

**Environmental Review for Activity/Project that is Categorically  
Excluded Subject to Section 58.5  
Pursuant to 24 CFR 58.35(a)**

**Project Information**

**Project Name:** MEJORAS AL ESTACIONAMIENTO PÚBLICO DEL MUNICIPIO DE NAGUABO  
(PR-CRP-001011)

**Responsible Entity:** Puerto Rico Department of Housing (PRDOH)

**Grant Recipient** (if different than Responsible Entity): MUNICIPALITY OF NAGUABO

**State/Local Identifier:** Puerto Rico

**Preparer:** SOI Architect Elí M. Martínez

**Certifying Officer Name and Title:**

Juan Carlos Perez-Bofill - Director, Disaster Recovery CDBG-DR  
Sally Z. Acevedo-Cosme - Permits and Environmental Compliance Specialist  
Pedro de León Rodríguez - Permits and Environmental Compliance Specialist  
Maria T. Torres-Bregón - Permits and Environmental Compliance Specialist  
Angel G. López Guzmán - Deputy Director, Permits and Environmental Compliance Specialist  
Ivelisse Lorenzo Torres - Permits and Environmental Compliance Specialist  
Santa Ramírez Lebrón - Permits and Environmental Compliance Specialist  
Janette I. Cambrelen - Permits and Environmental Compliance Specialist  
Limary Vélez Marrero - Permits and Environmental Compliance Specialist  
Mónica Machuca Rios - Permits and Environmental Compliance Specialist

**Direct Comments to:** Angel López Guzmán at [environmentcdbg@vivienda.pr.gov](mailto:environmentcdbg@vivienda.pr.gov)

**Project Location:**

Corner of Goyco and Garzot Street, Naguabo  
Parcel ID: 256-013-052-06  
Parcel Location:  
Lat: 18.21237734, Lon: -65.73643706  
See Attachment A

**Description of the Proposed Project** [24 CFR 50.12 & 58.32; 40 CFR 1508.25]:

The municipality of Naguabo owns a two-level parking garage structure constructed between 1990 and 1991 at the traditional urban center's intersection of Goyco Street and Garzot Street. The first level

accommodates thirty (30) parking spaces, administrative facilities, bathrooms, and storage areas, with stairs leading to the second level parking, which features forty-six (46) spaces, a booth, and independent entrances and exits on Garzot Street. Notably, the second level parking is uncovered.

The proposed project focuses on restoring the existing structure, involving the repair and restoration of concrete floor surfaces on both levels. The first-level interior floor surfaces will undergo mechanical cleaning, repair, and refinishing, as detailed in Attachment O/A101. Meanwhile, the second level requires repairs to the roof deck, including cleaning, crack repairs, correction of ponding, and the application of a sealant finish coat for traffic areas, outlined in Attachment O/A102. All railings and guard rails shall be replaced in the stairs leading to the second level.

Exterior improvements entail replacing fixed metal panels and gates at vehicular and pedestrian entrances, scrapping, and repairing exterior walls, and applying new paint coats. For more information on the proposed exterior improvements refer to Attachment O/A200 & A201. The office's partition walls will be substituted with concrete block walls in the interior. Bathroom improvements, replacement of existing equipment, accessories, windows, and doors, as well as the allocation of four (4) parking spaces on the first level for handicapped parking with new accessible ramps, are detailed in Attachment O/A501. All existing light fixtures are to be replaced.

Ground disturbances are limited to selective demolition of an existing curb on the first level for additional parking, with excavation not exceeding six (6) inches below the existing floor level. For more information on ground demolitions refer to Attachment O/EX101

### **Funding Information**

<b>Grant Number</b>	<b>HUD Program</b>	<b>Funding Amount</b>
B-17-DM-72-0001; B-18-DP-72-0001; B-19-DP-78-0002; B-18-DE-72-0001	Community Development Block Grant – Disaster Recovery (CDBG-DR)	\$11,938,162,000

**Estimated Total HUD Funded Amount:** \$529,030.74

**Estimated Total Project Cost (HUD and non-HUD funds) [24 CFR 58.32(d)]:** \$900,952.66



## **Compliance with 24 CFR 50.4, 58.5, and 58.6 Laws and Authorities**

Record below the compliance or conformance determinations for each statute, executive order, or regulation. Provide credible, traceable, and supportive source documentation for each authority. Where applicable, complete the necessary reviews or consultations and obtain or note applicable permits of approvals. Clearly note citations, dates/names/titles of contacts, and page references. Attach additional documentation as appropriate.

<b>Compliance Factors: Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6</b>	<b>Are formal compliance steps or mitigation required?</b>	<b>Compliance Determinations</b>
<b>STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 50.4 and 58.6</b>		
<b>Airport Hazards</b>  24 CFR Part 51 Subpart D	Yes   No <input type="checkbox"/> <input checked="" type="checkbox"/>	The nearest civilian and military airport is the Luis Muñoz Marin airport and is located 124,004 feet away approx. The project is not located within 15,000 feet of a military airport or 2,500 feet of a civilian airport. Additionally, the sale, acquisition, or disposition of property is not proposed under this scope of work; thus, notification with respect to airport runway protection zones would not apply. Refer to Attachment B.
<b>Coastal Barrier Resources</b>  Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 [16 USC 3501]	Yes   No <input type="checkbox"/> <input checked="" type="checkbox"/>	According to information obtained from the U.S. Fish and Wildlife (USFWS) Coastal Barrier Resources System Mapper, the site is located outside of the Coastal Barrier Resource System. The closest resources are over 2.9 miles away from the project site. This project has no potential to impact a CBRS Unit and is complying with the Coastal Barrier Resources Act. Refer to Attachments C.

<b>Flood Insurance</b>  Flood Disaster Protection Act of 1973 and National Flood Insurance Reform Act of 1994 [42 USC 4001-4128 and 42 USC 5154a]	Yes    No <input type="checkbox"/> <input checked="" type="checkbox"/>	Project is in Zone X as per FEMA Map 72000C1280J with an effective date of November 18, 2009.  The project does not require flood insurance as it is located in a Zone X Area of minimal Flood Hazard. Refer to maps on Attachment D.
<b>STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 50.4 &amp; 58.5</b>		
<b>Clean Air</b>  Clean Air Act, as amended, particularly section 176(c) & (d); 40 CFR Parts 6, 51, 93	Yes    No <input type="checkbox"/> <input checked="" type="checkbox"/>	The project is located within an attainment area. The project is not located in nonattainment Status for any criteria pollutants and the Municipality is not listed in the EPA Green Book "Puerto Rico Nonattainment / Maintenance Status for Each County by Year for all Criteria Pollutants". The project will have no impact and is in compliance with the Clean Air Act without further evaluation. Refer to Attachment E.
<b>Coastal Zone Management</b>  Coastal Zone Management Act, sections 307(c) & (d)	Yes    No <input type="checkbox"/> <input checked="" type="checkbox"/>	The proposed project is not located within the Puerto Rico coastal management zone. The site location is approximately 3.44 miles from the nearest coastline. The project is in compliance with the Coastal Zone Management Act. Refer to Attachment F.
<b>Contamination and Toxic Substances</b>  24 CFR Part 50.3(i) & 58.5(i)(2)	Yes    No <input checked="" type="checkbox"/> <input type="checkbox"/>	Based on NEPAassist, Envirofacts, and EPA Echo information, there are four (4) listed sites (COMBE Products, Dual Lite Cayman, Ransburg, and Naguabo STP) within 3000 ft of the project site.  The sites were listed with no violations and are in compliance. In addition, the following facility types were not located in proximity to the subject site and are therefore not mapped in Attachment G: Air Pollution (ICIS-AIR), Toxic Releases (TRI),

		<p>Superfund (NPL), Brownfields (ACRES), and Toxic Substances Control Act (TSCA) facilities. Refer to Attachment G for a list documented sites and the Detailed Facility Reports. No recognized environmental conditions were identified at or near the property.</p> <p>The project was originally planned as a parking facility that also functioned as a public transportation terminal. It has preserved its original design and purpose. Prior to the construction of the garage, there were small residential structures in the area. For more detailed information about the area's history, please refer to Attachment L.</p> <p>An asbestos &amp; lead based paint containing material study was performed. Floor tiles in the lobby and entrance area tested positive for lead. The test yielded negative results for asbestos. Contaminants shall be removed by a certified professional in accordance with local and federal guidelines. Refer to Attachment 00.</p>
<p><b>Endangered Species</b></p> <p>Endangered Species Act of 1973, particularly section 7; 50 CFR Part 402</p>	<p>Yes    No</p> <p><input type="checkbox"/>    <input checked="" type="checkbox"/></p>	<p>The project is in compliance with the blanket clearance. The proposed project involves the rehabilitation of a previously developed area within the current footprint and will not involve the development of previously undisturbed property or natural habitat and there are no critical habitats at this location. See Attachment H.</p> <p>If a Puerto Rican Boa is encountered, work will cease until it moves off the site or, failing that, the Puerto Rico Department of Natural and Environmental Resources (PRDNER) Rangers will be notified for safe capture and relocation of the animal, in accordance with the USFWS Puerto Rican Boa Conservation Measures guidelines.</p>

<b>Explosive and Flammable Hazards</b>  24 CFR Part 51 Subpart C	Yes    No <input type="checkbox"/> <input checked="" type="checkbox"/>	<p>The project does not include any of the following activities: development, construction, rehabilitation that will increase residential densities, or conversion, therefore, the project is in compliance with 24 CFR Part 51 Subpart C.</p> <p>The project is not located near or in areas of handling of flammable, toxic or explosive chemical products. Refer to Field Visit Report included in Attachment I.</p>
<b>Farmlands Protection</b>  Farmland Protection Policy Act of 1981, particularly sections 1504(b) and 1541; 7 CFR Part 658	Yes    No <input type="checkbox"/> <input checked="" type="checkbox"/>	<p>The project is in compliance with the Farmland Protection Policy Act. The project is not located on prime farmland. Soil is classified as Urban Land. The project does not include any activities including new construction, acquisition of undeveloped land or conversion that could convert agricultural land to nonagricultural land use. See Attachment J.</p>
<b>Floodplain Management</b>  Executive Order 11988, particularly section 2(a); 24 CFR Part 55	Yes    No <input type="checkbox"/> <input checked="" type="checkbox"/>	<p>According to the Advisory Base Flood Elevation (ABFE) maps with an effective date of December 11, 2018, the site is not in a flood zone. Additionally, the project involves the redevelopment of an existing building with no changes to the existing footprint. Therefore, the project is not anticipated to impact the floodplain. Refer to Attachment K.</p>
<b>Historic Preservation</b>  National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800	Yes    No <input checked="" type="checkbox"/> <input type="checkbox"/>	<p>The complete consultation package was submitted to SHPO on September 20, 2023. SHPO concurred with our finding that the proposed undertaking will have no adverse effect upon historic properties on October 4, 2023. Refer to Attachment L.</p>

<b>Noise Abatement and Control</b>  Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B	Yes    No <input type="checkbox"/> <input checked="" type="checkbox"/>	As the project does not involve the construction or rehabilitation of a residential space, it is not considered to be a noise sensitive project, and therefore, a noise assessment was not required. Noise may be generated by construction activities, but construction noise is not anticipated to impact the surrounding neighborhood. The project is in compliance with HUD's Noise regulation.
<b>Sole Source Aquifers</b>  Safe Drinking Water Act of 1974, as amended, particularly section 1424(e); 40 CFR Part 149	Yes    No <input type="checkbox"/> <input checked="" type="checkbox"/>	There are no Sole Source Aquifers in Puerto Rico. The project is in compliance without further evaluation. Refer to Attachment M.
<b>Wetlands Protection</b>  Executive Order 11990, particularly sections 2 and 5	Yes    No <input type="checkbox"/> <input checked="" type="checkbox"/>	The proposed project is in compliance with Executive Order 11990. There are no wetlands within or adjacent to the project area. Refer to map on Attachment N.
<b>Wild and Scenic Rivers</b>  Wild and Scenic Rivers Act of 1968, particularly section 7(b) and (c)	Yes    No <input type="checkbox"/> <input checked="" type="checkbox"/>	There are three rivers in the area. The closest river is Rio Icacos and it is located 4.54 miles away from the proposed project. The project is in compliance with Wild and Scenic Rivers Act. Refer to Attachment O
<b>ENVIRONMENTAL JUSTICE</b>		
<b>Environmental Justice</b>  Executive Order 12898	Yes    No <input type="checkbox"/> <input checked="" type="checkbox"/>	The project does not create adverse environmental impacts upon a low-income or minority community. The proposed activity will not have a negative impact on Environmental Justice. Therefore, the proposed activity complies with this section.

**Field Inspection** (Date and completed by):

Field Inspection on March 27, 2023, Elí M. Martínez. Refer to Attachment I

**Summary of Findings and Conclusions:**

This categorically excluded activity/project cannot be converted to Exempt status due to the requirement for formal consultation or mitigation under one or more statutes or authorities listed at Section 58.5.

**Mitigation Measures and Conditions [40 CFR 1505.2(c)]**

Summarize below all mitigation measures adopted by the Responsible Entity to reduce, avoid, or eliminate adverse environmental impacts and to avoid non-compliance or non-conformance with the above-listed authorities and factors. These measures/conditions must be incorporated into project contracts, development agreements, and other relevant documents. The staff responsible for implementing and monitoring mitigation measures should be clearly identified in the mitigation plan.

Law, Authority, or Factor	Mitigation Measure
24 CFR Part 50.3(i) & 58.5(i)(2)	Floor tiles and base tiles containing lead to be removed and disposed by a certified company in compliance with local and federal regulations.
National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800	Compliance with the drawings and specifications as provided to PRSHPO and approved, will ensure that this project will have no adverse effects to existing historic properties. No additional mitigation is required.

**Determination:**

- ☐ This categorically excluded activity/project converts to Exempt, per 58.34(a)(12) because there are no circumstances which require compliance with any of the federal laws and authorities cited at §58.5. **Funds may be committed and drawn down after certification of this part** for this (now) EXEMPT project; OR
- ☒ This categorically excluded activity/project cannot convert to Exempt because there are circumstances which require compliance with one or more federal laws and authorities cited at §58.5. Complete consultation/mitigation protocol requirements, **publish NOI/RROF and obtain "Authority to Use Grant Funds"** (HUD 7015.16) per Section 58.70 and 58.71 before committing or drawing down any funds; OR
- ☐ This project is now subject to a full Environmental Assessment according to Part 58 Subpart E due to extraordinary circumstances (Section 58.35(c)).

Preparer Signature: \_\_\_\_\_

Date: **February 22, 2024**Name/Title/Organization: **ELI M. MARTINEZ - ARCHITECT**

Certifying Officer Signature: \_\_\_\_\_

Date: March 26, 2024

Name/Title: Limary Vélez Marrero / Permits and Environmental Compliance Specialist

This original, signed document and related supporting material must be retained on file by the Responsible Entity in an Environmental Review Record (ERR) for the activity/project (ref: 24 CFR Part 58.38) and in accordance with recordkeeping requirements for the HUD program(s).

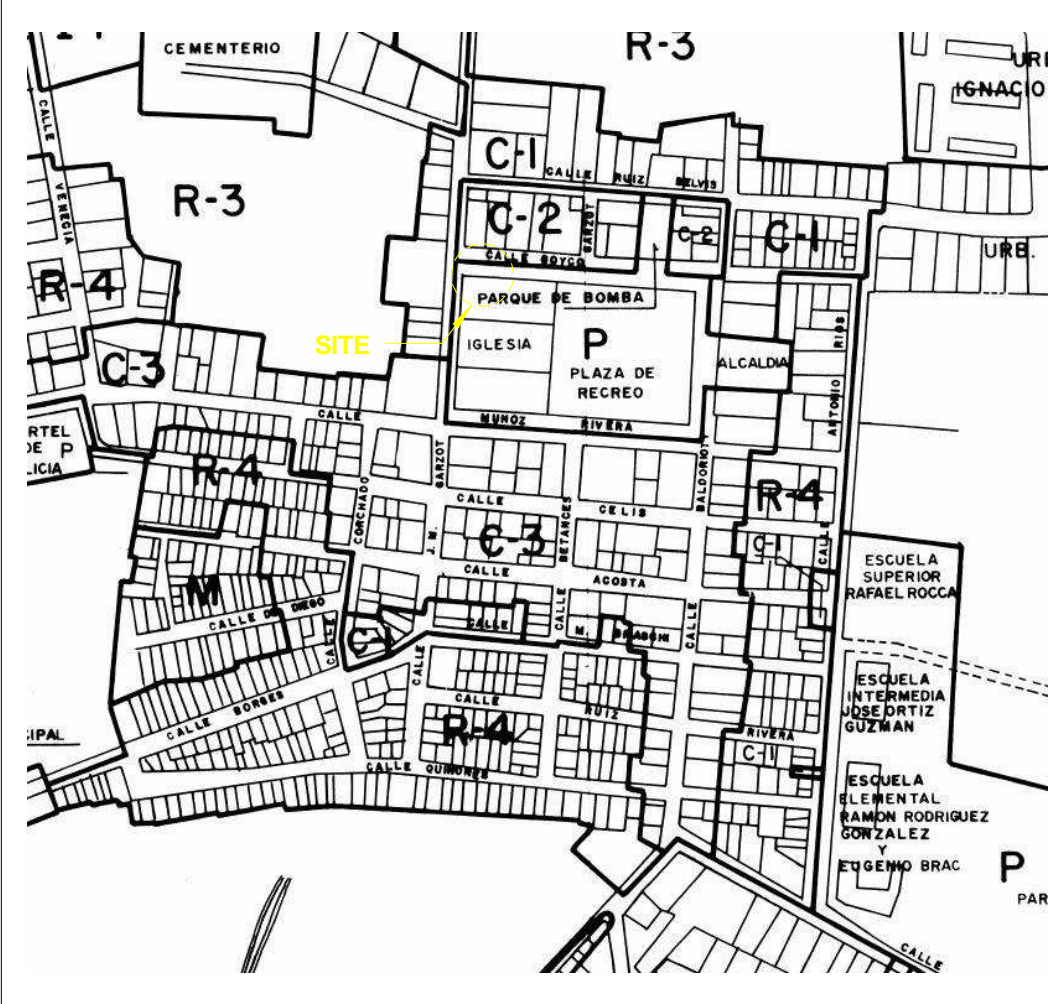
ATTACHMENT 0

CONSTRUCTION  
PLANS 90%

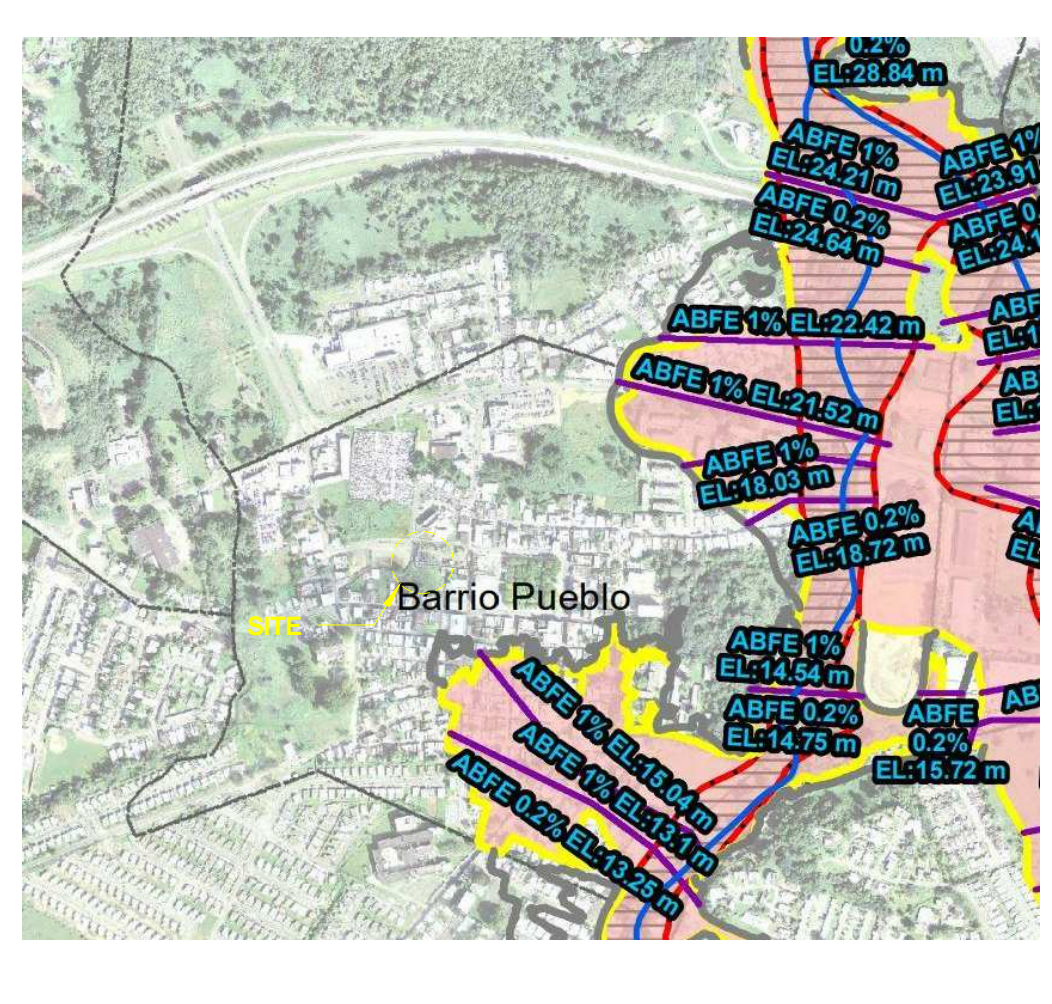




LOCATION PLAN  
X: 273926.9318 Y: 242010.4285



MAPA DE ZONIFICACION DE NAGUABO  
HOJA NUMERO 4  
VIGENCIA: 8 DE AGOSTO DE 2003



FLOOD MAP PANEL  
ZONE X  
72000C1280J  
VIGENCIA: 13 DE ABRIL DE 2018



## MUNICIPIO DE NAGUABO

### HON. MIRAILALIZ ROSARIO PAGÁN

# MEJORAS A ESTACIONAMIENTO MUNICIPAL

MUNICIPIO DE NAGUABO,  
PUERTO RICO

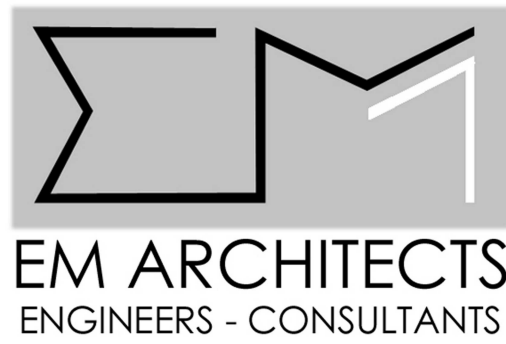
PLANOS DE CONSTRUCCION  
19/DICIEMBRE/2023

#### DRAWING INDEX

SHEET NOMENCLATURE	SHEET NAME
01 T100	TITLE SHEET
02 C-3	SURVEY AND TOPOGRAPHIC SITE PLAN
03 EX101	EXISTING AND DEMOLITION FLOOR PLAN - 1ST AND 2ND LEVEL
04 EX201	EXISTING AND DEMOLITION ELEVATIONS
05 EX301	EXISTING AND DEMOLITION SECTIONS
06 EX901	PHOTOS & CONCRETE REPAIR NOTES
07 EX902	PHOTOS
08 A000	NOTES & GENERAL LEGEND
09 A101	PROPOSED FLOOR PLAN - 1ST AND 2ND LEVEL
10 A201	GENERAL ELEVATIONS
11 A202	PARTIAL ELEVATIONS
12 A203	PARTIAL ELEVATIONS
13 A301	PROPOSED SECTIONS
14 A501	ENLARGED VIEW - BATHROOMS
15 A600	DOOR AND WINDOW SCHEDULES
16 A601	METAL PARTITIONS
17 A602	METAL PARTITIONS
18 A800	ARCHITECTURAL DETAILS
19 ST101	PARTIAL STRUCTURAL FLOOR PLAN
20 E-1	ELECTRICAL LEGEND AND NOTE
21 E-2	LIGHTING PLANS AND POWER- 1ST AND 2ND LEVEL

OWNER:  
HON. MIRAILALIZ ROSARIO  
PAGÁN

MUN. NAGUABO  
ADDRESS:  
27 Calle Juan R. Garzot, Naguabo,  
00718

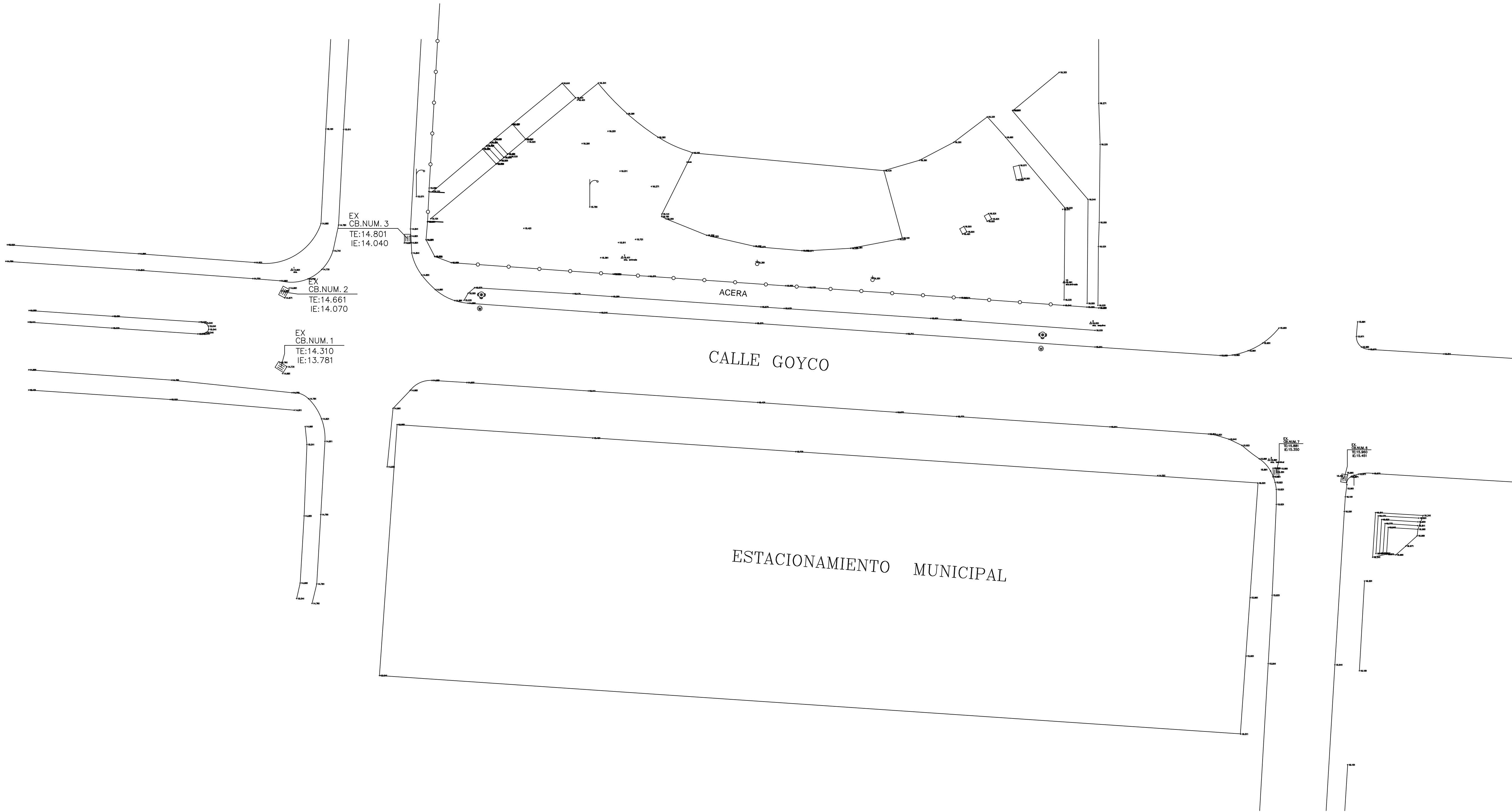


Yo, Eli M. Martínez Beléndez, con número de licencia #20050 certifico que soy el profesional que diseñó estos planos y las especificaciones complementarias. También certifico que entiendo que dichos planos y especificaciones cumplen con las disposiciones aplicables del Reglamento Conjunto y las disposiciones aplicables de Reglamentos y Códigos de Construcción vigentes de las Agencias, Juntas Reglamentadoras o Corporaciones Públicas con Jurisdicción. Certifico, además, que en la preparación de estos planos y especificaciones se ha cumplido cabalmente con lo dispuesto en la ley num. 14 de 8 de enero de 2004, según enmendada, conocida como la "ley para inversión por la industria puertorriqueña" y con la Ley num. 319 de 15 de mayo de 1938, según declaración falsa o falsificación de los hechos que se haya producido por desconocimiento o por negligencia ya sea por mí, mis agentes o empleados, o por otras personas con mi conocimiento, me hacen responsable de cualquier acción judicial y disciplinaria por la OGP.

#### CONTRACTOR NOTES:

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED SO THAT PROPER CORRECTIONS ARE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS AND/OR OMISSIONS.
- ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ARCHITECT ARE THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH THEY WERE EXPRESSLY DESIGNED.
- IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THE ARCHITECT, THE PERSON SO DOING WILL BE INDEBTED TO THE ARCHITECT FOR HIS FULL COMMISSION.
- CONTRACTOR SHALL NOT USE FOR CONSTRUCTION PURPOSES ANY DRAWINGS THAT WERE ADVANCED TO HIM PRIOR TO THE START OF CONSTRUCTION. ALL PLANS BEING USED BY CONTRACTOR SHOULD BEAR A STAMP WITH THE LABEL: "FOR CONSTRUCTION ONLY" SIGNED BY ARCHITECT.
- GENERAL CONTRACTOR SHALL FIELD SURVEY LOCATION AND VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE TENANT AND ARCHITECT.
- GENERAL CONTRACTOR SHALL COMPLETE ALL WORK AS INDICATED ON THESE PLANS UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR SHALL OBTAIN PERMITS, APPROVALS, INSPECTIONS, CERTIFICATE FOR COMPLIANCE AND CERTIFICATE OF OCCUPANCY AS REQUIRED, UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR SHALL CHECK IN WITH AND COORDINATE ALL WORK WITH THE LANDLORD'S PROJECT PERSONNEL.
- GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY POWER, LIGHT AND TELEPHONE IN ACCORDANCE WITH LANDLORD'S AND TENANT'S REQUIREMENTS.
- GENERAL CONTRACTOR SHALL REMOVED ALL THESE ITEMS AT THE COMPLETION OF WORK OR AS REQUIRED.
- GENERAL CONTRACTOR SHALL HAVE TENANT'S SPACE CLEANED UPON COMPLETION OF WORK BY A PROFESSIONAL CLEANING SERVICE.
- GENERAL CONTRACTOR SHALL MAINTAIN ON SITE AT ALL TIMES, ALL APPROVED DRAWINGS INCLUDING ALL REVISIONS AND ADDENDA.
- GENERAL CONTRACTOR SHALL HAVE AT ALL TIME IN SITE OFFICE COPY OF ALL ENDORSEMENTS AND PERMITS OF THE PROJECT AT A VISIBLE PLACE.





## NOTAS

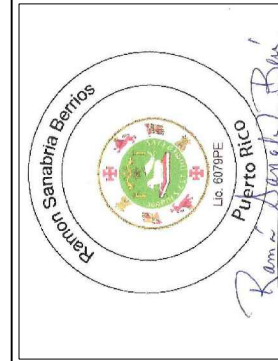
- ESTE PLANO ESTA REFERIDO AL SISTEMA DE COORDENADAS PLANAS ESTATALES LAMBERT NAD 83 (2011) EPOCH:2010.0000 Y LAS ELEVACIONES ESTAN REFERIDAS AL PRVD02 UTILIZANDO :ORTHOMRTRIC HEIGHT DERIVED BY GPS UTILIZANDO EL GEOID HYBRID MODEL 2018.
- TODAS LAS MEDIDAS ESTAN EXPRESADAS EN METROS, AL MENOS QUE SE INDIQUE LO CONTRARIO.
- LA INFORMACION MOSTRADA EN ESTE PLANO REPRESENTA EL RESULTADO DE LAS MEDICIONES HECHAS PARA LA FECHA INDICADA EN EL PLANO Y SOLO PUEDE SER CONSIDERADA COMO UNA INDICACION DE LAS CONDICIONES EXISTENTES EN EL MOMENTO.
- LA INFORMACION PROVISTA EN ESTE PLANO PUEDE O NO MOSTRAR TODAS LAS ESTRUCTURAS Y UTILIDADES EXISTENTES POR ENCIMA Y POR DEBAJO DEL TERRENO.
- SIMBOLOS SON UNICAMENTE PARA PROPOSITO DE ILUSTRACION, ELLOS NO NECESARIAMENTE SON DEL MISMO TIPO O TAMAÑO DEL OBJETO QUE ELLOS REPRESENTAN.
- SIMBOLOS SON UNICAMENTE PARA PROPOSITO DE ILUSTRACION, ELLOS NO NECESARIAMENTE SON DEL MISMO TIPO O TAMAÑO DEL OBJETO QUE ELLOS REPRESENTAN.

LEGEND:	
SYMBOL	DESCRIPTION
	PROPERTY LINE
	EASEMENT
	CENTER LINE
	BOUNDARY LINE
	AREA CONTOUR
	INTERMEDIATE CONTOUR
	SPOT ELEVATION
	ELEVATION POINT
	UTILITY POLE
	WATER MAIN
	SEWER MAIN
	GAS MAIN
	ELECTRIC MAIN
	TELEPHONE MAIN
	FIRE HYDRANT
	MANHOLE

## SURVEY CERTIFICATE:

I DO HEREBY CERTIFY THAT THIS SURVEY WORK WAS PERFORMED DURING THE MONTH OF JULY 2022, THAT ELECTRONIC DISTANCES MEASURING INSTRUMENT (TOPCON-GM SERIES) WERE USED FOLLOWING THE STANDARD SURVEY TECHNIQUES FOR THESE CASES.

WORKING DRAWINGS FOR THE CONSTRUCTION OF THE  
**PLANO AS-BUILT**  
ESTACIONAMIENTO MUNICIPAL  
PUERTO RICO  
NAGUABO



LOCALIZACION: PATIO INTERIOR  
PLAZA DEL MERCADO  
NAGUABO, P.R.

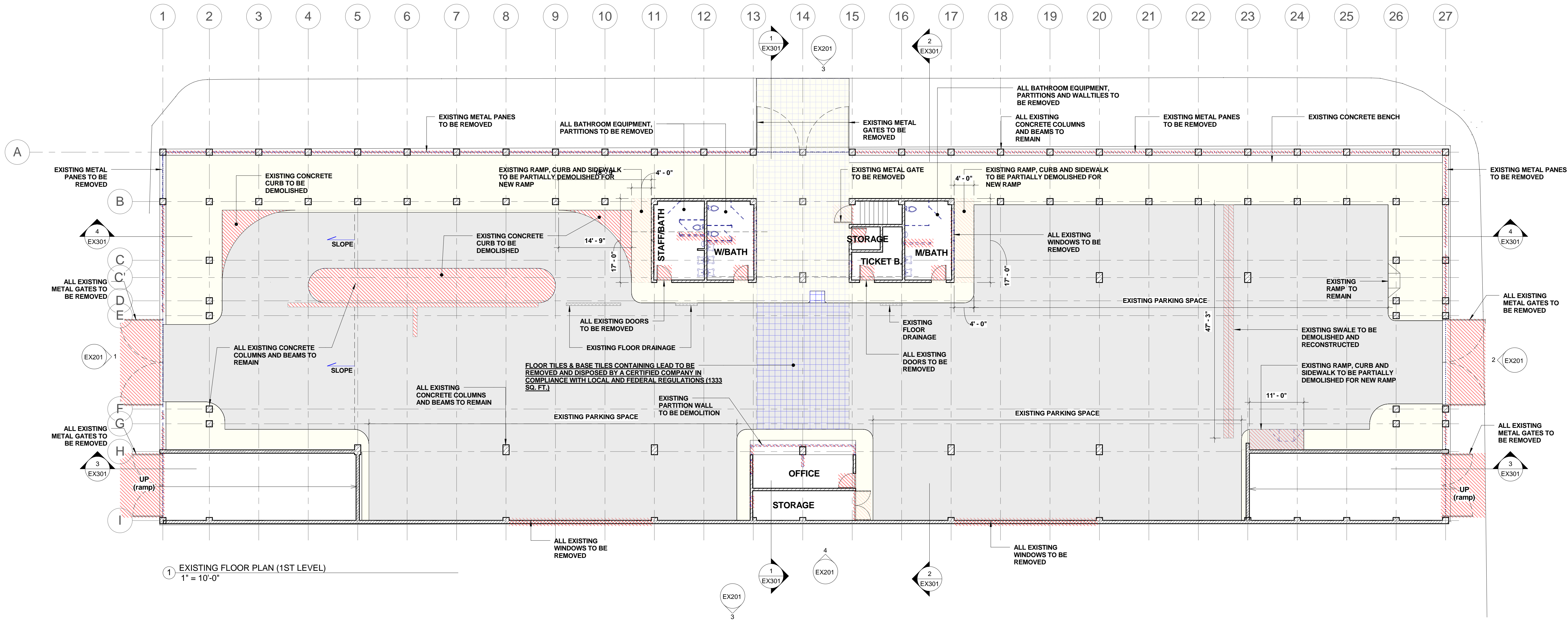
Project: tech0.dwg  
Drawing by: L.R.O.  
Revised by: R.S.B.

3 of 6

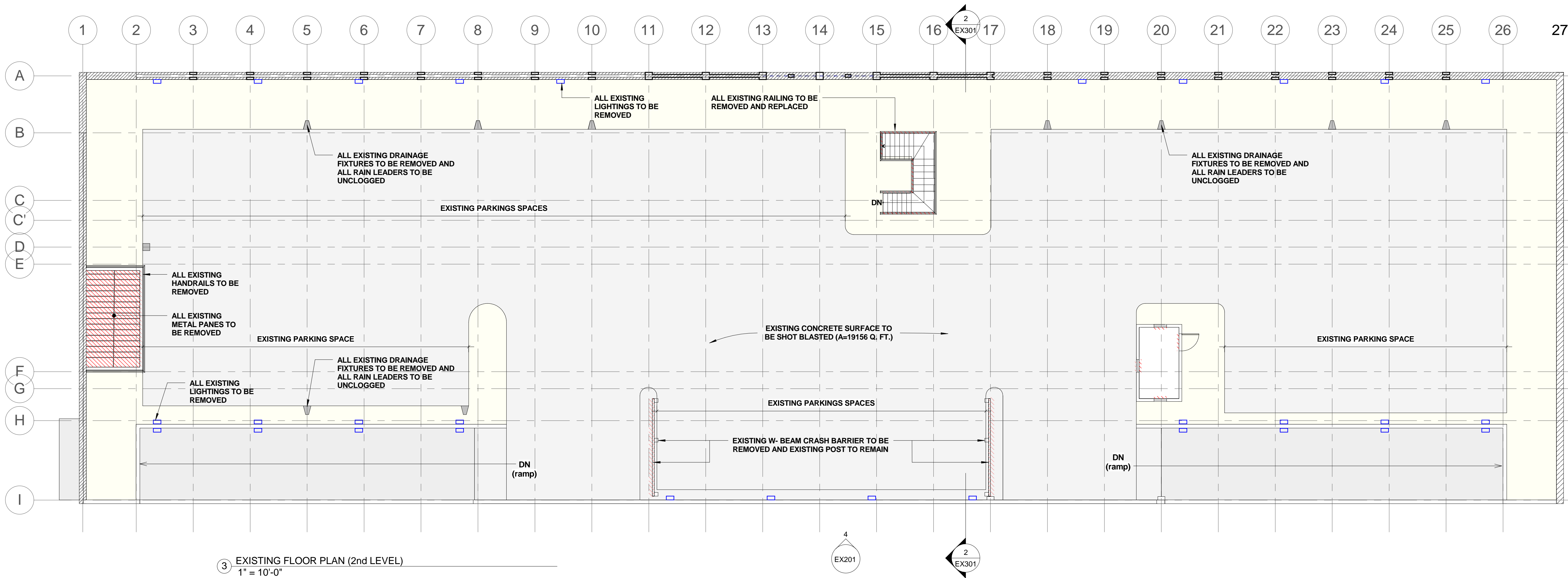
C-3

SHARK SURVEY & ASSOCIATES  
CEL.: (787)640-9038 EMAIL: agrimirortiz@hotmail.com  
URB. JARDIN DEL ESTE 20 CALLE OLIVO, NAGUABO, P.R. 00718  
19 DE AGOSTO DE 2022.  
REVISIONS  
SYMBOL DATE BY





1 EXISTING FLOOR PLAN (1ST LEVEL)  
1" = 10'-0"



3 EXISTING FLOOR PLAN (2nd LEVEL)  
1" = 10'-0"

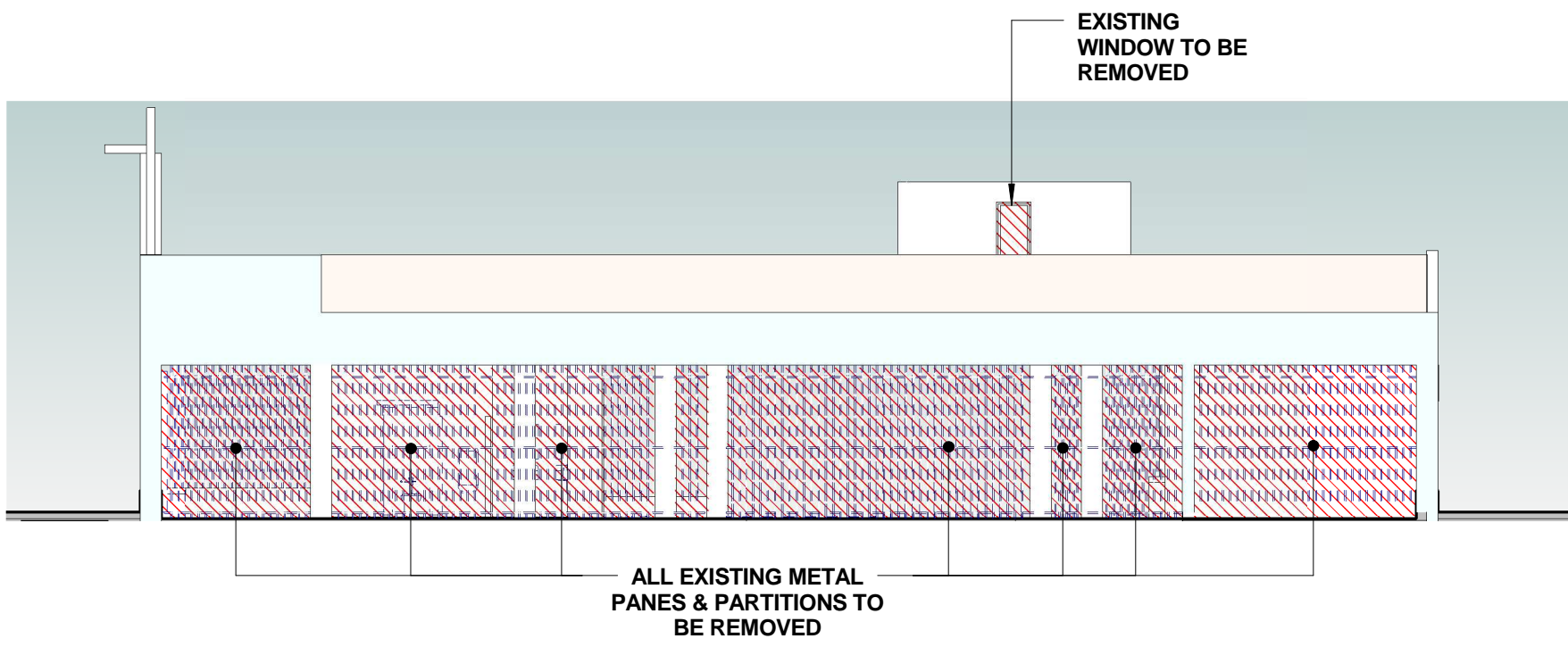
LEGEND  
TO BE DEMOLISHED

DEMOLITION SCOPE

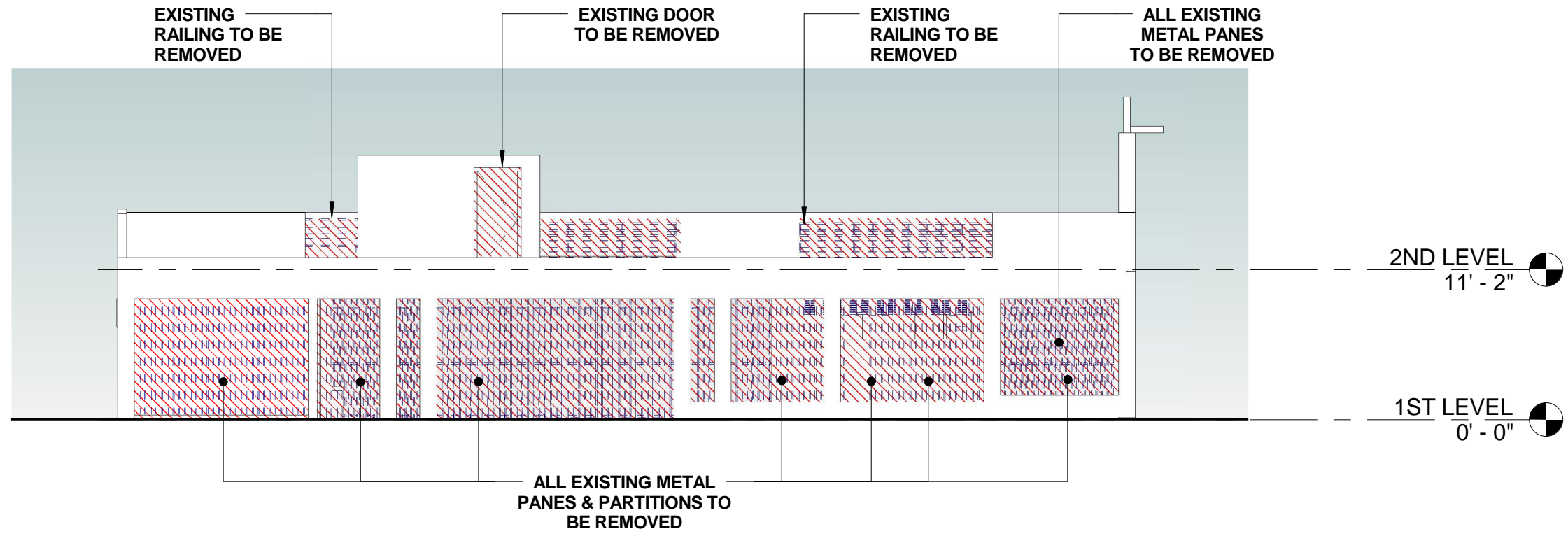
1. ALL ACOUSTIC TILE, LIGHT FIXTURES AND GYPSUM BOARD CEILINGS TO BE REMOVED EXCEPT WHERE MARKED. REFER TO FINISH SCHEDULE FOR DETAILS.
  2. ALL EXISTING WINDOWS TO BE DEMOLISHED
  3. ALL DOORS TO BE DEMOLISHED
  4. ALL BATHROOM EQUIPMENT AND ACCESSORIES TO BE REMOVED. THE CONCRETE BLOCK WALL PARTITION IN BATHROOMS IS TO BE DEMOLISHED
  5. ALL WALL TILES, BATHROOM EQUIPMENT AND PARTITIONS IN BATHROOMS TO BE REMOVED
  6. REMOVE ALL WALL TILES, BATHROOM EQUIPMENT AND PARTITIONS IN BATHROOMS TO BE RENOVATED.
  7. ALL METAL PARTITIONS (REJAS) AND METAL GATES TO BE REMOVED AND REPLACED
  8. ALL HANDRAILS AND GUARDRAILS IN STAIRS TO BE REMOVED AND REPLACED
  9. ALL WHEEL STOPS TO BE REMOVED AND DISPOSED
  10. ALL PAINT FROM EXISTING PARKING LINES TO BE REMOVED
  11. VEHICULAR GUARD RAILS IN THE SECOND LEVEL TO BE REPLACED
  12. THE SECOND LEVEL FLOOR SHALL BE POWER WASHED
  13. ALL EXTERIOR WALLS TO BE POWER WASHED, SCRAPPED PRIOR TO THE APPLICATION OF PRIMER AND FINISH COATS
  14. ALL EXISTING DRAINAGE FIXTURES TO BE REMOVED AND ALL RAIN LEADERS TO BE UNCLOGGED
  15. ALL FLOOR TILES CONTAINING LEAD TO BE REMOVED AND DISPOSED BY A CERTIFIED COMPANY IN COMPLIANCE WITH LOCAL AND FEDERAL REGULATIONS
- NOTE: REFER TO LEAD CONTAINING MATERIAL REPORT INCLUDED WITH THE TECHNICAL SPECIFICATIONS

REVISION / DATE / DESCRIPTION

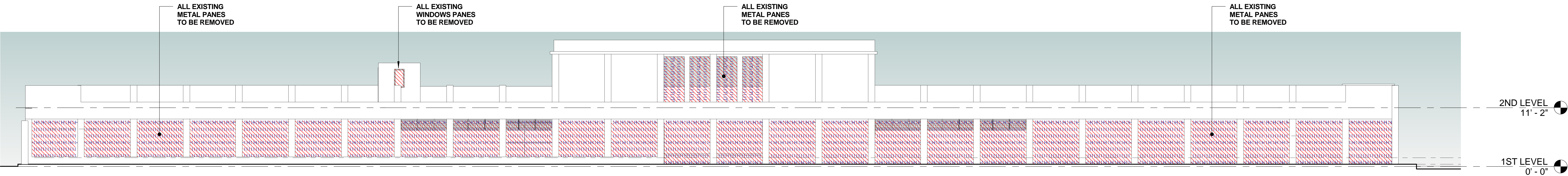




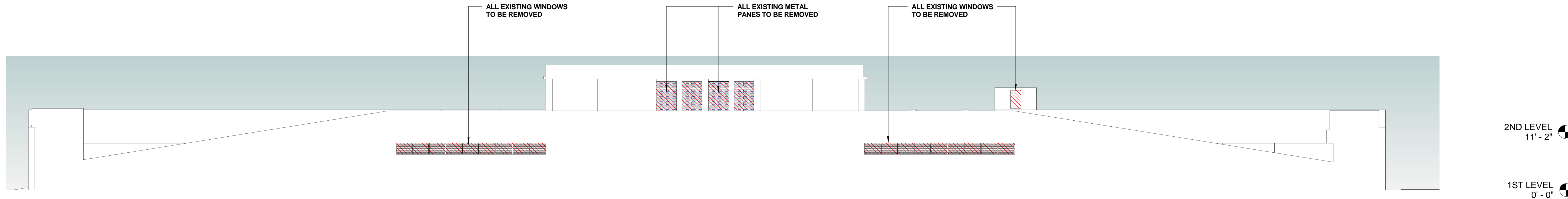
① EXISTING ELEVATION - WEST  
1" = 10'-0"



② EXISTING ELEVATION - EAST  
1" = 10'-0"



③ EXISTING ELEVATION - NORTH  
1" = 10'-0"



④ EXISTING ELEVATION - SOUTH  
1" = 10'-0"

LEGEND  
TO BE DEMOLISHED

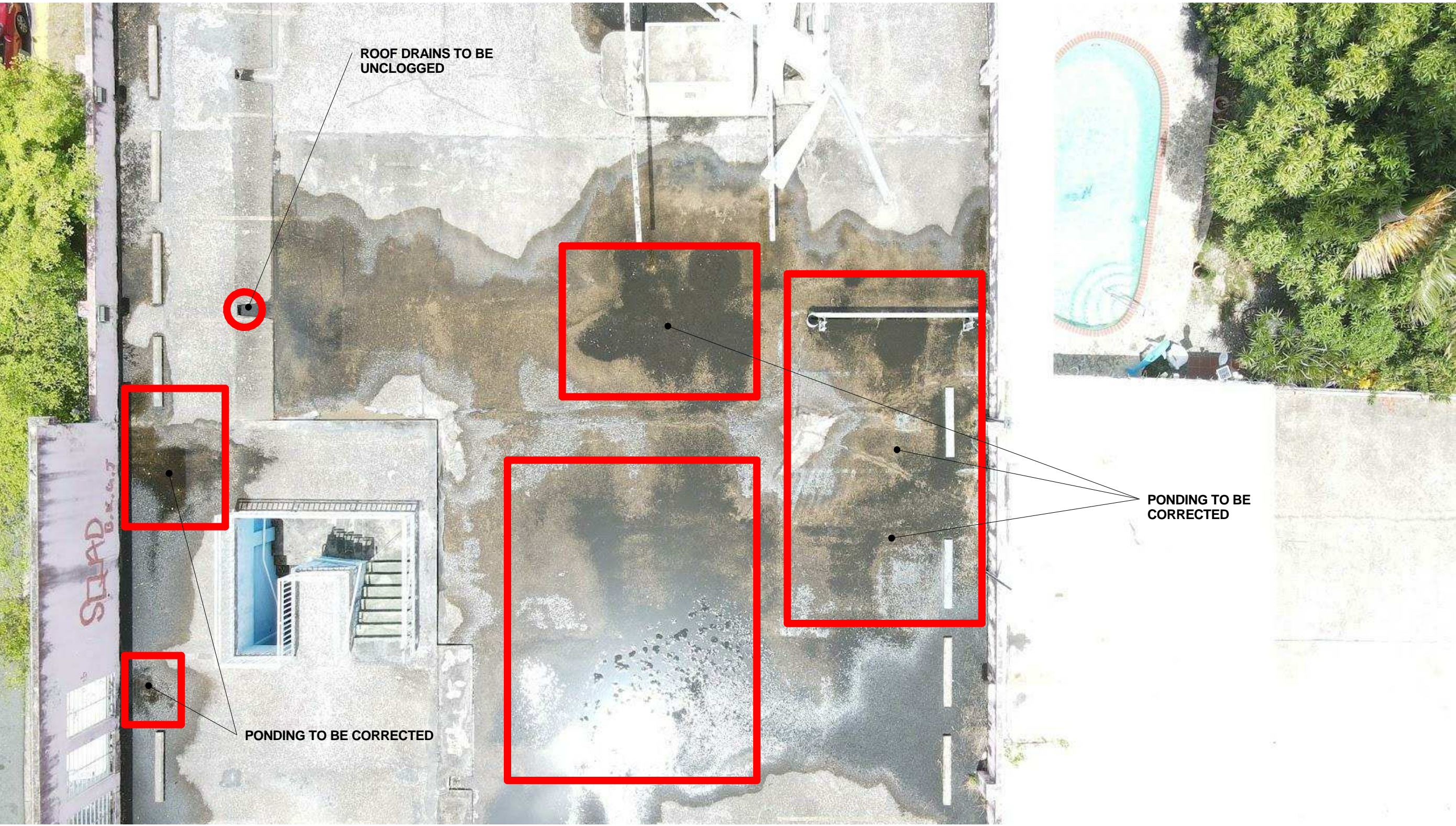
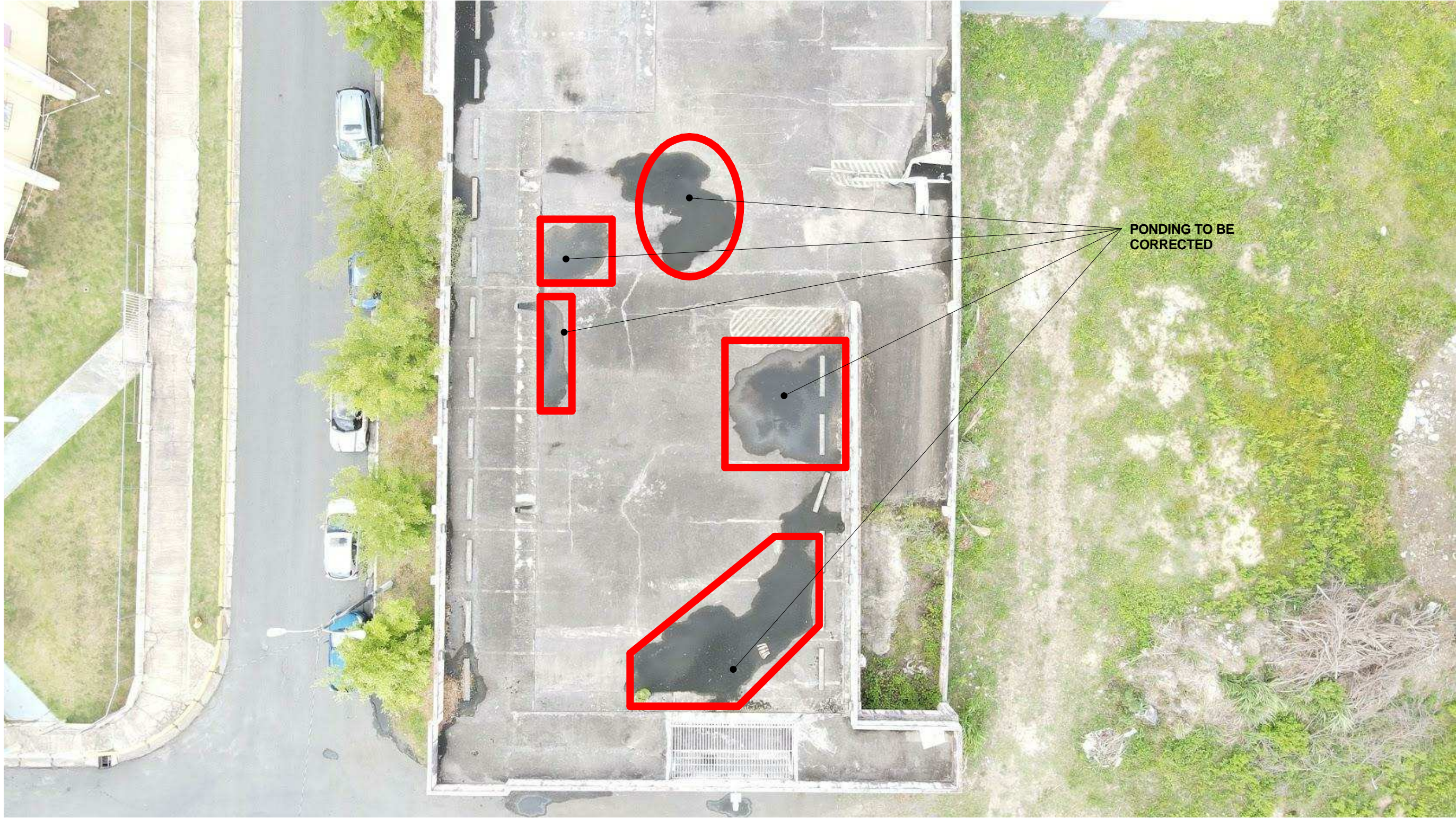
- NOTES:
1. ALL EXTERIOR WALLS SHALL BE THOROUGHLY SCRAPPED AND CLEANED.
  2. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CRACKS WITH ANY EVIDENCE OF RUST (DETERIORATING REBAR).
  3. LOOSE CEMENT PLASTER ON EXTERIOR SURFACES WILL BE REMOVED AND IS TO BE REPAIRED WITH ARDEX OVP OR APPROVED EQUAL PRIOR TO THE APPLICATION OF PRIMER AND PAINT COATS.
  4. EXISTING CRACKS IN COLUMNS, BEAMS OR STRUCTURAL COMPONENTS TO BE REPAIRED WITH DURAL 452 LV, EQUAL OR SIMILAR.
  5. EXTERIOR WALLS SHALL BE SEALED WITH TAMMSCOAT (WHITE), EQUAL OR SIMILAR.

REVISION	DATE	DESCRIPTION









#### CONCRETE RPAIR NOTES

##### 1ST LEVEL - CONCRETE REPAIR NOTES FOR VEHICULAR TRAFFIC AREAS:

1. ALL VEHICULAR TRAFFIC AREAS SHALL BE MECHANICALLY PREPARED
2. A DILUTED ARDEX CG SHALL BE INSTALLED AS PRIMER IN VEHICULAR TRAFFIC AREAS
3. INSTALL A COAT OF ARDEX CD FINE
4. INSTALL A COAT OF ARDEX CD, EQUAL OR SIMILAR
5. FINISH COAT SHALL BE ARDEX CG, EQUAL OR SIMILAR

##### 1ST LEVEL - CONCRETE REPAIR NOTES FOR PEDESTRIAN TRAFFIC AREAS:

1. PEDESTRIAN TRAFFIC AREAS SHALL BE MECHANICALLY PREPARED
2. INSTALL A COAT OF ARDEX CD FINE, EQUAL OR SIMILAR. BROOM FINISH

##### CONCRETE REPAIR NOTES FOR EXTERIOR WALLS:

1. LOOSE CEMENT PLASTER ON EXTERIOR SURFACES TO BE REPAIRED WITH ARDEX OVP OR APPROVED EQUAL PRIOR TO THE APPLICATION OF PRIMER AND PAINT COATS
2. ALL EXTERIOR WALLS SHALL BE PRIMED AND SEALED WITH TAM-O-SEAL, EQUAL OR SIMILAR
3. CRACKS ON VERTICAL SURFACES SHALL BE REPAIRED WITH DURAL 452 LV, EQUAL OR SIMILAR
4. VERTICAL SURFACES REQUIREING EITHER CONCRETE REPAIR USE EUCOREPAIR V100, EQUAL OR SIMILAR

##### EXTERIOR WALLS:

1. ALL EXTERIOR WALLS SHALL BE THOROUGHLY SCRAPPED AND CLEANED.
2. THE CONTRACTOR SHALL NOTIFY THE ARCHITECTO OF ANY CRACKS WITH ANY EVIDENCE OF RUST (DETERIORATING REBAR).
3. LOOSE CEMENT PLASTER ON EXTERIOR SURFACES WILL BE REMOVED AND IS TO BE REPAIRED WITH ARDEX OVP OR APPROVED EQUAL PRIOR TO THE APPLICATION OF PRIMER AND PAINT COATS.
4. EXISTING CRACKS IN COLUMNS, BEAMS OR STRUCTURAL COMPONENTS TO BE REPAIRED WITH DURAL 452 LV, EQUAL OR SIMILAR.
5. EXTERIOR WALLS SHALL BE SEALED WITH TAMMSCOAT (WHITE), EQUAL OR SIMILAR.

##### INTERIOR WALLS:

1. ALL INTERIOR WALLS TO BE SCRAPPED PRIMED AND PAINTED. PAINT SHALL BE SHERWIN WILLIAMS OR APPROVED EQUAL.
2. . EXISTING CRACKS IN COLUMNS, BEAMS OR STRUCTURAL COMPONENTS TO BE REPAIRED WITH DURAL 452 LV, EQUAL OR SIMILAR.

##### CEILINGS:

1. UNPAINTED AREAS IN THE WAFFLE SLAB SHALL REMAIN UNPAINTED.
2. ALL PAINTED AREAS SHALL BE SCAPED, PRIMED AND PAINTED

##### 2ND LEVEL CONCRETE DECK REPAIR NOTES:

1. THE ROOF DECK SHALL BE SHOT BLASTED
2. THE GENERAL CONTRACTOR SHALL CHECK ELVATIONS FOR BETTER WATER DRAINAGE. PONDING IN THE SECOND LEVEL CONCRETE DECK TO BE REPAIRED WITH TAMMSPATCH II REPAIR MORTAR. REFER TO PHOTOS
3. AFTER THE MECHANICAL PREPARATION OF THE SURFACE, THE GENERAL CONTRACTOR SHALL CHECK FOR CRACKS IN THE CONCRETE DECK. ALL CRACKS IN THE ROOF DECK TO BE REPAIRED WITH DURAL 452 LV, EQUAL OR SIMILAR (135 LINEAR FEET)
4. JOINTS SHALL BE SEALED WITH DYMONIC 100 BY TREMCO, EQUAL OR SIMIAR.
5. ALL FLOOR DRAINS SHALL BE UNCLOGGED AND VERIFIED TO BE IN WORKING CONDITIONS. ALL ROOF DRAIN COVERS TO BE REPLACED. THE GENERAL CONTRACTOR SHALL SUBMITT SHOP DRAWINGS FOR ALL DRAINS.
6. AFTER LOW AREAS OF THE DECK HAVE BEEN FILLED WITH THE TAMMSPATCH II AND CRACKS IN THE DECK HAVE BEEN COMPLETED, THE GENERAL CONTRACTOR SHALL INSTALL THE FLEXDECK - MEDIUM TRAFFIC SYSTEM
7. JOINT WORK. ALL JOINT SEALANT TO BE REPLACED. JOINT SEALANT MUST BE COMPATIBLE WITH THE WATERPROOF DECK MEMBRANE. DYMONIC 100 BY TREMCO IS COMPATIBLE WITH THE MEMBRANE SPECIFIED
8. THE GENERAL CONTRACTOR SHALL REVIEW THE TECHNICAL DATA AND INSTALL ACCORDINGLY

NOTE:  
THE WORK DESCRIBED ABOVE SHALL BE PERFORMED BY A CONTRACTOR CERTIFIED BY ARDEX AMERICAS. ALL PRODUCTS TO BE INSTALLED AS PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.

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ARCHITECT:  
Yo, El M. Martínez Beléndez, con número de licencia #20050 certifico que soy el autor de este proyecto de arquitectura y que he revisado y aprobado los planos y especificaciones que aparecen en este documento. También certifico que entiendo que dichos planos y especificaciones cumplen con las disposiciones aplicables del Reglamento Conjunto y las disposiciones de la Ley Núm. 14 de 8 de enero de 2004, según enmendada, y que en la preparación de estos planos y especificaciones se ha cumplido cabalmente con lo dispuesto en la ley núm. 14 de 8 de enero de 2004, según enmendada, con la Ley núm. 319 de 15 de mayo de 1938, según enmendada. Reconozco que cualquier declaración falsa o falsificación de los hechos que se haya producido por mí o por cualquier otra persona con mi consentimiento, me hacen responsable de cualquier acción judicial y disciplinaria por la OCiPe.

