



**U.S. Department of Housing and Urban
Development**

451 Seventh Street, SW
Washington, DC 20410
www.hud.gov

espanol.hud.gov

Environmental Review for Activity/Project that is Categorically Excluded Subject to Section 58.5 Pursuant to 24 CFR 58.35(a)

Project Information

Project Name: Ruta de los Tres Santos Reyes (PR-CRP-000437)

Responsible Entity: Puerto Rico Department of Housing (PRDOH)

Grant Recipient: Municipality of Juana Díaz

State/Local Identifier: Puerto Rico / Municipality of Juana Díaz

Preparer: Ramón Gustavo Luna Miranda BSCE, MEM

Certifying Officer Name and Title:

Aldo A. Rivera Vázquez- Permits and Environmental Compliance Director

Angel G. López Guzmán - Permits and Environmental Compliance Deputy Director

María T. Torres-Bregón - Environmental Compliance Manager

Sally Z. Acevedo-Cosme - Permits and Environmental Compliance Specialist

Pedro de León Rodríguez - Permits and Environmental Compliance Specialist

Ivelisse Lorenzo Torres - Permits and Environmental Compliance Specialist

Santa Ramírez Lebrón - Permits and Environmental Compliance Specialist

Janette I. Cambrelen - Permits and Environmental Compliance Specialist

Limary Vélez Marrero - Permits and Environmental Compliance Specialist

Mónica Machuca Rios - Permits and Environmental Compliance Specialist

Abdul Feliciano-Plaza: Permits and Environmental Compliance Specialist

Javier Mercado-Barrera: Permits and Environmental Compliance Specialist

Priscilla Toro-Rivera - Permits and Environmental Compliance Specialist

Grant Recipient (if different than Responsible Entity): Municipio de Juana Díaz, PR

Consultant: ROV Engineering Services, PSC

Direct Comments to: PRDOH at environmentcdbg@vivienda.pr.gov

Project Location: Urban Center, Pueblo Ward, Juana Diaz Puerto Rico (Starting point: Comercio Street (PR-14) km 14.6 until Román Baldorioty de Castro Public Square). Project Coordinates: Starting Point (Lat. 18.053032, Long. -66.499713) to End Point (Lat. 18.051440, Long. -66.505785). TPID: 366-030-078-03-000, 366-030-079-96-000, 366-030-082-03-000, (366-030-090-34-000, 366-030-090-22-000), 366-030-021-54-000, 366-030-039-49-001, 366-030-037-08-001.

The proposed project is in the vicinity of the mayor's house and the town hall of the municipality of Juana Díaz, Puerto Rico. See Figure 1 below and Exhibit 0 in Appendix A.



Figure 2 General Project Location (Municipalities map, US Census Bureau 2000)

Description of the Proposed Project [24 CFR 50.12 & 58.32; 40 CFR 1508.25]:

Under the City Revitalization program, using CDBG funds, the Municipality of Juana Diaz proposes to implement the Ruta de Los Santos Reyes starting from east to west, Calle Comercio, Kilometer 14.6, bordering to the south of the Museo de los Tres Reyes Magos until kilometer 14.0, bordering to the east of the Roman Baldorioty de Castro public square. From south to north, Comercio Street intersection with Carrion Maduro Street to the intersection of Carrion Maduro Street with Federico Degetau Street. From east to west, Federico Degetau Street intersection with Carrión Maduro Street to Federico Degetau Street intersection with Luis Muñoz Rivera Street. From north to south, Muñoz Rivera Street intersection with Federico Degetau Street to Comercio Street intersection with Luis Muñoz Rivera Street. The implementation of this route aims to revitalize the scenic aspect focused on the tradition of the Los Tres Santos Reyes. The Ruta de Los Tres Santos Reyes will be a scenic route focused on one of the greatest traditions of the city. This half-mile long route will connect the Los Tres Santos Reyes Museum and the Román Baldorioty de Castro Public Plaza through elements alluding to the Epiphany festival. The project will redesign the experience for Juana Diaz residents and visitors along Comercio Street (PR-14) and Carrión Maduro Street (PR 570) presenting history and tradition through art and architecture. The project includes the presentation of stamps at strategic points and intersections of the route. The project includes the redesign of the intersections, in which it will be necessary to remove asphalt to be replaced by elements comparable in quality and resistance. Elements with information alluding to the tradition of the Three Holy Kings and their history will also be installed on the sidewalks. The sidewalks will be remodeled with elements alluding to tradition and signage. Improvements to the route include providing accessibility and ADA compliance, which detailed below. The ornamental lighting poles will be replaced by ones of resilient nature and greater efficiency in line with energy conservation regulations.

Likewise, buildings will be included to decorate them with artistic paintings symbolizing, through art, the tradition of the Tres Santos Reyes de Juana Diaz. The proposal in general terms proposes to increase the flow of tourists and visitors from Plaza Baldorioty de Castro to the Los Tres Santos Reyes Museum. The new route will provide a unique scenic experience alluding to Epifania, a tradition rooted in the town of Juan Diaz and Puerto Rico. This route will be a cultural asset between the Pueblo and Tijeras neighborhoods that will attract tourism and develop the economy of the area. This will also be of benefit to the rest of the communities of the municipality in the neighborhoods of Amuelas, Cayabo, Capitanejo, Cintrona, Collores, Guayabal, Jacaguas, Lomas, Rio Cañas Abajo, Rio Cañas Arriba and Sabana Llana. The primary focus of this project is on achieving the necessary rehabilitation and improvements in public infrastructure along the streets that will serve as a connection between the two city landmarks. This will turn the area into a tourist attraction, contributing to the revitalization of the city. In addition, the Secretary of The Interior guidelines and recommendations will be complied with in urban centers and the regulations in volume X of the Joint Regulations of Puerto Rico will be followed.

Proposed Demolition:

- Asphalt pavement demolished and disposition (18,960 square feet). For this work an expected 11-1/2" maximum depth of excavation will be done.
- Selective concrete sidewalks demolition and disposition (39,100 square feet). For this work an expected 8" maximum depth of excavation will be done.
- Selective concrete curbs and planters' demolition and disposition (20,140 square feet).
- For this work an expected 1'-6" maximum depth of excavation will be done.
- Remove existing lighting system and ninety-one (91) lighting poles, and disposition.
- Excavations and disposal base for concrete slab on ground (77,800 cubic feet). For this work an expected 2'-0" maximum depth of excavation will be done.

Proposed Construction and Replacement:

- New improvements will be made to the sidewalks (16,060 square feet) of the pedestrian perimeters of the square. New access and new ramps will be built according with ADA guidelines (3,720 square feet). For this work an expected 8" maximum depth of excavation will be done.
- New installation of brick roads pavement (38,900 square feet). For this work an expected 2'-0" maximum depth of excavation will be done.
- New construction of eight-inch (8") slab on ground for brick pavement installation (951 cubic yards). For this work an expected 2'-0" maximum depth of excavation will be done.
- New construction of curbs and gutters (4,094 linear feet). For this work an expected 1'-6" maximum depth of excavation will be done.
- New construction of concrete swales (60 linear feet). For this work an expected 10" maximum depth of excavation will be done.
- New replacement of seven (7) secondary electrical feeders. No excavation will be necessary for these works.
- Installation of new four (4) new informative concrete modules. For this work an expected 3'-0" maximum depth excavation will be done.

- Installation of ornamental lighting poles (in kind) in the streets and intersection of the Comercio Street, Carrion Maduro Street, Degetau Street and Muñoz Rivera Street. No excavation will be necessary for these works.
- Installation of new twenty-two benches (22) Benito Urban Kube model, through the Ruta de Los Tres Santos Reyes. No excavation will be necessary for these works.
- Installation of twelve (12) new bollards, Benito Pilona Kube model, through the Ruta de Los Tres Santos Reyes. For this work an expected 4” maximum depth excavation will be done.
- Relocation of one (1) hydrant. No excavation will be necessary for these works.
- Manholes elevation modification and covers installation in the streets that are part of the Ruta de los Tres Santos Reyes proposed project. No excavation will be necessary for these works.
- Installation of new tree (3) storm sewer metal grades. No excavation will be necessary for these works.
- New selective artistic painting in the front facade (1,000 square feet area) of Building #1/366-030-078-03-000, located in PR14, corner with Orquídeas Street, in Juana Díaz.
- New selective artistic painting in front facade (800 square feet area) of the Apartamentos el Dorado, Building #2/366-030-079-96-000, located in PR14 Street in Juana Díaz.
- New selective artistic painting (650 square feet area) of the exterior perimeter wall of the Rutherford B. Hayes School, Building #3/366-030-082-03-000, located in PR14 Street in Juana Díaz.
- New selective artistic painting (775 square feet area) of the exterior perimeter wall of the Manuel Fernandez Juncos School, Building #4/366-030-090-34-000, 366-030-090-22-000, located in PR14 Street in Juana Díaz.
- New selective artistic painting in front facade (1,300 square feet area) of Cooperativa de Juana Diaz, Building #5/366-030-021-54-000, located in PR14 Street in Juana Díaz.
- New selective artistic painting in the left facade (960 square feet area) of Building #104 Building#6/366-030-039-49-001, located in PR14 Street in Juana Díaz.
- New selective artistic painting in front and left facade (1250 square feet area) of Building #92 (Mueblicentro Guayabal), Building #7/366-030-037-08-001, located in PR14 Street in Juana Díaz.
- The new selective artistic painting for the aforementioned buildings and perimeter walls will be carried out after surface preparation and pressure washing of the area to be painted. This will be performed according to the Secretary of the Interior Standards for Rehabilitation. <http://www.nps.gov/articles/000/treatment-standards-rehabilitation.htm>. Per the standards, Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials with not be used.
- All the new paint used to decorate the buildings or perimeter fences, once applied, may be removable, as desired by the municipality of Juana Díaz. The paint to be used will be for exterior use, in pastel colors, durable under weather conditions, with UV protection, and of reliable quality for excellent adhesion to the surface. Primer application is required prior to paint application to ensure paint efficiency and durability. The selection of paint colors must have prior approval from the Puerto Rican

Institute of Culture and the State Historic Preservation Office (SHPO), before being applied.

The width of the excavations may vary depending on the conditions of the area and the type of work to be carried out. These excavations are expected to range from 6" to 52'-0" wide. 100% completed plans, including the artistic painting of the buildings, are provided attached to the SHPO consultation documentation in Appendix D.

Level of Environmental Review Determination:

Categorically Excluded per 24 CFR 58.35(a), and subject to laws and authorities at §58.5:(CEST per 24 CFR 58.35(a))

Funding Information

Grant Numbers	HUD Program	Funding Amount
B-17-DM-72-0001 B-18-DP-72-0001 B-19-DP-78-0002 B-18-DE-72-0001	Community Development Block Grant - Disaster Recovery (CDBG-DR)	\$11,938,162,230.00

Estimated Total HUD Funded Amount: \$2,881,565.01

Estimated Total Project Cost (HUD and non-HUD funds) [24 CFR 58.32(d)]: \$2,881,565.01

Compliance with 24 CFR 50.4, 58.5, and 58.6 Laws and Authorities

Record below the compliance or conformance determinations for each statute, executive order, or regulation. Provide credible, traceable, and supportive source documentation for each authority. Where applicable, complete the necessary reviews or consultations and obtain or note applicable permits of approvals. Clearly note citations, dates/names/titles of contacts, and page references. Attach additional documentation as appropriate.

Compliance Factors: Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6	Are formal compliance steps or mitigation required?	Compliance determinations
STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 50.4 & 58.6		
Airport Hazards 24 CFR Part 51 Subpart D	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	The project is not located within an FAA-designated civilian airport Runway Clear Zone (RCA). The project site is located 5.85 linear miles from the nearest Mercedita civil

		<p>airport and 43.41 miles from the closest Luis Muñoz Marin military airport. Since the project is not located within 15,000 feet (2.84 miles) of a military airport or 2,500 feet (0.47 miles) of a civilian airport. The project is in compliance with the Airport Hazards 24 CFR Part 51 Subpart D requirements.</p> <p>See Appendix A Exhibit 1 Air Hazards Map.</p>
<p>Coastal Barrier Resources</p> <p>Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 [16 USC 3501]</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The proposed project is not located within a designated Coastal Barrier Resources System (CBRS) unit. The project site is located 4.52 linear miles (23865 ft) from the nearest coastal barrier resource system. Therefore, the project is in compliance with the Coastal Barrier Resources Act.</p> <p>See Appendix A Exhibit 2 Coastal Barrier Resources Systems Map.</p>
<p>Flood Insurance</p> <p>Flood Disaster Protection Act of 1973 and National Flood Insurance Reform Act of 1994 [42 USC 4001-4128 and 42 USC 5154a]</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The project is located in an Area of Minimal Flood Hazard, classified as Zone X Unshaded, per FEMA Flood Insurance Rate Map (FIRM) panel 72000C1670H dated 11/18/2009. Due to its zone designation, there is no need to obtain flood insurance for the site. The project is in compliance with the Flood Disaster Protection Act of 1973 and National Flood Insurance Reform Act of 1994.</p> <p>See Appendix A Exhibit 3a FIRMette.</p>
<p>STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 50.4 & 58.5</p>		
<p>Clean Air</p> <p>Clean Air Act, as amended, particularly section 176(c) & (d); 40 CFR Parts 6, 51, 93</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The project is located within an “attainment” area. The project site is in the Barrio Pueblo of the Municipality of Juana Diaz, an area not currently listed as non-attainment. EPA NEPA Assist or another official regulatory website https://www.epa.gov/nepa/nepassist</p> <p>During construction or operation, the proposed action will not cause air emissions of any criteria pollutants that exceeds any de minimis or threshold emission levels. To prevent nuisance to neighboring areas, the</p>

		<p>contractor will implement controls measures for fugitive dust incidental to the construction phase.</p> <p>This project is in compliance with the Clean Air Act regulations. See Appendix A Exhibit 4 and Exhibit 4A.</p>
<p>Coastal Zone Management</p> <p>Coastal Zone Management Act, sections 307(c) & (d)</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The project is not located in the coastal zone, and the project does not include new construction or major rehabilitation of existing structures. The project is located at 4.82 miles of the Coastal Zone, as defined in the Puerto Rico Coastal Management Plan. This project is in compliance with the Coastal Zone Management Act regulations.</p> <p>See Appendix A Exhibit 5.</p>
<p>Contamination and Toxic Substances</p> <p>24 CFR Part 50.3(i) & 58.5(i)(2)</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The subject and adjacent properties are free of hazardous materials, contamination, toxic chemicals, gasses, and radioactive substances which could affect the health or safety of occupants or conflict with the intended use of the subject property.</p> <p>The NEPAssist website was used to identify known contaminated landfills or other sites, properties, or release sources within a one-mile radius. According to this information, no Brownfields (ACRES), Superfund (NPL), or Superfund Enterprise Management System (SEMS) listings were within 1 mile of the project site. The project site is within 3,000 feet of 11 Resource Conservation and Recovery Act (RCRA) Hazardous Waste listings and two Toxics Release Inventory (TRI) listings. The two TRI sites also were listed in the RCRA database.</p> <p>All but three of the RCRA-listed sites were more than 1,000 feet from the project site, and seven of these eight distant sites had no RCRA violations reported in the last three years. The Fort Allen Training Site at PR-149 KM 73.3, approximately 2,646 feet from the project site, was identified as being in significant non-compliance with the Clean Water Act (CWA) for nine out of 12 of the last quarters for a reporting failure. The</p>

		<p>closest sites to the proposed project are Quality Cleaners at 15 DR Santiago Veve (approximately 151 feet from the project site), Autotek Caribe at 147 Tomas Carrion Maduro Avenue (approximately 491 feet from the project site), and Super Farmacia Juan Diaz Incl at 27 Calle Tomas Carrion Maduro (approximately 491 feet from the project site). None of these three sites had any RCRA violations reported in the last three years. These sites do not have any releases reported or any EPA formal or informal action reported for the last three years in EPA's Enforcement and Compliance History Online (ECHO) Detailed Facility Reports and would not generate toxic, hazardous, or radioactive substances that could affect the health and safety of project occupants or conflict with the intended use of the project site.</p> <p>The two TRI listings are Productos De PR Inc. and Caribe GE Products Inc., both of which are more than 2,000 feet from the project site and had no violations reported in the last three years. Productos De PR Inc. is involved in bare printed circuit board manufacturing, with no reported discharges since 1998. Copper was the main TRI chemical reported for the facility, and it was transferred off-site. Caribe GE Products Inc. manufactures current-carrying wiring devices. Copper was the main TRI chemical reported for the facility, and it was transferred off-site. Based on the distance and status of these facilities, they would not generate toxic, hazardous, or radioactive substances that could affect the health and safety of project occupants or conflict with the intended use of the project site.</p> <p>A Lead based paint (LBA) assessment was conducted on March 1st, 2023, resulting positive in the curbs at the road PR-14 in right side and left side. An Asbestos Containing Material (ACM) assessment was performed</p>
--	--	--

		<p>on March 3rd, 2023, resulting negative to the structures to be demolished.</p> <p>Per CPD-23-103 (Departmental Policy for Addressing Radon in the Environmental Review Process), exemptions from having to consider radon in the contamination analysis include projects involving non-residential buildings that will not be occupied for more than 4 hours a day. The project involves the works on streets therefore radon should not be a concern.</p> <p>A site visit performed by Ramón G. Luna Miranda on February 23, 2022, did not identify any recognized environmental conditions (RECS) on or adjacent to the project site. Refer to Appendix A Exhibit 12.</p> <p>The project is in compliance with the contamination and toxic substances regulations.</p> <p>See Appendix A Exhibit 6, and Appendix B, Contamination and Toxic Substances for ECHO Reports, ACM Report & LBP Report.</p>
<p>Endangered Species</p> <p>Endangered Species Act of 1973, particularly section 7; 50 CFR Part 402</p>	<p>Yes No</p> <p><input checked="" type="checkbox"/> <input type="checkbox"/></p>	<p>Per the Official Species List from the U.S. Fish and Wildlife Service (USFWS) Information for Planning and Consultation (IPaC) website, the Puerto Rican Boa can be found in the area but there are no critical habitats at this location. The Project will have no potential to affect species or habitats due to the nature of the activities involved in the project. The nearest critical habitat is about 58,300 ft southwest of the project site. Based on the nature of the project, scope of work, information available, and a careful analysis of the Project Site, and IPaC species list, it was determined that there would be No Effect for any of the listed species.</p> <p>On April 10, 2024, the Puerto Rico Department of Housing (PRDOH) requested informal consultation under Section 7 (a)(2) of the Endangered Species Act (Act). PRDOH determined that the project would Not Likely Adversely Affect (NLAA) the Puerto Rican boa. In a response dated May</p>

		<p>23, 2024, USFWS determined based on the information provided that the proposed project qualifies for the blanket clearance letter of authorization. However, if the project is modified, this office should be contacted regarding the need to initiate a consultation under section 7 of the Endangered Species Act 1973.</p> <p>If a Puerto Rican Boa is found in the project action site, work shall cease until the Boa moves off on its own. If the Boa does not move off, the CM shall contact the Puerto Rico Department of Natural and Environmental Resources and ask for them to relocate the Boa.</p> <p>Therefore, the project is in compliance with Endangered Species Act requirements. See Appendix A, Exhibit 7 and Appendix C, Endangered Species documentation.</p>
<p>Explosive and Flammable Hazards</p> <p>24 CFR Part 51 Subpart C</p>	<p>Yes No <input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The project does not include project include a hazardous facility (a facility that mainly stores, handles or processes flammable or combustible chemicals such as bulk fuel storage facilities and refineries) Furthermore, the project does not involve development, construction, rehabilitation that will increase residential density, or conversion.</p> <p>Therefore, the project is following the Explosive and Flammable Hazards requirements.</p>
<p>Farmlands Protection</p> <p>Farmland Protection Policy Act of 1981, particularly sections 1504(b) and 1541; 7 CFR Part 658</p>	<p>Yes No <input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The project site does not include prime or unique farmland, or other farmland of statewide or local importance as identified by the U.S. Department of Agriculture, Natural Resources Conservation Service NRCS. The project is outside agricultural reserves, experiment stations, soil classified as agricultural capacity or classified as prime agricultural land. This project does not include any activities that could potentially convert agricultural land to non-agricultural use. The project complies with the Farmland Land Protection Policy Act.</p>

		See Appendix A Exhibit 8 Farmland Protection map.
<p>Floodplain Management</p> <p>Executive Order 11988, particularly section 2(a); 24 CFR Part 55</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The Project site is not in the 100-year Special Flood Hazard Area (SFHA), as indicated on the Advisory Base Flood Elevation map. The project site is within the Zone X area of minimal flood hazard. The project is not considered a critical action under 24 CFR Part 55.</p> <p>The Project is in compliance with Executive Order 11988, particularly section 2(a); 24 CFR Part 55.</p> <p>See Appendix A Exhibit 3b Floodplain Management Map.</p>
<p>Historic Preservation</p> <p>National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800</p>	<p>Yes No</p> <p><input checked="" type="checkbox"/> <input type="checkbox"/></p>	<p>Consultation with the SHPO regarding the Department of Housing of Puerto Rico (PRDOH) Program was initiated on April 30, 2024, with a letter indicating that PRDOH contracted Horne Federal LLC to provide environmental registry review services, among others, that will support the objectives of the agenda for both CDBG-DR and CDBG-MIT Programs. On February 20, 2025, PRDOH submitted to SHPO an Effect Determination Form for the proposed project with a no adverse effect recommendation (1) All work to historic structures must be conducted per the Secretary of the Interior's Standards for Rehabilitation and (2) Archaeological monitoring during all ground-disturbing activities. On March 21, 2025, SHPO concurred with a finding that the proposed project with the established conditions, will have no adverse effect upon historic properties: (1) All rehabilitations are to be carried out in accordance with the Secretary of the Interior's Standards and Guidelines for Rehabilitation; and (2) Archaeological monitoring during all ground-disturbing activities. On June 2, 2025, PRDOH submitted to SHPO the requested Archaeological Monitoring Plan. On June 27, 2025, SHPO concurred with the Archaeological Monitoring Plan.</p>

		This project is in compliance with Historic Preservation requirements. See Appendix D Historic Preservation documentation.
<p>Noise Abatement and Control</p> <p>Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The proposed project does not involve establishment of new residences, an increase in residents, or introduction of other noise sensitive uses. The project does not require further evaluation under HUD's noise regulation. The noise that will be produced during construction is generated by the operation of construction equipment. All equipment and machinery will have noise dampers maintained in accordance with manufacturer's recommendations to control noise generation. Construction activities will be conducted during the day and have minimal impacts on the neighboring community. The noise levels attributable to construction activities will be temporary in nature and is not expected to exceed 65 dBA.</p> <p>Therefore, the project complies with Noise Abatement and Control requirements.</p>
<p>Sole Source Aquifers</p> <p>Safe Drinking Water Act of 1974, as amended, particularly section 1424(e); 40 CFR Part 149</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The project is not located within a U.S. EPA-designated sole source aquifer watershed area (including stream flow source areas). The closest aquifers to Puerto Rico are located 964 miles in the state of Florida. According to the information published by the United States Environmental Protection Agency (USEPA) in the Interactive Map of Sole Source Aquifers (SSA), there are no Sole Source Aquifers in Puerto Rico. Therefore, the project is in compliance with the project will not have an impact on any Sole Source Aquifers regulations.</p> <p>See Appendix A Exhibit 9 Sole Source Aquifers Map.</p>
<p>Wetlands Protection</p> <p>Executive Order 11990, particularly sections 2 and 5</p>	<p>Yes No</p> <p><input checked="" type="checkbox"/> <input type="checkbox"/></p>	<p>The project requires compliance with the 8-step decision-making process at 24 CFR Part 55.20 because it would involve ground disturbance. However, there will not be new construction on previously undisturbed areas. The project has 0.03 acres in the riverine wetland at the eastern end of the project. The</p>

		<p>8-Step Analysis found that there is no practicable alternative to locating the project in this wetland. Although a minor portion of the site is in a wetland, the project has been adapted to minimize wetland impacts. No new occupancy or modification of the wetland area will take place since this project consists of an existing developed area that is currently in use and that constitutes the actual commercial urban area of the municipality of Juana Díaz. An erosion and sedimentation control plan will be implemented during construction to protect the wetland.</p> <p>An early public notice was prepared and published on April 3rd, 2024, in the “Primera Hora” newspaper of Puerto Rico. The required fifteen (15) calendar days were allowed for public comment, and no comments were received. A final public notice was published on May 29, 2024, with a seven-day public comment period. No comments were received on or before June 6, 2024.</p> <p>The project is in compliance with Executive Order 11990, particularly sections 2 and 5, for the protection of wetlands.</p> <p>See Appendix A Exhibit 10 Wetlands Map and Appendix E Wetlands Protection.</p>
<p>Wild and Scenic Rivers</p> <p>Wild and Scenic Rivers Act of 1968, particularly section 7(b) and (c)</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The project is not located within one mile of a listed Wild and Scenic River. Existing Wild and Scenic Rivers in Puerto Rico are located within 48.0 linear miles (253,440 ft) of the proposed project. There are no designated Wild and Scenic Rivers in the project area. Therefore, the project complies with the Wild and Scenic Rivers Act.</p> <p>See Appendix A Exhibit 11 Wild and Scenic Rivers Map.</p>

Field Inspection (Date and completed by): 2/23/2022 by Ramón G. Luna Miranda, ROV Engineering Services. No recognized environmental conditions (RECs) were observed on site and peripherals. Refer to Exhibit 12.

Summary of Findings and Conclusions:

The proposed project, which involves improvements and repairs to the project named Ruta de los Tres Santos Reyes at the municipality of Juana Díaz, is not expected to result in any adverse effects on the natural or human environment. The proposed activity will preserve the environmental integrity of the surrounding area while revitalizing an important community resource. Furthermore, it is anticipated to yield social and economic benefits for the Municipality of Juana Díaz. By improving a route, it will provide residents, with better opportunities for economic development, social engagement, and community events. The project aligns with the Municipality's broader goals of promoting community well-being and economic resilience. Is it not expected to negatively impact the area, as it is being undertaken in a previously developed area and identified impacts would be mitigated. The project complies with the statutes, executive orders, and regulations evaluated as part of this ERR.


Mitigation Measures and Conditions [40 CFR 1505.2(c)]

Summarize below all mitigation measures adopted by the Responsible Entity to reduce, avoid, or eliminate adverse environmental impacts and to avoid non-compliance or non-conformance with the above-listed authorities and factors. These measures/conditions must be incorporated into project contracts, development agreements, and other relevant documents. The staff responsible for implementing and monitoring mitigation measures should be clearly identified in the mitigation plan.

Law, Authority, or Factor	Mitigation Measure
Endangered Species	Conservation measures for the Puerto Rican Boa need to be implemented if the Boa is encountered during construction.
Historic Preservation	An archaeological monitoring will be conducted during ground disturbing activities for the project.
Solid Waste Disposal / Recycling	Salvaging/recycling of materials shall be as determined feasible with other program requirements. A solid waste management plan shall be developed and implemented.
Wetlands Protection	Best management practices will be implemented to ensure there are no direct or indirect impacts to wetlands, as stated by §55.10 (Limitations on HUD assistance in wetlands).An erosion and sedimentation control plan will be implemented during construction to protect the wetland.
Permits and endorsements	The project will adhere to all applicable regulations, ensuring full compliance with both state and federal requirements. This includes meeting standards set forth by relevant agencies, adhering to environmental, safety, and construction codes, and following established protocols to secure necessary permits and approvals.

Determination:

- This categorically excluded activity/project converts to Exempt, per 58.34(a)(12) because there are no circumstances which require compliance with any of the federal laws and authorities cited at §58.5. **Funds may be committed and drawn down after certification of this part** for this (now) EXEMPT project, OR
- This categorically excluded activity/project cannot convert to Exempt because there are circumstances which require compliance with one or more federal laws and authorities cited at §58.5. Complete consultation/mitigation protocol requirements, **publish NOI/RROF and obtain “Authority to Use Grant Funds”** (HUD 7015.16) per Section 58.70 and 58.71 before committing or drawing down any funds, OR
- This project is now subject to a full Environmental Assessment according to Part 58 Subpart E due to extraordinary circumstances (Section 58.35(c)).

Preparer Signature:  **Date:** 08/22/2025
Ramón G Luna Miranda, BSCE, MEM / ROV Engineering
Name/Title/Organization: Services

Responsible Entity Agency Official Signature (Certifying Officer):

Date: August 25, 2025
Name/Title: Mónica M. Machuca Ríos / Permits and Environmental Compliance Specialist

This original, signed document and related supporting material must be retained on file by the Responsible Entity in an Environmental Review Record (ERR) for the activity/project (ref: 24 CFR Part 58.38) and in accordance with recordkeeping requirements for the HUD program(s).

APPENDIX A

Figures, Agency Consultations and Correspondence

[40 CFR 1508.9(b)] (List and attach all evidence of inquiries and responses received at all stages of consultation and analysis.)

- Exhibit 0.** Location Map
- Exhibit 1.** Airport Hazards
- Exhibit 2.** Coastal Barrier Resources Act
- Exhibit 3a.** Flood Insurance and Floodplain Management
- Exhibit 3b.** Base Flood Elevations (ABFE) Map
- Exhibit 4.** Air Quality / Puerto Rico Nonattainment/Maintenance Status list
- Exhibit 5.** Coastal Zone Management
- Exhibit 6.** Toxic and Contamination Substances
- Exhibit 7.** Endangered Species
- Exhibit 8.** Explosive and Flammable Hazards
- Exhibit 9.** Farmland Protection
- Exhibit 10.** Historic Preservation
- Exhibit 11.** Sole Source Aquifers
- Exhibit 12.** Wetland Protection
- Exhibit 13.** Wild and Scenic Rivers
- Exhibit 14.** Field Inspection Report

Appendix A

Exhibits

Exhibit 0. Location Map

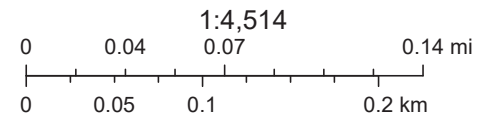
PR-CRP-000437 Ruta de los Tres Santos Reyes

Carr. # 14 Km 14.7 to Carrión Maduro, Degetau, and Muñoz Rivera Streets
around the public square, Juana Díaz, PR, 00795
Coordinates 18.05312, 66.50588



Legend:

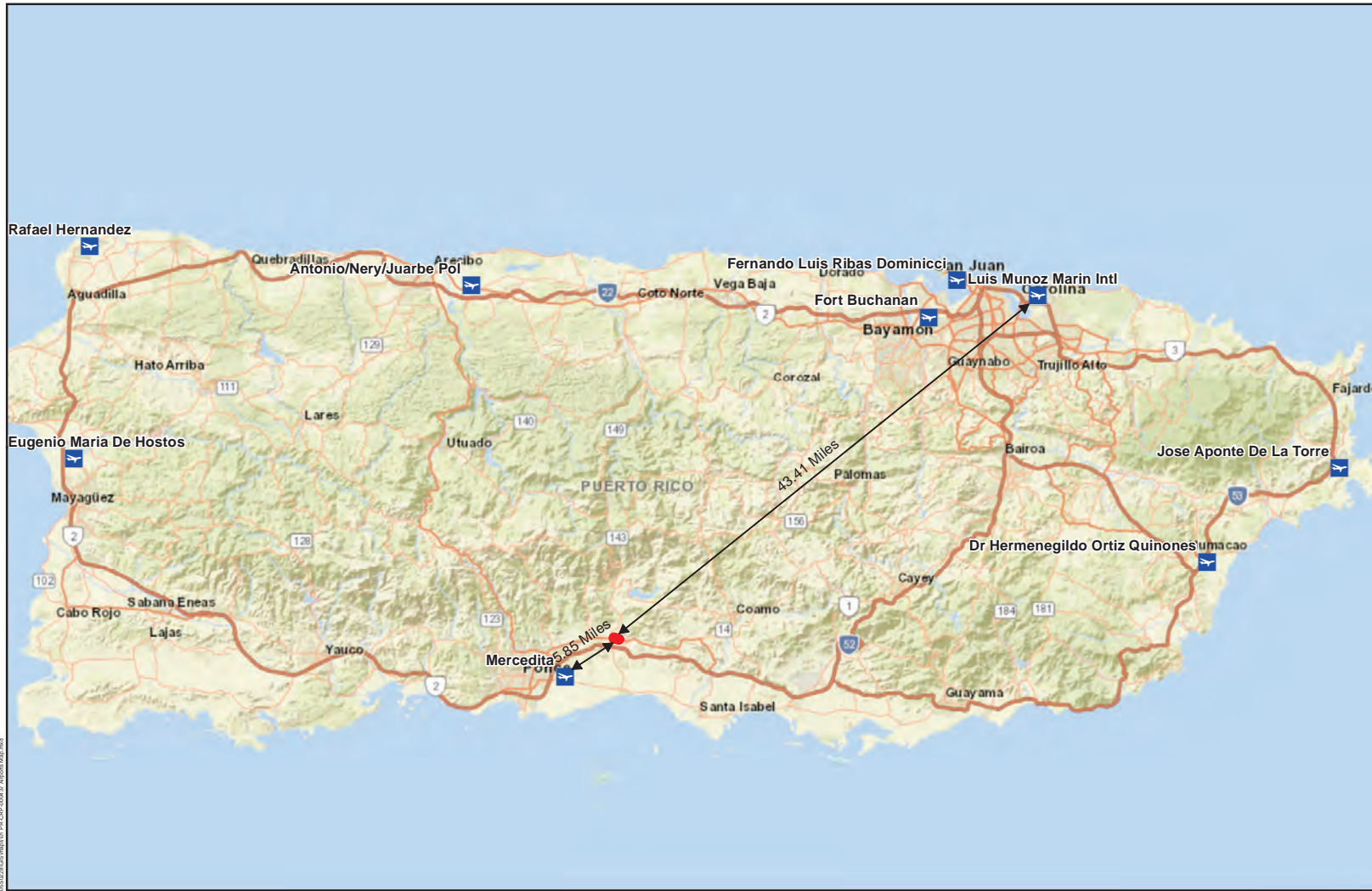
 Project Site



ArcGIS Web AppB

Esri Community Maps Contributors, Kadaster Netherlands, Esri, TomTom, Garmin, Foursquare, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS,

MAXAREsri Community Maps Contributors, Kadaster Netherlands, Esri, TomTom, Garmin, Foursquare, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, NPS, US Census Bureau, USFWS |



Legend

-  Airports
-  Project Area

PUERTO RICO



Exhibit 1. Airports Map

Improvements to the Ruta de los Tres Santos Reyes, Juana Díaz

Applicant ID: PR-CRP-000437

Project Coordinates: Starting Point (Lat. 18.053032, Long. -66.499713) to End Point (Lat. 18.051440, Long. -66.505785)

Address: Carr. # 14 Km 14.7 to Carrión Maduro, Degetau, and Muñoz Rivera Streets around the public square, Juana Díaz, PR 00795



Source: CRIM 2014
 (https://catastro.crimpr.net/cdprpc/),
 Federal Aviation Administration (FAA)
 National Transportation Atlas 2022,
 ESRI 2022.

Author: Genevieve Kaiser
 Date: 8/21/2024





Legend

- Project Area
- Coastal Barrier Resources System Unit
- Otherwise Protected Area
- Coastal Barrier Resources System Buffer Zone

PUERTO RICO



Exhibit 2. Coastal Barrier Resources System Map

Improvements to the Ruta de los Tres Santos Reyes, Juana Díaz

Applicant ID: PR-CRP-000437

Project Coordinates: Starting Point (Lat. 18.053032, Long. -66.499713) to End Point (Lat. 18.051440, Long. -66.505785)

Address: Carr. # 14 Km 14.7 to Carrión Maduro, Degetau, and Muñoz Rivera Streets around the public square, Juana Díaz, PR 00795



Source: Source: USFWS 2019 (<https://fwspprimary.wim.usgs.gov/CBRSMapper/v2/#layersPanel>), CRIM 2014 (<https://catastro.crimpr.net/cdprpc/>), ESRI 2022.

Author: Genevieve Kaiser Date: 8/21/2024

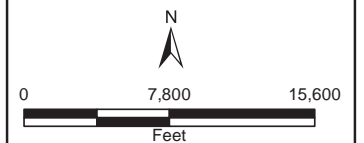


Exhibit 3a. National Flood Hazard Layer FIRMMette

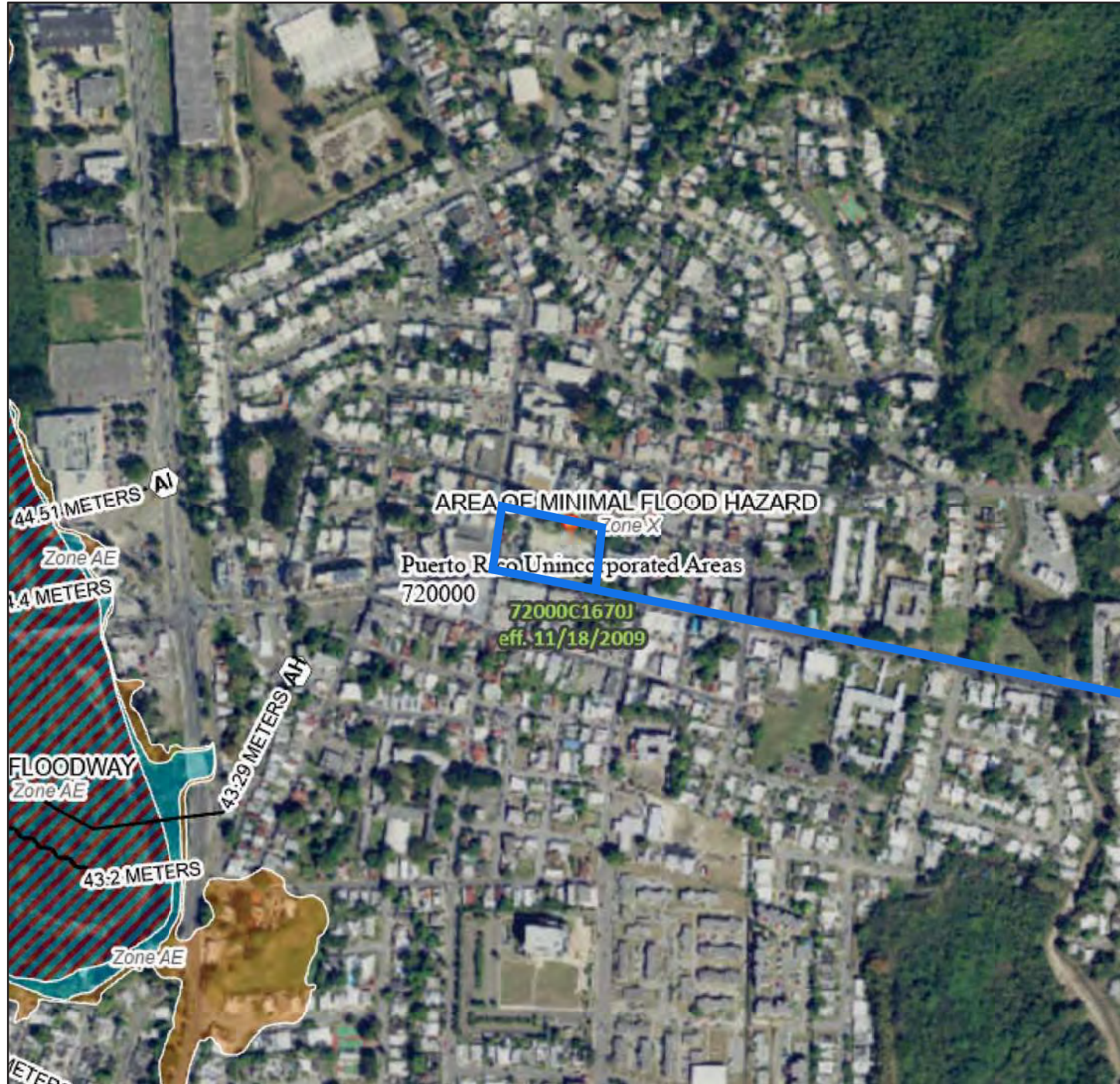
66°30'40"W 18°3'28"N

<https://msc.fema.gov/portal/search?AddressQuery=-66.50588%2C%2018.05312>



PR-CRP-000437 Ruta de los Tres Santos Reyes Carr. # 14 Km 14.7 to Carrión Maduro, Degetau, and Muñoz Rivera Streets around the public square, Juana Díaz, PR, 00795
Legend Coordinates 18.05312, 66.50588

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT



SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard Zone D
		Channel, Culvert, or Storm Sewer
OTHER FEATURES		Levee, Dike, or Floodwall
		20.2 Cross Sections with 1% Annual Chance
MAP PANELS		17.5 Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature
		Digital Data Available
		No Digital Data Available
	Unmapped	
	The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.	
	Project Site	

0 250 500 1,000 1,500 2,000 Feet 1:6,000
 Basemap: USGS National Map: Orthoimagery: Data refreshed October, 2020

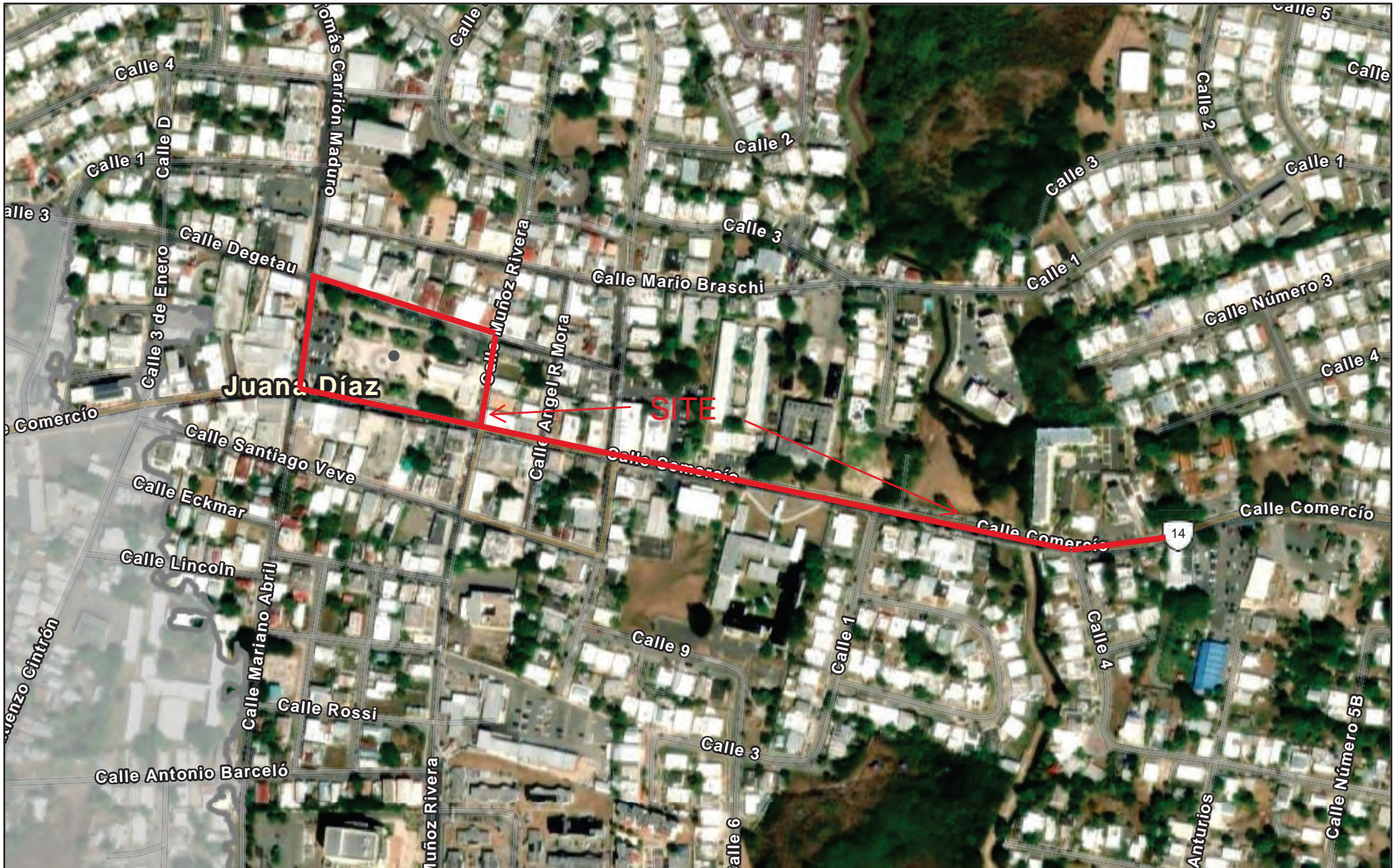
This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **3/31/2022 at 4:36 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

Exhibit 3b. PR ABFE Map

Carr. # 14 Km 14.7 to Carrión Maduro, Degetau, and Muñoz Rivera Streets
 around the public square, Juana Díaz, PR, 00795
 Coordinates 18.05312, 66.50588

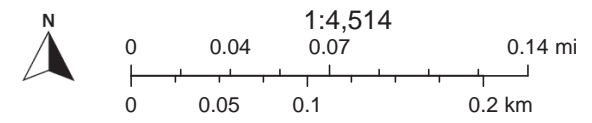


1/15/2024

Flood Hazard Area (zoom in to make visible)

- A
- AO
- AE
- Coastal A Zone
- VE
- 0.2% Annual Chance Flood Zone
- A-Floodway
- AE-Floodway

- Coastal A Zone and Floodway
- Zone/BFE Boundary
- Flood Hazard Extent
- 1% Annual Chance Flood
- 0.2% Annual Chance Flood
- Limit of Moderate Wave Action (LiMWA)
- Streamline (zoom in to make visible)

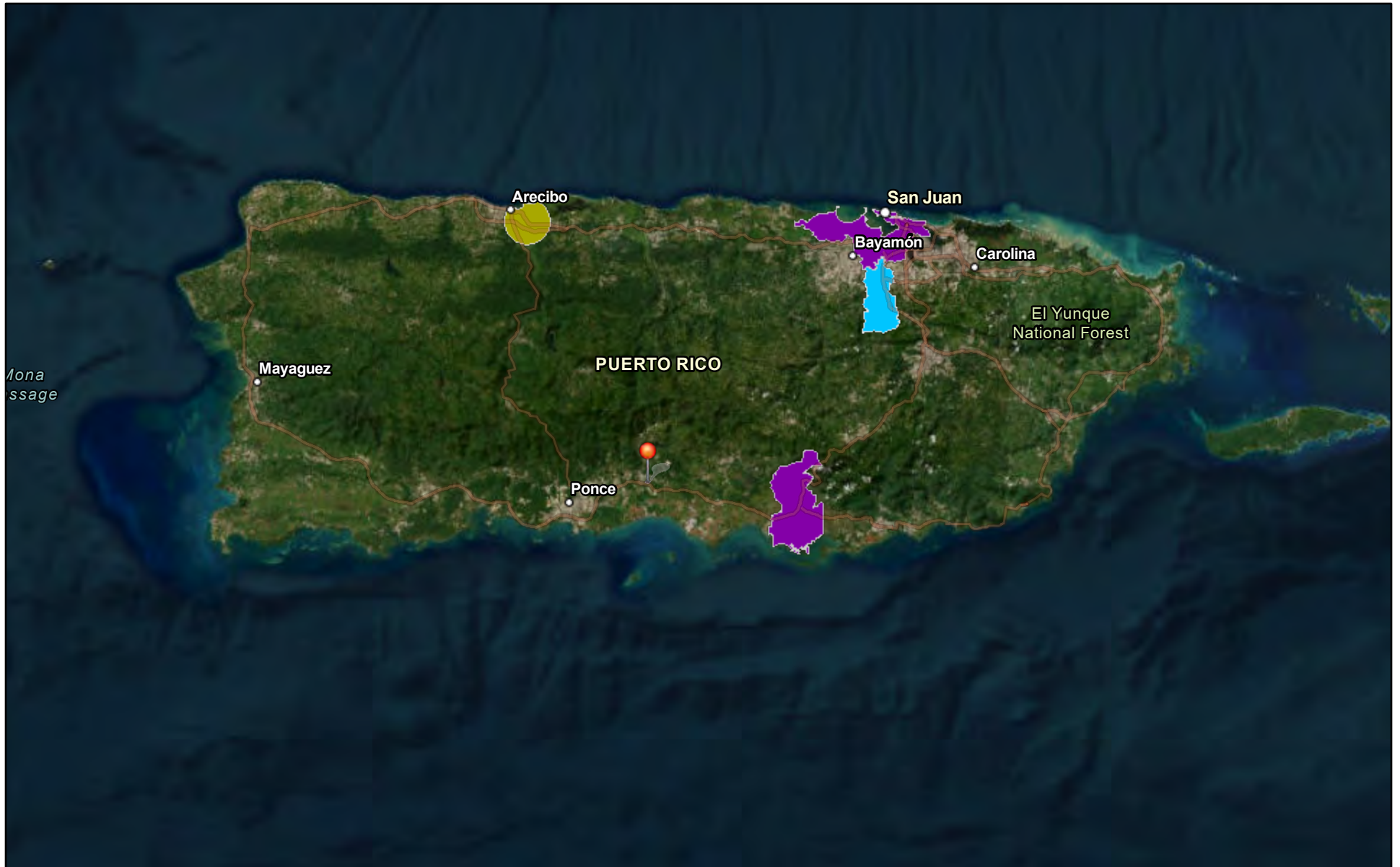


FEMA, Esri Community Maps Contributors, Kadaster Netherlands, Esri, TomTom, Garmin, Foursquare, SafeGraph, GeoTechnologies, Inc, METI/





ArcGIS Web AppBuilder

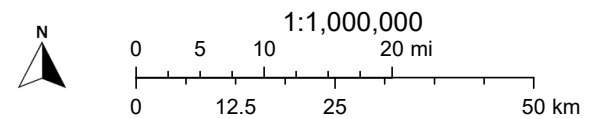
Exhibit 4 Clean Air Map

PR-CRP-000437 Ruta de los Tres Santos Reyes
Carr. # 14 Km 14.7 to Carrión Maduro, Degetau, and Muñoz Rivera Streets
around the public square, Juana Díaz, PR, 00795
Coordinates 18.05312, -66.50588



Legend:

-  Project Site
-  SO2 1-hr (2010 standard) Nonattainment
-  SO2 1-hr (2010 standard) Nonattainment
-  PM10 (1987 standard) Maintenance



Earthstar Geographics, Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, (c) OpenStreetMap contributors, and the GIS User Community, U.S.

June 18, 2025 SVR - Tt

<https://nepassisttool.epa.gov/nepassist/nepamap.aspx>

Exhibit 4A

PR-CRP-000437 Ruta de los Tres Santos Reyes
 Carr. # 14 Km 14.7 to Carrión Maduro, Degetau, and Muñoz Rivera Streets
 around the public square, Juana Díaz, PR, 00795
 Coordinates 18.05312, 66.50588

Green Book

You are here: [EPA Home](#) > [Green Book](#) > > [National Area and County-Level Multi-Pollutant Information](#) > [Puerto Rico Nonattainment/Maintenance Status for Each County by Year for All Criteria Pollutants](#)

Puerto Rico Nonattainment/Maintenance Status for Each County by Year for All Criteria Pollutants

Data is current as of May 31, 2025

Listed by County, NAAQS, Area. The 8-hour Ozone (1997) standard was revoked on April 6, 2015 and the 1-hour Ozone (1979) standard was revoked on June 15, 2005.

* The 1997 Primary Annual PM-2.5 NAAQS (level of 15 µg/m³) is revoked in attainment and maintenance areas for that NAAQS. For additional information see the PM-2.5 NAAQS SIP Requirements Final Rule, effective October 24, 2016. ([81 FR 58009](#))

Change the State:

[Important Notes](#)

[Download National Dataset: dbf | xls](#)

County	NAAQS	Area Name	Nonattainment in Year															Redesignation to Maintenance	Classification	Whole or/Part County	Population (2010)	State/County FIPS Codes																				
PUERTO RICO																																										
Arecibo Municipio	Lead (2008)	Arecibo, PR																				11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	//		Part	32,185	72/013	
Bayamon Municipio	Sulfur Dioxide (2010)	San Juan, PR																												18	19	20	21	22	23	24	25	//		Part	22,921	72/021
Catano Municipio	Sulfur Dioxide (2010)	San Juan, PR																												18	19	20	21	22	23	24	25	//		Whole	28,140	72/033
Guaynabo Municipio	PM-10 (1987)	Mun. of Guaynabo, PR	92	93	94	95	96	97	98	99	00	01	02	03	04	05	06	07	08	09																	02/11/2010	Moderate	Part	90,470	72/061	
Guaynabo Municipio	Sulfur Dioxide (2010)	San Juan, PR																												18	19	20	21	22	23	24	25	//		Part	23,802	72/061
Salinas Municipio	Sulfur Dioxide (2010)	Guayama-Salinas, PR																												18	19	20	21	22	23	24	25	//		Part	23,401	72/123
San Juan Municipio	Sulfur Dioxide (2010)	San Juan, PR																												18	19	20	21	22	23	24	25	//		Part	147,963	72/127
Toa Baja Municipio	Sulfur Dioxide (2010)	San Juan, PR																												18	19	20	21	22	23	24	25	//		Part	52,441	72/137



Legend

- Project Area
- Coastal Zone Management Act Land Boundary

PUERTO RICO



Exhibit 5. Coastal Zone Map

Improvements to the Ruta de los Tres Santos Reyes, Juana Díaz

Applicant ID: PR-CRP-000437

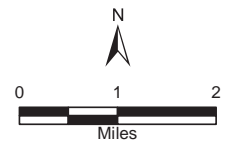
Project Coordinates: Starting Point (Lat. 18.053032, Long. -66.499713) to End Point (Lat. 18.051440, Long. -66.505785)

Address: Carr. # 14 Km 14.7 to Carrión Maduro, Degetau, and Muñoz Rivera Streets around the public square, Juana Díaz, PR 00795



Source: CRIM 2014
 (https://catastro.crimpr.net/cdprpc/). Puerto Rico
 Department of Natural and Environmental
 Resources 2010 (https://www.arogis.com/home/
 item.html?id=
 1d0eff6661f340dcabb0e9928d01ec57).
 ESRI 2022

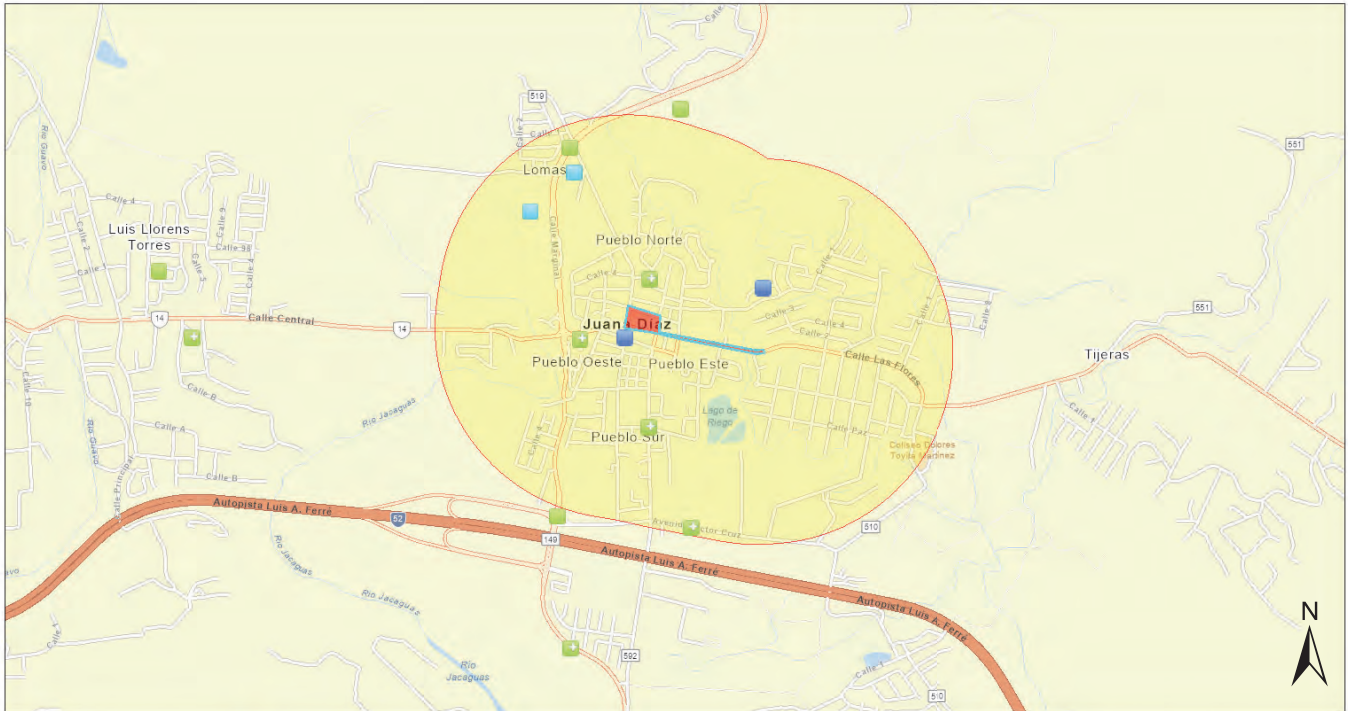
Author: Genevieve Kaiser
 Date: 8/21/2024



File Path: C:\projects\TTOR_000024_City_Review\MapDocs_1081032024\000437_Puerto Rico_CRP-000437_Coastal Zone Map.mxd

Exhibit 6. NEPassist Report

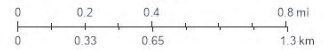
Improvements to the Ruta de los Tres Santos Reyes PR-CRP-000437



September 12, 2024

1:16,983

- Toxic Releases (TRI)
- Air Pollution (ICIS-AIR)
- Hazardous Waste (RCRAInfo)
- Improvements to the Ruta de los Tres Santos Reyes PR-CRP-000437
- Hazardous Waste (RCRAInfo)
- Project Buffer



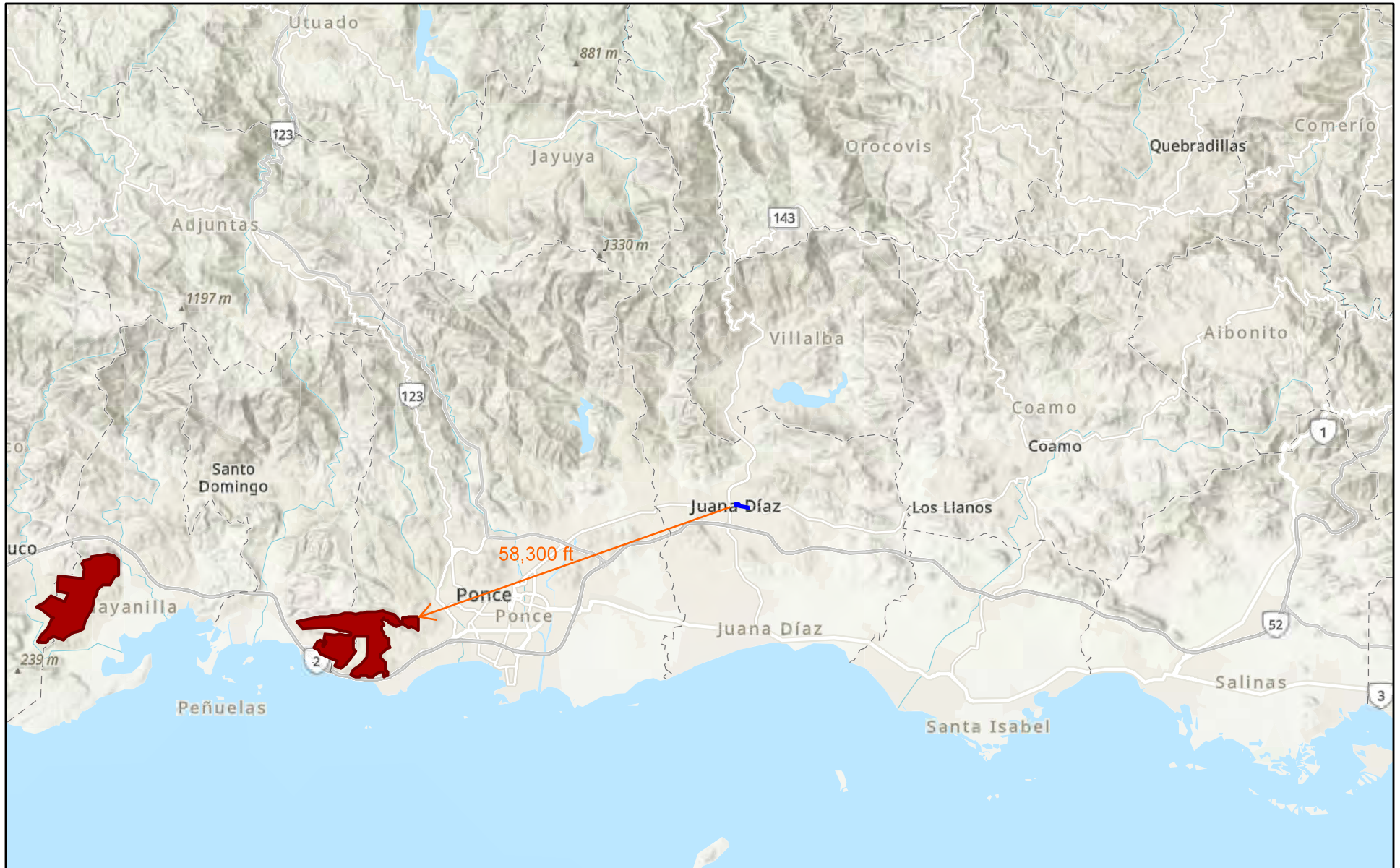
Esri, Community Maps Contributors, Kadaster Netherlands, Esri, TomTom, Garmin, Foursquare, SafeGraph, GeoTechnologies, Inc., METI/NASA, USGS, NPS, US Census Bureau, USFWS

Project Coordinates: Starting Point (Lat. 18.053032, Long. -66.499713) to End Point (Lat. 18.051440, Long. -66.505785)

Address: Carr. # 14 Km 14.7 to Carrión Maduro, Degetau, and Muñoz Rivera Streets around the public square, Juana Diaz, PR 00795

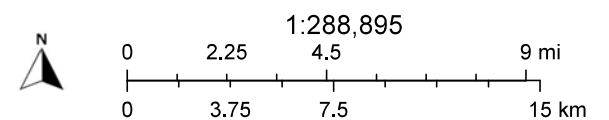
<https://nepassisttool.epa.gov/nepassist/nepamap.aspx>

Exhibit 7. Critical Habitat Map



Legend:

-  Final Critical Habitat Features
-  Project Site

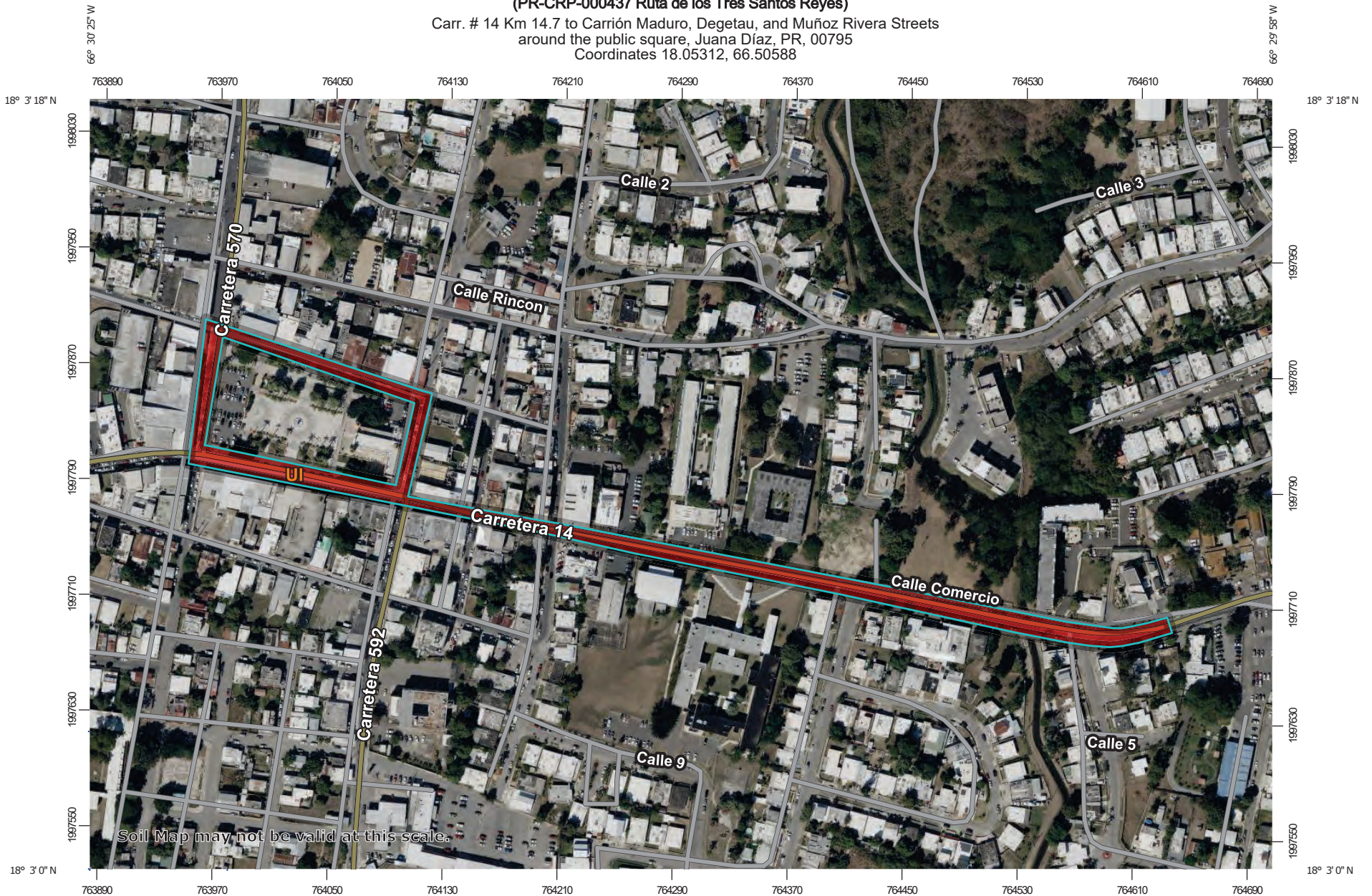


Esri, NASA, NGA, USGS, Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, (c) OpenStreetMap contributors, and the GIS User Community

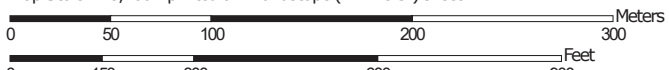
August 11, 2025 SVR - Tt

Exhibit 8. Farmland Classification—Ponce Area, Puerto Rico Southern Part
(PR-CRP-000437 Ruta de los Tres Santos Reyes)

Carr. # 14 Km 14.7 to Carrión Maduro, Degetau, and Muñoz Rivera Streets
around the public square, Juana Díaz, PR, 00795
Coordinates 18.05312, 66.50588



Map Scale: 1:3,760 if printed on A landscape (11" x 8.5") sheet.




Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 19N WGS84

Farmland Classification—Ponce Area, Puerto Rico Southern Part
(PR-CRP-000437 Ruta de los Tres Santos Reyes)









MAP LEGEND








Area of Interest (AOI)






 Area of Interest (AOI)








Soils



Soil Rating Polygons

-  Not prime farmland
-  All areas are prime farmland
-  Prime farmland if drained
-  Prime farmland if protected from flooding or not frequently flooded during the growing season
-  Prime farmland if irrigated
-  Prime farmland if drained and either protected from flooding or not frequently flooded during the growing season
-  Prime farmland if irrigated and drained
-  Prime farmland if irrigated and either protected from flooding or not frequently flooded during the growing season









-  Prime farmland if subsoiled, completely removing the root inhibiting soil layer
-  Prime farmland if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60
-  Prime farmland if irrigated and reclaimed of excess salts and sodium
-  Farmland of statewide importance
-  Farmland of statewide importance, if drained
-  Farmland of statewide importance, if protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if irrigated

-  Farmland of statewide importance, if drained and either protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if irrigated and drained
-  Farmland of statewide importance, if irrigated and either protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if subsoiled, completely removing the root inhibiting soil layer
-  Farmland of statewide importance, if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60




































-  Farmland of statewide importance, if irrigated and reclaimed of excess salts and sodium
-  Farmland of statewide importance, if drained or either protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if warm enough, and either drained or either protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if warm enough
-  Farmland of statewide importance, if thawed
-  Farmland of local importance
-  Farmland of local importance, if irrigated

-  Farmland of unique importance
-  Not rated or not available

Soil Rating Lines

-  Not prime farmland
-  All areas are prime farmland
-  Prime farmland if drained
-  Prime farmland if protected from flooding or not frequently flooded during the growing season
-  Prime farmland if irrigated
-  Prime farmland if drained and either protected from flooding or not frequently flooded during the growing season
-  Prime farmland if irrigated and drained
-  Prime farmland if irrigated and either protected from flooding or not frequently flooded during the growing season

Farmland Classification—Ponce Area, Puerto Rico Southern Part
(PR-CRP-000437 Ruta de los Tres Santos Reyes)

	Prime farmland if subsoiled, completely removing the root inhibiting soil layer		Farmland of statewide importance, if drained and either protected from flooding or not frequently flooded during the growing season		Farmland of statewide importance, if irrigated and reclaimed of excess salts and sodium		Farmland of unique importance		Prime farmland if subsoiled, completely removing the root inhibiting soil layer
	Prime farmland if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60		Farmland of statewide importance, if irrigated and drained		Farmland of statewide importance, if drained or either protected from flooding or not frequently flooded during the growing season		Not rated or not available		Prime farmland if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60
	Prime farmland if irrigated and reclaimed of excess salts and sodium		Farmland of statewide importance, if irrigated and either protected from flooding or not frequently flooded during the growing season		Farmland of statewide importance, if warm enough, and either drained or either protected from flooding or not frequently flooded during the growing season		Soil Rating Points		Prime farmland if irrigated and reclaimed of excess salts and sodium
	Farmland of statewide importance		Farmland of statewide importance, if subsoiled, completely removing the root inhibiting soil layer		Farmland of statewide importance, if warm enough		Prime farmland if drained		Farmland of statewide importance
	Farmland of statewide importance, if protected from flooding or not frequently flooded during the growing season		Farmland of statewide importance, if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60		Farmland of statewide importance, if thawed		Prime farmland if protected from flooding or not frequently flooded during the growing season		Farmland of statewide importance, if drained
	Farmland of statewide importance, if irrigated				Farmland of local importance		Prime farmland if irrigated		Farmland of statewide importance, if protected from flooding or not frequently flooded during the growing season
					Farmland of local importance		Prime farmland if drained and either protected from flooding or not frequently flooded during the growing season		Farmland of statewide importance, if irrigated
					Farmland of local importance, if irrigated		Prime farmland if irrigated and drained		
							Prime farmland if irrigated and either protected from flooding or not frequently flooded during the growing season		

Farmland Classification—Ponce Area, Puerto Rico Southern Part
(PR-CRP-000437 Ruta de los Tres Santos Reyes)

<p> Farmland of statewide importance, if drained and either protected from flooding or not frequently flooded during the growing season</p>	<p> Farmland of statewide importance, if irrigated and reclaimed of excess salts and sodium</p> <p> Farmland of statewide importance, if drained or either protected from flooding or not frequently flooded during the growing season</p>	<p> Farmland of unique importance</p> <p> Not rated or not available</p>	<p>The soil surveys that comprise your AOI were mapped at 1:20,000.</p>
<p> Farmland of statewide importance, if irrigated and drained</p>	<p> Farmland of statewide importance, if warm enough, and either drained or either protected from flooding or not frequently flooded during the growing season</p>	<p>Water Features</p> <p> Streams and Canals</p>	<p>Warning: Soil Map may not be valid at this scale.</p> <p>Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.</p>
<p> Farmland of statewide importance, if irrigated and either protected from flooding or not frequently flooded during the growing season</p>	<p> Farmland of statewide importance, if warm enough</p>	<p>Transportation</p> <p> Rails</p>	
<p> Farmland of statewide importance, if subsoiled, completely removing the root inhibiting soil layer</p>	<p> Farmland of statewide importance, if thawed</p>	<p> Interstate Highways</p>	<p>Please rely on the bar scale on each map sheet for map measurements.</p>
<p> Farmland of statewide importance, if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60</p>	<p> Farmland of local importance</p>	<p> US Routes</p>	<p>Source of Map: Natural Resources Conservation Service Web Soil Survey URL: Coordinate System: Web Mercator (EPSG:3857)</p>
	<p> Farmland of local importance, if irrigated</p>	<p> Major Roads</p>	<p>Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.</p>
		<p> Local Roads</p>	<p>This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.</p>
		<p>Background</p> <p> Aerial Photography</p>	<p>Soil Survey Area: Ponce Area, Puerto Rico Southern Part Survey Area Data: Version 18, Sep 13, 2023</p>
			<p>Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.</p>
			<p>Date(s) aerial images were photographed: Jan 23, 2022—Mar 1, 2022</p>
			<p>The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.</p>

Farmland Classification

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
UI	Urban land	Not prime farmland	2.7	100.0%
Totals for Area of Interest			2.7	100.0%

Description

Farmland classification identifies map units as prime farmland, farmland of statewide importance, farmland of local importance, or unique farmland. It identifies the location and extent of the soils that are best suited to food, feed, fiber, forage, and oilseed crops. NRCS policy and procedures on prime and unique farmlands are published in the "Federal Register," Vol. 43, No. 21, January 31, 1978.

Rating Options

Aggregation Method: No Aggregation Necessary

Aggregation is the process by which a set of component attribute values is reduced to a single value that represents the map unit as a whole.

A map unit is typically composed of one or more "components". A component is either some type of soil or some nonsoil entity, e.g., rock outcrop. For the attribute being aggregated, the first step of the aggregation process is to derive one attribute value for each of a map unit's components. From this set of component attributes, the next step of the aggregation process derives a single value that represents the map unit as a whole. Once a single value for each map unit is derived, a thematic map for soil map units can be rendered. Aggregation must be done because, on any soil map, map units are delineated but components are not.

For each of a map unit's components, a corresponding percent composition is recorded. A percent composition of 60 indicates that the corresponding component typically makes up approximately 60% of the map unit. Percent composition is a critical factor in some, but not all, aggregation methods.

The majority of soil attributes are associated with a component of a map unit, and such an attribute has to be aggregated to the map unit level before a thematic map can be rendered. Map units, however, also have their own attributes. An attribute of a map unit does not have to be aggregated in order to render a corresponding thematic map. Therefore, the "aggregation method" for any attribute of a map unit is referred to as "No Aggregation Necessary".

Tie-break Rule: Lower

The tie-break rule indicates which value should be selected from a set of multiple candidate values, or which value should be selected in the event of a percent composition tie.

Exhibit 9. Sole Source Aquifers

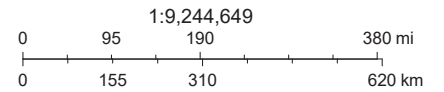


8/21/2024, 5:46:18 PM

■ Sole_Source_Aquifers

PR-CRP-000437 Ruta de los Tres Santos Reyes

Carr. # 14 Km 14.7 to Carrión Maduro, Degetau, and Muñoz Rivera Streets
around the public square, Juana Díaz, PR, 00795
Coordinates 18.05312, 66.50588



Esri, HERE, Garmin, NGA, USGS



<https://nepassisttool.epa.gov/nepassist/nepamap.aspx>




U.S. Environmental Protection Agency






January 15, 2024

Wetlands

-  Estuarine and Marine Deepwater
-  Estuarine and Marine Wetland

-  Freshwater Emergent Wetland
-  Freshwater Forested/Shrub Wetland
-  Freshwater Pond

-  Lake
-  Other
-  Riverine



This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.



- Legend**
- National Wild and Scenic Rivers
 - Project Area

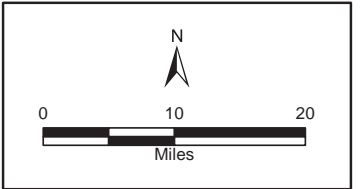


TETRA TECH

Source: CRIM 2014 (<https://catastro.crimpr.net/cdprpc/>), US Forest Service 2019 (<http://data.fs.usda.gov/geodata/edw/datasets.php>), ESRI 2023.

Author: Genevieve Kaiser
Date: 8/22/2024

Exhibit 11. Wild and Scenic Rivers Map
Improvements to the Ruta de los Tres Santos Reyes, Juana Díaz
 Applicant ID: PR-CRP-000437
 Project Coordinates: Starting Point (Lat. 18.053032, Long. -66.499713) to End Point (Lat. 18.051440, Long. -66.505785)
 Address: Carr. # 14 Km 14.7 to Carrión Maduro, Degetau, and Muñoz Rivera Streets around the public square, Juana Díaz, PR 00795



File Path: C:\projects\TT2024\PR-CRP-000437\Map\Map11_Puerto Rico Wild and Scenic River Map.mxd

Inspection Site:



FIELD INSPECTION

Date: 2/23/2022

Project: Improvements to the Ruta de los Tres Santos Reyes of the Municipality of Juana Diaz, (PR-CRP-000437)

Address: Urban Center, Pueblo Ward, Juana Diaz Puerto Rico (Starting point: Comercio Street (PR-14) km 14.6 until Román Baldorioty de Castro Public Square) of the Municipality of Juana Diaz

Coordinates (lat. / long): Starting Point (Lat. 18.053032, Long. -66.499713) to End Point (Lat. 18.051440, Long. -66.505785).

Time: 2:20 Pm

Weather: Cloudy day





INSPECTION

SURFACE CONDITIONS



Hazardous substances a in relation to the identified uses. Visual inspection did not identify any significant use or generation of hazardous substances on the Property. No manufacturing, fabrication or assembly operations are carried out on the property.

Drains and Sumps
No evidence of sinkholes was observed.

Wastewater
No operations likely to require significant wastewater discharge were observed or reported.



Stench
No strong, pungent, or noxious odors that could indicate the possibility of contamination were observed or reported.

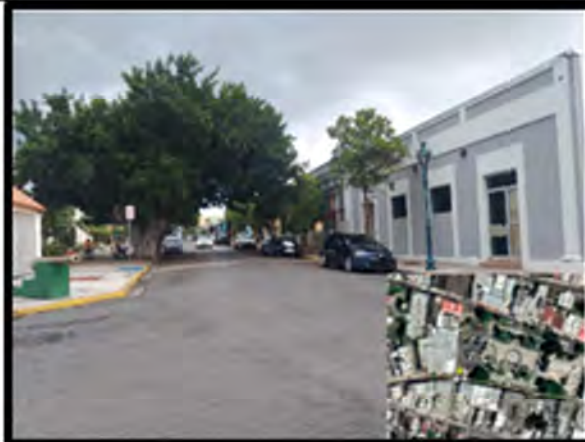
Wells, Ponds, or Lagoons
There are no ponds or lagoons associated with hazardous substances or industrial products on the Property.



Liquid Pools
No pools containing liquids that could be dangerous substances.

Floor and pavement stained.
No significantly stained soil or pavement was observed or reported at the Property other than silty areas that caused by disuse.

Wells
No drinking water wells, dry wells, irrigation wells, injection wells, abandoned wells, or others were observed.



Drums and Hazardous Substances Containers.
Drums containing liquids that could be dangerous substances were not installed observed or reported on or adjacent to the Property.

Stressed vegetation
No areas of stressed vegetation were observed or reported on or adjacent to the Property.



Stains or corrosion
The stains or corrosion found were typical in metal elements due to time in use.

Solid waste
Not observe any areas that appear to have been filled or graded suggesting the presence of debris, including but not limited to construction debris, demolition debris, or other.

Visual examination consisted of looking at property lines and systematically walking around the site to provide an overlapping field of view, whenever possible. The periphery of the structures was observed in situ along with accessible interior common areas. Not any RECs were observed on site.

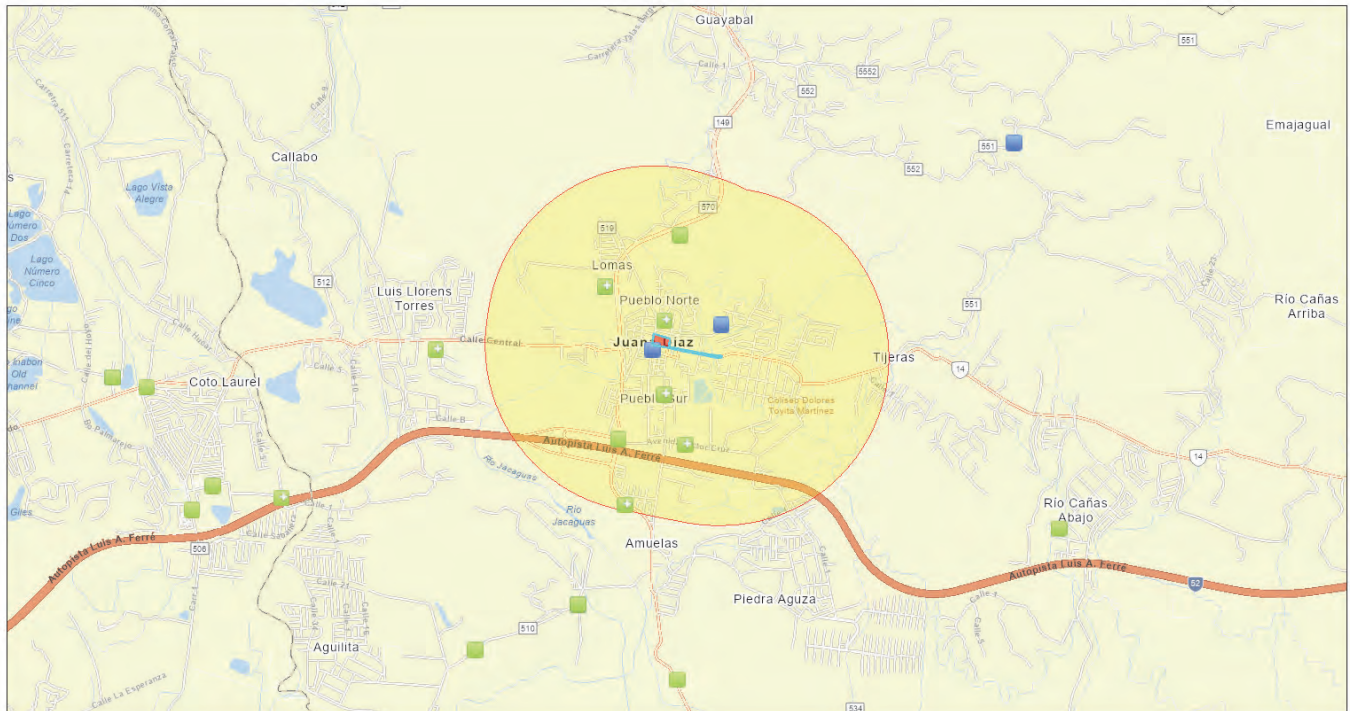
Ramón G. Luna Miranda

Prepared: Ramón Gustavo Luna Miranda BSCE, MEM, ROV Engineering, PSC

Appendix B
Contamination and Toxic Substances

NEPAssist Report

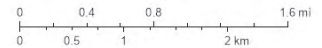
Improvements to the Ruta de los Tres Santos Reyes PR-CRP-000437



September 12, 2024

1:33,967

- Hazardous Waste (RCRAInfo)
- Air Pollution (ICIS-AIR)
- Toxic Releases (TRI)
- Improvements to the Ruta de los Tres Santos Reyes PR-CRP-000437
- Project Buffer



Kadaster, Netherlands, Esri, TomTom, Garmin, Foursquare, SafeGraph, GeoTechnologies, Inc, METI, NASA, USGS, NPS, US Census Bureau, USFWS

Input Coordinates: 18.051778,-66.500284,18.051615,-66.500216,18.051599,-66.500645,18.052219,-66.503992,18.052497,-66.505228,18.052709,-66.506584,18.053688,-66.506430,18.053247,-66.504971,18.053100,-66.504971,18.052529,-66.505022,18.051746,-66.500611,18.051778,-66.500284

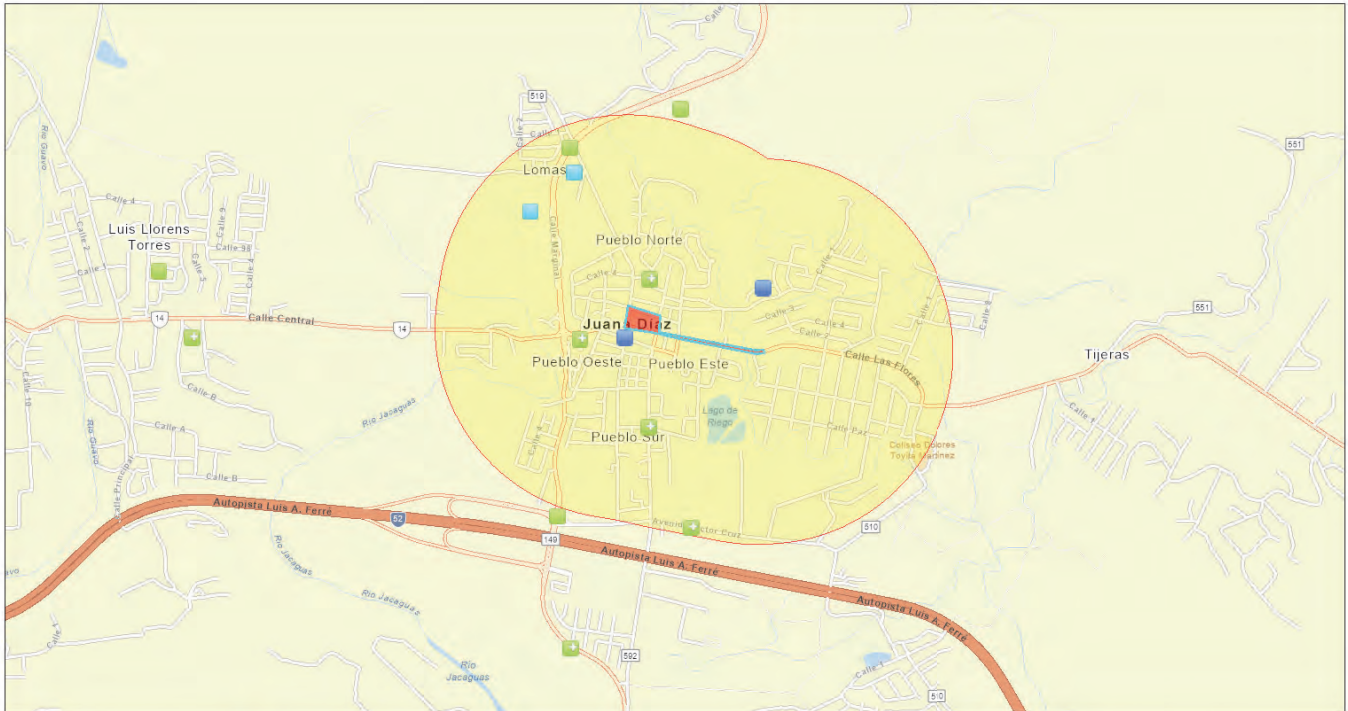
Project Area	0.01 sq mi
Within 1 mile of an Ozone 1-hr (1979 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of an Ozone 8-hr (1997 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of an Ozone 8-hr (2008 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of an Ozone 8-hr (2015 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of a Lead (2008 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of a SO2 1-hr (2010 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of a PM2.5 24hr (2006 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of a PM2.5 Annual (1997 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of a PM2.5 Annual (2012 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of a PM10 (1987 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of a CO Annual (1971 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of a NO2 Annual (1971 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of a Federal Land?	no
Within 1 mile of an impaired stream?	no
Within 1 mile of an impaired waterbody?	yes
Within 1 mile of a waterbody?	yes
Within 1 mile of a stream?	yes
Within 1 mile of an NWI wetland?	Available Online

Within 1 mile of a Brownfields site?	no
Within 1 mile of a Superfund site?	no
Within 1 mile of a Toxic Release Inventory (TRI) site?	yes
Within 1 mile of a water discharger (NPDES)?	yes
Within 1 mile of a hazardous waste (RCRA) facility?	yes
Within 1 mile of an air emission facility?	yes
Within 1 mile of a school?	no
Within 1 mile of an airport?	no
Within 1 mile of a hospital?	no
Within 1 mile of a designated sole source aquifer?	no
Within 1 mile of a historic property on the National Register of Historic Places?	yes
Within 1 mile of a Chemical Data Reporting (CDR) site?	no
Within 1 mile of a Land Cession Boundary?	no
Within 1 mile of a tribal area (lower 48 states)?	no
Within 1 mile of the service area of a mitigation or conservation bank?	no
Within 1 mile of the service area of an In-Lieu-Fee Program?	no
Within 1 mile of a Public Property Boundary of the Formerly Used Defense Sites?	no
Within 1 mile of a Munitions Response Site?	no
Within 1 mile of an Essential Fish Habitat (EFH)?	yes
Within 1 mile of a Habitat Area of Particular Concern (HAPC)?	no
Within 1 mile of an EFH Area Protected from Fishing (EFHA)?	no
Within 1 mile of a Bureau of Land Management Area of Critical Environmental Concern?	no
Within 1 mile of an ESA-designated Critical Habitat Area per U.S. Fish & Wildlife Service?	no
Within 1 mile of an ESA-designated Critical Habitat river, stream or water feature per U.S. Fish & Wildlife Service?	no

Created on: 9/12/2024 7:35:21 PM

NEPAssist Report

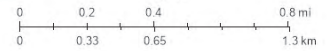
Improvements to the Ruta de los Tres Santos Reyes PR-CRP-000437



September 12, 2024

1:16,983

- Toxic Releases (TRI)
- Air Pollution (ICIS-AIR)
- Hazardous Waste (RCRAInfo)
- Improvements to the Ruta de los Tres Santos Reyes PR-CRP-000437
- Hazardous Waste (RCRAInfo)
- Project Buffer



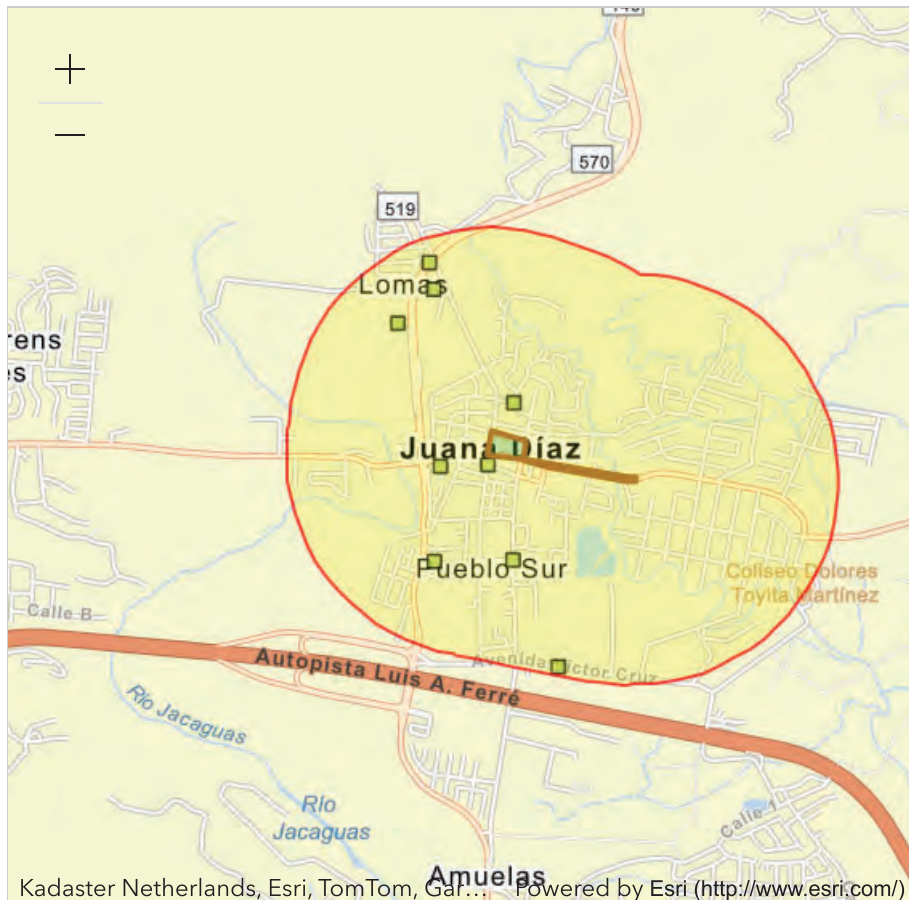
Esri, Community Maps Contributors, Kadaster Netherlands, Esri, TomTom, Garmin, Foursquare, SafeGraph, GeoTechnologies, Inc., MET/NASA, USGS, NPS, US Census Bureau, USFWS

Input Coordinates: 18.051778,-66.500284,18.051615,-66.500216,18.051599,-66.500645,18.052219,-66.503992,18.052497,-66.505228,18.052709,-66.506584,18.053688,-66.506430,18.053247,-66.504971,18.053100,-66.504971,18.052529,-66.505022,18.051746,-66.500611,18.051778,-66.500284

Project Area	0.01 sq mi
Within 3000 feet of an Ozone 1-hr (1979 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of an Ozone 8-hr (1997 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of an Ozone 8-hr (2008 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of an Ozone 8-hr (2015 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a Lead (2008 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a SO2 1-hr (2010 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a PM2.5 24hr (2006 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a PM2.5 Annual (1997 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a PM2.5 Annual (2012 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a PM10 (1987 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a CO Annual (1971 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a NO2 Annual (1971 standard) Non-Attainment/Maintenance Area?	no
Within 3000 feet of a Federal Land?	no
Within 3000 feet of an impaired stream?	no
Within 3000 feet of an impaired waterbody?	yes
Within 3000 feet of a waterbody?	yes
Within 3000 feet of a stream?	yes
Within 3000 feet of an NWI wetland?	Available Online

Within 3000 feet of a Brownfields site?	no
Within 3000 feet of a Superfund site?	no
Within 3000 feet of a Toxic Release Inventory (TRI) site?	yes
Within 3000 feet of a water discharger (NPDES)?	yes
Within 3000 feet of a hazardous waste (RCRA) facility?	yes
Within 3000 feet of an air emission facility?	yes
Within 3000 feet of a school?	no
Within 3000 feet of an airport?	no
Within 3000 feet of a hospital?	no
Within 3000 feet of a designated sole source aquifer?	no
Within 3000 feet of a historic property on the National Register of Historic Places?	yes
Within 3000 feet of a Chemical Data Reporting (CDR) site?	no
Within 3000 feet of a Land Cession Boundary?	no
Within 3000 feet of a tribal area (lower 48 states)?	no
Within 3000 feet of the service area of a mitigation or conservation bank?	no
Within 3000 feet of the service area of an In-Lieu-Fee Program?	no
Within 3000 feet of a Public Property Boundary of the Formerly Used Defense Sites?	no
Within 3000 feet of a Munitions Response Site?	no
Within 3000 feet of an Essential Fish Habitat (EFH)?	yes
Within 3000 feet of a Habitat Area of Particular Concern (HAPC)?	no
Within 3000 feet of an EFH Area Protected from Fishing (EFHA)?	no
Within 3000 feet of a Bureau of Land Management Area of Critical Environmental Concern?	no
Within 3000 feet of an ESA-designated Critical Habitat Area per U.S. Fish & Wildlife Service?	no
Within 3000 feet of an ESA-designated Critical Habitat river, stream or water feature per U.S. Fish & Wildlife Service?	no

Created on: 9/12/2024 7:33:24 PM



Report question: *Within 3000 feet of a Hazardous waste site? yes*

Modify question by entering a new buffer distance and unit for the selected study area:

Name	Distance
<input type="checkbox"/> PRODUCTOS CIRCUITOS DE PR INC (JUANA DIAZ,PR) (https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=PRD091063743) Registry ID: 110000602768 Primary Name: PRODUCTOS CIRCUITOS DE PR INC Address: RD 149 KM 66 7 City: JUANA DIAZ County: JUANA DIAZ State: PR EPA Region: Region 02 ZIP Code: 00665 Latitude: 18.058048 Longitude: -66.510427 Program_System Acronym: RCRAINFO Program System ID: PRD091063743 FIPS Code: 72075 HUC Code: Facility URL: https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=PRD091063743	2105.74 feet
<input type="checkbox"/> CARIBE GENERAL ELECTRIC PRODUCTS JUANA DIAZ (JUANA DIAZ,PR) (https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=PRD090282757) Registry ID: 110000907957 Primary Name: CARIBE GENERAL ELECTRIC PRODUCTS JUANA DIAZ Address: CARR 149 KM 67 City: JUANA DIAZ County: JUANA DIAZ State: PR EPA Region: Region 02 ZIP Code: 00665 Latitude: 18.059439 Longitude: -66.508889 Program_System Acronym: RCRAINFO Program System ID: PRD090282757 FIPS Code: 72075 HUC Code: Facility URL: https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=PRD090282757	2256.26 feet

Name	Distance
<input type="checkbox"/> DEPT OF ED CARMEN BELEN VEIGA (JUANA DIAZ,PR) (https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=PR0000340018) Registry ID: 110004888186 Primary Name: DEPT OF ED CARMEN BELEN VEIGA Address: CALLE LA CRUZ 18 City: JUANA DIAZ County: JUANA DIAZ State: PR EPA Region: Region 02 ZIP Code: 00795 2430 Latitude: 18.044057 Longitude: -66.503563 Program_System Acronym: RCRAINFO Program System ID: PR0000340018 FIPS Code: 72075 HUC Code: Facility URL: https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=PR0000340018	2881.45 feet
<input type="checkbox"/> ESCUELA CARMEN BELEN VEIGA (JUANA DIAZ,PR) (https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=PRD987374774) Registry ID: 110004888186 Primary Name: ESCUELA CARMEN BELEN VEIGA Address: LA CRUZ City: JUANA DIAZ County: JUANA DIAZ State: PR EPA Region: Region 02 ZIP Code: 00795 Latitude: 18.044057 Longitude: -66.503563 Program_System Acronym: RCRAINFO Program System ID: PRD987374774 FIPS Code: 72075 HUC Code: Facility URL: https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=PRD987374774	2881.45 feet

Name	Distance
<input type="checkbox"/> AUTOTEK CARIBE (JUANA DIAZ,PR) (https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=PRN008004160) Registry ID: 110006433797 Primary Name: AUTOTEK CARIBE Address: 147 TOMAS CARRION MADURO AVE City: JUANA DIAZ County: JUANA DIAZ State: PR EPA Region: Region 02 ZIP Code: 99999 Latitude: 18.05481 Longitude: -66.50546 Program_System Acronym: RCRAINFO Program System ID: PRN008004160 FIPS Code: 72075 HUC Code: Facility URL: https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=PRN008004160	490.01 feet
<input type="checkbox"/> DEPT OF ED LUIS LLORENS TORRES SCHOOL (JUANA DIAZ,PR) (https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=PR0000012567) Registry ID: 110007802306 Primary Name: DEPT OF ED LUIS LLORENS TORRES SCHOOL Address: CALLE LA CRUZ City: JUANA DIAZ County: JUANA DIAZ State: PR EPA Region: Region 02 ZIP Code: 00795 Latitude: 18.044057 Longitude: -66.503563 Program_System Acronym: RCRAINFO Program System ID: PR0000012567 FIPS Code: 72075 HUC Code: Facility URL: https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=PR0000012567	2881.45 feet

Name	Distance
<input type="checkbox"/> JUANA DIAZ STP (JUANA DIAZ,PR) (https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=PRD000689620) Registry ID: 110007804215 Primary Name: JUANA DIAZ STP Address: STATE RD 149 KM 67 3 City: JUANA DIAZ County: JUANA DIAZ State: PR EPA Region: Region 02 ZIP Code: 00665 Latitude: 18.048351 Longitude: -66.508864 Program_System Acronym: RCRAINFO Program System ID: PRD000689620 FIPS Code: 72075 HUC Code: Facility URL: https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=PRD000689620	1769.62 feet
<input type="checkbox"/> SHELL CO PR LTD SS 0736 GARAGE MARTINEZ (JUANA DIAZ,PR) (https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=PRR000005231) Registry ID: 110007818763 Primary Name: SHELL CO PR LTD SS 0736 GARAGE MARTINEZ Address: BARBOSA ST City: JUANA DIAZ County: JUANA DIAZ State: PR EPA Region: Region 02 ZIP Code: 00795 Latitude: 18.052222 Longitude: -66.508611 Program_System Acronym: RCRAINFO Program System ID: PRR000005231 FIPS Code: 72075 HUC Code: Facility URL: https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=PRR000005231	725.96 feet

Name	Distance
<input type="checkbox"/> R4 ENTERPRISES CORP (JUANA DIAZ,PR) (https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=PRR000014860) Registry ID: 110012243811 Primary Name: R4 ENTERPRISES CORP Address: STATE RD 1 KM 113 6 City: JUANA DIAZ County: JUANA DIAZ State: PR EPA Region: Region 02 ZIP Code: 00795 Latitude: 18.048408 Longitude: -66.505499 Program_System Acronym: RCRAINFO Program System ID: PRR000014860 FIPS Code: 72075 HUC Code: Facility URL: https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=PRR000014860	1466.95 feet
<input type="checkbox"/> QUALITY CLEANERS (JUANA DIAZ,PR) (https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=PRN008009714) Registry ID: 110014362153 Primary Name: QUALITY CLEANERS Address: 15 DR SANTIAGO VEVE City: JUANA DIAZ County: JUANA DIAZ State: PR EPA Region: Region 02 ZIP Code: 00795 Latitude: 18.052286 Longitude: -66.506571 Program_System Acronym: RCRAINFO Program System ID: PRN008009714 FIPS Code: 72075 HUC Code: Facility URL: https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=PRN008009714	150.86 feet

Name	Distance
<input type="checkbox"/> USARC FORT ALLEN ECS 126 G (JUANA DIAZ,PR) (https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=PR6210443077) Registry ID: 110042074965 Primary Name: USARC FORT ALLEN ECS 126 G Address: STATE RD 149 City: JUANA DIAZ County: JUANA DIAZ State: PR EPA Region: Region 02 ZIP Code: 00665 1428 Latitude: 18.06052 Longitude: -66.509076 Program_System Acronym: RCRAINFO Program System ID: PR6210443077 FIPS Code: 72075 HUC Code: Facility URL: https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=PR6210443077	2645.65 feet
<input type="checkbox"/> FORT ALLEN TRAINING SITE (JUANA DIAZ,PR) (https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=PR6211843077) Registry ID: 110042074965 Primary Name: FORT ALLEN TRAINING SITE Address: STATE ROAD 149 KM 73 3 City: JUANA DIAZ County: JUANA DIAZ State: PR EPA Region: Region 02 ZIP Code: 00795 Latitude: 18.06052 Longitude: -66.509076 Program_System Acronym: RCRAINFO Program System ID: PR6211843077 FIPS Code: 72075 HUC Code: Facility URL: https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=PR6211843077	2645.65 feet

Name	Distance
<input type="checkbox"/> FORT ALLEN PROCESSING CENTER BLDG 225 (PONCE,PR) (https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=PRD980527071) Registry ID: 110042074965 Primary Name: FORT ALLEN PROCESSING CENTER BLDG 225 Address: FORT ALLEN City: PONCE County: PONCE State: PR EPA Region: Region 02 ZIP Code: 00731 Latitude: 18.06052 Longitude: -66.509076 Program_System Acronym: RCRAINFO Program System ID: PRD980527071 FIPS Code: 72113 HUC Code: Facility URL: https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=PRD980527071	2645.65 feet
<input type="checkbox"/> SUPER FARMACIA JUANA DIAZ INC (JUANA DIAZ,PR) (https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=PRR000027532) Registry ID: 110071140132 Primary Name: SUPER FARMACIA JUANA DIAZ INC Address: 27 CALLE TOMAS CARRION MADURO City: JUANA DIAZ County: JUANA DIAZ State: PR EPA Region: Region 02 ZIP Code: 00795 Latitude: 18.05481 Longitude: -66.50546 Program_System Acronym: RCRAINFO Program System ID: PRR000027532 FIPS Code: 72075 HUC Code: Facility URL: https://enviro.epa.gov/envirofacts/rcrainfo/facility?handlerId=PRR000027532	490.01 feet



Report question: *Within 3000 feet of a Toxic releases site? yes*

Modify question by entering a new buffer distance and unit for the selected study area:

Name	Distance
<input type="checkbox"/> PRODUCTOS CIRCUITOS DE PR INC (JUANA DIAZ,PR) (https://enviro.epa.gov/facts/tri/ef-facilities/#/Facility/00665PRDCTKM667)	2105.74 feet

Registry ID: 110000602768
Primary Name: PRODUCTOS CIRCUITOS DE PR INC
Address: RD 149 KM 667
City: JUANA DIAZ
County: JUANA DIAZ
State: PR

EPA Region: Region 02
ZIP Code: 00795
Latitude: 18.058048
Longitude: -66.510427
Program_System Acronym: TRIS
Program System ID: 00665PRDCTKM667
FIPS Code: 72075
HUC Code:

<input type="checkbox"/> CARIBE GE PRODS INC (JUANA DIAZ,PR) (https://enviro.epa.gov/facts/tri/ef-facilities/#/Facility/00795CRBGNCARRI)	2256.26 feet
---	--------------

Registry ID: 110000907957
Primary Name: CARIBE GE PRODS INC
Address: CARRION MADURO FINAL KM 672
City: JUANA DIAZ
County: JUANA DIAZ
State: PR

EPA Region: Region 02
ZIP Code: 00795
Latitude: 18.059439
Longitude: -66.508889
Program_System Acronym: TRIS
Program System ID: 00795CRBGNCARRI
FIPS Code: 72075
HUC Code:

Facility URL: <https://enviro.epa.gov/facts/tri/ef-facilities/#/Facility/00795CRBGNCARRI>



Detailed Facility Report

Facility Summary

PRODUCTOS CIRCUITOS DE P R INCORPORATED

PR-149 KM 66.7, JUANA DIAZ, PR 00795

FRS (Facility Registry Service) ID: 110000602768

EPA Region: 02

Latitude: 18.05776

Longitude: -66.510875

Locational Data Source: RCRAINFO

Industries: Computer and Electronic Product Manufacturing

Indian Country: N

Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	03/14/2000
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Active Legacy TSDF, VSQG, (PRD091063743)

Safe Drinking Water Act (SDWA): No Information

Go To Enforcement/Compliance Details

Known Data Problems <<https://epa.gov/resources/echo-data/known-data-problems>>

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): 00665PRDCTKM667

Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Facility/System Characteristics

Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110000602768					N	18.05776	-66.510875
TRI	EP313	00665PRDCTKM667	Toxics Release Inventory	Last Reported for 1998			N	18.058048	-66.510427
RCRAInfo	RCRA	PRD091063743	Legacy TSDF, VSQG	Active (HPA)			N	18.05776	-66.510875

Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		11000602768	PRODUCTOS CIRCUITOS DE P R INCORPORATED	PR-149 KM 66.7, JUANA DIAZ, PR 00795	Juana Díaz Municipio
TRI	EP313	00665PRDCTKM667	PRODUCTOS CIRCUITOS DE PR INC	RD 149 KM 66.7, JUANA DIAZ, PR 00795	Juana Díaz Municipio
RCRAInfo	RCRA	PRD091063743	PRODUCTOS CIRCUITOS DE PR INC	RD 149 KM 66.7, JUANA DIAZ, PR 00665	Juana Díaz Municipio

Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
TRI	00665PRDCTKM667	3672	Printed Circuit Boards

Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
TRI	00665PRDCTKM667	334412	Bare Printed Circuit Board Manufacturing
RCRAInfo	PRD091063743	334419	Other Electronic Component Manufacturing

Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
------------------	------------	---------------	---------------------------

No data records returned

Enforcement and Compliance

Compliance Monitoring History Last 5 Years

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
---------	-----------	--------	---------------	----------------------------	-------------	------	-------------------------

No data records returned

Entries in italics are not included in ECHO's Compliance Monitoring Activity counts because they are not compliance monitoring strategy <https://www.epa.gov/compliance/compliance-monitoring-programs> activities or because they are not counted as inspections within EPA's Annual Results <https://www.epa.gov/enforcement/enforcement-data-and-results>.

Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
RCRA	PRD091063743	No	09/07/2024	0	09/06/2024

Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: PRD091063743)		10/01-12/31/21	01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-12/31/23	01/01-03/31/24	04/01-06/30/24	07/01-09/30/24
	Facility-Level Status	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified
	Violation												
	Agency												

Informal Enforcement Actions Last 5 Years

Statute	System	Source ID	Type of Action	Lead Agency	Date
---------	--------	-----------	----------------	-------------	------

No data records returned

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

Formal Enforcement Actions Last 5 Years

Statute	System	Law/ Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/ Filed Date	Settlements/ Actions	Settlement/ Action Date	Federal Penalty Assessed	State/ Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
---------	--------	--------------	-----------	----------------	----------	-------------	-----------	--------------------	----------------------	-------------------------	--------------------------	-------------------------------	--------------------------	-----------	------------------

No data records returned

Environmental Conditions

Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
--	---	---	---------------------------------	--------------------------------------	--	---

No data records returned

Assessed Waters From Latest State Submission (ATAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
-------	--------------	--------------------	----------------------	-----------------	-----------------------	--------------------	----------------	----------------------	----------------	-----------

No data records returned

Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
No data records returned				

Pollutants

Toxics Release Inventory History of Reported Chemicals Released or Transferred in Pounds per Year at Site ①

TRI Facility ID	Year	Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Disposal to Land	Total On-Site Releases	Total Off-Site Transfers
No data records returned								

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year ①

Chemical Name
No data records returned

Community

Environmental Justice

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the EJScreen home page.

ⓘ Potential Environmental Justice Concerns

- US Territory
- Supplemental/EJ index percentiles >= 90 (Census block group)

EJScreen Indexes Shown

Index Type

Related Reports

EJScreen Community Report

Download Data

Supplemental Indexes	US (Percentile)			State (Percentile)		
	Facility Census Block Group	1-mile Avg	1-mile Max	Facility Census Block Group	1-mile Avg	1-mile Max
Count of Indexes At or Above 90th Percentile	7	--	8	4	--	6
Particulate Matter 2.5	--	--	--	--	--	--
Ozone	--	--	--	--	--	--
Diesel Particulate Matter	0	--	6	23	--	49
Air Toxics Cancer Risk	55	--	56	89	--	94
Air Toxics Respiratory Hazard Index	39	--	42	89	--	94
Toxic Releases to Air	99	--	99	97	--	99
Traffic Proximity	99	--	99	96	--	99
Lead Paint	99	--	99	91	--	94
Risk Management Plan (RMP) Facility Proximity	99	--	99	81	--	86
Hazardous Waste Proximity	99	--	99	90	--	99
Superfund Proximity	97	--	98	29	--	40
Underground Storage Tanks (UST)	0	--	99	0	--	92
Wastewater Discharge	94	--	96	22	--	34

Map Display Based on: US State

Display Map Layer

Facility 1-mile Radius Facility Census Block Group



Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2017 - 2021 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. Census boundaries and demographic data for U.S. Territories are based on the "2020 Island Areas Demographic Profiles" from the U.S. Census Bureau. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <<https://epa.gov/help/reports/dfr-data-dictionary#demographic>>.

General Statistics (U.S. Census)	
Total Persons	7,750
Population Density	2,475/sq.mi.
Housing Units in Area	3,409

General Statistics (ACS (American Community Survey))	
Total Persons	7,486
Percent People of Color	100%
Households in Area	2,829
Households on Public Assistance	119
Persons With Low Income	6,163
Percent With Low Income	82%

Geography	
Radius of Selected Area	1 mi.
Center Latitude	18.05776
Center Longitude	-66.510875
Land Area	99%
Water Area	1%

Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	1,276 (45.12%)
\$15,000 - \$25,000	510 (18.03%)
\$25,000 - \$50,000	729 (25.78%)
\$50,000 - \$75,000	212 (7.5%)
Greater than \$75,000	101 (3.57%)

Age Breakdown (U.S. Census) - Persons (%)	
Children 5 years and younger	486 (6%)
Minors 17 years and younger	1,887 (24%)
Adults 18 years and older	5,863 (76%)
Seniors 65 years and older	1,528 (20%)

Race Breakdown (U.S. Census) - Persons (%)	
White	6,067 (78%)
African-American	916 (12%)
Hispanic-Origin	7,713 (100%)
Asian/Pacific Islander	9 (0%)
American Indian	41 (1%)
Other/Multiracial	717 (9%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	834 (15.71%)
9th through 12th Grade	546 (10.29%)
High School Diploma	1,671 (31.48%)
Some College/2-year	359 (6.76%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	1,357 (25.57%)



Detailed Facility Report

Facility Summary

CARIBE GENERAL ELECTRIC PRODUCT JUANA DI

PR-14,9 KM 67, JUANA DIAZ, PR 00795

FRS (Facility Registry Service) ID: 110000907957

EPA Region: 02

Latitude: 18.059439

Longitude: -66.508889

Locational Data Source: SEMS

Industries: Electrical Equipment, Appliance, and Component Manufacturing

Indian Country: N

Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	02/24/2004
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

Regulatory Information

- Clean Air Act (CAA):** No Information
- Clean Water Act (CWA):** No Information
- Resource Conservation and Recovery Act (RCRA):** Active VSQG, (PRD090282757)
- Safe Drinking Water Act (SDWA):** No Information

Other Regulatory Reports

- Air Emissions Inventory (EIS):** No Information
- Greenhouse Gas Emissions (eGGRT):** No Information
- Toxic Releases (TRI):** 00795CRBGNCARRI
- Compliance and Emissions Data Reporting Interface (CEDRI):** No Information

Go To Enforcement/Compliance Details
 Known Data Problems <<https://epa.gov/resources/echo-data/known-data-problems>>

Facility/System Characteristics

Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110000907957					N	18.059439	-66.508889
ICIS		36133					N	18.05943	-66.50888
SEMS	CERCLA	PRD090282757		DELETED FROM THE FINAL NPL			N	18.059439	-66.508889
TRI	EP313	00795CRBGNCARRI	Toxics Release Inventory	Last Reported for 1998			N	18.05943	-66.50888
RCRAInfo	RCRA	PRD090282757	VSQG	Active (H A)			N	18.082162	-66.502732

Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110000907957	CARIBE GENERAL ELECTRIC PRODUCT JUANA DI	PR-149 KM 67, JUANA DIAZ, PR 00795	Juana Díaz Municipio
ICIS		36133	CARIBE GENERAL ELECTRIC PRODUCT JUANA DI	CARR 149 KM 67, JUANA DIAZ, PR 00795	Juana Díaz Municipio
SEMS	CERCLA	PRD090282757	GE WIRING DEVICES	KM 67 CARRETERA NO 149, JUANA DIAZ, PR 00795	
TRI	EP313	00795CRBGNCARRI	CARIBE GE PRODS INC	CARRION MADURO FINAL, KM 672, JUANA DIAZ, PR 00795	Juana Díaz Municipio
RCRAInfo	RCRA	PRD090282757	CARIBE GENERAL ELECTRIC PRODUCTS JUANA DIAZ	CARR 149 KM 67, JUANA DIAZ, PR 00665	Juana Díaz Municipio

Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
TRI	00795CRBGNCARRI	3625	Relays And Industrial Controls
TRI	00795CRBGNCARRI	3643	Current-Carrying Wiring Devices

Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
TRI	00795CRBGNCARRI	335931	Current-Carrying Wiring Device Manufacturing
RCRAInfo	PRD090282757	335122	Commercial, Industrial, and Institutional Electric Lighting Fixture Manufacturing
RCRAInfo	PRD090282757	335313	Switchgear and Switchboard Apparatus Manufacturing
RCRAInfo	PRD090282757	335931	Current-Carrying Wiring Device Manufacturing

Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
No data records returned			

Enforcement and Compliance

Compliance Monitoring History Last 5 Years ▾

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
No data records returned							

Entries in italics are not included in ECHO's Compliance Monitoring Activity counts because they are not compliance monitoring strategy <<https://www.epa.gov/compliance/compliance-monitoring-programs>> activities or because they are not counted as inspections within EPA's Annual Results <<https://www.epa.gov/enforcement/enforcement-data-and-results>>.

Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
RCRA	PRD090282757	No	09/07/2024	0	09/06/2024

Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: PRD090282757)		10/01-12/31/21	01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-12/31/23	01/01-03/31/24	04/01-06/30/24	07/01-09/30/24
Facility-Level Status		No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified
Violation		Agency											

Informal Enforcement Actions

Statute	System	Source ID	Type of Action	Lead Agency	Date
---------	--------	-----------	----------------	-------------	------

No data records returned

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

Formal Enforcement Actions

Statute	System	Law/ Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/ Filed Date	Settlements/ Actions	Settlement/ Action Date	Federal Penalty Assessed	State/ Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
---------	--------	--------------	-----------	----------------	----------	-------------	-----------	--------------------	----------------------	-------------------------	--------------------------	-------------------------------	--------------------------	-----------	------------------

No data records returned

Environmental Conditions

Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
--	---	---	---------------------------------	--------------------------------------	--	---

No data records returned

Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
-------	--------------	--------------------	----------------------	-----------------	-----------------------	--------------------	----------------	----------------------	----------------	-----------

No data records returned

Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
-----------	-----------------------------------	---	---------------------------------	---

No data records returned

Pollutants

Toxics Release Inventory History of Reported Chemicals Released or Transferred in Pounds per Year at Site ⓘ

TRI Facility ID	Year	Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Disposal to Land	Total On-Site Releases	Total Off-Site Transfers
-----------------	------	---------------	--------------------------	--	------------------------	------------------	------------------------	--------------------------

No data records returned

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year 📄

Chemical Name

No data records returned

e-Manifest Hazardous Waste History (Public)

Hazardous Waste Shipped in Kilograms by Year (Through 6/8/2024)

Source ID	Waste Description	2021	2022	2023	2024
PRD090282757	Hazardous Waste	--	350	11	--
PRD090282757	Acute Hazardous Waste	--	0	0	--
PRD090282757	Pharmaceutical Hazardous Waste	--	0	0	--

"Pharmaceutical Hazardous Waste" refers to quantities managed under 40 CFR part 266 subpart P and thus excluded from the Hazardous and Acute Hazardous Waste quantities shown above.

Community

Environmental Justice

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the EJScreen home page.

! Potential Environmental Justice Concerns

- US Territory
- Supplemental/EJ index percentiles >= 90 (Census block group)
- Supplemental/EJ index percentiles >= 90 (1-mile average)

EJScreen Indexes Shown

Index Type ⌵

Related Reports

EJScreen Community Report

[Download Data](#)

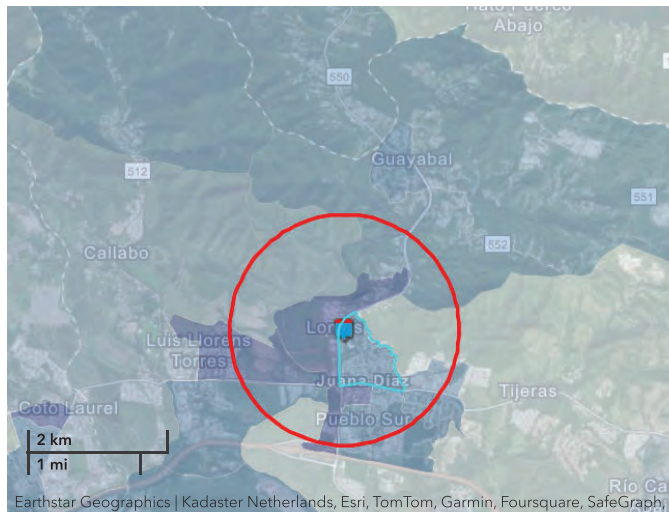
Census Block Group ID: 720757106001	US (Percentile)			State (Percentile)		
	Facility Census Block Group	1-mile Avg	1-mile Max	Facility Census Block Group	1-mile Avg	1-mile Max
Count of Indexes At or Above 90th Percentile	6	7	8	1	2	6
Particulate Matter 2.5	--	N/A	--	--	N/A	--
Ozone	--	N/A	--	--	N/A	--
Diesel Particulate Matter	0	0	6	17	17	49
Air Toxics Cancer Risk	53	36	56	58	0	1 94
Air Toxics Respiratory Hazard Index	35	37	42	59	79	1 94
Toxic Releases to Air	1 99	1 99	1 99	88	1 95	1 99
Traffic Proximity	1 99	1 99	1 99	84	89	1 99

Map Display Based on: US State

Display Map Layer ⌵

Facility 1-mile Radius Facility Census Block Group

Census Block Group ID: 720757106001	US (Percentile)			State (Percentile)		
	Facility Census Block Group	1-mile Avg	1-mile Max	Facility Census Block Group	1-mile Avg	1-mile Max
Lead Paint	92	95	99	66	74	94
Risk Management Plan (RMP) Facility Proximity	96	98	99	64	74	86
Hazardous Waste Proximity	99	99	99	90	95	99
Superfund Proximity	92	95	98	24	26	40
Underground Storage Tanks (UST)	0	0	99	0	0	92
Wastewater Discharge	87	90	96	13	15	34



Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2017 - 2021 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. Census boundaries and demographic data for U.S. Territories are based on the "2020 Island Areas Demographic Profiles" from the U.S. Census Bureau. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <<https://epa.gov/help/reports/dfr-data-dictionary#demographic>>.

General Statistics (U.S. Census)	
Total Persons	7,615
Population Density	2,483/sq.mi.
Housing Units in Area	3,294

General Statistics (ACS (American Community Survey))	
Total Persons	7,245
Percent People of Color	100%
Households in Area	2,729
Households on Public Assistance	103
Persons With Low Income	5,888
Percent With Low Income	81%

Geography	
Radius of Selected Area	1 mi.
Center Latitude	18.059439
Center Longitude	-66.508889
Land Area	99%
Water Area	1%

Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	1,199 (43.94%)
\$15,000 - \$25,000	512 (18.76%)

Age Breakdown (U.S. Census) - Persons (%)	
Children 5 years and younger	468 (6%)
Minors 17 years and younger	1,827 (24%)
Adults 18 years and older	5,788 (76%)
Seniors 65 years and older	1,546 (20%)

Race Breakdown (U.S. Census) - Persons (%)	
White	5,968 (78%)
African-American	912 (12%)
Hispanic-Origin	7,584 (100%)
Asian/Pacific Islander	10 (0%)
American Indian	37 (0%)
Other/Multiracial	687 (9%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	804 (15.41%)
9th through 12th Grade	521 (9.99%)
High School Diploma	1,631 (31.26%)
Some College/2-year	354 (6.79%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	1,344 (25.76%)

Income Breakdown (ACS (American Community Survey)) - Households (%)

\$25,000 - \$50,000	699 (25.61%)
\$50,000 - \$75,000	224 (8.21%)
Greater than \$75,000	95 (3.48%)



Detailed Facility Report

Facility Summary

DEPT OF ED - CARMEN BELEN VEIGA

CALLE LA CRUZ 18, JUANA DIAZ, PR 00795

FRS (Facility Registry Service) ID: 110004888186

EPA Region: 02

Latitude: 18.044057

Longitude: -66.503563

Locational Data Source: RCRAINFO

Industries: --

Indian Country: N

Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	08/11/1997
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Inactive Other, (PR0000340018), Inactive Other, (PRD987374774)

Safe Drinking Water Act (SDWA): No Information

Go To Enforcement/Compliance Details

Known Data Problems <<https://epa.gov/resources/echo-data/known-data-problems>>

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Facility/System Characteristics

Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Area	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110004888186					N	18.044057	-66.503563
RCRAInfo	RCRA	PR0000340018	Other	Inactive ()			N		
RCRAInfo	RCRA	PRD987374774	Other	Inactive ()			N	18.044057	-66.503563

Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110004888186	DEPT OF ED - CARMEN BELEN VEIGA	CALLE LA CRUZ 18, JUANA DIAZ, PR 00795	Juana Díaz Municipio
RCRAInfo	RCRA	PR0000340018	DEPT OF ED - CARMEN BELEN VEIGA	CALLE LA CRUZ 18, JUANA DIAZ, PR 00795-2430	Juana Díaz Municipio
RCRAInfo	RCRA	PRD987374774	ESCUELA CARMEN BELEN VEIGA	LACRUZ, JUANA DIAZ, PR 00795	Juana Díaz Municipio

Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
No data records returned			

Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
No data records returned			

Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
No data records returned			

Enforcement and Compliance

Compliance Monitoring History Last 5 Years

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
No data records returned							

Entries in italics are not included in ECHO's Compliance Monitoring Activity counts because they are not compliance monitoring strategy <https://www.epa.gov/compliance/compliance-monitoring-programs> activities or because they are not counted as inspections within EPA's Annual Results <https://www.epa.gov/enforcement/enforcement-data-and-results>.

Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
RCRA	PR0000340018	No	09/07/2024	0	09/06/2024
RCRA	PRD987374774	No	09/07/2024	0	09/06/2024

Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: PR0000340018)	Facility-Level Status	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified
	Violation												
	Agency												
RCRA (Source ID: PRD987374774)	Facility-Level Status	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified
	Violation												
	Agency												

Informal Enforcement Actions Last 5 Years

Statute	System	Source ID	Type of Action	Lead Agency	Date
No data records returned					

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

Formal Enforcement Actions Last 5 Years

Statute	System	Law/Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/ Filed Date	Settlements/ Actions	Settlement/ Action Date	Federal Penalty Assessed	State/ Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
No data records returned															

Environmental Conditions

Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
No data records returned						

Assessed Waters From Latest State Submission (ATTAAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
No data records returned										

Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
No data records returned				

Pollutants

Toxics Release Inventory History of Reported Chemicals Released or Transferred in Pounds per Year at Site ⓘ

TRI Facility ID	Year	Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Disposal to Land	Total On-Site Releases	Total Off-Site Transfers
-----------------	------	---------------	--------------------------	--	------------------------	------------------	------------------------	--------------------------

No data records returned

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year ⓘ

Chemical Name

No data records returned

Community

Environmental Justice

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the EJScreen home page.

⚠ Potential Environmental Justice Concerns

- US Territory
- Supplemental/EJ index percentiles >= 90 (Census block group)
- Supplemental/EJ index percentiles >= 90 (1-mile average)

EJScreen Indexes Shown

Related Reports

EJScreen Community Report

Index Type

Download Data

Census Block Group ID: 720757104002	US (Percentile)			State (Percentile)		
	Supplemental Indexes	Facility Census Block Group	1-mile Avg	1-mile Max	Facility Census Block Group	1-mile Avg	1-mile Max
Count of Indexes At or Above 90th Percentile	7	6	8	5	2	6
Particulate Matter 2.5	..	N/A	..	..	N/A	..
Ozone	..	N/A	..	..	N/A	..
Diesel Particulate Matter	0	0	6	17	14	49
Air Toxics Cancer Risk	56	53	56	93	68	94
Air Toxics Respiratory Hazard Index	41	36	42	92	69	94
Toxic Releases to Air	99	99	99	99	92	99
Traffic Proximity	99	99	99	92	82	99
Lead Paint	98	92	99	89	62	94
Risk Management Plan (RMP) Facility Proximity	99	97	99	78	65	86
Hazardous Waste Proximity	99	99	99	99	92	99
Superfund Proximity	97	94	98	29	23	40
Underground Storage Tanks (UST)	0	0	99	0	0	92
Wastewater Discharge	93	87	97	16	13	48

Map Display Based on: US State

Display Map Layer

Facility 1-mile Radius Facility Census Block Group



Powered by Esri <https://www.esri.com/>

Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2017 - 2021 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. Census boundaries and demographic data for U.S. Territories are based on the "2020 Island Areas Demographic Profiles" from the U.S. Census Bureau. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <https://epa.gov/help/reports/dfr-data-dictionary#demographic>.

General Statistics (U.S. Census)	
Total Persons	10,342
Population Density	3,327/sq.mi.

Age Breakdown (U.S. Census) - Persons (%)	
Children 5 years and younger	611 (6%)
Minors 17 years and younger	2,580 (25%)

General Statistics (U.S. Census)

Housing Units in Area	4,265
-----------------------	-------

General Statistics (ACS (American Community Survey))

Total Persons	9,035
Percent People of Color	100%
Households in Area	3,265
Households on Public Assistance	143
Persons With Low Income	7,373
Percent With Low Income	82%

Geography

Radius of Selected Area	1 mi.
Center Latitude	18.044057
Center Longitude	-66.503563
Land Area	99%
Water Area	1%

Income Breakdown (ACS (American Community Survey)) - Households (%)

Less than \$15,000	1,326 (40.66%)
\$15,000 - \$25,000	710 (21.77%)
\$25,000 - \$50,000	778 (23.86%)
\$50,000 - \$75,000	263 (8.07%)
Greater than \$75,000	184 (5.64%)

Age Breakdown (U.S. Census) - Persons (%)

Adults 18 years and older	7,762 (75%)
Seniors 65 years and older	1,854 (18%)

Race Breakdown (U.S. Census) - Persons (%)

White	8,226 (80%)
African-American	1,209 (12%)
Hispanic Origin	10,261 (99%)
Asian/Pacific Islander	11 (0%)
American Indian	55 (1%)
Other/Multiracial	841 (8%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)

Less than 9th Grade	818 (12.75%)
9th through 12th Grade	536 (8.39%)
High School Diploma	2,109 (32.87%)
Some College/2-year	513 (8%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	1,682 (26.22%)



Detailed Facility Report

Facility Summary
AUTOTEK CARIBE
147 TOMAS CARRION MADURO AVE, JUANA DIAZ, PR 99999

FRS (Facility Registry Service) ID: 110006433797

EPA Region: 02

Latitude: 18.05481

Longitude: -66.50546

Locational Data Source: FRS

Industries: --

Indian Country: N

Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

Regulatory Information

Clean Air Act (CAA): No Information
Clean Water Act (CWA): No Information
Resource Conservation and Recovery Act (RCRA): Inactive Other, (PRN008004160)
Safe Drinking Water Act (SDWA): No Information

Go To Enforcement/Compliance Details
 Known Data Problems <<https://epa.gov/resources/echo-data/known-data-problems>>

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information
Greenhouse Gas Emissions (eGGRT): No Information
Toxic Releases (TRI): No Information
Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Facility/System Characteristics

Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110006433797					N	18.05481	-66.50546
RCRAInfo	RCRA	PRN008004160	Other	Inactive ()			N	18.056553	-66.506939

Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110006433797	AUTOTEK CARIBE	147 TOMAS CARRION MADURO AVE, JUANA DIAZ, PR 99999	Juana Diaz Municipio
RCRAInfo	RCRA	PRN008004160	AUTOTEK CARIBE	147 TOMAS CARRION MADURO AVE, JUANA DIAZ, PR 99999	Juana Diaz Municipio

Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
--------	------------	----------	-----------------

Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
--------	------------	------------	-------------------

No data records returned

Facility Tribe Information

No data records returned

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
------------------	------------	---------------	---------------------------

No data records returned

Enforcement and Compliance

Compliance Monitoring History

Last 5 Years

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
---------	-----------	--------	---------------	----------------------------	-------------	------	-------------------------

No data records returned

Entries in italics are not included in ECHO's Compliance Monitoring Activity counts because they are not compliance monitoring strategy <https://www.epa.gov/compliance/compliance-monitoring-programs> activities or because they are not counted as inspections within EPA's Annual Results <https://www.epa.gov/enforcement/enforcement-data-and-results>.

Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
RCRA	PRN008004160	No	09/07/2024	0	09/06/2024

Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: PRN008004160)		10/01-12/31/21	01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-12/31/23	01/01-03/31/24	04/01-06/30/24	07/01-09/30/24
	Facility-Level Status	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified
	Violation												
	Agency												

Informal Enforcement Actions

Last 5 Years

Statute	System	Source ID	Type of Action	Lead Agency	Date
---------	--------	-----------	----------------	-------------	------

No data records returned

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

Formal Enforcement Actions

Last 5 Years

Statute	System	Law/ Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/ Filed Date	Settlements/ Actions	Settlement/ Action Date	Federal Penalty Assessed	State/ Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
---------	--------	--------------	-----------	----------------	----------	-------------	-----------	--------------------	----------------------	-------------------------	--------------------------	-------------------------------	--------------------------	-----------	------------------

No data records returned

Environmental Conditions

Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
--	---	---	---------------------------------	--------------------------------------	--	---

No data records returned

Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
-------	--------------	--------------------	----------------------	-----------------	-----------------------	--------------------	----------------	----------------------	----------------	-----------

No data records returned

Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
-----------	-----------------------------------	---	---------------------------------	---

No data records returned

Pollutants

Toxics Release Inventory History of Reported Chemicals Released or Transferred in Pounds per Year at Site

TRI Facility ID	Year	Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Disposal to Land	Total On-Site Releases	Total Off-Site Transfers
-----------------	------	---------------	--------------------------	--	------------------------	------------------	------------------------	--------------------------

No data records returned

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name

No data records returned

Environmental Justice

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the EJScreen home page.

Potential Environmental Justice Concerns

- US Territory
- Supplemental/EJ index percentiles >= 90 (Census block group)
- Supplemental/EJ index percentiles >= 90 (1-mile average)

EJScreen Indexes Shown

Index Type Supplemental (default) ▾

Related Reports

EJScreen Community Report

[Download Data](#)

Census Block Group ID: 720757106001	US (Percentile)			State (Percentile)		
	Supplemental Indexes	Facility Census Block Group	1-mile Avg	1-mile Max	Facility Census Block Group	1-mile Avg	1-mile Max
Count of Indexes At or Above 90th Percentile	6	6	8	1	2	6
Particulate Matter 2.5	...	N/A	...	...	N/A	...
Ozone	...	N/A	...	...	N/A	...
Diesel Particulate Matter	0	0	6	17	15	49
Air Toxics Cancer Risk	53	36	56	58	0	94
Air Toxics Respiratory Hazard Index	35	36	42	59	72	94
Toxic Releases to Air	99	99	99	88	93	99
Traffic Proximity	99	99	99	84	85	99
Lead Paint	92	94	99	66	68	94
Risk Management Plan (RMP) Facility Proximity	96	97	99	64	69	86
Hazardous Waste Proximity	99	99	99	90	93	99
Superfund Proximity	92	94	98	24	24	40
Underground Storage Tanks (UST)	0	0	99	0	0	92
Wastewater Discharge	87	89	96	13	14	34

Map Display Based on: US State

Display Map Layer Summary - Number of Indexes ▾

Facility 1-mile Radius Facility Census Block Group



Earthstar Geographics | Kadaster Netherlands, Esri, TomTom, Garmin, Foursquare, SafeGraph, GooT... Powered by Esri <https://www.esri.com/>

Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2017 - 2021 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. Census boundaries and demographic data for U.S. Territories are based on the "2020 Island Areas Demographic Profiles" from the U.S. Census Bureau. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <https://epa.gov/help/reports/dfr-data-dictionary#demographic>.

General Statistics (U.S. Census)	
Total Persons	9,409
Population Density	3,097/sq.mi.
Housing Units in Area	3,946
General Statistics (ACS (American Community Survey))	
Total Persons	8,783
Percent People of Color	100%
Households in Area	3,277
Households on Public Assistance	137

Age Breakdown (U.S. Census) - Persons (%)	
Children 5 years and younger	567 (6%)
Minors 17 years and younger	2,307 (25%)
Adults 18 years and older	7,102 (75%)
Seniors 65 years and older	1,753 (19%)

Race Breakdown (U.S. Census) - Persons (%)	
White	7,445 (79%)
African-American	1,093 (12%)
Hispanic-Origin	9,369 (100%)

General Statistics (ACS (American Community Survey))

Persons With Low Income	7,172
Percent With Low Income	82%

Geography

Radius of Selected Area	1 mi.
Center Latitude	18.05481
Center Longitude	-66.50546
Land Area	99%
Water Area	1%

Income Breakdown (ACS (American Community Survey)) - Households (%)

Less than \$15,000	1,430 (43.62%)
\$15,000 - \$25,000	658 (20.07%)
\$25,000 - \$50,000	773 (23.58%)
\$50,000 - \$75,000	292 (8.91%)
Greater than \$75,000	125 (3.81%)

Race Breakdown (U.S. Census) - Persons (%)

Asian/Pacific Islander	12 (0%)
American Indian	47 (1%)
Other/Multiracial	813 (9%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)

Less than 9th Grade	930 (14.92%)
9th through 12th Grade	601 (9.64%)
High School Diploma	1,927 (30.91%)
Some College/2-year	434 (6.96%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	1,558 (24.99%)



Detailed Facility Report

Facility Summary

DEPT OF ED - LUIS LLORENS TORRES SCHOOL

CALLE LA CRUZ, JUANA DIAZ, PR 00795

FRS (Facility Registry Service) ID: 110007802306

EPA Region: 02

Latitude: 18.044057

Longitude: -66.503563

Locational Data Source: RCRAINFO

Industries: --

Indian Country: N

Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Inactive Other, (PR0000012567)

Safe Drinking Water Act (SDWA): No Information

Go To Enforcement/Compliance Details

Known Data Problems <<https://epa.gov/resources/echo-data/known-data-problems>>

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Facility/System Characteristics

Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110007802306					N	18.044057	-66.503563
RCRAInfo	RCRA	PR0000012567	Other	Inactive ()			N	18.044057	-66.503563

Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110007802306	DEPT OF ED - LUIS LLORENS TORRES SCHOOL	CALLE LA CRUZ, JUANA DIAZ, PR 00795	Juana Díaz Municipio
RCRAInfo	RCRA	PR0000012567	DEPT OF ED - LUIS LLORENS TORRES SCHOOL	CALLE LA CRUZ, JUANA DIAZ, PR 00795	Juana Díaz Municipio

Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
--------	------------	----------	-----------------

Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
--------	------------	------------	-------------------

No data records returned

No data records returned

Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
------------------	------------	---------------	---------------------------

No data records returned

Enforcement and Compliance

Compliance Monitoring History

Last 5 Years

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
---------	-----------	--------	---------------	----------------------------	-------------	------	-------------------------

No data records returned

Entries in italics are not included in ECHO's Compliance Monitoring Activity counts because they are not compliance monitoring strategy <https://www.epa.gov/compliance/compliance-monitoring-programs> activities or because they are not counted as inspections within EPA's Annual Results <https://www.epa.gov/enforcement/enforcement-data-and-results>.

Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
RCRA	PR0000012567	No	09/07/2024	0	09/06/2024

Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: PR0000012567)		10/01-12/31/21	01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-12/31/23	01/01-03/31/24	04/01-06/30/24	07/01-09/30/24
	Facility-Level Status	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified
	Violation												
	Agency												

Informal Enforcement Actions

Last 5 Years

Statute	System	Source ID	Type of Action	Lead Agency	Date
---------	--------	-----------	----------------	-------------	------

No data records returned

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

Formal Enforcement Actions

Last 5 Years

Statute	System	Law/ Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/ Filed Date	Settlements/ Actions	Settlement/ Action Date	Federal Penalty Assessed	State/ Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
---------	--------	--------------	-----------	----------------	----------	-------------	-----------	--------------------	----------------------	-------------------------	--------------------------	-------------------------------	--------------------------	-----------	------------------

No data records returned

Environmental Conditions

Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
--	---	---	---------------------------------	--------------------------------------	--	---

No data records returned

Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
-------	--------------	--------------------	----------------------	-----------------	-----------------------	--------------------	----------------	----------------------	----------------	-----------

No data records returned

Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
-----------	-----------------------------------	---	---------------------------------	---

No data records returned

Pollutants

Toxics Release Inventory History of Reported Chemicals Released or Transferred in Pounds per Year at Site

TRI Facility ID	Year	Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Disposal to Land	Total On-Site Releases	Total Off-Site Transfers
-----------------	------	---------------	--------------------------	--	------------------------	------------------	------------------------	--------------------------

No data records returned

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name

No data records returned

Community

Environmental Justice

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the EJScreen home page.

- Potential Environmental Justice Concerns**
- US Territory
 - Supplemental/EJ index percentiles >= 90 (Census block group)
 - Supplemental/EJ index percentiles >= 90 (1-mile average)

EJScreen Indexes Shown **Related Reports**

Index Type Supplemental (default) ▾

EJScreen Community Report

[Download Data](#)

Census Block Group ID: 720757104002	US (Percentile)			State (Percentile)		
	Supplemental Indexes	Facility Census Block Group	1-mile Avg	1-mile Max	Facility Census Block Group	1-mile Avg	1-mile Max
Count of Indexes At or Above 90th Percentile	7	6	8	5	2	6
Particulate Matter 2.5	...	N/A	...	...	N/A	...
Ozone	...	N/A	...	...	N/A	...
Diesel Particulate Matter	0	0	6	17	14	49
Air Toxics Cancer Risk	56	53	56	93	68	94
Air Toxics Respiratory Hazard Index	41	36	42	92	69	94
Toxic Releases to Air	99	99	99	99	92	99
Traffic Proximity	99	99	99	92	82	99
Lead Paint	98	92	99	89	62	94
Risk Management Plan (RMP) Facility Proximity	99	97	99	78	65	86
Hazardous Waste Proximity	99	99	99	99	92	99
Superfund Proximity	97	94	98	29	23	40
Underground Storage Tanks (UST)	0	0	99	0	0	92
Wastewater Discharge	93	87	97	16	13	48

Map Display Based on: US State

Display Map Layer Summary - Number of Indexes ▾

Facility 1-mile Radius Facility Census Block Group



Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2017 - 2021 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. Census boundaries and demographic data for U.S. Territories are based on the "2020 Island Areas Demographic Profiles" from the U.S. Census Bureau. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <https://epa.gov/help/reports/dfr-data-dictionary#demographic>.

General Statistics (U.S. Census)	
Total Persons	10,342
Population Density	3,327/sq. mi.
Housing Units in Area	4,265
General Statistics (ACS (American Community Survey))	
Total Persons	9,035
Percent People of Color	100%
Households in Area	3,265
Households on Public Assistance	143

Age Breakdown (U.S. Census) - Persons (%)	
Children 5 years and younger	611 (6%)
Minors 17 years and younger	2,580 (25%)
Adults 18 years and older	7,762 (75%)
Seniors 65 years and older	1,854 (18%)

Race Breakdown (U.S. Census) - Persons (%)	
White	8,226 (80%)
African-American	1,209 (12%)
Hispanic-Origin	10,261 (99%)

General Statistics (ACS (American Community Survey))

Persons With Low Income	7,373
Percent With Low Income	82%

Geography

Radius of Selected Area	1 mi.
Center Latitude	18.044057
Center Longitude	-66.503563
Land Area	99%
Water Area	1%

Income Breakdown (ACS (American Community Survey)) - Households (%)

Less than \$15,000	1,326 (40.66%)
\$15,000 - \$25,000	710 (21.77%)
\$25,000 - \$50,000	778 (23.86%)
\$50,000 - \$75,000	263 (8.07%)
Greater than \$75,000	184 (5.64%)

Race Breakdown (U.S. Census) - Persons (%)

Asian/Pacific Islander	11 (0%)
American Indian	55 (1%)
Other/Multiracial	841 (8%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)

Less than 9th Grade	818 (12.75%)
9th through 12th Grade	536 (8.35%)
High School Diploma	2,109 (32.87%)
Some College/2-year	513 (8%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	1,682 (26.22%)



Detailed Facility Report

Facility Summary

JUANA DIAZ STP

PR-149 KM 67.3, JUANA DIAZ, PR 00795

FRS (Facility Registry Service) ID: 110007804215

EPA Region: 02

Latitude: 18.048351

Longitude: -66.508864

Locational Data Source: RCRAINFO

Industries: Utilities

Indian Country: N

Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Inactive Other, (PRD000689620)

Safe Drinking Water Act (SDWA): No Information

Go To Enforcement/Compliance Details

Known Data Problems <<https://epa.gov/resources/echo-data/known-data-problems>>

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Facility/System Characteristics

Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Area	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110007804215					N	18.048351	-66.508864
RCRAInfo	RCRA	PRD000689620	Other	Inactive ()			N	18.048351	-66.508864

Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110007804215	JUANA DIAZ STP	PR-149 KM 67.3, JUANA DIAZ, PR 00795	Juana Diaz Municipio
RCRAInfo	RCRA	PRD000689620	JUANA DIAZ STP	STATE RD 149 KM 67.3, JUANA DIAZ, PR 00665	Juana Diaz Municipio

Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
--------	------------	----------	-----------------

No data records returned

Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
RCRAInfo	PRD000689620	22132	Sewage Treatment Facilities

Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
No data records returned			

Enforcement and Compliance

Compliance Monitoring History Last 5 Years

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
No data records returned							

Entries in italics are not included in ECHO's Compliance Monitoring Activity counts because they are not compliance monitoring strategy <https://www.epa.gov/compliance/compliance-monitoring-programs> activities or because they are not counted as inspections within EPA's Annual Results <https://www.epa.gov/enforcement/enforcement-data-and-results>.

Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
RCRA	PRD000689620	No	09/07/2024	0	09/06/2024

Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: PRD000689620)		10/01-12/31/21	01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-12/31/23	01/01-03/31/24	04/01-06/30/24	07/01-09/30/24
	Facility-Level Status	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified
	Violation	Agency											

Informal Enforcement Actions Last 5 Years

Statute	System	Source ID	Type of Action	Lead Agency	Date
No data records returned					

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

Formal Enforcement Actions Last 5 Years

Statute	System	Law/Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/ Filed Date	Settlements/ Actions	Settlement/ Action Date	Federal Penalty Assessed	State/ Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
No data records returned															

Environmental Conditions

Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
No data records returned						

Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
No data records returned										

Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
No data records returned				

Pollutants

Toxics Release Inventory History of Reported Chemicals Released or Transferred in Pounds per Year at Site ⓘ

TRI Facility ID	Year	Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Disposal to Land	Total On-Site Releases	Total Off-Site Transfers
No data records returned								

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year ⓘ

Chemical Name

No data records returned

Community

Environmental Justice

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the EJScreen home page.

⚠ Potential Environmental Justice Concerns

- US Territory
- Supplemental/EJ index percentiles >= 90 (Census block group)
- Supplemental/EJ index percentiles >= 90 (1-mile average)

EJScreen Indexes Shown

Related Reports

EJScreen Community Report

Index Type

[Download Data](#)

Census Block Group ID: 720757105001	US (Percentile)			State (Percentile)		
	Facility Census Block Group	1-mile Avg	1-mile Max	Facility Census Block Group	1-mile Avg	1-mile Max
Count of Indexes At or Above 90th Percentile	7	6	8	6	2	6
Particulate Matter 2.5	--	N/A	--	--	N/A	--
Ozone	--	N/A	--	--	N/A	--
Diesel Particulate Matter	0	0	6	21	16	49
Air Toxics Cancer Risk	56	54	56	94	74	94
Air Toxics Respiratory Hazard Index	42	37	42	94	74	94
Toxic Releases to Air	99	99	99	94	99	99
Traffic Proximity	99	99	99	99	87	99
Lead Paint	99	94	99	94	70	94
Risk Management Plan (RMP) Facility Proximity	99	98	99	82	70	86
Hazardous Waste Proximity	99	99	99	99	94	99
Superfund Proximity	98	94	98	33	25	40
Underground Storage Tanks (UST)	0	0	99	0	0	92
Wastewater Discharge	93	89	97	15	14	48

Map Display Based on: US State

Display Map Layer

Facility 1-mile Radius Facility Census Block Group



Powered by Esri <https://www.esri.com/>

Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2017 - 2021 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. Census boundaries and demographic data for U.S. Territories are based on the "2020 Island Areas Demographic Profiles" from the U.S. Census Bureau. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <https://epa.gov/help/reports/dfr-data-dictionary#demographic>.

General Statistics (U.S. Census)	
Total Persons	8,622
Population Density	2,777/sq.mi.
Housing Units in Area	3,685

General Statistics (ACS (American Community Survey))	
Total Persons	8,404
Percent People of Color	100%

Age Breakdown (U.S. Census) - Persons (%)	
Children 5 years and younger	517 (6%)
Minors 17 years and younger	2,049 (24%)
Adults 18 years and older	6,573 (76%)
Seniors 65 years and older	1,752 (20%)

Race Breakdown (U.S. Census) - Persons (%)	
White	6,824 (79%)

General Statistics (ACS (American Community Survey))	
Households in Area	3,133
Households on Public Assistance	139
Persons With Low Income	6,899
Percent With Low Income	82%

Geography	
Radius of Selected Area	1 mi.
Center Latitude	18.048351
Center Longitude	-66.508864
Land Area	99%
Water Area	1%

Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	1,348 (43.05%)
\$15,000 - \$25,000	646 (20.63%)
\$25,000 - \$50,000	732 (23.38%)
\$50,000 - \$75,000	299 (8.27%)
Greater than \$75,000	146 (4.66%)

Race Breakdown (U.S. Census) - Persons (%)	
African-American	1,031 (12%)
Hispanic-Origin	8,569 (99%)
Asian/Pacific Islander	8 (0%)
American Indian	44 (1%)
Other/Multiracial	715 (8%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	849 (14.43%)
9th through 12th Grade	551 (9.36%)
High School Diploma	1,834 (31.16%)
Some College/2-year	417 (7.09%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	1,506 (25.59%)



Detailed Facility Report

Facility Summary

SHELL CO PR LTD SS 0736 GARAGE MARTINEZ

BARBOSA ST, JUANA DIAZ, PR 00795

FRS (Facility Registry Service) ID: 110007818763

EPA Region: 02

Latitude: 18.052222

Longitude: -66.508611

Locational Data Source: ICIS

Industries: --

Indian Country: N

Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Inactive Other, (PRR000005231)

Safe Drinking Water Act (SDWA): No Information

Go To Enforcement/Compliance Details

Known Data Problems <<https://epa.gov/resources/echo-data/known-data-problems>>

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Facility/System Characteristics

Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110007818763					N	18.052222	-66.508611
ICIS		1400002770					N	18.052222	66.508611
RCRAInfo	RCRA	PRR000005231	Other	Inactive ()			N	18.047662	-66.546869

Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110007818763	SHELL CO PR LTD SS 0736 GARAGE MARTINEZ	BARBOSA ST, JUANA DIAZ, PR 00795	Juana Diaz Municipio
ICIS		1400002770	SHELL #736 [204201]	BARBOSA ST, JUANA DIAZ, PR 00079	Juana Diaz Municipio
RCRAInfo	RCRA	PRR000005231	SHELL CO PR LTD SS 0736 GARAGE MARTINEZ	BARBOSA ST, JUANA DIAZ, PR 00795	Juana Diaz Municipio

Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
No data records returned			

Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
No data records returned			

Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
No data records returned			

Enforcement and Compliance

Compliance Monitoring History Last 5 Years

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
No data records returned							

Entries in italics are not included in ECHO's Compliance Monitoring Activity counts because they are not compliance monitoring strategy <https://www.epa.gov/compliance/compliance-monitoring-programs> activities or because they are not counted as inspections within EPA's Annual Results <https://www.epa.gov/enforcement/enforcement-data-and-results>.

Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
RCRA	PRR000005231	No	09/07/2024	0	09/06/2024

Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: PRR000005231)		10/01-12/31/21	01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-12/31/23	01/01-03/31/24	04/01-06/30/24	07/01-09/30/24
	Facility-Level Status	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified
	Violation												
	Agency												

Informal Enforcement Actions Last 5 Years

Statute	System	Source ID	Type of Action	Lead Agency	Date
No data records returned					

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

Formal Enforcement Actions Last 5 Years

Statute	System	Law/Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/ Filed Date	Settlements/ Actions	Settlement/ Action Date	Federal Penalty Assessed	State/ Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
No data records returned															

Environmental Conditions

Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
No data records returned						

Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
No data records returned										

Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
No data records returned				

Pollutants

Toxics Release Inventory History of Reported Chemicals Released or Transferred in Pounds per Year at Site

TRI Facility ID	Year	Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Disposal to Land	Total On-Site Releases	Total Off-Site Transfers
No data records returned								

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name

No data records returned

Community

Environmental Justice

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the EJScreen home page.

Potential Environmental Justice Concerns

US Territory

Supplemental/EJ index percentiles >= 90 (Census block group)

Supplemental/EJ index percentiles >= 90 (1-mile average)

EJScreen Indexes Shown

Related Reports

EJScreen Community Report

Index Type

[Download Data](#)

Census Block Group ID: 720757105002	US (Percentile)			State (Percentile)		
	Facility Census Block Group	1-mile Avg	1-mile Max	Facility Census Block Group	1-mile Avg	1-mile Max
Count of Indexes At or Above 90th Percentile	6	6	8	3	2	6
Particulate Matter 2.5	--	N/A	--	--	N/A	--
Ozone	--	N/A	--	--	N/A	--
Diesel Particulate Matter	0	0	6	16	16	49
Air Toxics Cancer Risk	54	36	56	78	0	94
Air Toxics Respiratory Hazard Index	37	37	42	78	75	94
Toxic Releases to Air	99	99	99	95	94	99
Traffic Proximity	99	99	99	96	87	99
Lead Paint	96	94	99	79	71	94
Risk Management Plan (RMP) Facility Proximity	98	98	99	73	70	86
Hazardous Waste Proximity	99	99	99	96	94	99
Superfund Proximity	95	95	98	28	25	40
Underground Storage Tanks (UST)	0	0	99	0	0	92
Wastewater Discharge	89	89	97	14	14	48

Map Display Based on: US State

Display Map Layer

Facility 1-mile Radius Facility Census Block Group



Powered by Esri <https://www.esri.com/>

Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2017 - 2021 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. Census boundaries and demographic data for U.S. Territories are based on the "2020 Island Areas Demographic Profiles" from the U.S. Census Bureau. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <https://epa.gov/help/reports/dfr-data-dictionary#demographic>.

General Statistics (U.S. Census)	
Total Persons	8,910
Population Density	2,874/sq.mi.
Housing Units in Area	3,796

General Statistics (ACS (American Community Survey))	
Total Persons	8,726
Percent People of Color	100%

Age Breakdown (U.S. Census) - Persons (%)	
Children 5 years and younger	542 (6%)
Minors 17 years and younger	2,152 (24%)
Adults 18 years and older	6,758 (76%)
Seniors 65 years and older	1,758 (20%)

Race Breakdown (U.S. Census) - Persons (%)	
White	7,047 (79%)

General Statistics (ACS (American Community Survey))	
Households in Area	3,275
Households on Public Assistance	142
Persons With Low Income	7,157
Percent With Low Income	82%

Geography	
Radius of Selected Area	1 mi.
Center Latitude	18.052222
Center Longitude	-66.508611
Land Area	99%
Water Area	1%

Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	1,428 (43.58%)
\$15,000 - \$25,000	648 (19.77%)
\$25,000 - \$50,000	789 (24.08%)
\$50,000 - \$75,000	275 (8.39%)
Greater than \$75,000	137 (4.18%)

Race Breakdown (U.S. Census) - Persons (%)	
African-American	1,055 (12%)
Hispanic-Origin	8,862 (99%)
Asian/Pacific Islander	10 (0%)
American Indian	47 (1%)
Other/Multiracial	751 (8%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	911 (14.81%)
9th through 12th Grade	599 (9.74%)
High School Diploma	1,906 (30.99%)
Some College/2-year	429 (6.98%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	1,560 (25.37%)



Detailed Facility Report

Facility Summary

R4 ENTERPRISES CORP

STATE RD 1 KM 113.6, JUANA DIAZ, PR 00795

FRS (Facility Registry Service) ID: 110012243811

EPA Region: 02

Latitude: 18.048408

Longitude: -66.505499

Locational Data Source: RCRAINFO

Industries: --

Indian Country: N

Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	10/28/2005
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Inactive Other, (PRR000014860)

Safe Drinking Water Act (SDWA): No Information

Go To Enforcement/Compliance Details

Known Data Problems <<https://epa.gov/resources/echo-data/known-data-problems>>

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Facility/System Characteristics

Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110012243811					N	18.048408	-66.505499
RCRAInfo	RCRA	PRR000014860	Other	Inactive ()			N	18.048408	-66.505499

Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110012243811	R4 ENTERPRISES CORP	STATE RD 1 KM 113.6, JUANA DIAZ, PR 00795	Juana Diaz Municipio
RCRAInfo	RCRA	PRR000014860	R4 ENTERPRISES CORP	STATE RD 1 KM 113.6, JUANA DIAZ, PR 00795	Juana Diaz Municipio

Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
--------	------------	----------	-----------------

Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
--------	------------	------------	-------------------

No data records returned

Facility Tribe Information

No data records returned

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
------------------	------------	---------------	---------------------------

No data records returned

Enforcement and Compliance

Compliance Monitoring History

Last 5 Years

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
---------	-----------	--------	---------------	----------------------------	-------------	------	-------------------------

No data records returned

Entries in italics are not included in ECHO's Compliance Monitoring Activity counts because they are not compliance monitoring strategy <https://www.epa.gov/compliance/compliance-monitoring-programs> activities or because they are not counted as inspections within EPA's Annual Results <https://www.epa.gov/enforcement/enforcement-data-and-results>.

Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
RCRA	PRR00014860	No	09/07/2024	0	09/06/2024

Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: PRR00014860)		10/01-12/31/21	01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-12/31/23	01/01-03/31/24	04/01-06/30/24	07/01-09/30/24
	Facility-Level Status	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified
	Violation												
	Agency												

Informal Enforcement Actions

Last 5 Years

Statute	System	Source ID	Type of Action	Lead Agency	Date
---------	--------	-----------	----------------	-------------	------

No data records returned

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

Formal Enforcement Actions

Last 5 Years

Statute	System	Law/ Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/ Filed Date	Settlements/ Actions	Settlement/ Action Date	Federal Penalty Assessed	State/ Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
---------	--------	--------------	-----------	----------------	----------	-------------	-----------	--------------------	----------------------	-------------------------	--------------------------	-------------------------------	--------------------------	-----------	------------------

No data records returned

Environmental Conditions

Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
--	---	---	---------------------------------	--------------------------------------	--	---

No data records returned

Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
-------	--------------	--------------------	----------------------	-----------------	-----------------------	--------------------	----------------	----------------------	----------------	-----------

No data records returned

Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
-----------	-----------------------------------	---	---------------------------------	---

No data records returned

Pollutants

Toxics Release Inventory History of Reported Chemicals Released or Transferred in Pounds per Year at Site

TRI Facility ID	Year	Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Disposal to Land	Total On-Site Releases	Total Off-Site Transfers
-----------------	------	---------------	--------------------------	--	------------------------	------------------	------------------------	--------------------------

No data records returned

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name

No data records returned

Environmental Justice

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the EJScreen home page.

! Potential Environmental Justice Concerns

- US Territory
- Supplemental/EJ index percentiles >= 90 (Census block group)
- Supplemental/EJ index percentiles >= 90 (1-mile average)

EJScreen Indexes Shown

Index Type Supplemental (default) ▾

Related Reports

EJScreen Community Report

[Download Data](#)

Census Block Group ID: 720757104002	US (Percentile)			State (Percentile)		
	Supplemental Indexes	Facility Census Block Group	1-mile Avg	1-mile Max	Facility Census Block Group	1-mile Avg	1-mile Max
Count of Indexes At or Above 90th Percentile	7	6	8	5	2	6
Particulate Matter 2.5	...	N/A	...	...	N/A	...
Ozone	...	N/A	...	...	N/A	...
Diesel Particulate Matter	0	0	6	17	15	49
Air Toxics Cancer Risk	56	53	56	93	71	94
Air Toxics Respiratory Hazard Index	41	36	42	92	72	94
Toxic Releases to Air	99	99	99	99	93	99
Traffic Proximity	99	99	99	92	85	99
Lead Paint	98	93	99	89	66	94
Risk Management Plan (RMP) Facility Proximity	99	97	99	78	68	86
Hazardous Waste Proximity	99	99	99	99	93	99
Superfund Proximity	97	94	98	29	24	40
Underground Storage Tanks (UST)	0	0	99	0	0	92
Wastewater Discharge	93	88	97	16	13	48

Map Display Based on: US State

Display Map Layer Summary - Number of Indexes ▾

Facility 1-mile Radius Facility Census Block Group



Powered by Esri <https://www.esri.com/>

Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2017 - 2021 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. Census boundaries and demographic data for U.S. Territories are based on the "2020 Island Areas Demographic Profiles" from the U.S. Census Bureau. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <https://epa.gov/help/reports/dfr-data-dictionary#demographic>.

General Statistics (U.S. Census)	
Total Persons	9,206
Population Density	2,942/sq.mi.
Housing Units in Area	3,865
General Statistics (ACS (American Community Survey))	
Total Persons	8,631
Percent People of Color	100%
Households in Area	3,201
Households on Public Assistance	138

Age Breakdown (U.S. Census) - Persons (%)	
Children 5 years and younger	550 (6%)
Minors 17 years and younger	2,230 (24%)
Adults 18 years and older	6,985 (76%)
Seniors 65 years and older	1,782 (19%)

Race Breakdown (U.S. Census) - Persons (%)	
White	7,307 (79%)
African-American	1,096 (12%)
Hispanic-Origin	9,155 (99%)

General Statistics (ACS (American Community Survey))	
Persons With Low Income	6,981
Percent With Low Income	81%
Geography	
Radius of Selected Area	1 mi.
Center Latitude	18.048408
Center Longitude	-66.505499
Land Area	99%
Water Area	1%
Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	1,341 (41.92%)
\$15,000 - \$25,000	674 (21.07%)
\$25,000 - \$50,000	739 (23.1%)
\$50,000 - \$75,000	288 (9%)
Greater than \$75,000	157 (4.91%)

Race Breakdown (U.S. Census) - Persons (%)	
Asian/Pacific Islander	10 (0%)
American Indian	48 (1%)
Other/Multiracial	746 (8%)
Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	846 (13.88%)
9th through 12th Grade	548 (8.99%)
High School Diploma	1,892 (31.03%)
Some College/2-year	439 (7.2%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	1,602 (26.28%)



Detailed Facility Report

Facility Summary

QUALITY CLEANERS

DR. VEVE STREET #15, JUANA DIAZ, PR 00000

FRS (Facility Registry Service) ID: 110014362153

EPA Region: 02

Latitude: 18.052286

Longitude: -66.506571

Locational Data Source: RCRAINFO

Industries: --

Indian Country: N

Enforcement and Compliance Summary

Statute	CAA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

Regulatory Information

Clean Air Act (CAA): Operating Minor (PR0000007207500009)

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Inactive Other, (PRN008009714)

Safe Drinking Water Act (SDWA): No Information

Go To Enforcement/Compliance Details

Known Data Problems <<https://epa.gov/resources/echo-data/known-data-problems>>

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Facility/System Characteristics

Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110014362153					N	18.052286	-66.506571
ICIS-Air	CAA	PR0000007207500009	Minor Emissions	Operating	CAAMACT, CAASIP		N	18.052286	-66.506571
RCRAInfo	RCRA	PRN008009714	Other	Inactive ()			N	18.052286	-66.506571

Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110014362153	QUALITY CLEANERS	DR. VEVE STREET #15, JUANA DIAZ, PR 00000	
ICIS-Air	CAA	PR0000007207500009	QUALITY CLEANERS	DR. VEVE STREET #15, JUANA DIAZ, PR 00000	Juana Díaz Municipio
RCRAInfo	RCRA	PRN008009714	QUALITY CLEANERS	15 DR SANTIAGO VEVE, JUANA DIAZ, PR 00795	Juana Díaz Municipio

Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
ICIS-Air	PR0000007207500009	7219	Laundry And Garment Services

Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
ICIS-Air	PR0000007207500009	999999	

Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
------------------	------------	---------------	---------------------------

No data records returned

Enforcement and Compliance

Compliance Monitoring History Last 5 Years

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
---------	-----------	--------	---------------	----------------------------	-------------	------	-------------------------

No data records returned

Entries in italics are not included in ECHO's Compliance Monitoring Activity counts because they are not compliance monitoring strategy <https://www.epa.gov/compliance/compliance-monitoring-programs> activities or because they are not counted as inspections within EPA's Annual Results <https://www.epa.gov/enforcement/enforcement-data-and-results>.

Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
CAA	PR0000007207500009	No	09/07/2024	0	09/06/2024
RCRA	PRN008009714	No	09/07/2024	0	09/06/2024

Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
CAA (Source ID: PR0000007207500009)		10/01-12/31/21	01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-12/31/23	01/01-03/31/24	04/01-06/30/24	07/01-09/30/24
	Facility-Level Status	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified
	HPV History												
	Violation Type	Agency	Programs	Pollutants									

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: PRN008009714)		10/01-12/31/21	01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-12/31/23	01/01-03/31/24	04/01-06/30/24	07/01-09/30/24
	Facility-Level Status	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified
	Violation	Agency											

Informal Enforcement Actions Last 5 Years

Statute	System	Source ID	Type of Action	Lead Agency	Date
---------	--------	-----------	----------------	-------------	------

No data records returned

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

Formal Enforcement Actions Last 5 Years

Statute	System	Law/ Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/ Filed Date	Settlements/ Actions	Settlement/ Action Date	Federal Penalty Assessed	State/ Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
---------	--------	--------------	-----------	----------------	----------	-------------	-----------	--------------------	----------------------	-------------------------	--------------------------	-------------------------------	--------------------------	-----------	------------------

No data records returned

Environmental Conditions

Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
--	---	---	---------------------------------	--------------------------------------	--	---

No data records returned

Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
-------	--------------	--------------------	----------------------	-----------------	-----------------------	--------------------	----------------	----------------------	----------------	-----------

No data records returned

Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
-----------	-----------------------------------	---	---------------------------------	---

No data records returned

Pollutants

Toxics Release Inventory History of Reported Chemicals Released or Transferred in Pounds per Year at Site ⓘ

TRI Facility ID	Year	Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Disposal to Land	Total On-Site Releases	Total Off-Site Transfers
-----------------	------	---------------	--------------------------	--	------------------------	------------------	------------------------	--------------------------

No data records returned

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year ⓘ

Chemical Name

No data records returned

Community

Environmental Justice

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the EJScreen home page.



Potential Environmental Justice Concerns

US Territory

Supplemental/EJ index percentiles >= 90 (Census block group)

Supplemental/EJ index percentiles >= 90 (1-mile average)

EJScreen Indexes Shown

Index Type

Supplemental (default) ⌵

Related Reports

EJScreen Community Report

[Download Data](#)

Census Block Group ID: 720757105002	US (Percentile)			State (Percentile)		
	Facility Census Block Group	1-mile Avg	1-mile Max	Facility Census Block Group	1-mile Avg	1-mile Max
Count of Indexes At or Above 90th Percentile	6	6	8	3	2	6
Particulate Matter 2.5	--	N/A	--	--	N/A	--
Ozone	--	N/A	--	--	N/A	--
Diesel Particulate Matter	0	0	6	16	16	49
Air Toxics Cancer Risk	54	36	56	78	0	94
Air Toxics Respiratory Hazard Index	37	37	42	78	74	94
Toxic Releases to Air	99	99	99	95	93	99
Traffic Proximity	99	99	99	96	86	99
Lead Paint	96	94	99	79	69	94
Risk Management Plan (RMP) Facility Proximity	98	98	99	73	70	86
Hazardous Waste Proximity	99	99	99	96	93	99
Superfund Proximity	95	94	98	28	25	40
Underground Storage Tanks (UST)	0	0	99	0	0	92
Wastewater Discharge	89	89	96	14	14	34

Map Display Based on: US State

Display Map Layer: Summary - Number of Indexes

Facility 1-mile Radius Facility Census Block Group



Earthstar Geographics | Kadaster Netherlands, Esri, TomTom, Garmin, Foursquare, SafeGraph, GeoT... Powered by Esri <<https://www.esri.com/>>

Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2017 - 2021 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. Census boundaries and demographic data for U.S. Territories are based on the "2020 Island Areas Demographic Profiles" from the U.S. Census Bureau. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <<https://epa.gov/help/reports/dfr-data-dictionary#demographic>>.

General Statistics (U.S. Census)	
Total Persons	9,382
Population Density	2,997/sq.mi.
Housing Units in Area	3,961

General Statistics (ACS (American Community Survey))	
Total Persons	8,787
Percent People of Color	100%
Households in Area	3,286

Age Breakdown (U.S. Census) - Persons (%)	
Children 5 years and younger	571 (6%)
Minors 17 years and younger	2,291 (24%)
Adults 18 years and older	7,091 (76%)
Seniors 65 years and older	1,804 (19%)

Race Breakdown (U.S. Census) - Persons (%)	
White	7,437 (79%)
African-American	1,109 (12%)

General Statistics (ACS (American Community Survey))

Households on Public Assistance	139
Persons With Low Income	7,161
Percent With Low Income	82%

Geography

Radius of Selected Area	1 mi.
Center Latitude	18.052286
Center Longitude	-66.506571
Land Area	99%
Water Area	1%

Income Breakdown (ACS (American Community Survey)) - Households (%)

Less than \$15,000	1,421 (43.2%)
\$15,000 - \$25,000	660 (20.07%)
\$25,000 - \$50,000	779 (23.69%)
\$50,000 - \$75,000	293 (8.91%)
Greater than \$75,000	136 (4.13%)

Race Breakdown (U.S. Census) - Persons (%)

Hispanic-Origin	9,332 (99%)
Asian/Pacific Islander	11 (0%)
American Indian	48 (1%)
Other/Multiracial	777 (8%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)

Less than 9th Grade	913 (14.69%)
9th through 12th Grade	595 (9.58%)
High School Diploma	1,911 (30.76%)
Some College/2-year	432 (6.95%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	1,583 (25.48%)



Detailed Facility Report

Facility Summary

FORT ALLEN TRAINING SITE

PR-149 KM 73-3, JUANA DIAZ, PR 00795

FRS (Facility Registry Service) ID: 110042074965

EPA Region: 02

Latitude: 18.06052

Longitude: -66.509076

Locational Data Source: RCRAINFO

Industries: National Security and International Affairs

Indian Country: N

Enforcement and Compliance Summary

Statute	CWA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	03/25/2003
Compliance Status	Significant/Category I Noncompliance
Qtrs in Noncompliance (of 12)	9
Qtrs with Significant Violation	9
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--
Statute	RCRA
Compliance Monitoring Activities (5 years)	1
Date of Last Compliance Monitoring Activity	05/22/2003
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

Statute	SDWA
Compliance Monitoring Activities (5 years)	1
Date of Last Compliance Monitoring Activity	05/23/2023
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	4
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): Non-Major, Permit Effective (PRR053284), Non-Major, Permit Terminated; Compliance Tracking Off (PR0020044)

Resource Conservation and Recovery Act (RCRA): Active VSQG, (PR6211843077), Inactive Other, (PRD980527071), Active VSQG, (PR6210443077)

Safe Drinking Water Act (SDWA): OWNER: Private, PRIMARY SERVICE AREA DESCRIPTION: Other Residential, SOURCE: Ground water, TYPE: Community water system Permit Active (PR0439024)

Go To Enforcement/Compliance Details
 Known Data Problems <<https://epa.gov/resources/echo-data/known-data-problems>>

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGR): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Facility/System Characteristics

Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110042074965					N	18.06052	-66.509076
ICIS		33740					N	17.99802	-66.499617
ICIS-NPDES	CWA	PRR053284	Non-Major: General Permit Covered Facility	Effective	Industrial Stormwater	02/28/2026	N	18.007584	-66.506056
ICIS-NPDES	CWA	PR0020044	Non-Major: NPDES Individual Permit	Terminated; Compliance Tracking Off		09/30/2006	N	18	-66.5
RCRAInfo	RCRA	PR6211843077	VSQG	Active (H)			N	18.06052	-66.509076
RCRAInfo	RCRA	PRD980527071	Other	Inactive (I)			N		
RCRAInfo	RCRA	PR6210443077	VSQG	Active (H)			N	18.06052	-66.509076
SDWIS	SDWA	PR0439024	OWNER: Private, PRIMARY SERVICE AREA DESCRIPTION: Other Residential, SOURCE: Ground water, TYPE: Community water system	Active	Population Served: 1500		N		

Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110042074965	FORT ALLEN TRAINING SITE	PR-149 KM 73.3, JUANA DIAZ, PR 00795	Juana Díaz Municipio
ICIS		33740	FORT ALLEN TRAINING SITE	STATE ROAD 149 KILOMETER 2, JUANA DIAZ, PR 00795	Juana Díaz Municipio
ICIS-NPDES	CWA	PRR053284	FORT ALLEN TRAINING SITE	ROAD #149, JUANA DIAZ, PR 00795	Juana Díaz Municipio
ICIS-NPDES	CWA	PR0020044	P R NATIONAL GUARD	US NAVAL STATION, PONCE, PR 00731	Ponce Municipio
RCRAInfo	RCRA	PR6211843077	FORT ALLEN TRAINING SITE	STATE ROAD 149 KM 73.3, JUANA DIAZ, PR 00795	Juana Díaz Municipio
RCRAInfo	RCRA	PRD980527071	FORT ALLEN PROCESSING CENTER BLDG 225	FORT ALLEN, PONCE, PR 00731	Ponce Municipio
RCRAInfo	RCRA	PR6210443077	USARC - FORT ALLEN ECS 126-G	STATE RD 149, JUANA DIAZ, PR 00665-1428	Juana Díaz Municipio
SDWIS	SDWA	PR0439024	FORT ALLEN	PR	

Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
ICIS-NPDES	PR0020044	9711	National Security

Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
RCRAInfo	PR6211843077	92811	National Security

Facility Industrial Effluent Guidelines

Identifier	Effluent Guideline (40 CFR Part)	Effluent Guideline Description
No data records returned		

Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
No data records returned			

Enforcement and Compliance

RCRA (Hazardous Waste (Resource Conservation and Recovery Act) Compliance Pipeline (Compliance Monitoring >> Violations >> Enforcement Actions) (10 Years)

This table shows how violations relate to compliance monitoring (CM) activities and enforcement. Currently available for RCRA only. Full CM history available below.

No data records returned

There are no relationships to display in the RCRA Compliance Pipeline table for this facility. Scroll down to view compliance monitoring history.

Compliance Monitoring History Last 5 Years

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
RCRA	PR6210443077	RCRAInfo/ICIS	Inspection/Evaluation	Compliance Evaluation Inspection	EPA	05/22/2023	No Violations Or Compliance Issues Were Found
SDWA	PR0439024	ICIS	Inspection/Evaluation	On Site Visit	EPA	05/23/2023	

Entries in italics are not included in ECHO's Compliance Monitoring Activity counts because they are not compliance monitoring strategy <https://www.epa.gov/compliance/compliance-monitoring-programs> activities or because they are not counted as inspections within EPA's Annual Results <https://www.epa.gov/enforcement/enforcement-data-and-results>.

SDWA (Safe Drinking Water Act) Sanitary Survey Results (5 Years)

Source ID	Date	Type	Agency	Data Verification	Distribution	Management Operation	Finished Water Storage	Operator Compliance	Other Evaluation	Pumps	Security	Source	Financial	Treatment
-----------	------	------	--------	-------------------	--------------	----------------------	------------------------	---------------------	------------------	-------	----------	--------	-----------	-----------

No data records returned

Sanitary survey result codes:

S = Significant Deficiencies
M = Minor Deficiencies

R = Recommendations Made
N = No Deficiencies or Recommendations

X = Not Evaluated
Z = Not Applicable

D = Sanitary Defect
-- = Not Reported to EPA

Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
CWA	PRR053284	Yes	03/31/2024	9	09/06/2024
CWA	PR0020044	No	03/31/2024	0	09/06/2024
RCRA	PR6211843077	No	09/07/2024	0	09/06/2024
RCRA	PRD980527071	No	09/07/2024	0	09/06/2024
RCRA	PR6210443077	No	09/07/2024	0	09/06/2024
SDWA	PR0439024	No	03/31/2024	0	07/12/2024

Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12	QTR 13+
CWA (Source ID: PRR053284)		04/01-06/30/21	07/01-09/30/21	10/01-12/31/21	01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-12/31/23	01/01-03/31/24	04/01-09/06/24
	Facility-Level Status	No Violation Identified	No Violation Identified	No Violation Identified	Significant/Category I Noncompliance	Significant/Category I Noncompliance	Significant/Category I Noncompliance	Significant/Category I Noncompliance	Significant/Category I Noncompliance	Significant/Category I Noncompliance	Significant/Category I Noncompliance	Significant/Category I Noncompliance	Significant/Category I Noncompliance	Undetermined
	Quarterly Noncompliance Report History				Failure to Report DMR - Not Received	Failure to Report DMR - Not Received	Failure to Report DMR - Not Received	Failure to Report DMR - Not Received	Failure to Report DMR - Not Received	Failure to Report DMR - Not Received	Failure to Report DMR - Not Received	Failure to Report DMR - Not Received	Failure to Report DMR - Not Received	Failure to Report DMR - Not Received
	Late or Missing Discharge Monitoring Reporting (DMR) Measurements													
	Counts of Late DMR Measurements													
	Counts of Missing DMR Measurements			4	4	4	4	4	4	4	4	4	4	
CWA (Source ID: PR0020044)		04/01-06/30/21	07/01-09/30/21	10/01-12/31/21	01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-12/31/23	01/01-03/31/24	04/01-09/06/24
	Facility-Level Status	Terminated Permit	Terminated Permit	Terminated Permit	Terminated Permit	Terminated Permit	Terminated Permit	Terminated Permit	Terminated Permit	Terminated Permit	Terminated Permit	Terminated Permit	Terminated Permit	Terminated Permit
	Quarterly Noncompliance Report History													

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: PR6210443077)		10/01-12/31/21	01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-12/31/23	01/01-03/31/24	04/01-06/30/24	07/01-09/30/24
	Facility-Level Status	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified
	Violation Agency												
RCRA (Source ID: PR6211843077)		10/01-12/31/21	01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-12/31/23	01/01-03/31/24	04/01-06/30/24	07/01-09/30/24
	Facility-Level Status	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified
	Violation Agency												
RCRA (Source ID: PRD980527071)		10/01-12/31/21	01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-12/31/23	01/01-03/31/24	04/01-06/30/24	07/01-09/30/24
	Facility-Level Status	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified
	Violation Agency												

Statute	Violation Type/Category	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12	QTR 13*
SDWA (Source ID: PR0439024)		04/01-06/30/21	07/01-09/30/21	10/01-12/31/21	01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-12/31/23	01/01-03/31/24	04/01-06/30/24
	Facility-Level Status	No Violation	No Violation	No Violation	No Violation	No Violation	No Violation	No Violation	No Violation	No Violation	No Violation	No Violation	No Violation	In Progress
	Category Violation Type													

*Quarter 13 data is voluntarily entered and/or incomplete, and may not form a complete picture for that quarter. Read more <https://epa.gov/help/reports/df-r-data-dictionary#sdwacomp>

SDWA Compliance Data Last Reported: 03/31/2024

Informal Enforcement Actions Last 5 Years

Statute	System	Source ID	Type of Action	Lead Agency	Date
SDWA	SDWIS	PR0439024	State Formal Notice of Violation issued	State	05/03/2021
SDWA	SDWIS	PR0439024	State Formal Notice of Violation issued	State	05/03/2021
SDWA	SDWIS	PR0439024	State Formal Notice of Violation issued	State	02/12/2020
SDWA	SDWIS	PR0439024	State Formal Notice of Violation issued	State	09/09/2019

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

Formal Enforcement Actions Last 5 Years

Statute	System	Law/Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/ Filed Date	Settlements/ Actions	Settlement/ Action Date	Federal Penalty Assessed	State/ Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
---------	--------	-------------	-----------	----------------	----------	-------------	-----------	--------------------	----------------------	-------------------------	--------------------------	-------------------------------	--------------------------	-----------	------------------

No data records returned

SDWA (Safe Drinking Water Act) Violations and Enforcement Actions (5 Years)

Source ID	Noncompliance Period	Violation ID	Federal Rule	Contaminant	Category	Violations Description	Measured Value	State MCL (Maximum Contaminant Level)	Federal MCL (Maximum Contaminant Level)	Status	Date	Category	Enforcement Actions	
													Description	Agency
PR0439024	07/01/2020 - 12/31/2020	7093518	Lead and Copper Rule	Lead and Copper Rule	MR	Monitoring and Reporting	--	--	--	Resolved	05/03/2021	Informal	State Formal Notice of Violation issued	State
											12/31/2020	Resolving	State Compliance achieved	State
PR0439024	01/01/2020 - 06/30/2020	7093517	Lead and Copper Rule	Lead and Copper Rule	MR	Monitoring and Reporting	--	--	--	Resolved	05/03/2021	Informal	State Formal Notice of Violation issued	State
											06/30/2020	Resolving	State Compliance achieved	State
PR0439024	01/01/2020 - 06/30/2020	7093515	Lead and Copper Rule	Lead and Copper Rule	MR	Monitoring and Reporting	--	--	--	Resolved	06/30/2020	Resolving	State Compliance achieved	State
											02/12/2020	Informal	State Formal Notice of Violation issued	State
PR0439024	10/01/2019 - 12/31/2019	7093516	Revised Total Coliform Rule	Revised Total Coliform Rule	MON	Monitoring Violation	--	--	--	Resolved	06/30/2020	Resolving	State Compliance achieved	State
PR0439024	07/01/2019 - 06/30/2020	7093513	Lead and Copper Rule	Lead and Copper Rule	MR	Monitoring and Reporting	--	--	--	Resolved	06/30/2020	Resolving	State Compliance achieved	State
											09/09/2019	Informal	State Formal Notice of Violation issued	State
PR0439024	07/01/2019 - 09/30/2019	7093514	Revised Total Coliform Rule	Revised Total Coliform Rule	MON	Monitoring Violation	--	--	--	Resolved	06/30/2020	Resolving	State Compliance achieved	State
PR0439024	--	--	--	--	--	--	--	--	--	--	12/05/1997	Informal	State Public Notification issued	EPA
PR0439024	--	--	--	--	--	--	--	--	--	--	11/14/1995	Informal	State Violation/Reminder Notice	State
PR0439024	--	--	--	--	--	--	--	--	--	--	10/04/1995	Informal	State Violation/Reminder Notice	State
PR0439024	--	--	--	--	--	--	--	--	--	--	06/28/1991	Informal	Federal issued Formal Notice of Violation	EPA
PR0439024	--	--	--	--	--	--	--	--	--	--	03/16/1992	Informal	State Formal Notice of Violation issued	State
PR0439024	--	--	--	--	--	--	--	--	--	--	04/08/1991	Informal	State Formal Notice of Violation issued	State
PR0439024	--	--	--	--	--	--	--	--	--	--	03/15/1991	Informal	State Formal Notice of Violation issued	State
PR0439024	--	--	--	--	--	--	--	--	--	--	03/11/1991	Informal	State Formal Notice of Violation issued	State

Environmental Conditions

Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
210100040318	Coastal Watersheds West and East of Rio Canas mouth	CARIBBEAN SEA	No	No	--	Yes

Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
-------	--------------	--------------------	----------------------	-----------------	-----------------------	--------------------	----------------	----------------------	----------------	-----------

No data records returned

Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
-----------	-----------------------------------	---	---------------------------------	---

No data records returned

Pollutants

Toxics Release Inventory History of Reported Chemicals Released or Transferred in Pounds per Year at Site ⓘ

TRI Facility ID	Year	Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Disposal to Land	Total On-Site Releases	Total Off-Site Transfers
-----------------	------	---------------	--------------------------	--	------------------------	------------------	------------------------	--------------------------

No data records returned

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year ⓘ

Chemical Name

No data records returned

CWA (Clean Water Act) Discharge Monitoring Report (DMR) Pollutant Loadings ⓘ

DMR and TRI Multi-Year Loading Report

NPDES ID	Description
----------	-------------

No data records returned

e-Manifest Hazardous Waste History (Public)

Hazardous Waste Shipped in Kilograms by Year (Through 6/8/2024)

Source ID	Waste Description	2021	2022	2023	2024
PR6210443077	Hazardous Waste	120	485	325	--
PR6210443077	Acute Hazardous Waste	0	0	0	--
PR6210443077	Pharmaceutical Hazardous Waste	0	0	0	--

"Pharmaceutical Hazardous Waste" refers to quantities managed under 40 CFR part 266 subpart P and thus excluded from the Hazardous and Acute Hazardous Waste quantities shown above.

Community

Environmental Justice

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the EJScreen home page.

Potential Environmental Justice Concerns

- US Territory
- Supplemental/EJ index percentiles >= 90 (Census block group)
- Supplemental/EJ index percentiles >= 90 (1-mile average)

EJScreen Indexes Shown

Related Reports

EJScreen Community Report

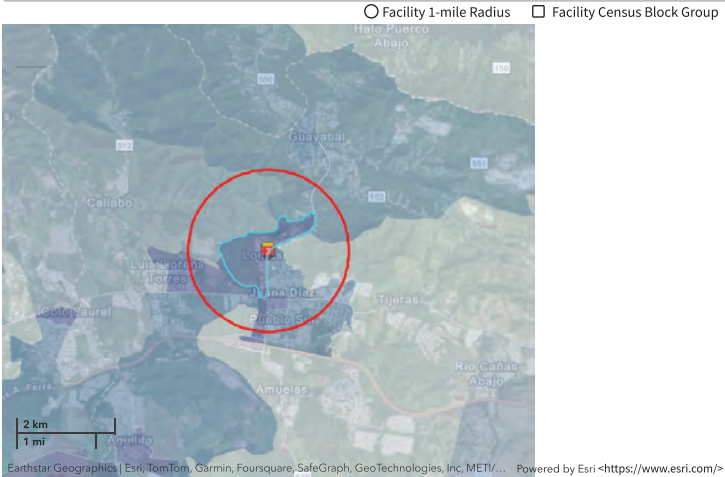
Index Type

Download Data

Census Block Group ID: 720757106002	US (Percentile)			State (Percentile)		
	Facility Census Block Group	1-mile Avg	1-mile Max	Facility Census Block Group	1-mile Avg	1-mile Max
Supplemental Indexes	7	7	8	4	2	6
Count of Indexes At or Above 90th Percentile	7	7	8	4	2	6
Particulate Matter 2.5	--	N/A	--	--	N/A	--
Ozone	--	N/A	--	--	N/A	--
Diesel Particulate Matter	0	0	6	23	17	49
Air Toxics Cancer Risk	55	54	56	89	79	94
Air Toxics Respiratory Hazard Index	39	37	42	89	78	94
Toxic Releases to Air	99	99	99	97	95	99
Traffic Proximity	99	99	99	96	89	99
Lead Paint	99	95	99	91	73	94
Risk Management Plan (RMP) Facility Proximity	99	98	99	81	74	86
Hazardous Waste Proximity	99	99	99	90	94	99
Superfund Proximity	97	95	98	29	26	40
Underground Storage Tanks (UST)	0	23	99	0	0	92
Wastewater Discharge	94	90	96	22	15	34

Map Display Based on: US State

Display Map Layer



Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2017 - 2021 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. Census boundaries and demographic data for U.S. Territories are based on the "2020 Island Areas Demographic Profiles" from the U.S. Census Bureau. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <https://epa.gov/help/reports/dfr-data-dictionary#demographic>.

General Statistics (U.S. Census)	
Total Persons	7,171
Population Density	2,302/sq. mi.
Housing Units in Area	3,141

General Statistics (ACS (American Community Survey))	
Total Persons	6,700
Percent People of Color	100%
Households in Area	2,533
Households on Public Assistance	91
Persons With Low Income	5,411
Percent With Low Income	81%

Geography	
Radius of Selected Area	1 mi.
Center Latitude	18.06052
Center Longitude	-66.509076
Land Area	99%
Water Area	1%

Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	1,107 (43.67%)
\$15,000 - \$25,000	469 (18.5%)
\$25,000 - \$50,000	663 (26.15%)
\$50,000 - \$75,000	206 (8.13%)
Greater than \$75,000	90 (3.55%)

Age Breakdown (U.S. Census) - Persons (%)	
Children 5 years and younger	431 (6%)
Minors 17 years and younger	1,702 (24%)
Adults 18 years and older	5,469 (76%)
Seniors 65 years and older	1,489 (21%)

Race Breakdown (U.S. Census) - Persons (%)	
White	5,634 (79%)
African-American	855 (12%)
Hispanic-Origin	7,141 (100%)
Asian/Pacific Islander	9 (0%)
American Indian	35 (0%)
Other/Multiracial	638 (9%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	749 (15.41%)
9th through 12th Grade	485 (9.98%)
High School Diploma	1,527 (31.42%)
Some College/2-year	330 (6.79%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	1,266 (26.05%)



Detailed Facility Report

Facility Summary

SUPER FARMACIA JUANA DIAZ INC

27 CALLE TOMAS CARRION MADURO, JUANA DIAZ, PR 00795

FRS (Facility Registry Service) ID: 110071140132

EPA Region: 02

Latitude: 18.05481

Longitude: -66.50546

Locational Data Source: FRS

Industries: Health and Personal Care Stores

Indian Country: N

Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Active VSQG, (PRR000027532)

Safe Drinking Water Act (SDWA): No Information

Go To Enforcement/Compliance Details

Known Data Problems <<https://epa.gov/resources/echo-data/known-data-problems>>

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Facility/System Characteristics

Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110071140132					N	18.05481	-66.50546
RCRAInfo	RCRA	PRR000027532	VSQG	Active (H)			N	18.05451	-66.50638

Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110071140132	SUPER FARMACIA JUANA DIAZ INC	27 CALLE TOMAS CARRION MADURO, JUANA DIAZ, PR 00795	Juana Diaz Municipio
RCRAInfo	RCRA	PRR000027532	SUPER FARMACIA JUANA DIAZ INC	27 CALLE TOMAS CARRION MADURO, JUANA DIAZ, PR 00795	Juana Diaz Municipio

Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
--------	------------	----------	-----------------

No data records returned

Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
RCRAInfo	PRR000027532	446110	Pharmacies and Drug Stores

Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
No data records returned			

Enforcement and Compliance

Compliance Monitoring History Last 5 Years

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
No data records returned							

Entries in italics are not included in ECHO's Compliance Monitoring Activity counts because they are not compliance monitoring strategy <https://www.epa.gov/compliance/compliance-monitoring-programs> activities or because they are not counted as inspections within EPA's Annual Results <https://www.epa.gov/enforcement/enforcement-data-and-results>.

Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
RCRA	PRR000027532	No	09/07/2024	0	09/06/2024

Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: PRR000027532)		10/01-12/31/21	01/01-03/31/22	04/01-06/30/22	07/01-09/30/22	10/01-12/31/22	01/01-03/31/23	04/01-06/30/23	07/01-09/30/23	10/01-12/31/23	01/01-03/31/24	04/01-06/30/24	07/01-09/30/24
Facility-Level Status		No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified
Violation		Agency											

Informal Enforcement Actions Last 5 Years

Statute	System	Source ID	Type of Action	Lead Agency	Date
No data records returned					

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

Formal Enforcement Actions Last 5 Years

Statute	System	Law/Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/ Filed Date	Settlements/ Actions	Settlement/ Action Date	Federal Penalty Assessed	State/ Local Penalty Assessed	Penalty Amount Collected	SEP Value	Comp Action Cost
No data records returned															

Environmental Conditions

Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
No data records returned						

Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Ecological Use	Fish Consumption Use	Recreation Use	Other Use
No data records returned										

Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
No data records returned				

Pollutants

Toxics Release Inventory History of Reported Chemicals Released or Transferred in Pounds per Year at Site

TRI Facility ID	Year	Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Disposal to Land	Total On-Site Releases	Total Off-Site Transfers
No data records returned								

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name

No data records returned

Community

Environmental Justice

This section shows indexes from EJScreen, EPA's screening tool for environmental justice (EJ) concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJSscreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the EJSscreen home page.

Potential Environmental Justice Concerns

- US Territory
- Supplemental/EJ index percentiles >= 90 (Census block group)
- Supplemental/EJ index percentiles >= 90 (1-mile average)

EJSscreen Indexes Shown

Related Reports

EJSscreen Community Report

Index Type

[Download Data](#)

Census Block Group ID: 720757106001	US (Percentile)			State (Percentile)		
	Facility Census Block Group	1-mile Avg	1-mile Max	Facility Census Block Group	1-mile Avg	1-mile Max
Count of Indexes At or Above 90th Percentile	6	6	8	1	2	6
Particulate Matter 2.5	--	N/A	--	--	N/A	--
Ozone	--	N/A	--	--	N/A	--
Diesel Particulate Matter	0	0	6	17	15	49
Air Toxics Cancer Risk	53	36	56	58	0	94
Air Toxics Respiratory Hazard Index	35	36	42	59	72	94
Toxic Releases to Air	99	99	99	88	93	99
Traffic Proximity	99	99	99	84	85	99
Lead Paint	92	94	99	66	68	94
Risk Management Plan (RMP) Facility Proximity	96	97	99	64	69	86
Hazardous Waste Proximity	99	99	99	90	93	99
Superfund Proximity	92	94	98	24	24	40
Underground Storage Tanks (UST)	0	0	99	0	0	92
Wastewater Discharge	87	89	96	13	14	34

Map Display Based on: US State

Display Map Layer

Facility 1-mile Radius Facility Census Block Group



Powered by Esri <https://www.esri.com/>

Demographic Profile of Surrounding Area (1-Mile Radius)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2017 - 2021 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. Census boundaries and demographic data for U.S. Territories are based on the "2020 Island Areas Demographic Profiles" from the U.S. Census Bureau. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the DFR Data Dictionary <https://epa.gov/help/reports/dfr-data-dictionary#demographic>.

General Statistics (U.S. Census)	
Total Persons	9,409
Population Density	3,097/sq.mi.
Housing Units in Area	3,946

General Statistics (ACS (American Community Survey))	
Total Persons	8,783
Percent People of Color	100%

Age Breakdown (U.S. Census) - Persons (%)	
Children 5 years and younger	567 (6%)
Minors 17 years and younger	2,307 (25%)
Adults 18 years and older	7,102 (75%)
Seniors 65 years and older	1,753 (19%)

Race Breakdown (U.S. Census) - Persons (%)	
White	7,445 (79%)

General Statistics (ACS (American Community Survey))	
Households in Area	3,277
Households on Public Assistance	137
Persons With Low Income	7,172
Percent With Low Income	82%

Geography	
Radius of Selected Area	1 mi.
Center Latitude	18.05481
Center Longitude	-66.50546
Land Area	99%
Water Area	1%

Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	1,430 (43.62%)
\$15,000 - \$25,000	658 (20.07%)
\$25,000 - \$50,000	773 (23.58%)
\$50,000 - \$75,000	292 (8.91%)
Greater than \$75,000	125 (3.81%)

Race Breakdown (U.S. Census) - Persons (%)	
African-American	1,093 (12%)
Hispanic-Origin	9,369 (100%)
Asian/Pacific Islander	12 (0%)
American Indian	47 (1%)
Other/Multiracial	813 (9%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	930 (14.92%)
9th through 12th Grade	601 (9.64%)
High School Diploma	1,927 (30.91%)
Some College/2-year	434 (6.96%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	1,558 (24.99%)



You are here: EPA Home <http://www.epa.gov/> » Envirofacts <https://www.epa.gov/enviro/overview> » TRI <https://www.epa.gov/enviro/tri-overview> » TRI Search <https://www.epa.gov/enviro/tri-search> » Facility Report

TRI Facility Report

[Home https://enviro.epa.gov/](https://enviro.epa.gov/) | [Multisystem Search https://enviro.epa.gov/facts/multisystem.html](https://enviro.epa.gov/facts/multisystem.html) | [Topic Searches https://www.epa.gov/node/111173](https://www.epa.gov/node/111173) | [System Data Searches https://www.epa.gov/node/110287](https://www.epa.gov/node/110287) | [About the Data https://www.epa.gov/node/110929](https://www.epa.gov/node/110929) | [Data Downloads https://www.epa.gov/node/109431](https://www.epa.gov/node/109431) | [Widgets https://www.epa.gov/node/111193](https://www.epa.gov/node/111193) | [Services https://www.epa.gov/node/110925](https://www.epa.gov/node/110925) | [Mobile https://www.epa.gov/node/110843](https://www.epa.gov/node/110843) | [Other Datasets https://www.epa.gov/node/111331](https://www.epa.gov/node/111331)

TRI Facility Report: PRODUCTOS CIRCUITOS DE PR INC (00665PRDCTKM667)

Facility Information

[FACILITY INFORMATION](#) [CHEMICALS](#) [POLLUTION PREVENTION \(P2\)](#) [WASTE MANAGEMENT](#) [RELEASES](#) [WATER RELEASES](#) [TRANSFERS](#) [CLASSIC VIEW](#)

Timestamp

Query was executed on SEP-12-2024



Discover.

Accessibility <<https://www.epa.gov/accessibility>>

Budget & Performance

<<https://www.epa.gov/planandbudget>>

Contracting <<https://www.epa.gov/contracts>>

EPA www Web Snapshot

<<https://www.epa.gov/home/wwwepagov-snapshots>>

Grants <<https://www.epa.gov/grants>>

No FEAR Act Data

<<https://www.epa.gov/ocr/whistleblower-protections-epa-and-how-they-relate-non-disclosure-agreements-signed-epa-employees>>

Plain Writing <<https://www.epa.gov/web-policies-and-procedures/plain-writing>>

Privacy <<https://www.epa.gov/privacy>>

Privacy and Security Notice

<<https://www.epa.gov/privacy/privacy-and-security-notice>>

Connect.

Data.gov [🔗](https://www.data.gov/) <<https://www.data.gov/>>

Inspector General <<https://www.epa.gov/office-inspector-general/about-epas-office-inspector-general>>

Jobs <<https://www.epa.gov/careers>>

Newsroom <<https://www.epa.gov/newsroom>>

Open Government <<https://www.epa.gov/data>>

Regulations.gov [🔗](https://www.regulations.gov/) <<https://www.regulations.gov/>>

Subscribe <<https://www.epa.gov/newsroom/email-subscriptions-epa-news-releases>>

USA.gov [🔗](https://www.usa.gov/) <<https://www.usa.gov/>>

White House [🔗](https://www.whitehouse.gov/) <<https://www.whitehouse.gov/>>

Ask.

Contact EPA <<https://www.epa.gov/home/forms/contact-epa>>

EPA Disclaimers <<https://www.epa.gov/web-policies-and-procedures/epa-disclaimers>>

Hotlines <<https://www.epa.gov/aboutepa/epa-hotlines>>

FOIA Requests <<https://www.epa.gov/foia>>

Frequent Questions

<<https://www.epa.gov/home/frequent-questions-specific-epa-programstopics>>

Follow.



Last updated on August 2, 2024



Related Topics: Envirofacts <../>

CONTACT US <https://www.epa.gov/enviro/forms/contact-us-about-envirofacts>

Home <https://enviro.epa.gov> | Multisystem Search <https://enviro.epa.gov/facts/multisystem.html> | Topic Searches <https://www.epa.gov/enviro/topic-searches> | System Data Searches <https://www.epa.gov/enviro/system-data-searches> | About the Data <https://www.epa.gov/enviro/about-data> | Data Downloads <https://www.epa.gov/enviro/data-downloads> | Widgets <https://www.epa.gov/enviro/widgets> | Services <https://www.epa.gov/enviro/web-services> | Mobile <https://www.epa.gov/enviro/uv-index-mobile-app> | Other Datasets <https://www.epa.gov/enviro/other-datasets>

Envirofacts Report

<< Return

Query executed on SEP-12-2024
Results are based on data extracted on JUL-10-2024

Click on "View Facility Information" to view EPA Facility information for the facility.

Facility Name:	PRODUCTOS CIRCUITOS DE PR INC	Mailing Name:	PRODUCTOS CIRCUITOS DE P.R. INC.		
Address: <https://epa.gov/enviro.epa.gov/facts/tri/search_userguide.html#address>	RD 149 KM 667 JUANA DIAZ PR 00795	Mailing Address: <https://epa.gov/enviro.epa.gov/facts/tri/search_userguide.html#mail_address>	P.O. BOX 1415JUANA DIAZ PR 00795		
County:	JUANA DIAZ MUNICIPIO	Region:	2		
Facility Information:	View Facility Information	TRI ID:	00665PRDCTKM667	DUNS Number:	958114498
		FRS ID <https://epa.gov/enviro.epa.gov/html/registry_id.html>	110000602768		
Latitude:	18.058048	Longitude:	-66.510427		
Public Contact:	EMMA MURIEL	Phone:	7878372225		

Assigned Public Contact:	EMMA MURIEL				
Parent Company:	No US Parent	Standardized Parent Company:		Parent DUNS:	NA
BIA Tribal Code:		Tribe:			

Starting with Reporting Year 2006, TRI Facilities began reporting NAICS codes, instead of SIC codes, to identify their Primary Business Activities.

NAICS Codes for 1998

NAICS CODE	PRIMARY	NAICS DESCRIPTION <https://epa.gov/enviro.epa.gov/html/fii/frs_code_description/code_description.html>
334412	YES	Bare Printed Circuit Board Manufacturing

The above information comes from 1998, which was the last year NAICS code data was reported for this facility. The earliest NAICS code data on file for this facility was reported in 1988.

Industry Code for 1998

INDUSTRY CODE	INDUSTRY DESCRIPTION
334	Computers and Electronic Products

SIC Codes for 1998

SIC CODE	PRIMARY	SIC DESCRIPTION <https://epa.gov/enviro.epa.gov/html/fii/frs_code_description/code_description.html>
3672	YES	CATHODE RAY TELEVISION PICTURE TUBES (DISC. 1987, 3671)

The above information comes from 1998, which was the last year SIC code data was reported for this facility. The earliest SIC code data on file for this facility was reported in 1988.

[Map this facility](#)

Map this facility using one of Envirofact's mapping utilities.

Besides TRI, this facility also does the following:

- handles hazardous waste

More information about these additional regulatory aspects of this facility can be found by pressing the other regulatory data button below.

[Other Regulatory Data](#)

Total Aggregate Releases of TRI Chemicals to the Environment:

For all releases estimated as a range, the mid-point of the range was used in these calculations. This table summarizes the releases reported by the facility. **NR** - signifies nothing reported by this facility for the corresponding medium.

**Total Aggregate Releases of TRI Chemicals excluding Dioxin and Dioxin-like Compounds
(Measured in Pounds)**

Media	1998	1997	1996	1995	1994	1993	1992	1991	1990	1989	1988
Air Emissions	NR	NR	NR	NR	NR	NR	5	5	NR	NR	NR
Surface Water Discharges	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
Releases to Land	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
Underground Injection	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
Total On-Site Releases	NR	NR	NR	NR	NR	NR	5	5	NR	NR	NR
Transfer Off-Site to Disposal	0	0	0	0	0	0	0	0	0	0	NR
Total Releases	0	0	0	0	0	0	5	5	0	0	NR

Graphic Summary of this Table

**Total Aggregate Releases of Dioxin and Dioxin-like Compounds
(Measured in Grams)**

Media	1998	1997	1996	1995	1994	1993	1992	1991	1990	1989	1988
Air Emissions	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
Surface Water Discharges	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
Releases to Land	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
Underground Injection	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
Total On-Site Releases	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
Transfer Off-Site to Disposal	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
Total Releases	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR

TRI Chemicals Reported on Form A:

Please note that there were no chemicals reported on Form A for this facility

NOTE:

All chemicals reported below have release or transfer amounts greater than zero. To see a list of all chemicals reported by this facility [click here](#).

Names and Amounts of Chemicals Released to the Environment by Year.

For all releases estimated as a range, the mid-point of the range was used in these calculations. **NR** - signifies nothing reported for this facility by the corresponding medium. Rows with all "0" or "NR" values were not listed.

Chemical Name	Media	Unit Of Measure	1998	1997	1996	1995	1994	1993	1992	1991	1990	1989	1988
Sulfuric acid (acid aerosols including mists, vapors, gas, fog, and other airborne forms of any particle size) (TRI Chemical ID: 0007664939)	AIR STACK	Pounds	NR	NR	NR	NR	NR	NR	5	5	NR	NR	NR

Discharge of Chemicals into Streams or Bodies of Water:

Please note that either there were no releases of chemicals into streams or bodies of water reported by this facility or the facility did not file a TRI form R for the years 1987 to 1998. Rows with Release Amount equal to "0" were not listed.

Transfer of Chemicals to Off-Site Locations other than POTWs:

For all releases estimated as a range, the mid-point of the range was used in these calculations. Rows with Total Transfer Amount equal to "0" were not listed.

Chemical Name	Year	Unit Of Measure	Total Transfer Amount	Transfer Site Name and Address < https://epa.gov/enviro.epa.gov/facts/tri/search_userguide.html#transfer_name >	Type Of Waste Management
Copper (TRI Chemical ID: 0007440508)	1998	Pounds	836	WORLD RESOURCE CO. (RECYCLING FACILITY) 5 WALNUT LN. RD. P.O. BOX 5553 POTTSVILLE, PA 17901	Metals Recovery
Copper (TRI Chemical ID: 0007440508)	1998	Pounds	2000	MICRONUTRIENTS DIV. OF HERITAGE TECH. NOLOGIES 1550 RESEARCH WAY INDIANAPOLIS, IN 46231	Metals Recovery
Copper (TRI Chemical ID: 0007440508)	1997	Pounds	2100	WORLD RESOURCE CO., RECYCLING FACILITY 5 WALNUT LN. RD. P.O. BOX 5553 POTTSVILLE, PA 179015553	Metals Recovery
Copper (TRI Chemical ID: 0007440508)	1997	Pounds	8000	MACDERMID INC. 526 HUNTINGTON AVE. WATERBURY, CT 06720	Metals Recovery

Copper (TRI Chemical ID: 0007440508)	1997	Pounds	3000	AURA II 4001 W. GREENTREE RD. MILWAUKEE, WI 53209	Metals Recovery
Copper (TRI Chemical ID: 0007440508)	1997	Pounds	5000	ELECTRUM INC. 827 MARTIN ST. RAHWAY, NJ 07065	Metals Recovery
Copper (TRI Chemical ID: 0007440508)	1997	Pounds	41	LAIDLAW ENV. SERVICES (TS) INC 5302 126TH AVE. NORTH CLEARWATER, FL 34820	Solidification/Stabilization- Metals and Metal Compounds only
Copper (TRI Chemical ID: 0007440508)	1996	Pounds	18000	MAC DERMID INC. 526 HUNTINGTON AVE. WATERBURY NEW HAVEN, CT 06720	Metals Recovery
Copper (TRI Chemical ID: 0007440508)	1996	Pounds	3400	GLOBAL INVESTMENT RECOVERY, INC. 5409 E. HENRY AVE. TAMPA, FL 336104844	Metals Recovery
Copper (TRI Chemical ID: 0007440508)	1996	Pounds	1800	WORLD RESOURCES CO., (RECYCLING FACILITY) 5 WALNUT LN. RD., PO BOX 5553 POTTSVILLE, PA 179015553	Metals Recovery
Copper (TRI Chemical ID: 0007440508)	1995	Pounds	20000	MAC DERMID INC. 526 HUNTINGTON AVE. WATERBURY NEWHAVEN, CT 06720	Metals Recovery
Copper (TRI Chemical ID: 0007440508)	1995	Pounds	2300	GLOBAL INVESTMENT RECOVERY, INC. 5409 E. HENRY AVE. TAMPA, FL 336104844	Metals Recovery
Copper (TRI Chemical ID: 0007440508)	1995	Pounds	4200	FRY METALS 4100 SIXTH AVE. ALTOONA, PA 16602	Metals Recovery
Copper (TRI Chemical ID: 0007440508)	1995	Pounds	2000	WORLD RESOURCES CO. RECYCLING, FACILITY #5 WALNUT LN. RD., P.O. BOX 5553 POTTSVILLE, PA 179015553	Metals Recovery

Copper (TRI Chemical ID: 0007440508)	1994	Pounds	12000	FRY METALS 4100 SIXTH AVE. ALTOONA, PA 16602	Metals Recovery
Copper (TRI Chemical ID: 0007440508)	1994	Pounds	1600	WORLD RESOURCES CO., (RECYCLING FACILITY) #5 WALNUT LN. RD., P.O. BOX 5553 POTTSVILLE, PA 179015553	Metals Recovery
Copper (TRI Chemical ID: 0007440508)	1994	Pounds	13000	MACDERMID INC. 526 HUNTINGTON AVE. WATERBURY, CT 06720	Metals Recovery
Copper (TRI Chemical ID: 0007440508)	1993	Pounds	4654	ELECTROMECHANICAL INC. 5129 INDUSTRIAL ST. MAPLE PLAIN, MN 55359	Metals Recovery
Copper (TRI Chemical ID: 0007440508)	1993	Pounds	11628	MACDERID INC. 526 HUNTINGTON AVE. WATERBURY, CT 06720	Metals Recovery
Copper (TRI Chemical ID: 0007440508)	1993	Pounds	5131	FRY METALS 4100 SIXTH AVE. ALTOONA, PA 16602	Metals Recovery
Copper (TRI Chemical ID: 0007440508)	1993	Pounds	750	WORLD RESOURCES CO., RECYCLING FACILITY WALNUT LN. RD. #5 BOX 5553 POTTSVILLE, PA 17901	Metals Recovery
Copper (TRI Chemical ID: 0007440508)	1992	Pounds	16000	MAC DERMID INC. 526 HUNTINGTON AVE. WATERBURY, CT 06720	Metals Recovery
Copper (TRI Chemical ID: 0007440508)	1992	Pounds	750	WORLD RESOURCES CO., RECYCLING FACILITY WALNUT LAND RD. 5 BOX 5553 POTTSVILLE, PA 17901	Metals Recovery
Copper (TRI Chemical ID: 0007440508)	1992	Pounds	700	PONCE WASTE DISPOSAL INC. HWY. 1 KM 122.4 AVE., BARRAMAYA FINAL BO LA COTORRA PONCE, PR 00731	Landfill/Disposal Surface Impoundment

Copper (TRI Chemical ID: 0007440508)	1990	Pounds	1800	PONCE WASTE DISPOSAL INC. AVE BARAMAYA FINAL BARRIO LA, COTORRA RD. #1 KM 122.4 PONCE, PR 00731	Landfill/Disposal Surface Impoundment
Copper (TRI Chemical ID: 0007440508)	1989	Pounds	1500	PONCE WASTE DISPOSAL INC. RD. #1 KM 122.4 PONCE, PR 00731	Landfill/Disposal Surface Impoundment
Copper compounds (TRI Chemical ID: N100)	1991	Pounds	700	PONCE WASTE DISPOSAL INC. HWY. 1 KM 122.4, AVE. BARAMAYA, FINAL BO. LA COTORRA PONCE, PR 007310000	Landfill/Disposal Surface Impoundment
Copper compounds (TRI Chemical ID: N100)	1991	Pounds	250	WORLD RESOURCES CO., (RECYCLING FACILITY) 8113 WEST. SHERMA PHOENIX, AZ 850430000	Metals Recovery
Copper compounds (TRI Chemical ID: N100)	1991	Pounds	12200	MAC DERMID INC. 526 HUNTINGTON AVE. WATERBURY, CT 067200000	Other Reuse or Recovery

Summary of Waste Management Activities

Please note that chemical amounts shown here are not included in Total Aggregate Releases shown above.

Summary of Waste Management Activities excluding Dioxin and Dioxin-like Compounds (Measured in Pounds)

Year	On-Site Recycling	Off-Site Recycling	On-Site Energy Recovery	Off-Site Energy Recovery	On-Site Treatment	Off-Site Treatment	Total Amount
1997	0	18100	0	0	0	0	18100
1998	0	8000	0	0	0	0	8000
1999 (Projected)	0	20000	0	0	0	0	20000
2000 (Projected)	0	0	0	0	0	0	0

Summary of Waste Management Activities for Dioxin and Dioxin-like Compounds (Measured in Grams)

This facility did not report any waste management activities for Dioxin and Dioxin-like Compounds.

Chemicals Under Waste Management:

Please note that chemical amounts shown here are not included in the Total Aggregate Releases shown above. Transfers to Publicly Owned Treatment Works are listed on a separate table.

Chemical Name	Year	Unit Of Measure	On-Site Recycling	Off-Site Recycling	On-Site Energy Recovery	Off-Site Energy Recovery	On-Site Treated	Off-Site Treated	Total Amount
Copper	1997	Pounds	0	18100	0	0	0	0	18100
	1998	Pounds	0	8000	0	0	0	0	8000
	1999 (Projected)	Pounds	0	20000	0	0	0	0	20000
	2000 (Projected)	Pounds	0	0	0	0	0	0	0

Publicly Owned Treatment Works (POTW) that Chemicals were Transferred to in 2011 and after:

This facility did not transfer any chemicals to a Publicly Owned Treatment Works (POTW) in 2011 and after.

Publicly Owned Treatment Works (POTW) that Chemicals were Transferred to PRIOR to 2011:

Prior to reporting year 2011, TRI only required facilities to report a total for all transfers of a chemical to one or more POTWs. In cases where a facility transferred waste to more than one POTW, it was not possible to list the quantities transferred to the individual POTWS. Displayed below is the history of POTW transfers prior to 2011 showing the chemical, year and POTW Name and Address. For all releases estimated as a range, the mid-point of the range was used in these calculations. Rows with Total Transfer Amount equal to "0" were not listed.

Chemical Name	Year	Unit Of Measure	Total Transfer Amount
Copper	1989	Pounds	250
Copper	1990	Pounds	250
Copper	1992	Pounds	750
Copper	1993	Pounds	5
Copper	1994	Pounds	250
Copper	1995	Pounds	250
Copper	1996	Pounds	2
Copper	1997	Pounds	250
Copper	1998	Pounds	250
Copper compounds	1991	Pounds	250
Sulfuric acid (acid aerosols including mists, vapors, gas, fog, and other airborne forms of any particle size)	1994	Pounds	5

Chemical Name	Year	POTW Name and Address < http://enviro.epa.gov/facts/tri/search_userguide.html#potw_name >
Copper	1989	PUERTO RICO AQUEDUCT & SEWER, AUTHORITY BARRIO SANTO DOMINGO JUANA DIAZ, PR 00665
Copper	1990	PR ACUEDUCT & SEWER AUTHORITY, PR. WATER TREATMENT PLANT BARRIO SANTO DOMINGO JUANA DIAZ, PR 00665
Copper	1992	PUERTO RICO AQUEDUCT & SEWER, AUTHORITY BARRIO SANTO DOMINGO JUANA DIAZ, PR 00795
Copper	1993	PUERTO RICO AQUEDUCT & SEWER, AUTHORITY RD. #2 KM 259.2 AVE. BARAMAYA PONCE, PR 00731
Copper	1994	PONCE REGIONAL WWTP, PR AQUEDUCT SEWER AUTHORITY BARRAMAYA, RD. #2 KM 259.2 PONCE, PR 00731
Copper	1995	PONCE REGIONAL WWTP PR, AQUEDUCT SEWER AUTHORITY BARRAMAYA RD. #2 259.2 PONCE, PR 00731
Copper	1996	POTW PONCE REGIONAL WWTP, PR AQUEDUCT SEWER AUTHORITY BARAMAYA RD. #2 259.2 PONCE, PR 00731
Copper	1996	NA ,
Copper	1997	POTW PONCE REGIONAL WWTP PR, ACUEDUCT SEWER AUTHORITY BARAMAYA RD. 2 KM 259.2 PONCE, PR 00731
Copper	1997	NA ,

Copper	P2 Report	NA	P2	P2	P2	P2	P2	P2	P2	No P2
Copper compounds	P2 Report	NA	NR	NR	NR	NR	NR	NR	NR	P2
Sulfuric acid (acid aerosols including mists, vapors, gas, fog, and other airborne forms of any particle size)	P2 Report	NA	NR	NR	NR	NR	P2	P2	P2	P2

"P2" indicates that P2 activity codes and/or descriptions were provided for the chemical and year in question. "B" indicates barriers to P2 was reported. "No P2" indicates that a Form R was submitted but no P2 information was included. "NR" indicates that no Form R was submitted.

Additional links for TRI:

This information resource is not maintained, managed, or owned by the Environmental Protection Agency (EPA) or the Envirofacts Support Team. Neither the EPA nor the Envirofacts Support Team is responsible for their content or site operation. The Envirofacts Warehouse provides this reference only as a convenience to our Internet users.

- National Library of Medicine (NLM) TOXMAP [✉ <http://toxmap.nlm.nih.gov>](http://toxmap.nlm.nih.gov) [EXIT Disclaimer <http://www.epa.gov/epahome/exitepa.htm>](http://www.epa.gov/epahome/exitepa.htm) .
- The Environmental Defense Fund's (EDF) Chemical Scorecard has on-line environmental information regarding this facility's [✉ EXIT Disclaimer <http://www.epa.gov/epahome/exitepa.htm>](http://www.epa.gov/epahome/exitepa.htm) reported TRI releases.



Discover.

Accessibility [<https://www.epa.gov/accessibility>](https://www.epa.gov/accessibility)

Budget & Performance

[<https://www.epa.gov/planandbudget>](https://www.epa.gov/planandbudget)

Contracting [<https://www.epa.gov/contracts>](https://www.epa.gov/contracts)

EPA www Web Snapshot

[<https://www.epa.gov/home/wwwepagov-snapshots>](https://www.epa.gov/home/wwwepagov-snapshots)

Grants [<https://www.epa.gov/grants>](https://www.epa.gov/grants)

No FEAR Act Data

[<https://www.epa.gov/ocr/whistleblower-protections-epa-and-how-they-relate-non-disclosure-agreements-signed-epa-employees>](https://www.epa.gov/ocr/whistleblower-protections-epa-and-how-they-relate-non-disclosure-agreements-signed-epa-employees)

Plain Writing [<https://www.epa.gov/web-policies-and-procedures/plain-writing>](https://www.epa.gov/web-policies-and-procedures/plain-writing)

Connect.

Data.gov [✉ <https://www.data.gov/>](https://www.data.gov)

Inspector General [<https://www.epa.gov/office-inspector-general/about-epas-office-inspector-general>](https://www.epa.gov/office-inspector-general/about-epas-office-inspector-general)

Jobs [<https://www.epa.gov/careers>](https://www.epa.gov/careers)

Newsroom [<https://www.epa.gov/newsroom>](https://www.epa.gov/newsroom)

Open Government [<https://www.epa.gov/data>](https://www.epa.gov/data)

Regulations.gov [✉ <https://www.regulations.gov/>](https://www.regulations.gov)

Subscribe [<https://www.epa.gov/newsroom/email-subscriptions-epa-news-releases>](https://www.epa.gov/newsroom/email-subscriptions-epa-news-releases)

USA.gov [✉ <https://www.usa.gov/>](https://www.usa.gov)

White House [✉ <https://www.whitehouse.gov/>](https://www.whitehouse.gov)

Ask.

Contact EPA [<https://www.epa.gov/home/forms/contact-epa>](https://www.epa.gov/home/forms/contact-epa)

EPA Disclaimers [<https://www.epa.gov/web-policies-and-procedures/epa-disclaimers>](https://www.epa.gov/web-policies-and-procedures/epa-disclaimers)

Hotlines [<https://www.epa.gov/aboutepa/epa-hotlines>](https://www.epa.gov/aboutepa/epa-hotlines)

FOIA Requests [<https://www.epa.gov/foia>](https://www.epa.gov/foia)

Frequent Questions

[<https://www.epa.gov/home/frequent-questions-specific-epa-programsttopics>](https://www.epa.gov/home/frequent-questions-specific-epa-programsttopics)

Privacy <<https://www.epa.gov/privacy>>

Privacy and Security Notice

<<https://www.epa.gov/privacy/privacy-and-security-notice>>

Follow.





You are here: [EPA Home](http://www.epa.gov/) <<http://www.epa.gov/>> » [Envirofacts](#) <[./././index.html](https://www.epa.gov/envirofacts)> » [TRI](https://www.epa.gov/enviro/tri-overview) <<https://www.epa.gov/enviro/tri-overview>> » [TRI Search](https://www.epa.gov/enviro/tri-search) <<https://www.epa.gov/enviro/tri-search>> » [Facility Report](#)

TRI Facility Report

[Home](https://enviro.epa.gov/) <<https://enviro.epa.gov/>> | [Multisystem Search](https://enviro.epa.gov/facts/multisystem.html) <<https://enviro.epa.gov/facts/multisystem.html>> | [Topic Searches](https://www.epa.gov/node/111173) <<https://www.epa.gov/node/111173>> | [System Data Searches](https://www.epa.gov/node/110287) <<https://www.epa.gov/node/110287>> | [About the Data](https://www.epa.gov/node/110929) <<https://www.epa.gov/node/110929>> | [Data Downloads](https://www.epa.gov/node/109431) <<https://www.epa.gov/node/109431>> | [Widgets](https://www.epa.gov/node/111193) <<https://www.epa.gov/node/111193>> | [Services](https://www.epa.gov/node/110925) <<https://www.epa.gov/node/110925>> | [Mobile](https://www.epa.gov/node/110843) <<https://www.epa.gov/node/110843>> | [Other Datasets](https://www.epa.gov/node/111331) <<https://www.epa.gov/node/111331>>

TRI Facility Report: CARIBE GE PRODS INC (00795CRBGNCARRI)

Facility Information


[FACILITY INFORMATION](#) [CHEMICALS](#) [POLLUTION PREVENTION \(P2\)](#) [WASTE MANAGEMENT](#) [RELEASES](#) [WATER RELEASES](#) [TRANSFERS](#) [CLASSIC VIEW](#)

Facility Name <https://epa.gov/envirofacts/metadata/column/tri/t_tri_facinfo_fr/facility_name>	CARIBE GE PRODS INC	TRI ID <https://epa.gov/envirofacts/metadata/column/tri/t_tri_facinfo_fr/tri_facility_id> You can navigate within the map with your mouse.	00795CRBGNCAARRI
Address <https://epa.gov/envirofacts/metadata/column/tri/t_tri_facinfo_fr/street_address>	CARRION MADURO FINAL, KM 672 JUANA DIAZ, PR, 00795	FRS ID <https://epa.gov/envirofacts/metadata/column/tri/t_tri_facinfo_fr/frs_id>	110000907957
Mailing Name <https://epa.gov/envirofacts/metadata/column/tri/t_tri_facinfo_fr/mail_name>	CARIBE GE PRODS INC	DUNS Number <https://epa.gov/envirofacts/metadata/column/tri/t_tri_facinfo_fr/parent_co_db_num>	001367960
Mailing Address <https://epa.gov/envirofacts/metadata/column/tri/t_tri_facinfo_fr/mail_street_address>	CARRION MADURO FINAL, KM 672 JUANA DIAZ, PR, 00795	Parent Company <https://epa.gov/envirofacts/metadata/column/tri/t_tri_facinfo_fr/standardized_parent_company>	
County <https://epa.gov/envirofacts/metadata/column/tri/t_tri_facinfo_fr/county_name>	JUANA DIAZ MUNICIPIO	Public Contact <https://epa.gov/envirofacts/metadata/column/tri/t_tri_facinfo_fr/asgn_public_contact>	HERIBERTO ROBLES
EPA Region <https://epa.gov/envirofacts/metadata/column/tri/t_tri_facinfo_fr/region>	2	Phone <https://epa.gov/envirofacts/metadata/column/tri/t_tri_facinfo_fr/asgn_public_phone>	(787) 260-5003
Latitude <https://epa.gov/envirofacts/metadata/column/tri/t_tri_facinfo_fr/fac_latitude>	18.059439	Tribe <https://epa.gov/envirofacts/metadata/column/tri/t_tri_facinfo_fr/tribe>	NA

Information is for the most recent reporting year

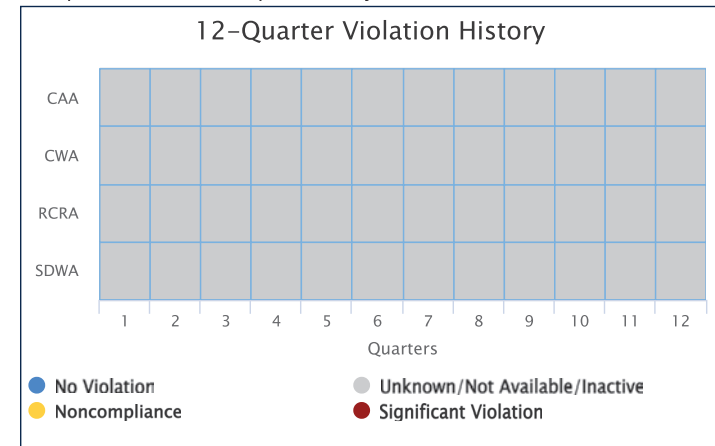
Other Regulatory Data

In addition to TRI, this facility reports to the programs listed below. The table below reflects regulatory data contained within Envirofacts and may not reflect all other EPA regulatory data:

Statute/Program <http://www.epa.gov/enviro/facts/qmr.html>	Universe	Media	Identifier
Resource Conservation and Recovery Act (RCRA)	VSQG 	Land	PRD090282757

Compliance Information

Compliance data below provided by ECHO.



Timestamp

Query was executed on SEP-12-2024



Discover.

Accessibility <<https://www.epa.gov/accessibility>>

Budget & Performance

<<https://www.epa.gov/planandbudget>>

Contracting <<https://www.epa.gov/contracts>>

EPA www Web Snapshot

<<https://www.epa.gov/home/wwwepagov-snapshots>>

Grants <<https://www.epa.gov/grants>>

No FEAR Act Data

<<https://www.epa.gov/ocr/whistleblower-protections-epa-and-how-they-relate-non-disclosure-agreements-signed-epa-employees>>

Plain Writing <<https://www.epa.gov/web-policies-and-procedures/plain-writing>>

Privacy <<https://www.epa.gov/privacy>>

Privacy and Security Notice

<<https://www.epa.gov/privacy/privacy-and-security-notice>>

Connect.

Data.gov [🔗](https://www.data.gov/) <<https://www.data.gov/>>

Inspector General <<https://www.epa.gov/office-inspector-general/about-epas-office-inspector-general>>

Jobs <<https://www.epa.gov/careers>>

Newsroom <<https://www.epa.gov/newsroom>>

Open Government <<https://www.epa.gov/data>>

Regulations.gov [🔗](https://www.regulations.gov/) <<https://www.regulations.gov/>>

Subscribe <<https://www.epa.gov/newsroom/email-subscriptions-epa-news-releases>>

USA.gov [🔗](https://www.usa.gov/) <<https://www.usa.gov/>>

White House [🔗](https://www.whitehouse.gov/) <<https://www.whitehouse.gov/>>

Ask.

Contact EPA <<https://www.epa.gov/home/forms/contact-epa>>

EPA Disclaimers <<https://www.epa.gov/web-policies-and-procedures/epa-disclaimers>>

Hotlines <<https://www.epa.gov/aboutepa/epa-hotlines>>

FOIA Requests <<https://www.epa.gov/foia>>

Frequent Questions

<<https://www.epa.gov/home/frequent-questions-specific-epa-programstopics>>

Follow.



Last updated on September 12, 2024



Related Topics: [Envirofacts](#)

[CONTACT US](#)

[Home](#) | [Multisystem Search](#) | [Topic Searches](#) | [System Data Searches](#) | [About the Data](#) | [Data Downloads](#) | [Widgets](#)
[Services](#) | [Mobile](#) | [Other Datasets](#)

Envirofacts Report

Reset

Query executed on SEP-12-2024
 Results are based on data extracted on JUL-10-2024

Click on "View Facility Information" to view EPA Facility information for the facility.

Facility Name:	CARIBE GE PRODS INC	Mailing Name:	CARIBE GE PRODS INC		
Address: <https://epa.gov/enviro.epa.gov/facts/tri/search_userguide.html#address>	CARRION MADURO FINAL, KM 672 JUANA DIAZ PR 00795	Mailing Address: <https://epa.gov/enviro.epa.gov/facts/tri/search_userguide.html#mail_address>	CARRION MADURO FINAL, KM 672JUANA DIAZ PR 00795		
County:	JUANA DIAZ MUNICIPIO	Region:	2		
Facility Information:	View Facility Information	TRI ID:	00795CRBGNCARRI	DUNS Number:	090193277
		FRS ID <https://epa.gov/enviro.epa.gov/html/registry_id.html>	110000907957		
Latitude:	18.059439	Longitude:	-66.508889		
Public Contact:	HERIBERTO ROBLES	Phone:	7872605003		
Assigned Public Contact:	HERIBERTO ROBLES				
Parent Company:	GE CO	Standardized Parent Company:		Parent DUNS:	001367960
BIA Tribal Code:		Tribe:			

Starting with Reporting Year 2006, TRI Facilities began reporting NAICS codes, instead of SIC codes, to identify their Primary Business Activities.

NAICS Codes for 1998

NAICS CODE	PRIMARY	NAICS DESCRIPTION <https://epa.gov/enviro.epa.gov/html/fii/frs_code_description/code_description.html>
335931	YES	Current-Carrying Wiring Device Manufacturing

The above information comes from 1998, which was the last year NAICS code data was reported for this facility. The earliest NAICS code data on file for this facility was reported in 1991.

Industry Code for 1998

INDUSTRY CODE	INDUSTRY DESCRIPTION
335	Electrical Equipment

SIC Codes for 1998

SIC CODE	PRIMARY	SIC DESCRIPTION <https://epa.gov/enviro.epa.gov/html/fii/frs_code_description/code_description.html>
----------	---------	--

3643	YES	CURRENT-CARRYING WIRING DEVICES
3625	NO	RELAYS AND INDUSTRIAL CONTROLS

The above information comes from 1998, which was the last year SIC code data was reported for this facility. The earliest SIC code data on file for this facility was reported in 1991.

[Map this facility](#)

Map this facility using one of Envirofact's mapping utilities.

Besides TRI, this facility also does the following:

- handles hazardous waste

More information about these additional regulatory aspects of this facility can be found by pressing the other regulatory data button below.

[Other Regulatory Data](#)

Total Aggregate Releases of TRI Chemicals to the Environment:

For all releases estimated as a range, the mid-point of the range was used in these calculations. This table summarizes the releases reported by the facility. **NR** - signifies nothing reported by this facility for the corresponding medium.

**Total Aggregate Releases of TRI Chemicals excluding Dioxin and Dioxin-like Compounds
(Measured in Pounds)**

Media	1998	1997	1996	1995	1994	1993	1992	1991
Air Emissions	10	10	10	10	NR	NR	1	NR
Surface Water Discharges	NR	NR	NR	NR	NR	NR	NR	NR
Releases to Land	NR	NR	NR	NR	NR	NR	NR	NR
Underground Injection	NR	NR	NR	NR	NR	NR	NR	NR
Total On-Site Releases	10	10	10	10	NR	NR	1	NR
Transfer Off-Site to Disposal	NR	0	0	0	0	0	0	0
Total Releases	10	10	10	10	0	0	1	0

[Graphic Summary of this Table](#)

**Total Aggregate Releases of Dioxin and Dioxin-like Compounds
(Measured in Grams)**

Media	1998	1997	1996	1995	1994	1993	1992	1991
Air Emissions	NR	NR	NR	NR	NR	NR	NR	NR
Surface Water Discharges	NR	NR	NR	NR	NR	NR	NR	NR
Releases to Land	NR	NR	NR	NR	NR	NR	NR	NR
Underground Injection	NR	NR	NR	NR	NR	NR	NR	NR
Total On-Site Releases	NR	NR	NR	NR	NR	NR	NR	NR
Transfer Off-Site to Disposal	NR	NR	NR	NR	NR	NR	NR	NR
Total Releases	NR	NR	NR	NR	NR	NR	NR	NR

TRI Chemicals Reported on Form A:

Please note that there were no chemicals reported on Form A for this facility

NOTE:

All chemicals reported below have release or transfer amounts greater than zero. To see a list of all chemicals reported by this facility click here.

Names and Amounts of Chemicals Released to the Environment by Year.

For all releases estimated as a range, the mid-point of the range was used in these calculations. **NR** - signifies nothing reported for this facility by the corresponding medium. Rows with all "0" or "NR" values were not listed.

Chemical Name	Media	Unit Of Measure	1998	1997	1996	1995	1994	1993	1992	1991
Copper (TRI Chemical ID: 0007440508)	AIR FUG	Pounds	5	5	5	5	NR	NR	NR	NR
Copper (TRI Chemical ID: 0007440508)	AIR STACK	Pounds	5	5	5	5	NR	NR	NR	NR
Sulfuric acid (acid aerosols including mists, vapors, gas, fog, and other airborne forms of any particle size) (TRI Chemical ID: 0007664939)	AIR FUG	Pounds	NR	NR	NR	NR	NR	NR	1	NR

Discharge of Chemicals into Streams or Bodies of Water:

Please note that either there were no releases of chemicals into streams or bodies of water reported by this facility or the facility did not file a TRI form R for the years 1987 to 1998. Rows with Release Amount equal to "0" were not listed.

Transfer of Chemicals to Off-Site Locations other than POTWs:

For all releases estimated as a range, the mid-point of the range was used in these calculations. Rows with Total Transfer Amount equal to "0" were not listed.

Chemical Name	Year	Unit Of Measure	Total Transfer Amount	Transfer Site Name and Address <small><https://epa.gov/enviro.epa.gov/facts/tri/search_userguide.html#transfer_name></small>	Type Of Waste Management
Copper (TRI Chemical ID: 0007440508)	1998	Pounds	364000	CONVERSION RESOURCES 7700 MEDUSA ST. OAKWOOD VILLAGE CLEVELAND, OH 44146	Metals Recovery
Copper (TRI Chemical ID: 0007440508)	1997	Pounds	2000	BROWING-FERRIS INDUSTRIES CALLE BARAMAYA FINAL BO. LA, COTORRA PONCE, PR 00731	Landfill/Disposal Surface Impoundment
Copper (TRI Chemical ID: 0007440508)	1996	Pounds	3300	BROWING-FERRIS INDUSTRIES CALLE BARAMAYA FINAL BO. LA CO PONCE, PR 00731	Landfill/Disposal Surface Impoundment
Copper (TRI Chemical ID: 0007440508)	1996	Pounds	340000	CONVERSION RESOURCES 7700 MEDUSA ST. OAKWOOD VILLAG CLEVELAND, OH 44146	Metals Recovery
Copper (TRI Chemical ID: 0007440508)	1995	Pounds	750	BROWING-FERRIS INDUSTRIES, (BFI) BO. LA COTORRA, VARAMAYA FINAL PONCE, PR 00731	Landfill/Disposal Surface Impoundment

Copper (TRI Chemical ID: 0007440508)	1995	Pounds	370000	CONVERSION RESOURCES 7700 MEDUSA ST., OAKWOOD VILLAGE CLEVELAND, OH 44146	Metals Recovery
Copper (TRI Chemical ID: 0007440508)	1994	Pounds	500000	COVERSION RESOURCES 7700 MEDUSA ST., OAKWOOD VILLAGE CLEVELAND, OH 44146	Metals Recovery
Copper (TRI Chemical ID: 0007440508)	1994	Pounds	250	LAIDLAW ENVIRONMENTAL SERVICES, (TS) INC. 5303 126TH AVE. NORTH CLEARWATER, FL 34820	Landfill/Disposal Surface Impoundment
Copper (TRI Chemical ID: 0007440508)	1994	Pounds	250	ENCYCLE 5500 UP RIVER RD. CORPUS CHRISTI, TX 78407	Landfill/Disposal Surface Impoundment
Copper (TRI Chemical ID: 0007440508)	1993	Pounds	68000	RECLAIMERS INC. U.S. 6W. & CO. RD. 400 E. KENDALLVILLE, IN 46755	Metals Recovery
Copper (TRI Chemical ID: 0007440508)	1993	Pounds	26000	WASTE SERVICES CONSULTANTS INC PMB 371 HC-01, BOX 29030 CAGUAS, PR 007258900	Metals Recovery
Copper (TRI Chemical ID: 0007440508)	1993	Pounds	250	ENCYCLE 5500 UP RIVER RD. CORPUS CHRISTI, TX 78407	Landfill/Disposal Surface Impoundment
Copper (TRI Chemical ID: 0007440508)	1993	Pounds	340000	CONVERSION RESOURCES 7700 MEDUSA ST., OAKWOOD VILLAGE CLEVELAND, OH 44106	Metals Recovery
Copper (TRI Chemical ID: 0007440508)	1993	Pounds	70000	METREC METAL INC. 7730 TYLER BLVD. MENTOR, OH 44060	Metals Recovery
Copper (TRI Chemical ID: 0007440508)	1992	Pounds	282000	METREC METAL INC. 7730 TYLER BLVD. MENTOR, OH 44060	Metals Recovery
Copper (TRI Chemical ID: 0007440508)	1992	Pounds	439	ENCYCLE 5500 UP RIVER RD. CORPUS CHRISTI, TX 78407	Metals Recovery
Copper (TRI Chemical ID: 0007440508)	1991	Pounds	260000	METREE METALS INC. 7730 TYLER BLVD. MENTOR, OH 44060	Metals Recovery
Copper (TRI Chemical ID: 0007440508)	1991	Pounds	50000	MATTATUCK INDUSTRIAL PARK TOWNLINE RD. WOLCOTT, CT 06716	Metals Recovery

Summary of Waste Management Activities

Please note that chemical amounts shown here are not included in Total Aggregate Releases shown above.

**Summary of Waste Management Activities excluding Dioxin and Dioxin-like Compounds
(Measured in Pounds)**

Year	On-Site Recycling	Off-Site Recycling	On-Site Energy Recovery	Off-Site Energy Recovery	On-Site Treatment	Off-Site Treatment	Total Amount
1997	0	314000	0	0	0	0	314000
1998	0	0	0	0	0	0	0
1999 (Projected)	0	0	0	0	0	0	0
2000 (Projected)	0	0	0	0	0	0	0

**Summary of Waste Management Activities for Dioxin and Dioxin-like Compounds
(Measured in Grams)**

This facility did not report any waste management activities for Dioxin and Dioxin-like Compounds.

Chemicals Under Waste Management:

Please note that chemical amounts shown here are not included in the Total Aggregate Releases shown above. Transfers to Publicly Owned Treatment Works are listed on a separate table.

Chemical Name	Year	Unit Of Measure	On-Site Recycling	Off-Site Recycling	On-Site Energy Recovery	Off-Site Energy Recovery	On-Site Treated	Off-Site Treated	Total Amount
Copper	1997	Pounds	0	314000	0	0	0	0	314000
	1998	Pounds	0	0	0	0	0	0	0
	1999 (Projected)	Pounds	0	0	0	0	0	0	0
	2000 (Projected)	Pounds	0	0	0	0	0	0	0

Publicly Owned Treatment Works (POTW) that Chemicals were Transferred to in 2011 and after:

This facility did not transfer any chemicals to a Publicly Owned Treatment Works (POTW) in 2011 and after.

Publicly Owned Treatment Works (POTW) that Chemicals were Transferred to PRIOR to 2011:

Prior to reporting year 2011, TRI only required facilities to report a total for all transfers of a chemical to one or more POTWs. In cases where a facility transferred waste to more than one POTW, it was not possible to list the quantities transferred to the individual POTWS. Displayed below is the history of POTW transfers prior to 2011 showing the chemical, year and POTW Name and Address. For all releases estimated as a range, the mid-point of the range was used in these calculations. Rows with Total Transfer Amount equal to "0" were not listed.

Chemical Name	Year	Unit Of Measure	Total Transfer Amount
Copper	1991	Pounds	4
Copper	1992	Pounds	1
Copper	1993	Pounds	5
Copper	1994	Pounds	5
Copper	1995	Pounds	5
Copper	1996	Pounds	5
Copper	1997	Pounds	5

Chemical Name	Year	POTW Name and Address
		<http://enviro.epa.gov/facts/tri/search_userguide.html#potw_name>

Copper	1991	PUERTO RICO AQUEDUCT SEWER, AUTHORITY P. R. 149 JUANA DIAZ, PR 00795
Copper	1991	NA ,
Copper	1992	PUERTO RICO AQUEDUCT SEWER, AUTHORITY P.R. 149 JUANA DIAZ, PR 00795
Copper	1992	NA ,
Copper	1993	PUERTO RICO AQUEDUCT & SEWER, AUTHORITY PR 149 JUANA DIAZ, PR 00795
Copper	1993	NA ,
Copper	1994	PUERTO RICO. ACUEDUCT & SEWER, AUTHORITY PR RTE. #149 JUANA DIAZ, PR 00795
Copper	1995	PUERTO RICO ACUEDUCT & SEWER, AUTHORITY PR RTE. #149 JUANA DIAZ, PR 00795
Copper	1996	PUERTO RICO AQUEDUCT &, SEWER AUTHORITY PR RTE. #149 JUANA DIAZ, PR 00795
Copper	1996	NA ,
Copper	1997	PUERTO RICO AQUEDUCT & SEWER, AUTHORITY PR RTE. 149 JUANA DIAZ, PR 00795
Copper	1997	NA ,
Copper	1998	PUERTO RICO AQUEDUCT SEWER AUTHORITY PR RTE. #149 JUANA DIAZ, PR 00795
Copper	1998	NA ,
Sulfuric acid (acid aerosols including mists, vapors, gas, fog, and other airborne forms of any particle size)	1991	PUERTO RICO AQUEDUCT SEWER A P. R. 149 JUANA DIAZ, PR 00795
Sulfuric acid (acid aerosols including mists, vapors, gas, fog, and other airborne forms of any particle size)	1991	NA ,

Sulfuric acid (acid aerosols including mists, vapors, gas, fog, and other airborne forms of any particle size)	1992	PUERTO RICO AQUEDUCT SEWER, AUTHORITY P.R. 149 JUANA DIAZ, PR 00795
Sulfuric acid (acid aerosols including mists, vapors, gas, fog, and other airborne forms of any particle size)	1992	NA

Non Production Releases:

This facility did not report any Non-Production releases.

Additional Source Reduction and Pollution Prevention Data:

The **P2 Report** summarizes chemical-specific Pollution Prevention (P2) data for multiple years, including Newly Implemented Source Reduction Activities (Section 8.10) and Optional Pollution Prevention Information (Section 8.11). A "P2 Data" data entry indicates that P2 data was reported for that specific chemical and year. A NR signifies that no Pollution Prevention data was reported for that specific chemical and year.

View all P2 Information for this facility

Chemical Name	P2 Report < http://enviro.epa.gov/facts/tri/p2.html >	5-Year Waste Trend	1994
Copper	P2 Report	NA	P2

"P2" indicates that P2 activity codes and/or descriptions were provided for the chemical and year in question. "B" indicates barriers to P2 was reported. "No P2" indicates that a Form R was submitted but no P2 information was included. "NR" indicates that no Form R was submitted.

Additional links for TRI:

This information resource is not maintained, managed, or owned by the Environmental Protection Agency (EPA) or the Envirofacts Support Team. Neither the EPA nor the Envirofacts Support Team is responsible for their content or site operation. The Envirofacts Warehouse provides this reference only as a convenience to our Internet users.

- National Library of Medicine (NLM) TOXMAP [ⓧ <http://toxmap.nlm.nih.gov>](http://toxmap.nlm.nih.gov) [EXIT Disclaimer](#) <<http://www.epa.gov/epahome/exitepa.htm>> .
- The Environmental Defense Fund's (EDF) Chemical Scorecard has on-line environmental information regarding this facility's [ⓧ EXIT Disclaimer](http://www.epa.gov/epahome/exitepa.htm) <<http://www.epa.gov/epahome/exitepa.htm>> reported TRI releases.



Discover.

Accessibility <<https://www.epa.gov/accessibility>>

Budget & Performance <<https://www.epa.gov/planandbudget>>

Contracting <<https://www.epa.gov/contracts>>

EPA www Web Snapshot <<https://www.epa.gov/home/wwwepagov-snapshots>>

Grants <<https://www.epa.gov/grants>>

No FEAR Act Data <<https://www.epa.gov/ocr/whistleblower-protections-epa-and-how-they-relate-non-disclosure-agreements-signed-epa-employees>>

Plain Writing <<https://www.epa.gov/web-policies-and-procedures/plain-writing>>

Privacy <<https://www.epa.gov/privacy>>

Connect.

Data.gov [ⓧ <https://www.data.gov>](https://www.data.gov)

Inspector General <<https://www.epa.gov/office-inspector-general/about-epas-office-inspector-general>>

Jobs <<https://www.epa.gov/careers>>

Newsroom <<https://www.epa.gov/newsroom>>

Open Government <<https://www.epa.gov/data>>

Regulations.gov [ⓧ <https://www.regulations.gov>](https://www.regulations.gov)

Subscribe <<https://www.epa.gov/newsroom/email-subscriptions-epa-news-releases>>

USA.gov [ⓧ <https://www.usa.gov>](https://www.usa.gov)

Ask.

Contact EPA <<https://www.epa.gov/home/forms/contact-epa>>

EPA Disclaimers <<https://www.epa.gov/web-policies-and-procedures/epa-disclaimers>>

Hotlines <<https://www.epa.gov/aboutepa/epa-hotlines>>

FOIA Requests <<https://www.epa.gov/foia>>

Frequent Questions <<https://www.epa.gov/home/frequent-questions-specific-epa-programtopics>>

Privacy and Security Notice <<https://www.epa.gov/privacy/privacy-and-security-notice>>

White House [🔗](https://www.whitehouse.gov/) <<https://www.whitehouse.gov/>>

Follow.





Gobierno de Puerto Rico
Oficina del Gobernador
Junta de Calidad Ambiental



Área de Calidad de Agua

Forma PGC-009

CERTIFICACION DE NO PRESENCIA DE ASBESTO EN ESTRUCTURAS A DEMOLERSE

(Deberá completarse en letra de molde o impresa)

NUM. PERMISO: _____

Yo, Angel O. Ortega, mayor de edad, casado, y vecino de Bayamón
(Nombre) (Estado Civil) (Municipio)

Dirección Postal RR8 Box 1995 PMB 313 Bayamón, PR 00956
(Pueblo) (Zip Code)

Teléfonos: Residencial (787) 607 - 8965 Oficina (787) 994 - 2203 Ext. _____
Fax () - _____

Certifico que:

(toda la Plaza Pública y Carr. PR-14 selectiva)

1. La estructura localizada en en el Municipio de Juana Diaz, PR, la cual será objeto de una demolición se encuentra libre de asbesto.
2. La información antes indicada es cierta y correcta.
3. Afirmo y reconozco las consecuencias de incluir y someter información falsa en este documento.
4. Para que así conste, firmo la presente certificación en Bayamón de Puerto Rico, hoy día 3 de marzo de 2023 (Municipio)

ASB-0722-0258-SI

Firma y Sello del Profesional o
Firma del Inspector de Asbesto registrado por la JCA (Original)

Nota: Ingenieros o Arquitectos deberán someter evidencia de que se encuentra al día en el pago de sus cuotas de colegiación e inspectores de Asbesto deberán someter evidencia de la tarjeta de registro provista por la JCA.

Dirección Física: Ave. Ponce de León 1308, Carr. Estatal 8838, Sector el Cinco, Río Piedras, PR 00926
Dirección Postal: Apartado 11488, Santurce, PR 00910-1488
Tel. (787) 767-8181 • Fax (787) 767-1962



Asbestos Studies:



GOBIERNO DE PUERTO RICO
OFICINA DEL GOBERNADOR
JUNTA DE CALIDAD AMBIENTAL

Área de Calidad de Agua



Forma PGC-009

CERTIFICACION DE NO PRESENCIA DE ASBESTO EN ESTRUCTURAS A DEMOLERSE

(Deberá completarse en letra de molde o impresa)

NUM. PERMISO: _____

Yo, Angel O. Ortega, mayor de edad, casado, y vecino de Bayamón
(Nombre) (Estado Civil) (Municipio)

Dirección Postal RR8 Box 1995 PMB 313 Bayamón, PR 00956
(Pueblo) (Zip Code)

Teléfonos: Residencial (787) 607 - 8965 Oficina (787) 994 - 2203 Ext. _____
Fax () -

Certifico que: (toda la Plaza Pública y Carr. PR-14 selectiva)

- La estructura localizada en en el Municipio de Juana Diaz, PR, la cual será objeto de una demolición se encuentra libre de asbesto.
- La información antes indicada es cierta y correcta.
- Afirmo y reconozco las consecuencias de incluir y someter información falsa en este documento.
- Para que así conste, firmo la presente certificación en Bayamón de Puerto Rico, hoy día 3 de marzo de 2023 (Municipio)


ASB-0722-0258-SI
Firma y Sello del Profesional o
Firma del Inspector de Asbesto registrado por la JCA (Original)

Nota: Ingenieros o Arquitectos deberán someter evidencia de que se encuentra al día en el pago de sus cuotas de colegiación e inspectores de Asbesto deberán someter evidencia de la tarjeta de registro provista por la JCA.

Dirección Física: Ave. Ponce de León 1308, Carr. Estatal 8838, Sector el Cinco, Río Piedras, PR 00926
Dirección Postal: Apartado 11488, Santurce, PR 00910-1488
Tel. (787) 767-8181 • Fax (787) 767-1962



CONSEJO
VERDE

g GLOBAL ENVIRONMENTAL SERVICES LLC

Asbestos & Lead Based Paint Survey/Environmental Consultants Services/Industrial Hygiene/Indoor Air Quality
DNER Permits/ EPA Permits & Certifications

RRS BOX 1995 PMB 313 BAYAMON, PR 00956 [EM@IL: globalespr@gmail.com](mailto:EM@IL:globalespr@gmail.com) PHONES: 787-994-2203 / 787-607-8965

	TARJETA DE REGISTRO PARA LA REMOCIÓN DE ASBESTO Esta tarjeta autoriza a: <u>Ángel O. Ortega Coreano</u> Inspector A trabajar en la remoción de asbesto en Puerto Rico. Esta persona NO es un empleado del DRNA.  Firma Autorizada - Departamento Recursos Naturales y Ambientales
ASB-0722-0258-SI Número de Registro	
25-jun-2023 Fecha de vencimiento	

Lead Based Paint Studies:



GLOBAL ENVIRONMENTAL SERVICES LLC

*Asbestos & Lead Based Paint Survey/Environmental Consultants Services/Industrial Hygiene/Indoor Air Quality
DNER Permits/ EPA Permits & Certifications*

RRS BOX 1995 PMB 313 BAYAMON, PR 00956 [EM@IL: globalespr@gmail.com](mailto:EM@IL:globalespr@gmail.com) [PHONES: 787-994-2203 / 787-607-8965](tel:787-994-2203)

Lead Based Paint Inspection



***SAMPLING CONDUCTED AT:
(PR-CRP-000437)***

*Public Plaza Roman Baldorioty de Castro &
Road PR-14 (Selective Area)
Located at in Juana Diaz, PR*



GES Project # -2023-017

MARCH 2023



GLOBAL ENVIRONMENTAL SERVICES LLC

Asbestos & Lead Based Paint Survey/Environmental Consultants Services/Industrial Hygiene/Indoor Air Quality
RRS BOX 1995 PMB 313 BAYAMON, PR 00956 [EM@IL: globalespr@gmail.com](mailto:EM@IL:globalespr@gmail.com) PHONES: 787-994-2203 / 787-607-8965

TABLE OF CONTENT

REPORT COVER.....	1
TABLE OF CONTENT.....	2
Introduction.....	3
Lead Based Paint SOP (Standard Operation Procedure).....	3-4
Addendum I The Lead Paint Standard	5-6
Addendum II Performance Characteristic Sheet (PCS)- XRF Niton Xp 300A.....	7-10
Addendum III Site Area & Layout areas.....	11-15
Addendum IV Certifications granted by the DNER of Puerto Rico.....	16-18
Addendum V LBP Testing Combinations.....	19-27
Addendum VI Table Summary of components with Lead Based Paint.....	28-29
Addendum VII Photographs of the positive components with Lead Based Paint.....	30-33
Addendum VIII Where the positive components area found with Lead Based Paint.....	34-35
Addendum IX Conclusion.....	36



GLOBAL ENVIRONMENTAL SERVICES LLC

Asbestos & Lead Based Paint Survey/Environmental Consultants Services/Industrial Hygiene/Indoor Air Quality
RRS BOX 1995 PMB 313 BAYAMON, PR 00956 [EM@IL: globalespr@gmail.com](mailto:globalespr@gmail.com) [PHONES: 787-994-2203 / 787-607-8965](tel:787-994-2203)

March 11, 2023

Eng. Jorge L. Perez Ruiz
President
TCM Group
2004 Road PR-506 Caribe Office Center Ste. 205
Coto Laurel PR 00780

Affair: Lead Based Paint Inspection in Public Plaza Roman Baldorioty de Castro & Road PR-14 located at Juana Diaz, PR

Dear Eng. Perez:

Global Environmental Services LLC (GES) was contracted to perform a Lead Based Paint Inspection at reference project. The Lead Paint Standard is in Addendum I of the Report. Layout and Site areas in Addendum III of the report.

The Inspection performance with Thermo Fisher Scientific XRF Niton Model Xip 300A Serial Number #101094 was conducted using H.U.D. Standard for Lead Based Paint as defined by Title X of Housing and Community Department Act of 1992 (unless HUD and EPA have lowered the standard) & Guidelines for the Evaluation and Control of Lead Based Paint in Housing of 1997, revised in 2012 and Department of Natural and Environmental Resources of Puerto Rico (DNER) Lead Based Paint Abatement Controls Regulation.

The Lead Based Paint Inspection was conducted on March 1, 2023 by Mr. Angel M. Rivera, Department of Natural and Environmental Resources of Puerto Rico (DNER) certified Lead Based Paint Inspector # LBPI-33222-379 with enough experience.

The project consisted of evaluation in all components in Public Plaza & Road PR-14 (Selective area) located in Juana Diaz, PR. During the evaluation **we found positive components with Lead Based Paint** in said project.

(VIEW ADDENDUM VI)- TABLE SUMMARY OF COMPONENTS WITH LEAD BASED PAINT

Negative Definition= If the lead concentration measured by the XRF Spectrum Analyzer is less than 1.0 mg/cm² it is considered negative.

Positive Definition= If the concentration measured by the XRF Spectrum Analyzer is equal or greater than 1.0 mg/cm² it is considered Positive.

NOTE: The light poles of Road PR-14 were not carried out since they are not part of the project.



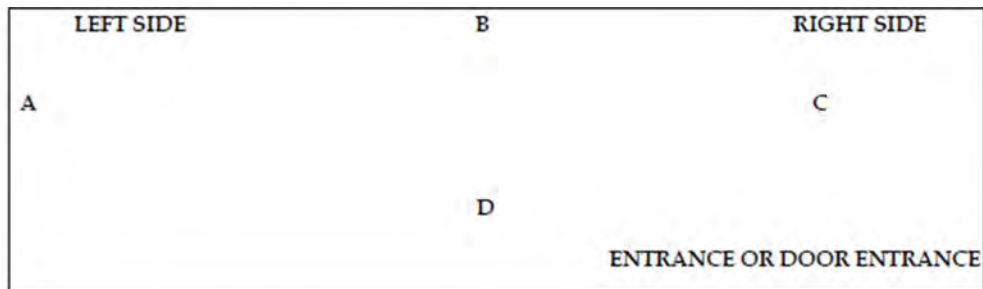
GLOBAL ENVIRONMENTAL SERVICES LLC

Asbestos & Lead Based Paint Survey/Environmental Consultants Services/Industrial Hygiene/Indoor Air Quality
 RRS BOX 1995 PMB 313 BAYAMON, PR 00956 [EMAIL: globalespr@gmail.com](mailto:globalespr@gmail.com) [PHONES: 787-994-2203 / 787-607-8965](tel:787-994-2203)

TABLE- LEAD REGULATORY LEVELS	
	EPA & DNER Levels
LEAD BASED PAINT	1.0mg/cm ² or 0.5% by weight (or 5,000 ppm)

Lead Based Paint Inspection Guidelines used during the inspection.

SOP: Standard Operation Procedure :

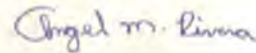


Thank you for the opportunity, any questions, please call 787-994-2203 and 787-607-8965 or email globalespr@gmail.com.

Cordially;



Mr. Angel O. Ortega, JS
 Environmental Consultant
 President



Mr. Angel M. Rivera
 Lead Based Paint Inspector LBPI-33222-379



GLOBAL ENVIRONMENTAL SERVICES LLC

Asbestos & Lead Based Paint Survey/Environmental Consultants Services/Industrial Hygiene/Indoor Air Quality
RRS BOX 1995 PMB 313 BAYAMON, PR 00956 [EMAIL: globalespr@gmail.com](mailto:globalespr@gmail.com) [PHONES: 787-994-2203 / 787-607-8965](tel:787-994-2203)







ADDENDUM I

THE LEAD PAINT STANDARD



GLOBAL ENVIRONMENTAL SERVICES LLC

Asbestos & Lead Based Paint Survey/Environmental Consultants Services/Industrial Hygiene/Indoor Air Quality
 RRS BOX 1995 PMB 313 BAYAMON, PR 00956 [EM@IL: globalespr@gmail.com](mailto:EM@IL:globalespr@gmail.com) [PHONES: 787-994-2203 / 787-607-8965](tel:787-994-2203)

ThermoFisher SCIENTIFIC	Lead Paint Standard	Surface Lead mg/cm ² PN 500-934
<p>< 0.01 ± ----- SRM 2570</p> 		<p>3.58 ± 0.39 SRM 2571</p> 
<p>XRF Calibration Check Units</p> <p>1.04 ± 0.06 SRM 2573</p> <p>For a 20 sec sam- ple, the reading should be: 0.8 to 1.2 mg/cm²</p> 		<p>1.53 ± 0.09 SRM 2572</p> 
<p>0.71 ± 0.08 SRM 2574</p> 		<p>0.31 ± 0.02 SRM 2575</p> 
<p>Americas Thermo Scientific 2 Radcliff Road Tewksbury, MA 01876 USA Tel USA: 800-875-1578 Tel: +1 978-670-7460 Fax: +1 978-670-7430 niton@thermofisher.com</p>	<p>Europe and Africa Thermo Scientific Joseph-Dollinger-Bogen 9 80807 Munich Germany Office: +49 89 3681 380 Fax: +49 89 3681 3830 niton.eur@thermofisher.com</p>	<p>Asia and the Middle East Thermo Scientific Unit 23, 5/F, Corporation Park, 11 On Lai Street, Sai Lek Yuan, Shatin, NT, Hong Kong. Office: +852 2969 0669 Fax: +852 2987 4447 niton.asia@thermofisher.com</p>



GLOBAL ENVIRONMENTAL SERVICES LLC

Asbestos & Lead Based Paint Survey/Environmental Consultants Services/Industrial Hygiene/Indoor Air Quality
RRS BOX 1995 PMB 313 BAYAMON, PR 00956 [EMAIL: globalespr@gmail.com](mailto:globalespr@gmail.com) [PHONES: 787-994-2203 / 787-607-5965](tel:787-994-2203)

ADDENDUM II

PERFORMANCE CHARACTERISTIC SHEET (PCS)-
XRF NITON XLP SERIE #300A



GLOBAL ENVIRONMENTAL SERVICES LLC

Asbestos & Lead Based Paint Survey/Environmental Consultants Services/Industrial Hygiene/Indoor Air Quality
 RRS BOX 1995 PMB 313 BAYAMON, PR 00956 [EM@IL: globalespr@gmail.com](mailto:EM@IL:globalespr@gmail.com) PHONES: 787-994-2203 / 787-607-8965

Niton XLP 300, 9/24/2004, ed. 1

Performance Characteristic Sheet

EFFECTIVE DATE: September 24, 2004

EDITION NO.: 1

MANUFACTURER AND MODEL:

Make: Niton LLC
 Tested Model: XLP 300
 Source: ²⁰³Cd

Note: This PCS is also applicable to the equivalent model variations indicated below, for the Lead-in-Paint K+L variable reading time mode, in the XLI and XLP series:

XLI 300A, XLI 301A, XLI 302A and XLI 303A.
 XLP 300A, XLP 301A, XLP 302A and XLP 303A.
 XLI 700A, XLI 701A, XLI 702A and XLI 703A.
 XLP 700A, XLP 701A, XLP 702A, and XLP 703A.

Note: The XLI and XLP versions refer to the shape of the handle part of the instrument. The differences in the model numbers reflect other modes available, in addition to Lead-in-Paint modes. The manufacturer states that specifications for these instruments are identical for the source, detector, and detector electronics relative to the Lead-in-Paint mode.

FIELD OPERATION GUIDANCE

OPERATING PARAMETERS:

Lead-in-Paint K+L variable reading time mode.

XRF CALIBRATION CHECK LIMITS:

0.8 to 1.2 mg/cm² (inclusive)

The calibration of the XRF instrument should be checked using the paint film nearest 1.0 mg/cm² in the NIST Standard Reference Material (SRM) used (e.g., for NIST SRM 2579, use the 1.02 mg/cm² film).

If readings are outside the acceptable calibration check range, follow the manufacturer's instructions to bring the instruments into control before XRF testing proceeds.

SUBSTRATE CORRECTION:

For XRF results using Lead-in-Paint K+L variable reading time mode, substrate correction is not needed for:

Brick, Concrete, Drywall, Metal, Plaster, and Wood

INCONCLUSIVE RANGE OR THRESHOLD:

K+L MODE READING DESCRIPTION	SUBSTRATE	THRESHOLD (mg/cm ²)
Results not corrected for substrate bias on any substrate	Brick	1.0
	Concrete	1.0
	Drywall	1.0
	Metal	1.0
	Plaster	1.0
	Wood	1.0



GLOBAL ENVIRONMENTAL SERVICES LLC

Asbestos & Lead Based Paint Survey/Environmental Consultants Services/Industrial Hygiene/Indoor Air Quality
RRS BOX 1995 PMB 313 BAYAMON, PR 00956 [EM@IL: globalespr@gmail.com](mailto:EM@IL:globalespr@gmail.com) PHONES: 787-994-2203 / 787-607-8965

Nilon XLP 300, 9/24/2004, ed. 1

BACKGROUND INFORMATION

EVALUATION DATA SOURCE AND DATE:

This sheet is supplemental information to be used in conjunction with Chapter 7 of the HUD Guidelines for the Evaluation and Control of Lead-Based Paint Hazards in Housing ("HUD Guidelines"). Performance parameters shown on this sheet are calculated from the EPA/HUD evaluation using archived building components. Testing was conducted in August 2004 on 133 testing combinations. The instruments that were used to perform the testing had new sources; one instrument's was installed in November 2003 with 40 mCi initial strength, and the other's was installed June 2004 with 40 mCi initial strength.

OPERATING PARAMETERS:

Performance parameters shown in this sheet are applicable only when properly operating the instrument using the manufacturer's instructions and procedures described in Chapter 7 of the HUD Guidelines.

SUBSTRATE CORRECTION VALUE COMPUTATION:

Substrate correction is not needed for brick, concrete, drywall, metal, plaster or wood when using Lead-in-Paint K+L variable reading time mode, the normal operating mode for these instruments. If substrate correction is desired, refer to Chapter 7 of the HUD Guidelines for guidance on correcting XRF results for substrate bias.

EVALUATING THE QUALITY OF XRF TESTING:

Randomly select ten testing combinations for retesting from each house or from two randomly selected units in multifamily housing. Use the K+L variable time mode readings.

Conduct XRF retesting at the ten testing combinations selected for retesting.

Determine if the XRF testing in the units or house passed or failed the test by applying the steps below.

Compute the Retest Tolerance Limit by the following steps:

Determine XRF results for the original and retest XRF readings. Do not correct the original or retest results for substrate bias. In single-family housing a result is defined as the average of three readings. In multifamily housing, a result is a single reading. Therefore, there will be ten original and ten retest XRF results for each house or for the two selected units.

Calculate the average of the original XRF result and retest XRF result for each testing combination.

Square the average for each testing combination.

Add the ten squared averages together. Call this quantity C.

Multiply the number C by 0.0072. Call this quantity D.

Add the number 0.032 to D. Call this quantity E.

Take the square root of E. Call this quantity F.

Multiply F by 1.645. The result is the Retest Tolerance Limit.

Compute the average of all ten original XRF results.

Compute the average of all ten re-test XRF results.

Find the absolute difference of the two averages.



GLOBAL ENVIRONMENTAL SERVICES LLC

Asbestos & Lead Based Paint Survey/Environmental Consultants Services/Industrial Hygiene/Indoor Air Quality
 RRS BOX 1995 PMB 313 BAYAMON, PR 00956 EM@IL: globalespr@gmail.com [PHONES: 787-994-2203 / 787-607-8965](tel:787-994-2203)

Niton XLP 300, 9/24/2004, ed. 1

If the difference is less than the Retest Tolerance Limit, the inspection has passed the retest. If the difference of the overall averages equals or exceeds the Retest Tolerance Limit, this procedure should be repeated with ten new testing combinations. If the difference of the overall averages is equal to or greater than the Retest Tolerance Limit a second time, then the inspection should be considered deficient.

Use of this procedure is estimated to produce a spurious result approximately 1% of the time. That is, results of this procedure will call for further examination when no examination is warranted in approximately 1 out of 100 dwelling units tested.

TESTING TIMES:

For the Lead-in-Paint K+L variable reading time mode, the instrument continues to read until it is moved away from the testing surface, terminated by the user, or the instrument software indicates the reading is complete. The following table provides testing time information for this testing mode. The times have been adjusted for source decay, normalized to the initial source strengths as noted above. Source strength and type of substrate will affect actual testing times. At the time of testing, the instruments had source strengths of 26.6 and 36.6 mCi.

Testing Times Using K+L Reading Mode (Seconds)						
Substrate	All Data			Median for laboratory-measured lead levels (mg/cm ²)		
	25 th Percentile	Median	75 th Percentile	Pb < 0.25	0.25 ≤ Pb < 1.0	1.0 ≤ Pb
Wood Drywall	4	11	19	11	15	11
Metal	4	12	18	9	12	14
Brick Concrete Plaster	8	16	22	15	18	16

CLASSIFICATION RESULTS:

XRF results are classified as positive if they are greater than or equal to the threshold, and negative if they are less than the threshold.

DOCUMENTATION:

A document titled *Methodology for XRF Performance Characteristic Sheets* provides an explanation of the statistical methodology used to construct the data in the sheets, and provides empirical results from using the recommended inconclusive ranges or thresholds for specific XRF instruments. For a copy of this document call the National Lead Information Center Clearinghouse at 1-800-424-LEAD.

This XRF Performance Characteristic Sheet was developed by the Midwest Research Institute (MRI) and QuanTech, Inc., under a contract between MRI and the XRF manufacturer. HUD has determined that the information provided here is acceptable when used as guidance in conjunction with Chapter 7, Lead-Based Paint Inspection, of HUD's *Guidelines for the Evaluation and Control of Lead-Based Paint Hazards in Housing*.



GLOBAL ENVIRONMENTAL SERVICES LLC

Asbestos & Lead Based Paint Survey/Environmental Consultants Services/Industrial Hygiene/Indoor Air Quality
RRS BOX 1995 PMB 313 BAYAMON, PR 00956 [EM@IL: globalespr@gmail.com](mailto:globalespr@gmail.com) [PHONES: 787-994-2203 / 787-607-8965](tel:787-994-2203)

ADDENDUM III

SITE AREA & FUNCTIONAL SPACES



GLOBAL ENVIRONMENTAL SERVICES LLC

Asbestos & Lead Based Paint Survey/Environmental Consultants Services/Industrial Hygiene/Indoor Air Quality
RRS BOX 1995 PMB 313 BAYAMON, PR 00956 [EMAIL: globalespr@gmail.com](mailto:globalespr@gmail.com) [PHONES: 787-994-2203 / 787-607-8965](tel:787-994-2203)

SITE AREA



COORDINATES TO GET TO THE PROJECT:

18.0529652, -66.5057621



GLOBAL ENVIRONMENTAL SERVICES LLC

Asbestos & Lead Based Paint Survey/Environmental Consultants Services/Industrial Hygiene/Indoor Air Quality
RRS BOX 1995 PMB 313 BAYAMON, PR 00956 [EM@IL: globalespr@gmail.com](mailto:globalespr@gmail.com) PHONES: 787-994-2203 / 787-607-5965

SITE AREA

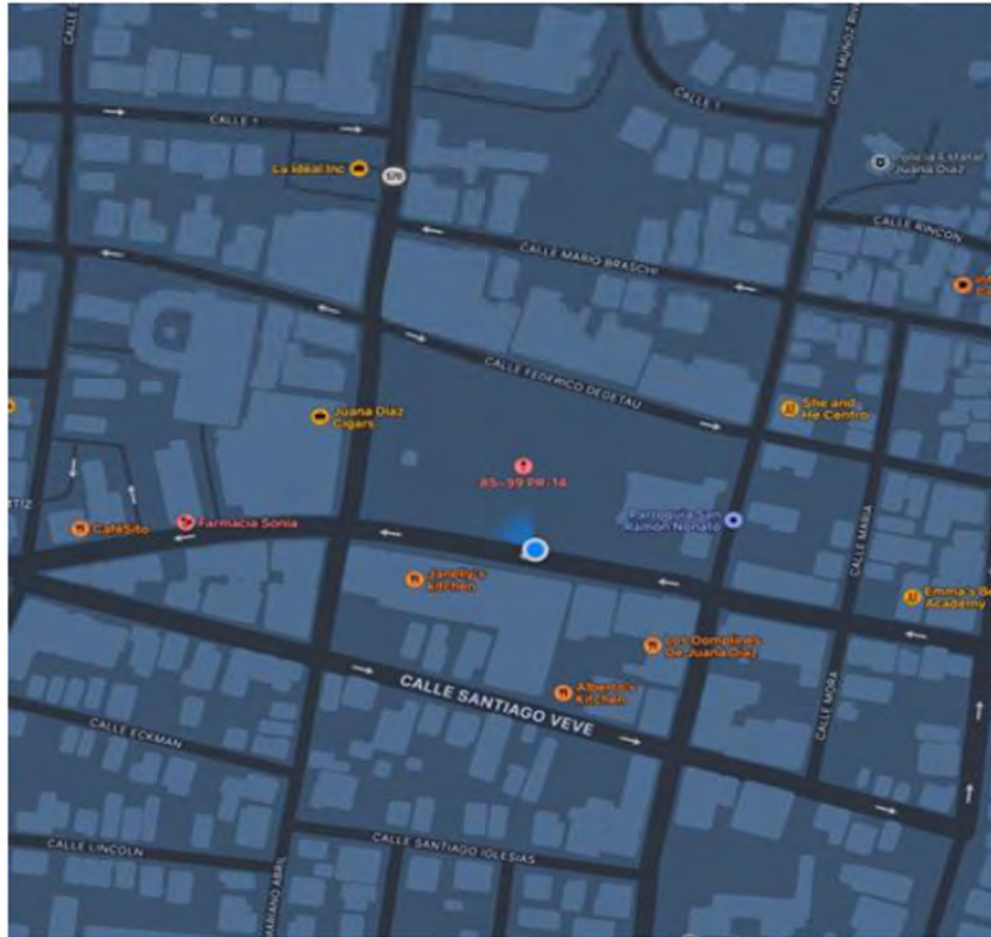




GLOBAL ENVIRONMENTAL SERVICES LLC

Asbestos & Lead Based Paint Survey/Environmental Consultants Services/Industrial Hygiene/Indoor Air Quality
RRS BOX 1995 PMB 313 BAYAMON, PR 00956 [EMAIL: globalespr@gmail.com](mailto:globalespr@gmail.com) PHONES: 787-994-2203 / 787-607-8965

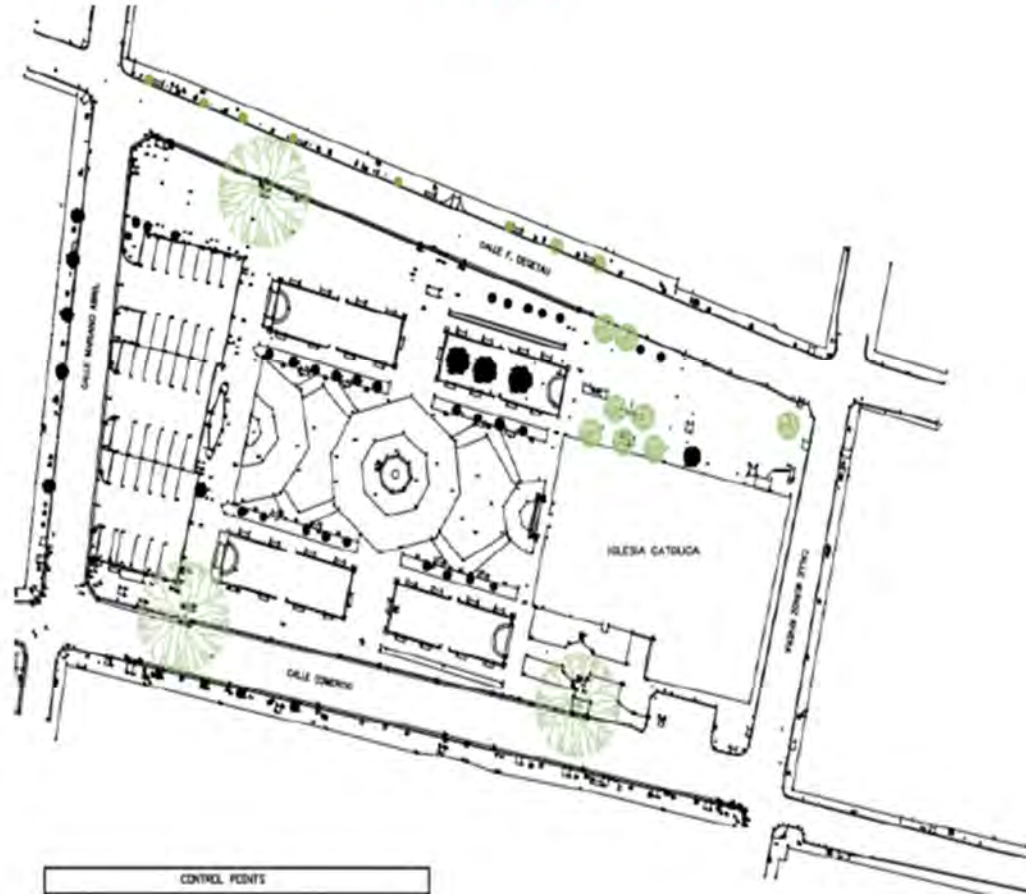
SITE AREA



g GLOBAL ENVIRONMENTAL SERVICES LLC

Asbestos & Lead Based Paint Survey/Environmental Consultants Services/Industrial Hygiene/Indoor Air Quality
RRS BOX 1995 PMB 313 BAYAMON, PR 00956 [EMAIL: globalespr@gmail.com](mailto:globalespr@gmail.com) [PHONES: 787-994-2203 / 787-607-5965](tel:787-994-2203)

LAYOUT



NOT TO SCALE
Page 15/36



Asbestos & Lead Based Paint Survey/Environmental Consultants Services/Industrial Hygiene/Indoor Air Quality
RRS BOX 1995 PMB 313 BAYAMON, PR 00956 [EMAIL: globalespr@gmail.com](mailto:globalespr@gmail.com) [PHONES: 787-994-2203 / 787-607-8965](tel:787-994-2203)

ADDENDUM IV

*CERTIFICATIONS GRANTED BY THE DEPARTMENT OF
NATURAL AND ENVIRONMENTAL RESOURCES OF
PUERTO RICO*



GLOBAL ENVIRONMENTAL SERVICES LLC

Asbestos & Lead Based Paint Survey/Environmental Consultants Services/Industrial Hygiene/Indoor Air Quality
RRS BOX 1995 PMB 313 BAYAMON, PR 00956 [EM@IL: globalespr@gmail.com](mailto:globalespr@gmail.com) PHONES: 787-994-2203 / 787-607-8965

GLOBAL ENVIRONMENTAL SERVICES LLC COMPANY LEAD CERTIFICATION





GLOBAL ENVIRONMENTAL SERVICES LLC

Asbestos & Lead Based Paint Survey/Environmental Consultants Services/Industrial Hygiene/Indoor Air Quality
RRS BOX 1995 PMB 313 BAYAMON, PR 00956 [EMAIL: globalespr@gmail.com](mailto:globalespr@gmail.com) [PHONES: 787-994-2203 / 787-607-8965](tel:787-994-2203)

MR. ANGEL M. RIVERA - LEAD BASED PAINT INSPECTOR CERTIFICATION





GLOBAL ENVIRONMENTAL SERVICES LLC

Asbestos & Lead Based Paint Survey/Environmental Consultants Services/Industrial Hygiene/Indoor Air Quality
RRS BOX 1995 PMB 313 BAYAMON, PR 00956 [EMAIL: globalespr@gmail.com](mailto:globalespr@gmail.com) [PHONES: 787-994-2203 / 787-607-8965](tel:787-994-2203)

ADDENDUM V

LBP TESTING COMBINATIONS



GLOBAL ENVIRONMENTAL SERVICES LLC

Asbestos & Lead Based Paint Survey/Environmental Consultants Services/Industrial Hygiene/Indoor Air Quality
 RRS BOX 1995 PMB 313 BAYAMON, PR 00956 [EMAIL: globalespr@gmail.com](mailto:globalespr@gmail.com) PHONES: 787-994-2203 / 787-607-8965

GES 2023- 017	XRF Serial Number: 101094	Project: Public Plaza Roman Baldorioty de Castro & Road PR-14 in Juana Diaz, PR	Client: TCM Group	LBP Inspector: Mr. Angel M. Rivera	Date: March 1, 2023	Page 20/36	
Sample ID	Functional Space	Component	Side	Substrate	XRF Reading (mg/cm ²)	Result Pos./ Neg.	Approx. Sq. ft./Ln. Ft.
1	Calibrate				1.0		
2	Calibrate				0.9		
3	Calibrate				1.0		
4	Plaza	Floor	Floor	Concrete	0.01	Neg.	
5	Plaza	Floor	Floor	Concrete	0.01	Neg.	
6	Plaza	Floor	Floor	Concrete	0.01	Neg.	
7	Plaza	Floor	Floor	Concrete	0.01	Neg.	
8	Plaza	Floor	Floor	Concrete	0.01	Neg.	
9	Plaza	Floor	Floor	Concrete	0.01	Neg.	
10	Plaza	Floor	Floor	Concrete	0.01	Neg.	
11	Plaza	Floor	Floor	Concrete	0.01	Neg.	
12	Plaza	Floor Tile	Floor	Ceramic	0.02	Neg.	
13	Plaza	Floor Tile	Floor	Concrete	0.02	Neg.	
14	Plaza	Floor Tile	Floor	Concrete	0.02	Neg.	
15	Plaza	Floor Tile	Floor	Concrete	0.02	Neg.	
16	Plaza	Floor Tile	Floor	Concrete	0.02	Neg.	
17	Plaza	Floor Tile	Floor	Concrete	0.02	Neg.	
18	Plaza	Floor Tile	Floor	Concrete	0.02	Neg.	
19	Plaza	Floor Tile	Floor	Concrete	0.02	Neg.	
20	Plaza	Ramp	Floor	Concrete	0.01	Neg.	
21	Plaza	Ramp	Floor	Concrete	0.01	Neg.	
22	Plaza	Ramp	Floor	Concrete	0.01	Neg.	
23	Plaza	Ramp	Floor	Concrete	0.01	Neg.	
24	Plaza	Ramp	Floor	Concrete	0.01	Neg.	
25	Plaza	Ramp	Floor	Concrete	0.01	Neg.	



GLOBAL ENVIRONMENTAL SERVICES LLC

Asbestos & Lead Based Paint Survey/Environmental Consultants Services/Industrial Hygiene/Indoor Air Quality
 RRS BOX 1995 PMB 313 BAYAMON, PR 00956 [EM@IL: globalespr@gmail.com](mailto:EM@IL:globalespr@gmail.com) PHONES: 787-994-2203 / 787-607-8965

GES 2023- 017	XRF Serial Number: 101094	Project: Public Plaza Roman Baldorioty de Castro & Road PR-14 in Juana Diaz, PR	Client: TCM Group	LBP Inspector: Mr. Angel M. Rivera	Date: March 1, 2023	Page 21/36	
Sample ID	Functional Space	Component	Side	Substrate	XRF Reading (mg/cm ²)	Result Pos./ Neg.	Approx. Sq. ft./Ln. Ft.
26	Plaza	Curb	North Side	Concrete	1.6	Pos.	815 Ln. Ft. Approx.
27	Plaza	Curb	West Side	Concrete	1.6	Pos.	
28	Plaza	Curb	South Side	Concrete	1.6	Pos.	
29	Plaza	Curb	Calle Federico Degetau Side	Concrete	1.8	Pos.	1,784 Ln. Ft. Approx.
30	Plaza	Curb	Calle Muñoz Rivera Side	Concrete	2.1	Pos.	
31	Plaza	Curb	Calle Comercio Side	Concrete	2.1	Pos.	
32	Plaza	Curb	Calle Mariano Abril	Concrete	1.9	Pos.	
33	Plaza	Planter	North Side	Concrete	0.01	Neg.	
34	Plaza	Planter	North Side	Concrete	0.01	Neg.	
35	Plaza	Planter	North Side	Concrete	0.01	Neg.	
36	Plaza	Planter	South Side	Concrete	0.01	Neg.	
37	Plaza	Planter	South	Concrete	0.01	Neg.	
38	Plaza	Planter	South	Concrete	0.01	Neg.	
39	Plaza	Bench	North	Metal	0.01	Neg.	
40	Plaza	Bench	North	Metal	0.01	Neg.	
41	Plaza	Bench	North	Metal	0.01	Neg.	
42	Plaza	Bench	North Side	Metal	0.01	Neg.	



GLOBAL ENVIRONMENTAL SERVICES LLC

Asbestos & Lead Based Paint Survey/Environmental Consultants Services/Industrial Hygiene/Indoor Air Quality
 RRS BOX 1995 PMB 313 BAYAMON, PR 00956 [EM@IL: globalespr@gmail.com](mailto:EM@IL:globalespr@gmail.com) PHONES: 757-994-2203 / 757-607-8965

GES 2023- 017	XRF Serial Number: 101094	Project: Public Plaza Roman Baldorioty de Castro & Road PR-14 in Juana Diaz, PR	Client: TCM Group	LBP Inspector: Mr. Angel M. Rivera	Date: March 1, 2023	Page 22/36	
Sample ID	Functional Space	Component	Side	Substrate	XRF Reading (mg/cm ²)	Result Pos./ Neg.	Approx. Sq. ft./Ln. Ft.
43	Plaza	Bench	North Side	Metal	0.01	Neg.	
44	Plaza	Bench	North Side	Metal	0.01	Neg.	
45	Plaza	Bench	North	Metal	0.01	Neg.	
46	Plaza	Bench	North	Metal	0.01	Neg.	
47	Plaza	Bench	North	Metal	0.01	Neg.	
48	Plaza	Bench	North	Metal	0.01	Neg.	
49	Plaza	Bench	North Side	Metal	0.01	Neg.	
50	Plaza	Bench	North Side	Metal	0.01	Neg.	
51	Plaza	Bench	North Side	Metal	0.01	Neg.	
52	Plaza	Bench	North Side	Metal	0.01	Neg.	
53	Plaza	Bench	North Side	Metal	0.01	Neg.	
54	Plaza	Bench	North Side	Metal	0.01	Neg.	
55	Plaza	Bench	North Side	Metal	0.01	Neg.	
56	Plaza	Bench	North Side	Metal	0.01	Neg.	
57	Plaza	Bench	North Side	Metal	0.01	Neg.	
58	Plaza	Bench	North	Metal	0.01	Neg.	
59	Plaza	Bench	South	Metal	0.01	Neg.	
60	Plaza	Bench	South	Metal	0.01	Neg.	
61	Plaza	Bench	South	Metal	0.01	Neg.	
62	Plaza	Bench	South Side	Metal	0.01	Neg.	



Asbestos & Lead Based Paint Survey/Environmental Consultants Services/Industrial Hygiene/Indoor Air Quality
 RRS BOX 1995 PMB 313 BAYAMON, PR 00956 [EMAIL: globalespr@gmail.com](mailto:globalespr@gmail.com) [PHONES: 787-994-2203 / 787-607-8965](tel:787-994-2203)

GES 2023- 017	XRF Serial Number: 101094	Project: Public Plaza Roman Baldorioty de Castro & Road PR-14 in Juana Diaz, PR	Client: TCM Group	LBP Inspector: Mr. Angel M. Rivera	Date: March 1, 2023	Page 23/36	
Sample ID	Functional Space	Component	Side	Substrate	XRF Reading (mg/cm ²)	Result Pos./ Neg.	Approx. Sq. ft./Ln. Ft.
63	Plaza	Bench	South Side	Metal	0.01	Neg.	
64	Plaza	Bench	South Side	Metal	0.01	Neg.	
65	Plaza	Bench	South Side	Metal	0.01	Neg.	
66	Plaza	Bench	South	Metal	0.01	Neg.	
67	Plaza	Bench	South	Metal	0.01	Neg.	
68	Plaza	Bench	South	Metal	0.01	Neg.	
69	Plaza	Bench	South	Metal	0.01	Neg.	
70	Plaza	Bench	South Side	Metal	0.01	Neg.	
71	Plaza	Bench	South Side	Metal	0.01	Neg.	
72	Plaza	Bench	South Side	Metal	0.01	Neg.	
73	Plaza	Bench	South Side	Metal	0.01	Neg.	
74	Plaza	Bench	South Side	Metal	0.01	Neg.	
75	Plaza	Bench	South Side	Metal	0.01	Neg.	
76	Plaza	Bench	South Side	Metal	0.01	Neg.	
77	Plaza	Bench	South Side	Metal	0.01	Neg.	
78	Plaza	Bench	South	Metal	0.01	Neg.	
79	Plaza	Fountain	Center	Concrete	0.01	Neg.	
80	Plaza	Fountain	Center	Concrete	0.01	Neg.	
81	Plaza	Fountain	Center	Concrete	0.01	Neg.	
82	Plaza	Fountain	Center Side	Concrete	0.01	Neg.	



GLOBAL ENVIRONMENTAL SERVICES LLC

Asbestos & Lead Based Paint Survey/Environmental Consultants Services/Industrial Hygiene/Indoor Air Quality
 RRS BOX 1995 PNB 313 BAYAMON, PR 00956 [EM@IL: globalespr@gmail.com](mailto:EM@IL:globalespr@gmail.com) PHONES: 787-994-2203 / 787-607-8965

GES 2023- 017	XRF Serial Number: 101094	Project: Public Plaza Roman Baldorioty de Castro & Road PR-14 in Juana Diaz, PR	Client: TCM Group	LBP Inspector: Mr. Angel M. Rivera	Date: March 1, 2023	Page 24/36	
Sample ID	Functional Space	Component	Side	Substrate	XRF Reading (mg/cm ²)	Result Pos./ Neg.	Approx. Sq. ft./Ln. Ft.
83	Plaza	Light Pole	North	Metal	0.02	Neg.	
84	Plaza	Light Pole	North	Metal	0.02	Neg.	
85	Plaza	Light Pole	North	Metal	0.02	Neg.	
86	Plaza	Light Pole	North	Metal	0.02	Neg.	
87	Plaza	Light Pole	North	Metal	0.02	Neg.	
88	Plaza	Light Pole	North Side	Metal	0.02	Neg.	
89	Plaza	Light Pole	North Side	Metal	0.02	Neg.	
90	Plaza	Light Pole	North Side	Metal	0.02	Neg.	
91	Plaza	Light Pole	North Side	Metal	0.02	Neg.	
92	Plaza	Light Pole	North Side	Metal	0.02	Neg.	
93	Plaza	Light Pole	South Side	Metal	0.02	Neg.	
94	Plaza	Light Pole	South Side	Metal	0.02	Neg.	
95	Plaza	Light Pole	South Side	Metal	0.02	Neg.	
96	Plaza	Light Pole	South Side	Metal	0.02	Neg.	
97	Plaza	Light Pole	South	Metal	0.02	Neg.	
98	Plaza	Light Pole	South	Metal	0.02	Neg.	
99	Plaza	Light Pole	South	Metal	0.02	Neg.	
100	Plaza	Light Pole	South	Metal	0.02	Neg.	
101	Plaza	Light Pole	South	Metal	0.02	Neg.	
102	Plaza	Light Pole	South Side	Metal	0.02	Neg.	



Asbestos & Lead Based Paint Survey/Environmental Consultants Services/Industrial Hygiene/Indoor Air Quality
 RRS BOX 1995 PMB 313 BAYAMON, PR 00956 [EM@IL: globalespr@gmail.com](mailto:EM@IL:globalespr@gmail.com) PHONES: 787-994-2203 / 787-607-8965

GES 2023- 017	XRF Serial Number: 101094	Project: Public Plaza Roman Baldorioty de Castro & Road PR-14 in Juana Diaz, PR	Client: TCM Group	LBP Inspector: Mr. Angel M. Rivera	Date: March 1, 2023	Page 25/36	
Sample ID	Functional Space	Component	Side	Substrate	XRF Reading (mg/cm ²)	Result Pos./ Neg.	Approx. Sq. ft./Ln. Ft.
103	Plaza	Garbage Can	North Side	Metal	0.02	Neg.	
104	Plaza	Garbage Can	North Side	Metal	0.02	Neg.	
105	Plaza	Garbage Can	South Side	Metal	0.02	Neg.	
106	Plaza	Garbage Can	South Side	Metal	0.02	Neg.	
107	Storage Exterior	Wall	A	Metal	0.01	Neg.	
108	Storage Exterior	Wall	A	Concrete	0.01	Neg.	
109	Storage Exterior	Wall	B	Concrete	0.01	Neg.	
110	Storage Exterior	Wall	C	Concrete	0.02	Neg.	
111	Storage Exterior	Wall	D	Concrete	0.02	Neg.	
112	Storage Exterior	Plate	D	Metal	0.03	Neg.	
113	Storage 1	Door	D	Metal	0.02	Neg.	
114	Storage 1	Door Frame	D	Metal	0.02	Neg.	
115	Storage 1	Wall	A	Wood	0.01	Neg.	
116	Storage 1	Wall	B	Concrete	0.01	Neg.	
117	Storage 1	Wall	C	Concrete	0.02	Neg.	
118	Storage 1	Wall	D	Concrete	0.02	Neg.	
119	Storage 1	Floor	Floor	Concrete	0.02	Neg.	
120	Storage 1	Ceiling	Top	Concrete	0.01	Neg.	
121	Storage 2	Door	D	Wood	0.02	Neg.	
122	Storage 2	Door Frame	D	Wood	0.02	Neg.	
123	Storage 2	Wall	A	Concrete	0.01	Neg.	
124	Storage 2	Wall	B	Concrete	0.01	Neg.	
125	Storage 2	Wall	C	Concrete	0.02	Neg.	
126	Storage 2	Wall	D	Wood	0.02	Neg.	



Asbestos & Lead Based Paint Survey/Environmental Consultants Services/Industrial Hygiene/Indoor Air Quality
 RRS BOX 1995 PMB 313 BAYAMON, PR 00956 [EM@IL: globalespr@gmail.com](mailto:EM@IL:globalespr@gmail.com) PHONES: 787-994-2203 / 787-607-8965

GES 2023- 017	XRF Serial Number: 101094	Project: Public Plaza Roman Baldorioty de Castro & Road PR-14 in Juana Diaz, PR	Client: TCM Group	LBP Inspector: Mr. Angel M. Rivera	Date: March 1, 2023	Page 26/36	
Sample ID	Functional Space	Component	Side	Substrate	XRF Reading (mg/cm ²)	Result Pos./ Neg.	Approx. Sq. ft./Ln. Ft.
127	Storage 2	Floor	Floor	Concrete	0.02	Neg.	
128	Storage 2	Ceiling	Top	Concrete	0.01	Neg.	
129	East Parking	Curb	North Side	Concrete	3.0	Pos.	138 Ln. Ft. Approx.
130	East Parking	Curb	East Side	Concrete	1.8	Pos.	
131	East Parking	Curb	South Side	Concrete	2.5	Pos.	
132	East Parking	Curb	West Side	Concrete	2.0	Pos.	
133	West Parking	Curb	North Side	Concrete	1.8	Pos.	524 Ln. Ft. Approx.
134	West Parking	Curb	South Side	Concrete	3.4	Pos.	
135	West Parking	Curb	West Side	Concrete	3.0	Pos.	
136	West Parking	Curb	East Side	Concrete	0.01	Neg.	
137	Calle F. Degetau	Ramp	Floor	Concrete	0.01	Neg.	
138	Calle F. Degetau	Ramp	Floor	Concrete	0.01	Neg.	
139	Calle F. Degetau	Ramp	Floor	Concrete	0.01	Neg.	
140	Calle F. Degetau	Ramp	Floor	Concrete	0.01	Neg.	
141	Calle F. Degetau	Ramp	Floor	Concrete	0.01	Neg.	
142	Calle F. Degetau	Ramp	Floor	Concrete	0.01	Neg.	
143	Calle Muñoz Rivera	Ramp	Floor	Concrete	0.01	Neg.	
144	Calle Muñoz Rivera	Ramp	Floor	Concrete	0.01	Neg.	
145	Calle Muñoz Rivera	Ramp	Floor	Concrete	0.01	Neg.	
146	Calle Muñoz Rivera	Ramp	Floor	Concrete	0.01	Neg.	
147	Calle Comercio	Ramp	Floor	Concrete	0.01	Neg.	
148	Calle Comercio	Ramp	Floor	Concrete	0.01	Neg.	
149	Calle Comercio	Ramp	Floor	Concrete	0.01	Neg.	



Asbestos & Lead Based Paint Survey/Environmental Consultants Services/Industrial Hygiene/Indoor Air Quality
 BRS BOX 1995 PMB 313 BAYAMON, PR 00956 [EMAIL: globalespr@gmail.com](mailto:globalespr@gmail.com) PHONES: 787-994-2203 / 787-607-8965

GES 2023- 017	XRF Serial Number: 101094	Project: Public Plaza Roman Baldorioty de Castro & Road PR-14 in Juana Diaz, PR	Client: TCM Group	LBP Inspector: Mr. Angel M. Rivera	Date: March 1, 2023	Page 27/36	
Sample ID	Functional Space	Component	Side	Substrate	XRF Reading (ng/cm ²)	Result Pos./ Neg.	Approx. Sq. ft./Ln. Ft.
150	Calle Comercio	Ramp	Floor	Concrete	0.01	Neg.	
151	Calle Comercio	Ramp	Floor	Concrete	0.01	Neg.	
152	Calle Mariano Abril	Ramp	Floor	Concrete	0.01	Neg.	
153	Calle Mariano Abril	Ramp	Floor	Concrete	0.01	Neg.	
154	Calle Mariano Abril	Ramp	Floor	Concrete	0.01	Neg.	
155	Calle Mariano Abril	Ramp	Floor	Concrete	0.01	Neg.	
156	Road PR-14	Curb	Right Side	Concrete	2.0	Pos.	3,699 Ln. Ft. Approx.
157	Road PR-14	Curb	Left Side	Concrete	1.7	Pos.	
158	Road PR-14	Curb	Right Side	Concrete	2.1	Pos.	
159	Road PR-14	Curb	Left Side	Concrete	1.7	Pos.	
160	Road PR-14	Curb	Right Side	Concrete	1.7	Pos.	
161	Road PR-14	Curb	Left Side	Concrete	1.8	Pos.	
162	Road PR-14	Curb	Right Side	Concrete	1.7	Pos.	
163	Road PR-14	Curb	Left Side	Concrete	1.9	Pos.	
164	Calibrate				1.0		
165	Calibrate				0.9		
166	Calibrate				0.9		



GLOBAL ENVIRONMENTAL SERVICES LLC

Asbestos & Lead Based Paint Survey/Environmental Consultants Services/Industrial Hygiene/Indoor Air Quality
RRS BOX 1995 PMB 313 BAYAMON, PR 00956 [EMAIL: globalespr@gmail.com](mailto:globalespr@gmail.com) [PHONES: 787-994-2203 / 787-607-8965](tel:787-994-2203)

ADDENDUM VI

*TABLE SUMMARY OF COMPONENTS WITH
LEAD BASED PAINT*



GLOBAL ENVIRONMENTAL SERVICES LLC

Asbestos & Lead Based Paint Survey/Environmental Consultants Services/Industrial Hygiene/Indoor Air Quality
 BRS BOX 1995 PMB 313 BAYAMON, PR 00956 **EMAIL:** globalespr@gmail.com **PHONES:** 787-994-2203 / 787-607-8965

TABLE SUMMARY OF COMPONENTS WITH LEAD BASED PAINT

FUNCTIONAL SPACE	COMPONENT	SIDE	SUBSTRATE	SQ. FT. APPROX.
Comercio Street Federico Degetau Street Muñoz Rivera Street Mariano Abril Street	Concrete Curbs	All Sides	Concrete	2,599 ln.ft. approx.
Road PR-14	Concrete Curbs	All Sides	Concrete	3,699 ln.ft. approx.
East Parking (Plaza Parking)	Concrete Curbs	All Sides	Concrete	138 ln. ft. approx.
West Parking (Church Parking)	Concrete Curbs	All Sides	Concrete	524 ln. ft. approx.



GLOBAL ENVIRONMENTAL SERVICES LLC

Asbestos & Lead Based Paint Survey/Environmental Consultants Services/Industrial Hygiene/Indoor Air Quality
RRS BOX 1995 PMB 313 BAYAMON, PR 00956 [EMAIL: globalespr@gmail.com](mailto:globalespr@gmail.com) [PHONES: 787-994-2203 / 787-607-8965](tel:787-994-2203)

ADDENDUM VII

*PHOTOGRAPHS OF POSITIVE COMPONENTS WITH
LEAD BASED PAINT*



GLOBAL ENVIRONMENTAL SERVICES LLC

Asbestos & Lead Based Paint Survey/Environmental Consultants Services/Industrial Hygiene/Indoor Air Quality
RRS BOX 1995 PMB 313 BAYAMON, PR 00956 [EMAIL: globalespr@gmail.com](mailto:globalespr@gmail.com) [PHONES: 787-994-2203 / 787-607-8965](tel:787-994-2203)



Comercio, Federico, Muñoz Rivera & Mariano Abril Streets & Parkings-
Concrete Curbs with Lead Based Paint



GLOBAL ENVIRONMENTAL SERVICES LLC

Asbestos & Lead Based Paint Survey/Environmental Consultants Services/Industrial Hygiene/Indoor Air Quality
RRS BOX 1995 PMB 313 BAYAMON, PR 00956 [EM@IL: globalespr@gmail.com](mailto:globalespr@gmail.com) PHONES: 787-994-2203 / 787-607-8965



Comercio, Federico, Muñoz Rivera & Mariano Abril Streets & Parkings-
Concrete Curbs with Lead Based Paint





GLOBAL ENVIRONMENTAL SERVICES LLC

Asbestos & Lead Based Paint Survey/Environmental Consultants Services/Industrial Hygiene/Indoor Air Quality
RRS BOX 1995 PMB 313 BAYAMON, PR 00956 [EMAIL: globalespr@gmail.com](mailto:globalespr@gmail.com) [PHONES: 787-994-2203 / 787-607-8965](tel:787-994-2203)



Comercio, Federico, Muñoz Rivera & Mariano Abril Streets & Parkings-
Concrete Curbs with Lead Based Paint





GLOBAL ENVIRONMENTAL SERVICES LLC

Asbestos & Lead Based Paint Survey/Environmental Consultants Services/Industrial Hygiene/Indoor Air Quality
RRS BOX 1995 PMB 313 BAYAMON, PR 00956 [EMAIL: globalespr@gmail.com](mailto:globalespr@gmail.com) [PHONES: 787-994-2203 / 787-607-8965](tel:787-994-2203)

ADDENDUM VIII

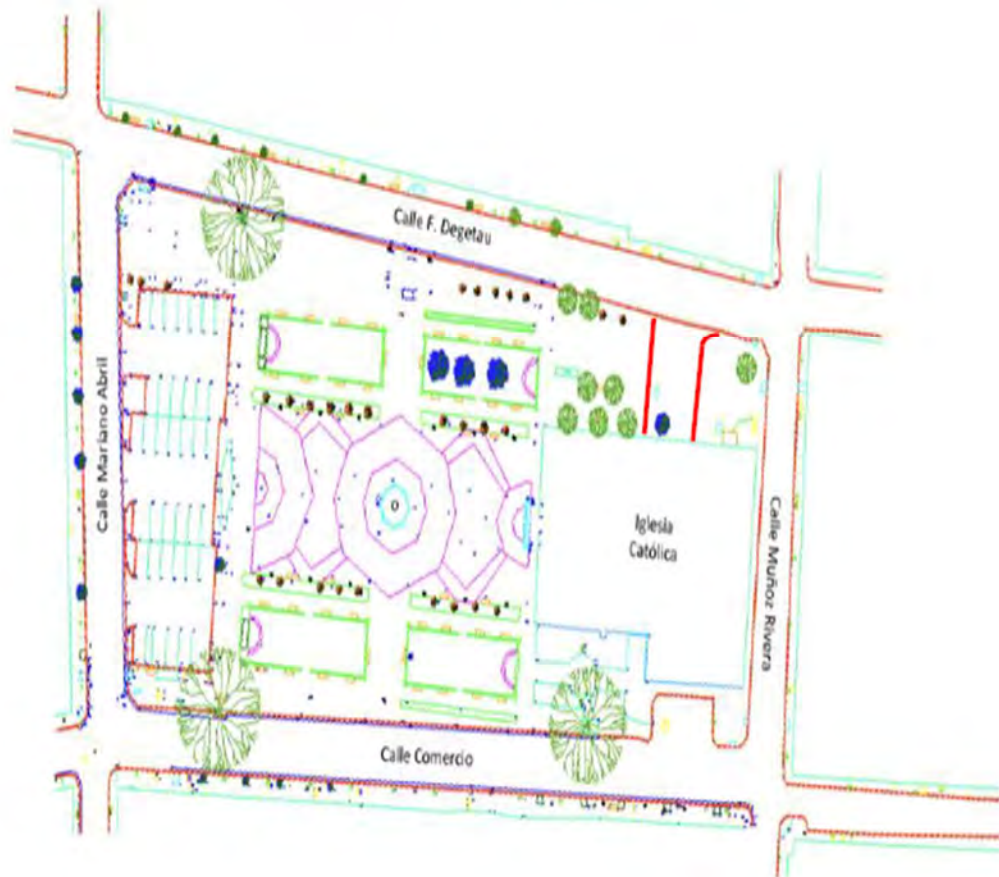
WHERE THE POSITIVE COMPONENTS AREA FOUND
WITH LEAD BASED PAINT



GLOBAL ENVIRONMENTAL SERVICES LLC

Asbestos & Lead Based Paint Survey/Environmental Consultants Services/Industrial Hygiene/Indoor Air Quality
RRS BOX 1995 PMB 313 BAYAMON, PR 00956 [EMAIL: globalespr@gmail.com](mailto:globalespr@gmail.com) [PHONES: 787-994-2203 / 787-607-8965](tel:787-994-2203)

LBP POSITIVE RESULTS LOCATIONS



NOT TO SCALE

Page 35/36

 = CONCRETE CURBS WITH LBP



GLOBAL ENVIRONMENTAL SERVICES LLC

Asbestos & Lead Based Paint Survey/Environmental Consultants Services/Industrial Hygiene/Indoor Air Quality
RRS BOX 1995 PMB 313 BAYAMON, PR 00956 [EM@IL: globalespr@gmail.com](mailto:globalespr@gmail.com) [PHONES: 787-994-2203 / 787-607-8965](tel:787-994-2203)

ADDENDUM VI

CONCLUSION

Global Environmental Services LLC recommends the owner or representative of owner to hire a Company Certified in the Department of Natural and Environmental Resources (DNER) of Puerto Rico to mitigate and dispose positive areas with Lead Based Paint if is going to touch or demolish the aforementioned areas.


Appendix C

Endangered Species



April 10, 2024

Robert Tawes
Division Supervisor, Environmental Review
U.S. Fish and Wildlife Service
Southeast Regional Office
1875 Century Boulevard
Atlanta, GA 30345
Email: Caribbean_es@fws.gov; robert_tawes@fws.gov

 Based on the information provided, we determined the project proposed qualifies for the blanket clearance letter. Nevertheless, if the project is modified this office should be contacted concerning the need for the initiation of consultation under section 7 of Endangered Species Act of 1973.

Reviewer DAMARIS ROMAN RUIZ Digitally signed by DAMARIS ROMAN RUIZ
Date: 2024.05.21 14:56:04 -04'00'

ROBERT TAWES Digitally signed by ROBERT TAWES
Date: 2024.05.23 15:01:37 -04'00'
Acting Caribbean ES Field Supervisor

**RE: Puerto Rico Department of Housing / City Revitalization Program
PR-CRP-000437 – Ruta de los Tres Santos Reyes
Endangered Species Concurrence for NLAA Determination**

Dear Mr. Tawes:

The Puerto Rico Department of Housing (PRDOH) is requesting an informal consultation under Section 7 (a)(2) of the Endangered Species Act (Act) (87 Stat. 884, as amended; 16 United States Code 1531 *et seq.*), and in accordance with the Fish and Wildlife Coordination Act (47 Stat. 401, as amended; 16 U.S.C. 661 *et seq.*) for the proposed project PR-CRP-000437, located from PR-14 Road Km 14.7 until Carrión Maduro Street, Juana Díaz, PR 00795; from coordinates 18.05198, -66.50027 to coordinates 18.05312, -66.50588.

The proposed project is part of the City Revitalization Program (CRP) that establish a fund for municipalities to enable a variety of critical recovery activities aimed at reinvigorating urban centers and key community corridors to focus investments, reduce sprawl, and create a symbiotic environment to nurture complimentary investments from the private sector.

This proposed activities for PR-CRP-000437 consist in redesigning the Route of the Holy Kings to be a scenic route focused on one of the greatest traditions of the city of Juana Díaz. The half-mile long route will connect the *Casa Museo de Los Santos Reyes* and the Román Baldorioty de Castro Square through elements alluding to the Epiphany's festival. The project will redesign the experience for locals and visitors along Comercio Street (PR-14) and Carrión Maduro Street (PR-570) presenting history and tradition through art and architecture. The project includes the installation of stamps with paving and painting at strategic points and intersections of the roads, and elements with information alluding to the tradition of the Holy Kings and their history in the city. Also, it will include buildings to

represent, through art, tradition with murals and mosaics. The proposed action will not have an additional impact on the footprint of the site.

Using the Information for Planning and Consultation (IPaC) system, we have determined that the proposed project lies within the range of the following federally listed species and critical habitats:

Name of the Species	Threatened/Endangered/Candidate
Puerto Rican Boa (<i>Chilabothrus inornatus</i>)	Endangered
Critical Habitat	
There are no critical habitats at this location.	

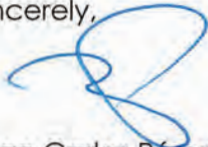
Based on the nature of the project, scope of work, information available, and a careful analysis of the Information for Planning and Consultation (IPaC) system we have made the following effects determinations:

Name of the Species	Effect Determination	Conservation Measures that will be implemented
Puerto Rican Boa (<i>Chilabothrus inornatus</i>)	Not Likely to Adversely Affect (NLAA)	USFWS Puerto Rican Boa Conservation Measures 2023
Critical Habitats		
There are no critical habitats at this location.		

In order to complete the informal consultation process, we are requesting your concurrence for the NLAA determination for the Puerto Rican included in this letter. Attached to this letter, we are including the documents used to reach our effect determinations for the listed species.

Thank you in advance for your consideration of this issue.

Sincerely,



Juan Carlos Pérez Bofill, PE, MEng.
 Director – Disaster Recovery, CDBG-DR Program
environmentcdbg@vivienda.pr.gov | 787.274.2527 ext. 4320

Attachments:

Appendix A: Project's Scope of Work

Appendix B:

Figure 1 – Location Site Map

Figure 2 – Critical Habitat Map

Figure 3 – Wetlands Map

Figure 4 – Project Location Map

Appendix C: Information for Planning and Consultation (IPaC)

Appendix D: Site Photos

C: Angel G. López-Guzmán, MSEM
Deputy Director
Permits and Environmental Compliance Division

Appendix A:
Project's Scope of Work



**AUTONOMOUS MUNICIPALITY OF JUANA DÍAZ
(787) 837-2185**

SOW

Proposed Project Description

Project ID: PR-CRP-000437

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Address: Starting point: House Museum of the Holy Kings PR 14, km 139 (Commerce Street) Final point: Roman Baldorioty de Castro Public Square Calle Carrion Maduro; Municipality of Juana Díaz, PR 00795

Registration #: Improvements to the Ruta de Los Tres Santos Reyes did not have a no. cadaster number. It's a vial zone.

Coordinates: Starting Point (Latitude 18.05198°, Longitude -66.50027) to End Point (Latitude 18.05312°, Longitude -66.50588).

Estimate: \$ 2,445,201.80

Overview:

With the development of the Revitalization project of Improvements to the Ruta de Los Tres Santos Reyes intends to establish a comprehensive revitalization strategy seeking that heritage values become its main driving force economic and social development. In addition to restoring its heritage, revitalizing the urban center means incorporating social and cultural facilities, which seeks to improve habitability for be able to attract residents and visitors to the area.

This great transformation implies, among other changes, a redesign of the space to give priority to people and means of healthy mobility, promoting shared and sustainable uses of public space. Wanted to encourage meetings between neighbors and visitors through measures innovative solutions that promote the economic development of local businesses. Pedestrian mobility will be especially promoted through the transformation of Improvements to the Ruta de Los Tres Santos Reyes.

Improvements to the Ruta de Los Tres Santos Reyes

The Route of the Holy Kings will be a scenic route focused on one of the greatest traditions of the city. This half-mile long route will connect the Casa Museo de Los Santos Reyes and the Plaza Román Baldorioty de Castro publishes through elements alluding to the Epiphany festival. The project will redesign the experience for locals and visitors along Calle Comercio (PR-14) and Calle Carrión Maduro (PR-570) presenting history and tradition through art and architecture. The project includes the installation of stamps with paving and painting at strategic points and intersections of the roads. Elements with information alluding to the tradition of the Holy Kings and their history in the city. Likewise, it They will include buildings to represent, through art, tradition with murals and mosaics. According to the maps of the Joint Regulation, the land plot has a VIA (Road Area according to the Planning Board portal) (SEE Exhibit 2), and a UI (Urban Land) classification (See Exhibit 3). The project location is within Zone X (Areas determined to be outside the 0.2% annual chance floodplain) - Base Flood Elevation Determined in FEMA panel 72000C1670H dated 11/18 /2009. (See Exhibit 4) and Critical Habitat Map (See Exhibit 5).



**AUTONOMOUS MUNICIPALITY OF JUANA DÍAZ
(787) 837-2185**

Existing Conditions and Trends

The proposed project is in the urban area of the Juana Díaz municipality. In this area there are areas of shops, schools, public square, restaurants, cafeterias, etc. in a state of economic recession due to deterioration caused by atmospheric events. The development of the project will promote tourism and boost the local economy. The development of the project will promote tourism and boost the local economy. A revitalization to promote development in different economic and social aspects.

Appendix B:
Figures



AUTONOMOUS MUNICIPALITY OF JUANA DÍAZ
(787) 837-2185

Location Site Map

Improvements to the Ruta de Los Tres Santos Reyes, Juana Díaz, PR, Coordinates: Starting Point (Latitude 18.05198°, Longitude -66.50027) to End Point (Latitude 18.05312°, Longitude -66.50588).



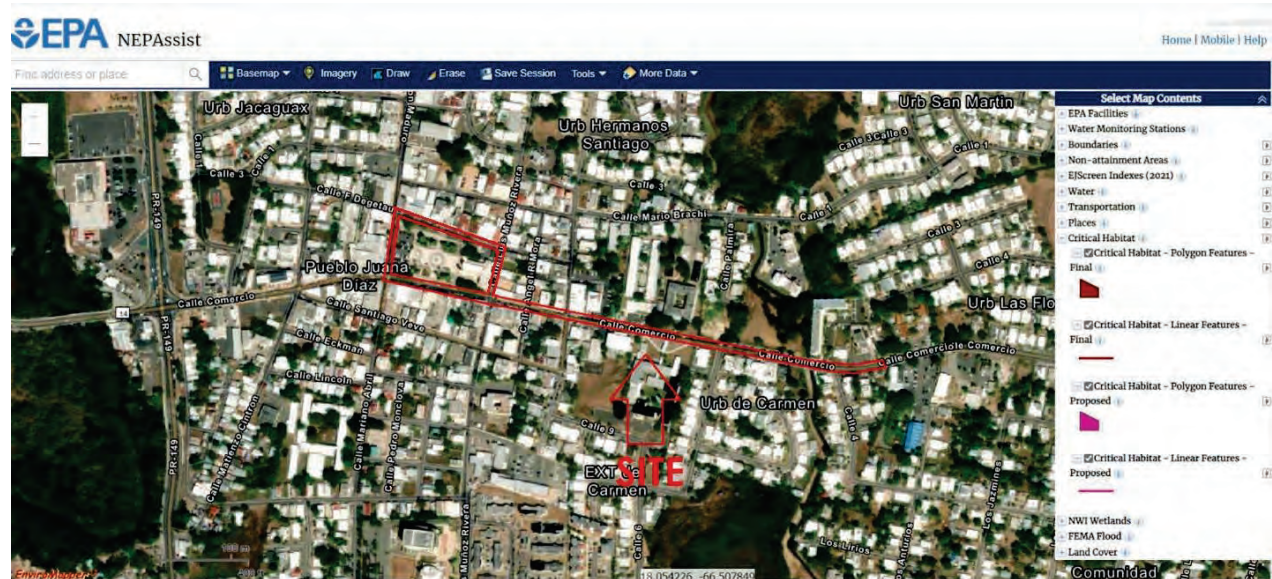


AUTONOMOUS MUNICIPALITY OF JUANA DÍAZ (787) 837-2185

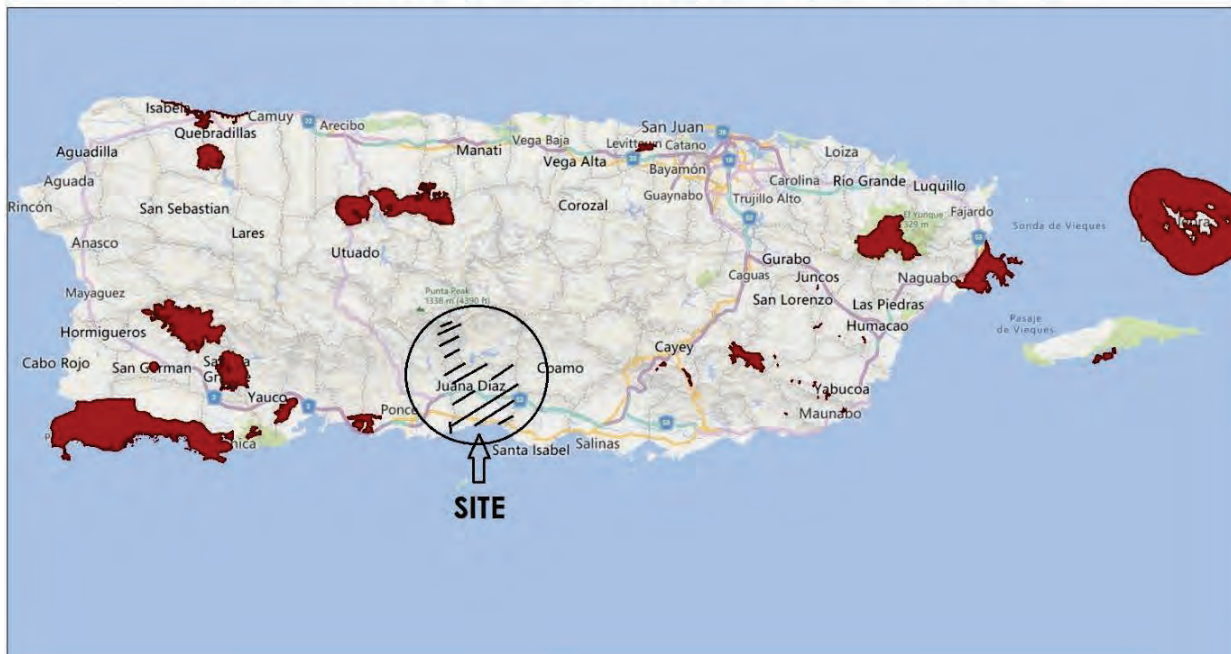
Critical Habitat Map

Improvements to the Román Baldorioty de Castro Public Plaza, Juana Díaz, PR,
Coordinates (Longitude 18.053032° , Latitude -66.505785°)

[NEPAssist](#)

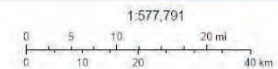


Improvements to the Román Baldorioty de Castro Public Plaza, Juana Díaz



October 4, 2023

 Critical Habitat - Polygon Features - Final








© 2023 Microsoft Corporation. © 2023 TomTom



January 15, 2024

Wetlands

-  Estuarine and Marine Deepwater
-  Estuarine and Marine Wetland

-  Freshwater Emergent Wetland
-  Freshwater Forested/Shrub Wetland
-  Freshwater Pond

-  Lake
-  Other
-  Riverine

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.



**AUTONOMOUS MUNICIPALITY OF JUANA DÍAZ
(787) 837-2185**

Project Location

The proposed project is in the vicinity of the mayor's house and the town hall of the municipality of Juana Díaz, Puerto Rico.

Figure 1. General Project Location (Municipalities map, US Census Bureau 2000)



Appendix C:

Information for Planning and Consultation (IPaC)



AUTONOMOUS MUNICIPALITY OF JUANA DÍAZ
(787) 837-2185



United States Department of the Interior



FISH AND WILDLIFE SERVICE
Caribbean Ecological Services Field Office
Post Office Box 491
Boqueron, PR 00622-0491
Phone: (787) 834-1600 Fax: (787) 851-7440
Email Address: CARIBBEAN_ES@FWS.GOV

In Reply Refer To:

October 12, 2023

Project Code: 2024-0004128

Project Name: Improvements to the Ruta de Los Tres Santos Reyes, Juana Diaz, PR

Subject: List of threatened and endangered species that may occur in your proposed project location or may be affected by your proposed project

To Whom It May Concern:

THE FOLLOWING SPECIES LIST IS NOT A SECTION 7 CONSULTATION. PLEASE CONTACT OUR OFFICE TO COMPLETE THE CONSULTATION PROCESS

The purpose of the Endangered Species Act (Act) is to provide a means whereby threatened, and endangered species and the ecosystems upon which they depend may be conserved. Under sections 7(a)(1) and 7(a)(2) of the Act and its implementing regulations (50 C.F.R. 402 et seq.), Federal agencies are required to utilize their authorities to carry out programs for the conservation of threatened and endangered species and to determine whether projects may affect those species and/or their designated critical habitat.

Federal agencies are required to "request of the Secretary of Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action". The enclosed species list provides information to assist with the U.S. Fish and Wildlife Service (Service) consultation process under section 7 of the Act. However, **the enclosed species list does not complete the required consultation process**. The species list identifies threatened, endangered, proposed and candidate species, as well as proposed and designated critical habitats, that may occur within the boundary of your proposed project and/or may be affected by your proposed project. A discussion between the Federal agency and the Service should include what types of listed species may occur in the proposed action area and what effect the proposed action may have on those species. This process initiates informal consultation.

Once a species list is obtained for the proposed project, an effect determination for endangered and threatened species should be made. The applicant could make an effect determination by using available keys on IPaC for specific species. For species with no determination keys, the applicant should request concurrence from the Service by sending a project package



**AUTONOMOUS MUNICIPALITY OF JUANA DÍAZ
(787) 837-2185**

10/12/2023

2

to caribbean_es@fws.gov. To obtain guidance for completing this process and the minimum requirements for project packages, please visit:

<https://www.fws.gov/sites/default/files/documents/consultation-under-section-7-of-the-endangered-species-act-with-the-caribbean-ecological%20Services-field-office-template-letter.pdf>

When a federal agency, after discussions with the Service, determines that the proposed action is not likely to adversely affect any listed species, or adversely modify any designated critical habitat, and the Service concurs, the informal consultation is complete, and the proposed project moves ahead. If the proposed action is suspected to affect a listed species or modify designated critical habitat, the Federal agency may then prepare a Biological Assessment (B.A.) to assist in its determination of the project's effects on species and their habitat. However, a B.A. is required for construction projects (or other undertakings having similar physical impacts) that are major Federal actions significantly affecting the quality of the human environment as defined in the National Environmental Policy Act (42 U.S.C. 4332(2) (c)). For projects other than major construction activities, the Service suggests that a biological evaluation similar to a B.A. where the agency provides the Service with an evaluation on the likely effects of the action to determine whether the project may affect listed or proposed species and/or designated or proposed critical habitat. Recommended contents of a B.A. are described at 50 CFR 402.12.

If a federal agency determines, based on its B.A. or biological evaluation, that listed species and/or designated critical habitat may be affected by the proposed project, the agency is required to further consult with the Service pursuant to 50 CFR 402. In addition, the Service recommends that candidate species, proposed species, and proposed critical habitat be addressed within the consultation process. More information on the regulations and procedures for section 7 consultation, including the role of permit or license applicants, can be found in the "Endangered Species Consultation Handbook" at:

<https://www.fws.gov/sites/default/files/documents/endangered-species-consultation-handbook.pdf>

New information based on updated surveys, changes in the abundance and distribution of species, changed habitat conditions, or other factors could change this list. Please feel free to contact us if you need more current information or assistance regarding the potential impacts to federally proposed, listed, and candidate species.

This list is provided pursuant to Section 7 of the Endangered Species Act and fulfills the requirement for Federal agencies to "request of the Secretary of the Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action". Please use this list to determine whether your project requires consultation and to make your effects determination. For more guidance, use the Guideline for Consultation under Section 7 of the Endangered Species Act with the Caribbean Ecological Services Field Office by clicking [here](#).

This species list is provided by:



**AUTONOMOUS MUNICIPALITY OF JUANA DÍAZ
(787) 837-2185**

10/13/2023

Caribbean Ecological Services Field Office
caribbean_es@fws.gov
Post Office Box 491
Boqueron, PR 00622-0491
(786) 244-0081

Attachment(s):

- Official Species List
- USFWS National Wildlife Refuges and Fish Hatcheries
- Bald & Golden Eagles
- Migratory Birds
- Wetlands

OFFICIAL SPECIES LIST

This list is provided pursuant to Section 7 of the Endangered Species Act, and fulfills the requirement for Federal agencies to "request of the Secretary of the Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action".

This species list is provided by:

Caribbean Ecological Services Field Office
Post Office Box 491
Boqueron, PR 00622-0491
(787) 834-1600



**AUTONOMOUS MUNICIPALITY OF JUANA DÍAZ
(787) 837-2185**

10/12/2023

4

PROJECT SUMMARY

Project Code: 2024-0004128
Project Name: Improvements to the Ruta de Los Tres Santos Reyes, Juana Díaz, PR
Project Type: Government / Municipal (Non-Military) Construction
Project Description: The Route of the Holy Kings will be a scenic route focused on one of the greatest traditions of the city. This half-mile long route will connect the Casa Museo de Los Santos Reyes and the Plaza Román Baldorioty de Castro publishes through elements alluding to the Epiphany festival. The project will redesign the experience for locals and visitors along Calle Comercio (PR-14) and Calle Carrión Maduro (PR-570) presenting history and tradition through art and architecture. The project includes the installation of stamps with paving and painting at strategic points and intersections of the roads. Elements with information alluding to the tradition of the Holy Kings and their history in the city. Likewise, it They will include buildings to represent, through art, tradition with murals and mosaics.

Project Location:

The approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/@18.052240599999998,-66.50369017159998,14z>



Counties: Juana Díaz County, Puerto Rico



10/12/2023

ENDANGERED SPECIES ACT SPECIES

There is a total of 1 threatened, endangered, or candidate species on this species list.

Species on this list should be considered in an effects analysis for your project and could include species that exist in another geographic area. For example, certain fish may appear on the species list because a project could affect downstream species.

IPaC does not display listed species or critical habitats under the sole jurisdiction of NOAA Fisheries¹, as USFWS does not have the authority to speak on behalf of NOAA and the Department of Commerce.

See the "Critical habitats" section below for those critical habitats that lie wholly or partially within your project area under this office's jurisdiction. Please contact the designated FWS office if you have questions.

1. [NOAA Fisheries](#), also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

REPTILES

NAME

STATUS

Puerto Rican Boa *Chilabothrus inornatus*

Endangered

No critical habitat has been designated for this species.

Species profile: <https://ecos.fws.gov/ecp/species/6628>

General project design guidelines:

<https://ipac.ecosphere.fws.gov/project/MPSEQI7XAZH4TEL32IL3RO7KF4/documents/generated/6941.pdf>

CRITICAL HABITATS

THERE ARE NO CRITICAL HABITATS WITHIN YOUR PROJECT AREA UNDER THIS OFFICE'S JURISDICTION.

YOU ARE STILL REQUIRED TO DETERMINE IF YOUR PROJECT(S) MAY HAVE EFFECTS ON ALL ABOVE LISTED SPECIES.

USFWS NATIONAL WILDLIFE REFUGE LANDS AND FISH HATCHERIES

Any activity proposed on lands managed by the [National Wildlife Refuge](#) system must undergo a 'Compatibility Determination' conducted by the Refuge. Please contact the individual Refuges to discuss any questions or concerns.

THERE ARE NO REFUGE LANDS OR FISH HATCHERIES WITHIN YOUR PROJECT AREA.



10/12/2023

8

BALD & GOLDEN EAGLES

Bald and golden eagles are protected under the Bald and Golden Eagle Protection Act¹ and the Migratory Bird Treaty Act².

Any person or organization who plans or conducts activities that may result in impacts to bald or golden eagles, or their habitats³, should follow appropriate regulations and consider implementing appropriate conservation measures, as described below.

1. The [Bald and Golden Eagle Protection Act](#) of 1940.
2. The [Migratory Birds Treaty Act](#) of 1918.
3. 50 C.F.R. Sec. 10.12 and 16 U.S.C. Sec. 668(a)

THERE ARE NO BALD AND GOLDEN EAGLES WITHIN THE VICINITY OF YOUR PROJECT AREA.

MIGRATORY BIRDS

Certain birds are protected under the Migratory Bird Treaty Act¹ and the Bald and Golden Eagle Protection Act².

Any person or organization who plans or conducts activities that may result in impacts to migratory birds, eagles, and their habitats³ should follow appropriate regulations and consider implementing appropriate conservation measures, as described below.

1. The [Migratory Birds Treaty Act](#) of 1918.
2. The [Bald and Golden Eagle Protection Act](#) of 1940.
3. 50 C.F.R. Sec. 10.12 and 16 U.S.C. Sec. 668(a)

THERE ARE NO FWS MIGRATORY BIRDS OF CONCERN WITHIN THE VICINITY OF YOUR PROJECT AREA.

WETLANDS

Impacts to [NWI wetlands](#) and other aquatic habitats may be subject to regulation under Section 404 of the Clean Water Act, or other State/Federal statutes.

For more information please contact the Regulatory Program of the local [U.S. Army Corps of Engineers District](#).

Please note that the NWI data being shown may be out of date. We are currently working to update our NWI data set. We recommend you verify these results with a site visit to determine the actual extent of wetlands on site.

RIVERINE

- [R5UBH](#)

Appendix D:
Site Photos



**AUTONOMOUS MUNICIPALITY OF JUANA DÍAZ
(787) 837-2185**

Project images of actual conditions



Comercio Street / PR-14 (in front of the Casa Museo de Los Santos Reyes) Starting point of the route, it will include cobblestones and elements with information.



Commerce Street/PR-14 Section that will include information elements.



Comercio Street/ PR-14 Mora Street intersection Typical intersection in the urban case. Paving stones and information elements will be installed.



AUTONOMOUS MUNICIPALITY OF JUANA DÍAZ
(787) 837-2185



PR-14 intersection Carrión Maduro Street Southwest corner of the Public Plaza, the intervention on Calle Comercio ends. All corners of the Plaza already include paving in the pedestrian crossing. The existing paving will be removed for the installation of the new design.



Calle Carrión Maduro / PR-570 End point of the route, it will include cobblestones and elements with information.

Appendix D
Historic Preservation

Friday, June 27, 2025

Lauren B Poche

269 Avenida Ponce de León, San Juan, PR, 00917

SHPO-CF-02-20-25-05 PR-CRP-000437 (Juana Diaz), Improvements to the Ruta de Los Tres Santos Reyes

Dear Ms. Poche,

We have reviewed the archaeological monitoring plan, dated April 22, 2025, prepared for the above referenced project. The plan is deemed acceptable.

If you have any questions regarding our comments, please do not hesitate to contact our Office.

