

**Environmental Review for Activity/Project that is Categorically
Excluded Subject to Section 58.5
Pursuant to 24 CFR 58.35(a)**

Project Information

Project Name: REHABILITACIÓN Y MEJORAS EN LA PLAZA PÚBLICA DE NAGUABO Y SUS ALREDEDORES.PR-CRP-000544

Responsible Entity: Puerto Rico Department of Housing (PRDOH)

Grant Recipient (if different than Responsible Entity): MUNICIPALITY OF NAGUABO

State/Local Identifier: Puerto Rico

Preparer: Architect Elí M. Martínez

Certifying Officer Name and Title:

Aldo A. Rivera-Vazquez - Director for Program Management

Abdul Feliciano-Plaza - Permits and Environmental Compliance Specialist

Javier Mercado-Barrera - Permits and Environmental Compliance Specialist

Juan Carlos Perez-Bofill - Director, Disaster Recovery CDBG-DR

Sally Z. Acevedo-Cosme - Permits and Environmental Compliance Specialist

Pedro de León Rodríguez - Permits and Environmental Compliance Specialist

Maria T. Torres-Bregón - Permits and Environmental Compliance Specialist

Angel G. López Guzmán - Deputy Director, Permits and Environmental Compliance Specialist

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Janette I. Cambrelen - Permits and Environmental Compliance Specialist

Limary Vélez Marrero - Permits and Environmental Compliance Specialist

Mónica Machuca Rios - Permits and Environmental Compliance Specialist

Priscilla Toro-Rivera - Permits and Environmental Compliance Specialist

Direct Comments to: environmentcdbg@vivienda.pr.gov

Project Location:

7 Calle Baldorioty, Naguabo, 00718

Parcel ID: 256-013-014-02

Parcel Location:

Lat: 18.21203100, Lon: -65.73509116

See Attachment A

Description of the Proposed Project [24 CFR 50.12 & 58.32; 40 CFR 1508.25]:

The Municipality of Naguabo plans to renovate the public square (*plaza*) which was originally built in 1820. The *plaza* marks the traditional urban center of the Municipality of Naguabo. The plaza is facing the City Hall to the east and the Nuestra Senora del Rosario Church, a registered historic place, to the west.

The scope of work proposed for the renovation of the plaza is as follows:

- **Restore and Repair the Central Fountain:** The iconic fountain documented in 1915, a centerpiece of the plaza, will undergo careful restoration.
- **Replace Four Smaller Fountains:** Due to their poor condition, the four smaller fountains will be replaced but the new fountains will maintain their original location within the plaza.
- **Improve Accessibility:** New stairs, railings, and ramps compliant with accessibility standards will be constructed to facilitate easy access to the plaza. New sidewalks and curbs will be constructed around the plaza. Curb ramps and pedestrian crossing lanes will be integrated in the new sidewalk to improve accessibility and pedestrian traffic around the plaza.
- **Landscaping and Gardens:** The project includes the construction of new planting areas around the perimeter of the plaza to create a buffer zone between the plaza and the street. Existing gardens will be preserved, and new trees will be planted to align with historical imagery. Areas in gardens that are proposed to be paved will be finished in a different tone floor tile to provide a visual key of the outline of the original gardens. This detail will be visible around the proposed kiosks and around the two existing sculptures.
- **Surface Improvements:** Presently, the plaza features granite tiles that were partially installed in certain areas as part of an undocumented intervention. This installation, which remains incomplete, covers only a portion of the plaza. The existing granite tiles will be removed to make way for the installation of new concrete tiles.
- **Integrate New Urban Elements:** The addition of two new kiosks and a pergola near the central fountain will offer shaded areas for public enjoyment.

- **Electrical & Plumbing Infrastructure:** New electrical and plumbing systems will support the plaza’s fountains, lighting, and the new kiosks.
- **Redefine Parking and Vehicular Circulation:** The proposed layout of the parking spaces around the plaza layout will include dedicated handicapped spaces in all sides of the plaza, a public transportation stop and areas for loading and unloading for surrounding businesses.
- **New Kiosks:** The structural elements of the new kiosks consist solely of columns. The intercolumnar space is partially covered at the bottom by a sheet metal infill.

Archeological monitoring will be required for ground disturbances related to construction of the new stairs, ramps and excavations required for the installation of electrical and plumbing utilities for the kiosks, fountains and light posts.

Funding Information

Grant Number	HUD Program	Funding Amount
B-17-DM-72-0001; B-18-DP-72-0001; B-19-DP-78-0002; B-18-DE-72-0001	Community Development Block Grant – Disaster Recovery (CDBG-DR)	\$11,938,162,000

Estimated Total HUD Funded Amount: \$2,706,324.24

Estimated Total Project Cost (HUD and non-HUD funds) [24 CFR 58.32(d)]: \$2,806,778.24 (includes \$100,454.00 of FEMA funds)

Compliance with 24 CFR 50.4, 58.5, and 58.6 Laws and Authorities

Record below the compliance or conformance determinations for each statute, executive order, or regulation. Provide credible, traceable, and supportive source documentation for each authority. Where applicable, complete the necessary reviews or consultations and obtain or note applicable permits of approvals. Clearly note citations, dates/names/titles of contacts, and page references. Attach additional documentation as appropriate.

Compliance Factors: Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6	Are formal compliance steps or mitigation required?	Compliance Determinations
STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 50.4 and 58.6		
Airport Hazards 24 CFR Part 51 Subpart D	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	The nearest civilian airport, Jose Aponte de la Torre (RVR) is located 27,460 feet from the project and the nearest military airport, Luis Muñoz Marin, is located 124,240 feet away approx. The project is not located within 15,000 feet of a military airport or 2,500 feet of a civilian airport. Additionally, the sale, acquisition, or disposition of property is not proposed under this scope of work; thus, notification with respect to airport runway protection zones would not apply. Hence, the project is in compliance with 24 CFR Part 51 Subpart D. Refer to Attachment B.
Coastal Barrier Resources Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 [16 USC 3501]	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	According to information obtained from the U.S. Fish and Wildlife (USFWS) Coastal Barrier Resources System Mapper, the site is located outside of the Coastal Barrier Resource System. The closest resources are over 2.8 miles (14,784 feet) away from the project site. This project has no potential to impact a CBRS Unit and complies with the Coastal Barrier Resources Act. Refer to Attachments C.

<p>Flood Insurance</p> <p>Flood Disaster Protection Act of 1973 and National Flood Insurance Reform Act of 1994 [42 USC 4001-4128 and 42 USC 5154a]</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>Project is in Zone X as per FEMA Map 72000C1280J with an effective date of November 18, 2009.</p> <p>The project does not require flood insurance as it is located in a Zone X Area of minimal Flood Hazard. Hence, the project is in compliance with this statute. Refer to maps on Attachment D.</p>
<p>STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 50.4 & 58.5</p>		
<p>Clean Air</p> <p>Clean Air Act, as amended, particularly section 176(c) & (d); 40 CFR Parts 6, 51, 93</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The proposed project is located within an attainment area and is not within a nonattainment or maintenance area for any criteria pollutants. According to the EPA Green Book, the Municipality of Naguabo is not listed as having nonattainment status for any pollutants, ensuring that this project complies with the Clean Air Act.</p> <p>The existing public plaza, which has been in place since 1820, will undergo rehabilitation. As the plaza already exists and the project does not involve any significant changes to land use, there will be no new permanent sources of air pollution introduced by this project. The only emissions will come from temporary construction machinery used during the rehabilitation work. These temporary impacts are expected to be minimal and will comply with all applicable air quality regulations, including proper management of dust and emissions during construction activities.</p> <p>Therefore, the project is in full compliance with the Clean Air Act, with no further evaluation or mitigation required. Please refer to Attachment E for additional documentation and verification of compliance.</p>
<p>Coastal Zone Management</p> <p>Coastal Zone Management Act, sections 307(c) & (d)</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The proposed project is not located within the Puerto Rico coastal management zone. The site location is approximately 1.13 miles (5966 feet) from the nearest coastline. The project is in compliance with the Coastal Zone Management Act. Refer to Attachment F.</p>

<p>Contamination and Toxic Substances</p>	<p>Yes No</p>	
<p>24 CFR Part 50.3(i) & 58.5(i)(2)</p>	<p><input checked="" type="checkbox"/> <input type="checkbox"/></p>	<p>Based on NEPAassist, Envirofacts, and EPA Echo information, there are nine (9) Hazardous Waste Sites within 3000 ft of the project site:</p> <ul style="list-style-type: none"> Dual Lite Cayman Naguabo STP Ransburg Dept Of Ed - Rafael Rocca Dept Of Ed - Fidelina Melendez School Ramon Rivero Stp Dwyer Instruments Inc Ransburg Manufacturing Corp COMBE Products <p>The sites were listed with no violations and are in compliance. No Echo Reports were available for the Dept Of Ed - Rafael Rocca, Dept Of Ed - Fidelina Melendez School Dwyer Instruments & Ransburg Manufacturing.</p> <p>Also, within the 3000 feet radius are three (3) NPDES - (Naguabo, Municipality of Naguabo, and Río Blanco Offshore Reservoir) and two toxic release (TRI) sites - (Dual Lite Manufacturing and Combre Products Inc).</p> <p>In addition, the following facility types were not located in proximity to the subject site and are therefore not mapped in Attachment G: Air Pollution (ICIS-AIR), Superfund (NPL), Brownfields (ACRES), and Toxic Substances Control Act (TSCA) facilities.</p> <p>Refer to Attachment G for a list documented sites and the Detailed Facility Reports. No recognized environmental conditions were identified at or near the property.</p>

		<p>The proposed project for the renovation of the plaza will preserve its original use as a gathering and community space, in line with its longstanding historical significance. This revitalization effort aims to enhance the plaza's functionality while maintaining its essence as a central hub for social interaction, cultural events, and public gatherings. For more detailed information about the area's history, please refer to Attachment L.</p> <p>An asbestos & lead based paint containing material study was performed on December 16, 2022. No asbestos was detected.</p> <p>Yellow, blue and white paint in curbs surrounding the plaza and a fire hydrant yielded positive results for lead. Contaminants shall be removed by a certified professional in accordance with local and federal guidelines. Refer to Attachment 00.</p> <p>The project site consists of an existing outdoor public plaza, which is open to the air. As such, the potential for radon accumulation is minimal, and no significant risk of radon exposure is anticipated. The structural elements of the new kiosks consist solely of columns. The intercolumnar space is partially covered at the bottom by a "sheet metal infill", hence, the kiosk is not classified as a building and is therefore exempt from HUD's radon regulations which are applicable to enclosed structures, residential buildings, or non-residential buildings occupied for more than 4 hours a day.</p> <p>Therefore, the project is in compliance with this regulation.</p>
<p>Endangered Species</p> <p>Endangered Species Act of 1973, particularly section 7; 50 CFR Part 402</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The project is in compliance with the blanket clearance. On October 2, 2024, the USFWS signed the blanket clearance concurring with the determination. The proposed project involves the rehabilitation of a previously developed area within</p>

		<p>the current footprint and will not involve the development of previously undisturbed property or natural habitat. The closest critical habitat is located 3.10 miles east of the proposed project.</p> <p>See Attachment H.</p> <p>If a Puerto Rican Boa is encountered, work will cease until it moves off the site or, failing that, the Puerto Rico Department of Natural and Environmental Resources (PRDNER) Rangers will be notified for safe capture and relocation of the animal, in accordance with the USFWS Puerto Rican Boa Conservation Measures guidelines.</p> <p>Hence, the project is in compliance with this statute.</p>
<p>Explosive and Flammable Hazards</p> <p>24 CFR Part 51 Subpart C</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The project is not located near or in areas of handling of flammable, toxic or explosive chemical products. This assessment was conducted on March 8, 2023. The project does not include any of the following activities: development, construction, rehabilitation that will increase residential densities, or conversion, therefore, the project is in compliance with 24 CFR Part 51 Subpart C.</p> <p>Refer to Field Visit Report included in Attachment I.</p>
<p>Farmlands Protection</p> <p>Farmland Protection Policy Act of 1981, particularly sections 1504(b) and 1541; 7 CFR Part 658</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The project is in compliance with the Farmland Protection Policy Act. The project is not located on prime farmland. Soil is classified as Urban Land. The project does not include any activities including new construction, acquisition of undeveloped land or conversion that could convert agricultural land to nonagricultural land use.</p> <p>See Attachment J.</p>
<p>Floodplain Management</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The project involves the rehabilitation of a plaza and is a non-critical action. Based on the 0.2 percent</p>

<p>Executive Order 11988, particularly section 2(a); 24 CFR Part 55 EO 13690 and 11988, according to the New Rule (FFRMS).</p>		<p>approach and the Advisory Base Flood Elevation (ABFE)</p> <p>maps, with an effective date of April 13, 2018, the site is located in Zone X, an area of minimal flood hazard and is not within a Special Flood Hazard Area (SFHA). Hence, the project is not in a FFRMS flood zone.</p> <p>The existing plaza level is elevated 14 to 18 inches above the surrounding sidewalks, which further reduces flood risk. Additionally, the project design includes new graded sidewalks, curbs, and gutters to improve stormwater management and ensure resilience against potential flooding events. These design features are aimed at minimizing surface water runoff and protecting the plaza from potential water accumulation during heavy rainfall or flooding scenarios.</p> <p>The project involves the redevelopment of an existing structure and is not anticipated to directly impact the floodplain.</p> <p>The project’s compliance with EO 11988 and EO 13690 reflects the use of best available data and climate-informed science to safeguard against future risks.</p> <p>Refer to Attachment K.</p>
<p>Historic Preservation</p> <p>National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800</p>	<p>Yes No</p> <p><input checked="" type="checkbox"/> <input type="checkbox"/></p>	<p>The complete consultation package was submitted to SHPO on October 2, 2023. On November 30, 2023, SHPO concurred with the finding that the proposed undertaking will have no adverse effect upon historic properties with the established condition that archaeological monitoring was required during excavations. The archaeological monitoring plan was submitted to SHPO on June 18, 2024, and approved by SHPO on July 4, 2024. Hence, the project is in compliance with this statute. Refer to Attachment L.</p>

<p>Noise Abatement and Control</p> <p>Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>As the project does not involve the construction or rehabilitation of a residential space, it is not considered to be a noise sensitive project, and therefore, a noise assessment was not required. Noise may be generated by construction activities, but construction noise is not anticipated to impact the surrounding neighborhood. The project is in compliance with HUD's Noise regulation.</p>
<p>Sole Source Aquifers</p> <p>Safe Drinking Water Act of 1974, as amended, particularly section 1424(e); 40 CFR Part 149</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>There are no Sole Source Aquifers in Puerto Rico. The project is in compliance without further evaluation. The closest aquifer is located 1,052.2 miles from the project site. Refer to Attachment M.</p>
<p>Wetlands Protection</p> <p>Executive Order 11990, particularly sections 2 and 5</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The proposed project is in compliance with Executive Order 11990 (Protection of Wetlands). While there are no wetlands directly within or adjacent to the project area, the site is located approximately 780 feet from Freshwater Emergent wetlands. The distance from the wetlands ensures that the project will not have any adverse impacts on these natural resources. Furthermore, the design incorporates measures to prevent any potential runoff or disturbance that could affect nearby wetland areas. Refer to map on Attachment N.</p>
<p>Wild and Scenic Rivers</p> <p>Wild and Scenic Rivers Act of 1968, particularly section 7(b) and (c)</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>There are three rivers in the area. The closest river is Rio Icacos and it is located 4.40 miles away from the proposed project. The project is in compliance with Wild and Scenic Rivers Act. Refer to Attachment O</p>
<p>ENVIRONMENTAL JUSTICE</p>		
<p>Environmental Justice</p> <p>Executive Order 12898</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The project does not create adverse environmental impacts upon a low-income or</p>

	<p>minority community. The proposed activity will not have a negative impact on Environmental Justice. Therefore, the proposed activity complies with Executive Order 12898.</p>
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Field Inspection (Date and completed by):

Field Inspection on March 8, 2023, Elí M. Martínez. Refer to Attachment I

Summary of Findings and Conclusions:

The project cannot be exempt due to the need for formal consultation and mitigation under Section 58.5. However, with the implementation of mitigation measures such as archaeological monitoring, lead-based paint removal, the project complies with all federal, state, and local environmental requirements. No significant environmental impacts are anticipated, and no further environmental review is necessary.

Mitigation Measures and Conditions [40 CFR 1505.2(c)]

Summarize below all mitigation measures adopted by the Responsible Entity to reduce, avoid, or eliminate adverse environmental impacts and to avoid non-compliance or non-conformance with the above-listed authorities and factors. These measures/conditions must be incorporated into project contracts, development agreements, and other relevant documents. The staff responsible for implementing and monitoring mitigation measures should be clearly identified in the mitigation plan.

Law, Authority, or Factor	Mitigation Measure
Contamination and Toxic Substances 24 CFR Part 50.3(i) & 58.5(i)(2)	The paint on curbs surrounding the plaza and the paint on the fire hydrant contains lead. Contaminants shall be removed and disposed of by a certified company in compliance with local and federal regulations.
Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978 (24 CFR Part 51 Subpart B)	Construction activities will be scheduled during standard working hours (e.g., 8 AM to 5 PM) to minimize disturbance to the surrounding community. Noisy activities will be limited to specific times when they are least likely to impact residents or nearby businesses.
Endangered Species Act of 1973, Section 7 (50 CFR Part 402)	In compliance with Section 7 of the Endangered Species Act (50 CFR Part 402), the project will ensure no adverse effects on any endangered species, including the Puerto Rican Boa. If an endangered species is encountered during construction, work will cease immediately, and the appropriate authorities will be consulted for safe removal or relocation

National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800

Compliance with the drawings and specifications as provided to PRSHPO and approved, will ensure that this project will have no adverse effects to existing historic properties. Archaeological monitoring during construction is required in accordance with the archaeological monitoring plan approved by SHPO.

The applicant and/or construction manager is required to obtain any necessary local and territorial building and environmental permits prior to construction activities commencing.

Determination:

- This categorically excluded activity/project converts to Exempt, per 58.34(a)(12) because there are no circumstances which require compliance with any of the federal laws and authorities cited at §58.5. Funds may be committed and drawn down after certification of this part for this (now) EXEMPT project; OR
- This categorically excluded activity/project cannot convert to Exempt because there are circumstances which require compliance with one or more federal laws and authorities cited at §58.5. Complete consultation/mitigation protocol requirements, **publish NOI/RROF and obtain "Authority to Use Grant Funds"** (HUD 7015.16) per Section 58.70 and 58.71 before committing or drawing down any funds; OR
- This project is now subject to a full Environmental Assessment according to Part 58 Subpart E due to extraordinary circumstances (Section 58.35(c)).

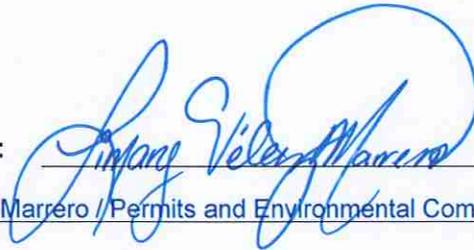
Preparer Signature: _____



Date: January 15, 2025

Name/Title/Organization: ELI M. MARTINEZ - ARCHITECT

Certifying Officer Signature: _____



Date: 01/16/2025

Name/Title: Limary Vélez Marrero / Permits and Environmental Compliance Specialist

This original, signed document and related supporting material must be retained on file by the Responsible Entity in an Environmental Review Record (ERR) for the activity/project (ref: 24 CFR Part 58.38) and in accordance with recordkeeping requirements for the HUD program(s).

ATTACHMENT 0

CONSTRUCTION
PLANS 60%

THIS DOCUMENT AND ALL INFORMATION, DESIGN, CONCEPTS, DRAWINGS, DETAILS, SPECIFICATIONS AND GENERAL NOTES CONTAINED HEREIN ARE THE EXCLUSIVE PROPERTY OF EM ARCHITECTS. IT SHALL NOT BE COPIED OR TRANSMITTED IN ANY FORM OR BY ANY ELECTRONIC MEANS WITHOUT THE WRITTEN PERMISSION OF ARG. ELI MARIANO MARTÍNEZ, AIA. THIS DOCUMENT IS TO BE USED AS A WORKING INSTRUMENT ONLY BY AUTHORIZED PERSONNEL.

ARCHITECT:

CONSULTANT:

CERTIFIED BY:

REVISION / DATE / DESCRIPTION

PROJECT

CLIENT

PROJECT #

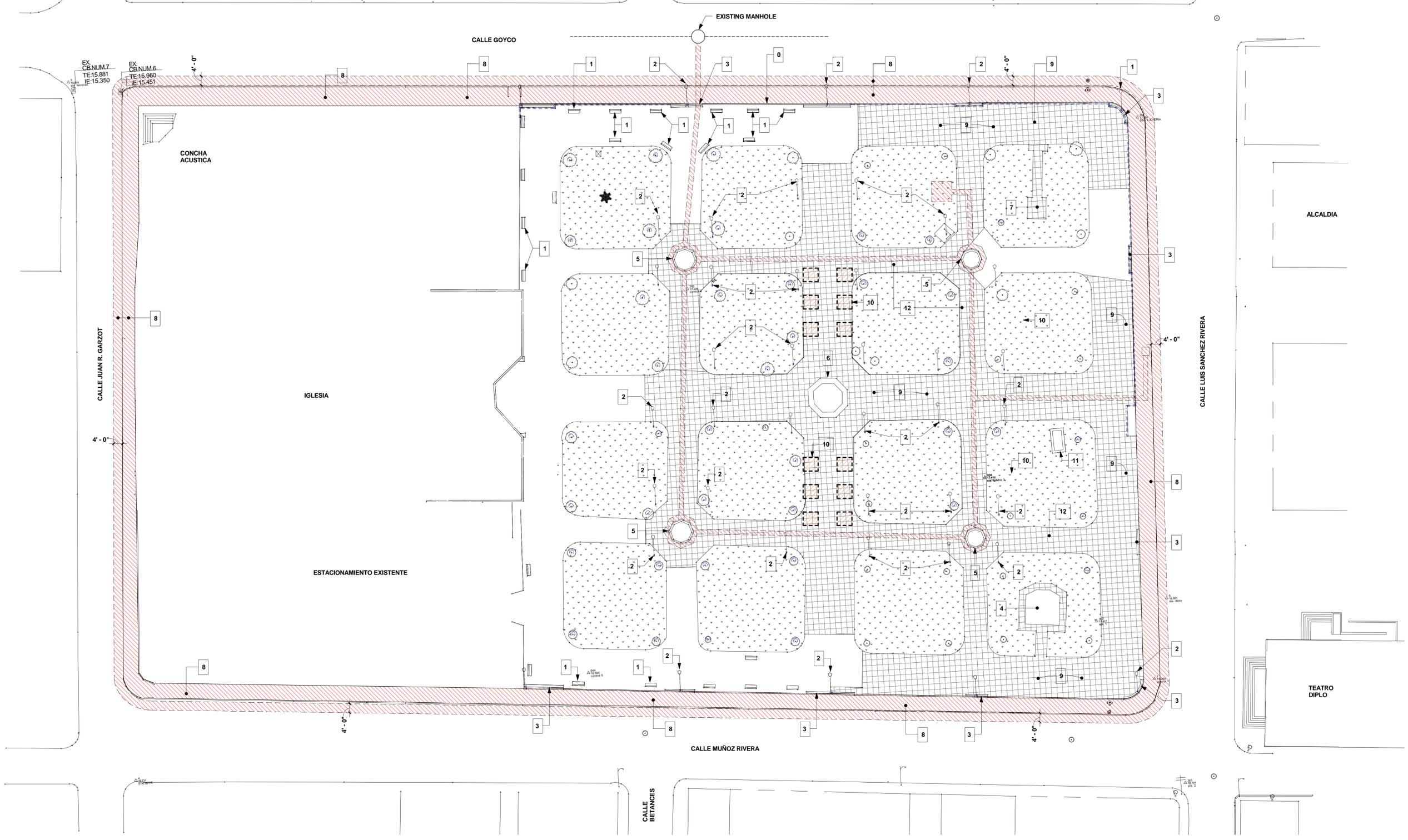
SCALE

DRAWN BY

DEMOLITION SITE PLAN

TITLE

SHEET



1 DEMOLITION SITE PLAN
 1 : 250

DEMOLITION LEGEND

TO BE DEMOLISHED

DEMOLITION KEYNOTE LEGEND:

- | | | |
|--|---|--|
| <p>1 ALL EXISTING BENCHES TO BE REMOVED AND RETURNED TO THE MUNICIPALITY</p> <p>2 ALL EXISTING LIGHT POSTS TO BE REMOVED AND RETURNED TO THE MUNICIPALITY</p> <p>3 ALL EXISTING STAIRS TO BE DEMOLISHED</p> <p>4 EXISTING STATUE TO BE CLEANED</p> <p>5 EXISTING FOUNTAIN TO BE CLEANED AND REPAIRED</p> | <p>6 EXISTING FOUNTAIN TO BE CLEANED AND REPAIRED</p> <p>7 EXISTING STATUE TO BE CLEANED</p> <p>8 ALL EXISTING TILES ON SIDEWALKS TO BE REMOVED AND EXISTING CURBS TO BE REPAIRED AND PINTED AROUND THE PLAZA BLOCK</p> <p>9 EXISTING GRANITE TO BE REMOVED AND RETURNED TO THE MUNICIPALITY (23,613 SQ. FT.)</p> <p>10 IMPACTED AREA WHERE EXCAVATION IS REQUIRED (2365 SQ. FT.)</p> | <p>11 EXISTING UTILITY BOX TO REMAIN</p> <p>12 EXISTING CONCRETE SLAB TO BE DEMOLISHED</p> <p>13 PARTIAL SLAB TO BE DEMOLISHED</p> |
|--|---|--|

PROJECT
 PLAZA DE RECREO DE NAGUABO
 NAGUABO, PR

CLIENT
 MUNICIPIO DE NAGUABO

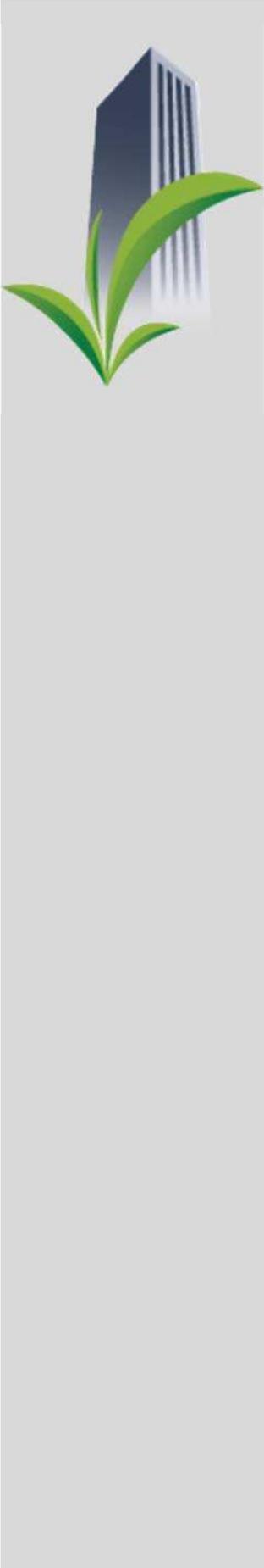
PROJECT # 53-002
 SCALE As indicated
 DRAWN BY Author

DEMOLITION SITE PLAN

TITLE
 DS101

SHEET

ATTACHMENT 00
LEAD BASED PAINT AND
ASBESTOS CONTAINING
MATERIAL
INSPECTION REPORTS



Asbestos Containing Building Materials Inspection Report

Project:

Selective Areas at
Plaza de Recreo de Naguabo,
Naguabo, Puerto Rico

Client:
EM Achitects

ZEM-22302
December 2022

Prepared By:

Zimmetry Environmental Management, Corp.
www.zimmetry.com
info@zimmetry.com

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SECTION 1: EXECUTIVE SUMMARY

1.1 INTRODUCTION

An Asbestos Containing Building Materials (ACBM) inspection was conducted on December 16, 2022 at Selective Areas at Plaza de Recreo de Naguabo in Naguabo, Puerto Rico. Refer to *Appendix B: Demolition Plans* for specific project locations provided by the client. The asbestos containing building materials sampling was performed to identify material that contains asbestos fibers above allowable levels and to assist with the compliance of local, state and federal regulations.

1.2 SUMMARY OF PROPERTY EVALUATION

The project consisted in the evaluation of selective exterior areas of the aforementioned project (refer to *Appendix B: Demolition Plans* for specific project locations). The evaluation found that **no** asbestos containing materials were identified during the inspection of the areas.

SECTION 2: ASBESTOS CONTAINING MATERIALS SURVEY REPORT

2.1 OVERVIEW OF THE EVALUATION

This asbestos containing materials (ACM) survey is an inspection to identify the location of any ACM that exist within. Throughout the inspection no asbestos containing materials were identified at the assessed areas.

The inspection was conducted by the Department of Natural and Environmental Resources (DRNA) of Puerto Rico and United States Environmental Protection Agency (USEPA) accredited Inspectors qualified by experience, education and training in the recognition of potential ACM and approved bulk sampling techniques. Some areas may not have been directly accessible due to the physical hazards encountered within. In these areas, assumptions based on findings in other areas were made whenever possible. These assumptions are duly noted as such in this report.

The inspection was performed in accordance with Environmental Protection Agency recommended procedures found in EPA-450/2-78-014 (Parts I and II), EPA 560/5-85-024, and 40 CFR 763. These procedures call for the visual inspection of the building for suspect friable material and collection and analysis of representative samples of suspect material.

2.2 CONDITIONS AND LIMITATIONS—DISCLAIMER

Zimmetry Environmental Management Corp. has performed this asbestos containing building materials inspection in a thorough and professional manner consistent with commonly accepted industry standards. The Preparer cannot guarantee and does not warrant that this evaluation has identified all adverse environmental factors and/or conditions affecting this project on the date of the evaluation.

The results reported and conclusions reached by the Preparer are solely for the benefit of the Owner and occupants. The results and opinions in this report, based solely on the conditions found at the project on the date of the evaluation, are valid only on that date. The Preparer assumes no obligation to advise the client of any changes in any real or potential asbestos hazards at this project beyond the date of the evaluation.

The Asbestos Containing Building Materials inspection was performed to ready accessible components and surfaces. If suspected components that could contain asbestos are encountered, they shall be managed as containing asbestos until the appropriate laboratory analysis is performed.

2.3 ENVIRONMENTAL ASSESSMENT REPORT CERTIFICATION

Zimmetry Environmental Management Corp. has performed this asbestos containing building materials inspection in a thorough and professional manner consistent with commonly accepted industry standards. The inspection was conducted on December 16, 2022 by Alicia García, state-certified inspector ASB-0822-0283-SI, qualified by experience, education and training in the recognition of asbestos containing materials and approved sampling techniques.



Alicia García Justiniano, MSc
Environmental Asbestos Inspector

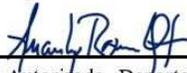
SECTION 3: APPENDICES

Appendix A: Certifications, Licenses, and Accreditations

Appendix B: Certification of No Presence of Asbestos (Form PGC-009)

Appendix C: Demolition Plans

APPENDIX A: CERTIFICATIONS, LICENSES, AND ACCREDITATIONS

	TARJETA DE REGISTRO PARA LA REMOCION DE ASBESTO Esta tarjeta autoriza a: <i>Alicia García Justiniano</i> <hr/> Inspector A trabajar en la remoción de asbesto en Puerto Rico. Esta persona NO es un empleado del DRNA.  <hr/> Firma Autorizada - Departamento Recursos Naturales y Ambientales
ASB-0822-0283-SI Número de Registro	
31-jul-2023 Fecha de vencimiento	

APPENDIX B: CERTIFICATION OF NO PRESENCE OF ASBESTOS
(FORM PGC-009)



CERTIFICACION DE NO PRESENCIA DE ASBESTO EN ESTRUCTURAS A DEMOLERSE

(Deberá completarse en letra de molde o impresa)

PGC- _____
PARA USO OFICIAL

Yo, Alicia García, mayor de edad, casada, y vecino de Bayamón
(Nombre) (Estado Civil) (Municipio)

Dirección Postal PO Box 3545 Bayamón 00958
(Pueblo) (Zip Code)

Teléfonos: Residencial (787) 550 - 2061 Oficina (787) 995 - 0005 Ext. _____
Fax (787) 995 - 0005

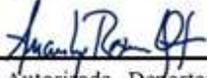
Certifico que:

1. La estructura localizada en Selective Areas at Plaza de Recreo de Naguabo, Naguabo, la cual será objeto de una demolição se encuentra libre de asbesto.
Puerto Rico
2. La información antes indicada es cierta y correcta.
3. Afirmo y reconozco las consecuencias de incluir y someter información falsa en este documento.
4. Para que así conste, firmo la presente certificación en Bayamón de Puerto Rico,
(Municipio)
hoy día 29 de diciembre de 2022

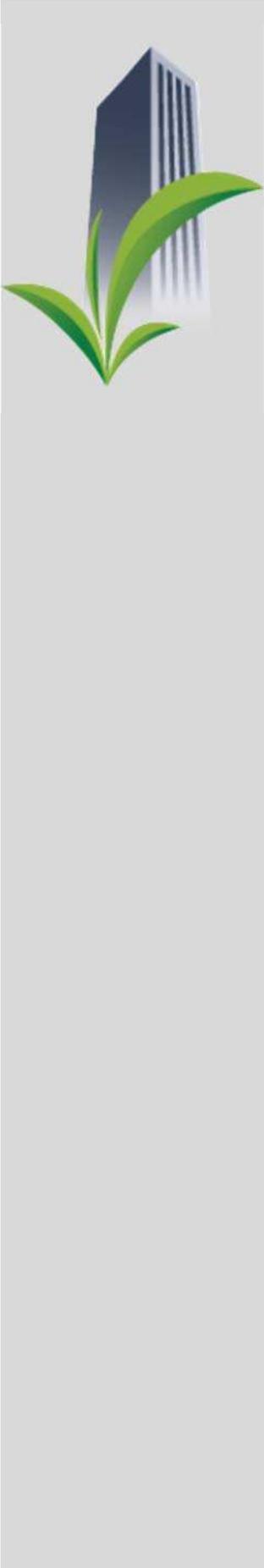
Firma y Sello del Profesional o
Firma del Inspector de Asbesto registrado por la JCA (Original)

Nota: Ingenieros o Arquitectos deberán someter evidencia de que se encuentra al día en el pago de sus cuotas de colegiación e Inspectores de Asbesto deberán someter evidencia de la tarjeta de registro provista por la JCA.

CERTIFICATION

	<p>TARJETA DE REGISTRO PARA LA REMOCION DE ASBESTO</p> <p>Esta tarjeta autoriza a:</p> <p><i>Alicia Garcia Justiniano</i></p> <hr/> <p>Inspector</p> <p>A trabajar en la remoción de asbesto en Puerto Rico. Esta persona NO es un empleado del DRNA.</p> <p></p> <hr/> <p>Firma Autorizada - Departamento Recursos Naturales y Ambientales</p>
<p>ASB-0822-0283-SI</p>	
<p>Número de Registro</p>	
<p>31-jul-2023</p>	
<p>Fecha de vencimiento</p>	

APPENDIX C: DEMOLITION PLANS



Lead Based Paint Inspection Report

Project:

Selective Areas at
Plaza de Recreo de Naguabo,
Naguabo, Puerto Rico

Client:
EM Achitects

ZEM-22302
December 2022

Prepared By:

Zimmetry Environmental Management, Corp.
www.zimmetry.com
info@zimmetry.com

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SECTION 1: EXECUTIVE SUMMARY

1.1 INTRODUCTION

A Lead-Based Paint inspection was conducted on December 16, 2022 at Selective Areas at Plaza de Recreo de Naguabo in Naguabo, Puerto Rico. Refer to *Appendix F: Demolition Plans* for specific project locations provided by the client. The lead-based paint inspection was performed to identify paint that contains lead above allowable levels and to assist with the compliance of local, state and federal regulations.

1.2 SUMMARY OF PROPERTY EVALUATION

The project consisted of the evaluation of selective exterior areas of the aforementioned project (refer to *Appendix F: Demolition Plans* for specific project locations). The evaluation found that lead based paint was present in selective components and surfaces through the project on the date of the inspection. Table 1-1 identifies the components positive for lead. Table 2-1 identifies lead-based paint as defined by the U.S. Environmental Protection Agency (EPA) and the Department of Natural and Environmental Resources (DRNA) of Puerto Rico. For specific locations and additional detail on the location of lead- reference Sections 2 and 3.

1.3 PROPERTY LOCATIONS OF BUILDING COMPONENTS WITH LEAD-BASED PAINT

Table 1-1 summarizes the site components and surfaces coated with lead-based paint. Details that identify positive lead-based paint findings within specific areas and on surfaces were provided in the lead-based paint inspection report. The “substrate” is the building component material directly beneath the painted surface. Photographic documentation is for reference purposes and doesn't necessarily include all the surfaces with lead based paint and/or components containing lead. The quantification of positives materials presented in this table is only an estimate. If an abatement of the materials will be conducted, the Contractors shall estimate the amount of materials to be abated.

If homogeneous materials that were not accounted for are identified in areas that are not describe in this report or inaccessible areas described in Section 2.3.3, they shall be managed as containing lead. If suspected components that could contain lead are encountered underneath current installed tiles or other construction material, they shall be managed as containing lead until the appropriate test is performed. Refer to Appendix E: Location of Positive Materials for specific location.

Table 1-1: Summary of Components Containing Lead				
Area	Component	Color	Substrate	Approximate Amount
Plaza	Curbs	White, Blue & Yellow	Concrete	330 Ln Ft
	Ramp	Blue	Concrete	18 Ft ²
	Fire Hydrant	Yellow	Concrete	1 unit

Note:

1. The quantification of positives materials presented in this table is only an estimate. If an abatement of the materials will be conducted, the Contractors shall estimate the amount of materials to be abated.

SECTION 2: LEAD-BASED PAINT INSPECTION REPORT

2.1 OVERVIEW OF THE EVALUATION

This lead-based paint inspection was a selective investigation to identify all lead-based paint on a surface-by-surface basis (refer to *Appendix F: Demolition Plans* for specific project locations provided by the client). A lead-based paint inspection conforming to HUD guidelines was performed at the aforementioned project.

Averages of 98 samples were taken at identified surfaces of the evaluated areas using X-ray fluorescence (XRF) analyzer. The evaluation found that lead-based paint was present in selective components and surfaces through the project on the date of the assessment (See Table 1-1).

Some of the remaining XRF test locations exhibited lead-in-paint levels below the level that EPA identifies as lead-based paint, namely 1.0 mg/cm². Such surfaces could create dust-lead or soil-lead hazards if the paint is turned into dust by abrasion, scraping, or sanding. Should these or any lead containing components or surfaces be disturbed in any manner that generates dust, care should be taken to limit its spread.

Testing was performed by Dilia Rosado, state-certified risk assessor LBPRA-20322-195, using the Niton XLp-300A XRF, SN-101222. The credentials are provided in Section 3, Appendix C: Certifications, Licenses, and Accreditations. The XRF analyzer is designed to measure the lead content of surface coatings on a variety of building surfaces, substrates, and components. The measurement is rapid and nondestructive and, according to the manufacturer, is capable of detecting lead concentrations that occur within numerous layers of various surface coatings.

Please refer to the XRF Testing Results Section 3, Appendix A: XRF Sampling Data for the detailed analytical testing results for each distinct area inspected. The reports provide a complete testing data.

2.2 SAMPLING PROCEDURE

The Lead Based Paint Sampling Procedure was design to evaluate and document all the data obtained form the inspection in a sequential method that provided confidence at the moment of the results presentation.

The survey was performed following the methodology established in the HUD Guidelines for the Evaluation and Control of Lead Based Paint in Housing (2012 revision) and the Department of Natural and Environmental Resources (DRNA) of Puerto Rico Regulation 9098: Regulation for Proper Management of Lead-Based Paint Activities. The surfaces evaluation was performed as follows:

- If the lead concentration measured by the XRF Spectrum Analyzer is less than 1.0 mg/cm² it is considered negative.

- If the lead concentration measured by the XRF Spectrum Analyzer is equal or greater than 1.0 mg/cm² it is considered positive.

To each functional space of the project a name was assigned according to the use of that space. If no name could be assigned then a code letter or number was assigned.

Each wall surface was named with letters beginning with wall A the wall facing the main entrance direction. The wall at your left will be wall B, the wall at front wall C and the wall at you right will be wall D.

2.3 RESULTS PRESENTATION

This section describes the project components and surfaces coated with lead-based paint (LBP), which were observed in the inspection. Please note that the recommendations given are always the minimum action, which in our professional judgment should be taken.

According to the DRNA lead regulations, prior to the demolishing of a structure containing lead based paint, the contaminated surfaces or substrates must be abated or removed. The firm providing the abatement services must be certified as an abatement firm by the DRNA.

2.3.1 SPECIFIC FINDINGS

The following LBP were found to contain more than 1.0 mg/cm² for what Department of Natural and Environmental Resources (DRNA) of Puerto Rico identifies as lead-based paint or materials containing lead:

- Curbs
- Fire Hydrant
- Ramp

2.3.2 HOMOGENEOUS AREAS WITH SPECIAL CONSIDERATIONS

NONE

2.3.3 INACCESSIBLE AREAS PRESUMED TO BE LEAD-BASED PAINTED

NONE

2.4 LEAD REGULATORY LEVELS

The lead regulatory levels provided below are those used when preparing this lead-based paint evaluation or when evaluating data collected. The EPA regulatory levels are the same as the state regulatory levels provided in the following table.

TABLE 2-1: LEAD REGULATORY LEVELS	
	EPA/DRNA Levels
Lead-Based Paint	1.0 mg/cm² or 0.5% by weight (or 5,000 ppm)

2.5 CONDITIONS AND LIMITATIONS—DISCLAIMER

Zimmetry Environmental Management Corp. has performed this lead-based paint inspection in a thorough and professional manner consistent with commonly accepted industry standards. The Preparer cannot guarantee and does not warrant that this evaluation has identified all adverse environmental factors and/or conditions affecting this project on the date of the evaluation.

The results reported and conclusions reached by the Preparer are solely for the benefit of the Owner. The results and opinions in this report, based solely on the conditions found at the project on the date of the evaluation, are valid only on that date. The Preparer assumes no obligation to advise the client of any changes in any real or potential lead-based paint hazards at this project beyond the date of the evaluation.

The lead inspection was performed to ready accessible components and surfaces. If suspected components that could contain lead are encountered underneath current installed tiles or other construction material, they shall be managed as containing lead until the appropriate test is performed.

2.6 ABATEMENT CONDITIONS

Abatement, as defined by HUD and the Department of Natural and Environmental Resources (DRNA) of Puerto Rico, means any set of measures designed to eliminate lead-based paint and/or lead-based paint hazards permanently. The people providing these services must be trained in accordance with the DRNA licensing/certification requirements. The product manufacturer and/or contractor must warrant abatement methods to last a minimum of 20 years, or these methods must have a design life of at least 20 years.

- onsite or offsite removal of lead-based paint from substrates and components
- replacement of components or fixtures painted with lead-based paint
- permanent enclosure of lead-based paint with construction materials mechanically-fastened to the substrate
- encapsulation of lead-based paint with specially designed encapsulant products
- removal or permanent covering (concrete or asphalt) of soil-lead-based paint hazards

If enclosure or encapsulation is conducted as an abatement method, the lead-based paint remains on the property, so ongoing lead-based paint maintenance is required.

2.7 RECOMMENDATIONS

According to the DRNA lead regulations, prior to the demolishing of a structure containing lead-based paint, the contaminated surfaces or substrates must be abated or removed. The waste generated has to be characterized to determine if the waste generated is hazardous or non-hazardous waste. The firm providing the abatement services must be certified as an abatement firm by the DRNA. Workers conducting abatement must be trained and certified as abatement workers by a training provider accredited by the DRNA.

2.8 ENVIRONMENTAL ASSESSMENT REPORT CERTIFICATION

Zimmetry Environmental Management Corp. has performed this lead-based paint inspection in a thorough and professional manner consistent with commonly accepted industry standards. The inspection was conducted on December 16, 2022 by Dilia Rosado, state-certified risk assessor LBPRA-20322-195, qualified by experience, education and training in the recognition of lead based paint and approved sampling techniques using the Niton XLP-300A XRF, SN-101222.



Dilia Rosado, MEM
Environmental Risk Assessor

SECTION 3: APPENDICES

Appendix A: Certifications, Licenses, and Accreditations

Appendix B: XRF Sampling Data

Appendix C: XRF's Performance Characteristics Sheet

Appendix D: Photographic Record

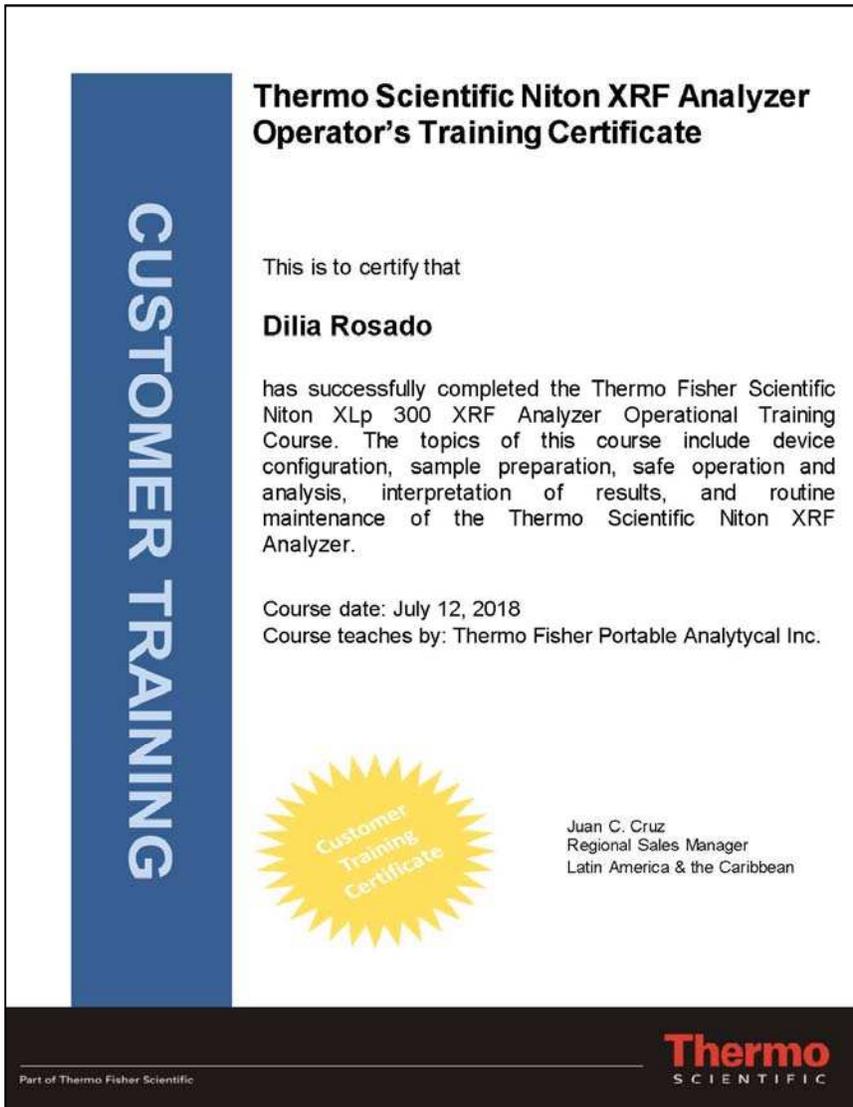
Appendix E: Location of Positive Materials

Appendix F: Demolition Plans

APPENDIX A: CERTIFICATIONS, LICENSES, AND ACCREDITATIONS



APPENDIX A: CERTIFICATIONS, LICENSES, AND ACCREDITATIONS



APPENDIX B: XRF SAMPLING DATA

PROJECT:	Selective Areas at Plaza de Recreo de Naguabo, Naguabo, Puerto Rico			CLIENT: EM Achitects			
DATE:	12/16/2022	LBP Inspector: Dilia Rosado					
Sample ID.	Functional Space	Location	Color	Subst.	XRF Reading	Pos/Neg	Comments
1	Calibration				1.00		
2	Calibration				1.00		
3	Calibration				1.00		
4	Plaza	Curb	White	Concrete	1.70	Positive	
5	Plaza	Ramp	Blue	Concrete	1.20	Positive	
6	Plaza	Curb	Blue	Concrete	1.20	Positive	
7	Plaza	Curb	Cream	Concrete	0.00	Negative	
8	Plaza	Light Pole	Cream	Concrete	0.00	Negative	
9	Plaza	Light Pole Base	Black	Metal	0.00	Negative	
10	Plaza	Fire Hydrant	Yellow	Concrete	1.30	Positive	
11	Plaza	Curb	White	Concrete	0.80	Negative	
12	Plaza	Curb	Yellow	Concrete	0.80	Negative	
13	Plaza	Curb	Blue	Concrete	0.50	Negative	
14	Plaza	Curb Planter	Yellow	Concrete	0.00	Negative	
15	Plaza	Curb	Cream	Concrete	0.00	Negative	
16	Plaza	Light Pole Base	Cream	Concrete	0.00	Negative	
17	Plaza	Pole	Brown	Metal	0.00	Negative	
18	Plaza	Curb Planter	Yellow	Concrete	0.00	Negative	
19	Plaza	Bench	White	Concrete	0.00	Negative	
20	Plaza	Bench	Cream	Concrete	0.00	Negative	
21	Plaza	Floor Tiles	Cream	Concrete	0.00	Negative	
22	Plaza	Steps	Cream	Concrete	0.00	Negative	
23	Plaza	Planter	Cream	Concrete	0.00	Negative	
24	Plaza	Curb	White	Concrete	0.00	Negative	
25	Plaza	Curb	Yellow	Concrete	0.00	Negative	
26	Plaza	Curb	Yellow	Concrete	0.02	Negative	
27	Plaza	Fire Hydrant	Yellow	Metal	0.00	Negative	
28	Plaza	Light Pole	White	Wood	0.00	Negative	
29	Plaza	Curb	Yellow	Concrete	0.05	Negative	
30	Plaza	Curb	Yellow	Concrete	0.01	Negative	
31	Plaza	Light Pole	Cream	Wood	0.00	Negative	
32	Plaza	Ramp	Blue	Concrete	0.00	Negative	
33	Plaza	Curb	Yellow	Concrete	0.00	Negative	
34	Plaza	Curb	Yellow	Concrete	0.00	Negative	
35	Plaza	Curb	Yellow	Concrete	0.00	Negative	
36	Plaza	Curb	Yellow	Concrete	0.00	Negative	
37	Plaza	Curb	Blue	Concrete	0.00	Negative	
38	Plaza	Curb	Blue	Concrete	0.00	Negative	
39	Plaza	Curb	Blue	Concrete	0.00	Negative	
40	Plaza	Curb	Blue	Concrete	0.00	Negative	
41	Plaza	Curb	White	Concrete	0.00	Negative	
42	Plaza	Curb	White	Concrete	0.01	Negative	
43	Plaza	Curb	White	Concrete	0.00	Negative	
44	Plaza	Curb	White	Concrete	0.01	Negative	
45	Plaza	Ramp	Yellow	Concrete	0.00	Negative	
46	Plaza	Ramp	Blue	Concrete	0.00	Negative	
47	Plaza	Stairs	Cream	Concrete	0.00	Negative	
48	Plaza	Stairs	Cream	Concrete	0.00	Negative	
49	Plaza	Stairs	Cream	Concrete	0.00	Negative	
50	Plaza	Stairs	Cream	Concrete	0.00	Negative	
51	Plaza	Stairs	Cream	Concrete	0.00	Negative	
52	Plaza	Curb Planter	Yellow	Concrete	0.03	Negative	
53	Plaza	Curb Planter	Yellow	Concrete	0.03	Negative	
54	Plaza	Curb Planter	Yellow	Concrete	0.02	Negative	
55	Plaza	Curb Planter	Yellow	Concrete	0.03	Negative	
56	Plaza	Curb Planter	Yellow	Concrete	0.02	Negative	
57	Plaza	Bench	Cream	Concrete	0.00	Negative	
58	Plaza	Bench	Cream	Concrete	0.00	Negative	
59	Plaza	Bench	Cream	Concrete	0.00	Negative	
60	Plaza	Bench	Cream	Concrete	0.00	Negative	

APPENDIX C: XRF's PERFORMANCE CHARACTERISTICS SHEET

Performance Characteristic Sheet

EFFECTIVE DATE: September 24, 2004

EDITION NO.: 1

MANUFACTURER AND MODEL:

Make: Niton LLC

Tested Model: XLp 300

Source: ^{109}Cd

Note: This PCS is also applicable to the equivalent model variations indicated below, for the Lead-in-Paint K+L variable reading time mode, in the XLi and XLp series:

XLi 300A, XLi 301A, XLi 302A and XLi 303A.

XLp 300A, XLp 301A, XLp 302A and XLp 303A.

XLi 700A, XLi 701A, XLi 702A and XLi 703A.

XLp 700A, XLp 701A, XLp 702A, and XLp 703A.

Note: The XLi and XLp versions refer to the shape of the handle part of the instrument. The differences in the model numbers reflect other modes available, in addition to Lead-in-Paint modes. The manufacturer states that specifications for these instruments are identical for the source, detector, and detector electronics relative to the Lead-in-Paint mode.

FIELD OPERATION GUIDANCE

OPERATING PARAMETERS:

Lead-in-Paint K+L variable reading time mode.

XRF CALIBRATION CHECK LIMITS:

0.8 to 1.2 mg/cm ² (inclusive)

The calibration of the XRF instrument should be checked using the paint film nearest 1.0 mg/cm² in the NIST Standard Reference Material (SRM) used (e.g., for NIST SRM 2579, use the 1.02 mg/cm² film).

If readings are outside the acceptable calibration check range, follow the manufacturer's instructions to bring the instruments into control before XRF testing proceeds.

SUBSTRATE CORRECTION:

For XRF results using Lead-in-Paint K+L variable reading time mode, substrate correction is not needed for:

Brick, Concrete, Drywall, Metal, Plaster, and Wood

INCONCLUSIVE RANGE OR THRESHOLD:

K+L MODE READING DESCRIPTION	SUBSTRATE	THRESHOLD (mg/cm ²)
Results not corrected for substrate bias on any substrate	Brick	1.0
	Concrete	1.0
	Drywall	1.0
	Metal	1.0
	Plaster	1.0
	Wood	1.0

BACKGROUND INFORMATION

EVALUATION DATA SOURCE AND DATE:

This sheet is supplemental information to be used in conjunction with Chapter 7 of the HUD *Guidelines for the Evaluation and Control of Lead-Based Paint Hazards in Housing* ("HUD Guidelines"). Performance parameters shown on this sheet are calculated from the EPA/HUD evaluation using archived building components. Testing was conducted in August 2004 on 133 testing combinations. The instruments that were used to perform the testing had new sources; one instrument's was installed in November 2003 with 40 mCi initial strength, and the other's was installed June 2004 with 40 mCi initial strength.

OPERATING PARAMETERS:

Performance parameters shown in this sheet are applicable only when properly operating the instrument using the manufacturer's instructions and procedures described in Chapter 7 of the HUD Guidelines.

SUBSTRATE CORRECTION VALUE COMPUTATION:

Substrate correction is not needed for brick, concrete, drywall, metal, plaster or wood when using Lead-in-Paint K+L variable reading time mode, the normal operating mode for these instruments. If substrate correction is desired, refer to Chapter 7 of the HUD Guidelines for guidance on correcting XRF results for substrate bias.

EVALUATING THE QUALITY OF XRF TESTING:

Randomly select ten testing combinations for retesting from each house or from two randomly selected units in multifamily housing. Use the K+L variable time mode readings.

Conduct XRF retesting at the ten testing combinations selected for retesting.

Determine if the XRF testing in the units or house passed or failed the test by applying the steps below.

Compute the Retest Tolerance Limit by the following steps:

Determine XRF results for the original and retest XRF readings. Do not correct the original or retest results for substrate bias. In single-family housing a result is defined as the average of three readings. In multifamily housing, a result is a single reading. Therefore, there will be ten original and ten retest XRF results for each house or for the two selected units.

Calculate the average of the original XRF result and retest XRF result for each testing combination.

Square the average for each testing combination.

Add the ten squared averages together. Call this quantity C.

Multiply the number C by 0.0072. Call this quantity D.

Add the number 0.032 to D. Call this quantity E.

Take the square root of E. Call this quantity F.

Multiply F by 1.645. The result is the Retest Tolerance Limit.

Compute the average of all ten original XRF results.

Compute the average of all ten re-test XRF results.

Find the absolute difference of the two averages.

If the difference is less than the Retest Tolerance Limit, the inspection has passed the retest. If the difference of the overall averages equals or exceeds the Retest Tolerance Limit, this procedure should be repeated with ten new testing combinations. If the difference of the overall averages is equal to or greater than the Retest Tolerance Limit a second time, then the inspection should be considered deficient.

Use of this procedure is estimated to produce a spurious result approximately 1% of the time. That is, results of this procedure will call for further examination when no examination is warranted in approximately 1 out of 100 dwelling units tested.

TESTING TIMES:

For the Lead-in-Paint K+L variable reading time mode, the instrument continues to read until it is moved away from the testing surface, terminated by the user, or the instrument software indicates the reading is complete. The following table provides testing time information for this testing mode. The times have been adjusted for source decay, normalized to the initial source strengths as noted above. Source strength and type of substrate will affect actual testing times. At the time of testing, the instruments had source strengths of 26.6 and 36.6 mCi.

Testing Times Using K+L Reading Mode (Seconds)						
Substrate	All Data			Median for laboratory-measured lead levels (mg/cm ²)		
	25 th Percentile	Median	75 th Percentile	Pb < 0.25	0.25 ≤ Pb < 1.0	1.0 ≤ Pb
Wood Drywall	4	11	19	11	15	11
Metal	4	12	18	9	12	14
Brick Concrete Plaster	8	16	22	15	18	16

CLASSIFICATION RESULTS:

XRF results are classified as positive if they are greater than or equal to the threshold, and negative if they are less than the threshold.

DOCUMENTATION:

A document titled *Methodology for XRF Performance Characteristic Sheets* provides an explanation of the statistical methodology used to construct the data in the sheets, and provides empirical results from using the recommended inconclusive ranges or thresholds for specific XRF instruments. For a copy of this document call the National Lead Information Center Clearinghouse at 1-800-424-LEAD.

This XRF Performance Characteristic Sheet was developed by the Midwest Research Institute (MRI) and QuanTech, Inc., under a contract between MRI and the XRF manufacturer. HUD has determined that the information provided here is acceptable when used as guidance in conjunction with Chapter 7, Lead-Based Paint Inspection, of HUD's *Guidelines for the Evaluation and Control of Lead-Based Paint Hazards in Housing*.

APPENDIX D: PHOTOGRAPHIC RECORD

Photo No. 6382	Date: 12/16/2022	
Description: Plaza Lead-based painted concrete curbs.		

Photo No. 6383	Date: 12/16/2022	
Description: Exterior Area Lead-based painted concrete curbs.		

Photographic Documentation is for reference purposes and doesn't necessarily include all the surfaces with lead based paint and/or components containing lead.

APPENDIX D: PHOTOGRAPHIC RECORD

<p>Photo No. 6384</p>	<p>Date: 12/16/2022</p>	
<p>Description:</p> <p>Plaza Lead-based painted concrete curbs.</p>		
<p>Photo No. 6385</p>	<p>Date: 12/16/2022</p>	
<p>Description:</p> <p>Exterior Area Lead-based painted concrete curbs & ramp.</p>		

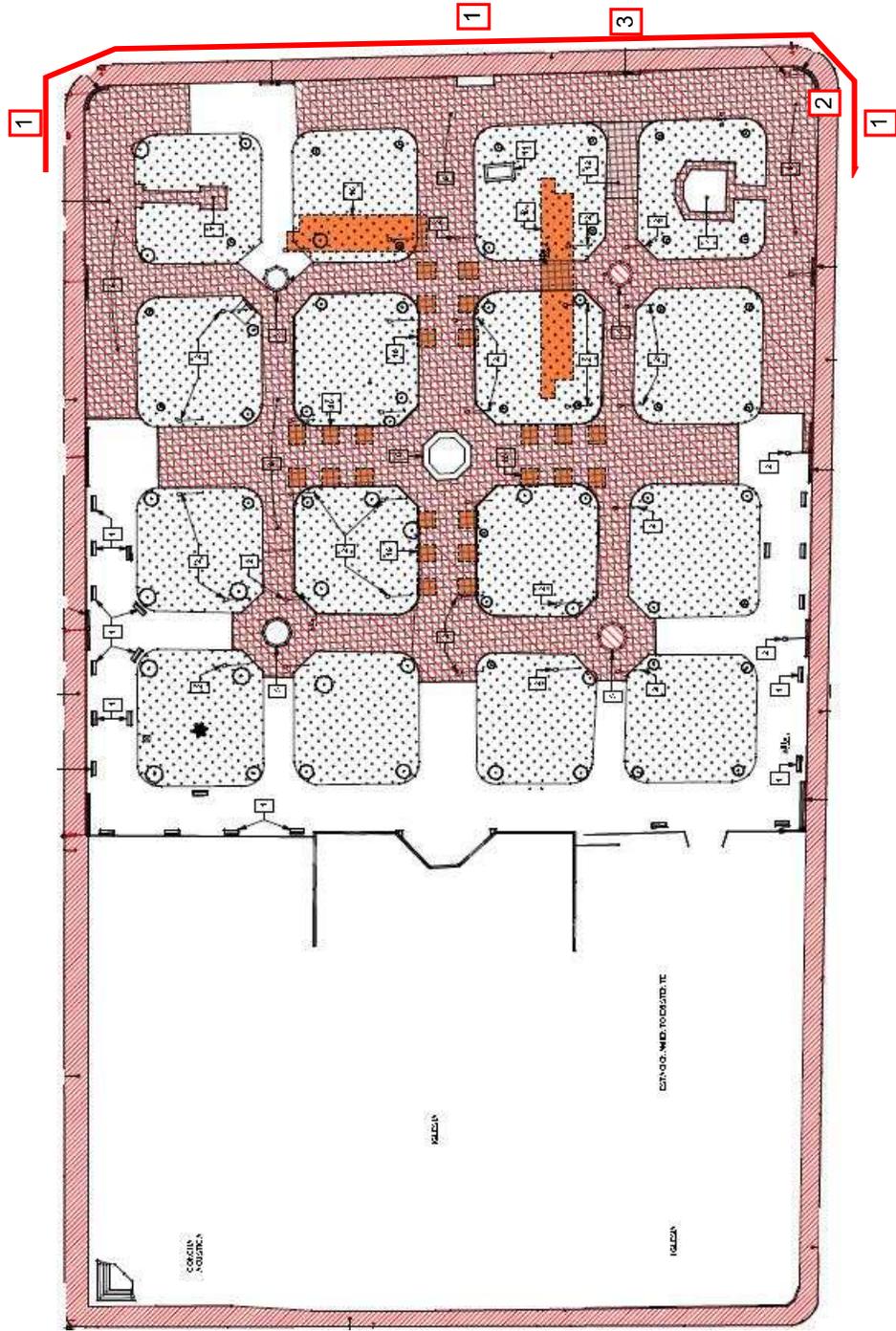
Photographic Documentation is for reference purposes and doesn't necessarily include all the surfaces with lead based paint and/or components containing lead.

APPENDIX D: PHOTOGRAPHIC RECORD

Photo No. 6386	Date: 12/16/2022	
Description: Plaza Lead-based painted concrete curbs.		
Photo No. 6381	Date: 12/16/2022	
Description: Exterior Area Lead-based painted concrete fire hydrant.		

Photographic Documentation is for reference purposes and doesn't necessarily include all the surfaces with lead based paint and/or components containing lead.