CONSULTANT:  
ARQUITECTO  
LICENCIADO  
LIC. # 20050  
PUERTO RICO

REVISION / DATE / DESCRIPTION

PROJECT  
MEJORAS A ESTACIONAMIENTO MUNICIPAL

CLIENT  
MUNICIPIO DE NAGUABO

PROJECT #

SCALE: 1/8" = 1'-0"

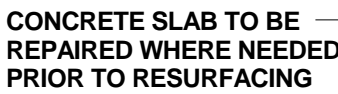
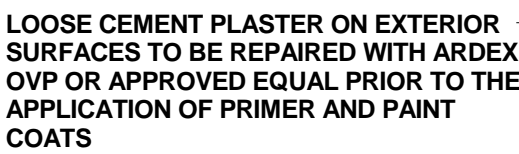
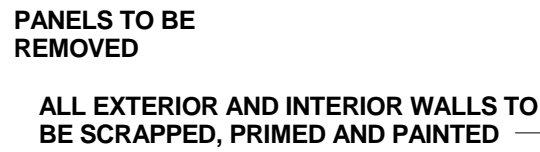
DRAWN BY: Author

PHOTOS & CONCRETE REPAIR NOTES

TITLE  
EX901

SHEET



[illegible]



GENERAL NOTES:

- ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDES THE DRAWINGS, ALL ADDENDUMS AND MODIFICATIONS ISSUED BY THE ARCHITECT.
- THE GENERAL CONTRACTOR (GC) SHALL REVIEW ALL DOCUMENTS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND SHALL CONFIRM THAT WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS, ETC., SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF ANY WORK IN QUESTION. THE GC SHALL ARRANGE FOR INSPECTIONS NECESSARY TO OBTAIN A CERTIFICATE OF OCCUPANCY.
- IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING MATERIALS/EQUIPMENT, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION.
- ALL WORK SHALL BE PERFORMED DURING DESIGNATED HOURS (8AM-5PM). WORK INVOLVING EXCESSIVE NOISE OR DUST, OR WHICH WOULD OTHERWISE INTERFERE WITH THE NORMAL OPERATION OF THE FACILITY SHALL BE DONE BETWEEN 9AM AND 5PM.
- GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY(E) UTILITIES, NOT COVERED IN THE CONSTRUCTION/DEMOLITION DOCUMENTS, WHICH MAY INTERFERE WITH COMPLETING THEIR SCOPE OF WORK. THE ARCHITECT & GENERAL CONTRACTOR SHALL DISCUSS THE REMOVAL OF THESE UTILITIES. WHEN REMOVAL IS APPROVED BY THE ARCHITECT, THE GENERAL CONTRACTOR SHALL, INSPECT, TEST, AND DISCONNECT THE SPECIFIED UTILITY, CUT BACK TO SOURCE (OR PERIMETER OF LEASE SPACE) AND CAP. ALL PENETRATIONS RESULTING FROM THE REMOVAL SHALL BE SEALED WITH NEW CONSTRUCTION TO MATCH (E) ADJACENT BLDG. FINISHES. UTILITY SERVICE SHALL BE DEFINED AS PLUMBING, HVAC, ELECT., AND FIRE PROTECTION SYSTEMS. GC SHALL INDICATE PERMANENTLY ABANDONED UTILITIES ON A RECORD TO SERVE AS PART OF THE "AS-BUILT" SET.
- "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
- "TYPICAL" SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT UNLESS OTHERWISE NOTED. DETAILS ARE USUALLY KEYED AND NOTED "TYP" ONLY ONCE, WHEN THEY FIRST OCCUR.
- "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS.
- WORK AREAS TO REMAIN SECURE AND LOCKABLE DURING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL COORDINATE WITH ARCHITECT AND/OR PROJECT MANAGER TO ENSURE SECURITY.
- THE GC SHALL VERIFY THAT THE EXISTING FLOORS ARE LEVEL AND FREE FROM SCALING. GC TO REPORT ANY VARIATIONS IN FLOOR LEVEL GREATER THAN 1/4" IN 10'-0" (NON-CUMULATIVE) TO ARCHITECT.
- THE CONTRACT DOCUMENTS ARE COMPLEMENTARY. WHAT IS SHOWN OR REFERRED TO AT A GIVEN LOCATION SHALL BE PROVIDED AS THOUGH SHOWN ON ALL (U.O.N.).
- Substitutions, REVISIONS, OR CHANGES MUST BE SUBMITTED TO ARCHITECT FOR REVIEW (IN CONFORMANCE WITH SPECIFIED PROCEDURES) PRIOR TO PURCHASE, FABRICATION OR INSTALLATION. REFER TO SPECIFICATIONS FOR SPECIFIC PROCEDURES.
- ALL WORK SHALL BE COORDINATED BY THE G.C. INCLUDING; SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, BUILDING FACILITIES, ETC.'
- THE SCOPE OF WORK AND ADJACENT AREAS SHALL BE PROTECTED FROM ANY DAMAGE THAT OCCURS BECAUSE OF THIS WORK. ANY DAMAGE THAT OCCURS SHALL BE THE FINANCIAL RESPONSIBILITY OF THE GC.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED PER MANUFACTURER'S INSTRUCTIONS. IN CASE OF DIFFERENCES BETWEEN THE MANUFACTURER'S INSTRUCTIONS AND CONTRACT DOCUMENTS, THE GC SHALL NOTIFY THE ARCHITECT BEFORE PROCEEDING.
- ACCESS PANELS, CLEANOUTS, AND THE LIKE SHALL BE MAINTAINED FOR EXISTING BUILDING SYSTEMS. RELOCATE DIFFUSERS AND REGISTERS TO FIT WITH NEW WORK.
- THE GC SHALL HAVE A FULL-TIME REPRESENTATIVE ON SITE AT ALL TIMES WHILE CONSTRUCTION ACTIVITIES ARE OCCURRING ON SITE.
- THE GC SHALL COMPLY WITH ALL CODES, LAWS, ORDINANCES, AND REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK.
- THE GC SHALL OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN PARTITION LOCATIONS, SIZES AND TYPES. DOOR AND WINDOW LOCATIONS SHALL BE AS SHOWN ON CONSTRUCTION PLAN. IN CASE OF CONFLICT, NOTIFY ARCHITECT FOR WRITTEN CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION.
- COMMENCEMENT OF WORK SHALL BE DEEMED AS THE GC'S ACKNOWLEDGMENT OF ALL WORK REQUIRED TO COMPLETE PROJECT IN CONFORMANCE WITH CONTRACT DOCUMENTS AND SCHEDULE. IT IS THE RESPONSIBILITY OF THE GC TO COORDINATE ORDERS, SUBMITTALS AND IMPLEMENTATION OF LONG LEAD ITEMS. THE GC'S FAILURE TO MAKE LONG LEAD ITEM ORDERS IN A TIMELY FASHION SHALL NOT BE GROUND FOR SUBSTITUTIONS.
- ALL NEW CONSTRUCTION INCLUDING CONCRETE, MASONRY, PLASTER, DRYWALL, DOORS, FRAMES, METAL PARTITIONS AND MISCELLANEOUS UNFINISHED METALS (OTHER THAN STAINLESS STEEL SHALL BE PAINTED UNLESS OTHERWISE CLEARLY ON DRAWINGS.
- BIDDERS SHALL VISIT THE BUILDING AND ACQUAINT THEM SELVES WITH THE CONDITIONS AS THEY ACTUALLY EXIST AND VERIFY DIMENSIONS, LOCATIONS AND DETAILS REQUIRED TO COMPLETE THE WORK. FAILURE TO VISIT THE PROJECT AREA WILL IN NO WAY RELIEVE THE SUCCESSFUL BIDDER OF FURNISHING ALL MATERIAL AND PERFORMING ALL WORK REQUIRED FOR THE COMPLETION OF THE CONTRACT. VISITS TO THE PROJECT AREA SHALL BE ARRANGED WITH THE MUNICIPALITY OF JUNCOS.
- WHENEVER AND WHEREVER ON THIS PLANS A REFERENCE IS MADE TO A SPECIFIC PRODUCT OR SUPPLIER, THE GENERAL CONTRACTOR SHALL UNDERSTAND THAT AN EQUAL OR SIMILAR MATERIAL OR COMPONENT CAN BE SUBMITTED FOR EVALUATION AND POSSIBLE APPROVAL OR DISAPPROVAL BY THE ARCHITECT.

CONTRACTOR NOTES:

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED SO THAT PROPER CORRECTIONS ARE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS AND/OR OMISSIONS.
- ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ARCHITECT ARE THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH THEY WERE EXPRESSLY DESIGNED.
- IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THE ARCHITECT, THE PERSON SO DOING WILL BE INDEBTED TO THE ARCHITECT FOR HIS FULL COMMISSION.
- CONTRACTOR SHALL NOT USE FOR CONSTRUCTION PURPOSES ANY DRAWINGS THAT WERE ADVANCED TO HIM PRIOR TO THE START OF CONSTRUCTION. ALL PLANS BEING USED BY CONTRACTOR SHOULD BEAR A STAMP WITH THE LABEL: "FOR CONSTRUCTION ONLY" SIGNED BY ARCHITECT.
- GENERAL CONTRACTOR SHALL FIELD SURVEY LOCATION AND VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE TENANT AND ARCHITECT.
- GENERAL CONTRACTOR SHALL COMPLETE ALL WORK AS INDICATED ON THESE PLANS UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR SHALL OBTAIN PERMITS, APPROVALS, INSPECTIONS, CERTIFICATE FOR COMPLIANCE AND CERTIFICATE OF OCCUPANCY AS REQUIRED, UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR SHALL CHECK IN WITH AND COORDINATE ALL WORK WITH THE LANDLORD'S PROJECT PERSONNEL.
- GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY POWER, LIGHT AND TELEPHONE IN ACCORDANCE WITH LANDLORD'S AND TENANTS REQUIREMENTS.
- GENERAL CONTRACTOR SHALL REMOVE ALL THESE ITEMS AT THE COMPLETION OF WORK OR AS REQUIRED.
- GENERAL CONTRACTOR SHALL HAVE TENANT'S SPACE CLEANED UPON COMPLETION OF WORK BY A PROFESSIONAL CLEANING SERVICE.
- GENERAL CONTRACTOR SHALL MAINTAIN ON SITE AT ALL TIMES, ALL APPROVED DRAWINGS INCLUDING ALL REVISIONS AND ADDENDA.
- GENERAL CONTRACTOR SHALL HAVE AT ALL TIME IN SITE OFFICE COPY OF ALL ENDORSEMENTS AND PERMITS OF THE PROJECT AT A VISIBLE PLACE.

EXISTING BUILDING NOTES

- THE EXISTING CONDITIONS SHOWN IN THE CONSTRUCTION DOCUMENTS ARE FOR ASSISTING CONTRACTORS TO UNDERSTAND THE SCOPE OF WORK. THEY ARE PREPARED BASED ON THE INFORMATION FURNISHED TO THE ENGINEER AND MAY NOT REFLECT THE TRUE AS BUILT CONDITION.
- CONTRACTORS SHALL ASSUME FULL RESPONSIBILITY FOR FIELD VERIFYING ALL EXISTING CONDITIONS, SOUNDNESS OF EXISTING STRUCTURE, ALL PERTINENT DIMENSIONS AND ELEVATIONS. FAILURE TO DO THIS WILL NOT BE A CAUSE FOR ADDITIONAL COSTS. CONTRACTORS SHALL FURNISH THE VERIFIED INFORMATION TO THE ARCHITECT AND ENGINEER PROMPTLY FOR PROJECT COORDINATION.
- CONTRACTORS TO PROVIDE ALL SHORING, BRACING, AND REINFORCING, TEMPORARY AND PERMANENT, AS REQUIRED TO RENDER EXISTING STRUCTURE TO REMAIN SOUND AND SAFE.
- NEW FLOOR ELEVATIONS SHALL MATCH THE EXISTING FLOORS AT ALL LEVELS, UNLESS NOTED OTHERWISE.

DEMOLITION NOTES:

- THE ARCHITECT HAS NO KNOWLEDGE OF AND SHALL NOT BE HELD LIABLE FOR ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS ON THE JOBSITE. IF ASBESTOS OR OTHER HAZARDOUS MATERIALS ARE DISCOVERED DURING CONSTRUCTION, ISOLATE THE AFFECTED AREA AND FOLLOW OWNER REQUIREMENTS FOR REMOVAL & DISPOSAL.
- COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SA FETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
- PROVIDE AND MAINTAIN BARRICADES, LIGHTING AND GUARDRAILS AS REQUIRED BY APPLICABLE CODES AND REGULATIONS TO PROTECT OCCUPANTS OF BUILDING AND WORKERS.
- ERECT AND MAINTAIN DUST PROOF PARTITIONS AS REQUIRED TO PREVENT SPREAD OF DUST, FUMES AND SMOKE, ETC. TO OTHER PARTS OF THE BUILDING. ON COMPLETION, REMOVE PARTITIONS AND REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES.
- IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE AFFECTED AREAS AT NO COST TO THE OWNER
- EXCEPT WHERE OTHERWISE NOTED, MAINTAIN POSSESSION OF MATERIALS BEING DEMOLISHED. REMOVE FROM SITE DAILY & LEGALLY DISPOSE OF DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
- REMOVE DESIGNATED PARTITIONS, COMPONENTS, BUILDING EQUIPMENT AND FIXTURES AS REQUIRED FOR NEW WORK.
- REMOVE ABANDONED HVAC EQUIPMENT, INCLUDING DUCTWORK, AS REQUIRED FOR NEW WORK.
- REMOVE ABANDONED ELECTRICAL, TELEPHONE AND DATA CABLING BACK TO RISER AND DEVICES, UNLESS OTHERWISE NOTED.
- REMOVE TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE CONTRACT AREAS AND SITE CLEAN, ORDERLY AND ACCEPTABLE FOR NEW CONSTRUCTION.
- PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURE(S). PROVIDE AND PLACE BRACING OR SHORING AND BE RESPONSIBLE FOR SAFETY AND SUPPORT OF STRUCTURE. ASSUME LIABILITY FOR SUCH MOVEMENT, SETTLEMENT, DAMAGE OR INJURY.
- CEASE OPERATIONS AND NOTIFY THE OWNER IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESORED.
- ARRANGE AND PAY FOR DISCONNECTING, REMOVING AND CAPPING UTILITIES SERVICES WITHIN AREAS OF DEMOLITION. DISCONNECT AND STUB OFF. NOTIFY THE AFFECTED UTILITY COMPANY AND BUILDING MANAGER IN ADVANCE AND OBTAIN APPROVAL BEFORE STARTING THE WORK.
- HVAC SUBCONTRACTOR TO INSPECT EXISTING CONDITIONS PRIOR TO DEMOLITION. AND DETERMINE WHETHER ANY COMPRESSOR REFRIGERANT LINES ARE PRESENT THAT MUST BE PROPERLY DRAINED (TO E.P.A. STANDARDS PRIOR TO DEMOLITION)
- PLACE MARKERS TO INDICATE LOCATION OF DISCONNECTED SERVICES. VERIFY SERVICE LINES AND CAPPING LOCATIONS PROJECT RECORD DOCS.
- CONTRACTOR SHALL BE HELD RESPONSIBLE FOR DAMAGES INFLICTED TO THE OWNERS PROPERTY OR OTHER AREAS OF THE PROJECT. DURING THE EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT ALL SHOP DRAWINGS FOR APPROVAL PRIOR TO COMMENCE OF WORK.
- CONSULTANT DRAWINGS ARE NOT TO BE SCALED: SEE DEMOLITION DRAWINGS FOR EXACT DIMENSIONS.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS & UTILITIES ON SITE WITHIN THE DEMISED SPACE.

ABBREVIATIONS:

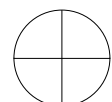
- |        |                          |
|--------|--------------------------|
| A.A.   | ALL AROUND               |
| F.F.E. | FINISHED FLOOR ELEVATION |
| S.C.P. | SMOOTH CEMENT PLASTER    |
| A.F.F. | AFTER FINISHED FLOOR     |
| C.O.   | CLEAN OUT                |
| F.D.   | FLOOR DRAIN              |
| S.D.   | SMOKE DETECTOR           |
| E.F.   | EXHAUST FAN              |
| N.I.C. | NOT IN CONTRACT          |
| W.H.   | WATER HEATER             |

PAINT NOTE:

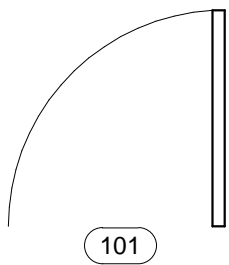
- ALL INTERIOR AND EXTERIOR WALLS AND CEILING TO BE SCRAPPED WHERE NEEDED, PRIMED AND PAINTED.
- COLORS TO BE SELECTED BY ARCHITECT.
- PAINT SHALL BE SHERWIN WILLIAMS OR APPROVED EQUAL.

DOOR AND WINDOW NOTES:

- SUBMIT DOOR AND WINDOW SHOP DRAWINGS FOR ARCHITECT APPROVAL.
- ALL GLASS COLOR TO BE SELECTED BY ARCHITECT.
- FINAL MASONRY, WINDOW AND DOOR DIMENSIONS SHALL BE FIELD VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO PURCHASE.
- THE CONTRACTOR SHALL SUBMIT A SHOP DRAWING FOR WINDOWS CERTIFIED BY A LICENSED ENGINEER TO WITHSTAND WIND SPEEDS AS REQUIRED BY THE IBC 2018 & PUERTO RICO BUILDING CODE.

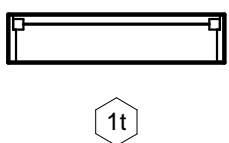


NORTH ARROW



DOOR

DOOR ID NUMBER

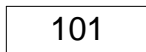


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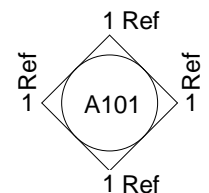
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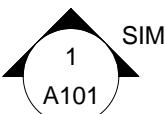
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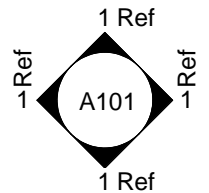
ROOM NUMBER



EXTERIOR ELEVATION SYMBOL



SECTION SYMBOL



INTERIOR ELEVATION SYMBOL

1 / A101

DRAWING / PAGE NUMBER

1 View Name  
1/8" = 1'-0"

DRAWING NUMBER / VIEW NAME / SCALE

EM ARCHITECTS

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ARCHITECT:

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CONSULTANT:

ARQUITECTO  
LICENCIADO  
LIC. # 20050

PUERTO RICO

REVISION	DATE	DESCRIPTION

PROJECT

MEJORAS A ESTACIONAMIENTO MUNICIPAL

CLIENT

MUNICIPIO DE NAGUABO

PROJECT #

SCALE: As indicated

DRAWN BY: Author

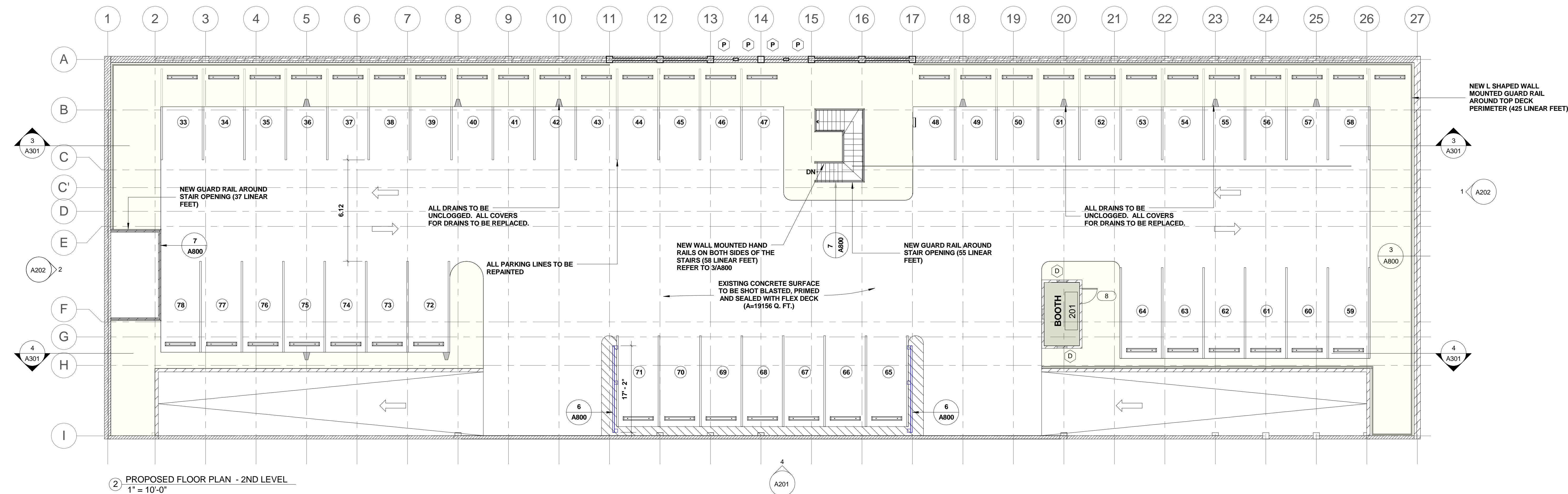
NOTES & GENERAL LEGEND

TITLE

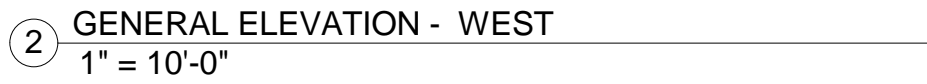
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SHEET

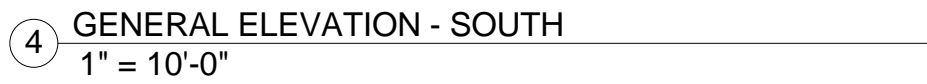
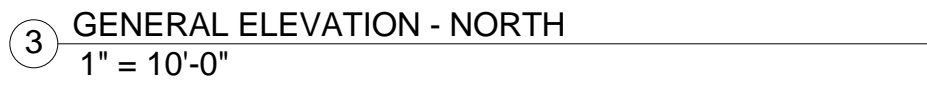


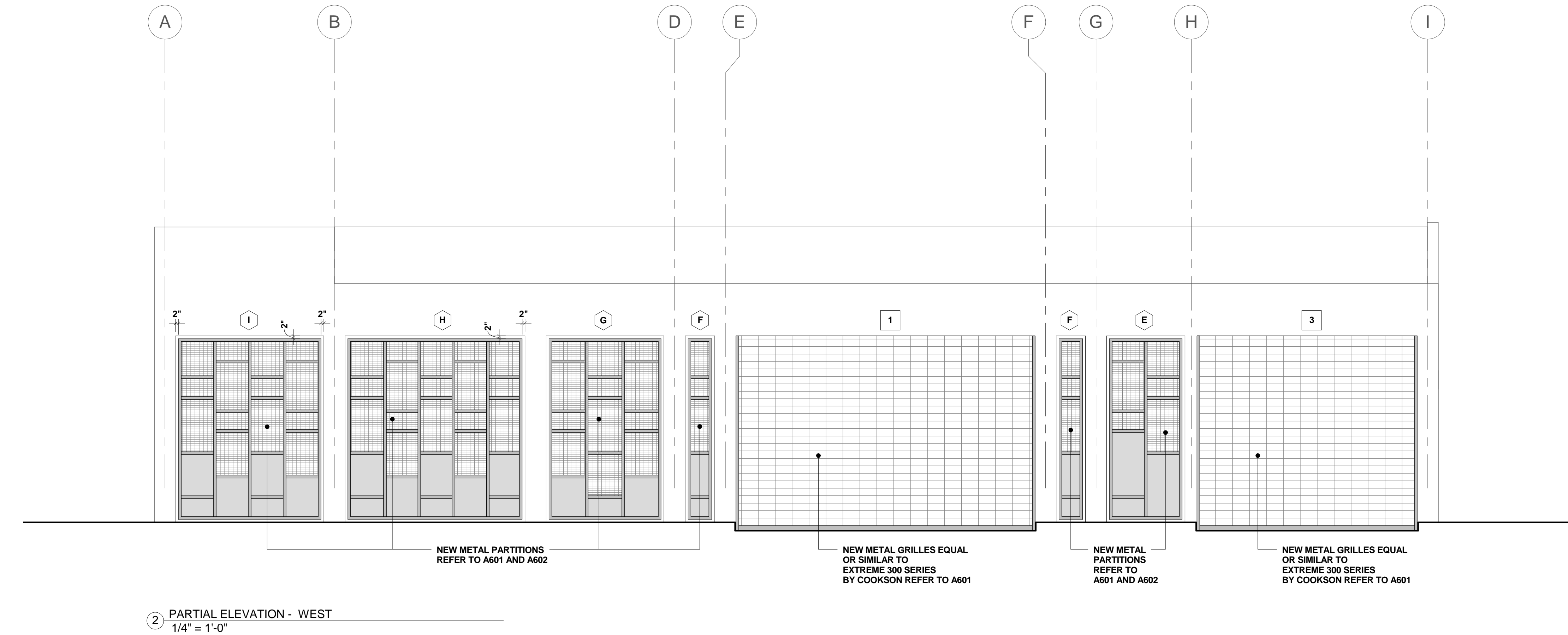




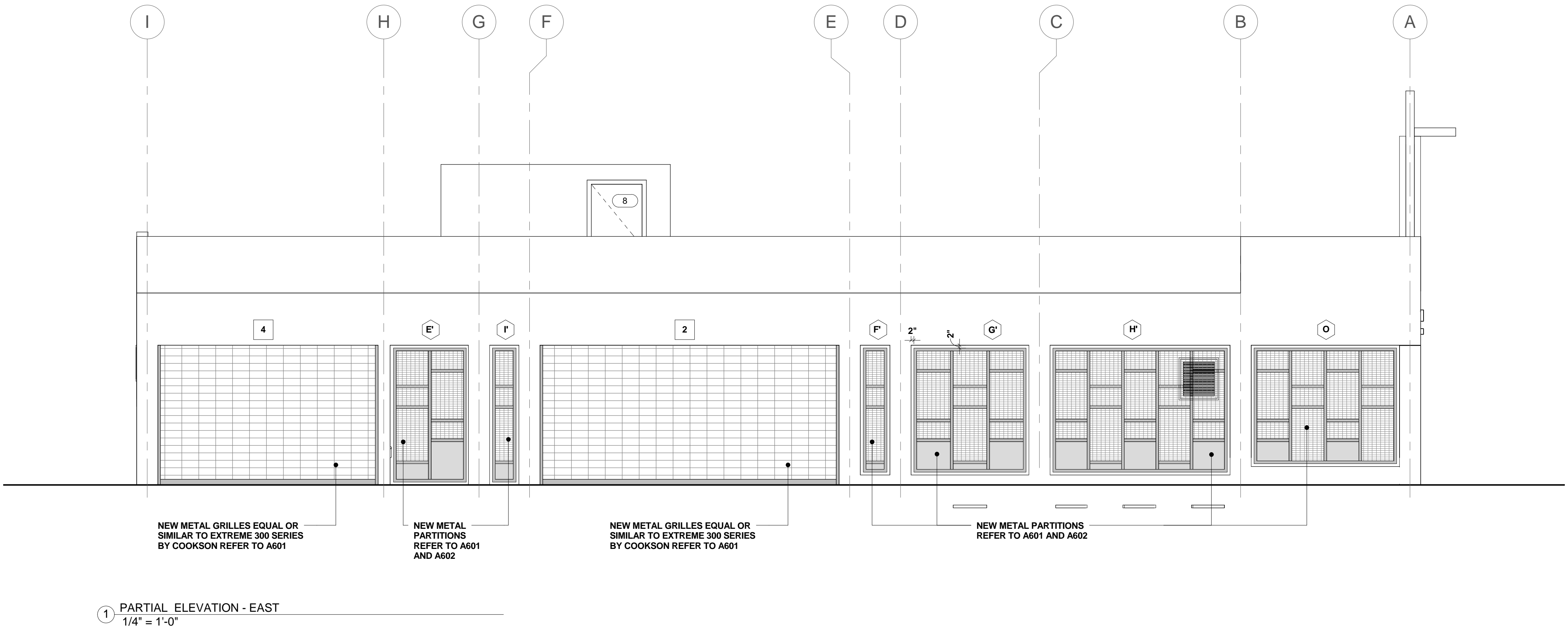


**- PAINT SHALL BE SHERWIN WILLIAMS OR APPROVED  
EQUAL.**

[illegible]



2 PARTIAL ELEVATION - WEST  
1/4" = 1'-0"



1 PARTIAL ELEVATION - EAST  
1/4" = 1'-0"

EM ARCHITECTS  
ARQ. ELI MARIANO MARTÍNEZ BELENDEZ, AIA  
PO Box 2710-113  
San Juan, PR 00923  
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CONSULTANT:

ELI MARIANO MARTÍNEZ BELENDEZ  
ARQUITECTO  
LICENCIADO  
LIC. # 20050  
PUERTO RICO

CERTIFIED BY:

REVISION / DATE / DESCRIPTION

PROJECT  
MEJORAS A ESTACIONAMIENTO MUNICIPAL

CLIENT  
MUNICIPIO DE NAGUABO

PROJECT #

SCALE: 1/4" = 1'-0"

DRAWN BY: Author

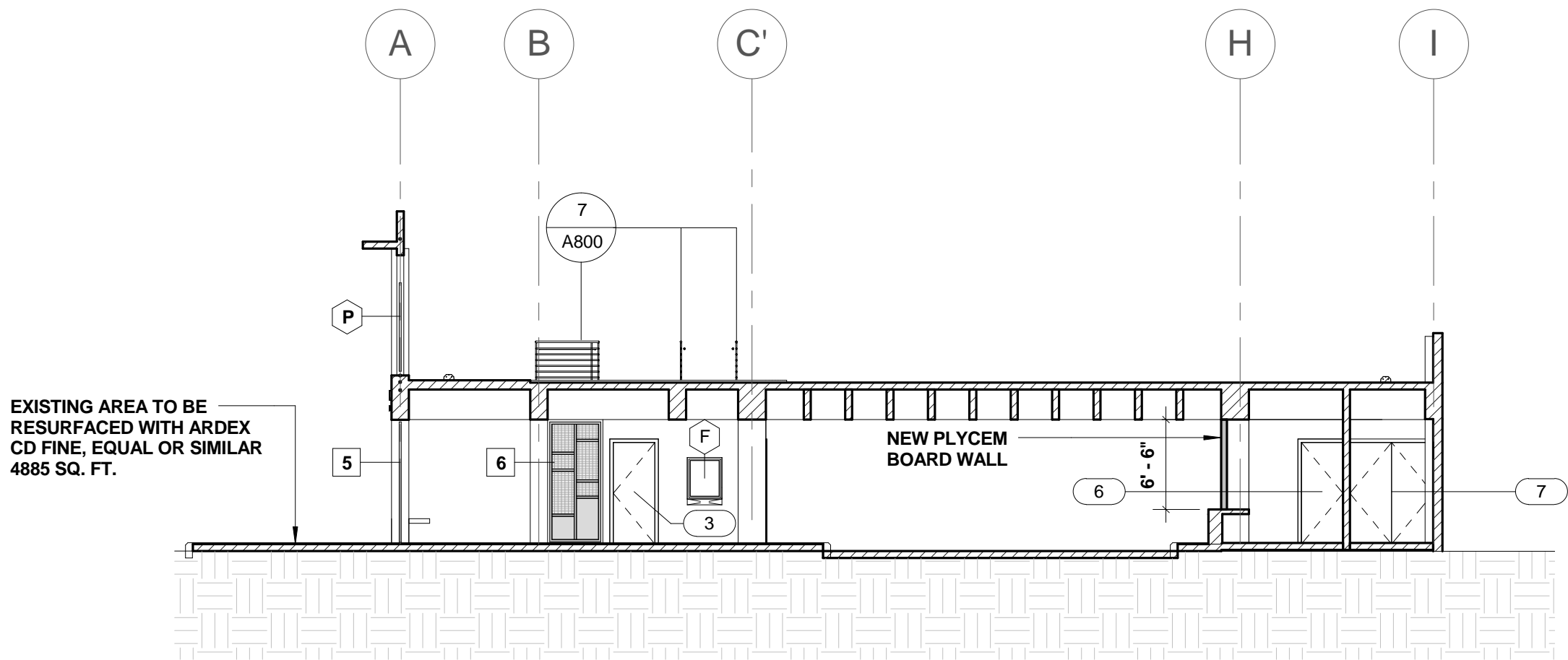
PARTIAL ELEVATIONS

TITLE  
A202

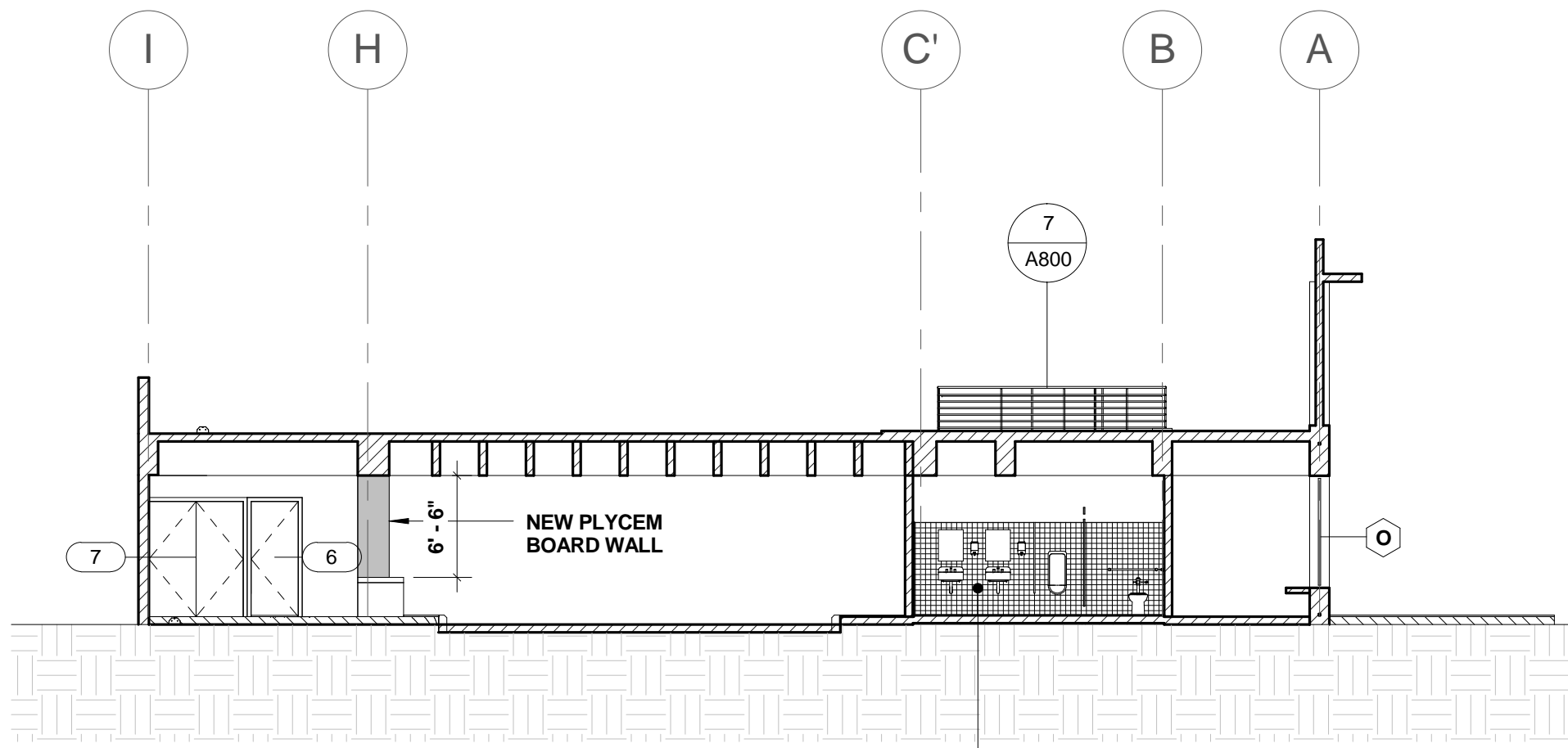
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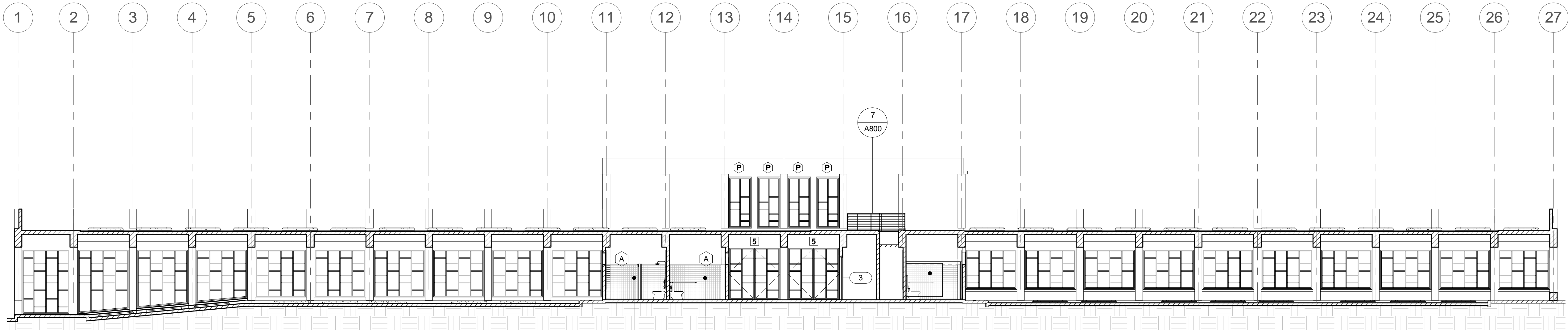




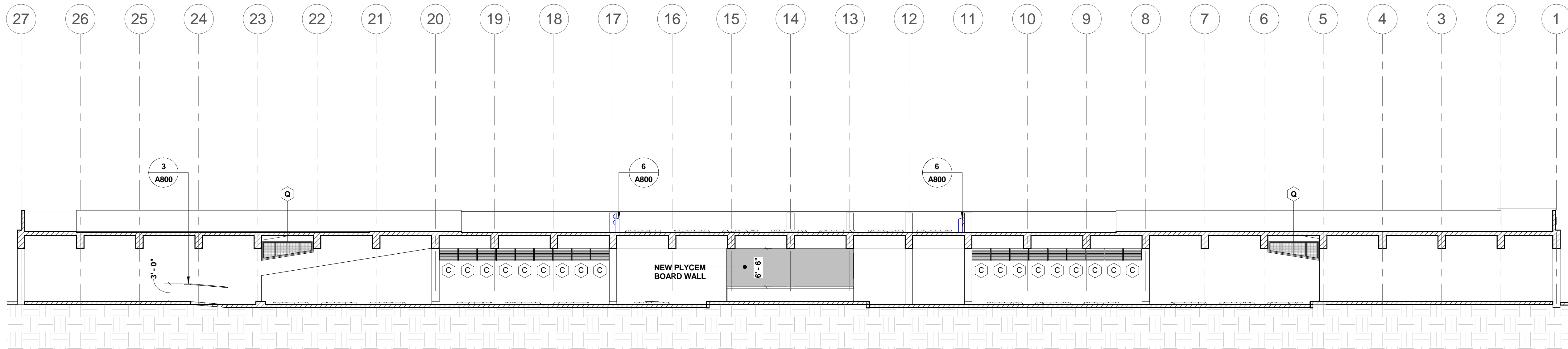
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2 PROPOSED SECTION - 2  
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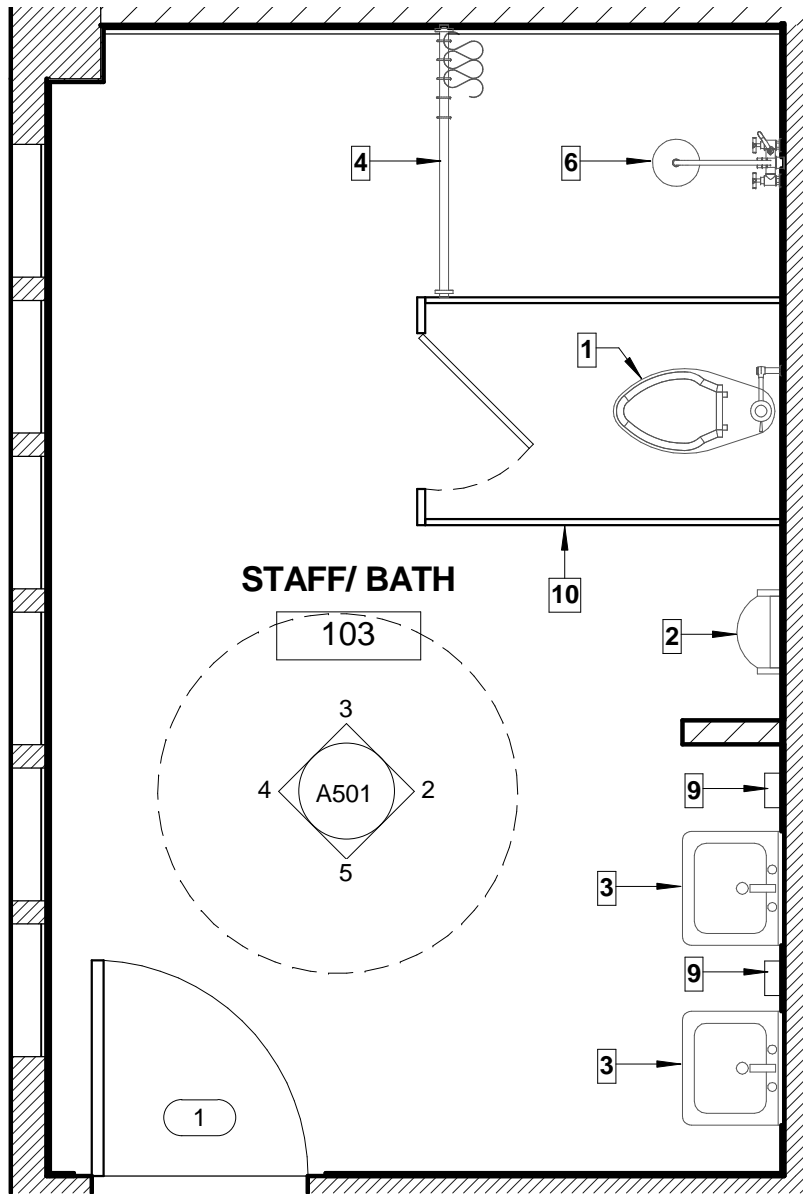


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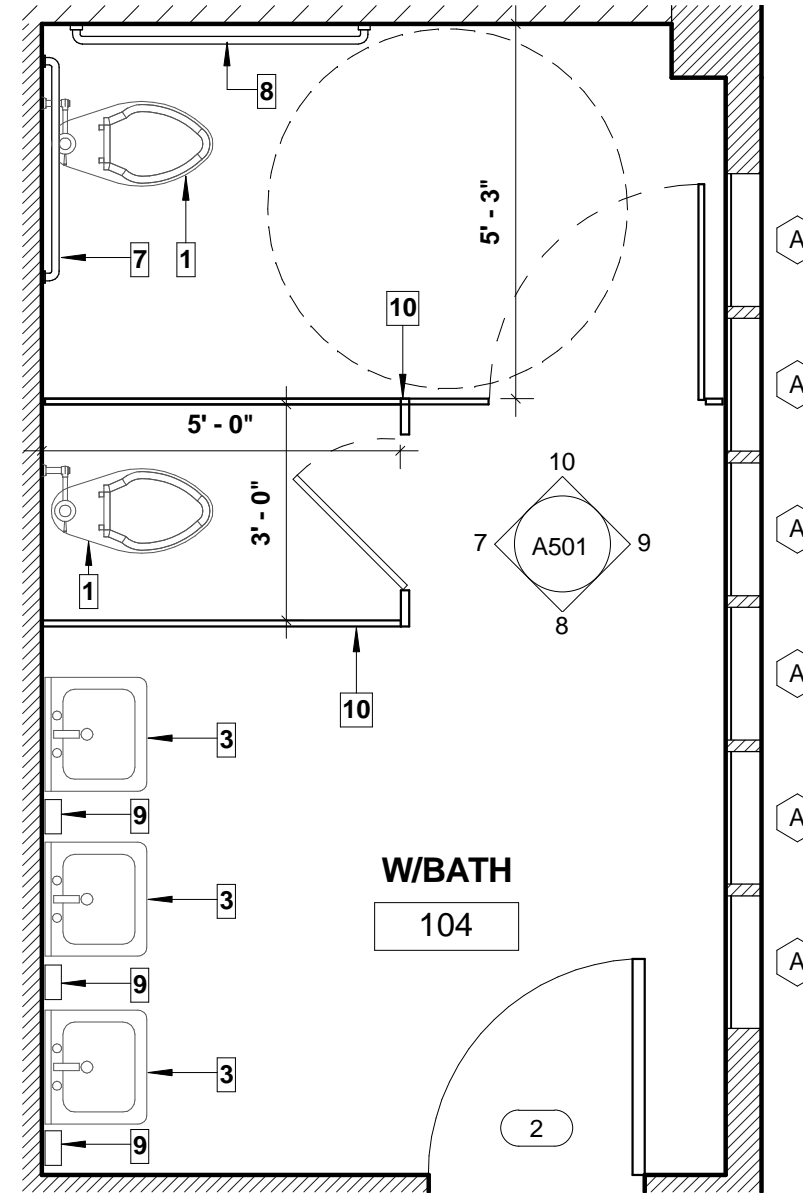


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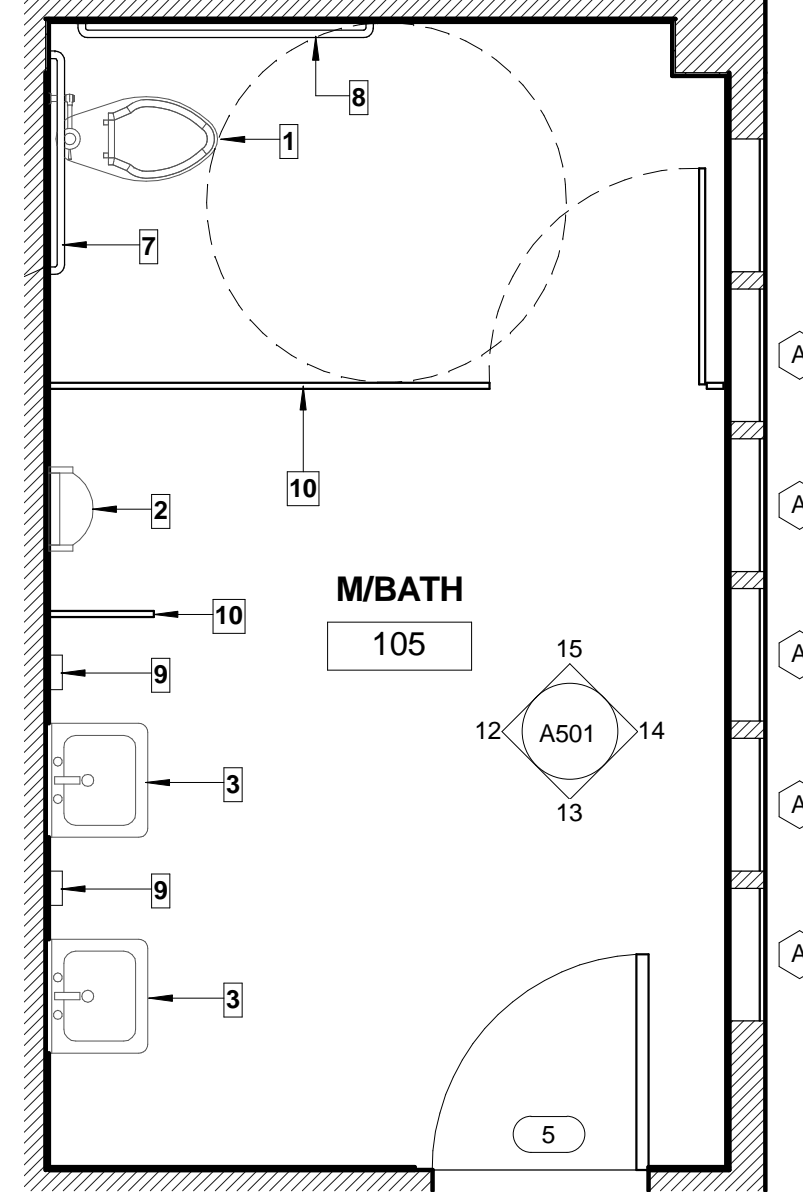




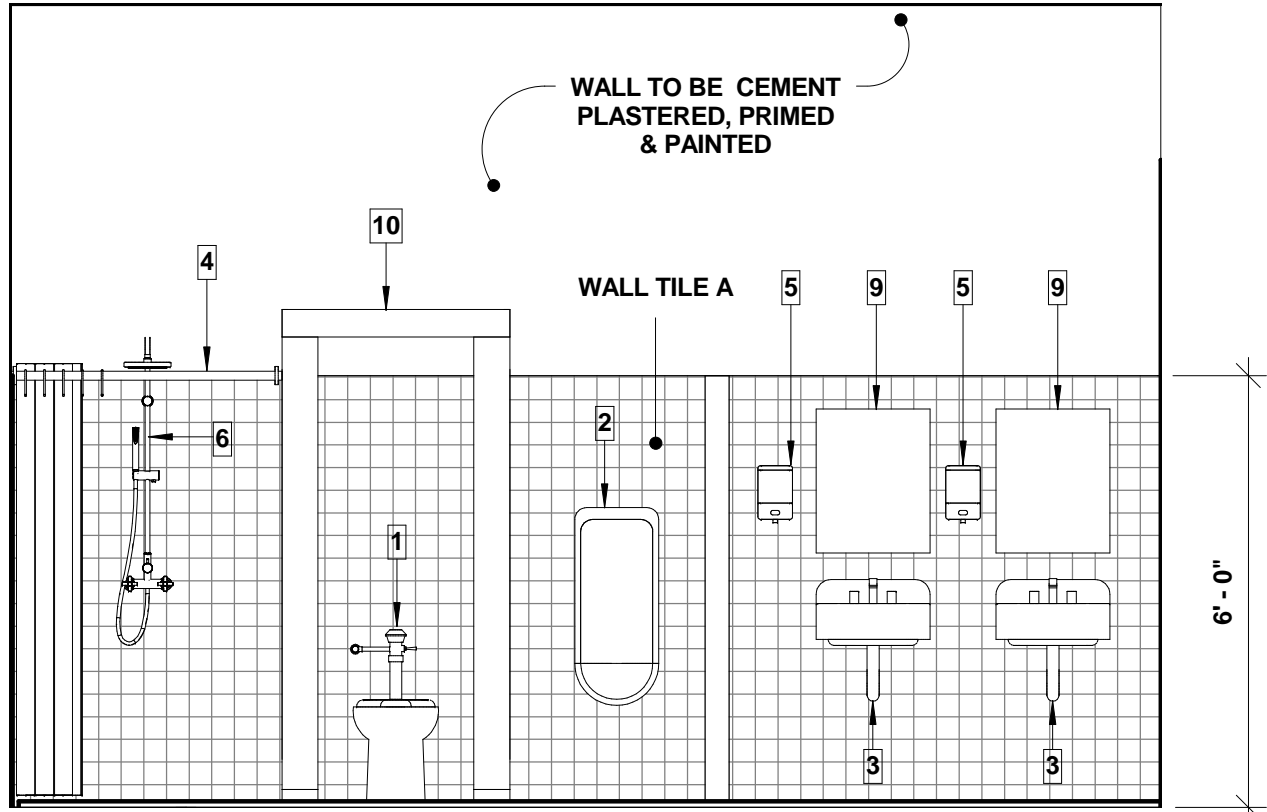
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3/8" = 1'-0"



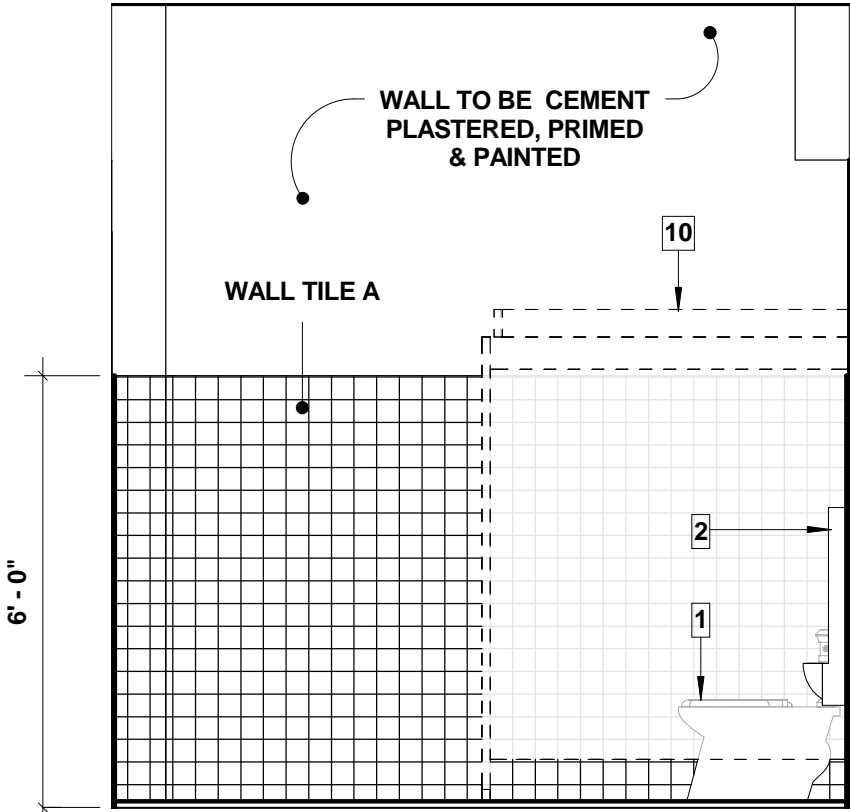
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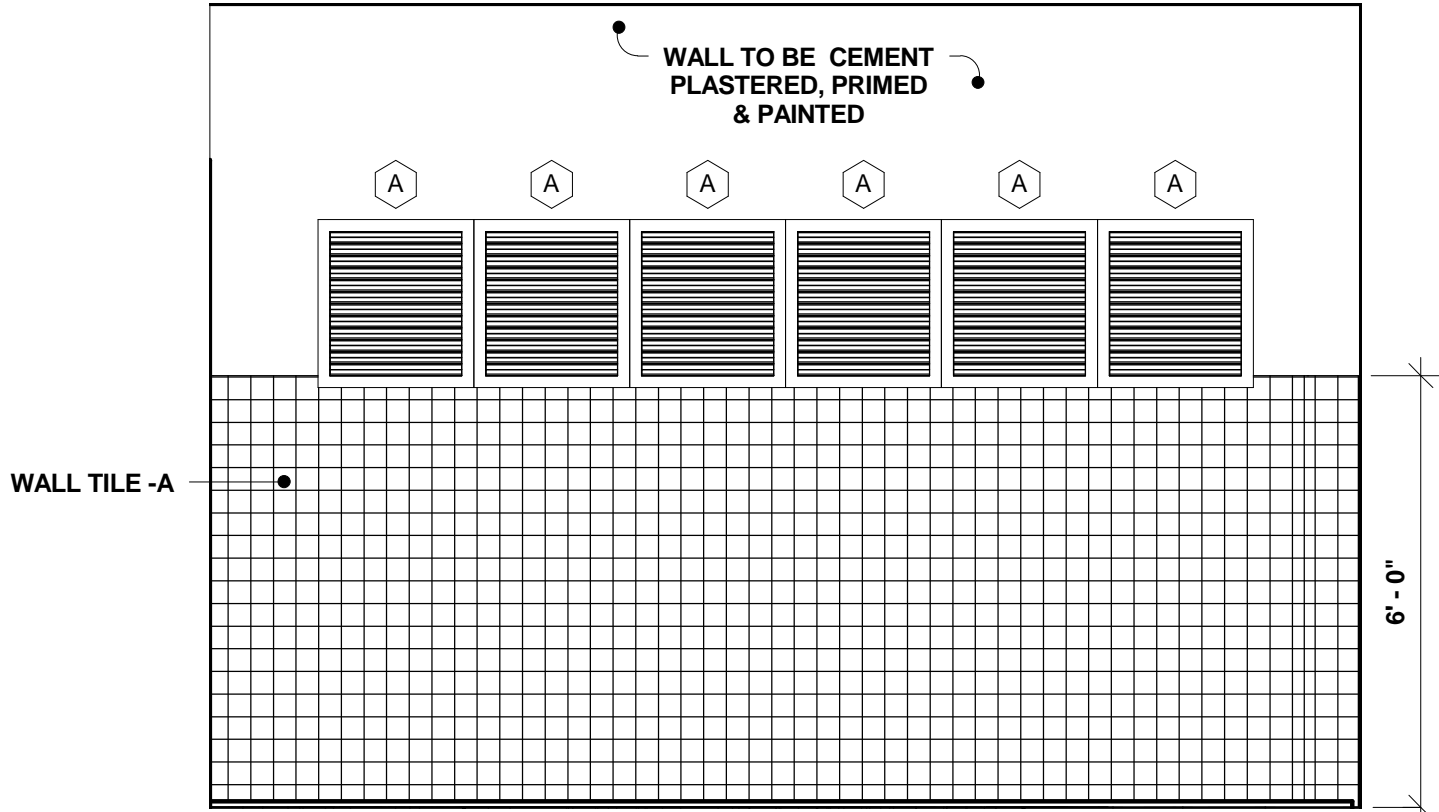
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3/8" = 1'-0"



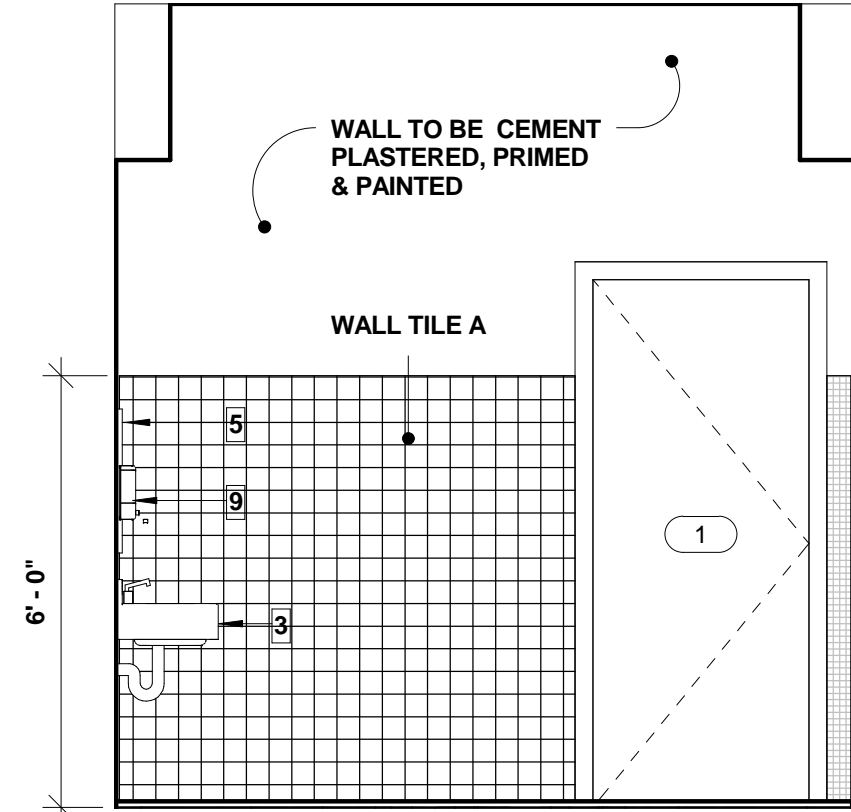
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3/8" = 1'-0"



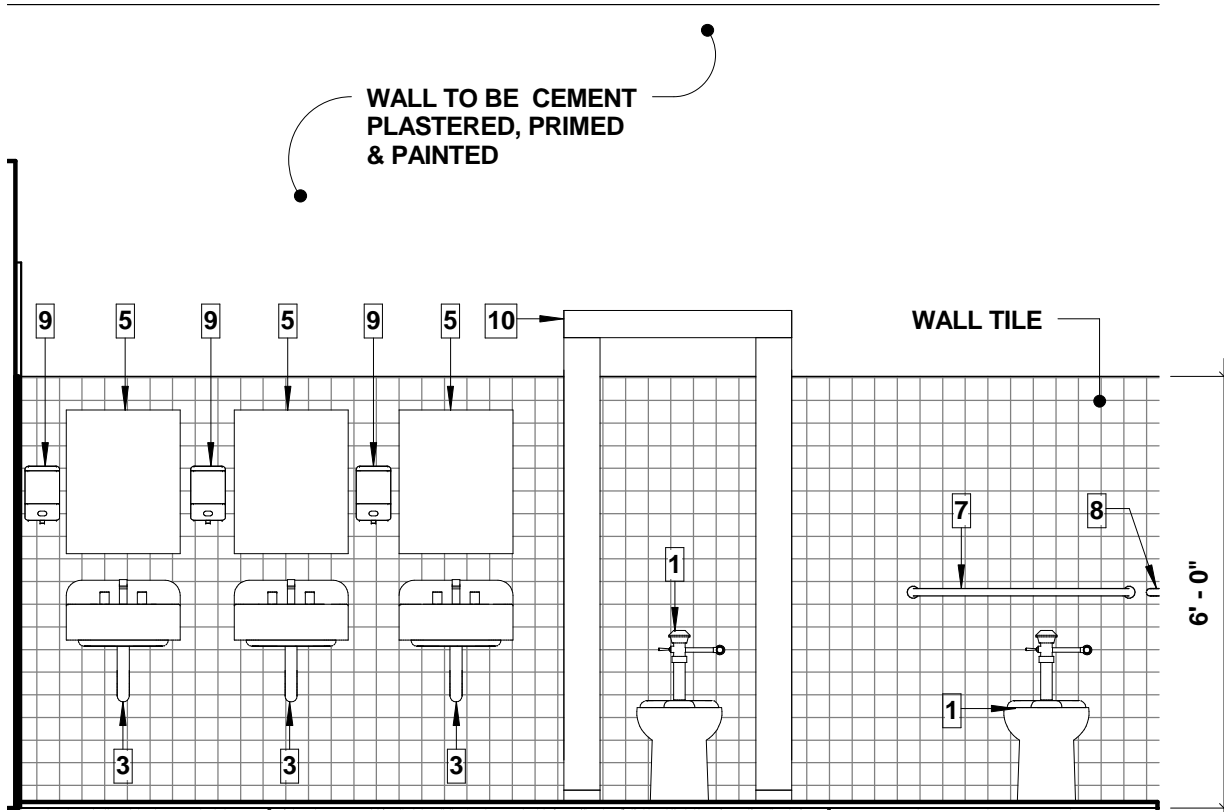
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3/8" = 1'-0"



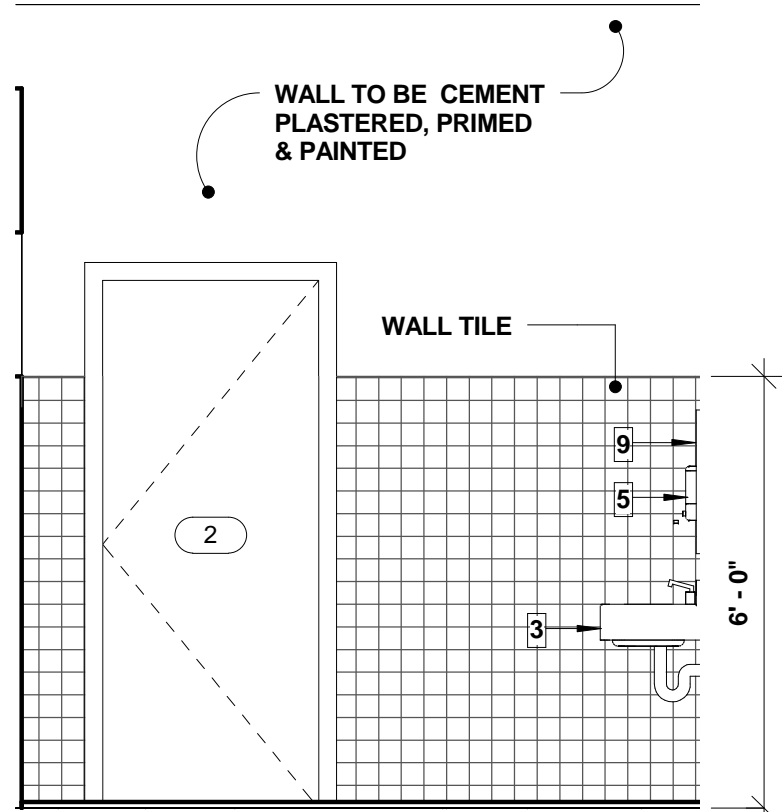
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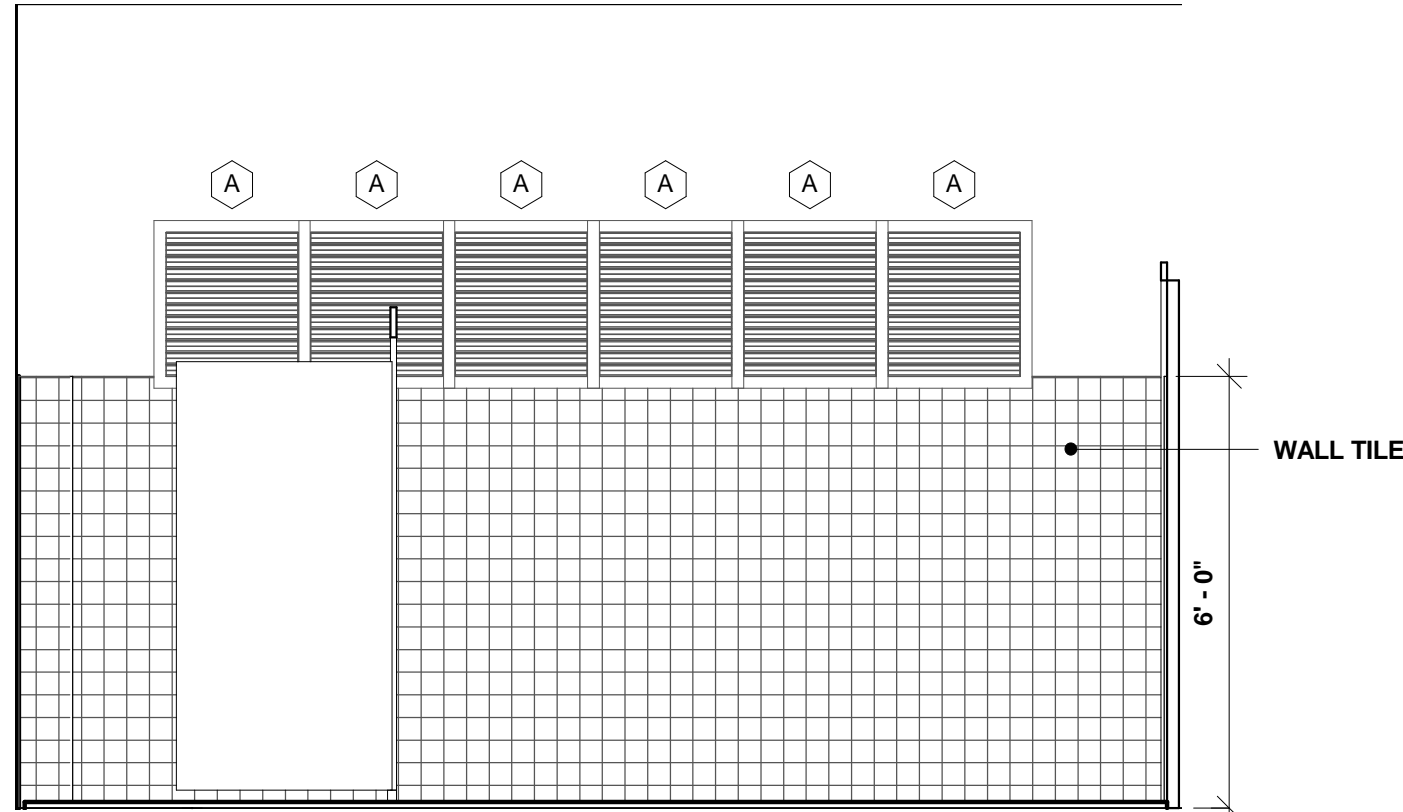
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3/8" = 1'-0"



