

**Environmental Review for Activity/Project that is Categorically
Excluded Subject to Section 58.5
Pursuant to 24 CFR 58.35(a)**

Project Information

Project Name: Mejoras en la Plaza de La Música (PR-CRP-000054)

Responsible Entity: Puerto Rico Department of Housing (PRDOH)

Grant Recipient (if different than Responsible Entity): Municipality of Jayuya

State/Local Identifier: Puerto Rico / Jayuya

Preparer: Marcos A. Berríos Maldonado, MSEM

Certifying Officer Name and Title:

Aldo A. Rivera Vázquez - Director, Permits and Environmental Compliance Division
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Consultant (if applicable): Be Environmental Consulting, LLC

Direct Comments to: Puerto Rico Department of Housing at environmentcdbg@vivienda.pr.gov

Project Location: Guillermo Esteves St, Carr 141 Km 0.0, Bo. Pueblo, Jayuya PR 00664, (18.221549, -66.588312), cadaster number 216-086-007-18-001

Description of the Proposed Project [24 CFR 50.12 & 58.32; 40 CFR 1508.25]: The proposed project involves the rehabilitation and enhancement of the Plaza de Música, located at Guillermo Esteves St, Carr 141 Km 0.0, Bo. Pueblo, in the municipality of Jayuya, Puerto Rico. A project location map can be found in **Appendix A**. The site, covering 288.75 square meters, is designated as Commercial Intermedio (C-I) under zoning regulations and Suelo Urbano (SU) under the land use plan classification. The project

aims to modernize the existing public plaza by improving its infrastructure, accessibility, and overall functionality while preserving its historical and cultural significance.

The scope of work includes public space enhancements, accessibility improvements, infrastructure upgrades, and environmental resilience measures. The project will install new seating areas, shaded structures, and urban furniture to improve user comfort. Pedestrian pathways will be reconstructed to comply with Americans with Disabilities Act (ADA) standards, ensuring accessibility for all users. Additionally, lighting and security features will be upgraded to enhance visibility and safety. Electrical infrastructure will be modified, including the relocation and reinforcement of conduits and lighting systems, while stormwater drainage will be improved to manage runoff efficiently.

A lightweight canopy structure will be installed above the existing bleachers to provide shade and weather protection. The canopy’s supporting structure will be anchored directly to the bleachers using mechanical anchors and epoxy resin, avoiding excavation. If additional foundation support is required, it will be incorporated within newly designed planters, ensuring minimal impact on the existing slab. Green spaces will be integrated through the installation of new planters, improving the plaza’s aesthetic appeal and microclimate. To facilitate proper drainage, selective concrete slab removal will be conducted without disturbing the underlying ground. Construction drawings can be found in **Appendix B**.

The construction phase will be carefully managed to minimize disruptions and environmental impacts. Since the site is already developed as a public plaza, no excavation will be required beyond localized work for drainage and planter installations. Noise and dust control measures will be implemented, and all activities will comply with HUD, NEPA, Section 106, and floodplain management regulations.

The site is owned by the Municipality of Jayuya, eliminating the need for land acquisition and allowing for efficient project execution under CDBG funding. The Plaza de Música improvement project will enhance community engagement, accessibility, and environmental resilience, strengthening Jayuya’s urban and cultural landscape while ensuring long-term functionality and sustainability.

Funding Information

Grant Number	HUD Program	Funding Amount
B-17-DM-72-0001; B-18-DP-72-0001; B-19-DP-78-0002; B-18-DE-72-0001	Community Development Block Grant – Disaster Recovery (CDBG-DR)	\$11,938,162,230

Estimated Total HUD Funded Amount: \$276,893.00

Estimated Total Project Cost (HUD and non-HUD funds) [24 CFR 58.32(d)]: \$276,893.00

Compliance with 24 CFR 50.4, 58.5, and 58.6 Laws and Authorities

Record below the compliance or conformance determinations for each statute, executive order, or regulation. Provide credible, traceable, and supportive source documentation for each authority. Where applicable, complete the necessary reviews or consultations and obtain or note applicable permits of approvals. Clearly note citations, dates/names/titles of contacts, and page references. Attach additional documentation as appropriate.

Compliance Factors: Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6	Are formal compliance steps or mitigation required?	Compliance Determinations
STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 50.4 and 58.6		
Airport Hazards 24 CFR Part 51 Subpart D	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	<p>The proposed Mejoras en la Plaza de La Música project in Jayuya, Puerto Rico, will not be impacted by any airport operations, accident potential zones, or runway protection zones/clear zones. The project complies with HUD's Airport Hazard regulations.</p> <p>The project site is located 80,172 ft (15.18 miles) from the nearest civilian airport, Aeropuerto Regional de Ponce (Mercedita Airport, TJPS). The nearest military airport (combined military and civilian) is Luis Muñoz Marín International Airport (TJSJ) in Carolina, PR, at 222,928 ft (42.22 miles) from the site. The project is not within 15,000 feet of a military airport or 2,500 feet of a civilian airport. Thus, the project complies with Airport Hazards requirements under 24 CFR Part 51 Subpart D.</p> <p>Source Documentation: Appendix C: Airport Hazards Reference: 24 CFR Part 51 Subpart D - Airport Hazards Federal Aviation Administration (FAA) Database</p>
Coastal Barrier Resources Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 [16 USC 3501]	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	<p>The proposed Mejoras en la Plaza de La Música project in Jayuya, Puerto Rico, is not located within a Coastal Barrier Resources System (CBRS) area. The nearest CBRS unit is "PR-60 Punta Boca Quebrada," which is located 16.50 miles (87,116 feet) from the project site.</p> <p>This distance ensures that there is no potential impact on the CBRS unit. Therefore, the project is fully compliant with the Coastal Barrier Resources Act of 1990, and no further action is required.</p> <p>Source Documentation:</p>

		<p>Appendix D: Coastal Barrier Resources</p> <p>Reference: Coastal Barrier Resources Act (16 U.S.C. 3501)</p> <p>U.S. Fish and Wildlife Service CBRS Map Review</p>
<p>Flood Insurance</p> <p>Flood Disaster Protection Act of 1973 and National Flood Insurance Reform Act of 1994 [42 USC 4001-4128 and 42 USC 5154a]</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The proposed project is located in Zone X (the Area of Minimal Flood Hazard) according to FEMA's Flood Insurance Rate Map (FIRM) Panel 72000C1105H (effective 4/19/2005).</p> <p>Since the project does not involve new insurable structures, flood insurance is not required under the National Flood Insurance Program (NFIP). However, any future modifications introducing new structures within Zone A may require additional floodplain review and flood insurance coverage.</p> <p>The proposed project is in compliance with all applicable flood insurance requirements.</p> <p>Source Documentation:</p> <p>Appendix E: Flood Insurance</p> <p>Reference: 42 USC 4001-4128 – Flood Disaster Protection Act of 1973</p> <p>Reference: 24 CFR Part 55 – Floodplain Management and Protection of Wetlands</p>
<p>STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 50.4 & 58.5</p>		
<p>Clean Air</p> <p>Clean Air Act, as amended, particularly section 176(c) & (d); 40 CFR Parts 6, 51, 93</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The proposed Mejoras en la Plaza de La Música project in Jayuya, Puerto Rico, does not involve activities that would significantly impact air quality or violate the Clean Air Act (CAA). The project consists of rehabilitation and modernization of an existing public plaza, including urban furniture replacement, lighting installation, landscaping improvements, and electrical system upgrades, none of which involve new industrial processes or major stationary sources of emissions.</p> <p>Under the CAA, projects receiving federal funding must comply with the National Ambient Air Quality Standards (NAAQS) to prevent significant air pollution. The U.S. Environmental Protection Agency (EPA) does not designate Jayuya as a nonattainment area for any criteria pollutants, meaning the region meets federal air quality standards.</p> <p>Temporary emissions from construction activities, such as dust generation and vehicle exhaust, are expected to be minimal and localized. Best management</p>

		<p>practices (BMPs), including dust suppression measures and proper maintenance of construction equipment, will be implemented to reduce any temporary air quality impacts.</p> <p>Since the project does not involve new major stationary sources or modifications requiring a permit under the Clean Air Act, no formal compliance steps or additional permits are required. The project is fully compliant with the Clean Air Act and no further action is necessary.</p> <p>Source Documentation:</p> <p>Appendix F: Clean Air</p> <p>Reference: 40 CFR Parts 6, 51, 93 – Clean Air Act Compliance</p> <p>Reference: National Ambient Air Quality Standards (NAAQS), U.S. Environmental Protection Agency (EPA)</p>
<p>Coastal Zone Management</p> <p>Coastal Zone Management Act, sections 307(c) & (d)</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The Puerto Rico Coastal Zone Management Program (PRCZMP) defines the coastal zone as extending 1,000 meters inland from the shoreline on the main island of Puerto Rico. Certain areas beyond this limit are also included when necessary to protect key coastal resources.</p> <p>The project site is located inland in Jayuya, beyond the defined 1,000-meter coastal zone boundary, meaning it does not require a CZMA consistency review by the Puerto Rico Planning Board (JP) PRCZMP. The project complies with the Coastal Zone Management Act, and no further action is required.</p> <p>Source Documentation:</p> <p>Appendix G: Coastal Zone Management</p> <p>Reference: Coastal Zone Management Act (16 USC 1451)</p> <p>Reference: PRCZMP Designation (DRNA & JP) – PRCZMP 2009 Document</p>
<p>Contamination and Toxic Substances</p> <p>24 CFR Part 50.3(i) & 58.5(i)(2)</p>	<p>Yes No</p> <p><input checked="" type="checkbox"/> <input type="checkbox"/></p>	<p>A review of federal and local environmental databases confirms that the project site is not located within or near a contaminated site, hazardous materials facility, or toxic substance storage area. The EPA NEPAAssist tool, Puerto Rico Department of Natural and Environmental Resources (PRDNER) Contaminated Sites Inventory, and the EPA Superfund database were consulted to identify any potential contamination risks. No records of Superfund sites, Resource</p>

		<p>Conservation and Recovery Act (RCRA) facilities, leaking underground storage tanks (LUSTs), or brownfields were found in the immediate vicinity. The EPA NEPAassist tool identified one water discharger facility within 3,000 feet of the project site. However, there is no active violation at this site. Therefore, there will be no impact to the proposed project.</p> <p>The project consists of rehabilitation of an existing public plaza, with no excavation, subsurface work, or soil disturbance that could expose or mobilize contaminants. All electrical conduits and structural components will be embedded within the existing slab or installed above-ground in planters, preventing potential exposure to underground contaminants. Given these conditions, the project does not pose contamination risks and does not require further environmental remediation or mitigation measures.</p> <p>An asbestos inspection and a lead-based paint inspection were performed on 1/10/2025 by Be Environmental Consulting, LLC. No asbestos-containing material (ACM) was detected during the inspection. Positive lead-based paint was detected on bust plaques and the yellow bollard. The bollards are not included in the project scope and will not be disturbed during project activities. The lead-based paint on the bollards will be managed by the municipality's public works department. Lead-based paint on the bust plaques will be mitigated during construction, either through the encapsulation of the paint or replacement of the plaques.</p> <p>The project is limited to the rehabilitation of a public outdoor plaza. The proposed project does not involve structures that are occupied or are intended to be occupied at least four (4) hours a day, as defined by HUD Notice CPD-23-103. Therefore, HUD radon requirements are not applicable and the project is exempt from radon testing.</p> <p>The proposed project is in compliance with all applicable contamination and toxic substance requirements.</p> <p>Source Documentation:</p> <p>Appendix H: Contamination and Toxic Substances Reference: 24 CFR 50.3(i) & 58.5(i)(2) – Contamination & Toxic Substances Compliance</p>
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<p>Endangered Species</p> <p>Endangered Species Act of 1973, particularly section 7; 50 CFR Part 402</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>A review of the U.S. Fish and Wildlife Service (USFWS) Information for Planning and Consultation (IPaC) tool confirms that the project does not impact federally listed endangered or threatened species, critical habitats, or designated conservation areas. The project site is located in an urbanized area with no sensitive ecosystems or undeveloped natural habitats, reducing the likelihood of direct or indirect effects on protected species.</p> <p>Consultation with USFWS and the Puerto Rico Department of Natural and Environmental Resources (PRDNER) is not required, as no federally listed species or critical habitats have been identified within or near the project area. Additionally, the project scope consists of rehabilitation and modernization within an existing public plaza, with no excavation, vegetation clearing, or activities that could disturb protected wildlife. The proposed actions comply with the USFWS Blanket Clearance Letter, and a Self-Certification was prepared. The letter was reviewed and signed by USFWS on 5/13/2025.</p> <p>The project is fully compliant with the Endangered Species Act, and no further action is required.</p> <p>Source Documentation:</p> <p>Appendix I: Endangered Species</p> <p>Reference: 50 CFR Part 402 – Endangered Species Act Compliance</p>
<p>Explosive and Flammable Hazards</p> <p>24 CFR Part 51 Subpart C</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The project does not involve development, construction, or rehabilitation that will increase residential density or conversion.</p> <p>No bulk fuel storage, high-pressure gas pipelines, chemical plants, or other hazardous facilities exist within the HUD-defined ASD threshold for this type of project. The project does not involve the handling, storage, or use of explosive or flammable materials and does not introduce any new hazardous risks to the surrounding area.</p> <p>The project complies with 24 CFR Part 51 Subpart C, and no further action is required.</p> <p>Reference: 24 CFR Part 51 Subpart C – Explosive & Flammable Hazards Compliance</p>
<p>Farmlands Protection</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The Farmland Protection Policy Act (FPPA) seeks to minimize the conversion of prime, unique, or important agricultural land to non-agricultural uses.</p>

<p>Farmland Protection Policy Act of 1981, particularly sections 1504(b) and 1541; 7 CFR Part 658</p>		<p>The project site is classified as urban land (Suelo Urbano) under the Puerto Rico Land Use Plan and is not designated as farmland by the Natural Resources Conservation Service (NRCS) or the Puerto Rico Planning Board (JP).</p> <p>A review of the NRCS Web Soil Survey and Puerto Rico Land Classification Maps confirms that the site does not contain prime farmland, unique farmland, or land of statewide or local importance. Additionally, the project involves rehabilitation of an existing plaza and does not introduce any new development that would impact agricultural resources.</p> <p>Since the project site does not qualify as farmland under FPPA definitions, no consultation with NRCS or FPPA compliance measures are required. The project fully complies with the Farmland Protection Policy Act, and no further action is necessary.</p> <p>Source Documentation:</p> <p>Appendix J: Farmlands Protection</p> <p>Reference: 7 CFR Part 658 – Farmland Protection Policy Act (FPPA) Compliance</p>
<p>Floodplain Management</p> <p>Executive Order 11988, particularly section 2(a); 24 CFR Part 55</p>	<p>Yes No</p> <p><input checked="" type="checkbox"/> <input type="checkbox"/></p>	<p>The proposed project is located in Zone X (the Area of Minimal Flood Hazard) according to FEMA's Flood Insurance Rate Map (FIRM) Panel 72000C1105H, effective 4/19/2005. However, Advisory Base Flood Elevation (ABFE) data (effective 4/18/2018) from the Puerto Rico Planning Board classifies 54.4% of the site within Zone A (1% Annual Chance Flood Hazard), 30.6% in Zone Shaded X (0.2% Annual Chance Flood Hazard), and 15.0% outside mapped flood zones.</p> <p>Under Executive Order 11988 as Provided by 24 CFR §55.20, federally funded projects within the floodplain must undergo a floodplain evaluation to minimize risks and ensure responsible development. Given that the ABFE classification places part of the site in the 500-year floodplain but complies with 24 CFR 55.14(e), the project has followed HUD's Modified 5-Step Process for floodplain management.</p> <p>The project consists of rehabilitation and infrastructure improvements within an existing public plaza with no new construction, elevation changes, or substantial improvements that would affect floodplain function. All installations, including lighting poles and urban furniture, will be anchored to the existing</p>

		<p>concrete slab using mechanical anchors and epoxy resin, avoiding excavation.</p> <p>Since the project does not increase flood risk, does not introduce habitable structures, and follows mitigation strategies outlined in the 5-Step Process, the project complies with Executive Order 11988 and 24 CFR Part 55. The 5-Step Process concluded that the project would have minimal impact on the floodplain and would not exacerbate existing hazards. The 5-Step Process was reviewed and approved on 4/4/2025. The proposed project is in compliance with all applicable floodplain management requirements, and no further action is required.</p> <p>Source Documentation:</p> <p>Appendix K: Floodplain Management</p> <p>Reference: Executive Order 11988 – Floodplain Management</p> <p>Reference: 24 CFR Part 55 – HUD Floodplain Management and Protection of Wetlands</p>
<p>Historic Preservation</p> <p>National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The Mejoras en la Plaza de La Música project was evaluated under the Programmatic Agreement (PA) among PRSHPO, FEMA, COR3, and HUD, which establishes allowances for certain types of work that do not require further consultation with PRSHPO. The project was reviewed to determine compliance with Stipulation II.A (Project Review – Programmatic Allowances) of the PA, and it was found that the project qualifies under these allowances, completing the Section 106 process without requiring further PRSHPO consultation.</p> <p>The site was developed in 1992, and it is not located within or adjacent to a historic district listed in or eligible for the National Register of Historic Places (NRHP). The project consists of rehabilitation and modernization of the plaza, including infrastructure repairs, replacement of urban furniture, installation of lighting, and landscaping improvements. No excavation, ground disturbance, or substantial alterations to historic structures will occur.</p> <p>Based on this determination, the project complies with Section 106 of the National Historic Preservation Act (NHPA) and 36 CFR Part 800, and no further action is required.</p> <p>Source Documentation:</p>

		<p>Appendix L: Historic Preservation</p> <p>Reference: National Historic Preservation Act (NHPA) – Section 106</p> <p>Reference: 36 CFR Part 800 – Protection of Historic Properties</p> <p>Reference: HUD-FEMA-COR3-PRSHPO Programmatic Agreement</p>
<p>Noise Abatement and Control</p> <p>Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The project does not involve the development of noise-sensitive uses such as housing, schools, or healthcare facilities. The scope of work consists of rehabilitation and improvements within an existing public plaza, which is already subject to typical urban noise levels.</p> <p>The project site is not located within an FAA-designated airport noise exposure zone, nor is it within the immediate vicinity of major highways or railway corridors. Temporary noise impacts related to construction activities are expected but will be limited to standard daytime hours.</p> <p>Based on the project scope and location, the proposed activities comply with HUD’s Noise Abatement and Control regulations under 24 CFR Part 51 Subpart B. No further action is required.</p> <p>Reference: 24 CFR Part 51 Subpart B – Noise Abatement & Control</p>
<p>Sole Source Aquifers</p> <p>Safe Drinking Water Act of 1974, as amended, particularly section 1424(e); 40 CFR Part 149</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The project is not located within a Sole Source Aquifer (SSA) designated by the U.S. Environmental Protection Agency (EPA). A review of the EPA Sole Source Aquifer database confirms that there are no federally designated SSAs in Puerto Rico.</p> <p>The nearest sole source aquifer is located approximately 1,028.37 miles from the project site, eliminating any potential for adverse impacts. Since the project does not involve activities that could impact groundwater resources, no additional compliance steps, mitigation measures, or consultation with the EPA are required.</p> <p>The project complies with 40 CFR Part 149, and no further action is necessary.</p> <p>Source Documentation:</p> <p>Appendix M: Sole Source Aquifers</p> <p>Reference: 40 CFR Part 149 – Sole Source Aquifers</p>

		Reference: Safe Drinking Water Act (SDWA), Section 1424(e)
Wetlands Protection Executive Order 11990, particularly sections 2 and 5	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	<p>A desktop study included a review of the National Wetlands Inventory (NWI) map. The NWI map confirms that no wetlands are located within or adjacent to the project site. The project area is already developed and no work is proposed outside of the existing plaza. Photos taken during a site visit in January 2025 confirm that the project area is already developed and does not contain any indication of the presence of wetlands.</p> <p>Based on these findings, the project complies with the Wetlands Protection requirements of Executive Order 11990. Furthermore, no additional mitigation measures or implementation of the 8-Step Process are required. All findings are consistent with the regulatory requirements of 24 CFR § 55.9.</p> <p>Source Documentation:</p> <p>Appendix N: Wetlands Protection</p> <p>Reference: Executive Order 11990 – Protection of Wetlands</p> <p>Reference: 24 CFR Part 55 – Floodplain Management and Protection of Wetlands</p> <p>Reference: National Wetlands Inventory (NWI) – U.S. Fish and Wildlife Service</p>
Wild and Scenic Rivers Wild and Scenic Rivers Act of 1968, particularly section 7(b) and (c)	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	<p>The project site is not located within proximity to any designated Wild and Scenic River, Study River, or Nationwide Rivers Inventory (NRI) River. A review of the National Wild and Scenic Rivers System database confirms that there are no designated or study rivers in the project area.</p> <p>The closest river is located approximately 55.53 miles east of the project site. Based on the review, the project will not have direct or adverse effects on any Wild and Scenic Rivers or their surrounding environments. No further consultation or mitigation measures are required. The project complies with the Wild and Scenic Rivers Act, as outlined in 24 CFR Part 50 and Part 58.</p> <p>Source Documentation:</p> <p>Appendix O: Wild and Scenic Rivers</p> <p>Reference: Wild and Scenic Rivers Act (16 U.S.C. 1271 et seq.)</p>

		Reference: National Wild and Scenic Rivers System, HUD Guidance on Wild and Scenic Rivers
ENVIRONMENTAL JUSTICE		
Environmental Justice Executive Order 12898	Yes No <input type="checkbox"/> <input type="checkbox"/>	On January 21, 2025, President Donald Trump issued the Executive Order 14173 titled "Ending Illegal Discrimination and Restoring Merit-Based Opportunity", which revoked Executive Order 12898 and eliminated federal mandates requiring agencies to assess environmental justice impacts. Consequently, there is no longer a federal requirement to address environmental justice concerns in the environmental compliance review process.

Field Inspection (Date and completed by): A Field Visit Checklist and Site Evaluation was prepared on 11/7/2024 by Marcos A. Berrios Maldonado of Be Environmental Consulting, LLC and can be found in **Appendix P**. Additional site photos were taken in January 2025.

Summary of Findings and Conclusions: The Mejoras en la Plaza de La Música project was evaluated under 24 CFR Part 58, assessing both beneficial and potentially adverse impacts. The project will enhance public infrastructure, accessibility, and aesthetics while improving safety through ADA-compliant pathways, upgraded lighting, and urban furniture. Although ABFE data identifies 54.4% of the site within Zone A (1% Annual Chance Flood Hazard) and 30.6% in Zone Shaded X (0.2% Annual Chance Flood Hazard), the project consists of non-intrusive rehabilitation, and a Modified 5-Step Process was completed to ensure compliance. Temporary construction-related impacts, such as dust, noise, and pedestrian access disruptions, will be mitigated through best management practices (BMPs), including dust control measures, limited work hours, and pedestrian safety plans. The project qualifies under Section 106 PA allowances, requiring no further consultation with PRSHPO. Selective concrete slab removal will be conducted without disturbing the underlying ground, and all new infrastructure will be anchored to the existing concrete slab to avoid excavation. Planters will be designed above existing grade to enhance landscaping while maintaining site stability. Based on these findings, the project is Categorically Excluded per 24 CFR 58.35(a) and does not require an EA or EIS. The project complies with all applicable environmental regulations, and no significant impacts have been identified. Appropriate mitigation measures have been incorporated to minimize temporary construction-related effects, allowing the project to proceed without additional environmental review.

Mitigation Measures and Conditions [40 CFR 1505.2(c)]

Summarize below all mitigation measures adopted by the Responsible Entity to reduce, avoid, or eliminate adverse environmental impacts and to avoid non-compliance or non-conformance with the above-listed authorities and factors. These measures/conditions must be incorporated into project contracts, development agreements, and other relevant documents. The staff responsible for implementing and monitoring mitigation measures should be clearly identified in the mitigation plan.

Law, Authority, or Factor	Mitigation Measure
Clean Air (Clean Air Act, as amended, particularly section 176(c) & (d); 40 CFR Parts 6, 51, 93)	Contractors will implement best management practices (BMPs) during construction to reduce potential impacts related to air pollution from sources such as fugitive dust and heavy equipment/power generator emissions.
Contamination and Toxic Substances (24 CFR Part 50.3(i) & 58.5(i)(2))	Positive lead-based paint was detected on bust plaques and the yellow bollard in the project area during an inspection conducted by Be Environmental Consulting, LLC on 1/10/2025. The bollards are not included in the project scope and will not be disturbed during project activities. The lead-based paint on the bollards will be managed by the municipality's public works department. Lead-based paint on the bust plaques will be mitigated during construction, either through the encapsulation of the paint or replacement of the plaques.
Floodplain Management (Executive Order 11988 & 24 CFR Part 55)	All project components, including urban furniture, lighting, and electrical conduits, will be constructed in accordance with HUD floodplain management regulations. Installations will be anchored to the existing concrete slab without excavation to prevent soil disturbance. Planters will be constructed above existing grade to ensure proper stormwater drainage and avoid altering natural water flow. The project has undergone HUD's Modified 5-Step Process to ensure compliance with Executive Order 11988. This includes a reevaluation of the proposed project, minimizing potential adverse impacts, and implementing flood-resistant design measures in accordance with HUD guidelines. The analysis found that the proposed project would not result in adverse impacts to lives, property, and the natural values of the floodplain. Standard construction BMPs will be used to control erosion, sedimentation, and runoff during construction.
Noise Abatement and Control (Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B)	Any noise impacts related to construction activities will be temporary and will be limited to standard daytime hours. Standard construction noise best management practices (BMPs) will be used, and construction activities will comply with all local noise ordinances.

Determination:

- ☐ This categorically excluded activity/project converts to Exempt, per 58.34(a)(12) because there are no circumstances which require compliance with any of the federal laws and authorities cited at §58.5. **Funds may be committed and drawn down after certification of this part** for this (now) EXEMPT project; OR
- ☒ This categorically excluded activity/project cannot convert to Exempt because there are circumstances which require compliance with one or more federal laws and authorities cited at §58.5. Complete consultation/mitigation protocol requirements, **publish NOI/RROF and obtain "Authority to Use Grant Funds"** (HUD 7015.16) per Section 58.70 and 58.71 before committing or drawing down any funds; OR
- ☐ This project is now subject to a full Environmental Assessment according to Part 58 Subpart E due to extraordinary circumstances (Section 58.35(c)).

Preparer Signature: _____



Date: June 26, 2025

Name/Title/Organization: Marcos A. Berríos Maldonado / Environmental Specialist/ VPC Management

Certifying Officer Signature: _____

Date: _____

Name/Title: Janette I. Cambrelén, Permit and Environmental Compliance Specialist

This original, signed document and related supporting material must be retained on file by the Responsible Entity in an Environmental Review Record (ERR) for the activity/project (ref: 24 CFR Part 58.38) and in accordance with recordkeeping requirements for the HUD program(s).

List of Appendices

A	Project Location Map
B	Construction Drawings
C	Airport Hazards
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E	Flood Insurance and Floodplain Management
F	Clean Air
G	Coastal Zone Management
H	Contamination and Toxic Substances
I	Endangered Species
J	Farmland Protection
K	Floodplain Management
L	Historic Preservation
M	Sole Source Aquifers
N	Wetlands Protection
O	Wild and Scenic Rivers
P	Field Visit Checklist and Site Evaluation

Appendix A: Project Location Map

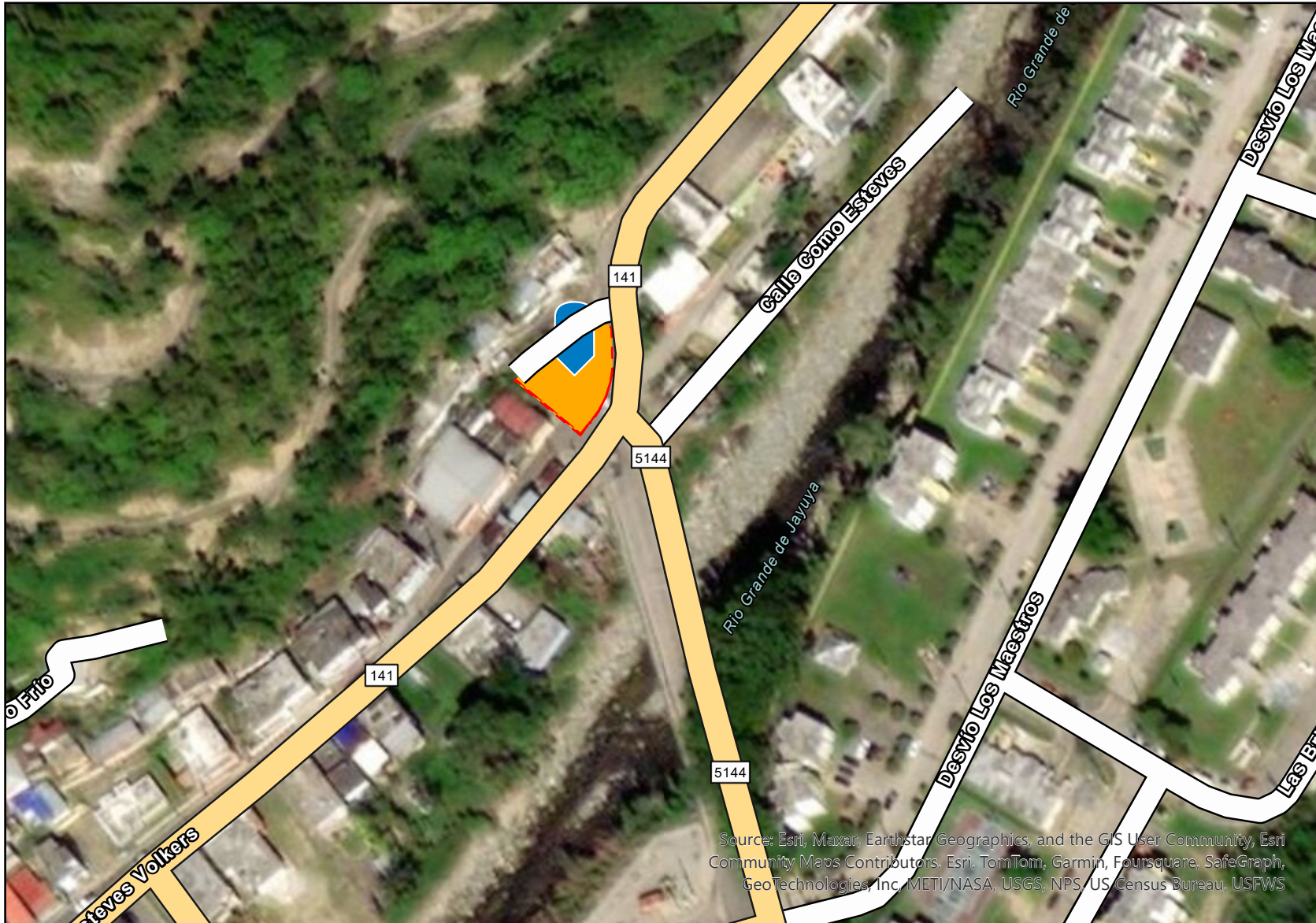
PROJECT LOCATION MAP

PLAZA DE LA MÚSICA



PROJECT ID: PR-CRP-000054

ADDRESS: Guillermo Esteves St, Carr 141 Km 0.0, Bo. Pueblo, Jayuya PR 00664

GEOGRAPHIC COORDINATES (LAT/LONG): 18.221549, -66.588312




Legend

-  Project Location
-  Project Footprint (288.75 m2)

Source: <https://catastro.crimpr.net/cdprpc/>

Spatial reference: WGS 1984 Web Mercator (auxiliary sphere)_1



105 0 10 20 30 40
 Meters



Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community, Esri Community Maps Contributors, Esri, TomTom, Garmin, Foursquare, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, NPS, US Census Bureau, USFWS

Appendix B:

Construction Drawings

PLAZA DE LA MUSICA

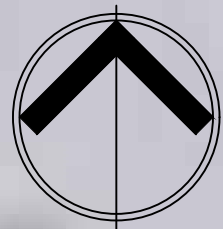
62 Calle Guillermo Esteves, Jayuya, PR

(NOT FOR CONSTRUCTION - PLANS 90%)

DATE: December 2024



PLAZA DE LA MUSICA SITE PLAN
SCALE = 1:100

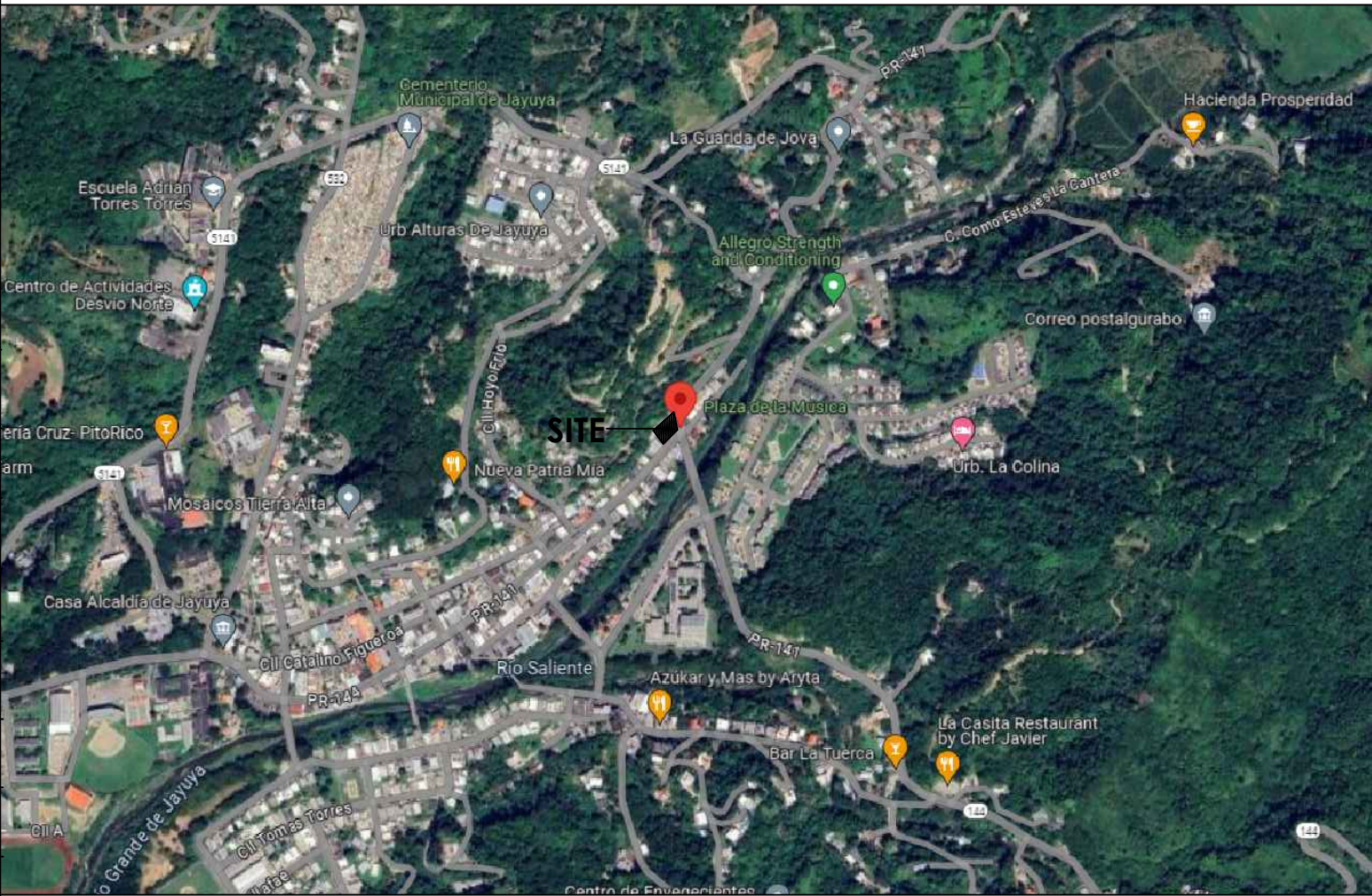


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COORDINATES:
18°13'17.4"N
66°35'18.1"W

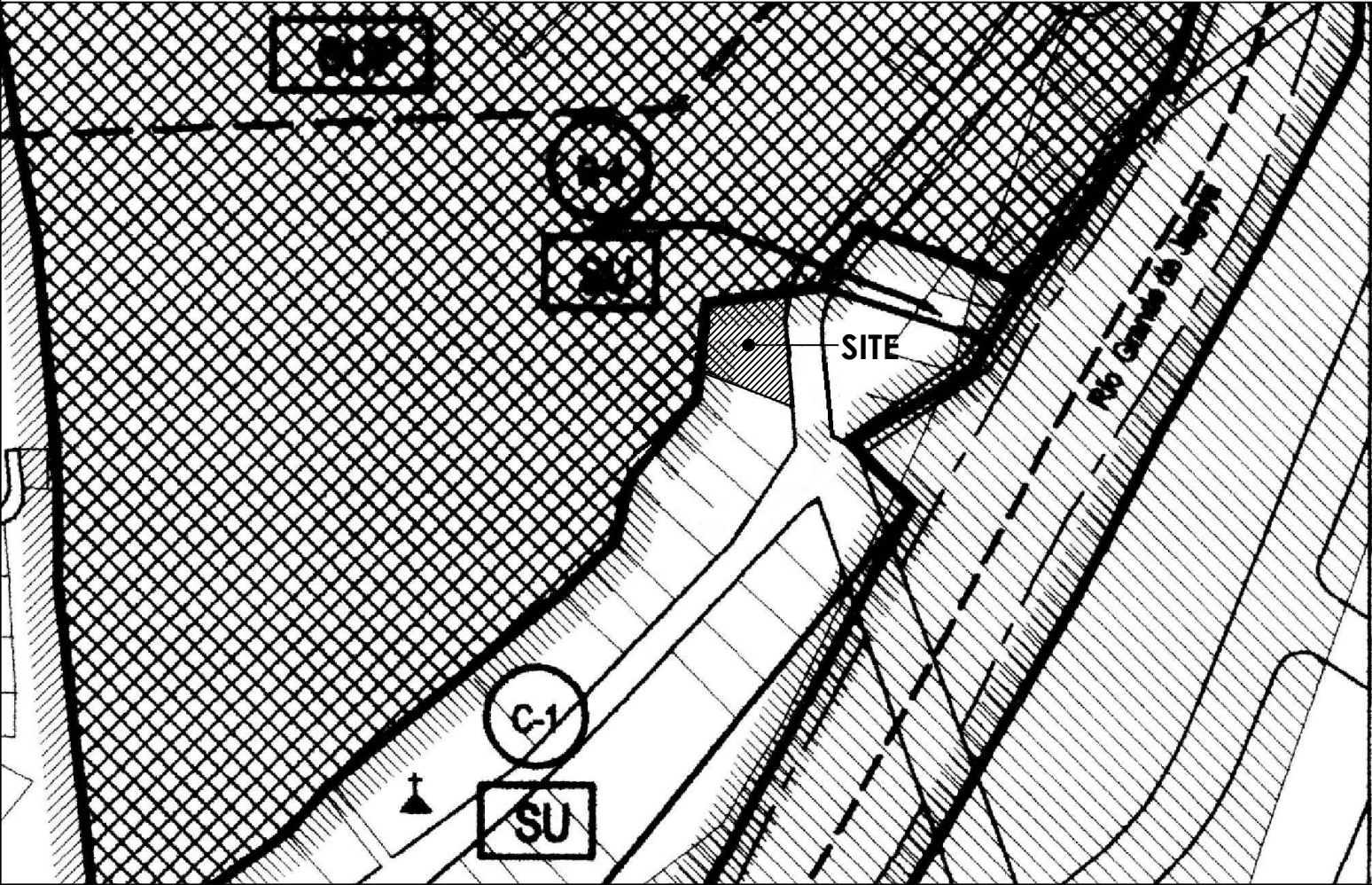
SITE LOCATION



VECINITY MAP



FLOOD MAP



ZONIFICATION MAP

DATE: DEC 2024

DRAWN BY: GAB

SCALE: AS SHOWN

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NO.

DATE

DESCRIPTIONS

PROJECT

PLAZA DE LA MUSICA
62 Calle Guillermo Esteves, Jayuya, PR
JAYUYA, PUERTO RICO

SHEET/TITLE

TITLE, MAPS & DRAWING LIST

DRAWING NUMBER

T-1

1 OF 23

GENERAL REQUIREMENTS (CONT'D)

- D. THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT THE FOLLOWING SETS OF MATERIAL AND/OR FINISH SAMPLES FOR APPROVAL:
- PAINT AND STAIN FINISHES AND MATERIAL (MIN. 6" X 6" SAMPLE)
 - PLASTIC LAMINATES
 - VINYL TILES/VINYL BASE/WOOD FLOORING
 - FINISHED MILLWORK SAMPLE- WOOD VENEER/PLASTIC LAMINATE
 - ACOUSTICAL CEILING TILES
 - CARPET SAMPLES
 - CERAMIC TILES SAMPLES

PROJECT CLOSE OUT

- GUARANTEES:** THE CONTRACTOR SHALL EXECUTE AND DELIVER TO THE OWNER, IN DUPLICATE, BEFORE FINAL PAYMENT, A WRITTEN GUARANTEE COVERING ALL MATERIALS AND EQUIPMENT COVERED UNDER THIS CONTRACT. EACH SUBCONTRACTOR SHALL EXECUTE AND DELIVER SIMILAR GUARANTEES AS TO WORK DONE BY HIM, UNLESS OTHERWISE NOTED. GUARANTEES SHALL BE FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE ENTIRE PROJECT. NEITHER THE CERTIFICATE OF FINAL PAYMENT, NOR ANY SPACE BY THE OWNER, OR ANY PROVISION OF THE CONTRACT DOCUMENTS SHALL RELIEVE THE CONTRACTOR OR ANY SUBCONTRACTOR OF HIS RESPONSIBILITY UNDER THIS GUARANTEES
- WAIVERS OF LIEN:** THE CONTRACTOR SHALL DELIVER WORK AND MATERIALS TO BE FURNISHED HEREUNDER, FREE AND CLEAR OF ALL LIENS, CHARGES AND ENCUMBRANCES OF EVERY NATURE WHATSOEVER AND SHALL PROVIDE WRITTEN EVIDENCE THEREOF.
- RECORD DRAWINGS:** THE CONTRACTOR SHALL RECORD ON THE JOB SET OF PRINTS ALL DEVIATIONS FROM LOCATIONS OF LAYOUT SHOWN OR APPROVED OF ANY WORK INCLUDING THAT WHICH IS CONCEALED FROM VIEW. THE CONTRACTOR SHALL TRANSMIT THESE DRAWINGS TO THE OWNER IN REPRODUCIBLE FORM. FINAL PAYMENT WILL NOT BE MADE UNTIL THESE DRAWINGS ARE RECEIVED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THEIR ACCURACY.
- AS-BUILT DRAWINGS:** THE CONTRACTOR SHALL OBTAIN COPIES OF MECHANICAL, PLUMBING AND ELECTRICAL AS-BUILT DRAWINGS. THESE DRAWINGS SHALL BE SUBMITTED TO THE OWNER PRIOR TO FINAL PAYMENT. AS-BUILT DRAWINGS SHALL CONSIST OF PRINTS CLEARLY MARKED TO INDICATE THE NECESSARY INFORMATION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE ACCURACY OF THESE DRAWINGS.
- UPON COMPLETION OF THE WORK, CONTRACTOR SHALL FURNISH TWO SETS OF OPERATIONAL AND MAINTENANCE MANUALS FOR ALL FIXTURES AND EQUIPMENT. ONE SET IS TO BE TRANSMITTED TO THE INSPECTOR, ONE SET TO THE OWNER.

ARCHITECTURAL NOTES

- ALL EXPOSED EDGES AND CORNERS ON ALL GYPSUM BOARD CONSTRUCTION SHALL RECEIVE A METAL CORNER BEAD WHICH IS TO BE SPARKLED AND FLOATED SMOOTH.
- ALL DISSIMILAR MATERIALS SHALL BE CAULKED AT JOINTS.
- ALL EXITING DAMAGE TO FIRE RATED CONSTRUCTION SHALL BE REPAIRED AND/OR REPLACED BY THE CONTRACTOR. PATCH ALL DRYWALL HOLES APPROPRIATELY AND SMOOTH ROUGH SURFACES.
- ANY EXISTING CONDITIONS THAT DO NOT MEET CODE SHALL BE REPORTED TO THE ARCHITECT.
- THE ARCHITECT AND OWNER SHALL BE NOTIFIED WHEN FIELD CONDITIONS REQUIRE CHANGES TO CRITICALLY DIMENSIONED PARTITIONS AND MILLWORK LOCATIONS. REVISED LOCATIONS SHALL BE CHALKED FOR SITE INSPECTION PRIOR TO FABRICATION & INSTALLATION.
- ALL WALLS AND FURRING SHALL BE LEVELED, PLUMB, STRAIGHT AND FREE OF NOTICEABLE JOINTS;WALLS:
- NEW GYPSUM BOARD SHALL BE HELD NO MORE THAN 1/4" A.F.F. AT EXITING DRYWALL. WHERE BASE HAS BEEN REMOVED PROVIDE A MIN. 4" A.F.F. SMOOTH SURFACE SKIM COAT FOR NEW BASE APPLICATION. TRANSITION SHALL BE SMOOTH AND UNNOTICEABLE.
- ALL WOOD PRODUCTS SHALL BE FIRE RATED AS REQUIRED BY THE GOVERNING BUILDING AUTHORITIES.
- ALL NEW OPENINGS RECEIVING DOOR FRAMES SHALL RECEIVE DOUBLE STUDS FLOOR TO BOTTOM OF STRUCTURE ABOVE, AT EACH SIDE OF OPENING.
- FLASH PATCH AND REPAIR SLAB SMOOTH AS REQUIRED TO ACCEPT NEW FLOOR FINISHES. ANY ABANDONED OPENINGS AND EXISTING GAPS IN THE STRUCTURE SLAB, ABOVE AND BELOW, SHALL BE STRUCTURALLY PATCHED AND PROPERLY SEALED TO MEET FIRE CODE REQUIREMENTS.
- SUSPENDED CEILING TILE GRID, PARTITONS ETC. SHALL NOT BE SUSPENDED FROM HVAC DUCT WORK, ELECTRICAL CONDUIT, SPRINKLER PIPES OR ANY OTHER NON-STRUTURAL ELEMENT NOT SPECIFICALLY DESIGNED FOR SUCH ATTACHMENT.
- ALL VERTICAL DIMENSIONS TO BE MADE FROM THE HIGHEST POINT OF FLOOR SLAB TO ENSURE PROPER ALIGNMENT OF ALL DOORS, BULKHEADS, CEILING, ETC.
- ALL PENETRATIONS OF FIRE RATED ASSEMBLIES (FLOORS, PARTITIONS, AND/OR CEILINGS) SHALL BE FIRE STOPPED TO COMPLY WITH ALL APPLICABLE CODES AND IN ACCORDANCE WITH UL STANDARDS.
- ALL DRYWALL PARTITIONS, DOORS HARDWARE AND OTHER CONSTRUCTION ITEMS SHALL BE PROVIDED AS DESCRIBED IN THESE DOCUMENTS, AGENCY REQUIREMENTS IN COMBINATION WITH THE EXISTING BUILDING STANDARD. ALL HARDWARE SHALL MEET THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AND PROJECT REQUIREMENTS. SPECIAL HARDWARE TO BE PROVIDED AS NOTED IN THESE DRAWINGS.
- CONTRACTOR IS TO COORDINATE WITH MECHANICAL DRAWINGS TO PROVIDE OPENINGS IN PARTITIONS ABOVE FINISH CEILING.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY COLUMN DIMENSIONS & SPACING THROUGHOUT AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION.
- WHERE NEW WALLS ARE TO ALIGN WITH EXISTING PARTITIONS AND/OR COLUMNS, REMOVE EXISTING CORNER BEAD, TAPE, SPACKLE AND SAND SMOOTH JOINTS AS NECESSARY TO A POINT ALONG THE EXISTING SURFACE SO THAT THE NEW FINISH IS NOT OBVIOUS.
- ALL SUSPENDED CEILING TILE GRID, BULKHEADS, ETC. SHALL BE ATTACHED TO THE STRUCTURAL DECK ABOVE.
- LOCATE INSIDE EDGE OF ALL DOOR FRAMES 6" (152MM) FROM THE ADJACENT PERPENDICULAR PARTITION. U.O.N. ALL DOORS SHALL BE IN ACCORDANCE WITH ANSI 117.1 AND ADA. INSTALL ALL FRAMES, DOORS AND HARDWARE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- ALL EXISTING WALLS SHALL BE SPACKLED AND SANDED TO A SMOOTH FINISHED AS NECESSARY TO MATCH NEW GYPSUM BOARD WALLS.
- EXISTING CONCRETE FLOOR SLAB SHALL BE LEVELED AS REQUIRED TO PERMIT PROPER INSTALLATION OF THE SPECIFIED FLOOR FINISH.

GENERAL ELECTRICAL NOTES

- ALL DOOR SWINGS TO BE VERIFIED PRIOR TO INSTALLATION OF THE LIGHT SWITCHES. SWITCHES SHALL BE ON LEVER SIDE OF DOOR AND SHALL BE MOUNTED AT 42" A.F.F. OR TO MATCH EXISTING. IN CASE OF CONFLICT, NOTIFY ARCHITECT PRIOR TO INSTALLATION.
- ALL ELECTRICAL SWITCHES, RECEPTACLES AND COVER PLATES ARE TO BE FINISHED AS SPECIFIED ON THE ENGINEER'S ELECTRICAL DRAWINGS UNLESS OTHERWISE NOTED (U.O.N.) PROVIDE AND INSTALL BLANK COVER PLATES AT ALL LOCATIONS WHERE BASE FEED MOLDINGS ARE INSTALLED FOR COMMUNICATION OUTLETS, BUT CABLES ARE NOT SCHEDULED FOR INSTALLATION.
- A DEDICATED (D) OUTLET REQUIRES A SPECIAL CIRCUIT DEDICATED ONLY FOR THAT OUTLET AND PROVIDES POWER TO A SPECIFIC PIECE(S) OF EQUIPMENT.
- AN ISOLATED (IG) OUTLET REQUIRES A SPECIAL CIRCUIT DEDICATED ONLY FOR THOSE OUTLETS AND PROVIDES POWER TO COMPUTER EQUIPMENT. ISOLATED GROUND OUTLETS TO BE COLOR CODED TO INDICATE COMPUTER CIRCUITING. COLOR TO BE COORDINATED WITH ELECTRICAL ENGINEER'S DRAWINGS.
- DRAWING DIMENSIONS SHALL GOVERN. ALL OUTLETS TO BE INSTALLED 18" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE ON PLAN. ALL MOUNTING HEIGHTS INDICATED ARE TO THE CENTER LINES OF OUTLET OR OWNER'S U.O.N.
- BRACE AND SECURE AS REQUIRE ALL CONDUITS, COMMUNICATION, POWER, JUNCTION BOXES THAT FALL BETWEEN STUDS WITH METAL STRAPS SO OUTLETS ARE LOCATED AS SHOWN.
- CONTRACTOR SHALL COORDINATE ELECTRICAL DEVICE INSTALLATION WITH ALL TRADES. CONTRACTOR SHALL COORDINATE AND VERIFY IN THE FIELD ALL ELECTRICAL DEVICE LOCATIONS WITH THE PARTITIONS PLANS, MILLWORK PLANS, ELECTRICAL PLANS, FURNITURE PLANS, ELEVATIONS, AND UNFORESEEN EXISTING CONDITIONS. ANY CONFLICTS WITH THE DRAWINGS AND/OR THE EXISTING CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- ELECTRICAL WORK AND MATERIALS SHALL COMPLY WITH ALL CODES AND ORDINANCES. IN CASE OF CONFLICT BETWEEN REQUIREMENTS, THE MOST RESTRICTIVE SHALL APPLY.
- ELECTRICAL, TELEPHONE AND DATA OUTLETS SHALL BE NEW UNLESS INDICATED WITH A "E" FOR EXISTING OUTLETS.
- GENERAL CONTRACTOR TO PROVIDE PULL STRING FOR TELEPHONE, DATA, SECURITY AND CAMERA OUTLETS. WIRING TO BE DONE BY TENANT, U.O.N.
- ALL OUTLETS SHOWN ABOVE COUNTER TOPS SHALL BE INSTALLED AT 42" AFF, U.O.N.
- ALL ELECTRICAL FIXTURES ON ARCHITECTURAL PLANS ARE SHOWN FOR LOCATION PURPOSES. ONLY GENERAL CONTRACTOR TO COORDINATE ALL ELECTRICAL CONNECTIONS WITH ENGINEERS ELECTRICAL DRAWINGS.

GENERAL DEMOLITION ITEMS

GENERAL NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INTEGRITY OF THE BUILDING STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SAFETY CONDITION UNCOVERED DURING DEMOLITION AND DURING NEW CONSTRUCTION WHICH ARE NOT ADDRESSED IN THE CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL BRACE ALL ELEMENTS DURING DEMOLITION AND NEW CONSTRUCTION. THE CONTRACTOR SHALL RESTRUCTURE AND REFRAME ALL COMPONENTS DISTURBED IN ACCORDANCE WITH APPLICABLE CODES
- THE CONTRACTOR SHALL CLEAN CONTRACT AREAS OF DUST, AND DEBRIS CAUSED BY DEMOLITION AND CONSTRUCTION. ALL AREAS NOT IN CONTRACT SHALL BE RETURNED TO THE CONDITION EXISTING PRIOR TO THE START OF WORK, INCLUDING ALL FINISHES.
- IF STRUCTURAL WALLS ARE FOUND TO BE DEMOLISHED BY THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE DEMOLITION.
- WHERE APPLICABLE UNDER THE DEMOLITION WORK THE CONTRACTOR SHALL REMOVE SPECIFIED INTERIOR PARTITIONS, SPECIFIED EXISTING DOORS, FRAMES, AND HARDWARE AND SHALL COORDINATE WITH THE CONSTRUCTION DRAWINGS FOR PARTITION TO REMAIN.

MECHANICAL:

- THE CONTRACTOR SHALL REMOVE DAMAGED HVAC AND DAMAGED DUCT WORK CAUSED BY CORROSION AND CONTRACTOR SHALL REPLACE WITH NEW DIFFUSERS FOR THE NEW DUCT WORK. REFER TO ENGINEER'S MECHANICAL DRAWINGS PRIOR TO THE START OF DEMOLITION WORK.

ELECTRICAL:

- THE CONTRACTOR SHALL REMOVE SPECIFIED EXISTING DUPLEX OUTLETS, CONNECTIONS AND SWITCHES IN DEMOLISHED AND FURRED-OUT WALLS INCLUDED UNDER THE DEMOLITION WORK. COORDINATE WORK WITH THE ENGINEER'S ELECTRICAL DRAWINGS.
- THE CONTRACTOR SHALL REMOVE ALL EXISTING DATA/COMMUNICATION WIRING FROM THE CEILING PLENUM, WALLS, FLOOR, FINISHES AND MISC., ITEMS.
- EXISTING FINISHES SHALL BE REMOVED AND SURFACES PREPARED TO RECEIVE NEW FINISHES AS REQUIRED PER MANUFACTURER'S SPECIFICATIONS.

DOORS:

- THE CONTRACTOR SHALL REMOVE HARDWARE FROM ALL RELOCATED AND EXISTING DOORS SHOWN TO REMAIN.
- WHERE APPLICABLE, PATCH AND REPAIR ALL DAMAGE AND HOLES FROM REMOVED DEAD BOLTS PRIOR TO REINSTALLATION OF DOORS SHOWN TO BE REUSED.

FINISH GENERAL NOTES

- NEW PARTITIONS SHALL BE PAINTED
- PROVIDE NEW BASE THROUGHOUT THE PROJECT.
- ALL NEW AND EXISTING DOORS AND FRAMES SHALL BE PAINTED WITH SEMI GLOSS FINISH
- ALL SURFACES SCHEDULED TO BE PAINTED SHALL BE CLEAN AND PROPERLY CAULKED, FILLED, ETC., PREPARED SMOOTH AND FLUSH. ALL EXISTING AND NEW PAINT SHALL BE REMOVED WHERE REQUIRED PRIOR TO NEW PAINT FINISH APPLICATION.

FINISH GENERAL (CONT'D)

- USE PAINTS SPECIFICALLY PRODUCED FOR SURFACES ON WHICH THEY ARE TO BE APPLIED. SHOULD PAINT BE INCOMPATIBLE WITH THE SURFACE ON WHICH IT IS TO BE APPLIED, CONTRACTOR WILL NOTIFY THE ARCHITECT OR REPRESENTATIVE PRIOR TO PROCEEDING WITH SUCH WORK.
- ALL PAINTS AND FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS. USE MANUFACTURE'S RECOMMENDED ADHESIVE.
- ALL SPECIFIED FINISHES ARE TO MATCH SAMPLES PROVIDED BY THE ARCHITECT.
- THE CONTRACTOR SHALL PROTECT INSTALLED FINISHES ON FLOORS, WALLS AND CEILING AGAINST POSSIBLE DAMAGE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ANY MATERIALS OR FINISHES DAMAGED.
- WHERE FINISHES ARE NOT SPECIFIED, EXTEND CEILING, WALL FINISHES, TO MEET AND MATCH EXISTING CONDITIONS. REPAIR OR REPLACE EXISTING PARTITIONS, CEILING FINISHES, ETC. TO REMAIN WHICH ARE DAMAGED BY REMODELING. BASE MOLDING TO MATCH EXISTING WHERE APPLICABLE.
- WHERE EXISTING CEILING OR FLOORS FINISH MATERIALS ARE JOINED TO NEW FINISH MATERIALS, TRANSITION MUST BE SMOOTH AND CONTINUOUS WITH PATTERNS, GRIDS, AND FINISHED MATCHED.
- FOLLOW ADHESIVE MANUFACTURER'S DIRECTIONS FOR MIXING AND APPLYING ADHESIVE.
- ANY FINISH MATERIALS THAT NEEDS TO BE RELOCATED DUE TO DEMOLITION SHOULD BE REINSTALLED AFTER CONSTRUCTION IS COMPLETED TO MATCH ADJACENT FINISHES.
- ALL VINYL BASE TO BE COIL TYPE. USE COVE BASE AT VCT. CONTRACTOR SHALL SCORE BACKSIDE OF BASE AT CORNERS AND MITER INSIDE CORNERS TO MINIMIZE SEAMS.
- ALL MECHANICAL VENTS, GRILLS AND REGISTERS SHALL BE CLEANED LIKE NEW. NO ACCESS PANELS SHALL BE COVERED WITH WALL COVERING. PAINT ACCESS PANELS TO MATCH ADJACENT SURFACE.
- SUBMIT MANUFACTURER'S PRINTED INSTRUCTIONS FOR MAINTENANCE OF INSTALLED WORK, INCLUDING METHODS OF FREQUENCY RECOMMENDED FOR MAINTAINING OPTIMUM CONDITION UNDER ANTICIPATED TRAFFIC CONDITIONS. INCLUDE PRECAUTIONS AGAINST MATERIALS AND METHODS WHICH MAY BE DETRIMENTAL TO FINISHES AND PERFORMANCES OF CARPETING, VCT, WALL COVERING, PAINT, AND ALL OTHER FINISHES.
- CONTRACTOR TO SUBMIT MILLWORK SHOP DRAWINGS FOR ALL CUSTOM FINISHES AND FURNISHINGS FOR ARCHITECT'S APPROVAL PRIOR TO CONSTRUCTION AND INSTALLATION.
- SUBMIT WRITTEN WARRANTIES FOR ALL FINISH MATERIALS. THESE WARRANTIES ARE TO BE IN ADDITION TO AND NOT LIMITED TO THE CONTRACTOR'S ONE YEAR WARRANTY FROM DATE OF SUBSTANTIAL COMPLETION.
- ALL FIRE EXTINGUISHER CABINETS, VALVE CABINETS AND ENCLOSURES SHALL BE PAINTED SEMI-GLOSS TO MATCH ADJACENT SURFACE
- REPAIR ANY DAMAGE TO ALL EXISTING DOORS AND REPAINT AS SCHEDULED.
- CONTRACTOR SHALL REPAIR OR REPLACE BLINDS (IF APPLICABLE) IN CASE OF DAMAGES TO MATCH EXISTING IN STYLE, SIZE AND COLOR.
- THE CONTRACTOR SHALL SUBMIT 12" X 12" SAMPLES OF PAINT, WOOD FINISH ETC. TO THE ARCHITECT PRIOR TO ANY FABRICATION AND INSTALLATION. FLAME SPREAD AND SMOKE DEVELOPED RATINGS MUST BE INCLUDED WITH THE SAMPLES.