Sincerely,



Carlos A. Rubio Cancela

State Historic Preservation Officer

CARC/GMO/MB



GOVERNMENT OF PUERTO RICO
DEPARTMENT OF HOUSING

April 30, 2024

Arch. Carlos A. Rubio Cancela

Executive Director
Puerto Rico State Historic Preservation Office
Cuartel de Ballajá, Third Floor
San Juan, Puerto Rico 00901

Re: Authorization to Submit Documents for Consultation

Dear Arch. Rubio Cancela,

The U.S. Department of Housing (HUD) approved the allocations of Community Development Block Grant (CDBG-DR) funds on February 9, 2018. It also approved the allocation of Community Development Block Grant Mitigation (CDBG-MIT) funds on January 27, 2020. The purpose of these allocations is to address unsatisfied needs as a result of Hurricanes Irma and Maria in September 2017; and to carry out strategic and high-impact activities to mitigate disaster risks and reduce future losses.

To comply with the environmental requirements established by HUD, the Department of Housing of Puerto Rico (PRDOH) contracted Horne Federal LLC to provide environmental review services, among others, that will support the objectives of the agenda for both CDBG-DR and CDBG -MIT Programs.

To expedite the processes, Horne Federal LLC, is authorized to submit to the State Historic Preservation Officer, documentation of projects related to both the CDBG-DR and CDBG-MIT on behalf of PRDOH.

Cordially,

Aldo A. Rivera Vázquez, PE

Director
Division of Environmental Permitting and Compliance
Office of Disaster Recovery

June 2, 2025

Carlos A. Rubio Cancela
State Historic Preservation Officer
Puerto Rico State Historic Preservation Office
Cuartel de Ballajá (Tercer Piso)
San Juan, PR 00902-3935

**PUERTO RICO DISASTER RECOVERY, CDBG-DR CITY REVITALIZATION (CITY-REV)
PROGRAM**

**RE: SHPO-CF-02-20-25-05 – PR-CRP-000437 - IMPROVEMENTS TO THE RUTA DE LOS
TRES SANTOS REYES, JUAN DIAZ, PUERTO RICO – ARCHAEOLOGY MONITORING
WORK PLAN SUBMISSION**

Dear Architect Rubio Cancela,

On behalf of the Puerto Rico Department of Housing (PRDOH), we thank you for your letter dated March 21, 202, in response to the submission of documentation for PR-CRP-000437, Improvements to the Ruta de Los Tres Santos Reyes project. The letter stated, "After a review of all the documentation, the PRSHPO agrees with your finding that the proposed project, with the established conditions, will have no adverse effect upon historic properties:

1. All rehabilitations are to be carried out in accordance with the Secretary of the Interior's Standards and Guidelines for Rehabilitation; and
2. Archaeological monitoring during all ground-disturbing activities."

As such, we are submitting the requested Archaeological Monitoring Plan prepared by Archaeologist Fernando Alvarado Muñoz. We are requesting your review of the prepared plan and concurrence that the implementation of the plan is appropriate for the undertaking.

Please contact me with any questions or concerns by email at lauren.poche@horne.com or phone at 225-405-7676.

Kindest regards,

A handwritten signature in cursive script that reads 'Lauren Bair Poche'.


Lauren Bair Poche. M.A.

Architectural Historian, EHP Senior Manager

LBP/KPS

Attachments

PUERTO RICO DEPARTMENT OF HOUSING - CDBG-DR PROGRAM	
CITY REVITALIZATION PROGRAM (CRP)	
ARCHEOLOGICAL MONITORING PLAN	
SUBRECIPIENT: AUTONOMOUS MUNICIPALITY OF JUANA DIAZ	PROJECT ID: PR-CRP-000437
PROJECT NAME: Improvements to the Ruta de Los Tres Santos Reyes	SHPO ID: SHPO-CF-02-20-25
LOCATION: Urban Center, Pueblo Ward, Juana Diaz Puerto Rico (Starting point: Comercio Street (PR-14) km 14.6 until Román Baldorioty de Castro Public Square).	
COORDINATES: Starting Point (Lat. 18.053032, Long. - 66.499713) to End Point (Lat. 18.051440, Long. - 66.505785)	TPID (CADASTER): 366-030-078-03-000, 366-030-079-96-000, 366-030-082-03-000, (366-030-090-34-000, 366-030-090-22-000), 366-030-021-54-000, 366-030-039-49-001, 366-030-037-08-001

TYPE OF ACTIVITY: <input checked="" type="checkbox"/> SUBSTANTIAL REPAIR (RECONSTRUCTION) <input type="checkbox"/> NEW CONSTRUCTION	CONSTRUCTION DATE: PROPERTY AREA (SIZE): 3.35 acres - Streets 8.25 acres – Buildings lots
QUALIFIED ARCHEOLOGIST (NAME): Fernando Alvarado Muñoz 	MONTH/YEAR PREPARED: April 22, 2025

Project Site Photo



This document complies with applicable federal and state laws, regulations, and guidelines, and is consistent with the Secretary of the Interior's (SOI) Guidelines for Archeological Documentation, the Advisory Council on Historic Preservation's (ACHP) recommendations on the recovery of significant information from archaeological sites as updated in 2009, and Regulation #8932 of the Institute of Puerto Rican Culture (ICP). The plan was prepared by Archaeologist (*Fernando Alvarado Muñoz*), who meets the Professional Qualifications Standards set forth in 36 CFR Part.

I.

PREAMBLE

The Municipality of Juana Diaz was approved Community Development Block Grant disaster recovery funds financed by the Federal Department of Housing and Urban Development in the aftermath of damages received by the 2017 Hurricanes Irma and Maria. An Agreement was established with the Puerto Rico Department of Housing (PRDOH) for the City Revitalization Program funds as part of the Community Development Block Grant for Disaster Recovery (CDBG-DR) Program. The Municipality of Juana Diaz the renovations (Improvements to the Ruta de los Tres Santos Reyes) and the common urban space improvements were approved for the benefit of the community, while preserving the historic development of the site and the Municipality of Juana Díaz. The Puerto Rico State Historic Preservation Office (OPHPR), in a letter dated March 21, 2025, approved a No Adverse Effects decision for this project, conditioned on the implementation of archaeological monitoring during all land disturbance activities.

The project will repair damage caused by Hurricanes Irma and Maria and improvements work will be concentrated within the built footprint of the Ruta de los Tres Santos Reyes (Comercio Street (PR-14), Carrión Maduro Street, Federico Degetau Street, Mariano Maduro Street, Luis Muñoz Rivera Street, Angel R. Mora Street, Eugenio María de Hostos Street, Street #1, Las Orquídeas Street, Luis Muñoz Marín A-1, Building #1, (366-030-078-03-000), Apartamentos el Dorado, Building #2 (366-030-079-96-901, Escuela Fernandez Juncos, Building #3 (366 030-082-03-000, Rutherford B. Hayes, Building #4 (366-030-094-34-000, 366-030-090-22-000), Coopertativa de Ahorro y Crédito de Juana Diaz, Building #5 (366- 030-21-54-000), 106 Building, Building #6 (366-030-39-49-001), 92 Building, Building #7 (366-030-37-08-001). Work will only be limited to the Ruta de Los Tres Santos Reyes Project.

Objectives: This archaeological monitoring plan aims to: (1) institute measures to prevent indirect adverse effects to known historical resources; (2) implement the protocol to be followed in archaeological monitoring; (3) establish the procedure to be followed if previously unknown resources are identified; (4) set up the procedure to be followed if there are any unexpected or previously unanticipated adverse effects; (5) detect, assess and keep record of archaeological resources during project development; (6) retrieve as much archaeological information as possible during excavation and construction; (7) to preserve and enhance the value of the archaeological resources located and documented; and (8) if the archaeological resource cannot be preserved in situ, to conserve it through documentation (preservation by record).

Figure 1: Project location (Source: *Improvements to the Ruta de los Tres Santos Reyes , TCM Project Drawings*)



This scope of work is divided into six (6) sections with three (3) appendixes. The section following this preamble discusses the proposed construction works. The third section includes a brief description of the historic properties located within the APE and of the archaeological potential of the area. The fourth section provides a detailed description of the archaeological monitoring procedure to be carried out before, during and after the construction works. Section V includes the professional qualifications of the team that will implement this monitoring plan and the last section includes the references cited. The plan closes with an appendix with a model of a monitoring daily activity sheet (Appendix A), SHPO/PAE letter (Appendix B) and Designer TCM Working Drawings (Appendix C).

- Overview/Preamble: An introductory statement that outlines the purpose and guiding principles of this document.
- Project Description: The proposed construction activities and scope of work.
- Historic Properties within the APE: A summary of the historic properties and areas of archaeological potential effects (APEs).
- Archaeological Monitoring Procedure: Details of the archaeological monitoring procedure to be executed before, during and after construction.
- Professional Qualifications: An archeologist monitor in compliance with the qualifications of the Secretary of the Interior Standard (SOI).
- Cited References: A list of cited references, including an Appendix (A) with a *Monitoring Daily Activity Sheet* template, Appendix (B) SHPO/PAE Letters, Appendix (C) 90% *TCM Project Drawings*

II.

PROJECT DESCRIPTION

As part of the City Revitalization Program funded by the CDBG-DR program, the Municipality of Juana Diaz needs to improve its roadways within its urban center, enhance its open spaces, and beautify its surroundings with artistic representation for the enjoyment of its residents and communities, and to promote the economy. To contribute to the achievement of these goals, under project PR-CRP-00047, improvements have been made to the Ruta de los Tres Santos Reyes, which comprises the streets surrounding the Román Baldorioty De Castro Municipal Plaza, including part of the Old Military Highway (PR-14).

Additionally, several artistic paintings representative of the culture of Juana Diaz are planned for several buildings along this road. The *Improvements to the Ruta de los Tres Santos Reyes* is specifically located in the southern region of Puerto Rico, bordering Coamo to the north, Santa Isabel to the east, the Caribbean Sea to the south, Ponce to the west, and entering via PR-14. The project covers an approximate area of 8,192.76 square meters, equivalent to 2.0244 acres. It is located in Zone X according to the FEMA Flood Maps, page no. 72000C1670J, as of April 13, 2018.

This project seeks to improve the existing conditions of this area to contribute to the revitalization of the urban area of the municipality of Juana Díaz. The objective is to impact the main streets of the urban area, primarily the Ruta de los Tres Santo Reyes de Juana Díaz, by improving the condition of the curbs, installing bricks in some sections of the streets, installing lighting, improving electrical systems, improving signage, among other general works.

Work will be done on ground elements such as sidewalks, access points, and ramps to provide greater safety for visitors. In addition, decorative elements such as benches will be replaced to improve the enjoyment and use of urban space, in accordance with the joint regulations and the rules of the Secretary of the Interior.

Proposed activities:

Demolitions:

Asphalt pavement demolished and disposition (18,960 square feet). For this work an expected 11-1/2” maximum depth of excavation will be done.

Selective concrete sidewalks demolition and disposition (39,100 square feet). For this work an expected 8” maximum depth of excavation will be done.

Selective concrete curbs and planters’ demolition and disposition (20,140 square feet). For this work an expected 1’-6” maximum depth of excavation will be done.

Remove existing lighting system and ninety-one (91) lighting poles, and disposition. Excavations and disposal base for concrete slab on ground (77,800 cubic feet). For this work an expected 2’-0” maximum depth of excavation will be done.

Constructions and replacements:

New improvements will be made to the sidewalks (16,060 square feet) of the pedestrian perimeters of the square.

New access and new ramps will be built according with ADA guidelines (3,720 square feet). For this work an expected 8" maximum depth of excavation will be done.

New installation of brick roads pavement (38,900 square feet). For this work an expected 2'-0" maximum depth of excavation will be done.

New construction of eight-inch (8") slab on ground for brick pavement installation (951 cubic yards). For this work an expected 2'-0" maximum depth of excavation will be done.

New construction of curbs and gutters (4,094 line feet). For this work an expected 1'-6" maximum depth of excavation will be done.

New construction of concrete swales (60 line feet). For this work an expected 10" maximum depth of excavation will be done.

New replacement of seven (7) secondary electrical feeders. No excavation will be necessary for these works. Installation of new four (4) new informative concrete modules. For this work an expected 3'-0" maximum depth excavation will be done.

Installation of ornamental lighting poles (in kind) in the streets and intersection of the Comercio Street, Carrion Maduro Street, Degetau Street and Muñoz Rivera Street.

No excavation will be necessary for these works.

Installation of new twenty-two benches (22) Benito Urban Kube model, through the Ruta de Los Tres Santos Reyes. No excavation will be necessary for these works.

Installation of twelve (12) new bollards, Benito Pilona Kube model, through the Ruta de Los Tres Santos Reyes. For this work an expected 4" maximum depth excavation will be done.

Relocation of one (1) hydrant. No excavation will be necessary for these works.

Manholes elevation modification and covers installation in the streets that are part of the Ruta de los Tres Santos Reyes proposed project. No excavation will be necessary for these works.

Installation of new tree (3) storm sewer metal grades. No excavation will be necessary for these works. The width of the excavations may vary depending on the conditions of the area and the type of work to be carried out. These excavations are expected to range from 6" to 52'-0" wide.

New selective artistic painting in the front facade (1,000 square feet area) of Building #1/366 030-078-03-000, located in PR14, corner with Orquídeas Street, in Juana Díaz.

New selective artistic painting in front facade (800 square feet area) of the Apartamentos el Dorado, Building #2/366-030-079-96-000, located in PR14 Street in Juana Díaz.

New selective artistic painting (650 square feet area) of the exterior perimeter wall of the Rutherford B. Hayes School, Building #3/366-030-082-03-000, located in PR14 Street in Juana Díaz.

New selective artistic painting (775 square feet area) of the exterior perimeter wall of the Manuel Fernandez Juncos School, Building #4/366-030-090-34-000, 366-030-090-22-000, located in PR14 Street in Juana Díaz.

New selective artistic painting in front facade (1,300 square feet area) of Cooperativa de Juana Diaz, Building #5/366-030-021-54-000, located in PR14 Street in Juana Díaz.

New selective artistic painting in the left facade (960 square feet area) of Building #106 Building#6/366-030-039-49-001, located in PR14 Street in Juana Díaz.

New selective artistic painting in front and left facade (1250 square feet area) of Building #92 (Mueblicentro Guayabal), Building #7/366-030-037-08-001, located in PR14 Street in Juana Díaz.

Knowing the importance of the treatment, considerations and care that must be taken for the treatment of interventions in the masonry building, measures will be taken to ensure its integrity and historical value. For this purpose, methods will be implemented for cleaning, surface preparation and paint application. For wall cleaning, a visual assessment will be carried out to identify stains and pathologies in order to determine the condition of the surface or existing damage in the building prior to carrying out any intervention. For cleaning, soft brushes will be used to remove dirt, eliminating dust, pollen, mold or any harmful particles.

For more persistent stains, clean water will be applied with sponges or soft brushes. Biodegradable or environmentally safe cleaning or paint remover products will be used. This will be done by avoiding the use of high pressures that could damage the surface. To ensure that the work is being carried out with the importance and specifications required to ensure the integrity of the building, the staff will be trained prior to the work and supervised at all times. Tests will be carried out on the surface to ensure that the cleaning chemicals are compatible with the existing material. The surface will be checked to ensure that it is suitable for paint application and that the paint will adhere correctly. For this, cracks, holes and deteriorated areas will be checked. Mortars compatible with the originals will be used to repair cracks and damage. If necessary, repair of masonry elements by patching, joining or consolidating the masonry using recognized conservation methods. Efflorescence and moisture stains will be removed using gentle methods. Rough areas will be lightly sanded and any loose material removed to obtain a uniform surface. The protection of building elements, continuous with the building or adjacent structures that will not be part of the works, will be protected to ensure that they are not affected by the work on the structure to be worked on.

Damaged or deteriorated paint shall be removed only to the next good coat using the gentlest method possible (by example, hand scraping) before repainting. For the paint finish, paint will be applied in a uniform and durable manner respecting the characteristics of the building. The artistic painting to be applied will be a new addition to the building that will clearly differentiate itself from the historic building.

Although it may have contemporary elements, it will be compatible in terms of mass, materials, relationship of solids, voids and color.

The new selective artistic painting for the aforementioned buildings and perimeter walls will be carried out after surface preparation and pressure washing of the area to be painted. This will be performed according to the Secretary of the Interior Standards for Rehabilitation. <http://www.nps.gov/articles/000/treatment-standards-rehabilitation.htm>. Per the standards, Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used. Also useful at <https://www.nps.gov/orgs/1739/preservation-briefs.htm> are specifically Preservation Brief 1 (Assessing Cleaning and Water-Repellent Treatments for Historic Masonry Buildings), Preservation Brief 6 (Dangers of Abrasive Cleaning to Historic Building), Preservation Brief 15 (Preservation of Historic Concrete). All the new paint used to decorate the buildings or perimeter fences, once applied, may be removable, as desired by the municipality of Juana Díaz. The paint to be used will be for exterior use, in pastel colors, durable under weather conditions, with UV protection, and of reliable quality for excellent adhesion to the surface. Primer application is required prior to paint application to ensure paint efficiency and durability. The selection of paint colors must have prior approval from the Puerto Rican Institute of Culture and the State Historic Preservation Office (SHPO), before being applied. The current description of each building and its proposed views according to the proposed artistic painting are presented on the next page.

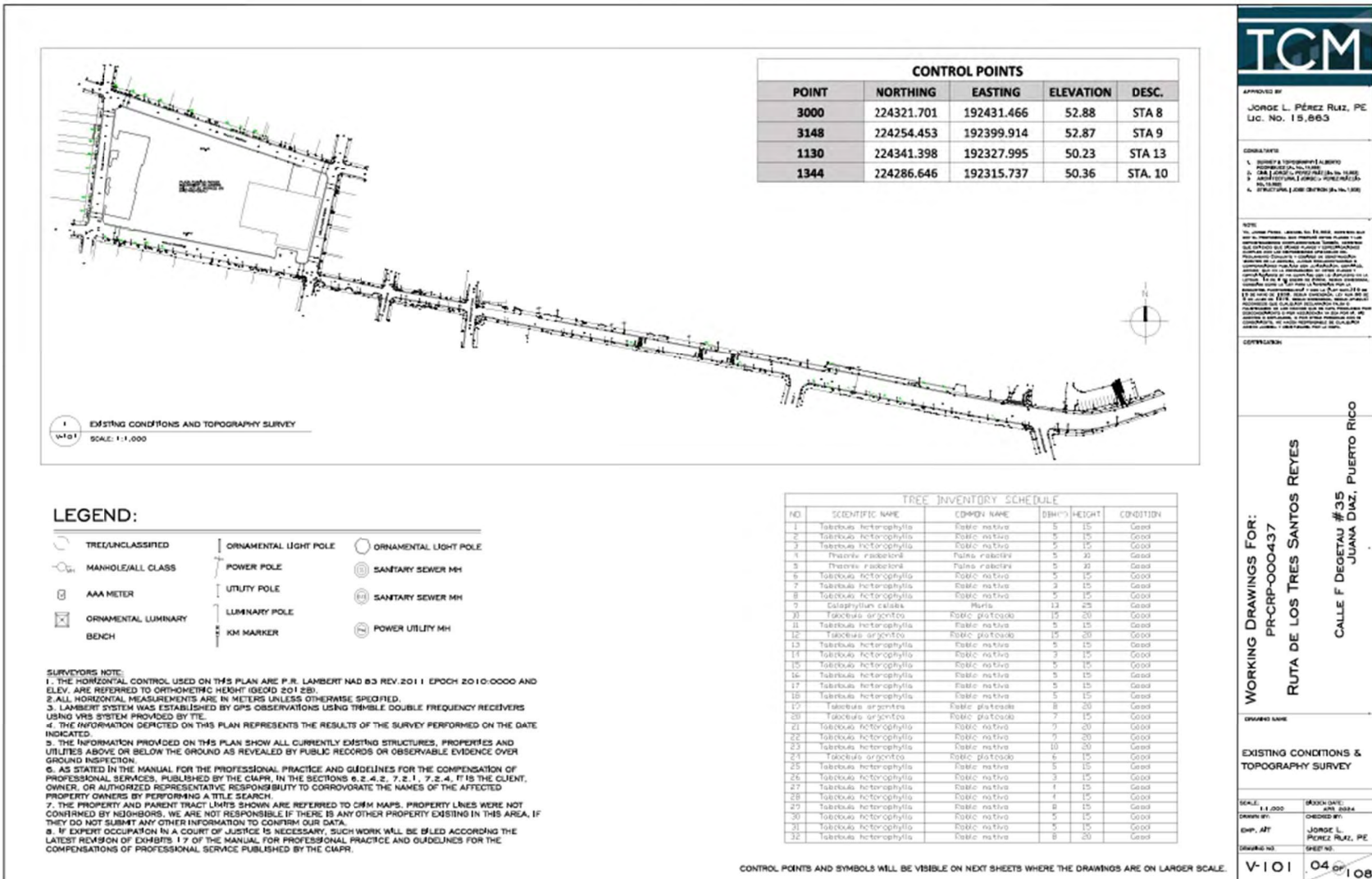
Figure #2: 1969 USGS Topographic Map of Juana Diaz (Ruta de los Tres Santos Reyes Project)



Figure #3: 2025 Project Area Identification (Source: Google Earth Pro)



Figure #4: Existing Condition Plan



CONTROL POINTS				
POINT	NORTHING	EASTING	ELEVATION	DESC.
3000	224321.701	192431.466	52.88	STA 8
3148	224254.453	192399.914	52.87	STA 9
1130	224341.398	192327.995	50.23	STA 13
1344	224286.646	192315.737	50.36	STA. 10

LEGEND:

	TRE UNCLASSIFIED		ORNAMENTAL LIGHT POLE
	MANHOLE/ALL CLASS		POWER POLE
	AAA METER		UTILITY POLE
	ORNAMENTAL LUMINARY		LUMINARY POLE
	BENCH		KM MARKER
	ORNAMENTAL LIGHT POLE		SANITARY SEWER MH
	SANITARY SEWER MH		SANITARY SEWER MH
	POWER UTILITY MH		POWER UTILITY MH

SURVEYORS NOTE:

1. THE HORIZONTAL CONTROL USED ON THIS PLAN ARE P.R. LAMBERT NAD 83 REV. 2011 EPOCH 2010-0000 AND ELEV. ARE REFERRED TO ORTHOMETRIC HEIGHT (IGODD 2012).
2. ALL HORIZONTAL MEASUREMENTS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
3. LAMBERT SYSTEM WAS ESTABLISHED BY GPS OBSERVATIONS USING TRIMBLE DOUBLE FREQUENCY RECEIVERS USING VRS SYSTEM PROVIDED BY TTE.
4. THE INFORMATION DEPICTED ON THIS PLAN REPRESENTS THE RESULTS OF THE SURVEY PERFORMED ON THE DATE INDICATED.
5. THE INFORMATION PROVIDED ON THIS PLAN SHOW ALL CURRENTLY EXISTING STRUCTURES, PROPERTIES AND UTILITIES ABOVE OR BELOW THE GROUND AS REVEALED BY PUBLIC RECORDS OR OBSERVABLE EVIDENCE OVER GROUND INSPECTION.
6. AS STATED IN THE MANUAL FOR THE PROFESSIONAL PRACTICE AND GUIDELINES FOR THE COMPENSATION OF PROFESSIONAL SERVICES, PUBLISHED BY THE CAJPR, IN THE SECTIONS 6.2.4.2, 7.2.1, 7.2.4, IT IS THE CLIENT, OWNER, OR AUTHORIZED REPRESENTATIVE RESPONSIBILITY TO CORROBORATE THE NAMES OF THE AFFECTED PROPERTY OWNERS BY PERFORMING A TITLE SEARCH.
7. THE PROPERTY AND PARENT TRACT LIMITS SHOWN ARE REFERRED TO CFM MAPS. PROPERTY LINES WERE NOT CONFIRMED BY NEIGHBORS. WE ARE NOT RESPONSIBLE IF THERE IS ANY OTHER PROPERTY EXISTING IN THIS AREA, IF THEY DO NOT SUBMIT ANY OTHER INFORMATION TO CONFIRM OUR DATA.
8. IF EXPERT OCCUPATION IN A COURT OF JUSTICE IS NECESSARY, SUCH WORK WILL BE FILED ACCORDING THE LATEST REVISION OF EXHIBITS 17 OF THE MANUAL FOR PROFESSIONAL PRACTICE AND GUIDELINES FOR THE COMPENSATIONS OF PROFESSIONAL SERVICE PUBLISHED BY THE CAJPR.

TREE INVENTORY SCHEDULE					
NO	SCIENTIFIC NAME	COMMON NAME	DBH(D)	HEIGHT	CONDITION
1	Tournefortia bicolor	Esboque nativo	5	15	Good
2	Tournefortia bicolor	Esboque nativo	5	15	Good
3	Tournefortia bicolor	Esboque nativo	5	15	Good
4	Passiflora racemosa	Palma rabo de	5	30	Good
5	Passiflora racemosa	Palma rabo de	5	30	Good
6	Tournefortia bicolor	Esboque nativo	5	15	Good
7	Tournefortia bicolor	Esboque nativo	3	15	Good
8	Tournefortia bicolor	Esboque nativo	5	15	Good
9	Calophyllum calaba	Murto	13	25	Good
10	Tournefortia bicolor	Esboque nativo	15	20	Good
11	Tournefortia bicolor	Esboque nativo	5	15	Good
12	Tournefortia bicolor	Esboque nativo	15	20	Good
13	Tournefortia bicolor	Esboque nativo	5	15	Good
14	Tournefortia bicolor	Esboque nativo	7	15	Good
15	Tournefortia bicolor	Esboque nativo	5	15	Good
16	Tournefortia bicolor	Esboque nativo	5	15	Good
17	Tournefortia bicolor	Esboque nativo	5	15	Good
18	Tournefortia bicolor	Esboque nativo	5	15	Good
19	Tournefortia bicolor	Esboque nativo	5	15	Good
20	Tournefortia bicolor	Esboque nativo	8	20	Good
21	Tournefortia bicolor	Esboque nativo	7	15	Good
22	Tournefortia bicolor	Esboque nativo	7	20	Good
23	Tournefortia bicolor	Esboque nativo	10	20	Good
24	Tournefortia bicolor	Esboque nativo	5	15	Good
25	Tournefortia bicolor	Esboque nativo	5	15	Good
26	Tournefortia bicolor	Esboque nativo	3	15	Good
27	Tournefortia bicolor	Esboque nativo	1	15	Good
28	Tournefortia bicolor	Esboque nativo	1	15	Good
29	Tournefortia bicolor	Esboque nativo	8	15	Good
30	Tournefortia bicolor	Esboque nativo	5	15	Good
31	Tournefortia bicolor	Esboque nativo	5	15	Good
32	Tournefortia bicolor	Esboque nativo	8	20	Good

CONTROL POINTS AND SYMBOLS WILL BE VISIBLE ON NEXT SHEETS WHERE THE DRAWINGS ARE ON LARGER SCALE.

APPROVED BY:
JORGE L. PÉREZ RUIZ, PE
 LIC. No. 15,863

COMMENTS:

1. BUREAU & SUPERVISOR'S APPROVAL
2. DATE OF ISSUE / REVISION
3. APPROVED BY / REVISION
4. DESCRIPTION OF WORK

NOTE:

CONTRATANTE:

WORKING DRAWINGS FOR:
PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
CALLE F. DEGETAU #35
JUANA DIAZ, PUERTO RICO

CREATED DATE:

EXISTING CONDITIONS & TOPOGRAPHY SURVEY

SCALE: 1:1,000 (SEE SHEET 04 OF 108)

DRAWN BY: JORGE L. PÉREZ RUIZ, PE
 CHECKED BY: JORGE L. PÉREZ RUIZ, PE

SHEET NO: 04 OF 108

Figure 5: Demolition Plan (1/3)

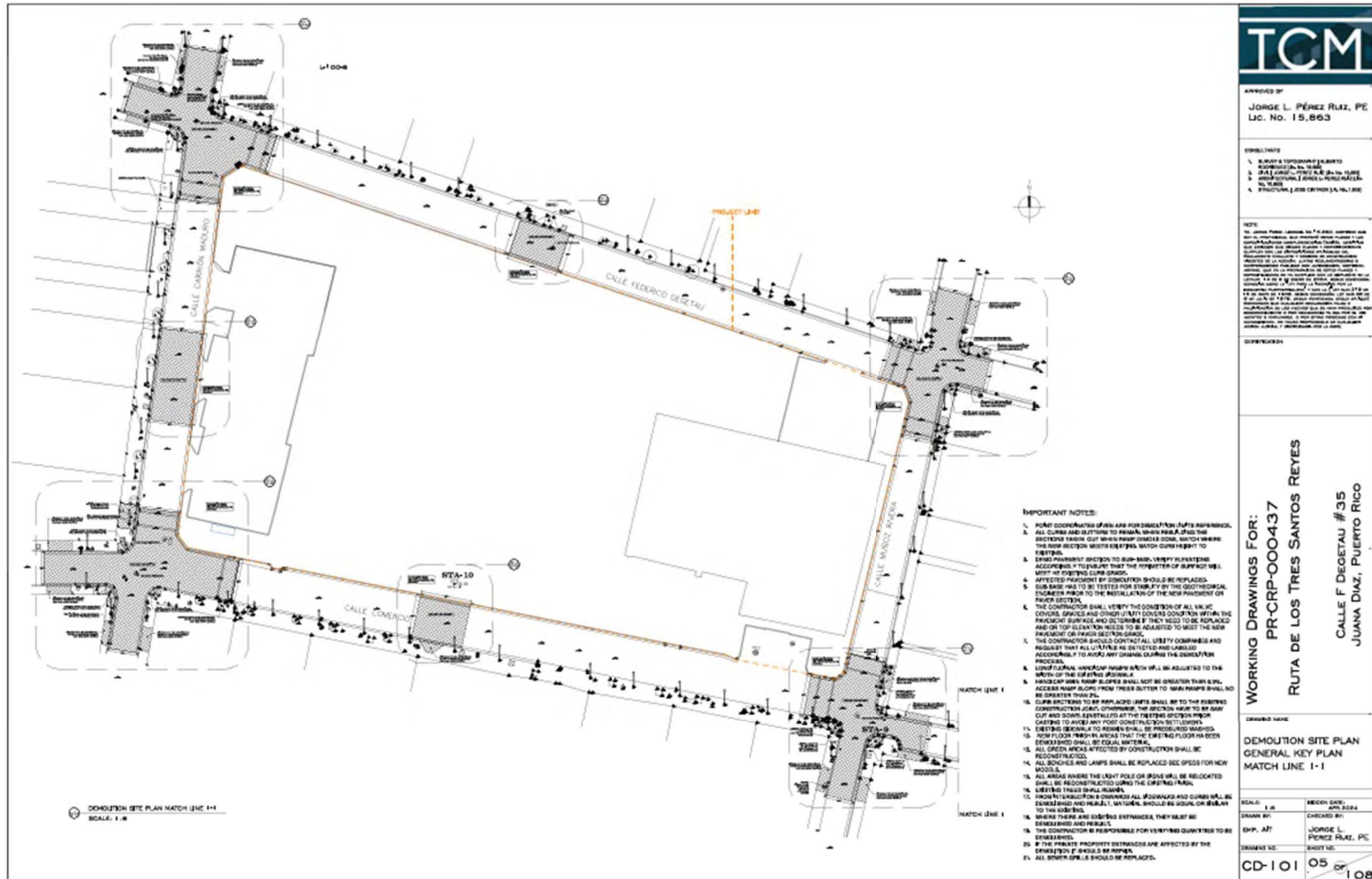
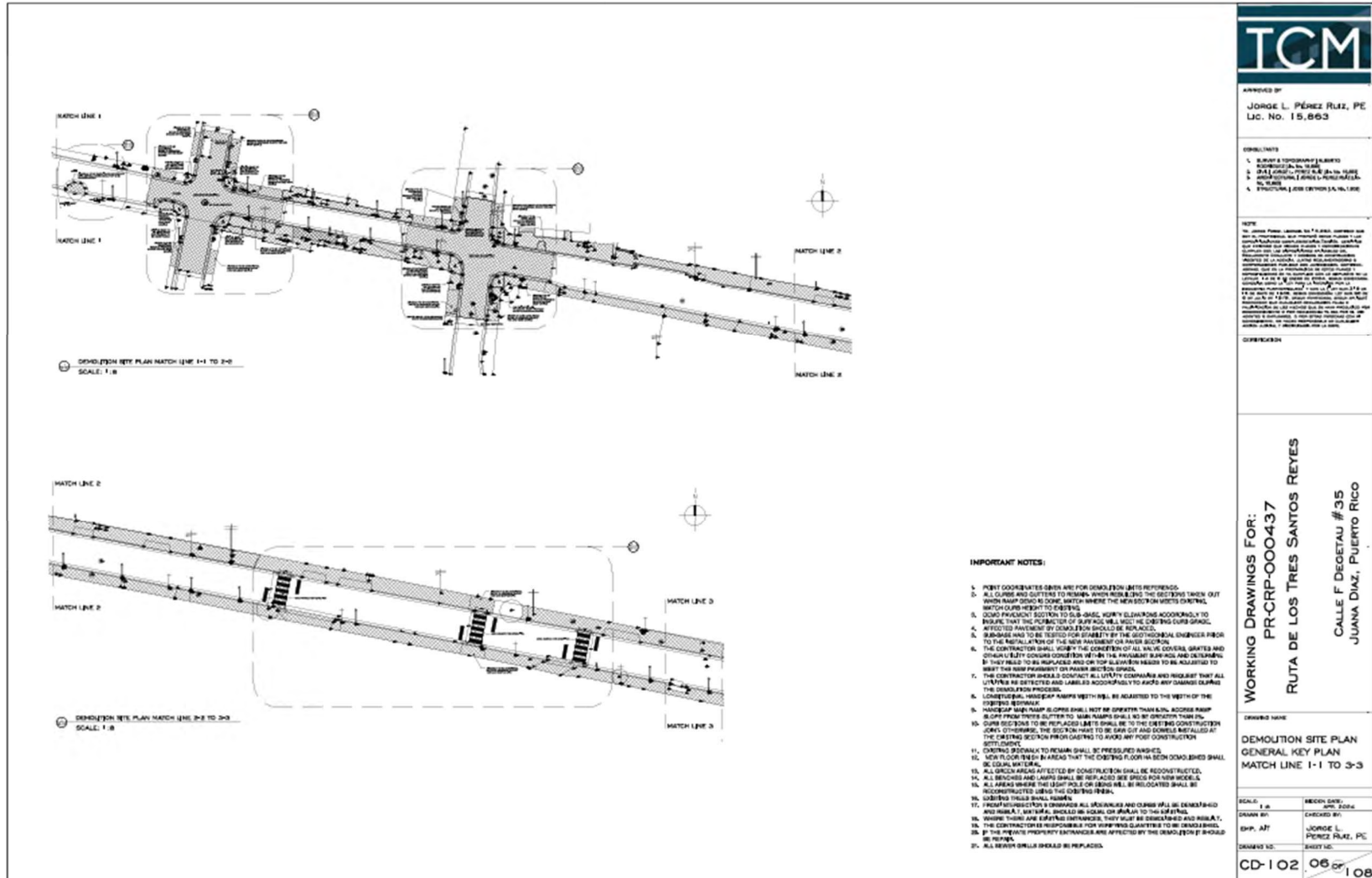


Figure 6: Demolition Plan (2/3)



TCM

APPROVED BY:
JORGE L. PÉREZ RUIZ, PE
Lic. No. 15,863

CONTRACT NO:
1. DEMOLITION OF EXISTING BUILDING
2. CONSTRUCTION OF NEW BUILDING
3. CONSTRUCTION OF NEW BUILDING
4. CONSTRUCTION OF NEW BUILDING

NOTE:
The design is based on the information provided by the client and the contractor. The contractor is responsible for verifying the accuracy of the information provided and for ensuring that the design is in accordance with the applicable codes and standards. The contractor is also responsible for obtaining all necessary permits and approvals from the relevant authorities. The contractor should consult with the architect and the engineer throughout the project to ensure that the design is in accordance with the client's requirements and the applicable codes and standards.

DATE: 06/20/2024

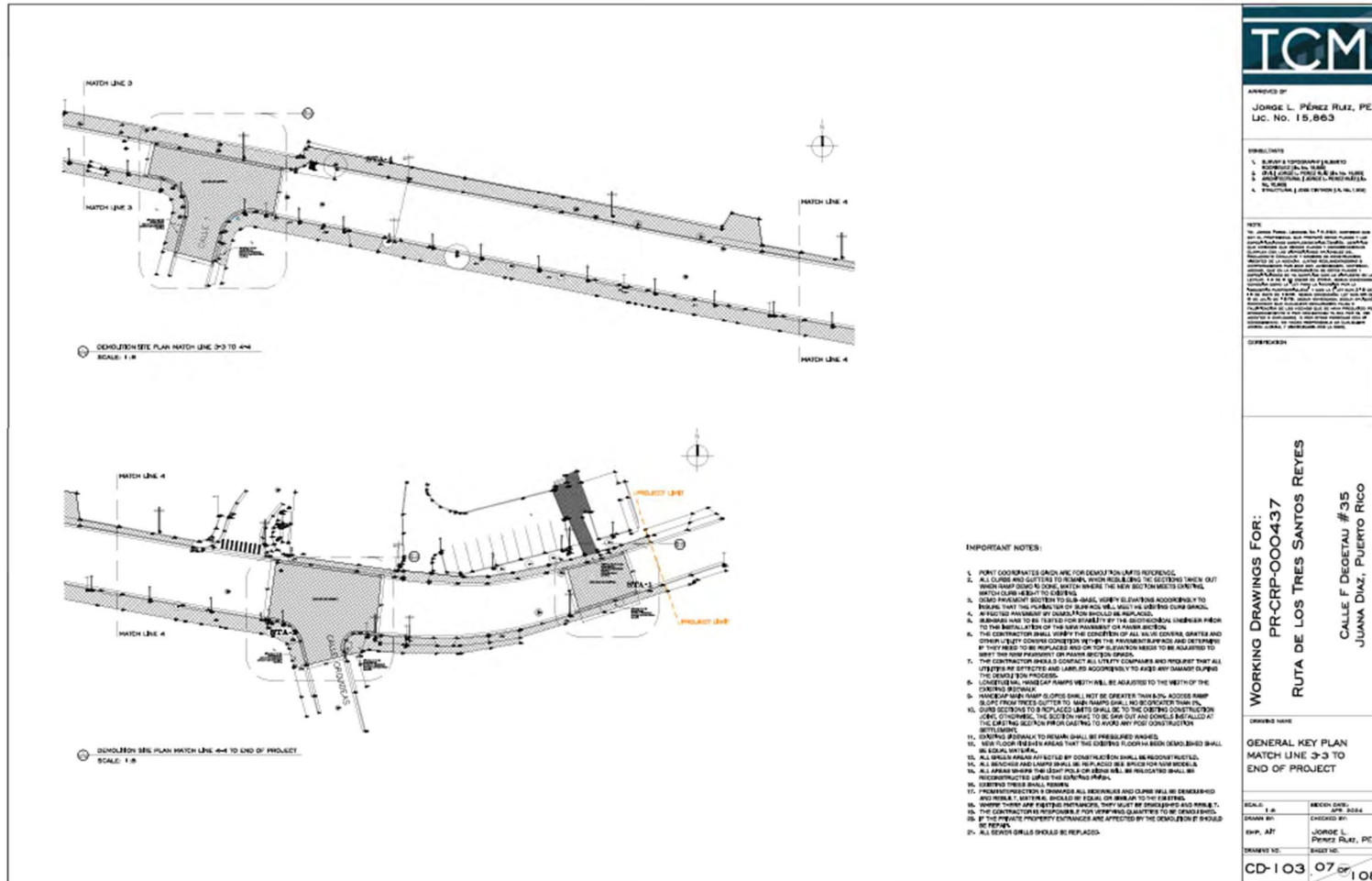
WORKING DRAWINGS FOR:
PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
CALLE F. DEGETAU # 35
JUANA DIAZ, PUERTO RICO

DESIGNED NAME:

DEMOLITION SITE PLAN
GENERAL KEY PLAN
MATCH LINE 1-1 TO 3-3

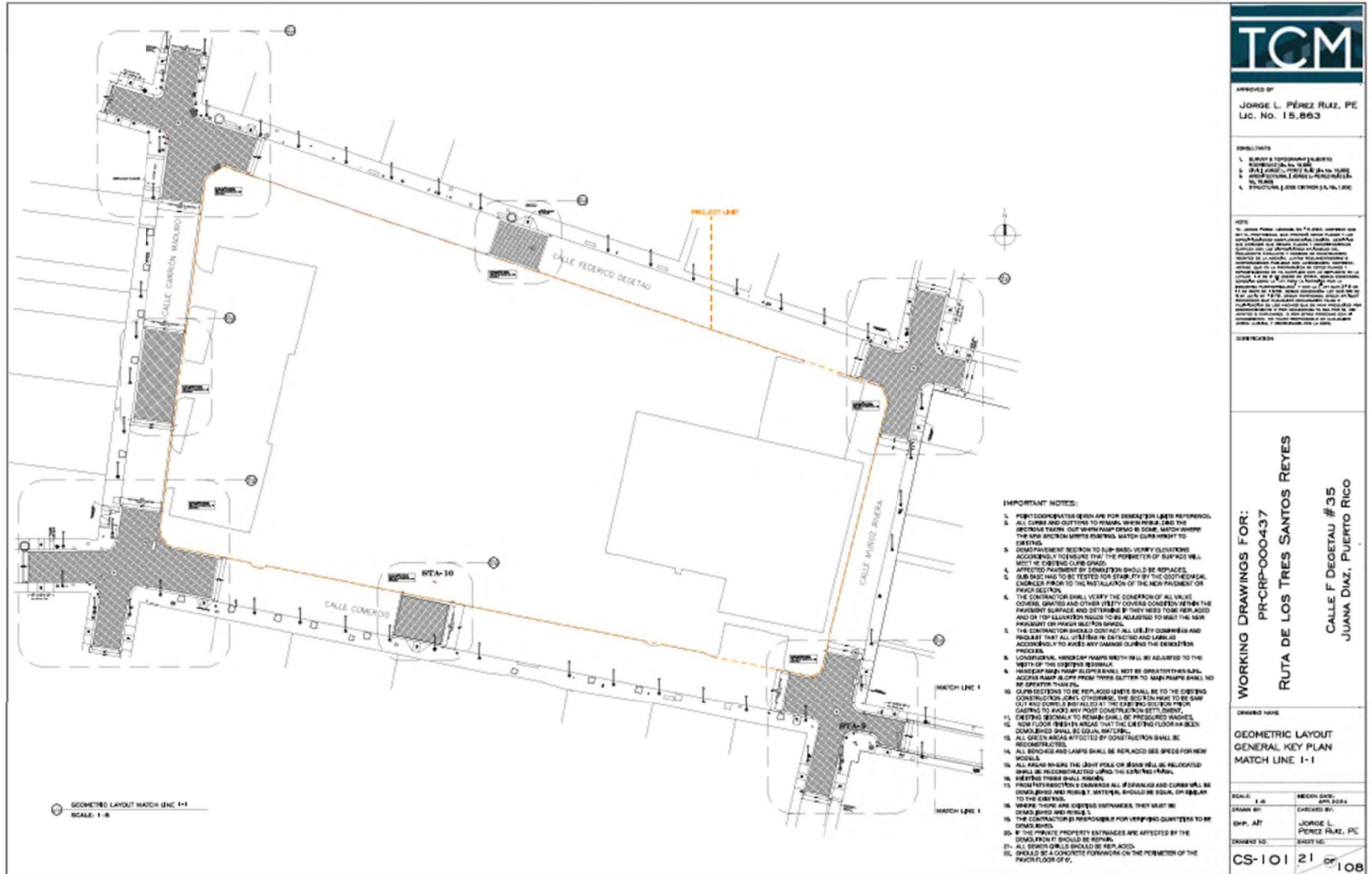
SCALE: 1/8	REVISION DATE: 06/20/24
DRAWN BY: JHP	CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DATE: 06/20/24	PROJECT NO: 102
DRAWING NO: CD-102	SHEET NO: 06 OF 108

Figure 7: Demolition Plan (3/3)



TCM	
APPROVED BY: JORGE L. PÉREZ RUIZ, PE LIC. No. 15,863	
SUBMITTALS: 1. SURVEY (TOPOGRAFIA) (L. 100) 2. PLAN (L. 100) (L. 100) 3. JALISCO (L. 100) (L. 100) 4. PROYECTO (L. 100) (L. 100)	
NOTES: (Small text notes regarding project details and specifications)	
CORRECTIONS: (Empty space for corrections)	
WORKING DRAWINGS FOR: PR-CRP-000437 RUTA DE LOS TRES SANTOS REYES CALLE F. DEGETAU # 35 JUANA DIAZ, PUERTO RICO	
DEMOLITION SITE PLAN MATCH LINE 3-3 TO 4-4 TO END OF PROJECT	
SCALE: 1"=8' DRAWN BY: JORGE L. PÉREZ RUIZ, PE CHECKED BY: JORGE L. PÉREZ RUIZ, PE DATE: 07/07/2024	SHEET NO.: 07 OF 108 DRAWING NO.: CD-103

Figure 8: Geometric Layout



TCM	
APPROVED BY JORGE L. PÉREZ RUIZ, PE Lic. No. 15,863	
SPECIALTIES 1. DESIGN & CONSTRUCTION SERVICES 2. SURVEYING & MAPPING 3. ARCHITECTURAL & INTERIORS 4. STRUCTURAL & CIVIL ENGINEERING	
NOTE The owner shall be responsible for the construction and maintenance of the project. The contractor shall be responsible for the construction and maintenance of the project. The contractor shall be responsible for the construction and maintenance of the project.	
DIRECTION WORKING DRAWINGS FOR: PR-CRP-000437 RUTA DE LOS TRES SANTOS REYES CALLE F. DEGETAU #35 JUANA DIAZ, PUERTO RICO	
DRAWING NAME GEOMETRIC LAYOUT GENERAL KEY PLAN MATCH LINE 1-1	
SCALE: 1"=8' DRAWN BY: JPH, AJT CHECKED BY: JORGE L. PÉREZ RUIZ, PE DESIGNED BY: JPH, AJT	SHEET NO.: 21 SHEET TOTAL: 108

- IMPORTANT NOTES:**
1. POINT COORDINATES GIVEN ARE FOR REFERENCE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE CORRECTNESS OF THE POINTS AND THE ACCURACY OF THE DATA.
 2. ALL CURBS AND GUTTERS TO REMAIN SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. MATCH CURB HEIGHT TO EXISTING.
 3. CONCRETE PAVEMENT TO BE PLACED AND FINISHED ACCORDING TO THE PERMITS OF THE ROAD DEPARTMENT. MATCH CURB HEIGHT TO EXISTING.
 4. ALL EXISTING UTILITIES TO BE REMOVED OR RELOCATED SHALL BE IDENTIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
 5. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES, GASES AND OTHER UTILITIES COVERED WITHIN THE PROJECT AREA AND SHALL BE RESPONSIBLE FOR MARKING AND PROTECTING THEM THROUGHOUT THE CONSTRUCTION PERIOD.
 6. THE CONTRACTOR SHALL CONTACT ALL UTILITIES COMPANIES AND AGENCIES THAT ALL UTILITIES BE IDENTIFIED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE CONSTRUCTION PERIOD.
 7. LOW VOLTAGE, HANDICAP RAMP WIDTH SHALL BE ADJUSTED TO THE WIDTH OF THE EXISTING RAMP.
 8. HANDICAP RAMP WIDTH SHALL NOT BE GREATER THAN 48" AND ACCESS RAMP SHALL BE GREATER THAN 48". HANDICAP RAMP SHALL BE GREATER THAN 48".
 9. CURB SECTIONS TO BE REPAIRED SHALL BE TO THE EXISTING CONSTRUCTION JOINTS. OTHERWISE, THE SECTION SHALL BE SAW CUT AND CONCRETE SHALL BE PLACED AND FINISHED ACCORDING TO THE PERMITS OF THE ROAD DEPARTMENT.
 10. EXISTING SIDEWALKS TO REMAIN SHALL BE REPAIRED ACCORDING TO THE PERMITS OF THE ROAD DEPARTMENT.
 11. ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED.
 12. ALL SIDEWALKS AND LAMPS SHALL BE REPLACED SEE SPEC FOR NEW SIDEWALKS.
 13. ALL AREAS WITHIN THE LIGHT POLE OR SIGN SHALL BE RELOCATED SHALL BE RECONSTRUCTED ACCORDING TO THE PERMITS OF THE ROAD DEPARTMENT.
 14. EXISTING SIDEWALKS SHALL BE REPAIRED ACCORDING TO THE PERMITS OF THE ROAD DEPARTMENT.
 15. WHERE THERE ARE EXISTING UTILITIES, THEY MUST BE IDENTIFIED AND LABELED.
 16. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES TO BE ORDERED.
 17. THE PRIVATE PROPERTY ENTRANCES AFFECTED BY THE CONSTRUCTION SHALL BE REPAIRED.
 18. ALL SIDEWALKS SHALL BE REPLACED.
 19. SIDEWALKS SHALL BE CONCRETE FINISH ON THE PERIMETER OF THE SIDEWALK.

III. HISTORIC PROPERTIES WITHIN THE APE

The direct Area of Potential Effect (APE) for this project is the Ruta de los Tres Santos Reyes, which includes Comercio Street (PR-14), part of the central highway, and the old military highway, from kilometer 10.0 to kilometer 23.7. This street has been included in the National Register of Historic Places (NRHP) since May 19, 2019. Other streets comprise the Area of Potential Effect (APE). These are: F. Degetau Street, Luis Muñoz Rivera Street, Carrión Maduro Street (PR-570), Mariano Abril Street, Ángel R. Mora Street, Eugenio María de Hostos Street, #1 Street, and Orquídeas Street. The proposed project includes work on some buildings that only include cleaning and artistic painting. These are included in the APE. The buildings are: “Los Reyes” Supermarket, “Egida El Dorado,” “Manuel Fernández Juncos School,” “Rutherford B. Hayes School,” “Juana Díaz Savings and Credit Cooperative,” “Comercio 106,” and “Muebles Guayabal.” This direct APE measures 667 m x 112 m and is located in the Traditional Urban Center of Juana Díaz, just off the edge of the Román Baldorioty de Castro municipal plaza.

There are twenty-three (23) NRHP-eligible historic properties and two (2) NRHP-listed properties within the direct and visual APEs, according to Section 106 of the NHPA Effects Determination Form, prepared by archaeologist Fernando Alvarado Muñoz and evaluated by SOI Architectural Historian Javish Muñiz Reyes in June 2024 (Figure #9 on page #14).

Figure #9: Project Location - Area of Potential Effect and historic properties within the project’s APE



The Municipality of Juana Díaz has undergone several changes over time, as evidenced by the photos and aerial views taken at different times (Figure #11 on Page #17 to Figure #13 on Page #19). The traditional urban center of the municipality and the buildings that are grouped around the plaza have generally been preserved, despite the fact that most of its buildings date back to the XIX-XX centuries. The Traditional Urban Center of Juana Díaz (Figure #18 on Page #24) maintains the essence and characteristics of the buildings with a variety of Colonial, Neoclassical or Creole styles with a configuration of streets with a grid geometry from the times of the Spanish (Figure #19 on Page #25 to Figure #39 on Page #35). Within this urban configuration, within the limits of the Roman Baldorioty De Castro plaza is the San Roman Nonato Church and to the south, adjacent to the plaza is the Old Military Road (PR-14), both properties included in the National Register of Historic Places (NRHP) (Figure #16 on Page #22 and Figure #17 on Page #23).

The municipality of Juana Díaz is located on the southern coast of Puerto Rico. It borders Jayuya and Villalba to the north, Ponce to the west, Villalba, Coamo, and Santa Isabel to the east, and the Caribbean Sea to the south. The Jacaguas River runs through its lands, originating near Orocovis and emptying into the Caribbean Sea. The neighborhoods that comprise it are Pueblo Este, Pueblo Norte, Pueblo Oeste, Pueblo Sur, Amuelas, Callabo, Capitanejo, Cintrona, Collores, Emajagual, Guayabal, Jacaguas, Lomas, Río Cañas Abajo, Río Cañas Arriba, Sabana Larga, and Tijeras. The town of Juana Díaz was founded on August 25, 1793. This occurred after numerous efforts by the town's citizens. Historians agree that the land of Juana Díaz was fertile for agriculture due to its rich water sources, such as the Guayanes River. This benefited the first settlers before the town was founded. The Route of the Ruta de los Tres Santos Reyes consists of Central Street. This was the first paved street in Puerto Rico (Figure #15 on Page #21). Its construction began in 1846 with the San Juan-Río Piedras section (now widened and named Avenida Ponce de León). In 1866, the route to Ponce was built, crossing the rugged and then uninhabited Cordillera Central and the towns of Caguas, Cayey, Coamo, and Juana Díaz. Most of the original route and the original bridges are still preserved. Winding and picturesque, it stretches from the 16th-century villages to the new center of San Juan and the battlefields of the 1898 War. Specifically, Comercio Street, between kilometer 14.6 (in front of the Museo de los Santos Reyes) and its mouth at Carrión Maduro Street to the west, is listed in the National Register of Historic Places (NRHP) 02/MAYO/19); SG100003686 (Figure #16 on Page #22). The Central Highway was built with a near-perfect combination of hard, crushed granitic stone, or macadam, and compressed sand. Calcium carbonate rocks called limestone, abundant on the island, were used for its surface and laid practically on solid ground. River gravel was also frequently used. Hundreds of workers labored during its construction. Some were employed as bricklayers, others as brownstone crushers for cement plants and factories. The fieldwork was very hard, especially the stone crushing, due to the material's toughness in some places; even the weakest and strongest men couldn't crush it.

North of the Ruta de los Tres Santos Reyes, resource listed on the National Register of Historic Places (NRHP). Construction of San Roman Nonato Parish was originally authorized in 1800, but it wasn't until after 1813 that it began. The parish towers were built between 1869 and 1895. The church is a single-story brick masonry church with Baroque-style features. In the foreground, an iron grille is modulated by square pillars. The side facade features a double glass door framed and crowned with a stained-glass window and entablature. Similarly, continuous cornices and moldings can be seen throughout the rest of the facade. A project to build a tower and install a public clock was undertaken in 1868. It was repaired in 1970 and remodeled for the last time between 1984 and 2005. It was also included in the National Register of Historic Places (10/DIC/84) 84000465 (Figure #17 on Page #23).

Figure #10: 1884 Situation Plan of Juana Diaz (Source: General Archive of Puerto Rico)

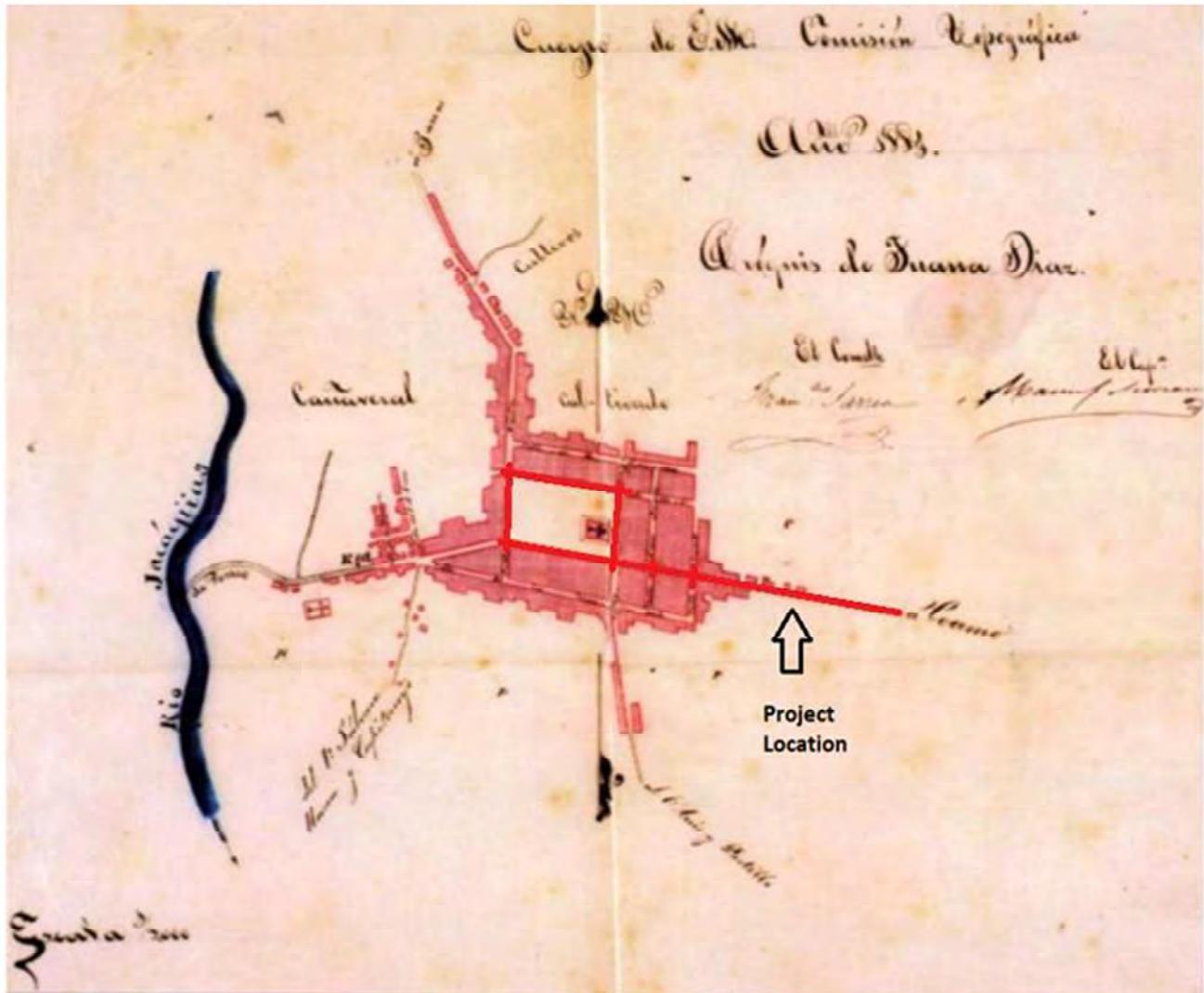


Figure #11: 1936 Juana Diaz Aerial View (Source: Department of Transportation of Puerto Rico)

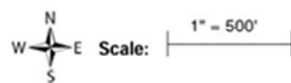


Figure #12: 1958 Aerial View of Juana Diaz (Source: Envirosite Cooperation)

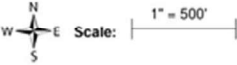


Figure #13: 1977 Aerial View of Juana Diaz (Source: Envirosite Cooperation)



**Figure #14: 1898 National Archive of Puerto Rico Historic Photo of Comercio Street in Juana Diaz
(Source: Historic of Puerto Rican Culture)**



Figure #15: Ca. 1900 Photo of the Old Military Road (PR-14 Street) Source: National Register of Historic Places Nomination



Figure #16: 1910 Photo of the Old Military Road (PR-14 Street) Source: National Archive of Puerto Rico



Figure #17: 1946 San Roman Nonato Church of Juana Diaz and Public Square (Source: Institute of Puerto Rican Culture)



Figure #18: Traditional Urban Center of Juana Diaz (Source: SHPO Puerto Rico)





Figure #19: Building identified on map as #1 on Figure #9 on Page #13 with cadaster #366-029-030-021-14-001. Building with rectangular geometry and elements of architecture Bungalow type, from the beginning of the XX century. Located on #117, Comercio Street in Juana Diaz.



Figure #20: Building identified on map as #2 on Figure #9 on Page #14. Building with cadaster #366-029-037-03-001. Building (Janellys Kitchen) with Neoclassical architectural features. Located on #78 Comercio Street in Juana Diaz.



Figure #21: Building identified on map as #3 on Figure #9 on Page #14 . Building with cadaster #366-029-037-02-001. Building (Janellys Kitchen) with Neoclassical architectural features. Located on #27 Comercio Street in Juana Diaz.



Figure #22: Building identified on map as #4 on Figure #9 on Page #14. Building with cadaster #366-029-037-01-001. Building with Colonial architectural features. Located on #72 Comercio Street in Juana Diaz.



Figure #23: Building identified on map as #5 on Figure #9 on Page #14 . Building with cadaster #366-029-036-09-001. Building (Puerta 70 Bar and Tapas) with Colonial architectural features. Located on #70 Comercio Street in Juana Diaz.



Figure #24: Building identified on map as #6 on Figure #6 on Page #14. Building with cadaster #366-029-024-09-001. Building (Island Finance) with rectangular geometry and elements of Neoclassical architecture from the lates XIX or beginning of the XX century, located on #69 Carrion Maduro Street in Juana Diaz.



Figure #25: Building identified on map as #7 on Figure #6 on Page #14. Building with cadaster #366-029-024-05-001. Building (Pepes Store) with rectangular geometry and elements of Art Deco architecture of the XX century, located on #6, Carrion Maduro Street in Juana Diaz.



Figure #26: Building identified on map as #8 on Figure #6 on Page #14. Building with cadaster #366-029-024-07-853. Building (La Ideal Store) with rectangular geometry and elements of Neoclassical architecture from the lates XIX or beginning of the XX century, located on #7 Carrion Maduro Street in Juana Diaz.



Figure #27: Building identified on map as #9 on Figure #6 on Page #14. Building with cadaster #366-029-024-06-000. Building (Church) of the XX century, located on #11, Carrion Maduro Street in Juana Diaz.



Figure #28: Building identified on map as #10 on Figure #6 on Page #14. Building with cadaster #366-029-024-05-001. Building (Government building) with vernacular architecture elements of the XX century, located on #9, Carrion Maduro Street in Juana Diaz.



Figure #29: Building identified on map as #11 on Figure #6 on Page #14. Building with cadaster #366-029-127-10-001. Building (Commercial Building, Funeraria Fermín) with rectangular geometry and elements of Neoclassical architecture of the XX century, located on #15, F. Degetau Street in Juana Diaz.



Figure #30: Building identified on map as #12 on Figure #6 on Page #14. Building with cadaster #366-029-018-21-902. Building (Commercial Building) with rectangular geometry and elements of Neoclassical architecture of the XX century, located on #27, F. Degetau Street in Juana Diaz.



Figure #31: Building identified on map as #13 on Figure #9 on Page #14. Building with cadaster #366-030-018-18-001. Building (Government Building) Spanish architectural style of the late XIX or beginning of the XX century located on #41, Degetau Street in Juana Diaz.



Figure #32: Building identified on map as #14 on Figure #9 on Page #14. Building with cadaster #366-030-018-17-000. Building (Mayors House) Spanish architectural style of the late XIX or beginning of the XX century located on #41, Degetau Street in Juana Diaz.



Figure #33: Buildings identified on map as #15 (Government Building) & #16 (Commercial Building) on Figure #9 on Page #14. Buildings with cadaster #366-030-018-16-000 and #366-030-018-15-001 on #33 and #37 on Degatau Street.



Figure #34: Building identified on map as #17 on Figure #9 on Page #14. Building with cadaster #366-030-018-12-001. Building (Residence- Casa Zambrana). Creole-style home of the XX century belonging to the Zambrana family. Located on #39, Degetau Street in Juana Diaz.



Figure #35: Building identified on map as #18 on Figure #9 on Page #14. Building with cadaster #366-030-018-12-001. Building (Commercial). Creole-style home of the XX century belonging. Located on #39, Degetau Street in Juana Diaz.



Figure #36: Building identified on map as #19 on Figure #9 on Page #14. Building with cadaster #366-030-026-10-008. Building (Commercial). Two story of the XX century. Located on #70, Degetau Street in Juana Diaz.



Figure #37: Identified on map as #20 (Church San Roman Nonato) & #21 (Public Square) on Figure #9 on Page #14. With cadaster #366-030-025-02-000 and #366-030-025-01-000 on Comercio Street in Juana Diaz. The church is listed in the National Register of Historic Places (NRHP) on December 10, 1984 #8400046.



Figure #38: Identified on map as #22 (PR-14 Street) on Figure #9 on Page #14. Former Military Road, the street is listed in the National Register of Historic Places (NRHP), on May 2, 2019 #SG100003686.



Figure #39 Building identified on map as #23 on Figure #9 on Page #14. Building with cadaster #366-030-026-14-001. Building (Antigua Casa Componente) This building served as old Mayor House and Jail, Baldorioty De Castro was prisoner in this building. Located on #64 Muñoz Rivera Street in Juana Diaz.

IV.**ARCHAEOLOGICAL POTENTIAL**

The location of the Juana Diaz Ruta the Ruta de los Tres Santos Reyes project is within the Traditional Center of Juana Diaz, founded in 1798. The protection covers the quadrant of streets surrounding the Baldorioty De Castro municipal plaza and the San Ramón Nonato Church, which is listed on the National Register of Historic Places (NRHP), until reaching kilometer 14.6 of the former military street, PR-14, also listed on the National Register of Historic Places (NRHP). The extension of this project covers buildings of great historical and scenic value.

As part of the construction works for the Ruta de los Tres Santos Reyes, the soil of Comercio, Federico Degetau, Luis Muñoz Rivera, Carrión Maduro, Mariano Abril, Eugenio María de Hostos, Ángel R. Mora, Calle 1, and Calle Orquídea will be remediated to improve sidewalks, lighting, ramps for people with disabilities, and the asphalt. Therefore, the discovery of the remains of homes on the streets to be renovated, as well as the remains of the old chapel in the square, is not ruled out. Other possibilities include the discovery of historical material related to the construction of the old military highway, an old drainage system for collecting municipal water, or other ancient infrastructure.

The location of the APE, the scope of the project, and the proposed improvement work present the possibility of historical discoveries worthy of attention.

Within the quarter mile extension range of the Ruta de los Tres Santos Reyes project there are three cultural resources registered with the Institute of Puerto Rican Culture and the State Conservation Office (SHPO): (JD0200001) The San Juan Bautista and San Román Nonato Church, (JD0200001) the Fernández Juncos School and (SG10000368) the Central Highway (Figure #40 on page #37).

Figure 40: Project Location with Previously Recorded Cultural Resources



V.**ARCHAEOLOGICAL MONITORING PROCEDURE**

The monitoring activities can be divided into three groups: activities before the project begins, activities during construction, and post-construction activities. Monitoring is limited to activities that entail demolition and excavations. Those construction activities that do not entail excavations or earth movements do not require an archaeological monitor. However, if there are activities with heavy equipment taking place in the vicinity of historic buildings, there should be a monitor present to prevent accidents and indirect impacts.

A. Before Construction Begins

1. The Construction Manager (CM) will notify the Project Manager (PM), Grant Manager (GM), and Monitor of the proposed activities' start date. The PM is responsible for coordination between the CM and the SOI-qualified archaeologist who will oversee the monitoring (Monitor). The GM shall notify the State Historic Preservation Office (SHPO) and the Archaeology and Ethnohistory Program (PAE) of the Institute of Puerto Rico History (ICP) of the construction start date and the archaeology company charged with implementing this Plan.
2. Before any demolition or construction begins, the PM, CM, GM, and Monitor will have a kickoff meeting to discuss the procedure for archaeological monitoring, including the coordination protocol between the Monitor and the Contractor. The Monitor will provide an orientation on the area's cultural resources and potential resources and their proper treatment. The Monitor will also explain which project activities require archaeological monitoring.
3. The CM, PM, and construction crew will complete and sign a statement outlining the activities that may not be performed without the Monitor's presence, demonstrating their understanding and commitment to following the archaeological monitoring procedures.
4. The Monitor will document the historic properties (NRHP-listed and eligible) located within the project's area of potential effects by means of verbal descriptions and photographs. This documentation shall be included as an appendix to the first weekly report. This report will be submitted to the Archaeology and Ethnohistory Program (PAE) of the Institute of Culture of Puerto Rico (ICP) with the first monthly report.

B. During Demolition and Construction

1. The Monitor shall be in the field during all project activities involving demolition and ground disturbance; access and clear sightlines to all demolition and excavation activities and debris removal will be provided to the Monitor. In the event of simultaneous excavations in different areas of the project, an archaeologist should be assigned to each area.
2. Vibration monitoring shall be conducted during all activities that require use of heavy machinery equipment adjacent to vulnerable historic properties.
3. The Monitor shall provide instructions directly to the construction field personnel concerning how to proceed when there is a potential to impact an archaeological resource. The construction field personnel will abide by these requests: excavate slowly, stop the excavation work to evaluate a finding, etc.

4. The Monitor shall keep a record of monitored activities. The Monitor shall fill out the Daily Record of Activities Form (see Appendix A). These Forms will be attached to the final report as an appendix. These forms should be send weekly to the GM for review.
5. A monthly report will be prepared, including photos of the area of interest. The report shall be emailed to the GM during the week following the month in which the monitoring was conducted. The PRDOH or the GM on behalf of PRDOH will be responsible for submitting the report to the SHPO and the PAE.
6. The Monitor shall document all archaeological remains identified during construction activities, except for previously unidentified historically significant findings (refer to B-8 below). The documentation shall include a detailed description of the discovery, context, horizontal and vertical provenience, photos, and a plan drawing. This documentation shall be done within a reasonable amount of time, trying as much as possible, not to impact on the project schedule.
 - a. The documentation may require extending the contractor excavations to expose and define the finds. Associated stratigraphy will be documented and representative samples of associated artifactual material will be recovered. For structural remains, construction materials and techniques will be documented. The controlled units may vary in size according to the nature and dimensions of the archaeological find. These will be excavated by strata, cultural or natural, with vertical and horizontal control. When warranted, the removed soil will be sifted through ¼ inch mesh. The recovered artifactual material will be bagged and labeled by specific origin. It shall proceed in accordance with the protocol included in item B-7.
7. Any subsurface feature may be demolished and removed after being documented by the Monitor and approved by the GM. The information recorded will be included in the final report.
8. If the identified archaeological remains are considered historically significant– i.e., complex structures, precolonial remains or stratified deposits – the Monitor shall instruct the construction crew to (1) immediately cease work in the vicinity of the discovery, (2) take all reasonable measures to avoid or minimize harm to the property, and (3) notify the PM, CM, and GM. The GM shall immediately notify the PAE, and the SHPO, as per stipulation III.B.1.b. of the PA. The following protocol shall be followed:
 - a. The Monitor shall make a preliminary assessment of the finding. The assessment shall include a description of the discovery, location, horizontal and vertical extent (if known), context, photographs, and drawings, as deemed necessary. The assessment shall also include a work plan for implementing a National Register of Historic Places' eligibility evaluation of the exceptional remains (in other words, an evaluation of significance and integrity).
 - b. The assessment and NRHP-eligibility evaluation work plan shall be submitted via email to the PM and GM within 24 hours of the discovery. The GM will comment on the work plan within 24 hours of receiving it.
 - c. The Monitor shall implement the work plan after receiving the GM's authorization to proceed. After completing the fieldwork, the Monitor shall prepare an End of Field Report, summarizing the results. Said report should include an NRHP-eligibility determination. The End of Field Report shall be submitted via email to the PM and GM within 48 hours after completing the fieldwork.
 - d. The GM shall notify the SHPO and PAE of the NRHP-eligibility determination.

- i. If the finding is **not eligible** to the NRHP, the GM shall notify the SHPO and PAE and provide supporting documentation. Construction activities may resume under archaeological monitoring unless the SHPO or PAE disagrees with the NRHP determination and makes a timely objection within 48 hours of the notification.
 - ii. If the finding is **eligible** to the NRHP, the criteria of adverse effect shall be applied. If the project activities do not adversely affect the finding, the GM shall notify the SHPO and PAE, and provide supporting documentation. Construction activities may resume under archaeological monitoring unless the SHPO or PAE makes a timely objection within 48 hours of the notification.
 - iii. If the project activities have an **adverse effect** on the NRHP-eligible finding, a Data Recovery will be implemented as a Treatment Measure per Appendix F of the PA. The Monitor shall develop a data recovery plan with a research design consistent with the Secretary of the Interior's Guidelines for Archeological Documentation (http://www.nps.gov/history/locallaw/arch_stnds_7.htm), the Advisory Council on Historic Preservation's (ACHP) recommendations on the recovery of significant information from archaeological sites as updated in 2009, at https://www.achp.gov/protectinghistoricproperties/Section_106_Archaeology_Guidance_and_Regulation_#8932. The data recovery plan shall be submitted via email to the GM for comments. The GM shall be responsible for submitting the data recovery plan to the SHPO and PAE for comments and approval. This treatment measure does not apply to burials or human remains (refer to IV.D of this work plan).
9. If architectural features are found, as far as possible, the finding should be preserved and protected, and every effort should be made to adapt the design of the project and avoid negative impact to the finding.
10. Processing of archaeological artifacts, if any, will be conducted concurrently with the field work. A summary of these activities shall be included in the monthly report. Artifacts shall be curated and processed in accordance with the standards set forth in 36 CFR Part 79 Curation of Federally-Owned and Administered Archaeological Collections.
 - a. Artifacts shall be washed and sorted. Materials such as ceramics, lithics, shell, bone, glass, metal, and others, should be subject to general analysis considering aspects such as material, manufacture, style, function, type, variety, use, and others. Due to their nature, some of these materials require specialized analysis such as studies of malacology, zooarchaeology, bioarcheology, among others, which should be carried out by specialists. The classification scheme used in the classification will be chosen by the archaeologist according to the context, type of material recovered and previous experience. The classification scheme shall be referenced with available bibliographic references.
 - b. The materials laboratory shall include a quantitative, qualitative, and comparative analysis of all archaeological materials recovered during archaeological monitoring. An inventory of artifacts by category, and a catalog of artifacts by material type shall be prepared.
 - c. Photographic documentation shall be made of representative artifacts in the collection.

- d. If necessary, documentary research will be conducted for analysis and interpretation of artifacts and other finds.
 - e. Samples from strata or from particular cultural elements must be properly packaged, labeled and preserved. The data resulting from their analysis must be included in the final report.
11. If any additional construction activities are added or design changes are made after the project has begun, the CM and PM, prior to performing the work, shall inform the GM and the Monitor. The Monitor, in conjunction with GM, shall evaluate these activities and apply the adverse effect criteria. If it is determined that the effect is adverse, the archaeologist will provide recommendations on how to avoid, minimize, or mitigate the adverse effect. These recommendations will be consulted with the SHPO and PAE prior to implementation. The SHPO and PAE will have 15 days to comment on the recommendations. If no communication is received within that time frame it will be assumed that the SHPO and PAE has no objection and concurs with the recommendations outlined.
 12. If during construction activities a historic property is affected in an unanticipated manner, the CM shall stop work immediately, and inform the PM, GM, and Monitor. The Monitor, in conjunction with GM, shall evaluate the unanticipated effects and apply the adverse effect criteria within no more than 24 hours. If the effect is determined to be adverse, the Monitor and GM will provide recommendations on how to avoid, minimize, or mitigate such adverse effects. The GM shall consult with the SHPO and PAE on the recommendations prior to implementation. The SHPO and PAE will have 48 hours to comment on the recommendations. If no communication is received within that timeframe, it will be understood that the SHPO and PAE has no objection and concurs with the recommendations outlined.

C. After Construction Ends

1. Upon the completion of archaeological monitoring, the PM and GM shall be notified. The estimated date of delivery of the final report shall be indicated in the said notification.
2. The Monitor shall again document the historic properties located within the project's area of potential effects. The condition of the properties should be compared with those documented at the beginning of the project. This documentation shall be included in the final technical report.
3. The Monitor shall prepare an Archaeological Supervision End of Field Report, which shall include the main findings and their location, the methodology used for their excavation and documentation, conclusions on the effectiveness of the archaeological supervision, the integrity and importance of the archaeological resources discovered, meritorious protection aspects and clear recommendations as to the course of action to be followed. It should also include the date of delivery of the Final Report. This report will be delivered to the GM. The GM shall be responsible for submitting it to the SHPO and the PAE. The report shall be submitted to the GM no later than two (2) weeks after completing the archaeological monitoring work. The GM shall submit the report to the SHPO and PAE no later than one (1) week after receiving it.
4. A Final Archaeological Monitoring Report shall be prepared and submitted by the date stipulated in the End of Field Report. This report shall include a description of the work performed, the construction activities that were archaeologically monitored, and documentation of unexpected finds, if any. It should also include final documentation of the

condition of the properties along with a comparison of the final condition of the structures to the initial condition. The report shall comply with Article 10 Section 8 of Regulation #8932, which outlines the content and format it should have.

- a. If the Final Archaeological Monitoring Report cannot be delivered on the established date, an extension of time will be requested from the Council, indicating the reasons why the report cannot be delivered. The request for extension shall be submitted, to the extent possible, fifteen (15) working days prior to the established date. The Council shall reply within fifteen (15) working days, in accordance with the provisions of Article 10 Section 7 of Regulation #8932, setting a final deadline for the delivery of the report. The request for extension of time must be copied to the SHPO.
5. The Principal Investigator will be responsible for retaining his or her original field notes, digital photographs, expert reports, drawings, maps and any other digital photographs, expert reports, drawings, maps, and any other documents associated with the study conducted (including digital files) and shall ensure future reference by other researchers for future reference. If unable to keep these documents, the archaeologist shall deliver them to the PAE.

D. Human Remains

If human remains are discovered, the protocol established in Stipulation III.B.1.c. of the PA and IPRC Regulation #8932, must be followed:

1. Stop work immediately.
2. Notify the local law enforcement office and coroner/medical examiner following applicable Commonwealth statute(s).
3. Protect the remains from any harm.
4. The GM shall be responsible for notifying the SHPO and PAE within twenty-four (24) hours of identifying human remains.
5. The services of a physical anthropologist or specialist in bioarcheology will be required.

II. PROFESSIONAL QUALIFICATIONS:

The Monitor must meet the minimum Secretary of the Interior Professional Qualifications Standards for Archaeology established in 36CFR Part 61. These are: a graduate degree in archaeology, anthropology, or closely related field, plus at least one (1) year of full-time professional experience or equivalent specialized training in archaeological research, administration, or management; at least four (4) months of supervised field and analytic experience in general Puerto Rican archaeology; the demonstrated ability to carry research to completion; and at least one (1) year of full-time professional experience at a supervisory level in the study of archaeological resources of the pre-Columbian and colonial periods. Please see https://www.nps.gov/history/local-law/arch_stnds_9.htm for more information.

The SOI-qualified archaeologist shall not defer their monitoring responsibilities to any other person who does not meet the minimum professional qualifications. Any additional personnel to intervene in monitoring efforts shall have vast experience in historic archaeology, in working in evaluation (Phase II), documentation (Phase III), and monitoring projects dealing with colonial period properties.

The Principal Investigator may not transfer his or her duties, obligations, and responsibilities to subordinates or other technicians who are not professionally trained in archaeology. In the case of hiring archaeologists and trained technicians to assist in archaeological monitoring, the Principal Investigator must be present for at least 25 percent of the duration of the fieldwork to supervise them.

III. CITED REFERENCES:

Advisory Council on Historic Preservation

2009 ACHP recommendations of recovery of significant information from archaeological sites
https://www.achp.gov/protectinghistoricproperties/Section_106_Archaeology_Guidance.

Consejo para la Protección del Patrimonio Arqueológico Terrestre de Puerto Rico.

2017 *Reglamento para la radicación y evaluación arqueológica de proyectos de construcción y desarrollo*. San Juan: ICP. Reglamento #8932 del 8 de febrero de 2017.

SOI Archaeologist:

Muñoz Fernando, Alvarado

SOI Architectural Historian:

Muñiz Reyes, Javish

2017 Disaster Recovery, CDBG-DR Program.

City Revitalization Program (City-Rev). Section 106 - NHPA Effect Determination Form.

National Park Service

“Archeology and Historic Preservation: Secretary of the Interior’s Standards and Guidelines [As Amended and Annotated] Professional Qualification Standards”.

https://www.nps.gov/history/local-law/arch_stnds_9.htm

“Archeology and Historic Preservation: Secretary of the Interior’s Standards and Guidelines for Archeological Documentation”. http://www.cr.nps.gov/local-law/arch_stnds_7.htm

Designer Company

TCM Group PSC

100% Design Drawings. Ruta de los Tres Reyes Magos of Juana Diaz.

Diaz Puerto Rico, PR-CRP-000437.


VI. APPENDIX A:

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CITY-REV) Section 106 NHPA Effect Determination		
Project Name:		
Case ID:	City:	
Project Coordinates:		

SCI Qualified Archaeologist:
Archaeologist Assistant:
Date of Monitoring:
Work Hours:

Description of work performed by contractor and supervised by the Monitor:

	YES	NO
Are the project activities conforming to the LIDRS? If not, explain below.	X	<input type="checkbox"/>
Was an archaeological remain documented during the day. If yes, include required information below.	<input type="checkbox"/>	X
Was an exceptional archaeological remain identified during the day? If yes, explain below.	<input type="checkbox"/>	X
Have the construction activities affected a previously unidentified property or a known historic property in an unanticipated manner? If yes, explain below.	<input type="checkbox"/>	X
Has there been a change in the scope of work of <u>the</u> project? If yes, explain below.	<input type="checkbox"/>	X

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CITY-REV) Section 106 NHPA Effect Determination		 GOBIERNO DE PUERTO RICO DEPARTAMENTO DE SALUD
Project Name:		
Case ID:	City:	
Project Coordinates:		

Site Photos	
Direction of Photo: Description:	
Direction of Photo: Description:	

APPENDIX B:

Puerto Rico State Historic Preservation Office (PRSHPO) March 21, 2025.

APPENDIX C:

100% Design Drawings. Mejoras Ruta de los Tres Santos Reyes of Juana Diaz Puerto Rico, PR-CRP-000437.

Friday, March 21, 2025

Lauren B Poche

269 Avenida Ponce de León, San Juan, PR, 00917

SHPO-CF-02-20-25-05 PR-CRP-000437 (Juana Diaz), Improvements to the Ruta de Los Tres Santos Reyes

Dear Ms. Poche,

Our Office has received and reviewed the above referenced project in accordance with 54 USC 306108 (commonly known as Section 106 of the National Historic Preservation Act, as amended) and 36 CFR Part 800: Protection of Historic Properties from the Advisory Council on Historic Preservation.

After a review of all the documentation, the PRSHPO agrees with your finding that the proposed project, with the established conditions, will have no adverse effect upon historic properties:

1. All rehabilitations are to be carried out in accordance with the Secretary of the Interior's Standards and Guidelines for Rehabilitation; and
2. Archaeological monitoring during all ground-disturbing activities.

If you have any questions concerning our comments, do not hesitate to contact our Office.

Sincerely,



Carlos A. Rubio Cancela

State Historic Preservation Officer
CARC/GMO/MB



GOVERNMENT OF PUERTO RICO
DEPARTMENT OF HOUSING

April 30, 2024

Arch. Carlos A. Rubio Cancela

Executive Director
Puerto Rico State Historic Preservation Office
Cuartel de Ballajá, Third Floor
San Juan, Puerto Rico 00901

Re: Authorization to Submit Documents for Consultation

Dear Arch. Rubio Cancela,

The U.S. Department of Housing (HUD) approved the allocations of Community Development Block Grant (CDBG-DR) funds on February 9, 2018. It also approved the allocation of Community Development Block Grant Mitigation (CDBG-MIT) funds on January 27, 2020. The purpose of these allocations is to address unsatisfied needs as a result of Hurricanes Irma and Maria in September 2017; and to carry out strategic and high-impact activities to mitigate disaster risks and reduce future losses.

To comply with the environmental requirements established by HUD, the Department of Housing of Puerto Rico (PRDOH) contracted Horne Federal LLC to provide environmental review services, among others, that will support the objectives of the agenda for both CDBG-DR and CDBG -MIT Programs.

To expedite the processes, Horne Federal LLC, is authorized to submit to the State Historic Preservation Officer, documentation of projects related to both the CDBG-DR and CDBG-MIT on behalf of PRDOH.

Cordially,

Aldo A. Rivera Vázquez, PE

Director
Division of Environmental Permitting and Compliance
Office of Disaster Recovery

February 20, 2025

Carlos A. Rubio Cancela
State Historic Preservation Officer
Puerto Rico State Historic Preservation Office
Cuartel de Ballajá (Tercer Piso)
San Juan, PR 00902-3935

Puerto Rico Disaster Recovery, CDBG-DR City Revitalization (City-Rev) Program
Section 106 NHPA Effect Determination Submittal for PR-CRP-000437,
Improvements to the Ruta de Los Tres Santos Reyes, Juan Diaz, Puerto Rico –
No Adverse Effect, Conditioned

Dear Architect Rubio Cancela,

On February 9, 2018, an allocation of Community Development Block Grant - Disaster Recovery (CDBG-DR) funds was approved by the United States Department of Housing and Urban Development (HUD) under the Federal Register Volume 83, No. 28, 83 FR 5844, to assist the Commonwealth of Puerto Rico in meeting unmet needs in the wake of Hurricanes Irma and Maria. On August 14, 2018, an additional \$8.22 billion recovery allocation was allocated to Puerto Rico under the Federal Register Volume 83, No. 157, 83 FR 40314. With these funding allocations, the Puerto Rico Department of Housing (PRDOH) aims to lead a comprehensive and transparent recovery for the benefit of Puerto Rico residents. To faithfully comply with HUD's environmental requirements, PRDOH contracted Horne Federal, LLC (HORNE) to provide environmental records review services that will support their objectives for the CDBG-DR funds.

On behalf of PRDOH, HORNE is submitting documentation for the Improvements to the Ruta de Los Tres Santos Reyes project in the Juan Diaz Traditional Urban Center, which is eligible for listing in the National Register of Historic Places. The Municipality of Juana Diaz proposes to implement the Ruta de Los Tres Santos Reyes, a half-mile long route will connect the Los Tres Santos Reyes Museum and the Román Baldorioty de Castro Public Plaza. The project will redesign the experience for Juana Diaz residents and visitors along Comercio Street (PR-14), which is part of the former Military Road (Carretera Central) listed in the National Register of Historic Places, and Carrión Maduro Street (PR 570) presenting history and tradition through art and architecture. The scope of work includes installation of brick road pavement, sidewalk improvements, ADA compliant access

and ramps, construction of curbs and gutters, swales, ornamental lighting poles, benches, and bollards. The project also proposes selective artistic painting of seven facades along the route. The full scope of the project is described in the submitted documentation, which includes mapping, photographs, and the 100% design plans.

Based on the documentation provided, the Program requests a concurrence with a determination that "**No Adverse Effect**" is appropriate for this undertaking, conditioned to the following: (1) All work to historic structures must be conducted per the Secretary of the Interior's Standards for Rehabilitation and (2) Archaeological monitoring during all ground-disturbing activities. If this condition is deemed appropriate, an archaeological monitoring plan will be prepared and submitted to the PRSHPO for review and concurrence of the appropriateness of its implementation for this undertaking. for review and concurrence of the appropriateness of its implementation for this undertaking.

If you have any questions or concerns, please contact me by email at lauren.poche@horne.com or phone at 225-405-7676.

Kindest regards,

A handwritten signature in cursive script that reads 'Lauren B. Poche'.

Lauren Bair Poche. M.A.

Architectural Historian, EHP Senior Manager
LBP/KPS


Attachments

PR-CRP-000437

**Improvements to the Ruta de Los Tres
Santos Reyes Project**

Juan Diaz, Puerto Rico

Section 106 Effect Determination Form

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Diaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Project Location: Urban Center, Pueblo Ward, Juana Diaz Puerto Rico (Starting point: Comercio Street (PR-14) km 14.6 until Román Baldorioty de Castro Public Square).	
Project Coordinates: Starting Point (Lat. 18.053032, Long. -66.499713) to End Point (Lat. 18.051440, Long. -66.505785).	
TPID: 366-030-078-03-000, 366-030-079-96-000, 366-030-082-03-000, (366-030-090-34-000, 366-030-090-22-000), 366-030-021-54-000, 366-030-039-49-001, 366-030-037-08-001	
Type of Undertaking: <input checked="" type="checkbox"/> Substantial Repair <input type="checkbox"/> New Construction	
Construction Date (AH est.): Streets from Ca. 1798. Buildings from Ca. 1880	Property Size (acres): 3.35 acres - Streets 8.25 acres – Buildings lots

SOI-Qualified Architect/Architectural Historian: Javish Muñiz Reyes
Date Reviewed: Original EDF Date: March 11 2024, Subsequent Revisions: (May 25, 2024, August 12, 2024, January 25, 2025)
SOI-Qualified Archaeologist: Fernando Alvarado Muñoz
Date Reviewed: Original EDF Date: March 11 2024, Subsequent Revisions: (May 25, 2024, August 12, 2024, January 25, 2025)

In compliance with Section 106 of the National Historic Preservation Act (NHPA), the Program is responsible for identifying historic properties listed in the NRHP and any properties not listed that would be considered eligible for listing that are located within the geographic area of potential effects (APE) of the proposed project and assessing the potential effects of its undertakings on these historic properties.

Project Description (Undertaking)

Under the City Revitalization program, using CDBG funds, the Municipality of Juana Diaz proposes to implement the Ruta de Los Santos Reyes starting from east to west, Calle Comercio, Kilometer 14.6, bordering to the south of the Museo de los Tres Reyes Magos until kilometer 14.0, bordering to the east of the Roman Baldorioty de Castro public square. From south to north, Comercio Street intersection with Carrion Maduro Street to the intersection of Carrion Maduro Street with Federico Degetau Street. From east to west, Federico Degetau Street intersection with Carrión Maduro Street to Federico Degetau Street intersection with Luis Muñoz Rivera Street. From north to south, Muñoz Rivera Street intersection with Federico Degetau Street to Comercio Street intersection with Luis Muñoz Rivera Street. The implementation of this route aims to revitalize the scenic aspect focused on the tradition of the Los Tres Santos Reyes. The Ruta de Los Tres Santos Reyes will be a scenic route focused on one of the greatest traditions of the city. This half-mile long route will connect the Los Tres Santos Reyes Museum and the Román Baldorioty de Castro Public Plaza through elements alluding to the Epiphany festival. The project will redesign the experience for Juana Diaz residents and visitors along Comercio Street (PR-14)


PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	

and Carrión Maduro Street (PR 570) presenting history and tradition through art and architecture. The project includes the presentation of stamps at strategic points and intersections of the route. The project includes the redesign of the intersections, in which it will be necessary to remove asphalt to be replaced by elements comparable in quality and resistance. Elements with information alluding to the tradition of the Three Holy Kings and their history will also be installed on the sidewalks. The sidewalks will be remodeled with elements alluding to tradition and signage. Improvements to the route include providing accessibility and ADA compliance, which detailed below. The ornamental lighting poles will be replaced by ones of resilient nature and greater efficiency in line with energy conservation regulations.

Likewise, buildings will be included to decorate them with artistic paintings symbolizing, through art, the tradition of the Tres Santos Reyes de Juana Díaz. The proposal in general terms proposes to increase the flow of tourists and visitors from Plaza Baldorioty de Castro to the Los Tres Santos Reyes Museum. The new route will provide a unique scenic experience alluding to Epifanía, a tradition rooted in the town of Juan Díaz and Puerto Rico. This route will be a cultural asset between the Pueblo and Tijeras neighborhoods that will attract tourism and develop the economy of the area. This will also be of benefit to the rest of the communities of the municipality in the neighborhoods of Amuelas, Cayabo, Capitanejo, Cintrona, Collores, Guayabal, Jacaguas, Lomas, Río Cañas Abajo, Río Cañas Arriba and Sabana Llana. The primary focus of this project is on achieving the necessary rehabilitation and improvements in public infrastructure along the streets that will serve as a connection between the two city landmarks. This will turn the area into a tourist attraction, contributing to the revitalization of the city. In addition, the Secretary of The Interior guidelines and recommendations will be complied with in urban centers and the regulations in volume X of the Joint Regulations of Puerto Rico will be followed.

Demolitions:


- Asphalt pavement demolished and disposition (18,960 square feet). For this work an expected 11-1/2" maximum depth of excavation will be done.
- Selective concrete sidewalks demolition and disposition (39,100 square feet). For this work an expected 8" maximum depth of excavation will be done.
- Selective concrete curbs and planters' demolition and disposition (20,140 square feet). For this work an expected 1'-6" maximum depth of excavation will be done.
- Remove existing lighting system and ninety-one (91) lighting poles, and disposition.
- Excavations and disposal base for concrete slab on ground (77,800 cubic feet). For this work an expected 2'-0" maximum depth of excavation will be done.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Diaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	

Constructions and replacements:

- * New improvements will be made to the sidewalks (16,060 square feet) of the pedestrian perimeters of the square. New access and new ramps will be built according with ADA guidelines (3,720 square feet). For this work an expected 8" maximum depth of excavation will be done.
- * New installation of brick roads pavement (38,900 square feet). For this work an expected 2'-0" maximum depth of excavation will be done.
- * New construction of eight-inch (8") slab on ground for brick pavement installation (951 cubic yards). For this work an expected 2'-0" maximum depth of excavation will be done.
- * New construction of curbs and gutters (4,094 line feet). For this work an expected 1'-6" maximum depth of excavation will be done.
- * New construction of concrete swales (60 line feet). For this work an expected 10" maximum depth of excavation will be done.
- * New replacement of seven (7) secondary electrical feeders. No excavation will be necessary for these works.
- * Installation of new four (4) new informative concrete modules. For this work an expected 3'-0" maximum depth excavation will be done.
- * Installation of ornamental lighting poles (in kind) in the streets and intersection of the Comercio Street, Carrion Maduro Street, Degetau Street and Muñoz Rivera Street. No excavation will be necessary for these works.
- * Installation of new twenty-two benches (22) Benito Urban Kube model, through the Ruta de Los Tres Santos Reyes. No excavation will be necessary for these works.
- * Installation of twelve (12) new bollards, Benito Piona Kube model, through the Ruta de Los Tres Santos Reyes. For this work an expected 4" maximum depth excavation will be done.
- * Relocation of one (1) hydrant. No excavation will be necessary for these works.
- * Manholes elevation modification and covers installation in the streets that are part of the Ruta de los Tres Santos Reyes proposed project. No excavation will be necessary for these works.
- * Installation of new tree (3) storm sewer metal grades. No excavation will be necessary for these works.

The width of the excavations may vary depending on the conditions of the area and the type of work to be carried out. These excavations are expected to range from 6" to 52'-0" wide.


PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	

- * New selective artistic painting in the front facade (1,000 square feet area) of Building #1/366-030-078-03-000, located in PR14, corner with Orquídeas Street, in Juana Díaz.
 - * New selective artistic painting in front facade (800 square feet area) of the Apartamentos el Dorado, Building #2/366-030-079-96-000, located in PR14 Street in Juana Díaz.
 - * New selective artistic painting (650 square feet area) of the exterior perimeter wall of the Rutherford B. Hayes School, Building #3/366-030-082-03-000, located in PR14 Street in Juana Díaz.
 - * New selective artistic painting (775 square feet area) of the exterior perimeter wall of the Manuel Fernandez Juncos School, Building #4/366-030-090-34-000, 366-030-090-22-000, located in PR14 Street in Juana Díaz.
 - * New selective artistic painting in front facade (1,300 square feet area) of Cooperativa de Juana Diaz, Building #5/366-030-021-54-000, located in PR14 Street in Juana Díaz.
 - * New selective artistic painting in the left facade (960 square feet area) of Building #106 Building#6/366-030-039-49-001, located in PR14 Street in Juana Díaz.
 - * New selective artistic painting in front and left facade (1250 square feet area) of Building #92 (Mueblacentro Guayabal), Building #7/366-030-037-08-001, located in PR14 Street in Juana Díaz.
- Knowing the importance of the treatment, considerations and care that must be taken for the treatment of interventions in the masonry building, measures will be taken to ensure its integrity and historical value. For this purpose, methods will be implemented for cleaning, surface preparation and paint application. For wall cleaning, a visual assessment will be carried out to identify stains and pathologies in order to determine the condition of the surface or existing damage in the building prior to carrying out any intervention. For cleaning, soft brushes will be used to remove dirt, eliminating dust, pollen, mold or any harmful particles.

For more persistent stains, clean water will be applied with sponges or soft brushes. Biodegradable or environmentally safe cleaning or paint remover products will be used. This will be done by avoiding the use of high pressures that could damage the surface. To ensure that the work is being carried out with the importance and specifications required to ensure the integrity of the building, the staff will be trained prior to the work and supervised at all times.

Tests will be carried out on the surface to ensure that the cleaning chemicals are compatible with the existing material. The surface will be checked to ensure that it is suitable for paint application and that the paint will adhere correctly. For this, cracks, holes and deteriorated areas will be checked. Mortars compatible with the originals will be used to repair cracks and damage. If necessary, repair of masonry elements by patching, joining or consolidating the masonry using recognized conservation methods. Efflorescence and moisture stains will be removed using gentle methods. Rough areas will be lightly sanded and any loose material removed to obtain a uniform surface.

The protection of building elements, continuous with the building or adjacent structures that will not be part of the works, will be protected to ensure that they are not affected by the work on the structure to be worked on.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	

Damaged or deteriorated paint shall be removed only to the next good coat using the gentlest method possible (by example, hand scraping) before repainting. For the paint finish, paint will be applied in a uniform and durable manner respecting the characteristics of the building.

The artistic painting to be applied will be a new addition to the building that will clearly differentiate itself from the historic building. Although it may have contemporary elements, it will be compatible in terms of mass, materials, relationship of solids, voids and color.

* The new selective artistic painting for the aforementioned buildings and perimeter walls will be carried out after surface preparation and pressure washing of the area to be painted. This will be performed according to the Secretary of the Interior Standards for Rehabilitation. <http://www.nps.gov/articles/000/treatment-standards-rehabilitation.htm>. Per the standards, Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials with not be used. Also useful at <https://www.nps.gov/orgs/1739/preservation-briefs.htm> are specifically Preservation Brief 1 (Assessing Cleaning and Water-Repellent Treatments for Historic Masonry Buildings), Preservation Brief 6 (Dangers of Abrasive Cleaning to Historic Building), Preservation Brief 15 (Preservation of Historic Concrete).

*All the new paint used to decorate the buildings or perimeter fences, once applied, may be removable, as desired by the municipality of Juana Díaz. The paint to be used will be for exterior use, in pastel colors, durable under weather conditions, with UV protection, and of reliable quality for excellent adhesion to the surface. Primer application is required prior to paint application to ensure paint efficiency and durability. The selection of paint colors must have prior approval from the Puerto Rican Institute of Culture and the State Historic Preservation Office (SHPO), before being applied.

The current description of each building and its proposed views according to the proposed artistic painting are presented on the next page.

100% completed plans, including the artistic painting of the buildings, are provided attached to this documentation.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM
CITY REVITALIZATION PROGRAM (CRP)
Section 106 NHPA Effect Determination



Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437

Building #1 (#366-030-078-03-000)

#14 Street, Luis Muñoz Marín Building A-1, Villas del Carmen Urbanization, Juana Díaz Puerto Rico

Description: Three-story commercial building built circa 1977. Its geometry is rectangular. Its architecture style is considered modern. Its materials are composed of concrete walls and ceiling. Blocks and Portland cement concrete are part of its construction composition. Finished in concrete plastering. The roof and floor are made of concrete slabs. It has Miami-style aluminum windows. Its doors are made of aluminum and there are several air conditioning systems added to the building to supplement ventilation. The new artistic painting proposed on the south facade of the building will be an addition element of the original building.

Eligibility: Its location is outside the Traditional Urban Center. It is situated in a residential area east of the urban center. Its façade and geometry are modern with a design typical of the recent times (XX-XXI). Built with modern materials and elements. It does not contain any artisanal or artistic element or detail of cultural value. The building conveys a feeling of commercial use in current times. The building does not carry with it any association or direct link between a historically significant event or person and a historical asset.

The building does not meet the criteria of eligibility to the NRHP.



East and North Facade



South Facade



West Facade



Proposed View of the Building

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM
CITY REVITALIZATION PROGRAM (CRP)
Section 106 NHPA Effect Determination



Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437

Building #2 (#366-030-079-96-901) El Dorado Apartments
 PR-14 Street, #143, BO. Tijeras, Juana Díaz Puerto Rico

Description: Five-story residential building built circa 2005. Its geometry is L-shaped. Its architectural style is considered modern. Its materials consist of concrete walls and ceiling. Portland cement blocks and concrete are part of its construction composition. Concrete plaster finish. The roof and floor are made of concrete slabs. It has Miami style aluminum windows. Its doors are made of aluminum and it is equipped inside with independent spaces that make up apartments for residential purposes. The new artistic painting proposed on the south facade of the building will be an addition element of the original building.

Eligibility: Its location is outside the Traditional Urban Center. It is situated in a residential area east of the urban center. Its façade and geometry are modern with a design typical of the recent times (XX-XXI). Built with modern materials and elements. It does not contain any artisanal or artistic element or detail of cultural value. The building conveys a feeling of commercial use in current times. The building does not carry with it any association or direct link between a historically significant event or person and a historical asset.

The building does not meet the criteria of eligibility to the NRHP.



East Façade



West Façade



South Façade



Proposed View of the Building

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM
CITY REVITALIZATION PROGRAM (CRP)
Section 106 NHPA Effect Determination



Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437

Building #3 (#366-030-082-03-000) Escuela Fernández Juncos
 PR-14 Street, 125 Juana Díaz Puerto Rico

Description: Building built around 1904, in concrete material. It originally consisted of four rooms, but twenty rooms were added in an extension carried out in 1930 and 1960. According to the Inventory of Historical Schools prepared by architect Rafael Pumarada, no information about this school was found in the AGPR. For the date of the study, from 1986, describes it as a two-story structure with 24 rooms and adds that: The original structure of a plant has undergone alterations. The original structure appears to have had a wooden floor and an iron roof. galvanized. The current floor plan is rectangular with an interior patio, a staircase attached to the interior cloister on an axis with the main entrance. The proposed new artistic painting will be placed only on the building's south perimeter fence and will be an added feature to the building's perimeter fence.

Eligibility: It is located in the Traditional urban Center. Its architecture is Mission style. Its geometry is rectangular in composition. Built with a design and materials distinctive to an architectural style of its time. Its curves, rectangular door or window frames, openings, moldings and other artisanal or artistic elements reveal a marked form of expression in its architecture. The building conveys a feeling of educational facilities. The building carries with it an association or direct link in buildings of government institutions focused on instruction within an urban space.

The property is eligible to the NRHP under criteria A and C. It is also contributing to the overall eligibility of the Juana Díaz Traditional Urban Center.



South Facade



Exterior South Perimeter Fence of the Building



Exterior South Perimeter Fence of the Building



Proposed View of the Building

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM
CITY REVITALIZATION PROGRAM (CRP)
Section 106 NHPA Effect Determination



Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437

Building #4 (366-030-090-34-000, 366-030-090-22-000) Rutherford B. Hayes, Comercio Street, PR-14 Juana Díaz PR.

Description: Building built around 1962, in concrete material. Building is built for educational purposes on two levels and with several buildings in a rectangular arrangement. Its materials consist of concrete walls and ceiling, with aluminum ceilings in corridor sections. Portland cement blocks and concrete are part of its construction composition. Concrete plaster finishing. It has Miami style aluminum windows. Its doors are made of aluminum and have simplistic modern features. The roof and floor are made of concrete slabs. According to investigations carried out, the building had some improvements or expansions around 2012. This could not be confirmed after analyzing the photos obtained of the building. The proposed new artistic painting will be placed only on the building's north perimeter fence and will be an added feature to the building's perimeter fence.

Eligibility: Its location is within the Traditional Urban Center. It is located in a residential and commercial area east of the urban center. Its façade and geometry are modern with a design typical of the recent times (XX-XXI). Built with modern materials and elements. It does not contain any artisanal or artistic element or detail of cultural value. The building conveys a sense of educational institutional use. In 2021, the building's library was named after Julio Enrique Alicea Bernier, a teacher by profession. The building has been built for more than 45 years and has contributed to the education and culture of the urban area.

The property is eligible to the NRHP under criteria A and C. It is also contributing to the overall eligibility of the Juana Díaz Traditional Urban Center.



North Facade and Perimeter Fence of the Building



**North Facade and Perimeter Fence of the Building
(West to East angle)**



**North Facade and Perimeter Fence of the Building
(East to West angle)**



Proposed View of the Building

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM
CITY REVITALIZATION PROGRAM (CRP)
Section 106 NHPA Effect Determination



Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437

Building #5 (366-030-021-54-000) Cooperativa de Ahorro y Crédito de Juana Díaz
 PR-14 Street, 113 Juana Díaz Puerto Rico

Description: Two-story commercial building built around 1999. Its geometry is rectangular. Its architectural style is considered modern. Its materials are composed of concrete walls and ceiling. Blocks and Portland cement concrete are part of its constructive composition. Finished in concrete plaster. The roof and floor are made of concrete slabs. It has aluminum and glass windows with adapted shutters. Its doors are made of aluminum with access to its interior through concrete stairs and ramps for the disabled with aluminum handrails. The new artistic painting proposed on the south facade of the building will be an additional element of the original building, which was previously intervened. Our research concludes that the building was previously a concrete house with an aluminum roof, used for commercial purposes for the sale of furniture by the Mueblería Hermanos Cruz. The property was demolished in the 1990s for the construction of what is now the Cooperativa de Ahorro y Crédito de Juana Díaz. This information was corroborated by Jessica Lynn Torres Colón, Compliance and Internal Audit Officer of the Juana Díaz Savings and Credit Cooperative. Relevant investigations were carried out in different sources to obtain photographs of the former property in its original state, including with the former owner of the demolished building, Mr. Francisco Cruz, but the expected results were not obtained. However, it was possible to obtain photos of the building during its demolition stage.

Eligibility: It is located within the Traditional Urban Centre. Its façade and geometry are modern with a design typical of recent times (XX-XXI). Built with modern materials and elements. It contains elements and materials typical of a modern construction period. The building conveys a feeling of current commercial use. The building has a more modern feel than the buildings used for commerce in the XX-XXI century and is intertwined with the buildings around it. The current building continues to be a relevant facility in the commercial aspect of the Traditional Urban Center. The building does not meet individual eligibility criteria for the NRHP, but contributes to the traditional urban center of Juana Díaz.



South Façade



East Façade



West Façade



Proposed View of the Building

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM
CITY REVITALIZATION PROGRAM (CRP)
Section 106 NHPA Effect Determination



Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437

Building #5 (366-030-021-54-000) Cooperativa de Ahorro y Crédito de Juana Díaz PR-14 Street, 113 Juana Díaz Puerto Rico. Photos of the demolition process of the old Mueblería Hermanos Cruz, Ca. 1998. This was done for the construction of the current building. These photos were provided by the Cooperativa de Ahorro y Crédito de Juana Díaz.



PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM
CITY REVITALIZATION PROGRAM (CRP)
Section 106 NHPA Effect Determination



Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437

Building #6 (366-030-039-49-001) 106, Comercio Street, Juana Díaz Puerto Rico

Description: Three-story commercial building built around 1972, after its current owner, Dr. Alberto Bigay Rodríguez and neighbors of the town, such as Mr. Antonio Verga, told us that there was a house on that lot before. Its geometry is rectangular. Its architectural style is considered modern. Its materials are composed of concrete walls and roof. Portland cement blocks and concrete are part of its constructive composition. Finished in concrete plaster. The roof and floor are made of concrete slabs. It has aluminum and glass windows with adapted shutters. Its doors are made of aluminum and glass. The new artistic painting proposed on the east facade of the building will be an additional element of the original building. Although the owner of the building, dentist and merchant Alberto Bigay Rodríguez, does not have photos of the old house where the commercial building is now located, we were able to obtain partial photos of that residence, where the before and after of the place is shown in context.

Eligibility: It is located within the Traditional Urban Center. Its façade and geometry are modern with a design typical of recent times (XX-XXI). It has distinctive elements of construction materials consistent with its time. The building has already been altered for commercial use. The building intertwines and adapts in harmony with the other commercial buildings in the area. The building does not meet individual eligibility criteria for the NRHP, but contributes to the traditional urban center of Juana Díaz.



North Facade



West Facade



East Facade



Proposed View of the Building

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM

CITY REVITALIZATION PROGRAM (CRP)

Section 106 NHPA Effect Determination



Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437

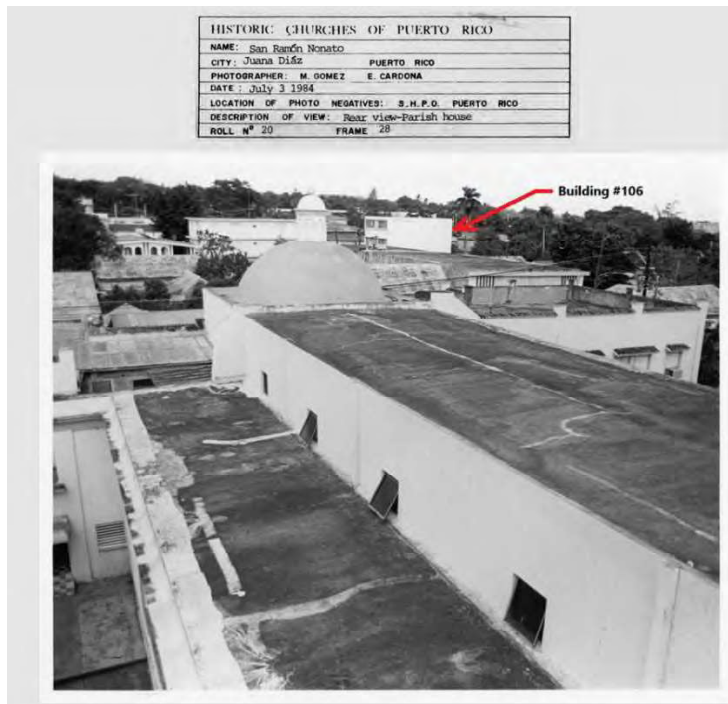
Building #6 (366-030-039-49-001) #106 Building in Juana Díaz Puerto Rico. Photo #1 obtained from the Institute of Culture of Puerto Rico shown Comercio Street circa 1898. Photo #2 is the same photo #1 but with zoom to show the building in the same place as building #106. Photo #3 is from 1984 obtained from the nomination of the San Roman Nonato Parish on the National Register of Historic Places (NRHP). In this photo the #106 building it can be seen.



#1



#2



#3

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM
CITY REVITALIZATION PROGRAM (CRP)
Section 106 NHPA Effect Determination



Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437

Building #7 (366-030-037-08-001 Multicentro Guayabal 92, Comercio Street, Juana Díaz Puerto Rico)

Description: Two level commercial building built circa 1830-1930. Its geometry is rectangular. Its architectural style is considered colonial, already intervened and adapted with modern elements. Its materials are composed of masonry, bricks and concrete in walls. Portland cement blocks and concrete on the second level are part of its constructive composition. It is finished in concrete plaster. It has French windows made of aluminum and glass. Its doors are made of aluminum and glass. The new artistic painting proposed on the east and north facade of the building will be an additional element of the original building, which was previously intervened.

Eligibility: It is located within the Traditional Urban Center. Its facade and geometry are colonial with a design typical of the XIX century, intervened to adapt it to a more modern composition. Built with old materials such as masonry and bricks, considered artisanal elements of historical value. The building conveys a feeling of commercial use in colonial times, geometry and characteristics similar to those of the coffee or sugar cane warehouses of the time. The building adds an aesthetic value to the urban center of Juana Díaz, located on the left side of the town square and church.

The property is eligible to the NRHP under criteria C. It is also contributing to the overall eligibility of the Juana Díaz Traditional Urban Center.



North Facade




North and East Facade



East Facade



Proposed View of the Building


PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	

Area of Potential Effects & Viewshed

As defined in 36 CFR §800.16(d), the area of potential effects (APE) is the geographic area or areas within which an undertaking may directly or indirectly cause changes in the character or use of historic properties if any such properties exist. Based on this definition and the nature and scope of the Undertaking, the Program has determined that the direct APE for this project is the Comercio Street (PR-14), which is part of the central highway and former military highway covering kilometers 10.0 to kilometer 23.7, it is included in the National Register of Historic Places since May 19, 2019. This direct APE has a measurement of 2,155'-0" x 370'-0". This road, which involves much discussion of engineering, has contributed to the urban development not only of Juana Díaz, but also throughout Puerto Rico, making access between the north and south of the island easier. Also in the APE are F. Degetau Street, Luis Muñoz Rivera Street, Carrion Maduro Street (PR-570), Mariano Abril Street, Angel R. Mora Street, Eugenio Maria de Hostos Street, #1 Street and Orquideas Street. Also, buildings known as "Los Reyes" Supermarket, "Egida El Dorado", "Escuela Manuel Fernández Juncos", "Escuela Rutherford B. Hayes", "Cooperativa de Ahorro y Crédito de Juana Díaz", "Comercio 106" and "Mueblacentro Guayabal".

The visual APE is the viewshed of the proposed project along the mentioned streets, includes all the properties surrounding of them (Page#25 to Page #63). This indirect APE has a measurement of 2,510'-0" x 620'-0". Within the visual APE, on the north side of the Comercio Street (PR-14) is the Iglesia de San Juan Bautista y San Ramón Nonato de Juana Díaz it is included in the National Register of Historic Places since December 10, 1984. This church was first built in 1807 but it has had several repairs and changes after its construction, for reasons mainly to face atmospheric events. Because represents a necessary element for the founding of the town of Juana Díaz. Also, at the north of the Comercio Street (PR-14), is the Plaza Publica Román Baldorioty de Castro. It is known to have been in the town of Juana Díaz since 1864, it is an important part of the urban distribution of the town and its foundation, which makes it worthy of being in the National Register of Historic Places. In the north of the F. Degetau Street is the Mayor's House. This structure of two levels, was acquired in 1896 to establish the municipality city hall. Originally from the Franceschi family, was two houses with great architectural influence. This structure contains the oldest clock in Puerto Rico, according to historians it dates back to 1863, first installed in the San Ramón Nonato church and then installed in the mayor's house in 1922. It is eligible to be in the National Register of Historic Places by the Criteria A and C. To the east of Muñoz Rivera Street is building #64 that was used as the Mayor's Temporary House at the end of the XIX century. It was also a prison where Ramón Baldorioty De Castro was held, due to the autonomist movements that emerged at that time. It is eligible to be on the National Register of Historic Places under Criterion A.

Being a small project, it is easy for the materials to be delivered and worked on day by day, so a storage area or staging area is not necessary.


PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	

The sections that make up the proposed the Improvements to the Ruta de Los Tres Santos Reyes in Juana Diaz and the APE are composed as follows.




Area of Potential Effect (Direct Effect) Ruta de Los Tres Santos Reyes and Buildings Key Plan

Identification	APE Dimension	Boundaries
Comercio Street (PR-14)	2, 324'-0" x 55'-6"	From east to west = (Long. 18.0516556, Lat. -66.5003138 to Lat. 18.0522796, Long. -66.5067002). Starting in front of the Casa Museo de Los Santos Reyes in Comercio Stret until the intersection of Mariano Abril Street and Carrion Maduro Street.
Carrion Maduro Street	38'-5" x 342'-0"	From south to north = (Lat. 18.0527072, Long. -66.50652588 to Lat. 18.0536589, Long. -66.5064051). Starting in the intersection of Mariano Abril Street with Comercio Street until the intersection of F. Degetau Street.


PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	

Identification	APE Dimension	Boundaries
Federico Degetau Street	35'-7" x 582'-0"	From west to east = (Lat. 18.05360185, Long. -66.50649067 to Lat. 18.0531233, Long. -66.5049662). Starting with the intersection of Carrion Maduro Street until the intersection with F. Degetau Street.
Calle Mariano Abril Street	40'-6" x 45'-0"	From south to north = (Lat. 18.052728, Long. -66.50651528 to Lat. 18.05279301, Long. -66.50650536). Starting and staying with the intersection between Mariano Abril Street, Comercio Street and Carrion Maduro Street.
Calle Luis Muñoz Rivera Street	36'-6" x 510'-0"	From north to south = (Lat. 18.0531850, Long. -66.5049899 to Lat. 18.0524737, Long. -66.5051866). Starting with the intersection of F. Degetau Street until the intersection with Comercio Street.
Angel R. Mora Street	36'-9" x 80'-0"	From south to north = (Lat. 18.0523803, Long. -66.5046976 to Lat. 18.05245649, Long. -66.5046838). Starting in the intersection of the Comercio Street until the intersection with F. Degetau Street.
Eugenio María de Hostos Street	39'-7" x 68'-0"	From south to north = (Lat. 18.0522823, Long. -66.5041816 to Lat. 18.0523278 to Long. -66.5041747). Starting in the intersection of the Comercio Street until the intersection with F. Degetau Street.
Street #1	43'-0" x 34'-0"	From south to north = (Lat. 18.05191922, Long. -66.5022044 to Lat. 18.0519515, Long. -66.5021895). Starting and staying with the intersection between Street #1 with Comercio Street.
Las Orquideas Street	43'-2" x 24'-0"	From south to north = (Lat. 18.0516651, Long. -66.5007305 to Lat. 18.0516924, Long. -66.5007367). Starting and staying with the intersection between Orquideas Street with Comercio Street.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Identification and Address	APE Dimension	Boundaries	Construction date and Architectural Style
Building #1 Cadaster Number #366-030-078-03-000 Key Plan Number (#1) #14 Street, Luis Muñoz Marín Building A-1, Villas del Carmen Urbanization	40'-0" x 115'-4"	With the Comercio Street in the north, in the west with Orquideas Street, in the east with 366-030-078-06 parcel and building, in the south with 366-030-094-01 parcel and building. (Lat. 18.05148812, Long. -66.5005778).	Ca. 1977 Modern



PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Identification	APE Dimension	Boundaries	Construction date and Architectural Style
Building #2 Cadaster Number #366-030-079-96-901 Apartamentos el Dorado Key Plan Number (#2) PR-14, #143 Calle Comercio, BO. Tijeras	235'-6" x 135'-0"	With the Portales de Las Flores Urban housing complex in the north, in the south with Comercio Street, in the east with 366-030-021-25, in the west with Casa Museo Santos Reyes. (Lat. 18.052089, Long. -66.50096).	2005 Modern



PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	

Identification	APE Dimension	Boundaries	Construction date and Architectural Style
Building #3 Cadaster Number #366-030-082-03-000 Escuela Fernandez Juncos Key Plan Number (#3) #14 Street, 125 Juana Diaz Puerto Rico	223'-0' X 550'-3''	With the Mario Brachi Street in the north, in the south with Comercio Street, in the west with 366-030- 021-14 dwelling, in the east with Monclova urban housing complex. (Lat. 18.05247266, Long. - 66.5027911).	1904 Mission




PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	

Identification	APE Dimension	Boundaries	Construction date and Architectural Style
Building #4 Cadaster Number #366-030-094-34-000 #366-030-090-22-000 Rutherford B. Hayes School Key Plan Number (#4) Comercio Street, PR-14 Juana Díaz PR	434'-3" x 388'-9"	With the Comercio Street in the north, in the west with Juana Díaz Country Club, in the east with Del Carmen Urban housing complex, in the south with #9 Street (Lat. 18.0514859, Long. -66.5030469).	1962 Modern




Feb 18, 2024 12:03:05 PM
 18.05213835N 66.50285048W ±3.79m
 113-115 Paseo del Campo
 Juana Díaz

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Diaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Identification	APE Dimension	Boundaries	Construction date and Architectural Style
Building #5 Cadaster Number #366-030-21-54-000 Cooperativa de Ahorro y Crédito Juana Diaz Key Plan Number (#5) 113, Comercio Street corner Hostos Street, Juana Diaz Puerto Rico	60'-0" x 50'-9"	With the #366-030-021-23-001 dwelling in the north, in the south with Comercio Street, in the west with Eugenio Maria de Hostos Street, in the east with Roma Bakery. (Lat. 18.05245953, Long. - 66.5040).	1969 Modern



PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Diaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	

Identification	APE Dimension	Boundaries	Construction date and Architectural Style
Building #6 Cadaster Number #366-030-39-49-001 Comercio 106 Key Plan Number (#6) 106, Comercio Street, Juana Diaz Puerto Rico	60'-0" x 30'-0"	With the Comercio Street in the north, in the west with Eugenio Maria de Hostos Street, in the east with #366-030-39-49-000 dwelling, in the south #366-030-039-25-000 dwelling (Lat. 18.052322, Long. -66.5046034).	1959 Modern



PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Diaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	

Identification	APE Dimension	Boundaries	Construction date and Architectural Style
Building #7 Cadaster Number #366-030-37-08-001 Mueblicentro Guayabal Key Plan Number (#7) #92, Comercio Street, Juana Diaz Puerto Rico	92'-0" x 64'-0"	With the Comercio Street in the north, in the west with Banco Popular, in the east with Luis Muñoz Marín Street, in the south with Los Dumplings Cafeteria (Lat. 18.0524277, Long. -66.5052937).	Ca. 1880-1930 Colonial



PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM
CITY REVITALIZATION PROGRAM (CRP)
Section 106 NHPA Effect Determination

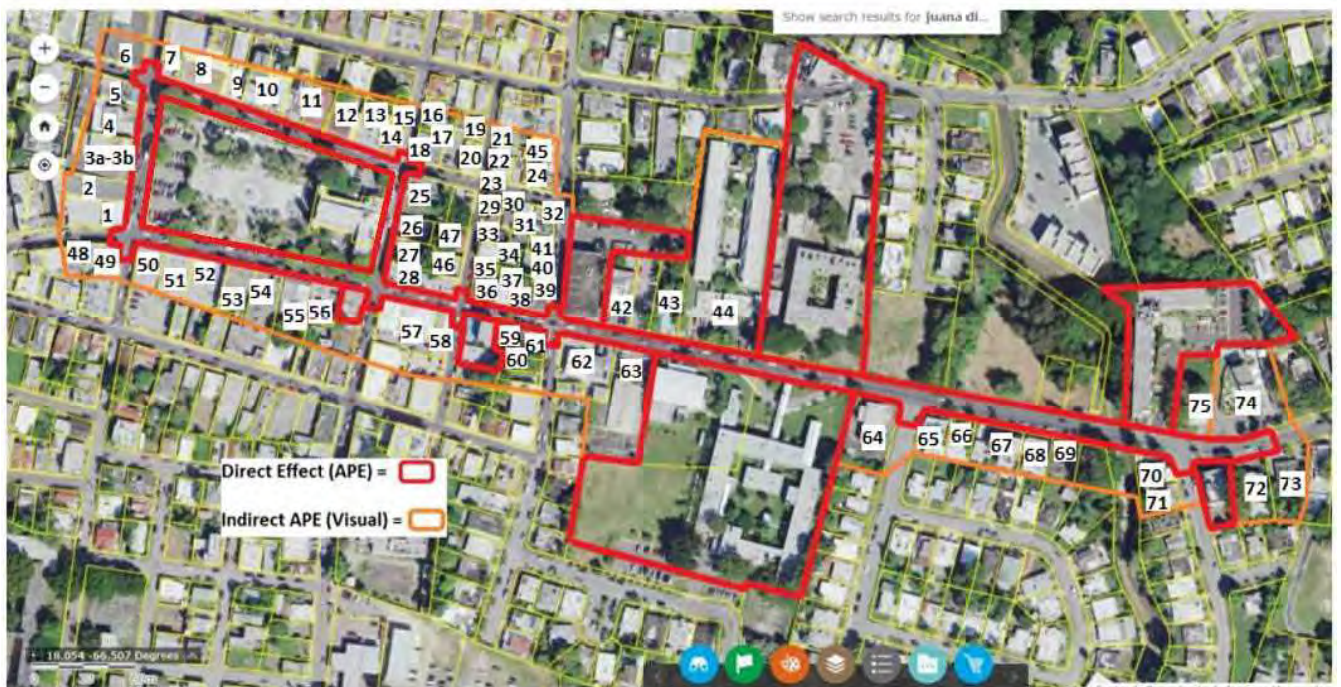



Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437


The visual APE is the viewshed of the proposed project which consists of the Juana Díaz Traditional Urban Center, contributing buildings in;



PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Buildings with Visual Effect on the project (Indirect APE)

Identification	Dimension	Boundaries	Cultural Context
Refer to Key Plan on Page #24			
1- Cadaster number: #366-029-024-09-001 Commercial Building #69 Within the TUC boundaries: Yes Individual Eligibility: Yes Contributing: Yes	32'-0" x 42'-0"	In the Carrion Maduro Street. In the north with #366-029-024-08-901 lot & building, in the south is Comercio Street, in the west is #366-029-024-19-001 lot & building, in the east is Carrion Maduro Street. (Lat. 18.052906, Long. -66.506614).	Ca. 1880-1920 Neoclassic Location = Within the TUC. Design = It contains valuable architectural elements and its details highlight the purpose of use of the building. Settings = It contains a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XIX-XX century.
2-Cadaster number: #366-029-024-08-901 Commercial Building #5 (Pepe's) Within the TUC boundaries: Yes Individual Eligibility: Yes Contributing: Yes	41'-6" x122'-9"	In the Comercio Street. In the north with 366-029-024-07-852 lot & building, in the south with #366-029-024-08-901 lot and building, in the west with #366-029-024-19-001 lot and building, in the east with Carrion Maduro Street. (Lat. 18.053164, Long. -66.506591)	Ca. 1930 Art-Deco Location = Within the TUC. Design =. It contains valuable architectural elements and its details highlight the purpose of use of the building. Settings = It contains a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XX century.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Buildings with Visual Effect on the project (Indirect APE)

Identification	Dimension	Boundaries	Cultural Context
Refer to Key Plan on Page #24			
3a-Cadaster number #366-029-024-07-852 Commercial Building #7 La Ideal Within the TUC boundaries: Yes Individual Eligibility: Yes Contributing: Yes	123'-0" x 73'-0"	In the Comercio Street. In the north with #366-029-024-06-000 lot and building, in the south with #366-029-024-08-901 lot and building. In the west with 366-024-22-001 lot and building. In the east with Carrion Maduro Street. (Lat. 18.50658108 Long. -66.506581)	Ca. 1900 Neoclassic Location = Within the TUC. Design = It contains valuable architectural elements and its details highlight the purpose of use of the building. Settings = It contains a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XIX-XX century.
3b-Cadaster number #366-029-024-07-852 Commercial Building #9 Juana Diaz Cigar Within the TUC boundaries: Yes Individual Eligibility: Yes Contributing: Yes	42'-0" x 125'-0"	In the Comercio Street. In the north with #366-029-024-06-000 lot and building, in the south with #366-029-024-08-901 lot and building. In the west with 366-024-22-001 lot and building. In the east with Carrion Maduro Street. (Lat. 18.053245 Long. -66.524453)	Ca. 1880-1920 Neoclassic Location = Within the TUC. Design = It contains valuable architectural elements and its details highlight the purpose of use of the building. Settings = It contains a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XIX-XX century.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Buildings with Visual Effect on the project (Indirect APE)

Identification	Dimension	Boundaries	Cultural Context
Refer to Key Plan on Page #24			
4-Cadaster number #366-029-024-06-000 Religious- Iglesia Evangélica Unida Within the TUC boundaries: Yes Individual Eligibility: Yes Contributing: Yes	81'-4" x 45'-0"	In the Comercio Street. In the north with #366-029-029-05-001 lot and building, in the south with #366-029-024-07-852 lot and building. In the west with 366-024-22-001 lot and building. In the east with Carrion Maduro Street. (Lat. 18.053378 Long. -66.5065511)	Ca. 1902 Gothic Location = Within the TUC. Design = It contains valuable architectural elements and its details highlight the purpose of use of the building. Settings = It contains a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XIX-XX century.
5-Cadaster number #366-029-024-05-001 Museo de la Historia Juana Diaz Within the TUC boundaries: Yes Individual Eligibility: Yes Contributing: Yes	81'-0" x 37'-0"	In the Comercio Street. In the north with F. Degetau Street, in the south with #366-029-024-06-000 lot and building. In the west with 366-024-22-001 lot and building. In the east with Carrion Maduro Street. (Lat. 18.053547 Long. -66.506493)	Ca. 1818 Creole Location = Within the TUC. Design = It contains valuable architectural elements and its details highlight the purpose of use of the building. Settings = It contains a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XIX-XX century.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Buildings with Visual Effect on the project (Indirect APE)

Identification	Dimension	Boundaries	Cultural Context
Refer to Key Plan on Page #24			
6-Cadaster number #366-029-127-10-001 Commercial Building #15 Funaria Fermín Rincon Within the TUC boundaries: Yes Individual Eligibility: Yes Contributing: Yes	32'-0"x 56'-6"	In the F. Degetau Street, in the north with #366- 029-127-09-001 lot and building, in the south with F. Degetau street, in the west with 366-029-127-11- 001 lot and building, in the east with Carrión Maduro Street. (Lat. 18.053741 Long. -66.506510)	Ca. 1880-1920 Neoclassic Location = Within the TUC. Design = It contains valuable architectural elements and highlights the purpose of the building's use. Settings = It contains a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XIX-XX century.
7-Cadaster number #366-029-018-21-001 Commercial Building #27 Island Finance Within the TUC boundaries: Yes Individual Eligibility: Yes Contributing: Yes	26'-0" x 44'-0"	In the F. Degetau Street. In the north with 366-029- 018-01-001 lot and building, in the south with F. Degetau Street, in the west with Carrión Maduro Street, in the east with 366-029-018-20-001 lot and building. (Lat. 18.05368 Long. -66.506299)	Ca. 1880-1920 Neoclassic Location = Within the TUC. Design = It contains valuable architectural elements and its details highlight the purpose of use of the building. Settings = It contains a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XIX-XX century.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Buildings with Visual Effect on the project (Indirect APE)

Identification	Dimension	Boundaries	Cultural Context
Refer to Key Plan on Page #24			
8-Cadaster number #366-029-018-20-001 Commercial Building #6 1 to 7 Store Within the TUC boundaries: Yes Individual Eligibility: Yes Contributing: Yes	96'-0" x 37'-0"	In the F. Degetau Street. In the north with 366-029-018-02-001 lot and building, in the south with F. Degetau Street, in the west with #366-029-018-21-001, in the east with 366-029-018-19-001 lot and building. (Lat. 18.0536637 Long. -66.506213)	Ca. 1930 Art Deco Location = Within the TUC. Design = It contains valuable architectural elements and its details highlight the purpose of use of the building. Settings = It contains a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XX century.
9-Cadaster number #366-030-018-19-001 Commercial Building #31 Clinic Jelmap Within the TUC boundaries: Yes Individual Eligibility: No Contributing: Yes	60'-0" x 42'-0"	In the F. Degetau Street. In the north with 366-029-018-03-001 lot and building, in the south with F. Degetau Street, in the west with Alcaldia Municipal, in the west with 366-030-018-20-001 lot and building. (Lat. 18.053554 Long. -66.505870)	Ca. 1950 Modern Location = Within the TUC. Design = The architectural elements are already substantially altered. Settings = It contains a sense of association and similarity with the surrounding buildings in terms of space and dimensions that make up the Juana Díaz TUC. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XX century.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Buildings with Visual Effect on the project (Indirect APE)

Identification	Dimension	Boundaries	Cultural Context
Refer to Key Plan on Page #24			
10-Cadaster number #366-030-018-17-000 Government Buildings Alcaldía Municipal Within the TUC boundaries: Yes Individual Eligibility: Yes Contributing: Yes	122'-0" x 92'-6"	In the F. Degetau Street. In the north with 366-029-018-05-000 lot, in the south with F. Degetau Street, in the east with #366-029-018-15-001, in the west with 366-030-018-19-001 lot and building. (Lat. 18.053528 Long. -66.505770)	Ca. 1840-1922 Neoclassic Location = Within the TUC. Design = It contains valuable architectural elements and its details highlight the purpose of use of the building. Settings = It contains a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XIX-XX century.
11-Cadaster number #366-030-018-15-001 Commercial Building Mofongo Bowl Within the TUC boundaries: Yes Individual Eligibility: Yes Contributing: Yes	40'-0"x 72'-0"	In the F. Degetau Street. In the north with 366-029-018-07-001 lot and building, in the south with F. Degetau Street, in the west with Alcaldía Municipal, in the east with 366-030-018-14-001 lot and building. (Lat. 18.053412 Long. -66.505527)	Ca. 1928 Location = Within the TUC. Design = It contains valuable architectural elements and its details highlight the purpose of use of the building. Settings = It contains a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XIX-XX century.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Buildings with Visual Effect on the project (Indirect APE)

Identification	Dimension	Boundaries	Cultural Context
Refer to Key Plan on Page #24			
12-Cadaster number #366-030-018-14-001 Residence #39 Casa Zambrana Within the TUC boundaries: Yes Individual Eligibility: Yes Contributing: Yes	56'-0" x 82'-0"	In the F. Degetau Street. In the north with 366-029-018-08-001 lot and building, in the south with F. Degetau Street, in the west with #366-029-018-15-001, in the east with 366-030-018-13-001 lot and building. (Lat. 18.053397 Long. -66.505385)	Ca. 1890 Creole Location = Within the TUC. Design = It contains valuable architectural elements and its details highlight the purpose of use of the building. Settings = It contains a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XIX-XX century.
13-Cadaster number #366-030-018-13-001 Commercial Building #41 Dr. Annette Martínez Díaz Within the TUC boundaries: Yes Individual Eligibility: No Contributing: Yes	56'-0" x 72'-0"	In the F. Degetau Street. In the north with 366-029-018-09-001 lot and building, in the south with F. Degetau Street, in the west with #366-029-018-14-001, in the east with 366-030-018-12-001 lot and building. (Lat. 18.053356 Long. -66.505194)	Ca. 1940 Modern Location = Within the TUC. Design = The architectural elements are already substantially altered. Settings = It contains a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XIX-XX century.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Buildings with Visual Effect on the project (Indirect APE)

Identification	Dimension	Boundaries	Cultural Context
Refer to Key Plan on Page #24			
14-Cadaster number #366-030-018-12-001 Commercial Building #43 Dr. Robert Engel Ramos Within the TUC boundaries: Yes Individual Eligibility: Yes Contributing: Yes	34'-0" x 68'-0"	In the F. Degetau Street. In the north with 366-029-018-11-00 lot and building, in the south with F. Degetau Street, in the west with #366-029-018-13-001 lot and building, in the east with Luis Muñoz Rivera Street. (Lat. 18.053288 Long. -66.505105)	Ca. 1920 Creole Location = Within the TUC. Design = It contains valuable architectural elements and its details highlight the purpose of use of the building. Settings = It contains a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XIX-XX century.
15-Cadaster number #366-030-018-11-001 Residence Within the TUC boundaries: Yes Individual Eligibility: No Contributing: Yes	44'-0" x 20'-0"	In the Luis Muñoz Rivera Street. In the north with 366-029-018-09-001 lot and building, in the south with #366-030-018-12-001 lot and building in the west with #366-029-018-19-001 lot and building, in the east with Luis Muñoz Rivera Street. (Lat. 18.053422 Long. -66.505026)	Ca. 1940 Creole Location = Within the TUC. Design = The architectural elements are already substantially altered. Settings = It contains a sense of association and similarity with the surrounding buildings in terms of space and dimensions that make up the Juana Díaz TUC. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XIX-XX century.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Buildings with Visual Effect on the project (Indirect APE)

Identification	Dimension	Boundaries	Cultural Context
Refer to Key Plan on Page #24			
16-Cadaster number #366-030-019-16-000 Residence Within the TUC boundaries: Yes Individual Eligibility: No Contributing: Yes	36'-0" x 30'-0"	In the Luis Muñoz Rivera Street. In the north with 366-029-019-15-000 lot and building, in the south with #366-030-019-02-001 lot and building in the west with Luis Muñoz Rivera Street, in the east with 366-030-019-12-001 lot and building. (Lat. 18.053427 Long. -66.504849)	Ca. 1950 Creole Location = Within the TUC. Design = The architectural elements are already substantially altered. Settings = It contains a sense of association and similarity with the surrounding buildings in terms of space and dimensions that make up the Juana Díaz TUC. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XIX-XX century.
17-Cadaster number #366-030-019-02-001 Residence Within the TUC boundaries: Yes Individual Eligibility: No Contributing: Yes	30'-0" x 42'-0"	In the Luis Muñoz Rivera Street. In the north with 366-029-019-16-000 lot and building, in the south with #366-030-019-03-000 lot and building in the west with Luis Muñoz Rivera Street, in the east with 366-030-019-12-001 lot and building. (Lat. 18.053434 Long. -66.509065)	Ca. 1950 Creole Location = Within the TUC. Design = Architecturally it is not of significant or relevant character to be considered individually for the NRHP and contain alterations. Settings = It contains a sense of association and similarity with the surrounding buildings in terms of space and dimensions that make up the Juana Díaz TUC. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XIX-XX century.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Buildings with Visual Effect on the project (Indirect APE)

Identification	Dimension	Boundaries	Cultural Context
Refer to Key Plan on Page #24			
18-Cadaster number #366-030-019-03-000 Commercial Building JD Medical Group Within the TUC boundaries: Yes Individual Eligibility: No Contributing: Yes	54'-0" x 54'-0"	In the Luis Muñoz Rivera Street. In the north with 366-029-019-02-001 lot and building, in the south with Luis Muñoz Rivera Street, in the west with Luis Muñoz Rivera Street, in the east with 366-030-019-14 lot. (Lat. 18.053215 Long. -66.504925)	Ca. 1976 Modern Location = Within the TUC. Design = Architecturally it is not of significant or relevant character to be considered individually for the NRHP and contain alterations. Settings = It contains a sense of association and similarity with the surrounding buildings in terms of space and dimensions that make up the Juana Díaz TUC. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XIX-XX century.
19-Cadaster number #366-030-019-12-001 Residence # 15 Within the TUC boundaries: Yes Individual Eligibility: No Contributing: Yes	30'-3 x 40'-0"	In the Angel Mora Street. In the North with #366-030-019-81-000 lot and building, in the south with 366-030-019-13-000 lot and building. In the west with 366-030-019-02-001 lot and building, in the east with Angel Mora Street. (Lat. 18.053405 Long. -66.504623)	Ca. 1940 Creole Location = Within the TUC. Design = Architecturally it has a simple geometry and does not present valuable details. We do not currently consider you individually eligible for NRHP. Settings = It contains a sense of association and similarity with the surrounding buildings in terms of space and dimensions that make up the Juana Díaz TUC. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XIX-XX century.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Diaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Buildings with Visual Effect on the project (Indirect APE)

Identification	Dimension	Boundaries	Cultural Context
Refer to Key Plan on Page #24			
20-Cadaster number #366-030-019-13-000 Residence Within the TUC boundaries: Yes Individual Eligibility: No Contributing: No	46'-0" x 32'-0"	In the Angel Mora Street. In the North with #366-030-019-12-001 lot and building, in the south with F. Degetau street. In the west with 366-030-019-14-000 lot, in the east with Angel Mora Street (Lat. 18.053197 Long. -66.504654)	Ca. 1990 Modern Location = Within the TUC. Design = It does not contain architectural elements of a historical nature. Settings = It does not contain a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Diaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building bears little resemblance to the surrounding buildings. Association= It has a link with urban development within the municipality during the XX century.
21-Cadaster number #366-030-020-39-000 Residence Within the TUC boundaries: Yes Individual Eligibility: No Contributing: Yes	58'-0" x 30'-6"	In the Angel Mora Street. In the North with #366-030-020-38 lot and building, in the south with 366-030-020-24-000 lot and building. In the west with Angel Mora Street, in the east with Eugenio Maria de Hostos Street. (Lat. 18.053374 Long. -66.504427)	Ca. 1970 Modern Location = Within the TUC. Design = Architecturally it has a simple geometry and does not present valuable details. We do not currently consider you individually eligible for NRHP. Settings = It contains a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Diaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XX century.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Diaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Buildings with Visual Effect on the project (Indirect APE)

Identification	Dimension	Boundaries	Cultural Context
Refer to Key Plan on Page #24			
22-Cadaster number #366-030-020-24-000 Commercial Building Beauty Salon Within the TUC boundaries: Yes Individual Eligibility: No Contributing: No	26'-3" x 48'-7"	In the Angel Mora Street. In the North with #366-030-020-39-000 lot and building, in the south with 366-030-020-23-000 lot and building. In the west with Angel Mora Street, in the east with #366-030-020-39-000 lot and building. (Lat. 18.053164 Long. -66.504474)	Ca. 1980 Modern Location = Within the TUC. Design = It does not contain architectural elements of a historical nature. Settings = It does not contain a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Diaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building bears little resemblance to the surrounding buildings. Association= It has a link with urban development within the municipality during the XX century.
23-Cadaster number #366-030-020-23-000 Commercial Building Dra. Garcia Torres Within the TUC boundaries: Yes Individual Eligibility: No Contributing: No	40''-3" x 36'-0"	In the Angel Mora Street. In the north with #366-030-020-24-000 lot and building, in the south with F. Degetau Street, in the west with Angel Mora Street, in the east with #366-030-020-21-000 lot. (Lat. 18.053040 Long. -66.504510)	Ca. 1980 Modern Location = Within the TUC. Design = It does not contain architectural elements of a historical nature. Settings = It does not contain a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Diaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building bears little resemblance to the surrounding buildings. Association= It has a link with urban development within the municipality during the XX century.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Buildings with Visual Effect on the project (Indirect APE)

Identification	Dimension	Boundaries	Cultural Context
Refer to Key Plan on Page #24			
24-Cadaster number 366-030-020-18-000 Commercial Building Within the TUC boundaries: Yes Individual Eligibility: No Contributing: No	50'-0"x 35'-0"	In the F. Degetau Street. In the north with #366-030-020-39-000 lot and building, in the south with F. Degetau Street, in the west with #366-030-020-21-000 lot, in the east with #366-030-020-39-000 lot and building. (Lat. 18.053002 Long. -66.504248)	Ca.1994 Modern Location = Within the TUC. Design =. The architecture is modern and due to its age of construction it is not individually eligible for the NRHP. Settings = It does not contain a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building bears little resemblance to the surrounding buildings. Association= It has a link with urban development within the municipality during the XX century.
25-Cadaster number #366-030-026-10-008 Commercial Building #70 Centro de Estilismo Within the TUC boundaries: Yes Individual Eligibility: Yes Contributing: Yes	67'-9" x 74'-5"	In the Luis Muñoz Rivera Street. In the north with F. Degetau Street, in the south with #366-030-026-11-007 lot and building, in the west with Luis Muñoz Rivera Street, in the east with #366-030-026-12-001 lot and building. (Lat. 18.053017 Long. -66.504973)	Ca. 1920 Art-Deco Location = Within the TUC. Design = It contains valuable architectural elements and its details highlight the purpose of use of the building. Settings = It contains a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XX century.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Buildings with Visual Effect on the project (Indirect APE)

Identification	Dimension	Boundaries	Cultural Context
Refer to Key Plan on Page #24			
26-Cadaster number #366-030-026-11-007 Commercial Building Dr. Aurelio M. Collazo Within the TUC boundaries: Yes Individual Eligibility: No Contributing: Yes	32'-6" x 68'-9"	In the Luis Muñoz Rivera Street. In the north with #366-030-026-10-008 lot and building, in the south with #366-030-026-14-001 lot and building, in the west with Luis Muñoz Rivera Street, in the east with #366-030-026-13-000 lot and building. (Lat. 18.052874 Long. -66.504988)	Ca. 1990 Modern Location = Within the TUC. Design = Architecturally it is not of significant or relevant character to be considered individually for the NRHP and contain alterations. Settings = It contains a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XX century.
27-Cadaster number #366-030-26-14-001 Commercial Building #64 Nutritionist Kerylin Hernandez Within the TUC boundaries: Yes Individual Eligibility: No Contributing: Yes	68'-7" x 48'-3"	In the Luis Muñoz Rivera Street. In the north with #366-030-026-11-007 lot and building, in the south with #366-030-026-15-901 lot and building, in the west with Luis Muñoz Rivera Street, in the east with Angel Mora Street. (Lat. 18.052722 Long. -66.505049)	Ca. 2004 Modern Location = Within the TUC. Design = The architecture is modern and due to its age of construction it is not individually eligible for the NRHP. Settings = It contains a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XX century.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Buildings with Visual Effect on the project (Indirect APE)

Identification	Dimension	Boundaries	Cultural Context
Refer to Key Plan on Page #24			
28-Cadaster number #366-030-026-15-901 Commercial Building #101 Centro Cardiovascular Juana Díaz Within the TUC boundaries: Yes Individual Eligibility: No Contributing: Yes	137'-0" x 36'-0"	In the Luis Muñoz Rivera Street. In the north with #366-030-026-14-001 lot and building, in the south with Comercio Street, in the west with Luis Muñoz Rivera Street, in the east with Angel Mora Street. (Lat. 18.052611 Long. -66.505077)	Ca. 1920-1940 Colonial Location = Within the TUC. Design = It contains architectural elements that identify the purpose and use of the building. Altered architecture. Settings = It contains a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XX century.
29-Cadaster number #366-030-027-01-000 Residence #50 Within the TUC boundaries: Yes Individual Eligibility: No Contributing: Yes	30'-0" x 54'-6"	In the F. Degetau Street. In the north with F. Degetau Street, in the south with #366-030-027-14-001 lot and building, in the west with Angel Mora Street, in the east with #366-030-027-02-001 lot and building. (Lat. 18.05290 Long. -66.504536)	Ca. 1920-1940 Creole Location = Within the TUC. Design = Architecturally it is not of significant or relevant character to be considered individually for the NRHP and contain alterations. Settings = It contains a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XX century.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Buildings with Visual Effect on the project (Indirect APE)

Identification	Dimension	Boundaries	Cultural Context
Refer to Key Plan on Page #24			
30-Cadaster number #366-030-027-02-001 Residence Within the TUC boundaries: Yes Individual Eligibility: No Contributing: Yes	55'-3 x 27'-0"	In the F. Degetau Street. In the north with F. Degetau Street, in the south with #366-030-027-14-001 lot and building, in the west with Angel Mora Street, in the east with #366-030-027-03-001 lot and building. (Lat. 18.052916 Long. -66.504449)	Ca. 1970 Modern Location = Within the TUC. Design = Architecturally it has a simple geometry and does not present valuable details. We do not currently consider you individually eligible for NRHP. Settings = It contains a sense of association and similarity in terms of space and dimensions with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XX century.
31-Cadaster number #366-030-27-03-001 Residence #54 Within the TUC boundaries: Yes Individual Eligibility: No Contributing: Yes	30'-0" x 75'-0"	In the F. Degetau Street. In the north with F. Degetau Street, in the south with #366-030-027-13-001 lot and building, in the west with Angel Mora Street, in the east with #366-030-027-04-001 lot and building. (Lat. 18.052892 Long. -66.504373)	Ca. 1970 Modern Location = Within the TUC. Design = Architecturally it has a simple geometry and does not present valuable details. We do not currently consider you individually eligible for NRHP. Settings = It contains a sense of association and similarity in terms of space and dimensions with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XX century.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Buildings with Visual Effect on the project (Indirect APE)

Identification	Dimension	Boundaries	Cultural Context
Refer to Key Plan on Page #24			
32-Cadaster number #366-030-027-04-001 Commercial Building #27 Within the TUC boundaries: Yes Individual Eligibility: No Contributing: Yes	60'-0"x 38'-0"	In the F. Degetau Street. In the north with F. Degetau Street, in the south with #366-030-027-05-000 lot and building, in the west with #366-030-027-03-001 lot and building, in the east with Eugenio Maria de Hostos Street. (Lat. 18.052881 Long. -66.504246)	Ca. 1920 Neoclassic Location = Within the TUC. Design = Architecturally it is not of significant or relevant character to be considered individually for the NRHP and contain alterations. Settings = It contains a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XX century.
33-Cadaster number #366-030-027-14-001 Commercial Building Within the TUC boundaries: Yes Individual Eligibility: No Contributing: Yes	48'-0" x 25'-0"	In the Angel Mora Street. In the north with #366-030-027-01-000 lot and building, in the south with #366-030-027-13-001 lot and building, in the west with Angel Mora Street, in the east with #366-030-027-03-001 lot and building. (Lat. 18.052820 Long. -66.504555)	Ca. 1972 Creole Location = Within the TUC. Design = Architecturally it is not of significant or relevant character to be considered individually for the NRHP and contain alterations. Settings = It contains a sense of association and similarity in terms of space and dimensions with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XX century.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Diaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Buildings with Visual Effect on the project (Indirect APE)

Identification	Dimension	Boundaries	Cultural Context
Refer to Key Plan on Page #24			
34-Cadaster number #366-030-027-13-001 Religious Christian Church Within the TUC boundaries: Yes Individual Eligibility: No Contributing: Yes	40'-0" x 75'-7"	In the Angel Mora Street. In the north with #366-030-02714-001 lot and building, in the south with #366-030-027-14-001 lot and building, in the west with Angel Mora Street, in the east with #366-030-027-12-001 lot and building. (Lat. 18.052738 Long. -66.504544)	Ca. 1980 Creole Location = Within the TUC. Design = Architecturally it is not of significant or relevant character to be considered individually for the NRHP and contain alterations. Settings = It contains a sense of association and similarity in terms of space and dimensions with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XX century.
35-Cadaster number #366-030-27-12-001 Dwelling Within the TUC boundaries: Yes Individual Eligibility: Yes Contributing: Yes	36'-0" x 20'-0"	In the Angel Mora Street. In the north with #366-030-027-13-001 lot and building, in the south with #366-030-027-11-001 lot and building, in the west with Angel Mora Street, in the east with #366-030-027-10-001 lot and building. (Lat. 18.052533 Long. -66.504598)	Ca. 1922 Creole Location = Within the TUC. Design = It contains valuable architectural elements and its details highlight the purpose of use of the building. Settings = It contains a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XX century.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Buildings with Visual Effect on the project (Indirect APE)

Identification	Dimension	Boundaries	Cultural Context
Refer to Key Plan on Page #24			
36-Cadaster number #366-030-027-11-001 Commercial Building Wanda I. Cruzado Within the TUC boundaries: Yes Individual Eligibility: No Contributing: No	47'-0" x 37'-0'	In the Angel Mora Street. In the north with #366-030-027-12-001 lot and building, in the south with Comercio Street, in the west with Angel Mora Street, in the east with #366-030-027-10-001 lot and building. (Lat. 18.052438 Long. -66.504617)	Ca. 1980 Modern Location = Within the TUC. Design = It does not contain architectural elements of a historical nature. Settings = It does not contain a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building bears little resemblance to the surrounding buildings. Association= It has a link with urban development within the
37-Cadaster number #366-030-027-10-001 Commercial Building Within the TUC boundaries: Yes Individual Eligibility: No Contributing: Yes	32'-6" x 62'-3"	In the Comercio Street. In the north with #366-030-027-13-001 lot and building, in the south with Comercio Street, in the west with #366-030-027-11, in the east with #366-030-027-09-001 lot and building. (Lat. 18.052417 Long. -66.504487)	Ca. 1980 Modern Location = Within the TUC. Design = Architecturally it has a simple geometry and does not present valuable details. We do not currently consider you individually eligible for NRHP. Settings = It contains a sense of association and similarity in terms of space and dimensions with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XX century.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Buildings with Visual Effect on the project (Indirect APE)

Identification	Dimension	Boundaries	Cultural Context
Refer to Key Plan on Page #24			
38-Cadaster number #366-030-027-09-001 Residence Within the TUC boundaries: Yes Individual Eligibility: No Contributing: Yes	57'-9" x 33'-7"	In the Comercio Street. In the north with #366-030-027-07-000 lot and building, in the south with Comercio Street, in the west with #366-030-027-08-001, in the east with #366-030-027-08-001 lot and building. (Lat. 18.052406 Long. -66.504373)	Ca. 1920 Creole Location = Within the TUC. Design = It contains valuable architectural elements and highlights the purpose of the building's use. This building is in bad condition. Settings = It contains a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XX century.
39-Cadaster number #366-030-27-08-001 Commercial Building Optometra Dra. Marine Cruz Within the TUC boundaries: Yes Individual Eligibility: No Contributing: Yes	34'-7"x 64'-7"	In the Comercio Street. In the north with #366-030-027-07-000 lot and building, in the south with Comercio Street, in the west with #366-030-027-09-001, in the east with Eugenio Maria de Hostos Street. (Lat. 18.0523862 Long. -66.504294)	Ca. 1980 Modern Location = Within the TUC. Design = Architecturally it has a simple geometry and does not present valuable details. We do not currently consider you individually eligible for NRHP. Settings = It contains a sense of association and similarity in terms of space and dimensions with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XX century.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Diaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Buildings with Visual Effect on the project (Indirect APE)

Identification	Dimension	Boundaries	Cultural Context
Refer to Key Plan on Page #24			
40-Cadaster number #366-030-027-07-000 Commercial Building ARARAT Center Within the TUC boundaries: Yes Individual Eligibility: No Contributing: Yes	48'-9" x 55'-0"	In the Eugenio Maria de Hostos Street. In the north with #366-030-027-05-000 lot and building, in the south with #366-030-027-08-001 lot and building, in the west with #366-030-027-13-001 lot and building, in the east with Eugenio Maria de Hostos Street. (Lat. 18.0525072 Long. -66.504309)	Ca. 1994 Modern Location = Within the TUC. Design = The architecture is modern and due to its age of construction it is not individually eligible for the NRHP. Settings = It contains a sense of association and similarity in terms of space and dimensions with the surrounding buildings that make up the TUC of Juana Diaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XX century.
41-Cadaster number #366-030-027-05-000 Residence Within the TUC boundaries: Yes Individual Eligibility: No Contributing: Yes	26'-0" x 59'-3"	In the Eugenio Maria de Hostos Street. In the north with #366-030-027-04-001 lot and building, in the south with #366-030-027-07-000 lot and building, in the west with #366-030-027-03-001 lot and building, in the east with Eugenio Maria de Hostos Street. (Lat. 18.052583 Long. -66.504256)	Ca. 1970 Modern Location = Within the TUC. Design = Architecturally does not present valuable details. We do not currently consider you individually eligible for NRHP. Settings = It contains a sense of association and similarity in terms of space and dimensions with the surrounding buildings that make up the TUC of Juana Diaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XX century.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Buildings with Visual Effect on the project (Indirect APE)

Identification	Dimension	Boundaries	Cultural Context
Refer to Key Plan on Page #24			
42-Cadaster number #366-030-021-24-000 Commercial Building Roma Bakery Within the TUC boundaries: Yes Individual Eligibility: No Contributing: Yes	54'-0" x 102'-0"	In the Comercio Street. In the north with #366-030-021-054-000 lot, in the south with Comercio Street, in the west with #366-030-021-54-000 lot and building, in the east with #366-030-021-14-001 lot and building. (Lat. 18.052375 Long. -66.503831)	Ca. 1972 Location = Within the TUC. Design = Architecturally it has a simple geometry and does not present valuable details. We do not currently consider you individually eligible for NRHP. Settings = It contains a sense of association and similarity in terms of space and dimensions with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XX century.
43-Cadaster number #366-030-021-14-001 Residence Within the TUC boundaries: Yes Individual Eligibility: Yes Contributing: Yes	128'-0" x 32'-0"	In the Comercio Street. In the north with #366-030-021-054-000 lot, in the south with Comercio Street, in the west with #366-030-021-24-001 lot and building, in the west #366-030-082-02-000 lot and building. (Lat. 18.052287 Long. -66.503613)	Ca. 1910 Creole Location = Within the TUC. Design = It contains valuable architectural elements and its details highlight the purpose of use of the building. Settings = It contains a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XIX-XX century.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Buildings with Visual Effect on the project (Indirect APE)

Identification	Dimension	Boundaries	Cultural Context
Refer to Key Plan on Page #24			
44-Cadaster number #366-030-082-02-000 Government Building Juana Diaz Housing Within the TUC boundaries: Yes Individual Eligibility: No Contributing: Yes	100'-0" x 35'-0"	In the Comercio Street. In the north with #366-030-021-032-001 lot and building, in the south with Comercio Street, in the west with #366-030-021-14-001 lot and building, in the east #366-030-082-03-005 lot and building. (Lat. 18.052283 Long. -66.503368)	Ca. 1972 Modern Location = Within the TUC. Design = Architecturally does not present valuable details. We do not currently consider you individually eligible for NRHP. Settings = It contains a sense of association and similarity in terms of space and dimensions with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XX century.
45-Cadaster number #366-030-020-39-000 Residence Within the TUC boundaries: Yes Individual Eligibility: No Contributing: Yes	27'-0" x 25'-0"	In the Eugenio María de Hostos Street. In the north with #366-030-020-22-000 lot and building, in the south with F. Degetau Street, in the west with #367-030-020-18-000 lot and building, in the east with María de Hostos Street. (Lat. 18.052547 Long. -66.504255)	Ca. 1970 Modern Location = Within the TUC. Design = Architecturally it has a simple geometry. We do not currently consider you individually eligible for NRHP. Settings = It contains a sense of association and similarity in terms of space and dimensions with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XX century.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Buildings with Visual Effect on the project (Indirect APE)

Identification	Dimension	Boundaries	Cultural Context
Refer to Key Plan on Page #24			
46-Cadaster number #366-030-026-14-901 Commercial Building Centro Cardiovascular de Juana Díaz Within the TUC boundaries: Yes Individual Eligibility: No Contributing: Yes	41'-6" x 40'-0"	In the Angel R. Mora Street. In the north with #366-030-026-13-000 lot and building, in the south with #366-030-026-15-901, in the west with #366-030-026-14-901 lot and building, in the east with Angel R. Mora Street. (Lat. 18.052556 Long. -66.504781)	Ca. 1880-1920 Colonial Location = Within the TUC. Design = It contains architectural elements that identify the purpose and use of the building. The building is in bad conditions and altered. Settings = It contains a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XIX-XX century.
47-Cadaster number #366-030-026-13-000 Residence Within the TUC boundaries: Yes Individual Eligibility: No Contributing: Yes	30'-0" x 40'-0"	In the Angel R. Mora Street. In the north with #366-030-026-12-001 lot and building, in the south with #366-030-026-14-001, in the west with #366-030-026-11-007 lot and building, in the east with Angel R. Mora Street (Lat. 18.052683 Long. -66.504729)	Ca. 1880-1920 Neoclassic Location = Within the TUC. Design = It contains architectural elements that identify the purpose and use of the building. The building is in bad conditions and altered. Settings = It contains a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XIX-XX century.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Buildings with Visual Effect on the project (Indirect APE)

Identification	Dimension	Boundaries	Cultural Context
Refer to Key Plan on Page #24			
48-Cadaster number #366-029-036-08-001 Commercial Building Within the TUC boundaries: Yes Individual Eligibility: No Contributing: Yes	40'-6" x 52'-0"	In the Comercio Street. In the north with Comercio Street, in the south with #366-029-036-11-001 lot and building, in the west with #366-029-036-35-000 lot and building, in the east with #366-029-036-09-001 lot and building. (Lat. 18.05269718 Long. -66.506818)	Ca. 1880-1920 Neoclassic Location = Within the TUC. Design = It contains architectural elements that identify the purpose and use of the building. The building is altered. Settings = It contains a sense of association and similarity in terms of space and dimensions with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XX century.
49-Cadaster number #366-029-036-09-001 Commercial Building Puerta 70 Bar y Tapas Within the TUC boundaries: Yes Individual Eligibility: Yes Contributing: Yes	61'-0" x 64'-9"	In the Comercio Street. In the north with Comercio Street, in the south with #366-029-036-10-001 lot and building, in the west with #366-029-036-08-001 lot and building, in the east with Mariano Abril Street. (Lat. 18.052684 Long. -66.506679)	Ca. 1880-1920 Neoclassic Location = Within the TUC. Design = It contains valuable architectural elements. Settings = It contains a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XIX-XX century.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Buildings with Visual Effect on the project (Indirect APE)

Identification	Dimension	Boundaries	Cultural Context
Refer to Key Plan on Page #24			
50- Cadaster number #366-029-037-01-001 Commercial Building Supermercado Mi Gente Within the TUC boundaries: Yes Individual Eligibility: Yes Contributing: Yes	50'-0" x 50'-0"	In the Comercio Street. In the north with Comercio Street, in the south with #366-029-036-17-001 lot, in the west with Mariano Abril Street, in the east with #366-029-037-02-001 lot and building. (Lat. 18.052657 Long. -66.5064414)	Ca. 1880-1920 Neoclassic Location = Within the TUC. Design = It contains valuable architectural elements and its details highlight the purpose of use of the building. Settings = It contains a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XIX-XX century.
51- Cadaster number #366-029-037-02-001 Commercial Building Para Ti Calzado Within the TUC boundaries: Yes Individual Eligibility: Yes Contributing: Yes	48'-0" x 75'-6"	In the Comercio Street. In the north with Comercio Street, in the south with #366-029-037-17-001 lot, in the west with #366-029-037-01-001 lot and building, in the east with #366-029-037-03-001 lot and building. (Lat. 18.052633 Long. -66.506300)	Ca. 1880-1920 Neoclassic Location = Within the TUC. Design = It contains valuable architectural elements and its details highlight the purpose of use of the building. Settings = It contains a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XIX-XX century.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Buildings with Visual Effect on the project (Indirect APE)

Identification	Dimension	Boundaries	Cultural Context
Refer to Key Plan on Page #24			
52-Cadaster number #366-029-037-03-001 Commercial Building Janellys Kitchen Within the TUC boundaries: Yes Individual Eligibility: Yes Contributing: Yes	65'-3" x 76'-9"	In the Comercio Street. In the north with Comercio Street, in the south with #366-029-036-16 lot and building, in the west with #366-029-037-02 lot and building, in the east with #366-029-037-04 lot and building. (Lat. 18.052632 Long. -66.506140)	Ca. 1880-1920 Neoclassic Location = Within the TUC. Design = It contains valuable architectural elements and its details highlight the purpose of use of the building. Settings = It contains a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XIX-XX century
53-Cadaster number #366-029-037-04-001 Commercial Building G&K Beads Within the TUC boundaries: Yes Individual Eligibility: No Contributing: Yes	54'-0" x 80'-0"	In the Comercio Street. In the north with Comercio Street, in the south with #366-029-037-15-001 lot and building, in the west with #366-029-037-03-001 lot and building, in the east with #366-029-037-05-001 lot and building. (Lat. 18.052592 Long. -66.505981)	Ca. 1880-1920 Neoclassic Location = Within the TUC. Design = It contains architectural elements that identify the purpose and use of the building. The building is altered. Settings = It contains a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XIX-XX century.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Buildings with Visual Effect on the project (Indirect APE)

Identification	Dimension	Boundaries	Cultural Context
Refer to Key Plan on Page #24			
54-Cadaster number #366-029-037-05-001 Commercial Building Estacionamiento Municipal Within the TUC boundaries: Yes Individual Eligibility: No Contributing: Yes	75'-0" x 142'-0"	In the Comercio Street. In the north with Comercio Street, in the south with #366-029-037-14-001 lot and building, in the west with #366-029-037-04-001 lot and building, in the east with #366-029-037-06-001 lot and building. (Lat. 18.052548 Long. -66.505787)	Ca. 2004 Modern Location = Within the TUC. Design = The architecture is modern and due to its age of construction it is not individually eligible for the NRHP. Settings = It contains a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XXI century.
55- Cadaster number #366-030-037-06-001 Commercial Building Wilma's Distributors Within the TUC boundaries: Yes Individual Eligibility: No Contributing: Yes	50'-0" x 65'-6"	In the Comercio Street. In the north with Comercio Street, in the south with #366-029-037-13-001 lot and building, in the west with #366-029-037-05-001 lot and building, in the east with #366-029-037-07-001 lot and building. (Lat. 18.052478 Long. -66.505592)	Ca. 1950 Colonial Location = Within the TUC. Design = It contains architectural elements that identify the purpose and use of the building. The building is altered. Settings = It contains a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XIX-XX century.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Buildings with Visual Effect on the project (Indirect APE)

Identification	Dimension	Boundaries	Cultural Context
Refer to Key Plan on Page #24			
56- Cadaster number #366-030-037-07-001 Commercial Building Banco Popular Within the TUC boundaries: Yes Individual Eligibility: No Contributing: Yes	45'-3" x 62'-0"	In the Comercio Street. In the north with Comercio Street, in the south with #366-029-037-09-001 lot and building, in the west with #366-029-037-06-001 lot and building, in the east with #366-029-037-08-001 lot and building. (Lat. 18.052475 Long. -66.505458)	Ca. 1960 Modern Location = Within the TUC. Design = Architecture based for commercial purposed. The building is altered. Settings = It contains a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XIX-XX century.
57- Cadaster number #366-030-038-10-901 Government Building Clinica WIC Within the TUC boundaries: Yes Individual Eligibility: No Contributing: Yes	40'-0" x 104'-0"	In the Comercio Street. In the north with Comercio Street, in the south with #366-030-038-12-001 lot and building, in the west with Luis Muñoz Rivera Street, in the east with #366-030-038-03-001 lot and building. (Lat. 18.052429 Long. -66.505134)	Ca. 1940 Colonial Location = Within the TUC. Design = It contains architectural elements that identify the purpose and use of the building. The building is altered. Settings = It contains a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XIX-XX century.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Buildings with Visual Effect on the project (Indirect APE)

Identification	Dimension	Boundaries	Cultural Context
Refer to Key Plan on Page #24			
58- Cadaster number #366-030-038-03-001 Commercial Building Farmacia Elena Within the TUC boundaries: Yes Individual Eligibility: No Contributing: Yes	24'-0" x 78'-0"	In the Comercio Street. In the north with Comercio Street, in the south with #366-030-038-04-001 lot, in the west with #366-030-038-10-901, in the east with Luis Muñoz Rivera Street. (Lat. 18.052323 Long. -66.504810)	Ca. 1930 Colonial Location = Within the TUC. Design = Architecturally it has a simple geometry and does not present valuable details. We do not currently consider you individually eligible for NRHP. Settings = It contains a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XIX-XX century.
59- Cadaster number #366-030-039-22-000 Commercial Building Within the TUC boundaries: Yes Individual Eligibility: No Contributing: Yes	20'-0" x 32'-0"	In the Comercio Street. In the north with Comercio Street, in the south with #366-030-039-25-000 lot and building, in the west with #366-030-039-49-000 lot and building, in the east with #366-030-039-20-001 lot and building. (Lat. 18.052297 Long. -66.554402)	Ca. 1990 Modern Location = Within the TUC. Design = The architecture is modern and due to its age of construction it is not individually eligible for the NRHP. Settings = It contains a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XX century.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Buildings with Visual Effect on the project (Indirect APE)

Identification	Dimension	Boundaries	Cultural Context
Refer to Key Plan on Page #24			
60-Cadaster number #366-030-039-20-001 Commercial Building Jesnaldy Studio Nails Within the TUC boundaries: Yes Individual Eligibility: No Contributing: Yes	20'-0" x 34'-0"	In the Comercio Street. In the north with Comercio Street, in the south with #366-030-039-48-000 lot and building, in the west with #366-030-039-22-000 lot and building, in the east with #366-030-039-46-000 lot and building. (Lat. 18.052257 Long. -66.504338)	Ca. 1930 Colonial Location = Within the TUC. Design = Architecturally it has a simple geometry and does not present valuable details. We do not currently consider you individually eligible for NRHP. Settings = It contains a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XX century.
61-Cadaster number #366-030-039-46-000 Commercial Building Within the TUC boundaries: Yes Individual Eligibility: No Contributing: Yes	28'-0" x 52'-0"	In the Comercio Street. In the north with Comercio Street, in the south with #366-030-039-47-000 lot and building, in the west with #366-030-039-20-001 lot and building, in the east with Eugenio Maria de Hostos Street. (Lat. 18.052284 Long. -66.504262)	Ca. 1992 Modern Location = Within the TUC. Design = The architecture is modern and due to its age of construction it is not individually eligible for the NRHP. Settings = It contains a sense of association and similarity in terms of space and dimensions with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XX century.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Diaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Buildings with Visual Effect on the project (Indirect APE)

Identification	Dimension	Boundaries	Cultural Context
Refer to Key Plan on Page #24			
62-Cadaster number #366-030-090-20-001 Commercial Building Oficina Dental Juan R. Ramos Within the TUC boundaries: Yes Individual Eligibility: No Contributing: Yes	72'-0" x 44'-0"	In the Comercio Street. In the north with Comercio Street, in the south with #366-030-090-19-000 lot and building, in the west with Eugenio Maria de Hostos Street, in the east with #366-030-090-21-000 lot and building. (Lat. 18.052127 Long. -66.504000)	Ca. 2004 Modern Location = Within the TUC. Design = The architecture is modern and due to its age of construction it is not individually eligible for the NRHP. Settings = It contains a sense of association and similarity in terms of space and dimensions with the surrounding buildings that make up the TUC of Juana Diaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XX century.
63-Cadaster number #366-030-090-21-000 Commercial Building Kandela Restaurant Within the TUC boundaries: Yes Individual Eligibility: No Contributing: Yes	30'-0" x 42'-0"	In the Comercio Street. In the north with Comercio Street, in the south with #9 Street, in the west with #366-030-090-20-001 lot and building, in the east with, in the east with #366-030-090-22-000 lot and building. (Lat. 18.052110 Long. -66.503880)	Ca. 1970 Modern Location = Within the TUC. Design = Architecturally it has a simple geometry and does not present valuable details. We do not currently consider you individually eligible for NRHP. Settings = It contains a sense of association and similarity in terms of space and dimensions with the surrounding buildings that make up the TUC of Juana Diaz. Materials = It is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = Blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XX century.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Diaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Buildings with Visual Effect on the project (Indirect APE)

Identification	Dimension	Boundaries	Cultural Context
Refer to Key Plan on Page #24			
64-Cadaster number #366-030-090-08-001 Residence Within the TUC boundaries: No Individual Eligibility: No Contributing: No	42'- x 78'-0"	In the Comercio Street. In the north with Comercio Street, in the south with #366-030-090-02-001 lot and building, in the west with #366-030-090-34-000 lot and building, in the east with #1 Street. (Lat. 18.051840 Long. -66.502421)	Ca. 1976 Modern Location = Not located within the TUC. Design = Architecturally it has a simple geometry and does not present valuable details. We do not currently consider you individually eligible for NRHP. Environments = Contains a sense of urban association outside of the designation of the Juana Diaz Urban Traditional Center. Materials = Its construction composition is related to the materials used at its time. Labor = Presents evidence of a time and construction method within the history of the municipality. Feel = The building has a feeling of a building in an urbanized area. Association= It is linked to the urban development of the municipality during the XX century.
65-Cadaster number #366-030-092-01-000 Residence Within the TUC boundaries: No Individual Eligibility: No Contributing: Yes	40'-0" x 73'-6"	In the Comercio Street. In the north with Comercio Street, in the south with #366-030-092-08-001 lot and building, in the west with #1 Street, in the east with #366-030-092-02-001 lot and building. (Lat. 18.05177 Long. -66.502099)	Ca. 1997 Modern Location = Not located within the TUC. Design = Architecturally it has a simple geometry and does not present valuable details. We do not currently consider you individually eligible for NRHP. Environments = Contains a sense of urban association outside of the designation of the Juana Diaz Urban Traditional Center. Materials = Its construction composition is related to the materials used at its time. Labor = Presents evidence of a time and construction method within the history of the municipality. Feel = The building has a feeling of a building in an urbanized area. Association= It is linked to the urban development of the municipality during the XX century.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Diaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Buildings with Visual Effect on the project (Indirect APE)

Identification	Dimension	Boundaries	Cultural Context
Refer to Key Plan on Page #24			
66-Cadaster number #366-030-092-02-001 Residence Within the TUC boundaries: No Individual Eligibility: No Contributing: Yes	72'-0" x 36'-0"	In the Comercio Street. In the north with Comercio Street, in the south with #366-030-092-09-001 lot and building, in the west with #366-030-092-01-000 lot and building, in the east with #366-030-092-04-000 lot and building. (Lat. 18.05176 Long. -66.501974)	Ca. 1997 Modern Location = Not located within the TUC, Design = Architecturally it has a simple geometry and does not present valuable details. We do not currently consider you individually eligible for NRHP. Environments = Contains a sense of urban association outside of the designation of the Juana Diaz Urban Traditional Center. Materials = Its construction composition is related to the materials used at its time. Labor = Presents evidence of a time and construction method within the history of the municipality. Feel = The building has a feeling of a building in an urbanized area. Association= It is linked to the urban development of the municipality during the XX century.
67- Cadaster number #366-030-092-04-000 Commercial Building Commercial Los Reyes Within the TUC boundaries: No Individual Eligibility: No Contributing: No	70'-0" x 72'-0"	In the Comercio Street. In the north with Comercio Street, in the south with #366-030-092-11-001 lot and building, in the west with #366-030-092-02-001 lot and building, in the east with #366-030-092-05-000 lot and building. (Lat. 18.051689 Long. -66.501716)	Ca. 1997 Modern Location = Not located within the TUC. Design = Architecturally it has a simple geometry and does not present valuable details. We do not currently consider you individually eligible for NRHP. Environments = Contains a sense of urban association outside of the designation of the Juana Diaz Urban Traditional Center. Materials = It is related to the materials used at its time. Labor = Presents evidence of a time and construction method within the history of the municipality. Feel = The building has a feeling of a building in an urbanized area. Association= It is linked to the urban development of the municipality during the XX century.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Diaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Buildings with Visual Effect on the project (Indirect APE)

Identification	Dimension	Boundaries	Cultural Context
Refer to Key Plan on Page #24			
68- Cadaster number #366-030-092-05-000 Commercial Building Chiquirimundi Within the TUC boundaries: No Individual Eligibility: No Contributing: No	42'-0" x 72'-0"	In the Comercio Street. In the north with Comercio Street, in the south with #366-030-092-13-001 lot and building, in the west with #366-030-092-04-000 lot and building, in the east with #366-030-092-06-001 lot and building. (Lat. 18.051606 Long. -66.501243)	Ca. 2004 Modern Location = Not located within the TUC. Design = The architecture is modern and due to its age of construction it is not individually eligible for the NRHP. Environments = Contains a sense of urban association outside of the designation of the Juana Diaz Urban Traditional Center. Materials = Its construction composition is related to the materials used at its time. Labor = Presents evidence of a time and construction method within the history of the municipality. Feel = The building has a feeling of a building in an urbanized area. Association= It is linked to the urban development of the municipality during the XX century.
69-Cadaster number #366-030-092-06-001 Residence Within the TUC boundaries: No Individual Eligibility: No Contributing: No	36'-0' x 56'-0"	In the Comercio Street. In the north with Comercio Street, in the south with #366-030-092-14 -001 lot and building, in the west with #366-030-092-05-000 lot and building, in the east with #366-030-092-07-000 lot. (Lat. 18.05155 Long. -66.500832)	Ca. 1972 Modern Location = Not located within the TUC. Design = Architecturally it has a simple geometry and does not present valuable details. We do not currently consider you individually eligible for NRHP. Environments = Contains a sense of urban association outside of the designation of the Juana Diaz Urban Traditional Center. Materials = Its construction composition is related to the materials used at its time. Labor = Presents evidence of a time and construction method within the history of the municipality. Feel = The building has a feeling of a building in an urbanized area. Association= It is linked to the urban development of the municipality during the XX century.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Buildings with Visual Effect on the project (Indirect APE)

Identification	Dimension	Boundaries	Cultural Context
Refer to Key Plan on Page #24			
70-Cadaster number #366-030-093-01-001 Residence Within the TUC boundaries: No Individual Eligibility: No Contributing: No	68'-0" x 40'-0"	In the Comercio Street. In the north with Comercio Street, in the south with #366-030-093-02-001 lot and building, in the west with #366-030-092-07-000 lot, in the east with Orquideas Street (Lat. 18.05155 Long. -66.500832)	Ca. 1972 Modern Location = Not located within the TUC Design = Architecturally it has a simple geometry and does not present valuable details. We do not currently consider you individually eligible for NRHP. Environments = Contains a sense of urban association outside of the designation of the Juana Diaz Urban Traditional Center. Materials = Its construction composition is related to the materials used at its time. Labor = Presents evidence of a time and construction method within the history of the municipality. Feel = The building has a feeling of a building in an urbanized area. Association= It is linked to the urban development of the municipality during the XX century.
71-Cadaster number #366-030-093-02-001 Residence Within the TUC boundaries: No Individual Eligibility: No Contributing: No	66'-0" x 46'-0"	In the Orquideas Street. In the north with #366-030-093-03-001 lot and building, in the south with #366-030-093-03-001 lot and building, In the east with #366-030-092-15-001 lot and building, in the west with Orquideas Street. (Lat. 18.051418 Long. -66.500841)	Ca. 1972 Modern Location = Not located within the TUC Design = Architecturally it does not have a significant or relevant character to be considered individually for the NRHP. Environments = Contains a sense of urban association outside of the designation of the Juana Diaz Urban Traditional Center. Materials = Its construction composition is related to the materials used at its time. Labor = Presents evidence of a time and construction method within the history of the municipality. Feel = The building has a feeling of a building in an urbanized area. Association= It is linked to the urban development of the municipality during the XX century.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	

Buildings with Visual Effect on the project (Indirect APE)


Identification	Dimension	Boundaries	Cultural Context
Refer to Key Plan on Page #24			
72-Cadaster number #366-030-078-06-000 Residence Within the TUC boundaries: No Individual Eligibility: No Contributing: No	58'-0" x 94'-7"	In the Comercio Street. In the north with Comercio Street, in the south with #366-030-094-02-001 lot and building, in the east with #366-030-078-07-000 lot and building, in the west with #366-030-078-03-000 lot and building. (Lat. 18.051483 Long. -66.500339)	Ca. 1976 Modern Location = Not located within the TUC Design = Architecturally it does not have a significant or relevant character to be considered individually for the NRHP. Environments = Contains a sense of urban association outside of the designation of the Juana Diaz Urban Traditional Center. Materials = Its construction composition is related to the materials used at its time. Labor = Presents evidence of a time and construction method within the history of the municipality. Feel = The building has a feeling of a building in an urbanized area. Association= It is linked to the urban development of the municipality during the XX century.
73-Cadaster number #366-030-078-07-000 Residence Within the TUC boundaries: No Individual Eligibility: No Contributing: No	46'-0" x 67'-8"	In the Comercio Street. In the north with Comercio Street, in the south with #366-030-094-03-001 lot and building, in the east with #366-030-078-08-001 lot and building, in the west with #366-030-078-06-000 lot and building. (Lat. 18.051653 Long. -66.500344)	Ca. 1981 Modern Location = Not located within the TUC Design = The architecture is modern and due to its age of construction it is not individually eligible for the NRHP. Environments = Contains a sense of urban association outside of the designation of the Juana Diaz Urban Traditional Center. Materials = Its construction composition is related to the materials used at its time. Labor = Presents evidence of a time and construction method within the history of the municipality. Feel = The building has a feeling of a building in an urbanized area. Association= It is linked to the urban development of the municipality during the XX century.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	

Buildings with Visual Effect on the project (Indirect APE)

Identification	Dimension	Boundaries	Cultural Context
Refer to Key Plan on Page #24			
74-Cadaster number 366-030-079-02-902 Government Building Museo de los Santos Reyes Within the TUC boundaries: No Individual Eligibility: No Contributing: No	142'-0" x 175'-0'	In the Comercio Street. In the north with #366-030-079-36-901 lot and building, in the south with Comercio Street, in the west with #366-030-079-03-001 lot and building, in the east with #366-030-079-04-001 lot and building. (Lat. 18.051782 Long. -66.500352)	2004 Modern Location = Not located within the TUC Design = The architecture is modern and due to its age of construction it is not individually eligible for the NRHP. Environments = Contains a sense of urban association outside of the designation of the Juana Diaz Urban Traditional Center. Materials = Its construction composition is related to the materials used at its time. Labor = Presents evidence of a time and construction method within the history of the municipality. Feel = The building has a feeling of a building in an urbanized area. Association= It is linked to the urban development of the municipality during the XX century.
75-Cadaster number 366-030-079-03-001 Residence Within the TUC boundaries: No Individual Eligibility: No Contributing: No	173'-0" x 71'-6"	In the Comercio Street. In the north with #366-030-079-06-901 lot and building, in the south with Comercio Street, in the west with #366-030-079-06-901 lot and building, in the east with #366-030-079-02-901 lot and building. (Lat. 18.051786 Long. -66.500740)	Ca. 1980 Modern Location = Not located within the TUC Design = The architecture is modern and due to its age of construction it is not individually eligible for the NRHP. Environments = Contains a sense of urban association outside of the designation of the Juana Diaz Urban Traditional Center. Materials = Its construction composition is related to the materials used at its time. Labor = Presents evidence of a time and construction method within the history of the municipality. Feel = The building has a feeling of a building in an urbanized area. Association= It is linked to the urban development of the municipality during the XX century.