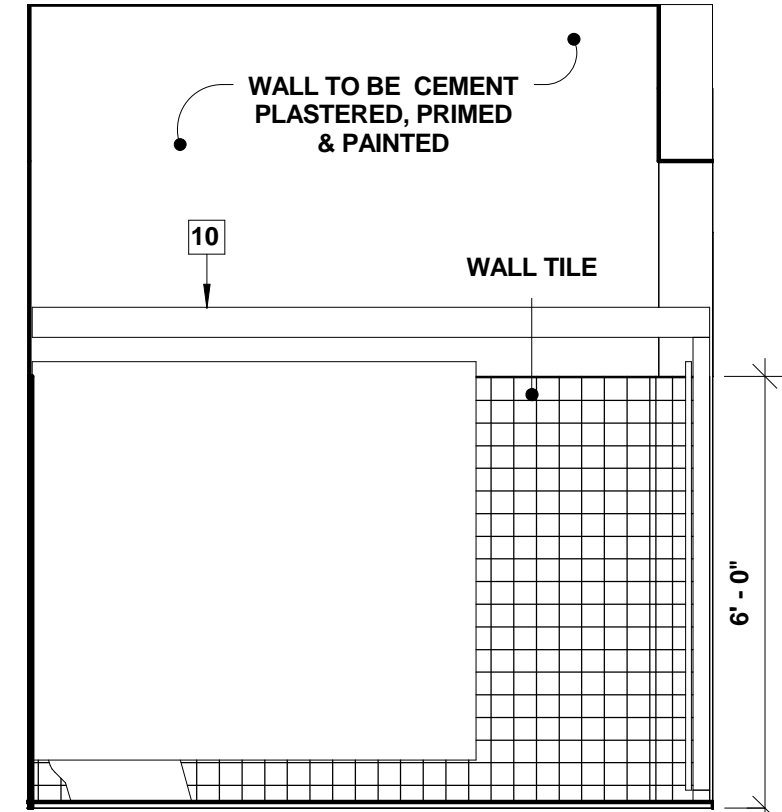
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3/8" = 1'-0"



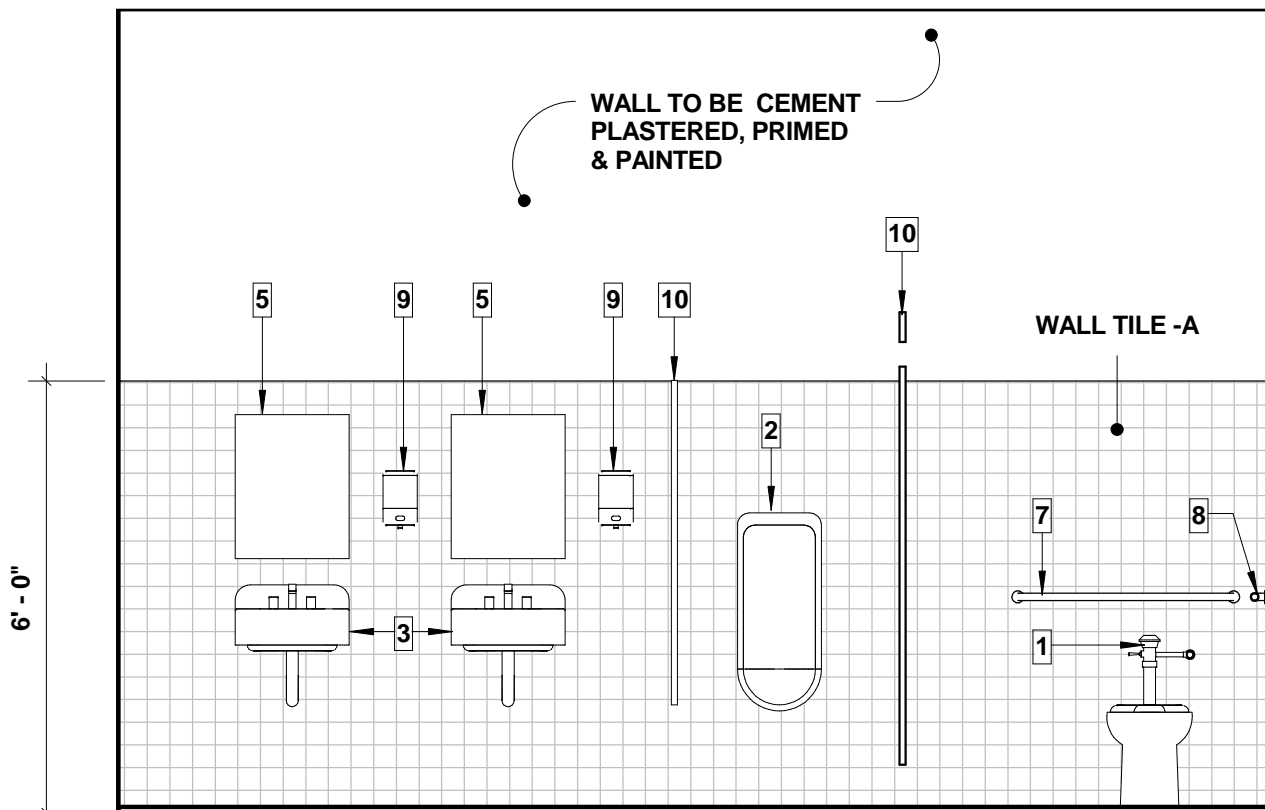
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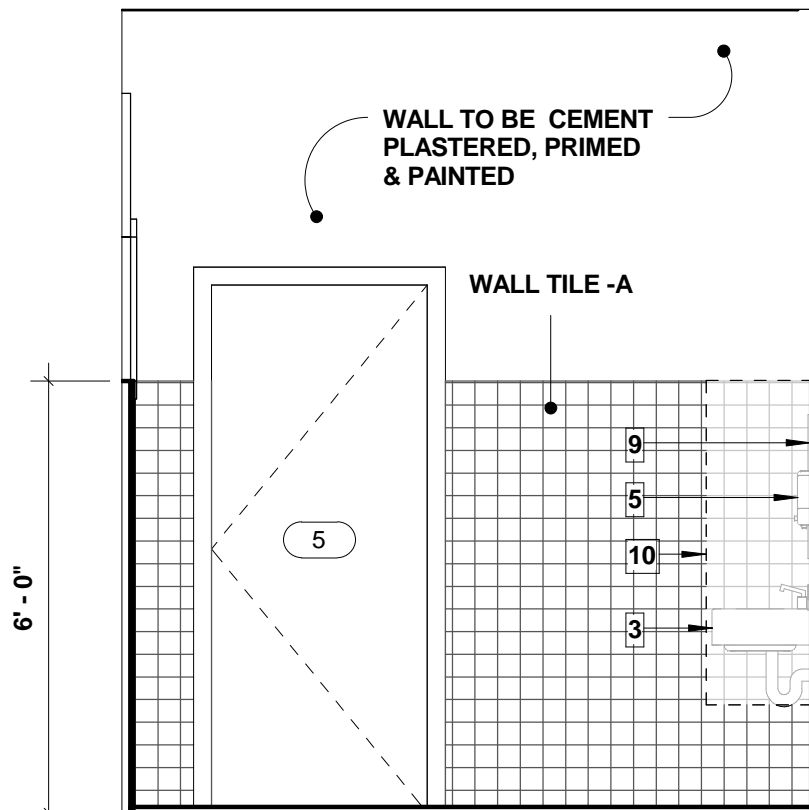
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3/8" = 1'-0"



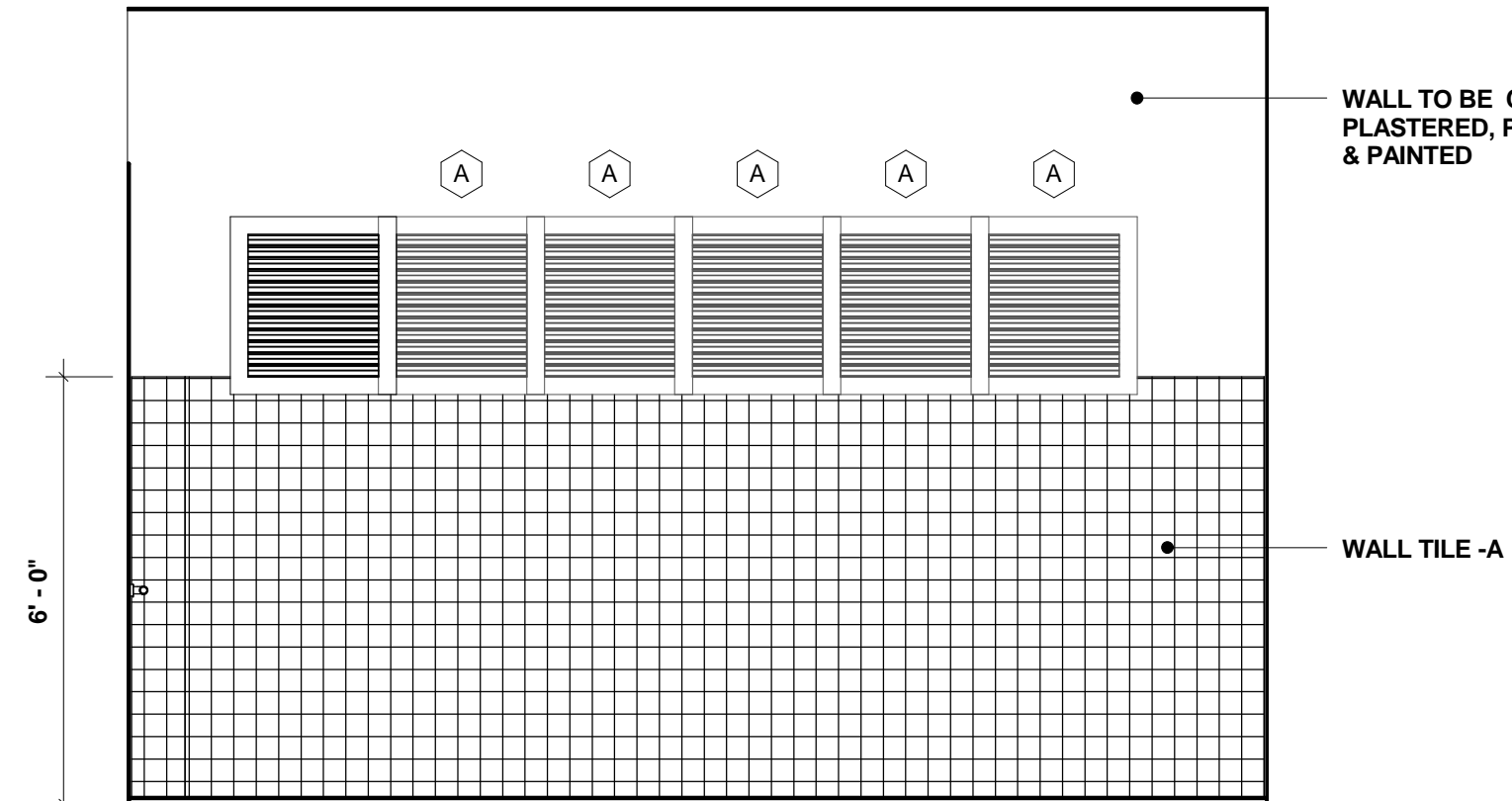
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3/8" = 1'-0"



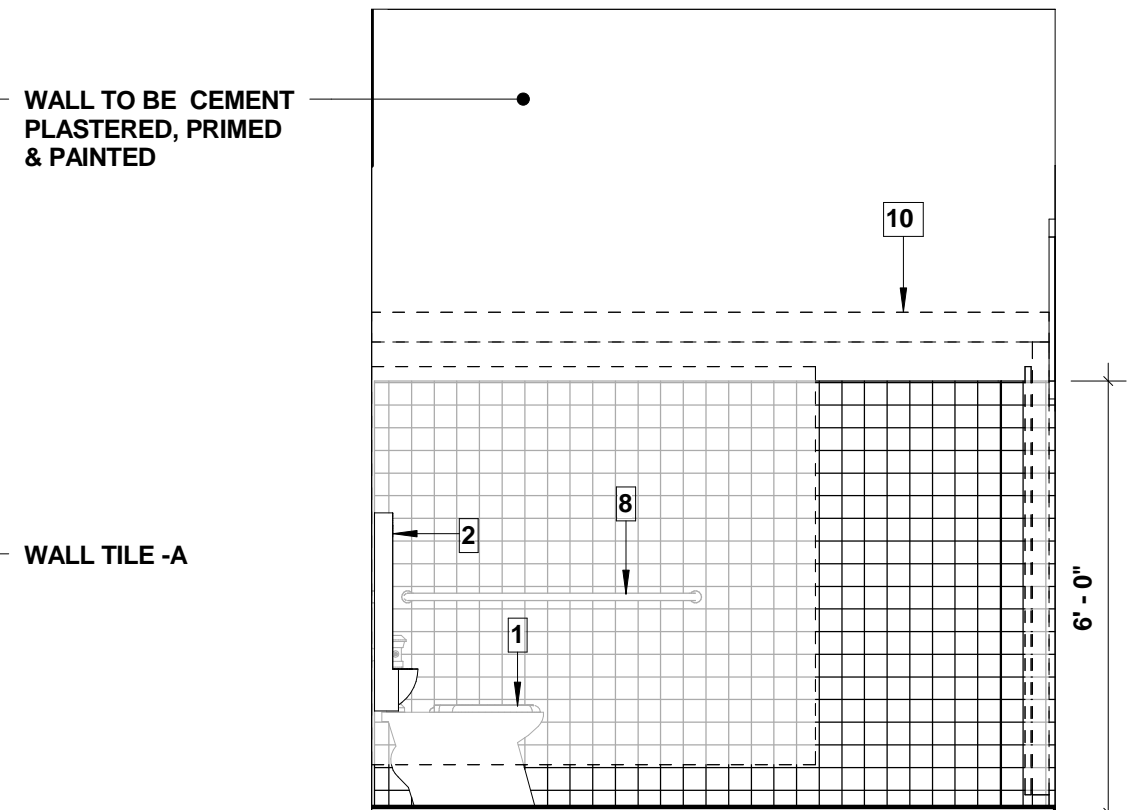
12 BATHROOMS - ELEVATION MKD 12  
3/8" = 1'-0"



13 BATHROOMS - ELEVATION MKD 13  
3/8" = 1'-0"



14 BATHROOMS - ELEVATION MKD 14  
3/8" = 1'-0"

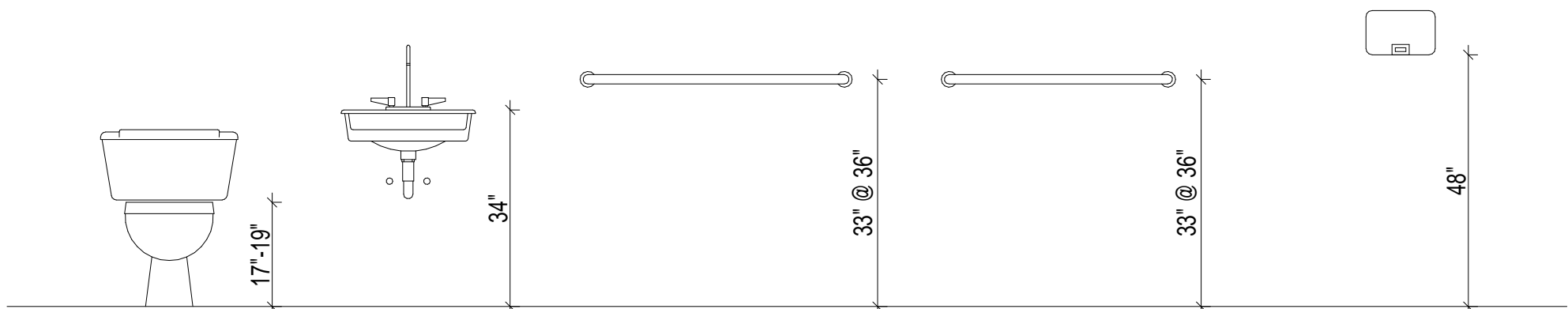


15 BATHROOMS - ELEVATION MKD 15  
3/8" = 1'-0"

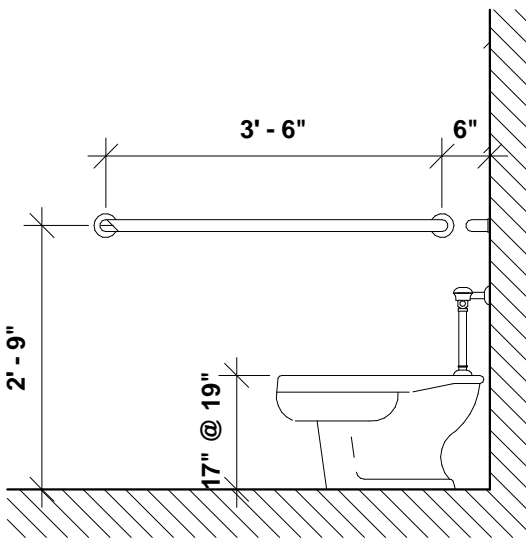
FIXTURE & ACCESSORY SCHEDULE				
ITEM	DESCRIPTION	MANUFACTURER / MODEL	QUANTITY	NOTES
1	TOILET	AMERICAN STANDARD MODEL 3378.128	4	
2	URINAL	AMERICAN STANDARD MODEL MAYBROOK 6581.015	2	
3	LAVATORY	AMERICAN STANDARD MODEL 9024.004EC	6	FAUCET - AMERICAN STANDARD MODEL MONTERREY 7500.175
4	SHOWER ROD & CURTAIN	BOBRICK 204 / BOBRICK B-207	1	
5	MIRROR	BOBRICK BOB290-1830	6	
6	SHOWER HEAD	MEDITERRANO MESSINA SHOWER	1	
7	GRAB BAR 36"	BOBRICK B-5806 x 36"	2	
8	GRAB BAR 42"	B-5806 x 42"	2	
9	SOAP DISPENSER	BOBRICK B2111	6	
10	PARTITION	BOBRICK DURALINE SERIES MODEL 1182		OVERHEAD BRACING MOUNTING CONFIGURATION AT 85" A.F.F. / "BRUSHED ALUMINUM 0328 FH (SUBMIT SHOP DWG)
11	TOILET PAPER DISPENSER	BOBRICK B7685	4	

NOTES:

- THE GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR THE ARCHITECTS APPROVAL FOR ALL THE EQUIPMENT LISTED ABOVE.
- SUBSTITUTIONS MUST BE EQUAL OR SIMILAR. THE GENERAL CONTRACTOR SHALL FURNISH A TABLE COMPARING THE ITEM SPECIFIED VERSUS THE SUBSTITUTION FOR CONSIDERATION. PLEASE REFER TO THE GENERAL CONDITIONS.
- ALL ITEMS SHALL COMPLY WITH THE BUY AMERICAN ACT



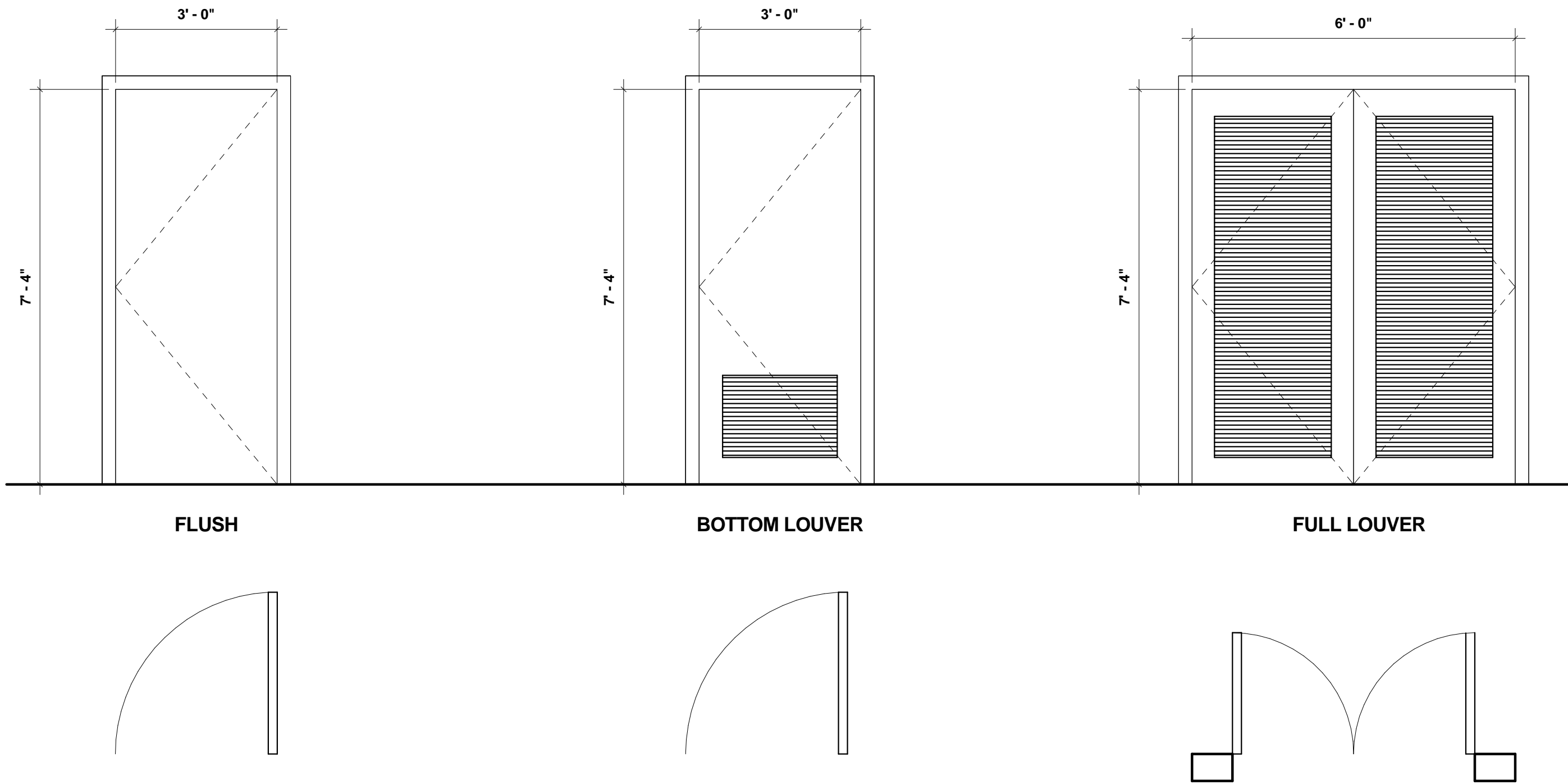
BATHROOM EQUIPMENT INSTALL  
HEIGHTS  
16 1/2" = 1'-0"



17 GRAB BAR DETAIL  
1/2" = 1'-0"



DOOR SCHEDULE 1								
MARK	FINISHED OPENING WIDTH	FINISHED OPENING HEIGHT	FRAME MATERIAL	DOOR MATERIAL	DOOR TYPE	MANUFACTURER	HARWARE SET	Comments
1	3' - 0"	7' - 4"	16 GA. ME SERIES BY REPLUBIC DOORS, EQUAL OR SIMILAR	A60 GALV. STEEL 18 GA.	BOTTOM LOUVER	MODEL DP SERIES BY REPUBLIC DOORS, EQUAL OR SIMILAR		EXISTING DOOR TO BE REPLACED
2	3' - 0"	7' - 4"	16 GA. ME SERIES BY REPLUBIC DOORS, EQUAL OR SIMILAR	A60 GALV. STEEL 18 GA.	BOTTOM LOUVER	MODEL DP SERIES BY REPUBLIC DOORS, EQUAL OR SIMILAR		EXISTING DOOR TO BE REPLACED
3	3' - 0"	7' - 4"	16 GA. ME SERIES BY REPLUBIC DOORS, EQUAL OR SIMILAR	A60 GALV. STEEL 18 GA.	FLUSH	MODEL DP SERIES BY REPUBLIC DOORS, EQUAL OR SIMILAR		EXISTING DOOR TO BE REPLACED
4	3' - 0"	7' - 4"	16 GA. ME SERIES BY REPLUBIC DOORS, EQUAL OR SIMILAR	A60 GALV. STEEL 18 GA.	FLUSH	MODEL DP SERIES BY REPUBLIC DOORS, EQUAL OR SIMILAR		EXISTING DOOR TO BE REPLACED
5	3' - 0"	7' - 4"	16 GA. ME SERIES BY REPLUBIC DOORS, EQUAL OR SIMILAR	A60 GALV. STEEL 18 GA.	BOTTOM LOUVER	MODEL DP SERIES BY REPUBLIC DOORS, EQUAL OR SIMILAR		EXISTING DOOR TO BE REPLACED
6	3' - 0"	7' - 4"	16 GA. ME SERIES BY REPLUBIC DOORS, EQUAL OR SIMILAR	A60 GALV. STEEL 18 GA.	FLUSH	MODEL DP SERIES BY REPUBLIC DOORS, EQUAL OR SIMILAR		EXISTING DOOR TO BE REPLACED
7	6' - 0"	7' - 4"	16 GA. ME SERIES BY REPLUBIC DOORS, EQUAL OR SIMILAR	A60 GALV. STEEL 18 GA.	FULL LOUVER	MODEL DP SERIES BY REPUBLIC DOORS, EQUAL OR SIMILAR		EXISTING DOOR TO BE REPLACED
8	3' - 0"	7' - 4"	16 GA. ME SERIES BY REPLUBIC DOORS, EQUAL OR SIMILAR	A60 GALV. STEEL 18 GA.	FLUSH	MODEL DP SERIES BY REPUBLIC DOORS, EQUAL OR SIMILAR		EXISTING DOOR TO BE REPLACED



## HARDWARE SET SCHEDULE

#1. DOORS MKD 1, 2, & 5 (BATHROOM DOORS)									
3	EA	HINGES	FBB191.45" x 4.5"						ST
1	EA	PUSH PLATE	305 4" x 16"						HG
1	EA	PULL PLATE	33E 6" CTC 4" x 16"						HG
1	EA	DEADBOLT	QDB181 LC (SFIC)						BE
1	EA	PATENTED CORE	1CX7-XB1						BE
1	EA	PATENTED KEY	1AX1-XB1						BE
1	EA	CLOSER	QDC311 F					ALUM	ST
1	EA	FLOOR STOP	241F						HG
1	EA	MOP PLATE	190S 6" x 34"						HG
1	EA	KICK PLATE	190S 10" x 34"						HG
1	EA	RESTROOM SIGN (MALE)		368M				BLACK	HG
1	EA	RESTROOM SIGN (FEMALE)		368W				BLUE	HG
3	EA	SILENCERS	307D					GREY	HG

#2. DOORS MKD 4				
3	EA	HINGESFBB179NRP 4.5" x 4.5"		ST
1	EA	LOCKSET (PRIVACY) QCL140 E S4 478S		ST
1	EA	CLOSER QDC311 F	ALUM	ST
1	EA	WALL STOP 232W		HG
3	EA	SILENCERS 307D	GREY	HG

#3. DOORS MKD 3 & 7				
(STORAGE ROOM DOORS)				
3	EA	HINGES	FBB191NRP 4.5" x 4.5"	ST
1	EA	LOCKSET (STOREROOM)		ST
1	EA	PATENTED CORE	1CX7-XB1	BE
1	EA	PATENTED KEY	1AX1-XB1	BE
1	EA	FLOOR STOP	241F	HG
1	EA	SEAL	726 S 25"	CHARCOAL
1	EA	DOOR BOTTOM	770S V 36"	ALUM
		HG		
1	EA	THRESHOLD	417S 36"	ALUM

BE = BEST	THE YATES COMPANY
ST = STANLEY	787-722-2888
HG = HAGER	

**NOTES:**

**-THE GENERAL CONTRACTOR SHALL PROVIDE HEAVY DUTY HINGES, PADLOCKS, CANES AND HARDWARE WITH OPERABLE LATCH FOR ALL NEW PEDESTRIAN GATES.**

**-ALL DOOR AND WINDOW OPENINGS TO BE FIELD VERIFIED PRIOR TO ORDER OR FABRICATION.**

**-GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR THE ARCHITECT'S REVIEW OF DOORS, WINDOWS AND HARDWARE.**

**-FINAL KEY LAY OUT AS PER OWNER INSTRUCTIONS.**

-VERIFY IN FIELD IF WALL STOPS OR FLOOR STOPS ARE TO BE USED, THE MOST SUITABLE TO BE USED FOR EACH INDIVIDUAL LOCATION.

**-PROVIDE TRANSITION REDUCER TRESHOLDS IN BATHROOMS**

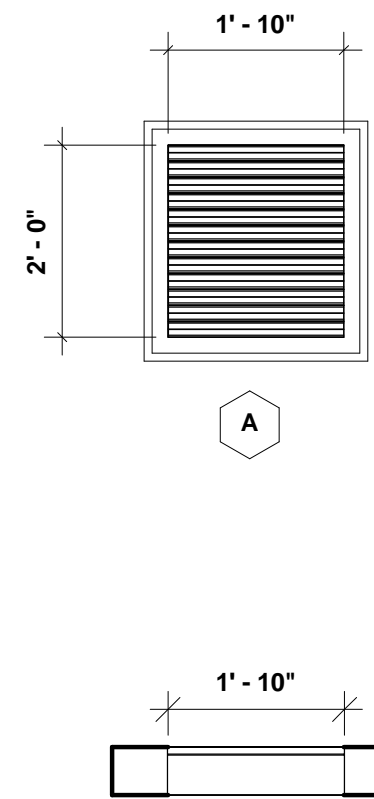
**-IN PLACE WERE DOORS DO NOT COME IN CONTACT WITH THE WALL  
REPLACE WALL STOPS WITH FLOOR ONES , VERIFY WITH ARCHITECT.**

**-ALL PEDESTRIAN GATES SHALL INCLUDE HEAVY DUTY HINGES, HARDWARE, AND LOCKSET**

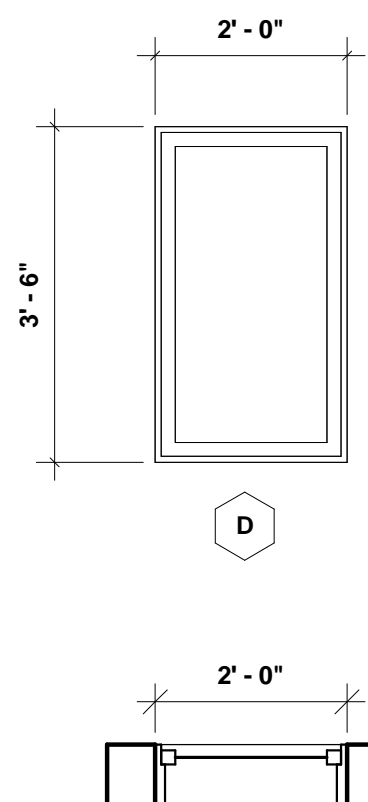
ROOM SCHEDULES						
Number	Name	Area	Wall Finish	Floor Finish	Base Finish	Ceiling Finish
101	OFFICE	172 SF	PRIMED AND PAINTED	ARDEX FEATHER FINISH - EQUAL OR SIMILAR	RB-1	ACT-1
102	TICKET BOOTH	78 SF	PRIMED AND PAINTED	ARDEX FEATHER FINISH - EQUAL OR SIMILAR	VB-1	EXCS
103	STAFF/ BATH	161 SF	Restore Bright White 10 in. x 14 in. Glazed Ceramic Wall Tile /PRIMED AND PAINTED	ARDEX FEATHER FINISH - EQUAL OR SIMILAR	VB-1	EXCS
104	W/BATH	149 SF	Restore Bright White 10 in. x 14 in. Glazed Ceramic Wall Tile /PRIMED AND PAINTED	ARDEX FEATHER FINISH - EQUAL OR SIMILAR	VB-1	EXCS
105	M/BATH	149 SF	Restore Bright White 10 in. x 14 in. Glazed Ceramic Wall Tile /PRIMED AND PAINTED	ARDEX FEATHER FINISH - EQUAL OR SIMILAR	VB-1	EXCS
106	STORAGE	110 SF	PRIMED AND PAINTED	ARDEX FEATHER FINISH - EQUAL OR SIMILAR		EXCS
107	STORAGE	27 SF	PRIMED AND PAINTED	ARDEX FEATHER FINISH - EQUAL OR SIMILAR		EXCS
201	BOOTH	88 SF	PRIMED AND PAINTED	ARDEX FEATHER FINISH - EQUAL OR SIMILAR	VB-1	EXCS

Window Schedule					
Type Mark	Height	Width	Manufacturer	Comments	Count
A	2' - 0"	1' - 10"	SAN MIGUEL WINDOWS, EQUAL OR SIMILAR	FIXED LOUVER - VANDAL PROOF	18
B	4' - 0"	2' - 0"	SAN MIGUEL WINDOWS, EQUAL OR SIMILAR	FIXED LOUVER - VANDAL PROOF	1
C	2' - 0"	3' - 2 1/2"	SAN MIGUEL WINDOWS, EQUAL OR SIMILAR	FIXED LOUVER - VANDAL PROOF	18
D	3' - 6"	2' - 0"	SAN MIGUEL WINDOWS, EQUAL OR SIMILAR	FIXED LOUVER - VANDAL PROOF	3
E	2' - 6"	3' - 0"	SAN MIGUEL WINDOWS, EQUAL OR SIMILAR	FIXED WINDOW WITH ALUMINUM FRAME 3/8" LAMINATED BLUE/GREEN GLASS	1
F	3' - 0"	2' - 6"	SAN MIGUEL WINDOWS, EQUAL OR SIMILAR	FIXED WINDOW WITH ALUMINUM FRAME 3/8" LAMINATED BLUE/GREEN GLASS	1

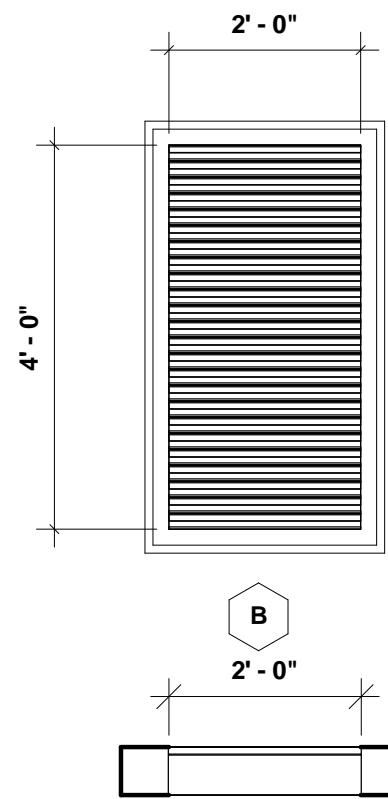
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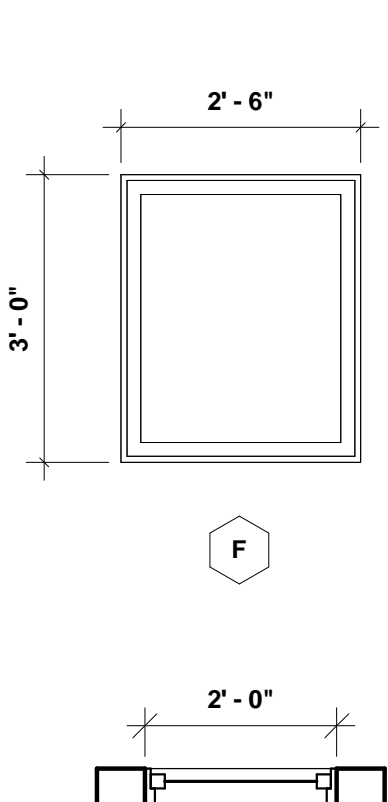
### WINDOW TYPE -A



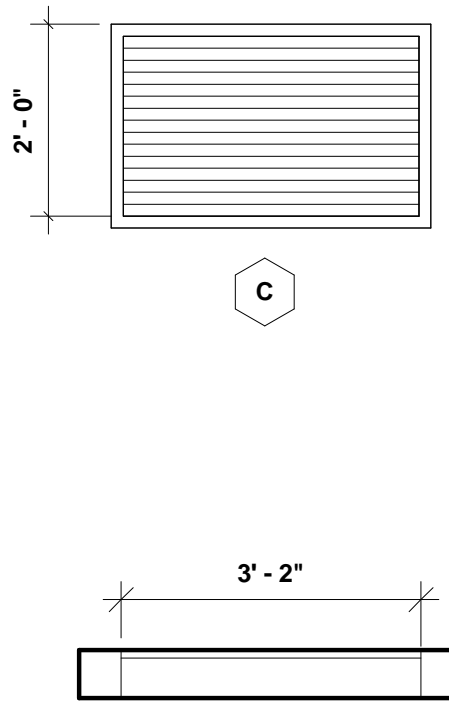
### WINDOW TYPE -D



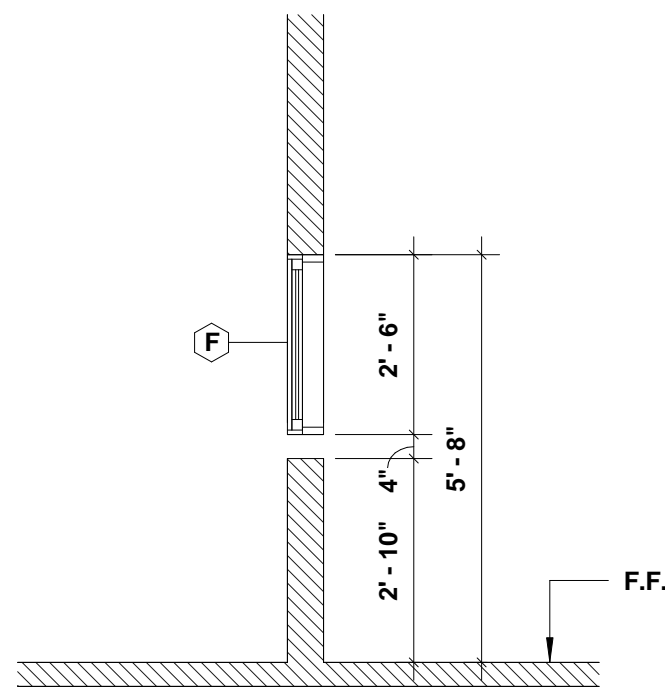
### WINDOW TYPE -B



### WINDOW TYPE -F



### WINDOW TYPE -C



(F) SECTION TICHET BOOTH  
3/8" = 1'-0"

FINISH LEGEND	
WALL FINISH	
WP-1	SW 6196 FROSTY WHITE
WT-1	WALL TILE
FLOOR FINISH	
CT-1	ARDEX FEATHER FINISH - EQUAL OR SIMILAR
FLOOR BASE	
RB-1	RUBBER BASE - Burkebase Type TP PROFILE 603 ASH 6" HIGH
VB-1	IDEAL BASE TP RUBBER 204 GRAY 6.25 HIGH, 2: TOE
CEILING	
ACT-1	ACOUSTIC CEILING TILE USG MARSM™ HEALTHCARE ACOUSTICAL PANELS EDGE: SQ, GRID PROFILE: USG DX®
EXCS	EXPOSED CONCRETE SURFACE TO BE PRIMED AND PAINTED

[illegible]

CERTIFIED BY:

[illegible]

# MEJORAS A ESTACIONAMIENTO MUNICIPAL

PROJECT #:

SCALE: As indicated

DRAWN BY: Author

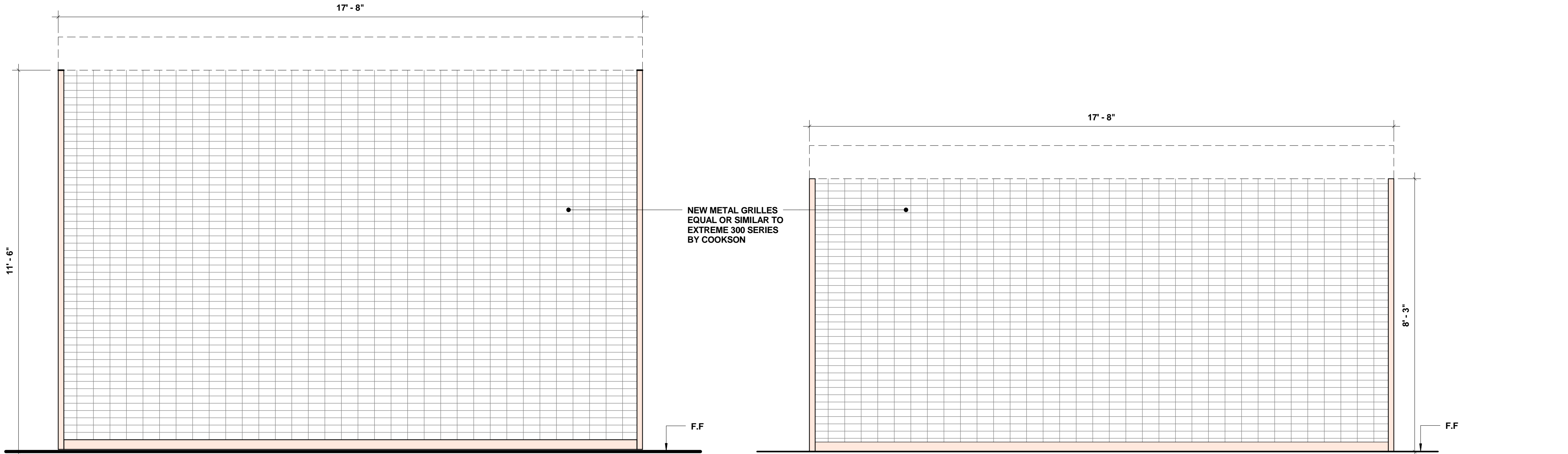
## DOOR AND WINDOW SCHEDULES

TITLE

# A600

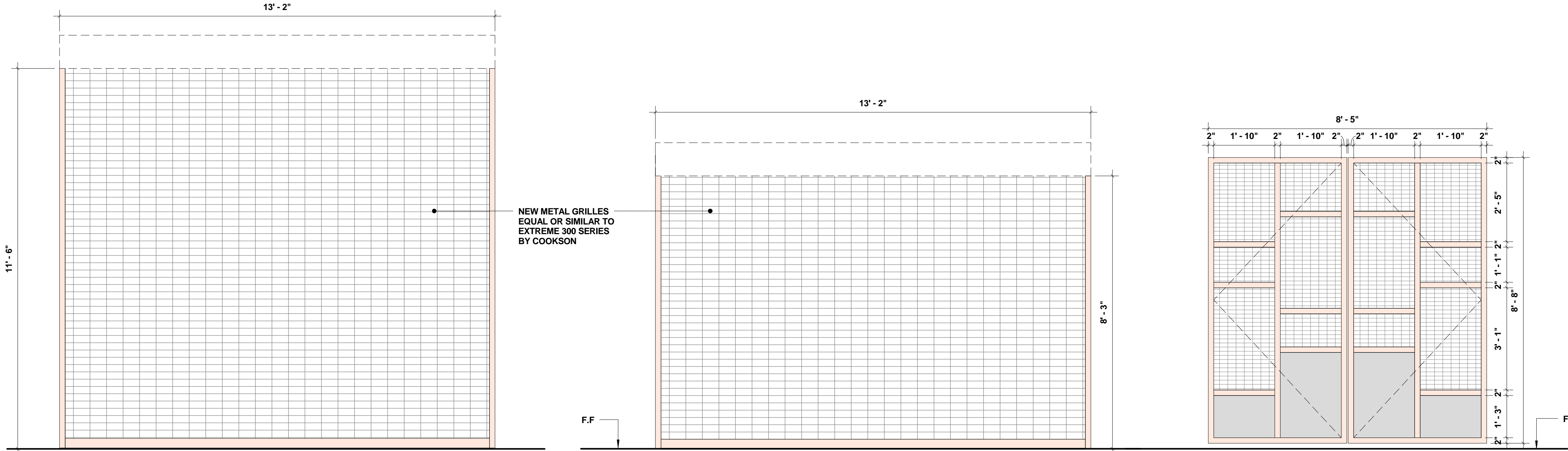
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① SECURITY GRILLE 1  
1/2" = 1'-0"

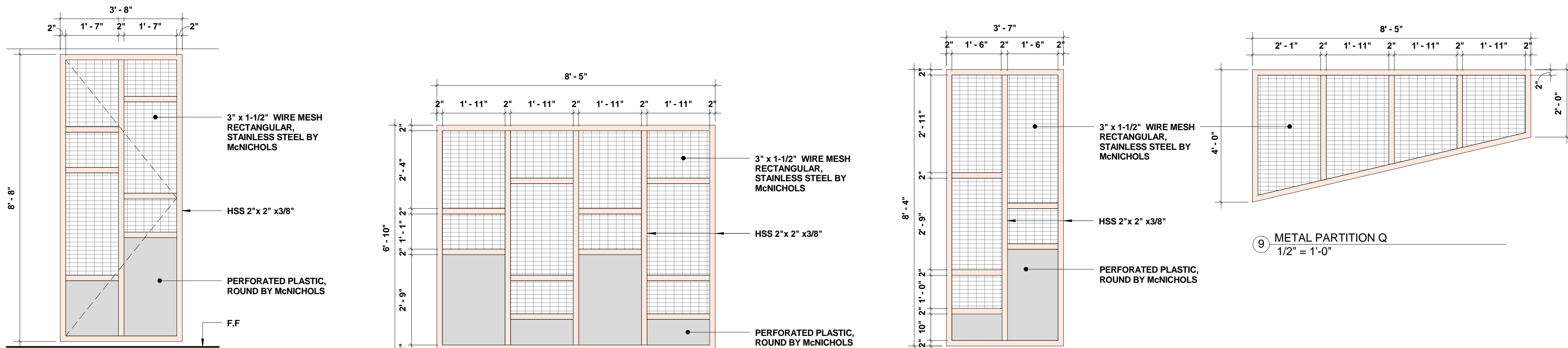
② SECURITY GRILLE 2  
1/2" = 1'-0"



③ SECURITY GRILLE 3  
1/2" = 1'-0"

④ SECURITY GRILLE 4  
1/2" = 1'-0"

⑤ METAL GATE 5  
1/2" = 1'-0"

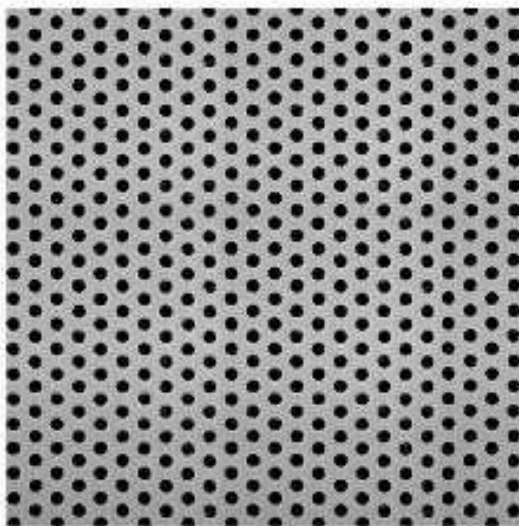


⑥ METAL GATE 6  
1/2" = 1'-0"

⑦ METAL PARTITION O  
1/2" = 1'-0"

⑧ METAL PARTITION P  
1/2" = 1'-0"

⑨ METAL PARTITION Q  
1/2" = 1'-0"



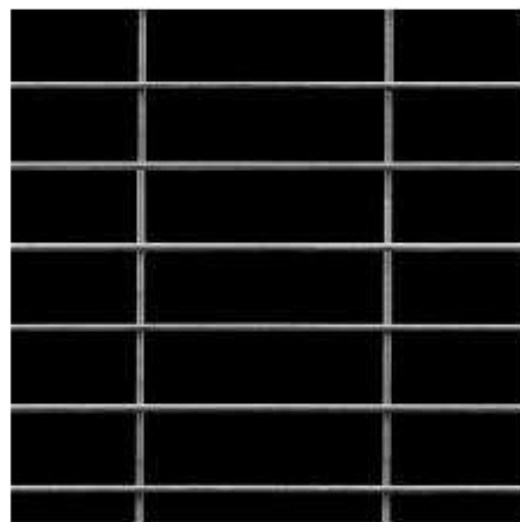
**McNICHOLS® Perforated Plastic**  
Round, PLASTIPERF™ 1133, Plastic, Polypropylene, 11 Gauge (.1196" Thick), 3/16" Round on 5/16" Staggered Centers, 33% Open Area, 48" x 96"

**McNICHOLS®** Perforated Plastic, Round, PLASTIPERF™ 1133, Plastic, Polypropylene, 11 Gauge (.1196" Thick), 3/16" Round on 5/16" Staggered Centers, 1/8" Bar Width, 11.95 Holes Per Square Inch (HPSI), Minimum Solid Margins Both Sides of Sheet Parallel to Length of Sheet, Holes Sheared Through Both Ends of Sheet Parallel to Width of Sheet, 33% Open Area

**ITEM** 1P31511148 - 48" x 96"

#### ITEM SPECIFICATIONS

Item Number	1P31511148
Product Line	Perforated Metal
Hole Type	Round
Series Name	PLASTIPERF™
Series Number	1133
Primary Material	Plastic (PL)
Alloy, Grade or Type	Polypropylene (POLY)
Material Finish	Mill Finish
Gauge/Thickness	11 Gauge (.1196" Thick)
Hole Pattern	3/16" Round on 5/16" Staggered Centers
Hole Size (Diameter)	3/16"
Hole Centers	5/16"
Bar Width	1/8"
Hole Arrangement	60° Staggered Centers
Holes Per Square Inch (HPSI)	11.95
Straight Rows Parallel to	Length of Sheet
Margins Parallel to Width	Sheared Through Both Ends
Margins Parallel to Length	Minimum Solid Both Sides
End Pattern	Sheared Through Both Ends
Percent Open Area	33%
Weight	0.39 Lbs./Square Foot



**McNICHOLS® Wire Mesh**  
Rectangular, Stainless Steel, Type 304, Welded - Untrimmed, 3" x 1-1/2" Mesh (Rectangular), 2.8800" x 1.3800" Opening (Rectangular), 0.120" Thick (11 Gauge) Wire Diameter, 73% Open Area, 36" x 100"

**McNICHOLS®** Wire Mesh, Rectangular, Stainless Steel, Type 304, Mill Finish, Welded - Untrimmed, 3" x 1-1/2" Mesh (Rectangular), 2.8800" x 1.3800" Opening (Rectangular), 0.120" Thick (11 Gauge) Wire Diameter, Long Way of Opening (LWO) Parallel to Width of Sheet, 73% Open Area

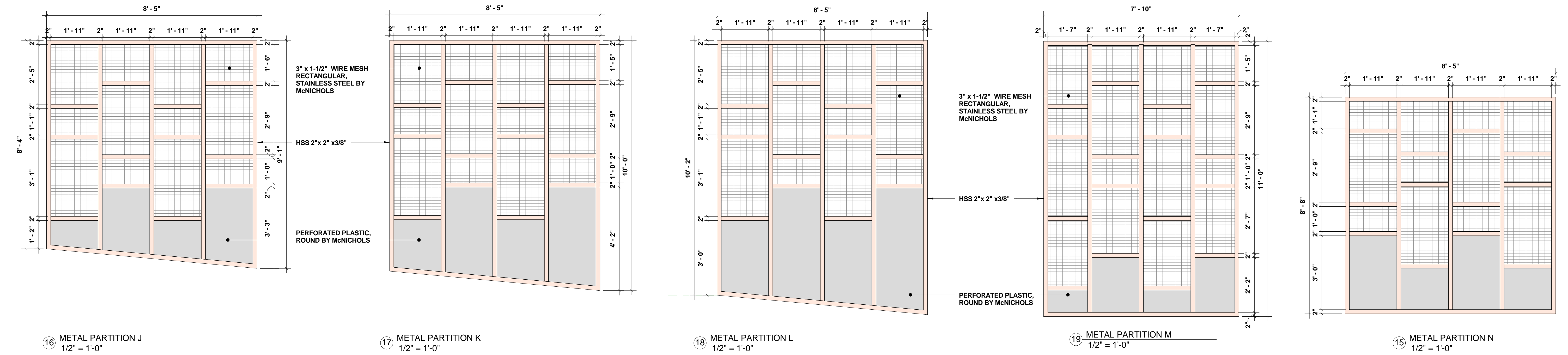
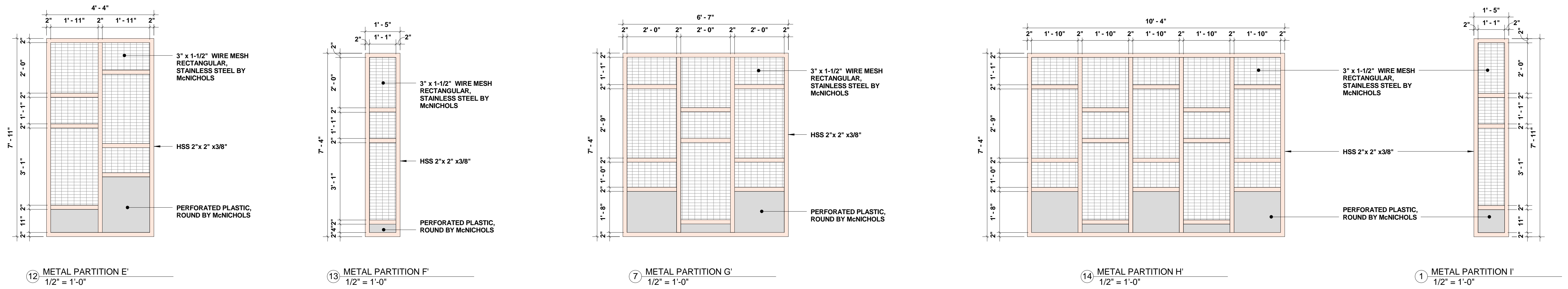
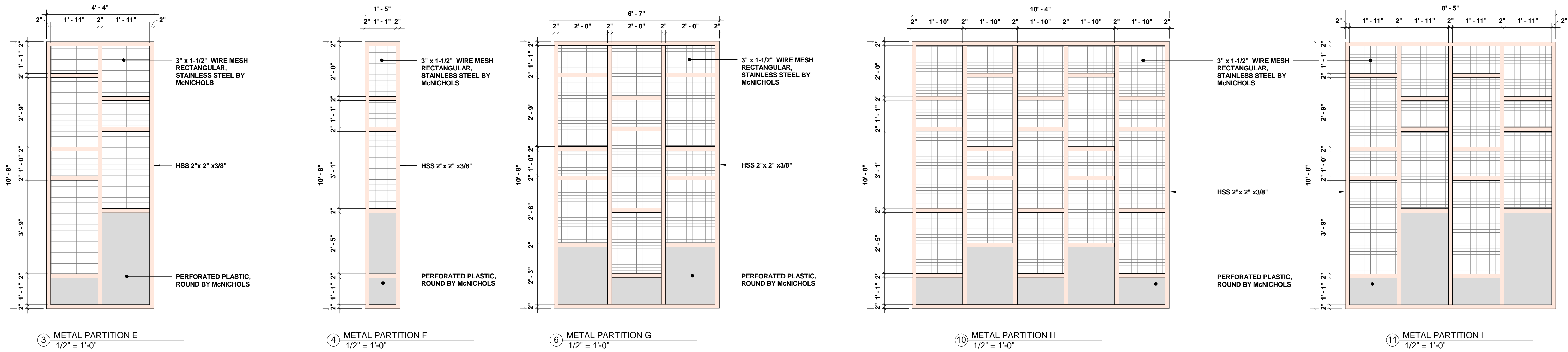
**ITEM** 383412003A - 36" x 100"

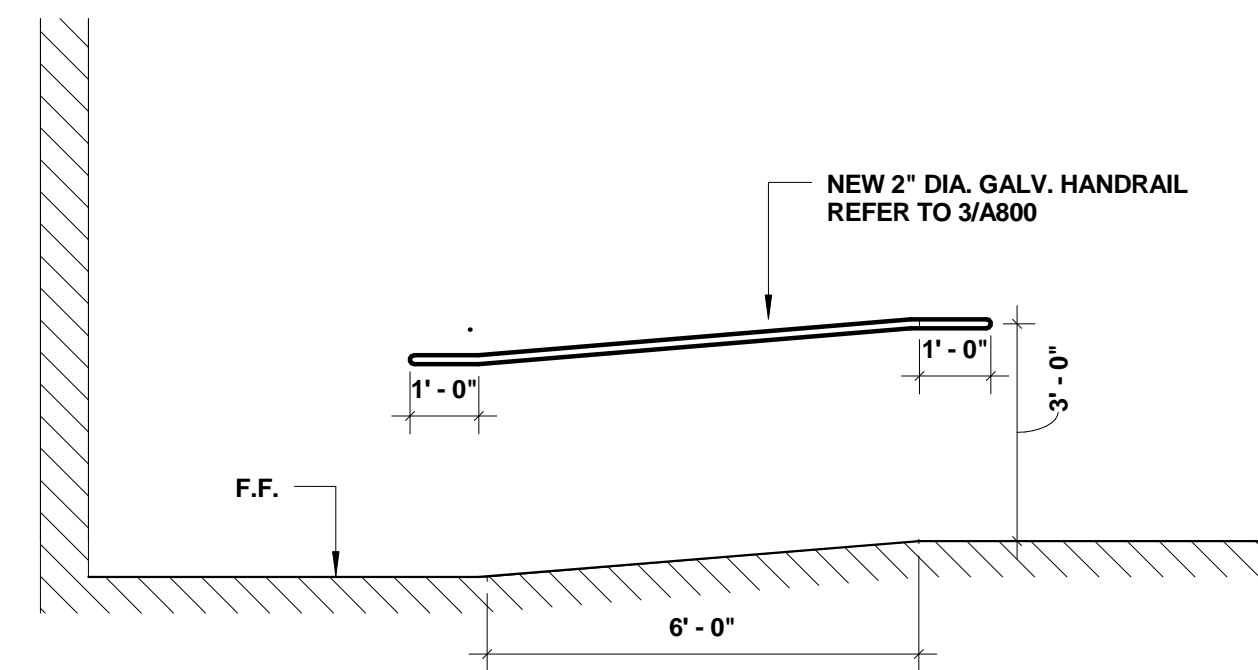
#### ITEM SPECIFICATIONS

Item Number	383412003A
Product Line	Wire Mesh
Mesh Type	Rectangular
Construction Type	Welded
Primary Material	Stainless Steel (SS)
Alloy, Grade or Type	Type 304 (304)
Material Finish	Mill Finish
Weave or Trim Type	Welded - Untrimmed
Mesh Size	3" x 1-1/2"
Opening Size	2.8800" x 1.3800"
Wire Diameter/Wire Gauge	0.120" Thick (11 Gauge)
Pitch Size	3.0000" x 1.5000"
Overall Thickness	0.240"
Long Way of Opening (LWO) Parallel to	Width of Sheet
Percent Open Area	73%
Weight	1.10 Lbs./Square Foot
Product Form	Sheet
Sizes (Width x Length)	36" x 100" (Cut Sizes Available)

REVISION / DATE / DESCRIPTION







NEW 2" DIA. GALV. HANDRAIL  
REFER TO 3/A800

3' - 7"

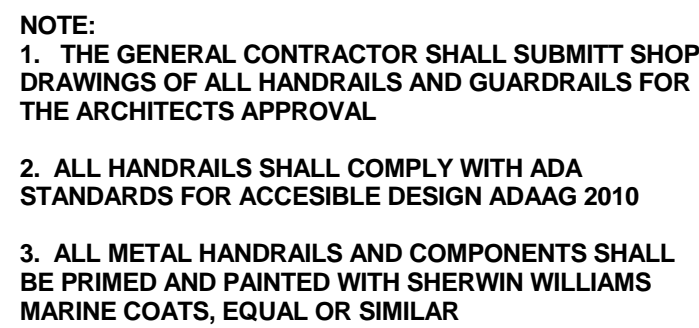
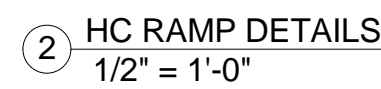
6' - 0"

5' - 0"

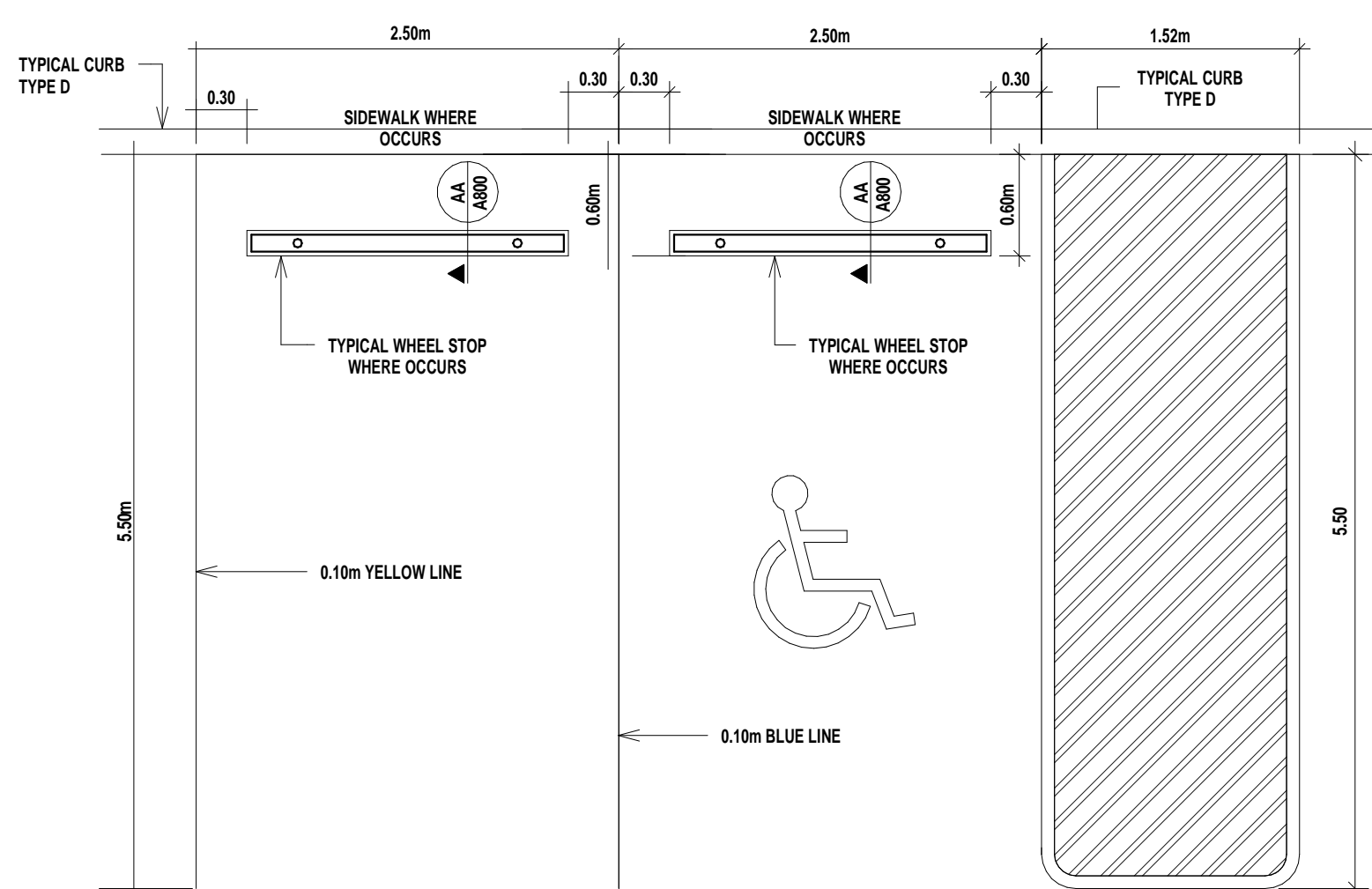
17' - 0"

6' - 0"

Technical drawing of a wheelchair accessible stall. The drawing shows a side view of the stall with a wheelchair icon inside. Dimensions are provided for the overall width (17' - 0"), the width of the wheelchair area (5' - 0"), and the width of the side panels (6' - 0" each). The height of the stall is 3' - 7". A callout indicates a NEW 2" DIA. GALV. HANDRAIL, REFER TO 3/A800.



### L SHAPED WALL MOUNTED HANDRAIL



CONCRETE WHEEL STOP TO BE ANCHORED TO CONCRETE SLAB WITH EPOXY FOR BONDING CONCRETE. THE SECOND LEVEL DECK SHALL NOT BE PERFORATED. WHEELSTOPS SHALL BE PAINTED WITH YELLOW THERMOPLASTIC TRAFFIC PAINT.