CEILING GENERAL NOTES

- LOCATION OF ANY ITEMS NOT SHOWN OR SPECIFIED ON CEILING PLAN SHALL BE FIELD COORDINATED WITH THE ARCHITECT PRIOR TO CONSTRUCTION.
- INFORMATION AND CUT SHEETS FOR ALL SUBSTITUTIONS ON LIGHT FIXTURES, CEILING GRID AND OTHER CEILING DEVICES SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO THEIR PURCHASE AND INSTALLATION.
- CONTRACTOR SHALL COORDINATE WORK WITH THE ENGINEER'S MECHANICAL AND ELECTRICAL DRAWINGS FOR LOCATION OF AIR DIFFUSERS AND ALL OTHER CEILING DEVICES.
- REFER TO THE ENGINEER'S ELECTRICAL DRAWINGS FOR CIRCUITING AND SWITCHING OF LIGHT FIXTURES.
- THE GENERAL CONTRACTOR SHALL FOLLOW THE LIGHT FIXTURE SPECIFICATIONS AND CUT SHEETS FOR PROPER INSTALLATION.
- MULTIPLE SWITCH GROUPINGS ARE TO BE INSTALLED IN GANG BOXES WITH BARRIERS AND COMMON COVER PLATES. REFER TO ELECTRICAL DRAWINGS.
- CONTRACTOR TO INSTALL ALL FIXTURES, AS DESIGNATED BY ENGINEER'S ELECTRICAL DRAWINGS, TO BE CONNECTED TO EMERGENCY EXIT LIGHTS, BASED IN APPLICABLE CODES AND SHALL REVISE FINAL LOCATION. ALL REVISIONS SHALL BE SUBJECT TO THE ARCHITECT'S FINAL REVIEW.
- THE GENERAL CONTRACTOR SHALL PROVIDE CUTOUT OPENINGS ABOVE FINISHED CEILING AT ALL ROOMS WITH FULL HEIGHT PARTITIONS FOR RETURN AIR. COORDINATE WITH THE MECHANICAL ENGINEER'S DRAWINGS FOR EXACT SIZE AND LOCATION.
- AIR BALANCE AND CHECK OF ALL HVAC SYSTEMS SHALL BE PERFORMED BY THE CONTRACTOR. IT SHALL BE REPAIRED AS REQUIRED AND ALL FILTERS REPLACED.
- ALL THERMOSTATS SHALL BE INSTALLED AT 72 INCHES A.F.F.

CONTRACT SCOPE

- ANY WORK THE CONTRACTOR CONSIDERS OUTSIDE THE PROJECT CONTRACT SCOPE SPECIFIED IN THE DRAWINGS, SHALL BE PRESENTED TO THE OWNER'S REPRESENTATIVE FOR COST NEGOTIATION AND APPROVAL PRIOR TO ITS EXECUTION. IF THE CONTRACTOR FAILS TO DO SO AND PROCEEDS TO EXECUTE SAID WORK WITHOUT THE APPROVAL OF THE OWNER'S REPRESENTATIVE, IT WILL BE UNDERSTOOD AND ASSUMED THAT THE CONTRACTOR HAS ACCEPTED TO DO THE WORK WITHIN THE SCOPE OF THE AGREED CONTRACT PRICE WITHOUT ANY REQUEST FOR ADDITIONAL PAYMENT OR CONTRACT TIME EXTENSION.
- IN ADDITION TO ALL THE DEMOLITION WORK SPECIFIED IN THE DRAWINGS, THE CONTRACTOR SHALL EXECUTE ANY DEMOLITION WORK THAT MAY BE REQUIRED TO COMPLETE THE FULL SCOPE OF THE PROJECT WITH THE DESIGN INTENT OF ALL THE DISCIPLINES COMPRISING THE FULL SET OF CONTRACT DOCUMENTS.

DATE: DEC. 2024

DRAWN BY: GAB

SCALE: AS SHOWN

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NO

DATE

DESCRIPTIONS

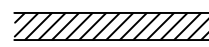

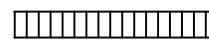



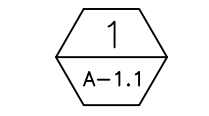
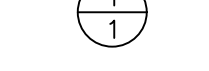
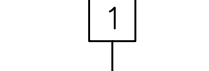
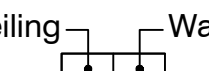
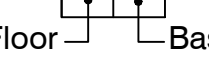


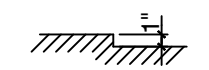
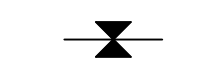
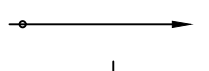


PROJECT: PLAZA DE LA MUSICA
62 Calle Guillermo Esteves, Jayuya, PR
JAYUYA, PUERTO RICO

GENERAL NOTES # 1

DRAWING NUMBER
GN-1

2 OF 23

LEGEND:

	Existing Structure
	Existing To Be Demolished
	New Concrete Block Wall
	New Gypsum Board Wall
	Section Sheet Reference
	Partial Elevation Sheet Reference
	Detail Sheet Reference
	Door ID. Hardware Set
	Partition Type
	Room Finish Key
	Room Name
	Room ID Num.
	Finished Floor Level
	Change In Floor Elevation
	Change In Floor Finish
	Slope
	Floor to Roof Dimension
	Axis Lines

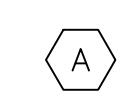
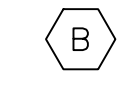
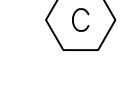

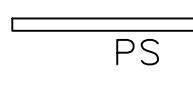



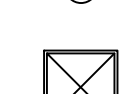


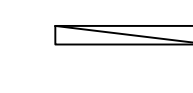

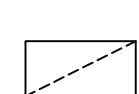
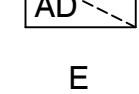
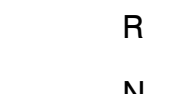
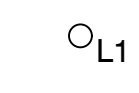


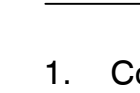
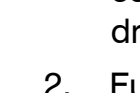
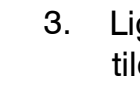
CONSTRUCTION PLANS KEY NOTES:

- Existing opening to be sealed
- P.T. Wood reinforcement behind GWB for cabinet support
- Center wall w/ existing window mullion- See detail

GENERAL CONSTRUCTION NOTES:

- Outlet locations shown on power / communications plan are exact. Provide stud framing in all partitions to accommodate mounting of outlets as shown (not to nearest stud) - see furniture layout plan for details).
- Install fire-treated wood blocking within partitions where required for millwork.
- Sound attenuation blanket shall be 4" thick R-11 by Owens Corning or equivalent, see LEED specs.
- All dimensions to be verified in field.
- Install sound attenuation blanket above all conference rooms ceilings & private offices.

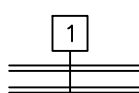
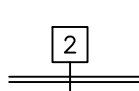
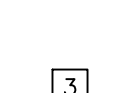
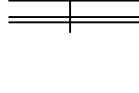
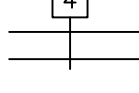
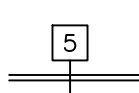
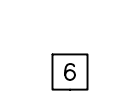
RCP LEGEND:

	Recycled RC to be @ 10'-6" a.f.f. in all Perimeter Spaces
	Existing to Remain to be Repair
	5/8" GWB and frame ceiling & Fascia
	Limit Of Existing Ceiling
	Projector Screen - See Detail 9/A-2.1
	Projector
	2' x 4' Fluorescent Lamp From Existing Ceiling to be Re-Used
	2' x 4' Fluorescent Lamp
	Downlight
	A/C Supply Register
	A/C Return Register
	A/C Linear Supply Register
	A/C Linear Return
	Smoke Detector
	Sprinkle Head
	2'-0" x 2'-0" Access Door
	Existing Item
	Relocated Item
	New Item
	Relocated Downlight
	Relocated Compact Fluorecent Downlights
	Power Pole

RCP PLAN NOTES:

- Coordinate the work of all trades involved in the ceiling work to insure clearances for fixtures, ducts, piping, ceiling suspension system, etc., necessary to maintain the finished ceiling heights indicated on Architect's drawings.
- Furnish and install all fixtures, associated trim, fixture lamps, and seismic bracing as required.
- Light fixtures, exit signs, sprinklers and other ceiling elements shall be located in center of individual ceiling tile U.O.N.
- Provide ceiling access as required for equipment and system maintenance, and match adjacent ceiling finish U.O.N.
- Refer to electrical drawings & specs for circuiting, wiring layout, and additional information not shown in the reflected ceiling plan.
- In the event of discrepancies between the Architectural, Electrical and Mechanical drawings, notify the Architect in writing before proceeding with work.

PARTITION TYPES:

	5/8" painted GWB over 3 5/8" galvanized studs with sound attenuation to underside of structure
	5/8" painted GWB over 3 5/8" galvanized studs with sound attenuation to underside of structure
	Two Layers 5/8" painted GWB over 2 1/2" galvanized studs with sound attenuation 6" above hung ceiling
	Existing Wall Finish
	5/8" painted GWB over 3 5/8" galvanized studs with sound attenuation to underside of structure & door frame
	5/8" painted GWB over 3 5/8" galvanized studs with sound attenuation to underside of structure
	5/8" painted GWB over 3 5/8" galvanized studs with sound attenuation to underside of structure & gypsum board fascia

DESIGN CRITERIA AND REFERENCE CODES:

- PUERTO RICO BUILDING CODE
UNIFORM BUILDING CODE 1997EDITION
AS AMENDED FOR P.R.GROUP R DIVISION 1
- FIRE PREVENTION CODE
CODIGOS PARA LA PREVENCIÓN DE INCENDIOS 1989
-CLASIFICACION POR USO
EDIFICIOS RESIDENCIALES
EDIFICIOS DE APARTAMENTOS
ENDOSO (CON VARIACION)
NEGOCIADO DE PREVENCIÓN DE INCENDIOS
CASO #2-63-06-CB
6 MAR. 06
- ZONING CODE
REGLAMENTO DE PLAN DE ORDENACION TERRITORIAL
DEL MUNICIPIO DE SAN JUAN NUM. 4 ENMIENDA 1996,
Y REGLAMENTO DE ZONA ESPECIAL DE CONDADO
- LIFE SAFETY CODE
NATIONAL FIRE PROTECTION ASSOCIATION NFPA 101,
LIFE SAFETY CODE 2000
-CLASSIFICATION OF OCCUPANCY
APARTMENT BUILDINGS
-HAZARD OF CONTENTS
ORDINARY HAZARD
-OCCUPANT LOAD
ONE PERSON PER 200 SQ.FT. OF GROSS FLOOR (APARTMENTS BUILDINGS)

ABBREVIATIONS:

AB	anchor bolt	M	meter (s)
A/C	air conditioning	MAX	maximum
AC	acoustical	MECH	mechanical
ACT	acoustical tile	MED	medium
ACV	air conditioner and ventilation	MET	metal
ADD	addendum	MFG	manufacturer
ADH	adhesive	MH	manhole
ADJ	adjacent	MIN	minimum
AFF	above finished floor	MISC	miscellaneous
AHU	air handling unit	MM	millimeter (s)
AL	aluminum	MO	masonry opening
APX	approximate	MR	moisture
ARCH	architect (ural)	MTD	mounted
		N	north
		NIC	not in contract
		NTS	not to scale
BD	board		
BET	between	OC	on center
BLDG	building	OD	out side diameter
BLK	block	OPG	opening
BLKG	blocking		
BS	building section		
BW	both ways		
		PCC	precast concrete
		PCF	pounds per cubic foot
		PFB	pre-fabricated
CAB	cabinet	PFL	pounds per lineal foot
CI	cast iron	PFN	prefinished
CEM	cement	PG	plate glass
CER	ceramic	PK	parking
CG	corner guard	PL	plate
CL	center line	PLAM	plastic laminated
CLG	ceiling		
CMU	concrete masonry unit	PS	Projector Screen
CO	clean out	PP	precast panel
OOL	column	PP	precast panel
CONC	concrete	PSF	pound per square foot
CONF	conference	PSI	pound per square inch
CONST	construction	PT	point
CONT	continuous	PWD	plywood
CONTR	contract (or)		
CT	ceramic tile	QT	quarry tile
CW	cold water	QTY	quantity
DEM	demoish/ demolition	R	riser
DET	detail	RAD	radius
DF	drinking fountain	RD	roof drain
DIA	diameter	RE	refer to
DM	dimension	REF	reference
DV	division	REFR	refrigerator
DN	down	RWC	rainwater conductor
DO	door opening		
		SBCF	sand blaster concrete finish
		SCHED	schedule
EFD	existing floor drain	SCPC	skim coat plaster cement
EJ	expansion joint	SEC	section
EL	elevation	SFC	smooth finished concrete
ELEV	elevator	SG	safety glass
EMERG	emergency	SHT	sheet
EQP	equipment	SIM	similar
ERCF	extruded ribbed conc. finish	SPCP	smooth portland cement
		SPCP & TP	smooth portland cement
ETC	etcetera		plaster & texture paint
EWC	electrical water cooler	Specs	specifications
EXG	existing	SST	stainless steel
EXH	exhaust	STA	station
EXP	expansion		
		STD	standard
FA	fire alarm	STL	steel
FAS	fasten, fastener	STOR	storage
FCU	fan coil unit	STR	structural
FD	floor drain	SUS	suspended
FE	fire extinguisher	SYS	system
FEC	fire extinguisher cabinet		
FFE	finished floor elevation	T	toilet
FFL	finished floor line	T	tread
FH	full height	TEL	telephone
FHC	fire hose cabinet	TG	tempered glass
FHEC	fire hose & extinguisher cabinet	THK	thick/thickness
		TOP	top of parapet
FIN	finish/finished	TV	television
FL	floor	TYP	typical
FLUR	fluorescent		
F.V.	Field Verify	UNF	unfinished
		VAR	varnished
GA	gauge	VAT	vinyl asbestos tile
GAL	galvanized	VB	vinyl base
GB	grab bar	VERT	vertical
GEM	generator	VJ	v-joint (ed)
GL	glass	VT	vinyl tile
GLB	glass block	VWC	vinyl wall covered
GRD	ground		
GWB	gypsum wall board		
		W	west
		WC	water closet
HB	hose bibb	WD	wood
HBD	hardboard	WG	wire glass
HOC	handicapped	WH	wall hung
HDW	hardware	WM	water meter
HOR	horizontal	WNSCT	wainscot
HR	hour	WO	without
HT	height	WS	wall section
HW	hot water	WTH	wall to wall
INT	interior		
INV	invert		
J	janitor		
JAN	janitor		
JC	janitor closet		
JT	joint		
L	length		
LAM	laminated		
LW	lightweight		

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SCALE: AS SHOWN

NO.

DATE

DESCRIPTIONS

group

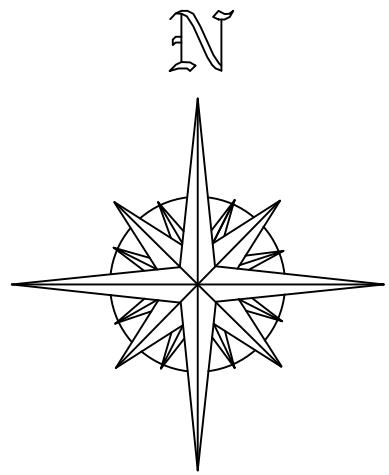
CONSTRUCTION & REMODELING | BUILDING SERVICES | MANAGEMENT

PROJECT: PLAZA DE LA MUSICA
62 Calle Guillermo Esteves, Jayuya, PR
JAYUYA, PUERTO RICO

SHEET/TITLE: GENERAL NOTES # 2

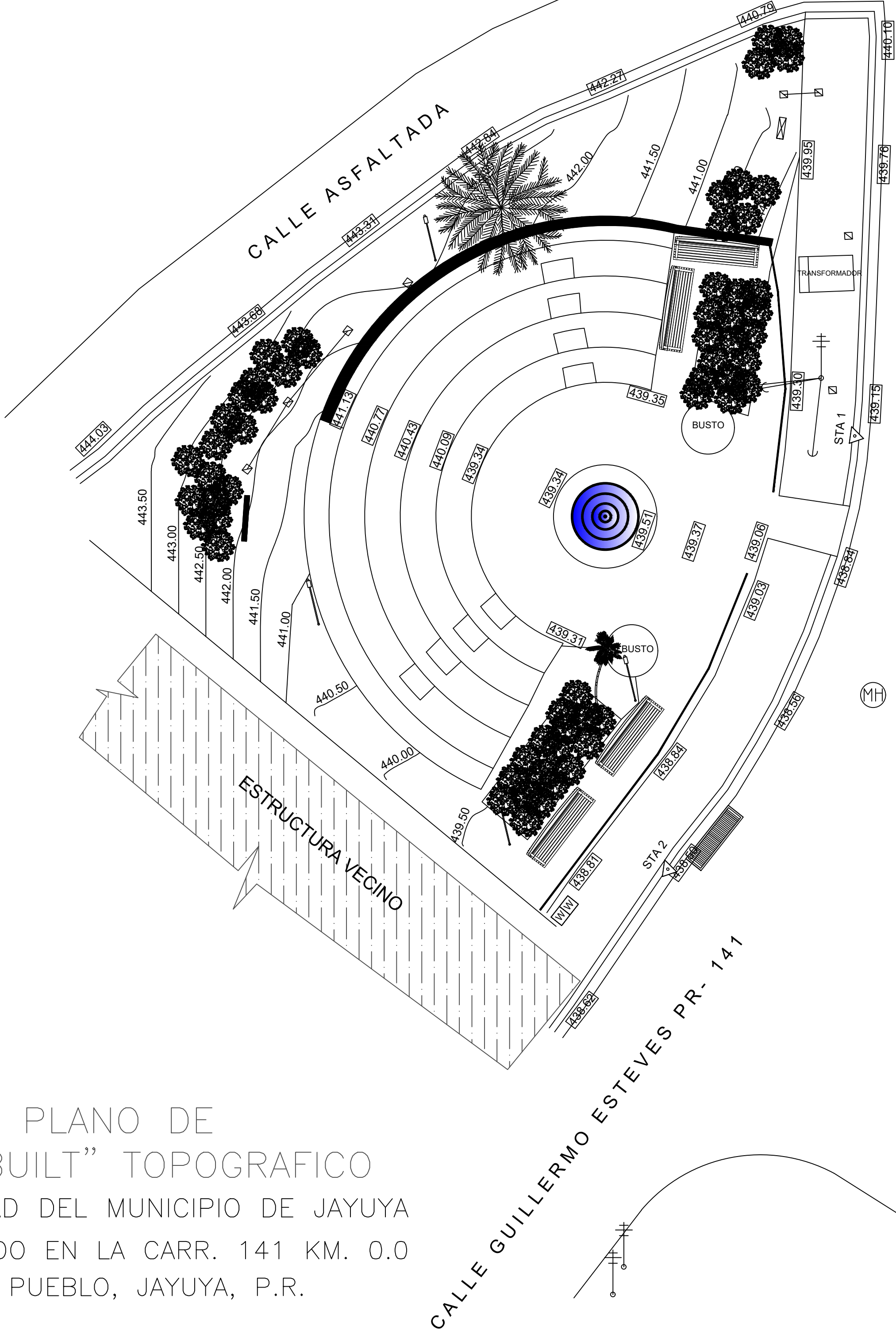
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3 OF 23



E S C A L A 1 :100

PLANO DE
"AS-BUILT" TOPOGRAFICO
PROPIEDAD DEL MUNICIPIO DE JAYUYA
LOCALIZADO EN LA CARR. 141 KM. 0.0
BO. PUEBLO, JAYUYA, P.R.

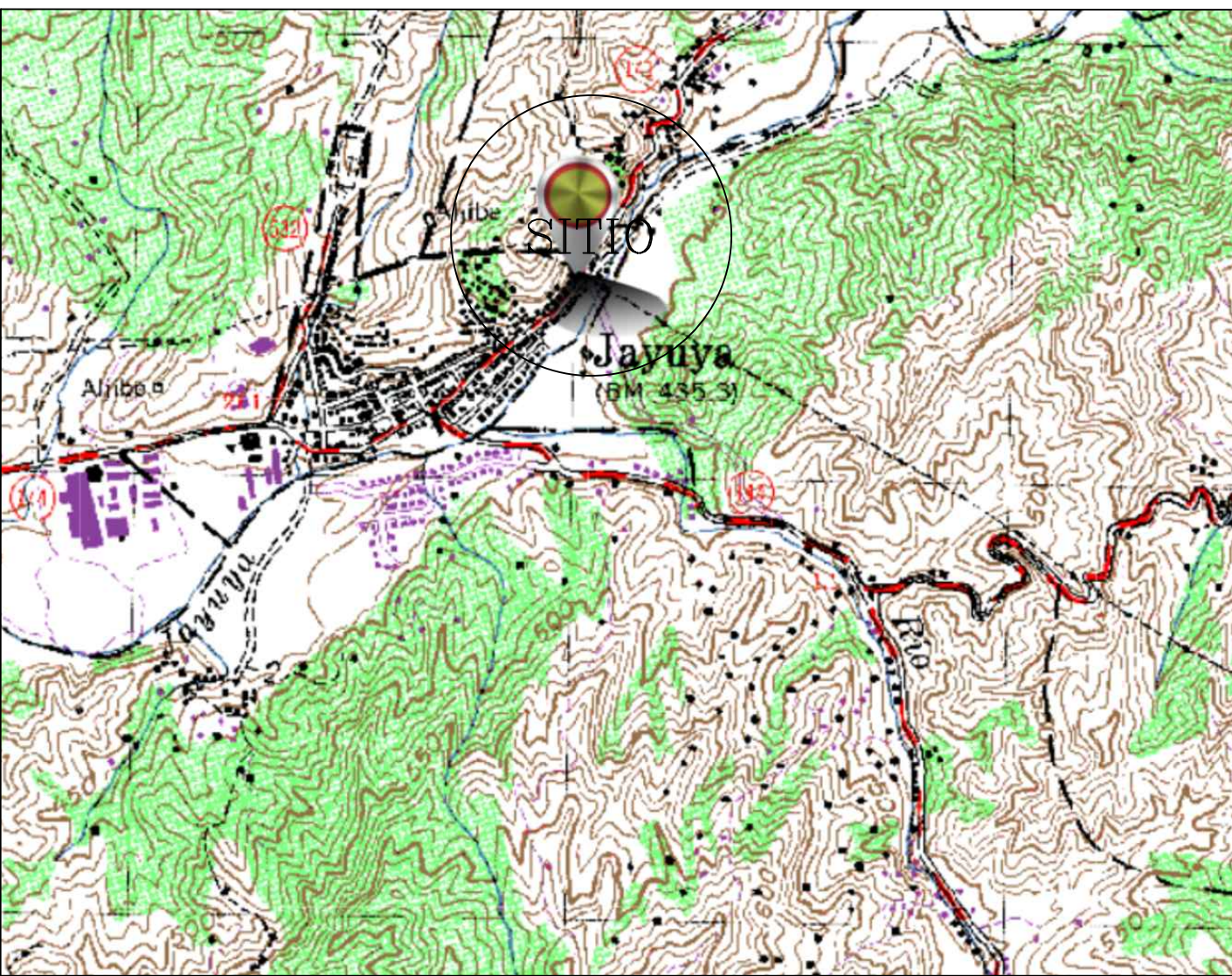


CALLE GUILLERMO ESTEVES PR- 141

PR-514A

CONTROLES HORIZONTALES Y VERTICALES

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CUADRANGULO TOPOGRAFICO 1:20,000

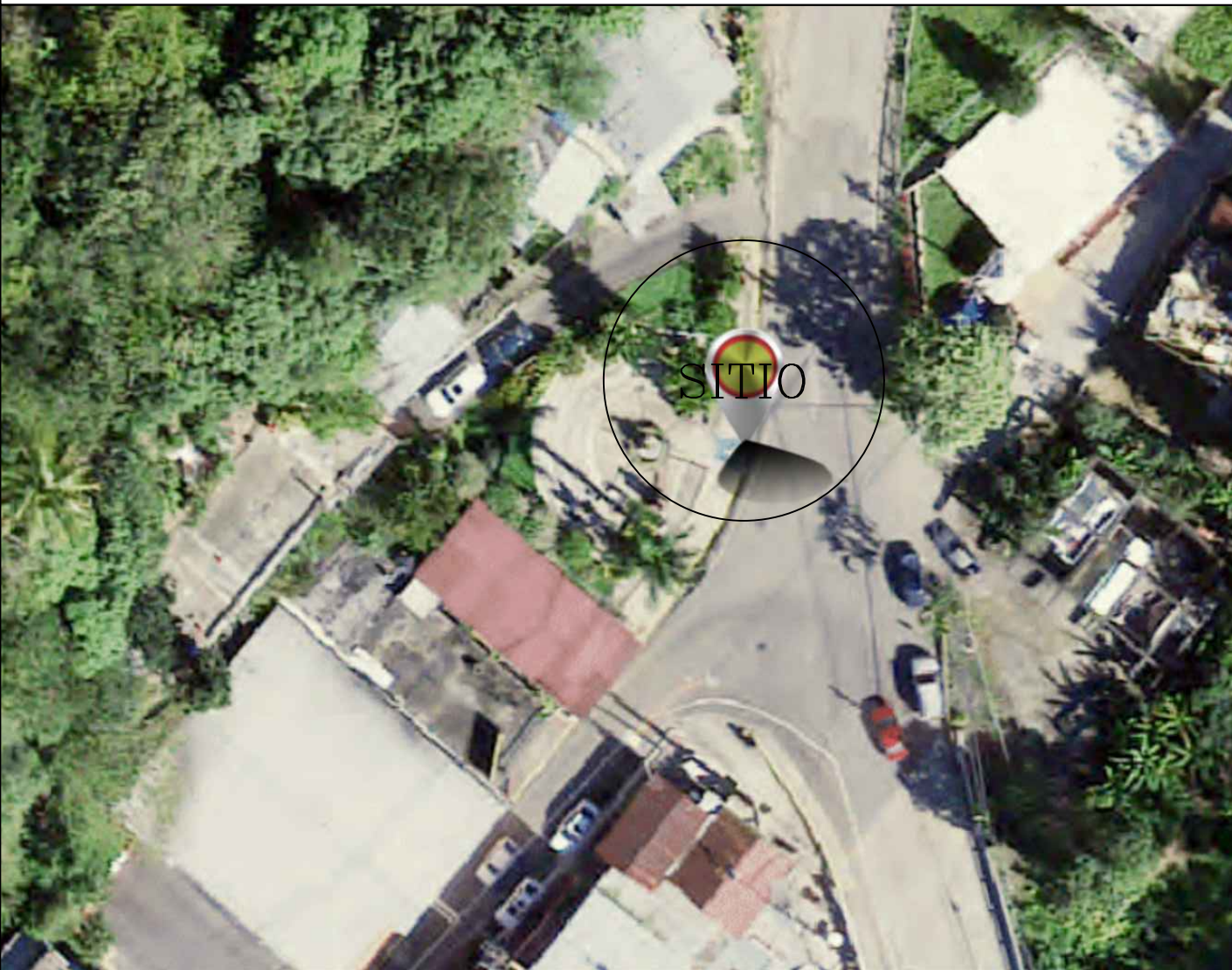


FOTO AEREA

N O T A S

- 1 - LOS PUNTOS DE PROPIEDAD FUERON MOSTRADOS POR EL CLIENTE.
- 2 - LOS CONTROLES HORIZONTALES USADOS EN ESTE MAPA ESTAN REFERIDOS AL NORTE MAGNETICO , COORDENADAS NAD 83
- 3 - TODAS LAS DISTANCIAS ESTAN EN METROS A MENOS QUE SE INDIQUE LO CONTRARIO.
- 4 - EL TRABAJO FUE REALIZADO UTILIZANDO UN TEODOLITO ELECTRONICO MARCA LEICA TPS 300 CON COLECTOR DE DATOS.
- 5 - LA LINEA BASE SE DETERMINO UTILIZANDO UN GPS MARCA TRIMBLE MODELO R8

L E Y E N D A :

---	LINEA DE COLINDANCIA	W	CONEXION AAA
o4	PUNTO DE COLINDANCIA	o	CONTROLES
+	POSTE SECUNDARIA DE MADERA	X	CONTADOR AEE
---	LINEA DE AEE		

PROJECT:

TITLE:

CERTIFIED BY:

PROFESSIONAL OF RECORD:
Narciso E. Matos

PRIME PROFESSIONAL:
JUAN M BETANCOURT

DWG. BY:
A.S.R.

PROJECT:
MUNICIPIO DE JAYUYA

CAD FILE:
•

PRINT DATE:
26/JUNIO/2024

SCALE:
1: 100

DRAWING NO.
MEN-1

SHEET NO.
1 OF 1

INGENIERO E. MATOS NAZARIO
LICENCIADO
UC 174
PUERTO RICO

INGENIERO E. MATOS NAZARIO
LICENCIADO
UC 174
PUERTO RICO

INGENIERO E. MATOS NAZARIO
LICENCIADO
UC 174
PUERTO RICO

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UC 174
PUERTO RICO

BETARA

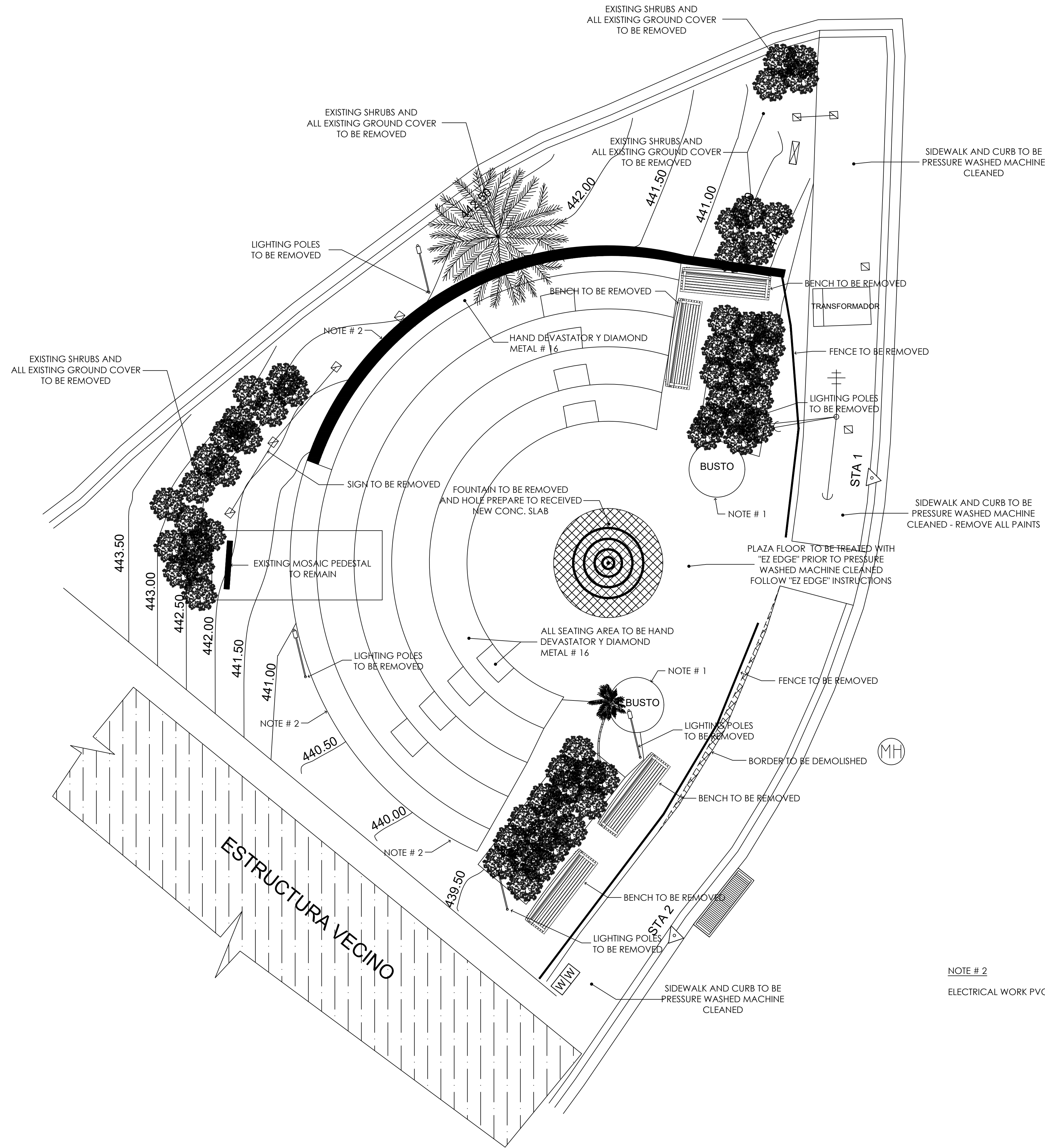
BETARA GROUP SERVICES PSC

PO BOX 16282 SAN JUAN PR 00908

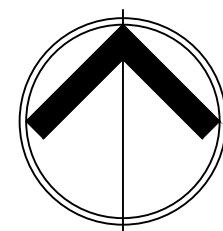
PO BOX 16282 SAN JUAN PR
00908 PARQUE ECUESTRE
COFRESI STREET # F-10
CAROLINA PUERTO RICO 00987.
TEL; 787-230-2659

MUNICIPIO DE JAYUYA

PLANO DE
"AS-BUILT" TOPOGRAFICO

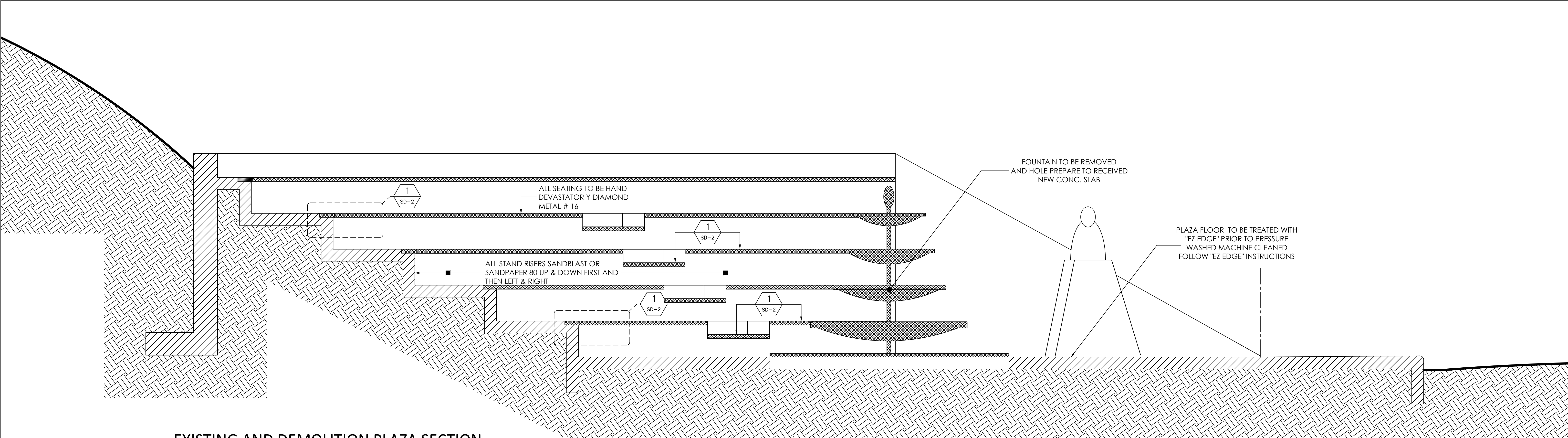


SITE DEMOLITION PLAN
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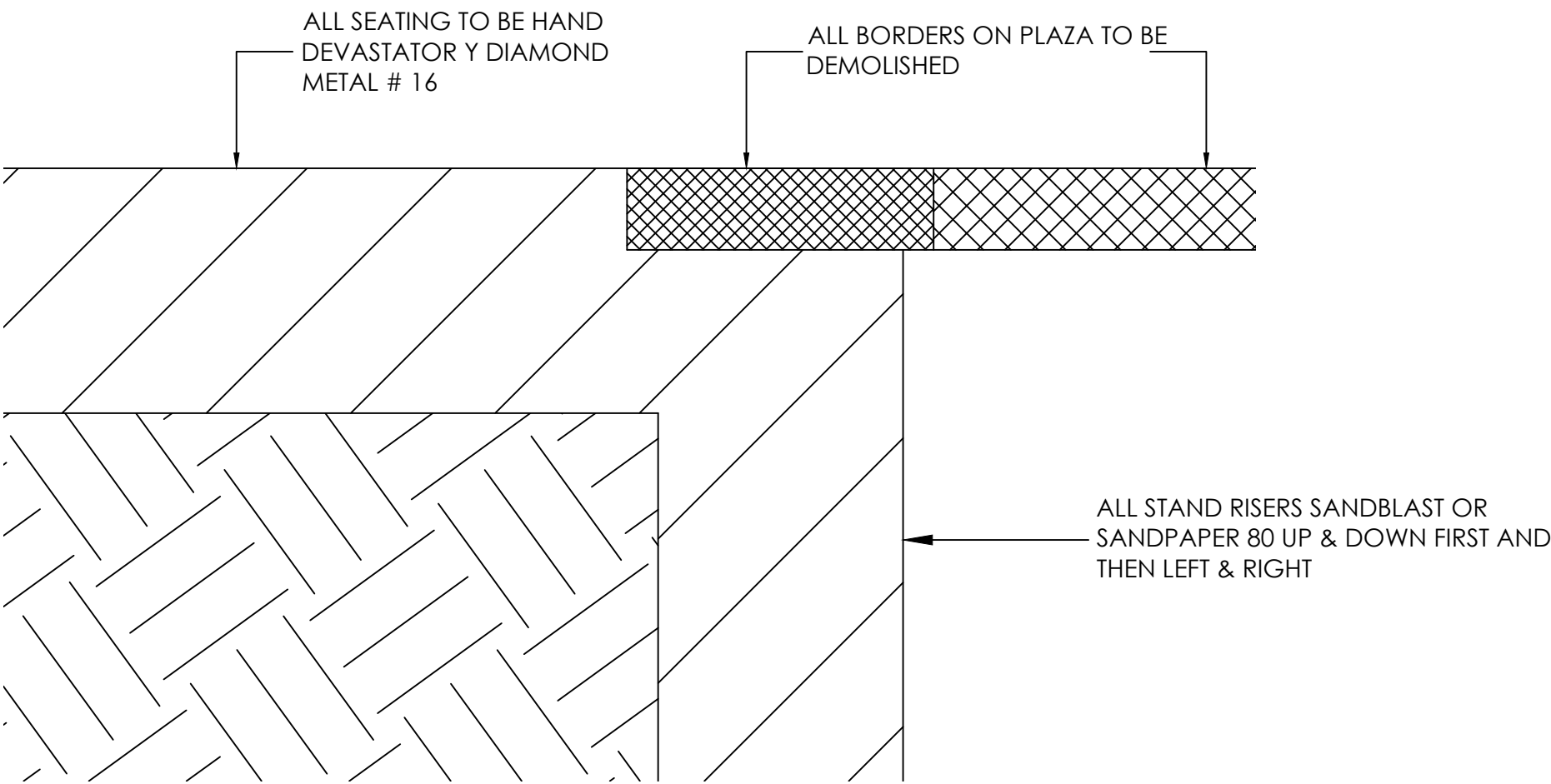


NOTE # 2
ELECTRICAL WORK PVC PIPES AND BOXES TO BE REMOVED.

PROJECT:	PLAZA DE LA MUSICA 62 Calle Guillermo Esteves, Jayuya, PR JAYUYA, PUERTO RICO		
	SHEET/TITLE: SITE DEMOLITION PLAN		
DRAWING NUMBER: SD-1			
6 OF 23			
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EXISTING AND DEMOLITION PLAZA SECTION
SCALE : $\frac{1}{2}$ "=1'-0"



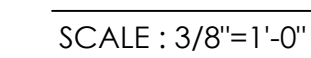
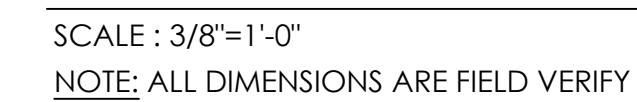
DEMOLITION DETAIL
SCALE : $\frac{1}{2}$ "=1'-0"

PROJECT: PLAZA DE LA MUSICA 62 Calle Guillermo Esteves, Jayuya, PR JAYUYA, PUERTO RICO	SHEET TITLE: EXISTING AND DEMOLITION SECTION	DRAWING NUMBER: SD-2	DATE: DEC. 2024	DRAWN BY: GAB	SCALE: AS SHOWN
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			NO. DATE DESCRIPTIONS		

vpc group

CONSTRUCTION & REMODELING | BUILDING SERVICES | MANAGEMENT

- | | |
|----|--|
| 1 | SOLAR POWERED LIGHTING POLES "WAGAN" SOLAR LED FLOODLIGHT SKU-EC 8592 |
| 2 | CONCRETE PLANTER - SEE DWG. S-1 |
| 3 | EXISTING BUST PEDESTAL - SEE DWG. SI-7 |
| 4 | HANDICAPPED RAMP - SEE DWG. S-2 |
| 5 | "JAYUYA" SIGN LETTERS - SEE DWG. S-3 |
| 6 | CANOPY POLES - S-1, S-2 & S-4 |
| 7 | TRASH RECEPTACLE |
| 8 | GROUND COVER |
| 9 | SMALL SHRUBS (CLUSIA ROSEA) |
| 10 | PLAZA SURFACE RE-FINISH "CONCRETE GENETICS - RECOVER" - COLOR : DOVER BLUE |
| 11 | FINISH COLOR CHANGE "CONCRETE GENETICS - RECOVER" - COLOR : BRICK RED |
| 12 | EXISTING TO REMAIN |
| 13 | WATER PROOF ELECTRICAL OUTLET |
| 14 | NEW CONCRETE BLOCKS WITH CEMENT PLASTER WALL EXTENSION |
| 15 | GRAVEL, TOP SOIL & GROUND COVER (SEE DETAIL) |



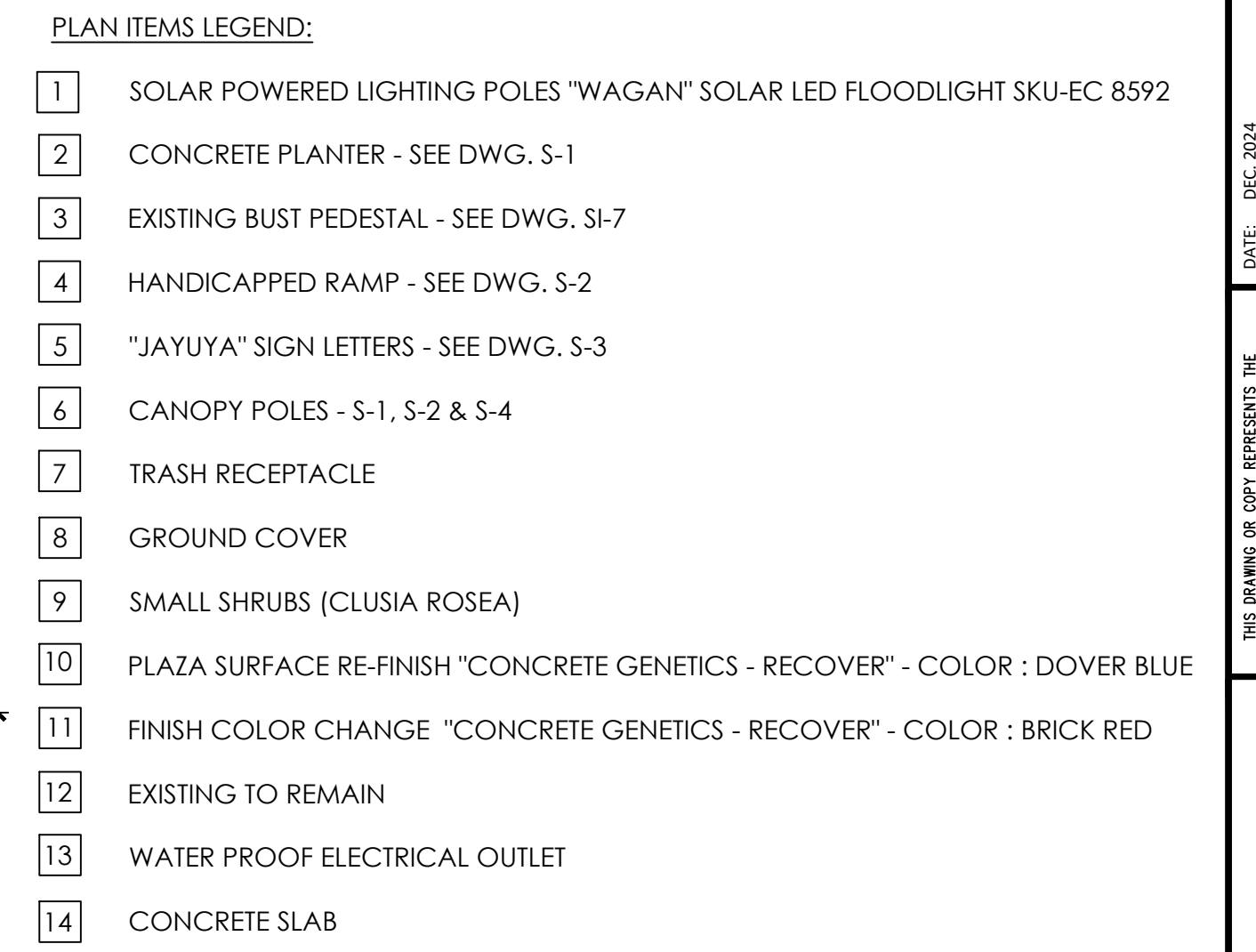
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CONSTRUCTION & REMODELING | BUILDING SERVICES | MANAGEMENT

PROPOSED PLAZA ELEVATION

OF 23



1	SOLAR POWERED LIGHTING POLES "WAGAN" SOLAR LED FLOODLIGHT SKU-EC 8592
2	CONCRETE PLANTER - SEE DWG. S-1
3	EXISTING BUST PEDESTAL - SEE GWG. S1-7
4	HANDICAPPED RAMP - SEE DWG. S-2
5	"JAYUYA" SIGN LETTERS - SEE DWG. S-3
6	CANOPY POLES - S-1, S-2 & S-4
7	TRASH RECEPTACLE
8	GROUND COVER
9	SMALL SHRUBS (CLUSIA ROSEA)
10	PLAZA SURFACE RE-FINISH "CONCRETE GENETICS - RECOVER" - COLOR : DOVER BLUE
11	FINISH COLOR CHANGE "CONCRETE GENETICS - RECOVER" - COLOR : BRICK RED
12	EXISTING TO REMAIN
13	WATER PROOF ELECTRICAL OUTLET
14	CONCRETE SLAB



SCALE: AS SHOWN

DESCRIPTION

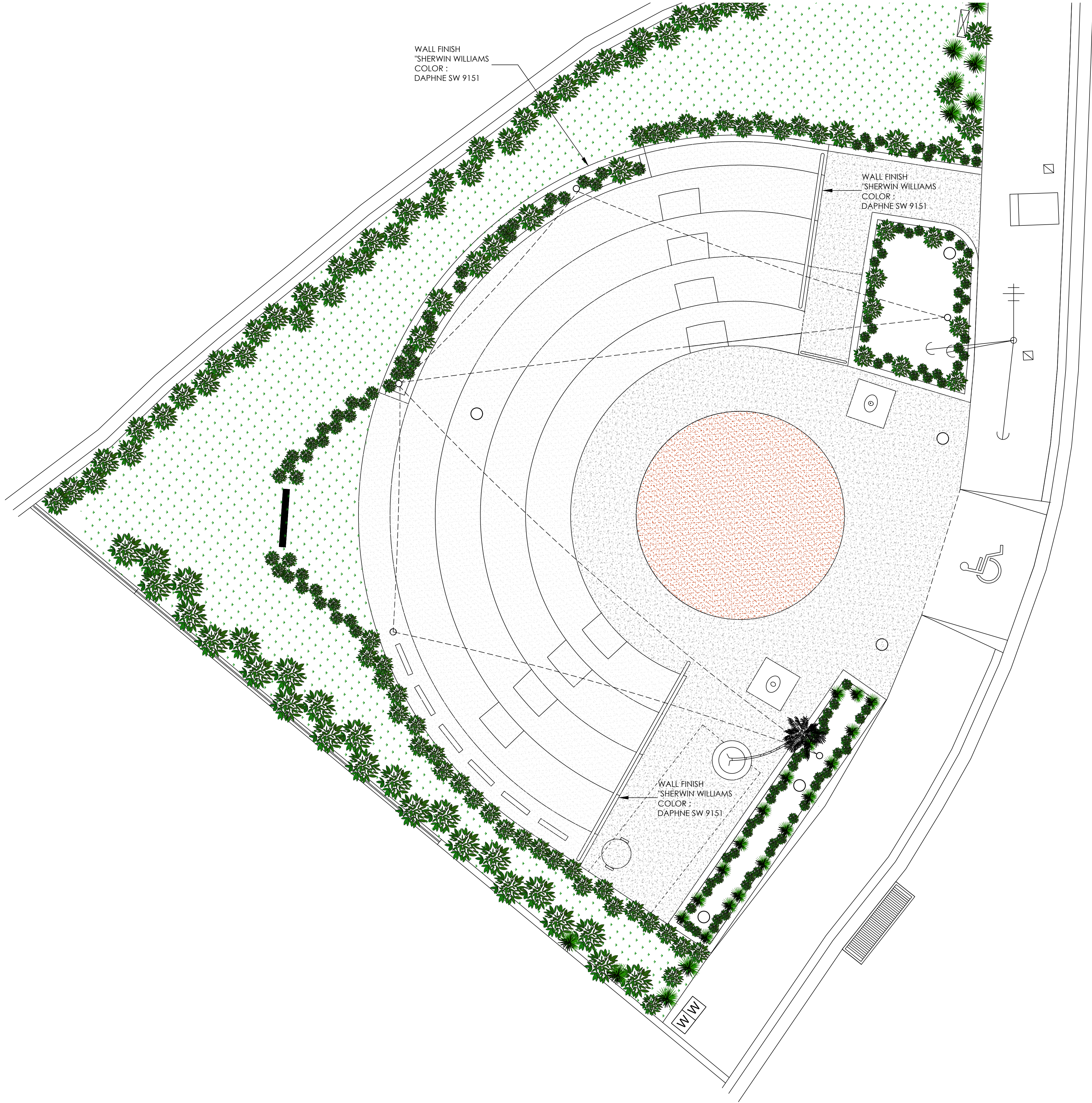
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CONSTRUCTION & REMODELING | BUILDING SERVICES | MANAGEMENT

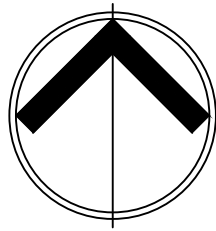
PROPOSED PLAZA SECTION

SI-4

11 OF 23



PLAZA PLAN FINISH SCHEME
SCALE : 1/4"=1'-0"



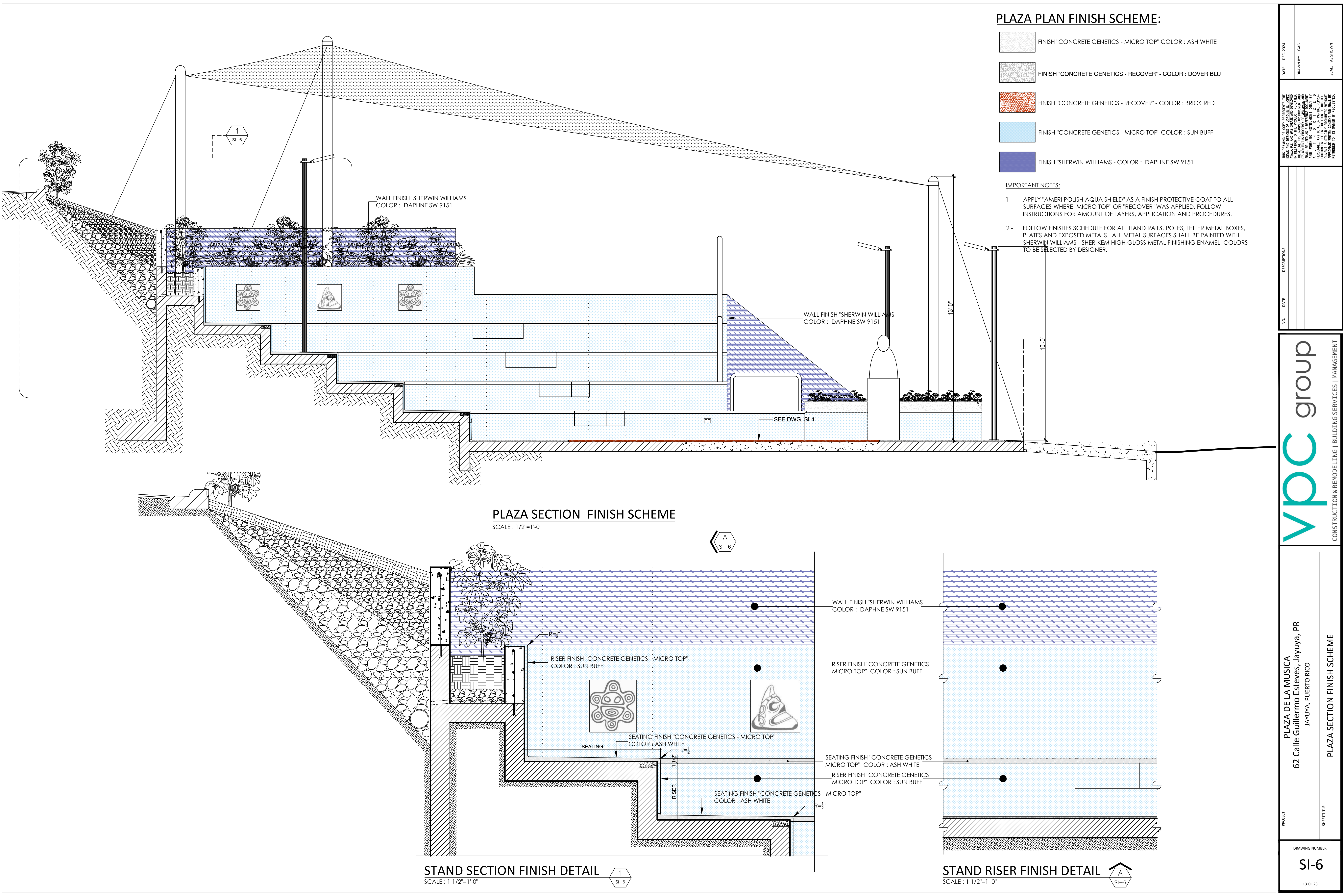
PLAZA PLAN FINISH SCHEME:

- FINISH "CONCRETE GENETICS - MICRO TOP" COLOR : ASH WHITE
- FINISH "CONCRETE GENETICS - RECOVER" - COLOR : DOVER BLU
- FINISH "CONCRETE GENETICS - RECOVER" - COLOR : BRICK RED
- FINISH "CONCRETE GENETICS - MICRO TOP" COLOR : SUN BUFF
- FINISH SHERWIN WILLIAMS - COLOR : DAPHNE SW 9151

- IMPORTANT NOTES:
- APPLY "AMERI POLISH AQUA SHIELD" AS A FINISH PROTECTIVE COAT TO ALL SURFACES WHERE "MICRO TOP" OR "RECOVER" WAS APPLIED. FOLLOW INSTRUCTIONS FOR AMOUNT OF LAYERS, APPLICATION AND PROCEDURES.
 - FOLLOW FINISHES SCHEDULE FOR ALL HAND RAILS, POLES, LETTER METAL BOXES, PLATES AND EXPOSED METALS. ALL METAL SURFACES SHALL BE PAINTED WITH SHERWIN WILLIAMS - SHER-KEM HIGH GLOSS METAL FINISHING ENAMEL. COLORS TO BE SELECTED BY DESIGNER.

PROJECT:	PLAZA DE LA MUSICA 62 Calle Guillermo Esteves, Jayuya, PR JAYUYA, PUERTO RICO	DATE:	DEC. 2024
SHEET TITLE:	PLAZA PLAN FINISH SCHEME	DRAWN BY:	GAB
DRAWING NUMBER:	SI-5	SCALE:	AS SHOWN
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PLAZA PLAN FINISH SCHEME:

- FINISH "CONCRETE GENETICS - MICRO TOP" COLOR : ASH WHITE
- FINISH "CONCRETE GENETICS - RECOVER" - COLOR : DOVER BLU
- FINISH "CONCRETE GENETICS - RECOVER" - COLOR : BRICK RED
- FINISH "CONCRETE GENETICS - MICRO TOP" COLOR : SUN BUFF
- FINISH "SHERWIN WILLIAMS - COLOR : DAPHNE SW 9151

IMPORTANT NOTES:

- 1 - APPLY "AMERI POLISH AQUA SHIELD" AS A FINISH PROTECTIVE COAT TO ALL SURFACES WHERE "MICRO TOP" OR "RECOVER" WAS APPLIED. FOLLOW INSTRUCTIONS FOR AMOUNT OF LAYERS, APPLICATION AND PROCEDURES.
- 2 - FOLLOW FINISHES SCHEDULE FOR ALL HAND RAILS, POLES, LETTER METAL BOXES, PLATES AND EXPOSED METALS. ALL METAL SURFACES SHALL BE PAINTED WITH SHERWIN WILLIAMS - SHER-KEM HIGH GLOSS METAL FINISHING ENAMEL. COLORS TO BE SELECTED BY DESIGNER.

