRCS certified data	
			Farmland of local importance, if irrigated			as of the version date(s) listed below.	
						Soil Survey Area: Ponce Area, Puerto Rico Southern Part Survey Area Data: Version 18, Sep 13, 2023	
						Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.	
						Date(s) aerial images were photographed: Jan 23, 2022—Ma 1, 2022	
						The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.	



# **Farmland Classification**

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI	
UI	Urban land	Not prime farmland	0.2	100.0%	
Totals for Area of Interes	st	0.2	100.0%		

### Description

Farmland classification identifies map units as prime farmland, farmland of statewide importance, farmland of local importance, or unique farmland. It identifies the location and extent of the soils that are best suited to food, feed, fiber, forage, and oilseed crops. NRCS policy and procedures on prime and unique farmlands are published in the "Federal Register," Vol. 43, No. 21, January 31, 1978.

# **Rating Options**

Aggregation Method: No Aggregation Necessary

Tie-break Rule: Lower