NOTE:

- 1- ALL METALS TO BE PAINTED  
COLOR TO BE SELECTED BY  
ARCHITECT.
- 2- ALL STEEL BAR TO BE WELDED  
ALL AROUND CONNECTIONS.



W-BEAM CRASH BARRIER AND BOLTS TO BE REPLACED

EXISTING POST TO REMAIN

1' - 3"

2' - 0"

EXISTING COLUMN

BLACK AND YELLOW RUBBER L-SHAPED CORNER GUARD- 3" TO BE INSTALLED IN COLUMN IN PARKING AREAS

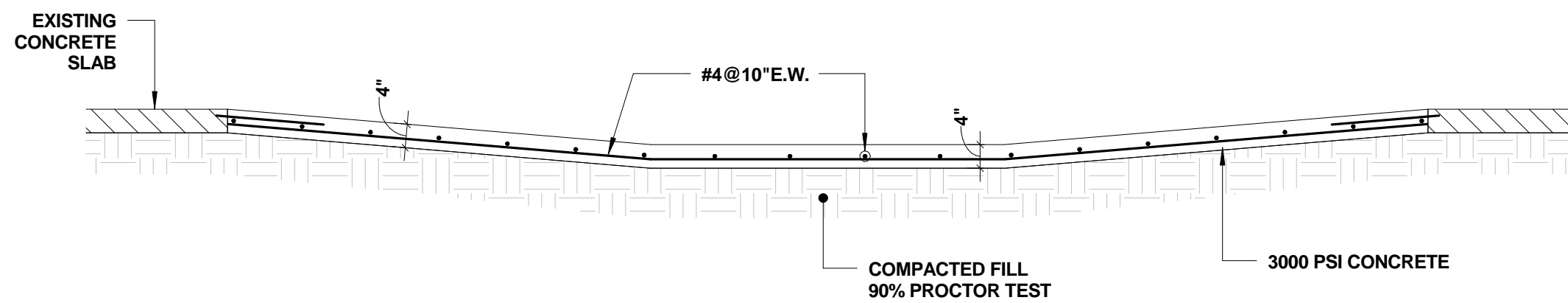
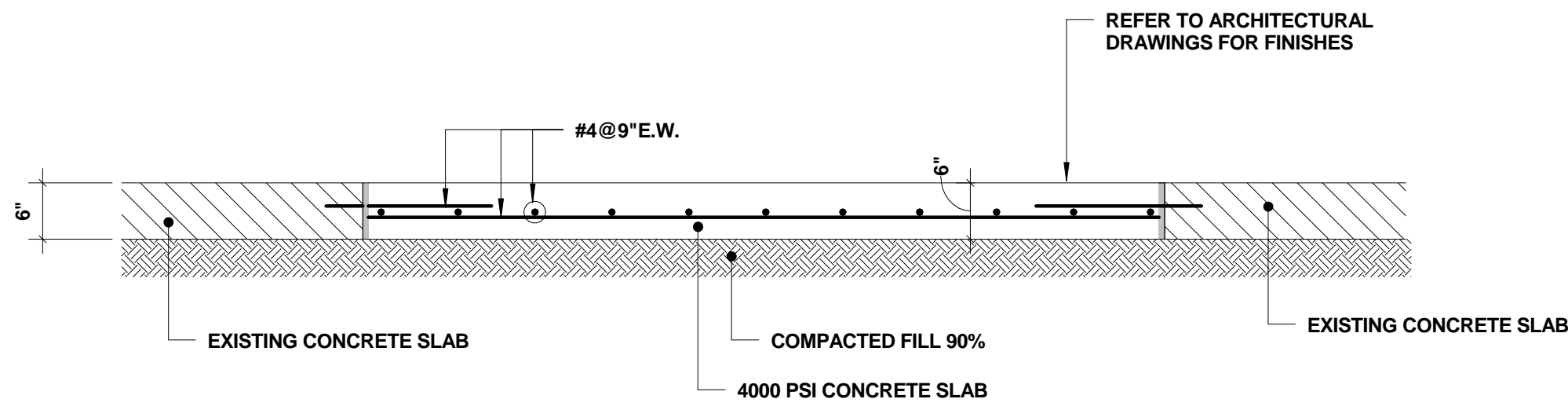
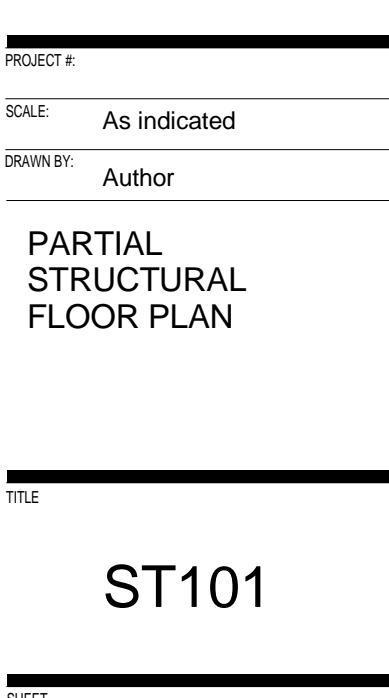
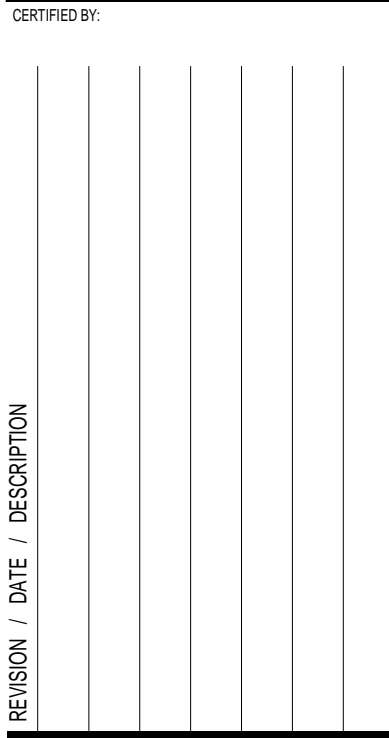
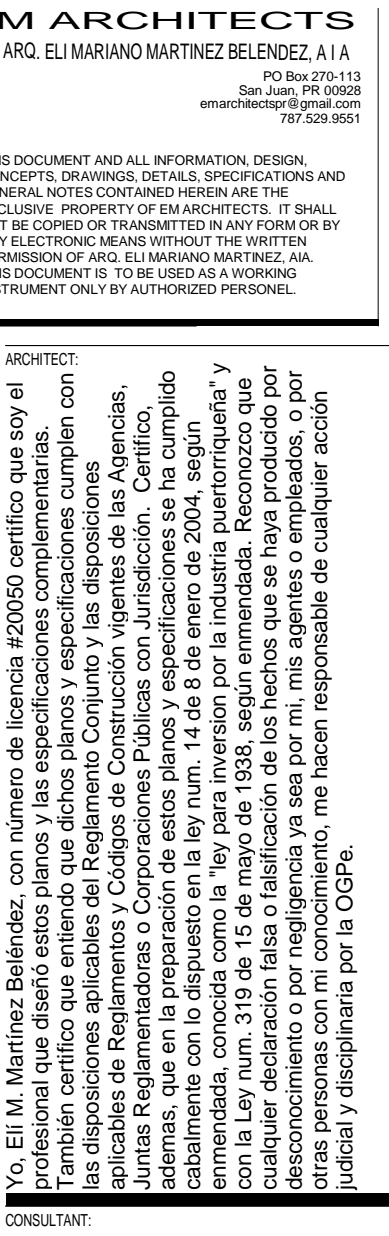
The diagram shows a square column with diagonal hatching, labeled 'EXISTING COLUMN'. A black L-shaped corner guard is shown at the top-left corner. A dimension line indicates the width of the guard is 1' - 3". Another dimension line indicates the height of the guard is 2' - 0". A text label points to the guard, stating 'BLACK AND YELLOW RUBBER L-SHAPED CORNER GUARD- 3" TO BE INSTALLED IN COLUMN IN PARKING AREAS'.

NOTE:  
CORNER GUARDS TO BE INSTALLED USING EPOXY OR OTHER ADHESIVE  
METHOD THAT DOES NOT INVOLVE PERFORATING OR DRILLING INTO  
THE EXISTING COLUMNS


8 PARKING CORNER GUARD  
3/4" = 1'-0"

[illegible]





A



WP  
H-J1

\_\_\_\_\_

---

- A.F.F. - ABOVE FINISH FLOOR.
- C - CIRCUIT
- G.F. - GROUND FAULT.
- WP - WATERPROOF.
- R.G.S. - RIGID GALVANIZED STEEL

UNLESS OTHERWISE INDICATED, ALL WIRES AND CABLES SHALL BE #12 AWG.

2- UP TO #10 AWG USE WIRE, ALL LARGER SIZES BE CABLE.

3- ALL WIRE SHALL BE 600 VOLTS INSULATION THWN-NUMBERED WIRES.

4- UNLESS OTHERWISE INDICATED, ALL WIRES AND CABLES SHALL BE COPPER.

5- PROVIDE GROUND WIRE IN ALL THE CONDUITS THAT ARE INDICATED TO BE PVC. SCHEDULE 40.

6- PROVIDE #12 AWG GREEN JUMPER BETWEEN RECEPTACLE GROUNDING SCREW AND OUTLET BOX GROUNDING SCREW.

7- UNLESS OTHERWISE INDICATED ALL CONDUITS SHALL BE EMT PER CEILING, FOR UNDERGROUND, CONCRETE SLAB, AND WALL CONDUIT USE PVC SCHEDULE 40.

8- UNLESS OTHERWISE INDICATED ALL CONDUITS SHALL BE 3/4" DIAMETER MINIMUM.

9- ALL UNDERGROUND CONDUIT COUPLINGS SHALL BE WATERTIGHT.

10- PROVIDE EXPANSION JOINT COUPLINGS OF THE REQUIRED TYPE AND SIZE WHENEVER A CONDUIT CROSSES AN EXPANSION JOINT.

11- PROVIDE CONDUIT PLASTIC DIVIDERS IN ALL UNDERGROUND CONDUIT RUNS. MAXIMUM DISTANCE BETWEEN DIVIDERS TO BE 4'-0".

12- CONTRACTOR MUST MAKE SURE THAT THE ENTIRE ELECTRICAL SYSTEM HAS GROUND CONTINUITY.

13- ALL THE ELECTRICAL INSTALLATION SHALL BE DONE IN A NEAT AND WORKMANLIKE MANNER, ACCORDING TO THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE, THE PUERTO RICO ELECTRICAL POWER AUTHORITY LATEST STANDARDS AND PUERTO RICO TELEPHONE COMPANY OR COMMUNICATIONS AUTHORITY LATEST PRACTICES.

14- ALL OUTLETS SHALL HAVE ITS OWN INDEPENDENT OUTLET BOX MINIMUM SIZE OF OUTLET BOX TO BE 4" SQUARE BY 1 1/2" DEEP EXACT SIZE OF OUTLET BOX TO BE DETERMINED ACCORDING TO THE MAXIMUM NUMBER OF CONDUCTORS IN THE BOX PER N.E.C. ARTICLE 314-SECTION 16A.

15- THE CONTRACTOR SHALL VISIT THE JOB SITE AND BECOME ACQUAINTED WITH THE EXISTING FIELD CONDITIONS. IF SHALL BE THE DIRECT RESPONSIBILITY OF THE CONTRACTOR TO BRING PROMPTLY TO THE ATTENTION OF THE ENGINEER ANY DISCREPANCIES BETWEEN THE EXISTING FIELD CONDITIONS AND THOSE THAT WERE USED FOR DESIGN PURPOSE. THIS SHALL BE DONE BEFORE THE CONTRACTOR SUBMITS HIS BID, SO THAT THE ENGINEER CAN RENDER A DECISION ON THE MATTER BEFORE THE BIDS ARE RECEIVED. THE SUBMITTAL OF THE BID BY THE CONTRACTOR WILL BE HELD AS PROOF THAT THE CONTRACTOR UNDERSTANDS THOROUGHLY AND COMPLETELY AS THE SCOPE THE WORK INVOLVED, HAS FAMILIARIZED HIMSELF WITH THE EXISTING FIELD CONDITIONS AND HAS INCLUDED ON HIS ALL THE NECESSARY ITEMS TO CARRY OUR THE ELECTRICAL WORK. NO ALLOWANCE WILL BE PERMITTED ON THIS MATTER AFTER THE BIDS ARE RECEIVED.

26- EXPANSION FITTINGS SHALL BE USED FOR EVERY CONDUIT CROSSING BUILDING EXPANSION JOINTS.

[illegible]

① LED	⑤ COMBINATION EMERGENCY AND EXIT LIGHT.
② WITH CADMIUM BATTERY POWER PACK.	⑥ PENDANT.
③ 9"–0" HEIGHT EXCEPT OTHERWISE INDICATED ON ELECTRICAL PLAN.	⑦ WITH WIRE GUARD.
④ THERMOPLASTIC HOUSING AND WET LOCATION.	⑧ INJECTION MOLDED & LED TYPE.

P.O. BOX 41179  
SAN JUAN P.R. 00940-1179  
notificacion@ogpe.pr.gov

1. THE LUMINAIRES WILL BE CONTROLLED (OFF-ON) FROM THE SAME POINTS (SWITCHES) THAT ARE CURRENTLY CONTROLLED, IN EACH OF THE ASSIGNED SPACES.
2. THE ELECTRICAL CIRCUIT ARE MAINTAINED IN THE SAME PANELS WHERE THEY WERE PREVIOUSLY.
3. ALL RECEPTACLES EXISTING TO REMAIN (EXCEPT OTHERWISE INDICATED).
4. USE BREAKER COMPATIBLE WITH EXISTING ELECTRICAL PANEL DISTRIBUTION.
5. THE GENERAL CONTRACTOR MUST AND CERTIFY THROUGH A LICENSED ELECTRICIAN THAT THE ELECTRICAL SYSTEM, EQUIPMENT AND ACCESSORIES COMPLY WITH THE LATEST EDITION OF THE N.E.C.
6. SUPPLY AND INSTALL A 30 AMPS OUTLET. 208 VOLTS, AND ONE OF 120 VOLTS, 20AMPS IN THE PUMP ROOM. (APPLY GENERAL NOTES DWG E-1).
7. USE 2W#10 THHN 90°-C& 1W #10 THHN GND IN 3/4"Ø PVC SCH 80. (APPLY IMPORTNAT NOTE No.6).
8. USE A 20A/1P, 120V, CIRCUIT BREAKER COMPATIBLE WITH THE EXISTING ELECTRICAL PANELBOARD, (FOR ITEM No.6).

ARQ. ELI MARIANO MARTINEZ BELENDEZ, AIA  
PO Box 270-11  
San Juan, PR 00922  
emarchitects@gmail.com  
787.529.9665

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ARCHITECT

CONSULTANT

CERTIFIED BY

REVISION / DATE / DESCRIPTION

PROJECT  
MEJORAS A ESTACIONAMIENTO MUNICIPAL

ENT  
MUNICIPIO DE NAGUABO

PROJECT #

SCALE: As indicated

DRAWN BY: Author

### ELECTRICAL LEGEND AND NOTE

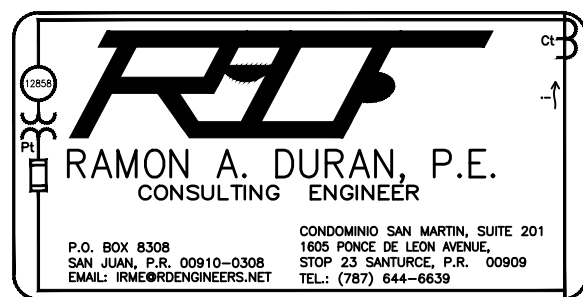
TITL

E-1

SHEET



DWG BY: RAMON DURAN  
LIC: 12858 P.E.

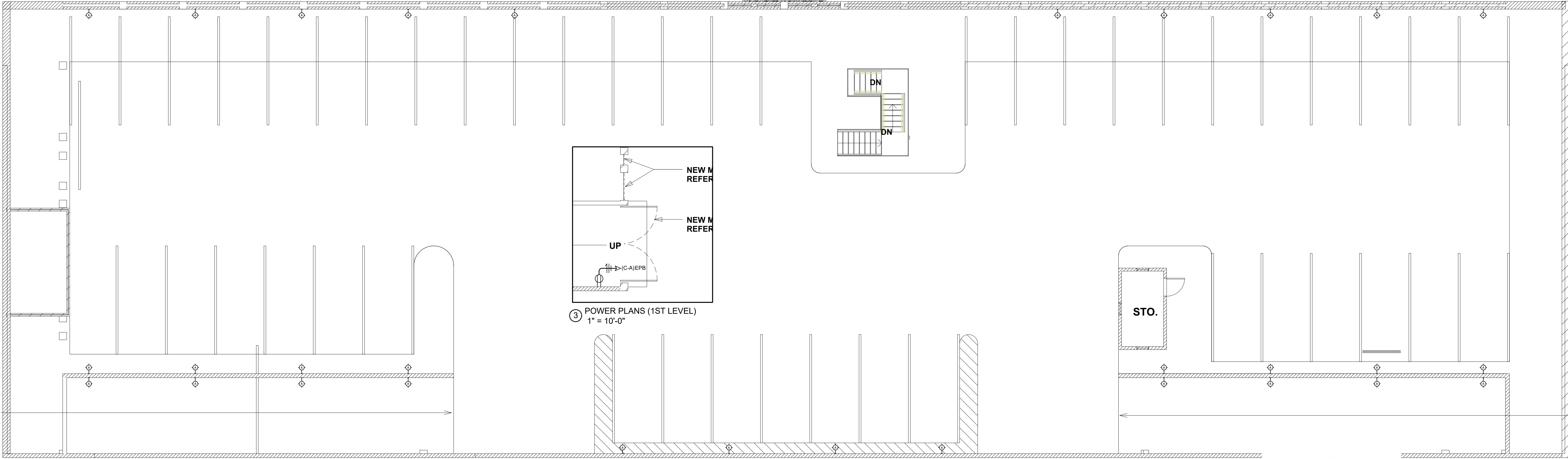


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① LIGHTING PLANS (1ST LEVEL)  
1" = 10'-0"

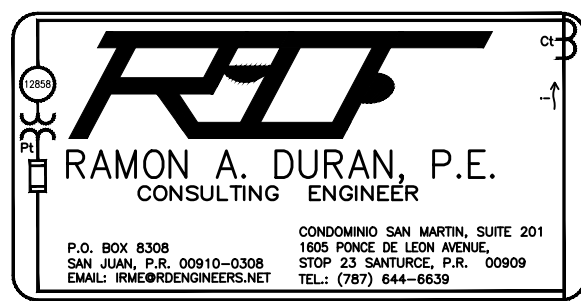


③ POWER PLANS (1ST LEVEL)  
1" = 10'-0"

### CERTIFICACION:

YO, RAMÓN A. DURAN FERNÁNDEZ, LIC.12858 P.E., CERTIFICO QUE SOY EL PROFESIONAL, QUE [DISEÑO ESTOS PLANOS Y LAS ESPECIFICACIONES COMPLEMENTARIAS. TAMBIÉN CERTIFICO QUE ENTIENDO QUE DICHS PLANOS Y ESPECIFICACIONES CUMPLEN CON LAS DISPOSICIONES APPLICABLES DEL REGLAMENTO CONJUNTO Y LAS DISPOSICIONES APPLICABLES DE LOS REGLAMENTOS Y CODIGOS DE CONSTRUCCION VIGENTES, JUNTAS REGLAMENTADORAS O CORPORACIONES PUBLICAS CON JURISDICCION. CERTIFICO, ADEMÁS, QUE EN LA PREPARACIÓN DE ESTOS PLANOS Y ESPECIFICACIONES SE HA CUMPLIDO CABALMENTE CON LO DISPUESTO EN LA LEY NÚM. 14 DE 6 DE ENERO DE 2004, SEGÚN ENMENDADA, CONOCIDA COMO LA "LEY PARA LA INVERSIÓN POR LA INDUSTRIA PUERTORRIQUEÑA" Y CON LA LEY NÚM. 319 DE 15 DE MAYO DE 1938, SEGÚN ENMENDADA; LA LEY NÚM.96 DE 6 JULIO DE 1978, SEGÚN ENMENDADA, SEGÚN APLIQUE]. RECONOZCO QUE CUALQUIER DECLARACIÓN FALSA O FALSIFICACIÓN DE LOS HECHOS QUE SE HAYA PRODUCIDO POR DESCONOCIMIENTO O POR NEGLIGENCIA YA SEA POR MÍ, MIS AGENTES O EMPLEADOS, O POR OTRAS PERSONAS CON MI CONOCIMIENTO, ME HACEN RESPONSABLE DE CUALQUIER ACCIÓN JUDICIAL Y DISCIPLINARIA POR LA OGPE.

OGPE: XXXX-XXXXXX-XXX-XXXXXX  
P.O. BOX 41179  
SAN JUAN P.R. 00940-1179  
notificacion@ogpe.pr.gov



### MEJORAS A ESTACIONAMIENTO MUNICIPAL

PROJECT #

SCALE

As indicated

DRAWN BY:

Author

TITLE

E-2

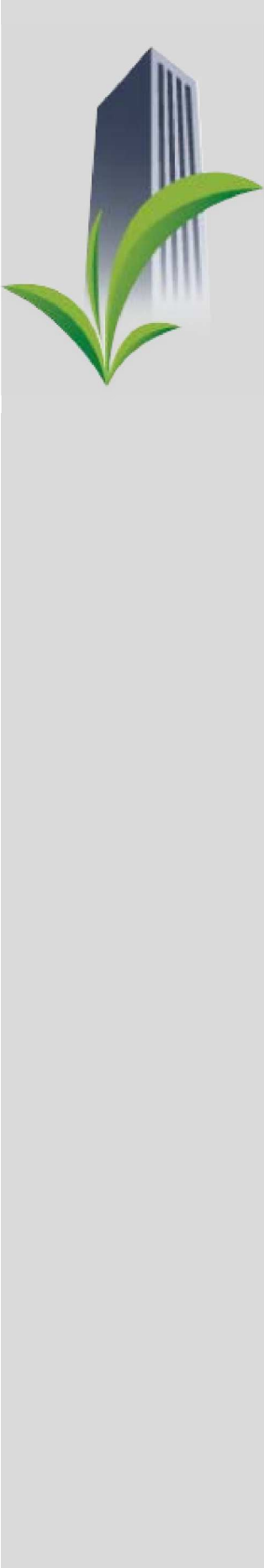
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ATTACHMENT 00  
LEAD BASED PAINT  
INSPECTION  
REPORT



# Lead Based Paint Inspection Report

Project:

Selective Areas of  
Municipal Parking Garage  
Naguabo, Puerto Rico



Client:

EM Arquitectos

***ZEM-22303***

January 2023

---

Prepared By:

*Zimmetry Environmental Management, Corp.*  
*www.zimmetry.com*  
*info@zimmetry.com*

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## SECTION 1: EXECUTIVE SUMMARY

---

### 1.1 INTRODUCTION

A Lead-Based Paint inspection was conducted on December 16, 2022 at Selective Areas of the Municipal Parking Garage of the municipality of Naguabo, Puerto Rico. Refer to *Appendix F: Improvement Plans* for specific project locations provided by the client. The lead-based paint inspection was performed to identify paint that contains lead above allowable levels and to assist with the compliance of local, state and federal regulations.

### 1.2 SUMMARY OF PROPERTY EVALUATION

The project consisted of the evaluation of selective areas of the aforementioned project (refer to *Appendix F: Improvement Plans* for specific project locations). The evaluation found that lead based paint was present in selective components and surfaces through the project on the date of the inspection. Table 1-1 identifies the components positive for lead. Table 2-1 identifies lead-based paint as defined by the U.S. Environmental Protection Agency (EPA) and the Department of Natural and Environmental Resources (DRNA) of Puerto Rico. For specific locations and additional detail on the location of lead- reference Sections 2 and 3.

### 1.3 PROPERTY LOCATIONS OF BUILDING COMPONENTS WITH LEAD-BASED PAINT

Table 1-1 summarizes the site components and surfaces coated with lead-based paint. Details that identify positive lead-based paint findings within specific areas and on surfaces were provided in the lead-based paint inspection report. The “substrate” is the building component material directly beneath the painted surface. Photographic documentation is for reference purposes and doesn't necessarily include all the surfaces with lead-based paint and/or components containing lead. The quantification of positives materials presented in this table is only an estimate. If an abatement of the materials will be conducted, the Contractors shall estimate the amount of materials to be abated.

If homogeneous materials that were not accounted for are identified in areas that are not describe in this report or inaccessible areas described in Section 2.3.3, they shall be managed as containing lead. If suspected components that could contain lead are encountered underneath current installed tiles or other construction material, they shall be managed as containing lead until the appropriate test is performed. Refer to Appendix E: Location of Positive Materials for specific location.

<b>Table 1-1: Summary of Components Containing Lead</b>				
<b>Level</b>	<b>Component</b>	<b>Color</b>	<b>Substrate</b>	<b>Approximate Amount</b>
1 <sup>st</sup> Level Areas	Floor Tiles	Cream	Ceramic	445 Ft <sup>2</sup>
	Baseboard	Cream	Ceramic	
	Curbs	Yellow	Concrete	1,314 Ft <sup>2</sup>
	Wheel Stops	Yellow	Concrete	15 Units

Note:

1. The quantification of positives materials presented in this table is only an estimate. If an abatement of the materials will be conducted, the Contractors shall estimate the amount of materials to be abated.

## SECTION 2: LEAD-BASED PAINT INSPECTION REPORT

---

### 2.1 OVERVIEW OF THE EVALUATION

This lead-based paint inspection was a selective investigation to identify all lead-based paint on a surface-by-surface basis (refer to *Appendix F: Improvement Plans* for specific project locations provided by the client). A lead-based paint inspection conforming to HUD guidelines was performed at the aforementioned project.

Averages of 70 samples were taken at identified surfaces of the evaluated areas using X-ray fluorescence (XRF) analyzer. The evaluation found that lead-based paint was present in selective components and surfaces through the project on the date of the assessment (See Table 1-1).

Some of the remaining XRF test locations exhibited lead-in-paint levels below the level that EPA identifies as lead-based paint, namely 1.0 mg/cm<sup>2</sup>. Such surfaces could create dust-lead or soil-lead hazards if the paint is turned into dust by abrasion, scraping, or sanding. Should these or any lead containing components or surfaces be disturbed in any manner that generates dust, care should be taken to limit its spread.

Testing was performed by Dilia Rosado, state-certified risk assessor LBPRA-20322-195, using the Niton XLP-300A XRF, SN-101222. The credentials are provided in Section 3, Appendix C: Certifications, Licenses, and Accreditations. The XRF analyzer is designed to measure the lead content of surface coatings on a variety of building surfaces, substrates, and components. The measurement is rapid and nondestructive and, according to the manufacturer, is capable of detecting lead concentrations that occur within numerous layers of various surface coatings.

Please refer to the XRF Testing Results Section 3, Appendix A: XRF Sampling Data for the detailed analytical testing results for each distinct area inspected. The reports provide a complete testing data.

### 2.2 SAMPLING PROCEDURE

The Lead Based Paint Sampling Procedure was design to evaluate and document all the data obtained form the inspection in a sequential method that provided confidence at the moment of the results presentation.

The survey was performed following the methodology established in the HUD Guidelines for the Evaluation and Control of Lead Based Paint in Housing (2012 revision) and the Department of Natural and Environmental Resources (DRNA) of Puerto Rico Regulation 9098: Regulation for Proper Management of Lead-Based Paint Activities. The surfaces evaluation was performed as follows:

- If the lead concentration measured by the XRF Spectrum Analyzer is less than 1.0 mg/cm<sup>2</sup> it is considered negative.

- If the lead concentration measured by the XRF Spectrum Analyzer is equal or greater than 1.0 mg/cm<sup>2</sup> it is considered positive.

To each functional space of the project a name was assigned according to the use of that space. If no name could be assigned then a code letter or number was assigned.

Each wall surface was named with letters beginning with wall A the wall facing the main entrance direction. The wall at your left will be wall B, the wall at front wall C and the wall at you right will be wall D.

## **2.3 RESULTS PRESENTATION**

This section describes the project components and surfaces coated with lead-based paint (LBP), which were observed in the inspection. Please note that the recommendations given are always the minimum action, which in our professional judgment should be taken.

According to the DRNA lead regulations, prior to the demolishing of a structure containing lead-based paint, the contaminated surfaces or substrates must be abated or removed. The firm providing the abatement services must be certified as an abatement firm by the DRNA.

### **2.3.1 SPECIFIC FINDINGS**

The following LBP were found to contain more than 1.0 mg/cm<sup>2</sup> for what Department of Natural and Environmental Resources (DRNA) of Puerto Rico identifies as lead-based paint or materials containing lead:

- |             |               |
|-------------|---------------|
| • Baseboard | • Floor Tiles |
| • Curbs     | • Wheel Stops |

### **2.3.2 HOMOGENEOUS AREAS WITH SPECIAL CONSIDERATIONS**

NONE

### **2.3.3 INACCESSIBLE AREAS PRESUMED TO BE LEAD-BASED PAINTED**

NONE

## **2.4 LEAD REGULATORY LEVELS**

The lead regulatory levels provided below are those used when preparing this lead-based paint evaluation or when evaluating data collected. The EPA regulatory levels are the same as the state regulatory levels provided in the following table.

<b>TABLE 2-1: LEAD REGULATORY LEVELS</b>	
	<b>EPA/DRNA Levels</b>
<b>Lead-Based Paint</b>	<b>1.0 mg/cm<sup>2</sup> or 0.5% by weight (or 5,000 ppm)</b>

## **2.5 CONDITIONS AND LIMITATIONS—DISCLAIMER**

Zimmetry Environmental Management Corp. has performed this lead-based paint inspection in a thorough and professional manner consistent with commonly accepted industry standards. The Preparer cannot guarantee and does not warrant that this evaluation has identified all adverse environmental factors and/or conditions affecting this project on the date of the evaluation.

The results reported and conclusions reached by the Preparer are solely for the benefit of the Owner. The results and opinions in this report, based solely on the conditions found at the project on the date of the evaluation, are valid only on that date. The Preparer assumes no obligation to advise the client of any changes in any real or potential lead-based paint hazards at this project beyond the date of the evaluation.

The lead inspection was performed to ready accessible components and surfaces. If suspected components that could contain lead are encountered underneath current installed tiles or other construction material, they shall be managed as containing lead until the appropriate test is performed.

## **2.6 ABATEMENT CONDITIONS**

Abatement, as defined by HUD and the Department of Natural and Environmental Resources (DRNA) of Puerto Rico, means any set of measures designed to eliminate lead-based paint and/or lead-based paint hazards permanently. The people providing these services must be trained in accordance with the DRNA licensing/certification requirements. The product manufacturer and/or contractor must warrant abatement methods to last a minimum of 20 years, or these methods must have a design life of at least 20 years.

- onsite or offsite removal of lead-based paint from substrates and components
- replacement of components or fixtures painted with lead-based paint
- permanent enclosure of lead-based paint with construction materials mechanically-fastened to the substrate
- encapsulation of lead-based paint with specially designed encapsulant products
- removal or permanent covering (concrete or asphalt) of soil-lead-based paint hazards

If enclosure or encapsulation is conducted as an abatement method, the lead-based paint remains on the property, so ongoing lead-based paint maintenance is required.

## **2.7 RECOMMENDATIONS**

According to the DRNA lead regulations, prior to the demolishing of a structure containing lead-based paint, the contaminated surfaces or substrates must be abated or removed. The waste generated has to be characterized to determine if the waste generated is hazardous or non-hazardous waste. The firm providing the abatement services must be certified as an abatement firm by the DRNA. Workers conducting abatement must be trained and certified as abatement workers by a training provider accredited by the DRNA.

## **2.8 ENVIRONMENTAL ASSESSMENT REPORT CERTIFICATION**

Zimmetry Environmental Management Corp. has performed this lead-based paint inspection in a thorough and professional manner consistent with commonly accepted industry standards. The inspection was conducted on December 16, 2022 by Dilia Rosado, state-certified risk assessor LBPRA-20322-195, qualified by experience, education and training in the recognition of lead-based paint and approved sampling techniques using the Niton XLP-300A XRF, SN-101222.



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Dilia Rosado, MEM  
Environmental Risk Assessor

### **SECTION 3: APPENDICES**

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**Appendix A: Certifications, Licenses, and Accreditations**

**Appendix B: XRF Sampling Data**

**Appendix C: XRF's Performance Characteristics Sheet**

**Appendix D: Photographic Record**

**Appendix E: Location of Positive Materials**

**Appendix F: Improvement Plans**

## APPENDIX A: CERTIFICATIONS, LICENSES, AND ACCREDITATIONS





## APPENDIX A: CERTIFICATIONS, LICENSES, AND ACCREDITATIONS



## **APPENDIX B: XRF SAMPLING DATA**

---

PROJECT:	Selective Areas of the Municipal Parking Garage, Naguabo, PR			CLIENT: EM Arquitect			
DATE:	12/16/2022			LBP Inspector: Dilia Rosado			
Sample ID.	Functional Space	Location	Color	Subst.	XRF Reading	Pos/Neg	Comments
1	Calibration				1.00		
2	Calibration				1.00		
3	Calibration				1.00		
4	Parking 1st Level	Gate	White	Metal	0.00	Negative	
5	Parking 1st Level	Gate	White	Metal	0.00	Negative	
6	Parking 1st Level	Window Casing	Brown	Metal	0.00	Negative	
7	Parking 1st Level	Door	Gray	Metal	0.13	Negative	
8	Parking 1st Level	Door Casing	Gray	Metal	0.13	Negative	
9	Parking 1st Level	Window Casing	Brown	Metal	0.00	Negative	
10	Parking 1st Level	Gate	White	Metal	0.00	Negative	
11	Parking 1st Level	Grille	White	Metal	0.00	Negative	
12	Parking 1st Level	Grille	White	Metal	0.00	Negative	
13	Parking 1st Level	Door	Brown	Metal	0.07	Negative	
14	Parking 1st Level	Door Casing	Brown	Metal	0.26	Negative	
15	Parking 1st Level	Wall A	Gray	Concrete	0.00	Negative	
16	Parking 1st Level	Wall B	Gray	Concrete	0.00	Negative	
17	Parking 1st Level	Wall C	Gray	Concrete	0.00	Negative	
18	Parking 1st Level	Wall D	Gray	Concrete	0.00	Negative	
19	Parking 1st Level	Door	Brown	Metal	0.11	Negative	
20	Parking 1st Level	Door Casing	Brown	Metal	0.15	Negative	
21	Parking 1st Level	Window Casing	Brown	Metal	0.00	Negative	
22	Parking 1st Level	Door	Black	Metal	0.05	Negative	
23	Parking 1st Level	Door Casing	Black	Metal	0.09	Negative	
24	Parking 1st Level	Door	Blue	Metal	0.00	Negative	
25	Parking 1st Level	Door Casing	Blue	Metal	0.00	Negative	
26	Parking 1st Level	Floor Tile	Cream	Ceramic	2.70	Positive	
27	Parking 1st Level	Baseboard	Cream	Ceramic	2.70	Positive	
28	Parking 1st Level	Curb	Yellow	Concrete	1.90	Positive	
29	Stairway	Handrail	White	Metal	0.00	Negative	
30	Stairway	Gate	White	Metal	0.00	Negative	
31	Parking 1st Level	Floor Line	Yellow	Concrete	0.00	Negative	
32	Parking 1st Level	Wheel Stop	Yellow	Concrete	2.50	Positive	
33	Parking 1st Level	Wheel Stop	Yellow	Concrete	2.50	Positive	
34	Parking 1st Level	Wheel Stop	Yellow	Concrete	2.50	Positive	
35	Parking 1st Level	Wheel Stop	Yellow	Concrete	2.50	Positive	
36	Parking 1st Level	Wheel Stop	Yellow	Concrete	2.50	Positive	
37	Parking 1st Level	Wheel Stop	Yellow	Concrete	2.50	Positive	
38	Parking 2nd Floor	Railing	White	Metal	0.00	Negative	
39	Parking 2nd Floor	Railing	White	Metal	0.01	Negative	
40	Parking 2nd Floor	Railing	White	Metal	0.01	Negative	
41	Parking 2nd Floor	Light	Black	Plastic	0.00	Negative	
42	Parking 2nd Floor	Light	Black	Plastic	0.00	Negative	
43	Parking 2nd Floor	Light	Black	Plastic	0.00	Negative	
44	Parking 2nd Floor	Light	Black	Plastic	0.00	Negative	
45	Parking 2nd Floor	Light	Black	Plastic	0.00	Negative	
46	Parking 2nd Floor	Curb	Yellow	Concrete	0.11	Negative	
47	Parking 2nd Floor	Curb	Yellow	Concrete	0.00	Negative	
48	Parking 2nd Floor	Curb	Yellow	Concrete	0.03	Negative	
49	Parking 2nd Floor	Door	Cream	Metal	0.00	Negative	
50	Parking 2nd Floor	Door Casing	Cream	Metal	0.00	Negative	
51	Parking 2nd Floor	Window Casing	Cream	Metal	0.00	Negative	
52	Parking 2nd Floor	Rack	Cream	Metal	0.00	Negative	
53	Parking 2nd Floor	Rack	Cream	Metal	0.00	Negative	
54	Parking 2nd Floor	Rack	Cream	Metal	0.00	Negative	
55	Parking 2nd Floor	Base	Cream	Concrete	0.01	Negative	
56	Parking 2nd Floor	Base	Cream	Concrete	0.01	Negative	
57	Parking 2nd Floor	Base	Cream	Concrete	0.01	Negative	
58	Parking 2nd Floor	Base	Cream	Concrete	0.01	Negative	
59	Parking 2nd Floor	Wall A	Cream	Concrete	0.01	Negative	
60	Parking 2nd Floor	Wall B	Cream	Concrete	0.00	Negative	

[illegible]

## APPENDIX C: XRF's PERFORMANCE CHARACTERISTICS SHEET

---

## Performance Characteristic Sheet

EFFECTIVE DATE: September 24, 2004

EDITION NO.: 1

### MANUFACTURER AND MODEL:

Make: Niton LLC

Tested Model: XLp 300

Source:  $^{109}\text{Cd}$ 

Note: This PCS is also applicable to the equivalent model variations indicated below, for the Lead-in-Paint K+L variable reading time mode, in the XLi and XLp series:

XLi 300A, XLi 301A, XLi 302A and XLi 303A.

XLp 300A, XLp 301A, XLp 302A and XLp 303A.

XLi 700A, XLi 701A, XLi 702A and XLi 703A.

XLp 700A, XLp 701A, XLp 702A, and XLp 703A.

Note: The XLi and XLp versions refer to the shape of the handle part of the instrument. The differences in the model numbers reflect other modes available, in addition to Lead-in-Paint modes. The manufacturer states that specifications for these instruments are identical for the source, detector, and detector electronics relative to the Lead-in-Paint mode.

## FIELD OPERATION GUIDANCE

### OPERATING PARAMETERS:

Lead-in-Paint K+L variable reading time mode.

### XRF CALIBRATION CHECK LIMITS:

0.8 to 1.2 mg/cm<sup>2</sup> (inclusive)

The calibration of the XRF instrument should be checked using the paint film nearest 1.0 mg/cm<sup>2</sup> in the NIST Standard Reference Material (SRM) used (e.g., for NIST SRM 2579, use the 1.02 mg/cm<sup>2</sup> film).

If readings are outside the acceptable calibration check range, follow the manufacturer's instructions to bring the instruments into control before XRF testing proceeds.

### SUBSTRATE CORRECTION:

For XRF results using Lead-in-Paint K+L variable reading time mode, substrate correction is not needed for:

Brick, Concrete, Drywall, Metal, Plaster, and Wood

### INCONCLUSIVE RANGE OR THRESHOLD:

K+L MODE READING DESCRIPTION	SUBSTRATE	THRESHOLD (mg/cm <sup>2</sup> )
Results not corrected for substrate bias on any substrate	Brick	1.0
	Concrete	1.0
	Drywall	1.0
	Metal	1.0
	Plaster	1.0
	Wood	1.0

## BACKGROUND INFORMATION

### EVALUATION DATA SOURCE AND DATE:

This sheet is supplemental information to be used in conjunction with Chapter 7 of the HUD *Guidelines for the Evaluation and Control of Lead-Based Paint Hazards in Housing* ("HUD Guidelines"). Performance parameters shown on this sheet are calculated from the EPA/HUD evaluation using archived building components. Testing was conducted in August 2004 on 133 testing combinations. The instruments that were used to perform the testing had new sources; one instrument's was installed in November 2003 with 40 mCi initial strength, and the other's was installed June 2004 with 40 mCi initial strength.

### OPERATING PARAMETERS:

Performance parameters shown in this sheet are applicable only when properly operating the instrument using the manufacturer's instructions and procedures described in Chapter 7 of the HUD Guidelines.

### SUBSTRATE CORRECTION VALUE COMPUTATION:

Substrate correction is not needed for brick, concrete, drywall, metal, plaster or wood when using Lead-in-Paint K+L variable reading time mode, the normal operating mode for these instruments. If substrate correction is desired, refer to Chapter 7 of the HUD Guidelines for guidance on correcting XRF results for substrate bias.

### EVALUATING THE QUALITY OF XRF TESTING:

Randomly select ten testing combinations for retesting from each house or from two randomly selected units in multifamily housing. Use the K+L variable time mode readings.

Conduct XRF retesting at the ten testing combinations selected for retesting.

Determine if the XRF testing in the units or house passed or failed the test by applying the steps below.

Compute the Retest Tolerance Limit by the following steps:

Determine XRF results for the original and retest XRF readings. Do not correct the original or retest results for substrate bias. In single-family housing a result is defined as the average of three readings. In multifamily housing, a result is a single reading. Therefore, there will be ten original and ten retest XRF results for each house or for the two selected units.

Calculate the average of the original XRF result and retest XRF result for each testing combination.

Square the average for each testing combination.

Add the ten squared averages together. Call this quantity C.

Multiply the number C by 0.0072. Call this quantity D.

Add the number 0.032 to D. Call this quantity E.

Take the square root of E. Call this quantity F.

Multiply F by 1.645. The result is the Retest Tolerance Limit.

Compute the average of all ten original XRF results.

Compute the average of all ten re-test XRF results.

Find the absolute difference of the two averages.

If the difference is less than the Retest Tolerance Limit, the inspection has passed the retest. If the difference of the overall averages equals or exceeds the Retest Tolerance Limit, this procedure should be repeated with ten new testing combinations. If the difference of the overall averages is equal to or greater than the Retest Tolerance Limit a second time, then the inspection should be considered deficient.

Use of this procedure is estimated to produce a spurious result approximately 1% of the time. That is, results of this procedure will call for further examination when no examination is warranted in approximately 1 out of 100 dwelling units tested.

#### TESTING TIMES:

For the Lead-in-Paint K+L variable reading time mode, the instrument continues to read until it is moved away from the testing surface, terminated by the user, or the instrument software indicates the reading is complete. The following table provides testing time information for this testing mode. The times have been adjusted for source decay, normalized to the initial source strengths as noted above. Source strength and type of substrate will affect actual testing times. At the time of testing, the instruments had source strengths of 26.6 and 36.6 mCi.

Testing Times Using K+L Reading Mode (Seconds)						
	All Data			Median for laboratory-measured lead levels (mg/cm <sup>2</sup> )		
Substrate	25 <sup>th</sup> Percentile	Median	75 <sup>th</sup> Percentile	Pb < 0.25	0.25 ≤ Pb < 1.0	1.0 ≤ Pb
Wood Drywall	4	11	19	11	15	11
Metal	4	12	18	9	12	14
Brick Concrete Plaster	8	16	22	15	18	16

#### CLASSIFICATION RESULTS:

XRF results are classified as positive if they are greater than or equal to the threshold, and negative if they are less than the threshold.

#### DOCUMENTATION:

A document titled *Methodology for XRF Performance Characteristic Sheets* provides an explanation of the statistical methodology used to construct the data in the sheets, and provides empirical results from using the recommended inconclusive ranges or thresholds for specific XRF instruments. For a copy of this document call the National Lead Information Center Clearinghouse at 1-800-424-LEAD.

This XRF Performance Characteristic Sheet was developed by the Midwest Research Institute (MRI) and QuanTech, Inc., under a contract between MRI and the XRF manufacturer. HUD has determined that the information provided here is acceptable when used as guidance in conjunction with Chapter 7, Lead-Based Paint Inspection, of HUD's *Guidelines for the Evaluation and Control of Lead-Based Paint Hazards in Housing*.



## APPENDIX D: PHOTOGRAPHIC RECORD

<b>Photo No.</b> 6388	<b>Date:</b> 12/16/2022	
<b>Description:</b>  <b>1<sup>st</sup> Level Area</b> Lead containing ceramic floor tiles and baseboard.		 A photograph showing a large area of light-colored square ceramic floor tiles in a parking garage. A white pillar is visible on the right side, and a small blue vehicle is parked in the background.
<b>Photo No.</b> 6389	<b>Date:</b> 12/16/2022	
<b>Description:</b>  <b>1<sup>st</sup> Level Area</b> Lead containing ceramic floor tiles.		 A photograph showing a tiled floor area adjacent to a metal gate with vertical bars. The floor consists of light-colored square tiles, and there is some greenery visible on the right side.

Photographic Documentation is for reference purposes and doesn't necessarily include all the surfaces with lead based paint and/or components containing lead.

## APPENDIX D: PHOTOGRAPHIC RECORD

<b>Photo No.</b> 6390	<b>Date:</b> 12/16/2022	
<b>Description:</b>  <b>1<sup>st</sup> Level Area</b> Lead-based painted concrete curbs.		
<b>Photo No.</b> 6391	<b>Date:</b> 12/16/2022	
<b>Description:</b>  <b>1<sup>st</sup> Level Area</b> Lead-based painted concrete curbs.		

Photographic Documentation is for reference purposes and doesn't necessarily include all the surfaces with lead based paint and/or components containing lead.

## APPENDIX D: PHOTOGRAPHIC RECORD

Photo No.	Date:	
6392	12/16/2022	
<b>Description:</b>  <b>1<sup>st</sup> Level Area</b> Lead-based painted concrete wheel stops.		

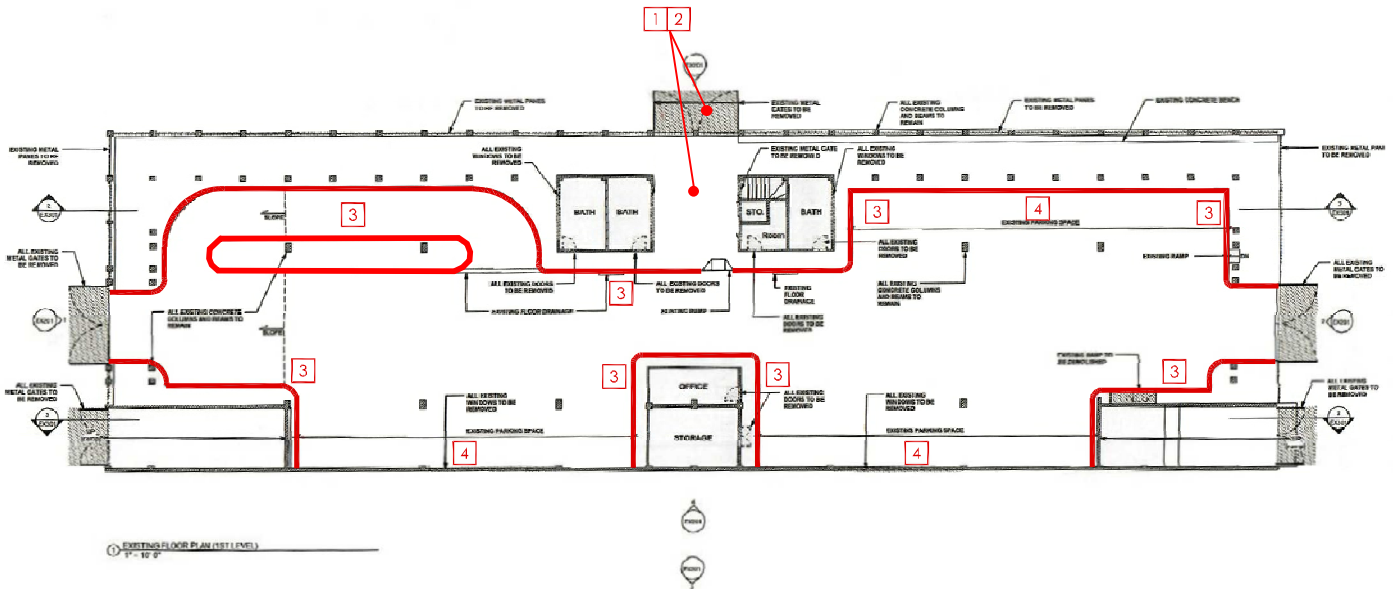
Photographic Documentation is for reference purposes and doesn't necessarily include all the surfaces with lead based paint and/or components containing lead.



## **APPENDIX E: LOCATION OF POSITIVE MATERIALS**

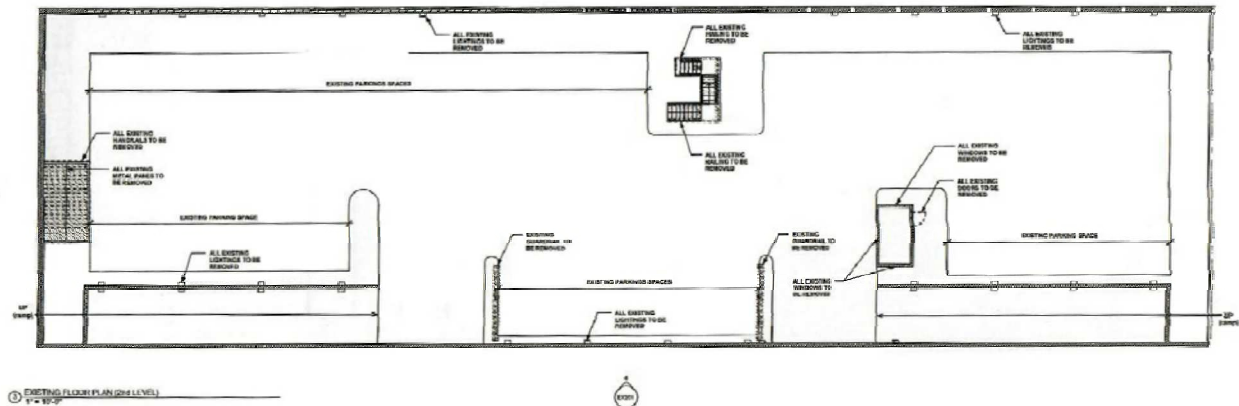
---

B



A

C



## Graphic Legend:

— Concrete Curb

D

## Lead Based Paint Legend:

- 1 Floor Tiles
- 2 Baseboard
- 3 Concrete Curb
- 4 Wheel Stop

## NOTE:

The layout of materials shown in this figure is for illustrative purposes only. For actual location and quantity of materials refer to the Lead Based Paint survey report dated January 2023.

**Zimmetry Environmental**  
Environmental Building Inspectors

Indoor Environmental Quality / Mold Assessments, Asbestos,  
Lead Based Paint Consulting – Phone – Fax (787) 995-0005

Project: Selective areas of Municipal Parking Garage Naguabo, PR

Date: January 2023

Project No: ZEM-22303

## **APPENDIX F: IMPROVEMENT PLANS**

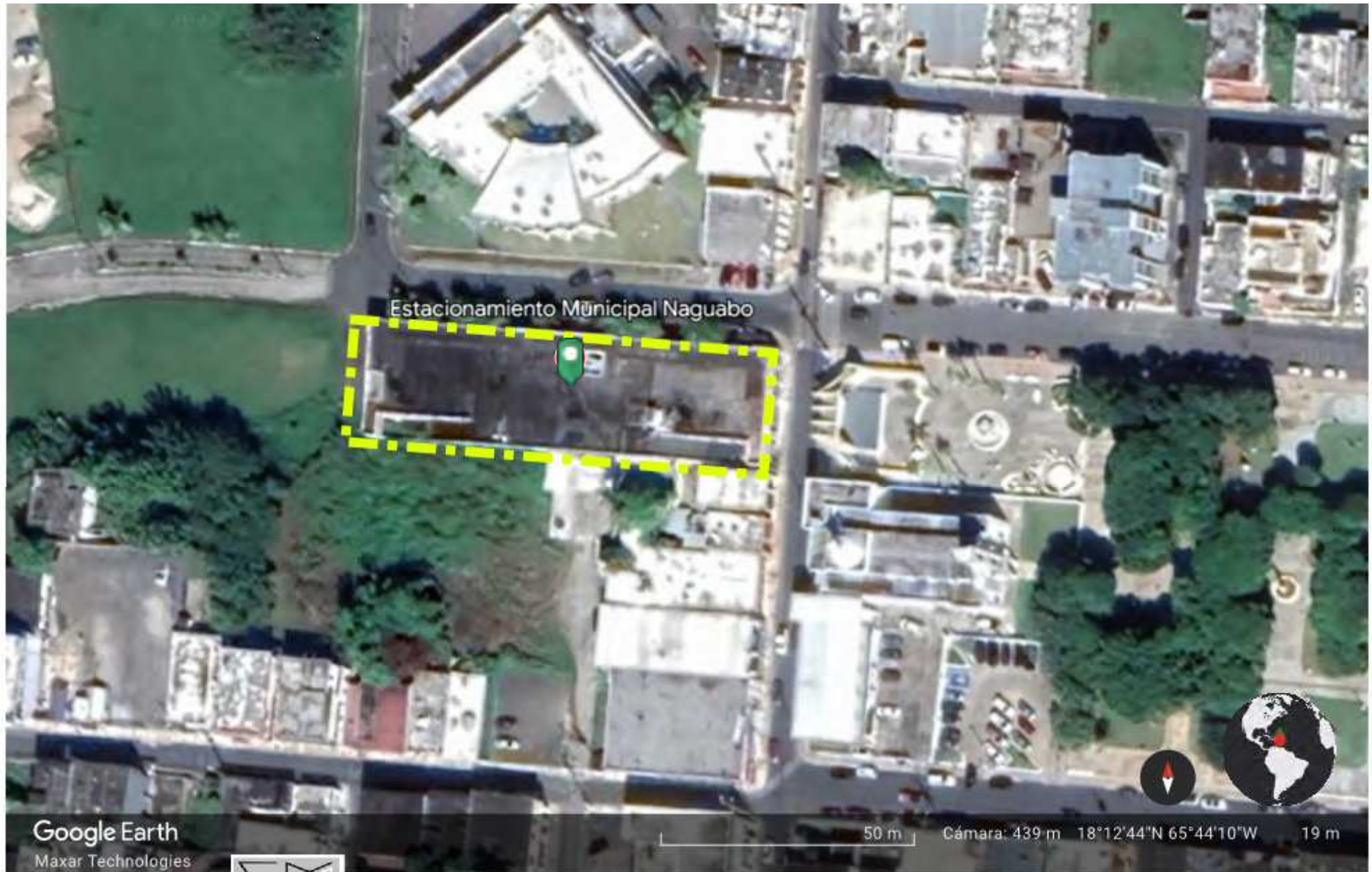
---

③ EXISTING FLOOR PLAN (2nd LEVEL)  
1" = 10'-0"

ATTACHMENT A  
LOCATION MAP



## LOCATION MAP



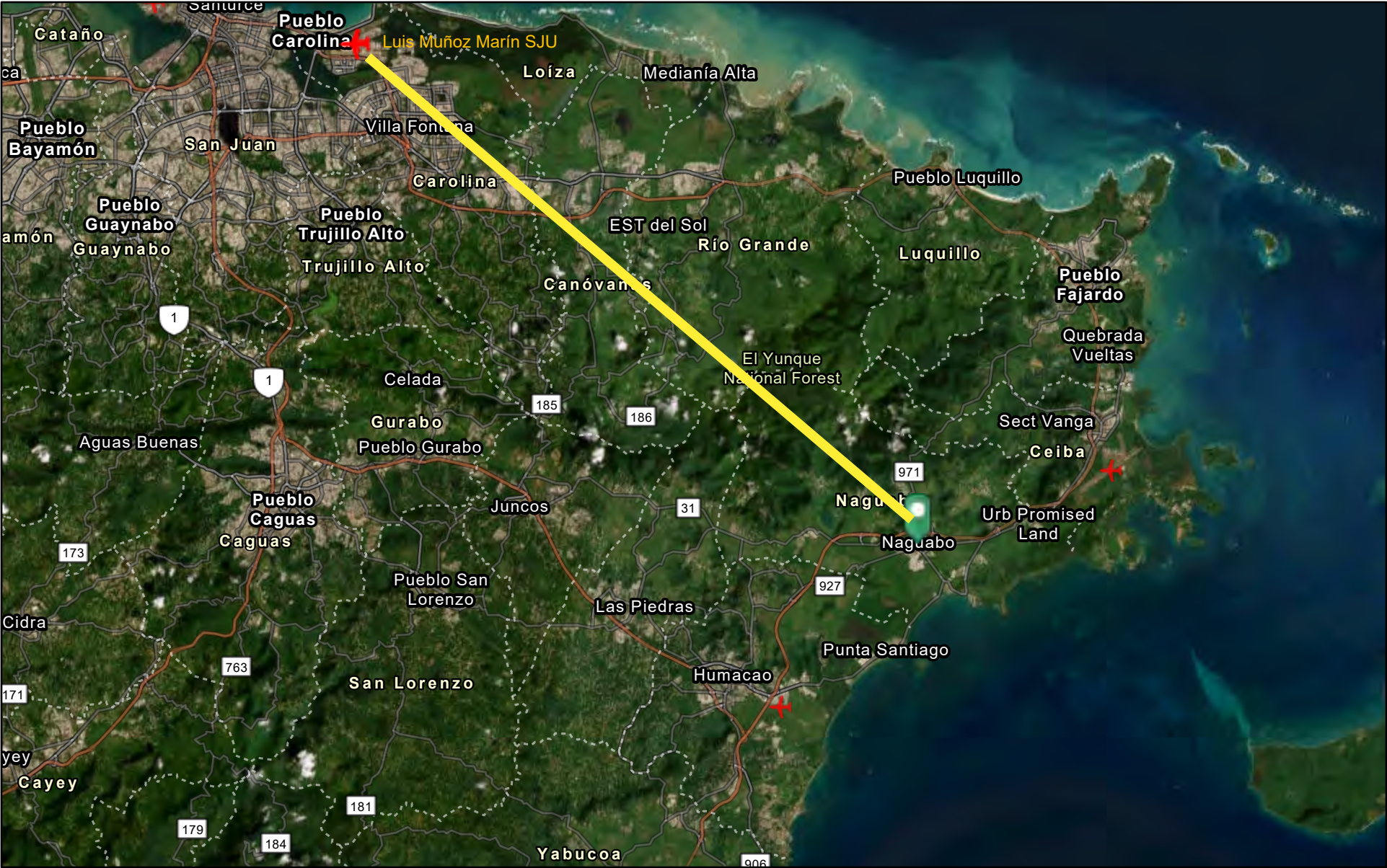
ATTACHMENT B

**Airport Hazards**


24 CFR Part 51 Subpart D



# PR-CRP-001011 Airports Hazards

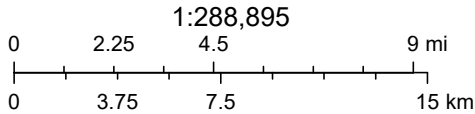


May 23, 2023

 **Airport Points** Luis Muñoz Marín (SJU) is located within 124,450 feet



Project PR-CRP-001011



Earthstar Geographics, Esri, HERE, Garmin, Foursquare, SafeGraph, METI/  
NASA, USGS, NPS, EPA OEI

## ATTACHMENT C

### **Coastal Barrier Resources**

Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 [16 USC  
3501]





# U.S. Fish and Wildlife Service Coastal Barrier Resources System

Mejoras al Estacionamiento Público del Municipio de Naguabo  
PR- CRP-001011 Lat: 18.21237734, Lon: -65.73643706



May 29, 2023 PR CRP 001011

CBRS Buffer Zone

System Unit

## CBRS Units

Otherwise Protected Area



Lat: 18.21237734, Lon: -65.73643706



This map is for general reference only. The Coastal Barrier Resources System (CBRS) boundaries depicted on this map are representations of the controlling CBRS boundaries, which are shown on the official maps, accessible at <https://www.fws.gov/library/collections/official-coastal-barrier-resources-system-maps>. All CBRS related data should be used in accordance with the layer metadata found on the CBRS Mapper website.

The CBRS Buffer Zone represents the area immediately adjacent to the CBRS boundary where users are advised to contact the Service for an official determination (<https://www.fws.gov/service/coastal-barrier-resources-system-property-documentation>) as to whether the property or project site is located "in" or "out" of the CBRS.

CBRS Units normally extend seaward out to the 20- or 30-foot bathymetric contour (depending on the location of the unit). The true seaward

This page was produced by the CBRS Mapper



## Coastal Barrier Resources System Mapper Documentation



### CBRS Units

- |                          |                       |
|--------------------------|-----------------------|
| Otherwise Protected Area | CBRS Buffer Zone      |
| System Unit              | -65.736411, 18.212401 |

0 30 60 120 180 ft

1:2,257

The pin location displayed on the map is a point selected by the user. Failure of the user to ensure that the pin location displayed on this map correctly corresponds with the user supplied address/location description below may result in an invalid federal flood insurance policy. **The U.S. Fish and Wildlife Service (Service) has not validated the pin location with respect to the user supplied address/location description below. The Service recommends that all pin locations be verified by federal agencies prior to use of this map for the provision or denial of federal funding or financial assistance.** Please note that a structure bisected by the Coastal Barrier Resources System (CBRS) boundary (i.e., both "partially in" and "partially out") is within the CBRS and therefore affected by CBRA's restrictions on federal flood insurance. A pin placed on a bisected structure must be placed on the portion of the structure within the unit (including any attached features such as a deck or stairs).

**User Name:** PR-CRP-1011

**User Organization:** Estacionamiento Municipal

**User Supplied Address/Location Description:** Naguabo PR

**Pin Location:** Outside CBRS

**Pin Flood Insurance Prohibition Date:** N/A

**Pin System Unit Establishment Date:** N/A

The user placed pin location is not within the CBRS. For the nearest official CBRS map depicting this area, please see the map numbered 72-006A, dated 11/15/2016. The official CBRS maps are accessible at <https://www.fws.gov/library/collections/official-coastal-barrier-resources-system-maps>.

The CBRS information is derived directly from the CBRS web service provided by the Service. This map was exported on 5/29/2023 and does not reflect changes or amendments subsequent to this date. The CBRS boundaries on this map may become superseded by new boundaries over time.

This map image may be void if one or more of the following map elements do not appear: basemap imagery, CBRS unit labels, prohibition date labels, legend, scale bar, map creation date. For additional information about flood insurance and the CBRS, visit: <https://www.fws.gov/node/263838>.



## ATTACHMENT D

### **Flood Insurance**

Flood Disaster Protection Act of 1973 and National Flood Insurance Reform Act of 1994 [42 USC 4001-4128 and 42 USC 5154a]

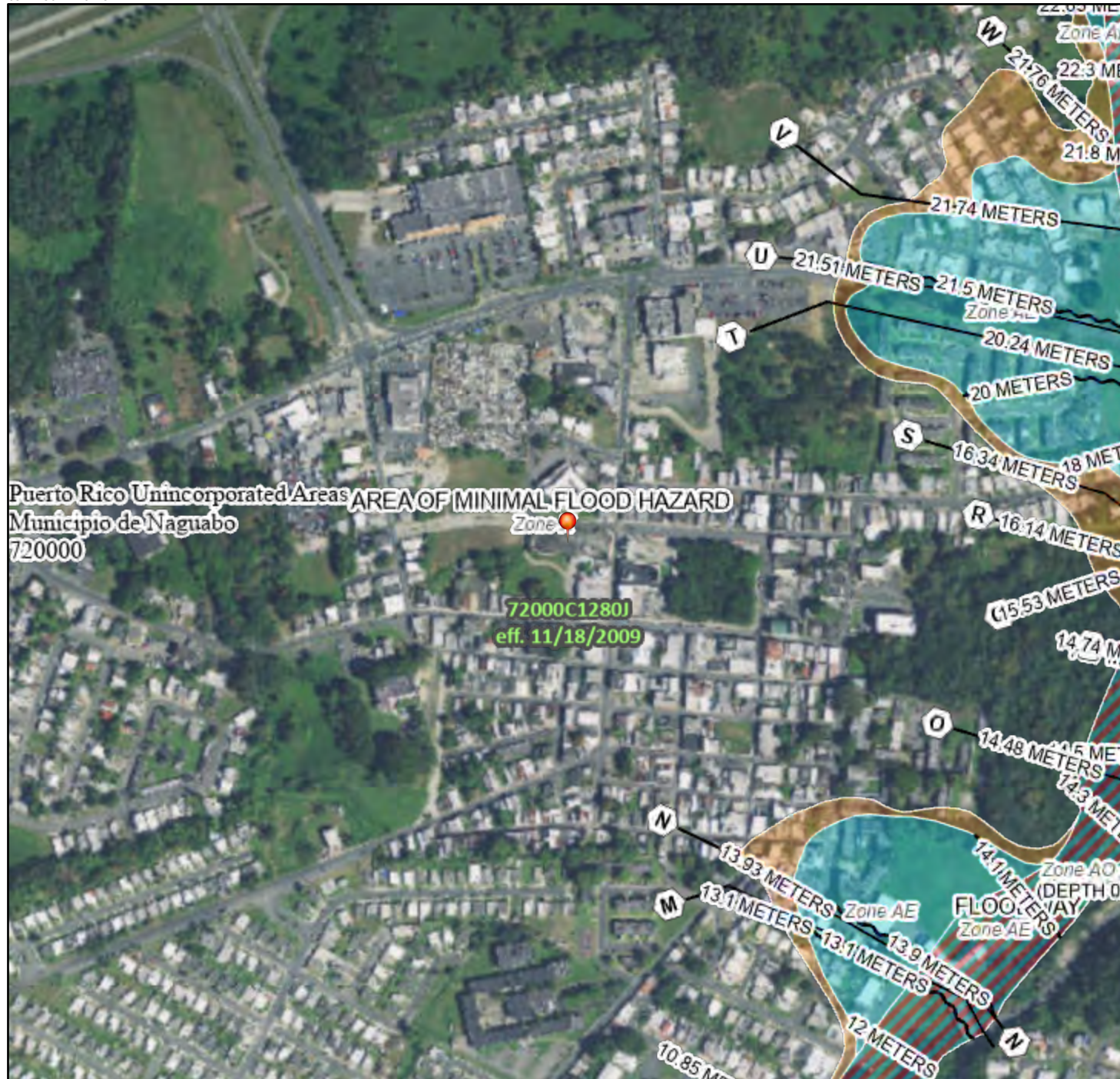


## National Flood Hazard Layer FIRMette



65°44'30"W 18°13'2"N

Lat: 18.21237734, Lon: -65.73643706



## Legend

Attachment D

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		Area of Minimal Flood Hazard Zone X
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard Zone D
		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		Cross Sections with 1% Annual Chance Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
MAP PANELS		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature
		Digital Data Available
		No Digital Data Available
		Unmapped



The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 4/16/2023 at 2:25 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

0 250 500 1,000 1,500 2,000 Feet 1:6,000

Basemap: USGS National Map: Orthoimagery: Data refreshed October, 2020

65°43'53"W 18°12'28"N







## ATTACHMENT E

### **Clean Air**

Clean Air Act, as amended, particularly section 176(c) & (d); 40 CFR Parts 6, 51, 93

## PR-CRP-001011 Mejoras al Estacionamiento Público del Municipio de Naguabo

**You are here:** EPA Home > Green Book > >National Area and County-Level Multi-Pollutant Information >Puerto Rico Nonattainment/Maintenance Status for Each County by Year for All Criteria Pollutants

## Puerto Rico Nonattainment/Maintenance Status for Each County by Year for All Criteria Pollutants

Data is current as of February 28, 2023

Listed by County, NAAQS, Area. The 8-hour Ozone (1997) standard was revoked on April 6, 2015 and the 1-hour Ozone (1979) standard was revoked on June 15, 2005.