APPENDIX E: LOCATION OF POSITIVE MATERIALS



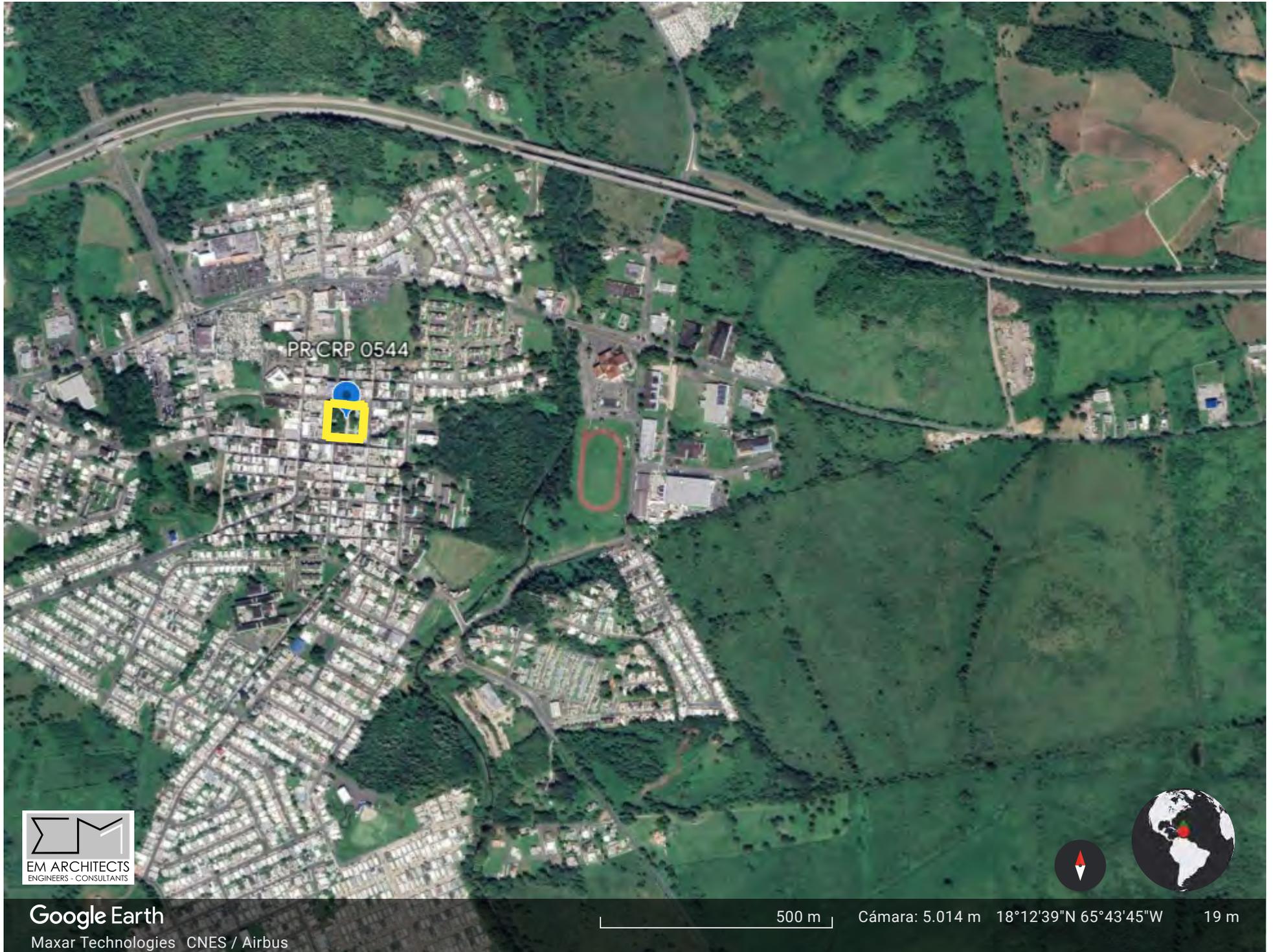
Lead Legend:

- 1 Curbs
- 2 Fire Hydrant
- 3 Ramp

Notes:
 The layout of materials shown in this figure is for illustrative purposes only. For actual location and quantity of materials refer to the Lead Based Paint survey report dated December 2022

APPENDIX F: DEMOLITION PLANS

ATTACHMENT A
LOCATION MAP



Google Earth

Maxar Technologies CNES / Airbus

500 m

Cámara: 5.014 m 18°12'39"N 65°43'45"W

19 m

ATTACHMENT B

Airport Hazards

24 CFR Part 51 Subpart D

Airports Hazards



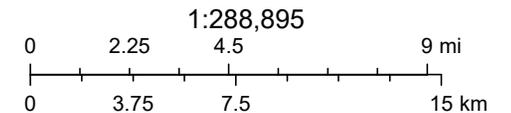
May 23, 2023



Airport Points

Luis Muñoz Marín (SJU) is located within 124,240 feet
Jose Aponte de la Torre (RVR) is within 27,460 feet

Project PR-CRP-000544



Earthstar Geographics, Esri, HERE, Garmin, Foursquare, SafeGraph, METI/
NASA, USGS, NPS, EPA OEI

ATTACHMENT C

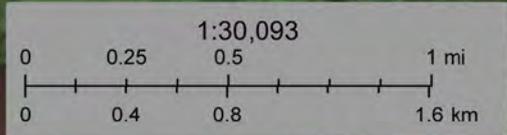
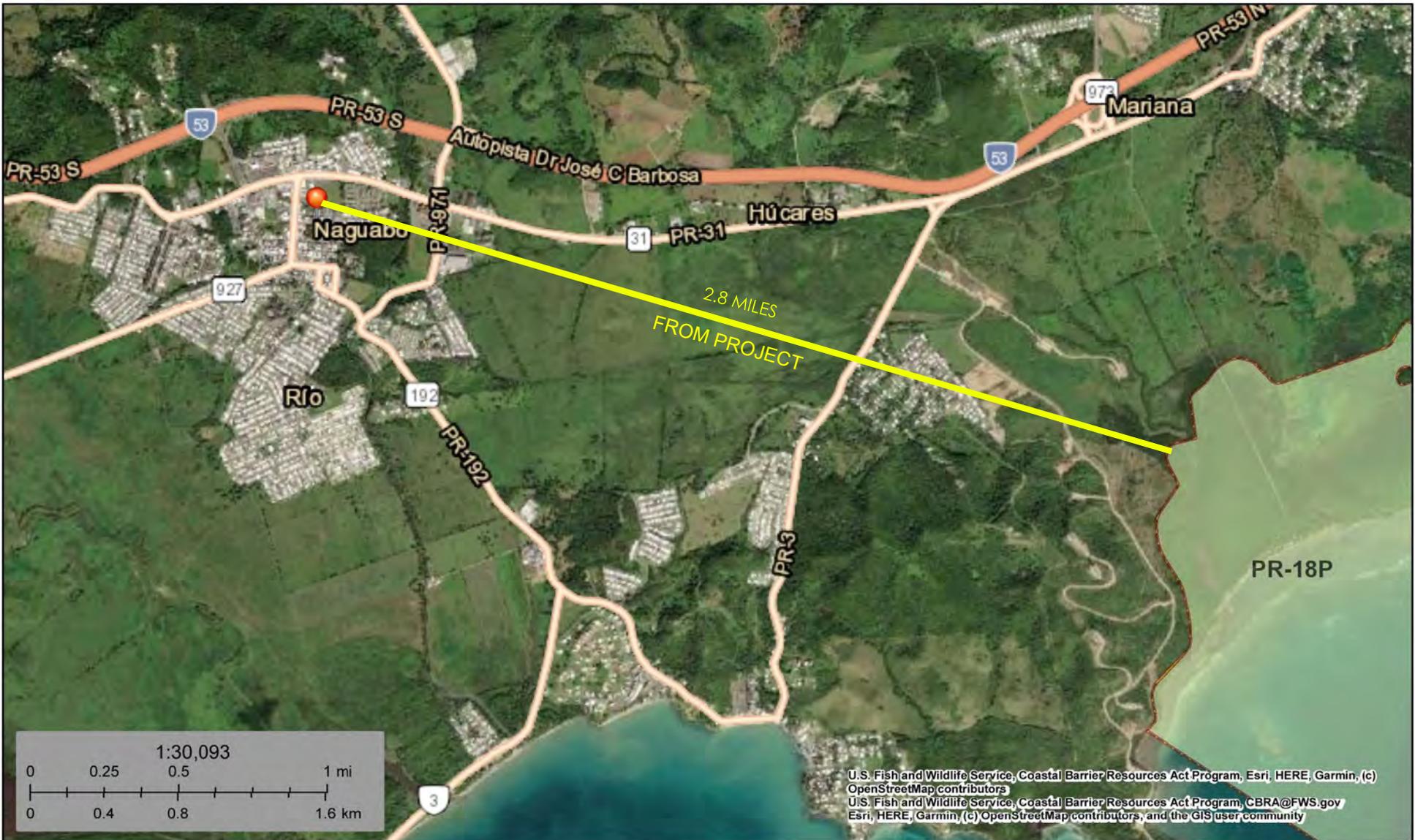
Coastal Barrier Resources

Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 [16 USC
3501]



U.S. Fish and Wildlife Service Coastal Barrier Resources System

PR-CRP-000544 Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores
Lat. 18.21203100, Lon: -65.73509116



U.S. Fish and Wildlife Service, Coastal Barrier Resources Act Program, Esri, HERE, Garmin, (c) OpenStreetMap contributors
U.S. Fish and Wildlife Service, Coastal Barrier Resources Act Program, CBRA@FWS.gov
Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community

March 28, 2023

- CBRS Buffer Zone
- System Unit

CBRS Units

- Otherwise Protected Area



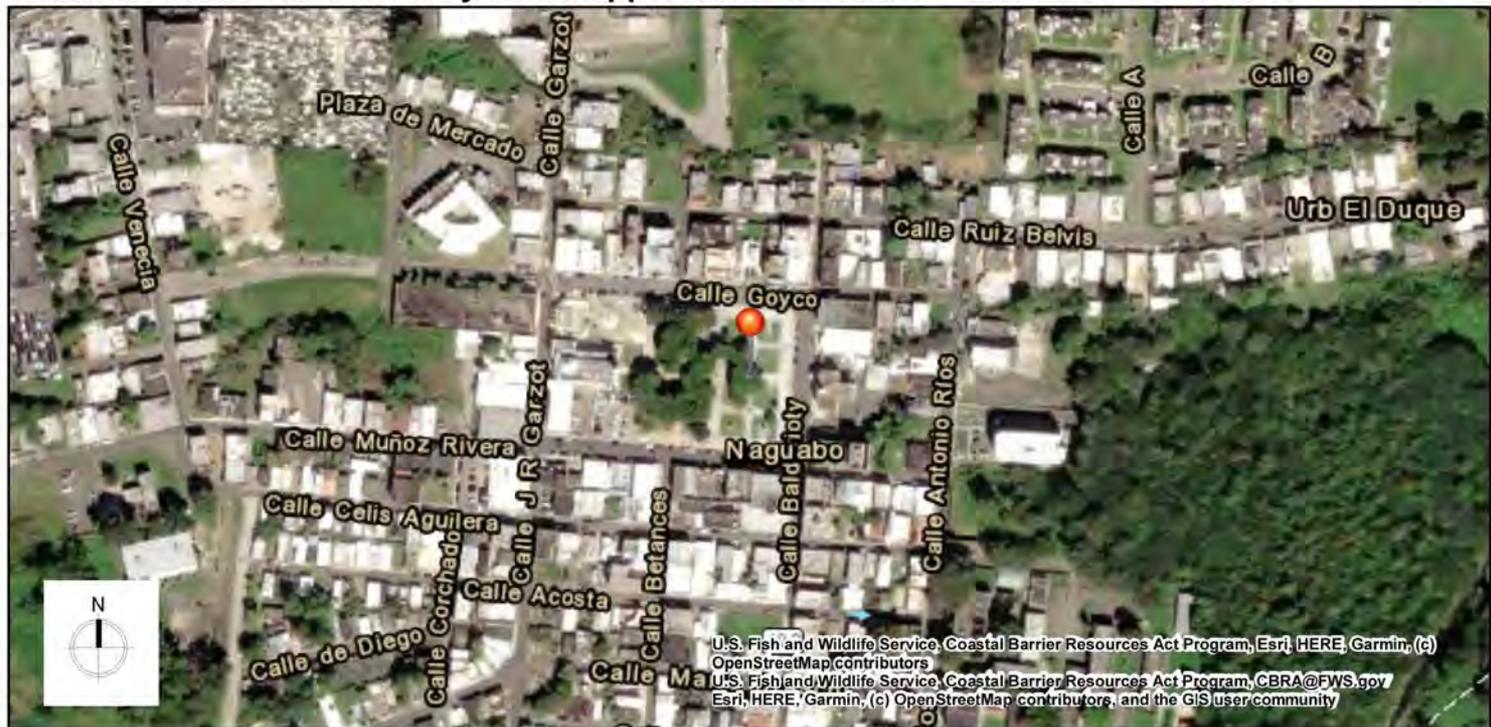
This map is for general reference only. The Coastal Barrier Resources System (CBRS) boundaries depicted on this map are representations of the controlling CBRS boundaries, which are shown on the official maps, accessible at <https://www.fws.gov/library/collections/official-coastal-barrier-resources-system-maps>. All CBRS related data should be used in accordance with the layer metadata found on the CBRS Mapper website.

The CBRS Buffer Zone represents the area immediately adjacent to the CBRS boundary where users are advised to contact the Service for an official determination (<https://www.fws.gov/service/coastal-barrier-resources-system-property-documentation>) as to whether the property or project site is located "in" or "out" of the CBRS.

CBRS Units normally extend seaward out to the 20- or 30-foot bathymetric contour (depending on the location of the unit). The true seaward

U.S. Fish and Wildlife Service

Coastal Barrier Resources System Mapper Documentation



CBRS Units

- Otherwise Protected Area
- System Unit
- CBRS Buffer Zone
- 65.734937, 18.212063

0 65 130 260 390 ft
1:4,514

⚠️ The pin location displayed on the map is a point selected by the user. Failure of the user to ensure that the pin location displayed on this map correctly corresponds with the user supplied address/location description below may result in an invalid federal flood insurance policy. **The U.S. Fish and Wildlife Service (Service) has not validated the pin location with respect to the user supplied address/location description below. The Service recommends that all pin locations be verified by federal agencies prior to use of this map for the provision or denial of federal funding or financial assistance.** Please note that a structure bisected by the Coastal Barrier Resources System (CBRS) boundary (i.e., both "partially in" and "partially out") is within the CBRS and therefore affected by CBRA's restrictions on federal flood insurance. A pin placed on a bisected structure must be placed on the portion of the structure within the unit (including any attached features such as a deck or stairs).

User Name: Municipio de Naguabo

User Organization: PR CRP 0544

User Supplied Address/Location Description: Naguabo, Pueblo

Pin Location: Outside CBRS

Pin Flood Insurance Prohibition Date: N/A

Pin System Unit Establishment Date: N/A

The user placed pin location is not within the CBRS. For the nearest official CBRS map depicting this area, please see the map numbered 72-006A, dated 11/15/2016. The official CBRS maps are accessible at <https://www.fws.gov/library/collections/official-coastal-barrier-resources-system-maps>.

The CBRS information is derived directly from the CBRS web service provided by the Service. This map was exported on 3/28/2023 and does not reflect changes or amendments subsequent to this date. The CBRS boundaries on this map may become superseded by new boundaries over time.

This map image may be void if one or more of the following map elements do not appear: basemap imagery, CBRS unit labels, prohibition date labels, legend, scale bar, map creation date. For additional information about flood insurance and the CBRS, visit: <https://www.fws.gov/node/263838>.



ATTACHMENT D

Flood Insurance

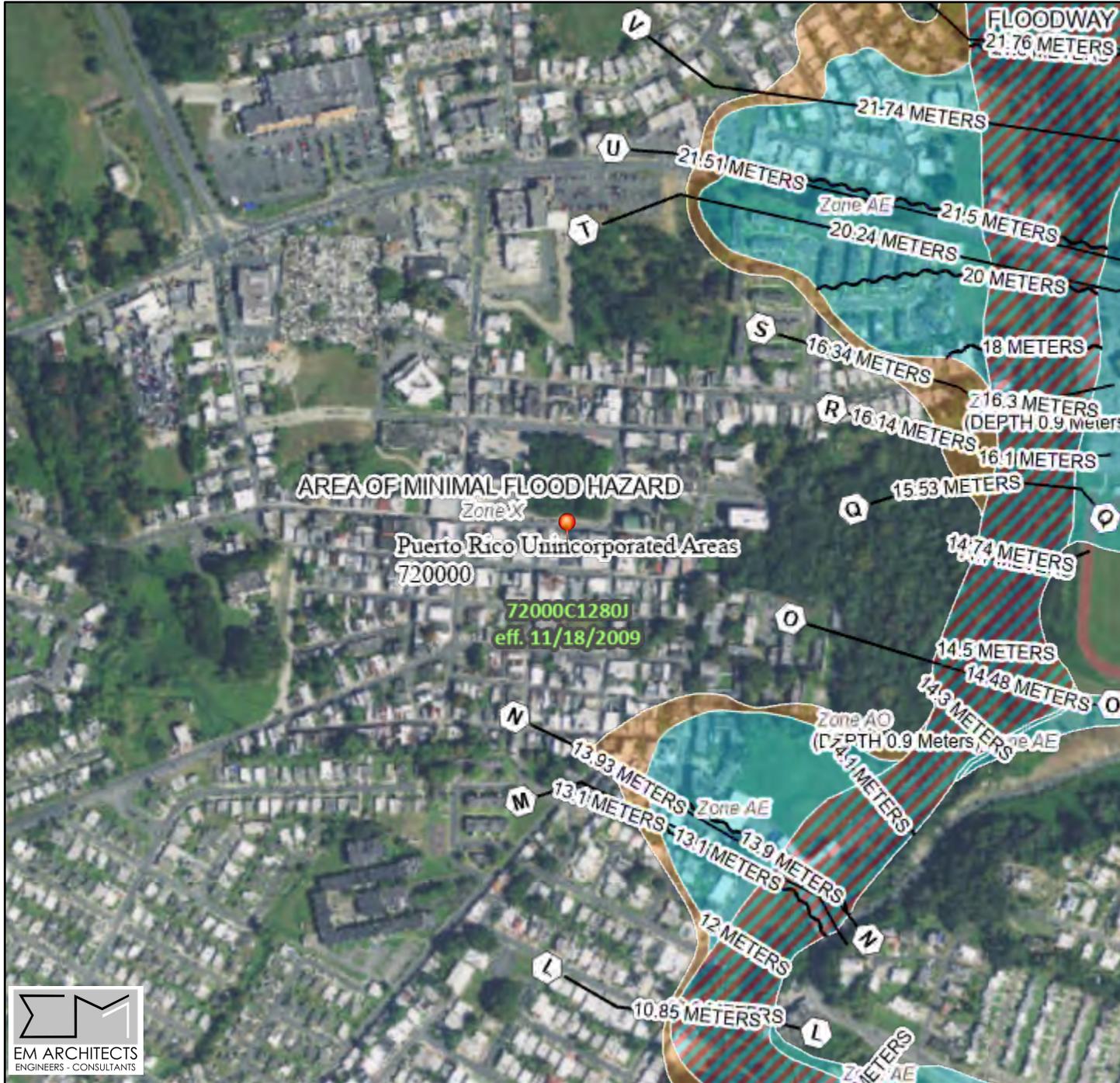
Flood Disaster Protection Act of 1973 and National Flood Insurance Reform Act of 1994 [42 USC 4001-4128 and 42 USC 5154a]

Floodplain Management

Executive Order 11988, particularly section 2(a); 24 CFR Part 55



<https://hazards-fema.maps.arcgis.com/apps/webappviewer/index>
 65°44'25"W 18°12'58"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway

0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X

OTHER AREAS OF FLOOD HAZARD		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D

OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
		Area of Undetermined Flood Hazard Zone D

GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall

OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance
		17.5 Water Surface Elevation
		8 Coastal Transect
		Base Flood Elevation Line (BFE)

OTHER FEATURES		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature

MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **12/18/2022 at 4:40 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



Mapa Niveles de Inundación Base Recomendados

PR-CRP-000544 Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores
Lat. 18.21203100, Lon: -65.73509116



4/6/2023, 11:13:20 AM

▭ Municipios Limite

▭ Erosión-Proyección de erosión a 60 años

▭ Erosión-Proyección de erosión a 30 años

Erosión-Inundación 1% de probabilidad anual 0.2 PCT Área de Peligro de Inundación

▭ Retirada

▭ No estándar

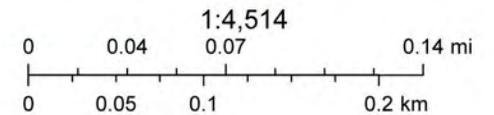
▭ Eliminación



▭ A

▭ AE

▭ AO



PRPB; FEMA, Maxar

<https://fema.maps.arcgis.com/apps/webappviewer/index.html?id=6d961e2688f41ffa11e13e48d3b1d>

Junta de Planificación, FEMA

Maxar | PRPB; FEMA | Junta de Planificación. Programa de Sistema de Información Geográfica |

ATTACHMENT E

Clean Air

Clean Air Act, as amended, particularly section 176(c) & (d); 40 CFR Parts 6, 51, 93

Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores PR-CRP-000544

Lat. 18.21203100, Lon: -65.73509116

You are here: EPA Home > Green Book > >National Area and County-Level Multi-Pollutant Information >Puerto Rico Nonattainment/Maintenance Status for Each County by Year for All Criteria Pollutants

Puerto Rico Nonattainment/Maintenance Status for Each County by Year for All Criteria Pollutants

Data is current as of February 28, 2023

Listed by County, NAAQS, Area. The 8-hour Ozone (1997) standard was revoked on April 6, 2015 and the 1-hour Ozone (1979) standard was revoked on June 15, 2005.

* The 1997 Primary Annual PM-2.5 NAAQS (level of 15 µg/m³) is revoked in attainment and maintenance areas for that NAAQS. For additional information see the PM-2.5 NAAQS SIP Requirements Final Rule, effective October 24, 2016. (81 FR 58009)

Change the State:

Important Notes

Download National Dataset: [dbf](#) | [xls](#) | [Data dictionary \(PDF\)](#)

County	NAAQS	Area Name	Nonattainment in Year	Redesignation to Maintenance	Classification	Whole or Part County	Population (2010)	State/County FIPS Codes
PUERTO RICO								
Arecibo Municipio	Lead (2008)	Arecibo, PR	11121314151617181920212223	//		Part	32,185	72/013
Bayamon Municipio	Sulfur Dioxide (2010)	San Juan, PR	181920212223	//		Part	22,921	72/021
Catano Municipio	Sulfur Dioxide (2010)	San Juan, PR	181920212223	//		Whole	28,140	72/033
Guaynabo Municipio	PM-10 (1987)	Mun. of Guaynabo, PR	929394959697989900010203040506070809	02/11/2010	Moderate	Part	90,470	72/061
Guaynabo Municipio	Sulfur Dioxide (2010)	San Juan, PR	181920212223	//		Part	23,802	72/061
Salinas Municipio	Sulfur Dioxide (2010)	Guayama-Salinas, PR	181920212223	//		Part	23,401	72/123
San Juan Municipio	Sulfur Dioxide (2010)	San Juan, PR	181920212223	//		Part	147,963	72/127
Toa Baja Municipio	Sulfur Dioxide (2010)	San Juan, PR	181920212223	//		Part	52,441	72/137

Important Notes

Discover.

Connect.

Ask.

ATTACHMENT F

Coastal Zone Management

Coastal Zone Management Act, sections 307(c) & (d)



9/13/2024

CoastalZoneManagementAct - Coastal Zone Management Act

coastal zone

World Imagery

Low Resolution 15m Imagery

High Resolution 60cm Imagery

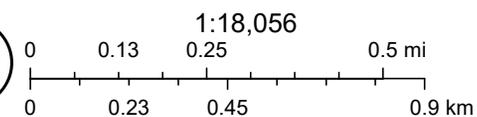
High Resolution 30cm Imagery

Citations

4.8m Resolution Metadata



Maxar

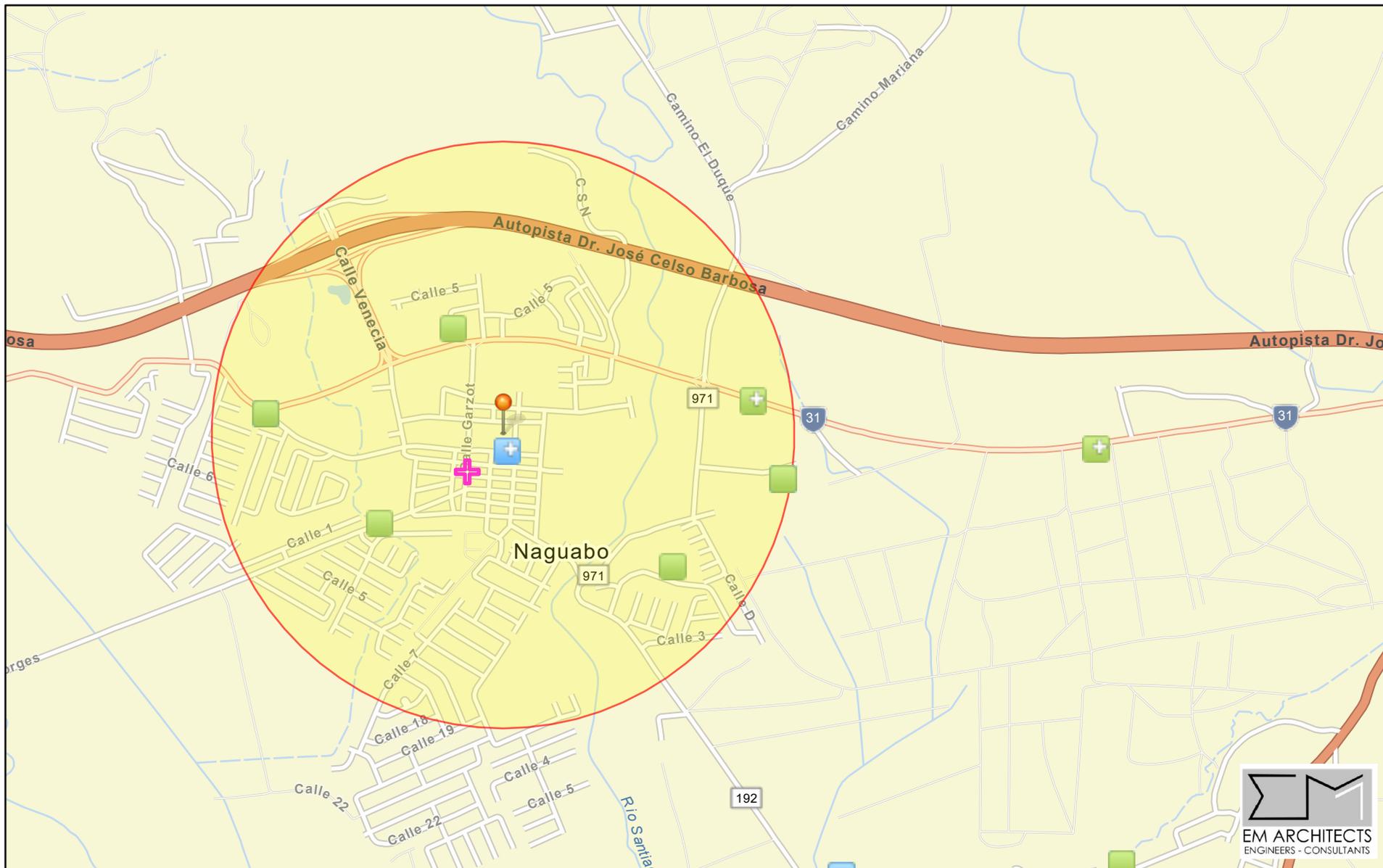


ATTACHMENT G

Contamination and Toxic Substances

24 CFR Part 50.3(i) & 58.5(i)(2)

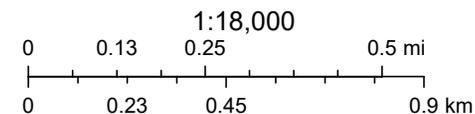
Contamination and Toxic Substances



April 4, 2024

-  Water Dischargers (NPDES)
-  Hazardous Waste (RCRAInfo)
-  Water Dischargers (NPDES)
-  Toxic Releases (TRI)
-  Hazardous Waste (RCRAInfo)
-  Project Buffer

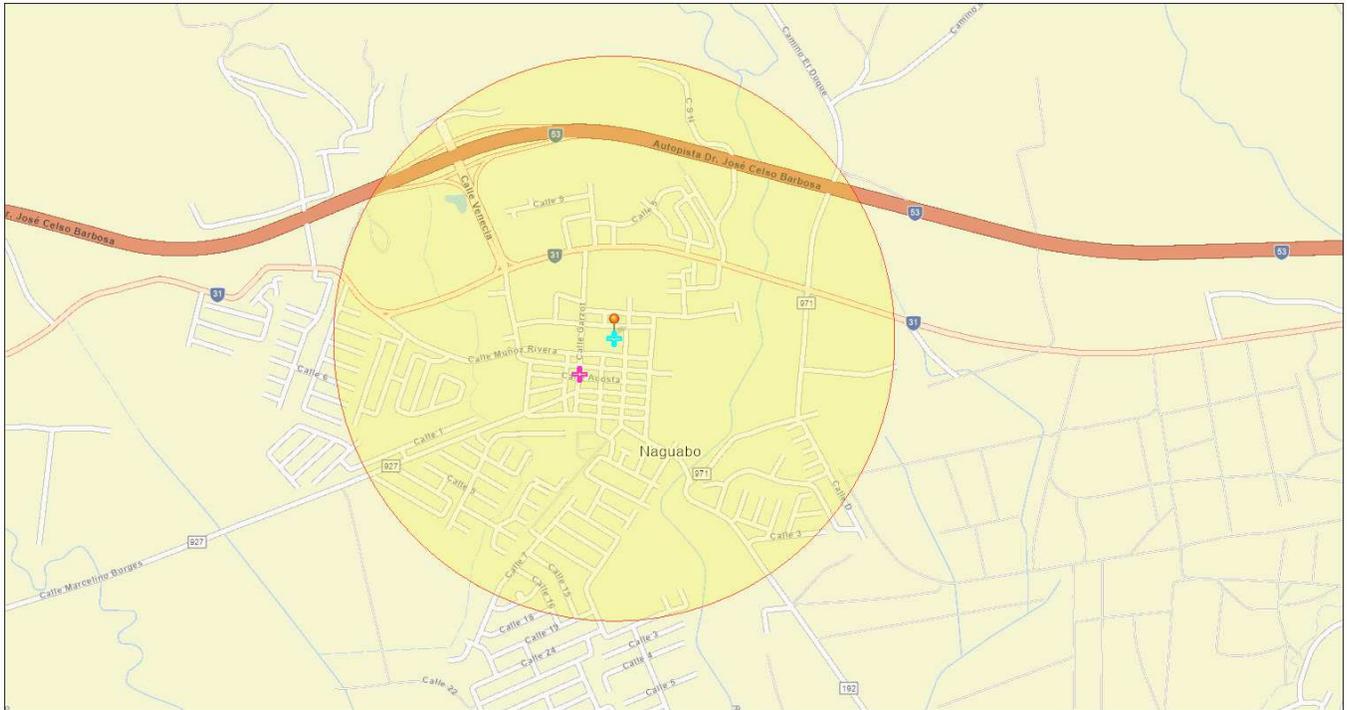
-  PR-CRP-000544
-  Search Result (point)



Esri Community Maps Contributors, Esri, TomTom, Garmin, Foursquare, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, NPS, US Census

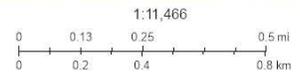
Map

A3 Landscape



April 4, 2024

- Project Buffer
- Project 1
- Search Result (point)



Eri Community Maps Contributors, Esri, TomTom, Garmin, Foursquare, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, NPS, US Census Bureau, USFWS

Geographic coordinates:

POINT (18.212083,-65.735011)
with buffer 3000 feet

Note: The information in the following reports is based on publicly available databases and web services. The National Report uses nationally available datasets and the State Reports use datasets available through the EPA Regions. Click on the hyperlinked question to view the data source and associated metadata.

National Report

Project Location

18.212083,-65.735011

Within 3000 feet of an Ozone 1-hr (1979 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of an Ozone 8-hr (1997 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of an Ozone 8-hr (2008 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of an Ozone 8-hr (2015 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a Lead (2008 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a SO2 1-hr (2010 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a PM2.5 24hr (2006 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a PM2.5 Annual (1997 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a PM2.5 Annual (2012 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a PM10 (1987 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a CO Annual (1971 standard) Non-Attainment/Maintenance Area?	no

Within 3000 feet of a NO2 Annual (1971 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a Federal Land?	no
Within 3000 feet of an impaired stream?	no
Within 3000 feet of an impaired waterbody?	yes
Within 3000 feet of a waterbody?	yes
Within 3000 feet of a stream?	yes
Within 3000 feet of an NWI wetland?	yes
Within 3000 feet of a Brownfields site?	no
Within 3000 feet of a Superfund site?	no
Within 3000 feet of a Toxic Release Inventory (TRI) site?	yes
Within 3000 feet of a water discharger (NPDES)?	yes
Within 3000 feet of a hazardous waste (RCRA) facility?	yes
Within 3000 feet of an air emission facility?	no
Within 3000 feet of a school?	no
Within 3000 feet of an airport?	no
Within 3000 feet of a hospital?	yes
Within 3000 feet of a designated sole source aquifer?	no
Within 3000 feet of a historic property on the National Register of Historic Places?	yes
Within 3000 feet of a Land Cession Boundary?	no
Within 3000 feet of a tribal area (lower 48 states)?	no
Within 3000 feet of the service area of a mitigation or conservation bank?	no
Within 3000 feet of the service area of an In-Lieu-Fee Program?	no
Within 3000 feet of a Public Property Boundary of the Formerly Used Defense Sites?	no
Within 3000 feet of a Munitions Response Site?	no
Within 3000 feet of an Essential Fish Habitat (EFH)?	yes
Within 3000 feet of a Habitat Area of Particular Concern (HAPC)?	no
Within 3000 feet of an EFH Area Protected from Fishing (EFHA)?	no
Within 3000 feet of a Bureau of Land Management Area of Critical Environmental Concern?	no
Within 3000 feet of an ESA-designated Critical Habitat Area per U.S. Fish & Wildlife Service?	no
Within 3000 feet of an ESA-designated Critical Habitat river, stream or water feature per U.S. Fish & Wildlife Service?	no

Save to Excel

Save as PDF

Puerto Rico Report 
Demographic Reports 
USFWS IPaC Report 

Detailed Facility Report



Detailed Facility Report

Facility Summary

COMBE PRODUCTS

EL DUQUE INDUSTRIAL PARK RD 971 ST A, NAGUABO, PR 00718

FRS (Facility Registry Service) ID: 110022522019

EPA Region: 02

Latitude: 18.210845

Longitude: -65.726706

Locational Data Source: FRS

Industries: --

Indian Country: N

Enforcement and Compliance Summary

Statute	CAA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
Compliance Status	--
Qtrs in Noncompliance (of 12)	--
Qtrs with Significant Violation	--
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--
Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	05/18/2009
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

Regulatory Information

Clean Air Act (CAA): No Information
Clean Water Act (CWA): No Information
Resource Conservation and Recovery Act (RCRA): Active VSQG, (PRR000013342), Active VSQG, (PRD000767863)
Safe Drinking Water Act (SDWA): No Information

[Go To Enforcement/Compliance Details](#)
[Known Data Problems](#)

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information
Greenhouse Gas Emissions (eGGRT): No Information
Toxic Releases (TRI): 00718CMBPRELDUQ
Compliance and Emissions Data Reporting Interface (CEDRI): CEDRI2434

Facility/System Characteristics

Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110022522019					N	18.210845	-65.726706
ICIS		7426813					N	18.210845	-65.726706
CEDRI	CAA	CEDRI2434					N	18.21189	-65.73336
TRI	EP313	00718CMBPRELDUQ		Last Reported for 2021			N	18.210845	-65.726706
RCRAInfo	RCRA	PRR000013342	VSQG	Active (H)			N	18.233692	-65.738213
RCRAInfo	RCRA	PRD000767863	VSQG	Active (H)			N	18.230947	-65.736373

Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110022522019	COMBE PRODUCTS	EL DUQUE INDUSTRIAL PARK RD 971 ST A, NAGUABO, PR 00718	Naguabo Municipio
ICIS		7426813	COMBE PRODUCTS LTD	STATE RD 971 STREET A, NAGUABO, PR 00718	Naguabo Municipio
CEDRI	CAA	CEDRI2434	COMBE PRODUCTS	EL DUQUE INDUSTRIAL PARK RD 971 ST A, NAGUABO, PR 00718	Naguabo Municipio
TRI	EP313	00718CMBPRELDUQ	COMBE PRODUCTS INC.	EL DUQUE INDUSTRIAL PARK RD 971 ST A, NAGUABO, PR 00718	Naguabo Municipio
RCRAInfo	RCRA	PRR000013342	COMBE PRODUCTS LTD	STATE RD 971 STREET A, NAGUABO, PR 00718-8588	Naguabo Municipio
RCRAInfo	RCRA	PRD000767863	COMBE PRODUCTS LTD	RD 971 ST A EL DUNQUE PARK, HUMACAO, PR 00718	Humacao Municipio

Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
--------	------------	----------	-----------------

No data records returned

Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
--------	------------	------------	-------------------

No data records returned

Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
------------------	------------	---------------	---------------------------

No data records returned

Enforcement and Compliance

Compliance Monitoring History Last 5 Years ▾

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
---------	-----------	--------	---------------	----------------------------	-------------	------	-------------------------

No data records returned

Entries in italics are not counted as EPA official inspections.

Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
RCRA	PRR000013342	No	05/20/2023	0	05/19/2023
RCRA	PRD000767863	No	05/20/2023	0	05/19/2023

Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: PRD000767863)		07/01-09/30/20	10/01-12/31/20	01/01-03/31/21	04/01-06/30/21	07/01-09/30/21	10/01-12/31/21	01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23
	Facility-Level Status	No Violation Identified											
	Violation												
	Agency												
RCRA (Source ID: PRR000013342)		07/01-09/30/20	10/01-12/31/20	01/01-03/31/21	04/01-06/30/21	07/01-09/30/21	10/01-12/31/21	01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23
	Facility-Level Status	No Violation Identified											
	Violation												
	Agency												

Informal Enforcement Actions Last 5 Years ▾

Statute	System	Source ID	Type of Action	Lead Agency	Date
---------	--------	-----------	----------------	-------------	------

No data records returned

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

Formal Enforcement Actions Last 5 Years ▾

Statute	System	Law/Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/Filed Date	Settlements/Actions	Settlement/Action Date	Federal Penalty Assessed	State/Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
---------	--------	-------------	-----------	----------------	----------	-------------	-----------	-------------------	---------------------	------------------------	--------------------------	------------------------------	--------------------------	-----------	------------------

No data records returned

Environmental Conditions

Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
--	---	---	---------------------------------	--------------------------------------	--	---

No data records returned

Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Aquatic Life	Fish Consumption Use	Recreation Use	Other Use
-------	--------------	--------------------	----------------------	-----------------	-----------------------	--------------------	--------------	----------------------	----------------	-----------

No data records returned

Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
-----------	-----------------------------------	---	---------------------------------	---

No data records returned

Pollutants

Toxics Release Inventory History of Reported Chemicals Released in Pounds per Year at Site

[TRI Pollution Prevention Report](#)

TRI Facility ID	Year	Total Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Releases to Land	Total On-Site Releases	Total Off-Site Transfers
00718CMBPRELDUQ	2021	--	--	250	--	--	0	94,555
00718CMBPRELDUQ	2020	--	--	61	--	--	0	1,231
00718CMBPRELDUQ	2019	--	--	427	--	--	0	8,536
00718CMBPRELDUQ	2018	--	--	500	--	--	0	1,500
00718CMBPRELDUQ	2017	--	--	37	--	--	0	372
00718CMBPRELDUQ	2016	--	--	500	--	--	0	1,500
00718CMBPRELDUQ	2015	--	--	500	--	--	0	1,500
00718CMBPRELDUQ	2014	--	--	2,537	--	--	0	15,759

TRI Facility ID	Year	Total Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Releases to Land	Total On-Site Releases	Total Off-Site Transfers
00718CMBPRELDUQ	2013	--	--	4,835	--	--	0	5,340
00718CMBPRELDUQ	2012	--	--	6,194	--	--	0	6,879

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name	2021	2020	2019	2018	2017	2016	2015	2014	2013	2012
Certain glycol ethers	--	--	--	--	0	500	500	1,232	3,833	5,317
Diethanolamine	--	--	--	--	372	--	--	--	--	--
Mixture	94,555	1,231	8,536	1,500	--	--	--	--	--	--
p-Phenylenediamine	--	--	--	--	0	1,000	1,000	14,527	1,507	1,562

Community

Environmental Justice

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the [EJScreen home page](#).

EJScreen Indexes Shown

Compare to US State

Index Type Environmental Justice Supplemental

Related Reports

[EJScreen Report](#)

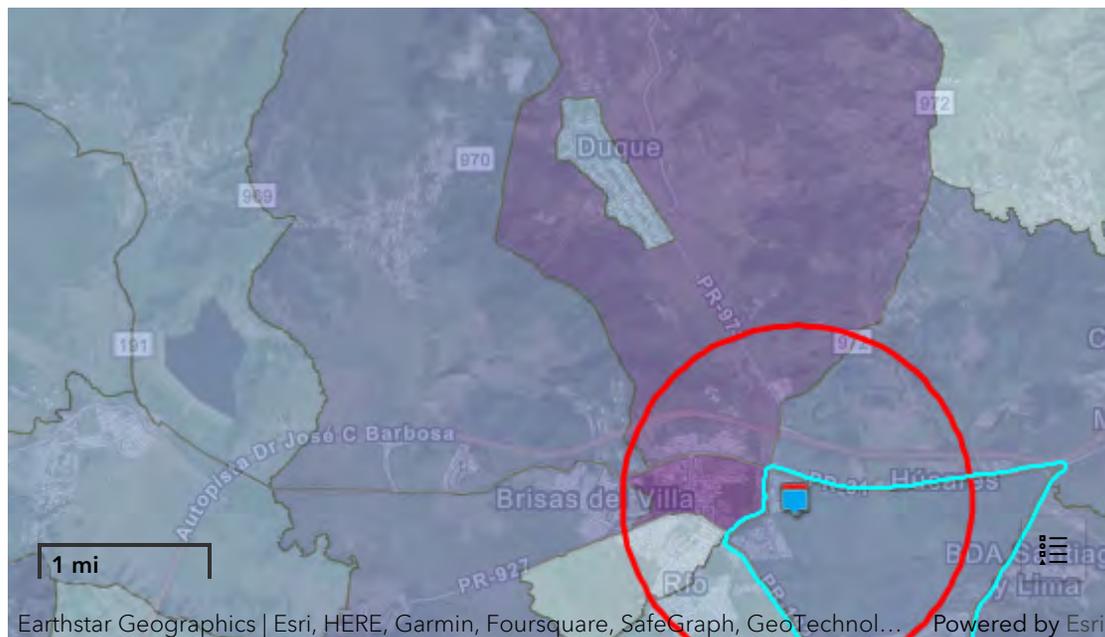
Download Data

Census Block Group ID: 721031703002	US (Percentile)	
Supplemental Indexes	Facility Census Block Group	1-mile Max
Count of Indexes At or Above 80th Percentile	6	8
Particulate Matter 2.5	--	--
Ozone	--	--
Diesel Particulate Matter	0	--
Air Toxics Cancer Risk	80	92
Air Toxics Respiratory Hazard Index	50	66
Traffic Proximity	77	98

Facility 1-mile Radius Facility Census Block Group



Census Block Group ID: 721031703002	US (Percentile)	
Lead Paint	90	99
Risk Management Plan (RMP) Facility Proximity	99	99
Hazardous Waste Proximity	67	81
Superfund Proximity	94	98
Underground Storage Tanks (UST)	96	99
Wastewater Discharge	91	98



Demographic Profile of Surrounding Area (3 miles)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2016 - 2020 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the [DFR Data Dictionary](#).

General Statistics (U.S. Census)	
Total Persons	17,453
Population Density	703/sq.mi.
Housing Units in Area	8,047

General Statistics (ACS (American Community Survey))	
Total Persons	16,999
Percent People of Color	99%
Households in Area	5,450
Households on Public Assistance	203
Persons With Low Income	14,502
Percent With Low Income	86%

Geography

Age Breakdown (U.S. Census) - Persons (%)	
Children 5 years and younger	1,331 (8%)
Minors 17 years and younger	4,850 (28%)
Adults 18 years and older	12,603 (72%)
Seniors 65 years and older	2,299 (13%)

Race Breakdown (U.S. Census) - Persons (%)	
White	12,059 (69%)
African-American	3,223 (18%)
Hispanic-Origin	17,327 (99%)
Asian/Pacific Islander	37 (0%)
American Indian	67 (0%)
Other/Multiracial	2,068 (12%)

Geography	
Radius of Selected Area	3 mi.
Center Latitude	18.210845
Center Longitude	-65.726706
Land Area	88%
Water Area	12%
Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	1,964 (36.04%)
\$15,000 - \$25,000	1,383 (25.38%)
\$25,000 - \$50,000	1,402 (25.73%)
\$50,000 - \$75,000	531 (9.74%)
Greater than \$75,000	169 (3.1%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	1,131 (10.14%)
9th through 12th Grade	1,066 (9.56%)
High School Diploma	3,827 (34.31%)
Some College/2-year	854 (7.66%)
<u>B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More</u>	3,064 (27.47%)

LAST UPDATED ON SEPTEMBER 21, 2022

[DATA REFRESH INFORMATION](#)

Detailed Facility Report



Detailed Facility Report

Facility Summary

DUAL-LITE CAYMAN LTD

ROADS 31 AND 192, NAGUABO, PR 00718

FRS (Facility Registry Service) ID: 110002466448

EPA Region: 02

Latitude: 18.208761

Longitude: -65.733356

Locational Data Source: RCRAINFO

Industries: Electrical Equipment, Appliance, and Component Manufacturing

Indian Country: N

Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	03/27/2007
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

Regulatory Information

Clean Air Act (CAA): No Information
Clean Water Act (CWA): No Information
Resource Conservation and Recovery Act (RCRA): Active VSQG,
 (PRD105741763)
Safe Drinking Water Act (SDWA): No Information

[Go To Enforcement/Compliance Details
 Known Data Problems](#)

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information
Greenhouse Gas Emissions (eGGRT): No Information
Toxic Releases (TRI): 00718DLLTMINDUS
Compliance and Emissions Data Reporting Interface (CEDRI): No
 Information

Facility/System Characteristics

Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110002466448					N	18.208761	-65.733356
TRI	EP313	00718DLLTMINDUS		Last Reported for 2004			N	18.212687	-65.74205
RCRAInfo	RCRA	PRD105741763	VSQG	Active (H)			N	18.212687	-65.74205

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
	Violation Agency												

Informal Enforcement Actions

Statute	System	Source ID	Type of Action	Lead Agency	Date
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No data records returned

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

Formal Enforcement Actions

Statute	System	Law/Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/Filed Date	Settlements/Actions	Settlement/Action Date	Federal Penalty Assessed	State/Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
---------	--------	-------------	-----------	----------------	----------	-------------	-----------	-------------------	---------------------	------------------------	--------------------------	------------------------------	--------------------------	-----------	------------------

No data records returned

Environmental Conditions

Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
--	---	---	---------------------------------	--------------------------------------	--	---

No data records returned

Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Aquatic Life	Fish Consumption Use	Recreation Use	Other Use
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No data records returned

Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
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No data records returned

Pollutants

Toxics Release Inventory History of Reported Chemicals Released in Pounds per Year at Site

TRI Facility ID	Year	Total Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Releases to Land	Total On-Site Releases	Total Off-Site Transfers
-----------------	------	---------------------	--------------------------	--	------------------------	------------------	------------------------	--------------------------

No data records returned

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name

No data records returned

Community

Environmental Justice

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the [EJScreen home page](#).

EJScreen Indexes Shown

Compare to US State

Index Type Environmental Justice Supplemental

Related Reports

[EJScreen Report](#)

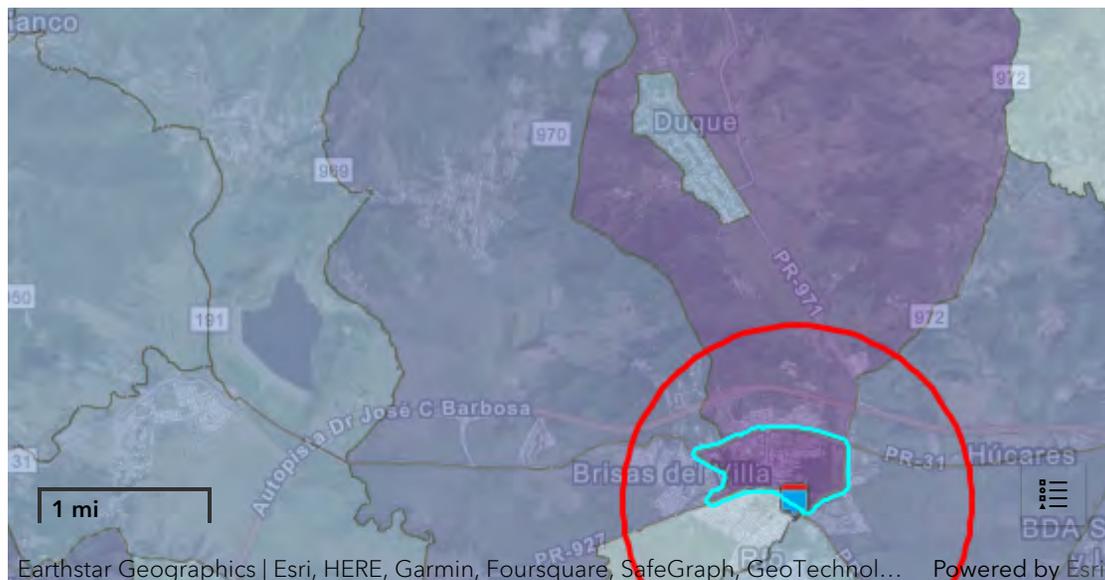
Download Data

Census Block Group ID: 721031704001	US (Percentile)	
Supplemental Indexes	Facility Census Block Group	1-mile Max
Count of Indexes At or Above 80th Percentile	8	8
Particulate Matter 2.5	--	--
Ozone	--	--
Diesel Particulate Matter	0	--
Air Toxics Cancer Risk	92	92
Air Toxics Respiratory Hazard Index	66	66
Traffic Proximity	98	98
Lead Paint	99	99

Facility 1-mile Radius Facility Census Block Group



Census Block Group ID: 721031704001	US (Percentile)	
Risk Management Plan (RMP) Facility Proximity	99	99
Hazardous Waste Proximity	81	81
Superfund Proximity	98	98
Underground Storage Tanks (UST)	99	99
Wastewater Discharge	98	98



Demographic Profile of Surrounding Area (1 mile)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2016 - 2020 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the [DFR Data Dictionary](#).

General Statistics (U.S. Census)	
Total Persons	8,148
Population Density	2,619/sq.mi.
Housing Units in Area	3,523

General Statistics (ACS (American Community Survey))	
Total Persons	4,899
Percent People of Color	99%
Households in Area	1,588
Households on Public Assistance	73
Persons With Low Income	3,991
Percent With Low Income	82%

Geography	
Radius of Selected Area	1 mi.
Center Latitude	18.208761

Age Breakdown (U.S. Census) - Persons (%)	
Children 5 years and younger	762 (9%)
Minors 17 years and younger	2,649 (33%)
Adults 18 years and older	5,499 (67%)
Seniors 65 years and older	817 (10%)

Race Breakdown (U.S. Census) - Persons (%)	
White	5,659 (69%)
African-American	1,491 (18%)
Hispanic-Origin	8,103 (99%)
Asian/Pacific Islander	12 (0%)
American Indian	45 (1%)
Other/Multiracial	942 (12%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	316 (10.34%)

Geography	
Center Longitude	-65.733356
Land Area	100%
Water Area	0%
Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	564 (35.52%)
\$15,000 - \$25,000	372 (23.43%)
\$25,000 - \$50,000	479 (30.16%)
\$50,000 - \$75,000	114 (7.18%)
Greater than \$75,000	59 (3.72%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
9th through 12th Grade	426 (13.94%)
High School Diploma	731 (23.91%)
Some College/2-year	206 (6.74%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	1,095 (35.82%)

LAST UPDATED ON SEPTEMBER 21, 2022

[DATA REFRESH INFORMATION](#)

Detailed Facility Report



Detailed Facility Report

Facility Summary

RANSBURG

ST RD 31 KM 2.6, NAGUABO, PR 00718

FRS (Facility Registry Service) ID: 110032659424

EPA Region: 02

Latitude: 18.215077

Longitude: -65.736484

Locational Data Source: RCRAINFO

Industries: --

Indian Country: N

Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

Regulatory Information

Clean Air Act (CAA): No Information
Clean Water Act (CWA): No Information
Resource Conservation and Recovery Act (RCRA): Inactive Other, (PRN008016669)
Safe Drinking Water Act (SDWA): No Information

[Go To Enforcement/Compliance Details Known Data Problems](#)

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information
Greenhouse Gas Emissions (eGGRT): No Information
Toxic Releases (TRI): No Information
Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Facility/System Characteristics

Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110032659424					N	18.215077	-65.736484
RCRAInfo	RCRA	PRN008016669	Other	Inactive ()			N	18.215077	-65.736484

Informal Enforcement Actions Last 5 Years

Statute	System	Source ID	Type of Action	Lead Agency	Date
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No data records returned

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

Formal Enforcement Actions Last 5 Years

Statute	System	Law/Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/Filed Date	Settlements/Actions	Settlement/Action Date	Federal Penalty Assessed	State/Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
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No data records returned

Environmental Conditions

Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
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No data records returned

Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Aquatic Life	Fish Consumption Use	Recreation Use	Other Use
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No data records returned

Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
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No data records returned

Pollutants

Toxics Release Inventory History of Reported Chemicals Released in Pounds per Year at Site

TRI Facility ID	Year	Total Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Releases to Land	Total On-Site Releases	Total Off-Site Transfers
-----------------	------	---------------------	--------------------------	--	------------------------	------------------	------------------------	--------------------------

No data records returned

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name

No data records returned

Community

Environmental Justice

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the [EJScreen home page](#).

EJScreen Indexes Shown

Compare to US State

Index Type Environmental Justice Supplemental

Related Reports

[EJScreen Report](#)

Download Data

Facility 1-mile Radius Facility Census Block Group

Census Block Group ID: 721031701002	US (Percentile)	
Supplemental Indexes	Facility Census Block Group	1-mile Max
Count of Indexes At or Above 80th Percentile	7	8
Particulate Matter 2.5	--	--
Ozone	--	--
Diesel Particulate Matter	0	--
Air Toxics Cancer Risk	83	92
Air Toxics Respiratory Hazard Index	53	66
Traffic Proximity	95	98
Lead Paint	97	99
Risk Management Plan (RMP) Facility Proximity	97	99
Hazardous Waste Proximity	68	81
Superfund Proximity	96	98
Underground Storage Tanks (UST)	89	99
Wastewater Discharge	97	98





Demographic Profile of Surrounding Area (1 mile)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2016 - 2020 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the [DFR Data Dictionary](#).

General Statistics (U.S. Census)	
Total Persons	7,236
Population Density	2,262/sq.mi.
Housing Units in Area	3,200

General Statistics (ACS (American Community Survey))	
Total Persons	4,043
Percent People of Color	100%
Households in Area	1,283
Households on Public Assistance	57
Persons With Low Income	3,313
Percent With Low Income	82%

Geography	
Radius of Selected Area	1 mi.
Center Latitude	18.215077
Center Longitude	-65.736484
Land Area	100%
Water Area	0%

Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	467 (36.46%)

Age Breakdown (U.S. Census) - Persons (%)	
Children 5 years and younger	652 (9%)
Minors 17 years and younger	2,262 (31%)
Adults 18 years and older	4,974 (69%)
Seniors 65 years and older	798 (11%)

Race Breakdown (U.S. Census) - Persons (%)	
White	5,044 (70%)
African-American	1,322 (18%)
Hispanic-Origin	7,200 (100%)
Asian/Pacific Islander	10 (0%)
American Indian	42 (1%)
Other/Multiracial	819 (11%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	264 (10.14%)
9th through 12th Grade	422 (16.21%)
High School Diploma	624 (23.96%)
Some College/2-year	180 (6.91%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	914 (35.1%)

Income Breakdown (ACS (American Community Survey)) - Households (%)	
\$15,000 - \$25,000	309 (24.12%)
\$25,000 - \$50,000	377 (29.43%)
\$50,000 - \$75,000	85 (6.64%)
Greater than \$75,000	43 (3.36%)

LAST UPDATED ON SEPTEMBER 21, 2022

[DATA REFRESH INFORMATION](#)

Detailed Facility Report



Detailed Facility Report

Facility Summary

NAGUABO STP

PR-927 KM 0.2, NAGUABO, PR 00718

FRS (Facility Registry Service) ID: 110007804420

EPA Region: 02

Latitude: 18.209592

Longitude: -65.738675

Locational Data Source: RCRAINFO

Industries: Utilities

Indian Country: N

Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

Regulatory Information

Clean Air Act (CAA): No Information
Clean Water Act (CWA): No Information
Resource Conservation and Recovery Act (RCRA): Inactive Other, (PRD000689844)
Safe Drinking Water Act (SDWA): No Information

[Go To Enforcement/Compliance Details Known Data Problems](#)

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information
Greenhouse Gas Emissions (eGGRT): No Information
Toxic Releases (TRI): No Information
Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Facility/System Characteristics

Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110007804420					N	18.209592	-65.738675
ICIS		44559					N	18.209592	-65.738675
RCRAInfo	RCRA	PRD000689844	Other	Inactive ()			N	18.209592	-65.738675

Informal Enforcement Actions Last 5 Years

Statute	System	Source ID	Type of Action	Lead Agency	Date
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No data records returned

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

Formal Enforcement Actions Last 5 Years

Statute	System	Law/Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/Filed Date	Settlements/Actions	Settlement/Action Date	Federal Penalty Assessed	State/Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
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No data records returned

Environmental Conditions

Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
--	---	---	---------------------------------	--------------------------------------	--	---

No data records returned

Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Aquatic Life	Fish Consumption Use	Recreation Use	Other Use
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No data records returned

Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
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No data records returned

Pollutants

Toxics Release Inventory History of Reported Chemicals Released in Pounds per Year at Site

TRI Facility ID	Year	Total Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Releases to Land	Total On-Site Releases	Total Off-Site Transfers
-----------------	------	---------------------	--------------------------	--	------------------------	------------------	------------------------	--------------------------

No data records returned

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name

No data records returned

Community

Environmental Justice

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the [EJScreen home page](#).

EJScreen Indexes Shown

Compare to US State
 Index Type Environmental Justice Supplemental

Related Reports

[EJScreen Report](#)

Download Data

Facility 1-mile Radius Facility Census Block Group

Census Block Group ID: 721031704001	US (Percentile)	
Supplemental Indexes	Facility Census Block Group	1-mile Max
Count of Indexes At or Above 80th Percentile	8	8
Particulate Matter 2.5	--	--
Ozone	--	--
Diesel Particulate Matter	0	--
Air Toxics Cancer Risk	! 92	! 92
Air Toxics Respiratory Hazard Index	66	66
Traffic Proximity	! 98	! 98
Lead Paint	! 99	! 99
Risk Management Plan (RMP) Facility Proximity	! 99	! 99
Hazardous Waste Proximity	! 81	! 81
Superfund Proximity	! 98	! 98
Underground Storage Tanks (UST)	! 99	! 99
Wastewater Discharge	! 98	! 98





Demographic Profile of Surrounding Area (1 mile)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2016 - 2020 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the [DFR Data Dictionary](#).

General Statistics (U.S. Census)	
Total Persons	7,937
Population Density	2,524/sq.mi.
Housing Units in Area	3,446

General Statistics (ACS (American Community Survey))	
Total Persons	5,035
Percent People of Color	100%
Households in Area	1,613
Households on Public Assistance	61
Persons With Low Income	4,116
Percent With Low Income	82%

Geography	
Radius of Selected Area	1 mi.
Center Latitude	18.209592
Center Longitude	-65.738675
Land Area	100%
Water Area	0%

Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	537 (33.25%)

Age Breakdown (U.S. Census) - Persons (%)	
Children 5 years and younger	728 (9%)
Minors 17 years and younger	2,547 (32%)
Adults 18 years and older	5,390 (68%)
Seniors 65 years and older	815 (10%)

Race Breakdown (U.S. Census) - Persons (%)	
White	5,493 (69%)
African-American	1,463 (18%)
Hispanic-Origin	7,895 (99%)
Asian/Pacific Islander	11 (0%)
American Indian	45 (1%)
Other/Multiracial	926 (12%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	274 (8.8%)
9th through 12th Grade	427 (13.71%)
High School Diploma	768 (24.66%)
Some College/2-year	225 (7.23%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	1,132 (36.35%)

Income Breakdown (ACS (American Community Survey)) - Households (%)	
\$15,000 - \$25,000	395 (24.46%)
\$25,000 - \$50,000	504 (31.21%)
\$50,000 - \$75,000	117 (7.24%)
Greater than \$75,000	62 (3.84%)

LAST UPDATED ON SEPTEMBER 21, 2022

[DATA REFRESH INFORMATION](#)



Detailed Facility Report

Facility Summary

RAMON RIVERO STP

STREET NO 7, NAGUABO, PR 00718

FRS (Facility Registry Service) ID: 110007804689

EPA Region: 02

Latitude: 18.208369

Longitude: -65.729979

Locational Data Source: RCRAINFO

Industries: --

Indian Country: N

Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Inactive Other, (PRD000691386)

Safe Drinking Water Act (SDWA): No Information

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Go To Enforcement/Compliance Details

Known Data Problems <<https://epa.gov/resources/echo-data/known-data-problems>>

Facility/System Characteristics

Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110007804689					N	18.208369	-65.729979
ICIS		44080					N	18.208369	-65.729979
RCRAInfo	RCRA	PRD000691386	Other	Inactive ()			N	18.208369	-65.729979

Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110007804689	RAMON RIVERO STP	STREET NO 7, NAGUABO, PR 00718	Naguabo Municipio
ICIS		44080	RAMON RIVERO STP	STREET NO 7, NAGUABO, PR 00718	Naguabo Municipio
RCRAInfo	RCRA	PRD000691386	RAMON RIVERO STP	STREET NO 7, NAGUABO, PR 00718	Naguabo Municipio

Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
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No data records returned

Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
--------	------------	------------	-------------------

No data records returned

Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
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No data records returned

Enforcement and Compliance

Compliance Monitoring History

Last 5 Years

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
---------	-----------	--------	---------------	----------------------------	-------------	------	-------------------------

No data records returned

Entries in italics are not included in ECHO's Compliance Monitoring Activity counts because they are not compliance monitoring strategy

<<https://www.epa.gov/compliance/compliance-monitoring-programs>> activities or because they are not counted as inspections within EPA's Annual Results

<<https://www.epa.gov/enforcement/enforcement-data-and-results>>.

Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
RCRA	PRD000691386	No	12/14/2024	0	12/13/2024

Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11
RCRA	(Source ID: PRD000691386)	01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-12/31/23	01/01-03/31/24	04/01-06/30/24	07/01-09/30/24
	Facility-Level Status	No Violation Identified										
	Violation											
	Agency											

Informal Enforcement Actions

Last 5 Years

Statute	System	Source ID	Type of Action	Lead Agency	Date
---------	--------	-----------	----------------	-------------	------

No data records returned

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

Formal Enforcement Actions

Last 5 Years

Statute	System	Law/Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/Filed Date	Settlements/Actions	Settlement/Action Date	Federal Penalty Assessed	State/Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
---------	--------	-------------	-----------	----------------	----------	-------------	-----------	-------------------	---------------------	------------------------	--------------------------	------------------------------	--------------------------	-----------	------------------

No data records returned

Environmental Conditions

Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
--	---	---	---------------------------------	--------------------------------------	--	---

No data records returned

Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
-------	--------------	--------------------	----------------------	-----------------	-----------------------	--------------------	----------------	----------------------	----------------	-----------

No data records returned

Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
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No data records returned

Pollutants

Toxics Release Inventory History of Reported Chemicals Released or Transferred in Pounds per Year at Site

TRI Facility ID	Year	Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Disposal to Land	Total On-Site Releases	Total Off-Site Transfers
-----------------	------	---------------	--------------------------	--	------------------------	------------------	------------------------	--------------------------

No data records returned

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name

No data records returned

Community

Environmental Justice

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the EJScreen home page.



Potential Environmental Justice Concerns

- US Territory
- Supplemental/EJ index percentiles >= 90 (Census block group)
- Supplemental/EJ index percentiles >= 90 (1-mile average)

EJScreen Indexes Shown

Index Type

Related Reports

EJScreen Community Report

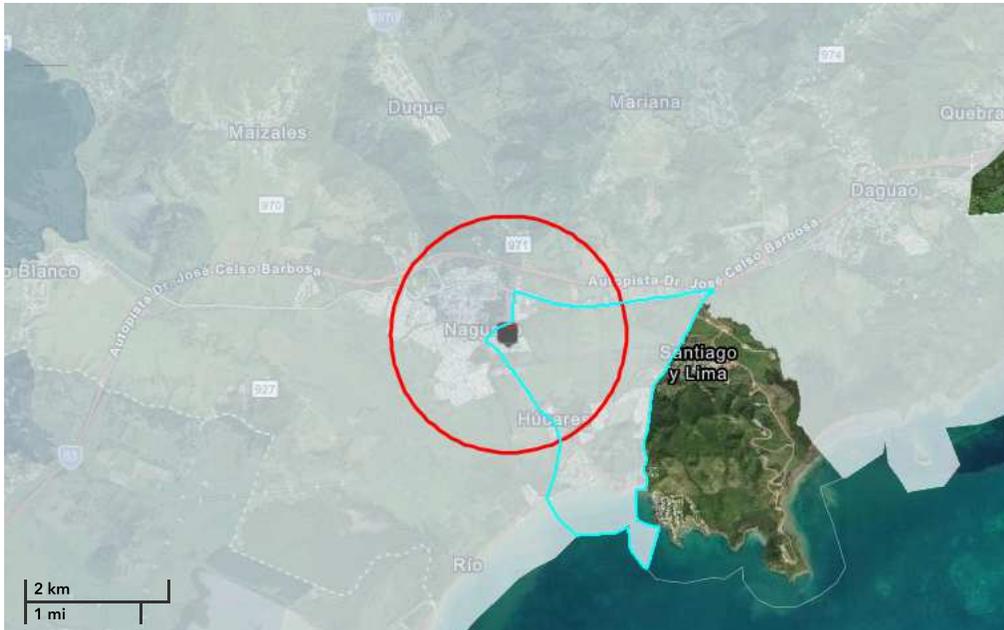
Download Data

Census Block Group ID: 721031703002	US (Percentile)			State (Percentile)		
	Supplemental Indexes	Facility Census Block Group	1-mile Avg	1-mile Max	Facility Census Block Group	1-mile Avg
Count of Indexes At or Above 90th Percentile	4	2	5	0	0	1
Particulate Matter 2.5	--	N/A	--	--	N/A	--
Ozone	--	N/A	--	--	N/A	--
Diesel Particulate Matter	0	0	--	4	5	6
Air Toxics Cancer Risk	23	35	54	0	0	80
Air Toxics Respiratory Hazard Index	19	33	38	0	40	80
Toxic Releases to Air	39	37	48	2	2	3
Traffic Proximity	71	74	96	22	23	62
Lead Paint	92	82	99	64	47	92
Risk Management Plan (RMP) Facility Proximity	76	77	81	27	27	33
Hazardous Waste Proximity	74	74	78	21	22	28
Superfund Proximity	95	95	97	29	36	46
Underground Storage Tanks (UST)	97	71	99	84	61	90
Wastewater Discharge	94	95	98	26	37	50

Map Display Based on: US State

Display Map Layer

Facility 1-mile Radius Facility Census Block Group



Earthstar Geographics | Esri, TomTom, Garmin, Foursquare, SafeGraph, GeoTechnologies, Inc, METI/... Powered by Esri <<https://www.esri.com/>>

Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2021 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. Census boundaries and demographic data for U.S. Territories are based on the "2020 Island Areas Demographic Profiles" from the U.S. Census Bureau. EPA's spatial processing methodology considers the overlap between the selected radii and ACS census block groups in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <<https://epa.gov/help/reports/dfr-data-dictionary#demographic>>.