PLAZA SECTION FINISH SCHEME

SCALE : 1/2"=1'-0"

STAND SECTION FINISH DETAIL

SCALE : 1 1/2"=1'-0"

STAND RISER FINISH DETAIL

SCALE : 1 1/2"=1'-0"

DATE: DEC. 2024

DRAWN BY: GAB

SCALE: AS SHOWN

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NO. DATE DESCRIPTIONS

PROJECT: PLAZA DE LA MUSICA
62 Calle Guillermo Esteves, Jayuya, PR
JAYUYA, PUERTO RICO

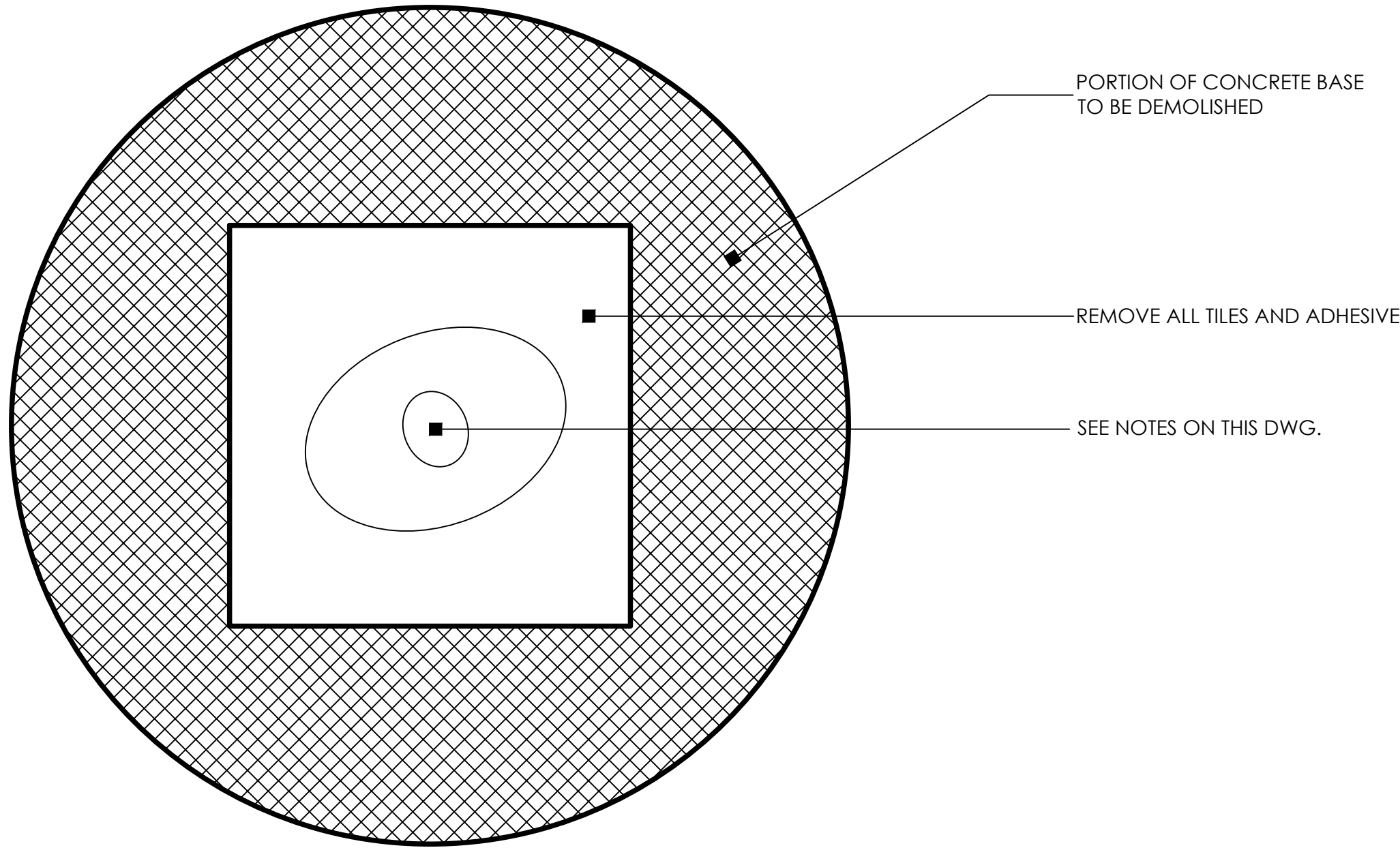
SHEET TITLE: PLAZA SECTION FINISH SCHEME

DRAWING NUMBER: SI-6

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vpc group

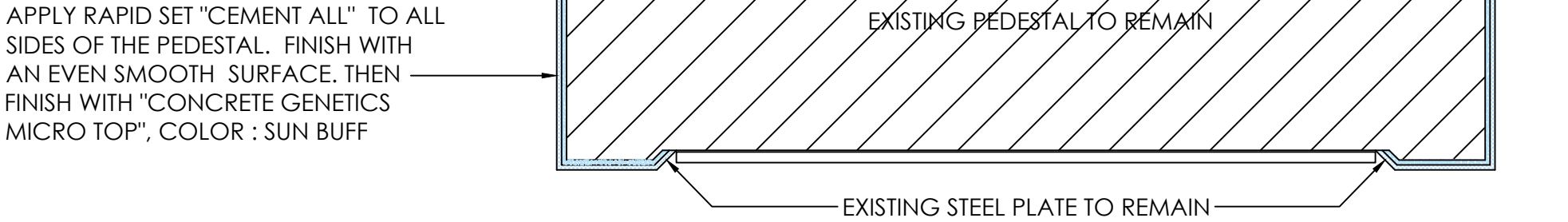
CONSTRUCTION & REMODELING | BUILDING SERVICES | MANAGEMENT



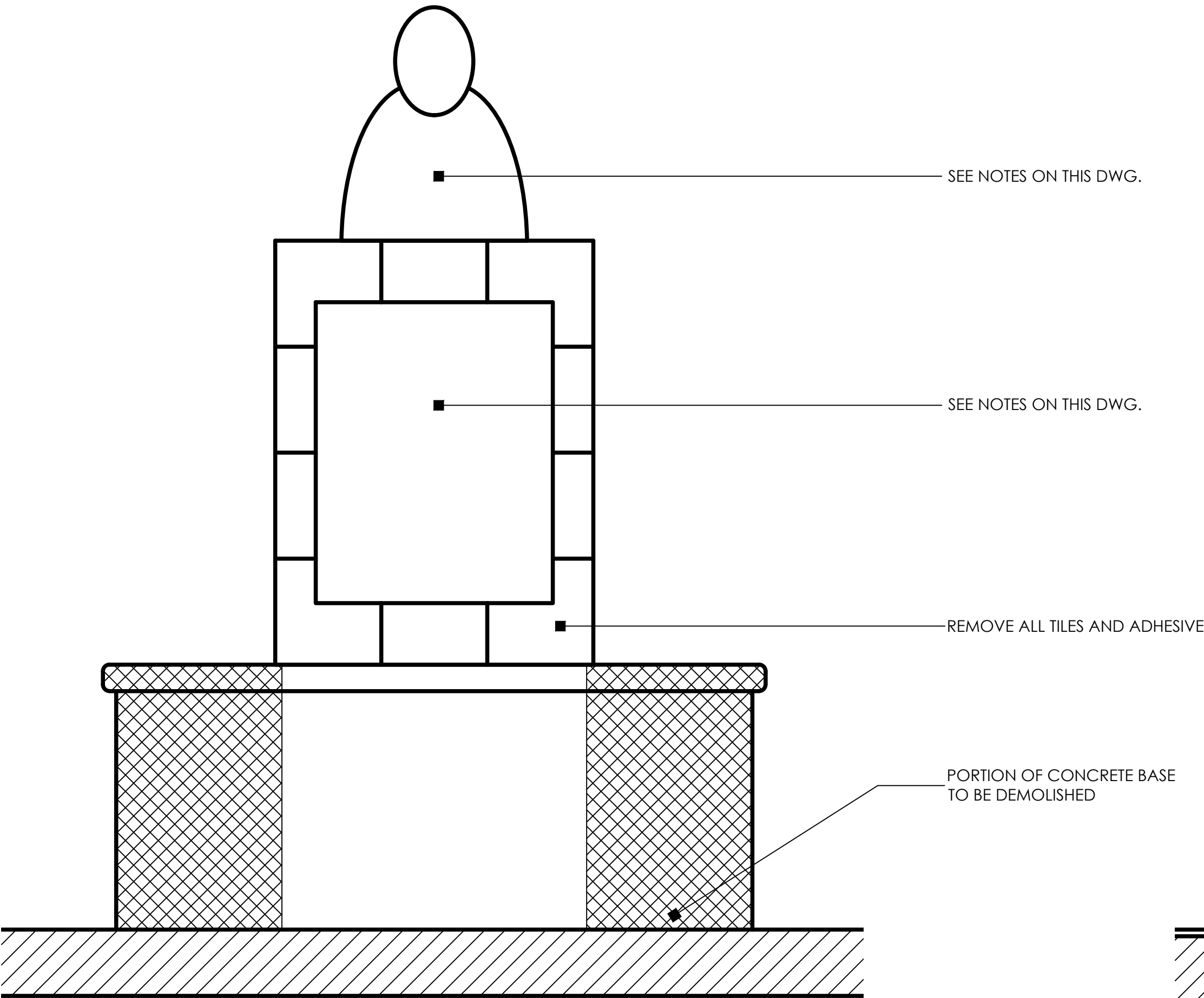
EXISTING BUSTS PLAN
SCALE : 1 1/2"=1'-0"



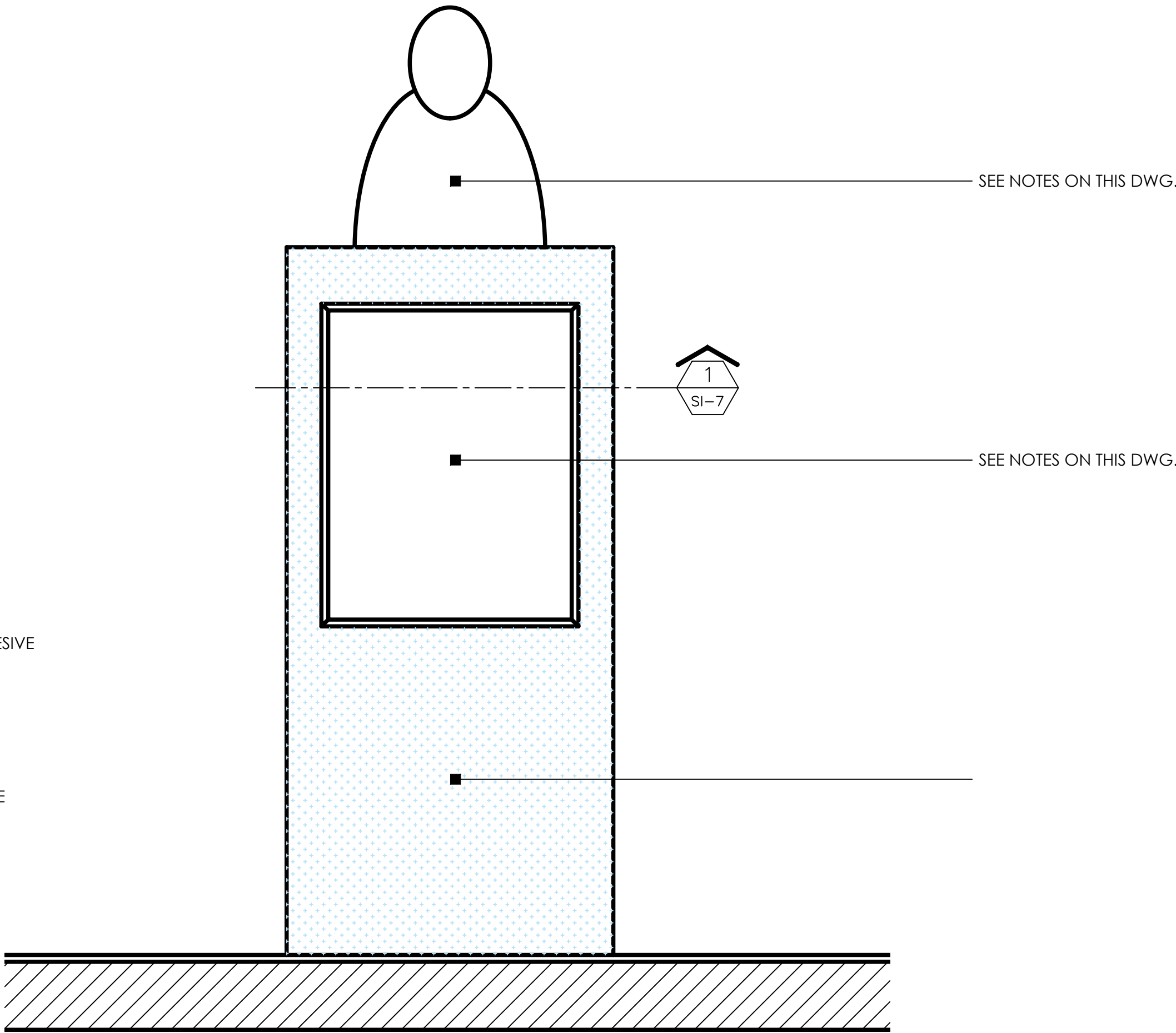
PROPOSED BUSTS PLAN
SCALE : 1 1/2"=1'-0"



SECTION 1
SCALE : 3"=1'-0"



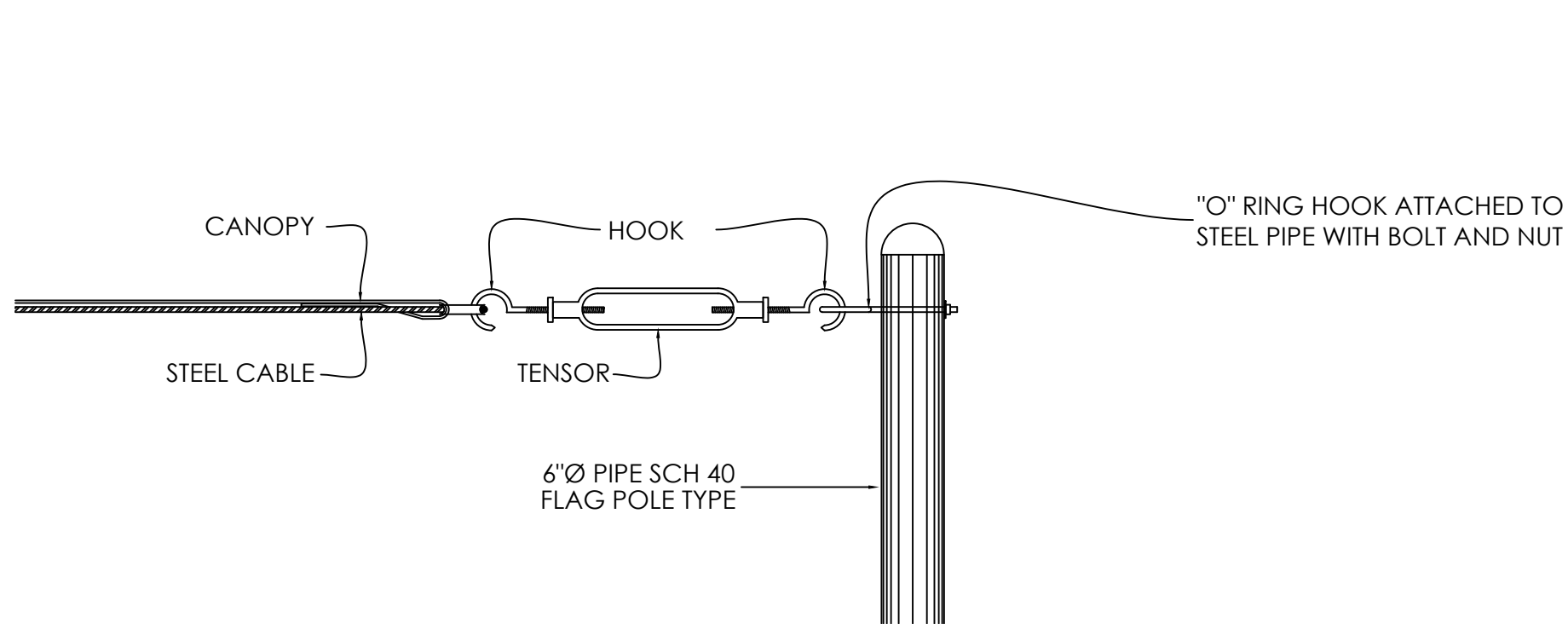
EXISTING BUSTS ELEVATION
SCALE : 1 1/2"=1'-0"
NOTE: ALL DIMENSIONS ARE FIELD VERIFY



PROPOSED BUSTS ELEVATION
SCALE : 1 1/2"=1'-0"
NOTE: ALL DIMENSIONS ARE FIELD VERIFY

IMPORTANT NOTES:
"BUSTO" - CARFULLY WRAP WITH PLASTIC AND PROTECT DURING DEMOLITION AND CONSTRUCTION ACTIVITIES.
"STEEL PLATE" AND SCULPTURE TO REMAIN IN PLACE.

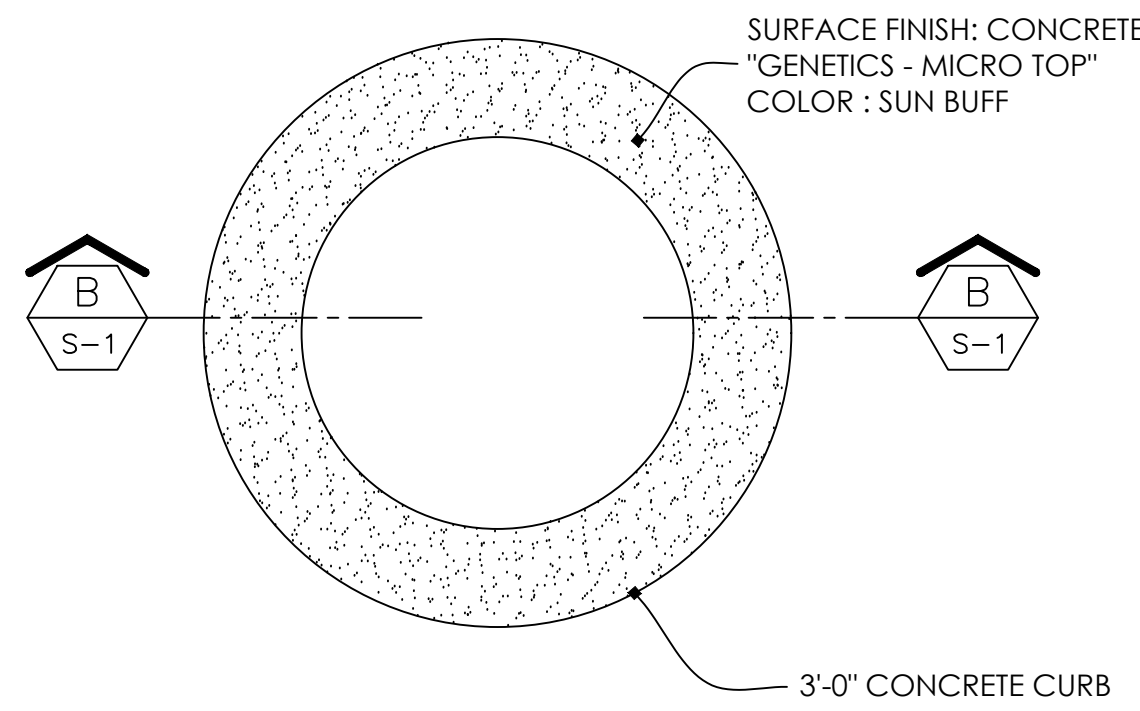
DATE: DEC. 2024		DRAWN BY: GAB		SCALE: AS SHOWN	
DESCRIPTIONS		NO.		DATE	



CANOPY FASTENING SYSTEM

N.T.S.

1
S-1

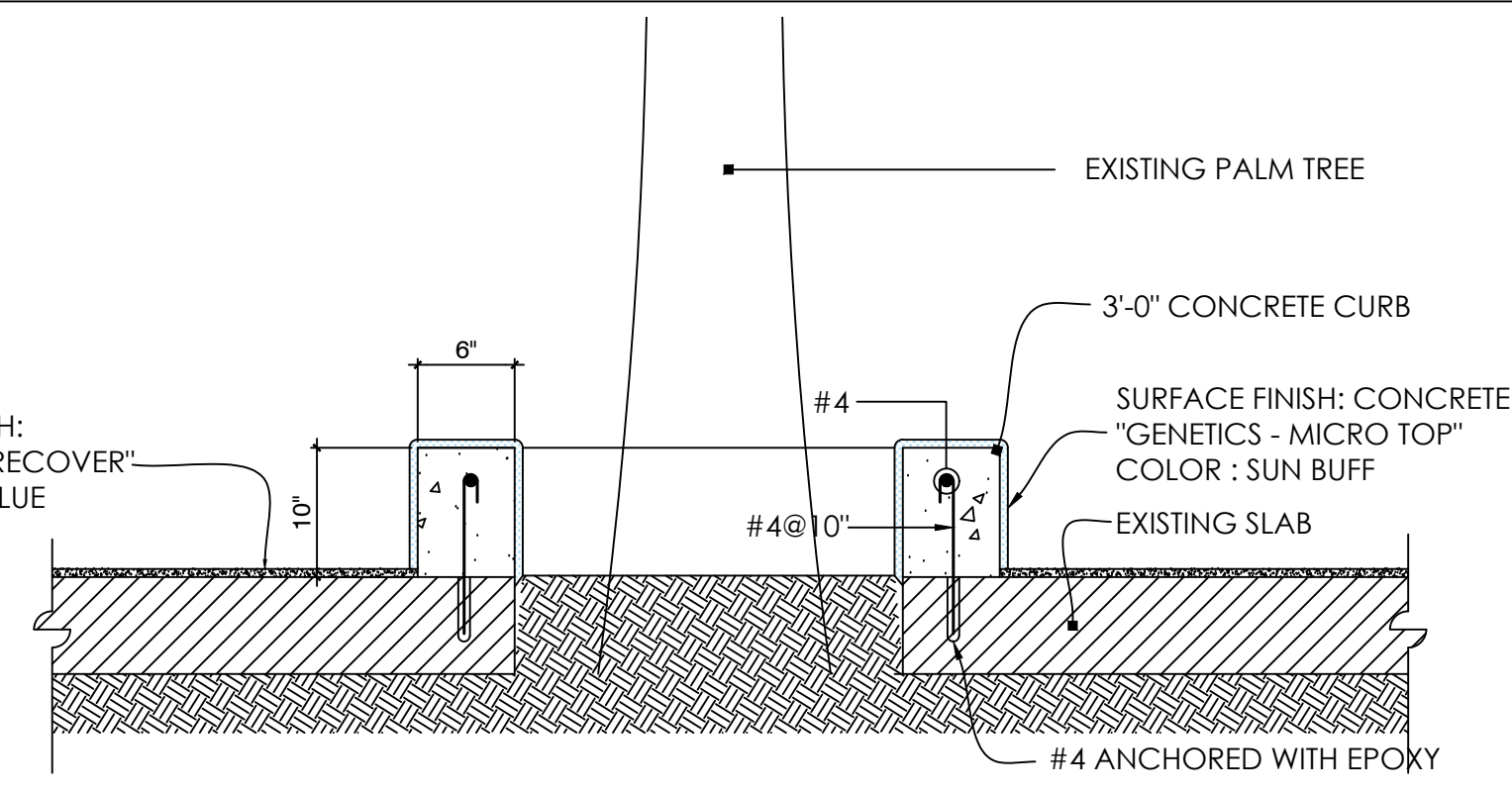


CURB AROUND PALM TREE

SCALE: 1"=1'-0"

2
S-1

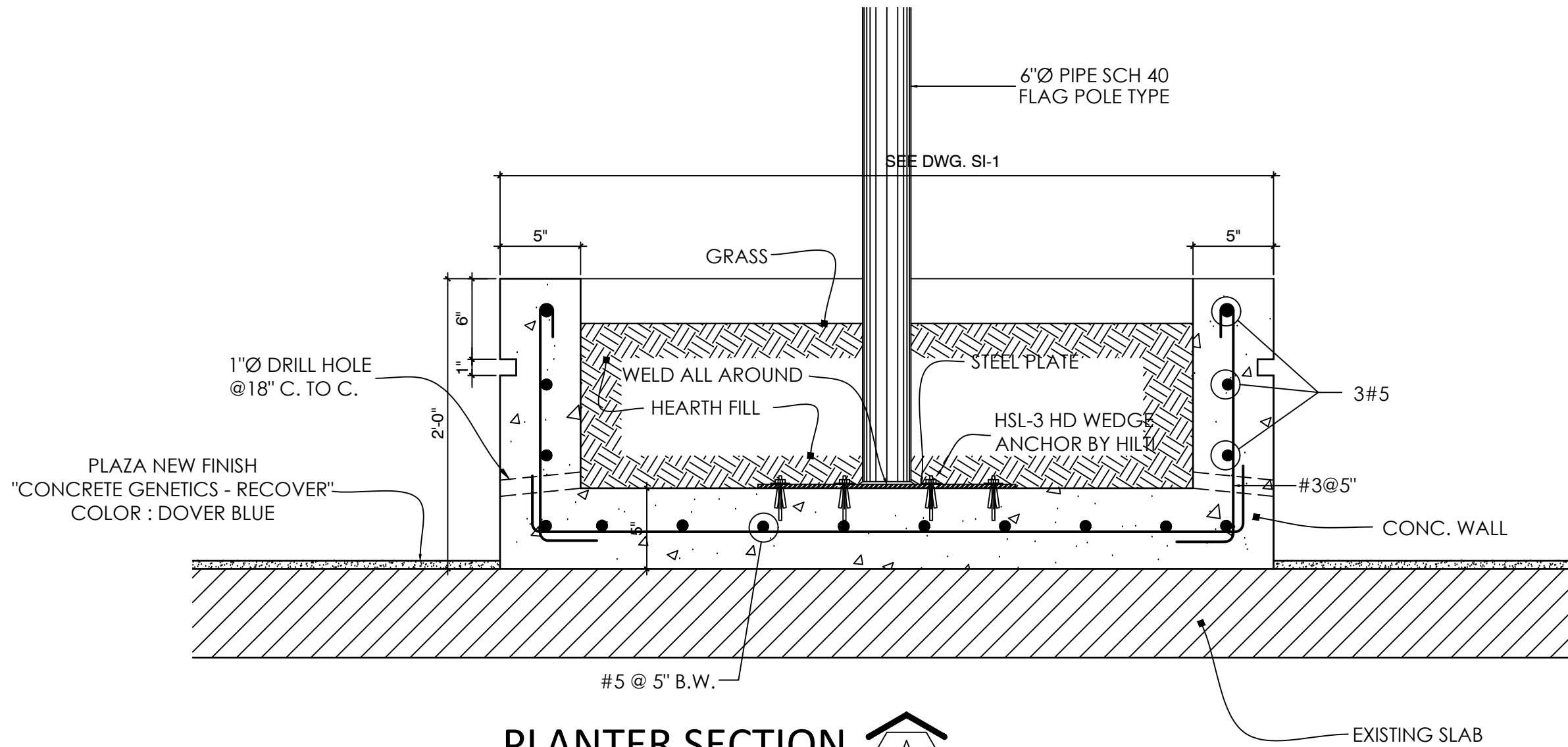
PLAZA NEW FINISH:
"CONCRETE GENETICS - RECOVER"
COLOR : DOVER BLUE



SECTION AROUND PALM TREE

SCALE: 1"=1'-0"

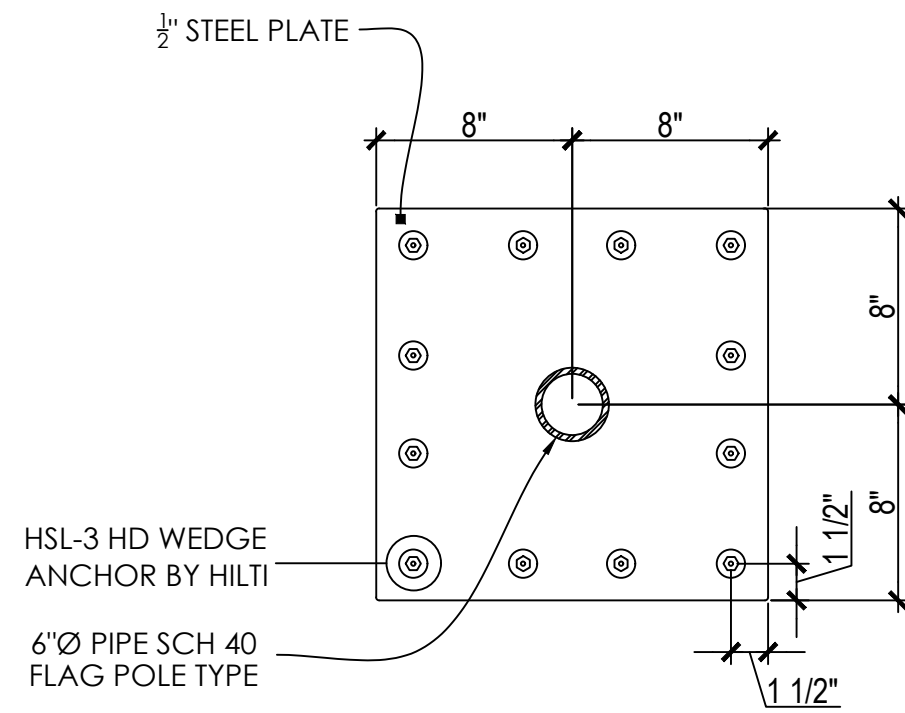
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S-1



PLANTER SECTION

SCALE: 1 1/2"=1'-0"

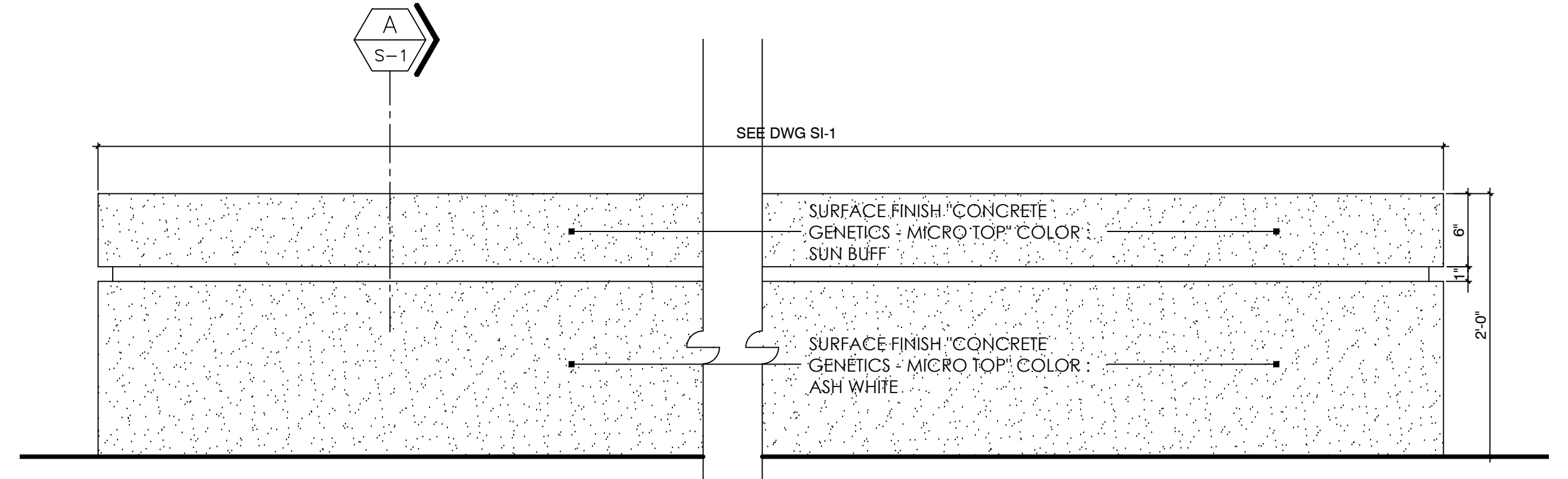
A
S-1



POLE PLATE DETAIL

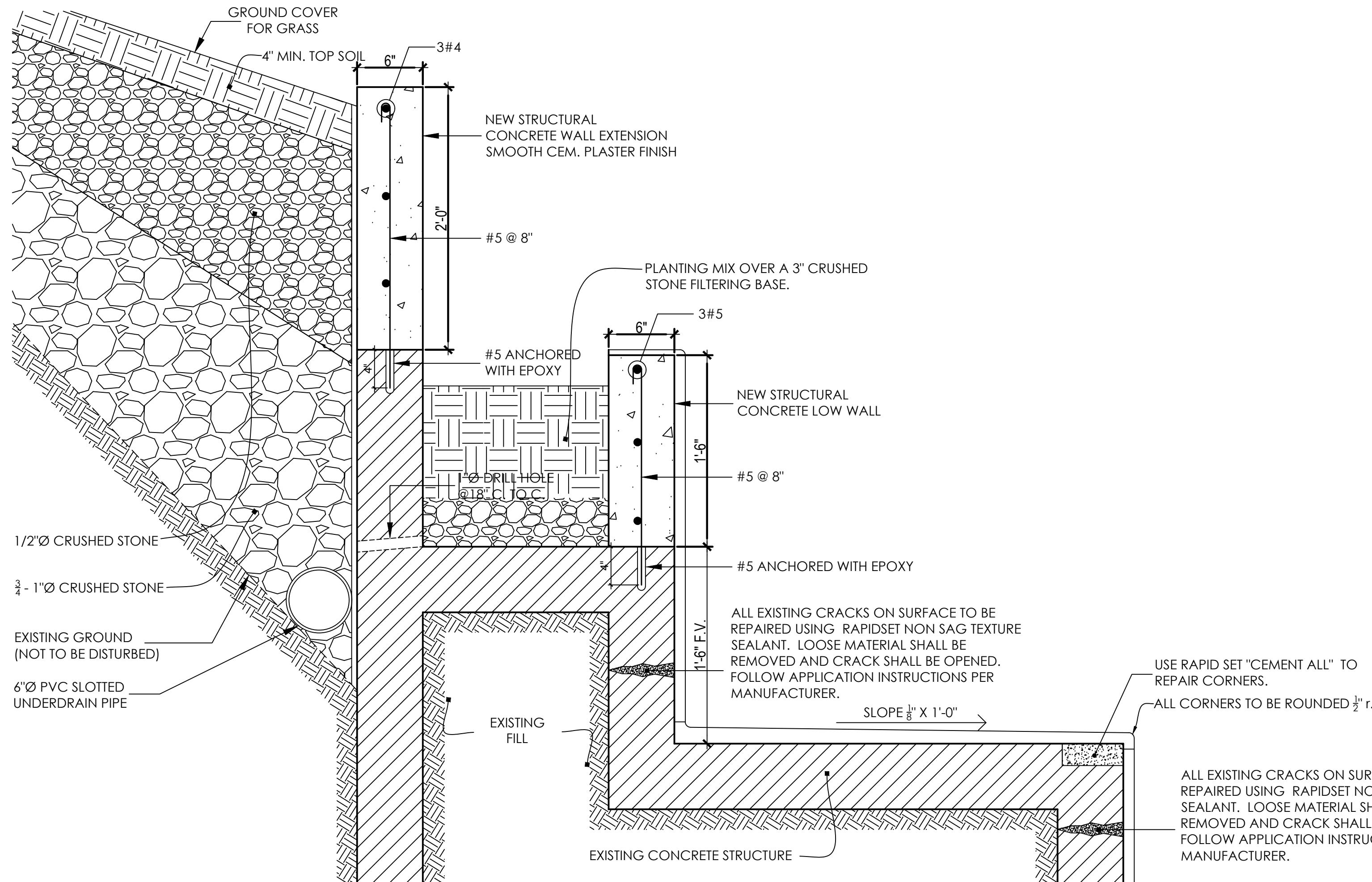
SCALE: 1 1/2"=1'-0"

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S-1



PLANTER ELEVATION

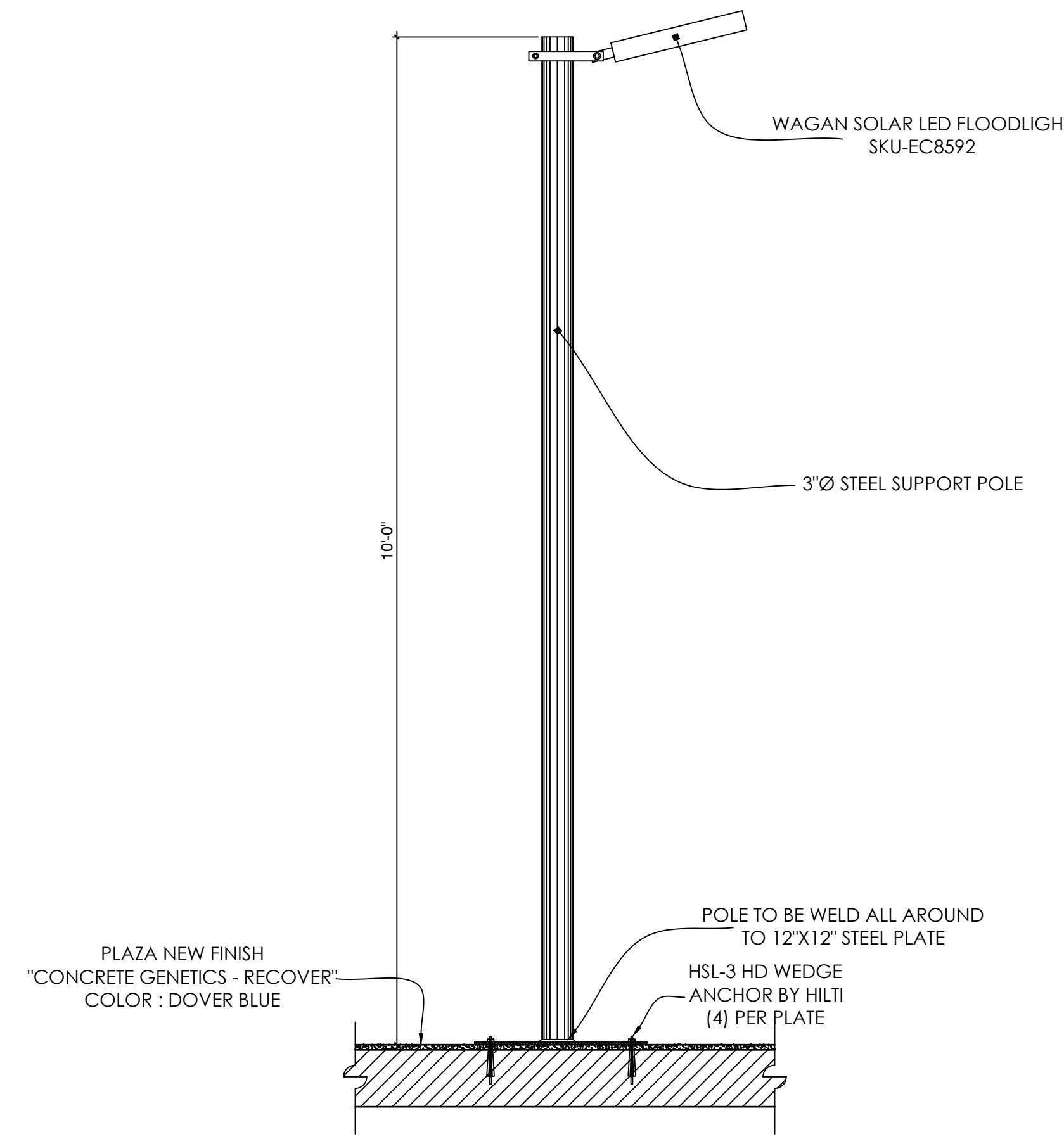
SCALE: 1 1/2"=1'-0"



PLAZA REPAIR SECTION

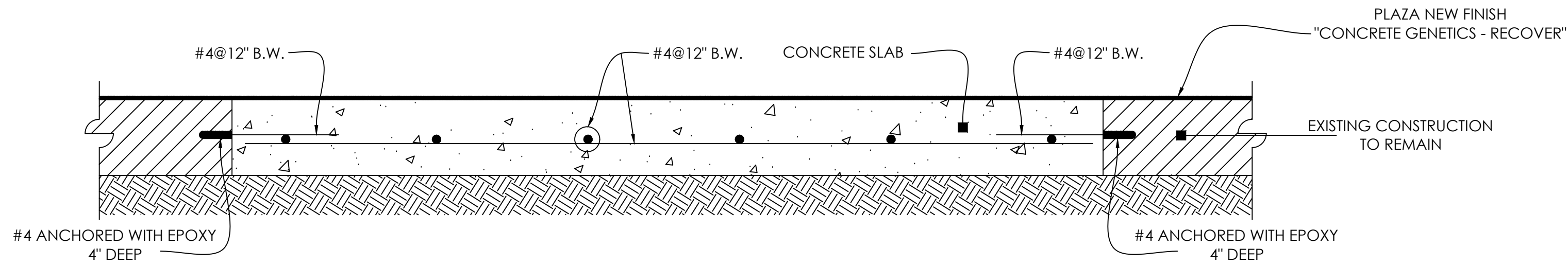
SCALE: 1 1/2"=1'-0"

C
S-1

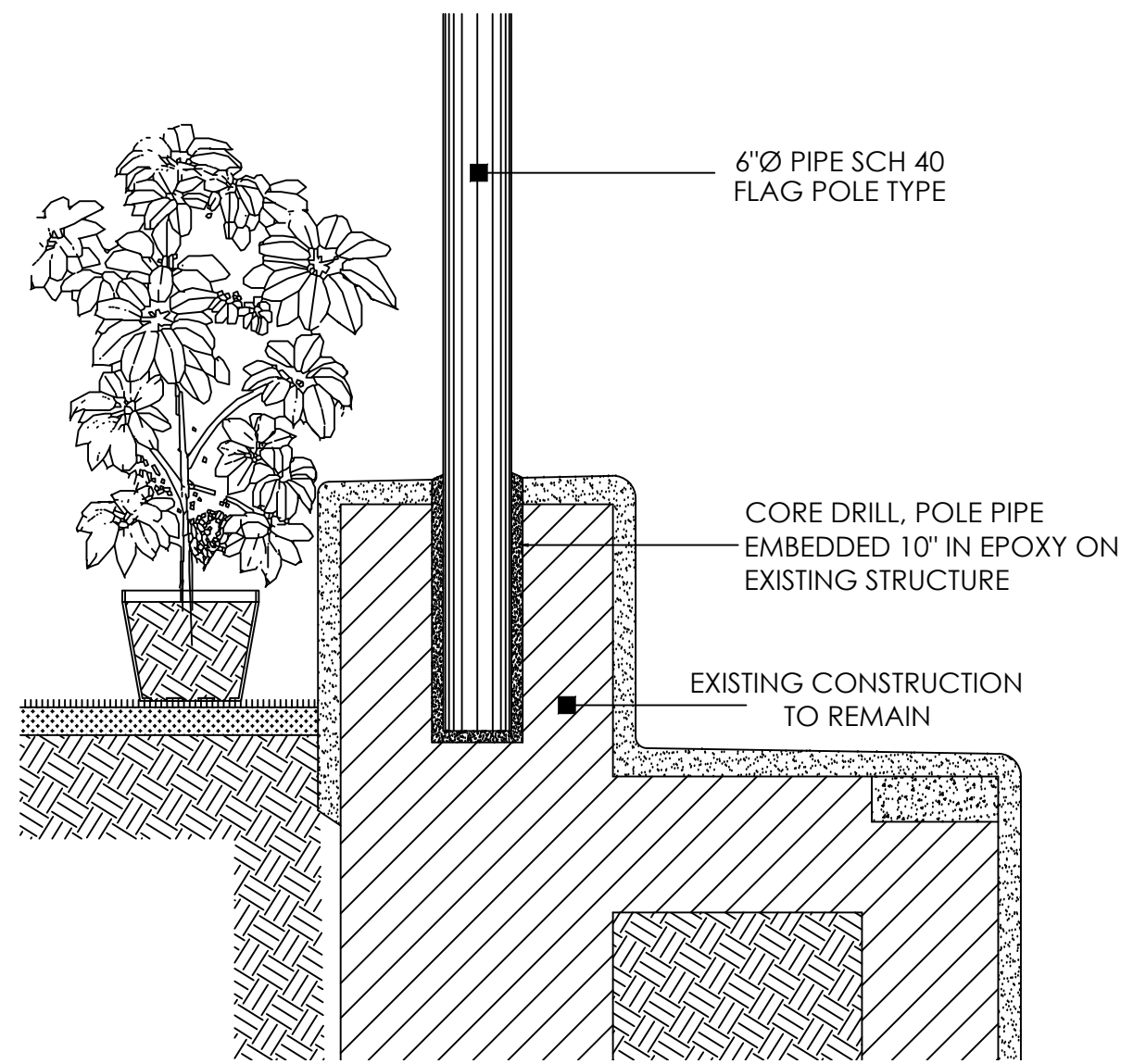


SOLAR LIGHTING POLE INSTALLATION DETAIL

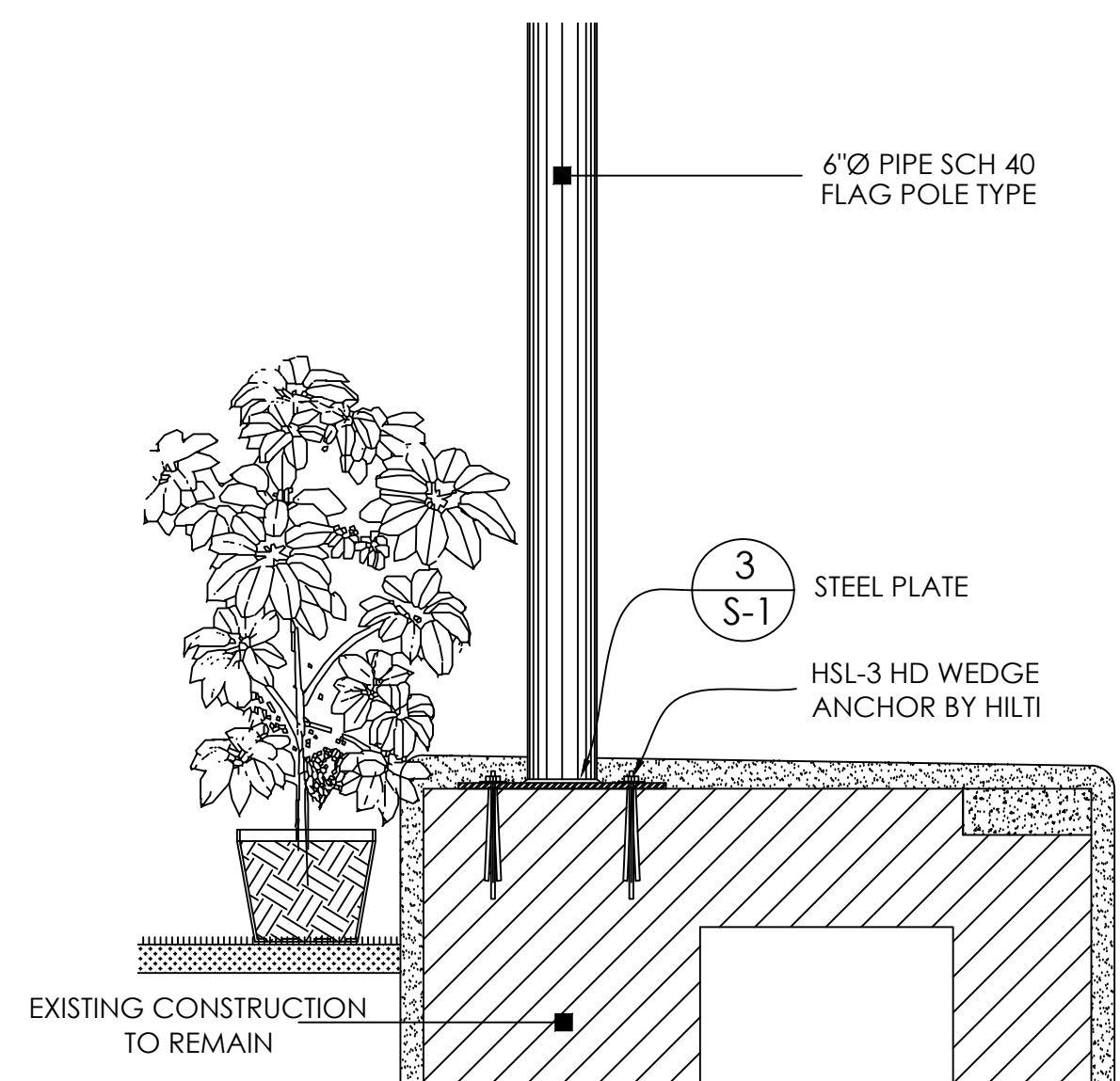
SCALE: 1"=1'-0"



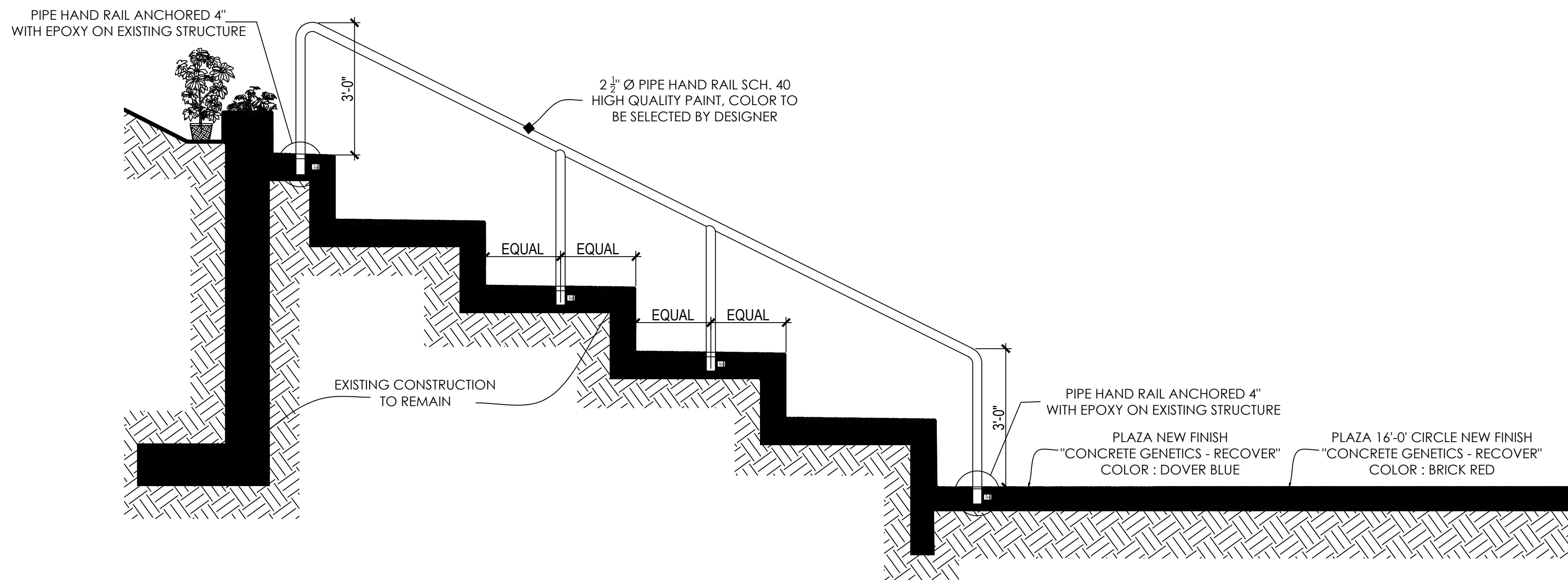
CONCRETE SLAB SECTION
 SCALE : 3/4"=1'-0"
 NOTE: SECTION APPLY TO FOUNTAIN & GERDEN AREAS



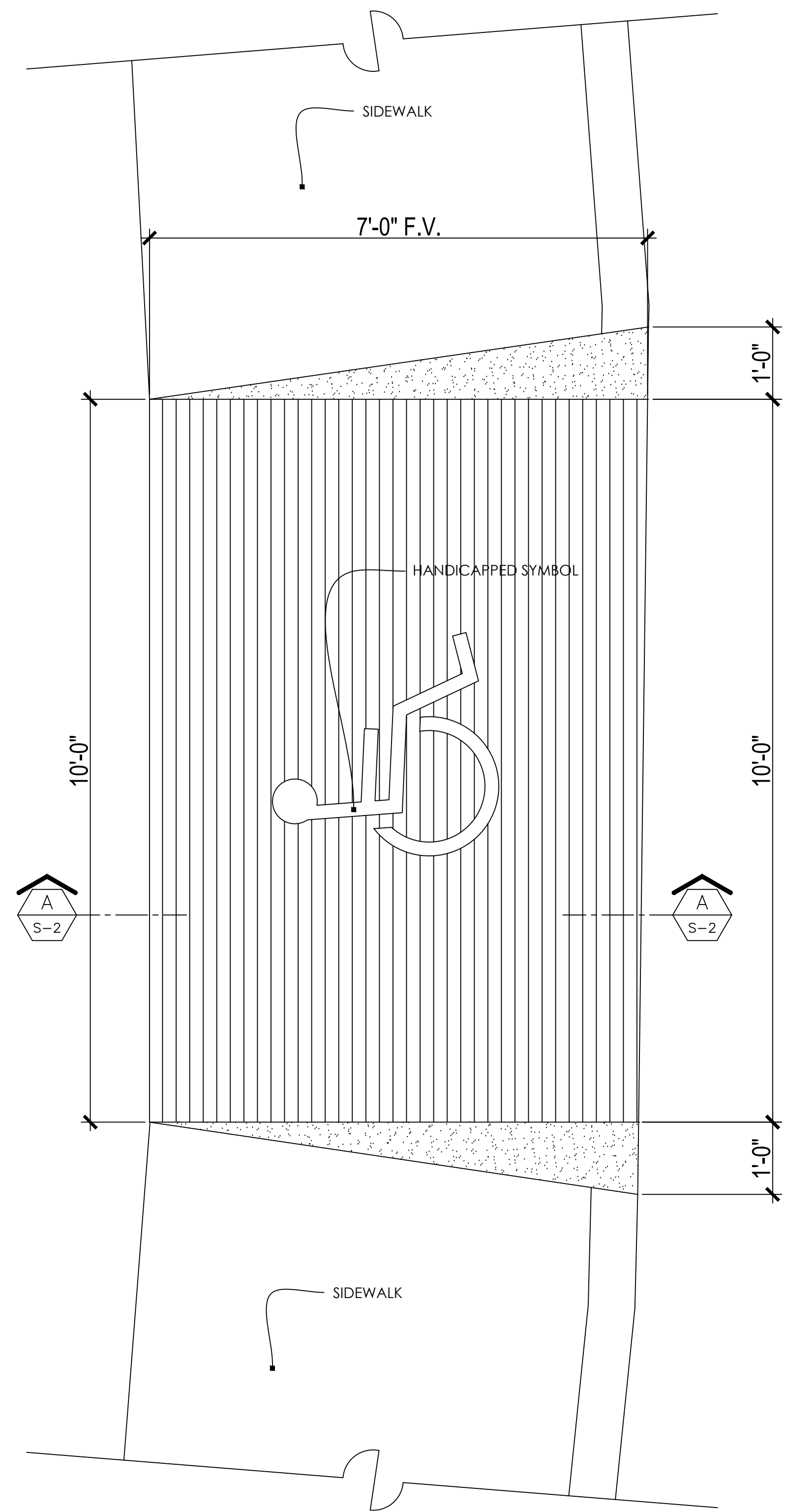
POLE INSTALLATION DETAIL 1
 SCALE : 1 1/2"=1'-0"
 NOTE:
 THE CONTRACTOR SHALL CONSULT THE CANOPY AND
 POLES MANUFACTURER FOR PROPER ANCHORING
 INSTALLATIONS SYSTEMS.



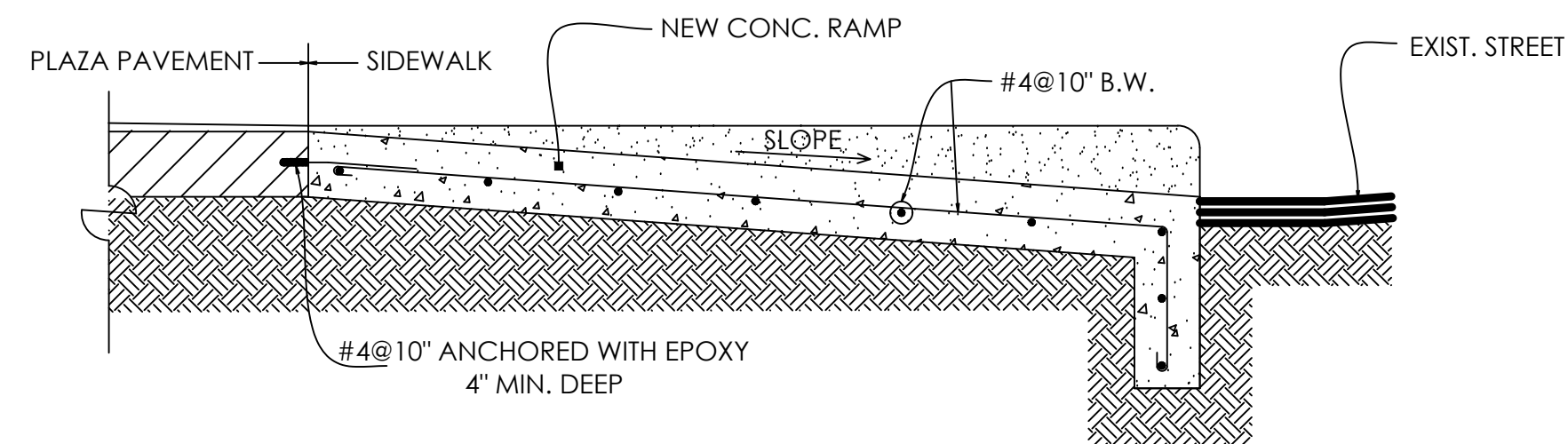
ALTERNATE POLE INSTALLATION DETAIL 2
 SCALE : 1 1/2"=1'-0"
 NOTE:
 THE CONTRACTOR SHALL CONSULT THE CANOPY AND
 POLES MANUFACTURER FOR PROPER ANCHORING
 INSTALLATIONS SYSTEMS.



HAND RAIL INSTALLATION DETAIL 3
 SCALE : 1 1/2"=1'-0"

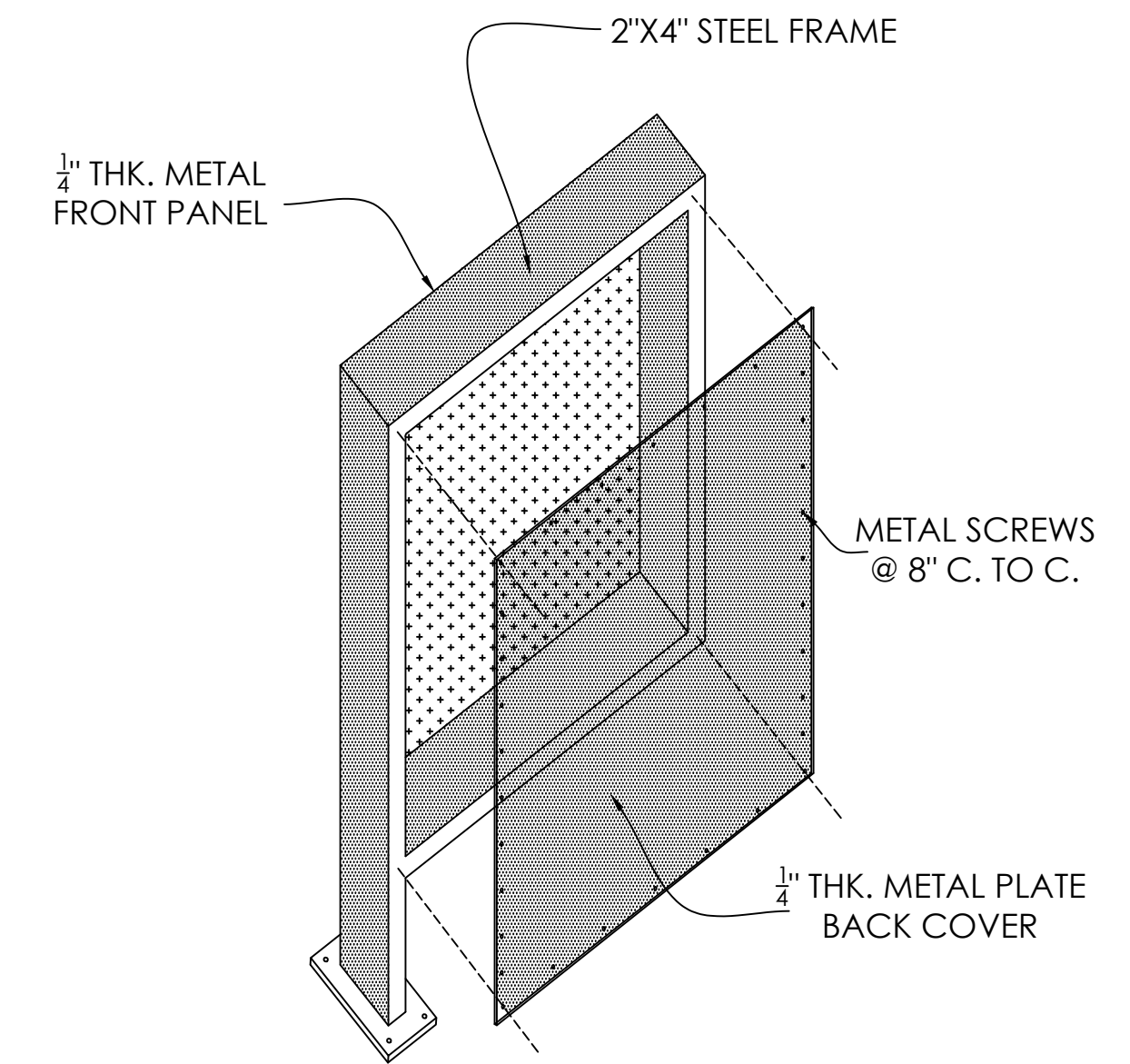
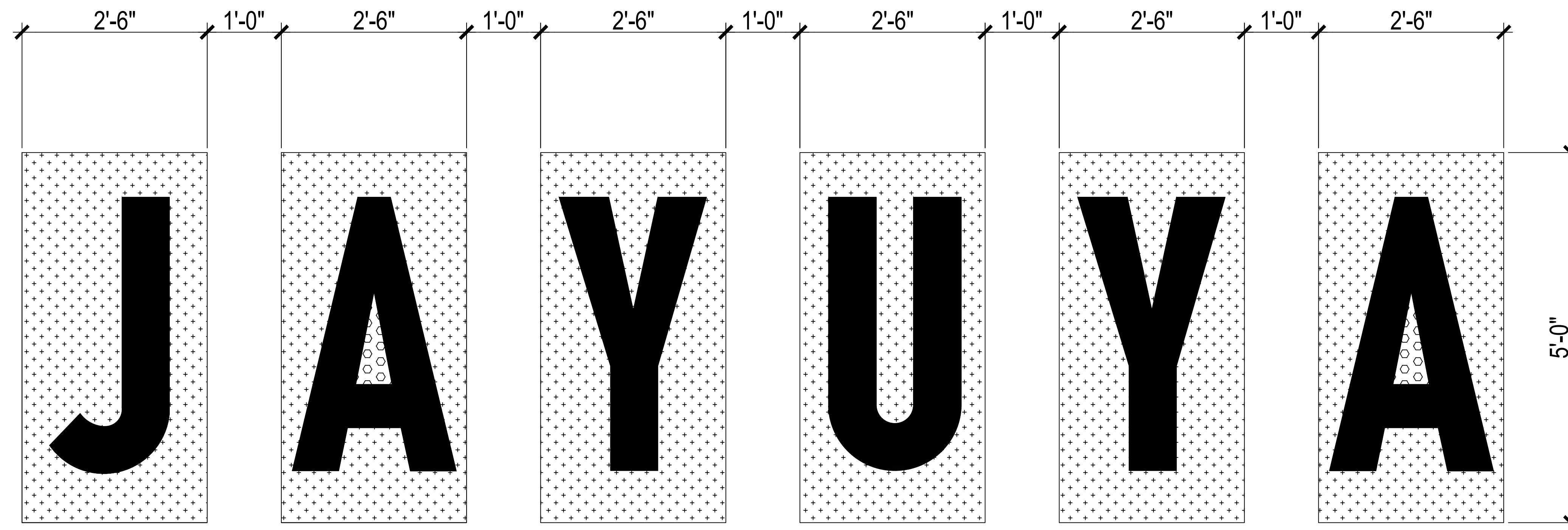


HANDICAPPED RAMP PLAN 5
 SCALE : 1/2"=1'-0"
 NOTE: LEVELS TO BE ADJUSTED ON SITE.



HANDICAPPED RAMP SECTION A
 SCALE : 3/4"=1'-0"
 NOTE: GRADING TO BE ADJUSTED ON SITE.

DATE: DEC. 2024		DRAWN BY: GAB		SCALE: AS SHOWN	
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NO. DATE DESCRIPTIONS					
PROJECT: PLAZA DE LA MUSICA 62 Calle Guillermo Esteves, Jayuya, PR JAYUYA, PUERTO RICO					
SHEET TITLE: CONSTRUCTIONS DETAILS					
DRAWING NUMBER: S-2					
16 OF 23					



SIGN LETTERS ELEVATION

SCALE : 1"=1'-0"

NOTE:

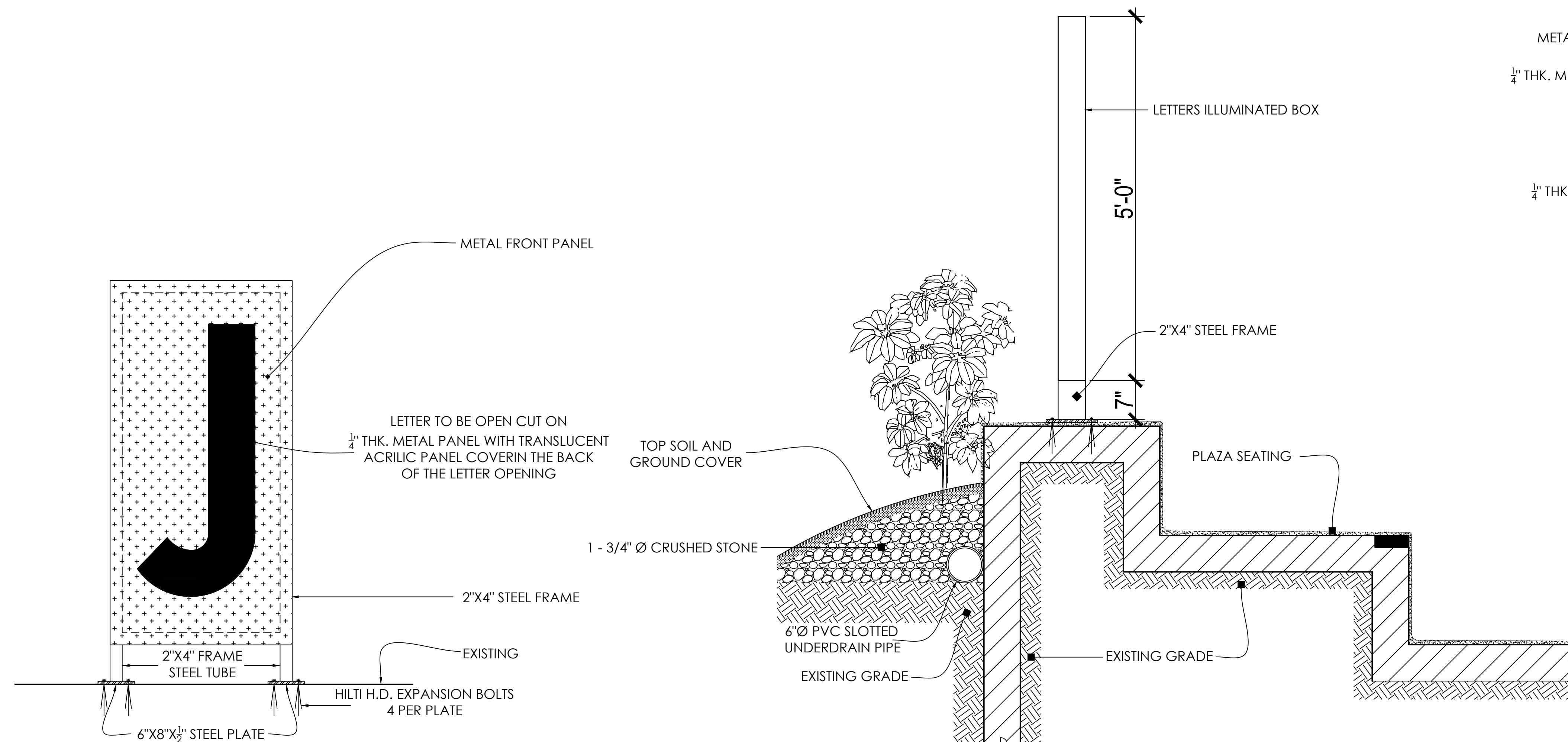
1-THE CONTRACTOR SHALL SUBMIT SHOP DRAWING PRIOR TO MANUFACTURE.