\* The 1997 Primary Annual PM-2.5 NAAQS (level of 15  $\mu\text{g}/\text{m}^3$ ) is revoked in attainment and maintenance areas for that NAAQS. For additional information see the PM-2.5 NAAQS SIP Requirements Final Rule, effective October 24, 2016. (81 FR 58009)

Change the State:

PUERTO RICO

Important Notes

Download National Dataset: dbf | xls | Data dictionary (PDF)

County	NAAQS	Area Name	Nonattainment in Year	Redesignation to Maintenance	Classification	Whole or/Part County	Population (2010)	State/County FIPS Codes
<b>PUERTO RICO</b>								
Arecibo Municipio	Lead (2008)	Arecibo, PR	11121314151617181920212223	//		Part	32,185	72/013
Bayamon Municipio	Sulfur Dioxide (2010)	San Juan, PR	181920212223	//		Part	22,921	72/021
Catano Municipio	Sulfur Dioxide (2010)	San Juan, PR	181920212223	//		Whole	28,140	72/033
Guaynabo Municipio	PM-10 (1987)	Mun. of Guaynabo, PR	929394959697989900010203040506070809	02/11/2010	Moderate	Part	90,470	72/061
Guaynabo Municipio	Sulfur Dioxide (2010)	San Juan, PR	181920212223	//		Part	23,802	72/061
Salinas Municipio	Sulfur Dioxide (2010)	Guayama-Salinas, PR	181920212223	//		Part	23,401	72/123
San Juan Municipio	Sulfur Dioxide (2010)	San Juan, PR	181920212223	//		Part	147,963	72/127
Toa Baja Municipio	Sulfur Dioxide (2010)	San Juan, PR	181920212223	//		Part	52,441	72/137

Important Notes

Discover.

Connect.

Ask.

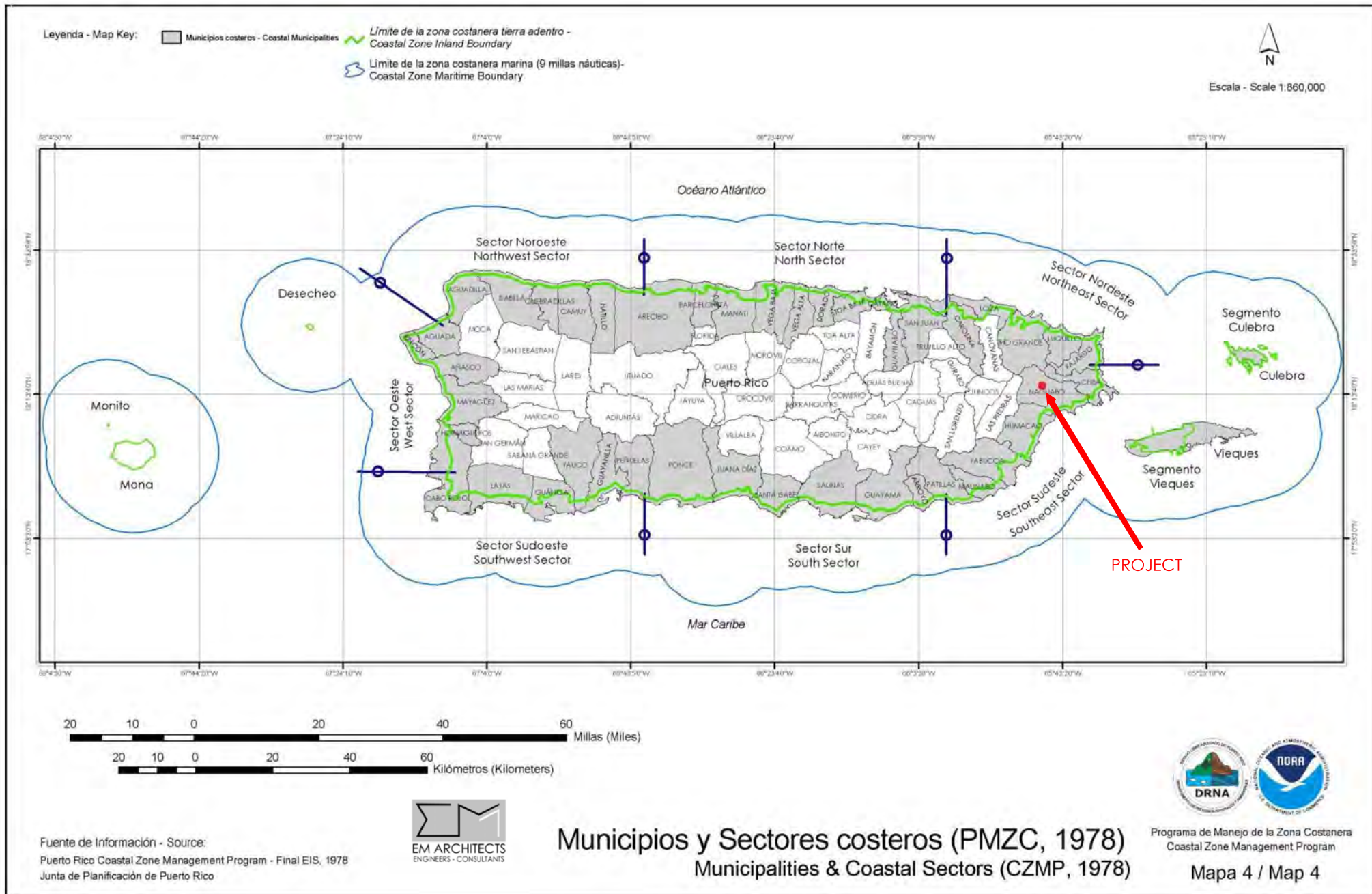
ATTACHMENT F

**Coastal Zone Management**

Coastal Zone Management Act, sections 307(c) & (d)

# Attachment F

Lat: 18.21237734, Lon: -65.73643706



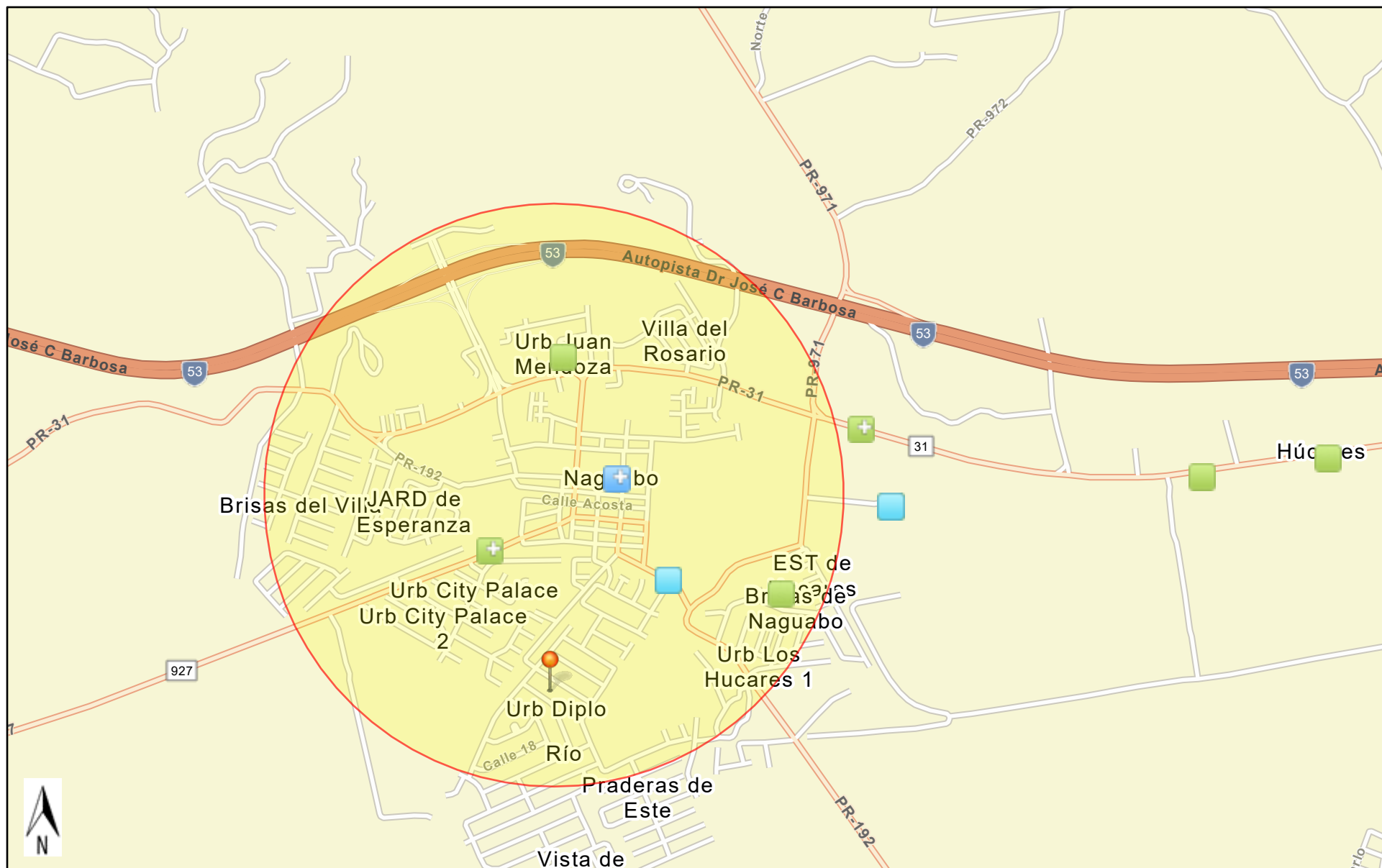
ATTACHMENT G

**Contamination and Toxic Substances**

24 CFR Part 50.3(i) & 58.5(i)(2)

## Contamination and Toxic Substances

Lat: 18.21237734, Lon: -65.73643706



April 16, 2023



Toxic Releases (TRI)



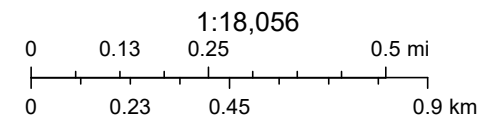
Water Dischargers (NPDES)



Hazardous Waste (RCRAInfo)



Hazardous Waste (RCRAInfo)



Esri Community Maps Contributors, Esri, HERE, Garmin, Foursquare, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, NPS, US Census



# NEPAssist Report

PR-CRP-001011

## A3 Landscape



January 16, 2024

Project Buffer

PR-CRP-1011

Water Dischargers (NPDES)

Toxic Releases (TRI)

Hazardous Waste (RCRAInfo)

Hazardous Waste (RCRAInfo)

1:11,466

0 0.13 0.25 0.5 mi  
0 0.2 0.4 0.8 km

Maxar

Project Location	18.212416,- 65.736315
Within 3000 feet of an Ozone 1-hr (1979 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of an Ozone 8-hr (1997 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of an Ozone 8-hr (2008 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of an Ozone 8-hr (2015 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a Lead (2008 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a SO2 1-hr (2010 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a PM2.5 24hr (2006 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a PM2.5 Annual (1997 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a PM2.5 Annual (2012 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a PM10 (1987 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a CO Annual (1971 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a NO2 Annual (1971 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a Federal Land?	no
Within 3000 feet of an impaired stream?	no
Within 3000 feet of an impaired waterbody?	yes
Within 3000 feet of a waterbody?	yes
Within 3000 feet of a stream?	yes
Within 3000 feet of an NWI wetland?	Available Online
Within 3000 feet of a Brownfields site?	no
Within 3000 feet of a Superfund site?	no

Within 3000 feet of a Toxic Release Inventory (TRI) site?	yes
Within 3000 feet of a water discharger (NPDES)?	yes
Within 3000 feet of a hazardous waste (RCRA) facility?	yes
Within 3000 feet of an air emission facility?	no
Within 3000 feet of a school?	no
Within 3000 feet of an airport?	no
Within 3000 feet of a hospital?	yes
Within 3000 feet of a designated sole source aquifer?	no
Within 3000 feet of a historic property on the National Register of Historic Places?	yes
Within 3000 feet of a Land Cession Boundary?	no
Within 3000 feet of a tribal area (lower 48 states)?	no
Within 3000 feet of the service area of a mitigation or conservation bank?	no
Within 3000 feet of the service area of an In-Lieu-Fee Program?	no
Within 3000 feet of a Public Property Boundary of the Formerly Used Defense Sites?	no
Within 3000 feet of a Munitions Response Site?	no
Within 3000 feet of an Essential Fish Habitat (EFH)?	yes
Within 3000 feet of a Habitat Area of Particular Concern (HAPC)?	no
Within 3000 feet of an EFH Area Protected from Fishing (EFHA)?	no
Within 3000 feet of a Bureau of Land Management Area of Critical Environmental Concern?	no
Within 3000 feet of an ESA-designated Critical Habitat Area per U.S. Fish & Wildlife Service?	no
Within 3000 feet of an ESA-designated Critical Habitat river, stream or water feature per U.S. Fish & Wildlife Service?	no

Created on: 1/16/2024 9:04:06 PM

# Detailed Facility Report



## Detailed Facility Report

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### Facility Summary

COMBE PRODUCTS

EL DUQUE INDUSTRIAL PARK RD 971 ST A, NAGUABO, PR 00718

FRS (Facility Registry Service) ID: 110022522019

EPA Region: 02

Latitude: 18.210845

Longitude: -65.726706

Locational Data Source: FRS

Industries: --

Indian Country: N

## Enforcement and Compliance Summary

Statute	CAA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
Compliance Status	--
Qtrs in Noncompliance (of 12)	--
Qtrs with Significant Violation	--
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--
Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	05/18/2009
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Active VSQG, (PRR000013342), Active VSQG, (PRD000767863)

Safe Drinking Water Act (SDWA): No Information

[Go To Enforcement/Compliance Details](#)

[Known Data Problems](#)

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): 00718CMBPRELDUQ

Compliance and Emissions Data Reporting Interface (CEDRI): CEDRI2434

Facility/System Characteristics

Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		<a href="#">110022522019</a>					N	18.210845	-65.726706
ICIS		7426813					N	18.210845	-65.726706
CEDRI	CAA	CEDRI2434					N	18.21189	-65.73336
TRI	EP313	00718CMBPRELDUQ		Last Reported for 2021			N	18.210845	-65.726706
RCRAInfo	RCRA	PRR000013342	VSQG	Active (H )			N	18.233692	-65.738213
RCRAInfo	RCRA	PRD000767863	VSQG	Active (H )			N	18.230947	-65.736373

Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		<a href="#">110022522019</a>	COMBE PRODUCTS	EL DUQUE INDUSTRIAL PARK RD 971 ST A, NAGUABO, PR 00718	Naguabo Municipio
ICIS		7426813	COMBE PRODUCTS LTD	STATE RD 971 STREET A, NAGUABO, PR 00718	Naguabo Municipio
CEDRI	CAA	CEDRI2434	COMBE PRODUCTS	EL DUQUE INDUSTRIAL PARK RD 971 ST A, NAGUABO, PR 00718	Naguabo Municipio
TRI	EP313	00718CMBPRELDUQ	COMBE PRODUCTS INC.	EL DUQUE INDUSTRIAL PARK RD 971 ST A, NAGUABO, PR 00718	Naguabo Municipio
RCRAInfo	RCRA	PRR000013342	COMBE PRODUCTS LTD	STATE RD 971 STREET A, NAGUABO, PR 00718-8588	Naguabo Municipio
RCRAInfo	RCRA	PRD000767863	COMBE PRODUCTS LTD	RD 971 ST A EL DUNQUE PARK, HUMACAO, PR 00718	Humacao Municipio

Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
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No data records returned

Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
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No data records returned

Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
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No data records returned

## Enforcement and Compliance

Compliance Monitoring History 

Last 5 Years

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
---------	-----------	--------	---------------	----------------------------	-------------	------	-------------------------

No data records returned

*Entries in italics are not counted as EPA official inspections.*

### Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
RCRA	PRR000013342	No	05/20/2023	0	05/19/2023
RCRA	PRD000767863	No	05/20/2023	0	05/19/2023

### Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type		QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: PRD000767863)			07/01-09/30/20	10/01-12/31/20	01/01-03/31/21	04/01-06/30/21	07/01-09/30/21	10/01-12/31/21	01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23
	Facility-Level Status		No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified
	Violation	Agency												
RCRA (Source ID: PRR000013342)			07/01-09/30/20	10/01-12/31/20	01/01-03/31/21	04/01-06/30/21	07/01-09/30/21	10/01-12/31/21	01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23
	Facility-Level Status		No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified
	Violation	Agency												

Informal Enforcement Actions 

Last 5 Years

Statute	System	Source ID	Type of Action	Lead Agency	Date
---------	--------	-----------	----------------	-------------	------

No data records returned

*Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.*

Formal Enforcement Actions

Last 5 Years

▼

Statute	System	Law/Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/Filed Date	Settlements/Actions	Settlement/Action Date	Federal Penalty Assessed	State/Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
---------	--------	-------------	-----------	----------------	----------	-------------	-----------	-------------------	---------------------	------------------------	--------------------------	------------------------------	--------------------------	-----------	------------------

No data records returned

## Environmental Conditions

### Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
--	---	---	---------------------------------	--------------------------------------	--	---

No data records returned

### Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Aquatic Life	Fish Consumption Use	Recreation Use	Other Use
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No data records returned

### Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
-----------	-----------------------------------	---	---------------------------------	---

No data records returned

## Pollutants

### Toxics Release Inventory History of Reported Chemicals Released in Pounds per Year at Site

[TRI Pollution Prevention Report](#)

TRI Facility ID	Year	Total Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Releases to Land	Total On-Site Releases	Total Off-Site Transfers
<a href="#">00718CMBPRELDUQ</a>	2021	--	--	250	--	--	0	94,555
<a href="#">00718CMBPRELDUQ</a>	2020	--	--	61	--	--	0	1,231
<a href="#">00718CMBPRELDUQ</a>	2019	--	--	427	--	--	0	8,536
<a href="#">00718CMBPRELDUQ</a>	2018	--	--	500	--	--	0	1,500
<a href="#">00718CMBPRELDUQ</a>	2017	--	--	37	--	--	0	372
<a href="#">00718CMBPRELDUQ</a>	2016	--	--	500	--	--	0	1,500
<a href="#">00718CMBPRELDUQ</a>	2015	--	--	500	--	--	0	1,500
<a href="#">00718CMBPRELDUQ</a>	2014	--	--	2,537	--	--	0	15,759

TRI Facility ID	Year	Total Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Releases to Land	Total On-Site Releases	Total Off-Site Transfers
<a href="#">00718CMBPRELDUQ</a>	2013	--	--	4,835	--	--	0	5,340
<a href="#">00718CMBPRELDUQ</a>	2012	--	--	6,194	--	--	0	6,879

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name	2021	2020	2019	2018	2017	2016	2015	2014	2013	2012
Certain glycol ethers	--	--	--	--	0	500	500	1,232	3,833	5,317
Diethanolamine	--	--	--	--	372	--	--	--	--	--
Mixture	94,555	1,231	8,536	1,500	--	--	--	--	--	--
p-Phenylenediamine	--	--	--	--	0	1,000	1,000	14,527	1,507	1,562

Community

Environmental Justice

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the [EJScreen home page](#).

EJScreen Indexes Shown

Compare to

☒ US ☐ State

Index Type

☐ Environmental Justice ☒ Supplemental

Related Reports

[EJScreen Report](#)

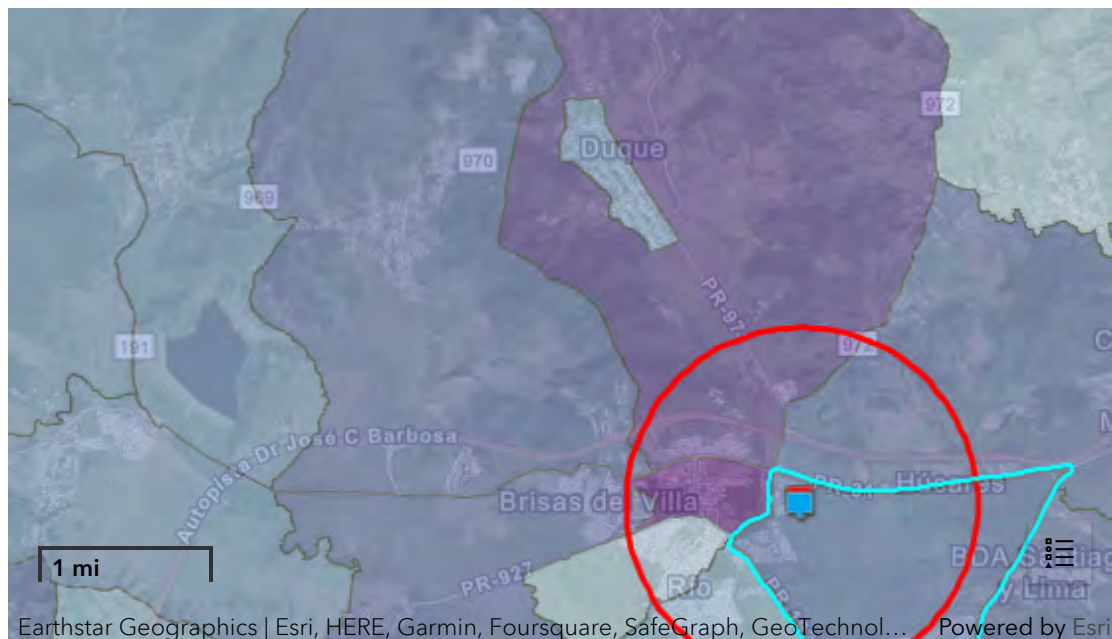
Download Data

Census Block Group ID: 721031703002	US (Percentile)	
Supplemental Indexes	Facility Census Block Group	1-mile Max
Count of Indexes At or Above 80th Percentile	6	8
Particulate Matter 2.5	--	--
Ozone	--	--
Diesel Particulate Matter	0	--
Air Toxics Cancer Risk	80	92
Air Toxics Respiratory Hazard Index	50	66
Traffic Proximity	77	98

☐ Facility 1-mile Radius ☐ Facility Census Block Group



Census Block Group ID: 721031703002	US (Percentile)	
Lead Paint	90	99
Risk Management Plan (RMP) Facility Proximity	99	99
Hazardous Waste Proximity	67	81
Superfund Proximity	94	98
Underground Storage Tanks (UST)	96	99
Wastewater Discharge	91	98



## Demographic Profile of Surrounding Area (3 miles)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2016 - 2020 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the [DFR Data Dictionary](#).

General Statistics (U.S. Census)	
Total Persons	17,453
Population Density	703/sq.mi.
Housing Units in Area	8,047
General Statistics (ACS (American Community Survey))	
Total Persons	16,999
Percent People of Color	99%
Households in Area	5,450
Households on Public Assistance	203
Persons With Low Income	14,502
Percent With Low Income	86%
Geography	

Age Breakdown (U.S. Census) - Persons (%)	
Children 5 years and younger	1,331 (8%)
Minors 17 years and younger	4,850 (28%)
Adults 18 years and older	12,603 (72%)
Seniors 65 years and older	2,299 (13%)
Race Breakdown (U.S. Census) - Persons (%)	
White	12,059 (69%)
African-American	3,223 (18%)
Hispanic-Origin	17,327 (99%)
Asian/Pacific Islander	37 (0%)
American Indian	67 (0%)
Other/Multiracial	2,068 (12%)

Geography	
Radius of Selected Area	3 mi.
Center Latitude	18.210845
Center Longitude	-65.726706
Land Area	88%
Water Area	12%
Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	1,964 (36.04%)
\$15,000 - \$25,000	1,383 (25.38%)
\$25,000 - \$50,000	1,402 (25.73%)
\$50,000 - \$75,000	531 (9.74%)
Greater than \$75,000	169 (3.1%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	1,131 (10.14%)
9th through 12th Grade	1,066 (9.56%)
High School Diploma	3,827 (34.31%)
Some College/2-year	854 (7.66%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	3,064 (27.47%)

LAST UPDATED ON SEPTEMBER 21, 2022

DATA REFRESH INFORMATION



# Detailed Facility Report



## Detailed Facility Report

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### Facility Summary

DUAL-LITE CAYMAN LTD

ROADS 31 AND 192, NAGUABO, PR 00718

FRS (Facility Registry Service) ID: 110002466448

EPA Region: 02

Latitude: 18.208761

Longitude: -65.733356

Locational Data Source: RCRAINFO

Industries: Electrical Equipment, Appliance, and Component Manufacturing

Indian Country: N

Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	03/27/2007
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Active VSQG, (PRD105741763)

Safe Drinking Water Act (SDWA): No Information

[Go To Enforcement/Compliance Details Known Data Problems](#)

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): 00718DLLTMINDUS

Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Facility/System Characteristics

Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		<a href="#">110002466448</a>					N	18.208761	-65.733356
TRI	EP313	00718DLLTMINDUS		Last Reported for 2004			N	18.212687	-65.74205
RCRAInfo	RCRA	PRD105741763	VSQG	Active (H )			N	18.212687	-65.74205

### Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		<u>110002466448</u>	DUAL-LITE CAYMAN LTD	ROADS 31 AND 192, NAGUABO, PR 00718	Naguabo Municipio
TRI	EP313	00718DLTMINDUS	DUAL-LITE MANUFACTURING INC	RD 31 INT 192, NAGUABO, PR 00718	Naguabo Municipio
RCRAInfo	RCRA	PRD105741763	DUAL-LITE CAYMAN LTD	RD 31 INTERSECTION RD 192, NAGUABO, PR 00718-1227	Naguabo Municipio

### Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
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No data records returned

### Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
RCRAInfo	PRD105741763	335122	Commercial, Industrial, and Institutional Electric Lighting Fixture Manufacturing

## Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
------------------	------------	---------------	---------------------------

No data records returned

## Enforcement and Compliance

## Compliance Monitoring History

Last 5 Years ▼

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
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No data records returned

*Entries in italics are not counted as EPA official inspections.*

## Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
RCRA	PRD105741763	No	05/20/2023	0	05/19/2023

### Three-Year Compliance History by Quarter

[illegible]

Statute	Program/Pollutant/Violation Type		QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
	Violation	Agency												

Informal Enforcement Actions

Last 5 Years

Statute	System	Source ID	Type of Action	Lead Agency	Date
---------	--------	-----------	----------------	-------------	------

No data records returned

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

Formal Enforcement Actions

Last 5 Years

Statute	System	Law/Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/Filed Date	Settlements/Actions	Settlement/Action Date	Federal Penalty Assessed	State/Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
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No data records returned

## Environmental Conditions

### Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
--	---	---	---------------------------------	--------------------------------------	--	---

No data records returned

### Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Aquatic Life	Fish Consumption Use	Recreation Use	Other Use
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No data records returned

### Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
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No data records returned

## Pollutants

Toxics Release Inventory History of Reported Chemicals Released in Pounds per Year at Site

TRI Facility ID	Year	Total Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Releases to Land	Total On-Site Releases	Total Off-Site Transfers
-----------------	------	---------------------	--------------------------	--	------------------------	------------------	------------------------	--------------------------

No data records returned

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name
---------------

No data records returned

Community

Environmental Justice

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the [EJScreen home page](#).

EJScreen Indexes Shown

Related Reports

[EJScreen Report](#)

Compare to

☒ US

☐ State

Index Type

☐ Environmental Justice

☒ Supplemental

Download Data		
Census Block Group ID: 721031704001	US (Percentile)	
Supplemental Indexes	Facility Census Block Group	1-mile Max
Count of Indexes At or Above 80th Percentile	8	8
Particulate Matter 2.5	--	--
Ozone	--	--
Diesel Particulate Matter	0	--
Air Toxics Cancer Risk	92	92
Air Toxics Respiratory Hazard Index	66	66
Traffic Proximity	98	98
Lead Paint	99	99

☐ Facility 1-mile Radius    ☐ Facility Census Block Group

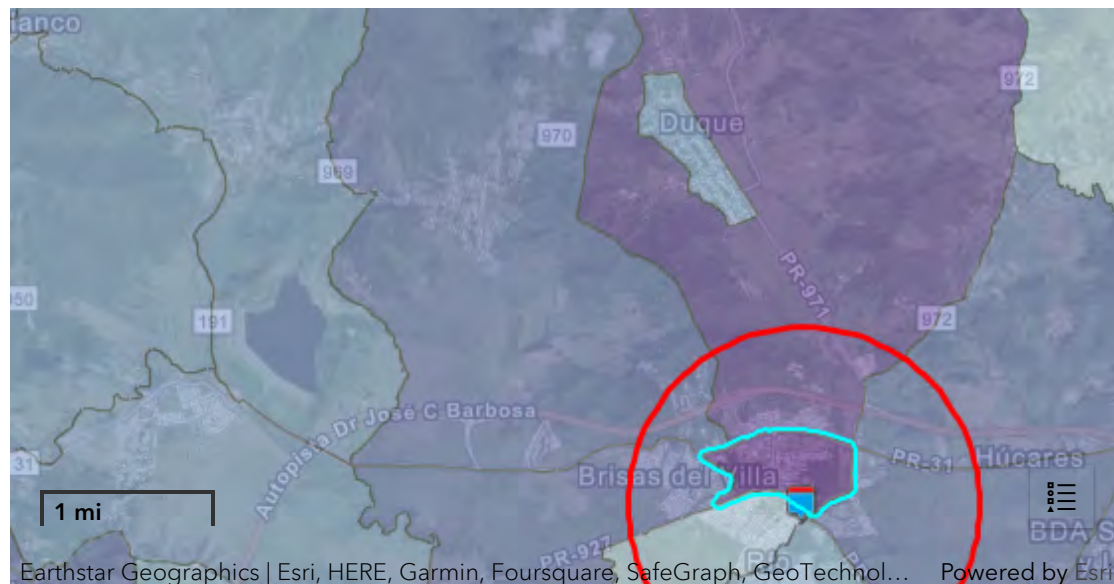
+

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Census Block Group ID: 721031704001	US (Percentile)	
Risk Management Plan (RMP) Facility Proximity	99	99
Hazardous Waste Proximity	81	81
Superfund Proximity	98	98
Underground Storage Tanks (UST)	99	99
Wastewater Discharge	98	98



## Demographic Profile of Surrounding Area (1 mile)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2016 - 2020 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the [DFR Data Dictionary](#).

General Statistics (U.S. Census)	
Total Persons	8,148
Population Density	2,619/sq.mi.
Housing Units in Area	3,523
General Statistics (ACS (American Community Survey))	
Total Persons	4,899
Percent People of Color	99%
Households in Area	1,588
Households on Public Assistance	73
Persons With Low Income	3,991
Percent With Low Income	82%
Geography	
Radius of Selected Area	1 mi.
Center Latitude	18.208761

Age Breakdown (U.S. Census) - Persons (%)	
Children 5 years and younger	762 (9%)
Minors 17 years and younger	2,649 (33%)
Adults 18 years and older	5,499 (67%)
Seniors 65 years and older	817 (10%)
Race Breakdown (U.S. Census) - Persons (%)	
White	5,659 (69%)
African-American	1,491 (18%)
Hispanic-Origin	8,103 (99%)
Asian/Pacific Islander	12 (0%)
American Indian	45 (1%)
Other/Multiracial	942 (12%)
Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	316 (10.34%)

Geography	
Center Longitude	-65.733356
Land Area	100%
Water Area	0%
Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	564 (35.52%)
\$15,000 - \$25,000	372 (23.43%)
\$25,000 - \$50,000	479 (30.16%)
\$50,000 - \$75,000	114 (7.18%)
Greater than \$75,000	59 (3.72%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
9th through 12th Grade	426 (13.94%)
High School Diploma	731 (23.91%)
Some College/2-year	206 (6.74%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	1,095 (35.82%)

LAST UPDATED ON SEPTEMBER 21, 2022

[DATA REFRESH INFORMATION](#)

# Detailed Facility Report



## Detailed Facility Report

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### Facility Summary

RANSBURG

ST RD 31 KM 2.6, NAGUABO, PR 00718

FRS (Facility Registry Service) ID: 110032659424

EPA Region: 02

Latitude: 18.215077

Longitude: -65.736484

Locational Data Source: RCRAINFO

Industries: --

Indian Country: N

Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Inactive Other, (PRN008016669)

Safe Drinking Water Act (SDWA): No Information

[Go To Enforcement/Compliance Details](#)

[Known Data Problems](#)

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Facility/System Characteristics

Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		<a href="#">110032659424</a>					N	18.215077	-65.736484
RCRAInfo	RCRA	PRN008016669	Other	Inactive ( )			N	18.215077	-65.736484



### Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		<a href="#">110032659424</a>	RANSBURG	ST RD 31 KM 2.6, NAGUABO, PR 00718	Naguabo Municipio
RCRAInfo	RCRA	PRN008016669	RANSBURG	ST RD 31 KM 2.6, NAGUABO, PR 00718	Naguabo Municipio

### Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
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No data records returned

### Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
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No data records returned

## Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
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No data records returned

## Enforcement and Compliance

## Compliance Monitoring History

Last 5 Years ▼

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
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No data records returned

*Entries in italics are not counted as EPA official inspections.*

## Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
RCRA	PRN008016669	No	05/20/2023	0	05/19/2023

### Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type		QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: PRN008016669)			07/01-09/30/20	10/01-12/31/20	01/01-03/31/21	04/01-06/30/21	07/01-09/30/21	10/01-12/31/21	01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23
	Facility-Level Status		No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified
	Violation	Agency												

Informal Enforcement Actions

Last 5 Years

Statute	System	Source ID	Type of Action	Lead Agency	Date
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No data records returned

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

Formal Enforcement Actions

Last 5 Years

Statute	System	Law/Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/Filed Date	Settlements/Actions	Settlement/Action Date	Federal Penalty Assessed	State/Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
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No data records returned

## Environmental Conditions

### Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
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No data records returned

### Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Aquatic Life	Fish Consumption Use	Recreation Use	Other Use
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No data records returned

### Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
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No data records returned

## Pollutants

### Toxics Release Inventory History of Reported Chemicals Released in Pounds per Year at Site

TRI Facility ID	Year	Total Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Releases to Land	Total On-Site Releases	Total Off-Site Transfers
-----------------	------	---------------------	--------------------------	--	------------------------	------------------	------------------------	--------------------------

No data records returned

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name

No data records returned

Community

Environmental Justice

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the [EJScreen home page](#).

EJScreen Indexes Shown

Related Reports

[EJScreen Report](#)
















Compare to ☒ US ☐ State

Index Type ☐ Environmental Justice ☒ Supplemental

Download Data

☐ Facility 1-mile Radius

☐ Facility Census Block Group

Census Block Group ID: 721031701002	US (Percentile)	
Supplemental Indexes	Facility Census Block Group	1-mile Max
Count of Indexes At or Above 80th Percentile	7	8
Particulate Matter 2.5	--	--
Ozone	--	--
Diesel Particulate Matter	0	--
Air Toxics Cancer Risk	 83	 92
Air Toxics Respiratory Hazard Index	53	66
Traffic Proximity	 95	 98
Lead Paint	 97	 99
Risk Management Plan (RMP) Facility Proximity	 97	 99
Hazardous Waste Proximity	68	 81
Superfund Proximity	 96	 98
Underground Storage Tanks (UST)	 89	 99
Wastewater Discharge	 97	 98

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## Demographic Profile of Surrounding Area (1 mile)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2016 - 2020 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the [DFR Data Dictionary](#).

General Statistics (U.S. Census)	
Total Persons	7,236
Population Density	2,262/sq.mi.
Housing Units in Area	3,200

General Statistics (ACS (American Community Survey))	
Total Persons	4,043
Percent People of Color	100%
Households in Area	1,283
Households on Public Assistance	57
Persons With Low Income	3,313
Percent With Low Income	82%

Geography	
Radius of Selected Area	1 mi.
Center Latitude	18.215077
Center Longitude	-65.736484
Land Area	100%
Water Area	0%

Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	467 (36.46%)

Age Breakdown (U.S. Census) - Persons (%)	
Children 5 years and younger	652 (9%)
Minors 17 years and younger	2,262 (31%)
Adults 18 years and older	4,974 (69%)
Seniors 65 years and older	798 (11%)

Race Breakdown (U.S. Census) - Persons (%)	
White	5,044 (70%)
African-American	1,322 (18%)
Hispanic-Origin	7,200 (100%)
Asian/Pacific Islander	10 (0%)
American Indian	42 (1%)
Other/Multiracial	819 (11%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	264 (10.14%)
9th through 12th Grade	422 (16.21%)
High School Diploma	624 (23.96%)
Some College/2-year	180 (6.91%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	914 (35.1%)

Income Breakdown (ACS (American Community Survey)) - Households (%)	
\$15,000 - \$25,000	309 (24.12%)
\$25,000 - \$50,000	377 (29.43%)
\$50,000 - \$75,000	85 (6.64%)
Greater than \$75,000	43 (3.36%)

LAST UPDATED ON SEPTEMBER 21, 2022

[DATA REFRESH INFORMATION](#)



# Detailed Facility Report



## Detailed Facility Report

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### Facility Summary

NAGUABO STP

PR-927 KM 0.2, NAGUABO, PR 00718

FRS (Facility Registry Service) ID: 110007804420

EPA Region: 02

Latitude: 18.209592

Longitude: -65.738675

Locational Data Source: RCRAINFO

Industries: Utilities

Indian Country: N

Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Inactive Other, (PRD000689844)

Safe Drinking Water Act (SDWA): No Information

[Go To Enforcement/Compliance Details](#)

[Known Data Problems](#)

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Facility/System Characteristics

Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		<a href="#">110007804420</a>					N	18.209592	-65.738675
ICIS		44559					N	18.209592	-65.738675
RCRAInfo	RCRA	PRD000689844	Other	Inactive ( )			N	18.209592	-65.738675



### Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		<a href="#">110007804420</a>	NAGUABO STP	PR-927 KM 0.2, NAGUABO, PR 00718	Naguabo Municipio
ICIS		44559	NAGUABO STP	STATE RD 927 KM 0.2, NAGUABO, PR 00718	Naguabo Municipio
RCRAInfo	RCRA	PRD000689844	NAGUABO STP	STATE RD 927 KM 0.2, NAGUABO, PR 00718	Naguabo Municipio

### Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
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No data records returned

### Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
RCRAInfo	PRD000689844	22132	Sewage Treatment Facilities

## Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
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No data records returned

## Enforcement and Compliance

## Compliance Monitoring History

Last 5 Years ▼

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
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No data records returned

*Entries in italics are not counted as EPA official inspections.*

## Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
RCRA	PRD000689844	No	05/20/2023	0	05/19/2023

### Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type		QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: PRD000689844)			07/01-09/30/20	10/01-12/31/20	01/01-03/31/21	04/01-06/30/21	07/01-09/30/21	10/01-12/31/21	01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23
	Facility-Level Status		No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified
	Violation	Agency												

Informal Enforcement Actions

Last 5 Years

Statute	System	Source ID	Type of Action	Lead Agency	Date
---------	--------	-----------	----------------	-------------	------

No data records returned

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

Formal Enforcement Actions

Last 5 Years

Statute	System	Law/Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/Filed Date	Settlements/Actions	Settlement/Action Date	Federal Penalty Assessed	State/Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
---------	--------	-------------	-----------	----------------	----------	-------------	-----------	-------------------	---------------------	------------------------	--------------------------	------------------------------	--------------------------	-----------	------------------

No data records returned

## Environmental Conditions

### Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
--	---	---	---------------------------------	--------------------------------------	--	---

No data records returned

### Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Aquatic Life	Fish Consumption Use	Recreation Use	Other Use
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No data records returned

### Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
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No data records returned

## Pollutants

### Toxics Release Inventory History of Reported Chemicals Released in Pounds per Year at Site

TRI Facility ID	Year	Total Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Releases to Land	Total On-Site Releases	Total Off-Site Transfers
-----------------	------	---------------------	--------------------------	--	------------------------	------------------	------------------------	--------------------------

No data records returned



Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name

No data records returned

Community

Environmental Justice

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the [EJScreen home page](#).

EJScreen Indexes Shown

















Compare to ☒ US ☐ State

Index Type ☐ Environmental Justice ☒ Supplemental

Related Reports

[EJScreen Report](#)

Download Data

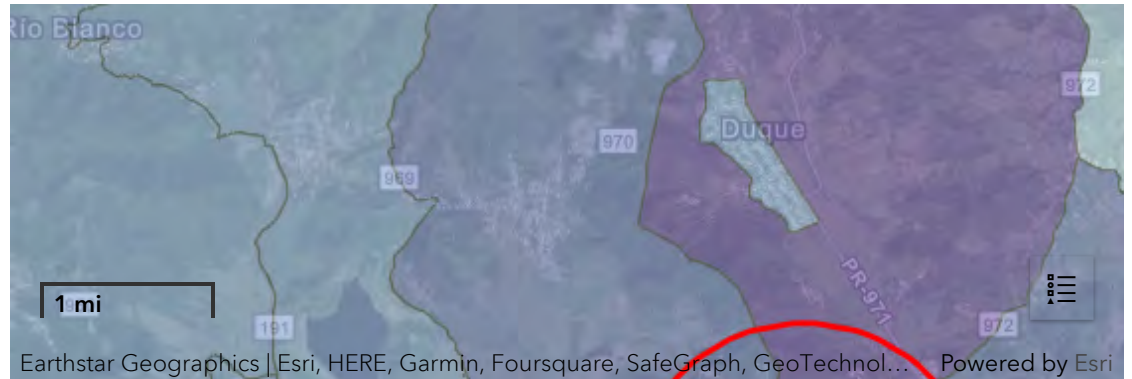
Census Block Group ID: 721031704001	US (Percentile)	
Supplemental Indexes	Facility Census Block Group	1-mile Max
Count of Indexes At or Above 80th Percentile	8	8
Particulate Matter 2.5	--	--
Ozone	--	--
Diesel Particulate Matter	0	--
Air Toxics Cancer Risk	 92	 92
Air Toxics Respiratory Hazard Index	66	66
Traffic Proximity	 98	 98
Lead Paint	 99	 99
Risk Management Plan (RMP) Facility Proximity	 99	 99
Hazardous Waste Proximity	 81	 81
Superfund Proximity	 98	 98
Underground Storage Tanks (UST)	 99	 99
Wastewater Discharge	 98	 98

☐ Facility 1-mile Radius ☐ Facility Census Block Group

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## Demographic Profile of Surrounding Area (1 mile)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2016 - 2020 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the [DFR Data Dictionary](#).

General Statistics (U.S. Census)	
Total Persons	7,937
Population Density	2,524/sq.mi.
Housing Units in Area	3,446

General Statistics (ACS (American Community Survey))	
Total Persons	5,035
Percent People of Color	100%
Households in Area	1,613
Households on Public Assistance	61
Persons With Low Income	4,116
Percent With Low Income	82%

Geography	
Radius of Selected Area	1 mi.
Center Latitude	18.209592
Center Longitude	-65.738675
Land Area	100%
Water Area	0%

Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	537 (33.25%)

Age Breakdown (U.S. Census) - Persons (%)	
Children 5 years and younger	728 (9%)
Minors 17 years and younger	2,547 (32%)
Adults 18 years and older	5,390 (68%)
Seniors 65 years and older	815 (10%)

Race Breakdown (U.S. Census) - Persons (%)	
White	5,493 (69%)
African-American	1,463 (18%)
Hispanic-Origin	7,895 (99%)
Asian/Pacific Islander	11 (0%)
American Indian	45 (1%)
Other/Multiracial	926 (12%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	274 (8.8%)
9th through 12th Grade	427 (13.71%)
High School Diploma	768 (24.66%)
Some College/2-year	225 (7.23%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	1,132 (36.35%)



Income Breakdown (ACS (American Community Survey)) - Households (%)	
\$15,000 - \$25,000	395 (24.46%)
\$25,000 - \$50,000	504 (31.21%)
\$50,000 - \$75,000	117 (7.24%)
Greater than \$75,000	62 (3.84%)

LAST UPDATED ON SEPTEMBER 21, 2022

[DATA REFRESH INFORMATION](#)

## ATTACHMENT H

### **Endangered Species**

Endangered Species Act of 1973, particularly section 7; 50 CFR Part 402





## Transmittal Letter

March 6, 2024

Caribbean Ecological Services Field Office  
U.S. Fish and Wildlife Service  
P.O. Box 491  
Boquerón, Puerto Rico 00622  
Email: [caribbean\\_es@fws.gov](mailto:caribbean_es@fws.gov)



Based on the information provided, we determined the project proposed qualifies for the blanket clearance letter. Nevertheless, if the project is modified this office should be contacted concerning the need for the initiation of consultation under section 7 of Endangered Species Act of 1973.

**DAMARIS ROMAN  
RUIZ**

Reviewer

Digitally signed by DAMARIS  
ROMAN RUIZ  
Date: 2024.03.08 10:44:12 -04'00'

**ROBERT TAWES**

Digitally signed by ROBERT TAWES  
Date: 2024.03.10 17:21:41 -04'00'

Acting Caribbean ES Field Supervisor

**RE: USFWS Endangered Species Act Certifications  
City Revitalization Program  
February 2024**

We are submitting the following Self-Certifications for projects under the CDBG-DR City Revitalization Program. Attached are included the Self-Certifications that certify that the projects are in compliance and are not likely to adversely affect federally-listed species.

The following table includes the projects that are in compliance with the Blanket Clearance Letter for the Endangered Species act of 1973, as amended, and the Fish and Wildlife Coordination Act.

Project Number	Project Name
PR-CRP-000338	Mejoras a la Plaza de la Identidad
PR-CRP-000341	Remodelación Plaza Angel Mislán
PR-CRP-000521	Demolición y Construcción Plaza del Mercado
PR-CRP-000670	Centro Multiuso Distrito Moca
PR-CRP-000742	Plaza de Recreo
PR-CRP-000744	Centro de Desarrollo Artístico y Cultural de Sabana Grande
PR-CRP-000807 & PR-CRP-001111	Mejoras a Plaza Pública y Plaza del Mercado, Vieques
PR-CRP-000892	Lajas Activity Center
PR-CRP-000902	Elderly Service Center
PR-CRP-001011	Mejoras al Estacionamiento Público del Municipio de Naguabo

For more information, please contact the Permits and Environmental Compliance Division at [environmentcdbg@vivienda.pr.gov](mailto:environmentcdbg@vivienda.pr.gov) or at (787)274.2527 ext. 4320.

Sincerely,

Permits and Environmental Compliance Division  
Office of Disaster Recovery





## Self-Certification

<http://www.fws.gov/caribbean/ES/Index.html>

### Endangered Species Act Certification

The U.S. Fish and Wildlife Service, Caribbean Ecological Services Field Office developed a Blanket Clearance Letter in compliance with Endangered Species Act of 1973, as amended, and the Fish and Wildlife Coordination Act for federally funded projects.

The Service determined that projects in compliance with the following criteria are not likely to adversely affect federally-listed species.

The Puerto Rico Department of Housing (PRDOH) certifies that the following project **Mejoras al Estacionamiento Publico del Municipio de Naguabo (PR-CRP-001011)** consisting of restoring the existing 2-level parking garage structure, involving the repair and restoration of concrete floor surfaces on both levels. The first-level interior floor surfaces will undergo mechanical cleaning, repair, and refinishing. The second level requires repairs to the roof deck, including cleaning, crack repairs, correction of ponding, and the application of a sealant finish coat for traffic areas. All railings and guard rails shall be replaced in the stairs leading to the second level. All lighting fixtures will be replaced as well as the installation of solar powered lighting in the outdoor area. This project is located at the intersection of Goyco and Garzot Street, Naguabo, Puerto Rico, complies with:

Check	Project Criteria
<input type="checkbox"/>	1. Street resurfacing.
<input type="checkbox"/>	2. Construction of gutters and sidewalks along existing roads.
<input type="checkbox"/>	3. Reconstruction or emergency repairs of existing buildings, facilities and homes.
<input checked="" type="checkbox"/>	4. Rehabilitation of existing occupied single-family homes, and buildings; provided that equipment storage or staging areas are not located on vacant property harboring a wetland and/or forested vegetation and that the lighting associated to the new facilities is not visible directly or indirectly from a beach.
<input type="checkbox"/>	5. Demolition of dilapidated single-family homes or buildings; provided that the demolition debris is disposed in certified receiving facilities; equipment storage or staging areas are not located on vacant property harboring a wetland and/or forested vegetation.

<input type="checkbox"/>	6. Rebuilding of demolished single-family homes or buildings, provided that the new construction is within the existing footprint of the previous structure and/or within pre-existing grassed or paved areas, and that the lighting associated to the new facilities are not visible directly or indirectly from a beach.
<input type="checkbox"/>	7. Activities within existing Right of Ways (ROWs) of roads, bridges and highways, when limited to actions that do not involve cutting native vegetation or mayor earth moving; and are not located within, or adjacent to, drainages, wetlands, or aquatic systems. These activities include the installation of potable water and sanitary pipelines.
<input type="checkbox"/>	8. Improvements to existing recreational facilities, including the installation of roofs to existing basketball courts, provided that the lighting associated to the facilities are not visible directly or indirectly from the beach.
<input type="checkbox"/>	9. Construction of electric underground systems in existing towns and communities, provided that the property is not a wetland area and the lighting associated to the facilities are not visible directly or indirectly from the beach.
<input type="checkbox"/>	10. Construction of facilities on vacant properties covered with grasses in urban areas, provided that the lighting associated to the facilities are not visible directly or indirectly from the beach.
<input type="checkbox"/>	11. Construction of houses, buildings or acquiring lands in urban areas covered by grass for relocation of low-income families and/or facilities that have been affected by weather conditions.



Ángel G. López-Guzmán  
Deputy Director  
Permits and Environmental Compliance Division

*March 6, 2024*

Date

Puerto Rico Department of Housing  
Office of Disaster Recovery  
P.O. Box 21365 San Juan, PR 00928  
787-274-2527 ext. 4320  
[environmentcdbg@vivienda.pr.gov](mailto:environmentcdbg@vivienda.pr.gov)



Attachments:

1. Map of Project Area
2. Project Site Photos
3. Critical Habitat Map

# Map of Project Area





## Attachment 2 - Project Site Photos

Mejoras al Estacionamiento Publico del Municipio de Naguabo, PR-CRP-001011

**Photograph 1**



**Photograph 2**



Photograph 3



Photograph 4





Photograph 5

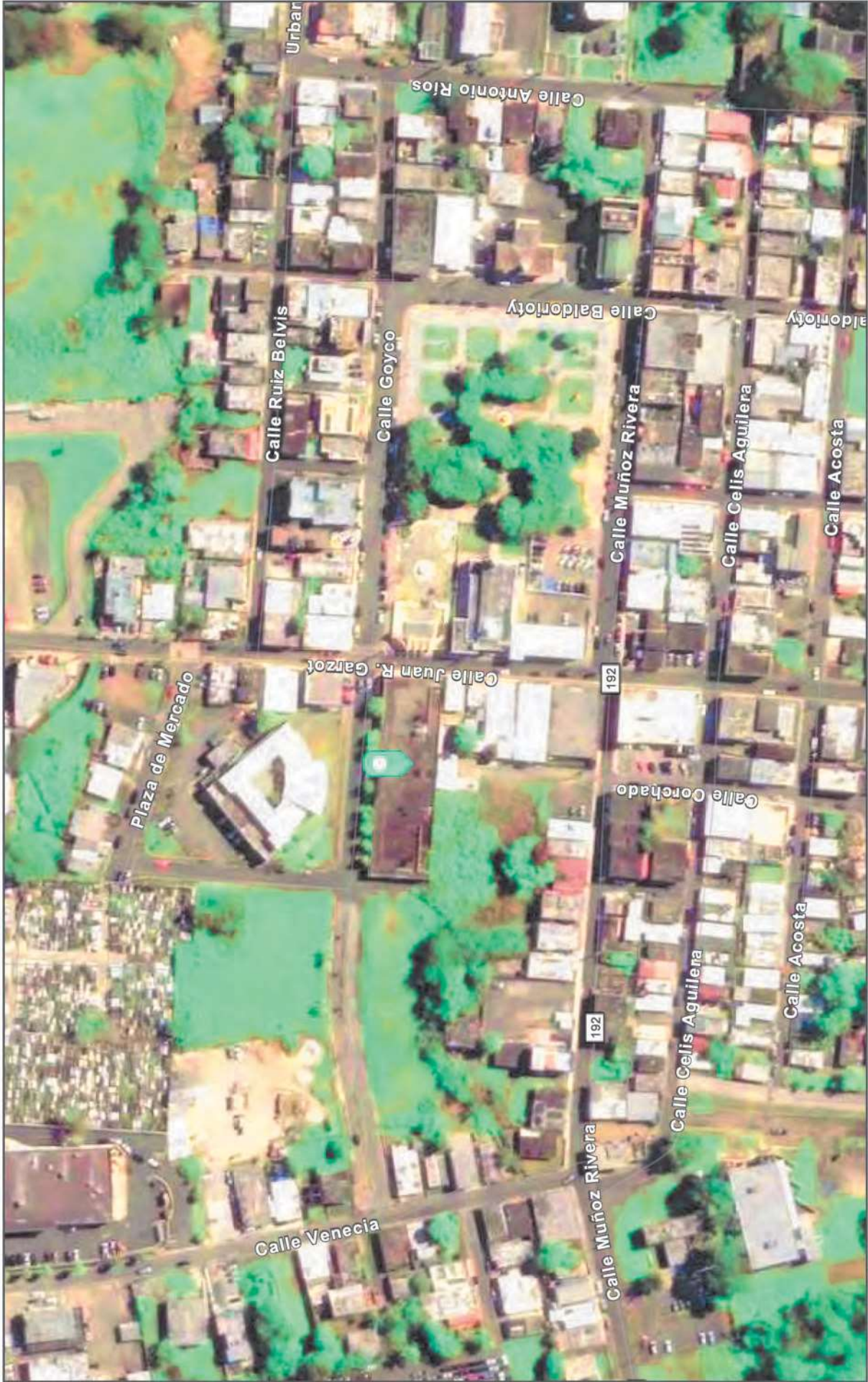



Photograph 6





Attachment 3-Mejoras al Estacionamiento Publico del Municipio de Naguabo PR-CRP-001011  
Critical Habitat for Threatened & Endangered Species [USFWS] USFWS self cert consultation






5/29/2023

PR-CRP-001011

Lat: 18.21237734, Lon: -65.73643706



1:2,257

0 0.02 0.04 0.06 0.08 0.11 km

0 0.02 0.04 0.06 0.08 0.11 mi

World Imagery

High Resolution 15m Imagery

High Resolution 60cm Imagery

Citations

Low Resolution 30cm Imagery

High Resolution 30cm Imagery

60cm Resolution Metadata

60cm Resolution Metadata

https://fw.s.maps.arcgis.com/apps/mapviewer/index.html?webmap=9d8de5e265ad4fe09893cf75b8dbfb77

Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community, Esri Community Maps Contributors, Esri, HERE, Garmin, FourSquare, Mapbox

EM ARCHITECTS

ENGINEERS • CONSULTANTS



ATTACHMENT I

**Explosive and Flammable Hazards**

24 CFR Part 51 Subpart C

Field Visit Checklist & Site Evaluation							
Project Name:	Case ID: PR-CRP-001011/Mejoras al Estacionamiento Público del Municipio de Naguabo			Latitude:	18.21237734		
First Name:	ELI	Last Name:	MARTINEZ	Longitude:	-65.73643706		
Street Address:	27 Calle Juan R. Garzot			Apt/Suite:	N/A		
City:	NAGUABO			State:	PR	Zip:	00718
Date of Visit:	JULY 21,2022		Field Visit Conducted By:	ELI MARTINEZ			
EXISTING ENVIRONMENTAL CONDITIONS ON & AROUND SITE							
Levee/Flood Control Structures (Levees, T-walls, pumping stations, etc.)							
	Site Specific			Area			
Observations	N/A						
Toxic Chemicals & Radioactive Materials							
Petroleum or Chemical Storage							
	Site Specific			Area			
Is there any evidence or indication of an underground storage tank (UST) may be located on site?	YES			STORM DRAINAGE TANK 40 SQ FT PHOTOGRAPH 6			
If yes, are they in use?	N/A						
Are there any out-of-service underground fuel tanks?	NO						
Is there any evidence that any AST on the property are leaking?	NO						
Polychlorinated Biphenyls (PCB):							
	Site Specific			Area			
Is there any evidence or indication of leaking electrical equipment (transformer - ground or pole mounted, capacitor, or hydraulic equipment) present on site?	NO						
Hazardous Operations							
	Site Specific			Area			
Is there any evidence of manufacturing operations utilizing or producing hazardous substances at or in close proximity to the site?	NO						
Is there any evidence or indication that past operations located on or in close proximity to the property used hazardous substances or radiological materials that may have been released into the environment?	NO						
<b>Notes/Observations:</b>							
<p>The project will not result in an increased number of people being exposed to hazardous operations by increasing residential densities, converting the type of use of a building to habitation, or making a vacant building habitable. The project does not involve explosive or flammable materials or operations. The project is in compliance with explosive and flammable hazard requirements.</p>							



**Photograph 1**



**Photograph 2**



**Photograph 3**



**Photograph 4**





**Photograph 5**



**Photograph 6**



## ATTACHMENT J

### **Farmlands Protection**

Farmland Protection Policy Act of 1981, particularly sections 1504(b) and 1541; 7 CFR Part 658



Soil Map—Humacao Area, Puerto Rico Eastern Part  
(PR-CRP-001011)



<https://websoilsurvey.sc.egov.usda.gov/App/WebSoilSurvey.aspx>




Natural Resources  
Conservation Service

Web Soil Survey  
National Cooperative Soil Survey

4/16/2023  
Page 1 of 3


## MAP LEGEND

### Area of Interest (AOI)

 Area of Interest (AOI)

### Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

### Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

### Water Features



Streams and Canals

### Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

### Background



Aerial Photography

## MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:20,000.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Humacao Area, Puerto Rico Eastern Part

Survey Area Data: Version 14, Sep 13, 2022

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jan 23, 2022—Mar 1, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.



## Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
UI	Urban land	0.3	100.0%
<b>Totals for Area of Interest</b>		<b>0.3</b>	<b>100.0%</b>


Farmland Classification—Humacao Area, Puerto Rico Eastern Part  
(PR-CRP-001011)



PR-CRP-001011 Mejoras al Estacionamiento Público del Municipio de Naguabo  
 Farmland Classification—Humacao Area, Puerto Rico Eastern Part  
 (PR-CRP-001011)









## MAP LEGEND








### Area of Interest (AOI)






 Area of Interest (AOI)








### Soils



#### Soil Rating Polygons

-  Not prime farmland
-  All areas are prime farmland
-  Prime farmland if drained
-  Prime farmland if protected from flooding or not frequently flooded during the growing season
-  Prime farmland if irrigated
-  Prime farmland if drained and either protected from flooding or not frequently flooded during the growing season
-  Prime farmland if irrigated and drained
-  Prime farmland if irrigated and either protected from flooding or not frequently flooded during the growing season









-  Prime farmland if subsoiled, completely removing the root inhibiting soil layer
-  Prime farmland if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60
-  Prime farmland if irrigated and reclaimed of excess salts and sodium
-  Farmland of statewide importance
-  Farmland of statewide importance, if drained
-  Farmland of statewide importance, if protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if irrigated

-  Farmland of statewide importance, if drained and either protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if irrigated and drained
-  Farmland of statewide importance, if irrigated and either protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if subsoiled, completely removing the root inhibiting soil layer
-  Farmland of statewide importance, if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60

-  Farmland of statewide importance, if irrigated and reclaimed of excess salts and sodium
-  Farmland of statewide importance, if drained or either protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if warm enough, and either drained or either protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if warm enough
-  Farmland of statewide importance, if thawed
-  Farmland of local importance
-  Farmland of local importance, if irrigated

-  Farmland of unique importance
-  Not rated or not available

### Soil Rating Lines

-  Not prime farmland
-  All areas are prime farmland
-  Prime farmland if drained
-  Prime farmland if protected from flooding or not frequently flooded during the growing season
-  Prime farmland if irrigated
-  Prime farmland if drained and either protected from flooding or not frequently flooded during the growing season
-  Prime farmland if irrigated and drained
-  Prime farmland if irrigated and either protected from flooding or not frequently flooded during the growing season

PR-CRP-001011 Mejoras al Estacionamiento Público del Municipio de Naguabo  
 Farmland Classification—Humacao Area, Puerto Rico Eastern Part  
 (PR-CRP-001011)

	Prime farmland if subsoiled, completely removing the root inhibiting soil layer		Farmland of statewide importance, if drained and either protected from flooding or not frequently flooded during the growing season		Farmland of statewide importance, if irrigated and reclaimed of excess salts and sodium		Farmland of unique importance		Prime farmland if subsoiled, completely removing the root inhibiting soil layer
	Prime farmland if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60		Farmland of statewide importance, if irrigated and drained		Farmland of statewide importance, if drained or either protected from flooding or not frequently flooded during the growing season	<b>Soil Rating Points</b>			Prime farmland if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60
	Prime farmland if irrigated and reclaimed of excess salts and sodium		Farmland of statewide importance, if irrigated and either protected from flooding or not frequently flooded during the growing season		Farmland of statewide importance, if warm enough, and either drained or either protected from flooding or not frequently flooded during the growing season		Not prime farmland		Prime farmland if irrigated and reclaimed of excess salts and sodium
	Farmland of statewide importance		Farmland of statewide importance, if subsoiled, completely removing the root inhibiting soil layer		Farmland of statewide importance, if warm enough		Prime farmland if protected from flooding or not frequently flooded during the growing season		Farmland of statewide importance
	Farmland of statewide importance, if drained		Farmland of statewide importance, if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60		Farmland of statewide importance, if thawed		Prime farmland if irrigated		Farmland of statewide importance, if drained
	Farmland of statewide importance, if protected from flooding or not frequently flooded during the growing season				Farmland of local importance		Prime farmland if drained and either protected from flooding or not frequently flooded during the growing season		Farmland of statewide importance, if protected from flooding or not frequently flooded during the growing season
	Farmland of statewide importance, if irrigated				Farmland of local importance, if irrigated		Prime farmland if drained and either protected from flooding or not frequently flooded during the growing season		Farmland of statewide importance, if irrigated



PR-CRP-001011 Mejoras al Estacionamiento Público del Municipio de Naguabo  
 Farmland Classification—Humacao Area, Puerto Rico Eastern Part  
 (PR-CRP-001011)

Farmland of statewide importance, if drained and either protected from flooding or not frequently flooded during the growing season	Farmland of statewide importance, if irrigated and reclaimed of excess salts and sodium	Farmland of unique importance	<p>The soil surveys that comprise your AOI were mapped at 1:20,000.</p> <p>Please rely on the bar scale on each map sheet for map measurements.</p> <p>Source of Map: Natural Resources Conservation Service          Web Soil Survey URL:          Coordinate System: Web Mercator (EPSG:3857)</p> <p>Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.</p> <p>This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.</p> <p>Soil Survey Area: Humacao Area, Puerto Rico Eastern Part          Survey Area Data: Version 14, Sep 13, 2022</p> <p>Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.</p> <p>Date(s) aerial images were photographed: Jan 23, 2022—Mar 1, 2022</p> <p>The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.</p>
Farmland of statewide importance, if irrigated and drained	Farmland of statewide importance, if drained or either protected from flooding or not frequently flooded during the growing season	Not rated or not available	
Farmland of statewide importance, if irrigated and either protected from flooding or not frequently flooded during the growing season	Farmland of statewide importance, if warm enough, and either drained or either protected from flooding or not frequently flooded during the growing season	<b>Water Features</b> Streams and Canals	
Farmland of statewide importance, if subsoiled, completely removing the root inhibiting soil layer	Farmland of statewide importance, if warm enough	<b>Transportation</b> Rails	
Farmland of statewide importance, if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60	Farmland of statewide importance, if thawed	Interstate Highways	
	Farmland of local importance	US Routes	<b>Background</b> Aerial Photography
	Farmland of local importance, if irrigated	Major Roads	
		Local Roads	

## Farmland Classification

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
UI	Urban land	Not prime farmland	0.3	100.0%
<b>Totals for Area of Interest</b>			<b>0.3</b>	<b>100.0%</b>

## Description

Farmland classification identifies map units as prime farmland, farmland of statewide importance, farmland of local importance, or unique farmland. It identifies the location and extent of the soils that are best suited to food, feed, fiber, forage, and oilseed crops. NRCS policy and procedures on prime and unique farmlands are published in the "Federal Register," Vol. 43, No. 21, January 31, 1978.

## Rating Options

*Aggregation Method:* No Aggregation Necessary

Aggregation is the process by which a set of component attribute values is reduced to a single value that represents the map unit as a whole.