General Statistics (ACS (American Community Survey))

Total Persons	4,239
Population Density	1,467/sq.mi.
Housing Units in Area	2,091
Percent People of Color	99%
Households in Area	1,566
Households on Public Assistance	55
Persons With Low Income	3,534
Percent With Low Income	84%

Geography

Radius of Selected Area	1 mi.
Center Latitude	18.208369
Center Longitude	-65.729979
Land Area	93%
Water Area	7%

Income Breakdown (ACS (American Community Survey)) - Households (%)

Less than \$15,000	676 (43.22%)
\$15,000 - \$25,000	339 (21.68%)
\$25,000 - \$50,000	443 (28.32%)
\$50,000 - \$75,000	95 (6.07%)
Greater than \$75,000	11 (.7%)

Age Breakdown (ACS (American Community Survey)) - Persons (%)

Children 5 years and younger	276 (7%)
Minors 17 years and younger	1,180 (28%)
Adults 18 years and older	3,060 (72%)
Seniors 65 years and older	723 (17%)

Race Breakdown (ACS (American Community Survey)) - Persons (%)

White	2,060 (49%)
African-American	0 (0%)
Hispanic-Origin	4,210 (99%)
Asian	0 (0%)
Hawaiian/Pacific Islander	0 (0%)
American Indian	0 (0%)
Other/Multiracial	1,863 (44%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)

Less than 9th Grade	344 (13.02%)
9th through 12th Grade	211 (7.98%)
High School Diploma	784 (29.66%)
Some College/2-year	176 (6.66%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	958 (36.25%)

ATTACHMENT H

Endangered Species

Endangered Species Act of 1973, particularly section 7; 50 CFR Part 402



Transmittal Letter

September 5, 2024

Caribbean Ecological Services Field Office
U.S. Fish and Wildlife Service
P.O. Box 491
Boquerón, Puerto Rico 00622
Email: caribbean@es@fws.gov



Based on the information provided, we determined the project proposed qualifies for the blanket clearance letter. Nevertheless, if the project is modified this office should be contacted concerning the need for the initiation of consultation under section 7 of Endangered Species Act of 1973.

Reviewer DAMARIS ROMAN RUIZ Digitally signed by DAMARIS ROMAN RUIZ
Date: 2024.10.02 08:31:26 -04'00'

LOURDES MENA Digitally signed by LOURDES MENA
Date: 2024.10.02 09:17:44 -04'00'
Caribbean ES Field Supervisor

RE: USFWS Endangered Species Act Certifications – August 2024

We are submitting the following Self-Certifications for projects under the CDBG-DR Small Business Financing Program and City Revitalization Program. Attached are included the Self-Certifications that certify that the projects are in compliance and are not likely to adversely affect federally-listed species.

The following table includes the projects that are in compliance with the Blanket Clearance Letter for the Endangered Species act of 1973, as amended, and the Fish and Wildlife Coordination Act.

Project Number	Project Name
PR-CRP-000071	Reconstruction of Public Infrastructure - Habitable City - Aibonito Downtown Area
PR-CRP-000544	Rehabilitación y Mejoras en la Plaza Pública de Naguabo y sus Alrededores
PR-CRP-000664	Mejoras a infraestructura, accesibilidad, remoción de obstáculos y Mejoras a sistema de alumbrado Centro Urbano Rincón
PR-CRP-000883	Mejoras a facilidades del Polideportivo de Corozal
PR-CRP-000885	Improvements to Corozal Plaza
PR-CRP-000941	Paseo Lineal
PR-CRP-001036	Calle Completa Plaza de los Artesanos Palmer
PR-SBF-09392	JM CELULAR

For more information, please contact the Permits and Environmental Compliance Division at environmentcdbg@vivienda.pr.gov or at (787)274.2527 ext. 4320.

Sincerely,

Permits and Environmental Compliance Division
Disaster Recovery Office



Self-Certification

<http://www.fws.gov/caribbean/ES/Index.html>

Endangered Species Act Certification

The U.S. Fish and Wildlife Service, Caribbean Ecological Services Field Office developed a Blanket Clearance Letter in compliance with Endangered Species Act of 1973, as amended, and the Fish and Wildlife Coordination Act for federally funded projects.

The Service determined that projects in compliance with the following criteria are not likely to adversely affect federally-listed species.

The Puerto Rico Department of Housing (PRDOH) certifies that the following project, **Rehabilitación y Mejoras en la Plaza Pública de Naguabo y sus Alrededores (PR-CRP-000544)**, consisting of the revitalization of the plaza and the surrounding sidewalks in the Urban Center of Naguabo. This revitalization includes the restoration and repair of the Central Fountain, the replacement of four (4) smaller fountains, improved accessibility (new stairs, railing, and ramps in compliance with ADA), construction of new sidewalks and curbs around the public square, landscaping and gardens activities, and surface improvement. It also includes the construction of two (2) kiosks and a pergola, electrical and plumbing infrastructure, and the redefined parking vehicular circulation, located at #7 Baldorioty Street, Naguabo, PR 00718 (Lat: 18.21203100, Lon: -65.73509116), complies with:

Check	Project Criteria
<input checked="" type="checkbox"/>	1. Street resurfacing.
<input checked="" type="checkbox"/>	2. Construction of gutters and sidewalks along existing roads.
<input type="checkbox"/>	3. Reconstruction or emergency repairs of existing buildings, facilities and homes.
<input type="checkbox"/>	4. Rehabilitation of existing occupied single-family homes, and buildings; provided that equipment storage or staging areas are not located on vacant property harboring a wetland and/or forested vegetation and that the lighting associated to the new facilities is not visible directly or indirectly from a beach.
<input type="checkbox"/>	5. Demolition of dilapidated single-family homes or buildings; provided that the demolition debris is disposed in certified receiving facilities; equipment storage or staging areas are not located on vacant property harboring a wetland and/or forested vegetation.

<input type="checkbox"/>	6. Rebuilding of demolished single-family homes or buildings, provided that the new construction is within the existing footprint of the previous structure and/or within pre-existing grassed or paved areas, and that the lighting associated to the new facilities are not visible directly or indirectly from a beach.
<input checked="" type="checkbox"/>	7. Activities within existing Right of Ways (ROWs) of roads, bridges and highways, when limited to actions that do not involve cutting native vegetation or mayor earth moving; and are not located within, or adjacent to, drainages, wetlands, or aquatic systems. These activities include the installation of potable water and sanitary pipelines.
<input checked="" type="checkbox"/>	8. Improvements to existing recreational facilities, including the installation of roofs to existing basketball courts, provided that the lighting associated to the facilities are not visible directly or indirectly from the beach.
<input checked="" type="checkbox"/>	9. Construction of electric underground systems in existing towns and communities, provided that the property is not a wetland area and the lighting associated to the facilities are not visible directly or indirectly from the beach.
<input type="checkbox"/>	10. Construction of facilities on vacant properties covered with grasses in urban areas, provided that the lighting associated to the facilities are not visible directly or indirectly from the beach.
<input type="checkbox"/>	11. Construction of houses, buildings or acquiring lands in urban areas covered by grass for relocation of low-income families and/or facilities that have been affected by weather conditions.

Aldo A. Rivera-Vázquez, PE
Director for Permits and Environmental
Compliance Division
Puerto Rico Department of Housing
Office of Disaster Recovery
Address: P.O. Box 21365 San Juan, PR 00928
Telephone and Ext: 787-274-2527 ext. 4320
Email: environmentcdbg@vivienda.pr.gov

9/4/2024
Date

Attachments:

1. Project Description
2. Map of Project Area
3. Project Site Photos
4. Critical Habitat Map
5. Wetlands Map
6. IPAC Results

Project Location:

7 Calle Baldorioty, Naguabo, 00718

Parcel ID: 256-013-014-02

Parcel Location:

Lat: 18.21203100, Lon: -65.73509116

Description of the Proposed Project [24 CFR 50.12 & 58.32; 40 CFR 1508.25]:

The Municipality of Naguabo plans to renovate the public square (*plaza*) which was originally built in 1820. The *plaza* marks the traditional urban center of the Municipality of Naguabo. The plaza is facing the City Hall to the east and the Nuestra Senora del Rosario Church, a registered historic place, to the west.

The scope of work proposed for the renovation of the plaza is as follows:

- **Restore and Repair the Central Fountain:** The iconic fountain documented in 1915, a centerpiece of the plaza, will undergo careful restoration.
- **Replace Four Smaller Fountains:** Due to their poor condition, the four smaller fountains will be replaced but the new fountains will maintain their original location within the plaza.
- **Improve Accessibility:** New stairs, railings, and ramps compliant with accessibility standards will be constructed to facilitate easy access to the plaza. New sidewalks and curbs will be constructed around the plaza. Curb ramps and pedestrian crossing lanes will be integrated in the new sidewalk to improve accessibility and pedestrian traffic around the plaza.
- **Landscaping and Gardens:** The project includes the construction of new planting areas around the perimeter of the plaza to create a buffer zone between the plaza and the street. Existing gardens will be preserved, and new trees will be planted to align with historical imagery. Areas in gardens that are proposed to be paved will be finished in a different tone floor tile to provide a visual key of the outline of the original gardens. This detail will be visible around the proposed kiosks and around the two existing sculptures.
- **Surface Improvements:** Presently, the plaza features granite tiles that were partially installed in certain areas as part of an undocumented intervention. This installation, which remains incomplete, covers only a portion of the plaza. The existing granite tiles will be removed to make way for the installation of new concrete tiles.
- **Integrate New Urban Elements:** The addition of two kiosks and a pergola near the central fountain will offer shaded areas for public enjoyment.

- **Electrical & Plumbing Infrastructure:** New electrical and plumbing systems will support the plaza's fountains, lighting, and the new kiosks.
- **Redefine Parking and Vehicular Circulation:** The proposed layout of the parking spaces around the plaza layout will include dedicated handicapped spaces in all sides of the plaza, a public transportation stop and areas for loading and unloading for surrounding businesses.

Archeological monitoring will be required for ground disturbances related to construction of the new stairs, ramps and excavations required for the installation of electrical and plumbing utilities for the kiosks, fountains and light posts.



Google Earth

Maxar Technologies CNES / Airbus



PROJECT SITE PHOTOS

Aerial View of the Plaza



Aerial View of the Plaza



Main Fountain in the Plaza



Fountain in the south east side of the Plaza

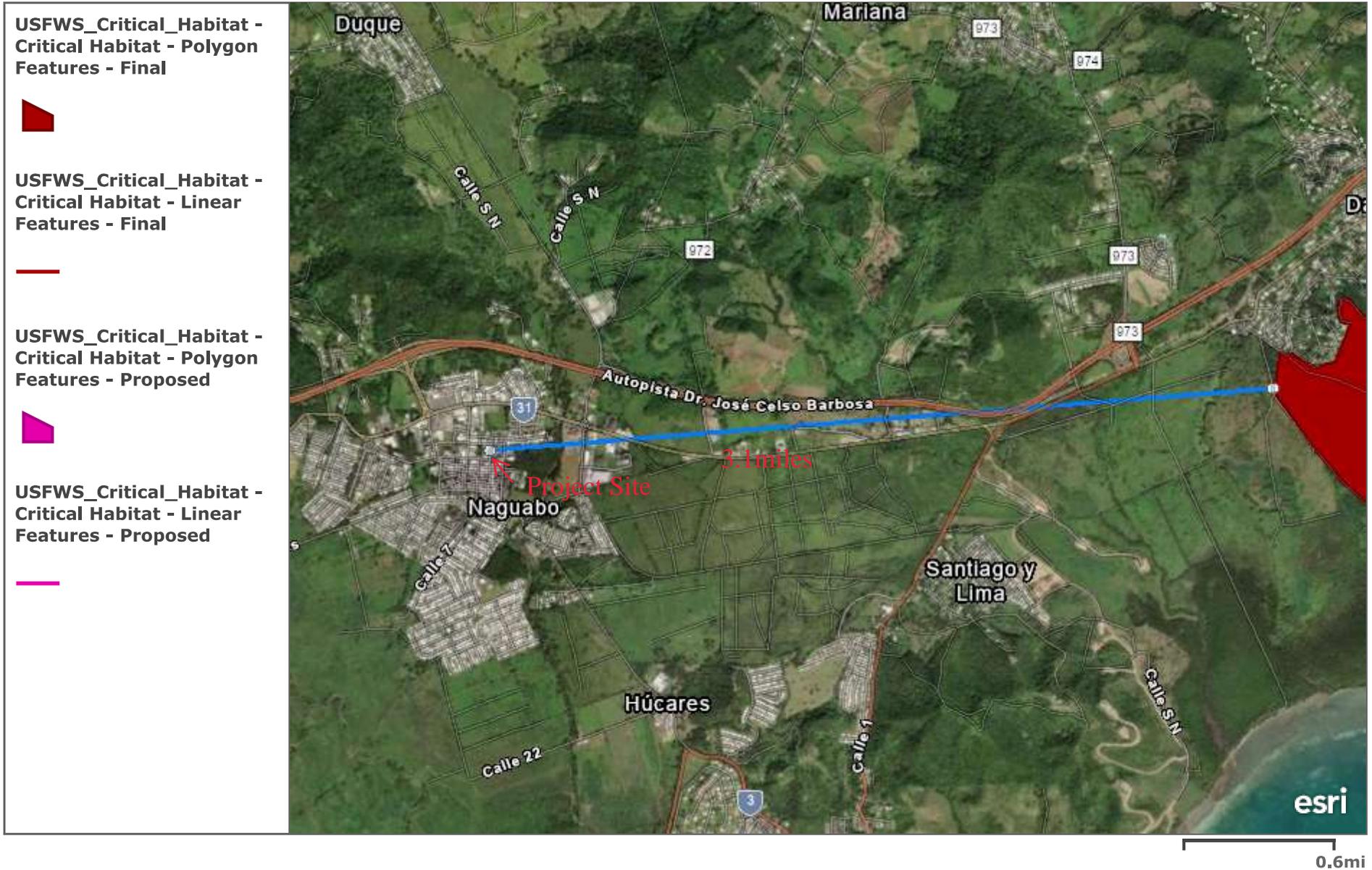


Sidewalks and Curb on the northwest of the Plaza



CRITICAL HABITAT MAP - Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores (PR-CRP-000544)

Lat: 18.212031; Lon: -65.73509116



Maxar | Esri Community Maps Contributors, Esri, TomTom, Garmin, Foursquare, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, NPS, US Census Bureau, USFWS



July 28, 2024

Wetlands

- | | | | | | |
|---|--------------------------------|---|-----------------------------------|---|----------|
|  | Estuarine and Marine Deepwater |  | Freshwater Emergent Wetland |  | Lake |
|  | Estuarine and Marine Wetland |  | Freshwater Forested/Shrub Wetland |  | Other |
| | |  | Freshwater Pond |  | Riverine |

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

ATTACHMENT I

Explosive and Flammable Hazards

24 CFR Part 51 Subpart C

Field Visit Checklist & Site Evaluation					
Project Name:	Case ID: PR-CRP-000544/Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores			Latitude:	18.21203100
First Name:	ELI	Last Name:	MARTINEZ	Longitude:	-65.73509116
Street Address:	7 Calle Baldorioty de Castro			Apt/Suite:	N/A
City:	NAGUABO			State:	PR
				Zip:	00718
Date of Visit:	MARCH 8, 2023		Field Visit Conducted By:	ELI MARTINEZ	
EXISTING ENVIRONMENTAL CONDITIONS ON & AROUND SITE					
Levee/Flood Control Structures (Levees, T-walls, pumping stations, etc.)					
	Site Specific			Area	
Observations	N/A				
Toxic Chemicals & Radioactive Materials					
Petroleum or Chemical Storage					
	Site Specific			Area	
Is there any evidence or indication of an underground storage tank (UST) may be located on site?	NO				
If yes, are they in use?	N/A				
Are there any out-of-service underground fuel tanks?	NO				
Is there any evidence that any AST on the property are leaking?	NO				
Polychlorinated Biphenyls (PCB):					
	Site Specific			Area	
Is there any evidence or indication of leaking electrical equipment (transformer - ground or pole mounted, capacitor, or hydraulic equipment) present on site?	NO				
Hazardous Operations					
	Site Specific			Area	
Is there any evidence of manufacturing operations utilizing or producing hazardous substances at or in close proximity to the site?	NO				
Is there any evidence or indication that past operations located on or in close proximity to the property used hazardous substances or radiological materials that may have been released into the environment?	NO				
Notes/Observations:					
<p>The project will not result in an increased number of people being exposed to hazardous operations by increasing residential densities, converting the type of use of a building to habitation, or making a vacant building habitable. The project does not involve explosive or flammable materials or operations. The project is in compliance with explosive and flammable hazard requirements.</p>					

Photograph 1



Photograph 2



Photograph 3



Photograph 4



Photograph 5



Photograph 6



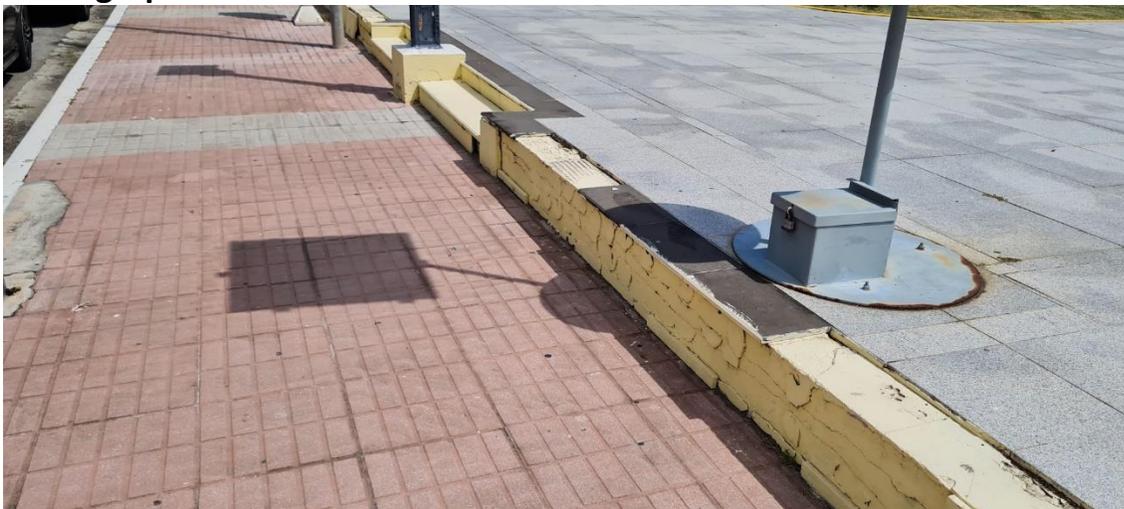
Photograph 7



Photograph 8



Photograph 9



ATTACHMENT J

Farmlands Protection

Farmland Protection Policy Act of 1981, particularly sections 1504(b) and 1541; 7 CFR Part 658

Farmland Classification—Humacao Area, Puerto Rico Eastern Part
(PR-CRP-000544)

MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

Soil Rating Polygons

-  Not prime farmland
-  All areas are prime farmland
-  Prime farmland if drained
-  Prime farmland if protected from flooding or not frequently flooded during the growing season
-  Prime farmland if irrigated
-  Prime farmland if drained and either protected from flooding or not frequently flooded during the growing season
-  Prime farmland if irrigated and drained
-  Prime farmland if irrigated and either protected from flooding or not frequently flooded during the growing season

-  Prime farmland if subsoiled, completely removing the root inhibiting soil layer
-  Prime farmland if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60
-  Prime farmland if irrigated and reclaimed of excess salts and sodium
-  Farmland of statewide importance
-  Farmland of statewide importance, if drained
-  Farmland of statewide importance, if protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if irrigated

-  Farmland of statewide importance, if drained and either protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if irrigated and drained
-  Farmland of statewide importance, if irrigated and either protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if subsoiled, completely removing the root inhibiting soil layer
-  Farmland of statewide importance, if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60

-  Farmland of statewide importance, if irrigated and reclaimed of excess salts and sodium
-  Farmland of statewide importance, if drained or either protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if warm enough, and either drained or either protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if warm enough
-  Farmland of statewide importance, if thawed
-  Farmland of local importance
-  Farmland of local importance, if irrigated

-  Farmland of unique importance
-  Not rated or not available

Soil Rating Lines

-  Not prime farmland
-  All areas are prime farmland
-  Prime farmland if drained
-  Prime farmland if protected from flooding or not frequently flooded during the growing season
-  Prime farmland if irrigated
-  Prime farmland if drained and either protected from flooding or not frequently flooded during the growing season
-  Prime farmland if irrigated and drained
-  Prime farmland if irrigated and either protected from flooding or not frequently flooded during the growing season

Farmland Classification—Humacao Area, Puerto Rico Eastern Part
(PR-CRP-000544)

	Prime farmland if subsoiled, completely removing the root inhibiting soil layer		Farmland of statewide importance, if drained and either protected from flooding or not frequently flooded during the growing season		Farmland of statewide importance, if irrigated and reclaimed of excess salts and sodium		Farmland of unique importance		Prime farmland if subsoiled, completely removing the root inhibiting soil layer
	Prime farmland if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60		Farmland of statewide importance, if irrigated and drained		Farmland of statewide importance, if drained or either protected from flooding or not frequently flooded during the growing season		Soil Rating Points Not prime farmland		Prime farmland if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60
	Prime farmland if irrigated and reclaimed of excess salts and sodium		Farmland of statewide importance, if irrigated and either protected from flooding or not frequently flooded during the growing season		Farmland of statewide importance, if warm enough, and either drained or either protected from flooding or not frequently flooded during the growing season		Prime farmland if drained		Prime farmland if irrigated and reclaimed of excess salts and sodium
	Farmland of statewide importance		Farmland of statewide importance, if subsoiled, completely removing the root inhibiting soil layer		Farmland of statewide importance, if warm enough		Prime farmland if protected from flooding or not frequently flooded during the growing season		Farmland of statewide importance
	Farmland of statewide importance, if protected from flooding or not frequently flooded during the growing season		Farmland of statewide importance, if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60		Farmland of statewide importance, if thawed		Prime farmland if irrigated		Farmland of statewide importance, if drained
	Farmland of statewide importance, if irrigated				Farmland of local importance		Prime farmland if drained and either protected from flooding or not frequently flooded during the growing season		Farmland of statewide importance, if protected from flooding or not frequently flooded during the growing season
					Farmland of local importance, if irrigated		Prime farmland if irrigated and drained		Farmland of statewide importance, if irrigated
							Prime farmland if irrigated and either protected from flooding or not frequently flooded during the growing season		

Farmland Classification—Humacao Area, Puerto Rico Eastern Part
(PR-CRP-000544)

<p> Farmland of statewide importance, if drained and either protected from flooding or not frequently flooded during the growing season</p> <p> Farmland of statewide importance, if irrigated and drained</p> <p> Farmland of statewide importance, if irrigated and either protected from flooding or not frequently flooded during the growing season</p> <p> Farmland of statewide importance, if subsoiled, completely removing the root inhibiting soil layer</p> <p> Farmland of statewide importance, if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60</p>	<p> Farmland of statewide importance, if irrigated and reclaimed of excess salts and sodium</p> <p> Farmland of statewide importance, if drained or either protected from flooding or not frequently flooded during the growing season</p> <p> Farmland of statewide importance, if warm enough, and either drained or either protected from flooding or not frequently flooded during the growing season</p> <p> Farmland of statewide importance, if warm enough</p> <p> Farmland of statewide importance, if thawed</p> <p> Farmland of local importance</p> <p> Farmland of local importance, if irrigated</p>	<p> Farmland of unique importance</p> <p> Not rated or not available</p> <p>Water Features</p> <p> Streams and Canals</p> <p>Transportation</p> <p> Rails</p> <p> Interstate Highways</p> <p> US Routes</p> <p> Major Roads</p> <p> Local Roads</p> <p>Background</p> <p> Aerial Photography</p>	<p>The soil surveys that comprise your AOI were mapped at 1:20,000.</p> <div style="border: 1px solid black; padding: 5px;"> <p>Warning: Soil Map may not be valid at this scale.</p> <p>Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.</p> </div> <p>Please rely on the bar scale on each map sheet for map measurements.</p> <p>Source of Map: Natural Resources Conservation Service Web Soil Survey URL: Coordinate System: Web Mercator (EPSG:3857)</p> <p>Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.</p> <p>This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.</p> <p>Soil Survey Area: Humacao Area, Puerto Rico Eastern Part Survey Area Data: Version 14, Sep 13, 2022</p> <p>Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.</p> <p>Date(s) aerial images were photographed: Jan 23, 2022—Mar 1, 2022</p> <p>The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.</p>
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Farmland Classification

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
UI	Urban land	Not prime farmland	1.6	100.0%
Totals for Area of Interest			1.6	100.0%

Description

Farmland classification identifies map units as prime farmland, farmland of statewide importance, farmland of local importance, or unique farmland. It identifies the location and extent of the soils that are best suited to food, feed, fiber, forage, and oilseed crops. NRCS policy and procedures on prime and unique farmlands are published in the "Federal Register," Vol. 43, No. 21, January 31, 1978.

Rating Options

Aggregation Method: No Aggregation Necessary

Aggregation is the process by which a set of component attribute values is reduced to a single value that represents the map unit as a whole.

A map unit is typically composed of one or more "components". A component is either some type of soil or some nonsoil entity, e.g., rock outcrop. For the attribute being aggregated, the first step of the aggregation process is to derive one attribute value for each of a map unit's components. From this set of component attributes, the next step of the aggregation process derives a single value that represents the map unit as a whole. Once a single value for each map unit is derived, a thematic map for soil map units can be rendered. Aggregation must be done because, on any soil map, map units are delineated but components are not.

For each of a map unit's components, a corresponding percent composition is recorded. A percent composition of 60 indicates that the corresponding component typically makes up approximately 60% of the map unit. Percent composition is a critical factor in some, but not all, aggregation methods.

The majority of soil attributes are associated with a component of a map unit, and such an attribute has to be aggregated to the map unit level before a thematic map can be rendered. Map units, however, also have their own attributes. An attribute of a map unit does not have to be aggregated in order to render a corresponding thematic map. Therefore, the "aggregation method" for any attribute of a map unit is referred to as "No Aggregation Necessary".

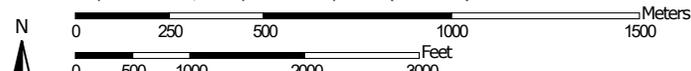
Tie-break Rule: Lower

The tie-break rule indicates which value should be selected from a set of multiple candidate values, or which value should be selected in the event of a percent composition tie.

Soil Map—Humacao Area, Puerto Rico Eastern Part
(PR-CRP-0544)



Map Scale: 1:20,000 if printed on A portrait (8.5" x 11") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 20N WGS84



MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features

-  Blowout
-  Borrow Pit
-  Clay Spot
-  Closed Depression
-  Gravel Pit
-  Gravelly Spot
-  Landfill
-  Lava Flow
-  Marsh or swamp
-  Mine or Quarry
-  Miscellaneous Water
-  Perennial Water
-  Rock Outcrop
-  Saline Spot
-  Sandy Spot
-  Severely Eroded Spot
-  Sinkhole
-  Slide or Slip
-  Sodic Spot

-  Spoil Area
-  Stony Spot
-  Very Stony Spot
-  Wet Spot
-  Other
-  Special Line Features

Water Features

 Streams and Canals

Transportation

-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:20,000.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL:
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Humacao Area, Puerto Rico Eastern Part
Survey Area Data: Version 14, Sep 13, 2022

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jan 23, 2022—Mar 1, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
UI	Urban land	1.7	100.0%
Totals for Area of Interest		1.7	100.0%

ATTACHMENT K

Floodplain Management

Executive Order 11988, particularly section 2(a); 24 CFR Part 55

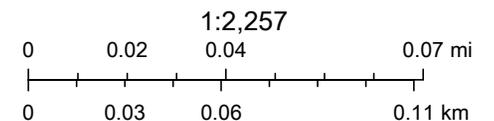
Floodplain Management



4/15/2023, 10:35:37 PM

- Municipios PR-CRP-000544
- AO
- VE
- AE
- 0.2% Annual Chance Flood Zone
- Coastal A Zone
- A-Floodway
- A

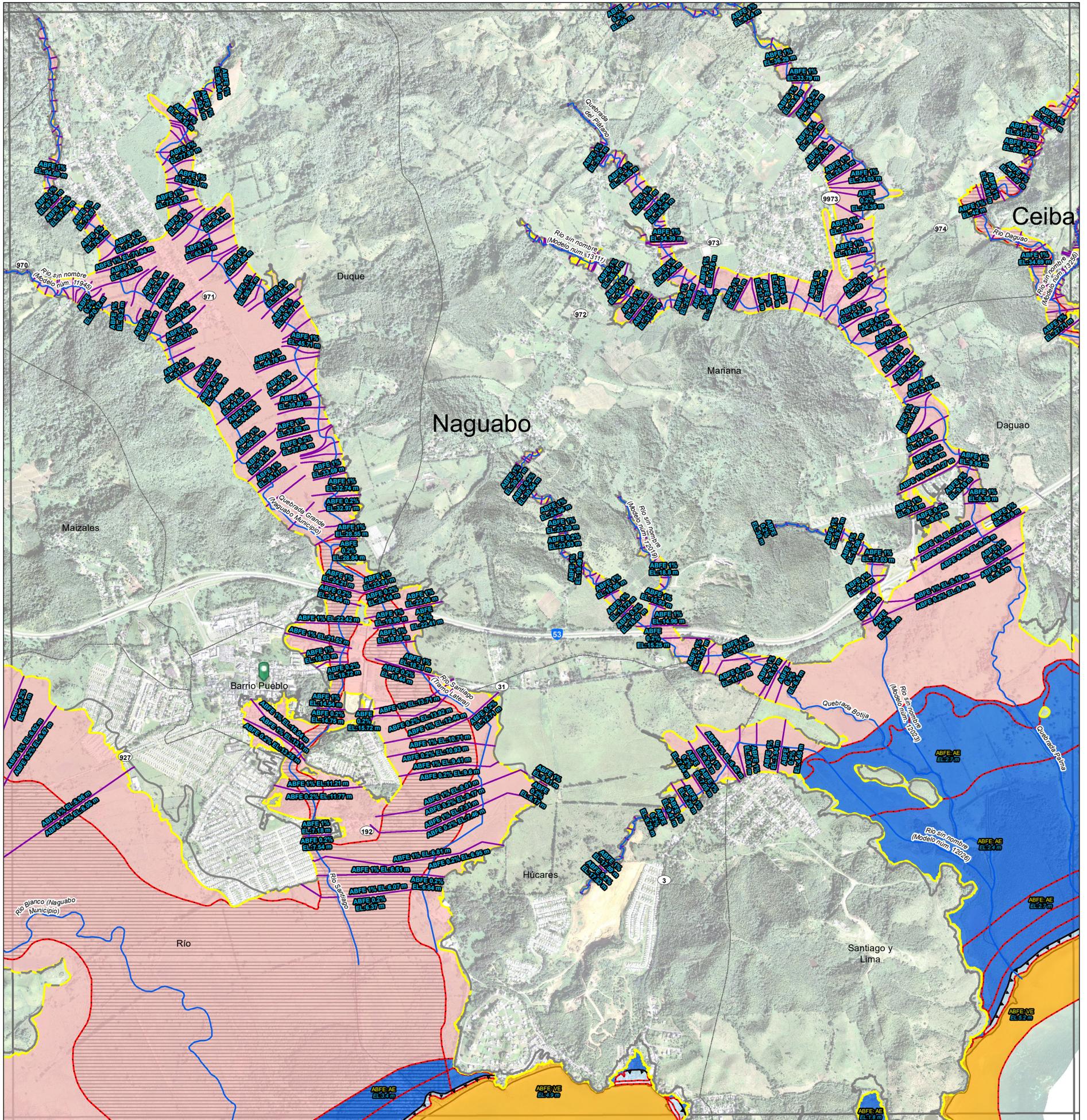
AE-Floodway



FEMA, Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community

<https://fema.maps.arcgis.com/apps/webappviewer/index.html?id=6d961e268f6f41ffa1f1e13e48dd8b1d>

PRJRO GIS Unit



MAPAS DE NIVELES DE INUNDACIÓN BASE RECOMENDADOS

Estos mapas de niveles de inundación base recomendados (Advisory Maps) desarrollados por FEMA para Puerto Rico identifican que áreas se encuentran en nuevas zonas inundables recomendadas del 1% y 0.2% de probabilidad, así como niveles de inundación base recomendados (ABFE, por sus siglas en inglés) que pueden afectar las prácticas de construcción.

Como parte del esfuerzo de recuperación de la Isla, estos mapas son una herramienta para las agencias, los desarrolladores, diseñadores, técnicos de permisos de construcción, oficiales federales, estatales y municipales y dueños de propiedad, para tomar decisiones informadas de manera que se mitigue por eventos de inundación, se proteja la vida y propiedad, así como la inversión pública y privada.

El propósito de estos mapas es asesorar sobre como las nuevas construcciones, reconstrucciones y mejoras sustanciales deben ser elevadas o diseñadas para minimizar los daños por inundaciones futuras, en base a la mejor información disponible. Además, busca orientar a la ciudadanía sobre el riesgo a inundación al que pudiera estar expuesto.

Para información sobre cómo estos mapas fueron desarrollados y sus limitaciones, puede acceder al documento "Puerto Rico Advisory Data and Products" disponible en la página web de la Junta de Planificación.



Recuerde que antes de una construcción, usted debe consultar con los funcionarios de las oficinas municipales de permiso, las oficinas regionales de permisos (OGPE) o con la Junta de Planificación para determinar las elevaciones obligatorias para su hogar, negocio u otra propiedad.

NOTAS

- Elevaciones medidas en metros relativos al Puerto Rico Vertical Datum de 2002 (PRVD02)
- Zonas identificadas como A costera o áreas afectadas por acción moderada de las olas (MoWA, por sus siglas en inglés) muestran las áreas donde la altura de la ola fluctúa entre 1.5 a 3 pies. Nueva construcción o mejora sustancial en estas zonas debe utilizar los parámetros establecidos para las zonas VE en el Reglamento de Planificación Núm. 13, vigente, Reglamento sobre áreas Especiales de Riesgo a Inundación. Puede accederlo en el siguiente enlace <http://jp.pr.gov/Reglamentos/Reglamentos-Planificación>.

UTILIZACIÓN

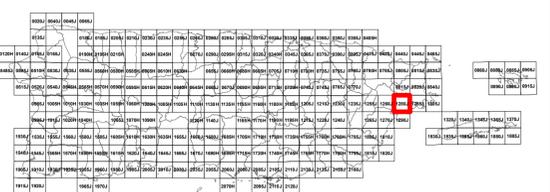
Las elevaciones mostradas en estos mapas son consideradas la mejor información disponible hasta que se desarrollen Mapas de Tasas del Seguro de Inundación (FIRM, por sus siglas en inglés) actualizados.

Estos mapas NO han sido desarrollados para tomar determinaciones respecto al seguro de inundación del Programa Nacional del Seguro de Inundación (NFIP, por sus siglas en inglés). Para propósitos del seguro de inundación, se debe hacer referencia a los FIRMs vigentes para Puerto Rico y disponibles en <http://msc.fema.gov> o en la herramienta MiPR de la Junta de Planificación (<http://gis.pr.gov/mipr/>)

LEYENDA

- Hidrografía
- Nivel de Inundación Base Recomendado
- ▲ Límite de Acción Moderada de la Ola (LIMWA)
- 1% Probabilidad Anual de Inundación
- 0.2% Probabilidad Anual de Inundación
- ▭ Límite ABFE
- Zona Inundable**
 - ▭ 0.2% Probabilidad Anual de Inundación
 - ▭ A
 - ▭ AE
 - ▭ AO
 - ▭ A Costera
 - ▭ VE
- ▭ Cauce Mayor
- ▭ Panel
- ▭ Límite Municipal
- ▭ Límite de Barrio

MAPA DE REFERENCIA



Panel: 72000C1280J Fecha de efectividad: 13/abril/2018
Fecha de revisión del geodato 12/mayo/2018



ATTACHMENT L

Historic Preservation

National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800



GOVERNMENT OF PUERTO RICO

STATE HISTORIC PRESERVATION OFFICE

Executive Director | Carlos A. Rubio Cancela | carubio@prshpo.pr.gov

Thursday, July 4, 2024

Lauren B Poche

HORNE - Architectural Historian Manager

269 Avenida Ponce de León, , San Juan, PR, 00917

SHPO-CF-06-18-24-02 PR-CRP-000544 (Naguabo), Plaza Pública de Naguabo Project

Dear Ms. Poche,

We acknowledge receipt of the archaeological monitoring work plan submitted on June 18, 2024, for the case mentioned above. The plan is deemed acceptable, and we concur with its implementation. Please notify the PRSHPO the construction start date 48 hours prior to the initiation of work.

If you have any questions concerning our comments, do not hesitate to contact our Office.

Sincerely,

Carlos A. Rubio Cancela

State Historic Preservation Officer

CARC/GMO/OJR



Cuartel de Ballajá (Tercer Piso), Calle Norzagaray, Esq. Beneficencia, Viejo San Juan, PR 00901 | PO Box 9023935, San Juan, PR 00902-3935



GOVERNMENT OF PUERTO RICO
DEPARTMENT OF HOUSING

April 30, 2024

Arch. Carlos A. Rubio Cancela

Executive Director

Puerto Rico State Historic Preservation Office

Cuartel de Ballajá, Third Floor

San Juan, Puerto Rico 00901

Re: Authorization to Submit Documents for Consultation

Dear Arch. Rubio Cancela,

The U.S. Department of Housing (HUD) approved the allocations of Community Development Block Grant (CDBG-DR) funds on February 9, 2018. It also approved the allocation of Community Development Block Grant Mitigation (CDBG-MIT) funds on January 27, 2020. The purpose of these allocations is to address unsatisfied needs as a result of Hurricanes Irma and Maria in September 2017; and to carry out strategic and high-impact activities to mitigate disaster risks and reduce future losses.

To comply with the environmental requirements established by HUD, the Department of Housing of Puerto Rico (PRDOH) contracted Horne Federal LLC to provide environmental review services, among others, that will support the objectives of the agenda for both CDBG-DR and CDBG -MIT Programs.

To expedite the processes, Horne Federal LLC, is authorized to submit to the State Historic Preservation Officer, documentation of projects related to both the CDBG-DR and CDBG-MIT on behalf of PRDOH.

Cordially,

Aldo A. Rivera Vázquez, PE

Director

Division of Environmental Permitting and Compliance

Office of Disaster Recovery

6/18/2024

Carlos A. Rubio Cancela
State Historic Preservation Officer
Puerto Rico State Historic Preservation Office
Cuartel de Ballajá (Tercer Piso)
San Juan, PR 00902-3935

Puerto Rico Disaster Recovery, CDBG-DR City Revitalization (City-Rev) Program

Re: SHPO 10-02-23-02, PR-CRP-000544: Rehabilitación y Mejoras En La Plaza Publica de Naguabo y Sus Alrededores, Esq. Calle Goyco y Garzot, Naguabo, Puerto Rico – Archaeology Monitoring Work Plan Submission

Dear Architect Rubio Cancela,

On behalf of the Puerto Rico Department of Housing (PRDOH), we thank you for your letter dated November 30, 2023, in response to the submission of the updated design plans for PR–CRP-000544, the proposed Rehabilitación y Mejoras en la Plaza Pública de Naguabo y Sus Alrededores Project. The letter stated that after a review of all provided documentation, the SHPO agreed with the finding that the proposed project with the following established condition would have no adverse effect upon historic properties: *Archaeological monitoring should be conducted during all ground disturbing activities and the preparation of an archaeological monitoring plan to be submitted for our review and approval.*

As such, on behalf of PRDOH, HORNE is submitting the *Archaeological Monitoring Plan for the PRDOH CDBG-DR CRP Program, Plaza Pública Luis Muñoz Rivera, Naguabo, Puerto Rico (PR-CRP-000544/SHPO-10-02-23-02)* for your review and concurrence that the implementation of this plan is appropriate for the proposed undertaking. The plan was prepared by Archaeologist Imandra Martínez and Archaeologist Assistant Oliver L. Bega Menéñez-Conde of Plexos Group, which incorporates the Archaeological Monitoring Work Plan Template developed by Archaeologist Sharon Meléndez Ortiz of HORNE Puerto Rico.

Please contact me with any questions or concerns by email at lauren.poche@horne.com or phone at 225-405-7676, or Sharon Meléndez Ortiz at sharon.melendez@hornepr.com.

We look forward to your response regarding the submission of this proposed plan.

Kindest regards,



Lauren Bair Poche. M.A.

Architectural Historian, EHP Senior Manager

Attachments

**PRDOH CDBG-DR CRP PROGRAM
Plaza Pública Luis Muñoz Rivera
Naguabo, Puerto Rico
PR-CRP-000544/SHPO-10-02-23-02**



Archaeological Monitoring Plan

Imandra Martínez, Archaeologist– Plexos Group
Oliver L. Vega Menéndez-Conde, Archaeologist Assistant– Plexos Group

May 21, 2024

**Incorporating the Archaeological Monitoring Work Plan Template developed by Archaeologist
Sharon Meléndez Ortiz, HORNE PR, 2023**

PREAMBLE

The Municipality of Naguabo is seeking Community Development Block Grant disaster recovery funds financed by the federal Department of Housing and Urban Development due to damage received by the 2017 Hurricanes Irma and María. The Puerto Rico Department of Housing (PRDOH) has established an Agreement between PRDOH and the Municipality of Naguabo for the City Revitalization Program as part of the Community Development Block Grant for Disaster Recovery (CDBG-DR) Program. The Municipality of Naguabo proposes to revitalize the Luis Muñoz Rivera Public Plaza, flanked by Goyco Street, Juan R. Garzot Street, Luis Muñoz Rivera Street, and Baldorioty Street, Naguabo, PR 00718 (18.212031, -65.735091) (Figures 1 and 2). The Puerto Rico State Historic Preservation Office (PRSHPO), in a letter dated March 30, 2023, concurred with a finding of No Adverse Effect for this undertaking conditioned to the implementation of an archaeological monitoring during the any ground-disturbing and excavations activities.

In accordance with 90% construction plans, the undertaking will ensure the Luis Muñoz Rivera Public Plaza complies with ADA regulations by demolishing the existing staircases, sidewalks, curbs, and swales and building new ramps and staircases with railings for wheelchair access. The central fountain will be restored with two pergolas installed to the north and south, while the four smaller fountains at the central quadrant will be replaced. The two bronze statues on the northeast and southeast corners will also be restored, with new floor lights and stonecast pavers and threads. New concrete floor tiles will be laid down throughout the public plaza as the existing granite tiles will be removed and returned to the Municipality of Naguabo. The existing benches and light posts will also be removed and returned. Two octagonal kiosks will be built in the northeast and southeast quadrants, along with new electrical and plumbing infrastructure. New planting areas will be built between the new sidewalks and the borders of the public plaza. Designated parking spots and loading areas for commercial establishments in the vicinity will be built around the public plaza, along with a public transit stop for a trolley on the northeast corner.

The direct APE is limited to the footprint of the Luis Muñoz Rivera Public Plaza, approximately 280 feet by 277 feet, with an area of 74,874.40 square feet (*The boundaries of the APE are as follows: on the north with Goyco Street, on the east side with Baldorioty Street, on the south with Luis Munoz Rivera Street, and the west with Nuestra Senora del Rosario Church, an outdoor theater (concha acústica), and a parking lot. The description of the APE boundary is as follows: On the north is Goyco Street, on the east side is Baldorioty Street, on the south is Luis Munoz Rivera Street, and on the west is Nuestra Senora del Rosario Church, an outdoor theater (concha acústica) and a parking lot¹*). The visual or indirect APE consists of the Naguabo Traditional Urban Center.

¹Rivera Meléndez, José and Martínez, Eli M., *Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.*, CRP-000554, Puerto Rico 2017 Disaster Recovery, CDBG-DR Program, City Revitalization Program (CRP), Section 106 NHPA Effect Determination, 2023.

The objectives of this archaeological monitoring plan are: (1) to establish measures to prevent indirect adverse effects on known historical resources; (2) to establish the protocol to be followed in archaeological monitoring; (3) to establish the protocol to be followed if previously unknown resources are identified; (4) to establish the protocol to be followed if there are any unexpected or previously unanticipated adverse effects; (5) to locate, evaluate, and document archaeological resources during project development; (6) to recover as much archaeological information as possible during excavation and construction; (7) to conserve and enhance the value of the archaeological resources located and documented; and (8) in the event that the archaeological resource cannot be conserved *in situ*, to conserve it through documentation (preservation by record).

This document complies with applicable federal and state laws, regulations, and guidelines, and is consistent with the Secretary of the Interior's (SOI) Guidelines for Archeological Documentation, the Advisory Council on Historic Preservation's (ACHP) recommendations on the recovery of significant information from archaeological sites as updated in 2009, and Regulation #8932 of the Institute of Puerto Rican Culture (ICP). The plan was prepared by archaeologist Imandra Martínez, who meets the Professional Qualifications Standards set forth in 36 CFR Part 61.

This scope of work is divided into six (6) sections and one (1) appendix. The section following this preamble discusses the proposed construction works. The third section includes a brief description of the historic properties located within the APE and of the archaeological potential of the area. The fourth section provides a detailed description of the archaeological monitoring procedure to be carried out before, during and after the construction works. The fifth section includes the professional qualifications of the team that will implement this monitoring plan and the last section includes the references cited. The plan closes with an appendix with a model of a monitoring daily activity sheet (Appendix A).

Figure 1. Project Location USGS map, 1946. The project location is highlight in yellow (Source: United States Geological Survey)

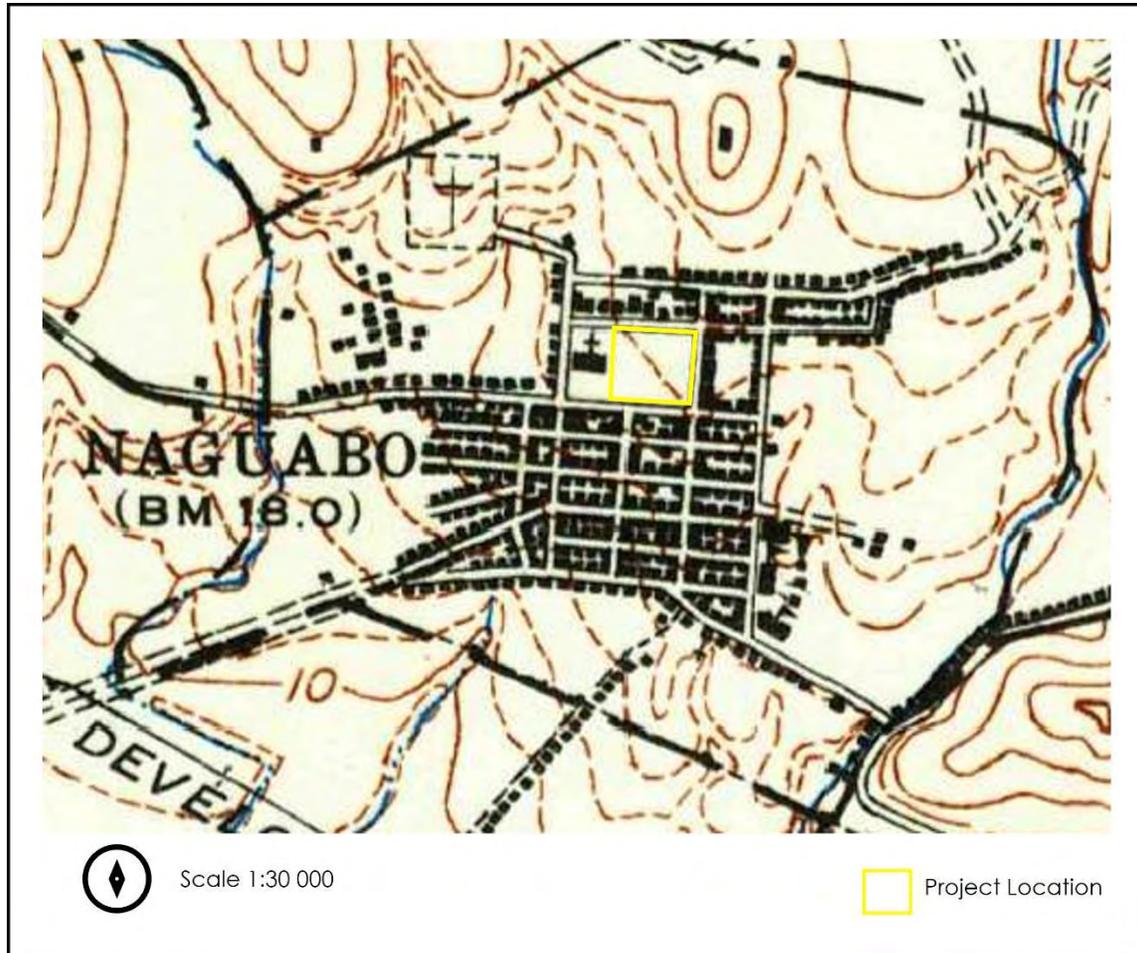


Figure 1. Project Parcel Location. Area of Potential Effect Map (Source: Portal Catastro Digital y Productos Digitales, CRIM PR).



1. PROJECT DESCRIPTION

The project aims² to revitalize the Luis Muñoz Rivera Public Plaza in the Municipality of Naguabo, initially built in 1821 and flanked by Goyco Street to the north, Nuestra Señora del Rosario Parish, Madre Teresa de Calcuta Center, a parking lot, and an outdoor theater with an acoustic conch to the west, Luis Muñoz Rivera Street to the south, and Baldorioty Street to the east. The direct APE is limited to the footprint of the public plaza, approximately 280 feet by 277 feet, with an area of 74,874.40 square feet, and elevated 16 inches on the north side and 14 inches on the south side. The Luis Muñoz Rivera Public Plaza features sixteen gardens, five fountains in the central quadrant, and two bronze statues: Pedro Flores in the northeast corner and Arturo "Diplo" Ramón Máximo Ortiz del Rivero in the southeast corner. The undertaking proposes to remove approximately 23,615 square feet of existing granite floor tiles; new concrete floor tiles will be placed throughout the public plaza. The concrete sidewalks, curbs, and swales will be demolished and rebuilt to incorporate new access ramps and staircases in compliance with ADA regulations. All benches, light posts, and trash cans on site will be removed and returned to the Municipality of Naguabo. The undertaking will not modify the existing footprint.

The central fountain, dated circa 1915, will be restored, while the four smaller fountains will be replaced with three-tiered Venetian fountains, along with the required plumbing and electrical infrastructure. The bronze statues with plaques on the northeast and southeast corners will be cleaned and waxed to preserve their luster. New floor lights, stonecast pavers, and threads will be installed around the pedestals, and bush-hammered concrete finishes will also be cleaned. The granite floor slab around the pedestals will be removed. Two pergolas with a wooden roof and concrete columns will be installed on the pedestrian walkway north and south of the central fountain. Two octagonal kiosks and the required plumbing and electrical infrastructure will be built on top of existing gardens in the northeast and southeast quadrants. Each garden will be modified to allow for an L-shaped pedestrian walkway with four benches to the kiosks.

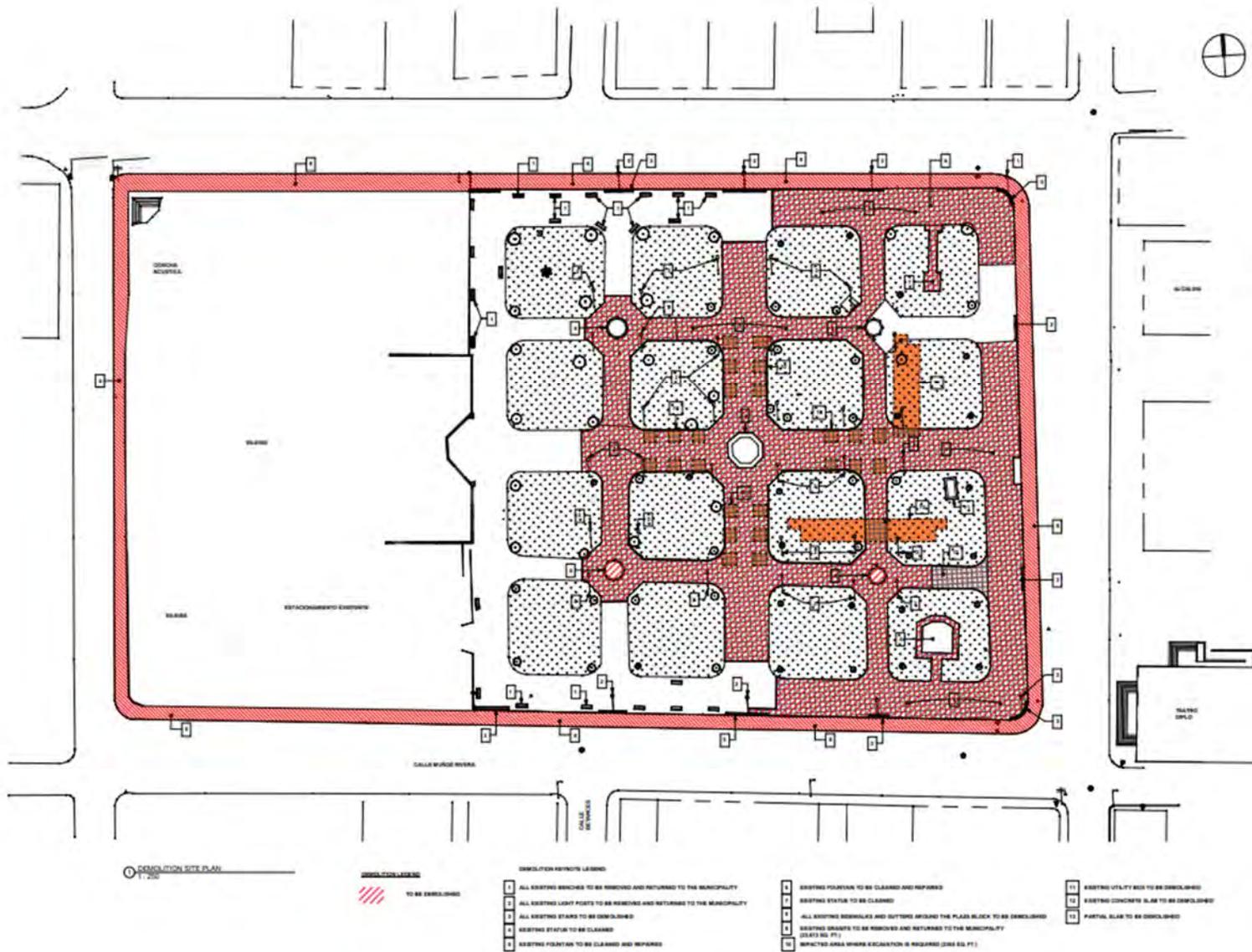
Ten ornamental planting areas of varying sizes will be built between the new sidewalks and borders of the Luis Muñoz Rivera Public Plaza. Twenty-four public parking spots (three designated handicapped spots) will be available along Goyco Street to the north, from the intersections of Juan R. Garzot Street to Baldorioty Street, and a portion of Luis Muñoz Rivera Street to the south, from the junction of Betances Street to Baldorioty Street. Five loading areas for commercial establishments will be demarcated around the public plaza: two small areas on Goyco Street to the north, Luis Muñoz Rivera to the south, and one large area on Baldorioty Street. A public transit stop for a trolley will also be restricted on the northeast corner at the intersection of Goyco and Baldorioty Streets.

The demolition works and excavations inside the plaza will be performed using lightweight equipment. The contractor shall take precautions during demolition works on environmentally, architecturally, and archaeologically sensitive areas. During the

² To better understand the proposed undertaking, see the attached most recent design plans (Appendix B).

demolition and construction process, erosion and sedimentation control measures will be implemented to avoid sediment discharge into the road surface and storm sewer system during rainfall events.

Figure 3. Demolition site plan of Luis Muñoz Rivera Public Plaza (Source: Sheet #DS101, 60% Construction Document, EM Architects, PSC)



2. HISTORIC PROPERTIES WITHIN THE APE

The project area is located in the NRHP-eligible District Naguabo Traditional Urban Center and constitutes the official public plaza of the Municipality of Naguabo (Plaza Pública Luis Muñoz Rivera). It is important to note that Plaza Pública Luis Muñoz Rivera, in its character, is eligible for the National Register of Historic Places and is also a contributing site to the eligible Naguabo Historic District. The *Plaza de Recreo* is an essential element in the urban history of our cities; in addition to their architectural significance, historically, they have been the center of social and cultural life in the island's towns. The Plaza delimits it to the north with Goyco Street, Nuestra Señora del Rosario Parish, Madre Teresa de Calcuta Center, a parking lot, and an outdoor theater with an acoustic conch to the west, Luis Muñoz Rivera Street to the south, and Baldorioty Street to the east. According to the previous investigation by José Rivera Meléndez and Eli M. Martínez Beléndez (*Rehabilitación y Mejoras en la Plaza Pública de Naguabo y Sus Alrededores*, CRP-000544, Puerto Rico 2017 Disaster Recovery, CDBG-DR Program, City Revitalization Program (CRP), Section 106 NHPA Effect Determination, 2023), the town of Naguabo initially emerged around a chapel constructed by the owners of the Ríos, Cayure, and Peña Pobre estates in the late 18th century to honor Virgen del Rosario and San Juan Nepomuceno Mártir. The veneration of these saints, emerging from the South of France, suggests a Catalan origin for the settlers.

The settlement was officially recognized as a town in 1794. Situated between Cecilia and La Fe ravines, the land was deemed unfavorable for constructing a traditional urban layout with parallel and converging streets around a central plaza due to the ruggedness of the terrain. In 1815, during his visit to Naguabo, the Governor of Puerto Rico ordered the town to be relocated to the Santiago District and instructed the construction of a new church. Bootlegging was widespread on the east coast of Puerto Rico, as it was scarcely populated due to frequent Carib raids and European piracy. As a countermeasure, the Spanish government favored settlements on the east coast. In 1817, plans were presented to the Municipal Board for a new building, which was rejected due to a lack of funds. By 1820, arrangements had been made with Don Cristóbal Ramírez, a landowner in the Santiago District, to construct a provisional chapel. The chapel, finished in 1829, was built from bricks and wood. A new staircase and bell were added in 1847. It remained in use until 1856 when it was demolished and replaced by a new church.

An 1847 description of the territorial jurisdiction of Naguabo states that the town was comprised of twelve streets: four streets from north to south, all named del Comercio, and eight streets from west to east named de Santiago, de la Aurora, de San Juan, del Sol, de Angustias, de Correos, de San Juan de Dios, and de la Rambla (Sepúlveda Rivera 2004, 127). In 1878, Manuel Úbeda Delgado reported the presence of a public plaza, a masonry church with two bell towers, a public cemetery with a dilapidated chapel, a one-story wooden hospital, civil guard barracks, butcher shop, and a wood and masonry two-story town hall with offices, a jail, and telegraph station (Sepúlveda Rivera 2004, 280). The Naguabo Traditional Urban Center was developed west of the Santiago River. A long, straight road one block east of the public plaza (today Antonio Ríos Street) marked the boundary of the urban center in 1885. Three roads leading to Humacao spanned south of the urban center. A road to the west led to Juncos, while another to the southeast led to Ceiba. The neighborhoods of Duque and Mariana were

connected to the urban center via a road to the northeast, while the public cemetery was northwest-bound.

Throughout the 19th century, Naguabo developed an agrarian economy partial to cattle farming. Irrigation was provided by the Daguao River, Santiago River, and Blanco River, descending from the Sierra de Luquilloto to the northwest. Given its orientation toward the Lesser Antilles, Naguabo maintained economic ties with other Caribbean colonies, administrating its port and customs house. The sugarcane industry flourished, too, with large swaths of fertile land dedicated to its monoculture until the latter half of the 20th century. Hurricanes often devastated sugar mills and factories in Naguabo, such as Hacienda Quebrada Palma by Hurricane San Ciriaco in 1899, which later became a colony of Central Columbia in Maunabo. In 1932, Hurricane San Ciprián wrecked Central Triunfo, which the Fajardo Sugar Company eventually acquired. Central San Cristóbal, the largest of its kind in Naguabo, ceased to operate in 1913 and was also acquired by the Fajardo Sugar Company for its land; the machinery was dismantled and sold in the Dominican Republic in 1916.

As mentioned above, the Luis Muñoz Rivera Public Plaza has been determined to be eligible for the National Register of Historic Places (NRHP), as it has yielded or may be likely to yield information essential to the urban development of the Naguabo Traditional Urban Center. The plaza was originally built in 1821 and has undergone several modifications throughout the 20th century. For instance, the urban center of Naguabo was almost razed to the ground by a fire in 1912 (Figure 5). According to historian Carlos Oswaldo Suárez, a local pharmacist accidentally caused the initial explosion during a chemical experiment. The central fountain at the Luis Muñoz Rivera Public Plaza was used to extinguish the ravaging flames. A 1913 on-site photograph shows the public plaza before it was elevated. The wooden house where Inés María Mendoza lived, next to the Old Town Hall, is visible in the background (Figure 6). A 1937 aerial photograph reveals an array of circular gardens in the public plaza, implying a design change (Figure 8). Subsequent aerial pictures from 1951 and 1964 display the gardens in their current square design (Figures 9 and 10).

The Luis Muñoz Rivera Public Plaza is located at the heart of the Naguabo Traditional Urban Center and, therefore, is surrounded by many NRHP-listed/eligible historic properties within a quarter-mile radius, such as the Nuestra Señora del Rosario Parish, built in 1856 and one of the oldest structures in Naguabo; the old City Hall built between 1917 and 1929; Ramón Rivero “Diplo” Theater, probably the same theater as *El Naguabo* circa 1920; the two-story commercial building housing the *Banco Popular* branch in Naguabo; the *Nueva Farmacia* pharmacy, a one-story, masonry commercial building; the three-story Caballeros del Bien No. 10189 Masonic Lodge built in 1949, although founded earlier in 1918; among others. The Rafael Rocca High School, established in 1949, is two blocks southeast of Antonio Ríos Street. Findelina Meléndez Monsanto School, established circa 1946, is behind Rafael Rocca High School. Further south on Antonio Ríos Street is José Ortiz Guzmán School, established in 1937. Toward the intersection with State Road PR-192 to the south are Ramón Rodríguez School and Eugenio Brac School, both early 20th-century schools.

Archaeological Potential

Cultural resource studies cited in the Section 106 NHPA Effect Determination Form (Meléndez & Beléndez 2023) reveal that only one out of five yielded positive results within a quarter-mile radius of the project area. A Phase 1A-1B study for the remodeling of the public plaza (ICP ID: CAT-NG-98-04-04, SHPO ID: 04-14-99-11), conducted by archaeologist Ethel Schlafer in 1998, performed several test pits of approximately 3.5 feet in depth that detected the presence of a dense material deposit within the limits of the Luis Muñoz Rivera Public Plaza, including architectural elements associated with the original construction. Schlafer proposes that the finding is either a secondary deposit recycled as land refill or an *in-situ* deposit impacted by different interventions throughout time. It is also possible that the original floor of the public plaza is underneath the uncovered material deposit.

The remaining studies reported a negative finding: *Phase 1A for Ralph's Food Warehouse Project, State Road PR-31, Km 3.6, Barrio El Duque* by María A. Cashion Lugo in 2002 (ICP ID: CAT-NG-02-06-02), 0.21 miles northwest; *Phase 1A, Naguabo High School* by Juan González Colón in 1994 (ICP ID: CAT-NG-94-02-07), 0.16 miles southwest; *Phase 1A, Naguabo Central Housing Apartments* by Juan González Colón in 1992 (SHPO ID: 08-13-92-01), 0.11 miles west; and *Phase 1A, El Hogar Adventista, Antonio Ríos St. 6, Barrio Pueblo* by Iván F. Méndez Bonilla in 2008 (ICP ID: CAT-NG-08-11-01), 0.02 miles east.