No other property or structure will be appropriated or used for purposes of the creation and development of the project (Figure #1 on Page #89).


PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	 <small>GOVERNMENT OF PUERTO RICO DEPARTMENT OF HOUSING</small>
Subrecipient: Autonomous Municipality of Juana Diaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	

Identification of Historic Properties - Archaeology


Existing information on previously identified historic properties has been reviewed to determine if any such properties are located within the APE of this undertaking. It is important to review archaeological information from previous studies for possible findings of cultural resources that may be found beneath the excavated ground. Possible remaining historic infrastructure could be found, such as pavements, utilities or drains. However, no historic buildings will be adversely affected by the development of the proposed project

Based on the research and data obtained from the Institute of Puerto Rican Culture and the State of Historic Preservation Office and following the quarter mile project extension, The Previous Investigation demonstrated (Figure #6 on Page #94);


Study Identification	Type	Author	Results & Recommendations	Distance from the Project
ICP/CAT-JD-03-10-06 (Infrastructure, Improvements to the Sidewalks and Furniture of The Urban Center of Juana Diaz in 2003)	1A Phase	Marisol J Melendez Maíz	Positive- the report indicates that practically the entire extension of the project is in potential for significant archeological finds.	APE
ICP/CAT-JD-07-12-06 (Overpass PR-149 over PR-14) 2007	1B Phase	Norma Medina Carrillo	Positive- the ATC is recommended to study possible avenues for the protection of the identified elements.	.19 miles approx.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	

Study Identification	Type	Author	Results & Recommendations	Distance from the Project
ICP/CAT-VL-86-01-02 (Villaba-Juana Diaz Trunk Sewer) 1986	IB Phase	José A. Battle & Associates, Engineering Consultant	Positive- An archaeological site was located on the land. It is recommended to move the asphalt strip and do the tests. If archaeological resources are located under the pavement, then phase II is recommended.	.19 miles approx.
ICP/CAT-JD-94-04-08 (Construcción de Edificio) 1994	IB Phase	Juan González Colón	Negative It is recommended that the corresponding government agencies allow the construction of the project as the proponents have planned.	.11 miles approx.
ICP/CAT-JD-99-11-01 (Construcción del Parque Turístico Pasivo Lago Cristina) 1999	IB Phase	Harry Aleman Crespo	Negative- The documentary investigation does not show evidence of prehistoric or historical sites or deposits in the project area. The field inspection as well as the test wells offered negative results.	.25 miles approx.


PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	

Study Identification	Type	Author	Results & Recommendations	Distance from the Project
01-21-05-09 (Construcción Nuevo Sistema Sanitario y Drenaje Pluvial) 2004	IA-IB Phases	Harry Crespo Alemán	Negative	.12 miles approx.
04-21-04-07 (Construcción de Parque El Sueño del Niño, Escuela y Centro de Bellas Artes, Bo. Pueblo, Juana Díaz, PR) 2004	IA-IB Phases	Harry Crespo Alemán	Negative	.21 miles approx.
ICP/CAT-JD-04-11-02 (Apartamento el Dorado) 2004	IA Phases	Juan González Colón	Negative	.11 miles approx.
10-22-02-01 (Construcción de Estacionamiento Municipal entre Calle Comercio y Dr. Veve, Bo. Pueblo, Juana Díaz, PR) 2003	IA-IB Phases	Harry Crespo Alemán	Negative	.01 miles approx.
07-14-88-02 (Sanitary Sewer Service for Cristina Community, Juana Díaz PR) 1988	IA-IB Phases	Andres Principe	Negative	.01 miles approx

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	

Previous Recorded Historic Resources within the Quarter Mile Project Extension
(Figure #7 on Page 95)

Previous Recorded Historic Resources	Deposit	Cultural Context	Distance and direction from the Project
Iglesia San Juan Bautista & San Ramón Nonato JD200001 SHPO	Historical, Constitutional, Religious	XIX Century. The building was built circa 1846 and represents great historical and cultural value. It's a great example of urban planning with urban infrastructure of the XIX century. The San Juan Bautista & San Juan Ramón Nonato de Juana Díaz is included in the National Register of Historic Places (NRHP) since 10/December/1984.	.01 miles approx. Address: Comercio Street, corner Muñoz Rivera Street, Juana Díaz PR
Escuela Manuel Fernández Juncos JD200001 SHPO	Historical, Institutional	XX Century. The building was built in 1904. The school has 24 classrooms. The structure has had several modifications. The structure merits listing on the National Register of Historic Places (NRHP) under Criterion C for its style of architecture that represents a period type, or method of construction.	.01 miles approx. Address: #123 Comercio Street, Juana Díaz, Puerto Rico
Carretera Central (Former Military Road) SG10003686	Historical Transportation	XIX Century. Former Military Road), with its historic course built between 1846 and 1886, is a stretch of asphalted road of the hundred and thirty-four (134.7 kilometers in length that crosses Puerto Rico in a winding north to south direction connecting the island's northern capital, San Juan, to the southern city of Ponce.	Inside APE Address: PR-1 from Km. 40 to Km 55.4/ PR-735 from Km. 0.0 to Km. 2.5/PR-14 from Km. 10.0

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Based on previous archaeological investigations within and near the project area, these stand out in particular;

The firm CHM Engineering prepared an extended Phase IB archaeological study (ICP/CAT-JD 07-12-06) for the PR-149 overpass project over PR-14 in Juana Díaz. The project consists of the construction of an elevated road over the PR-149 highway passing over the intersection of the PR-14 highway. The main purpose of the Phase IB Archaeological study is to carry out archaeological tests on the soil of the property under study with the purpose of investigating whether any archaeological resources are located on the land. Based on the analysis of phase IB, carried out by Questell in 1999, it was decided to change the manual methodology to one carried out by digger. This is because in the 1999 evaluation, the natural soil of the place could not be reached. The place where the project was located corresponds to the alluvial valley of the Jacaguas River.

Due to the depth of the fill layers within the study corridor, deep testing using an excavator was performed to reach natural soils. The tests carried out in the extended Phase IB were located in sectors of the project corridor that had not been surveyed in 1999. The distribution of the trenches along the evaluated section was also determined by the availability of free land to carry out the tests, due to the large number of constructions along the route and the access permits to the plots. The trenches were dug to a depth of 130 to 180 centimeters. These depths allowed the observation of the natural soil layers of the area under study. The 12 trenches carried out tested negative for the presence of material and/or contexts of cultural interest below ground.

However, two elements of cultural value were observed on the project route, located in the right-of-way sector of PE-149. In that place the old cane transportation railway bridge was observed. The residents of the place understand that under the asphalt there could still be the railroad tracks. The second element of value and history found is a mortar wall remaining from the old Juana Diaz cemetery from 1798. Both elements are located at an approximate distance of between .22 to .25 miles from the proposed project of the Ruta de Los Tres Santos Reyes. They are not part, in any way of the project APE. The conclusion of the study suggested that relevant conservation agencies be contacted to protect these structures during construction.

Another archaeological study (Phase IB) with positive results was the one carried out by José A. Battle & Associates, Engineering Consultants in 1986 for the Trunk Sewer Villaba-Juana Diaz ICP/CAT-VL-86-01 02 (Villaba-Juana Diaz Trunk Sewer). The purpose of the study was to obtain as much information as possible to reconstruct the historical and prehistoric background of the Trunk Sewer lines, which are 10,858 linear meters. Within the study, cultural features were identified including aboriginal potsherds (resource R-1) identified in archaeological drawings, within station 11+77 and 11+93 of the Trunk Sewer route from Villaba to Juana Díaz.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


All site surveys were conducted within the Villalba-Juana Díaz Trunk Sewer route beginning at manholes 300 and ending at manhole 123. All boreholes were drilled at 50 meter intervals and excavated between 50 to 60 centimeters depth with a post drill, having an 8" auger. All the wells obtained were located 1.5 to 2.5 meters from the transversal corners of the roads and located in reference to the number of stations or manholes following the sewer route.

The conclusions and recommendations that were issued are to remove the asphalt strip (13 meters long by 6.5 meters wide) where aboriginal potsherds were found between stations 11+77 and 11+93 of Villalba-Juana Díaz Alcantarilla Troncal, in coordination with the construction contractors, and will conduct a series of test pits using a grid-type pattern to detect any buried deposits. Controlled surface collection of Aboriginal potsherds should also be implemented. Only if resources are found below the asphalt pavement, then a Phase II survey is recommended for resource R-1. A second alternative was recommended and that was to conduct a series of test pits (drillings) without removing the entire strip of asphalt pavement to detect buried deposits. The study notes that at least 25 meters long by 3.5 meters wide would provide a well-functioning archaeological right-of-way for this reservoir and for the installation of the sewer line drainage right-of-way along this stretch of the line. According to our investigations in the corresponding government agencies, it was not possible to corroborate whether this project was finally built.

In 2003, a phase 1A archaeological study (ICP/CAT-JD-03-10 06 -Infrastructure, Improvements to the Sidewalks and Furniture of The Urban Center of Juana Díaz) was carried out for the work proposed for the Underground and Improvements to the Juana Díaz Urban Center. This archaeological study carried out by Marisol J. Meléndez and Sharon Meléndez was requested by the Department of Transportation and Public Works. The works intended to impact the four streets that surround the public square of Juana Díaz, such as Calle Comercio, Calle Degetau, Carrión Maduro and Luis Muñoz Rivera. Within the scope of the works, the following are proposed: Demolition and construction of sidewalks, repaving of streets, planting of 81 new trees, replacement of lighting poles, installation of primary and secondary underground power lines, among others.

According to the archaeologists' investigations, they understand that the municipality of Juana Díaz has environmental conditions suitable for human settlement in pre-Hispanic times, particularly in the Formative period (period III), although no prehistoric archaeological sites have been identified in the area. The archaeological study was divided into four zones;

Zone 1 = Grouped the areas that, according to historical investigations, were urban plots expropriated to carry out street expansions. The archaeologists understood that historical structures and patio elements could be found within these areas.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Zone 2 = It is made up of Commerce Street, from the intersection of 3 de Enero Street to the intersection with Hostos Street and the streets that surround the square, Degatau Street, Tomas Carrión Street and Muñoz Rivera. The archaeologists understood that in this area the presence of remains of cobblestones, sidewalks and other historical surfaces, as well as shortcuts and drainage channels, can be expected. The archaeologists explained in their report that if cobblestones or historic surfaces are found intact, there is the possibility of finding prehistoric remains with sealed integrity for the surfaces. You can also expect remains of artifacts related to domestic and commercial contexts.

Zone 3 = These are the streets of the urban area that were not found in zones 1, 2 and 4. In these zones, according to the archaeologists, findings similar to zone 2 can be expected, although with greater integrity.

Zone 4 = includes Muñoz Rivera Street, from the intersection with Antonio R. Barceló Street to the end of the project south of the intersection with Esperanza Street. The archaeologists did not expect any additional work to be carried out since previous work was carried out in that area at that time.

After the archaeological evaluations carried out, it was recommended that more archaeological investigations be carried out within zones 1, 2 and 3 to identify possible findings of cultural or pre-historic resources. According to the 2004 plans obtained by the municipality, the documentation collected and visual inspections, they revealed that the project was carried out. This project includes the streets that surround the public plaza and that make up the proposed Improvements to the Ruta de Los Tres Santos Reyes project. We understand that the project ended at the intersection of PR-14 with Luis Muñoz Rivera Street since the electric lines are still placed aerially, from that intersection to the Tres Santos Reyes Museum.

In the field investigations carried out in the streets surrounding the plaza and PR-14 for the Ruta de Los Tres Santos Reyes project, storm sewage services, manholes, meters, hydrants, signs, trees, luminaires, among others. It will also be observed that the sidewalks are made of concrete material with brick coating, with irregular measurements in both width and depth. This characteristic of the sidewalks is applied on Carrión Maduro streets, Federico Degetau Street, Luis Muñoz Rivera Street and Carrión Street until reaching the Juana Díaz Cooperative. After passing the Cooperative the composition of the sidewalk changes, with a more robust and finished concrete.

<p>An archaeological site was located on the land. It is recommended to move the asphalt strip and do the tests. If archaeological resources are located</p>	
<p>Subrecipient: Autonomous Municipality of Juana Díaz</p>	
<p>Project Name: Improvements to the Ruta de Los Tres Santos Reyes</p>	
<p>Project Number: PR-CRP-000434</p>	


According to the writings of Pedro Tomás Córdova for the municipality of Juana Díaz, the municipality was founded in the year 1798 in a territory where three rivers flow that descend into the height and drain into the sea with the names of Escabrado, Jacaguas and Guayo. The San Jaun Bautista and San Ramón Nonato church was built in 1807, but in 1797 a chapel was known in the town and was declared a parish for the following year. By 1820 the town suffered a massive fire. By 1824 the town already had 4,401 residents, increasing this figure by 1828 when it was recorded in the census to 4,592. By 1854, the municipality of Juana Díaz already had ten streets, dominated by Trinidad, Santiago Street (today Luis Muñoz Marín Street), Esperanza Street, Fuerte y del Río Street (today Comercio/PR-14 Street), Sol Street (today Federico Degetau Street), Rincón Street, San Juan Street, de la Vida Street (today Carrión Maduro Street to the north and Mariano Abril Street to the south) and Jornaleros Street (Figure #8 on Page #96). All of these streets were on the edge and vicinity of the only plaza designated for the town.

By the XIX century, Juana Díaz was supported by the production of sugar cane. To maximize its production, several sugar mills were installed to produce honey and sugar.

This town connects with the town of Ponce and the town of Coamo through the Central Highway (PR-14), built between 1846 and 1886 in order to connect the island of Puerto Rico, from north to south. This highway, also known as the Military Highway, is made up of 134.7 kilometers of highway and a segment of it intertwines with Comercio Street in the municipality of Juana Díaz, passing south of the Municipal Plaza. Specifically, the section of the Central Highway that corresponds to Juana Díaz, includes about 26 kilometers of road between Coamo and Juana Díaz, completed in 1881 and 12.4 kilometers between Ponce and Juana Díaz, completed around 1880.

Originally built of macadam material, it was the first paved road in Puerto Rico. The macadam material was invented by the Scotsman John Loudon Mc Adam in the XVIII century. This material had an artisanal installation method that recommended raising the road on top of the adjacent soil to obtain good drainage, and then the pavement was covered by two layers of crushed rock and small stones.


By the time the island was transferred to the United States in 1898, the Central Highway was the only highway that was completed as part of the "Puerto Rico Highway Plan." On May 2, 2019, the Central Highway was admitted to be part of the National Register of Historic Places (SG100003686) being the most important route to travel between San Juan and southern municipalities, sharing structural elements and components associated with history and engineering between them, highlighting the municipalities of Cayey, Aibonito, Coamo, Caguas and Juana Díaz.

<p>An archaeological site was located on the land. It is recommended to move the asphalt strip and do the tests. If archaeological resources are located</p>	
<p>Subrecipient: Autonomous Municipality of Juana Díaz</p>	
<p>Project Name: Improvements to the Ruta de Los Tres Santos Reyes</p>	
<p>Project Number: PR-CRP-000434</p>	

This road was built by the so-called camineros, who lived in structures known as casillas. In Juana Díaz there are three known existing casillas. The casilla numbered #13 is located at 21.8 of the PR-14 Street. Casilla #14, located at kilometer 16.4 and box #15 at 10.3. All far from what the Ruta de los Tres Santos Reyes project includes. The historic bridges closest to the project are the General Méndez Vigo Bridge, built in 1862 and located on PR-14 Street, kilometer 30.4. Another historic bridge is the Obispo Zengonita Bridge, built in 1879 and located on the PR-14 Street, at kilometer 23.9.

The urban growth of Juana Díaz has been expressed towards the north, south, east and west, over the years. This is demonstrated by the satellite maps of the municipality (Figure #10 on Page #68), demonstrating its population growth in the Pueblo, Amuelas, Tijeras Lomas and part of Jacaguas neighborhoods. Twenty-six years later, in 1962, in the area that includes the Barrio Pueblo and surrounding areas could be distinguished into three sectors. The irrigation canal to the east with the Cristina urbanization, already existing with a lower population density than that of the Urban Center and to the north the Las Lomas Community of the same Lomas neighborhood in addition, you can see the settlements on both sides of the main roads such as PR-14 Street and Carrion Maduro Street, which are increasing substantially in the Traditional Urban Center of the municipality (Figure #11 on Page #99). By 1971, the existing settlements maintained a community relationship with the Urban Center, increased in the 70s, 80s and 90s by the arrival of the PR-52 highway, observing the irregular and discontinuous population pattern expanding to the northeast of the urban center and southwest of the irrigation canal (Figure #12 on Page #100). The industrial sector, to the northeast, is the oldest in Juana Díaz, diversifying between institutional, residential and industrial uses.

In the surroundings of the Tres Santos Reyes Route project and in the urban area of the municipality of Juana Díaz, there are structures of historical value that date back to the XIX century. Many of these structures are associated with storage of comestibles and fruits, as support centers for municipalities near the western zone, such as Mayaguez or Ponce. Other buildings or homes have already been demolished to make new constructions or due to other circumstances. An example of this is the old Casa del Componente, where Baldorioty de Castro was imprisoned. The second level of this building was demolished in 2021. Another example is the construction of the Juana Díaz Municipal Parking Lot where three homes were demolished in 1994 for the construction of the building. Within the area surrounding the project, existing structures of historical value are still preserved, such as the church of San Juan Bautista and San Ramón Nonato de Juana Díaz, built in 1807, which has been part of the National Register of Historic Places since December 1984 and is located in the city's public square. Prior to the construction of the Parish of San Román Nonato, in the XVIII century, historians refer to an old cemetery corresponding to the "ermitia de Candelaria" in that area and an old wooden main house in its vicinity. Furthermore, the impacts, the evolution of the urban area and the municipality changes allow remains of ancient buildings to be found underground.


<p>An archaeological site was located on the land. It is recommended to move the asphalt strip and do the tests. If archaeological resources are located</p>	
<p>Subrecipient: Autonomous Municipality of Juana Díaz</p>	
<p>Project Name: Improvements to the Ruta de Los Tres Santos Reyes</p>	
<p>Project Number: PR-CRP-000434</p>	

Preliminary Results:

Based on the investigations and resources found, to date there is evidence that an archaeological resource has been identified near where the proposed project will be located. It is known that within the area that makes up the Ruta de los Tres Santos Reyes project, there is Comercio Street, the main road of the municipality and it is estimated that it is part of the founding of the town in 1798.

The same street is part of the called the Central Street (PR-14), the former Military Street, the first paved street in Puerto Rico, uniting the municipalities of the north with those of the south and recognized within the National Registry of Historic Places.

In addition to Commerce Street, the streets surrounding the plaza contain structures of historical value. It is known that urban changes, especially in buildings within the Traditional Urban Center, had changes to adapt to municipal regulations in accordance with the streets and the square. Some of these are not currently found due to changes and developments within the municipality. An example of these changes has been the elimination of the cemetery within the parish area and the restructuring of the properties near the square. It is recognized that project is located in an urban area as shown by old maps from 1864 and according to the scope of the Improvements to the Ruta de Los Tres Santos Reyes project, due to the impact of the excavations within the footprint of the project, it is possible to find foundations, remains of old buildings or old infrastructure with historical value (Figure #8 on page #96).

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	 <small>GOVERNMENT OF PUERTO RICO DEPARTMENT OF HOUSING</small>
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Identification of Historic Properties - Architecture

Existing information on previously identified historic properties has been reviewed to determine if any such properties are located within the APE of this undertaking. The review of this existing information, by the Program contracted Historic Preservation Specialist meeting the Secretary of Interior's Professional Qualification Standards (36 CFR Part 61), shows that the project area it's within the eligible Traditional Urban Center of Juana Diaz (Figure #4 on Page #92). According to the information obtained from the municipality of Juana Diaz and the architects in charge of the design, the project only impacts the footprint of the aforementioned site. Considering that the PR-14 is part of the former Military Road (Carretera Central) listed in the National Register of Historic Places (NHRP) all the measures will be taken to ensure that the improvements are built in harmony with the urban area and historical heritage existing.

To date, at the local level, the San Ramón Nonato de Juana Díaz Church is the only property locally registered in the Official Registry of Historical Sites and Areas. Currently, the State Historic Preservation Office (SHPO) is working on preparing an inventory of eligible properties for the 78 municipalities of Puerto Rico, including structures located within the quarter-mile extension of the Improvements to the Ruta de Los Tres Santos Reyes project.

Based on the research and data obtained from the Institute of Puerto Rican Culture and the State Office of Historic Preservation and following the quarter mile project extension, The Previous Recorded Cultural Resources are as follow;

Carretera Central (Former Military Road), with its historic course built between 1846 and 1886, is a stretch of asphalted road of the hundred and thirty-four (134.7 kilometers in length that crosses Puerto Rico in a winding north to south direction connecting the island's northern capital, San Juan, to the southern city of Ponce. The XIX century engineering runs from the coastal plains of the Atlantic Ocean to the coastal plains of the Caribbean Sea, cutting its way throughout some of the most challenging terrain, topographically and scenery wise, in the high mountains of the Cordillera Central. Along its path, the Carretera Central connects San Juan, the town of Rio Piedras, the municipalities of Caguas, Cayey, Aibonito, Coamo, Juana Diaz and Ponce. The Carretera Central, a linear district, is composed of several contributing resources, among these, the road itself, bridges, historic sewers, and Casillas de camineros. Carretera Central is included in the National Register of Historic Places (NRHP) since 02/May/2019. Part of the proposed project is inside of the Carretera Centra, unpacifically between Comercio Street and Museo de Los Reyes Magos (Km. 14.6). It is identified by the State Historic Preservation Office with the number SG100003686.


PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Diaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	

Church San Juan Bautista & San Juan Ramón Nonato de Juana Diaz: According to researches revised by Hernan Bustelo in 2016 and according to the official number 84000465 of the National Register of Historic Places (NRHP), located in the Juana Diaz Puerto Rico and it's a previous cultural resource of the XIX century. The building was built circa 1846 and represents great historical and cultural value. It's a great example of urban planning with urban infrastructure of the XIX century. The San Juan Bautista & San Juan Ramón Nonato de Juana Diaz is included in the National Register of Historic Places (NRHP) since 10/December/1984. The structure is .01 miles from the proposed project and is situated within the Juana Diaz Plaza.


Escuela Manuel Fernandez Juncos: According to researches by Luis Pumarada and revised by Hernan Bustelo in 2016, and according to the official number JD0200002 of the State Historic Preservation Office, located in Comercio Street #123 in Juana Diaz Puerto Rico, is previous cultural resource of the XX century. The building was built in 1904. The school has 24 classrooms. The structure has had several modifications. The structure merits listing on the National Register of Historic Places (NRHP) under Criterion C for its style of architecture that represents a period type, or method of construction. The structure is .01 miles from the proposed project on the north side of the Paseo del Campo.

However, there are additional structures with historical value within the buffer zone of the project that should be noted (Figure #23 on Page#111).


Building	Address	Cultural Context	Condition	Distance of the Project	Individually Eligible NRHP	Contributing to the Traditional Urban Center
1) 366-030-021-14-001 Dwelling	117, Comercio Street, Juan Diaz PR	XX	Good	Approx. .01 miles north of the road.	Yes	Yes
2) 366-029-037-03-001 Commercial Building	78, Comercio Street, Juana Diaz PR	XIX-XX	Good	Approx. .01 miles south of the road.	Yes	Yes
3) 366-029-037-02-001 Commercial Building	27, Comercio Street, Juana Diaz PR	XIX-XX	Good	Approx. .01 miles south of the road.	Yes	Yes
4) 366-029-037-01-001 Commercial Building	72, Comercio Street, Juana Diaz PR	XIX-XX	Good	Approx. .01 miles south of the road.	Yes	Yes
5) 366-029-036-09-001 Commercial Building	70, Comercio Street, Juana Diaz PR	XIX-XX	Good	Approx. .01 miles west of the road.	Yes	Yes

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Diaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	

Building	Address	Cultural Context	Condition	Distance of the Project	Eligible NRHP	Contributing to the Traditional Urban Center
6) 366-029-024-09-001 Commercial Building	69, Carrion Maduro Street, Juana Diaz PR	XIX-XX	Good	Approx. .01 miles west of the road.	Yes	Yes
7) 366-029-024-08-901 Commercial Building	5, Carrion Maduro Street, Juana Diaz PR	XIX-XX	Good	Approx. .01 miles west of the road.	Yes	Yes
8) 366-029-024-07-853 Commercial Building	7, Carrion Maduro Street, Juana Diaz PR	XX	Good	Approx. .01 miles west of the road	Yes	Yes
9) 366-029-024-06-000 Church	11, Carrion Maduro Street, Juana Diaz PR	XX	Good	Approx. .01 miles west of the road	Yes	Yes
10) 366-029-024-05-001 Government Building	9, Carrion Maduro Street, Juana Diaz PR	XX	Good	Approx. .01 miles west of the road	Yes	Yes
11) 366-029-127-10-001 Commercial Building	15, Degetau Street Juana Diaz PR	XX	Good	Approx. .01 miles west of the road	Yes	Yes
12) 366-029-018-21-902 Commercial Building	27, Degetau Street Juana Diaz PR	XX	Good	Approx. .01 miles north of the road	Yes	Yes
13) 366-030-018-18-001 Government Building	41, Degetau Street Juana Diaz PR	XX	Good	Approx. .01 miles north of the road	Yes	Yes


PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Diaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	

Building	Address	Cultural Context	Condition	Distance of the Project	Eligible NRHP	Contributing to the Traditional Urban Center
14) 366-030-018-17-000 Mayors House	45, Degetau Street Juana Diaz PR	XX	Good	Approx. .01 miles north of the road	Yes	Yes
15) 366-030-018-16-000 Government Building	33, Degetau Street Juana Diaz PR	XX	Good	Approx. .01 miles north of the road	Yes	Yes
16) 366-030-018-15-001 Commercial Building	37, Degetau Street Juana Diaz PR	XX	Good	Approx. .01 miles north of the road.	Yes	Yes
17) 366-030-018-14-001 Residence	39, Degetau Street Juana Diaz PR	XX	Poor	Approx. .01 miles north of the road.	Yes	Yes
18) 366-030-018-12-001 Commercial Building	43, Degetau Street, Juana Diaz PR	XX	Good	Approx. .01 miles north of the road.	Yes	Yes
19) 366-030-026-10-008 Commercial Building	70, Degetau Street, Juana Diaz PR	XX	Good	Approx. .01 miles south of the road.	Yes	Yes
20) 366-030-025-02-000 Church-Religious	(Inside of the Juana Diaz public plaza) Degetau Street, Juana Diaz PR	XIX	Good	Approx. .01 miles north of the road.	Listed	Yes
21) 366-030-025-01-000 Plaza	Comercio Street, Km14.6, Juana Diaz PR	XIX	Good	Approx. .01 miles south of the road	Yes	Yes
22) 366-030-038-03-001 Dwelling	102, Comercio Street, Juana Diaz PR	XIX	Good	Approx. .01 miles south of the road	Yes	Yes
23) 366-030-026-14-001 Dwelling	64, Luis Muñoz Marín Street, Juana Diaz PR	XIX	Good	Approx. .01 miles of the road	No	Yes

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


A Brief Summary of the Area to be Impacted

Building name or identification	Address	Construction Date and Style	Individual Eligibility and Contribution
Luis Muñoz Marín A-1 (Los Reyes Supermarket) #366-030-078-03-000 Individual Eligibility: No Contributing: No	A-1, PR-14 Street, Villas del Carmen Urbanización, Juana Díaz Puerto Rico	Ca. 1977 Modern	Location = Not located within the TUC Design = Architecturally it does not have a significant or relevant elements to be considered individually for the NRHP. Environments = Contains a sense of urban association outside of the designation of the Juana Díaz Urban Traditional Center. Materials = Its construction composition is related to the materials used at its time. Labor = Presents evidence of a time and construction method within the history of the municipality. Feel = The building has a feeling of a building in an urbanized area. Association= It is linked to the urban development of the municipality during the XX century.
Apartamentos el Dorado #366-030-079-096-901 Individual Eligibility: No Contributing: No	PR-14 Street, #143, Juana Díaz Puerto Rico	2005 Modern	Location = Not located within the TUC Design = Architecturally it does not have a significant or relevant elements to be considered individually for the NRHP. Environments = Contains a sense of urban association outside of the designation of the Juana Díaz Urban Traditional Center. Materials = Its construction composition is related to the materials used at its time. Labor = Presents evidence of a time and construction method within the history of the municipality. Feel = The building has a feeling of a building in an urbanized area. Association= It is linked to the urban development of the municipality during the XXI century.
Escuela Manuel Fernandez Juncos #366-030-082-03-000 Individual Eligibility: Yes Contributing: Yes	PR-14 Street, #125, Juana Díaz Puerto Rico	1904 Mission	Location = Within the TUC Design = It contains valuable architectural elements and its details highlight the purpose of use of the building. Settings = It contains a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XIX-XX century.
Elemental Rutherford B. Hayes School #366-030-0094-34-000 #366-030-090-22-000 Individual Eligibility: Yes Contributing: Yes	Comercio Street, PR-14 Juana Díaz PR	Ca. 1962 Modern	Location = Within the TUC Design = It contains typical educational architectural elements and its details highlight the purpose of use of the building. Settings = It contains a sense of association and similarity with the surrounding buildings that make up the TUC of Juana Díaz. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings. Association= It has a link with urban development within the municipality during the XIX-XX century.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	

A Brief Summary of the Area to be Impacted


Building name or identification	Address	Construction Date and Style	Individual Eligibility and Contribution
Cooperativa de Ahorro y Crédito de Juana Díaz #366-030-021-54-000 Individual Eligibility: No Contributing: Yes	PR-14 Street, 113, Juana Díaz Puerto Rico	Ca. 1999 Modern	Location = Within the TUC Design = Relative modern design and construction. It doesn't meet the construction age to be eligible to the NRHP. Settings = It contains a sense of association and similarity with the surrounding buildings in terms of space and dimensions that make up the Juana Díaz TUC. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings, especially commercial type. Association= It has a link with urban development within the municipality during the XX-XXI century.
Building 104. Dr. M. Colón Gazambide #366-030-039-49-003 Individual Eligibility: No Contributing: Yes	PR-14 Street, #104, Juana Díaz Puerto Rico	Ca. 1959 Modern	Location = Within the TUC Design = Modern design with alterations. We understand that you are not eligible to be considered for NRHP. Settings = It contains a sense of association and similarity with the surrounding buildings in terms of space and dimensions that make up the Juana Díaz TUC. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings, especially commercial type. Association= It has a link with urban development within the municipality during the XX-XXI century.
Building #92, Mueblicentro Guayabal #366-030-037-08-001 Individual Eligibility: No Contributing: Yes	PR-14 Street, #92, Juana Díaz Puerto Rico	Ca. 1880-1920	Location = Within the TUC Design = Colonial design with alterations with modern features. We understand that you are not eligible to be considered for NRHP. Settings = It contains a sense of association and similarity with the surrounding buildings in terms of space and dimensions that make up the Juana Díaz TUC. Materials = Its construction composition is related to the materials used in its period. Workmanship = It presents evidence of a period and construction method within the history of the municipality. Feeling = The building has a sense of place and blends well with the surrounding buildings, especially commercial type. Association= It has a link with urban development within the municipality during the XXI-XX century.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	 <small>GOVERNMENT OF PUERTO RICO DEPARTMENT OF HOUSING</small>
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	

Background Cultural History, Infrastructure History, and the Significance of this Event

It is known that the urban center of Juana Díaz has been occupied since the end of the XVI century, before its founding in 1798. The so-called Ruta de los Tres Santos Reyes is concentrated in the main streets of the Traditional Urban Center of Juana Díaz. From Comercio Street (PR-14) at kilometer 14.6 to the intersection with Carrión Maduro Street (PR-570), until bordering the four corners of the Román Baldorioty de Castro Public Plaza. This route also includes Carrión Maduro streets, F. Degetau street and Luis Muñoz Rivera Street. The Ruta de los Tres Santos Reyes is made up of the Central Street. This was the first paved street in Puerto Rico (Figure #22 on Page #110). Its construction began in 1846 with the San Juan-Río Piedras section (today widened and named Avenida Ponce de León). In 1866 the route to Ponce was built, crossing the rugged and then uninhabited Central Mountain Range and the towns of Caguas, Cayey, Coamo and Juana Díaz. Most of the original route and the original bridges are still preserved. Winding and scenic, it covers the cities of the XVI century to the new center of San Juan and battlefields of the 1898 war. Specifically, on Comercio Street, between kilometer 14.6 (in front of the Museo de los Santos Reyes) and until reaching Carrion Maduro Street to the west, is included in the United States National Register of Historic Places as a historic resource, under the reference 100003686, with entry date to the Register of May 2, 2009 (Figure #22 on Page #110). In addition, the streets that make up the proposed project of the Ruta de los Tres Santos Reyes, specifically the segments that surround the Plaza de Recreo of Carrión Maduro, Degetau and Betances streets in the urban center of Juana Díaz, are considered by the Institute of Culture of Puerto Rico as properties of historical value.


In 1864, the Public Works assistant, Niceto Blajas Iglesias, wrote a location map of Juana Díaz showing the streets of the urban center of Juana Díaz and the project for a butcher shop. The plan graphically corroborates the Geographic Description of 1853 by locating ten streets in the urban fabric. It also includes street names and regional accesses. The document also shows the segregation of day laborers on Calle de Jornaleros, to the west of the plaza. In July 1863, a year before this plan was drawn, Niceto Blajas Iglesias had also been commissioned to design an archway in the square and streets that flow into the four corners of it. Three plans were prepared for this project. In all probability this plan also corresponds to the design of this archway. The project of adding arcades to portals in the plaza, once it was defined and urbanized, constitutes an interesting example, perhaps the only one in Puerto Rico, where a municipality attempted to comply, at least belatedly, with another of the specifications of the Laws Indies that provided it this way for all the main squares of the towns. The arcade project never materialized.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	

By the date of 1864, the town of Juana Díaz had ten streets. Of these, Calle Coamo (current Calle Comercio), La Vida (current Carrión Maduro) and Trinidad (Santiago Veve) stood out, as shown on Juna Diaz map of 1864 (Figure #8 on Page #96). In addition, it is known that the Central Highway connected the town of Ponce and Coamo. The Central Highway was built in an almost perfect combination of hard, crushed granitic stone or Macadam and compressed sand. For its surface, lime carbonate rocks called limestone were used, very abundant on the island, which were almost founded on a solid floor. River gravel was also often used. Hundreds of laborers worked throughout its construction. The workers were employed as stonemasons, others as brownish stone crushers for cementing and factory works. The field work was very hard, mainly the crushing of stone due to the resistant quality of the material in some places; Even the weakest and strongest men could not crush it. Other streets that made up the urban center of Juana Díaz were Sol Street (today Degetau), Esperanza Street (Mario Brachi) and Santiago Apóstol Street (Muñoz Rivera). Others, such as Sanz (Hostos) and Rincón streets, were laid out in the XIX century. There was also Campito Street, which currently bears the name of Matienzo Cintrón in a section, becoming 3 de Enero Street from the intersection with Comercio to Degetau.

In 1910 during the height of the region's sugar industry, the first streets expansion in the south of the town were recorded. This year, the municipality acquired the necessary land to extend the urban section to Lincoln Street, creating a new block between it and the new Eckman Street. Both flow into the Matienzo Cintrón to the west and the Carrión Maduro to the east. La Carrión must have registered a first extension with respect to its original length between this year and 1920.

In November 1922, the municipality bought new land, this time eight acres, south of Santiago Veve Street. The purpose was to create a second expansion for the population, following the models of other towns such as Ponce, Mayagüez and San Germán. In the expansion, nine blocks and five new second-order streets were produced. From East to West and perpendicular to Muñoz Rivera Street, Santiago Iglesias, Martínez Nadal, Manuel F. Rossy and Antonio R. Barceló streets were created. From North to South and perpendicular to Santiago Iglesias and Barceló, the third-order streets Monclova Guillardo and Domingo Sepúlveda were created (Figure #18 on Page #106). Around the 1960s, Barceló Street would extend to Matienzo Cintrón. It is likely that Eugenio María de Hostos Street, northeast of the square, was consolidated as such during this decade, in which the expansion and its construction are identified. With the furor of the expansions, the repaving of most of the streets in the municipality of Juna Díaz began. In 1924, a widening was carried out between Iglesias and Barceló streets. Starting in 1928, it would be the main streets that would go through the aforementioned improvements. With this, the relevant work was also carried out on new storm drains because during the rainy season the urban center suffered from frequent flooding due to its insufficient sewers.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


In 1933, a second, even more specific project promoted new sidewalks, gutters and curbs on Comercio streets, part of Santiago Veve and on the perimeter of the square. The sidewalks on Degetau Street would be rebuilt, as would those on Muñoz Rivera Street (Figure #19 on Page #107).

Between 1937 and 1940, another phase began with the “gravel pavement” in some streets using macadam with a layer of asphalt. This project would include Carrión Maduro Street, Santiago Veve Street, Mario Brashi Street, January 3 Street, Marina Street and San Juan Street. Matienzo Cintrón Street would also be paved, eliminating the gravel pavement. At the same time, the sidewalks on Degetau and Comercio Street were partially rebuilt and widened, while new sidewalks were built on San Juan, Veve and Carrión Maduro from the sidewalk of Commerce Street (Figure #20 on Page #108).

In 1948 the Planning Board of Puerto Rico expanded the urban area of the town with part of the Lomas and Amuelas neighborhoods when preparing the official map of Juana Díaz and its neighborhoods. Specifically, a part of the Lomas neighborhood was annexed to the Pueblo Norte urban neighborhood, part of the Amuelas and Lomas neighborhoods were annexed to the Pueblo Oeste neighborhood and part of the Amuelas neighborhood was annexed to the Pueblo Sur neighborhood. Currently the Municipality has fourteen (14) neighborhoods: Amuelas, Barrio Pueblo, Capitanejo, Cayabo, Cintrona, Collores, Emajagual, Guayabal, Jacaguas, Lomas, Río Cañas Abajo, Río Cañas Arriba, Sabana Llana and Tijeras.

Between 1950 and 1960, new streets appeared next to the town, most of them being removed from what limits the public square and its adjacent streets. The Municipality of Juana Díaz has experienced natural growth towards the east and northeast of its traditional center. This is why the improvements that are intended to be made in the proposed project of the Ruta de los Tres Santos Reyes, which act as an entity and main axis for the connection of the surrounding neighborhoods and the urban center of the municipality. By 1962, three sectors can be distinguished in the urban area and surrounding areas. The irrigation canal already exists to the east with the Cristina urbanization with a lower population density than that of the Urban Center and to the north the Community of Las Lomas in the same neighborhood of Lomas. Furthermore, we can observe that settlements on both sides of the main roads such as PR-14 and Carrión Maduro are increasing, bordering the Urban Center (Figure #12 on Page #100).

The existing settlements maintain a relationship of continuity with the Urban Center, but from the 70s until the mid-90s, with the arrival of the PR-52 highway, it can be seen that the irregular and discontinuous pattern expanded. northeast of the urban center and south-west of the irrigation canal. Predominantly residential use, north of the Urban Center. The industrial sector to the northwest is the oldest in Juana Díaz, mixing institutional, residential and industrial uses. (Figure #13 on Page #101). The discontinuous growth pattern continued to increase in the 1990s on both sides of PR-149 and towards the northeast.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


The land use pattern of Juana Díaz is similar to the rest of the municipalities of Puerto Rico, constructions on both sides of the roads, developed settlements and scattered outside the Center or Urban Area and influenced by municipalities neighboring in this case Ponce, which attract population. Juana Díaz and Villalba belong to the Ponce Sanitary Sewer Region which has a primary treatment plant with a capacity of 18 MGD and a 1,600-meter discharge outfall in the Caribbean. In the short term, this capacity will be increased to 22 MGD.

The sewer system in the Municipality consists of this plant and a collection line that passes through Juana Díaz and Villalba that carries the waters without treat to the treatment plant of the Municipality of Ponce. Furthermore, Juana Díaz, tells with three pump stations located in Guayabal, Río Cañas Abajo and in Capitanejo. The neighborhoods currently with connection to the Sanitary Sewer are Guayabal, Collores, Río Cañas Abajo, Jacaguas, Juana Díaz Pueblo (the proposed project location), part of Amuelas, Sabana Llana (Aguilita) and part of the Capitanejo neighborhood.

The neighborhoods currently with connection to the Sanitary Sewer are Guayabal, Collores, Río Cañas Abajo, Jacaguas, Juana Díaz Pueblo (the proposed project location), part of Amuelas, Sabana Llana (Aguilita) and part of the Capitanejo neighborhood. Despite the availability of infrastructure, only 53% of homes are connected to the system. According to the Authority of Sewers and Aqueducts, only 7,626 connections to the system are registered in the municipality, while it is estimated that 6,798 are still not connected.

The road system of the municipality of Juana Díaz is composed of primary roads of state and regional impact and secondary roads of local impact. The regional highway network serves to connect the municipalities surrounding Juana Díaz with its urban area. This regional road communication system benefits the municipality of Juana Díaz, as it is the main connection area for the municipalities to the north that require the regional services provided in Ponce. One of the main roads is PR-52 or Expreso Luis A. Ferré, which connects the Metropolitan Area of San Juan with Ponce and runs south of the Urban Center of Juana Díaz.


PR-1 also connects the southern area of Puerto Rico with the Metropolitan Area, its use is less. The PR-14 is another of the roads of regional importance for the municipality, it connects with Cayey, Aibonito, Coamo and Ponce. PR-149 also has a regional impact, running through the Urban Center, connecting the north of Puerto Rico with the south, impacting the municipalities of Manatí, Ciales, Jayuya, Villalba and Juana Díaz. Other internal roads such as PR-508, PR-512 and PR-535, among others, connect the neighborhoods with each other and with other municipalities.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	

Within the proposed project and in the streets that comprise it, Luis Muñoz Rivera Street, Federico Degetau Street, Carrión Maduro Street and Comercio Street, their sidewalks are made of cement. Sidewalk widths vary within a range of 5'-0" to 10'-0". Its average height is 5" with a finish of irregular slabs that simulate brick and exposed cement. The infrastructure for sanitary discharge and for the distribution of drinking water can be seen to be underground with its proper manholes and wells in the paved streets. Around the streets of the square there are underground lines for electricity generation and public lighting. In this way, like cable television and telephone lines, they are buried underground. Impacts on sidewalks can be observed through the occupation of trees, sign installations, hydrants, ornamental and concrete posts.

In the 2003, the Department of Transportation and Public Works of Puerto Rico, developed a project in the urban center of the town of Juana Díaz, for the electrical installations of primary and secondary underground lines within the streets surrounding the plaza and adjacent streets. Within the work, work was done on sidewalk improvements, lighting replacement, street resurfacing, tree planting, manhole installations, ornamental pole installations, electric pole installations, electrical box installations, telephone infrastructure installations, among others.

In the development of the municipality of Juana Díaz there is a date that has great importance within the culture of the municipality. It is January 6, 1884, where the celebration and tradition of the Tres Reyes Magos begins within Puerto Rican Christmas. For this date, Father Valentín Echevarría together with a group of Juanadino brothers coordinated what is known as the La Caravana de los Tres Reyes Magos Juanadinos from the Monclovas slope (Calle Comercio) to the public square (Calle Carrion Maduro) where the church celebrates the feast of the Epiphany. The tradition of the Juanadino Three Wise Men is the celebration that, from 1884 to the present, identifies the municipality of Juana Díaz as one of the most important and notorious traditions in Puerto Rico. This is why it is currently considered the National Holiday of the Los Tres Reyes Magos of Puerto Rico. For more than 100 years the kings have become Juanadian ambassadors of joy and solemnity. This is so, since thanks to the Caravana Nacional de Reyes Magos that takes place every year in Juana Díaz, they have had the opportunity to visit towns in Puerto Rico and countries like Cuba and the Vatican where they obtained an audience before. Pope John Paul II to whom he has entrusted the mission of bringing peace and love to the entire world.


PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	

Analysis of Impact of the Project

According to historian Eduardo Newman, the municipality of Juana Díaz, since the 1582 and before its founding in 1798, already had an urban center in the place where we know it. The definitions of the streets that surround the public square and that make up the Urban Center of Juana Díaz, were presented in the plan for the construction of a butcher shop in 1864. This plan was created by Niceto Blajas Iglesias and geographically corroborates the geographical description of 1853 by locating 10 streets in the urban center of the municipality (Figure #8 on Page #96). In 1863 and according to documents that evidence this, Don Diego Esbri invaded public land, creating an archway and taking land corresponding to the public plaza for his house. This act forced the municipality of Juana Díaz to create regulations to create uniformity of the homes on the streets that border the square and surrounding them, in order to create a sense of coexistence. The government ordered that the façade of the house be realigned with that then Casa del Rey, now a church. This house is still located on Carrión Maduro Street, today known as the Museum of the History of Juana Díaz.

By 1797 a chapel was located where Plaza Baldorioty de Castro is now located. Also attached to this church was the town hall, made of two-level wood construction. Over the years the expansion of the streets from the center of the plaza from north to south and from east to west has been evident in the different plans and aerial maps. For example, in 1922, in the south, 5 streets and nine blocks were produced. In turn, this widening created new intersections (Santiago Iglesias, Martínez Nadal and Barceló) along Luis Muñoz Rivera Street. Another expansion occurred in the 1950s and 1960s using lots that were unused and where warehouses that were used to be links to the port of Ponce may have been.

Within the construction of the La Ruta de los Tres Santos Reyes, the soil of Comercio Street, Federico Degetau Street, Luis Muñoz Rivera Street, Carrión Maduro Street, Mariano Abril Street, Eugenio Maria de Hostos Street, Angel R. Mora Street, #1 Street and Orquidea Streets will be impacted, in work to improve sidewalks, lighting, ramps for the disabled and asphalt. Possible remains of housing on Carrión Maduro Street, as well as remains of the old chapel in the square, could be found. It is not ruled out that some old remaining drainage will be found to collect the town's waters. Since 1910, different interventions have been carried out on the streets and sidewalks of the municipality of Juana Díaz, with the project of Undergrounding and Improvements to the Urban Center of Juana Díaz in 2003 being the most recent. This project covers a large part of the territorial intervention that is intended to impact the Three Holy Kings Route project, but recognizing the history of Juana Díaz in her buildings, the old cemetery of the first hermitage, located on the grounds of the plaza, the different structures of historical value in the vicinity and the old military road being part of the scope of work, it is worth recommending archaeological monitoring in the construction of the project.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


Determination

Based on the documents investigated, as shown in the 1864 map of Juana Díaz, made by Niceto Blajas Iglesias and as mentioned by historians, it was already known that by the date of Juana Díaz foundation in 1798, the municipality had an urban center established. By 1910, the expansion of the streets began to the south, and by 1920, Carrión Maduro Street had to register a first extension with respect to its original length between 1910 and 1920. The streets of the urban area of Juana Díaz began to be paved after 1920 and by 1924, widening began to be carried out on various streets, starting with Iglesias and Barcelo streets. Since 1928, sewer and drainage infrastructure work began in the municipality to control the floods that were being faced by seasonal rains. By 1933, sidewalk improvements began to be made on the streets surrounding Baldorioty De Castro Square and between the dates of 1937 and 1940, asphalt installations began in the traditional urban area of Juana Díaz (Figures #19 on Page #107) (Figures #20 on Page #108). During the years 1936 to 1992, the continuous expansion of the municipality of Juana Díaz from its center can be seen on the different aerial maps.

The proposed Three Kings Route project is located within the Central Highway (PR14-old Military Highway) which is included in the National Register of Historic Places (NRHP).

The following historic properties have been identified within the APE:

- **Direct Effect:** Based on the results on the historic property identification efforts, the program has determined that the project action will not affect adversely historic properties within the APE. Original material from Cultural Resources, PR-14 Street (former military road), could be affected by excavation or demolition tasks. The project will only impact the Comercio Street, Mariano Abril Street, Carrion Maduro Street, Federico Degetau Street, Luis Muñoz Rivera Street, Angel R. Mora Street, Eugenio María de Hostos Street, #1 Street, Orquideas Street, and buildings; (Los Reyes Supermarket, A-1 PR-14 Street, Juana Díaz PR) , (Apartamentos El Dorado, #143 PR-14 Street Juana Díaz PR), (Escuela Manuel Fernandez Juncos, #125, Juana Díaz PR), (Escuela Rutherford B. Hayes, Comercio Street, PR-14 Juana Díaz PR) , (Cooperativa de Ahorro y Credito de Juana Díaz building, #113 PR-14 Street, Juana Díaz PR), (Dr. José M. Colón Gaztambide building, #106 PR-14 Street, Juana Díaz PR) and (Mueblicentro Guayabal building, #92 PR-14 Street Juana Díaz PR).

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	


- Indirect Effect: Visual effect was identified, in terms of the visual effect of the project, structures with different styles of architecture, mainly used for commerce are present. This visual effect for eligible structures (Dwelling #117, Comercio Street, Juana Diaz PR), (Jannelly Kitchen/#78, Comercio Street, Juana Diaz PR), (La Favorita/#27, Comercio Street, Juana Diaz PR), (Commercial Building/#72, Comercio Street, Juana Diaz PR), (Puertas Bar & Tapas/#70, Comercio Street, Juana Diaz PR), (Commercial Building, #69, Carrion Maduro Street, Juana Diaz PR), (Benitez Mendez inc./#5, Carrion Maduro Street, Juana Diaz PR), (La Ideal/#7, Carrion Maduro Street, Juana Diaz PR), (Iglesia Evangelica Unida/#11, Carrion Maduro Street, Juana Diaz PR), (Casa Real/#9, Carrion Maduro Street, Juana Diaz PR), (Funeraria Fermín Rivera/#15, Degetau Street, Juana Diaz PR), (Island Finance, Degetau Street, Juana Diaz PR), (Government Building/33, Degetau Street, Juana Diaz PR), (Commercial Building/#41, Degetau Street, Juana Diaz PR), (Mayor's House/#45, Degetau Street, Juana Diaz PR), (Mofongo Bowl building/#37, Degetau Street, Juana Diaz PR), (Dwelling/#39, Degetau Street, Juana Diaz PR), (Robert Engel Ramos MD/#43, Degetau Street, Juana Diaz PR), (She and He Beauty Salon/#70, Degetau Street, Juana Diaz PR), (Dwelling/#102, Comercio Street, Km 14.6, Juana Diaz PR), (20-20 Optical building, #64 Luis Muñoz Marín Street), The Román Baldorioty de Castro public square & The San Juan Bautista and Ramón Nonato church, which is in the National Register of Historic Places. This visual effect will not represent an adverse effect.

According to the Standards for the Treatment of Historic Buildings of the Secretary of the Interior and the established codes (36 CFR Part 67), a rehabilitation project has been confirmed, according to the design for the Improvement of the Ruta de los Tres Santos Reyes. The new interventions will be adapted to the historic character, complying with the current state codes and regulations for the work. The Illustrated Guidelines for Rehabilitation Historic Building and the Guidelines for the preservation, rehabilitation, restoration and reconstruction of historic buildings will be useful prior to the implementation of the work.

<https://www.nps.gov/crps/tps/rehab-guidelines/rehabilitation-guidelines-1997.pdf>.

Methods and processes for the project will be implemented in accordance with Preservation Brief 1 (Assessing Cleaning and Water-Repellent Treatments for Historic Masonry Buildings), Preservation Brief 6 (Dangers of Abrasive Cleaning to Historic Building), Preservation Brief 15 (Preservation of Historic Concrete) <https://www.nps.gov/orgs/preservation-briefs.htm>. These guidelines and processes to be implemented in the work will be tools that will help to ensure that there is no adverse effect of the physical or visual condition on the buildings.

In addition, we recommend archaeological monitoring by an archaeologist during ground disturbance activities in order to protect existing resources of historical value and those that may be found.

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	

Recommendation (Please keep on same page as SHPO Staff Section)

The Puerto Rico Department of Housing requests that the Puerto Rico SHPO concur that the following determination is appropriate for the undertaking (Choose One):

No Historic Properties Affected

No Adverse Effect

Condition:

(1) All work to historic structures must be conducted per the Secretary of the Interior's Standards for Rehabilitation.

(2) As a preventive method and aware that the project area is surrounded by historical structures and potential archaeological deposits, archaeological monitoring should be conducted during all ground disturbing activities by an SOI qualified archaeologist. An archaeology monitoring work plan should be prepared and submitted for review.

Adverse Effect

Proposed Resolution (if applicable)

This Section is to be Completed by SHPO Staff Only

<p>The Puerto Rico State Historic Preservation Office has reviewed the above information and:</p> <p><input type="checkbox"/> Concurs with the information provided.</p> <p><input type="checkbox"/> Does not concur with the information provided.</p>	
<p>Comments:</p>	
<p>Carlos Rubio-Cancela State Historic Preservation Officer</p>	<p>Date:</p>

Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437

Improvement to the Ruta de Los Tres Santos Reyes– Area of Potential Effect Map (Aerial)

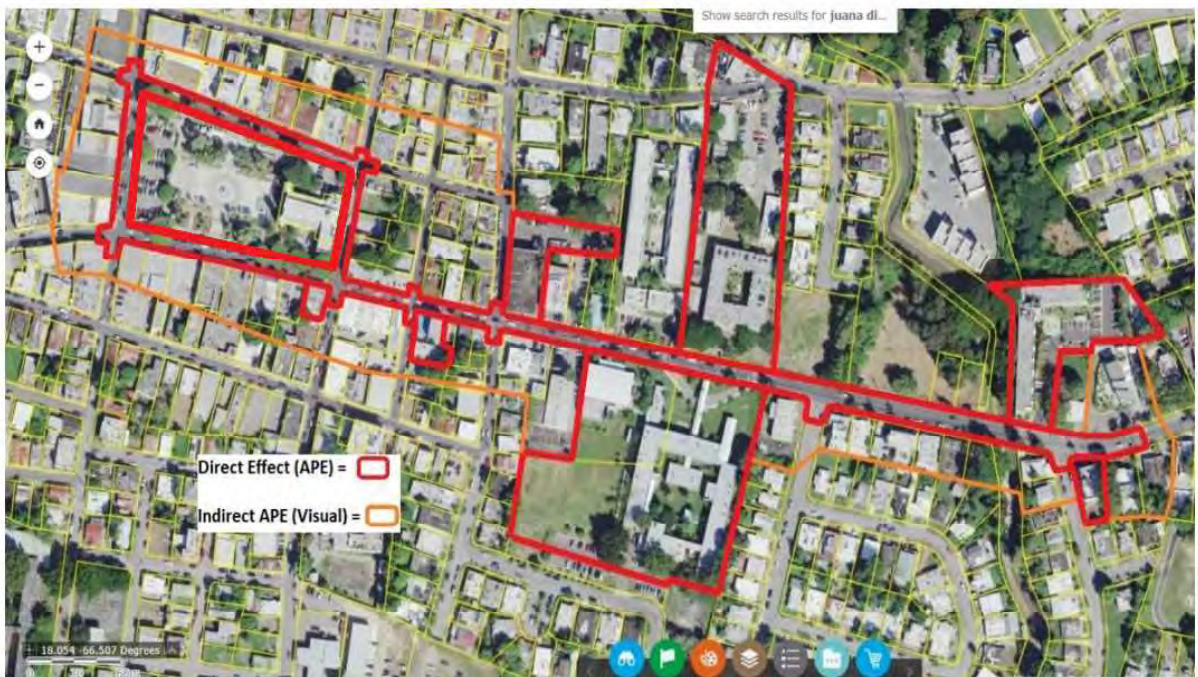


Figure #1

Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437

Improvement to the Ruta de Los Tres Santos Reyes – Project (Parcel) Location – Aerial Map



Figure #2

Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437

Project (Parcel) Location – 1969 USGS Topographic Map



Figure #3

Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437

Traditional Urban Center – Juana Díaz (Source: SHPO PR)



Figure #4

Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437

Project (Parcel) Location – Soil Map



Figure #5

Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437

Project (Parcel) Location with Previous Investigations – PR State Historic Preservation Office & Institute of Puerto Rican Culture – Aerial Map

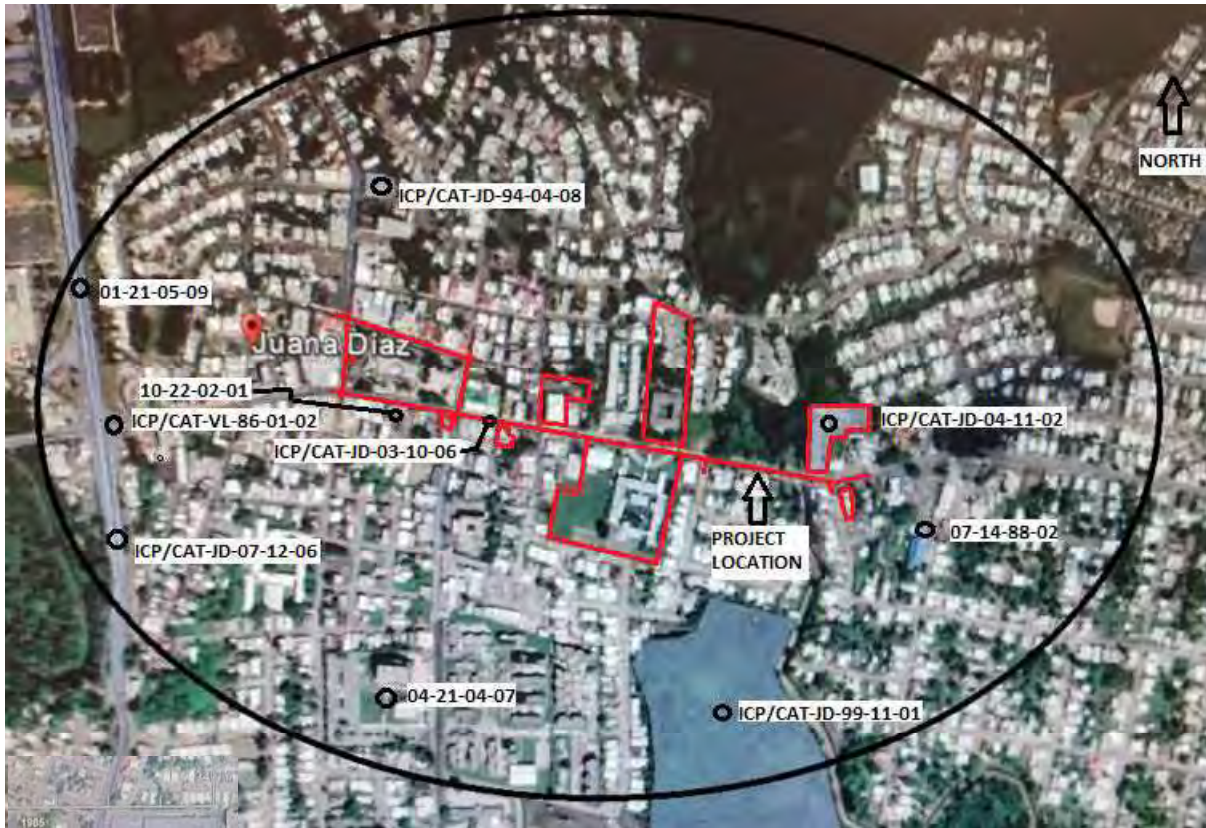


Figure #6

Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437

Project (Parcel) Location with Previous Recorded Historic Resources USGS Topographic

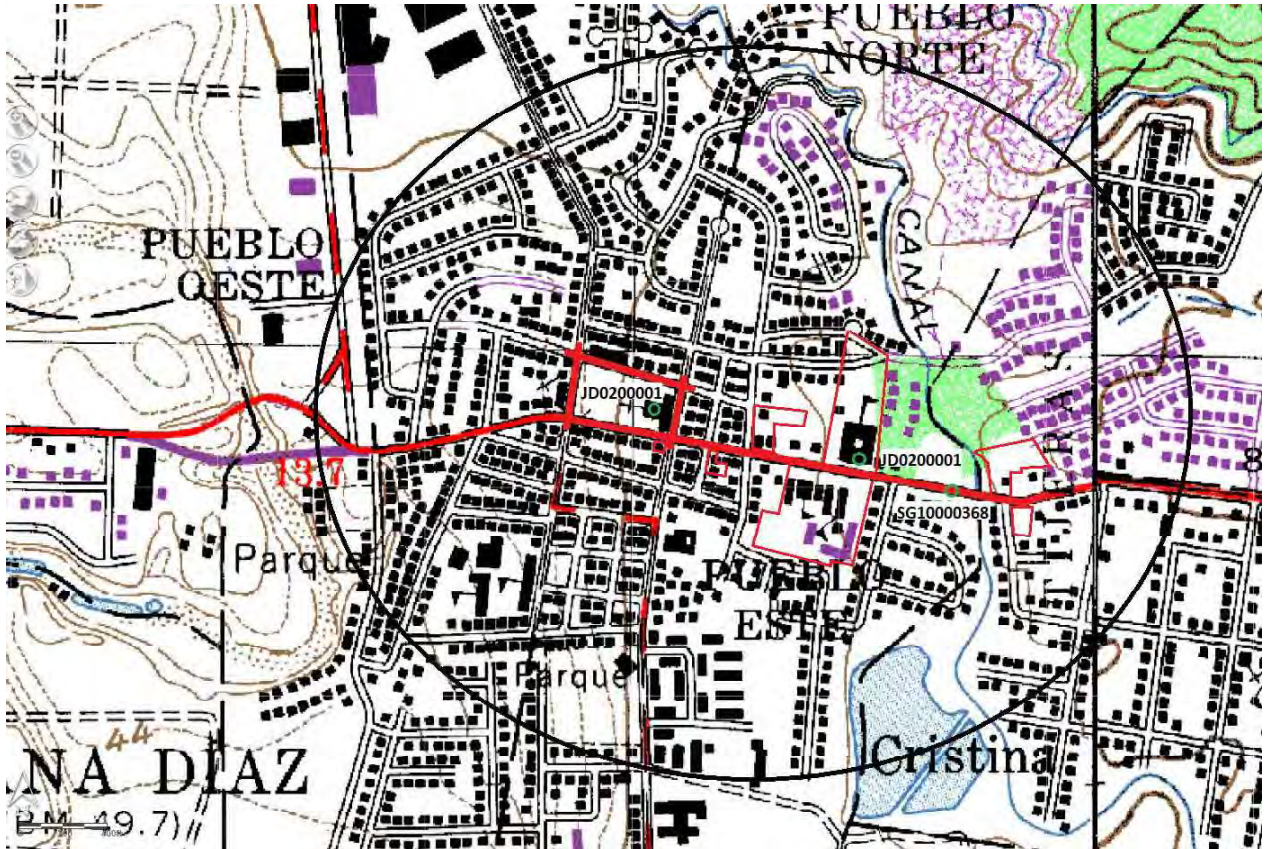


Figure #7

Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437

1864 Juana Diaz Historic Map (Source: Institute of Puerto Rican Culture)

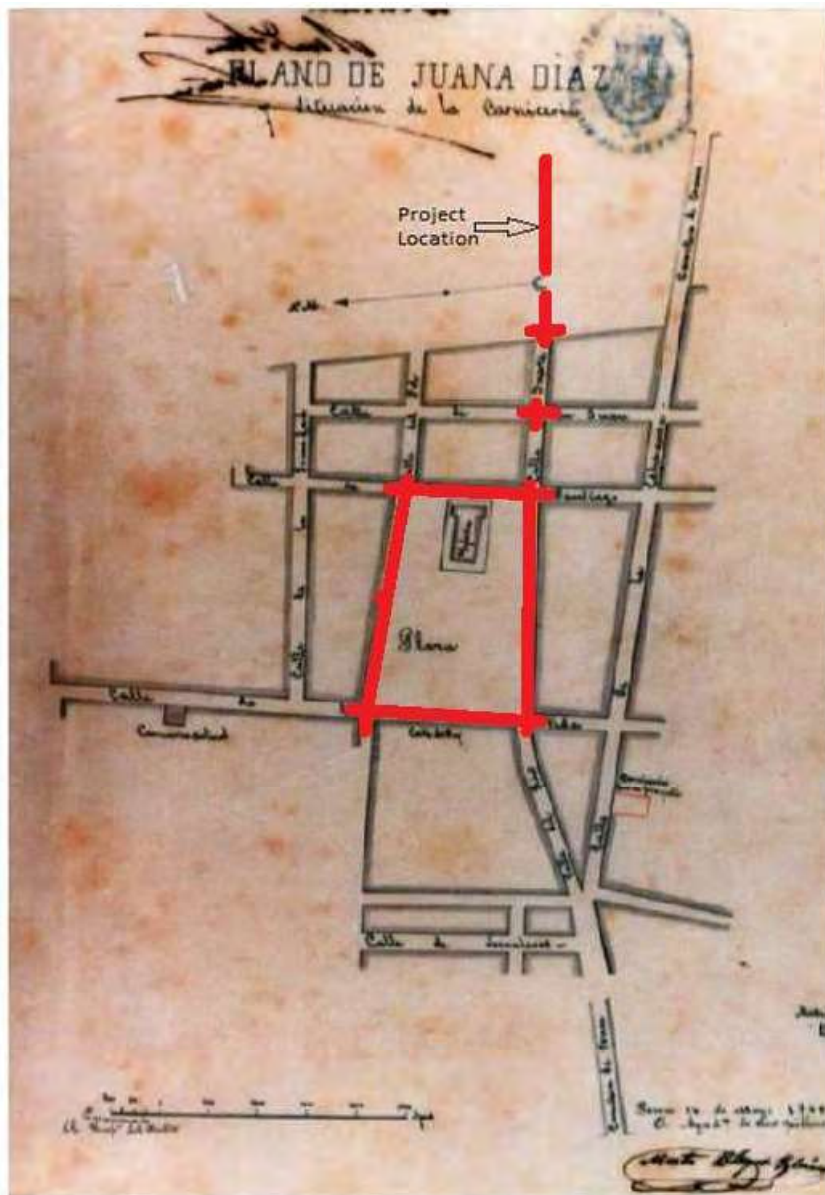


Figure #8

Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437

1884 Juana Diaz Historic Map (Source: Institute of Puerto Rican Culture)

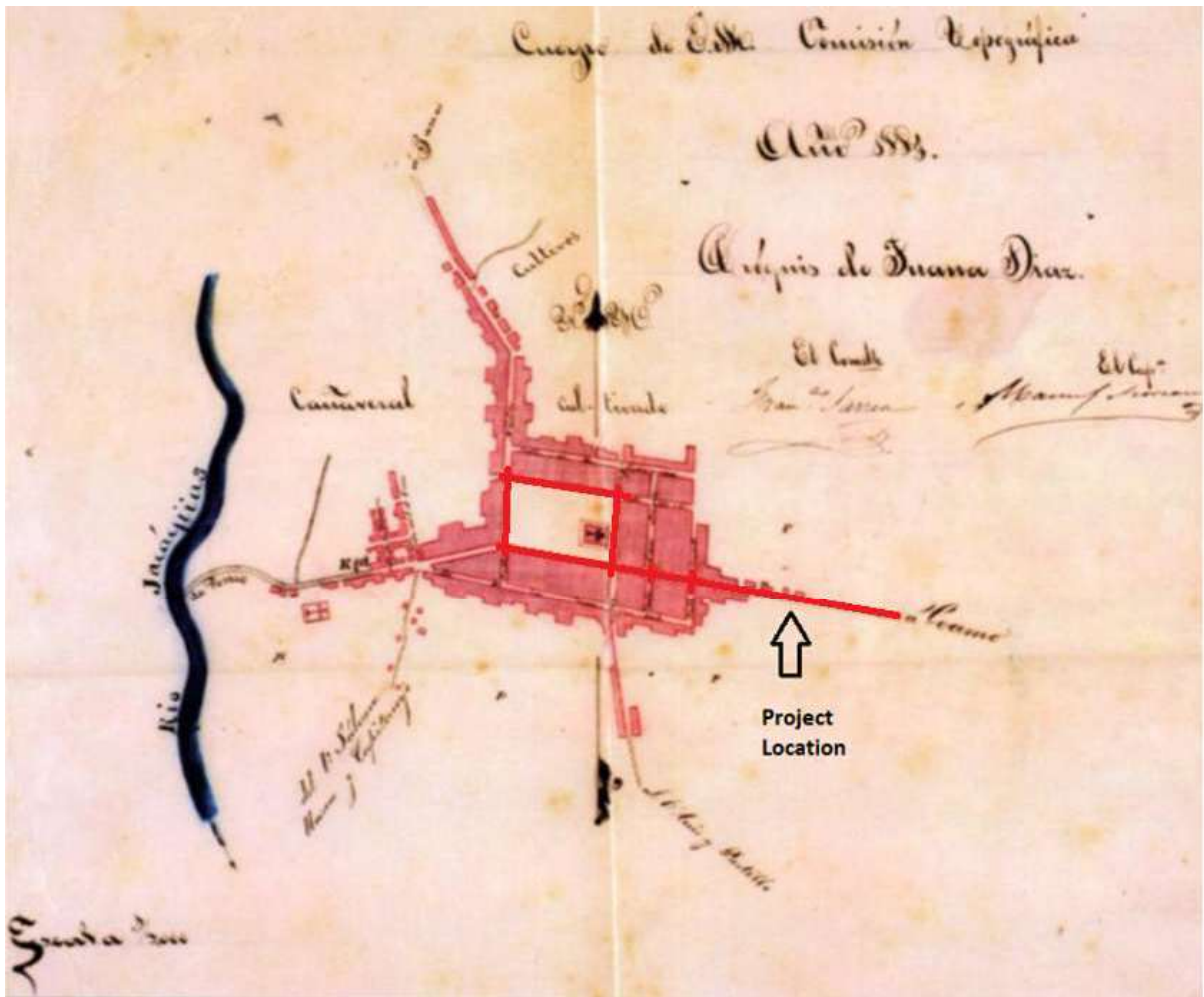


Figure #9

Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437

1936 Juana Diaz Aerial View (Source: Institute of Puerto Rican Culture)

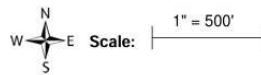


Figure #10

Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437

1958 Juana Diaz Aerial View (Source: Envirosite Corporation)



Figure #11

Subrecipient: Autonomous Municipality of Juana Diaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437

1962 Juana Diaz Aerial View (Source: Juana Diaz Municipality)



Figure #12

Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437

1971 Juana Diaz Aerial View (Source: Juana Diaz Municipality)

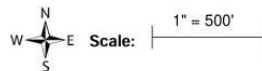
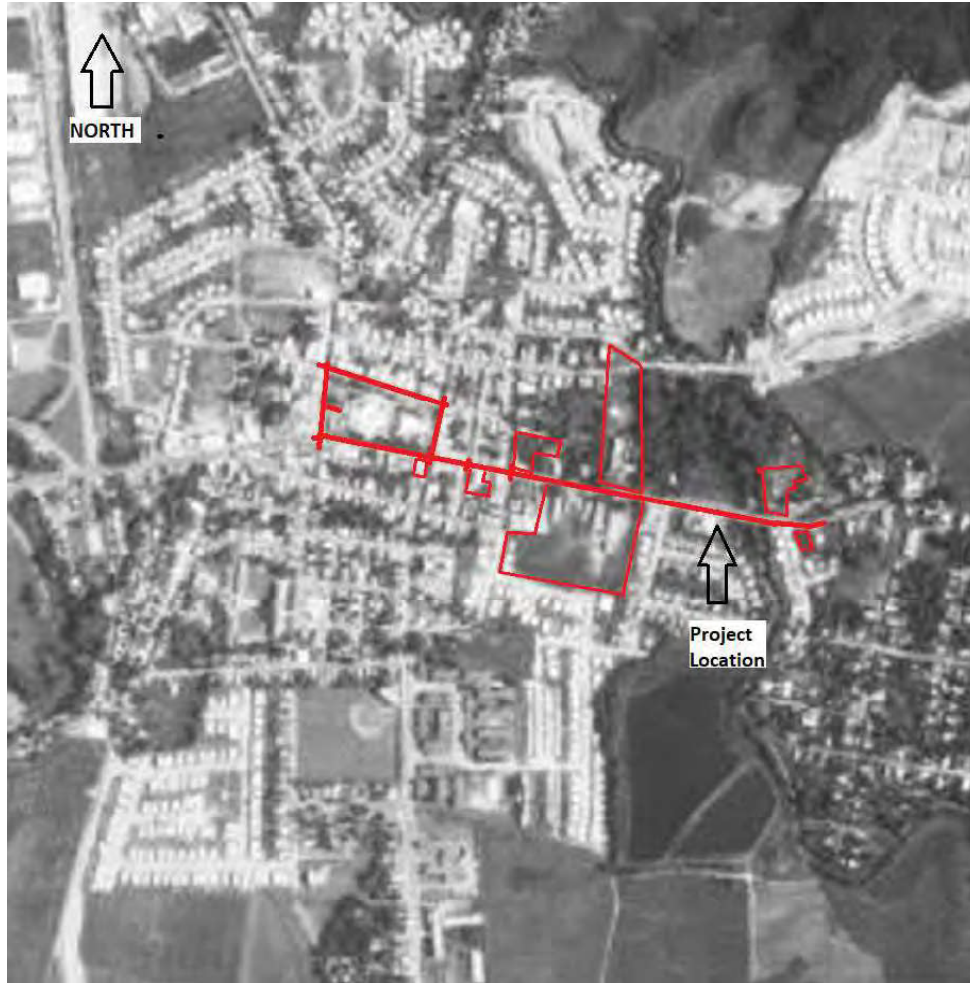


Figure #13

Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437

1977 Juana Diaz Aerial View (Source: Juana Diaz Municipality)

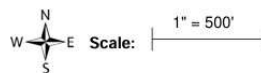


Figure #14

Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437

1945 Topographic Map – Juana Díaz (Source: EnviroSite Corporation)

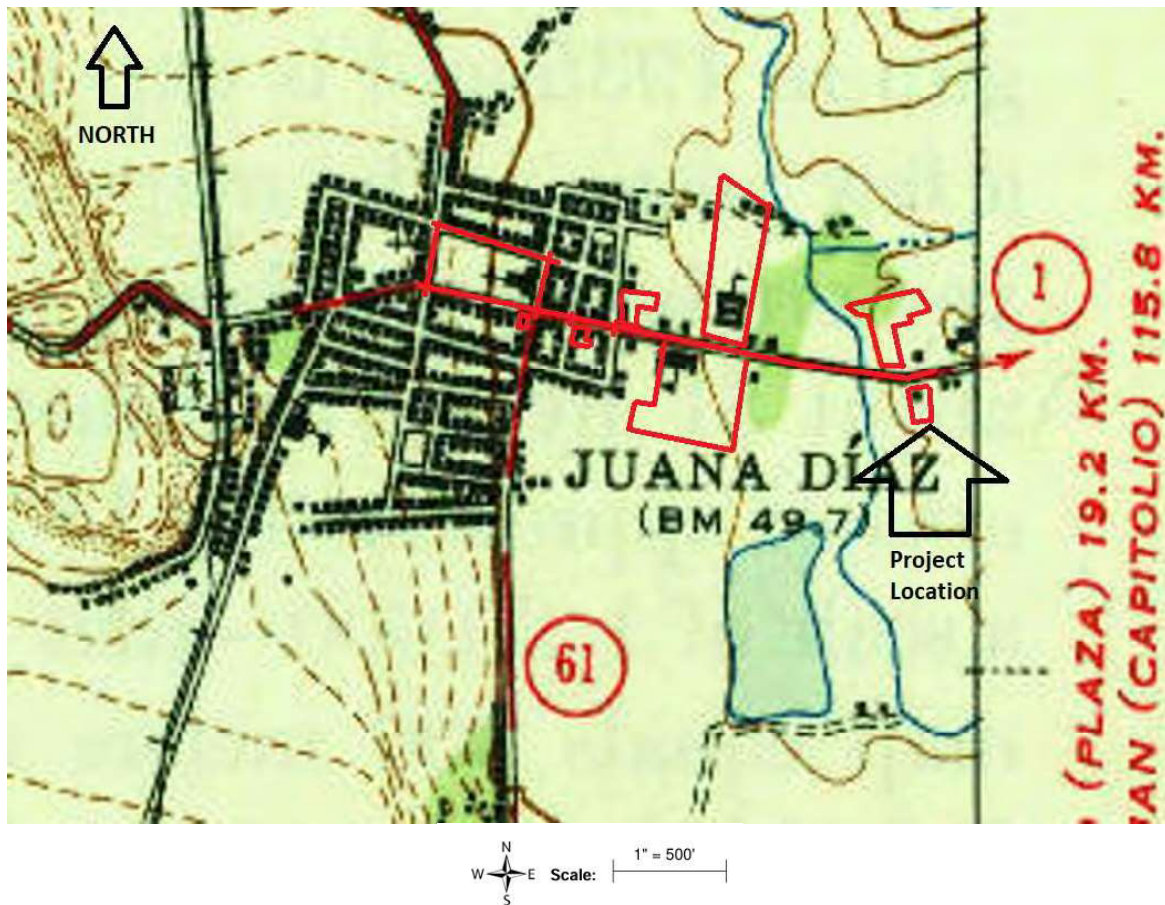


Figure #15

Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437

1898 Historic Photo – Juana Díaz, Comercio Street (Source: Institute of Puerto Rican Culture)



Figure #16

Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437

1910 Historic Photo – Juana Díaz, Comercio Street (Source: Institute of Puerto Rican Culture)



Figure #17

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM
CITY REVITALIZATION PROGRAM (CRP)
Section 106 NHPA Effect Determination



Subrecipient: Autonomous Municipality of Juana Diaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437

1933– Juana Diaz Street Pavement Plan (Source: General Archive of Puerto Rico)

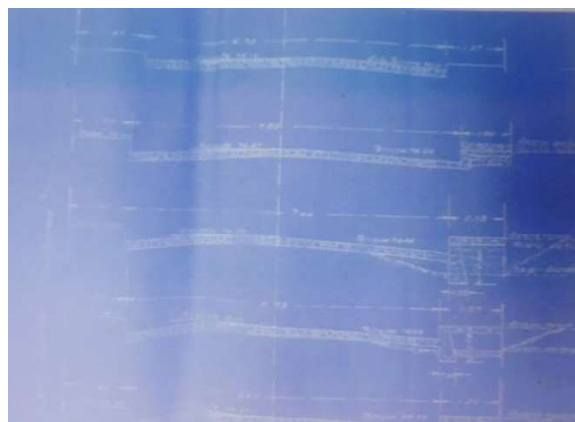
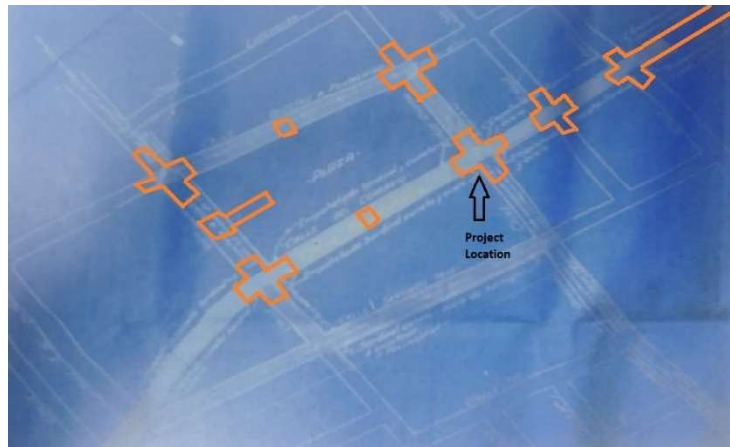


Figure #19

Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437

1937– Juana Díaz Street Pavement and Storm Sewer Plan (Source: General Archive of Puerto Rico)

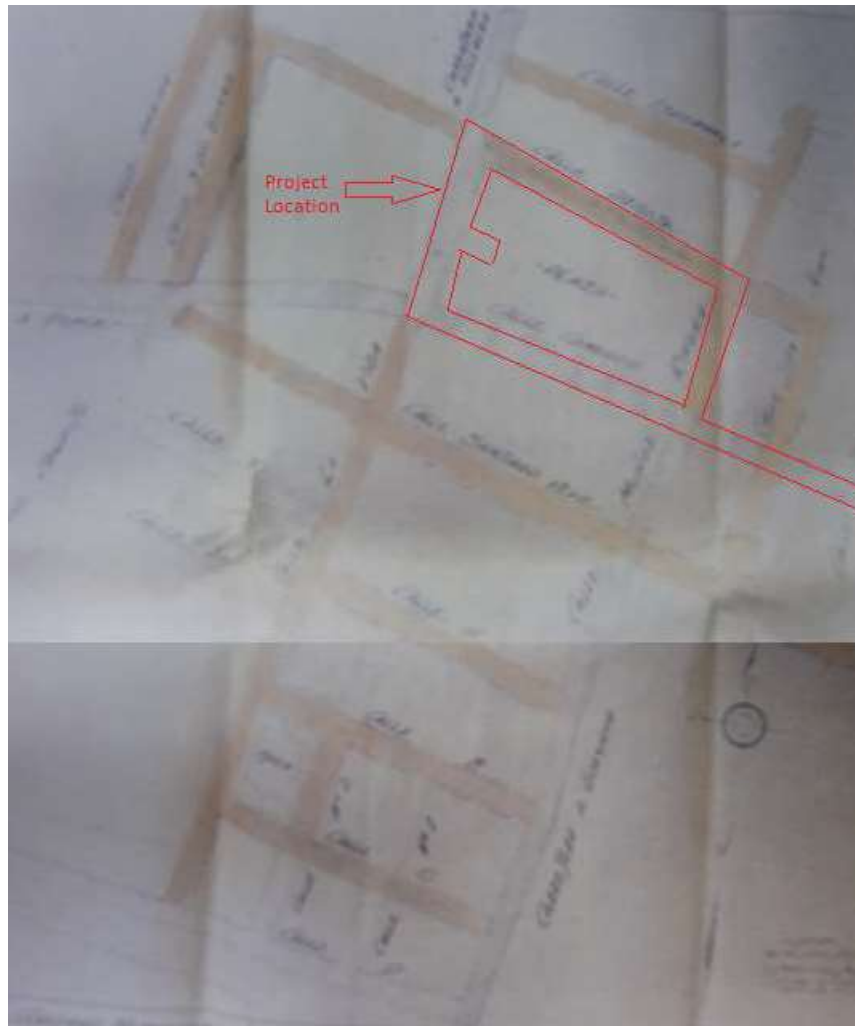


Figure #20

Subrecipient: Autonomous Municipality of Juana Diaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437

Central Street Construction Ca. 1874 – Juana Diaz (Source: National Archive of Puerto Rico)



Figure #21

Subrecipient: Autonomous Municipality of Juana Diaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437

Central Street Map NRHP – Juana Diaz (Source: SHPO PR)



Figure #22

Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437

Structures With Historical Value Near the Project -Key Map



Figure #23

Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437

Others Structures with Historical Value Near the Project



1



2



3



4



5



6



7



8



9 & 10

Figure #24

Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437

Others Structures with Historical Value Near the Project



11



12



13 & 14



15 & 16



17



18



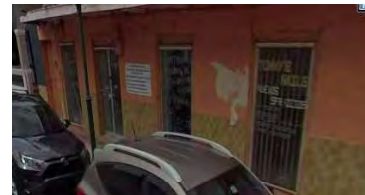
19



20 & 21



22



23

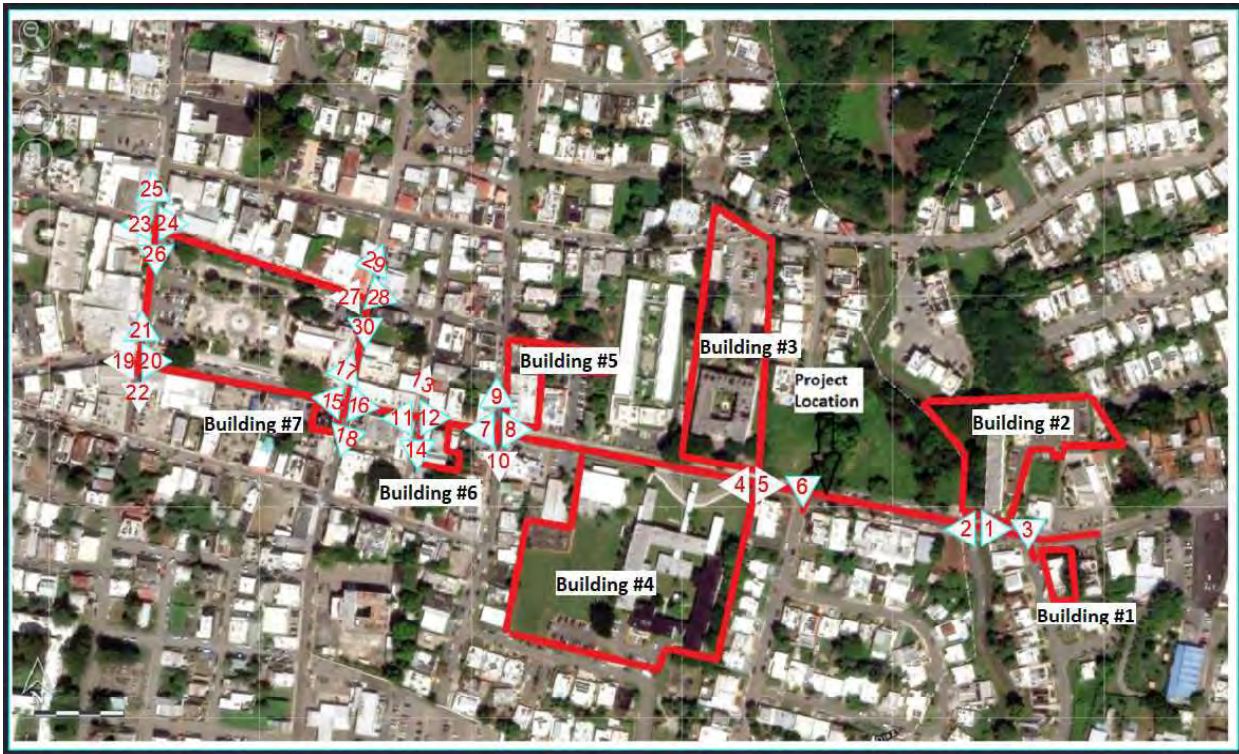
Figure #25

Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437

Photograph Key



Buildings = Buildings #1 to Buildings #7 Photos
Triangles = Photo #1 to Photo #30

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM
CITY REVITALIZATION PROGRAM (CRP)
Section 106 NHPA Effect Determination



Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437



Building #1: **Description:** Photo taken from north to south from PR-14 street. The photo shows the current condition of the PR-14 Street and the Luis Muñoz Marin Building A-1.
Date: 2/18/2024



Building #1: **Description:** Photo taken from the northeast to the southwest from PR-14 street. The photo shows the current condition of the PR-14 Street and the Luis Muñoz Marin Building A-1.
Date: 2/18/2024

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM
CITY REVITALIZATION PROGRAM (CRP)
Section 106 NHPA Effect Determination



Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437



Building: #1

Description: Photo taken from PR-14 Street to Orquídeas Street. The photo shows the current condition of the Luis Muñoz Marín Building A-1.

Date: 2/18/2024



Building: #1

Description: Photo taken from Orquídeas Street. The photo shows the current condition of the Luis Muñoz Marín Building A-1.

Date: 2/18/2024

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM
CITY REVITALIZATION PROGRAM (CRP)
Section 106 NHPA Effect Determination



Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437



Building: #2

Description: Photo taken southwest to northeast from PR-14 Street. The photo shows the current condition of the Apartamentos el Dorado.

Date: 2/18/2024



Building: #2

Description: Photo taken south to north from PR-14 Street. The photo shows the current condition of the Apartamentos el Dorado.

Date: 2/18/2024

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM
CITY REVITALIZATION PROGRAM (CRP)
Section 106 NHPA Effect Determination



Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437



Building: #2

Description: Photo taken south to north from Orquideas Street. The photo shows the current condition of the Apartamentos el Dorado.

Date: 2/18/2024



Building: #3

Description: Photo taken from south to north from PR-14 Street. The photo shows the current condition of the PR-14 Street and the Manuel Fernandez Juncos School.

Date: 2/18/2024

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM
CITY REVITALIZATION PROGRAM (CRP)
Section 106 NHPA Effect Determination



Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437



Building: #3

Description: Photo taken from east to west from PR-14 Street. The photo shows the current condition of the PR-14 Street and the Manuel Fernandez Juncos School.

Date: 2/18/2024



Building: #3

Description: Photo taken from west to east from PR-14 Street. The photo shows the current condition of the Manuel Fernandez Juncos School.

Date: 2/18/2024

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM
CITY REVITALIZATION PROGRAM (CRP)
Section 106 NHPA Effect Determination



Subrecipient: Autonomous Municipality of Juana Diaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437



Feb 18, 2024 12:03:06 PM
 18.05213805N 66.50285314W ±3.79m
 113-115 Paseo del Campo
 Juana Diaz

Building: #4

Description: Photo taken north to south from PR-14 Street. The photo shows the current condition of the Rutherford B Hayes School and the PR-14 Street.

Date: 2/18/2024



Building: #4

Description: Photo taken west to east from PR-14 Street. The photo shows the current condition of the Rutherford B Hayes School and the PR-14 Street.

Date: 2/18/2024

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM
CITY REVITALIZATION PROGRAM (CRP)
Section 106 NHPA Effect Determination



Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437



Building: #5

Description: Photo taken south to north from PR-14 Street. The photo shows the current condition of the Cooperativa de Ahorro y Crédito Juana Díaz

Date: 2/18/2024



Building: #5

Description: Photo taken southwest to southeast from PR-14 Street. The photo shows the current condition of the Cooperativa de Ahorro y Crédito Juana Díaz.

Date: 2/18/2024

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM
CITY REVITALIZATION PROGRAM (CRP)
Section 106 NHPA Effect Determination



Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437



Building: #5

Description: Photo taken east to west from PR-14 Street. The photo shows the current condition of the Cooperativa de Ahorro y Crédito Juana Díaz.

Date: 2/18/2024



Building: #6

Description: Photo taken northeast to southwest from PR-14 Street. The photo shows the current condition of the #106 building.

Date: 2/18/2024

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM
CITY REVITALIZATION PROGRAM (CRP)
Section 106 NHPA Effect Determination



Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437



Building: #6

Description: Photo taken north to south from PR-14 Street. The photo shows the current condition of the #106 building.


Date: 2/18/2024



Building: #6

Description: Photo taken from east to west from PR-14 Street. The photo shows the current condition of the of the #106 building.

Date: 2/18/2024


PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	 GOVERNMENT OF PUERTO RICO DEPARTMENT OF HOUSING
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	



Building: #7	Description: Photo taken from west to east from PR-14 Street. The photo shows the current condition of the Mueblicentro Guayabal building.
Date: 2/18/2024	



Building: #7	Description: Photo taken from east to west from PR-14 Street. The photo shows the current condition of the Mueblicentro Guayabal building.
Date: 2/18/2024	

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM CITY REVITALIZATION PROGRAM (CRP) Section 106 NHPA Effect Determination	 <small>GOVERNMENT OF PUERTO RICO DEPARTMENT OF HOUSING</small>
Subrecipient: Autonomous Municipality of Juana Díaz	
Project Name: Improvements to the Ruta de Los Tres Santos Reyes	
Project Number: PR-CRP-000437	

		
Building: #7	Description: Photo taken from north to south from PR-14 Street. The photo shows the current condition of the Mueblicentro Guayabal building.	
Date: 2/18/2024		

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM
CITY REVITALIZATION PROGRAM (CRP)
Section 106 NHPA Effect Determination



Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437



Oct 26, 2023 8:07:37 AM
 18.05160913N 66.50076875W ±3.79m
 143 Paseo del Campo
 Tijeras
 Juana Díaz

Photo #: 1

Description: Photo taken west to east from Comercio Street. The image shows an intersection of Comercio Street and Comercio Street. The viewshed of the project on the left, Museo de los Reyes and commercial building with modern architecture on the right.

Date: 10/26/2023



Oct 26, 2023 8:07:58 AM
 18.05164511N 66.50065623W ±3.79m
 143 Paseo del Campo
 Tijeras
 Juana Díaz

Photo #: 2

Description: Photo taken west to east from Comercio Street. The image shows an intersection of Comercio Street and Orquideas Street. The viewshed of the project on the right, El Dorado Apartments and residential structure with modern architecture on the left.

Date: 10/26/2023

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM
CITY REVITALIZATION PROGRAM (CRP)
Section 106 NHPA Effect Determination



Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437



Photo #: 3

Description: Photo taken from north to south from Comercio Street. The image shows an intersection of Comercio Street and Orquideas Street. The viewshed of the project on the left, commercial building and residential structures on the right.

Date: 05/26/2024



Photo #: 4

Description: Photo taken from east to west from Comercio Street. The viewshed of the project on the left, residential structures with modern architecture and open field on the right.

Date: 10/26/2023

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM
CITY REVITALIZATION PROGRAM (CRP)
Section 106 NHPA Effect Determination



Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437



Photo #: 5

Description: Photo taken west to east from Comercio Street. The image shows an intersection of Comercio Street and Street #1 of the Del Carmen Urbanization. The viewshed of the project on the left, open field and in the right residence's structures with modern architecture on the right.

Date: 10/26/2023



Photo #: 6

Description: Photo taken north to south from Comercio Street. The image shows an intersection of Comercio Street and Street #1 of the Del Carmen Urbanization. The viewshed of the project, on the left and right are residence's structures with modern architecture.

Date: 10/26/2023

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM
CITY REVITALIZATION PROGRAM (CRP)
Section 106 NHPA Effect Determination



Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437



Oct 26, 2023 8:13:35 AM
 18.0522612N 66.50410386W ±3.79m
 113-115 Paseo del Campo
 Juana Díaz

Photo #: 7

Description: Photo taken from west to east from Comercio Street. The image shows an intersection of Comercio Street and Eugenio María de Hostos Street. The viewshed of the project, on the left and right commercial buildings with modern architecture.

Date: 10/26/2023



Oct 26, 2023 8:14:33 AM
 18.05235177N 66.50423622W ±3.79m
 110 Paseo del Campo
 Juana Díaz

Photo #: 8

Description: Photo taken west to east from Comercio Street. The image shows an intersection of Comercio Street and Eugenio María de Hostos Street. The viewshed of the project, on the left and right commercial buildings with modern architecture.

Date: 10/26/2023

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM
CITY REVITALIZATION PROGRAM (CRP)
Section 106 NHPA Effect Determination



Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437



Oct 26, 2023 8:14:01 AM
 18.0522628N 66.50422277W ±3.79m
 116 Paseo del Campo
 Juana Díaz

Photo #: 9

Description: Photo taken from south to north from Comercio Street. The image shows an intersection of Comercio Street and Eugenio Maria de Hostos Street. The viewshed of the project, on the left and right commercial buildings with modern architecture.

Date: 10/26/2023



Oct 26, 2023 8:14:21 AM
 18.05238619N 66.50419531W ±3.79m
 110 Paseo del Campo
 Juana Díaz

Photo #: 10

Description: Photo taken north to south from Comercio Street. The image shows an intersection of Comercio Street and Eugenio Maria de Hostos Street. The viewshed of the project, on the left and right commercial buildings with modern architecture.

Date: 10/26/2023

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM
CITY REVITALIZATION PROGRAM (CRP)
Section 106 NHPA Effect Determination



Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437



Oct 26, 2023 8:15:18 AM
 18.05241332N 66.50466686W ±3.79m
 Paseo del Campo
 Juana Díaz

Photo #: 11

Description: Photo taken southeast to northwest from Comercio Street. The image shows an intersection of Comercio Street and Mora Street. The viewshed of the project, on the left and right commercial buildings with mix architecture of colonial and modern.

Date: 10/26/2023



Oct 26, 2023 8:15:49 AM
 18.0524622N 66.50472987W ±3.79m
 101 Paseo del Campo
 Juana Díaz

Photo #: 12

Description: Photo taken from east to west from Comercio Street. The image shows an intersection of Comercio Street and Mora Street. The viewshed of the project, on the left and right commercial buildings with modern architecture.

Date: 10/26/2023

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM
CITY REVITALIZATION PROGRAM (CRP)
Section 106 NHPA Effect Determination



Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437



May 26, 2024 11:54:30 AM
 18.05240262N 66.50471678W ±3.79m
 Juana Díaz

Photo #: 13

Description: Photo taken from north to south from Comercio Street to Angel R. Mora Street. The viewshed of the project shown commercial buildings with modern architecture.

Date: 05/26/2024



Oct 26, 2023 8:15:46 AM
 18.05246607N 66.50472995W ±3.79m
 101 Paseo del Campo
 Juana Díaz

Photo #: 14

Description: Photo taken from north to south from Comercio Street to Anger R. Mora Street. The image shows an intersection of Comercio Street and Mora Street. The viewshed of the project shown commercial buildings with modern architecture.

Date: 10/26/2023

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM
CITY REVITALIZATION PROGRAM (CRP)
Section 106 NHPA Effect Determination



Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437



Photo #: 15

Description: Photo taken southeast to northwest from Comercio Street. The image shows an intersection of Luis Muñoz Rivera Street. The viewshed of the project shown the Ramón Nonato Church.

Date: 10/26/2023



Photo #: 16

Description: Photo taken from west to east from Comercio Street. The viewshed of the project, on the left and right commercial buildings with mix architecture of colonial and modern.

Date: 10/26/2023

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM
CITY REVITALIZATION PROGRAM (CRP)
Section 106 NHPA Effect Determination



Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437



Oct 26, 2023 8:16:35 AM
 18.052521N 66.50514086W ±3.79m
 86 Paseo del Campo
 Juana Díaz

Photo #: 17

Description: Photo taken south no north from Comercio Street. The image shows an intersection of Luis Muñoz Rivera Street. The viewshed of the project shown the Ramón Nonato Church on the left and commercial buildings with modern architecture on the right.

Date: 10/26/2023



Oct 26, 2023 8:16:45 AM
 18.05257751N 66.5051256W ±3.79m
 92 Paseo del Campo
 Juana Díaz

Photo #: 18

Description: Photo taken north to south from Comercio Street to Luis Muñoz Rivera Street. The image shows an intersection of Luis Muñoz Rivera Street. The viewshed of the project shown buildings with modern structures.

Date: 10/26/2023

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM
CITY REVITALIZATION PROGRAM (CRP)
Section 106 NHPA Effect Determination



Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437



Oct 26, 2023 8:19:39 AM
 18.05277262N 66.50650524W ±3.79m
 88 Paseo del Campo
 Juana Díaz

Photo #: 19

Description: Photo taken north to south from Comercio Street. The image shows an intersection of Comercio Street and Carrion Maduro Street. The viewshed of the project shown commercial buildings with neoclassical architecture.

Date: 10/26/2023



Oct 26, 2023 8:19:58 AM
 18.05277407N 66.50659219W ±3.79m
 88 Paseo del Campo
 Juana Díaz

Photo #: 20

Description: Photo taken from west to east from Comercio Street. The image shows an intersection of Comercio Street and Carrion Maduro Street. The viewshed of the project shown the Public Plaza Roman Baldorioty de Castro of Juana Díaz.

Date: 10/26/2023

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM
CITY REVITALIZATION PROGRAM (CRP)
Section 106 NHPA Effect Determination



Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437



Oct 26, 2023 8:20:09 AM
 18.05282946N 66.50652604W ±3.79m
 72 Paseo del Campo
 Juana Díaz

Photo #: 21

Description: Photo taken from south to north from Comercio Street. The viewshed of the project shown the Public Plaza Roman Baldorioty de Castro of Juana Díaz on the right with commercial structures on the right.

Date: 10/26/2023



Oct 26, 2023 8:19:44 AM
 18.05277165N 66.50650221W ±3.79m
 88 Paseo del Campo
 Juana Díaz

Photo #: 22

Description: Photo taken from north to south from Comercio Street. The viewshed of the project shown commercial buildings on the right and left of the street.

Date: 10/26/2023

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM
CITY REVITALIZATION PROGRAM (CRP)
Section 106 NHPA Effect Determination



Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437



Photo #: 23

Description: Photo taken south to north from F. Degetau Street to Carrion Maduro Street. The image shows an intersection of Carrion Maduro Street and Federico Degetau Street. The viewshed of the project shows the Museo Casa Real with creole architecture and a funeral building in the right with colonial architecture.

Date: 10/26/2023



Photo #: 24

Description: Photo taken east to west from Carrion Maduro Street to Degetau Street. The image shows an intersection of Carrion Maduro Street and Federico Degetau Street. The viewshed of the project shows the Roman Baldorioty De Castro Plaza.

Date: 10/26/2023

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM
CITY REVITALIZATION PROGRAM (CRP)
Section 106 NHPA Effect Determination



Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437



Oct 26, 2023 8:22:14 AM
 18.05363187N 66.50644951W ±3.79m
 Juana Díaz

Photo #: 25

Description: Photo taken north to south from Carrion Maduro Street. The viewshed of the project shown commercial buildings with neoclassical style architecture.

Date: 10/26/2023



May 26, 2024 11:59:53 AM
 18.05362106N 66.5063878W ±3.79m
 9 Calle Tomas Carrion Maduro
 Juana Díaz

Photo #: 26

Description: Photo taken from north to south from Carrion Maduro Street. The viewshed of the project shown Casa real with creole architecture and church with Spanish revival architecture.

Date: 05/26/2024

PUERTO RICO 2017 DISASTER RECOVERY, CDBG-DR PROGRAM
CITY REVITALIZATION PROGRAM (CRP)
Section 106 NHPA Effect Determination



Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437



Oct 26, 2023 8:24:04 AM
 18.05333626N 66.50598237W ±3.79m
 Juana Díaz

Photo #: 27

Description: Photo taken west to east from Federico Degetau Street. The viewshed of the project shown, the Mayor's House with neoclassical architecture.

Date: 10/26/2023



Oct 26, 2023 8:25:48 AM
 18.05310599N 66.50510181W ±3.79m
 Juana Díaz

Photo #: 28

Description: Photo taken north to south from Luis Muñoz Rivera Street, intersection with Federico Degetau Street. The image shows an intersection of Federico Degetau Street and the Luis Muñoz Rivera Street. The viewshed of the project shown commercial buildings with modern style architecture.

Date: 10/26/2023



Subrecipient: Autonomous Municipality of Juana Díaz

Project Name: Improvements to the Ruta de Los Tres Santos Reyes

Project Number: PR-CRP-000437



Photo #: 29

Description: Photo taken north to south from Luis Muñoz Rivera Street. The viewshed of the project shown commercial buildings with modern style architecture.

Date: 10/26/2023



Photo #: 30

Description: Photo taken north to south from Luis Muñoz Rivera Street. The viewshed of the project shown commercial buildings with Spanish revival style architecture on the left and others with modern style architecture. In the right is the San Ramón Nonato church.

Date: 10/26/2023

PR-CRP-000437

**Improvements to the Ruta de Los Tres
Santos Reyes Project**

Juan Diaz, Puerto Rico

100% Design Drawings

WORKING DRAWINGS FOR: PR-CPR-000437

RUTA DE LOS TRES SANTOS REYES 100%

JUNE 2024

OWNER: MUNICIPIO AUTONOMO DE JUANA DIAZ
 CALLE F. DEGETAU #35 JUANA DIAZ 00795

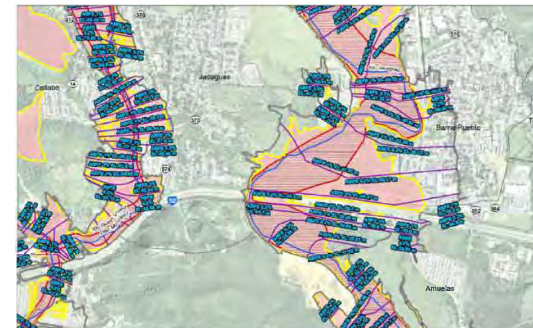


JUANA DIAZ, PUERTO RICO

LOCATION PLAN



ZONING | DT-G | 18/MAY/2018



FLOOD ZONE X | 7200C1670J | 13/4/2018

FLOOD PLAN



APPROVED BY
Jorge L. Pérez Ruiz, PE
 Lic. No. 15,863

- CONSULTANTS
1. SURVEY & TOPOGRAPHY | ALBERTO RODRIGUEZ S.A. No. 18,853
 2. CIVIL | JORGE L. PEREZ RUIZ Lic. No. 15,863
 3. ARCHITECTURAL | JORGE L. PEREZ RUIZ Lic. No. 15,863
 4. STRUCTURAL | JOSE GONZALEZ Lic. No. 13,061

NOTE
 Yo, Jorge Pérez Ruiz, Licencia No. 15,863, certifico que soy el profesional que preparé estos planos y las especificaciones complementarias. También, certifico que estos planos, especificaciones y detalles cumplen con las disposiciones aplicables del Reglamento, Decreto y las disposiciones aplicables de los Reglamentos y Códigos de Construcción Vigentes de las Agencias, Juntas Reglamentarias o Corporaciones Públicas con jurisdicción. Certifico, además, que en la preparación de estos planos y especificaciones he cumplido cabalmente con lo dispuesto en la Ley Núm. 14 de 8 de enero de 2004, según enmendada, conocida como la Ley para la Inversión por la Industria Puertorriqueña y con la Ley Núm. 375 de 14 de mayo de 2018, según enmendada, conocida como la Ley de Inversión por la Industria Puertorriqueña, y con la Ley Núm. 36 de 6 de julio de 1978, según enmendada, según aplicable. Reconozco que cualquier declaración falsa o aplicación de los hechos que se haya producido por desconocimiento o por negligencia y no por mala fe, mala intención o empujados, o por otras personas con mal conocimiento, me hacen responsable de cualquier acción judicial y disciplinaria por la OGP.



CERTIFICATION

Working Drawings For:
PR-CRP-000437

RUTA DE LOS TRES SANTOS REYES

CALLE F. DEGETAU #35
JUANA DIAZ, PUERTO RICO

DRAWING NAME
TITLE SHEET

SCALE: AS SHOWN	ISSUED DATE: JUN 2024
DRAWN BY: EMP, AIT	CHECKED BY: Jorge L. Pérez Ruiz, PE
DRAWING NO: G-101	SHEET NO: 01 of 125

SHEET INDEX

NO.	ID	NAME
1	G-101	TITLE SHEET
2	G-102	INDEX OF DRAWINGS
3	G-103	GENERAL NOTES & SYMBOLS
4	V-101	SURVEY & TOPOGRAPHY
5	CD-101	DEMOLITION SITE PLAN GENERAL KEY PLAN MATCH LINE 1-1
6	CD-102	DEMOLITION SITE PLAN GENERAL KEY PLAN MATCH LINE 1-1 TO 3-3
7	CD-103	DEMOLITION SITE PLAN GENERAL KEY PLAN MATCH LINE 3-3 TO END OF PROJECT
8	CD-201	CIVIL DEMOLITION INTERSECTION 1 ENLARGED PLAN
9	CD-202	CIVIL DEMOLITION INTERSECTION 2 ENLARGED PLAN
10	CD-203	CIVIL DEMOLITION INTERSECTION 3 ENLARGED PLAN
11	CD-204	CIVIL DEMOLITION INTERSECTION 4 ENLARGED PLAN
12	CD-205	CIVIL DEMOLITION INTERSECTION 5 ENLARGED PLAN
13	CD-206	CIVIL DEMOLITION INTERSECTION 6 ENLARGED PLAN
14	CD-207	CIVIL DEMOLITION INTERSECTION 7 ENLARGED PLAN
15	CD-208	CIVIL DEMOLITION INTERSECTION 8 ENLARGED PLAN
16	CD-209	CIVIL DEMOLITION INTERSECTION 9 ENLARGED PLAN
17	CD-210	CIVIL DEMOLITION INTERSECTION 10 ENLARGED PLAN
18	CD-211	CIVIL DEMOLITION INTERSECTION 11 ENLARGED PLAN
19	CD-212	CIVIL DEMOLITION INTERSECTION 12 ENLARGED PLAN
20	CD-213	CIVIL DEMOLITION INTERSECTION 13 ENLARGED PLAN
21	CS-101	GEOMETRIC LAYOUT GENERAL KEY PLAN MATCH LINE 1-1
22	CS-102	GEOMETRIC LAYOUT GENERAL KEY PLAN MATCH LINE 1-1 TO 3-3
23	CS-103	GEOMETRIC LAYOUT GENERAL KEY PLAN MATCH LINE 3-3 TO END OF PROJECT
24	CS-201	GEOMETRIC LAYOUT INTERSECTION 1 ENLARGED GEOMETRIC PLAN
25	CS-202	GEOMETRIC LAYOUT INTERSECTION 2 ENLARGED GEOMETRIC PLAN
26	CS-203	GEOMETRIC LAYOUT INTERSECTION 3 ENLARGED GEOMETRIC PLAN
27	CS-204	GEOMETRIC LAYOUT INTERSECTION 4 ENLARGED GEOMETRIC PLAN
28	CS-205	GEOMETRIC LAYOUT INTERSECTION 5 ENLARGED GEOMETRIC PLAN
29	CS-206	GEOMETRIC LAYOUT INTERSECTION 6 ENLARGED GEOMETRIC PLAN
30	CS-207	GEOMETRIC LAYOUT INTERSECTION 7 ENLARGED GEOMETRIC PLAN
31	CS-208	GEOMETRIC LAYOUT INTERSECTION 8 ENLARGED GEOMETRIC PLAN
32	CS-209	GEOMETRIC LAYOUT INTERSECTION 9 ENLARGED GEOMETRIC PLAN
33	CS-210	GEOMETRIC LAYOUT INTERSECTION 10 ENLARGED GEOMETRIC PLAN
34	CS-211	GEOMETRIC LAYOUT INTERSECTION 11 ENLARGED GEOMETRIC PLAN
35	CS-212	GEOMETRIC LAYOUT INTERSECTION 12 ENLARGED GEOMETRIC PLAN
36	CS-213	GEOMETRIC LAYOUT INTERSECTION 13 ENLARGED GEOMETRIC PLAN
37	CG-101	GRADING LAYOUT GENERAL KEY PLAN MATCH LINE 1-1
38	CG-102	GRADING LAYOUT GENERAL KEY PLAN MATCH LINE 1-1 TO 3-3
39	CG-103	GRADING LAYOUT GENERAL KEY PLAN MATCH LINE 3-3 TO END OF PROJECT
40	CG-201	GRADING LAYOUT INTERSECTION 1 ENLARGED GRADING PLAN
41	CG-202	GRADING LAYOUT INTERSECTION 2 ENLARGED GRADING PLAN
42	CG-203	GRADING LAYOUT INTERSECTION 3 ENLARGED GRADING PLAN
43	CG-204	GRADING LAYOUT INTERSECTION 4 ENLARGED GRADING PLAN

44	CG-205	GRADING LAYOUT INTERSECTION 5 ENLARGED GRADING PLAN
45	CG-206	GRADING LAYOUT INTERSECTION 6 ENLARGED GRADING PLAN
46	CG-207	GRADING LAYOUT INTERSECTION 7 ENLARGED GRADING PLAN
47	CG-208	GRADING LAYOUT INTERSECTION 8 ENLARGED GRADING PLAN
48	CG-209	GRADING LAYOUT INTERSECTION 9 ENLARGED GRADING PLAN
49	CG-210	GRADING LAYOUT INTERSECTION 10 ENLARGED GRADING PLAN
50	CG-211	GRADING LAYOUT INTERSECTION 11 ENLARGED GRADING PLAN
51	CG-212	GRADING LAYOUT INTERSECTION 12 ENLARGED GRADING PLAN
52	CG-213	GRADING LAYOUT INTERSECTION 13 ENLARGED GRADING PLAN
53	GC-101	GENERAL CIVIL DETAIL
54	C-101	CES PLAN GENERAL KEY PLAN MATCH LINE 1-1
55	C-102	CES PLAN GENERAL KEY PLAN MATCH LINE 1-1 TO 3-3
56	C-103	CES PLAN GENERAL KEY PLAN MATCH LINE 3-3 TO END OF PROJECT
57	C-201	CES PLAN INTERSECTION 1 ENLARGED GEOMETRIC PLAN
58	C-202	CES PLAN INTERSECTION 2 ENLARGED GEOMETRIC PLAN
59	C-203	CES PLAN INTERSECTION 3 ENLARGED GEOMETRIC PLAN
60	C-204	CES PLAN INTERSECTION 4 ENLARGED GEOMETRIC PLAN
61	C-205	CES PLAN INTERSECTION 5 ENLARGED GEOMETRIC PLAN
62	C-206	CES PLAN INTERSECTION 6 ENLARGED GEOMETRIC PLAN
63	C-207	CES PLAN INTERSECTION 7 ENLARGED GEOMETRIC PLAN
64	C-208	CES PLAN INTERSECTION 8 ENLARGED GEOMETRIC PLAN
65	C-209	CES PLAN INTERSECTION 9 ENLARGED GEOMETRIC PLAN
66	C-210	CES PLAN INTERSECTION 10 ENLARGED GEOMETRIC PLAN
67	C-211	CES PLAN INTERSECTION 11 ENLARGED GEOMETRIC PLAN
68	C-212	CES PLAN INTERSECTION 12 ENLARGED GEOMETRIC PLAN
69	C-213	CES PLAN INTERSECTION 13 ENLARGED GEOMETRIC PLAN
70	SDS-101	MAINTENANCE TRAFFIC PLAN
71	LD-101	EXISTING TREE INVENTORY PLAN MATCH LINE 1-1
72	LD-102	EXISTING TREE INVENTORY PLAN MATCH LINE 1-1 TO 2-2
73	LD-103	EXISTING TREE INVENTORY PLAN MATCH LINE 2-2 TO 3-3
74	LD-104	EXISTING TREE INVENTORY PLAN MATCH LINE 3-3 TO 4-4
75	LD-105	EXISTING TREE INVENTORY PLAN MATCH LINE 4-4 TO 5-5, AND A-A
76	LD-106	EXISTING TREE INVENTORY PLAN MATCH LINE B-B AND 5-5
77	LD-107	EXISTING TREE INVENTORY PLAN MATCH LINE B-B AND 6-6
78	LD108	EXISTING TREE INVENTORY PLAN MATCH LINE 6-6 AND A-A
79	LP-101	PROPOSED LANDSCAPE SITE PLAN MATCH LINE 1-1
80	LP-102	PROPOSED LANDSCAPE SITE PLAN MATCH LINE 1-1 TO 2-2
81	LP-103	PROPOSED LANDSCAPE SITE PLAN MATCH LINE 2-2 TO 3-3
82	LP-104	PROPOSED LANDSCAPE SITE PLAN MATCH LINE 3-3 TO 4-4
83	LP-105	PROPOSED LANDSCAPE SITE PLAN MATCH LINE 4-4 TO 5-5, AND A-A
84	LP106	PROPOSED LANDSCAPE SITE PLAN MATCH LINE B-B AND 5-5
85	LP-107	PROPOSED LANDSCAPE SITE PLAN MATCH LINE B-B AND 6-6

86	LP-108	PROPOSED LANDSCAPE SITE PLAN MATCH LINE 6-6 AND A-A
87	LP-201	LANDSCAPE PLANTING SCHEDULE
88	AD-101	ARCHITECTURE DEMOLITION PLAN MATCH LINE A-A AND 1-1
89	AD-102	ARCHITECTURE DEMOLITION PLAN MATCH LINE 1-1 AND B-B
90	AD-103	ARCHITECTURE DEMOLITION PLAN MATCH LINE 2-2 TO 3-3
91	AD-104	ARCHITECTURE DEMOLITION PLAN MATCH LINE 2-2 TO 3-3 AND B-B
92	AD-105	ARCHITECTURE DEMOLITION PLAN MATCH LINE 3-3 TO 4-4
93	AD-106	ARCHITECTURE DEMOLITION PLAN MATCH LINE 4-4 TO 5-5
94	AD-107	ARCHITECTURE DEMOLITION PLAN MATCH LINE 5-5 TO 6-6
95	AD-108	ARCHITECTURE DEMOLITION PLAN MATCH LINE 6-6 TO FINISH PROJECT
96	A-101	PROPOSED SITE PLAN MATCH LINE A-A AND 1-1
97	A-102	PROPOSED SITE PLAN MATCH LINE 1-1 AND B-B
98	A-103	PROPOSED SITE PLAN MATCH LINE 2-2 TO 3-3
99	A-104	PROPOSED SITE PLAN MATCH LINE 2-2 TO 3-3 AND B-B
100	A-105	PROPOSED SITE PLAN MATCH LINE 3-3 TO 4-4
101	A-106	PROPOSED SITE PLAN MATCH LINE 4-4 TO 5-5
102	A-107	PROPOSED SITE PLAN MATCH LINE 5-5 TO 6-6
103	A108	PROPOSED SITE PLAN MATCH LINE 6-6 TO FINISH PROJECT
104	A-201	PROPOSED SITE PLAN INTERSECTION 1 ENLARGED PLAN
105	A-202	PROPOSED SITE PLAN INTERSECTION 2 ENLARGED PLAN
106	A-203	PROPOSED SITE PLAN INTERSECTION 3 ENLARGED PLAN
107	A-204	PROPOSED SITE PLAN INTERSECTION 4 ENLARGED PLAN
108	A-205	PROPOSED SITE PLAN INTERSECTION 5 ENLARGED PLAN
109	A-206	PROPOSED SITE PLAN INTERSECTION 6 ENLARGED PLAN
110	A-207	PROPOSED SITE PLAN INTERSECTION 7 ENLARGED PLAN
111	A-208	PROPOSED SITE PLAN INTERSECTION 8 ENLARGED PLAN
112	A-209	PROPOSED SITE PLAN INTERSECTION 9 ENLARGED PLAN
113	A-210	PROPOSED SITE PLAN INTERSECTION 10 ENLARGED PLAN
114	A-211	PROPOSED SITE PLAN INTERSECTION 11 ENLARGED PLAN
115	A-212	PROPOSED SITE PLAN INTERSECTION 12 ENLARGED PLAN
116	A-213	PROPOSED SITE PLAN INTERSECTION 13 ENLARGED PLAN
117	A-301	PROPOSED SITE PLAN PROPOSED SITE DETAILS & EQUIPMENT
118	A-401	MURAL MUEBLERIA GUAYABAL CALLE COMERCIO ELEVATION
119	A-402	104 CALLE COMERCIO ELEVATION
120	A-403	COOPERATIVA DE JUANA DIAZ ELEVATION
121	A-404	ESC. RUTHERFORD B. HAYES ELEVATION
122	A-405	ESC. MANUEL FERNANDEZ JUNCOS ELEVATION
123	A-406	APARTAMENTOS EL DORADO
124	A-407	CALLE LAS ORQUIDEAS ESO, PR 14 ELEVATION
125	S-1	INFORMATIVE MODULE STRUCTURAL DETAIL



APPROVED BY
Jorge L. Pérez Ruiz, PE
 Lic. No. 15,863

- CONSULTANTS
1. SURVEY & TOPOGRAPHY | ALBERTO RODRIGUEZ (Lic. No. 16,888)
 2. CIVIL | JORGE L. PEREZ RUIZ (Lic. No. 15,863)
 3. ARCHITECTURAL | JORGE L. PEREZ RUIZ (Lic. No. 15,863)
 4. STRUCTURAL | JOSE CINTRON (Lic. No. 13,088)

NOTE
 Yo, Jorge Perez, Licencia No. 15,863, certifico que soy el profesional que preparé estos planos y las especificaciones complementarias. También, certifico que entiendo que dichos planos y especificaciones cumplen con las disposiciones aplicables del Reglamento Conjunto y las disposiciones aplicables de los Reglamentos y Códigos de Construcción Vigentes de las Agencias, Juntas Reglamentadoras o Compañías Públicas con jurisdicción. Certifico, además que en la preparación de estos planos y especificaciones se ha cumplido cabalmente con lo dispuesto en la Ley Núm. 14 de 8 de enero de 2004, según enmendada, conocida como la "Ley para la Inversión por la Infraestructura" y con la Ley Núm. 319 de 15 de mayo del 2004 según enmendada, Ley Núm. 86 de 2 de julio de 2010, según enmendada, que establece los requisitos que cualquier desarrollador debe cumplir para la obtención de un permiso de construcción y para la producción por el desarrollador o por sus agentes de este permiso, sus agentes o empleados, o por otras personas con su consentimiento, en las actividades de cualquier sección, parte y subpartes por la DOP.



Working Drawings For:
PR-CRP-000437
ROUTE DE LOS TRES SANTOS REYES
CALLE F. DEGETAU #35
JUANA DIAZ, PUERTO RICO

DRAWING NAME
SHEET INDEX

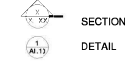
SCALE: AS SHOWN	BIDEN DATE: JUN 2024
DRAWN BY: EMP, AIT	CHECKED BY: Jorge L. Perez Ruiz, PE
DRAWING NO. G-102	SHEET NO. 02 of 125

GENERAL NOTES:

- ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDES THE DRAWINGS, ALL ADDENDUMS AND MODIFICATIONS ISSUED.
- THE GENERAL CONTRACTOR (GC) SHALL REVIEW ALL DOCUMENTS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND SHALL CONFIRM THAT WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS, ETC., SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF ANY WORK IN QUESTION. THE GC SHALL ARRANGE FOR INSPECTIONS NECESSARY TO OBTAIN A CERTIFICATE OF OCCUPANCY.
- IN CASE OF CONFLICT W/ DRAWINGS IN LOCATING MATERIALS/EQUIPMENT, SHALL BE NOTIFIED FOR CLARIFICATION.
- ALL WORK SHALL BE PERFORMED DURING REGULAR BUSINESS HOURS WHENEVER POSSIBLE. WORK INVOLVING EXCESSIVE NOISE OR DUST, OR WHICH WOULD OTHERWISE INTERFERE WITH THE NORMAL OPERATION OF THE FACILITY SHALL BE DONE ON AN OVERTIME, NON-REGULAR BUSINESS HOUR BASIS TO BE COORDINATED WITH OWNER.
- GENERAL CONTRACTOR SHALL NOTIFY OF ANY (E) UTILITIES, NOT COVERED IN THE CONSTRUCTION/DEMOLITION DOCUMENTS, WHICH MAY INTERFERE WITH COMPLETING THEIR SCOPE OF WORK. GENERAL CONTRACTOR SHALL DISCUSS THE REMOVAL OF THESE UTILITIES. WHEN REMOVAL IS APPROVED, GENERAL CONTRACTOR SHALL INSPECT, TEST, AND DISCONNECT THE SPECIFIED UTILITY, CUT BACK TO SOURCE (OR PERIMETER OF LEASE SPACE) AND CAP. ALL PENETRATIONS RESULTING FROM THE REMOVAL SHALL BE SEALED WITH NEW CONSTRUCTION TO MATCH (E) ADJACENT BLDG. FINISHES. UTILITY SERVICE SHALL BE DEFINED AS PLUMBING, HVAC, ELECT., AND FIRE PROTECTION SYSTEMS. GC SHALL INDICATE PERMANENTLY ABANDONED UTILITIES ON A RECORD SEPIA TO SERVE AS PART OF THE "AS-BUILT" SET.
- ALL SPECIFIED PRODUCTS OR EQUIPMENT SHALL BE THE SPECIED ONE OR EQUAL TO.
- "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
- "TYPICAL" OR "TYP" SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED. DETAILS ARE USUALLY KEYED AND NOTED "TYP" ONLY ONCE, WHEN THEY FIRST OCCUR.
- "SIMILAR" OR "SIM" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS.
- WORK AREAS TO REMAIN SECURE AND LOCKABLE DURING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL COORDINATE WITH OWNER TO ENSURE SECURITY.
 - THE GC SHALL VERIFY THAT THE EXISTING FLOORS ARE LEVEL AND FREE FROM SCALING. GC TO REPORT ANY VARIATIONS IN FLOOR LEVEL GREATER THAN 1/4" IN 10'-0" (NON-CUMULATIVE).
 - THE CONTRACT DOCUMENTS ARE COMPLEMENTARY. WHAT IS SHOWN OR REFERRED TO AT A GIVEN LOCATION SHALL BE PROVIDED AS THOUGH SHOWN ON ALL (U.O.N.).
 - SUBSTITUTIONS, REVISIONS, OR CHANGES MUST BE SUBMITTED FOR REVIEW IN CONFORMANCE WITH SPECIFIED PROCEDURES) PRIOR TO PURCHASE, FABRICATION, OR INSTALLATION. REFER TO SPECIFICATIONS FOR SPECIFIC PROCEDURES.
- ALL WORK SHALL BE COORDINATED BY THE G.C., INCLUDING; SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, BUILDING FACILITIES, ETC.
- THE SCOPE OF WORK AND ADJACENT AREAS SHALL BE PROTECTED FROM ANY DAMAGE THAT OCCURS BECAUSE OF THIS WORK. ANY DAMAGE THAT OCCURS SHALL BE THE FINANCIAL RESPONSIBILITY OF THE GC.

- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED, AND CONDITIONED PER MFR'S INSTRUCTIONS. IN CASE OF DIFFERENCES BETWEEN THE MANUFACTURER'S INSTRUCTIONS AND CONTRACT DOCUMENTS, THE GC SHALL NOTIFY BEFORE PROCEEDING.
- ACCESS PANELS, CLEANOUTS, AND THE LIKE SHALL BE MAINTAINED FOR EXISTING BUILDING SYSTEMS. RELOCATE ACCESS PANELS TO FIT WITH NEW WORK.
- THE GC SHALL HAVE A FULL-TIME REPRESENTATIVE ON SITE AT ALL TIMES WHILE CONSTRUCTION ACTIVITIES ARE OCCURRING ON SITE.
- THE GC SHALL COMPLY WITH ALL CODES, LAWS, ORDINANCES, AND REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK.
- THE GC SHALL OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN PARTITION LOCATIONS, SIZES AND TYPES. DOOR AND WINDOW LOCATIONS SHALL BE AS SHOWN ON CONSTRUCTION PLAN. IN CASE OF CONFLICT, NOTIFY ARCHITECT FOR WRITTEN CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION.
- COMMENCEMENT OF WORK SHALL BE DEEMED AS THE GC'S ACKNOWLEDGMENT OF ALL WORK REQUIRED TO COMPLETE PROJECT IN CONFORMANCE WITH CONTRACT DOCUMENTS AND SCHEDULE. IT IS THE RESPONSIBILITY OF THE GC TO COORDINATE ORDERS, SUBMITTALS AND IMPLEMENTATION OF LONG LEAD ITEMS. THE GC'S FAILURE TO MAKE LONG LEAD ITEM ORDERS IN A TIMELY FASHION SHALL NOT BE GROUND FOR SUBSTITUTIONS.
- ALL NEW CONSTRUCTION INCLUDING CONCRETE, MASONRY, PLASTER, DRYWALL, DOORS, FRAMES, METAL PARTITIONS AND MISCELLANEOUS UNFINISHED METALS (OTHER THAN STAINLESS STEEL) SHALL BE PAINTED UNLESS OTHERWISE CLEARLY ON DRAWINGS.

GRAPHIC LEGEND



ABBREVIATIONS

- AA ALL ROUND
- F.F.E FINISH FLOOR ELEVATION
- S.O.P. SMOOTH CEMENT PLASTER
>C.F.F. COARSE PLASTER FINISH
- R.C.F. RUBBED CONCRETE FINISH
- N.I.C. NOT INCLUDED IN CONTRACT
- F.F.L. FINISH FLOOR LEVEL
- A.F.F. AREA FINISH FLOOR
- F.D. FIELD DIMENSION
- R.D. ROOF DRAIN
- R.L. RAIN LEADER
- C CENTER LINE
- O.C. ON CENTER
- E.Q. EQUAL SPACE
- E.F. EXHAUST FAN
- C.J. CONSTRUCTION JOINT
- E.J. EXPANSION JOINT
- W.H. WATER HEATER
- S.P. MARBLE TILE THRESHOLD SADDLE
- M.T.S. MARBLE THRESHOLD SADDLE
- W.S. WALL SECTION
- TYP. TYPICAL
- BE. BEST
- UN. UNLESS OTHERWISE NOTED
- GC. GENERAL CONTRACTOR
- D.C. DRINKING FOUNTAIN (WATER COOLER)

DEMOLITION NOTES:

- CONTRACTOR SHALL VERIFY AND COORDINATE WITH OWNERS REPRESENTATIVE EXISTING CONDITIONS BEFORE EXECUTING ANY DEMOLITION OR CONSTRUCTION ACTIVITY.
- CONTRACTOR SHALL PREPARE A SEE BREAKDOWN FOR PAYMENT AND A PROGRESS SCHEDULE OF THE WORK FOR APPROVAL.
- CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, TEMPORAL DUST CONTROL PARTITION AND ANY OTHER NECESSARY ITEMS FOR THE PROTECTION OF THE SURROUNDING AREAS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES CAUSED TO THE PROPERTY DURING CONSTRUCTION AND SHALL RESTORE ANY PROPERTY DAMAGED BY REMOVAL OR DEMOLITION WORK TO ITS ORIGINAL CONDITION.
- CONTRACTOR SHALL FOLLOW ALL LOCAL AND FEDERAL REGULATIONS FOR THE REMOVAL AND DISPOSITION OF EXISTING MATERIAL, AT NO EXTRA COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE AREA CLEAN.
- IF ANY HAZARDOUS MATERIALS ARE ENCOUNTERED IN THE BUILDING, THE CONTRACTOR SHALL NOTIFY THE OWNER BEFORE THE CONTINUATION OF WORK.
- CONTRACTOR SHALL PERFORM ALL DEMOLITION WORKS AS CALLED ON PLANS. SHALL DISPOSE AND DISCARD ALL DEBRIS IN A PROPER AND LEGAL MANNER.
- ALL DIMENSIONS SHALL BE FIELD VERIFIED AT SITE. ALL DIFFERENCES BETWEEN ACTUAL MEASUREMENTS AT SITE AND DIMENSIONS ON DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK. IN NO CASE SHALL SUCH DIFFERENCES JUSTIFY ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COST RELATED TO THE REMOVAL AND DISPOSITION OF DEBRIS, INCLUDING ALL FEES AT DUMPING SITES AND TRANSPORTATION COSTS.
- RAMPS SHALL BE DEMOLISHED AND RECONSTRUCTED. MATERIALS SHALL MATCH THE EXISTING ONES UNLESS OTHERWISE SPECIFIED.
- STREET/PLAZA LAMPS & BENCHES SHALL BE REPLACED FOR NEW ONES.
- ALL DEMOLITION WORK SHALL BE BETWEEN EXISTING CONSTRUCTION MATERIAL JOINTS.

ARCHITECTURAL DEMOLITION LEGEND

- A. TO BE DEMOLISHED
- B. TO REMAIN

IMPORTANT NOTES:

- ALL CONSTRUCTION AND/OR DEMOLITION WORK SHALL BE DONE BETWEEN CONSTRUCTION MATERIAL JOINTS.
- PARKING ASPHALT IN PARKING AREAS SHALL BE DEMOLISHED AND RECONSTRUCTED.
- EXISTING PLAZA FLOOR TO REMAIN SHALL BE PRESSURED WASHED.
- NEW FLOOR FINISH AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
- ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED.
- ALL RAMPS SHALL BE RECONSTRUCTED.
- ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
- THE SUB-STATIONS WILL BE AFFECTED PARTIALLY. ONLY THE CEILING WILL BE DEMOLISHED AND RECONSTRUCTED.
- ALL AREAS WHERE THE NEW ELECTRICAL TRENCH PASS SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
- EXISTING SIGNS IN PLAZA SHALL REMAIN AND NOT BE IMPACTED.
- EXISTING TREES SHALL REMAIN.

PROPOSED ARCHITECTURAL LEGEND

SPECIFIED PRODUCTS SHOULD BE EQUAL OR SIMILAR TO.

- A. NEW FLOOR FINISH SHALL BE OR EQUAL TO CARMELO PAVERS ADOQUINES SANJUANERO BY CARMELO (4'x8'x4") [carmelo.com/products/sanjuanero-2]
- B. NEW SINGLE LAMP ASHBERY AREA LIGHT 16'-0" BY LANDSCAPE FORMS [https://www.landscapeforms.com/en-US/product/Pages/Ashbery-Area-Light.aspx]
- C. NEW PLAZA BENCHES BENITO BANDO KUBE PLUS [https://www.benito.com/es/mobiliario-urbano/bancoskuba-plus-UM372LP.html]
- D. NEW TRASH BENTO PARELEDA KUBE [https://www.benito.com/es/mobiliario-urbano/papderas-kuba-PA672.html]
- E. NEW BOLLARDS BENITO PILONA KUBE [https://www.benito.com/es/mobiliario-urbano/bolardos-pilonas-kuba-14372.html]



APPROVED BY
Jorge L. Pérez Ruiz, PE
 Lic. No. 15,863

- CONSULTANTS
- SURVEY & TOPOGRAPHY | ALBERTO RODRIGUEZ (Lic. No. 18,825)
 - CIVIL | JORGE L. PÉREZ RUIZ (Lic. No. 15,863)
 - ARCHITECTURAL | JORGE L. PÉREZ RUIZ (Lic. No. 15,863)
 - STRUCTURAL | JOSÉ CINTRÓN (Lic. No. 15,906)

NOTE
 Yo, Jorge Pérez, Licencia No. 15,863, certifico que soy el profesional que preparé estos planos y las especificaciones complementarias. También, certifico que entiendo que dichos planos y especificaciones cumplen con las Reglaciones aplicables del Reglamento Conjunto y las disposiciones aplicables de los Reglamentos y Códigos de Construcción Vigentes de las Agencias, Justas Reglamentadoras o Comisiones Reguladoras con jurisdicción. Certifico, además, que en la preparación de estos planos y especificaciones se ha cumplido cabalmente con lo dispuesto en las Leyes, 14 de 8 de enero de 2004, según enmendada, conocida como la "Ley que la transfiere de la Industria Particular" y con la Ley Núm. 319 de 10 de mayo de 1998, según enmendada Ley Núm. 86 de 6 de julio de 1998, según enmendada, según aplica). Reconozco que cualquier declaración falsa o falsificación de los hechos que yo he hecho produce el desmoronamiento o por negligencia ya sea por mí, mis agentes o empleados, o por otros personas con conocimiento, me hacen responsable de cualquier acción judicial y disciplinaria por la DORSA.

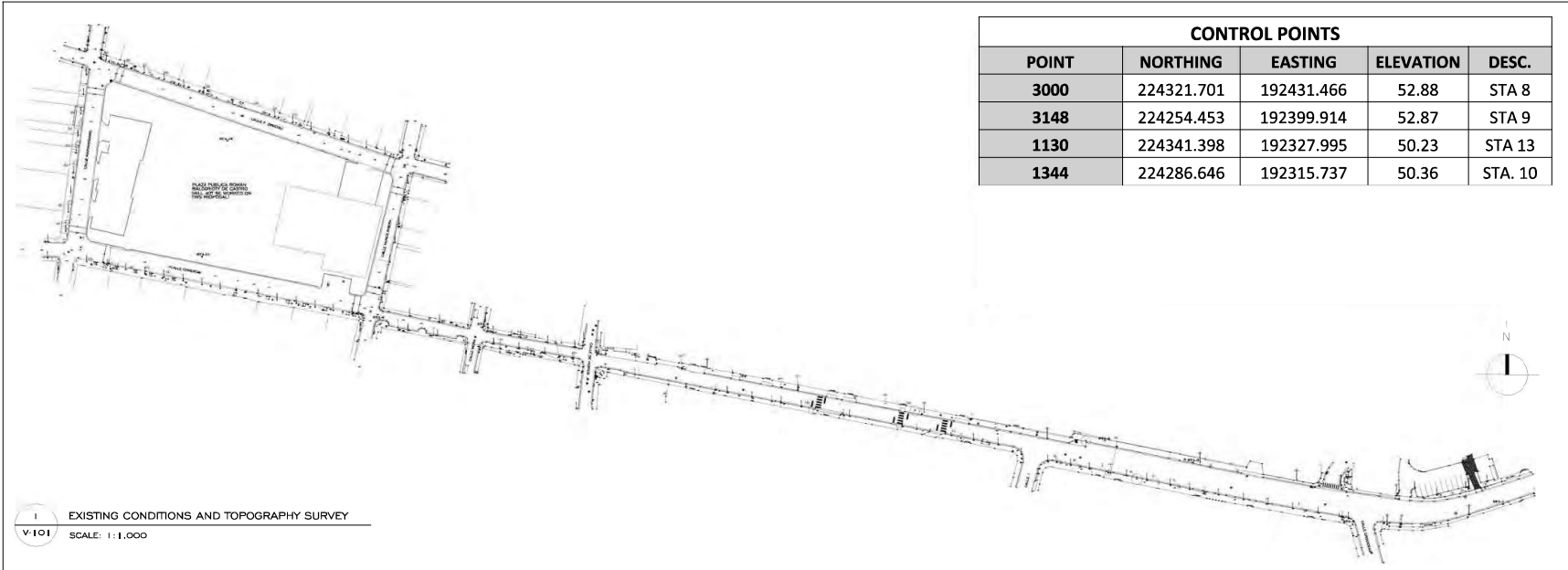


Working Drawings For:
PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
CALLE F. DEGETAU #35
JUANA DIAZ, PUERTO RICO

GENERAL NOTES AND SYMBOLS

SCALE: AS SHOWN
 DRAWN BY: EMP, AIT
 CHECKED BY: Jorge L. Pérez Ruiz, PE

DRAWING NO. **G-103** SHEET NO. **03** of **125**



CONTROL POINTS				
POINT	NORTHING	EASTING	ELEVATION	DESC.
3000	224321.701	192431.466	52.88	STA 8
3148	224254.453	192399.914	52.87	STA 9
1130	224341.398	192327.995	50.23	STA 13
1344	224286.646	192315.737	50.36	STA. 10

EXISTING CONDITIONS AND TOPOGRAPHY SURVEY
SCALE: 1:1,000


LEGEND:

- TREE/UNCLASSIFIED
- MANHOLE/ALL CLASS
- AAA METER
- ORNAMENTAL LUMINARY
- BENCH
- ORNAMENTAL LIGHT POLE
- POWER POLE
- UTILITY POLE
- LUMINARY POLE
- KM MARKER
- ORNAMENTAL LIGHT POLE
- SANITARY SEWER MH
- SANITARY SEWER MH
- POWER UTILITY MH

SURVEYORS NOTE:
 1. THE HORIZONTAL CONTROL USED ON THIS PLAN ARE P.R. LAMBERT NAD 83 REV.2011 EPOCH 2010.0000 AND ELEV. ARE REFERRED TO ORTHOMETRIC HEIGHT (GEOID 2012B).
 2. ALL HORIZONTAL MEASUREMENTS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
 3. LAMBERT SYSTEM WAS ESTABLISHED BY GPS OBSERVATIONS USING TRIMBLE DOUBLE FREQUENCY RECEIVERS USING VRS SYSTEM PROVIDED BY TTE.
 4. THE INFORMATION DEPICTED ON THIS PLAN REPRESENTS THE RESULTS OF THE SURVEY PERFORMED ON THE DATE INDICATED.
 5. THE INFORMATION PROVIDED ON THIS PLAN SHOW ALL CURRENTLY EXISTING STRUCTURES, PROPERTIES AND UTILITIES ABOVE OR BELOW THE GROUND AS REVEALED BY PUBLIC RECORDS OR OBSERVABLE EVIDENCE OVER GROUND INSPECTION.
 6. AS STATED IN THE MANUAL FOR THE PROFESSIONAL PRACTICE AND GUIDELINES FOR THE COMPENSATION OF PROFESSIONAL SERVICES, PUBLISHED BY THE CIAPR, IN THE SECTIONS 6.2.4.2., 7.2.1., 7.2.4., IT IS THE CLIENT, OWNER, OR AUTHORIZED REPRESENTATIVE RESPONSIBILITY TO CORROBORATE THE NAMES OF THE AFFECTED PROPERTY OWNERS BY PERFORMING A TITLE SEARCH.
 7. THE PROPERTY AND PARENT TRACT LIMITS SHOWN ARE REFERRED TO CRIM MAPS. PROPERTY LINES WERE NOT CONFIRMED BY NEIGHBORS. WE ARE NOT RESPONSIBLE IF THERE IS ANY OTHER PROPERTY EXISTING IN THIS AREA, IF THEY DO NOT SUBMIT ANY OTHER INFORMATION TO CONFIRM OUR DATA.
 8. IF EXPERT OCCUPATION IN A COURT OF JUSTICE IS NECESSARY, SUCH WORK WILL BE BILLED ACCORDING TO THE LATEST REVISION OF EXHIBITS 1.7 OF THE MANUAL FOR PROFESSIONAL PRACTICE AND GUIDELINES FOR THE COMPENSATIONS OF PROFESSIONAL SERVICE PUBLISHED BY THE CIAPR.

TREE INVENTORY SCHEDULE					
Nº	SCIENTIFIC NAME	COMMON NAME	DBH (")	HEIGHT	CONDITION
1	Tabebuia heterophylla	Roble nativo	3	15	Good
2	Tabebuia heterophylla	Roble nativo	5	15	Good
3	Tabebuia heterophylla	Roble nativo	3	15	Good
4	Phoenix roebelenii	Palma robalini	5	10	Good
5	Phoenix roebelenii	Palma robalini	5	10	Good
6	Tabebuia heterophylla	Roble nativo	3	15	Good
7	Tabebuia heterophylla	Roble nativo	3	15	Good
8	Tabebuia heterophylla	Roble nativo	5	15	Good
9	Colubia limicola	Naranja	3	25	Good
10	Colubia limicola	Naranja	15	70	Good
11	Tabebuia heterophylla	Roble nativo	5	15	Good
12	Tabebuia argentea	Roble plateado	10	20	Good
13	Tabebuia heterophylla	Roble nativo	3	15	Good
14	Tabebuia heterophylla	Roble nativo	3	15	Good
15	Tabebuia heterophylla	Roble nativo	5	15	Good
16	Tabebuia heterophylla	Roble nativo	3	15	Good
17	Tabebuia heterophylla	Roble nativo	3	15	Good
18	Tabebuia heterophylla	Roble nativo	5	15	Good
19	Tabebuia argentea	Roble plateado	8	20	Good
20	Tabebuia argentea	Roble plateado	7	15	Good
21	Tabebuia heterophylla	Roble nativo	9	20	Good
22	Tabebuia heterophylla	Roble nativo	8	20	Good
23	Tabebuia heterophylla	Roble nativo	8	20	Good
24	Tabebuia heterophylla	Roble plateado	8	15	Good
25	Tabebuia heterophylla	Roble nativo	3	15	Good
26	Tabebuia heterophylla	Roble nativo	3	15	Good
27	Tabebuia heterophylla	Roble nativo	4	15	Good
28	Tabebuia heterophylla	Roble nativo	4	15	Good
29	Tabebuia heterophylla	Roble nativo	8	15	Good
30	Tabebuia heterophylla	Roble nativo	5	15	Good
31	Tabebuia heterophylla	Roble nativo	5	15	Good
32	Tabebuia heterophylla	Roble nativo	8	20	Good


CONTROL POINTS AND SYMBOLS WILL BE VISIBLE ON NEXT SHEETS WHERE THE DRAWINGS ARE ON LARGER SCALE.



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
Lic. No. 15,863

CONSULTANTS
1. SURVEY & TOPOGRAPHY (ALBERTO RODRIGUEZ [Lic. No. 15,865])
2. CIVIL (JORGE L. PÉREZ RUIZ [Lic. No. 15,863])
3. ARCHITECTURAL (JORGE L. PÉREZ RUIZ [Lic. No. 15,863])
4. STRUCTURAL (JOSE CINTRON [Lic. No. 1,908])

NOTE
El Jefe de Proyecto, Licencia No. 15,863, CERTIFICADO POR EL PROFESIONAL QUE FIRMAÓ ESTOS PLANOS Y LAS ESPECIFICACIONES DE ESTOS PLANOS, CERTIFICADO QUE ENTENDE QUE DICHA PLANOS Y ESPECIFICACIONES CUMPLEN CON LAS DISPOSICIONES APPLICABLES DEL REGLAMENTO CONSULTA Y GEOMETRIA DE CONSTRUCCION VEHICULAR DE LA AGENCIA, JUNTA REGULATORIA DE LA COMERCIALIZACION PUBLICA CON JURISDICCION, CERTIFICADO, ASIMISMO QUE EN LA PREPARACION DE ESTOS PLANOS Y ESPECIFICACIONES SE HA CUMPLIDO CON LO DISPUESTO EN LA LEY N.º 14 DE 6 DE ENERO DE 2004, SEGUN ENMIENDADA, CONCORDADA CON LA LEY N.º 14 DE 19 DE ENERO DE 2004, SEGUN ENMIENDADA, CONCORDADA CON LA LEY N.º 31 DE 30 DE ENERO DE 1978, SEGUN ENMIENDADA, LEY N.º 10 DE 6 DE JULIO DE 1978, SEGUN ENMIENDADA, SEGUN AMENDADO REFORMADO QUE CONSTITUYE REGULACION FINAL Y PLAZA DE TRABAJO DE LOS PLANOS QUE SE HAN PREPARADO POR ENCARGAMENTO DE UN PROFESIONAL A LA SALA POR UN PERIODO DE VIGENCIA DE OCHO (8) AÑOS CONTINUOS. EN EL CONDOMINIO, NO HAYAN RESPONSABILIDAD DE CUALQUIER ACCION JUDICIAL, ADMINISTRATIVA O PENAL.

CERTIFICATION


WORKING DRAWINGS FOR:
PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
CALLE F DEGETAU #35
JUANA DIAZ, PUERTO RICO

DRAWING NAME
EXISTING CONDITIONS & TOPOGRAPHY SURVEY

SCALE: 1:1,000 BIDDER DATE: JULIO 2024
DRAWN BY: CHECKED BY:
EMP. AIT JORGE L. PÉREZ RUIZ, PE

DRAWING NO. SHEET NO.
V-101 04 OF 125



- IMPORTANT NOTES:**
1. POINT COORDINATES GIVEN ARE FOR DEMOLITION LIMITS REFERENCE.
 2. ALL CURBS AND GUTTERS TO REMAIN, WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN SHARP DEMO IS DONE, MATCH WHERE THE NEW SECTION MEETS EXISTING MATCH CURB HEIGHT TO EXISTING.
 3. DEMO PAVEMENT SECTION TO SUB-BASE, VERIFY ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
 4. AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED, SUB-BASE HAS TO BE TESTED FOR STABILITY BY THE GEOTECHNICAL ENGINEER PRIOR TO THE INSTALLATION OF THE NEW PAVEMENT OR PAYER SECTION.
 5. THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAYER SECTION GRADE.
 6. THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
 7. LONGITUDINAL HANDICAP RAMPS WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK.
 8. HANDICAP RAMP SLOPES SHALL NOT BE GREATER THAN 5.2%.
 9. ACCESS RAMP SLOPE FROM TREES GUTTER TO MAIN RAMPS SHALL NOT BE GREATER THAN 2%.
 10. CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT, OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
 11. EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
 12. NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
 13. ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED.
 14. ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
 15. ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
 16. EXISTING TREES SHALL REMAIN.
 17. FROM INTERSECTION 3 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT, MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
 18. WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
 19. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES TO BE DEMOLISHED.
 20. IF THE PRIVATE PROPERTY ENTRANCES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
 21. ALL SEWER GRILLS SHOULD BE REPLACED.