2-SUBMIT ANCHOR DETAIL PRIOR TO INSTALLATION.

LETTER ILLUMINATED BOX

SCALE : 1 1/2"=1'-0"

NOTE: FOR ADDITIONAL INFORMATION SEE SECTION
ON THIS DRAWING

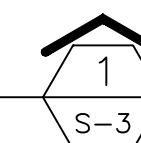


LETTER FRAME DETAIL

SCALE: 1"=1'-0"

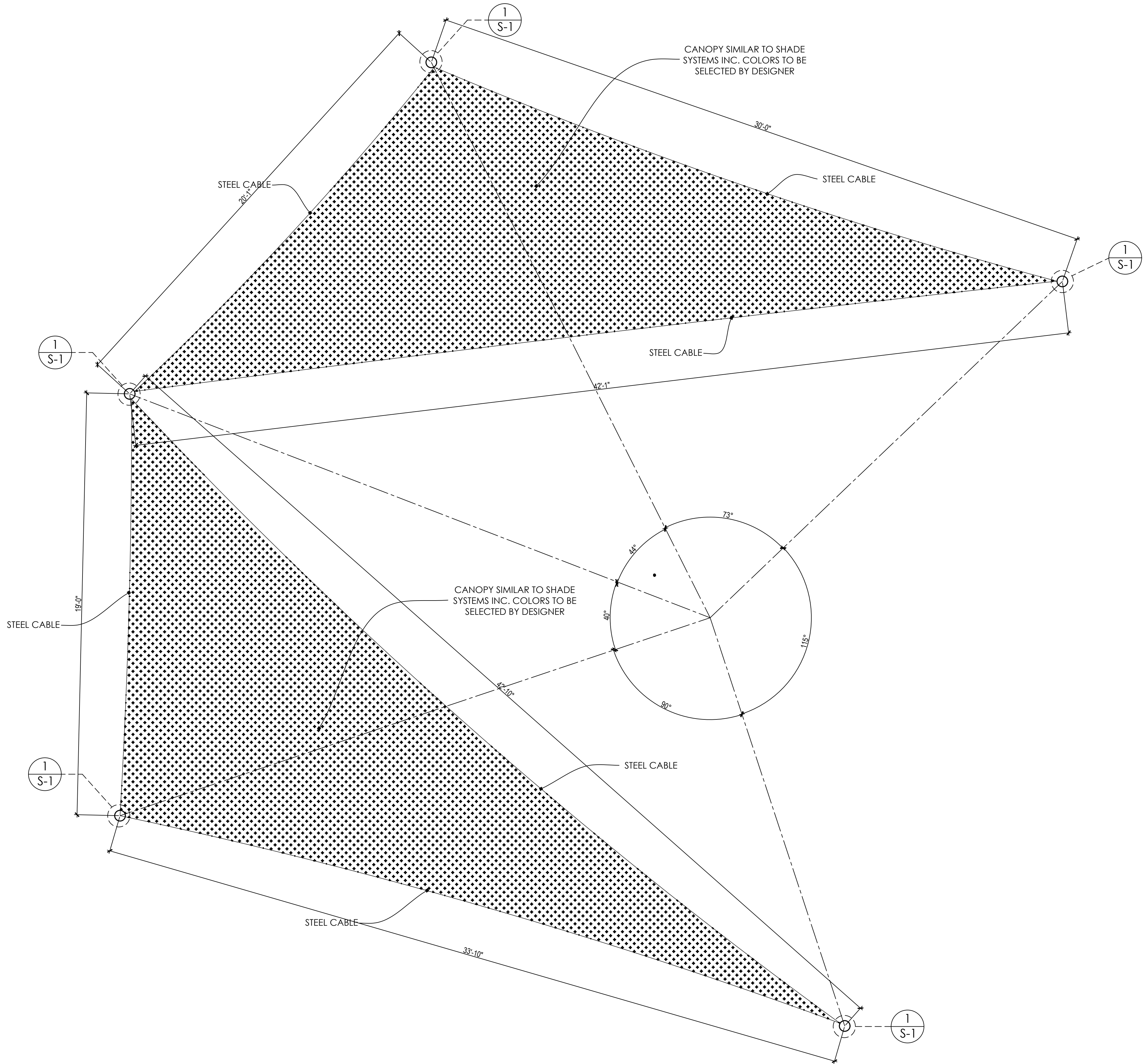
SECTION

SCALE: 1"=1'-0"



LETTER ILLUMINATED BOX SECTION

SCALE : 1 1/2"=1'-0"



FABRIC ROOFING PLAN

SCALE: 3/8"=1'-0"

NOTE: ALL DIMENSIONS SHALL BE VERIFIED ON SITE BEFORE COMMENCEMENT ANY MANUFACTURING WORK. ALL DISCREPANCIES SHALL BE NOTIFIED TO DESIGNER FOR CLARIFICATION.

STANDARD DRAWING ABBREVIATIONS

ADL	Additional Dead Load	ENGR	Structural Engineer of Record	NF	Near Face	T.O.S.	Top of Slab or Steel
AB	Anchor Bolt	EQ	Equal	NO of #	Number	T.O.W.	Top of Wall
A/C	Air Conditioner	EXIST	Existing	NOM	Nominal	T & B	Top and Bottom
ADD'L	Additional	EXP BOLT	Expansion Bolt	NTS	Not to Scale	U	Units
AFF	Above Finish Floor	EXT	Exterior	NS	Near Side	UNO	Unless Noted Otherwise
AL	Aluminum	EW	Each Way	OC	On Center	VB	Vapor Barrier
ALT	Alternate	ETC	Etcetera	OD	Outside Diameter	VERT	Vertical
APP	Approximate	F-1	Footing Number	OPNG	Opening	VRS	Varies
ARCH	Architect, Architectural	FB	Floor Beam	OPP	Opposite	W	West, Wire Size
BCX	Bottom Chard Extension	FF	Far Face, Finished Floor	OPP HAND	Opposite Hand	Designation	
BF	Both Faces	FFE	Finish Floor Elevation	O. O.	Out to Out	W/C	Water Cement Ratio
BLDG	Building	FG	Final Grade	PL	Plate	WD	Wood
BLKG	Blockage	FIN	Finish	P/C	Pre – Cast	WP	Work Point
BM (s)	Beams (s)	FL	Floor	PCF	Pounds per Cubic Foot	WT	Weight
BO	By Others, Blockout, Bottom of opening	FLG	Flange	PERIM	Perimeter	WWF	Welded Wire Fabric
		FND	Foundation	PERP	Perpendicular	W/	With
B	Bottom	FRMG	Framing	PLF	Pounds per Linear Foot	W/O	Without
BP	Base Plate	FT	Foot, Feet	PROJ	Projection	W/S	Waterstop
BRDG	Bridging	FTG	Footing	PSF	Pounds per Square Foot	WWM	Welded Wire Mesh
B RG	Bearing	FS	Far Side	PSI	Pounds per Square Inch	&	And
BOM	Bottom of Beam	GA	Gage or Gauge	RECT	Rectangular		
C-1	Column Number	GALV	Galvanized	RE	Refer (ence)		
CANT	Cantilever	GC	General Contractor	REINF	Reinforcement/Reinforce		
CG	Center of Gravity	GR	Grade	REV	Revision		
CIP	Cast –in –Place Concrete	HBF	Horizontal Both Faces	REQ'D	Required		
CGS	Center of Gravity of Strands (steel)	HORIZ	Horizontal	S	South		
		HH	Horizontal Hook	SC	Scale		
CJ	Control or Construction Joint	HDAS	Headed Anchor Stud	SCHD	Schedule		
CL	Centerline	HSB	High Strength Bolt	SECT	Section		
CLG	Ceiling	HT	Height	SER	Structural Engineer of Record		
CLKG	Caulking	ID	Inside Diameter	SHT	Sheet		
CLR	Clear, Clearance	INFO	Information	SIM	Similar		
CMU	Concrete Masonry Unit	INT	Interior	SL	Slab		
COL	Column	JST	Joist	SLV	Sleeve		
CONC	Concrete	JT	Joint	SPLS	Splice		
CONN	Connection	K	Kips	SPCS	Spaces		
CONST	Construction	KLF	Kips per linear foot	SPCG	Spacing		
CONT	Continuous	KSF	Kips per square foot	SPL	Splice		
CORR	Corrugated	KSI	Kips per square inch	SPEC	Specification		
CTR	CTR	L	Left, Length	SQ	Square		
C.C.	Center to Center	LAM	Laminated	STD	Standard		
DBA	Deformed Bar Anchor	LBS	Pounds	STFF	Stiffener		
DBL	Double	LEV	Level	SOG	Slab on Grape		
DIM	Dimension	LLV	Long Leg Vertical	S.O.F	Step Of Footing		
DKG	Decking	LLH	Long Leg Horizontal	STIRR	Stirr up		
DN	Down	LOCT	Location	STL	Steel		
DO	Ditto	LONGIT	Longitudinal	STR	Structure		
DTL	Detail	LWT	Lightweight	SYM	Symmetrical		
DWG (s)	Drawing (s)	LL	Live Load	TEMP	Temperature		
DWL	Dowel	MAX	Maximum	THK or T	Thickness		
DL	Dead Load	MECH	Mechanical	THRD	Threaded		
E	East	MEZZ	Mezzanine	TOPG	Topping		
EA	Each	MFG	Manufacturer	TYP	Typical		
EMB	Embedment	MID	Middle	T.O.B.	Top of Beam		
EE	Each End	MIN	Minimum	T.O.C.	Top of Concrete		
EF	Each Face	MISC	Miscellaneous	T.O.COL	Top of Column		
EG	Existing Grade	MKD	Marked	T.O.F.	Top of Footing		
EJ	Expansion Joint	MTL	Material, Metal	T.O.J.	Top of Joist		
EL	Elevation	N	North	T.O.OP.	Top of Opening		
ELEV	Elevation, Elevator	NIC	Not in Contract	T.O.P.	Top of Parapet		

GENERAL NOTES

- 1- THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTIONS WITH THE SPECIFICATIONS AND THE ARCHITECTURAL, ELECTRICAL, MECHANICAL AND ANY OTHER TRADE DRAWINGS. IF THERE IS A DISCREPANCY BETWEEN DRAWINGS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ARCHITECT AND THE ENGINEER PRIOR TO PERFORMING ANY WORK.
- 2- CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON STRUCTURAL DRAWINGS WITH THE ARCHITECTURAL DRAWING BEFORE LAYING OUT ANY WORK, IF ANY DISCREPANCY ARISES THE ARCHITECTS AND ENGINEER SHALL BE NOTIFIED.
- 3- DETAILS, NOTES AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS ELSEWHERE WITH THE APPROVAL OF THE ENGINEER.
- 4- THE FOLLOWING CODE, STANDARD AND SPECIFICATION APPLY TO ALL THE CONSTRUCTION WORKS:
- 1- 2018 P.R. BUILDING CODE
 - 2- INTERNATIONAL BUILDING CODE IBC 2018
 - 3- ASCE STANDARD 7-16
 - 4- AMERICAN CONCRETE INSTITUTE 318-14 LATEST EDITION
 - 5- AMERICAN INSTITUTE OF STEEL CONSTRUCTION, 9 EDITION
 - 6- AMERICAN WELDING SOCIETY LATEST EDITION
 - 7- CONCRETE REINFORCING STEEL INSTITUTE LATEST EDITION
 - 8- AMERICAN SOCIETY FOR TESTING AND MATERIAL
 - 9- STEEL DECK INSTITUTE LATEST EDITION
 - 10- ACI, MANUAL OF CONCRETE PRACTICE, LATEST EDITION
- 5- DESIGN LOADS:
- A)-DEAD LOADS
- 1) OWN WEIGHT OF MATERIALS
 - 2) SUPERIMPOSED ----- 15 PSF (FLOOR)
5 PSF (ROOF)
- B)-LIVE LOADS
- 1) FLOOR ----- 40 PSF
 - 2) ROOF ----- 20 PSF
- C)-WIND LOADS:
- WIND LOAD SHALL BE COMPUTE AS PER ASCE-7-16
- 1)-BASIC WIND SPEED ----- 160 MPH
 - 2)-IMPORTANCE FACTOR ----- 1.0
 - 3)-EXPOSURE CATEGORY ----- B
 - 4)-TOPOGRAPHIC FACTOR ----- 1.0
 - 5)-INTERNAL PRESSURE COEFFICIENT Gcpi ----- ±0.18
- D)-SEISMIC LOADS:
- SEISMIC LOAD SHALL BE COMPUTE AS PER ASCE-7-05
- 1)-SEISMIC IMPORTANCE FACTOR ----- I=1.0
 - 2)-SPECTRAL RESPONSE ACCEL ----- Ss =0.97g ----- S1=0.37g
 - 3)-SPECTRAL RESPONSE COEFFICIENTS ----- S DS=0.72g ----- S D1=0.48g
 - 4)-SEISMIC DESIGN CATEGORY ----- D
 - 5)-BASIC SEISMIC-FORCE RESISTING SYSTEM
N-S DIRECTION--SRWS
E-W DIRECTION--SRWS
 - 6)-RESPONSE MODIFICATION FACTOR ----- R=5
 - 7)-STRUCTURAL ANALYSIS USED ----- STATIC
- 6- CONTRACTOR SHALL PROVIDE ADEQUATE SHORING TO THE STRUCTURE DURING CONSTRUCTION AND SHALL NOT CREATE ANY OVERLOAD SITUATION OVER IT DUE THE HORIZONTAL MOVEMENT OF ANY HEAVY EQUIPMENT OR THE STORAGE OF THE CONSTRUCTION MATERIALS.
- 7- IN CASE OF DOUBT IN THE INTERPRETATION OF ANY ASPECT OF THESE STRUCTURAL DRAWINGS AND OR THE SPECIFICATIONS, THE DESIGNER SHALL BE CONSULTED. BEFORE COMMENCING ANY WORK.
- 8- IMPLEMENTING JOB SITE SAFETY AND CONSTRUCTION PROCEDURES (MEANS AND METHODS). TEMPORARY SHORING AND BRACING OF EXISTING CONSTRUCTION ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT ANY DAMAGE TO ADJACENT STRUCTURES AND UTILITIES.
- 9- ALL STRUCTURAL WORKS RALATED TO MEANS AND METHODS OF CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR, INCLUDING FORMWORK, SHORING, RESHORING, SUPPORT OF EXCAVATION, UNDERPINNING AND SUPPORT OF ALL CONSTRUCTION EQUIPMENT INCLUDING CRANES AND HOISTS.
- 10- SCALE ON THE DRAWINGS ARE FOR INFORMATION ONLY, NO DIMENSIONAL INFORMATION SHALL BE OBTAINED BY SCALING FROM THE DRAWINGS.
- 11- THE USE OF ELECTRONIC FILES OR REPRODUCTIONS OF THESE DOCUMENTS BY ANY PERSON, CONTRACTOR, SUBCONTRACTOR, ERECTOR, FABRICATOR, OR MATERIAL SUPPLIER IN LIEU OF PREPARATION OF SHOP DRAWINGS, SIGNIFIES THEIR ACCEPTANCE OF ALL INFORMATION SHOWN HEREON AS CORRECT, AND OBLIGATE THEMSELVES TO ANY JOB EXPENSE, REAL OR IMPLIED, ARISING DUE TO ANY ERRORS THAT MAY OCCUR HEREON.
- 12- SUBMIT SHOP DRAWINGS AT LEAST 15 BUSINESS DAYS PRIOR TO THE DATE WHICH REVIEWED SUBMITTALS WILL BE REQUIRED, SHOP DRAWINGS SHALL BEAR THE CONTRACTOR'S STAMP OF APPROVAL WHICH SHALL CONSTITUTE CERTIFICATION THAT HE HAS VERIFIED ALL FIELD MEASUREMENTS, CONSTRUCTION CRITERIA, MATERIALS AND SIMILAR DATA, AND HAS CHECKED EACH DRAWING FOR COMPLETENESS, COORDINATION, AND COMPLIANCE WITH THE CONTRACT DOCUMENTS.
- 13- CONTRACTOR SHALL FURNISH DIMENSIONED COORDINATED SHOP DRAWINGS AT ALL LEVELS LOCATING SLAB EDGES AND ALL SLEEVES AND OPENINGS REQUIRED BY ALL TRADES FOR REVIEW BY THE ARCHITECT AND SER.
- 14- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN CONTRACT DOCUMENTS AND FIELD CONDITIONS TO THE SER.
- 15- NO CONSTRUCTION SHALL COMMENCE PRIOR TO THE APPROVAL OF SHOP DRAWINGS BY THE ARCHITECT. SEE SPECIFICATIONS FOR REQUIRED SUBMITTALS.
- 16- SEE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR DETAILED INFORMATION REGARDING FINISHES, PAINT, FIREPROOFING, FLOOR PITCHING, DRAIN LOCATIONS, WATERPROOFING AND DAMPPROOFING DETAILS.
- 17- SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF MASONRY AND ALL OTHER NON-LOAD BEARING PARTITIONS. PROVIDE SLIP CONNECTIONS THAT ALLOW VERTICAL MOVEMENT AT THE HEADS OF ALL SUCH PARTITIONS. CONNECTIONS SHALL BE DESIGNED TO SUPPORT THE TOP OF WALLS Laterally FOR THE CODE-REQUIRED LATERAL LOAD. PROVIDE COMPRESSIBLE FIRESAFING AT THE TOP OF WALLS AS REQUIRED BY THE ARCHITECTURAL DRAWINGS.
- 18- ALL COSTS OF INVESTIGATIONS AND/OR REDESIGN, DUE TO CONTRACTOR'S MISLOCATION OF STRUCTURAL ELEMENTS OR OTHER LACK OF CONFORMANCE WITH THE PROJECT DOCUMENTS, SHALL BE AT THE CONTRACTOR'S EXPENSES.

SPECIAL INSPECTION

- 1- ANY CONTRACTOR RESPONSIBLE FOR THE CONSTRUCTION OF A MAIN WIND-OR SEISMIC-FORCE-RESISTING SYSTEM, DESIGNATED SEISMIC SYSTEM OR A WIND-OR SEISMIC-RESISTING COMPONENT LISTED IN THE STATEMENT OF SPECIAL INSPECTIONS SHALL SUBMIT A WRITTEN STATEMENT TO THE DESIGNATED INSPECTOR, OR DESIGN PROFESSIONAL IN CHARGE, OR THE OWNER, PRIOR TO THE COMMENCEMENT OF WORK ON THE SYSTEM, OR THE COMPONENT, THAT HE ACKNOWLEDGES THAT THE SYSTEM WILL BE SUBJECT TO THE LISTED SPECIAL INSPECTION, WHICH WILL BE PERFORMED BY THE REGISTERED DESIGN PROFESSIONAL AS PER SECTIONS 1705, 1706, 1707, AND 1708.
- 2- THE OWNER WILL PROVIDE THE SERVICES OF A SPECIAL INSPECTOR WSIHTH THE RESPONSIBITIES DESCRIBE BELOW. SEE IBC 2009 CHAPTER 17 FOR ADDITIONAL INFORMATION.
- A. CAST-IN-PLACE CONCRETE – PROVIDE CONTINUOUS AND PERIODIC SPECIAL INSPECTION AND STRUCTURAL TESTS AS SHOWN IN SPECIFICATION SECTION 033000 FOR THE FOLLOWING COMPONENTS OF THE WORK:
- 1.1 PERIODIC INSPECTION OF REINFORCING STEEL
 - 1.2 CONTINUOUS INSPECTION OF EMBEDS, INSERTS, AND BOLTS INSTALLED PRIOR TO CONCRETE PLACEMENT
 - 1.3 PERIODIC INSPECTION TO VERIFY USE OF REQUIRED DESIGN MIX
 - 1.4 CONTINUOUS INSPECTION AT THE TIME FRESH CONCRETE IS SAMPLED FOR STRENGTH TEST TO VERIFY SLUMP, AIR CONTENT, AND CONCRETE TEMPERATURE
 - 1.5 CONTINUOUS INSPECTION OF CONCRETE FOR PROPER APPLICATION AND PLACEMENT TECHNIQUES
 - 1.6 PERIODIC INSPECTION FOR MAINTENANCE OF SPECIFIED CURING TEMPERATURE AND TECHNIQUES
 - 1.7 PERIODIC INSPECTION OF IN-SITU CONCRETE STRENGTH PRIOR TO THE REMOVAL OF SHORES AND FORMS FROM BEAMS AND STRUCTURAL SLABS
 - 1.8 PERIODIC INSPECTION OF CONCRETE FORMWORK, SHORING, AND RESHORING
- B. POST-TENSIONED CONCRETE – PROVIDE CONTINUOUS AND PERIODIC SPECIAL INSPECTION AND STRUCTURAL TESTS AS SHOWN IN SPECIFICATION SECTION 033816 FOR THE FOLLOWING COMPONENTS OF THE WORK:
- 3.1 PERIODIC INSPECTION OF PRESTRESSING TENDONS
 - 3.2 CONTINUOUS INSPECTION OF APPLICATION OF PRESTRESSING FORCES
 - 3.3 PERIODIC INSPECTION OF IN-SITU CONCRETE STRENGTH PRIOR TO STRESSING OF TENDONS

FOUNDATIONS NOTES

- 1- BACKFILLING AGAINST FOUNDATION WALLS SHALL BE DONE WITH SMALL COMPACTING EQUIPMENT IN LAYERS NOT EXCEEDING 6". BACKFILLING MATERIAL SHALL BE GRANULAR AASHTO CLASSIFICATION A-2-4 OR BETTER, REFER TO GEOTECHNICAL REPORT.
- 2- NO BACKFILLING SHALL BE PERMITTED AGAINST BASEMENT WALLS UNTIL UPPER SLAB ARE IN PLACE AND CONCRETE HAS DEVELOPED ITS REQUIRED STRENGTH.
- 3- ALL INTERIOR SLAB ON GROUND SHALL BE CAST OVER A POROUS MATERIAL WITH A 6 MIL MIN. POLYETHYLENE VAPOR BARRIER UNDER IT.
- 4- CONTRACTOR IS RESPONSIBLE OF VERIFYING THE FOUNDATION DESIGN PARAMETER WITH A GEOTHECNICAL INVESTIGATION REPORT. ANY DISCREPANCY BETWEEN THE DESIGN PARAMETER AND THE SUBSOIL REPORT SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER. NO CONSTRUCTION WORK SHALL BE PERFORM PRIOR THE REALIZATION OF THE GEOTECHNICAL INVESTIGATION.
- 5)- CONTRACTOR IS RESPONSIBLE OF VERIFYING THE FOUNDATION DESIGN PARAMETER WITH A GEOTHECNICAL INVESTIGATION PREPARE BY A CERTIFIED PR ENGINEER. ANY DISCREPANCY BETWEEN THE DESIGN PARAMETER AND THE SUBSOIL REPORT SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER. NO CONSTRUCTION WORK SHALL BE PERFORM PRIOR THE REALIZATION OF THE GEOTECHNICAL INVESTIGATION.
- 6- CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS THAT MAY AFFECT THE INSTALLATION OF THE FOUNDATION SYSTEM AS SHOWN PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL REVIEW ALL EXISTING SITE CONDITIONS AND THE GEOTECHNICAL REPORT, AND ESTABLISH A SPECIFIC CONSTRUCTION PROGRAM, AND SUBMIT FOR REVIEW BY THE OWNER'S GEOTECHNICAL ENGINEER.
- 7- SEE SPECIFICATIONS AND REFERENCED GEOTECHNICAL REPORT FOR REQUIREMENTS FOR EXCAVATIONS AND PREPARATION OF THE FOUNDATION AND SLAB-ON-GRADE SUBGRADES, INCLUDING COMPACTION PROCEDURES. REQUIREMENTS CONTAINED IN THE GEOTECHNICAL REPORT ARE PART OF THIS WORK.
- 8- PROTECT ADJACENT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT, AND OTHER HAZARDS CREATED BY EARTHWORK OPERATIONS OR CONSTRUCTION PROCEDURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, INSTALLATION, MONITORING, AND FINAL REMOVAL OF ANY REQUIRED NEEDLING, UNDERPINNING, SHORING, OR BRACING OF EXISTING OR NEW CONSTRUCTION.
- 9- OTHER CONSTRUCTION, OF WHICH NO RECORDS ARE AVAILABLE, MAY BE ENCOUNTERED. THE CONTRACTOR SHALL FORMULATE HIS OWN CONCLUSIONS AS TO THE EXTENT OF SUCH CONSTRUCTION AND SHALL REMOVE ALL
- 10- UTILITY LINES SHALL NOT BE PLACED THROUGH OR BELOW FOUNDATIONS WITHOUT THE STRUCTURAL ENGINEER'S WRITTEN APPROVAL.
- 11- PROVIDE CONTINUOUS BENTONITE STRIP WATERSTOPS AT ALL VERTICAL AND HORIZONTAL CONSTRUCTION JOINTS IN ALL BELOW GRADE CONCRETE INCLUDING ELEVATOR PITS AND PIT WALLS.
- 12- ALL SHORING, SHEETING, AND DEWATERING SHALL BE THE TOTAL RESPONSIBILITY OF THE CONTRACTOR. SHEETING AND SHORING SHALL BE DESIGNED BY THE CONTRACTOR'S LICENSED PROFESSIONAL ENGINEER.
- 13- ANY BACKFILL SHOULD BE PLACED AND COMPACTED IN EQUAL LAYERS TO EQUAL DEPTHS ON BOTH SIDES OF STRUCTURAL ELEMENTS IN ACCORDANCE WITH THE REQUIREMENTS OF THE GEOTECHNICAL REPORT.
- 14- ALL ORGANIC AND/OR UNSUITABLE MATERIALS SHALL BE REMOVED FORM FOOTING, SLAB, AND GRADE BEAM SUBGRADES AND BACKFILLED WITH ACCEPTABLE GRANULAR AND/OR COMPACTED FILL IN CONFORMANCE WITH THE SPECIFICATIONS.

LEGEND & SYMBOLS

- DENOTES TOP BARS REINFORCEMENT
- DENOTES BOTTOM BARS REINFORCEMENT
- DENOTES SLAB THICKNESS
- DENOTES R/C WALLS OR COLUMNS ABOVE & BELOW SLAB
- DENOTES R/C WALLS OR COLUMNS ABOVE SLAB
- DENOTES EXISTING WALLS & COLUMNS
- DENOTES TIE COLUMNS
- DENOTES BLOCK WALLS
- DENOTES R/C BLOCK WALLS
- DENOTES TEMP REINFORCEMNT AS SHOWN ON DRAWINGS
- VERTICAL STEP
- COLUMNS OR WALL LINE
- MATCH LINES
- INDICATES DETAIL NUMBER
- INDICATES NUMBER WHERE DRAWN
- INDICATES SECTION NUMBER
- INDICATES NUMBER WHERE DRAWN
- F-0 INDICATES FOOTING TYPE
- (0.0) INDICATES TOP OR BOTTOM OF FOOTING ELEVATION
- INDICATES CONCRETE PILASTER WHERE SHOWN ON PLAN

DATE: DEC. 2024

DRAWN BY: GAB

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DESCRIPTIONS

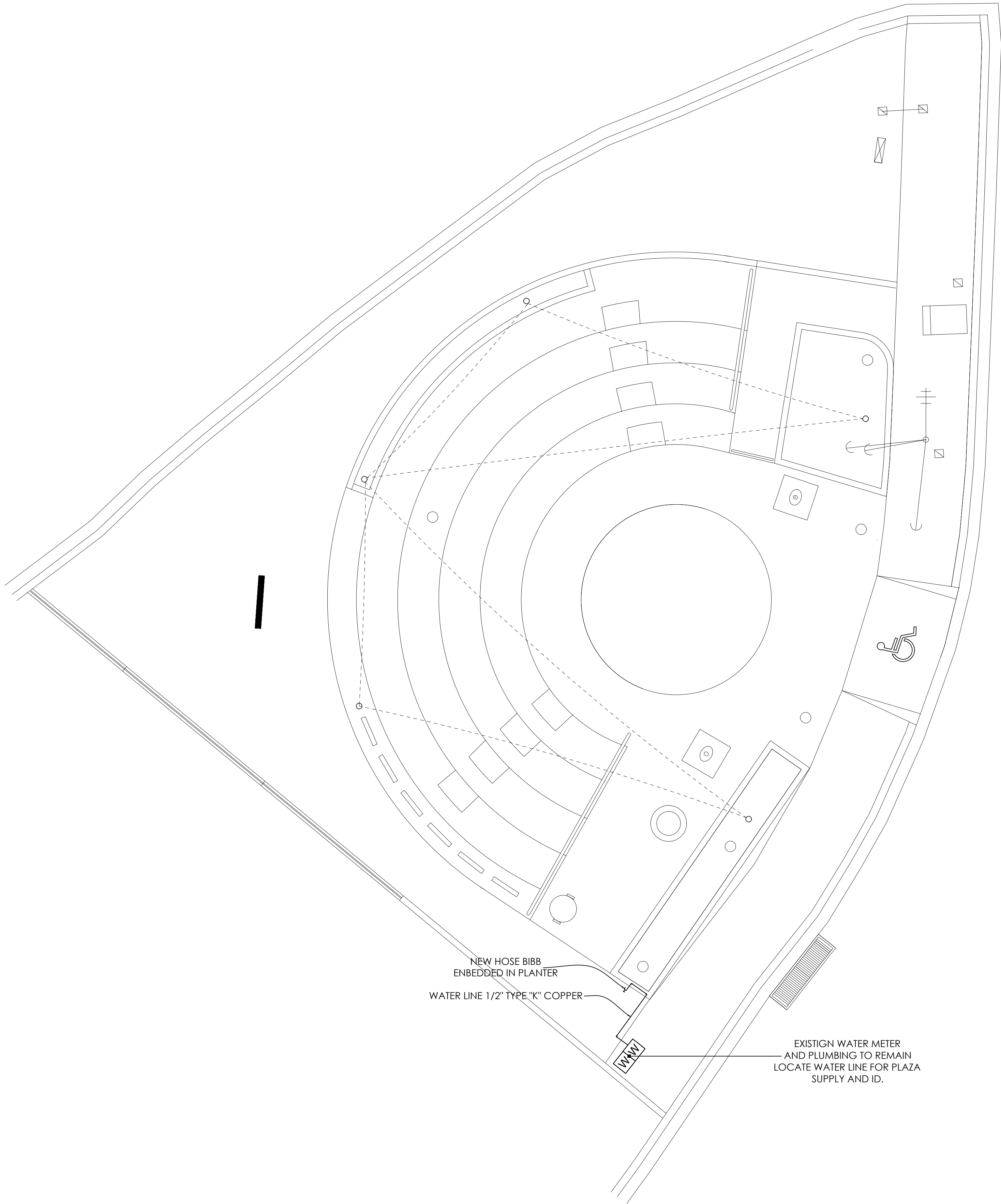
NO. DATE

PROJECT: PLAZA DE LA MUSICA
62 Calle Guillermo Esteves, Jayuya, PR
JAYUYA, PUERTO RICO

SHEET/TITLE: STRUCTURAL NOTES

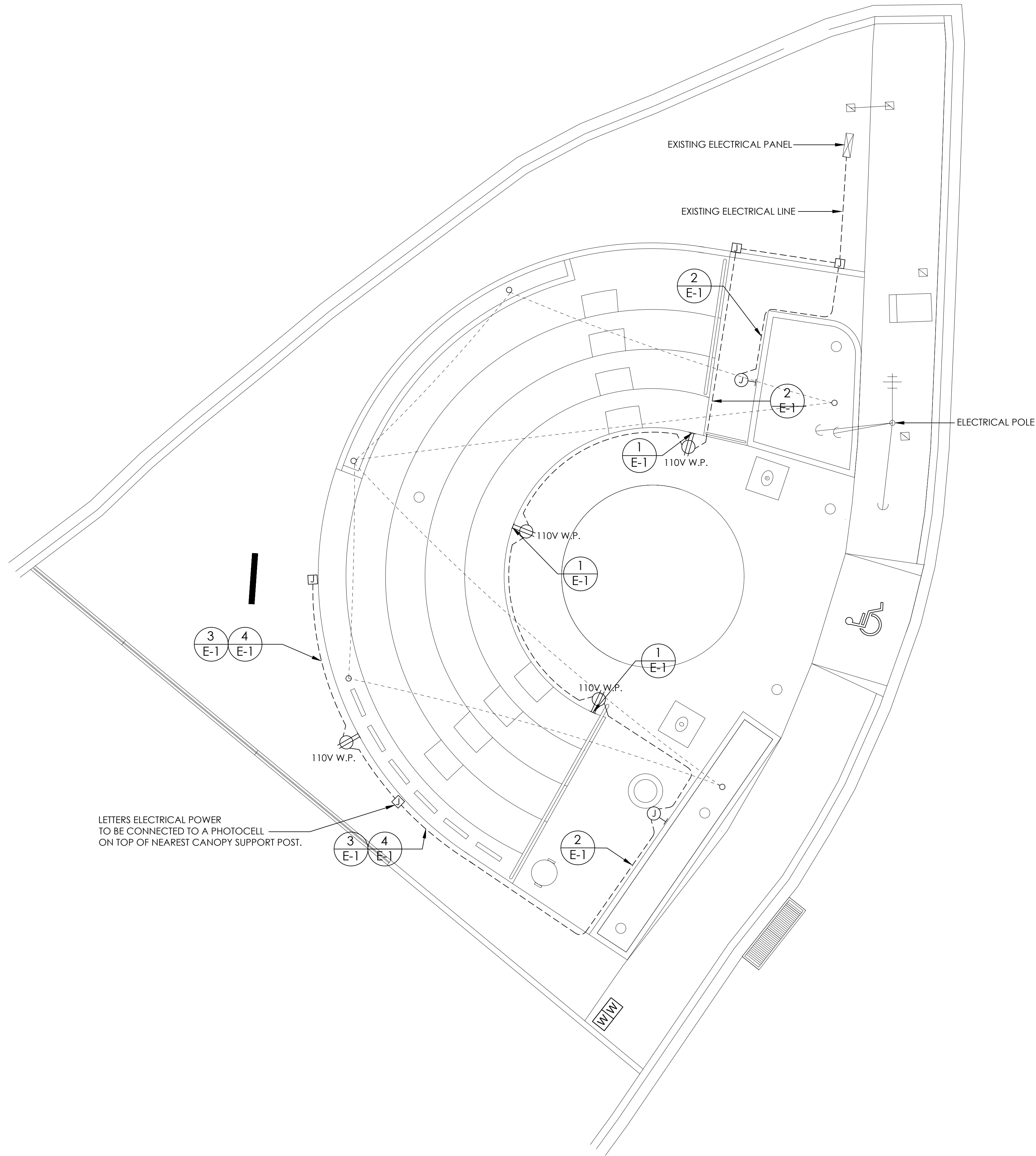
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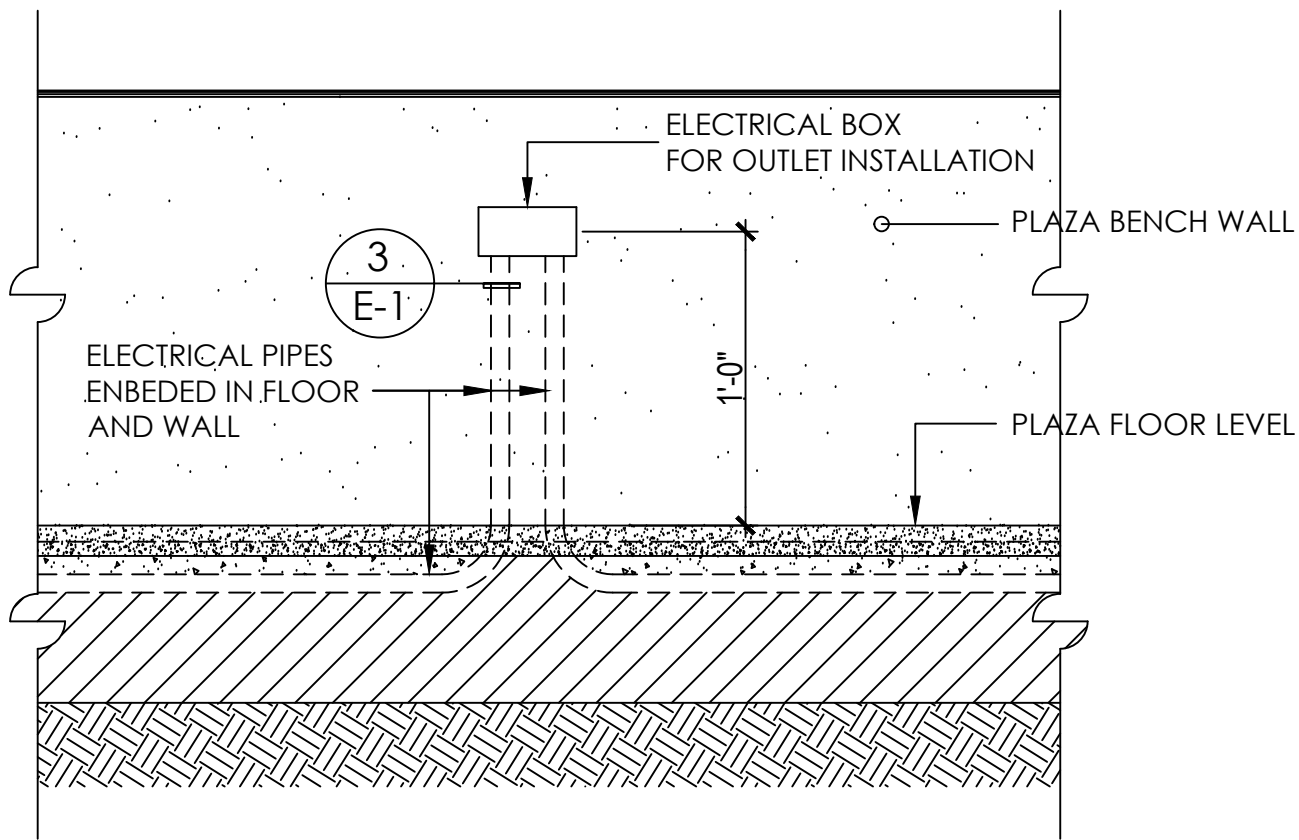


SITE PLUMBING LAYOUT
SCALE : 3/16"=1'-0"

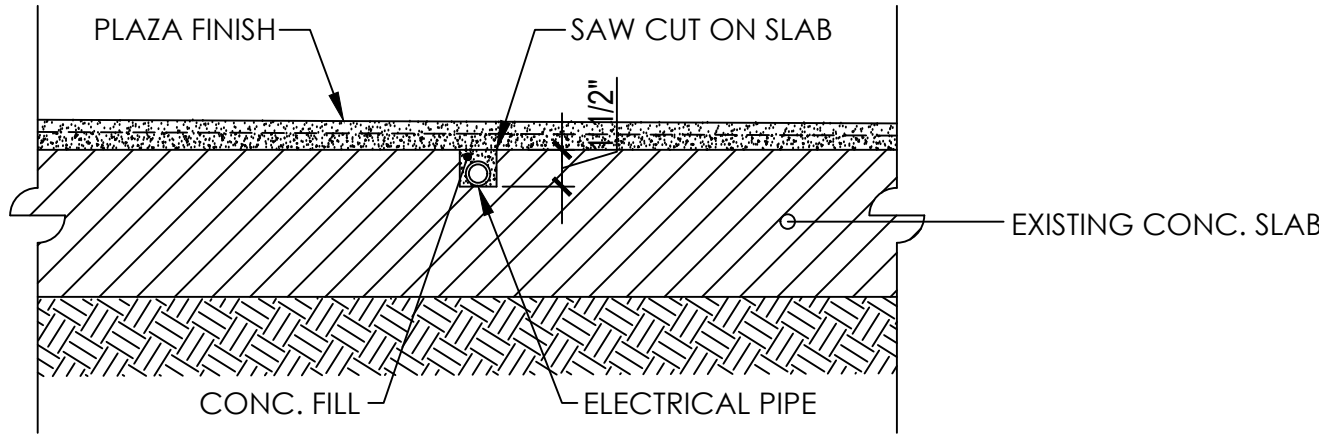
DRAWING NUMBER P-1	PROJECT: PLAZA DE LA MUSICA 62 Calle Guillermo Esteves, Jayuya, PR JAYUYA, PUERTO RICO	SHEET/TITLE SITE PLUMBING LAYOUT	<div><div>vpc group</div><div>CONSTRUCTION & REMODELING BUILDING SERVICES MANAGEMENT</div></div>	THIS DRAWING OR COPY REPRESENTS THE WORK OF VPC GROUP AND ITS ASSOCIATES. IT IS THE PROPERTY OF VPC GROUP AND ITS ASSOCIATES. IT IS TO BE USED ONLY IN CONNECTION WITH THE PROJECT AND FOR THE PROJECT ONLY. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF VPC GROUP AND ITS ASSOCIATES. ANY VIOLATION OF THIS NOTICE IS SUBJECT TO LEGAL ACTION.	DATE: DEC. 2024
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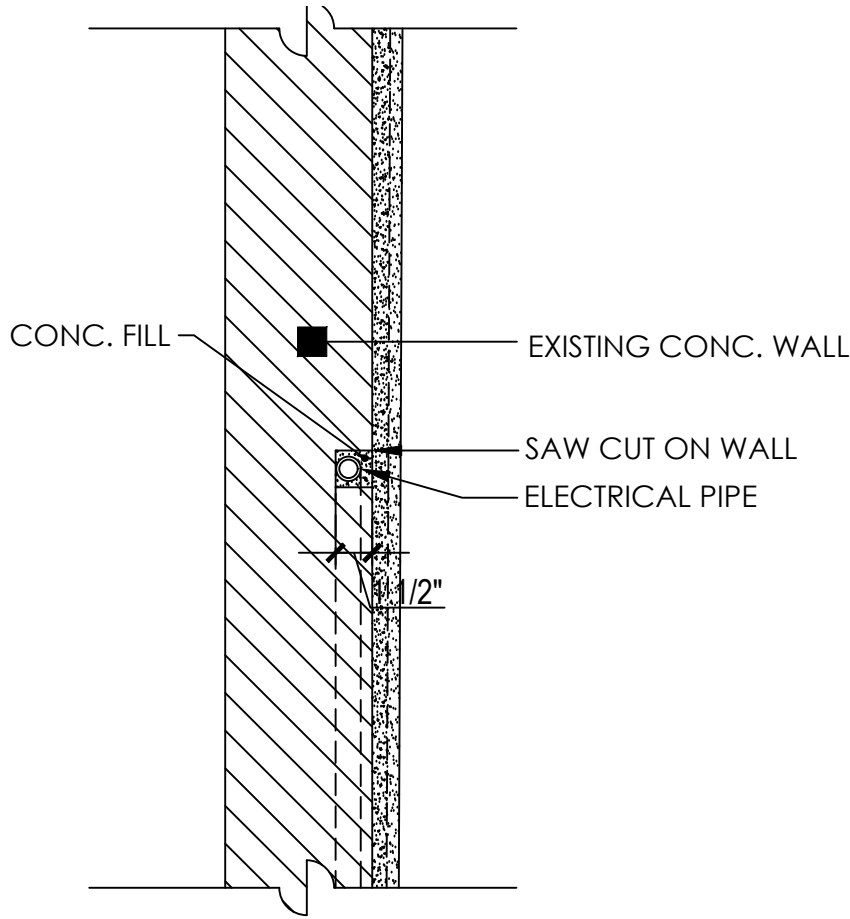
SITE ELECTRICAL LAYOUT
SCALE : 3/16"=1'-0"



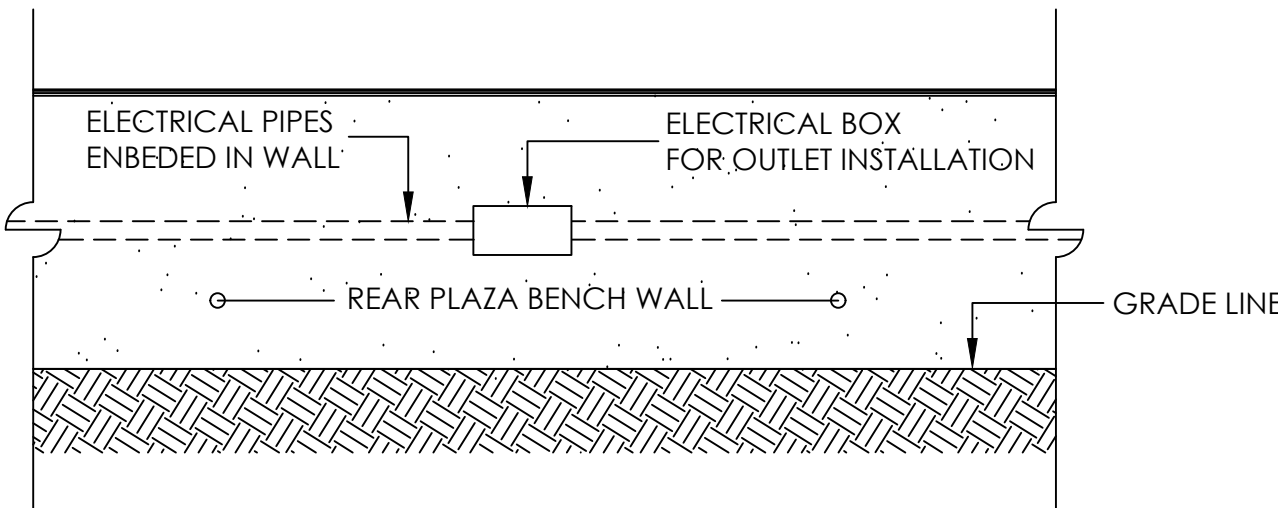
ELECTRICAL OUTLET INSTALLATION
SCALE : 1 1/2"=1'-0"



ELECTRICAL PIPE ENBEDDED IN FLOOR
SCALE : 1 1/2"=1'-0"



ELECTRICAL PIPE ENBEDDED IN WALLS
SCALE : 1 1/2"=1'-0"



ELECTRICAL OUTLET INSTALLATION
SCALE : 1 1/2"=1'-0"

DATE: DEC. 2024

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NO. DATE DESCRIPTIONS

PROJECT: PLAZA DE LA MUSICA
62 Calle Guillermo Esteves, Jayuya, PR
JAYUYA, PUERTO RICO

SHEET TITLE: SITE ELECTRICAL LAYOUT

DRAWING NUMBER: E-1

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vpc group

CONSTRUCTION & REMODELING | BUILDING SERVICES | MANAGEMENT

LEGEND

	DUPLEX RECEPTACLE, GROUNDING TYPE, 15 AMPS, 125 VOLTS, WITH COVER PLATE, FLUSH MOUNTED AT 1–6" A.F.F. OR AS INDICATED, IN A 4" SQ X 1 1/2"D. BOX W/ RAISED COVER TAMPER RESISTANT.
	DITTO BUT AT 3–6" A.F.F. OR, WHERE APPLICABLE, AT 8" ABOVE THE COUNTER TOP
	DUPLEX RECEPTACLE, GROUNDING TYPE, 20 AMPS, 125 VOLTS, WITH COVER PLATE, FLUSH MOUNTED @ 1–6" A.F.F. OR AS INDICATED, IN A 4" SQ. X 1 1/2"D. BOX W/ RAISED COVER. TAMPER RESISTANT.
	DITTO BUT AT 3–6" A.F.F. OR, WHERE APPLICABLE, AT 8" ABOVE THE COUNTER TOP
	DUPLEX RECEPTACLE, GROUNDING TYPE, 15 AMPS, 125 VOLTS WITH GROUND FAULT CIRCUIT INTERRUPTER, WITH COVER PLATE, FLUSH MOUNTED AT 1–6" A.F.F. IN 4"SQ. X 1 1/2"D. BOX W/ RAISED COVER (20A WHERE IT IS THE ONLY RECEPTACLE IN CIRCUIT). GF1 DENOTES WILL FEED ALL RECEPETACLES IDENTIFIED AS GF2 THAT ARE CONNECTED TO IT. TAMPER RESISTANT.
	DITTO BUT AT 3–6" A.F.F. OR, WHERE APPLICABLE, AT 8" ABOVE THE COUNTER TOP
	DUPLEX RECEPTACLE, GROUNDING TYPE, 20 AMPS, 125 VOLTS, ONE RECEPTACLE TO BE SWITCH CONTROLLED, WITH COVER PLATE, FLUSH MOUNTED @ 1–6" A.F.F. OR AS INDICATED, TAMPER RESISTANT, IN A 4"SQ. X 1 1/2"D. BOX W/ RAISED COVER (20 AMPS. WHERE IT IS THE ONLY RECEPT. IN CIRCUIT)
WP	WEATHER PROOF COVER
	SINGLE POWER RECEPTACLE, GROUNDING TYPE, 20 AMPS, 250 VOLTS, WITH COVER PLATE, FLUSH MOUNTED @ 1–6" A.F.F. OR AS INDICATED, IN A 4" SQ. X 1 1/2"D. BOX W/ RAISED COVER
	WALL TV OUTLET
	DITTO BUT 50 AMPS, 125/250 V. OR 250 V. AS REQUIRED, IN A 5" SQ. X 2 1/8"D. BOX W/ RAISED COVER
	TWO POLES SWITCH, 30 AMPS, 250 VOLTS, GROUNDING TYPE, WITH COVER PLATE, FLUSH MOUNTED IN OUTLET BOX AT 4'–6" A.F.F. (IN HANDICAPPED AREAS @ 3'–6" A.F.F.) OR AS INDICATED. SWITCH TO BE PROVIDED WITH RED PILOT LIGHT.
	LIGHTING FIXTURE OUTLET, 4" OCTAGONAL BOX, FLUSH CEILING MOUNTED, SMALL LETTER INDICATES SWITCHING. "L" FOLLOWED BY NUMBER DENOTES LIGHTING FIXTURE TO BE PROVIDED AND INSTALLED AS PER THE LIGHTING FIXTURES SCHEDULE. BOX TO BE 3" DEEP.
	LIGHTING FIXTURE OUTLET, 4" OCTAGONAL BOX, WALL MOUNTED AT 6–6" AFF. SMALL LETTER INDICATES SWITCHING.
	SINGLE POLE SWITCH, 15 AMPS, 125 VOLTS, GROUNDING TYPE, SMALL LETTER INDICATES OUTLET TO BE CONTROLLED, WITH COVER PLATE, FLUSH MOUNTED IN OUTLET BOX AT 4'–6" A.F.F. (IN HANDICAPPED AREAS @ 3'–6" A.F.F.) OR AS INDICATED
3W	DENOTES SWITCH TO BE 3 WAY
4W	DENOTES SWITCH TO BE 4 WAY
	DENOTES SWITCHES GANGED TOGETHER
	SINGLE POLE THREE WAY SWITCH, 15 AMPS, 125 VOLTS, GROUNDING TYPE, SMALL LETTER INDICATES OUTLET TO BE CONTROLLED, WITH COVER PLATE, FLUSH MOUNTED IN OUTLET BOX AT 4'–6" A.F.F. (IN HANDICAPPED AREAS @ 3'–6" A.F.F.) OR AS INDICATED
	4" SQUARE JUNCTION BOX WITH COVER, FLUSH MOUNTED @ CEILING OR ABOVE HUNG CEILING. LETTERS DENOTES SPECIAL EQUIPMENT TO BE CONNECTED AS INDICATED OR AS PER THE ELECTRICAL EQUIPMENTS NOMENCLATURE. WHERE CONNECTION TO SPECIAL EQUIPMENT IS INDICATED, EXACT LOCATION IS TO VERIFIED AT FIELD WITH ARCHITECT AND/OR WITH THE EQUIPMENTS INSTALLER.
	DITTO BUT WALL MOUNTED ADJACENT TO EQUIPMENT TO BE CONNECTED TO IT
	PANELBOARD, CENTER LINE @ 5'–6" A.F.F. SEE PANELBOARD SCHEDULE.
	CONDUIT CONCEALED IN CEILING OR ABOVE HUNG CEILING WITH ONE (1) LIVE WIRE, ONE (1) NEUTRAL AND ONE (1) GROUND WIRE. A DIFFERENT AMOUNT OF WIRES ARE INDICATED BY CROSSING BARS: A SHORT BAR DEVOTES A LIVE WIRE, A LONG BAR A NEUTRAL WIRE, AND A LONG BAR WITH A FLAGGED TICK MARK A GROUND WIRE.
	DITTO BUT CONCEALED IN FLOOR OR WALLS, OR UNDERGROUND AS PER THE TRENCH DETAIL
	HOMERRUN TO PANEL BOARD. NUMBER OF CIRCUITS INDICATED BY NUMBER OF ARROWS. LETTERS INDICATE PANEL DESIGNATION AND NUMBERS INDICATE THE CIRCUIT LOCATION IN PANELBOARD. NUMBERS DIVIDED BY SLASH INDICATE CIRCUIT CONNECTED TO MULTIPLE POLE BREAKERS.
	DENOTES CONDUCTORS IN CONDUIT: SHORT BAR – LIVE WIRE, LONG BAR – NEUTRAL WIRE, LONG BAR WITH A FLAGGED TICK MARK–GROUND WIRE.
	SAFETY SWITCH ADJACENT TO EQUIPMENT AS PER THE SAFETY SWITCHES LEGEND. VERIFY EXACT LOCATION AT FIELD WITH ARCHITECT AND/OR CORRESPONDING EQUIPMENT INSTALLER. PROVIDE MOUNTING SUPPORTS AS ROD.
	FVNR COMBINATION MAGNETIC STARTER AS PER THE COMBINATION STARTER LEGEND.
	20 AMPS, 120V, 1 POLE CIRCUIT BREAKER IN NEMA 1 ENCLOSURE, WALL SURFACE MOUNTED (BELOW ELEVATOR SWITCH)
CP	COMMUNICATIONS PANEL JUNCTION BOX AS PER THE COMMUNICATIONS SYSTEM RISER DIAGRAM.
	WALL TELEPHONE OUTLET WITH COVER PLATE, FLUSH MOUNTED @ 1–6" A.F.F. UNLESS OTHERWISE INDICATED, IN A 4" SQUARE BOX W/ RAISED COVER. SEE THE COMMUNICATIONS SYSTEM RISER DIAGRAM.
	WALL ANTENA/CABLE TV OUTLET WITH COVER PLATE, FLUSH MOUNTED @ 1–6" A.F.F. UNLESS OTHERWISE INDICATED, IN A 4" SQUARE BOX W/ RAISED COVER. SEE THE COMMUNICATIONS SYSTEM RISER DIAGRAM.
	120 VOLTS SMOKE DETECTOR W/ BATTERY BACKUP CEILING MOUNTED IN A 4" OCTAGONAL BOX
	DITTO BUT WALL MOUNTED AT 8" BELOW CEILING.
	AUTOMATIC TRANSFER SWITCH, AS PER THE ONE LINE DIAGRAM AND GENERATOR SET SPECIFICATIONS
	METER–BREAKER COMBINATION PANEL AS PER ONE LINE/RISER DIAGRAM
	FLOOR FLUSH MOUNTED DUPLEX RECEPTACLE, GROUNDING TYPE, 20 AMPS, 125 VOLTS, GFCI, TAMPER RESISTANT, IN A FULLY ADJUSTABLE GALV. STEEL ROUND BOX, WITH A BRUSHED BRASS WATER PROOF COVER (AND BRUSHED BRASS FLANGE WHEN INSTALLED ON CARPET). VERIFY EXACT LOCATION W/ ARCHITECT.
	DUPLEX RECEPTACLE, GROUNDING TYPE, 15 AMPS, 125 VOLTS, WITH COVER PLATE, FLUSH CEILING MOUNTED AT 1–6" A.F.F. OR AS INDICATED, IN A 4" SQ X 1 1/2"D. BOX W/ RAISED COVER.
	FLOOR FLUSH MOUNTED LIGHTING FIXTURE. 120 VOLTS, 50 WATTS MAX. SUITABLE FOR THRU BRANCH CIRCUIT WIRING. UL APPROVED FOR WET LOCATIONS. FIXTURE TO BE PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR.
	GARAGE DOOR RELEASE

SMOKE DETECTORS NOTES:

- FIRE/SMOKE ALARM EQUIPMENT TO BE WIRED AS PER MANUFACTURERS REQUIREMENTS/RECOMMENDATIONS. CONDUIT MINIMUM SIZE FOR THIS SYSTEM SHALL BE 1/2".
- ALL FIRE ALARM EQUIPMENT AND ITS INSTALLATION SHALL COMPLY WITH THE UNIFORM BUILDING CODE (UBC), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA), AND THE LOCAL FIRE DEPARTMENT REQUIREMENTS.
- THE FIRE ALARM SYSTEM SHALL BE INSTALLED, INSPECTED, TESTED AND CERTIFIED BY AN APPROVED AND AUTHORIZED INSTALLER IN ACCORDANCE WITH THE NFPA AND LOCAL FIRE DEPARTMENT.
- THE SMOKE DETECTORS SHALL BE INTER–CONNECTED SO THAT INITIATION OF ONE OR MORE DETECTOR(S) WILL ACTIVATE THE ALARM SIGNAL ON ALL OF THE HOUSE/APT. DETECTORS.
- THE FIRE ALARM SYSTEM DEVICES SHALL BE WIRED SO THAT THEY ARE CONTINUOUSLY MONITORED FOR THEIR INTEGRITY (SUPERVISED).

EQUIPMENTS NOMENCLATURE

EF	EXHAUST FAN	G	GATE
GD	GARAGE DOOR	MW	MICROWAVE
A/C	AIR CONDITIONING EQUIPMENT	H	HOOD
GDC	GARAGE DOOR CONTROL	CP	COMMUNICATIONS PANEL
TV	TELEVISION	T	TELEPHONE

NOTE:

WHERE CONNECTION TO ANY OF THESE EQUIPMENT IS REQUIRED, EXACT LOCATION OF OUTLET AND/OR DEVICE SHALL BE VERIFIED AT FIELD W/ THE ARCHITECT AND THE CORRESPONDING EQUIPMENT INSTALLER.

SAFETY SWITCHES LEGEND

DESIG– NATION	DESCRIPTION					FUSES		REMARKS
	TYPE	FRAME	POLES	VOLTS	ENCLOSURE	TYPE	SIZE	
1	NON FUSIBLE GD	30 A	2	240 V	NEMA 1 STEEL	N/A	N/A	SQUARE D TYPE DU
2	NON–FUSIBLE	60 A	2	240 V	NEMA 3R NON–METALLIC	N/A	N/A	NON–METALLIC/POLYCARBONATE HOUSING. CUTLER HAMMER AIR CONDITIONING DISCONNECT.