The potential for unearthing archaeological materials during ground-disturbing activities is considered non-negligible. The project area is located at the heart of the NRHP-eligible District Naguabo Traditional Urban Center. The Section 106 NHPA Effect Determination Form (Meléndez & Beléndez 2023) indicates that the Phase 2 study for the Luis Muñoz Rivera Public Plaza recommended by Schlafer in her Phase 1A study was never completed. Therefore, it cannot be determined whenever the uncovered material deposit represents a historic fill or is directly related to the construction of the original public plaza and the overall history of the town of Naguabo. Historic infrastructural elements, pavements, sidewalks, drainage systems, and lighting systems could be uncovered during demolition and reconstruction activities. Similarly, ceramics, glass, or metal artifacts related to the lifestyles of the past could be retrieved. Previous cultural layers impacted by disasters like fires, earthquakes, or hurricanes could be identified, among other artifacts of archaeological value. Below is a series of images related to the historical and archaeological significance of the site, as well as its historical uses.

Figure 4. 1885 sketch of the town of Naguabo by Francisco Larrea y Liso and Manuel Moriano Vivó, Cuerpo de Ingenieros Militares (Source: Sepulveda 2004, 280). The project location is highlight in yellow.



Figure 5. Photograph of the Luis Muñoz Rivera Public Plaza and surroundings devastated by the fire of 1912 (Source: Primera Hora, <https://www.primerahora.com/estilos-de-vida/ph-mas-pa-aprender/notas/una-plaza-a-prueba-de-todo/>).



Figure 6. 1913 photograph of the Luis Muñoz Rivera Public Plaza with the wooden house where Inés María Mendoza lived and the Old Town Hall visible in the background (Source: Carlos Oswaldo Suárez).



Figure 7. 1915, Luis Muñoz Rivera Public Plaza (Source: Sepulveda 2004, 283).



Figure 8. 1937 USGS aerial photograph of the town of Naguabo (Source: Office of Photogrammetry, Puerto Rico Department of Transportation and Public Works). The project location is highlight in yellow.



Figure 9. 1951 USGS aerial photograph of the town of Naguabo (Source: Office of Photogrammetry, Puerto Rico Department of Transportation and Public Works). The project location is highlight in yellow.



Figure 10. 1964 USGS aerial photograph of the town of Naguabo (Source: Office of Photogrammetry, Puerto Rico Department of Transportation and Public Works). The project location is highlight in yellow.

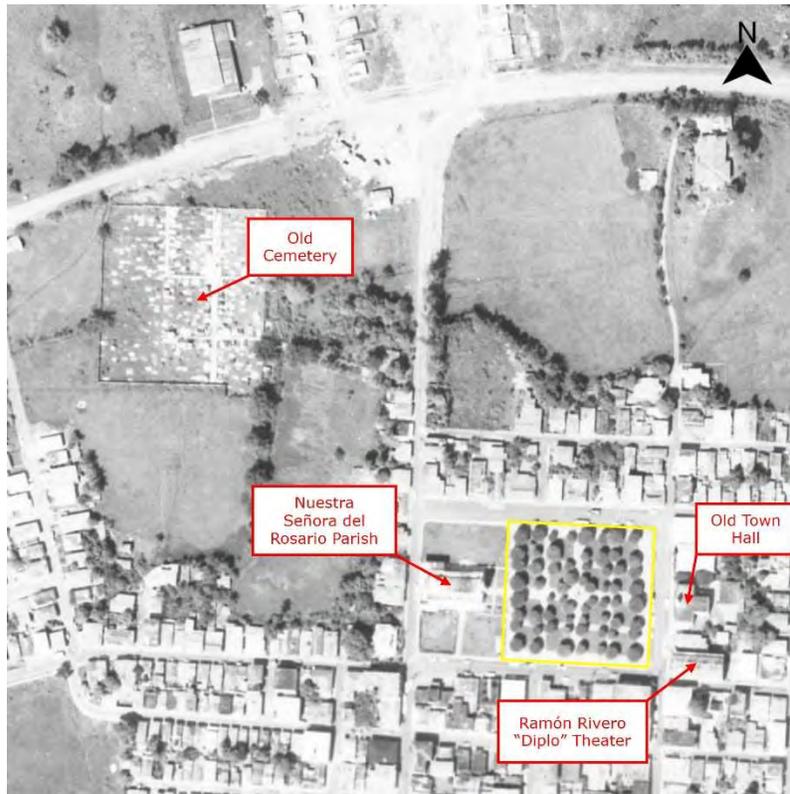


Figure 11. Plaza Existing conditions. A: View of the southeast corner of Baldorioty and Luis Muñoz Rivera Street. B: View of the main fountain located in the center of the Plaza. C: View of the east side of the plaza on Baldorioty Street.



3. ARCHAEOLOGICAL MONITORING PROCEDURE

The monitoring activities can be divided into three groups: activities before the project begins, activities during construction, and post-construction activities. Monitoring is limited to activities that entail demolition, excavations, and earth movements. Those reconstruction activities that do not entail excavations or earth movements do not require an archaeological monitor. However, if there are activities with heavy equipment taking place in the vicinity of historic buildings, there should be a monitor present to prevent accidents and indirect impacts.

A. Before Construction Begins

1. The Municipality/Construction Manager (CM) will notify the Project Manager (PM), Grant Manager (GM), and Monitor of the proposed activities' start date. The PM is responsible for coordination between the CM and the SOI-qualified archaeologist who will oversee the monitoring (Monitor).
2. Before any demolition or construction begins, the Municipality, PM, CM, GM, and Monitor will have a kickoff meeting to discuss the procedure for archaeological monitoring, including the coordination protocol between the Monitor and the Contractor. The Monitor will provide an orientation on the area's cultural resources and potential resources and their proper treatment. The Monitor will also explain which project activities require archaeological monitoring.
3. The Municipality, CM, PM, and construction crew will complete and sign a statement outlining the activities that may not be performed without the Monitor's presence, demonstrating their understanding and commitment to following the archaeological monitoring procedures.
4. The Monitor shall document the NHRP-eligible or potentially eligible building through detailed descriptions, photos, and scale drawings. Particular attention shall be paid to the construction stages of the building and to other associated structures that may exist within the project's area of potential effect. This data must be included in the final report.

B. During Demolition and Construction

1. The Monitor shall be in the field during all project activities involving demolition and ground disturbance, and activities with heavy machinery or lightweight equipment in the vicinity of historic buildings; access and clear sightlines to all demolition and excavation activities and debris removal will be provided to the Monitor.
2. All demolition must be done with light machinery.
3. The Monitor shall provide instructions directly to the construction field personnel concerning how to proceed when there is a potential to impact an archaeological resource. The construction field personnel will abide by these requests: excavate slowly, stop the excavation work to evaluate a finding, etc.
4. The Monitor shall keep a record of monitored activities. The Monitor shall fill out the

Daily Record of Activities Form (see **Appendix A**). These forms should be sent weekly to the GM for review and will be attached to the final report as an appendix.

5. After the demolition and removal of surfaces, the Monitor shall document any exposed subsurface feature and shall complete a scale plan drawing. The amount, size, and placement of excavation units needed to document the features, if any, shall depend on the size and complexity of the feature being documented. If necessary to understand the context of the identified resource, the Monitor should conduct archival research of primary sources (like previous project files, newspapers, journals), cartographic sources, and historical images.
6. The Monitor shall document all other archaeological remains identified during construction activities, except for previously unidentified historically significant findings (refer to B-8 below). The documentation shall include a detailed description of the discovery, context, horizontal and vertical provenience, photos, and a plan drawing. This documentation shall be done within a reasonable amount of time, trying not to impact on the project schedule as much as possible.
7. Any subsurface feature may be demolished and removed after being documented by the Monitor and approved by the GM. The information recorded will be included in the final report.
8. If the identified archaeological remains are considered historically significant – i.e., complex structures, precolonial remains or stratified deposits – the Monitor shall instruct the construction crew to (1) immediately cease work in the vicinity of the discovery, (2) take all reasonable measures to avoid or minimize harm to the property, and (3) notify the Municipality, PM, CM, and GM. The GM shall immediately notify the SHPO, as per stipulation III.B.1.b. of the PA. The following protocol shall be followed:
 - a. The Monitor shall make a preliminary assessment of the finding. The assessment shall include a description of the discovery, location, horizontal and vertical extent (if known), context, photographs, and drawings including a site plan. The assessment shall also include a work plan for implementing a National Register of Historic Places' eligibility evaluation of the exceptional remains.
 - b. The assessment and NRHP-eligibility evaluation work plan shall be submitted via email to the PM and GM within 24 hours of the discovery. The GM will comment on the work plan within 24 hours of receiving it.
 - c. The Monitor shall implement the work plan after receiving the GM's authorization to proceed. After completing the fieldwork, the Monitor shall prepare an End of Field Report, summarizing the results. Said report should include an NRHP-eligibility determination. The End of Field Report shall be submitted via email to the PM and GM within 48 hours after completing the fieldwork.
 - d. The GM shall notify the SHPO of the NRHP-eligibility determination.
 - i. If the finding is **not eligible** to the NRHP, the GM shall notify the SHPO and provide supporting documentation. Construction activities may resume under archaeological monitoring unless the SHPO disagrees with the NRHP determination and makes a timely objection within 48

hours of the notification.

- ii. If the finding is **eligible** to the NRHP, the criteria of adverse effect shall be applied. If the project activities do not adversely affect the finding, the GM shall notify the SHPO and provide supporting documentation. Construction activities may resume under archaeological monitoring unless the SHPO makes a timely objection within 48 hours of the notification.

If the project activities have an **adverse effect** on the NRHP-eligible finding, a Data Recovery will be implemented as a Treatment Measure per Appendix F of the PA. The Monitor shall develop a data recovery plan with a research design consistent with the Secretary of the Interior's Guidelines for Archeological Documentation (http://www.nps.gov/history/locallaw/arch_stnds_7.htm) and the Advisory Council on Historic Preservation's (ACHP) recommendations on the recovery of significant information from archaeological sites as updated in 2009, at https://www.achp.gov/protectinghistoricproperties/Section_106_Archaeology_Guidance. The data recovery plan shall be submitted via email to the GM for comments. The GM shall be responsible for submitting the data recovery plan to the SHPO for comments and approval. This treatment measure does not apply to burials or human remains (refer to II.B.11 of this work plan).

9. If any additional construction activities are added or design changes are made after the project has begun, the Municipality, CM and PM shall inform the GM and the Monitor prior to performing the work. The Monitor, in conjunction with GM, shall evaluate these activities and apply the adverse effect criteria. If it is determined that the effect is adverse, the archaeologist will provide recommendations on how to avoid, minimize, or mitigate the adverse effect. These recommendations will be consulted with the SHPO prior to implementation. The SHPO will have 15 days to comment on the recommendations. If no communication is received within that time frame it will be assumed that the SHPO has no objection and concurs with the recommendations outlined.
10. If during construction activities a historic property is affected in an unanticipated manner, the CM shall stop work immediately, and inform the Municipality, PM, GM and Monitor. The Monitor, in conjunction with GM, shall evaluate the unanticipated effects and apply the adverse effect criteria within no more than 24 hours. If the effect is determined to be adverse, the Monitor and GM will provide recommendations on how to avoid, minimize, or mitigate such adverse effects. The GM shall consult with the SHPO on the recommendations prior to implementation. The SHPO will have 48 hours to comment on the recommendations. If no communication is received within that timeframe, it will be understood that the SHPO has no objection and concurs with the recommendations outlined.

C. After Construction Ends

1. Upon the completion of archaeological monitoring, the Municipality, PM and GM shall be notified. The estimated date of delivery of the final report shall be indicated in the said notification.

2. A technical report shall be prepared detailing monitored construction activities, documentary research (if any), documentation archaeological features and other findings, and analysis and interpretation of the results. The report must include visual information, such as drawings and photos, and a sketch plan of all the documented findings. The report shall be submitted to the GM no later than two (2) weeks after completing the archaeological monitoring work. The GM shall submit the report to the SHPO no later than one (1) week after receiving it.

D. Human Remains

If human remains are discovered, the protocol established in Stipulation III.B.1.c. of the PA must be followed:

1. Stop work immediately.
2. Notify the local law enforcement office and coroner/medical examiner following applicable Commonwealth statute(s).
3. Protect the remains from any harm.
4. The GM shall be responsible for notifying the SHPO within twenty-four (24) hours of identifying human remains.

4. PROFESSIONAL QUALIFICATIONS

The Monitor must meet the minimum Secretary of the Interior Professional Qualifications Standards for Archaeology established in 36CFR Part 61. These are: a graduate degree in archaeology, anthropology, or closely related field, plus at least one (1) year of full-time professional experience or equivalent specialized training in archaeological research, administration, or management; at least four (4) months of supervised field and analytic experience in general Puerto Rican archaeology; the demonstrated ability to carry research to completion; and at least one (1) year of full-time professional experience at a supervisory level in the study of archaeological resources of the pre-Columbian and colonial periods. Please see https://www.nps.gov/history/local-law/arch_stnds_9.htm for more information.

The SOI-qualified archaeologist shall not defer their monitoring responsibilities to any other person who does not meet the minimum professional qualifications. Any additional personnel to intervene in monitoring efforts shall have vast experience in historic archaeology, in working in evaluation (Phase II), documentation (Phase III), and monitoring projects dealing with colonial period properties.

The Principal Investigator may not transfer his or her duties, obligations, and responsibilities to subordinates or other technicians who are not professionally trained in archaeology. In the case of hiring archaeologists and trained technicians to assist in archaeological monitoring, the Principal Investigator must be present for at least 25 percent of the duration of the fieldwork to supervise them.

5. CITED REFERENCES

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https://www.nps.gov/history/local-law/arch_stnds_9.html

s/f *Archeology and Historic Preservation: Secretary of the Interior's Standards and Guidelines for Archeological Documentation*.
http://www.cr.nps.gov/local-law/arch_stnds_7.html [Consulted 2/2013]

s/f *Archeology and Historic Preservation: Secretary of the Interior's Standards and Guidelines for Historical Documentation*.
http://www.cr.nps.gov/local-law/arch_stnds_5.html

s/f *Archeology and Historic Preservation: Secretary of the Interior's Standards and Guidelines for Identification*.
http://www.cr.nps.gov/locallaw/arch_stnds_5.html

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1993 *Guía para hacer investigaciones arqueológicas Fases I, II y III*. San Juan: Oficina del Gobernador

United States Geological Survey

APPENDIX A: MONITORING DAILY ACTIVITY SHEET

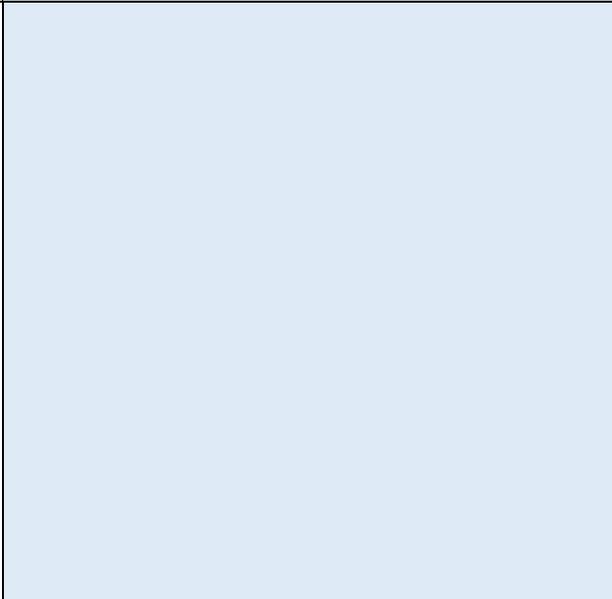
	PUERTO RICO 2017 DISASTER RECOVERY City Revitalization Program ARCHAEOLOGICAL MONITORING DAILY RECORD OF ACTIVITIES
Case ID:	Project Location:
Municipality:	Project Coordinates (lat/long):

SOI Qualified-Archaeologist:
Date of Monitoring: Click or tap to enter a date.
Work Hours:

<u>Description of work performed by contractor and supervised by the Monitor:</u>		
--	--	--

	YES	NO
Are the project activities conforming to the LIDRS? If not, explain below.	<input type="checkbox"/>	<input type="checkbox"/>
Was an archaeological remain documented during the day. If yes, include required information below.	<input type="checkbox"/>	<input type="checkbox"/>
Was an exceptional archaeological remain identified during the day? If yes, explain below.	<input type="checkbox"/>	<input type="checkbox"/>
Have the construction activities affected a previously unidentified property or a known historic property in an unanticipated manner? If yes, explain below.	<input type="checkbox"/>	<input type="checkbox"/>
Has there been a change in the scope of work of the project? If yes, explain below.	<input type="checkbox"/>	<input type="checkbox"/>

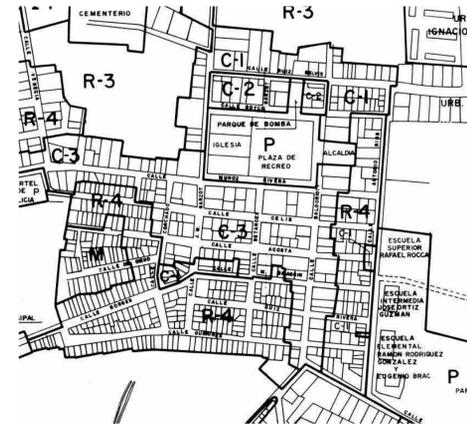
	<p>PUERTO RICO 2017 DISASTER RECOVERY City Revitalization Program ARCHAEOLOGICAL MONITORING DAILY RECORD OF ACTIVITIES</p>
<p>Case ID:</p>	<p>Project Location:</p>
<p>Municipality:</p>	<p>Project Coordinates (lat/long):</p>

<p>Site Photos</p>	
<p>Direction of Photo: Click here to enter text. Description: Click here to enter text.</p>	
<p>Direction of Photo: Click here to enter text. Description: Click here to enter text.</p>	

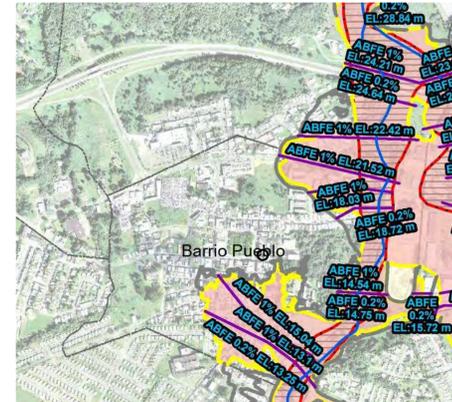
APPENDIX B: 60% DESIGN PLANS



LOCATION PLAN
X: 273926.9318 Y: 242010.4285



MAPA DE ZONIFICACION DE NAGUABO
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VIGENCIA: 8 DE AGOSTO DE 2003



FLOOD MAP PANEL
ZONE X
72000C1280J
VIGENCIA: 13 DE ABRIL DE 2018

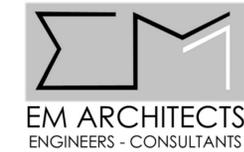


MUNICIPIO DE NAGUABO
HON. MIRAILIZ ROSARIO PAGÁN

PLAZA DE RECREO DE NAGUABO

NAGUABO, PR

PLANOS PRELIMINARES
7/NOVIEMBRE/2023



DRAWING INDEX

SHEET NUMBER	SHEET NOMENCLATURE	SHEET NAME
01	T100	TITLE SHEET
02	C-2	PLANO AS-BUILT
03	DS101	DEMOLITION SITE PLAN
04	G100	DEMOLITION RESTORATION NOTES
05	SA000	AXONOMETRIC VIEW
06	SA001	PERSPECTIVES
09	SA101	GENERAL SITE PLAN
10	SA102	ARCHITECTURAL SITE PLAN
14	SA301	TRANSVERSAL SECTIONS
16	SA401	PARTIAL SECTIONS
17	SA-501	ENLARGED VIEW- 1
18	SA-502	ENLARGED VIEW- 2
19	SA-503	ENLARGED VIEW- 3
20	SA-504	ENLARGED VIEW- 4
21	SA-601	MONUMENTS RESTAURATION AND DETAILS
22	SA-602	NEW GAZEBO NERI AND NEW LIGHTING POST - ARCHITECTURAL FLOOR PLAN
23	SA-603	ARCHITECTURAL WOODEN PERGOLAS
25	A000	NOTES & GENERAL LEGEND
26	A700	FURNITURE DETAILS
27	A701	FOUNTAIN RESTAURATION
28	ST-101	FOUNDATION PLAN
29	ES-101	ELECTRICAL SITE PLAN
30	E-000	ELECTRICAL LEGEND AND NOTES

CONTRACTOR NOTES:

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED SO THAT PROPER CORRECTIONS ARE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS AND/OR OMISSIONS.
- ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ARCHITECT ARE THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH THEY WERE EXPRESSLY DESIGNED.
- IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THE ARCHITECT, THE PERSON SO DOING WILL BE INDEBTED TO THE ARCHITECT FOR HIS FULL COMMISSION.
- CONTRACTOR SHALL NOT USE FOR CONSTRUCTION PURPOSES ANY DRAWINGS THAT WERE ADVANCED TO HIM PRIOR TO THE START OF CONSTRUCTION. ALL PLANS BEING USED BY CONTRACTOR SHOULD BEAR A STAMP WITH THE LABEL: "FOR CONSTRUCTION ONLY" SIGNED BY ARCHITECT.
- GENERAL CONTRACTOR SHALL FIELD SURVEY LOCATION AND VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE TENANT AND ARCHITECT.
- GENERAL CONTRACTOR SHALL COMPLETE ALL WORK AS INDICATED ON THESE PLANS UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR SHALL OBTAIN PERMITS, APPROVALS, INSPECTIONS, CERTIFICATE FOR COMPLIANCE AND CERTIFICATE OF OCCUPANCY AS REQUIRED, UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR SHALL CHECK IN WITH AND COORDINATE ALL WORK WITH THE LANDLORD'S PROJECT PERSONNEL.
- GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY POWER, LIGHT AND TELEPHONE IN ACCORDANCE WITH LANDLORD'S AND TENANTS REQUIREMENTS.
- GENERAL CONTRACTOR SHALL REMOVED ALL THESE ITEMS AT THE COMPLETION OF WORK OR AS REQUIRED.
- GENERAL CONTRACTOR SHALL HAVE TENANT'S SPACE CLEANED UPON COMPLETION OF WORK BY A PROFESSIONAL CLEANING SERVICE.
- GENERAL CONTRACTOR SHALL MAINTAIN ON SITE AT ALL TIMES, ALL APPROVED DRAWINGS INCLUDING ALL REVISIONS AND ADDENDA.
- GENERAL CONTRACTOR SHALL HAVE AT ALL TIME IN SITE OFFICE COPY OF ALL ENDORSEMENTS AND PERMITS OF THE PROJECT AT A VISIBLE PLACE.

THIS DOCUMENT AND ALL INFORMATION, DESIGN, CONCEPTS, DRAWINGS, DETAILS, SPECIFICATIONS AND GENERAL NOTES CONTAINED HEREIN ARE THE EXCLUSIVE PROPERTY OF EM ARCHITECTS. IT SHALL NOT BE COPIED OR TRANSMITTED IN ANY FORM OR BY ANY ELECTRONIC MEANS WITHOUT THE WRITTEN PERMISSION OF ARG. EL MARIANO MARTINEZ, AIA. THIS DOCUMENT IS TO BE USED AS A WORKING INSTRUMENT ONLY BY AUTHORIZED PERSONNEL.

ARCHITECT:

CONSULTANT:

CERTIFIED BY:

REVISION / DATE / DESCRIPTION

PROJECT

CLIENT

PROJECT #

SCALE

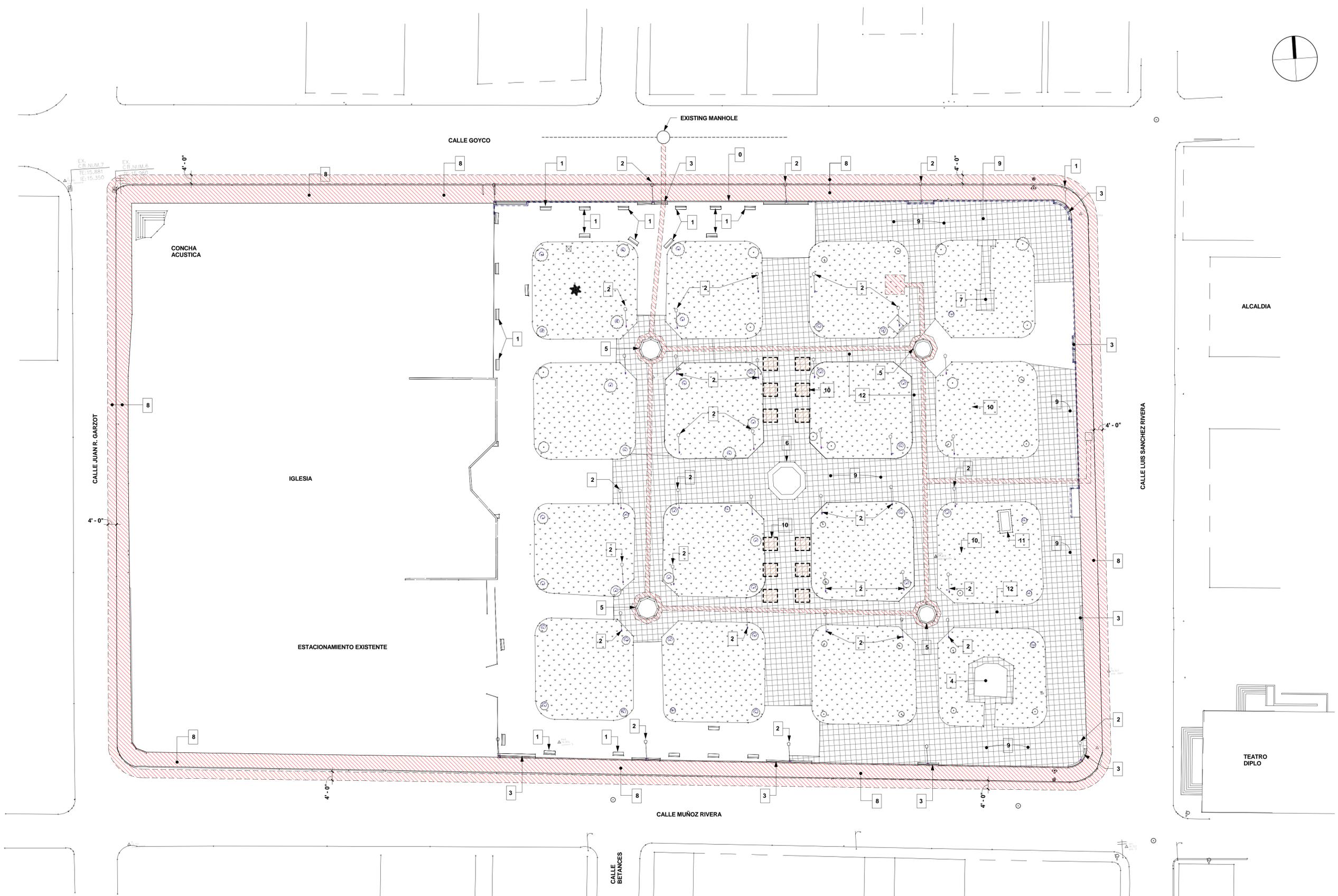
DRAWN BY

DEMOLITION SITE PLAN

TITLE

SHEET

DS101



1 DEMOLITION SITE PLAN
 1 : 250

DEMOLITION LEGEND

 TO BE DEMOLISHED

DEMOLITION KEYNOTE LEGEND:

- | | | |
|--|---|--|
| <p>1 ALL EXISTING BENCHES TO BE REMOVED AND RETURNED TO THE MUNICIPALITY</p> <p>2 ALL EXISTING LIGHT POSTS TO BE REMOVED AND RETURNED TO THE MUNICIPALITY</p> <p>3 ALL EXISTING STAIRS TO BE DEMOLISHED</p> <p>4 EXISTING STATUE TO BE CLEANED</p> <p>5 EXISTING FOUNTAIN TO BE CLEANED AND REPAIRED</p> | <p>6 EXISTING FOUNTAIN TO BE CLEANED AND REPAIRED</p> <p>7 EXISTING STATUE TO BE CLEANED</p> <p>8 ALL EXISTING TILES ON SIDEWALKS TO BE REMOVED AND EXISTING CURBS TO BE REPAIRED AND PINTED AROUND THE PLAZA BLOCK</p> <p>9 EXISTING GRANITE TO BE REMOVED AND RETURNED TO THE MUNICIPALITY (23,613 SQ. FT.)</p> <p>10 IMPACTED AREA WHERE EXCAVATION IS REQUIRED (2365 SQ. FT.)</p> | <p>11 EXISTING UTILITY BOX TO REMAIN</p> <p>12 EXISTING CONCRETE SLAB TO BE DEMOLISHED</p> <p>13 PARTIAL SLAB TO BE DEMOLISHED</p> |
|--|---|--|

PLAZA DE RECREO DE NAGUABO
 NAGUABO, PR
 MUNICIPIO DE NAGUABO

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ARCHITECT:

CONSULTANT:

DESIGNED BY:

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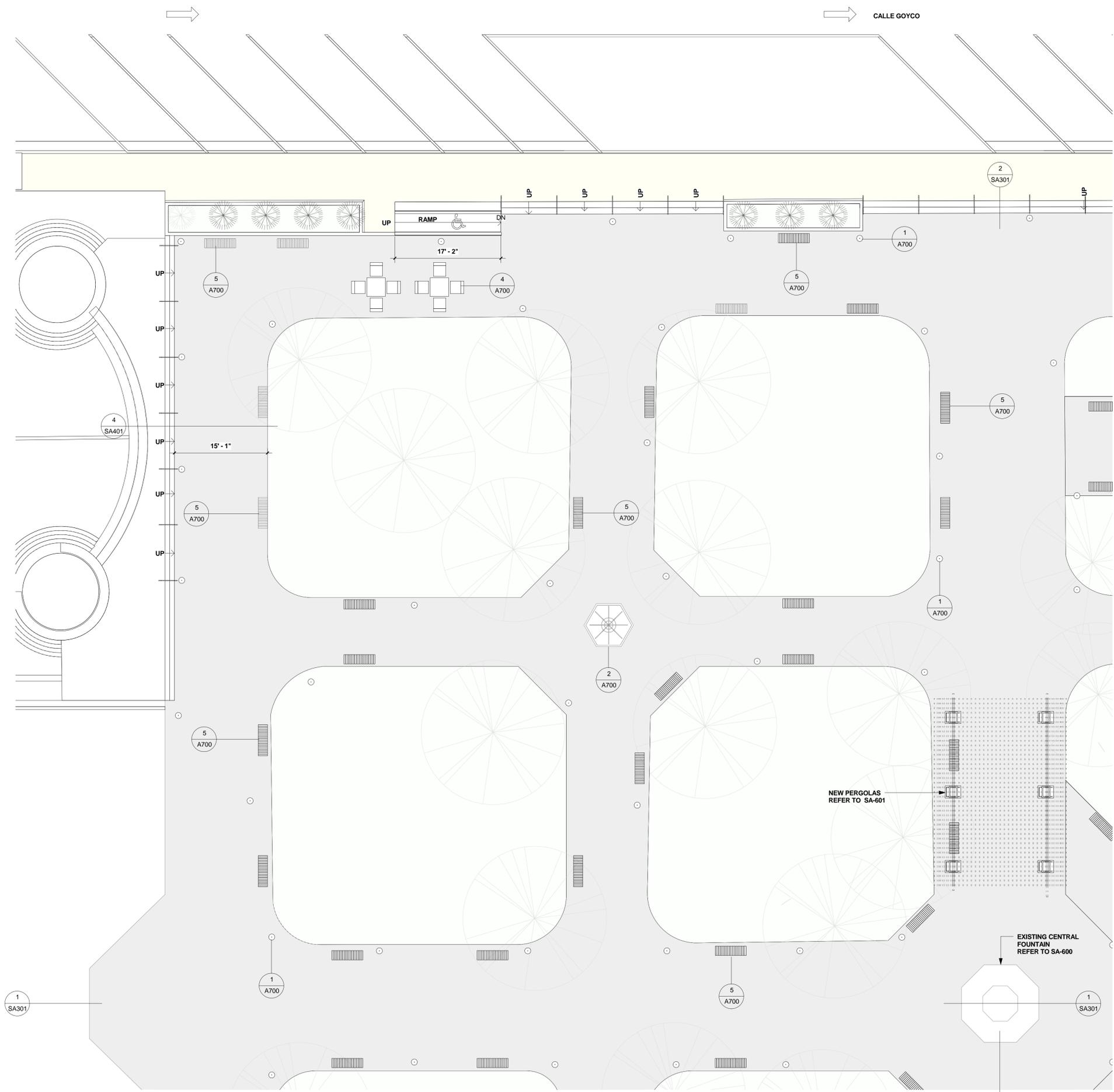
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PROJECT #:



1 ENLARGED VIEW - 2
1/8" = 1'-0"



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ARCHITECT:

CONSULTANT:

CERTIFIED BY:

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PROJECT: **PLAZA DE RECREO DE NAGUABO**
 NAGUABO, PR
 CLIENT: **MUNICIPIO DE NAGUABO**

PROJECT #: 53-002
 SCALE: 1/8" = 1'-0"
 DRAWN BY: Author

ENLARGED VIEW - 2

TITLE: **SA-502**

SHEET

ARCHITECT:

CONSULTANT:

CERTIFIED BY:

REVISION / DATE / DESCRIPTION

PROJECT #

SCALE

DRAWN BY

MONUMENTS RESTAURATION AND DETAILS

TITLE

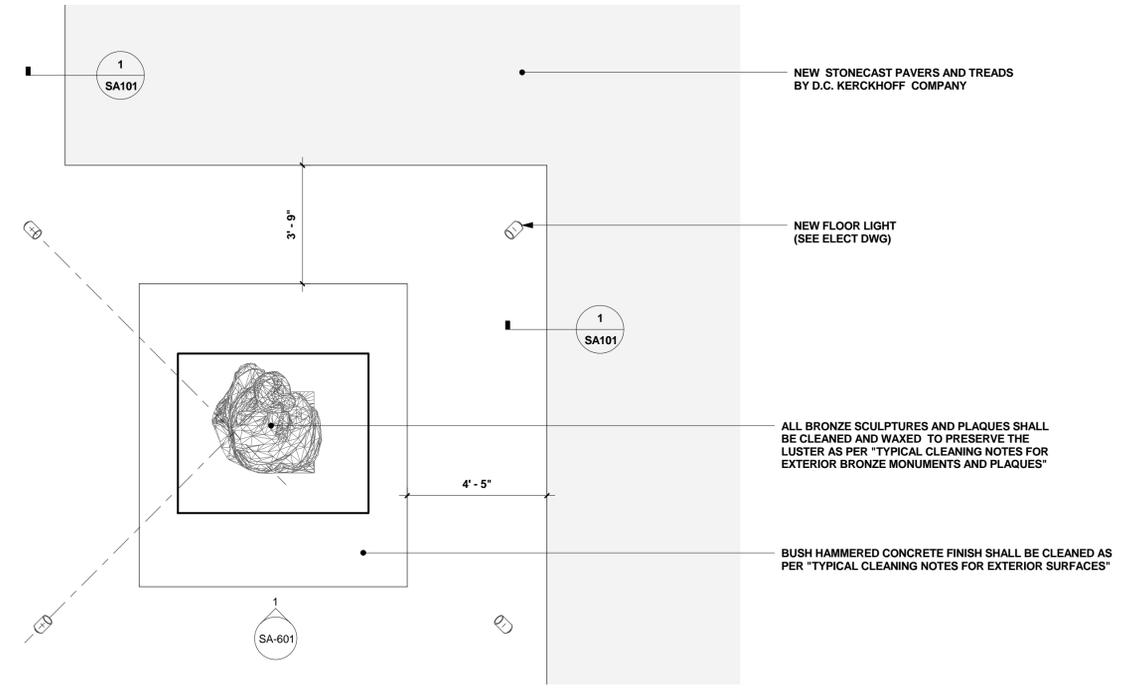
SA-601

SHEET

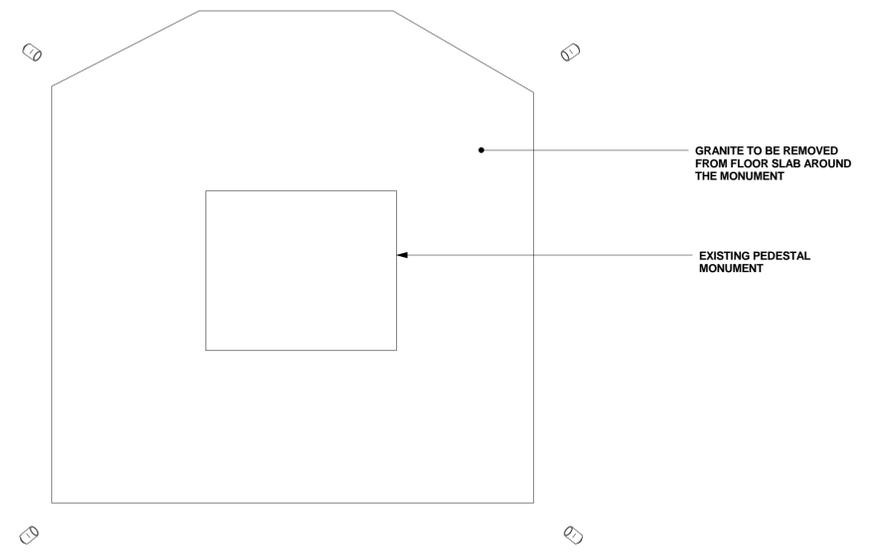
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NAGUABO, PR

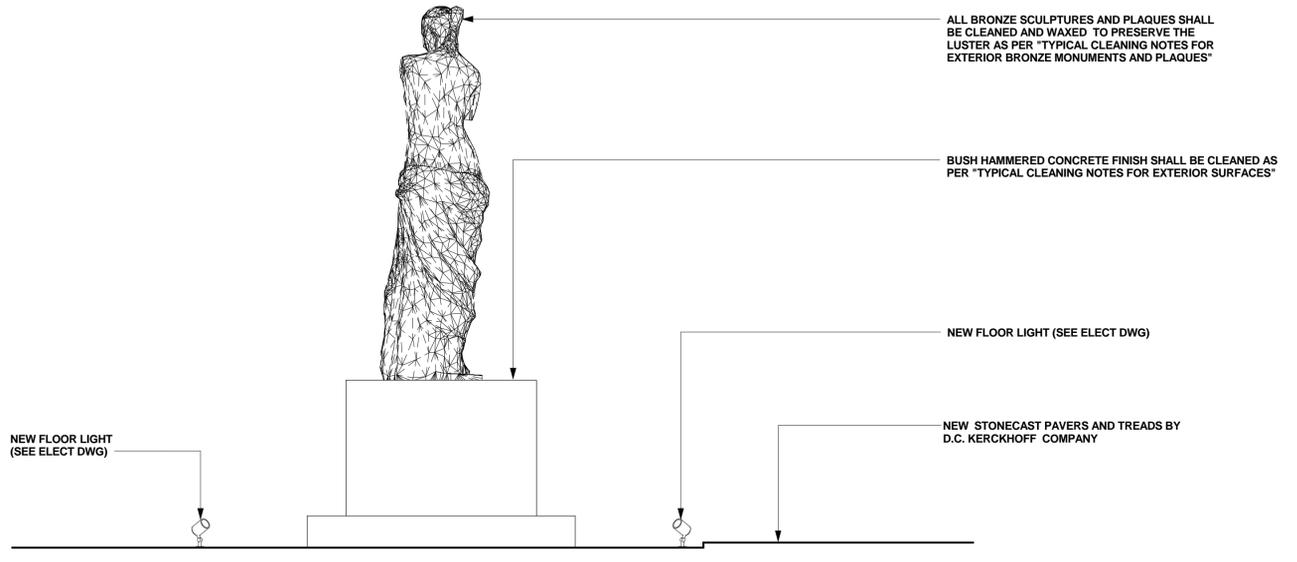
MUNICIPIO DE NAGUABO



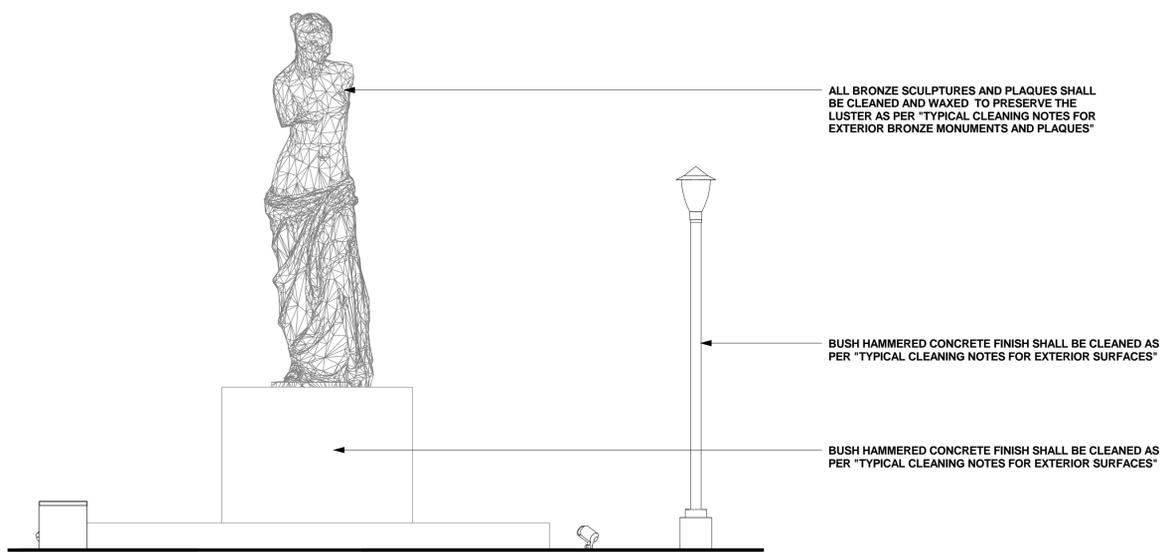
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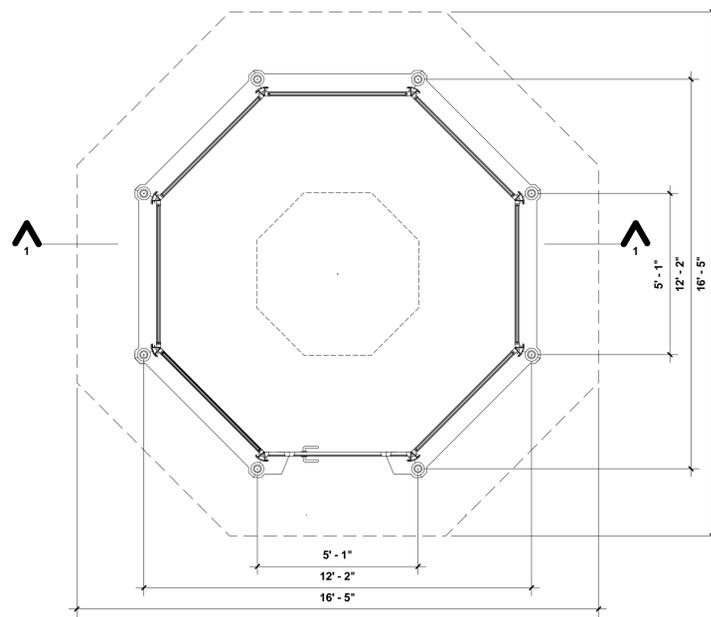
④ MONUMENT 2
 3/8" = 1'-0"



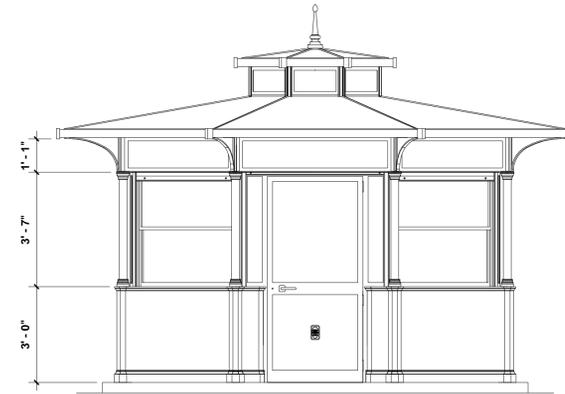
① ELEVATION - MONUMENT 1
 3/8" = 1'-0"



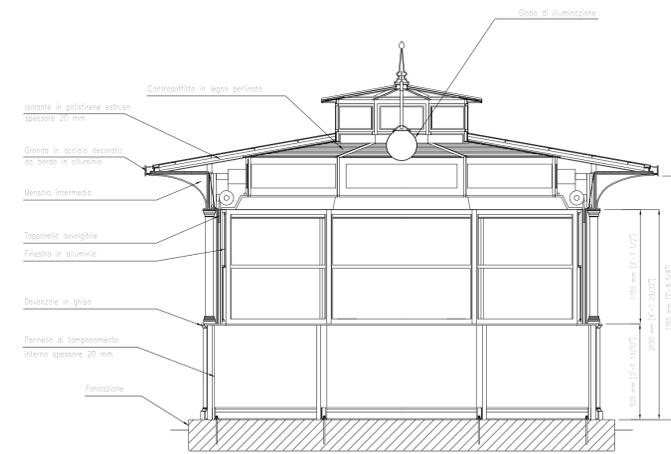
② ELEVATION - MONUMENT 2
 3/8" = 1'-0"



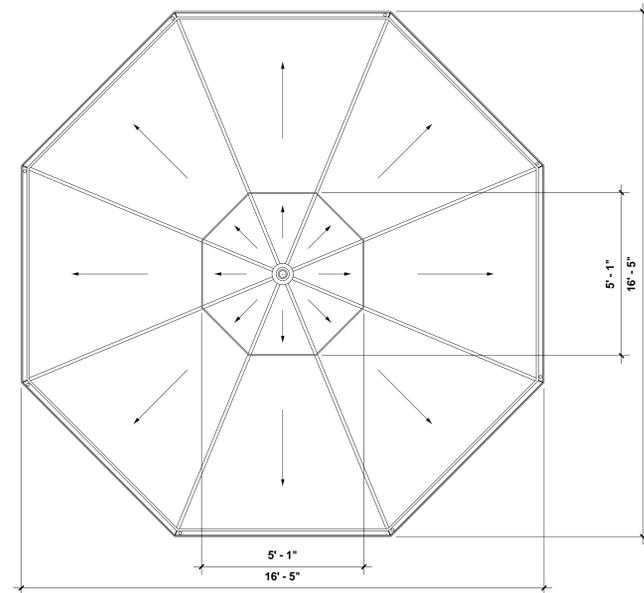
1 ARCHITECTURAL FLOOR PLAN - NERI
KIOSKS
3/8" = 1'-0"



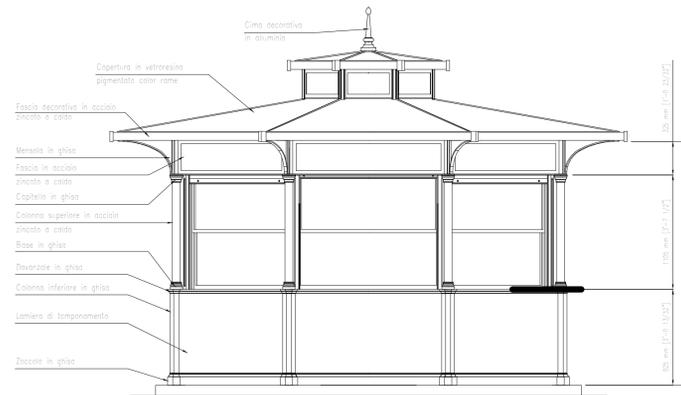
3 ARCHITECTURAL ELEVATION -1 - NERI
KIOSKS
3/8" = 1'-0"



5 ARCHITECTURAL SECTION - 1 - NERI
KIOSKS
3/8" = 1'-0"

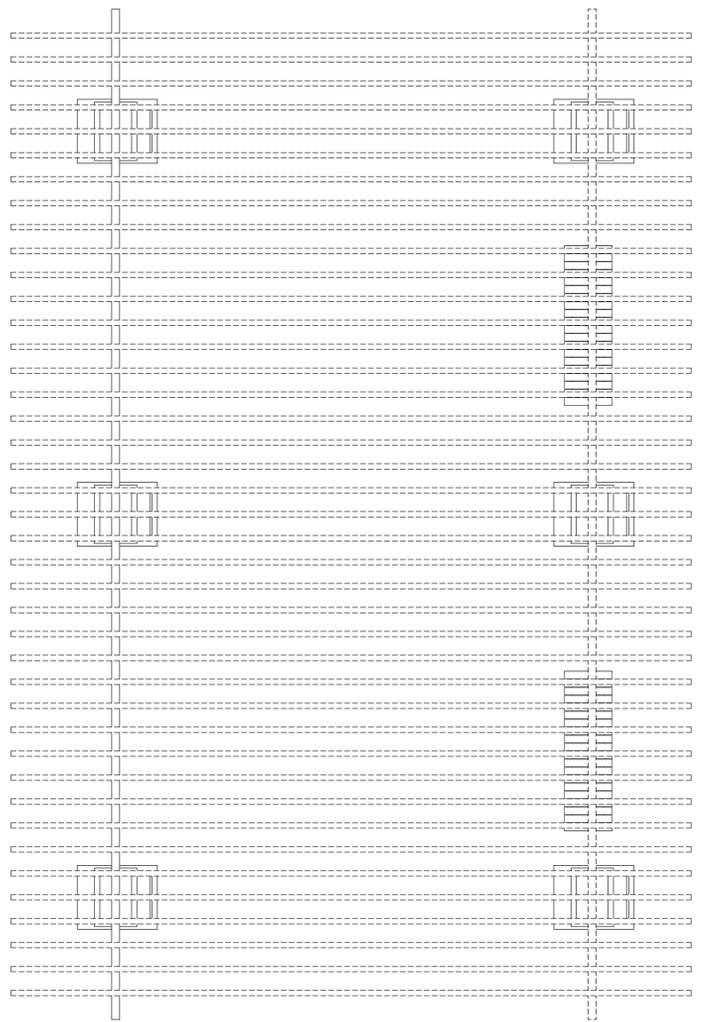


2 ARCHITECTURAL ROOF PLAN - NERI
KIOSKS
3/8" = 1'-0"

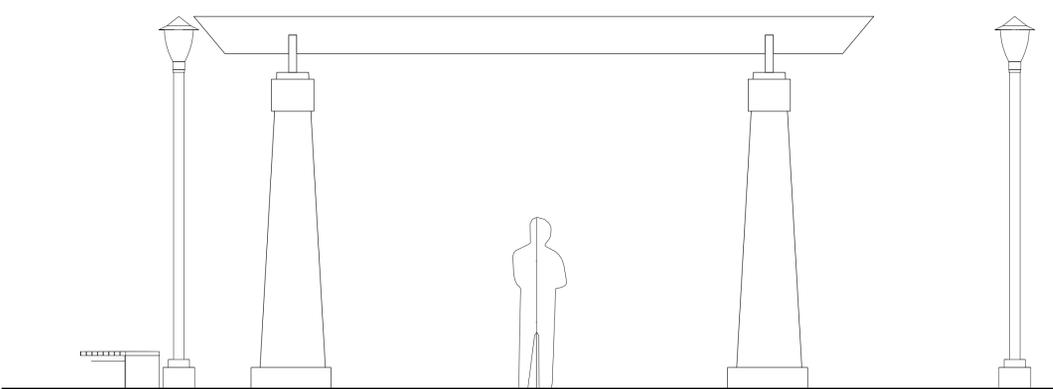


4 ARCHITECTURAL ELEVATION -2 - NERI
KIOSKS
3/8" = 1'-0"

SA-603
2

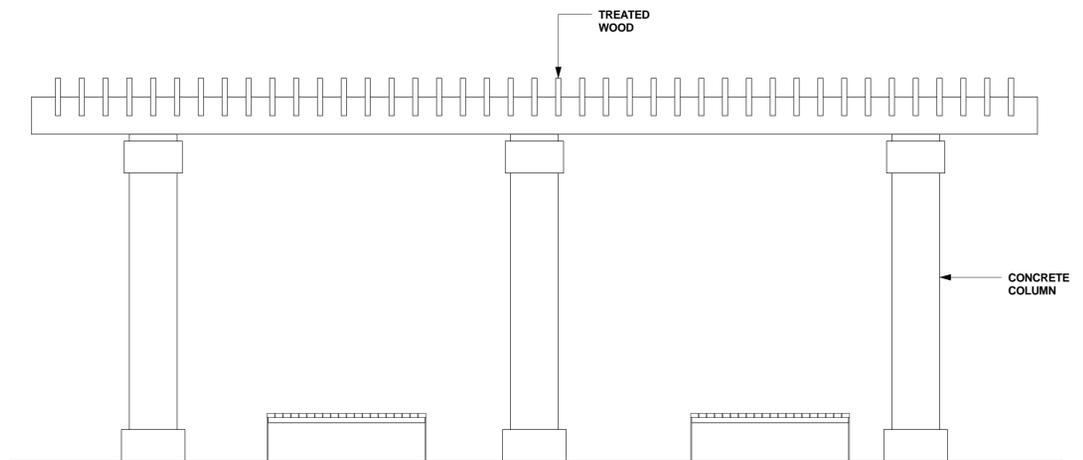


1 ARCHITECTURAL WOODEN PERGOLAS
3/8" = 1'-0"

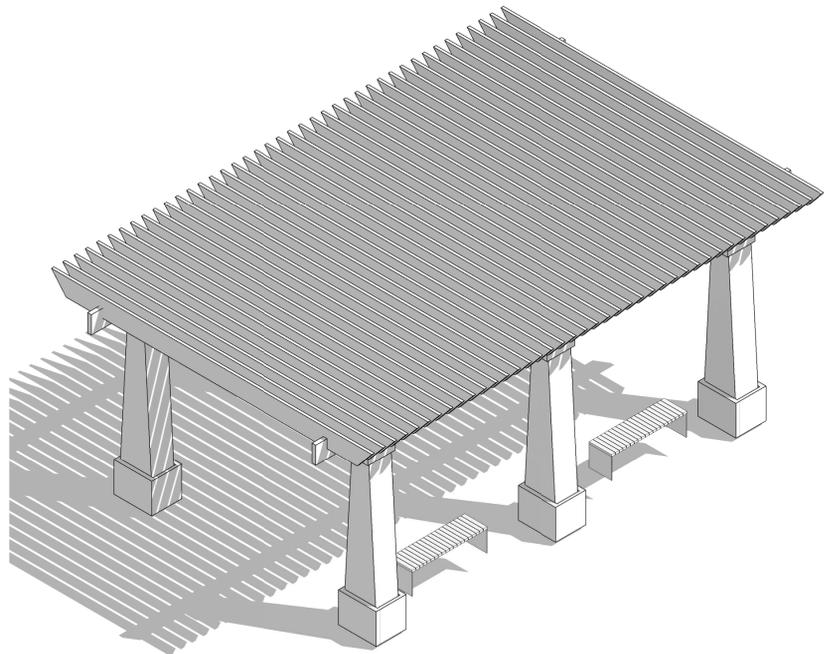


2 ELEVATION - A - WOODEN PERGOLAS
3/8" = 1'-0"

SA-603
3



3 ELEVATION - B - WOODEN PERGOLAS
3/8" = 1'-0"



4 PERGOLAS 3D VIEW

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 CONSULTANT:
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PROJECT: **PLAZA DE RECREO DE NAGUABO**
 NAGUABO, PR
 CLIENT: **MUNICIPIO DE NAGUABO**

PROJECT #: 53-002
 SCALE: 3/8" = 1'-0"
 DRAWN BY: Author

ARCHITECTURAL
 WOODEN
 PERGOLAS

TITLE: **SA-603**
 SHEET



GOVERNMENT OF PUERTO RICO

STATE HISTORIC PRESERVATION OFFICE

Executive Director | Carlos A. Rubio-Cancela | carubio@prshpo.pr.gov

Thursday, November 30, 2023

Lauren Bair Poche

HORNE- Architectural Historian Manager
10000 Perkins Rowe, Suite 610 Bldg. G
Baton Rouge, LA 70810

SHPO: 10-02-23-02 PR-CRP-000544 REHABILITACION Y MEJORAS EN LA PLAZA PUBLICA DE NAGUABO Y SUS ALREDEDORES, ESQ. CALLE GOYCO Y GARZOT, NAGUABO, PUERTO RICO

Dear Ms. Poche,

Our Office has received and reviewed the information submitted for the above referenced project in accordance with 54 USC 306108 (commonly known as Section 106 of the *National Historic Preservation Act, as amended*) and 36 CFR Part 800: *Protection of Historic Properties* from the Advisory Council on Historic Preservation.

After a review of all the documentation, the SHPO agrees with your finding that the proposed project with the established condition, will have **no adverse effect** upon historic properties:

- 1. Archaeological monitoring should be conducted during all ground disturbing activities and the preparation of an archaeological monitoring plan to be submitted for our review and approval.*

Please note that should the Agency discover other historic properties at any point during project implementation, you should notify the SHPO immediately. If you have any questions concerning our comments, do not hesitate to contact our Office.

Sincerely,

Carlos A. Rubio-Cancela
State Historic Preservation Officer

CARC/GMO/MB/MDT





October 20, 2022

Arch. Carlos A. Rubio Cancela

Executive Director

State Historic Preservation Officer

Cuartel de Ballajá Bldg.

San Juan, Puerto Rico

Re: Authorization to Submit Documents

Dear Arch. Rubio Cancela:

The U.S. Department of Housing (HUD) approved the allocations of Community Development Block Grant (CDBG-DR) funds on February 9, 2018. It also approved the allocation of Community Development Block Grant Mitigation (CDBG-MIT) funds on January 27, 2020. The purpose of these allocations is to address unsatisfied needs as a result of Hurricanes Irma and Maria in September 2017; and to carry out strategic and high-impact activities to mitigate disaster risks and reduce future losses.

To comply with the environmental requirements established by HUD, the Department of Housing of Puerto Rico (PRDOH) contracted Horne Federal LLC to provide environmental registry review services, among others, that will support the objectives of the agenda for both CDBG-DR and CDBG -MIT Programs.

In line to expedite the processes, Horne Federal LLC, is authorized to submit to the State Historic Preservation Officer, documentation of projects related to both the CDBG-DR and CDBG-MIT on behalf of PRDOH.

Cordially,

Juan C. Pérez Bofill, P.E. M.Eng

Director of Disaster Recovery

CDBG DR-MIT

November 10, 2023

Carlos A. Rubio Cancela
State Historic Preservation Officer
Puerto Rico State Historic Preservation Office
Cuartel de Ballajá (Tercer Piso)
San Juan, PR 00902-3935

Puerto Rico Disaster Recovery, CDBG-DR City Revitalization (City-Rev) Program

SHPO 10-02-23-02, Section 106 Revised NHPA Effect Determination Submittal for PR-CRP-00544: Rehabilitación y Mejoras en la Plaza Pública de Naguabo y Sus Alrededores Project, Naguabo, Puerto Rico – *No Adverse Effect, Conditioned* – Submittal of Updated Design Plans

Dear Architect Rubio Cancela,

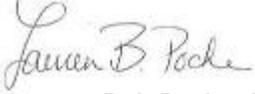
On behalf of the Puerto Rico Department of Housing (PRDOH), and the Municipality of Naguabo, we thank you for your letter dated November 1, 2023, in referenced to the proposed Rehabilitación y Mejoras en la Plaza Pública de Naguabo y Sus Alrededores Project. In that letter, your office requested a meeting to discuss the entirety of the proposed undertaking with the designers of EM Architects Engineers and Consultants due to the submitted information and the complexity of the proposed restoration of the plaza.

Based on the meeting that occurred on Tuesday, November 7 at your offices, we are submitting the updated design plans which were presented during that discussion. The updated designs continue to consist of improvements to the main town plaza which will include, but are not limited to, new stairs, ramps, ADA ramps, planting areas, flooring, tree plantings, two kiosks, a pergola, new parking configuration around the plaza, and fountain restorations. The full scope of the project is described in detail within the submitted revised documentation, which includes mapping, photographs, and the updated 60% design plans.

Based on the provided documentation, the Program requests a concurrence with a determination that no adverse effect to historic properties is still appropriate for this undertaking, conditioned to archaeological monitoring to be conducted during ground disturbing activities and the submission of a work plan for review and approval.

Please contact me with any questions or concerns by email at lauren.poche@horne.com or phone at 225-405-7676.

Kindest regards,

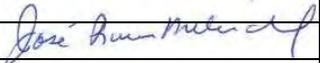


Lauren Bair Poche. M.A.

Architectural Historian, EHP Senior Manager

Attachments

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CITY-REV) Section 106 NHPA Effect Determination		
Subrecipient: Municipality of Naguabo		
Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.		Project ID: PR-CRP-000544

Project Location: Esq. Calle Goyco y Garzot, Naguabo	
Project Coordinates: Lat: 18.21203100, Lon: -65.73509116	
TPID (Número de Catastro): 256-013-014-02	
Type of Undertaking: <input checked="" type="checkbox"/> Substantial Repair <input type="checkbox"/> New Construction	
Construction Date (AH est.): 1820	Property Size (acres): 1.71767acreage
SOI-Qualified Archaeologist: José Rivera Meléndez	
Date Reviewed: November 7, 2023	
SOI-Qualified Architect: Eli M. Martínez Beléndez	
Date Reviewed: November 7, 2023	

In compliance with Section 106 of the National Historic Preservation Act (NHPA), the Program is responsible for identifying historic properties listed in the NRHP and any properties not listed that would be considered eligible for listing that are located within the geographic area of potential effects (APE) of the proposed project and assessing the effects of its undertakings on these historic properties.

Project Description (Undertaking)

The Municipality of Naguabo owns the public square (*plaza*) which was originally built in 1820 when the municipality was established.¹ The *plaza* marks the traditional urban center. It is facing the City Hall to the east and the Nuestra Señora del Rosario Church to the west.

The *plaza* has five fountains and bronze statues in the northeast and southeast corners. There are no sources identifying the exact date of construction of the four smaller fountains. The main fountain in the center was documented in photos *circa* 1915.² The main fountain in the center is to be restored and repaired. The four (4) smaller fountains located in the center of the plaza's quadrants are in poor condition and will be replaced.

The plaza itself is elevated approximately sixteen (16) inches on the north side and fourteen (14) inches on the south side. The proposed project includes the construction of new stairs, railings, and ramps to

¹ Rosario Natal, Carmelo. *Historia de Naguabo (Primera Parte) Orígenes, fundación y primeros tiempos: 1511-1825*. Cited on Schlafer, Ethel V. *Archeological Evaluation Phase I, Remodeling of the Town Plaza, Naguabo, Puerto Rico*. October 1998.

² Sepúlveda Rivera, Anibal. 2008. *Puerto Rico Urbano: Atlas Histórico de la Ciudad Puertorriqueña*. San Juan: Ediciones Carimar. Vol. 3, p. 283.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CITY-REV) Section 106 NHPA Effect Determination	 <small>GOVERNMENT OF PUERTO RICO DEPARTMENT OF HOUSING</small>
Subrecipient: Municipality of Naguabo	
Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.	Project ID: PR-CRP-000544

provide accessibility for wheelchairs. The existing sidewalk, concrete curb, and swale will be demolished and reconstructed to incorporate new ramps. Additionally, new planting areas will be constructed between the new sidewalk and the plaza's border. The sixteen (16) existing gardens will remain the proposed design, and new concrete floor tiles will be installed throughout the plaza.

Visual distinctions using different materials will differentiate new paved areas within the gardens, preserving a visual record of the original plaza's existing design. There will be no removal of trees in the proposed design and new trees to be planted in the corners of various gardens to align with historical photographs.

The *plaza* has a total paved area of thirty-nine thousand, two hundred and thirty (39,230) square feet. In a significant portion of the *plaza*, granite tiles were initially installed, but this installation was left incomplete, resulting in a substantial area of the *plaza* having an exposed concrete slab and an undesired change in floor level at the installation's borders. There is no documented history of this intervention, and it currently remains unfinished. Approximately twenty-three thousand six hundred fifteen (23,615) square feet of granite will be carefully removed and returned to the Municipality. Existing stairs around the *plaza*, which do not meet current code compliance and lack wheelchair access ramps, will be demolished. All benches and light posts will be carefully removed and returned to the Municipality as well.

Additionally, the proposed project includes the construction of two (2) new kiosks in the northeast and southeast quadrants of the *plaza*. New electrical and plumbing facilities will be installed for both the kiosks and the existing fountains. A new pergola is planned for the north and south sides of the central fountain, while the four (4) smaller fountains will be replaced, along with the necessary plumbing and electrical facilities for their operation. The central fountain will be restored.

Ground disturbances will be limited to specific areas, including those around the proposed kiosks to accommodate plumbing and electrical facilities, the *plaza's* border for the construction of new stairs and ramps, and areas designated for new electrical and plumbing piping for the fountains and light posts. All demolition activities will adhere to a depth limit of three (3) feet.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CITY-REV) Section 106 NHPA Effect Determination	 GOVERNMENT OF PUERTO RICO DEPARTMENT OF HOUSING
Subrecipient: Municipality of Naguabo	
Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.	Project ID: PR-CRP-000544

Furthermore, the project proposes a new parking configuration around the *plaza*, resulting in twenty-four (24) parking spaces, including three (3) designated for handicapped access. Additionally, new loading areas are designated for businesses surrounding the *plaza*, and a space for a small public transportation (trolley) stop is planned for the northeast side.