A map unit is typically composed of one or more "components". A component is either some type of soil or some nonsoil entity, e.g., rock outcrop. For the attribute being aggregated, the first step of the aggregation process is to derive one attribute value for each of a map unit's components. From this set of component attributes, the next step of the aggregation process derives a single value that represents the map unit as a whole. Once a single value for each map unit is derived, a thematic map for soil map units can be rendered. Aggregation must be done because, on any soil map, map units are delineated but components are not.

For each of a map unit's components, a corresponding percent composition is recorded. A percent composition of 60 indicates that the corresponding component typically makes up approximately 60% of the map unit. Percent composition is a critical factor in some, but not all, aggregation methods.

The majority of soil attributes are associated with a component of a map unit, and such an attribute has to be aggregated to the map unit level before a thematic map can be rendered. Map units, however, also have their own attributes. An attribute of a map unit does not have to be aggregated in order to render a corresponding thematic map. Therefore, the "aggregation method" for any attribute of a map unit is referred to as "No Aggregation Necessary".

*Tie-break Rule:* Lower



The tie-break rule indicates which value should be selected from a set of multiple candidate values, or which value should be selected in the event of a percent composition tie.

ATTACHMENT K

**Floodplain Management**

Executive Order 11988, particularly section 2(a); 24 CFR Part 55





4/16/2023, 2:59:15 PM

Municipios



Advisory Base Flood Elevation (zoom in to make visible)

Streamline (zoom in to make visible)



<https://gis-r2-fema.hub.arcgis.com/apps/31dfa15671944086b54b55bfc03344d7/explore>

Flood Hazard Area (zoom in to make visible)

A

AO

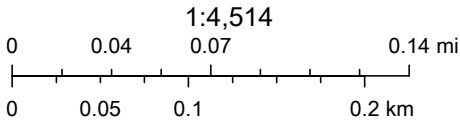
AE

Coastal A Zone

VE



FEMA, Maxar



ATTACHMENT L

**Historic Preservation**

National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800





**GOVERNMENT OF PUERTO RICO**  
**STATE HISTORIC PRESERVATION OFFICE**

Executive Director | Carlos A. Rubio-Cancela | [carubio@prshpo.pr.gov](mailto:carubio@prshpo.pr.gov)

Wednesday, October 4, 2023

**Lauren Bair Poche**

Historic Preservation Senior Manager  
HORNE Puerto Rico  
10000 Perkins Rowe, Suite 610 Bldg G  
Baton Rouge, LA 70810

SHPO: 09-20-23-09 PR-CRP-001011 MEJORAS AL ESTACIONAMIENTO PÚBLICO DEL MUNICIPIO DE NAGUABO, #27 CALLE JUAN R. GARZOT, NAGUABO, PUERTO RICO

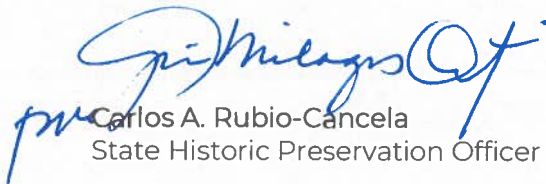
Dear Ms. Poche,

The SHPO has received and reviewed the above referenced project in accordance with 54 USC 306108 (commonly known as Section 106 of the National Historic Preservation Act, as amended) and 36 CFR Part 800: *Protection of Historic Properties*. The State Historic Preservation Officer (SHPO) is to advise and assist federal agencies and other responsible entities when identifying historic properties, assessing effects upon them, and considering alternatives to avoid or reduce the project's effects.

Our records support your finding that the proposed undertaking will have **no adverse effect** upon historic properties.

If you have any questions or comments regarding this matter or require our further assistance, do not hesitate to contact our Office.

Sincerely,

  
Carlos A. Rubio-Cancela  
State Historic Preservation Officer

CARC/GMO/SG





October 20, 2022

Arch. Carlos A. Rubio Cancela  
Executive Director  
State Historic Preservation Officer  
Cuartel de Ballajá Bldg.  
San Juan, Puerto Rico

Re: Authorization to Submit Documents

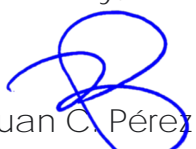
Dear Arch. Rubio Cancela:

The U.S. Department of Housing (HUD) approved the allocations of Community Development Block Grant (CDBG-DR) funds on February 9, 2018. It also approved the allocation of Community Development Block Grant Mitigation (CDBG-MIT) funds on January 27, 2020. The purpose of these allocations is to address unsatisfied needs as a result of Hurricanes Irma and Maria in September 2017; and to carry out strategic and high-impact activities to mitigate disaster risks and reduce future losses.

To comply with the environmental requirements established by HUD, the Department of Housing of Puerto Rico (PRDOH) contracted Horne Federal LLC to provide environmental registry review services, among others, that will support the objectives of the agenda for both CDBG-DR and CDBG -MIT Programs.

In line to expedite the processes, Horne Federal LLC, is authorized to submit to the State Historic Preservation Officer, documentation of projects related to both the CDBG-DR and CDBG-MIT on behalf of PRDOH.

Cordially,

  
Juan C. Pérez Bofill, P.E. M.Eng  
Director of Disaster Recovery  
CDBG DR-MIT



September 20, 2023

Carlos A. Rubio Cancela  
State Historic Preservation Officer  
Puerto Rico State Historic Preservation Office  
Cuartel de Ballajá (Tercer Piso)  
San Juan, PR 00902-3935

**Puerto Rico Disaster Recovery, CDBG-DR City Revitalization (City-Rev) Program**

**Section 106 NHPA Effect Determination Submittal for PR-CRP-001011: Mejoras al Estacionamiento Público del Municipio de Naguabo Project, Naguabo, Puerto Rico – *No Adverse Effect***

Dear Architect Rubio Cancela,

On February 9, 2018, an allocation of Community Development Block Grant - Disaster Recovery (CDBG-DR) funds was approved by the United States Department of Housing and Urban Development (HUD) under the Federal Register Volume 83, No. 28, 83 FR 5844, to assist the Commonwealth of Puerto Rico in meeting unmet needs in the wake of Hurricanes Irma and Maria. On August 14, 2018, an additional \$8.22 billion recovery allocation was allocated to Puerto Rico under the Federal Register Volume 83, No. 157, 83 FR 40314. With these funding allocations, the Puerto Rico Department of Housing (PRDOH) aims to lead a comprehensive and transparent recovery for the benefit of Puerto Rico residents. To faithfully comply with HUD's environmental requirements, the Puerto Rico Department of Housing contracted Horne Federal, LLC (HORNE) to provide environmental records review services that will support the Department's objectives Puerto Rico Housing (PRDOH) for CDBG-DR.

On behalf of PRDOH and the subrecipient, the Municipality of Naguabo, HORNE is submitting documentation for the proposed Mejoras al Estacionamiento Público del Municipio de Naguabo Project. The project area is within the boundaries of the Naguabo Traditional Urban Center which is eligible for listing in the National Register of Historic Places. The proposed project consists of improvements to a circa 1990 two-story parking garage located on the southwest corner of the intersection of Goyco and Garzot Streets, immediately west of the city plaza. The full scope of the project is described in detail within the submitted documentation, which includes mapping, photographs, and 60% design plans.

Based on the provided documentation, the Program requests a concurrence with a determination that no adverse effect to historic properties is appropriate for this undertaking.

Please contact me with any questions or concerns by email at [lauren.poche@horne.com](mailto:lauren.poche@horne.com) or phone at 225-405-7676.

Kindest regards,




**Lauren Bair Poche. M.A.**

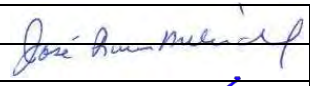

Architectural Historian, Historic Preservation Senior Manager

Attachments



PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CITY-REV) Section 106 NHPA Effect Determination		 GOVERNMENT OF PUERTO RICO DEPARTMENT OF HOUSING
<b>Subrecipient: Municipality of Naguabo</b>		
<b>Case ID: PR-CRP-001011/Mejoras al Estacionamiento Público del Municipio de Naguabo</b>		<b>Project ID: PR-CRP-001011</b>

Project Location: 27 Calle Juan R. Garzot, Naguabo, 00718	
<b>Project Coordinates:</b> Lat: 18.21237734, Lon: -65.73643706	
TPID (Número de Catastro): 256-013-052-06	
Type of Undertaking: <input checked="" type="checkbox"/> Substantial Repair <input type="checkbox"/> New Construction	
Construction Date (AH est.): 1990-1991	Property Size (acres): 0.5554129 acreage

SOI-Qualified Archaeologist: José Rivera Meléndez	
Date Reviewed: September 19, 2023	
SOI-Qualified Architect: Eli M. Martínez Beléndez	
Date Reviewed: September 19, 2023	


In compliance with Section 106 of the National Historic Preservation Act (NHPA), the Program is responsible for identifying historic properties listed in the NRHP and any properties not listed that would be considered eligible for listing that are located within the geographic area of potential effects (APE) of the proposed project and assessing the potential effects of its undertakings on these historic properties.

#### Project Description (Undertaking)

The municipality of Naguabo owns a parking garage structure that was built in built between 1990 and 1991. The structure is located within Naguabo's traditional urban center on the corner of Goyco Street and Garzot Street. It is a two-level reinforced concrete structure that served as a parking garage and a public transportation terminal.

On the first level, there are thirty (30) parking spaces, an administrative office, a ticket booth, storage areas, men's and women's bathrooms, an employee bathroom, a small storage closet, and stairs leading to the second level parking. The second level features forty-six (46) parking spaces, a small booth and it has its own independent ramped entrance on the east side on Garzot Street and an exit ramp is located to the west on a small Municipal Road. However, the second level parking is not roofed.

The entrance area on Goyco Street will undergo renovation where the ceramic tiles will be replaced, along with the wall and floor tiles in the bathrooms. Repairs and surface improvements are necessary for the concrete slab on the first level and on the second level due to water accumulation and poor drainage. Ground disturbances are limited to the selective demolition of an existing curb for additional

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CITY-REV) Section 106 NHPA Effect Determination	 GOVERNMENT OF PUERTO RICO DEPARTMENT OF HOUSING
<b>Subrecipient: Municipality of Naguabo</b>	
<b>Case ID: PR-CRP-001011/Mejoras al Estacionamiento Público del Municipio de Naguabo</b>	<b>Project ID: PR-CRP-001011</b>

parking on the first level. The depth of the excavation would be no deeper than six (6) inches below the existing floor level. All existing bathroom equipment, accessories, light fixtures, windows, and doors will be taken out and replaced. Additionally, four (4) parking spaces on the first level will be allocated for handicapped parking. The fixed metal panels and gates at both vehicular and pedestrian entrances will be dismantled and substituted. The office's partition walls will be substituted with concrete block walls.

It should be noted that the proposed improvements will not extend the current building footprint. All enhancements will be carried out within the existing boundaries of the structure. The project's scope does not encompass solar panels, greenhouses, wells, electrical generators, water cisterns, or any other supplementary structures.

#### Area of Potential Effects


As defined in 36 CFR §800.16(d), the area of potential effects (APE) is the geographic area or areas within which an undertaking may directly or indirectly cause changes in the character or use of historic properties if any such properties exist. Based on this definition and the nature and scope of the Undertaking, the Program has determined that the direct APE for this project is 0.5554129 acreage, and the visual APE is the viewshed of the proposed project. All works proposed are within the property limit lines. There are no adjacent areas to be affected by the proposed scope of work.

Refer to Figure 1 for the aerial map illustrating the area of potential effects. The project is located within the boundary of Naguabo's traditional urban center as defined by the Puerto Rico State Historic Preservation Office (SHPO). Refer to Figure 2 for the aerial map illustrating the limits of the traditional urban center in relation to the project.

The boundary of the APE is as follows: On the north side, the APE borders with the *Plaza del Mercado* and a local health service provider (Figure 4). On the south side the APE borders two properties, one is an empty lot and the other is a concrete structure originally built for residential use but is now used as a government office. On the east side, the APE borders with the outdoor theater structure which is currently undergoing renovations. On the west side, the APE borders an empty lot. Refer to Figure 9 for images of the APE's borders.

#### Identification of Historic Properties – Archaeology



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Existing information on previously identified historic properties has been reviewed to determine if any such properties are located within the APE of this undertaking. The review of this existing information, by a Program contracted Historic Preservation Specialist meeting the Secretary of the Interior's Professional Qualification Standards (36 CFR Part 61), shows that the are of the municipal parking garage is 0.01 miles west of the Nuestra Señora del Rosario Church (#1 Figure 1) which is in the National Register of Historic Places (NRHP)<sup>1</sup>, is 0.04 miles west of the NRHP eligible public square (#2 Figure 1), and is 0.04 miles north of the of a financial local institution (Banco Popular; #7 Figure 1) which is also listed as eligible to be included in the NRHP.


The methodology for this Report consists of creating an inventory of previous studies. Nine archaeological studies were identified for the municipality of Naguabo between 1988 and 2008. Table 1 shows three of these that are located within ¼ mile of the APE and Figure 7 for an aerial map with the locations. After reviewing all previous archaeological surveys conducted within the APE, these suggest no evidence of intact deposits within ¼ mile radius of the APE.

Table 1. Cultural Resource Studies conducted within quarter-mile radius of Project Area

Author	Title	Year	SHPO/IPRC ID	Results	Distance From APE
1. Maria A. Cashion Lugo	Archeological Evaluation Phase 1A for Ralph's Food Warehouse Project, PR Road 31, KM 3.6, Barrio El Duque, Naguabo, Puerto Rico.	4/2002	NG-02-06-02	Negative	0.17 miles NW
2. Juan González Colón	Archeological Evaluation [Phase IA], Naguabo High School Project, Naguabo, Puerto Rico.	1/1994	NG-94-02-07	Negative	0.20 miles SSE
3. Juan González Colón	Archeological Evaluation (Phases IA-IB), Naguabo Central Housing Apartments, Municipality of Naguabo.	8/1992	SHPO 08-13-92-01	Negative	0.03 miles W
4. Iván F. Méndez Bonilla	Evaluation of Cultural Resources Phase IA, Project: <i>El Hogar Adventista</i> , Antonio Rios St. #6, Barrio Pueblo, Naguabo, PR	1/2008	NG-08-11-01	Negative	0.12 miles SE
5. Ethel V. Schlafer Román	Archeological Evaluation Phase I, Remodeling of the Town Plaza, Naguabo, Puerto Rico	10/1998	NG-98-04-NG-98-04-04 SHPO 04-14-99-11	Positive	0.05 miles E

The table above is an inventory consisting of five (5) archaeological studies conducted within the 0.25-mile radius from the APE. The archeological studies were developed for different purposes in the span of over 20 years (1988 to 2008). The intention was to identify sites of archaeological value. Figure 7

<sup>1</sup> Puerto State Historic Preservation Office. *Propiedades de Puerto Rico incluidas en el Registro Nacional de Lugares Históricos*. San Juan: Office of the Governor. November 20, 2020. Page 20.

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shows an aerial map with the locations of prior investigations conducted on properties surrounding the APE. The description of the studies and their respective conclusions (marked in bold) were as follows:

The following are the translated Revised Studies:

1. Cashion Lugo, María A. **Archaeological Evaluation Phase 1A for Ralph's Food Warehouse Project, PR Road 31, KM 3.6, Barrio El Duque, Naguabo, Puerto Rico.** April 30, 2002.  
NG-02-06-02

Location/Description:

"The project of reference is in *Barrio El Duque*, which is in the Municipality of Naguabo, Road PR-31, Km. 3.6. The Lambert coordinates are X=225,905 Y=42,615. The total area of the plot is 1.8023 or 7,083.7356 square meters. The construction and development of the property is summarized as follows:

- Supermarket (RFW) 38,552.00 square feet
- Profitable Space #2 3,515.00 square feet
- Profitable Space #1 8,325.00 square feet
- Promenade 5,335.00 square feet
- Loading and Unloading 982.50 square feet".

The project's objective is the development of a supermarket with a building made of steel and a parking area using the existing building.


Conclusions/ Recommendations:

"The area to be developed didn't show any evidence of pre-Hispanic nor historical materials on the surface that could be considered to be originally in the property. The property has been refilled, particularly the area that will be used as a parking lot. The existing facilities will not be demolished but extended through constructing an annexed building in the front and back areas, made of steel beams."

"The results of the archive investigation and a field visit were negative regarding significant materials on the surface. "We can then conclude, based on the previously mentioned results, that the area to be developed for this project has been severely impacted by human action. That said, lots have been cleaned up and severely affected by heavy machinery, and the terrain remains composed of sterile sandy clay with fill." Based on this data, the author requests an endorsement of the proposed project.

2. González Colón, Juan. *Archeological Evaluation [Phase 1A], Naguabo High School Project, Naguabo, Puerto Rico.* January 19, 1994.  
NG-94-02-07



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Localization/Description:

"The lots to be intervened with during the project's construction are located in a section of the urban area of the Municipality of Naguabo." The plot boundaries to be intervened with are as follows: on the north, undeveloped lots; on the east, a residential development; on the south, a section of the *Buenos Aires* Street; and on the west, undeveloped lots.

It has an approximate area of an approximately four (4) *cuerdas*, which is 3.88 acres; its topography is essentially flat with a slight slope on the south side. An intermittent creek with a course that goes from north to southeast is located on the western boundary; the creek receives rainwater and connects various stormwater channels from the urban area. A shallow overflow that originates in the central part of the lot discharges its intermittent flow into the adjoining creek."

Conclusions/Recommendations:

"The documentary investigation and the search or inspection carried out have demonstrated that no cultural resources exist in the property that will be developed." Based on the negative results obtained in Phase 1A, the author requests the endorsement of the project from the corresponding agencies.


3. Puerto Rico State Historic Preservation Office/ González Colón, Juan. *Archeological Evaluation (Phases IA-IB), Naguabo Central Housing Apartments, Municipality of Naguabo*. August 12, 1992. SHPO 08-13-92-01.

Localization/Description

"The land plot in which the residential project will be developed is located on the northeastern side of the urban center of the Municipality of Naguabo." The boundaries of the lot are the following: on the north, the municipal cemetery, and private lots; on the east, a municipal street; on the south and the east, lots occupied by residences of several neighbors.

The project to be developed will occupy a stretch of land that measures 2.09 acres; the remaining plot of land of 0.97 acres will be used for future development. The plot has a total extension of 3.06 acres. The study of archeological evaluation was performed, including this plot in its entirety."

The project contemplates the construction of five housing buildings with one (1), two (2), and three (3) bedrooms. Parking places, passive areas and all the necessary infrastructures will be built. The

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documentary investigation and the rigorous field testing have demonstrated a total absence of cultural resources in the plots to be developed."

The study's author requested the endorsement of the State Historic Preservation Office for this project.

4. Méndez Bonilla, Iván F. *Evaluation of Cultural Resources Phase IA, Project: El Hogar Adventista, Antonio Ríos St. #6, Barrio Pueblo, Naguabo, Puerto Rico.* January 21, 2008.  
NG-08-11-01

Location/Description:

"The proposed construction project site *El Hogar Adventista* is in front of Antonio Ríos Street in the eastern part of the urban zone of the Municipality of Naguabo, Puerto Rico. The land to be built on has an area of 0.62 *cuerdas* (equal to 2,457.74 square meters). The property is an empty land, and there is no evidence of any previous construction. Adjacent to the land on the north is the Adventist Church; on the west are residential lots, and on the south and east are empty lots."

"The Lambert coordinates of the site are:


X=226,100 E

Y=42,200 N

"The proposed project purpose is the development of residential facilities with 37 social interest apartment units for the elderly and physically handicapped with scarce resources. This project will be a gated community with an entrance on Antonio Ríos Street. The main or vehicular entrance to the project will lead to the main parking area, which includes spaces for twenty-four (24) vehicles and will provide facilities for dropping off and picking up residents. The parking lot is designed in compliance with the requirements established in Topic 9, Section 74.00 of *Reglamento de Zonificación de Puerto Rico*, including two (2) accessible parking spaces designed to comply with local requirements and those established in the *Americans with Disabilities Act*. Pedestrian accesses will connect this area with the rest of the project facilities, and appropriate slopes will be designed to allow the circulation of people with mobility difficulties."

"The project *El Hogar Adventista* contemplates designing and constructing a five-level structure. The first will include one apartment and the administrative and resident services facilities. The remaining



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four levels will house nine apartments per floor for thirty-seven (37) units. Two elevators and two stairs strategically placed in the building provide the facilities and services the project offers."

"Besides the administrative facilities, the project will have a social services facility, recreational areas, public restrooms, laundry, and storage areas for the residents. The project will include a potable water cistern with capacity for emergency services for the firefighters and an emergency electric generator with the capacity to supply basic needs for the project and facilities and personnel for maintaining the areas and the facilities."

#### Conclusions/Recommendations:

"After concluding the Phase 1A Archeological Evaluation for the proposed project "El Hogar Adventista, the investigation shows that there are **no archeological deposits in the site that should be protected from possible impact since there is no evidence of the site having been occupied in prehistoric or historic eras.**"

"The Phase 1A documentary evaluation did not provide information of a possible site with archeological or historical material and having undertaken the fieldwork without finding any evidence of materials associated with prehistoric or historical cultural groups, we do not request that the studies be extended to the proposed project site, for which we recommend your endorsement to this project."


5. Ethel V. Schlafer Román. Archeological Evaluation Phase I, Remodeling of the Town Plaza, Naguabo, Puerto Rico. October 5, 1998.  
NG-98-04-04/SHPO 04-14-99-11

#### Localization/Description:

"The public square (*plaza*) is in the center of the town. It borders to the South with Muñoz Rivera Street, to the north with Goyco Street, to the east with Baldorioty de Castro Street, and to the west with the Nuestra Señora del Rosario Catholic Church."

#### Conclusions/Recommendations:

"The results of the documentary investigation, as well as the fieldwork, reveal the presence of a dense cultural, historical deposit within the limits of the *plaza* and architectural elements associated with its original construction. Several hypotheses could explain the presence of said deposit, especially when the historical documentation indicates that the original *plaza* was located at a much lower level."

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1. For it to be a secondary deposit, used as a land refill in the *plaza*.
2. For it to be an in-situ deposit affected and removed by the intervention in the *plaza* during different periods."

On the other hand, it is possible that in said deposit (or underneath it) can be found the original floor of the *plaza* and other related architectonic elements, such as the aqueduct system of the Santiago River towards the center of the *plaza*."

"Based on the results of this investigation, it is recommended that a Phase II Archeological investigation be carried out to determine the potential of this deposit, its horizontal-vertical extension, and its archeological integrity. This phase should include, as a secondary objective, finding the original floor of the *plaza* and other structural elements. With the results of this Phase II study, it must be determined if the *plaza* is eligible to be in the National Register of Historic Places."


As part of the research methodology, interviews were also conducted to gather information on the surrounding structures that were occupied at the time. In recent months, five (5) people whose ages ranged from 55 to 80 years were interviewed.<sup>2</sup> The interviewees were people who lived, worked, and frequented the study area. In addition, we visited the "La Casa del Historiador" which translates to the Historian's House where we were able to interview Mr. Carlos Osvaldo Suarez from whom we obtained some of the historic images of the Traditional Urban Center of Naguabo included in this document. The questions covered topics such as: dates of construction, general information of the original structures, previous owners, and historical uses. Figure 4A is an inventory of various buildings around the APE. All comments and feedback provided by the people interviewed were included in the comments part of the table. Figure 8 shows the locations of the historic buildings listed in the municipality of Naguabo.

#### Identification of Historic Properties – Architecture

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<sup>2</sup> The people interviewed were Mr. Felix de León, Mrs. Pilar Quiñones, Mr. Martin Sánchez, and Carmen Luz Rivera.



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Existing information on previously identified historic properties has been reviewed to determine if any such properties are located within the APE of this undertaking. The review of this information by a Program contracted Historic Preservation Specialist meeting the Secretary of Interior's Qualification Standards (36 CFR Part 61) shows that the project area is within the traditional urban center of Naguabo (Figure #2) and is 0.01 miles north-east of the Nuestra Señora del Rosario Catholic Church (#1 Figure 1) which is in the NRHP.

A search of the U.S. Department of the Interior's National Register of Historic Places was conducted for the architectural evaluation. Within the study area, it was found that Nuestra Señora del Rosario Catholic Church was included in the NLHR, and as the closest historic place to the APE.<sup>3</sup> Other properties that are eligible to NRHS were also identified. (Refer to Figure 4A. Property Inventory of Naguabo's Urban Center).

This observation is aligned with the Archeological Evaluation Phase I, Remodeling of the Town Plaza, Naguabo, Puerto Rico. October 5, 1998. NG-98-04-04/SHPO 04-14-99-11, which identifies the presence of historical and cultural resources in the limits of the public square, (See Archaeological Report #5 listed on Page 8).


The Nuestra Señora del Rosario Church

Nuestra Señora del Rosario Catholic Church was registered in the NRHP on December 10, 1984, under NRIS: 84000456<sup>4</sup>. Although it is located to the southwest of the project, it is not directly adjacent to the Nuestra Señora del Rosario Catholic Church.

All works proposed are within the property limit lines of the Project and will not cause changes in the character or use of historic properties of the Nuestra Señora del Rosario Church or other identified eligible properties such as the Public Plaza. Refer to Figure 3 for an aerial view of all registered properties and other properties eligible for listing within the 0.25-mile radius. Refer to Figures 4 & 4A for additional information on surrounding structures that could be eligible for inclusion in the NRHP.

<sup>3</sup> NRIS: 84000456. December 10, 1984.

<sup>4</sup> Puerto State Historic Preservation Office. *Propiedades de Puerto Rico incluidas en el Registro Nacional de Lugares Históricos*. San Juan: Office of the Governor. November 20, 2020. 20.

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### *Estacionamiento Municipal* (Municipal Parking Garage)

The *Estacionamiento Municipal* structure was constructed near Naguabo's town square which is surrounded by the town hall, the municipal theater, and the Nuestra Señora del Rosario Church. Originally serving as a public transportation terminal and parking garage, it is now used by local law enforcement for parking official vehicles on the first level and the second level is in a state of abandonment and is currently not being utilized. The parking structure stands to the south of the Plaza del Mercado, a hub for commercial services in the Naguabo community, and to the west of the outdoor theater, which hosts cultural activities.

The APE of the Municipal parking garage structure is 0.01 miles west of the Nuestra Señora del Rosario Church, is 0.04 miles west of the NRHP eligible public square (*plaza*) (#2 Figure 3) and is 0.04 miles north of the of a financial local institution (Banco Popular; #7 Figure 3).

Although no longer utilized as a transportation terminal, the structure has the potential to be renovated to offer additional parking within the traditional urban center. The parking garage structure consists of a grid pattern of concrete columns and lintels, with parking spaces arranged between these columns. Two lanes provide parking spaces on both sides. However, the office area shows signs of decay, necessitating repairs to the upper-level structural floor slab. There are no distinctive architectural elements that exhibit unique artistic value. Doors, windows, bathroom wall tiles, floor tiles, and light fixtures have been replaced or need repairs.

According to aerial photographs taken, we can determine that the municipal parking structure is less than 45 years old and does not demonstrate elements of artistic value.


### Visual APE

After documenting views from to and from the site, this Report states that no view of the Nuestra Señora del Rosario Church is affected by the proposed project. Refer to Figure 9 for additional information.

### Surrounding Buildings – Architecture

Between June 6 and 9, 2023, a site visit was conducted through the urban area of Naguabo, visiting the structures identified in Figure 4. Like the archeological analysis, interviews with five (5) residents of the municipality, Mr. Félix de León, Mrs. Pilar Quiñones Fuentes, Mr. Martín Sánchez, and his wife Carmen Luz Rivera were held. They provided information about structures and their history based on



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their life experiences. The visit included access to the *Casa del Historiador*, where an informal conversation with local historian Carlos Suárez was held. He provided historical images of Naguabo's urban center which are included in the table shown in Figure 4A. All the data was recorded in a field book, including the information provided by the interviewees, who brought their own experiences or had contact with the original owners. All historical data was compared with other sources of information. Old photos of the properties were organized and included in this document, along with information gathered from the interviewees. Additional photos from other structures were taken, highlighting the architectural features and details from that era.

### Effect Determination

The National Register of Historic Places (NRHP) inclusion criteria 36 CFR Part 63, established by the National Park Service, was used as a reference to evaluate the existing building of the marketplace and other structures surrounding the APE.

The municipal parking garage has a documented existence of less than 45 years. This is supported by photographic records from 1990-1991. These records are included in this document to substantiate the historical context. Refer to Figure 10 & 11. The parking structure does not meet standards for inclusion in the NRHP under any criterion.


After careful examination of the gathered information and thorough review of the archaeological studies, it has been concluded that the project, which does not involve any excavations within its scope of work, will have no adverse effect on Archaeological Resources and Potential for Intact Deposits will not require archeological monitoring.

Additionally, after a comprehensive assessment of the Municipal parking garage's architectural features, surrounding context, and date of construction, it has been determined that while the building is located within the boundaries of the Naguabo's traditional urban center (Figure 2) it lacks the distinctive characteristics that would render it eligible for historic designation.

### Determinations

The following historic properties have been identified within the APE:

- Direct Effect:

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- Architecture - None of the elements to be replaced in the structure have any historical value. No view of historic sites or buildings will be affected. The project will not have an adverse direct effect on the existing structure or its surrounding structures.
  - Archaeology – After analysis and consideration of the available information, including four comprehensive studies conducted in the project area that have consistently yielded no evidence of cultural resources, we can confidently conclude that the proposed project location will not have an adverse direct effect on any known Archaeological Resources. Although there are some surface improvements proposed in the undertaking, there will be no excavations or ground disturbances of undeveloped soils carried out as part of the project.
- Indirect Effect:
  - Architecture – The proposed works will not have an adverse indirect effect on the properties surrounding the APE.
  - Archaeological - The proposed works will not have an adverse indirect effect on the known deposits surrounding the APE.

Recommendation *(Please keep on same page as SHPO Staff Section)*


The Puerto Rico Department of Housing requests that the Puerto Rico SHPO concur that the following determination is appropriate for the undertaking (Choose One):

- ☐ No Historic Properties Affected  
☒ No Adverse Effect  
     Condition (if applicable):  
☐ Adverse Effect  
     Proposed Resolution (if applicable)

This Section is to be Completed by SHPO Staff Only

The Puerto Rico State Historic Preservation Office has reviewed the above information and:  <input type="checkbox"/> Concurs with the information provided. <input type="checkbox"/> Does not concur with the information provided.
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Comments:		
Carlos Rubio-Cancela State Historic Preservation Officer		Date:

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Figure 1. Project (Parcel) Location – Area of Potential Effect Map (Aerial)





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Figure 2. Project (Parcel) Location - Aerial Map

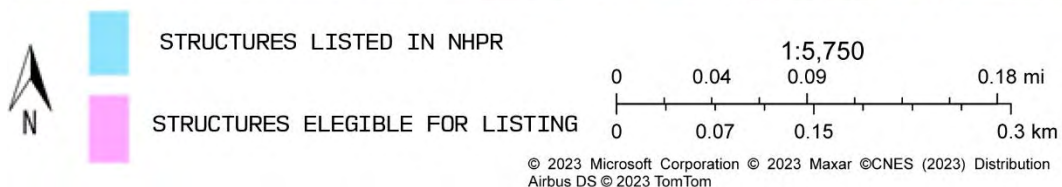


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Figure 3. Project (Parcel) Location – Historic Properties



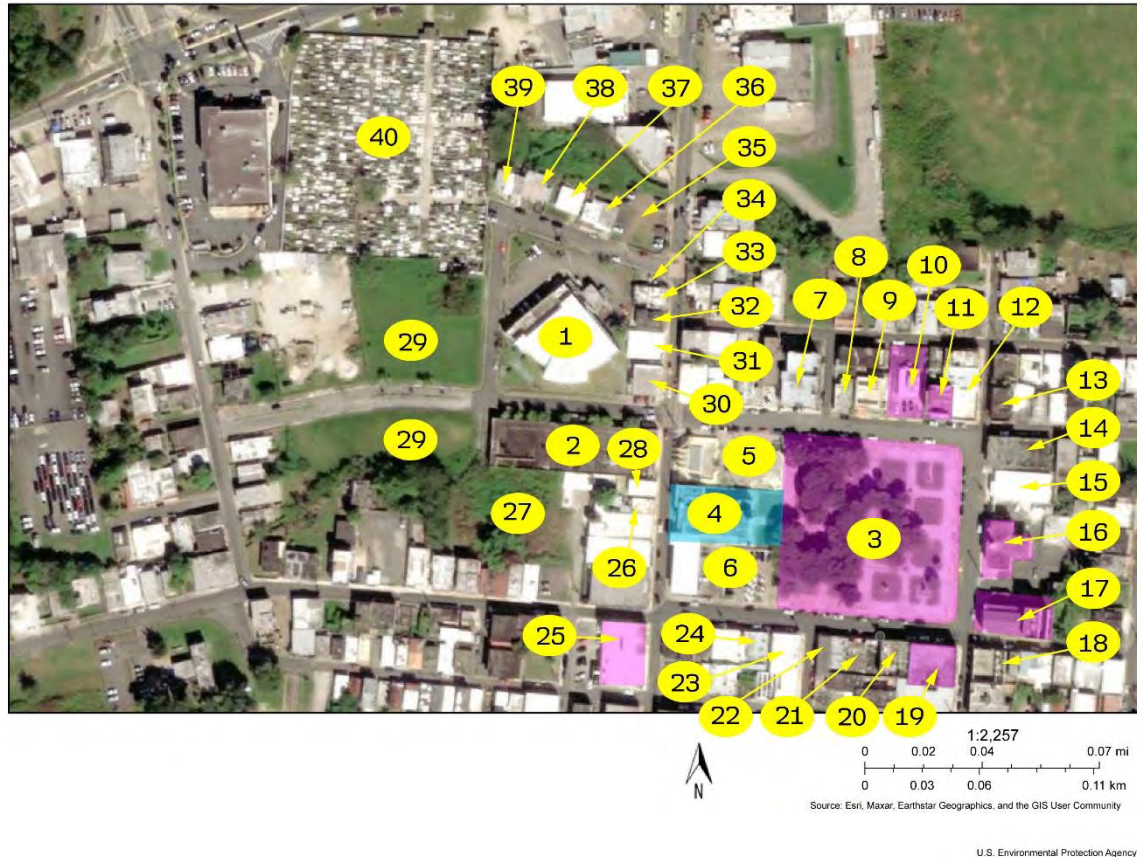


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Figure 4. Key Plan of **Property Inventory of Naguabo's Urban Center**



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Figure 4A. **Property Inventory of Naguabo's Urban Center**

1 PLAZA DEL MERCADO  
256-013-001-09  
Lat: 18.21292823, Lon: -65.73647730

Inaugurated in 1972. According to the interviewees, before the construction of the Marketplace, the place was a "wooded area" or a "vacant lot," and there was only a "wood and zinc structure used as a garage", which was later destroyed by a fire in 1964.

The structure could be eligible for listing due to unique artistic elements displayed in the Goyco street façade but it is important to note that all windows, doors, ceilings, bathrooms and other finishes, and other elements have been altered. Exterior walls have been altered to install air conditioning units.

The building is adjacent to the boundaries of a designated Historic Zone or city plaza and could be eligible under Criterion C.



2 ESTACIONAMIENTO MUNICIPAL  
256-013-052-06  
Lat: 18.21237734, Lon: -65.73643706

Before the construction of the municipal parking lot, there was a wooden house that belonged to Pepe Ocasio and Marta. The municipal parking lot, according to the neighbors, was built about 30 years ago.





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2.1 Ocasio Residence – Photo obtained from Local Naguabo Historian, Carlos Suárez.

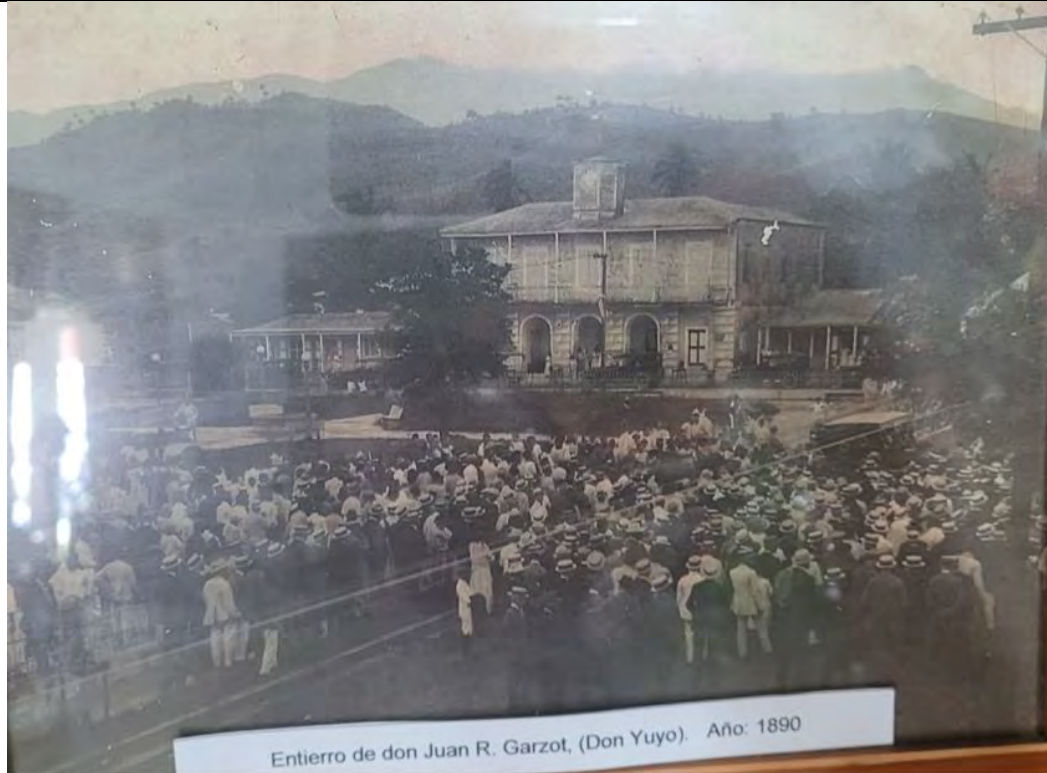
3 PLAZA PUBLICA  
256-013-014-02  
Lat: 18.21203100, Lon: -65.73509116  
  
The Municipal Plaza is individually eligible for listing under Criterion D



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3.1 Public Plaza– Don Juan R. Garzot funeral in 1890. Photo obtained from local Naguabo historian, Carlos Suárez

4 NUESTRA SEÑORA DEL ROSARIO CHURCH  
256-013-014-04  
Lat: 18.21207025, Lon: -65.73574464

The Church's main structure was built in 1856, and the façade was remodeled in 1858 according to plans by engineer Mariano Bosch. The bell tower was added in 1913. The façade is divided into three vertical naves separated by Doric pilasters in colossal order. The central area is the main entrance, which is accentuated by the bell tower.

The building is listed in the National Register of Historic Properties.



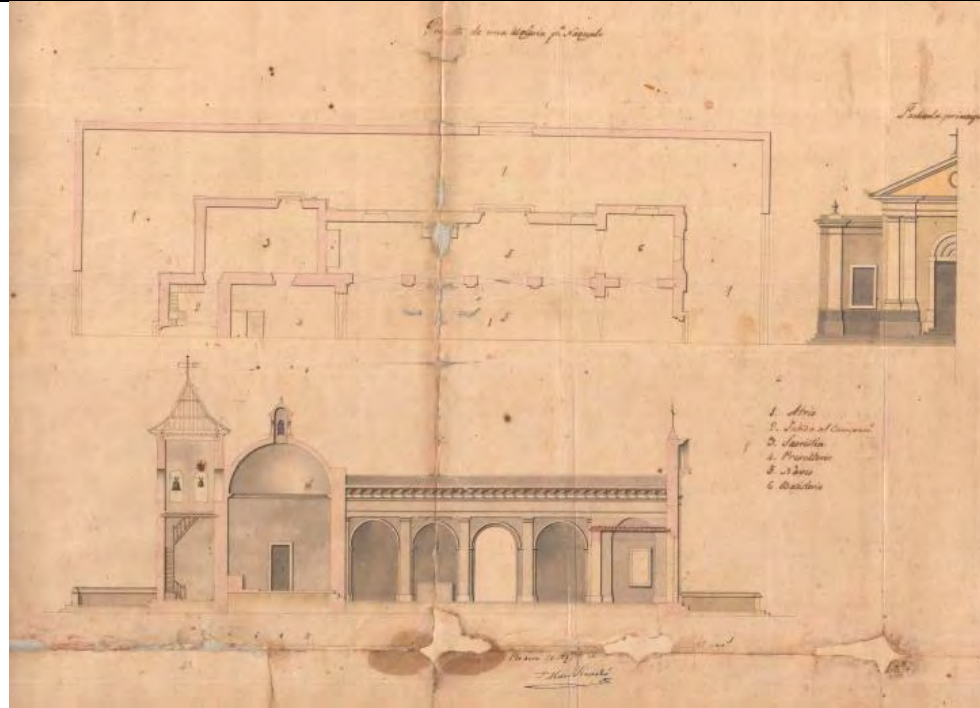




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4.1 Drawings from 1858 of the Church found in the digital archive

<https://archivonacional.com/PL/1/1/5426>

5 OUTDOOR THEATER  
256-013-014-01  
Lat: 18.21232128, Lon: -65.73572429

The building is within the boundaries of a designated Historic Zone or city plaza. Currently being renovated but does not possess characteristics that would make it eligible.





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6 CHURCH RESIDENCE/OFFICES  
256-013-014-03  
Lat: 18.21182361, Lon: -65.73575736

In 1972, in the first level, a Catholic School was inaugurated.

The building is within the boundaries of an eligible or listed NRHP historic district but does not possess characteristics that would make it eligible.



7 RESIDENCE / PHARMACY  
256-013-005-05  
Lat: 18.21268863, Lon: -65.73539665

Built around the year 1975 by the former mayor Serafin Meléndez, who was a pharmacist. (C. Suarez) The building housed a pharmacy. Currently, the ground floor of the building is a pharmacy.

Building is within the boundaries of a designated Historic Zone or city plaza.





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8 RESIDENCE  
256-013-006-10  
Lat: 18.21261408, Lon: -65.73521066

According to its current owner, the house was built 100 years ago. "It was constructed with stone and brick on wood column foundations because a stream used to pass near the house. That stream was connected to the water source of the square." (C. Suarez).

The building is within the boundaries of a designated Historic Zone or city plaza and could be eligible under Criterion C.



9 RESIDENCE  
256-013-006-09  
Lat: 18.21260447, Lon: -65.73507916

As relayed by the present owner, this house was constructed roughly 70 years ago. The existing house occupies the very spot where Doña Inés Mendoza, wife of Luis Muñoz Marín, once called home. The original house where she was born and lived was made of wood and no longer exists.

Currently, the two-level structure houses a flower shop and a small museum about the history of the municipality, and it is called "The House of the Historian."

The building is within the boundaries of a designated Historic Zone or city plaza.



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9.1 In the photo, you can observe the wooden house where Inés Mendoza lived, which is next to the old town hall (a two-story building). The photo was taken in 1856. Photo obtained from local Naguabo historian, Carlos Suarez.





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9.2 In this photo taken in 1913, you can also observe the wooden house where Inés Mendoza lived, which is next to the old town hall (a two-story building). Photo obtained from local Naguabo historian, Carlos Suarez

10 POLICE STATION  
256-013-006-02  
Lat: 18.21265992, Lon: -65.73491963

The site where the current police station is located used to be the site of the old town Hall (19th century). Later, in the same location, in the 20th century, the old Fire Station was built. It is currently used as a Police Station. The Fire Station was called the "Insular Fire Service" (Photo10.1) and later "Parque de Bombas" (Firehouse) (Photo10.2).

The building is within the boundaries of a designated Historic Zone or city plaza and displays unique artistic elements. Building is individually eligible for listing under Criterion C



10.1 The photo illustrates the Fire Station with the name "Insular Fire Service". Photo obtained from local Naguabo historian, Carlos Suárez.

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10.2 The photo illustrates the Fire Station with the name "Parque de Bombas". Photo obtained from local Naguabo historian, Carlos Suarez.

11 LOS CABALLEROS DEL BIEN LODGE  
256-013-006-08  
Lat: 18.21256803, Lon: -65.73479137

"The lodge was composed of a group that helped people with low resources. It was built between the years 1912 and 1916," according to historian Osvaldo Suárez.

Currently, it is an abandoned building. The building is within the boundaries of a designated Historic Zone or city plaza. Building is individually eligible for listing under Criterion C.





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12 LOCAL MERCHANTS  
256-013-006-11  
Lat: 18.21256195, Lon: -65.73466112

"It was built around 45 to 50 years ago. It used to be a billiard hall, bar, and butcher shop. In the late 19th century, there was a wooden structure that served as the Garzot family's textile store" (C. Suarez). Photo 12.1

The building is within the boundaries of a designated Historic Zone or city plaza.



12.1 Photo of the textile store. Photo obtained from local Naguabo historian, Carlos Suarez.

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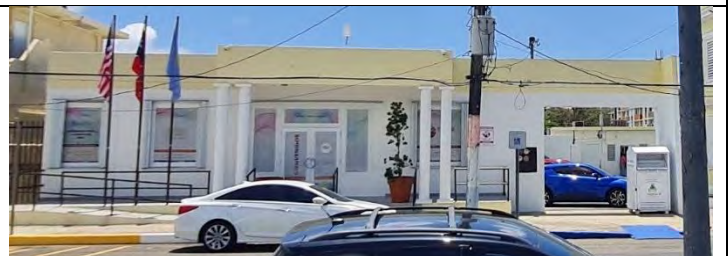
- 13 RESIDENCE  
256-013-007-21  
Lat: 18.21257279, Lon: -65.73448541
- The owners of the two-level structure were the García Leduc family, who lived on the second level, while the first level was a business where "ice cream and hamburgers were sold." It was known as "La Placita" and was a place where people used to gather and socialize with friends (F. De León and P. Quiñones).
- The building is within the boundaries of a designated Historic Zone or city plaza.
- The property possesses some aspects of integrity sufficient to convey historic significance and the building could be individually eligible for listing under Criterion C.




- 14 LOCAL MERCHANT  
256-013-015-01  
Lat: 18.21235084, Lon: -65.73440042
- Before its construction, there was a wooden house. The cement structure was built around 60 years ago (C. Suarez). Initially, it was the Public Health Unit, and its director was Dr. Franceschi. Then it became Doña Ana Cotto Benitez's Bazaar, and finally, it became a bar managed by Doña Ana Cotto's son. It has always been a two-story building (F. De León).
- Building is within the boundaries of a designated Historic Zone or city plaza.



- 15 NEW MAYOR'S OFFICE  
256-013-015-16  
Lat: 18.21218373, Lon: -65.73441468
- Originally, it was a wooden house where Don Enrique Rivera, a merchant, lived. By the 1980s, the wooden house was still





PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CITY-REV) Section 106 NHPA Effect Determination		 GOVERNMENT OF PUERTO RICO DEPARTMENT OF HOUSING
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	<p>standing. The current structure was built in the modern era.</p> <p>The building is within the boundaries of a designated Historic Zone or city plaza.</p>	
16	<p><b>MAYOR'S OFFICE</b>            256-013-015-15            Lat: 18.21194937, Lon: -65.73438854</p> <p>The City Hall was inaugurated at the beginning of the 20<sup>th</sup> century in the year 1918, according to historian Carlos Suarez.</p> <p>The building is within the boundaries of a designated Historic Zone or city plaza and is individually <u>eligible</u> for listing under Criterion C.</p>	

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16.1 Photo of the town hall taken in the early 1970s. Photo obtained from local Naguabo historian, Carlos Suárez.

17 RESIDENCE  
256-013-015-13  
Lat: 18.21162213, Lon: -65.73443945

Built in 1920, the theater's main facade is documented in the Puerto Rico Historic Buildings Drawings Society and remains unaltered. The stage area was added in the 1990s and the interiors were renovated. The main facade remains the only original feature from 1920s.

The building is within the boundaries of a designated Historic Zone or city plaza and is individually eligible for listing under Criterion C.

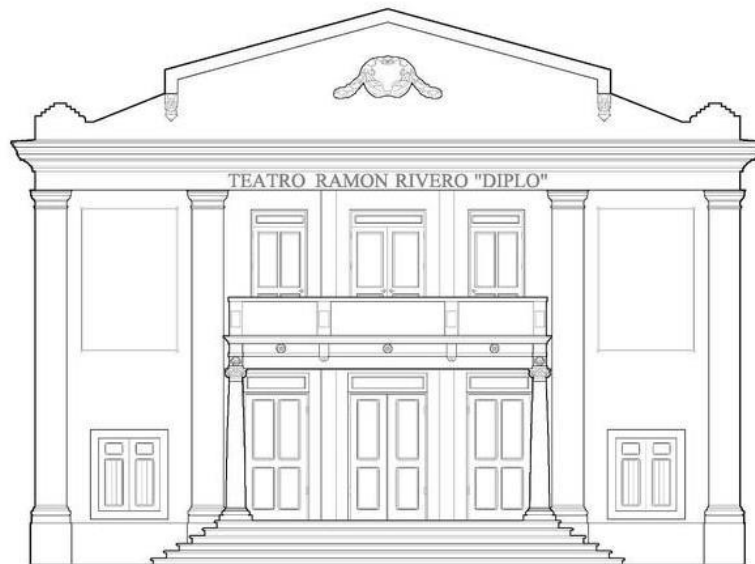




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17.1 Image taken from the webpage <https://www.prhbd.org/naguabo> of the Puerto Rico Buildings Drawings Society.

18 RESIDENCE  
256-013-024-01  
Lat: 18.21143141, Lon: -65.73451932

The building belonged to the pharmacist Don Leoncio Díaz and his wife Doña Carmen. They resided on the second level, while the first level had a pharmacy known as "La Farmacia Díaz". The existing structure is abandoned.

Building is within the boundaries of a designated Historic Zone or city plaza.



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18.1 Building can be seen on the far left. It is unknown when this photo was taken. Photo obtained from local Naguabo historian, Carlos Suarez.





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18.2 In this image the pharmacist Don Leonicio Diaz, owner of the pharmacy Diaz. Photo obtained from local Naguabo historian, Carlos Suarez.

19 LOCAL MERCHANT  
256-013-023-03  
Lat: 18.21136854, Lon: -65.73482645

According to a plaque on the building, it was constructed in 1915. Although it was remodeled in 1961 the building has retained most of the original architectural features in the exterior. The second level was a residence, while the first level was used as a commercial space. By 1953, the municipal Police Station was located on the second level (on the right side of the second level). Currently, there is a lawyer's office on the second level. The flooring is made of wood, and the wooden beams can still be seen on the ceiling. The building retains many original elements.

The building is within the boundaries of a designated Historic Zone or city plaza and is individually eligible for listing under Criterion C.



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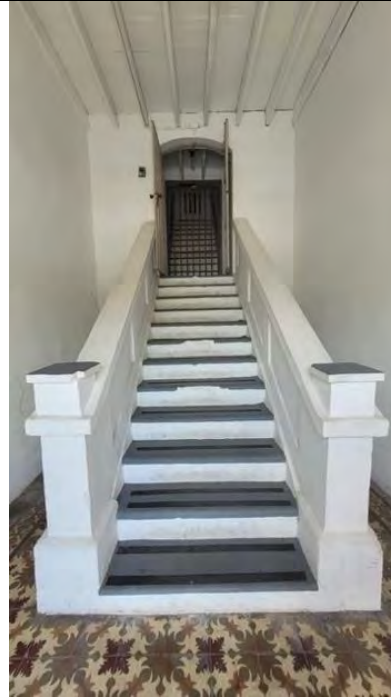
**Case ID: PR-CRP-001011/Mejoras al Estacionamiento Público del Municipio de Naguabo**

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19.1 A portion of the building can be seen on the far right. It is unknown when this photo was taken. Photo obtained from local Naguabo historian, Carlos Suarez.



19.2 Corner ornament. Photo obtained from local Naguabo historian, Carlos Suarez.



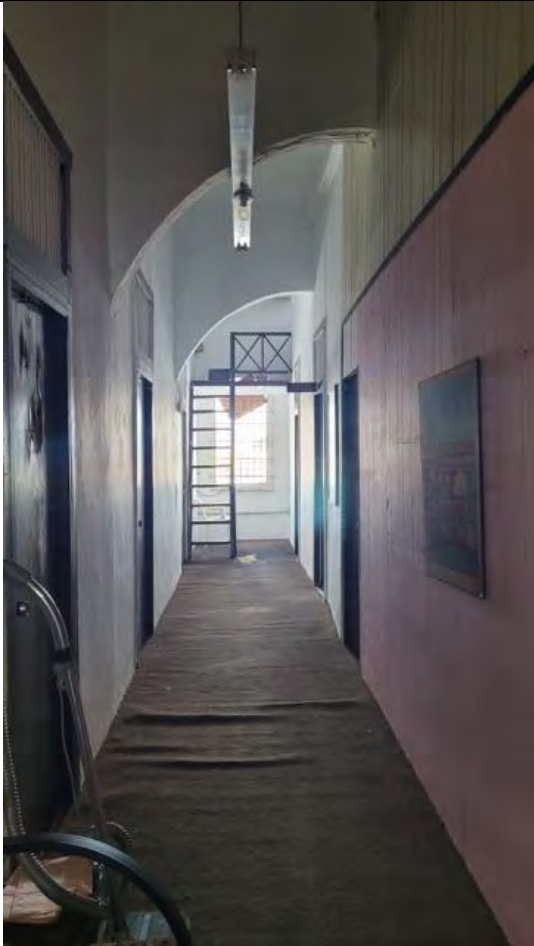
19.3 Staircase in the interior



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19.3 Staircase in the interior



19.4 Interio courtyard

20 LOCAL MRCHANT & RESIDENCE  
256-013-023-02  
Lat: 18.21144911, Lon: -65.73500099

Built between 1901 and 1902 was used as a restaurant, bar, and billiard hall.

The property does not possess aspects of integrity sufficient to convey historic significance. The building is within the boundaries of a designated Historic Zone or city plaza.



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21 LOCAL MERCHANT  
256-013-023-08  
Lat: 18.21144224, Lon: -65.73517542

An old residence from the early 20th century that belonged to the pharmacist Don Ángelo Fernández and his family. "It was a house that had a Greek garden inside, with fountains, columns with grapes, and rose bushes" (F. De León). The property does possess some aspects of integrity sufficient to convey historic significance.



22 LOCAL MERCHANT  
256-013-023-09  
Lat: 18.21147316, Lon: -65.73530424

The building was used as a pharmacy. It belonged to the pharmacist Don Ángelo Fernández, who lived in a house right next to it. It was called the "New Pharmacy."

The building is within the boundaries of a designated Historic Zone or city plaza and could be eligible under Criterion C.



23 LOCAL MERCHANT  
256-013-022-04  
Lat: 18.21141850, Lon: -65.73549521

Residence built in the late 19th century. Its original owner was named Don Manuel Marques (C. Suarez). Later, it became a department store that sold furniture, household items, shoes, clothing, and hardware materials.

The building is within the boundaries of a designated Historic Zone or city plaza and could be eligible under Criterion C.



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- 24 LOCAL MERCHANT  
256-013-022-03  
Lat: 18.21150105, Lon: -65.73562074
- The pharmacy originally belonged to the former mayor Serafin Meléndez. However, when he was elected as mayor, he had to relinquish ownership of the pharmacy. Subsequently, it was acquired by another owner and is now known as Freddy Pharmacy.
- The property does not possess aspects of integrity sufficient to convey historic significance, but the building is within the boundaries of a designated Historic Zone or city plaza.



- 25 BANK  
256-013-021-01  
Lat: 18.21148376, Lon: -65.73626537
- The structure was built in 1910. This date is recorded on a tile in front of the building. The second level was used as a residence, while the first level was used for commercial purposes. In the 1930s, there was a clothing store. The owners of the store were Don Pepe Rivera and Doña Mercedes Rivera Ojeda. In 1992, the first level was used as the Municipal Court. Currently, it is used as bank.
- Building is individually eligible for listing.





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26 LOCAL MERCHANT

256-013-001-11

Lat: 18.21212105, Lon: -65.73621810

It was a residence and belonged to the family of Don Pepe Rivera. Before its construction, it was a wooden house where the nuns and the priest of the church used to live.

The property does not possess aspects of integrity sufficient to convey historic significance.



27 EMPTY LOT

256-013-052-14

Lat: 18.21216575, Lon: -65.73655648

According to neighbors, the lot has always been empty.

The lot is adjacent to the boundaries of an eligible or listed NRHP historic district

No structure to evaluate for eligibility.





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28 RESIDENCE  
256-013-001-10  
Lat: 18.21220370, Lon: -65.73615039

Originally, there was a wooden house where the nuns and the priest of the church used to live (there were two wooden houses, this one and #26). This house burned down. The existing structure was built to be a residence. Building is within the boundaries of an eligible or listed NRHP historic district.

The property does not possess aspects of integrity sufficient to convey historic significance.



29 EMPTY LOT  
256-012-012-14  
Lat: 18.21273168, Lon: -65.73737409  
According to neighbors, the lot has always been empty.



30 LOCAL MERCHANT  
256-013-001-08  
Lat: 18.21265281, Lon: -65.73611329

Modern building located is within the boundaries of an eligible or listed NRHP historic district.

The property does not possess aspects of integrity sufficient to convey historic significance.





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31		<p>RESIDENCE 256-013-001-09 Lat: 18.21280973, Lon: -65.73610452</p> <p>Modern building located is within the boundaries of an eligible or listed NRHP historic district.</p> <p>The property does not possess aspects of integrity sufficient to convey historic significance.</p>	
32		<p>RESIDENCE 256-013-001-06 Lat: 18.21292678, Lon: -65.73609790</p> <p>Modern building located is within the boundaries of an eligible or listed NRHP historic district.</p> <p>The property does not possess aspects of integrity sufficient to convey historic significance.</p>	





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33 RESIDENCE  
& 256-013-001-05  
34 256-013-001-04

Lat: 18.21302197, Lon: -65.73609115  
Lat: 18.21310025, Lon: -65.73609523

Modern building located is within the boundaries of an eligible or listed NRHP historic district.

The property does not possess aspects of integrity sufficient to convey historic significance. (Two properties were joined)



35 EMPTY LOT  
256-013-052-16

Lat: 18.21331761, Lon: -65.73614017

Lot is adjacent to the boundaries of an eligible or listed NRHP historic district.



36 256-013-052-13

Lat: 18.21339125, Lon: -65.73632186

Modern building located in area adjacent the boundaries of an eligible or listed NRHP historic district.

The property does not possess aspects of integrity sufficient to convey historic significance. (Two properties were joined)








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37	<p>RESIDENCE</p> <p>256-013-052-12</p> <p>Lat: 18.21343726, Lon: -65.73646489</p> <p>Modern building located in area adjacent the boundaries of an eligible or listed NRHP historic district.</p> <p>The property does not possess aspects of integrity sufficient to convey historic significance. (Two properties were joined)</p>	
38	<p>RESIDENCE</p> <p>256-013-052-18</p> <p>Lat: 18.21359629, Lon: -65.73649027</p> <p>Modern building located in area adjacent the boundaries of an eligible or listed NRHP historic district.</p> <p>The property does not possess aspects of integrity sufficient to convey historic significance. (Two properties were joined)</p>	
39	<p>RESIDENCE</p> <p>256-013-052-03</p> <p>Lat: 18.21359525, Lon: -65.73673616</p> <p>Modern building located in area adjacent the boundaries of an eligible or listed NRHP historic district.</p> <p>The property does not possess aspects of integrity sufficient to convey historic significance. (Two properties were joined)</p>	

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40 MUNICIPAL CEMETERY

256-012-052-07

Lat: 18.21366173, Lon: -65.73727202

At the entrance to the cemetery, there is a date from 1914. However, there are brick masonry tombs of people who were buried in the late 19th century. One of the brick tombs belongs to a person who died in 1856. This date coincides with the time of the church's foundation.

In the center of the cemetery, you can find the oldest structure, which is the mausoleum built in brick masonry. Inside, there is a small altar, and the interior walls are covered with tiles. The floor appears to be the original one, with marble tiles. Sadly, it is in a deteriorated state, and bushes/trees are growing on the roof, with their roots penetrating the brick walls

The cemetery itself could be listed under Criterion C

The mausoleum could be listed under Criterion A and Criterion D due to its age and architectural detail.





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40.1 The mausoleum located in the center of the cemetery with engraved date of 1856.



40.2 Entrance arch to the mausoleum. Bricks in walls are visible along with deteriorated metal gates.

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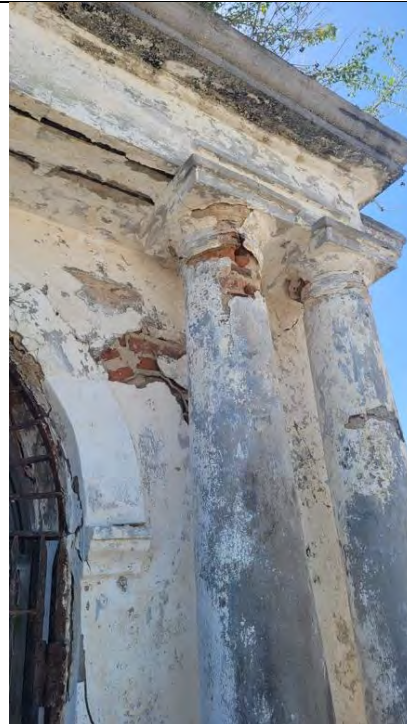
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40.3 Perimeter gates around mausoleum.



40.4 Perimeter gates around mausoleum.



40.5 Perimeter gates around mausoleum.



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40.6 Tombstones in one of the mausoleum walls.



40.7 View of the interior of the mausoleum.



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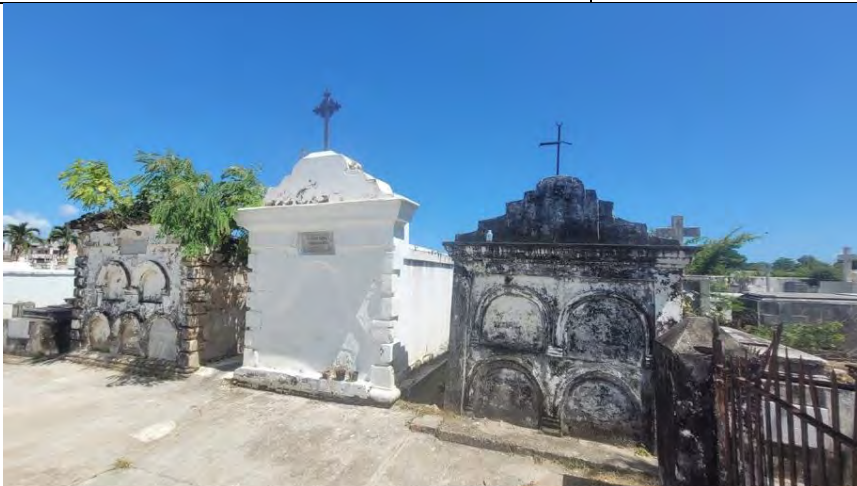
**Project ID: PR-CRP-001011**



40.8 Tombstones in the interior of the mausoleum with the date of 1856.



40.9 The date recorded in the entrance of the municipal cemetery.

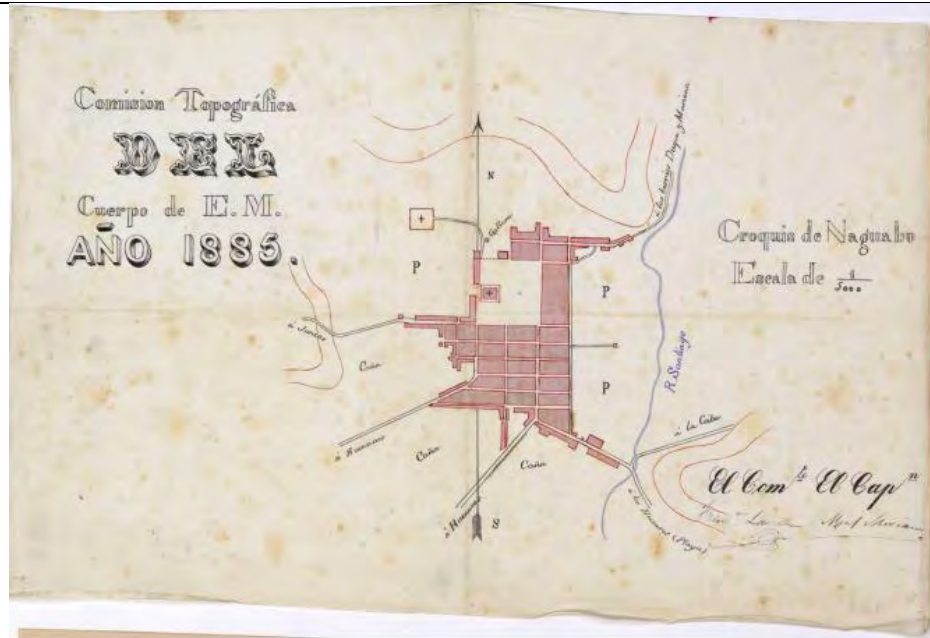


40.10 Other tombs built in the 19<sup>th</sup> century with similar brick masonry construction.

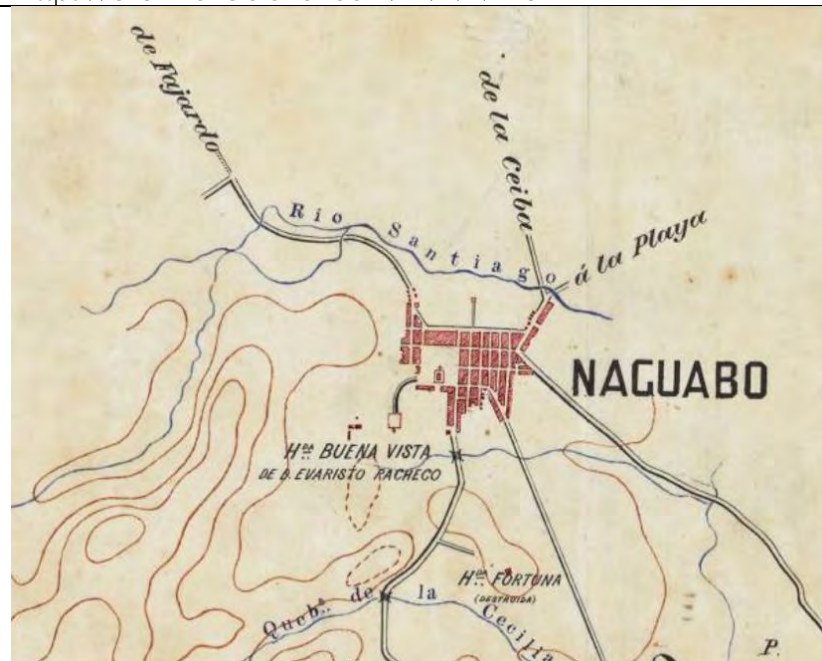
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40.11 Map of Naguabo from 1885 with the cemetery. Map obtained from the National Digital Archive <https://archivonacional.com/PL/1/1/1137>



40.11 Map of Naguabo from 1891 with the cemetery. Map obtained from the National Digital Archive <https://archivonacional.com/PL/1/1/1137>

Figure 5. Project (Parcel) Location - USGS Topographic Map

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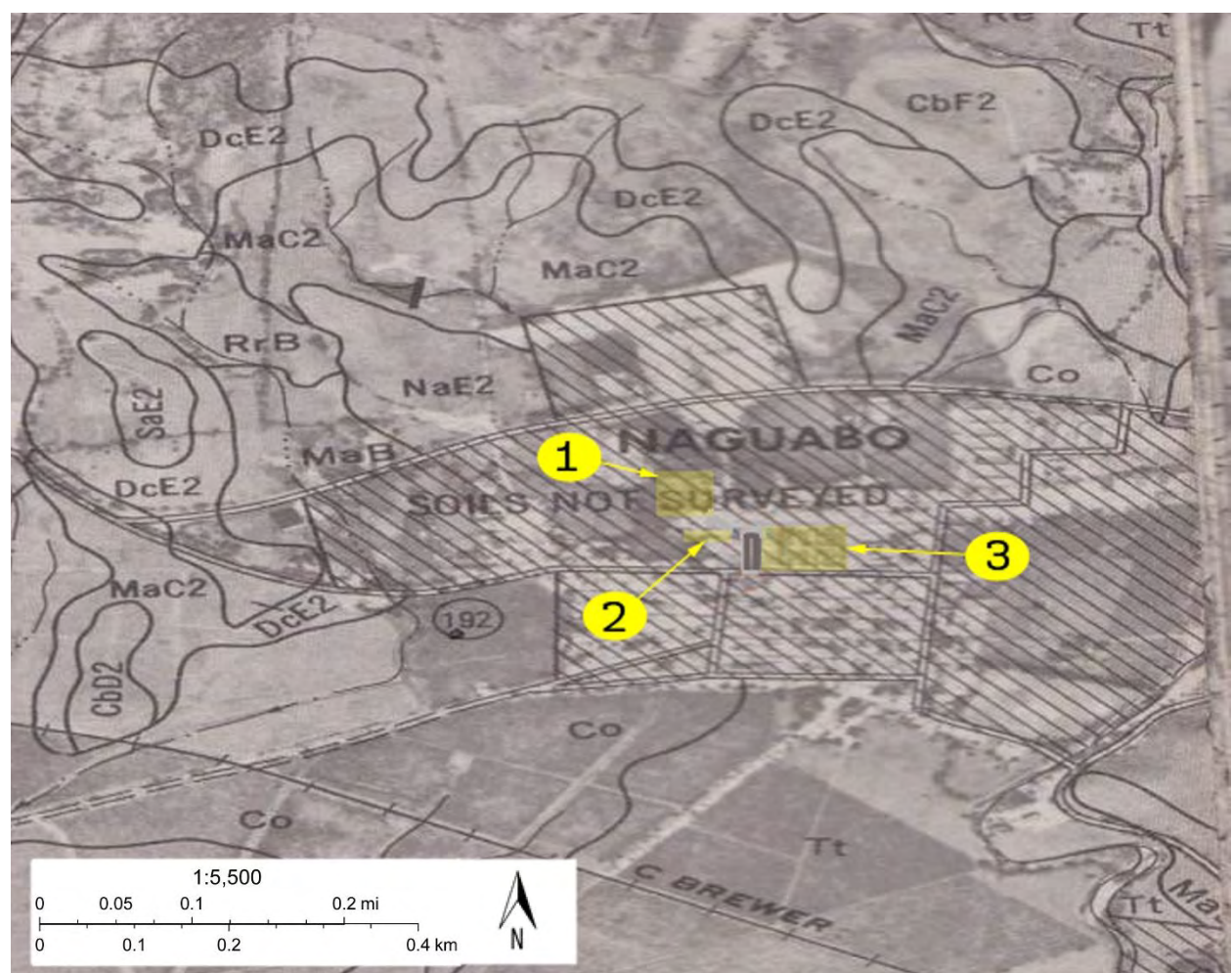
Figure 6. Project (Parcel) Location – Soils Map



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The United States Geologic Services has not surveyed the soils where the proposed projects are located. The USGS does not survey urban soils.