GENERAL NOTES

- UNLESS OTHERWISE INDICATED, ALL EQUIPMENT SHALL BE NEW AND APPROVED ACCORDING TO ANSI, NEMA, AND PREPA STANDARDS. ALL ELECTRICAL EQUIPMENT SHALL BE LISTED FOR ITS USE BY A RECOGNIZED TESTING LABORATORY (UL, ETL, ETC...)
- CONDUIT MINIMUM SIZE SHALL BE 3/4". UNLESS OTHERWISE INDICATED, IT SHALL BE AS FOLLOWS:
INSIDE GYPSUM/WOOD WALLS AND/OR ABOVE HUNG CEILING: EMT (GALVANIZED)
INSIDE CONCRETE SLAB, AND OR CONCRETE/BLOCKS WALLS: PVC SCH. 40
EXPOSED INDOORS AT CEILINGS AND/OR WALLS ABOVE 10'–0" A.F.F.: EMT (GALVANIZED)
EXPOSED INDOORS AT WALLS 10'–0" OR LESS A.F.F.: RIGID STEEL GALVANIZED
EXPOSED OUTDOORS: RIGID STEEL GALVANIZED
- ALL WIRE SHALL BE OF COPPER, TYPE THHN/THNW–2 90' INSULATION AND NOT SMALLER THAN #12 AWG UNLESS OTHERWISE INDICATED.
- COLOR OF ALL WIRING DEVICES AND THEIR COVER PLATES SHALL BE COORDINATED WITH ARCHITECT. COVER PLATES SHALL BEMADE OF NYLON. WIRING DEVICES BRAND AND STYLE (I.E. REGULAR, DECORA, ETC...) SHALL BE COORDINATED WITH ARCHITECT PRIOR TO BID.
- ALL EQUIPMENT SHALL BE GROUNDED ACCORDING TO THE LATEST EDITION OF THE NEC.
- INTENTIONALLY OMITTED.
- ALL EQUIPMENT INSTALLED SHALL BE LEFT IN AN OPERATIONAL CONDITION INCLUDING, BUT NOT LIMITED TO SWITCHES, RECEPTACLES, BREAKERS, ETC.
- INSTALLATION DETAILS ARE ILLUSTRATIVE AND SHOULD NOT BE USED WITHOUT VERIFYING THE JOB SITE CONDITIONS; CONTRACTOR SHALL SUBMIT SHOP DRAWINGS SHOWING ANY DEVIATIONS THEREFROM.
- BRANCH CIRCUITS USING A COMMON NEUTRAL SHALL BE CONNECTED TO PANEL CIRCUIT BREAKERS ON DIFFERENT PHASE CONDUCTORS.
- ROUTE OF CONDUITS SHOWN IN LAYOUT IS SCHEMATIC AND INTENDED ONLY TO INDICATE CONNECTIONS BETWEEN OUTLETS OR EQUIPMENTS. EXACT ROUTING SHALL BE DETERMINED AT JOB SITE TO CONFORM WITH STRUCTURAL CONDITIONS.
- UNLESS OTHERWISE INDICATED, ALL CONDUIT IN CONTACT WITH GROUND SHALL BE ENCASED IN A 3" CONCRETE ENVELOPE.
- INTENTIONALLY OMITTED.
- INDICATED HEIGHTS ARE FROM CENTER OF BOX, OR EQUIPMENT, TO THE FINISHED FLOOR, UNLESS OTHERWISE INDICATED.
- CONTRACTOR SHALL BALANCE ALL LOADS.
- ALL PANELS, SAFETY SWITCHES, ETC., SHALL BE LABELED SO AS TO IDENTIFY THEIR USE AND VOLTAGE, IN AN ACCEPTED AND APPROVED MANNER.
- USE "LIQUID TIGHT" FLEXIBLE METALLIC CONDUIT TO TERMINATE THE CONDUIT RUNS AT ALL MOTORS, GENERATORS, AND/OR HVAC EQUIPMENT. THE LENGHT OF THESE FLEXIBLE CONDUIT SHALL NOT EXCEED 18".
- EXPANSION FITTINGS SHALL BE USED FOR EVERY CONDUIT CROSSING BUILDING EXPANSION JOINTS.
- INTENTIONALLY OMITTED.
- EMT FITTINGS SHALL BE CONCRETE TIGHT.
- ALL CONSTRUCTION SHALL BE DONE IN A NEAT AND WORKMEN LIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE SHALL BE FOLLOWED, EXCEPT WHEN LOCAL REGULATIONS ARE MORE STRINGENT, IN WHICH CASE, LOCAL REGULATIONS SHALL GOVERN.
- THE RESISTANCE OF THE GROUNDING SYSTEM TO EARTH SHALL NOT EXCEED 10 OHMS. IF THIS CONDITION IS NOT MET, ADDITIONAL GROUND RODS SHALL BE ADDED.
- ALL METERING EQUIPMENT SHALL BE, BY ALL MEANS, ACCESSIBLE TO PREPAS METER READERS AT ALL TIMES.
- THE ELECTRICAL CONTRACTOR SHALL LEAVE A #12 AWG TW FISHWIRE IN ALL EMPTY CONDUITS.
- MANUFACTURERS RECOMMENDATIONS SHALL BE FOLLOWED AT ALL TIMES. IN THE EVENT OF A DISCREPANCY, THE CONTRACTOR SHALL NOTIFY THE DESIGNER AND ALL THE WORK RELATED SHALL BE STOPPED UNTIL ALL DISCREPANCIES HAVE BEEN FULLY RESOLVED.
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE PROPER SUPPORT AND MOUNTING ACCESSORIES TO ALL LIGHTING FIXTURES INSTALLED AT HUNG CEILING. A #12 GAUGE GALVANIZED TIE WIRE PERMANENTLY ATTACHED SHALL BE PROVIDED AT EACH FIXTURE CORNER IN A GRID OR GYPSUM BOARD TYPE CEILING.
- INTENTIONALLY OMITTED.
- BEFORE ANY EQUIPMENT IS PURCHASED, ELECTRICAL CONTRACTOR SHALL VERIFY WITH THE MECHANICAL CONTRACTOR THAT ALL HVAC CONTROL AND PROTECTION EQUIPMENT (STARTERS, CIRCUIT BREAKERS, SAFETY/DISC. SWITCH, ETC...) FOLLOWS THE ACTUAL EQUIPMENT MANUFACTURER'S RECOMMENDATIONS/REQUIREMENTS AS PER THE NEC.
- ALL CONDUIT RUNS SHALL BE CONCEALED IN WALLS, ROOF, OR FLOOR SLABS; UNDERGROUND; OR ABOVE HUNG CEILING, EXCEPT WHERE LOCATED IN THE FOLLOWING AREAS WHERE CONDUITS SHALL BE RUN EXPOSED: ALONG AND OVER EXISTING ROOF STRUCTURES, OR WHERE INDICATED.
- ALL JUNCTION BOXES AND OR CONDUIT BODIES (CONDULETS) SHALL BE READILY ACCESSIBLE.
- ANY REQUIRED BREAKING OF EXISTING STRUCTURES SHALL BE PROPERLY REPAIRED BY PATCHING, SEALING, PLASTERING, AND FINISHING AS REQUIRED BY THE ARCHITECT. ADVISE ARCHITECT BEFORE BREAKING OR PERFORATING ANY EXISTING STRUCTURE, AND COORDINATE HOW THIS WORK WILL BE PERFORMED.
- ALL CABLES, CONDUITS, AND DUCT PENETRATIONS THROUGH FIRE–RATED FLOORS SHALL BE SEALED USING A 3 HOURS FIRE RESISTANT JOINT SEALER APPROVED FOR THIS USE.
- PRIOR TO BID, THE ELECTRICAL CONTRACTOR SHALL VERIFY THE FINAL LOCATION OF ANY ELECTRICAL DEVICE, OUTLET, AND/OR ELECTRICAL EQUIPMENT NOT SHOWN ON DRAWINGS PLANS, BUT ON THE ELECTRICAL DIAGRAMS, RISERS, NOTES AND SPECIFICATIONS. CHANGE ORDERS RELATED TO FINAL LOCATIONS WILL NOT BE ACCEPTED ON THIS PROJECT.

SPECIAL NOTES:

- ALL LIGHTING FIXTURES ARE TO BE PROVIDED BY OWNER, AND INSTALLED AND CONNECTED BY CONTRACTOR. FOR QUANTITY, TYPE, AND LOCATION OF LIGHTING FIXTURES, REFER TO THE ARCHITECTURAL REFLECTED CEILING PLAN.
- LOAD RATING OF RECESSED CEILING MOUNTED TYPE LIGHTING FIXTURES SHALL NOT EXCEED 35 WATTS.
- LIGHTING FIXTURES TO BE INSTALLED AT BATHROOMS SHOWERS SHALL BE APPROVED FOR WET LOCATIONS AND INSTALLATIONS INSIDE THESE TYPE OF SPACES, AS PER THE NATIONAL ELECTRICAL CODE REQUIREMENTS.

THIS DRAWING OR COPY REPRESENTS THE ACTUAL WORK AND SHALL BE USED AS SUCH. ANY CHANGES SHALL BE INDICATED BY A REVISION. THE PROJECT INDICATED HEREIN IS THE PROPERTY OF VPC GROUP AND ITS CONTENT IS PROPERTY OF VPC GROUP. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF VPC GROUP. ANY VIOLATION OF THESE TERMS SHALL BE SUBJECT TO LEGAL ACTION. THIS DRAWING IS STRICTLY FOR THE PROJECT INDICATED AND IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF VPC GROUP. RETURNED TO ITS OWNER IF REQUESTED.	DATE: DEC. 2024	DRAWN BY: GAB	SCALE: AS SHOWN
	DESCRIPTIONS		
	NO.	DATE	

group

vpc

CONSTRUCTION & REMODELING | BUILDING SERVICES | MANAGEMENT

PROJECT

PLAZA DE LA MUSICA
62 Calle Guillermo Esteves, Jayuya, PR
JAYUYA, PUERTO RICO

SHEET/TITLE

ELECTRICAL GENERAL NOTES

DRAWING NUMBER

E-2

22 OF 23



Plaza de la Musica

Jayuya, Puerto Rico

PROJECT: PLAZA DE LA MUSICA
62 Calle Guillermo Esteves, Jayuya, PR
JAYUYA, PUERTO RICO

SHEET TITLE: PLAZA DE LA MUSICA RENDERING

DRAWING NUMBER: REN-1

23 OF 23

DATE: DEC. 2024

DRAWN BY: GAB

SCALE: AS SHOWN

DESCRIPTIONS

NO. DATE

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CONSTRUCTION & REMODELING | BUILDING SERVICES | MANAGEMENT

Appendix C:

Airport Hazards

AIRPORT HAZARD MAP PLAZA DE LA MÚSICA

PROJECT ID: PR-CRP-000054

ADDRESS: Guillermo Esteves St, Carr 141 Km 0.0, Bo. Pueblo, Jayuya PR 00664

GEOGRAPHIC COORDINATES (LAT/LONG): 18.221549, -66.588312

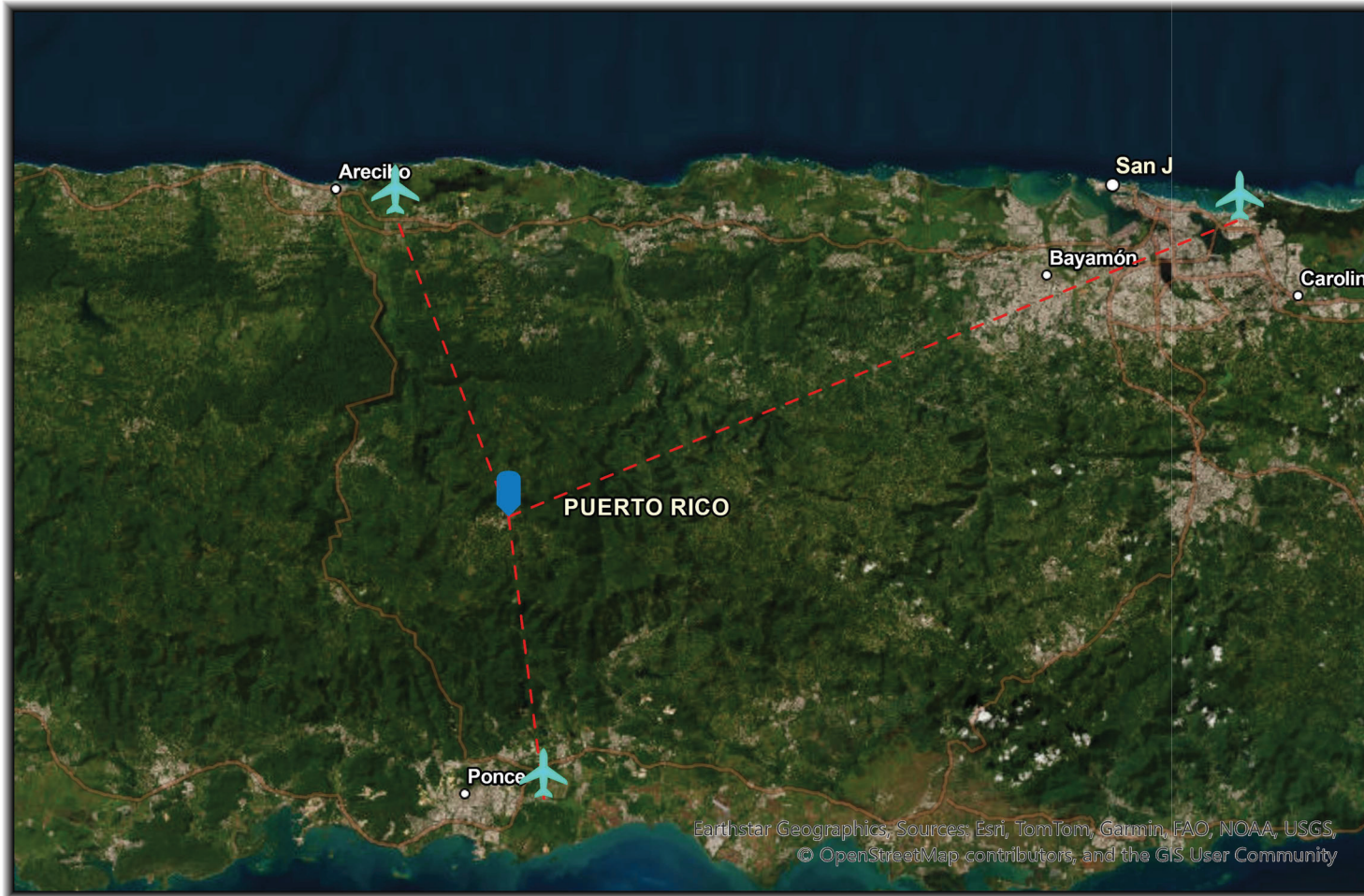
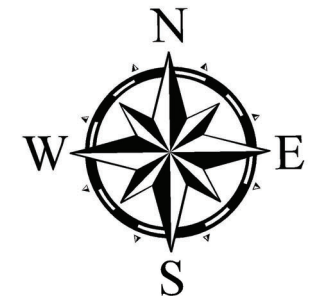


Legend

-  Airports
-  Site Location
-  Distnce to Airport (feet)

Source: https://services.arcgis.com/F7DSX1DSNSiWmOqh/arcgis/rest/services/pr_inf_airports/FeatureServer

Spatial reference: WGS 1984
Web Mercator (auxiliary sphere)_1



Distance (ft)	FAC_NAME
92,847	ANTONIO/NERY/JUARBE POL
80,172	MERCEDITA
222,928	LUIS MUNOZ MARIN INTL

0 5 10 20 30 40 Kilometers



Appendix D:

Coastal Barrier Resources

Coastal Barrier Resources System Mapper Documentation



CBRS Units

- Otherwise Protected Area
- System Unit
- CBRS Buffer Zone
- 66.588312, 18.221549

0 65 130 260 390 ft
1:4,514

The pin location displayed on the map is a point selected by the user. Failure of the user to ensure that the pin location displayed on this map correctly corresponds with the user supplied address/location description below may result in an invalid federal flood insurance policy. **The U.S. Fish and Wildlife Service (Service) has not validated the pin location with respect to the user supplied address/location description below. The Service recommends that all pin locations be verified by federal agencies prior to use of this map for the provision or denial of federal funding or financial assistance.** Please note that a structure bisected by the Coastal Barrier Resources System (CBRS) boundary (i.e., both "partially in" and "partially out") is within the CBRS and therefore affected by CBRA's restrictions on federal flood insurance. A pin placed on a bisected structure must be placed on the portion of the structure within the unit (including any attached features such as a deck or stairs).

User Name: Mejoras en la Plaza de la Música – Jayuya (Project ID: PR-CRP-000054)

User Supplied Address/Location Description: Plaza de la Música, Guillermo Esteves Street, Solar 1, Jayuya, Puerto Rico 00664

Pin Location: Outside CBRS

Pin Flood Insurance Prohibition Date: N/A

Pin System Unit Establishment Date: N/A

The user placed pin location is not within the CBRS. The official CBRS maps are accessible at <https://www.fws.gov/library/collections/official-coastal-barrier-resources-system-maps>.

The CBRS information is derived directly from the CBRS web service provided by the Service. This map was exported on 2/21/2025 and does not reflect changes or amendments subsequent to this date. The CBRS boundaries on this map may become superseded by new boundaries over time.

This map image may be void if one or more of the following map elements do not appear: basemap imagery, CBRS unit labels, prohibition date labels, legend, scale bar, map creation date. For additional information about flood insurance and the CBRS, visit: <https://www.fws.gov/node/263838>.



COASTAL BARRIER RESOURCES PLAZA DE LA MÚSICA



PROJECT ID: PR-CRP-000054

ADDRESS: Guillermo Esteves St, Carr 141 Km 0.0, Bo. Pueblo, Jayuya PR 00664

GEOGRAPHIC COORDINATES (LAT/LONG): 18.221549, -66.588312




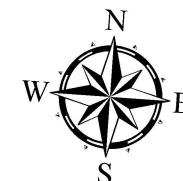
Legend

-  Site Location
-  CBRS PUNTA CABULLONES (16.50 miles)

Credits: U.S. Fish and Wildlife Service (USFWS) Coastal Barrier Resources System
<https://fwsprimary.wim.usgs.gov/cbrs-mapper-v2/river=rio>

Spatial Reference
Name: WGS 1984 Web
Mercator Auxiliary Sphere

03.57 14 21 28
 Kilometers



Earthstar Geographics, Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

Appendix E:

Flood Insurance



Gobierno de Puerto Rico
Junta De Planificación de Puerto Rico
Administrador Estatal de Valles Inundables
Oficina de Geología e Hidrogeología

Determinación Número
2024-00-JDI-9975

DETERMINACIÓN DE INUNDACIÓN

Determinación sobre la clasificación de una propiedad respecto a las Áreas Especiales de Riesgo a Inundación en Puerto Rico

Número de Catastro 216-086-007-18	Nombre de la Comunidad Participante Comunidad Participante de Puerto Rico	Número de la Comunidad Participante 720000#
--------------------------------------	--	--

Información de la Propiedad

Municipio Jayuya	Barrio Barrio Pueblo	Carretera y Sector CALLE GUILLERMO ESTEVES SOLAR 1 , PR	Plus Code 77CM6CC6+JM	Coordenadas X:183604 Y:242973.1
---------------------	-------------------------	---	--------------------------	---------------------------------------

Información sobre el Mapa de Tasas del Seguro de Inundación (FIRM, por sus siglas en inglés)

Número del Mapa de Inundación, FIRM 72000C1105H	Vigencia 19/Apr/2005	Status de Panel Printed	Zona Inundable X
Cauce Mayor (Sí, No, No determinado) No	¿La propiedad ubica en un área especial de riesgo a inundación del 1% de probabilidad? No	Nivel de Inundación Base (MSL) No Aplica	Profundidad de Inundación Base (Solo aplica a Zona AO) No Aplica
Sistema de Barreras Costeras (Sí o No)/Fecha de Designación No Aplica	Tipo de Barrera Costera No Aplica	Cuenca Hidrográfica (USGS) Cuenca del Río Grande de Arecibo	
Nombre del Cuerpo de Agua Adyacente (cuando es VE es el mar, primera fase el cuerpo de agua mas cercano) Río Saliente (Ríos) a 446.9 m.			¿Se propone depósito de relleno? No

Información sobre el Mapa de Niveles de Inundación Base Recomendados (ABFE, por sus siglas en inglés)

Número del Mapa de Inundación 72000C1105H	Vigencia 13/Apr/2018	Zona Inundable A (54.5%), X (0.2% ACF) (30.5%), Fuera mapa (ABFE) (15.0%)
--	-------------------------	---

La Junta de Planificación de Puerto Rico, en su resolución JP-ABFE_01 del 23 de marzo de 2018, **requiere que para toda nueva construcción o mejora sustancial, otorgación de permisos según aplique en su ámbito jurisdiccional cumpla con los Mapas de Niveles de Inundación Base Recomendados** preparados por la Agencia Federal para el Manejo de Emergencias (FEMA, por sus siglas en inglés); excluyendo de su uso determinaciones o decisiones relacionadas al seguro de inundación NFIP, por sus siglas en inglés.

Determinación

Esta determinación está basada en datos de la Junta de Planificación y datos obtenidos de los Mapas de Tasas del Seguro de Inundación vigentes y no determina la localización exacta de una estructura dentro de una propiedad. Se advierte que una propiedad no localizada dentro del área inundable regulatoria (inundación del 1% de probabilidad o inundación con recurrencia de 100 años) pudiera ser afectada por inundaciones locales o inundaciones de otras recurrencias no reflejadas en estos mapas. Para propósitos del seguro de inundación, el mapa oficial es el DFIRM, adoptado por la Junta de Planificación de Puerto Rico. La clasificación parcial entre dos o más zonas, prevalecerá la más estricta.

Si la propiedad está en un Área Especial de Riesgo [Peligro] a Inundación, se requiere cumplir con las disposiciones del Reglamento de Planificación No. 13 vigente y será requerido cumplir con la Ley Federal de Protección a Desastres del año 1973. Para las zonas A, AE, AO, AH, A99 y VE es requisito obligatorio adquirir un seguro de inundación para propiedades con hipotecas respaldadas federalmente.

Solicitante
Municipality Jayuya

Contáctenos en avipr@jp.pr.gov

Fecha de Emisión
18/Jun/2024

PROJECT ID: PR-CRP-000054

ADDRESS: Guillermo Esteves St, Carr 141 Km 0.0, Bo. Pueblo, Jayuya PR 00664

GEOGRAPHIC COORDINATES (LAT/LONG): 18.221549, -66.588312



Mapa sobre Tasas del Seguro de Inundación
(Flood Insurance Rate Maps, FIRM)

NFIP PANEL 1105H

FIRM
FLOOD INSURANCE RATE MAP
COMMONWEALTH OF
PUERTO RICO
AND MUNICIPALITIES

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
Puerto Rico	72000	1105	H

Mapa to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used as insurance qualification for the subject community.

MAP NUMBER
72000C1105H

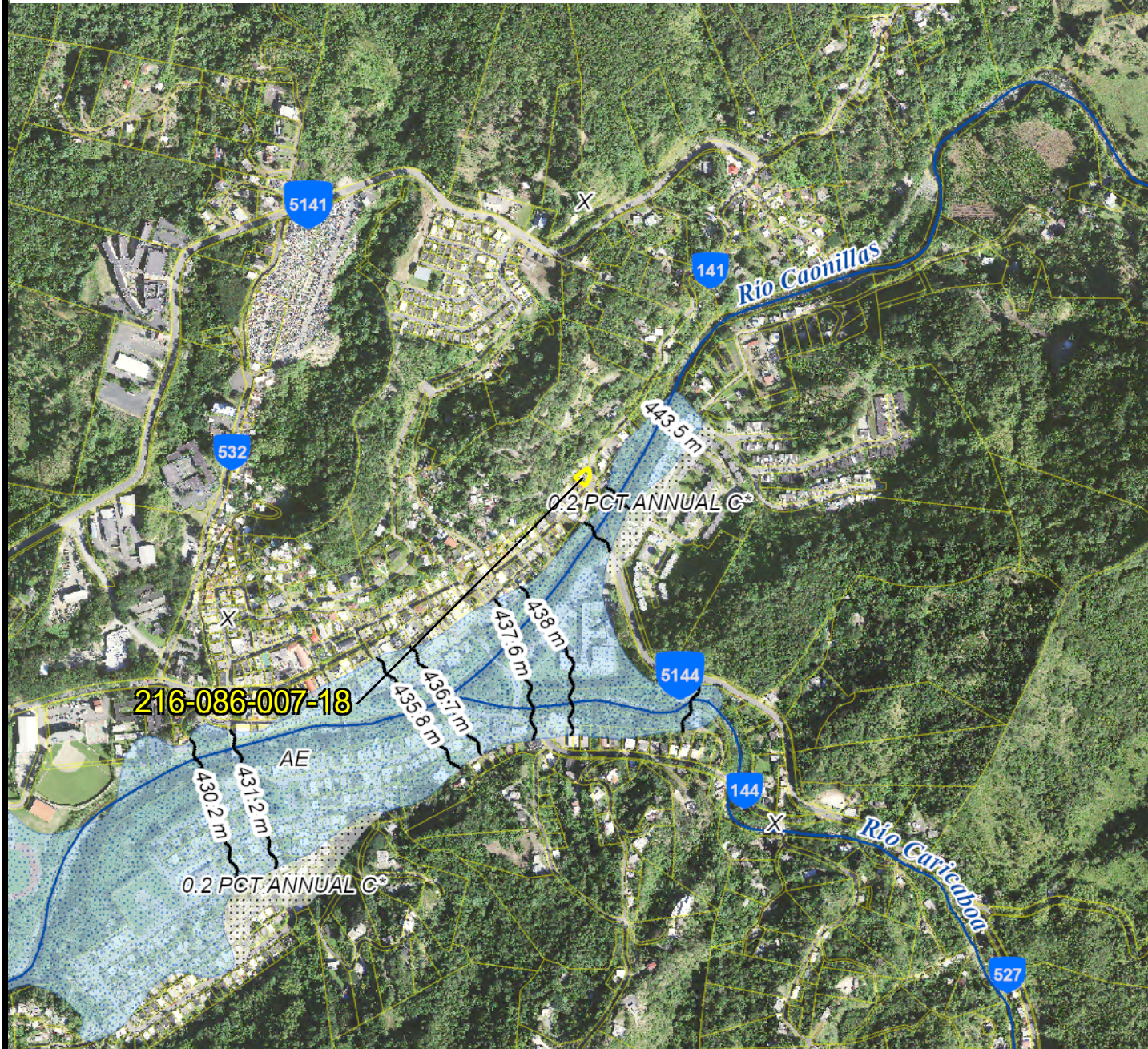
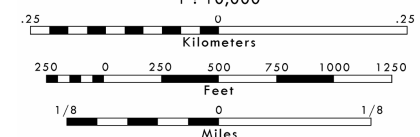
EFFECTIVE DATE
19/Apr/2005

Federal Emergency Management Agency

Leyenda	
0.2% ACF	AE
A	AH
A99	AO
Cauce Mayor	VE
Coastal Barrier	X

Notas:
Las elevaciones mostradas en estos mapas son consideradas la mejor información disponible hasta que se desarrollen Mapas de Tasas del Seguro de Inundación (FIRM, por sus siglas en inglés) actualizados.
Estos mapas NO han sido desarrollados para tomar determinaciones respecto al seguro de inundación del Programa Nacional del Seguro de Inundación (NFIP, por sus siglas en inglés). Para propósitos del seguro de inundación, se debe hacer referencia a los FIRM vigentes para Puerto Rico y disponibles en <http://msc.fema.gov> o en la herramienta MiPR de la Junta de Planificación (<http://gis.pr.gov/mipr/>)

MAP SCALE
1 : 10,000



Appendix F:

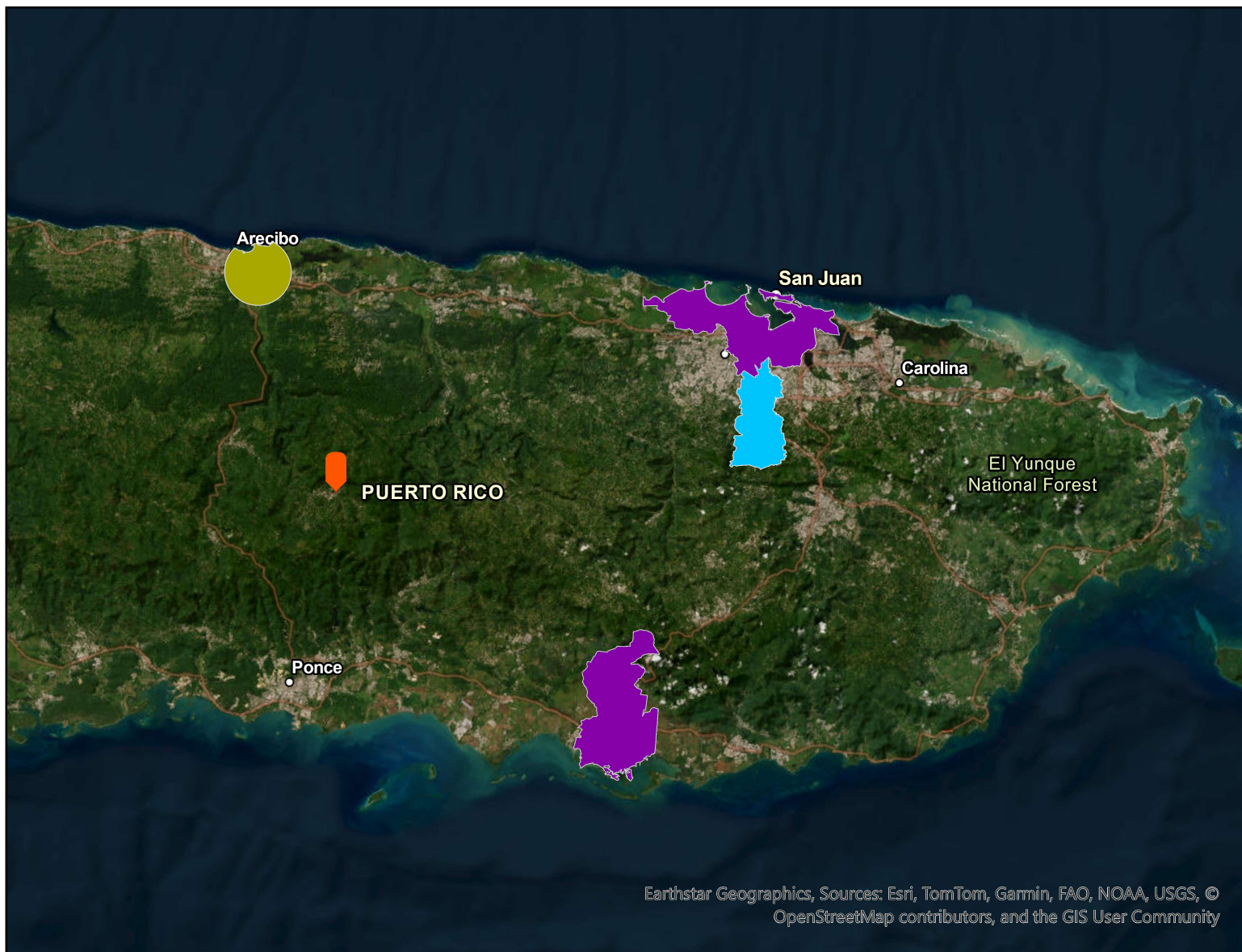
Clean Air

AIR QUALITY PLAZA DE LA MÚSICA

PROJECT ID: PR-CRP-000054

ADDRESS: Guillermo Esteves St, Carr 141 Km 0.0, Bo. Pueblo, Jayuya PR 00664

GEOGRAPHIC COORDINATES (LAT/LONG): 18.221549, -66.588312



Legend



Site Location

Lead (2008 standard)

Current Attainment Status

Yellow	Maintenance
Green	Nonattainment

SO2 1-hr (2010 standard)

Current Status

Light Blue	Attainment
Medium Blue	Maintenance
Dark Blue	Nonattainment

PM10 (1987 standard)

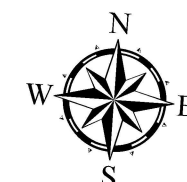
Current Attainment Status

Light Purple	Maintenance
Dark Purple	Nonattainment

Credits: U.S. Environmental Protection Agency (EPA) - Air Quality Data
<https://www.epa.gov/green-book>

Spatial Reference
Name: WGS 1984 Web
Mercator Auxiliary Sphere

03.57 14 21 28
Kilometers



Earthstar Geographics, Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community



You are here: EPA Home > Green Book > >National Area and County-Level Multi-Pollutant Information >Puerto Rico Nonattainment/Maintenance Status for Each County by Year for All Criteria Pollutants

Puerto Rico Nonattainment/Maintenance Status for Each County by Year for All Criteria Pollutants

Data is current as of April 30, 2025

Listed by County, NAAQS, Area. The 8-hour Ozone (1997) standard was revoked on April 6, 2015 and the 1-hour Ozone (1979) standard was revoked on June 15, 2005.

* The 1997 Primary Annual PM-2.5 NAAQS (level of 15 µg/m³) is revoked in attainment and maintenance areas for that NAAQS. For additional information see the PM-2.5 NAAQS SIP Requirements Final Rule, effective October 24, 2016. (81 FR 58009)

Change the State:

PUERTO RICO

Important Notes

Download National Dataset: dbf | xls | Data dictionary (PDF)

County	NAAQS	Area Name	Nonattainment in Year	Redesignation to Maintenance	Classification	Whole or/ Part County	Population (2010)	State/ County FIPS Codes
PUERTO RICO								
Arecibo Municipio	Lead (2008)	Arecibo, PR	<input type="text"/> 1 <input type="text"/> 1 <input type="text"/> 1 <input type="text"/> 12 <input type="text"/> 13 <input type="text"/> 14 <input type="text"/> 15 <input type="text"/> 16 <input type="text"/> 17 <input type="text"/> 18 <input type="text"/> 19 <input type="text"/> 20 <input type="text"/> 21 <input type="text"/> 22 <input type="text"/> 23 <input type="text"/> 24 <input type="text"/> 25	//		Part	32,185	72/013
Bayamon Municipio	Sulfur Dioxide (2010)	San Juan, PR	<input type="text"/> 1 <input type="text"/> 1 <input type="text"/> 1 <input type="text"/> 18 <input type="text"/> 19 <input type="text"/> 20 <input type="text"/> 21 <input type="text"/> 22 <input type="text"/> 23 <input type="text"/> 24 <input type="text"/> 25	//		Part	22,921	72/021
Catano Municipio	Sulfur Dioxide (2010)	San Juan, PR	<input type="text"/> 1 <input type="text"/> 1 <input type="text"/> 1 <input type="text"/> 18 <input type="text"/> 19 <input type="text"/> 20 <input type="text"/> 21 <input type="text"/> 22 <input type="text"/> 23 <input type="text"/> 24 <input type="text"/> 25	//		Whole	28,140	72/033
Guaynabo Municipio	PM-10 (1987)	Mun. of Guaynabo, PR	929394959697989900010203040506070809 <input type="text"/>	02/11/2010	Moderate	Part	90,470	72/061
Guaynabo Municipio	Sulfur Dioxide (2010)	San Juan, PR	<input type="text"/> 1 <input type="text"/> 1 <input type="text"/> 1 <input type="text"/> 18 <input type="text"/> 19 <input type="text"/> 20 <input type="text"/> 21 <input type="text"/> 22 <input type="text"/> 23 <input type="text"/> 24 <input type="text"/> 25	//		Part	23,802	72/061
Salinas Municipio	Sulfur Dioxide (2010)	Guayama-Salinas, PR	<input type="text"/> 1 <input type="text"/> 1 <input type="text"/> 1 <input type="text"/> 18 <input type="text"/> 19 <input type="text"/> 20 <input type="text"/> 21 <input type="text"/> 22 <input type="text"/> 23 <input type="text"/> 24 <input type="text"/> 25	//		Part	23,401	72/123
San Juan Municipio	Sulfur Dioxide (2010)	San Juan, PR	<input type="text"/> 1 <input type="text"/> 1 <input type="text"/> 1 <input type="text"/> 18 <input type="text"/> 19 <input type="text"/> 20 <input type="text"/> 21 <input type="text"/> 22 <input type="text"/> 23 <input type="text"/> 24 <input type="text"/> 25	//		Part	147,963	72/127
Toa Baja Municipio	Sulfur Dioxide (2010)	San Juan, PR	<input type="text"/> 1 <input type="text"/> 1 <input type="text"/> 1 <input type="text"/> 18 <input type="text"/> 19 <input type="text"/> 20 <input type="text"/> 21 <input type="text"/> 22 <input type="text"/> 23 <input type="text"/> 24 <input type="text"/> 25	//		Part	52,441	72/137

Important Notes

Discover.

Connect.

Ask.

Follow.

Appendix G:

Coastal Zone Management

COASTAL ZONE MANAGEMENT PLAZA DE LA MÚSICA

PROJECT ID: PR-CRP-000054




ADDRESS: Guillermo Esteves St, Carr 141 Km 0.0, Bo. Pueblo, Jayuya PR 00664

GEOGRAPHIC COORDINATES (LAT/LONG): 18.221549, -66.588312




Legend

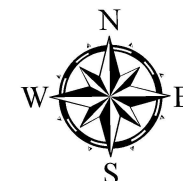
Coastal Zone Management Act

-  coastal zone
-  federal consistency
-  Site Location

Credits: NOAA Coastal Zone Management Act (CZMA) Boundary Dataset
<https://coast.noaa.gov/czm/act/>
<https://drna.pr.gov/>

Spatial Reference
Name: WGS 1984 Web Mercator Auxiliary Sphere

0 4 8 16 24 32
 Kilometers



Earthstar Geographics, Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

Appendix H: Contamination and Toxic Substances

PR-CRP-000054 EPA Facilities Map

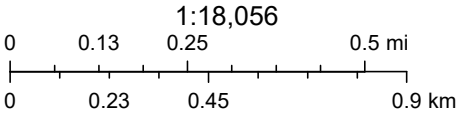
Address Guillermo Esteves St, Carr 141 Km 0.0, Bo. Pueblo, Jayuya, PR 00664

Coordinates 18.221549, -66.588312



April 7, 2025

- Water Dischargers (NPDES)
- Toxic Releases (TRI)
- Air Pollution (ICIS-AIR)
- Water Dischargers (NPDES)
- Hazardous Waste (RCRAInfo)
- Project Buffer
- Search Result (point)



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, (c) OpenStreetMap contributors, and the GIS User Community, Source: Esri, Maxar, Earthstar



Detailed Facility Report

Facility Summary

PRASA JAYUYA URBANO

PR-141 KM 0.1 INT, JAYUYA, PR 00664

FRS (Facility Registry Service) ID: 110009814914

EPA Region: 02

Latitude: 18.226388

Longitude: -66.584166

Locational Data Source: FRS

Industries: --

Indian Country: N

Enforcement and Compliance Summary

Statute	CWA
Compliance Monitoring Activities (5 years)	1
Date of Last Compliance Monitoring Activity	09/12/2024
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	1
Penalties from Formal Enforcement Actions (5 years)	\$0
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): Non-Major, Permit Effective (PR0024121), Non-Major, Permit Not Needed (PR0020541)

Resource Conservation and Recovery Act (RCRA): No Information

Safe Drinking Water Act (SDWA): No Information

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Go To Enforcement/Compliance Details

Known Data Problems <<https://epa.gov/resources/echo-data/known-data-problems>>

Facility/System Characteristics

Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110009814914					N	18.226388	-66.584166
ICIS		32229					N	18.224401	-66.583784
ICIS		2658693					N	18.224401	-66.583784
ICIS-NPDES	CWA	PR0024121	Non-Major: NPDES Individual Permit	Effective		11/30/2027	N	18.226389	-66.584167
ICIS-NPDES	CWA	PR0020541	Non-Major: NPDES Individual Permit	Not Needed			N	18.224401	-66.583784

Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110009814914	PRASA JAYUYA URBANO	PR-141 KM 0.1 INT, JAYUYA, PR 00664	Jayuya Municipio
ICIS		32229	PRASA JAYUYA	CARRETERA 141 KM. 0.1 INTERIOR, JAYUYA, PR 00664	Jayuya Municipio
ICIS		2658693	PRASA JAYUYA URBANO	CARRETERA 141 KM. 0.1 INTERIOR, JAYUYA, PR 00664	Jayuya Municipio
ICIS-NPDES	CWA	PR0024121	PRASA JAYUYA WTP	ROAD 141 KM 0.1 INT, JAYUYA, PR 00664	Jayuya Municipio
ICIS-NPDES	CWA	PR0020541	PRASA JAYUYA URBANO	CARRETERA 141 KM. 0.1 INTERIOR, JAYUYA, PR 00664	Jayuya Municipio

Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
ICIS-NPDES	PR0020541	4941	Water Supply
ICIS-NPDES	PR0024121	4941	Water Supply

Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
--------	------------	------------	-------------------

No data records returned

Facility Industrial Effluent Guidelines

Identifier	Effluent Guideline (40 CFR Part)	Effluent Guideline Description
PR0024121	000	No Applicable Effluent Guidelines

Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
------------------	------------	---------------	---------------------------

No data records returned

Enforcement and Compliance

Compliance Monitoring History

Last 5 Years



Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
CWA	PR0024121	ICIS-NPDES	Inspection/Evaluation	Base Program - Evaluation	EPA	09/12/2024	




Entries in italics are not included in ECHO's Compliance Monitoring Activity counts because they are not compliance monitoring strategy <https://www.epa.gov/compliance/compliance-monitoring-programs> activities or because they are not counted as inspections within EPA's Annual Results <https://www.epa.gov/enforcement/enforcement-data-and-results>.

Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
CWA	PR0024121	No	12/31/2024	0	04/04/2025
CWA	PR0020541	No	12/31/2024	0	04/04/2025

Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type				QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10
	CWA (Source ID: PR0024121)				01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-12/31/23	01/01-03/31/24	04/01-06/30/24
	Facility-Level Status				No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified
	Quarterly Noncompliance Report History				Resolved - Pending	Resolved - Pending	Resolved - Pending	Resolved - Pending	Resolved - Pending	Resolved - Pending	Resolved - Pending	Resolved - Pending	Resolved - Pending	Resolved - Pending
	Pollutant	Disch Point	Mon Loc	Freq										
CWA	Ammonia & ammonium- total <effluent-charts#pr0024121/82230>  <https://epa.gov/effluent-charts#pr0024121/82230>	001 - A	Effluent Gross	NMth					207%					
CWA	BOD, 5-day, 20 deg. C <effluent-charts#pr0024121/00310>  <https://epa.gov/effluent-charts#pr0024121/00310>	001 - A	Effluent Gross	NMth							104%			1

Statute	Program/Pollutant/Violation Type				QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	Q
CWA	Copper, total [as Cu] <effluent-charts#pr0024121/01042>  <https://epa.gov/effluent-charts#pr0024121/01042>	001 - A	Effluent Gross	NMth										
CWA	Lead, total [as Pb] <effluent-charts#pr0024121/01051>  <https://epa.gov/effluent-charts#pr0024121/01051>	001 - A	Effluent Gross	NMth	104%								34%	
CWA	Phosphorus, total [as P] <effluent-charts#pr0024121/00665>  <https://epa.gov/effluent-charts#pr0024121/00665>	001 - Q	Effluent Gross	NMth						167%				
CWA (Source ID: PR0020541)					01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-12/31/23	01/01-03/31/24	04/01
Facility-Level Status					Not Applicable	Not Applicable	Not Applicable	Not Applicable	Not Applicable	Not Applicable	Not Applicable	Not Applicable	Not Applicable	Not A
Quarterly Noncompliance Report History														

Informal Enforcement Actions

Last 5 Years

Statute	System	Source ID	Type of Action	Lead Agency	Date
No data records returned					

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

Formal Enforcement Actions

Last 5 Years

Statute	System	Law/ Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/ Filed Date	Settlements/ Actions	Settlement/ Action Date	Federal Penalty Assessed	State/ Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
CWA	ICIS- NPDES	301	NPDES/PR0024121	Judicial	02- 2011- 0007	EPA	PRASA - Puerto Nuevo Regional WWTP et al.	09/15/2015	2	05/23/2016	\$0	--	--	--	\$700,000,000
										03/22/2024	\$0	--	--	--	\$530,000,000

Environmental Conditions

Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)- listed Aquatic Species?
210100020408	Rio Caonillas at Lago Caonillas Dam	JAYUYA GRANDE RIVIER, RIO GRANDE DE JAYUYA	No	No	Ammonia & ammonium- total Copper, total (as Cu) Lead, total (as Pb) Phosphorus, total (as P)	Yes

Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
PR	2024	PRNR7C1	RIO CAONILLAS	Impaired - 303(d) Listed - With Restoration Plan	METALS (OTHER THAN MERCURY) NUTRIENTS PATHOGENS	Fully Supporting	Not Supporting	--	Not Supporting	--

Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
No data records returned				

Pollutants

Toxics Release Inventory History of Reported Chemicals Released or Transferred in Pounds per Year at Site

TRI Facility ID	Year	Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Disposal to Land	Total On-Site Releases	Total Off-Site Transfers
-----------------	------	---------------	--------------------------	--	------------------------	------------------	------------------------	--------------------------

No data records returned

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name

No data records returned

CWA (Clean Water Act) Discharge Monitoring Report (DMR)
Pollutant Loadings

DMR and TRI Multi-Year Loading Report

NPDES ID	Description	2020	2021	2022	2023	2024
PR0024121	DMR Pollutant Loadings (lb/year)	128,328,378	35,525,298	23,159,615	221,606	290,033
PR0024121	DMR Pollutant Loadings - Load Over Limit (lb/year)	0.7428	0.2666	0.1437	1,717	3,706
PR0024121	DMR Conventional Loadings (lb/year)	--	--	--	--	9,985
PR0024121	DMR Conventional Loadings - Load Over Limit (lb/year)	--	--	--	--	3,692
PR0024121	DMR Toxic-Weighted Loadings (lb-eq/year)	2,245	1,173	1,842	8.30	153
PR0024121	DMR Toxic-Weighted Loadings - Load Over Limit (lb-eq/year)	1.66	0.5971	0.3218	0	9.21

Community

Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2022 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. Census boundaries and demographic data for U.S. Territories are based on the "2020 Island Areas Demographic Profiles" from the U.S. Census Bureau. EPA's spatial processing methodology considers the overlap between the selected radii and ACS census block groups in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <<https://epa.gov/help/reports/dfr-data-dictionary#demographic>>.

General Statistics (ACS (American Community Survey))		Age Breakdown (ACS (American Community Survey)) - Persons (%)	
Total Persons	3,093	Children 5 years and younger	163 (5%)
Population Density	991/sq.mi.	Minors 17 years and younger	737 (24%)
Housing Units in Area	1,318	Adults 18 years and older	2,354 (76%)
Percent People of Color	99%	Seniors 65 years and older	583 (19%)
Households in Area	997		
Households on Public Assistance	208	Race Breakdown (ACS (American Community Survey)) - Persons (%)	
Persons With Low Income	2,767	White	1,586 (51%)
Percent With Low Income	89%	African-American	0 (0%)
		Hispanic-Origin	3,077 (99%)
		Asian	0 (0%)
		Hawaiian/Pacific Islander	0 (0%)
		American Indian	0 (0%)
		Other/Multiracial	1,193 (39%)
Geography		Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Radius of Selected Area	1 mi.	Less than 9th Grade	220 (10.43%)
Center Latitude	18.226388	9th through 12th Grade	100 (4.74%)
Center Longitude	-66.584166	High School Diploma	732 (34.69%)
Total Area	--	Some College/2-year	406 (19.24%)
Land Area	100%	B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	460 (21.8%)
Water Area	0%		
Income Breakdown (ACS (American Community Survey)) - Households (%)			
Less than \$15,000	389 (38.98%)		
\$15,000 - \$25,000	206 (20.64%)		
\$25,000 - \$50,000	307 (30.76%)		
\$50,000 - \$75,000	76 (7.62%)		
Greater than \$75,000	20 (2%)		

ASBESTOS CONTAINING BUILDING MATERIALS INSPECTION

Plaza de La Música

Guillermo Esteves St, Carr 141 Km 0.0, Bo. Pueblo, Jayuya PR 00664



Be Environmental Consulting LLC
Calle Leatad S-16 Urb Levittown
Toa Baja Puerto Rico 00945

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Environmental Professional Statement

Be Environmental Consulting LLC (BeEC) states that, to the best of our knowledge, we meet the definition of Environmental Professional as defined in Section 312.10 in Title 40 of the Code of Federal Regulations (CFR), Part 312. We have the specific qualifications based on education, training, and experience to evaluate a property for the nature, history and setting of the subject matter. As well as all requirements set in accordance with EPA's "Guidance for the Control of Asbestos-Containing Materials in Buildings" (EPA 560/5-85/024).

A handwritten signature in blue ink, appearing to read 'Marcos A. Berríos', is positioned above the printed name and title.

Marcos A. Berríos, MSEM
Environmental Manager
Be Environmental Consulting LLC
Date: January 10, 2025

Notice

This document is prepared for the sole use of the **Municipality of Jayuya**, hereinafter referred to as **THE CLIENT**. No other party should rely on the information contained herein without prior written consent of **THE CLIENT**. The scope of services, inspection methodology, and results are presented below.

The scope of the survey included sampling of suspected Asbestos Containing Building Materials (ACBM) present, and analysis of the samples collected. A DRNA/AHERA certified asbestos inspector thoroughly and professionally performed this inspection following commonly accepted industry standards.

The asbestos inspector cannot and does not guarantee that this evaluation has identified all adverse environmental factors and conditions affecting this property on the evaluation date.

The findings reported and conclusions reached by the inspector are solely for **THE CLIENT**'s benefit. Based exclusively on the conditions observed on the property at the time of the evaluation, the findings and opinions in this report are valid only as of that date.

The asbestos inspector assumes no obligation to advise the client of any changes in actual or potential asbestos hazards at this property after the date of the evaluation.

The asbestos inspection covered accessible components and surfaces. Any materials suspected of containing asbestos beneath tiles or other construction elements should be treated as positive until tested. Prior to any future demolition or remodeling, it is recommended to remove all known, suspected, or presumed asbestos-containing materials (ACBM) to comply with NESHAP/DRNA regulations.

This document has 18 pages, including the cover.

EXECUTIVE SUMMARY

At the request of **VPC Group**, an asbestos-containing material (ACM) inspection was conducted at the **Plaza de la Música, located at Guillermo Esteves St, Carr 141 Km 0.0, Bo. Pueblo, Jayuya PR 00664**. The inspection was carried to perform future demolition works with appropriate permits, following regulations. This report presents all findings, if any, of the asbestos inspection performed on **January 10, 2025**.

The following areas of the building were inspected for ACM

- All the indicated areas were inspected

All structural components of the building are built in concrete, wood and metal.

The inspection was conducted by Mr. Marcos A. Berrios, a state-certified asbestos inspector (#ASB-0224-0069-SI, valid through February 14, 2025), accredited under the Asbestos Hazard Emergency Response Act (AHERA) and the Department of Natural and Environmental Resources' accreditation program. Mr. Berríos brings extensive experience and expertise to the project.

The inspection adhered to EPA's Guidance for the Control of Asbestos-Containing Materials in Buildings (EPA 560/5-85/024). Photographs of the roof and its structural components were taken and included in the final report for documentation purposes.

No asbestos-containing materials (ACM) were detected during the inspection.

INTRODUCTION

Purpose

The purpose of this inspection, conducted by BeEC on behalf of **THE CLIENT**, is to determine the presence of asbestos-containing building materials (ACBM) at the Plaza de la Música, located in Jayuya, Puerto Rico. This inspection, conducted on **January 10**,

2025, is part of **THE CLIENT's** due diligence to ensure compliance with U.S. Environmental Protection Agency (EPA) regulations, including 40 CFR 763 AHERA, 40 CFR 61, Subpart M NESHAP, and the Department of Natural and Environmental Resources (DNER) guidelines, in preparation for potential future renovations or demolition activities.

Scope of services

The purpose of this inspection was to identify and assess any asbestos-containing building materials (ACBM) and determine the need for asbestos hazard controls, if applicable, at the inspected facilities.

The scope of the survey typically includes the sampling of suspected ACBM and the subsequent laboratory analysis of collected samples. Samples are usually sent to International Asbestos Testing Laboratories (IATL), a National Voluntary Laboratory Accreditation Program (NVLAP) -accredited laboratory, for analysis using methods specified in 40 CFR Appendix E to Subpart E of Part 763, the Interim Method for the Determination of Asbestos in Bulk Insulation Samples (USEPA 600, R93-116), and NYSDOH Environmental Laboratory Approval Program (ELAP) 198.1, as necessary.

For this inspection, no suspected ACM was identified during the site evaluation. As a result, no samples were collected or sent for laboratory testing.

The inspection was conducted to evaluate the structure both internally and externally on a surface-by-surface basis, following industry best practices and regulatory guidelines.

GENERAL BACKGROUND

Asbestos was used in the construction industry from 1900 to 1989. It is still being used today in various products. The health effects of asbestos have been studied since the 1930's. More health studies have been conducted in asbestos than any other natural substance. The mere presence of asbestos containing materials does not necessarily

constitute a health hazard. However, when these materials become disturbed from building renovation, maintenance, or other everyday activities that allow fibers to be released into the environment, a potential hazard does exist.

The relationship between exposure level and health risk is very complex. Although this relationship is not completely understood, asbestos exposure has been associated with various types of lung diseases including a debilitating lung disease called ASBESTOSIS; a rare cancer of chest called MESOTHELIOMA; and cancers of the esophagus, stomach, colon, and other organs. Asbestosis is not fatal; it is, however, incurable. One who has it cannot breathe easily, and physical activity becomes limited. MESOTHELIOMA is 100% fatal, as there is no cure. These diseases can be directly linked to asbestos because of the mineral particles that can be found in the lining of the lungs and stomach, since the body cannot absorb these minerals. Tests have determined that asbestos can cause cancer, but scientists disagree on the number of asbestos fibers that must be inhaled to cause cancer. The nose filters out all visible particles. Therefore, only the microscopic fibers are the ones who cause the problems.

Studies indicate different health effects resulting from exposure to chrysotile asbestos versus exposure to the amphibole form of asbestos. The latter, which include tremolite, amosite, actinolite, anthophyllite and crocidolite have more significant health impact than chrysotile.

Some scientists cite studies concluding that is the size of the fibers deposited in the lungs that result in cancer. Long, thin fibers, greater than 8 microns in length and less than 0.25 microns in diameter show the highest potential of cancer development.

National Emission Standards for Hazardous Air Pollutants (NESHAP)

The EPA's rules concerning the application, removal, and disposal of ACM, as well as manufacturing, spraying, and fabricating of ACM were issued under the asbestos NESHAP regulation (U.S. EPA National Emission Standards for Hazardous Air Pollutants, 40 CFR 61 Subpart M, October 30, 1987). The asbestos NESHAP regulation governs asbestos demolition and renovation projects in all facilities. The NESHAP rule usually requires owners or operators to have all friable ACM removed before the building is demolished and may require its removal before renovation. If friable ACM shall be disturbed, the NESHAP rule may require appropriate work practices, or procedures for emission control. The rule states that any ACM, which may become friable, poses a potential hazard that should be addressed.

A revised NESHAP ruling was released on November 20, 1990, effective February 20, 1991, which includes as the responsibility of the owner, or operator, to "prior to the commencement of the demolition or renovation, thoroughly inspect the affected facility or part of the facility where demolition or renovation operation will occur for the presence of asbestos, including Category I and Category II non-friable ACM." (40 CFR, Part 61, National Emission Standards for hazardous Air Pollutants, Asbestos NESHAP Revision, Final Rule, November 20, 1990).

SITE DESCRIPTION

The inspection was conducted at the Plaza de la Música, a public recreational space located in the Municipality of Jayuya. The plaza exhibits signs of wear, including weathering of surfaces and aging infrastructure. The plaza's open layout includes decorative elements such as a fountain and monuments, with surrounding features such as busts and bleachers. The location coordinates are Lat: 18.221549, Lon: -66.588312.

GENERAL OBSERVATIONS

The asbestos inspection at the site was conducted as a surface-by-surface investigation, following EPA guidelines to ensure thorough coverage of all accessible areas. The

inspection focused on evaluating building components, such as concrete walls, floors, ceilings, and structural elements, for the presence of asbestos-containing building materials (ACBM).

The site, a public outdoor plaza primarily consisting of concrete structures, did not contain any materials suspected of containing asbestos. Common components typically assessed during such inspections, including insulation, roofing materials, floor tiles, and joint compounds, were not present in forms or conditions indicative of ACBM.

All observed materials, including masonry, painted surfaces, and decorative elements, were consistent with non-asbestos-containing materials typically used in outdoor public spaces. Given the nature of the site and its construction, no samples were collected or submitted for laboratory analysis, as no potential ACBM was identified during the inspection.

This comprehensive inspection ensured adherence to regulatory standards and provided assurance regarding the absence of asbestos hazards at the site.

SPECIFIC FINDINGS

During this inspection, **no asbestos-containing materials** (ACM) were identified in the areas surveyed. No materials exceeding the 1% threshold as defined by regulatory standards. were recorded.

INACCESSIBLE AREAS PRESUMED TO BE ACBM

All the areas were inspected.

ACBM REGULATORY LEVELS

There is no evidence that a safe threshold exists (or minimum exposure level) to prevent the adverse health effects of the use of asbestos.

RECOMMENDATIONS

None.

ENVIRONMENTAL ASSESSMENT REPORT CERTIFICATION

Be Environmental Consulting, LLC has performed this ACBM inspection thoroughly and professionally, consistent with commonly accepted industry standards. The assessments were conducted on January 10, 2025, by Marcos Berríos Maldonado, state-certified asbestos inspector #ASB-0224-0069-SI (14/FEB/2025), qualified by experience, education, and recognition of ACBM approved sampling techniques.

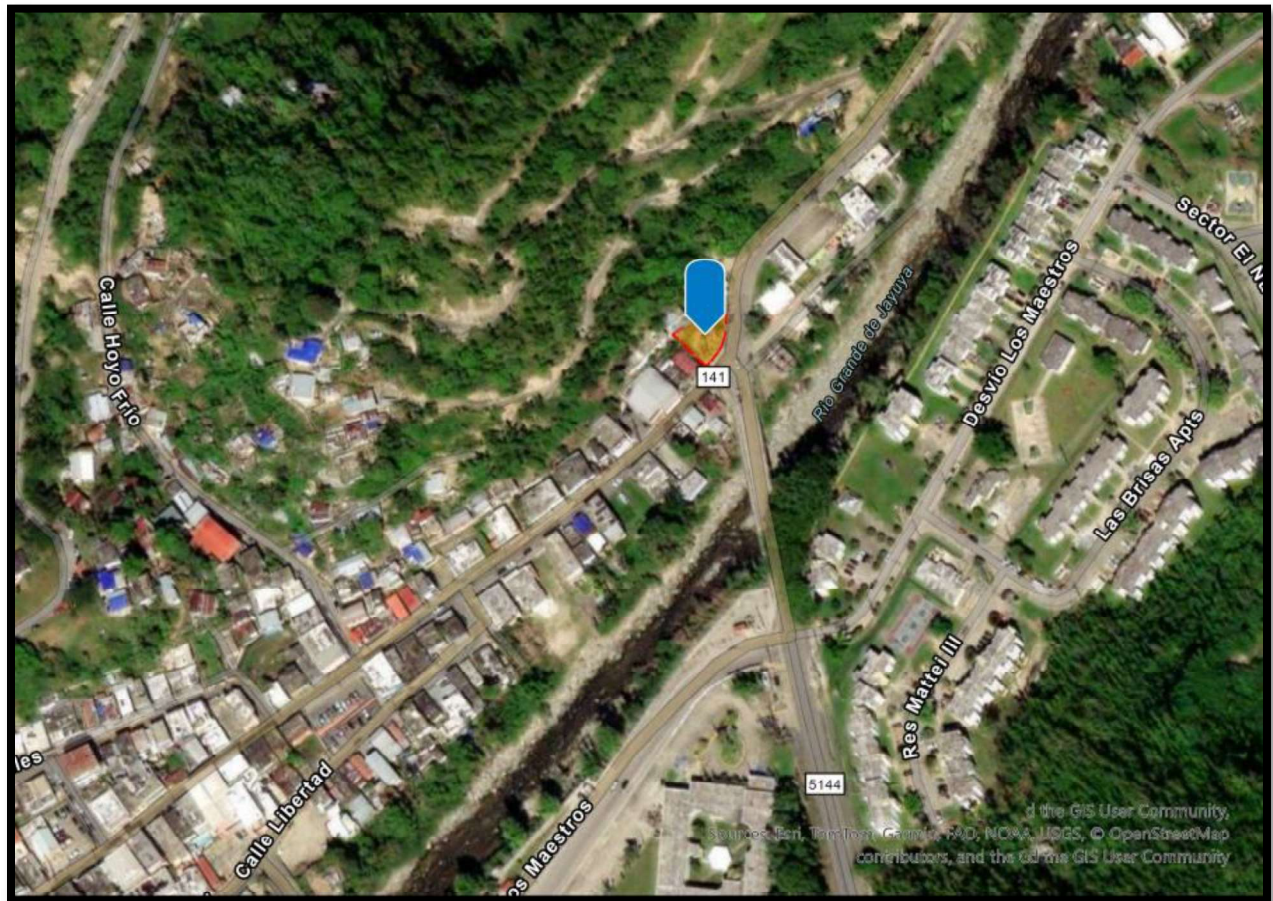
NON-SCOPE SERVICES

No additional services were contracted.