Area of Potential Effects

Based on the definition of Area of Potential Effects (APE) and the nature and scope of the Undertaking, the Program has determined that the direct APE for this project is 1.71767 acreage, and the visual APE is the view shed of the proposed project.

Refer to Figure 1 for the aerial map illustrating the APE. The project is within the boundaries of the National Register of Historic Places (NRHP) in the Naguabo Traditional Urban Center as defined by the State Historic Preservation Office (SHPO). Refer to Figure 2 for the aerial map illustrating the Naguabo Traditional Urban Center's limits with APE.

The boundaries of the APE are as follows: on the north with Goyco Street, on the east side with Baldorioty Street, on the south with Luis Munoz Rivera Street, and the west with Nuestra Senora del Rosario Church, an outdoor theater (*concha acústica*), and a parking lot. The description of the APE boundary is as follows: On the north is Goyco Street, on the east side is Baldorioty Street, on the south is Luis Munoz Rivera Street, and on the west is Nuestra Senora del Rosario Church, an outdoor theater (*concha acústica*) and a parking lot. The main entrance to the Church occurs on the west side of the *plaza* and is on the same axis as the central fountain. The Church is a registered historic site within the boundaries of the NRHP in the Naguabo Traditional Urban Center as defined by SHPO. Refer to Figure 2 for the aerial map illustrating the Naguabo Traditional Urban Center's limits with Project APE. Refer to Figure 9 for images of the APE's borders.

Identification of Historic Properties – Archaeology

Existing information on previously identified historic properties has been reviewed to determine if any such properties are located within the APE of this Undertaking. The review of this existing information by a Program contracted Historic Preservation Specialist meeting the Secretary of the Interior's Professional Qualification Standards (36 CFR Part 61) shows that the project area is directly adjacent

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CITY-REV) Section 106 NHPA Effect Determination		
Subrecipient: Municipality of Naguabo		
Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.		Project ID: PR-CRP-000544

to the Nuestra Señora del Rosario Church (#1 Figure 1) which is in the National Register of Historic Places (NRHP), and 0.01 miles south of the Insular Fires Service Station (currently a Police Station), 0.01 miles south of the Lodge *Caballeros del Bien*, 0.01 miles west of the City Hall, 0.01 miles of the Municipal Theater, 0.01 miles from the commercial building located on the corner of Baldorioty and Luis Muñoz Rivera Street, 0.04 miles east from of a residence now occupied by a financial local institution (Banco Popular; #7 Figure 1) and 0.11 miles east of the municipal cemetery which is also listed as eligible to be included in the NRHP. For images of buildings surrounding the *plaza* refer to Figures 4 & 4A.

The methodology used to produce this report began by identifying all archeological studies performed around the APE. The following is a list of previous archeological research reviewed. The studies and their relation to the APE are referenced in the aerial map provided in Figure 7.

Table 1. Cultural Resource Studies conducted within quarter-mile radius of Project Area

Author	Title	Year	SHPO/IPRC ID	Results	Distance From APE
1. Maria A. Cashion Lugo	Archeological Evaluation Phase 1A for Ralph's Food Warehouse Project, PR Road 31, KM 3.6, <i>Barrio El Duque</i> , Naguabo, Puerto Rico	4/2002	NG-02-06-02	Negative	0.21 miles NW
2. Juan González Colón	Archeological Evaluation [Phase IA], Naguabo High School Project, Naguabo, Puerto Rico.	1/1994	NG-94-02-07	Negative	0.16 miles SW
3. Juan González Colón	Archeological Evaluation (Phases IA-IB), Naguabo Central Housing Apartments, Municipality of Naguabo.	8/1992	SHPO 08-13-92-01	Negative	0.11 miles W
4. Iván F. Méndez Bonilla	Evaluation of Cultural Resources Phase IA, Project: <i>El Hogar Adventista</i> , Antonio Rios St. 6, <i>Barrio Pueblo</i> , Naguabo, PR	1/2008	NG-08-11-01	Negative	0.02 miles E
5. Ethel V. Schlafer Román	Archeological Evaluation Phase I, Remodeling of the Town <i>Plaza</i> , Naguabo, Puerto Rico.	10/1998	NG-98-04 SHPO 04-14-99-11	Positive	0.00 miles

The table above is an inventory consisting of five (5) archaeological studies conducted within the 0.25-mile radius from the APE. The archeological studies were developed for different purposes in the span of over 20 years (1988 to 2008). The intention was to identify sites of archaeological value. Figure 7 shows an aerial map with the locations of prior investigations conducted on properties surrounding the APE). The description of the studies and their respective conclusions (marked in bold) were as follows:

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The following are the translated Revised Studies:

1. **Cashion Lugo, María A. Archaeological Evaluation Phase 1A for Ralph's Food Warehouse Project, PR Road 31, KM 3.6, Barrio El Duque, Naguabo, Puerto Rico. April 30, 2002. NG-02-06-02**

Location/Description:

"The project of reference is located in *Barrio El Duque*, which is located in the Municipality of Naguabo, Road PR-31, Km. 3.6. The Lambert coordinates are X=225,905 Y=42,615. The total area of the plot is 1.8023 or 7,083.7356 square meters. The construction and development of the property is summarized as follows:

- Supermarket (RFW) 38,552.00 square feet
- Profitable Space #2 3,515.00 square feet
- Profitable Space #1 8,325.00 square feet
- Promenade 5,335.00 square feet
- Loading and Unloading 982.50 square feet".

The project's objective is the development of a supermarket with a building made of steel and a parking area using the existing building.

Conclusions/ Recommendations:

"The area to be developed didn't show any evidence of pre-Hispanic nor historical materials on the surface that could be considered to be originally in the property. The property has been refilled, particularly the area that will be used as a parking lot. The existing facilities will not be demolished but extended through constructing an annexed building in the front and back areas, made of steel beams."

"The results of the archive investigation and a field visit were negative regarding significant materials on the surface. "We can then conclude, based on the previously mentioned results, that the area to be developed for this project has been severely impacted by human action. That said, lots have been cleaned up and severely affected by heavy machinery, and the terrain remains composed of sterile sandy clay with fill." Based on this data, the author requests an endorsement of the proposed project.

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- González Colón, Juan. Archeological Evaluation [Phase IA], Naguabo High School Project, Naguabo, Puerto Rico. January 19, 1994.
 NG-94-02-07**

Localization/Description:

"The lots to be intervened with during the project's construction are located in a section of the urban area of the Municipality of Naguabo." The plot boundaries to be intervened with are as follows: on the north, undeveloped lots; on the east, a residential development; on the south, a section of the *Buenos Aires* Street; and on the west, undeveloped lots.

It has an approximate area of four (4) *cuerdas*, which is 3.88 acres; its topography is essentially flat with a slight slope on the south side. An intermittent creek with a course that goes from north to southeast is located on the western boundary; the creek receives rainwater and connects various stormwater channels from the urban area. A shallow overflow that originates in the central part of the lot discharges its intermittent flow into the adjoining creek."

Conclusions/Recommendations:

"The documentary investigation and the search or inspection carried out have demonstrated that **no cultural resources exist in the property that will be developed.**" Based on the negative results obtained in Phase 1A, the author requests the endorsement of the project from the corresponding agencies.

- González Colón, Juan. Puerto Rico State Historic Preservation Office/ Juan González Colón. Archeological Evaluation (Phases IA-IB), Naguabo Central Housing Apartments, Municipality of Naguabo. August 12, 1992
 SHPO 08-13-92-01.**

Localization/Description

"The land plot in which the residential project will be developed is located on the northeastern side of the urban center of the Municipality of Naguabo." The boundaries of the lot are the following: on the north, the municipal cemetery, and private lots; on the east, a municipal street; on the south and the east, lots occupied by residences of several neighbors.

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The project to be developed will occupy a stretch of land that measures 2.09 acres; the remaining plot of land of .97 acres will be used for future development. The plot has a total extension of 3.06 acres. The study of archeological evaluation was performed, including this plot in its entirety."

The project contemplates the construction of five housing buildings with one (1), two (2), and three (3) bedrooms. Parking places, passive areas and all the necessary infrastructures will be built. **The documentary investigation and the rigorous field testing have demonstrated a total absence of cultural resources in the plots to be developed."**

The study's author requests the endorsement of SHPO for this project.

4. **Méndez Bonilla, Iván F. Evaluation of Cultural Resources Phase IA, Project: *El Hogar Adventista, Antonio Ríos St. #6, Barrio Pueblo, Naguabo, Puerto Rico. January 21, 2008. NG-08-11-01***

Location/Description:

"The proposed construction project site *El Hogar Adventista* is in front of Antonio Ríos Street in the eastern part of the urban zone of the Municipality of Naguabo, Puerto Rico. The land to be built on has an area of 0.62 *cuerdas* (equal to 2,457.74 square meters). The property is an empty land, and there is no evidence of any previous construction. Adjacent to the land on the north is the Adventist Church; on the west are residential lots, and on the south and east are empty lots."

"The Lambert coordinates of the site are:

X=226,100 E

Y=42,200 N

"The proposed project purpose is the development of residential facilities with 37 social interest apartment units for the elderly and physically handicapped with scarce resources. This project will be a gated community with an entrance on Antonio Ríos Street. The main or vehicular entrance to the project will lead to the main parking area, which includes spaces for twenty-four (24) vehicles and will provide facilities for dropping off and picking up residents. The parking lot is designed in compliance with the requirements established in Topic 9, Section 74.00 of *Reglamento de Zonificación de Puerto Rico*, including two (2) accessible parking spaces designed to comply with local requirements and those established in the *Americans with Disabilities Act*. Pedestrian accesses will connect this area with

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the rest of the project facilities, and appropriate slopes will be designed to allow the circulation of people with mobility difficulties.”

“The project *El Hogar Adventista* contemplates designing and constructing a five-level structure. The first will include one apartment and the administrative and resident services facilities. The remaining four levels will house nine apartments per floor for thirty-seven (37) units. Two elevators and two stairs strategically placed in the building provide the facilities and services the project offers.”

“Besides the administrative facilities, the project will have a social services facility, recreational areas, public restrooms, laundry, and storage areas for the residents. The project will include a potable water cistern with capacity for emergency services for the firefighters and an emergency electric generator with the capacity to supply basic needs for the project and facilities and personnel for maintaining the areas and the facilities.”

Conclusions/Recommendations:

“After concluding the Phase 1A Archeological Evaluation for the proposed project “El Hogar Adventista, the investigation shows that there are **no archeological deposits in the site that should be protected from possible impact since there is no evidence of the site having been occupied in prehistoric or historic eras.**”

“The Phase 1A documentary evaluation did not provide information of a possible site with archeological or historical material and having undertaken the fieldwork without finding any evidence of materials associated with prehistoric or historical cultural groups, we do not request that the studies be extended to the proposed project site, for which we recommend your endorsement to this project.”

5. Ethel V. Schlafer Román. *Archeological Evaluation Phase I, Remodeling of the Town Plaza, Naguabo, Puerto Rico. October 5, 1998.*
 NG-98-04-04/SHPO 04-14-99-11

Localization/Description:

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“The *plaza* (*plaza*) is in the center of the town. It borders to the South with Muñoz Rivera Street, to the north with Goyco Street, to the east with Baldorioty de Castro Street, and to the west with the Nuestra Señora del Rosario Catholic Church.”

Conclusions/Recommendations:

“The results of the documentary investigation, as well as the fieldwork, **reveal the presence of a dense cultural, historical deposit within the limits of the *plaza* and architectural elements associated with its original construction.** Several hypotheses could explain the presence of said deposit, especially when the historical documentation indicates that the original *plaza* was located at a much lower level.”

1. For it to be a secondary deposit, used as a land refill in the *plaza*.
2. For it to be an in-situ deposit affected and removed by the intervention in the *plaza* during different periods.”

On the other hand, it is possible that in said deposit (or underneath it) can be found the original floor of the *plaza* and other related architectonic elements, such as the aqueduct system of the Santiago River towards the center of the *plaza*.”

“Based on the results of this investigation, it is recommended that a Phase II Archeological investigation be carried out to determine the potential of this deposit, its horizontal-vertical extension, and its archeological integrity. This phase should include, as a secondary objective, finding the original floor of the *plaza* and other structural elements. With the results of this Phase II study, it must be determined if the *plaza* is eligible to be in the National Register of Historic Places.”

As part of the research methodology, interviews were also conducted to gather information on the surrounding structures that were occupied at the time. In recent months, five people aged 55 to 80 were interviewed.³ The interviewees lived, worked, and frequented the study area. In addition, we visited the “La Casa del Historiador,” where we could interview Mr. Carlos Osvaldo Suárez, from whom we obtained some of the historic images of the Traditional Urban Center of Naguabo included in this Report. The questions covered construction dates, general information on the original structures,

³ The persons interviewed were Mr. Félix de León, Mrs. Pilar Quiñones, Mr. Martin Sánchez, and Mrs. Carmen Luz Rivera.

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previous owners, and historical uses. Figure 4A is an inventory of various buildings around the APE. All comments and feedback provided by the people interviewed were included in the comments part of the table. Figure 8 shows the locations of the historic buildings listed in the municipality of Naguabo.

Identification of Historic Properties – Architecture

Existing information on previously identified historic properties has been reviewed to determine if any such properties allocated within the APE of this undertaking. The review of this information by a Program contracted Historic Preservation Specialist meeting the Secretary of Interior's Qualification Standards (36 CFR Part 61) shows that the project area is within the traditional urban center of Naguabo and is directly adjacent to the Nuestra Señora del Rosario Church (NG-34). The *plaza* itself is eligible to be included in the NRHP and is directly surrounded by five (5) buildings that are also eligible to be included in the NRHP. Refer to Figure 3 to see the project location in relation to the registered and eligible places around the *plaza*.

History of Municipality of Naguabo

The town of Naguabo emerged around a humble chapel belonging to the owners of the Rios, Cayure, and Peña Pobre estates in the late 18th century. It was dedicated to their revered patrons, the *Virgen del Rosario* and *San Juan Nepomuceno*, the Martyr. The veneration of these saints may have been brought by Catalan settlers due to their influence from the South of France, where the religious figure was martyred.

The residents of agricultural and livestock estates were settled in the growing urban settlement, which was officially organized as a town in 1794. The land where the settlement began, located between the Cecilia and La Fe ravines, was inhospitable and rugged. The hills and swampy terrain hindered orderly development of the town and the layout of parallel and converging streets around a central square, as was required in urban planning in Puerto Rico. In 1815, during his visit to Naguabo, the Governor of the Island ordered the town to be relocated to the Santiago District and instructed the construction of a Church since it was a better location for its development. In 1817 plans were presented to the municipal board for a new building but the plan was rejected due to the scarcity of resources and funds for the construction. By 1820, work on the relocation was in progress. Arrangements were made with Don Cristóbal Ramírez, the owner of the land in the Santiago District,

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where a provisional chapel would be built as agreed upon by municipal and ecclesiastical authorities. The town chapel was initially built out of bricks and wood. It was finished in 1829. In 1847 a new stair and bell was added to the design. It remained in use until 1856 when it was replaced by a new structure.

Nuestra Señora del Rosario Church

Nuestra Señora del Rosario Church was registered in the NRHP on December 10, 1984, under NRIS: 84000456.⁴ The Church's main entrance is on the plaza's west side. It is aligned with the main fountain in the center of the *plaza*. The *plaza*'s main fountain is partially aligned with the City Hall.

The Church's main structure was built in 1856, and the façade was remodeled in 1858 according to plans by engineer Mariano Bosch. The bell tower was added in 1913. The façade is divided into three vertical naves separated by Doric pilasters in the colossal order. The central area is the main entrance, accentuated by the bell tower.

All works proposed will not cause changes in the character or use of the Nuestra Señora del Rosario Church or other identified eligible properties around the *plaza* or the *plaza* itself.

Public Square (*Plaza*)

According to the archaeological studies revised, particularly the Fase 1A study conducted on the *plaza* (Refer to study #5 on Table 1), there is a lack of documentation regarding the original design of the *plaza* and of subsequent renovations. Even though the time of construction is established in 1821 there are no actual details of how it was constructed. Study #5 points out that most of the *plazas* at the time were just open areas covered with gravel and that at some point after it was built, the *plaza* was five (5) steps lower than the Church.⁵ The study also quotes construction documents from the final inspection of the Church by engineers from the Spanish army.⁶ Sepúlveda Rivera's publication

⁴ Puerto State Historic Preservation Office. *Propiedades de Puerto Rico incluidas en el Registro Nacional de Lugares Históricos*. San Juan: Office of the Governor. November 20, 2020. 20.

⁵ Schlafer, Ethel V. *Archeological Evaluation Phase I, Remodeling of the Town Plaza, Naguabo, Puerto Rico*. October 1998, p. 10.

⁶ *Ibid.*

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shows an image of 1912 were demonstrated that the northeast corner of the *plaza* is visible and there are no steps visible.⁷

Even though there are no records of the original design and the following interventions, the *plaza* itself is a part of the historic center of the Municipality of Naguabo. The church, the town hall and the *plaza* were necessary elements to establish a Municipality. The *plaza* has provided the citizens of Naguabo a space to congregate for trade, economic, civic, and political reasons throughout its history. Currently, the *plaza* is a space where people still congregate and host a different range of activities. The plaza is directly surrounded by businesses, government buildings like the mayor's office, the police station, civic spaces like the municipal theater and is directly adjacent to the Nuestra Señora del Rosario Catholic Church.

Our research found the first aerial photos of the Municipality of Naguabo taken in 1936. These pictures depict a circular design in the gardens on the plaza's northwest quadrant. No signs of the steps are visible, and we don't know when the *plaza* was raised from its original level. In the aerial photos taken in 1951 and 1964, the gardens can be seen in their current shape. We also found photos of the central fountain from 1915. Upon inspection of the 1915 photo of the central fountain, it is evident that the original fountain has been modified since. There is no record of when the *plaza* was changed or by whom, nor when the four (4) smaller fountains were constructed. Refer to Figures 10, 11, and 12 for the aerial views of the Photogrammetry Division at Puerto Rico Highway Authority (ACT).

Determinations

- Direct Effect:
 - **Architecture** – After examining the project undertaking, available studies, and historical documents available, we conclude that the proposed project **will not** have an adverse direct effect on the existing structure and surrounding structures. This determination is supported by the following factors:

Lack of Historical Documentation: Despite limited documentation regarding the original design and subsequent renovations of the plaza, available studies suggest that the plaza may have initially consisted of open areas covered with

⁷ Sepúlveda Rivera. Vol. 3, p. 282.

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gravel or stones. There is no detailed historical account of its original construction or subsequent changes. The first aerial photograph available illustrates a plaza with a different design. We determined, via aerial photographs, that the current design has been visible since 1964. The proposed project will retain the overall design and use of the existing *plaza*.

Conservation of Historic Features: The proposed project plans to replace certain existing features such as benches, light posts, light fixtures, and floor finishes. The existing benches and light posts are in poor and deteriorated condition. What remains of them are to be carefully removed and returned to the Municipality. These items are specified in the construction plans and have been presented and reviewed by the *Instituto de Cultura Puertorriqueña*. The proposed light posts (801 by Neri) and benches are commonly used in historic areas and selected for their traditional appearance. Other features of the existing design like the central axis view from east to west, which is historically significant, will remain unobstructed. Secondary paths that align on east to west and north to south axes will remain unobstructed as well. The four smaller fountains will remain in the design. The current overall layout of the plaza will remain. The statues in the plaza and the existing trees will remain as focal features in the proposed design. New trees will be planted in the gardens. Improvements proposed along the border of the plaza will not incorporate elements that alter the character of the *plaza* and will make the plaza wheelchair accessible.

Historic Significance: The *plaza* is an integral part of the historic center of the Municipality of Naguabo, dating back to the establishment of the municipality in 1820. It has historically served as a space for trade, economic, civic, and political activities, maintaining its importance to the community to this day. The plaza continues to be a central gathering space for citizens, surrounded by businesses, government buildings, the municipal theater, and the Nuestra Señora del Rosario Catholic Church. Its ongoing use for various activities underscores its continued cultural significance.

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Photographic Evidence: Historical aerial photographs from 1936 depict a circular garden design on the plaza's northwest side, suggesting that changes have occurred over time. Subsequent aerial photos from 1951 and 1964 show the gardens in their current configuration. Additionally, a 1915 photo of the central fountain indicates that modifications have been made to it over the years. However, there is no documented record of when these changes occurred or by whom. The central fountain will be repaired and will not be relocated or demolished.

Given these considerations, it is evident that the proposed project aims to improve accessibility, safety, and functionality within the plaza while respecting its historical context and significance. The renovations, including the addition of new ramps and kiosks, align with current building codes and accessibility standards. The project does not pose an adverse direct effect on the existing structure or surrounding structures.

- o **Archaeology** - The results of the documentary research and those of the fieldwork reveal the presence of a dense historical cultural deposit within the limits of the plaza and the presence of architectural elements associated with the original construction of the plaza. Several hypotheses can explain the existence of this deposit in the plaza, especially when historical documentation indicates that the original plaza was at a lower level: the archaeological survey #5 (See Table 1) that Schlafer conducted and analyzed as part of this Report indicates that test pits of 3.28-3.60 feet depth showed the existence of fill material and suggests that the original floor would be below that test pit. Schlafer also stated that there may have been interventions after 1913 due to several natural disasters between 1912 and 1913 that caused impacts of significant proportions in the city. Therefore, we understand that the archaeological study suggests that historical material may be a fill deposit due to site disturbance or various interventions in the plaza.

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The project proposes excavations that will not be deeper than the borings mentioned in the study. No proposed excavations exceed three (3) feet in depth. A Phase II was recommended, however no evidence of it being completed was located by the author. Therefore, as the results of the recommended Phase II are not available, it cannot be determined if the artifact bearing deposits represent historic fill or are directly related to activities within the plaza. Archaeological monitoring is recommended during ground disturbing activities.

- Indirect Effect:
 - **Architecture** – The proposed works **will not** have an adverse indirect effect on the properties surrounding the APE or the *plaza* itself.
 - **Archaeological** – There is no indirect archeological effect.

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Recommendation *(Please keep on same page as SHPO Staff Section)*

The Puerto Rico Department of Housing requests that the Puerto Rico SHPO concur that the following determination is appropriate for the undertaking (Choose One):

- No Historic Properties Affected
- No Adverse Effect
 - Condition: Archeological monitoring during excavations
- Adverse Effect
 - Proposed Resolution (if applicable)

This Section is to be Completed by SHPO Staff Only

The Puerto Rico State Historic Preservation Office has reviewed the above information and: <ul style="list-style-type: none"> <input type="checkbox"/> Concurs with the information provided. <input type="checkbox"/> Does not concur with the information provided. 	
Comments:	
Carlos Rubio-Cancela State Historic Preservation Officer	Date:

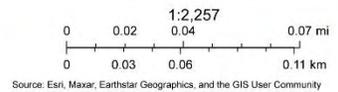


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Figure 1. Project (Parcel) Location – Area of Potential Effect Map (Aerial)



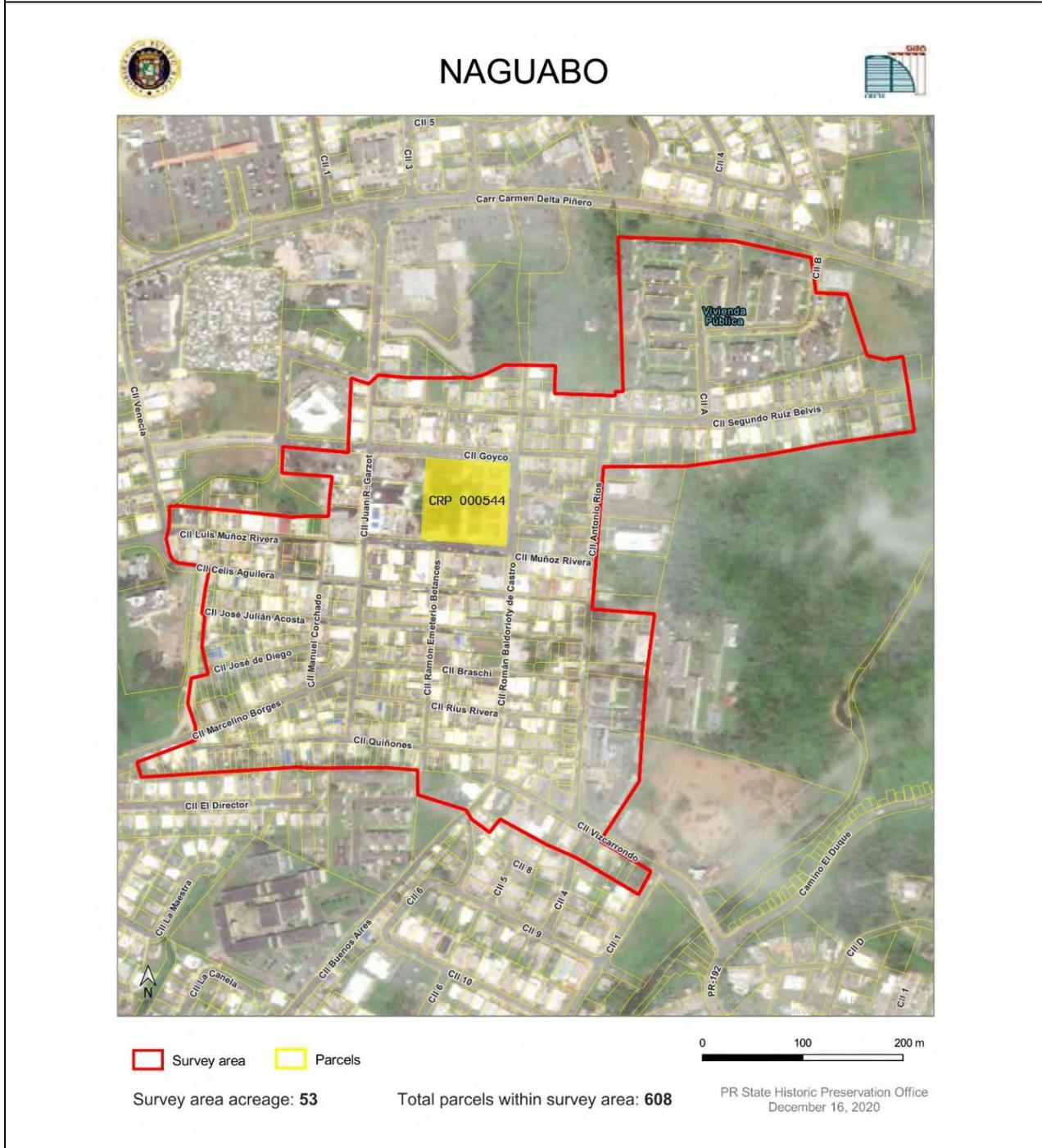
U.S. Environmental Protection Agency

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Figure 2. Project (Parcel) Location - Aerial Map

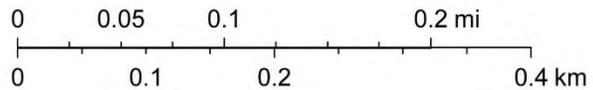


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Figure 3. Project (Parcel) Location – Historic Properties



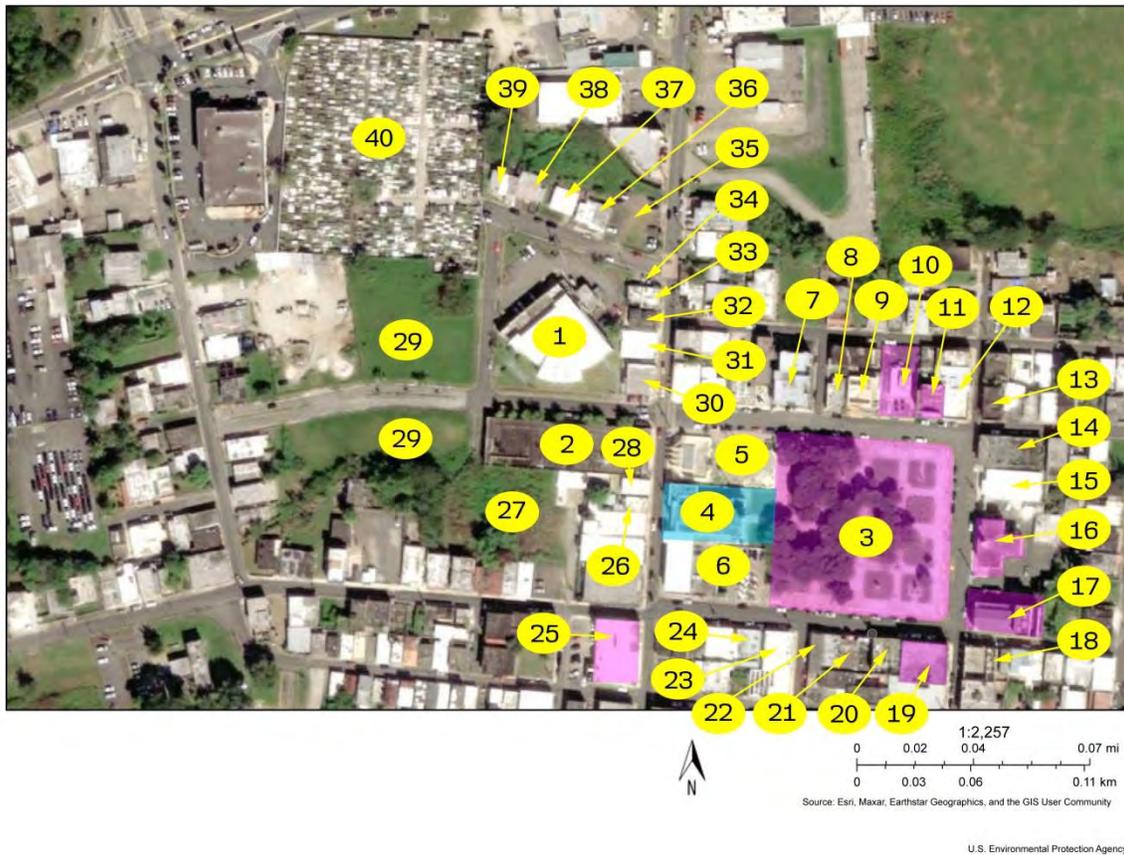
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Figure 4. Key Plan of Property Inventory of Naguabo's Urban Center





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Figure 4A. Property Inventory of Naguabo's Urban Center

1 PLAZA DEL MERCADO
 256-013-001-09
 Lat: 18.21292823, Lon: -65.73647730

Inaugurated in 1972. According to the interviewees, before the construction of the Marketplace, the place was a "wooded area" or a "vacant lot," and there was only a "wood and zinc structure used as a garage", which was later destroyed by a fire in 1964.

The structure could be eligible for listing due to unique artistic elements displayed in the Goyco street façade but it is important to note that all windows, doors, ceilings, bathrooms and other finishes, and other elements have been altered. Exterior walls have been altered to install air conditioning units.

The building is adjacent to the boundaries of a designated Historic Zone or city *plaza* and could be eligible under Criterion C.





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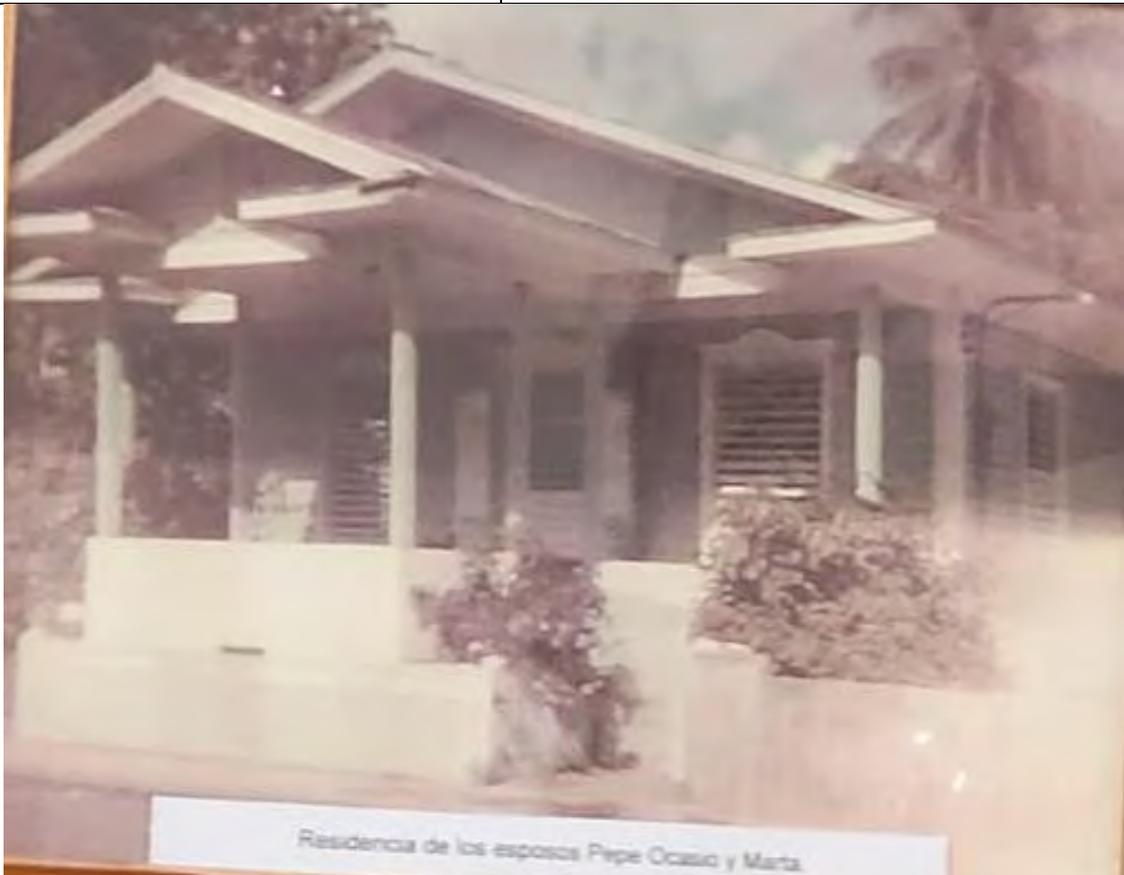
Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.

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2 ESTACIONAMIENTO MUNICIPAL
256-013-052-06
Lat: 18.21237734, Lon: -65.73643706

Before the construction of the municipal parking lot, there was a wooden house that belonged to Pepe Ocasio and Marta. The municipal parking lot, according to the neighbors, was built about 30 years ago.

The building is within the boundaries of an eligible or listed NRHP historic district but does not possess characteristics that would make it eligible.



2.1 Ocasio Residence – Photo obtained from Local Naguabo Historian, Carlos Suarez.



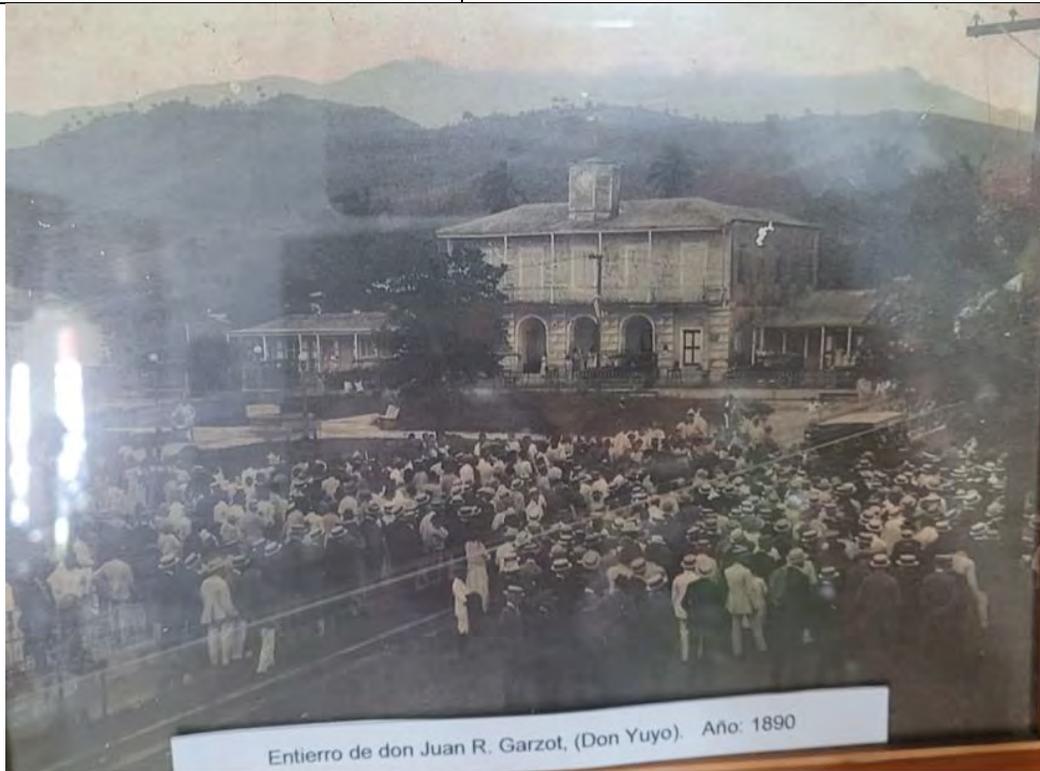
Subrecipient: Municipality of Naguabo

Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.

Project ID: PR-CRP-000544

3 PLAZA PUBLICA
256-013-014-02
Lat: 18.21203100, Lon: -65.73509116

The Municipal *Plaza* is individually eligible for listing under Criterion D



Entierro de don Juan R. Garzot, (Don Yuyo). Año: 1890

3.1 Public *Plaza*– Don Juan R. Garzot funeral in 1890. Photo obtained from local Naguabo historian, Carlos Suarez



Subrecipient: Municipality of Naguabo

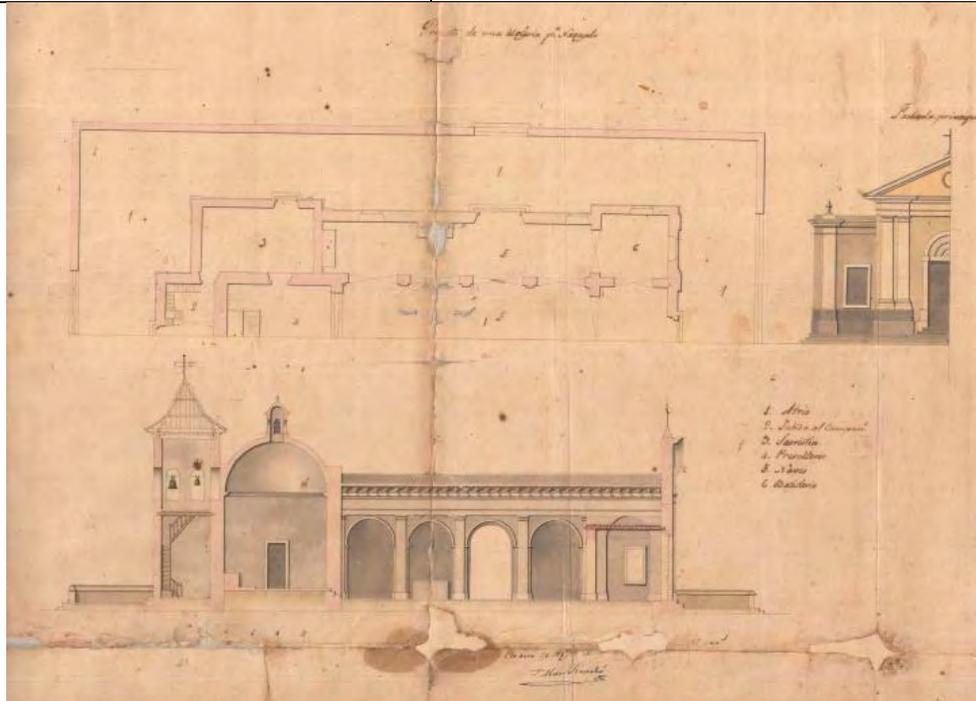
Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.

Project ID: PR-CRP-000544

4 NUESTRA SEÑORA DEL ROSARIO CHURCH
256-013-014-04
Lat: 18.21207025, Lon: -65.73574464

The Church's main structure was built in 1856, and the façade was remodeled in 1858 according to plans by engineer Mariano Bosch. The bell tower was added in 1913. The façade is divided into three vertical naves separated by Doric pilasters in the colossal order. The central area is the main entrance, which is accentuated by the bell tower.

The building is listed in the National Register of Historic Properties. Plans of the Church



4.1 Plans from 1858 of the Church found in the digital archive
<https://archivonacional.com/PL/1/1/5426>



Subrecipient: Municipality of Naguabo

Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.

Project ID: PR-CRP-000544

5 OUTDOOR THEATER
 256-013-014-01
 Lat: 18.21232128, Lon: -65.73572429

The building is within the boundaries of a designated Historic Zone or city plaza. Currently being renovated but does not possess characteristics that would make it eligible.



6 CHURCH RESIDENCE/OFFICES
 256-013-014-03
 Lat: 18.21182361, Lon: -65.73575736

In 1972, in the first level, a Catholic School was inaugurated.

The building is within the boundaries of an eligible or listed NRHP historic district but does not possess characteristics that would make it eligible.





Subrecipient: Municipality of Naguabo

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7 RESIDENCE / PHARMACY
256-013-005-05
Lat: 18.21268863, Lon: -65.73539665

Built around the year 1975 by the former mayor Serafín Meléndez, who was a pharmacist. (C. Suarez) The building housed a pharmacy. Currently, the ground floor of the building is a pharmacy.

Building is within the boundaries of a designated Historic Zone or city plaza.



8 RESIDENCE
256-013-006-10
Lat: 18.21261408, Lon: -65.73521066

According to its current owner, the house was built 100 years ago. "It was constructed with stone and brick on wood column foundations because a stream used to pass near the house. That stream was connected to the water source of the square." (C. Suarez).

The building is within the boundaries of a designated Historic Zone or city plaza and could be eligible under Criterion C.





Subrecipient: Municipality of Naguabo

Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.

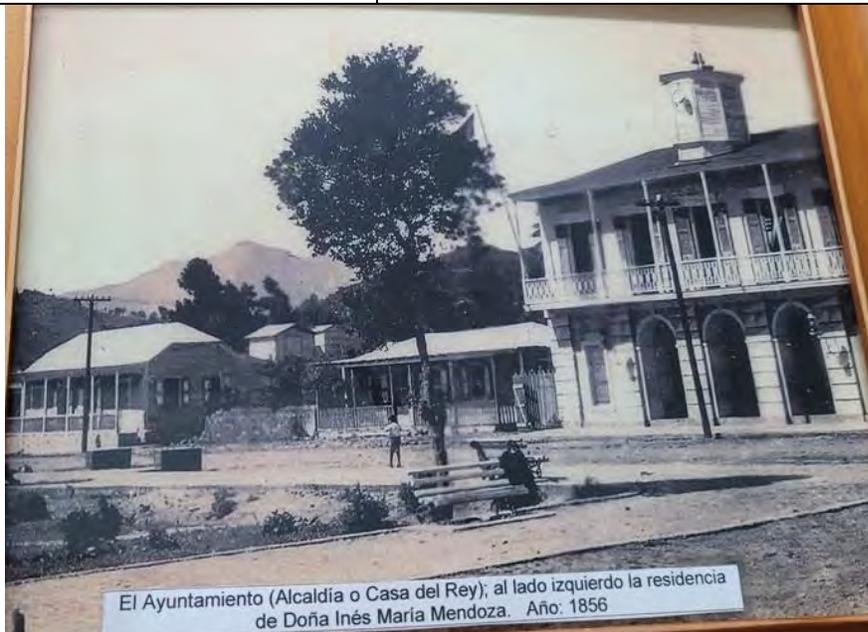
Project ID: PR-CRP-000544

9 RESIDENCE
256-013-006-09
Lat: 18.21260447, Lon: -65.73507916

As relayed by the present owner, this house was constructed roughly 70 years ago. The existing house occupies the very spot where Doña Inés Mendoza, wife of Luis Muñoz Marin, once called home. The original house where she was born and lived was made of wood and no longer exists.

Currently, the two-level structure houses a flower shop and a small museum about the history of the municipality, and it is called "The House of the Historian."

The building is within the boundaries of a designated Historic Zone or city plaza.



El Ayuntamiento (Alcaldía o Casa del Rey); al lado izquierdo la residencia de Doña Inés María Mendoza. Año: 1856

9.1 In the photo, you can observe the wooden house where Inés Mendoza lived, which is next to the old town hall (a two-story building). The photo was taken in 1856. Photo obtained from local Naguabo historian, Carlos Suarez.

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9.2 In this photo taken in 1913, you can also observe the wooden house where Inés Mendoza lived, which is next to the old town hall (a two-story building). Photo obtained from local Naguabo historian, Carlos Suarez

10 POLICE STATION
256-013-006-02
Lat: 18.21265992, Lon: -65.73491963

The site where the current police station is located used to be the site of the old town Hall (19th century). Later, in the same location, in the 20th century, the old Fire Station was built. It is currently used as a Police Station. The Fire Station was called the "Insular Fire Service" (Photo10.1) and later "Parque de Bombas" (Firehouse) (Photo10.2).

The building is within the boundaries of a designated Historic Zone or city plaza and displays unique artistic elements. Building is individually eligible for listing under Criterion C





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10.1 The photo illustrates the Fire Station with the name "Insular Fire Service". Photo obtained from local Naguabo historian, Carlos Suarez.



10.2 The photo illustrates the Fire Station with the name "Parque de Bombas". Photo obtained from local Naguabo historian, Carlos Suarez.



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11 LOS CABALLEROS DEL BIEN LODGE
256-013-006-08
Lat: 18.21256803, Lon: -65.73479137

"The lodge was composed of a group that helped people with low resources. It was built between the years 1912 and 1916," according to historian Osvaldo Suárez.

Currently, it is an abandoned building. The building is within the boundaries of a designated Historic Zone or city plaza. Building is individually eligible for listing under Criterion C.



12 LOCAL MERCHANTS
256-013-006-11
Lat: 18.21256195, Lon: -65.73466112

"It was built around 45 to 50 years ago. It used to be a billiard hall, bar, and butcher shop. In the late 19th century, there was a wooden structure that served as the Garzot family's textile store" (C. Suarez). Photo 12.1

The building is within the boundaries of a designated Historic Zone or city plaza.





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12.1 Photo of the textile store. Photo obtained from local Naguabo historian, Carlos Suarez.

13 RESIDENCE
256-013-007-21
Lat: 18.21257279, Lon: -65.73448541

The owners of the two-level structure were the García Leduc family, who lived on the second level, while the first level was a business where "ice cream and hamburgers were sold." It was known as "La Placita" and was a place where people used to gather and socialize with friends (F. De León and P. Quiñones).

The building is within the boundaries of a designated Historic Zone or city plaza.

The property possesses some aspects of integrity sufficient to convey historic significance and the building could be individually eligible for listing under Criterion C.



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14 LOCAL MERCHANT
256-013-015-01
Lat: 18.21235084, Lon: -65.73440042

Before its construction, there was a wooden house. The cement structure was built around 60 years ago (C. Suarez). Initially, it was the Public Health Unit, and its director was Dr. Franceschi. Then it became Doña Ana Cotto Benitez's Bazaar, and finally, it became a bar managed by Doña Ana Cotto's son. It has always been a two-story building (F. De León).

Building is within the boundaries of a designated Historic Zone or city plaza.



15 NEW MAYOR'S OFFICE
256-013-015-16
Lat: 18.21218373, Lon: -65.73441468

Originally, it was a wooden house where Don Enrique Rivera, a merchant, lived. By the 1980s, the wooden house was still standing. The current structure was built in the modern era.

The building is within the boundaries of a designated Historic Zone or city plaza.





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16 MAYOR'S OFFICE
256-013-015-15
Lat: 18.21194937, Lon: -65.73438854

The City Hall was inaugurated at the beginning of the 20th century in the year 1918, according to historian Carlos Suarez.

The building is within the boundaries of a designated Historic Zone or city *plaza* and is individually eligible for listing under Criterion C.



16.1 Photo of the town hall taken in the early 1970s. Photo obtained from local Naguabo historian, Carlos Suarez.



Subrecipient: Municipality of Naguabo

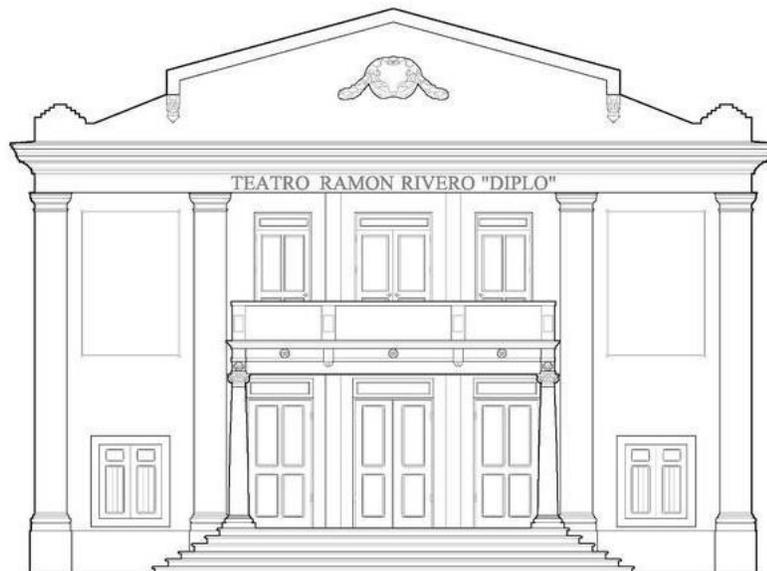
Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.

Project ID: PR-CRP-000544

17 RESIDENCE
256-013-015-13
Lat: 18.21162213, Lon: -65.73443945

Built in 1920, the theater's main facade is documented in the Puerto Rico Historic Buildings Drawings Society and remains unaltered. The stage area was added in the 1990s and the interiors were renovated. The main façade remains the only original feature from 1920s.

The building is within the boundaries of a designated Historic Zone or city *plaza* and is individually eligible for listing under Criterion C.



17.1 Image taken from the webpage <https://www.prhbds.org/naguabo> of the Puerto Rico Buildings Drawings Society.



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18 RESIDENCE
256-013-024-01
Lat: 18.21143141, Lon: -65.73451932

The building belonged to the pharmacist Don Leoncio Díaz and his wife Doña Carmen. They resided on the second level, while the first level had a pharmacy known as "La Farmacia Díaz". The existing structure is abandoned.

Building is within the boundaries of a designated Historic Zone or city plaza.



18.1 Building can be seen on the far left. It is unknown when this photo was taken. Photo obtained from local Naguabo historian, Carlos Suarez.



Subrecipient: Municipality of Naguabo

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18.2 In this image the pharmacist Don Leonicio Diaz, owner of the pharmacy Diaz. Photo obtained from local Naguabo historian, Carlos Suarez.

19 LOCAL MERCHANT
256-013-023-03
Lat: 18.21136854, Lon: -65.73482645

According to a plaque on the building, it was constructed in 1915. Although it was remodeled in 1961 the building has retained most of the original architectural features in the exterior. The second level was a residence, while the first level was used as a commercial space. By 1953, the municipal Police Station was located on the second level (on the right side of the second level). Currently, there is a lawyer's office on the second level. The flooring is made of wood, and the wooden beams can still be seen on the ceiling. The building retains many original elements.

The building is within the boundaries of a designated Historic Zone or city plaza and is individually eligible for listing under Criterion C.





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19.1 A portion of the building can be seen on the far right. It is unknown when this photo was taken. Photo obtained from local Naguabo historian, Carlos Suarez.



19.2 Corner ornament. Photo obtained from local Naguabo historian, Carlos Suarez.



19.3 Staircase in the interior



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19.3 Staircase in the interior



19.4 Interio courtyard



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20 LOCAL MRCHANT & RESIDENCE
256-013-023-02
Lat: 18.21144911, Lon: -65.73500099

Built between 1901 and 1902 was used as a restaurant, bar, and billiard hall.

The property does not possess aspects of integrity sufficient to convey historic significance. The building is within the boundaries of a designated Historic Zone or city plaza.



21 LOCAL MERCHANT
256-013-023-08
Lat: 18.21144224, Lon: -65.73517542

An old residence from the early 20th century that belonged to the pharmacist Don Ángelo Fernández and his family. "It was a house that had a Greek garden inside, with fountains, columns with grapes, and rose bushes" (F. De León). The property does possess some aspects of integrity sufficient to convey historic significance.





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22 LOCAL MERCHANT
256-013-023-09
Lat: 18.21147316, Lon: -65.73530424

The building was used as a pharmacy. It belonged to the pharmacist Don Ángelo Fernández, who lived in a house right next to it. It was called the "New Pharmacy."

The building is within the boundaries of a designated Historic Zone or city *plaza* and could be eligible under Criterion C.



23 LOCAL MERCHANT
256-013-022-04
Lat: 18.21141850, Lon: -65.73549521

Residence built in the late 19th century. Its original owner was named Don Manuel Marques (C. Suarez). Later, it became a department store that sold furniture, household items, shoes, clothing, and hardware materials.

The building is within the boundaries of a designated Historic Zone or city *plaza* and could be eligible under Criterion C.



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24 LOCAL MERCHANT
256-013-022-03
Lat: 18.21150105, Lon: -65.73562074

The pharmacy originally belonged to the former mayor Serafín Meléndez. However, when he was elected as mayor, he had to relinquish ownership of the pharmacy. Subsequently, it was acquired by another owner and is now known as Freddy Pharmacy.

The property does not possess aspects of integrity sufficient to convey historic significance, but the building is within the boundaries of a designated Historic Zone or city plaza.



25 BANK
256-013-021-01
Lat: 18.21148376, Lon: -65.73626537

The structure was built in 1910. This date is recorded on a tile in front of the building. The second level was used as a residence, while the first level was used for commercial purposes. In the 1930s, there was a clothing store. The owners of the store were Don Pepe Rivera and Doña Mercedes Rivera Ojeda. In 1992, the first level was used as the Municipal Court. Currently, it is used as bank.

Building is individually eligible for listing.





Subrecipient: Municipality of Naguabo

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Project ID: PR-CRP-000544

26 LOCAL MERCHANT

256-013-001-11

Lat: 18.21212105, Lon: -65.73621810

It was a residence and belonged to the family of Don Pepe Rivera. Before its construction, it was a wooden house where the nuns and the priest of the church used to live.

The property does not possess aspects of integrity sufficient to convey historic significance.



27 EMPTY LOT

256-013-052-14

Lat: 18.21216575, Lon: -65.73655648

According to neighbors, the lot has always been empty.

The lot is adjacent to the boundaries of an eligible or listed NRHP historic district.

No structure to evaluate for eligibility.





Subrecipient: Municipality of Naguabo

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Project ID: PR-CRP-000544

<p>28 RESIDENCE 256-013-001-10 Lat: 18.21220370, Lon: -65.73615039</p> <p>Originally, there was a wooden house where the nuns and the priest of the church used to live (there were two wooden houses, this one and #26). This house burned down. The existing structure was built to be a residence. Building is within the boundaries of an eligible or listed NRHP historic district.</p> <p>The property does not possess aspects of integrity sufficient to convey historic significance.</p>	
<p>29 EMPTY LOT 256-012-012-14 Lat: 18.21273168, Lon: -65.73737409 According to neighbors, the lot has always been empty.</p>	
<p>30 LOCAL MERCHANT 256-013-001-08 Lat: 18.21265281, Lon: -65.73611329</p> <p>Modern building located is within the boundaries of an eligible or listed NRHP historic district.</p> <p>The property does not possess aspects of integrity sufficient to convey historic significance.</p>	



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<p>31</p>		<p>RESIDENCE 256-013-001-09 Lat: 18.21280973, Lon: -65.73610452</p> <p>Modern building located is within the boundaries of an eligible or listed NRHP historic district.</p> <p>The property does not possess aspects of integrity sufficient to convey historic significance.</p>	
<p>32</p>		<p>RESIDENCE 256-013-001-06 Lat: 18.21292678, Lon: -65.73609790</p> <p>Modern building located is within the boundaries of an eligible or listed NRHP historic district.</p> <p>The property does not possess aspects of integrity sufficient to convey historic significance.</p>	



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<p>33 & 34</p>	<p>RESIDENCE 256-013-001-05 256-013-001-04</p> <p>Lat: 18.21302197, Lon: -65.73609115 Lat: 18.21310025, Lon: -65.73609523</p> <p>Modern building located is within the boundaries of an eligible or listed NRHP historic district.</p> <p>The property does not possess aspects of integrity sufficient to convey historic significance. (Two properties were joined)</p>	
<p>35</p>	<p>EMPTY LOT 256-013-052-16</p> <p>Lat: 18.21331761, Lon: -65.73614017</p> <p>Lot is adjacent to the boundaries of an eligible or listed NRHP historic district.</p>	
<p>36</p>	<p>256-013-052-13</p> <p>Lat: 18.21339125, Lon: -65.73632186</p> <p>Modern building located in area adjacent the boundaries of an eligible or listed NRHP historic district.</p> <p>The property does not possess aspects of integrity sufficient to convey historic significance. (Two properties were joined)</p>	



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<p>37</p>	<p>RESIDENCE</p> <p>256-013-052-12</p> <p>Lat: 18.21343726, Lon: -65.73646489</p> <p>Modern building located in area adjacent the boundaries of an eligible or listed NRHP historic district.</p> <p>The property does not possess aspects of integrity sufficient to convey historic significance. (Two properties were joined)</p>	
<p>38</p>	<p>RESIDENCE</p> <p>256-013-052-18</p> <p>Lat: 18.21359629, Lon: -65.73649027</p> <p>Modern building located in area adjacent the boundaries of an eligible or listed NRHP historic district.</p> <p>The property does not possess aspects of integrity sufficient to convey historic significance. (Two properties were joined)</p>	
<p>39</p>	<p>RESIDENCE</p> <p>256-013-052-03</p> <p>Lat: 18.21359525, Lon: -65.73673616</p> <p>Modern building located in area adjacent the boundaries of an eligible or listed NRHP historic district.</p> <p>The property does not possess aspects of integrity sufficient to convey historic significance. (Two properties were joined)</p>	



Subrecipient: Municipality of Naguabo

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40 MUNICIPAL CEMETERY

256-012-052-07

Lat: 18.21366173, Lon: -65.73727202

At the entrance to the cemetery, there is a date from 1914. However, there are brick masonry tombs of people who were buried in the late 19th century. One of the brick tombs belongs to a person who died in 1856. This date coincides with the time of the church's foundation.

In the center of the cemetery, you can find the oldest structure, which is the mausoleum built in brick masonry. Inside, there is a small altar, and the interior walls are covered with tiles. The floor appears to be the original one, with marble tiles. Sadly, it is in a deteriorated state, and bushes/trees are growing on the roof, with their roots penetrating the brick walls.

The cemetery itself could be listed under Criterion C

The mausoleum could be listed under Criterion A and Criterion D due to its age and architectural detail.





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40.1 The mausoleum located in the center of the cemetery with engraved date of 1856.



40.2 Entrance arch to the mausoleum. Bricks in walls are visible along with deteriorated metal gates.



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40.3 Perimeter gates around mausoleum.



40.4 Perimeter gates around mausoleum.



40.5 Perimeter gates around mausoleum.



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40.6 Tombstones in one of the mausoleum walls.



40.7 View of the interior of the mausoleum.



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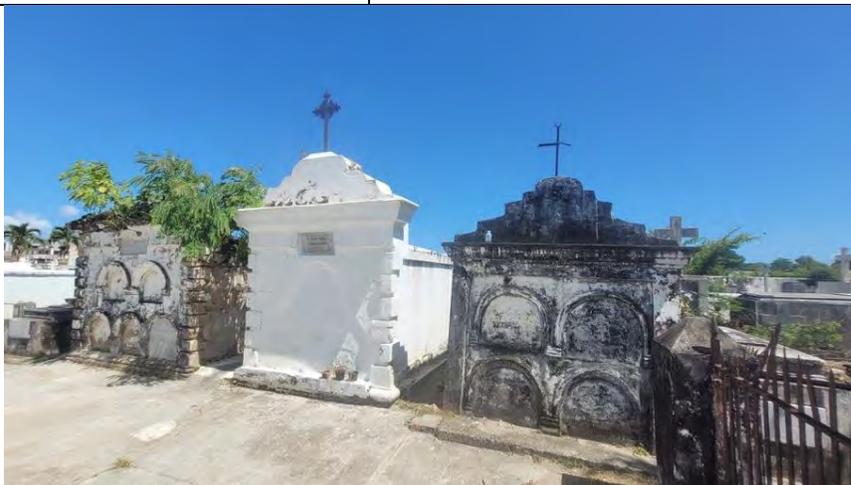
Project ID: PR-CRP-000544



40.8 Tombstones in the interior of the mausoleum with the date of 1856.



40.9 The date recorded in the entrance of the municipal cemetery.



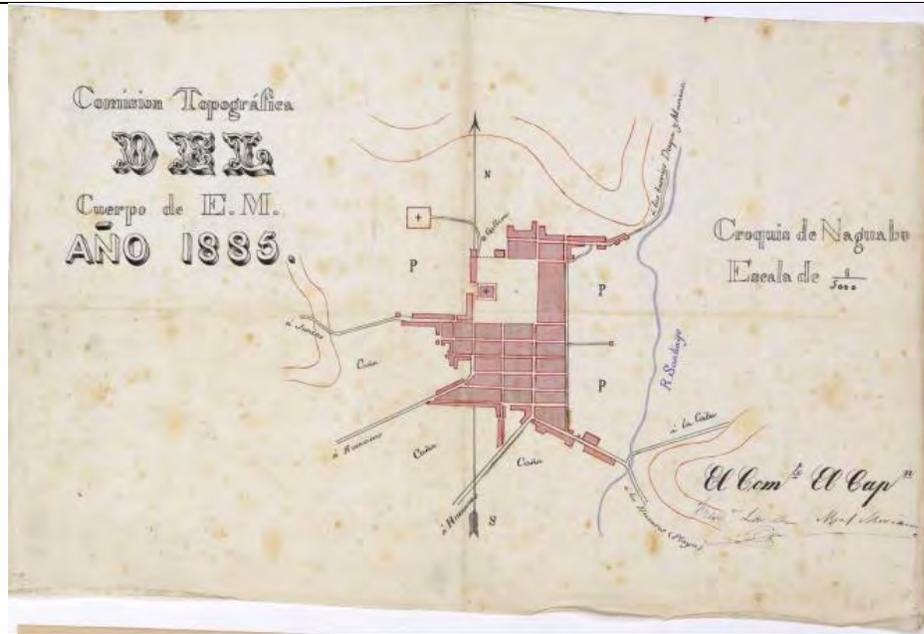
40.10 Other tombs built in the 19th century with similar brick masonry construction.



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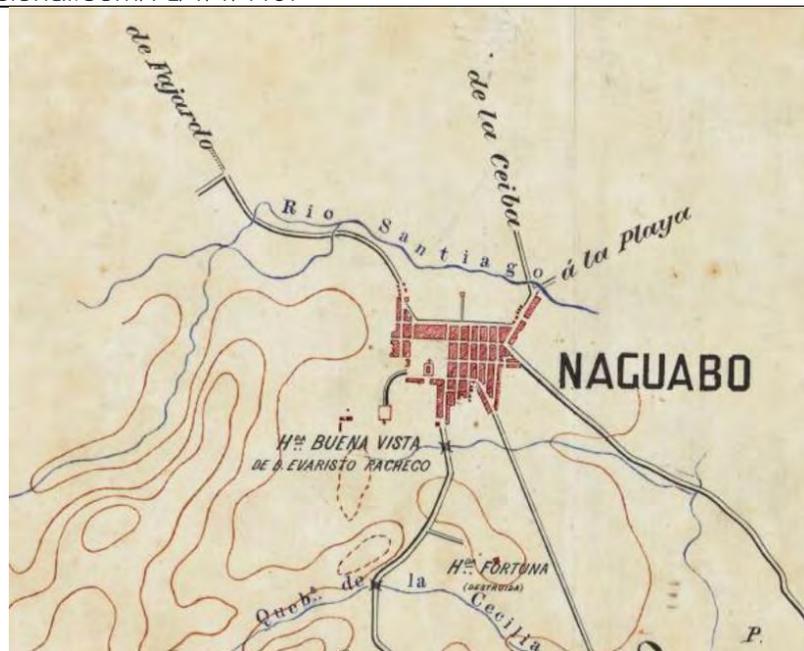
Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.