APPROVED BY:
JORGE L. PÉREZ RUIZ, PE
LIC. No. 15.863

CONSULTANTS:

1. SURVEY & TOPOGRAPHY [ALBERTO RODRIGUEZ (LIC. No. 18.882)]
2. CIVIL [JORGE L. PÉREZ RUIZ (LIC. No. 15.863)]
3. ARCHITECTURAL [JORGE L. PÉREZ RUIZ (LIC. No. 15.863)]
4. STRUCTURAL [JOSE GONZALEZ (LIC. No. 1.908)]

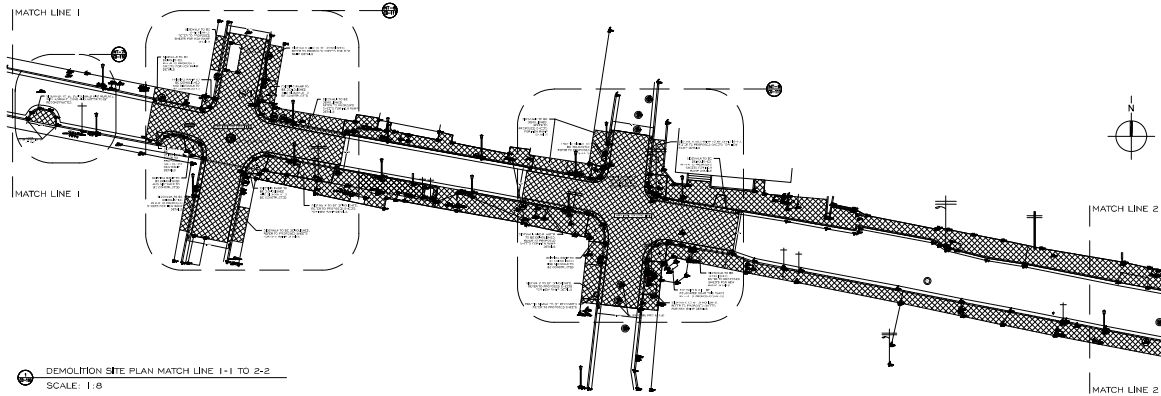
NOTE:
No. Jorge Pérez Ruiz, Lic. No. 15.863, como ingeniero civil, autoriza y garantiza que el presente proyecto de demolición cumple con los requisitos técnicos, legales y administrativos necesarios para su ejecución. Asimismo, garantiza que el presente proyecto cumple con los requisitos técnicos, legales y administrativos necesarios para su ejecución. Asimismo, garantiza que el presente proyecto cumple con los requisitos técnicos, legales y administrativos necesarios para su ejecución.

CERTIFICATION:

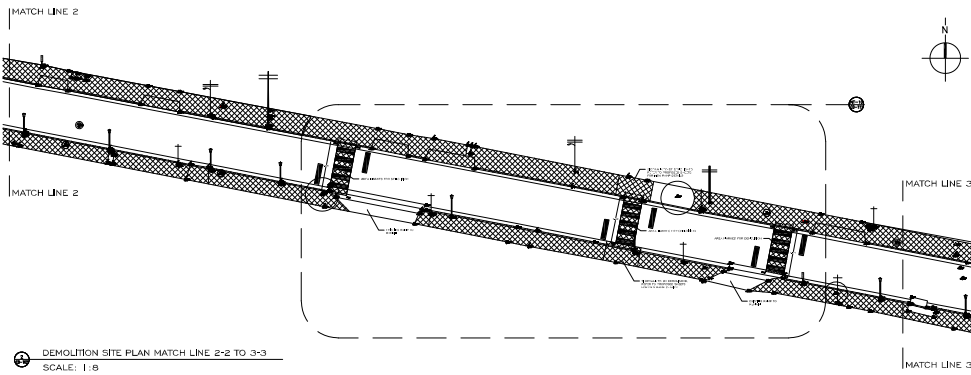
WORKING DRAWINGS FOR:
PR-CRF-00437
RUTA DE LOS TRES SANTOS REYES
CALLE F DEGETAU #35
JUANA DIAZ, PUERTO RICO

DRAWING NAME:
DEMOLITION SITE PLAN
GENERAL KEY PLAN
MATCH LINE I-1

SCALE: 1/8"	ISSUED DATE: JUN 2024
DRAWN BY: EMP, AIT	CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DRAWING NO: CD-101	SHEET NO. 05 of 125



DEMOLITION SITE PLAN MATCH LINE 1-1 TO 2-2
SCALE: 1:8



DEMOLITION SITE PLAN MATCH LINE 2-2 TO 3-3
SCALE: 1:8

IMPORTANT NOTES:

1. POINT COORDINATES GIVEN ARE FOR DEMOLITION LIMITS REFERENCE.
2. ALL CURBS AND GUTTERS TO REMAIN WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMO IS DONE. MATCH WHERE THE NEW SECTION MEETS EXISTING. MATCH CURB HEIGHT TO EXISTING.
3. DEMO PAVEMENT SECTION TO SUB-BASE. VERIFY ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET EXISTING CURB GRADE.
4. AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
5. SUB-BASE HAS TO BE TESTED FOR STABILITY BY THE GEOTECHNICAL ENGINEER PRIOR TO THE INSTALLATION OF THE NEW PAVEMENT OR PAVER SECTION.
6. THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATINGS AND OTHER UTILITY COVERS CONTAIN WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAVER SECTION GRADE.
7. THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
8. LONGITUDINAL HANDICAP RAMPS WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK.
9. HANDICAP MAIN RAMP SLOPES SHALL NOT BE GREATER THAN 8.3%. ACCESS RAMP SLOPE FROM TREES GUTTER TO MAIN RAMPS SHALL NO BE GREATER THAN 2%.
10. CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT, OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
11. EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
12. NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HA BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
13. ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED.
14. ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
15. ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
16. EXISTING TREES SHALL REMAIN.
17. FROM INTERSECTION 9 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
18. WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
19. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES TO BE DEMOLISHED.
20. IF THE PRIVATE PROPERTY ENTRANCES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
21. ALL SEWER GRILLS SHOULD BE REPLACED.



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
Lic. No. 15,863

- CONSULTANTS
1. SURVEY & TOPOGRAPHY [ALBERTO RODRIGUEZ (Lic. No. 15,889)]
 2. CIVIL [JORGE L. PÉREZ RUIZ (Lic. No. 15,863)]
 3. ARCHITECTURAL [JORGE L. PÉREZ RUIZ (Lic. No. 15,863)]
 4. STRUCTURAL [JOSE CENTRON (Lic. No. 1,908)]

NOTE
Yo, Jorge Pérez, Licencia No. 15,863, certifico que este es un plano original, que representa fielmente y que no ha sido alterado, copiado, modificado o falsificado. Este plano fue elaborado por mí o bajo mi supervisión y control, y es el resultado de un trabajo profesional que he realizado con diligencia y honestidad. Este plano es una copia exacta del original que se encuentra en mi poder y se le otorga la misma validez que al original. Este plano fue elaborado en cumplimiento de la Ley 20,183 de 2014, que regula el ejercicio de la profesión de arquitecto en Puerto Rico, y de la Ley 20,183 de 2014, que regula el ejercicio de la profesión de ingeniero civil en Puerto Rico.



WORKING DRAWINGS FOR:
PR-CRP-000437
RUTA DE LOS TRES SANTOS REVES
CALLE F DEGETAU #35
JUANA DIAZ, PUERTO RICO

DRAWING NAME
**DEMOLITION SITE PLAN
GENERAL KEY PLAN
MATCH LINE 1-1 TO 3-3**

SCALE: 1:8	ISSUED DATE: JUN. 2024
DRAWN BY: EMP, AIT	CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DRAWING NO: CD-102	SHEET NO. 06 OF 125



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
Lic. No. 15,863

- CONSULTANTS
1. SURVEY & TOPOGRAPHY | ALBERTO ROSALES | (L.C. No. 9186)
 2. CIVIL | JORGE L. PÉREZ RUIZ | (L.C. No. 15,863)
 3. ARCHITECTURAL | JORGE L. PÉREZ RUIZ | (L.C. No. 15,863)
 4. STRUCTURAL | JOSE QUINTON | (L.C. No. 1,906)

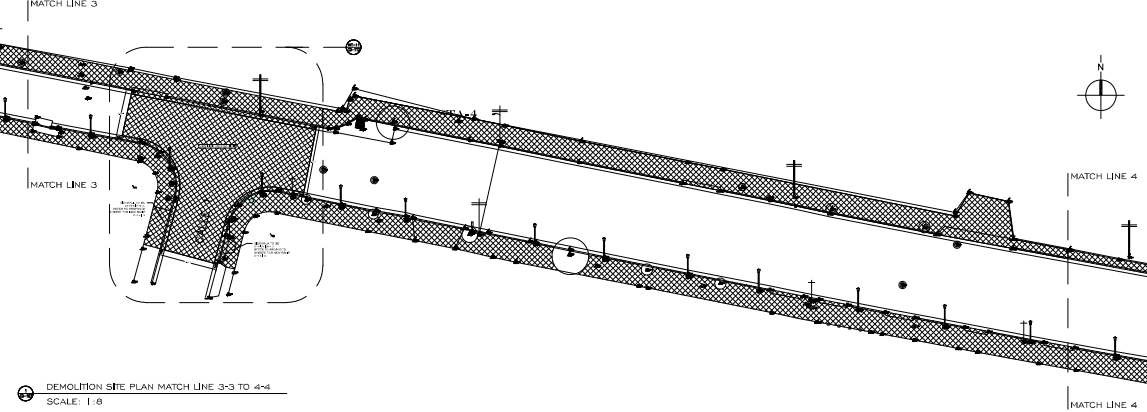
NOTE
El Ingeniero Pérez, Licencia No. 15,863, declara que soy el profesional que preparé estos planos y los modificaciones complementarias, todas, con plena responsabilidad profesional y bajo la supervisión y supervisión de los clientes, cumpliendo con las obligaciones de la Ley 1000 de 2005 y la Ley 1000 de 2005. Asimismo, declaro que he revisado y aprobado los planos y modificaciones complementarias y estoy de acuerdo con el contenido de los mismos. La preparación de estos planos y modificaciones complementarias fue hecha en el laboratorio de Ingeniería, con un 100% de precisión y con un 100% de exactitud. El presente documento no debe ser utilizado para fines que excedan el alcance de los mismos y si se requiere de modificaciones, se deberá consultar con el profesional responsable de la obra. El presente documento es propiedad intelectual de TCM y no debe ser reproducido, copiado, distribuido o publicado sin el consentimiento escrito de TCM.



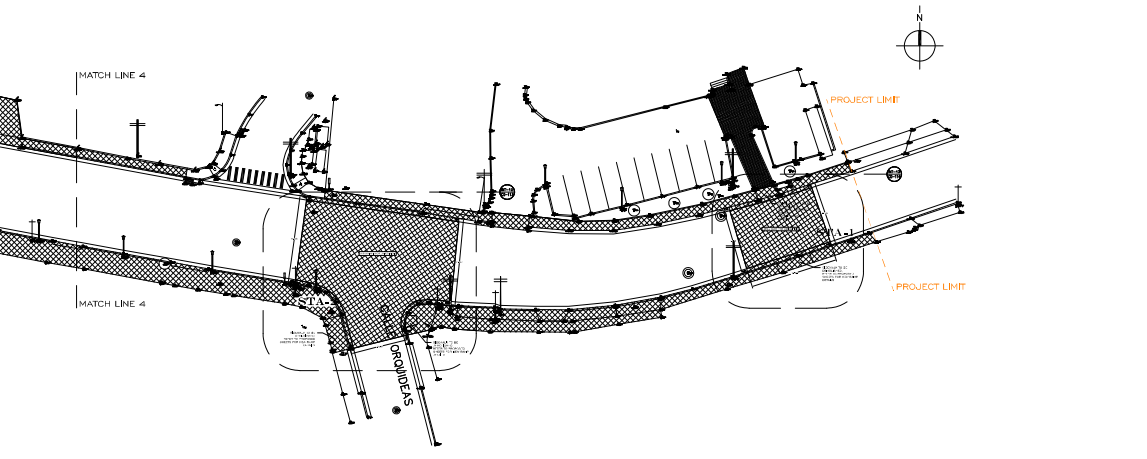
WORKING DRAWINGS FOR:
PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
CALLE F. DEBETAU #35
JUANA DIAZ, PUERTO RICO

DRAWING NAME
GENERAL KEY PLAN
MATCH LINE 3-3 TO
END OF PROJECT

SCALE: 1" = 8'	BIDDER DATE: JUN. 2024
DRAWN BY: EMP. AIT	CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DRAWING NO: CD-103	SHEET NO: 07 of 125



DEMOLITION SITE PLAN MATCH LINE 3-3 TO 4-4
SCALE: 1" = 8'



DEMOLITION SITE PLAN MATCH LINE 4-4 TO END OF PROJECT
SCALE: 1" = 8'

IMPORTANT NOTES:

1. POINT COORDINATES GIVEN ARE FOR DEMOLITION LIMITS REFERENCE.
2. ALL CURBS AND GUTTERS TO REMAIN WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMO IS DONE. MATCH WHERE THE NEW SECTION MEETS EXISTING. MATCH CURB HEIGHT TO EXISTING.
3. DEMO PAVEMENT SECTION TO SUB-BASE, VERIFY ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
4. AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
5. SUBBASE HAS TO BE TESTED FOR STABILITY BY THE GEOTECHNICAL ENGINEER PRIOR TO THE INSTALLATION OF THE NEW PAVEMENT OR PAVEMENT SECTION.
6. THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAVEMENT SECTION GRADE.
7. THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
8. LONGITUDINAL HANDICAP RAMP WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK.
9. HANDICAP MAIN RAMP SLOPES SHALL NOT BE GREATER THAN 8.2%, ACCESS RAMP SLOPE FROM TREES GUTTER TO MAIN RAMPS SHALL NOT BE GREATER THAN 2%.
10. CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT. OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
11. EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
12. NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
13. ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED.
14. ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
15. ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
16. EXISTING TREES SHALL REMAIN.
17. FROM INTERSECTION 8 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT. MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
18. WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
19. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES TO BE DEMOLISHED.
20. IF THE PRIVATE PROPERTY ENTRANCES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
21. ALL SEWER GRILLS SHOULD BE REPLACED.



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
 Lic. No. 15,863

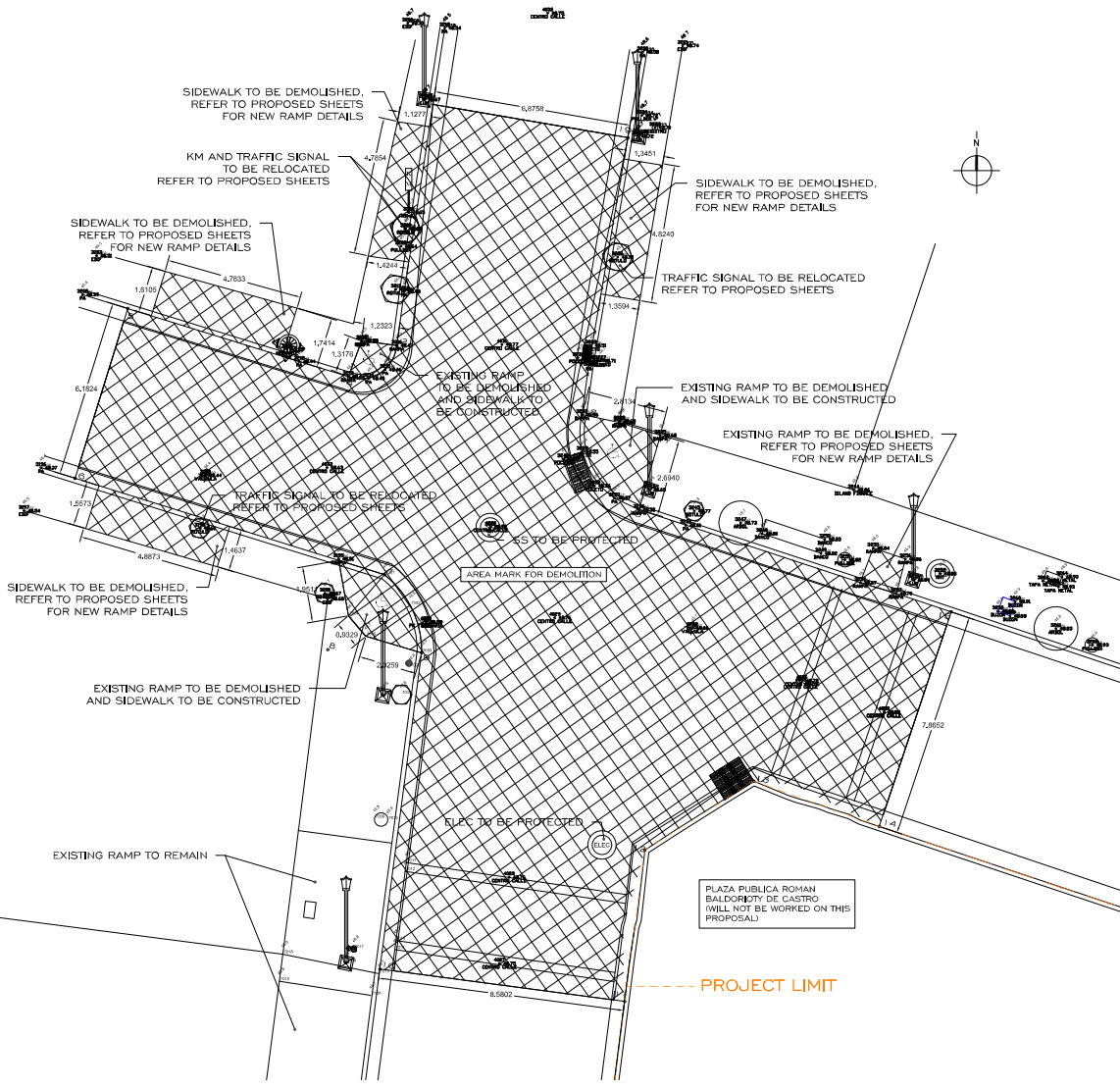
CONSULTANTS
 1. SURVEY & TOPOGRAPHY (ALBERTO ROSALES) (Lic. No. 15,865)
 2. CIVIL (JORGE L. PÉREZ RUIZ, PE, No. 15,863)
 3. ARCHITECTURAL (JORGE L. PÉREZ RUIZ, PE, No. 15,863)
 4. STRUCTURAL (JOSE QUINTON) (Lic. No. 1,908)

NOTE
 Yo, JORGE PÉREZ RUIZ, Licencia No. 15,863, COMPROVO QUE SOY EL PROFESIONAL QUE PREPARÉ ESTOS PLANOS Y LOS AUTORIZACIONES CORRESPONDIENTES. TAMBIÉN COMPROVO QUE ENTENDÍ QUE ESTOS PLANOS Y AUTORIZACIONES CORRESPONDIENTES SON PARA SER USADOS EN EL TERRENO QUE SE INDICA EN EL PLAN DE LOCALIZACIÓN DEL PROYECTO. ESTOS PLANOS SON UNOS DE LOS RESULTADOS DE LA ASISTENCIA TÉCNICA PRESTADA POR MI OFICINA DE INGENIERÍA CIVIL Y TOPOGRAFÍA, S.C. (TCM) A LA EMPRESA QUE SE INDICA EN EL PLAN DE LOCALIZACIÓN DEL PROYECTO. ESTOS PLANOS SON UNOS DE LOS RESULTADOS DE LA ASISTENCIA TÉCNICA PRESTADA POR MI OFICINA DE INGENIERÍA CIVIL Y TOPOGRAFÍA, S.C. (TCM) A LA EMPRESA QUE SE INDICA EN EL PLAN DE LOCALIZACIÓN DEL PROYECTO. ESTOS PLANOS SON UNOS DE LOS RESULTADOS DE LA ASISTENCIA TÉCNICA PRESTADA POR MI OFICINA DE INGENIERÍA CIVIL Y TOPOGRAFÍA, S.C. (TCM) A LA EMPRESA QUE SE INDICA EN EL PLAN DE LOCALIZACIÓN DEL PROYECTO.



CERTIFICATION
RUTA DE LOS TRES SANTOS REYES
WORKING DRAWINGS FOR:
PR-CRP-00437
ENLARGED DEMOLITION PLAN
INTERSECTION - I
CAJALFONTE DE CASTRO
PUERTO RICO
CALLE F DEGETAL #35
JUANA DIAZ, PUERTO RICO

DRAWING NAME
ENLARGED DEMOLITION PLAN
INTERSECTION - I
 SCALE: 1:2
 BIDDEN DATE: JUN. 2024
 DRAWN BY: JORGE L. PÉREZ RUIZ, PE
 CHECKED BY:
 EMP. AIT
 DRAWING NO. CD-201
 SHEET NO. 08 of 125



IMPORTANT NOTES:

- POINT COORDINATES GIVEN ARE FOR DEMOLITION LIMITS REFERENCE.
- ALL CURBS AND GUTTERS TO REMAIN, WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMO IS DONE, MATCH WHERE THE NEW SECTION MEETS EXISTING. MATCH CURB HEIGHT TO EXISTING.
- DEMO PAVEMENT SECTION TO SUB-BASE. VERIFY ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
- AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
- SUB-BASE HAS TO BE TESTED FOR STABILITY BY THE GEOTECHNICAL ENGINEER PRIOR TO THE INSTALLATION OF THE NEW PAVEMENT OR PAVER SECTION.
- THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS CONDITION WHEN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAVER SECTION GRADE.
- THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
- LONGITUDINAL HANDICAP RAMPS WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK
- HANDICAP MAIN RAMP SLOPES SHALL NOT BE GREATER THAN 6.25%. ACCESS RAMP SLOPE FROM TREES GUTTER TO MAIN RAMPS SHALL NO BE GREATER THAN 2%.
- CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT. OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND DOWNLIES INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
- EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
- NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
- ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED.
- ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
- ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
- EXISTING TREES SHALL REMAIN.
- FROM INTERSECTION 9 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT. MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
- WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES TO BE DEMOLISHED.
- IF THE PRIVATE PROPERTY ENTRANCES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
- ALL SEWER GRILLS SHOULD BE REPLACED.

POINT TIE DOWN DATA

POINT	NORTHING	EASTING	DESCRIPTION
1	224393.1898	192262.4917	TO BE ESTABLISHED
2	224384.8133	192261.2410	TO BE ESTABLISHED
3	224384.8258	192260.0151	TO BE ESTABLISHED
4	224383.7376	192259.5560	TO BE ESTABLISHED
5	224385.3625	192254.2818	TO BE ESTABLISHED
6	224379.4538	192252.4452	TO BE ESTABLISHED
7	224376.8502	192260.8155	TO BE ESTABLISHED
8	224374.2441	192258.8424	TO BE ESTABLISHED
9	224374.1322	192262.1045	TO BE ESTABLISHED
10	224363.1443	192260.6530	TO BE ESTABLISHED
11	224362.0202	192269.1593	TO BE ESTABLISHED
12	224367.2870	192269.8640	TO BE ESTABLISHED
13	224369.8710	192273.6550	TO BE ESTABLISHED
14	224368.1025	192278.0102	TO BE ESTABLISHED
15	224375.5589	192280.5129	TO BE ESTABLISHED
16	224379.1078	192269.6609	TO BE ESTABLISHED
17	224381.6984	192270.4003	TO BE ESTABLISHED
18	224382.4080	192267.6778	TO BE ESTABLISHED
19	224392.0298	192269.2745	TO BE ESTABLISHED

LEGEND:

- TREE/UNCLASSIFIED
- MANHOLE/ALL CLASS
- AAA METER
- ORNAMENTAL LUMINARY
- BENCH
- BOLLARD
- ORNAMENTAL LIGHT POLE
- POWER POLE
- UTILITY POLE
- LUMINARY POLE
- KM MARKER
- TRAFFIC SIGN
- SANITARY SEWER MH
- SANITARY SEWER MH
- POWER UTILITY MH

INTERSECTION | ENLARGED PLAN
 SCALE: 1:2

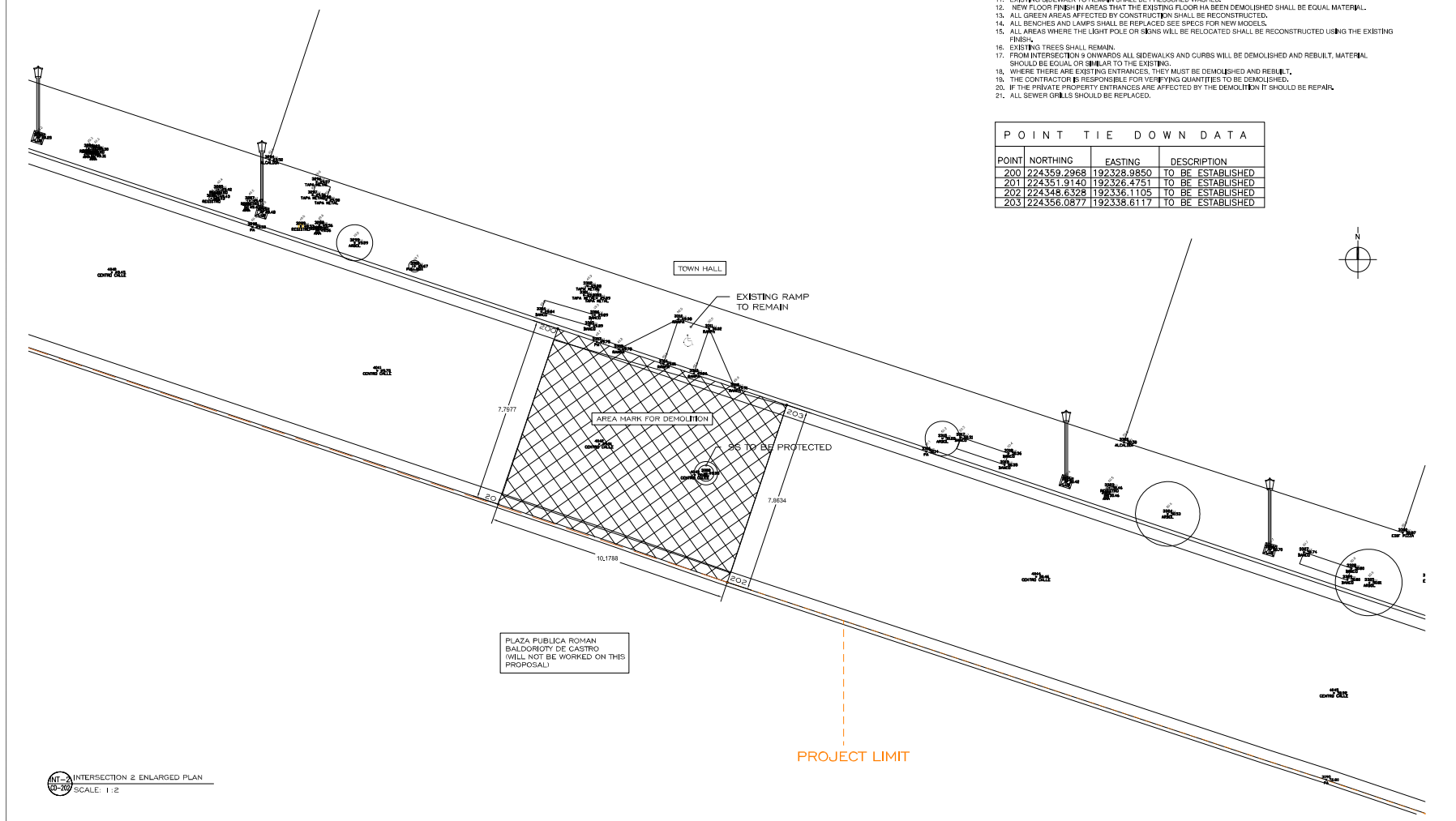
LEGEND:

- | | | |
|----------------------------------|-----------------------|---------------------|
| ○ TREE/UNCLASSIFIED | \| ORNAMENTAL LIGHT POLE | ○ TRAFFIC SIGN |
| ○ _M MANHOLE/ALL CLASS | \| POWER POLE | Ⓢ SANITARY SEWER MH |
| Ⓜ AAA METER | \| UTILITY POLE | Ⓢ SANITARY SEWER MH |
| Ⓞ ORNAMENTAL LUMINARY | \| LUMINARY POLE | Ⓢ POWER UTILITY MH |
| □ BENCH | \| KM MARKER | |
| ● BOLLARD | | |

IMPORTANT NOTES:

- POINT COORDINATES GIVEN ARE FOR DEMOLITION LIMITS REFERENCE.
- ALL CURBS AND GUTTERS TO REMAIN, WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMO IS DONE, MATCH WHERE THE NEW SECTION MEETS EXISTING EXISTING RAMP CURB HEIGHT TO EXISTING.
- DEMO PAVEMENT SECTION TO SUB-BASE, VERIFY ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
- AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
- SUB-BASE HAS TO BE TESTED FOR STABILITY BY THE GEOLOGICAL ENGINEER PRIOR TO THE INSTALLATION OF THE NEW PAVEMENT OR PAPER SECTION.
- THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAPER SECTION GRADE.
- THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
- LONGITUDINAL HANDICAP RAMPS WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK
- HANDICAP RAMP SLOPES SHALL NOT BE GREATER THAN 8.3%. ACCESS RAMP SLOPE FROM TREES GUTTER TO RAMP RAMPS SHALL NOT BE GREATER THAN 2%.
- CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT, OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
- EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
- NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
- ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED.
- ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
- ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
- EXISTING TREES SHALL REMAIN.
- FROM INTERSECTION 8 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT, MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
- WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES TO BE DEMOLISHED.
- IF THE PRIVATE PROPERTY ENTRANCES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
- ALL SEWER GRILLS SHOULD BE REPLACED.

POINT TIE DOWN DATA			
POINT	NORTHING	EASTING	DESCRIPTION
200	224359.2968	192328.9850	TO BE ESTABLISHED
201	224351.9140	192326.4751	TO BE ESTABLISHED
202	224348.6328	192336.1105	TO BE ESTABLISHED
203	224356.0877	192338.6117	TO BE ESTABLISHED



APPROVED BY:
JORGE L. PÉREZ RUIZ, PE
Lic. No. 15.863

- CONSULTANTS
- SURVEY & TOPOGRAPHY [ALBERTO RODRIGUEZ] (Lic. No. 9589)
 - CIVIL [JORGE L. PÉREZ RUIZ] (Lic. No. 15.863)
 - ARCHITECTURAL [JORGE L. PÉREZ RUIZ] (Lic. No. 15.863)
 - STRUCTURAL [JOSE CINTRON] (Lic. No. 11.908)

NOTE:
Yo, Jorge Pérez, Licencia No. 15.863, confirmo que soy el profesional que preparé estos planos y los expedí conforme a los procedimientos establecidos en el Reglamento de Ejercicio de la Profesión de Arquitecto y Urbanista de Puerto Rico, y que los planos están conformes con los requisitos de la ley de la ordenanza que regule el ejercicio de la profesión de Arquitecto y Urbanista de Puerto Rico. Asimismo, confirmo que he leído los planos y conozco el contenido de los mismos y que no he detectado ninguna inconsistencia o error en ellos. Estos planos fueron preparados en mi oficina de ingeniería y arquitectura, ubicada en Calle de los Tres Santos Reyes, Puente de Piedra, San Juan, Puerto Rico. La fecha de elaboración de estos planos es el día 26 de mayo del 2024, y la fecha de expedición de estos planos es el día 26 de mayo del 2024. Toda vez que los planos están sujetos a las modificaciones que se hicieran durante el proceso de construcción de conformidad con el Reglamento de Ejercicio de la Profesión de Arquitecto y Urbanista de Puerto Rico. Asimismo, confirmo que los planos fueron preparados para ser utilizados en el proyecto de demolición de la intersección de la Ruta de los Tres Santos Reyes con la Avenida de las Torres, en San Juan, Puerto Rico. Los planos fueron preparados en cumplimiento de la ley y la ordenanza que regule el ejercicio de la profesión de Arquitecto y Urbanista de Puerto Rico. Toda vez que los planos están sujetos a las modificaciones que se hicieran durante el proceso de construcción de conformidad con el Reglamento de Ejercicio de la Profesión de Arquitecto y Urbanista de Puerto Rico.



WORKING DRAWINGS FOR:
PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
CALLE F DEGETAU #35
JUANA DIAZ, PUERTO RICO

DRAWING NAME:
ENLARGED
DEMOLITION PLAN
INTERSECTION - 2

SCALE: 1:2	BIDDER DATE: JUN. 2024
DRAWN BY: EMP. AIT	CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DRAWING NO. CD-202	SHEET NO. 09 of 125



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
LIC. No. 15,863

CONSULTANTS
1. SURVEY & TOPOGRAPHY [ALBERTO
RODRÍGUEZ (Lic. No. 8185)]
2. CIVIL [JORGE L. PÉREZ RUIZ (Lic. No. 15,863)]
3. ARCHITECTURAL [JORGE L. PÉREZ RUIZ (Lic.
No. 15,863)]
4. STRUCTURAL [JOSE GONZON (Lic. No. 1,906)]

NOTE
Yo, Jorge Pérez, Licencia No. 15,863, certifico que
soy el profesional que preparó estos planos y los
especificaciones complementarias. También certifico
que he verificado que estos planos y especificaciones
cumplan con los requerimientos técnicos del
Reglamento de Construcción de Obras de Construcción
de la A.G.S. y con las ordenanzas y decretos
emitidos por el Gobierno Municipal de San Juan, P.R.,
además de la preparación de estos planos y
especificaciones de la conformidad con los requisitos de la
Ley de Obras Públicas, Ley No. 170 del 11 de mayo de 1950,
conforme con la Ley de Inspección Profesional,
Ley No. 178 del 14 de febrero de 1950, y con la Ley de
Ejercicio Profesional, Ley No. 177 del 14 de febrero de
1950, y con la Ley de Ejercicio Profesional, Ley No. 177
del 14 de febrero de 1950, según corresponden. Los datos de
estos planos son ciertos y verídicos, y he tomado las
medidas que corresponden para asegurar la exactitud de
los datos que he suministrado y de los cálculos que he
realizado, y de los trabajos que he ejecutado.
DADO EN SAN JUAN, PUERTO RICO, EL
DIEZ Y SEIS DE JUNIO DE DOS MIL VEINTY CUATRO.



WORKING DRAWINGS FOR:
PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
JUANA DIAZ, PUERTO RICO

DRAWING NAME
**ENLARGED
DEMOLITION PLAN
INTERSECTION - 3**

SCALE: 1:2 BIDDEN DATE: JUN 2024
DRAWN BY: EMP. AIT CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DRAWING NO. SHEET NO.

CD-203 106125

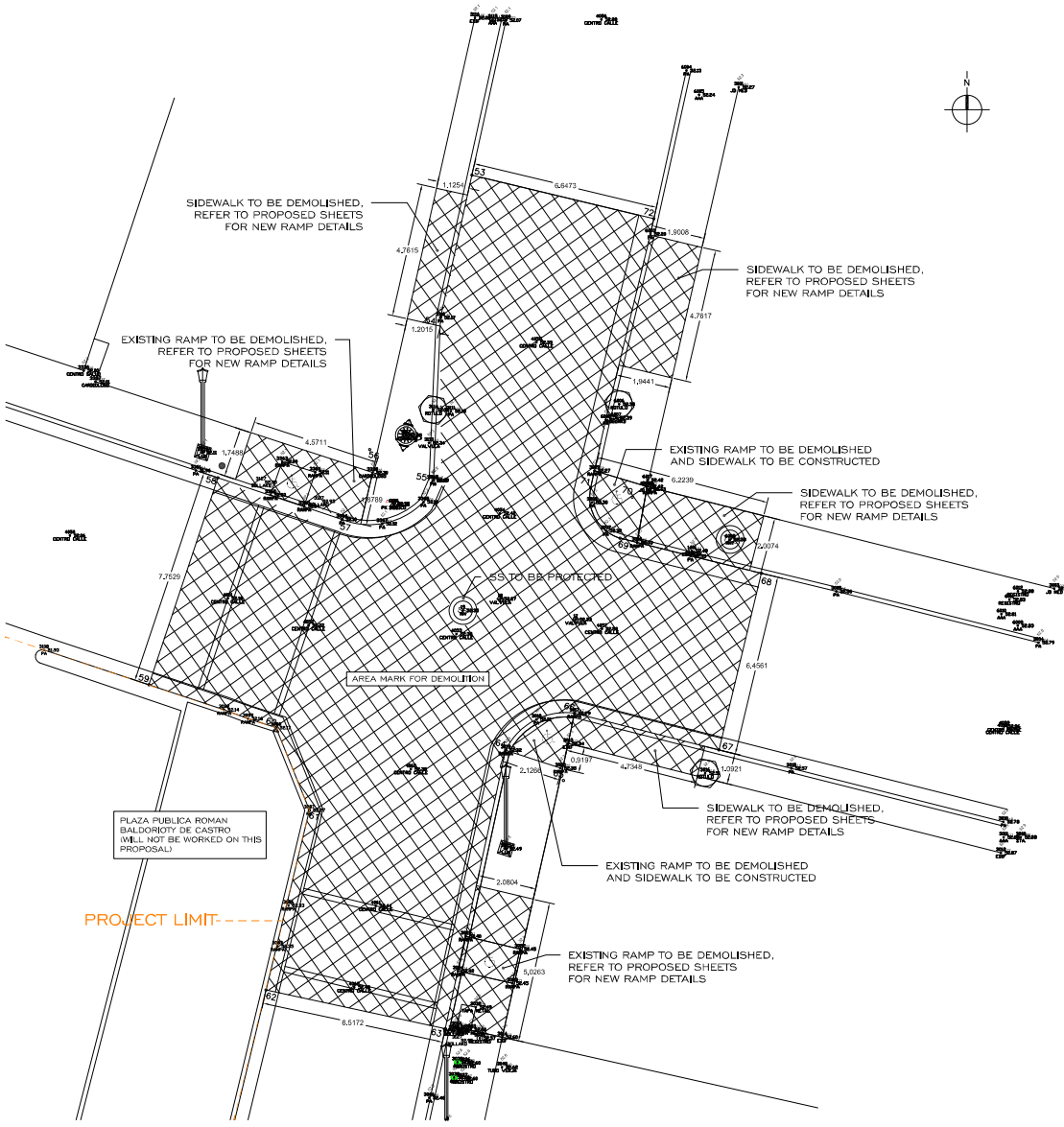
IMPORTANT NOTES:

1. POINT COORDINATES GIVEN ARE FOR DEMOLITION LIMITS REFERENCE.
2. ALL CURBS AND CUTTERS TO REMAIN, WHEN REMOVING THE SECTIONS TAKEN OUT WHEN RAMP DEMO IS DONE, MATCH WHERE THE NEW SECTION MEETS EXISTING. MATCH CURB HEIGHT TO EXISTING.
3. DEMO PAVEMENT SECTION TO SUB-BASE, VERIFY ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
4. AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
5. SUB-BASE HAS TO BE TESTED FOR STABILITY BY THE GEOTECHNICAL ENGINEER PRIOR TO THE INSTALLATION OF THE NEW PAVEMENT OR PAPER SECTION.
6. THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAPER SECTION GRADE.
7. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
8. LONGITUDINAL HANDICAP RAMPS WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK.
9. HANDICAP MINIMUM RAMP SLOPES SHALL NOT BE GREATER THAN 8.3%. ACCESS RAMP SLOPE FROM TREES CUTTER TO MAIN RAMPS SHALL NOT BE GREATER THAN 2%.
10. CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT. OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
11. EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
12. NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
13. ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED.
14. ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
15. ALL AREAS WHERE THE LIGHT POLE OR SIGN WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
16. EXISTING TREES SHALL REMAIN.
17. FROM INTERSECTION 9 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT, MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
18. WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
19. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES TO BE DEMOLISHED.
20. IF THE PRIVATE PROPERTY ENTRANCES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
21. ALL SEWER CHIMNELS SHOULD BE REPLACED.

POINT	NORTHING	EASTING	DESCRIPTION
53	224345.2319	192411.3583	TO BE ESTABLISHED
54	224340.1697	192410.8452	TO BE ESTABLISHED
55	224334.3931	192410.5944	TO BE ESTABLISHED
56	224335.4773	192408.3277	TO BE ESTABLISHED
57	224332.9952	192407.3463	TO BE ESTABLISHED
58	224334.4134	192402.9354	TO BE ESTABLISHED
59	224327.1184	192400.4837	TO BE ESTABLISHED
60	224325.5934	192404.9977	TO BE ESTABLISHED
61	224322.6625	192406.1840	TO BE ESTABLISHED
62	224316.2729	192404.6444	TO BE ESTABLISHED
63	224314.8927	192411.0137	TO BE ESTABLISHED
64	224324.7957	192413.1597	TO BE ESTABLISHED
65	224323.7150	192415.2174	TO BE ESTABLISHED
66	224326.1068	192415.5994	TO BE ESTABLISHED
67	224324.8040	192420.7376	TO BE ESTABLISHED
68	224331.0816	192422.2448	TO BE ESTABLISHED
69	224332.3292	192417.2233	TO BE ESTABLISHED
70	224333.7849	192417.6604	TO BE ESTABLISHED
71	224334.1885	192416.1769	TO BE ESTABLISHED
72	224343.6805	192418.4221	TO BE ESTABLISHED

LEGEND:

- TREE/UNCLASSIFIED
- /H MANHOLE/ALL CLASS
- ⊙ AAA METER
- ⊠ ORNAMENTAL LUMINARY
- BENCH
- BOLLARD
- ORNAMENTAL LIGHT POLE
- POWER POLE
- UTILITY POLE
- LUMINARY POLE
- KM MARKER
- TRAFFIC SIGN
- ⊙ SANITARY SEWER MH
- ⊙ SANITARY SEWER MH
- ⊙ POWER UTILITY MH



SIDEWALK TO BE DEMOLISHED. REFER TO PROPOSED SHEETS FOR NEW RAMP DETAILS

SIDEWALK TO BE DEMOLISHED. REFER TO PROPOSED SHEETS FOR NEW RAMP DETAILS

EXISTING RAMP TO BE DEMOLISHED. REFER TO PROPOSED SHEETS FOR NEW RAMP DETAILS

EXISTING RAMP AND SIDEWALK TO BE CONSTRUCTED

SIDEWALK TO BE DEMOLISHED. REFER TO PROPOSED SHEETS FOR NEW RAMP DETAILS

AREA MARK FOR DEMOLITION

SIDEWALK TO BE DEMOLISHED. REFER TO PROPOSED SHEETS FOR NEW RAMP DETAILS

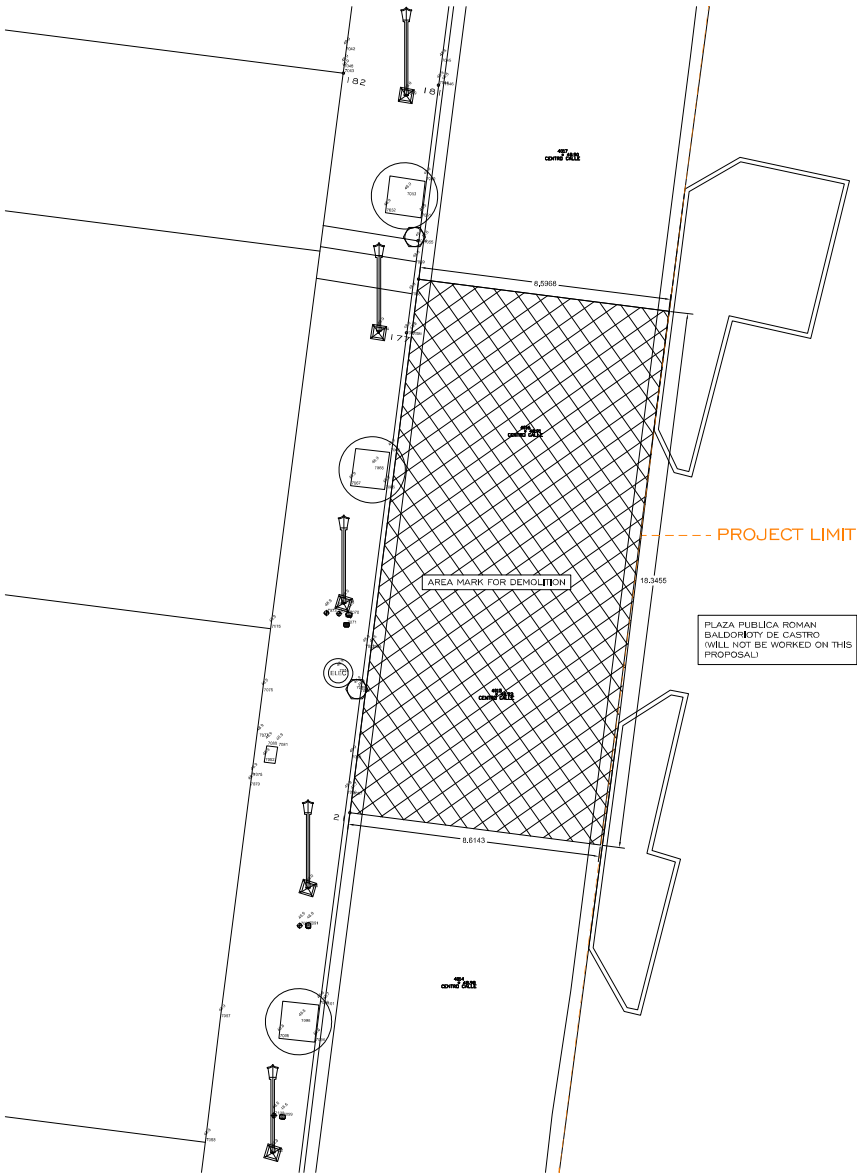
EXISTING RAMP TO BE DEMOLISHED AND SIDEWALK TO BE CONSTRUCTED

EXISTING RAMP TO BE DEMOLISHED. REFER TO PROPOSED SHEETS FOR NEW RAMP DETAILS

PLAZA PUBLICA ROMAN BALDORIO DE CASTRO (W.L. NOT TO BE WORKED ON THIS PROPOSAL)

PROJECT LIMIT - - - - -

INTERSECTION 3 ENLARGED PLAN SCALE: 1:2



IMPORTANT NOTES:

1. POINT COORDINATES GIVEN ARE FOR DEMOLITION LIMITS REFERENCE.
2. ALL CURBS AND GUTTERS TO REMAIN, WHEN REBUILDING THE SECTIONS TAKE OUT WHEN RAMP DEMO IS DONE, MATCH WHERE THE NEW SECTION MEETS EXISTING, MATCH CURB HEIGHT TO EXISTING.
3. DEMO PAVEMENT SECTION TO SUB-BASE, VERIFY ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
4. AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
5. SUB-BASE HAS TO BE TESTED FOR STABILITY BY THE GEOTECHNICAL ENGINEER PRIOR TO THE INSTALLATION OF THE NEW PAVEMENT OR PAYER SECTION.
6. THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAYER SECTION GRADE.
7. THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
8. LONGITUDINAL HANDICAP RAMP WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK
9. HANDICAP MAIN RAMP SLOPES SHALL NOT BE GREATER THAN 8.3% ACCESS RAMP SLOPE FROM TREES GUTTER TO MAIN RAMPERS SHALL NO BE GREATER THAN 2%.
10. CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT, OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
11. EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
12. NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
13. ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED.
14. ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
15. ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
16. EXISTING TREES SHALL REMAIN.
17. FROM INTERSECTION 9 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT, MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
18. WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
19. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES TO BE DEMOLISHED.
20. IF THE PRIVATE PROPERTY ENTRANCES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
21. ALL SEWER GRILLS SHOULD BE REPLACED.

POINT TIE DOWN DATA

POINT	NORTHING	EASTING	DESCRIPTION
53	224345.2319	192411.9583	TO BE ESTABLISHED
54	224340.1697	192410.8458	TO BE ESTABLISHED
55	224334.3931	192410.8944	TO BE ESTABLISHED
56	224335.4773	192408.3277	TO BE ESTABLISHED
57	224332.9952	192407.3463	TO BE ESTABLISHED
58	224334.4734	192402.9354	TO BE ESTABLISHED
59	224327.1184	192400.4837	TO BE ESTABLISHED
60	224325.5934	192404.9977	TO BE ESTABLISHED
61	224322.6625	192406.1840	TO BE ESTABLISHED
62	224316.2729	192404.6444	TO BE ESTABLISHED
63	224314.8927	192411.0137	TO BE ESTABLISHED
64	224324.7957	192413.1597	TO BE ESTABLISHED
65	224323.7150	192415.2174	TO BE ESTABLISHED
66	224326.1068	192415.5994	TO BE ESTABLISHED
67	224324.8040	192410.7376	TO BE ESTABLISHED
68	224331.0816	192422.2448	TO BE ESTABLISHED
69	224332.3292	192417.2233	TO BE ESTABLISHED
70	224333.7849	192417.6604	TO BE ESTABLISHED
71	224334.1895	192416.1769	TO BE ESTABLISHED
72	224343.6805	192418.4221	TO BE ESTABLISHED

LEGEND:

- TREE/UNCLASSIFIED
- MANHOLE/ALL CLASS
- AAA METER
- ORNAMENTAL LUMINARY
- BENCH
- BOLLARD
- ORNAMENTAL LIGHT POLE
- POWER POLE
- UTILITY POLE
- LUMINARY POLE
- KM MARKER
- TRAFFIC SIGN
- SANITARY SEWER MH
- SANITARY SEWER MH
- POWER UTILITY MH

INTERSECTION 4 ENLARGED PLAN
SCALE: 1:2



APPROVED BY
JORGE L. PÉREZ RUÍZ, PE
Lic. No. 15,863

- CONSULTANTS
1. SURVEY & TOPOGRAPHY [ALBERTO RODRÍGUEZ] (Lic. No. 15,863)
 2. CIVIL [JORGE L. PÉREZ RUÍZ] (Lic. No. 15,863)
 3. ARCHITECTURAL [JORGE L. PÉREZ RUÍZ] (Lic. No. 15,863)
 4. STRUCTURAL [JOSE GONZON] (Lic. No. 15,908)

NOTE
Yo, Jorge Pérez, Licencia No. 15,863, confirmo que soy el profesional que preparó estos planos y los autorizo como documentos técnicos, con todo el contenido que éstos poseen y cualquier responsabilidad que éstos conlleven, así como cualquier otro requisito de la ley. Yo, el profesional responsable de la obra, confirmo que los planos y especificaciones de la obra, fueron elaborados y autorizados por mí y/o el personal que yo designo, con todo el contenido que éstos poseen y cualquier responsabilidad que éstos conlleven, así como cualquier otro requisito de la ley. Yo, el profesional responsable de la obra, confirmo que los planos y especificaciones de la obra, fueron elaborados y autorizados por mí y/o el personal que yo designo, con todo el contenido que éstos poseen y cualquier responsabilidad que éstos conlleven, así como cualquier otro requisito de la ley.



CERTIFICATION
JORGE LUIS PÉREZ RUÍZ
INGENIERO CIVIL
NO. 15863
PUERTO RICO

WORKING DRAWINGS FOR:
PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
CALLE F DEGETAU #35
JUANA DIAZ, PUERTO RICO

DRAWING NAME
ENLARGED DEMOLITION PLAN INTERSECTION - 4

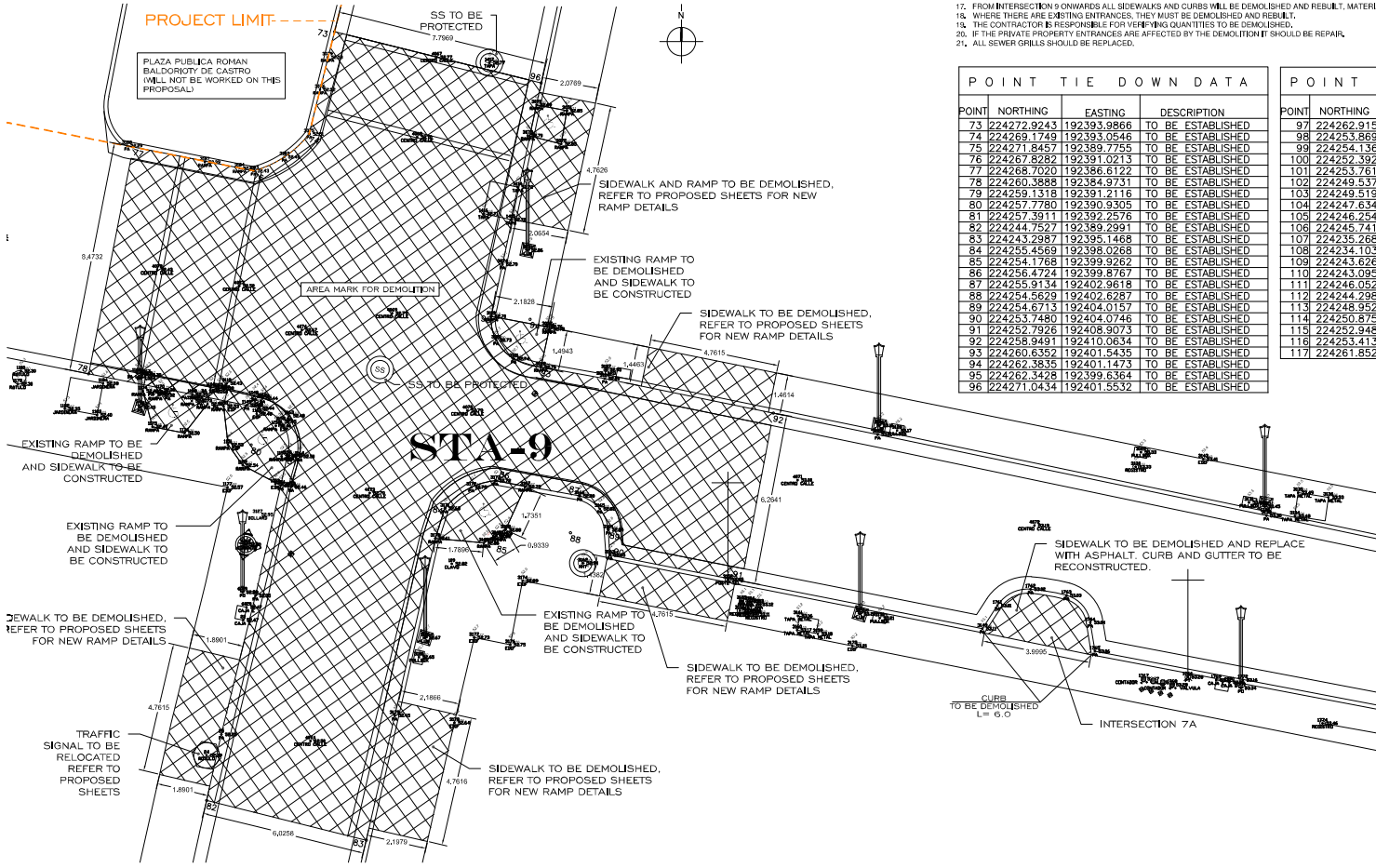
SCALE: 1:2	BIDDED DATE: JUN 2024
DRAWN BY: EMP. AIT	CHECKED BY: JORGE L. PÉREZ RUÍZ, PE
DRAWING NO: CD-204	SHEET NO: 11 of 125

LEGEND:

- | | | |
|-----------------------|-------------------------|---------------------|
| ○ TREE/UNCLASSIFIED | ○ ORNAMENTAL LIGHT POLE | ○ TRAFFIC SIGN |
| ○ MANHOLE/ALL CLASS | ○ POWER POLE | ○ SANITARY SEWER MH |
| ○ AAA METER | ○ UTILITY POLE | ○ SANITARY SEWER MH |
| ○ ORNAMENTAL LUMINARY | ○ LUMINARY POLE | ○ POWER UTILITY MH |
| ○ BENCH | ○ KM MARKER | |
| ○ BOLLARD | | |

IMPORTANT NOTES:

- POINT COORDINATES GIVEN ARE FOR DEMOLITION LIMITS REFERENCE.
- ALL CURBS AND GUTTERS TO REMAIN, WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMO IS DONE, MATCH WHERE THE NEW SECTION MEETS EXISTING.
- DEMOLITION LIMITS TO BE TESTED FOR STABILITY BY THE GEOTECHNICAL ENGINEER PRIOR TO THE INSTALLATION OF THE NEW PAVEMENT OR PAVEMENT SECTION.
- DEMO PAVEMENT SECTION TO SUB-BASE, VERIFY ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
- AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
- SUBBASE HAS TO BE TESTED FOR STABILITY BY THE GEOTECHNICAL ENGINEER PRIOR TO THE INSTALLATION OF THE NEW PAVEMENT OR PAVEMENT SECTION.
- THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAVEMENT SECTION GRADE.
- THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
- LONGITUDINAL HANDICAP RAMPS WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK.
- HANDICAP MAIN RAMP SLOPES SHALL NOT BE GREATER THAN 8.3%, ACCESS RAMP SLOPE FROM TREES GUTTER TO MAIN RAMPS SHALL NOT BE GREATER THAN 2%.
- CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION LIMIT. OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION PER CROSSING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
- EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURE WASHED.
- NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
- ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED.
- ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
- EXISTING TREES SHALL REMAIN.
- FROM INTERSECTION 5 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT. MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
- WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES TO BE DEMOLISHED.
- IF THE PRIVATE PROPERTY ENTRANCES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
- ALL SEWER GRILLS SHOULD BE REPLACED.



POINT	NORTHING	EASTING	DESCRIPTION
73	224272.9243	192393.9866	TO BE ESTABLISHED
74	224269.1749	192393.0546	TO BE ESTABLISHED
75	224271.8457	192389.7755	TO BE ESTABLISHED
76	224267.8282	192391.0213	TO BE ESTABLISHED
77	224268.7020	192386.6122	TO BE ESTABLISHED
78	224260.3888	192384.9731	TO BE ESTABLISHED
79	224259.1318	192391.2116	TO BE ESTABLISHED
80	224257.7780	192390.9305	TO BE ESTABLISHED
81	224257.3911	192392.2576	TO BE ESTABLISHED
82	224244.7527	192389.2891	TO BE ESTABLISHED
83	224243.2987	192395.1468	TO BE ESTABLISHED
84	224255.4569	192398.0268	TO BE ESTABLISHED
85	224254.1768	192399.9262	TO BE ESTABLISHED
86	224256.4724	192399.8767	TO BE ESTABLISHED
87	224255.9134	192402.9618	TO BE ESTABLISHED
88	224254.5629	192402.6287	TO BE ESTABLISHED
89	224254.6713	192404.0157	TO BE ESTABLISHED
90	224253.7480	192404.0746	TO BE ESTABLISHED
91	224252.7926	192408.9073	TO BE ESTABLISHED
92	224258.9491	192410.0634	TO BE ESTABLISHED
93	224260.6352	192401.5435	TO BE ESTABLISHED
94	224262.3835	192401.1473	TO BE ESTABLISHED
95	224262.3428	192399.6364	TO BE ESTABLISHED
96	224271.0434	192401.5532	TO BE ESTABLISHED

POINT	NORTHING	EASTING	DESCRIPTION
97	224262.9153	192444.9288	TO BE ESTABLISHED
98	224253.8699	192443.2940	TO BE ESTABLISHED
99	224254.1368	192441.5651	TO BE ESTABLISHED
100	224252.3921	192441.4357	TO BE ESTABLISHED
101	224253.7614	192434.9297	TO BE ESTABLISHED
102	224249.5379	192434.1366	TO BE ESTABLISHED
103	224249.5197	192434.3543	TO BE ESTABLISHED
104	224247.6341	192441.3786	TO BE ESTABLISHED
105	224246.2546	192439.0845	TO BE ESTABLISHED
106	224245.7410	192441.7120	TO BE ESTABLISHED
107	224235.2688	192439.6466	TO BE ESTABLISHED
108	224234.1036	192445.5005	TO BE ESTABLISHED
109	224243.6260	192447.4050	TO BE ESTABLISHED
110	224243.0853	192450.3444	TO BE ESTABLISHED
111	224246.0521	192450.7706	TO BE ESTABLISHED
112	224244.2987	192460.3597	TO BE ESTABLISHED
113	224248.9522	192461.2336	TO BE ESTABLISHED
114	224250.8750	192450.9960	TO BE ESTABLISHED
115	224252.9488	192451.3196	TO BE ESTABLISHED
116	224253.4130	192449.2730	TO BE ESTABLISHED
117	224261.8527	192450.8505	TO BE ESTABLISHED



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
 Lic. No. 15,863

- CONSULTANTS**
- SURVEY & TOPOGRAPHY ALBERTO ROSALES (Lic. No. 15,863)
 - CIVIL, JORGE L. PÉREZ RUIZ (Lic. No. 15,863)
 - ARCHITECTURAL, JORGE L. PÉREZ RUIZ (Lic. No. 15,863)
 - STRUCTURAL, JOSE QUINTON (Lic. No. 15,908)

NOTE
 Sr. Jorge Pérez, Licencia No. 15,863, comprobé que soy el profesional que preparó estos planos y los especificaciones contenidas en ellos. Comprobo que se han seguido las normas y especificaciones vigentes en la materia, con las modificaciones o complementos que he realizado en el curso del trabajo, que se han de observar en la ejecución de los trabajos. Es de mi deber, como profesional, el deber de ser responsable de lo que he hecho y de lo que he autorizado a otros a hacer en el curso del trabajo. Es de mi deber, como profesional, el deber de ser responsable de lo que he hecho y de lo que he autorizado a otros a hacer en el curso del trabajo. Es de mi deber, como profesional, el deber de ser responsable de lo que he hecho y de lo que he autorizado a otros a hacer en el curso del trabajo.

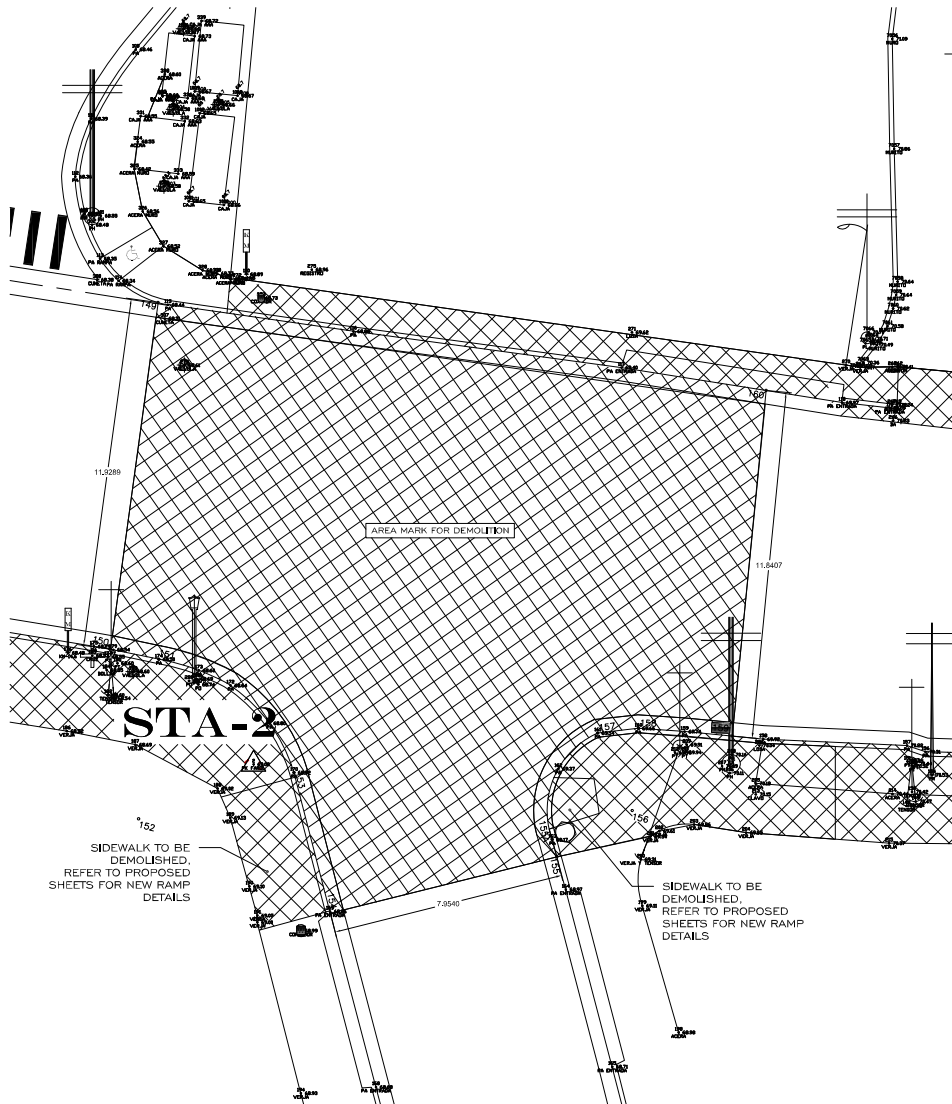


WORKING DRAWINGS FOR:
 PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
CALLE F DEGETAU #35
JUANA DIAZ, PUERTO RICO

DRAWING NAME
 ENLARGED DEMOLITION PLAN
 INTERSECTION - 7

SCALE: 1" = 20'	BIDDER DATE: JUN. 2024
DRAWN BY: EMP. AIT	CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DRAWING NO. CD-207	SHEET NO. 14 OF 125

INTERSECTION 7-7A ENLARGED PLAN
 SCALE: 1" = 2'



IMPORTANT NOTES:

1. POINT COORDINATES GIVEN ARE FOR DEMOLITION LIMITS REFERENCE.
2. ALL CURBS AND GUTTERS TO REMAIN WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMO IS DONE, MATCH WHERE THE NEW SECTION MEETS EXISTING, MATCH CURB HEIGHT TO EXISTING.
3. DEMO PAVEMENT SECTION TO SUB-BASE, VERIFY ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET EXISTING CURB GRADE.
4. AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
5. SUB-BASE HAS TO BE TESTED FOR STABILITY BY THE GEOTECHNICAL ENGINEER PRIOR TO THE INSTALLATION OF THE NEW PAVEMENT OR PAVER SECTION GRADE.
6. THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAVER SECTION GRADE.
7. THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES RE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
8. LONGITUDINAL HANDICAP RAMPS WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK.
9. HANDICAP MAIN RAMP SLOPES SHALL NOT BE GREATER THAN 1.5%, ACCESS RAMP SLOPE FROM TREES CUTTER TO MAIN RAMPS SHALL NOT BE GREATER THAN 2%.
10. CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT, OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
11. EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
12. NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
13. ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED.
14. ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
15. ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
16. EXISTING TREES SHALL REMAIN.
17. FROM INTERSECTION 9 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT. MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
18. WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
19. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES TO BE DEMOLISHED.
20. IF THE PRIVATE PROPERTY ENTRANCES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
21. ALL SEWER GRILLS SHOULD BE REPLACED.

POINT TIE DOWN DATA

POINT	NORTHING	EASTING	DESCRIPTION
149	224175.2872	192857.7493	TO BE ESTABLISHED
150	224163.4690	192856.1276	TO BE ESTABLISHED
151	224183.1270	192857.7736	TO BE ESTABLISHED
152	224157.6867	192857.0884	TO BE ESTABLISHED
153	224159.2620	192862.3795	TO BE ESTABLISHED
154	224154.4628	192863.6234	TO BE ESTABLISHED
155	224156.3903	192871.3404	TO BE ESTABLISHED
155A	224156.9841	192871.1800	TO BE ESTABLISHED
156	224157.9663	192873.9090	TO BE ESTABLISHED
157	224160.6130	192872.7316	TO BE ESTABLISHED
158	224160.7690	192874.1166	TO BE ESTABLISHED
159	224160.5101	192877.3200	TO BE ESTABLISHED
160	224172.2888	192878.4747	TO BE ESTABLISHED

LEGEND:

- TREE/UNCLASSIFIED
- MANHOLE/ALL CLASS
- AAA METER
- ☒ ORNAMENTAL LUMINARY
- BENCH
- BOLLARD
- | ORNAMENTAL LIGHT POLE
- | POWER POLE
- | UTILITY POLE
- | LUMINARY POLE
- | KM MARKER
- TRAFFIC SIGN
- ◎ SANITARY SEWER MH
- ◎ SANITARY SEWER MH
- ◎ POWER UTILITY MH

INTERSECTION I-2 ENLARGED PLAN
SCALE: 1:2



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
Lic. No. 15,863

CONSULTANTS
1. SURVEY & TOPOGRAPHY (ALBERTO ROSALES) (Lic. No. 15,863)
2. CIVIL (JORGE L. PÉREZ RUIZ) (Lic. No. 15,863)
3. ARCHITECTURAL (JORGE L. PÉREZ RUIZ) (Lic. No. 15,863)
4. STRUCTURAL (JOSE GONZON) (Lic. No. 1,908)

NOTE
Yo, Jorge Pérez, Licencia No. 15,863, COMPROVO QUE SOY EL PROFESIONAL QUE PREPARÉ ESTOS PLANOS Y LOS ESPERADIZADOS CORRESPONDIENTES. TAMBIÉN COMPROVO QUE ENTENDÍ QUE ESTOS PLANOS Y ESPERADIZADOS DEBERÍAN SER USADOS PARA LA EJECUCIÓN DE LA OBRA, JUNTO A LAS INSTRUCCIONES Y CONDICIONES PRELIMINARES, ANEXOS, Y CONDICIONES ADICIONALES QUE SE PREPARARON DE ESTOS PLANOS Y ESPERADIZADOS DE LA COMPANIA CON LA PRESENCIA DE LA AUTORIDAD REGULADORA. ESTOS PLANOS Y ESPERADIZADOS SON EL RESULTADO DE MI TRABAJO PROFESIONAL Y SON RESPONSABLE DE LA VERDAD DE LOS DATOS Y DE LA CORRECTA EJECUCION DE LA OBRA. ESTOS PLANOS Y ESPERADIZADOS SON EL RESULTADO DE MI TRABAJO PROFESIONAL Y SON RESPONSABLE DE LA VERDAD DE LOS DATOS Y DE LA CORRECTA EJECUCION DE LA OBRA. ESTOS PLANOS Y ESPERADIZADOS SON EL RESULTADO DE MI TRABAJO PROFESIONAL Y SON RESPONSABLE DE LA VERDAD DE LOS DATOS Y DE LA CORRECTA EJECUCION DE LA OBRA.



WORKING DRAWINGS FOR:
PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
CALLE F DEGETAU #35
JUANA DIAZ, PUERTO RICO

DRAWING NAME
ENLARGED DEMOLITION PLAN INTERSECTION - I 2

SCALE: 1:2 BIDDEN DATE: JUN. 2024
DRAWN BY: EMP. AIT CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DRAWING NO. CD-212 SHEET NO. 19 OF 125



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
 Lic. No. 15,863

- CONSULTANTS
1. SURVEY & TOPOGRAPHY [ALBERTO ROSALES] (Lic. No. 8185)
 2. CIVIL [JORGE L. PÉREZ RUIZ] (Lic. No. 15,863)
 3. ARCHITECTURAL [JORGE L. PÉREZ RUIZ] (Lic. No. 15,863)
 4. STRUCTURAL [JOSE GONZON] (Lic. No. 1300)

NOTE
 Yo, JORGE PÉREZ RUIZ, Licencia No. 15,863, COMPROVO QUE SOY EL PROFESIONAL QUE PREPARÉ ESTOS PLANOS Y LOS RESPONSABILIZO COMPLETAMENTE. TAMBIÉN, COMPROVO QUE ENTENDÍ QUE ESTOS PLANOS Y RESPONSABILIZO ENTENDÍ QUE ESTOS PLANOS SON UN INSTRUMENTO DE TRABAJO QUE DEBE SER USADO DE ACORDO A LA LEGISLACIÓN EN VIGENCIA EN EL MOMENTO DE SU ELABORACIÓN. ESTOS PLANOS SON UN INSTRUMENTO DE TRABAJO QUE DEBE SER USADO DE ACORDO A LA LEGISLACIÓN EN VIGENCIA EN EL MOMENTO DE SU ELABORACIÓN. ESTOS PLANOS SON UN INSTRUMENTO DE TRABAJO QUE DEBE SER USADO DE ACORDO A LA LEGISLACIÓN EN VIGENCIA EN EL MOMENTO DE SU ELABORACIÓN.



CERTIFICATION

WORKING DRAWINGS FOR:
 PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
 CALLE F DEGETAU #35
 JUANA DIAZ, PUERTO RICO

DRAWING NAME
ENLARGED DEMOLITION PLAN INTERSECTION - I 3

SCALE: 1:2
 BIDDER DATE: JUN. 2024
 DRAWN BY: JORGE L. PÉREZ RUIZ, PE
 CHECKED BY: JORGE L. PÉREZ RUIZ, PE
 DRAWING NO. CD-213
 SHEET NO. 20 OF 125

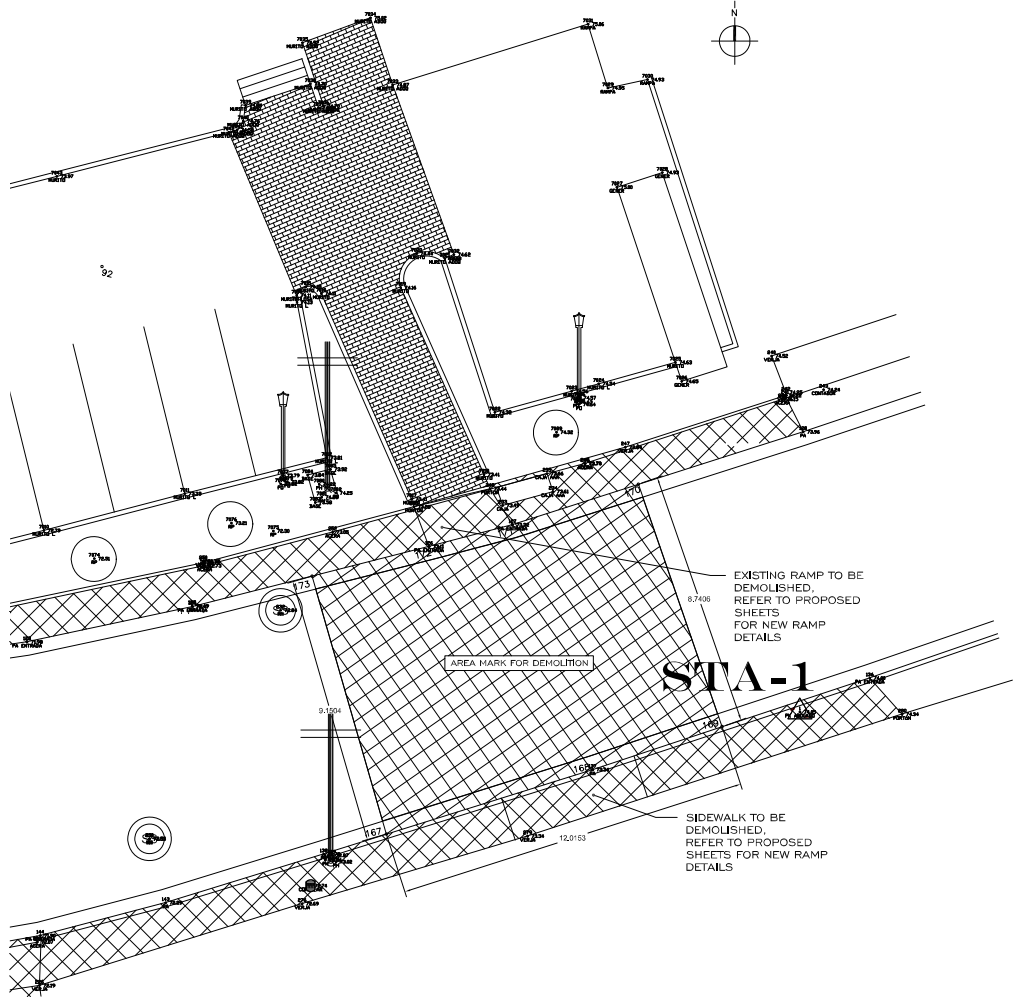
IMPORTANT NOTES:

1. POINT COORDINATES GIVEN ARE FOR DEMOLITION LIMITS REFERENCE.
2. ALL CURBS AND GUTTERS TO REMAIN, WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMO IS DONE, MATCH WHERE THE NEW SECTION MEETS EXISTING. MATCH CURB HEIGHT TO EXISTING.
3. DEMO PAVEMENT SECTION TO SUB-BASE, VERIFY ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
4. AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
5. SUB-BASE HAS TO BE TESTED FOR STABILITY BY THE GEOTECHNICAL ENGINEER PRIOR TO THE INSTALLATION OF THE NEW PAVEMENT OR PAPER SECTION.
6. THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAPER SECTION GRADE.
7. THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
8. LONGITUDINAL HANDICAP RAMPS WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK.
9. HANDICAP MAIN RAMP SLOPES SHALL NOT BE GREATER THAN 8.3%, ACCESS RAMP SLOPE FROM TREES GUTTER TO MAIN RAMPS SHALL NOT BE GREATER THAN 5%.
10. CURB SECTIONS TO BE REPLACED UNITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT, OTHERWISE THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
11. EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
12. NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
13. ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED.
14. ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
15. ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
16. EXISTING TREES SHALL REMAIN.
17. FROM INTERSECTION 9 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT. MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
18. WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
19. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES TO BE DEMOLISHED.
20. IF THE PRIVATE PROPERTY ENTRANCES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
21. ALL SEWER GRILLS SHOULD BE REPLACED.

POINT TIE DOWN DATA			
POINT	NORTHING	EASTING	DESCRIPTION
167	224165.0151	192917.7999	TO BE ESTABLISHED
168	224167.2130	192924.8236	TO BE ESTABLISHED
169	224168.6806	192929.2423	TO BE ESTABLISHED
170	224176.9422	192926.3857	TO BE ESTABLISHED
171	224175.5620	192922.0926	TO BE ESTABLISHED
172	224174.8200	192919.2516	TO BE ESTABLISHED
173	224173.8068	192915.2628	TO BE ESTABLISHED

LEGEND:

- TREE/UNCLASSIFIED
- _{MH} MANHOLE/ALL CLASS
- AAA METER
- ⊠ ORNAMENTAL LUMINARY
- ▭ BENCH
- BOLLARD
- ┆ ORNAMENTAL LIGHT POLE
- ┆ POWER POLE
- ┆ UTILITY POLE
- ┆ LUMINARY POLE
- ┆ KM MARKER
- TRAFFIC SIGN
- ⊙ SANITARY SEWER MH
- ⊙ SANITARY SEWER MH
- ⊙ POWER UTILITY MH



INTERSECTION I 3 ENLARGED PLAN
 SCALE: 1:2



- IMPORTANT NOTES:**
1. POINT COORDINATES GIVEN ARE FOR DEMOLITION LIMITS REFERENCE.
 2. ALL CURBS AND GUTTERS TO REMAIN WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMO IS DONE, MATCH WHERE THE NEW SECTION MEETS EXISTING. MATCH CURB HEIGHT TO EXISTING.
 3. DEMO PAVEMENT SECTION TO SUB-BASE. VERIFY ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET EXISTING CURB GRADE.
 4. AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
 5. SUBGRADE WAS TO BE TESTED FOR STABILITY BY THE GEOTECHNICAL ENGINEER PRIOR TO THE INSTALLATION OF THE NEW PAVEMENT OR PAPER SECTION.
 6. THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAPER SECTION GRADE.
 7. THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
 8. LONGITUDINAL HANDICAP RAMPS WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK.
 9. HANDICAP RAMP SLOPES SHALL NOT BE GREATER THAN 8.3%. ACCESS RAMP SLOPE FROM TREES GUTTER TO MAIN RAMPS SHALL NOT BE GREATER THAN 2%.
 10. CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT. OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION POINT.
 11. EXISTING SIDEWALKS TO REMAIN SHALL BE PRESSURE WASHED, CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
 12. NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
 13. ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED.
 14. ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
 15. ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
 16. EXISTING TREES SHALL REMAIN.
 17. FROM INTERSECTION ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT. MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
 18. WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
 19. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES TO BE DEMOLISHED.
 20. IF THE PRIVATE PROPERTY ENTRANCES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
 21. ALL SEWER GRILLS SHOULD BE REPLACED.
 22. SHOULD BE A CONCRETE FORMWORK ON THE PERIMETER OF THE PAPER FLOOR OF 2'.

GEOMETRIC LAYOUT MATCH LINE 1-1
SCALE: 1" = 8'



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
LIC. No. 15,863

CONSULTANTS

1. SURVEY & TOPOGRAPHY | ALBERTO RODRIGUEZ (LIC. No. 18,892)
2. CIVIL | JORGE L. PÉREZ RUIZ (LIC. No. 15,863)
3. ARCHITECTURAL | JORGE L. PÉREZ RUIZ (LIC. No. 15,863)
4. STRUCTURAL | JOSE GENTRON (LIC. No. 1,908)

NOTE

No. Jorge Pérez, Licencia No. 15,863, compró que sea la responsabilidad del profesional, quien asume la responsabilidad de los trabajos que se le encomiendan, así como la de los errores que se cometan en el desarrollo de los mismos, así como la de los daños que se ocasionen a terceros por culpa o negligencia. Este documento es una copia de la versión original que se encuentra en el expediente de la obra. Este documento es una copia de la versión original que se encuentra en el expediente de la obra.

CERTIFICATION



WORKING DRAWINGS FOR:
PR-CRP-000437

RUTA DE LOS TRES SANTOS REYES
CALLE F DEGETAU #35
JUANA DIAZ, PUERTO RICO

DRAWING NAME

GEOMETRIC LAYOUT
GENERAL KEY PLAN
MATCH LINE 1-1

SCALE: 1" = 8'	ISSUED DATE: JUN 2024
DRAWN BY: EMP, AIT	CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DRAWING NO: CS-101	SHEET NO: 21

125



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
 Lic. No. 15,863

- CONSULTANTS
1. SURVEY & TOPOGRAPHY | ALBERTO ROSALES (Lic. No. 15,863)
 2. CIVIL | JORGE L. PÉREZ RUIZ (Lic. No. 15,863)
 3. ARCHITECTURAL | JORGE L. PÉREZ RUIZ (Lic. No. 15,863)
 4. STRUCTURAL | JOSE QUINTON (Lic. No. 15,900)

NOTE
 Yo, Jorge Pérez, Licencia No. 15,863, confirmo que soy el profesional que preparó estos planos y los correspondientes complementos. También confirmo que he verificado que estos planos y complementos cumplen con los requisitos establecidos en el Reglamento General de Construcción de Edificaciones del Municipio de Puerto Rico, y que he verificado que los planos y complementos cumplen con los requisitos de la Ley de Ordenamiento Urbanístico y del Reglamento General de Construcción de Edificaciones del Municipio de Puerto Rico, y que he verificado que los planos y complementos cumplen con los requisitos de la Ley de Ordenamiento Urbanístico y del Reglamento General de Construcción de Edificaciones del Municipio de Puerto Rico, y que he verificado que los planos y complementos cumplen con los requisitos de la Ley de Ordenamiento Urbanístico y del Reglamento General de Construcción de Edificaciones del Municipio de Puerto Rico.



WORKING DRAWINGS FOR:
 PR-CRP-000437
 RUTA DE LOS TRES SANTOS REYES
 CALLE F DEGETAU #35
 JUANA DIAZ, PUERTO RICO

DRAWING NAME
ENLARGED GEOMETRIC PLAN INTERSECTION - 2

SCALE: 1:2 BIDDER DATE: JUN 2024
 DRAWN BY: EMP. AIT CHECKED BY: JORGE L. PÉREZ RUIZ, PE
 DRAWING NO. SHEET NO.
CS-202 25 OF 125

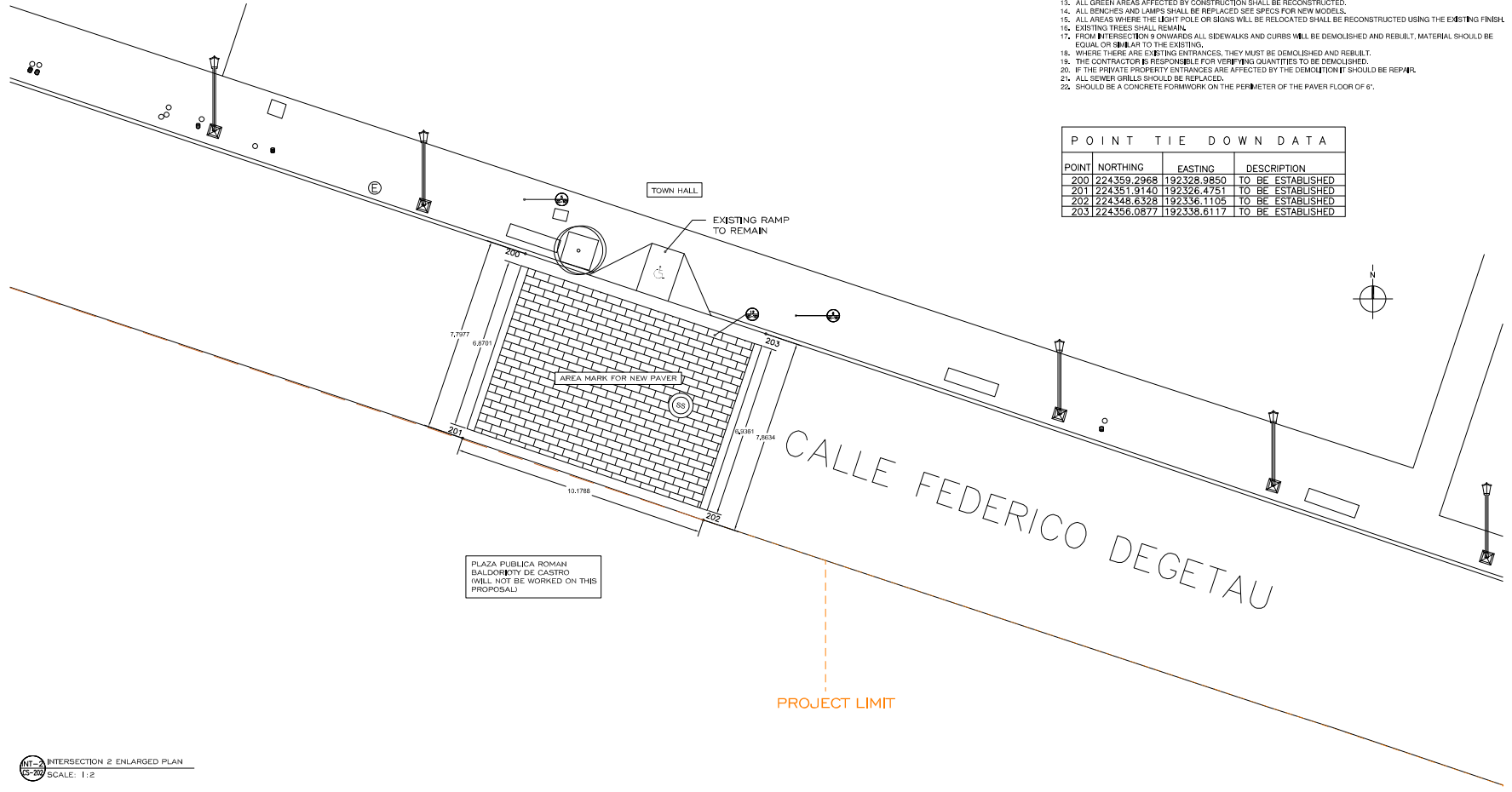
LEGEND:

- | | | |
|-----------------------|-------------------------|---------------------|
| ○ TREE/UNCLASSIFIED | — ORNAMENTAL LIGHT POLE | ○ TRAFFIC SIGN |
| ○ MANHOLE/ALL CLASS | — POWER POLE | ○ SANITARY SEWER MH |
| ● AAA METER | — UTILITY POLE | ○ SANITARY SEWER MH |
| ⊠ ORNAMENTAL LUMINARY | — LUMINARY POLE | ○ POWER UTILITY MH |
| ▭ BENCH | — KM MARKER | |
| ● BOLLARD | | |

IMPORTANT NOTES:

1. POINT COORDINATES GIVEN ARE FOR DEMOLITION LIMITS REFERENCE.
2. ALL CURBS AND GUTTERS TO REMAIN, WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMO IS DONE, MATCH WHERE THE NEW SECTION MEETS EXISTING, MATCH CURB HEIGHT TO EXISTING.
3. DEMO PAVEMENT SECTION TO SUB-BASE. VERIFY ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
4. AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
5. SUBBASE HAS TO BE TESTED FOR STABILITY BY THE GEOTECHNICAL ENGINEER PRIOR TO THE INSTALLATION OF THE NEW PAVEMENT OR PAVEMENT SECTION.
6. THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATINGS AND OTHER UTILITY COVERS CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND/OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAVEMENT SECTION GRADE.
7. THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
8. LONGITUDINAL HANDICAP RAMPS WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK.
9. HANDICAP MAIN RAMP SLOPES SHALL NOT BE GREATER THAN 8.3%. ACCESS RAMP SLOPE FROM TREES GUTTER TO MAIN RAMPS SHALL NOT BE GREATER THAN 2%.
10. CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT, OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND KEYWELLS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
11. EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
12. NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
13. ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED.
14. ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
15. ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
16. EXISTING TREES SHALL REMAIN.
17. FROM INTERSECTION & ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT. MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
18. WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
19. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES TO BE DEMOLISHED.
20. IF THE PRIVATE PROPERTY ENTRANCES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
21. ALL SEWER GRILLS SHOULD BE REPLACED.
22. SHOULD BE A CONCRETE FORMWORK ON THE PERIMETER OF THE PAVEMENT FLOOR OF 6".

POINT TIE DOWN DATA			
POINT	NORTHING	EASTING	DESCRIPTION
200	224359.2968	192328.9850	TO BE ESTABLISHED
201	224351.9140	192326.4751	TO BE ESTABLISHED
202	224348.6328	192336.1105	TO BE ESTABLISHED
203	224356.0877	192338.6117	TO BE ESTABLISHED



INTERSECTION 2 ENLARGED PLAN
 SCALE: 1:2

LEGEND:

- | | | |
|-----------------------------------|-------------------------|---------------------|
| ○ TREE/UNCLASSIFIED | — ORNAMENTAL LIGHT POLE | ○ TRAFFIC SIGN |
| ○ _{MH} MANHOLE/ALL CLASS | — POWER POLE | ⊙ SANITARY SEWER MH |
| ● AAA METER | — UTILITY POLE | ⊙ SANITARY SEWER MH |
| ⊠ ORNAMENTAL LUMINARY | — LUMINARY POLE | ⊙ POWER UTILITY MH |
| ▭ BENCH | — KM MARKER | |
| ● BOLLARD | | |

IMPORTANT NOTES:

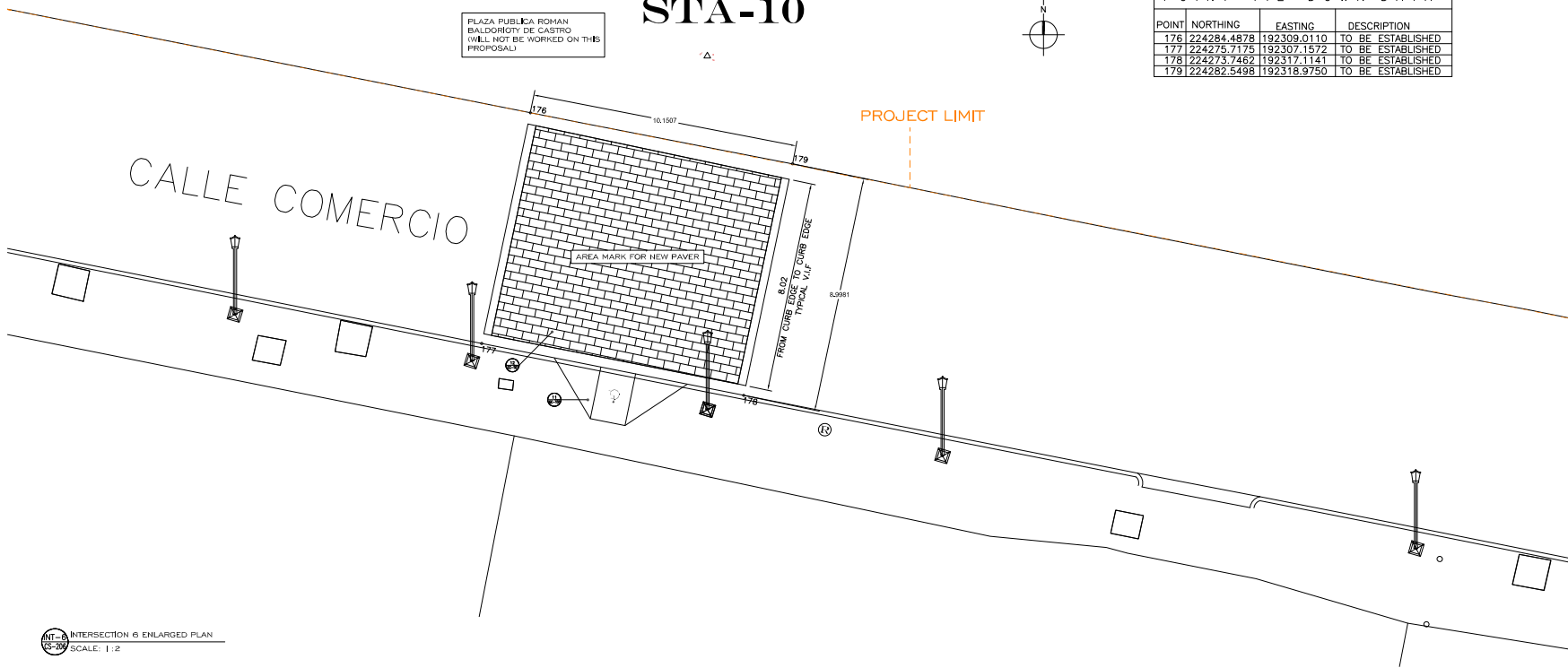
1. POINT COORDINATES GIVEN ARE FOR DEMOLITION LIMITS REFERENCE.
2. ALL CURBS AND GUTTERS TO REMAIN WHEN REMOVING THE SECTIONS TAKEN OUT WHEN RAMP DEMO IS DONE. MATCH WHERE THE NEW SECTION MEETS EXISTING MATCH CURB HEIGHT TO EXISTING.
3. DEMO PAVEMENT SECTION TO SUB-BASE, VERIFY ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
4. AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
5. SUB-BASE HAS TO BE TESTED FOR STABILITY BY THE GEOTECHNICAL ENGINEER PRIOR TO THE INSTALLATION OF THE NEW PAVEMENT OR PAVEMENT SECTION.
6. THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS CONDITION WITH IN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAVEMENT SECTION GRADE.
7. THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
8. LONGITUDINAL HANDICAP RAMPS WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK.
9. HANDICAP MAIN RAMPS SLOPES SHALL NOT BE GREATER THAN 8.3% ACCESS RAMP SLOPE FROM TREES GUTTER TO MAIN RAMPS SHALL NO BE GREATER THAN 2%.
10. CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT, OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
11. EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
12. NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
13. ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED.
14. ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
15. ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
16. EXISTING TREES SHALL REMAIN.
17. FROM INTERSECTION 9 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT. MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
18. WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
19. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES TO BE DEMOLISHED.
20. IF THE PRIVATE PROPERTY ENTRANCES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
21. ALL SEWER GRILLS SHOULD BE REPLACED.
22. SHOULD BE A CONCRETE FORMWORK ON THE PERIMETER OF THE PAVEMENT FLOOR OF 6".

STA-10

PLAZA PUBLICA ROMAN BALDORIOY DE CASTRO WILL NOT BE WORKED ON THIS PROPOSAL



POINT TIE DOWN DATA			
POINT	NORTHING	EASTING	DESCRIPTION
176	224284.4878	192309.0110	TO BE ESTABLISHED
177	224275.7175	192307.1572	TO BE ESTABLISHED
178	224273.7462	192317.1141	TO BE ESTABLISHED
179	224282.5498	192318.9750	TO BE ESTABLISHED



INTERSECTION 6 ENLARGED PLAN
SCALE: 1:2



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
Lic. No. 15,863

- CONSULTANTS
1. SURVEY & TOPOGRAPHY [ALBERTO ROSALES] (Lic. No. 8185)
 2. CIVIL [JORGE L. PÉREZ RUIZ, PE, No. 15,863]
 3. ARCHITECTURAL [JORGE L. PÉREZ RUIZ, PE, No. 15,863]
 4. STRUCTURAL [JOSE GONZON] (Lic. No. 1308)

NOTE
Yo, Jorge Pérez, Licencia No. 15,863, certifico que soy el profesional que preparó estos planos y los expedientes correspondientes. También certifico que he verificado que estos planos y expedientes cumplen con los requisitos establecidos en el Reglamento General de Contratos de Obra Civil y en el Reglamento de la Ley de Contratos de Obra Civil, así como con la información de estos planos y expedientes de la obra. Asimismo, certifico que he verificado que estos planos y expedientes cumplen con los requisitos establecidos en el Reglamento General de Contratos de Obra Civil y en el Reglamento de la Ley de Contratos de Obra Civil, así como con la información de estos planos y expedientes de la obra. Asimismo, certifico que he verificado que estos planos y expedientes cumplen con los requisitos establecidos en el Reglamento General de Contratos de Obra Civil y en el Reglamento de la Ley de Contratos de Obra Civil, así como con la información de estos planos y expedientes de la obra.



WORKING DRAWINGS FOR:
PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
CALLE F DEGETAU #35
JUANA DIAZ, PUERTO RICO

DRAWING NAME
ENLARGED GEOMETRIC PLAN INTERSECTION - 6

SCALE: 1:2	BIDDER DATE: JUN. 2024
DRAWN BY: EMP. AIT	CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DRAWING NO. CS-206	SHEET NO. 29 OF 125



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
 Lic. No. 15,863

CONSULTANTS
 1. SURVEY & TOPOGRAPHY | ALBERTO ROSALESZ (Lic. No. 15,863)
 2. CIVIL | JORGE L. PÉREZ RUIZ (Lic. No. 15,863)
 3. ARCHITECTURAL | JORGE L. PÉREZ RUIZ (Lic. No. 15,863)
 4. STRUCTURAL | JOSE GONZALEZ (Lic. No. 15,908)

NOTE
 Mr. Juana Pérez, License No. 15,863, completed the work on the intervention of the existing STA-9 and the corresponding construction of the new curb and gutter, as well as the replacement of the existing pavement with new pavement. The work was carried out in accordance with the specifications of the project and the existing conditions of the site. The work was completed on June 15, 2024, and the final inspection was carried out on June 15, 2024. The work was carried out in accordance with the specifications of the project and the existing conditions of the site. The work was completed on June 15, 2024, and the final inspection was carried out on June 15, 2024.



WORKING DRAWINGS FOR:
 PR-CRP-000437
 RUTA DE LOS TRES SANTOS REYES
 CALLE F DEGETAU #35
 JUANA DIAZ, PUERTO RICO

ENLARGED GEOMETRIC PLAN
 INTERSECTION - 7

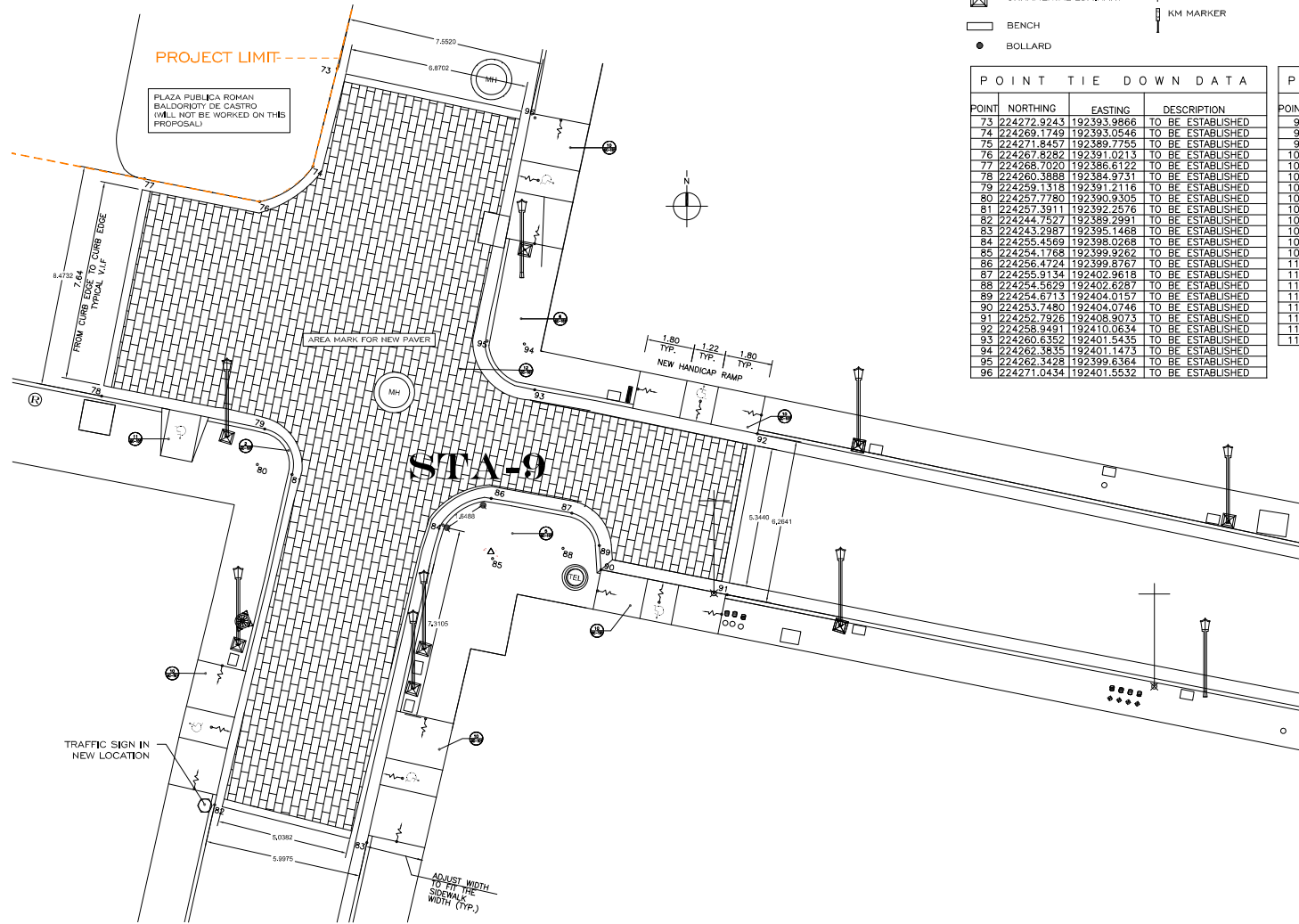
SCALE: 1:2	BIDDED DATE: JUN. 2024
DRAWN BY: EMP. AIT	CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DRAWING NO: CS-207	SHEET NO: 30 OF 125

LEGEND:

- TREE/UNCLASSIFIED
- MH MANHOLE/ALL CLASS
- AAA METER
- ⊠ ORNAMENTAL LUMINARY
- BENCH
- BOLLARD
- ORNAMENTAL LIGHT POLE
- ↑ POWER POLE
- ↑ UTILITY POLE
- ↑ LUMINARY POLE
- ↑ KM MARKER
- TRAFFIC SIGN
- ⊙ SANITARY SEWER MH
- ⊙ SANITARY SEWER MH
- ⊙ POWER UTILITY MH

POINT	NORTHING	EASTING	DESCRIPTION
73	224272.9243	192393.9866	TO BE ESTABLISHED
74	224269.1749	192393.0546	TO BE ESTABLISHED
75	224271.8457	192389.7755	TO BE ESTABLISHED
76	224267.9282	192391.0213	TO BE ESTABLISHED
77	224268.7020	192386.6122	TO BE ESTABLISHED
78	224260.3888	192384.9731	TO BE ESTABLISHED
79	224259.1318	192391.2116	TO BE ESTABLISHED
80	224257.7780	192390.9305	TO BE ESTABLISHED
81	224257.5911	192392.2576	TO BE ESTABLISHED
82	224244.7977	192389.9991	TO BE ESTABLISHED
83	224243.2987	192395.1468	TO BE ESTABLISHED
84	224255.4569	192398.0268	TO BE ESTABLISHED
85	224254.1768	192399.9262	TO BE ESTABLISHED
86	224256.4724	192399.8767	TO BE ESTABLISHED
87	224255.9134	192402.9618	TO BE ESTABLISHED
88	224254.5629	192402.6287	TO BE ESTABLISHED
89	224254.6713	192404.0157	TO BE ESTABLISHED
90	224253.7480	192404.0746	TO BE ESTABLISHED
91	224252.7926	192408.9073	TO BE ESTABLISHED
92	224258.9491	192410.0634	TO BE ESTABLISHED
93	224260.6352	192401.5435	TO BE ESTABLISHED
94	224262.3835	192401.1473	TO BE ESTABLISHED
95	224262.3428	192399.6364	TO BE ESTABLISHED
96	224271.0434	192401.5532	TO BE ESTABLISHED

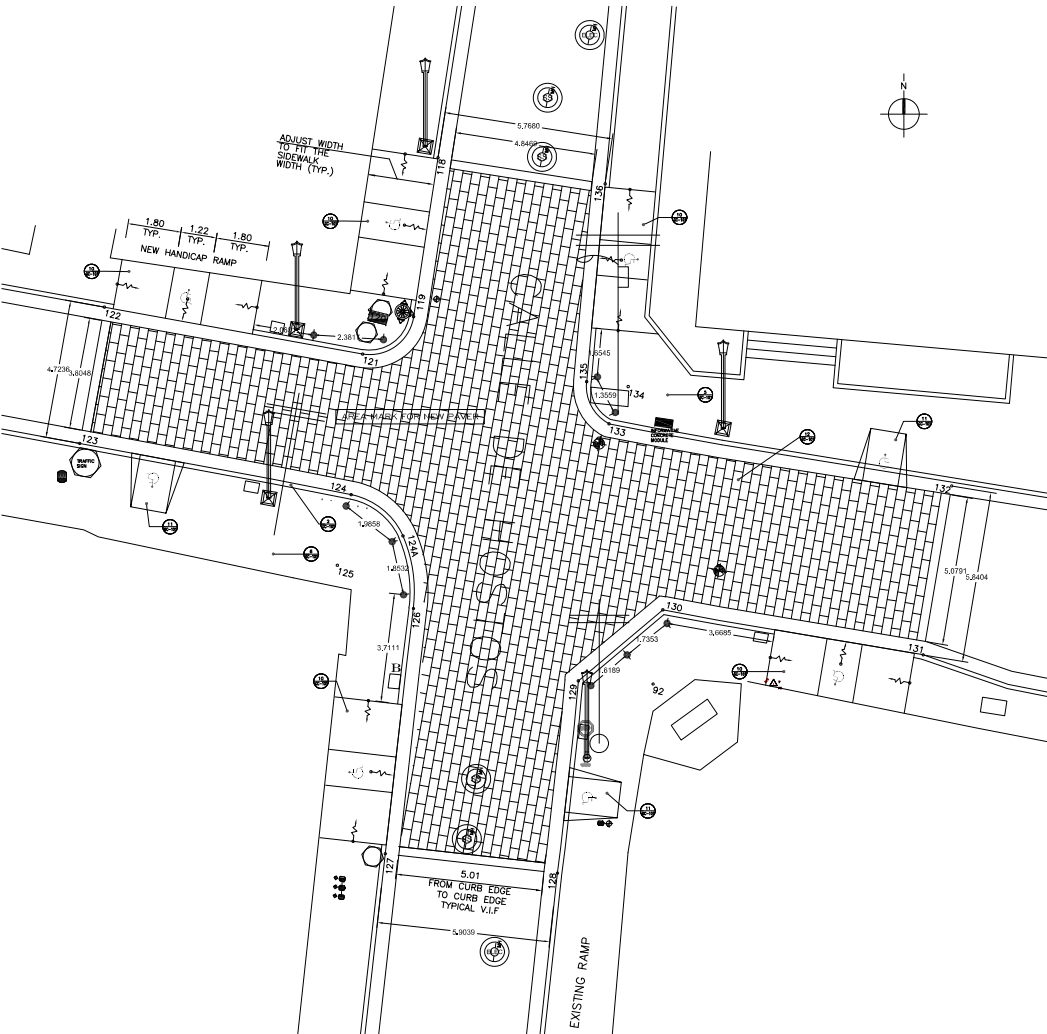
POINT	NORTHING	EASTING	DESCRIPTION
97	224262.9153	192444.9288	TO BE ESTABLISHED
98	224253.8690	192443.2940	TO BE ESTABLISHED
99	224254.1368	192441.5651	TO BE ESTABLISHED
100	224252.3927	192441.4357	TO BE ESTABLISHED
101	224253.7614	192434.9297	TO BE ESTABLISHED
102	224249.5379	192434.1566	TO BE ESTABLISHED
103	224249.5197	192434.3543	TO BE ESTABLISHED
104	224247.6341	192441.3786	TO BE ESTABLISHED
105	224245.3546	192439.0845	TO BE ESTABLISHED
106	22425.7416	192441.7120	TO BE ESTABLISHED
107	224235.2688	192439.6466	TO BE ESTABLISHED
108	224234.1036	192445.5005	TO BE ESTABLISHED
109	224243.6260	192447.4050	TO BE ESTABLISHED
110	224243.0953	192450.3444	TO BE ESTABLISHED
111	224246.0521	192450.7706	TO BE ESTABLISHED
112	224244.2987	192460.3597	TO BE ESTABLISHED
113	224248.9522	192461.2336	TO BE ESTABLISHED
114	224250.8755	192450.9960	TO BE ESTABLISHED
115	224252.9489	192451.3196	TO BE ESTABLISHED
116	224253.4130	192449.2730	TO BE ESTABLISHED
117	224261.8527	192450.8505	TO BE ESTABLISHED



IMPORTANT NOTES:

- POINT COORDINATES GIVEN ARE FOR DEMOLITION LIMITS REFERENCE.
- ALL CURBS AND GUTTERS TO REMAIN WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMO IS DONE, MATCH WHERE THE NEW SECTION MEETS EXISTING MATCH CURB HEIGHT TO EXISTING.
- DEMOLISH PAVEMENT SECTION TO SUB-BASE, VERIFY ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
- AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED. SUB-BASE HAS TO BE TESTED FOR STABILITY BY THE GEOTECHNICAL ENGINEER PRIOR TO THE INSTALLATION OF THE NEW PAVEMENT OR PAVEMENT SECTION.
- THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS CONFORM WITH THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAVEMENT SECTION.
- THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
- LONGITUDINAL HANDICAP RAMPS WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK.
- HANDICAP RAMP SLOPES SHALL NOT BE GREATER THAN 2%. ACCESS RAMP SLOPE FROM TREES GUTTER TO MAIN RAMPS SHALL NOT BE GREATER THAN 2%.
- CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT, OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
- EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
- NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
- ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED.
- ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
- ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
- EXISTING TREES SHALL REMAIN.
- FROM INTERSECTION 3 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT. MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
- WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES TO BE DEMOLISHED.
- IF THE PRIVATE PROPERTY ENTRANCES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
- ALL SEWER GRILLS SHOULD BE REPLACED.
- SHOULD BE A CONCRETE FORMWORK ON THE PERIMETER OF THE PAVEMENT FLOOR OF 6".

INTERSECTION 7-7A ENLARGED PLAN
 SCALE: 1:2



INT-2 INTERSECTION 9 ENLARGED PLAN
CS-209 SCALE: 1:2

IMPORTANT NOTES:

- POINT COORDINATES GIVEN ARE FOR DEMOLITION LIMITS REFERENCE.
- ALL CURBS AND GUTTERS TO REMAIN, WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMO IS DONE, MATCH WHERE THE NEW SECTION MEETS EXISTING, MATCH CURB HEIGHT TO EXISTING.
- DEMO PAVEMENT SECTION TO SUB-BASE, VERIFY ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
- AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
- SUB-BASE HAS TO BE TESTED FOR STABILITY BY THE GEOTECHNICAL ENGINEER PRIOR TO THE INSTALLATION OF THE NEW PAVEMENT OR PAVEMENT SECTION.
- THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAVEMENT SECTION GRADE.
- THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
- LONGITUDINAL HANDICAP RAMPS WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK
- HANDICAP RAMP SLOPES SHALL NOT BE GREATER THAN 6.3%. ACCESS RAMP SLOPE FROM TREES
- CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT, OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
- EXISTING SIDEWALKS TO REMAIN SHALL BE PRESSURED WASHED.
- NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
- ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED.
- ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
- ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
- EXISTING TREES SHALL REMAIN.
- FROM INTERSECTION 9 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND RESULT, MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
- WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILD.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES TO BE DEMOLISHED.
- IF THE PRIVATE PROPERTY ENTRANCES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
- ALL SEWER GRILLS SHOULD BE REPLACED.
- SHOULD BE A CONCRETE FORMWORK ON THE PERIMETER OF THE PAVEMENT FLOOR OF 6".

POINT TIE DOWN DATA

POINT	NORTHING	EASTING	DESCRIPTION
118	224249.5720	192497.3645	TO BE ESTABLISHED
119	224244.1472	192496.5328	TO BE ESTABLISHED
120	224244.3757	192495.0300	TO BE ESTABLISHED
121	224242.8503	192494.7575	TO BE ESTABLISHED
122	224244.4737	192485.9947	TO BE ESTABLISHED
123	224239.8262	192485.1502	TO BE ESTABLISHED
124	224238.0781	192484.4072	TO BE ESTABLISHED
125	224235.8733	192483.9346	TO BE ESTABLISHED
126	224234.2011	192496.5262	TO BE ESTABLISHED
127	224225.8374	192495.5673	TO BE ESTABLISHED
128	224225.1782	192501.4342	TO BE ESTABLISHED
129	224231.7311	192502.1492	TO BE ESTABLISHED
130	224234.1531	192505.0272	TO BE ESTABLISHED
131	224232.6184	192513.9049	TO BE ESTABLISHED
132	224238.3779	192514.8757	TO BE ESTABLISHED
133	224240.4981	192503.1942	TO BE ESTABLISHED
134	224241.7624	192503.8519	TO BE ESTABLISHED
135	224241.9331	192502.4352	TO BE ESTABLISHED
136	224248.6790	192503.0629	TO BE ESTABLISHED

LEGEND:

- TREE/UNCLASSIFIED
- MANHOLE/ALL CLASS
- AAA METER
- ⊠ ORNAMENTAL LUMINARY
- BENCH
- BOLLARD
- ORNAMENTAL LIGHT POLE
- POWER POLE
- UTILITY POLE
- LUMINARY POLE
- KM MARKER
- TRAFFIC SIGN
- ⊙ SANITARY SEWER MH
- ⊙ SANITARY SEWER MH
- ⊙ POWER UTILITY MH



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
LIC. No. 15,863

- CONSULTANTS
- SURVEY & TOPOGRAPHY [ALBERTO ROSALES] (LIC. No. 15,863)
 - CIVIL [JORGE L. PÉREZ RUIZ] (LIC. No. 15,863)
 - ARCHITECTURAL [JORGE L. PÉREZ RUIZ] (LIC. No. 15,863)
 - STRUCTURAL [JOSE GONZALEZ] (LIC. No. 1,908)

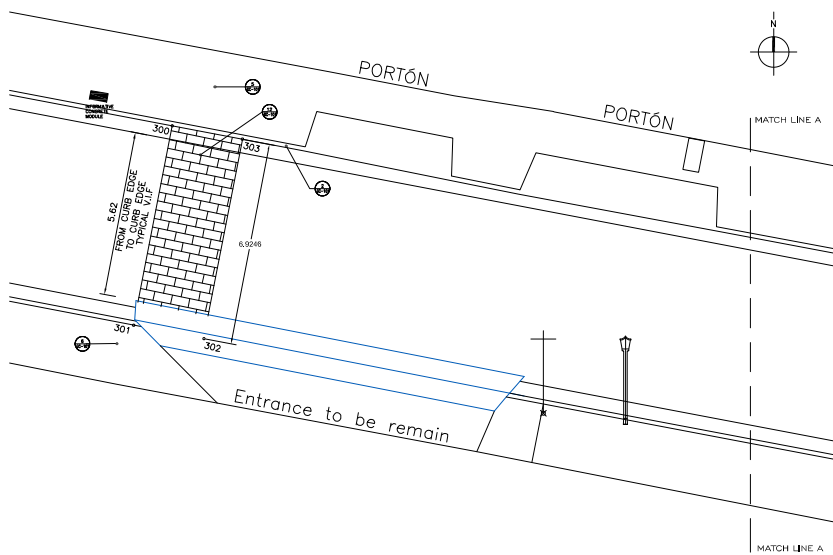
NOTE
Yo, Jorge Pérez, Licencia No. 15,863, certifico que soy el profesional que preparó estos planos y los correspondientes complementos. También certifico que ninguno de estos planos y sus modificaciones fueron elaborados por un ingeniero o arquitecto no registrado en la Asesoria, con sus autorizaciones o complementos. Firmado con mi sello profesional, según lo que se indica en la preparación de estos planos y complementos de la conformidad con los requisitos de la Ley No. 14 de 2004, sobre el ejercicio de la profesión de ingeniero y arquitecto en Puerto Rico. Es de mi cargo de 100%. Según el artículo 101 del Título IV de la Ley No. 101, sobre el ejercicio de la profesión de ingeniero y arquitecto que cualquier declaración falsa o falsificación de los datos que se han producido por el declarante o por terceros no sea permitida ni sea responsable de la declaración. Si por alguna razón fuera necesario, el profesional, de acuerdo con el artículo 101 de la Ley No. 101, sobre el ejercicio de la profesión de ingeniero y arquitecto, se comprometo a ser responsable por la declaración.



CERTIFICATION
WORKING DRAWINGS FOR:
PR-CRP-000-437
RUTA DE LOS TRES SANTOS REYES
CALLE F DEGETAU #35
JUANA DIAZ, PUERTO RICO

DRAWING NAME
ENLARGED GEOMETRIC PLAN INTERSECTION - 9

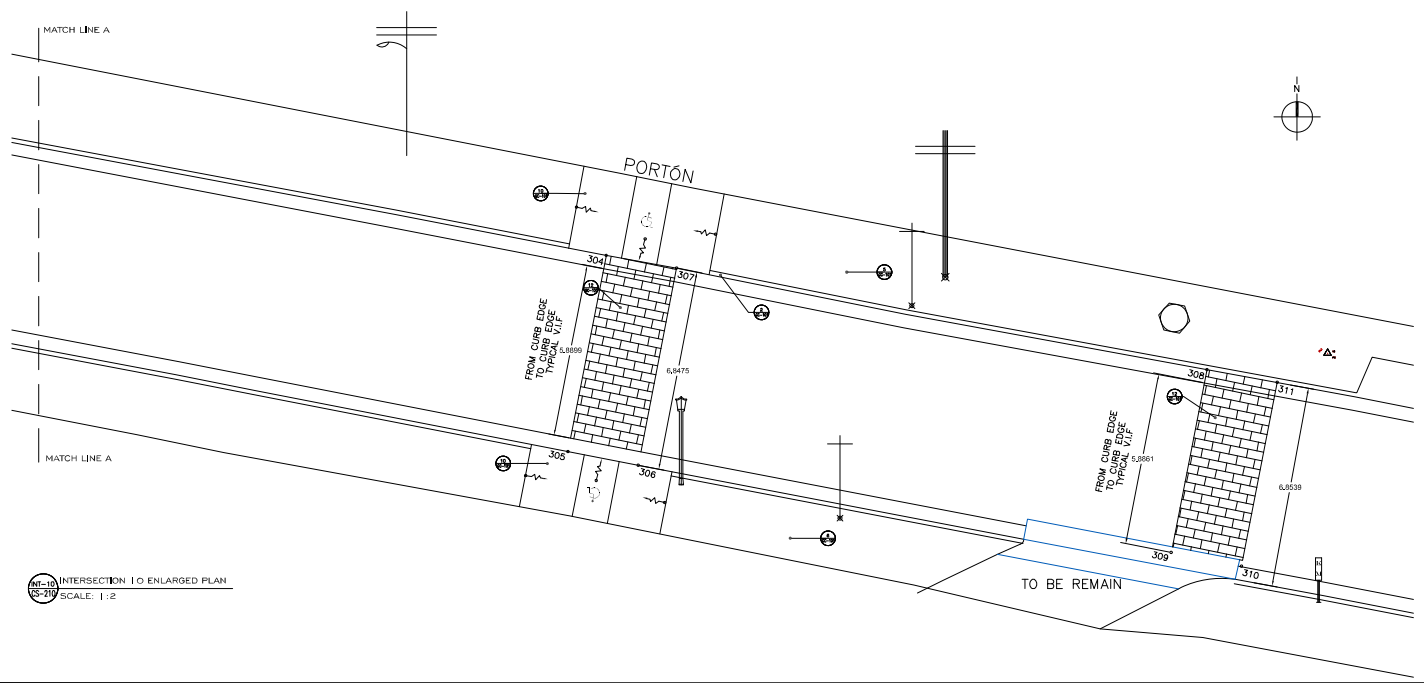
SCALE: 1:2
BIDDER DATE: JUN. 2024
DRAWN BY: EMP. AIT
CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DRAWING NO: CS-209
SHEET NO: 32 OF 125



POINT	NORTHING	EASTING	DESCRIPTION
300	224221.0110	192607.4848	TO BE ESTABLISHED
301	224214.2154	192606.1745	TO BE ESTABLISHED
302	224213.7586	192608.5663	TO BE ESTABLISHED
303	224220.5542	192609.8766	TO BE ESTABLISHED
304	224213.5244	192646.5351	TO BE ESTABLISHED
305	224207.2924	192645.3189	TO BE ESTABLISHED
306	224206.8255	192647.7130	TO BE ESTABLISHED
307	224213.0917	192648.9315	TO BE ESTABLISHED
308	224209.6337	192667.0108	TO BE ESTABLISHED
309	224203.4016	192665.7948	TO BE ESTABLISHED
310	224202.9348	192668.1896	TO BE ESTABLISHED
311	224209.2009	192669.4072	TO BE ESTABLISHED

LEGEND:

TREE/UNCLASSIFIED	ORNAMENTAL LIGHT POLE	TRAFFIC SIGN
MANHOLE/ALL CLASS	POWER POLE	SANITARY SEWER MH
AAA METER	UTILITY POLE	SANITARY SEWER MH
ORNAMENTAL LUMINARY	LUMINARY POLE	POWER UTILITY MH
BENCH	KM MARKER	
BOLLARD		



- IMPORTANT NOTES:**
- POINT COORDINATES GIVEN ARE FOR DEMOLITION LIMITS REFERENCE.
 - ALL CURBS AND GUTTERS TO REMAIN, WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMO IS DONE, MATCH WHERE THE NEW SECTION MEETS EXISTING MATCH CURB HEIGHT TO EXISTING.
 - DEMO PAVEMENT SECTION TO SUB-BASE, VERIFY ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
 - AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
 - SUB-BASE HAS TO BE TESTED FOR STABILITY BY THE GEOTECHNICAL ENGINEER PRIOR TO THE INSTALLATION OF THE NEW PAVEMENT OR PAVEMENT SECTION.
 - THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS. CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAVEMENT SECTION GRADE.
 - THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
 - LONGITUDINAL HANDICAP RAMPS WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK.
 - HANDICAP MAIN RAMP SLOPES SHALL NOT BE GREATER THAN 6.3%. ACCESS RAMP SLOPE FROM TREES GUTTER TO MAIN RAMPS SHALL NOT BE GREATER THAN 2%.
 - CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION LINE. OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
 - EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
 - NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
 - ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED.
 - ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
 - ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
 - EXISTING TREES SHALL REMAIN.
 - FROM INTERSECTION 9 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT. MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
 - WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
 - THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES TO BE DEMOLISHED.
 - IF THE PRIVATE PROPERTY ENTRANCES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
 - ALL SEWER GRILLS SHOULD BE REPLACED.
 - SHOULD BE A CONCRETE FORMWORK ON THE PERIMETER OF THE PAVEMENT FLOOR OF 6".

INTERSECTION 10 ENLARGED PLAN
SCALE: 1:2



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
LIC. No. 15,863

CONSULTANTS

- SURVEY & TOPOGRAPHY | ALBERTO ROMEROZUELA (LIC. 15,863)
- CIVIL | JORGE L. PÉREZ RUIZ (LIC. No. 15,863)
- ARCHITECTURAL | JORGE L. PÉREZ RUIZ (LIC. No. 15,863)
- STRUCTURAL | JOSE GONZALEZ (LIC. No. 1,900)

NOTE

Yo, JORGE PÉREZ RUIZ, LICENCIADO No. 15,863, CERTIFICADO POR SOY EL PROFESIONAL QUE ELABORÉ ESTOS PLANOS Y LOS EXPEDIENTES CORRESPONDIENTES. TAMBIÉN, CERTIFICO QUE ELABORÉ LOS DISEÑOS PLANOS Y MANEJOS DE OBRA EN CONFORMIDAD CON LOS REQUISITOS Y NORMATIVAS DE LA ASOCIACIÓN PUERTORRIQUESA DE INGENIEROS Y ARQUITECTOS Y CON LOS REQUISITOS Y NORMATIVAS DE LA ASOCIACIÓN PUERTORRIQUESA DE INGENIEROS Y ARQUITECTOS. ADICIONALMENTE, CERTIFICO QUE LA INFORMACIÓN DE ESTOS PLANOS Y EXPEDIENTES ES LA CORRECTA CON LOS DATOS DE LA LOTERÍA.

Yo, JORGE PÉREZ RUIZ, LICENCIADO No. 15,863, CERTIFICO QUE ELABORÉ ESTOS PLANOS Y LOS EXPEDIENTES CORRESPONDIENTES. TAMBIÉN, CERTIFICO QUE ELABORÉ LOS DISEÑOS PLANOS Y MANEJOS DE OBRA EN CONFORMIDAD CON LOS REQUISITOS Y NORMATIVAS DE LA ASOCIACIÓN PUERTORRIQUESA DE INGENIEROS Y ARQUITECTOS Y CON LOS REQUISITOS Y NORMATIVAS DE LA ASOCIACIÓN PUERTORRIQUESA DE INGENIEROS Y ARQUITECTOS. ADICIONALMENTE, CERTIFICO QUE LA INFORMACIÓN DE ESTOS PLANOS Y EXPEDIENTES ES LA CORRECTA CON LOS DATOS DE LA LOTERÍA.

CERTIFICATION



WORKING DRAWINGS FOR:
PR-CRP-000437

RUTA DE LOS TRES SANTOS REYES

CALLE F DEGETAL #35
JUANA DIAZ, PUERTO RICO

DRAWING NAME

ENLARGED GEOMETRIC PLAN INTERSECTION 10

SCALE: 1:2	BIDDED DATE: JUN. 2024
DRAWN BY: EMP. AIT	CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DRAWING NO: CS-210	SHEET NO: 33 OF 125



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
 Lic. No. 15,863

CONSULTANTS
 1. SURVEY & TOPOGRAPHY (ALBERTO ROSALES) (Lic. No. 8858)
 2. CIVIL (JORGE L. PÉREZ RUIZ) (Lic. No. 15,863)
 3. ARCHITECTURAL (JORGE L. PÉREZ RUIZ) (Lic. No. 15,863)
 4. STRUCTURAL (JOSE GONZON) (Lic. No. 1308)

NOTE
 Yo, Jorge Pérez, Licencia No. 15,863, COMPRO que soy el profesional que preparó estos planos y los correspondientes complementos, TAREAS, CONCEPTOS que sustentó que estos planos y complementos cumplen con los requerimientos establecidos en el Reglamento General de Construcción de Obras de Ingeniería Civil, según lo dispuesto en los artículos 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.



WORKING DRAWINGS FOR:
 PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
 CALLE F DEGETAU #35
 JUANA DIAZ, PUERTO RICO

DRAWING NAME
ENLARGED GEOMETRIC PLAN INTERSECTION - 11

SCALE: 1" = 20'
 BIDDER DATE: JUN. 2024
 DRAWN BY: JORGE L. PÉREZ RUIZ, PE
 CHECKED BY:
 DRAWING NO. CS-211
 SHEET NO. 34 OF 125

IMPORTANT NOTES:

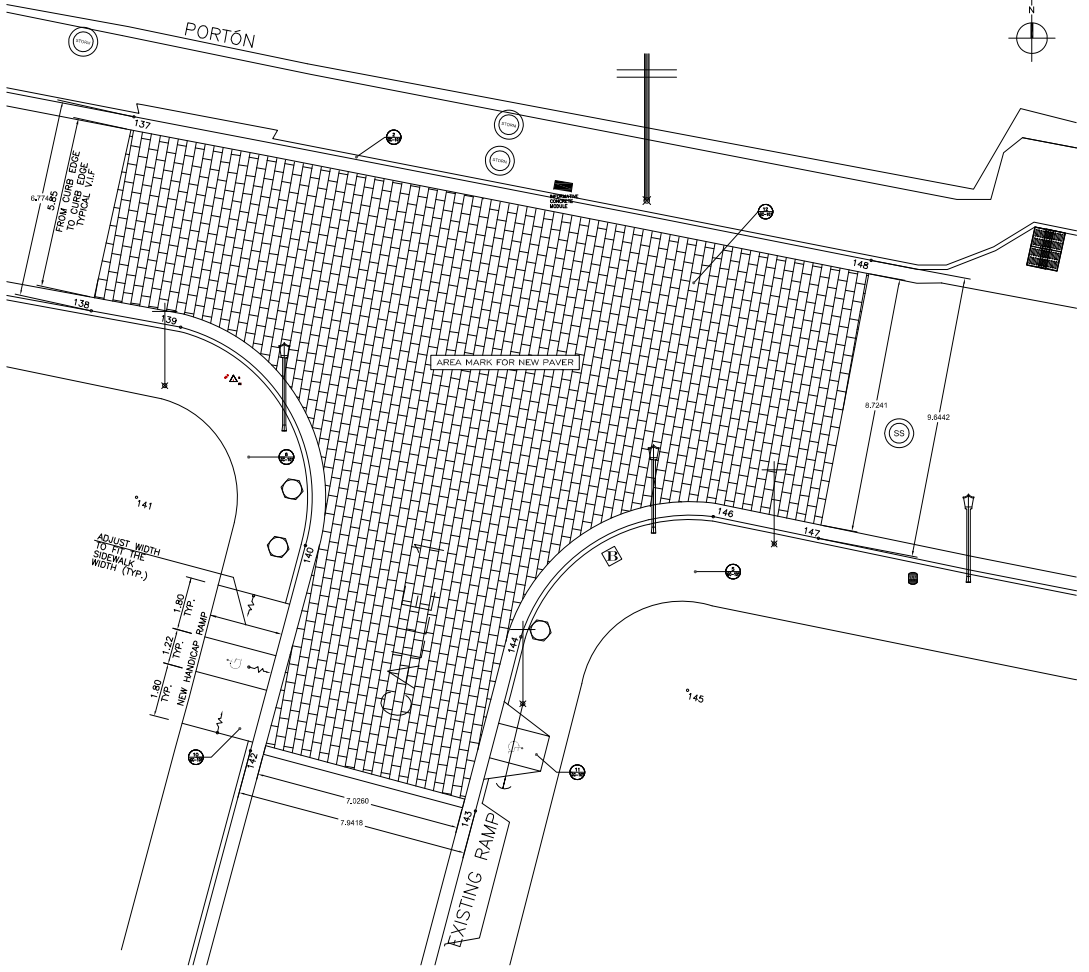
- POINT COORDINATES GIVEN ARE FOR DEMOLITION LIMITS REFERENCE.
- ALL CURBS AND GUTTERS TO REMAIN WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMO IS DONE. MATCH WHERE THE NEW SECTION MEETS EXISTING. MATCH CURB HEIGHT TO EXISTING.
- DEMO PAVEMENT SECTION TO SUB-BASE. VERIFY ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
- AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
- SUB-BASE HAS TO BE TESTED FOR STABILITY BY THE GEOTECHNICAL ENGINEER PRIOR TO THE INSTALLATION OF THE NEW PAVEMENT OR PAVEMENT SECTION.
- THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAVEMENT SECTION GRADE.
- THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
- LONGITUDINAL HANDICAP RAMPS WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK.
- HANDICAP MAIN RAMP SLOPES SHALL NOT BE GREATER THAN 8.3%. ACCESS RAMP SLOPE FROM TREES GUTTER TO MAIN RAMPS SHALL NOT BE GREATER THAN 2%.
- CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT. OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION.
- EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
- NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
- ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED.
- ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
- ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
- EXISTING TREES SHALL REMAIN.
- FROM INTERSECTION 9 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT. MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
- WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES TO BE DEMOLISHED.
- IF THE PRIVATE PROPERTY ENTRANCES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
- ALL SEWER GRILLS SHOULD BE REPLACED.
- SHOULD BE A CONCRETE FORMWORK ON THE PERMETER OF THE PAVEMENT FLOOR OF 8".

POINT TIE DOWN DATA

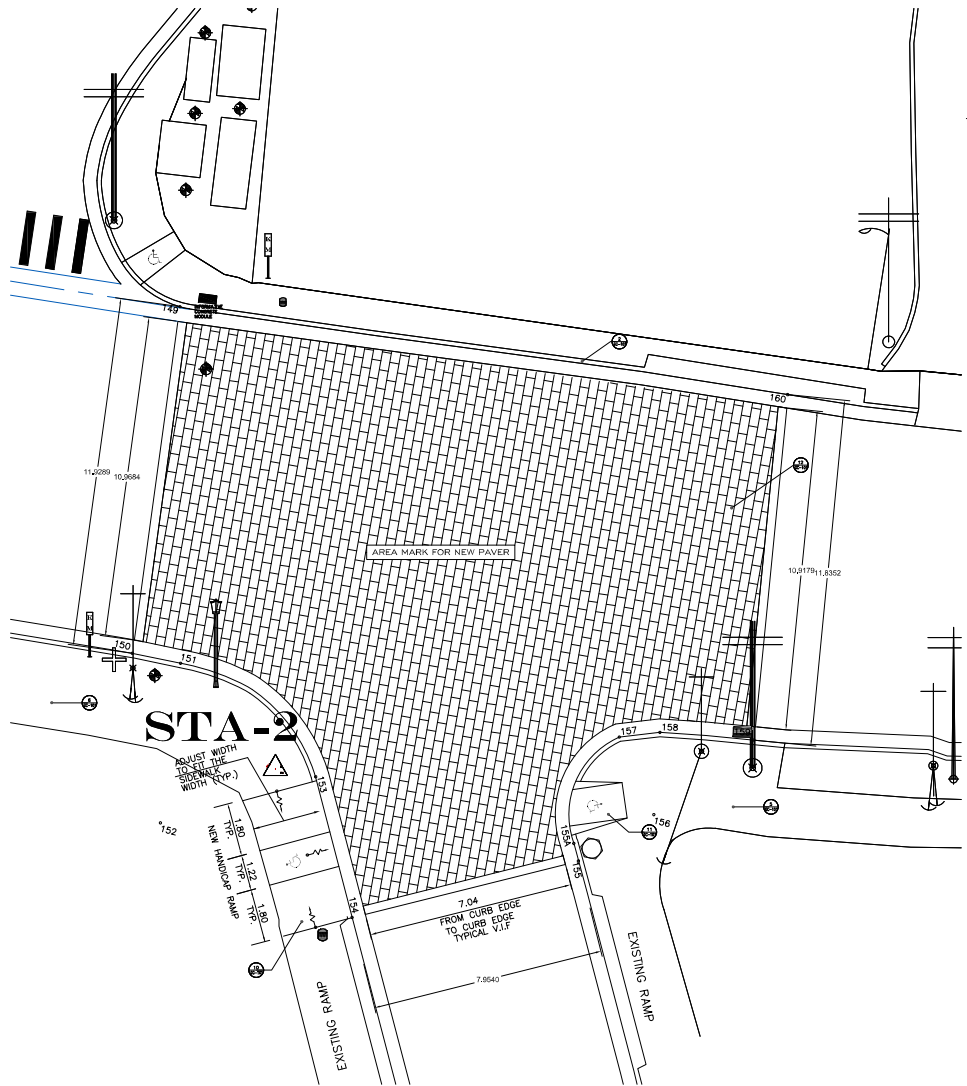
POINT	NORTHING	EASTING	DESCRIPTION
137	224203.5074	192698.6764	TO BE ESTABLISHED
138	224196.8911	192697.2230	TO BE ESTABLISHED
139	224196.3340	192700.7694	TO BE ESTABLISHED
140	224188.8910	192704.5234	TO BE ESTABLISHED
141	224190.5369	192698.7647	TO BE ESTABLISHED
142	224181.8971	192702.6483	TO BE ESTABLISHED
143	224179.8404	192710.3192	TO BE ESTABLISHED
144	224185.7790	192711.8714	TO BE ESTABLISHED
145	224183.9558	192717.5504	TO BE ESTABLISHED
146	224189.8760	192718.4314	TO BE ESTABLISHED
147	224189.1371	192722.0124	TO BE ESTABLISHED
148	224198.6118	192723.8136	TO BE ESTABLISHED

LEGEND:

- TREE/UNCLASSIFIED
- _{MH} MANHOLE/ALL CLASS
- AAA METER
- ⊠ ORNAMENTAL LUMINARY
- BENCH
- BOLLARD
- ORNAMENTAL LIGHT POLE
- ⌵ POWER POLE
- ↑ UTILITY POLE
- ⌵ LUMINARY POLE
- ⌵ KM MARKER
- TRAFFIC SIGN
- _{SS} SANITARY SEWER MH
- _{SS} SANITARY SEWER MH
- _{PU} POWER UTILITY MH



INTERSECTION 11 ENLARGED PLAN
 SCALE: 1:2



IMPORTANT NOTES:

1. POINT COORDINATES GIVEN ARE FOR DEMOLITION LIMITS REFERENCE.
2. ALL CURBS AND GUTTERS TO REMAIN, WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMO IS DONE, MATCH WHERE THE NEW SECTION MEETS EXISTING, MATCH CURB HEIGHT TO EXISTING.
3. DEMO PAVEMENT SECTION TO SUB-BASE, VERIFY ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET EXISTING CURB GRADE.
4. AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
5. SUB-BASE HAS TO BE TESTED FOR STABILITY BY THE GEOTECHNICAL ENGINEER PRIOR TO THE INSTALLATION OF THE NEW PAVEMENT OR PAVEMENT SECTION.
6. THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAVEMENT SECTION GRADE.
7. THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
8. LONGITUDINAL HANDICAP RAMPS WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK
9. HANDICAP MAIN RAMP SLOPES SHALL NOT BE GREATER THAN 8.3%, ACCESS RAMP SLOPE FROM TREES GUTTER TO MAIN RAMPS SHALL NO BE GREATER THAN 2%.
10. CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT, OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
11. EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
12. NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
13. ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED.
14. ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
15. ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
16. EXISTING TREES SHALL REMAIN.
17. FROM INTERSECTION ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT, MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
18. WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
19. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES TO BE DEMOLISHED.
20. IF THE PRIVATE PROPERTY ENTRANCES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
21. ALL SOWER GRIBLES SHOULD BE REPLACED.
22. SHOULD BE A CONCRETE FORMWORK ON THE PERIMETER OF THE PAVEMENT FLOOR OF 6".

POINT TIE DOWN DATA			
POINT	NORTHING	EASTING	DESCRIPTION
149	224175.2872	192857.7493	TO BE ESTABLISHED
150	224163.4696	192856.1276	TO BE ESTABLISHED
151	224163.1170	192857.7735	TO BE ESTABLISHED
152	224157.6867	192857.0884	TO BE ESTABLISHED
153	224159.2620	192862.3795	TO BE ESTABLISHED
154	224154.4628	192863.6234	TO BE ESTABLISHED
155	224156.3903	192871.3404	TO BE ESTABLISHED
155A	224156.9841	192871.1800	TO BE ESTABLISHED
156	224157.9663	192873.9090	TO BE ESTABLISHED
157	224160.6130	192872.7316	TO BE ESTABLISHED
158	224160.7690	192874.1166	TO BE ESTABLISHED
159	224160.6100	192877.3700	TO BE ESTABLISHED
160	224172.2888	192878.4747	TO BE ESTABLISHED

LEGEND:

- TREE/UNCLASSIFIED
- _{MAN} MANHOLE/ALL CLASS
- AAA METER
- ⊠ ORNAMENTAL LUMINARY
- BENCH
- BOLLARD
- ┆ ORNAMENTAL LIGHT POLE
- ┆ POWER POLE
- ┆ UTILITY POLE
- ┆ LUMINARY POLE
- ┆ KM MARKER
- TRAFFIC SIGN
- SANITARY SEWER MH
- SANITARY SEWER MH
- POWER UTILITY MH

INTERSECTION 12 ENLARGED PLAN
SCALE: 1:2



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
Lic. No. 15,863

- CONSULTANTS
1. SURVEY & TOPOGRAPHY (ALBERTO ROSALES) (Lic. No. 8885)
 2. CIVIL (JORGE L. PÉREZ RUIZ) (Lic. No. 15,863)
 3. ARCHITECTURAL (JORGE L. PÉREZ RUIZ) (Lic. No. 15,863)
 4. STRUCTURAL (JOSE QUINTON) (Lic. No. 15,908)

NOTE
Yo, Jorge Pérez, Licencia No. 15,863, certifico que soy el profesional que preparó estos planos y los correspondientes complementos. También certifico que he verificado que estos planos y complementos cumplen con los requerimientos establecidos en el Reglamento General de Construcción de Obras de Ingeniería, con sus modificaciones y complementos, y con las ordenanzas municipales, aplicables a la ejecución de estos planos y complementos de la construcción de la obra de la que se trata. En caso de ser necesario, me comprometo a proporcionar toda la información que sea requerida para el cumplimiento de los requisitos legales y reglamentarios que correspondan.



WORKING DRAWINGS FOR:
PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
CALLE F DEGETAU #35
JUANA DIAZ, PUERTO RICO

DRAWING NAME
ENLARGED GEOMETRIC PLAN INTERSECTION - I 2

SCALE: 1:2
BIBOEN DATE: JUN. 2024
DRAWN BY: EMP. AIT
CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DRAWING NO. CS-2 I 2
SHEET NO. 35 OF 125



- IMPORTANT NOTES:**
1. POINT COORDINATES GIVEN ARE FOR DEMOLITION LIMITS REFERENCE.
 2. ALL CURBS AND GUTTERS TO REMAIN, WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMO IS DONE, MATCH WHERE THE NEW SECTION MEETS EXISTING. MATCH CURB HEIGHT TO EXISTING.
 3. DEMO PAVEMENT SECTION TO SUB-BASE, VERIFY ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
 4. AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
 5. SUB-BASE HAS TO BE TESTED FOR STABILITY BY THE GEOTECHNICAL ENGINEER PRIOR TO THE INSTALLATION OF THE NEW PAVEMENT OR PAYER SECTION.
 6. THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAYER SECTION GRADE.
 7. THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
 8. LONGITUDINAL HANDICAP RAMPS WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK.
 9. HANDICAP MAIN RAMP SLOPES SHALL NOT BE GREATER THAN 8.3%. ACCESS RAMP SLOPE FROM TREES GUTTER TO MAIN RAMPS SHALL NOT BE GREATER THAN 2%.
 10. CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT, OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
 11. EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
 12. NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
 13. ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED.
 14. ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
 15. ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
 16. EXISTING TREES SHALL REMAIN.
 17. FROM INTERSECTION 8 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT. MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
 18. WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
 19. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES TO BE DEMOLISHED.
 20. IF THE PRIVATE PROPERTY ENTRANCES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
 21. ALL SEWER GRILLS SHOULD BE REPLACED.
 22. SHOULD BE A CONCRETE FORMWORK ON THE PERIMETER OF THE PAYER FLOOR OF 6".

GEOMETRIC LAYOUT MATCH LINE I-I
SCALE: 1" = 8'



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
LIC. No. 15,863

- CONSULTANTS
1. SURVEY & TOPOGRAPHY [ALBERTO RODRIGUEZ (LIC. No. 18,892)]
 2. CIVIL [JORGE L. PÉREZ RUIZ (LIC. No. 15,863)]
 3. ARCHITECTURAL [JORGE L. PÉREZ RUIZ (LIC. No. 15,863)]
 4. STRUCTURAL [JOSE CONTRON (LIC. No. 1,908)]

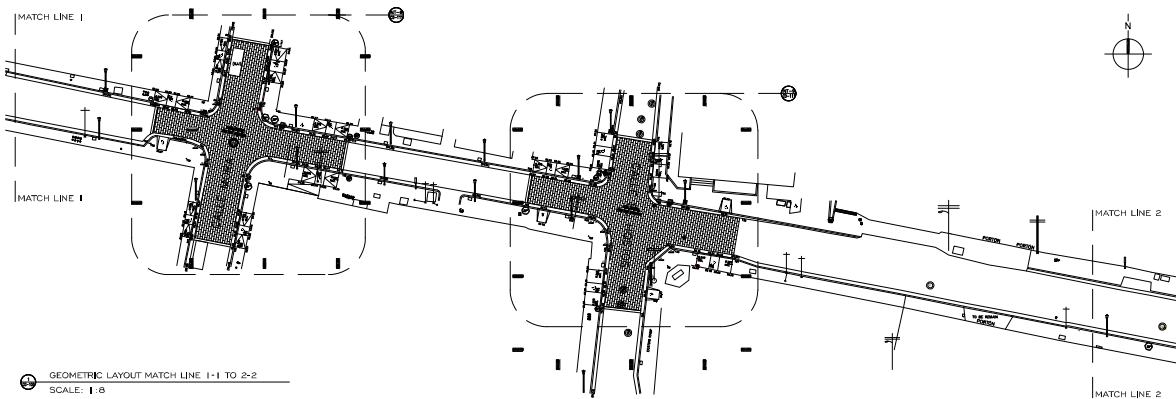
NOTE
No. Jorge Pérez, Licencia No. 15,863, como que sea la autorización, que otorgamos, para que el Sr. JORGE L. PÉREZ RUIZ, LIC. No. 15,863, ejerza el cargo de INGENIERO CIVIL en el proyecto de DEMOLICIÓN Y RECONSTRUCCIÓN DE LA EDIFICACIÓN, LOCAL DE RECONSTRUCCIÓN O RECONSTRUCCIÓN PARCIAL CON AJUSTES EN CONSTRUCCIÓN, para que en la medida de sus facultades y en la forma de la Ley de 8 de mayo de 2004, según enmendada, comparezca a dar fe de la presente y de sus actuaciones, en el caso de que se le requiera, en el momento de la ejecución de la obra.



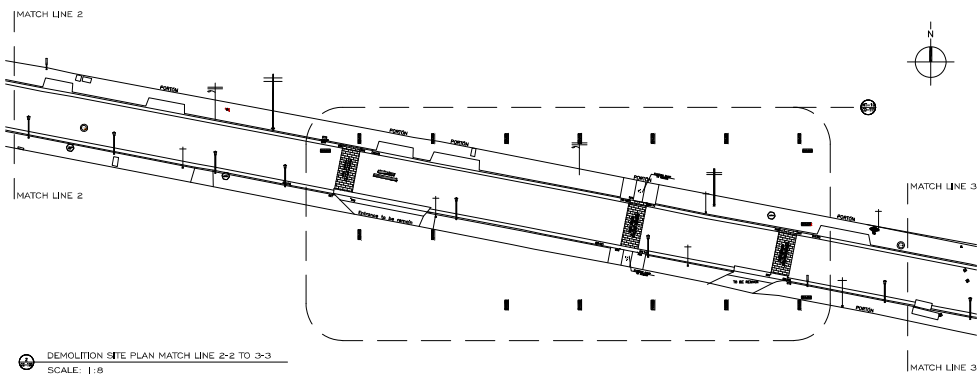
WORKING DRAWINGS FOR:
PR-CR-000437
RUTA DE LOS TRES SANTOS REYES
CALLE F DEGETAU #35
JUANA DIAZ, PUERTO RICO

DRAWING NAME
GRADING LAYOUT
GENERAL KEY PLAN
MATCH LINE I-I

SCALE: 1" = 8'	ISSUED DATE: JUN 2024
DRAWN BY: EMP, AIT	CHECKED BY: JORGE L. PEREZ RUIZ, PE
DRAWING NO. CG-101	SHEET NO. 37 OF 125



GEOMETRIC LAYOUT MATCH LINE 1-1 TO 2-2
SCALE: 1:8



DEMOLITION SITE PLAN MATCH LINE 2-2 TO 3-3
SCALE: 1:8

IMPORTANT NOTES:

1. POINT COORDINATES GIVEN ARE FOR DEMOLITION LIMITS REFERENCE.
2. ALL CURBS AND GUTTERS TO REMAIN, WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMO IS DONE. MATCH WHERE THE NEW SECTION MEETS EXISTING. MATCH CURB HEIGHT TO EXISTING.
3. DEMO PAVEMENT SECTION TO SUB-BASE. VERIFY ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
4. AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
5. SUB-BASE HAS TO BE TESTED FOR STABILITY BY THE GEOTECHNICAL ENGINEER PRIOR TO THE INSTALLATION OF THE NEW PAVEMENT OR PAVEMENT SECTION.
6. THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAVEMENT SECTION GRADE.
7. THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
8. LONGITUDINAL HANDICAP RAMP WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK.
9. HANDICAP MAIN RAMP SLOPES SHALL NOT BE GREATER THAN 8.3%, ACCESS RAMP SLOPE FROM TREES GUTTER TO MAIN RAMPS SHALL NOT BE GREATER THAN 2%.
10. CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT, OTHERWISE, THIS SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION PRIOR RASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
11. EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
12. NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
13. ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED. ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
14. ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
15. EXISTING TREES SHALL REMAIN.
16. FROM INTERSECTION 8 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT, MATERIALS SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
17. WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
18. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES TO BE DEMOLISHED.
19. IF THE PRIVATE PROPERTY ENTRANCES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
20. ALL SEWER GRILLS SHOULD BE REPLACED.
21. SHOULD BE A CONCRETE FORMWORK ON THE PERIMETER OF THE PAVEMENT FLOOR OF 6".

TCM	
APPROVED BY	
JORGE L. PÉREZ RUIZ, PE Lic. No. 15.863	
CONSULTANTS	
1. SURVEY & TOPOGRAPHY | ALBERTO RODRIGUEZ (Lic. No. 18.992) 2. CIVIL | LUIS PEREZ RUIZ (Lic. No. 15.863) 3. ARCHITECTURAL | JORGE L. PÉREZ RUIZ (Lic. No. 15.863) 4. STRUCTURAL | JOSE GONZALEZ (Lic. No. 1.908)	
NOTE	
No. Jorge Perez, Licencia No. 15.863, comunico que este es un procedimiento de licencia profesional y no es un aval de la TCM, por lo tanto, cualquier responsabilidad que asuma el profesional que suscribe estos planos y especificaciones es solo de el mismo profesional y no de la TCM. Respetando el honorario de las actividades de ingeniería y arquitectura y respetando la Ley de la Ingeniería y la Ley de la Arquitectura y el Código de Ética profesional de la Ingeniería y la Arquitectura. Firmado por el profesional: JORGE L. PÉREZ RUIZ, PE. Lic. No. 15.863. Fecha de firma: 18 de JUNIO de 2024.	
CERTIFICATION	
	
RUTA DE LOS TRES SANTOS REVES	
CALLE F DEGETAU #35 JUANA DIAZ, PUERTO RICO	
WORKING DRAWINGS FOR: PR-CRP-000437	
DRAWING NAME	
GRADING SITE PLAN GENERAL KEY PLAN MATCH LINE 1-1 TO 3-3	
SCALE: 1:8	ISSUED DATE: JUN 2024
DRAWN BY: EMP, AIT	CHECKED BY: JORGE L. PEREZ RUIZ, PE
DRAWING NO. CG-102	SHEET NO. 38 OF 125



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
 Lic. No. 15,863

CONSULTANTS
 1. SURVEY & TOPOGRAPHY | ALBERTO
 RIVERA (Lic. No. 8888)
 2. CIVIL | JORGE L. PÉREZ RUIZ (Lic. No. 15,863)
 3. ARCHITECTURAL | JORGE L. PÉREZ RUIZ (Lic. No. 15,863)
 4. STRUCTURAL | JOSE GONZON (Lic. No. 15,908)

NOTE
 Mr. Jorge Pérez, License No. 15,863, certifies that he is the professional who prepared these plans and the corresponding computations, having complied with the requirements of the laws and regulations that govern the profession of civil engineering in Puerto Rico, and that he is not aware of any falsification or alteration of the data or information provided to him by the client, and that he is not aware of any falsification or alteration of the data or information provided to him by the client, and that he is not aware of any falsification or alteration of the data or information provided to him by the client.



WORKING DRAWINGS FOR:
 PR-CRP-000-437
RUTA DE LOS TRES SANTOS REYES
 CALLE F DEGETAU #35
 JUANA DIAZ, PUERTO RICO

DRAWING NAME
**ENLARGED GRADING PLAN
 INTERSECTION - I**

SCALE: 1:2
 BIDDER DATE: JUN 2024
 DRAWN BY: EMP. AIT
 CHECKED BY: JORGE L. PÉREZ RUIZ, PE
 DRAWING NO. CG-201
 SHEET NO. 40 OF 125

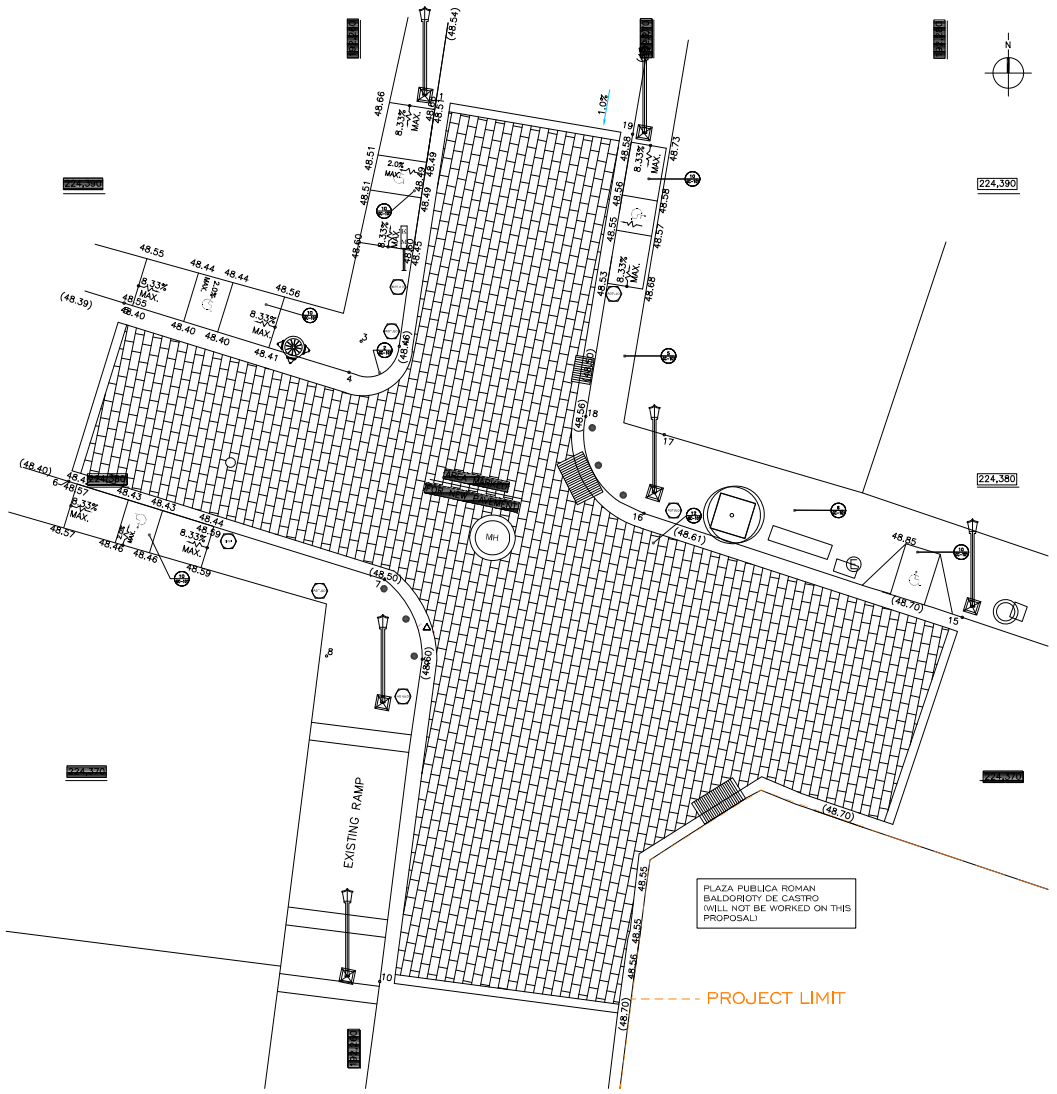
IMPORTANT NOTES:

- POINT COORDINATES GIVEN ARE FOR DEMOLITION LIMITS REFERENCE.
- ALL CURBS AND GUTTERS TO REMAIN WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMO IS DONE, MATCH WHERE THE NEW SECTION MEETS EXISTING, MATCH CURB HEIGHT TO EXISTING.
- DEMOPAVEMENT SECTION TO SUB-BASE, VERIFY ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
- AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
- SUB-BASE HAS TO BE TESTED FOR STABILITY BY THE GEOTECHNICAL ENGINEER PRIOR TO THE INSTALLATION OF THE NEW PAVEMENT OR PAVEMENT SECTION.
- THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAVEMENT SECTION GRADE.
- THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
- LONGITUDINAL HANDICAP RAMPS WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK.
- HANDICAP MAIN RAMP SLOPES SHALL NOT BE GREATER THAN 8.3%, ACCESS RAMP SLOPE FROM TREES GUTTER TO MAIN RAMPS SHALL NOT BE GREATER THAN 2%.
- CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT, OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
- EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
- NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
- ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED.
- ALL BENDSIES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
- ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH, EXISTING TREES SHALL REMAIN.
- FROM INTERSECTION 6 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT, MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
- WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES TO BE DEMOLISHED.
- IF THE PRIVATE PROPERTY ENTRANCES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
- ALL SEWER GRILLS SHOULD BE REPLACED.
- SHOULD BE A CONCRETE FORMWORK ON THE PERIMETER OF THE PAVEMENT FLOOR OF 6".

POINT	NORTHING	EASTING	DESCRIPTION
1	224393.1898	192262.4917	TO BE ESTABLISHED
2	224384.8133	192261.2410	TO BE ESTABLISHED
3	224384.8258	192260.0151	TO BE ESTABLISHED
4	224383.7376	192259.5560	TO BE ESTABLISHED
5	224385.3625	192254.2818	TO BE ESTABLISHED
6	224379.4538	192252.4452	TO BE ESTABLISHED
7	224376.8502	192260.8155	TO BE ESTABLISHED
8	224374.2441	192258.8424	TO BE ESTABLISHED
9	224374.1322	192262.1045	TO BE ESTABLISHED
10	224363.1443	192260.6530	TO BE ESTABLISHED
11	224362.0202	192269.1593	TO BE ESTABLISHED
12	224367.2870	192269.8640	TO BE ESTABLISHED
13	224369.6710	192273.6550	TO BE ESTABLISHED
14	224368.1025	192278.0102	TO BE ESTABLISHED
15	224375.5589	192280.5129	TO BE ESTABLISHED
16	224379.1078	192269.6609	TO BE ESTABLISHED
17	224381.6984	192270.4003	TO BE ESTABLISHED
18	224382.4080	192267.6778	TO BE ESTABLISHED
19	224392.0298	192269.2745	TO BE ESTABLISHED

LEGEND:

- TREE/UNCLASSIFIED
- _M MANHOLE/ALL CLASS
- AAA METER
- ⊠ ORNAMENTAL LUMINARY
- BENCH
- BOLLARD
- ORNAMENTAL LIGHT POLE
- ⊥ POWER POLE
- ⊥ UTILITY POLE
- ⊥ LUMINARY POLE
- ⊥ KM MARKER
- TRAFFIC SIGN
- SANITARY SEWER MH
- SANITARY SEWER MH
- POWER UTILITY MH



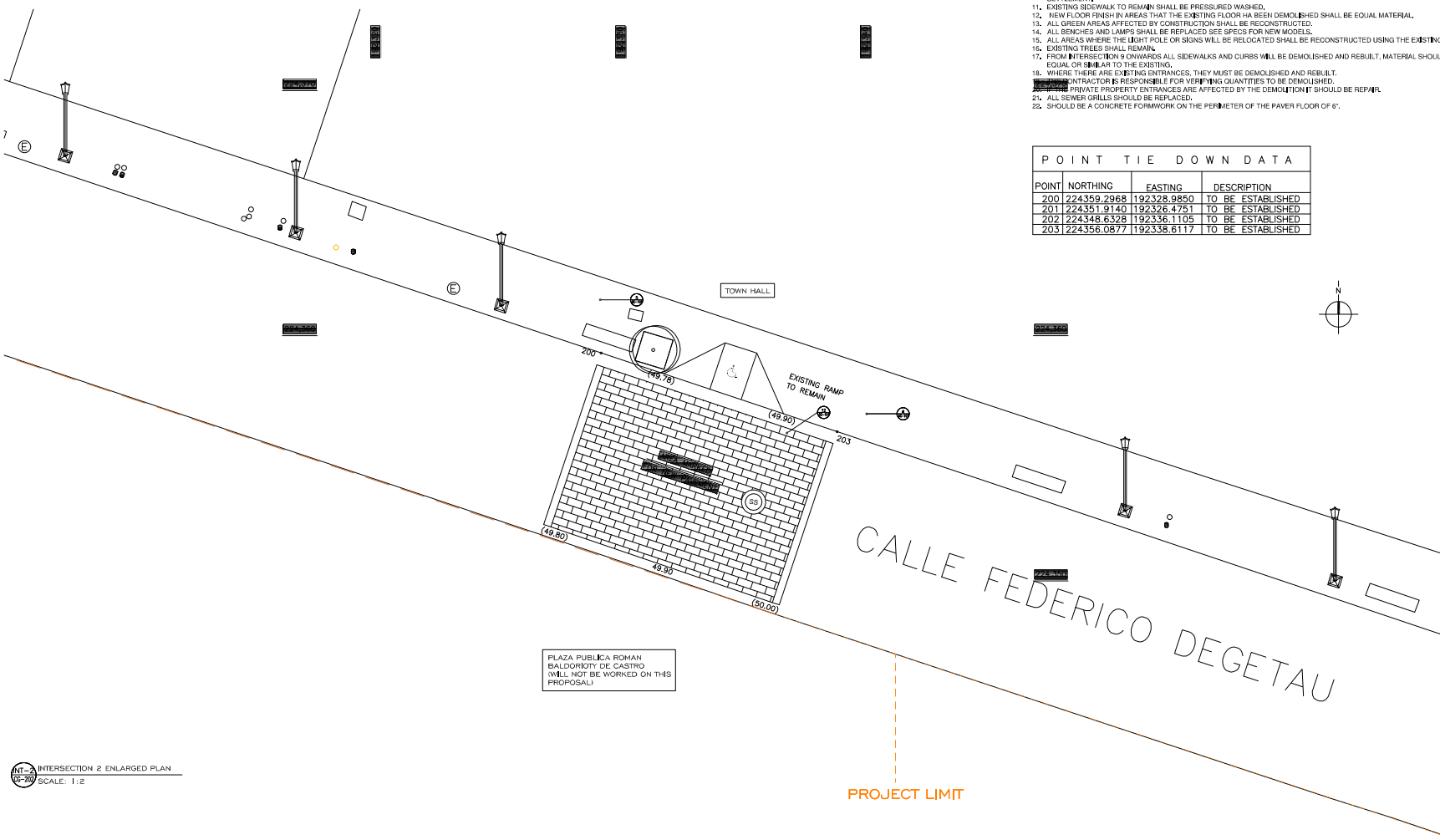
PLAZA PUBLICA ROMAN BALDOROTY DE CASTRO
 WILL NOT BE WORKED ON THIS PROPOSAL

--- PROJECT LIMIT

INTERSECTION I ENLARGED PLAN
 SCALE: 1:2

LEGEND:

- TREE/UNCLASSIFIED
- MANHOLE/ALL CLASS
- AAA METER
- ⊠ ORNAMENTAL LUMINARY
- ▭ BENCH
- BOLLARD
- ORNAMENTAL LIGHT POLE
- POWER POLE
- UTILITY POLE
- LUMINARY POLE
- KM MARKER
- TRAFFIC SIGN
- SANITARY SEWER MH
- SANITARY SEWER MH
- POWER UTILITY MH



IMPORTANT NOTES:

- 1. POINT COORDINATES GIVEN ARE FOR DEMOLITION LIMITS REFERENCE.
- 2. ALL CURBS AND GUTTERS TO REMAIN, WHEN RESURFACING THE SECTIONS TAKEN OUT, WHEN RAMP DEMO IS DONE, MATCH WHERE THE NEW SECTION MEETS EXISTING, MATCH CURB HEIGHT TO EXISTING.
- 3. DEMO PAVEMENT SECTION TO SUB-BASE, VERIFY ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
- 4. AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
- 5. SUBBASE HAS TO BE TESTED FOR STABILITY BY THE GEOTECHNICAL ENGINEER PRIOR TO THE INSTALLATION OF THE NEW PAVEMENT OR PAVEMENT SECTION.
- 6. THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND/OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAVEMENT SECTION GRADE.
- 7. THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
- 8. LONGITUDINAL HANDICAP RAMPS WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK.
- 9. HANDICAP MAIN RAMP SLOPES SHALL NOT BE GREATER THAN 8.3%. ACCESS RAMP SLOPE FROM TREES GUTTER TO MAIN RAMPS SHALL NOT BE GREATER THAN 2%.
- 10. CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT, OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND BOWELS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
- 11. EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
- 12. NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
- 13. ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED.
- 14. ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
- 15. ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
- 16. EXISTING TREES SHALL REMAIN.
- 17. FROM INTERSECTION & ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT, MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
- 18. WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
- 19. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES TO BE DEMOLISHED.
- 20. PRIVATE PROPERTY ENTRANCES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
- 21. ALL SEWER GRILLS SHOULD BE REPLACED.
- 22. SHOULD BE A CONCRETE FORMWORK ON THE PERIMETER OF THE PAVEMENT FLOOR OF 6".