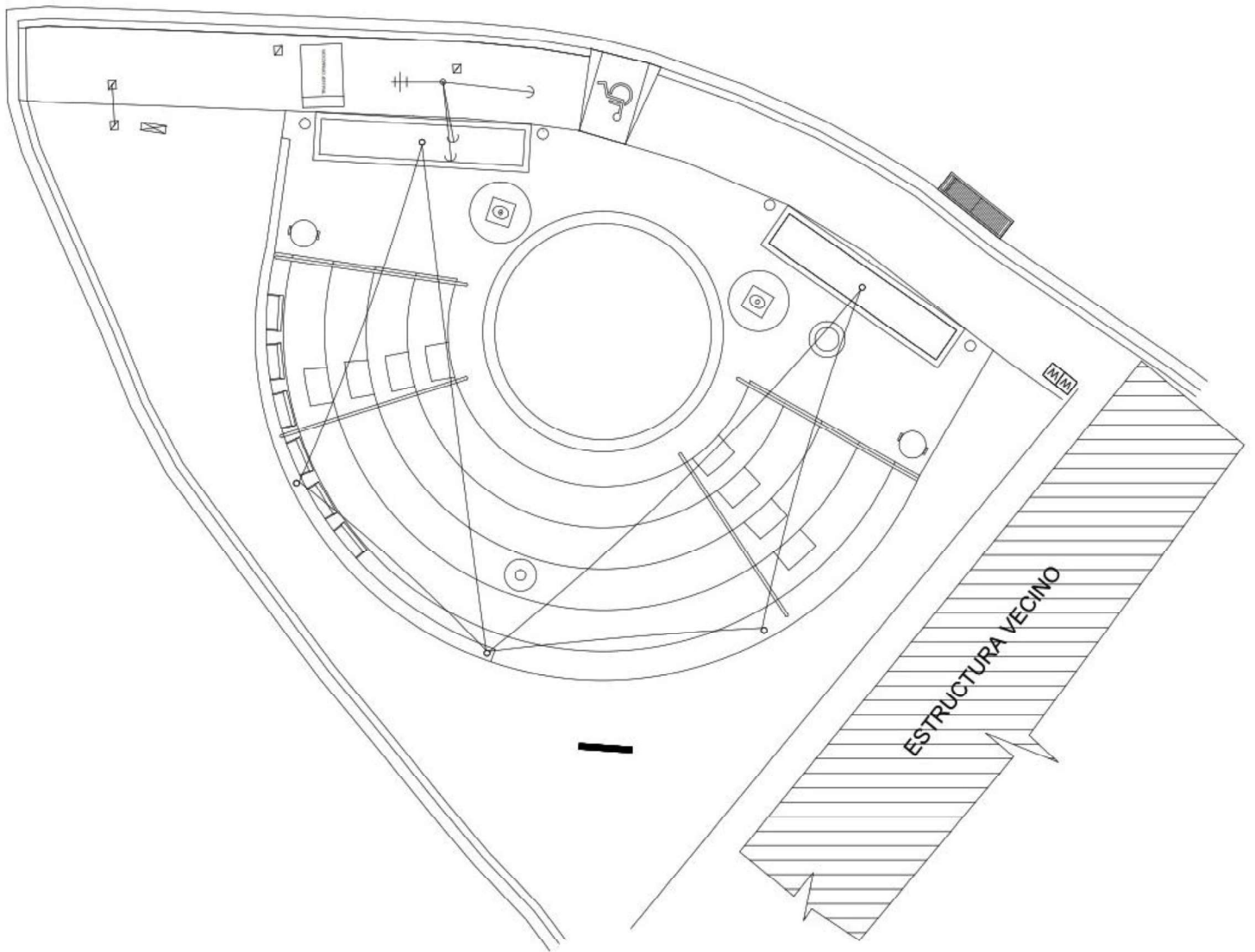
Appendix A: Certifications, Licenses, and Accreditations

	<p>TARJETA DE REGISTRO PARA LA REMOCION DE ASBESTO</p>
	<p>Esta tarjeta autoriza a:</p>
	<p><i>Marcos A. Berrios Maldonado</i> Inspector</p>
	<p>A trabajar en la remoción de asbesto en Puerto Rico. Esta persona NO es un empleado del DRNA.</p>
<p>ASB-0224-0069-SI</p>	
<p>Número de Registro</p>	<p>Firma Autorizada - Departamento Recursos Naturales y Ambientales</p>
<p>14-feb-2025</p>	
<p>Fecha de vencimiento</p>	

Appendix: B: Site Location



Appendix: C: Site Plan



Appendix D: Project Photographs

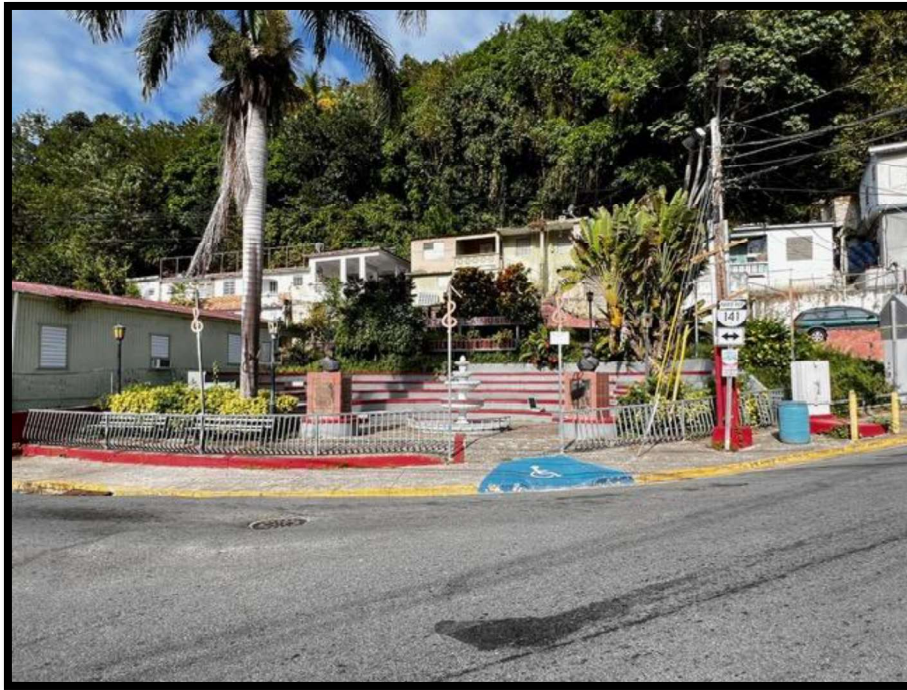


Figure 1: Front View of the Plaza de La Música (View from PR-141)



Figure 2: Side View of the Plaza de La Música

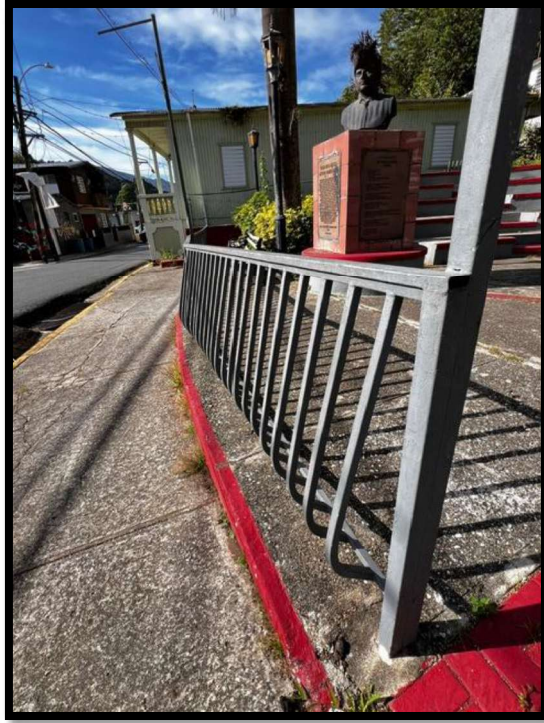


Figure 3: Railing

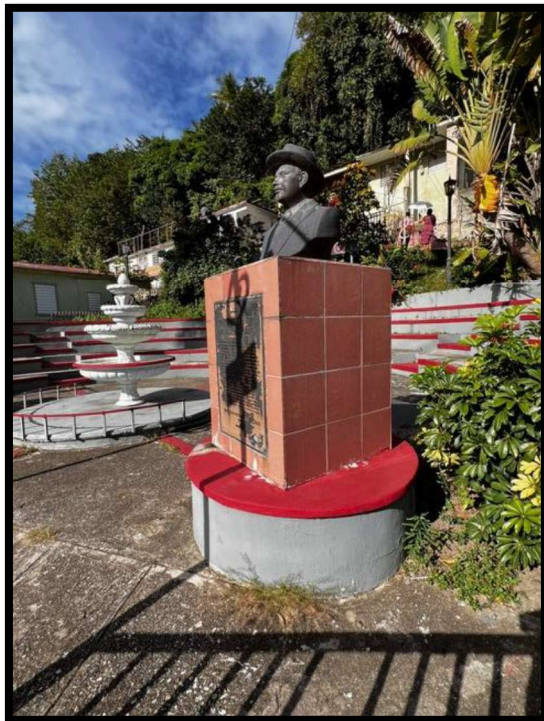


Figure 4: Right Side Bust



Figure 5: Left side bust

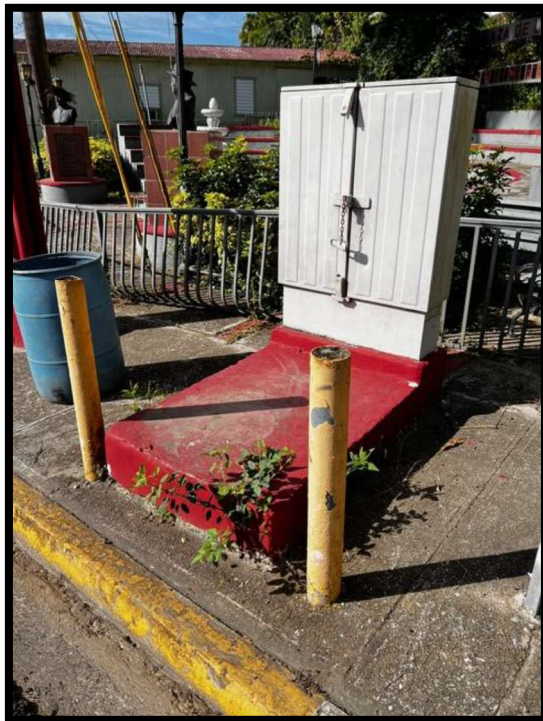


Figure 6: Electrical Cabinet

Appendix E: Certification



CERTIFICACION DE NO PRESENCIA DE ASBESTO EN ESTRUCTURAS A DEMOLERSE

(Deberá completarse en letra de molde o impresa)

NUM. PERMISO: _____

Yo, Marcos A Berrios, mayor de edad, Casado, y vecino de Dorado
(Nombre) (Estado Civil) (Municipio)

Dirección
Postal Urb Mirflores 31110 Dorado PR 00646
(Pueblo) (Zip Code)

Teléfonos: Residencial (787) 464 - 3899 Oficina () - Ext.
Fax () -

Certifico que:

1. La estructura localizada en Plaza de La Musica Jayuya (PR-000054), la cual será objeto de una demolición se encuentra libre de asbesto.
2. La información antes indicada es cierta y correcta.
3. Afirmo y reconozco las consecuencias de incluir y someter información falsa en este documento.
4. Para que así conste, firmo la presente certificación en Jayuya de Puerto Rico,
(Municipio)
hoy día 10 de enero de 2025


Firma y Sello del Profesional o
Firma del Inspector de Asbesto registrado por la JCA (Original)

Nota: Ingenieros o Arquitectos deberán someter evidencia de que se encuentra al día en el pago de sus cuotas de colegiación e Inspectores de Asbesto deberán someter evidencia de la tarjeta de registro provista por la JCA.



ASB-0224-0069-SI

Número de Registro

14-feb-2025

Fecha de vencimiento

**TARJETA DE REGISTRO
PARA LA REMOCION DE ASBESTO**

Esta tarjeta autoriza a:

Marcos A. Berrios Maldonado

Inspector

A trabajar en la remoción de asbesto en
Puerto Rico. Esta persona **NO** es un
empleado del DRNA.

Firma Autorizada - Departamento
Recursos Naturales y Ambientales

LEAD-BASED PAINT INSPECTION

Jayuya Municipality

Plaza de La Música

Guillermo Esteves St, Carr 141 Km 0.0, Bo. Pueblo, Jayuya PR 00664



Be Environmental Consulting LLC
Calle Leatad S-16 Urb Levittown
Toa Baja Puerto Rico 00945

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Environmental Professional Statement

Be Environmental Consulting LLC (BeEC) states that, to the best of our knowledge, we meet the definition of Environmental Professional as defined in Section 312.10 in Title 40 of the Code of Federal Regulations (CFR), Part 312. We possess specific qualifications based on education, training, and experience to evaluate a property considering the nature, history, and setting of the subject matter, as well as all requirements outlined in Chapter VII of the Regulations for the Proper Handling of Lead-Based Paint.



Marcos A. Berríos, MSEM, REMEnvironmental Manager

Date: Jan 10 2025

NOTICE

This document is prepared for the sole use of the Municipality of Jayuya, hereinafter referred to as THE CLIENT. No other party should rely on the information contained herein without prior written consent of THE CLIENT. The scope of services, inspection methodology, and results are presented below.

The lead inspector thoroughly and professionally performed this LBP inspection following commonly accepted industry standards.

The lead inspector cannot and does not guarantee that this evaluation has identified all adverse environmental conditions affecting this property on the evaluation date.

The findings reported and conclusions reached by the inspector and lead are solely for the Owner's benefit. Based solely on the conditions found in the property on the evaluation date, the findings and opinions in this report are valid only as of that date.

The lead inspector assumes no obligation to advise the client of any changes in actual or potential LBP hazards at this property after the evaluation date.

Lead screening was conducted on accessible components and surfaces. If suspected lead-containing elements are identified beneath installed tiles or other building materials, they will be treated as lead-positive until further testing is completed.

This document has 25 pages, including the cover.

EXECUTIVE SUMMARY

At the request of THE CLIENT, an environmental sampling for lead detection was conducted at the Plaza de la Música, located at Guillermo Esteves St, Carr 141 Km 0.0, Bo. Pueblo, Jayuya PR 00664. A location map is provided below for reference



All structural components of the building are built in concrete, ceramic, and steel. The purpose of the inspection is to determine the presence of lead-based paint. All the following areas were inspected:

- All the indicated areas were inspected.

The primary inspection method utilizes a portable NITON XLp 303A X-Ray Fluorescence (XRF) spectrum analyzer. A Data Collection Form will be used to systematically record the inspection results. To ensure the quality and integrity of the data, a Quality Assurance

and Quality Control (QA/QC) procedure was implemented for this LBP survey. This procedure includes thorough field documentation, such as completed Data Collection Forms, photographs, XRF readings, and a site plan.

The investigation was conducted on January 10, 2025, by Marcos A Berríos (LPBI-30522-343) of Be Environmental, a lead inspector certified by the Department of Natural and Environmental Resources (DNER). The survey, performed with an XRF instrument manufactured NITON MODEL Xlp 303A SERIAL 6909, was conducted using the Housing and Urban Development (HUD) protocol of 2012.

The LBP survey will be conducted on selected painted surfaces for the objects described in Table 7.1 in Section III of Chapter VII of the HUD Guidelines. Photographs will be taken for prior use in the final report as part of the survey.

This report details all findings from the Lead-Based Paint (LBP) inspection performed on that date, following the guidelines set by the United States Environmental Protection Agency (EPA) and the Department of Housing and Urban Development (HUD) for lead-based paint inspections.

INTRODUCTION

The purpose of the inspection was to determine the presence of lead-based paint at the Plaza de la Música, a public recreational space located at Guillermo Esteves Street, Carr. 141 Km 0.0, Barrio Pueblo, Jayuya, Puerto Rico. BeEC conducted the LBP inspection for the Client on November 6, 2024, covering all selected items and surfaces throughout the facility.

SCOPE OF SERVICES

BeEC conducted this inspection to identify the presence of lead-based paint (LBP) on accessible surfaces within the Plaza de la Música, an open-air public plaza. The inspection was in compliance with the following regulations and guidelines:

- Puerto Rico Department of Natural and Environmental Resources (DNER) Regulation for the Adequate Management of Lead-Based Paint.
- U.S. Environmental Protection Agency (EPA) under 40 CFR Part 745, Subpart L.
- HUD Guidelines for the Evaluation and Control of Lead-Based Paint Hazards in Housing, Second Edition, July 2012.

Visual Assessment

- Conducted a thorough visual inspection of all accessible surfaces within the plaza, including structures and urban furniture, to identify areas with potential lead-based paint.

Non-Destructive Testing

- Performed testing using an X-Ray Fluorescence (XRF) analyzer to determine the presence and concentration of lead in paint on-site without the need for destructive sampling or laboratory analysis.
- Targeted the following surfaces for inspection:
 - **Structural Elements:** Railings and bollards.
 - **Decorative Features:** Plaques on busts and monuments.
 - **Urban Furniture:** Benches and waste containers.

Documentation

- Recorded and mapped the locations of all tested surfaces and components.
- Photographed key findings, including areas where lead-based paint was detected.

Analysis

- Reviewed testing results to determine if any surfaces exceeded the 1.0 mg/cm² threshold for lead content, as stipulated by DNER and EPA standards.

Reporting

- Summarized findings, including:
 - Identification of all surfaces that tested positive for lead-based paint.
 - Recommendations for the safe management of identified LBP-containing surfaces.

Limitations

This inspection was limited to non-destructive testing of accessible outdoor surfaces and components only. No laboratory analysis was conducted, as all testing was completed on-site using the XRF analyzer.

SITE DESCRIPTION

The inspection was conducted at the Plaza de la Música, a public recreational space located in the Municipality of Jayuya. The plaza exhibits signs of wear, including weathering of surfaces and aging infrastructure. The plaza's open layout includes decorative elements such as a fountain and monuments, with surrounding features such as busts and bleachers. The location coordinates are Lat: 18.221549°, Lon: -66.588312°.

GENERAL OBSERVATIONS

This LBP inspection is a surface-by-surface investigation to identify the presence of lead-based paint. The inspection was conducted in accordance with HUD guidelines. All surfaces in the tested areas were inspected using an X-ray fluorescence (XRF) analyzer.

During the lead survey conducted on the property, **materials with lead-based paint were FOUND**. The information about the sampling details and the findings of the survey is included in this document.

SPECIFIC FINDINGS

It has been verified that most surfaces do not contain components with lead-based paint or materials exceeding 1.0 mg/cm² of lead, as stipulated by the Puerto Rico Department of Natural and Environmental Resources (DNER). However, during the inspection, the plaques on the busts and the yellow bollards tested positive for lead-based paint.

HOMOGENEOUS AREAS WITH SPECIAL CONSIDERATION

NONE.

INACCESSIBLE AREAS PRESUMED TO BE LEAD-BASED PAINTED

All areas were inspected.

LEAD REGULATORY LEVELS

The lead regulatory levels provided below were used when preparing this lead-based paint evaluation or evaluating the data collected. The EPA regulatory levels are the same as the state regulatory levels are provided in the following table.

Lead Regulatory Levels (EPA/EQB Levels)	
Lead Base Paint	1 mg/cm ² or 0.5% by weight (or 5000 ppm)

ENVIRONMENTAL ASSESSMENT REPORT CERTIFICATION

BeEC has performed this lead-based inspection thoroughly and professionally, consistent with commonly accepted industry standards. The assessments were conducted on January 10, 2025, by Marcos A Berríos Maldonado, state-certified lead inspector LBPI-31423-367, qualified by experience, education, and recognition of lead-based paint and approved sampling techniques using the NITON Xls 303A X-ray fluorescence spectrometer (XRF).

NON-SCOPE SERVICES

No additional services were contracted.

APPENDIX

APPENDIX A: CERTIFICATIONS



APPENDIX B: XRF'S PERFORMANCE CHARACTERISTICS SHEET

Niton XLp 300, 9/24/2004, ed. 1

Performance Characteristic Sheet

EFFECTIVE DATE: September 24, 2004

EDITION NO.: 1

MANUFACTURER AND MODEL:

Make: Niton LLC

Tested Model: XLp 300

Source: ^{109}Cd

Note: This PCS is also applicable to the equivalent model variations indicated below, for the Lead-in-Paint K+L variable reading time mode, in the XLi and XLp series:

XLi 300A, XLi 301A, XLi 302A and XLi 303A.

XLp 300A, XLp 301A, XLp 302A and XLp 303A.

XLi 700A, XLi 701A, XLi 702A and XLi 703A.

XLp 700A, XLp 701A, XLp 702A, and XLp 703A.

Note: The XLi and XLp versions refer to the shape of the handle part of the instrument. The differences in the model numbers reflect other modes available, in addition to Lead-in-Paint modes. The manufacturer states that specifications for these instruments are identical for the source, detector, and detector electronics relative to the Lead-in-Paint mode.

FIELD OPERATION GUIDANCE

OPERATING PARAMETERS:

Lead-in-Paint K+L variable reading time mode.

XRF CALIBRATION CHECK LIMITS:

0.8 to 1.2 mg/cm² (inclusive)

The calibration of the XRF instrument should be checked using the paint film nearest 1.0 mg/cm² in the NIST Standard Reference Material (SRM) used (e.g., for NIST SRM 2579, use the 1.02 mg/cm² film).

If readings are outside the acceptable calibration check range, follow the manufacturer's instructions to bring the instruments into control before XRF testing proceeds.

SUBSTRATE CORRECTION:

For XRF results using Lead-in-Paint K+L variable reading time mode, substrate correction is not needed for:

Brick, Concrete, Drywall, Metal, Plaster, and Wood

INCONCLUSIVE RANGE OR THRESHOLD:

K+L MODE READING DESCRIPTION	SUBSTRATE	THRESHOLD (mg/cm ²)
Results not corrected for substrate bias on any substrate	Brick	1.0
	Concrete	1.0
	Drywall	1.0
	Metal	1.0
	Plaster	1.0
	Wood	1.0

BACKGROUND INFORMATION

EVALUATION DATA SOURCE AND DATE:

This sheet is supplemental information to be used in conjunction with Chapter 7 of the HUD *Guidelines for the Evaluation and Control of Lead-Based Paint Hazards in Housing* ("HUD Guidelines"). Performance parameters shown on this sheet are calculated from the EPA/HUD evaluation using archived building components. Testing was conducted in August 2004 on 133 testing combinations. The instruments that were used to perform the testing had new sources; one instrument's was installed in November 2003 with 40 mCi initial strength, and the other's was installed June 2004 with 40 mCi initial strength.

OPERATING PARAMETERS:

Performance parameters shown in this sheet are applicable only when properly operating the instrument using the manufacturer's instructions and procedures described in Chapter 7 of the HUD Guidelines.

SUBSTRATE CORRECTION VALUE COMPUTATION:

Substrate correction is not needed for brick, concrete, drywall, metal, plaster or wood when using Lead-in-Paint K+L variable reading time mode, the normal operating mode for these instruments. If substrate correction is desired, refer to Chapter 7 of the HUD Guidelines for guidance on correcting XRF results for substrate bias.

EVALUATING THE QUALITY OF XRF TESTING:

Randomly select ten testing combinations for retesting from each house or from two randomly selected units in multifamily housing. Use the K+L variable time mode readings.

Conduct XRF retesting at the ten testing combinations selected for retesting.

Determine if the XRF testing in the units or house passed or failed the test by applying the steps below.

Compute the Retest Tolerance Limit by the following steps:

Determine XRF results for the original and retest XRF readings. Do not correct the original or retest results for substrate bias. In single-family housing a result is defined as the average of three readings. In multifamily housing, a result is a single reading. Therefore, there will be ten original and ten retest XRF results for each house or for the two selected units.

Calculate the average of the original XRF result and retest XRF result for each testing combination.

Square the average for each testing combination.

Add the ten squared averages together. Call this quantity C.

Multiply the number C by 0.0072. Call this quantity D.

Add the number 0.032 to D. Call this quantity E.

Take the square root of E. Call this quantity F.

Multiply F by 1.645. The result is the Retest Tolerance Limit.

Compute the average of all ten original XRF results.

Compute the average of all ten re-test XRF results.

Find the absolute difference of the two averages.

If the difference is less than the Retest Tolerance Limit, the inspection has passed the retest. If the difference of the overall averages equals or exceeds the Retest Tolerance Limit, this procedure should be repeated with ten new testing combinations. If the difference of the overall averages is equal to or greater than the Retest Tolerance Limit a second time, then the inspection should be considered deficient.

Use of this procedure is estimated to produce a spurious result approximately 1% of the time. That is, results of this procedure will call for further examination when no examination is warranted in approximately 1 out of 100 dwelling units tested.

TESTING TIMES:

For the Lead-in-Paint K+L variable reading time mode, the instrument continues to read until it is moved away from the testing surface, terminated by the user, or the instrument software indicates the reading is complete. The following table provides testing time information for this testing mode. The times have been adjusted for source decay, normalized to the initial source strengths as noted above. Source strength and type of substrate will affect actual testing times. At the time of testing, the instruments had source strengths of 26.6 and 36.6 mCi.

Testing Times Using K+L Reading Mode (Seconds)						
Substrate	All Data			Median for laboratory-measured lead levels (mg/cm ²)		
	25 th Percentile	Median	75 th Percentile	Pb < 0.25	0.25 ≤ Pb < 1.0	1.0 ≤ Pb
Wood Drywall	4	11	19	11	15	11
Metal	4	12	18	9	12	14
Brick Concrete Plaster	8	16	22	15	18	16

CLASSIFICATION RESULTS:

XRF results are classified as positive if they are greater than or equal to the threshold, and negative if they are less than the threshold.

DOCUMENTATION:

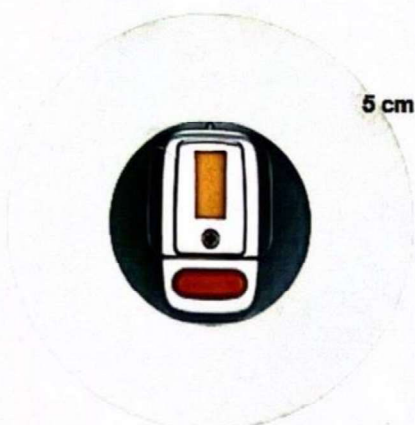
A document titled *Methodology for XRF Performance Characteristic Sheets* provides an explanation of the statistical methodology used to construct the data in the sheets, and provides empirical results from using the recommended inconclusive ranges or thresholds for specific XRF instruments. For a copy of this document call the National Lead Information Center Clearinghouse at 1-800-424-LEAD.

This XRF Performance Characteristic Sheet was developed by the Midwest Research Institute (MRI) and QuanTech, Inc., under a contract between MRI and the XRF manufacturer. HUD has determined that the information provided here is acceptable when used as guidance in conjunction with Chapter 7, Lead-Based Paint Inspection, of HUD's *Guidelines for the Evaluation and Control of Lead-Based Paint Hazards in Housing*.

Thermo Scientific Portable XRF Analyzers Isotope Radiation Survey Certificate

Instrument Model: **XLp 303A**
Instrument S/N: **XLp 6909**

Detector Model: **B20-ER**
Detector S/N: **34533**
Calibration Date: **9/27/2023**



Dose rate ($\mu\text{rem/hr}$)* (100.0 μrem = 0.1 mrem = 1.0 μSv)	
Background	5 cm
11	13

*All recorded measurements are net above background.

* Dose rate measurements taken at 360° perpendicular to instrument with the shutter closed (i.e., sources in the shielded position).

** The survey results indicate that the dose rate does not exceed 0.05 mrem per hour at any point 5 cm [$< 50 \mu\text{rem/hr}$ at 5 cm] from the surface of the device.

Conducted by: David Nop

Survey Date: 6/7/2024

TODAY

Thermo Scientific 2 Radcliff Road Tewksbury MA 01876
Portable Analytical Instruments USA

+1 978-670-7460
+1 978-670-7430 fax

www.thermoscientific.com/pai
800-875-1578 (toll free)

SEALED SOURCE LEAK TEST CERTIFICATE

Certificate # : **7824**

LEAK TEST LABORATORY INFORMATION			
COMPANY NAME	THERMO SCIENTIFIC PORTABLE ANALYTICAL INSTRUMENTS		
LICENSE NUMBER	MASSACHUSETTS 55-0238	CONTACT NAME/ASST.RSO	Jose Hernandez
ADDRESS	2 RADCLIFF ROAD	CONTACT NUMBER	978-513-3634
	TEWKSBURY MA 01876	FAX NUMBER	978-670-7411

A copy of certificate should be maintained for a minimum of 3 years and for inspection by the regulatory agency.

SAMPLE KIT INFORMATION

Sample ID # : N-8565

Sample date : 6/6/2024

SEALED SOURCE INFORMATION	DEVICE/ANALYZER INFORMATION
Manufacturer : Eckert & Ziegler	Device make : Thermo Scientific Portable XRF Analyzers
Source model : XFB-3	Device model : XLp
Source serial number : TR5055	Serial number : 6909
Radioisotope : Cd-109	
Assay Date : 6/15/2024	
Activity (mCi) : 40	

LEAK TEST RESULT:

Analysis of the above sample kit on date **6/6/2024** yield the following result:

☒ The analysis of the radioactive material of this leak test sample indicated the activity present is less than 0.005 uCi (or 185 Bq). The source may be used as authorized.

☐ Statistical analysis of the radioactive count data of this leak test sample indicated the activity present is greater than 0.005 uCi (or 185 Bq). This source should be considered leaking. Consult your device operations procedure; place this source in storage or quarantine area and make the required notification to your regulatory agency.

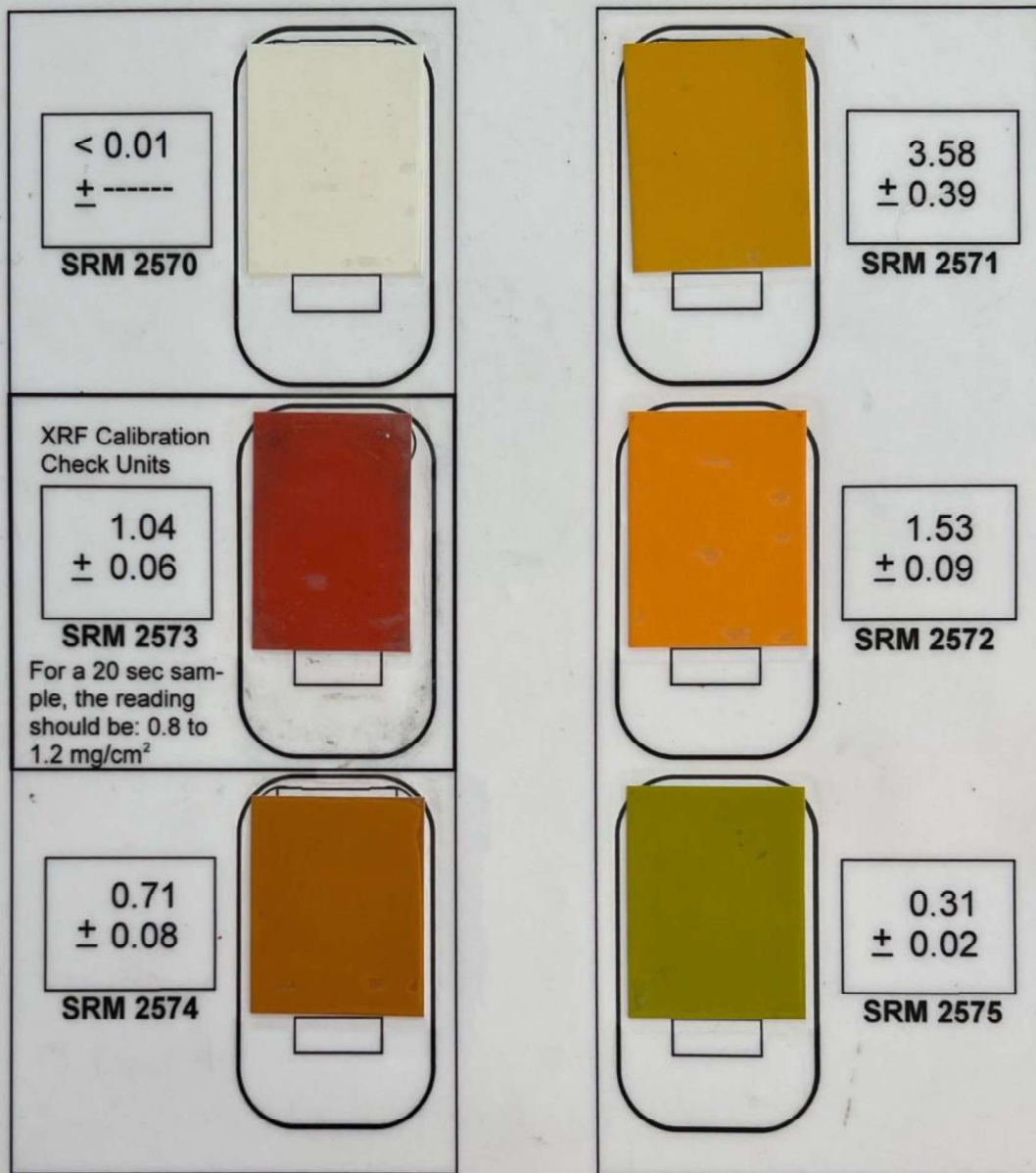
DEVICE/SOURCE LEAK TEST IS DUE ON OR BEFORE **12/6/2024**

Leak test performed by: David Nop

Certified by: Ronald Cardarelli

Ronald Cardarelli, RSO, CN

Date: 6/6/2024



Americas

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2 Radcliff Road
Tewksbury, MA 01876 USA
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niton@thermofisher.com

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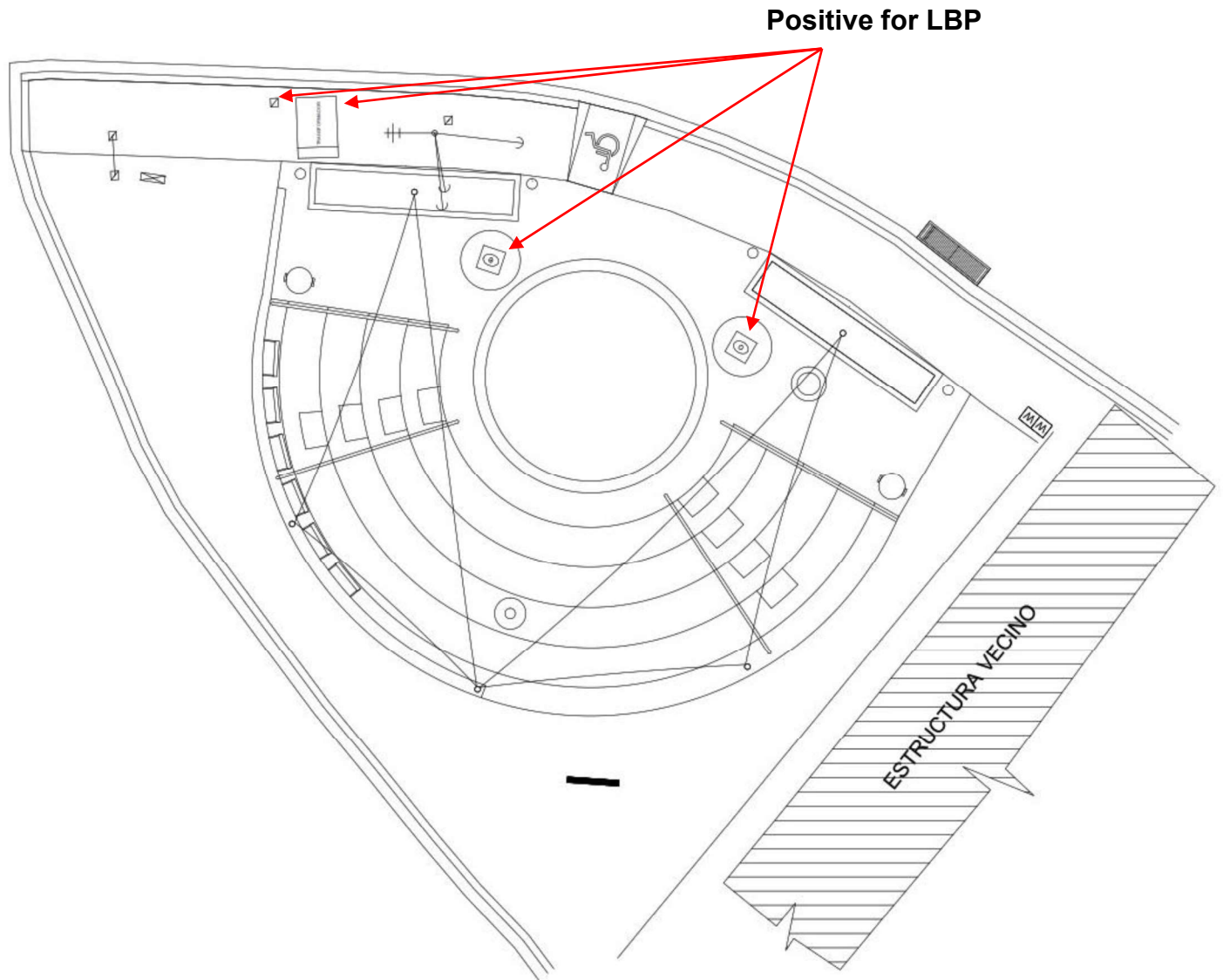
Thermo Scientific
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Shatin, NT, Hong Kong.
Office: +852 2869 6669
Fax: +852 2567 4447
niton.asia@thermofisher.com

APPENDIX C: LOCATION MAP

APPENDIX D: SITE PLAN



APPENDIX E: PROJECT PHOTOGRAPHS

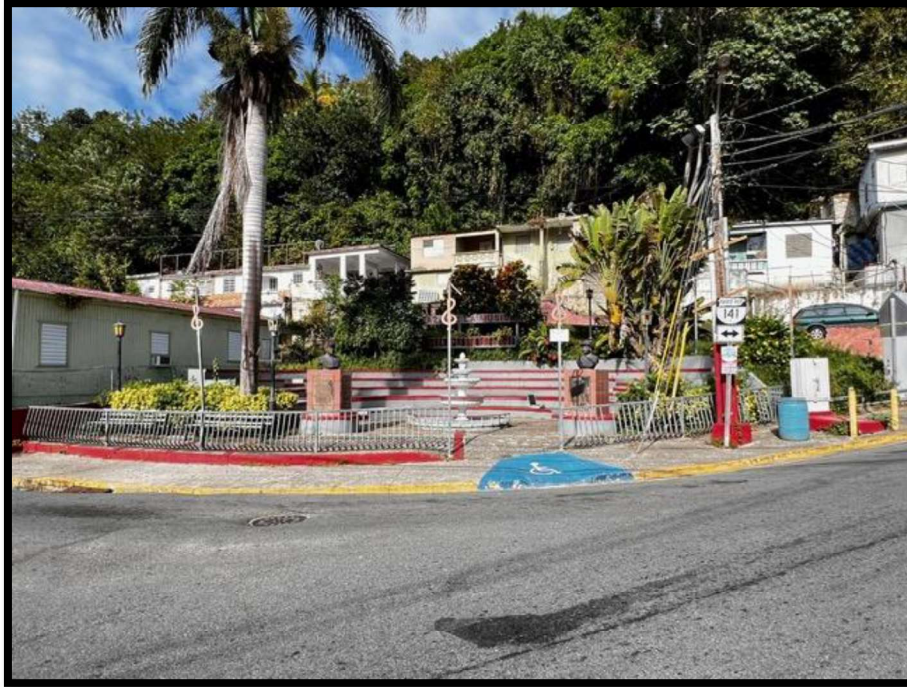


Figure 1: Front View of the Plaza de La Música (View from PR-141)



Figure 2: Side View of the Plaza de La Música

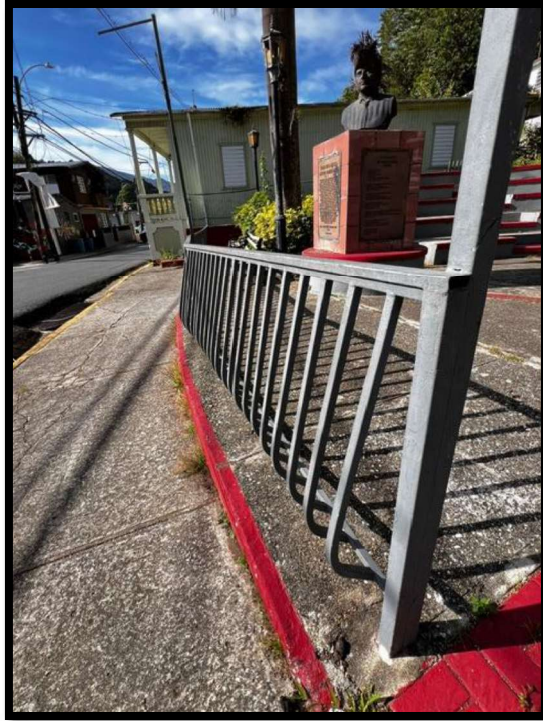


Figure 3: Railing



Figure 4: Right Side Bust (plaque tested positive)



Figure 5: Left side bust (plaque tested positive)



Figure 6: Electrical Cabinet (Yellow bollards tested positive)



Figure 7: XRF Calibration



Figure 8: XRF Source Calibration Label

APPENDIX F: XRF SAMPLING DATA

CLIENT: Jayuya Municipality

Date: Nov 7, 2024

LBP Inspector: Marcos A. Berríos **Certification Num:** LBPI- 31423-367

Sample ID	Functional Space	SIDE	Subst.	XRF Reading	Pos/Neg	Comments
1	Calibration	-	-	1.1	--	Ok
2	Calibration	-	-	1.1	--	Ok
3	Calibration	-	-	1.1	--	Ok
4	Bleacher	-	Concrete	0.0	Neg.	Red Paint
5	Bleacher	-	Concrete	0.0	Neg	Red Paint
6	Bleacher	-	Concrete	0.0	Neg	Red Paint
7	Bleacher	-	Concrete	0.0	Neg	Red Paint
8	Bleacher	-	Concrete	0.0	Neg	Red Paint
9	Bleacher	-	Concrete	0.0	Neg	Red Paint
10	Bleacher	-	Concrete	0.0	Neg	Red Paint
11	Bleacher	-	Concrete	0.3	Neg	Red Paint
12	Bleacher	-	Concrete	0.0	Neg.	Red Paint
13	Fountain	-	Concrete	0.0	Neg	Red Paint
14	Fountain	-	Concrete	0.0	Neg	White Paint
15	Fountain	-	Metal	0.0	Neg	Railing
16	Floor	-	Concrete	0.1	Neg.	Red Paint
17	Floor	-	Concrete	0.0	Neg	Red Paint
18	Floor	-	Concrete	0.0	Neg	Red Paint
19	Floor	-	Concrete	0.0	Neg	Red Paint
20	Floor	-	Concrete	0.0	Neg	Red Paint
21	Tile Mosaic	-	Tile	0.0	Neg	Red
22	Tile Mosaic	-	Tile	0.0	Neg	White

23	Tile Mosaic		Tile	0.0	Neg	Light Blue
24	Tile Mosaic		Tile	0.1	Neg	Dark Blue
25	Bust	Bust	Metal	0.0	Neg	Left Side
26	Bust	Foundation	Concrete	0.0	Neg	Left Side
27	Bust	Plaque	Metal	25.9	Pos	Left Side
28	Bust	Plaque	Metal	26.5	Pos	Left Side
29	Bust	Bust	Metal	0.0	Neg	Right Side
30	Bust	Foundation	Concrete	0.0	Neg	Right Side
31	Bust	Plaque	Metal	25.1	Pos	Right Side
32	Bust	Plaque	Metal	22.1	Pos	Right Side
33	Ramp	-	Concrete	0.1	Neg	Accessible Ramp
34	Curb	-	Ceramic	0.1	Neg	Yellow
35	Curb	-	Concrete	0.0	Neg	Yellow
36	Curb	-	Concrete	0.0	Neg	Yellow
37	Concrete Slab	-	Concrete	0.0	Neg	Red paint
38	Yellow Bollard		Metal	5.2	Pos	Yellow paint
39	Yellow Bollard		Metal	5.7	Pos	Yellow paint

APPENDIX: G

Certification of No Presence:

LBP Positive

APPENDIX H: ENDANGERED SPECIES

Appendix I: Endangered Species



DEPARTMENT OF
HOUSING
GOVERNMENT OF PUERTO RICO



Transmittal Letter

April 30, 2025

Caribbean Ecological Services Field Office
U.S. Fish and Wildlife Service
P.O. Box 491
Boquerón, Puerto Rico 00622
Email: caribbean@es@fws.gov



Based on the information provided, we determined the project proposed qualifies for the blanket clearance letter. Nevertheless, if the project is modified this office should be contacted concerning the need for the initiation of consultation under section 7 of Endangered Species Act of 1973.

Reviewer **DAMARIS ROMAN RUIZ** Digitally signed by DAMARIS ROMAN RUIZ
Date: 2025.05.12 13:11:43 -04'00'

LOURDES MENA Digitally signed by LOURDES MENA
Date: 2025.05.13 08:41:10 -04'00'
Caribbean ES Field Supervisor

RE: USFWS Endangered Species Act Certifications – April 2025

We are submitting the following Self-Certifications for projects under the CDBG-DR Small Business Financing Program and City Revitalization Program. Attached are included the Self-Certifications that certify that the projects are in compliance and are not likely to adversely affect federally-listed species.

The following table includes the projects that are in compliance with the Blanket Clearance Letter for the Endangered Species act of 1973, as amended, and the Fish and Wildlife Coordination Act.

Project Number	Project Name
PR-CRP-000054	<i>Mejoras en la Plaza de La Música</i>
PR-CRP-000307	<i>Construcción de Rotonda en la Intersección de la Carretera PR-901 y PR-3</i>
PR-CRP-000615	Route 109
PR-CRP-001195	<i>Centro de Usos Múltiples Inclusivo, Guayama</i>
PR-SBF-04733-E	La 100 Auto Parts
PR-SBF-08633	Oleozon TC
PR-SBF-09102-E	Speech R US CORP.

For more information, please contact the Permits and Environmental Compliance Division at environmentcdbg@vivienda.pr.gov or at (787)274.2527 ext. 4320.

Sincerely,

Permits and Environmental Compliance Division
Disaster Recovery Office



DEPARTMENT OF

HOUSING

GOVERNMENT OF PUERTO RICO



Self-Certification

<http://www.fws.gov/caribbean/ES/Index.html>

Endangered Species Act Certification

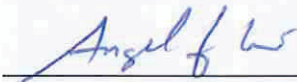
The U.S. Fish and Wildlife Service, Caribbean Ecological Services Field Office developed a Blanket Clearance Letter in compliance with Endangered Species Act of 1973, as amended, and the Fish and Wildlife Coordination Act for federally funded projects.

The Service determined that projects in compliance with the following criteria are not likely to adversely affect federally-listed species.

The Puerto Rico Department of Housing (PRDOH) certifies that the following project **Mejoras en la Plaza de La Música (PR-CRP-000054)**, under the CDBG-DR City Revitalization Program consists of the rehabilitation and modernization of an existing public plaza without new construction, excavation, or expansion beyond the existing footprint. The proposed activities, located at Guillermo Esteves St., PR-141 Road Km 0.0, Pueblo Ward, Jayuya PR 00664 (18.221549, -66.588312), aim to improve public infrastructure while maintaining the plaza's existing function and layout. The Scope of Work (attached) includes electrical system upgrades, replacement of urban furniture, installation of lighting, infrastructure repairs, restoration of monuments, installation of a canopy above the bleachers, and landscaping improvements, complies with:

Check	Project Criteria
<input type="checkbox"/>	1. Street resurfacing.
<input type="checkbox"/>	2. Construction of gutters and sidewalks along existing roads.
<input checked="" type="checkbox"/>	3. Reconstruction or emergency repairs of existing buildings, facilities and homes.
<input type="checkbox"/>	4. Rehabilitation of existing occupied single-family homes, and buildings; provided that equipment storage or staging areas are not located on vacant property harboring a wetland and/or forested vegetation and that the lighting associated to the new facilities is not visible directly or indirectly from a beach.
<input type="checkbox"/>	5. Demolition of dilapidated single-family homes or buildings; provided that the demolition debris is disposed in certified receiving facilities; equipment storage or staging areas are not located on vacant property harboring a wetland and/or forested vegetation.

<input type="checkbox"/>	6. Rebuilding of demolished single-family homes or buildings, provided that the new construction is within the existing footprint of the previous structure and/or within pre-existing grassed or paved areas, and that the lighting associated to the new facilities are not visible directly or indirectly from a beach.
<input type="checkbox"/>	7. Activities within existing Right of Ways (ROWs) of roads, bridges and highways, when limited to actions that do not involve cutting native vegetation or mayor earth moving; and are not located within, or adjacent to, drainages, wetlands, or aquatic systems. These activities include the installation of potable water and sanitary pipelines.
<input checked="" type="checkbox"/>	8. Improvements to existing recreational facilities, including the installation of roofs to existing basketball courts, provided that the lighting associated to the facilities are not visible directly or indirectly from the beach.
<input type="checkbox"/>	9. Construction of electric underground systems in existing towns and communities, provided that the property is not a wetland area and the lighting associated to the facilities are not visible directly or indirectly from the beach.
<input type="checkbox"/>	10. Construction of facilities on vacant properties covered with grasses in urban areas, provided that the lighting associated to the facilities are not visible directly or indirectly from the beach.
<input type="checkbox"/>	11. Construction of houses, buildings or acquiring lands in urban areas covered by grass for relocation of low-income families and/or facilities that have been affected by weather conditions.



Angel G. López-Guzmán

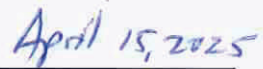
Deputy Director

Permits and Environmental Compliance Division
Disaster Recovery Office

Address: P.O. Box 21365 San Juan, PR 00928

Telephone and Ext: 787-274-2527 ext. 4320

Email: environmentcdbg@vivienda.pr.gov



Date

ATTACHMENTS

Description of the Proposed Project [24 CFR 50.12 & 58.32; 40 CFR 1508.25]:

The proposed project involves the rehabilitation and enhancement of the Plaza de Música, located at Guillermo Esteves Street, Solar 1, in the Municipality of Jayuya, Puerto Rico. The site, covering 288.75 square meters, is designated as Commercial Intermedio (C-I) under zoning regulations and Suelo Urbano (SU) under the land use plan classification. The project aims to modernize the existing public plaza by improving its infrastructure, accessibility, and overall functionality while preserving its historical and cultural significance.

The scope of work includes public space enhancements, accessibility improvements, infrastructure upgrades, and environmental resilience measures. The project will install new seating areas, shaded structures, and urban furniture to improve user comfort. Pedestrian pathways will be reconstructed to comply with ADA (Americans with Disabilities Act) standards, ensuring accessibility for all users. Additionally, lighting and security features will be upgraded to enhance visibility and safety. Electrical infrastructure will be modified, including the relocation and reinforcement of conduits and lighting systems, while stormwater drainage will be improved to manage runoff efficiently.

A lightweight canopy structure will be installed above the existing bleachers to provide shade and weather protection. The canopy's supporting structure will be anchored directly to the bleachers using mechanical anchors and epoxy resin, avoiding excavation. If additional foundation support is required, it will be incorporated within newly designed planters, ensuring minimal impact on the existing slab. Green spaces will be integrated through the installation of new planters, improving the plaza's aesthetic appeal and microclimate. To facilitate proper drainage, selective concrete slab removal will be conducted without disturbing the underlying ground.

The construction phase will be carefully managed to minimize disruptions and environmental impacts. Since the site is already developed as a public plaza, no excavation will be required beyond localized work for drainage and planter installations. Noise and dust control measures will be implemented, and all activities will comply with HUD, NEPA, Section 106, and floodplain management regulations.

The site is owned by the Municipality of Jayuya, eliminating the need for land acquisition and allowing for efficient project execution under CDBG funding. The Plaza de Música improvement project will enhance community engagement, accessibility, and environmental resilience, strengthening Jayuya's urban and cultural landscape while ensuring long-term functionality and sustainability.

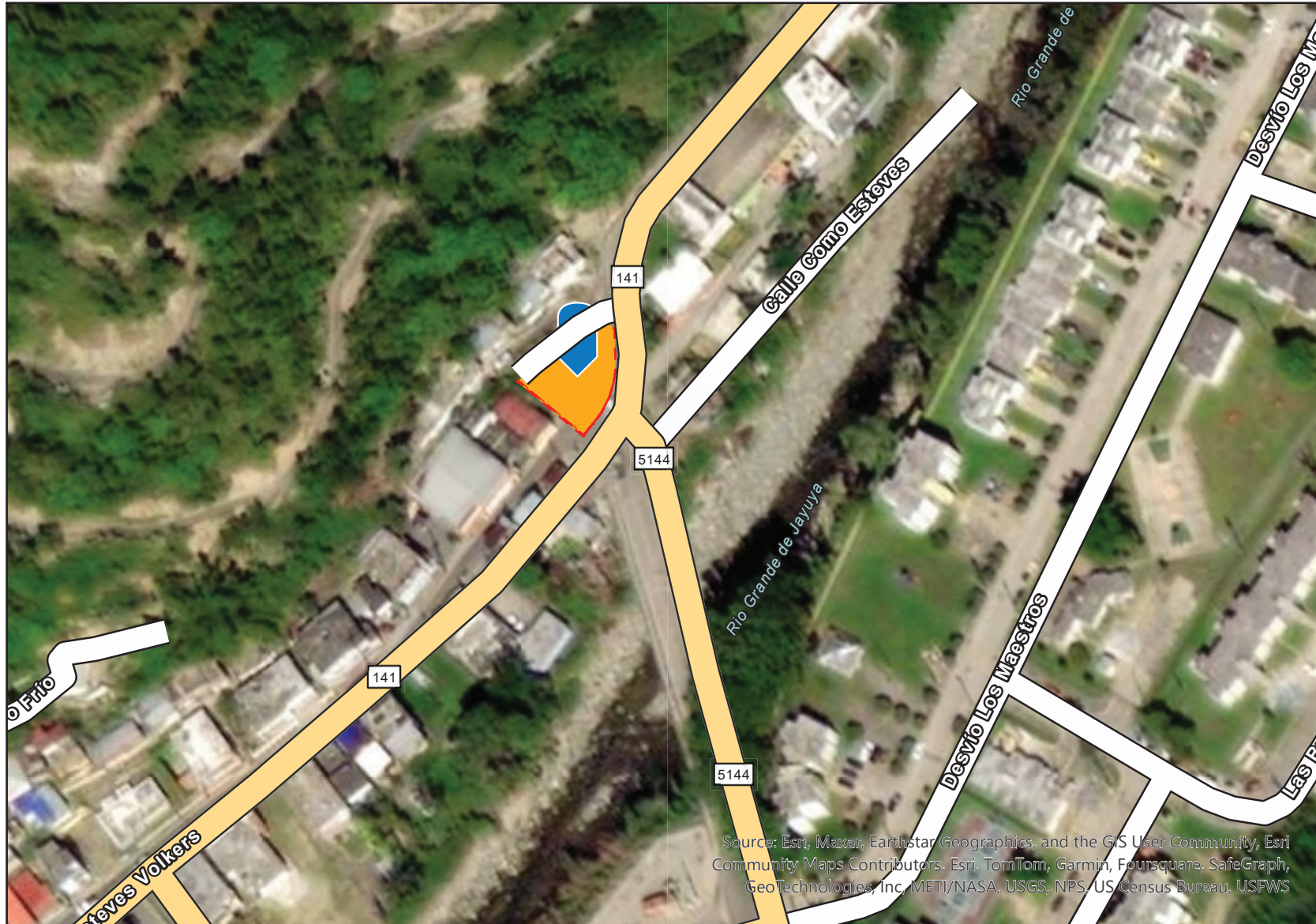
PROJECT LOCATION MAP

MEJORAS EN LA PLAZA DE LA MÚSICA



PROJECT ID: PR-CRP-000054

ADDRESS: GUILLERMO ESTEVES ST SOLAR 1 JAYUYA PR 00664

GEOGRAPHIC COORDINATES (LAT/LONG): 18.221549, -66.588312



Legend

-  Project Location
-  Project Footprint (288.75 m2)

Source: <https://catastro.crimpr.net/cdprpc/>

Spatial reference: WGS 1984 Web Mercator (auxiliary sphere)_1



105 0 10 20 30 40
 Meters





U.S. Fish and Wildlife Service

National Wetlands Inventory

PR-CRP-000054 Jayuya

Mejoras en la Plaza de La Música (PR-CRP-000054)

18.221549°, -66.588312°

GUILLERMO ESTEVES ST SOLAR 1 JAYUYA PR 00664



U.S. Fish and Wildlife Service National Wetlands Inventory Support Team,
wetlands_team@fws.gov

March 19, 2025

Wetlands

	Estuarine and Marine Deepwater		Freshwater Emergent Wetland		Lake
	Estuarine and Marine Wetland		Freshwater Forested/Shrub Wetland		Other
			Freshwater Pond		Riverine



This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

Prepared by 



United States Department of the Interior



FISH AND WILDLIFE SERVICE
Caribbean Ecological Services Field Office
Post Office Box 491
Boqueron, PR 00622-0491
Phone: (939) 320-3135 Fax: (787) 851-7440
Email Address: CARIBBEAN_ES@FWS.GOV

In Reply Refer To:

02/21/2025 17:10:16 UTC

Project code: 2025-0059628

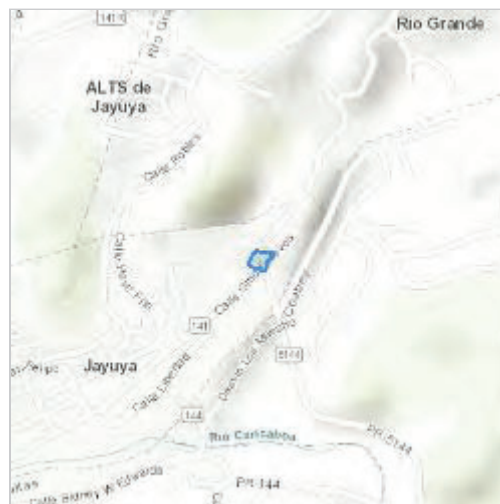
Project Name: Mejoras en la Plaza de La Música / PR-CRP-000054

Subject: Technical Assistance letter for the project named 'Mejoras en la Plaza de La Música / PR-CRP-000054' for specified threatened and endangered species, that may occur in your proposed project location, pursuant to the IPaC determination key titled Caribbean Determination Key (DKey).

Dear Applicant:

Thank you for using the assisted evaluation keys in IPaC. This letter is provided pursuant to the Service's authority under the Endangered Species Act of 1973, as amended (ESA) (87 Stat. 884; 16 U.S.C. 1531et seq.). On February 21, 2025, Marcos Rodriguez used the Caribbean DKey; dated January 03, 2025, in the U.S. Fish and Wildlife Service's online [IPaC application](#) to evaluate potential impacts to federally listed species, from a project named 'Mejoras en la Plaza de La Música / PR-CRP-000054'. The project is located in Jayuya County, Puerto Rico (shown below).

The approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/@18.2215262,-66.58829462859603,14z>



The following description was provided for the project 'Mejoras en la Plaza de La Música / PR-CRP-000054':

The proposed project consists of the rehabilitation and modernization of an existing public plaza in the Municipality of Jayuya, Puerto Rico. The scope of work includes infrastructure improvements, replacement of urban furniture, installation of lighting, and accessibility enhancements. These upgrades aim to enhance the functionality and safety of the public space while maintaining its existing use.

The project will not involve new building construction, excavation, or significant ground disturbance. All installations, including electrical conduit adjustments, urban furniture, and lighting, will be anchored to the existing concrete slab to prevent soil disruption. Additionally, planters will be constructed above existing grade, ensuring proper stormwater drainage without altering natural water flow.

This project is funded through HUD's Community Development Block Grant (CDBG-DR) program and is categorized as Categorically Excluded per 24 CFR 58.35(a). All applicable environmental reviews, including floodplain management, historic preservation, and environmental justice, have been conducted in compliance with HUD and federal regulations.

Based on your answers and the assistance of the Service's Caribbean DKey, you determined the proposed Action will have "No Effect" on the following species:

Species	Listing Status	Determination
Puerto Rican Boa (<i>Chilabothrus inornatus</i>)	Endangered	No effect
Puerto Rican Broad-winged Hawk (<i>Buteo platypterus brunnescens</i>)	Endangered	No effect

Thank you for informing the Service of your "No Effect" determination(s) for this project. No further consultation/coordination for this project is required for these species. However, be aware that reinitiation of consultation may be necessary if later modifications are made to the project so that it no longer meets the criteria or outcome described above, or if new information reveals effects of the action that could affect listed species or critical habitat in a manner or to an extent not previously considered, or if a new species is listed.

This letter serves as documentation of your consideration of the federally listed species as required under section 7 of the ESA. However, effects to the other federally listed species or critical habitat as listed below from the "IPaC print-out for the project" (see below) should be considered as part of your ESA review for the project.

The Service will notify you within 30 calendar days if we determine that this proposed Action does not meet the criteria for a "No Effect" (NE) determination for Federally listed species in the Caribbean. If we do not notify you within that timeframe, you may proceed with the Action under the terms of the NE concurrence provided here. This verification period allows the Caribbean Ecological Services Field Office to apply local knowledge to evaluate the Action, as

we may identify a small subset of actions having unanticipated impacts. In such instances, the Caribbean Ecological Services Field Office may request additional information to verify the effects determination reached through the DKey.

Note: Projects located within the range of the Puerto Rican boa or the Virgin Islands tree boa might encounter these species during project activities. **This letter does not provide take to handle or move these species.** If relocation of the species is needed, please contact either the Puerto Rico Department of Natural Resources (DNER) at 787-724-5700, 787-230-5550, or 787-771-1124 for projects in Puerto Rico, or the Virgin Islands Department of Planning and Natural Resources, Division of Fish and Wildlife (DFW) at 340-775-6762 for projects in the Virgin Islands. Otherwise, contact the Caribbean Ecological Services Field Office (caribbean_es@fws.gov) to determine whether the consultation needs to be reinitiated.

In addition to the species listed above, the following species and/or critical habitats may also occur in your project area and **are not** covered by this conclusion. Effects to the other federally listed species or critical habitat as listed below should be considered as part of your ESA review for the project.

- Puerto Rican Harlequin Butterfly *Atlantea tulita* Threatened
- Puerto Rican Parrot *Amazona vittata* Endangered

If the proposed project is located within species range where a DKey has not been developed for those species, please follow the established guidance for initiating section 7 consultation Caribbean Ecological Services Field Office.

We appreciate your interest in protecting endangered species and their habitats. It is the Service's mission to work with others to conserve, protect, and enhance fish, wildlife, and plants and their habitats for the continuing benefit of our people. If you have any questions or require additional information, please contact our office at Caribbean_es@fws.gov.

Action Description

You provided to IPaC the following name and description for the subject Action.