Project ID: PR-CRP-000544



40.11 Map of Naguabo from 1885 with the cemetery. Map obtained from the National Digital Archive

<https://archivonacional.com/PL/1/1/1137>



40.11 Map of Naguabo from 1891 with the cemetery. Map obtained from the National Digital Archive <https://archivonacional.com/PL/1/1/1137>



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Figure 5. Project (Parcel) Location - USGS Topographic Map

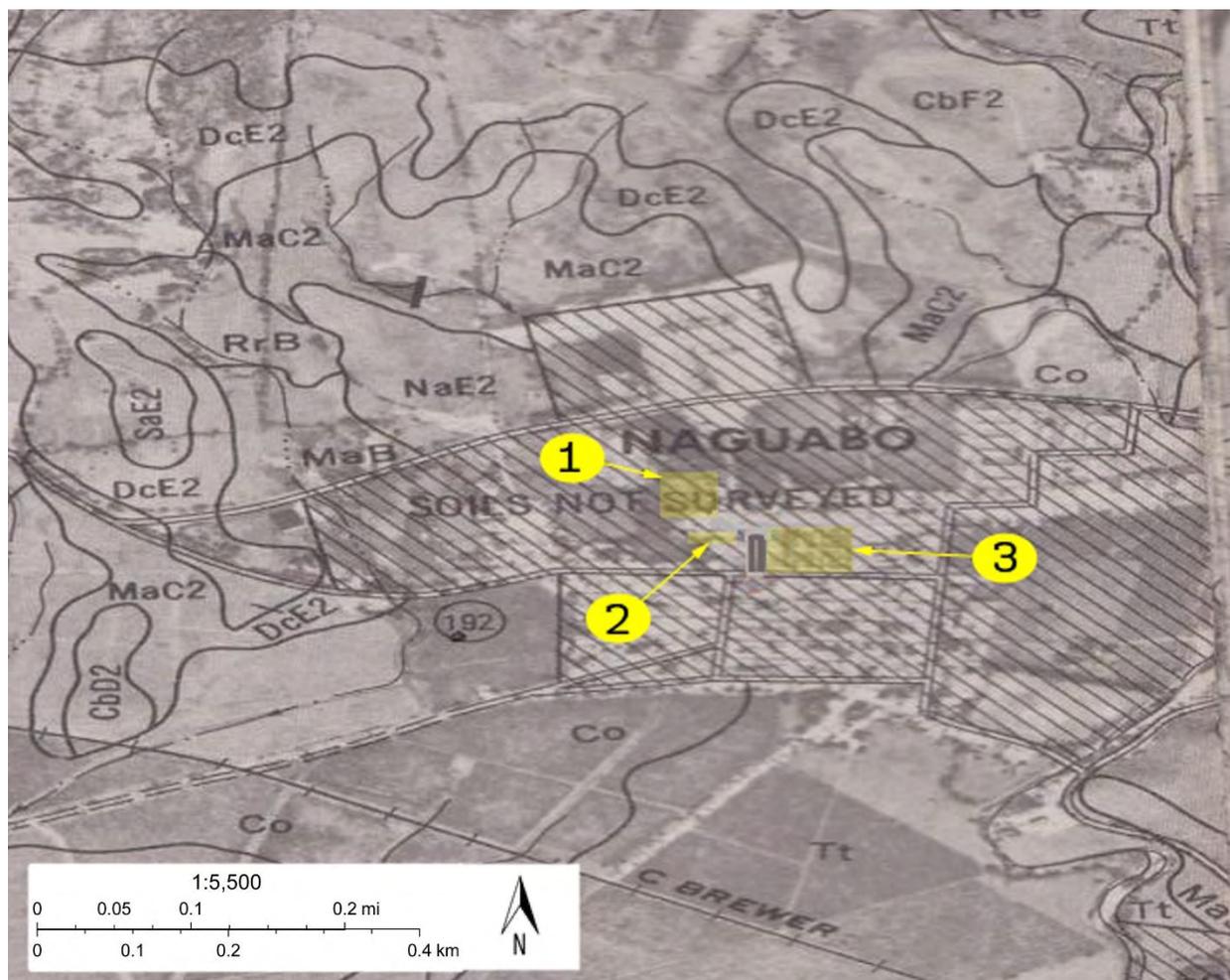


Subrecipient: Municipality of Naguabo

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Figure 6. Project (Parcel) Location – Soils Map



The United States Geologic Services has not surveyed the soils where the proposed projects are located. The USGS does not survey urban soils. Project sites are highlighted in yellow.

1. Plaza del Mercado
2. Estacionamiento Municipal
3. Plaza Pública

Subrecipient: Municipality of Naguabo

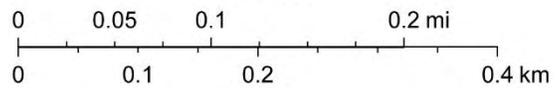
Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.

Project ID: PR-CRP-000544

Figure 7. Project Location with Previous Investigations - Aerial Map



1:5,750



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Distribution Airbus DS © 2023 TomTom

1. 1. NG 02 06 02, 2. NG 94 02 07, 3. SHPO 08 13 92 01, 4. NG 08 11 01,
2. 5. NG 98 04 04 / SHPO 01 14 99 11

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Figure 8. Project (Parcel) Location with Previously Recorded Cultural Resources
USGS Topographic Map



Obtained from the map archives of the office of photogrammetry of ACT.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CITY-REV) Section 106 NHPA Effect Determination	 <small>GOVERNMENT OF PUERTO RICO DEPARTMENT OF HOUSING</small>
Subrecipient: Municipality of Naguabo	
Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.	Project ID: PR-CRP-000544

NG-6 Historic Colonial 19th Century. Sugar Mill and railway bridge. Located in Barrio Río. Colonial Histórico Siglo XIX Hacienda. Molino Central Azucarera. Puente ferroviario de acero. Localizado en el barrio Río. – Outside of the 0.25-mile radius.

NG-7 Historic Colonial 19th Century. Steel bridge located in Barrio Maizales. Colonial Histórico Siglo XIX. Puente de hierro. Localizado en el barrio Maizales – Outside of the 0.25-mile radius.

NG-8 Historic Colonial 19th Century. Residential structure from the 19th century located in Barrio Mariana. Colonial Histórico Siglo XIX. Estructura residencial de mediados del siglo 19. Localizada en el barrio Mariana – Outside of the 0.25-mile radius.

NG-13 Petroglyph found in Barrio Río Blanco. No cultural association. Petroglifo localizado en el barrio Río Blanco. No tiene asociación cultural – Outside of the 0.25-mile radius.

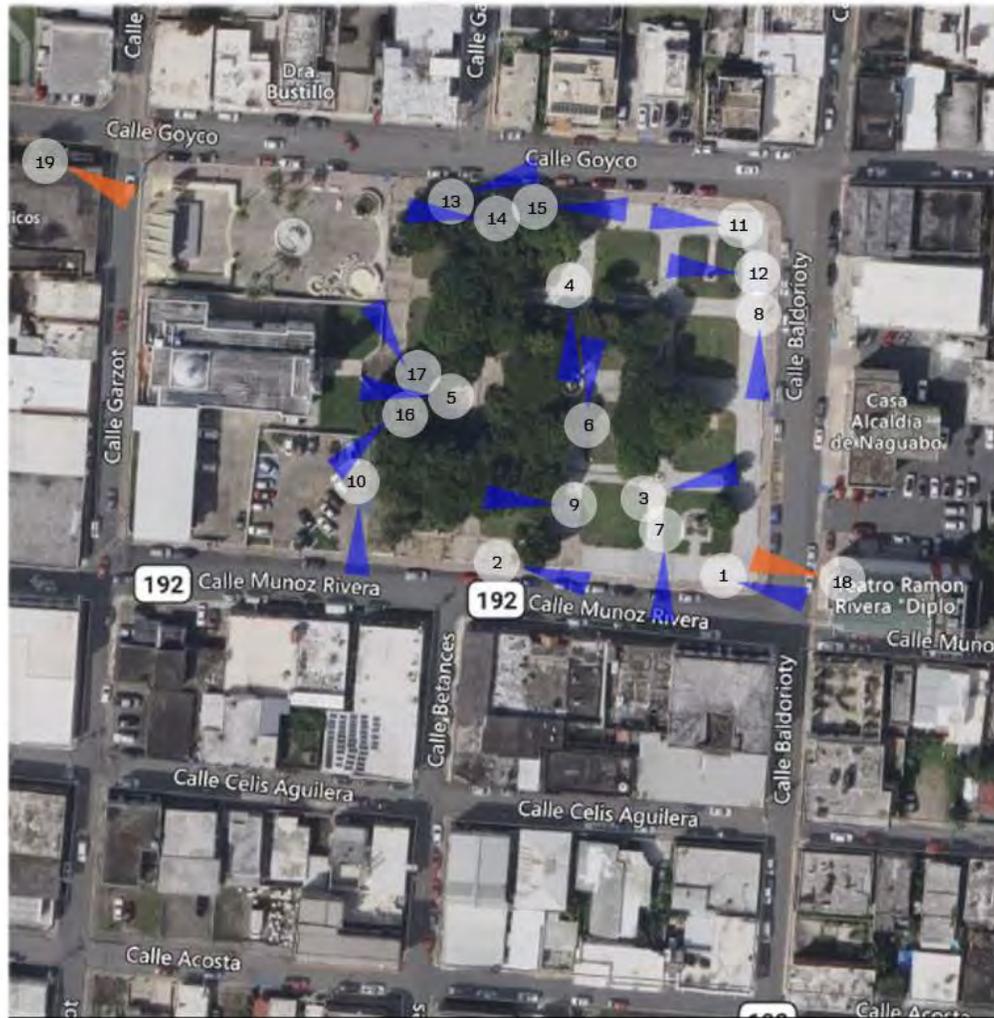
NG- 34 Nuestra Sra. Del Rosario Church – Inside of the 0.25-mile radius.

Subrecipient: Municipality of Naguabo

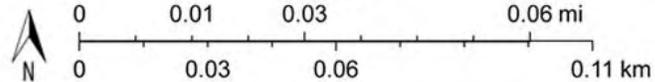
Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.

Project ID: PR-CRP-000544

Figure 9. PHOTOKEY



1:1,500



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PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM

CITY REVITALIZATION PROGRAM (CITY-REV)

Section 106 NHPA Effect Determination



GOVERNMENT OF PUERTO RICO
DEPARTMENT OF HOUSING

Subrecipient: Municipality of Naguabo

Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.

Project ID: PR-CRP-000544



Photo #: 1

Description: Teatro Diplo located on the southeast corner of the Plaza

Date: 01/24/2021

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM

CITY REVITALIZATION PROGRAM (CITY-REV)

Section 106 NHPA Effect Determination



GOVERNMENT OF PUERTO RICO
DEPARTMENT OF HOUSING

Subrecipient: Municipality of Naguabo

Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.

Project ID: PR-CRP-000544



Photo #: 2

Description:

Date: 01/24/2021

View of the southeast corner of Baldorioty and Luis Muñoz Rivera Street



Subrecipient: Municipality of Naguabo

Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.

Project ID: PR-CRP-000544

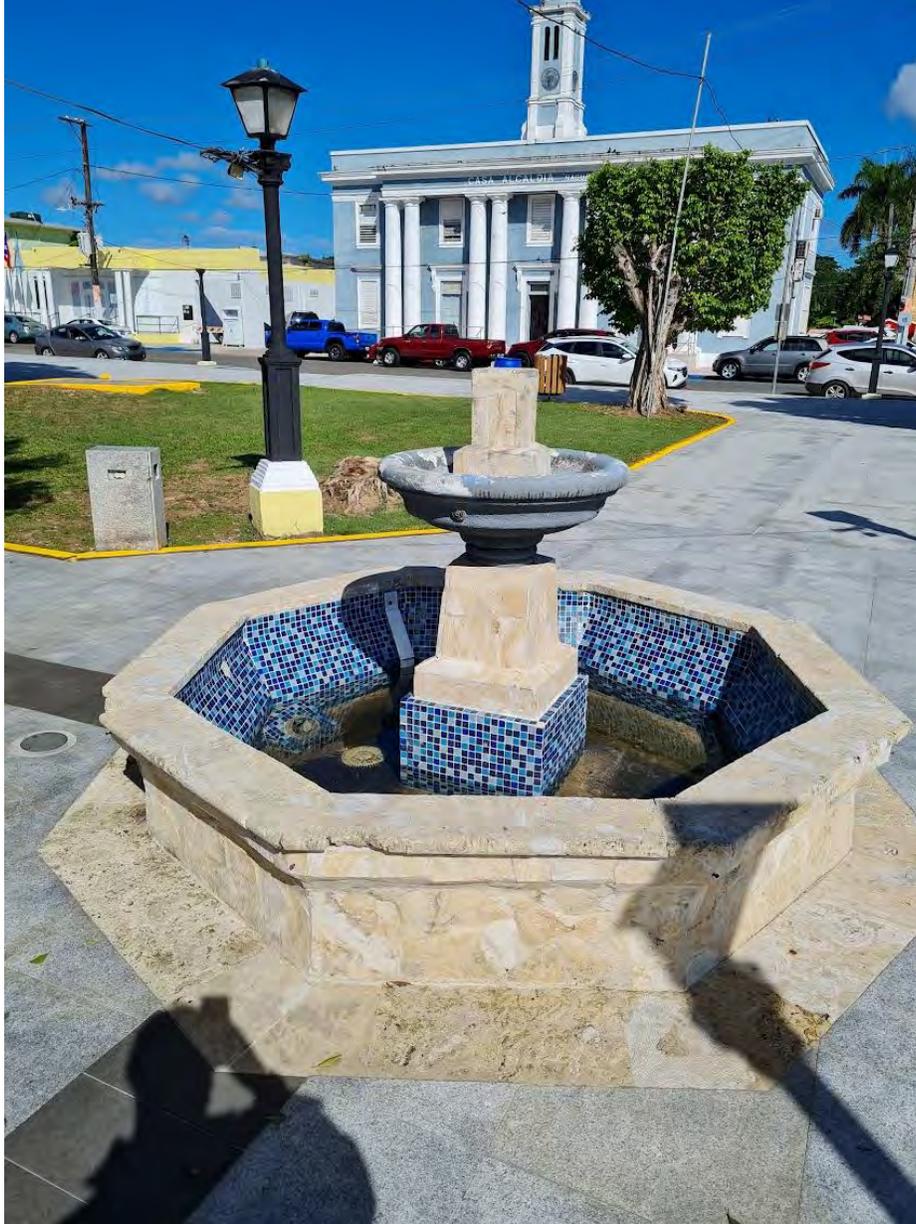


Photo #: 3

Description:

Date: 01/24/2021

View of the Mayor's Office from one of the small fountains located on the south east side of the plaza.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM

CITY REVITALIZATION PROGRAM (CITY-REV)

Section 106 NHPA Effect Determination



GOVERNMENT OF PUERTO RICO
DEPARTMENT OF HOUSING

Subrecipient: Municipality of Naguabo

Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.

Project ID: PR-CRP-000544



Photo #: 4

Description:

Date: 01/24/2021

View of the main fountain located in the center of the *Plaza*

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM

CITY REVITALIZATION PROGRAM (CITY-REV)

Section 106 NHPA Effect Determination



GOVERNMENT OF PUERTO RICO

DEPARTMENT OF HOUSING

Subrecipient: Municipality of Naguabo

Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.

Project ID: PR-CRP-000544



Photo #: 5

Description:

Date: 01/24/2021

View of the Nuestra Señora del Rosario Church entrance located on the West side of the Plaza

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM

CITY REVITALIZATION PROGRAM (CITY-REV)

Section 106 NHPA Effect Determination



GOVERNMENT OF PUERTO RICO
DEPARTMENT OF HOUSING

Subrecipient: Municipality of Naguabo

Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.

Project ID: PR-CRP-000544



Photo #: 6

Description: Existing conditions

Date: 01/24/2021

View from the main fountain to Goyco Street on the North side. The lodge is visible in the background to the right of the obelisk.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM

CITY REVITALIZATION PROGRAM (CITY-REV)

Section 106 NHPA Effect Determination



GOVERNMENT OF PUERTO RICO
DEPARTMENT OF HOUSING

Subrecipient: Municipality of Naguabo

Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.

Project ID: PR-CRP-000544



Photo #: 7

Description:

Date: 01/24/2021

View of the Diplo statue and buildings on Luis Muñoz Rivera Street located on the southeast corner of the Plaza

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM

CITY REVITALIZATION PROGRAM (CITY-REV)

Section 106 NHPA Effect Determination



GOVERNMENT OF PUERTO RICO
DEPARTMENT OF HOUSING

Subrecipient: Municipality of Naguabo

Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.

Project ID: PR-CRP-000544



Photo #: 8

Description:

Date: 01/24/2021

View of the east side of the plaza on Baldorioty Street

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM

CITY REVITALIZATION PROGRAM (CITY-REV)

Section 106 NHPA Effect Determination



GOVERNMENT OF PUERTO RICO
DEPARTMENT OF HOUSING

Subrecipient: Municipality of Naguabo

Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.

Project ID: PR-CRP-000544



Photo #: 9

Description:

Date: 01/24/2021

View of the interior green áreas and parking lot located to the southwest side of the Plaza

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM

CITY REVITALIZATION PROGRAM (CITY-REV)

Section 106 NHPA Effect Determination



GOVERNMENT OF PUERTO RICO
DEPARTMENT OF HOUSING

Subrecipient: Municipality of Naguabo

Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.

Project ID: PR-CRP-000544

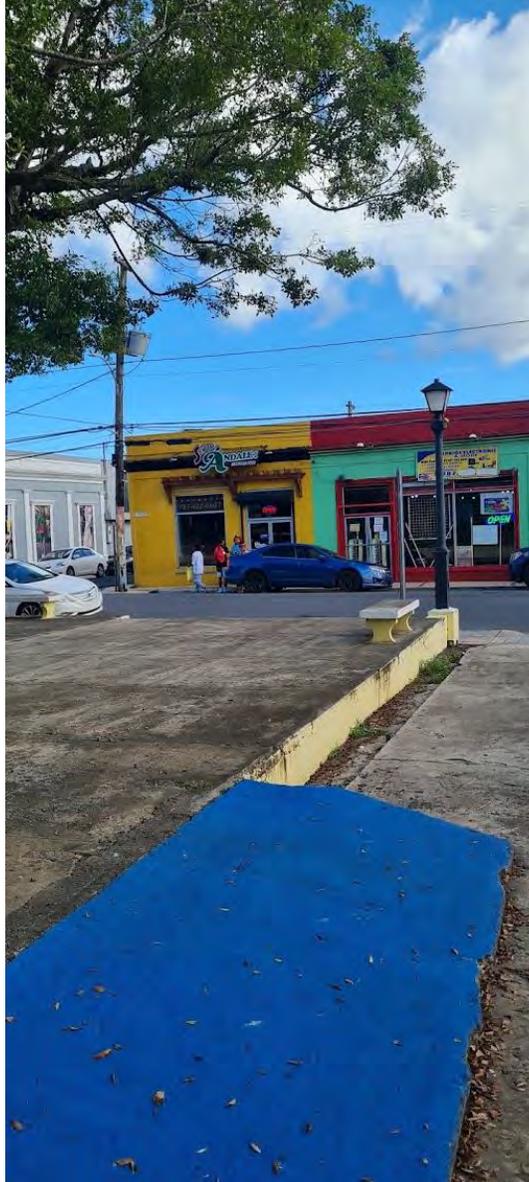


Photo #: 10

Description:

Date: 01/24/2021

View from the parking lot on the southwest side of the plaza overlooking Luis Muñoz Rivera Street

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM

CITY REVITALIZATION PROGRAM (CITY-REV)

Section 106 NHPA Effect Determination



GOVERNMENT OF PUERTO RICO
DEPARTMENT OF HOUSING

Subrecipient: Municipality of Naguabo

Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.

Project ID: PR-CRP-000544



Photo #: 11

Description:

Date: 01/24/2021

View of the north side of the *Plaza* and existing buildings on Goyco Street

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM

CITY REVITALIZATION PROGRAM (CITY-REV)

Section 106 NHPA Effect Determination



GOVERNMENT OF PUERTO RICO
DEPARTMENT OF HOUSING

Subrecipient: Municipality of Naguabo

Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.

Project ID: PR-CRP-000544



Photo #: 12

Description:

Date: 01/24/2021

View of the *Plaza* and statue from the southeast corner

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM

CITY REVITALIZATION PROGRAM (CITY-REV)

Section 106 NHPA Effect Determination



GOVERNMENT OF PUERTO RICO
DEPARTMENT OF HOUSING

Subrecipient: Municipality of Naguabo

Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.

Project ID: PR-CRP-000544



Photo #: 13

Description:

Date: 01/24/2021

View of Goyco Street from the north side of the Plaza

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM

CITY REVITALIZATION PROGRAM (CITY-REV)

Section 106 NHPA Effect Determination



GOVERNMENT OF PUERTO RICO
DEPARTMENT OF HOUSING

Subrecipient: Municipality of Naguabo

Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.

Project ID: PR-CRP-000544



Photo #: 14

Description:

Date: 01/24/2021

View of the Out-door Theater under renovations located on the northwest side of the Plaza



Subrecipient: Municipality of Naguabo

Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.

Project ID: PR-CRP-000544



Photo #: 15

Description:

Date: 01/24/2021

View of Goyco Street of the northeast side of the Plaza



Photo #: 16

Description:

Date: 01/24/2021

View of the existing perimeter wall of the Nuestra Señora del Rosario Church on the southwest side of the Plaza

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM

CITY REVITALIZATION PROGRAM (CITY-REV)

Section 106 NHPA Effect Determination



GOVERNMENT OF PUERTO RICO
DEPARTMENT OF HOUSING

Subrecipient: Municipality of Naguabo

Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.

Project ID: PR-CRP-000544



Photo #: 17

Description:

Date: 01/24/2021

View of the existing perimeter wall of the Nuestra Señora del Rosario Church and the Out-door Theater on the northwest side of the *Plaza*

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM

CITY REVITALIZATION PROGRAM (CITY-REV)

Section 106 NHPA Effect Determination



GOVERNMENT OF PUERTO RICO
DEPARTMENT OF HOUSING

Subrecipient: Municipality of Naguabo

Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.

Project ID: PR-CRP-000544



Photo #: 18

Description:

Date:

View from the Municipal Theater looking into the southeast corner of the Plaza

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM

CITY REVITALIZATION PROGRAM (CITY-REV)

Section 106 NHPA Effect Determination



GOVERNMENT OF PUERTO RICO
DEPARTMENT OF HOUSING

Subrecipient: Municipality of Naguabo

Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.

Project ID: PR-CRP-000544



Photo #: 19

Description:

Date:

Aerial view of the northwest side of the Plaza, the Nuestra Señora del Rosario Church and the Outdoor Theater



Subrecipient: Municipality of Naguabo

Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.

Project ID: PR-CRP-000544

Figure 10. AERIAL VIEW OF NAGUABO TAKEN IN 1936

PHOTO FROM THE ARCHIVES OF THE PHOTOGRAMMETRY AUTORIDAD DE CARRETERAS



PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM

CITY REVITALIZATION PROGRAM (CITY-REV)

Section 106 NHPA Effect Determination



GOVERNMENT OF PUERTO RICO
DEPARTMENT OF HOUSING

Subrecipient: Municipality of Naguabo

Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.

Project ID: PR-CRP-000544

Figure 11. AERIAL VIEW OF NAGUABO TAKEN IN 1951

PHOTO FROM THE ARCHIVES OF THE PHOTOGRAMMETRY AUTORIDAD DE CARRETERAS





Subrecipient: Municipality of Naguabo

Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.

Project ID: PR-CRP-000544

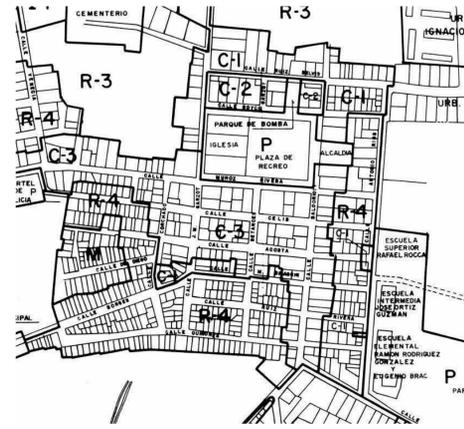
Figure 12. AERIAL VIEW OF NAGUABO TAKEN IN 1964

PHOTO FROM THE ARCHIVES OF THE PHOTOGRAMMETRY AUTORIDAD DE CARRETERAS

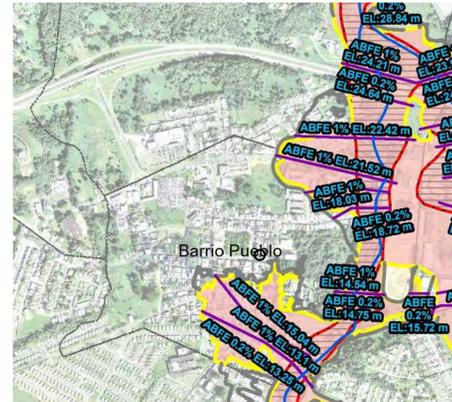




LOCATION PLAN
X: 273926.9318 Y: 242010.4285



MAPA DE ZONIFICACION DE NAGUABO
HOJA NUMERO 4
VIGENCIA: 8 DE AGOSTO DE 2003



FLOOD MAP PANEL
ZONE X
72000C1280J
VIGENCIA: 13 DE ABRIL DE 2018

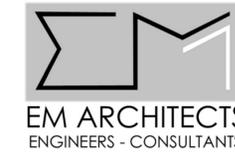


MUNICIPIO DE NAGUABO
HON. MIRAILDIZ ROSARIO PAGÁN

PLAZA DE RECREO DE NAGUABO

NAGUABO, PR

PLANOS PRELIMINARES
7/NOVIEMBRE/2023



DRAWING INDEX

SHEET NUMBER	SHEET NOMENCLATURE	SHEET NAME
01	T100	TITLE SHEET
02	C-2	PLANO AS-BUILT
03	DS101	DEMOLITION SITE PLAN
04	G100	DEMOLITION RESTORATION NOTES
05	SA000	AXONOMETRIC VIEW
06	SA001	PERSPECTIVES
09	SA101	GENERAL SITE PLAN
10	SA102	ARCHITECTURAL SITE PLAN
14	SA301	TRANSVERSAL SECTIONS
16	SA401	PARTIAL SECTIONS
17	SA-501	ENLARGED VIEW- 1
18	SA-502	ENLARGED VIEW- 2
19	SA-503	ENLARGED VIEW- 3
20	SA-504	ENLARGED VIEW- 4
21	SA-601	MONUMENTS RESTAURATION AND DETAILS
22	SA-602	NEW GAZEBO NERI AND NEW LIGHTING POST - ARCHITECTURAL FLOOR PLAN
23	SA-603	ARCHITECTURAL WOODEN PERGOLAS
25	A000	NOTES & GENERAL LEGEND
26	A700	FURNITURE DETAILS
27	A701	FOUNTAIN RESTAURATION
28	ST-101	FOUNDATION PLAN
29	ES-101	ELECTRICAL SITE PLAN
30	E-000	ELECTRICAL LEGEND AND NOTES

CONTRACTOR NOTES:

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED SO THAT PROPER CORRECTIONS ARE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS AND/OR OMISSIONS.
- ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ARCHITECT ARE THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH THEY WERE EXPRESSLY DESIGNED.
- IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THE ARCHITECT, THE PERSON SO DOING WILL BE INDEBTED TO THE ARCHITECT FOR HIS FULL COMMISSION.
- CONTRACTOR SHALL NOT USE FOR CONSTRUCTION PURPOSES ANY DRAWINGS THAT WERE ADVANCED TO HIM PRIOR TO THE START OF CONSTRUCTION. ALL PLANS BEING USED BY CONTRACTOR SHOULD BEAR A STAMP WITH THE LABEL: "FOR CONSTRUCTION ONLY" SIGNED BY ARCHITECT.
- GENERAL CONTRACTOR SHALL FIELD SURVEY LOCATION AND VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE TENANT AND ARCHITECT.
- GENERAL CONTRACTOR SHALL COMPLETE ALL WORK AS INDICATED ON THESE PLANS UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR SHALL OBTAIN PERMITS, APPROVALS, INSPECTIONS, CERTIFICATE FOR COMPLIANCE AND CERTIFICATE OF OCCUPANCY AS REQUIRED, UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR SHALL CHECK IN WITH AND COORDINATE ALL WORK WITH THE LANDLORD'S PROJECT PERSONNEL.
- GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY POWER, LIGHT AND TELEPHONE IN ACCORDANCE WITH LANDLORD'S AND TENANTS REQUIREMENTS.
- GENERAL CONTRACTOR SHALL REMOVED ALL THESE ITEMS AT THE COMPLETION OF WORK OR AS REQUIRED.
- GENERAL CONTRACTOR SHALL HAVE TENANT'S SPACE CLEANED UPON COMPLETION OF WORK BY A PROFESSIONAL CLEANING SERVICE.
- GENERAL CONTRACTOR SHALL MAINTAIN ON SITE AT ALL TIMES, ALL APPROVED DRAWINGS INCLUDING ALL REVISIONS AND ADDENDA.
- GENERAL CONTRACTOR SHALL HAVE AT ALL TIME IN SITE OFFICE COPY OF ALL ENDORSEMENTS AND PERMITS OF THE PROJECT AT A VISIBLE PLACE.

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ARCHITECT:

CONSULTANT:

CERTIFIED BY:

REVISION / DATE / DESCRIPTION

PROJECT #

SCALE

DRAWN BY

CLIENT

PROJECT

MUNICIPIO DE NAGUABO

CLIENT

PROJECT #

SCALE

DRAWN BY

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MUNICIPIO DE NAGUABO

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PROJECT #

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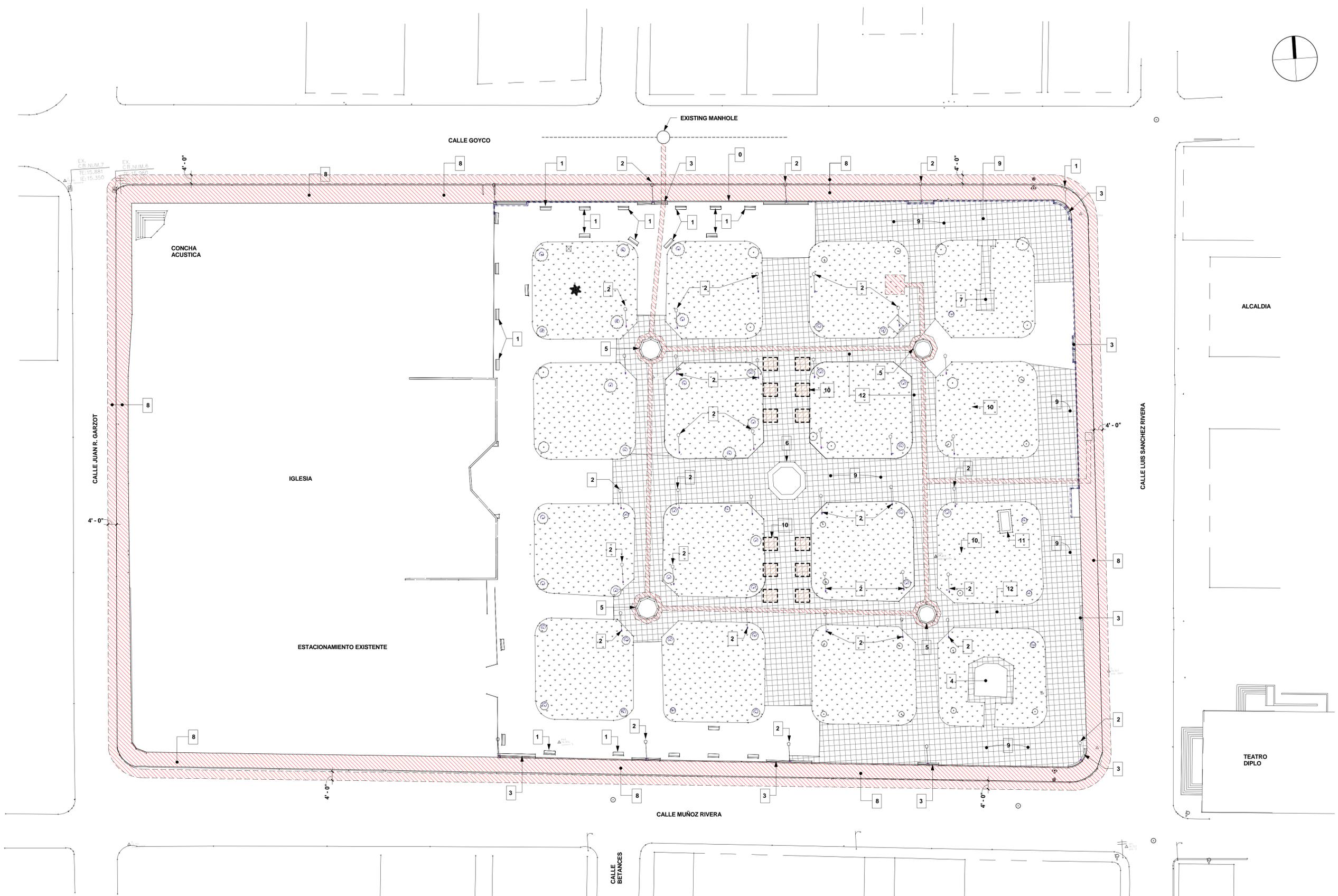
CLIENT

PROJECT

MUNICIPIO DE NAGUABO

CLIENT

PROJECT #



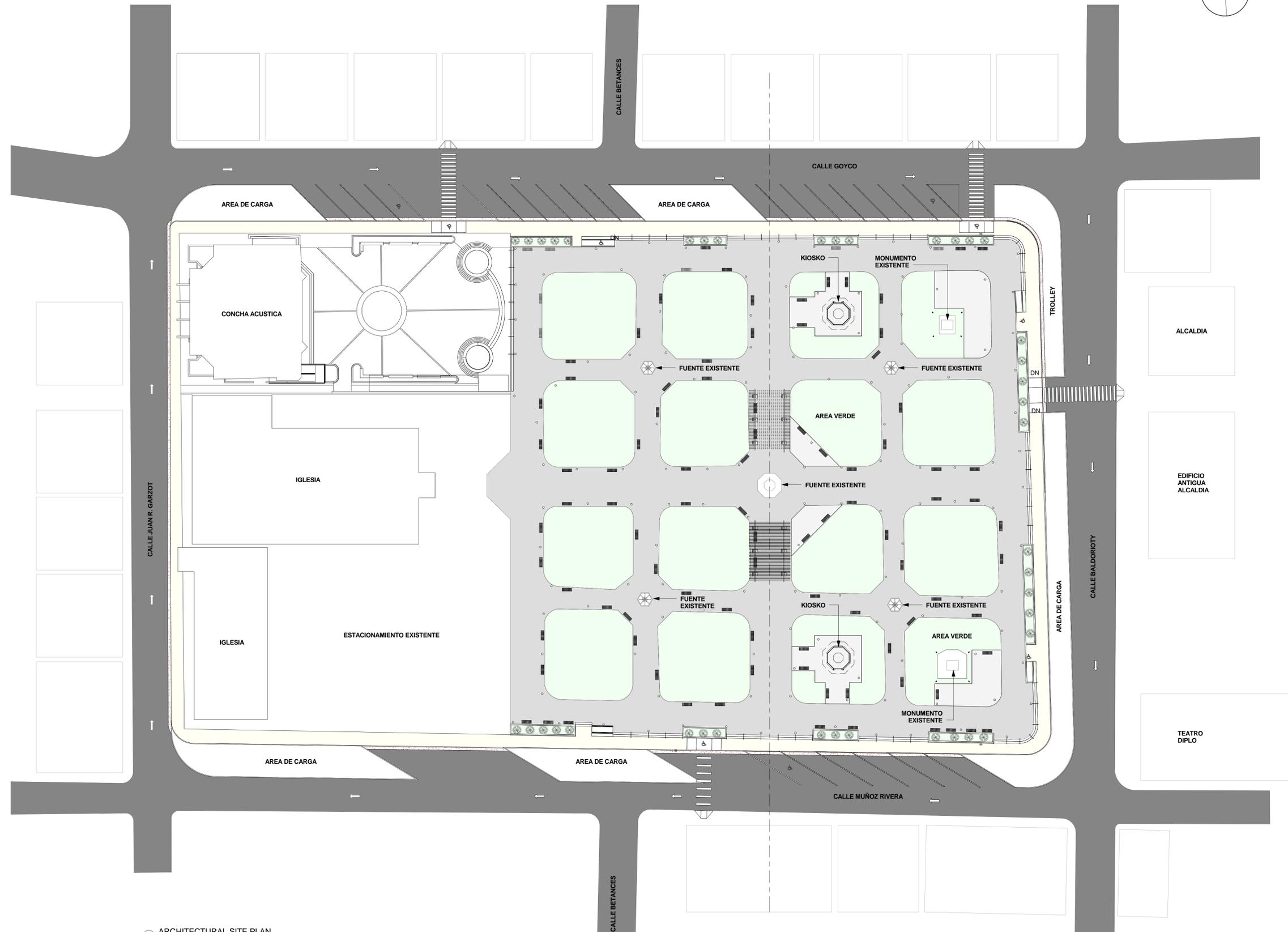
1 DEMOLITION SITE PLAN
 1 : 250

DEMOLITION LEGEND

TO BE DEMOLISHED

DEMOLITION KEYNOTE LEGEND:

- | | | |
|--|---|--|
| <p>1 ALL EXISTING BENCHES TO BE REMOVED AND RETURNED TO THE MUNICIPALITY</p> <p>2 ALL EXISTING LIGHT POSTS TO BE REMOVED AND RETURNED TO THE MUNICIPALITY</p> <p>3 ALL EXISTING STAIRS TO BE DEMOLISHED</p> <p>4 EXISTING STATUE TO BE CLEANED</p> <p>5 EXISTING FOUNTAIN TO BE CLEANED AND REPAIRED</p> | <p>6 EXISTING FOUNTAIN TO BE CLEANED AND REPAIRED</p> <p>7 EXISTING STATUE TO BE CLEANED</p> <p>8 ALL EXISTING TILES ON SIDEWALKS TO BE REMOVED AND EXISTING CURBS TO BE REPAIRED AND PINTED AROUND THE PLAZA BLOCK</p> <p>9 EXISTING GRANITE TO BE REMOVED AND RETURNED TO THE MUNICIPALITY (23,613 SQ. FT.)</p> <p>10 IMPACTED AREA WHERE EXCAVATION IS REQUIRED (2365 SQ. FT.)</p> | <p>11 EXISTING UTILITY BOX TO REMAIN</p> <p>12 EXISTING CONCRETE SLAB TO BE DEMOLISHED</p> <p>13 PARTIAL SLAB TO BE DEMOLISHED</p> |
|--|---|--|



1 ARCHITECTURAL SITE PLAN
1 : 300

EM ARCHITECTS
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 San Juan, PR 00908
 emarchitects@gmail.com
 787.529.9551

ARCHITECT:

CONSULTANT:

CERTIFIED BY:

REVISION / DATE / DESCRIPTION

PROJECT
PLAZA DE RECREO DE NAGUABO
 NAGUABO, PR
 CLIENT
MUNICIPIO DE NAGUABO

PROJECT # 53-002

SCALE 1 : 300

DRAWN BY Author

ARCHITECTURAL
 SITE PLAN

TITLE

SA101

SHEET

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PROJECT #

SCALE

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PARTIAL SECTIONS

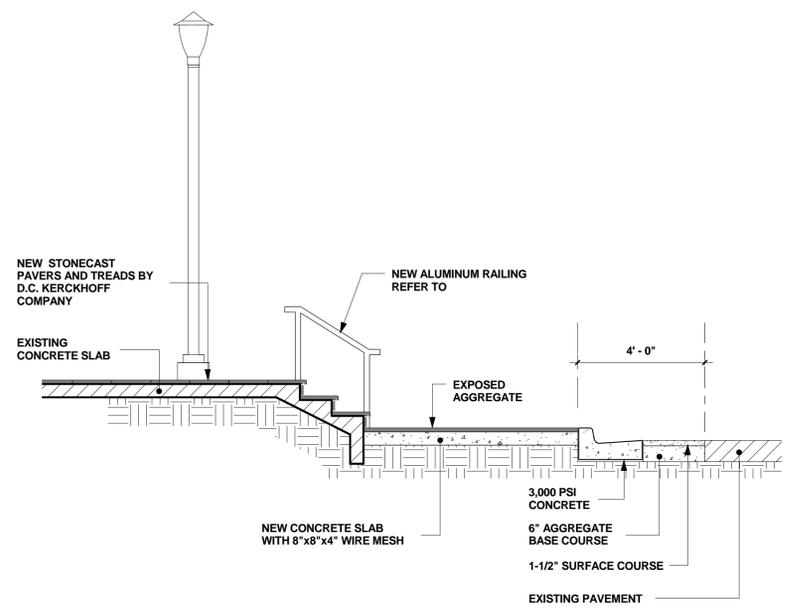
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SA401

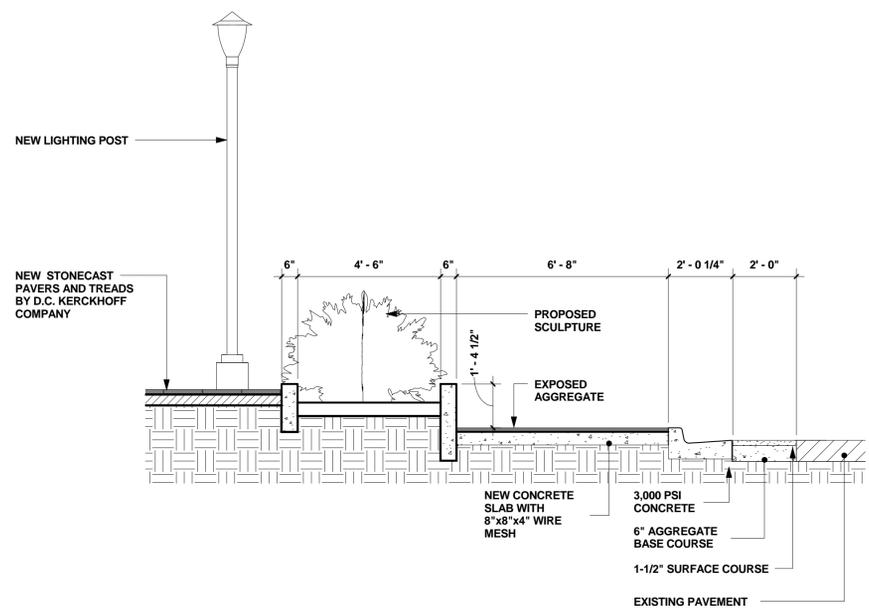
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PLAZA DE RECREO DE NAGUABO

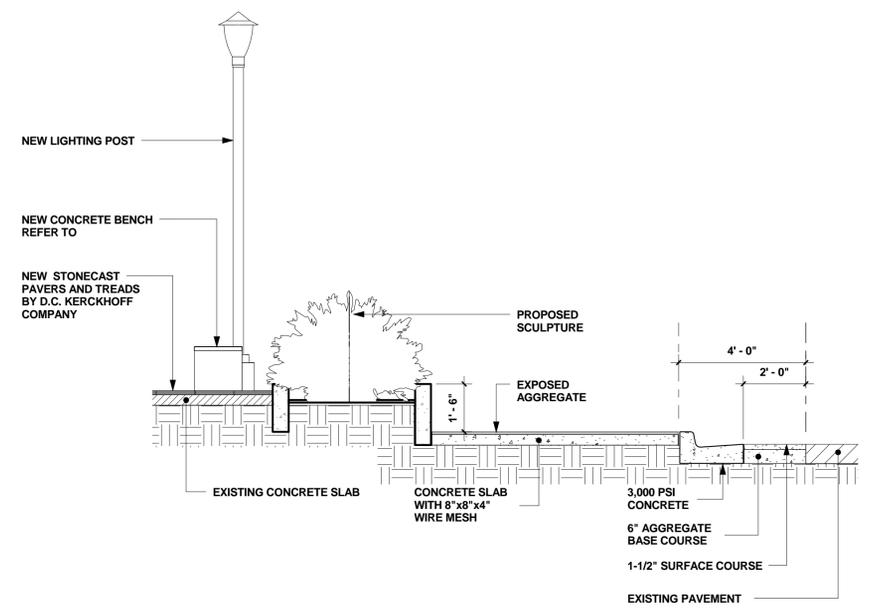
MUNICIPIO DE NAGUABO



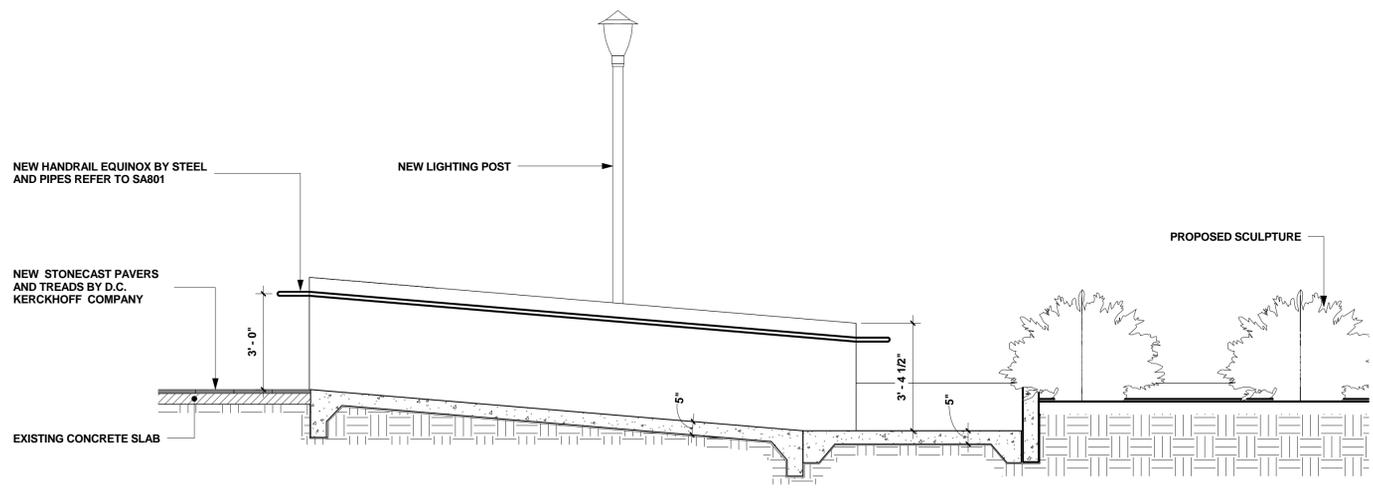
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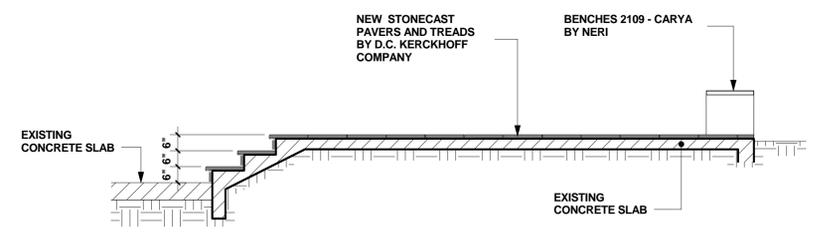
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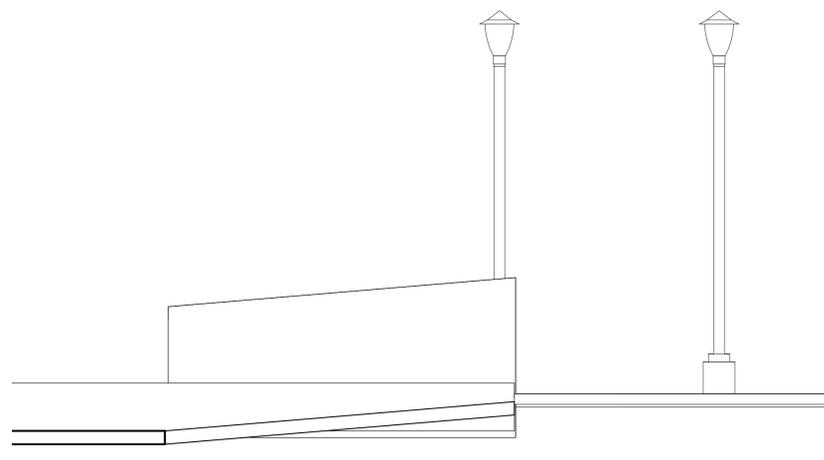
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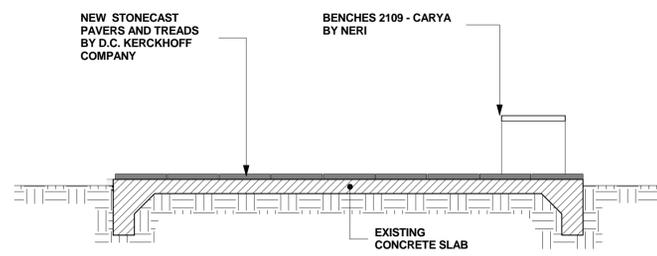
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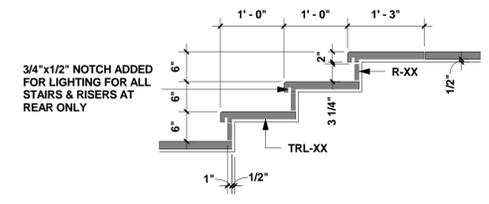
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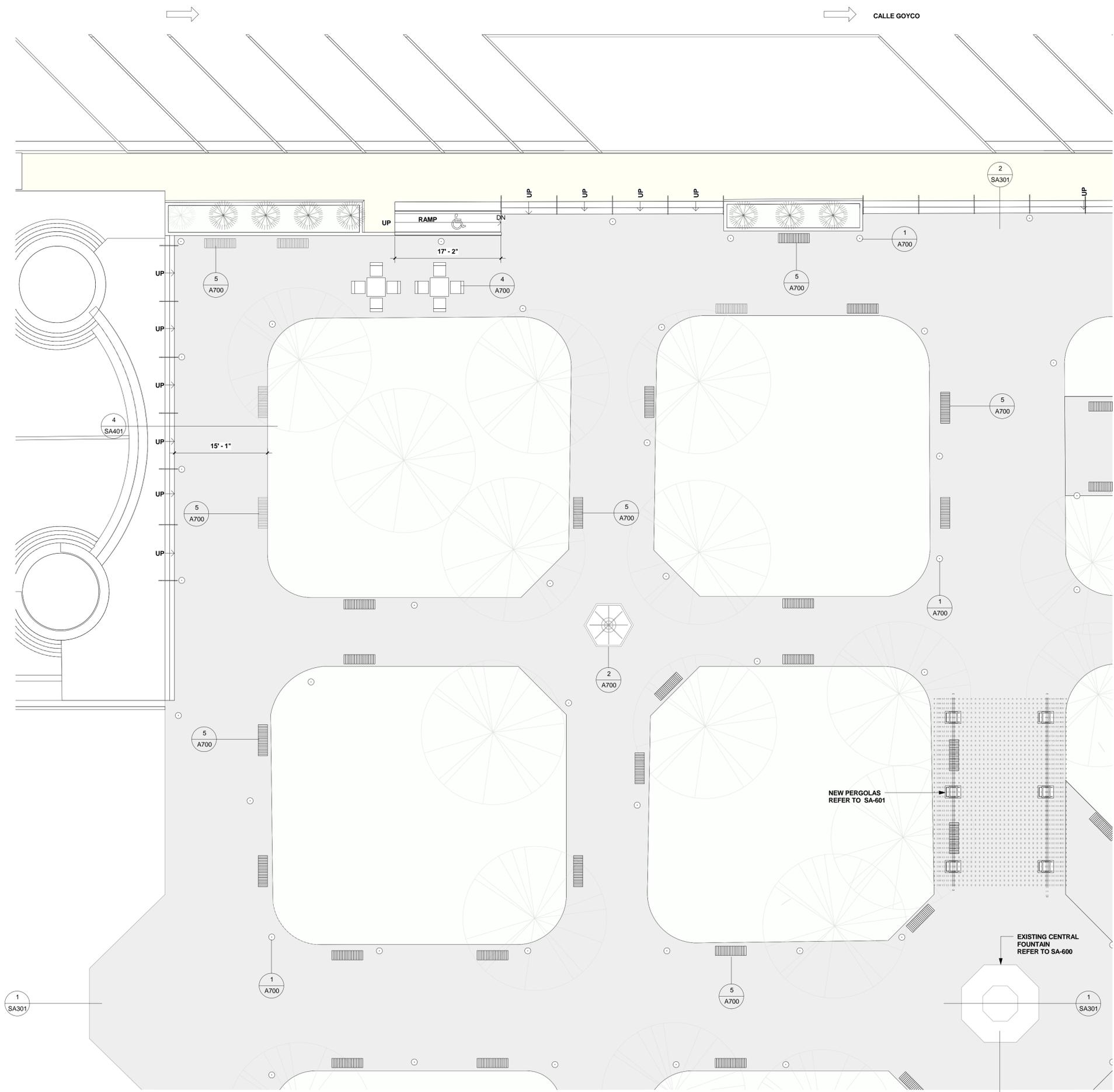
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8 Copy of WALL SECTION - A
1/2" = 1'-0"



1 SECTION TREADS/RISERS
3/4" = 1'-0"



1 ENLARGED VIEW - 2
1/8" = 1'-0"



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REVISION / DATE / DESCRIPTION

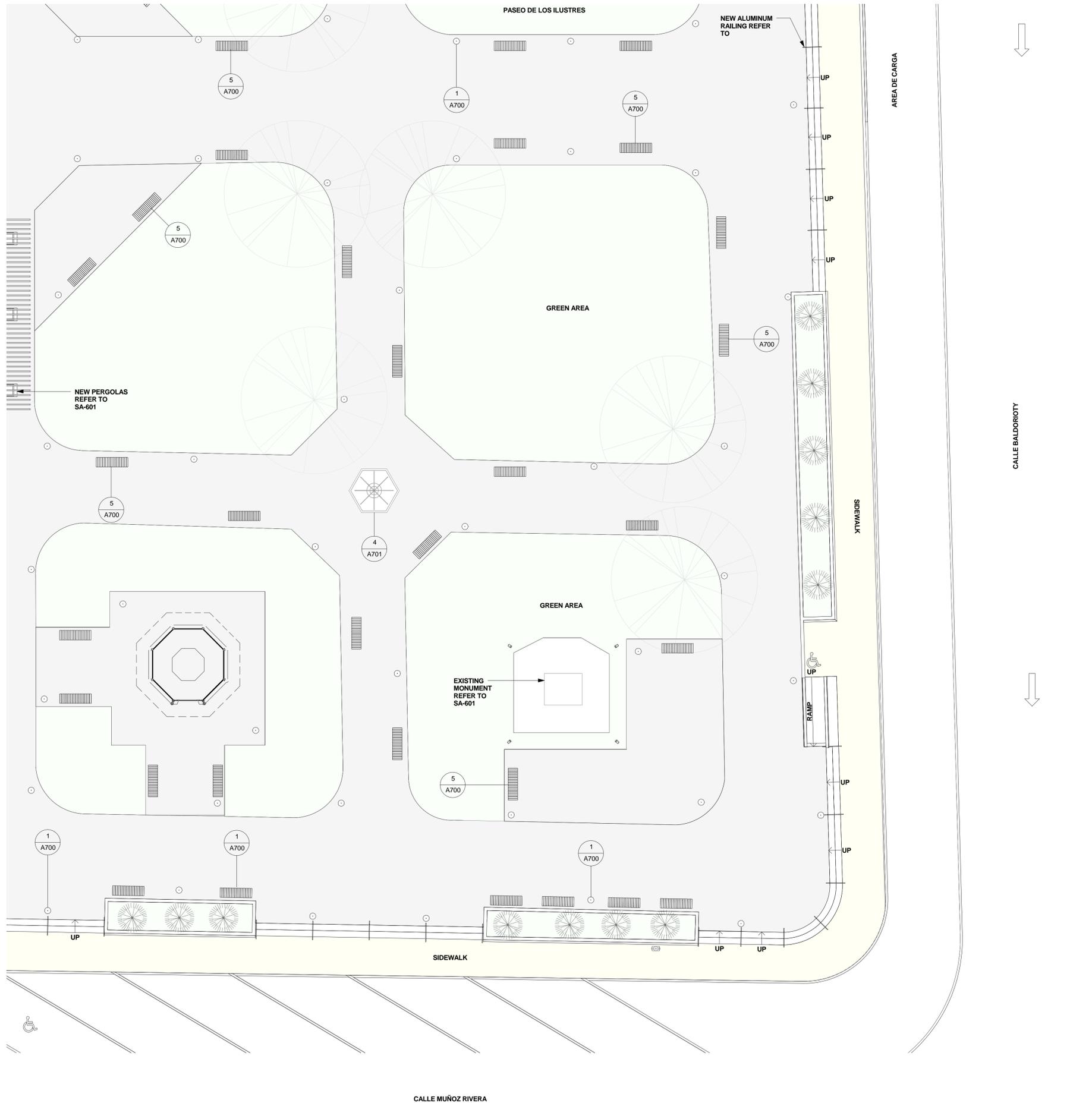
PROJECT: **PLAZA DE RECREO DE NAGUABO**
 NAGUABO, PR
 CLIENT: **MUNICIPIO DE NAGUABO**

PROJECT #: 53-002
 SCALE: 1/8" = 1'-0"
 DRAWN BY: Author

ENLARGED VIEW - 2

TITLE: **SA-502**

SHEET



1 ENLARGED VIEW - 4
1/8" = 1'-0"

CALLE MUÑOZ RIVERA

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 787.529.9551

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ARCHITECT:

CONSULTANT:

CERTIFIED BY:

REVISION / DATE / DESCRIPTION

PROJECT: **PLAZA DE RECREO DE NAGUABO**
 NAGUABO, PR

CLIENT: **MUNICIPIO DE NAGUABO**

PROJECT #: 53-002
 SCALE: 1/8" = 1'-0"
 DRAWN BY: Author

ENLARGED VIEW-4

TITLE: **SA-504**

SHEET



① LIGHT POST - NERI 801
3/8" = 1'-0"

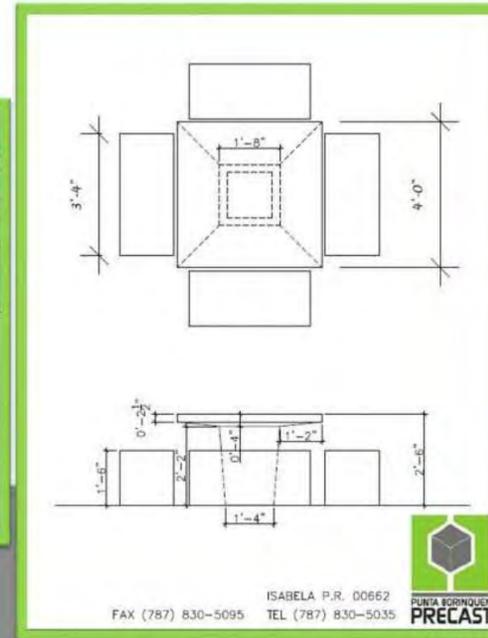


② VENETIAN OUTDOOR FOUNTAIN
3/4" = 1'-0"



③ TRASH CAN
3/16" = 1'-0"

SET DE MESA Y BANCOS MARGARITA



④ CONCRETE TABLE & BENCH
3/4" = 1'-0"



Bench, code 214.0002

⑤ BENCH TYPE 1
1 1/2" = 1'-0"

ARCHITECT:

CONSULTANT:

CERTIFIED BY:

REVISION / DATE / DESCRIPTION

PROJECT #

SCALE

DRAWN BY

MONUMENTS RESTAURATION AND DETAILS

TITLE

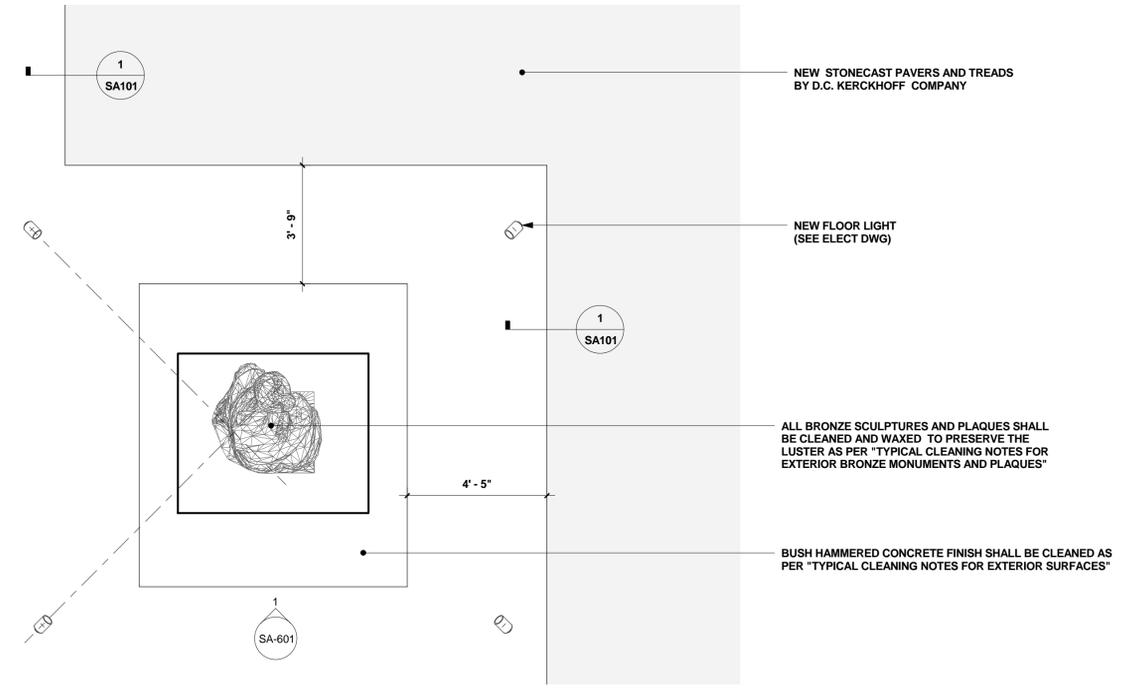
SA-601

SHEET

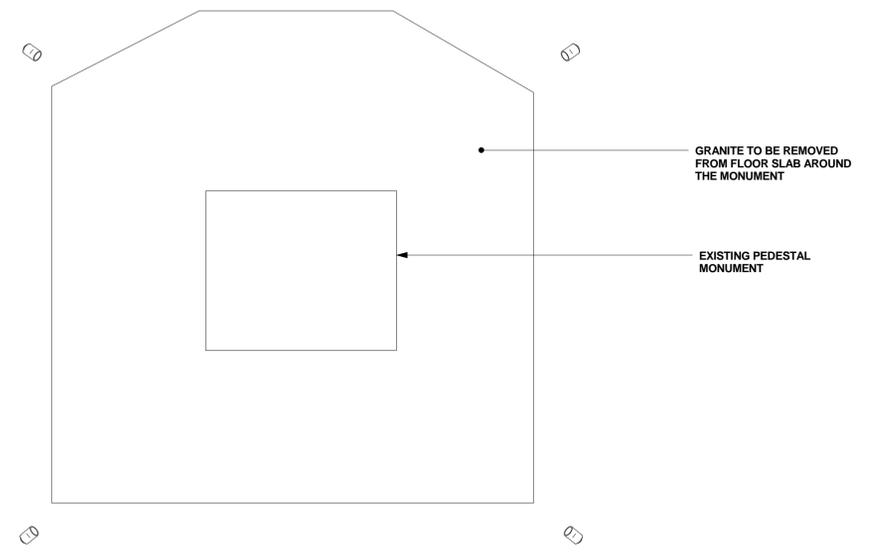
PLAZA DE RECREO DE NAGUABO

NAGUABO, PR

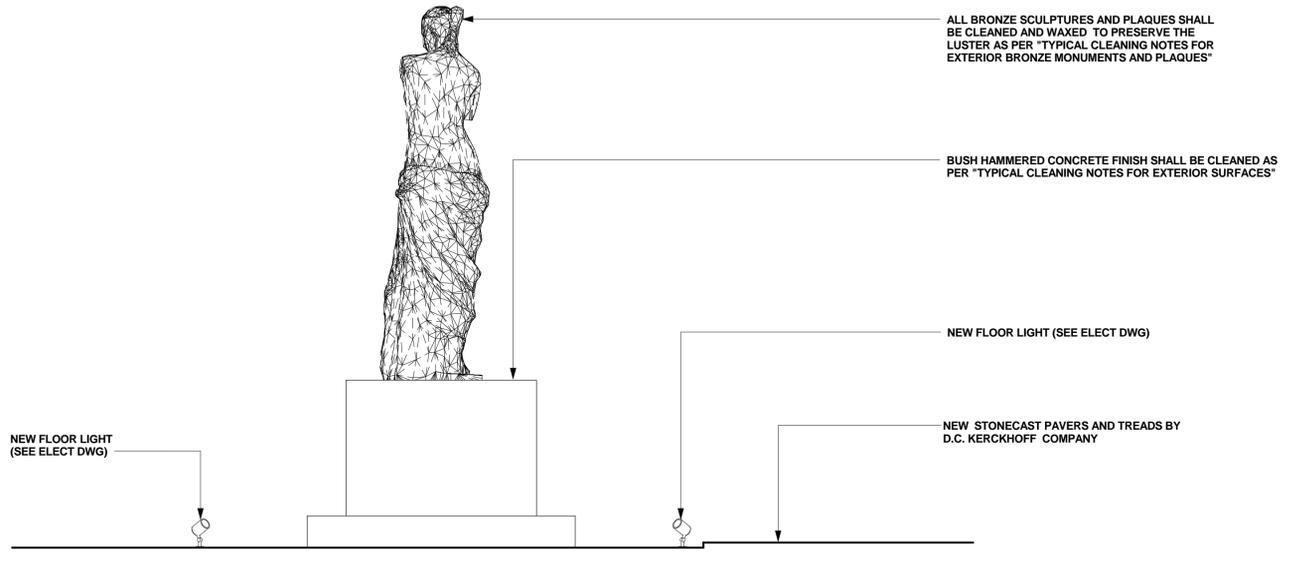
MUNICIPIO DE NAGUABO



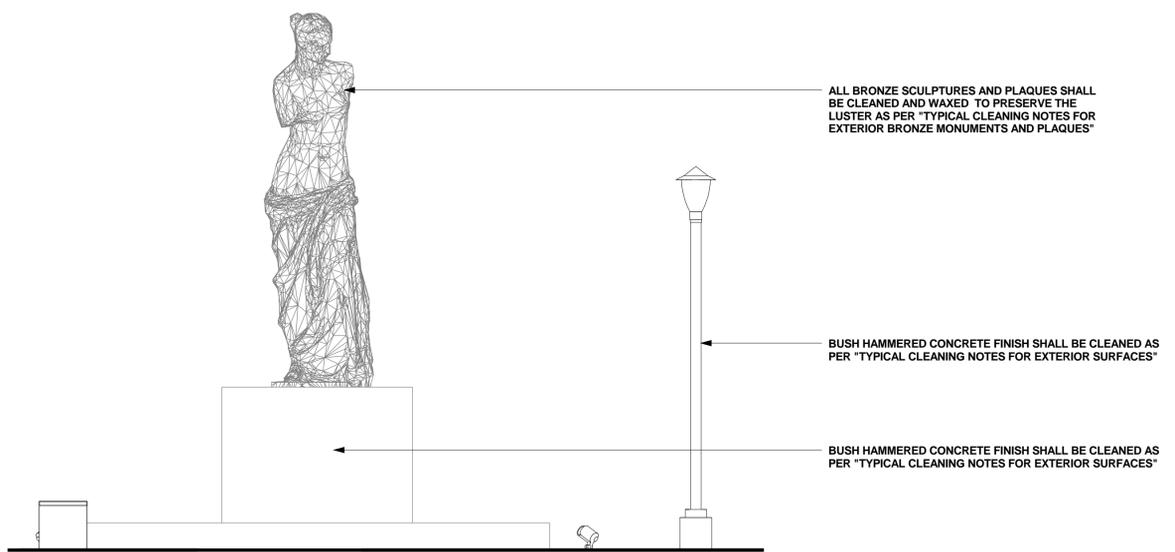
③ MONUMENT 1
 3/8" = 1'-0"



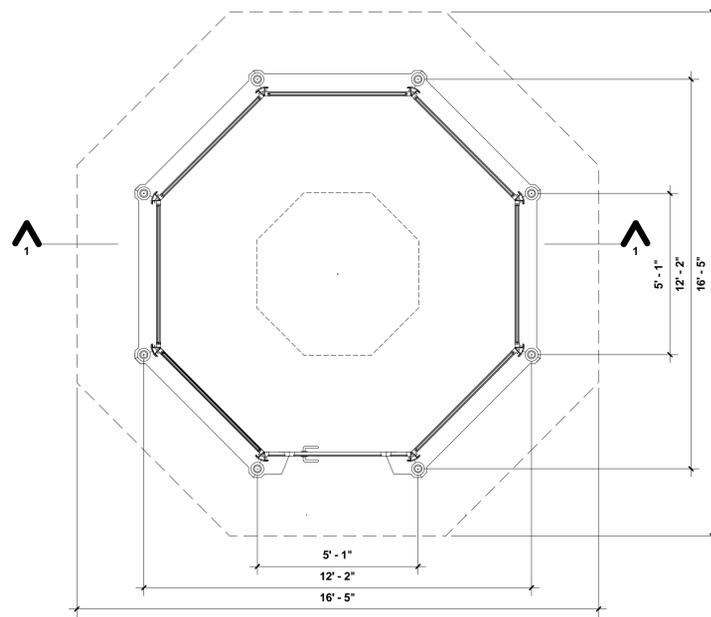
④ MONUMENT 2
 3/8" = 1'-0"



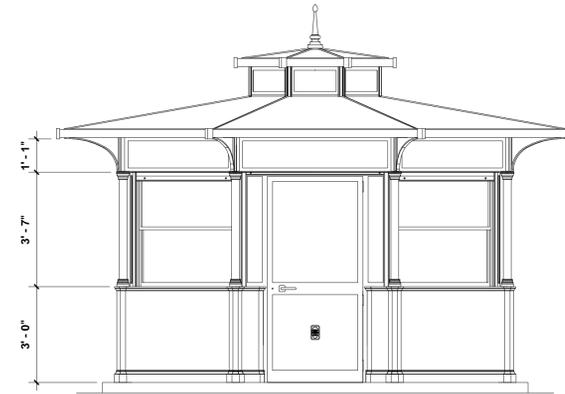
① ELEVATION - MONUMENT 1
 3/8" = 1'-0"



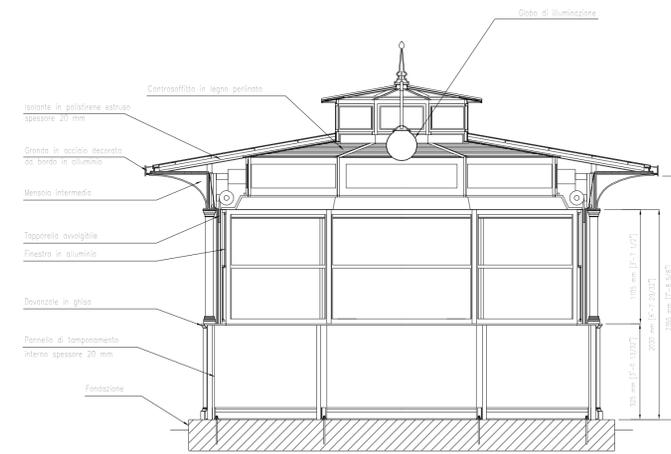
② ELEVATION - MONUMENT 2
 3/8" = 1'-0"



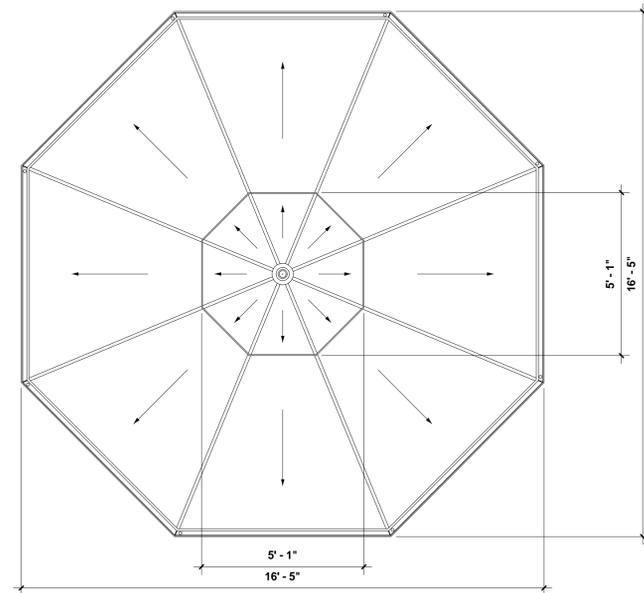
1 ARCHITECTURAL FLOOR PLAN - NERI
KIOSKS
3/8" = 1'-0"



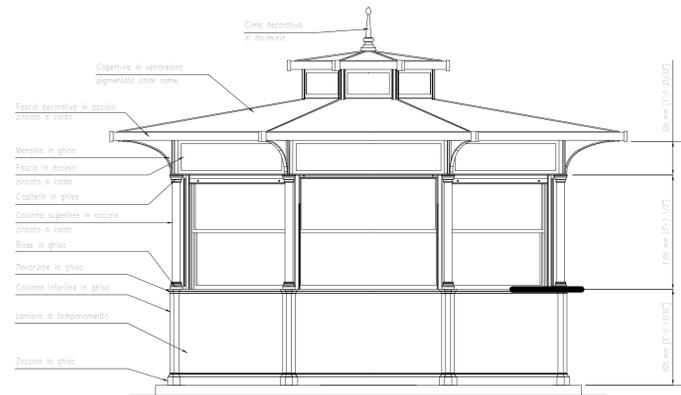
3 ARCHITECTURAL ELEVATION -1 - NERI
KIOSKS
3/8" = 1'-0"



5 ARCHITECTURAL SECTION - 1 - NERI
KIOSKS
3/8" = 1'-0"



2 ARCHITECTURAL ROOF PLAN - NERI
KIOSKS
3/8" = 1'-0"



4 ARCHITECTURAL ELEVATION -2 - NERI
KIOSKS
3/8" = 1'-0"



GOVERNMENT OF PUERTO RICO
STATE HISTORIC PRESERVATION OFFICE

Executive Director | Carlos A. Rubio-Cancela | carubio@prshpo.pr.gov

Wednesday, November 1, 2023

Lauren Bair Poche

HORNE- Architectural Historian Manager
10000 Perkins Rowe, Suite 610 Bldg. G
Baton Rouge, LA 70810

SHPO: 10-02-23-02 PR-CRP-000544 REHABILITACION Y MEJORAS EN LA PLAZA PÚBLICA DE NAGUABO Y SUS ALREDEDORES, ESQ. CALLE GOYCO Y GARZOT, NAGUABO, PUERTO RICO

Dear Ms. Poche,

Our Office has received and reviewed the above referenced project in accordance with 54 USC 306108 (commonly known as Section 106 of the *National Historic Preservation Act*, as amended), 36 CFR Part 800: *Protection of Historic Properties* and the Programmatic Agreement executed in 2016, as amended.