1. Plaza del Mercado
2. Estacionamiento Municipal
3. Plaza Pública

Figure 7. Project Location with Previous Investigations - Aerial Map

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1:5,750  
0 0.04 0.09 0.18 mi  
0 0.07 0.15 0.3 km

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Obtained from the map archives of the office of photogrammetry of Autoridad de Carreteras y Transportación (ACT).

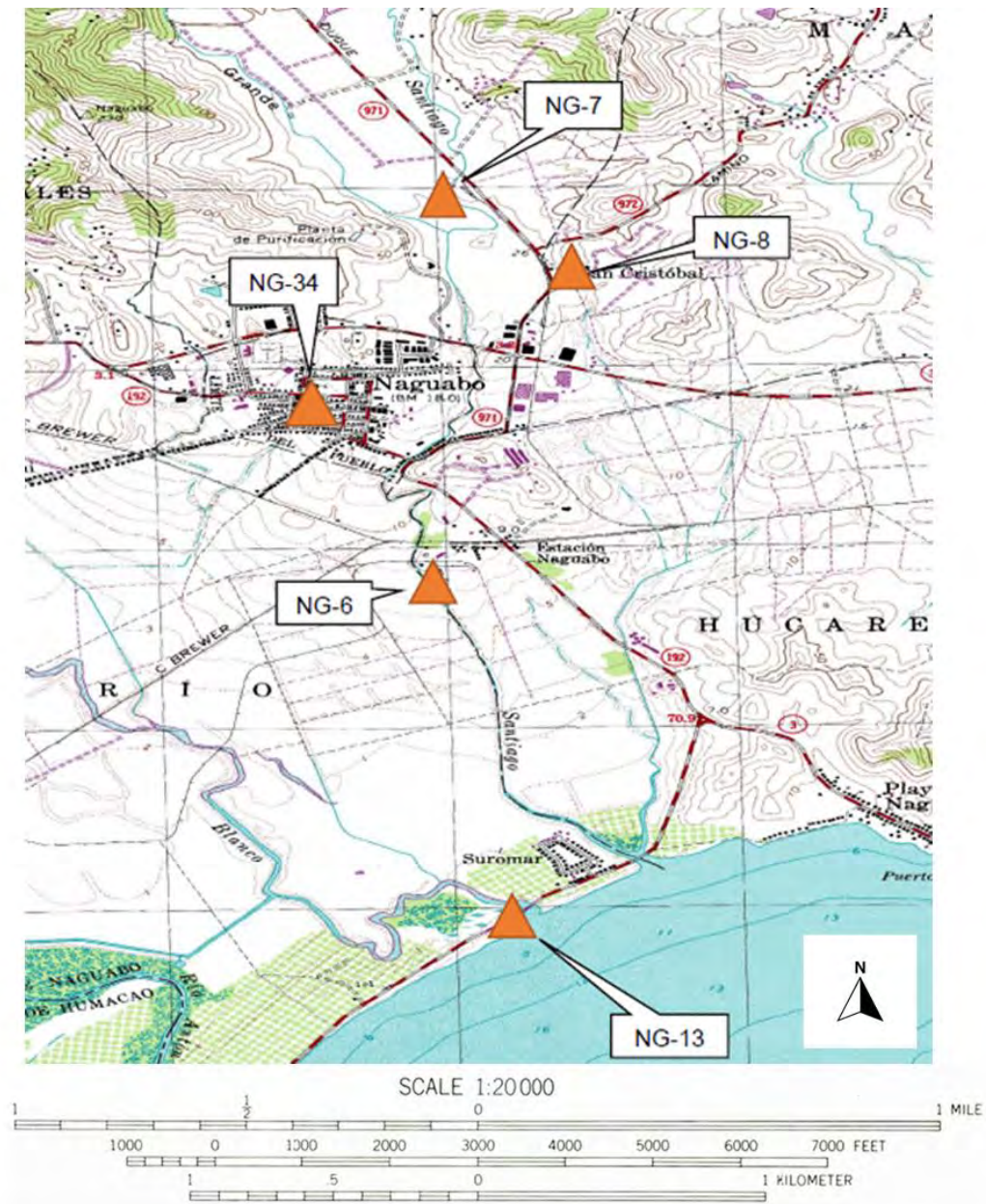


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Figure 8. Project (Parcel) Location with Previously Recorded Cultural Resources  
USGS Topographic Map



Obtained from the map archives of the office of photogrammetry of ACT.

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NG-6 Historic Colonial 19th Century. Sugar Mill and railway bridge. Located in Barrio Rio. *Colonial Histórico Siglo XIX Hacienda. Molino Central Azucarera. Puente ferroviario de acero. Localizado en el barrio Rio.*

NG-7 Historic Colonial 19th Century. Steel bridge located in Barrio Maizales. Colonial Histórico Siglo XIX. Puente de hierro. Localizado en el barrio Maizales

NG-8 Historic Colonial 19th Century. Residential structure from the 19<sup>th</sup> century located in Barrio Mariana. Colonial Histórico Siglo XIX. Estructura residencial de mediados del siglo 19. Localizada en el barrio Mariana

NG-13 Petroglyph found in Barrio Rio Blanco. No cultural association. *Petroglifo localizado en el barrio Río Blanco. No tiene asociación cultural*

NG- 34 Nuestra Sra. Del Rosario Church



**Subrecipient: Municipality of Naguabo**

**Case ID: PR-CRP-001011/Mejoras al Estacionamiento Público del Municipio de Naguabo**

**Project ID: PR-CRP-001011**

Figure 9. Photograph Key of View Shed (See photos below)



1:1,500

0 0.01 0.03 0.06 mi  
0 0.03 0.05 0.1 km

© 2023 Microsoft Corporation © 2023 Maxar ©CNES (2023)  
Distribution Airbus DS © 2023 TomTom

PHOTOKEY

Description: AERIAL VIEW

**Subrecipient: Municipality of Naguabo**

**Case ID: PR-CRP-001011/Mejoras al Estacionamiento Público del Municipio de Naguabo**

**Project ID: PR-CRP-001011**



Photo #: 1

Description: Exterior view of the East façade taken from Garzot street in front of the Outdoor Theater

Date: 5/02/2023

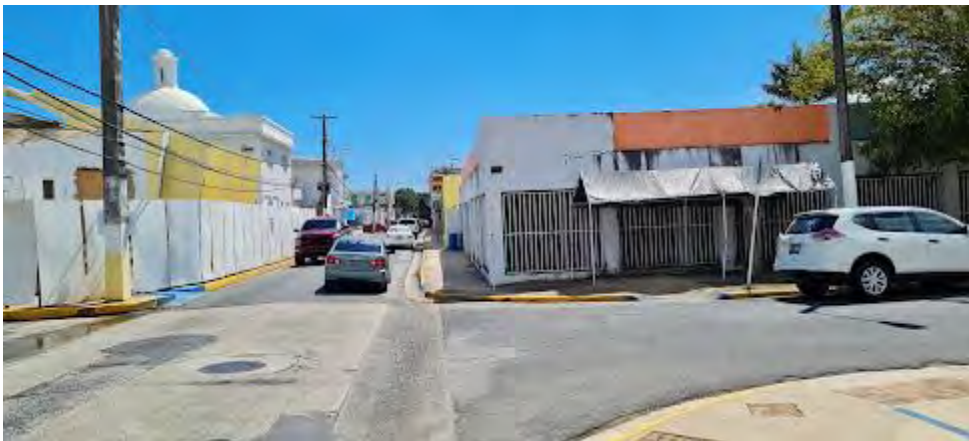


Photo #: 2

Description: Exterior view of the corner of Goyco and Garzor street.

Date: 5/07/2022



**Subrecipient: Municipality of Naguabo**

**Case ID: PR-CRP-001011/Mejoras al Estacionamiento Público del Municipio de Naguabo**

**Project ID: PR-CRP-001011**



Photo #: 3

Description: Drone picture taken from the North side of the structure. Upper-level concrete slab damage visible

Date: 5/07/2022



Photo #: 4

Description: Partial exterior view of the North side pedestrian entrance

Date: 5/07/2022

**Subrecipient: Municipality of Naguabo**

**Case ID: PR-CRP-001011/Mejoras al Estacionamiento Público del Municipio de Naguabo**

**Project ID: PR-CRP-001011**



Photo #: 5

Description: Partial exterior view of the North side façade of the structure.

Date: 9/14/2022



Photo #: 6

Description: Partial exterior view of the north side façade of the structure.

Date: 9/14/2022



**Subrecipient: Municipality of Naguabo**

**Case ID: PR-CRP-001011/Mejoras al Estacionamiento Público del Municipio de Naguabo**

**Project ID: PR-CRP-001011**



Photo #: 7

Description: Exterior view from empty lot located northwest of the structure

Date: 9/14/2022



Photo #: 8

Description: Exterior view of the west side façade.

Date: 9/14/2022

**Subrecipient: Municipality of Naguabo**

**Case ID: PR-CRP-001011/Mejoras al Estacionamiento Público del Municipio de Naguabo**

**Project ID: PR-CRP-001011**



Photo #: 9

Description: Drone photo of the west side upper level.

Date: 9/14/2022



Photo #: 10

Description: Exterior view of the South side façade of the structure.

Date: 9/14/2022



**Subrecipient: Municipality of Naguabo**

**Case ID: PR-CRP-001011/Mejoras al Estacionamiento Público del Municipio de Naguabo**

**Project ID: PR-CRP-001011**



Photo #: 11

Description: Drone photo of the vehicular ramp on the Southeast side of the structure.

Date: 9/14/2022



Photo #: 12

Description: Drone photo of the booth located on the upper level.

Date: 9/14/2022

**Subrecipient: Municipality of Naguabo**

**Case ID: PR-CRP-001011/Mejoras al Estacionamiento Público del Municipio de Naguabo**

**Project ID: PR-CRP-001011**



Photo #: 13

Description: Exterior view of the east side façade taken from the posterior side of the Nuestra Señora del Rosario Church.

Date: 9/14/2022



Photo #: 14

Description: Partial exterior view of the façade on the corner of Goyco and Garzot street.

Date: 9/14/2022



**Subrecipient: Municipality of Naguabo**

**Case ID: PR-CRP-001011/Mejoras al Estacionamiento Público del Municipio de Naguabo**

**Project ID: PR-CRP-001011**



Photo #: 15

Description: View of the boarded up vehicular entrance to the second level on Garzot street.

Date: 9/14/2022



Photo #: 16

Description: Exterior view of the pedestrian entrance on the North façade.

Date: 9/14/2022

**Subrecipient: Municipality of Naguabo**

**Case ID: PR-CRP-001011/Mejoras al Estacionamiento Público del Municipio de Naguabo**

**Project ID: PR-CRP-001011**



Photo #: 17

Description: Exterior view of the north side façade from the sidewalk on Goyco street.

Date: 9/14/2022



Photo #: 18

Description: Top view of the existing conditions of the upper-level parking area

Date: 9/14/2022



**Subrecipient: Municipality of Naguabo**

**Case ID: PR-CRP-001011/Mejoras al Estacionamiento Público del Municipio de Naguabo**

**Project ID: PR-CRP-001011**



Photo #: 19

Description: Top view of the existing conditions of the upper-level parking area and stairs

Date: 9/14/2022



Photo #: 20

Description: Exterior view of the vehicular ramp located on the southwest side of the structure.

Date: 9/14/2022

**Subrecipient: Municipality of Naguabo**

**Case ID: PR-CRP-001011/Mejoras al Estacionamiento Público del Municipio de Naguabo**

**Project ID: PR-CRP-001011**



Photo #: 21

Description: Top view of the existing conditions of the upper level parking area

Date: 9/14/2022



Photo #: 22

Description: Drone photo of the North Façade and upper level parking areas.

Date: 9/14/2022



**Subrecipient: Municipality of Naguabo**

**Case ID: PR-CRP-001011/Mejoras al Estacionamiento Público del Municipio de Naguabo**

**Project ID: PR-CRP-001011**



Photo #: 23

Description: Interior view of the vehicular entrance on the west side of the structure

Date: 9/14/2022



Photo #: 24

Description: Interior view of the stairs and corridor on the north side of the structure.

Date: 9/14/2022

**Subrecipient: Municipality of Naguabo**

**Case ID: PR-CRP-001011/Mejoras al Estacionamiento Público del Municipio de Naguabo**

**Project ID: PR-CRP-001011**



Photo #: 25

Description: Interior view of the pedestrian entrance located on Goyco Street

Date: 9/14/2022



Photo #: 26

Description: Interior view of the existing administrative offices inside the parking garage structure.

Date: 9/14/2022



**Subrecipient: Municipality of Naguabo**

**Case ID: PR-CRP-001011/Mejoras al Estacionamiento Público del Municipio de Naguabo**

**Project ID: PR-CRP-001011**



Photo #: 27

Description: View of the corner of Garzot & Goyco street from the interior.

Date: 9/14/2022



Photo #: 28

Description: View of the outdoor theater located on the corner of Garzot & Goyco street from the interior. Vehicular entrance on Garzot street.

Date: 9/14/2022

**Subrecipient: Municipality of Naguabo**

**Case ID: PR-CRP-001011/Mejoras al Estacionamiento Público del Municipio de Naguabo**

**Project ID: PR-CRP-001011**

Figure 10. AERIAL VIEW OF THE STRUCTURE TAKEN IN 1990

PHOTO FROM THE ARCHIVES OF THE PHOTOGRAMETRY AUTORIDAD DE CARRETERAS





**Subrecipient: Municipality of Naguabo**

**Case ID: PR-CRP-001011/Mejoras al Estacionamiento Público del Municipio de Naguabo**

**Project ID: PR-CRP-001011**

Figure 11. AERIAL VIEW OF THE STRUCTURE TAKEN IN 1991

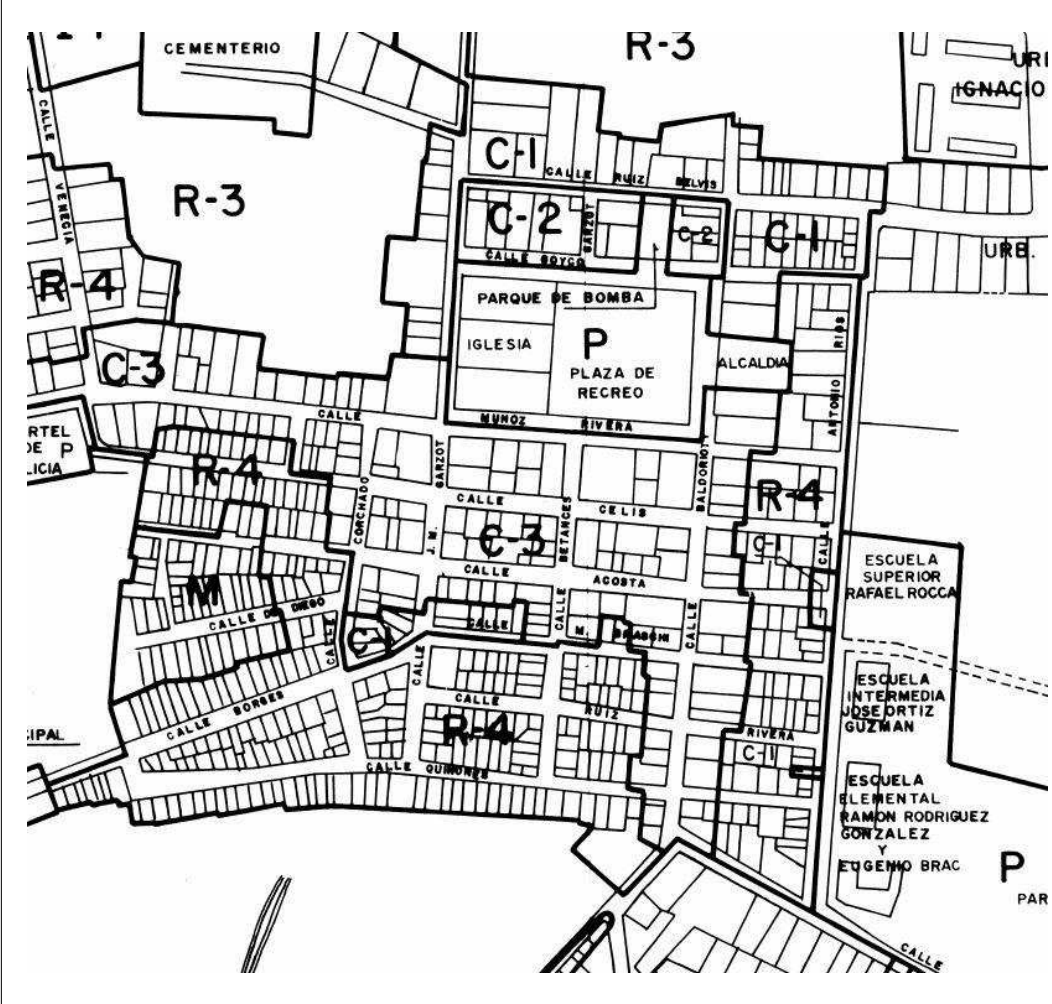
PHOTO FROM THE ARCHIVES OF THE PHOTOGRAMETRY AUTORIDAD DE CARRETERAS



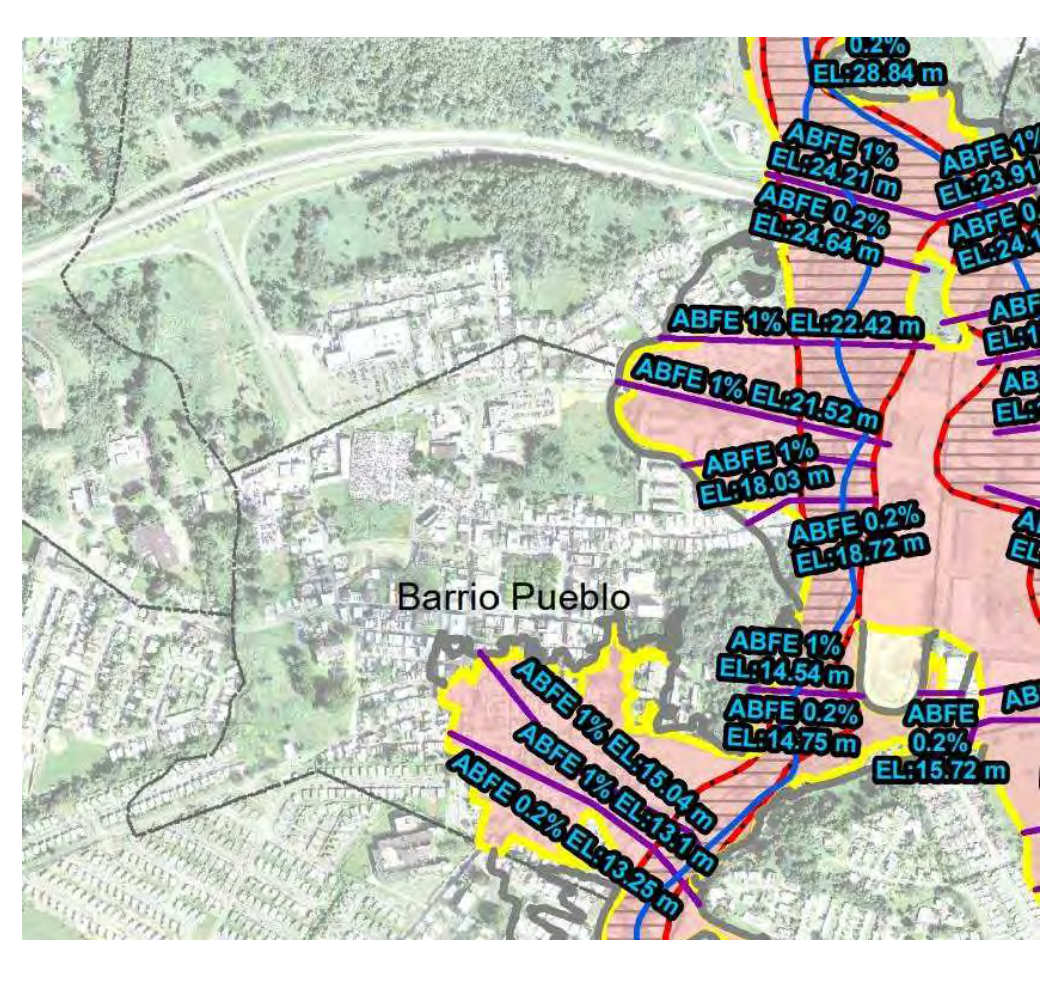




LOCATION PLAN  
X: 273926.9318 Y: 242010.4285



MAPA DE ZONIFICACION DE NAGUABO  
HOJA NUMERO 4  
VIGENCIA: 8 DE AGOSTO DE 2003



FLOOD MAP PANEL  
ZONE X  
72000C1280J  
VIGENCIA: 13 DE ABRIL DE 2018



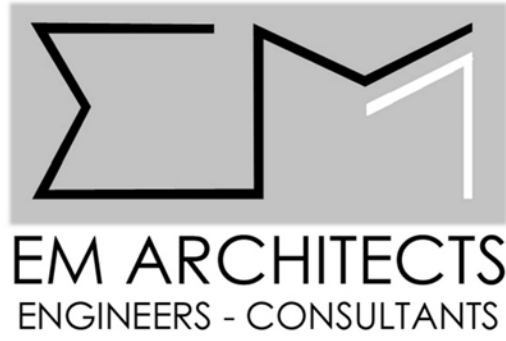
## MUNICIPIO DE NAGUABO

### HON. MIRAIDALIZ ROSARIO PAGÁN

# MEJORAS A ESTACIONAMIENTO MUNICIPAL

MUNICIPIO DE NAGUABO,  
PUERTO RICO

PLANOS PRELIMINARES  
7/SEPTIEMBRE/2022



Yo, Eli M. Martínez Beléndez, con número de licencia #20050 certifico que soy el profesional que diseñó estos planos y las especificaciones complementarias. También certifico que entiendo que dichos planos y especificaciones cumplen con las disposiciones aplicables del Reglamento Conjunto y las disposiciones aplicables de Reglamentos y Códigos de Construcción vigentes de las Agencias, Juntas Reglamentadoras o Corporaciones Públicas con Jurisdicción. Certifico, además, que en la preparación de estos planos y especificaciones se ha cumplido cabalmente con lo dispuesto en la ley num. 14 de 8 de enero de 2004, según enmendada, conocida como la "ley para inversión por la industria puertorriqueña" y con la Ley num. 319 de 15 de mayo de 1938, según declaración falsa o falsificación de los hechos que se haya producido por desconocimiento o por negligencia ya sea por mí, mis agentes o empleados, o por otras personas con mi conocimiento, me hacen responsable de cualquier acción judicial y disciplinaria por la OGP.

#### CONTRACTOR NOTES:

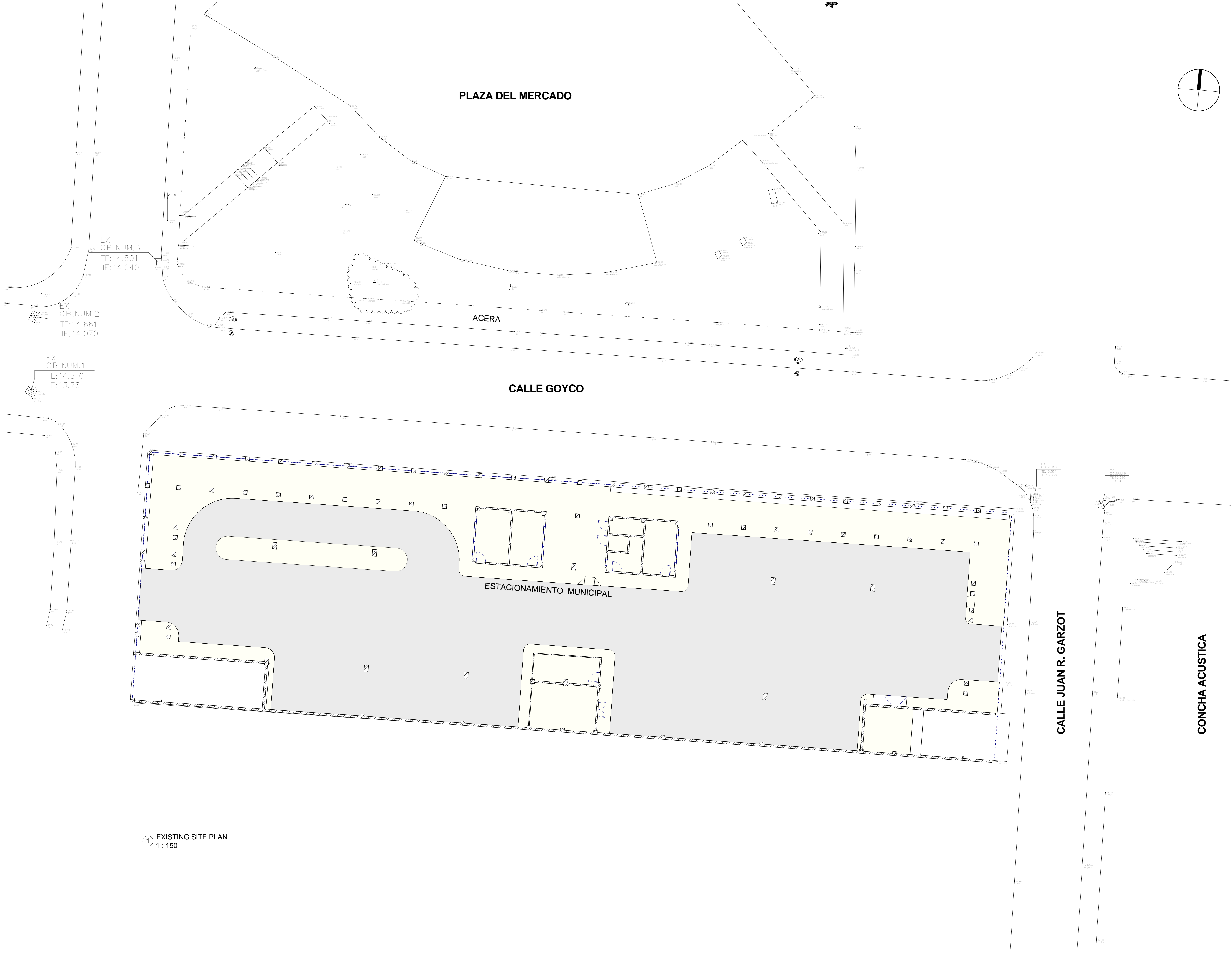
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED SO THAT PROPER CORRECTIONS ARE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS AND/OR OMISSIONS.
- ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ARCHITECT ARE THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH THEY WERE EXPRESSLY DESIGNED.
- IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THE ARCHITECT, THE PERSON SO DOING WILL BE INDEBTED TO THE ARCHITECT FOR HIS FULL COMMISSION.
- CONTRACTOR SHALL NOT USE FOR CONSTRUCTION PURPOSES ANY DRAWINGS THAT WERE ADVANCED TO HIM PRIOR TO THE START OF CONSTRUCTION. ALL PLANS BEING USED BY CONTRACTOR SHOULD BEAR A STAMP WITH THE LABEL: "FOR CONSTRUCTION ONLY" SIGNED BY ARCHITECT.
- GENERAL CONTRACTOR SHALL FIELD SURVEY LOCATION AND VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE TENANT AND ARCHITECT.
- GENERAL CONTRACTOR SHALL COMPLETE ALL WORK AS INDICATED ON THESE PLANS UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR SHALL OBTAIN PERMITS, APPROVALS, INSPECTIONS, CERTIFICATE FOR COMPLIANCE AND CERTIFICATE OF OCCUPANCY AS REQUIRED, UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR SHALL CHECK IN WITH AND COORDINATE ALL WORK WITH THE LANDLORD'S PROJECT PERSONNEL.
- GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY POWER, LIGHT AND TELEPHONE IN ACCORDANCE WITH LANDLORD'S AND TENANT'S REQUIREMENTS.
- GENERAL CONTRACTOR SHALL REMOVED ALL THESE ITEMS AT THE COMPLETION OF WORK OR AS REQUIRED.
- GENERAL CONTRACTOR SHALL HAVE TENANT'S SPACE CLEANED UPON COMPLETION OF WORK BY A PROFESSIONAL CLEANING SERVICE.
- GENERAL CONTRACTOR SHALL MAINTAIN ON SITE AT ALL TIMES, ALL APPROVED DRAWINGS INCLUDING ALL REVISIONS AND ADDENDA.
- GENERAL CONTRACTOR SHALL HAVE AT ALL TIME IN SITE OFFICE COPY OF ALL ENDORSEMENTS AND PERMITS OF THE PROJECT AT A VISIBLE PLACE.

#### DRAWING INDEX

SHEET NOMENCLATURE	SHEET NAME
01	T100
02	C-1
03	EX101
04	EX201
05	EX301
06	A101
07	A201
08	A202
09	A500
10	A501
11	A600
12	E101

TITLE SHEET
SURVEY AND TOPOGRAPHIC SITE PLAN
EXISTING AND DEMOLITION FLOOR PLAN - 1ST AND 2ND LEVEL
EXISTING AND DEMOLITION ELEVATIONS
EXISTING AND DEMOLITION SECTIONS
PROPOSED FLOOR PLAN - 1ST AND 2ND LEVEL
PROPOSED ELEVATIONS
PROPOSED ELEVATIONS
ENLARGED VIEW - BATHROOMS
ENLARGED VIEW - METAL GATE AND DETAILS
DOOR AND WINDOW SCHEDULES
LIGHTING PLANS - 1ST AND 2ND LEVEL





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ARCHITECT:

CONSULTANT:

CERTIFIED BY:

REVISION	DATE	DESCRIPTION

PROJECT  
MEJORAS A ESTACIONAMIENTO MUNICIPAL  
MUNICIPIO DE NAGUABO,  
PUERTO RICO

CLIENT  
MUNICIPIO DE NAGUABO

PROJECT #:

SCALE: 1 : 150

DRAWN BY: Author

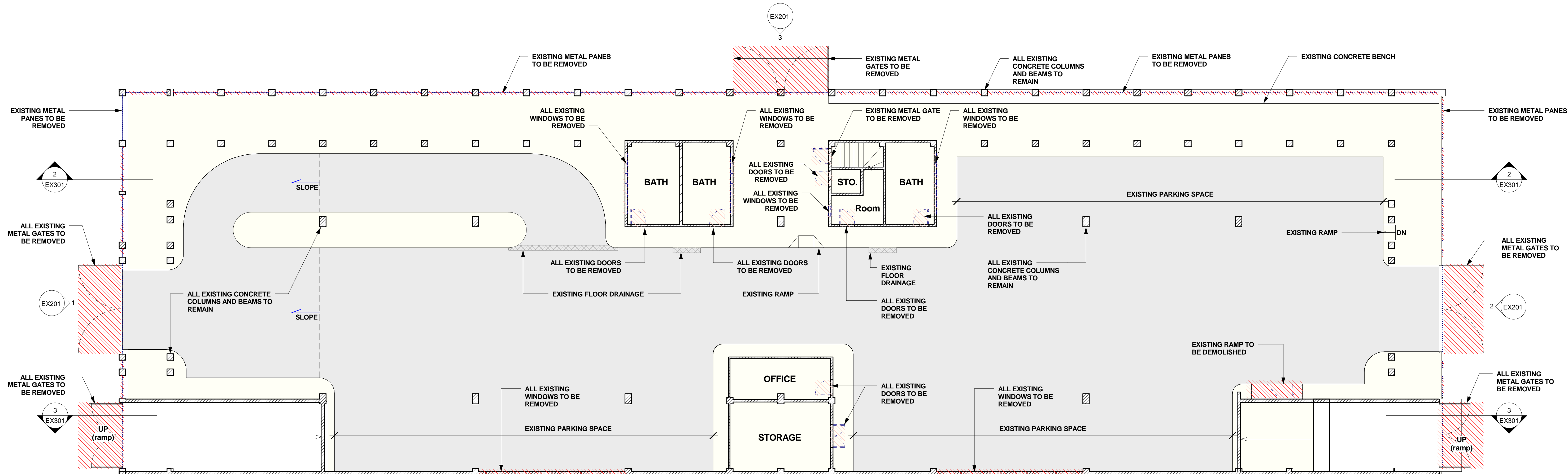
SURVEY AND TOPOGRAPHIC SITE PLAN

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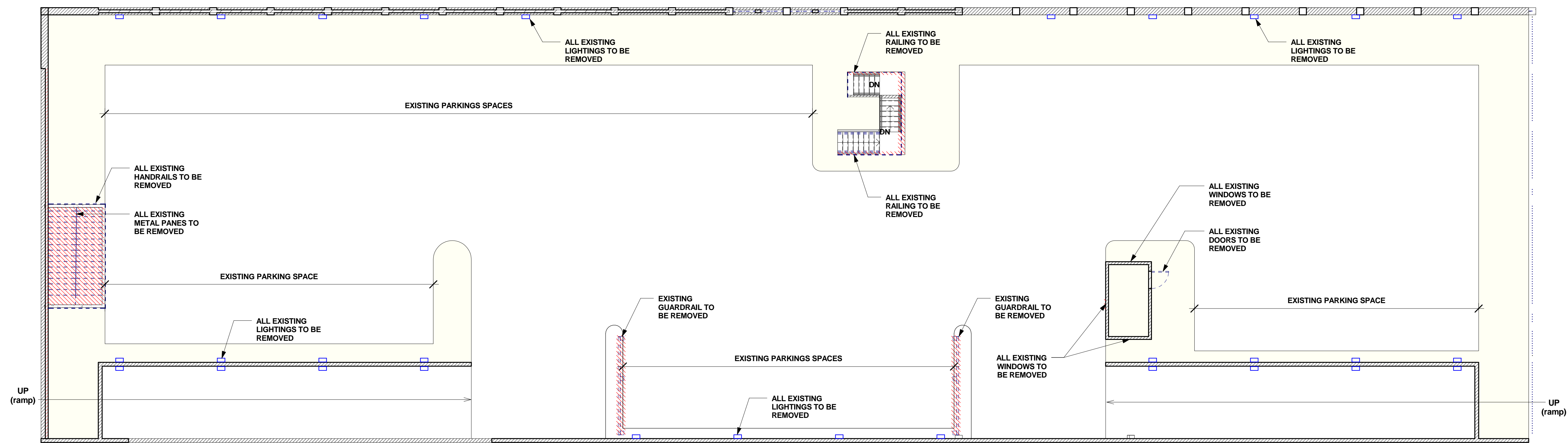
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SHEET

REVISION / DATE / DESCRIPTION

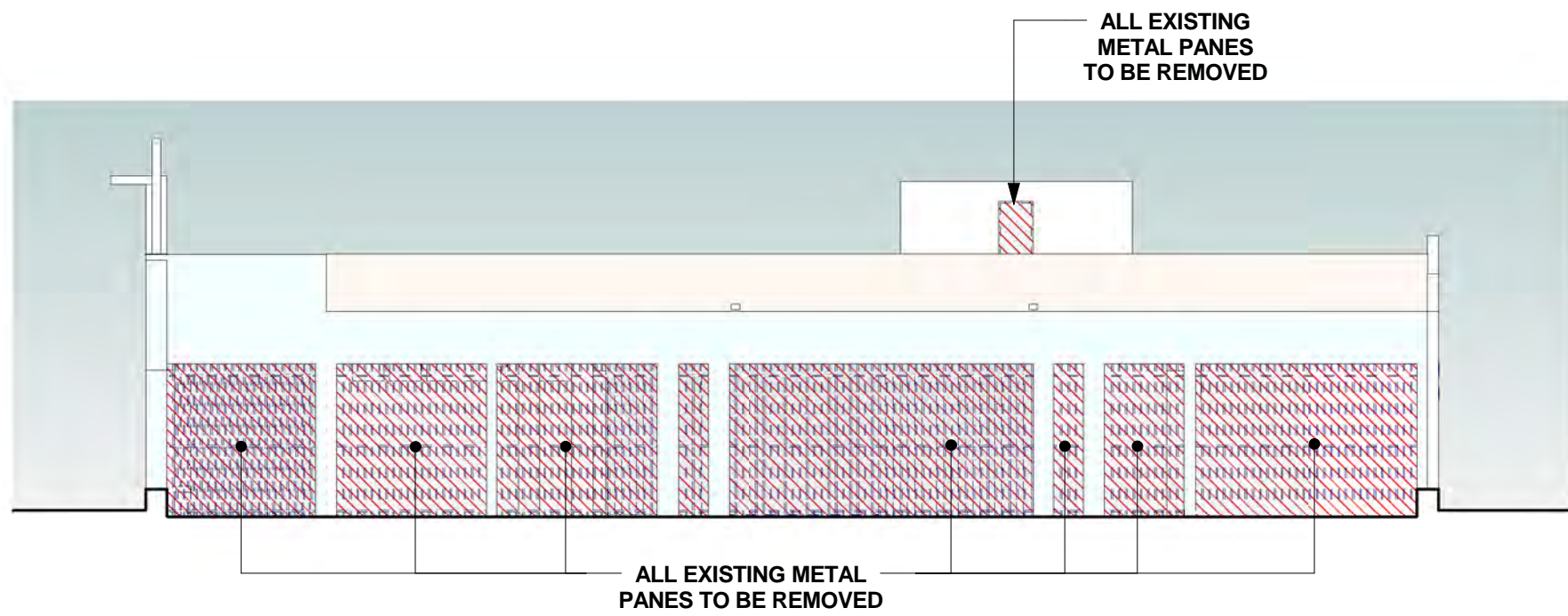


1 EXISTING FLOOR PLAN (1ST LEVEL)  
1" = 10'-0"

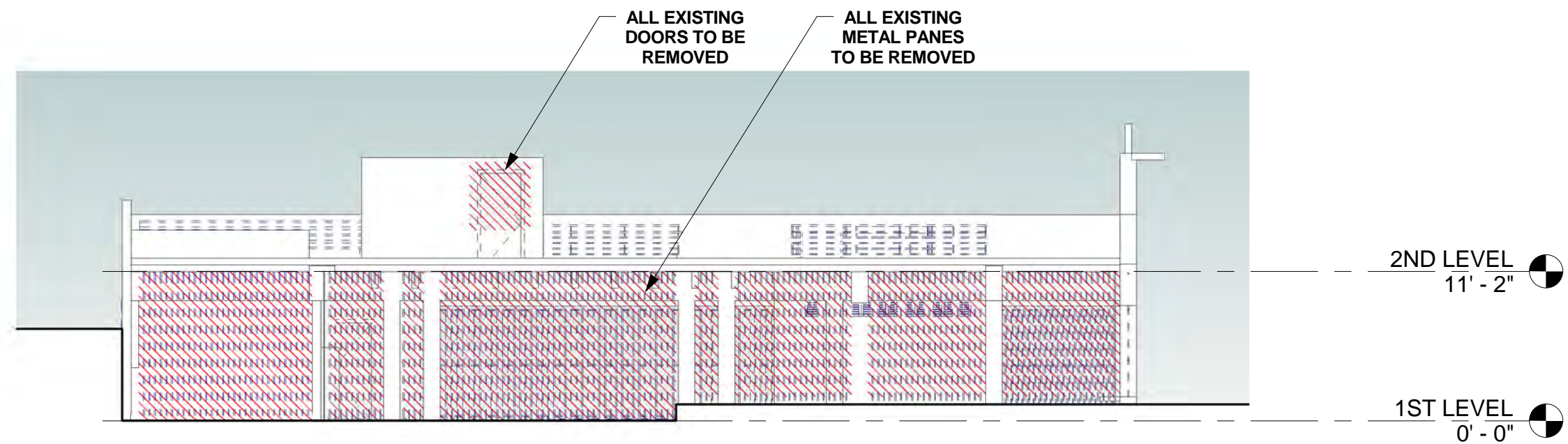


3 EXISTING FLOOR PLAN (2nd LEVEL)  
1" = 10'-0"

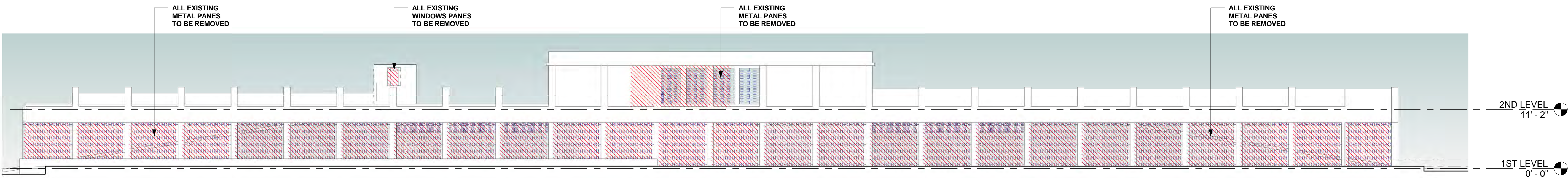




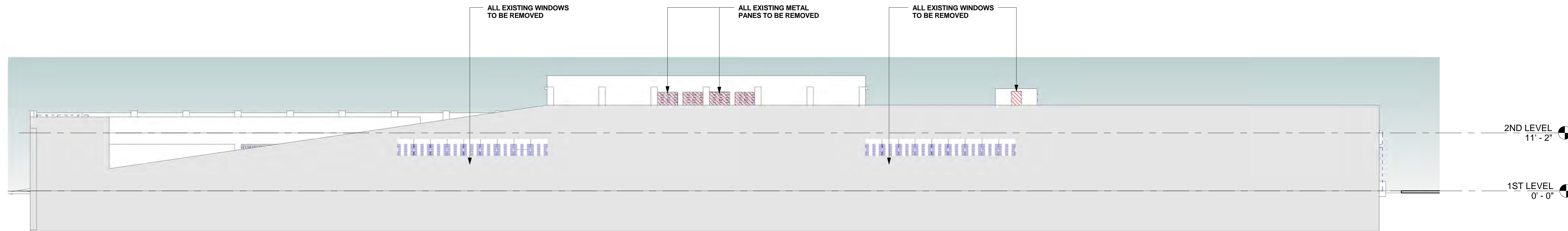
① EXISTING ELEVATION - 1  
1" = 10'-0"



② EXISTING ELEVATION - 2  
1" = 10'-0"

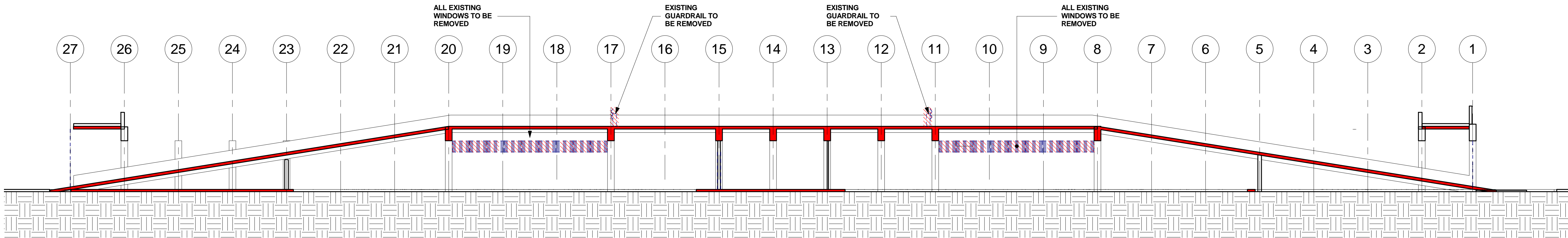


③ EXISTING ELEVATION - 3  
1" = 10'-0"

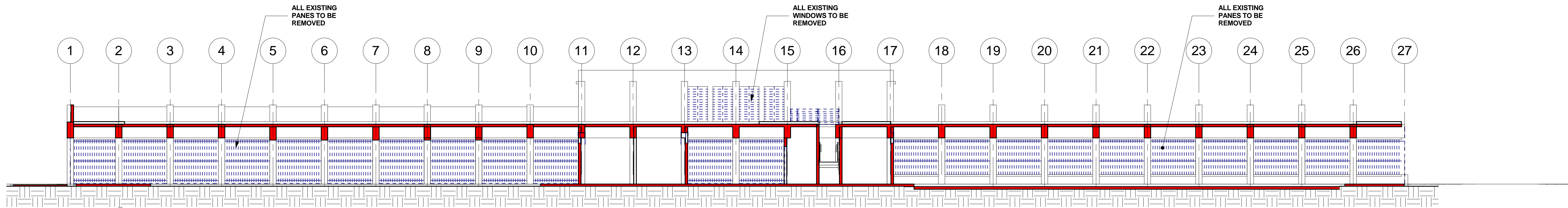


④ EXISTING ELEVATION - 4  
1" = 10'-0"





3 EXISTING SECTION - 1  
1" = 10'-0"



2 EXISTING SECTION - 2  
1" = 10'-0"

**DEMOLITION NOTES:**

1. COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SA FETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
2. THE GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN BARRICADES, LIGHTING AND GUARDRAILS AS REQUIRED BY APPLICABLE CODES AND REGULATIONS TO PROTECT OCCUPANTS OF BUILDING AND WORKERS.
3. ERECT AND MAINTAIN DUST PROOF PARTITIONS AS REQUI EDTO PREVENT SPREAD OF DUST, FUMES AND SMOKE, ETC. TO OTHER PARTS OF THE BUILDING. ON COMPLETION, REMOVE PARTITIONS AND REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES.
4. IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE AFFECTED AREAS AT NO COST TO THE OWNER
5. EXCEPT WHERE OTHERWISE NOTED, MAINTAIN POSSESSION OF MATERIALS BEING DEMOLISHED. REMOVE FROM SITE DAILY & LEGALLY DISPOSE OF DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
6. REMOVE DESIGNATED PARTITIONS, COMPONENTS, BUILDING EQUIPMENT AND FIXTURES AS REQUIRED FOR NEW WORK.
7. REMOVE ABANDONED HVAC EQUIPMENT, INCLUDING DUCTWORK, AS REQUIREDFOR NEW WORK.
9. REMOVE ABANDONED ELECTRICAL. TELEPHONE AND DATA CABLING BACK TO RISER AND DEVICES , UNLESS OTHERWISE NOTED.
10. REMOVE TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE CONTRACT AREAS AND SITE CLEAN, ORDERLY AND ACCEPTABLE FOR NEW CONSUCTION.
11. PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURE(S). PROVIDE AND PLACE BRACING OR SHORING AND BE RESPONSIBLE FOR SAFETY AND SUPPORT OF STRUCTURE. ASSUME LIABILLLY FOR SUCH MOVEMENT, SETTLEMENT, DAMAGE OR INJURY.
12. CEASE OPERATIONS AND NOTIFY THE OWNER IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGEREED. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESRORED.
13. ARRANGE AND PAY FOR DISCONNCTING, REMOVING AND CAPPING UTILLLY SERVICES WITHIN AREAS OF DEMOLITION. DISCONNECT AND STUB OFF. NOTIFY THE AFFECTED UTILLLY COMPANY AND BUILDING MANAGER IN ADVANCE AND OBTAIN APPROVAL BEFORE STARTING THE WORK.
14. HVAC SUBCONTRACTOR TO INSPECT EXISTING CONDITIONS PRIOR TO DEMOLITION. AND DETERMINE WHETHER ANY COMPRESSOR REFRIGERANT LINES ARE PRESENT THAT MUST BE PROPERLY DRAINED (TO E.P.A. STANDARDS PRIORTO DEMOLITION)
15. PLACE MARKERS TO INDICATE LOCATION OF DISCONNCTED SERVICES. VERIFY SERVICE LINES AND CAPPING LOCATIONS PROJECT RECORD DOCS.
16. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR DAMAGES INFLICTED TO THE OWNERS PROPER'TY OR OTHER AREAS OF THE PROJECT. DURING THE EXECUTION OF THE WORK.
17. THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT ALL SHOP DRAWINGS FOR APPROVAL PRIOR TO COMMENCE OF WORK.
18. CONSULTANT DRAWINGS ARE NOT TO BE SCALED: SEE DEMOLITION DRAWINGSFOR EXACT DIMENISONS.
19. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS & UTILITIES ON SITE WITHIN THE DEMISED SPACE.

**EXISTING BUILDING NOTES**

1. THE EXISTING CONDITIONS SHOWN IN THE CONSTRUCTION DOCUMENTS ARE FOR ASSISTING CONTRACTORS TO UNDERSTAND THE SCOPE OF WORK. THEY ARE PREPARED BASED ON THE INFORMATION FURNISHED TO THE ENGINEER AND MAY NOT REFLECT THE TRUE AS BUILT CONDITION.
2. CONTRACTORS SHALL ASSUME FULL RESPONSIBILITY FOR FIELD VERIFYING ALL EXISTING CONDITIONS, SOUNDNESS OF EXISTING STRUCTURE, ALL PERTINENT DIMENSIONS AND ELEVATIONS. CONTRACTORS SHALL FURNISH THE VERIFIED INFORMATION TO THE ARCHITECT AND ENGINEER PROMPTLY FOR PROJECT COORDINATION.
3. CONTRACTORS TO PROVIDE ALL SHORING, BRACING, AND REINFORCING, TEMPORARY AND PERMANENT, AS REQUIRED TO RENDER EXISTING STRUCTURE TO REMAIN SOUND AND SAFE.
4. NEW FLOOR ELEVATIONS SHALL MATCH THE EXISTING FLOORS AT ALL LEVELS, UNLESS NOTED OTHERWISE.

ARCHITECT:

CONSULTANT:

CERTIFIED BY:

REVISION / DATE / DESCRIPTION

PROJECT  
MEJORAS A ESTACIONAMIENTO MUNICIPAL  
MUNICIPIO DE NAGUABO,  
PUERTO RICO

CLIENT  
MUNICIPIO DE NAGUABO

PROJECT #:

SCALE: As indicated  
DRAWN BY: Author

EXISTING AND  
DEMOLITION  
SECTIONS

TITLE

EX301

SHEET



MEJORAS A ESTACIONAMIENTO MUNICIPAL  
MUNICIPIO DE NAGUAROMUN  
PUEI

OBJECT #:

AWN BY: **Author**

PROPOSED FLOOR  
PLAN - 1ST AND  
2ND LEVEL

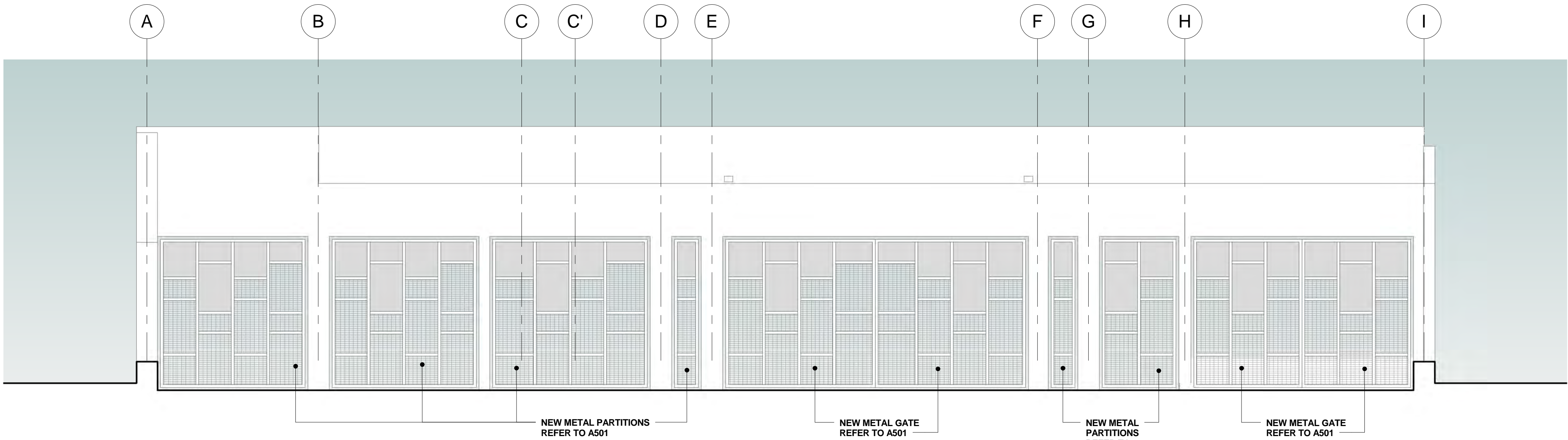
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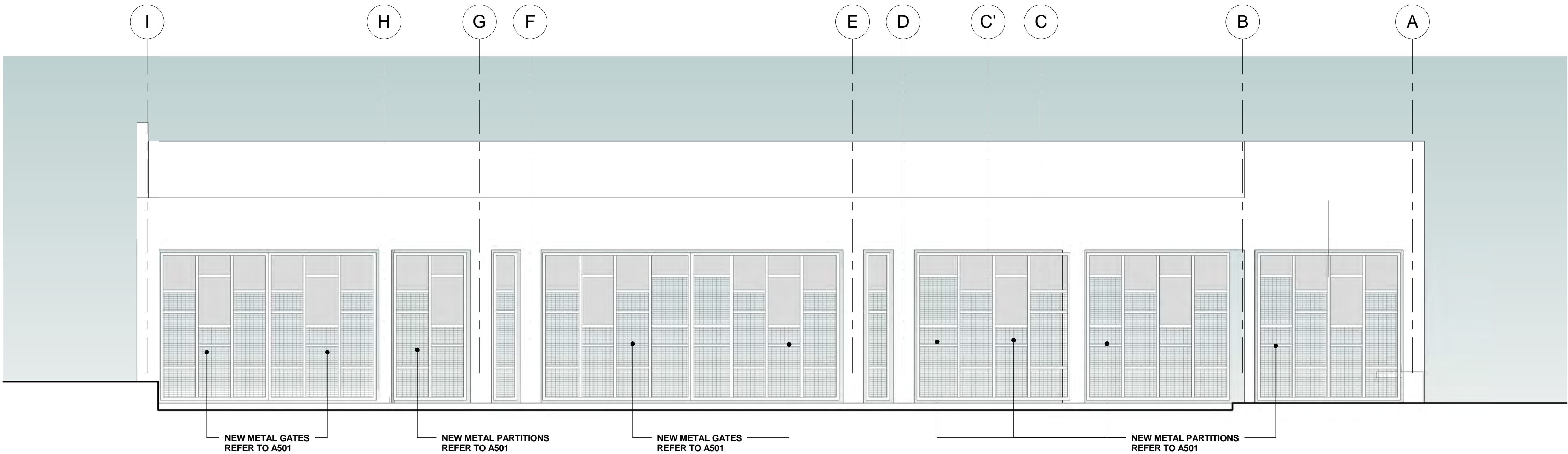
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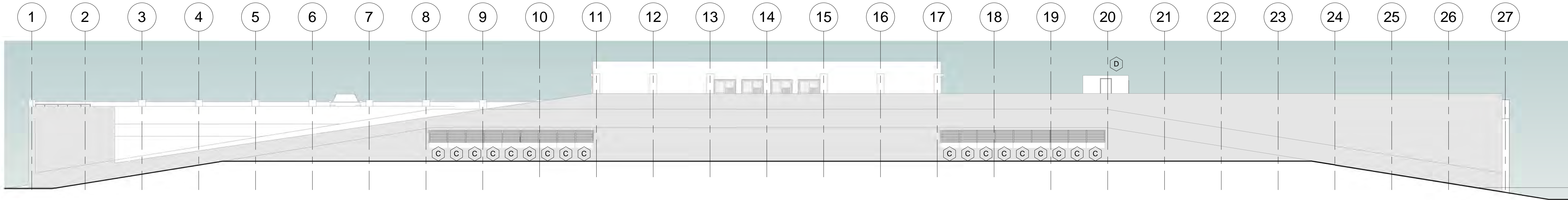




① PROPOSED ELEVATION - 1  
1/4" = 1'-0"



② PROPOSED ELEVATION - 2  
1/4" = 1'-0"



③ PROPOSED ELEVATION - 3  
1" = 10'-0"

**PAINT NOTE:**

- ALL INTERIOR, EXTERIOR WALLS AND CEILING TO BE SCRAPPED WHERE NEEDED, PRIMED AND PAINTED.
- COLORS TO BE SELECTED BY ARCHITECT.
- PAINT SHALL BE SHERWIN WILLIAMS OR APPROVED EQUAL.