1. Name

Mejoras en la Plaza de La Música / PR-CRP-000054

2. Description

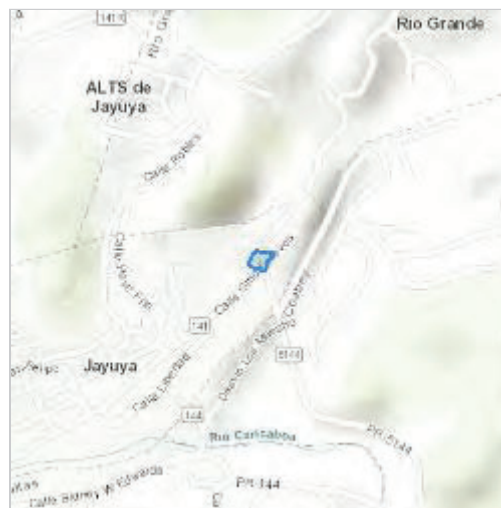
The following description was provided for the project 'Mejoras en la Plaza de La Música / PR-CRP-000054':

The proposed project consists of the rehabilitation and modernization of an existing public plaza in the Municipality of Jayuya, Puerto Rico. The scope of work includes infrastructure improvements, replacement of urban furniture, installation of lighting, and accessibility enhancements. These upgrades aim to enhance the functionality and safety of the public space while maintaining its existing use.

The project will not involve new building construction, excavation, or significant ground disturbance. All installations, including electrical conduit adjustments, urban furniture, and lighting, will be anchored to the existing concrete slab to prevent soil disruption. Additionally, planters will be constructed above existing grade, ensuring proper stormwater drainage without altering natural water flow.

This project is funded through HUD's Community Development Block Grant (CDBG-DR) program and is categorized as Categorically Excluded per 24 CFR 58.35(a). All applicable environmental reviews, including floodplain management, historic preservation, and environmental justice, have been conducted in compliance with HUD and federal regulations.

The approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/@18.2215262,-66.5882946,2859603,14z>



QUALIFICATION INTERVIEW

1. Is the proposed project an EPA Multi-Sector General Permit (MSGP) renewal for an existing project? ([MSGP Fact Sheet](#))

No

2. Is the proposed project within an urban developed area? (i.e., cities, downtowns, shopping malls etc.)

Note: Urban and developed areas has one or more of the following characteristics: Presence of existing buildings, residential areas, and commercial establishments. Well-established infrastructure including roads, utilities, and urban facilities. High population density. Established neighborhoods and urban amenities ("urbanizaciones"). Developed landscape with paved surfaces, parking lots, and industrial areas. Signs of human activity and urbanization, such as shopping centers and recreational facilities. Location within the boundaries of a city or town ("casco urbano"). High concentration of built-up structures and limited open spaces. Aerial imagery might be requested to the applicant. .

Yes

3. [Hidden Semantic] Does the proposed project intersect the Puerto Rican boa area of influence?

Automatically answered

Yes

4. Does the proposed project intersect the Puerto Rican Broad-winged hawk area of influence?

Automatically answered

Yes

IPAC USER CONTACT INFORMATION

Agency: Private Entity

Name: Marcos Rodriguez

Address: Ave.Boulevard c/ Lealtad, Mansión del Mar, 00949

City: Toa Baja

State: PR

Zip: 00949

Email: mrodriguez@berrios.consulting

Phone: 7876004552

LEAD AGENCY CONTACT INFORMATION

Lead Agency: Department of Housing and Urban Development



United States Department of the Interior



FISH AND WILDLIFE SERVICE
Caribbean Ecological Services Field Office
Post Office Box 491
Boqueron, PR 00622-0491
Phone: (939) 320-3135 Fax: (787) 851-7440
Email Address: CARIBBEAN_ES@FWS.GOV

In Reply Refer To:

02/21/2025 17:01:56 UTC

Project Code: 2025-0059628

Project Name: Mejoras en la Plaza de La Música / PR-CRP-000054

Subject: List of threatened and endangered species that may occur in your proposed project location or may be affected by your proposed project

To Whom It May Concern:

THE FOLLOWING SPECIES LIST IS NOT A SECTION 7 CONSULTATION. PLEASE CONTACT OUR OFFICE TO COMPLETE THE CONSULTATION PROCESS

The purpose of the Endangered Species Act (Act) is to provide a means whereby threatened, and endangered species and the ecosystems upon which they depend may be conserved. Under sections 7(a)(1) and 7(a)(2) of the Act and its implementing regulations (50 CFR 402 et seq.), Federal agencies are required to utilize their authorities to carry out programs for the conservation of threatened and endangered species and to determine whether projects may affect those species and/or their designated critical habitat.

Federal agencies are required to "request of the Secretary of Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action". The enclosed species list provides information to assist with the U.S. Fish and Wildlife Service (Service) consultation process under section 7 of the Act. However, **the enclosed species list does not complete the required consultation process**. The species list identifies threatened, endangered, proposed and candidate species, as well as proposed and designated critical habitats, that may occur within the boundary of your proposed project and/or may be affected by your proposed project. A discussion between the Federal agency and the Service should include what types of listed species may occur in the proposed action area and what effect the proposed action may have on those species. This process initiates informal consultation.

Once a species list is obtained for the proposed project, an effect determination for endangered and threatened species should be made. The applicant could make an effect determination by using available keys on IPaC for specific species. For species with no determination keys, the applicant should request concurrence from the Service by sending a project package

to caribbean_es@fws.gov. To obtain guidance for completing this process and the minimum requirements for project packages, please visit:

<https://www.fws.gov/sites/default/files/documents/consultation-under-section-7-of-the-endangered-species-act-with-the-caribbean-ecological%20Services-field-office-template-letter.pdf>

When a federal agency, after discussions with the Service, determines that the proposed action is not likely to adversely affect any listed species, or adversely modify any designated critical habitat, and the Service concurs, the informal consultation is complete, and the proposed project moves ahead. If the proposed action is suspected to affect a listed species or modify designated critical habitat, the Federal agency may then prepare a Biological Assessment (B.A.) to assist in its determination of the project's effects on species and their habitat. However, a B.A. is required for construction projects (or other undertakings having similar physical impacts) that are major Federal actions significantly affecting the quality of the human environment as defined in the National Environmental Policy Act (42 U.S.C. 4332(2) (c)). For projects other than major construction activities, the Service suggests that a biological evaluation similar to a B.A. where the agency provides the Service with an evaluation on the likely effects of the action to determine whether the project may affect listed or proposed species and/or designated or proposed critical habitat. Recommended contents of a B.A. are described at 50 CFR 402.12.

If a federal agency determines, based on its B.A. or biological evaluation, that listed species and/or designated critical habitat may be affected by the proposed project, the agency is required to further consult with the Service pursuant to 50 CFR 402. In addition, the Service recommends that candidate species, proposed species, and proposed critical habitat be addressed within the consultation process. More information on the regulations and procedures for section 7 consultation, including the role of permit or license applicants, can be found in the "Endangered Species Consultation Handbook" at:

<https://www.fws.gov/sites/default/files/documents/endangered-species-consultation-handbook.pdf>

New information based on updated surveys, changes in the abundance and distribution of species, changed habitat conditions, or other factors could change this list. Please feel free to contact us if you need more current information or assistance regarding the potential impacts to federally proposed, listed, and candidate species.

This list is provided pursuant to Section 7 of the Endangered Species Act and fulfills the requirement for Federal agencies to "request of the Secretary of the Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action". Please use this list to determine whether your project requires consultation and to make your effects determination. For more guidance, use the Guideline for Consultation under Section 7 of the Endangered Species Act with the Caribbean Ecological Services Field Office by clicking [here](#).

This species list is provided by:

Caribbean Ecological Services Field Office

caribbean_es@fws.gov

Post Office Box 491

Boqueron, PR 00622-0491

(786) 244-0081

Attachment(s):

- Official Species List
- USFWS National Wildlife Refuges and Fish Hatcheries
- Bald & Golden Eagles
- Migratory Birds
- Wetlands

OFFICIAL SPECIES LIST

This list is provided pursuant to Section 7 of the Endangered Species Act, and fulfills the requirement for Federal agencies to "request of the Secretary of the Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action".

This species list is provided by:

Caribbean Ecological Services Field Office

Post Office Box 491

Boqueron, PR 00622-0491

(939) 320-3135

PROJECT SUMMARY

Project Code: 2025-0059628
Project Name: Mejoras en la Plaza de La Música / PR-CRP-000054
Project Type: Government / Municipal (Non-Military) Construction
Project Description: The proposed project consists of the rehabilitation and modernization of an existing public plaza in the Municipality of Jayuya, Puerto Rico. The scope of work includes infrastructure improvements, replacement of urban furniture, installation of lighting, and accessibility enhancements. These upgrades aim to enhance the functionality and safety of the public space while maintaining its existing use.

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This project is funded through HUD's Community Development Block Grant (CDBG-DR) program and is categorized as Categorically Excluded per 24 CFR 58.35(a). All applicable environmental reviews, including floodplain management, historic preservation, and environmental justice, have been conducted in compliance with HUD and federal regulations.

Project Location:

The approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/@18.2215262,-66.58829462859603,14z>



Counties: Jayuya County, Puerto Rico

ENDANGERED SPECIES ACT SPECIES

There is a total of 4 threatened, endangered, or candidate species on this species list.

Species on this list should be considered in an effects analysis for your project and could include species that exist in another geographic area. For example, certain fish may appear on the species list because a project could affect downstream species.

IPaC does not display listed species or critical habitats under the sole jurisdiction of NOAA Fisheries¹, as USFWS does not have the authority to speak on behalf of NOAA and the Department of Commerce.

See the "Critical habitats" section below for those critical habitats that lie wholly or partially within your project area under this office's jurisdiction. Please contact the designated FWS office if you have questions.

-
1. [NOAA Fisheries](#), also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

BIRDS

NAME	STATUS
Puerto Rican Broad-winged Hawk <i>Buteo platypterus brunnescens</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/5512	Endangered
Puerto Rican Parrot <i>Amazona vittata</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/3067	Endangered

REPTILES

NAME	STATUS
Puerto Rican Boa <i>Chilabothrus inornatus</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/6628 General project design guidelines: https://ipac.ecosphere.fws.gov/project/4QIJLPZ4RBHMPGZ5MOFLTUSJGA/documents/generated/7159.pdf	Endangered

INSECTS

NAME	STATUS
Puerto Rican Harlequin Butterfly <i>Atlantea tulita</i> There is final critical habitat for this species. Your location does not overlap the critical habitat. Species profile: https://ecos.fws.gov/ecp/species/9005 General project design guidelines: https://ipac.ecosphere.fws.gov/project/4QIJLPZ4RBHMPGZ5MOFLTUSJGA/documents/generated/7168.pdf	Threatened

CRITICAL HABITATS

THERE ARE NO CRITICAL HABITATS WITHIN YOUR PROJECT AREA UNDER THIS OFFICE'S JURISDICTION.

YOU ARE STILL REQUIRED TO DETERMINE IF YOUR PROJECT(S) MAY HAVE EFFECTS ON ALL ABOVE LISTED SPECIES.

USFWS NATIONAL WILDLIFE REFUGE LANDS AND FISH HATCHERIES

Any activity proposed on lands managed by the [National Wildlife Refuge](#) system must undergo a 'Compatibility Determination' conducted by the Refuge. Please contact the individual Refuges to discuss any questions or concerns.

THERE ARE NO REFUGE LANDS OR FISH HATCHERIES WITHIN YOUR PROJECT AREA.

BALD & GOLDEN EAGLES

Bald and Golden Eagles are protected under the Bald and Golden Eagle Protection Act ² and the Migratory Bird Treaty Act (MBTA) ¹. Any person or organization who plans or conducts activities that may result in impacts to Bald or Golden Eagles, or their habitats, should follow appropriate regulations and consider implementing appropriate avoidance and minimization measures, as described in the various links on this page.

1. The [Bald and Golden Eagle Protection Act](#) of 1940.
2. The [Migratory Birds Treaty Act](#) of 1918.
3. 50 C.F.R. Sec. 10.12 and 16 U.S.C. Sec. 668(a)

THERE ARE NO BALD AND GOLDEN EAGLES WITHIN THE VICINITY OF YOUR PROJECT AREA.

MIGRATORY BIRDS

The Migratory Bird Treaty Act (MBTA) ¹ prohibits the take (including killing, capturing, selling, trading, and transport) of protected migratory bird species without prior authorization by the Department of Interior U.S. Fish and Wildlife Service (Service). The incidental take of migratory birds is the injury or death of birds that results from, but is not the purpose, of an activity. The Service interprets the MBTA to prohibit incidental take.

1. The [Migratory Birds Treaty Act](#) of 1918.
2. The [Bald and Golden Eagle Protection Act](#) of 1940.
3. 50 C.F.R. Sec. 10.12 and 16 U.S.C. Sec. 668(a)

THERE ARE NO FWS MIGRATORY BIRDS OF CONCERN WITHIN THE VICINITY OF YOUR PROJECT AREA.

WETLANDS

Impacts to [NWI wetlands](#) and other aquatic habitats may be subject to regulation under Section 404 of the Clean Water Act, or other State/Federal statutes.

For more information please contact the Regulatory Program of the local [U.S. Army Corps of Engineers District](#).

Please note that the NWI data being shown may be out of date. We are currently working to update our NWI data set. We recommend you verify these results with a site visit to determine the actual extent of wetlands on site.

THERE ARE NO WETLANDS WITHIN YOUR PROJECT AREA.

IPAC USER CONTACT INFORMATION

Agency: Private Entity

Name: Marcos Rodriguez

Address: Ave.Boulevard c/ Lealtad, Mansión del Mar, 00949

City: Toa Baja

State: PR

Zip: 00949

Email: mrodriguez@berrios.consulting

Phone: 7876004552

LEAD AGENCY CONTACT INFORMATION

Lead Agency: Department of Housing and Urban Development

Existing site conditions Photographic log

Mejoras en la Plaza de La Música

PR-CRP-000054

64 Calle Guillermo Esteves, Jayuya, Puerto Rico

Photos dated January 2025



PH-1
View of plaza from across the street of project site



PH-2
View of plaza from across the street of project site



PH-3
View of plaza from across the street of project site



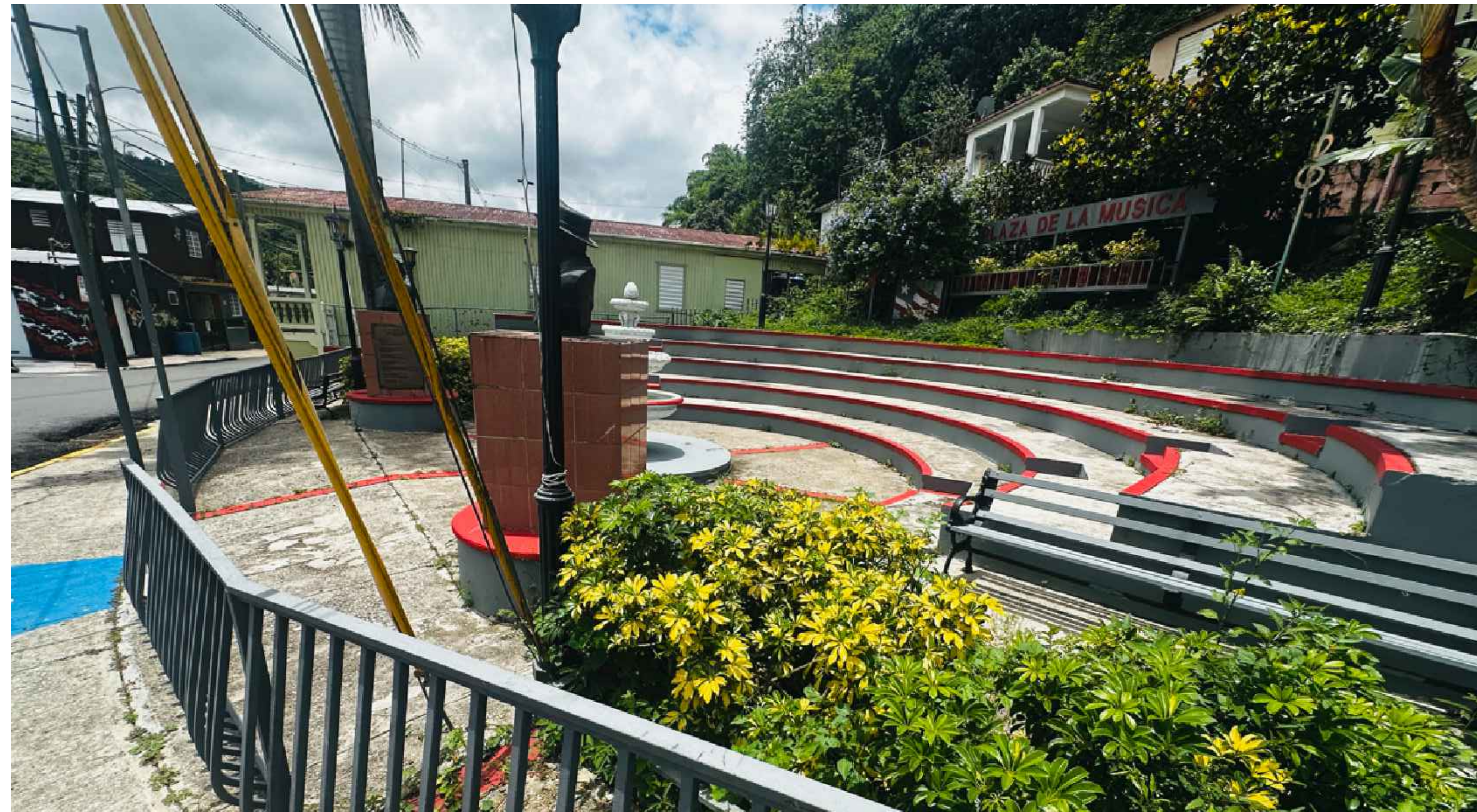
PH-4
View of existing conditions from plaza interior



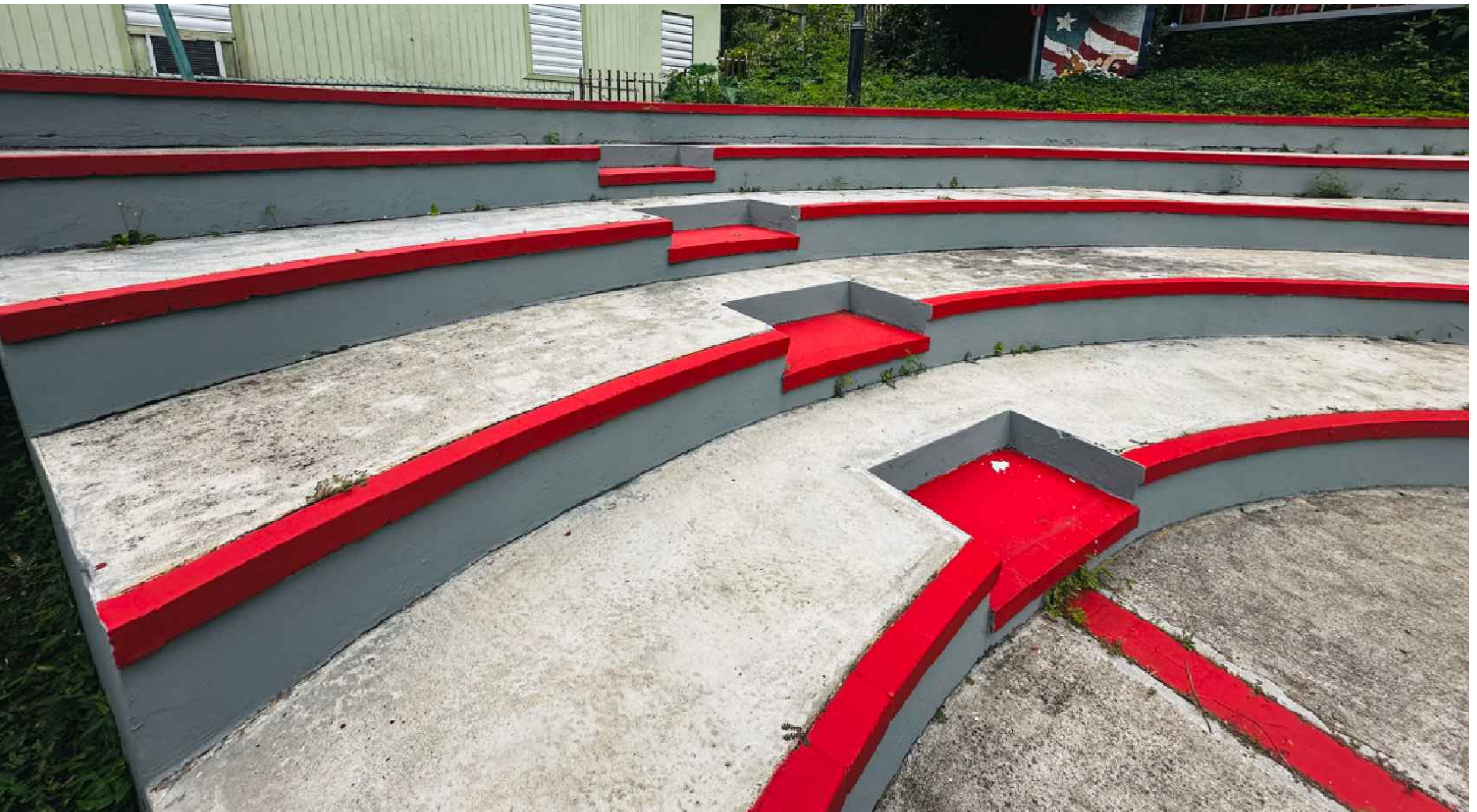
PH-5
View of existing conditions from plaza interior



PH-6
View of existing conditions from plaza interior



PH-7
View of existing conditions from outside plaza fence



PH-8
View of existing conditions from plaza interior



PH-9
Existing conditions of the plaza (broken concrete and deterioration)



PH-10
Existing conditions of the plaza (broken concrete and deterioration)



PH-11
Existing conditions of the plaza (broken concrete and deterioration)



PH-12
Existing conditions of the plaza (broken concrete and deterioration)



PH-13
Detail of existing conditions of the plaza



PH-14
Detail of existing conditions of the plaza



PH-15
Detail of existing conditions of the plaza



PH-16
Detail of existing conditions of the plaza

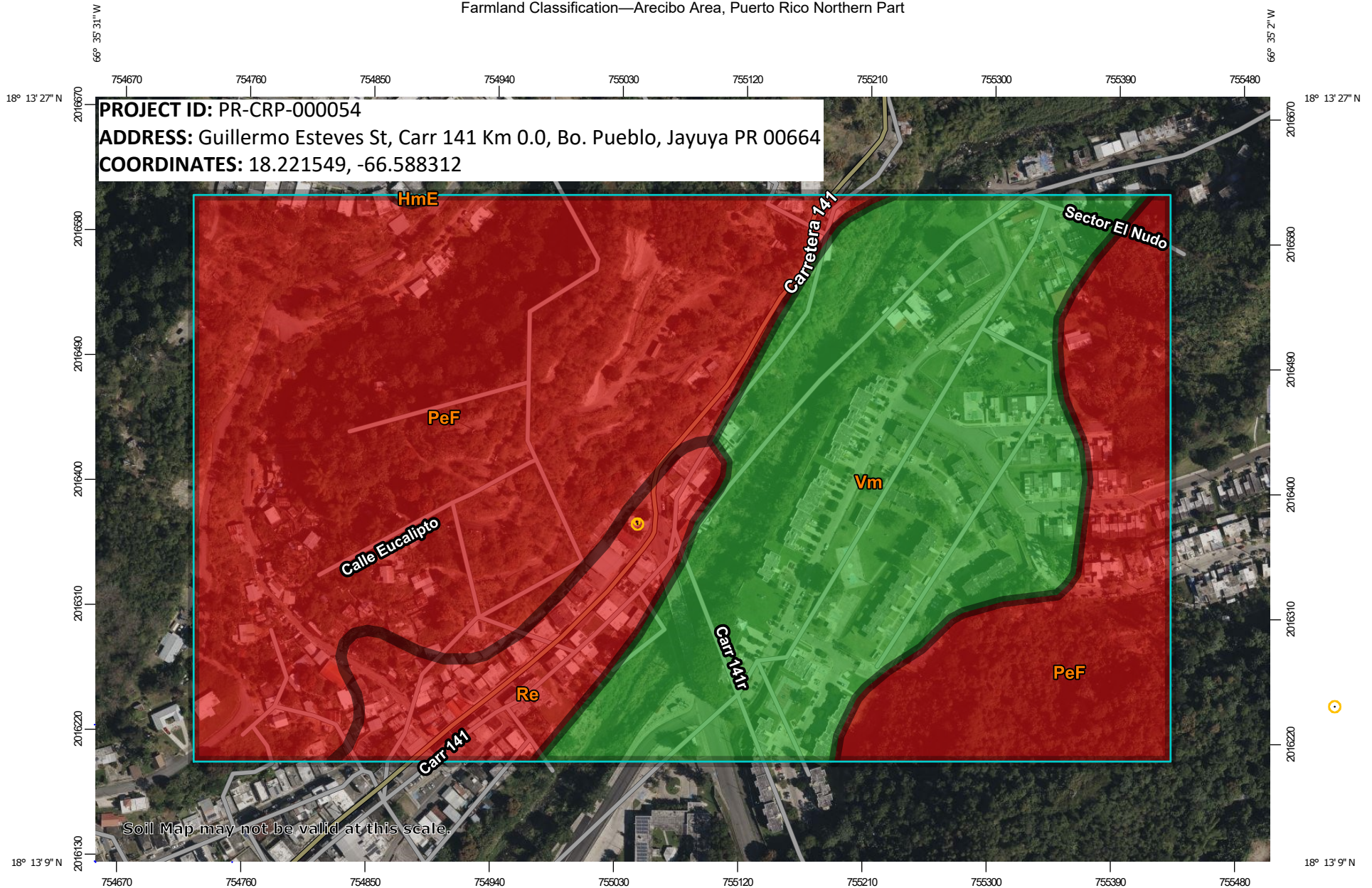
Appendix J: Farmlands Protection

Farmland Classification—Arecibo Area, Puerto Rico Northern Part

PROJECT ID: PR-CRP-000054

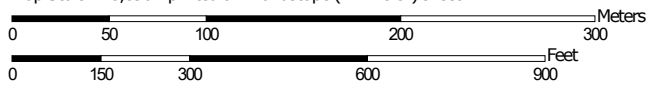
ADDRESS: Guillermo Esteves St, Carr 141 Km 0.0, Bo. Pueblo, Jayuya PR 00664

COORDINATES: 18.221549, -66.588312



Soil Map may not be valid at this scale.

Map Scale: 1:3,890 if printed on A landscape (11" x 8.5") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 19N WGS84




**Natural Resources
Conservation Service**

Web Soil Survey
National Cooperative Soil Survey

3/25/2025
Page 1 of 5









MAP LEGEND








Area of Interest (AOI)






-  Area of Interest (AOI)








Soils



Soil Rating Polygons

-  Not prime farmland
-  All areas are prime farmland
-  Prime farmland if drained
-  Prime farmland if protected from flooding or not frequently flooded during the growing season
-  Prime farmland if irrigated
-  Prime farmland if drained and either protected from flooding or not frequently flooded during the growing season
-  Prime farmland if irrigated and drained
-  Prime farmland if irrigated and either protected from flooding or not frequently flooded during the growing season









-  Prime farmland if subsoiled, completely removing the root inhibiting soil layer
-  Prime farmland if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60
-  Prime farmland if irrigated and reclaimed of excess salts and sodium
-  Farmland of statewide importance
-  Farmland of statewide importance, if drained
-  Farmland of statewide importance, if protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if irrigated

-  Farmland of statewide importance, if drained and either protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if irrigated and drained
-  Farmland of statewide importance, if irrigated and either protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if subsoiled, completely removing the root inhibiting soil layer
-  Farmland of statewide importance, if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60

-  Farmland of statewide importance, if irrigated and reclaimed of excess salts and sodium
-  Farmland of statewide importance, if drained or either protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if warm enough, and either drained or either protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if warm enough
-  Farmland of statewide importance, if thawed
-  Farmland of local importance
-  Farmland of local importance, if irrigated

-  Farmland of unique importance
-  Not rated or not available

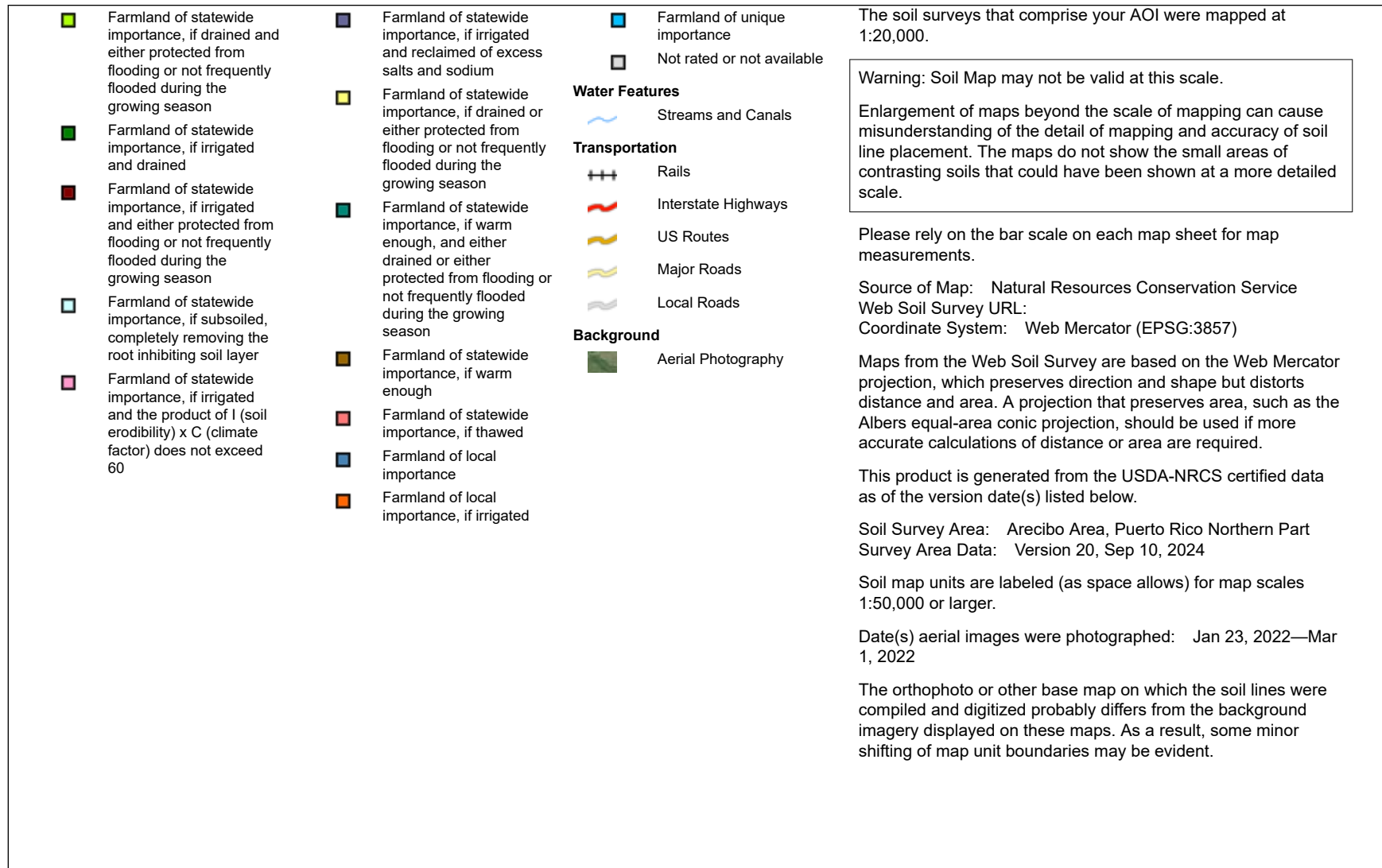
Soil Rating Lines

-  Not prime farmland
-  All areas are prime farmland
-  Prime farmland if drained
-  Prime farmland if protected from flooding or not frequently flooded during the growing season
-  Prime farmland if irrigated
-  Prime farmland if drained and either protected from flooding or not frequently flooded during the growing season
-  Prime farmland if irrigated and drained
-  Prime farmland if irrigated and either protected from flooding or not frequently flooded during the growing season

Farmland Classification—Arecibo Area, Puerto Rico Northern Part

	Prime farmland if subsoiled, completely removing the root inhibiting soil layer		Farmland of statewide importance, if drained and either protected from flooding or not frequently flooded during the growing season		Farmland of statewide importance, if irrigated and reclaimed of excess salts and sodium		Farmland of unique importance		Prime farmland if subsoiled, completely removing the root inhibiting soil layer
	Prime farmland if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60		Farmland of statewide importance, if irrigated and drained		Farmland of statewide importance, if drained or either protected from flooding or not frequently flooded during the growing season	Soil Rating Points			Prime farmland if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60
	Prime farmland if irrigated and reclaimed of excess salts and sodium		Farmland of statewide importance, if irrigated and either protected from flooding or not frequently flooded during the growing season		Farmland of statewide importance, if warm enough, and either drained or either protected from flooding or not frequently flooded during the growing season		Not prime farmland		Prime farmland if irrigated and reclaimed of excess salts and sodium
	Farmland of statewide importance		Farmland of statewide importance, if subsoiled, completely removing the root inhibiting soil layer		Farmland of statewide importance, if thawed		Prime farmland if protected from flooding or not frequently flooded during the growing season		Farmland of statewide importance
	Farmland of statewide importance, if drained		Farmland of statewide importance, if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60		Farmland of local importance		Prime farmland if irrigated		Farmland of statewide importance, if drained
	Farmland of statewide importance, if protected from flooding or not frequently flooded during the growing season				Farmland of local importance, if irrigated		Prime farmland if drained and either protected from flooding or not frequently flooded during the growing season		Farmland of statewide importance, if protected from flooding or not frequently flooded during the growing season
	Farmland of statewide importance, if irrigated						Prime farmland if drained and either protected from flooding or not frequently flooded during the growing season		Farmland of statewide importance, if irrigated

Farmland Classification—Arecibo Area, Puerto Rico Northern Part



Farmland Classification

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
HmE	Humatas clay, 20 to 40 percent slopes	Farmland of statewide importance	0.0	0.0%
PeF	Pellejas clay loam, 40 to 60 percent slopes	Not prime farmland	42.5	59.3%
Re	Reilly gravelly silt loam	Not prime farmland	5.7	8.0%
Vm	Vivi loam	All areas are prime farmland	23.4	32.7%
Totals for Area of Interest			71.6	100.0%

Description

Farmland classification identifies map units as prime farmland, farmland of statewide importance, farmland of local importance, or unique farmland. It identifies the location and extent of the soils that are best suited to food, feed, fiber, forage, and oilseed crops. NRCS policy and procedures on prime and unique farmlands are published in the "Federal Register," Vol. 43, No. 21, January 31, 1978.

Rating Options

Aggregation Method: No Aggregation Necessary

Tie-break Rule: Lower

Appendix K: Floodplain Management

PROJECT ID: PR-CRP-000054

ADDRESS: Guillermo Esteves St, Carr 141 Km 0.0, Bo. Pueblo, Jayuya PR 00664

GEOGRAPHIC COORDINATES (LAT/LONG): 18.221549, -66.588312



Mapa de Niveles de Inundación Base Recomendados Para propósitos de nueva construcción o mejora substancial.

Estos mapas desarrollados por la Agencia Federal para el Manejo de Emergencias (FEMA, por sus siglas en inglés) identifican cuales áreas se encuentran en las nuevas zonas inundables recomendadas del 1% y 2% de probabilidad, así como los niveles de inundación base recomendados (ABFE, por sus siglas en inglés) que pueden afectar las prácticas de construcción en Puerto Rico.

Zona Inundabilidad	Porcentaje
A	54.5
X (0.2% ACF)	30.5
Fuera mapa (ABFE)	15.0

Nivel de Inundación Base Recomendado: 440.2 m.

Panel Inundabilidad: 72000C1105H

Fecha de Efectividad: 18 de abril de 2018

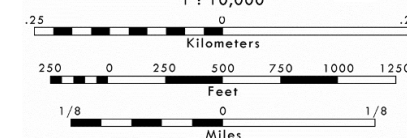
Ver Resolución JP-ABFE_01 del 23 de marzo de 2018

Leyenda	
Hidrografía	A
Límite ABFE	AE
Cauce Mayor	AO
	Coastal A Zone
	VE
	X (0.2% ACF)

Notas:

La elevación de inundación base que se muestra en este mapa utiliza el nivel medio del mar (MSL). Se advierte al usuario que toda información obtenida del mapa deberá corroborarse con el Estudio del Seguro de Inundación (FIS, por sus siglas en inglés) de Puerto Rico. Se deberá utilizar la tabla de niveles de inundación provista por dicho estudio que muestra la elevación para inundación, dichos datos deberán ser utilizados en proyectos de construcción o propósitos relacionados con la administración de Valles Inundables en Puerto Rico cuando estos sean mayores a las elevaciones que muestra el mapa de Inundaciones (FIRM).

MAP SCALE
1 : 10,000



ADVISORY BASE FLOOD ELEVATION MAP PLAZA DE LA MÚSICA

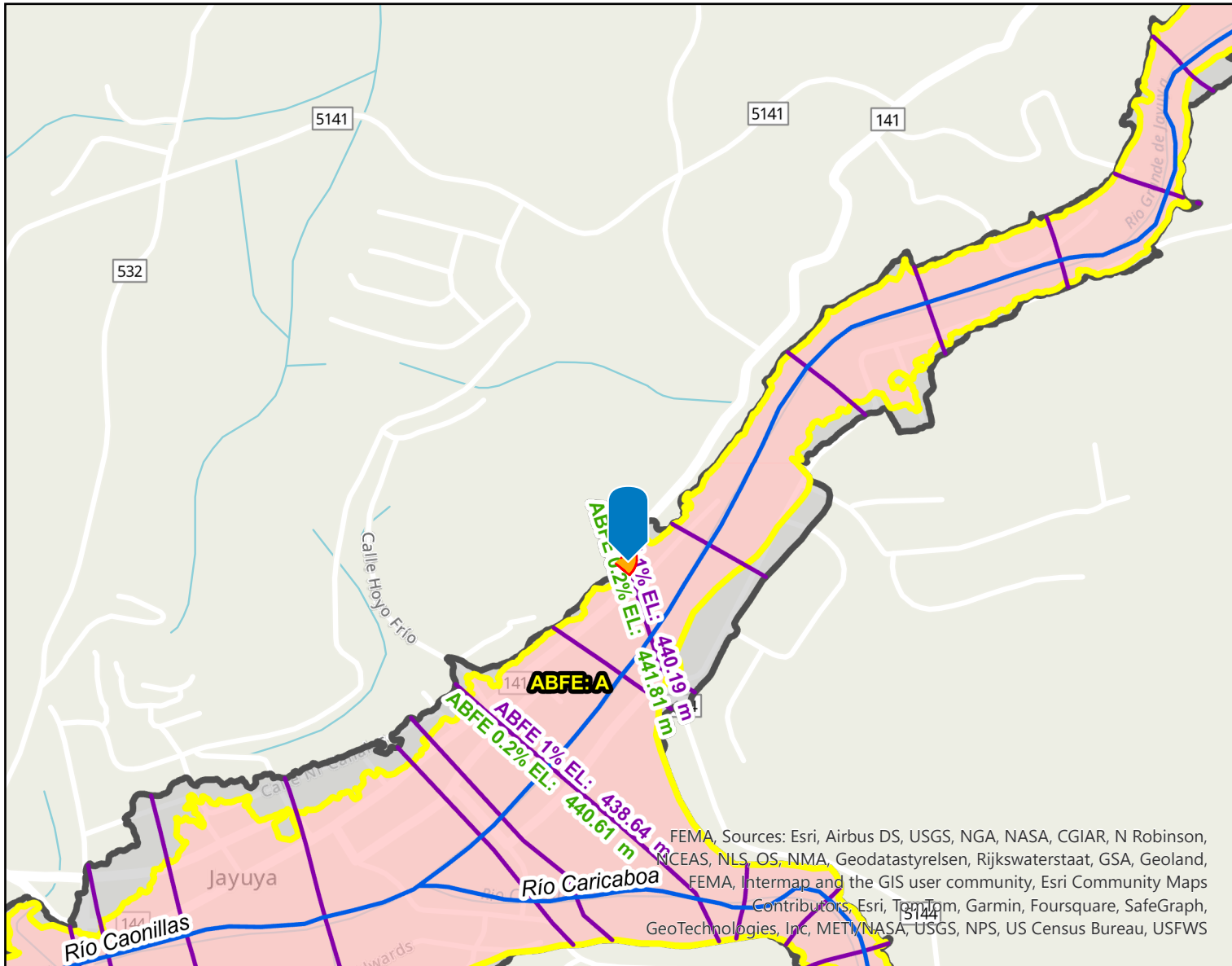
PROJECT ID: PR-CRP-000054

ADDRESS: Guillermo Esteves St, Carr 141 Km 0.0, Bo. Pueblo, Jayuya PR 00664

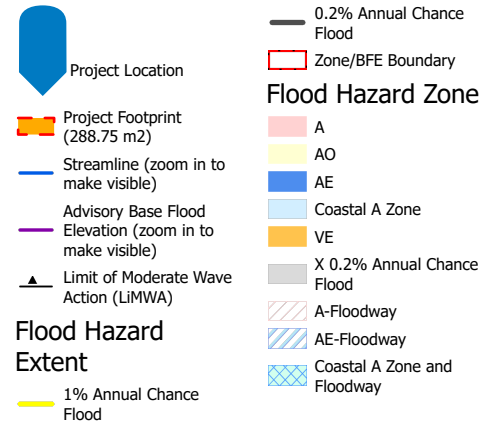
GEOGRAPHIC COORDINATES (LAT/LONG): 18.221549, -66.588312



Earthstar Geographics

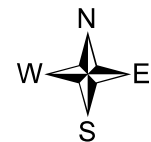


Legend



Source: https://gis.fema.gov/arcgis/rest/services/DR/PuertoRico_ABFE_1PCT/MapServer

Spatial reference: WGS 1984
Web Mercator



0 75 150 300 Meters



FEMA, Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community, Esri Community Maps Contributors, Esri, TomTom, Garmin, Foursquare, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, NPS, US Census Bureau, USFWS

U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT

5-STEP DECISION-MAKING PROCESS

Project number:	PR-CRP-000054
Project name:	Mejoras en la Plaza de La Música
Municipality:	Jayuya
Date:	3/21/2025
Decision-Making Process for E.O. 11988 as Provided by 24 CFR §55.20	

Project Description:

The proposed project involves the rehabilitation and revitalization of the Plaza de La Música in the municipality of Jayuya, located at Guillermo Esteves St, Carr 141 Km 0.0, Bo. Pueblo, Jayuya, PR 00664 (18.221549, -66.588312). As a result of Hurricane Irma and Maria, La Plaza de La Música suffered damage from water runoff, impact of projectiles and debris, and strong winds, causing damage to the paint, the existing lighting, gardens, bleachers, and busts commemorating musicians of local importance. The plaza is located near the entrance of the municipality and the street with the most commercial/economic activity. The plaza also hosts festivals and other events and is located within a low-to-moderate income (LMI) community.

The proposed project will include general improvements to the square (measuring approximately 3,108.08 square feet) such as replacement of urban furniture, paving, stones, fences, lighting elements, signs, planters, and waste containers; cleaning and conditioning of two brass bust sculptures and their plaques, concrete slabs, masonry surfaces, and concrete bleachers; removal of surface tile surrounding the bust sculptures and refinishing with new tile; landscaping improvements including the removal of shrubs; curb ramp repairs to meet ADA and code requirements; installation of new solar lighting poles; and replacement of the electrical system. Ground disturbance will be avoided during construction activities, as there will be no excavation or new construction as part of the proposed project. Project drawings and renders can be found in **Attachment 1**.

Categories of proposed actions for which the modified 5-step decision making process applies are described in 24 CFR 55.14. Based on the scope of work described above, this project meets the requirements under 24 CFR 55.14(e):

“HUD's or the recipient's actions under any HUD program involving the repair, rehabilitation, or replacement of existing nonstructural improvements including streets, curbs, and gutters, where any increase of the total impervious surface area of the facility is de minimis. This provision does not include critical actions, levee systems, chemical storage facilities (including any tanks), wastewater facilities, or sewer lagoons.”

According to the updated 24 CFR Part 55 and based on the proposed project scope of work, the responsible entity has determined that a 5-step decision making process is the appropriate approach for evaluation under 24 CFR Part 55.

Step 1: Determine whether the action is located in the floodplain or wetland

This project proposes the rehabilitation and revitalization of the Plaza de La Música in the municipality of Jayuya through furniture, landscaping, and electrical improvements. The extent of the floodplain was evaluated using the FEMA Advisory Base Flood Elevation (ABFE) (effective 12/11/2018) (see **Attachment 3**). The FIRM (FIRM Panel 72000C1105H, effective 4/19/2005) was not used for this analysis because the ABFE was found to be more restrictive (see **Attachment 2**). Based on the available floodplain data, the proposed project is partially located within the floodplain. Approximately 54.4% of the site is in Zone A (the 1% annual chance flood zone) and an additional 30.6% lies within the 500-year floodplain (the 0.2% annual chance flood zone). This accounts for approximately 85.0% of the site being located within the floodplain, while the remaining 15.0% is located outside of the floodplain in the Area of Minimal Flood Hazard. Therefore, the floodplain decision making process must be completed.

Based on the National Wetlands Inventory (NWI) map, the proposed project is not located within 100 feet of any mapped wetland (see **Attachment 4**). Additionally, there will be no excavation or new construction as part of the project. Therefore, no impacts to wetlands are anticipated.

Step 2: Notify the public for early review of the proposal and involve the affected and interested public in the decision-making process.

According to 24 CFR Part 55.14, Steps 2, 3, and 7 do not apply to the modified 5-step decision making process.

Step 3: Identify and evaluate practicable alternatives to locating the proposed action in the floodplain or wetland.

According to 24 CFR Part 55.14, Steps 2, 3, and 7 do not apply to the modified 5-step decision making process.

Step 4: Identify and evaluate the potential direct and indirect impacts associated with the occupancy or modification of the floodplain or the wetland.

Approximately 85% of the proposed project site is located within the floodplain, as identified by the ABFE map. Approximately 54.4% of the site is in Zone A (the 1% annual chance flood zone) and an additional 30.6% lies within the 500-year floodplain (the 0.2% annual chance flood zone). The remaining 15% is located outside of the floodplain in the Area of Minimal Flood Hazard. The proposed project will not expand the footprint of the existing site or encroach further into the floodplain, as no new construction is planned. Therefore, the project will not disrupt the natural and beneficial functions of the floodplain such as floodwater retention, water quality maintenance, and groundwater recharge. The project scope is limited to minor improvements to the public square within its existing boundaries and no project components will be subject to elevation requirements.

Preventing the loss of life due to flooding is the top priority. While the proposed project will revitalize the urban center through various improvements to the plaza, there will be no permanently occupied structures, no new critical infrastructure, and no increase in population density within the floodplain as a result of the project. Therefore, the proposed project will not create any additional risk to human life.

The proposed project will not create any additional risk of property damage due to flooding. The project is limited to actions that will rehabilitate and revitalize a public plaza and does not include any structures that could potentially be damaged by a flood. There will be no additional risk of health impacts from exposure to toxic substances or damage to the community due to project failure.

PRDOH evaluated the proposed project's potential impacts on the natural and beneficial functions of the floodplain. As the footprint of the plaza will not be expanded and there will be no additional impervious surface, excavation, or ground disturbance, the natural and beneficial functions of the floodplain including groundwater recharge, water quality maintenance, and natural moderation of floods will be maintained. The proposed project will improve the cultural and recreational values of the floodplain by rehabilitating the Plaza de La Música, which serves as a place for the LMI residents of the municipality of Jayuya to gather and enjoy festivals and other events. The cultural values will be further improved through the proposed activities to rehabilitate the bust sculptures and plaques that commemorate musicians of local importance.

Due to damage caused by Hurricanes Irma and Maria, the plaza is in a state of disrepair and needs rehabilitation. The proposed project will undertake various actions to rehabilitate and revitalize the plaza and attract residents and visitors to the urban center. Agricultural, aquacultural, and forestry resources will not be impacted by the proposed project.

The proposed project could stimulate economic growth in the urban center as the plaza is the street with the most commercial/economic activity in the municipality of Jayuya. The project will avoid significant economic costs by utilizing existing infrastructure and

avoiding floodproofing or elevation requirements, due to limited scope of minor improvements consisting of rehabilitation and repair. Maintenance costs will be reduced through the use of durable, water-resistant materials. No additional costs related to flood insurance will be incurred as the improvements do not involve insurable structures.

Step 5: Where practicable, design or modify the proposed action to minimize the potential adverse impacts to and from the floodplain or wetland and to restore and preserve their natural and beneficial functions and values.

The proposed project will not involve any insurable structure or new construction, and it will be limited to minor improvements consisting of repair and rehabilitation of an existing public plaza. Therefore, floodproofing and elevation are not required. To preserve property, all infrastructure improvements will utilize water-resistant materials to reduce potential flood damage. Urban furniture and solar lighting systems will be anchored to the existing concrete slab to avoid displacement during flood events. The project ensures compliance with FEMA and local floodplain management standards.

The project will not create any additional risk of loss of life because there will be no permanently occupied structures, no critical infrastructure, and no increase in population density within the floodplain. Since the site is a public plaza with no permanent occupants, an evacuation plan or warning system is not required.

The proposed project will not introduce any structures that could be damaged by a flood or that could harm other properties or the community as a whole in the case of project failure. Potential harm to and within the floodplain will be minimized by maintaining the current plaza footprint, avoiding ground disturbance, and avoiding excavation. As a result of these measures, the natural and beneficial functions of the floodplain such as groundwater recharge, water quality maintenance, and natural moderation of floods will be maintained. Additionally, planters will be placed above the existing slab to enhance urban greenery and sections of concrete will be selectively removed to enhance drainage and infiltration. These features will use native vegetation to complement the natural characteristics of the area.

Step 6: Reevaluate the alternatives.

The proposed project remains practicable given its minimal impact on the floodplain and its design to avoid exacerbating existing hazards. No new construction or expansion of the project footprint is planned, and the project will not disrupt the natural and beneficial functions of the floodplain such as floodwater retention, water quality maintenance, and groundwater recharge. Additionally, the project does not involve critical infrastructure or increase the exposure of human life or property to flood-related risks. The proposed project remains practicable given its minimal impact on the floodplain and its design to avoid exacerbating existing hazards. The site's historical and community significance as a public plaza necessitates its retention in its current location. Moreover, no feasible alternatives exist that would further minimize floodplain impacts while achieving the project's objectives.

Step 7: Determination of no practicable alternative and publication of final notice

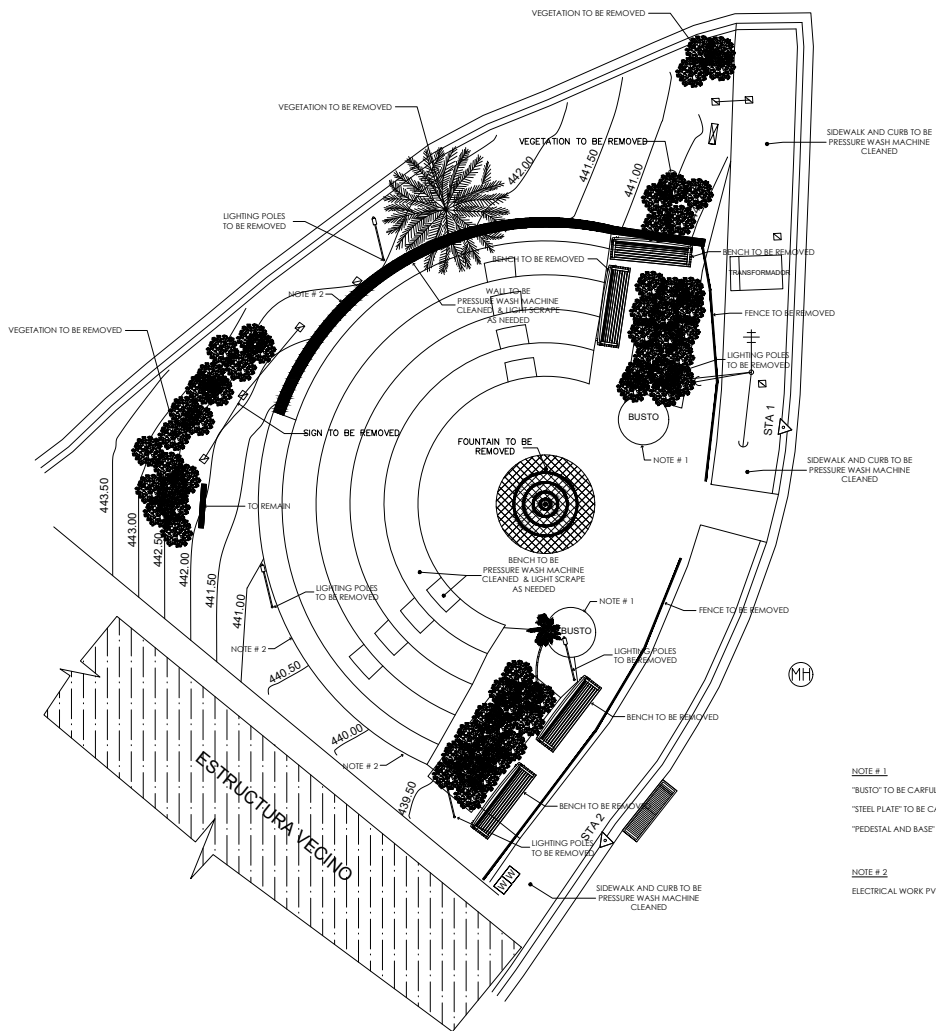
According to 24 CFR Part 55.14, Steps 2, 3, and 7 do not apply to the modified 5-step decision making process.

Step 8: Implement the proposed action

This plan will be implemented, as described above, to ensure that impacts to the floodplain are managed and mitigated to the extent possible. The activities will be executed, and necessary language will be included in all agreements with participating parties. Active monitoring of the construction process will take place to ensure no unnecessary impacts occur nor unnecessary risks are taken. Finally, the municipality will provide maintenance to the project elements to ensure it operates as intended.

Attachment 1

Project Drawings

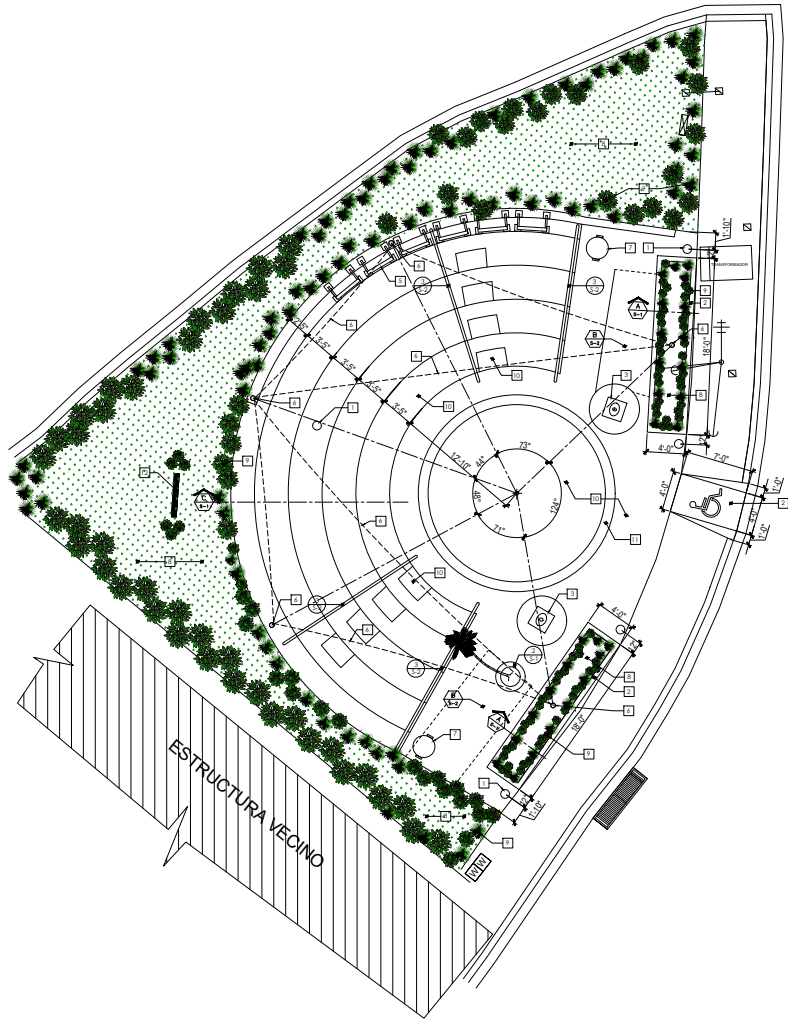


NOTE # 1
 "BUSTO" TO BE CAREFULLY RAPPED WITH PLASTIC AND PROTECTED.
 "STEEL PLATE" TO BE CAREFULLY CLEANED AND PROTECTED.
 "PEDESTAL AND BASE" REMOVE SURFACE TILE AND LIGHT SCRAPE AS NEEDED.

NOTE # 2
 ELECTRICAL WORK PVC PIPES AND BOXES TO BE REMOVED.

SITE DEMOLITION PLAN
 SCALE: 3/16"=1'-0"

PROJECT		DRAWING NUMBER	
PLAZA DE LA MUSICA 62 Calle Guillermo Esteves, Jayuya, PR		SD-1	
SHEET TITLE		DATE	
SITE DEMOLITION PLAN		06/10/2024	
DESIGNER		CHECKED	
VPC GROUP		VPC GROUP	
CONSTRUCTION & REMODELING BUILDING SERVICES MANAGEMENT		VPC GROUP	



SITE IMPROVEMENTS PLAN
SCALE: 3/16"=1'-0"



LEGEND:

- SECTION NUMBER
- SHEET NUMBER
- PARTIAL ELEVATION NUMBER
- SHEET NUMBER
- DETAIL IDENTIFICATION
- SHEET NUMBER
- F.V. — FIELD VERIFY
- N.I.C. — NOT INCLUDED IN CONTRACT
- C.G. — CORNER GUARD
- A.E.F. — ABOVE FINISH FLOOR
- F.F.L. — FINISH FLOOR LEVEL

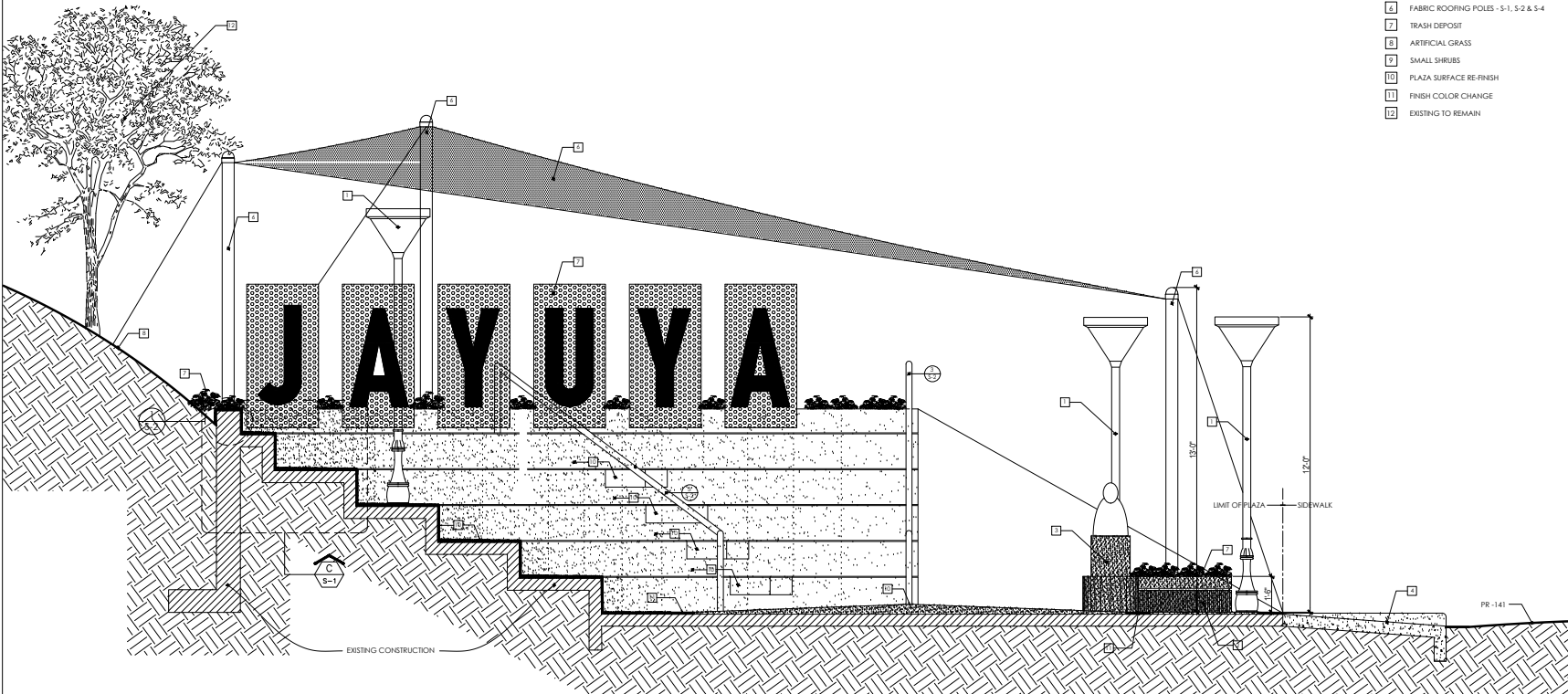
PLAN ITEMS LEGEND:

- 1 SOLAR ENERGY LIGHTING POLE
- 2 CONCRETE PLANTER - SEE DWG. S-1
- 3 EXISTING BUST PEDESTAL
- 4 HANDICAPPED RAMP - SEE DWG. S-2
- 5 SIGN LETTERS - SEE DWG. S-3
- 6 FABRIC ROOFING POLES - S-1, S-2 & S-4
- 7 TRASH DEPOSIT
- 8 ARTIFICIAL GRASS
- 9 SMALL SHRUBS
- 10 PLAZA SURFACE RE-FINISH
- 11 FINISH COLOR CHANGE
- 12 EXISTING TO REMAIN

FINISH NOTES:

- NOTE:
PROVIDE VAPOR BARRIER UNDER ALL FLOOR SLAB.
1. COLORS, TEXTURES AND TYPES OF ALL SPECIFIED FINISHES SHALL BE SELECTED BY THE ARCHITECT. CONTRACTOR SHALL SUPPLY SAMPLES OF ALL FINISHES FOR APPROVAL BY THE ARCHITECT.
 2. EXISTING FLOOR FINISHES SHALL BE REMOVED AND EXISTING FLOOR SUBSTRATE SHALL BE REPAIRED AND LEVELLED FOR PROPER INSTALLATION OF NEW FINISH.
 3. ALL EXISTING WALLS TO REMAIN SHALL BE STRIPPED, REPAIRED AND PATCHED SMOOTH FOR NEW GYPHOLUM BOARD FINISHING OR FOR PLASTER AND PAINT FINISH.
 4. PROVIDE WATER PROOFING AND VAPOR BARRIER SYSTEM ON ALL SLABS ON GROUND.
 5. PROVIDE WATER PROOFING AND VAPOR BARRIER SYSTEM ON ALL EXTERIOR SURFACES SHALL BE FINISHED WITH A SMOOTH CEMENT FINISH PAINTED, UNLESS OTHERWISE NOTED.