After a careful review of the information submitted and due to the complexity of the proposed restoration, we hereby request a meeting to discuss the entirety of the proposed undertaking with the designers of EM Architects Engineers and Consultalts.

Please contact our Office at your earliest convenience to coordinate the meeting, and specify what method you preffer, through Teams or in person at (787) 721-3737 or email, ediaz@prshpo.pr.gov.

Sincerely,

Carlos A. Rubio-Cancela
State Historic Preservation Officer

CARC/GMO/MDT





October 20, 2022

Arch. Carlos A. Rubio Cancela

Executive Director

State Historic Preservation Officer

Cuartel de Ballajá Bldg.

San Juan, Puerto Rico

Re: Authorization to Submit Documents

Dear Arch. Rubio Cancela:

The U.S. Department of Housing (HUD) approved the allocations of Community Development Block Grant (CDBG-DR) funds on February 9, 2018. It also approved the allocation of Community Development Block Grant Mitigation (CDBG-MIT) funds on January 27, 2020. The purpose of these allocations is to address unsatisfied needs as a result of Hurricanes Irma and Maria in September 2017; and to carry out strategic and high-impact activities to mitigate disaster risks and reduce future losses.

To comply with the environmental requirements established by HUD, the Department of Housing of Puerto Rico (PRDOH) contracted Horne Federal LLC to provide environmental registry review services, among others, that will support the objectives of the agenda for both CDBG-DR and CDBG -MIT Programs.

In line to expedite the processes, Horne Federal LLC, is authorized to submit to the State Historic Preservation Officer, documentation of projects related to both the CDBG-DR and CDBG-MIT on behalf of PRDOH.

Cordially,

Juan C. Pérez Bofill, P.E. M.Eng

Director of Disaster Recovery

CDBG DR-MIT

October 2, 2023

Carlos A. Rubio Cancela
State Historic Preservation Officer
Puerto Rico State Historic Preservation Office
Cuartel de Ballajá (Tercer Piso)
San Juan, PR 00902-3935

Puerto Rico Disaster Recovery, CDBG-DR City Revitalization (City-Rev) Program

Section 106 NHPA Effect Determination Submittal for PR-CRP-00544: Rehabilitación y Mejoras en la Plaza Pública de Naguabo y Sus Alrededores Project, Naguabo, Puerto Rico – *No Adverse Effect*

Dear Architect Rubio Cancela,

On February 9, 2018, an allocation of Community Development Block Grant - Disaster Recovery (CDBG-DR) funds was approved by the United States Department of Housing and Urban Development (HUD) under the Federal Register Volume 83, No. 28, 83 FR 5844, to assist the Commonwealth of Puerto Rico in meeting unmet needs in the wake of Hurricanes Irma and Maria. On August 14, 2018, an additional \$8.22 billion recovery allocation was allocated to Puerto Rico under the Federal Register Volume 83, No. 157, 83 FR 40314. With these funding allocations, the Puerto Rico Department of Housing (PRDOH) aims to lead a comprehensive and transparent recovery for the benefit of Puerto Rico residents. To faithfully comply with HUD's environmental requirements, the Puerto Rico Department of Housing contracted Horne Federal, LLC (HORNE) to provide environmental records review services that will support the Department's objectives Puerto Rico Housing (PRDOH) for CDBG-DR.

On behalf of PRDOH and the subrecipient, the Municipality of Naguabo, HORNE is submitting documentation for the proposed Rehabilitación y Mejoras en la Plaza Pública de Naguabo y Sus Alrededores Project. The project area is within the boundaries of the Naguabo Traditional Urban Center which is eligible for listing in the National Register of Historic Places. The proposed project consists of improvements to the main town plaza which will include but are not limited to: new stairs, ramps, ADA ramps, planting areas, flooring, tree plantings, two kiosks, a pergola, new parking configuration around the plaza, the restoration of the central fountain and replacement of four smaller fountains. The full scope of the project is described in detail within the submitted documentation, which includes mapping, photographs, and 60% design plans.

Based on the provided documentation, the Program requests a concurrence with a determination that no adverse effect to historic properties is appropriate for this undertaking, conditioned to archaeological monitoring to be conducted during ground disturbing activities and the submission of a work plan for review and approval.

Please contact me with any questions or concerns by email at lauren.poche@horne.com or phone at 225-405-7676.

Kindest regards,

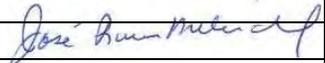


Lauren Bair Poche. M.A.

Architectural Historian, Historic Preservation Senior Manager

Attachments

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CITY-REV) Section 106 NHPA Effect Determination		 <small>GOVERNMENT OF PUERTO RICO DEPARTMENT OF HOUSING</small>
Subrecipient: Municipality of Naguabo		
Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.		Project ID: PR-CRP-000544

Project Location: Esq. Calle Goyco y Garzot, Naguabo	
Project Coordinates: Lat: 18.21203100, Lon: -65.73509116	
TPID (Número de Catastro): 256-013-014-02	
Type of Undertaking: <input checked="" type="checkbox"/> Substantial Repair <input type="checkbox"/> New Construction	
Construction Date (AH est.): 1820	Property Size (acres): 1.71767acreage
SOI-Qualified Archaeologist: José Rivera Meléndez	
Date Reviewed: September 21, 2023	
SOI-Qualified Architect: Eli M. Martínez Beléndez	
Date Reviewed: September 28, 2023	

In compliance with Section 106 of the National Historic Preservation Act (NHPA), the Program is responsible for identifying historic properties listed in the NRHP and any properties not listed that would be considered eligible for listing that are located within the geographic area of potential effects (APE) of the proposed project and assessing the effects of its undertakings on these historic properties.

Project Description (Undertaking)

The Municipality of Naguabo owns the public square (*plaza*) which was originally built in 1820 when the municipality was established.¹ The *plaza* marks the traditional urban center. It is facing the City Hall to the east and the Nuestra Señora del Rosario Church to the west.

The *plaza* has five fountains and bronze statues in the northeast and southeast corners. There are no sources identifying the exact date of construction of the four smaller fountains. The main fountain in the center was documented in photos *circa* 1915.² The main fountain in the center is to be restored and repaired. The four (4) smaller fountains located in the center of the plaza's quadrants are in poor condition and will be replaced.

The plaza itself is elevated approximately sixteen (16) inches on the north side and fourteen (14) inches on the south side. The proposed project includes the construction of new stairs, railings, and ramps to

¹ Rosario Natal, Carmelo. *Historia de Naguabo (Primera Parte) Orígenes, fundación y primeros tiempos: 1511-1825*. Cited on Schlafer, Ethel V. *Archeological Evaluation Phase I, Remodeling of the Town Plaza, Naguabo, Puerto Rico*. October 1998.

² Sepúlveda Rivera, Anibal. 2008. *Puerto Rico Urbano: Atlas Histórico de la Ciudad Puertorriqueña*. San Juan: Ediciones Carimar. Vol. 3, p. 283.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CITY-REV) Section 106 NHPA Effect Determination	 <small>GOVERNMENT OF PUERTO RICO DEPARTMENT OF HOUSING</small>
Subrecipient: Municipality of Naguabo	
Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.	Project ID: PR-CRP-000544

provide accessibility for wheelchairs. The existing sidewalk, concrete curb, and swale will be demolished and reconstructed to incorporate new ramps. Additionally, new planting areas will be constructed between the new sidewalk and the plaza's border. The sixteen (16) existing gardens will remain the proposed design, and new concrete floor tiles will be installed throughout the plaza.

Visual distinctions using different materials will differentiate new paved areas within the gardens, preserving a visual record of the original plaza's existing design. There will be no removal of trees in the proposed design and new trees to be planted in the corners of various gardens to align with historical photographs.

The *plaza* has a total paved area of thirty-nine thousand, two hundred and thirty (39,230) square feet. In a significant portion of the *plaza*, granite tiles were initially installed, but this installation was left incomplete, resulting in a substantial area of the *plaza* having an exposed concrete slab and an undesired change in floor level at the installation's borders. There is no documented history of this intervention, and it currently remains unfinished. Approximately twenty-three thousand six hundred fifteen (23,615) square feet of granite will be carefully removed and returned to the Municipality. Existing stairs around the *plaza*, which do not meet current code compliance and lack wheelchair access ramps, will be demolished. All benches and light posts will be carefully removed and returned to the Municipality as well.

Additionally, the proposed project includes the construction of two (2) new kiosks in the northeast and southeast quadrants of the *plaza*. New electrical and plumbing facilities will be installed for both the kiosks and the existing fountains. A new pergola is planned for the north and south sides of the central fountain, while the four (4) smaller fountains will be replaced, along with the necessary plumbing and electrical facilities for their operation. The central fountain will be restored.

Ground disturbances will be limited to specific areas, including those around the proposed kiosks to accommodate plumbing and electrical facilities, the *plaza's* border for the construction of new stairs and ramps, and areas designated for new electrical and plumbing piping for the fountains and light posts. All demolition activities will adhere to a depth limit of three (3) feet.

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Furthermore, the project proposes a new parking configuration around the *plaza*, resulting in twenty-four (24) parking spaces, including three (3) designated for handicapped access. Additionally, new loading areas are designated for businesses surrounding the *plaza*, and a space for a small public transportation (trolley) stop is planned for the northeast side.

Area of Potential Effects

Based on the definition of Area of Potential Effects (APE) and the nature and scope of the Undertaking, the Program has determined that the direct APE for this project is 1.71767 acreage, and the visual APE is the view shed of the proposed project.

Refer to Figure 1 for the aerial map illustrating the APE. The project is within the boundaries of the National Register of Historic Places (NRHP) in the Naguabo Traditional Urban Center as defined by the State Historic Preservation Office (SHPO). Refer to Figure 2 for the aerial map illustrating the Naguabo Traditional Urban Center's limits with APE.

The boundaries of the APE are as follows: on the north with Goyco Street, on the east side with Baldorioty Street, on the south with Luis Munoz Rivera Street, and the west with Nuestra Senora del Rosario Church, an outdoor theater (*concha acústica*), and a parking lot. The description of the APE boundary is as follows: On the north is Goyco Street, on the east side is Baldorioty Street, on the south is Luis Munoz Rivera Street, and on the west is Nuestra Senora del Rosario Church, an outdoor theater (*concha acústica*) and a parking lot. The main entrance to the Church occurs on the west side of the *plaza* and is on the same axis as the central fountain. The Church is a registered historic site within the boundaries of the NRHP in the Naguabo Traditional Urban Center as defined by SHPO. Refer to Figure 2 for the aerial map illustrating the Naguabo Traditional Urban Center's limits with Project APE. Refer to Figure 9 for images of the APE's borders.

Identification of Historic Properties – Archaeology

Existing information on previously identified historic properties has been reviewed to determine if any such properties are located within the APE of this Undertaking. The review of this existing information by a Program contracted Historic Preservation Specialist meeting the Secretary of the Interior's Professional Qualification Standards (36 CFR Part 61) shows that the project area is directly adjacent

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to the Nuestra Señora del Rosario Church (#1 Figure 1) which is in the National Register of Historic Places (NRHP), and 0.01 miles south of the Insular Fires Service Station (currently a Police Station), 0.01 miles south of the Lodge *Caballeros del Bien*, 0.01 miles west of the City Hall, 0.01 miles of the Municipal Theater, 0.01 miles from the commercial building located on the corner of Baldorioty and Luis Muñoz Rivera Street, 0.04 miles east from of a residence now occupied by a financial local institution (Banco Popular; #7 Figure 1) and 0.11 miles east of the municipal cemetery which is also listed as eligible to be included in the NRHP. For images of buildings surrounding the *plaza* refer to Figures 4 & 4A.

The methodology used to produce this report began by identifying all archeological studies performed around the APE. The following is a list of previous archeological research reviewed. The studies and their relation to the APE are referenced in the aerial map provided in Figure 7.

Table 1. Cultural Resource Studies conducted within quarter-mile radius of Project Area

Author	Title	Year	SHPO/IPRC ID	Results	Distance From APE
1. Maria A. Cashion Lugo	Archeological Evaluation Phase 1A for Ralph's Food Warehouse Project, PR Road 31, KM 3.6, <i>Barrio El Duque</i> , Naguabo, Puerto Rico	4/2002	NG-02-06-02	Negative	0.21 miles NW
2. Juan González Colón	Archeological Evaluation [Phase IA], Naguabo High School Project, Naguabo, Puerto Rico.	1/1994	NG-94-02-07	Negative	0.16 miles SW
3. Juan González Colón	Archeological Evaluation (Phases IA-IB), Naguabo Central Housing Apartments, Municipality of Naguabo.	8/1992	SHPO 08-13-92-01	Negative	0.11 miles W
4. Iván F. Méndez Bonilla	Evaluation of Cultural Resources Phase IA, Project: <i>El Hogar Adventista</i> , Antonio Rios St. 6, <i>Barrio Pueblo</i> , Naguabo, PR	1/2008	NG-08-11-01	Negative	0.02 miles E
5. Ethel V. Schlafer Román	Archeological Evaluation Phase I, Remodeling of the Town <i>Plaza</i> , Naguabo, Puerto Rico.	10/1998	NG-98-04 SHPO 04-14-99-11	Positive	0.00 miles

The table above is an inventory consisting of five (5) archaeological studies conducted within the 0.25-mile radius from the APE. The archeological studies were developed for different purposes in the span of over 20 years (1988 to 2008). The intention was to identify sites of archaeological value. Figure 7 shows an aerial map with the locations of prior investigations conducted on properties surrounding the APE). The description of the studies and their respective conclusions (marked in bold) were as follows:

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The following are the translated Revised Studies:

1. **Cashion Lugo, María A. Archaeological Evaluation Phase 1A for Ralph's Food Warehouse Project, PR Road 31, KM 3.6, Barrio El Duque, Naguabo, Puerto Rico. April 30, 2002. NG-02-06-02**

Location/Description:

"The project of reference is located in *Barrio El Duque*, which is located in the Municipality of Naguabo, Road PR-31, Km. 3.6. The Lambert coordinates are X=225,905 Y=42,615. The total area of the plot is 1.8023 or 7,083.7356 square meters. The construction and development of the property is summarized as follows:

- Supermarket (RFW) 38,552.00 square feet
- Profitable Space #2 3,515.00 square feet
- Profitable Space #1 8,325.00 square feet
- Promenade 5,335.00 square feet
- Loading and Unloading 982.50 square feet".

The project's objective is the development of a supermarket with a building made of steel and a parking area using the existing building.

Conclusions/ Recommendations:

"The area to be developed didn't show any evidence of pre-Hispanic nor historical materials on the surface that could be considered to be originally in the property. The property has been refilled, particularly the area that will be used as a parking lot. The existing facilities will not be demolished but extended through constructing an annexed building in the front and back areas, made of steel beams."

"The results of the archive investigation and a field visit were negative regarding significant materials on the surface. "We can then conclude, based on the previously mentioned results, that the area to be developed for this project has been severely impacted by human action. That said, lots have been cleaned up and severely affected by heavy machinery, and the terrain remains composed of sterile sandy clay with fill." Based on this data, the author requests an endorsement of the proposed project.

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2. **González Colón, Juan. Archeological Evaluation [Phase IA], Naguabo High School Project, Naguabo, Puerto Rico. January 19, 1994. NG-94-02-07**

Localization/Description:

"The lots to be intervened with during the project's construction are located in a section of the urban area of the Municipality of Naguabo." The plot boundaries to be intervened with are as follows: on the north, undeveloped lots; on the east, a residential development; on the south, a section of the *Buenos Aires* Street; and on the west, undeveloped lots.

It has an approximate area of four (4) *cuerdas*, which is 3.88 acres; its topography is essentially flat with a slight slope on the south side. An intermittent creek with a course that goes from north to southeast is located on the western boundary; the creek receives rainwater and connects various stormwater channels from the urban area. A shallow overflow that originates in the central part of the lot discharges its intermittent flow into the adjoining creek."

Conclusions/Recommendations:

"The documentary investigation and the search or inspection carried out have demonstrated that **no cultural resources exist in the property that will be developed.**" Based on the negative results obtained in Phase 1A, the author requests the endorsement of the project from the corresponding agencies.

3. **González Colón, Juan. Puerto Rico State Historic Preservation Office/ Juan González Colón. Archeological Evaluation (Phases IA-IB), Naguabo Central Housing Apartments, Municipality of Naguabo. August 12, 1992 SHPO 08-13-92-01.**

Localization/Description

"The land plot in which the residential project will be developed is located on the northeastern side of the urban center of the Municipality of Naguabo." The boundaries of the lot are the following: on the north, the municipal cemetery, and private lots; on the east, a municipal street; on the south and the east, lots occupied by residences of several neighbors.

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The project to be developed will occupy a stretch of land that measures 2.09 acres; the remaining plot of land of .97 acres will be used for future development. The plot has a total extension of 3.06 acres. The study of archeological evaluation was performed, including this plot in its entirety."

The project contemplates the construction of five housing buildings with one (1), two (2), and three (3) bedrooms. Parking places, passive areas and all the necessary infrastructures will be built. **The documentary investigation and the rigorous field testing have demonstrated a total absence of cultural resources in the plots to be developed."**

The study's author requests the endorsement of SHPO for this project.

4. **Méndez Bonilla, Iván F. Evaluation of Cultural Resources Phase IA, Project: *El Hogar Adventista, Antonio Ríos St. #6, Barrio Pueblo, Naguabo, Puerto Rico. January 21, 2008. NG-08-11-01***

Location/Description:

"The proposed construction project site *El Hogar Adventista* is in front of Antonio Ríos Street in the eastern part of the urban zone of the Municipality of Naguabo, Puerto Rico. The land to be built on has an area of 0.62 *cuerdas* (equal to 2,457.74 square meters). The property is an empty land, and there is no evidence of any previous construction. Adjacent to the land on the north is the Adventist Church; on the west are residential lots, and on the south and east are empty lots."

"The Lambert coordinates of the site are:

X=226,100 E

Y=42,200 N

"The proposed project purpose is the development of residential facilities with 37 social interest apartment units for the elderly and physically handicapped with scarce resources. This project will be a gated community with an entrance on Antonio Ríos Street. The main or vehicular entrance to the project will lead to the main parking area, which includes spaces for twenty-four (24) vehicles and will provide facilities for dropping off and picking up residents. The parking lot is designed in compliance with the requirements established in Topic 9, Section 74.00 of *Reglamento de Zonificación de Puerto Rico*, including two (2) accessible parking spaces designed to comply with local requirements and those established in the *Americans with Disabilities Act*. Pedestrian accesses will connect this area with

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the rest of the project facilities, and appropriate slopes will be designed to allow the circulation of people with mobility difficulties.”

“The project *El Hogar Adventista* contemplates designing and constructing a five-level structure. The first will include one apartment and the administrative and resident services facilities. The remaining four levels will house nine apartments per floor for thirty-seven (37) units. Two elevators and two stairs strategically placed in the building provide the facilities and services the project offers.”

“Besides the administrative facilities, the project will have a social services facility, recreational areas, public restrooms, laundry, and storage areas for the residents. The project will include a potable water cistern with capacity for emergency services for the firefighters and an emergency electric generator with the capacity to supply basic needs for the project and facilities and personnel for maintaining the areas and the facilities.”

Conclusions/Recommendations:

“After concluding the Phase 1A Archeological Evaluation for the proposed project “El Hogar Adventista, the investigation shows that there are **no archeological deposits in the site that should be protected from possible impact since there is no evidence of the site having been occupied in prehistoric or historic eras.**”

“The Phase 1A documentary evaluation did not provide information of a possible site with archeological or historical material and having undertaken the fieldwork without finding any evidence of materials associated with prehistoric or historical cultural groups, we do not request that the studies be extended to the proposed project site, for which we recommend your endorsement to this project.”

5. Ethel V. Schlafer Román. *Archeological Evaluation Phase I, Remodeling of the Town Plaza, Naguabo, Puerto Rico. October 5, 1998.*
 NG-98-04-04/SHPO 04-14-99-11

Localization/Description:

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“The *plaza* (*plaza*) is in the center of the town. It borders to the South with Muñoz Rivera Street, to the north with Goyco Street, to the east with Baldorioty de Castro Street, and to the west with the Nuestra Señora del Rosario Catholic Church.”

Conclusions/Recommendations:

“The results of the documentary investigation, as well as the fieldwork, **reveal the presence of a dense cultural, historical deposit within the limits of the *plaza* and architectural elements associated with its original construction.** Several hypotheses could explain the presence of said deposit, especially when the historical documentation indicates that the original *plaza* was located at a much lower level.”

1. For it to be a secondary deposit, used as a land refill in the *plaza*.
2. For it to be an in-situ deposit affected and removed by the intervention in the *plaza* during different periods.”

On the other hand, it is possible that in said deposit (or underneath it) can be found the original floor of the *plaza* and other related architectonic elements, such as the aqueduct system of the Santiago River towards the center of the *plaza*.”

“Based on the results of this investigation, it is recommended that a Phase II Archeological investigation be carried out to determine the potential of this deposit, its horizontal-vertical extension, and its archeological integrity. This phase should include, as a secondary objective, finding the original floor of the *plaza* and other structural elements. With the results of this Phase II study, it must be determined if the *plaza* is eligible to be in the National Register of Historic Places.”

As part of the research methodology, interviews were also conducted to gather information on the surrounding structures that were occupied at the time. In recent months, five people aged 55 to 80 were interviewed.³ The interviewees lived, worked, and frequented the study area. In addition, we visited the “La Casa del Historiador,” where we could interview Mr. Carlos Osvaldo Suárez, from whom we obtained some of the historic images of the Traditional Urban Center of Naguabo included in this Report. The questions covered construction dates, general information on the original structures,

³ The persons interviewed were Mr. Félix de León, Mrs. Pilar Quiñones, Mr. Martin Sánchez, and Mrs. Carmen Luz Rivera.

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previous owners, and historical uses. Figure 4A is an inventory of various buildings around the APE. All comments and feedback provided by the people interviewed were included in the comments part of the table. Figure 8 shows the locations of the historic buildings listed in the municipality of Naguabo.

Identification of Historic Properties – Architecture

Existing information on previously identified historic properties has been reviewed to determine if any such properties allocated within the APE of this undertaking. The review of this information by a Program contracted Historic Preservation Specialist meeting the Secretary of Interior's Qualification Standards (36 CFR Part 61) shows that the project area is within the traditional urban center of Naguabo and is directly adjacent to the Nuestra Señora del Rosario Church (NG-34). The *plaza* itself is eligible to be included in the NRHP and is directly surrounded by five (5) buildings that are also eligible to be included in the NRHP. Refer to Figure 3 to see the project location in relation to the registered and eligible places around the *plaza*.

History of Municipality of Naguabo

The town of Naguabo emerged around a humble chapel belonging to the owners of the Rios, Cayure, and Peña Pobre estates in the late 18th century. It was dedicated to their revered patrons, the *Virgen del Rosario* and *San Juan Nepomuceno*, the Martyr. The veneration of these saints may have been brought by Catalan settlers due to their influence from the South of France, where the religious figure was martyred.

The residents of agricultural and livestock estates were settled in the growing urban settlement, which was officially organized as a town in 1794. The land where the settlement began, located between the Cecilia and La Fe ravines, was inhospitable and rugged. The hills and swampy terrain hindered orderly development of the town and the layout of parallel and converging streets around a central square, as was required in urban planning in Puerto Rico. In 1815, during his visit to Naguabo, the Governor of the Island ordered the town to be relocated to the Santiago District and instructed the construction of a Church since it was a better location for its development. In 1817 plans were presented to the municipal board for a new building but the plan was rejected due to the scarcity of resources and funds for the construction. By 1820, work on the relocation was in progress. Arrangements were made with Don Cristóbal Ramírez, the owner of the land in the Santiago District,

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where a provisional chapel would be built as agreed upon by municipal and ecclesiastical authorities. The town chapel was initially built out of bricks and wood. It was finished in 1829. In 1847 a new stair and bell was added to the design. It remained in use until 1856 when it was replaced by a new structure.

Nuestra Señora del Rosario Church

Nuestra Señora del Rosario Church was registered in the NRHP on December 10, 1984, under NRIS: 84000456.⁴ The Church's main entrance is on the plaza's west side. It is aligned with the main fountain in the center of the *plaza*. The *plaza*'s main fountain is partially aligned with the City Hall.

The Church's main structure was built in 1856, and the façade was remodeled in 1858 according to plans by engineer Mariano Bosch. The bell tower was added in 1913. The façade is divided into three vertical naves separated by Doric pilasters in the colossal order. The central area is the main entrance, accentuated by the bell tower.

All works proposed will not cause changes in the character or use of the Nuestra Señora del Rosario Church or other identified eligible properties around the *plaza* or the *plaza* itself.

Public Square (*Plaza*)

According to the archaeological studies revised, particularly the Fase 1A study conducted on the *plaza* (Refer to study #5 on Table 1), there is a lack of documentation regarding the original design of the *plaza* and of subsequent renovations. Even though the time of construction is established in 1821 there are no actual details of how it was constructed. Study #5 points out that most of the *plazas* at the time were just open areas covered with gravel and that at some point after it was built, the *plaza* was five (5) steps lower than the Church.⁵ The study also quotes construction documents from the final inspection of the Church by engineers from the Spanish army.⁶ Sepúlveda Rivera's publication

⁴ Puerto State Historic Preservation Office. *Propiedades de Puerto Rico incluidas en el Registro Nacional de Lugares Históricos*. San Juan: Office of the Governor. November 20, 2020. 20.

⁵ Schlafer, Ethel V. *Archeological Evaluation Phase I, Remodeling of the Town Plaza, Naguabo, Puerto Rico*. October 1998, p. 10.

⁶ Ibid.

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shows an image of 1912 were demonstrated that the northeast corner of the *plaza* is visible and there are no steps visible.⁷

Even though there are no records of the original design and the following interventions, the *plaza* itself is a part of the historic center of the Municipality of Naguabo. The church, the town hall and the *plaza* were necessary elements to establish a Municipality. The *plaza* has provided the citizens of Naguabo a space to congregate for trade, economic, civic, and political reasons throughout its history. Currently, the *plaza* is a space where people still congregate and host a different range of activities. The plaza is directly surrounded by businesses, government buildings like the mayor's office, the police station, civic spaces like the municipal theater and is directly adjacent to the Nuestra Señora del Rosario Catholic Church.

Our research found the first aerial photos of the Municipality of Naguabo taken in 1936. These pictures depict a circular design in the gardens on the plaza's northwest quadrant. No signs of the steps are visible, and we don't know when the *plaza* was raised from its original level. In the aerial photos taken in 1951 and 1964, the gardens can be seen in their current shape. We also found photos of the central fountain from 1915. Upon inspection of the 1915 photo of the central fountain, it is evident that the original fountain has been modified since. There is no record of when the *plaza* was changed or by whom, nor when the four (4) smaller fountains were constructed. Refer to Figures 10, 11, and 12 for the aerial views of the Photogrammetry Division at Puerto Rico Highway Authority (ACT).

Determinations

- Direct Effect:
 - **Architecture** – After examining the project undertaking, available studies, and historical documents available, we conclude that the proposed project **will not** have an adverse direct effect on the existing structure and surrounding structures. This determination is supported by the following factors:

Lack of Historical Documentation: Despite limited documentation regarding the original design and subsequent renovations of the plaza, available studies suggest that the plaza may have initially consisted of open areas covered with

⁷ Sepúlveda Rivera. Vol. 3, p. 282.

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gravel or stones. There is no detailed historical account of its original construction or subsequent changes. The first aerial photograph available illustrates a plaza with a different design. We determined, via aerial photographs, that the current design has been visible since 1964. The proposed project will retain the overall design and use of the existing *plaza*.

Conservation of Historic Features: The proposed project plans to replace certain existing features such as benches, light posts, light fixtures, and floor finishes. The existing benches and light posts are in poor and deteriorated condition. What remains of them are to be carefully removed and returned to the Municipality. These items are specified in the construction plans and have been presented and reviewed by the *Instituto de Cultura Puertorriqueña*. The proposed light posts (801 by Neri) and benches are commonly used in historic areas and selected for their traditional appearance. Other features of the existing design like the central axis view from east to west, which is historically significant, will remain unobstructed. Secondary paths that align on east to west and north to south axes will remain unobstructed as well. The four smaller fountains will remain in the design. The current overall layout of the plaza will remain. The statues in the plaza and the existing trees will remain as focal features in the proposed design. New trees will be planted in the gardens. Improvements proposed along the border of the plaza will not incorporate elements that alter the character of the *plaza* and will make the plaza wheelchair accessible.

Historic Significance: The *plaza* is an integral part of the historic center of the Municipality of Naguabo, dating back to the establishment of the municipality in 1820. It has historically served as a space for trade, economic, civic, and political activities, maintaining its importance to the community to this day. The plaza continues to be a central gathering space for citizens, surrounded by businesses, government buildings, the municipal theater, and the Nuestra Señora del Rosario Catholic Church. Its ongoing use for various activities underscores its continued cultural significance.

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Photographic Evidence: Historical aerial photographs from 1936 depict a circular garden design on the plaza's northwest side, suggesting that changes have occurred over time. Subsequent aerial photos from 1951 and 1964 show the gardens in their current configuration. Additionally, a 1915 photo of the central fountain indicates that modifications have been made to it over the years. However, there is no documented record of when these changes occurred or by whom. The central fountain will be repaired and will not be relocated or demolished.

Given these considerations, it is evident that the proposed project aims to improve accessibility, safety, and functionality within the plaza while respecting its historical context and significance. The renovations, including the addition of new ramps and kiosks, align with current building codes and accessibility standards. The project does not pose an adverse direct effect on the existing structure or surrounding structures.

- o **Archaeology** - The results of the documentary research and those of the fieldwork reveal the presence of a dense historical cultural deposit within the limits of the plaza and the presence of architectural elements associated with the original construction of the plaza. Several hypotheses can explain the existence of this deposit in the plaza, especially when historical documentation indicates that the original plaza was at a lower level: the archaeological survey #5 (See Table 1) that Schlafer conducted and analyzed as part of this Report indicates that test pits of 3.28-3.60 feet depth showed the existence of fill material and suggests that the original floor would be below that test pit. Schlafer also stated that there may have been interventions after 1913 due to several natural disasters between 1912 and 1913 that caused impacts of significant proportions in the city. Therefore, we understand that the archaeological study suggests that historical material may be a fill deposit due to site disturbance or various interventions in the plaza.

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The project proposes excavations that will not be deeper than the borings mentioned in the study. No proposed excavations exceed three (3) feet in depth. A Phase II was recommended, however no evidence of it being completed was located by the author. Therefore, as the results of the recommended Phase II are not available, it cannot be determined if the artifact bearing deposits represent historic fill or are directly related to activities within the plaza. Archaeological monitoring is recommended during ground disturbing activities.

- Indirect Effect:
 - **Architecture** – The proposed works **will not** have an adverse indirect effect on the properties surrounding the APE or the *plaza* itself.
 - **Archaeological** – There is no indirect archeological effect.

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Recommendation

The Puerto Rico Department of Housing requests that the Puerto Rico SHPO concur that the following determination is appropriate for the undertaking (Choose One):

- No Historic Properties Affected
- No Adverse Effect
 - Condition: Archaeological monitoring should be conducted during ground disturbing activities. A monitoring plan will be prepared and submitted for approval.
- Adverse Effect
 - Proposed Resolution (if applicable)

This Section is to be Completed by SHPO Staff Only

The Puerto Rico State Historic Preservation Office has reviewed the above information and: <ul style="list-style-type: none"> <input type="checkbox"/> Concurs with the information provided. <input type="checkbox"/> Does not concur with the information provided. 	
Comments:	
Carlos Rubio-Cancela State Historic Preservation Officer	Date:

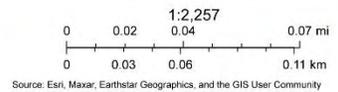


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Figure 1. Project (Parcel) Location – Area of Potential Effect Map (Aerial)



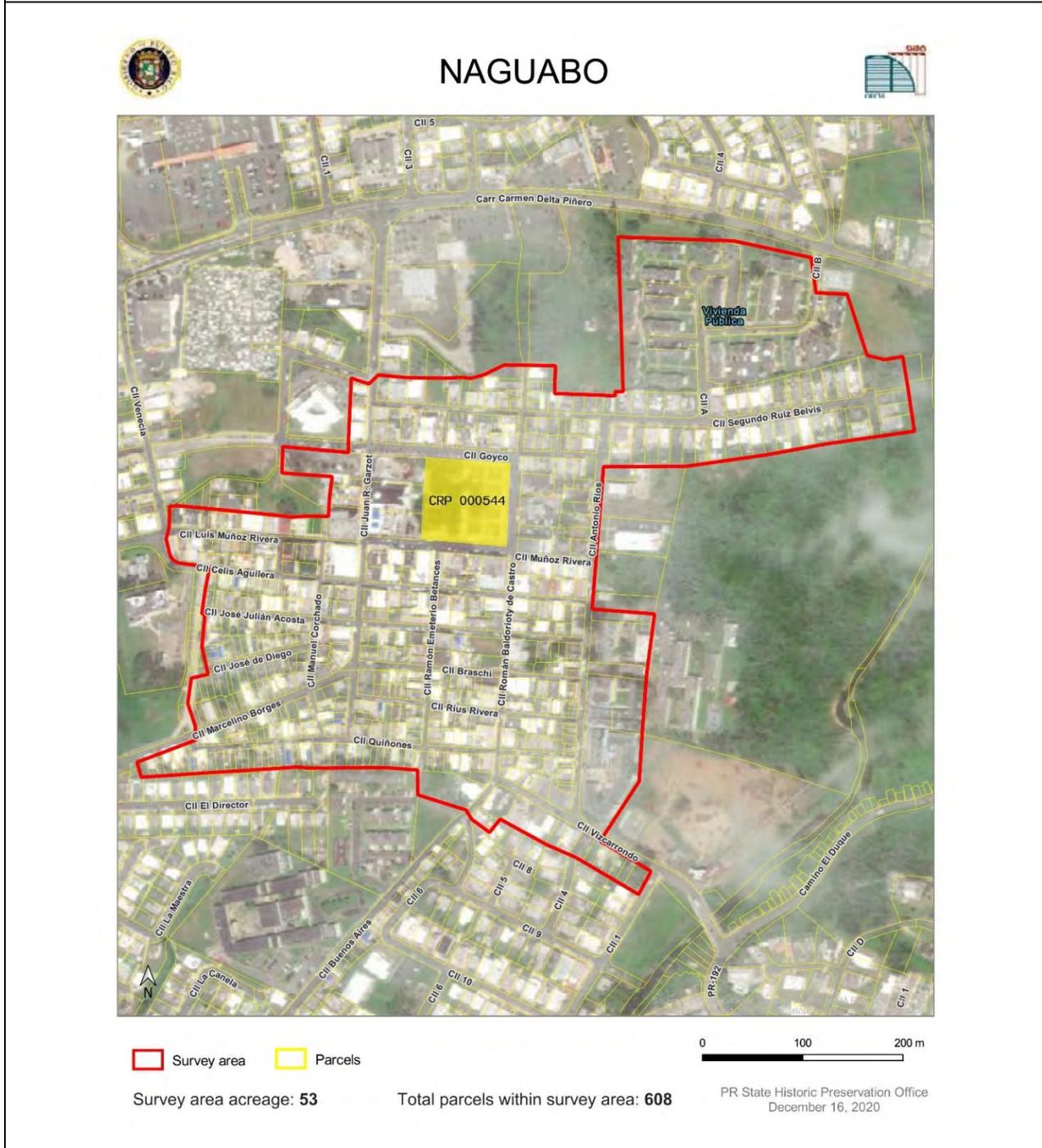
U.S. Environmental Protection Agency

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Figure 2. Project (Parcel) Location - Aerial Map

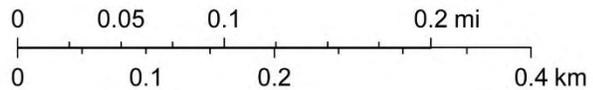


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Figure 3. Project (Parcel) Location – Historic Properties



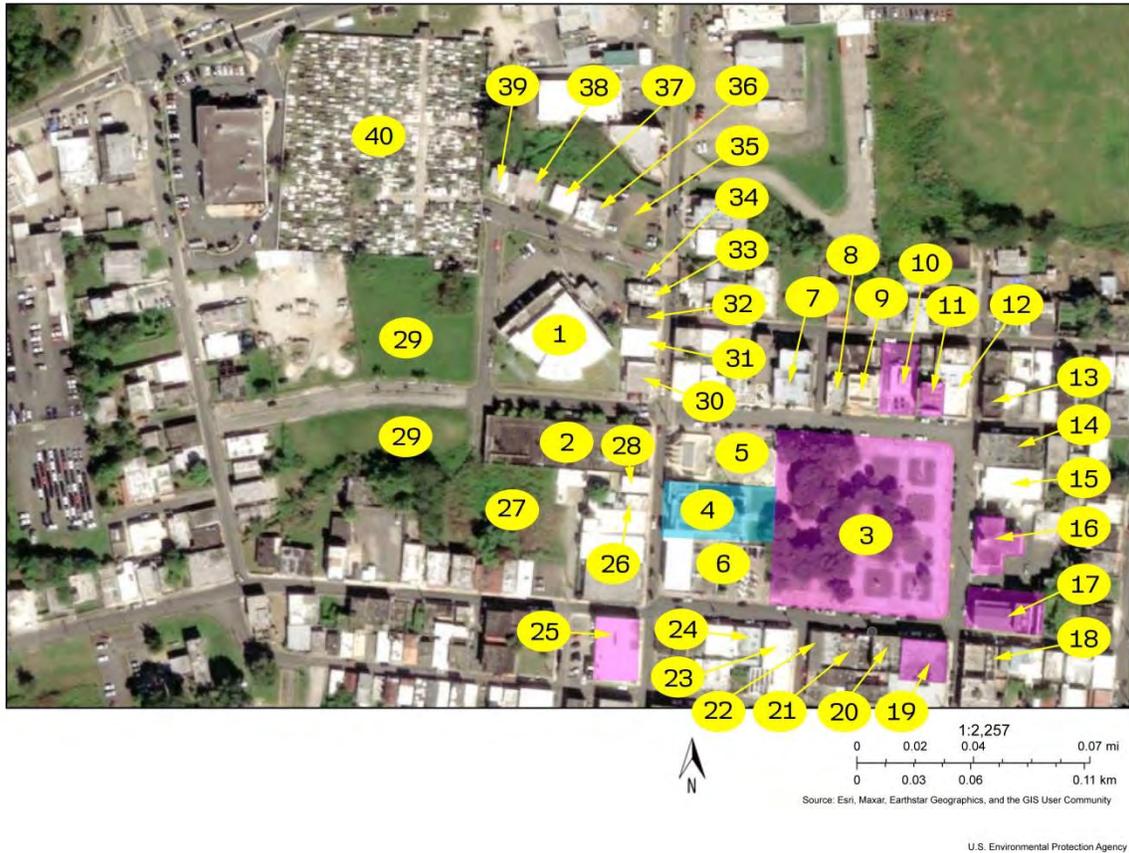
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Figure 4. Key Plan of Property Inventory of Naguabo's Urban Center





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Figure 4A. Property Inventory of Naguabo's Urban Center

1 PLAZA DEL MERCADO
256-013-001-09
Lat: 18.21292823, Lon: -65.73647730

Inaugurated in 1972. According to the interviewees, before the construction of the Marketplace, the place was a "wooded area" or a "vacant lot," and there was only a "wood and zinc structure used as a garage", which was later destroyed by a fire in 1964.

The structure could be eligible for listing due to unique artistic elements displayed in the Goyco street façade but it is important to note that all windows, doors, ceilings, bathrooms and other finishes, and other elements have been altered. Exterior walls have been altered to install air conditioning units.

The building is adjacent to the boundaries of a designated Historic Zone or city *plaza* and could be eligible under Criterion C.





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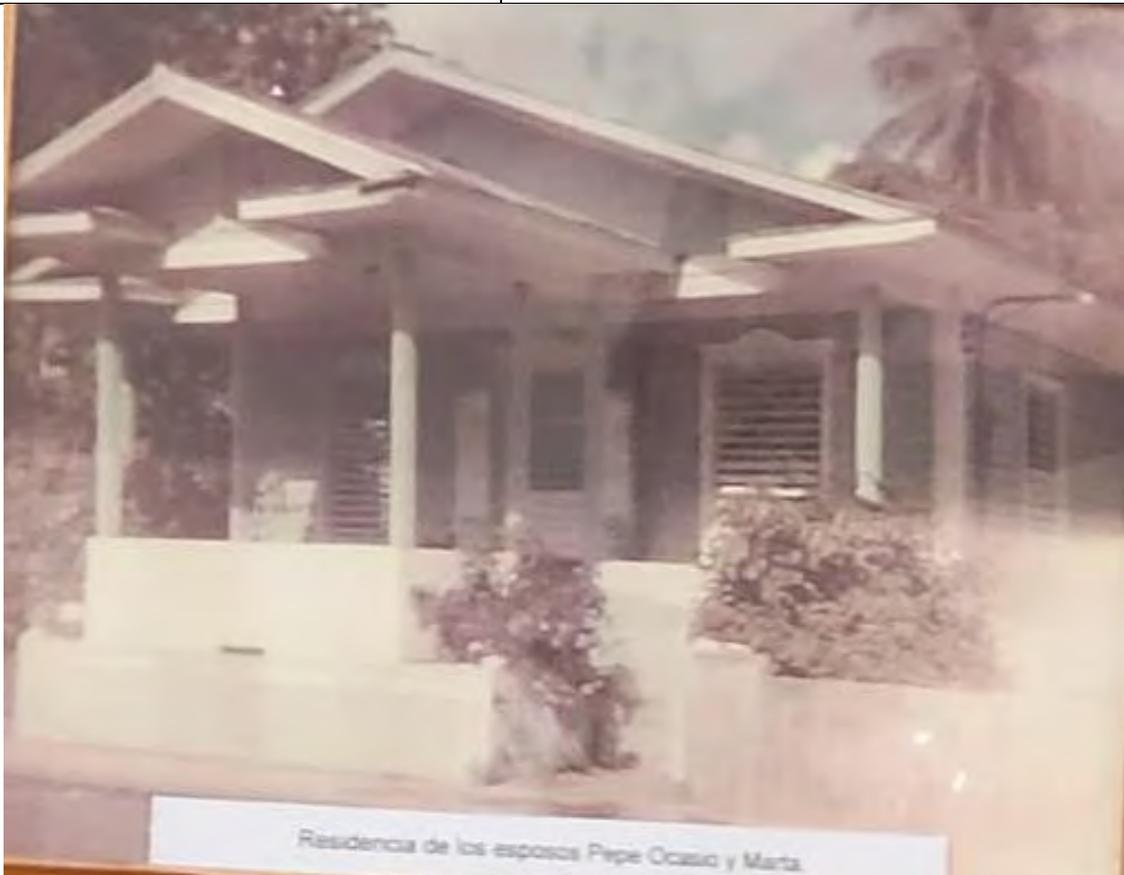
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2 ESTACIONAMIENTO MUNICIPAL
256-013-052-06
Lat: 18.21237734, Lon: -65.73643706

Before the construction of the municipal parking lot, there was a wooden house that belonged to Pepe Ocasio and Marta. The municipal parking lot, according to the neighbors, was built about 30 years ago.

The building is within the boundaries of an eligible or listed NRHP historic district but does not possess characteristics that would make it eligible.



2.1 Ocasio Residence – Photo obtained from Local Naguabo Historian, Carlos Suarez.



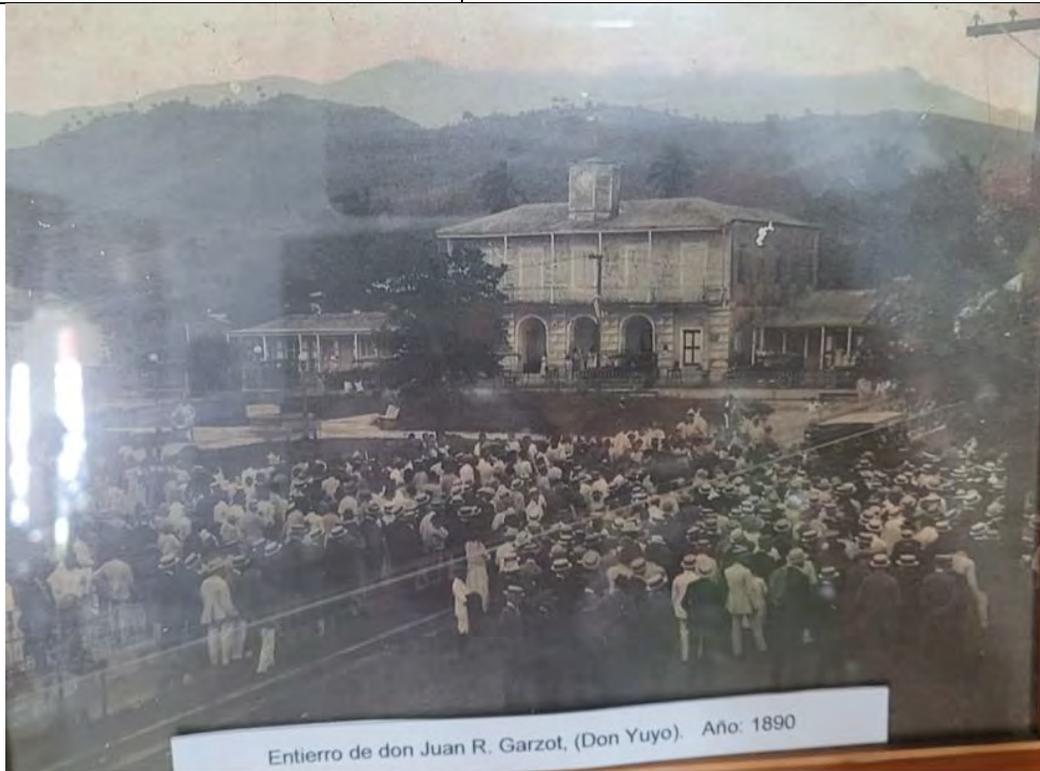
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3 PLAZA PUBLICA
256-013-014-02
Lat: 18.21203100, Lon: -65.73509116

The Municipal *Plaza* is individually eligible for listing under Criterion D



3.1 Public *Plaza*– Don Juan R. Garzot funeral in 1890. Photo obtained from local Naguabo historian, Carlos Suarez



Subrecipient: Municipality of Naguabo

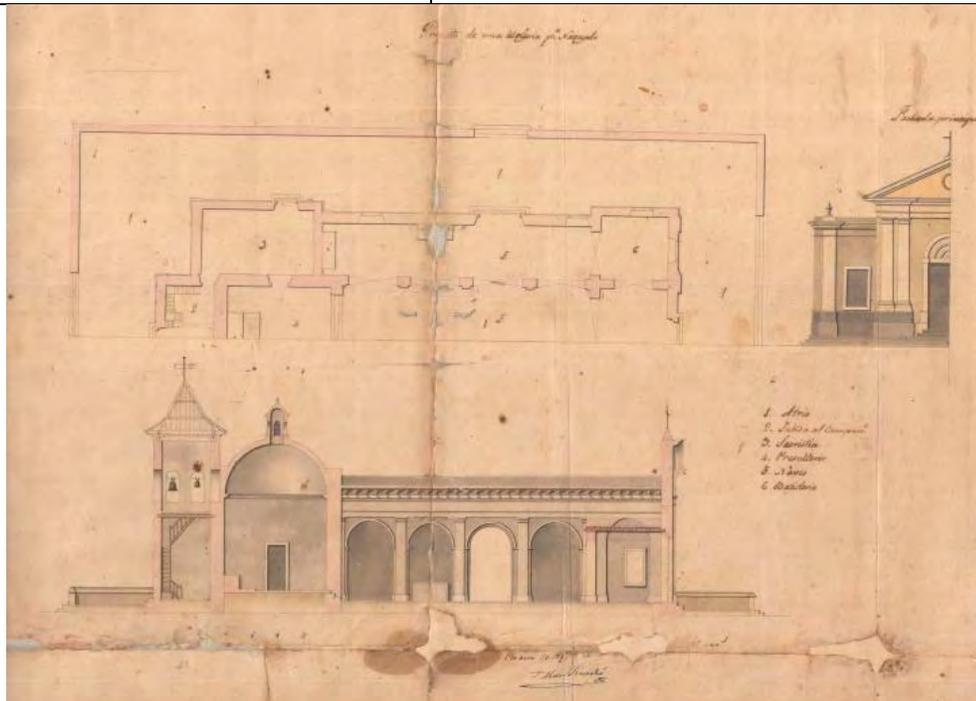
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4 NUESTRA SEÑORA DEL ROSARIO CHURCH
256-013-014-04
Lat: 18.21207025, Lon: -65.73574464

The Church's main structure was built in 1856, and the façade was remodeled in 1858 according to plans by engineer Mariano Bosch. The bell tower was added in 1913. The façade is divided into three vertical naves separated by Doric pilasters in the colossal order. The central area is the main entrance, which is accentuated by the bell tower.

The building is listed in the National Register of Historic Properties. Plans of the Church



4.1 Plans from 1858 of the Church found in the digital archive
<https://archivonacional.com/PL/1/1/5426>



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5 OUTDOOR THEATER
256-013-014-01
Lat: 18.21232128, Lon: -65.73572429

The building is within the boundaries of a designated Historic Zone or city plaza. Currently being renovated but does not possess characteristics that would make it eligible.



6 CHURCH RESIDENCE/OFFICES
256-013-014-03
Lat: 18.21182361, Lon: -65.73575736

In 1972, in the first level, a Catholic School was inaugurated.

The building is within the boundaries of an eligible or listed NRHP historic district but does not possess characteristics that would make it eligible.



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7 RESIDENCE / PHARMACY
256-013-005-05
Lat: 18.21268863, Lon: -65.73539665

Built around the year 1975 by the former mayor Serafín Meléndez, who was a pharmacist. (C. Suarez) The building housed a pharmacy. Currently, the ground floor of the building is a pharmacy.

Building is within the boundaries of a designated Historic Zone or city plaza.



8 RESIDENCE
256-013-006-10
Lat: 18.21261408, Lon: -65.73521066

According to its current owner, the house was built 100 years ago. "It was constructed with stone and brick on wood column foundations because a stream used to pass near the house. That stream was connected to the water source of the square." (C. Suarez).

The building is within the boundaries of a designated Historic Zone or city plaza and could be eligible under Criterion C.





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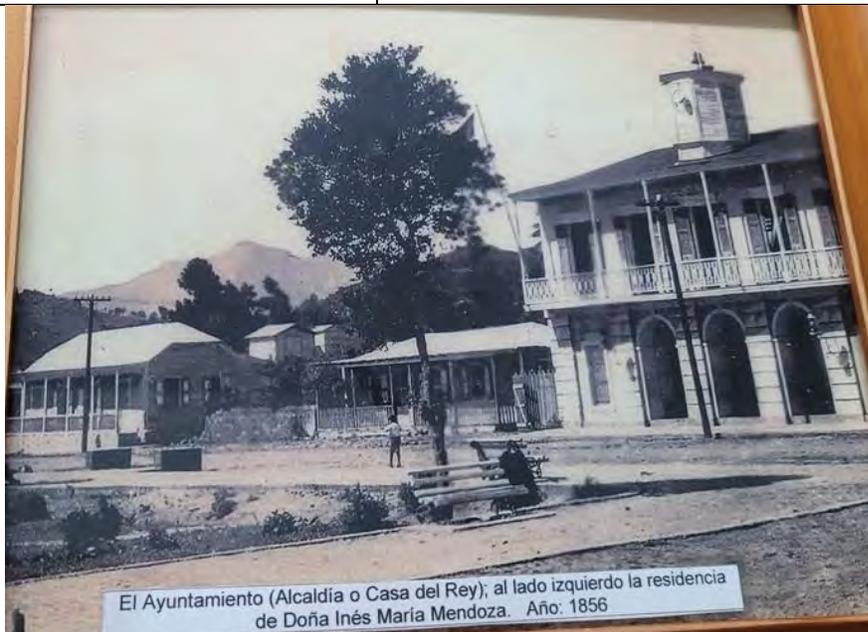
Project ID: PR-CRP-000544

9 RESIDENCE
256-013-006-09
Lat: 18.21260447, Lon: -65.73507916

As relayed by the present owner, this house was constructed roughly 70 years ago. The existing house occupies the very spot where Doña Inés Mendoza, wife of Luis Muñoz Marin, once called home. The original house where she was born and lived was made of wood and no longer exists.

Currently, the two-level structure houses a flower shop and a small museum about the history of the municipality, and it is called "The House of the Historian."

The building is within the boundaries of a designated Historic Zone or city plaza.



El Ayuntamiento (Alcaldía o Casa del Rey); al lado izquierdo la residencia de Doña Inés María Mendoza. Año: 1856

9.1 In the photo, you can observe the wooden house where Inés Mendoza lived, which is next to the old town hall (a two-story building). The photo was taken in 1856. Photo obtained from local Naguabo historian, Carlos Suarez.

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9.2 In this photo taken in 1913, you can also observe the wooden house where Inés Mendoza lived, which is next to the old town hall (a two-story building). Photo obtained from local Naguabo historian, Carlos Suarez

10 POLICE STATION
256-013-006-02
Lat: 18.21265992, Lon: -65.73491963

The site where the current police station is located used to be the site of the old town Hall (19th century). Later, in the same location, in the 20th century, the old Fire Station was built. It is currently used as a Police Station. The Fire Station was called the "Insular Fire Service" (Photo10.1) and later "Parque de Bombas" (Firehouse) (Photo10.2).

The building is within the boundaries of a designated Historic Zone or city plaza and displays unique artistic elements. Building is individually eligible for listing under Criterion C





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10.1 The photo illustrates the Fire Station with the name "Insular Fire Service". Photo obtained from local Naguabo historian, Carlos Suarez.



10.2 The photo illustrates the Fire Station with the name "Parque de Bombas". Photo obtained from local Naguabo historian, Carlos Suarez.

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11 LOS CABALLEROS DEL BIEN LODGE
256-013-006-08
Lat: 18.21256803, Lon: -65.73479137

"The lodge was composed of a group that helped people with low resources. It was built between the years 1912 and 1916," according to historian Osvaldo Suárez.

Currently, it is an abandoned building. The building is within the boundaries of a designated Historic Zone or city plaza. Building is individually eligible for listing under Criterion C.



12 LOCAL MERCHANTS
256-013-006-11
Lat: 18.21256195, Lon: -65.73466112

"It was built around 45 to 50 years ago. It used to be a billiard hall, bar, and butcher shop. In the late 19th century, there was a wooden structure that served as the Garzot family's textile store" (C. Suarez). Photo 12.1

The building is within the boundaries of a designated Historic Zone or city plaza.



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12.1 Photo of the textile store. Photo obtained from local Naguabo historian, Carlos Suarez.

13 RESIDENCE
256-013-007-21
Lat: 18.21257279, Lon: -65.73448541

The owners of the two-level structure were the García Leduc family, who lived on the second level, while the first level was a business where "ice cream and hamburgers were sold." It was known as "La Placita" and was a place where people used to gather and socialize with friends (F. De León and P. Quiñones).

The building is within the boundaries of a designated Historic Zone or city plaza.

The property possesses some aspects of integrity sufficient to convey historic significance and the building could be individually eligible for listing under Criterion C.





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14 LOCAL MERCHANT
256-013-015-01
Lat: 18.21235084, Lon: -65.73440042

Before its construction, there was a wooden house. The cement structure was built around 60 years ago (C. Suarez). Initially, it was the Public Health Unit, and its director was Dr. Franceschi. Then it became Doña Ana Cotto Benitez's Bazaar, and finally, it became a bar managed by Doña Ana Cotto's son. It has always been a two-story building (F. De León).

Building is within the boundaries of a designated Historic Zone or city plaza.



15 NEW MAYOR'S OFFICE
256-013-015-16
Lat: 18.21218373, Lon: -65.73441468

Originally, it was a wooden house where Don Enrique Rivera, a merchant, lived. By the 1980s, the wooden house was still standing. The current structure was built in the modern era.

The building is within the boundaries of a designated Historic Zone or city plaza.





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16 MAYOR'S OFFICE
256-013-015-15
Lat: 18.21194937, Lon: -65.73438854

The City Hall was inaugurated at the beginning of the 20th century in the year 1918, according to historian Carlos Suarez.