POINT	NORTHING	EASTING	DESCRIPTION
200	224359.2968	192328.9850	TO BE ESTABLISHED
201	224351.9140	192326.4751	TO BE ESTABLISHED
202	224348.6328	192336.1105	TO BE ESTABLISHED
203	224356.0877	192338.8117	TO BE ESTABLISHED



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
LIC. No. 15,863

- CONSULTANTS**
- 1. SURVEY & TOPOGRAPHY [ALBERTO ROSALES] [LIC. No. 15,863]
 - 2. CIVIL [JORGE L. PÉREZ RUIZ, PE, No. 15,863]
 - 3. ARCHITECTURAL [JORGE L. PÉREZ RUIZ, PE, No. 15,863]
 - 4. STRUCTURAL [JOSE GONZON] [LIC. No. 15,900]

NOTE
Yo, Jorge Pérez, Licencia No. 15,863, comprobé que son los profesionales que prepararon estos planos y los especificaciones complementarias. También comprobé que se han seguido los planos y especificaciones aprobados por el Departamento de Obras Públicas del Gobierno de Puerto Rico. Asimismo, comprobé que los planos y especificaciones cumplen con las normas técnicas de la práctica profesional de la Ingeniería Civil y la Arquitectura en el Estado Libre Asociado de Puerto Rico, y que los planos y especificaciones cumplen con las normas técnicas de la práctica profesional de la Ingeniería Civil y la Arquitectura en el Estado Libre Asociado de Puerto Rico. Asimismo, comprobé que los planos y especificaciones cumplen con las normas técnicas de la práctica profesional de la Ingeniería Civil y la Arquitectura en el Estado Libre Asociado de Puerto Rico, y que los planos y especificaciones cumplen con las normas técnicas de la práctica profesional de la Ingeniería Civil y la Arquitectura en el Estado Libre Asociado de Puerto Rico.



WORKING DRAWINGS FOR:
PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
CALLE F DEGETAU #35
JUANA DIAZ, PUERTO RICO

DRAWING NAME
ENLARGED
GRADING PLAN
INTERSECTION - 2

SCALE: 1:2	ISSUED DATE: JUN 2024
DRAWN BY: EMP. AIT	CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DRAWING NO. CG-202	SHEET NO. 41 OF 125

INTERSECTION 2 ENLARGED PLAN
SCALE: 1:2



APPROVED BY
JORGE L. PÉREZ RUÍZ, PE
Lic. No. 15,863

CONSULTANTS
1. SURVEY & TOPOGRAPHY [ALBERTO RODRIGUEZ (Lic. No. 15,865)]
2. CIVIL [JORGE L. PÉREZ RUÍZ, PE, No. 15,863]
3. ARCHITECTURAL [JORGE L. PÉREZ RUÍZ, PE, No. 15,863]
4. STRUCTURAL [JOSE QUINTON (Lic. No. 13,900)]

NOTE
Yo, Jorge Pérez, Licencia No. 15,863, certifico que soy el profesional que preparó estos planos y los correspondientes complementos, así como cualquier otro que forme parte de esta propuesta, y me comprometo a ser responsable de la veracidad, exactitud, integridad y cumplimiento de los mismos. Asimismo, certifico que soy el profesional que preparó estos planos y los correspondientes complementos, así como cualquier otro que forme parte de esta propuesta, y me comprometo a ser responsable de la veracidad, exactitud, integridad y cumplimiento de los mismos.

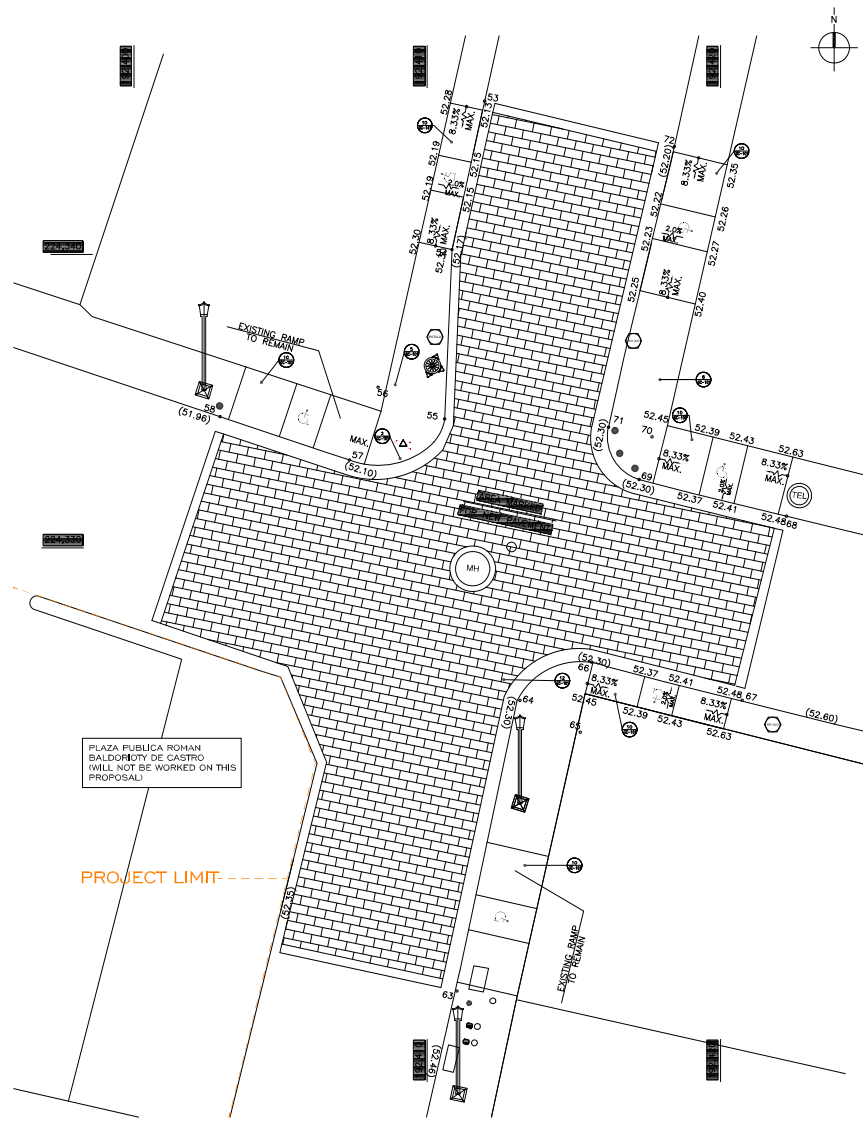


WORKING DRAWINGS FOR:
PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
CALLE F DEGETAL #35
JUANA DIAZ, PUERTO RICO

DRAWING NAME
**ENLARGED
GRADING PLAN
INTERSECTION - 3**

SCALE: 1:2
BIDDER DATE: JUN 2024
DRAWN BY: JORGE L. PÉREZ RUÍZ, PE
CHECKED BY: JORGE L. PÉREZ RUÍZ, PE
DRAWING NO. CG-203
SHEET NO. 42

125



PLAZA PUBLICA ROMAN SALDORRUBY DE CASTRO
(WILL NOT BE WORKED ON THIS PROPOSAL)

PROJECT LIMIT

CG-203 INTERSECTION 3 ENLARGED PLAN
SCALE: 1:2

IMPORTANT NOTES:

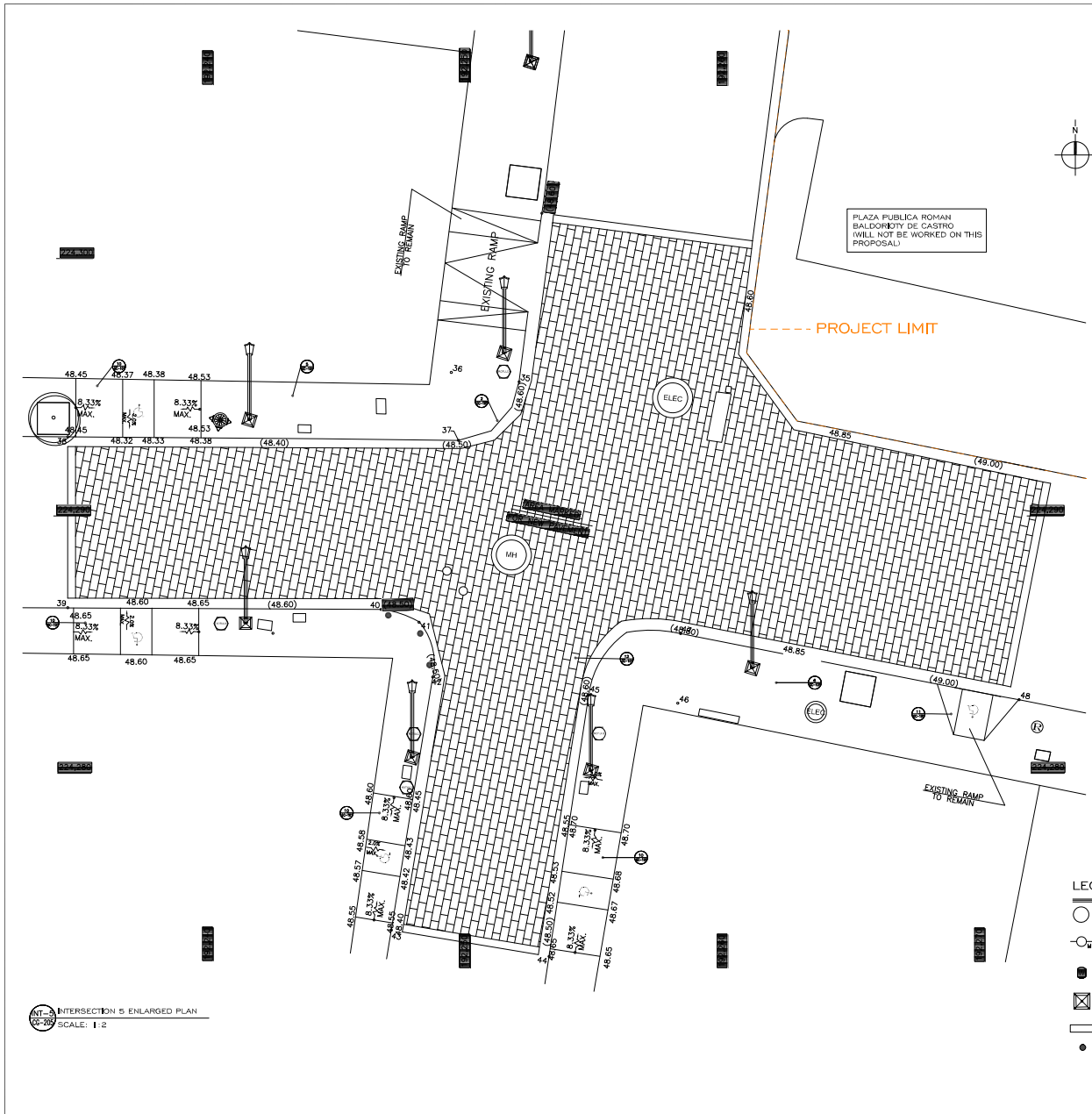
- POINT COORDINATES GIVEN ARE FOR DEMOLITION LIMITS REFERENCE.
- ALL CURBS AND GUTTERS TO REMAIN; WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMO IS DONE, MATCH WHERE THE NEW SECTION MEETS EXISTING, MATCH CURB HEIGHT TO EXISTING.
- DEMOPAVEMENT SECTION TO SUB-BASE, VERIFY ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
- AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
- SUB-BASE HAS TO BE TESTED FOR STABILITY BY THE GEOTECHNICAL ENGINEER PRIOR TO THE INSTALLATION OF THE NEW PAVEMENT OR PAPER SECTION.
- THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAPER GRADE.
- THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
- LONGITUDINAL HANDCAP RAMPS WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK.
- HANDCAP MAIN RAMP SLOPES SHALL NOT BE GREATER THAN 8.33%. ACCESS RAMP SLOPE FROM TREES GUTTER TO MAIN RAMPS SHALL NO BE GREATER THAN 2%.
- CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT. OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
- EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
- NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
- ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED.
- ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
- ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
- EXISTING TREES SHALL REMAIN.
- FROM INTERSECTION 3 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT. MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
- WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES TO BE DEMOLISHED.
- IF THE PRIVATE PROPERTY ENTRANCES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
- ALL SEWER GRILLS SHOULD BE REPLACED.
- SHOULD BE A CONCRETE FORMWORK ON THE PERMETER OF THE PAVEMENT FLOOR OF 6".

POINT TIE DOWN DATA

POINT	NORTHING	EASTING	DESCRIPTION
53	224345.2319	192411.9583	TO BE ESTABLISHED
54	224340.1697	192410.8458	TO BE ESTABLISHED
55	224334.3911	192410.5944	TO BE ESTABLISHED
56	224335.4773	192408.3277	TO BE ESTABLISHED
57	224332.9952	192407.3463	TO BE ESTABLISHED
58	224334.4734	192402.5354	TO BE ESTABLISHED
59	224327.1184	192400.4837	TO BE ESTABLISHED
60	224325.5934	192404.9977	TO BE ESTABLISHED
61	224322.6625	192406.1840	TO BE ESTABLISHED
62	224316.2729	192404.6444	TO BE ESTABLISHED
63	224314.8927	192411.0137	TO BE ESTABLISHED
64	224324.7957	192413.1597	TO BE ESTABLISHED
65	224323.7150	192415.2174	TO BE ESTABLISHED
66	224326.1068	192415.5994	TO BE ESTABLISHED
67	224324.8040	192420.7378	TO BE ESTABLISHED
68	224331.0816	192422.2448	TO BE ESTABLISHED
69	224332.3292	192417.2233	TO BE ESTABLISHED
70	224333.7849	192417.6604	TO BE ESTABLISHED
71	224334.1885	192418.7669	TO BE ESTABLISHED
72	224343.6805	192418.4221	TO BE ESTABLISHED

LEGEND:

- TREE/UNCLASSIFIED
- MANHOLE/ALL CLASS
- AAA METER
- ORNAMENTAL LUMINARY
- BENCH
- BOLLARD
- ORNAMENTAL LIGHT POLE
- POWER POLE
- UTILITY POLE
- LUMINARY POLE
- KM MARKER
- TRAFFIC SIGN
- SANITARY SEWER MH
- SANITARY SEWER MH
- POWER UTILITY MH



IMPORTANT NOTES:

- POINT COORDINATES GIVEN ARE FOR DEMOLITION LIMITS REFERENCE.
- ALL CURBS AND GUTTERS TO REMAIN WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMO IS DONE. MATCH WHERE THE NEW SECTION MEETS EXISTING. MATCH CURB HEIGHT TO EXISTING.
- DEMO PAVEMENT SECTION TO SUB-BASEE. VERIFY ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
- AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
- SUBBASE HAS TO BE TESTED FOR STABILITY BY THE GEOTECHNICAL ENGINEER PRIOR TO THE INSTALLATION OF THE NEW PAVEMENT OR PAYER SECTION.
- THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND/OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAYER SECTION GRADE.
- THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
- LONGITUDINAL HANDICAP RAMPS WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK
- HANDICAP MAIN RAMP SLOPES SHALL NOT BE GREATER THAN 8.2%. ACCESS RAMP SLOPE FROM TREES/GUTTER TO MAIN RAMPS SHALL NOT BE GREATER THAN 2%.
- CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT. OTHERWISE THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
- EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
- NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
- ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED.
- ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
- ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
- FROM INTERSECTION 9 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT. MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
- WHERE THERE ARE EXISTING ENTRANCES. THEY MUST BE DEMOLISHED AND REBUILT.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES TO BE DEMOLISHED.
- IF THE PRIVATE PROPERTY ENTRANCES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
- ALL SEWER GRILLS SHOULD BE REPLACED.
- SHOULD BE A CONCRETE FORMWORK ON THE PERIMETER OF THE PAYER FLOOR OF 'F'.

POINT TIE DOWN DATA

POINT	NORTHING	EASTING	DESCRIPTION
34	224301.7645	192252.7687	TO BE ESTABLISHED
35	224295.2130	192251.8870	TO BE ESTABLISHED
36	224295.5788	192249.2532	TO BE ESTABLISHED
37	224292.9341	192249.5294	TO BE ESTABLISHED
38	224293.0770	192234.3460	TO BE ESTABLISHED
39	224286.4339	192234.3462	TO BE ESTABLISHED
40	224286.3671	192246.5104	TO BE ESTABLISHED
41	224285.8594	192248.0315	TO BE ESTABLISHED
42	224283.7366	192248.5248	TO BE ESTABLISHED
43	224273.9093	192246.9195	TO BE ESTABLISHED
44	224272.8802	192253.0516	TO BE ESTABLISHED
45	224283.0465	192254.5923	TO BE ESTABLISHED
46	224282.7225	192258.0561	TO BE ESTABLISHED
47	224285.4277	192258.1570	TO BE ESTABLISHED
48	224282.8604	192271.3198	TO BE ESTABLISHED
49	224291.6187	192273.1130	TO BE ESTABLISHED
50	224293.6910	192262.6880	TO BE ESTABLISHED
51	224296.3360	192260.7340	TO BE ESTABLISHED
52	224300.6424	192261.2920	TO BE ESTABLISHED

LEGEND:

- TREE/UNCLASSIFIED
- ORNAMENTAL LIGHT POLE
- TRAFFIC SIGN
- MH
- + POWER POLE
- SANITARY SEWER MH
- AAA METER
- | UTILITY POLE
- SANITARY SEWER MH
- ☒ ORNAMENTAL LUMINARY
- | LUMINARY POLE
- POWER UTILITY MH
- BENCH
- | KM MARKER
- BOLLARD



APPROVED BY
JORGE L. PÉREZ RUÍZ, PE
 Lic. No. 15,863

CONSULTANTS
 1. SURVEY & TOPOGRAPHY (ALBERTO ROSALES) (Lic. No. 15,885)
 2. CIVIL (JORGE L. PÉREZ RUÍZ) (Lic. No. 15,863)
 3. ARCHITECTURAL (JORGE L. PÉREZ RUÍZ) (Lic. No. 15,863)
 4. STRUCTURAL (JOSE QUINTON) (Lic. No. 15,908)

NOTE
 Yo, JORGE PÉREZ, Licencia No. 15,863, COMPROVO que soy el profesional que preparé estos planos y los SUPLENDORES COMPLEMENTARIOS. Tambén COMPROVO que preparé que estos planos y suplementarios SÓLO PUEDEN SER UTILIZADOS PARA LOS PROPOSITOS QUE SE INDICAN EN EL TITULO DE ESTOS PLANOS. SI SE MODIFICA EN ALGUNA FORMA, SIN MI ASESORAMIENTO O CONSENTIMIENTO, NO SERÉ RESPONSABLE DE LOS DAÑOS QUE SE PUEDAN OCURRIR. SI SE MODIFICA EN ALGUNA FORMA, SIN MI ASESORAMIENTO O CONSENTIMIENTO, NO SERÉ RESPONSABLE DE LOS DAÑOS QUE SE PUEDAN OCURRIR. SI SE MODIFICA EN ALGUNA FORMA, SIN MI ASESORAMIENTO O CONSENTIMIENTO, NO SERÉ RESPONSABLE DE LOS DAÑOS QUE SE PUEDAN OCURRIR.



WORKING DRAWINGS FOR:
 PR-CRP-000437
 RUTA DE LOS TRES SANTOS REYES
 CALLE F DEGETAU #35
 JUANA DIAZ, PUERTO RICO

DRAWING NAME:
 ENLARGED GRADING PLAN
 INTERSECTION - 5

SCALE: 1:2
 BIDDER DATE: JUN. 2024
 DRAWN BY: EMP. AIT
 CHECKED BY: JORGE L. PÉREZ RUÍZ, PE
 DRAWING NO: CG-205
 SHEET NO: 44 OF 125

LEGEND:

- | | | |
|-----------------------------------|-------------------------|---------------------|
| ○ TREE/UNCLASSIFIED | — ORNAMENTAL LIGHT POLE | ○ TRAFFIC SIGN |
| ○ _{MH} MANHOLE/ALL CLASS | — POWER POLE | ⊙ SANITARY SEWER MH |
| ● AAA METER | — UTILITY POLE | ⊙ SANITARY SEWER MH |
| ⊠ ORNAMENTAL LUMINARY | — LUMINARY POLE | ⊙ POWER UTILITY MH |
| ▭ BENCH | — KM MARKER | |
| ● BOLLARD | | |

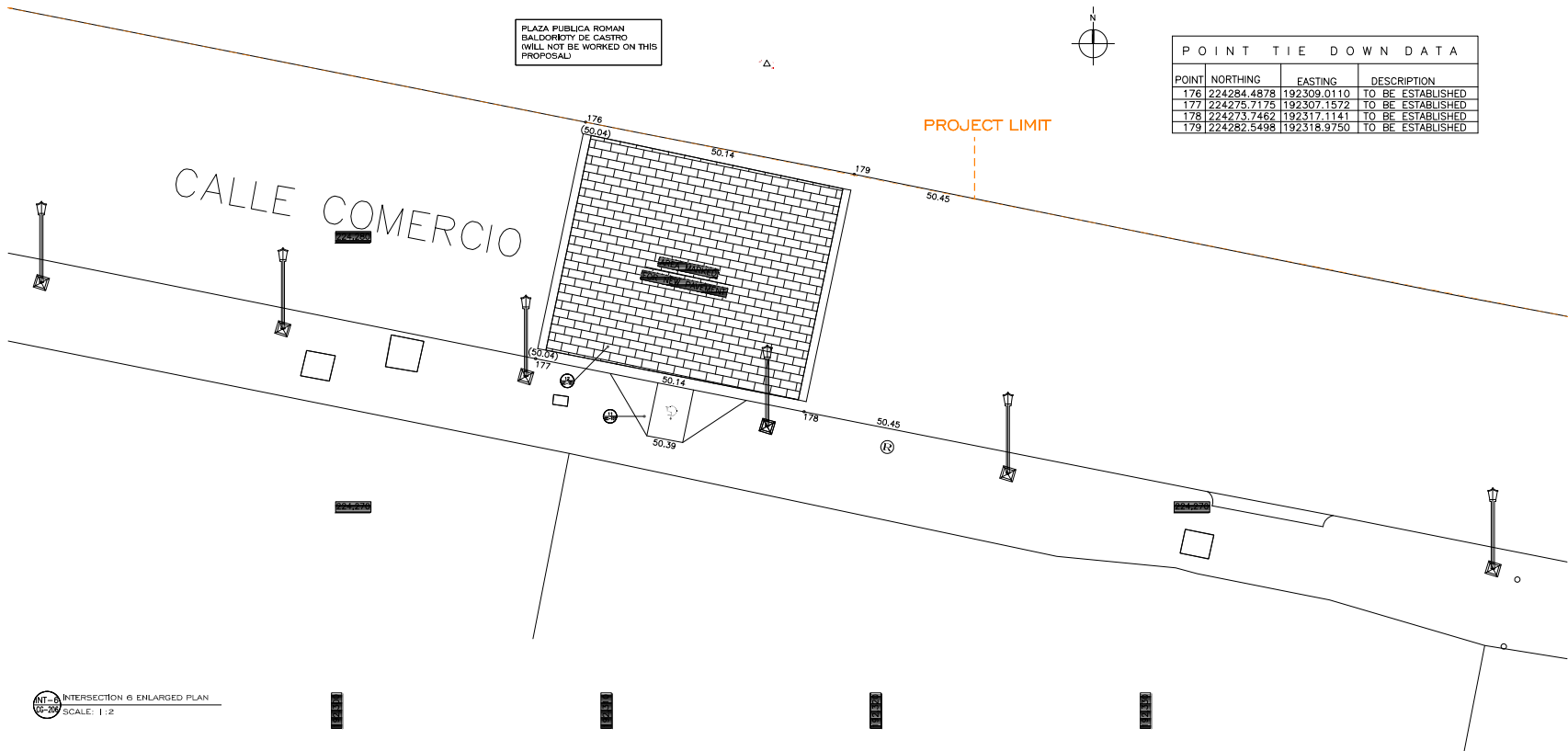
IMPORTANT NOTES:

- POINT COORDINATES GIVEN ARE FOR DEMOLITION LIMITS REFERENCE.
- ALL CURBS AND GUTTERS TO REMAIN WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMO IS DONE. MATCH WHERE THE NEW SECTION MEETS EXISTING MATCH CURB HEIGHT TO EXISTING.
- DEMO PAVEMENT SECTION TO SUB-BASE, VERIFY ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
- AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
- SUB-BASE HAS TO BE TESTED FOR STABILITY BY THE GEOTECHNICAL ENGINEER PRIOR TO THE INSTALLATION OF THE NEW PAVEMENT OR PAVEMENT SECTION.
- THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAVEMENT SECTION GRADE.
- THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
- LONGITUDINAL HANDICAP RAMPS WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK.
- HANDICAP MAIN RAMPS SLOPES SHALL NOT BE GREATER THAN 8.3% ACCESS RAMP SLOPE FROM TREES GUTTER TO MAIN RAMPS SHALL NOT BE GREATER THAN 2%.
- CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT, OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
- EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
- NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
- ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED.
- ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
- ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
- EXISTING TREES SHALL REMAIN.
- FROM INTERSECTION 9 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT. MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
- WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES TO BE DEMOLISHED.
- IF THE PRIVATE PROPERTY ENTRANCES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
- ALL SEWER GRILLS SHOULD BE REPLACED.
- SHOULD BE A CONCRETE FORMWORK ON THE PERIMETER OF THE PAVEN FLOOR OF 'E'.

PLAZA PUBLICA ROMAN BALDORIO DE CASTRO WILL NOT BE WORKED ON THIS PROPOSAL



POINT TIE DOWN DATA			
POINT	NORTHING	EASTING	DESCRIPTION
176	224284.4878	192309.0110	TO BE ESTABLISHED
177	224275.7175	192307.1572	TO BE ESTABLISHED
178	224273.7462	192317.1141	TO BE ESTABLISHED
179	224282.5498	192318.9750	TO BE ESTABLISHED



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
 Lic. No. 15,863

- CONSULTANTS
- SURVEY & TOPOGRAPHY [ALBERTO ROSALES] (Lic. No. 15,865)
 - CIVIL [JORGE L. PÉREZ RUIZ, PE, Lic. No. 15,863]
 - ARCHITECTURAL [JORGE L. PÉREZ RUIZ, PE, Lic. No. 15,863]
 - STRUCTURAL [JOSE GONZON] (Lic. No. 15,908)

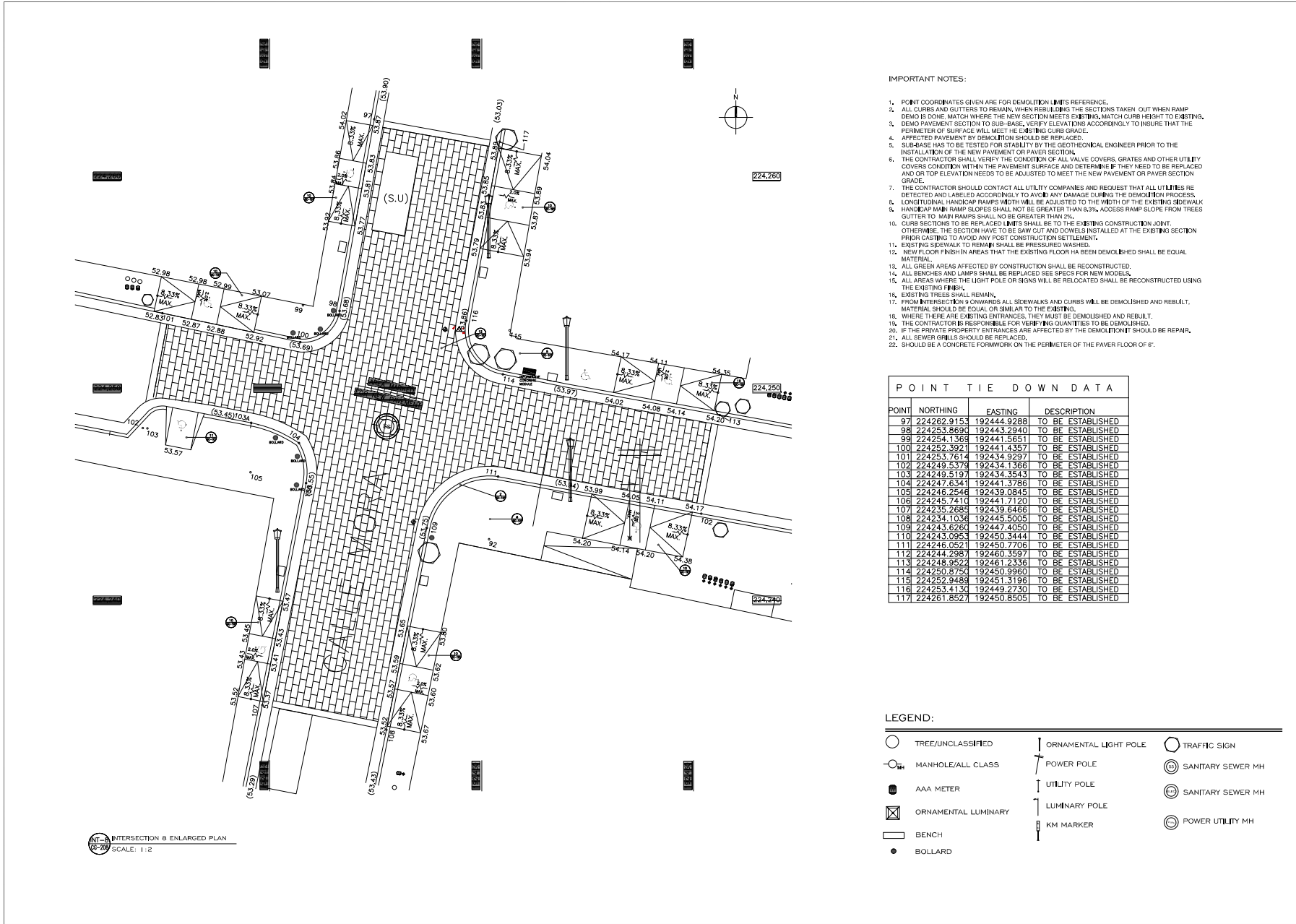
NOTE
 Yo, Jorge Pérez, Licencia No. 15,863, certifico que soy el profesional que preparó estos planos y los correspondientes complementos. También certifico que he verificado que estos planos y complementos cumplen con los requisitos establecidos en el Reglamento General de Contratos de Consultoría de Ingeniería Civil, con sus modificaciones y complementos. Asimismo, certifico que he verificado que la información de estos planos y complementos es la que corresponde al proyecto de la obra. En fe de lo cual, doy fe en esta ciudad de San Juan, Puerto Rico, a los 15 días del mes de junio del 2024, fecha en la que se firmó este instrumento. Yo, Jorge Pérez, Licencia No. 15,863, certifico que soy el profesional que preparó estos planos y los correspondientes complementos. También certifico que he verificado que estos planos y complementos cumplen con los requisitos establecidos en el Reglamento General de Contratos de Consultoría de Ingeniería Civil, con sus modificaciones y complementos. Asimismo, certifico que he verificado que la información de estos planos y complementos es la que corresponde al proyecto de la obra. En fe de lo cual, doy fe en esta ciudad de San Juan, Puerto Rico, a los 15 días del mes de junio del 2024, fecha en la que se firmó este instrumento.



WORKING DRAWINGS FOR:
 PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
 CALLE F DEGETAU #35
 JUANA DIAZ, PUERTO RICO

DRAWING NAME
ENLARGED GRADING PLAN INTERSECTION - 6

SCALE: 1" = 20'
 BIDDER DATE: JUN. 2024
 DRAWN BY: EMP. AIT
 CHECKED BY: JORGE L. PÉREZ RUIZ, PE
 DRAWING NO. CG-206.45
 SHEET NO. 01/125



INTERSECTION & ENLARGED PLAN
SCALE: 1:2

IMPORTANT NOTES:

1. POINT COORDINATES GIVEN ARE FOR DEMOLITION LIMITS REFERENCE.
2. ALL CURBS AND GUTTERS TO REMAIN, WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMO IS DONE, MATCH WHERE THE NEW SECTION MEETS EXISTING. MATCH CURB HEIGHT TO EXISTING.
3. DEMO PAVEMENT SECTION TO SUB-BASE, VERIFY ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
4. AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
5. SUB-BASE HAS TO BE TESTED FOR STABILITY BY THE GEOTECHNICAL ENGINEER PRIOR TO THE INSTALLATION OF THE NEW PAVEMENT OR PAPER SECTION.
6. THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATINGS AND OTHER UTILITY COVERS CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAPER SECTION GRADE.
7. THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
8. LONGITUDINAL HANDICAP RAMPS WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK.
9. HANDICAP RAMP RAMP SLOPES SHALL NOT BE GREATER THAN 8.3%, ACCESS RAMP SLOPE FROM TREES GUTTER TO MAIN RAMPS SHALL NOT BE GREATER THAN 2%.
10. CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT. OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
11. EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
12. NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
13. ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED.
14. ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
15. ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
16. EXISTING TREES SHALL REMAIN.
17. FROM INTERSECTION 9 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT. MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
18. WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
19. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES TO BE DEMOLISHED.
20. IF THE PRIVATE PROPERTY ENTRANCES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
21. ALL SEWER GRILLS SHOULD BE REPLACED.
22. SHOULD BE A CONCRETE FORMWORK ON THE PERIMETER OF THE PAVER FLOOR OF 6".

POINT TIE DOWN DATA

POINT	NORTHING	EASTING	DESCRIPTION
97	224262.9153	192444.9288	TO BE ESTABLISHED
98	224253.8690	192443.2940	TO BE ESTABLISHED
99	224254.1368	192441.5651	TO BE ESTABLISHED
100	224252.3921	192441.4357	TO BE ESTABLISHED
101	224253.7614	192434.9297	TO BE ESTABLISHED
102	224249.5379	192434.1366	TO BE ESTABLISHED
103	224249.5197	192434.3543	TO BE ESTABLISHED
104	224247.6341	192441.3786	TO BE ESTABLISHED
105	224246.2546	192439.0845	TO BE ESTABLISHED
106	224245.7410	192441.7120	TO BE ESTABLISHED
107	224235.2688	192439.6466	TO BE ESTABLISHED
108	224234.1036	192445.5005	TO BE ESTABLISHED
109	224243.6266	192447.4050	TO BE ESTABLISHED
110	224243.0953	192450.3444	TO BE ESTABLISHED
111	224246.0521	192450.7706	TO BE ESTABLISHED
112	224244.2381	192460.3597	TO BE ESTABLISHED
113	224248.9522	192461.2336	TO BE ESTABLISHED
114	224250.8750	192450.9960	TO BE ESTABLISHED
115	224252.9488	192451.3196	TO BE ESTABLISHED
116	224253.4130	192449.2730	TO BE ESTABLISHED
117	224261.8521	192450.8505	TO BE ESTABLISHED

LEGEND:

- TREE/UNCLASSIFIED
- ORNAMENTAL LIGHT POLE
- TRAFFIC SIGN
- MAN-HOLE/ALL CLASS
- ┆ POWER POLE
- SANITARY SEWER MH
- AAA METER
- ┆ UTILITY POLE
- SANITARY SEWER MH
- ⊠ ORNAMENTAL LUMINARY
- ┆ LUMINARY POLE
- POWER UTILITY MH
- ▭ BENCH
- ┆ KM MARKER
- BOLLARD



APPROVED BY
JORGE L. PÉREZ RUÍZ, PE
 LIC. No. 15,863

- CONSULTANTS
1. SURVEY & TOPOGRAPHY [ALBERTO ROSMEJEL (Lic. No. 15,863)]
 2. CIVIL [JORGE L. PÉREZ RUÍZ (Lic. No. 15,863)]
 3. ARCHITECTURAL [JORGE L. PÉREZ RUÍZ (Lic. No. 15,863)]
 4. STRUCTURAL [JOSE GONZALEZ (Lic. No. 1,930)]

NOTE
 Yo, JORGE PÉREZ RUÍZ (Lic. No. 15,863), CERTIFICO QUE SOY EL PROFESIONAL QUE PREPARÉ ESTOS PLANOS Y LOS SUPERVISÉ EN SU EJECUCIÓN. TAMBIÉN, CERTIFICO QUE SE LEYERON Y ENTENDIERON BIEN LOS PLANOS Y SE LEYERON Y ENTENDIERON BIEN LAS ESPECIFICACIONES Y EL MATERIAL QUE SE INDICÓ EN EL MISMO. SE GARANTIZA QUE LA OBRERA SE LEYERON Y ENTENDIERON BIEN LAS ESPECIFICACIONES Y EL MATERIAL QUE SE INDICÓ EN EL MISMO. SE GARANTIZA QUE LA OBRERA SE LEYERON Y ENTENDIERON BIEN LAS ESPECIFICACIONES Y EL MATERIAL QUE SE INDICÓ EN EL MISMO. SE GARANTIZA QUE LA OBRERA SE LEYERON Y ENTENDIERON BIEN LAS ESPECIFICACIONES Y EL MATERIAL QUE SE INDICÓ EN EL MISMO.

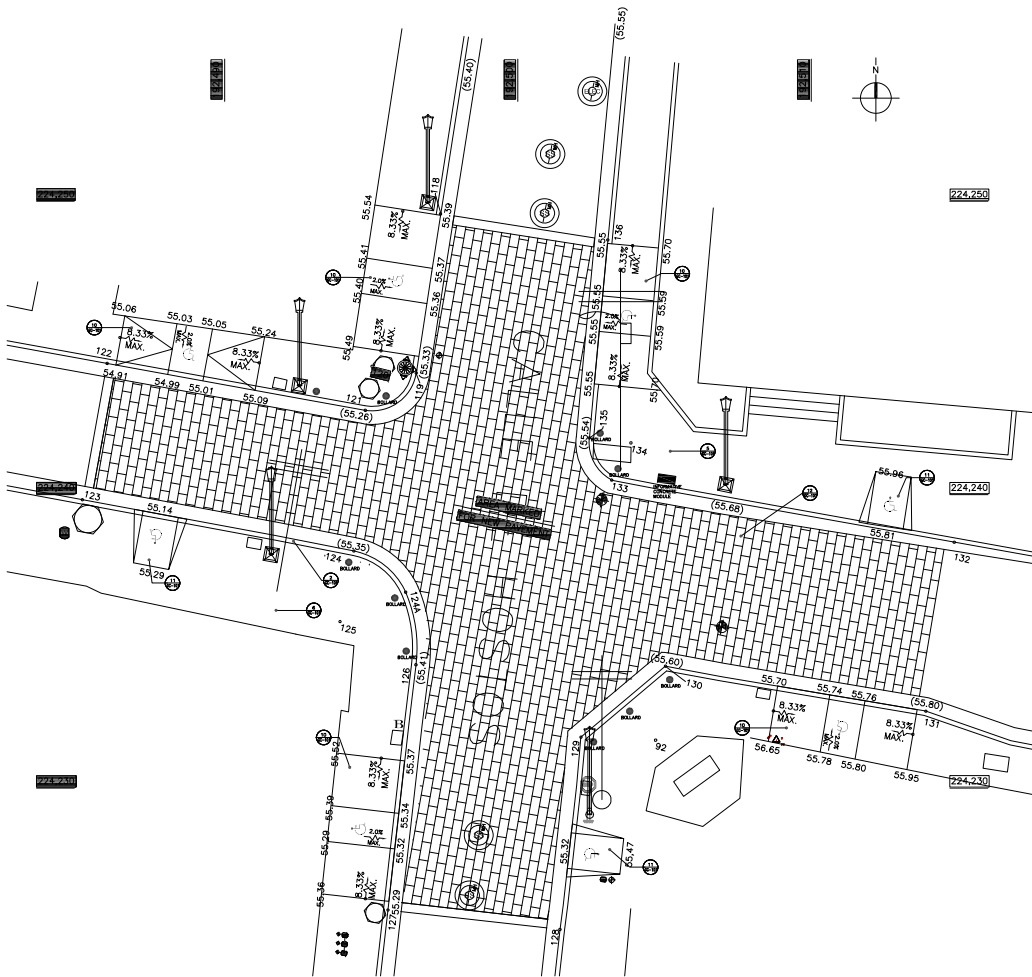


CERTIFICATION

WORKING DRAWINGS FOR:
 PR-CRP-000437
 RUTA DE LOS TRES SANTOS REYES
 CALLE F DEGETAU #35
 JUANA DIAZ, PUERTO RICO

DRAWING NAME
ENLARGED GRADING PLAN INTERSECTION - B

SCALE: 1:2 BIDDEN DATE: JUN. 2024
 DRAWN BY: EMP. AIT CHECKED BY: JORGE L. PÉREZ RUÍZ, PE
 DRAWING NO. CG-208 47 SHEET NO. 07 125



INTERSECTION ENLARGED PLAN
SCALE: 1:2

IMPORTANT NOTES:

- POINT COORDINATES GIVEN ARE FOR DEMOLITION LIMITS REFERENCE.
- ALL CURBS AND GUTTERS TO REMAIN, WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMO IS DONE. MATCH WHERE THE NEW SECTION MEETS EXISTING. MATCH CURB HEIGHT TO EXISTING.
- DEMO PAVEMENT SECTION TO SUB-BASE. VERIFY ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
- AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
- SUB-BASE HAS TO BE TESTED FOR STABILITY BY THE GEOTECHNICAL ENGINEER PRIOR TO THE INSTALLATION OF THE NEW PAVEMENT OR PAVEMENT SECTION.
- THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAVEMENT SECTION GRADE.
- THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
- LONGITUDINAL HANDICAP RAMPS WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK.
- HANDICAP MAIN RAMP SLOPES SHALL NOT BE GREATER THAN 6.33%. ACCESS RAMP SLOPE FROM TREES.
- CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT. OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
- EXISTING SIDEWALKS TO REMAIN SHALL BE PRESSURED WASHED.
- NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
- ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED.
- ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
- ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
- EXISTING TREES SHALL REMAIN.
- FROM INTERSECTION 9 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND RESULT. MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
- WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILD.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING UTILITIES TO BE DEMOLISHED.
- IF THE PRIVATE PROPERTY ENTRANCES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
- ALL SEWER GRILLS SHOULD BE REPLACED.
- SHOULD BE A CONCRETE FORMWORK ON THE PERIMETER OF THE PAVEMENT FLOOR OF 6".

POINT	NORTHING	EASTING	DESCRIPTION
118	224249.5720	192497.3645	TO BE ESTABLISHED
119	224244.1472	192496.5328	TO BE ESTABLISHED
120	224244.3751	192495.0300	TO BE ESTABLISHED
121	224242.8803	192494.7575	TO BE ESTABLISHED
122	224244.4737	192485.9947	TO BE ESTABLISHED
123	224239.8262	192485.1502	TO BE ESTABLISHED
124	224238.0781	192494.4072	TO BE ESTABLISHED
125	224235.6733	192493.9346	TO BE ESTABLISHED
126	224234.2011	192496.5262	TO BE ESTABLISHED
127	224225.8374	192495.5673	TO BE ESTABLISHED
128	224225.1782	192501.4342	TO BE ESTABLISHED
129	224231.7311	192502.1492	TO BE ESTABLISHED
130	224234.1531	192505.0272	TO BE ESTABLISHED
131	224232.6184	192513.9049	TO BE ESTABLISHED
132	224238.3775	192514.8757	TO BE ESTABLISHED
133	224240.4961	192503.1942	TO BE ESTABLISHED
134	224241.7624	192503.8519	TO BE ESTABLISHED
135	224241.9331	192502.4352	TO BE ESTABLISHED
136	224248.6790	192503.0629	TO BE ESTABLISHED

LEGEND:

- TREE/UNCLASSIFIED
- MANHOLE/ALL CLASS
- AAA METER
- ORNAMENTAL LUMINARY
- BENCH
- BOLLARD
- ORNAMENTAL LIGHT POLE
- POWER POLE
- UTILITY POLE
- LUMINARY POLE
- KM MARKER
- TRAFFIC SIGN
- SANITARY SEWER MH
- SANITARY SEWER MH
- POWER UTILITY MH



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
Lic. No. 15,863

- CONSULTANTS
- SURVEY & TOPOGRAPHY [ALBERTO ROSALES] (Lic. No. 8858)
 - CIVIL [JORGE L. PÉREZ RUIZ] (Lic. No. 15,863)
 - ARCHITECTURAL [JORGE L. PÉREZ RUIZ] (Lic. No. 15,863)
 - STRUCTURAL [JOSE GONZALEZ] (Lic. No. 1308)

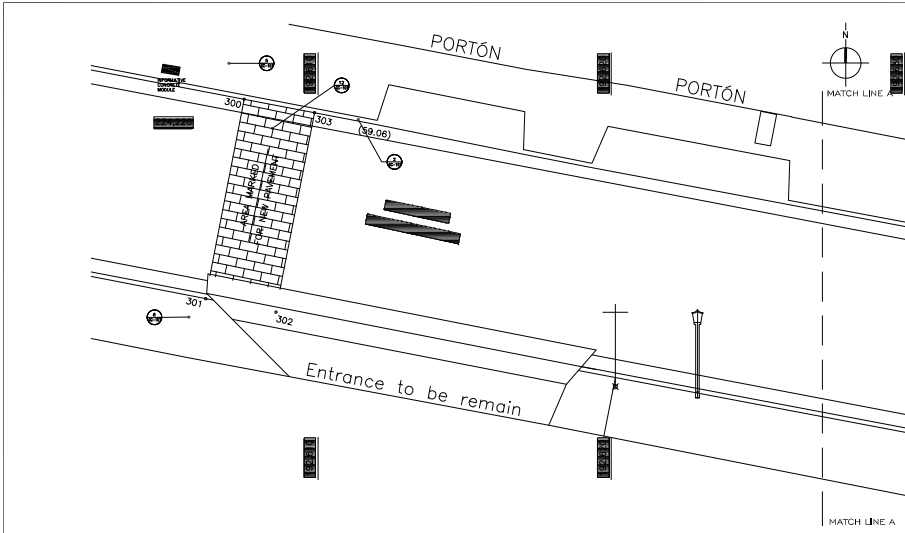
NOTE
Yo, Jorge Pérez, Licencia No. 15,863, certifico que soy el profesional que preparó estos planos y los correspondientes complementos. También certifico que autorizo que estos planos y sus modificaciones sean utilizados por el contratista para la ejecución de los trabajos de la obra, con las modificaciones o complementos que sean necesarios, siempre y cuando, que se la preparación de estos planos y complementos se ha cumplido con los requisitos de la Ley No. 20 de 2004, sobre el ejercicio de la profesión de arquitecto, ingeniero y topógrafo, y de la Ley No. 147 de 1991, sobre el ejercicio de la profesión de ingeniero en civil, y de la Ley No. 103 de 1998, sobre el ejercicio de la profesión de ingeniero en arquitectura. Asimismo, certifico que autorizo al contratista para que utilice estos planos y complementos para la ejecución de los trabajos de la obra, con las modificaciones o complementos que sean necesarios, siempre y cuando, que se la preparación de estos planos y complementos se ha cumplido con los requisitos de la Ley No. 20 de 2004, sobre el ejercicio de la profesión de arquitecto, ingeniero y topógrafo, y de la Ley No. 147 de 1991, sobre el ejercicio de la profesión de ingeniero en civil, y de la Ley No. 103 de 1998, sobre el ejercicio de la profesión de ingeniero en arquitectura. Asimismo, certifico que autorizo al contratista para que utilice estos planos y complementos para la ejecución de los trabajos de la obra, con las modificaciones o complementos que sean necesarios, siempre y cuando, que se la preparación de estos planos y complementos se ha cumplido con los requisitos de la Ley No. 20 de 2004, sobre el ejercicio de la profesión de arquitecto, ingeniero y topógrafo, y de la Ley No. 147 de 1991, sobre el ejercicio de la profesión de ingeniero en civil, y de la Ley No. 103 de 1998, sobre el ejercicio de la profesión de ingeniero en arquitectura.



WORKING DRAWINGS FOR:
PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
CALLE F DEGETAU #35
JUANA DIAZ, PUERTO RICO

DRAWING NAME
ENLARGED GRADING PLAN INTERSECTION - 9

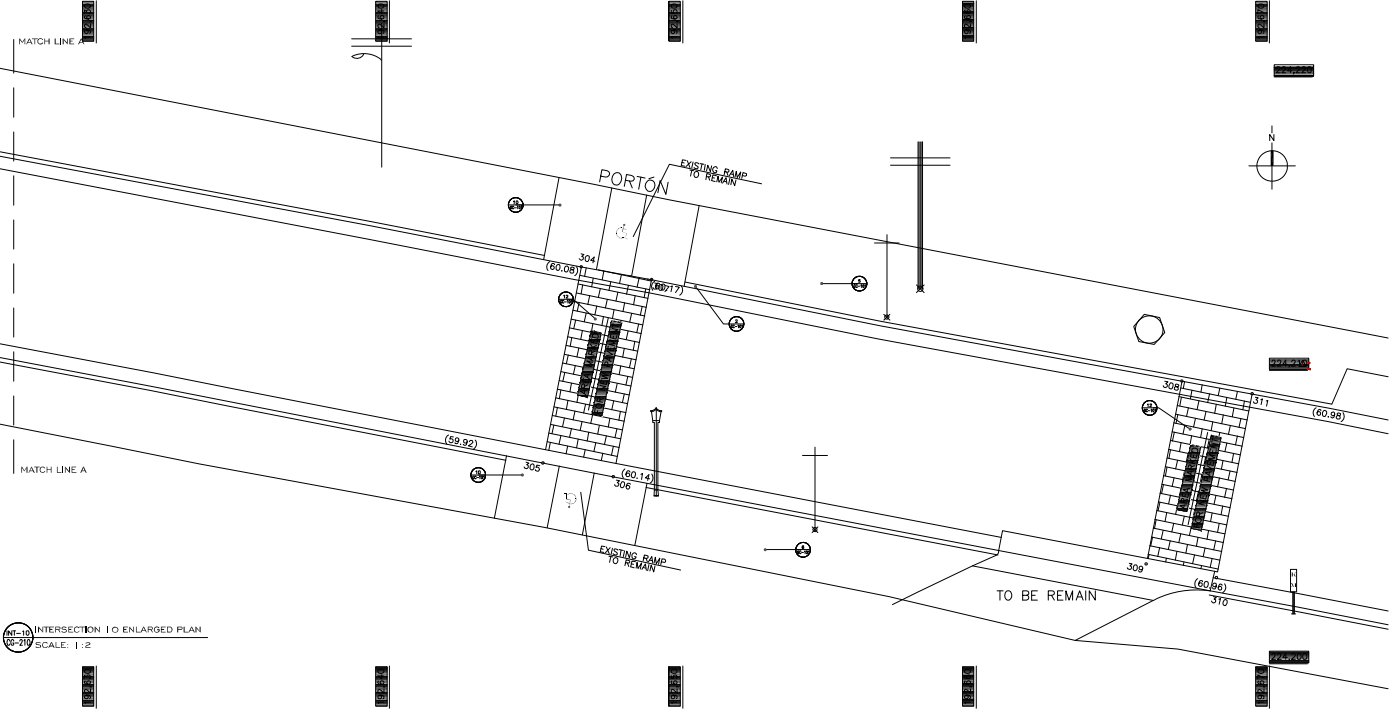
SCALE: 1:2	BIDDER DATE: JUN. 2024
DRAWN BY: EMP. AIT	CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DRAWING NO: CG-209	SHEET NO: 48 of 125



POINT TIE DOWN DATA			
POINT	NORTHING	EASTING	DESCRIPTION
300	224221.0110	192607.4848	TO BE ESTABLISHED
301	224214.2154	192606.1745	TO BE ESTABLISHED
302	224213.7586	192608.5663	TO BE ESTABLISHED
303	224220.5542	192609.8766	TO BE ESTABLISHED
304	224213.5244	192646.5351	TO BE ESTABLISHED
305	224207.2924	192645.3189	TO BE ESTABLISHED
306	224206.8255	192647.7130	TO BE ESTABLISHED
307	224213.0917	192648.9315	TO BE ESTABLISHED
308	224209.6337	192667.0108	TO BE ESTABLISHED
309	224203.4016	192665.7946	TO BE ESTABLISHED
310	224202.9348	192668.1896	TO BE ESTABLISHED
311	224209.2008	192669.4072	TO BE ESTABLISHED

LEGEND:

- TREE/UNCLASSIFIED
- MANHOLE/ALL CLASS
- ⊕ AAA METER
- ⊠ ORNAMENTAL LUMINARY
- ▭ BENCH
- BOLLARD
- ORNAMENTAL LIGHT POLE
- ⊕ POWER POLE
- UTILITY POLE
- LUMINARY POLE
- KM MARKER
- TRAFFIC SIGN
- SANITARY SEWER MH
- SANITARY SEWER MH
- POWER UTILITY MH



INTERSECTION 10 ENLARGED PLAN
SCALE: 1:2

IMPORTANT NOTES:

- POINT COORDINATES GIVEN ARE FOR DEMOLITION LIMITS REFERENCE.
- ALL CURBS AND GUTTERS TO REMAIN, WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMO IS DONE, MATCH WHERE THE NEW SECTION MEETS EXISTING MATCH CURB HEIGHT TO EXISTING.
- DEMO PAVEMENT SECTION TO SUB-BASE, VERIFY ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
- AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
- SUB-BASE HAS TO BE TESTED FOR STABILITY BY THE GEOTECHNICAL ENGINEER PRIOR TO THE INSTALLATION OF THE NEW PAVEMENT OR PAVER SECTION.
- THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS. CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAVER SECTION GRADE.
- THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
- LONGITUDINAL HANDICAP RAMPS WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK.
- HANDICAP MAIN RAMP SLOPES SHALL NOT BE GREATER THAN 6.3%. ACCESS RAMP SLOPE FROM TREES GUTTER TO MAIN RAMPS SHALL NOT BE GREATER THAN 2%.
- CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION ADJ. OTHERWISE, THE SECTION HAVE TO BE SAW OUT AND DOWELS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
- EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
- NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
- ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED.
- ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
- ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
- EXISTING TREES SHALL REMAIN.
- FROM INTERSECTION 9 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT. MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING, WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES TO BE DEMOLISHED.
- IF THE PRIVATE PROPERTY ENTRANCES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
- ALL SEWER GRILLS SHOULD BE REPLACED.
- SHOULD BE A CONCRETE FORMWORK ON THE PERIMETER OF THE PAVER FLOOR OF P.



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
LIC. No. 15,863

- CONSULTANTS
- SURVEY & TOPOGRAPHY | ALBERTO ROSALES (Lic. No. 15,863)
 - CIVIL | JORGE L. PÉREZ RUIZ (Lic. No. 15,863)
 - ARCHITECTURAL | JORGE L. PÉREZ RUIZ (Lic. No. 15,863)
 - STRUCTURAL | JOSE QUINTON (Lic. No. 1,900)

NOTE
Yo, Jorge Pérez, Licencia No. 15,863, confirmo que soy el profesional que preparó estos planos y los correspondientes complementos. También confirmo que he verificado que dichos planos y complementos cumplen con los requisitos que establece el Reglamento de la Ley de Ordenamiento Urbanístico y Construcción, emitido por el Poder Ejecutivo, y que he verificado que la información de estos planos y complementos es la correcta con los planos de la lotería. En el momento de la preparación de estos planos y complementos, yo no tenía conocimiento de ninguna otra información que pudiera afectar la exactitud de los mismos. Yo, Jorge Pérez, Licencia No. 15,863, confirmo que soy el profesional que preparó estos planos y los correspondientes complementos. También confirmo que he verificado que dichos planos y complementos cumplen con los requisitos que establece el Reglamento de la Ley de Ordenamiento Urbanístico y Construcción, emitido por el Poder Ejecutivo, y que he verificado que la información de estos planos y complementos es la correcta con los planos de la lotería. En el momento de la preparación de estos planos y complementos, yo no tenía conocimiento de ninguna otra información que pudiera afectar la exactitud de los mismos.



WORKING DRAWINGS FOR:
PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
CALLE F DEGETAL #35
JUANA DIAZ, PUERTO RICO

DRAWING NAME ENLARGED GRADING PLAN INTERSECTION - 10	
SCALE: 1:2	BIDDER DATE: JUN. 2024
DRAWN BY: EMP. AIT	CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DRAWING NO: CG-210	SHEET NO: 49 OF 125



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
 Lic. No. 15,863

- CONSULTANTS
1. SURVEY & TOPOGRAPHY [ALBERTO ROSALES] (Lic. No. 8185)
 2. CIVIL [JORGE L. PÉREZ RUIZ] (Lic. No. 15,863)
 3. ARCHITECTURAL [JORGE L. PÉREZ RUIZ] (Lic. No. 15,863)
 4. STRUCTURAL [JOSE GONZON] (Lic. No. 15,908)

NOTE
 Yo, JORGE PEREZ, Licencia No. 15,863, COMPROVO QUE SOY EL PROFESIONAL QUE PREPARO ESTOS PLANOS Y LOS RESPONSABILIDADES CORRESPONDIENTES. TAMBIEN COMPROVO QUE ENTENDE QUE ESTOS PLANOS Y RESPONSABILIDADES CORRESPONDIENTES SON UN DOCUMENTO INMUTABLE QUE REPRESENTA LA VERDAD. CUALQUIER MODIFICACIONES O CORRECCIONES DEBERAN SER HECHAS EN FORMA DE ACORDO, QUE EN LA PREPARACION DE ESTOS PLANOS Y RESPONSABILIDADES DEBE COMPARAR CON LOS PLANOS DE LA LOTERIA. EN EL CASO DE QUE HAYA ALGUN ERROR EN ESTOS PLANOS, COMPROVO QUE ASUMO LA RESPONSABILIDAD POR EL MISMO. ESTOS PLANOS SON UN DOCUMENTO INMUTABLE QUE REPRESENTA LA VERDAD. CUALQUIER MODIFICACIONES O CORRECCIONES DEBERAN SER HECHAS EN FORMA DE ACORDO, QUE EN LA PREPARACION DE ESTOS PLANOS Y RESPONSABILIDADES DEBE COMPARAR CON LOS PLANOS DE LA LOTERIA. EN EL CASO DE QUE HAYA ALGUN ERROR EN ESTOS PLANOS, COMPROVO QUE ASUMO LA RESPONSABILIDAD POR EL MISMO.



WORKING DRAWINGS FOR:
 PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
 CALLE F DEGETAU #35
 JUANA DIAZ, PUERTO RICO

DRAWING NAME
ENLARGED GRADING PLAN INTERSECTION 1 | 1

SCALE: 1" = 50'
 BIDDER DATE: JUN. 2024
 DRAWN BY: EMP. AIT
 CHECKED BY: JORGE L. PÉREZ RUIZ, PE
 DRAWING NO. CG-2 | 1 | 50
 SHEET NO. 01 | 25

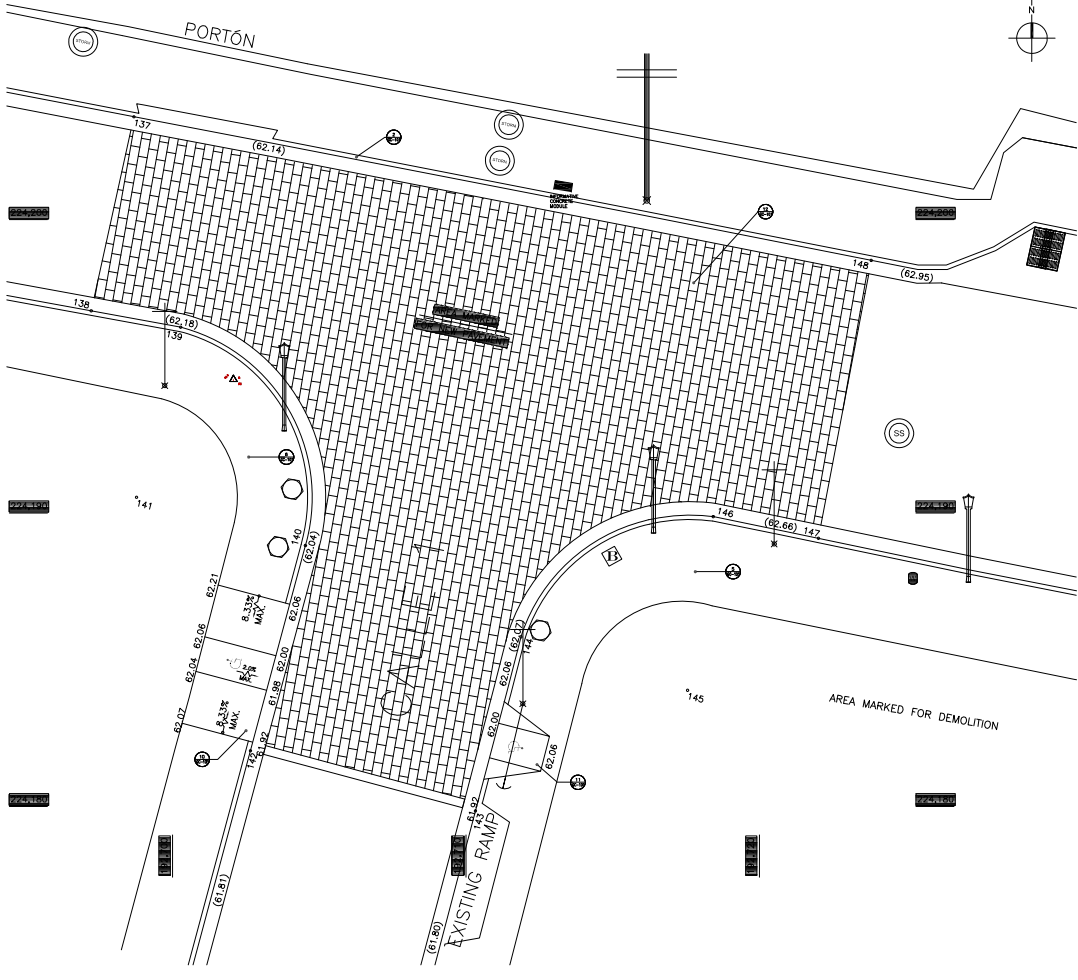
IMPORTANT NOTES:

1. POINT COORDINATES GIVEN ARE FOR DEMOLITION LIMITS REFERENCE.
2. ALL CURBS AND GUTTERS TO REMAIN WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMO IS DONE. MATCH WHERE THE NEW SECTION MEETS EXISTING. MATCH CURB HEIGHT TO EXISTING.
3. DEMO PAVEMENT SECTION TO SUB-BASE. VERIFY ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
4. AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
5. SUB-BASE HAS TO BE TESTED FOR STABILITY BY THE GEOTECHNICAL ENGINEER PRIOR TO THE INSTALLATION OF THE NEW PAVEMENT OR PAPER SECTION.
6. THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAPER SECTION GRADE.
7. THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
8. LONGITUDINAL HANDICAP RAMPS WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK.
9. HANDICAP MAIN RAMP SLOPES SHALL NOT BE GREATER THAN 8.3%. ACCESS RAMP SLOPE FROM TREES GUTTER TO MAIN RAMPS SHALL NOT BE GREATER THAN 2%.
10. CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT. OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
11. EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
12. NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
13. ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED.
14. ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
15. ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
16. EXISTING TREES SHALL REMAIN.
17. FROM INTERSECTION 9 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT. MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
18. WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
19. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES TO BE DEMOLISHED.
20. IF THE PRIVATE PROPERTY ENTRANCES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
21. ALL SEWER GRILLS SHOULD BE REPLACED.
22. SHOULD BE A CONCRETE FORMWORK ON THE PERIMETER OF THE PAVEMENT FLOOR OF 8".

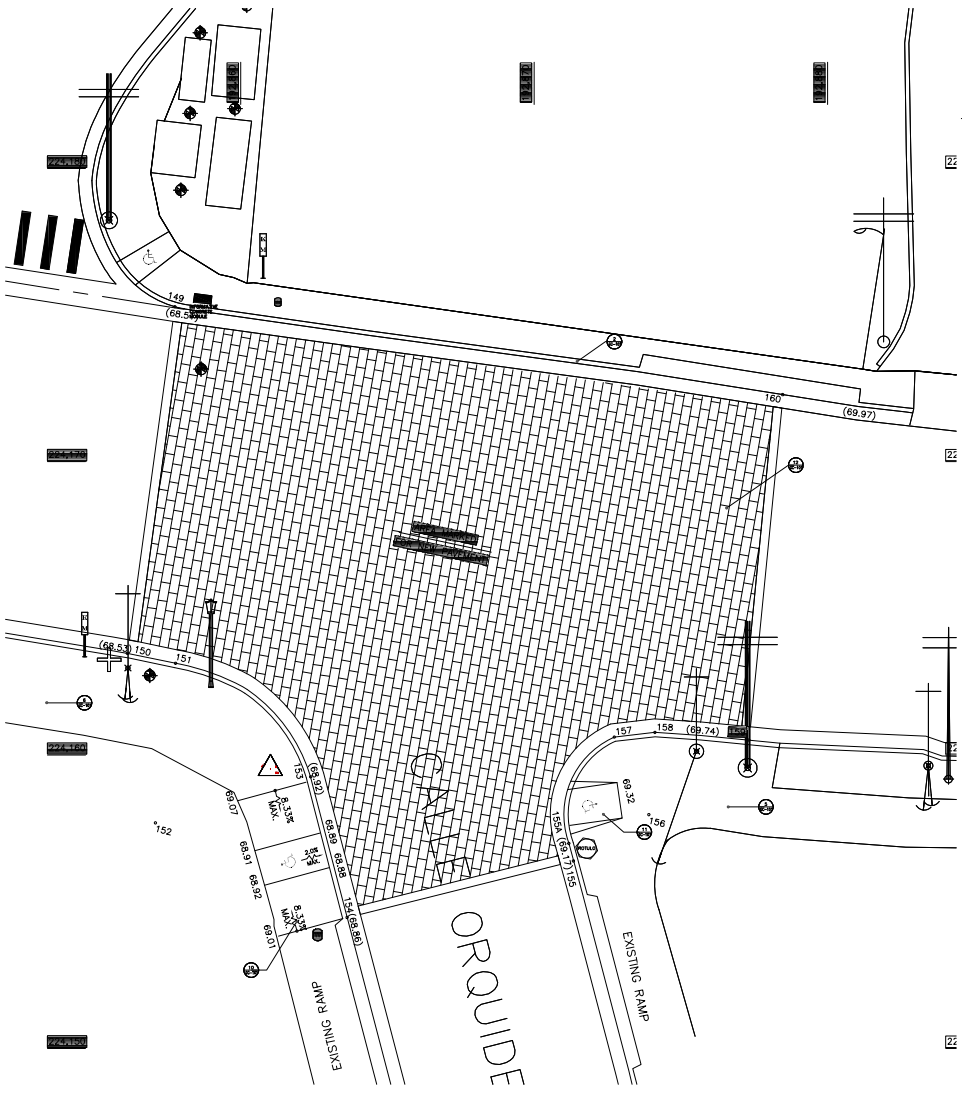
POINT	NORTHING	EASTING	DESCRIPTION
137	224203.5074	192698.6764	TO BE ESTABLISHED
138	224196.8911	192697.2230	TO BE ESTABLISHED
139	224196.3340	192700.2694	TO BE ESTABLISHED
140	224188.8910	192704.5234	TO BE ESTABLISHED
141	224190.5369	192698.7647	TO BE ESTABLISHED
142	224181.8971	192702.6483	TO BE ESTABLISHED
143	224179.8404	192710.3192	TO BE ESTABLISHED
144	224185.7790	192711.8714	TO BE ESTABLISHED
145	224183.9558	192717.5504	TO BE ESTABLISHED
146	224189.8760	192718.4314	TO BE ESTABLISHED
147	224189.1371	192722.0124	TO BE ESTABLISHED
148	224196.6114	192723.8136	TO BE ESTABLISHED

LEGEND:

- TREE/UNCLASSIFIED
- _M MANHOLE/ALL CLASS
- AAA METER
- ⊠ ORNAMENTAL LUMINARY
- BENCH
- BOLLARD
- | ORNAMENTAL LIGHT POLE
- ⌵ POWER POLE
- ↑ UTILITY POLE
- | LUMINARY POLE
- | KM MARKER
- TRAFFIC SIGN
- SANITARY SEWER MH
- SANITARY SEWER MH
- POWER UTILITY MH



INTERSECTION 11 ENLARGED PLAN
 SCALE: 1:2



IMPORTANT NOTES:

1. POINT COORDINATES GIVEN ARE FOR DEMOLITION LIMITS REFERENCE.
2. ALL CURBS AND GUTTERS TO REMAIN. WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMOLIS IS DONE, MATCH WHERE THE NEW SECTION MEETS EXISTING, MATCH CURB HEIGHT TO EXISTING.
3. DEMO PAVEMENT SECTION TO SUB-BASE, VERIFY ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET EXISTING CURB GRADE.
4. AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
5. SUB-BASE HAS TO BE TESTED FOR STABILITY BY THE GEOTECHNICAL ENGINEER PRIOR TO THE INSTALLATION OF THE NEW PAVEMENT OR PAVES SECTION.
6. THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAVES SECTION GRADE.
7. THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
8. LONGITUDINAL HANDICAP RAMPS WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK.
9. HANDICAP MAIN RAMP SLOPES SHALL NOT BE GREATER THAN 5.0%, ACCESS RAMP SLOPE FROM TREES GUTTER TO MAIN RAMPS SHALL NO BE GREATER THAN 2%.
10. CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT, OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
11. EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
12. NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
13. ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED.
14. ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
15. ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
16. EXISTING TREES SHALL REMAIN.
17. FROM INTERSECTION'S ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT, MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
18. WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
19. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES TO BE DEMOLISHED.
20. IF THE PRIVATE PROPERTY ENTRANCES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
21. ALL SOWER GRIBLES SHOULD BE REPLACED.
22. SHOULD BE A CONCRETE FORMWORK ON THE PERIMETER OF THE PAVES FLOOR OF 6".

POINT TIE DOWN DATA

POINT	NORTHING	EASTING	DESCRIPTION
149	224175.2872	192857.7493	TO BE ESTABLISHED
150	224163.4690	192856.1276	TO BE ESTABLISHED
151	224163.1270	192857.7736	TO BE ESTABLISHED
152	224157.6867	192857.0984	TO BE ESTABLISHED
153	224159.7674	192862.3795	TO BE ESTABLISHED
154	224154.4622	192863.6234	TO BE ESTABLISHED
155	224156.3903	192871.3404	TO BE ESTABLISHED
155A	224156.9841	192871.1800	TO BE ESTABLISHED
156	224157.3665	192873.9090	TO BE ESTABLISHED
157	224160.6130	192872.7316	TO BE ESTABLISHED
158	224160.7690	192874.1166	TO BE ESTABLISHED
159	224160.5101	192877.3200	TO BE ESTABLISHED
160	224172.2888	192876.4747	TO BE ESTABLISHED

LEGEND:

○	TREE/UNCLASSIFIED	┆	ORNAMENTAL LIGHT POLE	○	TRAFFIC SIGN
○ _{MAN}	MANHOLE/ALL CLASS	┆	POWER POLE	○	SANITARY SEWER MH
■	AAA METER	┆	UTILITY POLE	○	SANITARY SEWER MH
⊠	ORNAMENTAL LUMINARY	┆	LUMINARY POLE	○	POWER UTILITY MH
□	BENCH	┆	KM MARKER		
●	BOLLARD				

INTERSECTION 12 ENLARGED PLAN
SCALE: 1:2

TCM
APPROVED BY
JORGE L. PÉREZ RUIZ, PE
Lic. No. 15,863

- CONSULTANTS
1. SURVEY & TOPOGRAPHY (ALBERTO ROMEROZUELO (E.L. No. 8188)
 2. CIVIL (JORGE L. PÉREZ RUIZ (E.L. No. 15,863)
 3. ARCHITECTURAL (JORGE L. PÉREZ RUIZ (E.L. No. 15,863)
 4. STRUCTURAL (JOSE QUINTON (E.L. No. 1308)

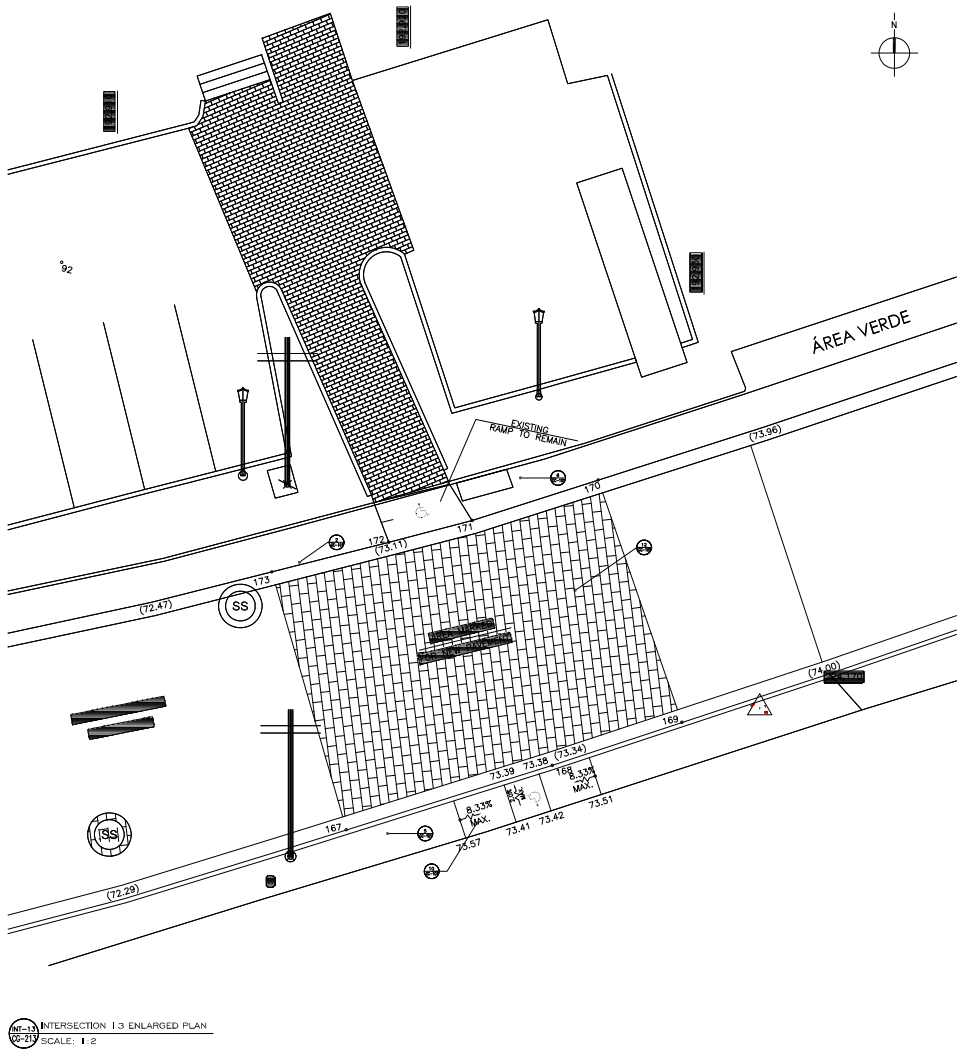
NOTE
Yo, Jorge Pérez, Licencia No. 15,863, certifico que soy el profesional que preparó estos planos y los correspondientes comentarios. También certifico que se han verificado que estos planos y especificaciones cumplen con los requisitos exigidos por el Reglamento General de Construcción y Construcción de Edificios, Planos, Especificaciones y Normas Técnicas. Asimismo, certifico que he verificado que la información de estos planos y especificaciones es la correcta con los planos de la lotería. El día 08 de mayo de 2024, en mi oficina, ubicada en Calle de San Juan, San Juan, Puerto Rico. Es fecho en San Juan, Puerto Rico, el día 08 de mayo de 2024. Firma Profesional: Jorge L. Pérez Ruiz, PE Lic. No. 15,863. Fecha: 08/05/2024. Lugar: San Juan, Puerto Rico. Este documento es una copia impresa de un archivo digital. No se permite su reproducción o uso no autorizado sin el consentimiento escrito del profesional que elaboró los planos. Cualquier uso no autorizado de este documento es responsabilidad del usuario. Este documento es propiedad intelectual y confidencial de TCM.



WORKING DRAWINGS FOR:
PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
CALLE F DEGETAU #35
JUANA DIAZ, PUERTO RICO

DRAWING NAME
ENLARGED GRADING PLAN INTERSECTION - 12

SCALE: 1:2	BIDDER DATE: JUN. 2024
DRAWN BY: EMP. AIT	CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DRAWING NO. CG-212	SHEET NO. 51 OF 125



IMPORTANT NOTES:

1. POINT COORDINATES GIVEN ARE FOR DEMOLITION LIMITS REFERENCE.
2. ALL CURBS AND RAMP TO REMAIN, WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMO IS DONE, MATCH WHERE THE NEW SECTION MEETS EXISTING MATCH CURB HEIGHT TO EXISTING.
3. DEMO PAVEMENT SECTION TO SUB-BASE, VERIFY ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
4. AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
5. SUB-BASE HAS TO BE TESTED FOR STABILITY BY THE GEOTECHNICAL ENGINEER PRIOR TO THE INSTALLATION OF THE NEW PAVEMENT OR PAVEMENT SECTION.
6. THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAVEMENT SECTION GRADE.
7. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
8. LONGITUDINAL HANDICAP RAMPS WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK.
9. HANDICAP MAIN RAMP SLOPES SHALL NOT BE GREATER THAN 8.3%, ACCESS RAMP SLOPE FROM TREES GUTTER TO MAIN RAMPS SHALL NOT BE GREATER THAN 2%.
10. CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT, OTHERWISE THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION FROM CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
11. EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
12. NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
13. ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED.
14. ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
15. ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
16. EXISTING TREES SHALL REMAIN.
17. FROM INTERSECTION 9 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT, MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
18. WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
19. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES TO BE DEMOLISHED.
20. IF THE PRIVATE PROPERTY ENTRANCES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
21. ALL SEWER GRILLS SHOULD BE REPLACED.
22. SHOULD BE A CONCRETE FORMWORK ON THE PERIMETER OF THE PAVEMENT FLOOR OF 6".

POINT TIE DOWN DATA			
POINT	NORTHING	EASTING	DESCRIPTION
167	224165.0151	192917.7999	TO BE ESTABLISHED
168	224167.2130	192924.8236	TO BE ESTABLISHED
169	224168.5808	192929.2423	TO BE ESTABLISHED
170	224176.9422	192926.3887	TO BE ESTABLISHED
171	224175.5620	192922.0926	TO BE ESTABLISHED
172	224174.8200	192919.2516	TO BE ESTABLISHED
173	224173.8068	192915.2628	TO BE ESTABLISHED

LEGEND:

- TREE/UNCLASSIFIED
- MANHOLE/ALL CLASS
- AAA METER
- ⊠ ORNAMENTAL LUMINARY
- BENCH
- BOLLARD
- | ORNAMENTAL LIGHT POLE
- | POWER POLE
- | UTILITY POLE
- | LUMINARY POLE
- | KM MARKER
- TRAFFIC SIGN
- ⊙ SANITARY SEWER MH
- ⊙ SANITARY SEWER MH
- ⊙ POWER UTILITY MH

INTERSECTION 13 ENLARGED PLAN
SCALE: 1:2



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
Lic. No. 15,863

- CONSULTANTS
1. SURVEY & TOPOGRAPHY (ALBERTO ROSALES) (Lic. No. 8888)
 2. CIVIL (JORGE L. PÉREZ RUIZ) (Lic. No. 15,863)
 3. ARCHITECTURAL (JORGE L. PÉREZ RUIZ) (Lic. No. 15,863)
 4. STRUCTURAL (JOSE QUINTON) (Lic. No. 1308)

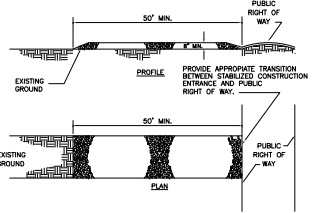
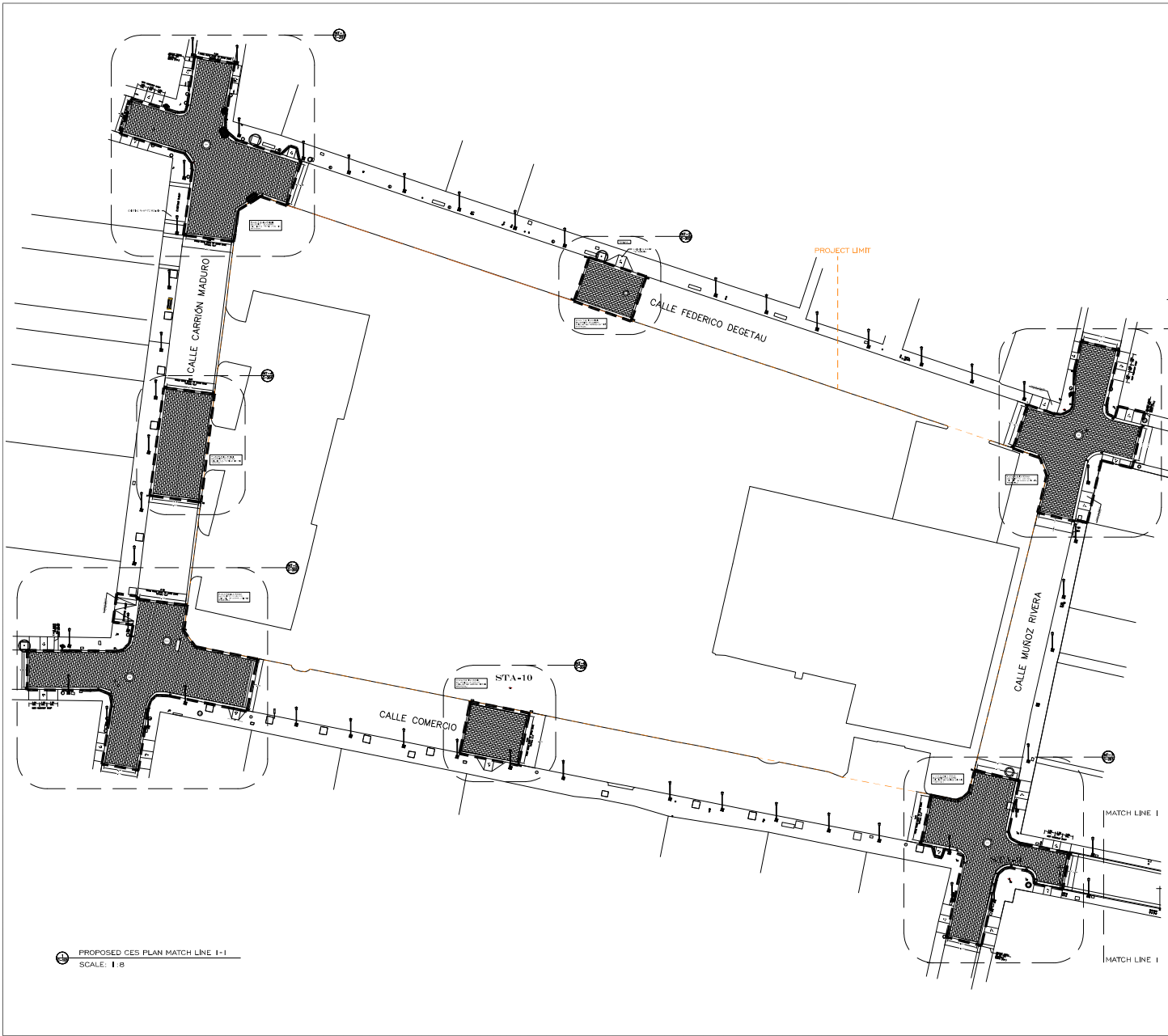
NOTE
Yo, Jorge Pérez, Licencia No. 15,863, COMPROVO QUE SOY EL PROFESIONAL QUE PREPARÉ ESTOS PLANOS Y LOS ESPERADIZADOS CORRESPONDIENTES. TAMBIÉN COMPROVO QUE ENTENDÍ QUE ESTOS PLANOS Y CORRESPONDIENTES SE HARÁN CON UN RESPALDO DE ANÁLISIS DEL DISEÑO REQUERIDO CORRESPONDIENTE A LOS REQUISITOS DE LA LEY DE LA INGENIERÍA, LAS OBLIGACIONES Y RESPONSABILIDADES PROFESIONALES CORRESPONDIENTES, ASÍ COMO LA PREPARACIÓN DE ESTOS PLANOS Y ESPERADIZADOS DE LA CONFORMIDAD CON LOS PLANOS DE LA LEY. EN FE DE LO CUAL, EL DÍA 20 DE JUNIO DE 2024, FIRMÉ ESTOS PLANOS Y ESPERADIZADOS EN MI OFICINA DE TRABAJO EN LA CIUDAD DE PUERTO RICO, A LAS 14 HORAS. EN FE DE LO CUAL, EL DÍA 20 DE JUNIO DE 2024, FIRMÉ ESTOS PLANOS Y ESPERADIZADOS EN MI OFICINA DE TRABAJO EN LA CIUDAD DE PUERTO RICO, A LAS 14 HORAS. EN FE DE LO CUAL, EL DÍA 20 DE JUNIO DE 2024, FIRMÉ ESTOS PLANOS Y ESPERADIZADOS EN MI OFICINA DE TRABAJO EN LA CIUDAD DE PUERTO RICO, A LAS 14 HORAS. EN FE DE LO CUAL, EL DÍA 20 DE JUNIO DE 2024, FIRMÉ ESTOS PLANOS Y ESPERADIZADOS EN MI OFICINA DE TRABAJO EN LA CIUDAD DE PUERTO RICO, A LAS 14 HORAS.



WORKING DRAWINGS FOR:
PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
CALLE F DEGETAU #35
JUANA DIAZ, PUERTO RICO

DRAWING NAME
ENLARGED GRADING PLAN INTERSECTION - 13

SCALE: 1:2	BIDDER DATE: JUN. 2024
DRAWN BY: EMP. AIT	CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DRAWING NO. CG-213	SHEET NO. 52 OF 125

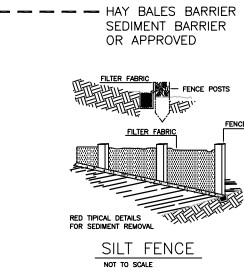


TRUCK WASHING FACILITIES
NOT TO SCALE TBD WF



- CONSTRUCTION SPECIFICATIONS**
1. STONE SIZE - USE MSHA SIZE NO. 2 (2-1/2" TO 1") OR ASHTO DESIGNATION MAX. SIZE NO. 2 (2-1/2" TO 1-1/2"). USE CRUSHED STONE.
 2. LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
 3. THICKNESS - NOT LESS THAN EIGHT (8) INCHES.
 4. WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
 5. WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAPPL, BEAMS OR OTHER APPROVED METHODS.
 6. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REGULAR ANALYSIS/CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DRIPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

LEGEND:



PROPOSED CES PLAN MATCH LINE I-1
SCALE: 1" = 8'



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
LIC. No. 15,863

- CONSULTANTS
1. SURVEY & TOPOGRAPHY [ALBERTO RODRIGUEZ (LIC. No. 18,882)]
 2. CIVIL [JORGE L. PÉREZ RUIZ (LIC. No. 15,863)]
 3. ARCHITECTURAL [JORGE L. PÉREZ RUIZ (LIC. No. 15,863)]
 4. STRUCTURAL [JOSE GENTRON (LIC. No. 1,908)]

NOTE
Yo, Jorge Pérez, Licencia No. 15,863, certifico que este es un instrumento de trabajo profesional que cumple con los requisitos de la Ley de Ejercicio de la Profesión de Arquitecto y Topógrafo, y que he sido autorizado por el Colegio de Arquitectos y Topógrafos de Puerto Rico para ejercer mi profesión en el territorio de Puerto Rico. Asimismo, certifico que he cumplido con los requisitos de la Ley de Ejercicio de la Profesión de Arquitecto y Topógrafo, y que he sido autorizado por el Colegio de Arquitectos y Topógrafos de Puerto Rico para ejercer mi profesión en el territorio de Puerto Rico. Este instrumento de trabajo profesional es el resultado de mi trabajo profesional y no constituye un contrato de obra o un contrato de servicios. Este instrumento de trabajo profesional es el resultado de mi trabajo profesional y no constituye un contrato de obra o un contrato de servicios. Este instrumento de trabajo profesional es el resultado de mi trabajo profesional y no constituye un contrato de obra o un contrato de servicios.



CERTIFICATION

WORKING DRAWINGS FOR:
PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
CALLE F DEGETAU #35
JUANA DIAZ, PUERTO RICO

DRAWING NAME
CES PLAN KEY PLAN
MATCH LINE I-1

SCALE: 1" = 8'	ISSUED DATE: JUN 2024
DRAWN BY: EMP, AIT	CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DRAWING NO. C-101	SHEET NO. 54



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
 Lic. No. 15,863

- CONSULTANTS
1. SURVEY & TOPOGRAPHY [ALBERTO RODRIGUEZ (Lic. No. 18,859)]
 2. CIVIL [JORGE L. PÉREZ RUIZ (Lic. No. 15,863)]
 3. ARCHITECTURAL [JORGE L. PÉREZ RUIZ (Lic. No. 15,863)]
 4. STRUCTURAL [JOSE GENTRON (Lic. No. 1,908)]

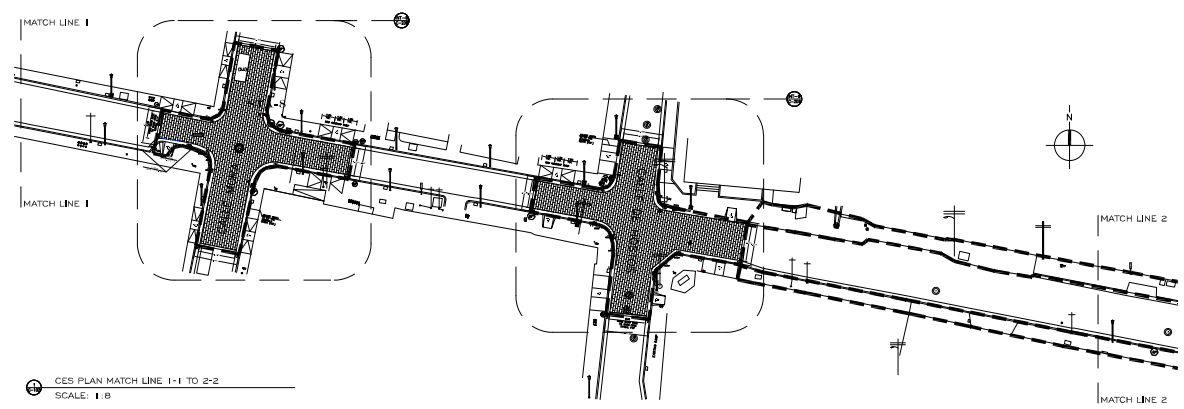
NOTE
 No. Jorge Pérez, Licencia No. 15,863, certifica que este es un proyecto de obra que cumple con todos los requisitos que se le exigen para la ejecución de la obra y que los planos y especificaciones que acompañan a este proyecto cumplen con los requisitos que se le exigen para la ejecución de la obra y que los planos y especificaciones que acompañan a este proyecto cumplen con los requisitos que se le exigen para la ejecución de la obra.



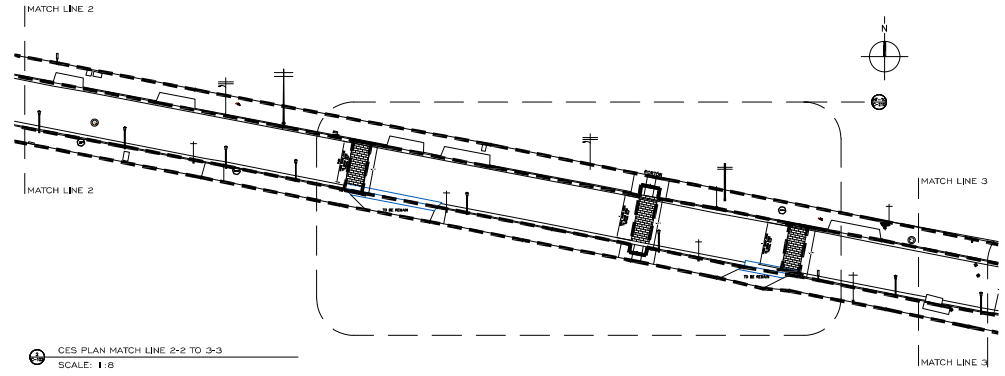
WORKING DRAWINGS FOR:
 PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
 CALLE F DEGETAU #35
 JUANA DIAZ, PUERTO RICO

CES PLAN
 GENERAL KEY PLAN
 MATCH LINE 1-1 TO 3-3

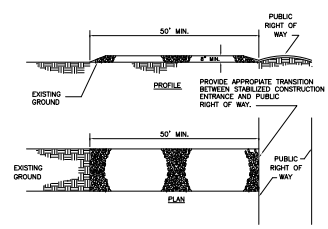
SCALE: 1/8	ISSUED DATE: JUN 2024
DRAWN BY: EMP, AIT	CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DRAWING NO. C-102	SHEET NO. 55 OF 125



CES PLAN MATCH LINE 1-1 TO 2-2
 SCALE: 1/8



CES PLAN MATCH LINE 2-2 TO 3-3
 SCALE: 1/8

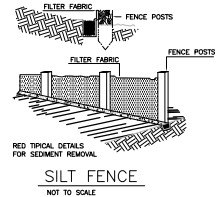


TRUCK WASHING FACILITIES
 NOT TO SCALE TBD WF

- CONSTRUCTION SPECIFICATIONS
1. STONE SIZE - USE MSHA SIZE NO. 2 (2-1/2" TO 1") OR ASHTO DESIGNATION #43, SIZE NO. 2 (2-1/2" TO 1-1/2"). USE CRUSHED STONE.
 2. LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
 3. THICKNESS - NOT LESS THAN EIGHT (8) INCHES.
 4. WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
 5. WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL, ROAMES OR OTHER APPROVED METHODS.
 6. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REMOVE AND/OR CLEANSE OF ANY RESOURCES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

LEGEND:

--- HAY BALES BARRIER
 --- SEDIMENT BARRIER
 --- OR APPROVED



SILT FENCE
 NOT TO SCALE



APPROVED BY
JORGE L. PÉREZ RUÍZ, PE
Lic. No. 15,863

- CONSULTANTS
1. SURVEY & TOPOGRAPHY [ALBERTO ROSALES] (LIC. NO. 8488)
 2. CIVIL [JORGE L. PÉREZ RUÍZ] (LIC. NO. 15,863)
 3. ARCHITECTURAL [JORGE L. PÉREZ RUÍZ] (LIC. NO. 15,863)
 4. STRUCTURAL [JOSE QUINTON] (LIC. NO. 13,908)

NOTE

Yo, Jorge Pérez, Licencia No. 15,863, CERTIFICO que soy el profesional que preparó estos planos y los correspondientes complementos. También certifico que he leído los planos y especificaciones adjuntas con una cuidadosa y minuciosa revisión de acuerdo con las especificaciones que rigen el Reglamento General de Construcción y Construcción de Edificios de la Junta de Planificación, y con las especificaciones de construcción que figuran en los planos y especificaciones adjuntas, que en la preparación de estos planos y especificaciones he tenido presente las disposiciones de la Ley Núm. 174 de 1952, y de la Ley Núm. 100 de 1988, según corresponden. Lo hago de fe en mi honor y en el de mi profesión, según me pide el artículo 1001 del Reglamento de Ejecución de la Ley Núm. 174 de 1952, y el artículo 1001 del Reglamento de Ejecución de la Ley Núm. 100 de 1988, según corresponden. Lo hago de fe en mi honor y en el de mi profesión, según me pide el artículo 1001 del Reglamento de Ejecución de la Ley Núm. 174 de 1952, y el artículo 1001 del Reglamento de Ejecución de la Ley Núm. 100 de 1988, según corresponden. Lo hago de fe en mi honor y en el de mi profesión, según me pide el artículo 1001 del Reglamento de Ejecución de la Ley Núm. 174 de 1952, y el artículo 1001 del Reglamento de Ejecución de la Ley Núm. 100 de 1988, según corresponden.

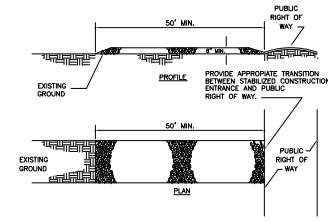


CERTIFICATION

WORKING DRAWINGS FOR:
PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
CALLE F DEGETAU #35
JUANA DIAZ, PUERTO RICO

DRAWING NAME
CES PLAN
MATCH LINE 3-3 TO
END OF PROJECT

SCALE: 1"=8'	BIDDER DATE: JUN. 2024
DRAWN BY: EMP. AIT	CHECKED BY: JORGE L. PÉREZ RUÍZ, PE
DRAWING NO. C-103	SHEET NO. 56 OF 125

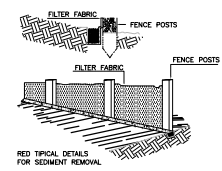


TRUCK WASHING FACILITIES
NOT TO SCALE 1"=8' 0" V.F.

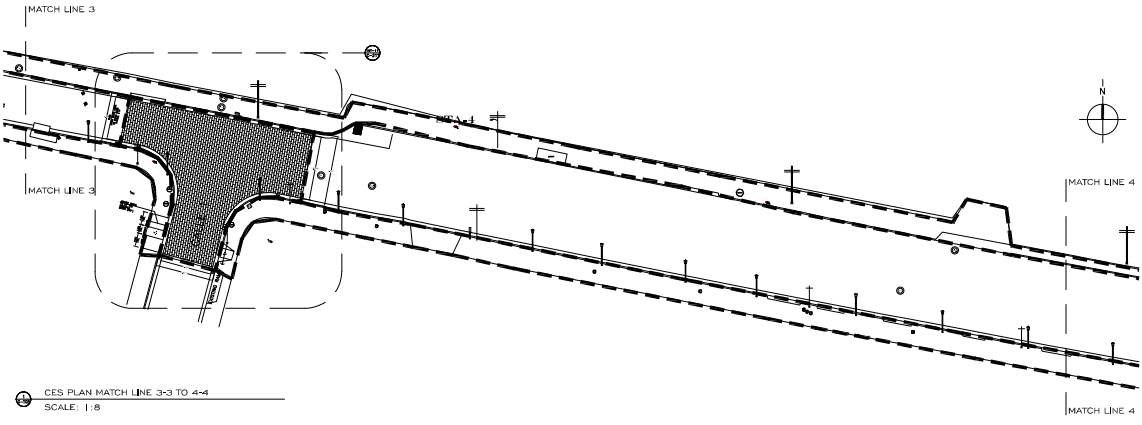
- CONSTRUCTION SPECIFICATIONS
1. STONE SIZE - USE MSHA SIZE NO. 2 (2-1/2" TO 1") OR ASHSTO DESIGNATION M43, SIZE NO. 2 (2-1/2" TO 1-1/2"), USE CRUSHED STONE.
 2. LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
 3. THICKNESS - NOT LESS THAN EIGHT (8) INCHES.
 4. WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
 5. WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BARRI. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL, BARRIERS OR OTHER APPROVED METHODS.
 6. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANUP OF ANY WEARWAYS USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

LEGEND:

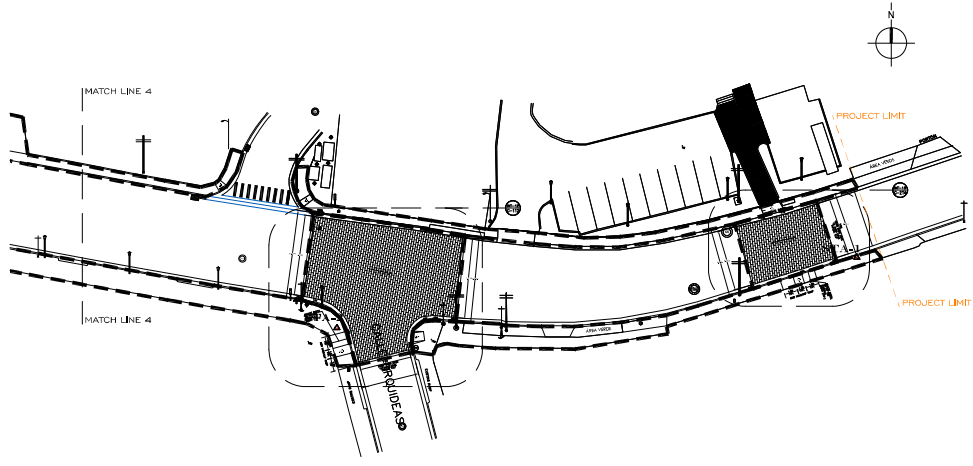
--- HAY BALES BARRIER
--- SEDIMENT BARRIER
OR APPROVED



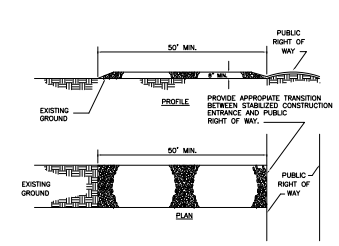
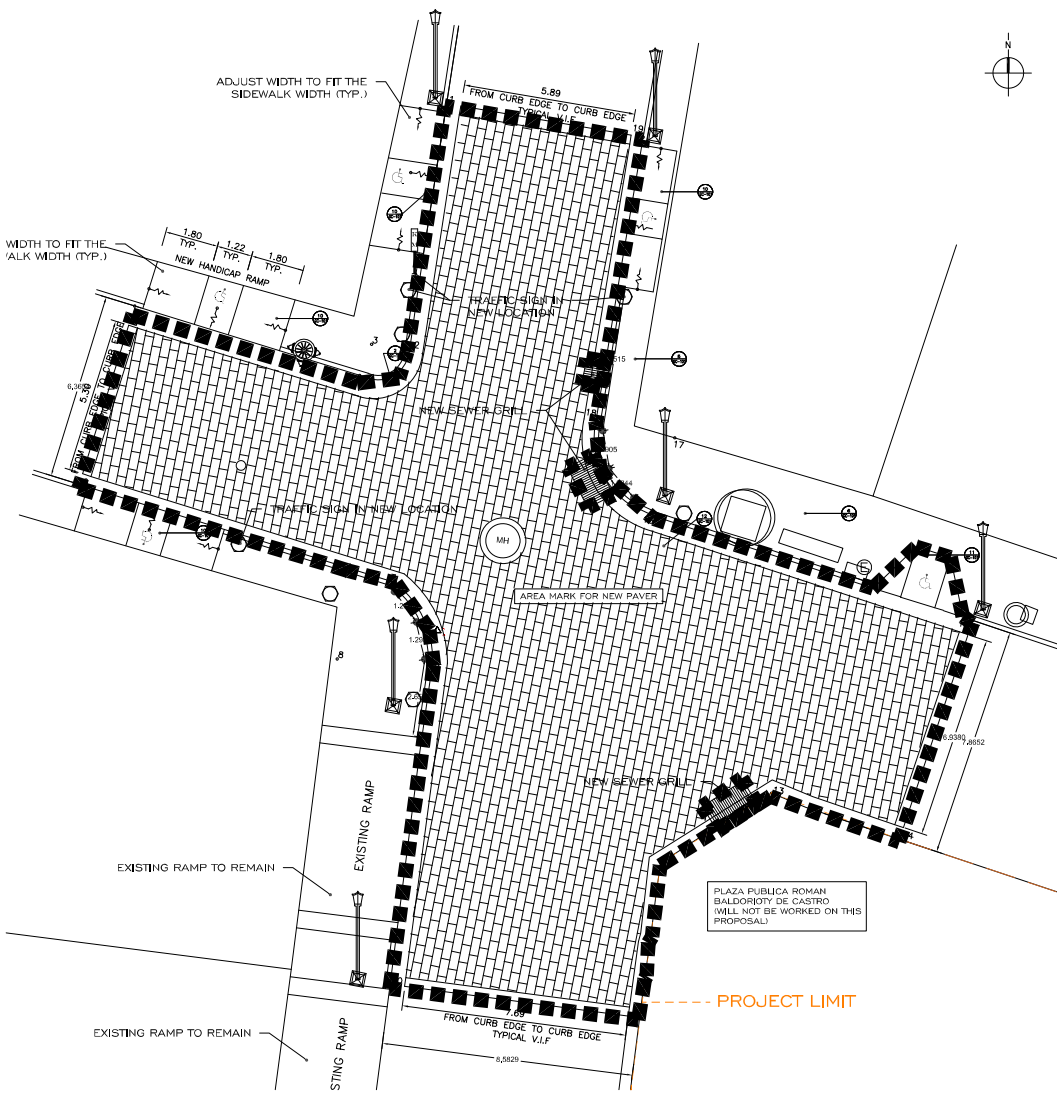
SILT FENCE
NOT TO SCALE



CES PLAN MATCH LINE 3-3 TO 4-4
SCALE: 1"=8'



CES PLAN MATCH LINE 4-4 TO END OF PROJECT
SCALE: 1"=8'

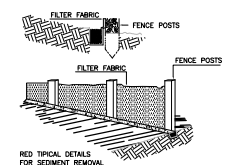


TRUCK WASHING FACILITIES
NOT TO SCALE 1/80 V.F

- CONSTRUCTION SPECIFICATIONS**
1. STONE SIZE - USE MSHA SIZE NO. 2 (2-1/2" TO 1") OR MSHD DESIGNATION MAS SIZE NO. 2 (2-1/2" TO 1-1/2"). USE CRUSHED STONE.
 2. LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
 3. THICKNESS - NOT LESS THAN 80(8) INCHES.
 4. WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
 5. WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE IN AREA STABILIZED WITH CRUSHED STONE BRICK SPANS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASH. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL, BOARDS OR OTHER APPROVED METHODS.
 6. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

LEGEND:

--- HAY BALES BARRIER
--- SEDIMENT BARRIER
--- OR APPROVED



SILT FENCE
NOT TO SCALE

INT. INTERSECTION I ENLARGED PLAN
C-201 SCALE: 1:2



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
LIC. No. 15,863

- CONSULTANTS**
1. SURVEY & TOPOGRAPHY | ALBERTO ROSALES (E.L. No. 8185)
 2. CIVIL | JORGE L. PÉREZ RUIZ (E.L. No. 15,863)
 3. ARCHITECTURAL | JORGE L. PÉREZ RUIZ (E.L. No. 15,863)
 4. STRUCTURAL | JOSE QUINTON (E.L. No. 1,908)

NOTE

Yo, Jorge Pérez, Licencia No. 15,863, COMPRO que soy el profesional que preparé estos planos y los correspondientes complementos. También compro que ninguno de estos planos y complementos se realizó con un instrumento electrónico. Resguardo con el sello de la Oficina de Regulación Profesional y con el sello de la Oficina de Regulación Profesional y con el sello de la Oficina de Regulación Profesional y con el sello de la Oficina de Regulación Profesional. ADOPTO QUE SI LA PREPARACION DE ESTOS PLANOS Y COMPLEMENTOS DE LA COMPARTICION CON LOS EFECTOS DE LA LEY 14 DE 2018 Y LA LEY 100 DE 2006, SON APROPIADOS, CONFORME A LO QUE ESTABLECE EL ARTICULO 10 DE LA LEY 100 DE 2006 Y LA LEY 14 DE 2018, SEGUN CORRESPONDA. LO HAGO DE BUEN FE Y SIN SER ASISTIDO POR NINGUNO DE LOS PROFESIONALES QUE PREPARAN ESTOS PLANOS Y COMPLEMENTOS. ESTOS PLANOS Y COMPLEMENTOS SON LA RESPONSABILIDAD DEL PROFESIONAL QUE LOS PREPARA Y NO DE LOS CONSULTORES QUE LOS ELABORAN. ESTOS PLANOS Y COMPLEMENTOS SON LA RESPONSABILIDAD DEL PROFESIONAL QUE LOS PREPARA Y NO DE LOS CONSULTORES QUE LOS ELABORAN. ESTOS PLANOS Y COMPLEMENTOS SON LA RESPONSABILIDAD DEL PROFESIONAL QUE LOS PREPARA Y NO DE LOS CONSULTORES QUE LOS ELABORAN.



WORKING DRAWINGS FOR:
PR-CRP-000437

RUTA DE LOS TRES SANTOS REYES

CALLE F DEGETAU #35
JUANA DIAZ, PUERTO RICO

DRAWING NAME

ENLARGED CES PLAN
INTERSECTION - I

SCALE: 1:2	BIDDED DATE: JUN 2024
DRAWN BY: EMP. AIT	CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DRAWING NO.: C-201	SHEET NO.: 57



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
 LIC. No. 15,863

CONSULTANTS
 1. SURVEY & TOPOGRAPHY [ALBERTO ROSALES] (LIC. No. 15,865)
 2. CIVIL [JORGE L. PÉREZ RUIZ] (LIC. No. 15,863)
 3. ARCHITECTURAL [JORGE L. PÉREZ RUIZ] (LIC. No. 15,863)
 4. STRUCTURAL [JOSE GONZALEZ] (LIC. No. 13,908)

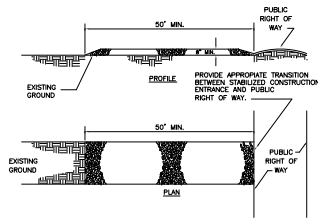
NOTE
 Yo, Jorge Pérez, Licencia No. 15,863, COMPRO que soy el profesional que preparé estos planos y los autorizo a ser utilizados como tales, con plena conformidad con las disposiciones legales vigentes en el momento de la aprobación de los mismos, con el consentimiento expreso de los interesados, quien manifiesta que la preparación de estos planos y especificaciones de los trabajos, en el momento de la ejecución de la obra, he de ser de acuerdo a las condiciones y especificaciones que se indican en los mismos, y que he de ser responsable de los errores que se cometieren en la ejecución de la obra, y que he de ser responsable de los gastos que se ocasionen por los cambios que se hagan en la obra, y que he de ser responsable de los gastos que se ocasionen por los cambios que se hagan en la obra, y que he de ser responsable de los gastos que se ocasionen por los cambios que se hagan en la obra.



WORKING DRAWINGS FOR:
 PR-CRP-000437
 RUTA DE LOS TRES SANTOS REYES
 CALLE F DEGETAU #35
 JUANA DIAZ, PUERTO RICO

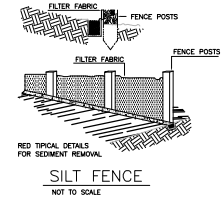
DRAWING NAME
 ENLARGED
 CES PLAN
 INTERSECTION - 2

SCALE: 1:2	BIDDER DATE: JUN 2024
DRAWN BY: EMP. AIT	CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DRAWING NO. C-202	SHEET NO. 58 of 125

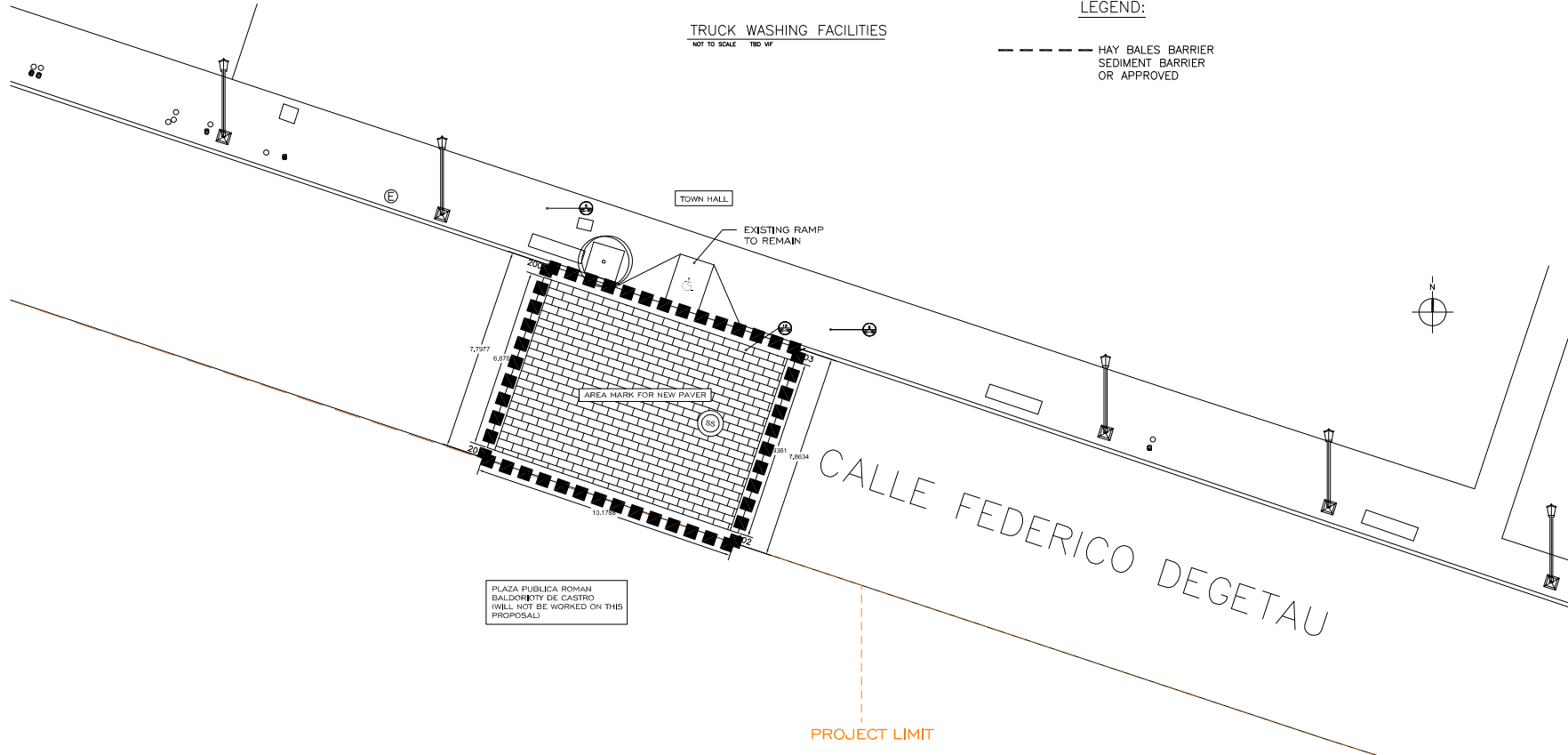


TRUCK WASHING FACILITIES
 NOT TO SCALE T80 WF

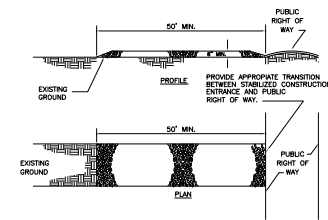
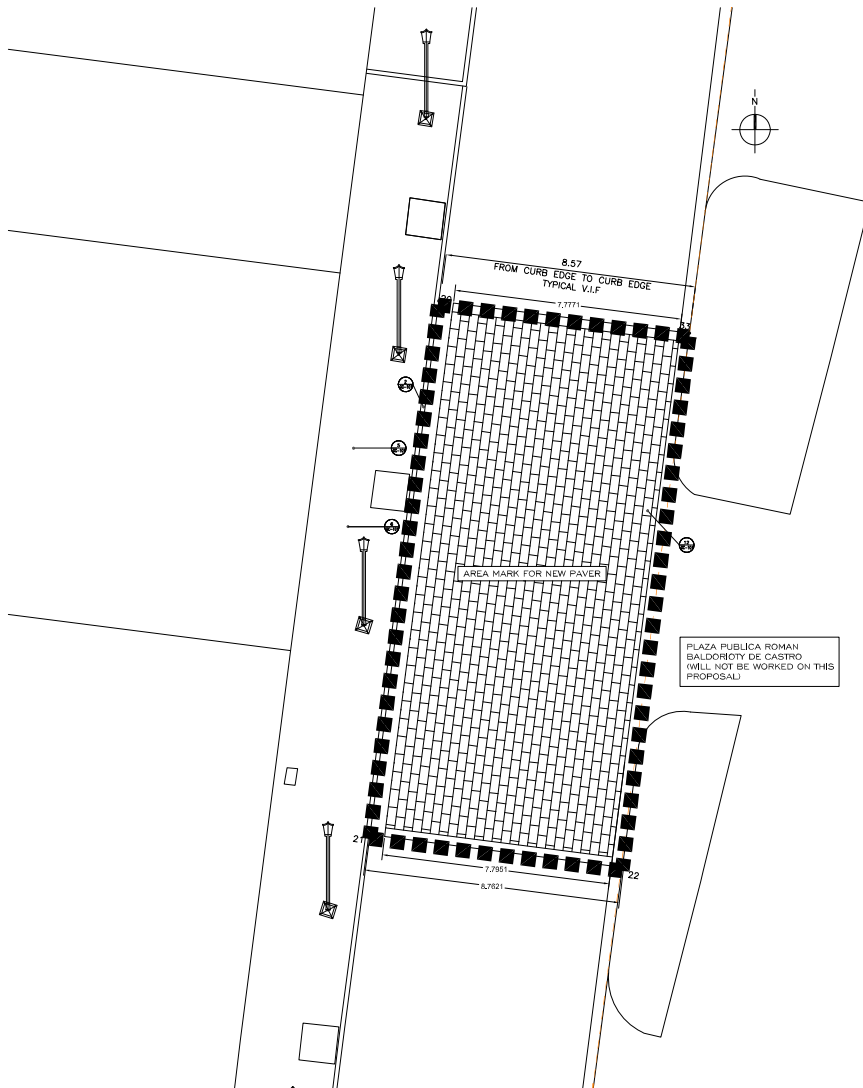
- CONSTRUCTION SPECIFICATIONS**
- STONE SIZE - USE MSHA SIZE NO. 2 (2-1/2" TO 1") OR ASHTO DESIGNATION M4. SIZE NO. 2 (2-1/2" TO 1-1/2"). USE CRUSHED STONE.
 - LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
 - THICKNESS - NOT LESS THAN EIGHT (8) INCHES.
 - WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
 - WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL, BOWMS OR OTHER APPROVED METHODS.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOTTING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REMOVAL AND/OR CLEANOUT OF ANY DEBRIS USED TO TRAP SEDIMENT. ALL SEDIMENT TRAP(S), DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.



LEGEND:
 - - - - HAY BALES BARRIER
 - - - - SEDIMENT BARRIER
 - - - - OR APPROVED



INTERSECTION 2 ENLARGED PLAN
 C-202 SCALE: 1:2



TRUCK WASHING FACILITIES

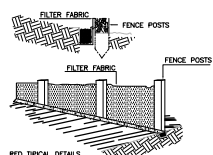
NOT TO SCALE TBO VF

CONSTRUCTION SPECIFICATIONS

1. STONE SIZE - USE MSHA SIZE NO. 2 (2-1/2" TO 1") OR AGSTO DESIGNATION MAS, SIZE NO. 2 (2-1/2" TO 1-1/2"). USE CRUSHED STONE.
2. LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
3. THICKNESS - NOT LESS THAN EIGHT (8) INCHES.
4. WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
5. WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL, BARRIERS OR OTHER APPROVED METHODS.
6. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOUING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANING OF ANY MASHINES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

LEGEND:

--- HAY BALES BARRIER
 --- SEDIMENT BARRIER
 --- OR APPROVED



SILT FENCE

NOT TO SCALE

INTERSECTION 4 ENLARGED PLAN
 C-204 SCALE: 1:2



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
 LIC. No. 15,863

CONSULTANTS

1. SURVEY & TOPOGRAPHY (ALBERTO ROSAREZ) (LIC. No. 15,863)
2. CIVIL (JORGE L. PÉREZ RUIZ, PE, No. 15,863)
3. ARCHITECTURAL (JORGE L. PÉREZ RUIZ, PE, No. 15,863)
4. STRUCTURAL (JOSE GONZALEZ) (LIC. No. 1,908)

NOTE

Yo, Jorge Pérez, Licencia No. 15,863, COMPROU que soy el profesional que preparé estos planos y los SUPERVISACIONES correspondientes. También COMPROU que participé en el diseño y ejecución de estos planos y que soy responsable de ellos, conforme a lo establecido en el Reglamento General de Ejercicio de las Profesiones de Ingeniería Civil, Arquitectura y Topografía, expedido por el Ministerio de Obras Públicas, Industria y Comercio, dentro de la competencia de los Profesores de la Ley 44 de 1982 que rige en la República Dominicana. Asimismo, COMPROU que la preparación de estos planos y SUPERVISACIONES se hizo con honestidad, conciencia profesional y sin intereses contrarios a los intereses de la sociedad. Finalmente, COMPROU que la preparación de estos planos y SUPERVISACIONES se hizo de acuerdo con la Ley 44 de 1982, la Ley 167 de 1997, la Ley 179 de 1997, la Ley 277 de 2000, la Ley 529 de 2005, la Ley 657 de 2009 y la Ley 1377 de 2014, así como con el Código de Ética y Conducta del Ingeniero Civil, del Arquitecto y del Topógrafo, expedido por el Consejo Profesional de Ingeniería Civil, el Consejo Profesional de Arquitectura y el Consejo Profesional de Topografía, respectivamente. Asimismo, COMPROU que los planos y SUPERVISACIONES no contienen falsedades, errores graves ni datos falsos, ni que se cumplan con los requisitos establecidos en el Reglamento General de Ejercicio de las Profesiones de Ingeniería Civil, Arquitectura y Topografía, expedido por el Ministerio de Obras Públicas, Industria y Comercio, y en el Código de Ética y Conducta del Ingeniero Civil, del Arquitecto y del Topógrafo, expedido por el Consejo Profesional de Ingeniería Civil, el Consejo Profesional de Arquitectura y el Consejo Profesional de Topografía, respectivamente.



CEMENTATION

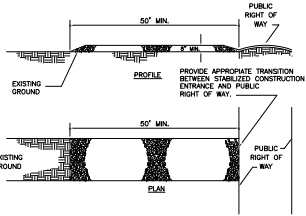
WORKING DRAWINGS FOR:
 PR-CRP-000437

RUTA DE LOS TRES SANTOS REYES

CALLE F DEGETAU #35
 JUANA DIAZ, PUERTO RICO

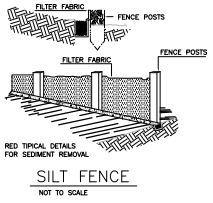
DRAWING NAME
 ENLARGED
 CES PLAN
 INTERSECTION - 4

SCALE: 1:2	BIDDER DATE: JUN 2024
DRAWN BY: EMP. AIT	CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DRAWING NO. C-204	SHEET NO. 60 OF 125



CONSTRUCTION SPECIFICATIONS

1. STONE SIZE - USE MSHA SIZE NO. 2 (2-1/2" TO 1") OR AASHTO DESIGNATION MA3, SIZE NO. 2 (2-1/2" TO 1-1/2"). USE CRUSHED STONE.
2. LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
3. THICKNESS - NOT LESS THAN EIGHT (8) INCHES.
4. WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
5. WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH USE OF SAND BIKES, GRASS, BOARDS OR OTHER APPROVED METHODS.
6. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANING OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

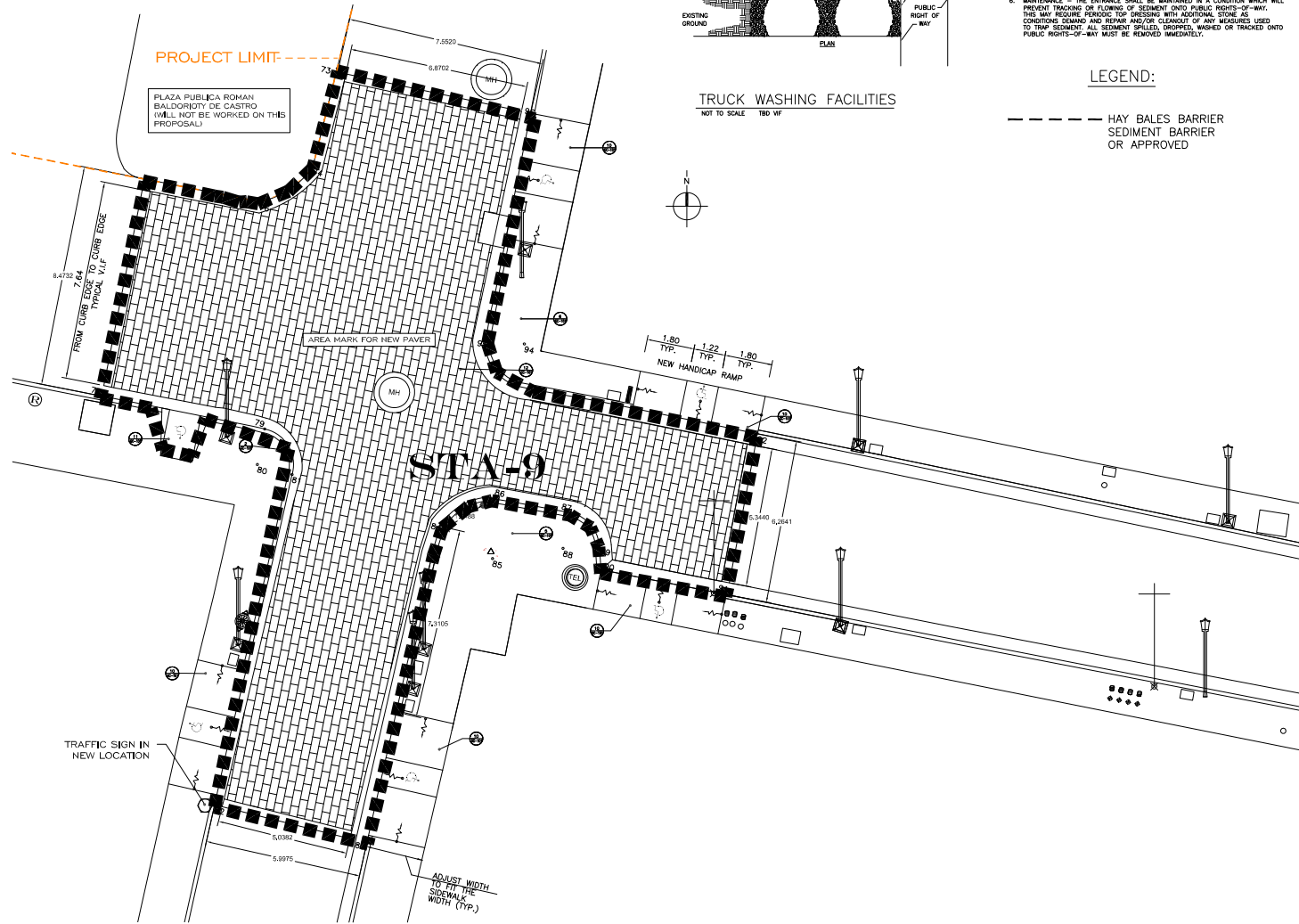


SILT FENCE
NOT TO SCALE

LEGEND:

--- HAY BALES BARRIER
--- SEDIMENT BARRIER
--- OR APPROVED

TRUCK WASHING FACILITIES
NOT TO SCALE TBO VF



INTERSECTION 7-7A ENLARGED PLAN
SCALE: 1:2



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
LIC. No. 15,863

- CONSULTANTS
1. SURVEY & TOPOGRAPHY [ALBERTO ROSALES] (LIC. No. 8885)
 2. CIVIL [JORGE L. PÉREZ RUIZ, PE, No. 15,863]
 3. ARCHITECTURAL [JORGE L. PÉREZ RUIZ, PE, No. 15,863]
 4. STRUCTURAL [JOSE GONZON] (LIC. No. 1308)

NOTE
Yo, Jorge Pérez, Licencia No. 15,863, COMPRO que soy el profesional que preparé estos planos y los especificaciones contenidas en ellos. CONFIRMO que he leído los planos y especificaciones adjuntas con un conocimiento cabal del contenido de los mismos, y que he aceptado los mismos en su totalidad, con las modificaciones o complementos que se me hubieran requerido, haciendo que en la preparación de estos planos y especificaciones de los trabajos con los que se refieren a la Ley de 19 de mayo de 2004, según su texto actualizado, y en el artículo 139 de la Ley de 19 de mayo de 2004, según su texto actualizado, y en el artículo 139 de la Ley de 19 de mayo de 2004, según su texto actualizado. Para el cumplimiento de mis obligaciones profesionales, me comprometo a cumplir con los requisitos establecidos en la Ley de 19 de mayo de 2004, según su texto actualizado, y en el artículo 139 de la Ley de 19 de mayo de 2004, según su texto actualizado.



CERTIFICATION
RUTA DE LOS TRES SANTOS REYES
CALLE F DEGETAU #35
JUANA DIAZ, PUERTO RICO

WORKING DRAWINGS FOR:
PR-CRP-000437

DRAWING NAME
**ENLARGED
CES PLAN
INTERSECTION - 7**

SCALE: 1:2	BIDDED DATE: JUN. 2024
DRAWN BY: EMP. AIT	CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DRAWING NO. C-207	SHEET NO. 63 OF 125



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
 Lic. No. 15,863

CONSULTANTS
 1. SURVEY & TOPOGRAPHY [ALBERTO ROSALES] (Lic. No. 15,863)
 2. CIVIL [JORGE L. PÉREZ RUIZ, PE, No. 15,863]
 3. ARCHITECTURAL [JORGE L. PÉREZ RUIZ, PE, No. 15,863]
 4. STRUCTURAL [JOSE GONZALEZ] (Lic. No. 1,908)

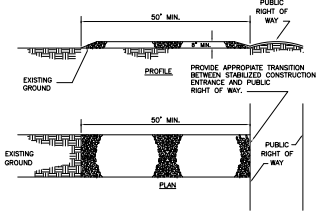
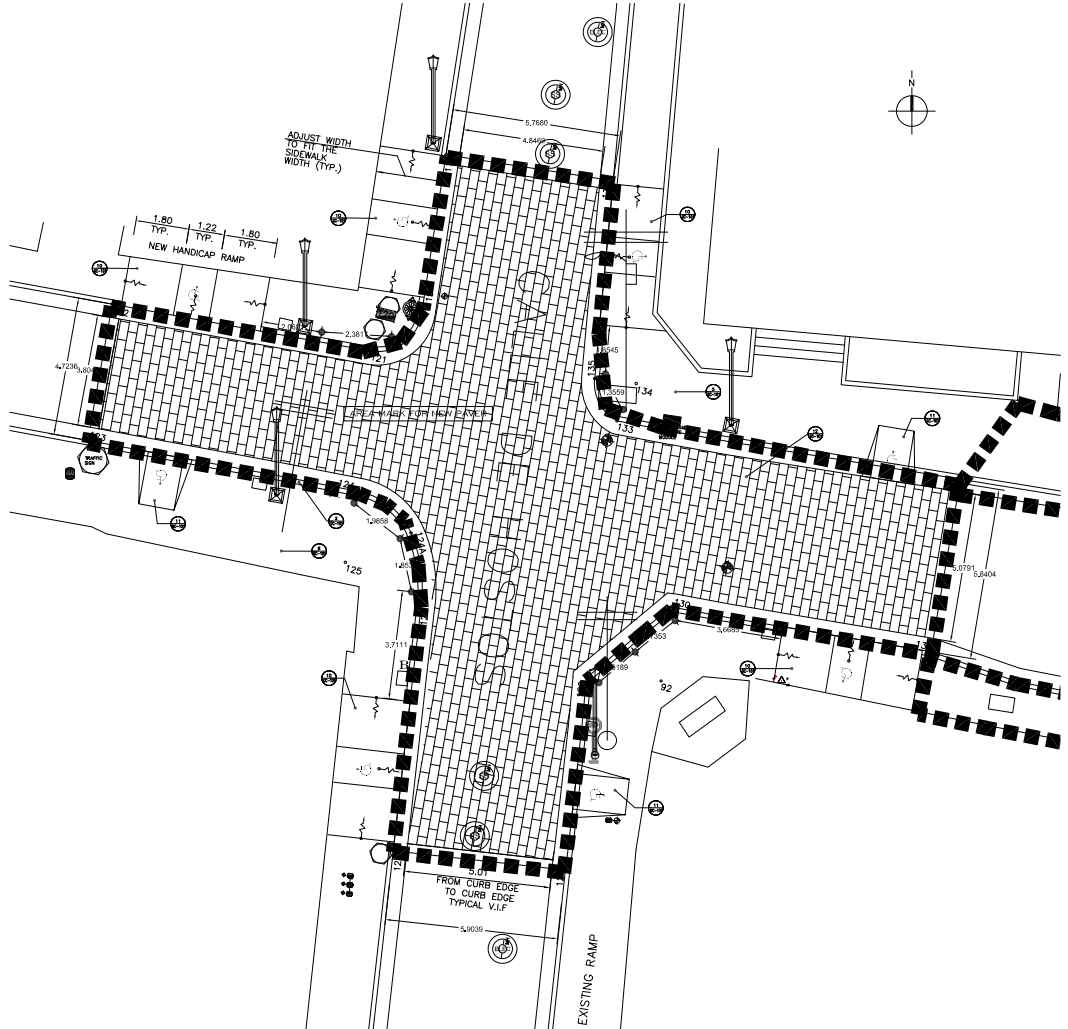
NOTE
 Yo, Jorge Pérez, Licencia No. 15,863, COMPRO que soy el profesional que preparó estos planos y los superviceres correspondientes. Tambien, COMPRO que autorizo que estas planas y sus modificaciones se usen con el fin de ser construidas de acuerdo a lo que se indica en ellas, sin embargo, de acuerdo a la ley, las modificaciones o correcciones de las planas son responsabilidad de quien las realiza. Ademas, que en la preparacion de estos planos y superviceres de la obra se han seguido las normas de la ley 14 de 2008 y la ley 24 de 2008, segun correspondan. Lo mismo vale de lo que se indica en el presente documento, segun me sea requerido. En consecuencia, yo, Jorge Pérez, Licencia No. 15,863, COMPRO que autorizo que estas planas y sus modificaciones se usen con el fin de ser construidas de acuerdo a lo que se indica en ellas, sin embargo, de acuerdo a la ley, las modificaciones o correcciones de las planas son responsabilidad de quien las realiza. Ademas, que en la preparacion de estos planos y superviceres de la obra se han seguido las normas de la ley 14 de 2008 y la ley 24 de 2008, segun correspondan. Lo mismo vale de lo que se indica en el presente documento, segun me sea requerido.



WORKING DRAWINGS FOR:
 PRCRP-000437
RUTA DE LOS TRES SANTOS REYES
 CALLE F DEGETAU #35
 JUANA DIAZ, PUERTO RICO

DRAWING NAME
ENLARGED CES PLAN
 INTERSECTION - 9

SCALE: 1" = 1'	BIDDER DATE: JUN. 2024
DRAWN BY: EMP. AIT	CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DRAWING NO. C-209	SHEET NO. 65 of 125

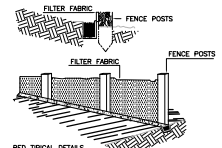


TRUCK WASHING FACILITIES
 NOT TO SCALE TBO WF

- CONSTRUCTION SPECIFICATIONS**
- STONE SIZE - USE MSHA SIZE NO. 2 (2-1/2" TO 1") OR ASHTO DESIGNATION M33, SIZE NO. 2 (2-1/2" TO 1-1/2"). USE CRUSHED STONE.
 - LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
 - THICKNESS - NOT LESS THAN EIGHT (8) INCHES.
 - WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
 - WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH USE OF SAND BINS, GRASS BARRIERS OR OTHER APPROVED METHODS.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE FLOODING TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND/OR CLEANOUT OF ANY DEBRIS. DEBRIS SHOULD BE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DRIPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

LEGEND:

--- HAY BALES BARRIER
 --- SEDIMENT BARRIER
 --- OR APPROVED



SILT FENCE
 NOT TO SCALE

AIT-209 INTERSECTION 9 ENLARGED PLAN
 SCALE: 1:1



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
LIC. No. 15,863

CONSULTANTS
1. SURVEY & TOPOGRAPHY [ALBERTO ROSALES] (LIC. No. 15,865)
2. CIVIL [JORGE L. PÉREZ RUIZ] (LIC. No. 15,863)
3. ARCHITECTURAL [JORGE L. PÉREZ RUIZ] (LIC. No. 15,863)
4. STRUCTURAL [JOSE GONZON] (LIC. No. 1,900)

NOTE
Yo, JORGE PÉREZ, Licencia No. 15,863, CERTIFICO QUE SOY EL PROFESIONAL QUE PREPARÓ ESTOS PLANOS Y LOS RESPONSABILIDADES CORRESPONDIENTES. TAMBIÉN CERTIFICO QUE AUTIFICO QUE ESTOS PLANOS Y RESPONSABILIDADES CORRESPONDIENTES SON VERDADEROS Y CORRECTOS. ASÍ COMO QUE ESTOS PLANOS FUERON ELABORADOS DE ACUERDO A LA LEGISLACIÓN EN VIGENCIA EN EL MOMENTO DE SU ELABORACIÓN. ASÍ COMO QUE ESTOS PLANOS FUERON ELABORADOS DE ACUERDO A LA LEGISLACIÓN EN VIGENCIA EN EL MOMENTO DE SU ELABORACIÓN. ASÍ COMO QUE ESTOS PLANOS FUERON ELABORADOS DE ACUERDO A LA LEGISLACIÓN EN VIGENCIA EN EL MOMENTO DE SU ELABORACIÓN. ASÍ COMO QUE ESTOS PLANOS FUERON ELABORADOS DE ACUERDO A LA LEGISLACIÓN EN VIGENCIA EN EL MOMENTO DE SU ELABORACIÓN.



CERTIFICATION
JORGE LUIS PÉREZ RUIZ
Licencia No. 15,863
Puerto Rico

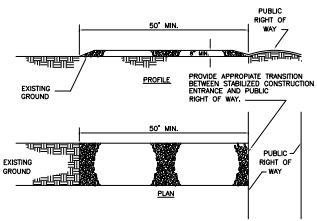
WORKING DRAWINGS FOR:
PR-CRP-000437

RUTA DE LOS TRES SANTOS RIVES

CALLE F DEGETAU #35
JUANA DIAZ, PUERTO RICO

DRAWING NAME
**ENLARGED
CES PLAN
INTERSECTION - 10**

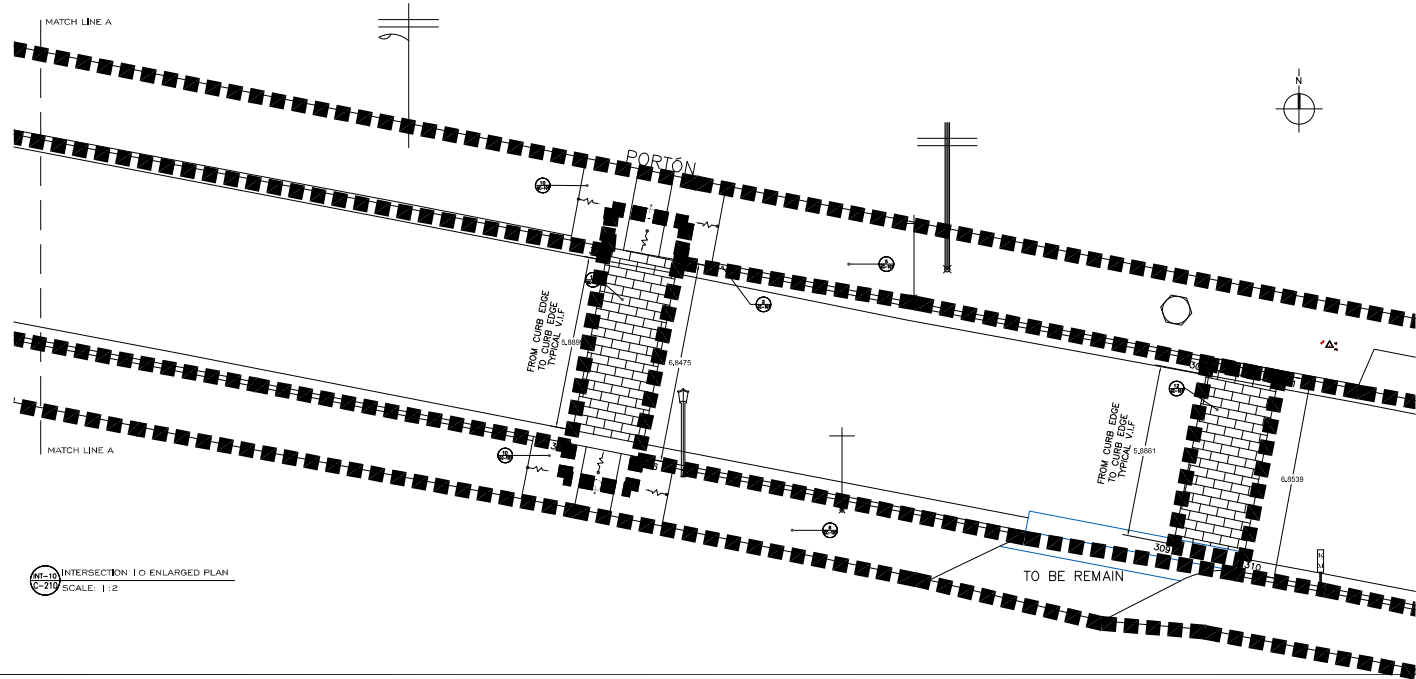
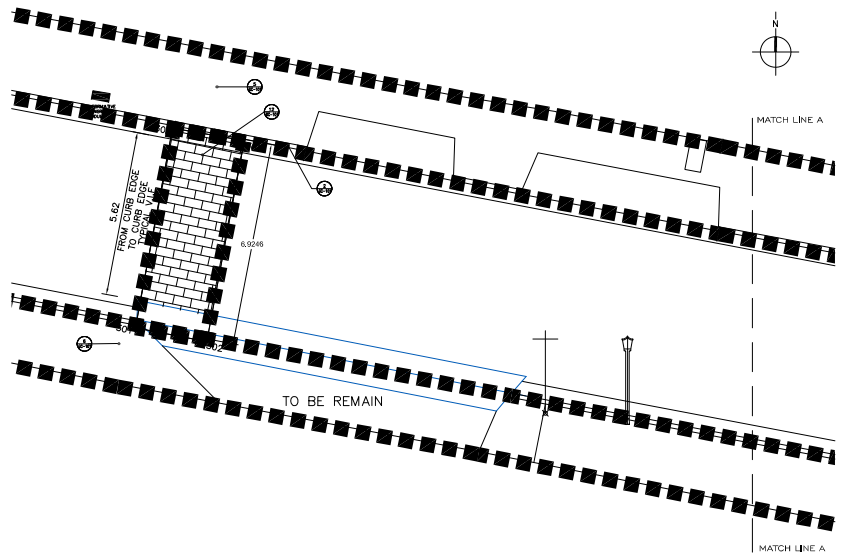
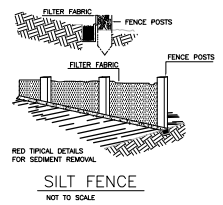
SCALE: 1:2	BIDDER DATE: JUN. 2024
DRAWN BY: EMP. AIT	CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DRAWING NO. C-210	SHEET NO. 66 OF 125



LEGEND:
--- HAY BALES BARRIER
--- SEDIMENT BARRIER
OR APPROVED

TRUCK WASHING FACILITIES
NOT TO SCALE - TBD V/F

- CONSTRUCTION SPECIFICATIONS**
1. STONE SIZE - USE MSHA SIZE NO. 2 (2-1/2" TO 1") OR ASHTO DESIGNATION M43, SIZE NO. 2 (2-1/2" TO 1-1/2"). USE CRUSHED STONE.
 2. LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 30 FEET.
 3. THICKNESS - NOT LESS THAN EIGHT (8) INCHES.
 4. WIDTH - NOT LESS THAN FULL WIDTH OF ALL PORTS OF INGRESS OR EGRESS.
 5. WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SLURRY TANK OR SEDIMENT BASIN. ALL CEMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH USE OF SAND BAGS, PANEL BOARD OR OTHER APPROVED METHODS.
 6. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.



INTERSECTION 10 ENLARGED PLAN
SCALE: 1:2



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
 Lic. No. 15,863

CONSULTANTS
 1. SURVEY & TOPOGRAPHY [ALBERTO ROSALES] (LIC. NO. 15,863)
 2. CIVIL [JORGE L. PÉREZ RUIZ, PE, NO. 15,863]
 3. ARCHITECTURAL [JORGE L. PÉREZ RUIZ, PE, NO. 15,863]
 4. STRUCTURAL [JOSE QUINTON] (LIC. NO. 1,930)

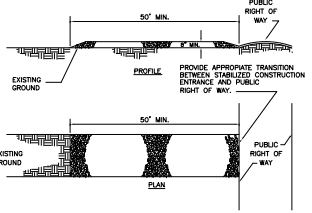
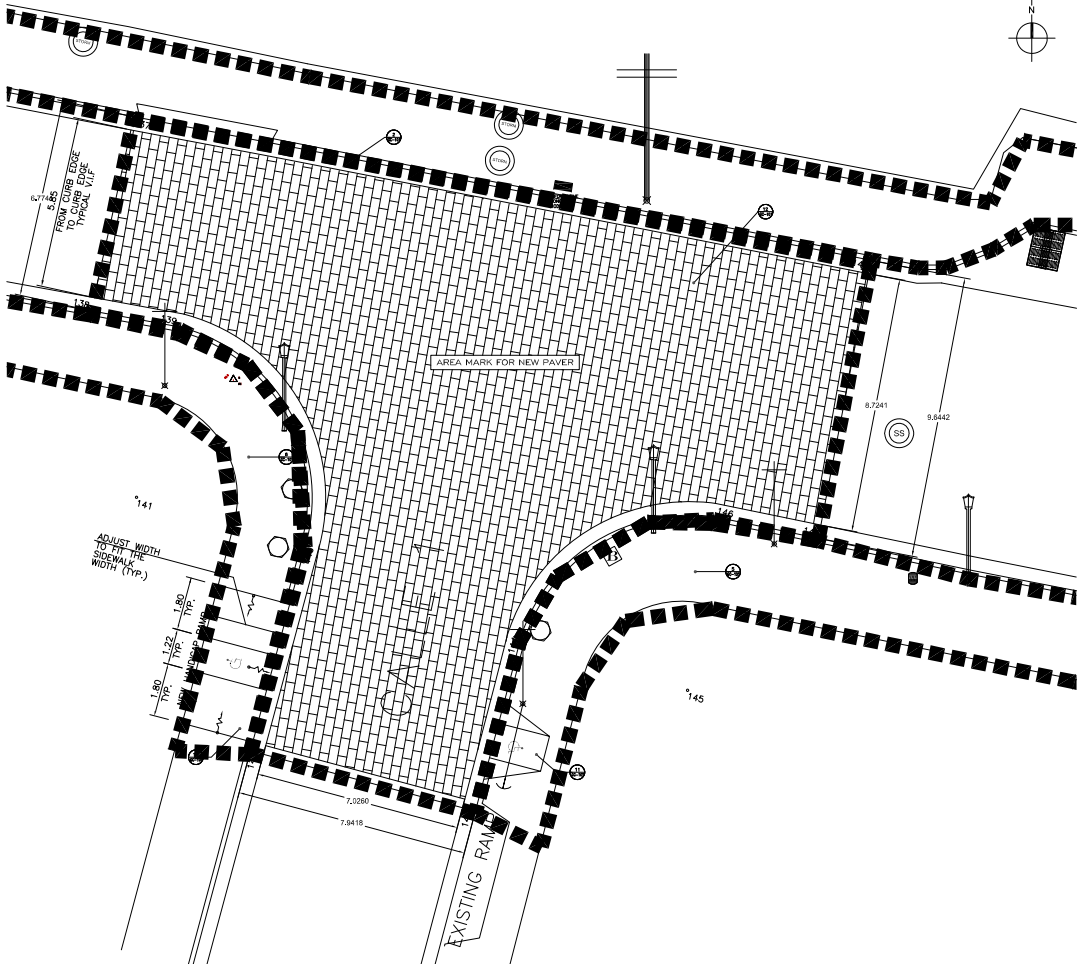
NOTE
 Yo, Jorge Pérez, Licencia No. 15,863, COMPROVO QUE SOY EL PROFESIONAL QUE PREPARÉ ESTOS PLANOS Y LOS AUTORIZO COMO DISEÑADOR. TAMBIÉN COMPROVO QUE ENTENDIÓ QUE ESTOS PLANOS Y AUTORIZACIÓN SON ÚNICAMENTE PARA EL DISEÑO Y AUTORIZACIÓN DEL PROYECTO DE LA OBRA, SIN RESPONSABILIDAD O RESPONSABILIDAD PÚBLICA CON AUTORIDAD, CONTROL, ASESORÍA O LA IMPLEMENTACIÓN DE ESTOS PLANOS Y AUTORIZACIONES EN LA CONSTRUCCIÓN DE LA OBRA. ESTOS PLANOS Y AUTORIZACIONES SON ÚNICAMENTE PARA EL DISEÑO Y AUTORIZACIÓN DEL PROYECTO DE LA OBRA, SIN RESPONSABILIDAD O RESPONSABILIDAD PÚBLICA CON AUTORIDAD, CONTROL, ASESORÍA O LA IMPLEMENTACIÓN DE ESTOS PLANOS Y AUTORIZACIONES EN LA CONSTRUCCIÓN DE LA OBRA. ESTOS PLANOS Y AUTORIZACIONES SON ÚNICAMENTE PARA EL DISEÑO Y AUTORIZACIÓN DEL PROYECTO DE LA OBRA, SIN RESPONSABILIDAD O RESPONSABILIDAD PÚBLICA CON AUTORIDAD, CONTROL, ASESORÍA O LA IMPLEMENTACIÓN DE ESTOS PLANOS Y AUTORIZACIONES EN LA CONSTRUCCIÓN DE LA OBRA.



WORKING DRAWINGS FOR:
 PR-CRP-000437
 RUTA DE LOS TRES SANTOS REYES
 CALLE F DEGETAU #35
 JUANA DIAZ, PUERTO RICO

DRAWING NAME
 ENLARGED
 CES PLAN
 INTERSECTION - 111

SCALE: 1 = 2	BIDDER DATE: JUN. 2024
DRAWN BY: EMP. AIT	CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DRAWING NO. C-211	SHEET NO. 67 OF 125

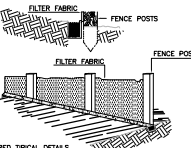


TRUCK WASHING FACILITIES
 NOT TO SCALE - TBD W/F

- CONSTRUCTION SPECIFICATIONS**
- STONE SIZE - USE MSHA SIZE NO. 2 (2-1/2" TO 1") OR ASHTO DESIGNATION M33, SIZE NO. 2 (2-1/2" TO 1-1/2"). USE CRUSHED STONE.
 - LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
 - THICKNESS - NOT LESS THAN EIGHT (8) INCHES.
 - WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
 - WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH USE OF SAND BINS, GRASS BARRIERS OR OTHER APPROVED METHODS.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THE WAF MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DRIPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

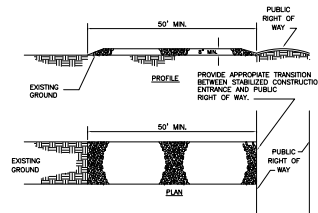
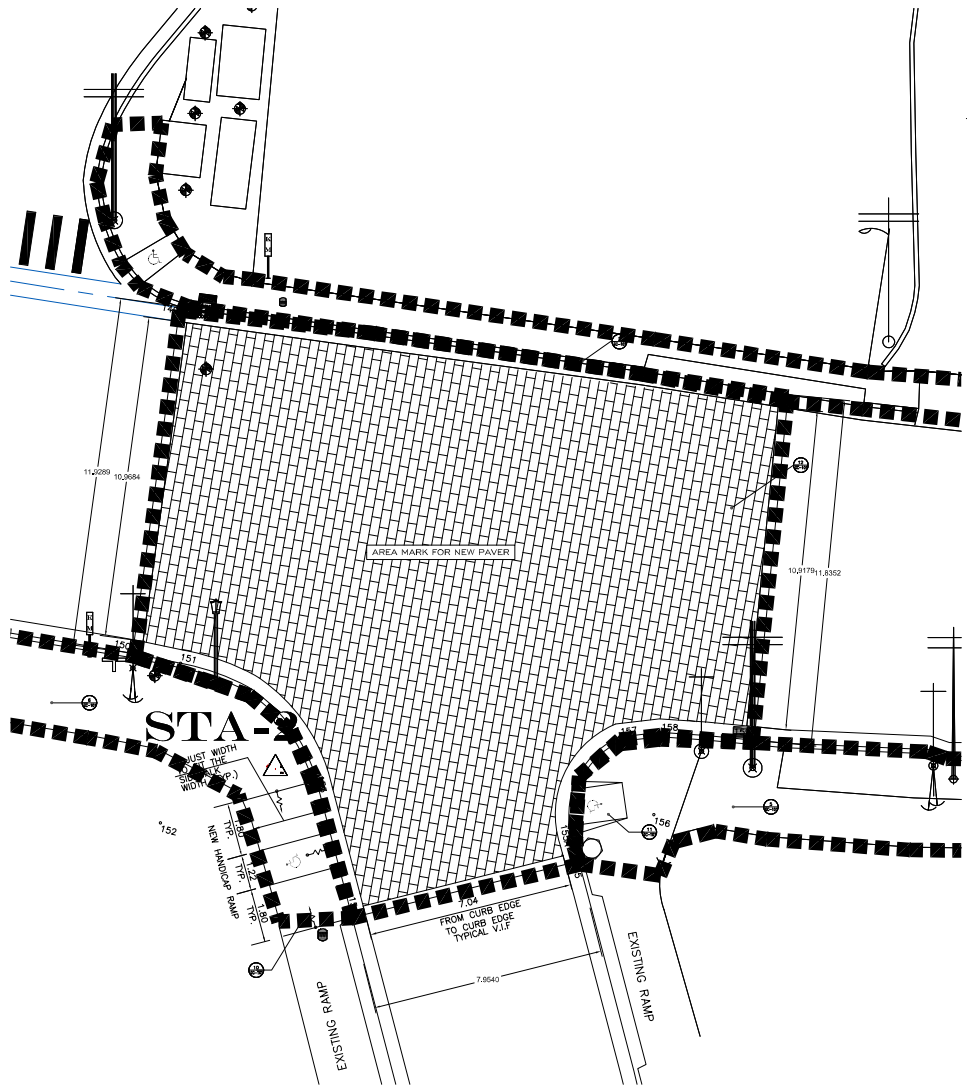
LEGEND:

--- HAY BALES BARRIER
 --- SEDIMENT BARRIER
 --- OR APPROVED



SILT FENCE
 NOT TO SCALE

INTERSECTION 111 ENLARGED PLAN
 SCALE: 1:2

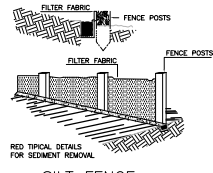


TRUCK WASHING FACILITIES
NOT TO SCALE T80 V/F

- CONSTRUCTION SPECIFICATIONS**
1. STONE SIZE - USE MSHA SIZE NO. 2 (2-1/2" TO 1") OR MSHTO DESIGNATION MAX. SIZE NO. 2 (2-1/2" TO 1-1/2"). USE CRUSHED STONE.
 2. LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
 3. THICKNESS - NOT LESS THAN 8" (8) INCHES.
 4. WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
 5. WARNING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE, WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, CATCH, OR WATERCOURSE, THROUGH USE OF SAND BAGS, GRASS, BARRIERS OR OTHER APPROVED METHODS.
 6. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODS TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

LEGEND:

- HAY BALES BARRIER
- SEDIMENT BARRIER
- OR APPROVED



INTERSECTION 12 ENLARGED PLAN
SCALE: 1:2



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
LIC. No. 15,863

- CONSULTANTS
1. SURVEY & TOPOGRAPHY [ALBERTO ROSALES] (LIC. No. 15,863)
 2. CIVIL [JORGE L. PÉREZ RUIZ, PE, No. 15,863]
 3. ARCHITECTURAL [JORGE L. PÉREZ RUIZ, PE, No. 15,863]
 4. STRUCTURAL [JOSE GONZALEZ] (LIC. No. 1,908)

NOTE
Yo, Jorge Pérez, Licencia No. 15,863, COMPROVO QUE SOY EL PROFESIONAL QUE PREPARÉ ESTOS PLANOS Y LOS RESPONSABILIDADES CORRESPONDIENTES. TAMBIÉN COMPROVO QUE ENTENDI QUE ESTOS PLANOS Y RESPONSABILIDADES CORRESPONDIENTES SON UNO DE LOS RESULTADOS DEL TRABAJO REALIZADO EN LA OBRA, JUNTO A OTRAS INFORMACIONES O DOCUMENTOS QUE SE ENVIARON AL CLIENTE. COMPROVO TAMBIÉN QUE LA PREPARACIÓN DE ESTOS PLANOS Y RESPONSABILIDADES DE LA OBRA SON DE MI RESPONSABILIDAD. COMO DISEÑADOR, CONSULTOR, INGENIERO Y ARQUITECTO, COMPROVO QUE ESTOS PLANOS Y RESPONSABILIDADES CORRESPONDIENTES SON UNO DE LOS RESULTADOS DEL TRABAJO REALIZADO EN LA OBRA, JUNTO A OTRAS INFORMACIONES O DOCUMENTOS QUE SE ENVIARON AL CLIENTE. COMO DISEÑADOR, CONSULTOR, INGENIERO Y ARQUITECTO, COMPROVO QUE ESTOS PLANOS Y RESPONSABILIDADES CORRESPONDIENTES SON UNO DE LOS RESULTADOS DEL TRABAJO REALIZADO EN LA OBRA, JUNTO A OTRAS INFORMACIONES O DOCUMENTOS QUE SE ENVIARON AL CLIENTE.



WORKING DRAWINGS FOR:
PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
CALLE F DEGETAU #35
JUANA DIAZ, PUERTO RICO

DRAWING NAME
ENLARGED CES PLAN INTERSECTION - 12

SCALE: 1:2	BIDDER DATE: JUN. 2024
DRAWN BY: EMP. AIT	CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DRAWING NO. C-212	SHEET NO. 68 OF 125



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
LIC. No. 15,863

- CONSULTANTS
1. SURVEY & TOPOGRAPHY [ALBERTO ROSALES] (LIC. No. 15,863)
 2. CIVIL [JORGE L. PÉREZ RUIZ] (LIC. No. 15,863)
 3. ARCHITECTURAL [JORGE L. PÉREZ RUIZ] (LIC. No. 15,863)
 4. STRUCTURAL [JOSE GONZALEZ] (LIC. No. 1,908)

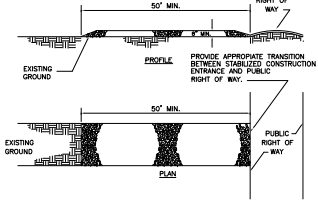
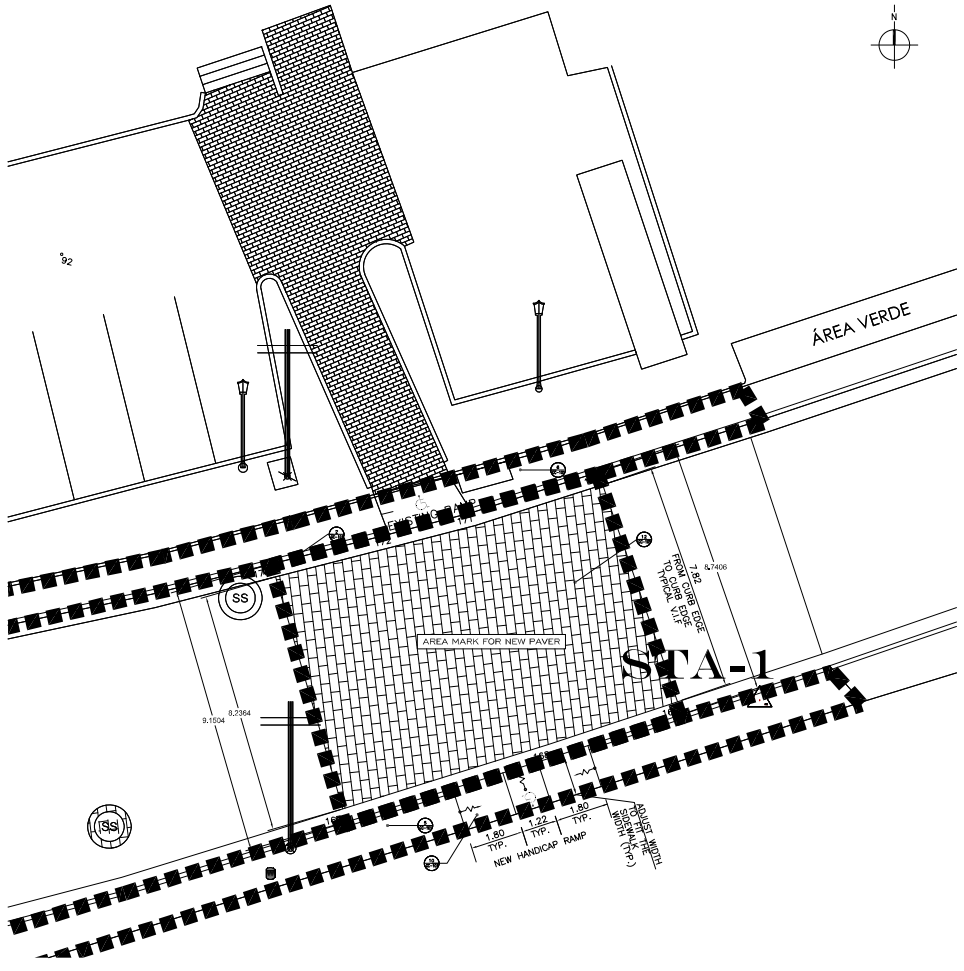
NOTE
Yo, JORGE PEREZ, Licencia No. 15,863, COMPROVO QUE SOY EL PROFESIONAL QUE PREPARO ESTOS PLANOS Y LOS RESPONSABILIDADES CORRESPONDIENTES. TAMBIEN COMPROVO QUE NUNCA HE DADO A OTRO INGENIERO, ARQUITECTO O TECNICO CUALQUIER TIPO DE AUTORIZACION PARA QUE REALICE LOS TRABAJOS DE INGENIERIA, ARQUITECTURA O TECNICA EN NOMBRE MIO. ASIMISMO COMPROVO QUE NUNCA HE DADO A OTRO INGENIERO, ARQUITECTO O TECNICO CUALQUIER TIPO DE AUTORIZACION PARA QUE REALICE LOS TRABAJOS DE INGENIERIA, ARQUITECTURA O TECNICA EN NOMBRE MIO. ASIMISMO COMPROVO QUE NUNCA HE DADO A OTRO INGENIERO, ARQUITECTO O TECNICO CUALQUIER TIPO DE AUTORIZACION PARA QUE REALICE LOS TRABAJOS DE INGENIERIA, ARQUITECTURA O TECNICA EN NOMBRE MIO. ASIMISMO COMPROVO QUE NUNCA HE DADO A OTRO INGENIERO, ARQUITECTO O TECNICO CUALQUIER TIPO DE AUTORIZACION PARA QUE REALICE LOS TRABAJOS DE INGENIERIA, ARQUITECTURA O TECNICA EN NOMBRE MIO.