PROJECT:		PLAZA DE LA MUSICA 62 Calle Guillermo Esteves, Jayuya, PR	
ARCHITECT:		JAYUYA, PUERTO RICO	
DRAWING NUMBER:		SI-1	
DATE:		OCT 2024	
DESIGNER:		vpc group	
CONSTRUCTION & REMODELING BUILDING SERVICES MANAGEMENT			



PROPOSED PLAZA SECTION
SCALE: 3/8"=1'-0"

LEGEND:

- 1 SOLAR ENERGY LIGHTING POLE
- 2 CONCRETE PLANTER - SEE DWG. S-1
- 3 EXISTING BUST PEDESTAL
- 4 HANDICAPPED RAMP - SEE DWG. S-2
- 5 SIGN LETTERS - SEE DWG. S-3
- 6 FABRIC ROOFING POLES - S-1, S-2 & S-4
- 7 TRASH DEPOSIT
- 8 ARTIFICIAL GRASS
- 9 SMALL SHRUBS
- 10 PLAZA SURFACE RE-FINISH
- 11 FINISH COLOR CHANGE
- 12 EXISTING TO REMAIN

DATE: OCT 2024		PROJECT: 008		SCALE: AS SHOWN	
<p>NOTES:</p> <p>1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL PLUMBING CODE (IPC).</p> <p>2. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT.</p> <p>3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.</p> <p>4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.</p> <p>5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.</p> <p>6. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SAFETY MEASURES THROUGHOUT THE CONSTRUCTION PROCESS.</p> <p>7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND PRESERVATION OF THE ENVIRONMENT.</p> <p>8. THE CONTRACTOR SHALL MAINTAIN ADEQUATE RECORDS OF ALL CONSTRUCTION ACTIVITIES.</p> <p>9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND PRESERVATION OF ALL ADJACENT PROPERTIES AND UTILITIES.</p> <p>10. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SAFETY MEASURES THROUGHOUT THE CONSTRUCTION PROCESS.</p> <p>11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND PRESERVATION OF THE ENVIRONMENT.</p> <p>12. THE CONTRACTOR SHALL MAINTAIN ADEQUATE RECORDS OF ALL CONSTRUCTION ACTIVITIES.</p>					
<p>DESIGNER: vpc group</p> <p>CONSTRUCTION & REMODELING BUILDING SERVICES MANAGEMENT</p>					
<p>PROJECT: PLAZA DE LA MUSICA</p> <p>62 Calle Guillermo Esteves, Jayuya, PR</p> <p>ARCHITECT: JUANITA PUERTO RICO</p> <p>PROPOSED PLAZA SECTION</p>					
<p>REVISIONS:</p> <p>SI-2</p>					



Plaza de la Musica

Jayuya, Puerto Rico

PROJECT		PLAZA DE LA MUSICA 62 Calle Guillermo Esteves, Jayuya, PR JAYUYA, PUERTO RICO		DATE		10/1/2024	
DRAWING NUMBER		SI-3		SHEET TOTAL		PLAZA DE LA MUSICA RENDERING	
vpc group		vpc group		CONSTRUCTION & REMODELING BUILDING SERVICES MANAGEMENT		CONSTRUCTION & REMODELING BUILDING SERVICES MANAGEMENT	
NO.		DATE		REVISIONS		BY DATE	

Attachment 2

FIRM

PR-CRP-000054 National Flood Hazard Layer FIRM

Address: Guillermo Esteves St, Carr 141 Km 0.0, Bo. Pueblo, Jayuya, PR 00664

Coordinates: 18.221549, -66.588312



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard Zone D
		Channel, Culvert, or Storm Sewer
OTHER FEATURES		Levee, Dike, or Floodwall
		Cross Sections with 1% Annual Chance Water Surface Elevation
MAP PANELS		Coastal Transect
		Base Flood Elevation Line (BFE)
MAP PANELS		Limit of Study
		Jurisdiction Boundary
MAP PANELS		Coastal Transect Baseline
		Profile Baseline
MAP PANELS		Hydrographic Feature
		Digital Data Available
MAP PANELS		No Digital Data Available
		Unmapped



The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 1/27/2025 at 2:11 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



Spatial Reference: WGS84

Source: <https://hazards-fema.maps.arcgis.com/apps/webappviewer/index.html?id=8b0adb51996444d4879338b5529aa9cd>

Prepared by ICF

0 250 500 1,000 1,500 2,000 Feet 1:6,000

Basemap Imagery Source: USGS National Map 2023

Attachment 3

Advisory Base Flood Elevation (ABFE) Map

PR-CRP-000054 Advisory Base Flood Elevation (ABFE) Map

Address: Guillermo Esteves St, Carr 141 Km 0.0, Bo. Pueblo, Jayuya, PR 00664

Coordinates: 18.221549, -66.588312



1/27/2025, 9:16:03 AM

Flood Hazard Area (zoom in to make visible) Flood Hazard Extent

A

0.2% Annual Chance Flood Zone

Zone/BFE Boundary

1% Annual Chance Flood

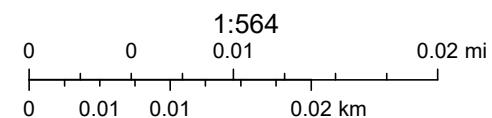
0.2% Annual Chance Flood

Advisory Base Flood Elevation (zoom in to make visible)

Streamline (zoom in to make visible)

Spatial Reference: WGS84

Source: <https://gis-r2-fema.hub.arcgis.com/apps/31dfa15671944086b54b55bfc03344d7/explore>



FEMA, Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community

ArcGIS Web AppBuilder
FEMA |

Attachment 4

Wetlands Map

PR-CRP-000054 Wetland Map

Address: Guillermo Esteves St, Carr 141 Km 0.0, Bo. Pueblo, Jayuya, PR 00664
Coordinates: 18.221549, -66.588312









U.S. Fish and Wildlife Service

National Wetlands Inventory



January 27, 2025


Wetlands

- | | | |
|--|---|--|
|  Estuarine and Marine Deepwater |  Freshwater Emergent Wetland |  Lake |
|  Estuarine and Marine Wetland |  Freshwater Forested/Shrub Wetland |  Other |
| |  Freshwater Pond |  Riverine |

Spatial Reference: WGS84
Source: <https://fwsprimary.wim.usgs.gov/wetlands/apps/wetlands-mapper/>

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

Appendix L: Historic Preservation

PUERTO RICO 2017 DISASTER RECOVERY CDBG-DR PROGRAM - CITY REVITALIZATION PROGRAM (CRP) SECTION 106 PROGRAMMATIC AGREEMENT ALLOWANCE ANALYSIS FORM		 <small>CITY REVITALIZATION PROGRAM</small>
Subrecipient: Municipio de Jayuya	Project Number(s): PR-CRP-000054	
Project Name: Mejoras en la Plaza de La Música		
Location/Address: Guillermo Esteves St, Carr 141 Km 0.0, Bo. Pueblo, Jayuya PR 00664		
Coordinates (Lat,Lon): 18.221549, -66.588312	TPID (Cadaster): 216-086-007-18-001	

Analysis Conducted by: Marcos A. Berríos Maldonado
Date Reviewed: 11/11/2024
PM SOI-Qualified Professional: Carmen Marla Lopez, historic architect
Date Reviewed: 01/23/2025
Date of Construction/Year Built Analysis (if applicable): 1992

This form was developed to serve as a formal record of the above referenced project to determine if it clears on Programmatic Allowances or if Standard Section 106 Consultation is necessary. The analysis should include only CRP funded activities. In case there is FEMA or other federal agency's funding, the analysis should still address CRP activities as any other environmental compliance review will be limited to a different scope of work. This document should always include supporting documentation such as a detailed Scope of Work, Location Map and Traditional Urban Center map with the site location (if applicable).

Activities for the project have been reviewed to assess if they conform to Stipulation II.A (Project Review – Programmatic Allowances) of the Section 106 Programmatic Agreement (PA) among FEMA, SHPO and COR3, as amended (May 3, 2023). The determination after the analysis was completed and is as follows:

☐ **Allowances DO NOT apply, SHPO Consultation needed (proceed to Section 1).**

☒ **Allowances apply, Section 106 process is completed (proceed to Section 2).**

SECTION 1: SHPO Consultation triggered by one or more of the following:

- ☐ The project has been issued a FEMA Record of Environmental Consideration (REC) with applicable allowances, but the CRP activities go beyond the allowances applied (include REC as an attachment).
- ☐ Within or adjacent to a traditional urban center or a historic district, listed in or eligible for listing in the National Register of Historic Places (NRHP), or designated as a historic property on a local or state register (include a map with the project location).
- ☐ Activities include below-surface ground disturbance of potentially undisturbed soils.
- ☐ Other: DESCRIBE HERE

SECTION 106 PROGRAMMATIC AGREEMENT ALLOWANCE ANALYSIS FORM

SECTION 2: Allowances apply, Section 106 process is completed.

Allowance Analysis Determination:

- The project has been issued a FEMA REC with applicable allowances, and the CRP activities are also cleared with allowances (include REC as an attachment).
- ☒ The activities detailed in the SOW conforms with the following allowances:

Description of Activity	Allowance	Allowance Description	Allowance Applicability
Improvements to the square (approximately 3108.079 square feet in area)	II.A.2.a	In-kind repairs or replacement, and minor upgrades to recreational facilities and features...	<p>In-kind repair and or replacement, pressure-wash cleaning, of the concrete slabs, masonry surfaces and concrete bleachers to ensure safety and accessibility.</p> <p>Removal of surface tile from around busts sculptures' area and refinish with new tile.</p> <p>Removal of existing fence.</p>
Landscaping adjustments, including removal of shrubs and ground cover with geotextile coverings and placing new plantings in precast or cast-in-place planters. Planters sit above the existing slab, with selective removal of concrete sections for drainage without reaching soil level.	II.A.2.b	In-kind repair, replacements, and minor upgrades to landscaping elements...	In-kind repair and replacement of planters; lighting elements; signs; ramps; among others.

SECTION 106 PROGRAMMATIC AGREEMENT ALLOWANCE ANALYSIS FORM

Replacement of urban furniture. In-kind replacement of benches, paving stones, and fences. Anchoring will be done directly to the existing concrete slab using mechanical or epoxy resin anchors, avoiding excavation.	II.A.2.b	In-kind repair, replacements, and minor upgrades to landscaping elements...	In-kind repair and replacement of planters; lighting elements; signs; urban furniture, among others.
Replacement of waste containers in existing location and footprint. Anchoring will be done directly to the existing concrete slab. No ground disturbances required.	II.A.2.b	In-kind repair, replacements, and minor upgrades to landscaping elements...	In-kind repair and replacement of planters; lighting elements; signs; urban furniture, among others.
Attaching new signage to existing bleachers using mechanical anchors, without new foundations or ground disturbances.	II.A.2.b	In-kind repair, replacements, and minor upgrades to landscaping elements...	In-kind repair and replacement of planters; lighting elements; signs; urban furniture, among others.
Cleaning and reconditioning the two brass busts sculptures and their plaques, without altering existing materials and technique.	II.A.2.b	In-kind repair, replacements, and minor upgrades to landscaping elements...	In-kind repair and replacement of planters; lighting elements; signs; urban furniture, among others.
Curb ramp repairs to meet ADA and code requirements.	I.B.6	Repair of existing wheelchair ramps, including minor modifications to meet codes and standards.	In-kind repair of wheelchair ramp to meet codes and standards.

SECTION 106 PROGRAMMATIC AGREEMENT ALLOWANCE ANALYSIS FORM

Installation of new solar lighting poles	I.B.1	Repair, retrofit, and reconstruction of buildings, and structures less than forty-five (45) years old, unless located in or adjacent to a historic district.	Installation of solar lighting using mechanical anchoring methods that minimize or eliminate the need for excavation. Poles will be affixed to existing concrete surfaces through methods such as expansion anchors or epoxy resin to affix components directly to the existing concrete slab. This approach avoids the construction of new foundations and avoids ground disturbances.
Replacement of the electrical system	I.B.1	Repair, retrofit, and reconstruction of buildings, and structures less than forty-five (45) years old, unless located in or adjacent to a historic district.	In-kind repair and replacement of existing electrical systems by reusing or embedding conduits within the existing concrete slab to avoid deeper excavations. Lines not embedded will be installed in planters above the existing slab, maintaining current grade levels.

Attachments:

- ☒ CRP Scope of Work/description
- ☒ PRSHPO Traditional Urban Center Map/NRHP Map with Project Location (if applicable)
- ☐ FEMA's Record of Environmental Consideration and Scope of Work (when applicable)
- ☒ Other
 - 1. Location Map
 - 2. Topographic Map
 - 3. Topographic As-built
 - 4. Photos and photos key plan (attached separately)
 - 5. 60% DD Plans (attached separately)

Project Description

The Municipality of Jayuya, assisted by the Puerto Rico Department of Housing (Departamento de la Vivienda de Puerto Rico) (PRDOH) and the Puerto Rico 2017 Disaster Recovery, CDBG-DR City Revitalization Program (Programa de Revitalización de la Ciudad del Gobierno Federal) (CITY-REV), proposes to make minor improvements and upgrades to the existing Plaza de la Musica (built in 1992) to enhance community health and provide recreational opportunities. The project will maintain its original use and will occur within the original footprint, on previously disturbed soils.

The project area and parcel, owned by the Municipality of Jayuya, is located at Calle Guillermo Esteves, Carr. 141 Km 0.0, Bo Pueblo in Jayuya. The project area is approximately 138 feet east, from the Jayuya traditional urban center as delimited by the Puerto Rico State Historic Preservation Office (PRSHPO) (2020 In-process), east; outside of the traditional urban center.

The project parcel is within the floodplain (portion of the area is subject to ABFE designation A) but does not require mitigation measures since it's an open space.

Scope of Work

The proposed activities for improving the Plaza de La Música include the following tasks:

- **Replacement of the Electrical System:**

The existing electrical system in the plaza will be repaired from its point of connection or electrical pedestal, ensuring modernization and compliance with current regulations. The work will be performed based on the updated electrical demand for the plaza, as the existing water fountain will be eliminated, and new lighting will be solar-powered, thereby reducing electrical demand. All existing exposed plastic conduits will be removed. Some conduits will be relocated or embedded within the existing concrete slab by cutting without reaching the soil level, effectively avoiding excavation. Any new or relocated electrical lines not embedded in concrete will be installed in planters above the existing slab to maintain the current grade and consistently avoid any excavation below it. All new electrical lines, if needed, will be limited to 120V. The detailed plan for conduit removal, relocation, and new installations will be included in the design plan.

- **Replacement of Urban Furniture:**

The benches, paving stones, and the existing fence will be replaced with new, modern, and durable design elements, enhancing the aesthetics and functionality of the space. Benching specifically will be evaluated to determine its suitability given the tight space constraints. All anchoring of urban furniture will be done directly to the existing concrete slab using mechanical anchors, avoiding any need for

excavation. The height of these elements, not exceeding 10 feet, supports this anchoring approach.

- **Installation of Lighting:**

LED and solar lighting will be installed to provide efficient and sustainable lighting throughout the plaza. Lighting poles will be affixed to existing concrete surfaces through mechanical means, such as expansion anchors or epoxy resin, without any need for trenching or constructing new foundations. This approach eliminates excavation and maintains the integrity of the existing concrete surfaces.

- **Installation of Waste Containers:**

Waste containers will be strategically placed within the plaza to improve waste management.

- **Infrastructure Repairs:**

Repairs will be made to the concrete slabs, masonry surfaces, the ramp for people with functional diversity, and the concrete bleachers, ensuring the safety and accessibility of all users and the suitability for the installation of new surface finishes.

- **Creation of Visual Identity:**

The name "JAYUYA" will be designed and installed in the plaza, accompanied by luminaires, petroglyph designs, and colors representing the local flag. The plan is to attach its supporting system to the concrete structure of the existing bleachers in order to avoid any excavation for foundations.

- **Restoration of Bust Sculptures:**

The area surrounding the busts will be enhanced with ceramic tiling around the existing objects, and the two brass busts and their plaques will be cleaned and restored. Additionally, a canopy element will be installed above the bleachers (existing concrete seating) to provide shade and enhance the visual appeal of the plaza. The supporting structure for the canopy will be anchored directly to the existing concrete bleacher structure, avoiding any need for excavation. If foundations are deemed necessary, they will be constructed above the existing concrete slab within newly designed planters as part of the overall design.

- **Landscaping:**

Most existing landscape elements will be removed, except for the mature trees. All existing shrubs and ground cover will be removed, and the ground will be covered with geotextile material to minimize maintenance efforts. Areas covered with geotextile material will then be topped with either gravel or artificial lawn. New shrubs and trees to be introduced in the plaza will be placed in planters designed to sit above the existing floor level. In select areas, sections of the existing concrete slab will be removed to facilitate drainage for these planters.

It's important to note there no ground disturbances are anticipated except within already disturbed soil above the bleachers and in planters.



SECTION 106 PROGRAMMATIC AGREEMENT ALLOWANCE ANALYSIS FORM

Attachments



SECTION 106 PROGRAMMATIC AGREEMENT ALLOWANCE ANALYSIS FORM

ATTACHMENTS

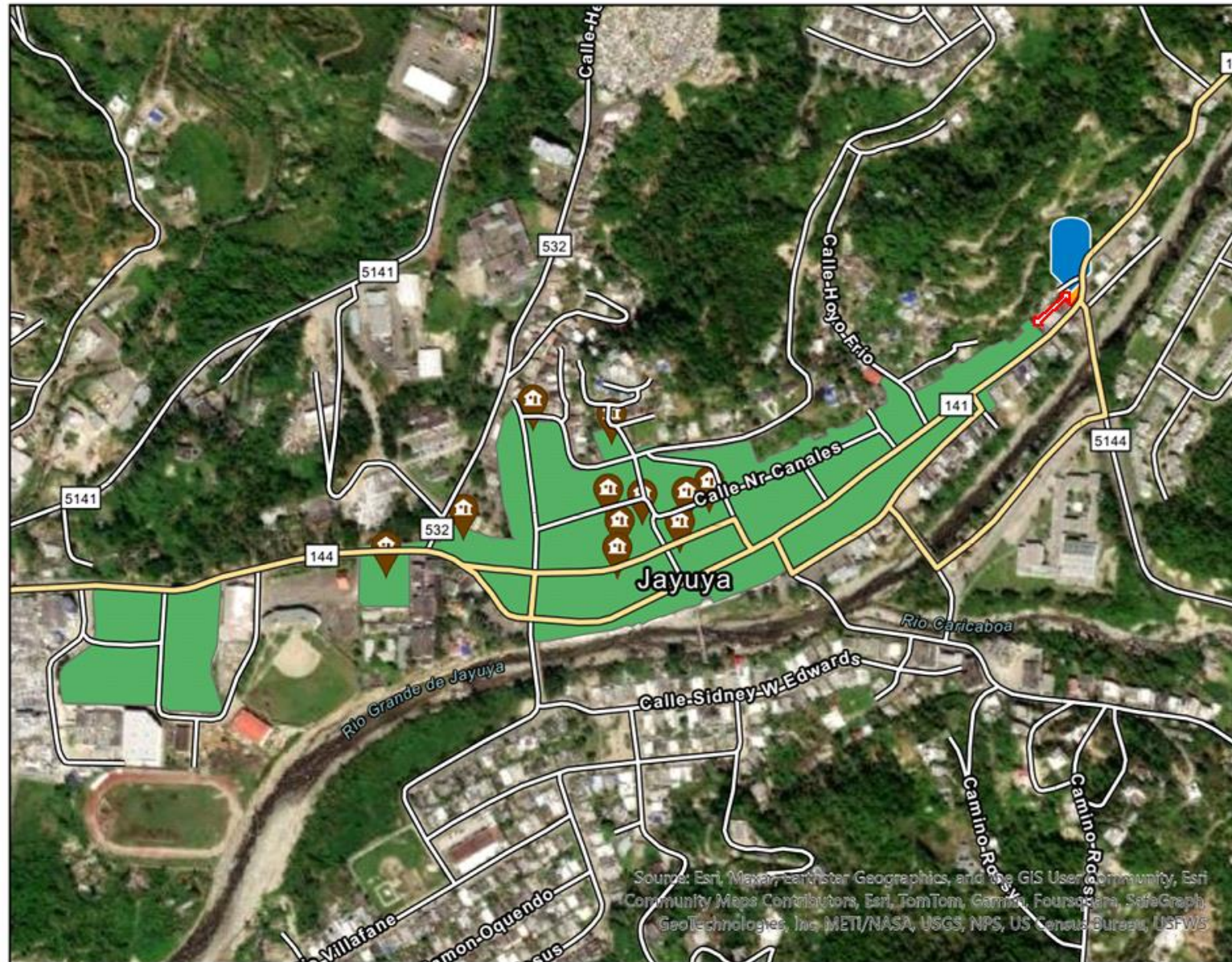
- 1. Location Map**
- 2. Topographic Map**
- 3. Topographic As-built**
- 4. Photos and photos key plan (attached separately)**
- 5. 60% DD Plans (attached separately) Topographic As-built**

HISTORIC MAP MEJORAS EN LA PLAZA DE LA MÚSICA

PROJECT ID: PR-CRP-000054

ADDRESS: GUILLERMO ESTEVES ST SOLAR 1 JAYUYA PR 00664

GEOGRAPHIC COORDINATES (LAT/LONG): 18.221549°, -66.588312°



Legend

- Eligible Historic Properties
- Project Location
- Historic Traditional Urban Center Boundaries
- Project Footprint (288.75 m²)
- Distance to Historic Zone Boundary (46.5 m)

Source: Boundaries digitized from maps obtained from SHPO, Jan 2020, Revised Dec 2021

<https://recuperacion.pr.gov/en/home-buyer-assistance-program/urban-center-maps/>

Spatial reference: WGS 1984
Web Mercator (auxiliary sphere)_1



0 80 160 320 Meters



ENVIRONMENTAL CONSULTING
BE SAFE. BE LOGICAL. JUST BE

Sources: Esri, Maxar, Earthstar Geographics, and the GIS User Community, Esri Community Maps Contributors, Esri, TomTom, Garmin, Fourstar, SafeGraph, GeoTechnologies, Inc. METI/NASA, USGS, NPS, US Census Bureau, USFWS

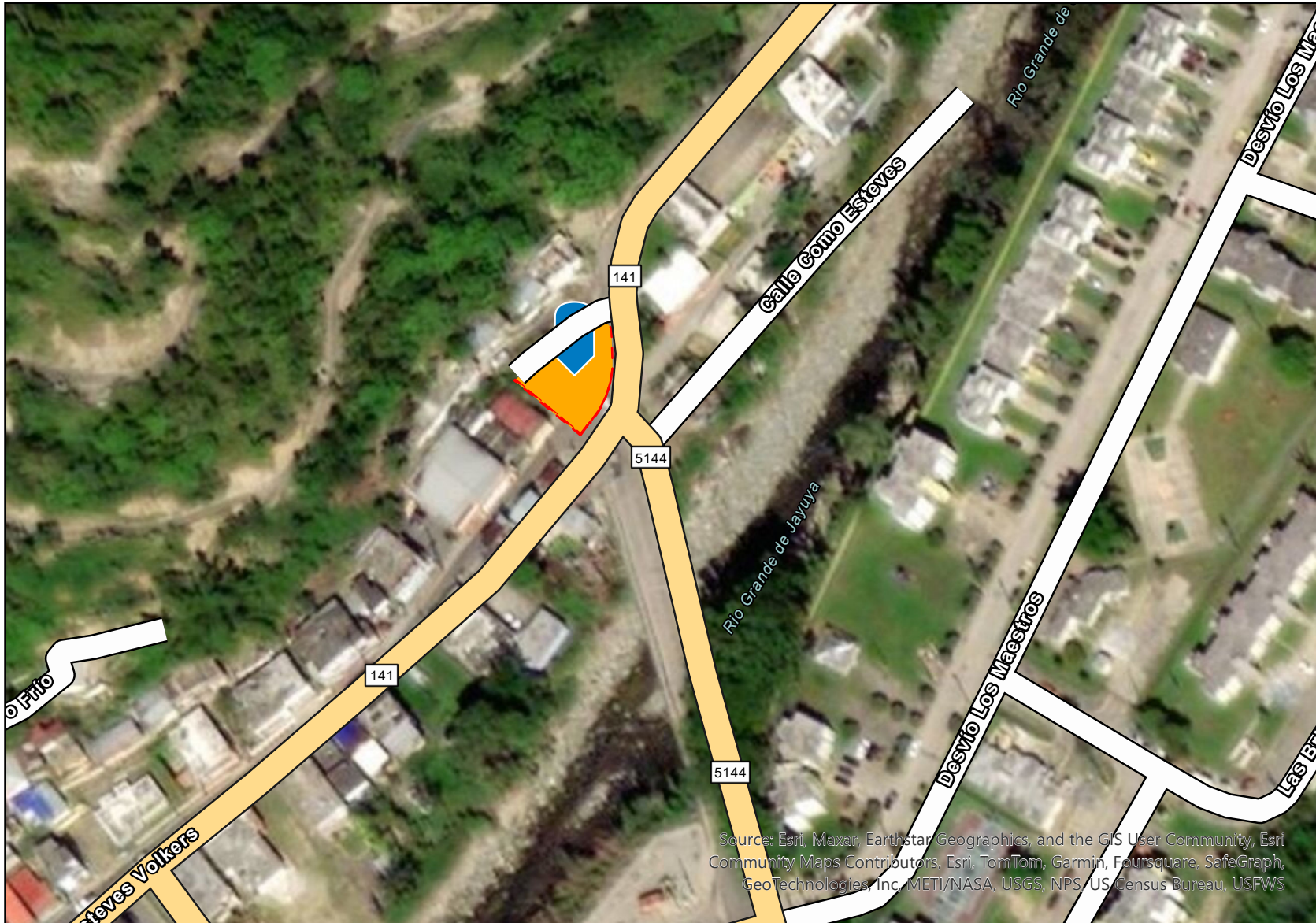
PROJECT LOCATION MAP

MEJORAS EN LA PLAZA DE LA MÚSICA



PROJECT ID: PR-CRP-000054

ADDRESS: GUILLERMO ESTEVES ST SOLAR 1 JAYUYA PR 00664

GEOGRAPHIC COORDINATES (LAT/LONG): 18.221549°, -66.588312°




Legend

-  Project Location
-  Project Footprint (288.75 m2)

Source: <https://catastro.crimpr.net/cdprpc/>

Spatial reference: WGS 1984 Web Mercator (auxiliary sphere)_1



105 0 10 20 30 40
 Meters



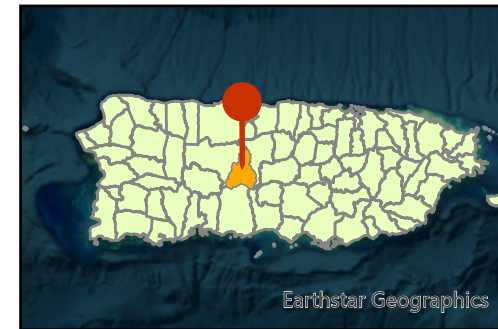
Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community, Esri Community Maps Contributors, Esri, TomTom, Garmin, Foursquare, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, NPS, US Census Bureau, USFWS

TOPOGRAPHIC MAP MEJORAS EN LA PLAZA DE LA MÚSICA


PROJECT ID: PR-CRP-000054

ADDRESS: GUILERMO ESTEVES ST SOLAR 1 JAYUYA PR 00664

GEOGRAPHIC COORDINATES (LAT/LONG): 18.221549°, -66.588312°



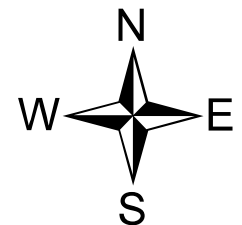
Legend


 Project Footprint
(288.75 m²)

 Project Location

Source: https://services.arcgis.com/ArcGIS/rest/services/USA_Topo_Maps/MapServer/0

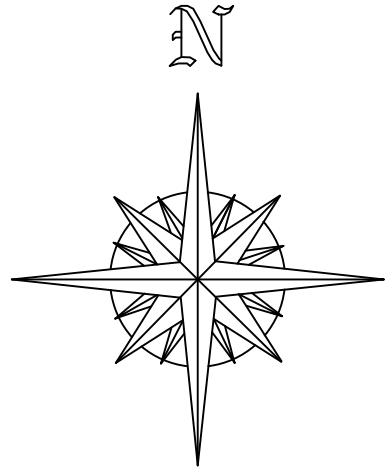
Spatial reference: WGS 1984
Web Mercator (auxiliary
sphere)_1



0 25 50 100 150 200
 Meters

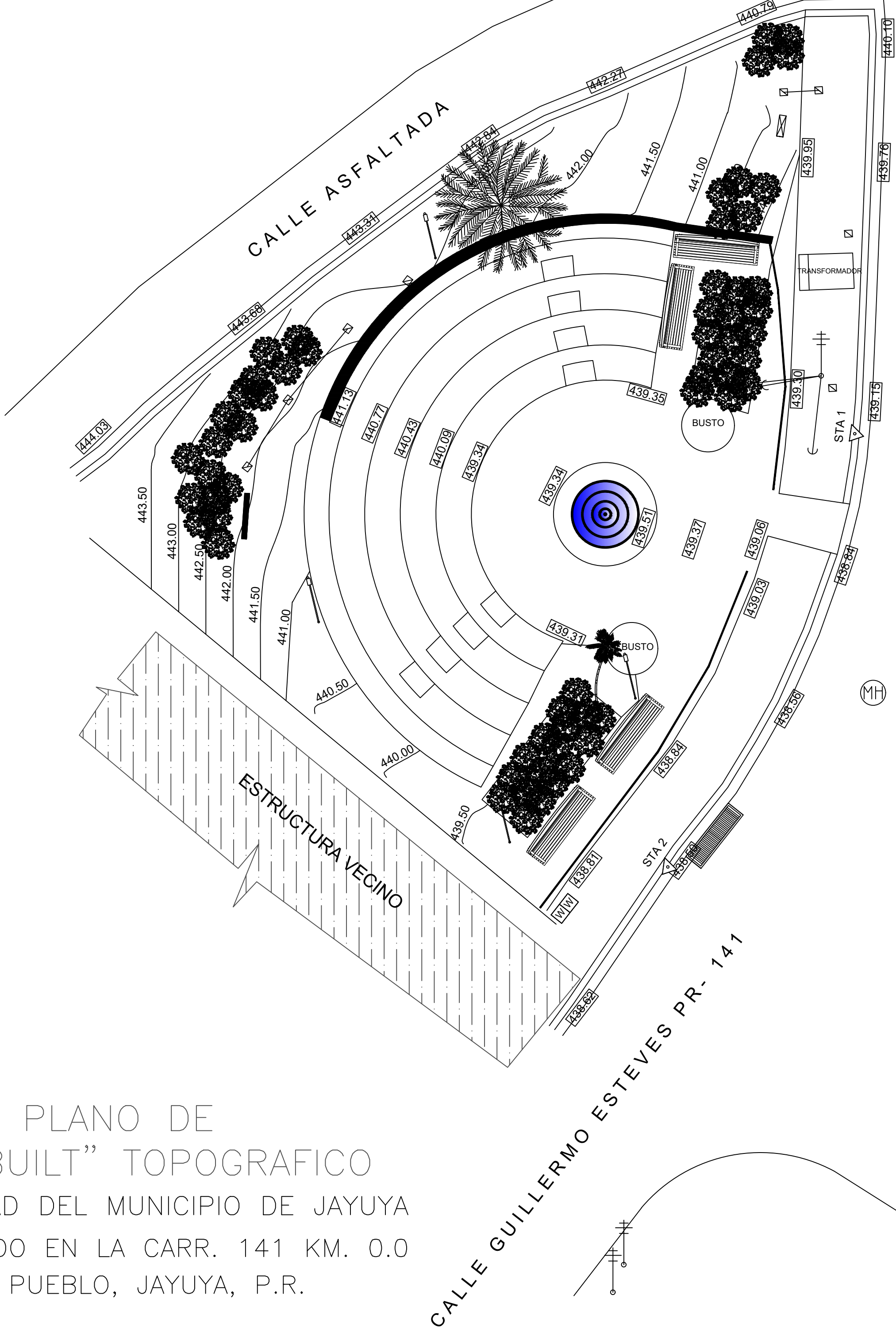


Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N- Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community, Copyright © 2013 National Geographic Society, i-cubed, Esri Community Maps Contributors, Esri, TomTom, Garmin, Foursquare, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, NPS, US Census Bureau, USFWS



E S C A L A 1 :100

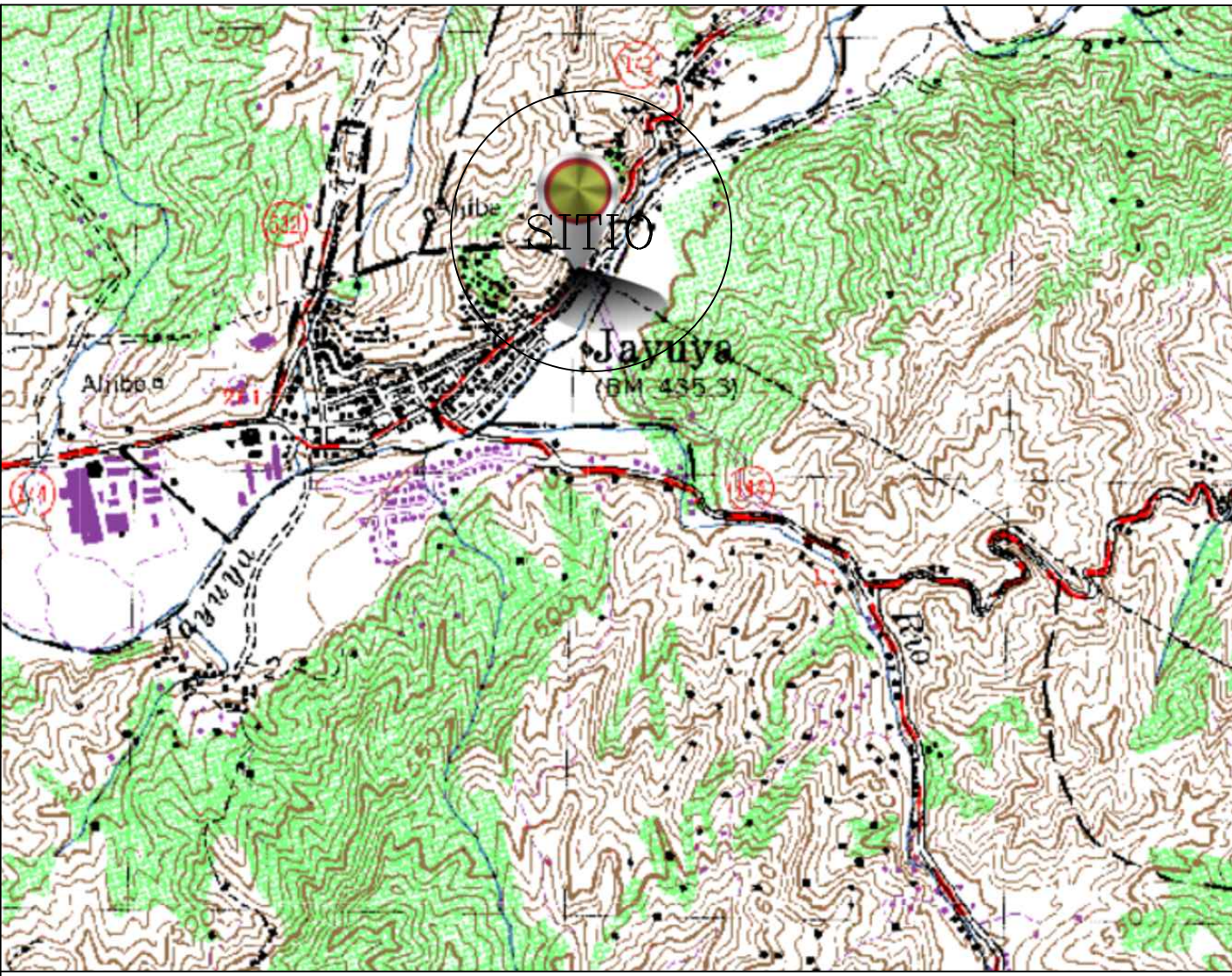
PLANO DE
"AS-BUILT" TOPOGRAFICO
PROPIEDAD DEL MUNICIPIO DE JAYUYA
LOCALIZADO EN LA CARR. 141 KM. 0.0
BO. PUEBLO, JAYUYA, P.R.



CALLE GUILLERMO ESTEVES PR- 141

PR-514A

CONTROLES HORIZONTALES Y VERTICALES				
PTO.	NORTE	ESTE	ELEV.	DESC.
1	242973.8860	183613.3210	439.21	PK
2	242960.9340	183607.7320	438.79	PK

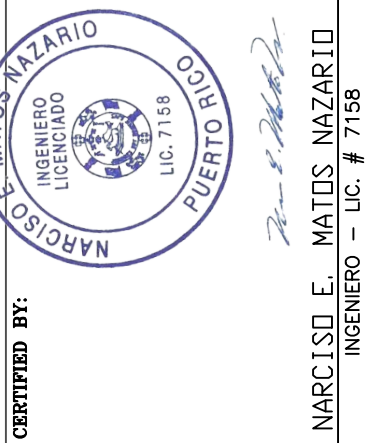


N O T A S

- 1 - LOS PUNTOS DE PROPIEDAD FUERON MOSTRADOS POR EL CLIENTE.
- 2 - LOS CONTROLES HORIZONTALES USADOS EN ESTE MAPA ESTAN REFERIDOS AL NORTE MAGNETICO , COORDENADAS NAD 83
- 3 - TODAS LAS DISTANCIAS ESTAN EN METROS A MENOS QUE SE INDIQUE LO CONTRARIO.
- 4 - EL TRABAJO FUE REALIZADO UTILIZANDO UN TEODOLITO ELECTRONICO MARCA LEICA TPS 300 CON COLECTOR DE DATOS.
- 5 - LA LINEA BASE SE DETERMINO UTILIZANDO UN GPS MARCA TRIMBLE MODELO R8

L E Y E N D A :

- | | | | |
|-----|----------------------------|---|--------------|
| --- | LINEA DE COLINDANCIA | W | CONEXION AAA |
| o4 | PUNTO DE COLINDANCIA | o | CONTROLES |
| + | POSTE SECUNDARIA DE MADERA | X | CONTADOR AEE |
| --- | LINEA DE AEE | | |



PROFESSIONAL OF RECORD:
Narciso E. Matos

PRIME PROFESSIONAL:
JUAN M BETANCOURT

DWG. BY:
A.S.R.

PROJECT:
MUNICIPIO DE JAYUYA

CAD FILE:
•

PRINT DATE:
26/JUNIO/2024

SCALE:
1: 100

DRAWING NO.
MEN-1

SHEET NO.
1 OF 1

PROJECT:

TITLE:

MUNICIPIO DE JAYUYA

PLANO DE
"AS-BUILT" TOPOGRAFICO

PO BOX 16282 SAN JUAN PR
00908 PARQUE ECUESTRE
COFRESI STREET # F-10
CAROLINA PUERTO RICO 00987.
TEL; 787-230-2659

BETARA

BETARA GROUP SERVICES PSC
PO BOX 16282 SAN JUAN PR 00908

Appendix M: Sole Source Aquifers

SOLE SOURCE AQUIFER PLAZA DE LA MÚSICA



PROJECT ID: PR-CRP-000054

ADDRESS: Guillermo Esteves St, Carr 141 Km 0.0, Bo. Pueblo, Jayuya PR 00664

GEOGRAPHIC COORDINATES (LAT/LONG): 18.221549, -66.588312



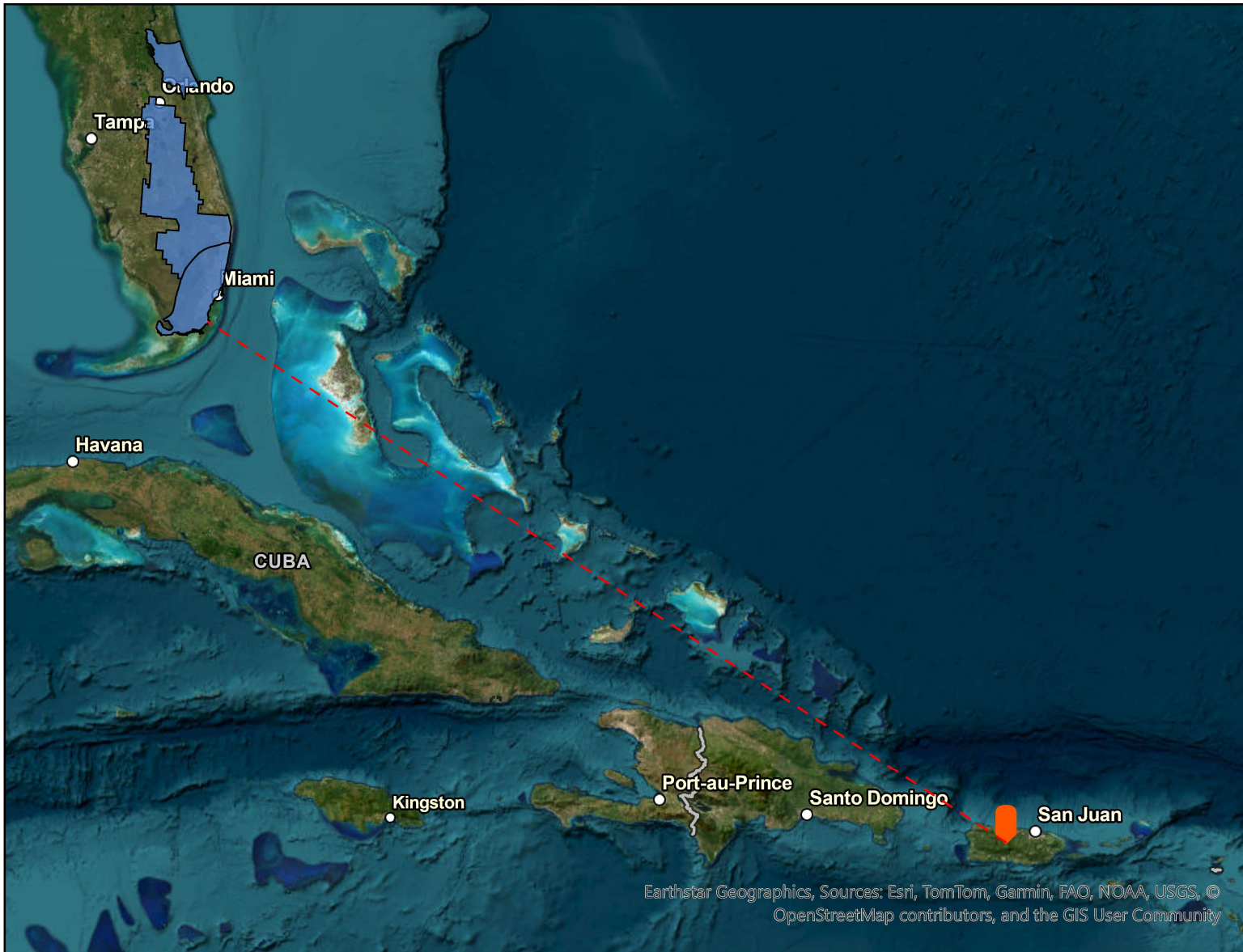
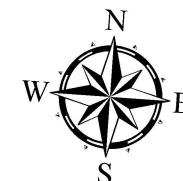
Legend

-  Sole Source Aquifers (1,028.73 miles)
-  Site Location

Credits: EPA National Sole Source Aquifer GIS Data:
<https://catalog.data.gov/dataset/>

Spatial Reference
Name: WGS 1984 Web
Mercator Auxiliary Sphere

0 75 150 300
Kilometers



Appendix N: Wetlands Protection

WETLAND (NWI) MAP PLAZA DE LA MUSICA

PROJECT ID: PR-CRP-000054

ADDRESS: Guillermo Esteves St, Carr 141 Km 0.0, Bo. Pueblo, Jayuya PR 00664

GEOGRAPHIC COORDINATES (LAT/LONG): 18.221549, -66.588312



Earthstar Geographics



Project Location

HU8_21010002_Wetlands

Wetlands

- Estuarine and Marine Deepwater
- Estuarine and Marine Wetland
- Freshwater Emergent Wetland
- Freshwater Forested/Shrub Wetland
- Freshwater Pond
- Lake
- Other
- Riverine

Source: <https://fwspublicservices.wim.usgs.gov/wetlandsmapping/rest/services/Wetlands/MapServer>

Spatial reference: WGS 1984
Web Mercator (auxiliary
sphere)_1



00.00 0.1 0.2 Miles



National Wetlands Inventory
NASA, CGIAR, N Robinson,
Esri, NASA, NGA, USGS, US Fish and Wildlife Service, GSA, Geoland, FEMA,
National Wetlands Inventory Program, Sources: Esri, TomTom, Garmin, FAO,
NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

Existing site conditions Photographic log

Mejoras en la Plaza de La Música

PR-CRP-000054

64 Calle Guillermo Esteves, Jayuya, Puerto Rico

Photos dated January 2025



PH-1
View of plaza from across the street of project site



PH-2
View of plaza from across the street of project site



PH-3
View of plaza from across the street of project site



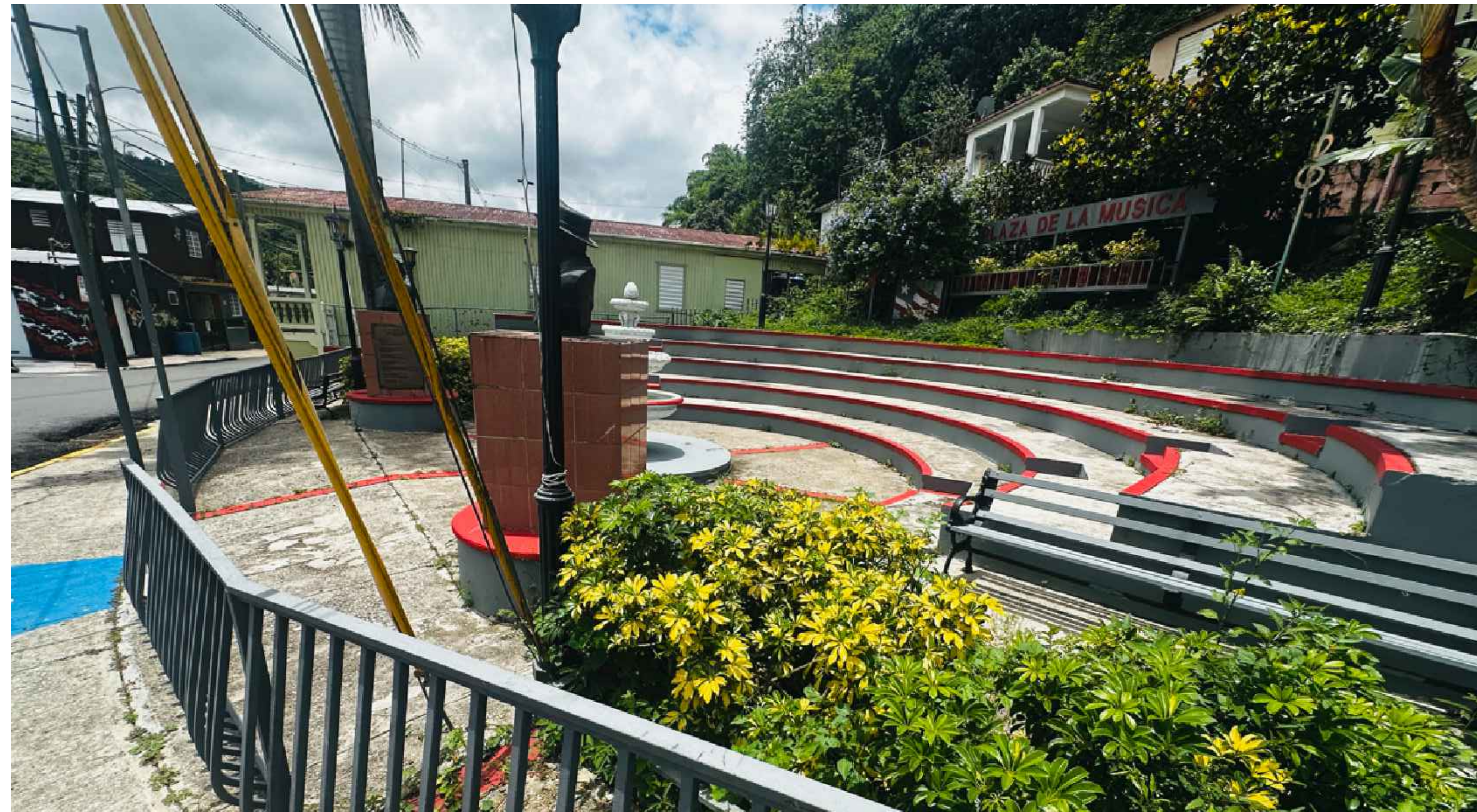
PH-4
View of existing conditions from plaza interior



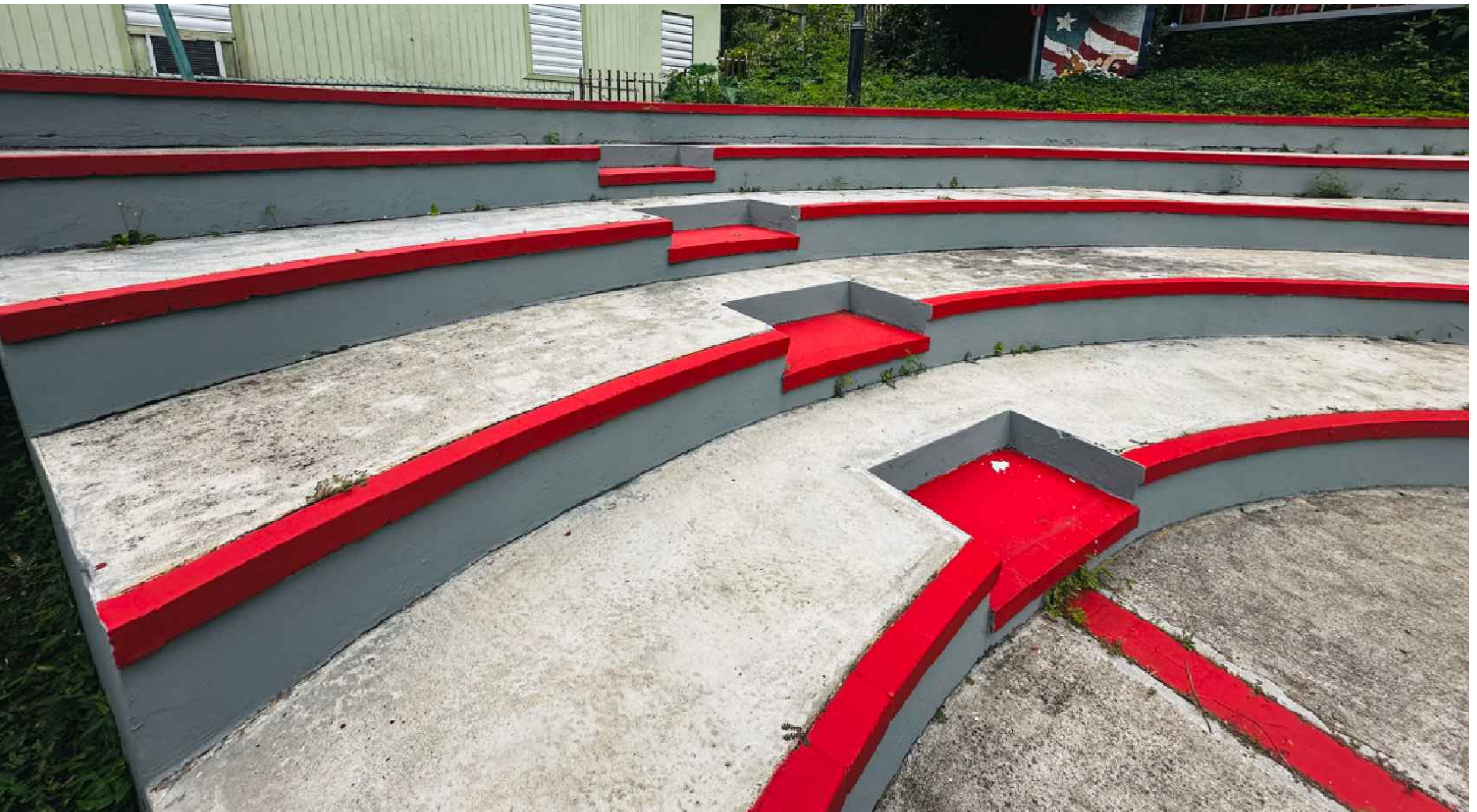
PH-5
View of existing conditions from plaza interior



PH-6
View of existing conditions from plaza interior



PH-7
View of existing conditions from outside plaza fence



PH-8
View of existing conditions from plaza interior



PH-9
Existing conditions of the plaza (broken concrete and deterioration)



PH-10
Existing conditions of the plaza (broken concrete and deterioration)



PH-11
Existing conditions of the plaza (broken concrete and deterioration)



PH-12
Existing conditions of the plaza (broken concrete and deterioration)



PH-13
Detail of existing conditions of the plaza



PH-14
Detail of existing conditions of the plaza



PH-15
Detail of existing conditions of the plaza



PH-16
Detail of existing conditions of the plaza

Appendix O:

Wild and Scenic Rivers

WILD AND SCENIC RIVERS PLAZA DE LA MÚSICA

PROJECT ID: PR-CRP-000054

ADDRESS: Guillermo Esteves St, Carr 141 Km 0.0, Bo. Pueblo, Jayuya PR 00664

GEOGRAPHIC COORDINATES (LAT/LONG): 18.221549, -66.588312



Legend

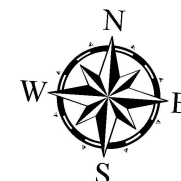
— National Wild and
Scenic River Line
Segment (55.53 miles)

■ Site Location

Credits: US Forest Service
Enterprise Map Services Program
<https://www.rivers.gov/map?>

Spatial Reference
Name: WGS 1984 Web
Mercator Auxiliary Sphere

03.57 14 21 28
Kilometers



Earthstar Geographics, Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, ©
OpenStreetMap contributors, and the GIS User Community, US Forest Service
Enterprise Map Services Program

Appendix P: Field Visit Checklist and Site Evaluation

CDBG-DR PROGRAM
CITY REVITALIZATION PROGRAM
Field Visit Checklist and Site Evaluation

General Information:	
Project Name:	Mejoras en la Plaza de La Música
Case ID:	PR-CRP-000054
Coordinates (lat/lon):	18.221549, -66.588312
Address:	Plaza de la Música, Guillermo Esteves Street, Jayuya, PR 00664
Parcel ID:	216-086-007-18-001
Report Date:	11 / 07 / 2024
Preparer:	Marcos A. Berríos Maldonado

Existing Environmental Conditions on and Around Site		
	Site Specific	Surrounding Area
General observations:	<p>The project site spans 288.75 square meters and is fully developed with a combination of tiered concrete bleachers, curved masonry seating platforms, pedestrian walkways, ornamental railings, monument pedestals, and a decorative fountain. The terrain is partially sloped, forming a stepped, amphitheater-style layout descending toward the street level.</p> <p>The surface is mostly covered by impervious concrete, with isolated areas of ornamental vegetation along the perimeter.</p>	<p>The project site is bounded by urban infrastructure, including paved streets, sidewalks, and adjacent commercial and residential buildings. There are no streams, lakes, or permanent water bodies in proximity to the site. The surrounding topography is moderately sloped, yet there is no indication of natural drainage paths or floodplain encroachment affecting the plaza footprint. Furthermore, no vegetation corridors or ecological buffers are present between the plaza and the surrounding land uses. No observable connection to larger-scale natural systems</p>
Evidence of wetlands?	Planters are consistent with urban landscaping and do not include wetland-indicator species. No saturated soils, standing water, or hydrologic	The surrounding area is fully developed, with no visible natural drainage channels, streams, lakes, or wetland features in the immediate vicinity. The topography is moderately sloped, yet there are

	connectivity to nearby water bodies was observed within or around the site	no signs of runoff accumulation or seasonal water retention that would suggest hydrologic connectivity to wetland environments. Additionally, no vegetation corridors, riparian zones, or transitional habitats are present that might support or connect to wetland ecosystems.
Evidence of Threatened or Endangered species?	No evidence of threatened or endangered species was identified within the project site. The area is fully developed and characterized by impervious concrete surfaces, constructed bleachers, ornamental features, and urban landscaping. The absence of native vegetation, natural soils, and hydrologic features indicates that the site does not provide suitable habitat for listed plant or animal species. Field observations did not identify any individuals or signs of federally or locally protected species.	The surroundings of the project site are composed of urban infrastructure, including residential and commercial buildings, streets, and sidewalks, with no connectivity to critical habitat zones. The lack of vegetation corridors, wetlands, or natural land cover suggests that the area is unsuitable to support populations of threatened or endangered species. A review of available environmental data supports the conclusion that the likelihood of listed species occurring in the vicinity is low.
Toxic Chemicals and Radioactive Materials		
	Site Specific	Surrounding Area
Evidence of USTs?	There is no evidence of existing or historical underground storage tanks (USTs) within the project site. Field observations during the visual assessment revealed no surface indicators such as fill ports, vent pipes, or disturbed ground typically associated with UST infrastructure. Furthermore, a search conducted via the Puerto Rico Planning Board's MiPR geospatial portal (https://gis.jp.pr.gov/mipr/)	The nearest UST is approximately 2,890 feet away, according to the platform. The site's current and historic use as a public plaza is consistent with this finding.

	confirmed that no registered USTs are located on the site.	
If yes, are they in use?	No	Site is a gas station
Any out of service underground fuel tanks?	No out of service underground fuel tanks were observed	No out of service underground fuel tanks were observed
Evidence of above ground storage tanks (including 55-gallon drums)?	No ASTs were observed during the field inspection	No ASTs were observed during the field inspection
Evidence of leaking ASTs?	No ASTs were observed during the field inspection	No ASTs were observed during the field inspection
Evidence of leaking electrical equipment?	No evidence of leaking electrical equipment was observed during the site visit. Existing lighting fixtures, electrical conduits, and panel enclosures appeared to be in stable condition, with no visible signs of staining, corrosion, oil residue, or fluid leakage on surrounding surfaces. The electrical infrastructure present is typical of urban public spaces, and there were no transformers or equipment types commonly associated with PCB-containing fluids observed on-site.	No evidence of leaking electrical equipment was observed during the site visit.
Hazardous Operations		
	Site Specific	Surrounding Area
Evidence of manufacturing operations utilizing or producing hazardous substances?	No evidence of manufacturing operations utilizing or producing hazardous substances was observed during the site visit.	No evidence of manufacturing operations utilizing or producing hazardous substances was observed during the site visit.
Evidence of past operations that may have used hazardous substances or radiological materials that may have been released?	No evidence of past operations that may have used hazardous substances or radiological materials was observed during the site visit.	No evidence of past operations that may have used hazardous substances or radiological materials was observed during the site visit.
General Notes/Observations		
Based on field observations, photographic documentation, and a review of regulatory data, no jurisdictional wetlands or protected natural resources were identified within the project site or its immediate surroundings. The site is entirely developed with concrete surfaces, built		

infrastructure, and ornamental landscaping, and lacks the presence of hydrophytic vegetation, hydric soils, or persistent surface or subsurface hydrology. No threatened or endangered species were observed on-site or in adjacent areas, which are densely urbanized and lack ecological connectivity. A review of the MiPR GIS platform confirmed that no underground storage tanks (USTs) are registered within the site; the closest registered UST is located approximately 2,890 feet away. Additionally, no evidence of leaking electrical equipment or hazardous residues was noted during the site inspection.

May include photos using this format or any other, ensure a description is included.

Site Photo 1:

Applicant ID #	PR-CRP-000054
Property Address:	Plaza de la Música, Guillermo Esteves Street, Jayuya, PR 00664



Description:	Central area of the Plaza de la Música in Jayuya, featuring a semicircular, amphitheater-style arrangement of concrete bleachers descending toward a decorative multi-tiered fountain.
---------------------	--

Site Photo 2:

Applicant ID #	PR-CRP-000054
Property Address:	Plaza de la Música, Guillermo Esteves Street, Jayuya, PR 00664



Description:	Frontal view of the plaza from across the street, showing its elevated layout bordered by decorative railings and accessible entry points. A central staircase leads to the interior of the site, which includes tiered bleachers and a central fountain.
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