The building is within the boundaries of a designated Historic Zone or city *plaza* and is individually eligible for listing under Criterion C.



16.1 Photo of the town hall taken in the early 1970s. Photo obtained from local Naguabo historian, Carlos Suarez.



Subrecipient: Municipality of Naguabo

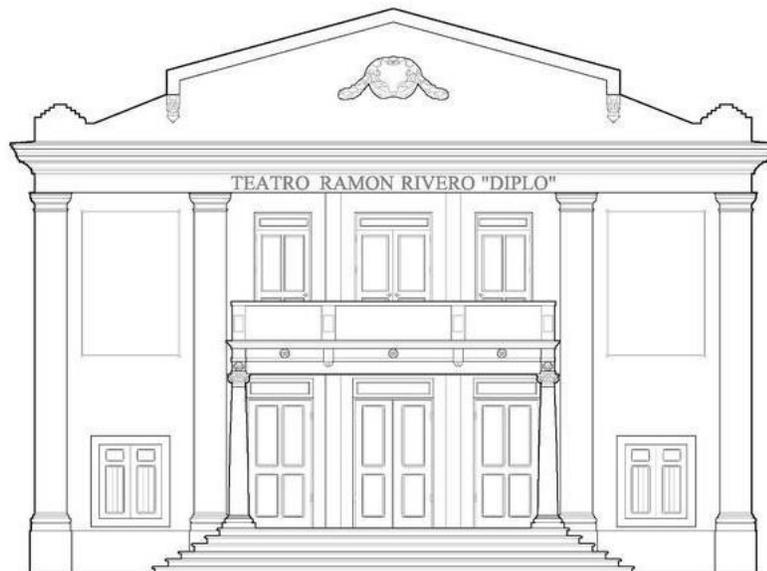
Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.

Project ID: PR-CRP-000544

17 RESIDENCE
256-013-015-13
Lat: 18.21162213, Lon: -65.73443945

Built in 1920, the theater's main facade is documented in the Puerto Rico Historic Buildings Drawings Society and remains unaltered. The stage area was added in the 1990s and the interiors were renovated. The main façade remains the only original feature from 1920s.

The building is within the boundaries of a designated Historic Zone or city plaza and is individually eligible for listing under Criterion C.



17.1 Image taken from the webpage <https://www.prhbds.org/naguabo> of the Puerto Rico Buildings Drawings Society.



Subrecipient: Municipality of Naguabo

Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.

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18 RESIDENCE
256-013-024-01
Lat: 18.21143141, Lon: -65.73451932

The building belonged to the pharmacist Don Leoncio Díaz and his wife Doña Carmen. They resided on the second level, while the first level had a pharmacy known as "La Farmacia Díaz". The existing structure is abandoned.

Building is within the boundaries of a designated Historic Zone or city plaza.



18.1 Building can be seen on the far left. It is unknown when this photo was taken. Photo obtained from local Naguabo historian, Carlos Suarez.



Subrecipient: Municipality of Naguabo

Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.

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18.2 In this image the pharmacist Don Leonicio Diaz, owner of the pharmacy Diaz. Photo obtained from local Naguabo historian, Carlos Suarez.

19 LOCAL MERCHANT
256-013-023-03
Lat: 18.21136854, Lon: -65.73482645

According to a plaque on the building, it was constructed in 1915. Although it was remodeled in 1961 the building has retained most of the original architectural features in the exterior. The second level was a residence, while the first level was used as a commercial space. By 1953, the municipal Police Station was located on the second level (on the right side of the second level). Currently, there is a lawyer's office on the second level. The flooring is made of wood, and the wooden beams can still be seen on the ceiling. The building retains many original elements.

The building is within the boundaries of a designated Historic Zone or city plaza and is individually eligible for listing under Criterion C.





Subrecipient: Municipality of Naguabo

Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.

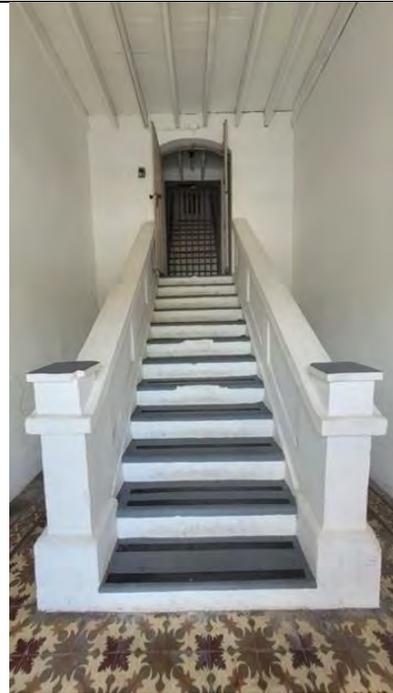
Project ID: PR-CRP-000544



19.1 A portion of the building can be seen on the far right. It is unknown when this photo was taken. Photo obtained from local Naguabo historian, Carlos Suarez.



19.2 Corner ornament. Photo obtained from local Naguabo historian, Carlos Suarez.



19.3 Staircase in the interior



Subrecipient: Municipality of Naguabo

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19.3 Staircase in the interior



19.4 Interior courtyard



Subrecipient: Municipality of Naguabo

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20 LOCAL MERCHANT & RESIDENCE
256-013-023-02
Lat: 18.21144911, Lon: -65.73500099

Built between 1901 and 1902 was used as a restaurant, bar, and billiard hall.

The property does not possess aspects of integrity sufficient to convey historic significance. The building is within the boundaries of a designated Historic Zone or city plaza.



21 LOCAL MERCHANT
256-013-023-08
Lat: 18.21144224, Lon: -65.73517542

An old residence from the early 20th century that belonged to the pharmacist Don Ángel Fernández and his family. "It was a house that had a Greek garden inside, with fountains, columns with grapes, and rose bushes" (F. De León). The property does possess some aspects of integrity sufficient to convey historic significance.





Subrecipient: Municipality of Naguabo

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22 LOCAL MERCHANT
256-013-023-09
Lat: 18.21147316, Lon: -65.73530424

The building was used as a pharmacy. It belonged to the pharmacist Don Ángelo Fernández, who lived in a house right next to it. It was called the "New Pharmacy."

The building is within the boundaries of a designated Historic Zone or city *plaza* and could be eligible under Criterion C.



23 LOCAL MERCHANT
256-013-022-04
Lat: 18.21141850, Lon: -65.73549521

Residence built in the late 19th century. Its original owner was named Don Manuel Marques (C. Suarez). Later, it became a department store that sold furniture, household items, shoes, clothing, and hardware materials.

The building is within the boundaries of a designated Historic Zone or city *plaza* and could be eligible under Criterion C.





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24 LOCAL MERCHANT
256-013-022-03
Lat: 18.21150105, Lon: -65.73562074

The pharmacy originally belonged to the former mayor Serafín Meléndez. However, when he was elected as mayor, he had to relinquish ownership of the pharmacy. Subsequently, it was acquired by another owner and is now known as Freddy Pharmacy.

The property does not possess aspects of integrity sufficient to convey historic significance, but the building is within the boundaries of a designated Historic Zone or city plaza.



25 BANK
256-013-021-01
Lat: 18.21148376, Lon: -65.73626537

The structure was built in 1910. This date is recorded on a tile in front of the building. The second level was used as a residence, while the first level was used for commercial purposes. In the 1930s, there was a clothing store. The owners of the store were Don Pepe Rivera and Doña Mercedes Rivera Ojeda. In 1992, the first level was used as the Municipal Court. Currently, it is used as bank.

Building is individually eligible for listing.





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26 LOCAL MERCHANT

256-013-001-11

Lat: 18.21212105, Lon: -65.73621810

It was a residence and belonged to the family of Don Pepe Rivera. Before its construction, it was a wooden house where the nuns and the priest of the church used to live.

The property does not possess aspects of integrity sufficient to convey historic significance.



27 EMPTY LOT

256-013-052-14

Lat: 18.21216575, Lon: -65.73655648

According to neighbors, the lot has always been empty.

The lot is adjacent to the boundaries of an eligible or listed NRHP historic district.

No structure to evaluate for eligibility.



Subrecipient: Municipality of Naguabo

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28 RESIDENCE
256-013-001-10
Lat: 18.21220370, Lon: -65.73615039

Originally, there was a wooden house where the nuns and the priest of the church used to live (there were two wooden houses, this one and #26). This house burned down. The existing structure was built to be a residence. Building is within the boundaries of an eligible or listed NRHP historic district.

The property does not possess aspects of integrity sufficient to convey historic significance.



29 EMPTY LOT
256-012-012-14
Lat: 18.21273168, Lon: -65.73737409
According to neighbors, the lot has always been empty.



30 LOCAL MERCHANT
256-013-001-08
Lat: 18.21265281, Lon: -65.73611329

Modern building located is within the boundaries of an eligible or listed NRHP historic district.

The property does not possess aspects of integrity sufficient to convey historic significance.





Subrecipient: Municipality of Naguabo

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<p>31</p>		<p>RESIDENCE 256-013-001-09 Lat: 18.21280973, Lon: -65.73610452</p> <p>Modern building located is within the boundaries of an eligible or listed NRHP historic district.</p> <p>The property does not possess aspects of integrity sufficient to convey historic significance.</p>	
<p>32</p>		<p>RESIDENCE 256-013-001-06 Lat: 18.21292678, Lon: -65.73609790</p> <p>Modern building located is within the boundaries of an eligible or listed NRHP historic district.</p> <p>The property does not possess aspects of integrity sufficient to convey historic significance.</p>	



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<p>33 RESIDENCE & 256-013-001-05 34 256-013-001-04</p> <p>Lat: 18.21302197, Lon: -65.73609115 Lat: 18.21310025, Lon: -65.73609523</p> <p>Modern building located is within the boundaries of an eligible or listed NRHP historic district.</p> <p>The property does not possess aspects of integrity sufficient to convey historic significance. (Two properties were joined)</p>	
<p>35 EMPTY LOT 256-013-052-16</p> <p>Lat: 18.21331761, Lon: -65.73614017</p> <p>Lot is adjacent to the boundaries of an eligible or listed NRHP historic district.</p>	
<p>36 256-013-052-13</p> <p>Lat: 18.21339125, Lon: -65.73632186</p> <p>Modern building located in area adjacent the boundaries of an eligible or listed NRHP historic district.</p> <p>The property does not possess aspects of integrity sufficient to convey historic significance. (Two properties were joined)</p>	



Subrecipient: Municipality of Naguabo

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<p>37</p>	<p>RESIDENCE</p> <p>256-013-052-12</p> <p>Lat: 18.21343726, Lon: -65.73646489</p> <p>Modern building located in area adjacent the boundaries of an eligible or listed NRHP historic district.</p> <p>The property does not possess aspects of integrity sufficient to convey historic significance. (Two properties were joined)</p>	
<p>38</p>	<p>RESIDENCE</p> <p>256-013-052-18</p> <p>Lat: 18.21359629, Lon: -65.73649027</p> <p>Modern building located in area adjacent the boundaries of an eligible or listed NRHP historic district.</p> <p>The property does not possess aspects of integrity sufficient to convey historic significance. (Two properties were joined)</p>	
<p>39</p>	<p>RESIDENCE</p> <p>256-013-052-03</p> <p>Lat: 18.21359525, Lon: -65.73673616</p> <p>Modern building located in area adjacent the boundaries of an eligible or listed NRHP historic district.</p> <p>The property does not possess aspects of integrity sufficient to convey historic significance. (Two properties were joined)</p>	



Subrecipient: Municipality of Naguabo

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40 MUNICIPAL CEMETERY

256-012-052-07

Lat: 18.21366173, Lon: -65.73727202

At the entrance to the cemetery, there is a date from 1914. However, there are brick masonry tombs of people who were buried in the late 19th century. One of the brick tombs belongs to a person who died in 1856. This date coincides with the time of the church's foundation.

In the center of the cemetery, you can find the oldest structure, which is the mausoleum built in brick masonry. Inside, there is a small altar, and the interior walls are covered with tiles. The floor appears to be the original one, with marble tiles. Sadly, it is in a deteriorated state, and bushes/trees are growing on the roof, with their roots penetrating the brick walls.

The cemetery itself could be listed under Criterion C

The mausoleum could be listed under Criterion A and Criterion D due to its age and architectural detail.





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40.1 The mausoleum located in the center of the cemetery with engraved date of 1856.



40.2 Entrance arch to the mausoleum. Bricks in walls are visible along with deteriorated metal gates.



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40.3 Perimeter gates around mausoleum.



40.4 Perimeter gates around mausoleum.



40.5 Perimeter gates around mausoleum.



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40.6 Tombstones in one of the mausoleum walls.



40.7 View of the interior of the mausoleum.



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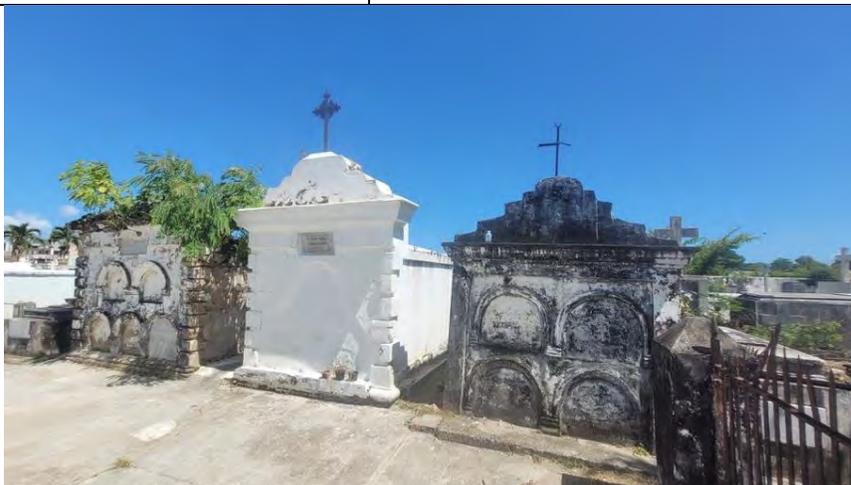
Project ID: PR-CRP-000544



40.8 Tombstones in the interior of the mausoleum with the date of 1856.



40.9 The date recorded in the entrance of the municipal cemetery.



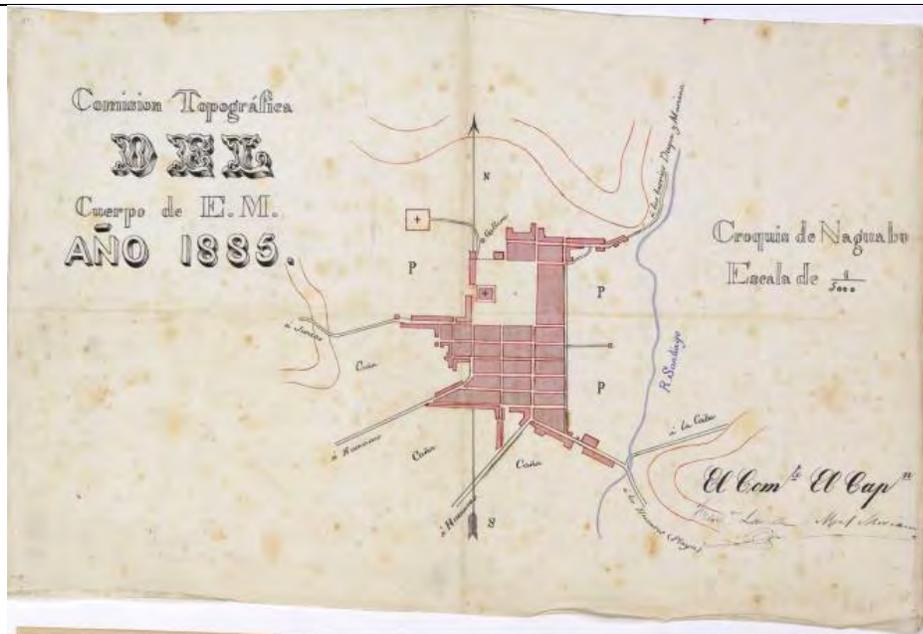
40.10 Other tombs built in the 19th century with similar brick masonry construction.



Subrecipient: Municipality of Naguabo

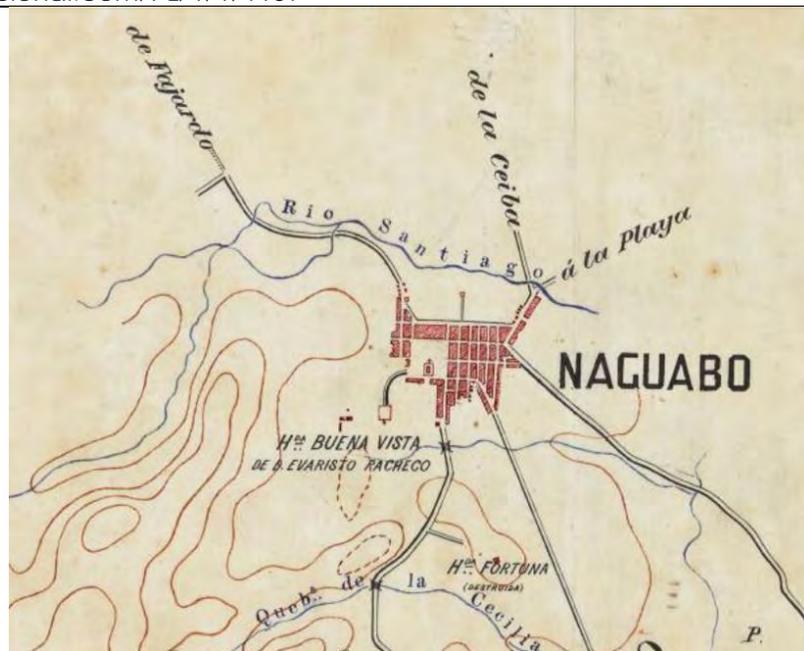
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40.11 Map of Naguabo from 1885 with the cemetery. Map obtained from the National Digital Archive

<https://archivonacional.com/PL/1/1/1137>



40.11 Map of Naguabo from 1891 with the cemetery. Map obtained from the National Digital Archive <https://archivonacional.com/PL/1/1/1137>

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Figure 5. Project (Parcel) Location - USGS Topographic Map



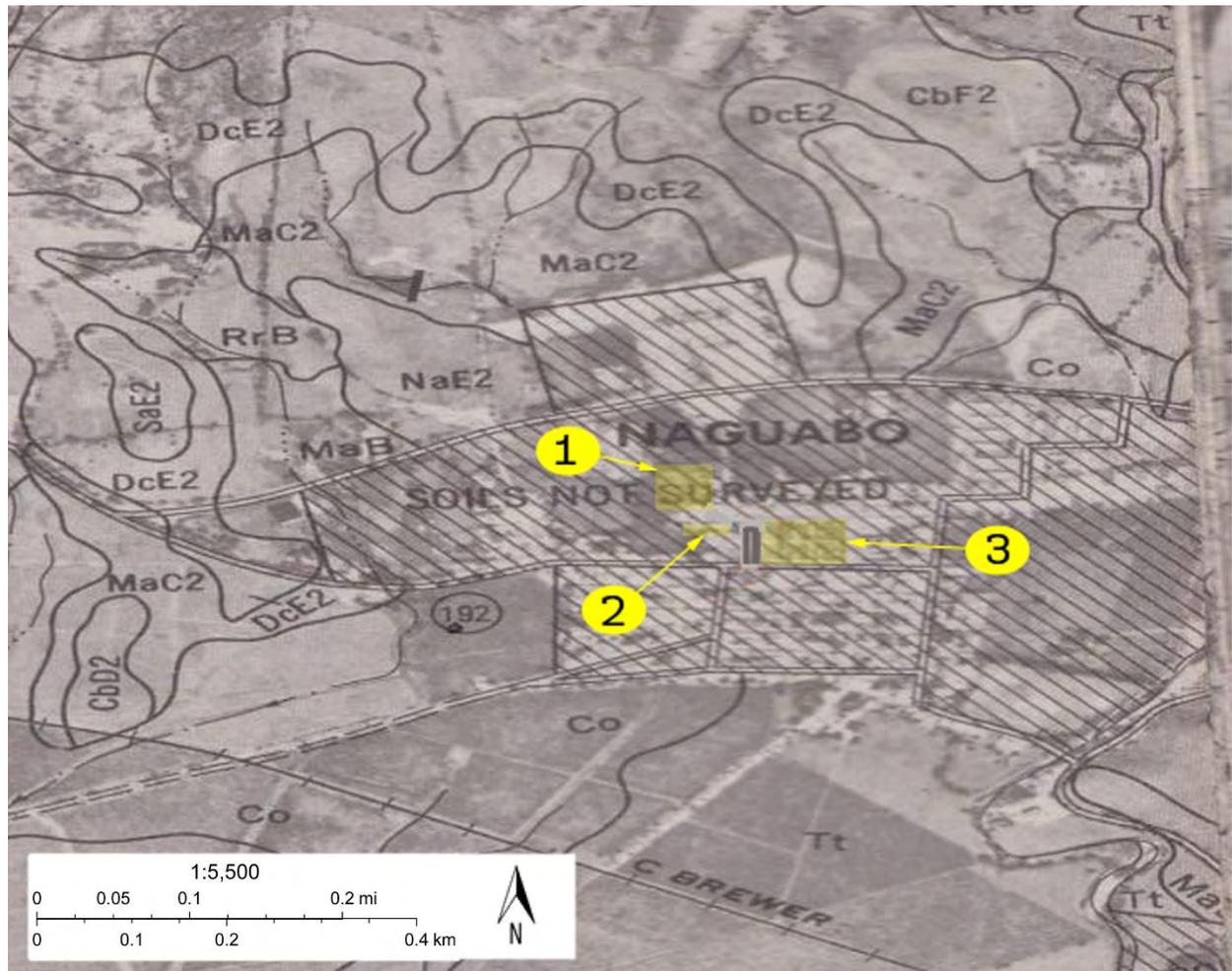


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Figure 6. Project (Parcel) Location – Soils Map



The United States Geologic Services has not surveyed the soils where the proposed projects are located. The USGS does not survey urban soils. Project sites are highlighted in yellow.

1. Plaza del Mercado
2. Estacionamiento Municipal
3. Plaza Pública



Subrecipient: Municipality of Naguabo

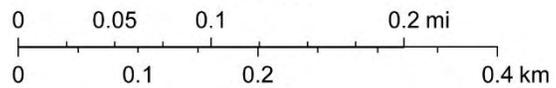
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Figure 7. Project Location with Previous Investigations - Aerial Map



1:5,750



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1. 1. NG 02 06 02, 2. NG 94 02 07, 3. SHPO 08 13 92 01, 4. NG 08 11 01,
2. 5. NG 98 04 04 / SHPO 01 14 99 11



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Figure 8. Project (Parcel) Location with Previously Recorded Cultural Resources
USGS Topographic Map



Obtained from the map archives of the office of photogrammetry of ACT.

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NG-6 Historic Colonial 19th Century. Sugar Mill and railway bridge. Located in Barrio Río. Colonial Histórico Siglo XIX Hacienda. Molino Central Azucarera. Puente ferroviario de acero. Localizado en el barrio Río. – Outside of the 0.25-mile radius.

NG-7 Historic Colonial 19th Century. Steel bridge located in Barrio Maizales. Colonial Histórico Siglo XIX. Puente de hierro. Localizado en el barrio Maizales – Outside of the 0.25-mile radius.

NG-8 Historic Colonial 19th Century. Residential structure from the 19th century located in Barrio Mariana. Colonial Histórico Siglo XIX. Estructura residencial de mediados del siglo 19. Localizada en el barrio Mariana – Outside of the 0.25-mile radius.

NG-13 Petroglyph found in Barrio Río Blanco. No cultural association. Petroglifo localizado en el barrio Río Blanco. No tiene asociación cultural – Outside of the 0.25-mile radius.

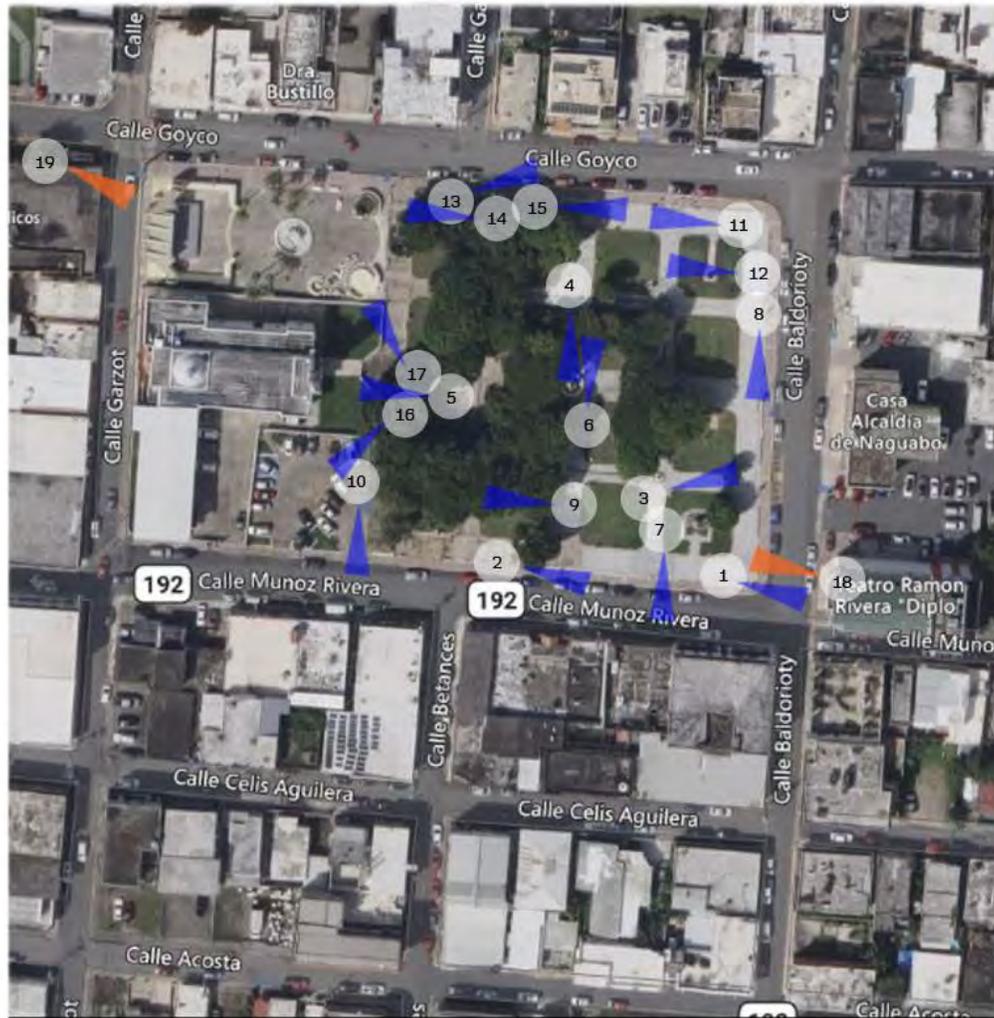
NG- 34 Nuestra Sra. Del Rosario Church – Inside of the 0.25-mile radius.

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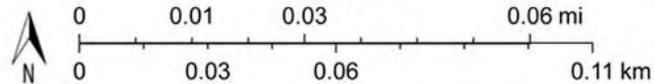
Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.

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Figure 9. PHOTOKEY



1:1,500



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Photo #: 1

Description: Teatro Diplo located on the southeast corner of the Plaza

Date: 01/24/2021

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Photo #: 2

Description:

Date: 01/24/2021

View of the southeast corner of Baldorioty and Luis Muñoz Rivera Street



Subrecipient: Municipality of Naguabo

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Photo #: 3

Description:

Date: 01/24/2021

View of the Mayor's Office from one of the small fountains located on the south east side of the plaza.

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Photo #: 4

Description:

Date: 01/24/2021

View of the main fountain located in the center of the *Plaza*

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Photo #: 5

Description:

Date: 01/24/2021

View of the Nuestra Señora del Rosario Church entrance located on the West side of the Plaza

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Photo #: 6

Description: Existing conditions

Date: 01/24/2021

View from the main fountain to Goyco Street on the North side. The lodge is visible in the background to the right of the obelisk.



Subrecipient: Municipality of Naguabo

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Photo #: 7

Description:

Date: 01/24/2021

View of the Diplo statue and buildings on Luis Muñoz Rivera Street located on the southeast corner of the Plaza

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Photo #: 8

Description:

Date: 01/24/2021

View of the east side of the *plaza* on Baldorioty Street

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Photo #: 9

Description:

Date: 01/24/2021

View of the interior green áreas and parking lot located to the southwest side of the Plaza

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Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.

Project ID: PR-CRP-000544

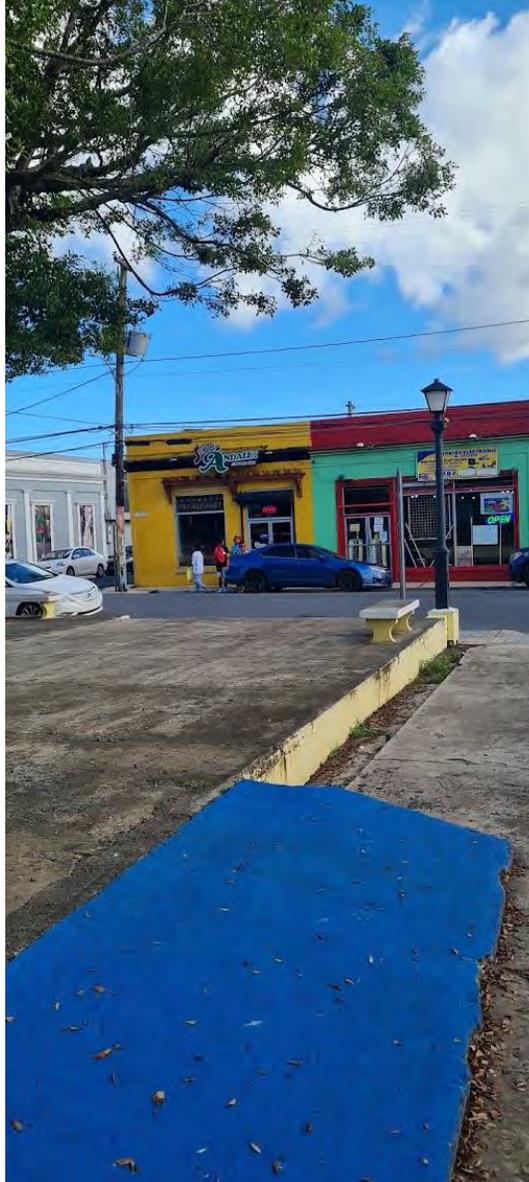


Photo #: 10

Description:

Date: 01/24/2021

View from the parking lot on the southwest side of the plaza overlooking Luis Muñoz Rivera Street

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Photo #: 11

Description:

Date: 01/24/2021

View of the north side of the *Plaza* and existing buildings on Goyco Street

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Photo #: 12

Description:

Date: 01/24/2021

View of the *Plaza* and statue from the southeast corner

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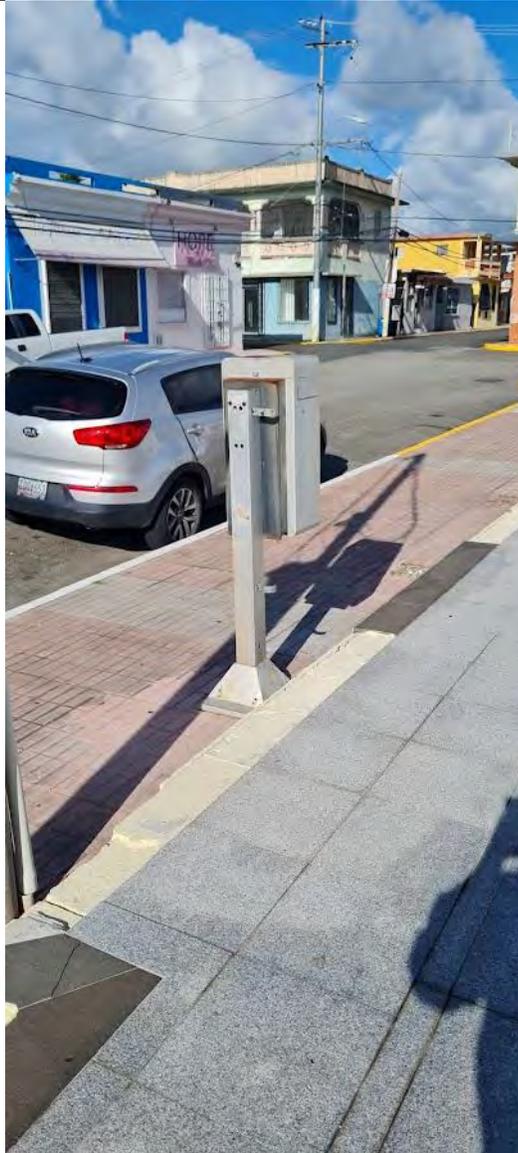


Photo #: 13

Description:

Date: 01/24/2021

View of Goyco Street from the north side of the *Plaza*

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Project ID: PR-CRP-000544



Photo #: 14

Description:

Date: 01/24/2021

View of the Out-door Theater under renovations located on the northwest side of the Plaza



Subrecipient: Municipality of Naguabo

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Photo #: 15

Description:

Date: 01/24/2021

View of Goyco Street of the northeast side of the Plaza



Photo #: 16

Description:

Date: 01/24/2021

View of the existing perimeter wall of the Nuestra Señora del Rosario Church on the southwest side of the Plaza

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Photo #: 17

Description:

Date: 01/24/2021

View of the existing perimeter wall of the Nuestra Señora del Rosario Church and the Out-door Theater on the northwest side of the Plaza

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM

CITY REVITALIZATION PROGRAM (CITY-REV)

Section 106 NHPA Effect Determination



GOVERNMENT OF PUERTO RICO
DEPARTMENT OF HOUSING

Subrecipient: Municipality of Naguabo

Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.

Project ID: PR-CRP-000544



Photo #: 18

Description:

Date:

View from the Municipal Theater looking into the southeast corner of the Plaza

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM

CITY REVITALIZATION PROGRAM (CITY-REV)

Section 106 NHPA Effect Determination



GOVERNMENT OF PUERTO RICO
DEPARTMENT OF HOUSING

Subrecipient: Municipality of Naguabo

Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.

Project ID: PR-CRP-000544



Photo #: 19

Description:

Date:

Aerial view of the northwest side of the *Plaza*, the Nuestra Señora del Rosario Church and the Outdoor Theater



Subrecipient: Municipality of Naguabo

Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.

Project ID: PR-CRP-000544

Figure 10. AERIAL VIEW OF NAGUABO TAKEN IN 1936

PHOTO FROM THE ARCHIVES OF THE PHOTOGRAMMETRY AUTORIDAD DE CARRETERAS



PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM

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Project ID: PR-CRP-000544

Figure 11. AERIAL VIEW OF NAGUABO TAKEN IN 1951

PHOTO FROM THE ARCHIVES OF THE PHOTOGRAMMETRY AUTORIDAD DE CARRETERAS





Subrecipient: Municipality of Naguabo

Project Name: Rehabilitación y mejoras en la Plaza Pública de Naguabo y sus alrededores.

Project ID: PR-CRP-000544

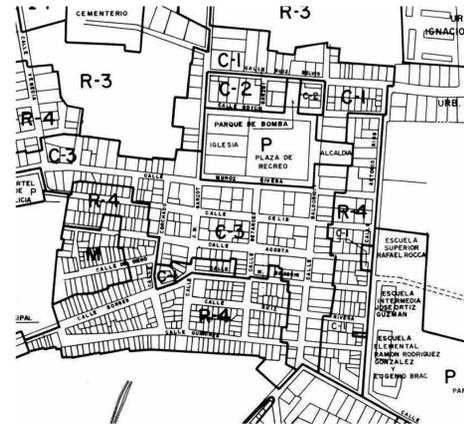
Figure 12. AERIAL VIEW OF NAGUABO TAKEN IN 1964

PHOTO FROM THE ARCHIVES OF THE PHOTOGRAMMETRY AUTORIDAD DE CARRETERAS

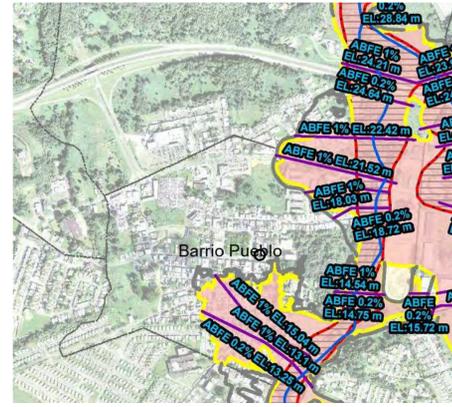




LOCATION PLAN
X: 273926.9318 Y: 242010.4285



MAPA DE ZONIFICACION DE NAGUABO
HOJA NUMERO 4
VIGENCIA: 8 DE AGOSTO DE 2003



FLOOD MAP PANEL
ZONE X
72000C1280J
VIGENCIA: 13 DE ABRIL DE 2018



MUNICIPIO DE NAGUABO
HON. MIRAILDIZ ROSARIO PAGÁN

PLAZA DE RECREO DE NAGUABO

NAGUABO, PR

PLANOS PRELIMINARES
7/SEPTIEMBRE/2022



DRAWING INDEX

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15	ES-101	ELECTRICAL SITE PLAN
16	E-000	ELECTRICAL LEGEND AND NOTES

CONTRACTOR NOTES:

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED SO THAT PROPER CORRECTIONS ARE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS AND/OR OMISSIONS.
- ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ARCHITECT ARE THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH THEY WERE EXPRESSLY DESIGNED.
- IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THE ARCHITECT, THE PERSON SO DOING WILL BE INDEBTED TO THE ARCHITECT FOR HIS FULL COMMISSION.
- CONTRACTOR SHALL NOT USE FOR CONSTRUCTION PURPOSES ANY DRAWINGS THAT WERE ADVANCED TO HIM PRIOR TO THE START OF CONSTRUCTION. ALL PLANS BEING USED BY CONTRACTOR SHOULD BEAR A STAMP WITH THE LABEL: "FOR CONSTRUCTION ONLY" SIGNED BY ARCHITECT.
- GENERAL CONTRACTOR SHALL FIELD SURVEY LOCATION AND VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE TENANT AND ARCHITECT.
- GENERAL CONTRACTOR SHALL COMPLETE ALL WORK AS INDICATED ON THESE PLANS UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR SHALL OBTAIN PERMITS, APPROVALS, INSPECTIONS, CERTIFICATE FOR COMPLIANCE AND CERTIFICATE OF OCCUPANCY AS REQUIRED, UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR SHALL CHECK IN WITH AND COORDINATE ALL WORK WITH THE LANDLORD'S PROJECT PERSONNEL.
- GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY POWER, LIGHT AND TELEPHONE IN ACCORDANCE WITH LANDLORD'S AND TENANTS REQUIREMENTS.
- GENERAL CONTRACTOR SHALL REMOVED ALL THESE ITEMS AT THE COMPLETION OF WORK OR AS REQUIRED.
- GENERAL CONTRACTOR SHALL HAVE TENANT'S SPACE CLEANED UPON COMPLETION OF WORK BY A PROFESSIONAL CLEANING SERVICE.
- GENERAL CONTRACTOR SHALL MAINTAIN ON SITE AT ALL TIMES, ALL APPROVED DRAWINGS INCLUDING ALL REVISIONS AND ADDENDA.
- GENERAL CONTRACTOR SHALL HAVE AT ALL TIME IN SITE OFFICE COPY OF ALL ENDORSEMENTS AND PERMITS OF THE PROJECT AT A VISIBLE PLACE.

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ARCHITECT:

CONSULTANT:

CERTIFIED BY:

REVISION / DATE / DESCRIPTION

PROJECT #

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DEMOLITION SITE PLAN

TITLE

SHEET

PLAZA DE RECREO DE NAGUABO

NAGUABO, PR

MUNICIPIO DE NAGUABO

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PROJECT # 53-002

SCALE As indicated

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GENERAL NOTES:

1. ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDES THE DRAWINGS, ALL ADDENDUMS AND MODIFICATIONS ISSUED BY THE ARCHITECT.

2. THE GENERAL CONTRACTOR (GC) SHALL REVIEW ALL DOCUMENTS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND SHALL CONFIRM THAT WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS, ETC., SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF ANY WORK IN QUESTION. THE GC SHALL ARRANGE FOR INSPECTIONS NECESSARY TO OBTAIN A CERTIFICATE OF OCCUPANCY.

3. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING MATERIALS/EQUIPMENT, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION.

4. ALL WORK SHALL BE PERFORMED DURING DESIGNATED HOURS (8AM-5PM). WORK INVOLVING EXCESSIVE NOISE OR DUST, OR WHICH WOULD OTHERWISE INTERFERE WITH THE NORMAL OPERATION OF THE FACILITY SHALL BE DONE BETWEEN 9AM AND 5PM.

5. GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY(IE) UTILITIES, NOT COVERED IN THE CONSTRUCTION/DEMOLITION DOCUMENTS, WHICH MAY INTERFERE WITH COMPLETING THEIR SCOPE OF WORK. THE ARCHITECT & GENERAL CONTRACTOR SHALL DISCUSS THE REMOVAL OF THESE UTILITIES. WHEN REMOVAL IS APPROVED BY THE ARCHITECT, GENERAL CONTRACTOR SHALL INSPECT, TEST, AND DISCONNECT THE SPECIFIED UTILITY, CUT BACK TO SOURCE (OR PERIMETER OF LEASE SPACE) AND CAP. ALL PENETRATIONS RESULTING FROM THE REMOVAL SHALL BE SEALED WITH NEW CONSTRUCTION TO MATCH (E) ADJACENT BLDG. FINISHES. UTILITY SERVICE SHALL BE DEFINED AS PLUMBING, HVAC, ELECT., AND FIRE PROTECTION SYSTEMS. GC SHALL INDICATE PERMANENTLY ABANDONED UTILITIES ON A RECORD SEPIA TO SERVE AS PART OF THE "AS-BUILT" SET.

6. "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.

7. "TYPICAL" SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT UNLESS OTHERWISE NOTED. DETAILS ARE USUALLY KEYPED AND NOTED "TYP" ONLY ONCE, WHEN THEY FIRST OCCUR.

8. "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS.

9. WORK AREAS TO REMAIN SECURE AND LOCKABLE DURING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL COORDINATE WITH ARCHITECT AND/OR PROJECT MANAGER TO ENSURE SECURITY.

10. THE GC SHALL VERIFY THAT THE EXISTING FLOORS ARE LEVEL AND FREE FROM SCAILING. GC TO REPORT ANY VARIATIONS IN FLOOR LEVEL GREATER THAN 1/4" IN 10'-0" (NON-CUMULATIVE) TO ARCHITECT.

11. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY. WHAT IS SHOWN OR REFERRED TO AT A GIVEN LOCATION SHALL BE PROVIDED AS THOUGH SHOWN ON ALL (U.O.N.).

12. SUBSTITUTIONS, REVISIONS, OR CHANGES MUST BE SUBMITTED TO ARCHITECT FOR REVIEW (IN CONFORMANCE WITH SPECIFIED PROCEDURES) PRIOR TO PURCHASE, FABRICATION OR INSTALLATION. REFER TO SPECIFICATIONS FOR SPECIFIC PROCEDURES.

13. ALL WORK SHALL BE COORDINATED BY THE G.C. INCLUDING: SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, BUILDING FACILITIES, ETC.'

14. THE SCOPE OF WORK AND ADJACENT AREAS SHALL BE PROTECTED FROM ANY DAMAGE THAT OCCURS BECAUSE OF THIS WORK. ANY DAMAGE THAT OCCURS SHALL BE THE FINANCIAL RESPONSIBILITY OF THE GC.

15. ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED PER MFR.'S INSTRUCTIONS. IN CASE OF DIFFERENCES BETWEEN THE MANUFACTURER'S INSTRUCTIONS AND CONTRACT DOCUMENTS, THE GC SHALL NOTIFY THE ARCHITECT BEFORE PROCEEDING.

16. ACCESS PANELS, CLEANOUTS, AND THE LIKE SHALL BE MAINTAINED FOR EXISTING BUILDING SYSTEMS. RELOCATE ACCESS PANELS TO FIT WITH NEW WORK.

17. THE GC SHALL HAVE A FULL-TIME REPRESENTATIVE ON SITE AT ALL TIMES WHILE CONSTRUCTION ACTIVITIES ARE OCCURRING ON SITE.

18. THE GC SHALL COMPLY WITH ALL CODES, LAWS, ORDINANCES, AND REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK.

19. THE GC SHALL OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK.

20. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN PARTITION LOCATIONS, SIZES AND TYPES. DOOR AND WINDOW LOCATIONS SHALL BE AS SHOWN ON CONSTRUCTION PLAN. IN CASE OF CONFLICT, NOTIFY ARCHITECT FOR WRITTEN CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION.

21. COMMENCEMENT OF WORK SHALL BE DEEMED AS THE GC'S ACKNOWLEDGMENT OF ALL WORK REQUIRED TO COMPLETE PROJECT IN CONFORMANCE WITH CONTRACT DOCUMENTS AND SCHEDULE. IT IS THE RESPONSIBILITY OF THE GC TO COORDINATE ORDERS, SUBMITTALS AND IMPLEMENTATION OF LONG LEAD ITEMS. THE GC'S FAILURE TO MAKE LONG LEAD ITEM ORDERS IN A TIMELY FASHION SHALL NOT BE GROUND FOR SUBSTITUTIONS.

22. ALL NEW CONSTRUCTION INCLUDING CONCRETE, MASONRY, PLASTER, DRYWALL, DOORS, FRAMES, METAL PARTITIONS AND MISCELLANEOUS UNFINISHED METALS (OTHER THAN STAINLESS STEEL SHALL BE PAINTED UNLESS OTHERWISE CLEARLY ON DRAWINGS.

GENERAL NOTES

1 1/2" = 1'-0"

ABBREVIATIONS:

- A.A. ALL AROUND
- F.F.E. FINISHED FLOOR ELEVATION
- S.C.P. SMOOTH CEMENT PLASTER
- A.F.F. AFTER FINISHED FLOOR
- C.O. CLEAN OUT
- F.D. FLOOR DRAIN
- S.D. SMOKE DETECTOR
- E.F. EXHAUST FAN
- N.I.C. NOT IN CONTRACT
- W.H. WATER HEATER

ABBREVIATIONS

1 1/2" = 1'-0"

DEMOLITION NOTES:

1. THE ARCHITECT HAS NO KNOWLEDGE OF AND SHALL NOT BE HELD LIABLE FOR ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS ON THE JOBSITE. IF ASBESTOS OR OTHER HAZARDOUS MATERIALS ARE DISCOVERED DURING CONSTRUCTION, ISOLATE THE AFFECTED AREA AND FOLLOW OWNER REQUIREMENTS FOR REMOVAL & DISPOSAL.

2. COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.

3. PROVIDE AND MAINTAIN BARRICADES, LIGHTING AND GUARDRAILS AS REQUIRED BY APPLICABLE CODES AND REGULATIONS TO PROTECT OCCUPANTS OF BUILDING AND WORKERS.

4. ERECT AND MAINTAIN DUST PROOF PARTITIONS AS REQUIRED TO PREVENT SPREAD OF DUST, FUMES AND SMOKE, ETC. TO OTHER PARTS OF THE BUILDING. ON COMPLETION, REMOVE PARTITIONS AND REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES.

5. IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE AFFECTED AREAS AT NO COST TO THE OWNER

6. EXCEPT WHERE OTHERWISE NOTED, MAINTAIN POSSESSION OF MATERIALS BEING DEMOLISHED. REMOVE FROM SITE DAILY & LEGALLY DISPOSE OF DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.

7. REMOVE DESIGNATED PARTITIONS, COMPONENTS, BUILDING EQUIPMENT AND FIXTURES AS REQUIRED FOR NEW WORK.

8. REMOVE ABANDONED HVAC EQUIPMENT, INCLUDING DUCTWORK, AS REQUIRED FOR NEW WORK.

9. REMOVE ABANDONED ELECTRICAL, TELEPHONE AND DATA CABLING BACK TO RISER AND DEVICES, UNLESS OTHERWISE NOTED.

10. REMOVE TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE CONTRACT AREAS AND SITE CLEAN, ORDERLY AND ACCEPTABLE FOR NEW CONSTRUCTION.

11. PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURE(S). PROVIDE AND PLACE BRACING OR SHORING AND BE RESPONSIBLE FOR SAFETY AND SUPPORT OF STRUCTURE. ASSUME LIABILITY FOR SUCH MOVEMENT, SETTLEMENT, DAMAGE OR INJURY.

12. CEASE OPERATIONS AND NOTIFY THE OWNER IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESORED.

13. ARRANGE AND PAY FOR DISCONNECTING, REMOVING AND CAPPING UTILITIES SERVICES WITHIN AREAS OF DEMOLITION. DISCONNECT AND STUB OFF. NOTIFY THE AFFECTED UTILITY COMPANY AND BUILDING MANAGER IN ADVANCE AND OBTAIN APPROVAL BEFORE STARTING THE WORK.

14. HVAC SUBCONTRACTOR TO INSPECT EXISTING CONDITIONS PRIOR TO DEMOLITION. AND DETERMINE WHETHER ANY COMPRESSOR REFRIGERANT LINES ARE PRESENT THAT MUST BE PROPERLY DRAINED (TO E.P.A. STANDARDS PRIOR TO DEMOLITION)

15. PLACE MARKERS TO INDICATE LOCATION OF DISCONNECTED SERVICES. VERIFY SERVICE LINES AND CAPPING LOCATIONS PROJECT RECORD DOCS.

16. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR DAMAGES INFLICTED TO THE OWNERS PROPERTY OR OTHER AREAS OF THE PROJECT. DURING THE EXECUTION OF THE WORK.

17. THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT ALL SHOP DRAWINGS FOR APPROVAL PRIOR TO COMMENCE OF WORK.

18. CONSULTANT DRAWINGS ARE NOT TO BE SCALED: SEE DEMOLITION DRAWINGS FOR EXACT DIMENSIONS.

19. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS & UTILITIES ON SITE WITHIN THE DEMISED SPACE.

DEMOLITION NOTES

1 1/2" = 1'-0"

PAINT NOTE:

- ALL NEW INTERIOR AND EXTERIOR WALLS AND CEILING TO BE CEMENT PLASTERED, PRIMED AND PAINTED.

- ALL EXISTING INTERIOR AND EXTERIOR WALLS AND CEILING TO BE SCRAPPED WHERE NEEDED, PRIMED AND PAINTED.

- COLORS TO BE SELECTED BY ARCHITECT.

- PAINT SHALL BE SHERWIN WILLIAMS OR APPROVED EQUAL.

PAINT NOTES

1 1/2" = 1'-0"

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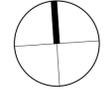
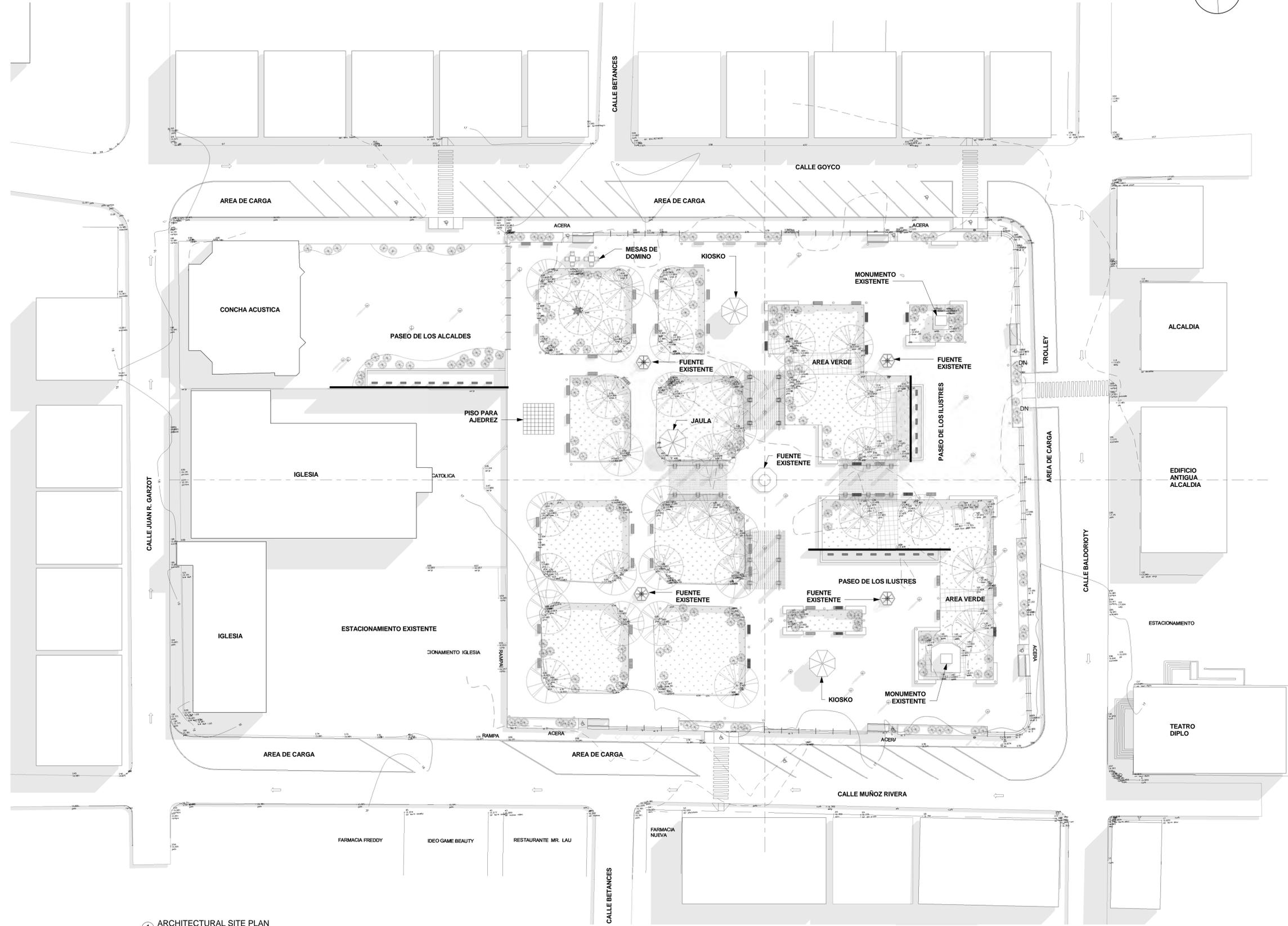
PROJECT: **PLAZA DE RECREO DE NAGUABO**
NAGUABO, PR
CLIENT: **MUNICIPIO DE NAGUABO**

PROJECT #: 53-002
SCALE: 1 1/2" = 1'-0"
DRAWN BY: Author

SCOPE OF WORK & DEMOLITION NOTES

TITLE: **G100**

SHEET



1 ARCHITECTURAL SITE PLAN
1 : 300

EM ARCHITECTS
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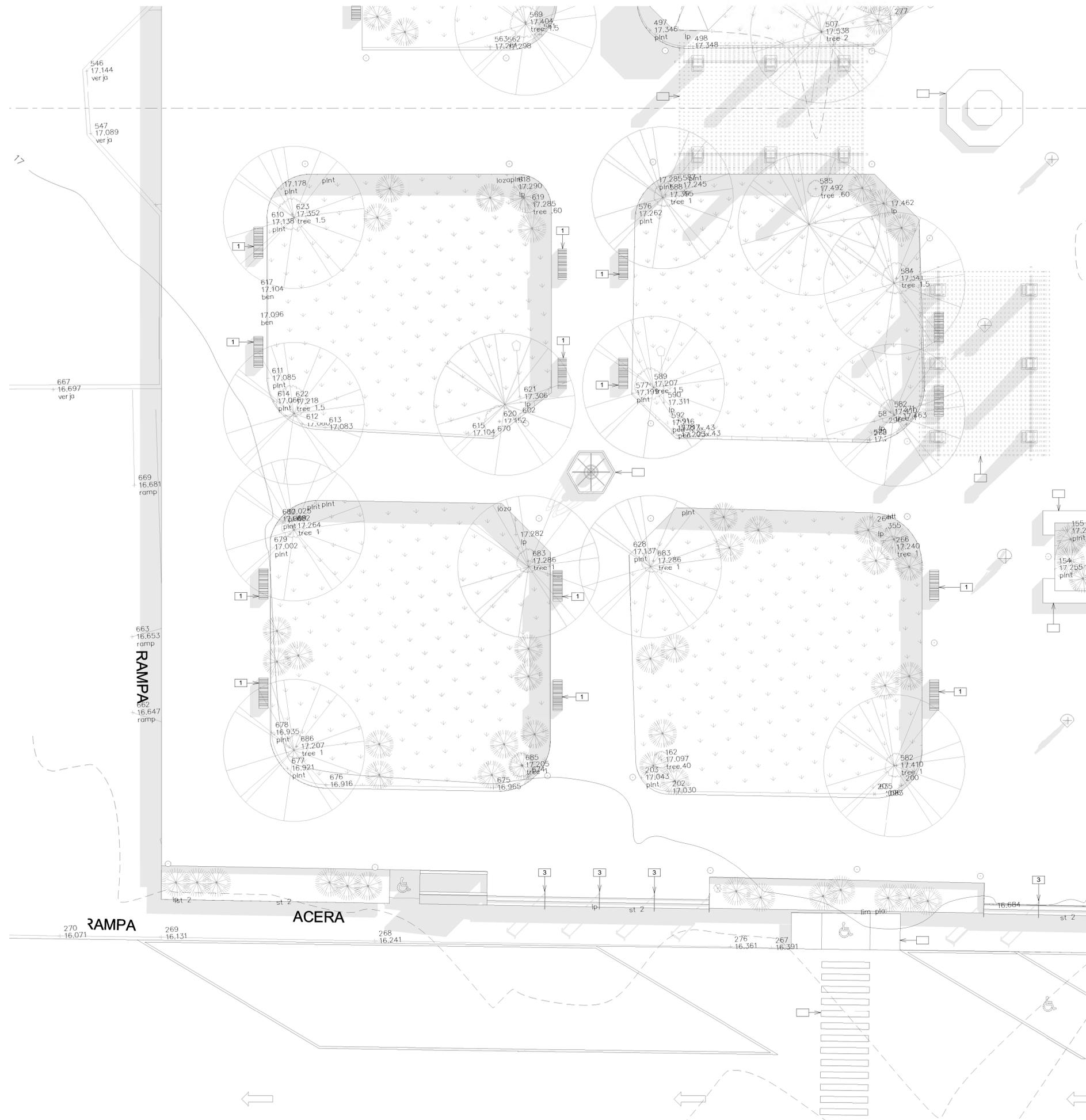
PROJECT # 53-002
 SCALE 1 : 300
 DRAWN BY Author

ARCHITECTURAL SITE PLAN

TITLE

SA102

SHEET

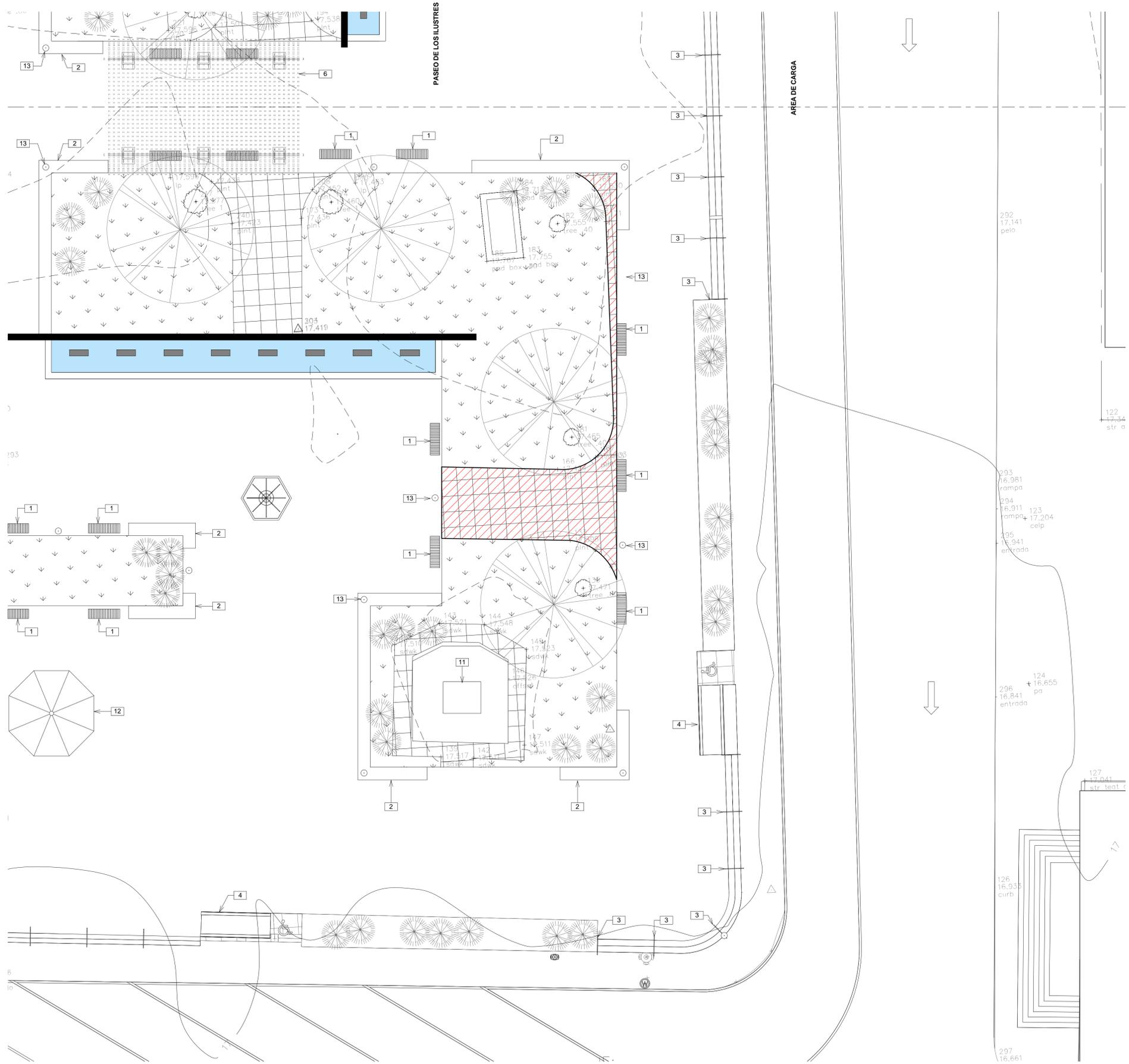


1 ENLARGED VIEW - 3
1/8" = 1'-0"

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 CERTIFIED BY:
 REVISION / DATE / DESCRIPTION:
 PROJECT: **PLAZA DE RECREO DE NAGUABO**
 NAGUABO, PR
 CLIENT: **MUNICIPIO DE NAGUABO**
 PROJECT #: 53-002
 SCALE: 1/8" = 1'-0"
 DRAWN BY: Author
 ENLARGED VIEW - 3
 TITLE: **SA-503**
 SHEET



1 ENLARGED VIEW - 4
1/8" = 1'-0"

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PROJECT: **PLAZA DE RECREO DE NAGUABO**
 NAGUABO, PR
 CLIENT: **MUNICIPIO DE NAGUABO**

PROJECT #: 53-002
 SCALE: 1/8" = 1'-0"
 DRAWN BY: Author
 ENLARGED VIEW - 4

TITLE: **SA-504**
 SHEET

ATTACHMENT M

Sole Source Aquifers

Safe Drinking Water Act of 1974, as amended, particularly section 1424(e); 40 CFR Part 149

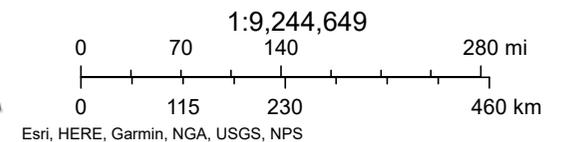


12/20/2024, 12:52:53 PM

Sole_Source_Aquifers



<https://epa.maps.arcgis.com/apps/webappviewer/index.html?id=9ebb047ba3ec41ada1877155fe31356b#>



ATTACHMENT N

Wetlands Protection

Executive Order 11990, particularly sections 2 and 5



May 24, 2023

Wetlands

- Estuarine and Marine Deepwater
- Freshwater Emergent Wetland
- Estuarine and Marine Wetland
- Freshwater Forested/Shrub Wetland
- Freshwater Pond
- Lake
- Other
- Riverine



This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.



PR CRP 000544

National Wetlands Inventory (NWI)
This page was produced by the NWI mapper

ATTACHMENT O

Wild and Scenic Rivers

Wild and Scenic Rivers Act of 1968, particularly section 7(b) and (c)

Wild and Scenic Rivers



4/16/2023

 National Wild and Scenic Rivers (Feature Layer) - National Wild and Scenic Rivers

World Imagery

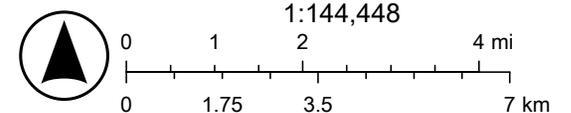
Low Resolution 15m Imagery

High Resolution 60cm Imagery

High Resolution 30cm Imagery

Citations

<https://www.arcgis.com/apps/mapviewer/index.html?panel=gallery&layers=183f02cd2f374c2bb7969bc4d9901ae7>



Earthstar Geographics



PR-CRP-000544