WORKING DRAWINGS FOR:
PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
CALLE F. DEGETAU #35
JUANA DIAZ, PUERTO RICO

DRAWING NAME
**ENLARGED
PLAN CES
INTERSECTION - I 3**

SCALE: 1/2"	BIDDED DATE: JUN. 2024
DRAWN BY: EMP. AIT	CHECKED BY: JORGE L. PEREZ RUIZ, PE
DRAWING NO. C-213	SHEET NO. 69 OF 125

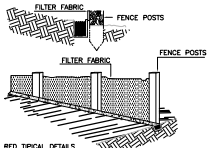


TRUCK WASHING FACILITIES
NOT TO SCALE 1/80' W/P

- CONSTRUCTION SPECIFICATIONS**
1. STONE SIZE - USE MSHA SIZE NO. 2 (2-1/2" TO 1") OR ASHFO DESIGNATION M43, SIZE NO. 2 (2-1/2" TO 1-1/2"). USE CRUSHED STONE.
 2. LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
 3. THICKNESS - NOT LESS THAN EIGHT (8) INCHES.
 4. WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
 5. WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAPES, BOARDS OR OTHER APPROVED METHODS.
 6. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THE BARRIER REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE. UNDER CONDITIONS DEMAND AND REPAIR AND FOR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT, ALL SEDIMENT SPILLED, DUMPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

LEGEND:

--- HAY BALES BARRIER
SEDIMENT BARRIER
OR APPROVED



RED TYPICAL DETAILS
FOR SEDIMENT REMOVAL
SILT FENCE
NOT TO SCALE

INTERSECTION I 3 ENLARGED PLAN
SCALE: 1/2"



APPROVED BY
 JORGE L. PÉREZ RUIZ, PE
 Lic. No. 15,863

CONSULTANTS

NOTE:
 En el caso Puerto Rico, el artículo 15.063, capítulo 34 de las ordenanzas que rigen el tráfico en las carreteras de Puerto Rico, establece que cualquier cambio en el diseño de una carretera debe ser aprobado por el Departamento de Transportación y Carreteras de Puerto Rico. Este documento es un estudio preliminar y no debe ser utilizado para la construcción de ninguna obra sin la aprobación expresa del Departamento de Transportación y Carreteras de Puerto Rico. Este documento es el producto de un estudio preliminar y no debe ser utilizado para la construcción de ninguna obra sin la aprobación expresa del Departamento de Transportación y Carreteras de Puerto Rico. Este documento es el producto de un estudio preliminar y no debe ser utilizado para la construcción de ninguna obra sin la aprobación expresa del Departamento de Transportación y Carreteras de Puerto Rico.

CERTIFICATION



WORKING DRAWINGS FOR:
 PR-CRP-000437
 RUTA DE LOS TRES SANTOS REYES
 CALLE F DEGETAU # 35
 JUANA DIAZ, PUERTO RICO

MAINTENANCE OF TRAFFIC PLAN

SCALE: NTS	BIDDER DATE: JULY 2024
DRAWN BY: JOMP, AIT	CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DRAWING NO: SDS-01	SHEET NO: 70 OF 125

FED AID HWY PROJECT NO.	AC. PROJECT CODE NO.	HIGHWAY P. R. NUM	MUNICIPALITY	ISLAND	FISCAL YEAR	SHEET NO.	TOTAL SHEETS
-	-	P.R.- 303	LAJAS	P.R.	2024	505-01	1

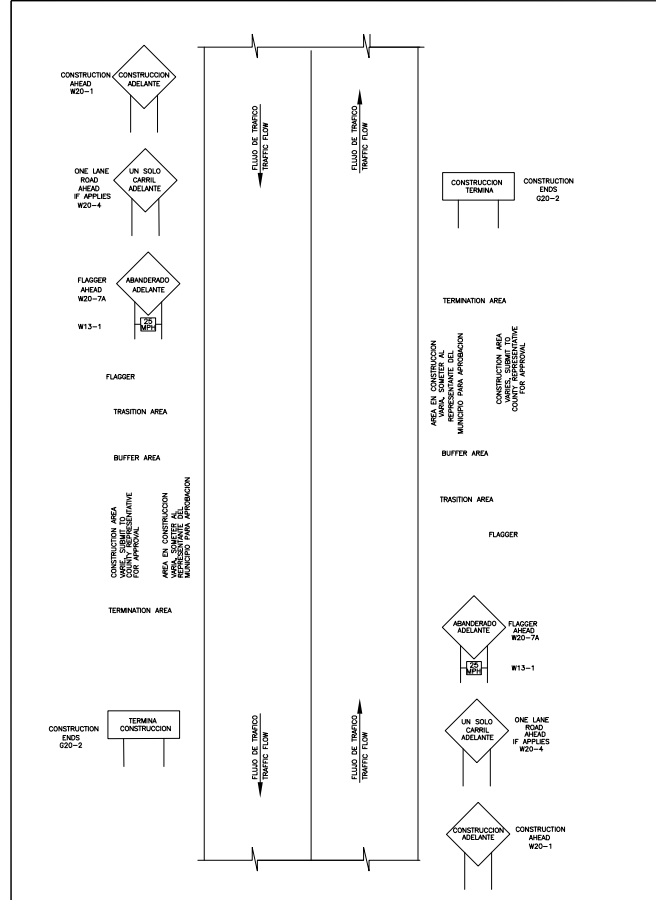
OFFSET REQUIREMENTS

ROUTE	FROM	TO	OFFSET
PR-TBD	Km. TBD	Km. TBD	0.60 mts.

IMPORTANT NOTE:
 CONTRACTOR SHALL COORDINATE ALL SIGN INSTALLATION AND DETAILS WITH THE CURRENT STANDARD DRAWINGS & OWNER'S P.M.

TEMPORARY CONTROL SIGN TABLE

CODE NUMBER	LOCATION NUMBER	SIGN CODE	LEGEND	SIZE OF SIGN PANELS	OVERHEAD STRUCTURE TYPE	REFERENCE MANUAL	TOTAL ITEM
1	1,	W20-1		48" X 48"	N/A	SEE DTPW MANUAL	2
2	2,	W20-4		48" X 48"	N/A	SEE DTPW MANUAL	2
3	3,	W20-7A		48" X 24"	N/A	SEE DTPW MANUAL	2
		W13-1		24" X 24"			
4	7, 4	G20-2		60" X 24"	N/A	SEE DTPW MANUAL	2

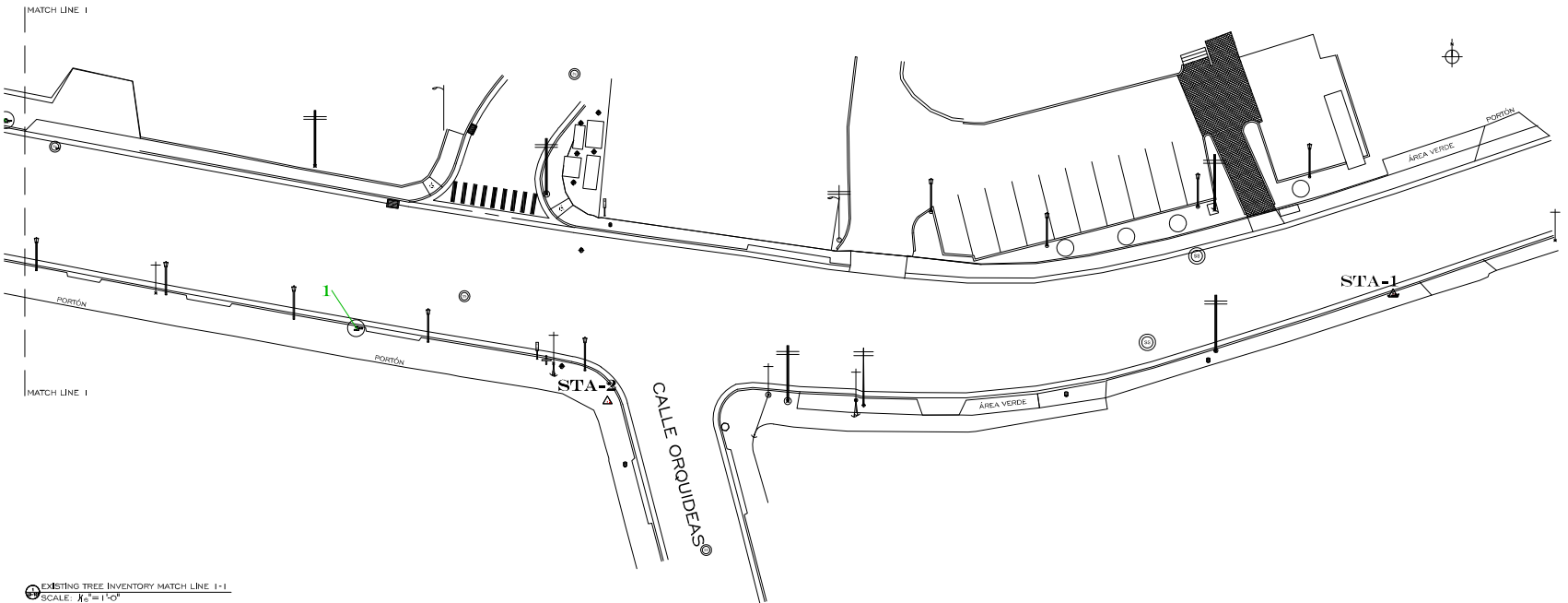


MOT PROP. LAYOUT
 NOT TO SCALE

GENERAL NOTES:
 THE MOT SHOWN ON THIS SHEET IS GENERIC AND SHOULD BE TAILORED TO SIGN PHASE. THE CONTRACTOR SHOULD USE IT AS A TOOL TO DETERMINE THE ELEMENTS TO BE IMPLEMENTED IN EACH SECTION. THE CONTRACTOR SHOULD DISCUSS WITH ALL GOVERNMENT, SAFETY AND CIVIL PARTIES TO MINIMIZE INCONVENIENCES.

FILE NAME: TBD

TREE INVENTORY SCHEDULE					
NO.	SCIENTIFIC NAME	COMMON NAME	DBH(")	HEIGHT	CONDITION
1	Tabebuia heterophylla	Roble nativo	5	15	Good
2	Tabebuia heterophylla	Roble nativo	5	15	Good
3	Tabebuia heterophylla	Roble nativo	5	15	Good
4	Phoenix roebelenii	Palma robelini	5	10	Good
5	Phoenix roebelenii	Palma robelini	5	10	Good
6	Tabebuia heterophylla	Roble nativo	5	15	Good
7	Tabebuia heterophylla	Roble nativo	3	15	Good
8	Tabebuia heterophylla	Roble nativo	5	15	Good
9	Calophyllum calaba	Maria	13	25	Good
10	Tabebuia argentea	Roble plateado	15	20	Good
11	Tabebuia heterophylla	Roble nativo	5	15	Good
12	Tabebuia argentea	Roble plateado	15	20	Good
13	Tabebuia heterophylla	Roble nativo	5	15	Good
14	Tabebuia heterophylla	Roble nativo	3	15	Good
15	Tabebuia heterophylla	Roble nativo	5	15	Good
16	Tabebuia heterophylla	Roble nativo	5	15	Good
17	Tabebuia heterophylla	Roble nativo	5	15	Good
18	Tabebuia heterophylla	Roble nativo	5	15	Good
19	Tabebuia argentea	Roble plateado	8	20	Good
20	Tabebuia argentea	Roble plateado	7	15	Good
21	Tabebuia heterophylla	Roble nativo	9	20	Good
22	Tabebuia heterophylla	Roble nativo	9	20	Good
23	Tabebuia heterophylla	Roble nativo	10	20	Good
24	Tabebuia argentea	Roble plateado	6	15	Good
25	Tabebuia heterophylla	Roble nativo	5	15	Good
26	Tabebuia heterophylla	Roble nativo	3	15	Good
27	Tabebuia heterophylla	Roble nativo	4	15	Good
28	Tabebuia heterophylla	Roble nativo	4	15	Good
29	Tabebuia heterophylla	Roble nativo	8	15	Good
30	Tabebuia heterophylla	Roble nativo	5	15	Good
31	Tabebuia heterophylla	Roble nativo	5	15	Good
32	Tabebuia heterophylla	Roble nativo	8	20	Good



EXISTING TREE INVENTORY MATCH LINE 1-1
 SCALE: 1/8" = 1'-0"
 0' 10' 20' 30' 40' 50'



APPROVED BY
 JORGE L. PÉREZ RUIZ, PE
 LIC. NO. 15,863

- CONSULTANTS
1. SURVEY & TOPOGRAPHY [ALBERTO RODRÍGUEZ (LIC. NO. 18,858)]
 2. CIVIL ENGINEER [JORGE L. PÉREZ RUIZ (LIC. NO. 15,863)]
 3. ARCHITECTURAL [JORGE L. PÉREZ RUIZ (LIC. NO. 15,863)]
 4. STRUCTURAL [JOSE CONTRON (LIC. NO. 1,908)]

NOTE

To: JORGE PEREZ (LICENCIADO No. 15,863) congreso que sea el procedimiento que involucra estos planos y las especificaciones complementarias. Todos los trabajos que se realicen en el terreno de este proyecto de construcción se harán de acuerdo con las especificaciones de construcción de la oficina de la municipalidad de Ponce, Puerto Rico. Toda obra de construcción deberá cumplir con las especificaciones de construcción de la municipalidad de Ponce, Puerto Rico. Toda obra de construcción deberá cumplir con las especificaciones de construcción de la municipalidad de Ponce, Puerto Rico. Toda obra de construcción deberá cumplir con las especificaciones de construcción de la municipalidad de Ponce, Puerto Rico.



WORKING DRAWINGS FOR:
 PR-CRP-0004-37
 RUTA DE LOS TRES SANTOS REYES
 CALLE F DEGETAU # 35
 JUANA DIAZ, PUERTO RICO

DRAWING NAME
 EXISTING TREE INVENTORY PLAN
 MATCH LINE 1-1

SCALE: 1/16" = 1'-0" REVISION DATE: 07/20/24
 DRAWN BY: CHECKED BY:
 EMP. AIT JORGE L. PÉREZ RUIZ, PE

DRAWING NO. SHEET NO.
 LD-101 71 OF 125



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
 LIC. NO. 15,863

CONSULTANTS
 1. SURVEY & TOPOGRAPHY | ALBERTO RODRÍGUEZ LIC. NO. 19,858
 2. CIVIL | JORGE L. PÉREZ RUIZ (LIC. NO. 15,863)
 3. ARCHITECTURAL | JORGE L. PÉREZ RUIZ (LIC. NO. 15,863)
 4. STRUCTURAL | JOSE CONTRON (LIC. NO. 1,908)

NOTE
 Yo, Jorge Pérez Ruiz, Licencia No. 15,863, certifico que los datos presentados en este plan de trabajo y las especificaciones complementarias fueron obtenidos por medio de mediciones y levantamientos realizados con los procedimientos apropiados de acuerdo al Reglamento General y Código de Construcción de la Junta Municipal Municipalidad de San Juan, que en la primavera de 2020 fueron interpretados de su campo con lo dispuesto en la Ley. Es de mi deber de conciencia profesional, como ingeniero civil, certificar que la información presentada en este plan de trabajo es verdadera y correcta. He de ser fiel a mi deber profesional, al cual me adhiero desde el día de mi graduación, el 15 de mayo de 1978, según evidencia, según amparo ministerial que otorgó el entonces gobernador Juan Antonio Rivera, y que se ha producido por desconocimiento o por negligencia de los datos que he suministrado, he sido responsable de cualquier consecuencia que se produzca por lo que.

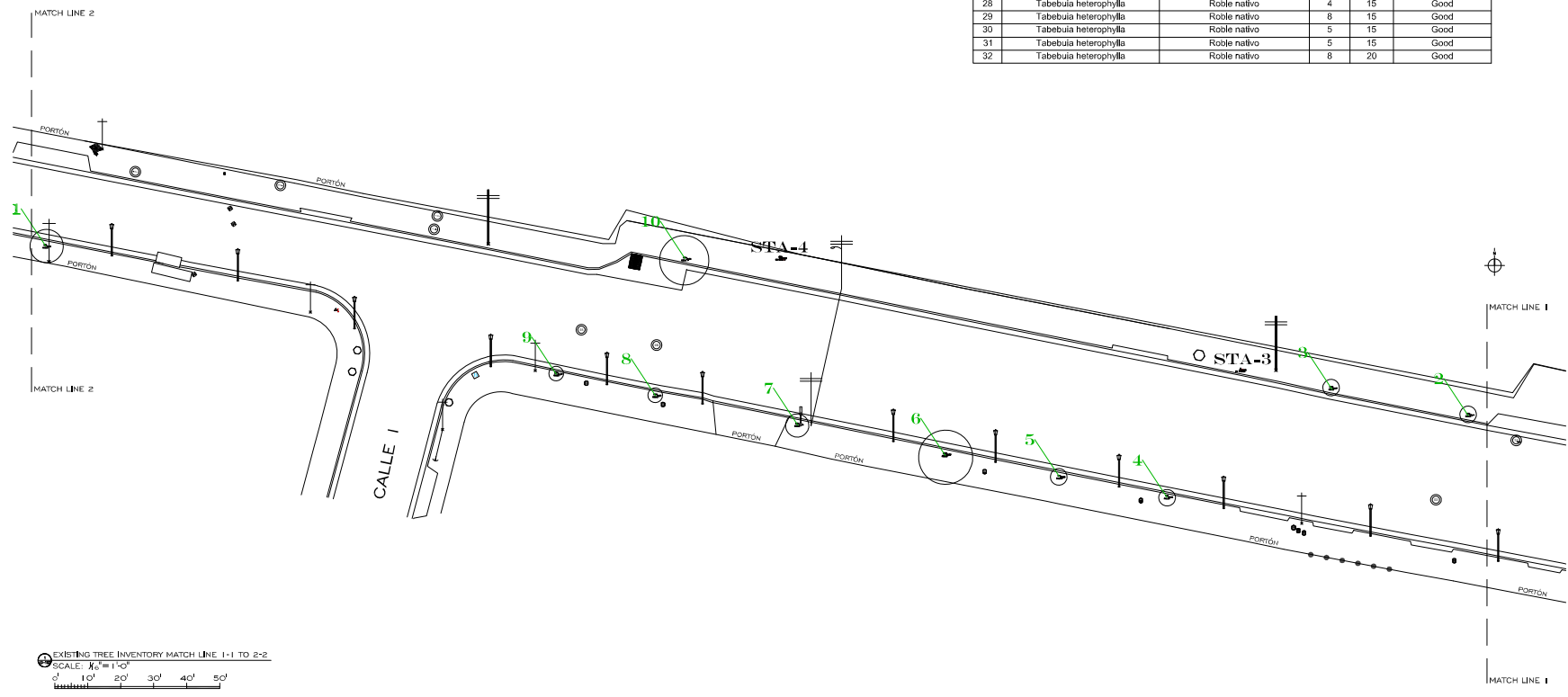


WORKING DRAWINGS FOR:
 PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
CALLE F DEGETAU # 35
JUANA DIAZ, PUERTO RICO

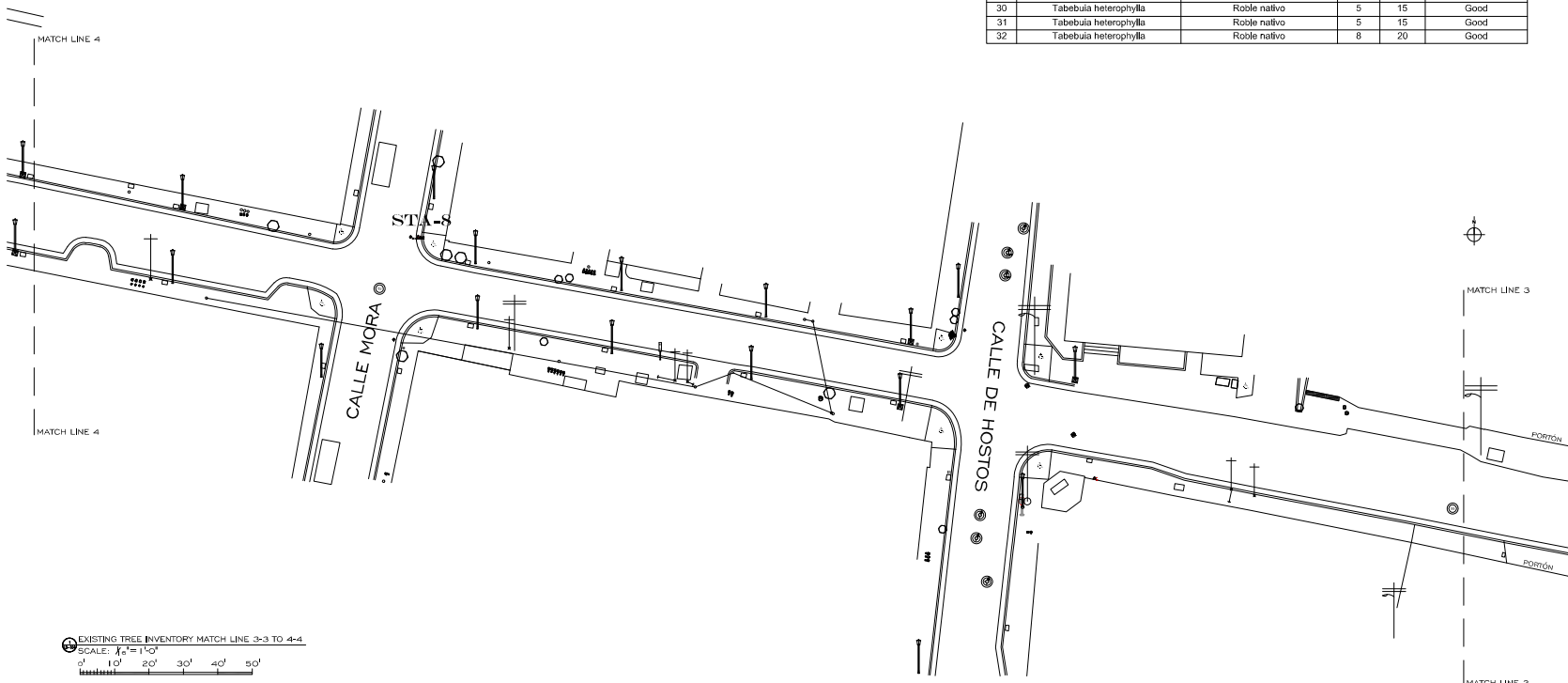
DRAWING NAME
EXISTING TREE INVENTORY PLAN
MATCH LINE 1-1 TO 2-2

SCALE: 1/16" = 1'-0"
 DRAWN BY: EMP, AIT
 CHECKED BY: JORGE L. PÉREZ RUIZ, PE
 DRAWING NO. LD-102
 SHEET NO. 72 OF 125


TREE INVENTORY SCHEDULE					
NO.	SCIENTIFIC NAME	COMMON NAME	DBH(")	HEIGHT	CONDITION
1	Tabebuia heterophylla	Roble nativo	5	15	Good
2	Tabebuia heterophylla	Roble nativo	5	15	Good
3	Tabebuia heterophylla	Roble nativo	5	15	Good
4	Phoenix roebelenii	Palma robelini	5	10	Good
5	Phoenix roebelenii	Palma robelini	5	10	Good
6	Tabebuia heterophylla	Roble nativo	5	15	Good
7	Tabebuia heterophylla	Roble nativo	3	15	Good
8	Tabebuia heterophylla	Roble nativo	5	15	Good
9	Calophyllum calaba	Manía	13	25	Good
10	Tabebuia argentea	Roble plateado	15	20	Good
11	Tabebuia heterophylla	Roble nativo	5	15	Good
12	Tabebuia argentea	Roble plateado	15	20	Good
13	Tabebuia heterophylla	Roble nativo	5	15	Good
14	Tabebuia heterophylla	Roble nativo	3	15	Good
15	Tabebuia heterophylla	Roble nativo	5	15	Good
16	Tabebuia heterophylla	Roble nativo	5	15	Good
17	Tabebuia heterophylla	Roble nativo	5	15	Good
18	Tabebuia heterophylla	Roble nativo	5	15	Good
19	Tabebuia argentea	Roble plateado	8	20	Good
20	Tabebuia argentea	Roble plateado	7	15	Good
21	Tabebuia heterophylla	Roble nativo	9	20	Good
22	Tabebuia heterophylla	Roble nativo	9	20	Good
23	Tabebuia heterophylla	Roble nativo	10	20	Good
24	Tabebuia argentea	Roble plateado	6	15	Good
25	Tabebuia heterophylla	Roble nativo	5	15	Good
26	Tabebuia heterophylla	Roble nativo	3	15	Good
27	Tabebuia heterophylla	Roble nativo	4	15	Good
28	Tabebuia heterophylla	Roble nativo	4	15	Good
29	Tabebuia heterophylla	Roble nativo	8	15	Good
30	Tabebuia heterophylla	Roble nativo	5	15	Good
31	Tabebuia heterophylla	Roble nativo	5	15	Good
32	Tabebuia heterophylla	Roble nativo	8	20	Good



EXISTING TREE INVENTORY MATCH LINE 1-1 TO 2-2
 SCALE: 1/16" = 1'-0"
 0' 10' 20' 30' 40' 50'




TREE INVENTORY SCHEDULE					
NO.	SCIENTIFIC NAME	COMMON NAME	DBH(")	HEIGHT	CONDITION
1	Tabebuia heterophylla	Roble nativo	5	15	Good
2	Tabebuia heterophylla	Roble nativo	5	15	Good
3	Tabebuia heterophylla	Roble nativo	5	15	Good
4	Phoenix roebelenii	Palma robelini	5	10	Good
5	Phoenix roebelenii	Palma robelini	5	10	Good
6	Tabebuia heterophylla	Roble nativo	5	15	Good
7	Tabebuia heterophylla	Roble nativo	3	15	Good
8	Tabebuia heterophylla	Roble nativo	5	15	Good
9	Calophyllum calaba	Mafia	13	25	Good
10	Tabebuia argentea	Roble plateado	15	20	Good
11	Tabebuia heterophylla	Roble nativo	5	15	Good
12	Tabebuia argentea	Roble plateado	15	20	Good
13	Tabebuia heterophylla	Roble nativo	5	15	Good
14	Tabebuia heterophylla	Roble nativo	3	15	Good
15	Tabebuia heterophylla	Roble nativo	5	15	Good
16	Tabebuia heterophylla	Roble nativo	5	15	Good
17	Tabebuia heterophylla	Roble nativo	5	15	Good
18	Tabebuia heterophylla	Roble nativo	5	15	Good
19	Tabebuia argentea	Roble plateado	8	20	Good
20	Tabebuia argentea	Roble plateado	7	15	Good
21	Tabebuia heterophylla	Roble nativo	9	20	Good
22	Tabebuia heterophylla	Roble nativo	9	20	Good
23	Tabebuia heterophylla	Roble nativo	10	20	Good
24	Tabebuia argentea	Roble plateado	6	15	Good
25	Tabebuia heterophylla	Roble nativo	5	15	Good
26	Tabebuia heterophylla	Roble nativo	3	15	Good
27	Tabebuia heterophylla	Roble nativo	4	15	Good
28	Tabebuia heterophylla	Roble nativo	4	15	Good
29	Tabebuia heterophylla	Roble nativo	8	15	Good
30	Tabebuia heterophylla	Roble nativo	5	15	Good
31	Tabebuia heterophylla	Roble nativo	5	15	Good
32	Tabebuia heterophylla	Roble nativo	8	20	Good



APPROVED BY:
JORGE L. PÉREZ RUIZ, PE
 LIC. NO. 15,863

CONSULTANTS:
 1. SURVEY & TOPOGRAPHY | ALBERTO RODRÍGUEZ LIC. NO. 19,958
 2. CIVIL | JORGE L. PÉREZ RUIZ (LIC. NO. 15,863)
 3. ARCHITECTURAL | JORGE L. PÉREZ RUIZ (LIC. NO. 15,863)
 4. STRUCTURAL | JOSE CONTRON (LIC. NO. 1,908)

NOTE:
 Yo, Jorge Pérez Ruiz, Licencia No. 15,863, certifico que este procedimiento, que involucra medir, medir y registrar las especies de árboles existentes en el terreno, se realizó de acuerdo con los procedimientos establecidos en el Reglamento de Control y Control de Construcción de la Junta de Planificación de Puerto Rico, y que en la medida de lo posible se tomaron las precauciones necesarias para garantizar la exactitud de los datos obtenidos. Este trabajo se realizó de acuerdo con el Reglamento de Control y Control de Construcción de la Junta de Planificación de Puerto Rico, y que en la medida de lo posible se tomaron las precauciones necesarias para garantizar la exactitud de los datos obtenidos. Este trabajo se realizó de acuerdo con el Reglamento de Control y Control de Construcción de la Junta de Planificación de Puerto Rico, y que en la medida de lo posible se tomaron las precauciones necesarias para garantizar la exactitud de los datos obtenidos.



WORKING DRAWINGS FOR:
 PR-CRP-000437
 RUTA DE LOS TRES SANTOS REYES
 CALLE F DEGETAU # 35
 JUANA DIAZ, PUERTO RICO

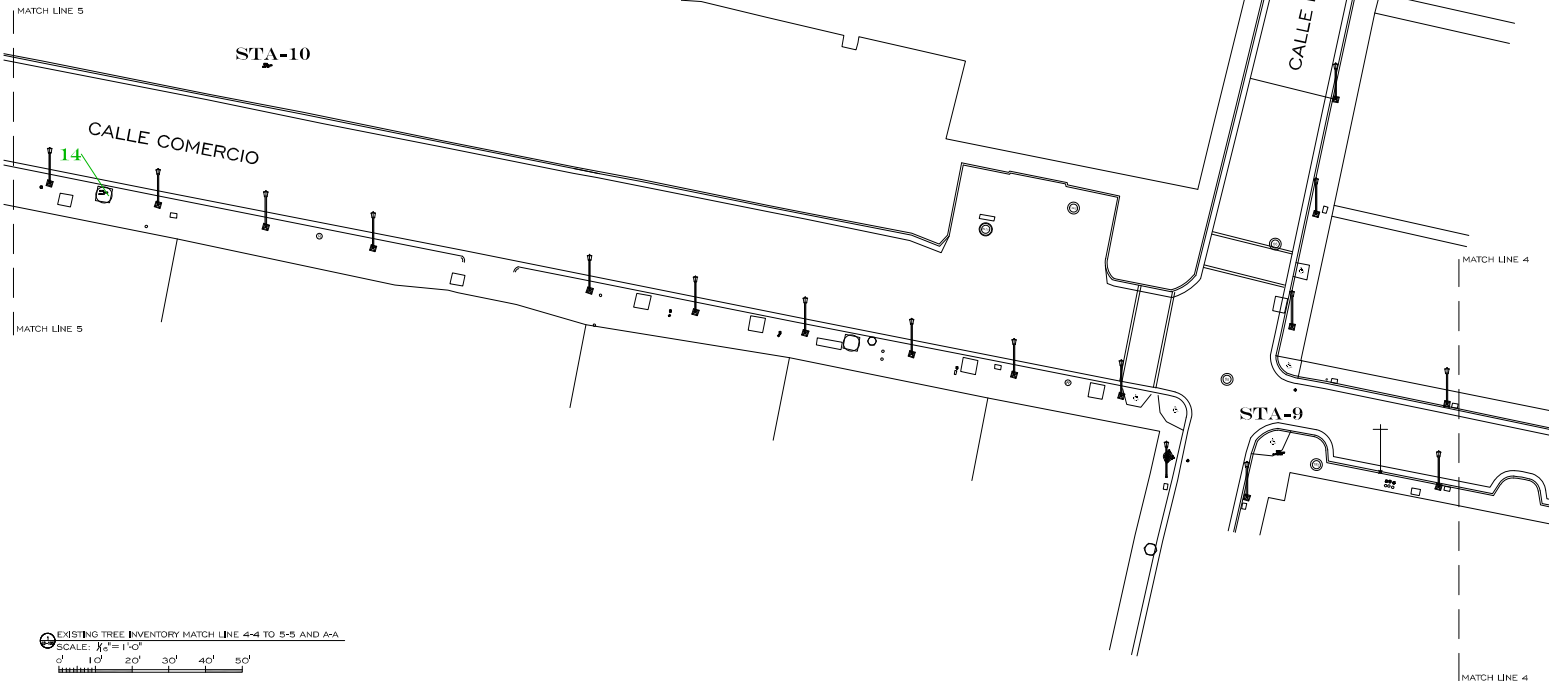
DRAWING NAME:
 EXISTING TREE INVENTORY PLAN
 MATCH LINE 3-3 TO 4-4

SCALE: 1/4" = 1'-0"
 0' 1' 2' 3' 4' 5'

DRAWN BY: EMP. AIT
 CHECKED BY: JORGE L. PÉREZ RUIZ, PE

DRAWING NO. LD-104
 SHEET NO. 74 OF 125

TREE INVENTORY SCHEDULE					
NO.	SCIENTIFIC NAME	COMMON NAME	DBH(")	HEIGHT	CONDITION
1	Tabebuia heterophylla	Roble nativo	5	15	Good
2	Tabebuia heterophylla	Roble nativo	5	15	Good
3	Tabebuia heterophylla	Roble nativo	5	15	Good
4	Phoenix roebelenii	Palma robelini	5	10	Good
5	Phoenix roebelenii	Palma robelini	5	10	Good
6	Tabebuia heterophylla	Roble nativo	5	15	Good
7	Tabebuia heterophylla	Roble nativo	3	15	Good
8	Tabebuia heterophylla	Roble nativo	5	15	Good
9	Calophyllum calaba	Maria	13	25	Good
10	Tabebuia argentea	Roble plateado	15	20	Good
11	Tabebuia heterophylla	Roble nativo	5	15	Good
12	Tabebuia argentea	Roble plateado	15	20	Good
13	Tabebuia heterophylla	Roble nativo	5	15	Good
14	Tabebuia heterophylla	Roble nativo	3	15	Good
15	Tabebuia heterophylla	Roble nativo	5	15	Good
16	Tabebuia heterophylla	Roble nativo	5	15	Good
17	Tabebuia heterophylla	Roble nativo	5	15	Good
18	Tabebuia heterophylla	Roble nativo	5	15	Good
19	Tabebuia argentea	Roble plateado	8	20	Good
20	Tabebuia argentea	Roble plateado	7	15	Good
21	Tabebuia heterophylla	Roble nativo	9	20	Good
22	Tabebuia heterophylla	Roble nativo	9	20	Good
23	Tabebuia heterophylla	Roble nativo	10	20	Good
24	Tabebuia argentea	Roble plateado	6	15	Good
25	Tabebuia heterophylla	Roble nativo	5	15	Good
26	Tabebuia heterophylla	Roble nativo	3	15	Good
27	Tabebuia heterophylla	Roble nativo	4	15	Good
28	Tabebuia heterophylla	Roble nativo	4	15	Good
29	Tabebuia heterophylla	Roble nativo	8	15	Good
30	Tabebuia heterophylla	Roble nativo	5	15	Good
31	Tabebuia heterophylla	Roble nativo	5	15	Good
32	Tabebuia heterophylla	Roble nativo	8	20	Good



EXISTING TREE INVENTORY MATCH LINE 4-4 TO 5-5 AND A-A
 SCALE: 1/4" = 1'-0"
 0' 10' 20' 30' 40' 50'



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
 Lic. No. 15,863

CONSULTANTS

1. SURVEY & TOPOGRAPHY | ALBERTO RODRÍGUEZ Lic. No. 19,858
2. CIVIL ENGINEER | JORGE L. PÉREZ RUIZ Lic. No. 15,863
3. ARCHITECTURAL | JORGE L. PÉREZ RUIZ Lic. No. 15,863
4. STRUCTURAL | JOSE CONTRON Lic. No. 1,908

NOTE

Yo, JORGE PÉREZ RUIZ, Licencia No. 15,863, certifico que soy un profesional que emitió estos planos y las especificaciones complementarias luego de cumplir con los procedimientos establecidos en el Reglamento General y Código de Construcción de la Inspección de Edificios y Construcciones de la Inspección de Obras Públicas, Civil y Sanitarias, que se le aplican a las edificaciones y especificaciones de su campo con lo dispuesto en la Ley. En el momento de emitir esta certificación certifico como la Ley para la Protección por la Industria Arquitectónica, con la Ley No. 210 de 20 de mayo de 1978, según sus modificaciones y la actualización de los precios que se haya producido por el incremento o por otros motivos con las modificaciones, en todas las modalidades de construcción, según las Leyes y Decretos que se aplican.

CERTIFICATION



WORKING DRAWINGS FOR:
 PR-CRP-000437
 RUTA DE LOS TRES SANTOS REYES
 CALLE F DEGETAU # 35
 JUANA DIAZ, PUERTO RICO

DRAWING NAME

EXISTING TREE INVENTORY PLAN
 MATCH LINE 3-3 TO 4-4

SCALE: 1/4" = 1'-0"	ISSUED DATE: MAY 2024
DRAWN BY: EMP. AIT	CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DRAWING NO. LD-105	SHEET NO. 75 OF 125



APPROVED BY:
JORGE L. PÉREZ RUIZ, PE
 Lic. No. 15,863

- CONSULTANTS
1. SURVEY & TOPOGRAPHY | ALBERTO RODRÍGUEZ JR. No. 18,958
 2. CIVIL | JORGE L. PÉREZ RUIZ (Lic. No. 15,863)
 3. ARCHITECTURAL | JORGE L. PÉREZ RUIZ (Lic. No. 15,863)
 4. STRUCTURAL | JOSE CONTRON (Lic. No. 1,908)

NOTE

To: JORGE PEREZ, Licencia No. 15,863, propietario que por su procedimiento, que involucra otros planos y especificaciones complementarias, cambio el programa que incluye que dichos planos y especificaciones cumplan con las disposiciones ambientales del Reglamento Ambiental y Control de Construcción de la ciudad de San Juan, Puerto Rico, y las disposiciones de las leyes y reglamentos de otros municipios que se aplican a las actividades de desarrollo urbano y construcción de edificios en la ciudad de San Juan, Puerto Rico. El uso de los planos de este proyecto en la ciudad de San Juan, Puerto Rico, por la Autoridad Metropolitana de Puerto Rico, con la Ley No. 210 de 19 de mayo de 1978, según enmendada, según cualquier modificación que se promulgue en el futuro, no constituye un reconocimiento o una aprobación por parte de la Autoridad Metropolitana de Puerto Rico de la exactitud o precisión, o por otras personas con las que se relaciona, ni hace responsable de cualquier acción judicial o administrativa por la A.M.P.R.



WORKING DRAWINGS FOR:
 PR-CRP-000437
 RUTA DE LOS TRES SANTOS REYES
 CALLE F DEGETAU # 35
 JUANA DIAZ, PUERTO RICO

DRAWING NAME
 EXISTING TREE INVENTORY PLAN
 MATCH LINE B-B AND 5-5

SCALE: 1/16" = 1'-0"	ISSUED DATE: MAY 2024
DRAWN BY: EMP. AIT	CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DRAWING NO. LD-106	SHEET NO. 76 OF 125

TREE INVENTORY SCHEDULE					
NO.	SCIENTIFIC NAME	COMMON NAME	DBH(")	HEIGHT	CONDITION
1	Tabebuia heterophylla	Roble nativo	5	15	Good
2	Tabebuia heterophylla	Roble nativo	5	15	Good
3	Tabebuia heterophylla	Roble nativo	5	15	Good
4	Phoenix roebelenii	Palma robelini	5	10	Good
5	Phoenix roebelenii	Palma robelini	5	10	Good
6	Tabebuia heterophylla	Roble nativo	5	15	Good
7	Tabebuia heterophylla	Roble nativo	3	15	Good
8	Tabebuia heterophylla	Roble nativo	5	15	Good
9	Calophyllum calaba	Maria	13	25	Good
10	Tabebuia argentea	Roble plateado	15	20	Good
11	Tabebuia heterophylla	Roble nativo	5	15	Good
12	Tabebuia argentea	Roble plateado	15	20	Good
13	Tabebuia heterophylla	Roble nativo	5	15	Good
14	Tabebuia heterophylla	Roble nativo	3	15	Good
15	Tabebuia heterophylla	Roble nativo	5	15	Good
16	Tabebuia heterophylla	Roble nativo	5	15	Good
17	Tabebuia heterophylla	Roble nativo	5	15	Good
18	Tabebuia heterophylla	Roble nativo	5	15	Good
19	Tabebuia argentea	Roble plateado	8	20	Good
20	Tabebuia argentea	Roble plateado	7	15	Good
21	Tabebuia heterophylla	Roble nativo	9	20	Good
22	Tabebuia heterophylla	Roble nativo	9	20	Good
23	Tabebuia heterophylla	Roble nativo	10	20	Good
24	Tabebuia argentea	Roble plateado	6	15	Good
25	Tabebuia heterophylla	Roble nativo	5	15	Good
26	Tabebuia heterophylla	Roble nativo	3	15	Good
27	Tabebuia heterophylla	Roble nativo	4	15	Good
28	Tabebuia heterophylla	Roble nativo	4	15	Good
29	Tabebuia heterophylla	Roble nativo	8	15	Good
30	Tabebuia heterophylla	Roble nativo	5	15	Good
31	Tabebuia heterophylla	Roble nativo	5	15	Good
32	Tabebuia heterophylla	Roble nativo	8	20	Good



EXISTING TREE INVENTORY MATCH LINE B-B AND 5-5
 SCALE: 1/16" = 1'-0"
 0' 10' 20' 30' 40' 50'



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
 LIC. NO. 15,863

- CONSULTANTS
1. SURVEY & TOPOGRAPHY | ALBERTO RODRÍGUEZ LIC. NO. 9185
 2. CIVIL | JORGE L. PÉREZ RUIZ (LIC. NO. 15,863)
 3. ARCHITECTURAL | JORGE L. PÉREZ RUIZ (LIC. NO. 15,863)
 4. STRUCTURAL | JOSE CONTRON (LIC. NO. 1,908)

NOTE
 Yo, JORGE PÉREZ RUIZ, LICENCIADO No. 15,863, CERTIFICO QUE SOY EL PROYECTANTE QUE ELABORÉ ESTOS PLANOS Y LAS REPRESENTACIONES CORRELACIONADAS. TANTO, CERTIFICO QUE ESTERNO QUE DE LOS PLANOS Y REPRESENTACIONES CORRELACIONADAS CON LOS DISEÑOS Y PROYECTOS DEL PROYECTO CONSULTIVO Y COMITÉ DE CONSERVACIÓN DEL PATRIMONIO CULTURAL Y MONUMENTAL DE LA CIUDAD DE SAN JUAN, PARA LA RECONSTRUCCIÓN DE LAS EDIFICACIONES PÚBLICAS CON LA INTERVENCIÓN DEL PATRIMONIO CULTURAL DE ESTO PLANOS Y REPRESENTACIONES DE SU COMPLEJO CON LO DEBERO EN LA FORMA QUE SE INDICA EN LA LEGENDA. ESTOS PLANOS SON ELABORADOS COMO LA FORMA DE REFERENCIA POR LA RECONSTRUCCIÓN DEL COMPLEJO CON LA LEY No. 210 DE 19 DE ABRIL DE 1978, SEGUN SU REDACCION, SEGUN AMPLIACION REVISADA QUE FUE APROBADA POR LA COMISION DE RECONSTRUCCIÓN DE LOS BIENES QUE SE HAN PRODUCIDO POR DESASTRE O IMPROBOS, O POR OTRAS CAUSAS CON LA PARTICIPACION DE LA COMISION DE CONSERVACION DEL PATRIMONIO CULTURAL Y MONUMENTAL DE LA CIUDAD.

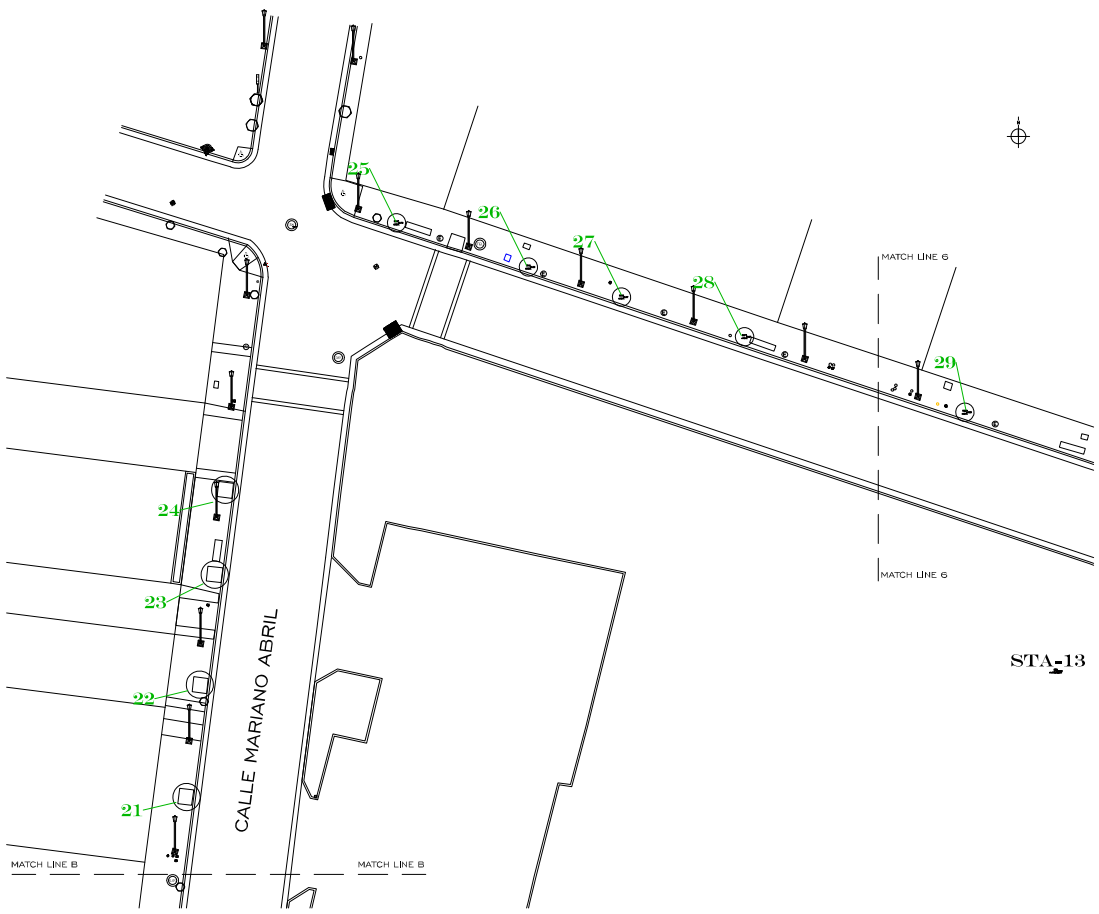


WORKING DRAWINGS FOR:
PR-CRP-000437
ROUTE DE LOS TRES SANTOS REYES
CALLE F. DEGETAU # 35
JUANA DIAZ, PUERTO RICO

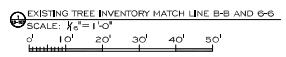
DRAWING NAME
EXISTING TREE INVENTORY PLAN
MATCH LINE B-B
AND G-G

SCALE: 1/16" = 1'-0" BIDDEN DATE: APR 2024
 DRAWN BY: JORGE L. PÉREZ RUIZ, PE
 EMP. AIT: JORGE L. PÉREZ RUIZ, PE

DRAWING NO. **LD-107** SHEET NO. **77** OF **125**



TREE INVENTORY SCHEDULE					
NO.	SCIENTIFIC NAME	COMMON NAME	DBH(")	HEIGHT	CONDITION
1	Tabebuia heterophylla	Roble nativo	5	15	Good
2	Tabebuia heterophylla	Roble nativo	5	15	Good
3	Tabebuia heterophylla	Roble nativo	5	15	Good
4	Phoenix roebelenii	Palma robelini	5	10	Good
5	Phoenix roebelenii	Palma robelini	5	10	Good
6	Tabebuia heterophylla	Roble nativo	5	15	Good
7	Tabebuia heterophylla	Roble nativo	3	15	Good
8	Tabebuia heterophylla	Roble nativo	5	15	Good
9	Calophyllum calaba	Mania	13	25	Good
10	Tabebuia argentea	Roble plateado	15	20	Good
11	Tabebuia heterophylla	Roble nativo	5	15	Good
12	Tabebuia argentea	Roble plateado	15	20	Good
13	Tabebuia heterophylla	Roble nativo	5	15	Good
14	Tabebuia heterophylla	Roble nativo	3	15	Good
15	Tabebuia heterophylla	Roble nativo	5	15	Good
16	Tabebuia heterophylla	Roble nativo	5	15	Good
17	Tabebuia heterophylla	Roble nativo	5	15	Good
18	Tabebuia heterophylla	Roble nativo	5	15	Good
19	Tabebuia argentea	Roble plateado	8	20	Good
20	Tabebuia argentea	Roble plateado	7	15	Good
21	Tabebuia heterophylla	Roble nativo	9	20	Good
22	Tabebuia heterophylla	Roble nativo	9	20	Good
23	Tabebuia heterophylla	Roble nativo	10	20	Good
24	Tabebuia argentea	Roble plateado	6	15	Good
25	Tabebuia heterophylla	Roble nativo	5	15	Good
26	Tabebuia heterophylla	Roble nativo	3	15	Good
27	Tabebuia heterophylla	Roble nativo	4	15	Good
28	Tabebuia heterophylla	Roble nativo	4	15	Good
29	Tabebuia heterophylla	Roble nativo	8	15	Good
30	Tabebuia heterophylla	Roble nativo	5	15	Good
31	Tabebuia heterophylla	Roble nativo	5	15	Good
32	Tabebuia heterophylla	Roble nativo	8	20	Good



STA. 13



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
 Lic. No. 15,863

- CONSULTANTS
1. SURVEY & TOPOGRAPHY | ALBERTO RODRÍGUEZ Lic. No. 19,858
 2. CIVIL | JORGE L. PÉREZ RUIZ (Lic. No. 15,863)
 3. ARCHITECTURAL | JORGE L. PÉREZ RUIZ (Lic. No. 15,863)
 4. STRUCTURAL | JOSE CONTRON (Lic. No. 1,908)

NOTE

Yo, JORGE PEREZ RUIZ, Licencia No. 15,863, certifico que los datos presentados en este informe fueron obtenidos por medio de mediciones y levantamientos topográficos realizados en el terreno con los instrumentos apropiados del momento. Asimismo, certifico que los datos de construcción presentados en este informe fueron obtenidos por medio de la revisión de planos y documentos de construcción de las obras que se indican en el presente. Asimismo, certifico que los datos de estructura de las obras que se indican en el presente fueron obtenidos por medio de la revisión de planos y documentos de construcción de las obras que se indican en el presente. Asimismo, certifico que los datos de estructura de las obras que se indican en el presente fueron obtenidos por medio de la revisión de planos y documentos de construcción de las obras que se indican en el presente.



WORKING DRAWINGS FOR:
 PR-CRP-000437
 RUTA DE LOS TRES SANTOS REYES
 CALLE F DEGETAU # 35
 JUANA DIAZ, PUERTO RICO

DRAWING NAME
 EXISTING TREE INVENTORY PLAN
 MATCH LINE G-6 AND A-A

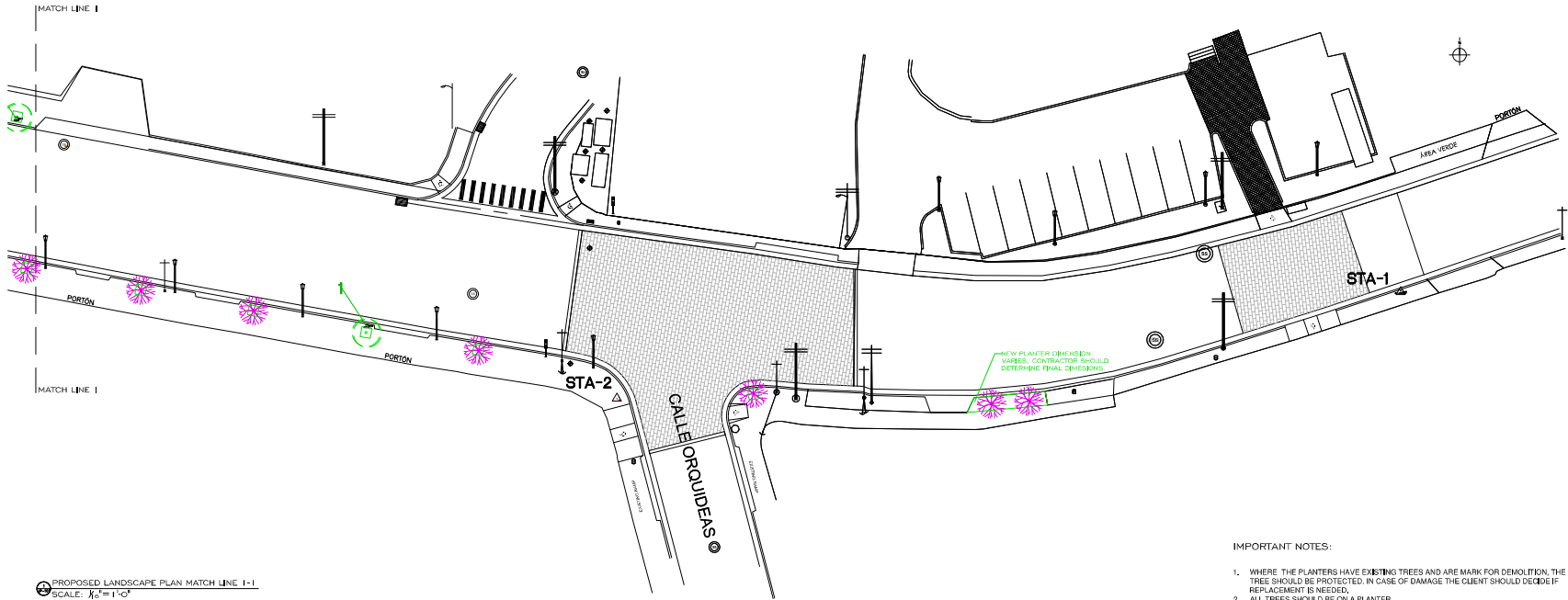
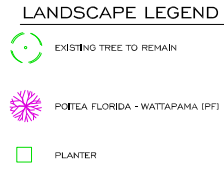
SCALE: 1/16" = 1'-0"
 DRAWN BY: EMP. AIT
 CHECKED BY: JORGE L. PÉREZ RUIZ, PE
 DRAWING NO. LD-108
 SHEET NO. 78 OF 125

TREE INVENTORY SCHEDULE					
NO.	SCIENTIFIC NAME	COMMON NAME	DBH(")	HEIGHT	CONDITION
1	Tabebuia heterophylla	Roble nativo	5	15	Good
2	Tabebuia heterophylla	Roble nativo	5	15	Good
3	Tabebuia heterophylla	Roble nativo	5	15	Good
4	Phoenix roebelenii	Palma robelini	5	10	Good
5	Phoenix roebelenii	Palma robelini	5	10	Good
6	Tabebuia heterophylla	Roble nativo	5	15	Good
7	Tabebuia heterophylla	Roble nativo	3	15	Good
8	Tabebuia heterophylla	Roble nativo	5	15	Good
9	Calophyllum calaba	Maria	13	25	Good
10	Tabebuia argentea	Roble plateado	15	20	Good
11	Tabebuia heterophylla	Roble nativo	5	15	Good
12	Tabebuia argentea	Roble plateado	15	20	Good
13	Tabebuia heterophylla	Roble nativo	5	15	Good
14	Tabebuia heterophylla	Roble nativo	3	15	Good
15	Tabebuia heterophylla	Roble nativo	5	15	Good
16	Tabebuia heterophylla	Roble nativo	5	15	Good
17	Tabebuia heterophylla	Roble nativo	5	15	Good
18	Tabebuia heterophylla	Roble nativo	5	15	Good
19	Tabebuia argentea	Roble plateado	8	20	Good
20	Tabebuia argentea	Roble plateado	7	15	Good
21	Tabebuia heterophylla	Roble nativo	9	20	Good
22	Tabebuia heterophylla	Roble nativo	9	20	Good
23	Tabebuia heterophylla	Roble nativo	10	20	Good
24	Tabebuia argentea	Roble plateado	6	15	Good
25	Tabebuia heterophylla	Roble nativo	5	15	Good
26	Tabebuia heterophylla	Roble nativo	3	15	Good
27	Tabebuia heterophylla	Roble nativo	4	15	Good
28	Tabebuia heterophylla	Roble nativo	4	15	Good
29	Tabebuia heterophylla	Roble nativo	8	15	Good
30	Tabebuia heterophylla	Roble nativo	5	15	Good
31	Tabebuia heterophylla	Roble nativo	5	15	Good
32	Tabebuia heterophylla	Roble nativo	8	20	Good



EXISTING TREE INVENTORY MATCH LINE G-6 AND A-A
 SCALE: 1/16" = 1'-0"
 0' 10' 20' 30' 40' 50'

TREE INVENTORY SCHEDULE					
NO.	SCIENTIFIC NAME	COMMON NAME	DBH(")	HEIGHT	CONDITION
1	Tabebuia heterophylla	Roble nativo	5	15	Good
2	Tabebuia heterophylla	Roble nativo	5	15	Good
3	Tabebuia heterophylla	Roble nativo	5	15	Good
4	Phoenix roebelenii	Palma robelini	5	10	Good
5	Phoenix roebelenii	Palma robelini	5	10	Good
6	Tabebuia heterophylla	Roble nativo	5	15	Good
7	Tabebuia heterophylla	Roble nativo	3	15	Good
8	Tabebuia heterophylla	Roble nativo	5	15	Good
9	Calophyllum calaba	Maria	13	25	Good
10	Tabebuia argentea	Roble plateado	15	20	Good
11	Tabebuia heterophylla	Roble nativo	5	15	Good
12	Tabebuia argentea	Roble plateado	15	20	Good
13	Tabebuia heterophylla	Roble nativo	5	15	Good
14	Tabebuia heterophylla	Roble nativo	3	15	Good
15	Tabebuia heterophylla	Roble nativo	5	15	Good
16	Tabebuia heterophylla	Roble nativo	5	15	Good
17	Tabebuia heterophylla	Roble nativo	5	15	Good
18	Tabebuia heterophylla	Roble nativo	5	15	Good
19	Tabebuia argentea	Roble plateado	8	20	Good
20	Tabebuia argentea	Roble plateado	7	15	Good
21	Tabebuia heterophylla	Roble nativo	9	20	Good
22	Tabebuia heterophylla	Roble nativo	9	20	Good
23	Tabebuia heterophylla	Roble nativo	10	20	Good
24	Tabebuia argentea	Roble plateado	6	15	Good
25	Tabebuia heterophylla	Roble nativo	5	15	Good
26	Tabebuia heterophylla	Roble nativo	3	15	Good
27	Tabebuia heterophylla	Roble nativo	4	15	Good
28	Tabebuia heterophylla	Roble nativo	4	15	Good
29	Tabebuia heterophylla	Roble nativo	8	15	Good
30	Tabebuia heterophylla	Roble nativo	5	15	Good
31	Tabebuia heterophylla	Roble nativo	5	15	Good
32	Tabebuia heterophylla	Roble nativo	8	20	Good



PROPOSED LANDSCAPE PLAN MATCH LINE 1-1
 SCALE: 1/4" = 1'-0"
 1' 0" 2' 0" 3' 0" 4' 0" 5' 0"

- IMPORTANT NOTES:**
- WHERE THE PLANTERS HAVE EXISTING TREES AND ARE MARK FOR DEMOLITION, THE TREE SHOULD BE PROTECTED. IN CASE OF DAMAGE THE CLIENT SHOULD DECIDE IF REPLACEMENT IS NEEDED.
 - ALL TREES SHOULD BE ON A PLANTER.
 - NEW PLANTERS TYPICAL DIMENSIONS 3'X3'. VARY IF NECESSARY.
 - IN CASE A TREE IS IN FRONT OF AN EMBRACE SLOPE, RELOCATE.
 - THE CONTRACTOR SHALL USE TYPICAL CONSTRUCTION OF EXISTING PLANTERS.



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
 LIC. NO. 15,863

- CONSULTANTS
- SURVEY & TOPOGRAPHY | ALBERTO RODRÍGUEZ ELA, No. 15,805
 - CIVIL | JORGE L. PÉREZ RUIZ, No. 15,863
 - ARCHITECTURAL | JORGE L. PÉREZ RUIZ, No. 15,863
 - STRUCTURAL | JOSE CINTRON, No. 1,508

NOTE
 Yo, JORGE PÉREZ RUIZ, Licencia No. 15,863, certifico que soy un profesional que emitió estos planos y las especificaciones complementarias. También certifico que emité los planos de acuerdo a las normas vigentes de la industria y de acuerdo a las especificaciones de la obra. Yo, JORGE PÉREZ RUIZ, Licencia No. 15,863, certifico que soy un profesional que emité estos planos y las especificaciones de la obra. Yo, JORGE PÉREZ RUIZ, Licencia No. 15,863, certifico que soy un profesional que emité estos planos y las especificaciones de la obra. Yo, JORGE PÉREZ RUIZ, Licencia No. 15,863, certifico que soy un profesional que emité estos planos y las especificaciones de la obra.



WORKING DRAWINGS FOR:
 PRCRF-00437
 RUTA DE LOS TRES SANTOS REYES
 CALLE F DEGETAU # 35
 JUANA DIAZ, PUERTO RICO

DRAWING NAME
PROPOSED LANDSCAPE SITE PLAN MATCH LINE 1-1

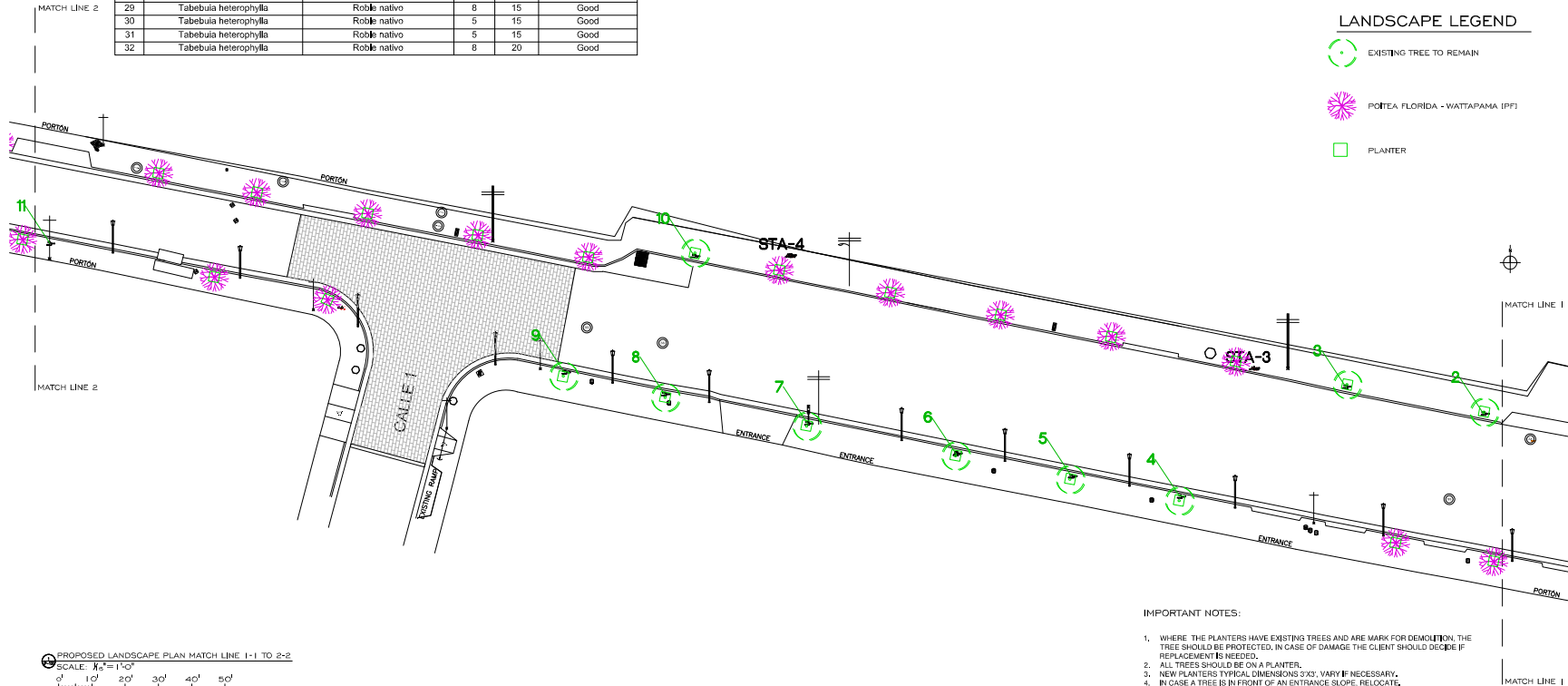
SCALE: 1/4" = 1'-0"	ISSUED DATE: JUN 2024
DRAWN BY: EMP, AT	CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DRAWING NO. LP-101	SHEET NO. 79 OF 125

TREE INVENTORY SCHEDULE

NO.	SCIENTIFIC NAME	COMMON NAME	DBH(")	HEIGHT	CONDITION
1	Tabebuia heterophylla	Roble nativo	5	15	Good
2	Tabebuia heterophylla	Roble nativo	5	15	Good
3	Tabebuia heterophylla	Roble nativo	5	15	Good
4	Phoenix roebelenii	Palma robellini	5	10	Good
5	Phoenix roebelenii	Palma robellini	5	10	Good
6	Tabebuia heterophylla	Roble nativo	5	15	Good
7	Tabebuia heterophylla	Roble nativo	3	15	Good
8	Tabebuia heterophylla	Roble nativo	5	15	Good
9	Calophyllum calaba	María	13	25	Good
10	Tabebuia argentea	Roble plateado	15	20	Good
11	Tabebuia heterophylla	Roble nativo	5	15	Good
12	Tabebuia argentea	Roble plateado	15	20	Good
13	Tabebuia heterophylla	Roble nativo	5	15	Good
14	Tabebuia heterophylla	Roble nativo	3	15	Good
15	Tabebuia heterophylla	Roble nativo	5	15	Good
16	Tabebuia heterophylla	Roble nativo	5	15	Good
17	Tabebuia heterophylla	Roble nativo	5	15	Good
18	Tabebuia heterophylla	Roble nativo	5	15	Good
19	Tabebuia argentea	Roble plateado	8	20	Good
20	Tabebuia argentea	Roble plateado	7	15	Good
21	Tabebuia heterophylla	Roble nativo	9	20	Good
22	Tabebuia heterophylla	Roble nativo	9	20	Good
23	Tabebuia heterophylla	Roble nativo	10	20	Good
24	Tabebuia argentea	Roble plateado	6	15	Good
25	Tabebuia heterophylla	Roble nativo	5	15	Good
26	Tabebuia heterophylla	Roble nativo	3	15	Good
27	Tabebuia heterophylla	Roble nativo	4	15	Good
28	Tabebuia heterophylla	Roble nativo	4	15	Good
29	Tabebuia heterophylla	Roble nativo	8	15	Good
30	Tabebuia heterophylla	Roble nativo	5	15	Good
31	Tabebuia heterophylla	Roble nativo	5	15	Good
32	Tabebuia heterophylla	Roble nativo	8	20	Good

LANDSCAPE LEGEND

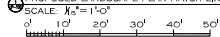
-  EXISTING TREE TO REMAIN
-  POITEA FLORIDA - WATTAPAMA (PF)
-  PLANTER



IMPORTANT NOTES:

- WHERE THE PLANTERS HAVE EXISTING TREES AND ARE MARK FOR DEMOLITION, THE TREE SHOULD BE PROTECTED, IN CASE OF DAMAGE THE CLIENT SHOULD DECIDE IF REPLACEMENT IS NEEDED.
- ALL TREES SHOULD BE ON A PLANTER.
- NEW PLANTERS TYPICAL DIMENSIONS 5'X2', VARY IF NECESSARY.
- IN CASE A TREE IS IN FRONT OF AN ENTRANCE, RELOCATE.
- THE CONTRACTOR SHALL USE TYPICAL CONSTRUCTION OF EXISTING PLANTERS.

PROPOSED LANDSCAPE PLAN MATCH LINE 1-1 TO 2-2



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
 LIC. NO. 15,863

- CONSULTANTS
- SURVEY & TOPOGRAPHY | ALBERTO RODRÍGUEZ ELA, No. 15,805
 - CIVIL | JORGE L. PÉREZ RUIZ, No. 15,863
 - ARCHITECTURAL | JORGE L. PÉREZ RUIZ, No. 15,863
 - STRUCTURAL | JOSE CONTRON, No. 15,908

NOTE

Yo, JORGE LUIS PEREZ RUIZ, Licencia No. 15,863, certifico que soy el profesional que elaboré estos planos y las especificaciones complementarias. Todos los trabajos que se realizaron en el terreno de construcción fueron ejecutados con las especificaciones aprobadas por el organismo competente y con el cumplimiento de las normas de la práctica profesional. Asimismo, certifico que en la elaboración de estos planos y especificaciones de la obra se cumplió con lo dispuesto en la Ley de la Ingeniería Profesional, No. 15,863, de 1978, y en el Reglamento de la Ley de la Ingeniería Profesional, No. 15,863, de 1978, según fuere aplicable. Asimismo, certifico que los planos que se han producido por el presente no fueron alterados en forma alguna, ni en su contenido, ni en sus especificaciones de construcción, ni en sus detalles, ni en sus condiciones de ejecución.



CERTIFICATION

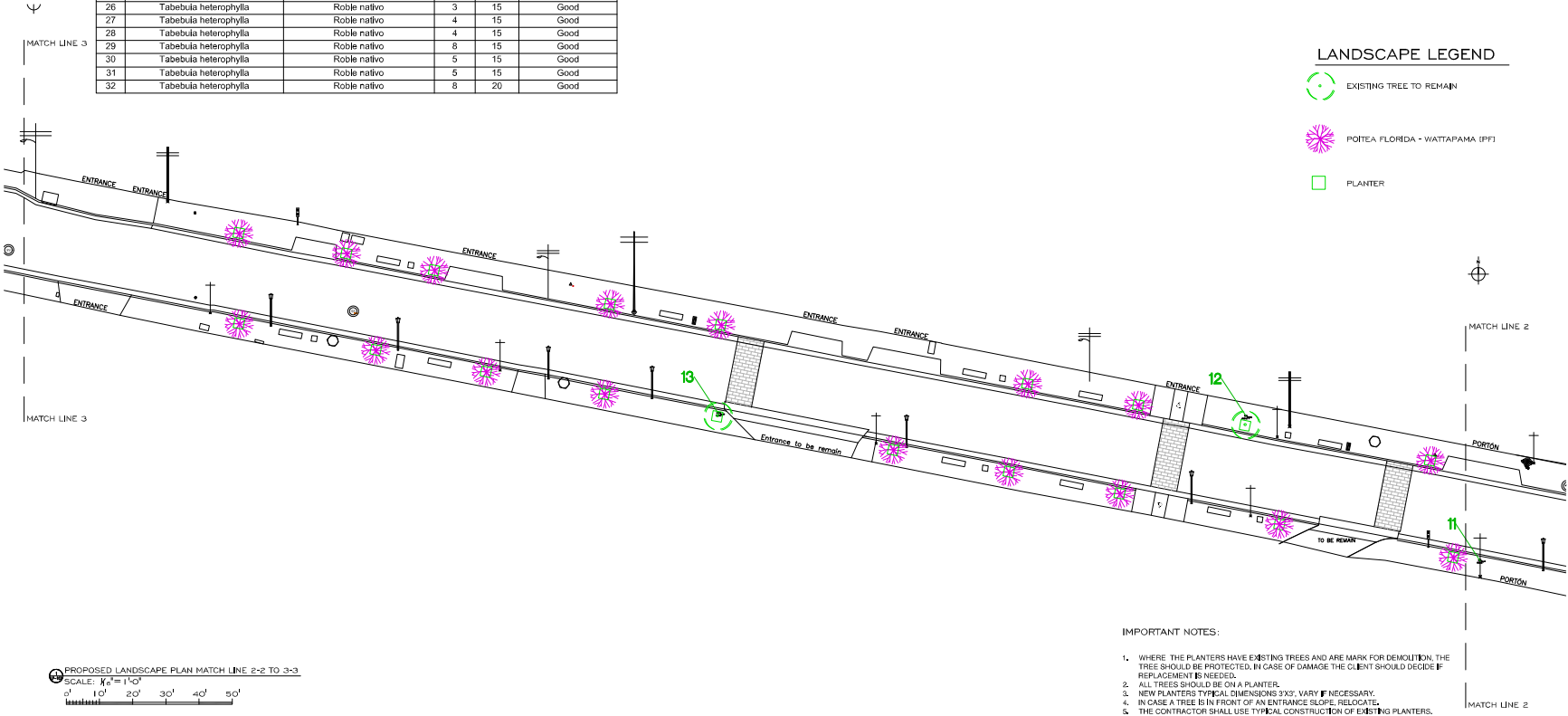
WORKING DRAWINGS FOR:
 PR-CRP-000437
 RUTA DE LOS TRES SANTOS REYES
 CALLE F DEGETAU # 35
 JUANA DIAZ, PUERTO RICO

DRAWING NAME
 PROPOSED LANDSCAPE
 SITE PLAN MATCH LINE
 1-1 TO 2-2




SCALE: 1/4" = 1'-0" BIDDEN DATE: JUN 2024
 DRAWN BY: EMP. AIT CHECKED BY: JORGE L. PÉREZ RUIZ, PE

DRAWING NO. LP-102 SHEET NO. 80 OF 125

TREE INVENTORY SCHEDULE					
NO.	SCIENTIFIC NAME	COMMON NAME	DBH(")	HEIGHT	CONDITION
1	Tabebuia heterophylla	Roble nativo	5	15	Good
2	Tabebuia heterophylla	Roble nativo	5	15	Good
3	Tabebuia heterophylla	Roble nativo	5	15	Good
4	Phoenix roebelenii	Palma roselini	5	10	Good
5	Phoenix roebelenii	Palma roselini	5	10	Good
6	Tabebuia heterophylla	Roble nativo	5	15	Good
7	Tabebuia heterophylla	Roble nativo	3	15	Good
8	Tabebuia heterophylla	Roble nativo	5	15	Good
9	Calophyllum calaba	Maria	13	25	Good
10	Tabebuia argentea	Roble plateado	15	20	Good
11	Tabebuia heterophylla	Roble nativo	5	15	Good
12	Tabebuia argentea	Roble plateado	15	20	Good
13	Tabebuia heterophylla	Roble nativo	5	15	Good
14	Tabebuia heterophylla	Roble nativo	3	15	Good
15	Tabebuia heterophylla	Roble nativo	5	15	Good
16	Tabebuia heterophylla	Roble nativo	5	15	Good
17	Tabebuia heterophylla	Roble nativo	5	15	Good
18	Tabebuia heterophylla	Roble nativo	5	15	Good
19	Tabebuia argentea	Roble plateado	8	20	Good
20	Tabebuia argentea	Roble plateado	7	15	Good
21	Tabebuia heterophylla	Roble nativo	9	20	Good
22	Tabebuia heterophylla	Roble nativo	9	20	Good
23	Tabebuia heterophylla	Roble nativo	10	20	Good
24	Tabebuia argentea	Roble plateado	6	15	Good
25	Tabebuia heterophylla	Roble nativo	5	15	Good
26	Tabebuia heterophylla	Roble nativo	3	15	Good
27	Tabebuia heterophylla	Roble nativo	4	15	Good
28	Tabebuia heterophylla	Roble nativo	4	15	Good
29	Tabebuia heterophylla	Roble nativo	8	15	Good
30	Tabebuia heterophylla	Roble nativo	5	15	Good
31	Tabebuia heterophylla	Roble nativo	5	15	Good
32	Tabebuia heterophylla	Roble nativo	8	20	Good




LANDSCAPE LEGEND

-  EXISTING TREE TO REMAIN
-  POTEA FLORIDA - WATTAPAMA (PF)
-  PLANTER

- IMPORTANT NOTES:**
- WHERE THE PLANTERS HAVE EXISTING TREES AND ARE MARK FOR DEMOLITION, THE TREE SHOULD BE PROTECTED. IN CASE OF DAMAGE THE CLIENT SHOULD DECIDE IF REPLACEMENT IS NEEDED.
 - ALL TREES SHOULD BE ON A PLANTER.
 - NEW PLANTERS TYPICAL DIMENSIONS 3'X3', VARY IF NECESSARY.
 - IN CASE A TREE IS IN FRONT OF AN ENTRANCE SLOPE, RELOCATE.
 - THE CONTRACTOR SHALL USE TYPICAL CONSTRUCTION OF EXISTING PLANTERS.


PROPOSED LANDSCAPE PLAN MATCH LINE 2-2 TO 3-3
 SCALE: 1/4" = 1'-0"
 0' 10' 20' 30' 40' 50'



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
 LIC. NO. 15,863

CONSULTANTS
 1. SURVEY & TOPOGRAPHY | ALBERTO RODRÍGUEZ (LIC. NO. 15,805)
 2. CIVIL | JORGE L. PÉREZ RUIZ (LIC. NO. 15,863)
 3. ARCHITECTURAL | JORGE L. PÉREZ RUIZ (LIC. NO. 15,863)
 4. STRUCTURAL | JOSE CONTRON (LIC. NO. 1,508)

NOTE
 Yo, JORGE L. PÉREZ RUIZ, LICENCIADO EN INGENIERÍA CIVIL, CERTIFICADO EN EL REGISTRO DE INGENIEROS QUE SE ENCUENTRA EN LA CIUDAD DE PUERTO RICO, CERTIFICADO QUE ESTABLECE QUE DEBOY FIRMAR EN NOMBRE MÍO COMO UN REPRESENTANTE IMPROBADO DEL PROYECTO CONSULTANT Y COMITÉ DE CONDUCTORES EN NOMBRE DE LA EMPRESA, JUNTO CON LOS INGENIEROS O SUPERVISORES EN LA OBRERA CON JURISDICCIONES CORRESPONDIENTES DE LA OBRERA CON LO DEBEREMOS EN LA OBRERA. EL QUE EN EL MOMENTO DE ESTOY FIRMANDO CONSIDERO COMO LA PARTE DE LA OBRERA POR LA QUE ESTOY FIRMANDO EN NOMBRE MÍO, CON LA FIRMADA DE 21 DE FEBRERO DE 2024, SEGUN EL ARTICULO 17 DE LA LEY DE 1978, SEGUN ENMIENDA, SEGUN AMPLIACION REVISADA QUE ESTABLECE QUE SIEMPRE DEBEREMOS EN NOMBRE MÍO EN LA OBRERA DE LOS HECHOS QUE SE HAYAN PRODUCIDO POR RESPONSABILIDAD O POR NEGLIGENCIA O SIN PERMISO DEL AGENTE O EMPLEADO, O POR OTRA PERSONA CON UN CONOCIMIENTO, SE HAYAN INCURRIDO EN CONDUCTA IMPROBADA, Y ASUMIR POR MI PARTE.

CERTIFICATION

WORKING DRAWINGS FOR:
 PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
CALLE F DEGETAU # 35
JUANA DIAZ, PUERTO RICO

DRAWING NAME
PROPOSED LANDSCAPE SITE PLAN MATCH LINE 2-2 TO 3-3

SCALE: 1/4" = 1'-0"	ISSUED DATE: 03/20/24
DRAWN BY: EMP., AIT	CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DRAWING NO. LP-103	SHEET NO. 81 OF 125

TREE INVENTORY SCHEDULE					
NO.	SCIENTIFIC NAME	COMMON NAME	DBH(")	HEIGHT	CONDITION
1	Tabebuia heterophylla	Roble nativo	5	15	Good
2	Tabebuia heterophylla	Roble nativo	5	15	Good
3	Tabebuia heterophylla	Roble nativo	5	15	Good
4	Phoenix roebelenii	Palma robelini	5	10	Good
5	Phoenix roebelenii	Palma robelini	5	10	Good
6	Tabebuia heterophylla	Roble nativo	5	15	Good
7	Tabebuia heterophylla	Roble nativo	3	15	Good
8	Tabebuia heterophylla	Roble nativo	5	15	Good
9	Calophyllum cadaba	María	13	25	Good
10	Tabebuia argentea	Roble plateado	15	20	Good
11	Tabebuia heterophylla	Roble nativo	5	15	Good
12	Tabebuia argentea	Roble plateado	15	20	Good
13	Tabebuia heterophylla	Roble nativo	5	15	Good
14	Tabebuia heterophylla	Roble nativo	3	15	Good
15	Tabebuia heterophylla	Roble nativo	5	15	Good
16	Tabebuia heterophylla	Roble nativo	5	15	Good
17	Tabebuia heterophylla	Roble nativo	5	15	Good
18	Tabebuia heterophylla	Roble nativo	5	15	Good
19	Tabebuia argentea	Roble plateado	8	20	Good
20	Tabebuia argentea	Roble plateado	7	15	Good
21	Tabebuia heterophylla	Roble nativo	9	20	Good
22	Tabebuia heterophylla	Roble nativo	9	20	Good
23	Tabebuia heterophylla	Roble nativo	10	20	Good
24	Tabebuia argentea	Roble plateado	6	15	Good
25	Tabebuia heterophylla	Roble nativo	5	15	Good
26	Tabebuia heterophylla	Roble nativo	3	15	Good
27	Tabebuia heterophylla	Roble nativo	4	15	Good
28	Tabebuia heterophylla	Roble nativo	4	15	Good
29	Tabebuia heterophylla	Roble nativo	8	15	Good
30	Tabebuia heterophylla	Roble nativo	5	15	Good
31	Tabebuia heterophylla	Roble nativo	5	15	Good
32	Tabebuia heterophylla	Roble nativo	8	20	Good



IMPORTANT NOTES:

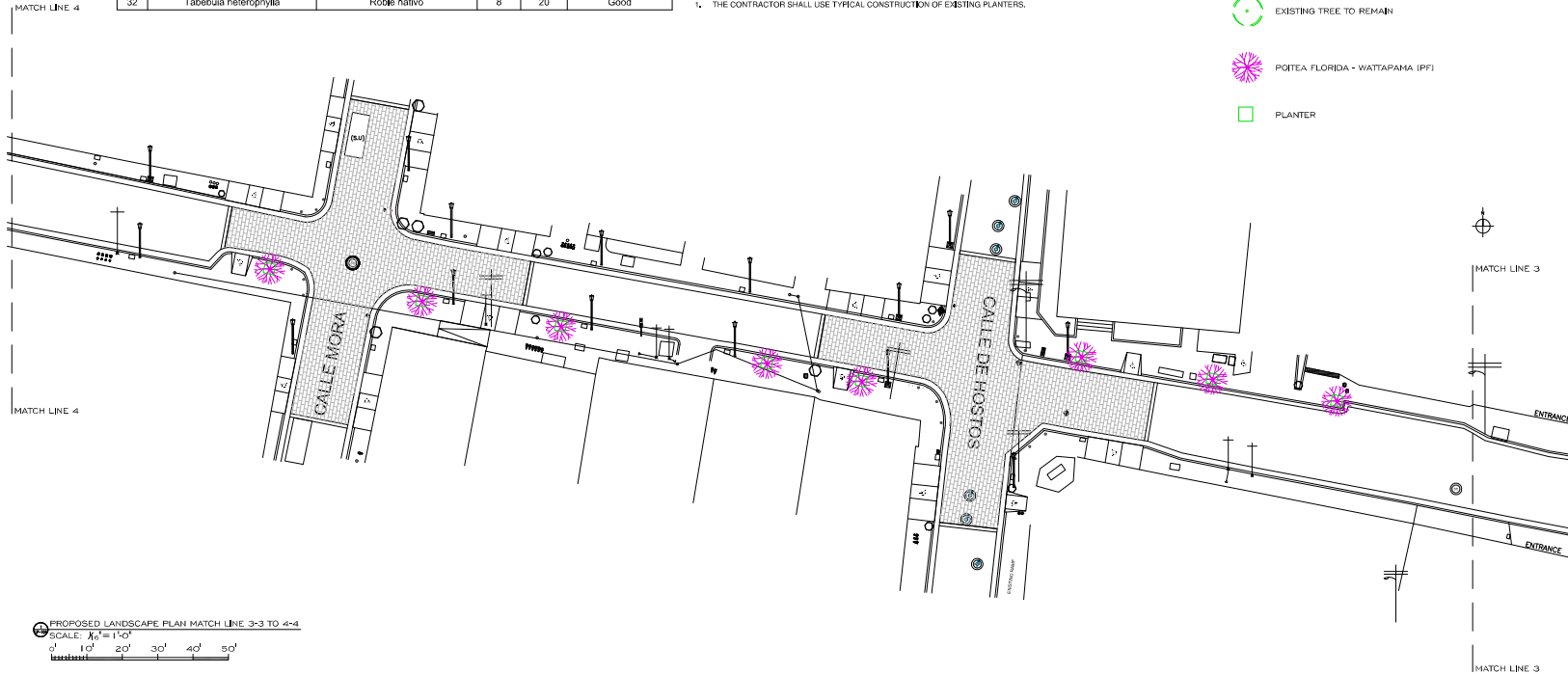
1. WHERE THE PLANTERS HAVE EXISTING TREES AND ARE MARK FOR DEMOLITION, THE TREE SHOULD BE PROTECTED. IN CASE OF DAMAGE THE CLIENT SHOULD DECIDE IF REPLACEMENT IS NEEDED.
2. ALL TREES SHOULD BE ON A PLANTER.
3. NEW PLANTERS TYPICAL DIMENSIONS 9'X3, VARY IF NECESSARY.
4. IN CASE A TREE IS IN FRONT OF AN ENTRANCE SLOPE, RELOCATE.
5. THE CONTRACTOR SHALL USE TYPICAL CONSTRUCTION OF EXISTING PLANTERS.

IMPORTANT NOTES:

1. THE CONTRACTOR SHALL USE TYPICAL CONSTRUCTION OF EXISTING PLANTERS.

LANDSCAPE LEGEND

-  EXISTING TREE TO REMAIN
-  POITEA FLORIDA - WATTAPAMA (PF)
-  PLANTER



PROPOSED LANDSCAPE PLAN MATCH LINE 3-3 TO 4-4
 SCALE: 1/4" = 1'-0"
 0' 10' 20' 30' 40' 50'



APPROVED BY:
 JORGE L. PÉREZ RUIZ, PE
 LIC. NO. 15,863

CONSULTANTS:
 1. SURVEY & TOPOGRAPHY | ALBERTO RODRÍGUEZ (LIC. NO. 15,805)
 2. CIVIL | JORGE L. PÉREZ RUIZ (LIC. NO. 15,863)
 3. ARCHITECTURAL | JORGE L. PÉREZ RUIZ (LIC. NO. 15,863)
 4. STRUCTURAL | JOSE CONTRON (LIC. NO. 15,908)

NOTE:
 Yo, Jorge Pérez Ruiz, Licencia No. 15,863, certifico que soy el profesional que emitió estos planos y las especificaciones complementarias. Tengo conciencia que emitió los planos y especificaciones con los conocimientos, habilidades, experiencia y recursos suficientes para la realización de estos planos y especificaciones. En caso de haberse producido algún cambio, cambio, error, que en la preparación de estos planos y especificaciones de mi campo con lo dispuesto en la ley, es de mi responsabilidad. Soy consciente como la Ley para la Protección del Medio Ambiente, Decreto No. 210 de 1978, según enmendado, según artículo 10 de dicho Decreto, que establece que el profesional responsable de los planos que se han producido por el profesional o por terceros, es el profesional que los emite, o por otros personas con su consentimiento, me hago responsable de cualquier acción judicial, y respondo por la ley.



WORKING DRAWINGS FOR:
 PR-CRP-000437
 RUTA DE LOS TRES SANTOS REYES
 CALLE F DEGETAU # 35
 JUANA DIAZ, PUERTO RICO

DRAWING NAME:
 PROPOSED LANDSCAPE
 SITE PLAN MATCH LINE
 3-3 TO 4-4

SCALE: 1/4" = 1'-0" BIDDEN DATE: JUN 2024
 DRAWN BY: JORGE L. PÉREZ RUIZ, PE CHECKED BY:

DRAWING NO. LP-104 SHEET NO. 82 OF 125



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
 LIC. NO. 15,863

- CONSULTANTS
1. SURVEY & TOPOGRAPHY | ALBERTO RODRIGUEZ LLC, No. 15,805
 2. CIVIL | JORGE L. PÉREZ RUIZ, No. 15,863
 3. ARCHITECTURAL | JORGE L. PÉREZ RUIZ, No. 15,863
 4. STRUCTURAL | JOSE CONTRON, No. 15,008

NOTE

Yo, Jorge Pérez Ruiz, Licencia No. 15,863, certifico que soy un profesional que he realizado estos planos y especificaciones complementando todos los requisitos que establece el Código de Construcción Municipal de Puerto Rico y el Código de Construcción Municipal de la ciudad de San Juan, y que he cumplido con las disposiciones aplicables del Reglamento de Construcción Municipal de la ciudad de San Juan y del Código de Construcción Municipal de Puerto Rico, así como con las disposiciones de los departamentos de la ciudad de San Juan y del Departamento de Obras Públicas y de Recursos Humanos de Puerto Rico, y que he cumplido con lo dispuesto en la Ley Núm. 177 de 1978, según enmendada, y con el Título 210 de los Reglamentos de Obras Públicas de Puerto Rico, y que he cumplido con la Ley Núm. 177 de 1978, según enmendada, y con el Título 210 de los Reglamentos de Obras Públicas de Puerto Rico, y que he cumplido con lo dispuesto en la Ley Núm. 177 de 1978, según enmendada, y con el Título 210 de los Reglamentos de Obras Públicas de Puerto Rico, y que he cumplido con lo dispuesto en la Ley Núm. 177 de 1978, según enmendada, y con el Título 210 de los Reglamentos de Obras Públicas de Puerto Rico.

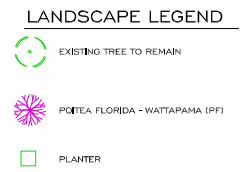


WORKING DRAWINGS FOR:
 PR-CRP-000437
 RUTA DE LOS TRES SANTOS REYES
 CALLE F DEGETAU # 35
 JUANA DIAZ, PUERTO RICO

DRAWING NAME
PROPOSED LANDSCAPE SITE PLAN MATCH LINE B-B AND 5-5

SCALE: 1/16" = 1'-0"	ISSUED DATE: JUN 2024
DRAWN BY: EMP. AIT	CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DRAWING NO. LP-106	SHEET NO. 84 OF 125

TREE INVENTORY SCHEDULE					
NO.	SCIENTIFIC NAME	COMMON NAME	DBH(")	HEIGHT	CONDITION
1	Tabebuia heterophylla	Roble nativo	5	15	Good
2	Tabebuia heterophylla	Roble nativo	5	15	Good
3	Tabebuia heterophylla	Roble nativo	5	15	Good
4	Phoenix roebelenii	Palma robelini	5	10	Good
5	Phoenix roebelenii	Palma robelini	5	10	Good
6	Tabebuia heterophylla	Roble nativo	5	15	Good
7	Tabebuia heterophylla	Roble nativo	3	15	Good
8	Tabebuia heterophylla	Roble nativo	5	15	Good
9	Calophyllum colaba	Marta	13	25	Good
10	Tabebuia argentea	Roble plateado	15	20	Good
11	Tabebuia heterophylla	Roble nativo	5	15	Good
12	Tabebuia argentea	Roble plateado	15	20	Good
13	Tabebuia heterophylla	Roble nativo	5	15	Good
14	Tabebuia heterophylla	Roble nativo	3	15	Good
15	Tabebuia heterophylla	Roble nativo	5	15	Good
16	Tabebuia heterophylla	Roble nativo	5	15	Good
17	Tabebuia heterophylla	Roble nativo	5	15	Good
18	Tabebuia heterophylla	Roble nativo	5	15	Good
19	Tabebuia argentea	Roble plateado	8	20	Good
20	Tabebuia argentea	Roble plateado	7	15	Good
21	Tabebuia heterophylla	Roble nativo	9	20	Good
22	Tabebuia heterophylla	Roble nativo	9	20	Good
23	Tabebuia heterophylla	Roble nativo	10	20	Good
24	Tabebuia argentea	Roble plateado	6	15	Good
25	Tabebuia heterophylla	Roble nativo	5	15	Good
26	Tabebuia heterophylla	Roble nativo	3	15	Good
27	Tabebuia heterophylla	Roble nativo	4	15	Good
28	Tabebuia heterophylla	Roble nativo	4	15	Good
29	Tabebuia heterophylla	Roble nativo	8	15	Good
30	Tabebuia heterophylla	Roble nativo	5	15	Good
31	Tabebuia heterophylla	Roble nativo	5	15	Good
32	Tabebuia heterophylla	Roble nativo	8	20	Good



- IMPORTANT NOTES:
1. WHERE THE PLANTERS HAVE EXISTING TREES AND ARE MARK FOR DEMOLITION, THE TREE SHOULD BE PROTECTED, IN CASE OF DAMAGE THE CLIENT SHOULD DECIDE IF REPLACEMENT IS NEEDED.
 2. ALL TREES SHOULD BE ON A PLANTER.
 3. NEW PLANTERS TYPICAL DIMENSIONS 3'X3' VARY IF NECESSARY.
 4. IN CASE A TREE IS IN FRONT OF AN ENTRANCE SLIPS, RELOCATE.
 5. THE CONTRACTOR SHALL USE TYPICAL CONSTRUCTION OF EXISTING PLANTERS.

PROPOSED LANDSCAPE PLAN MATCH LINE B-B AND 5-5
 SCALE: 1/16" = 1'-0"
 0' 10' 20' 30' 40' 50'



PROPOSED LANDSCAPE PLAN MATCH LINE B-6 AND 6-6
 SCALE: 1/8" = 1'-0"
 0' 10' 20' 30' 40' 50'

TREE INVENTORY SCHEDULE					
NO.	SCIENTIFIC NAME	COMMON NAME	DBH(")	HEIGHT	CONDITION
1	Tabebuia heterophylla	Roble nativo	5	15	Good
2	Tabebuia heterophylla	Roble nativo	5	15	Good
3	Tabebuia heterophylla	Roble nativo	5	15	Good
4	Phoenix roebelinii	Palma robelini	5	10	Good
5	Phoenix roebelinii	Palma robelini	5	10	Good
6	Tabebuia heterophylla	Roble nativo	5	15	Good
7	Tabebuia heterophylla	Roble nativo	3	15	Good
8	Tabebuia heterophylla	Roble nativo	5	15	Good
9	Calophyllum calaba	Maria	13	25	Good
10	Tabebuia argentea	Roble plateado	15	20	Good
11	Tabebuia heterophylla	Roble nativo	5	15	Good
12	Tabebuia argentea	Roble plateado	15	20	Good
13	Tabebuia heterophylla	Roble nativo	5	15	Good
14	Tabebuia heterophylla	Roble nativo	3	15	Good
15	Tabebuia heterophylla	Roble nativo	5	15	Good
16	Tabebuia heterophylla	Roble nativo	5	15	Good
17	Tabebuia heterophylla	Roble nativo	5	15	Good
18	Tabebuia heterophylla	Roble nativo	5	15	Good
19	Tabebuia argentea	Roble plateado	8	20	Good
20	Tabebuia argentea	Roble plateado	7	15	Good
21	Tabebuia heterophylla	Roble nativo	9	20	Good
22	Tabebuia heterophylla	Roble nativo	9	20	Good
23	Tabebuia heterophylla	Roble nativo	10	20	Good
24	Tabebuia argentea	Roble plateado	6	15	Good
25	Tabebuia heterophylla	Roble nativo	5	15	Good
26	Tabebuia heterophylla	Roble nativo	3	15	Good
27	Tabebuia heterophylla	Roble nativo	4	15	Good
28	Tabebuia heterophylla	Roble nativo	4	15	Good
29	Tabebuia heterophylla	Roble nativo	8	15	Good
30	Tabebuia heterophylla	Roble nativo	5	15	Good
31	Tabebuia heterophylla	Roble nativo	5	15	Good
32	Tabebuia heterophylla	Roble nativo	8	20	Good

LANDSCAPE LEGEND

- EXISTING TREE TO REMAIN
- POTEA FLORIDA - WATTAPAMA (PF)
- PLANTER

IMPORTANT NOTES:

1. WHERE THE PLANTERS HAVE EXISTING TREES AND ARE MARK FOR DEMOLITION, THE TREE SHOULD BE PROTECTED. IN CASE OF DAMAGE THE CLIENT SHOULD DECIDE IF REPLACEMENT IS NEEDED.
2. ALL TREES SHOULD BE ON A PLANTER.
3. NEW PLANTERS TYPICAL DIMENSIONS 3'X3'. VARY IF NECESSARY.
4. IN CASE A TREE IS IN FRONT OF AN ENTRANCE SLOPE, RELOCATE.
5. THE CONTRACTOR SHALL USE TYPICAL CONSTRUCTION OF EXISTING PLANTERS.



APPROVED BY:
 JORGE L. PÉREZ RUIZ, PE
 LIC. No. 15,863

- CONSULTANTS
1. SURVEY & TOPOGRAPHY | ALBERTO RODRIGUEZ ELIA, No. 15,805
 2. CIVIL | JORGE L. PÉREZ RUIZ, Lic. No. 15,863
 3. ARCHITECTURAL | JORGE L. PÉREZ RUIZ, Lic. No. 15,863
 4. STRUCTURAL | JOSE CONTRON, Lic. No. 15,068

NOTE
 Yo, Jorge Pérez Ruiz, No. 15,863, certifico que los planos presentados, que incluyen todos los datos y las especificaciones complementarias, fueron elaborados por mí o por alguien que actuó bajo mi supervisión y control, con un conocimiento adecuado del terreno y de las condiciones de construcción. Asimismo, declaro que la información de estos planos es verídica y que el contenido de estos planos es el resultado de un estudio profesional que he realizado con la debida diligencia y con la responsabilidad que corresponde a un profesional de la ingeniería civil. He sido consciente de los riesgos que se han producido por el uso de estos planos y he aceptado que el cliente no se responsabilice por los daños que se produzcan por el uso de estos planos. He sido consciente de que el cliente no se responsabilice por los daños que se produzcan por el uso de estos planos. He sido consciente de que el cliente no se responsabilice por los daños que se produzcan por el uso de estos planos.



WORKING DRAWINGS FOR:
 PR-CRP-000437
 RUTA DE LOS TRES SANTOS REYES
 CALLE F DEGETAU # 35
 JUANA DIAZ, PUERTO RICO

DRAWING NAME
 PROPOSED LANDSCAPE
 SITE PLAN MATCH LINE
 B-6 AND 6-6

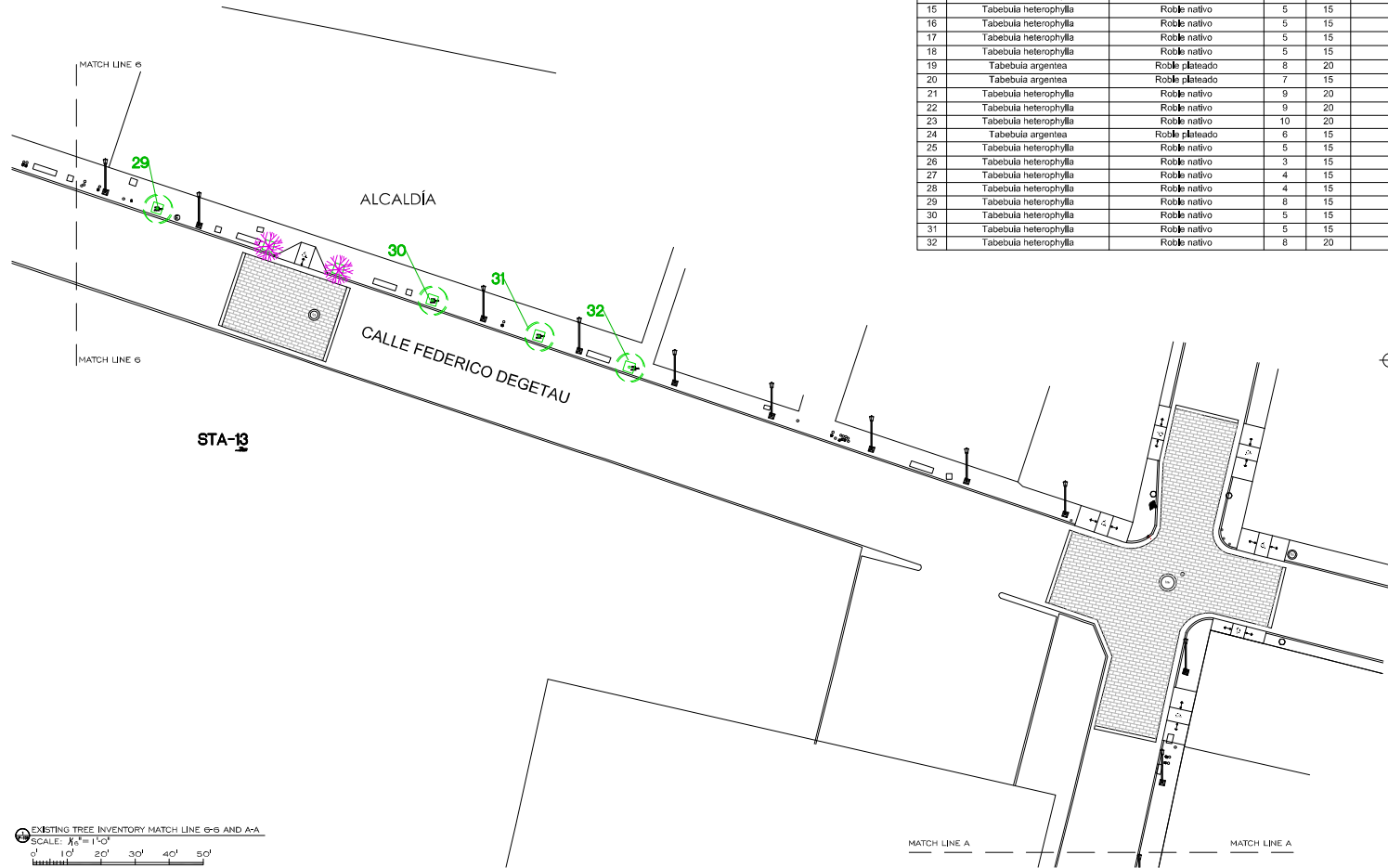
SCALE: 1/8" = 1'-0"	ISSUED DATE: JUN 2024
DRAWN BY: EMP. AIT	CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DRAWING NO. LP-107	SHEET NO. 85 OF 125

LANDSCAPE LEGEND

-  EXISTING TREE TO REMAIN
-  POITEA FLORIDA - WATTAPAMA (PF)
-  PLANTER

IMPORTANT NOTES:

1. WHERE THE PLANTERS HAVE EXISTING TREES AND ARE MARK FOR DEMOLITION, THE TREE SHOULD BE PROTECTED. IN CASE OF DAMAGE THE CLIENT SHOULD DECIDE IF REPLACEMENT IS NEEDED.
2. ALL TREES SHOULD BE ON A PLANTER.
3. NEW PLANTERS TYPICAL DIMENSIONS 3'X3'. VARY IF NECESSARY.
4. IN CASE A TREE IS IN FRONT OF AN ENTRANCE SLOPE, RELOCATE.
5. THE CONTRACTOR SHALL USE TYPICAL CONSTRUCTION OF EXISTING PLANTERS.



TREE INVENTORY SCHEDULE					
NO.	SCIENTIFIC NAME	COMMON NAME	DBH(")	HEIGHT	CONDITION
1	Tabebuia heterophylla	Roble nativo	5	15	Good
2	Tabebuia heterophylla	Roble nativo	5	15	Good
3	Tabebuia heterophylla	Roble nativo	5	15	Good
4	Phoenix roebelenii	Palma robelini	5	10	Good
5	Phoenix roebelenii	Palma robelini	5	10	Good
6	Tabebuia heterophylla	Roble nativo	5	15	Good
7	Tabebuia heterophylla	Roble nativo	3	15	Good
8	Tabebuia heterophylla	Roble nativo	5	15	Good
9	Calophyllum calicoa	Maria	13	25	Good
10	Tabebuia argentea	Roble plateado	15	20	Good
11	Tabebuia heterophylla	Roble nativo	5	15	Good
12	Tabebuia argentea	Roble plateado	15	20	Good
13	Tabebuia heterophylla	Roble nativo	5	15	Good
14	Tabebuia heterophylla	Roble nativo	3	15	Good
15	Tabebuia heterophylla	Roble nativo	5	15	Good
16	Tabebuia heterophylla	Roble nativo	5	15	Good
17	Tabebuia heterophylla	Roble nativo	5	15	Good
18	Tabebuia heterophylla	Roble nativo	5	15	Good
19	Tabebuia argentea	Roble plateado	8	20	Good
20	Tabebuia argentea	Roble plateado	7	15	Good
21	Tabebuia heterophylla	Roble nativo	9	20	Good
22	Tabebuia heterophylla	Roble nativo	9	20	Good
23	Tabebuia heterophylla	Roble nativo	10	20	Good
24	Tabebuia argentea	Roble plateado	6	15	Good
25	Tabebuia heterophylla	Roble nativo	5	15	Good
26	Tabebuia heterophylla	Roble nativo	3	15	Good
27	Tabebuia heterophylla	Roble nativo	4	15	Good
28	Tabebuia heterophylla	Roble nativo	4	15	Good
29	Tabebuia heterophylla	Roble nativo	8	15	Good
30	Tabebuia heterophylla	Roble nativo	5	15	Good
31	Tabebuia heterophylla	Roble nativo	5	15	Good
32	Tabebuia heterophylla	Roble nativo	8	20	Good



APPROVED BY:
JORGE L. PÉREZ RUIZ, PE
 LIC. NO. 15,863

- CONSULTANTS
1. SURVEY & TOPOGRAPHY | ALBERTO RODRÍGUEZ ELA, No. 15,805
 2. CIVIL | JORGE L. PÉREZ RUIZ, Lic. No. 15,863
 3. ARCHITECTURAL | JORGE L. PÉREZ RUIZ, Lic. No. 15,863
 4. STRUCTURAL | JOSE CONTRON (Lic. No. 15,908)

NOTE

Yo, JORGE PÉREZ RUIZ, Licencia No. 15,863, certifico que soy el profesional que realizó estos planos y las especificaciones complementarias. También certifico que entiendo que dichos planos y especificaciones cumplen con las disposiciones legales del Reglamento de Construcción y Código de Construcción de la ciudad de Puerto Rico, y que las especificaciones de materiales y métodos de construcción cumplen con las disposiciones legales. Además, que en el momento de estos planos y especificaciones de los planos con lo dispuesto en la Ley Núm. 17 de 1978, según enmendada, según cualquier modificación que introduzca el Departamento de Obras Públicas de Puerto Rico, para la ejecución de los trabajos que se han producido por el presente y sus sucesivos, o por otros proyectos con los que se relacionen, me hago responsable de cualquier acción judicial o administrativa que se presente por la parte interesada.




CERTIFICATION

WORKING DRAWINGS FOR:
 PR-CRP-000437
 RUTA DE LOS TRES SANTOS REYES
 CALLE F DEGETAU # 35
 JUANA DIAZ, PUERTO RICO

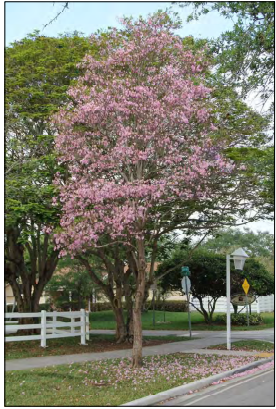
DRAWING NAME
 PROPOSED LANDSCAPE
 SITE PLAN MATCH LINE
 6-6 AND A-A

SCALE: 1/16" = 1'-0"
 DRAWN BY: EMP. AIT
 CHECKED BY: JORGE L. PÉREZ RUIZ, PE
 DRAWING NO. LP-108
 SHEET NO. 86 OF 125

EXISTING TREE INVENTORY MATCH LINE 6-6 AND A-A
 SCALE: 1/8" = 1'-0"
 0' 10' 20' 30' 40' 50'

TREE SCHEDULE						
SYMBOL	QTY.	SCIENTIFIC NAME	COMMON NAME	DBH(")	HEIGHT	CONDITION
	24	Tabebuia heterophylla	Roble nativo	5	15	Existing Tree
	2	Phoenix roebelenii	Palma robelini	5	10	Existing Tree
	1	Calophyllum calaba	Maria	13	25	Existing Tree
	5	Tabebuia argentea	Roble plateado	15	20	Existing Tree
		Poitea florida	Wattapama	-	6	New Planting

PLANT PALETTE:



TABEBUIA HETEROPHYLLA = ROBLE NATIVO



PHOENIX ROEBELENI = PALMA ROBELINI



CALOPHYLLUM CALABA = MARIA



TABEBUIA ARGENTEA = ROBLE PLATEADO



POITEA FLORIDA = WATTAPAMA



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
 LIC. NO. 15,863

CONSULTANTS
 1. SURVEY & TOPOGRAPHY | ALBERTO RODRIGUEZ (Lic. No. 15,805)
 2. CIVIL | JORGE L. PÉREZ RUIZ (Lic. No. 15,863)
 3. ARCHITECTURAL | JORGE L. PÉREZ RUIZ (Lic. No. 15,863)
 4. STRUCTURAL | JOSE CINTRON (Lic. No. 15,906)

NOTE
 Yo, Jorge Pérez Ruiz, Licencia No. 15,863, certifico que soy el profesional que emitió estos planos y las especificaciones complementarias. También certifico que emitió los planos previos y posteriores a este conjunto con las modificaciones aprobadas por el ayuntamiento de San Juan y el consejo de construcción de la ciudad de San Juan. Declaro que no existen obligaciones pendientes con autoridades competentes, además que en la preparación de estos planos y especificaciones de la misma con lo dispuesto en la ley 10324, Ley de Régimen de Socio Profesional, he considerado como la Ley para la firma de la presente por la "Industria Arquitectónica", con la Ley número 23 de 19 de mayo de 1978, según modificaciones, según amparo ejecutivo que homologa el artículo 33 de la Ley 10324 de 1978, y los artículos que se han producido por subsanamiento o por modificación de la Ley que han sido aplicados o por otros medios con la condición de haber proporcionado al socio profesional aceptor, y de aprobar para la copia.



CERTIFICATION

WORKING DRAWINGS FOR:
 PR-CRP-000437

ROUTE OF LOS TRES SANTOS REYES

CALLE F DEGETAU # 35
 JUANA DIAZ, PUERTO RICO

DRAWING NAME
LANDSCAPE SCHEDULE

SCALE 1/4" = 1'-0"	ISSUED DATE JUN 2024
DRAWN BY EMP. AIT	CHECKED BY JORGE L. PÉREZ RUIZ, PE

DRAWING NO. LP-201	SHEET NO. 87 OF 125
-----------------------	------------------------



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
 LIC. No. 15,863

CONSULTANTS
 1. SURVEY & TOPOGRAPHY [ALBERTO RODRIGUEZ] LIC. No. 18,955
 2. CIVIL [JORGE L. PÉREZ RUIZ] LIC. No. 15,863
 3. ARCHITECTURAL [JORGE L. PÉREZ RUIZ] LIC. No. 15,863
 4. STRUCTURAL [JOSE GONZALEZ] LIC. No. 15,668

NOTE
 Yo, JORGE L. PÉREZ RUIZ, LIC. No. 15,863, confirmo que este documento es el resultado de un estudio de ingeniería y de los cálculos realizados por mí o por un profesional competente en el campo de mi profesión, de acuerdo con las leyes y reglamentos vigentes en el momento de la redacción de este documento. Asimismo, confirmo que el contenido de este documento es verídico y que no he sido influenciado por terceros para emitir un dictamen que no sea el resultado de mi propia investigación y juicio profesional. Este documento es propiedad intelectual de TCM y no debe ser reproducido, copiado, distribuido o utilizado sin el consentimiento escrito de TCM. Toda infracción de esta ley será sancionada de acuerdo con la Ley de Propiedad Intelectual y la Ley de Defensa del Consumidor. Este documento es válido por un período de 90 días desde la fecha de emisión. Si se requiere una extensión de este documento, se deberá solicitar un nuevo documento por un costo adicional. Este documento es válido para el uso que se indica y no debe ser utilizado para otros fines. El usuario es responsable de verificar que el contenido de este documento sea el correcto y de cumplir con las normas y regulaciones aplicables. Este documento es válido para el uso que se indica y no debe ser utilizado para otros fines. El usuario es responsable de verificar que el contenido de este documento sea el correcto y de cumplir con las normas y regulaciones aplicables.



WORKING DRAWINGS FOR:
 PR-CR-000437
RUTA DE LOS TRES SANTOS REYES
 CALLE F. DEGETAU #35
 JUANA DIAZ, PUERTO RICO

DRAWING NAME
**ARCHITECTURAL DEMOLITION PLAN
 MATCH LINE A-A
 AND 1-1**

SCALE: 1/16" = 1'-0"
 DRAWN BY: EMP. AT
 CHECKED BY: JORGE L. PÉREZ RUIZ, PE
 DRAWING NO.: AD-101
 SHEET NO.: 88 OF 125

IMPORTANT NOTES:

- POINT COORDINATES GIVEN ARE FOR DEMOLITION LIMITS REFERENCED.
- ALL CURBS AND GUTTERS TO REMAIN, WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMO IS DONE, MATCH WHERE THE NEW SECTION MEETS EXISTING, MATCH CURB HEIGHT TO EXISTING.
- DEMO PAVEMENT SECTION TO SUB-BASE, VERIFY ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
- AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
- SUB-BASE HAS TO BE TESTED FOR STABILITY BY THE GEOTECHNICAL ENGINEER PRIOR TO THE INSTALLATION OF THE NEW PAVEMENT OR PAVEMENT SECTION.
- THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAVEMENT SECTION GRADE.
- THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
- LONGITUDINAL HANDICAP RAMPS WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK.
- HANDICAP MAIN RAMP SLOPES SHALL NOT BE GREATER THAN 6.2%, ACCESS RAMP SLOPE FROM TREES GUTTER TO MAIN RAMPS SHALL NOT BE GREATER THAN 2%.
- CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT, OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
- EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
- NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
- ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED.
- ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
- ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
- EXISTING TREES SHALL REMAIN.
- FROM INTERSECTION 3 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT, MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
- WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES TO BE DEMOLISHED.
- IF THE PRIVATE PROPERTY ENTRANCES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
- ALL SEWER GRILLS SHOULD BE REPLACED.
- FOR ASPHALT SIDEWALK AND RAMPS DEMOLITION, REFER TO CIVIL DEMOLITION SHEETS.
- ORNAMENTAL LIGHT POLES, BENCHES, TRASH CANS, AND BENCHES SHOULD BE REMOVED.

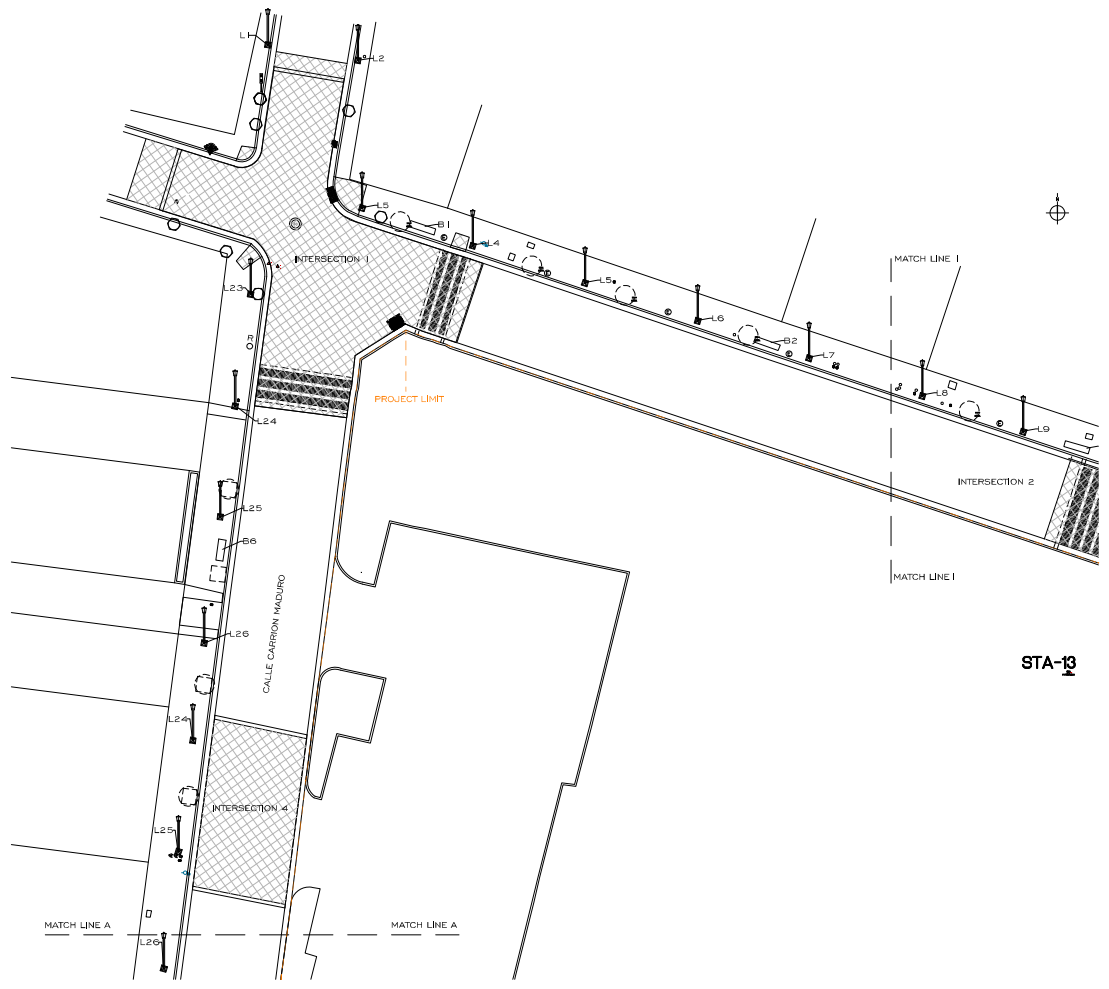
APPROXIMATED DEMOLITION SQ. FT:
 INTERSECTION 1: 3,565 SQ FT
 INTERSECTION 4: 2,610 SQ FT

QUANTITIES OF DEMOLITION SHOULD BE
 VERIFY IN SITE BY CONTRACTOR.

LIGHT POLES AND BENCHES TO BE REMOVE			
SYMBOL	QTY.	KEY	OBJECT
	91	L	ORNAMENTAL LIGHT POLE
	7	B	BENCH

LEGEND:

- TREE/UNCLASSIFIED
- MANHOLE/ALL CLASS
- AAA METER
- ORNAMENTAL LUMINARY
- BENCH
- BOLLARD
- ORNAMENTAL LIGHT POLE
- POWER POLE
- UTILITY POLE
- LUMINARY POLE
- KM MARKER
- TRAFFIC SIGN
- SANITARY SEWER MH
- SANITARY SEWER MH
- POWER UTILITY MH



ARCHITECTURAL DEMOLITION PLAN MATCH LINE A-A AND 1-1
 SCALE: 1/16" = 1'-0"



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
 Lic. No. 15,863

CONSULTANTS
 1. SURVEY & TOPOGRAPHY [ALBERTO RODRIGUEZ (Lic. No. 16,885)]
 2. CIVIL [JORGE L. PÉREZ RUIZ (Lic. No. 15,863)]
 3. ARCHITECTURAL [JORGE L. PÉREZ RUIZ (Lic. No. 15,863)]
 4. STRUCTURAL [JOSE GENTRON (Lic. No. 1,906)]

NOTE
 TO: JORGE PEREZ, Licencia No. 15,863, certifico que soy el autor de este proyecto de planos y los especificaciones contenidas en ellos, entiendo que cualquier otro uso de esta información sin el consentimiento escrito del autor de esta información es una infracción de la Ley de Propiedad Intelectual. Asimismo, certifico que el presente proyecto de planos y especificaciones se ha elaborado con la información suministrada por el cliente y que el cliente es responsable de la veracidad de la misma. Este documento es propiedad intelectual del autor de esta información y no puede ser reproducido, copiado, distribuido, publicado o transmitido en cualquier forma o por cualquier medio, electrónico o mecánico, sin el consentimiento escrito del autor de esta información. Este documento es propiedad intelectual del autor de esta información y no puede ser reproducido, copiado, distribuido, publicado o transmitido en cualquier forma o por cualquier medio, electrónico o mecánico, sin el consentimiento escrito del autor de esta información. Este documento es propiedad intelectual del autor de esta información y no puede ser reproducido, copiado, distribuido, publicado o transmitido en cualquier forma o por cualquier medio, electrónico o mecánico, sin el consentimiento escrito del autor de esta información.



CERTIFICATION
WORKING DRAWINGS FOR:
PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
MATCH
JUANA DIAZ, PUERTO RICO

DRAWING NAME
ARCHITECTURAL DEMOLITION PLAN MATCH LINE I-1 AND B-B

SCALE: 1/8" = 1'-0"
 DRAWN BY: JORGE L. PEREZ RUIZ, PE
 EMP. AIT
 CHECKED BY:
 DRAWING NO. 89
 SHEET NO. 01

AD-102 89 01 125

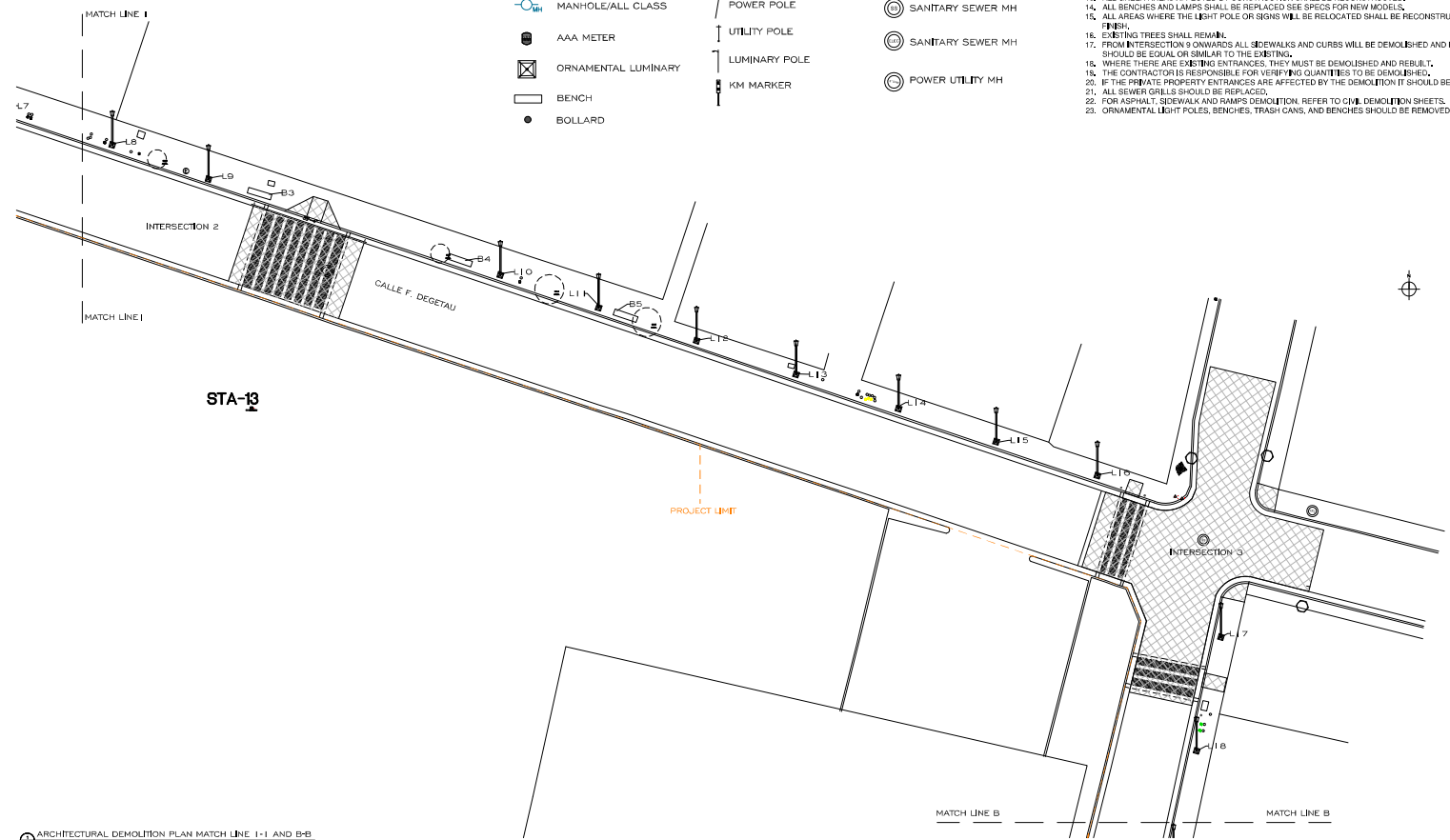
APPROXIMATED DEMOLITION SQ. FT.
 INTERSECTION 2: 2,975 SQ. FT.
 INTERSECTION 3: 6,290 SQ. FT.
 QUANTITIES OF DEMOLITION SHOULD BE VERIFY IN SITE BY CONTRACTOR.

LIGHT POLES AND BENCHES TO BE REMOVE			
SYMBOL	QTY.	KEY	OBJECT
	91	L	ORNAMENTAL LIGHT POLE
	7	B	BENCH

LEGEND:

	TREE/UNCLASSIFIED		ORNAMENTAL LIGHT POLE		TRAFFIC SIGN
	MANHOLE/ALL CLASS		POWER POLE		SANITARY SEWER MH
	AAA METER		UTILITY POLE		SANITARY SEWER MH
	ORNAMENTAL LUMINARY		LUMINARY POLE		POWER UTILITY MH
	BENCH		KM MARKER		
	BOLLARD				

- IMPORTANT NOTES:
- POINT COORDINATES GIVEN ARE FOR DEMOLITION LIMITS REFERENCE.
 - ALL CURBS AND GUTTERS TO REMAIN WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMO IS DONE. MATCH WHERE THE NEW SECTION MEETS EXISTING MATCH CURB HEIGHT TO EXISTING.
 - DEMO PAVEMENT SECTION TO SUB-BASE. VERIFY ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
 - AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
 - SUB-BASE HAS TO BE TESTED FOR STABILITY BY THE GEOTECHNICAL ENGINEER PRIOR TO THE INSTALLATION OF THE NEW PAVEMENT OR PAPER SECTION.
 - THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND/OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAPER SECTION GRADE.
 - THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
 - LONGITUDINAL HANDICAP RAMPS WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK
 - HANDICAP MAIN RAMP SLOPES SHALL NOT BE GREATER THAN 8.3%. ACCESS RAMP SLOPE FROM TREES GUTTER TO MAIN RAMPS SHALL NOT BE GREATER THAN 2%.
 - CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT, OTHERWISE THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
 - EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
 - NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
 - ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED.
 - ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
 - ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
 - EXISTING TREES SHALL REMAIN.
 - FROM INTERSECTION 3 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT. MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
 - WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
 - THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES TO BE DEMOLISHED.
 - IF THE PRIVATE PROPERTY ENTRANCES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
 - ALL SEWER GRILLS SHOULD BE REPLACED.
 - FOR ASPHALT, SIDEWALK AND RAMPS DEMOLITION, REFER TO CIVIL DEMOLITION SHEETS.
 - ORNAMENTAL LIGHT POLES, BENCHES, TRASH CANS, AND BENCHES SHOULD BE REMOVED.



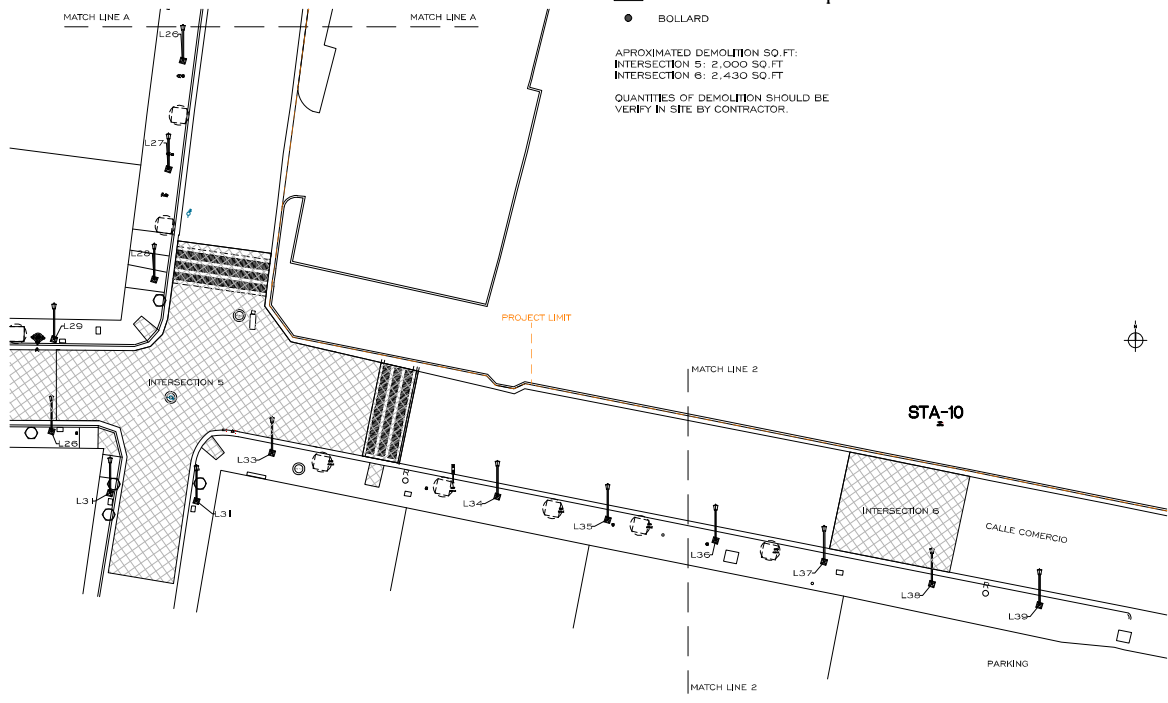
ARCHITECTURAL DEMOLITION PLAN MATCH LINE I-1 AND B-B
 SCALE: 1/8" = 1'-0"
 0' 10' 20' 30' 40' 50'

LIGHT POLES AND BENCHES TO BE REMOVE			
SYMBOL	QTY.	KEY	OBJECT
	91	L	ORNAMENTAL LIGHT POLE
	7	B	BENCH

LEGEND:

	TREE/UNCLASSIFIED		ORNAMENTAL LIGHT POLE		TRAFFIC SIGN
	MANHOLE/ALL CLASS		POWER POLE		SANITARY SEWER MH
	AAA METER		UTILITY POLE		SANITARY SEWER MH
	ORNAMENTAL LUMINARY		LUMINARY POLE		POWER UTILITY MH
	BENCH		KM MARKER		
	BOLLARD				

APPROXIMATED DEMOLITION SQ. FT.
 INTERSECTION 5: 2,000 SQ. FT.
 INTERSECTION 6: 2,430 SQ. FT.
 QUANTITIES OF DEMOLITION SHOULD BE VERIFY IN SITE BY CONTRACTOR.



ARCHITECTURAL DEMOLITION PLAN MATCH LINE A-A AND 2-2
 SCALE: 1/4" = 1'-0"
 1' 0" 2' 0" 3' 0" 4' 0" 5' 0"

IMPORTANT NOTES:

- POINT COORDINATES GIVEN ARE FOR DEMOLITION LIMITS REFERENCE.
- ALL CURBS AND GUTTERS TO REMAIN, WHEN RESURFACING THE SECTIONS TAKEN OUT WHEN RAMP DEMO IS DONE. MATCH WHERE THE NEW SECTION MEETS EXISTING, MATCH CURB HEIGHT TO EXISTING.
- DEMO PAVEMENT SECTION TO SUB-BASE. VERIFY ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
- AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
- SUB-BASE HAS TO BE TESTED FOR STABILITY BY THE GEOTECHNICAL ENGINEER PRIOR TO THE INSTALLATION OF THE NEW PAVEMENT OR PAVEMENT SECTION.
- THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS CONDITION WITH THE PAVEMENT SURFACES AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAVEMENT SECTION GRADE.
- THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
- LONGITUDINAL HANDICAP RAMPS WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK
- HANDICAP MAIN RAMP SLOPES SHALL NOT BE GREATER THAN 6%, ACCESS RAMP SLOPE FROM TREES GUTTER TO MAIN RAMPS SHALL NO BE GREATER THAN 2%.
- CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION LIMIT, OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
- EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
- NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
- ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED.
- ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
- ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
- EXISTING TREES SHALL REMAIN.
- FROM INTERSECTION 3 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT, MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
- WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES TO BE DEMOLISHED.
- IF THE PRIVATE PROPERTY ENTRANCES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
- ALL SEWER GRILLS SHOULD BE REPLACED.
- FOR ASPHALT SIDEWALKS AND RAMPS DEMOLITION, REFER TO CIVIL DEMOLITION SHEETS.
- ORNAMENTAL LIGHT POLES, BENCHES, TRASH CANS, AND BENCHES SHOULD BE REMOVED.



APPROVED BY:
JORGE L. PÉREZ RUIZ, PE
 Lic. No. 15,863

- CONSULTANTS
- SURVEY & TOPOGRAPHY (ALBERTO RODRIGUEZ) Lic. No. 15863
 - CIVIL (JORGE L. PÉREZ RUIZ) Lic. No. 15,863
 - ARCHITECTURAL (JORGE L. PÉREZ RUIZ) Lic. No. 15,863
 - STRUCTURAL (JOSE GONZALEZ) Lic. No. 15908

NOTE
 EL DISEÑO FONDO LEGISLAO NO. 18 DE 2008, CONTIENE QUE NO SE AUTORIZA, QUE NINGUNO ESTOS PLANOS Y SUS DERIVADOS, SEAN REPRODUCIDOS, COPIADOS, REPRODUCIDOS, QUE ENTENDIENDO QUE NINGUNO PLANOS Y DERIVADOS SEAN REPRODUCIDOS, COPIADOS, REPRODUCIDOS, SIN EL CONSENTIMIENTO DEL DISEÑADOR. EL DISEÑADOR SE RESPONSABILIZA POR LA VERACIDAD DE LOS DATOS Y LA EXACTITUD DE LOS DISEÑOS. EL DISEÑADOR NO SE RESPONSABILIZA POR LOS DAÑOS QUE PUEDAN OCURRIR COMO CONSECUENCIA DE LA EJECUCIÓN DE LOS TRABAJOS, NI POR LOS DAÑOS QUE PUEDAN OCURRIR COMO CONSECUENCIA DE LA EJECUCIÓN DE LOS TRABAJOS, NI POR LOS DAÑOS QUE PUEDAN OCURRIR COMO CONSECUENCIA DE LA EJECUCIÓN DE LOS TRABAJOS.



WORKING DRAWINGS FOR:
 PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
 CALLE F DEGETAU #35
 JUANA DIAZ, PUERTO RICO

DRAWING NAME:
PROPOSED LANDSCAPE SITE PLAN MATCH LINE A-A AND 2-2

SCALE: 1/4" = 1'-0"
 BIDEN DATE: JUN 2024
 DRAWN BY: JORGE L. PÉREZ RUIZ, PE
 EMP. AIT
 CHECKED BY:
 DRAWING NO. AD-103
 SHEET NO. 90



APPROVED BY:
JORGE L. PÉREZ RUIZ, PE
Lic. No. 15,863

CONSULTANTS:
1. SURVEY & HYDROLOGY (ALBERTO RODRÍGUEZ Lic. No. 16,893)
2. CIVIL (JORGE L. PÉREZ RUIZ Lic. No. 15,863)
3. ARCHITECTURAL (JORGE L. PÉREZ RUIZ Lic. No. 15,863)
4. STRUCTURAL (JOSE GONZALEZ Lic. No. 15,908)

NOTE:
Yo, JORGE L. PÉREZ RUIZ, Lic. No. 15,863, CERTIFICO que esta es una reproducción exacta y fiel del original electrónico de este plano, y que el mismo fue elaborado por mí o por algún otro profesional autorizado en virtud de un contrato de prestación de servicios profesionales. Asimismo, certifico que el presente plano cumple con las disposiciones legales del Reglamento General de Control de Construcción, y que no ha sido alterado en forma alguna, ni sustancialmente su contenido, ni en sus datos, ni en sus conclusiones, ni en sus recomendaciones, ni en sus especificaciones, ni en sus detalles, ni en sus materiales, ni en sus métodos de ejecución, ni en sus medidas, ni en sus cantidades, ni en sus colores, ni en sus líneas, ni en sus símbolos, ni en sus otros aspectos de importancia, ni en sus otros detalles de importancia, ni en sus otros aspectos de importancia, ni en sus otros detalles de importancia.



WORKING DRAWINGS FOR:
PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
CALLE F DEGETAU #35
JUANA DIAZ, PUERTO RICO

DRAWING NAME:
PROPOSED LANDSCAPE SITE PLAN MATCH LINE 2-2 TO 3-3 AND B-B

SCALE: 1/1" = 1'-0" BIDDEN DATE: JUN 2024
DRAWN BY: CHECKED BY:
EMP. AT: JORGE L. PÉREZ RUIZ, PE
DRAWING NO.: SHEET NO.:
AD-104 91 07 125

IMPORTANT NOTES:

- POINT COORDINATES GIVEN ARE FOR DEMOLITION LIMITS REFERENCE.
- ALL CURBS AND GUTTERS TO REMAIN WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMO IS DONE. MATCH WHERE THE NEW SECTION MEETS EXISTING. MATCH CURB HEIGHT TO EXISTING.
- DEMOPAVEMENT SECTION TO SUB-BASE, VERIFY ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
- AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
- SUB-BASE HAS TO BE TESTED FOR STABILITY BY THE GEO-TECHNICAL ENGINEER PRIOR TO THE INSTALLATION OF THE NEW PAVEMENT OR PAPER SECTION.
- THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAPER SECTION GRADE.
- THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
- LONGITUDINAL HANDICAP RAMPS WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK.
- HANDICAP MAIN RAMP SLOPES SHALL NOT BE GREATER THAN 8.2%, ACCESS RAMP SLOPE FROM TREES GUTTER TO MAIN RAMPS SHALL NOT BE GREATER THAN 2%.
- CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT, OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
- EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
- NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
- ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED.
- ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
- ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
- EXISTING TREES SHALL REMAIN.
- FROM INTERSECTION ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT, MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
- WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES TO BE DEMOLISHED.
- IF THE PRIVATE PROPERTY ENTRANCES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
- FOR ASPHALT, SIDEWALK AND RAMPS DEMOLITION, REFER TO CIVIL DEMOLITION SHEETS.
- ORNAMENTAL LIGHT POLES, BENCHES, TRASH CANS, AND BENCHES SHOULD BE REMOVED.

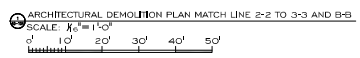
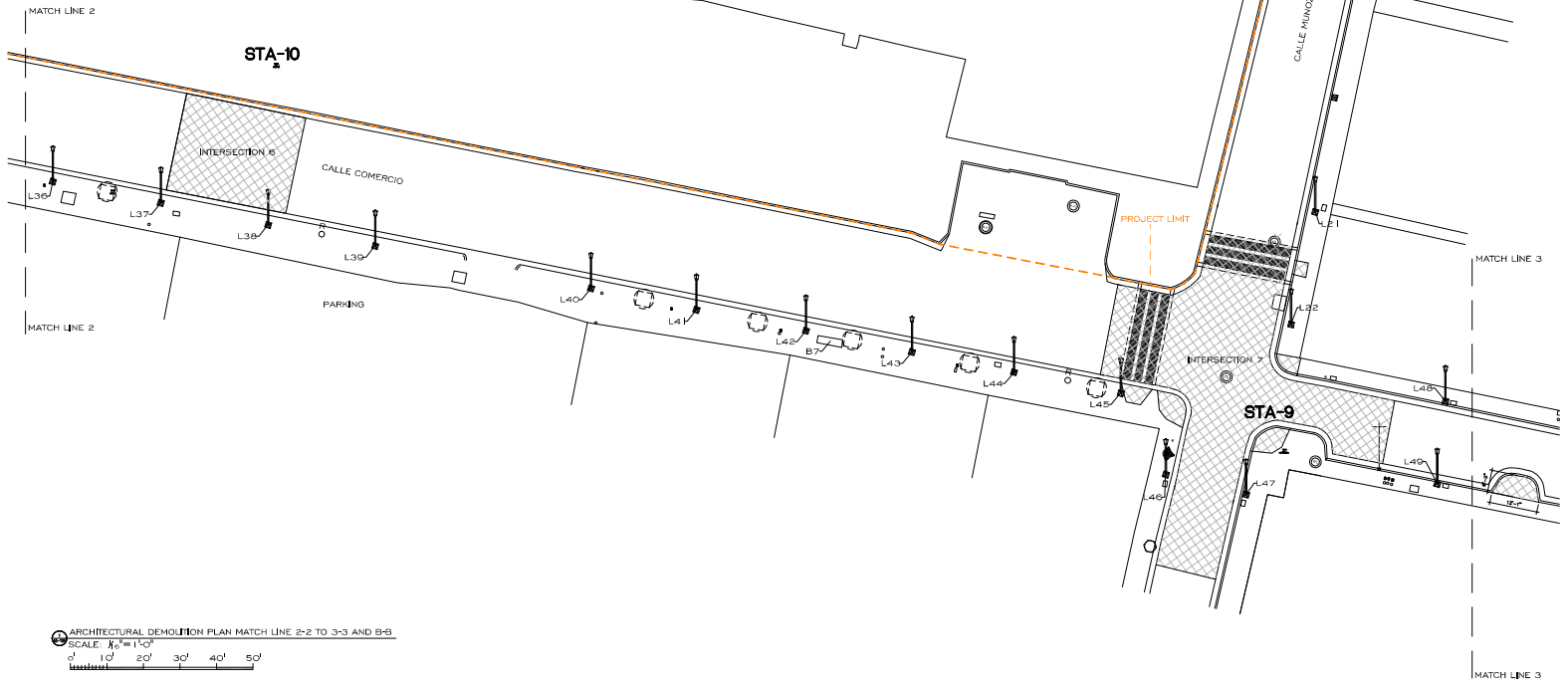
LIGHT POLES AND BENCHES TO BE REMOVE			
SYMBOL	QTY.	KEY	OBJECT
[Symbol: Vertical Line with Top Cap]	91	L	ORNAMENTAL LIGHT POLE
[Symbol: Horizontal Line with End Caps]	7	B	BENCH

APPROXIMATED DEMOLITION SQ. FT.
INTERSECTION 6: 900 SQ. FT.
INTERSECTION 7: 3,260 SQ. FT.

QUANTITIES OF DEMOLITION SHOULD BE VERIFY IN SITE BY CONTRACTOR.

LEGEND:

- [Symbol: Circle with Center Dot] TREE/UNCLASSIFIED
- [Symbol: Circle with X] MANHOLE/ALL CLASS
- [Symbol: Circle with M] AAA METER
- [Symbol: Square with X] ORNAMENTAL LUMINARY
- [Symbol: Rectangle with X] BENCH
- [Symbol: Solid Circle] BOLLARD
- [Symbol: Circle with Horizontal Line] ORNAMENTAL LIGHT POLE
- [Symbol: Circle with Vertical Line] POWER POLE
- [Symbol: Circle with Horizontal Line] UTILITY POLE
- [Symbol: Circle with Vertical Line] LUMINARY POLE
- [Symbol: Circle with Vertical Line] KM MARKER
- [Symbol: Circle with Center Dot] TRAFFIC SIGN
- [Symbol: Circle with X] SANITARY SEWER MH
- [Symbol: Circle with X] SANITARY SEWER MH
- [Symbol: Circle with X] POWER UTILITY MH



IMPORTANT NOTES:

- POINT COORDINATES GIVEN ARE FOR DEMOLITION LIMITS REFERENCE.
- ALL CURBS AND GUTTERS TO REMAIN WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMO IS DONE. MATCH WHERE THE NEW SECTION MEETS EXISTING MATCH CURB HEIGHT TO EXISTING.
- DEMOPAVEMENT SECTION TO SUB-BASE. VERIFY ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
- AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
- SUB-BASE HAS TO BE TESTED FOR STABILITY BY THE GEOTECHNICAL ENGINEER PRIOR TO THE INSTALLATION OF THE NEW PAVEMENT OR PAVER SECTION.
- THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAVER SECTION GRADE.
- THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
- LONGITUDINAL HANDICAP RAMPS WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK.
- HANDICAP MAIN RAMP SLOPES SHALL NOT BE GREATER THAN 8.3%. ACCESS RAMP SLOPE FROM TREES GUTTER TO MAIN RAMPS SHALL NOT BE GREATER THAN 2%.
- CURB SECTIONS TO BE REPLACED 1 MTRS SHALL BE TO THE EXISTING CONSTRUCTION JOINT. OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
- EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
- NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
- ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED.
- ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
- ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
- EXISTING TREES SHALL REMAIN.
- FROM INTERSECTION 0 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT. MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
- WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES TO BE DEMOLISHED.
- IF THE PRIVATE PROPERTY ENTRANCES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
- ALL SEWER GRILLS SHOULD BE REPLACED.
- FOR ASPHALT, SIDEWALK AND RAMPS DEMOLITION, REFER TO CIVIL DEMOLITION SHEETS.
- ORNAMENTAL LIGHT POLES, BENCHES, TRASH CANS, AND BENCHES SHOULD BE REMOVED.

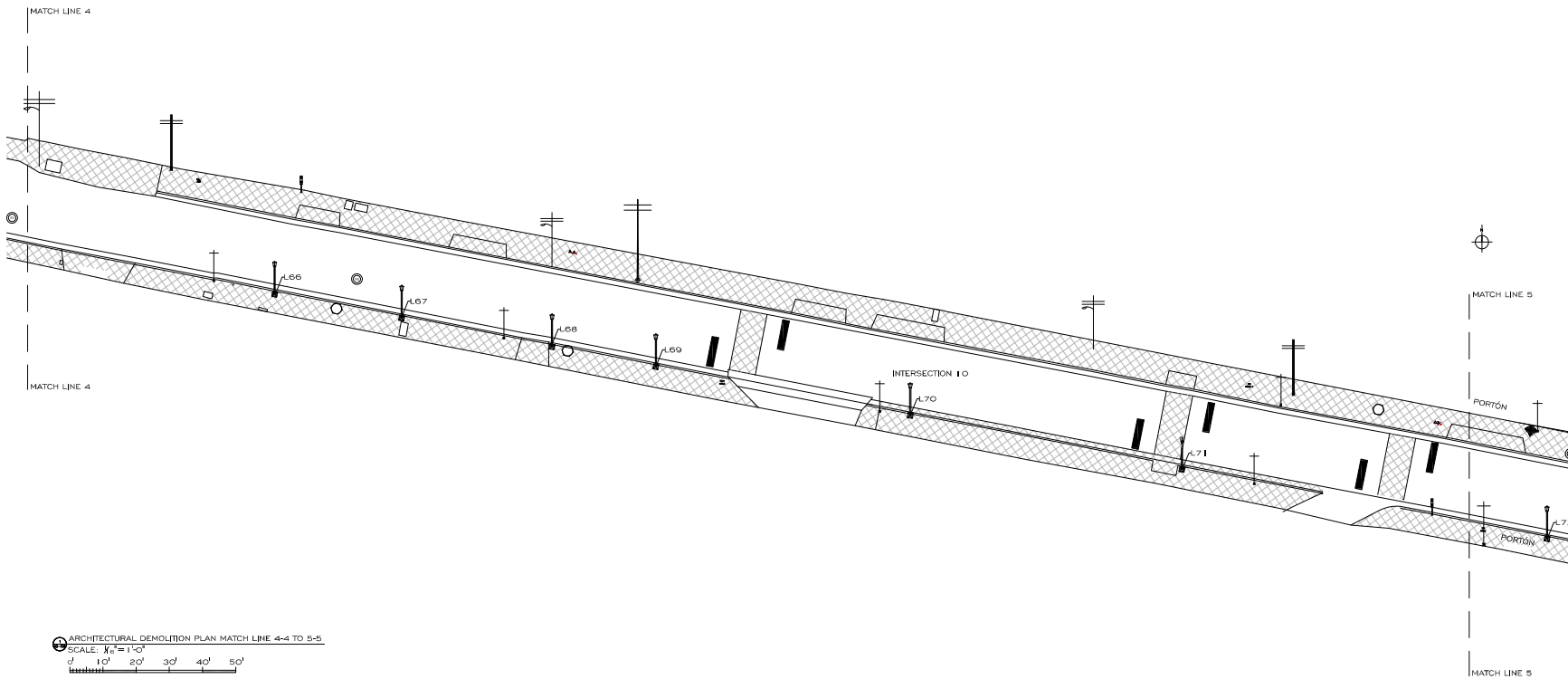
LIGHT POLES AND BENCHES TO BE REMOVE			
SYMBOL	QTY.	KEY	OBJECT
	91	L	ORNAMENTAL LIGHT POLE
	7	B	BENCH

APPROXIMATED DEMOLITION SQ.FT:
INTERSECTION 10: 450 SQ.FT
SIDEWALK FORM INTERSECTION 0 TO END OF PROJECT: 22,000 SQ.FT

QUANTITIES OF DEMOLITION SHOULD BE VERIFY IN SITE BY CONTRACTOR.

LEGEND:

- TREE/UNCLASSIFIED
- MANHOLE/ALL CLASS
- AAA METER
- ORNAMENTAL LUMINARY
- BENCH
- BOLLARD
- ORNAMENTAL LIGHT POLE
- POWER POLE
- UTILITY POLE
- LUMINARY POLE
- KM MARKER
- TRAFFIC SIGN
- SANITARY SEWER MH
- SANITARY SEWER MH
- POWER UTILITY MH



ARCHITECTURAL DEMOLITION PLAN MATCH LINE 4-4 TO 5-5

SCALE: 1/4" = 1'-0"



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
Lic. No. 15,863

- CONSULTANTS
- SURVEY & TOPOGRAPHY | ALBERTO RODRIGUEZ (Lic. No. 2628)
 - CIVIL | JORGE L. PÉREZ RUIZ (Lic. No. 15,863)
 - ARCHITECTURAL | JORGE L. PÉREZ RUIZ (Lic. No. 15,863)
 - STRUCTURAL | JOSÉ CINTRÓN (Lic. No. 1993)

NOTE
YO, JORGE L. PÉREZ RUIZ, LICENCIADO NO. 15.863, CERTIFICO QUE SOY EL PROFESIONAL QUE REDUJERON ESTOS PLANOS Y LOS SUPLEN EN LOS CASOS NECESARIOS. ASISTIRÉ EN TODO MOMENTO DURANTE LA EJECUCIÓN DE LA OBRA. ESTOS PLANOS SON UN PRODUCTO DE MI ACTIVIDAD PROFESIONAL Y SON RESPONSABLES DE MI ACTUACIÓN. ME RESERVO EL DERECHO DE REVISAR EN CUALQUIER MOMENTO ESTOS PLANOS Y SUSIFICARLOS O MODIFICARLOS SIN PREAVISOS. ESTOS PLANOS SON UN PRODUCTO DE MI ACTIVIDAD PROFESIONAL Y SON RESPONSABLES DE MI ACTUACIÓN. ME RESERVO EL DERECHO DE REVISAR EN CUALQUIER MOMENTO ESTOS PLANOS Y SUSIFICARLOS O MODIFICARLOS SIN PREAVISOS. ESTOS PLANOS SON UN PRODUCTO DE MI ACTIVIDAD PROFESIONAL Y SON RESPONSABLES DE MI ACTUACIÓN. ME RESERVO EL DERECHO DE REVISAR EN CUALQUIER MOMENTO ESTOS PLANOS Y SUSIFICARLOS O MODIFICARLOS SIN PREAVISOS.



WORKING DRAWINGS FOR:
PR-CR-000437
ROUTE DE LOS TRES SANTOS REYES
CALLE F DEGETAU #35
JUANA DIAZ, PUERTO RICO

DRAWING NAME
ARCHITECTURAL DEMOLITION PLAN
MATCH LINE 4-4 T 5-5

SCALE: 1/4" = 1'-0" BIDDED DATE: JUN 2024
DRAWN BY: JORGE L. PÉREZ RUIZ, PE
EMP. A/E: JORGE L. PÉREZ RUIZ, PE

DRAWING NO: AD-106 SHEET NO: 93 OF 125

IMPORTANT NOTES:

- POINT COORDINATES GIVEN ARE FOR DEMOLITION LIMITS REFERENCE.
- ALL CURBS AND GUTTERS TO REMAIN WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMO IS DONE. MATCH WHERE THE NEW SECTION MEETS EXISTING MATCH CURB HEIGHT TO EXISTING.
- DEMOPAYMENT SECTION TO SUB-BASE. VERIFY ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
- AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
- SUB-BASE HAS TO BE TESTED FOR STABILITY BY THE GEOTECHNICAL ENGINEER PRIOR TO THE INSTALLATION OF THE NEW PAVEMENT OR PAYER SECTION.
- THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAYER SECTION GRADE.
- THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
- LONGITUDINAL HANDICAP RAMPS WIDTH SHALL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK.
- HANDICAP MAIN RAMP SLOPES SHALL NOT BE GREATER THAN 8.3% ACCESS RAMP SLOPE FROM TREES GUTTER TO MAIN RAMPS SHALL NOT BE GREATER THAN 2%.
- CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT. OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
- EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
- NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
- ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED.
- ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
- ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
- EXISTING TREES SHALL REMAIN.
- FROM INTERSECTION 1 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT. MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
- WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES TO BE DEMOLISHED.
- IF THE PRIVATE PROPERTY ENTRANCES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
- ALL SEWER OPENINGS SHOULD BE REPLACED.
- FOR ASPHALT, SIDEWALK AND RAMPS DEMOLITION, REFER TO CIVIL DEMOLITION SHEETS.
- ORNAMENTAL LIGHT POLES, BENCHES, TRASH CANS, AND BENCHES SHOULD BE REMOVED.

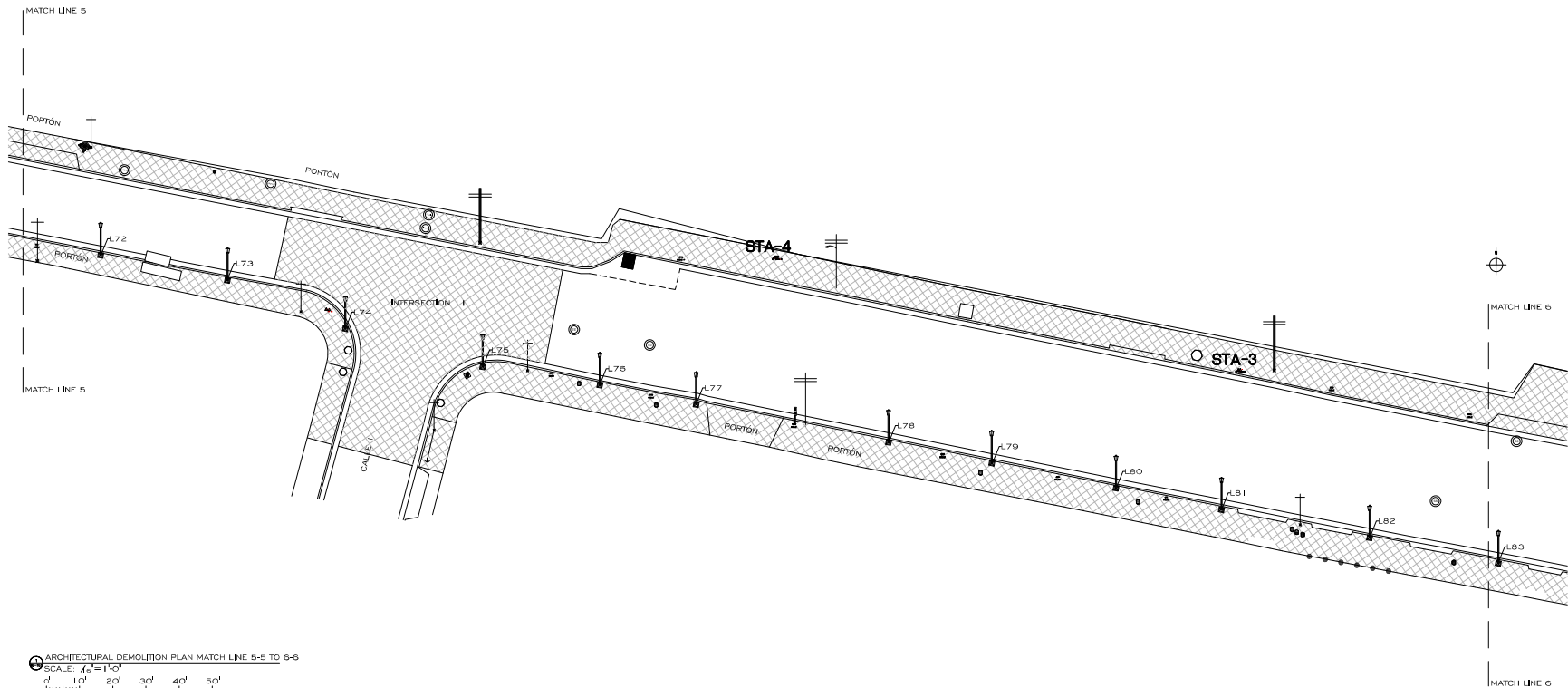
LIGHT POLES AND BENCHES TO BE REMOVE			
SYMBOL	QTY.	KEY	OBJECT
	91	L	ORNAMENTAL LIGHT POLE
	7	B	BENCH

APPROXIMATED DEMOLITION SQ FT:
INTERSECTION 1 I : 3,500 SQ FT
SIDEWALK FORM INTERSECTION 9 TO END OF PROJECT: 22,000 SQ FT

QUANTITIES OF DEMOLITION SHOULD BE VERIFY IN SITE BY CONTRACTOR.

LEGEND:

	TREE/UNCLASSIFIED		ORNAMENTAL LIGHT POLE		TRAFFIC SIGN
	MANHOLE/ALL CLASS		POWER POLE		SANITARY SEWER MH
	AAA METER		UTILITY POLE		SANITARY SEWER MH
	ORNAMENTAL LUMINARY		LUMINARY POLE		POWER UTILITY MH
	BENCH		KM MARKER		
	BOLLARD				



ARCHITECTURAL DEMOLITION PLAN MATCH LINE 5-5 TO 6-6
SCALE: 1/8" = 1'-0"
0' 10' 20' 30' 40' 50'



APPROVED BY
JORGE L. PÉREZ RUZ, PE
Lic. No. 15,863

- CONSULTANTS
- SURVEY & TOPOGRAPHY [ALBERTO RODRIGUEZ] (Lic. No. 31503)
 - CIVIL [JORGE L. PÉREZ RUZ] (Lic. No. 15.863)
 - ARCHITECTURAL [JORGE L. PÉREZ RUZ] (Lic. No. 15.863)
 - STRUCTURAL [JOSE CINTRON] (Lic. No. 1593)

NOTE
Yo, Jorge Pérez, Licencia No. 15.863, certifico que soy el autor del presente que acompaño estos planos y los cuales obedecen a las disposiciones de la Ley No. 3048 de 2005 y a los artículos 258 y 261 del Código Municipal de la Municipalidad de San Juan, en cumplimiento de las obligaciones que me imponen las leyes y reglamentos aplicables en materia de la actividad profesional de ingeniero en arquitectura. Asimismo, declaro que la información de estos planos y especificaciones en ellos contenidas, así como el contenido de los mismos, es veraz y exacta, y que he sido consciente y conciente de la importancia de esta información y que he sido consciente de las consecuencias que se derivan de la falsedad o inexactitud de la información que se contiene en ellos. Asimismo, declaro que he sido consciente de la importancia de esta información y que he sido consciente de las consecuencias que se derivan de la falsedad o inexactitud de la información que se contiene en ellos. Asimismo, declaro que he sido consciente de la importancia de esta información y que he sido consciente de las consecuencias que se derivan de la falsedad o inexactitud de la información que se contiene en ellos.



CERTIFICATION

WORKING DRAWINGS FOR:
PR-CR-000437
RUTA DE LOS TRES SANTOS REYES
CALLE F DEGETAU #35
JUANA DIAZ, PUERTO RICO

DRAWING NAME
ARCHITECTURAL DEMOLITION PLAN
MATCH LINE 5-5 TO 6-6

SCALE: 1/8" = 1'-0" BIDDEN DATE: JUN 2024
DRAWN BY: [Signature] CHECKED BY: [Signature]
EMP. A/F [Signature] **JORGE L. PÉREZ RUZ, PE**

DRAWING NO. **AD-107** SHEET NO. **94** OF **125**

IMPORTANT NOTES:

- POINT COORDINATES GIVEN ARE FOR DEMOLITION LIMITS REFERENCE.
- ALL CURBS AND GUTTERS TO REMAIN, WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMO IS DONE, MATCH WHERE THE NEW SECTION MEETS EXISTING, MATCH CURB HEIGHT TO EXISTING.
- DEMO PAVEMENT SECTION TO SUB-BASE, VERIFY ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
- AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
- SUB-BASE HAS TO BE TESTED FOR STABILITY BY THE GEOTECHNICAL ENGINEER PRIOR TO THE INSTALLATION OF THE NEW PAVEMENT OR PAVEMENT SECTION.
- THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATINGS AND OTHER UTILITY COVERS CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAVEMENT SECTION GRADE.
- THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
- LONGITUDINAL HANDICAP RAMPS WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK.
- HANDICAP MAIN RAMP SLOPES SHALL NOT BE GREATER THAN 8.3%, ACCESS RAMP SLOPE FROM TREES GUTTER TO MAIN RAMPS SHALL NOT BE GREATER THAN 2%.
- CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT, OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND DOOWELS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
- EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
- NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
- ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED.
- ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
- ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
- EXISTING TREES SHALL REMAIN.
- FROM INTERSECTION 9 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT, MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
- WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES TO BE DEMOLISHED.
- IF THE PRIVATE PROPERTY ENTRANCES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
- ALL SEWER GRILLS SHOULD BE REPLACED.
- FOR ASPHALT, SIDEWALK AND RAMPS DEMOLITION, REFER TO CIVIL DEMOLITION SHEETS.
- ORNAMENTAL LIGHT POLES, BENCHES, TRASH CANS, AND BENCHES SHOULD BE REMOVED.