EM ARCHITECTS

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MUNICIPIO DE NAGUABO,  
PUERTO RICO  
CLIENT  
MUNICIPIO DE NAGUABO

PROJECT #:

SCALE: As indicated

DRAWN BY: Author

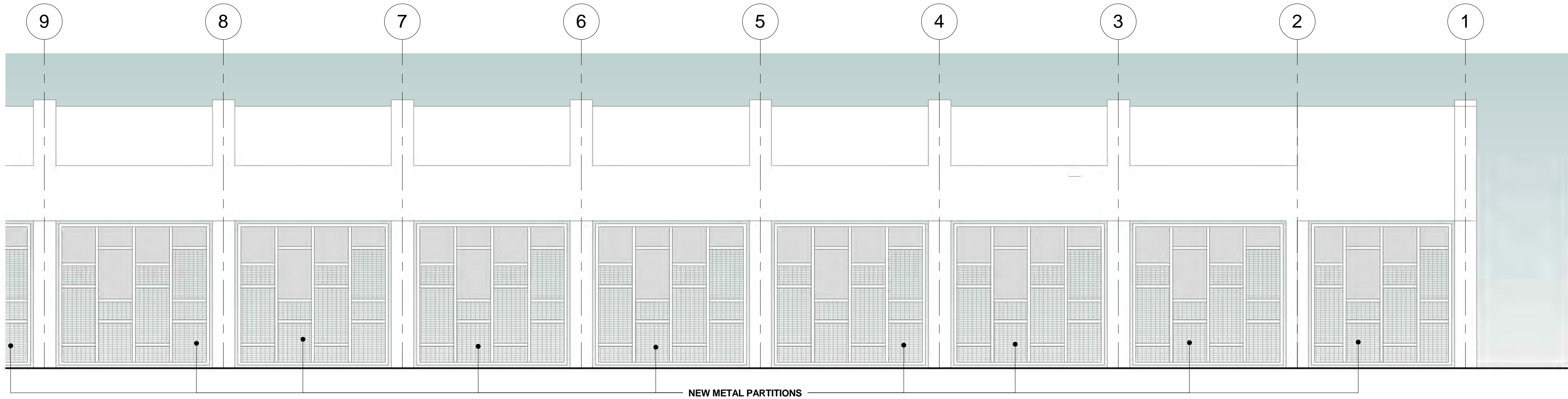
PROPOSED  
ELEVATIONS

TITLE

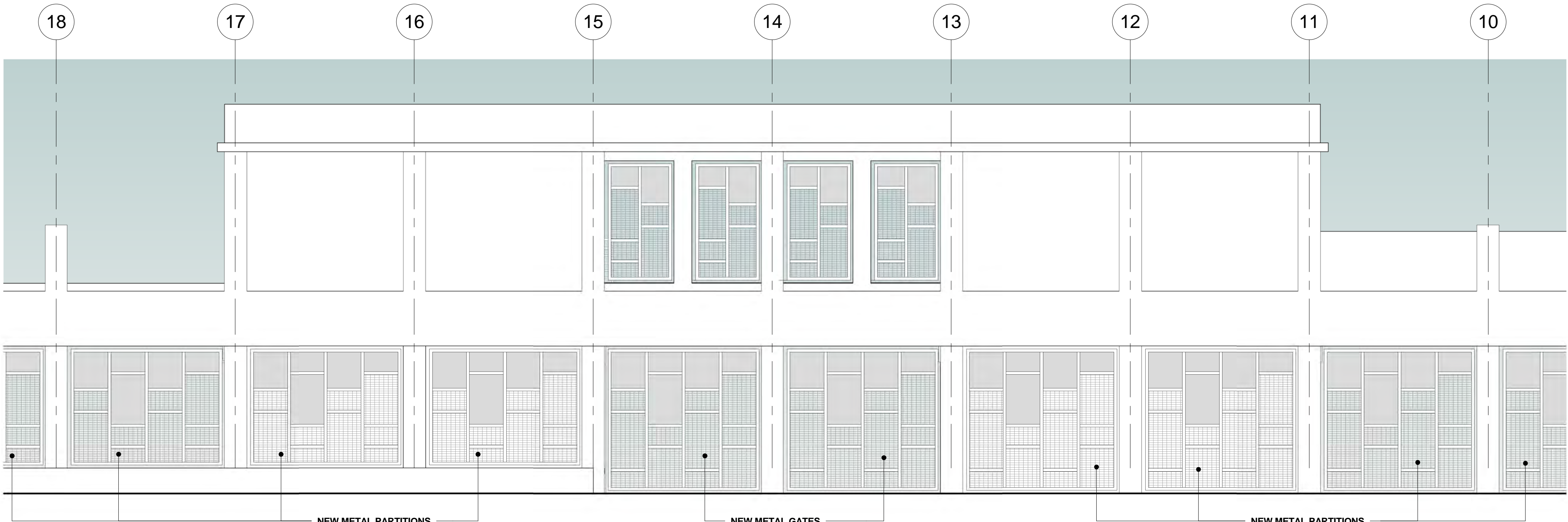
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SHEET

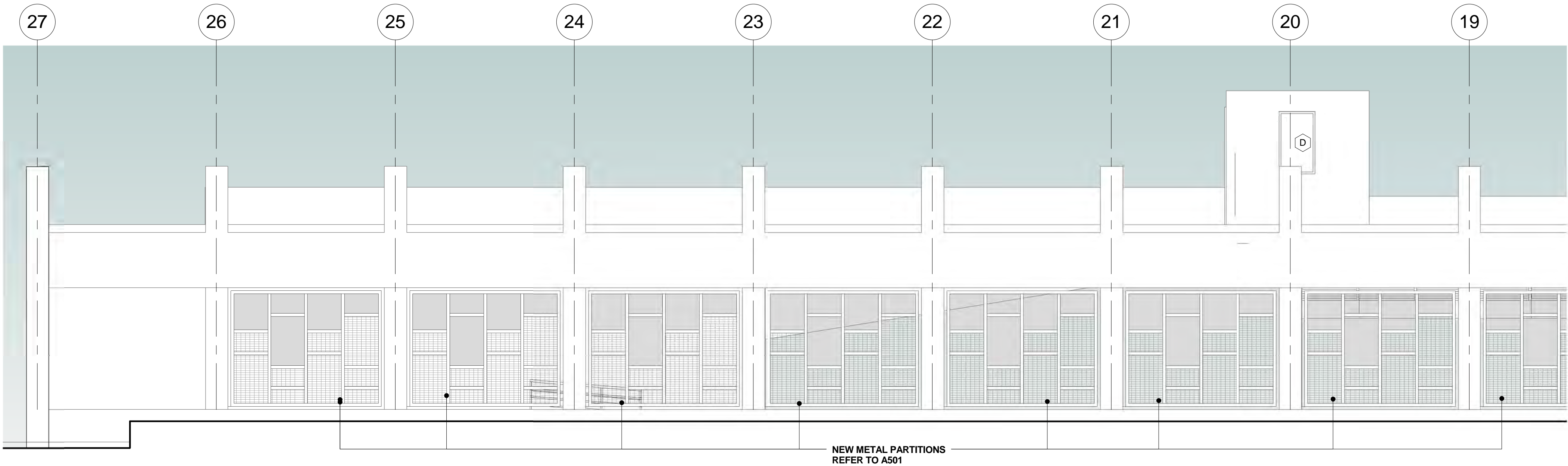




① PROPOSED ELEVATION - 4  
1/4" = 1'-0"



② PROPOSED ELEVATION - 5  
1/4" = 1'-0"



③ PROPOSED ELEVATION - 6  
1/4" = 1'-0"

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ARCHITECT:

CONSULTANT:

CERTIFIED BY:

REVISION / DATE / DESCRIPTION

PROJECT  
MEJORAS A ESTACIONAMIENTO MUNICIPAL  
MUNICIPIO DE NAGUABO,  
PUERTO RICO

CLIENT  
MUNICIPIO DE NAGUABO

PROJECT #:

SCALE: As indicated

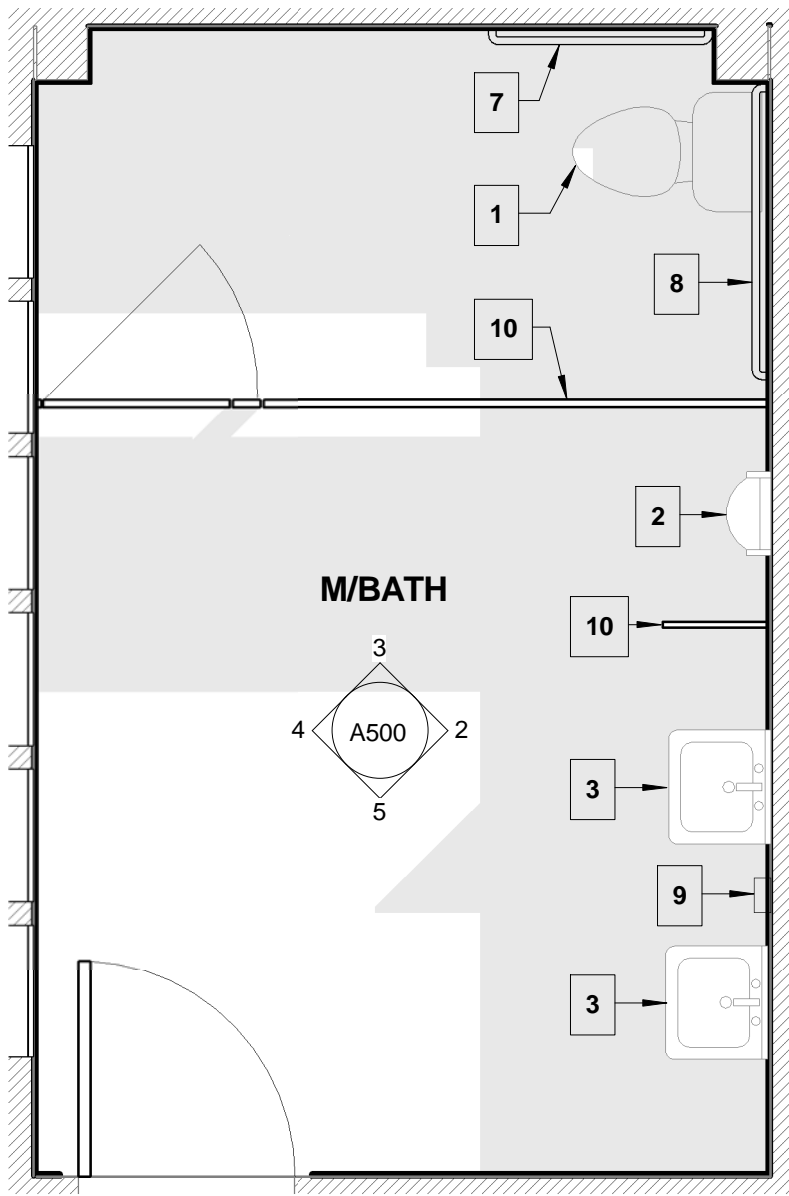
DRAWN BY: Author

PROPOSED ELEVATIONS

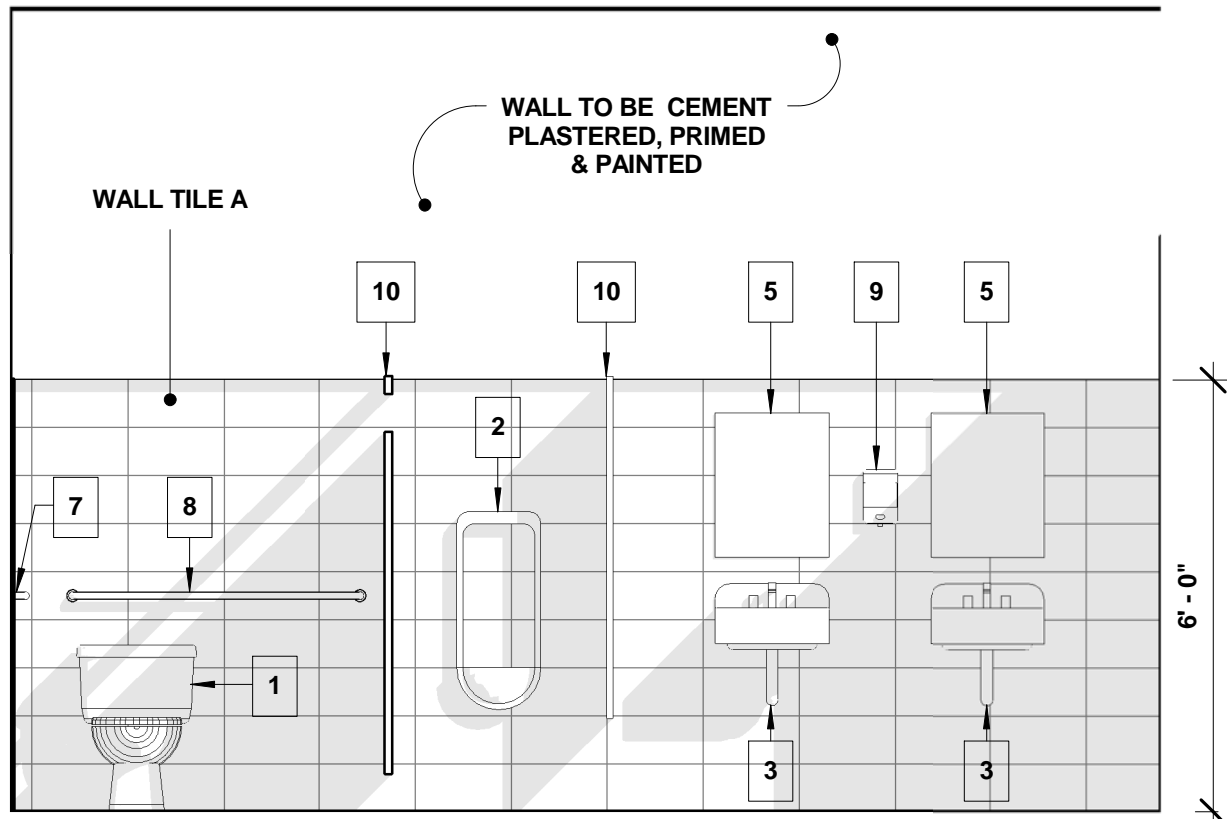
TITLE  
A202

SHEET

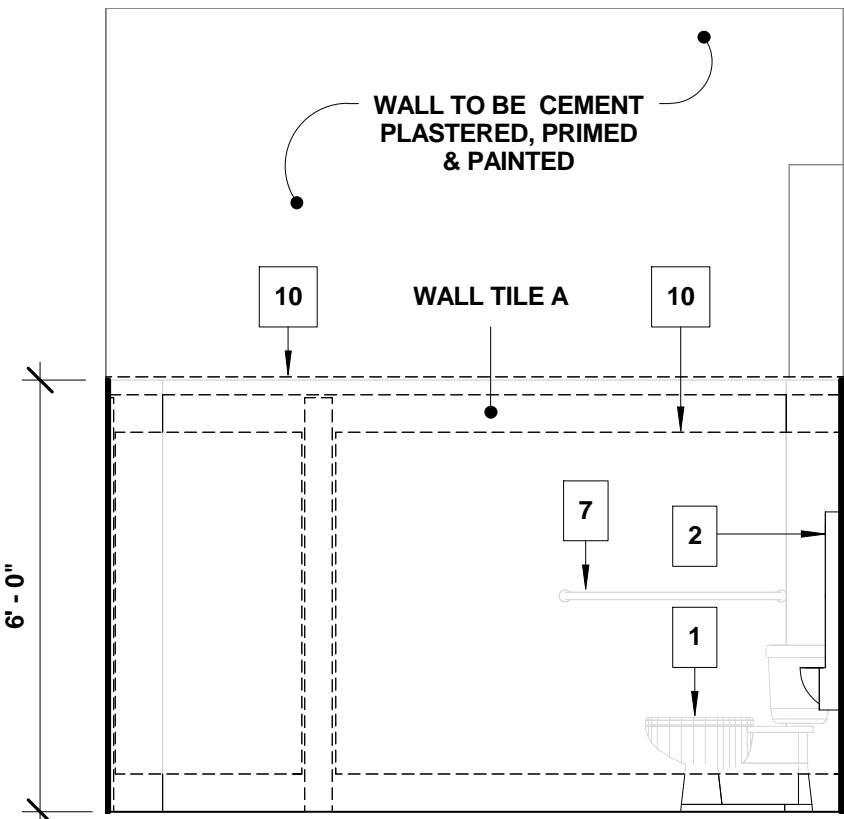




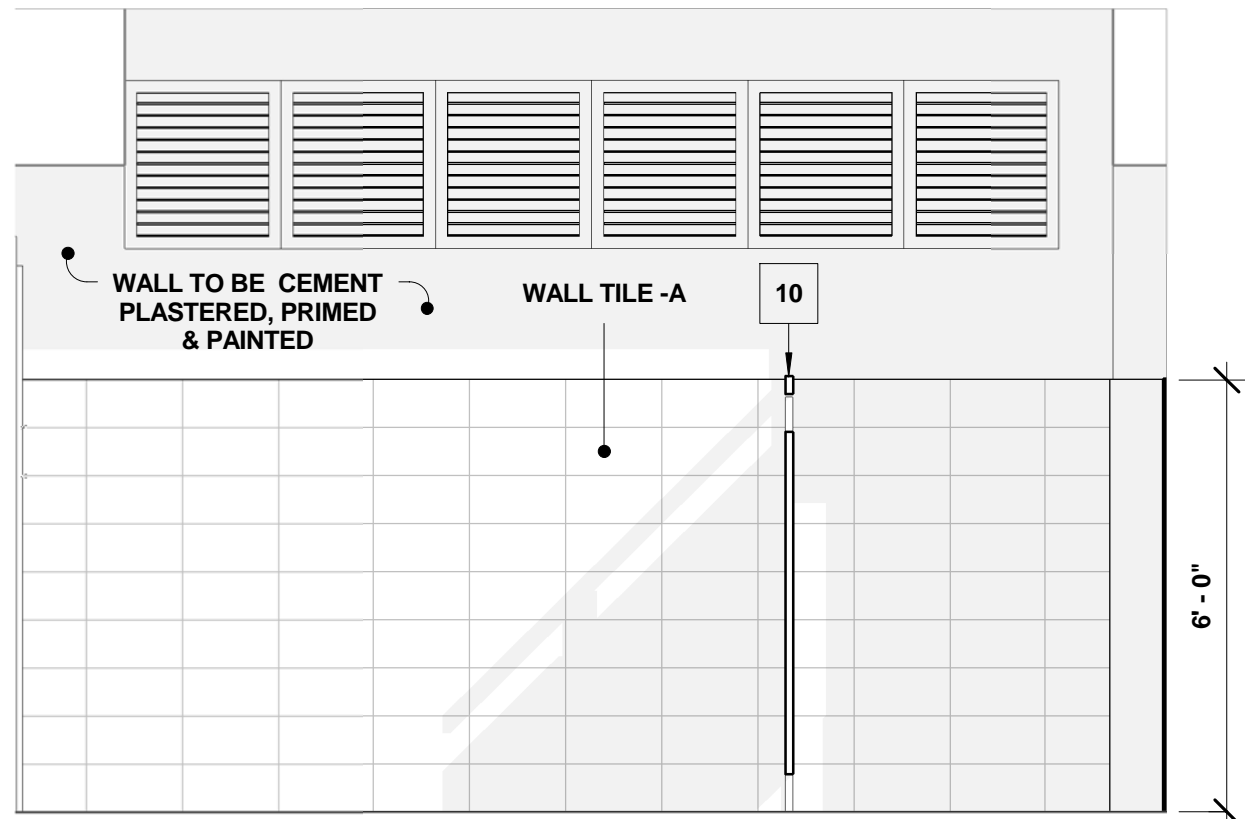
1 ENLARGED VIEW - MEN BATHROOMS  
3/8" = 1'-0"



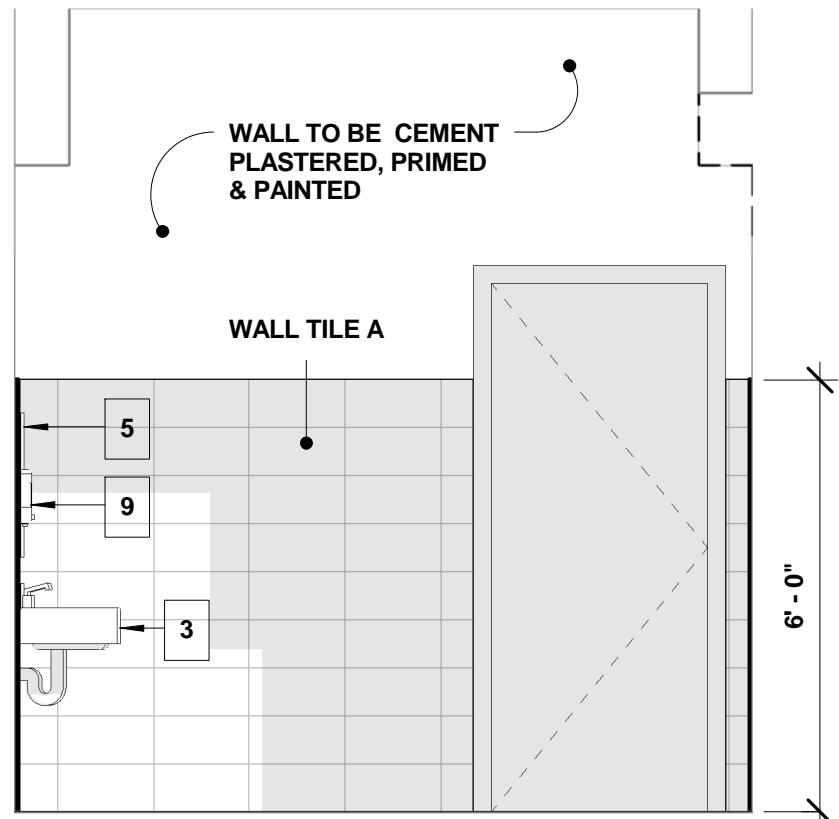
2 MEN BATHROOMS - ELEVATION MKD 2  
3/8" = 1'-0"



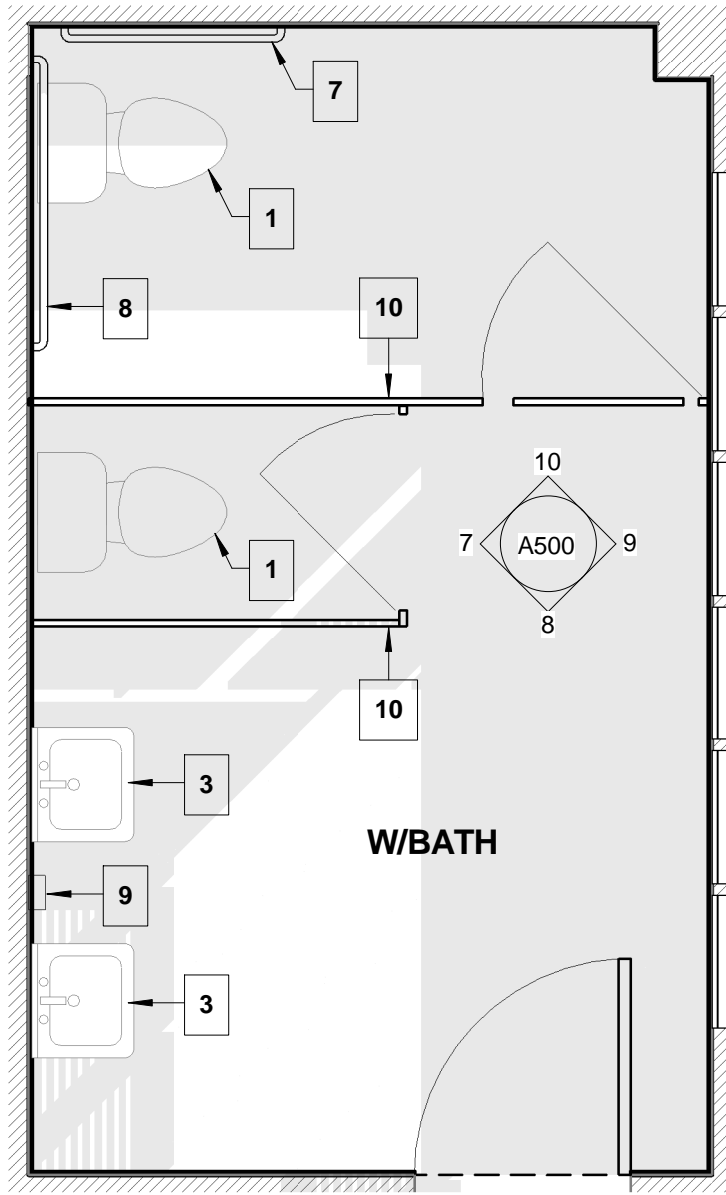
3 MEN BATHROOMS - ELEVATION MKD 3  
3/8" = 1'-0"



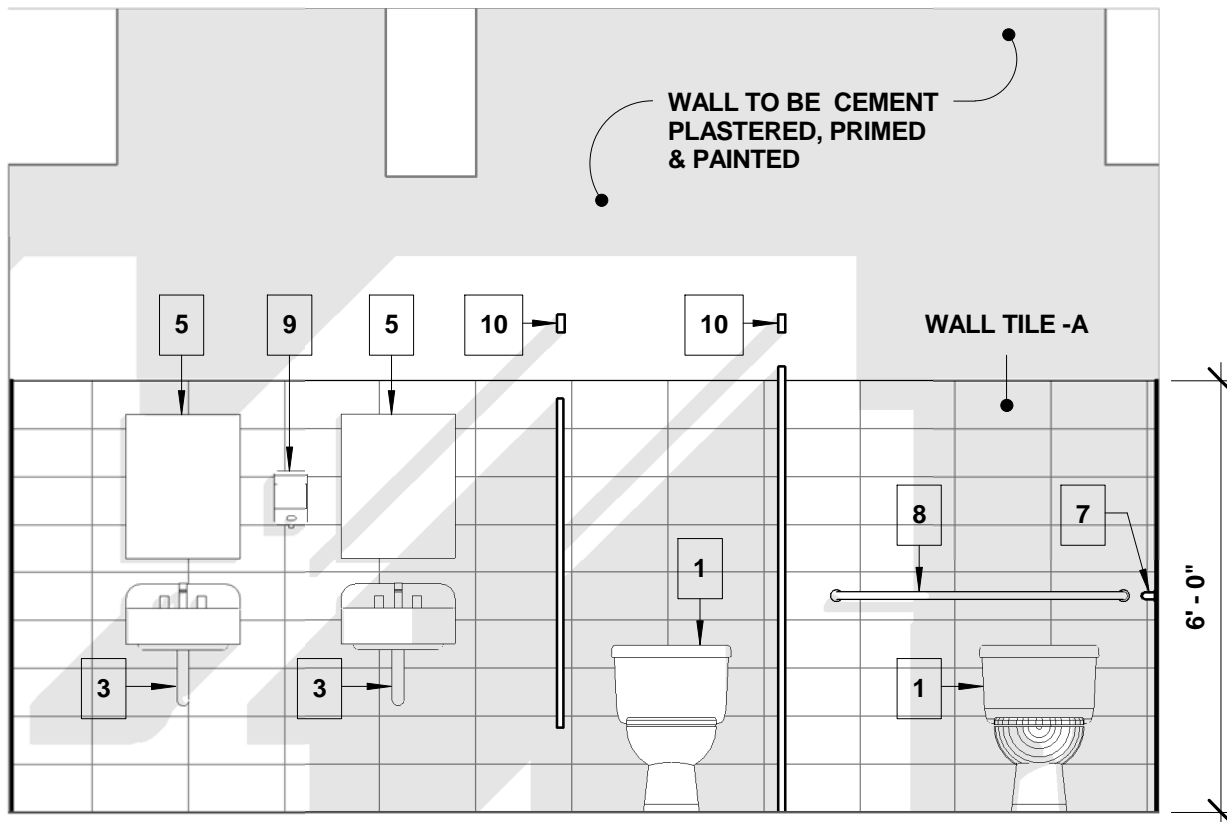
4 MEN BATHROOMS - ELEVATION MKD 4  
3/8" = 1'-0"



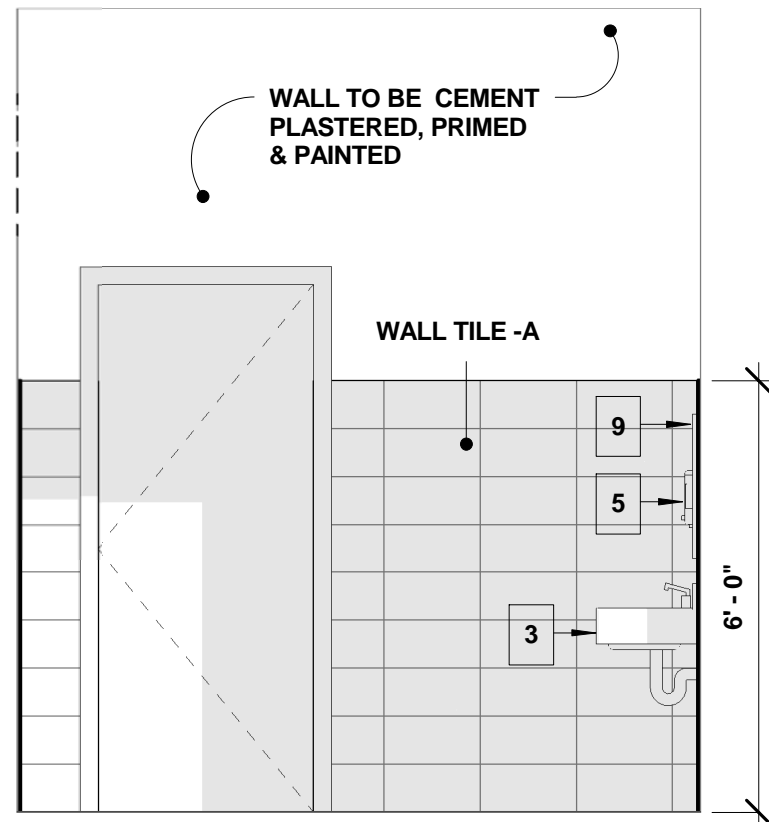
5 MEN BATHROOMS - ELEVATION MKD 5  
3/8" = 1'-0"



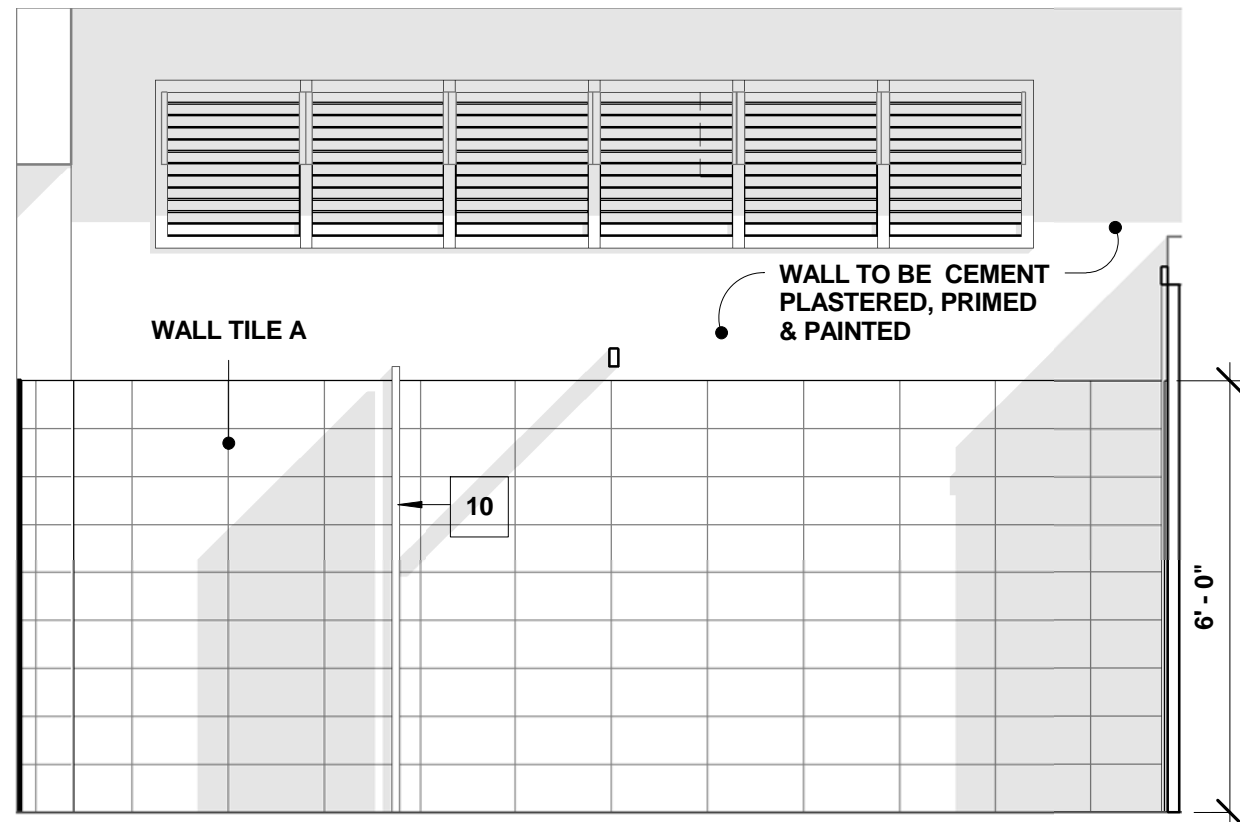
6 ENLARGED VIEW - WOMEN BATHROOMS  
3/8" = 1'-0"



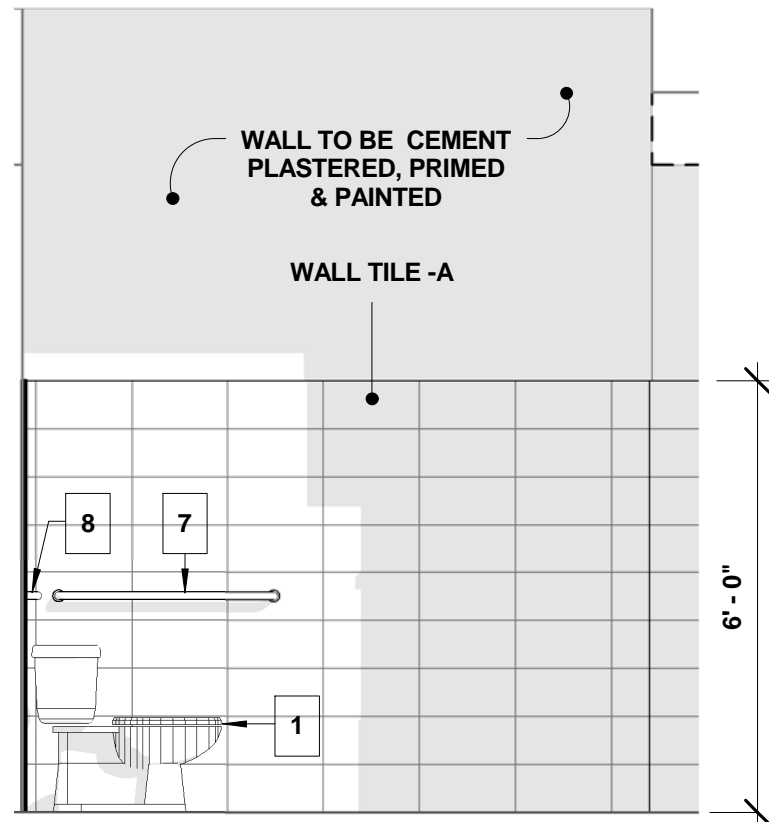
7 WOMEN BATHROOMS - ELEVATION MKD  
3/8" = 1'-0"



8 WOMEN BATHROOMS - ELEVATION MKD  
3/8" = 1'-0"



9 WOMEN BATHROOMS - ELEVATION MKD  
3/8" = 1'-0"



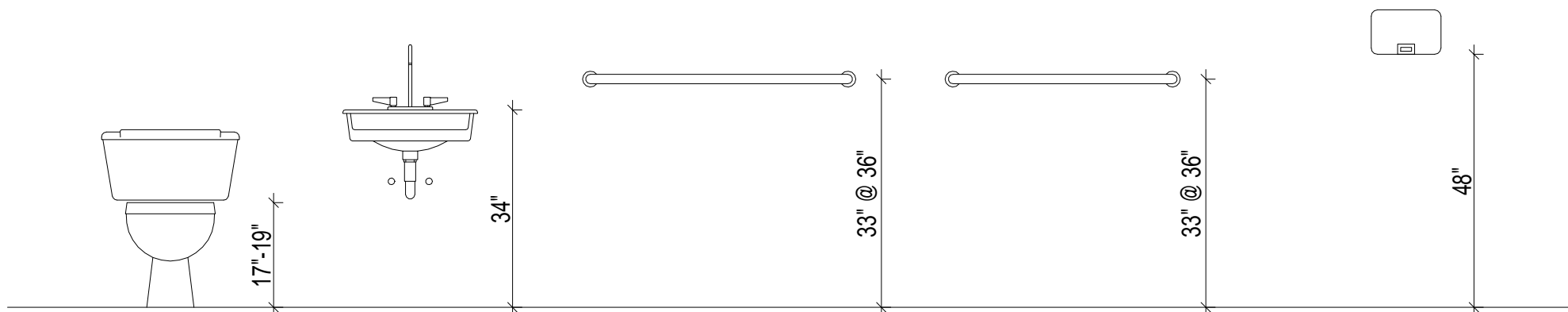
10 WOMEN BATHROOMS - ELEVATION MKD  
3/8" = 1'-0"

NOTES:

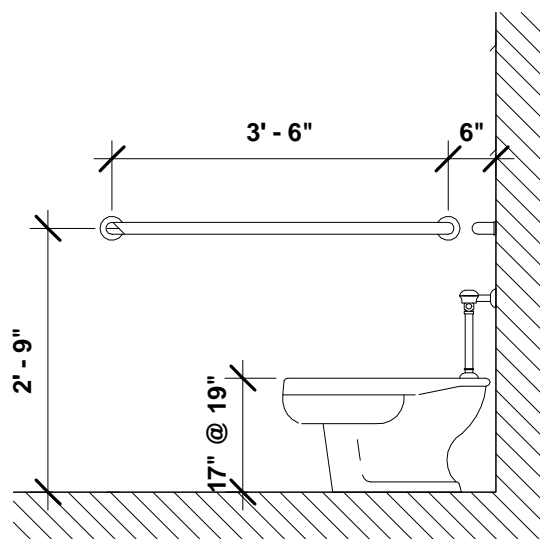
- THE GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR THE ARCHITECTS APPROVAL FOR ALL THE EQUIPMENT LISTED ABOVE.

- SUBSTITUTIONS MUST BE EQUAL OR SIMILAR. THE GENERAL CONTRACTOR SHALL FURNISH A TABLE COMPARING THE ITEM SPECIFIED VERSUS THE SUBSTITUTION FOR CONSIDERATION. PLEASE REFER TO THE GENERAL CONDITIONS.

-ALL ITEMS SHALL COMPLY WITH THE BUY AMERICAN ACT



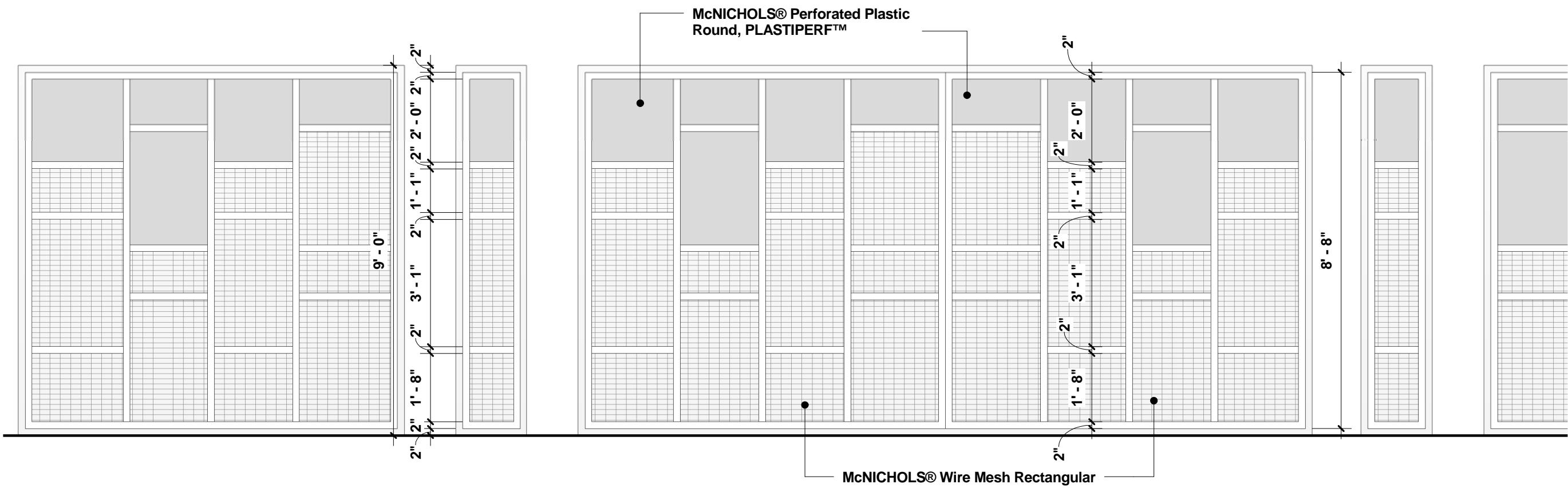
11 BATHROOM EQUIPMENT INSTALL  
HEIGHTS  
1/2" = 1'-0"



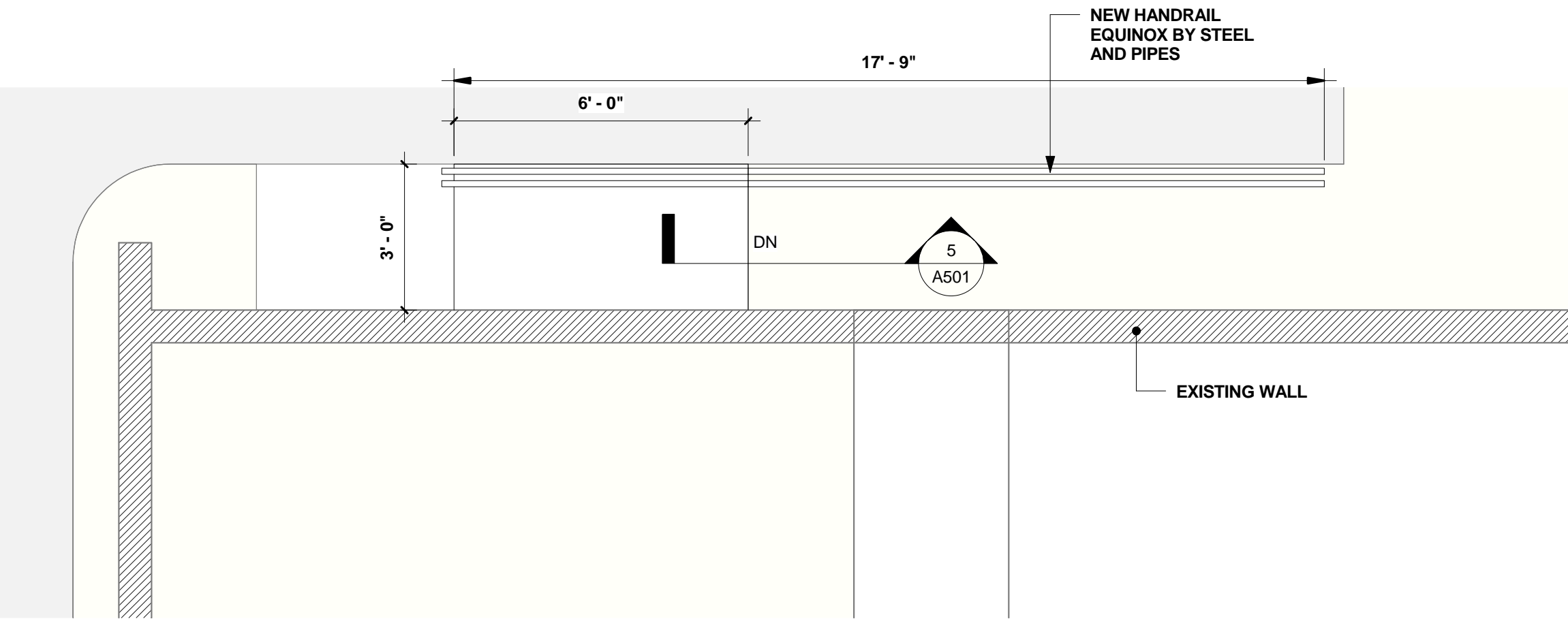
12 GRAB BAR DETAIL  
1/2" = 1'-0"

FIXTURE & ACCESSORY SCHEDULE				
ITEM	DESCRIPTION	MANUFACTURER / MODEL	QUANTITY	NOTES
1	TOILET	AMERICAN STANDARD MODEL 3378.128	3	
2	URINAL	AMERICAN STANDARD MODEL MAYBROOK 6581.015	1	
3	LAVATORY	AMERICAN STANDARD MODEL 9024.004EC	2	FAUCET - AMERICAN STANDARD MODEL MONTERREY 7500.175
4	LAVATORY	AMERICAN STANDARD MODEL 124.024	2	FAUCET - AMERICAN STANDARD MODEL MONTERREY 7500.175
5	MIRROR	BOBRICK BOB290-1830	2	
6	MIRROR - ADA	BOBRICK BOB293-1830	2	
7	GRAB BAR 36"	BOBRICK B-5806 x 36 36"	2	
8	GRAB BAR 42"	B-5806 x 42	2	
9	SOAP DISPENSER	BOBRICK B2111	2	
10	PARTITION	BOBRICK DURALINE SERIES MODEL 1182		OVERHEAD BRACING MOUNTING CONFIGURATION AT 85" A.F.F. / "BRUSHED ALUMINUM 0328 FH (SUBMIT SHOP DWG)
11	TOILET PAPER DISPENSER	BOBRICK B7685	3	

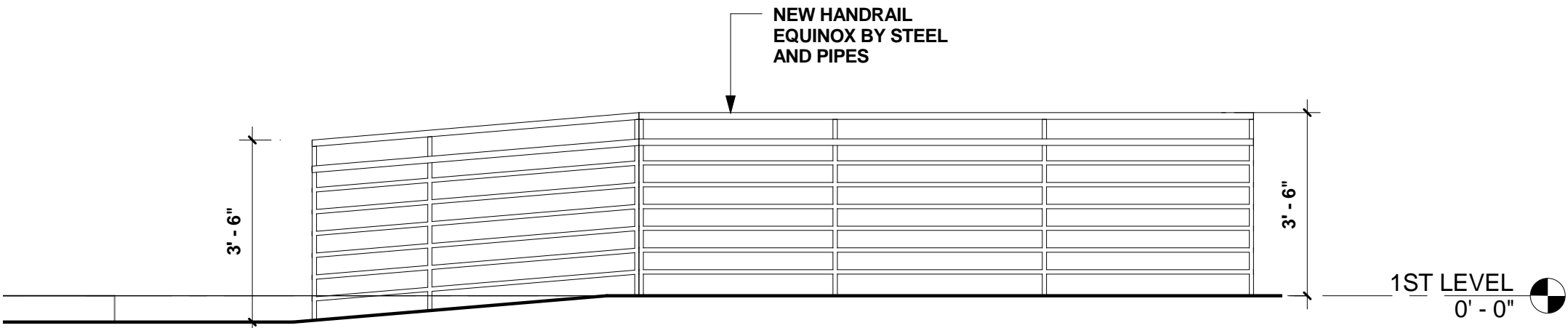




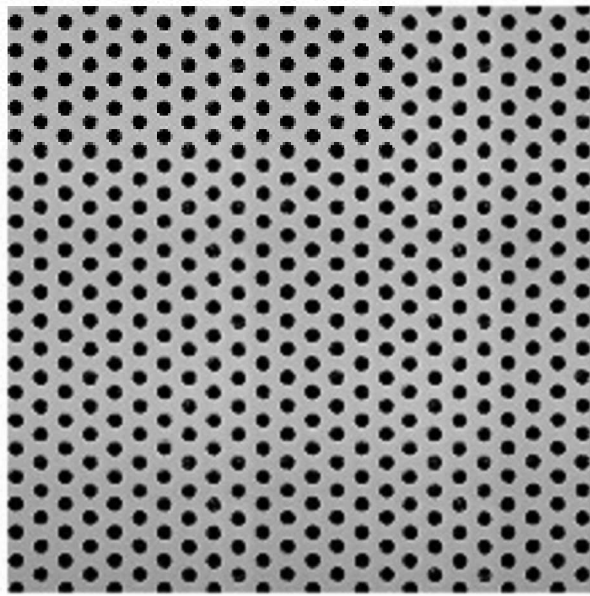
1 ENLARGED VIEW - METAL GATE  
3/8" = 1'-0"



4 ENLARGED VIEW - RAMP  
3/8" = 1'-0"



5 ENLARGED RAMP - SECTION 1  
3/8" = 1'-0"

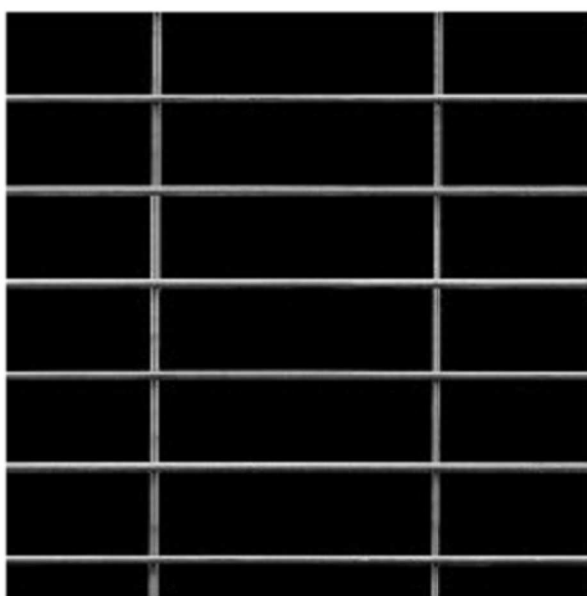


#### McNICHOLS® Perforated Plastic

Round, PLASTIPERF™ 1133, Plastic, Polypropylene, 11 Gauge (.1196" Thick), 3/16" Round on 5/16" Staggered Centers, 33% Open Area, 48" x 96"

**McNICHOLS®** Perforated Plastic, Round, PLASTIPERF™ 1133, Plastic, Polypropylene, 11 Gauge (.1196" Thick), 3/16" Round on 5/16" Staggered Centers, 1/8" Bar Width, 11.95 Holes Per Square Inch (HPSI), Minimum Solid Margins Both Sides of Sheet Parallel to Length of Sheet, Holes Sheared Through Both Ends of Sheet Parallel to Width of Sheet, 33% Open Area

ITEM 1P31511148 - 48" x 96"



#### McNICHOLS® Wire Mesh

Rectangular, Stainless Steel, Type 304, Welded - Untrimmed, 3" x 1-1/2" Mesh (Rectangular), 2.8800" x 1.3800" Opening (Rectangular), 0.120" Thick (11 Gauge) Wire Diameter, 73% Open Area, 36" x 100"

**McNICHOLS®** Wire Mesh, Rectangular, Stainless Steel, Type 304, Mill Finish, Welded - Untrimmed, 3" x 1-1/2" Mesh (Rectangular), 2.8800" x 1.3800" Opening (Rectangular), 0.120" Thick (11 Gauge) Wire Diameter, Long Way of Opening (LWO) Parallel to Width of Sheet, 73% Open Area

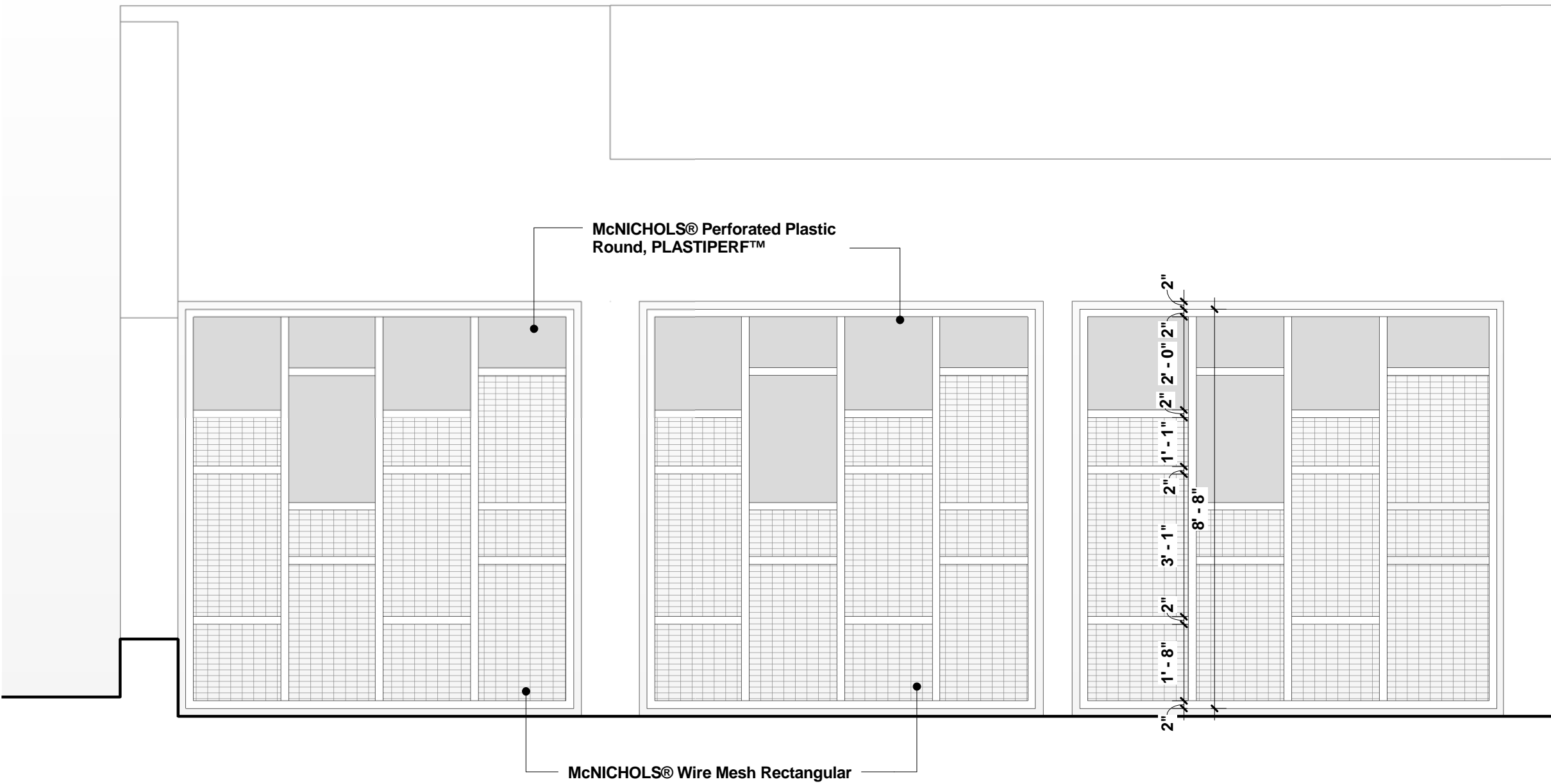
ITEM 383412003A - 36" x 100"

#### ITEM SPECIFICATIONS

Item Number	1P31511148
Product Line	Perforated Metal
Hole Type	Round
Series Name	PLASTIPERF™
Series Number	1133
Primary Material	Plastic (PL)
Alloy, Grade or Type	Polypropylene (POLY)
Material Finish	Mill Finish
Gauge/Thickness	11 Gauge (.1196" Thick)
Hole Pattern	3/16" Round on 5/16" Staggered Centers
Hole Size (Diameter)	3/16"
Hole Centers	5/16"
Bar Width	1/8"
Hole Arrangement	60° Staggered Centers
Holes Per Square Inch (HPSI)	11.95
Straight Rows Parallel to	Length of Sheet
Margins Parallel to Width	Sheared Through Both Ends
Margins Parallel to Length	Minimum Solid Both Sides
End Pattern	Sheared Through Both Ends
Percent Open Area	33%
Weight	0.39 Lbs./Square Foot

#### ITEM SPECIFICATIONS

Item Number	383412003A
Product Line	Wire Mesh
Mesh Type	Rectangular
Construction Type	Welded
Primary Material	Stainless Steel (SS)
Alloy, Grade or Type	Type 304 (304)
Material Finish	Mill Finish
Weave or Trim Type	Welded - Untrimmed
Mesh Size	3" x 1-1/2"
Opening Size	2.8800" x 1.3800"
Wire Diameter/Wire Gauge	0.120" Thick (11 Gauge)
Pitch Size	3.0000" x 1.5000"
Overall Thickness	0.240"
Long Way of Opening (LWO) Parallel to	Width of Sheet
Percent Open Area	73%
Weight	1.10 Lbs./Square Foot
Product Form	Sheet
Sizes (Width x Length)	36" x 100" (Cut Sizes Available)



2 ENLARGED VIEW - METAL PARTITION  
3/8" = 1'-0"

ARCHITECT:

CONSULTANT:

CERTIFIED BY:

REVISION / DATE / DESCRIPTION

PROJECT  
MEJORAS A ESTACIONAMIENTO MUNICIPAL  
MUNICIPIO DE NAGUABO,  
PUERTO RICO  
CLIENT  
MUNICIPIO DE NAGUABO

PROJECT #:

SCALE:

DRAWN BY:

TITLE

SHEET

A501

ARCHITECT:

CONSULTANT:

CERTIFIED BY:

REVISION / DATE / DESCRIPTION

PROJECT

MEJORAS A ESTACIONAMIENTO MUNICIPAL

MUNICIPIO DE NAGUABO,  
PUERTO RICO

CLIENT

MUNICIPIO DE NAGUABO

PROJECT #:

SCALE:

DRAWN BY: Author

DOOR AND WINDOW SCHEDULES

TITLE

A600

SHEET





DOOR SCHEDULE							
Mark	FINISHED OPENING WIDTH	FINISHED OPENING HEIGHT	Finish	Frame Material	Door Type	Comments	Manufacturer
1	3' - 0"	7' - 4"			FLUSH		REPUBLIC
2	3' - 0"	7' - 4"			FLUSH		REPUBLIC
3	3' - 0"	7' - 4"			FLUSH		REPUBLIC
4	3' - 0"	7' - 4"			FLUSH		REPUBLIC

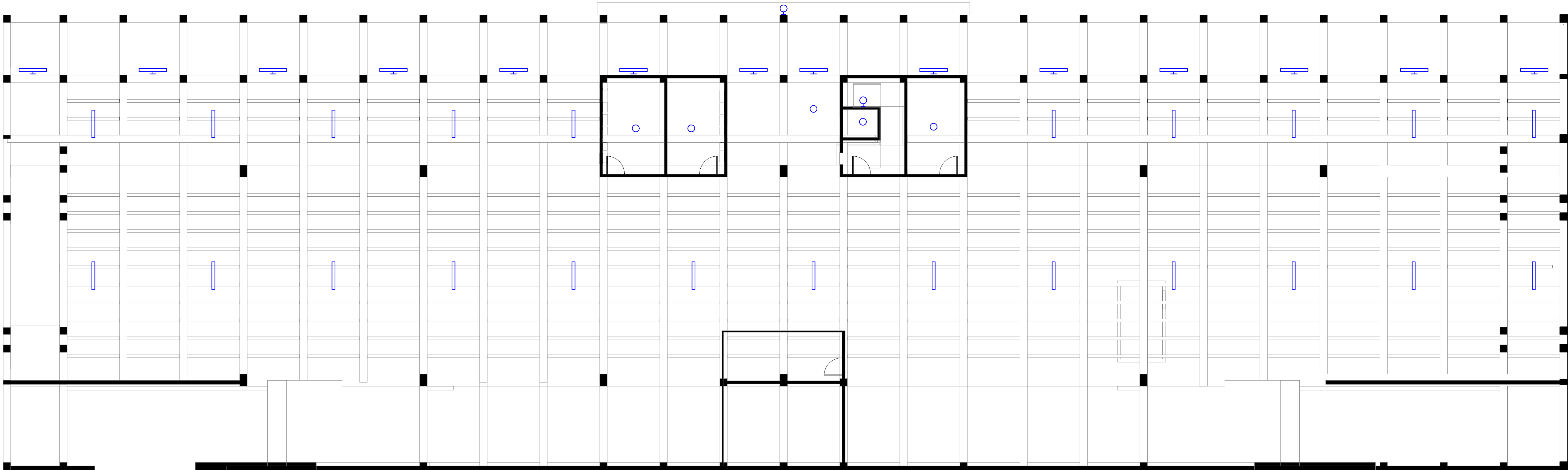
DOOR SCHEDULE							
Mark	FINISHED OPENING WIDTH	FINISHED OPENING HEIGHT	Finish	Frame Material	Door Type	Comments	Manufacturer
5	3' - 0"	7' - 4"			FLUSH		REPUBLIC
6	3' - 0"	7' - 4"			FLUSH		REPUBLIC
7	4' - 6"	6' - 8"			FLUSH		REPUBLIC
8	3' - 0"	7' - 4"			FLUSH		REPUBLIC

Window Schedule					
Type Mark	Height	Width	Manufacturer	Comments	
A	2' - 0"	1' - 10"			
A	2' - 0"	1' - 10"			
A	2' - 0"	1' - 10"			
A	2' - 0"	1' - 10"			
A	2' - 0"	1' - 10"			
A	2' - 0"	1' - 10"			
A	2' - 0"	1' - 10"			
A	2' - 0"	1' - 10"			
A	2' - 0"	1' - 10"			
A	2' - 0"	1' - 10"			
A	2' - 0"	2' - 0"			
A	2' - 0"	2' - 0"			
A	2' - 0"	2' - 0"			
A	2' - 0"	2' - 0"			
A	2' - 0"	2' - 0"			
A	2' - 0"	2' - 0"			
A	2' - 0"	2' - 0"			
A	2' - 0"	2' - 0"			
A	2' - 0"	2' - 0"			
B	4' - 0"	2' - 0"			
C	3' - 0"	3' - 2 1/2"			
C	3' - 0"	3' - 2 1/2"			
C	3' - 0"	3' - 2 1/2"			
C	3' - 0"	3' - 2 1/2"			
C	3' - 0"	3' - 2 1/2"			
C	3' - 0"	3' - 2 1/2"			
C	3' - 0"	3' - 2 1/2"			
C	3' - 0"	3' - 2 1/2"			
C	3' - 0"	3' - 2 1/2"			
C	3' - 0"	3' - 2 1/2"			
C	3' - 0"	3' - 2 1/2"			
C	3' - 0"	3' - 2 1/2"			
C	3' - 0"	3' - 2 1/2"			
C	3' - 0"	3' - 2 1/2"			
C	3' - 0"	3' - 2 1/2"			
C	3' - 0"	3' - 2 1/2"			
C	3' - 0"	3' - 2 1/2"			
C	3' - 0"	3' - 2 1/2"			
C	3' - 0"	3' - 2 1/2"			
C	3' - 0"	3' - 2 1/2"			
D	3' - 6"	2' - 0"	VALCOOR		
D	3' - 6"	2' - 0"	VALCOOR		
D	3' - 6"	2' - 0"	VALCOOR		

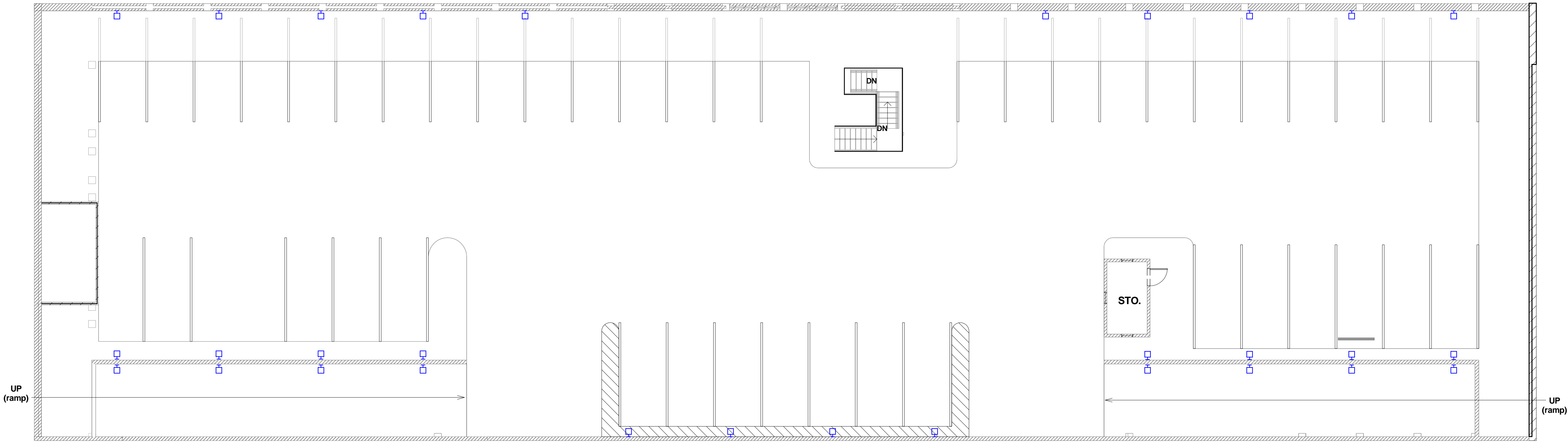


ELECTRIC LEGEND:

-  SURFACE MOUNTED WALL LIGHT FIXTURE
-  SURFACE MOUNTED CEILING LIGHT FIXTURE
-  SURFACE MOUNTED CEILING LIGHT FIXTURE
-  SURFACE MOUNTED LIGHT FIXTURE



1 LIGHTING PLANS (1ST LEVEL)  
1" = 10'-0"



2 LIGHTING PLANS (2nd LEVEL)  
1" = 10'-0"

## ATTACHMENT M

### **Sole Source Aquifers**

Safe Drinking Water Act of 1974, as amended, particularly section 1424(e); 40 CFR Part 149

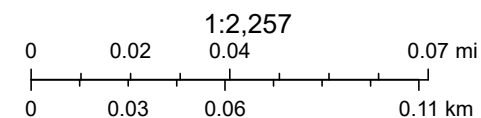


# Sole Source Aquifers

Lat: 18.21237734, Lon: -65.73643706



4/16/2023, 3:11:13 PM



Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community



<https://epa.maps.arcgis.com/apps/webappviewer/index.html?id=9ebb047ba3ec41ada1877155fe31356b>

ATTACHMENT N

**Wetlands Protection**

Executive Order 11990, particularly sections 2 and 5





U.S. Fish and Wildlife Service

# National Wetlands Inventory

## Wetlands Protection

Attachment N

PR-CRP-001011 Mejoras al Estacionamiento Público del Municipio de Naguabo

Lat: 18.21237734, Lon: -65.73643706



April 16, 2023

**Wetlands** PR-CRP-001011

- Estuarine and Marine Deepwater
- Estuarine and Marine Wetland

- Freshwater Emergent Wetland
- Freshwater Forested/Shrub Wetland
- Freshwater Pond

- Lake
- Other
- Riverine



This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

<https://fwsprimary.wim.usgs.gov/wetlands/apps/wetlands-mapper/>

ATTACHMENT O

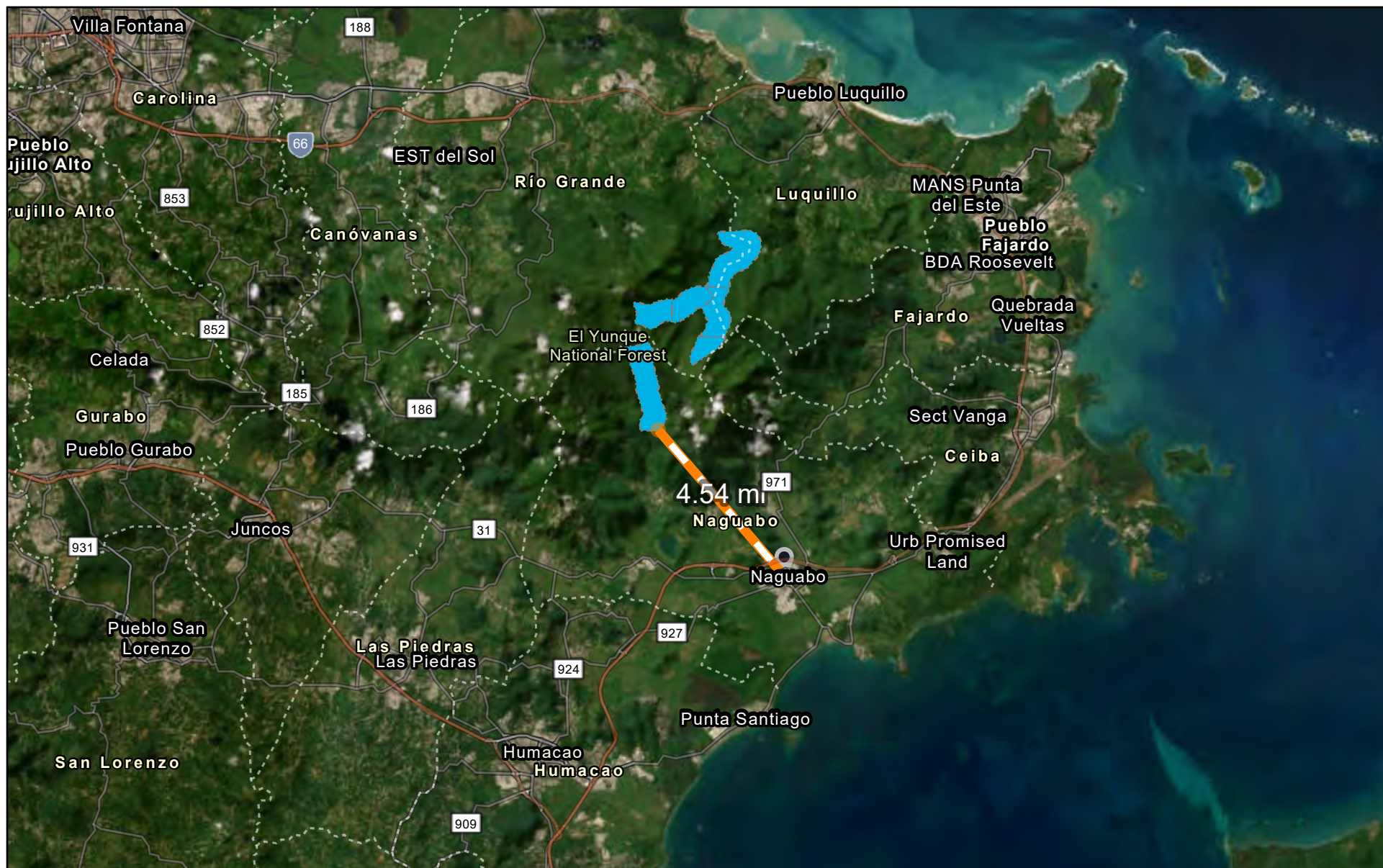
**Wild and Scenic Rivers**

Wild and Scenic Rivers Act of 1968, particularly section 7(b) and (c)



## Wild Scenic Rivers

Lat: 18.21237734, Lon: -65.73643706



5/29/2023

 National Wild and Scenic Rivers (Feature Layer) - National Wild and Scenic Rivers

World Imagery

Low Resolution 15m Imagery

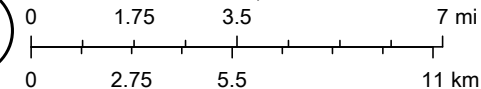
High Resolution 60cm Imagery

High Resolution 30cm Imagery

Citations



1:217,876



Earthstar Geographics, Esri, HERE, Garmin, Foursquare, SafeGraph, METI/ NASA, USGS, NPS


<https://www.arcgis.com/apps/mapviewer/index.html?panel=gallery&layers=183f02cd2f374c2bb7969bc4d9901ae7>