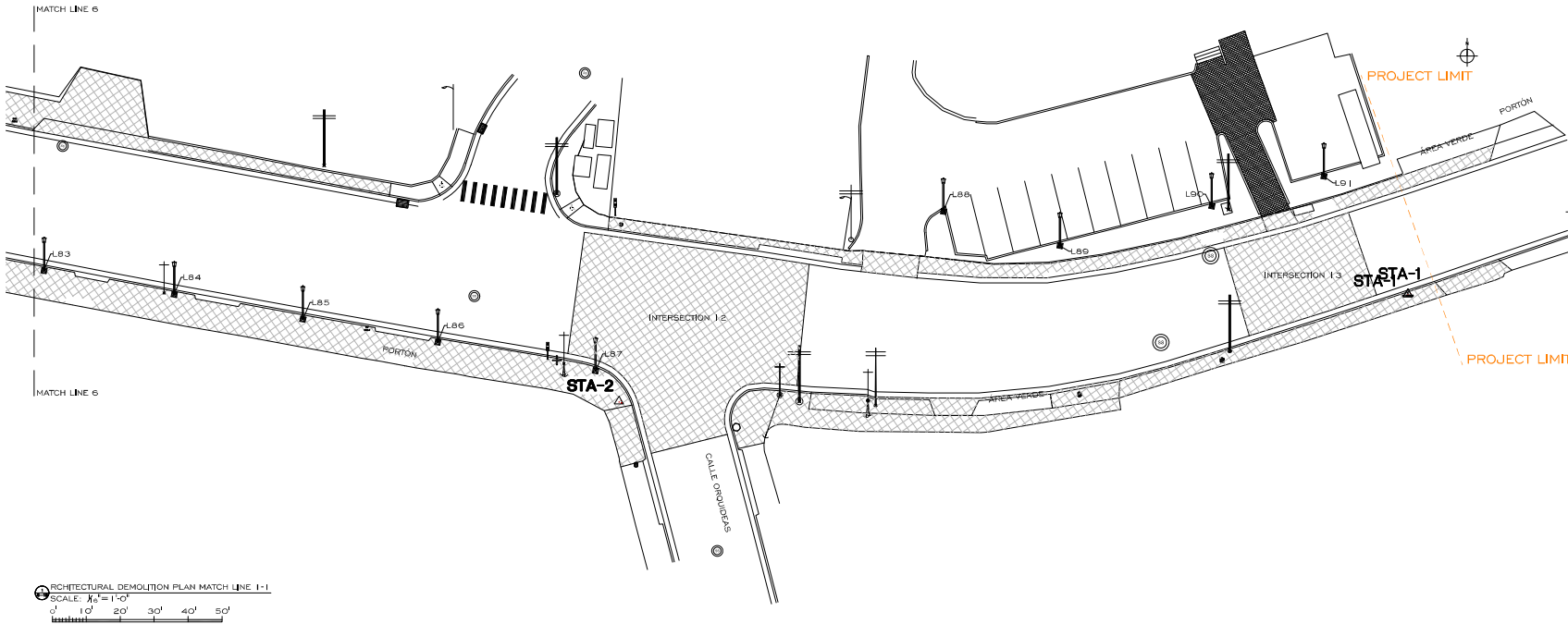
LIGHT POLES AND BENCHES TO BE REMOVE			
SYMBOL	QTY.	KEY	OBJECT
	91	L	ORNAMENTAL LIGHT POLE
	7	B	BENCH

APPROXIMATED DEMOLITION SQ. FT:
 INTERSECTION 1 2: 3,250 SQ. FT
 INTERSECTION 1 3: 1,135 SQ. FT
 SIDEWALK FORM INTERSECTION 0 TO END OF PROJECT: 22,000 SQ. FT


QUANTITIES OF DEMOLITION SHOULD BE VERIFY IN SITE BY CONTRACTOR.

LEGEND:

- TREE/UNCLASSIFIED
- MANHOLE/ALL CLASS
- AAA METER
- ORNAMENTAL LUMINARY
- BENCH
- BOLLARD
- ORNAMENTAL LIGHT POLE
- POWER POLE
- UTILITY POLE
- LUMINARY POLE
- KM MARKER
- TRAFFIC SIGN
- SANITARY SEWER MH
- SANITARY SEWER MH
- POWER UTILITY MH



ARCHITECTURAL DEMOLITION PLAN MATCH LINE 1-1
 SCALE: 1/4" = 1'-0"
 0' 10' 20' 30' 40' 50'




APPROVED BY:
JORGE L. PÉREZ RUIZ, PE
 Lic. No. 15,863

CONSULTANTS

- SURVEY & TOPOGRAPHY (ALBERTO RODRÍGUEZ Lic. No. 15,863)
- CIVIL (JORGE L. PÉREZ RUIZ Lic. No. 15,863)
- ARCHITECTURAL (JORGE L. PÉREZ RUIZ Lic. No. 15,863)
- STRUCTURAL (JOSE CINTRON Lic. No. 15,903)

NOTE
 Yo, Jorge Pérez, Licencia No. 15,863, CERTIFICO que soy el autor de este proyecto de demolición y que he cumplido con todas las obligaciones legales y profesionales que me corresponden en este momento. Asimismo, declaro que el contenido de este proyecto de demolición es veraz y correcto, y que he cumplido con todas las obligaciones legales y profesionales que me corresponden en este momento. Este documento es válido para el uso que se le da en el presente proyecto de demolición. FIRMADO EN PUERTO RICO, A LOS 15 DÍAS DEL MES DE JUNIO DEL AÑO 2024.

CERTIFICATION


WORKING DRAWINGS FOR:
 PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
CALLE F DEGETAU #35
JUANA DIAZ, PUERTO RICO

DRAWING NAME
PROPOSED LANDSCAPE
SITE PLAN MATCH LINE
1-1

SCALE: 1/4" = 1'-0" BIDDED DATE: JUN 2024
 DRAWN BY: JORGE L. PÉREZ RUIZ, PE CHECKED BY:
 EMP. AIT JORGE L. PÉREZ RUIZ, PE
 DRAWING NO. SHEET NO.
AD-108 95 OF 125



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
 Lic. No. 15.863

CONSULTANTS
 1. SURVEY & TOPOGRAPHY (ALBERTO RODRIGUEZ Lic. No. 18,808)
 2. CIVIL (JORGE L. PÉREZ RUIZ Lic. No. 15,863)
 3. ARCHITECTURAL (JORGE L. PÉREZ RUIZ Lic. No. 15,863)
 4. STRUCTURAL (JOSE CONTRON Lic. No. 1,998)

NOTE
 Yo, Jorge Pérez, Licencia No. 15.863, certifico que soy la responsable de este proyecto de ingeniería y que el contenido de los planos y especificaciones que forman parte de este proyecto de construcción cumplen con el Reglamento General de Construcción, Resoluciones de la Dirección General de Inspección y Supervisión Municipal con Juntejuntas, ordenanzas, decretos y resoluciones de la Municipalidad de San Juan, Puerto Rico, y con la Ley de la Industria Puerto Rico, Ley No. 289 de 19 de mayo de 1976, según enmendada, Ley No. 106 de 6 de julio de 1976, según enmendada, según cualquier otro decreto, ordenanza, resolución o ley que se aplique a este proyecto de ingeniería y que soy responsable de cualquier error u omisión en el contenido de los planos y especificaciones que forman parte de este proyecto de ingeniería.



CERTIFICATION
WORKING DRAWINGS FOR:
 PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
CALLE F DEGETAU #35
JUANA DIAZ, PUERTO RICO

DRAWING NAME
PROPOSED SITE PLAN
MATCH LINE A-A AND I-I

SCALE: 1/8" = 1'-0"
 BIDEN DATE: APR 2024
 DRAWN BY: EMP. AT
 CHECKED BY: JORGE L. PÉREZ RUIZ, PE
 SHEET NO.

A-101 96 OF 125

IMPORTANT NOTES:

- ALL CURBS AND GUTTERS TO REMAIN, WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMO IS DONE.
- MATCH WHERE THE NEW SECTION MEETS EXISTING MATCH CURB HEIGHT TO EXISTING.
- VERIFY PAVEMENT ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
- AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPAVED.
- THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAVER SECTION GRADE.
- THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
- LONGITUDINAL HANDICAP RAMPS WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK.
- HANDICAP MAIN RAMP SLOPES SHALL NOT BE GREATER THAN 8.2%, ACCESS RAMP SLOPE FROM TREES/GUTTER TO MAIN RAMPS SHALL NO BE GREATER THAN 2%.
- CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT, OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
- EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
- NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
- ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED, REFER TO LANDSCAPE SHEETS.
- ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
- ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
- EXISTING TREES SHALL REMAIN.
- FROM INTERSECTION 3 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT, MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
- WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
- IF THE PRIVATE PROPERTY ENTRANCES SLOPES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAVED.
- ALL SEWER CHIMNELS SHOULD BE REPLACED, ADJUST HEIGHT AS NECESSARY.
- REFER TO GEOMETRIC CIVIL LAYOUT FOR DIMENSIONS DETAILS.

LEGEND:

- | | | |
|---------------------|-----------------------|--------------------------|
| TREE/UNCLASSIFIED | ORNAMENTAL LIGHT POLE | TRAFFIC SIGN |
| MANHOLE/ALL CLASS | POWER POLE | SANITARY SEWER MH |
| AAA METER | UTILITY POLE | SANITARY SEWER MH |
| ORNAMENTAL LUMINARY | LUMINARY POLE | POWER UTILITY MH |
| BENCH | KM MARKER | EXISTING TREE TO REMAIN |
| BOLLARD | INFORMATIVE MODULE | POITEA FLORIDA=WATTAPAMA |
| TRASH CAN | | |



PROPOSED SITE PLAN MATCH LINE A-A AND I-I
 SCALE: 1/8" = 1'-0"
 0 10' 20' 30' 40' 50'



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
 LIC. NO. 15,863

- CONSULTANTS
1. SURVEY & TOPOGRAPHY (ALBERTO RODRIGUEZ E&E, No. 18,655)
 2. CIVIL (JORGE L. PÉREZ RUIZ, No. 15,863)
 3. ARCHITECTURAL (JORGE L. PÉREZ RUIZ E&E, No. 15,863)
 4. STRUCTURAL (JOSE CRISTÓBAL, No. 1,998)

NOTE
 Yo, Jorge Pérez, Licencia No. 15,863, certifico que soy el autor de este plano que incluye todos los datos necesarios para la ejecución de la obra y que el mismo cumple con los requisitos establecidos en el Reglamento General de Construcción de la Junta Municipal de Puerto Rico. Asimismo, certifico que el proyecto de construcción cumple con los requisitos establecidos en el Reglamento de Construcción de la Junta Municipal de Puerto Rico. Este plano fue aprobado por la Junta Municipal de Puerto Rico el día 15 de mayo de 2014, según consta en el acta de la sesión de la Junta Municipal de Puerto Rico. Este plano fue aprobado por la Junta Municipal de Puerto Rico el día 15 de mayo de 2014, según consta en el acta de la sesión de la Junta Municipal de Puerto Rico. Este plano fue aprobado por la Junta Municipal de Puerto Rico el día 15 de mayo de 2014, según consta en el acta de la sesión de la Junta Municipal de Puerto Rico.



WORKING DRAWINGS FOR:
PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
CALLE F DEGETAU #35
JUANA DIAZ, PUERTO RICO

DRAWING NAME
PROPOSED SITE PLAN
MATCH LINE 4-4 TO 5-5
AND A-A

SCALE: 1/16" = 1'-0"	REVISION DATE: APR 2014
DRAWN BY: EMP, AIT	CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DRAWING NO: A-104	SHEET NO: 99 OF 125

IMPORTANT NOTES:

1. ALL CURBS AND GUTTERS TO REMAIN, WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMOS DONE, MATCH WHERE THE NEW SECTION MEETS EXISTING MATCH CURB HEIGHT TO EXISTING.
2. VERIFY PAVEMENT ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
3. AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
4. THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAVES SECTION GRADE.
5. THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES RE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
6. LONGITUDINAL HANDICAP RAMPS WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK.
7. HANDICAP MAIN RAMP SLOPES SHALL NOT BE GREATER THAN 8.3%, ACCESS RAMP SLOPE FROM TREES GUTTER TO MAIN RAMPS SHALL NO BE GREATER THAN 2%.
8. CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT, OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
9. EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
10. NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
11. ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED, REFER TO LANDSCAPE SHEETS.
12. ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
13. ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
14. EXISTING TREES SHALL REMAIN.
15. FROM INTERSECTION 9 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT, MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
16. WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
17. IF THE PRIVATE PROPERTY ENTRANCES SLOPES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
18. ALL SEWER GRILLS SHOULD BE REPLACED, ADJUST HEIGHT AS NECESSARY.
19. REFER TO GEOMETRIC CIVIL LAYOUT FOR DIMENSIONS DETAILS.

LEGEND:

- | | | | | | |
|--|---------------------|--|-----------------------|--|--------------------------|
| | TREE/UNCLASSIFIED | | ORNAMENTAL LIGHT POLE | | TRAFFIC SIGN |
| | MANHOLE/ALL CLASS | | POWER POLE | | SANITARY SEWER MH |
| | AAA METER | | UTILITY POLE | | SANITARY SEWER MH |
| | ORNAMENTAL LUMINARY | | LUMINARY POLE | | POWER UTILITY MH |
| | BENCH | | KM MARKER | | EXISTING TREE TO REMAIN |
| | BOLLARD | | INFORMATIVE MODULE | | POITEA FLORIDA=WATTAPAMA |
| | TRASH CAN | | | | |



PROPOSED SITE PLAN MATCH LINE 2-2 TO 3-3 AND B-B
 SCALE: 1/16" = 1'-0"
 1' 2' 3' 4' 5'



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
 LIC. NO. 15,863

CONSULTANTS
 1. SURVEY & TOPOGRAPHY | ALBERTO RODRIGUEZ S.A. No. 18,655
 2. CIVIL | JORGE L. PÉREZ RUIZ, PE No. 15,863
 3. ARCHITECTURAL | JORGE L. PÉREZ RUIZ S.A. No. 18,655
 4. STRUCTURAL | JOSE CONTRON S.A. No. 19,988

NOTE
 Yo, Jorge Pérez, Licencia No. 15,863, certifico que soy el profesional que elaboré este plano y que este proyecto cumple con todos los requisitos exigidos por las autoridades competentes y que el mismo cumple con los requisitos establecidos en el Reglamento General de Construcción de Edificios y Obras de Ingeniería Civil y que el mismo cumple con los requisitos establecidos en el Reglamento de Construcción de Edificios y Obras de Ingeniería Civil y que el mismo cumple con los requisitos establecidos en el Reglamento de Construcción de Edificios y Obras de Ingeniería Civil y que el mismo cumple con los requisitos establecidos en el Reglamento de Construcción de Edificios y Obras de Ingeniería Civil.



WORKING DRAWINGS FOR:
PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
CALLE F DEGETAU #35
JUANA DIAZ, PUERTO RICO

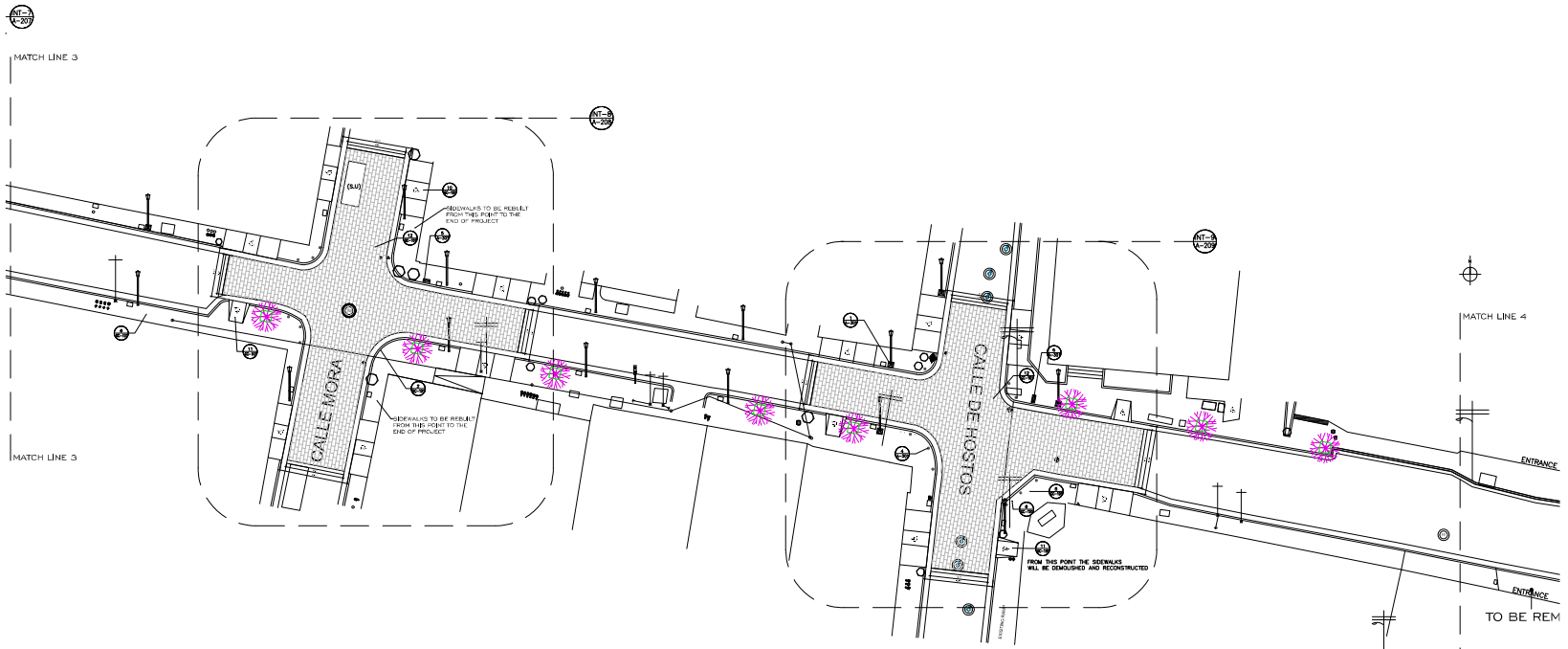
DRAWING NAME
PROPOSED SITE PLAN MATCH LINE 3-3 TO 4-4

SCALE: 1/16" = 1'-0"	BIDDED DATE: JUN 2024
DRAWN BY: EMP, AIT	CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DRAWING NO: A-105	SHEET NO: 125

- IMPORTANT NOTES:**
- ALL CURBS AND GUTTERS TO REMAIN, WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMOS DONE, MATCH WHERE THE NEW SECTION MEETS EXISTING, MATCH CURB HEIGHT TO EXISTING.
 - VERIFY PAVEMENT ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
 - AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
 - THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAPER SECTION GRADE.
 - THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
 - LONGITUDINAL HANDICAP RAMPS WITHIN WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK.
 - HANDICAP MAIN RAMP SLOPES SHALL NOT BE GREATER THAN 8.3%, ACCESS RAMP SLOPE FROM TREES GUTTER TO MAIN RAMPS SHALL NOT BE GREATER THAN 2%.
 - CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT, OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
 - EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
 - NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
 - ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED, REFER TO LANDSCAPE SHEETS.
 - ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
 - ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
 - EXISTING TREES SHALL REMAIN.
 - FROM INTERSECTION 2 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT, MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
 - WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
 - IF THE PRIVATE PROPERTY ENTRANCES SLOPES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
 - ALL SEWER GRILLS SHOULD BE REPLACED, ADJUST HEIGHT AS NECESSARY.
 - REFER TO GEOMETRIC CIVIL LAYOUT FOR DIMENSIONS DETAILS.
 - FROM INTERSECTION 8 THE SIDEWALK ON BOTH SIDES OF THE SIDEWALK WILL BE RECONSTRUCTED.

LEGEND:

○ TREE/UNCLASSIFIED	— ORNAMENTAL LIGHT POLE	○ TRAFFIC SIGN
○ MANHOLE/ALL CLASS	— POWER POLE	○ SANITARY SEWER MH
● AAA METER	— UTILITY POLE	○ SANITARY SEWER MH
⊠ ORNAMENTAL LUMINARY	— LUMINARY POLE	○ POWER UTILITY MH
▭ BENCH	— KM MARKER	○ EXISTING TREE TO REMAIN
● BOLLARD	■ INFORMATIVE MODULE	✿ POITEA FLORIDA=WATTAPAMA
□ TRASH CAN		



PROPOSED SITE PLAN MATCH LINE 3-3 TO 4-4
 SCALE: 1/16" = 1'-0"
 1" = 10' 20' 30' 40' 50'



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
 LIC. NO. 15,863

CONSULTANTS
 1. SURVEY & TOPOGRAPHY (ALBERTO RODRIGUEZ S&C, No. 18,655)
 2. CIVIL (JORGE L. PÉREZ RUIZ, No. 15,863)
 3. ARCHITECTURAL (JORGE L. PÉREZ RUIZ S&C, No. 18,801)
 4. STRUCTURAL (JOSE CINTRON S&C, No. 19,968)

NOTE
 Yo, Jorge Pérez, (Licencia No. 15,863, completo que soy el autor intelectual del presente plano) y las partes firmadas con esta licencia, confirmo que el presente plano cumple con las disposiciones legales del Reglamento General y Código de Construcción de la Ciudad de San Juan, y que he cumplido con todas las obligaciones legales que se le imponen al autor intelectual de este plano de la ciudad de San Juan, y que he cumplido con la Ley No. 147, Ley de Incentivos para la Recuperación Económica y Cultural de San Juan de 1978, según sus modificaciones. Este plano de 1978, según sus modificaciones, según sus modificaciones que causan la eliminación de la fabricación de los planos que se han producido por el uso de los medios electrónicos, o por otros medios que el autor intelectual de este plano no ha autorizado. Yo, Jorge Pérez, y las partes firmadas con esta licencia, confirmo que el presente plano cumple con la Ley No. 147.



WORKING DRAWINGS FOR:
 PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
 CALLE F DEGETAU #35
 JUANA DIAZ, PUERTO RICO

DRAWING NAME
PROPOSED SITE PLAN MATCH LINE 2-2 TO 3-3

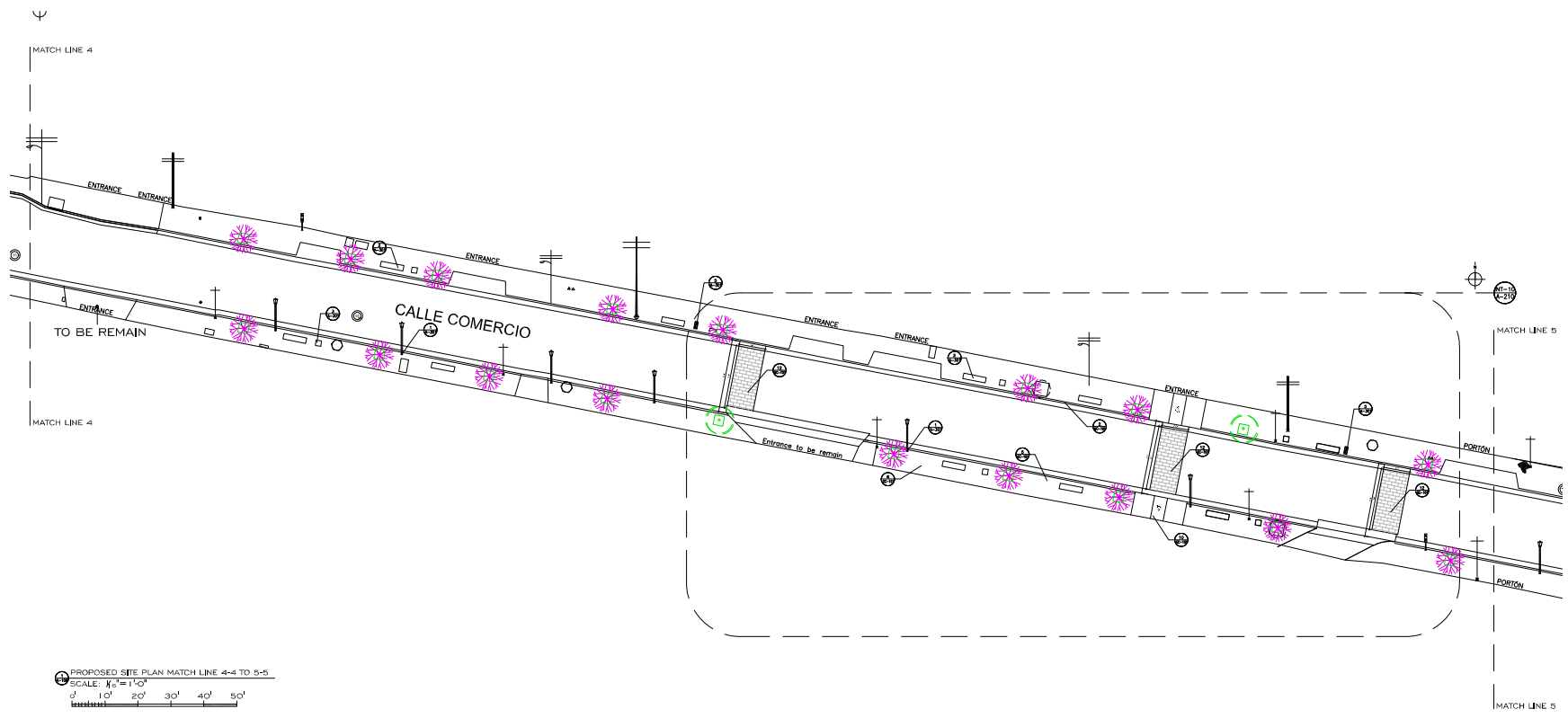
SCALE: 1/16" = 1'-0"	BIDDER DATE: JUL 2024
DRAWN BY: EMP, AIT	CHECKED BY: JORGE L. PEREZ RUIZ, PE
DRAWING NO. A-106	SHEET NO. 1 OF 25

IMPORTANT NOTES:

- ALL CURBS AND GUTTERS TO REMAIN, WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMOS DONE, MATCH WHERE THE NEW SECTION MEETS EXISTING, MATCH CURB HEIGHT TO EXISTING.
- VERIFY PAVEMENT ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
- AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
- THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAPER SECTION GRADES.
- THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
- LONGITUDINAL HANDICAP RAMPS WITHIN WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK.
- HANDICAP MAIN RAMP SLOPES SHALL NOT BE GREATER THAN 8.3%, ACCESS RAMP SLOPE FROM TREES GUTTER TO MAIN RAMPS SHALL NOT BE GREATER THAN 2%.
- CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT, OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
- EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
- NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
- ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED, REFER TO LANDSCAPE SHEETS.
- ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
- ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
- EXISTING TREES SHALL REMAIN.
- FROM INTERSECTION 2 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT, MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
- WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
- IF THE PRIVATE PROPERTY ENTRANCES SLOPES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
- ALL SEWER GRILLS SHOULD BE REPLACED, ADJUST HEIGHT AS NECESSARY.
- REFER TO GEOMETRIC CIVIL LAYOUT FOR DIMENSIONS DETAILS.
- FROM INTERSECTION 8 THE SIDEWALK ON BOTH SIDES OF THE SIDEWALK WILL BE RECONSTRUCTED.

LEGEND:

- TREE/UNCLASSIFIED
- MANHOLE/ALL CLASS
- AAA METER
- ORNAMENTAL LUMINARY
- BENCH
- BOLLARD
- TRASH CAN
- ORNAMENTAL LIGHT POLE
- POWER POLE
- UTILITY POLE
- LUMINARY POLE
- KM MARKER
- INFORMATIVE MODULE
- TRAFFIC SIGN
- SANITARY SEWER MH
- SANITARY SEWER MH
- POWER UTILITY MH
- EXISTING TREE TO REMAIN
- POITEA FLORIDA=WATTAPAMA



PROPOSED SITE PLAN MATCH LINE 4-4 TO 5-5
 SCALE: 1/16" = 1'-0"



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
 LIC. NO. 15,863

- CONSULTANTS
1. SURVEY & TOPOGRAPHY (ALBERTO RODRIGUEZ E&C, No. 18,655)
 2. CIVIL (JORGE L. PÉREZ RUIZ, No. 15,863)
 3. ARCHITECTURAL (JORGE L. PÉREZ RUIZ E&C, No. 18,655)
 4. STRUCTURAL (JOSE CONTRON E&C, No. 19,988)

NOTE
 Yo, Jorge Pérez, Licencia No. 15,863, certifico que soy el autor de este plano que incluye planos y secciones de un proyecto de construcción de un edificio comercial con un área de construcción de 10,000 metros cuadrados y un área de estacionamiento de 100 espacios para vehículos. Este plano fue elaborado en cumplimiento de la Ley de Ordenamiento Territorial y del Reglamento de Construcción de Edificios Comerciales de Puerto Rico, y de acuerdo con los planos de ingeniería de estructura y mecánica que se adjuntan a este proyecto. Este plano fue elaborado en cumplimiento de la Ley de Ordenamiento Territorial y del Reglamento de Construcción de Edificios Comerciales de Puerto Rico, y de acuerdo con los planos de ingeniería de estructura y mecánica que se adjuntan a este proyecto. Este plano fue elaborado en cumplimiento de la Ley de Ordenamiento Territorial y del Reglamento de Construcción de Edificios Comerciales de Puerto Rico, y de acuerdo con los planos de ingeniería de estructura y mecánica que se adjuntan a este proyecto.



WORKING DRAWINGS FOR:
 PR-CRP-000437
 RUTA DE LOS TRES SANTOS REYES
 CALLE F DEGETAU # 35
 JUANA DIAZ, PUERTO RICO

DRAWING NAME
 PROPOSED LANDSCAPE
 SITE PLAN MATCH LINE
 1-1 TO 2-2

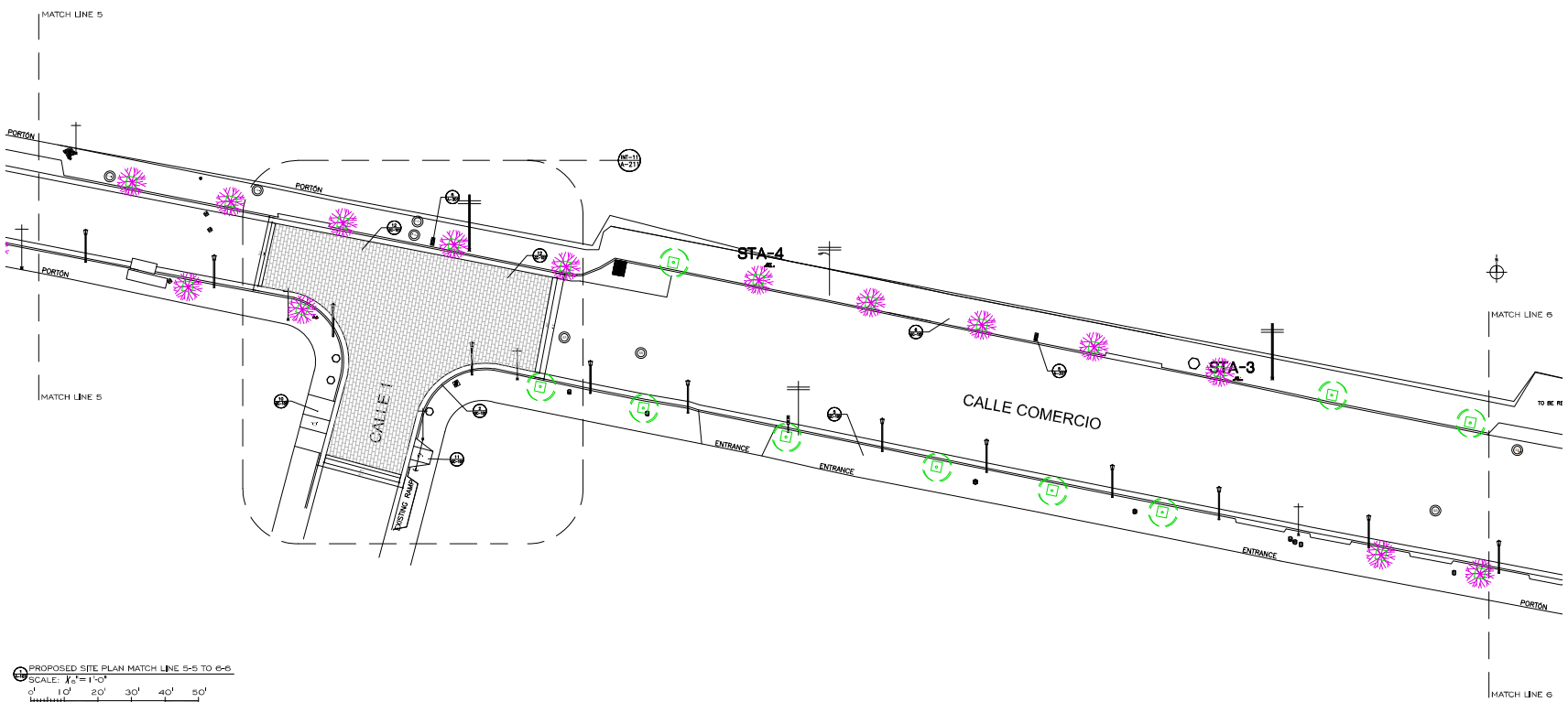
SCALE: 1/16" = 1'-0"	BIDEN DATE: JUL 2024
DRAWN BY: EMP, AIT	CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DRAWING NO: A-107	SHEET NO: 102 OF 125

IMPORTANT NOTES:

1. ALL CURBS AND GUTTERS TO REMAIN, WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMOS DONE, MATCH WHERE THE NEW SECTION MEETS EXISTING, MATCH CURB HEIGHT TO EXISTING.
2. VERIFY PAVEMENT ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
3. AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
4. THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAPER SECTION GRADS.
5. THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
6. LONGITUDINAL HANDICAP RAMPS WITH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK.
7. HANDICAP MAIN RAMP SLOPES SHALL NOT BE GREATER THAN 8.3%, ACCESS RAMP SLOPE FROM TREES GUTTER TO MAIN RAMPS SHALL NO BE GREATER THAN 2%.
8. CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT, OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
9. EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
10. NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
11. ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED, REFER TO LANDSCAPE SHEETS.
12. ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
13. ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
14. EXISTING TREES SHALL REMAIN.
15. FROM INTERSECTION 2 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT, MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
16. WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
17. IF THE PRIVATE PROPERTY ENTRANCES SLOPES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
18. ALL SEWER GRILLS SHOULD BE REPLACED, ADJUST HEIGHT AS NECESSARY.
19. REFER TO GEOMETRIC CIVIL LAYOUT FOR DIMENSIONS DETAILS.
20. FROM INTERSECTION 8 THE SIDEWALK ON BOTH SIDES OF THE SIDEWALK WILL BE RECONSTRUCTED.

LEGEND:

- | | | |
|---------------------|-----------------------|--------------------------|
| TREE/UNCLASSIFIED | ORNAMENTAL LIGHT POLE | TRAFFIC SIGN |
| MANHOLE/ALL CLASS | POWER POLE | SANITARY SEWER MH |
| AAA METER | UTILITY POLE | SANITARY SEWER MH |
| ORNAMENTAL LUMINARY | LUMINARY POLE | POWER UTILITY MH |
| BENCH | KM MARKER | EXISTING TREE TO REMAIN |
| BOLLARD | INFORMATIVE MODULE | POITEA FLORIDA=WATTAPAMA |
| TRASH CAN | | |



PROPOSED SITE PLAN MATCH LINE 5-5 TO 6-6
 SCALE: 1/16" = 1'-0"



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
 LIC. NO. 15,863

CONSULTANTS
 1. SURVEY & TOPOGRAPHY | ALBERTO RODRIGUEZ S.A. No. 18,855
 2. CIVIL | JORGE L. PÉREZ RUIZ, PE No. 15,863
 3. ARCHITECTURAL | JORGE L. PÉREZ RUIZ S.A. No. 15,863
 4. STRUCTURAL | JOSE CONTRON S.A. No. 15,998

NOTE
 Yo, Jorge Pérez, Ingeniero No. 15,863, certifico que soy el autor de este plano que representa el Proyecto de Obra de Reconstrucción de la Parada de Autobuses Tumbes, ubicada en el barrio de Tumbes, Municipio de San Juan, Puerto Rico. Este plano fue elaborado en cumplimiento de los requisitos establecidos en el Reglamento de Contratos de Construcción de Obras de Infraestructura Pública del Departamento de Obras Públicas de la Autoridad de Puerto Rico, y en cumplimiento de los requisitos establecidos en el Reglamento de Contratos de Construcción de Obras de Infraestructura Pública del Departamento de Obras Públicas de la Autoridad de Puerto Rico. Este plano fue elaborado en cumplimiento de los requisitos establecidos en el Reglamento de Contratos de Construcción de Obras de Infraestructura Pública del Departamento de Obras Públicas de la Autoridad de Puerto Rico, y en cumplimiento de los requisitos establecidos en el Reglamento de Contratos de Construcción de Obras de Infraestructura Pública del Departamento de Obras Públicas de la Autoridad de Puerto Rico.



WORKING DRAWINGS FOR:
PR-CRP-000437
 RUTA DE LOS TRES SANTOS REYES
 CALLE F DEGETAU #35
 JUANA DIAZ, PUERTO RICO

DRAWING NAME
 PROPOSED SITE PLAN
 MATCH LINE 1-1 TO
 END OF PROJECT

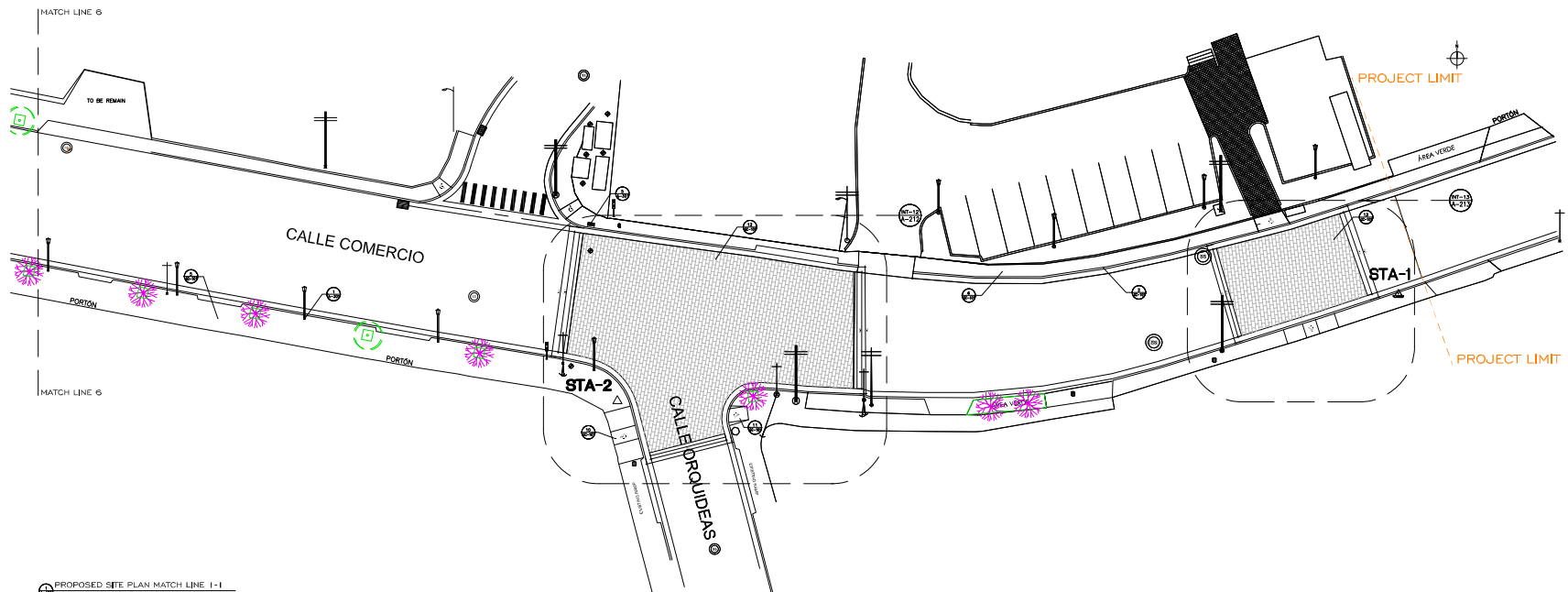
SCALE: 1/16" = 1'-0"	BIDDED DATE: JUL 2024
DRAWN BY: EMP. AIT	CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DRAWING NO: A-108	SHEET NO: 03 OF 25

IMPORTANT NOTES:

- ALL CURBS AND GUTTERS TO REMAIN, WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMOS DONE, MATCH WHERE THE NEW SECTION MEETS EXISTING, MATCH CURB HEIGHT TO EXISTING.
- VERIFY PAVEMENT ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
- AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
- THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAPER SECTION GRADES.
- THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
- LONGITUDINAL HANDICAP RAMPS WITHIN WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK.
- HANDICAP MAIN RAMP SLOPES SHALL NOT BE GREATER THAN 8.3%, ACCESS RAMP SLOPE FROM TREES GUTTER TO MAIN RAMPS SHALL NOT BE GREATER THAN 2%.
- CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT, OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
- EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
- NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
- ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED, REFER TO LANDSCAPE SHEETS.
- ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
- ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
- EXISTING TREES SHALL REMAIN.
- FROM INTERSECTION 8 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT, MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
- WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
- IF THE PRIVATE PROPERTY ENTRANCES SLOPES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
- ALL SEWER GRILLS SHOULD BE REPLACED, ADJUST HEIGHT AS NECESSARY.
- REFER TO GEOMETRIC CIVIL LAYOUT FOR DIMENSIONS DETAILS.
- FROM INTERSECTION 8 THE SIDEWALK ON BOTH SIDES OF THE SIDEWALK WILL BE RECONSTRUCTED.

LEGEND:

	TREE/UNCLASSIFIED		ORNAMENTAL LIGHT POLE		TRAFFIC SIGN
	MANHOLE/ALL CLASS		POWER POLE		SANITARY SEWER MH
	AAA METER		UTILITY POLE		SANITARY SEWER MH
	ORNAMENTAL LUMINARY		LUMINARY POLE		POWER UTILITY MH
	BENCH		KM MARKER		EXISTING TREE TO REMAIN
	BOLLARD		INFORMATIVE MODULE		POITEA FLORIDA=WATTAPAMA
	TRASH CAN				



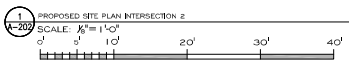
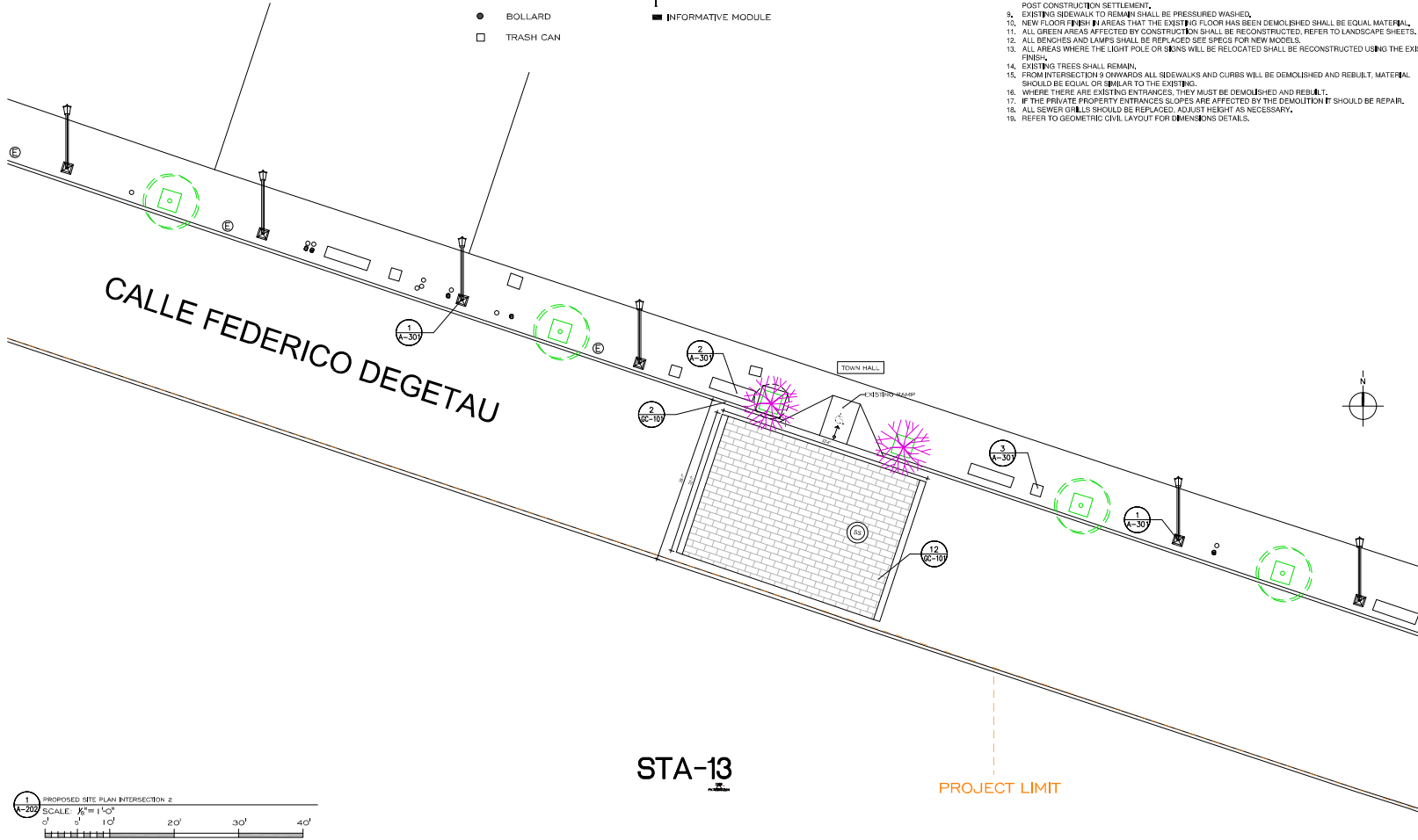
PROPOSED SITE PLAN MATCH LINE 1-1
 SCALE: 1/16" = 1'-0"
 0' 10' 20' 30' 40' 50'

LEGEND:

○ TREE/UNCLASSIFIED	○ ORNAMENTAL LIGHT POLE	○ TRAFFIC SIGN
○ MANHOLE/ALL CLASS	○ POWER POLE	○ SANITARY SEWER MH
○ AAA METER	○ UTILITY POLE	○ SANITARY SEWER MH
⊠ ORNAMENTAL LUMINARY	○ LUMINARY POLE	○ POWER UTILITY MH
▭ BENCH	○ KM MARKER	
● BOLLARD	■ INFORMATIVE MODULE	
□ TRASH CAN		

IMPORTANT NOTES:

- ALL CURBS AND GUTTERS TO REMAIN WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMO IS DONE. MATCH WHERE THE NEW SECTION MEETS EXISTING. MATCH CURB HEIGHT TO EXISTING.
- VERIFY PAVEMENT ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
- AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
- THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAVEMENT SECTION GRADE.
- THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
- LONGITUDINAL HANDICAP RAMPS WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK.
- HANDICAP MAIN RAMP SLOPES SHALL NOT BE GREATER THAN 0.3%. ACCESS RAMP SLOPE FROM TREES GUTTER TO MAIN RAMPS SHALL NOT BE GREATER THAN 5%.
- CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT, OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
- EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
- NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
- ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED. REFER TO LANDSCAPE SHEETS.
- ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
- ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
- EXISTING TREES SHALL REMAIN.
- FROM INTERSECTION 9 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT. MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
- WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
- IF THE PRIVATE PROPERTY ENTRANCES SLOPES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
- ALL SEWER GRILLS SHOULD BE REPLACED. ADJUST HEIGHT AS NECESSARY.
- ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
- REFER TO GEOMETRIC CIVIL LAYOUT FOR DIMENSIONS DETAILS.



STA-13

PROJECT LIMIT



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
Lic. No. 15,863

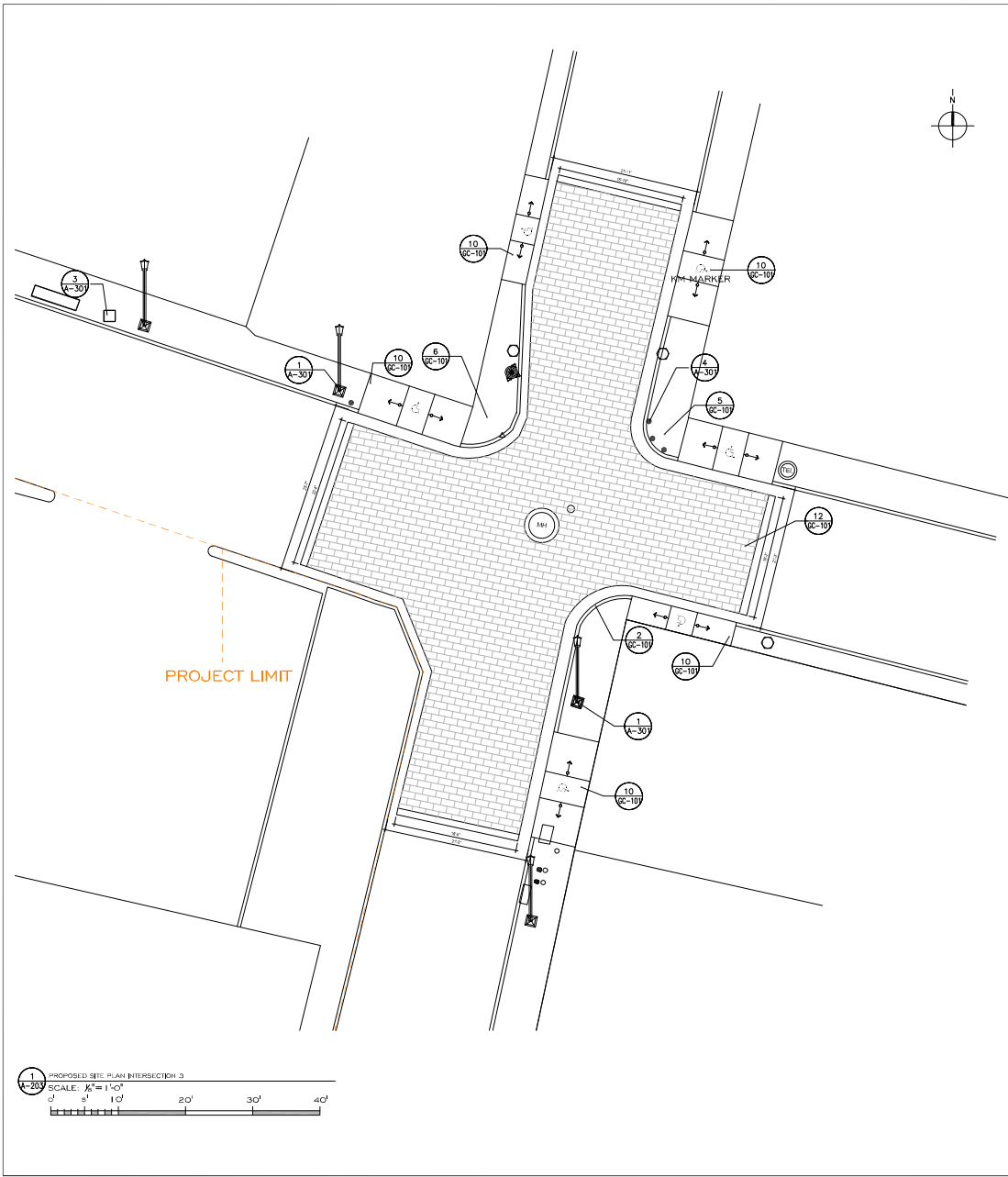
CONSULTANTS
1. SURVEY & TOPOGRAPHY | ALBERTO RODRÍGUEZ (Lic. No. 15,863)
2. CIVIL | JORGE L. PÉREZ RUIZ (Lic. No. 15,863)
3. ARCHITECTURAL | JORGE L. PÉREZ RUIZ (Lic. No. 15,863)
4. STRUCTURAL | JOSÉ QUIJÓN (Lic. No. 1,928)

NOTE
15. JORGE RUIZ, Licencia No. 15.863, garantiza que este instrumento que presenta tiene carácter de expediente de cumplimiento de deberes, contenido de acuerdo con las disposiciones legales que rigen el Procedimiento Administrativo y el ejercicio de las competencias de la Agencia, cuando representaciones o correspondencias que forman parte de este expediente se refieren al contrato con los dispositivos de la ley 108 de 1998. Este es el caso de TODOS los documentos que forman parte de este expediente con excepción de los que están en los anexos 1 y 2 de este expediente. Este es el caso de TODOS los documentos que forman parte de este expediente con excepción de los que están en los anexos 1 y 2 de este expediente. Este es el caso de TODOS los documentos que forman parte de este expediente con excepción de los que están en los anexos 1 y 2 de este expediente.



WORKING DRAWINGS FOR:
PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
CALLE F DEGETAU # 35
JUANA DIAZ, PUERTO RICO

DRAWING NAME PROPOSED SITE PLAN INTERSECTION 2	
SCALE: 1/8" = 1'-0"	BIDDEN DATE: MAR 2024
DRAWN BY: EMP., AIT	CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DRAWING NO.: A-202	SHEET NO.: 105 OF 125



IMPORTANT NOTES:

1. ALL CURBS AND GUTTERS TO REMAIN, WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMO IS DONE, MATCH WHERE THE NEW SECTION MEETS EXISTING, MATCH CURB HEIGHT TO EXISTING.
2. VERIFY PAVEMENT ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
3. AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
4. THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAVEMENT SECTION GRADE.
5. THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGES DURING THE DEMOLITION PROCESS.
6. LONGITUDINAL HANDICAP RAMPS WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK.
7. HANDICAP MAIN RAMP SLOPES SHALL NOT BE GREATER THAN 0.3%. ACCESS RAMP SLOPE FROM TREES GUTTER TO MAIN RAMPS SHALL NOT BE GREATER THAN 2%.
8. CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT, OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
9. EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
10. NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
11. ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED. REFER TO LANDSCAPE SHEETS.
12. ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
13. ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
14. EXISTING TREES SHALL REMAIN.
15. FROM INTERSECTION 9 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT. MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
16. WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
17. IF THE PRIVATE PROPERTY ENTRANCES SLOPES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
18. ALL SEWER GRILLS SHOULD BE REPLACED, ADJUST HEIGHT AS NECESSARY.
19. REFER TO GEOMETRIC CIVIL LAYOUT FOR DIMENSIONS DETAILS.

LEGEND:

TREE/UNCLASSIFIED	ORNAMENTAL LIGHT POLE	TRAFFIC SIGN
MANHOLE/ALL CLASS	POWER POLE	SANITARY SEWER MH
AAA METER	UTILITY POLE	SANITARY SEWER MH
ORNAMENTAL LUMINARY	LUMINARY POLE	POWER UTILITY MH
BENCH	KM MARKER	
BOLLARD	INFORMATIVE MODULE	
TRASH CAN		



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
LIC. No. 15,863

CONSULTANTS
1. SURVEY & TOPOGRAPHY | ALBERTO RODRIGUEZ (Lic. No. 15,865)
2. CIVIL | JORGE L. PÉREZ RUIZ (Lic. No. 15,863)
3. ARCHITECTURAL | JORGE L. PÉREZ RUIZ (Lic. No. 15,863)
4. STRUCTURAL | JOSE ORTIZ (Lic. No. 1,908)

NOTE:
Yo, JORGE RUIZ, Licencia No. 15.863, COMPROVO que soy el responsable del presente plano, revisé y verifiqué todas las especificaciones complementarias técnicas, construcciones y materiales que se han especificado en el presente documento, con una experiencia de años en el campo de la Ingeniería Civil y de la Construcción. Asimismo, declaro que el presente plano es el resultado de mis propias especificaciones de diseño y de los datos suministrados por el cliente. Este plano cumple con los requisitos de la Ley Núm. 173 de 1952, que regula la práctica profesional de la Ingeniería Civil en Puerto Rico, y con los requisitos de la Ley Núm. 280 de 1950, que regula la práctica profesional de la Ingeniería Civil en el Estado Libre Asociado de Puerto Rico. Asimismo, declaro que el presente plano es el resultado de mis propias especificaciones de diseño y de los datos suministrados por el cliente. Este plano cumple con los requisitos de la Ley Núm. 173 de 1952, que regula la práctica profesional de la Ingeniería Civil en Puerto Rico, y con los requisitos de la Ley Núm. 280 de 1950, que regula la práctica profesional de la Ingeniería Civil en el Estado Libre Asociado de Puerto Rico. Asimismo, declaro que el presente plano es el resultado de mis propias especificaciones de diseño y de los datos suministrados por el cliente. Este plano cumple con los requisitos de la Ley Núm. 173 de 1952, que regula la práctica profesional de la Ingeniería Civil en Puerto Rico, y con los requisitos de la Ley Núm. 280 de 1950, que regula la práctica profesional de la Ingeniería Civil en el Estado Libre Asociado de Puerto Rico.



WORKING DRAWINGS FOR:
PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
CALLE F DEGETAU # 35
JUANA DIAZ, PUERTO RICO

DRAWING NAME
PROPOSED SITE PLAN INTERSECTION 3

SCALE: 1/8" = 1'-0" BIDDEN DATE: MAR 2024
DRAWN BY: JORGE L. PÉREZ RUIZ, PE CHECKED BY:
EMP. / AIT
DRAWING NO. SHEET NO.
A-203 106 OF 125



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
 LIC. No. 15,863

CONSULTANTS
 1. SURVEY & TOPOGRAPHY | ALBERTO RODRIGUEZ (Lic. No. 15,865)
 2. CIVIL | JORGE L. PÉREZ RUIZ (Lic. No. 15,863)
 3. ARCHITECTURAL | JORGE L. PÉREZ RUIZ (Lic. No. 15,863)
 4. STRUCTURAL | JOSE OMBIRON (Lic. No. 1,908)

NOTE
 10. JORGE RUIZ, Licencia No. 15,863, garantiza que este es un plano de obra que cumple con los requisitos de la Ley de Obras Públicas y que el profesional responsable de la obra es el profesional responsable de la obra. Este documento es una copia de un documento electrónico que se encuentra en el sistema de información de la Corporación de Planificación Urbana y Construcción de la Autoridad Metropolitana de Puerto Rico. Este documento es una copia de un documento electrónico que se encuentra en el sistema de información de la Corporación de Planificación Urbana y Construcción de la Autoridad Metropolitana de Puerto Rico. Este documento es una copia de un documento electrónico que se encuentra en el sistema de información de la Corporación de Planificación Urbana y Construcción de la Autoridad Metropolitana de Puerto Rico.



WORKING DRAWINGS FOR:
PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
CALLE F. DEGETAU # 35
JUANA DIAZ, PUERTO RICO

DRAWING NAME
PROPOSED SITE PLAN
INTERSECTION 7

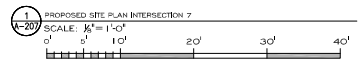
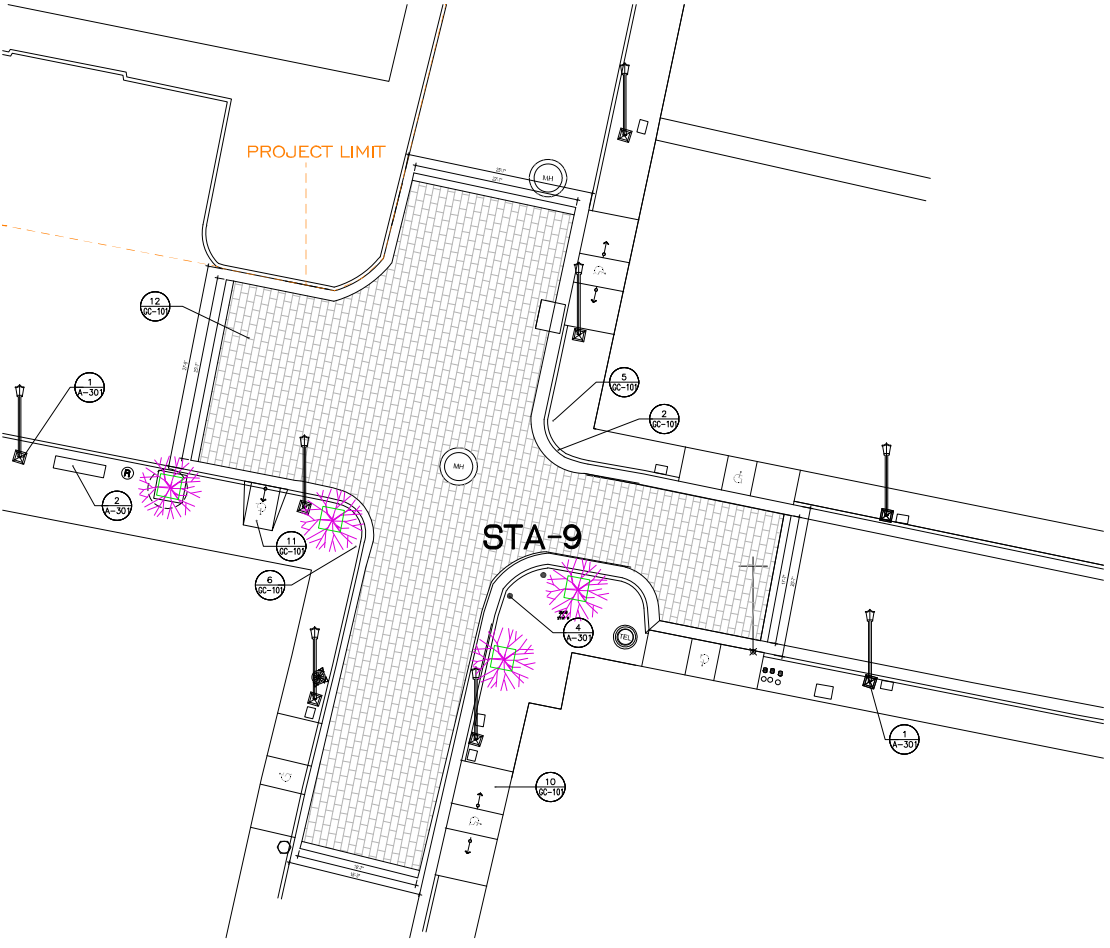
SCALE: 1/8" = 1'-0"	BIDDED DATE: JUN 2024
DRAWN BY: EMP, AIT	CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DRAWING NO.: A-207	SHEET NO.: 110 OF 125

IMPORTANT NOTES:

1. ALL CURBS AND GUTTERS TO REMAIN, WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMO IS DONE, MATCH WHERE THE NEW SECTION MEETS EXISTING, MATCH CURB HEIGHT TO EXISTING.
2. VERIFY PAVEMENT ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
3. AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
4. THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAYER SECTION GRADE.
5. THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGES DURING THE DEMOLITION PROCESS.
6. LONGITUDINAL HANDICAP RAMP WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK.
7. HANDICAP MAIN RAMP SLOPES SHALL NOT BE GREATER THAN 0.3%. ACCESS RAMP SLOPE FROM TREES/GUTTER TO MAIN RAMPS SHALL NOT BE GREATER THAN 0.2%.
8. CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT, OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
9. EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
10. NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
11. ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED. REFER TO LANDSCAPE SHEETS.
12. ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
13. ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
14. EXISTING TREES SHALL REMAIN.
15. FROM INTERSECTION 9 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT, MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
16. WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
17. IF THE PRIVATE PROPERTY ENTRANCES SLOPES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
18. ALL SEWER DRILLS SHOULD BE REPLACED, ADJUST HEIGHT AS NECESSARY.
19. REFER TO GEOMETRIC CIVIL LAYOUT FOR DIMENSIONS DETAILS.

LEGEND:

TREE/UNCLASSIFIED	ORNAMENTAL LIGHT POLE	TRAFFIC SIGN
MANHOLE/ALL CLASS	POWER POLE	SANITARY SEWER MH
AAA METER	UTILITY POLE	SANITARY SEWER MH
ORNAMENTAL LUMINARY	LUMINARY POLE	POWER UTILITY MH
BENCH	KM MARKER	
BOLLARD	INFORMATIVE MODULE	
TRASH CAN		





APPROVED BY
JORGE L. PÉREZ RUIZ, PE
 Lic. No. 15,863

CONSULTANTS
 1. SURVEY & TOPOGRAPHY | ALBERTO RODRIGUEZ (Lic. No. 16,828)
 2. CIVIL | JORGE L. PÉREZ RUIZ (Lic. No. 15,863)
 3. ARCHITECTURAL | JORGE L. PÉREZ RUIZ (Lic. No. 15,863)
 4. STRUCTURAL | JOSE CINTRON (Lic. No. 1,908)

NOTE
 10. JORGE PEREZ, Licencia No. 15,863, garantiza que esta información fue obtenida de los planos y los expedientes complementados, controlado por el personal que se mencionó en el presente documento con sus respectivos antecedentes del Poder Judicial. El presente documento es una obra de ingeniería y no garantiza la exactitud de la información contenida en ella. El presente documento es una obra de ingeniería y no garantiza la exactitud de la información contenida en ella. El presente documento es una obra de ingeniería y no garantiza la exactitud de la información contenida en ella. El presente documento es una obra de ingeniería y no garantiza la exactitud de la información contenida en ella.



WORKING DRAWINGS FOR:
PR-CRP-000437
 RUTA DE LOS TRES SANTOS REYES
 CALLE F DEGETAU # 35
 JUANA DIAZ, PUERTO RICO

DRAWING NAME
**PROPOSED SITE PLAN
 INTERSECTION 12**

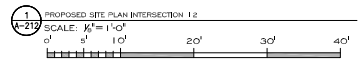
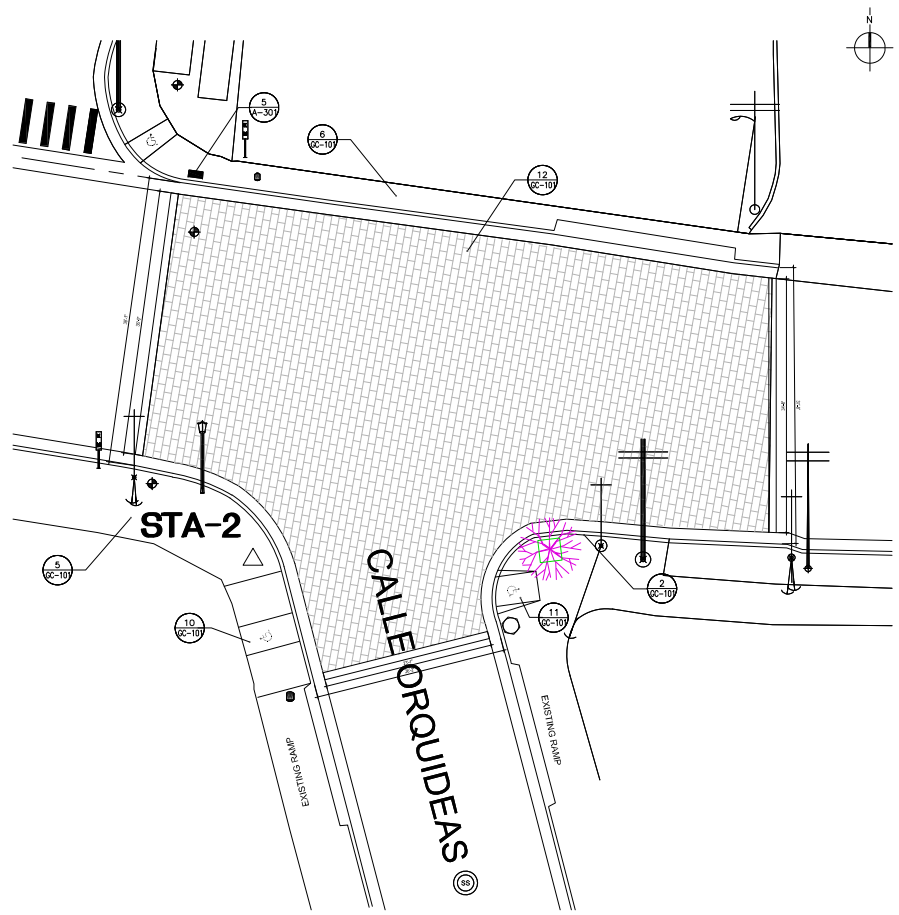
SCALE: 1/8" = 1'-0"	BIDDER DATE: MAR 2024
DRAWN BY: EMP, AIT	CHECKED BY: JORGE L. PEREZ RUIZ, PE
DRAWING NO. A-212	SHEET NO. 115 OF 125

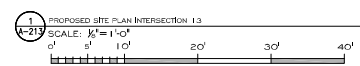
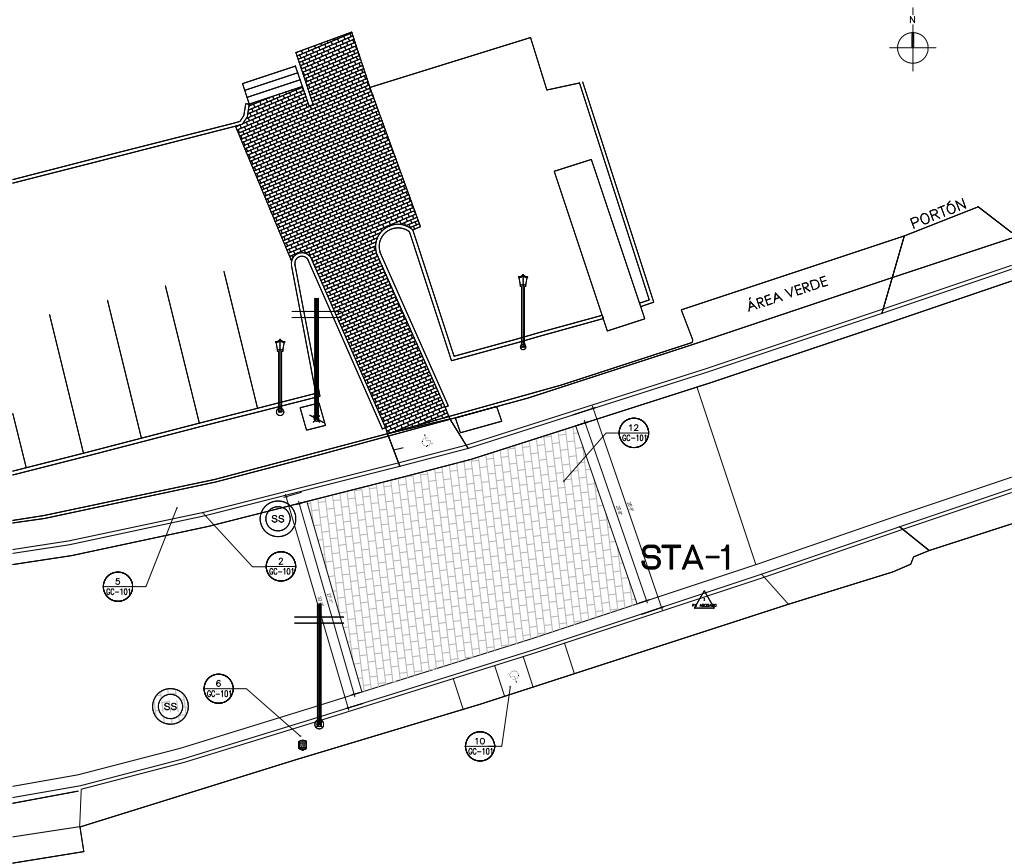
IMPORTANT NOTES:

- ALL CURBS AND GUTTERS TO REMAIN, WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMO IS DONE, MATCH WHERE THE NEW SECTION MEETS EXISTING, MATCH CURB HEIGHT TO EXISTING.
- VERIFY PAVEMENT ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
- AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
- THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAVEMENT SECTION GRADE.
- THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGES DURING THE DEMOLITION PROCESS.
- LONGITUDINAL HANDICAP RAMP WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK.
- HANDICAP MAIN RAMP SLOPES SHALL NOT BE GREATER THAN 0.3%. ACCESS RAMP SLOPE FROM TREES GUTTER TO MAIN RAMPS SHALL NOT BE GREATER THAN 0.3%.
- CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT, OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
- EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
- NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
- ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED. REFER TO LANDSCAPE SHEETS.
- ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
- ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
- EXISTING TREES SHALL REMAIN.
- FROM INTERSECTION 9 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT. MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
- WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
- IF THE PRIVATE PROPERTY ENTRANCES SLOPES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
- ALL SEWER GRILLS SHOULD BE REPLACED, ADJUST HEIGHT AS NECESSARY.
- REFER TO GEOMETRIC CIVIL LAYOUT FOR DIMENSIONS DETAILS.

LEGEND:

- | | | |
|---------------------|-----------------------|-------------------|
| TREE/UNCLASSIFIED | ORNAMENTAL LIGHT POLE | TRAFFIC SIGN |
| MANHOLE/ALL CLASS | POWER POLE | SANITARY SEWER MH |
| AAA METER | UTILITY POLE | SANITARY SEWER MH |
| ORNAMENTAL LUMINARY | LUMINARY POLE | POWER UTILITY MH |
| BENCH | KM MARKER | |
| BOLLARD | INFORMATIVE MODULE | |
| TRASH CAN | | |





IMPORTANT NOTES:

1. ALL CURBS AND GUTTERS TO REMAIN. WHEN REBUILDING THE SECTIONS TAKEN OUT WHEN RAMP DEMO IS DONE, MATCH WHERE THE NEW SECTION MEETS EXISTING. MATCH CURB HEIGHT TO EXISTING.
2. VERIFY PAVEMENT ELEVATIONS ACCORDINGLY TO INSURE THAT THE PERIMETER OF SURFACE WILL MEET THE EXISTING CURB GRADE.
3. AFFECTED PAVEMENT BY DEMOLITION SHOULD BE REPLACED.
4. THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL VALVE COVERS, GRATES AND OTHER UTILITY COVERS CONDITION WITHIN THE PAVEMENT SURFACE AND DETERMINE IF THEY NEED TO BE REPLACED AND OR TOP ELEVATION NEEDS TO BE ADJUSTED TO MEET THE NEW PAVEMENT OR PAVEMENT SECTION GRADE.
5. THE CONTRACTOR SHOULD CONTACT ALL UTILITY COMPANIES AND REQUEST THAT ALL UTILITIES BE DETECTED AND LABELED ACCORDINGLY TO AVOID ANY DAMAGE DURING THE DEMOLITION PROCESS.
6. LONGITUDINAL HANDICAP RAMP WIDTH WILL BE ADJUSTED TO THE WIDTH OF THE EXISTING SIDEWALK.
7. HANDICAP MAIN RAMP SLOPES SHALL NOT BE GREATER THAN 0.3%. ACCESS RAMP SLOPE FROM TREES GUTTER TO MAIN RAMP SHALL NOT BE GREATER THAN 0.3%.
8. CURB SECTIONS TO BE REPLACED LIMITS SHALL BE TO THE EXISTING CONSTRUCTION JOINT. OTHERWISE, THE SECTION HAVE TO BE SAW CUT AND DOWELS INSTALLED AT THE EXISTING SECTION PRIOR CASTING TO AVOID ANY POST CONSTRUCTION SETTLEMENT.
9. EXISTING SIDEWALK TO REMAIN SHALL BE PRESSURED WASHED.
10. NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
11. ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED. REFER TO LANDSCAPE SHEETS.
12. ALL BENCHES AND LAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
13. ALL AREAS WHERE THE LIGHT POLE OR SIGNS WILL BE RELOCATED SHALL BE RECONSTRUCTED USING THE EXISTING FINISH.
14. EXISTING TREES SHALL REMAIN.
15. FROM INTERSECTION 9 ONWARDS ALL SIDEWALKS AND CURBS WILL BE DEMOLISHED AND REBUILT. MATERIAL SHOULD BE EQUAL OR SIMILAR TO THE EXISTING.
16. WHERE THERE ARE EXISTING ENTRANCES, THEY MUST BE DEMOLISHED AND REBUILT.
17. IF THE PRIVATE PROPERTY ENTRANCES SLOPES ARE AFFECTED BY THE DEMOLITION IT SHOULD BE REPAIR.
18. ALL SEWER GRILLS SHOULD BE REPLACED. ADJUST HEIGHT AS NECESSARY.
19. REFER TO GEOMETRIC CIVIL LAYOUT FOR DIMENSIONS DETAILS.

LEGEND:

TREE/UNCLASSIFIED	ORNAMENTAL LIGHT POLE	TRAFFIC SIGN
MANHOLE/ALL CLASS	POWER POLE	SANITARY SEWER MH
AAA METER	UTILITY POLE	SANITARY SEWER MH
ORNAMENTAL LUMINARY	LUMINARY POLE	POWER UTILITY MH
BENCH	KM MARKER	
BOLLARD	INFORMATIVE MODULE	
TRASH CAN		



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
 LIC. No. 15,863

CONSULTANTS
 1. SURVEY & TOPOGRAPHY | ALBERTO RODRIGUEZ (Lic. No. 10,800)
 2. CIVIL | JORGE L. PÉREZ RUIZ (Lic. No. 10,800)
 3. ARCHITECTURAL | JORGE L. PÉREZ RUIZ (Lic. No. 10,800)
 4. STRUCTURAL | JOSE QUINTON (Lic. No. 1,908)

NOTE:
 10. JORGE L. PÉREZ RUIZ, Licencia No. 15,863, garantiza que esta es una representación fiel de la realidad de los datos suministrados y que el presente proyecto cumple con los requisitos técnicos, legales y administrativos necesarios para su ejecución. El presente proyecto es el resultado de un estudio de campo y de un análisis de los datos suministrados. El presente proyecto es el resultado de un estudio de campo y de un análisis de los datos suministrados. El presente proyecto es el resultado de un estudio de campo y de un análisis de los datos suministrados.

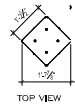


WORKING DRAWINGS FOR:
 PR-CRP-000437
ROUTE OF LOS TRES SANTOS REYES
 CALLE F DEGETAU # 35
 JUANA DIAZ, PUERTO RICO

DRAWING NAME
PROPOSED SITE PLAN INTERSECTION 13

SCALE: 1/8" = 1'-0"	BIDDED DATE: MAR 2024
DRAWN BY: EMP, AIT	CHECKED BY: JORGE L. PÉREZ RUIZ, PE
DRAWING NO. A-213	SHEET NO. 116 OF 125

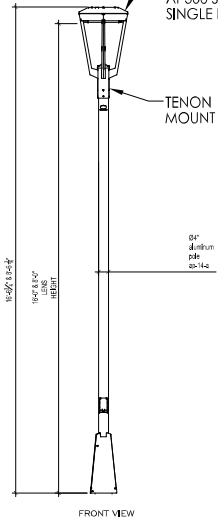
NOTE:
 Yo, Jorge Pérez, Licencia No. 15.863, declaro que soy el profesional que realizó estos planos y los responsabilizo con el ordenamiento de la información que contiene. Declaro que los planos que se presentaron a esta oficina para ser aprobados, fueron elaborados con las herramientas y métodos adecuados, de acuerdo con el código de ética profesional, el Reglamento Profesional, el Código de Ética Profesional y el Código de Ética de la Ingeniería. Asimismo, declaro que no soy responsable de los errores o omisiones que pudieran cometerse en la construcción o en la ejecución de los trabajos que se detallan en los planos. Asimismo, declaro que no soy responsable de los errores o omisiones que pudieran cometerse en la ejecución de los trabajos que se detallan en los planos. En caso de ser necesario, me comprometo a proporcionar el apoyo necesario para la ejecución de los trabajos que se detallan en los planos.



TOP VIEW

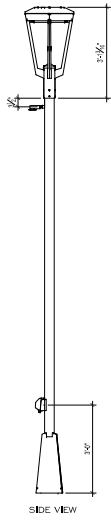
LUMINAIRE
 AP200 OR
 AP300 SERIES
 SINGLE POST TOP

TENON MOUNT



FRONT VIEW

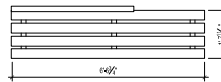
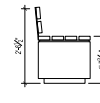
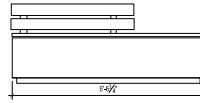
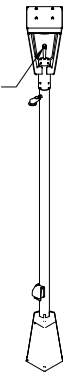
Ø4\"/>
 diameter
 post
 85-142



SIDE VIEW

CENTER ELEMENT

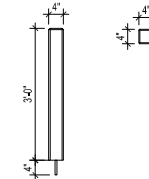
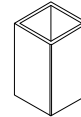
SHOWN WITH
 POWER RECEPTACLE
 OCCUPANCY SENSOR
 BASE COVER



2 BENITO BANCO KUBE PLUS, UM372LP (B0 1)
 SCALE: 1/4\"/>

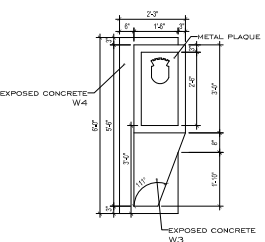


3 BENITO URBAN PAPELERA KUBE PA672 (TO 1)
 SCALE: 1/4\"/>
 SHOULD BE EQUAL OR SIMILAR TO THE SPECIFIED

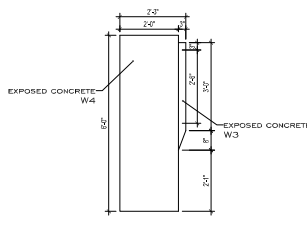


4 BENITO FILONA KUBE H372 (BL)
 SCALE: 1/4\"/>
 SHOULD BE EQUAL OR SIMILAR TO THE

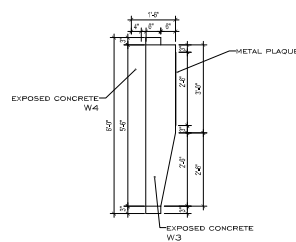
1 ASHBERY AREA LIGHT, LARGE LUMINAIRE, SINGLE POST-TOP (16'-0")
 SCALE: 3/8\"/>
 SHOULD BE EQUAL OR SIMILAR TO THE SPECIFIED



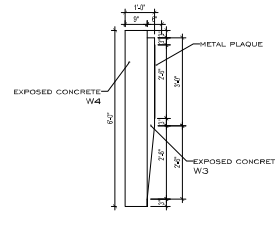
5 INFORMATIVE MODULE FRONT SIDE
 SCALE: 3/8\"/>



INFORMATIVE MODULE BACK SIDE
 SCALE: 3/8\"/>



INFORMATIVE MODULE RIGHT SIDE
 SCALE: 3/8\"/>



INFORMATIVE MODULE LEFT SIDE
 SCALE: 3/8\"/>

VERIFICAR
 IMPORTANT NOTES:

1. ALL CONSTRUCTION AND OR DEMOLITION WORK SHALL BE DONE BETWEEN CONSTRUCTION MATERIAL JOINTS.
2. AFFECTED BY DEMOLITION SHALL BE RECONSTRUCTED.
3. EXISTING SIDEWALK FLOOR TO REMAIN SHALL BE PRESSED WASHED.
4. NEW FLOOR FINISH IN AREAS THAT THE EXISTING FLOOR HAS BEEN DEMOLISHED SHALL BE EQUAL MATERIAL.
5. ALL GREEN AREAS AFFECTED BY CONSTRUCTION SHALL BE RECONSTRUCTED.
6. ALL RAMPS SHALL BE RECONSTRUCTED.
7. ALL BENCHES AND RAMPS SHALL BE REPLACED SEE SPECS FOR NEW MODELS.
8. EXISTING TREES SHALL REMAIN.
9. THE FINAL DESIGN AND INFORMATION FOR THE PLAQUE OF THE INFORMATIVE CONCRETE MODULE WILL BE DETERMINE BY THE OWNER.
10. BRONZE PLAQUE DIMENSIONS OF THE INFORMATIVE MODULE: 2'-0" X 1'-0"
11. REFER TO FINISH SCHEDULE FOR DETAILS
12. INSTALLATION, ANCHORING AND MAINTENANCE INSTRUCTIONS FOR PRE-DESIGNED MODELS SHOULD BE PROVIDED BY THE SUPPLIER.
13. REFER TO STRUCTURAL SHEETS FOR CONCRETE INFORMATIVE MODULE STRUCTURAL DETAILS.



1 MUEBLERIA GUAYABAL CALLE COMERCIO ESQUINA MUÑOZ RIVERA
SCALE: 1/8"=1'-0"

2 MUEBLERIA GUAYABAL CALLE COMERCIO ESQUINA MUÑOZ RIVERA
SCALE: 1/8"=1'-0"

REFERENCE IMAGE:



LEGEND:
■ MURAL AREA

NOTE:
1) B. C52489 - 56.5052 (18)
ART CANVAS DIMENSIONS
50' x 25' (1,250 FT²)



APPROVED BY:
JORGE L. PÉREZ RUIZ, PE
Lic. No. 15,863

CONSULTANTS:

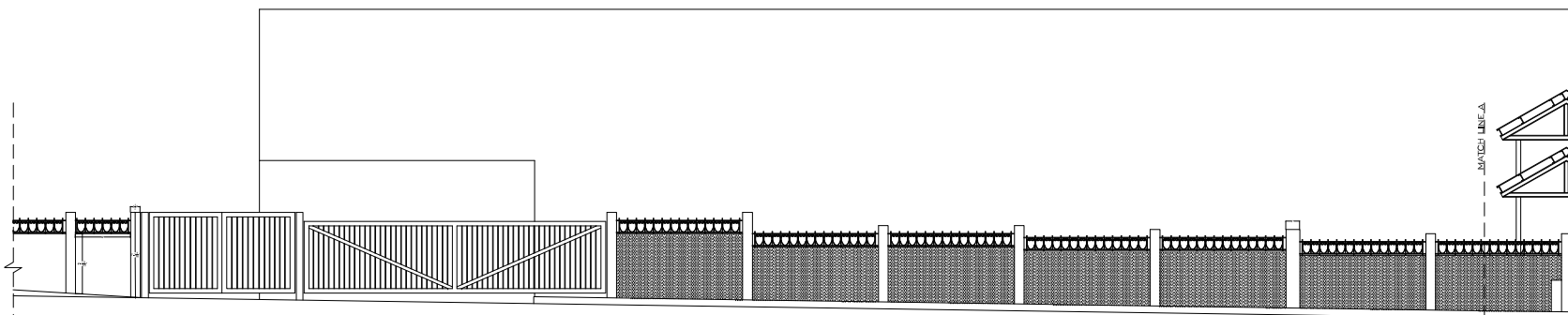
NOTE:
Yo, JORGE PÉREZ RUIZ, LICENCIADO NO. 15,863, CERTIFICO QUE HE HECHO RESPONSIBLE QUE HECHO RESPONDERE A LAS OBLIGACIONES COMO INGENIERO PROFESIONAL, CUMPLIENDO CON LAS DISPOSICIONES ESTABLECIDAS DEL REGLAMENTO CONSTITUCIONAL Y CONSERVACIÓN DEL PATRIMONIO CULTURAL Y COMERCIAL DEL GOBIERNO DE PUERTO RICO, LA LEY 254 DEL 2004, LA LEY 409 DEL 2006, LA LEY 30 DEL 1998, LA LEY 49 DEL 1998, LA LEY 359 DEL 2001 Y LA LEY 60 DEL 2001. EN LA REALIZACIÓN DE ESTO, HE HECHO RESPONSABILIDAD DE LAS OBLIGACIONES QUE SE ME ASIGNAN DE ACORDA CON LA LEY 60 DEL 2001, EN ESPECIAL, LA LEY 359 DEL 2001 Y LA LEY 409 DEL 2006, ASÍ COMO LAS OBLIGACIONES QUE SE ME ASIGNAN EN VIRTUD DE LA LEY 254 DEL 2004, EN ESPECIAL, LA LEY 30 DEL 1998, LA LEY 49 DEL 1998, LA LEY 359 DEL 2001 Y LA LEY 60 DEL 2001. ESTO, SIN PREJUDICAR LA RESPONSABILIDAD QUE CORRESPONDE A LOS PARTICIPANTES EN ESTE PROYECTO POR CUALQUIER INCUMPLIMIENTO DE LAS LEYES QUE SE HAN MENCIONADO, O EN OTROS MATERIALES CON EL CONSENTIMIENTO, HE HECHO RESPONSABLE DE CUALQUIER ACCIÓN JUDICIAL Y ADMINISTRATIVA POR LA OPCIÓN.



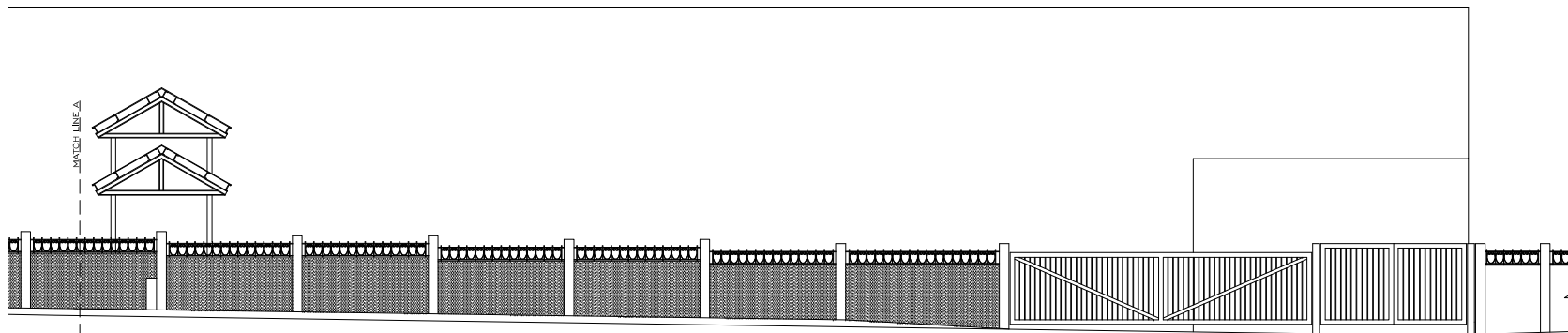
CERTIFICADO:
WORKING DRAWINGS FOR:
PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
CALLE F DEGETAU #35
JUANA DIAZ, PUERTO RICO

DRAWING NAME:
MUEBLERIA GUAYABAL CALLE COMERCIO ELEVATION

SCALE: 1/8"=1'-0"	ISSUED DATE: APR 2024
DRAWN BY: EMP, AT	CHECKED BY: JORGE L. PEREZ RUIZ, PE
DRAWING NO: A-401	SHEET NO: 125



1 ESCUELA RUTHERFORD B. HAYES
SCALE: 1/4" = 1'-0"
0' 1' 2'



2 ESCUELA RUTHERFORD B. HAYES
SCALE: 1/4" = 1'-0"
0' 1' 2'

REFERENCE IMAGE:



LEGEND:
■ MURAL AREA

NOTE:
(18,051906, +66,502910)
ART CANVAS DIMENSIONS
1,300x31 (650 P12)



APPROVED BY:
JORGE L. PÉREZ RUIZ, PE
Lic. No. 15,863

CONSULTANTS:

NOTE:
Yo, JORGE PÉREZ RUIZ, LICENCIADO No. 15,863, CERTIFICO QUE
esta es una obra que he realizado como PEQUEÑO Y LA
RESPONSABILIDAD CORRESPONDIENTE. La obra fue realizada
por mí mismo que he firmado y sellado con mi
firma y sello profesional en el documento. La obra fue
realizada para el cliente, quien me ha autorizado a
ejercer mi profesión pública con el propósito de servir
correcto que la responsabilidad de esta obra es
responsabilidad que no comparto con el propietario de la
obra. La obra se realizó en 2024. Todos los planos
conforman como LA ÚNICA LA INVENTADA POR LA
RESPONSABILIDAD DEL DISEÑO Y CONSTRUCCIÓN. Este plan 3/30 es
El de mayo de 1976, según el artículo 187 del Código de
Ejecución de 1976, sobre el ejercicio de la profesión
del arquitecto, del ingeniero y del geodesta.
Para efectos de los señores que se haya producido por
responsabilidad o por culpa o negligencia de los señores que se
haya o negligencia, o sea culpa o negligencia con el
consentimiento, me hago responsable de cualquier
obra jurídica y administrativa por la obra.

CERTIFICATION

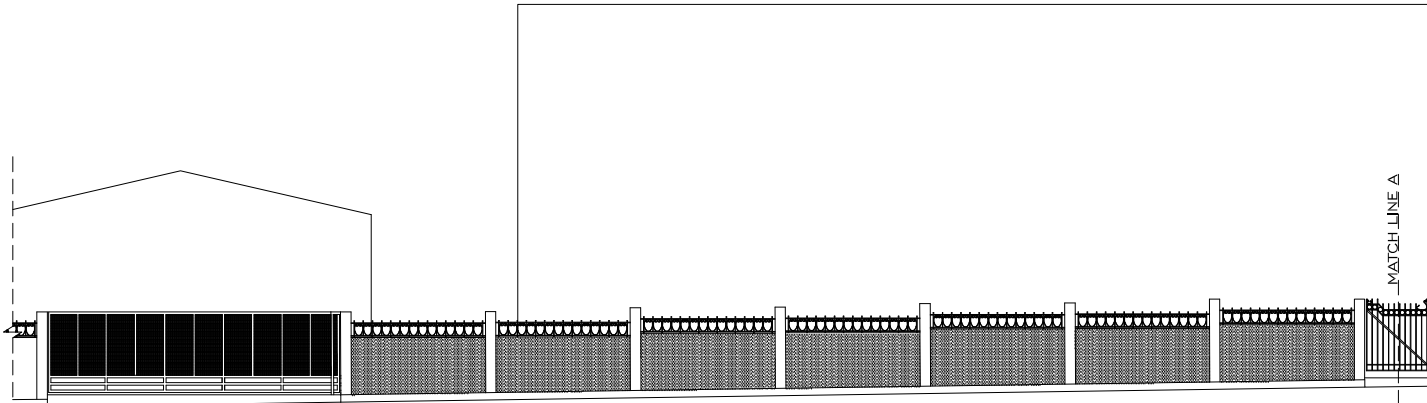


WORKING DRAWINGS FOR:
PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
CALLE F DEGETAU #35
JUANA DIAZ, PUERTO RICO

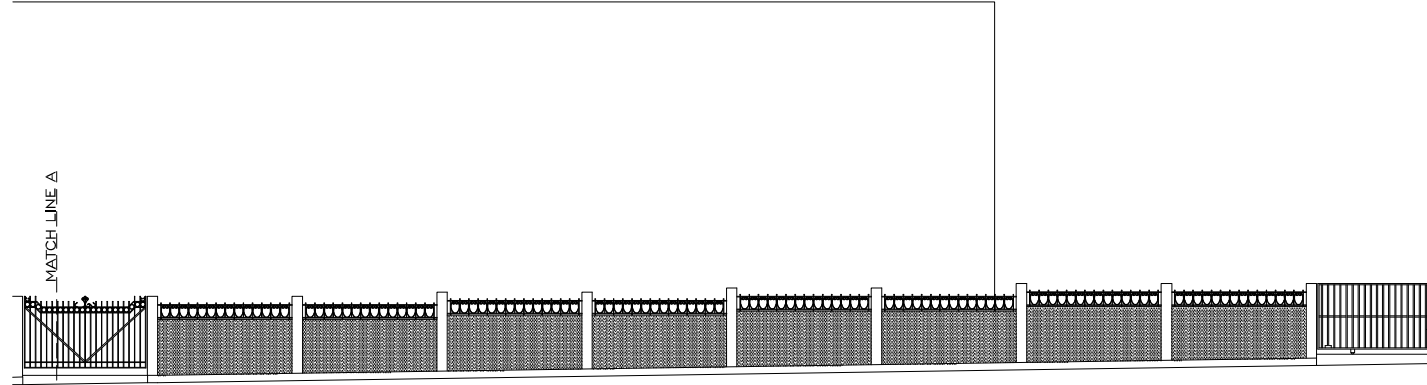
DRAWING NAME:

ESC. RUTHERFORD
B. HAYES ELEVATION
MATCH LINE A

SCALE: 1/4" = 1'-0"	ISSUED DATE: MAY 2024
DRAWN BY: EMP, AIT	CHECKED BY: JORGE L. PEREZ RUIZ, PE
DRAWING NO. A-404	SHEET NO. 121



1
A-405
ESCUELA FERNANDEZ JUNCOS
SCALE: 1/4" = 1'-0"
10' 20'



2
A-405
ESCUELA FERNANDEZ JUNCOS
SCALE: 1/4" = 1'-0"
10' 20'

REFERENCE IMAGE:



LEGEND:
■ MURAL AREA

NOTE:
(1) 8'-052092, -96.502796)
ART CANVAS DIMENSIONS
155x51 (775 FT2)



APPROVED BY:
JORGE L. PÉREZ RUIZ, PE
Lic. No. 15,863

CONSULTANTS:

NOTE:
Yo, Jorge Pérez, Licencia No. 15.863, certifico que soy el profesional que realizó este plano y que me responsabilizo como ingeniero Titular, Licenciado que intervino que el área y obra a ser construída cumple con los dimensionamientos y especificaciones establecidas en el Reglamento Municipal de Obras Públicas y Construcción Pública con sus modificaciones, siempre y cuando que la Intendencia de Obras Públicas y Construcción se le otorga el permiso de obra y que la Intendencia de Obras Públicas y Construcción se le otorga el permiso de obra. Es de aviso que el presente plano, certificado, ley suscrita de acuerdo al Art. 178 del Reglamento Municipal de Obras Públicas y Construcción y que se garantiza que el presente plano y certificado de los planos que se le otorga por el profesional o quien lo autoriza en su nombre con el consentimiento del cliente responsable de cualquier acto jurídico, y obediencia por la OPR.

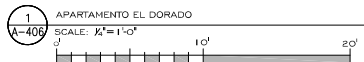
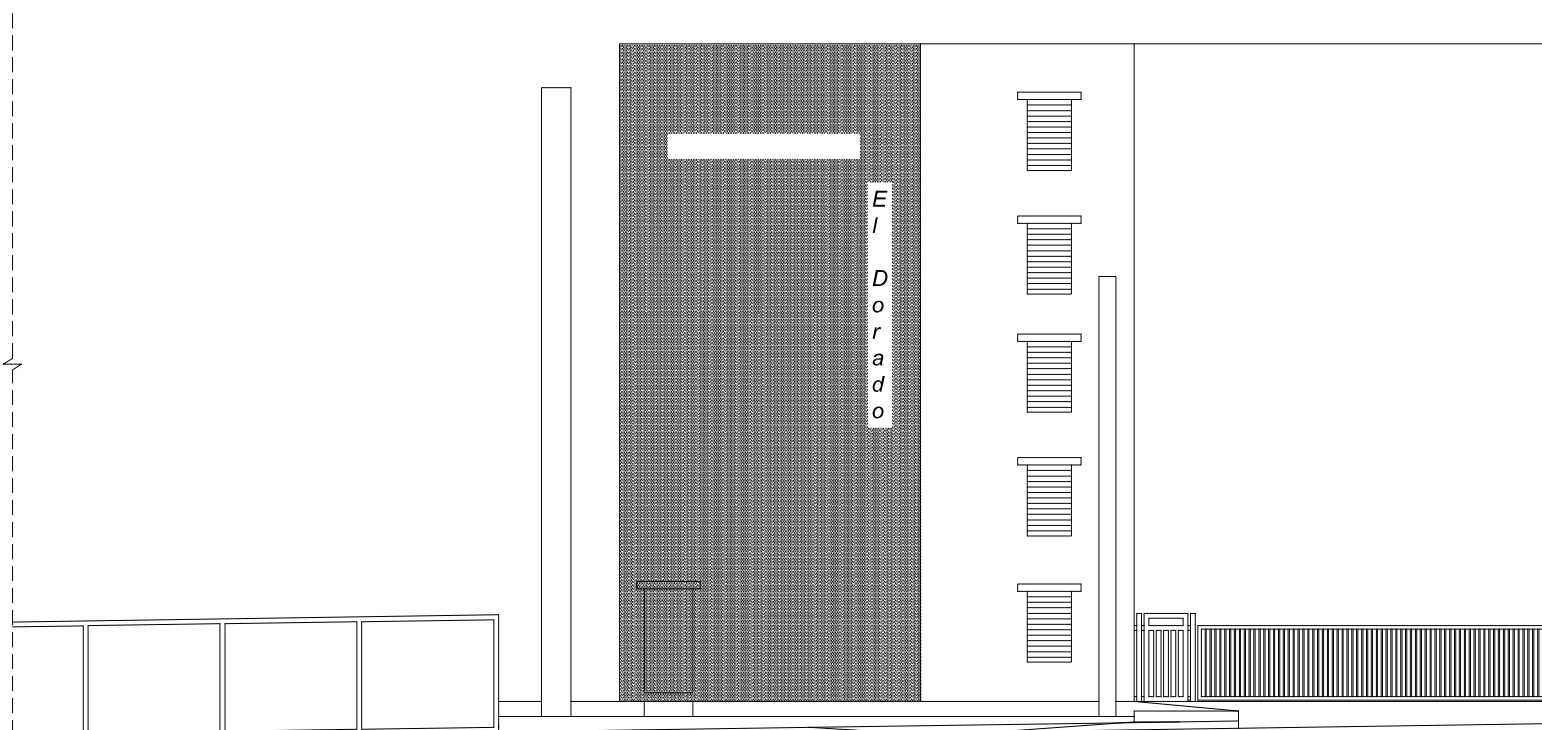
CERTIFICATION



WORKING DRAWINGS FOR:
PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
CALLE F DEGETAU #35
JUANA DIAZ, PUERTO RICO

DRAWING NAME:
ESC. MANUEL FERNANDEZ JUNCOS ELEVATION

SCALE: 1/4" = 1'-0"	BIDDED DATE: MAY. 2024
DRAWN BY: EMP. AT	CHECKED BY: JORGE L. PEREZ RUIZ, PE
DRAWING NO. A-405	SHEET NO. 122 of 125



REFERENCE IMAGE:



LEGEND:
 MURAL AREA

NOTE:
 (18 051 770) -66 5009691
 ART CANVAS DIMENSIONS
 20'x40' (600 FT2)



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
 Lic. No. 15,863

CONSULTANTS

NOTE:
 Yo, JORGE PÉREZ, LICENCIADO No. 15.863, CERTIFICO que soy el profesional que he realizado el estudio y la elaboración de este expediente técnico, cumpliendo con las obligaciones establecidas por la Ley de Contratación Administrativa de Servicios (Ley No. 172-00, de 20 de mayo de 2000) y sus modificaciones, y declaro que el presente documento es una obra de ingeniería civil, arquitectónica, mecánica, eléctrica, sanitaria, industrial, de telecomunicaciones o de informática, y que no he participado en su elaboración con el fin de obtener una comisión o honorarios, sino solo para el cumplimiento de mi deber profesional. Asimismo, declaro que la información contenida en este expediente técnico es verídica y fiel a la realidad, y que no he participado en su elaboración con el fin de obtener una comisión o honorarios, sino solo para el cumplimiento de mi deber profesional. Finalmente, declaro que he cumplido con las obligaciones establecidas en la Ley No. 172-00, de 20 de mayo de 2000, y sus modificaciones, y que no he participado en su elaboración con el fin de obtener una comisión o honorarios, sino solo para el cumplimiento de mi deber profesional. Por lo tanto, me hago responsable de cualquier hecho jurídico y administrativo que se produzca en consecuencia de este expediente técnico.



CERTIFICATION
JORGE LUIS PÉREZ RUIZ
INGENIERO CIVIL
NO. 15.863
PUERTO RICO
RUTA DE LOS TRES SANTOS REYES
PR-CRP-000437
WORKING DRAWINGS FOR:
PR-CRP-000437
WALL AREA #35
WALL AREA #35
CALLE F. DEGETAU #35
JUANA DIAZ, PUERTO RICO

DRAWING NAME
APARTAMENTOS
EL DORADO
ELEVATION

SCALE: 1/4" = 1'-0"	BIDDEN DATE: MAR. 2024
DRAWN BY: EMP. AIT	CHECKED BY: JORGE L. PEREZ RUIZ, PE
DRAWING NO. A-406	SHEET NO. 23 of 25



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
Lic. No. 15,863

CONSULTANTS

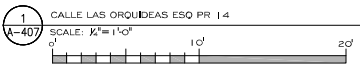
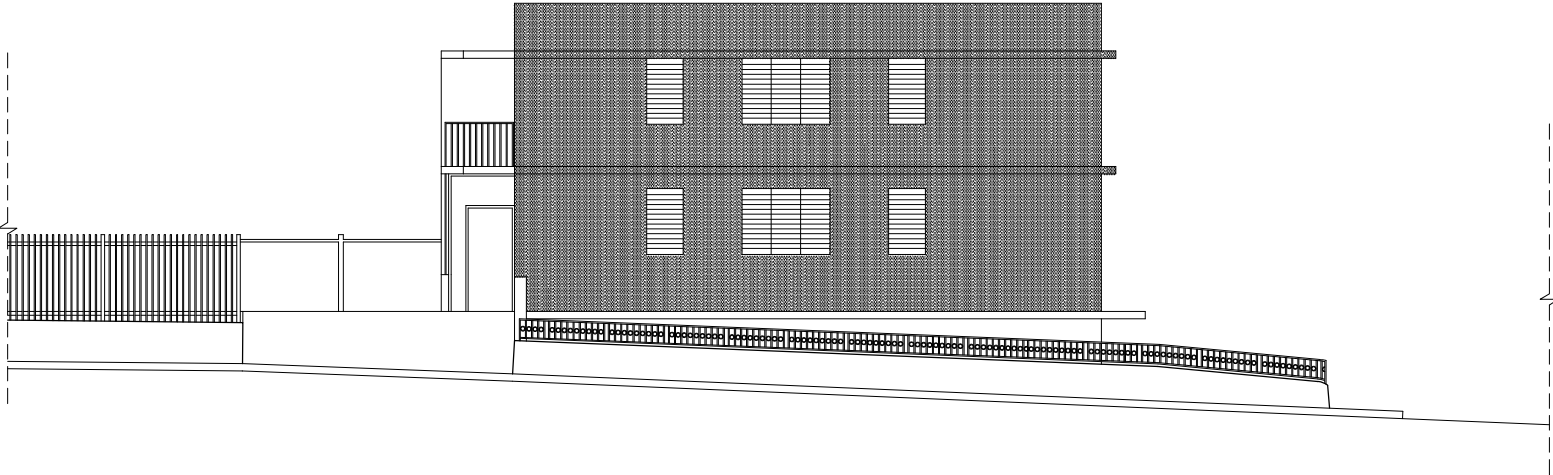
NOTE
El Sr. Jorge Pérez, Licencia No. 15.863, autoriza que sea el profesional que suscribe esta licencia la responsable de cualquier cambio que se realice en las copias con las dimensiones originales de este documento y cualquier otro documento que se genere a partir de este, siempre que se mantenga la integridad y el contenido de la información original. Este profesional se compromete a mantener la confidencialidad de la información que se genera con el presente en la ejecución de este trabajo, de acuerdo con lo establecido en la Ley de Protección de Datos Personales y de la Ley de Acceso a la Información Pública. Este documento es propiedad intelectual y no debe ser reproducido, distribuido o utilizado para fines no autorizados sin el consentimiento expreso del profesional que suscribe esta licencia.



WORKING DRAWINGS FOR:
PR-CRP-000437
RUTA DE LOS TRES SANTOS REYES
CALLE F DEGETAU #35
JUANA DIAZ, PUERTO RICO

DRAWING NAME
CALLE LAS ORQUIDEAS
ESQ PR 14 ELEVATION

SCALE: 1/4" = 1'-0"	ISSUED DATE: APR. 2024
DRAWN BY: EMP. AIT	CHECKED BY: JORGE L. PEREZ RUIZ, PE
DRAWING NO. A-407	SHEET NO. 124

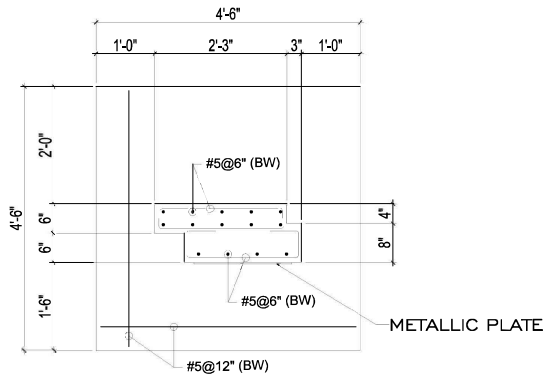


REFERENCE IMAGE:

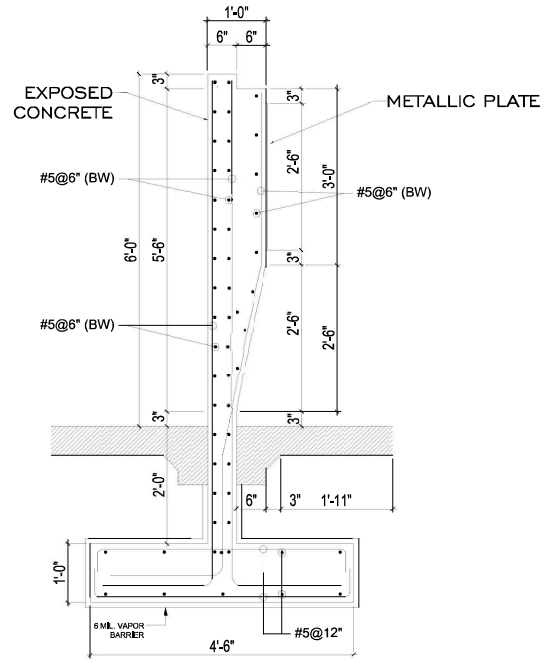


LEGEND:
■ MURAL AREA

NOTE:
(18.05 | 528, +66, 500625)
ART CANVAS DIMENSIONS
40x28" (1,000 FT2)



1 INFORMATIVE MODULE STRUCTURAL PLAN
SCALE: 1" = 1'-0"
0' 5'



2 INFORMATIVE MODULE STRUCTURAL SECTION
SCALE: 1" = 1'-0"
0' 5'



APPROVED BY
JORGE L. PÉREZ RUIZ, PE
Lic. No. 15,863

CONSULTANTS

NOTE:
Yo, JORGE PEREZ, LICENCIADO NO. 15,863, CERTIFICO QUE SOY EL PROFESIONAL QUE PREPARE ESTOS PLANOS Y LAS ESPECIFICACIONES COMPLEMENTARIAS TAMBEN, CERTIFICO QUE ENTENDO QUE ESTOS PLANOS Y ESPECIFICACIONES CUMPLEN CON LAS OBLIGACIONES ESTABLECIDAS EN EL REGLAMENTO GENERAL Y ORDEN DE CONSTRUCCION NÚMERO DE 24 DE ABRIL DE 1978, SEGUN REVISACIONES Y ESPECIFICACIONES HE HE CUANTO CON LO DISPUESTO EN LA LETRA "A" DE LA SECCION DE CODICIA, SEGUN REVISACION, EMENDADA COMO LA "A" PARA LA INVERSIÓN POR LA REGULARIZACIÓN PARTICIPATIVA Y COMO LA "C" EN LA SECCION DE 6 DE JULIO DE 1978, SEGUN EMENDACION, SEGUN ANEXO QUE RECORRIDA DEL CUALQUIER RECALIFICACION PARA LA PALFIFICACION DE LOS SECTORES QUE SE HAYA PRODUCIDO POR DESCONOCIMIENTO O POR RESPONSABILIDAD EN SEA POR MI, MIS AGENTES O EMPLEADOS, O POR OTRAS PERSONAS CON MI CONOCIMIENTO, HE HACER RESPONSABLE DE CUALQUIER ACCION JUDICIAL Y DISCIPLINARIA POR LA OJRE.

CERTIFICATION



WORKING DRAWINGS FOR:
PR-CR-000437
RUTA DE LOS TRES SANTOS REYES
CAJLE F DEGETAU #35
JUJANA DIAZ, PUERTO RICO

DRAWING NAME

INFORMATIVE MODULE
STRUCTURAL DETAILS

SCALE: 1" = 1'-0"	ISSUED DATE: APR 2024
DRAWN BY: AJC	CHECKED BY: JORGE L. PEREZ RUIZ, PE

DRAWING NO. S-1	SHEET NO. 125
---------------------------	-------------------------

Appendix E
Wetlands Protection

**EXECUTIVE ORDER 11988 – FLOODPLAIN MANAGEMENT
EIGHT-STEP PROCESS
U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT
COMMUNITY DEVELOPMENT BLOCK GRANT – DISASTER RELIEF (CDBG-DR)
PROGRAM**

8-STEP DECISION-MAKING PROCESS (STEPS 1-6)

Project: "Ruta de los Tres Santos Reyes", Municipality of Juana Díaz, Puerto Rico

Project No. PR-CRP-000437

Decision Process for Executive Order 11988 as Provided by 24 CFR §55.20.

Step 1: *Determine whether the action is in a 100-year floodplain or wetland.*

The proposed project, PR-CRP-000437, Ruta de los Tres Santos Reyes, will enhance the Route of the Holy Kings to a scenic tour focused on one of the greatest traditions of the city Juan Díaz. This half-mile route will connect the House Museum of the Holy Kings and the Román Baldorioty de Castro Public Square through elements alluding to the feast of Epiphany. The project will redesign the experience for locals and visitors along Comercio Street (PR-14) from the House Museum of the Holy Kings and around the Román Baldorioty de Castro Public Square through elements alluding to the feast of Epiphany. It will expose history and tradition through art and architecture. The project contemplates the installation of prints with cobblestone and paint at strategic points and intersections of the aforementioned roads. Elements with information alluding to the tradition of the Holy Kings and their history in the city will also be installed on the sidewalks. In the same way, Holy Kings tradition will be represented through murals and mosaics art in buildings. The proposed project is located throughout several streets along Carr. # 14 Km 14.7 to Carrión Maduro, Degetau, and Muñoz Rivera Streets around the public square, Juana Díaz, PR, 00795, from coordinates 18.051702 -66.500115 to 18.053093, -66.506252. The proposed activity with dimensions of 1.85 acres is situated in zone X outside the 100-yr floodplain as shown in FEMA's Advisory Baseline Flood Elevations Map, revised 12/11/2018, <https://gis-r2-fema.hub.arcgis.com/apps/31dfa15671944086b54b55bfc03344d7/explore>. The project activity with 0.03 acres in the riverine wetland is shown in the NWI Wetland Mapper at <https://fwsprimary.wim.usgs.gov/wetlands/apps/wetlands-mapper/>. There will not be new construction on previously undisturbed areas.

Refer to Attachment 1 for FIRMette, ABFE Map and Wetland Map.

This analysis will consider impacts to the wetland along with concerns for loss of life or property; as applicable.

Step 2: Notify the public for early proposal review and involve the affected and interested people in decision-making.

A public notice was prepared and published on April 3rd, 2024, in the “Primera Hora” newspaper of Puerto Rico. The notice targeted local residents, including those nearby the wetland. The notice was also sent to interested Federal, and State agencies to be interested in such notices. The required fifteen (15) calendar days were allowed for public comment. As required by regulation, the notice also included the name, proposed location and description of the activity, total number of wetland acres involved, and the responsible entity contact for information as well as a website and the location and hours of the office at which a full description of the proposed action can be viewed. No comments were received. No opposition to the proposed project was expressed by the commentators. Attachment 2 includes a copy of the public notice.

Step 3: Identify and evaluate practicable alternatives.

The responsible entity has considered the following alternatives:

Alternative 1: Locate the Project Within the wetland – The proposed action is according to zoning. Besides, the proposed project will not exceed the existing developed area and will not change the present use of the area. The project has been adapted to minimize wetland impact. No new occupancy or modification of the wetland area will take place since this project consists of an existing developed area that is actually in use and that constitutes the actual commercial urban area of the municipality of Juana Díaz. The proposed project will benefit alternatives to low- and moderate-income communities surrounding the area by exposing residents and visitors to history and tradition through art and architecture. This activity will bring elements with information alluding to the tradition of the Holy Kings and their history in the city. Holy Kings tradition is represented through murals and mosaics art in buildings. It will also improve existing site’s conditions, and infrastructure, help to prevent further deterioration of the site and to improve street safety so that it can continue to be enjoyed by citizens of Juana Díaz and their visitors. It also procures a beneficial economic impact to the community by promoting tourism. The People of Puerto Rico and the Municipality of Juana Díaz are the owners of the proposed project site. No additional cost due to land acquisition will be incurred nor will ownership issues needed to be solved.

Alternative 2: Locate the Project Outside of the wetland - The responsible entity evaluated and did not identify an alternative site to develop the proposed project, because the main purpose of the project is to expose residents and visitors to community history and tradition through art and architecture, to

increase the well-being and safety of the municipality, public property, and wetland functions and values, improve existing site's conditions, and infrastructure, help to prevent further deterioration of the site and procures a beneficial economic impact to the citizens of Juana Díaz by promoting tourism.

Alternative 3: No action taken. - The proposed improvements will not be implemented, and the facilities will not be enhanced.

Step 4: Identify Potential Direct and Indirect Impacts Associated with Wetland Development.

Alternative 1: Locate the Project Within the wetland. -The project at the proposed site will not impact the wetland and will not have a significant impact on the actual runoff water behavior during weather events. The city of Juana Díaz is a member of the National Flood Insurance Program and structures located in the flood zone must comply with the PR flood regulations. Potential adverse impacts from construction would be temporary and mitigated through construction staging plans developed in partnership with the Juana Díaz Municipality to minimize disturbance throughout the construction period and at the end of the project. The proposed project will be connected to the existing infrastructure systems to minimize adverse impacts on the environment and will help preserve the present functions and values like water quality, erosion control and flora & fauna habitat in the area. No recreational, educational, scientific, historic, and cultural values of the wetland will be potentially adversely affected by the activity.

Step 5: Mitigate Adverse Impacts

It is the responsible entity determination that there is no practicable alternative for locating the project outside the wetland.

The highest priority of this review is to prevent the loss of life. No loss of life could be generated as part of the proposed actions. On the contrary, the proposed works will not negatively impact to the actual wetland but would benefit the people's life, and also would help to protect the financial investment of the contiguous business that actually serves the community. The proposed improvements will not have an effect on agricultural lands.

The site design chosen as an alternative at Step 3 reduced wetland impacts and prevented new construction from occurring in the wetland. All works are being designed using the best engineering practices to minimize flood damage. It will be designed and constructed in a way that cause the least possible obstruction to the flow of water, offer safety conditions, resist the effects of hydrodynamic and hydrostatic loads of flood waters and comply with any other provision of applicable law or regulation. The design is meant to complement the natural features of the area and to offer an aesthetically pleasing landscape. The construction will have minimal effects on water resources. Impacts to the wetland

will also be limited due to construction occurring within the previously developed site. Construction debris will be collated and disposed at a certified dump site or other authorized facility to manage wastes.

Step 6: Reevaluate the Alternatives.

Although a minor portion of the site is in a wetland, the project has been adapted to minimize wetland impact. The city of Juana Díaz is a member of the National Flood Insurance Program and structures located in the flood zone must comply with the PR flood regulations. No new occupancy or modification of the wetland area will take place since this project consists of an existing developed area that is actually in use and that constitutes the actual commercial urban area of the municipality of Juana Díaz. The proposed improvements will provide longer useful life of the facilities so that it can continue to be used by citizens of Juana Díaz and their visitors. The People of Puerto Rico and the Municipality of Juana Díaz are the owners of the proposed project site. No additional cost due to land acquisition will be incurred nor will ownership issues needed to be solved.

It is the responsible entity determination that there is no practicable alternative for locating the project outside the flood zone.

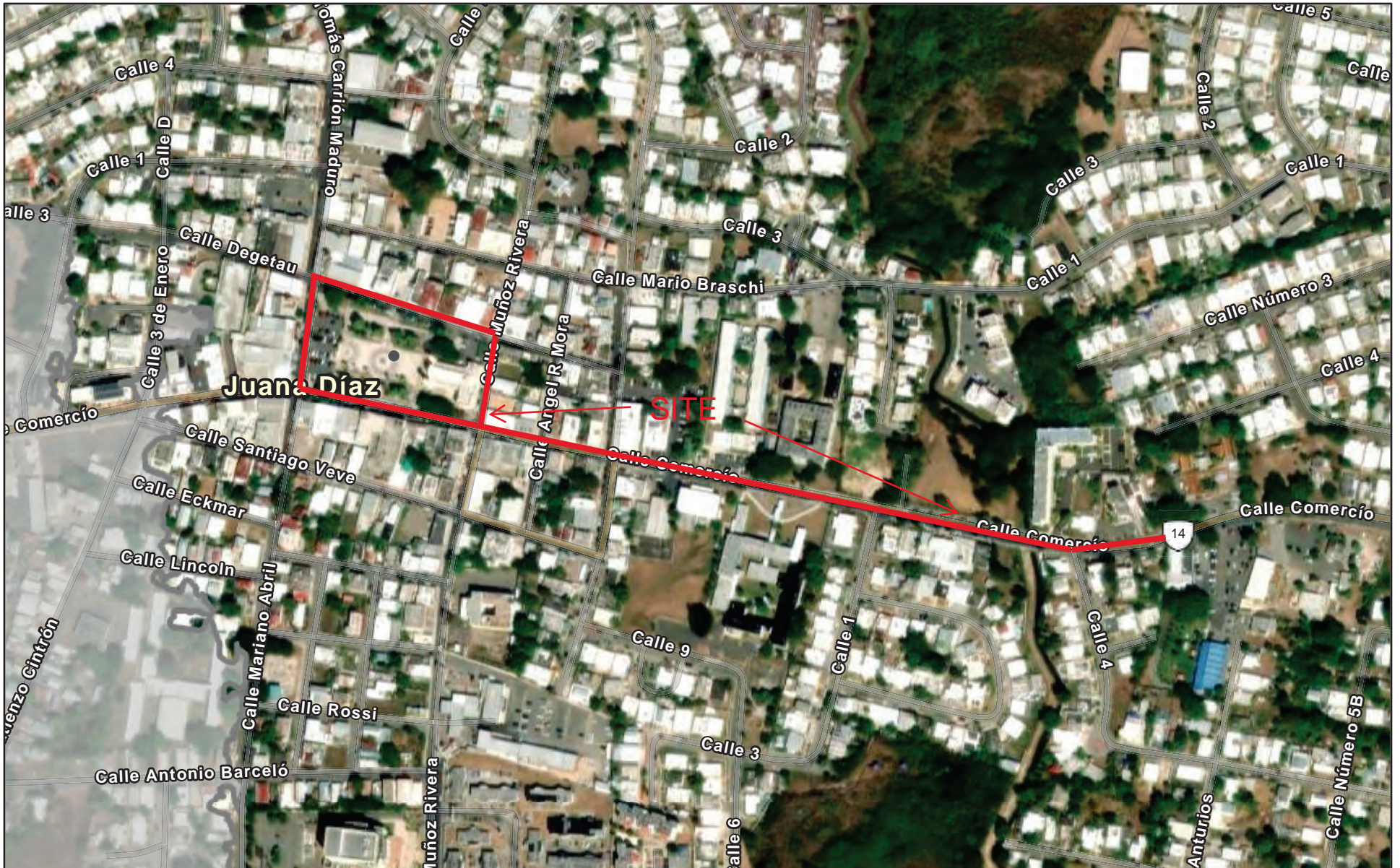
1. The proposed project will not exceed the existing developed area and will not change the present use of the area.
2. The proposed activity will benefit alternatives to low- and moderate-income communities surrounding the area by exposing residents and visitors to history and tradition through art and architecture.
3. The activity procures a beneficial economic impact to the community by promoting tourism.
4. The project at the proposed site will not impact the wetland and will not have a significant impact on the actual runoff water behavior during weather events.
5. The proposed action is according to zoning.
6. It will have minimal adverse impacts on the wetland functions and values.
7. Improve existing site's conditions, and infrastructure.
8. Help to prevent further deterioration of the site and to improve street safety.
9. No recreational, educational, scientific, historic, and cultural values of the wetland will be potentially adversely affected by the activity.

If no action is taken, the proposed improvements will not be implemented, and the facilities will not be enhanced. The proposed use is in harmony with the surrounding developments in the area.

Attachment 1

Maps

PR ABFE Map

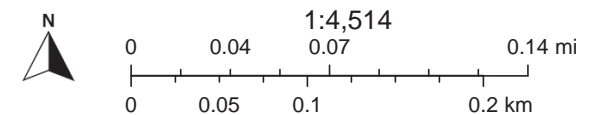


1/15/2024

Flood Hazard Area (zoom in to make visible)

- A
- AO
- AE
- Coastal A Zone
- VE
- 0.2% Annual Chance Flood Zone
- A-Floodway
- AE-Floodway

- Coastal A Zone and Floodway
- Zone/BFE Boundary
- 1% Annual Chance Flood
- 0.2% Annual Chance Flood
- Limit of Moderate Wave Action (LiMWA)
- Streamline (zoom in to make visible)



FEMA, Esri Community Maps Contributors, Kadaster Netherlands, Esri, TomTom, Garmin, Foursquare, SafeGraph, GeoTechnologies, Inc, METI/

ArcGIS Web AppBuilder

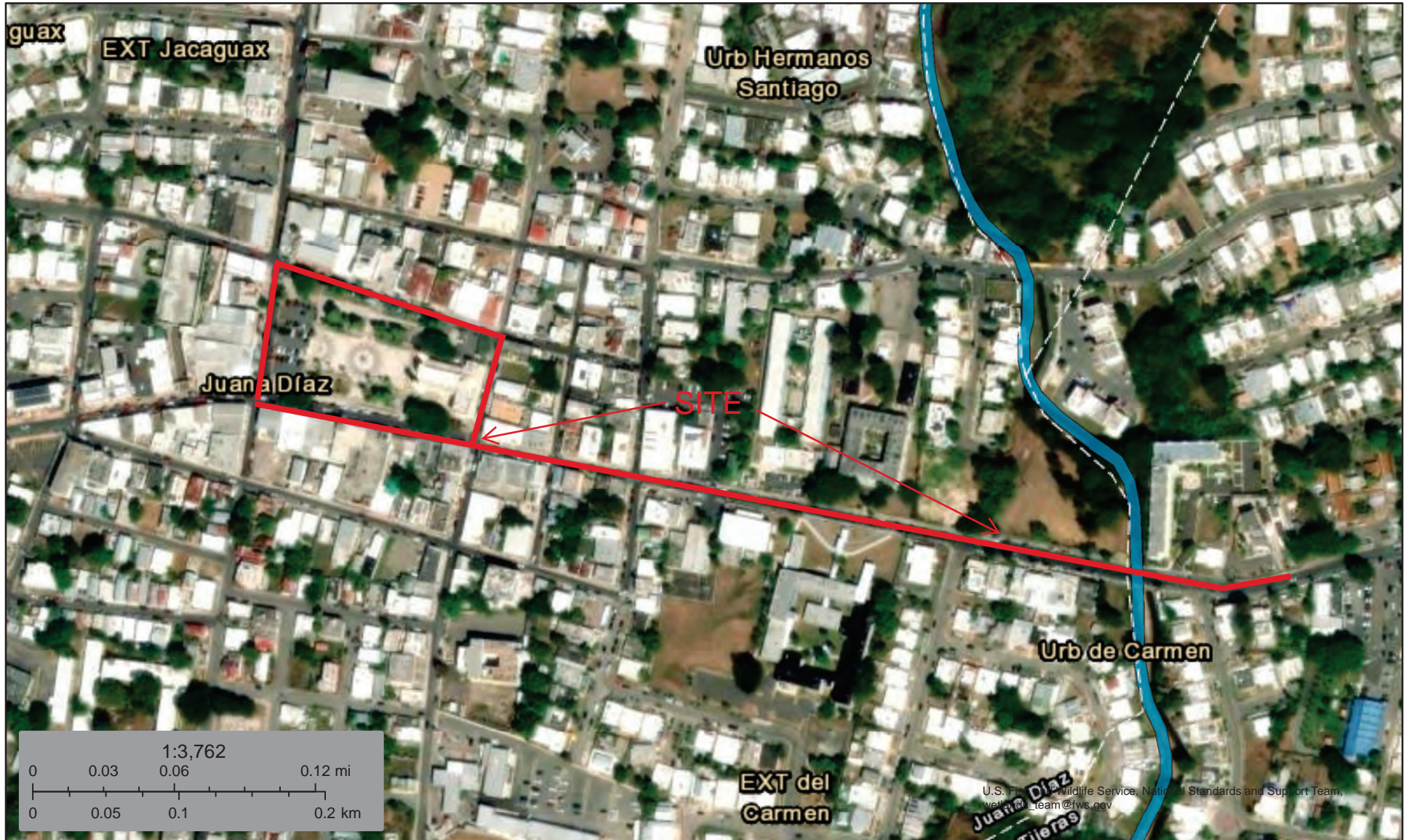


U.S. Fish and Wildlife Service

National Wetlands Inventory

PR-CRP-000437 Ruta de los Tres Santos Reyes

Carr. # 14 Km 14.7 to Carrión Maduro, Degetau, and Muñoz Rivera Streets around the public square, Juana Díaz, PR, 00795
Coordinates 18.05312, 66.50588



January 15, 2024

Wetlands

- | | | | | | |
|---|--------------------------------|---|-----------------------------------|---|----------|
|  | Estuarine and Marine Deepwater |  | Freshwater Emergent Wetland |  | Lake |
|  | Estuarine and Marine Wetland |  | Freshwater Forested/Shrub Wetland |  | Other |
| | |  | Freshwater Pond |  | Riverine |



This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

Attachment 2

Step 2 Early Notice and Public Review of a Proposed
Activity in the Wetland

Compañías de Préstamos Personales Pequeños

Tasa mínima, promedio ponderado y máxima, para préstamos pequeños otorgados para la semana que terminó el sábado, 30 de Marzo de 2024:

Institución	Tasa Mínima (%)	Promedio Ponderado (%)	Tasa Máxima (%)
Island Finance	9.99%	33.35%	47.90%
Money Express	16.95%	36.94%	39.95%
Plazo Finance	29.99%	30.76%	32.99%

OFERTA ESPECIAL

SALIDAS 2024

• 26 DE JUN • 3 DE JUL

INCLUYE ✈️ 🚗 🏠 🍷



aviso público

Aviso Preliminar y Revisión Pública de una Actividad Propuesta en un humedal

Ruta de los Tres Santos Reyes
PR-CRP-000437

Para: Todas las partes interesadas, grupos e individuos

Este aviso notifica que el Departamento de la Vivienda de Puerto Rico (Vivienda, en adelante) ha determinado que la siguiente acción propuesta bajo el Programa de Revitalización de la Ciudad, Subvención en Bloque para el Desarrollo Comunitario - Recuperación ante Desastres (CDBG-DR), número de subvención B-17-DM-72-0001, B-18-DP-72-0001 y B-19-DP-78-0002, se encuentra en un humedal. Vivienda estará evaluando e identificando alternativas prácticas para realizar la acción propuesta y el impacto potencial en el humedal debido a la acción propuesta, según establecido por la Orden Ejecutiva 11990, de acuerdo con las regulaciones de HUD en 24 CFR 55.20 Subparte C - Procedimientos para tomar determinaciones sobre el manejo de llanuras aluviales y la protección de humedales. El proyecto propuesto, PR-CRP-000437, se encuentra dentro de un municipio que sufrió daños debido a los huracanes Irma y María, y está ubicado desde la carretera PR-14 km 14.7 hasta la calle Carrión Maduro, Juana Díaz, PR, 00795; desde coordenadas 18.051702, -66.500115 hasta 18.053093, -66.506252. El objetivo del proyecto es mejorar la Ruta de los Santos Reyes a un recorrido paisajístico centrado en una de las mayores tradiciones del pueblo de Juana Díaz. Este recorrido de media milla conectará la Casa Museo de los Santos Reyes y la Plaza Pública Román Baldorioty de Castro a través de elementos alusivos a la fiesta de la Epifanía. El proyecto rediseñará la experiencia para locales y visitantes a lo largo de la calle Comercio (PR-14) y la calle Carrión Maduro (PR-570), presentando la historia y la tradición a través del arte y la arquitectura. El proyecto contempla la instalación de grabados con adoquín y pintura en puntos estratégicos e intersecciones de las vías mencionadas. También, se instalarán en las aceras elementos con información alusiva a la tradición de los Santos Reyes y su historia en la ciudad. Asimismo, la tradición de los Santos Reyes estará representada a través de murales y mosaicos artísticos en los edificios. No habrá nuevas construcciones en áreas previamente no perturbadas mencionadas en este aviso. La actividad propuesta tiene una dimensión total de 1.85 acres, que involucran 0.03 acres de un humedal ribereño. El área de humedal se encuentra en la página de National Wetlands Inventory en <https://fwsprimary.wim.usgs.gov/wetlands/apps/wetlands-mapper/>. El diseño del sitio propuesto reduce el impacto en el humedal ribereño. Los impactos potenciales sobre el humedal ribereño se limitarán a las actividades de construcción. Los posibles impactos adversos de la construcción serán temporales y se mitigarán mediante planes de etapas de construcción para minimizar las perturbaciones durante el período de construcción y al final del proyecto.

Este aviso tiene tres propósitos principales. En primer lugar, las personas que puedan verse afectadas por las actividades en el humedal y aquellos que tengan interés en la protección del ambiente natural deben tener la oportunidad de expresar sus inquietudes y proveer información sobre estas áreas. Se exhorta a la comunidad a ofrecer ubicaciones alternas fuera del humedal, métodos alternos para cumplir el mismo propósito del proyecto y métodos para minimizar y mitigar los impactos. Segundo, un programa adecuado de avisos públicos puede ser una herramienta importante para la educación pública. La divulgación de información sobre los humedales puede facilitar y mejorar los esfuerzos federales por reducir los riesgos e impactos asociados con la ocupación y alteración de estas zonas especiales. Tercero, como materia de justicia, cuando el gobierno federal determine participar en acciones ubicadas en el humedal, debe informárselo a quienes puedan ser expuestos a un riesgo mayor o similar al presente.

Vivienda considerará todos los comentarios recibidos en o antes de 18 de abril de 2024. Pueden enviar los comentarios de forma impresa a la siguiente dirección: Departamento de la Vivienda de Puerto Rico, edificio Juan C. Cordero Dávila, 606 avenida Barbosa, Río Piedras, PR 00918-8461, Atención: Mónica M. Machuca-Ríos, Especialista en Permisos y Cumplimiento Ambiental. Una descripción completa del proyecto está disponible al público para revisión de 8:30 a.m. a 4:00 p.m. en el Departamento de la Vivienda de Puerto Rico, edificio Juan C. Cordero Dávila, 606 avenida Barbosa, Río Piedras, PR 00918. El número para obtener información es (787)274-2527 ext. 4320. Como alternativa, también pueden enviar los comentarios a Vivienda por medio electrónico a environmentcdbg@vivienda.pr.gov.

Fecha: 3 de abril de 2024


Lcdo. William O. Rodríguez Rodríguez
Secretario del Departamento de la Vivienda

Autorizado por la Oficina del Contralor Electoral OCE-SA-2023-00076

public notice

Early Notice and Public Review of a Proposed Activity in a Wetland

Ruta de los Tres Santos Reyes
PR-CRP-000437

To: All Interested Parties, Groups & Individuals

This is to give notice that the Puerto Rico Department of Housing (PRDOH) has determined that the following proposed action under the City Revitalization Program, Community Development Block Grant - Disaster Recovery (CDBG-DR), Grant number B-17-DM-72-0001, B-18-DP-72-0001 and B-19-DP-78-0002, is located in a wetland. PRDOH will be identifying and evaluating practicable alternatives to locating the action in the wetland and the potential impacts on the wetland from the proposed action, as required by Executive Order 11990, in accordance with HUD regulations at 24 CFR 55.20 Subpart C - Procedures for Making Determinations on Floodplain Management and Protection of Wetlands. The proposed project, PR-CRP-000437, is within a municipality with structures damaged by Hurricanes Irma and María and it's located at PR-14 Road Km 14.7 until Carrión Maduro Street, Juana Díaz, PR 00795; from coordinates 18.051702 -66.500115 to 18.053093, -66.506252. The objective of the project is to enhance the Route of the Holy Kings to a scenic tour focused on one of the greatest traditions of the city of Juana Díaz. This half-mile route will connect the Casa Museo de los Santos Reyes and the Román Baldorioty de Castro Public Square through elements alluding to the feast of the Epiphany. The project will redesign the experience for locals and visitors along Comercio Street (PR-14) and Carrión Maduro Street (PR-570) presenting history and tradition through art and architecture. The project contemplates the installation of prints with cobblestone and paint at strategic points and intersections of the aforementioned roads. Elements with information alluding to the tradition of the Holy Kings and their history in the city will also be installed on the sidewalks. Also, the Holy Kings tradition will be represented through murals and artistic mosaics in the buildings. There won't be new construction on previously undisturbed areas addressed in this notice. The proposed activity has total dimensions of 1.85 acres, which involve 0.03 acres of a riverine wetland. The wetland in the project area can be found in the National Wetlands Inventory at <https://fwsprimary.wim.usgs.gov/wetlands/apps/wetlands-mapper/>. The proposed site design reduces impact to the riverine wetland. Potential impacts to the riverine wetland will be limited to construction activities. Potential adverse impacts from construction would be temporary and mitigated through construction staging plans to minimize disturbance throughout the construction period and at the end of the project.

There are three primary purposes for this notice. First, people who may be affected by activities in the wetland and those who have an interest in the protection of the natural environment should be given an opportunity to express their concerns and provide information about these areas. Commenters are encouraged to offer alternative sites outside of the wetland, alternative methods to serve the same project purpose, and methods to minimize and mitigate impacts. Second, an adequate public notice program can be an important public educational tool. The dissemination of information and request for public comment about wetlands can facilitate and enhance Federal efforts to reduce the risks and impacts associated with the occupancy and modification of these special areas. Third, as a matter of fairness, when the Federal government determines it will participate in actions taking place in the wetland, it must inform those who may be put at greater or continued risk.

PRDOH will consider all comments received on or before April 18, 2024. Written comments can be sent to the following address: Puerto Rico Department of Housing, 606 Barbosa Avenue, Juan C. Cordero Dávila Building, Río Piedras, PR 00918-8461, Attention: Mónica M. Machuca-Ríos, Permits and Environmental Compliance Specialist. A complete description of the project is available to the public for review from 8:30 am to 4:00 pm at the Puerto Rico Department of Housing, 606 Barbosa Avenue, Juan C. Cordero Dávila Building, Río Piedras, PR 00918. The number to get information is (787)274-2527 ext. 4320. In the alternative, comments may also be sent to PRDOH by email at environmentcdbg@vivienda.pr.gov.

Date: April 3, 2024


William O. Rodríguez Rodríguez, Esq.
Secretary of the Department of Housing

Authorized by the Office of the Electoral Comptroller OCE-SA-2023-00076

AYÚDALOS A CONTINUAR APRENDIENDO

Con tu apoyo, cerraremos la brecha de aprendizaje y oportunidades de nuestros niños, niñas, y jóvenes para que se conviertan en la generación de líderes, profesionales y ciudadanos que Puerto Rico necesita.

¡DONA HOY!
donar.bgcprr.org



Andrea Curbelo-Marty

From: environmentcdbg <environmentcdbg@vivienda.pr.gov>
Sent: Thursday, April 4, 2024 9:23 AM
To: Jose.A.CedenoMaldonado@hud.gov; Mahon, Donna M; Caribbean_es@fws.gov; Tawes, Robert; Rodriguez.elias@epa.gov; Guerrero.carmen@epa.gov; PublicMail.CESAJ-CC@usace.army.mil; Rich.Okulski@noaa.gov; Noah.Silverman@noaa.gov; nmfs.ser.esa.consultations@noaa.gov; FEMA-R4EHP@fema.dhs.gov; carubio@prshpo.pr.gov; comunicaciones@ddec.pr.gov; secretario@ddec.pr.gov; jannira.colon@ddec.pr.gov; Rivera_r1@jp.pr.gov; comentarios@jp.pr.gov; pmzc@drna.pr.gov; eortega@drna.pr.gov; ayudaciudadano@drna.pr.gov; anais.rodriguez@drna.pr.gov
Subject: Public Notice – Early Notice and Public Review of a Proposed Activity in a Wetland_PRDOH Case PR-CRP-000437
Attachments: Early Notice_Primer Hora_PR-CRP-000437.pdf

Concerned agencies,

Enclosed please find a **Public Notice – Early Notice and Public Review of a Proposed Activity in a Wetland** the Puerto Rico Department of Housing (as the Responsible Entity) published as part of HUD's requirements for the release of CDBG-DR funds to undertake the project *Ruta de los Tres Santos Reyes* (PR-CRP-000437). The Early Notice was published in the *Primera Hora* newspaper of Puerto Rico on April 3, 2024.

Respectfully,

Permits and Environmental Compliance Division

Disaster Recovery Office

environmentcdbg@vivienda.pr.gov | 787.274.2527

Visit us: recuperacion.pr.gov

Contact us: infocdbg@vivienda.pr.gov

DEPARTAMENTO DE LA
VIVIENDA



NOTA DE CONFIDENCIALIDAD: Esta transmisión electrónica contiene información perteneciente al Departamento de Vivienda de Puerto Rico, la cual es confidencial y / o privilegiada legalmente. Si usted no es el destinatario previsto, informe inmediatamente al remitente por correo electrónico de respuesta o por teléfono que este mensaje se le ha transmitido inadvertidamente y elimine este correo electrónico de su sistema. Si ha recibido esta transmisión por error, por la presente se le notifica que cualquier divulgación, copia, distribución o cualquier acción basada en el contenido de la información está estrictamente prohibida. El uso, difusión, distribución o reproducción no autorizados de este mensaje por personas que no sean el destinatario previsto está estrictamente prohibido y puede ser ilegal.

CONFIDENTIALITY NOTE: This electronic transmission contains information belonging to the Puerto Rico Housing Department, which is confidential and/or legally privileged. If you are not the intended recipient, please immediately advise the sender by reply e-mail or telephone that this message has been inadvertently transmitted to you and delete this e-mail from your system. If you have received this transmission in error, you are hereby notified that any disclosure, copying, distribution or the taking of any action in reliance on the contents of the information is strictly prohibited. Unauthorized use, dissemination, distribution or reproduction of this message by other than the intended recipient is strictly prohibited and may be unlawful. 2

Andrea Curbelo-Marty

From: Kenneth M. Garcia-De Leon
Sent: Monday, April 22, 2024 1:46 PM
To: environmentcdbg
Subject: RE: Comentarios - Aviso Preliminar PR-CRP-000437

Saludos:

Por correo postal no llegaron comentarios para mencionado proyecto.

Cordialmente,

Kenneth M. García De León
Especialista en Control de Documentos / Operaciones
Oficina Recuperación de Desastres
kgarcia@vivienda.pr.gov | [787.274.2527](tel:787.274.2527) Ext. 4013
Visítanos: recuperacion.pr.gov
Contactanos: infocdbg@vivienda.pr.gov

**DEPARTAMENTO DE LA
VIVIENDA**



NOTA DE CONFIDENCIALIDAD: Esta transmisión electrónica contiene información perteneciente al Departamento de Vivienda de Puerto Rico, la cual es confidencial y / o privilegiada legalmente. Si usted no es el destinatario previsto, informe inmediatamente al remitente por correo electrónico de respuesta o por teléfono que este mensaje se le ha transmitido inadvertidamente y elimine este correo electrónico de su sistema. Si ha recibido esta transmisión por error, por la presente se le notifica que cualquier divulgación, copia, distribución o cualquier acción basada en el contenido de la información está estrictamente prohibida. El uso, difusión, distribución o reproducción no autorizados de este mensaje por personas que no sean el destinatario previsto está estrictamente prohibido y puede ser ilegal.

CONFIDENTIALITY NOTE: This electronic transmission contains information belonging to the Puerto Rico Housing Department, which is confidential and/or legally privileged. If you are not the intended recipient, please immediately advise the sender by reply e-mail or telephone that this message has been inadvertently transmitted to you and delete this e-mail from your system. If you have received this transmission in error, you are hereby notified that any disclosure, copying, distribution or the taking of any action in reliance on the contents of the information is strictly prohibited. Unauthorized use, dissemination, distribution or reproduction of this message by other than the intended recipient is strictly prohibited and may be unlawful.

From: environmentcdbg <environmentcdbg@vivienda.pr.gov>
Sent: Monday, April 22, 2024 11:55 AM
To: Kenneth M. Garcia-De Leon <kgarcia@vivienda.pr.gov>
Subject: Comentarios - Aviso Preliminar PR-CRP-000437

Saludos Kenneth,

Con respecto a la publicación del Aviso Preliminar y Revisión Pública de una Actividad Propuesta en un humedal (Paso 2) para el proyecto **Ruta de los Tres Santos Reyes (PR-CRP-000437)**, ¿habrá llegado algún comentario a través del correo postal? De ser así, por favor nos lo hace llegar.

Cordialmente,

Permits and Environmental Compliance Division

Disaster Recovery Office

environmentcdbg@vivienda.pr.gov | 787.274.2527

Visit us: recuperacion.pr.gov

Contact us: infocdbg@vivienda.pr.gov

**DEPARTAMENTO DE LA
VIVIENDA**



NOTA DE CONFIDENCIALIDAD: Esta transmisión electrónica contiene información perteneciente al Departamento de Vivienda de Puerto Rico, la cual es confidencial y / o privilegiada legalmente. Si usted no es el destinatario previsto, informe inmediatamente al remitente por correo electrónico de respuesta o por teléfono que este mensaje se le ha transmitido inadvertidamente y elimine este correo electrónico de su sistema. Si ha recibido esta transmisión por error, por la presente se le notifica que cualquier divulgación, copia, distribución o cualquier acción basada en el contenido de la información está estrictamente prohibida. El uso, difusión, distribución o reproducción no autorizados de este mensaje por personas que no sean el destinatario previsto está estrictamente prohibido y puede ser ilegal.

CONFIDENTIALITY NOTE: This electronic transmission contains information belonging to the Puerto Rico Housing Department, which is confidential and/or legally privileged. If you are not the intended recipient, please immediately advise the sender by reply e-mail or telephone that this message has been inadvertently transmitted to you and delete this e-mail from your system. If you have received this transmission in error, you are hereby notified that any disclosure, copying, distribution or the taking of any action in reliance on the contents of the information is strictly prohibited. Unauthorized use, dissemination, distribution or reproduction of this message by other than the intended recipient is strictly prohibited and may be unlawful. 2



Validation Letter

April 22, 2024

To whom it may concern,

This letter is to validate that no comments were received in the Permits and Environmental Compliance Division e-mail: environmentcdbg@vivienda.pr.gov, for the project *Ruta de los Tres Santos Reyes (PR-CRP-000437)*, as part of the CDBG-DR City Revitalization Program. The Early Notice and Public Review of a Proposed Activity in a Wetland was published in the *Primera Hora* newspaper of Puerto Rico on April 3, 2024, with a comment period that concluded on April 18, 2024.

Cordially,

Permits and Environmental Compliance Division
Disaster Recovery Office
environmentcdbg@vivienda.pr.gov | 787.274.2527 ext. 4320

Attachment 3

Step 7 Final Notice and Public Review of a Proposed
Activity in the Wetland

avisos y subastas



Final Notice and Public Explanation of a Proposed Activity in a Wetland

Ruta de los Tres Santos Reyes
PR-CRP-000437

To: All interested agencies, Groups, and Individuals

This is to give notice that the Puerto Rico Department of Housing (PRDOH) has conducted an evaluation as required by the Executive Order 11990, in accordance with HUD regulations at 24 CFR 55.20 Subpart C - Procedures for Making Determinations on Floodplain Management and Wetlands Protection. The activity is funded under the City Revitalization Program, Community Development Block Grant - Disaster Recovery (CDBG-DR), Grant number B-17-DM-72-0001, B-18-DP-72-0001 and B-19-DP-78-0002. The proposed project, **PR-CRP-000437**, is located at Comercio Street (PR-14) from the House Museum of the Holy Kings and around the Román Baldorioty de Castro Public Square, Juana Díaz, PR 00795; from coordinates 18.051702 -66.500115 to 18.053093, -66.506252. The proposed activity will enhance the Route of the Holy Kings to a scenic tour focused on one of the greatest traditions of the city Juana Díaz. It will expose history and tradition through art and architecture. The project contemplates the installation of prints with cobblestone and paint at strategic points and intersections of the aforementioned roads. Elements with information alluding to the tradition of the Holy Kings and their history in the city will also be installed on the sidewalks. In the same way, the Holy Kings tradition will be represented through murals and artistic mosaics in the buildings. There won't be new construction on previously undisturbed areas addressed in this notice. The proposed activity has total dimensions of 1.85 acres, which involve 0.03 acres of a riverine wetland. The wetland in the project area can be found in the National Wetlands Inventory at <https://fwspprimary.wim.usgs.gov/wetlands/apps/wetlands-mapper/>. Potential impacts to the riverine wetland will be limited to construction activities. Potential adverse impacts from construction would be temporary and mitigated through construction staging plans to minimize disturbance throughout the construction period and at the end of the project.

PRDOH has considered the following alternatives and mitigation measures to be taken to minimize adverse impacts and to restore and preserve natural and beneficial values: (1) locate the project within the wetland, (2) locate the project outside of the wetland, and (3) take no action. Alternatives 2 and 3 are not feasible since the needed improvements for revitalization, restoration, and construction of the urban center are site specific. Alternative 1 will benefit alternatives to low- and moderate-income communities surrounding the area by exposing residents and visitors to history and tradition through art and architecture, procures a beneficial economic impact to the community by promoting tourism, improve existing site's conditions and infrastructure, and will help to prevent further deterioration of the site and to improve street safety. There will not be new construction on previously undisturbed areas addressed by this notice, hence it will have minimal adverse impact to the wetland functions and values. It will not have a significant impact on the actual runoff water behavior during weather events. The site design chosen for alternative 1 minimized wetland impacts and prevented new construction from occurring in the wetland. The construction will have minimal effects on water resources. Impacts to the wetland will be limited due to construction occurring within the previously developed site. Construction debris will be collated and disposed at a certified dump site or other authorized facility to manage wastes. The proposed use is in harmony with the surrounding developed area.

PRDOH has reevaluated the alternatives to building in the wetland and has determined that it has no practicable alternative. Environmental files that document compliance with steps 3 through 6 of Executive Order 11990 are available for public inspection, review and copying upon request at the times and location delineated in the last paragraph of this notice for receipt of comments.

There are three primary purposes for this notice. First, people who may be affected by activities in the wetland and those who have an interest in the protection of the natural environment should be given an opportunity to express their concerns and provide information about these areas. Second, an adequate public notice program can be an important public educational tool. The dissemination of information and request for public comment about wetlands can facilitate and enhance Federal efforts to reduce the risks and impacts associated with the occupancy and modification of these special areas. Third, as a matter of fairness, when the Federal government determines it will participate in actions taking place in the wetland, it must inform those who may be put at greater or continued risk.

PRDOH will consider all comments received on or before **06/06/2024**. Written comments can be sent to the following address: Puerto Rico Department of Housing, 606 Barbosa Avenue, Juan C. Cordero Dávila Building, Río Piedras, PR 00918-8461, Attention: William O. Rodríguez Rodríguez. A complete description of the project is available to the public for review from 8:30 am to 4:00 pm at the Puerto Rico Department of Housing, 606 Barbosa Avenue, Juan C. Cordero Dávila Building, Río Piedras, PR 00918. The number to get information is (787)274-2527 ext. 4320. In the alternative, comments may also be sent to PRDOH by email at environmentcdbg@vivienda.pr.gov.

Date: **05/29/2024**

Authorized by the Office of the Electoral
Comptroller OCE-SA-2023-00076



Aviso Final y Explicación Pública de una Actividad Propuesta en un humedal

Ruta de los Tres Santos Reyes
PR-CRP-000437

Para: Todas las partes interesadas, grupos e individuos

Este aviso notifica que el Departamento de la Vivienda de Puerto Rico (Vivienda, en adelante) completó una evaluación según establece la Orden Ejecutiva 11990, de acuerdo con los reglamentos de HUD en 24 CFR 55.20 Subparte C - Procedimientos para hacer determinaciones sobre la protección de humedales. La actividad está subvencionada con fondos del Programa de Revitalización de la Ciudad, Subvención en Bloque para el Desarrollo Comunitario - Recuperación ante Desastres (CDBG-DR), número de subvención B-17-DM-72-0001, B-18-DP-72-0001 y B-19-DP-78-0002. El proyecto propuesto, **PR-CRP-000437**, está localizado en la calle Comercio (PR-14) desde la Casa Museo de los Santos Reyes y alrededores de la Plaza Pública Román Baldorioty de Castro, Juana Díaz, PR 00795; desde coordenadas 18.051702 -66.500115 hasta 18.053093, -66.506252. La actividad propuesta potenciará la Ruta de los Santos Reyes a un recorrido escénico centrado en una de las mayores tradiciones de la ciudad de Juana Díaz. Expondrá la historia y la tradición a través del arte y la arquitectura. El proyecto contempla la instalación de grabados con adoquines y pintura en puntos estratégicos e intersecciones de las vías mencionadas. También, se instalarán en las aceras elementos con información alusiva a la tradición de los Santos Reyes y su historia en la ciudad. Del mismo modo, la tradición de los Santos Reyes estará representada a través de murales y mosaicos artísticos en los edificios. No habrá nuevas construcciones en áreas previamente no perturbadas mencionadas en este aviso. La actividad propuesta tiene una dimensión total de 1.85 acres, que involucran 0.03 acres de un humedal ribereño. El área de humedal se encuentra en la página del Inventario Nacional de Humedales en <https://fwspprimary.wim.usgs.gov/wetlands/apps/wetlands-mapper/>. El potencial impacto sobre el humedal ribereño se limitará a las actividades de construcción. Los posibles impactos adversos de la construcción serán temporales y se mitigarán a través de planes de etapas de construcción para minimizar las perturbaciones durante todo el período de construcción y al final del proyecto.

Vivienda consideró las siguientes alternativas y medidas de mitigación para minimizar impactos adversos y restaurar y preservar valores naturales y beneficiosos: (1) ubicar el proyecto dentro del humedal, (2) ubicar el proyecto fuera del humedal, y (3) no tomar ninguna acción. Las alternativas 2 y 3 no son factibles ya que las mejoras necesarias para la revitalización, restauración y construcción del centro urbano son específicas del sitio. La alternativa 1 beneficiará a las comunidades de ingresos bajos y moderados que rodean el área al exponer a los residentes y visitantes a la historia y tradición a través del arte y la arquitectura, procura un impacto económico beneficioso para la comunidad mediante la promoción del turismo, mejorará las condiciones y la infraestructura del sitio existente, y ayudará a evitar un mayor deterioro del sitio y a mejorar la seguridad de las calles. No habrá nuevas construcciones en áreas previamente no perturbadas mencionadas este aviso, por lo tanto, tendrá un impacto adverso mínimo en las funciones y valores del humedal. No tendrá un impacto significativo en el comportamiento del agua de escorrentía durante los eventos climáticos. El diseño del sitio elegido para alternativa 1 reduce los impactos del humedal y evita que se realicen nuevas construcciones en el humedal. La construcción tendrá efectos mínimos sobre los recursos de agua. Los impactos al humedal serán mínimos debido a la construcción que se está llevando a cabo dentro del sitio previamente desarrollado. Los escombros de construcción se clasificarán y eliminarán en un vertedero certificado u otra instalación autorizada para el manejo de desechos. El uso propuesto está en armonía con el área desarrollada circundante.

Vivienda reevaluó las alternativas para construir en el humedal y determinó que no cuenta con alternativas prácticas. La documentación ambiental que evidencia el cumplimiento con los pasos 3 al 6 de la Orden Ejecutiva 1990, está disponible para inspección, revisión y reproducción de parte del público, de ser solicitado, en el horario y lugar indicado en el último párrafo sobre recibo de comentarios de este aviso.

Este aviso tiene tres propósitos principales. Primero, las personas que puedan verse afectadas por actividades en el humedal y aquellos que tengan interés en la protección del ambiente natural deben recibir la oportunidad de expresar sus inquietudes y proveer información sobre estas áreas. Segundo, un programa adecuado de avisos públicos puede ser una herramienta importante de educación pública. La divulgación de información y solicitud de comentarios públicos sobre los humedales puede facilitar y mejorar los esfuerzos federales para reducir los riesgos e impactos asociados con la ocupación y alteración de estas áreas especiales. Tercero, como materia de justicia, cuando el gobierno federal determine participar en acciones ubicadas en el humedal, debe informárselo a quienes puedan ser expuestos a un riesgo mayor o similar al presente.

Vivienda considerará todos los comentarios recibidos en o antes del **06/06/2024**. Pueden enviar los comentarios de forma impresa a la siguiente dirección: Departamento de la Vivienda de Puerto Rico, edificio Juan C. Cordero Dávila, 606 avenida Barbosa, Río Piedras, PR 00918-8461, Atención: William O. Rodríguez Rodríguez. Una descripción completa del proyecto está disponible al público para revisión de 8:30 a.m. a 4:00 p.m. en el Departamento de la Vivienda de Puerto Rico, edificio Juan C. Cordero Dávila, 606 avenida Barbosa, Río Piedras, PR 00918. El número para obtener información es (787)274-2527 ext. 4320. Como alternativa, también pueden enviar los comentarios a Vivienda por medio electrónico a environmentcdbg@vivienda.pr.gov.

Fecha: **05/29/2024**

Autorizado por la Oficina del Comptroller
Electoral OCE-SA-2023-00076

Public Notice – Final Notice and Public Review of a Proposed Activity in the Wetland

José L. Plata Rodríguez <jplata@juanadiaz.pr.gov>

Wed 2024-05-29 8:41 AM

To:environmentalcdbg@vivienda.pr.gov <environmentalcdbg@vivienda.pr.gov>;anais.rodriguez@drna.pr.gov <anais.rodriguez@drna.pr.gov>;ayudaciudadano@drna.pr.gov <ayudaciudadano@drna.pr.gov>;eortega@drna.pr.gov <eortega@drna.pr.gov>;pmzc@drna.pr.gov <pmzc@drna.pr.gov>;comentarios@jp.pr.gov <comentarios@jp.pr.gov>;Rivera_r1@jp.pr.gov <Rivera_r1@jp.pr.gov>;jannira.colon@ddec.pr.gov <jannira.colon@ddec.pr.gov>;secretario@ddec.pr.gov <secretario@ddec.pr.gov>;comunicaciones@ddec.pr.gov <comunicaciones@ddec.pr.gov>;comentarios@jp.pr.gov <comentarios@jp.pr.gov>;Rivera_r1@jp.pr.gov <Rivera_r1@jp.pr.gov>;carubio@prshpo.pr.gov <carubio@prshpo.pr.gov>;FEMAR4EHP@fema.dhs.gov <FEMAR4EHP@fema.dhs.gov>;nmfs.ser.esa.consultations@noaa.gov <nmfs.ser.esa.consultations@noaa.gov>;Noah.Silverman@noaa.gov <Noah.Silverman@noaa.gov>;Rich.Okulski@noaa.gov <Rich.Okulski@noaa.gov>;PublicMail.CESAJ-CC@usace.army.mil <PublicMail.CESAJ-CC@usace.army.mil>;Guerrero.carmen@epa.gov <Guerrero.carmen@epa.gov>;Rodriguez.elias@epa.gov <Rodriguez.elias@epa.gov>

📎 1 attachments (77 KB)

Primera_Hora(2024-05-29)_page25.pdf;

Concerned agencies,

Enclosed please find a Public Notice – Final Notice and Public Review of a Proposed Activity in the Wetland the Puerto Rico Department of Housing (as the Responsible Entity) published as part of HUD's requirements for the release of CDBG-DR funds to undertake the project Ruta de los Tres Santos Reyes (PR-CRP-000437). The Final Notice was published in the Primera Hora newspaper of Puerto Rico on May 29, 2024.

Respectfully

José L. Plata Rodríguez, Assoc. AIA

Arquitecto en Entrenamiento

Oficina de Ingeniería

Municipio de Juana Díaz

787-837-2185 Ext. 2420

jplata@juanadiaz.pr.gov



*****Favor de notificar recibo de esta comunicación*****

AVISO DE CONFIDENCIALIDAD: Este documento, y cualquier anejo incluido, contienen información que podría considerarse privilegiada, confidencial y exenta de divulgación. La información es para el uso exclusivo del individuo o entidad a quien está dirigida. Si usted no es el destinatario, el empleado o el agente a quien se le confió la responsabilidad de hacer llegar el mensaje al destinatario, debe percatarse que la divulgación, copia o distribución de esta transmisión está estrictamente prohibida. Si ha recibido esta comunicación por error, favor de borrarla y notificar al remitente inmediatamente.

From: [Kenneth M. Garcia-De Leon](#)
To: [environmentcdbg](#)
Subject: RE: Comentarios - Aviso Final PR-CRP-000437
Date: Friday, June 7, 2024 3:57:30 PM
Attachments: [image002.png](#)
[image003.png](#)

Saludos:

Por correo postal no llegaron comentarios para mencionado proyecto.

Cordialmente,

Kenneth M. García De León

Especialista en Control de Documentos / Operaciones

Oficina Recuperación de Desastres

kgarcia@vivienda.pr.gov | 787.274.2527 Ext. 4013

Visítanos: recuperacion.pr.gov

Contactanos: infocdbg@vivienda.pr.gov



NOTA DE CONFIDENCIALIDAD: Esta transmisión electrónica contiene información perteneciente al Departamento de Vivienda de Puerto Rico, la cual es confidencial y / o privilegiada legalmente. Si usted no es el destinatario previsto, informe inmediatamente al remitente por correo electrónico de respuesta o por teléfono que este mensaje se le ha transmitido inadvertidamente y elimine este correo electrónico de su sistema. Si ha recibido esta transmisión por error, por la presente se le notifica que cualquier divulgación, copia, distribución o cualquier acción basada en el contenido de la información está estrictamente prohibida. El uso, difusión, distribución o reproducción no autorizados de este mensaje por personas que no sean el destinatario previsto está estrictamente prohibido y puede ser ilegal.

CONFIDENTIALITY NOTE: This electronic transmission contains information belonging to the Puerto Rico Housing Department, which is confidential and/or legally privileged. If you are not the intended recipient, please immediately advise the sender by reply e-mail or telephone that this message has been inadvertently transmitted to you and delete this e-mail from your system. If you have received this transmission in error, you are hereby notified that any disclosure, copying, distribution or the taking of any action in reliance on the contents of the information is strictly prohibited. Unauthorized use, dissemination, distribution or reproduction of this message by other than the intended recipient is strictly prohibited and may be unlawful.

From: environmentcdbg <environmentcdbg@vivienda.pr.gov>

Sent: Friday, June 7, 2024 3:48 PM

To: Kenneth M. Garcia-De Leon <kgarcia@vivienda.pr.gov>

Subject: Comentarios - Aviso Final PR-CRP-000437

Saludos Kenneth,

Con respecto a la publicación del Aviso Final y Explicación Pública de una Actividad Propuesta en un humedal (Paso 7) para el proyecto **Ruta de los Tres Santos Reyes (PR-CRP-000437)** ¿habrá llegado algún comentario a través del correo postal? De ser así, por favor nos lo hace llegar.

Cordialmente,

Permits and Environmental Compliance Division

Disaster Recovery Office

environmentcdbg@vivienda.pr.gov | 787.274.2527

Visit us: recuperacion.pr.gov

Contact us: infocdbg@vivienda.pr.gov



NOTA DE CONFIDENCIALIDAD: Esta transmisión electrónica contiene información perteneciente al Departamento de Vivienda de Puerto Rico, la cual es confidencial y / o privilegiada legalmente. Si usted no es el destinatario previsto, informe inmediatamente al remitente por correo electrónico de respuesta o por teléfono que este mensaje se le ha transmitido inadvertidamente y elimine este correo electrónico de su sistema. Si ha recibido esta transmisión por error, por la presente se le notifica que cualquier divulgación, copia, distribución o cualquier acción basada en el contenido de la información está estrictamente prohibida. El uso, difusión, distribución o reproducción no autorizados de este mensaje por personas que no sean el destinatario previsto está estrictamente prohibido y puede ser ilegal.

CONFIDENTIALITY NOTE: This electronic transmission contains information belonging to the Puerto Rico Housing Department, which is confidential and/or legally privileged. If you are not the intended recipient, please immediately advise the sender by reply e-mail or telephone that this message has been inadvertently transmitted to you and delete this e-mail from your system. If you have received this transmission in error, you are hereby notified that any disclosure, copying, distribution or the taking of any action in reliance on the contents of the information is strictly prohibited. Unauthorized use, dissemination, distribution or reproduction of this message by other than the intended recipient is strictly prohibited and may be unlawful. 2



Validation Letter

June 7, 2024

To whom it may concern,

This letter is to validate that no comments were received in the Permits and Environmental Compliance Division e-mail: environmentcdbg@vivienda.pr.gov, for the project ***Ruta de los Tres Santos Reyes (PR-CRP-000437)***, as part of the CDBG-DR City Revitalization Program. The Final Notice and Public Explanation of a Proposed Activity in a Wetland was published in the *Primera Hora* newspaper of Puerto Rico on May 29, 2024, with a comment period that concluded on June 6, 2024.

Cordially,

Permits and Environmental Compliance Division
Disaster Recovery Office
environmentcdbg@vivienda.pr.gov | 787.274.2527 ext. 4320